

EAST MERCER RESIDENCE

4634 EAST MERCER WAY,
MERCER ISLAND, WA 98040

REVISION TO BUILDING PERMIT

CONSULTANT:

PROFESSIONAL SEAL:



PROJECT:

a project for:
Barcelo homes
PO BOX 1733 AUBURN, WA 98071
Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
MERCER ISLAND, WA 98040

SHEET ISSUE:

Table with columns for Date and Description: 6/24/2015 PERMIT SUBMITTAL, 8/29/2016 PERMIT APPROVED, 6/05/2017 REVISION TO PERMIT

MUNICIPALITY REVIEW:

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE:

COVERSHEET

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER:

G0.01

ABBREVIATIONS table with multiple columns listing abbreviations (e.g., AB, AC, ACC) and their corresponding full names (e.g., ANCHOR BOLT, AIR CONDITIONING).

SYMBOLS table with columns for symbol name (e.g., ELEVATION INDICATOR, BORING INDICATOR) and its graphical representation.

PROJECT TEAM table listing roles (OWNER, ARCHITECT, GEOTECHNICAL ENGINEER, etc.) and contact information for Studio 19 Architects, Barcelo Homes, and various consultants.

DRAWING INDEX table listing drawing numbers (GENERAL, SURVEY, CIVIL, ARCHITECTURAL, STRUCTURAL) and their descriptions.

ZONING CODE ANALYSIS

CODE REFERENCES:
 MERCER ISLAND MUNICIPAL CODE, ADOPTED DECEMBER 1, 2014
 2012 INTERNATIONAL BUILDING CODE WITH STATEWIDE AND CITY AMENDMENTS
 2012 INTERNATIONAL RESIDENTIAL CODE WITH STATEWIDE AND CITY AMENDMENTS
 2012 SEATTLE ENERGY CODE - RESIDENTIAL
 2012 INTERNATIONAL MECHANICAL CODE WITH STATEWIDE AND CITY AMENDMENTS
 WASHINGTON CITIES ELECTRICAL CODE
 2012 INTERNATIONAL FIRE CODE WITH STATEWIDE AND CITY AMENDMENTS
 2012 INTERNATIONAL FUEL GAS CODE WITH STATEWIDE AND CITY AMENDMENTS
 2012 WASHINGTON STATE PLUMBING CODE WITH CITY AMENDMENTS

| SECTION | EXISTING / REQUIRED | PROPOSED | COMPLIES | SHEET |
|-----------------------------|---|---------------------------------|----------|---------------|
| ZONING | R-15 | R-15 | YES | G0.02 |
| LOT SIZE | 21,417.54 SF STEEP SLOPE | | | G0.02 |
| CRITICAL AREAS | HILLSIDE (27.71 % MAX SLOPE) | | | A1.01 |
| MAXIMUM BUILDABLE AREA | 45% OF LOT AREA (21,417 SF) = 9,637.65 SF | 9,637.65 SF | YES | G0.02 |
| MAXIMUM IMPERVIOUS COVERAGE | 30% OF LOT AREA (21,417 SF) = 6,425.10 SF | - | - | G0.02 |
| BUILDING HEIGHT LIMIT | 30' FROM AVERAGE BUILDING GRADE + 5' FOR ROOF WITH MINIMUM 4:12 PITCH FRONT = 20' MINIMUM | 30' | YES | A3.01 / A3.02 |
| SETBACKS | REAR = 25' MINIMUM | 25' | YES | A1.01 |
| | SIDES = 5' MINIMUM | 5' | YES | A1.01 |
| PARKING | 1 PARKING SPACE / DWELLING UNIT | 1 PARKING SPACE / DWELLING UNIT | YES | A2.01 |
| PARKING ACCESS | ACCESS FROM PRIVATE ROAD | 10 FT DRIVE | YES | A2.01 |
| LANDSCAPING | TOTAL DIAMETER OF TREES RETAINED OR PLANTED = 2 INCH PER 1000 SF | 1 | YES | A1.01 |
| FIRE SPRINKLERS | PER NFPA 13D - REQUIRED ON STRUCTURES 5,000 SF OR MORE | YES | YES | DEFERED |
| PROJECTIONS | 36" ROOF EAVES AND GUTTERS | | YES | A2.04 |
| CONSTRUCTION TYPE | RESIDENTIAL - TYPE VA | | | |
| WATER | WATER DISTRICT | | | |
| SEWER / SEPTIC | PUBLIC | | | |
| ROAD ACCESS | PRIVATE | | | |
| STREET SURFACE | PAVED | | | |

ENERGY CODE ANALYSIS

| PERFORMANCE REQUIREMENT | MEET OR EXCEED THE 2012 WASHINGTON STATE ENERGY CODE | PROPOSED |
|---|--|-----------------------------|
| TOTAL HEATED FLOOR AREA (GROSS) | | 3,017.01 SF |
| LEVEL 1 | | 1,394 SF |
| LEVEL 2 | | 976.21 SF |
| LEVEL 3 | | 646.80 |
| GLAZING AREA % OF FLOOR | OPTION III : UNLIMITED | 1,310.67 SF |
| CLIMATE ZONE | MARINE 4 | |
| FENESTRATION U-FACTOR | 0.30 | SEE WSEC GLAZING SCHEDULE |
| CEILING R-VALUE | R-49 OR R-38 ADVANCED FRAMED CEILING | R-50 & R-54 (SEE ROOF PLAN) |
| WOOD FRAME WALL ABOVE GRADE R-VALUE | R-21 (16 OC, HEADERS MIN R-10) | R-21 |
| FLOOR R-VALUE / U-FACTOR | R = 30 / U = 0.029 | R-30 |
| SLAB ON GRADE R-VALUE | R = 10, 2' | R-10 (FULL UNDER) |
| BELOW GRADE U-FACTOR | 0.042 | |
| DOOR U-FACTOR | 0.20 | |
| DOOR U-FACTOR (DEFAULT GLAZED FENESTRATION U-FACTOR, METAL WITH THERMAL BREAK, DOUBLE PANE, TABLE R303.1.3 (1)) | 0.65 | NOT APPLICABLE |

CONTRACTOR NOTES

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL BONDS, CASH DEPOSITS, ETC. THAT THE CITY WILL BE REQUIRED TO FACILITATE CONSTRUCTION OF THE PROJECT.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE WATER, SEWER, POWER AND TELEPHONE CONNECTIONS FOR THE CONSTRUCTION TRAILER.
- UNLESS QUALIFIED, NO PRODUCT SUBSTITUTIONS "OR EQUAL" PRODUCTS, EQUIPMENT OR MATERIALS SHALL BE ALLOWED.
- THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL OTHER PERMITS REQUIRED BY LAW FOR THE EXECUTION OF THIS WORK UNLESS NOTED OTHERWISE. THE BASIC BUILDING PERMIT WILL BE OBTAINED AND PAID FOR BY THE OWNER. ALL TRADE PERMITS, IF REQUIRED BY JURISDICTION AUTHORITIES, AND FEES SHALL BE PAID FOR BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL ALSO OBTAIN AND PAY CERTIFICATES, INSPECTIONS AND OTHER LEGAL FEES REQUIRED, BOTH PERMANENT AND TEMPORARY, INCLUDING PLUMBING, ELECTRICAL AND HIGHWAY PERMITS UNLESS SPECIFICALLY OTHERWISE PROVIDED.
- GENERAL CONTRACTOR HAS RESEARCHED AND VERIFIED ALL TRASH, DEBRIS, AND RECYCLING REQUIREMENTS FOR THE CITY IN WHICH THIS WORK WILL BE PERFORMED AND HAS INCLUDED SUCH COSTS INTO THIS PROPOSAL.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE SURVEYING AND LAYOUT, OWNER TO PROVIDE ONE (1) BENCHMARK FOR GENERAL CONTRACTOR'S USE.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE, FURNISH AND INSTALL ALL FRAMING, BACKING AND DEADWOOD REQUIREMENTS FOR EQUIPMENT AND MATERIALS INSTALLED IN THE BUILDING.
- JOINT SEALERS SHALL BE REQUIRED AT THE INTERSECTION OF ALL DISSIMILAR MATERIALS IN INTERIOR AND EXTERIOR CONDITIONS.
- ARCHITECTURAL, MECHANICAL, AND ELECTRICAL PENETRATIONS OF THE BUILDING ENVELOPE INCLUDING EXTERIOR WINDOWS, GRILLES, HVAC DUCTWORK, AND CONDUIT AS REQUIRED THROUGH THE EXTERIOR WALLS, ROOF DECKS, VERTICAL ROOF AND MANSARD WALLS SHALL REQUIRE MECHANICAL FLASHING IN ADDITION TO APPROPRIATE EXTERIOR SEALANTS TO PROVIDE AND ENSURE WATER-TIGHT CONDITIONS AT THESE LOCATIONS.
- GUTTERS, DOWNSPOUTS AND ALL EXTERIOR SHEET METALS ARE TO BE PRE-FINISHED AT THE FACTORY. COLOR SHALL BE SELECTED FROM THE MANUFACTURER'S FULL RANGE OF COLOR OPTIONS BY THE ARCHITECT. NO FIELD PAINTING TO BE ALLOWED.
- ALL EXTERIOR LOUVER GRILLES SHALL BE FACTORY PAINTED WITH KYNAR FINISH TO MATCH THE EXTERIOR FIELD COLOR IN WHICH THEY ARE LOCATED.
- ALL EXTERIOR METALS SHALL BE GALVANIZED, PRE-FINISHED OR FIELD PAINTED PER ARCHITECT COORDINATION GC SHALL ASSUME THE MOST STRINGENT FINISH IF NOT INDICATED ON DOCUMENTS.
- APPLIANCES - GENERALLY, THIS EQUIPMENT IS DELIVERED FACTORY DIRECT MOUNTINGS AND CONNECTIONS NOT INCLUDED. GENERAL CONTRACTOR SHALL MOUNT AND MAKE UP ALL REQUIRED CONNECTIONS TO MAKE THE EQUIPMENT FUNCTION PROPERLY.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE SET OF DRAWINGS TO EACH SUBCONTRACTOR AND FOR INSURING THAT THE WORK OF EACH SUBCONTRACTOR IS COORDINATED WITH THE WORK OF ALL OTHER SUBCONTRACTORS.
- THE LAST DATED REVISION VOIDS AND SUPERSEDES ANY AND ALL PREVIOUS DRAWINGS WITH THE SAME SHEET NUMBER. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RECOVER AND DISPOSE OF ALL SUPERSEDED / PREVIOUSLY ISSUED PLANS FROM ALL SUBCONTRACTORS, SUPPLIES AND MATERIAL PERSONS. ALL COSTS RESULTING FROM A FAILURE TO ISSUE REVISED SHEETS, AND RECOVERY / DISPOSAL OF SUPERSEDED SHEETS IN A TIMELY MANNER, SHALL BE ABSORBED BY THE GENERAL CONTRACTOR. THE OWNER AND ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH THE ABOVE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE ALL EXISTING UTILITIES AND PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK. ALL FINAL CONNECTIONS TO EXISTING UTILITIES SHALL BE BY THE CONTRACTOR.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THE SITE THROUGHOUT THE CONSTRUCTION PROCESS.
- GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AS REQUIRED BY GENERAL CONDITIONS AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. DO NOT OBSTRUCT STREETS, SIDEWALKS, ALLEYS OR OTHER RIGHT-OF-WAYS WITHOUT FIRST OBTAINING PROPER PERMITS.
- ALL FIRE RATED CONSTRUCTION SHALL CONFORM WITH CURRENT UL TESTED STANDARD AND/OR LOCAL REQUIREMENTS.

GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE.
- DRAWINGS HAVE BEEN PREPARED ON AN ORIGINAL SHEET SIZE OF 24" X 36".
- INFORMATION REGARDING EXISTING CONDITIONS USED TO PREPARE THESE DRAWINGS HAS BEEN PROVIDED BY OTHERS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. PROVIDE WRITTEN NOTIFICATION TO THE ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE DRAWINGS. THE ARCHITECT WILL ISSUE A WRITTEN DIRECTIVE IF FURTHER CLARIFICATION IS REQUIRED.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, DATUM, LEVELS AND CONDITIONS PERTAINING TO THE WORK PRIOR TO COMMENCING CONSTRUCTION. PROVIDE WRITTEN NOTIFICATION TO THE ARCHITECT OF ANY DISCREPANCIES WITH THE DOCUMENTS. THE ARCHITECT WILL ISSUE A WRITTEN DIRECTIVE IF FURTHER CLARIFICATION IS REQUIRED.
- THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF STUDIO19 ARCHITECTS, AND HAVE BEEN PREPARED FOR THE USE IN THE EXECUTION OF THE ENCLOSED PROJECT. USE OR REPRODUCTION FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF STUDIO19 ARCHITECTS IS PROHIBITED.
- LEGENDS ON THE PLANS AND SCHEDULE IN THE SPECS SHALL BE COMPLEMENTARY.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND RESTRICTIONS ENFORCED BY AUTHORITIES HAVING JURISDICTION.

VENTILATION NOTES

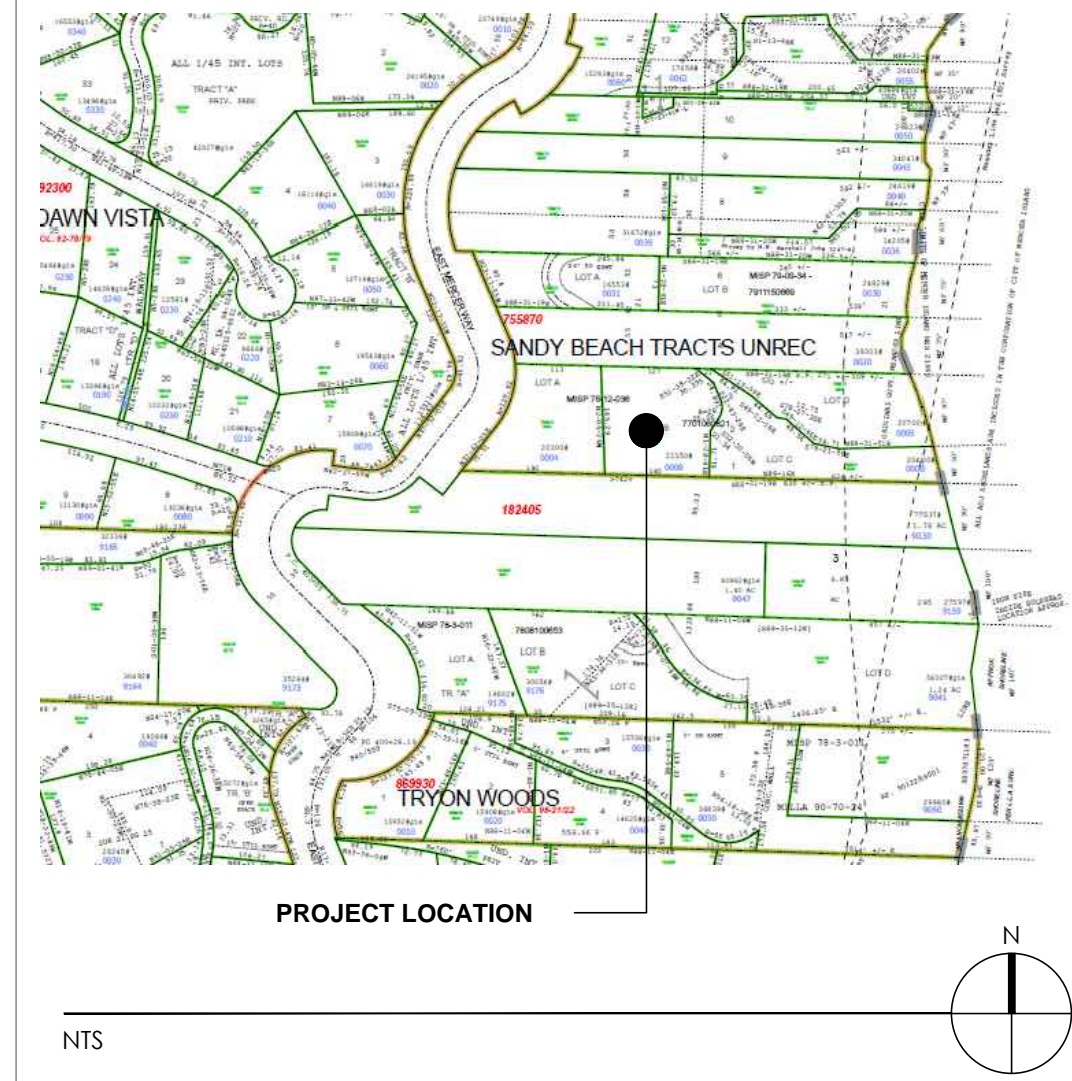
- WAC 51-13, WASHINGTON STATE VENTILATION AND INDOOR AIR QUALITY CODE SEATTLE RESIDENTIAL CODE (SRC), CHAPTER 15
- WHOLE HOUSE VENTILATION PER IRC M1508.7.
 - NOISE: WHOLE HOUSE FANS LOCATED FOUR FEET OR LESS FROM THE INTERIOR GRILLE SHALL HAVE A SONE RATING OF 1.0 OR LESS.
 - EXHAUST DUCTS SHALL TERMINATE OUTSIDE OF THE BUILDING.
 - OUTDOOR AIR DISTRIBUTION: OUTDOOR AIR SHALL BE DISTRIBUTED TO EACH HABITABLE ROOM BY MEANS SUCH AS INDIVIDUAL INLETS, SEPARATE DUCT SYSTEMS, OR A FORCED-AIR SYSTEM.
 - DOORS SHALL BE UNDERCUT TO A MINIMUM OF ONE-HALF INCH ABOVE THE SURFACE OF THE FINISH FLOOR COVERING. DOORS AND OPERABLE LITES IN WINDOWS ARE DEEMED NOT TO MEET THE OUTDOOR AIR SUPPLY INTAKE REQUIREMENTS.
 - INTERMITTENTLY OPERATING MINIMUM EXHAUST RATES FOR BATHROOMS = 50 CFM, KITCHENS = 100 CFM. - U.N.O.
 - EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM. PER M1503.4

ENERGY CODE NOTES

- WASHINGTON STATE ENERGY CODE
- BUILDING AIR LEAKAGE TESTING, DEMONSTRATING 2.0 AIR EXCHANGES PER HOUR (MAX) IS REQUIRED PRIOR TO FINAL INSPECTION. THE TEST RESULTS SHALL BE POSTED ON THE RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE.
 - EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR REGULATION OF TEMPERATURE (WSEC R403.1.1).
 - A SIGNED AFFIDAVIT DOCUMENTING THE DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO AN APPROVED FINAL INSPECTION (WSEC R402.4.1.2).
 - DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO APPROVED FINAL INSPECTION (WSEC R403.2.2 AND WSU RS-33).
 - MINIMUM 75% OF ALL INTERIOR LUMINAIRES SHALL BE HIGH EFFICACY LUMINAIRES, AND ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY LUMINAIRES (WSEC R404.1).
 - ALL HEADERS IN EXTERIOR WALLS TO HAVE A MINIMUM R-10 INSULATION.
 - ALL DUCTS NOT LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-8.
 - REQUIRED SLAB PERIMETER INSULATION TO BE WATER RESISTANT MATERIAL, MANUFACTURED FOR ITS INTENDED USE, AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS. FOR SLABS INSIDE FOUNDATION WALL, THE INSULATION SHALL BE INSTALLED TO PROVIDE A THERMAL BREAK BETWEEN THE SLAB EDGE AND THE FOUNDATION. MONOLITHIC SLABS SHALL INCLUDE INSULATION, INSTALLED OUTSIDE THE FOUNDATION WALL, AND SHALL EXTEND DOWNWARD FROM THE TOP OF THE SLAB FOR A MINIMUM DISTANCE OF 24" OR DOWNWARD AND THEN HORIZONTALLY FOR A MINIMUM COMBINED DISTANCE OF 24". AND SHOULD INCLUDE R-10 INSULATION UNDER THE NON-LOAD BEARING PORTIONS OF THE SLAB.
 - INSULATION FOR HOT WATER PIPES SHALL BE A MINIMUM OF R-4.
 - WASHINGTON STATE ENERGY CREDITS PER TABLE 406.2:
 - EFFICIENT BUILDING ENVELOPE PRESCRIPTIVE COMPLIANCE BASED ON TABLE R402.1 WITH THE FOLLOWING MODIFICATIONS:
 FENESTRATION U = 0.28
 SLAB ON GRADE, R-10 PERIMETER AND UNDER ENTIRE SLAB BELOW GRADE SLAB R-10 PERIMETER AND UNDER ENTIRE SLAB OR COMPLIANCE BASED ON SECTION R402.1.4: REDUCE TOTAL UA BY 5% CREDITS FROM THIS OPTION = 0.5
 - AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION COMPLIANCE BASED ON SECTION R402.4.1.2 REDUCE TESTED AIR LEAKAGE TO 2.0 AIR CHANGES PER HOUR MAX, AND ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1507.3 OF THE IRC.

 PROVIDE BALANCED WHOLE HOUSE VENTILATION SYSTEM WITH MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.70 PER WSEC R403.5 CREDITS FROM THIS OPTION = 1.0
 - EFFICIENT WATER HEATING GAS, PROPANE, OR OIL WATER HEATER WITH MINIMUM EF OF 0.62 CREDITS FROM THIS OPTION = 0.5

VICINITY MAP



SITE DESCRIPTION

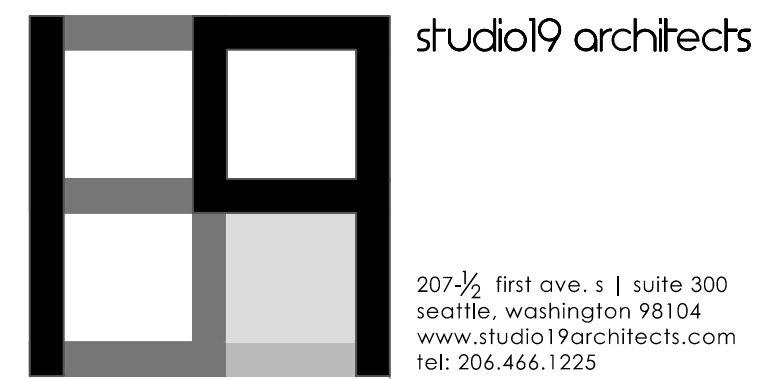
PARCEL # 755870-0008
 LEGAL DESCRIPTION SANDY BEACH TRS UNREC LOT B CITY OF MERCER ISLAND SHORT PLAT 76-12-036 REC #7701060821 SD SP DAF - LOTS 1-2 & 3
 PROPERTY ADDRESS: 4634 EAST MERCER WAY, MERCER ISLAND, WA 98040
 LOT SIZE 21,417.54 GSF PER SURVEY
 WIDTH 159.65'
 DEPTH 145.19'
 WATERFRONT NONE
 ACCESS PRIVATE ROAD FROM EAST MERCER WAY
 EASEMENTS ACCESS EASEMENT AS DEFINED IN SHORT PLAT 76-12-036 REC#7701060821

PROJECT INFORMATION

PROJECT DESCRIPTION: A NEW CONSTRUCTION OF A 3 LEVEL SINGLE FAMILY RESIDENCE
 PROPERTY ADDRESS: 4634 EAST MERCER WAY, MERCER ISLAND, WA 98040
 SEISMIC ZONE: ZONE 3
 PARCEL #: 755870-0008
 LOT AREA: 21,417.54 GSF PER SURVEY
 BUILDING AREAS:
 LEVEL 1: 1,716 SQ FT
 LEVEL 2: 2,408 SQ FT
 LEVEL 3: 2,364 SQ FT
 TOTAL LIVABLE AREA: 6,488 SQ FT
 F.A.R. 30.29 %
 LEVEL 1 GARAGE: 898 SQ FT
 LEVEL 2 VIEW DECK 1: 431 SQ FT
 LEVEL 2 VIEW DECK 2: 217 SQ FT
 LEVEL 3 VIEW DECK 3: 148 SQ FT
 LEVEL 3 ROOF DECK: 262 SQ FT
 TOTAL STRUCTURE SF: 8,444 SQ FT
 IMPERVIOUS AREAS:
 STRUCTURE FOOTPRINT: 3,511 SQ FT
 ENTRY STAIR: 477 SQ FT
 LEVEL 1 PATIO: 73 SQ FT
 LEVEL 2 PATIO: 316 SQ FT
 DRIVEWAY: 1,500 SQ FT
 TOTAL IMPERVIOUS AREA: 5,877 SQ FT
 PERCENTAGE LOT COVERAGE: 27.44 %

MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS AND CALCULATIONS TO BE DEFERRED.



CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:

 PO BOX 1733 AUBURN, WA 98071
 Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
 MERCER ISLAND, WA 98040

SHEET ISSUE: _____

| DATE | DESCRIPTION |
|-----------|--------------------|
| 6/24/2015 | PERMIT SUBMITTAL |
| 8/29/2016 | PERMIT APPROVED |
| 6/05/2017 | REVISION TO PERMIT |

MARK DATE DESCRIPTION

MUNICIPALITY REVIEW: _____

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE: _____

CODE SUMMARY

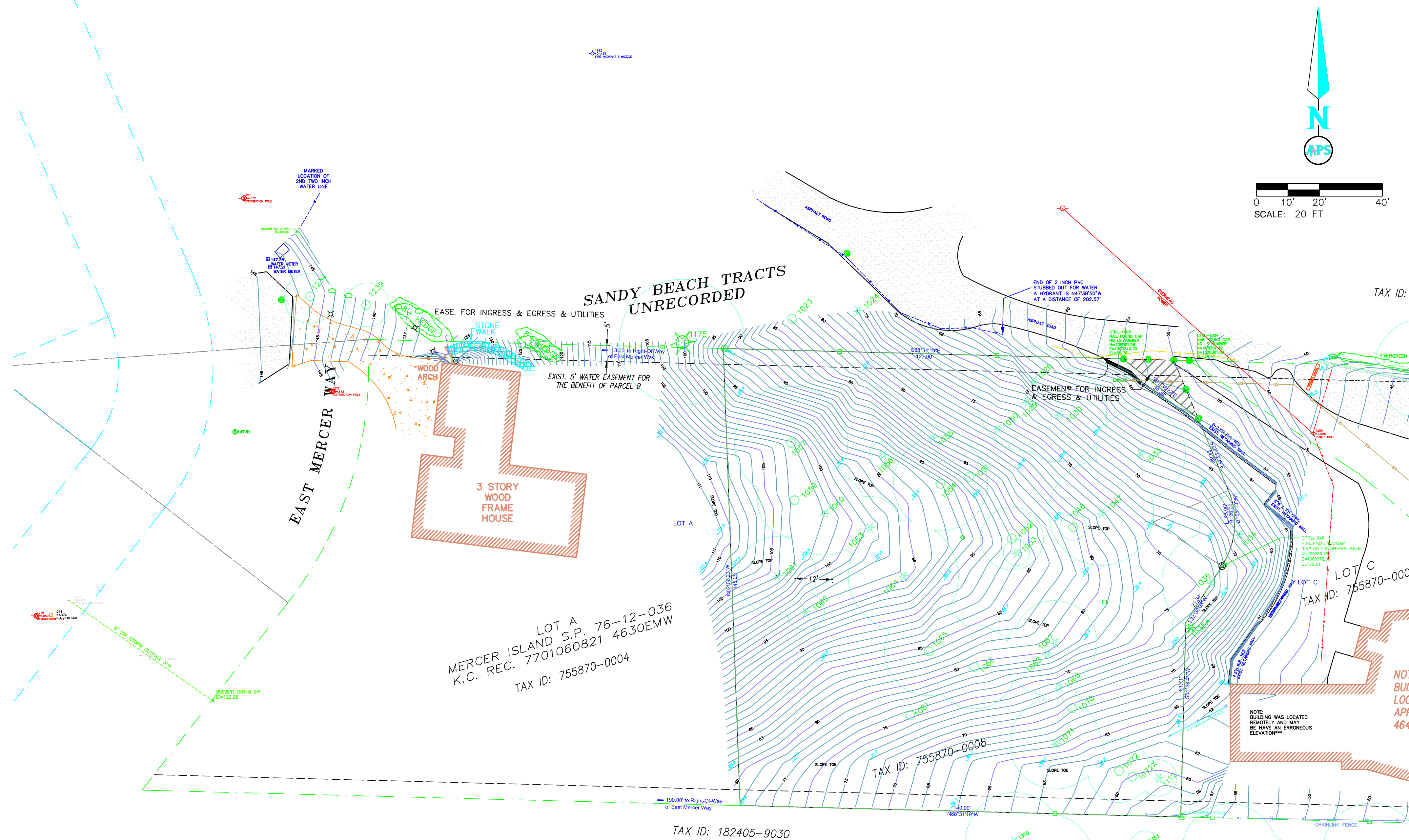
PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER: _____

G0.02

WITHIN THE SE 1/4 PF THE SE 1/4 OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 05 EAST, W.M., IN KING COUNTY, WASHINGTON



- GENERAL NOTES**
1. THE SOLE PURPOSE OF THIS SURVEY IS TO TOPOGRAPH AND ILLUSTRATE THE UTILITY, INGRESS/ EGRESS AND SEWER EASEMENT WITHIN THE PROPERTY, AS SHOWN HEREON.
 2. OUR CLIENT, BARCELO HOMES, HAS NOT FURNISHED APS SURVEY & MAPPING WITH A TITLE REPORT OF THE BOUNDARIES. A COMBINATION OF RECORD OF SURVEYS AND PLATS WERE USED IN CONCERT WITH FOUND MONUMENTATION TO DETERMINE THE BOUNDARIES SHOWN HEREON. ACTUAL OWNERSHIP STATUS MAY VARY.
 3. THIS SURVEY WAS BASED ON A RTK VRS SURVEY (USING TRIMBLE R8 UNITS) IN COMBINATION WITH A CONVENTIONAL SURVEY (USING TRIMBLE 5600 TOTAL STATIONS, LEICA 1" TO 5" TOTAL STATION). THIS NETWORK MEETS OR EXCEEDS THE ACCURACY STANDARDS SET BY WAC 332-130-090.
 4. ALL MONUMENTS WERE OCCUPIED OR OBSERVED DURING THE MONTH OF APRIL OF 2015.
 5. ALL MEASURING INSTRUMENTS AND EQUIPMENT USED FOR THIS SURVEY WERE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 6. THIS SURVEY DOES NOT CONSTITUTE A SUBDIVISION OF LAND.
 7. THE LOCATION OF SUBSURFACE UTILITIES ARE BASED ON OBSERVED UTILITY PAINT MARKS ON THE SURFACE, AND SET THERE BY OTHERS.
 8. ALL COORDINATES AND BEARINGS ARE BASED ON OBSERVATIONS USING THE WASHINGTON STATE PREFERENCE NETWORK, THE WASHINGTON STATE PLANE COORDINATE SYSTEM, NORTH ZONE, EXPRESSED IN US SURVEY FEET.
 9. ALL VERTICAL ELEVATIONS ARE BASED ON NAVD88 DATUM FROM THE FOLLOWING DESCRIBED BENCHMARK.

SPECIAL SURVEY NOTE

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF BARCEL HOMES, AND DOES NOT EXTEND TO ANY UNNAMED PARTY WITHOUT EXPRESS RECERTIFICATION BY APS SURVEY & MAPPING, LLC AND/OR THE PROFESSIONAL LAND SURVEYOR NAMED HEREON, NAMING SAID PARTY.

TYPICAL

OUTER CIRCLE = DRIPLINE
NUMBER ALONG SIDE = THE TREE DESCRIPTION ON THE CHART
THE TREE SYMBOL = A DECIDUOUS TREE

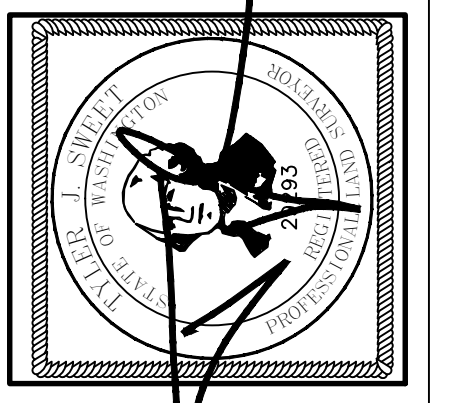
OUTER CIRCLE = DRIPLINE
NUMBER ALONG SIDE = THE TREE DESCRIPTION ON THE CHART
THE TREE SYMBOL = A EVERGREEN TREE

THE FOLLOWING HATCHING PATTERN AT THE NORTHWESTERLY CORNER OF LOT C REFERS TO AN EASEMENT ACROSS A PORTION OF LOT C CONTAINING AN INGRESS / EGRESS AND UTILITY EASEMENT FOR THE BENEFIT OF LOT B.

| REF | TYPE | DIA. (INCHES) | REF | TYPE | DIA. (INCHES) |
|-------|---------|----------------------------|------|--------|---------------|
| 1023 | MAPLE | 6 6 6 6 8 10 NORTH OF SITE | 1175 | CEDAR | 48 LOT A |
| 1024 | CEDAR | 14 NORTH OF SITE | 1234 | DECID. | 4 LOT A |
| 1026 | HEMLOCK | 26 | 1339 | DECID. | 4 LOT A |
| 1029 | FIR | 38 | 1308 | CEDAR | 36 LOT D |
| 1030 | FIR | 38 | 1329 | CEDAR | 22 LOT D |
| 1033 | FIR | 34 | 1326 | DECID. | 10 LOT D |
| 1034 | FIR | 31 | 1344 | CEDAR | 24 LOT D |
| 1035 | FIR | 38 | 1346 | CEDAR | 22 LOT D |
| 1035A | FIR | 4 FROM ARBORIST | 1347 | CEDAR | 18 LOT D |
| 1047 | FIR | 40 | 1348 | CEDAR | 18 LOT D |
| 1048 | CHERRY | 10 | 1349 | CEDAR | 26 LOT D |
| 1050 | FIR | 12 DEAD SNAG | | | |
| 1051 | MAPLE | 10 DEAD SNAG | | | |
| 1052 | MAPLE | 24 | | | |
| 1053 | CEDAR | 10 | | | |
| 1054 | MAPLE | 36 12 | | | |
| 1055 | HEMLOCK | 10 | | | |
| 1056 | FIR | 10 | | | |
| 1057 | MAPLE | 36 | | | |
| 1059 | MAPLE | 27 | | | |
| 1060 | FIR | 32 | | | |
| 1061 | FIR | 30 | | | |
| 1062 | HEMLOCK | 12 | | | |
| 1063 | FIR | 24 | | | |
| 1064 | FIR | 42 | | | |
| 1065 | MAPLE | 34 | | | |
| 1066 | MAPLE | 32 | | | |
| 1067 | FIR | 42 | | | |
| 1068 | CEDAR | 32 | | | |
| 1069 | CEDAR | 14 | | | |
| 1070 | MAPLE | 10 | | | |
| 1071 | CEDAR | 35 | | | |
| 1072 | MAPLE | 12 | | | |
| 1072X | MAPLE | 8 FROM ARBORIST | | | |
| 1081 | MAPLE | 16 DEAD SNAG | | | |
| 1112 | HEMLOCK | 14 | | | |

APS SURVEY & MAPPING
18274 S.E. 28TH STREET, SUITE A
BELLEVUE, WASHINGTON 98005
TEL: (425) 746-3200
FAX: (425) 746-3342

VOSB
Member Small Business
Member CME

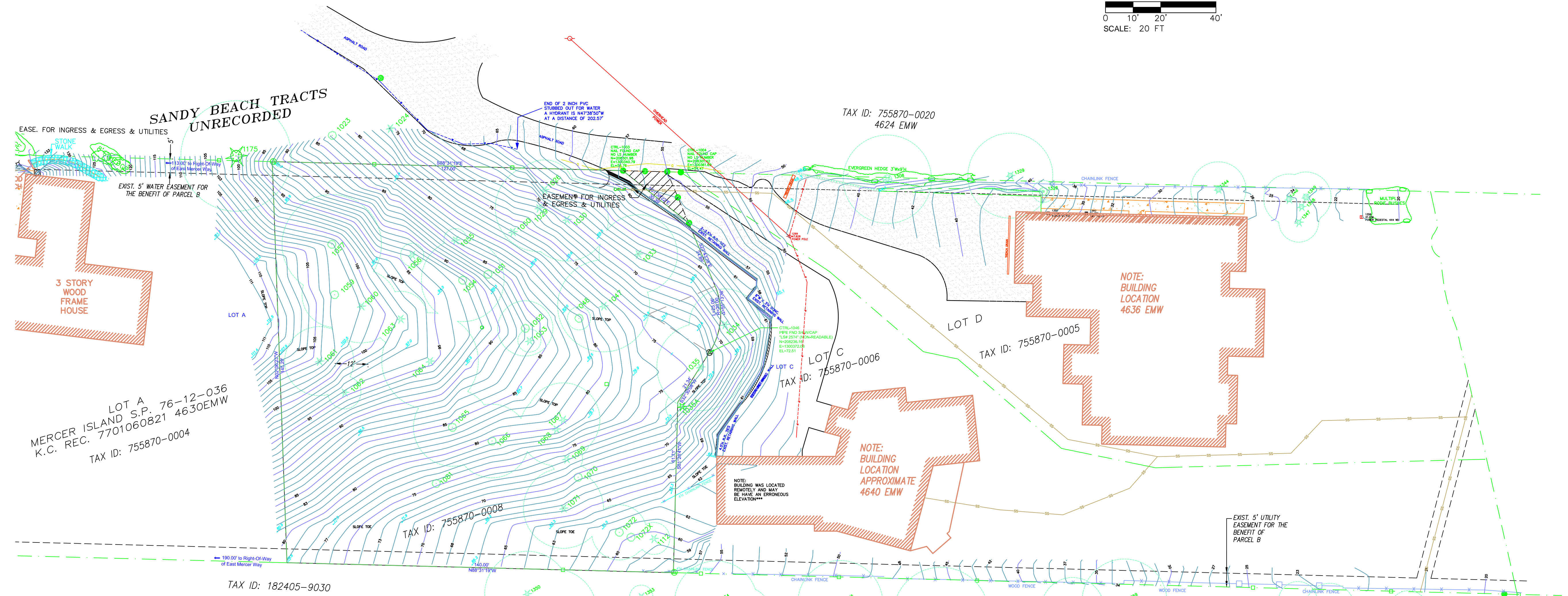
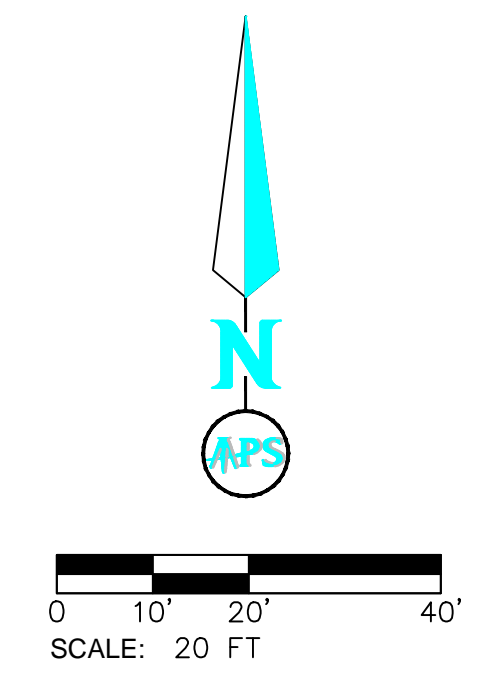


AS-BUILT SURVEY of
4634 EAST MERCER WAY
BARCELO HOMES

WASHINGTON
MERCER ISLAND
DATE: 5/27/15
APSSM PROJECT NO.: 1294002
ACAD DWG NAME: rev1294002-ARCH.DWG

| | | |
|------------------|--------------|-------|
| SURVEYED BY: TJS | CHECKED BY: | APPR. |
| DRAWN BY: MAGG | APPROVED BY: | |
| DATE | REVISION | CK'D |
| | | |

WITHIN THE SE 1/4 PF THE SE 1/4 OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 05 EAST, W.M., IN KING COUNTY, WASHINGTON



LOT A
MERCER ISLAND S.P. 76-12-036
K.C. REC. 7701060821 4630EMW
TAX ID: 755870-0004

TAX ID: 755870-0008

TAX ID: 182405-9030

TAX ID: 755870-0020
4624 EMW

TAX ID: 755870-0005

LOT C
TAX ID: 755870-0006

SANDY BEACH TRACTS
UNRECORDED
4644 EMW

| REF | TYPE | DIA. (INCHES) |
|-------|---------|--------------------------|
| 1023 | MAPLE | 6 6 6 8 10 NORTH OF SITE |
| 1024 | CEDAR | 14 NORTH OF SITE |
| 1026 | HEMLOCK | 26 |
| 1029 | FIR | 38 |
| 1030 | FIR | 36 |
| 1033 | FIR | 34 |
| 1034 | FIR | 31 |
| 1035 | FIR | 38 |
| 1035A | FIR | 4 FROM ARBORIST |
| 1047 | FIR | 40 |
| 1048 | CHERRY | 10 |
| 1050 | FIR | 12 DEAD SNAG |
| 1051 | MAPLE | 10 DEAD SNAG |
| 1052 | MAPLE | 24 |
| 1053 | CEDAR | 10 |
| 1054 | MAPLE | 36 12 |
| 1055 | HEMLOCK | 10 |
| 1056 | FIR | 10 |
| 1057 | MAPLE | 36 |
| 1059 | MAPLE | 27 |
| 1060 | FIR | 32 |
| 1061 | FIR | 30 |
| 1062 | HEMLOCK | 12 |
| 1063 | FIR | 24 |
| 1064 | FIR | 42 |
| 1065 | MAPLE | 34 |
| 1066 | MAPLE | 32 |
| 1067 | FIR | 42 |
| 1068 | CEDAR | 32 |
| 1069 | CEDAR | 14 |
| 1070 | MAPLE | 10 |
| 1071 | CEDAR | 35 |
| 1072 | MAPLE | 12 |
| 1072X | MAPLE | 8 FROM ARBORIST |
| 1091 | MAPLE | 16 DEAD SNAG |
| 1112 | HEMLOCK | 14 |

| REF | TYPE | DIA. (INCHES) |
|------|--------|---------------|
| 1175 | CEDAR | 48 LOT A |
| 1234 | DECID. | 4 LOT A |
| 1359 | DECID. | 4 LOT A |
| 1308 | CEDAR | 38 LOT D |
| 1329 | CEDAR | 22 LOT D |
| 1326 | DECID. | 10 LOT D |
| 1344 | CEDAR | 24 LOT D |
| 1346 | CEDAR | 22 LOT D |
| 1347 | CEDAR | 18 LOT D |
| 1348 | CEDAR | 18 LOT D |
| 1349 | CEDAR | 26 LOT D |

ESTIMATED (COULD NOT GAIN ACCESS)

| | | |
|------|--------|-------------------|
| 1350 | CEDAR | 22 4644 E. MERCER |
| 1351 | CEDAR | 18 4644 E. MERCER |
| 1352 | DECID. | 8 4644 E. MERCER |
| 1353 | CEDAR | 8 4644 E. MERCER |
| 1354 | CEDAR | 22 4644 E. MERCER |
| 1355 | CEDAR | 16 4644 E. MERCER |
| 1356 | CEDAR | 22 4644 E. MERCER |
| 1357 | CEDAR | 26 4644 E. MERCER |
| 1358 | CEDAR | 12 4644 E. MERCER |
| 1359 | CEDAR | 22 4644 E. MERCER |
| 1360 | DECID. | 6 4644 E. MERCER |
| 1361 | DECID. | 10 4644 E. MERCER |
| 1362 | DECID. | 8 4644 E. MERCER |

TYPICAL

OUTER CIRCLE = DRIPLINE
NUMBER ALONG SIDE = THE TREE DESCRIPTION ON THE CHART
THE TREE SYMBOL = A DECIDUOUS TREE

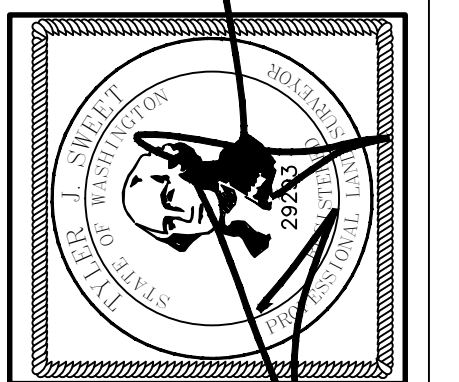
OUTER CIRCLE = DRIPLINE
NUMBER ALONG SIDE = THE TREE DESCRIPTION ON THE CHART
THE TREE SYMBOL = A EVERGREEN TREE

THE FOLLOWING HATCHING PATTERN AT THE NORTHWESTERLY CORNER OF LOT C REFERS TO AN EASEMENT ACROSS A PORTION OF LOT C CONTAINING AN INGRESS / EGRESS AND UTILITY EASEMENT FOR THE BENEFIT OF LOT B.

APS
SURVEY & MAPPING
18274 S.E. 28TH STREET, SUITE A
BELLEVUE, WASHINGTON 98005
TEL: (425) 746-3200
FAX: (425) 746-3342

VOSB
Verified Small Business

cm



WASHINGTON
rev/294002-ARCH.DWG
ACAD DWG NAME:
129-4002
PROJECT NO.:
APSSM
DATE: 5/27/15
MERCER ISLAND
BARCELO HOMES
4634 EAST MERCER WAY
AS-BUILT SURVEY of

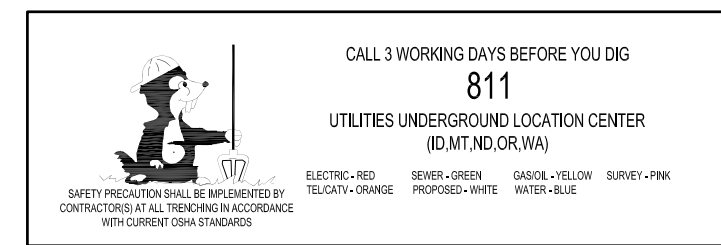
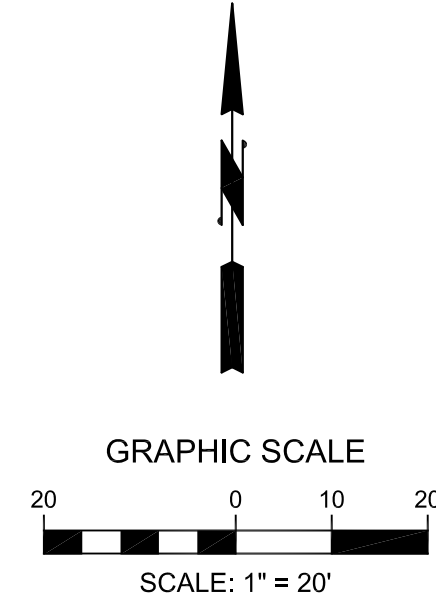
| SURVEYED BY: | CHECKED BY: | APPROVED BY: | DATE | BY | REVISION | CK'D | APPR. |
|--------------|-------------|--------------|------|----|----------|------|-------|
| TJS | | | | | | | |
| MAGG | | | | | | | |

SEC. 18, TWN. 24N, RGE. 5E, W.M.

COVER SHEET

GENERAL NOTES

1. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
2. SPECIAL INSPECTIONS BY CITY INSPECTOR ARE REQUIRED DURING CONSTRUCTION. GENERAL CONTRACTOR TO COORDINATE.
3. ALL ROADWAY WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH THE CURRENT APWA AND CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
4. A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
5. ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY PRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTATION SHALL BE 95 PERCENT.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY TRAFFIC CONTROL TO ENSURE TRAFFIC SAFETY DURING CONSTRUCTION ACTIVITIES. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
7. MEASURES SHALL BE TAKEN BY THE DEVELOPER TO PROVIDE GROUND COVER IN AREAS WITHIN THE RIGHT-OF-WAY WHICH HAVE BEEN STRIPPED OF NATURAL VEGETATION OR HAVE A POTENTIAL FOR EROSION.
8. ANY EXISTING PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PRIOR TO FINAL INSPECTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL PUBLIC STREETS FREE FROM MUD AND DEBRIS AT ALL TIMES.
10. ALL EXISTING ON-SITE STRUCTURES AND ASSOCIATED UTILITIES TO BE DEMOLISHED, REMOVED, AND/OR ABANDONED PER APPLICABLE JURISDICTIONAL REQUIREMENTS.
11. DEFICIENCIES, WHETHER CAUSED BY CONTRACTOR OPERATIONS OR NOT CAUSED BY THE CONTRACTOR'S OPERATIONS, SHALL BE REPAIRED IMMEDIATELY.
12. THE CONTRACTOR SHALL MAINTAIN ROADS AND STREETS ADJACENT TO THE PROJECT LIMITS WHEN AFFECTED BY THE CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL REMOVE OR REPAIR ANY CONDITION RESULTING FROM THE WORK THAT MIGHT IMPEDE TRAFFIC OR CREATE A HAZARD. PUBLIC ROADWAYS SHALL BE BROOMED CLEAN AT THE END OF EACH WORK DAY.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF THE WORK COVERED BY THE CONTRACT.
14. ROCKERIES AND/OR RETAINING WALLS TO BE CONSTRUCTED PER GEOTECHNICAL AND/OR STRUCTURAL ENGINEER'S PLANS & SPECIFICATIONS.



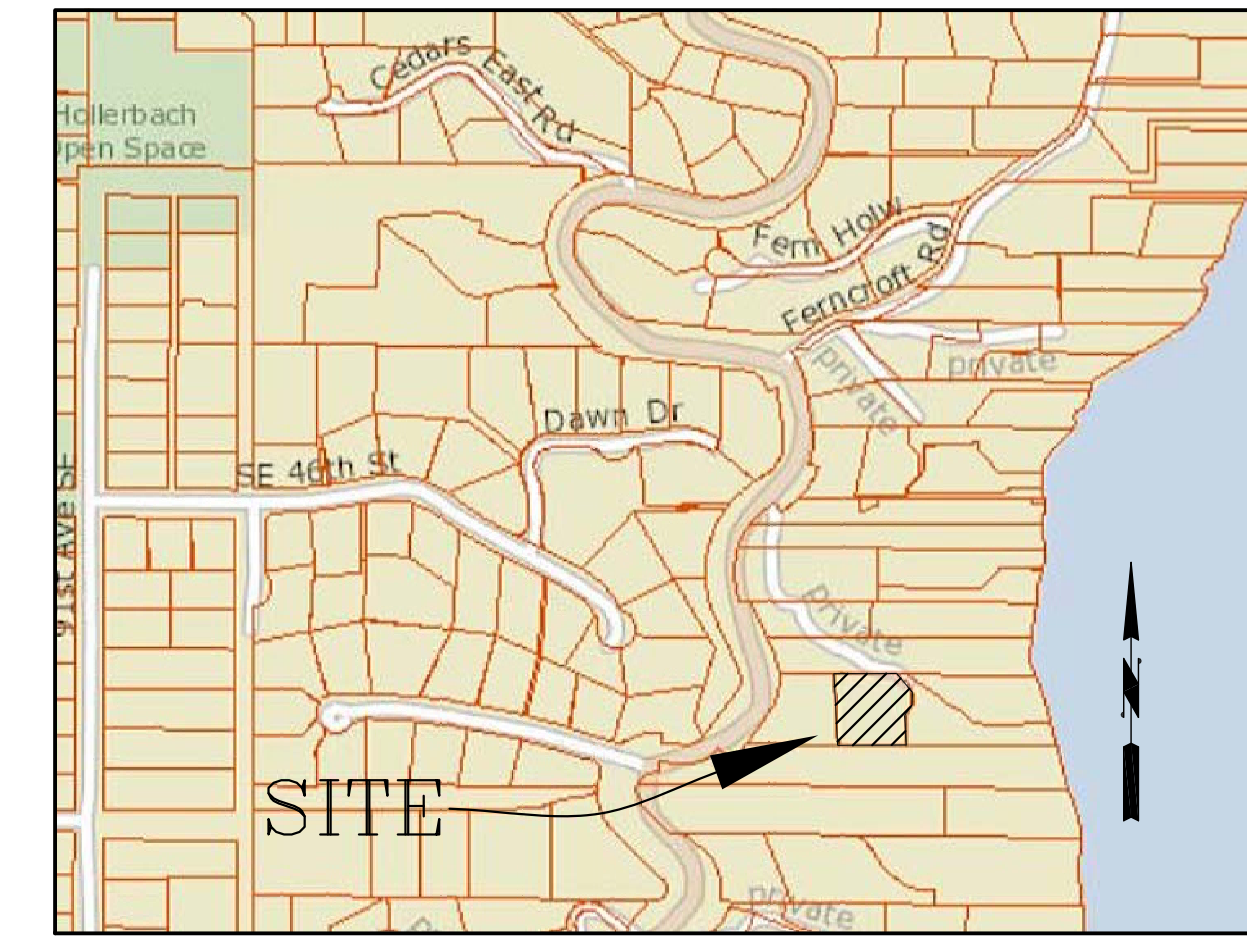
PROJECT DATA

PROPERTY ADDRESS: 4634 EAST MERCER WAY
 MERCER ISLAND, WASHINGTON 98040
 TAX LOT NUMBER: 755870-0008
 SITE AREA: 21,350 SF (0.49 ACRES)
 ZONING: R-15 = RESIDENTIAL 15

LEGEND

- FOUND PIPE
- SET HUB
- SET PK NAIL
- FOUND NAIL
- GAS METER
- GAS VALVE
- SOIL LOG/TEST PIT
- SANITARY SEWER MANHOLE
- CATCH BASIN
- WATER METER
- WETLAND FLAG
- POWER METER
- AREA LIGHT
- POWER POLE
- SS SANITARY SEWER LINE
- SD STORM DRAIN LINE
- OPH OVERHEAD POWER LINE

- CONCRETE PAVING
- ASPHALT PAVING
- BUILDINGS
- GRAVEL SURFACE



VICINITY MAP
NOT TO SCALE

PROJECT TEAM

OWNER/DEVELOPER: BARCELO HOMES
 PO BOX 1733
 ALBURN, WA 98071
 CONTACT: BOGDAN MAKSIMCHUK
 PHONE: (206) 724-1072

ARCHITECT: STUDIO 19 ARCHITECTS
 207 1/2 1ST AVENUE SOUTH
 SEATTLE, WASHINGTON 98104
 CONTACT: ANDREW WISDOM
 PHONE: (206) 466-1225

CIVIL ENGINEER: LITCHFIELD ENGINEERING
 12840 81ST AVE NE
 KIRKLAND, WA 98034
 (425) 821-5038
 CONTACT: KEITH LITCHFIELD, PE

GEOTECHNICAL ENGINEER: PANGEO, INC
 3213 EASTLAKE AVENUE E, STE. B
 SEATTLE, WA 98102
 CONTACT: MICHAEL H. XUE, PE
 (206) 262-0374

SURVEYOR: APS SURVEYING AND MAPPING
 13221 SE 26TH STREET, SUITE A
 BELLEVUE, WASHINGTON 98005
 CONTACT: TYLER SWEET, PLS
 PHONE: (425) 746-3342

CRITICAL AREA CONSULTANT: WETLAND RESOURCES
 9515 19TH AVE SE #106
 EVERETT, WA 98208
 CONTACT: NIELS PEDERSON,
 SENIOR ECOLOGIST
 PHONE: (425) 337-3174

LEGAL DESCRIPTION

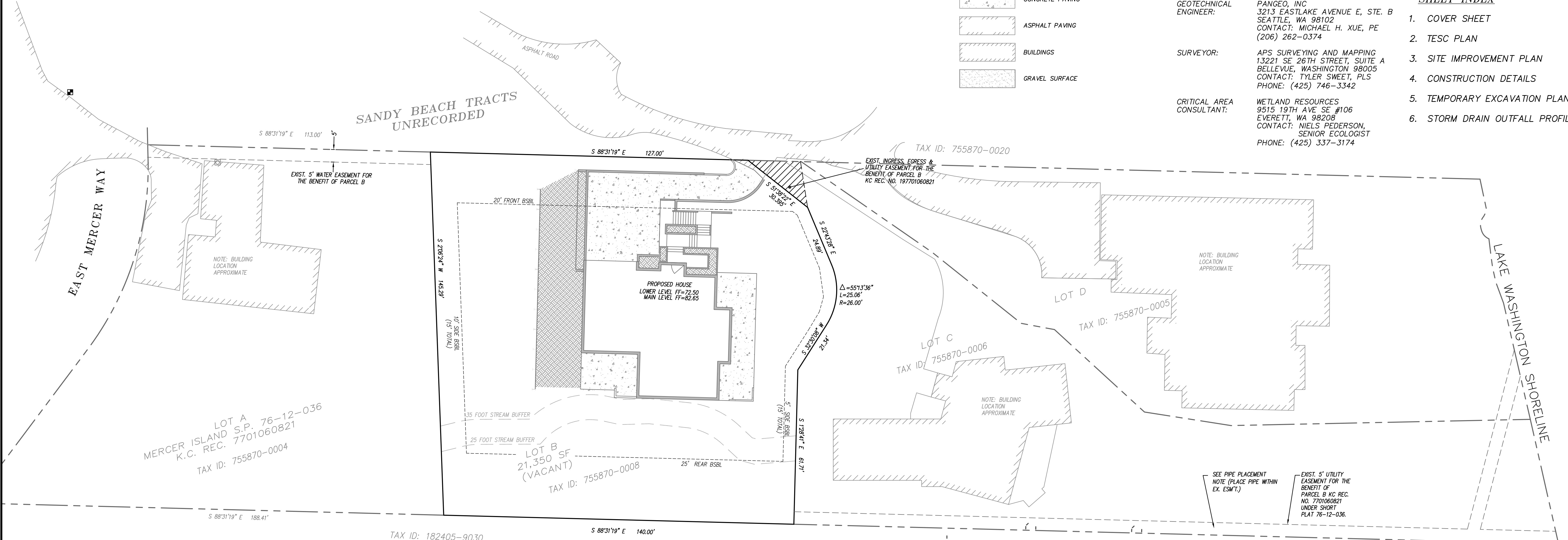
SANDY BEACH TRS UNREC LOT B
 CITY OF MERCER ISLAND SHORT
 PLAT 76-12-036 REC #7701060821
 SD SP DAF - LOTS 1-2 & 3;

DATUM

NAVD88
 BENCHMARK: POINT NAME: 4135:
 1/4" BRASS PIN IN CONC.
 (DOWN 1.0') INTX. E. MERCER WAY
 & SE 68th ST,
 ELEVATION: 158.465

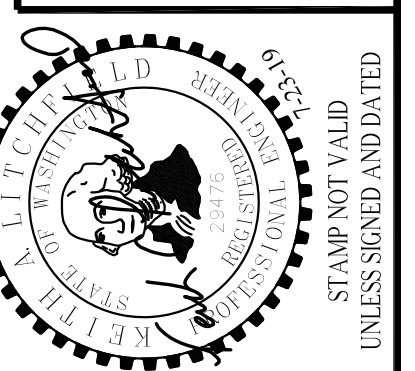
SHEET INDEX

1. COVER SHEET
2. TESC PLAN
3. SITE IMPROVEMENT PLAN
4. CONSTRUCTION DETAILS
5. TEMPORARY EXCAVATION PLAN
6. STORM DRAIN OUTFALL PROFILE



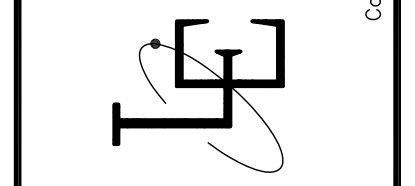
PROJECT CESCL
 MICHAEL H. XUE, PE, CESCL
 PANGEO, INC.
 (206) 262-0374 (O)
 (206) 491-0081 (C)

APPROVED: _____
 CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date



| DATE | CHG BY | DATE | NOTES |
|----------|--------|----------|------------------------------|
| 6-16-15 | KAL | 6-16-15 | SUBMITTED TO CLIENT |
| 7-6-15 | KAL | 7-6-15 | REVISED PER CITY COMMENTS |
| 10-19-15 | KAL | 10-19-15 | REVISED PER CITY COMMENTS |
| 3-25-16 | KAL | 3-25-16 | ADD EXCAVATION PLAN: SHEET 5 |
| 5-25-16 | KAL | 5-25-16 | ADD PROFILE: SHEET 6 |
| 6-14-17 | KAL | 6-14-17 | UPDATED PER STREAM BUFFER |
| 8-3-18 | KAL | 8-3-18 | PER CITY COMMENTS |
| 1-22-19 | KAL | 1-22-19 | PER CITY COMMENTS |
| 7-23-19 | KAL | 7-23-19 | PER CITY COMMENTS |

LITCHFIELD ENGINEERING
 12840 81ST AVENUE NE
 KIRKLAND, WA 98034
 TEL: (425) 821-5038 Fax: (425) 821-5739



COVER SHEET
BARCELO HOMES SFR,
4634 EAST MERCER WAY
 BOGDAN MAKSIMCHUK
 P.O. BOX 1733
 ALBURN, WA 98071

SITE IMPROVEMENT NOTES

- PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
- THESE PLANS ARE APPROVED FOR GRADING, DRAINAGE, AND UTILITY IMPROVEMENTS ONLY. PLANS FOR STRUCTURES REQUIRE A SEPARATE REVIEW AND APPROVAL.
- RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT REQUIRE A SEPARATE BUILDING PERMIT.
- FILL MATERIAL PLACED UNDER BUILDING FOUNDATIONS OR PAVEMENT SHALL BE CRUSHED BASE ROCK OR COMPACTED STRUCTURAL FILL IN ACCORDANCE WITH CITY AND WSDOT STANDARD SPECIFICATIONS.
- ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, SHALL HAVE SOLID LOCKING LIDS.
- THIS PLAN DOES NOT SHOW THE LOCATION OF ALL EXISTING UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL EXPOSE ALL EXISTING PIPING THAT WILL BE CONNECTED TO WITH NEW PIPING. DEPTH, LOCATION, AND CONDITION SHALL BE RELAYED TO THE ENGINEER IF CONDITIONS VARY SIGNIFICANTLY FROM WHAT IS DETAILED OR ANTICIPATED.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO DETAILS AND SPECIFICATIONS OF CITY STANDARDS. ALL CONSTRUCTION DEBRIS GENERATED DURING CONSTRUCTION TO BE REMOVED & DISPOSED OF AT AN APPROVED LOCATION OFF-SITE.
- ALL CUT MATERIAL GENERATED DURING THE PROJECT THAT IS NOT ACCEPTABLE FOR USE AS COMPACTED FILL MATERIAL AT ANOTHER LOCATION ON-SITE MUST BE HAULED TO AN APPROVED LOCATION OFF-SITE.

DRAINAGE GENERAL NOTES

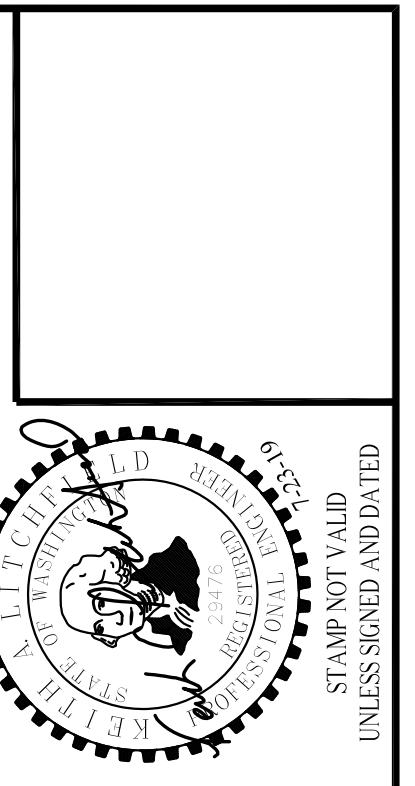
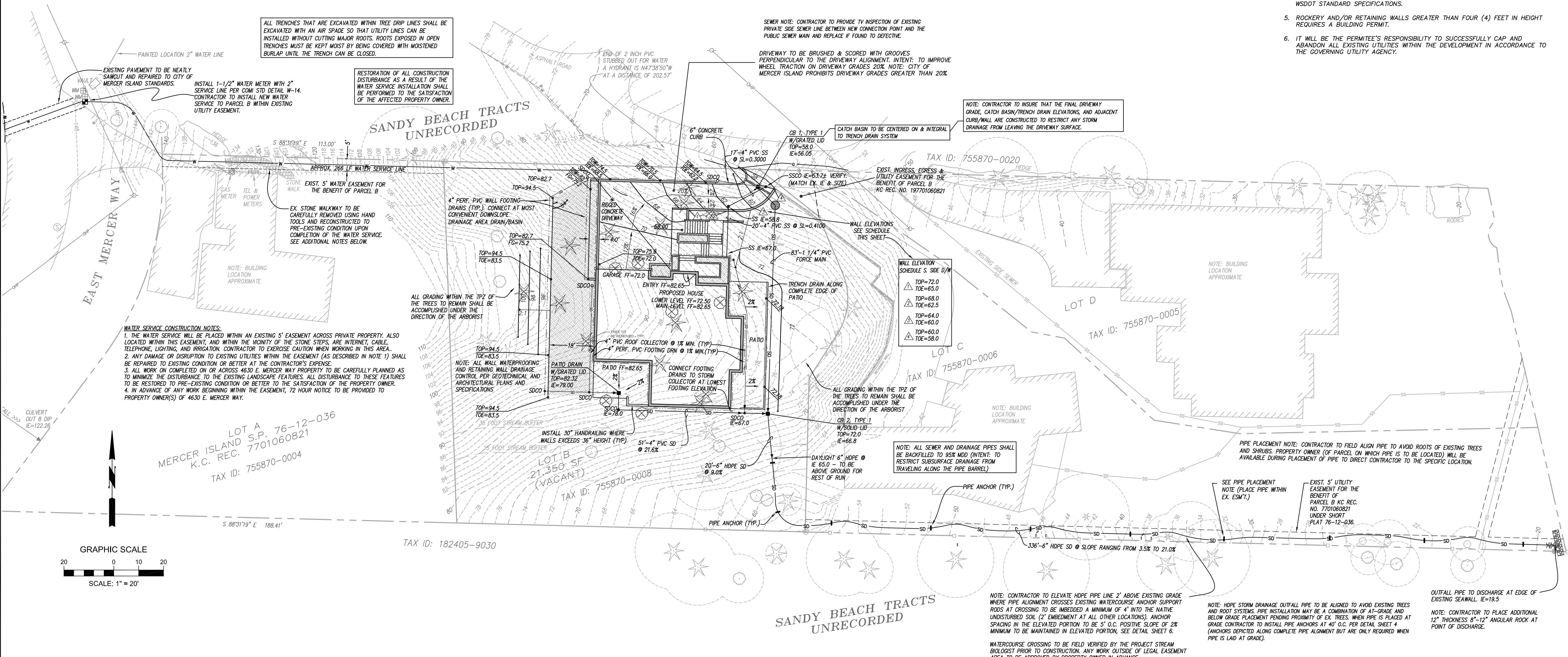
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- BEFORE ANY CONSTRUCTION MAY OCCUR, THE CONTRACTOR SHALL HAVE PLANS WHICH HAVE BEEN SIGNED AND APPROVED BY THE CITY OF MERCER ISLAND PUBLIC WORKS DEPARTMENT, OBTAINED ALL CITY, COUNTY, STATE, FEDERAL AND OTHER REQUIRED PERMITS, AND HAVE POSTED ALL REQUIRED BONDS.
- ALL STORM DRAINAGE IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MERCER ISLAND PUBLIC WORKS PRE-APPROVED PLANS AND POLICIES AND THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, PREPARED BY WSDOT AND THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA).
- ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE WRITTEN APPROVAL. ALL CHANGES SHALL BE SUBMITTED TO THE CITY.
- A COPY OF THE APPROVED STORM WATER PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SIMILARLY STABILIZED TO THE SATISFACTION OF THE CITY OF MERCER ISLAND DEPARTMENT OF PUBLIC WORKS FOR THE PREVENTION OF ON-SITE EROSION AFTER THE COMPLETION OF CONSTRUCTION.
- MINIMUM COVER OVER STORM DRAINAGE PIPES IN ROW OR VEHICULAR PATH SHALL BE 18 INCHES, UNLESS OTHER DESIGN IS APPROVED.
- CONSTRUCTION OF DEWATERING (GROUNDWATER) SYSTEMS SHALL BE IN ACCORDANCE WITH THE APWA STANDARD SPECIFICATIONS.
- ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY PRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTION SHALL BE 95 PERCENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, CONFINED SPACE PROTECTION, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACT.
- APPROXIMATE LOCATIONS OF EXISTING UTILITIES HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING UTILITY LOCATIONS WHETHER OR NOT THESE UTILITIES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXERCISE ALL CARE TO AVOID DAMAGE TO ANY UTILITY. IF CONFLICTS WITH EXISTING UTILITIES ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY CONSTRUCTION INSPECTOR AND ANY CHANGES REQUIRED SHALL BE APPROVED BY THE DEVELOPMENT ENGINEER PRIOR TO COMMENCEMENT OF RELATED CONSTRUCTION ON THE PROJECT.
- THE UNDERGROUND UTILITY LOCATION SERVICE SHALL BE CONTACTED FOR FIELD LOCATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE OWNER OR HIS REPRESENTATIVE SHALL BE CONTACTED IF A UTILITY CONFLICT EXISTS. FOR UTILITY LOCATION IN KING COUNTY, CALL 811. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT UTILITY LOCATES ARE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
- OPEN CUT ROAD CROSSINGS FOR UTILITY TRENCHES ON EXISTING TRAVELED ROADWAY SHALL BE BACKFILLED ONLY WITH 5/8" MINUS CRUSHED ROCK AND MECHANICALLY COMPACTED (UNLESS OTHERWISE APPROVED BY THE CITY). CUTS INTO THE EXISTING ASPHALT SHALL BE NEAT LINE CUT WITH SAW OR JACKHAMMER IN CONTINUOUS LINE. A TEMPORARY COLD MIX PATCH MUST BE PLACED IMMEDIATELY AFTER BACKFILL AND COMPACTION. A PERMANENT HOT MIX PATCH SHALL BE PLACED WITHIN 30 DAYS AND SHALL BE A MINIMUM OF 1" THICKER THAN THE ORIGINAL ASPHALT WITH A MINIMUM THICKNESS OF 2".
- ALL DAMAGES INCURRED TO PUBLIC AND/OR PRIVATE PROPERTY BY THE CONTRACTOR DURING THE COURSE OF CONSTRUCTION SHALL BE PROMPTLY REPAIRED TO THE SATISFACTION OF THE CITY CONSTRUCTION INSPECTOR BEFORE PROJECT APPROVAL AND/OR THE RELEASE OF THE PROJECT'S PERFORMANCE BOND.
- GROUT ALL SEAMS AND OPENINGS IN ALL INLETS, CATCH BASINS, AND MANHOLES.

ARCHITECTURAL, STRUCTURAL & GEOTECHNICAL NOTES

- THESE PLANS ARE APPROVED FOR STANDARD ROAD AND DRAINAGE IMPROVEMENTS ONLY. PLANS FOR STRUCTURES SUCH AS RETAINING WALLS REQUIRE A SEPARATE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- SPECIAL INSPECTIONS FOR GEOTECHNICAL AND/OR STRUCTURAL ASPECTS OF THE PROJECT MAY BE REQUIRED DURING VARIOUS STAGES OF THE PROJECT. CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION AND OBTAINING INSPECTIONS WHEN AND WHERE NECESSARY.
- SEE ARCHITECTURAL PLANS FOR BUILDING SECTIONS AND ALL LOCAL/DIMENSIONAL ASPECTS OF BUILDINGS.
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ALL BUILDING AND RETAINING WALL DETAILS.
- COORDINATE ALL SITE CIVIL CONSTRUCTION WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL/PLUMBING AND LANDSCAPE PLANS AND IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
- PRIOR TO CONSTRUCTION THE EARTHWORK/GENERAL CONTRACTOR TO BE COMPLETELY FAMILIAR WITH THE GEOTECHNICAL REPORT AND RECOMMENDATIONS. PLEASE REVIEW PANGELO, INC.'S REPORT DATED MARCH 31, 2014 AND CONTACT MICHAEL XUE, PE ON ANY QUESTIONS OR CONCERNS REGARDING HIS RECOMMENDATIONS.

GRADING NOTES:

- ALL CUT MATERIAL GENERATED DURING THE PROJECT THAT IS NOT ACCEPTABLE FOR USE AS COMPACTED FILL MATERIAL AT ANOTHER LOCATION ON-SITE MUST BE HAULED TO AN APPROVED LOCATION OFF-SITE.
- THE ON-SITE TOPOGRAPHICAL MAPPING WAS PROVIDED BY EMERALD LAND SURVEYING, INC.
- ALL TEMPORARY OR PERMANENT SLOPES SHALL NOT EXCEED 2H:1V UNLESS APPROVED BY A GEOTECHNICAL ENGINEER.
- FILL MATERIAL PLACED UNDER BUILDING FOUNDATIONS OR PAVEMENT SHALL BE CRUSHED BASE ROCK OR COMPACTED STRUCTURAL FILL IN ACCORDANCE TO WSDOT STANDARD SPECIFICATIONS.
- ROCKERY AND/OR RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT REQUIRES A BUILDING PERMIT.
- IT WILL BE THE PERMITEE'S RESPONSIBILITY TO SUCCESSFULLY CAP AND ABANDON ALL EXISTING UTILITIES WITHIN THE DEVELOPMENT IN ACCORDANCE TO THE GOVERNING UTILITY AGENCIES.

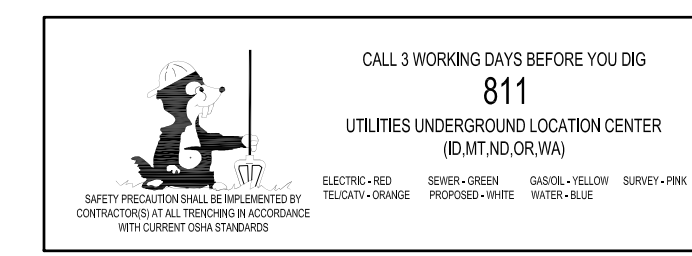


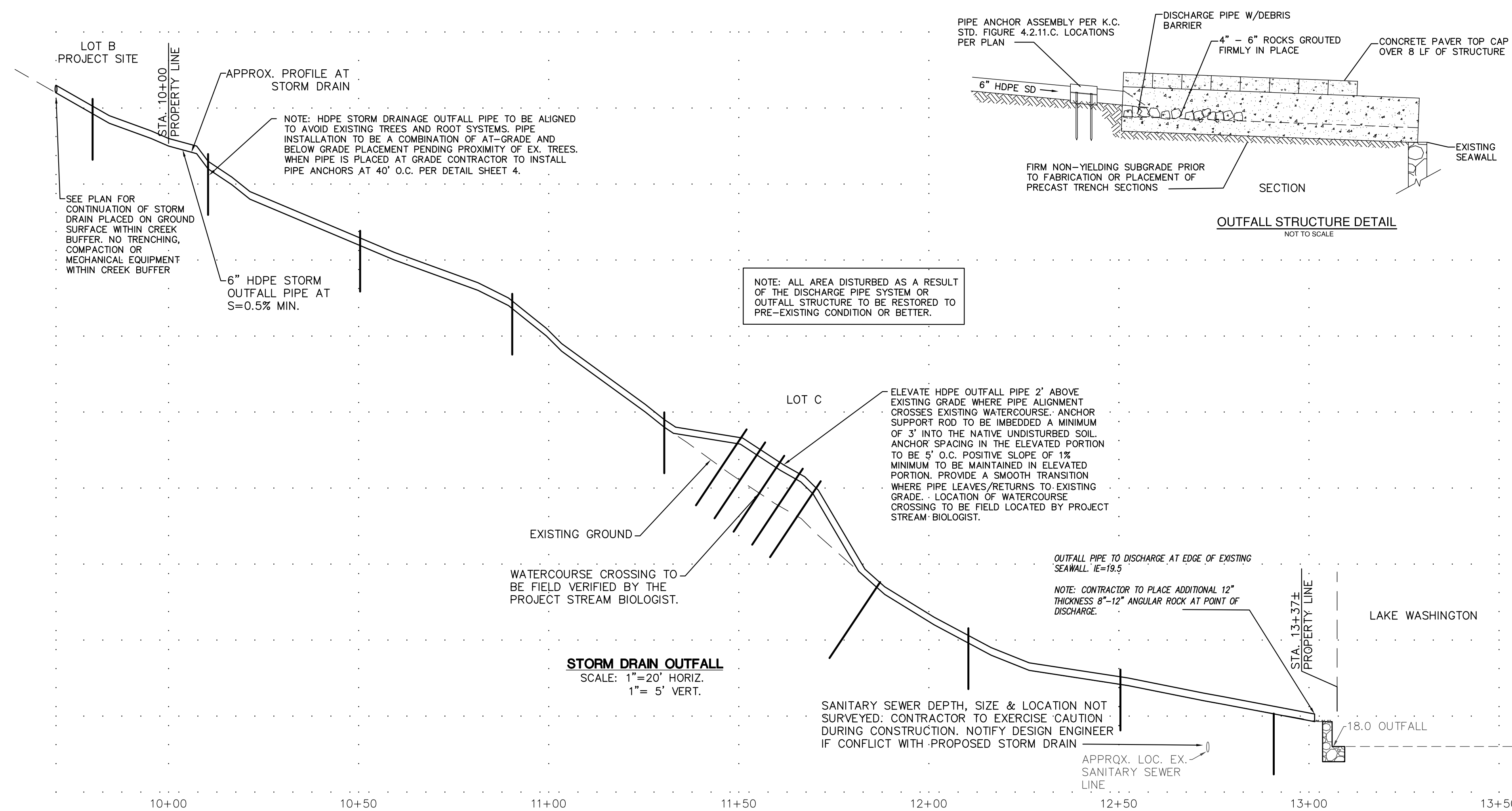
LITCHFIELD ENGINEERING
12840 81ST AVENUE NE
Kirkland, WA 98034
Tel: (425) 821-7308 Fax: (425) 821-7329

SITE IMPROVEMENT PLAN
BARCELO HOMES SFR,
4634 EAST MERCER WAY
BOGDAN MAKSYMCHUK
P.O. BOX 1733
AUBURN, WA 98071

PROJECT CESCL
MICHAEL H. XUE, PE, CESCL
PANGELO, INC.
(206) 262-0374 (O)
(206) 491-0081 (C)

APPROVED: CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date

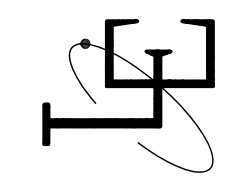




STAMP NOT VALID UNLESS SIGNED AND DATED

| DATE | CHKD BY | DWN BY | NOTES |
|----------|---------|--------|---------------------|
| 5-25-16 | KAL | KAL | ADD PROFILE SHEET 6 |
| 08-03-18 | KAL | KAL | PER CITY COMMENTS |
| 1-22-19 | KAL | KAL | PER CITY COMMENTS |
| 4-18-19 | KAL | KAL | PER CITY REVIEW |
| 7-23-19 | KAL | KAL | PER CITY COMMENTS |

LITCHFIELD ENGINEERING
 12840 SIST AVENUE NE
 Kirkland, WA 98034
 TEL 425.821.5038 FAX 425.821.5730



STORM DRAIN OUTFALL PROFILE
BARCELLO HOMES S.F.R.
4634 EAST MERCER WAY
 BOGDAN MAKSYMCHUK
 P.O. BOX 1733
 AUBURN, WA 98071

APPROVED: _____ Date _____
 CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP

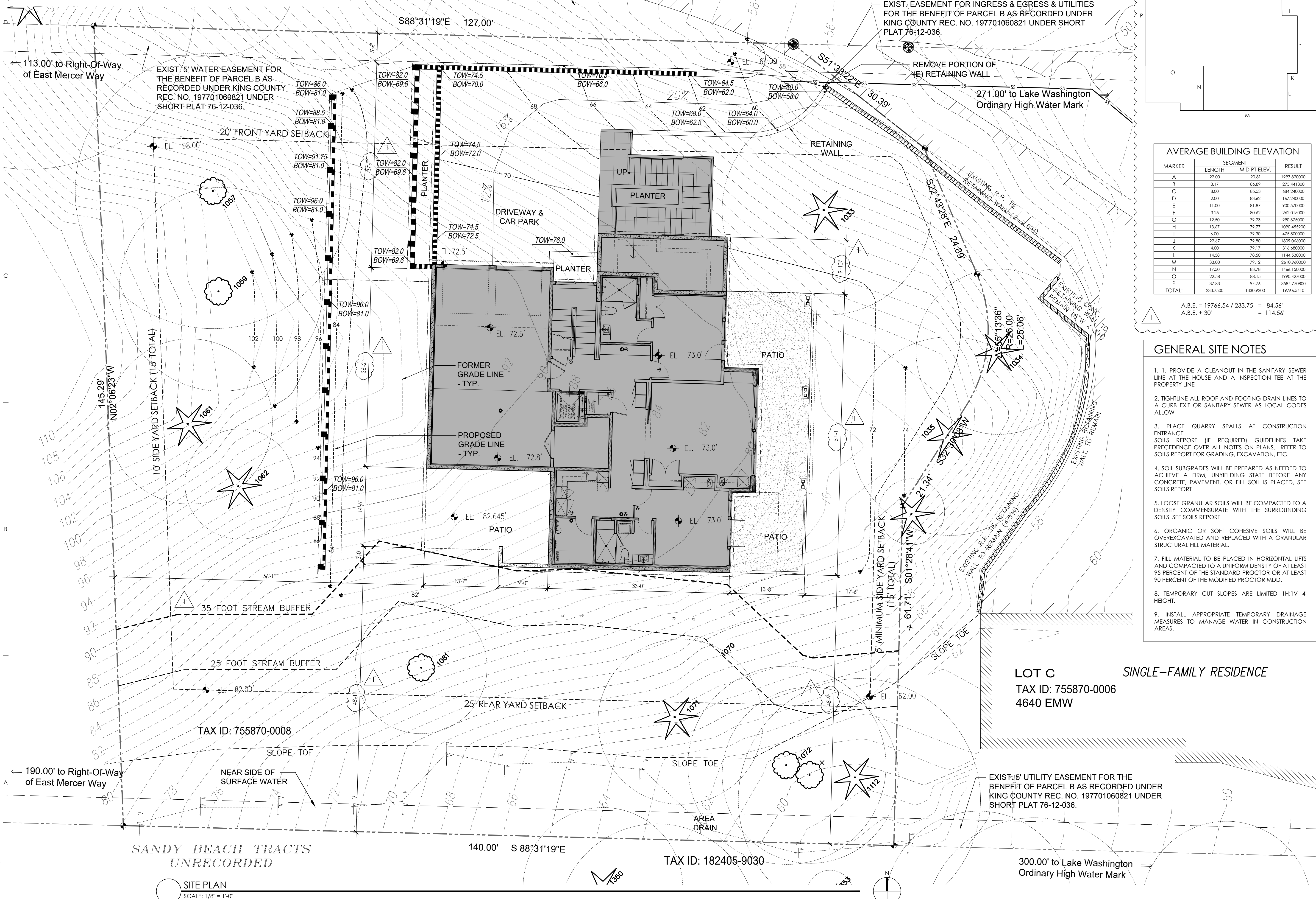
SHEET
6 of 6

SITE SLOPE CALCULATION

| | | |
|--|--|--|
| NORTH PROPERTY LINE LOWEST POINT = 56.8' HIGHEST POINT = 92.0' | MID PROPERTY LOWEST POINT = 67.5' HIGHEST POINT = 110.0' | SOUTH PROPERTY LINE LOWEST POINT = 56.8' HIGHEST POINT = 79.0' |
| DIFFERENCE = 35.2' | DIFFERENCE = 42.5' | DIFFERENCE = 22.2' |
| DISTANCE = 127.00' | DISTANCE = 140.80' | DISTANCE = 140.00' |
| 35.2 / 127.0 = 27.71% LOT SLOPE | 42.5 / 140.80 = 26.43% LOT SLOPE | 22.2 / 140.0 = 15.88% LOT SLOPE |

NOTE:
REFER TO CIVIL SHEET 3 OF 4 FOR INFORMATION REGARDING
WATER SERVICE, GAS SERVICE, ELECTRICAL SERVICE, SANITARY
SEWER, AND STORM DRAINAGE

END OF 2 INCH PVC
STUBBED OUT FOR WATER
A HYDRANT IS N47°38'50"W
AT A DISTANCE OF 202.57'



AVERAGE BUILDING ELEVATION

| MARKER | SEGMENT | MID PT. ELEV. | RESULT |
|--------|----------|---------------|-------------|
| A | 22.00 | 90.81 | 1997.820000 |
| B | 3.17 | 86.89 | 275.441300 |
| C | 8.00 | 85.53 | 684.240000 |
| D | 2.00 | 83.62 | 167.240000 |
| E | 11.00 | 81.87 | 905.370000 |
| F | 3.25 | 80.42 | 262.015000 |
| G | 12.50 | 79.23 | 993.375000 |
| H | 13.67 | 79.77 | 1090.459000 |
| I | 6.00 | 79.30 | 475.800000 |
| J | 22.67 | 79.80 | 1809.066000 |
| K | 4.00 | 79.17 | 316.480000 |
| L | 14.58 | 78.50 | 1144.530000 |
| M | 33.00 | 79.12 | 2610.960000 |
| N | 17.50 | 83.78 | 1466.150000 |
| O | 22.58 | 88.15 | 1990.427000 |
| P | 37.83 | 94.76 | 3584.770000 |
| TOTAL: | 233.7500 | 1330.9200 | 19766.5410 |

A.B.E. = 19766.54 / 233.75 = 84.56'
A.B.E. + 30' = 114.56'

- GENERAL SITE NOTES**
1. PROVIDE A CLEANOUT IN THE SANITARY SEWER LINE AT THE HOUSE AND AN INSPECTION TEE AT THE PROPERTY LINE
 2. TIGHTLINE ALL ROOF AND FOOTING DRAIN LINES TO A CURB EXIT OR SANITARY SEWER AS LOCAL CODES ALLOW
 3. PLACE QUARRY SPALLS AT CONSTRUCTION ENTRANCE SOILS REPORT (IF REQUIRED) GUIDELINES TAKE PRECEDENCE OVER ALL NOTES ON PLANS. REFER TO SOILS REPORT FOR GRADING, EXCAVATION, ETC.
 4. SOIL SUBGRADES WILL BE PREPARED AS NEEDED TO ACHIEVE A FIRM, UNYIELDING STATE BEFORE ANY CONCRETE, PAVEMENT, OR FILL SOIL IS PLACED. SEE SOILS REPORT
 5. LOOSE GRANULAR SOILS WILL BE COMPACTED TO A DENSITY COMMENSURATE WITH THE SURROUNDING SOILS. SEE SOILS REPORT
 6. ORGANIC OR SOFT COHESIVE SOILS WILL BE OVEREXCAVATED AND REPLACED WITH A GRANULAR STRUCTURAL FILL MATERIAL.
 7. FILL MATERIAL TO BE PLACED IN HORIZONTAL LIFTS AND COMPACTED TO A UNIFORM DENSITY OF AT LEAST 95 PERCENT OF THE STANDARD PROCTOR OR AT LEAST 90 PERCENT OF THE MODIFIED PROCTOR MDD.
 8. TEMPORARY CUT SLOPES ARE LIMITED 1H:1V 4' HEIGHT.
 9. INSTALL APPROPRIATE TEMPORARY DRAINAGE MEASURES TO MANAGE WATER IN CONSTRUCTION AREAS.

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:
Barcelo homes
PO BOX 1733 AUBURN, WA 98071
Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
MERCER ISLAND, WA 98040

SHEET ISSUE: _____

| | |
|-----------|--------------------|
| 6/24/2015 | PERMIT SUBMITTAL |
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| 6/05/2017 | REVISION TO PERMIT |

MUNICIPALITY REVIEW: _____

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE: _____

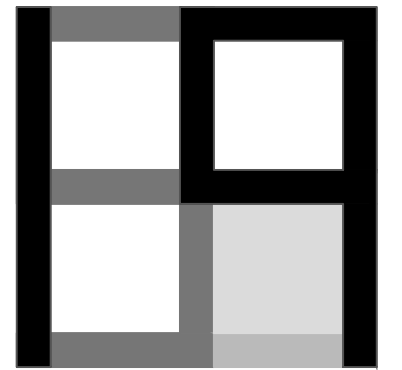
SITE PLAN

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER: _____

A1.01



NOTE:
REFER TO CIVIL SHEET 3 OF 4 FOR INFORMATION REGARDING
WATER SERVICE, GAS SERVICE, ELECTRICAL SERVICE, SANITARY
SEWER, AND STORM DRAINAGE

TREE PLAN KEY NOTES

1. TREE PROTECTION FENCING AT DRIP LINE
2. ALL TRENCHES THAT ARE EXCAVATED WITHIN TREE DRIP LINES SHALL BE EXCAVATED WITH AN AIR SPADE SO THAT UTILITY LINES CAN BE INSTALLED WITHOUT CUTTING MAJOR ROOTS.
3. ROOTS EXPOSED IN OPEN TRENCHES MUST BE KEPT MOIST BY BEING COVERED WITH MOISTENED BURLAP UNTIL THE TRENCH CAN BE CLOSED.

TREE INVENTORY (SEE ARBORIST REPORT)

| EXISTING ONSITE TREES | | REMOVE/RETAIN |
|-----------------------|---------------------|-----------------------|
| ARB SURVEY # | SPECIES | DBH DRIP COND |
| 21 | 1030 DOUGLAS FIR | 36" 26' G REMOVE |
| 22 | 1029 DOUGLAS FIR | 43" 27' G REMOVE |
| 23 | 1028 DOUGLAS FIR | 26" 33' G REMOVE |
| 24 | 1033 DOUGLAS FIR | 43" 23' F RETAIN |
| 25 | 1034 DOUGLAS FIR | 30" 15' G RETAIN |
| 26 | 1035 DOUGLAS FIR | 37" 18' G RETAIN |
| 27 | 1047 DOUGLAS FIR | 37" 21' F REMOVE |
| 28 | 1048 SWEET CHERRY | 8" 22' G REMOVE |
| 29 | 1052 BIGLEAF MAPLE | 36" 30' G REMOVE |
| 30 | 1053 WSTRN RD CEDAR | 9" 13' G REMOVE |
| 31 | 1112 SITKA SPRUCE | 5" 6' P REMOVE |
| 32 | 1072 WSTRN HEMLOCK | 20" 22' G RETAIN |
| 33 | 1072 BIGLEAF MAPLE | 14" 18' G RETAIN |
| 34 | 1072X BIGLEAF MAPLE | 8" 16' F RETAIN |
| 35 | 1071 BIGLEAF MAPLE | 38" 20' F RETAIN |
| 36 | 1070 BIGLEAF MAPLE | 9/8" 20' F RETAIN |
| 37 | 1069 WSTRN RD CEDAR | 15" 12' E REMOVE |
| 38 | 1067 WSTRN RD CEDAR | 41" 16' G REMOVE |
| 39 | 1066 BIGLEAF MAPLE | 32" 35' G REMOVE |
| 40 | 1061 BIGLEAF MAPLE | 18" 18' G RETAIN |
| 41 | 1065 BIGLEAF MAPLE | 34" 35' G REMOVE |
| 42 | 1064 DOUGLAS FIR | 44" 20' F REMOVE |
| 43 | 1063 DOUGLAS FIR | 31" 20' F REMOVE |
| 44 | 1060 DOUGLAS FIR | 34" 23' G REMOVE |
| 45 | 1061 DOUGLAS FIR | 33" 15' G RETAIN |
| 46 | 1062 DOUGLAS FIR | 13" 10' G RETAIN |
| 47 | 1059 BIGLEAF MAPLE | 31" 28' E RETAIN |
| 48 | 1058 BIGLEAF MAPLE | 34" 40' G RETAIN |
| 49 | 1056 DOUGLAS FIR | 13" 20' F REMOVE |
| 50 | 1054 BIGLEAF MAPLE | 40/11" 35' G,F REMOVE |
| 51 | 1051 BIGLEAF MAPLE | 10" 25' F REMOVE |
| 52 | 1053 WSTRN HEMLOCK | 10" 15' F REMOVE |
| 53 | 1050 BIGLEAF MAPLE | 14" 18' F RETAIN |
| A | GRAND FIR | 4" 6' P REMOVE |

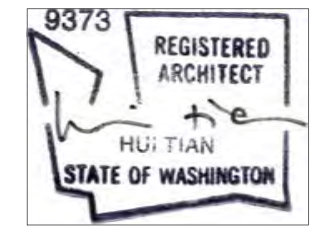
EXISTING OFF SITE TREES

| LOT SURVEY # | SPECIES | DBH DRIP | REMOVE/RETAIN |
|-----------------------------------|---------|----------|----------------------|
| 4624 1023 | MAPLE | 6" 15' | NORTH OF SITE RETAIN |
| 4624 1024 | CEDAR | 14" 20' | NORTH OF SITE RETAIN |
| LOT A 1175 | CEDAR | 48" 35' | RETAIN |
| LOT A 1234 | DECID. | 4" 9' | RETAIN |
| LOT A 1339 | DECID. | 4" 7' | RETAIN |
| LOT D 1308 | CEDAR | 38" 20' | RETAIN |
| LOT D 1329 | CEDAR | 22" 16' | RETAIN |
| LOT D 1326 | DECID. | 10" 6' | RETAIN |
| LOT D 1344 | CEDAR | 24" 10' | RETAIN |
| LOT D 1346 | CEDAR | 22" 9' | RETAIN |
| LOT D 1347 | CEDAR | 18" 8' | RETAIN |
| LOT D 1348 | CEDAR | 18" 10' | RETAIN |
| LOT D 1349 | CEDAR | 26" 9' | RETAIN |
| ESTIMATED (COULD NOT GAIN ACCESS) | | | |
| 4644 1350 | CEDAR | 22" 20' | RETAIN |
| 4644 1351 | CEDAR | 18" 16' | RETAIN |
| 4644 1352 | DECID. | 8" 10' | RETAIN |
| 4644 1353 | CEDAR | 6" 4' | RETAIN |
| 4644 1354 | CEDAR | 22" 15' | RETAIN |
| 4644 1355 | CEDAR | 16" 10' | RETAIN |
| 4644 1356 | CEDAR | 22" 15' | RETAIN |
| 4644 1357 | CEDAR | 26" 18' | RETAIN |
| 4644 1358 | CEDAR | 12" 12' | RETAIN |
| 4644 1359 | CEDAR | 22" 16' | RETAIN |
| 4644 1360 | DECID. | 6" 7' | RETAIN |
| 4644 1361 | DECID. | 10" 9' | RETAIN |
| 4644 1362 | DECID. | 8" 6' | RETAIN |

TOTAL ON SITE TREES TO BE REMOVED : 20
TOTAL ON SITE TREES TO REMAIN : 14
TOTAL OFF SITE TREES TO BE REMOVED : 0
SEE ARBORIST REPORT FOR MORE INFORMATION.

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:

PO BOX 1733 AUBURN, WA 98071
Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
MERCER ISLAND, WA 98040

SHEET ISSUE: _____

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MARK DATE DESCRIPTION

MUNICIPALITY REVIEW: _____

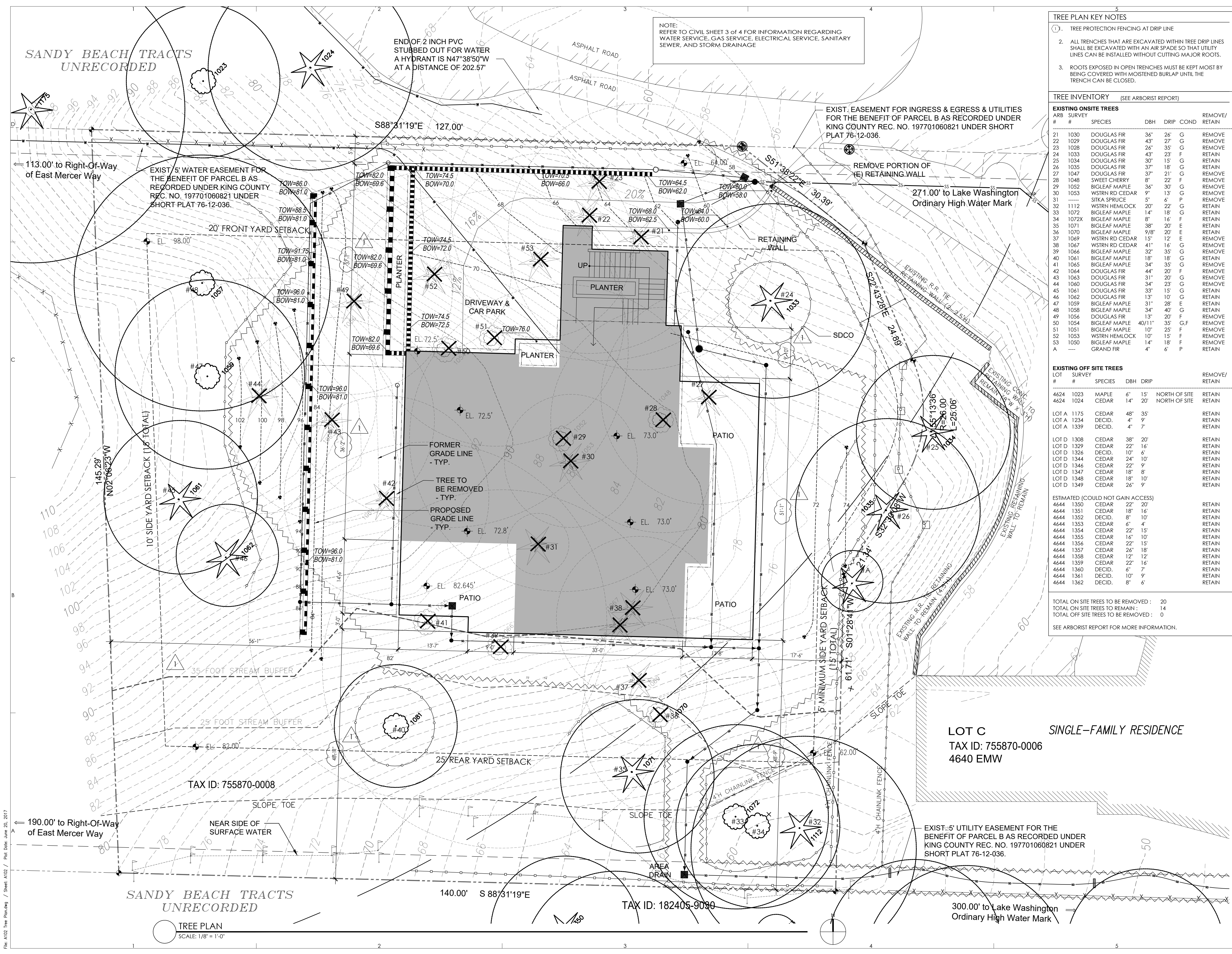
PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE: _____

TREE PLAN

PROJECT NO.: 20140904
DATE ISSUED: 6/05/2017

SHEET NUMBER: A1.02



SANDY BEACH TRACTS UNRECORDED

LOT C
TAX ID: 755870-0006
4640 EMW

TREE PLAN
SCALE: 1/8" = 1'-0"



GENERAL NOTES

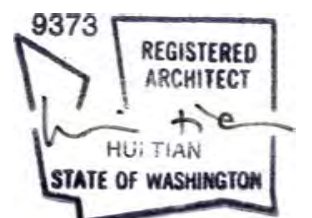
- 1-HR FIRE RATED ASSEMBLY BETWEEN GARAGE AND DWELLING, AND USABLE SPACE BELOW STAIR, SEE SHEET A2.01.
- 1/2" GYPSUM BOARD ON GARAGE SIDE REQUIRED AT WALLS SEPARATING GARAGE AND DWELLING.
- GARAGE CEILING REQUIRES 5/8" TYPE X GYPSUM BOARD, AND SUPPORTING STRUCTURE REQUIRES 1/2" GYPSUM BOARD.
- 1-3/8" THICK MINIMUM SOLID CORE OR 20 MINUTE DOOR REQUIRED BETWEEN GARAGE AND DWELLING, SEE SHEET A9.01.
- KITCHEN, BATHROOMS, LAUNDRY ROOM MUST BE VENTED MECHANICALLY PER SRC TABLE M1507.3.
- NON COMBUSTIBLE SURFACE ON GARAGE FLOORS (SRC R309.1).
- RESIDENTIAL ELEVATORS #950 HYD HP1 S 15 RH RAIL. PRIVATE RESIDENCE ELEVATORS SHALL COMPLY WITH ASME A17.1 AS REQUIRED BY IRC SECTION R323.1. ELEVATOR TO BE INSTALLED BY A LICENSED ELEVATOR CONTRACTOR AND SHALL HAVE YEARLY SAFETY INSPECTIONS AS REQUIRED BY WASHINGTON STATE DEPT. OF LABOR AND INDUSTRIES.

WALL TYPES

- W1** EXTERIOR BELOW GRADE CONCRETE WALLS
PROTECTION BOARD OVER
DRAINAGE MATT / DAMPROOFING OVER
REINFORCED CONCRETE WALL (PER STRUCTURAL)
WITH 1" AIR SPACE
WITH R-21 SPRAY FOAM INSULATION MIN. (OR EQUAL)
WITH 2x4 / 2x6 FRAMING @ 16" O.C. (PER STRUCTURAL)
WITH 1/2" GYPSUM WALL BOARD
WITH VAPOR BARRIER PVA PRIMER
FINISH PER INTERIORS
- W2** INTERIOR CONCRETE WALLS
FINISH PER INTERIORS OVER
1/2" GYPSUM WALL BOARD OVER DRAINAGE MATT / DAMPROOFING
OVER 2x4 / 2x6 FRAMING @ 16" O.C. (PER STRUCTURAL) OVER
1" AIR SPACE OVER
REINFORCED CONCRETE WALL (PER STRUCTURAL)
WITH 1" AIR SPACE
WITH 2x4 / 2x6 FRAMING @ 16" O.C. (PER STRUCTURAL)
WITH 1/2" GYPSUM WALL BOARD
WITH VAPOR BARRIER PVA PRIMER
FINISH PER INTERIORS
- W3** INTERIOR GARAGE TO HEATED SPACE 2x6 WALL ASSEMBLY
(1 HOUR RATED)
FINISH COAT EACH SIDE OVER
VAPOR BARRIER PVC PRIMER EACH SIDE OVER
5/8" GYPSUM WALLBOARD EACH SIDE (TYPE-X AT GARAGE) OVER
2x6 STUDS @ 16" O.C. OR AS NOTED.
R 21 FIBERGLASS INSULATION
- W4** INTERIOR FRAMED WALL ASSEMBLY (2x4)
FINISH COAT EACH SIDE OVER
VAPOR BARRIER PVC PRIMER EACH SIDE OVER
1/2" GYPSUM WALLBOARD EACH SIDE (SUBSTITUTE GREEN BOARD @
ALL BATHROOM WALLS) OVER
2X4 FRAMING
SOUND ATTENUATION INSULATION AT ALL BEDROOMS, BATHROOMS,
MECHANICAL ROOMS, AND AS NOTED ON PLAN.
- W5** INTERIOR FRAMED WALL ASSEMBLY - DOUBLE STUD (2x4)
FINISH COAT EACH SIDE OVER
VAPOR BARRIER PVC PRIMER EACH SIDE OVER
1/2" GYPSUM WALLBOARD EACH SIDE OVER
DOUBLE ROW 2X4 FRAMING @ 16" O.C. (U.N.O.) OR
SINGLE ROW 2x4 + SINGLE ROW 2x6 @ 16" O.C. (SEE PLAN)
SOUND ATTENUATION INSULATION AT ALL BEDROOMS, BATHROOMS,
MECHANICAL ROOMS, AND AS NOTED ON PLAN.
- W6** INTERIOR FRAMED WALL ASSEMBLY (2x6)
FINISH COAT EACH SIDE OVER
VAPOR BARRIER PVC PRIMER EACH SIDE OVER
1/2" GYPSUM WALLBOARD EACH SIDE (SUBSTITUTE GREEN BOARD @
ALL BATHROOM WALLS) OVER
2X6 FRAMING
SOUND ATTENUATION INSULATION AT ALL BEDROOMS, BATHROOMS,
MECHANICAL ROOMS, AND AS NOTED.
- W7** INTERIOR 1 HR FIRE RATED WALL ASSEMBLY
FINISH COAT EACH SIDE OVER
VAPOR BARRIER PVC PRIMER EACH SIDE OVER
5/8" GYPSUM TYPE 'X' WALLBOARD EACH SIDE OVER
2X4 FRAMING @ 16" O.C.
SOUND ATTENUATION INSULATION AT ALL BEDROOMS, BATHROOMS,
MECHANICAL ROOMS, AND AS NOTED.
- W8** EXTERIOR 2x6 WALL ASSEMBLY
EXTERIOR FINISH PER ELEVATIONS OVER
RAINSCREEN DRAINAGE SYSTEM
W/ CLIP SYSTEM AS INDICATED OVER
WEATHER RESISTIVE BARRIER OVER
PLYWOOD SHEATHING PER STRUCTURAL OVER
2x6 STUDS @ 16" O.C.
WITH R-21 INSULATION (MIN)
WITH 1/2" GYPSUM WALL BOARD
WITH VAPOR BARRIER PVA PRIMER
FINISH PER INTERIORS

CONSULTANT:

PROFESSIONAL SEAL:



PROJECT:

a project for:
Barcelo homes
PO BOX 1733 AUBURN, WA 98071
Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
MERCER ISLAND, WA 98040

SHEET ISSUE:

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| 6/24/2015 | PERMIT SUBMITTAL |
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MUNICIPALITY REVIEW:

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE:

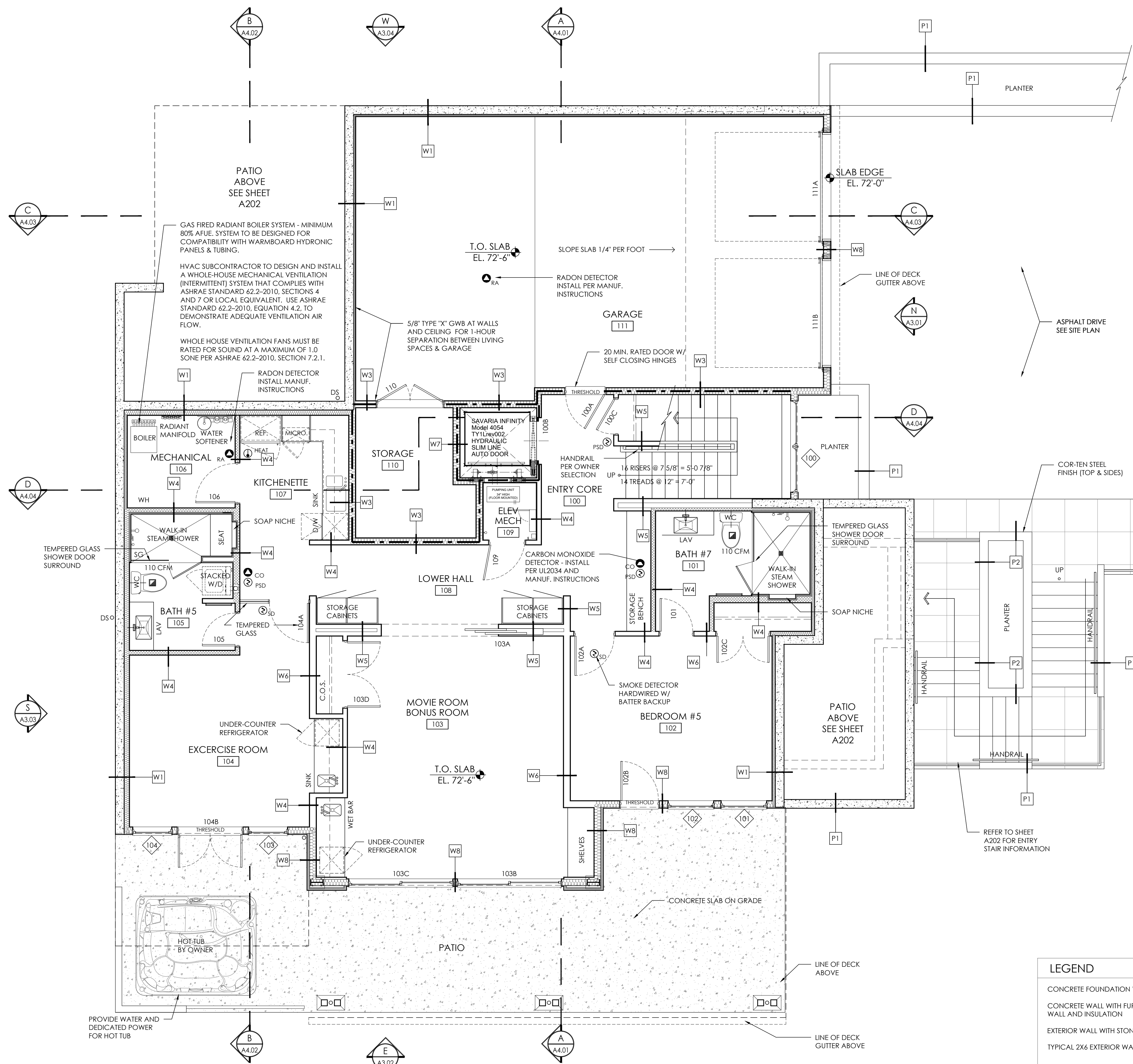
LEVEL 1 FLOOR PLAN

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER:

A2.01



LEGEND

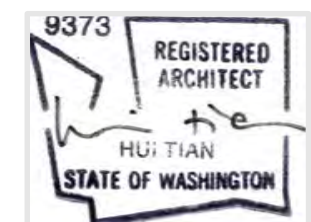
| | |
|---|----------------------------|
| CONCRETE FOUNDATION WALL | TYPICAL 2X4 INTERIOR WALL |
| CONCRETE WALL WITH FURRED WALL AND INSULATION | WALL WITH SOUND INSULATION |
| EXTERIOR WALL WITH STONE | 1-HR FIRE RATED WALL |
| TYPICAL 2X6 EXTERIOR WALL | |

A1 LEVEL 1 - FLOOR PLAN
SCALE: 1/4" = 1'-0"
(1,716 SF LIVING + 898 SF GARAGE)

File: A201 Level 1 Floor Plan.dwg / Sheet: A201 / Plot Date: June 5, 2017

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:

 PO BOX 1733 AUBURN, WA 98071
 Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
 MERCER ISLAND, WA 98040

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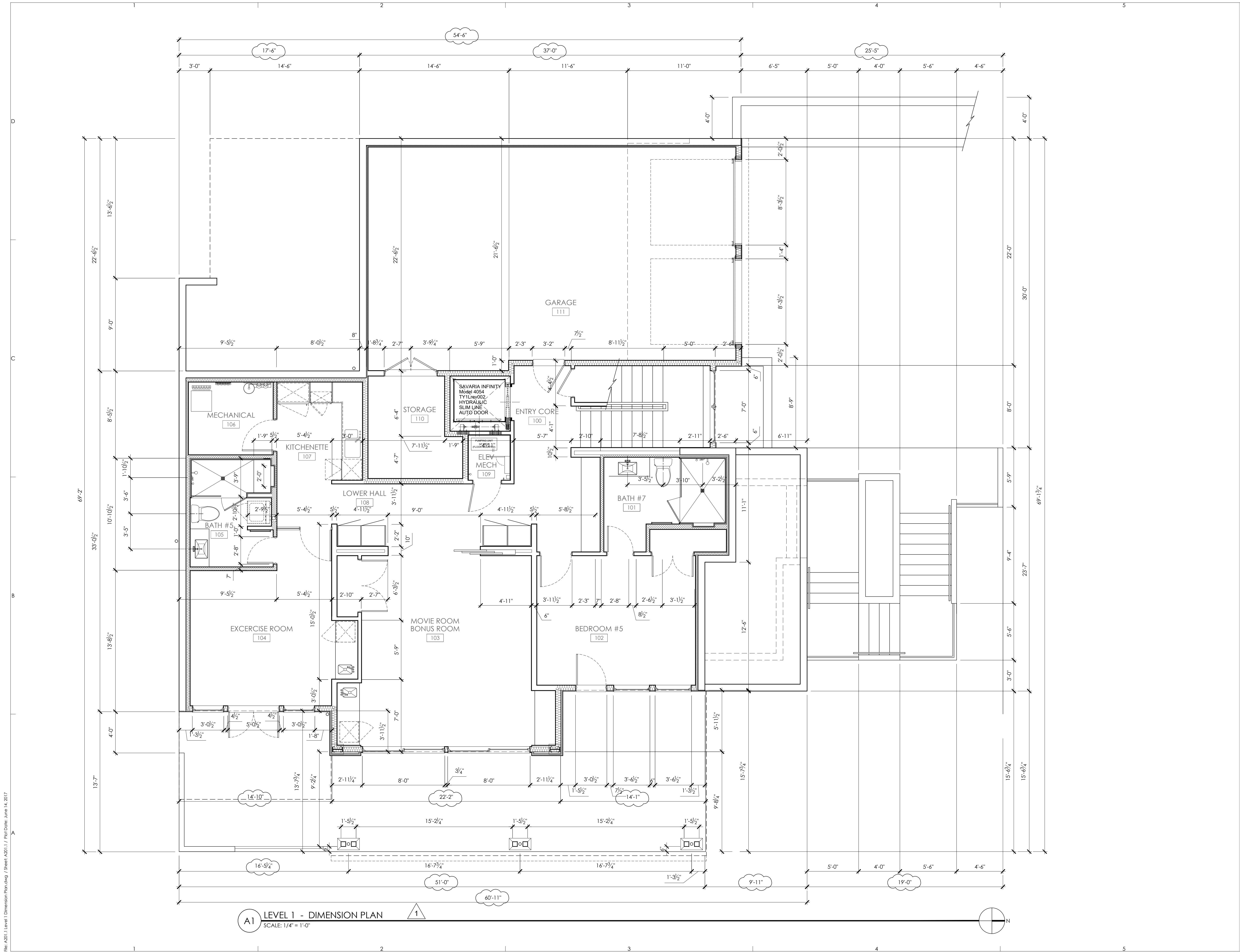
LEVEL 1
 DIMENSION PLAN

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER: _____

A2.01.1



A1 LEVEL 1 - DIMENSION PLAN
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

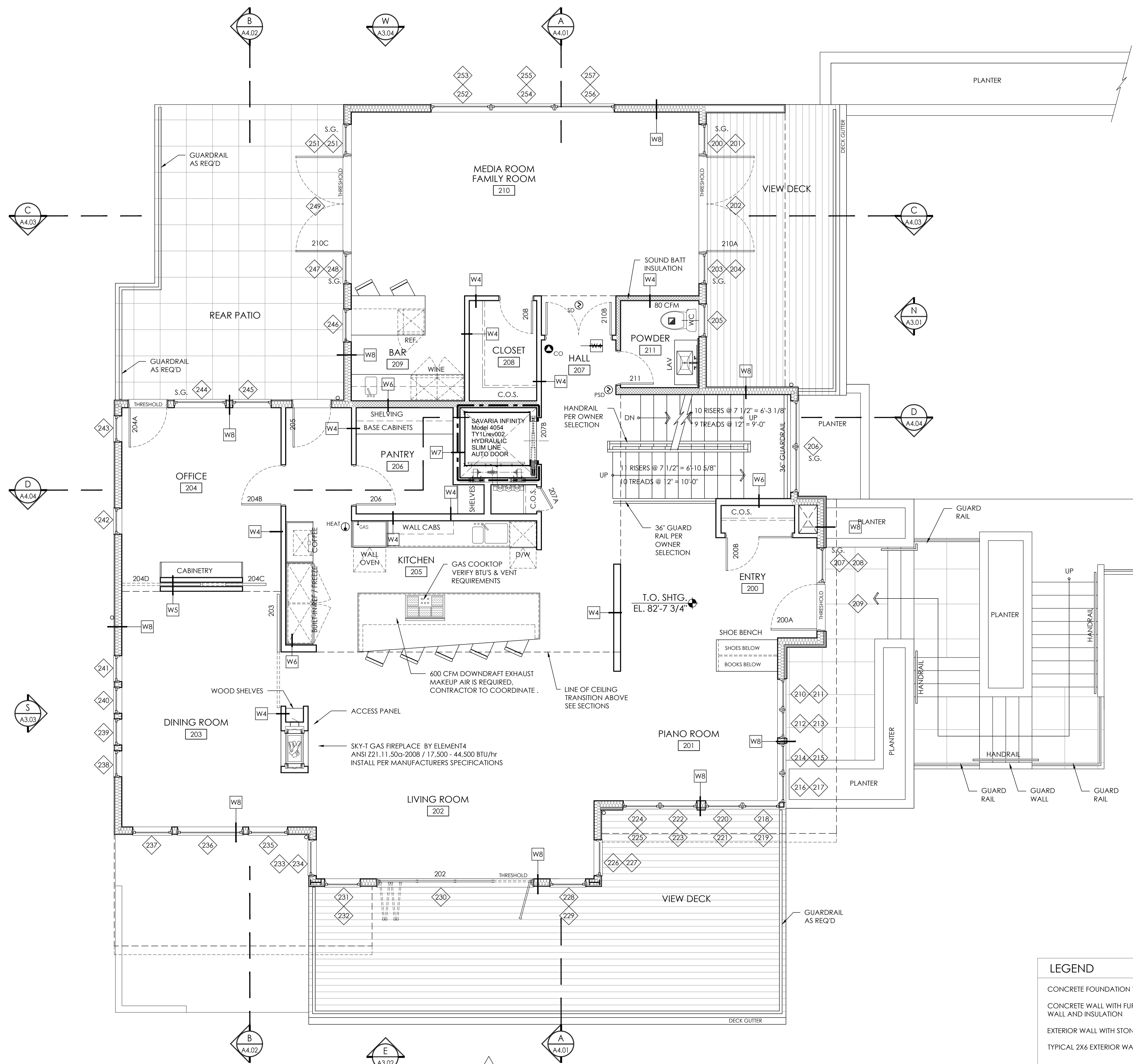
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WALL TYPES

- W1** EXTERIOR BELOW GRADE CONCRETE WALLS
 PROTECTION BOARD OVER
 DRAINAGE MATT / DAMPROOFING OVER
 REINFORCED CONCRETE WALL (PER STRUCTURAL)
 WITH 1" AIR SPACE
 WITH R-21 SPRAY FOAM INSULATION MIN. (OR EQUAL)
 WITH 2x4 / 2x6 FRAMING @ 16" O.C. (PER STRUCTURAL)
 WITH 1/2" GYPSUM WALL BOARD
 WITH VAPOR BARRIER PVA PRIMER
 FINISH PER INTERIORS
- W2** INTERIOR CONCRETE WALLS
 FINISH PER INTERIORS OVER
 1/2" GYPSUM WALL BOARD OVER DRAINAGE MATT / DAMPROOFING
 OVER 2x4 / 2x6 FRAMING @ 16" O.C. (PER STRUCTURAL) OVER
 1" AIR SPACE OVER
 REINFORCED CONCRETE WALL (PER STRUCTURAL)
 WITH 1" AIR SPACE
 WITH 2x4 / 2x6 FRAMING @ 16" O.C. (PER STRUCTURAL)
 WITH 1/2" GYPSUM WALL BOARD
 WITH VAPOR BARRIER PVA PRIMER
 FINISH PER INTERIORS
- W3** INTERIOR GARAGE TO HEATED SPACE 2x6 WALL ASSEMBLY
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 VAPOR BARRIER PVC PRIMER EACH SIDE OVER
 5/8" GYPSUM WALLBOARD EACH SIDE (TYPE-X AT GARAGE) OVER
 2x6 STUDS @ 16" O.C. OR AS NOTED.
 R-21 FIBERGLASS INSULATION
- W4** INTERIOR FRAMED WALL ASSEMBLY (2x4)
 FINISH COAT EACH SIDE OVER
 VAPOR BARRIER PVC PRIMER EACH SIDE OVER
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 2x4 FRAMING
 SOUND ATTENUATION INSULATION AT ALL BEDROOMS, BATHROOMS,
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- W5** INTERIOR FRAMED WALL ASSEMBLY - DOUBLE STUD (2x4)
 FINISH COAT EACH SIDE OVER
 VAPOR BARRIER PVC PRIMER EACH SIDE OVER
 1/2" GYPSUM WALLBOARD EACH SIDE OVER
 DOUBLE ROW 2x4 FRAMING @ 16" O.C. (U.N.O.) OR
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 SOUND ATTENUATION INSULATION AT ALL BEDROOMS, BATHROOMS,
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 VAPOR BARRIER PVC PRIMER EACH SIDE OVER
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 SOUND ATTENUATION INSULATION AT ALL BEDROOMS, BATHROOMS,
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- W8** EXTERIOR 2x6 WALL ASSEMBLY
 EXTERIOR FINISH PER ELEVATIONS OVER
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 W/ CLIP SYSTEM AS INDICATED OVER
 WEATHER RESISTIVE BARRIER OVER
 PLYWOOD SHEATHING PER STRUCTURAL OVER
 2x6 STUDS @ 16" O.C.
 WITH R-21 INSULATION (MIN)
 WITH 1/2" GYPSUM WALL BOARD
 WITH VAPOR BARRIER PVA PRIMER
 FINISH PER INTERIORS

LEGEND

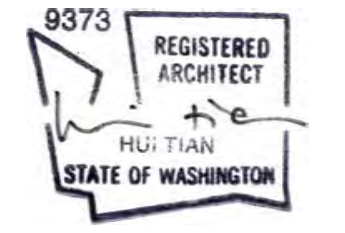
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| CONCRETE FOUNDATION WALL | TYPICAL 2x4 INTERIOR WALL |
| CONCRETE WALL WITH FURRED WALL AND INSULATION | WALL WITH SOUND INSULATION |
| EXTERIOR WALL WITH STONE | 1-HR FIRE RATED WALL |
| TYPICAL 2x6 EXTERIOR WALL | |



A2 LEVEL 2 - FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 (2,408 SF LIVING)

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:

 PO BOX 1733 AUBURN, WA 98071
 Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
 MERCER ISLAND, WA 98040

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MUNICIPALITY REVIEW:

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE:

LEVEL 2
 FLOOR PLAN

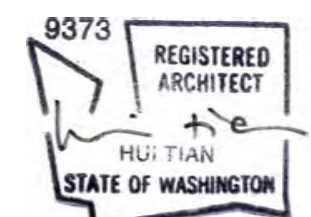
PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER: **A2.02**

CONSULTANT: _____

PROFESSIONAL SEAL: _____



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a project for:

 PO BOX 1733 AUBURN, WA 98071
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EAST MERCER RESIDENCE

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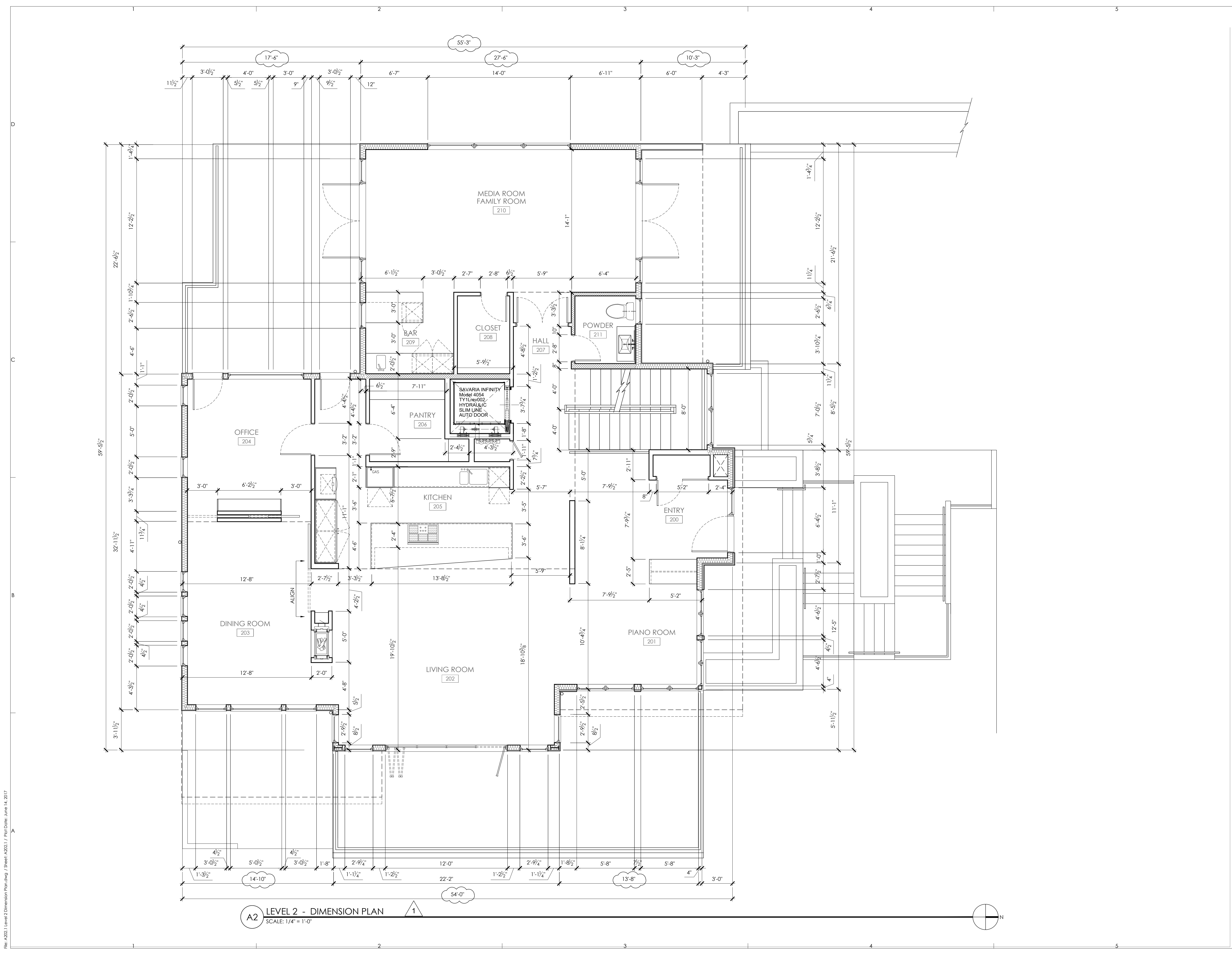
LEVEL 2
 DIMENSION PLAN

PROJECT NO.: 20140904

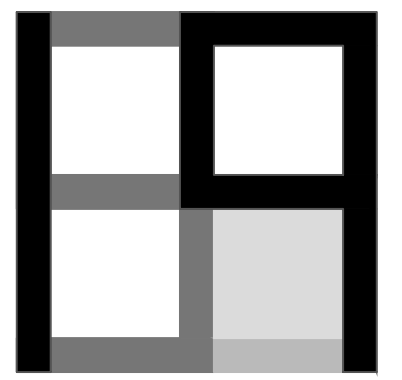
DATE ISSUED: 6/05/2017

SHEET NUMBER: _____

A2.02.1



A2 LEVEL 2 - DIMENSION PLAN
 SCALE: 1/4" = 1'-0"



GENERAL NOTES

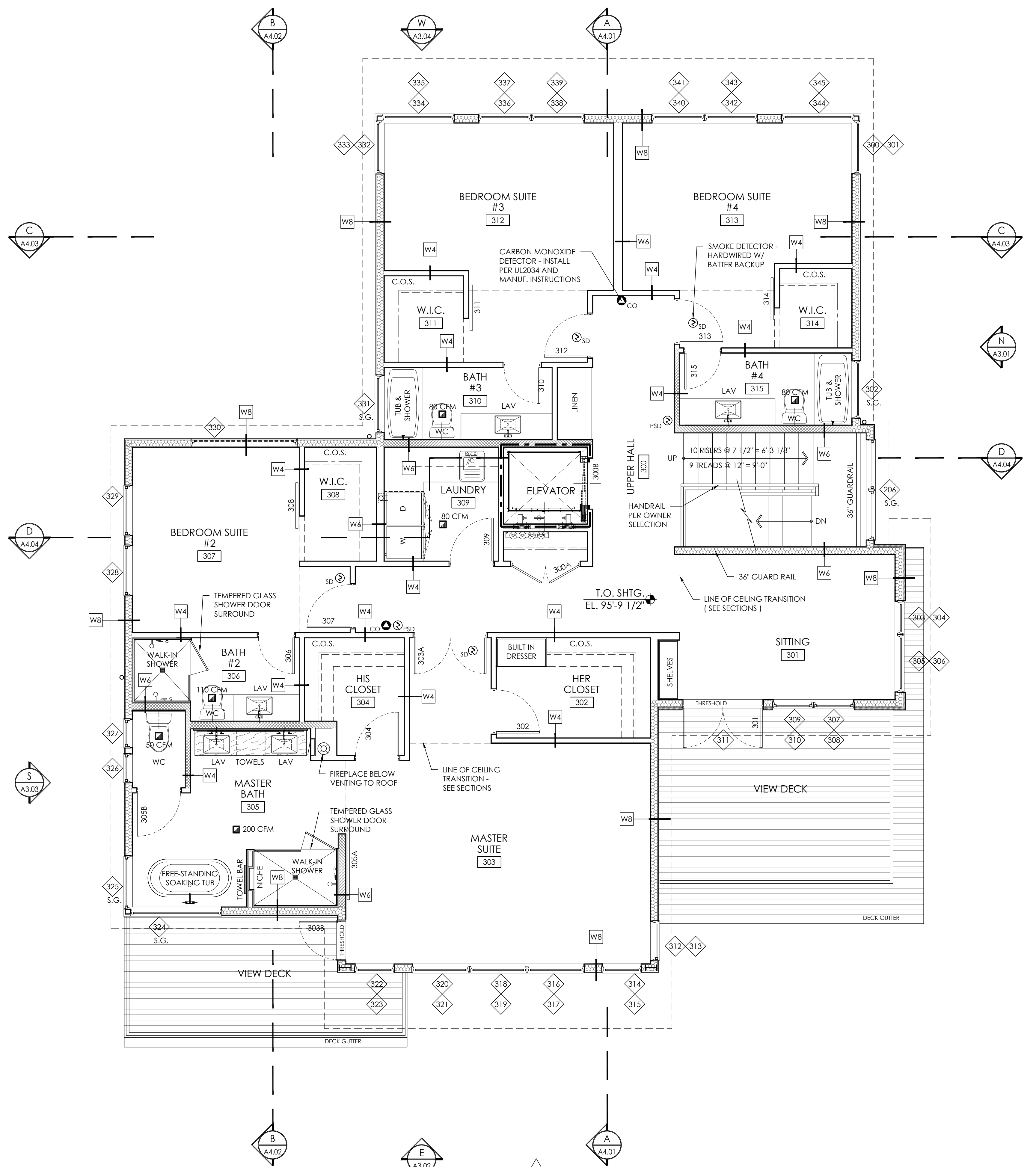
- 1-HR FIRE RATED ASSEMBLY BETWEEN GARAGE AND DWELLING, AND USABLE SPACE BELOW STAIR, SEE SHEET A2.01.
- 1/2" GYPSUM BOARD ON GARAGE SIDE REQUIRED AT WALLS SEPARATING GARAGE AND DWELLING.
- GARAGE CEILINGS REQUIRES 5/8" TYPE X GYPSUM BOARD, AND SUPPORTING STRUCTURE REQUIRES 1/2" GYPSUM BOARD.
- 1-3/8" THICK MINIMUM SOLID CORE OR 20 MINUTE DOOR REQUIRED BETWEEN GARAGE AND DWELLING, SEE SHEET A9.01.
- KITCHEN, BATHROOMS, LAUNDRY ROOM MUST BE VENTED MECHANICALLY PER SRC TABLE M1507.3.
- NON COMBUSTIBLE SURFACE ON GARAGE FLOORS (SRC R309.1).
- RESIDENTIAL ELEVATORS #950 HYD HP1 S 15 RH RAIL. PRIVATE RESIDENCE ELEVATORS SHALL COMPLY WITH ASME A17.1 AS REQUIRED BY IRC SECTION R323.1. ELEVATOR TO BE INSTALLED BY A LICENSED ELEVATOR CONTRACTOR AND SHALL HAVE YEARLY SAFETY INSPECTIONS AS REQUIRED BY WASHINGTON STATE DEPT. OF LABOR AND INDUSTRIES.

WALL TYPES

- W1 EXTERIOR BELOW GRADE CONCRETE WALLS
PROTECTION BOARD OVER
DRAINAGE MATT / DAMPROOFING OVER
REINFORCED CONCRETE WALL (PER STRUCTURAL)
WITH 1" AIR SPACE
WITH R-21 SPREAY FOAM INSULATION MIN. (OR EQUAL)
WITH 2x4 / 2x6 FRAMING @ 16" O.C. (PER STRUCTURAL)
WITH 1/2" GYPSUM WALL BOARD
WITH VAPOR BARRIER PVA PRIMER
FINISH PER INTERIORS
- W2 INTERIOR CONCRETE WALLS
FINISH PER INTERIORS OVER
1/2" GYPSUM WALL BOARD OVER DRAINAGE MATT / DAMPROOFING
OVER 2x4 / 2x6 FRAMING @ 16" O.C. (PER STRUCTURAL) OVER
1" AIR SPACE OVER
REINFORCED CONCRETE WALL (PER STRUCTURAL)
WITH 1" AIR SPACE
WITH 2x4 / 2x6 FRAMING @ 16" O.C. (PER STRUCTURAL)
WITH 1/2" GYPSUM WALL BOARD
FINISH PER INTERIORS
- W3 INTERIOR GARAGE TO HEATED SPACE 2x6 WALL ASSEMBLY
(1 HOUR RATED)
FINISH COAT EACH SIDE OVER
VAPOR BARRIER PVC PRIMER EACH SIDE OVER
5/8" GYPSUM WALLBOARD EACH SIDE (TYPE-X AT GARAGE) OVER
2x6 STUDS @ 16" O.C. OR AS NOTED.
R-21 FIBERGLASS INSULATION
- W4 INTERIOR FRAMED WALL ASSEMBLY (2x4)
FINISH COAT EACH SIDE OVER
VAPOR BARRIER PVC PRIMER EACH SIDE OVER
1/2" GYPSUM WALLBOARD EACH SIDE (SUBSTITUTE GREEN BOARD @
ALL BATHROOM WALLS) OVER
2X4 FRAMING
SOUND ATTENUATION INSULATION AT ALL BEDROOMS, BATHROOMS,
MECHANICAL ROOMS, AND AS NOTED ON PLAN.
- W5 INTERIOR FRAMED WALL ASSEMBLY - DOUBLE STUD (2x4)
FINISH COAT EACH SIDE OVER
VAPOR BARRIER PVC PRIMER EACH SIDE OVER
1/2" GYPSUM WALLBOARD EACH SIDE OVER
DOUBLE ROW 2X4 FRAMING @ 16" O.C. (U.N.O.) OR
SINGLE ROW 2x4 + SINGLE ROW 2x6 @ 16" O.C. (SEE PLAN)
SOUND ATTENUATION INSULATION AT ALL BEDROOMS, BATHROOMS,
MECHANICAL ROOMS, AND AS NOTED ON PLAN.
- W6 INTERIOR FRAMED WALL ASSEMBLY (2x6)
FINISH COAT EACH SIDE OVER
VAPOR BARRIER PVC PRIMER EACH SIDE OVER
1/2" GYPSUM WALLBOARD EACH SIDE (SUBSTITUTE GREEN BOARD @
ALL BATHROOM WALLS) OVER
2X6 FRAMING
SOUND ATTENUATION INSULATION AT ALL BEDROOMS, BATHROOMS,
MECHANICAL ROOMS, AND AS NOTED.
- W7 INTERIOR 1 HR FIRE RATED WALL ASSEMBLY
FINISH COAT EACH SIDE OVER
VAPOR BARRIER PVC PRIMER EACH SIDE OVER
5/8" GYPSUM TYPE 'X' WALLBOARD EACH SIDE OVER
2X4 FRAMING @ 16" O.C.
SOUND ATTENUATION INSULATION AT ALL BEDROOMS, BATHROOMS,
MECHANICAL ROOMS, AND AS NOTED.
- W8 EXTERIOR 2x6 WALL ASSEMBLY
EXTERIOR FINISH PER ELEVATIONS OVER
RAINSCREEN DRAINAGE SYSTEM
W/ CLIP SYSTEM AS INDICATED OVER
WEATHER RESISTIVE BARRIER OVER
PLYWOOD SHEATHING PER STRUCTURAL OVER
2x6 STUDS @ 16" O.C.
WITH R-21 INSULATION (MIN)
WITH 1/2" GYPSUM WALL BOARD
WITH VAPOR BARRIER PVA PRIMER
FINISH PER INTERIORS

LEGEND

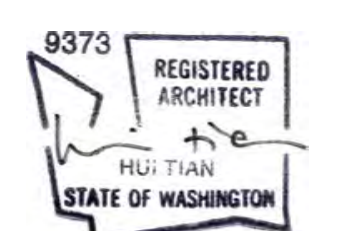
| | |
|---|----------------------------|
| CONCRETE FOUNDATION WALL | TYPICAL 2X4 INTERIOR WALL |
| CONCRETE WALL WITH FURRED WALL AND INSULATION | WALL WITH SOUND INSULATION |
| EXTERIOR WALL WITH STONE | 1-HR FIRE RATED WALL |
| TYPICAL 2X6 EXTERIOR WALL | |



A3 LEVEL 3 - FLOOR PLAN (2,364 SF LIVING)
SCALE: 1/4" = 1'-0"

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:
Barcelo homes
PO BOX 1733 AUBURN, WA 98071
Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
MERCER ISLAND, WA 98040

SHEET ISSUE:

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| 6/24/2015 | PERMIT SUBMITTAL |
| 8/29/2016 | PERMIT APPROVED |
| 6/05/2017 | REVISION TO PERMIT |

MARK DATE DESCRIPTION

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PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE: _____

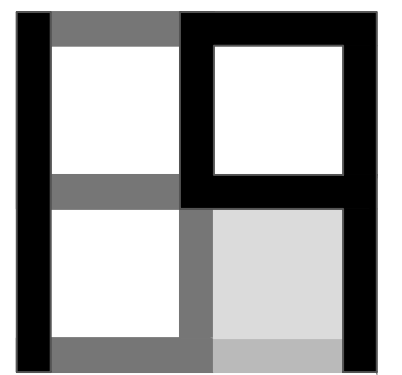
LEVEL 3 FLOOR PLAN

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

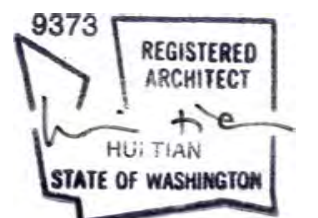
SHEET NUMBER: _____

A2.03



CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:
Barcelo homes
 PO BOX 1733 AUBURN, WA 98071
 Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
MERCER ISLAND, WA 98040

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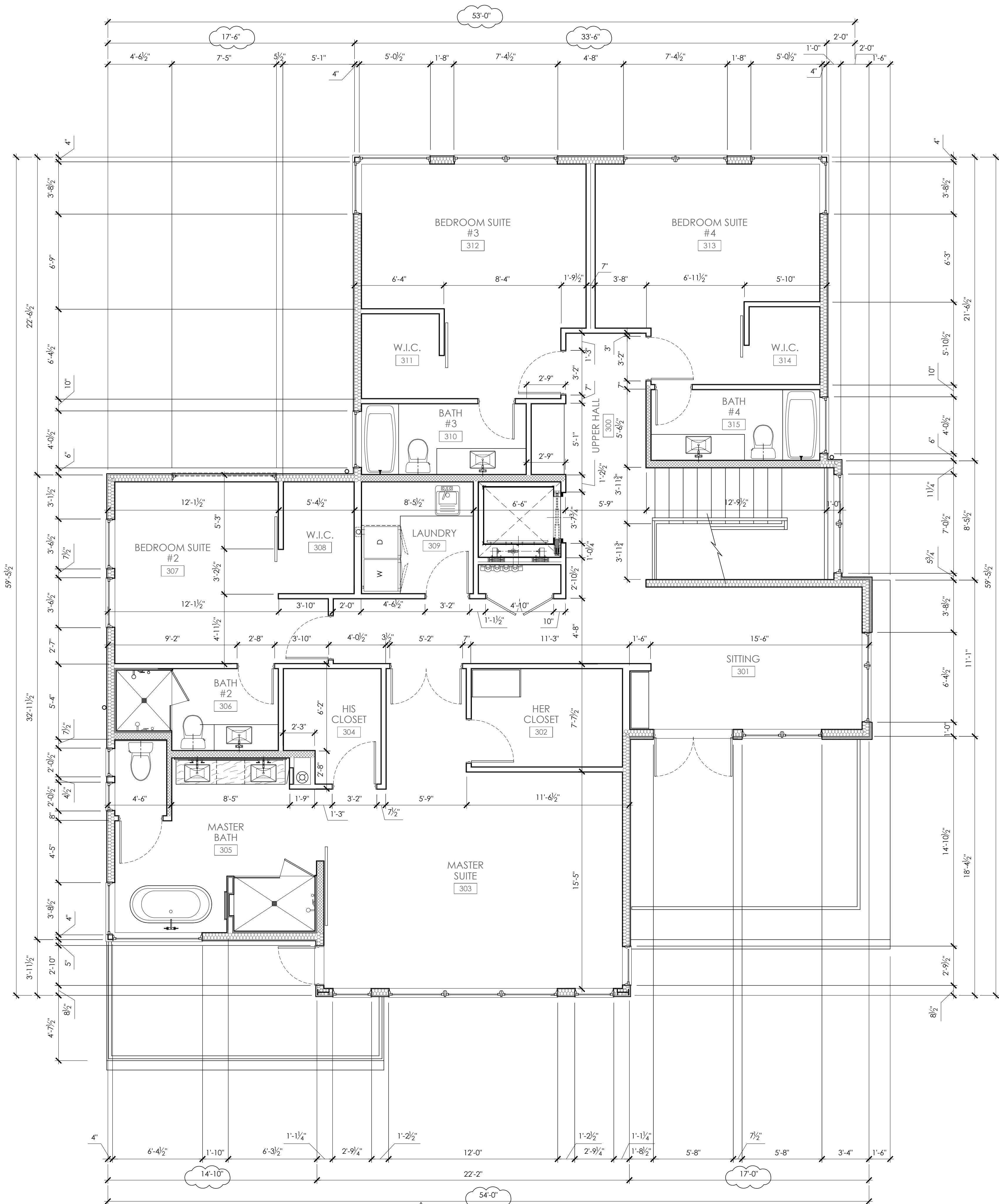
LEVEL 3
DIMENSION PLAN

PROJECT NO.: 20140904

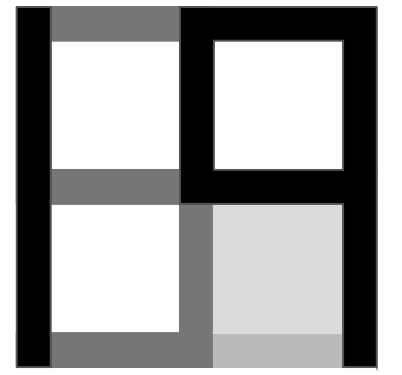
DATE ISSUED: 6/05/2017

SHEET NUMBER: _____

A2.03.1

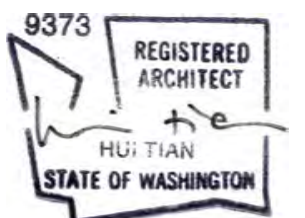


A3 LEVEL 3 - DIMENSION PLAN
SCALE: 1/4" = 1'-0"



CONSULTANT:

PROFESSIONAL SEAL:



PROJECT:

a project for:
Barcelo homes
PO BOX 1733 AUBURN, WA 98071
Phone: (206) 724-1072

EAST MERCER RESIDENCE

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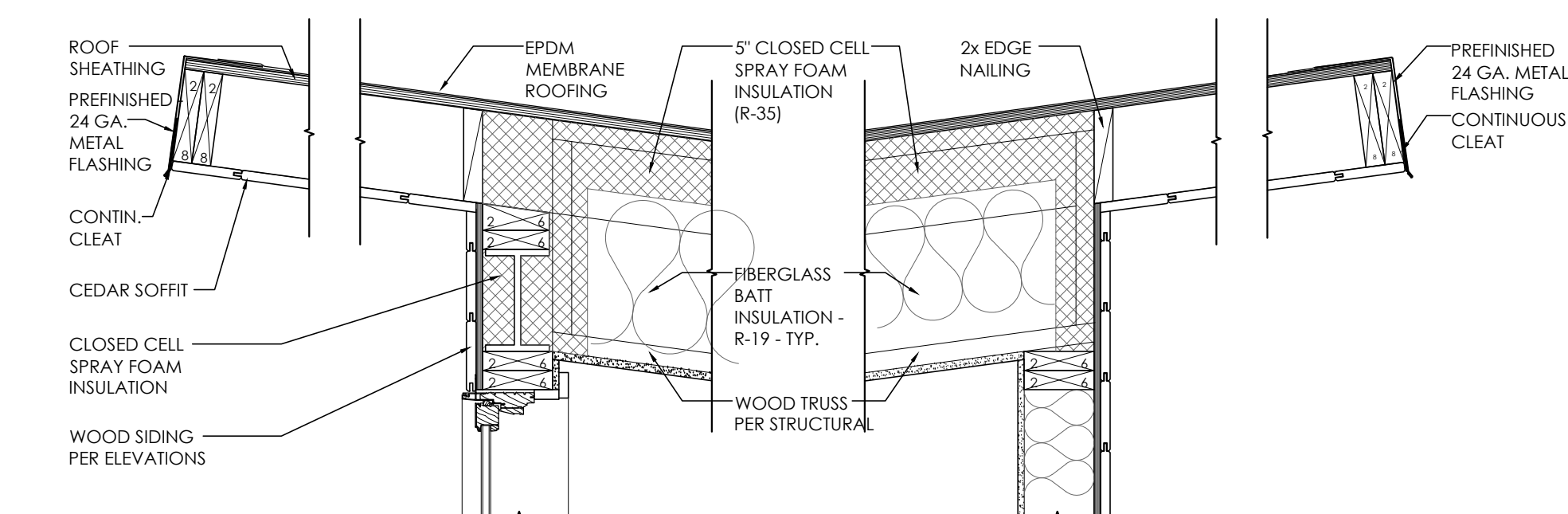
ROOF PLAN

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

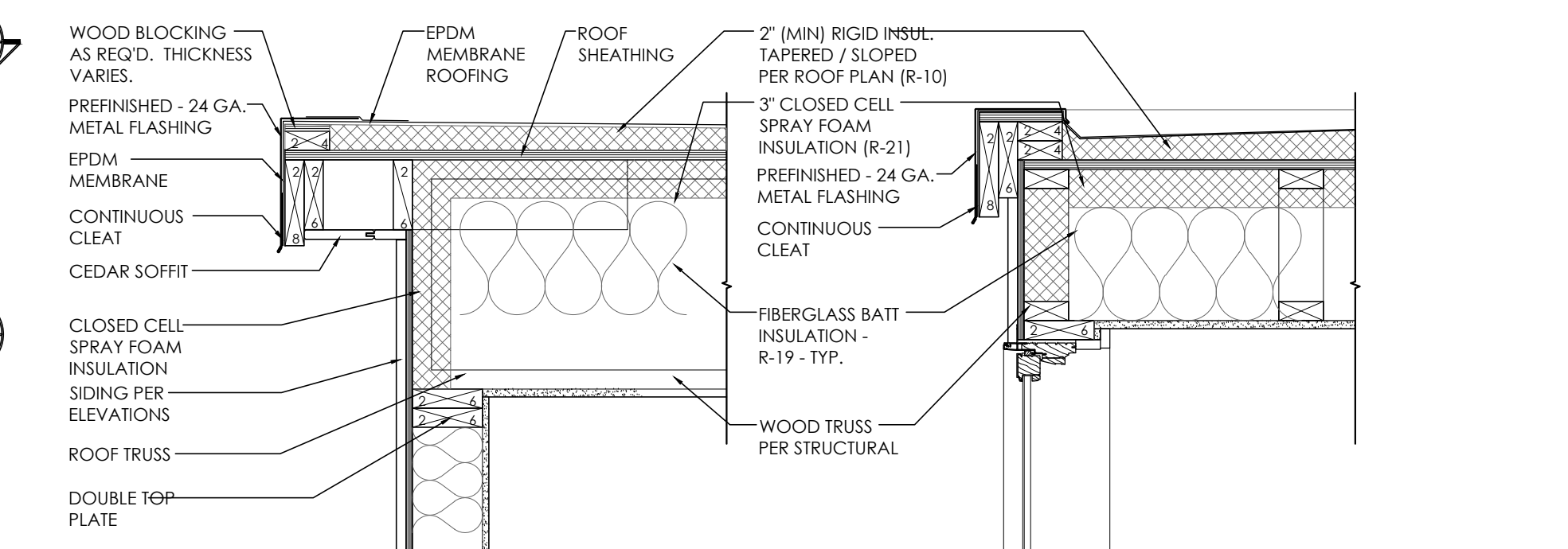
SHEET NUMBER:

A2.04



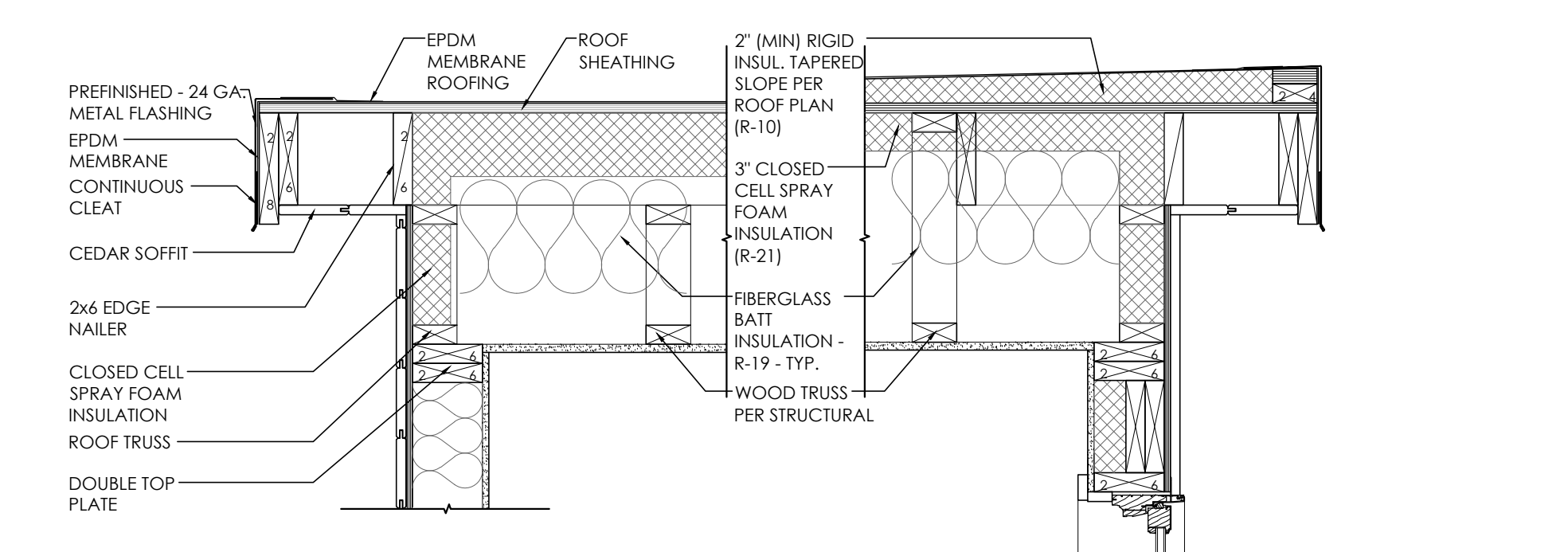
D1 ROOF EDGE DETAIL
SCALE: 1" = 1'-0"

D2 ROOF EDGE DETAIL
SCALE: 1" = 1'-0"



D3 ROOF EDGE DETAIL
SCALE: 1" = 1'-0"

D4 ROOF EDGE DETAIL
SCALE: 1" = 1'-0"



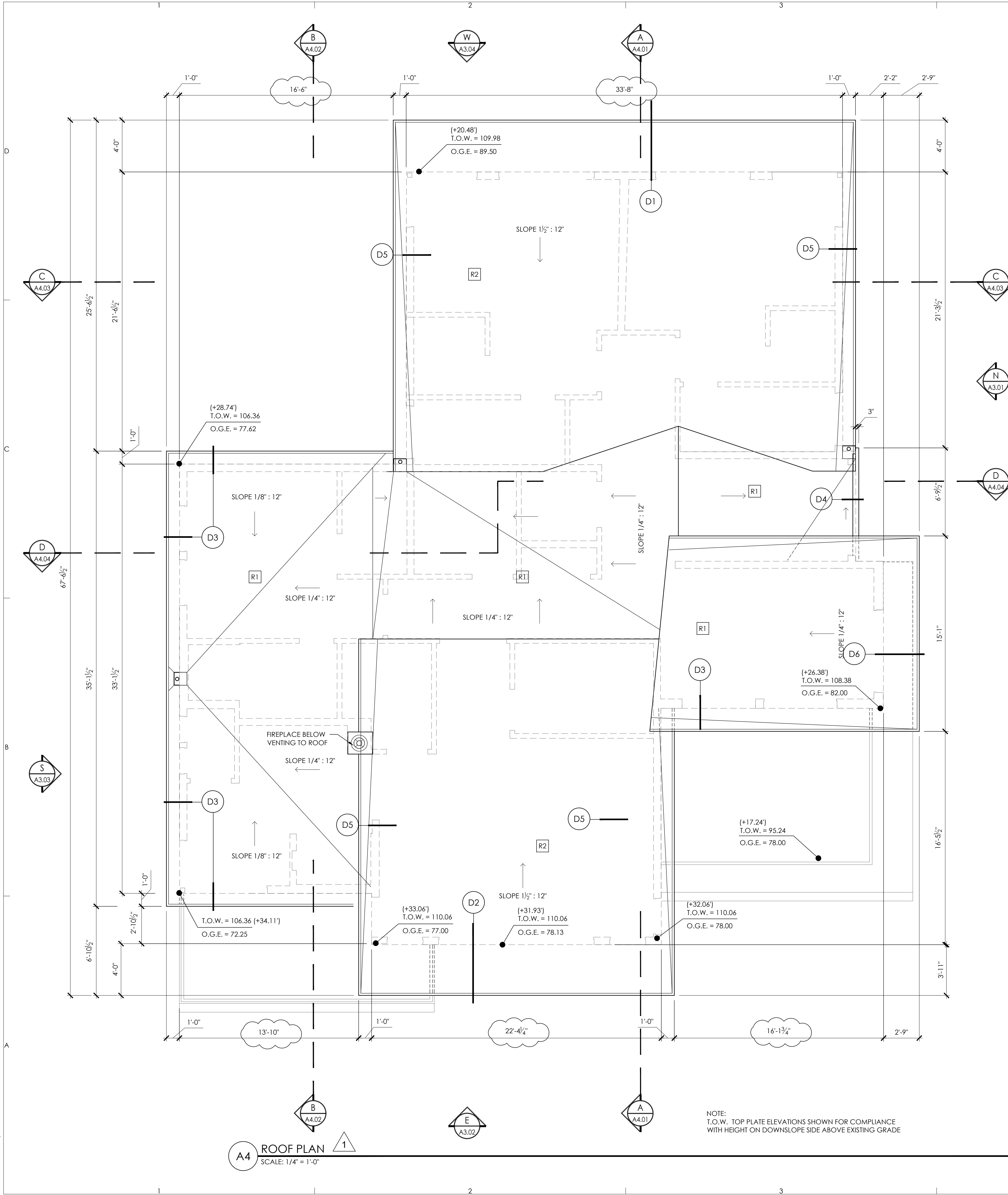
D5 ROOF EDGE DETAIL
SCALE: 1" = 1'-0"

D6 ROOF EDGE DETAIL
SCALE: 1" = 1'-0"

- R1** FLAT ROOF / ROOF DECK ASSEMBLY
3-PLY EPDM SELF-ADHERING MEMBRANE (SELF-ADHERING CAP SHT OVER SELF-ADHERING BASE SHT OVER MECHANICALLY-ADHERED BASE SHT) OVER TAPERED INSULATION (MIN. R-10 AT LOW POINT) OVER 2 LAYERS OF 30 LB. ROOFING FELTS OVER 3/4 PLYWOOD SHEATHING PER STRUCT. OVER 3" (R-21) SPRAY APPLIED CLOSED CELL INSULATION W/ VAPOR BARRIER TO UNDERSIDE OF DECKING R-19 FIBERGLASS BATT INSULATION (FOR TOTAL ASSEMBLY R-VALUE OF R-50) ROOF TRUSSES/FRAMING PER STRUCT. W/ 5/8 GYPSUM WALLBOARD & FINISH PER OWNER SELECTION
- R2** FLAT ROOF / ROOF DECK ASSEMBLY
3-PLY EPDM SELF-ADHERING MEMBRANE (SELF-ADHERING CAP SHT OVER SELF-ADHERING BASE SHT) OVER MECHANICALLY-ADHERED BASE SHT) OVER 3/4 PLYWOOD SHEATHING PER STRUCT. 5" (R-35) SPRAY APPLIED CLOSED CELL INSULATION W/ VAPOR BARRIER TO UNDERSIDE OF DECKING R-19 FIBERGLASS BATT INSULATION (FOR TOTAL ASSEMBLY R-VALUE OF R-54) ROOF TRUSSES/FRAMING PER STRUCT. W/ 5/8 GYPSUM WALLBOARD & FINISH PER OWNER SELECTION

ROOF NOTES

- ALL WATERPROOFING SHOWN IS FOR DESIGN INTENT ONLY. ALL ELEMENTS OF THE WATERPROOFING SYSTEMS, DETAILS OF INSTALLATION, AND COORDINATION WITH ADJACENT MATERIALS AND FINISHES IS THE RESPONSIBILITY OF THE DESIGN-BUILD SUBCONTRACTOR FOR SUCH SYSTEM(S).
 - UNVENTED ROOF ASSEMBLY PROPOSED. R-10 RIGID INSULATION ABOVE SHEATHING (WHERE APPLICABLE) WITH AIR-IMPERMEABLE SPRAY FOAM INSULATION BELOW.
 - ALL ROOF PENETRATIONS, SUCH AS VENT STACKS, ETC., TO BE GROUPED TOGETHER AND LOCATED AS FAR AWAY FROM THE ROOF EDGE AS POSSIBLE.
- WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.



A4 ROOF PLAN
SCALE: 1/4" = 1'-0"

CONSULTANT:

PROFESSIONAL SEAL:



PROJECT:

a project for:

 PO BOX 1733 AUBURN, WA 98071
 Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
 MERCER ISLAND, WA 98040

SHEET ISSUE:

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MUNICIPALITY REVIEW:

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE:

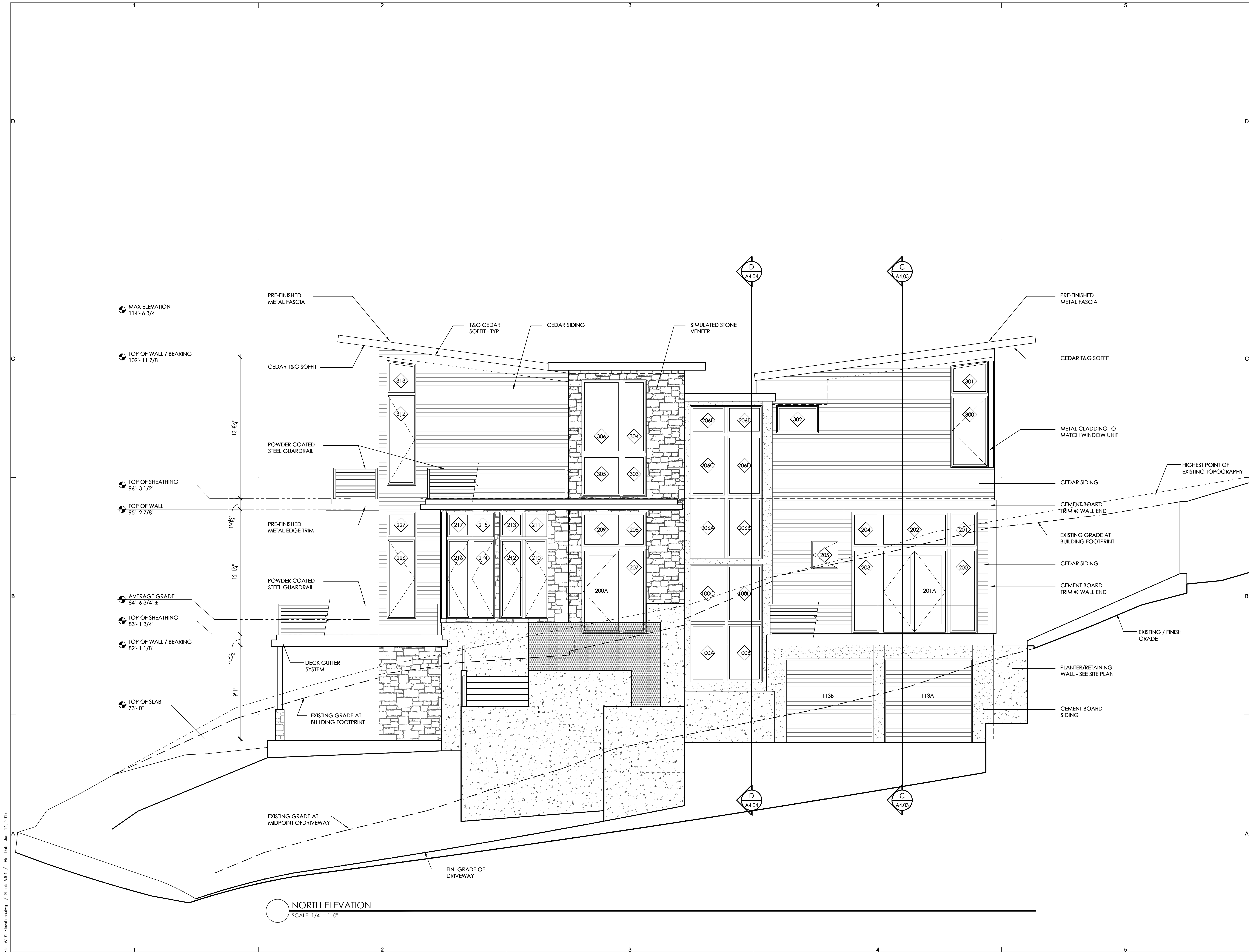
NORTH
 EXTERIOR ELEVATION

PROJECT NO.: 20140904

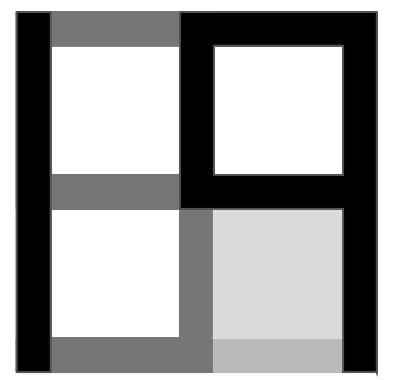
DATE ISSUED: 6/05/2017

SHEET NUMBER:

A3.01

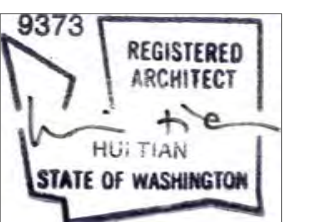


NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



CONSULTANT:

PROFESSIONAL SEAL:



PROJECT:



EAST MERCER RESIDENCE

4634 EAST MERCER WAY
MERCER ISLAND, WA 98040

SHEET ISSUE:

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MUNICIPALITY REVIEW:

PROJECT # MERCER ISLAND 15 - 015

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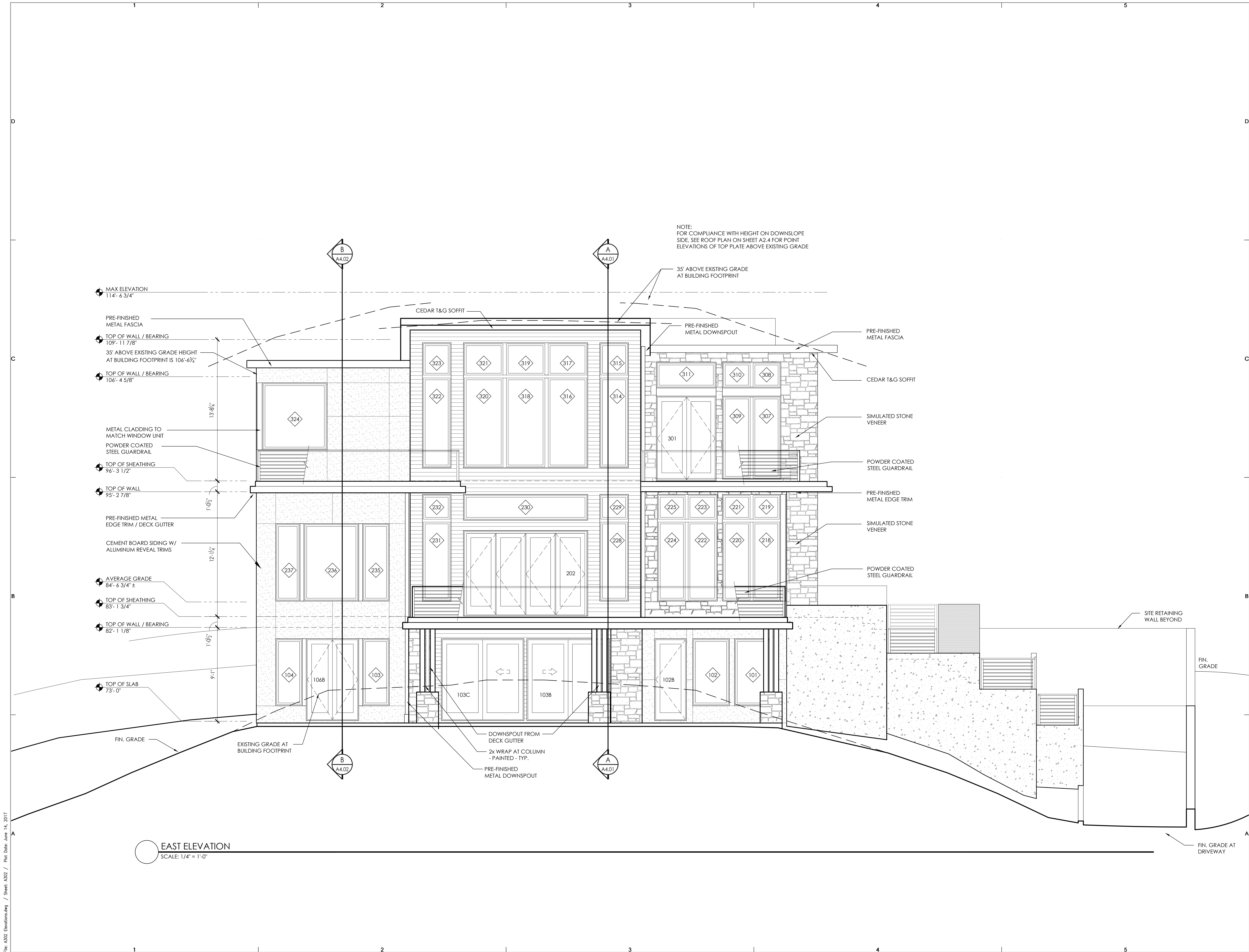
EAST
EXTERIOR ELEVATION

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER:

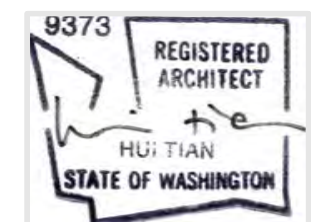
A3.02



EAST ELEVATION
SCALE: 1/4" = 1'-0"

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:

 PO BOX 1733 AUBURN, WA 98071
 Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
 MERCER ISLAND, WA 98040

SHEET ISSUE: _____

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MUNICIPALITY REVIEW: _____

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE: _____

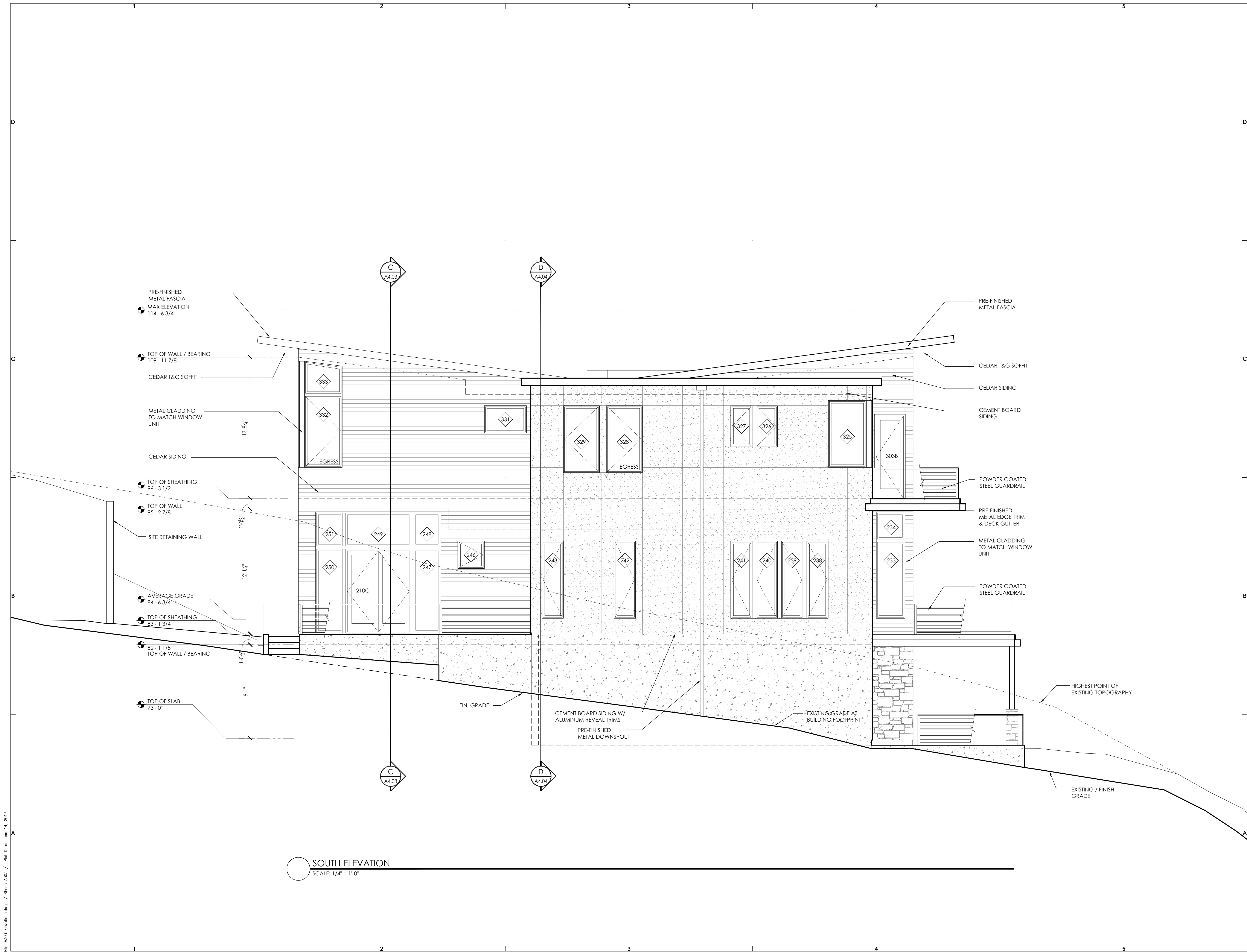
SOUTH
 EXTERIOR ELEVATION

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER: _____

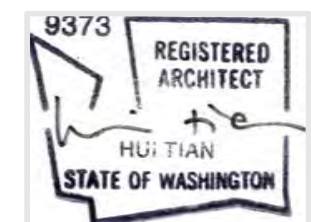
A3.03



SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:

 PO BOX 1733 AUBURN, WA 98071
 Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
 MERCER ISLAND, WA 98040

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MUNICIPALITY REVIEW: _____

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE: _____

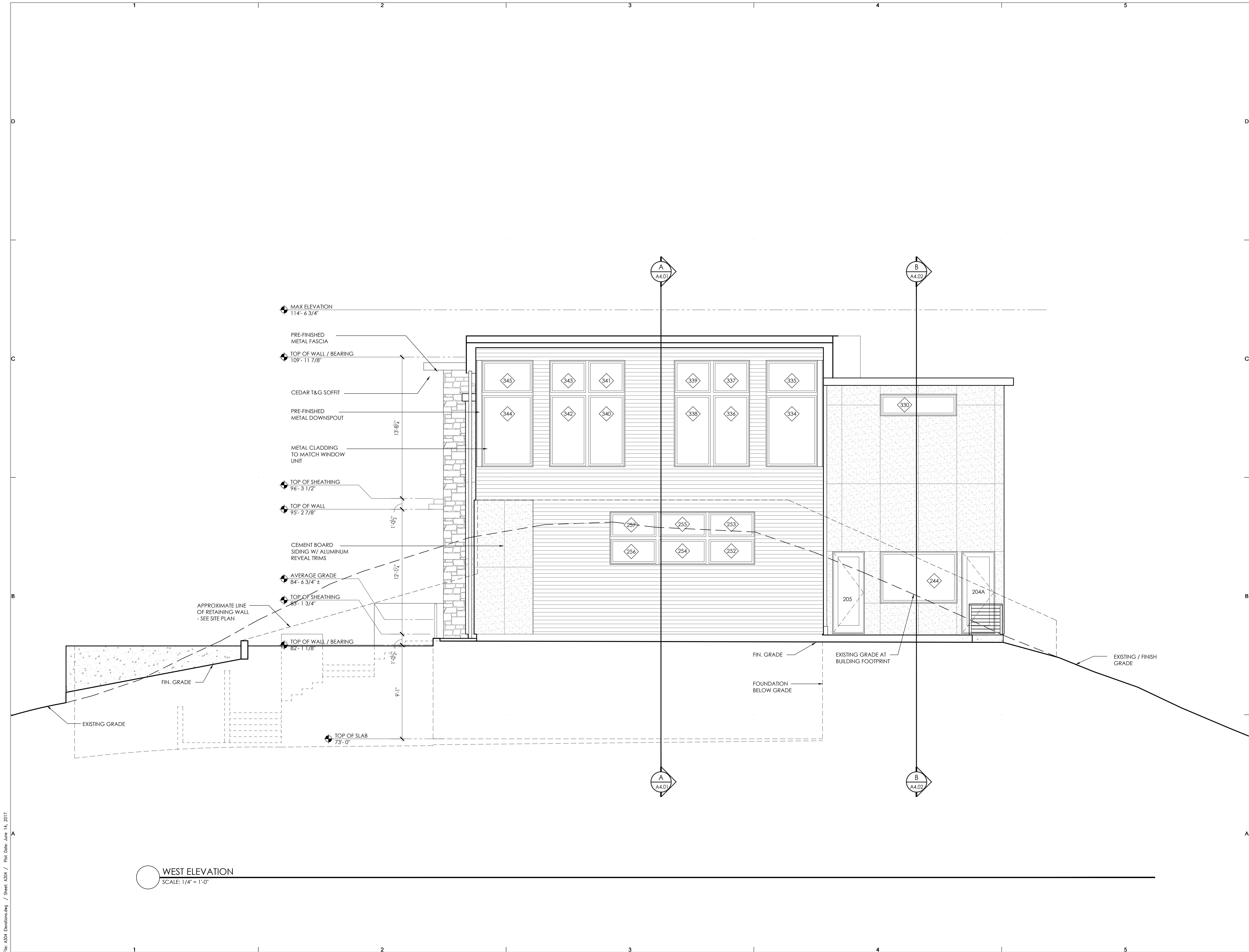
WEST
 EXTERIOR ELEVATION

PROJECT NO.: 20140904

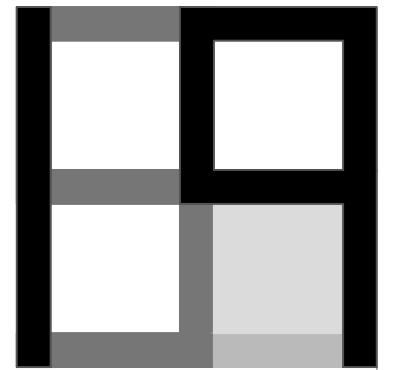
DATE ISSUED: 6/05/2017

SHEET NUMBER: _____

A3.04



WEST ELEVATION
 SCALE: 1/4" = 1'-0"



GENERAL NOTES

- HANDRAIL 34"-38" ABOVE TREAD NOSING. STYLE & CONFIGURATION PER OWNER SELECTION. TBD.
- HANDRAIL GRASPING DIMENSION 1-1/4" MINIMUM - 2" MAXIMUM.
- DECKS, PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GROUND BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. STYLE & CONFIGURATION PER OWNER SELECTION. TBD.

R1 FLAT ROOF / ROOF DECK ASSEMBLY
3-PLY EPDM SELF-ADHERING MEMBRANE (SELF-ADHERING CAP SHT OVER SELF-ADHERING BASE SHT OVER MECHANICALLY-ADHERED BASE SHT) OVER TAPERED INSULATION (MIN. R-10 AT LOW POINT) OVER 2 LAYERS OF 30 LB. ROOFING FELTS OVER 3/4 PLYWOOD SHEATHING PER STRUCT. OVER 3" (R-21) SPRAY APPLIED CLOSED CELL INSULATION W/ VAPOR BARRIER TO UNDERSIDE OF DECKING R-19 FIBERGLASS BATT INSULATION (FOR TOTAL ASSEMBLY R-VALUE OF R-50) ROOF TRUSSES/FRAMING PER STRUCT. W/ 5/8 GYPSUM WALLBOARD & FINISH PER OWNER SELECTION

F1 TYPICAL WOOD FINISH OVER SLAB ON GRADE:
WOOD FINISH PER INTERIORS
REINFORCED CONCRETE SLAB PER STRUCT. WITH IN-SLAB HYDRONIC HEATING SYSTEM. W/ THERMAL EXPANSION JOINTS AT WALL 6 MIL VISQUEEN (MIN) VAPOR BARRIER R-10 RIGID FOAM INSULATION 6" MINIMUM COMPACTED GRAVEL BASE OVER UNDISTURBED SOIL

F5 TYPICAL FLOOR ASSEMBLY OVER GARAGE
FLOOR FINISH PER INTERIORS
1-1/8" T&G WARMBOARD SUBFLOOR FLOOR SHEATHING (GLUED & SCREWED) WITH HYDRONIC HEATING SYSTEM FLOOR FRAMING PER STRUCTURAL R30 FIBERGLASS BATT INSULATION 6 MIL VISQUEEN VAPOR BARRIER 5/8" TYPE X" GWB VAPOR BARRIER PVC PRIMER FINISH PER OWNER SELECTION

S1 TYPICAL DRIVEWAY ASSEMBLY
REINFORCED CONCRETE SLAB PER STRUCT., SLOPED TO DRAIN (1/4" PER FT.), STAINED & SCORED, OVER 6" MINIMUM COMPACTED STRUCT. FILL OVER UNDISTURBED SOIL.

S2 TYPICAL CONCRETE SIDEWALK/STAIR ASSEMBLY
REINFORCED CONCRETE SLAB / STEPS PER STRUCT., SLOPED TO DRAIN (1/4" PER FT.), STAINED & SCORED, OVER 6" MINIMUM COMPACTED STRUCT. FILL OVER UNDISTURBED SOIL.

R2 FLAT ROOF / ROOF DECK ASSEMBLY
3-PLY EPDM SELF-ADHERING MEMBRANE (SELF-ADHERING CAP SHT OVER SELF-ADHERING BASE SHT OVER MECHANICALLY-ADHERED BASE SHT) 3/4 PLYWOOD SHEATHING PER STRUCT. 5" (R-35) SPRAY APPLIED CLOSED CELL INSULATION W/ VAPOR BARRIER TO UNDERSIDE OF DECKING R-19 FIBERGLASS BATT INSULATION (FOR TOTAL ASSEMBLY R-VALUE OF R-54) ROOF TRUSSES/FRAMING PER STRUCT. W/ 5/8 GYPSUM WALLBOARD & FINISH PER OWNER SELECTION

F2 TYPICAL GARAGE FLOOR ASSEMBLY
CONCRETE SEALER
REINFORCED CONCRETE SLAB PER STRUCT., SLOPED TO DRAIN (1/4" PER FT.), 6 MIL POLY VAPOR BARRIER OVER 6" MINIMUM COMPACTED STRUCT. FILL UNDISTURBED SOIL.

F6 TILE FLOOR ASSEMBLY:
TILE (TBD)
THINSET
UNDERLAYMENT/ISOLATION MAT
TYPICAL FLOOR ASSEMBLY

F8 PATIO PAVERS OVER PIT SET PEDESTAL SYSTEM:
PAVERS PER OWNER SELECTION
LEVELING PEDESTALS
CONCRETE SEALER
REINFORCED 4" CONCRETE SLAB (SLOPE TO DRAIN 1/4" PER FOOT TO TRENCH DRAIN)
6" MINIMUM COMPACTED SAND BASE OVER UNDISTURBED SOIL.

F3 TYPICAL FLOOR ASSEMBLY OVER UNHEATED EXTERIOR SPACE
FLOOR FINISH PER INTERIORS
1-1/8" T&G WARMBOARD SUBFLOOR FLOOR SHEATHING (GLUED & SCREWED) WITH HYDRONIC HEATING SYSTEM FLOOR FRAMING PER STRUCTURAL R30 FIBERGLASS BATT INSULATION 6 MIL VISQUEEN VAPOR BARRIER EXTERIOR T&G CEDAR SOFFIT MATERIAL (SMOOTH FACE EXPOSED)

F7 COMPOSITE WOOD DECKING OVER WATERPROOF DECK ASSEMBLY:
DECKING PER OWNER SELECTION
"DRYJOIST" PVC STRUCTURAL DECK DRAINAGE SYSTEM DECK FRAMING PER STRUCTURAL 2X SOFFIT FURRING STRIPS 3/8" BEVELED SOFFIT BOARDS (SMOOTH FACE EXPOSED) W/ CONTINUOUS STRIP VENTING

F4 TYPICAL FLOOR ASSEMBLY OVER HEATED SPACE
FLOOR FINISH PER INTERIORS
1-1/8" T&G WARMBOARD SUBFLOOR FLOOR SHEATHING (GLUED & SCREWED) WITH HYDRONIC HEATING SYSTEM FLOOR FRAMING PER STRUCTURAL (2X DROP CEILING /SOFFIT FRAMING AS INDICATED/APPLICABLE) 5/8" GYPSUM WALLBOARD VAPOR BARRIER PVC PRIMER FINISH PER OWNER SELECTION

MAX ELEVATION
114'-6 3/4" ±

TOP OF WALL / BEARING
109'-11 7/8"

CEILING AT HALL
106'-4 5/8"

TOP OF SHEATHING
96'-3 1/2"

TOP OF WALL / BEARING
95'-2 7/8"

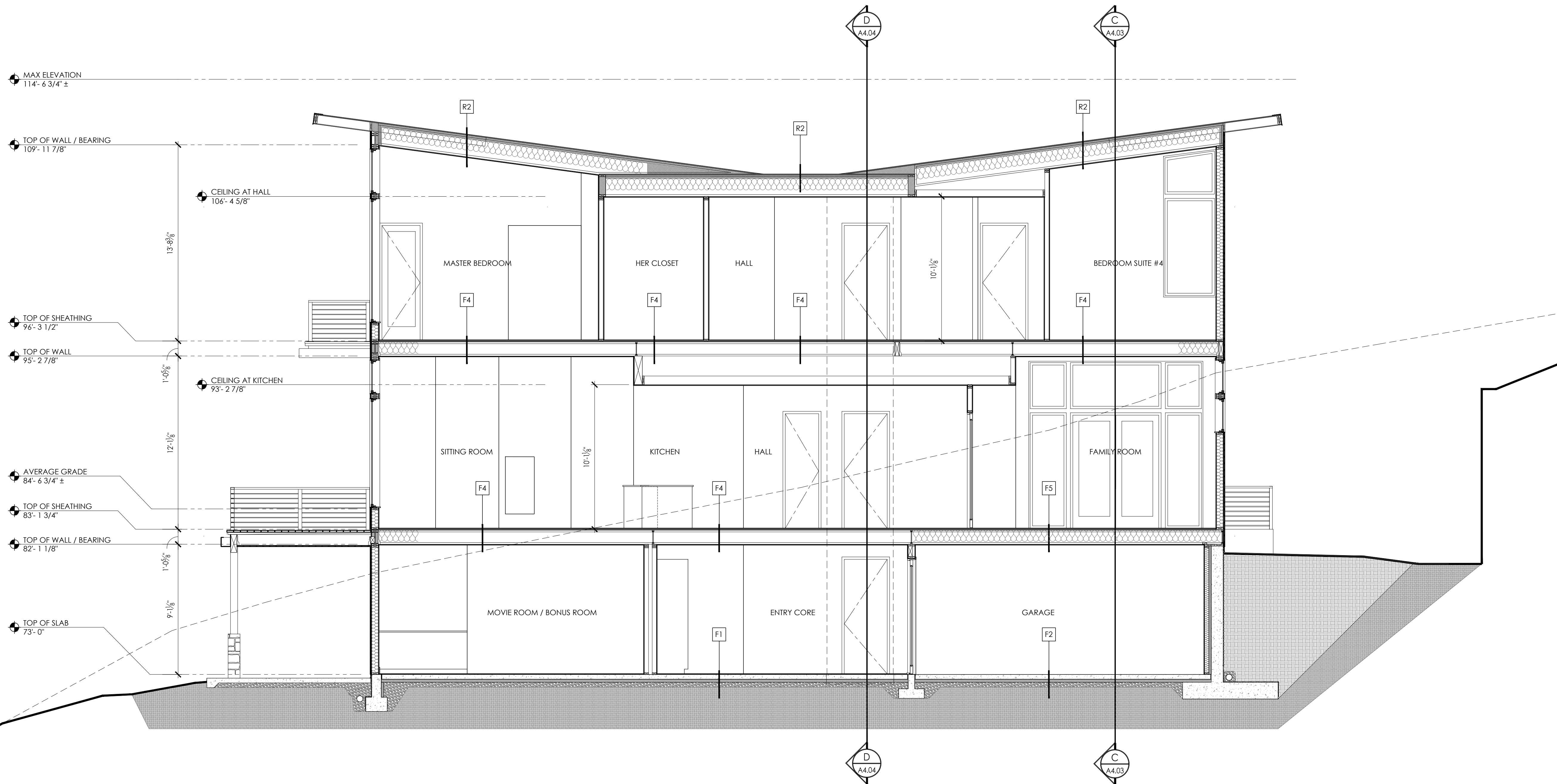
CEILING AT KITCHEN
93'-2 7/8"

AVERAGE GRADE
84'-6 3/4" ±

TOP OF SHEATHING
83'-1 3/4"

TOP OF WALL / BEARING
82'-1 1/8"

TOP OF SLAB
73'-0"



A BUILDING SECTION 'A'
SCALE: 1/4" = 1'-0"

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:
Barcelo homes
PO BOX 1733 AUBURN, WA 98071
Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
MERCER ISLAND, WA 98040

SHEET ISSUE: _____

| | |
|-----------|----------------------|
| 6/24/2015 | PERMIT SUBMITTAL |
| 8/19/2016 | EXPRESS SUBMITTAL #5 |

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
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MUNICIPALITY REVIEW: _____

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE: _____

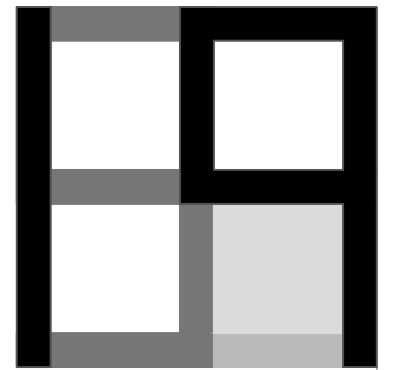
BUILDING SECTION 'A'

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER: _____

A4.01



GENERAL NOTES

- HANDRAIL 34" 38" ABOVE TREAD NOSING. STYLE & CONFIGURATION PER OWNER SELECTION. TBD.
- HANDRAIL GRASPING DIMENSION 1-1/4" MINIMUM - 2" MAXIMUM.
- DECKS, PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GROUND BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. STYLE & CONFIGURATION PER OWNER SELECTION. TBD.

R1 FLAT ROOF / ROOF DECK ASSEMBLY
3-PLY EPDM SELF-ADHERING MEMBRANE
(SELF-ADHERING CAP SHT OVER
SELF-ADHERING BASE SHT OVER
MECHANICALLY-ADHERED BASE SHT) OVER
TAPERED INSULATION (MIN. R-10 AT LOW POINT) OVER
2 LAYERS OF 30 LB. ROOFING FELTS OVER
3/4 PLYWOOD SHEATHING PER STRUCT. OVER
3" (R-21) SPRAY APPLIED CLOSED CELL INSULATION
W/ VAPOR BARRIER TO UNDERSIDE OF DECKING
R-19 FIBERGLASS BATT INSULATION
(FOR TOTAL ASSEMBLY R-VALUE OF R-50)
ROOF TRUSSES/FRAMING PER STRUCT. W/
5/8 GYPSUM WALLBOARD &
FINISH PER OWNER SELECTION

R2 FLAT ROOF / ROOF DECK ASSEMBLY
3-PLY EPDM SELF-ADHERING MEMBRANE
(SELF-ADHERING CAP SHT OVER
SELF-ADHERING BASE SHT OVER
MECHANICALLY-ADHERED BASE SHT)
3/4 PLYWOOD SHEATHING PER STRUCT.
5" (R-35) SPRAY APPLIED CLOSED CELL INSULATION
W/ VAPOR BARRIER TO UNDERSIDE OF DECKING
R-19 FIBERGLASS BATT INSULATION
(FOR TOTAL ASSEMBLY R-VALUE OF R-54)
ROOF TRUSSES/FRAMING PER STRUCT. W/
5/8 GYPSUM WALLBOARD &
FINISH PER OWNER SELECTION

F1 TYPICAL WOOD FINISH OVER SLAB ON GRADE:
WOOD FINISH PER INTERIORS
REINFORCED CONCRETE SLAB PER STRUCT.
WITH IN-SLAB HYDRONIC HEATING SYSTEM.
W/ THERMAL EXPANSION JOINTS AT WALL
6 MIL VISQUEEN (MIN) VAPOR BARRIER
R-10 RIGID FOAM INSULATION
6" MINIMUM COMPACTED GRAVEL BASE OVER
UNDISTURBED SOIL

F2 TYPICAL GARAGE FLOOR ASSEMBLY
CONCRETE SEALER
REINFORCED CONCRETE SLAB PER STRUCT.,
SLOPED TO DRAIN (1/4" PER FT.),
6 MIL POLY VAPOR BARRIER OVER
6" MINIMUM COMPACTED STRUCT. FILL
UNDISTURBED SOIL.

F3 TYPICAL FLOOR ASSEMBLY OVER UNHEATED EXTERIOR SPACE
FLOOR FINISH PER INTERIORS
1-1/8" T&G 'WARMBOARD' SUBFLOOR FLOOR SHEATHING
(GLUED & SCREWED) WITH HYDRONIC HEATING SYSTEM
FLOOR FRAMING PER STRUCTURAL
R30 FIBERGLASS BATT INSULATION
6 MIL VISQUEEN VAPOR BARRIER
EXTERIOR T&G CEDAR SOFFIT MATERIAL
(SMOOTH FACE EXPOSED)

F4 TYPICAL FLOOR ASSEMBLY OVER HEATED SPACE
FLOOR FINISH PER INTERIORS
1-1/8" T&G 'WARMBOARD' SUBFLOOR FLOOR SHEATHING
(GLUED & SCREWED) WITH HYDRONIC HEATING SYSTEM
FLOOR FRAMING PER STRUCTURAL
(2X DROP CEILING /SOFFIT FRAMING AS INDICATED/APPLICABLE)
5/8" GYPSUM WALLBOARD
VAPOR BARRIER PVC PRIMER
FINISH PER OWNER SELECTION

F5 TYPICAL FLOOR ASSEMBLY OVER GARAGE
FLOOR FINISH PER INTERIORS
1-1/8" T&G 'WARMBOARD' SUBFLOOR FLOOR SHEATHING
(GLUED & SCREWED) WITH HYDRONIC HEATING SYSTEM
FLOOR FRAMING PER STRUCTURAL
R30 FIBERGLASS BATT INSULATION
6 MIL VISQUEEN VAPOR BARRIER
5/8" TYPE X" GWB
VAPOR BARRIER PVC PRIMER
FINISH PER OWNER SELECTION

F6 TILE FLOOR ASSEMBLY:
TILE (TBD)
THINSET
UNDERLAYMENT/ISOLATION MAT
TYPICAL FLOOR ASSEMBLY

F7 COMPOSITE WOOD DECKING OVER WATERPROOF DECK
ASSEMBLY:
DECKING PER OWNER SELECTION
"DRYJOIST" PVC STRUCTURAL DECK DRAINAGE SYSTEM
DECK FRAMING PER STRUCTURAL
2X SOFFIT FURRING STRIPS
3/8" BEVELED SOFFIT BOARDS (SMOOTH FACE EXPOSED) W/
CONTINUOUS STRIP VENTING

S1 TYPICAL DRIVEWAY ASSEMBLY
REINFORCED CONCRETE SLAB PER STRUCT.,
SLOPED TO DRAIN (1/4" PER FT.),
STAINED & SCORED, OVER
6" MINIMUM COMPACTED STRUCT. FILL OVER
UNDISTURBED SOIL.

S2 TYPICAL CONCRETE SIDEWALK/STAIR ASSEMBLY
REINFORCED CONCRETE SLAB / STEPS PER STRUCT.,
SLOPED TO DRAIN (1/4" PER FT.),
STAINED & SCORED, OVER
6" MINIMUM COMPACTED STRUCT. FILL OVER
UNDISTURBED SOIL.

F8 PATIO PAVERS OVER PIT SET PEDESTAL SYSTEM:
PAVERS PER OWNER SELECTION
LEVELING PEDESTALS
CONCRETE SEALER
REINFORCED 4" CONCRETE SLAB (SLOPE TO DRAIN 1/4" PER FOOT TO
TRENCH DRAIN)
6" MINIMUM COMPACTED SAND BASE OVER
UNDISTURBED SOIL.

MAX ELEVATION
114'-6 3/4" ±

TOP OF WALL / BEARING
106'-4 5/8"

TOP OF SHEATHING
96'-3 1/2"

TOP OF WALL
95'-2 7/8"

AVERAGE GRADE
84'-6 3/4" ±

TOP OF SHEATHING
83'-1 3/4"

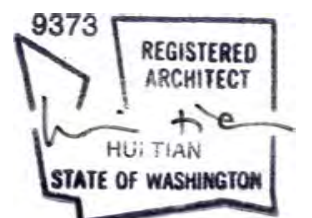
TOP OF WALL / BEARING
82'-1 1/8"

TOP OF SLAB
73'-0"

B BUILDING SECTION 'B'
SCALE: 1/4" = 1'-0"

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:
Barcelo homes
PO BOX 1733 AUBURN, WA 98071
Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
MERCER ISLAND, WA 98040

SHEET ISSUE: _____

| MARK | DATE | DESCRIPTION |
|------|-----------|------------------|
| | 6/24/2015 | PERMIT SUBMITTAL |
| | 8/29/2016 | PERMIT APPROVED |

MUNICIPALITY REVIEW: _____

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE: _____

BUILDING SECTION 'B'

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER: _____

A4.02



GENERAL NOTES

- HANDRAIL 34" 38" ABOVE TREAD NOSING. STYLE & CONFIGURATION PER OWNER SELECTION. TBD.
- HANDRAIL GRASPING DIMENSION 1-1/4" MINIMUM - 2" MAXIMUM.
- DECKS, PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GROUND BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. STYLE & CONFIGURATION PER OWNER SELECTION. TBD.

R1 FLAT ROOF / ROOF DECK ASSEMBLY
3-PLY EPDM SELF-ADHERING MEMBRANE (SELF-ADHERING CAP SHT OVER SELF-ADHERING BASE SHT OVER MECHANICALLY-ADHERED BASE SHT) OVER TAPERED INSULATION (MIN. R-10 AT LOW POINT) OVER 2 LAYERS OF 30 LB. ROOFING FELTS OVER 3/4 PLYWOOD SHEATHING PER STRUCT. OVER 3" (R-21) SPRAY APPLIED CLOSED CELL INSULATION W/ VAPOR BARRIER TO UNDERSIDE OF DECKING R-19 FIBERGLASS BATT INSULATION (FOR TOTAL ASSEMBLY R-VALUE OF R-50) ROOF TRUSSES/FRAMING PER STRUCT. W/ 5/8 GYPSUM WALLBOARD & FINISH PER OWNER SELECTION

R2 FLAT ROOF / ROOF DECK ASSEMBLY
3-PLY EPDM SELF-ADHERING MEMBRANE (SELF-ADHERING CAP SHT OVER SELF-ADHERING BASE SHT OVER MECHANICALLY-ADHERED BASE SHT) OVER 3/4 PLYWOOD SHEATHING PER STRUCT. 5" (R-35) SPRAY APPLIED CLOSED CELL INSULATION W/ VAPOR BARRIER TO UNDERSIDE OF DECKING R-19 FIBERGLASS BATT INSULATION (FOR TOTAL ASSEMBLY R-VALUE OF R-54) ROOF TRUSSES/FRAMING PER STRUCT. W/ 5/8 GYPSUM WALLBOARD & FINISH PER OWNER SELECTION

F1 TYPICAL WOOD FINISH OVER SLAB ON GRADE:
WOOD FINISH PER INTERIORS
REINFORCED CONCRETE SLAB PER STRUCT WITH IN-SLAB HYDRONIC HEATING SYSTEM. W/ THERMAL EXPANSION JOINTS AT WALL 6 MIL VISQUEEN (MIN) VAPOR BARRIER R-10 RIGID FOAM INSULATION 6" MINIMUM COMPACTED GRAVEL BASE OVER UNDISTURBED SOIL

F2 TYPICAL GARAGE FLOOR ASSEMBLY
CONCRETE SEALER
REINFORCED CONCRETE SLAB PER STRUCT., SLOPED TO DRAIN (1/4" PER FT.), 6 MIL POLY VAPOR BARRIER OVER 6" MINIMUM COMPACTED STRUCT. FILL UNDISTURBED SOIL.

F3 TYPICAL FLOOR ASSEMBLY OVER UNHEATED EXTERIOR SPACE
FLOOR FINISH PER INTERIORS
1-1/8" T&G 'WARMBOARD' SUBFLOOR FLOOR SHEATHING (GLUED & SCREWED) WITH HYDRONIC HEATING SYSTEM FLOOR FRAMING PER STRUCTURAL R30 FIBERGLASS BATT INSULATION 6 MIL VISQUEEN VAPOR BARRIER EXTERIOR T&G CEDAR SOFFIT MATERIAL (SMOOTH FACE EXPOSED)

F4 TYPICAL FLOOR ASSEMBLY OVER HEATED SPACE
FLOOR FINISH PER INTERIORS
1-1/8" T&G 'WARMBOARD' SUBFLOOR FLOOR SHEATHING (GLUED & SCREWED) WITH HYDRONIC HEATING SYSTEM FLOOR FRAMING PER STRUCTURAL (2X DROP CEILING /SOFFIT FRAMING AS INDICATED/APPLICABLE) 5/8" GYPSUM WALLBOARD VAPOR BARRIER PVC PRIMER FINISH PER OWNER SELECTION

F5 TYPICAL FLOOR ASSEMBLY OVER GARAGE
FLOOR FINISH PER INTERIORS
1-1/8" T&G 'WARMBOARD' SUBFLOOR FLOOR SHEATHING (GLUED & SCREWED) WITH HYDRONIC HEATING SYSTEM FLOOR FRAMING PER STRUCTURAL R30 FIBERGLASS BATT INSULATION 6 MIL VISQUEEN VAPOR BARRIER 5/8" TYPE X' GWB VAPOR BARRIER PVC PRIMER FINISH PER OWNER SELECTION

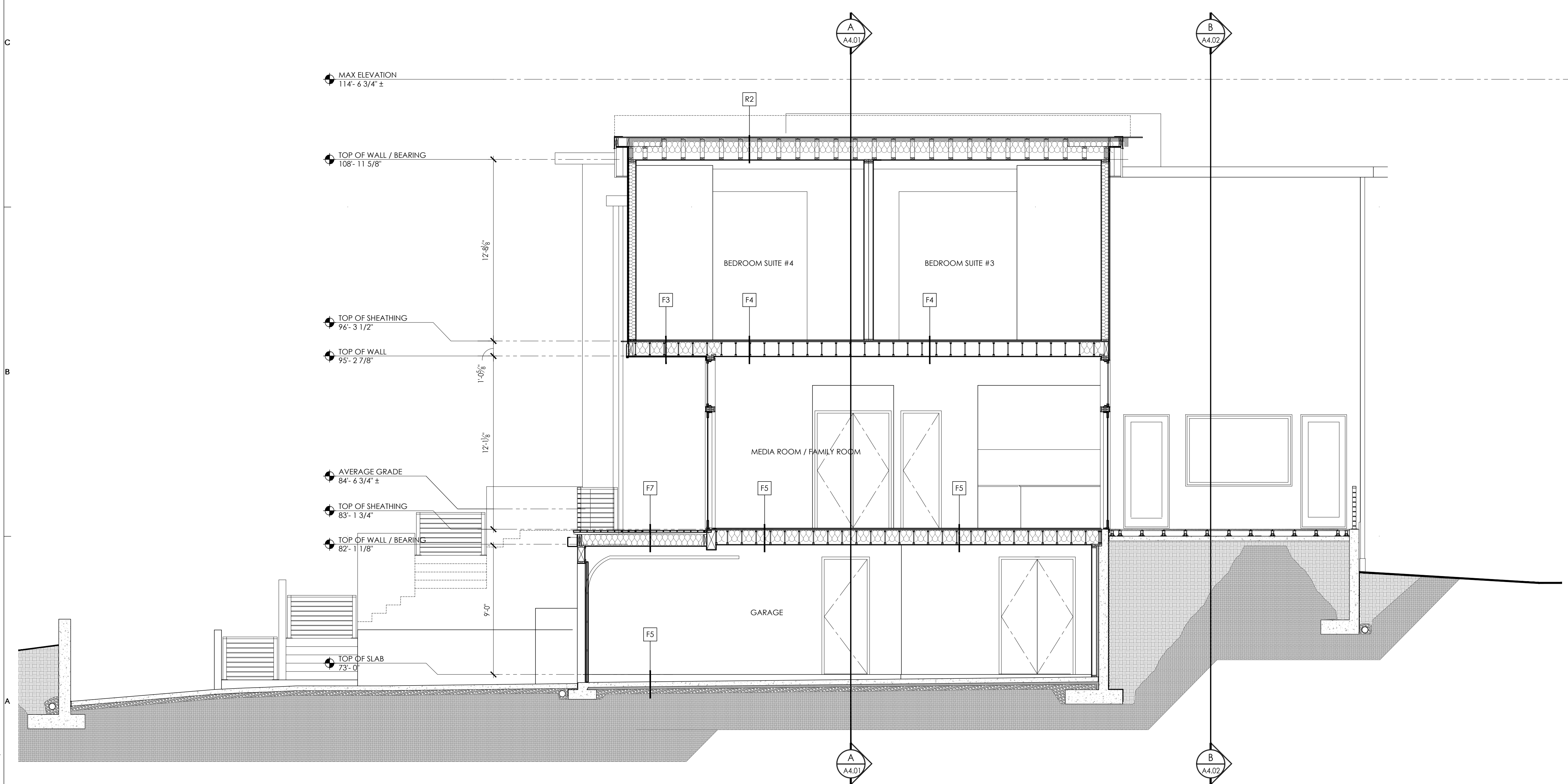
F6 TILE FLOOR ASSEMBLY:
TILE (TBD)
THINSET UNDERLAYMENT/ISOLATION MAT TYPICAL FLOOR ASSEMBLY

F7 COMPOSITE WOOD DECKING OVER WATERPROOF DECK ASSEMBLY:
DECKING PER OWNER SELECTION
"DRY-JOIST" PVC STRUCTURAL DECK DRAINAGE SYSTEM DECK FRAMING PER STRUCTURAL 2X SOFFIT FURRING STRIPS 3/8" BEVELED SOFFIT BOARDS (SMOOTH FACE EXPOSED) W/ CONTINUOUS STRIP VENTING

S1 TYPICAL DRIVEWAY ASSEMBLY
REINFORCED CONCRETE SLAB PER STRUCT., SLOPED TO DRAIN (1/4" PER FT.), STAINED & SCORED, OVER 6" MINIMUM COMPACTED STRUCT. FILL OVER UNDISTURBED SOIL.

S2 TYPICAL CONCRETE SIDEWALK/STAIR ASSEMBLY
REINFORCED CONCRETE SLAB / STEPS PER STRUCT., SLOPED TO DRAIN (1/4" PER FT.), STAINED & SCORED, OVER 6" MINIMUM COMPACTED STRUCT. FILL OVER UNDISTURBED SOIL.

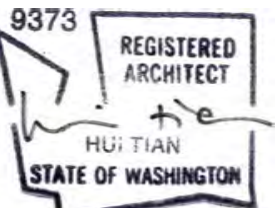
F8 PATIO PAVERS OVER PIT SET PEDESTAL SYSTEM:
PAVERS PER OWNER SELECTION
LEVELING PEDESTALS CONCRETE SEALER REINFORCED 4" CONCRETE SLAB (SLOPE TO DRAIN 1/4" PER FOOT TO TRENCH DRAIN) 6" MINIMUM COMPACTED SAND BASE OVER UNDISTURBED SOIL.



C BUILDING SECTION 'C'
SCALE: 1/4" = 1'-0"

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:
Barcelo homes
PO BOX 1733 AUBURN, WA 98071
Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
MERCER ISLAND, WA 98040

SHEET ISSUE:

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| 6/24/2015 | PERMIT SUBMITTAL |
| 8/29/2016 | PERMIT APPROVED |
| 6/05/2017 | REVISION TO PERMIT |

MUNICIPALITY REVIEW:

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE:

BUILDING SECTION 'C'

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER:

A4.03

GENERAL NOTES

- HANDRAIL 34" 38" ABOVE TREAD NOSING. STYLE & CONFIGURATION PER OWNER SELECTION. TBD.
- HANDRAIL GRASPING DIMENSION 1-1/4" MINIMUM - 2" MAXIMUM.
- DECKS, PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GROUND BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. STYLE & CONFIGURATION PER OWNER SELECTION. TBD.

R1 FLAT ROOF / ROOF DECK ASSEMBLY
 3-PLY EPDM SELF-ADHERING MEMBRANE
 (SELF-ADHERING CAP SHT OVER
 SELF-ADHERING BASE SHT OVER
 MECHANICALLY-ADHERED BASE SHT) OVER
 TAPERED INSULATION (MIN. R-10 AT LOW POINT) OVER
 2 LAYERS OF 30 LB. ROOFING FELTS OVER
 3/4 PLYWOOD SHEATHING PER STRUCT. OVER
 3" (R-21) SPRAY APPLIED CLOSED CELL INSULATION
 W/ VAPOR BARRIER TO UNDERSIDE OF DECKING
 R-19 FIBERGLASS BATT INSULATION
 (FOR TOTAL ASSEMBLY R-VALUE OF R-50)
 ROOF TRUSSES/FRAMING PER STRUCT. W/
 5/8 GYPSUM WALLBOARD &
 FINISH PER OWNER SELECTION

R2 FLAT ROOF / ROOF DECK ASSEMBLY
 3-PLY EPDM SELF-ADHERING MEMBRANE
 (SELF-ADHERING CAP SHT OVER
 SELF-ADHERING BASE SHT OVER
 MECHANICALLY-ADHERED BASE SHT)
 3/4 PLYWOOD SHEATHING PER STRUCT.
 5" (R-35) SPRAY APPLIED CLOSED CELL INSULATION
 W/ VAPOR BARRIER TO UNDERSIDE OF DECKING
 R-19 FIBERGLASS BATT INSULATION
 (FOR TOTAL ASSEMBLY R-VALUE OF R-54)
 ROOF TRUSSES/FRAMING PER STRUCT. W/
 5/8 GYPSUM WALLBOARD &
 FINISH PER OWNER SELECTION

F1 TYPICAL WOOD FINISH OVER SLAB ON GRADE:
 WOOD FINISH PER INTERIORS
 REINFORCED CONCRETE SLAB PER STRUCT
 WITH IN-SLAB HYDRONIC HEATING SYSTEM.
 W/ THERMAL EXPANSION JOINTS AT WALL
 6 MIL VISQUEEN (MIN) VAPOR BARRIER
 R-10 RIGID FOAM INSULATION
 6" MINIMUM COMPACTED GRAVEL BASE OVER
 UNDISTURBED SOIL

F2 TYPICAL GARAGE FLOOR ASSEMBLY
 CONCRETE SEALER
 REINFORCED CONCRETE SLAB PER STRUCT.,
 SLOPED TO DRAIN (1/4" PER FT.),
 6 MIL POLY VAPOR BARRIER OVER
 6" MINIMUM COMPACTED STRUCT. FILL
 UNDISTURBED SOIL.

F3 TYPICAL FLOOR ASSEMBLY OVER UNHEATED EXTERIOR SPACE
 FLOOR FINISH PER INTERIORS
 1-1/8" T&G 'WARMBOARD' SUBFLOOR FLOOR SHEATHING
 (GLUED & SCREWED) WITH HYDRONIC HEATING SYSTEM
 FLOOR FRAMING PER STRUCTURAL
 R30 FIBERGLASS BATT INSULATION
 6 MIL VISQUEEN VAPOR BARRIER
 EXTERIOR T&G CEDAR SOFFIT MATERIAL
 (SMOOTH FACE EXPOSED)

F4 TYPICAL FLOOR ASSEMBLY OVER HEATED SPACE
 FLOOR FINISH PER INTERIORS
 1-1/8" T&G 'WARMBOARD' SUBFLOOR FLOOR SHEATHING
 (GLUED & SCREWED) WITH HYDRONIC HEATING SYSTEM
 FLOOR FRAMING PER STRUCTURAL
 (2X DROP CEILING /SOFFIT FRAMING AS INDICATED/APPLICABLE)
 5/8" GYPSUM WALLBOARD
 VAPOR BARRIER PVC PRIMER
 FINISH PER OWNER SELECTION

F5 TYPICAL FLOOR ASSEMBLY OVER GARAGE
 FLOOR FINISH PER INTERIORS
 1-1/8" T&G 'WARMBOARD' SUBFLOOR FLOOR SHEATHING
 (GLUED & SCREWED) WITH HYDRONIC HEATING SYSTEM
 FLOOR FRAMING PER STRUCTURAL
 R30 FIBERGLASS BATT INSULATION
 6 MIL VISQUEEN VAPOR BARRIER
 5/8" TYPE X" GWB
 VAPOR BARRIER PVC PRIMER
 FINISH PER OWNER SELECTION

F6 TILE FLOOR ASSEMBLY:
 TILE (TBD)
 THINSET
 UNDERLAYMENT/ISOLATION MAT
 TYPICAL FLOOR ASSEMBLY

F7 COMPOSITE WOOD DECKING OVER WATERPROOF DECK
 ASSEMBLY:
 DECKING PER OWNER SELECTION
 "DRY-JOIST" PVC STRUCTURAL DECK DRAINAGE SYSTEM
 DECK FRAMING PER STRUCTURAL
 2X SOFFIT FURRING STRIPS
 3/8" BEVELED SOFFIT BOARDS (SMOOTH FACE EXPOSED) W/
 CONTINUOUS STRIP VENTING

S1 TYPICAL DRIVEWAY ASSEMBLY
 REINFORCED CONCRETE SLAB PER STRUCT.,
 SLOPED TO DRAIN (1/4" PER FT.),
 STAINED & SCORED, OVER
 6" MINIMUM COMPACTED STRUCT. FILL OVER
 UNDISTURBED SOIL.

S2 TYPICAL CONCRETE SIDEWALK/STAIR ASSEMBLY
 REINFORCED CONCRETE SLAB / STEPS PER STRUCT.,
 SLOPED TO DRAIN (1/4" PER FT.),
 STAINED & SCORED, OVER
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 UNDISTURBED SOIL.

F8 PATIO PAVERS OVER PIT SET PEDESTAL SYSTEM:
 PAVERS PER OWNER SELECTION
 LEVELING PEDESTALS
 CONCRETE SEALER
 REINFORCED 4" CONCRETE SLAB (SLOPE TO DRAIN 1/4" PER FOOT TO
 TRENCH DRAIN)
 6" MINIMUM COMPACTED SAND BASE OVER
 UNDISTURBED SOIL.

MAX ELEVATION
 114'-6 3/4" ±

TOP OF WALL / BEARING
 106'-4 5/8"

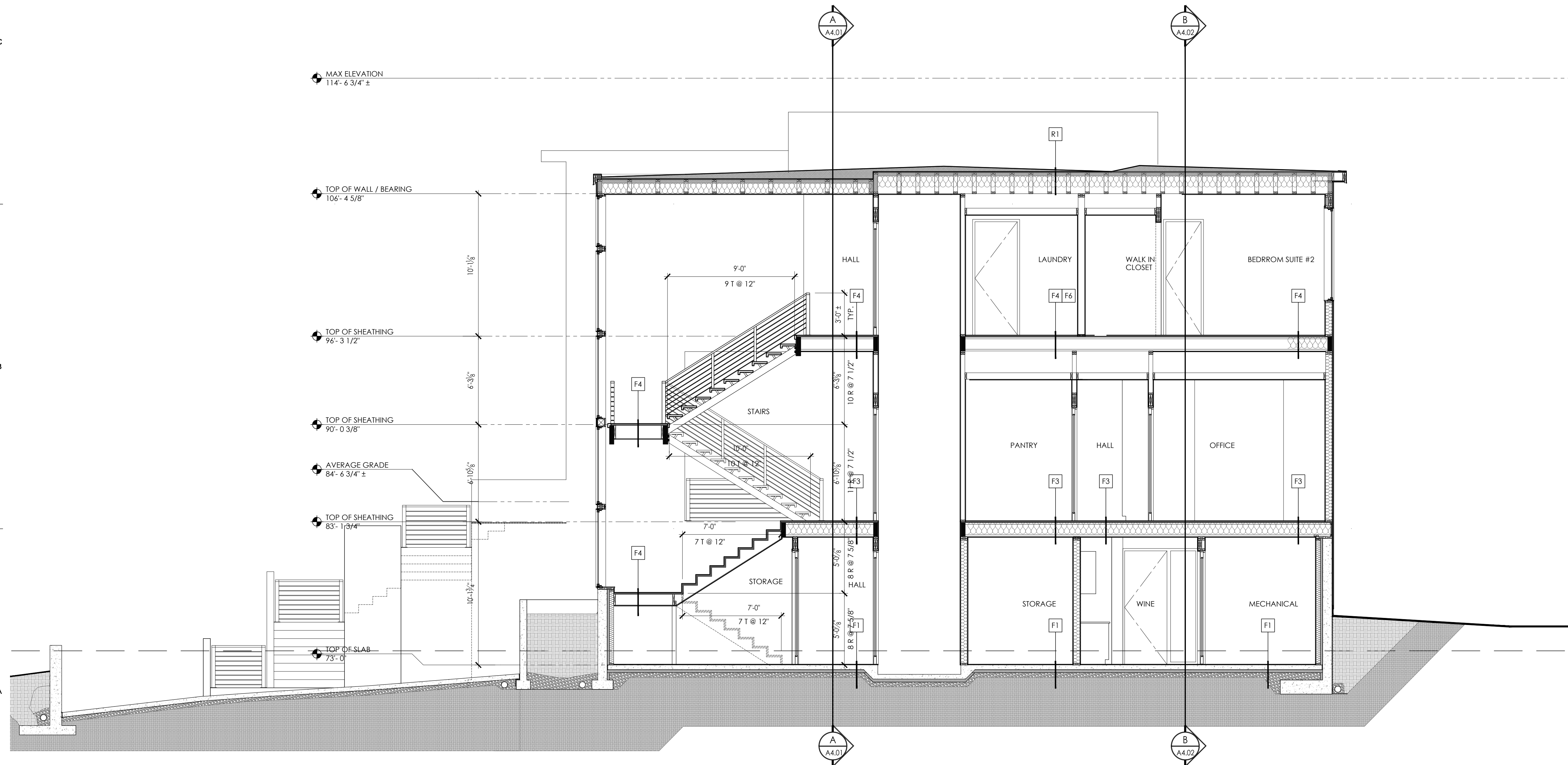
TOP OF SHEATHING
 96'-3 1/2"

TOP OF SHEATHING
 90'-0 3/8"

AVERAGE GRADE
 84'-6 3/4" ±

TOP OF SHEATHING
 83'-1 3/4"

TOP OF SLAB
 73'-0"



D BUILDING SECTION 'D'
 SCALE: 1/4" = 1'-0"

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:

 PO BOX 1733 AUBURN, WA 98071
 Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
 MERCER ISLAND, WA 98040

SHEET ISSUE: _____

| MARK | DATE | DESCRIPTION |
|------|-----------|--------------------|
| | 6/24/2015 | PERMIT SUBMITTAL |
| | 8/29/2016 | PERMIT APPROVED |
| 1 | 6/05/2017 | REVISION TO PERMIT |

MUNICIPALITY REVIEW: _____

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE: _____

BUILDING SECTION 'D'

PROJECT NO.: 20140904

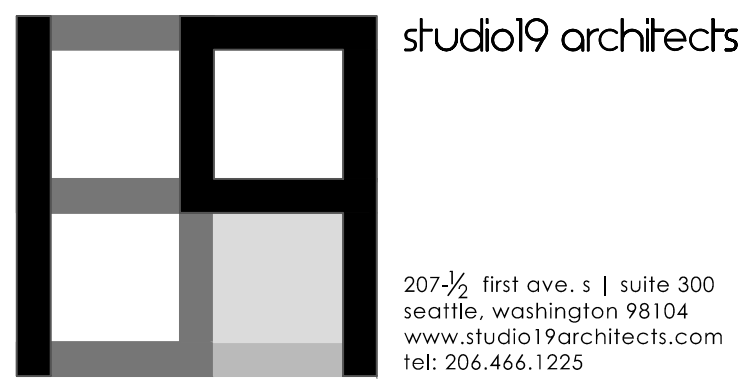
DATE ISSUED: 6/05/2017

SHEET NUMBER: _____

A4.04

W.R.B. & FLASHING SEQUENCE AT BUILDING PENETRATIONS

NOTES



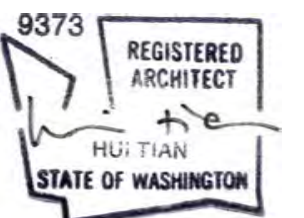
NOTE:
CONTRACTOR SHALL CONFIRM COMPATIBILITY OF ALL MATERIALS USED IN PENETRATION FLASHING SEQUENCE. USE SIMILAR METHODS AT EACH BUILDING PENETRATION.

MATERIALS / ASSEMBLIES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL APPLICABLE COUNTY, AND LOCAL BUILDING AND FIRE CODES AS REQUIRED.
- ALL WOOD AND SONITUBE FORMS USED FOR CONCRETE IN THE GROUND OR BETWEEN FOUNDATION SILLS & THE GROUND SHALL BE REMOVED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED WOOD OR ANY SPECIES OR FOUNDATION GRADE CEDAR OR REDWOOD, ALL MARKED BY AN APPROVED TESTING AGENCY.
- PROVIDE 90# FELT BETWEEN POSTS & CONCRETE.
- PROVIDE DRAFT STOPS, FIRE BLOCKING, AND FIRESTOPS AS REQUIRED BY CODE.
- FLASHING AND COUNTER FLASHING TO BE MIN. 24 GAUGE OF CORROSION-RESISTANT METAL AND SHALL BE INSTALLED IN COMPLIANCE WITH LOCAL BUILDING CODES AND MANUFACTURERS RECOMMENDATIONS.
- GENERAL CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL WALL-MOUNTED HARDWARE, TOILET ACCESSORIES, TOWEL BARS, LIGHT FIXTURES, BUILT-INS, ETC., AS REQUIRED FOR SECURE AND PROPER INSTALLATION.
- ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED OR CEDAR.
- ALL STRUCTURAL PANEL COMPONENTS OF THE RESIDENCE SHALL COMPLY WITH APPROPRIATE STANDARDS FOR THE EMISSION OF FORMALDEHYDE. THE BACK-DRAFTING OF COMBUSTION BY PRODUCTS FROM COMBUSTION APPLIANCES SHALL BE MINIMIZED THROUGH THE USE OF DAMPERS, VENTS, OUTSIDE COMBUSTION AIR SOURCES, OR OTHER APPROPRIATE TECHNOLOGIES [RCW 19.27.190(VER)1]

CONSULTANT:

PROFESSIONAL SEAL:



PROJECT:

a project for:



EAST MERCER RESIDENCE

4634 EAST MERCER WAY
MERCER ISLAND, WA 98040

SHEET ISSUE:

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| 6/24/2015 | PERMIT SUBMITTAL |
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| 6/05/2017 | REVISION TO PERMIT |

MARK DATE DESCRIPTION

MUNICIPALITY REVIEW:

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE:

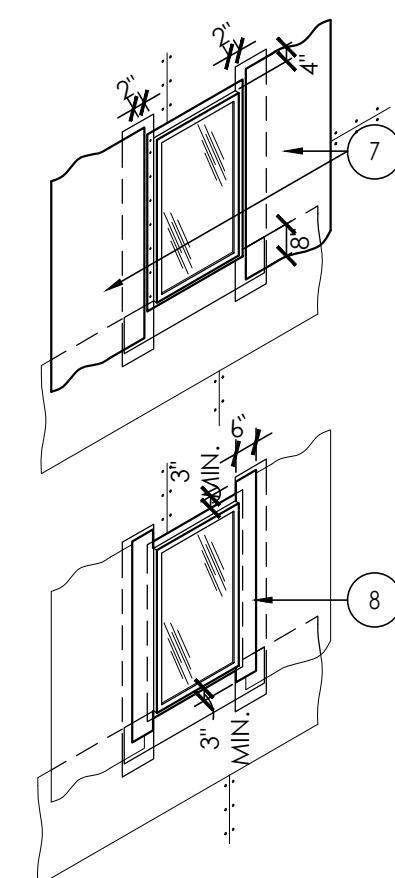
TYPICAL WALL, FLOOR, & ROOF ASSEMBLIES
W.R.B. & FLASHING SEQUENCE AT
BUILDING PENETRATIONS

PROJECT NO.: 20140904

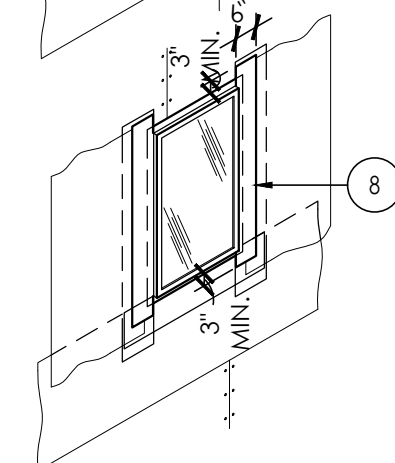
DATE ISSUED: 6/05/2017

SHEET NUMBER:

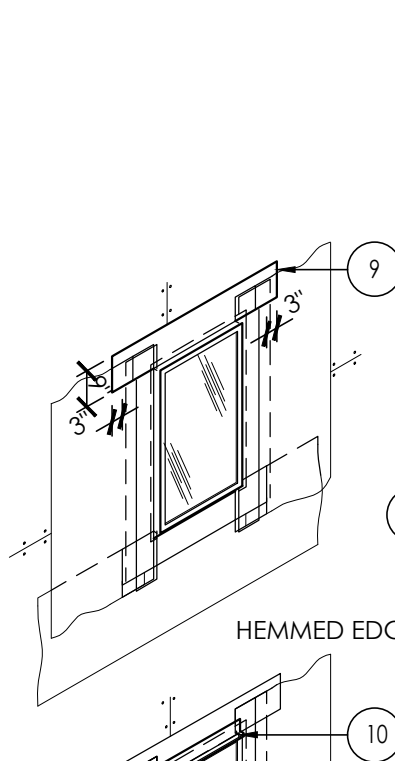
A8.01



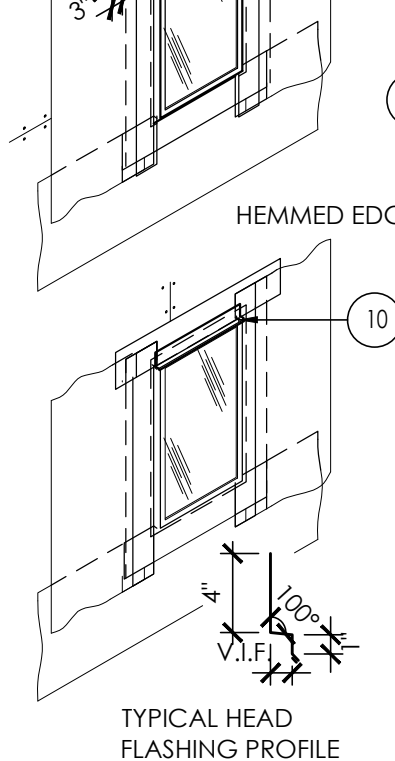
7 BLEEDER STRIPS AT JAMBS:
INSTALL ONE COURSE OF WEATHER-RESISTIVE BARRIER VERTICALLY AT JAMBS. OFFSET EDGE OF WEATHER-RESISTIVE BARRIER 2" FROM ROUGH OPENING.



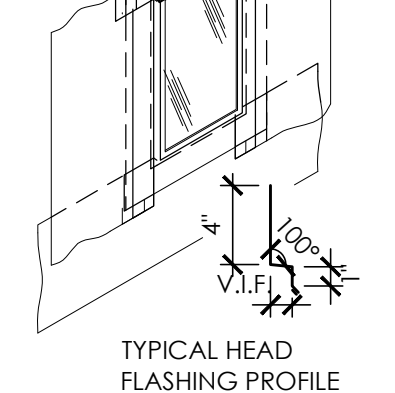
8 SELF-ADHESIVE JAMB FLASHING:
WIPE CLEAN NAILING FLANGE AND BASE FLASHING. APPLY 6" WIDE SELF-ADHESIVE JAMB FLASHING (FORTIFIBER "MOISTOP FORTIFLASH") OVER NAILING FLANGE. APPLY FIRM PRESSURE WITH A ROLLER ALONG ENTIRE SELF-ADHESIVE STRIP TO ENSURE A CONTINUOUS SEAL.



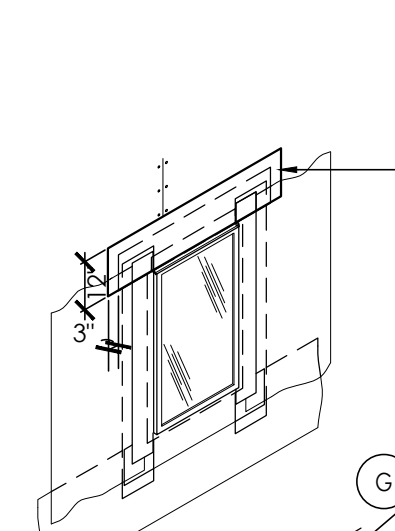
9 SELF-ADHESIVE HEAD MEMBRANE FLASHING:
WIPE CLEAN THE WINDOW FLANGE, PREVIOUS FLASHING LAYERS AND SUBSTRATE. APPLY 9" WIDE SELF-ADHESIVE HEAD FLASHING (FORTIFIBER "MOISTOP EZ-SEAL") OVER THE WINDOW FLANGE, BASE FLASHING AND SELF-ADHESIVE JAMB FLASHING. USING A ROLLER, APPLY FIRM PRESSURE ALONG THE ENTIRE SELF-ADHESIVE STRIP TO ENSURE A CONTINUOUS SEAL.



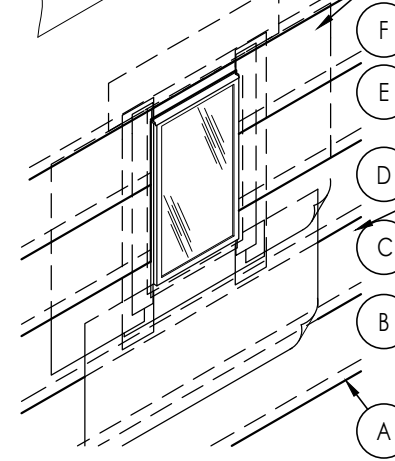
10 TYPICAL HEAD FLASHING PROFILE:
PROVIDE END DAM AT BOTH ENDS OF HEAD FLASHING (SEE WINDOW HEAD DETAIL).



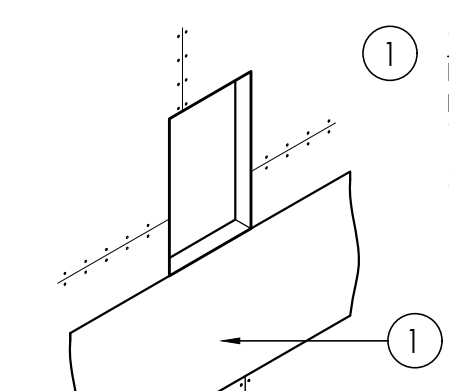
METAL SIDING APPLICATION:
APPLY METAL FLASHING DIRECTLY ABOVE WINDOW. EXTEND FLASHING BEYOND WINDOW FRAME 3/8" EACH SIDE, OR THE MINIMUM REQUIRED TO COVER 1/2" SEALANT JOINT.



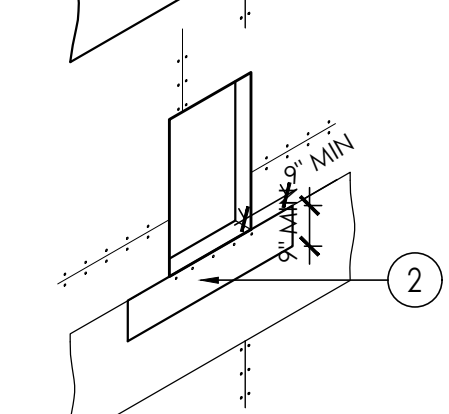
11 WATERPROOF HEAD FLASHING MEMBRANE:
INSTALL MEMBRANE (FORTIFIBER "FORTIFLASH") OVER METAL HEAD FLASHING. APPLY FIRM PRESSURE WITH A ROLLER ALONG THE ENTIRE SELF-ADHESIVE STRIP TO ENSURE A CONTINUOUS SEAL. FASTEN AT CORNERS AND MIDPOINT.



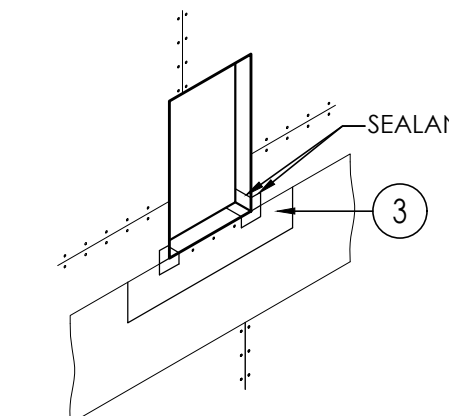
12 WEATHER-RESISTIVE BARRIER:
START AT THE BOTTOM OF THE WALL. LAY WEATHER-RESISTIVE BARRIER UP THE WALL, OVERLAPPING 1/2 ROLL + 4" MIN. HORIZ. AND 6" VERTICAL IN WEATHERBOARD FASHION. MAKE SURE THAT COURSE 'C' AND 'D' ARE PLACED UNDER THE SILL STRIP FLASHING AND JAMB FLASHING. ALIGN VERTICAL EDGE OF W.R.B. WITH SIDES OF HEAD FLASHING (LETTERS REFER TO ORDER OF INSTALLATION)



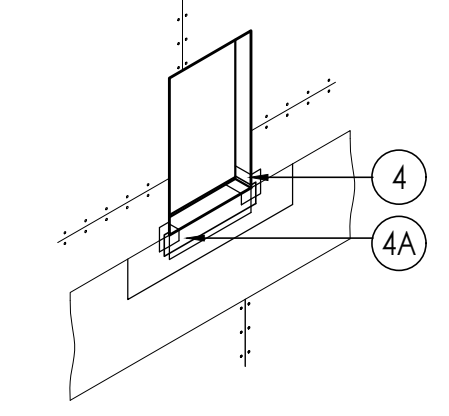
1 WEATHER-RESISTIVE BARRIER MATERIAL AT SILL:
INSTALL ONE COURSE OF WEATHER-RESISTIVE BARRIER AT SILL. FASTEN ONLY THE TOP OF WEATHER-RESISTIVE BARRIER TO SUBSTRATE, TO ALLOW (FOLLOWING) LOWER COURSE OF WEATHER RESISTIVE BARRIER TO GO UNDERNEATH.



2 BASE FLASHING - SILL:
INSTALL WATER-RESISTANT BASE FLASHING (FORTIFIBER "NEXT") AT SILL, ON TOP OF WEATHER-RESISTIVE BARRIER.



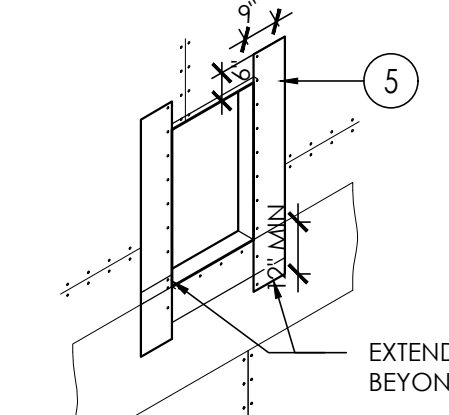
3 CORNER SHIELD:
FASTEN PRE-FORMED CORNER SHIELDS IN BEAD OF SEALANT AT JAMB TO FRAMING. CUT TO FIT TIGHT TO EXISTING LINER. DO NOT NAIL THROUGH SILL.



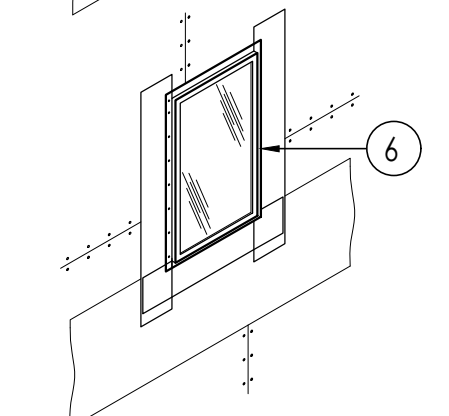
4 SILL WRAP:
INSTALL SELF-ADHESIVE SILL WRAP FLASHING (FORTIFIBER "FORTIFLASH") AT SILL, ON TOP OF BASE FLASHING AND CORNER SHIELDS. INSTALL UP TO LINER.



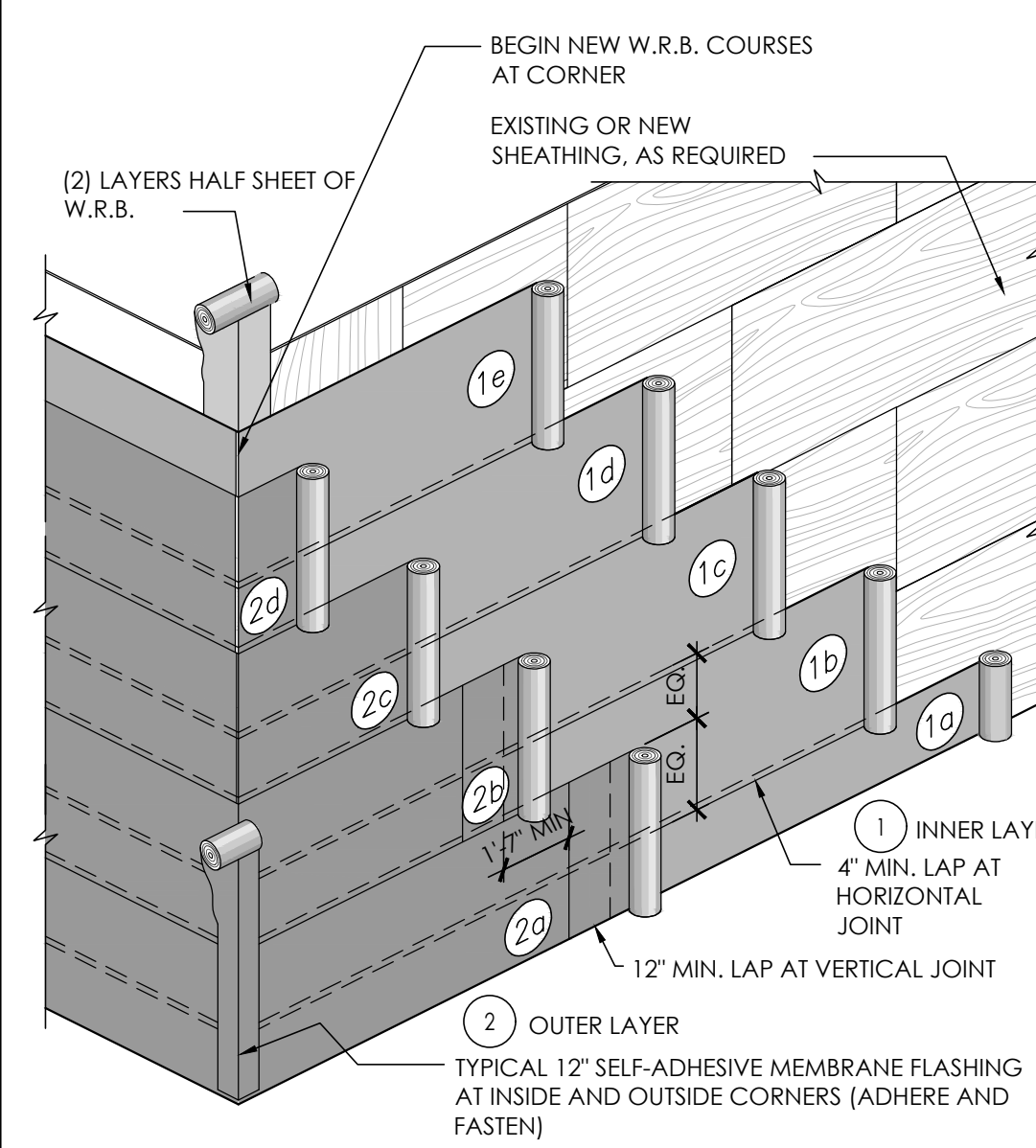
4A SILL PAN:
METAL SILL PAN WITH VERTICAL INTERIOR LIP OVER SILL WRAP



5 VERTICAL BASE FLASHING - JAMB:
INSTALL VERTICAL BASE FLASHING (FORTIFIBER "MOISTOP") OVER SILL FLASHING.

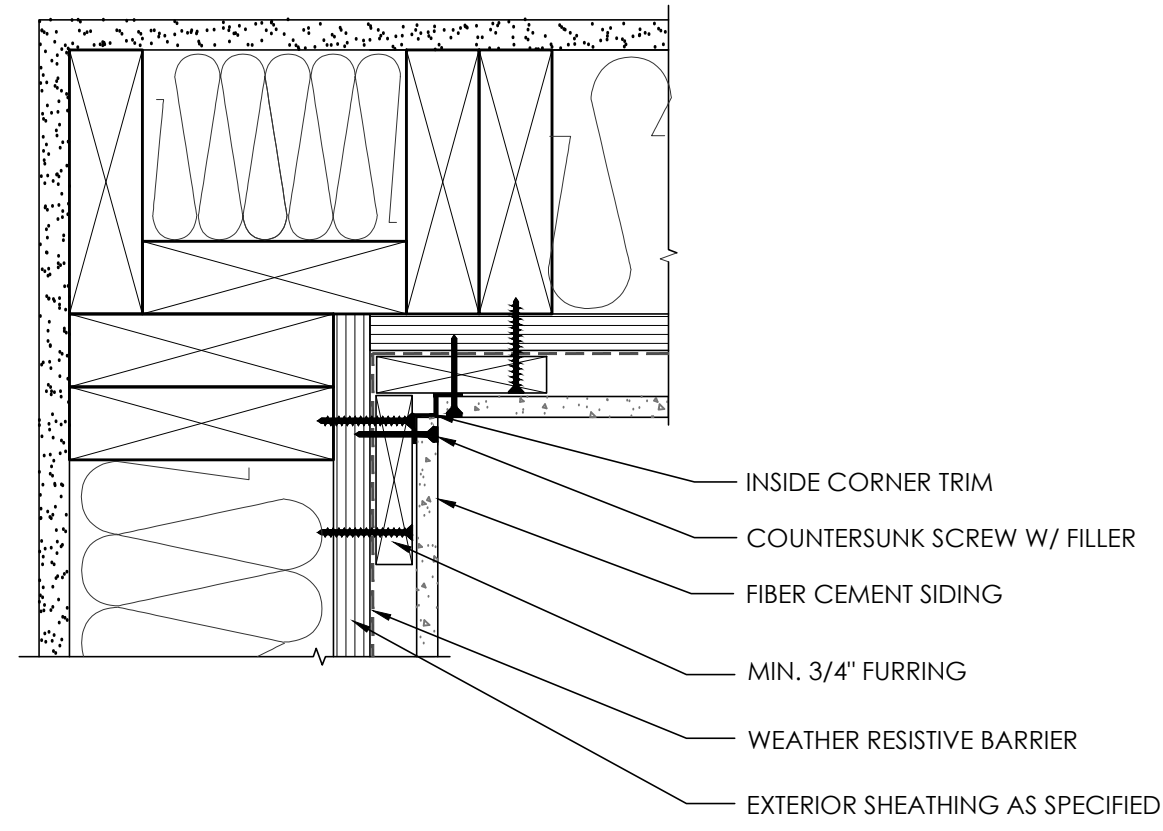


6 WINDOW FLANGE W/ SILICONE SEALANT:
APPLY CONTINUOUS BEAD OF SILICONE SEALANT (ASTM C-920 TYPE "S" GRADE N.S. CLASS 2S) ALONG TOP, SIDES AND BOTTOM OF WINDOW FLANGE. DO NOT NAIL AT WINDOW HEAD. INSTALL WINDOW IN OPENING PER MANUFACTURER'S SPECIFICATIONS.

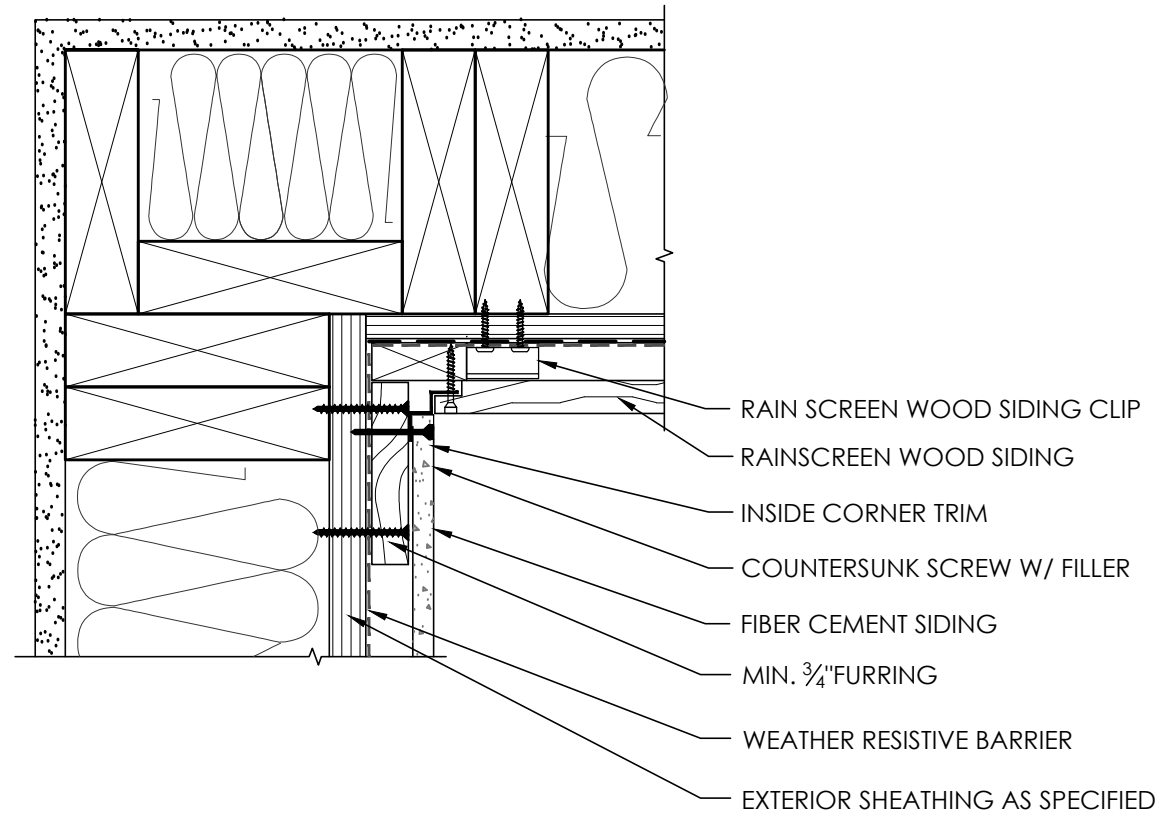


TYPICAL SEQUENCING OF WEATHER RESISTIVE MEMBRANE PRIOR TO INSTALLATION OF EXTERIOR FINISH MATERIAL

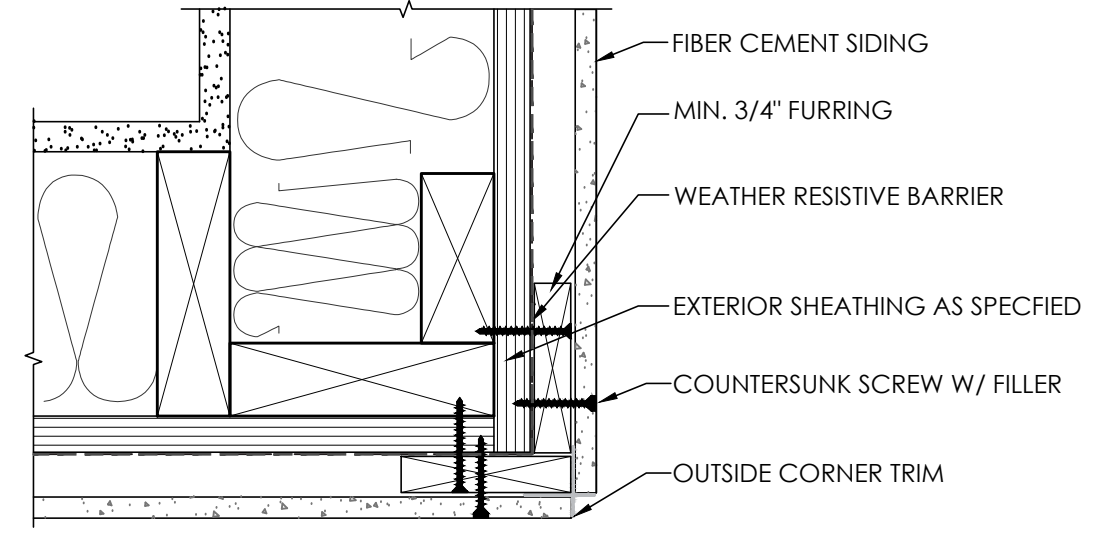
A1 WEATHER RESISTIVE BARRIER



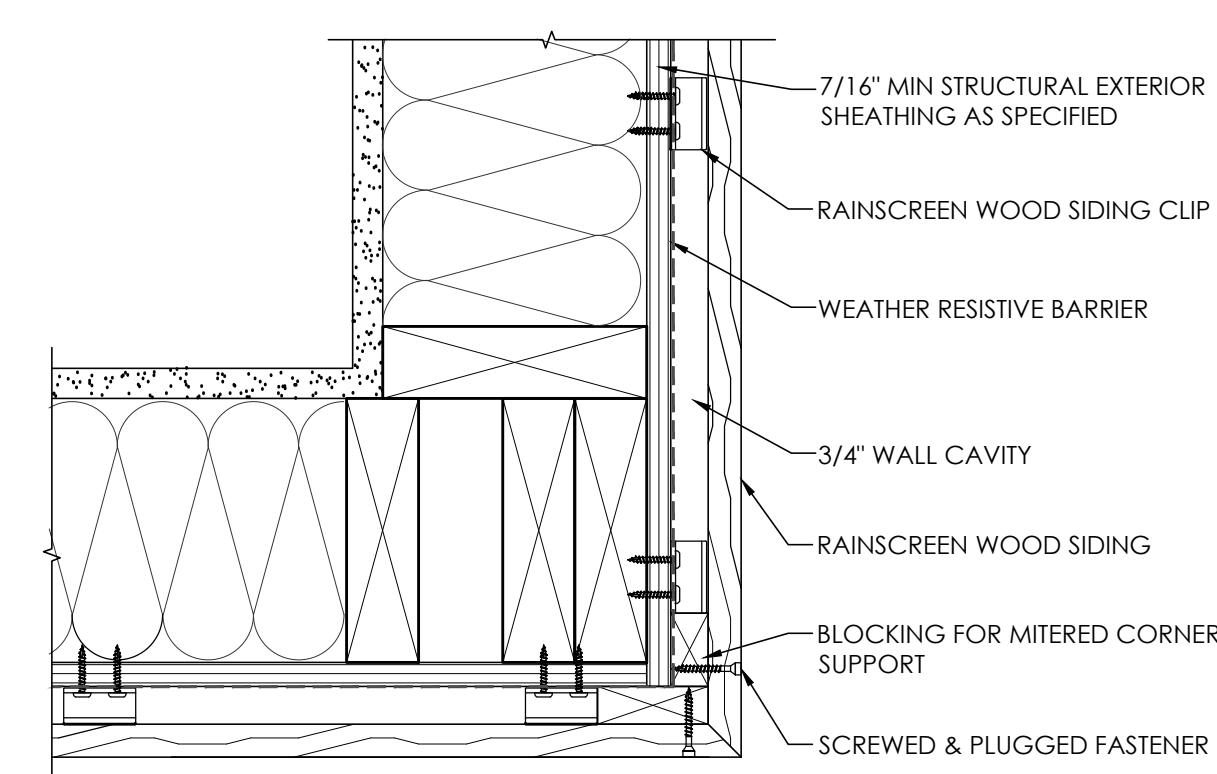
D1 PLAN DETAIL AT INSIDE CORNER TRIM
 SCALE: 3" = 1'-0"



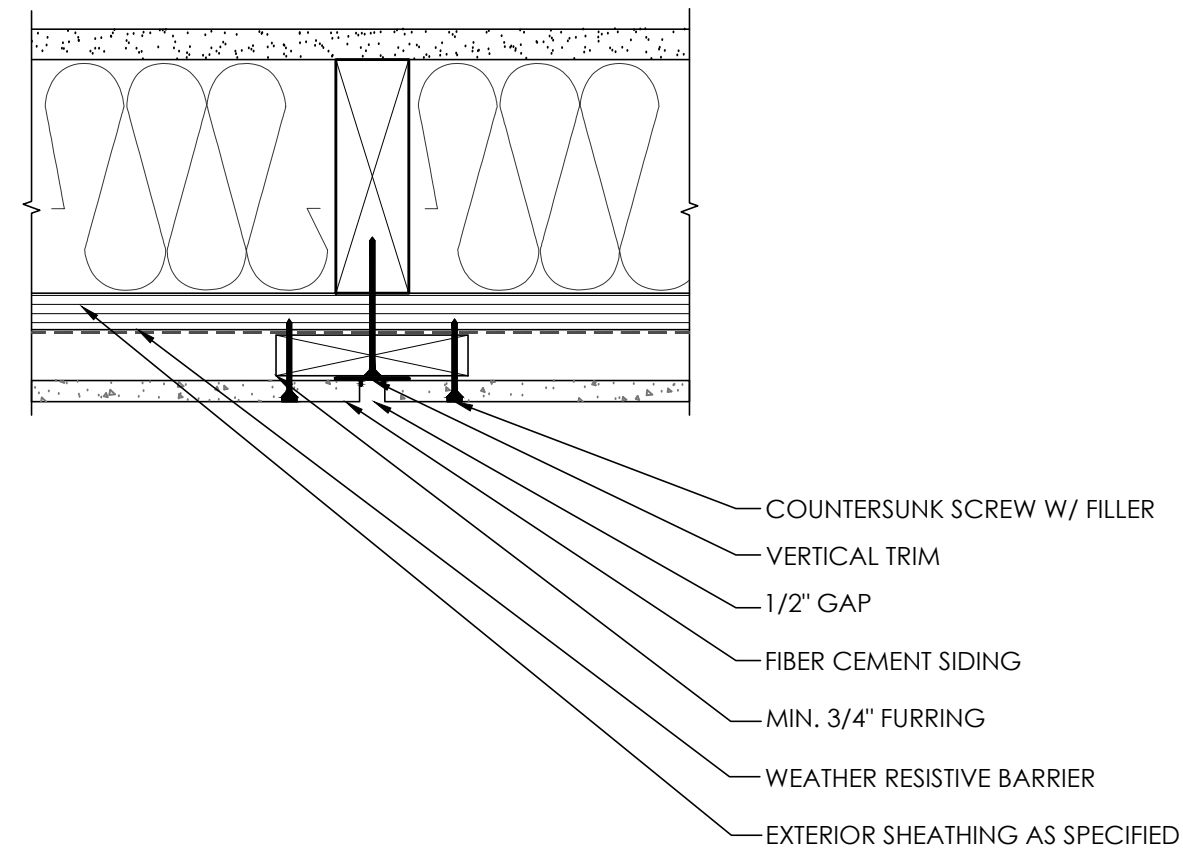
D2 INSIDE CORNER - FIBER CEMENT TO WOOD
 SCALE: 3" = 1'-0"



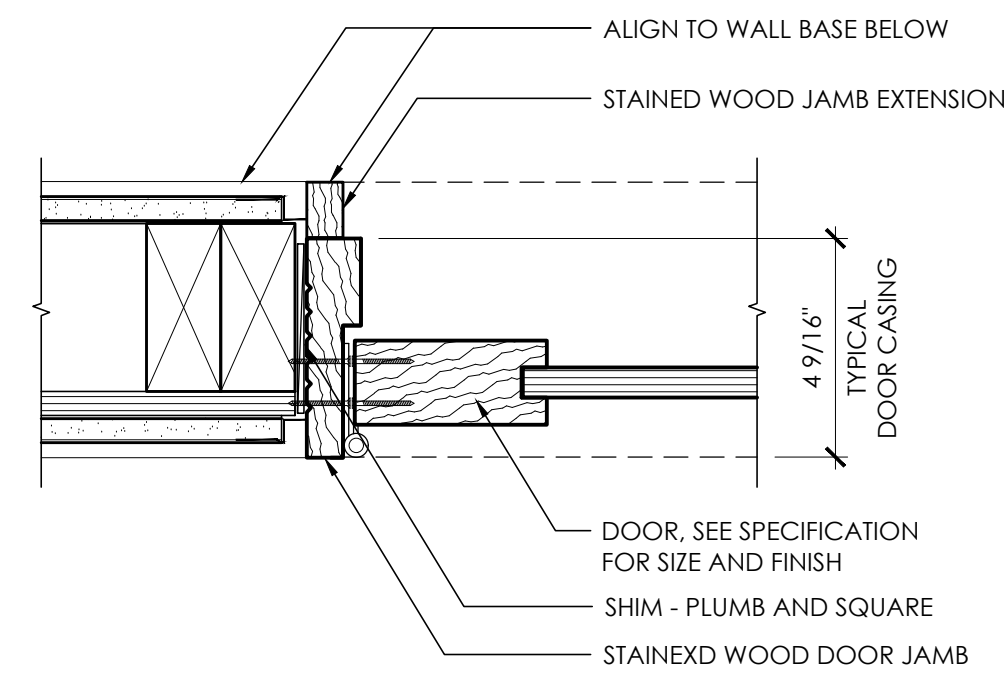
D3 PLAN DETAIL AT OUTSIDE CORNER TRIM
 SCALE: 3" = 1'-0"



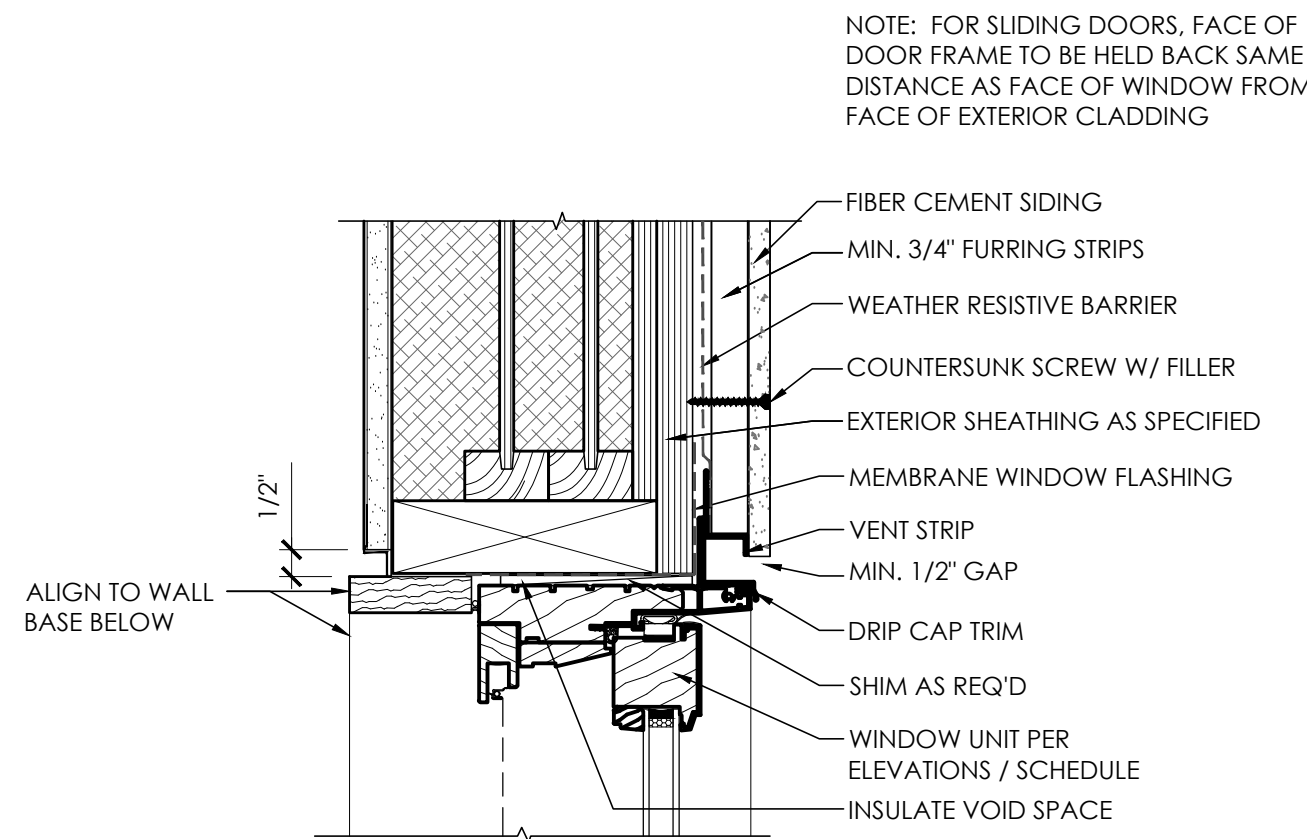
D5 OUTSIDE CORNER AT WOOD SIDING
 SCALE: 3" = 1'-0"



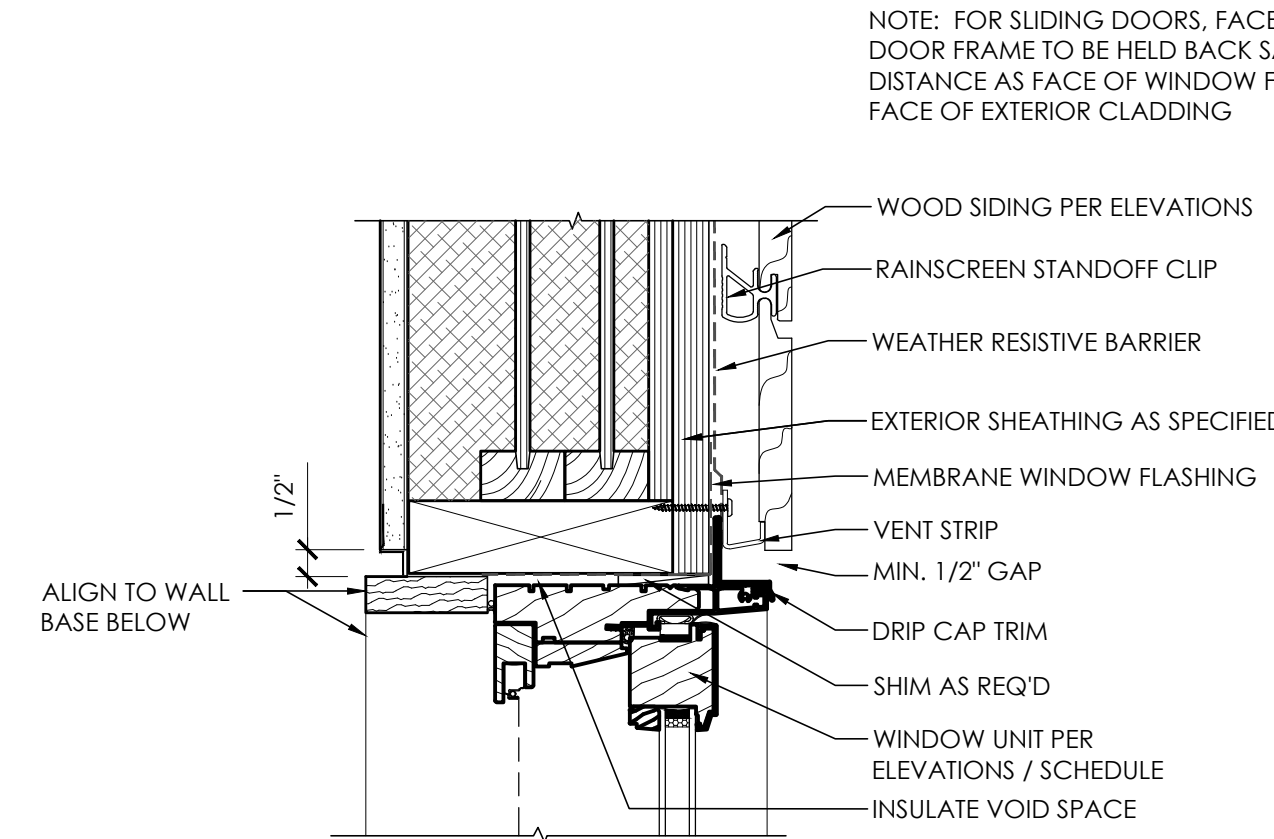
C1 PANEL SECTION W/ VERTICAL TRIM
 SCALE: 3" = 1'-0"



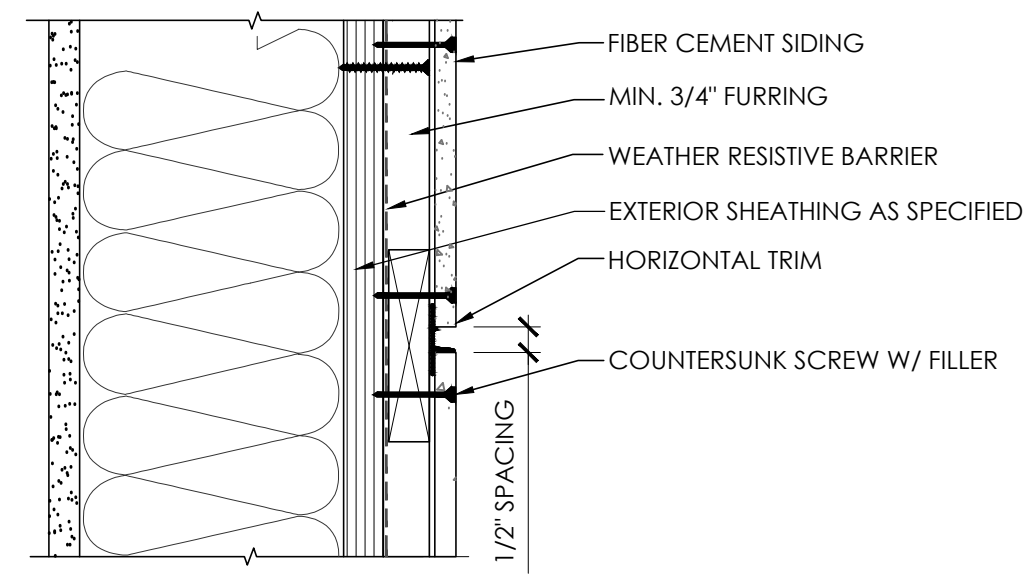
C2 INTERIOR DOOR JAMB
 SCALE: 3" = 1'-0"



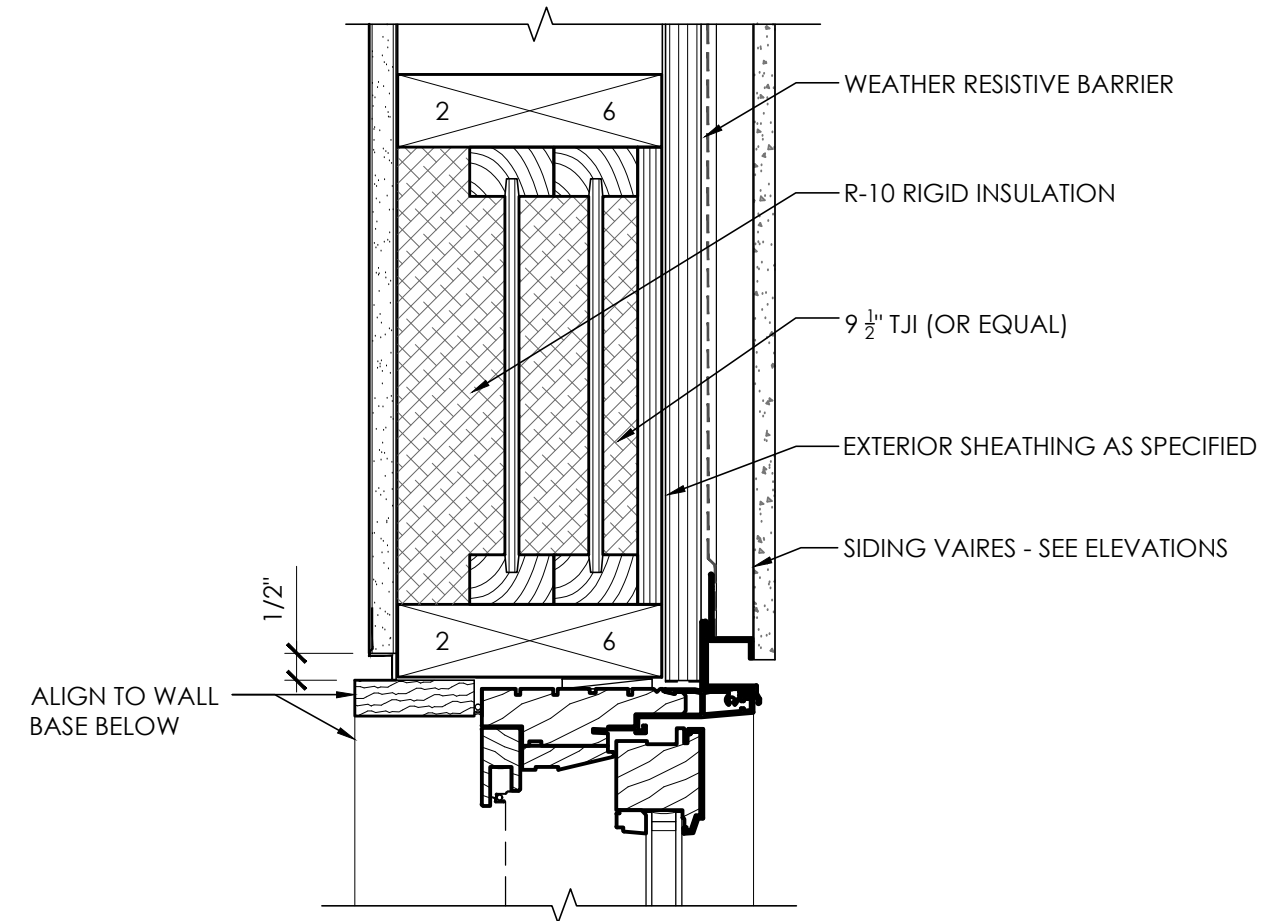
C3 WINDOW HEAD AT SIDING - DOOR HEAD SIM.
 SCALE: 3" = 1'-0"



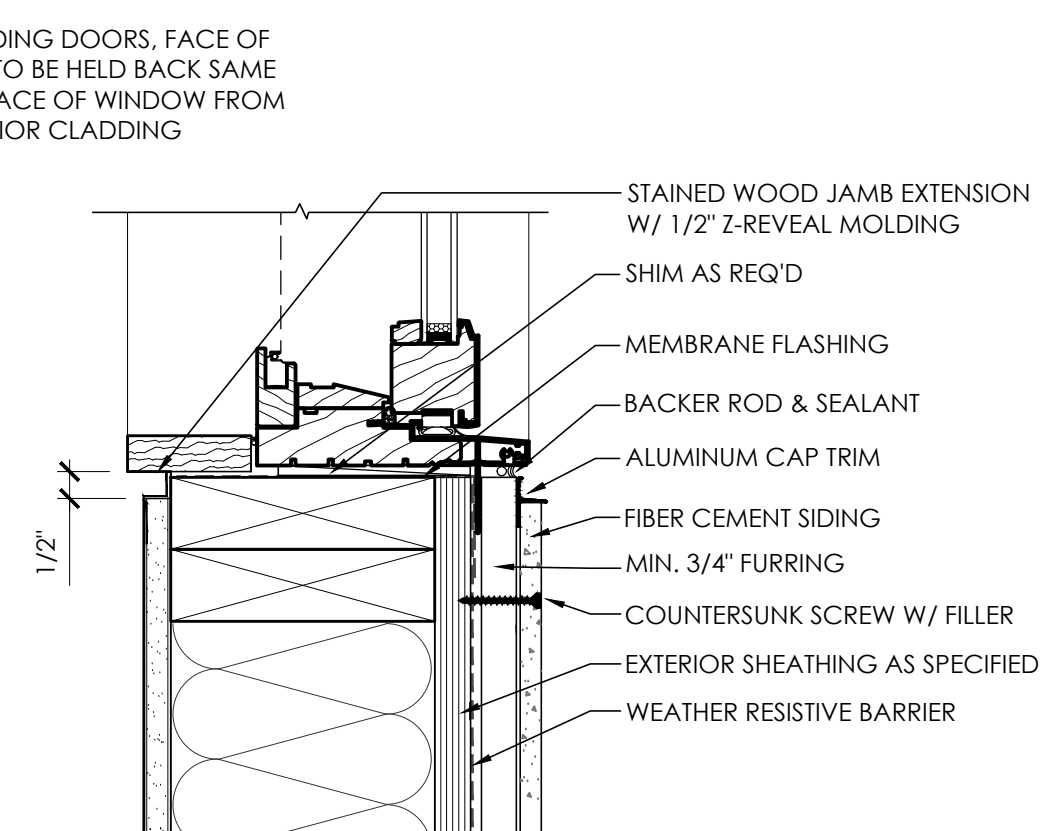
C5 WINDOW HEAD AT WOOD SIDING - DOOR HEAD SIM.
 SCALE: 3" = 1'-0"



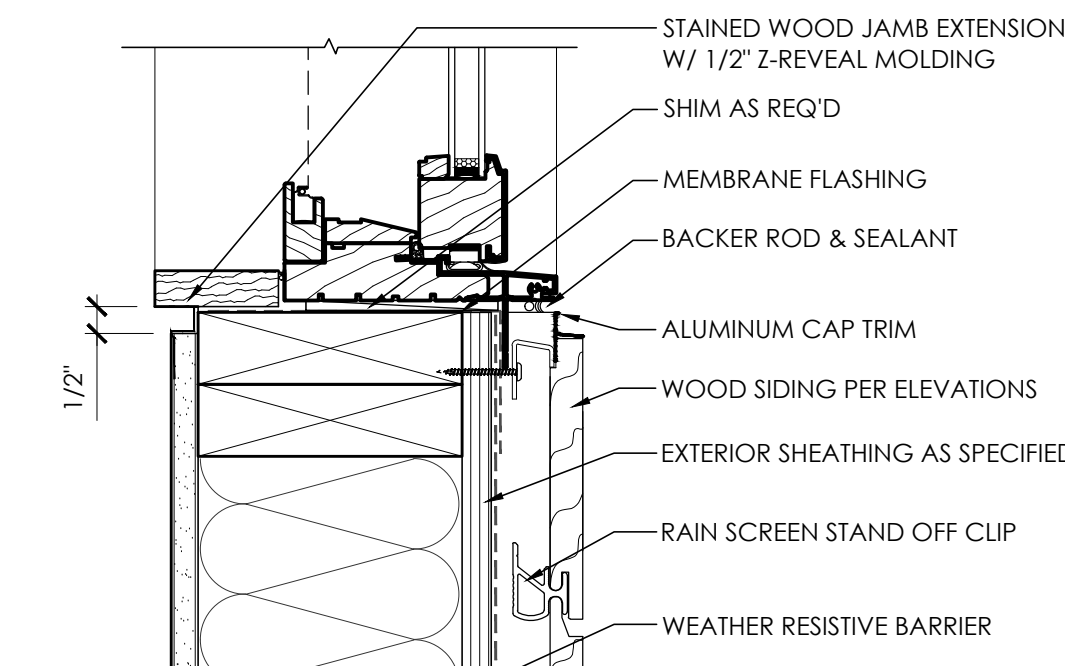
B1 PANEL SECTION W/ HORIZONTAL TRIM
 SCALE: 3" = 1'-0"



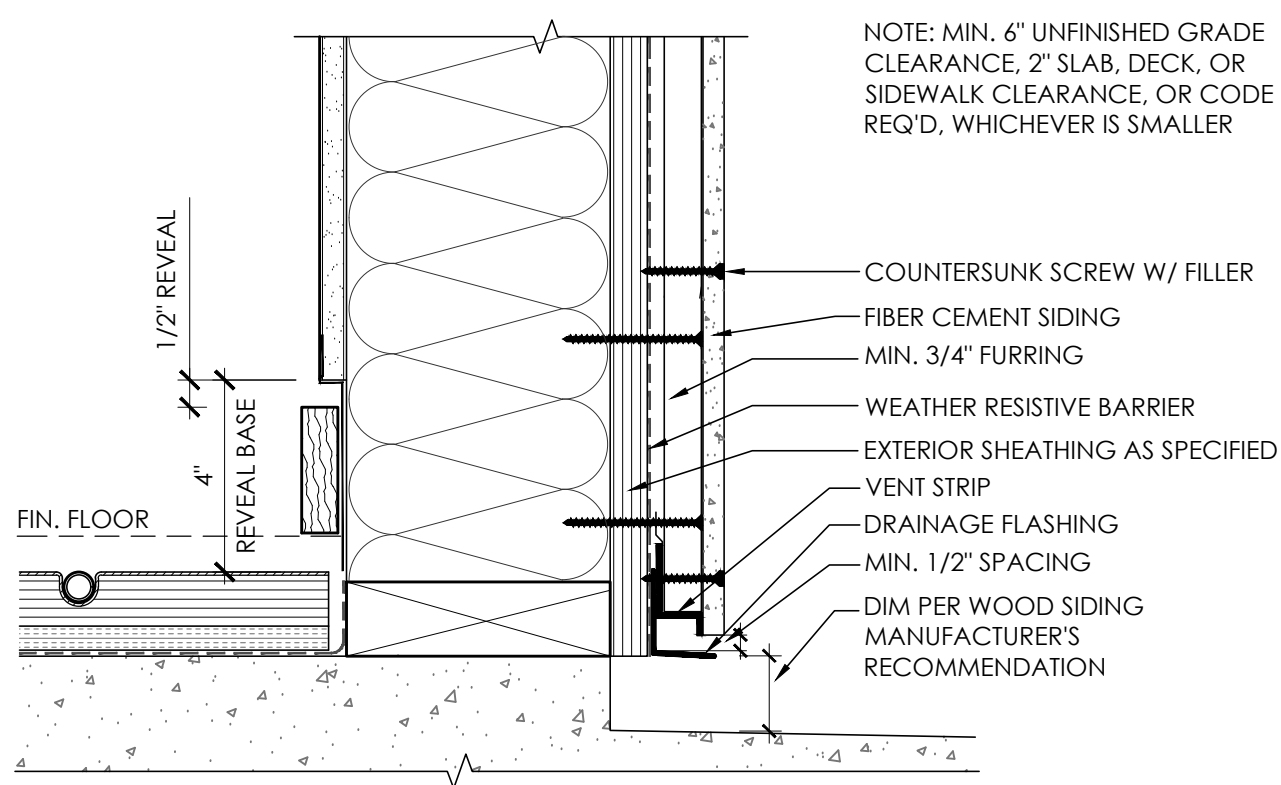
B2 TYPICAL WINDOW/DOOR HEADER
 SCALE: 3" = 1'-0" CONTRACTOR OPTION



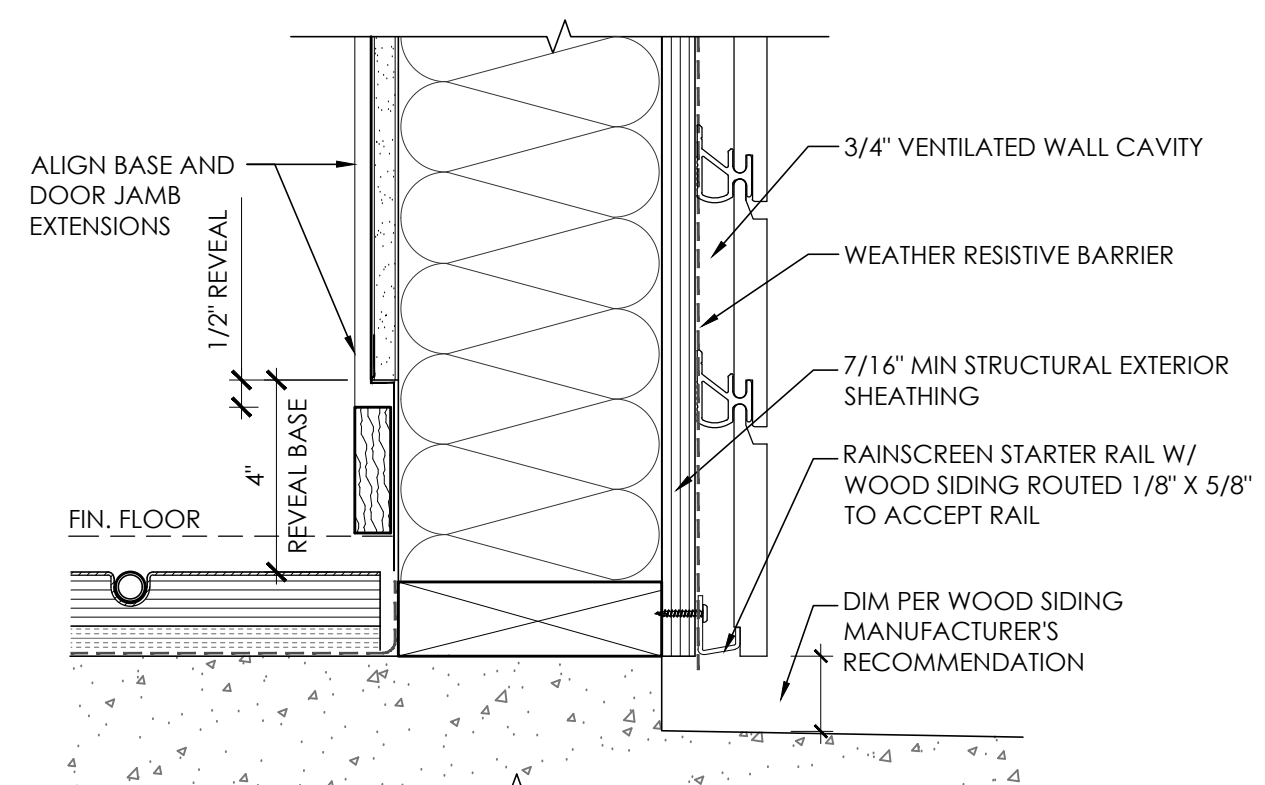
B3 WINDOW SILL AT SIDING
 SCALE: 3" = 1'-0"



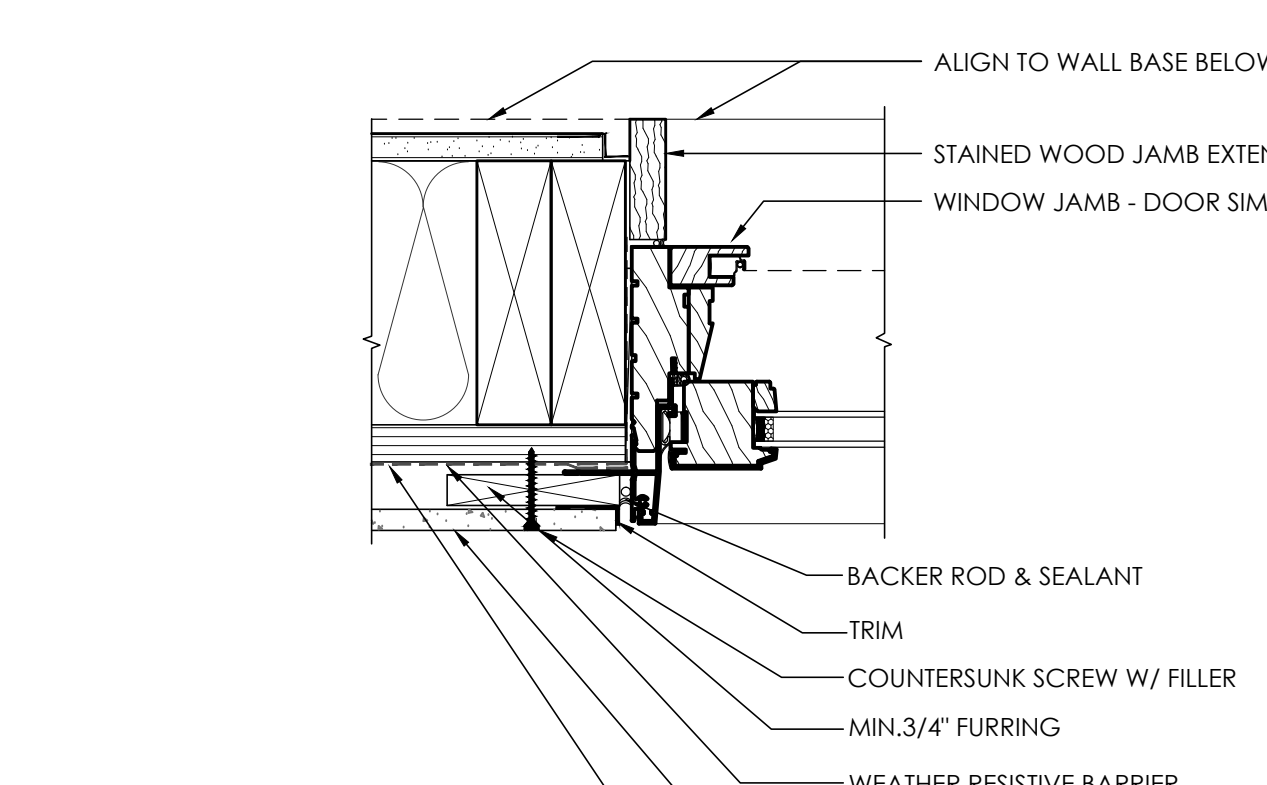
B5 WINDOW SILL AT WOOD SIDING
 SCALE: 3" = 1'-0"



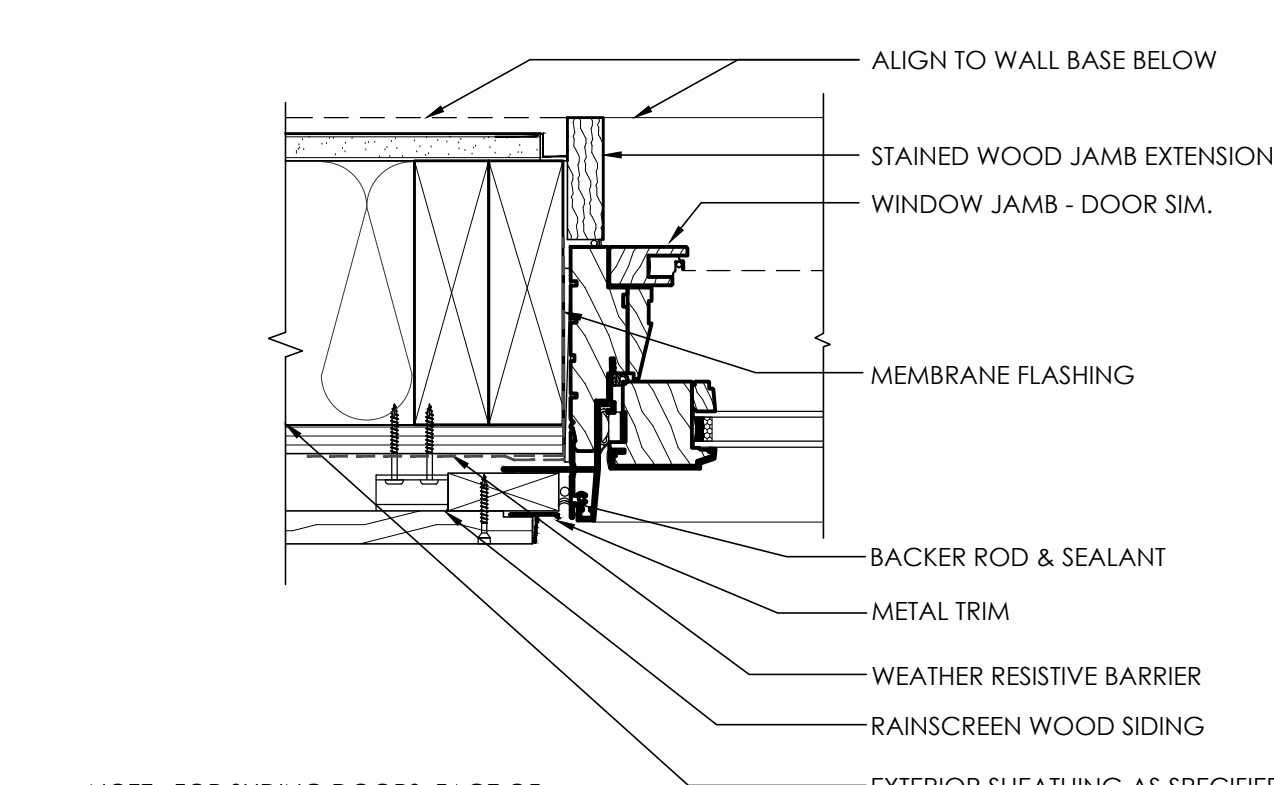
A1 FOUNDATION DETAIL
 SCALE: 3" = 1'-0"



A2 FOUNDATION DETAIL
 SCALE: 3" = 1'-0"



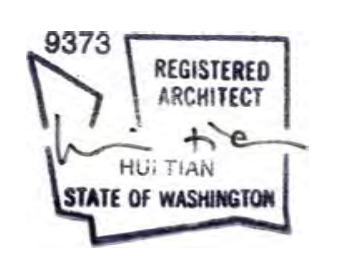
A3 WINDOW JAMB AT SIDING - DOOR JAMB SIM.
 SCALE: 3" = 1'-0"



A5 WINDOW JAMB AT WOOD SIDING - DOOR JAMB SIM.
 SCALE: 3" = 1'-0"

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:
Barcelo homes
 PO BOX 1733 AUBURN, WA 98071
 Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
 MERCER ISLAND, WA 98040

SHEET ISSUE:

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| 6/24/2015 | PERMIT SUBMITTAL |
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| 6/05/2017 | REVISION TO PERMIT |

MARK DATE DESCRIPTION

MUNICIPALITY REVIEW: _____

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE: _____

EXTERIOR DETAILS - CLADDING

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER: A8.02

OPENING SCHEDULE - LEVEL 1 - INTERIOR DOORS

| MARKER | DIMENSION | | FIRE RATING (MIN) | HARDWARE | TYPE | FRAME | | HEAD | DETAILS | | REMARKS |
|--------|------------|-------|-------------------|-------------|---|-------|---------|----------|----------|------|---------|
| | W | H | | | | TYPE | FINISH | | JAMB | SILL | |
| 100A | 3'-0" | 8'-0" | 20 MIN | TBD | PASSAGE W/ SELF CLOSING HINGES | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 100B | 3'-0" | 8'-0" | 20 MIN | CALL BUTTON | ELEVATOR W/ SELF CLOSING HINGES | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 100C | 2'-6" | 8'-0" | | | PASSAGE | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 101 | 2'-6" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 102A | 2'-6" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 102C | PAIR 2'-0" | 8'-0" | | | PASSAGE / CLOSET | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 103A | 12'-0" | 8'-0" | | | SLIDING POCKET | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 103D | PAIR 2'-6" | 8'-0" | | | PASSAGE / CLOSET | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 104A | 3'-0" | 8'-0" | TEMPERED | | PIVOT GLASS DOOR / 1/2" LAMINATED GLASS | GLASS | CLEAR | N/A | N/A | N/A | |
| 105 | 2'-6" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 106 | 3'-0" | 8'-0" | 20 MIN | | PASSAGE W/ SELF CLOSING HINGES | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 109 | 2'-6" | 8'-0" | | | PASSAGE | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 113C | PAIR 2'-6" | 8'-0" | 20 MIN. | | PASSAGE W/ SELF CLOSING HINGES | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |

OPENING SCHEDULE - LEVEL 2 - INTERIOR DOORS

| MARKER | DIMENSION | | FIRE RATING (MIN) | HARDWARE | TYPE | FRAME | | HEAD | DETAILS | | REMARKS |
|--------|------------|-------|-------------------|----------|------------------|-------|---------|----------|----------|------|---------|
| | W | H | | | | TYPE | FINISH | | JAMB | SILL | |
| 200B | PAIR 2'-6" | 8'-0" | | TBD | PASSAGE / CLOSET | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 203 | 4'-6" | 8'-0" | | | BARN SLIDER | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 204B | 3'-0" | 8'-0" | | | PASSAGE | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 204C | 3'-0" | 8'-0" | | | POCKET/PASSAGE | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 204D | 3'-0" | 8'-0" | | | POCKET/PASSAGE | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 206 | 3'-0" | 8'-0" | | | PASSAGE | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 207A | 2'-4" | 8'-0" | | | PASSAGE / CLOSET | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 207B | 3'-0" | 8'-0" | | | PASSAGE | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 208 | 2'-4" | 8'-0" | 20 MIN | | PASSAGE / CLOSET | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 209 | 2'-8" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 210B | PAIR 2'-4" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 211 | 2'-6" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |

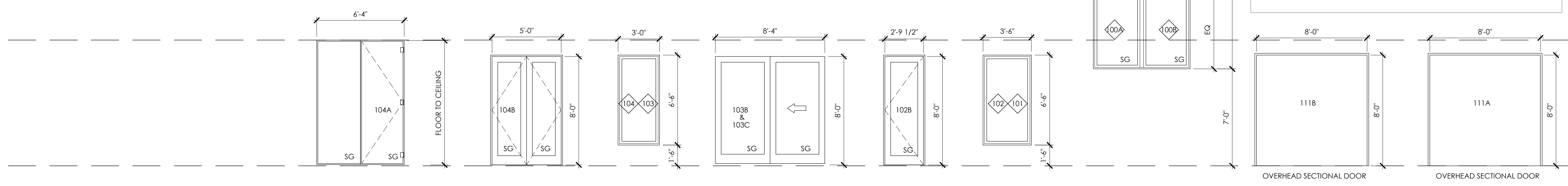
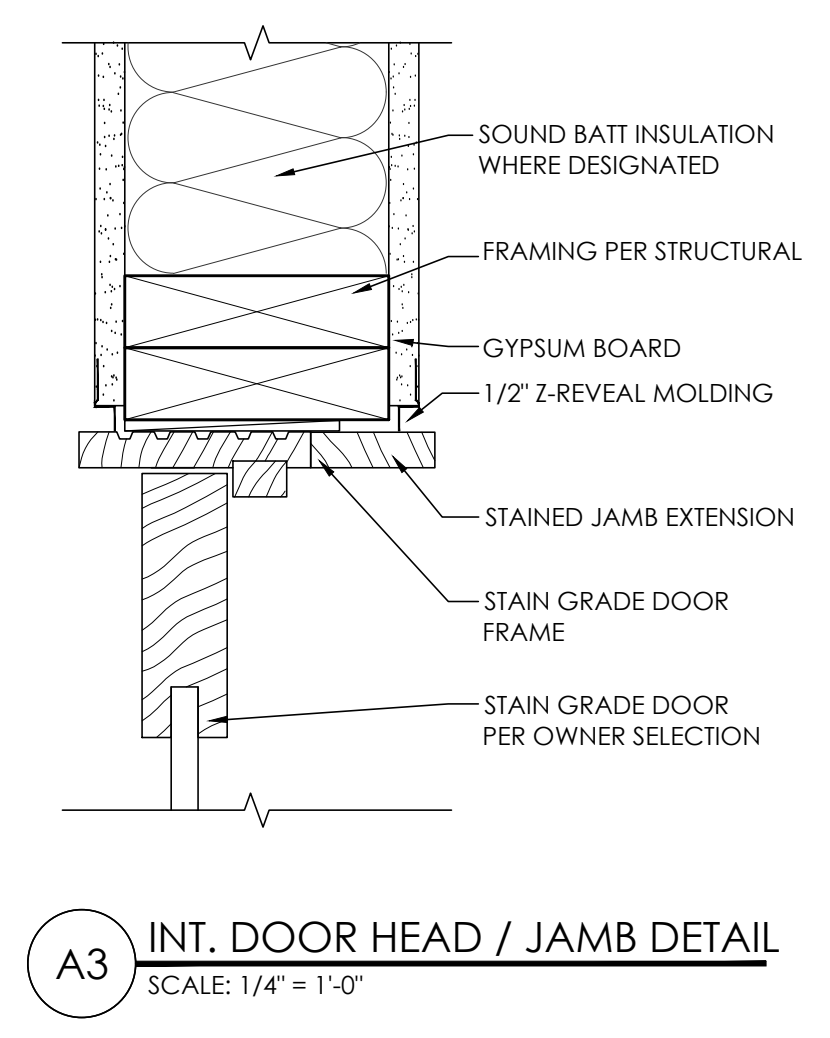
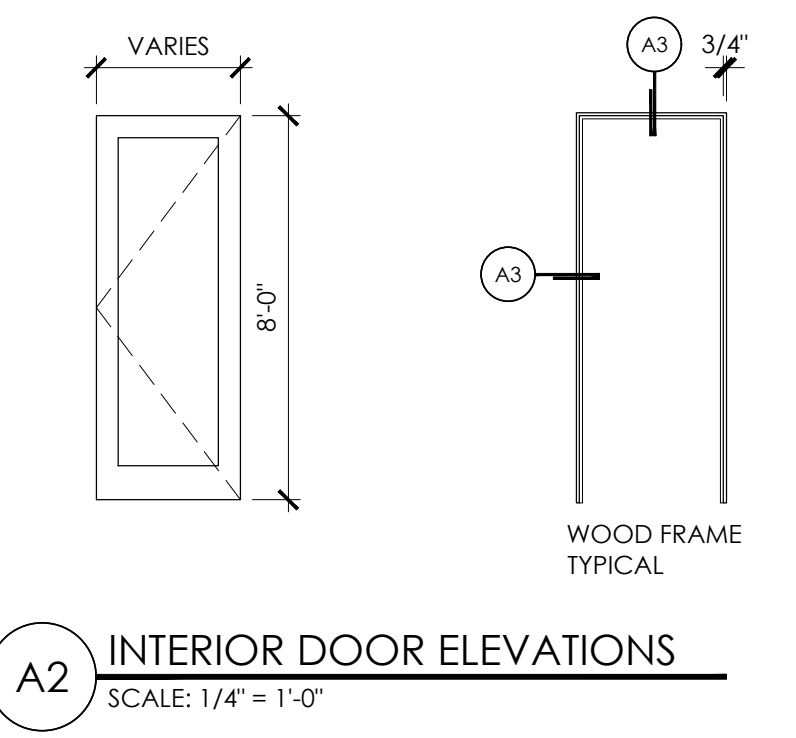
OPENING SCHEDULE - LEVEL 3 - INTERIOR DOORS

| MARKER | DIMENSION | | FIRE RATING (MIN) | HARDWARE | TYPE | FRAME | | HEAD | DETAILS | | REMARKS |
|--------|------------|-------|-------------------|----------|------------------|-------|---------|----------|----------|------|---------|
| | W | H | | | | TYPE | FINISH | | JAMB | SILL | |
| 300A | PAIR 2'-4" | 8'-0" | | TBD | PASSAGE / CLOSET | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 300B | 3'-0" | 8'-0" | | | PASSAGE | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 302 | 3'-0" | 8'-0" | | | PASSAGE / CLOSET | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 303A | PAIR 2'-4" | 8'-0" | | | PASSAGE / CLOSET | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 304 | 3'-0" | 8'-0" | | | PASSAGE / CLOSET | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 305A | 5'-0" | 8'-0" | | | BARN SLIDER | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 305B | 2'-8" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 306 | 2'-6" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 307 | 3'-0" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 308 | 3'-0" | 8'-0" | | | BARN SLIDER | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 309 | 3'-0" | 8'-0" | | | PASSAGE | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 310 | 2'-6" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 311 | 3'-0" | 8'-0" | | | PASSAGE / CLOSET | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 312 | 3'-0" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 313 | 3'-0" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 314 | 3'-0" | 8'-0" | | | BARN SLIDER | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |
| 315 | 2'-6" | 8'-0" | | | PRIVACY | WOOD | STAINED | A3/A9.01 | A3/A9.01 | N/A | |

GENERAL FINISH NOTES

2012 IBC INTERIOR FINISH (CHAPTER 7, 8, 12 & 16)

- THE FACING OF ANY EXPOSED INSULATION MUST MEET A FLAME SPREAD INDEX OF 25 OR LESS IBC SECTION 719.2).
- REFER TO TABLE 721.1 FOR RATED FIRE RESISTANCE PERIODS FOR WALLS AND PARTITIONS (2012 IBC)
- THE MAXIMUM FLAME-SPREAD CLASS OF FINISH MATERIALS USED ON INTERIOR WALLS & CEILINGS SHALL NOT EXCEED THE FLAME-SPREAD LIMITATIONS OF IBC TABLE 803.9)
- INTERIOR WALL AND CEILING FINISH MATERIALS SHALL MEET WITH ASTM E84 OR UL 723
- INTERIOR FLOOR FINISHES TO COMPLY WITH 2012 IBC SECTION 804, AND NFPA 253
- INSULATION TO COMPLY WITH 2012 IBC SECTION 720
- DECORATIVE MATERIALS AND TRIMS SHALL BE RESTRICTED BY COMBUSTIBILITY AND THE FLAME PROPAGATION PERFORMANCE CRITERIA OF NFPA 701, IN ACCORDANCE WITH SECTION 806 (2012 IBC)



OPENING SCHEDULE - LEVEL 1 - EXTERIOR WINDOWS

| MARKER | DIMENSION | | HEAD HEIGHT ABOVE SUBFLOOR | TYPE | FRAME | | DETAILS | | | REMARKS |
|--------|----------------|----------------|----------------------------|----------------|-----------|--------|---------------|---------------|---------------|---|
| | W | H | | | TYPE | FINISH | HEAD | JAMB | SILL | |
| 100 | SEE ELEVATIONS | SEE ELEVATIONS | SEE ELEVATIONS | GANGED PICTURE | CLAD WOOD | BRONZE | SEE SHT A8.02 | SEE SHT A8.02 | SEE SHT A8.02 | SAFETY GLAZING NOTED ON ELEVATIONS - TYP. |
| 101 | | | | PICTURE | | | | | | |
| 102 | | | | PICTURE | | | | | | |
| 103 | | | | PICTURE | | | | | | |
| 104 | | | | PICTURE | | | | | | |

OPENING SCHEDULE - LEVEL 1 - EXTERIOR DOORS

| MARKER | DIMENSION | | FIRE RATING (MIN) | HARDWARE | TYPE | FRAME | | HEAD | DETAILS | | REMARKS |
|--------|----------------|----------------|-------------------|----------|------------------------------------|-----------|--------|---------------|---------------|---------|---------|
| | W | H | | | | TYPE | FINISH | | JAMB | SILL | |
| 111A | SEE ELEVATIONS | SEE ELEVATIONS | N/A | TBD | OVERHEAD SECTIONAL | N/A | N/A | TBD | TBD | TBD | |
| 111B | | | | | OVERHEAD SECTIONAL | N/A | N/A | TBD | TBD | TBD | |
| 102B | | | | | INSWING - FULL LITE | CLAD WOOD | BRONZE | SEE SHT A8.02 | SEE SHT A8.02 | FACTORY | |
| 103B | | | | | SLIDING PATIO DOOR | | | | | | |
| 103C | | | | | SLIDING PATIO DOOR | | | | | | |
| 104B | | | | | OUTSWING - FULL LITE - DOUBLE DOOR | | | | | | |

OPENING SCHEDULE - LEVEL 2 - EXTERIOR DOORS

| MARKER | DIMENSION | | FIRE RATING (MIN) | HARDWARE | TYPE | FRAME | | HEAD | DETAILS | | REMARKS |
|--------|----------------|----------------|-------------------|----------|------------------------------------|-----------|--------|---------------|---------------|---------|---------|
| | W | H | | | | TYPE | FINISH | | JAMB | SILL | |
| 200A | SEE ELEVATIONS | SEE ELEVATIONS | N/A | TBD | INSWING - FULL LITE | CLAD WOOD | BRONZE | SEE SHT A8.02 | SEE SHT A8.02 | FACTORY | |
| 202 | | | | | STACKING BIFOLD | | | | | | |
| 204A | | | | | INSWING - FULL LITE | | | | | | |
| 205 | | | | | INSWING - FULL LITE | | | | | | |
| 210A | | | | | OUTSWING - FULL LITE - DOUBLE DOOR | | | | | | |
| 210C | | | | | OUTSWING - FULL LITE - DOUBLE DOOR | | | | | | |

OPENING SCHEDULE - LEVEL 3 - EXTERIOR DOORS

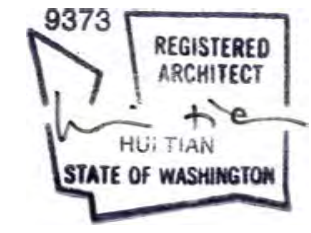
| MARKER | DIMENSION | | FIRE RATING (MIN) | HARDWARE | TYPE | FRAME | | HEAD | DETAILS | | REMARKS |
|--------|----------------|----------------|-------------------|----------|------------------------------------|-----------|--------|---------------|---------------|---------|---------|
| | W | H | | | | TYPE | FINISH | | JAMB | SILL | |
| 301 | SEE ELEVATIONS | SEE ELEVATIONS | N/A | TBD | OUTSWING - FULL LITE - DOUBLE DOOR | CLAD WOOD | BRONZE | SEE SHT A8.02 | SEE SHT A8.02 | FACTORY | |
| 303B | | | | | OUTSWING - FULL LITE | | | | | | |

GENERAL NOTES

- ALL WINDOW DIMENSIONS ARE NOMINAL. REFER TO MANUFACTURERS RECOMMENDATIONS FOR ROUGH OPENING DIMENSIONS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FABRICATION.
- ALL GLAZING IN OR WITHIN 24" OF A DOOR, OR WITHIN 18" OF FLOOR, OR WITHIN 60" OF TUB FLOOR, GLAZING ADJACENT TO STAIRS AND STAIR LANDINGS, OR ANY OTHER HAZARDOUS AREA IS TO BE TEMPERED SAFETY GLAZING. PROVIDE SAFETY GLAZING WHERE REQUIRED PER APPLICABLE CODE REQUIREMENTS.
- DOORS AND CASED OPENINGS LOCATED NEAR WALL INTERSECTIONS SHALL BE LOCATED SO THAT THE EDGE OF FINISHED OPENING IS 3" FROM FACE OF NEARBY WALL, UNLESS NOTED OTHERWISE.
- ALL WINDOWS TO BE DOUBLE GLAZED WITH A MINIMUM U-VALUE OF 0.30 OR BETTER.
- SEE SHEETS A-301 AND A-302, EXTERIOR ELEVATIONS FOR OPENING DIRECTION OF OPERABLE UNITS.
- EACH BEDROOM WINDOW MUST BE 5.7 SF MINIMUM NET CLEAR AREA (GRADE FLOOR OPENINGS CAN BE MINIMUM NET CLEAR OPEN AREA OF 5 SF), WITH 20" MINIMUM CLEAR OPEN WIDTH, 24" CLEAR OPEN HEIGHT, 44" MAXIMUM SILL HEIGHT.
- CAULK AND SEAL ALL WINDOW AND DOOR OPENINGS AND EXTERIOR PENETRATIONS.
- MINIMUM 1/2" THROW ON DEAD BOLT OR DEAD LATCH FOR DOORS.
- NOT USED
- WINDOWS WITHIN 10' OF GRADE (OR ACCESSIBLE DECK) CAPABLE OF BEING LOCKED.
- MINIMUM 1 3/8" SOLID CORE OR 20 MINUTE DOOR REQUIRED BETWEEN GARAGE AND DWELLING.

CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:

 PO BOX 1733 AUBURN, WA 98071
 Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
 MERCER ISLAND, WA 98040

SHEET ISSUE:

| DATE | DESCRIPTION |
|-----------|--------------------|
| 6/24/2015 | PERMIT SUBMITTAL |
| 8/29/2016 | PERMIT APPROVED |
| 6/05/2017 | REVISION TO PERMIT |

MUNICIPALITY REVIEW: _____

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE: _____

WINDOW & DOOR SCHEDULES

PROJECT NO.: 20140904

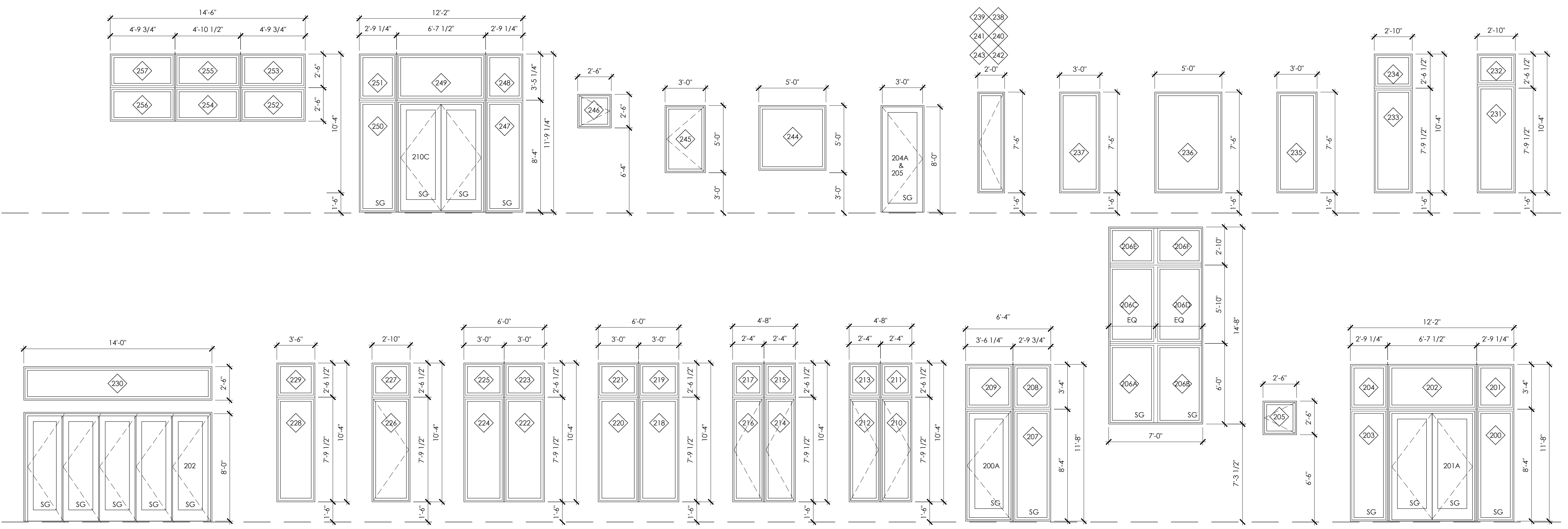
DATE ISSUED: 6/5/2017

SHEET NUMBER: _____

A9.01

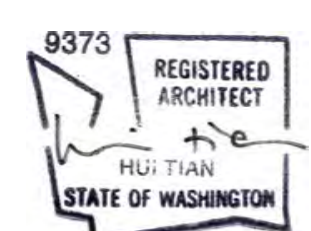
| OPENING SCHEDULE - LEVEL 2 - EXTERIOR WINDOWS | | | | | | | | | | |
|---|----------------|----------------|----------------------------|-----------------|-----------|--------|---------------|-----------------|-----------------|---|
| MARKER | DIMENSION | | HEAD HEIGHT ABOVE SUBFLOOR | TYPE | FRAME | | DETAILS | | | REMARKS |
| | SEE ELEVATIONS | SEE ELEVATIONS | | | TYPE | FINISH | HEAD | JAMB | SILL | |
| 200 | SEE ELEVATIONS | SEE ELEVATIONS | SEE ELEVATIONS | PICTURE | CLAD WOOD | BRONZE | SEE SHT A8.02 | SEE SHEET A8.02 | SEE SHEET A8.02 | SAFETY GLASS NOTED ON ELEVATIONS - TYP. |
| 201 | | | | PICTURE | | | | | | |
| 202 | | | | PICTURE/TRANSOM | | | | | | |
| 203 | | | | PICTURE | | | | | | |
| 204 | | | | PICTURE | | | | | | |
| 205 | | | | CASEMENT | | | | | | |
| 206 | | | | PICTURE | | | | | | |
| 207 | | | | PICTURE | | | | | | |
| 208 | | | | PICTURE | | | | | | |
| 209 | | | | PICTURE | | | | | | |
| 210 | | | | CASEMENT | | | | | | |
| 211 | | | | PICTURE | | | | | | |
| 212 | | | | CASEMENT | | | | | | |
| 213 | | | | PICTURE | | | | | | |
| 214 | | | | CASEMENT | | | | | | |
| 215 | | | | PICTURE | | | | | | |
| 216 | | | | CASEMENT | | | | | | |
| 217 | | | | PICTURE | | | | | | |
| 218 | | | | PICTURE | | | | | | |
| 219 | | | | PICTURE | | | | | | |
| 220 | | | | PICTURE | | | | | | |
| 221 | | | | PICTURE | | | | | | |
| 222 | | | | PICTURE | | | | | | |
| 223 | | | | PICTURE | | | | | | |
| 224 | | | | PICTURE | | | | | | |
| 225 | | | | PICTURE | | | | | | |
| 226 | | | | CASEMENT | | | | | | |
| 227 | | | | PICTURE | | | | | | |
| 228 | | | | PICTURE | | | | | | |
| 229 | | | | PICTURE | | | | | | |
| 230 | ✓ | ✓ | ✓ | PICTURE | ✓ | ✓ | ✓ | ✓ | ✓ | |

| OPENING SCHEDULE - LEVEL 2 - EXTERIOR WINDOWS | | | | | | | | | | |
|---|----------------|----------------|----------------------------|----------|-----------|--------|---------------|---------------|---------------|---|
| MARKER | DIMENSION | | HEAD HEIGHT ABOVE SUBFLOOR | TYPE | FRAME | | DETAILS | | | REMARKS |
| | SEE ELEVATIONS | SEE ELEVATIONS | | | TYPE | FINISH | HEAD | JAMB | SILL | |
| 231 | SEE ELEVATIONS | SEE ELEVATIONS | SEE ELEVATIONS | PICTURE | CLAD WOOD | BRONZE | SEE SHT A8.02 | SEE SHT A8.02 | SEE SHT A8.02 | SAFETY GLAZING NOTED ON ELEVATIONS - TYP. |
| 232 | | | | PICTURE | | | | | | |
| 233 | | | | PICTURE | | | | | | |
| 234 | | | | PICTURE | | | | | | |
| 235 | | | | PICTURE | | | | | | |
| 236 | | | | PICTURE | | | | | | |
| 237 | | | | PICTURE | | | | | | |
| 238 | | | | CASEMENT | | | | | | |
| 239 | | | | CASEMENT | | | | | | |
| 240 | | | | CASEMENT | | | | | | |
| 241 | | | | CASEMENT | | | | | | |
| 242 | | | | CASEMENT | | | | | | |
| 243 | | | | PICTURE | | | | | | |
| 244 | | | | PICTURE | | | | | | |
| 245 | | | | CASEMENT | | | | | | |
| 246 | | | | CASEMENT | | | | | | |
| 247 | | | | PICTURE | | | | | | |
| 248 | | | | PICTURE | | | | | | |
| 249 | | | | TRANSOM | | | | | | |
| 250 | | | | PICTURE | | | | | | |
| 251 | | | | PICTURE | | | | | | |
| 252 | | | | PICTURE | | | | | | |
| 253 | | | | PICTURE | | | | | | |
| 254 | | | | PICTURE | | | | | | |
| 255 | | | | PICTURE | | | | | | |
| 256 | | | | PICTURE | | | | | | |
| 257 | | | | PICTURE | | | | | | |
| . | ✓ | ✓ | ✓ | | ✓ | ✓ | ✓ | ✓ | ✓ | |



CONSULTANT: _____

PROFESSIONAL SEAL: _____



PROJECT: _____

a project for:

 PO BOX 1733 AUBURN, WA 98071
 Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY
 MERCER ISLAND, WA 98040

SHEET ISSUE: _____

| | |
|-----------|--------------------|
| 6/24/2015 | PERMIT SUBMITTAL |
| 8/29/2016 | PERMIT APPROVED |
| 6/05/2017 | REVISION TO PERMIT |

MARK DATE DESCRIPTION

MUNICIPALITY REVIEW: _____

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE: _____

WINDOW SCHEDULE

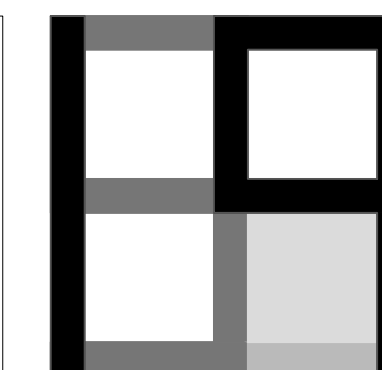
PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER: _____

A9.02

A1 EXTERIOR DOOR AND WINDOW ELEVATIONS - LEVEL 2
 SCALE: 1/4" = 1'-0"



Window, Skylight and Door Schedule

Project Information: BARCELO HOMES, 4634 East Mercer Way, Mercer Island, WA 98040, Single Family Residence. Contact Information: Studio19 Architects, Attn: Andrew Wisdom (206) 466-1225, 207-1/2 First Avenue S, Seattle WA 98103

Table with columns: Exempt Swinging Door (24 sq. ft. max.), Exempt Glazed Fenestration (15 sq. ft. max.), Ref, U-factor, Width, Height, Area, UA. Values: 205, 0.32, 245, 0.28, 1, 3, 0, 8, 24.0, 7.68, 15.0, 4.20

Vertical Fenestration (Windows and doors)

Table with columns: Component Description, Ref, U-factor, Width, Height, Area, UA. Rows include First Floor, North Wall, Ganged Unit (100A, 100B, 100C, 100D), East Wall, Picture Window 101, etc.

Sum of Vertical Fenestration Area and UA
Vertical Fenestration Area Weighted U = UA/Area
355.8 91.53
0.26

Overhead Glazing (Skylights)

Table with columns: Component Description, Ref, U-factor, Width, Height, Area, UA. All values are 0.0.

Sum of Overhead Glazing Area and UA
Overhead Glazing Area Weighted U = UA/Area
0.0 0.00
0.00

Total Sum of Fenestration Area and UA (for heating system sizing calculations) 355.8 91.53

Window, Skylight and Door Schedule

Project Information: BARCELO HOMES, 4634 East Mercer Way, Mercer Island, WA 98040, Single Family Residence. Contact Information: Studio19 Architects, Attn: Andrew Wisdom (206) 466-1225, 207-1/2 First Avenue S, Seattle WA 98103

Table with columns: Exempt Swinging Door (24 sq. ft. max.), Exempt Glazed Fenestration (15 sq. ft. max.), Ref, U-factor, Width, Height, Area, UA. Values: 205, 0.32, 245, 0.28, 1, 3, 0, 8, 24.0, 7.68, 15.0, 4.20

Vertical Fenestration (Windows and doors)

Table with columns: Component Description, Ref, U-factor, Width, Height, Area, UA. Rows include SECOND FLOOR, North Wall, Stacked Picture (200+201), etc.

Sum of Vertical Fenestration Area and UA
Vertical Fenestration Area Weighted U = UA/Area
1243.0 360.52
0.29

Overhead Glazing (Skylights)

Table with columns: Component Description, Ref, U-factor, Width, Height, Area, UA. All values are 0.0.

Sum of Overhead Glazing Area and UA
Overhead Glazing Area Weighted U = UA/Area
0.0 0.00
0.00

Total Sum of Fenestration Area and UA (for heating system sizing calculations) 1282.0 372.40

Window, Skylight and Door Schedule

Project Information: BARCELO HOMES, 4634 East Mercer Way, Mercer Island, WA 98040, Single Family Residence. Contact Information: Studio19 Architects, Attn: Andrew Wisdom (206) 466-1225, 207-1/2 First Avenue S, Seattle WA 98103

Table with columns: Exempt Swinging Door (24 sq. ft. max.), Exempt Glazed Fenestration (15 sq. ft. max.), Ref, U-factor, Width, Height, Area, UA. Values: 205, 0.32, 245, 0.28, 1, 3, 0, 8, 24.0, 7.68, 15.0, 4.20

Vertical Fenestration (Windows and doors)

Table with columns: Component Description, Ref, U-factor, Width, Height, Area, UA. Rows include THIRD FLOOR, North Wall, Stacked Picture (300+301), etc.

Sum of Vertical Fenestration Area and UA
Vertical Fenestration Area Weighted U = UA/Area
986.5 281.20
0.29

Overhead Glazing (Skylights)

Table with columns: Component Description, Ref, U-factor, Width, Height, Area, UA. All values are 0.0.

Sum of Overhead Glazing Area and UA
Overhead Glazing Area Weighted U = UA/Area
0.0 0.00
0.00

Total Sum of Fenestration Area and UA (for heating system sizing calculations) 986.5 281.20

Window, Skylight and Door Schedule

Project Information: BARCELO HOMES, 4634 East Mercer Way, Mercer Island, WA 98040, Single Family Residence. Contact Information: Studio19 Architects, Attn: Andrew Wisdom (206) 466-1225, 207-1/2 First Avenue S, Seattle WA 98103

Table with columns: Exempt Swinging Door (24 sq. ft. max.), Exempt Glazed Fenestration (15 sq. ft. max.), Ref, U-factor, Width, Height, Area, UA. Values: 205, 0.32, 245, 0.28, 1, 3, 0, 8, 24.0, 7.68, 15.0, 4.20

Vertical Fenestration (Windows and doors)

Table with columns: Component Description, Ref, U-factor, Width, Height, Area, UA. Rows include First Floor Glazing, North Wall, East Wall, etc.

Sum of Vertical Fenestration Area and UA
Vertical Fenestration Area Weighted U = UA/Area
2585.3 740.36
0.29

Overhead Glazing (Skylights)

Table with columns: Component Description, Ref, U-factor, Width, Height, Area, UA. All values are 0.0.

Sum of Overhead Glazing Area and UA
Overhead Glazing Area Weighted U = UA/Area
0.0 0.00
0.00

Total Sum of Fenestration Area and UA (for heating system sizing calculations) 2624.3 752.24

Simple Heating System Size: Washington State
This heating system sizing calculator is based on the Prescriptive Requirements of the 2012 Washington State Energy Code (WSEC) and ACCA Manual J and S. This calculator will calculate heating loads only. ACCA procedures for sizing cooling systems should be used to determine cooling loads.

Heating System Type: Heat Pump. Design Temperature: 45. Area of Building: 6,764. Average Ceiling Height: 10.8. Glazing and Doors: U-Factor X Area = UA. Insulation: Attic (R-49), Single Rafter or Joist Vaulted Ceilings, Above Grade Walls (R-21 Intermediate), Floors (R-20), Below Grade Walls (R-30 Continuous Exterior), Slab Below Grade (R-10 Full Insulation), Slab on Grade (R-10 Fully Insulated). Location of Ducts: Conditioned Space. Duct Leakage Coefficient: 1.00. Sum of UA: 1373.32. Envelope Heat Load: 61,799 Btu / Hour. Air Leakage Heat Load: 34,714 Btu / Hour. Building Design Heat Load: 96,513 Btu / Hour. Building and Duct Heat Load: 96,513 Btu / Hour. Maximum Heat Equipment Output: 120,641 Btu / Hour.

Prescriptive Energy Code Compliance for All Climate Zones in Washington. Table with columns: Component, Ref, U-factor, Width, Height, Area, UA. Values: 205, 0.32, 245, 0.28, 1, 3, 0, 8, 24.0, 7.68, 15.0, 4.20

This project will use the requirements of the Prescriptive Path below and incorporate the minimum values listed. In addition, based on the size of the structure, the appropriate number of additional credits are checked as chosen by the permit applicant.

Authorized Representative: [Signature] Date: 5/29/2018. Table with columns: All Climate Zones, R-Value, U-Factor. Rows include Fenestration U-Factor, Skylight U-Factor, Glazed Fenestration SHGC, Ceiling, Wood Frame Wall, Mass Wall R-Value, Floor, Below Grade Wall, Slab R-Value & Depth.

Each dwelling unit in one- and two-family dwellings and townhouses, as defined in Section 101.2 of the International Residential Code shall comply with sufficient options from Table R406.2 so as to achieve the following minimum number of credits:
1. Small Dwelling Unit: 0.5 points.
2. Medium Dwelling Unit: 1.5 points.
3. Large Dwelling Unit: 2.5 points.
4. Dwelling unit other than one- and two-family dwellings and townhouses: Exempt.

Table R406.2 Summary. Table with columns: Option, Description, Credits. Rows include 1a Efficient Building Envelope 1a, 1b Efficient Building Envelope 1b, 1c Efficient Building Envelope 1c, 2a Air Leakage Control and Efficient Ventilation 2a, etc.

CONSULTANT:

PROFESSIONAL SEAL:



PROJECT:

a project for: Barcelo homes, PO BOX 1733 AUBURN, WA 98071, Phone: (206) 724-1072

EAST MERCER RESIDENCE

4634 EAST MERCER WAY, MERCER ISLAND, WA 98040

SHEET ISSUE:

Table with columns: Issue Date, Description. Rows: 6/24/2015 PERMIT SUBMITTAL, 8/29/2016 PERMIT APPROVED, 6/05/2017 REVISION TO PERMIT

MUNICIPALITY REVIEW:

PROJECT # MERCER ISLAND 15 - 015

SHEET TITLE:

COMPLIANCE WORKSHEET WINDOW SCHEDULE

PROJECT NO.: 20140904

DATE ISSUED: 6/05/2017

SHEET NUMBER: A9.04

GENERAL STRUCTURAL NOTES

- ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, THE INTERNATIONAL BUILDING CODE (2012 EDITION) AND MODIFICATIONS TO THE INTERNATIONAL BUILDING CODE, BY THE LOCAL JURISDICTION.
- DESIGN LOAD CRITERIA

| | | |
|---|------------------|---------|
| DEAD LOADS | | |
| ROOF | | 25 PSF |
| FLOORS | | N/A |
| DECKS | | N/A |
| EXTERIOR WALLS | | 10 PSF |
| INTERIOR WALLS | | 8 PSF |
| LIVE LOADS | | |
| ROOF | | 20 PSF |
| FLOOR / LIVING SPACE | | N/A |
| DECKS / BALCONIES | | N/A |
| SNOWLOADS | | |
| GROUND LOAD | | 25 PSF |
| ROOF SNOW LOAD | | 25 PSF |
| EXPOSURE FACTOR | C _c = | 0.9 |
| IMPORTANCE FACTOR | I _s = | 1.0 |
| THERMAL FACTOR | C _t = | 1.0 |
| WIND | | |
| ULTIMATE DEIGN WIND SPEED (V _{ult}) | | 110 MPH |
| ASD WIND SPEED (V _{asd}) | | 85 MPH |
| WIND EXPOSURE | | C |
| IMPORTANCE FACTOR I _w = | | 1.0 |
| ADJUSTMENT FACTOR λ = | | 1.0 |
| WIND SPEED UP FACTOR | | 1.0 |
| ROOF SLOPE | | flat |
| SEISMIC | | |
| SEISMIC USE GROUP | | I |
| IMPORTANCE FACTOR I _e | | 1.0 |
| SITE CLASS | | D |
| SEISMIC DESIGN CATEGORY | | D |
| RESPONSE FACTOR FOR LIGHT FRAME CONSTRUCTION | R = | 6.5 |
| RESPONSE FACTOR FOR ORDINARY STEEL MOMENT FRAME | R = | 3.5 |
| MAPPED ACCELERATION (PER USGS) | S _s = | 1.276 |
| BASE SHEAR | V = | 29,350 |
| SEISMIC RESPONSE COEFFICIENT | C _s = | 0.131 |

PER GEOTECHNICAL REPORT FILE NO. 14-128, 02/02/2015, PanGEO

| | |
|---------------------------------------|---------------|
| ALL SOIL PRESURE | 2,500 PSF |
| FRICTION COEFFICIENT | 0.4 |
| EQUIVALENT FLUID PRESSURE | 35 PSF |
| AT REST | 45 PSF |
| AT REST WITH BACKSLOPE | 55 PSF |
| PASSIVE | 300 PSF |
| REDUCED PASSIVE | 150 pcf |
| SEISMIC HORIZONTAL PRESSURE (PASSIVE) | 8H 375 pcf |

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER SITE ENTITIES OR PERSONS AT THE PROJECT SITE.
- CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
- ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

FOUNDATIONS

- ALL FOOTINGS AND FOUNDATIONS SHALL BE SUPPORTED BY COMPETENT NATIVE SOIL 18" BELOW FINISHED GRADE FOR EXTERIOR SIDE AND 12" FOR INTERIOR FOOTINGS, FREE OF ORGANIC MATERIALS. OVEREXCAVATION MIGHT BE NEEDED TO REACH THE COMPETENT SOIL.
- FOOTINGS AND FOUNDATION EXCAVATION SHALL BE FREE OF LOOSE SOILS, SLOUGHS, DEBRIS, AND FREE OF WATER AT ALL TIMES.
- FOUNDATION WALL BACKFILL SHALL BE PLACED SIMULTANEOUSLY ON BOTH SIDES OF WALL PROVIDING 4" PERFORATED PIPE (AS REQUIRED) FOR SUBSURFACE DRAINAGE.
- U.N.O. IN AN APPROVED GEOTECHNICAL REPORT, THE FOLLOWING METHOD FOR BACKFILL PLACEMENT AND COMPACTION IS TO BE USED:

EXCEPT FOR BACKFILL AGAINST BELOW-GRADE WALLS OR RETAINING WALLS, ALL OTHER STRUCTURAL FILL AND STRUCTURAL BACKFILL MATERIALS SHALL BE PLACED IN RELATIVELY HORIZONTAL LOOSE LIFTS NOT EXCEEDING 10 INCHES IN THICKNESS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR (ASTM D1557) MAXIMUM DENSITY AT MOISTURE CONTENTS WITHIN TWO (2) PERCENT OF OPTIMUM. THE SPECIFIED COMPACTION DENSITY AND MOISTURE CONTENT OF EACH LIFT MUST BE VERIFIED BY INSPECTION, PRIOR TO PLACEMENT OF SUBSEQUENT LIFTS. BACKFILL AGAINST BELOW-GRADE WALLS AND RETAINING WALLS SHOULD BE COMPACTED AS DESCRIBED ABOVE TO ONLY 90 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
- FOOTING SIZE SHALL BE AS INDICATED ON DRAWINGS OR MIN. AS PER IBC SECTION 1806.
- WHERE THE SURFACE IS SLOPED MORE THAN ONE (1) FOOT IN TEN (10) FEET THE FOUNDATION SHALL BE LEVEL OR STEPPED SO THAT BOTH, TOP AND BOTTOM, OF SUCH FOUNDATION ARE LEVEL PER IBC.
- WHERE STRUCTURAL COLUMNS AND POSTS ARE EXPOSED TO WATER SPLASH ABOVE, A CONCRETE SURFACE OR TO THE WEATHER, PROVIDE A MIN. OF 1" ABOVE CONCRETE SURFACE, OR 8" ABOVE THE EXPOSED EARTH PER IBC.

CONCRETE

- CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905, 1906, AND ACI 301. STRENGTH AT AGE 28 DAYS AND MIX CRITERIA SHALL BE AS FOLLOWS, U.N.O.:

| | | | |
|------------------------|-------|----------|---------------|
| MEMBER TYPE (IN) | PSI | MAX AGGR | MAX W/C RATIO |
| SLABS ON GRADE | 2,500 | 1 | 0.45 |
| FOUNDATIONS | 2,500 | 1 | 0.45 |
| WALLS | 4,500 | 1 | 0.50 |
| COLUMNS | 4,500 | ¾ | 0.40 |
| ELEVATED SLABS & BEAMS | 4,500 | ¾ | 0.40 |
- CONCRETE MIX FOR FOUNDATION AND SLAB:
CEMENT: 5.5 SACK TYPE I NORMAL PORTLAND CEMENT
1,210 LBS OF WET SAND
1,925 LBS GRAVEL
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, F_y = 60,000 PSI, UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-185.
- DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-92 AND ACI 318-08. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH "THE REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE". PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED AND APPROVED BY THE STRUCTURAL ENGINEER.
- CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

| | |
|--|--------|
| FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH | 3" |
| FORMED SURFACES EXPOSED TO EARTH OR WEATHER (NO. 6 BARS OR LARGER) | 2" |
| (NO 5 BARS OR SMALLER) | 1-1/2" |
| COLUMN TIES OR SPIRALS AND BEAM STIRRUPS | 1-1/2" |

 SLABS AND WALLS: GREATER OF BAR DIAMETER + 1/8 OR 3/4"

- CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS.
- NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (2,500 PSI MIN).

ANCHORAGE

- POXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BARS) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED WITH SIMPSON EPOXY "SET-XP" OR EQUAL. SPECIAL INSPECTION IS REQUIRED. RODS SHALL BE ASTM A-36 UNLESS NOTED OTHERWISE.
- DRIVEN PINS AND OTHER POWDER ACTUATED FASTENERS SHALL BE LOW VELOCITY TYPE. INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MINIMUM EMBEDMENT IN CONCRETE SHALL BE 1" UNLESS OTHERWISE NOTED. MAINTAIN AT LEAST 3" TO NEAREST CONCRETE

STEEL

- STRUCTURAL STEEL FABRICATION, ERECTION AND WELDING INSPECTION SHALL COMPLY WITH THE SPECIAL INSPECTION SCHEDULE. STRUCTURAL STEEL SHALL BE GRADE A-36 UNLESS NOTED OTHERWISE. ARCHITECTURALLY EXPOSED STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- ALL ANCHORS EMBEDDED IN MASONRY OF CONCRETE SHALL BE A307 HEADED BOLTS OR A36 THREADED ROD.
- ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND A.W.S STANDARDS AND SHALL BE PERFORMED BY W.A.B.O. CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PREQUALIFIED WELDS(AS DEFINED BY A.W.S.) SHALL BE USED ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT LBS AT -20 DEGREES F, AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION
- WELDING INSPECTION SHALL BE IN COMPLIANCE WITH AWS D1.1.

WOOD

- ALL SOLID LUMBER TO BE GRADED BY WCLIB OR WWSA. ALL LUMBER SHALL BE HEM-FIR #2 (HF #2) OR BETTER. ALL SOLID LUMBER 5" X 4" OR LARGER SHALL BE DOUGLAS FIR #2 (DF #2) U.N.O. ALL GLUE-LAMINATED LUMBER SHALL BE GLULAM 24F-1.8E WS.

| | |
|------------------------------------|---------------------------|
| DESIGN VALUES FOR GLULAM BEAMS | |
| FLEXURAL STRESS TENSION ZONE | 2,400 PSI |
| FLEXURAL STRESS COMPRESSION ZONE | 1,850 PSI |
| COMPRESSION PERPENDICULAR TO GRAIN | 650 PSI |
| SHEAR | 266 PSI |
| APPARENT E | 1.8x16 lb-in ² |
| TRUE E | 1.9x10 lb-in ² |
- LUMBER IN CONTACT WITH CONCRETE AND ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED, ALL CONNECTORS GALVANIZED.
- INSTALL SOLID BLOCKING BTWN JOISTS AT ALL BEARING POINTS.
- THROUGH BOLTS AND LAG BOLTS SHALL BE ASTM A307. PROVIDE MALLEABLE IRON WASHER AT ALL BOLT AND LAG BOLT LOATIONS. PROVIDE CUT WASHER FOR ALL BOLTS PROTRUDING BEARING WOOD.
- ALL METAL (CONNECTORS, NAILS, BOLTS, ETC.) IN CONTACT WITH P.T. WOOD SHALL BE HOT DIPPED GALVANIZED.
- U.N.O. CONNECTORS AND FASTENERS SHALL COMPLY WITH IBC TABLE 2304.9.1

OPEN WEB TRUSSES

- PER IBC 2012 1704.2.2, PREFABRICATED OPEN-WEB JOISTS SHALL BE FABRICATED BY A REGISTERED AND APPROVED FABRICATOR. AT COMPLETION OF FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.

NOTE:

NO STRUCTURAL CHANGES FROM THE APPROVED PLANS SHALL BE MADE IN THE FIELD UNLESS PRIOR TO MAKING CHANGES, WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER OF RECORD. IF CHANGES ARE MADE WITHOUT WRITTEN APPROVAL, SUCH CHANGES SHALL BE THE LEGAL AND FINANCIAL RESPONSIBILITY OF THE CONTRACTOR OR SUB-CONTRACTORS INVOLVED AND SHALL BE THEIR RESPONSIBILITY TO REPLACE OR REPAIR THE CONDITION AS DIRECTED BY THE ENGINEER.

| COMPARISON OF COMMON, BOX AND SINKER NAIL DIMENSIONS (inches) OF THE SAME PENNYWEIGHT. | | | | | | |
|--|----------|-------------|-------|-------|-------|-------|
| TYPE | FEATURE | PENNYWEIGHT | | | | |
| | | 6d | 8d | 10d | 12d | 16d |
| COMMON | Length | 2 | 2-1/2 | 3 | 3-1/4 | 3-1/2 |
| | Diameter | 0.113 | 0.131 | 0.148 | 0.148 | 0.162 |
| | Head | 0.226 | 0.281 | 0.312 | 0.312 | 0.344 |
| BOX | Length | 2 | 2-1/2 | 3 | 3-1/4 | 3-1/2 |
| | Diameter | 0.099 | 0.113 | 0.128 | 0.128 | 0.135 |
| | Head | 0.266 | 0.297 | 0.312 | 0.312 | 0.344 |
| SINKER | Length | 1-7/8 | 2-3/8 | 2-7/8 | 3-1/8 | 3-1/4 |
| | Diameter | 0.092 | 0.113 | 0.120 | 0.135 | 0.148 |
| | Head | 0.231 | 0.266 | 0.281 | 0.312 | 0.344 |

| PROTECTION FOR REINFORCEMENT OF CAST IN-PLACE CONCRETE | MIN. COVER |
|--|------------|
| Concrete cast against and permanently exposed to earth | 3" |
| Concrete exposed to earth or weather | |
| Wall panels: No. 6 through No. 18 bars | 2" |
| No. 5 bars, W31 or D31 wire, and smaller | 1 1/2" |
| Concrete exposed to neither earth or weather | |
| Slabs, walls, and joists: No. 14 and no. 18 bars | 1 1/2" |
| No. 11 and smaller bars | ¾" |
| Beams and Columns: Primary reinforcement, ties, stirrups, and spirals | 1 1/2" |
| Shells and folded-plate members: No. 6 bars and larger | ¾" |
| No. 5 bars, W31 or D31 or smaller | ¾" |



REVISION 08/06/19



| | | |
|--------------|----------------------------------|-----------|
| BUILDER: | Barcelo Homes | S1 |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | |
| PARCEL NO.: | WA 98040 | |
| DESCRIPTION: | new SFR | |
| DATE: | 03/11/15 | |
| ENGINEER: | Roland Heimisch, P. E. | |

Statement of special inspections

General

The owner shall comply an approved agency for the special inspections for the construction of this project

A quality assurance and inspection plan from an AISC approved fabricator is required to satisfy the inspection requirements.

The following systems and components shall be inspected

Type Standard

At completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building official stating that the work was performed in accordance with the approved construction documents

Special inspections for structural steel

Steel sections, steel grade, location of installation all elements AISC 360

Special inspections for steel construction other than structural steel

Inspection of welding periodic AWS D1.3

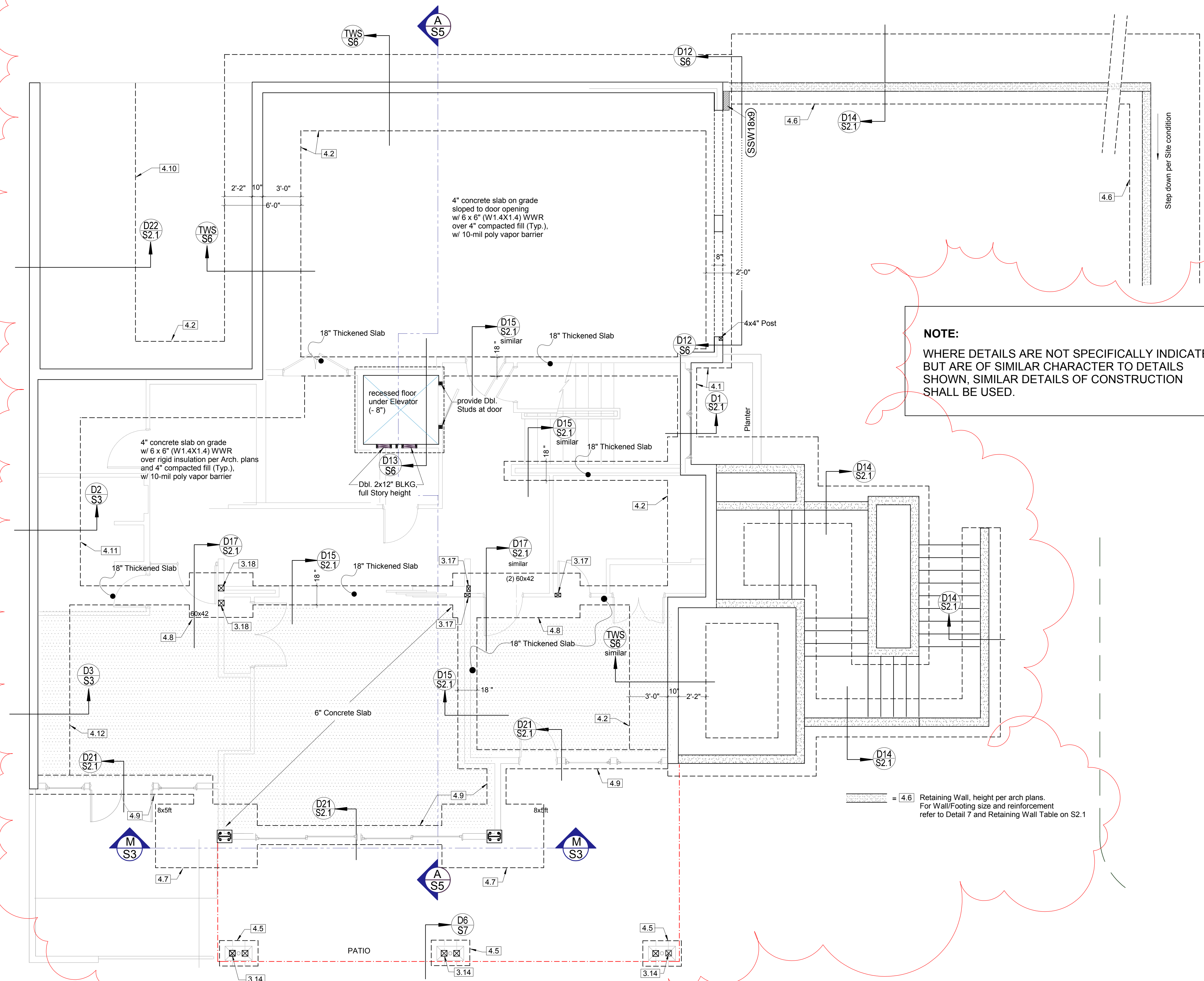
Special inspections for concrete construction

| | | |
|---|----------|-----------------------------|
| Inspection of reinforcing steel | periodic | ACI 318 3.5, 7.1-7.7 |
| Inspection of anchors post-installed in hardened concrete members | periodic | ACI 318 3.8.6, 8.13, 21.2.8 |
| Verifying use of required design mix | periodic | ACI 318 Ch 4,5.2-5.4 |
| Inspect formwork for shape, locations, and dimensions | periodic | ACI 318 6.1.1 |



REVISION 05/29/16

| | | |
|--|----------------------------------|-------|
| <p>tec instruct LLC</p> <p><small>6830 NE Bothell Way - Suite C, PMB 181, Kenmore, WA 98028 Telephone (206) 553 9076 - Fax (206) 529 4408</small></p> <p>ENGINEERING</p> | | |
| BUILDER: | Barcelo Homes | S1.1 |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | |
| PARCEL NO.: | WA 98040 | |
| DESCRIPTION: | new SFR | |
| DATE: | 03/11/15 SCALE: as noted | |
| ENGINEER: | Roland Heimisch, P. E. | SHEET |



| KEY NO. | STRUCTURAL MEMBERS |
|-------------------|--|
| FOUNDATION | |
| 4.1 | Cont. Footing, fc = 2,500 psi, 18x12" |
| 4.2 | Basement Wall 10" w/ Cont. Footing fc = 2,500 psi, 72x16" |
| 4.3 | Basement Wall 8" w/ Cont. Footing fc = 2,500 psi, 48x12" |
| 4.4 | Basement Wall 8" w/ Cont. Footing fc = 2,500 psi, 36x12" |
| 4.5 | Spread Footing, fc = 2,500 psi, 24x24x10" |
| 4.6 | Retaining Wall, fc = 2,500 psi, 8" wall thickness, Ftg size and reinforcement per Detail 14/Table S2.1 |
| 4.7 | Spread Footing under Moment Frame fc = 2,500 psi, 8ftx5ftx2ft |
| 4.8 | Spread Footing, fc = 2,500 psi, 60x48x10" |
| 4.9 | Cont. Footing, fc = 2,500 psi, 18x18" |
| 4.10 | Retaining Wall, fc = 2,500 psi, 8" wall w/ Ftg 8'-4"x1'-4" |
| 4.11 | Retaining Wall, fc = 2,500 psi, 8" wall w/ Ftg 48x10" |
| 4.12 | Retaining Wall, fc = 2,500 psi, 8" wall w/ Ftg 38x12" |



REVISION 06/18/17

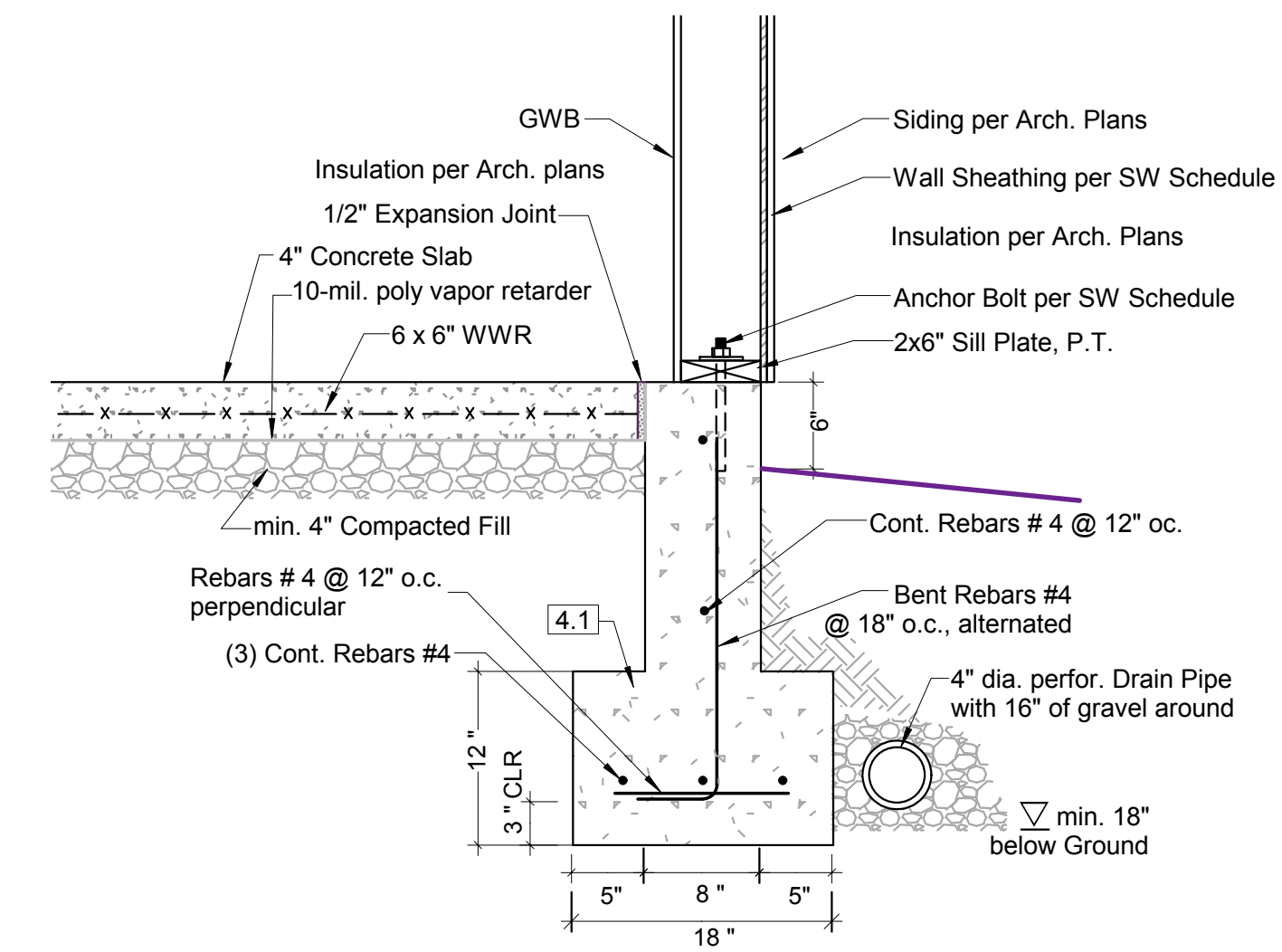
| | | |
|--|----------------------------------|-----------------|
| tec instruct LLC 6830 NE Bothell Way - Suite C, PMB 181, Kenmore, WA 98028 Telephone (206) 553 9076 - Fax (206) 529 4408 ENGINEERING | | |
| BUILDER: | Barcelo Homes | SHEET |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | S2 |
| PARCEL NO.: | WA 98040 | |
| DESCRIPTION: | new SFR | |
| DATE: | 03/11/15 | SCALE: as noted |
| ENGINEER: | Roland Heimisch, P. E. | |

RETAINING WALL SCHEDULE

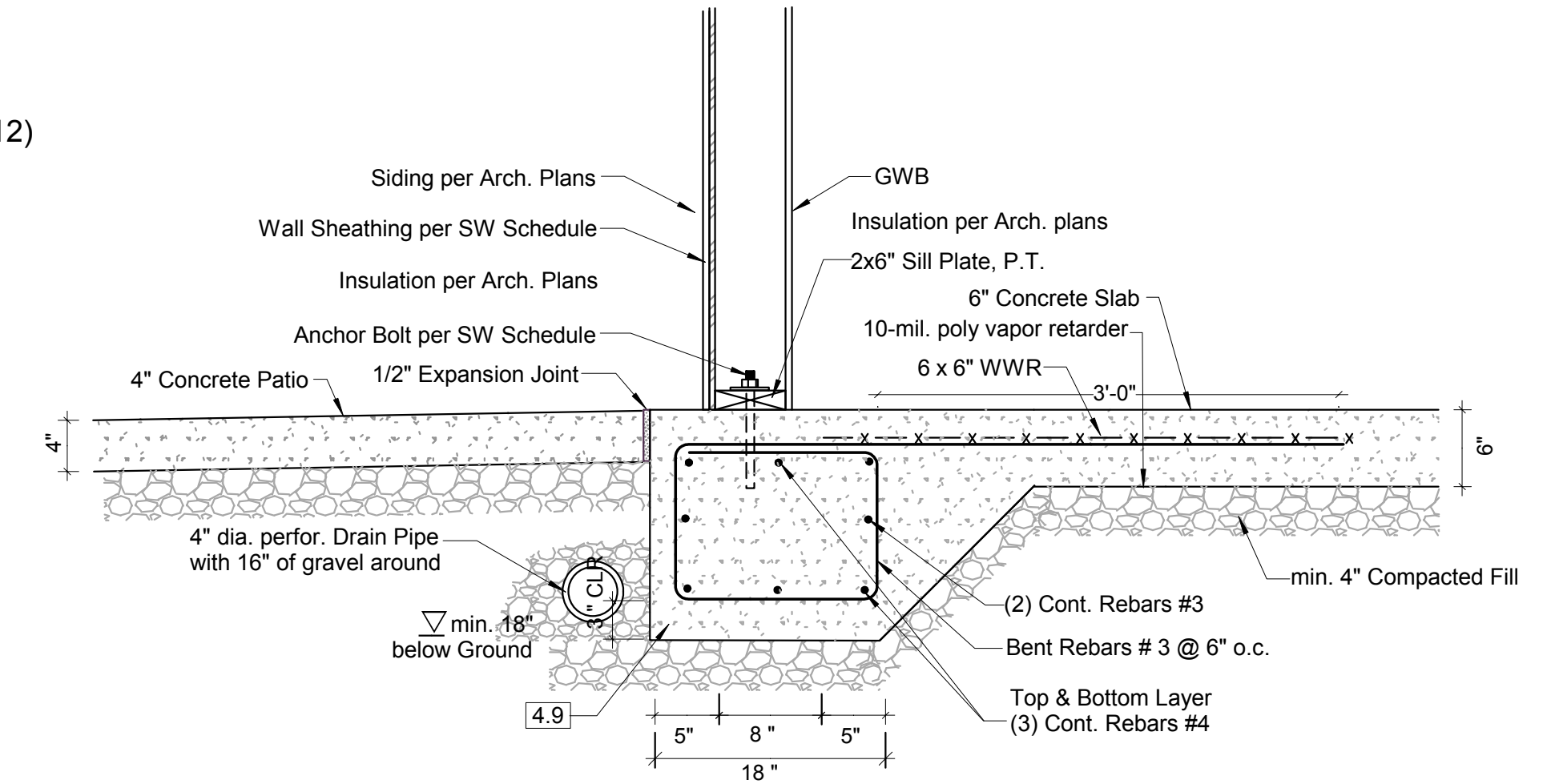
| H (ft.) | B1 | ts | B2 | tf | Stem Reinforcing | | | Footing Reinforcing | | | |
|---------|--------|-----|--------|-----|------------------|---------------|--------|---------------------|--------------|--------------|---------------|
| | | | | | horiz. | vert. | splice | Top Layer | | Bottom Layer | |
| | | | | | | | | cont. | perp. | cont. | perp. |
| 3'-0" | 1'-0" | 8" | 1'-0" | 12" | #4 @ 12" o.c. | #4 @ 12" o.c. | 2ft | - | - | (2) #4 | #4 @ 12" o.c. |
| 4'-0" | 1'-0" | 8" | 1'-4" | 12" | #4 @ 12" o.c. | #4 @ 12" o.c. | 2ft | - | - | (3) #4 | #4 @ 12" o.c. |
| 5'-0" | 1'-4" | 8" | 1'-6" | 10" | #4 @ 12" o.c. | #4 @ 16" o.c. | 3ft | - | - | (3) #4 | #4 @ 16" o.c. |
| 6'-0" | 1'-4" | 8" | 2'-0" | 10" | #4 @ 12" o.c. | #4 @ 12" o.c. | 3ft | - | - | (4) #4 | #4 @ 12" o.c. |
| 8'-0" | 1'-10" | 8" | 2'-9" | 12" | #4 @ 12" o.c. | #5 @ 9" o.c. | 3ft | (6) #4 | #4 @ 9" o.c. | (6) #4 | #4 @ 9" o.c. |
| 10'-0" | 2'-0" | 10" | 3'-10" | 14" | #5 @ 12" o.c. | #5 @ 8" o.c. | 4ft | (8) #4 | #5 @ 8" o.c. | (8) #4 | #4 @ 8" o.c. |
| 12'-0" | 2'-6" | 10" | 4'-2" | 10" | #5 @ 12" o.c. | #6 @ 6" o.c. | 4ft | (8) #4 | #5 @ 6" o.c. | (8) #4 | #4 @ 6" o.c. |

RETAINING WALL WITH SLOPED BACKFILL

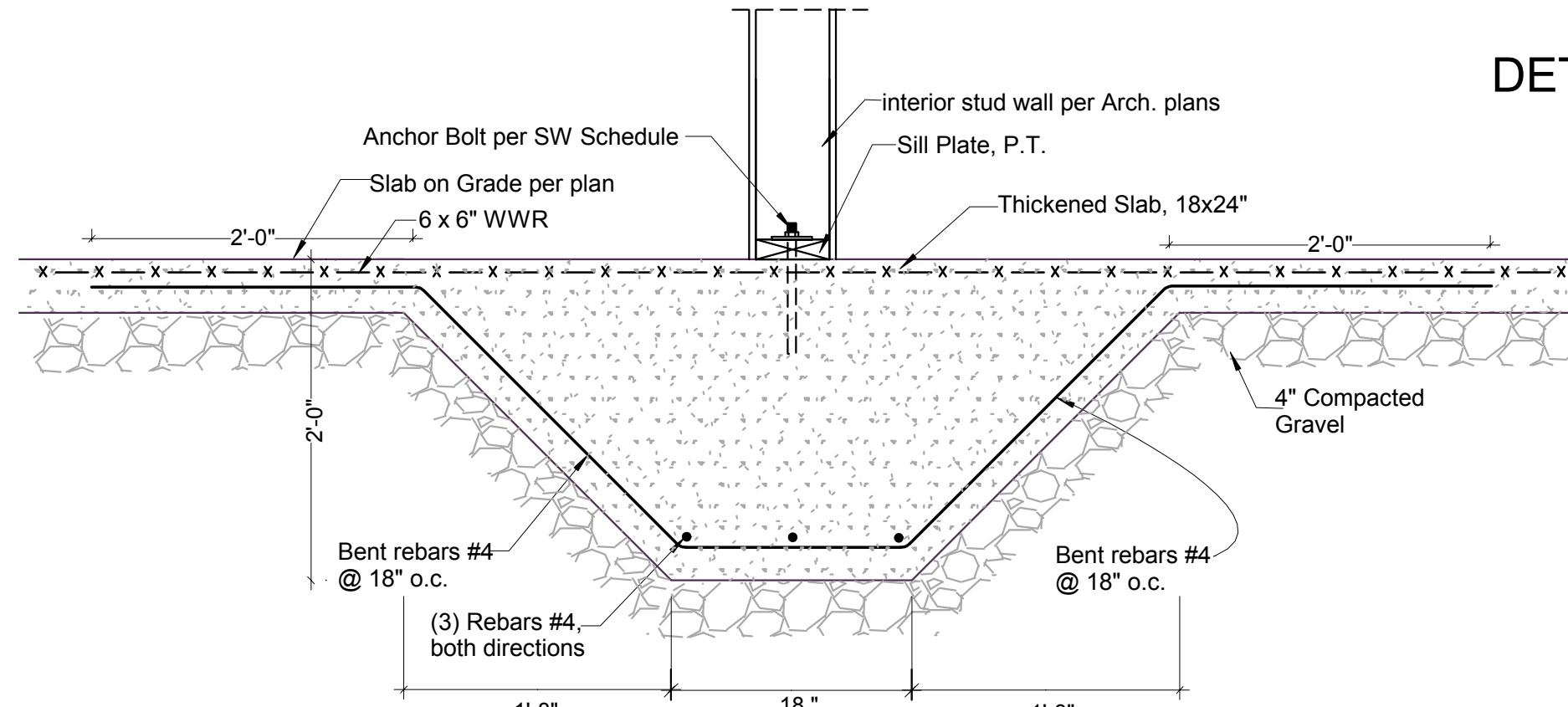
| | | | | | | | | | | | |
|--------|-------|-----|-------|-----|---------------|--------------|-----|--------|--------------|--------|--------------|
| 12'-0" | 3'-0" | 12" | 5'-0" | 16" | #5 @ 12" o.c. | #6 @ 6" o.c. | 4ft | (8) #4 | #5 @ 6" o.c. | (8) #4 | #4 @ 6" o.c. |
|--------|-------|-----|-------|-----|---------------|--------------|-----|--------|--------------|--------|--------------|



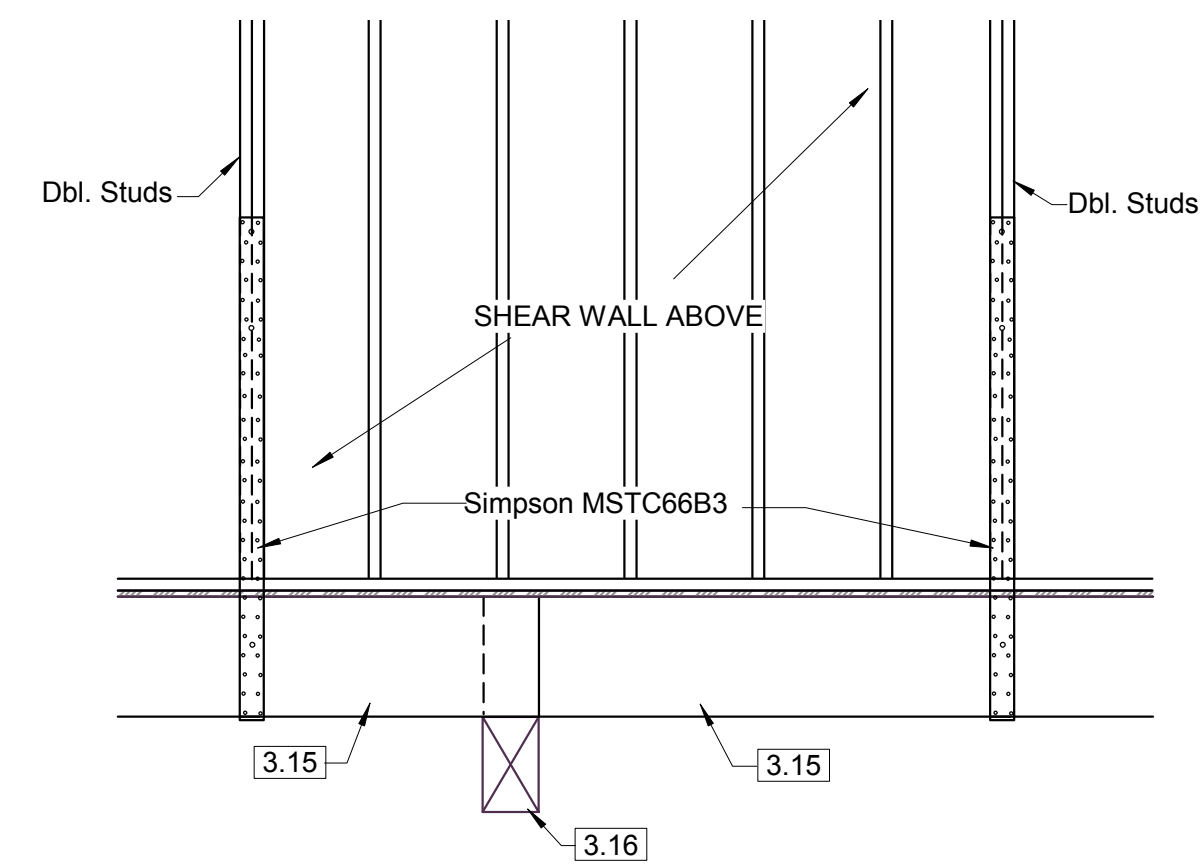
DETAIL 1 SCALE: 1" = 1'-0" (1:12)



DETAIL 21 SCALE: 1" = 1'-0" (1:12)

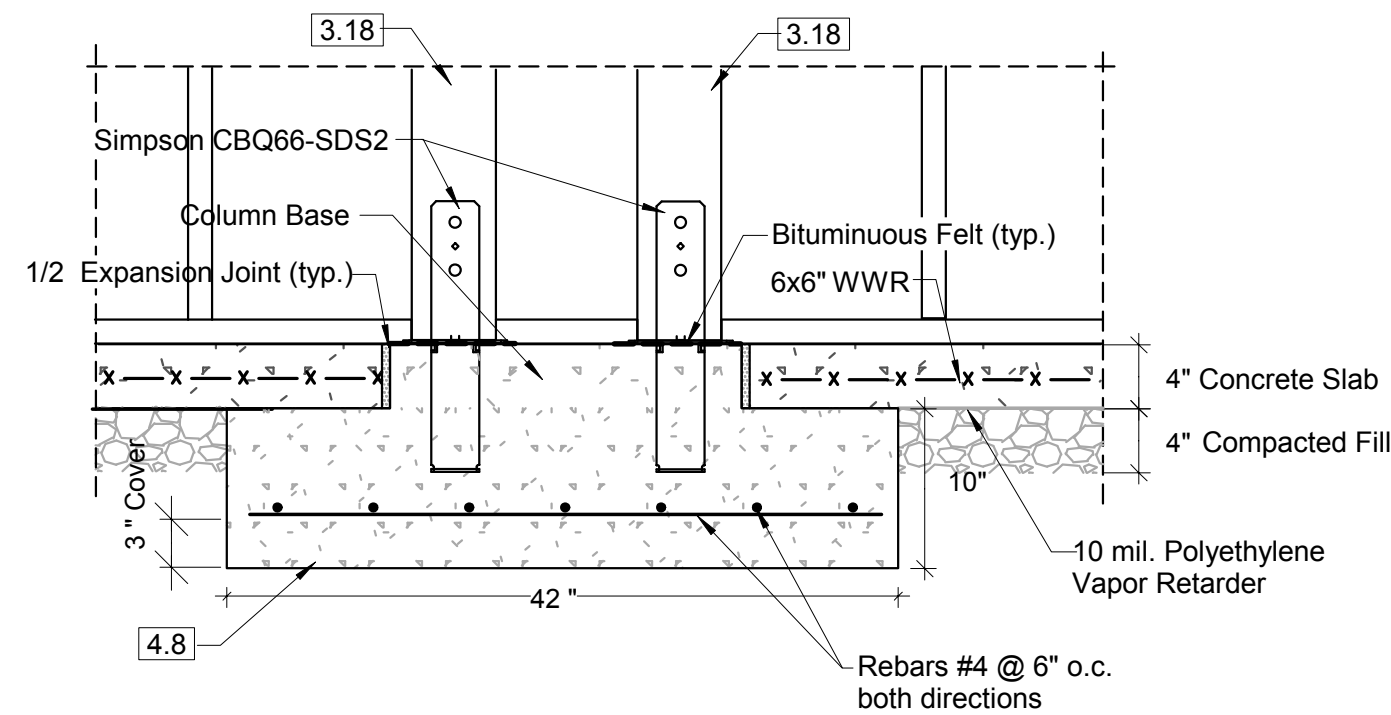


DETAIL 15 SCALE: 1" = 1'-0" (1:12)

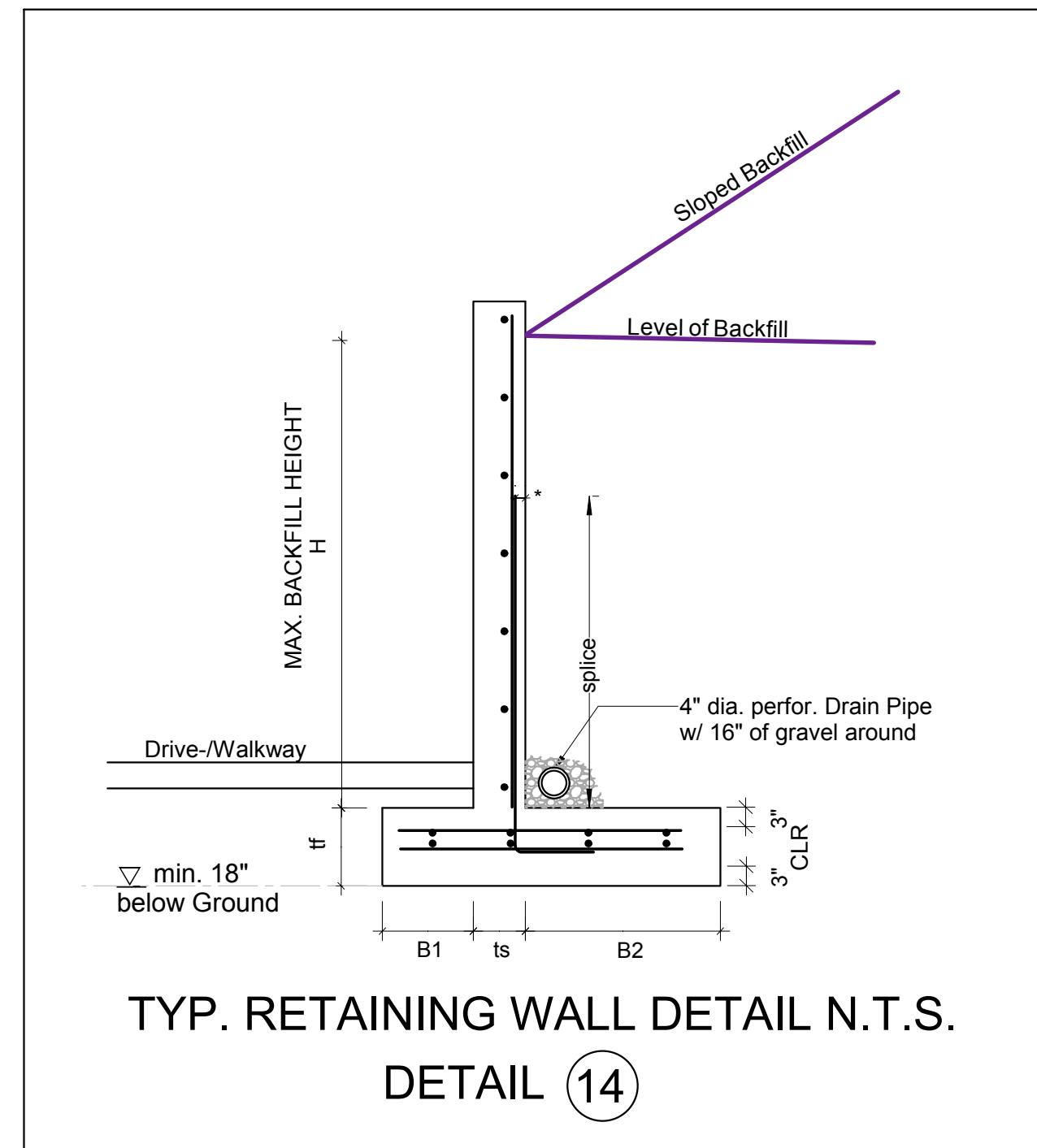


DETAIL 20 SCALE: 1/2" = 1'-0" (1:24)

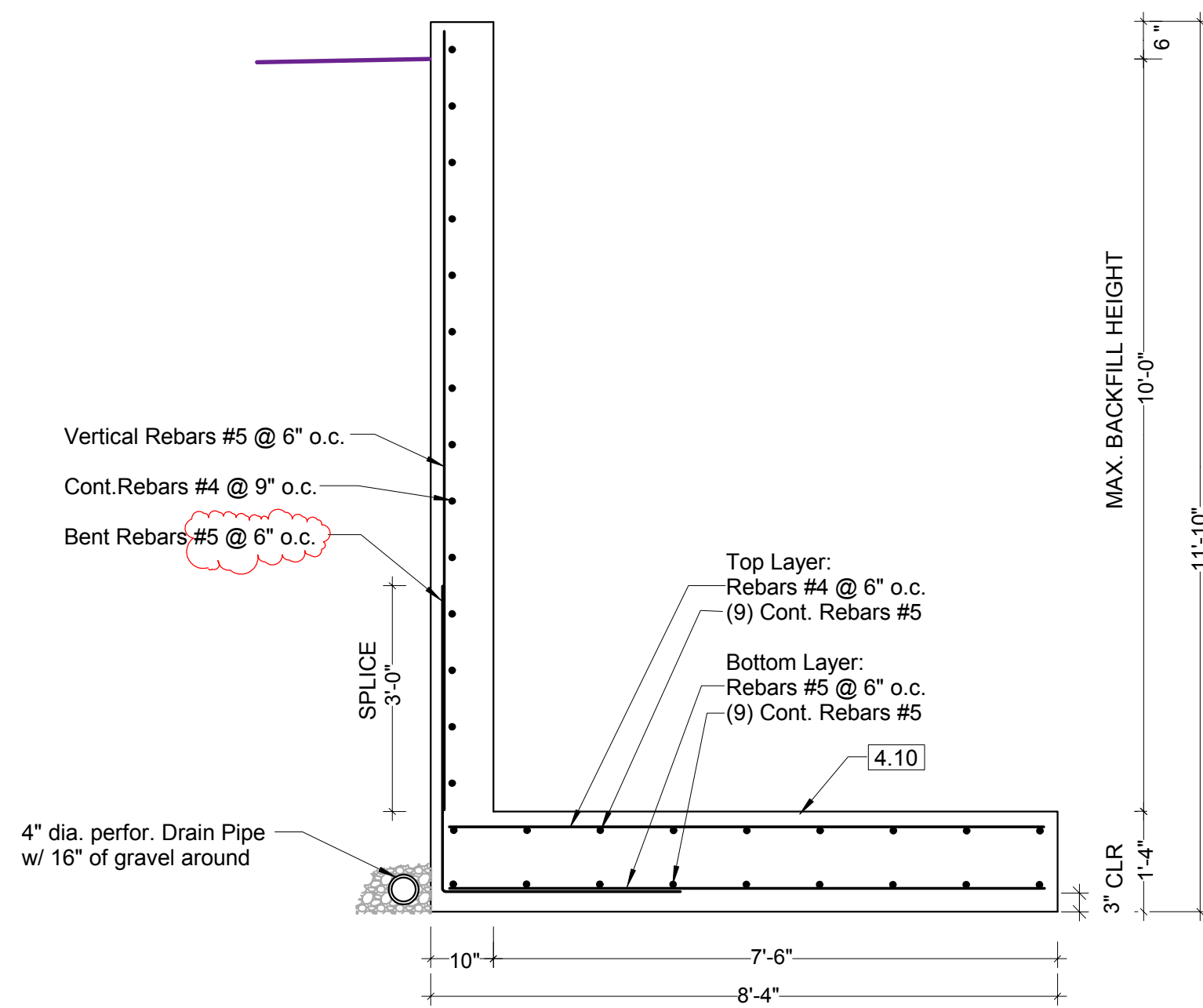
| PROTECTION FOR REINFORCEMENT OF CAST-IN-PLACE CONCRETE | MIN. COVER |
|--|------------|
| Concrete cast against and permanently exposed to earth | 3" |
| Concrete exposed to earth or weather | |
| * Wall panels: | |
| No. 6 through No. 18 bars | 2" |
| No. 5 bars, W31 or D31 wire, and smaller | 1 1/2" |
| Concrete exposed to neither earth or weather | |
| Slabs, walls, and joists: | |
| No. 14 and no. 18 bars | 1 1/2" |
| No. 11 and smaller bars | 3/4" |
| Beams and Columns: | |
| Primary reinforcement, ties, stirrups, and spirals | 1 1/2" |
| Shells and folded-plate members: | |
| No. 6 bars and larger | 3/4" |
| No. 5 bars, W31 or D31 or smaller | 3/4" |



DETAIL 17 SCALE: 1" = 1'-0" (1:12)



TYP. RETAINING WALL DETAIL N.T.S. DETAIL 14

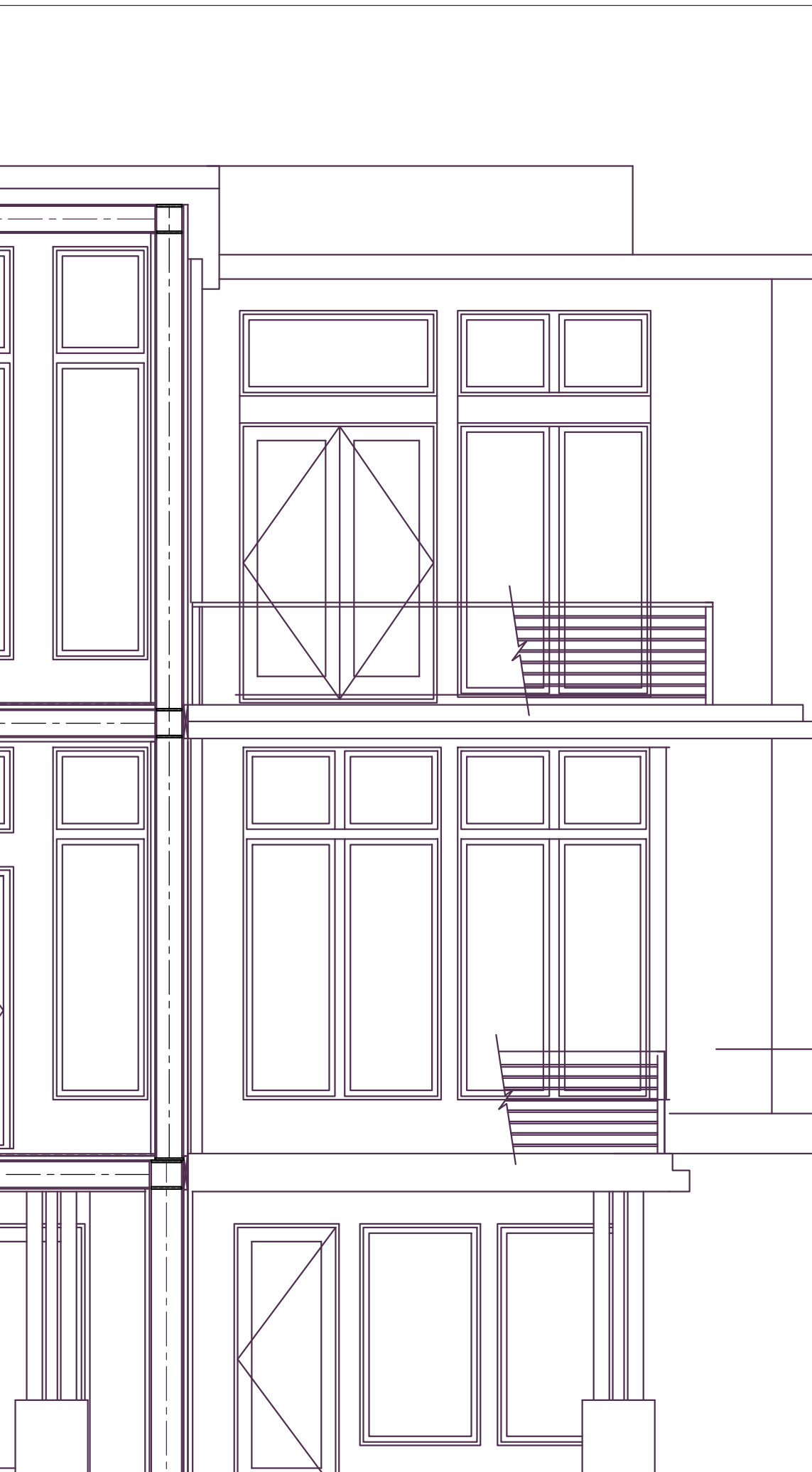
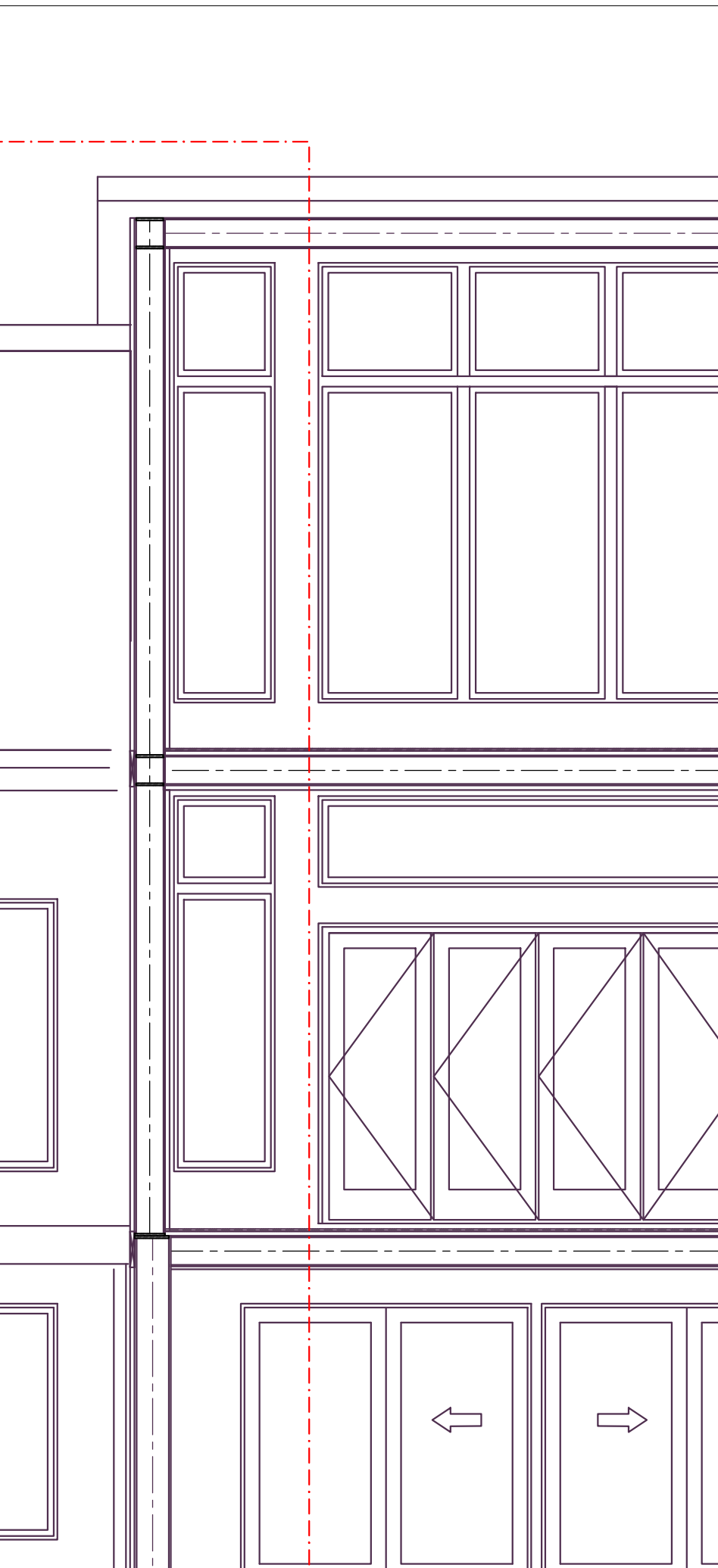
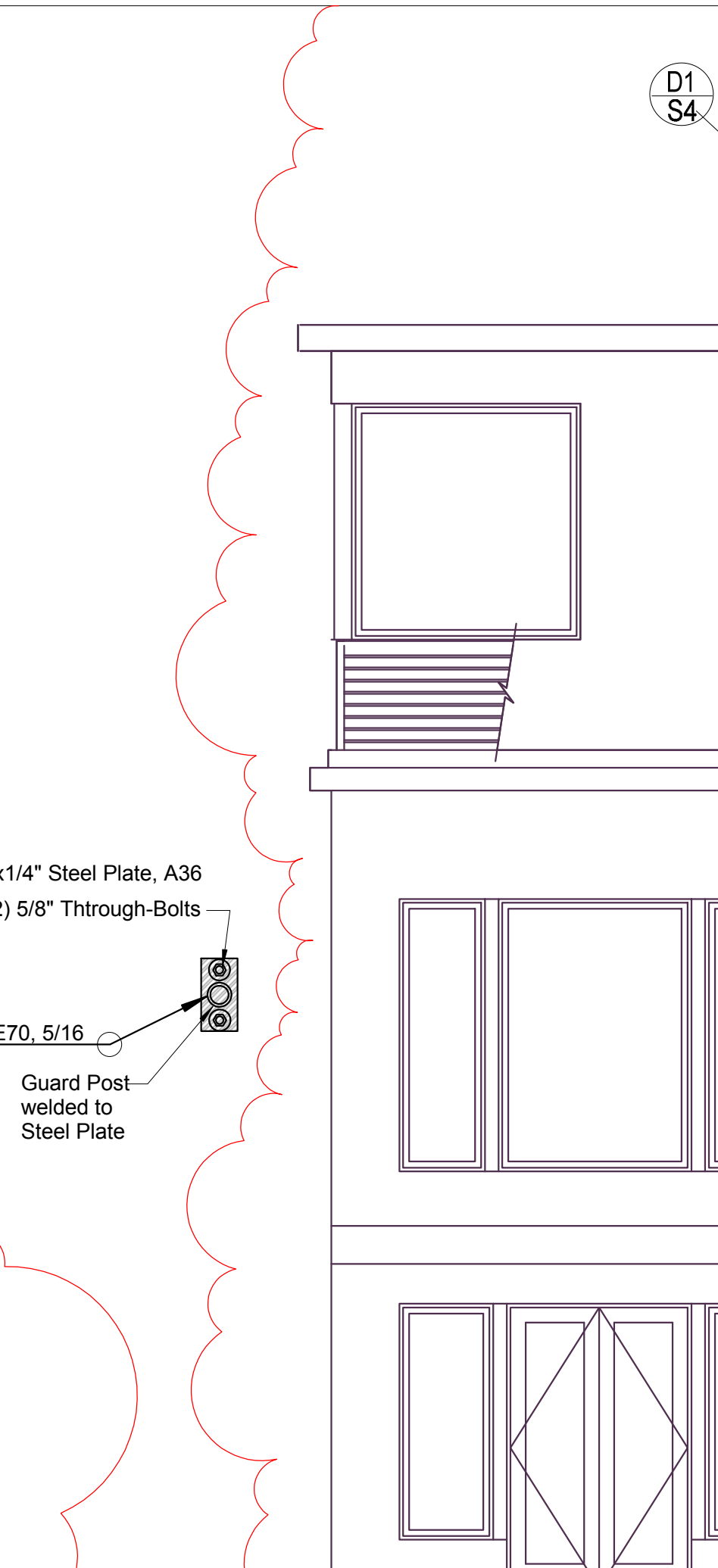
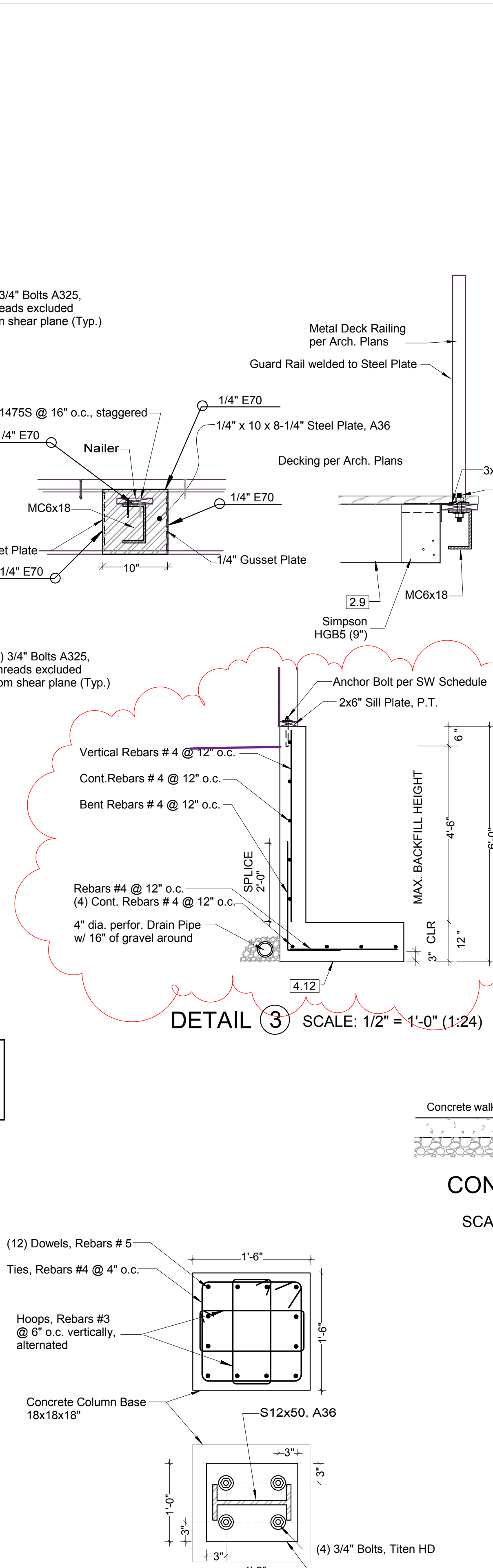
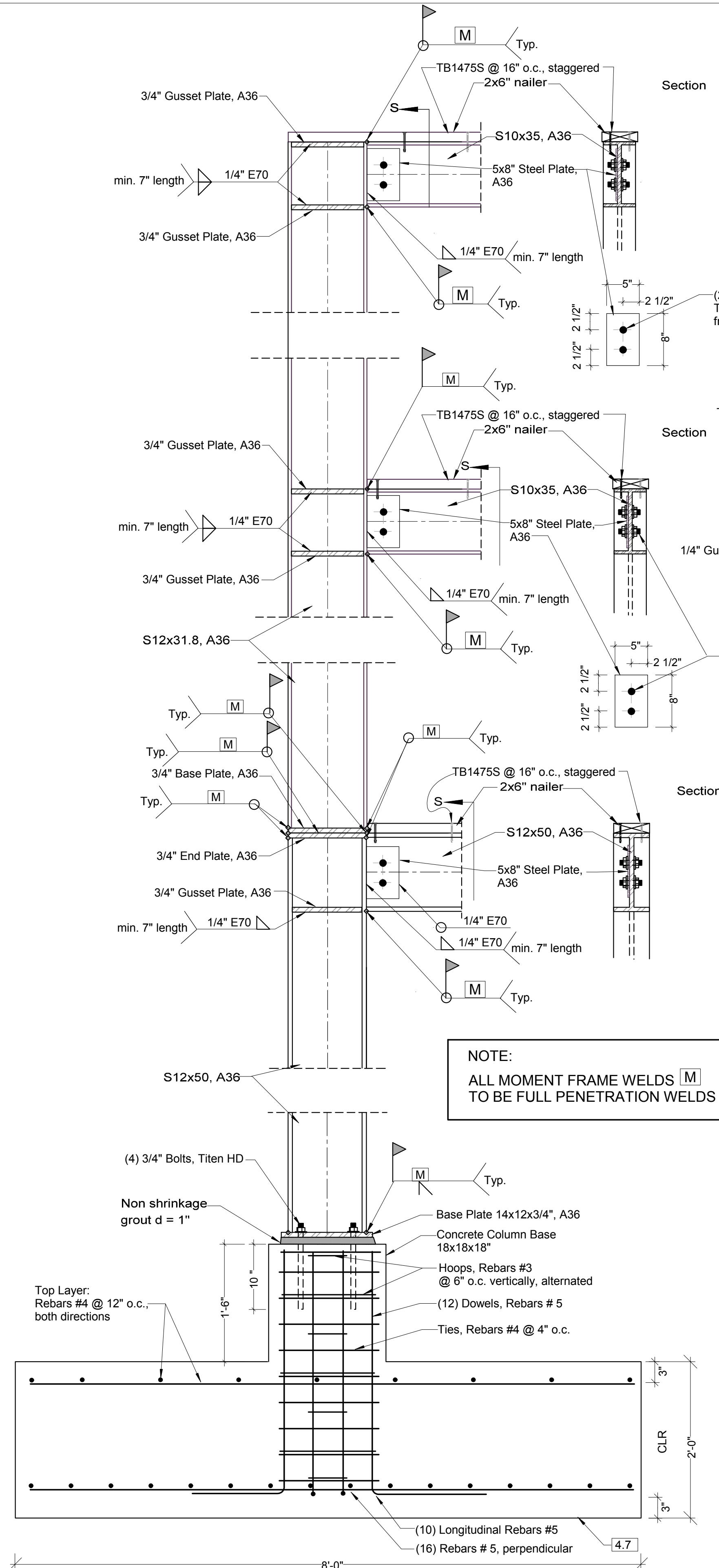


DETAIL 22 SCALE: 1/2" = 1'-0" (1:24)



REVISION 09/17/17

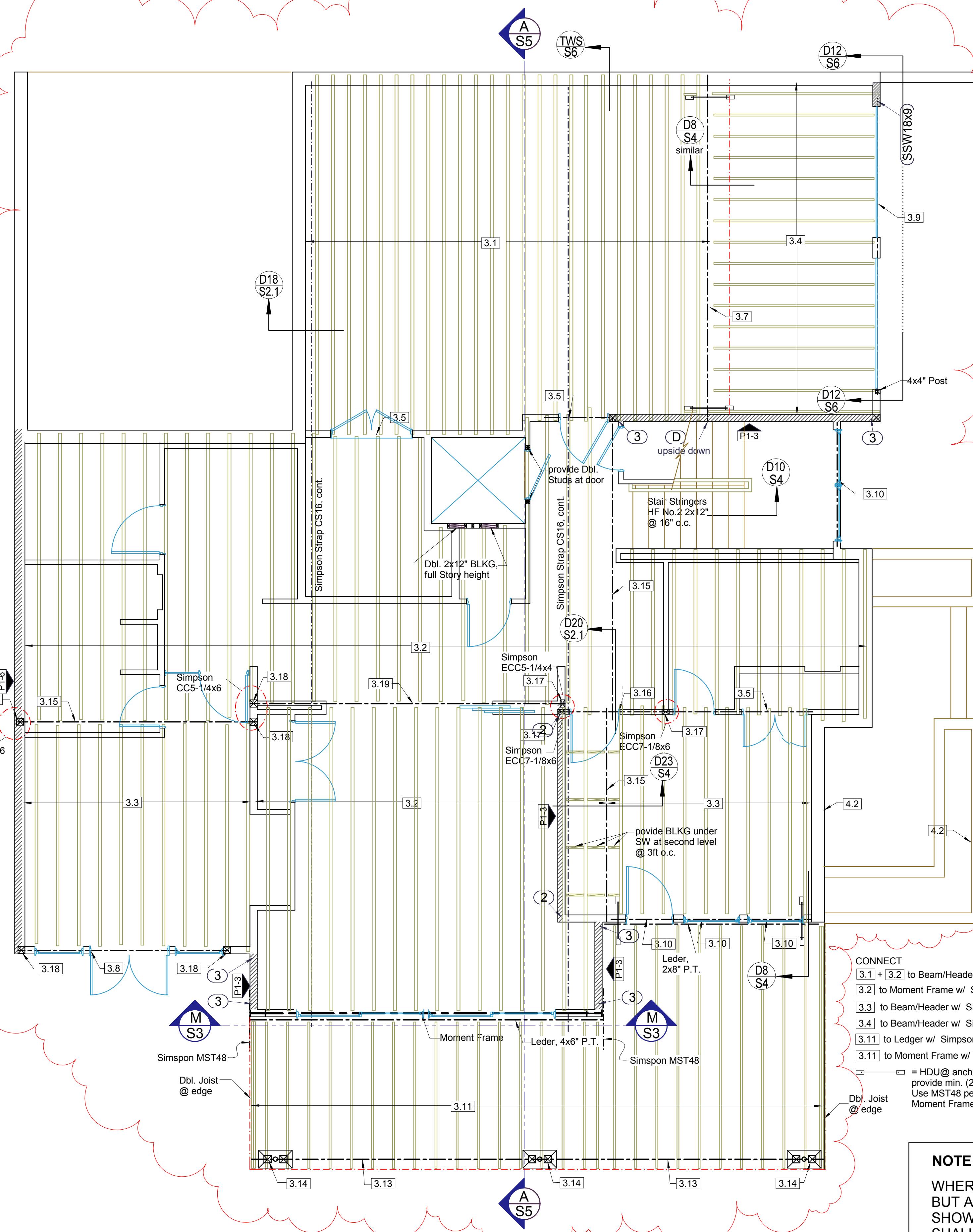
| | | |
|---|----------------------------------|-----------------|
| | | SHEET |
| 6830 NE Bothell Way - Suite C, PMB 181, Kenmore, WA 98028 Telephone (206) 553 9076 - Fax (206) 529 4408 ENGINEERING | | |
| BUILDER: | Barcelo Homes | S2.1 |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | |
| PARCEL NO.: | WA 98040 | |
| DESCRIPTION: | new SFR | |
| DATE: | 03/11/15 | SCALE: as noted |
| ENGINEER: | Roland Heimisch, P. E. | |



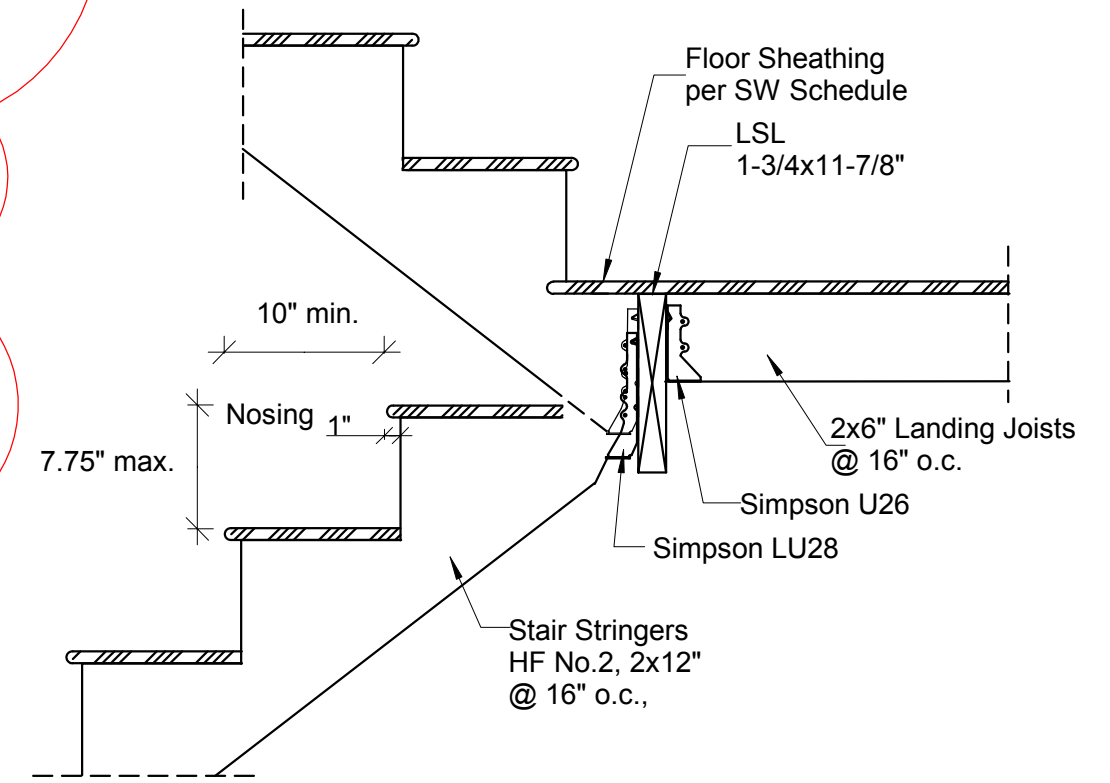
REVISION 06/18/17

| | | |
|---|----------------------------------|-----------------|
| tec instruct LLC | | SHEET |
| 6830 NE Bothell Way - Suite C, P.M.B. 181, Kenmore, WA 98028 Telephone (206) 553 9076 - Fax (206) 529 4408 | | |
| ENGINEERING | | S3 |
| BUILDER: | Barcelo Homes | |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | |
| PARCEL NO.: | WA 98040 | |
| DESCRIPTION: | new SFR | |
| DATE: | 03/11/15 | SCALE: as noted |
| ENGINEER: | Roland Heimisch, P. E. | |

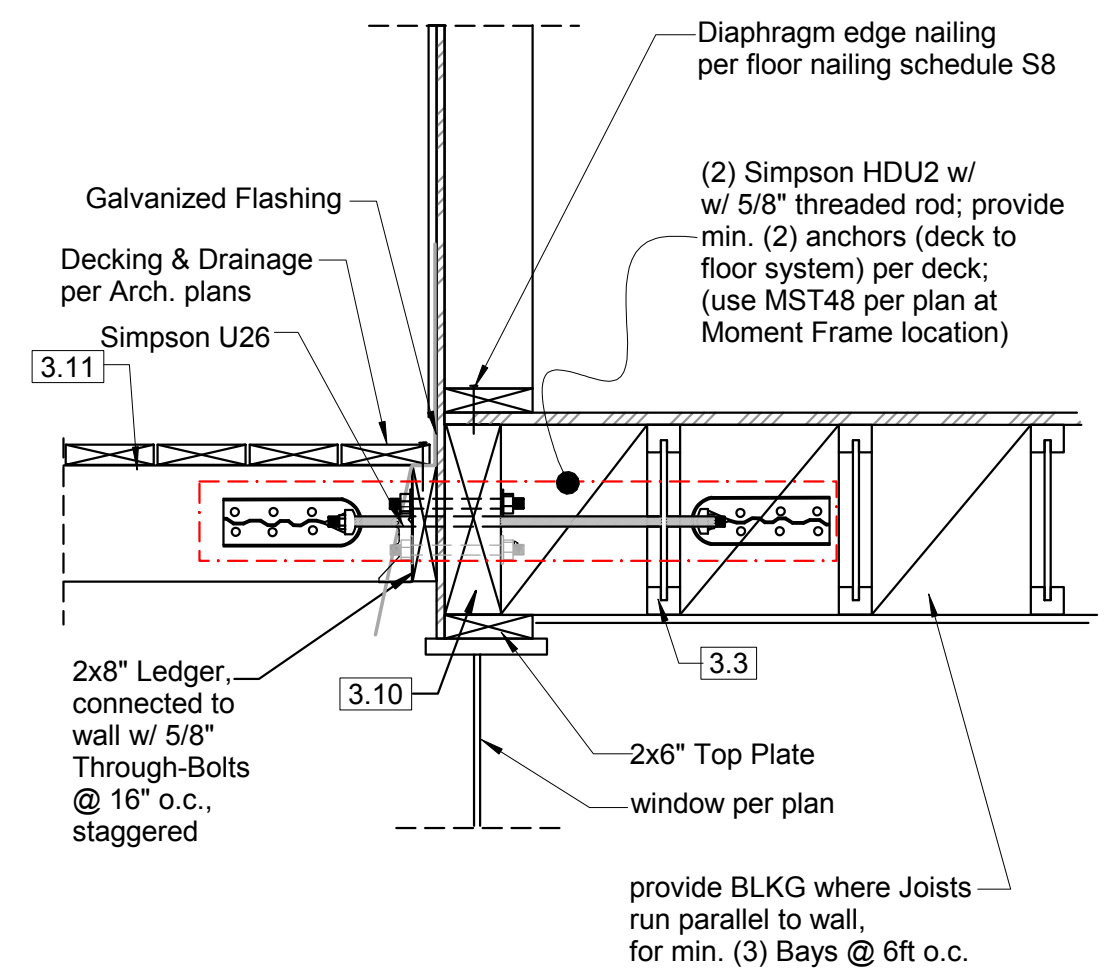
| KEY NO. | STRUCTURAL MEMBERS FLOOR SYSTEM ABOVE 2ND LEVEL | REACTIONS | |
|---------|--|-----------|--------|
| | | DL | LL |
| | | | |
| 3.1 | TJI 360, 2-5/16x11-7/8" @ 12" o.c. | | |
| 3.2 | TJI 360, 2-5/16x11-7/8" @ 16" o.c. | | |
| 3.3 | TJI 210, 2-1/16x11-7/8" @ 16" o.c. | | |
| 3.4 | Deck Joists, HF No.2, 2x8" @ 16" o.c. P.T. | | |
| 3.5 | Interior Header, LSL, 1.3E, 1700Fb, 3-1/2x8-5/8" | | |
| 3.6 | Beam, PSL, 2.0E, 2900Fb, 5-1/4x11-7/8" | 2,409 | 4,818 |
| 3.7 | Beam, PSL, 2.0E, 2900Fb, 7x16" | 3,546 | 4,987 |
| 3.8 | Beam, PSL, 2.0E, 2900Fb, 5-1/4x11-7/8" | 3,040 | 3,931 |
| 3.9 | Garage Header, DF No.2, 4x10" | 181 | 1,103 |
| 3.10 | Header (=Rim), LSL, 1.55E, 2325Fb, 3-1/2x11-7/8" | | |
| 3.11 | Deck Joists, HF No.2, 2x8" @ 12" o.c. P.T. | | |
| 3.12 | Beam, Glulam WS, 24F-1.8E, 5-1/8x15" | 552 | 3,232 |
| 3.13 | Beam, Glulam WS, 24F-1.8E, 5-1/8x15" | 523 | 2,871 |
| 3.14 | Column, HF No.2, 6x6", P.T. | | |
| 3.15 | Beam, Glulam WS, 24F-1.8E, 5-1/8x15" | 11,795 | 15,573 |
| 3.16 | Beam, PSL, 2.0E, 2900Fb, 7x11-7/8" | 6,492 | 8,582 |
| 3.17 | Column, PSL, 1.8E, 3-1/2x5-1/4" | | |
| 3.18 | Column, PSL, 1.8E, 5-1/4x5-1/4" | | |
| 3.19 | Beam, PSL, 2.0E, 2900Fb, 5-1/4x18" | 3,442 | 6,883 |



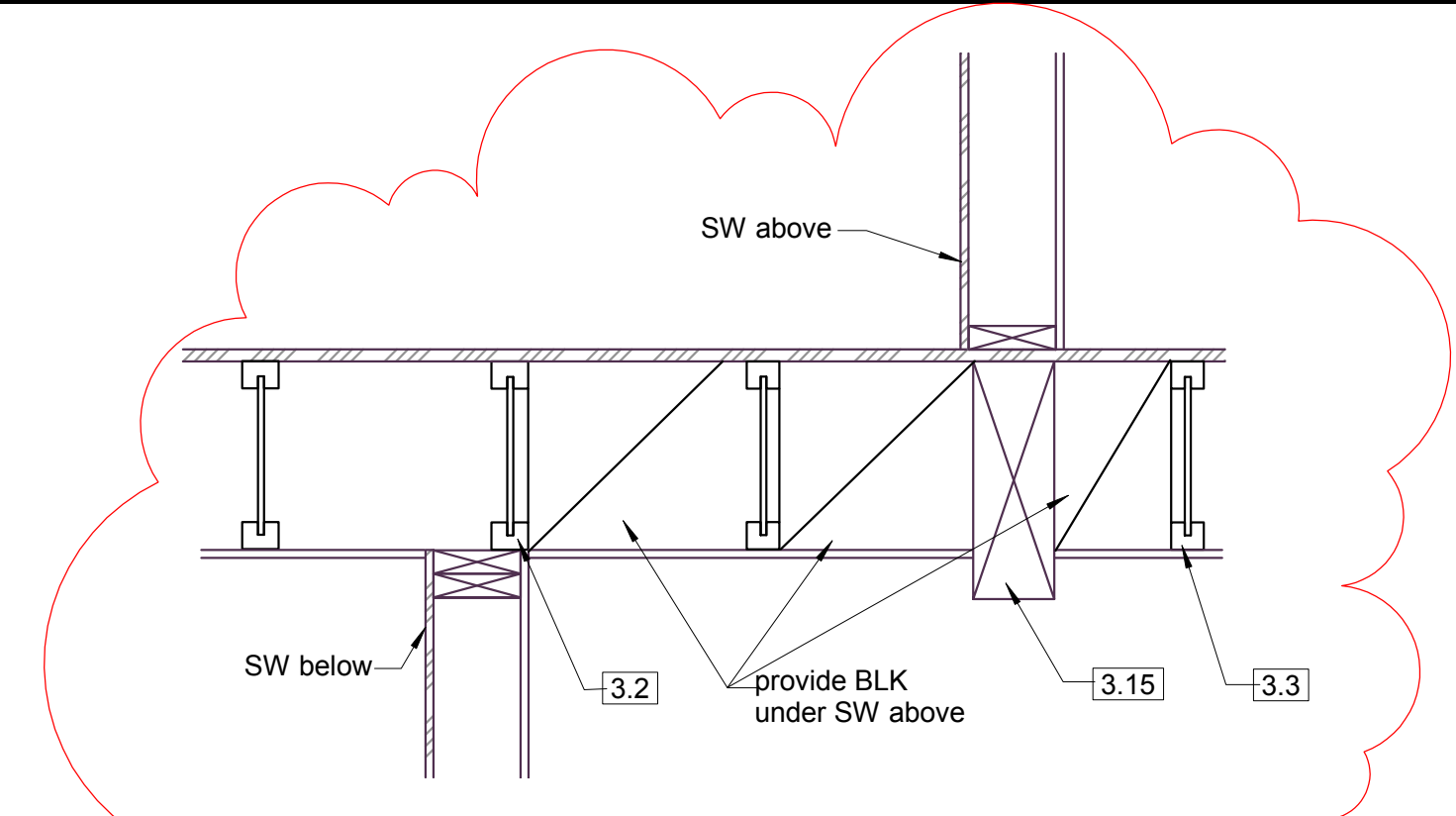
FRAMING ABOVE 1ST LEVEL SCALE: 1/4" = 1'-0" (1:48)



DETAIL 10 SCALE: 1" = 1'-0" (1:12)



DETAIL 8 SCALE: 1" = 1'-0" (1:12)



DETAIL 23 SCALE: 1" = 1'-0" (1:12)

- CONNECT**
- 3.1 + 3.2 to Beam/Header w/ Simpson IUS2.37/11.88
 - 3.2 to Moment Frame w/ Simpson LBV2.37/11.88
 - 3.3 to Beam/Header w/ Simpson LU28
 - 3.4 to Beam/Header w/ Simpson IUS2.06/11.88
 - 3.11 to Ledger w/ Simpson LU28
 - 3.11 to Moment Frame w/ Simpson U26
- = HDU@ anchor per D8/S5, provide min. (2) per deck; Use MST48 per plan at Moment Frame location.

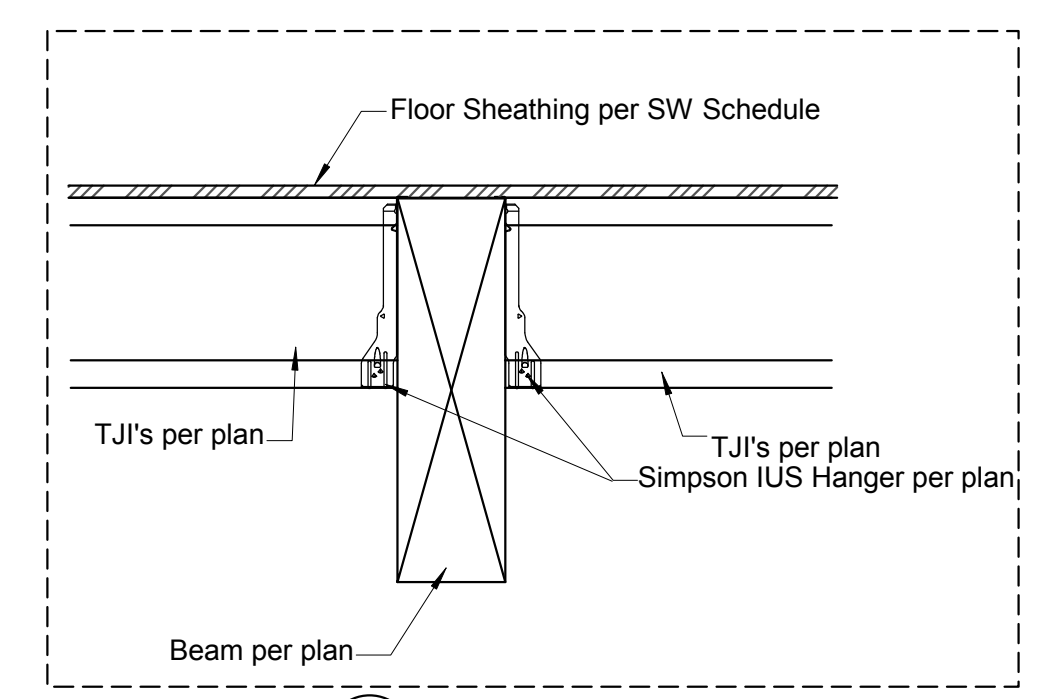
NOTE:
WHERE DETAILS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED.



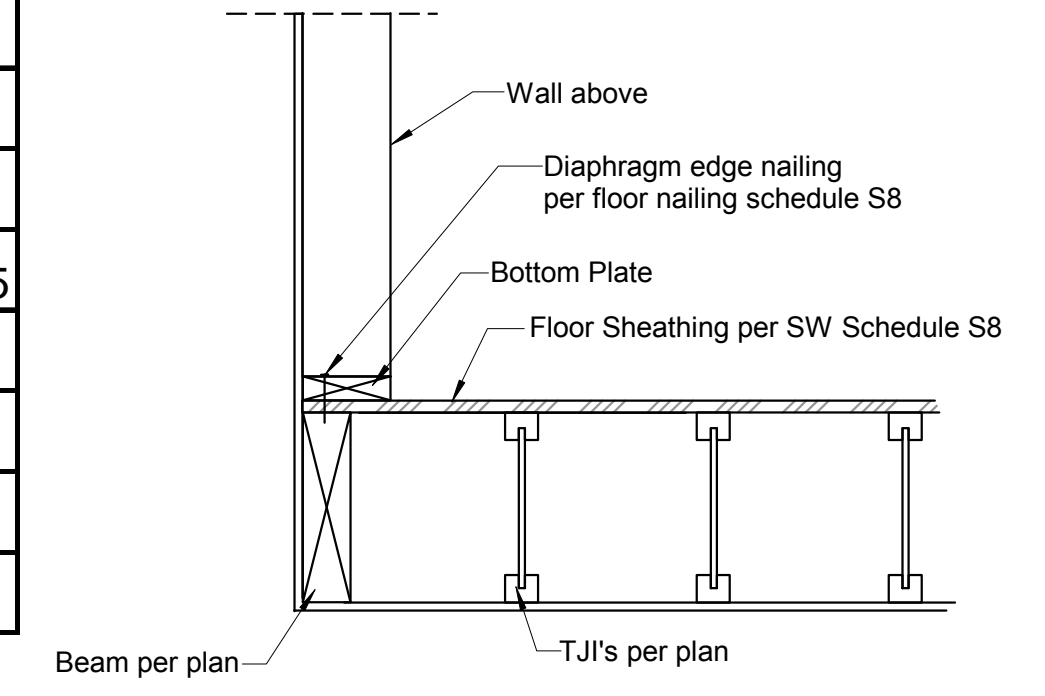
REVISION 06/18/17

| | | |
|---|----------------------------------|-----------------|
| <p>6830 NE Bothell Way - Suite C, PMB 181, Kenmore, WA 98028 Telephone (206) 553 9076 - Fax (206) 529 4408</p> <p>ENGINEERING</p> | | S4 |
| BUILDER: | Barcelo Homes | |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | |
| PARCEL NO.: | WA 98040 | |
| DESCRIPTION: | new SFR | |
| DATE: | 03/11/15 | |
| ENGINEER: | Roland Heimisch, P. E. | SCALE: as noted |

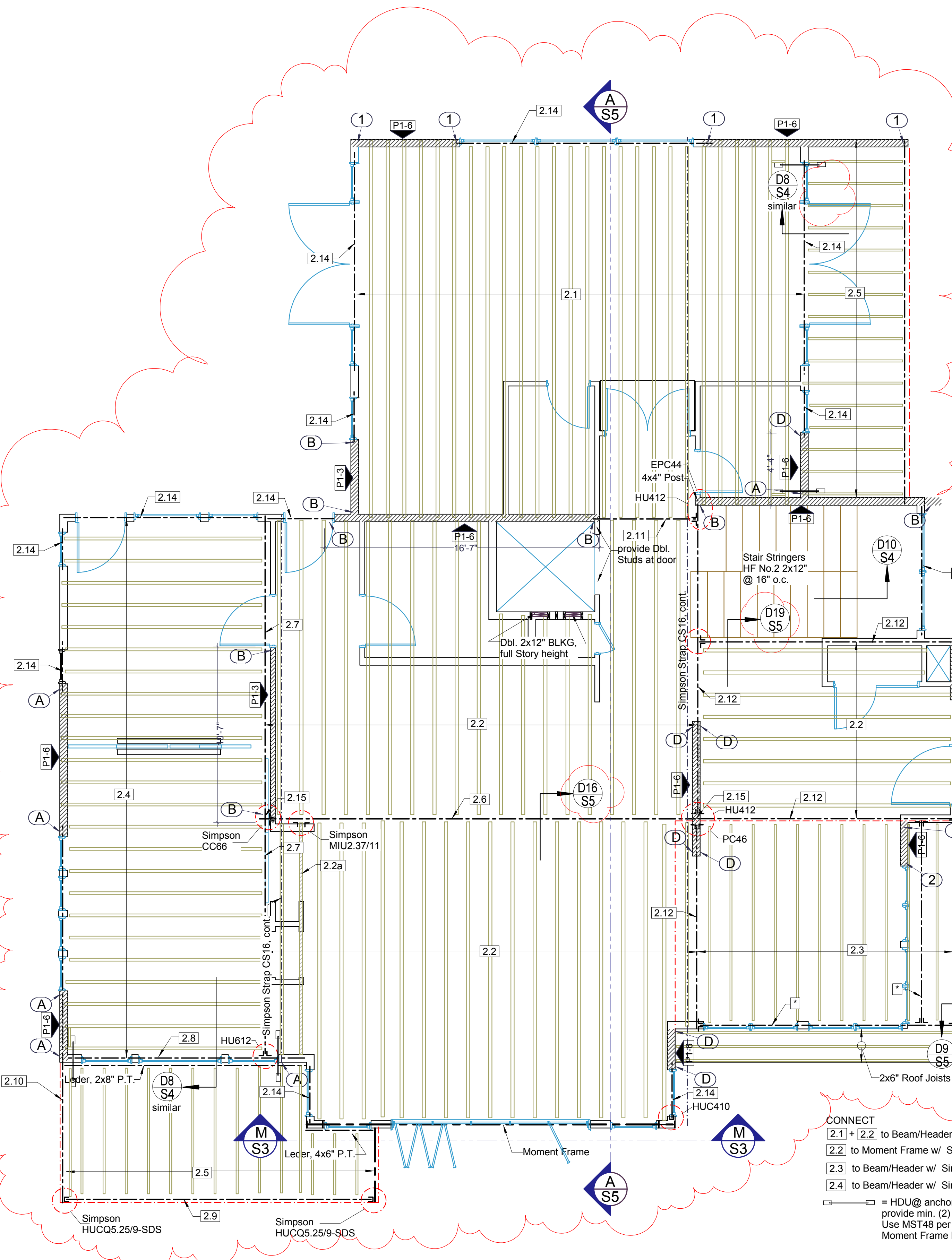
| KEY NO. | STRUCTURAL MEMBERS | REACTIONS | | | |
|---------|--|------------------------------|-------|--------------|----------|
| | | FLOOR SYSTEM ABOVE 2ND LEVEL | | CANTILEVER | |
| | | DL | LL | (-) = uplift | rear end |
| 2.1 | TJI 360, 2-5/16x11-7/8" @ 12" o.c. | | | | |
| 2.2 | TJI 360, 2-5/16x11-7/8" @ 16" o.c. | | | | |
| 2.2a | TJI 360, 2-5/16x11-7/8" @ 16" o.c. | | | | |
| 2.3 | TJI 210, 2-1/16x11-7/8" @ 16" o.c. | | | | |
| 2.4 | TJI 210, 2-1/16x11-7/8" @ 16" o.c. | | | | |
| 2.5 | Deck Joists, HF No.2, 2x8" @ 16" o.c. P.T. | | | | |
| 2.6 | Beam, Glulam WS, 24F-1.8E, 6-3/4x24" | 5,016 | 9,100 | | |
| 2.7 | Beam, PSL, 2.0E, 2900Fb, 5-1/4x11-7/8" | 1,534 | 2,736 | | |
| 2.8 | Beam, PSL, 2.0E, 2900Fb, 5-1/4x11-7/8" | 3,040 | 3,931 | | |
| 2.9 | Beam @ Deck, Glulam WS, 24F-1.8E, 5-1/8x9" | 636 | 1,370 | | |
| 2.10 | Beam, Glulam WS, 24F-1.8E, 6-3/4x12" | 1,056 | 2,194 | -1,250 | |
| 2.11 | Beam, PSL, 2.0E, 2900Fb, 3-1/2x11-7/8" | 955 | 1,688 | -415 | 85 |
| 2.12 | Beam, PSL, 2.0E, 2900Fb, 3-1/2x11-7/8" | 2,574 | 2,604 | | |
| 2.13 | Beam, Glulam WS, 24F-1.8E, 5-1/4x12" | 1,950 | 1,733 | | |
| 2.14 | Header (=Rim), LSL, 1.55E, 2325Fb, 3-1/2x11-7/8" | | | | |
| 2.15 | Column, PSL, 1.8E, 5-1/4x5-1/4" | | | | |



DETAIL 16 SCALE: 1" = 1'-0" (1:12)
TJI'S TO BEAM (TYP.)



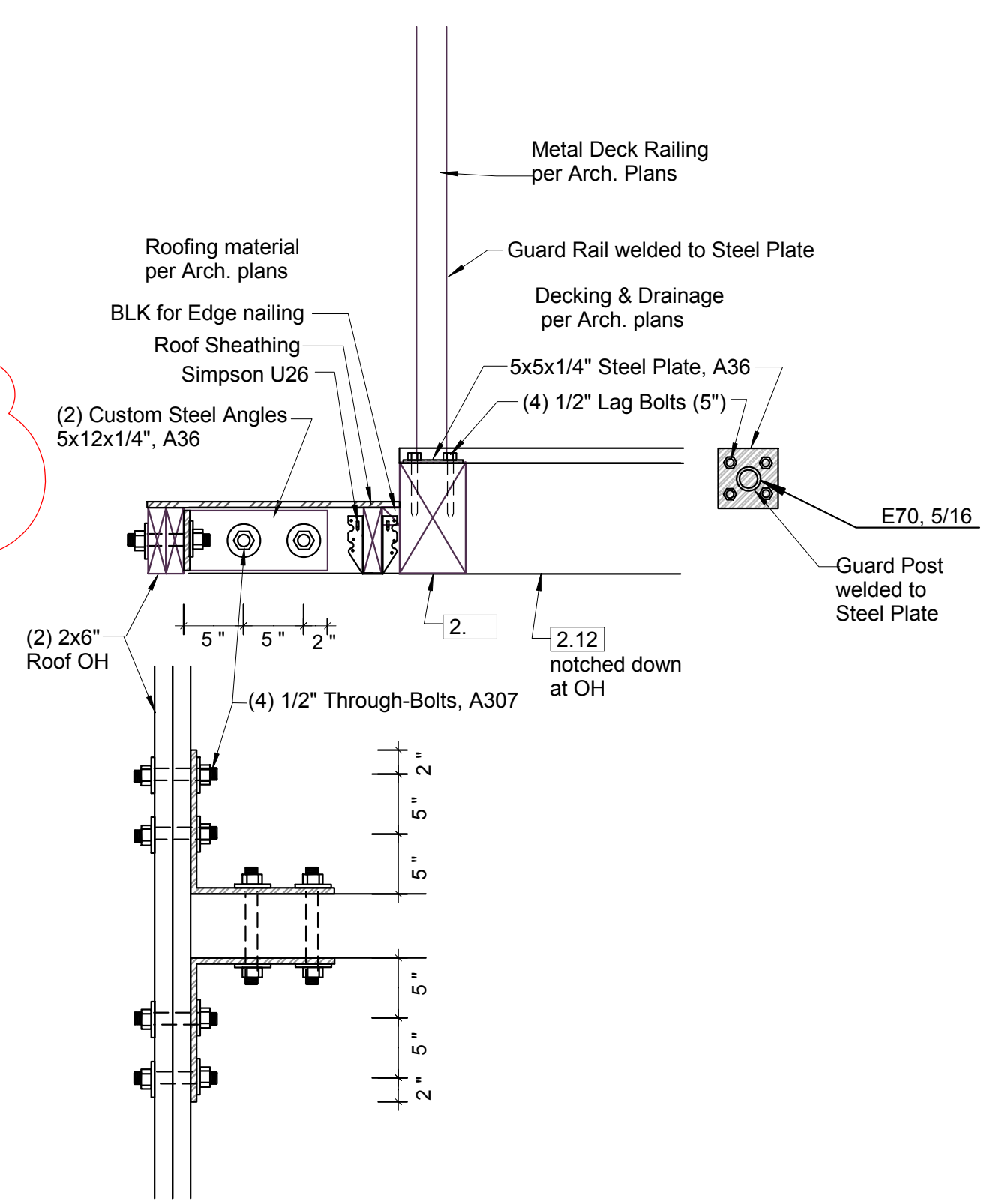
DETAIL 19 SCALE: 1" = 1'-0" (1:12)



FRAMING ABOVE 2ND LEVEL SCALE: 1/4" = 1'-0" (1:48)

NOTE:
WHERE DETAILS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED.

- CONNECT
- [2.1] + [2.2] to Beam/Header w/ Simpson IUS2.37/11.88
 - [2.2] to Moment Frame w/ Simpson LBV2.37/11.88
 - [2.3] to Beam/Header w/ Simpson U210
 - [2.4] to Beam/Header w/ Simpson IUS2.06/11.88
- = HDU@ anchor per D8/S5, provide min. (2) per deck; Use MST48 per plan at Moment Frame location.

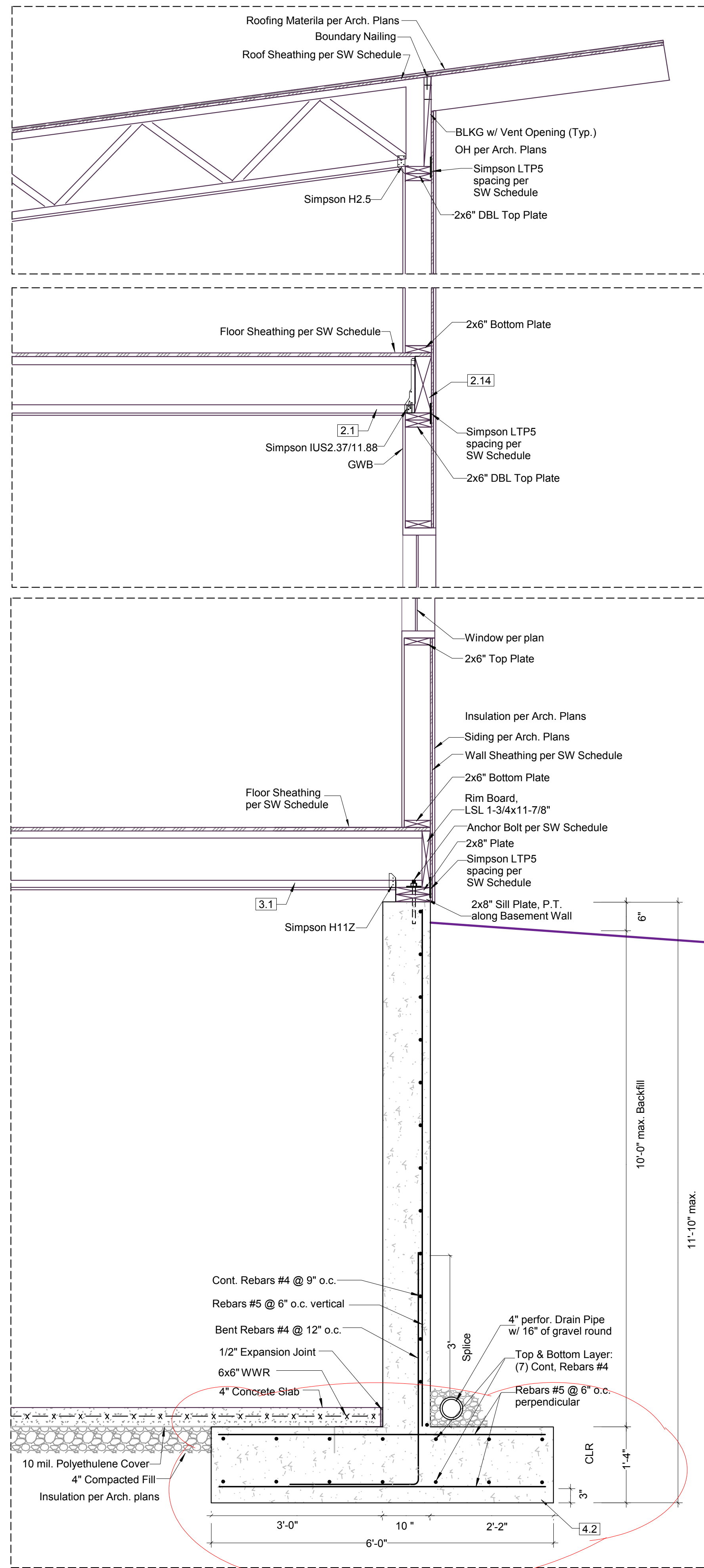


DETAIL 9 SCALE: 1" = 1'-0" (1:12)

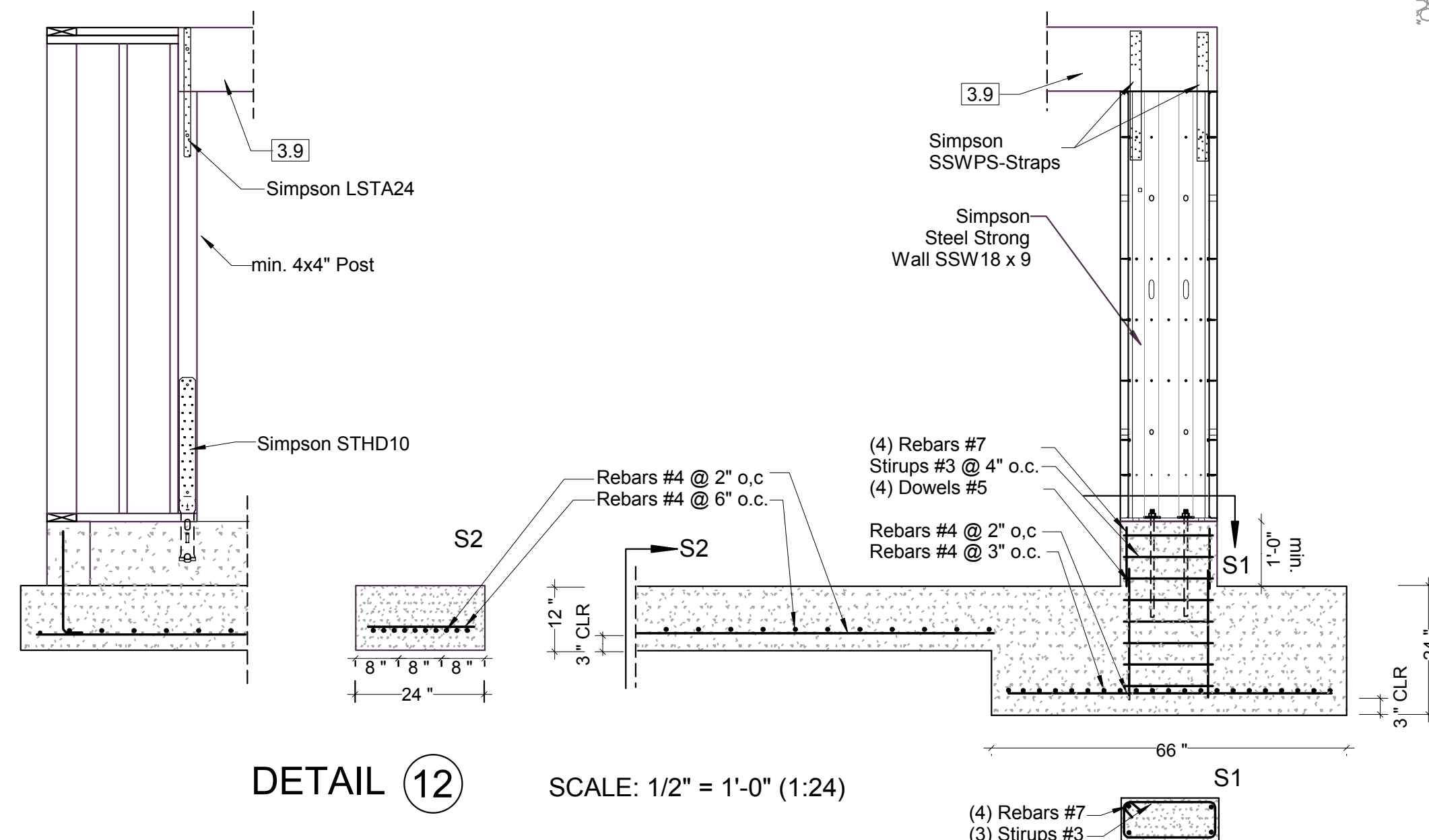


REVISION 06/18/17

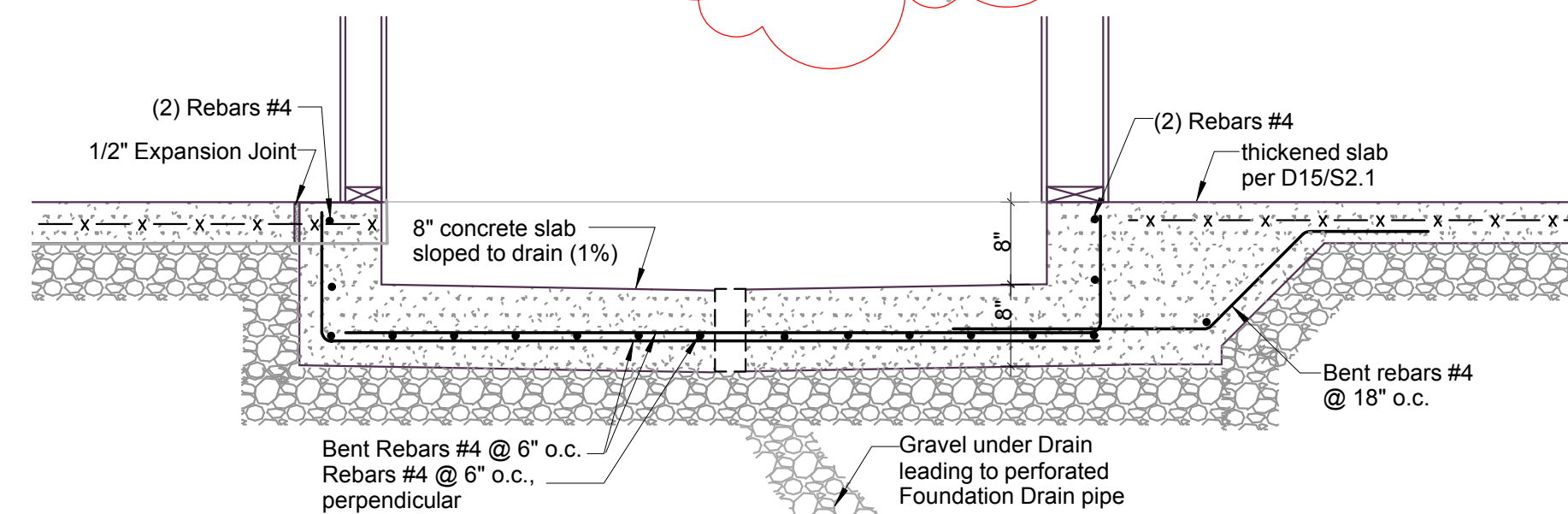
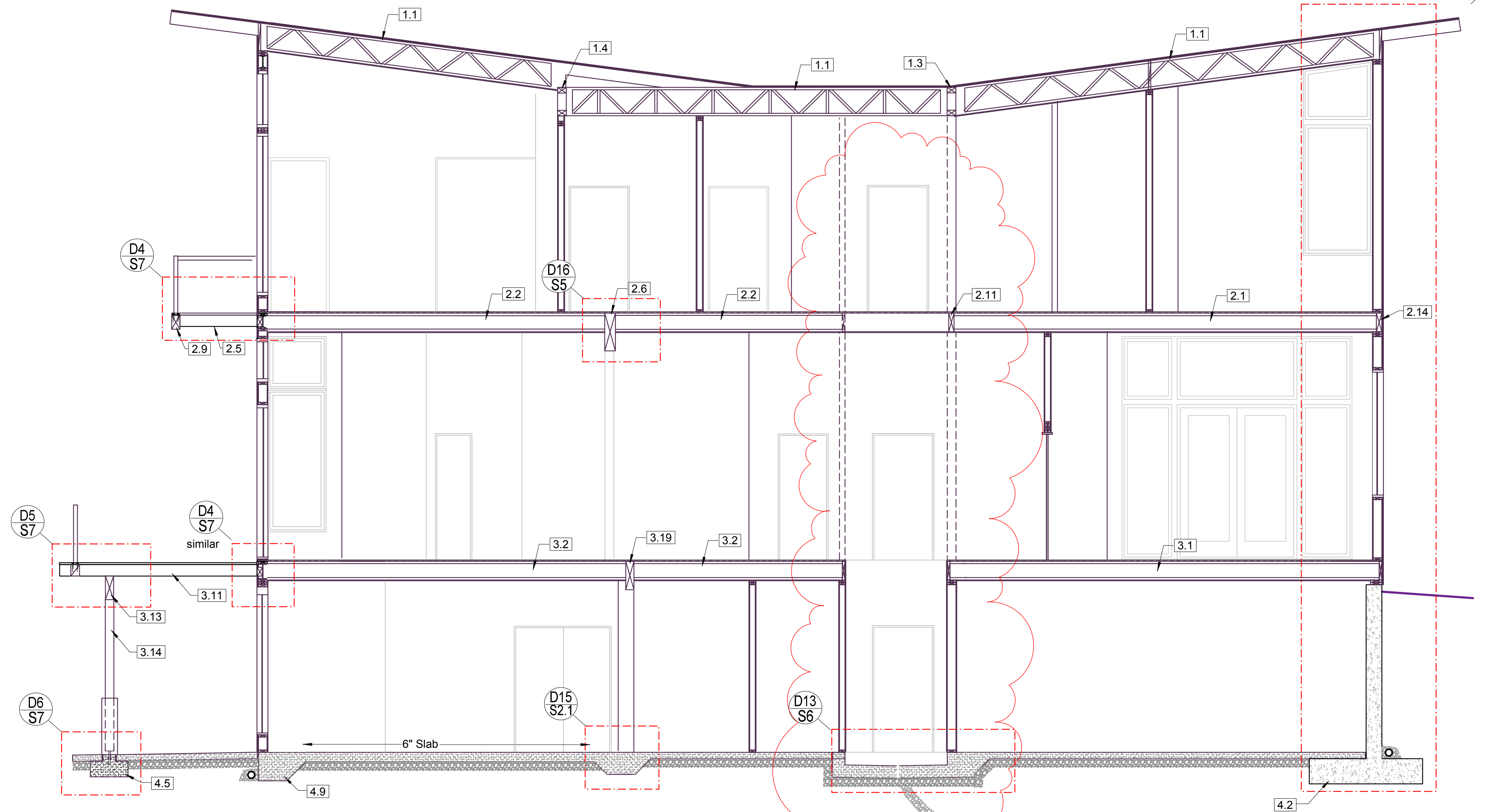
| | | |
|---|----------------------------------|-------|
| <p>tec instruct LLC 6830 NE Bothell Way - Suite C, PMB 181, Kenmore, WA 98028 Telephone (206) 553 9076 - Fax (206) 529 4408</p> | | S5 |
| ENGINEERING | | |
| BUILDER: | Barcelo Homes | SHEET |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | |
| PARCEL NO.: | WA 98040 | |
| DESCRIPTION: | new SFR | |
| DATE: | 03/11/15 | |
| SCALE: | as noted | |
| ENGINEER: | Roland Heimisch, P. E. | |



TYPICAL WALL SECTION (TWS) SCALE: 3/4" = 1'-0" (1:16)



DETAIL 12 SCALE: 1/2" = 1'-0" (1:24)
SSW18X9 INSTALL. DETAIL (TYP.)

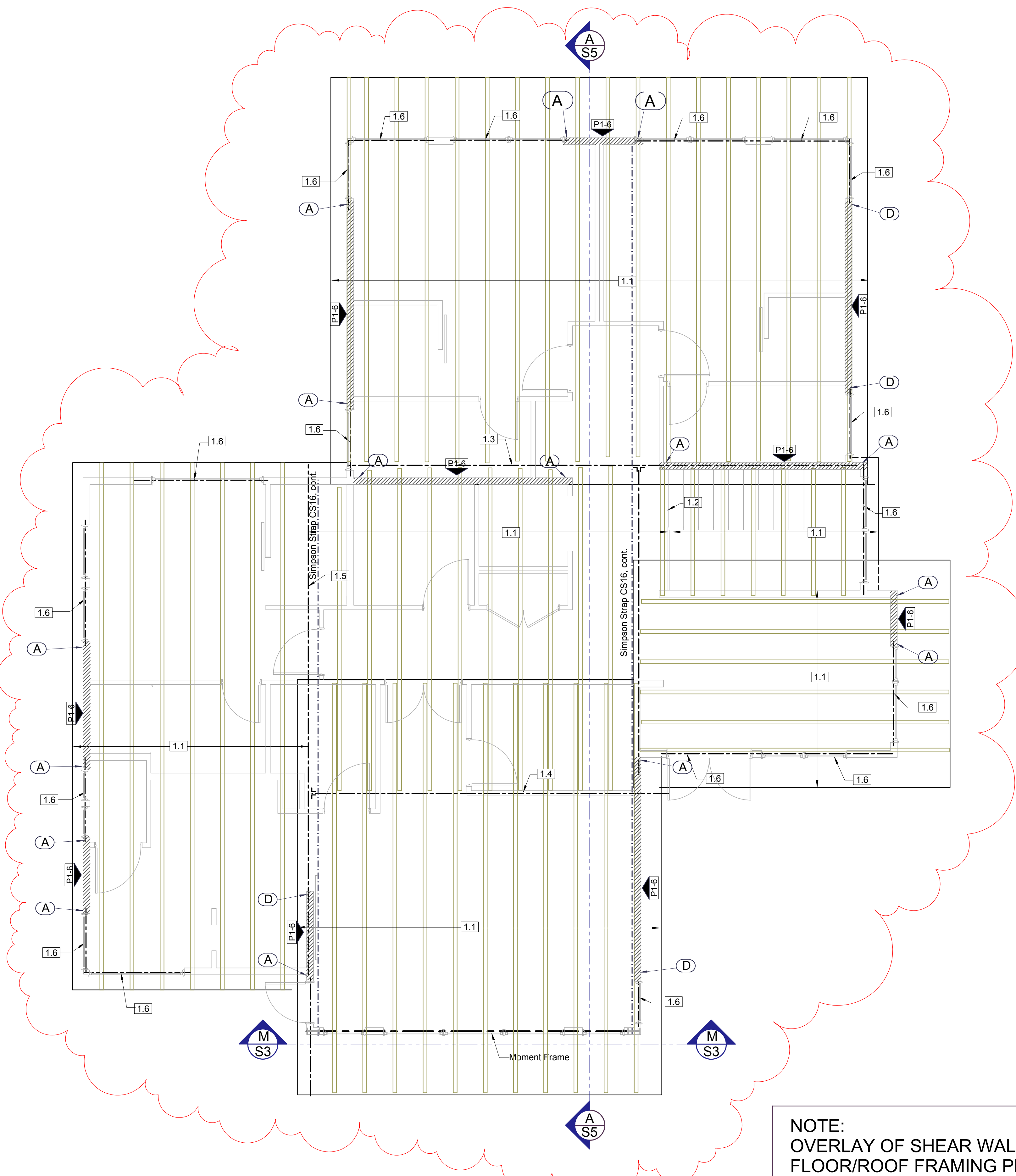


DETAIL 13 SCALE: 3/4" = 1'-0" (1:16)



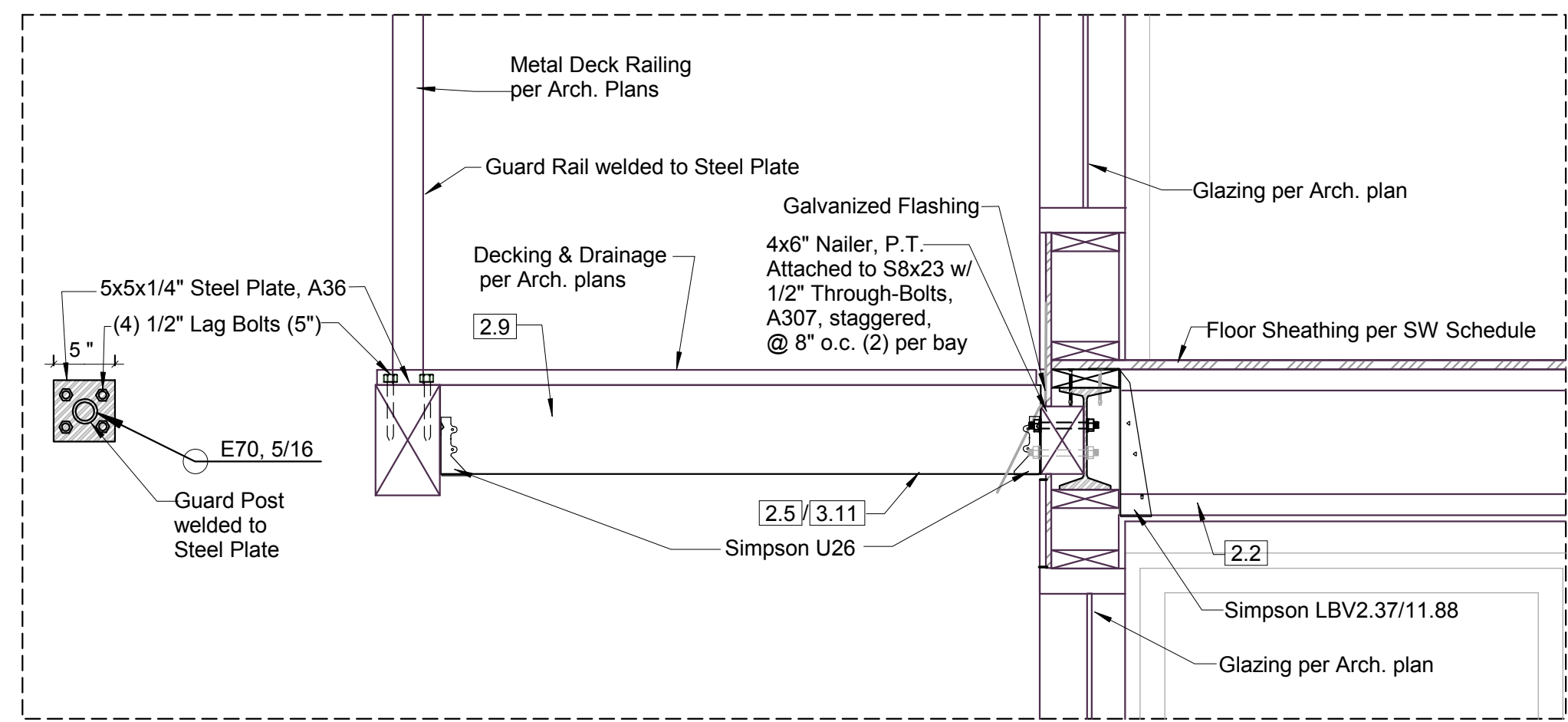
REVISION 06/18/17

| | | |
|---|----------------------------------|-----------------|
| tec instruct LLC 6830 NE Bothell Way - Suite C, PMB 181, Kenmore, WA 98028 Telephone (206) 553 9076 - Fax (206) 529 4408 | | |
| ENGINEERING | | |
| BUILDER: | Barcelo Homes | SHEET |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | S6 |
| PARCEL NO.: | WA 98040 | |
| DESCRIPTION: | new SFR | |
| DATE: | 03/11/15 | SCALE: as noted |
| ENGINEER: | Roland Heimisch, P. E. | |

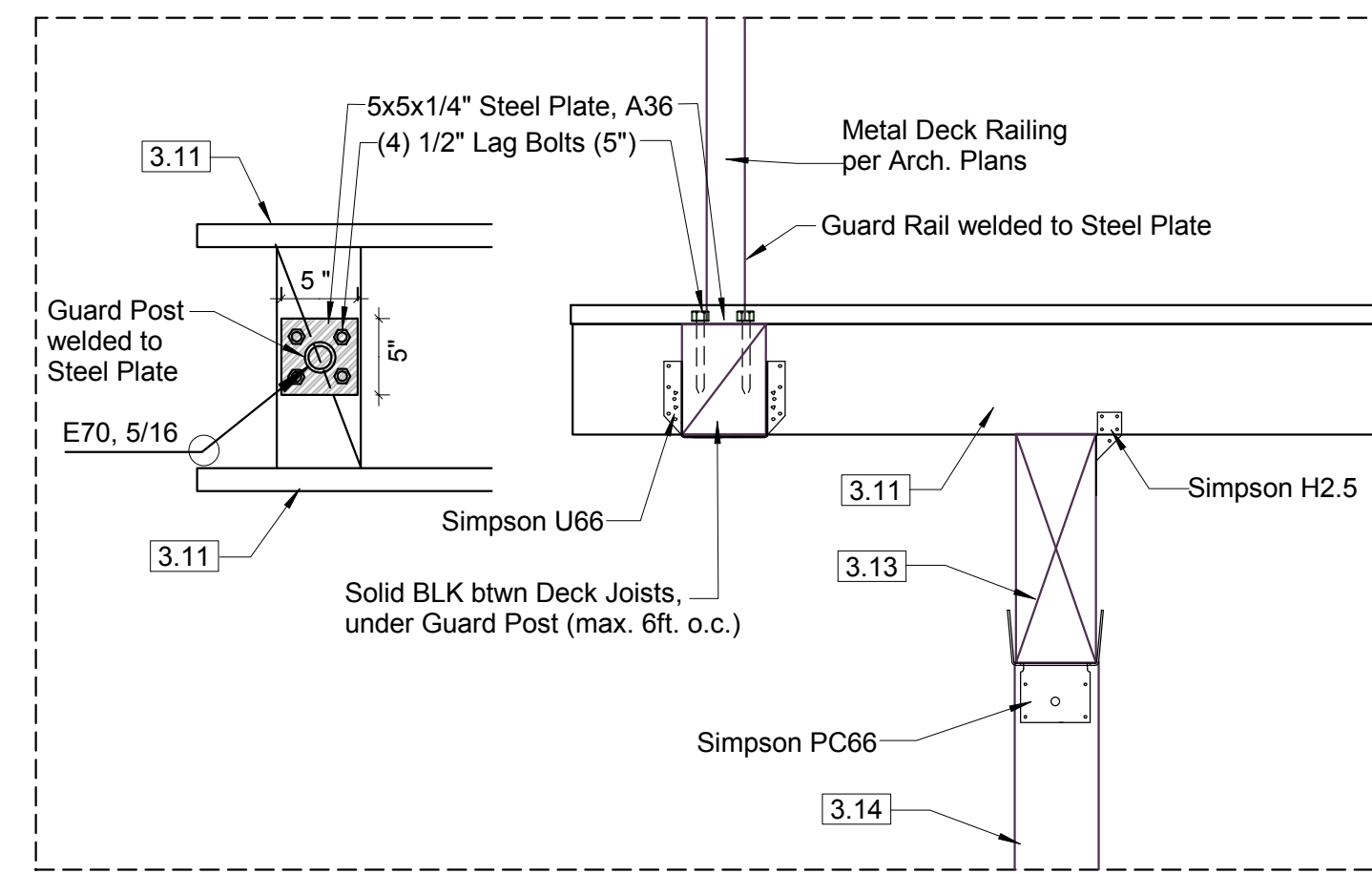


ROOF FRAMING PLAN SCALE: 1/4" = 1'-0" (1:48)

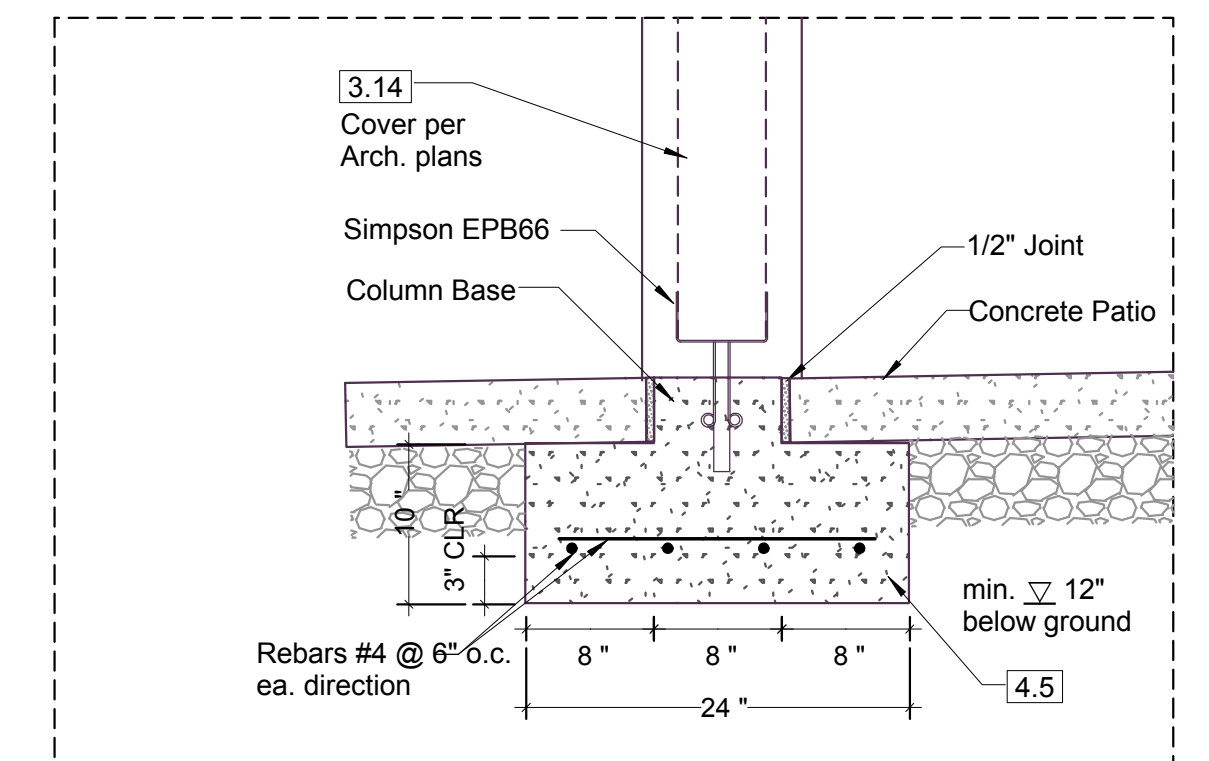
NOTE:
 OVERLAY OF SHEAR WALLS IN
 FLOOR/ROOF FRAMING PLANS PER
 REVIEWER REQUEST,
 REFER TO SHEAR WALL PLANS (S8/S9)
 FOR SHEAR WALL INFORMATION



DETAIL 4 SCALE: 1" = 1'-0" (1:12)



DETAIL 5 SCALE: 1" = 1'-0" (1:12)



DETAIL 6 SCALE: 1" = 1'-0" (1:12)

| KEY NO. | STRUCTURAL MEMBERS |
|-------------------|--|
| ROOF LEVEL | |
| 1.1 | Open Web Trusses @ 24" o.c., d = 18" |
| 1.2 | Girder Truss, d = 18" |
| 1.3 | Girder Truss, d = 18" |
| 1.4 | Girder Truss, d = 18" |
| 1.5 | Girder Truss, d = 18" |
| 1.6 | Header (=Rim), LVL, 2-ply, (2) 1-3/4x18" |



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| | | | |
|---|----------------------------------|-----------------|-------|
| 6830 NE Bothell Way - Suite C, PMB 181, Kenmore, WA 98028 Telephone (206) 553 9076 - Fax (206) 529 4408 ENGINEERING | | S7 | |
| BUILDER: | Barcelo Homes | | SHEET |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | | |
| PARCEL NO.: | WA 98040 | | |
| DESCRIPTION: | new SFR | | |
| DATE: | 02/23/15 | SCALE: as noted | |
| ENGINEER: | Roland Heimisch, P. E. | | |

HOLDOWN SCHEDULE

| SYMBOL | HOLDOWN | EMBED. | BOLT TYPE | MIN. WOOD MEMBER THICKNESS |
|--------|---------------|--------|-----------|----------------------------|
| ① | Simpson HDU2 | 18" | SB5/8x24 | (2) 2x |
| ② | Simpson HDU4 | 18" | SB5/8x24 | (2) 2x |
| ③ | Simpson HDU8 | 18" | SB7/8x24 | DF 6x6" |
| ④ | Simpson HDU11 | 24" | SB1x30 | DF 6x6" |

STRAP SCHEDULE

| SYMBOL | STRAP | WOOD MEMBER | NAILS |
|--------|----------|-------------|----------|
| Ⓐ | MST48 | (2) 2x | 34 - 16d |
| Ⓑ | MST60 | (2) 2x | 46 - 16d |
| Ⓒ | HTS20 | (2) 2x | 20 - 16d |
| Ⓓ | MSTC66B3 | (2) 2x | 38 - 10d |

VERTICAL DIAPHRAGM

| SHEARWALL TYPE | WALL SHEATHING (PANEL) THICKNESS & GRADE | SPAN INDEX | NAIL TYPE | NAILING | | WALL STUD GRADE & SPACING | BLKG REQ'D | BLOCK SIZE | ABUTTING PLYWOOD PANEL EDGE MEMBER SIZE | TOP PLATE NAILING SIZE & SPACING | SOLE PLATE NAILING SIZE & | FOUNDATION ANCHOR BOLTS SIZE & SPACING | ALLOWABLE LOAD SEISMIC / WIND | SIMPSON CLIPS |
|-------------------|--|------------|-----------|---------|----------|---------------------------|------------|------------|---|----------------------------------|---------------------------|--|-------------------------------|-----------------|
| | | | | EDGE | FIELD | | | | | | | | | |
| P1-6 | 15/32" APA RATED/OSB ONE FACE | 24/0 | 8d | 6" o.c. | 12" o.c. | HEM-FIR @ 16" o.c. | yes | 2x | 2x | 16d @ 5" | 16d @ 5" | 5/8" @ 48" o.c. | 244 PLF / 342 PLF | LTP5 @ 24" o.c. |
| P1-3 ² | 15/32" APA RATED/OSB ONE FACE | 24/0 | 8d | 3" o.c. | 12" o.c. | HEM-FIR @ 16" o.c. | yes | 3x | 3x | (2) ROWS 16d @ 4" | (2) ROWS 16d @ 4" | 5/8" @ 24" o.c. | 564 PLF / 790 PLF | LTP5 @ 12" o.c. |

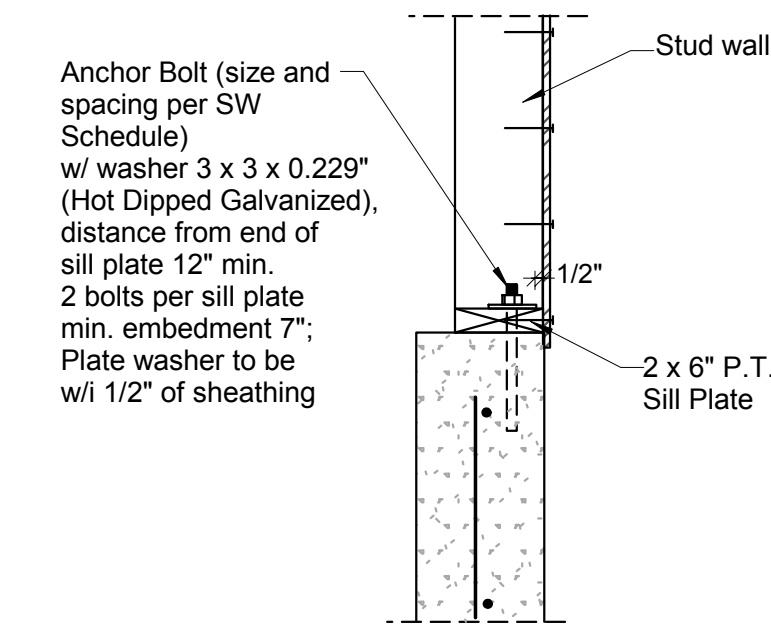
NOTE:
For all non-Shear Walls use nailing pattern, bolt and clip size/spacing for P1-6

HORIZONTAL DIAPHRAGM

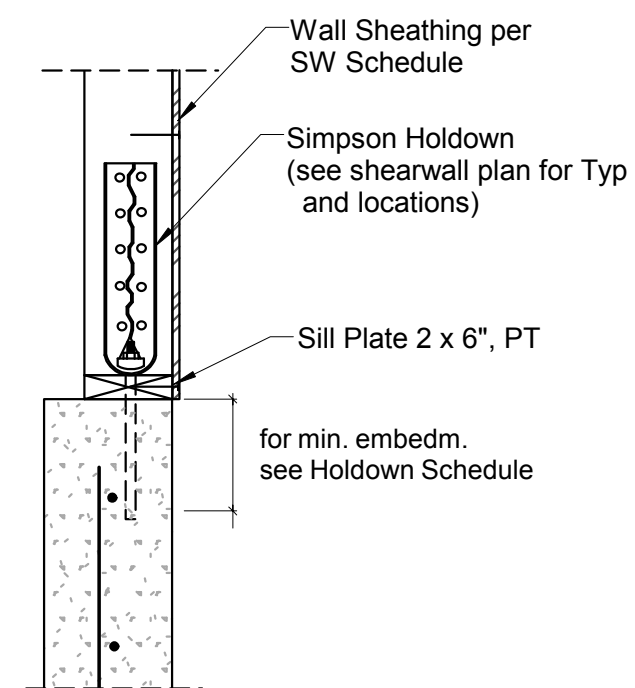
| | THICKNESS & GRADE | SPAN INDEX | NAIL TYPE | NAILING | | |
|---------------|----------------------------|------------|-----------|---------|---------|----------|
| | | | | BDRY | EDGE | FIELD |
| FLOOR NAILING | 3/4" CDX T&G APA RATED/OSB | 48/24 | 10d | 6" o.c. | 6" o.c. | 12" o.c. |
| ROOF NAILING | 7/16" APA RATED/OSB | 24/0 | 8d | 6" o.c. | 6" o.c. | 12" o.c. |

SHEAR WALLS

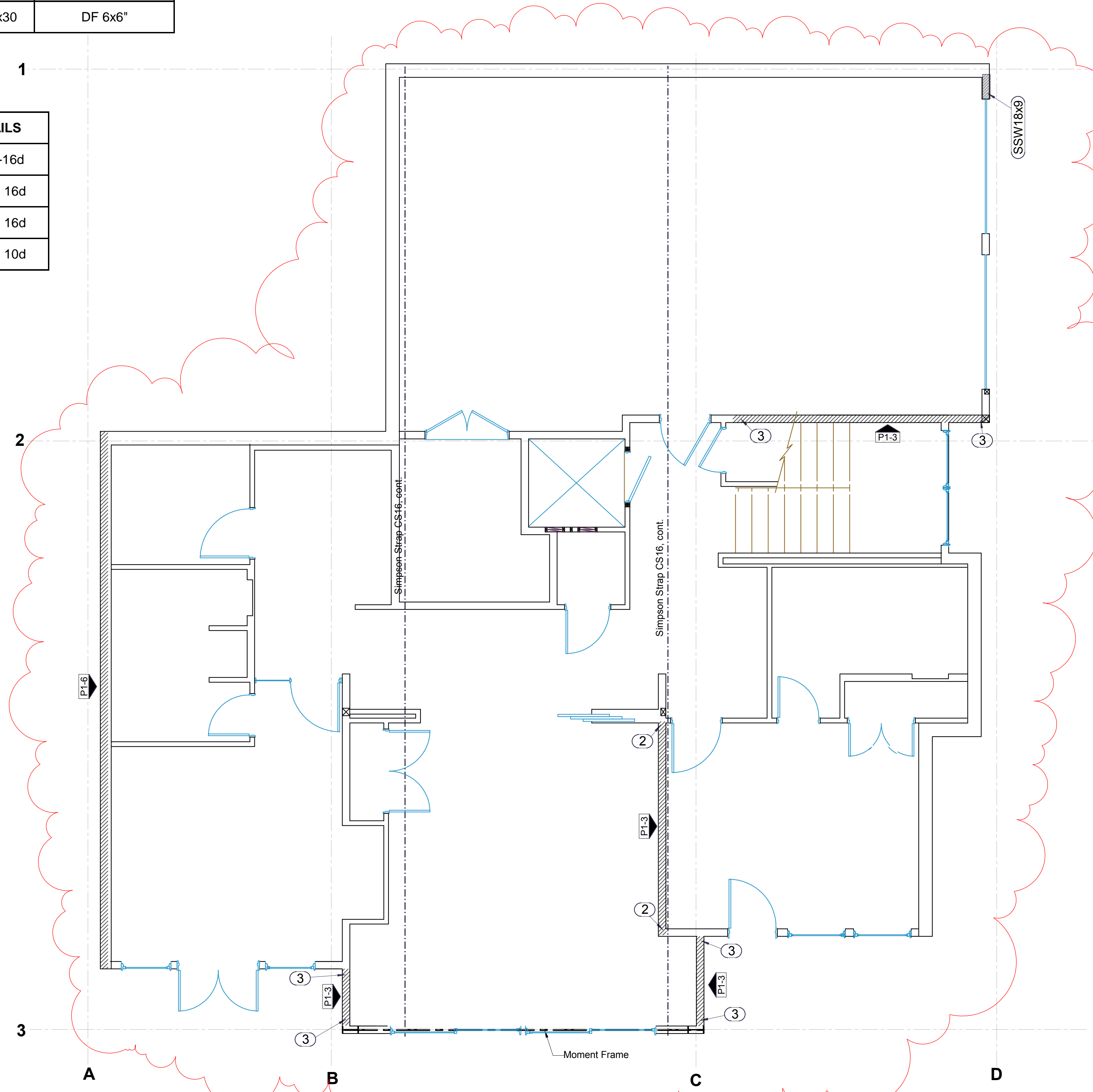
- ALL SHEAR WALLS SHALL CONFORM TO IBC SECTION 23 REQMENTS. APPLY NAILING TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKINGS. SHEATHING SHALL BE INSTALLED VERTICALLY W/ 4x10 SHEETS FROM THE SILL PLATE AT THE FOUNDATION TO THE LOWER OF THE DOUBLED TOP PLATES AT THE MAIN LEVEL AND FROM THE UPPER OF THE DOUBLED TOP PLATES AT THE WALL TO THE TOP OF THE DOUBLED TOP PLATES AT THE UPPER LEVEL.
- WHERE APA SHEATHING IS APPLIED ON BOTH FACES OF THE WALL AND NAIL SPACING IS LESS THAN 6" O.C. ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBER, OR FRAMING SHALL BE 3x NOMINAL AND NAILS ON EACH SIDE SHALL BE STAGGERED. WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (NAIL SPACING 4" OR LESS, OR SHEAR WALLS W/ PLYWOOD APPLIED ON EACH SIDE OF THE STUD WALL) FOUNDATION SILL PLATES AND FRAMING ABUTTING PANEL EDGES SHALL BE 3x NOMINAL OR (2) 2x W/ STAGGERED NAILING.
- ABOVE LISTED ALLOWABLE SHEAR CAPACITIES ARE ADJUSTED FOR USE OF HEM-FIR STUDS, SPACED NO MORE THAN 16" O.C. AND SHEATHING APPLIED DIRECTLY TO FRAMING MEMBERS.
- 14 GAUGE STAPLES W/ 7/16" CROWN AND 2" NOMINAL LEG LENGTH OR 0.131 DIA. P-NAILS W/ 2" NOMINAL LENGTH CAN BE SUBSTITUTED FOR 8D COMMON NAILS W/ REDUCED SHEAR CAPACITIES TO USE STAPLES. VERIFY W/ ENGINEER.
- ALL FASTENERS SHALL BE DRIVEN FLUSH W/ SURFACE OF SHEATHING.
- PROVIDE A SINGLE JOIST OR MIN. 2x SOLID BLOCKING BELOW AND AT THE TOP OF ALL SHEARWALLS.



ANCHOR BOLT DETAIL (TYP.)
SCALE: 1" = 1'-0" (1:12)



HOLDOWN DETAIL (TYP.)
SCALE: 1" = 1'-0" (1:12)

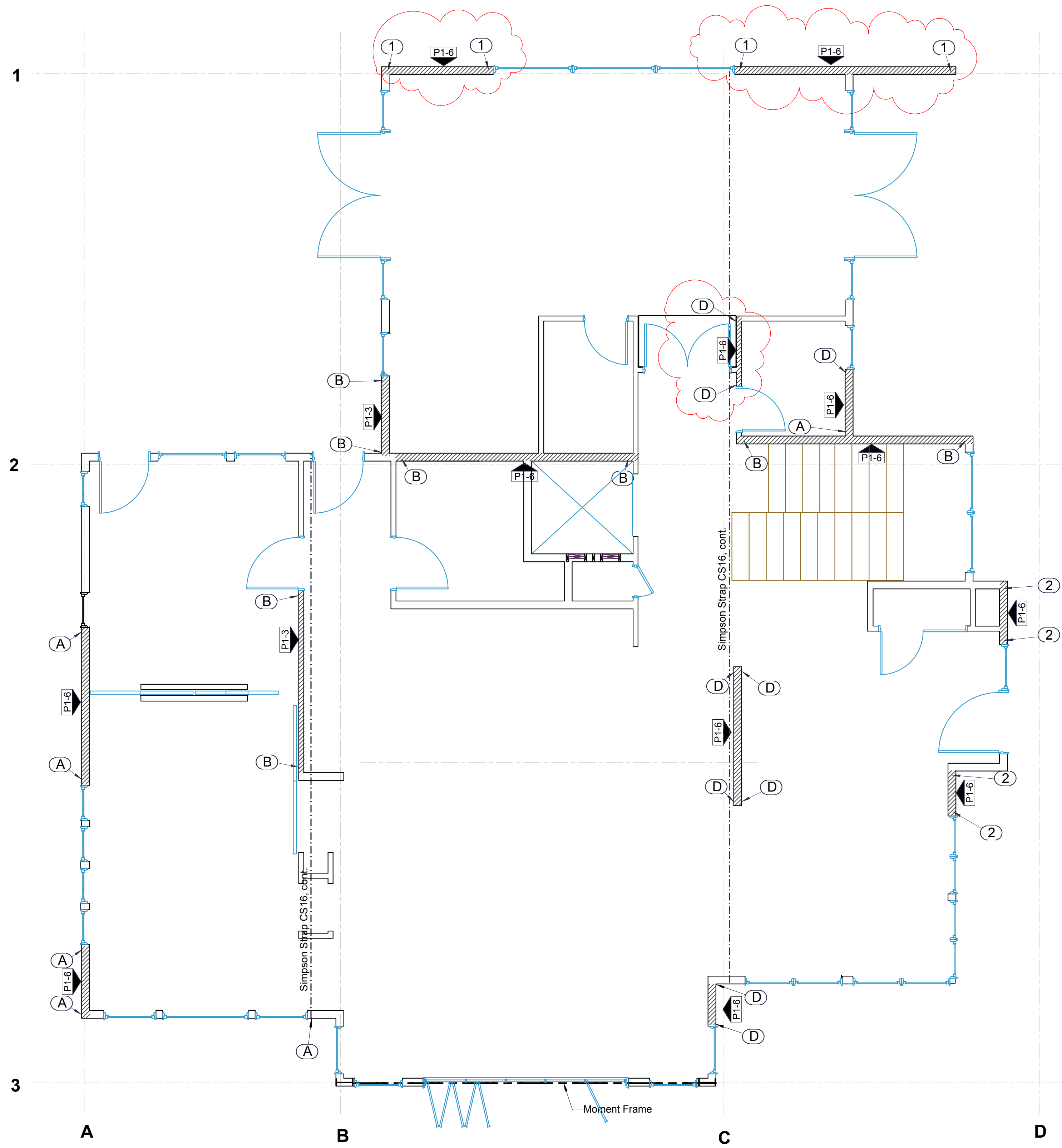


FIRST LEVEL SHEAR WALL PLAN SCALE: 1/4" = 1'-0" (1:48)



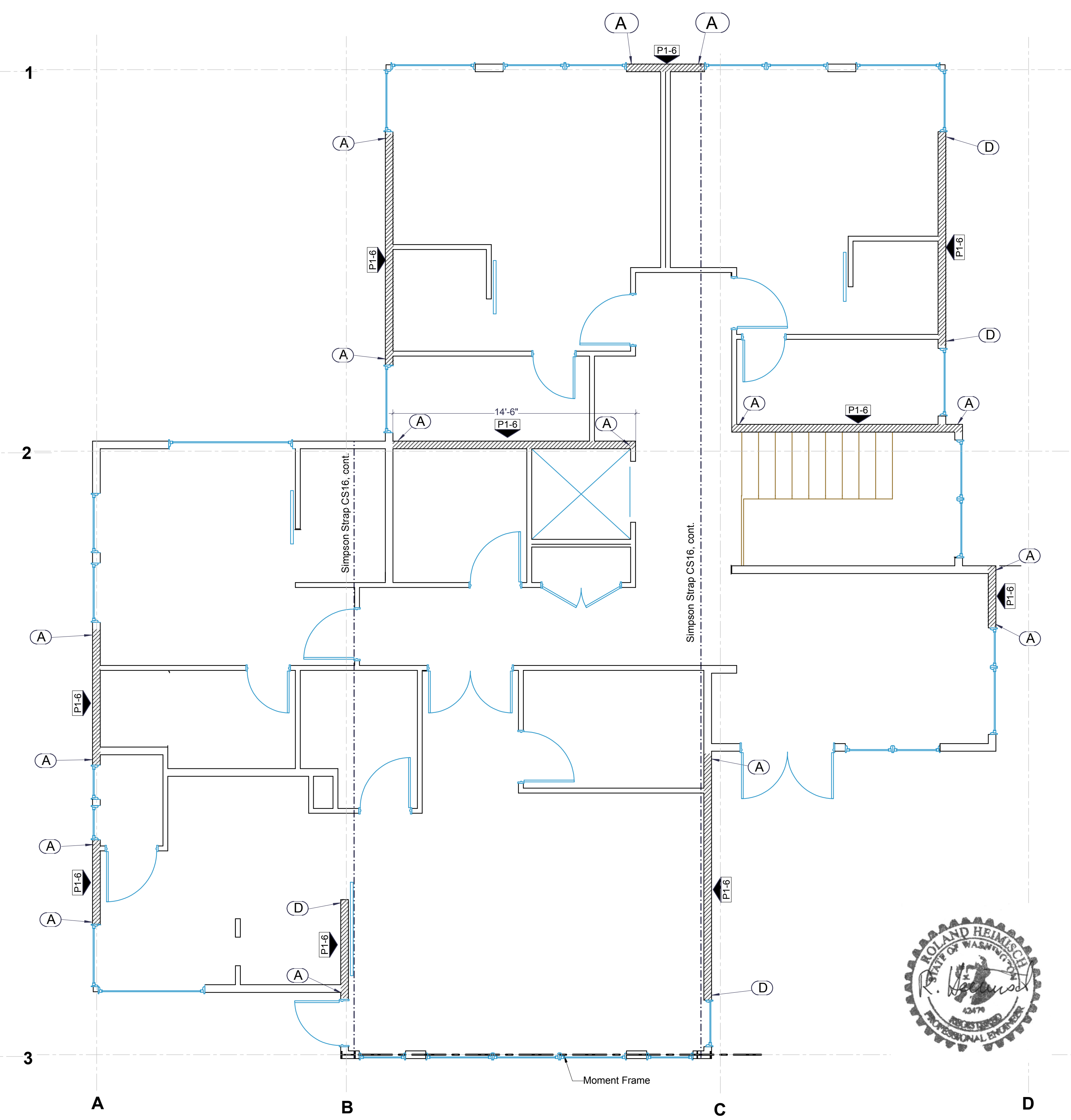
REVISION 06/18/17

| | | |
|--|----------------------------------|-----------|
| tecinstruct LLC 6830 NE Bothell Way - Suite C, PMB 181, Kenmore, WA 98028 Telephone (206) 553 9076 - Fax (206) 529 4408 ENGINEERING | | |
| BUILDER: | Barcelo Homes | SHEET |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | |
| PARCEL NO.: | WA 98040 | S8 |
| DESCRIPTION: | new SFR | |
| DATE: | 02/23/15 | |
| ENGINEER: | Roland Heimisch, P. E. | |



SECOND LEVEL SHEAR WALL PLAN

SCALE: 1/4" = 1'-0" (1:48)

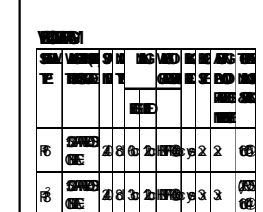


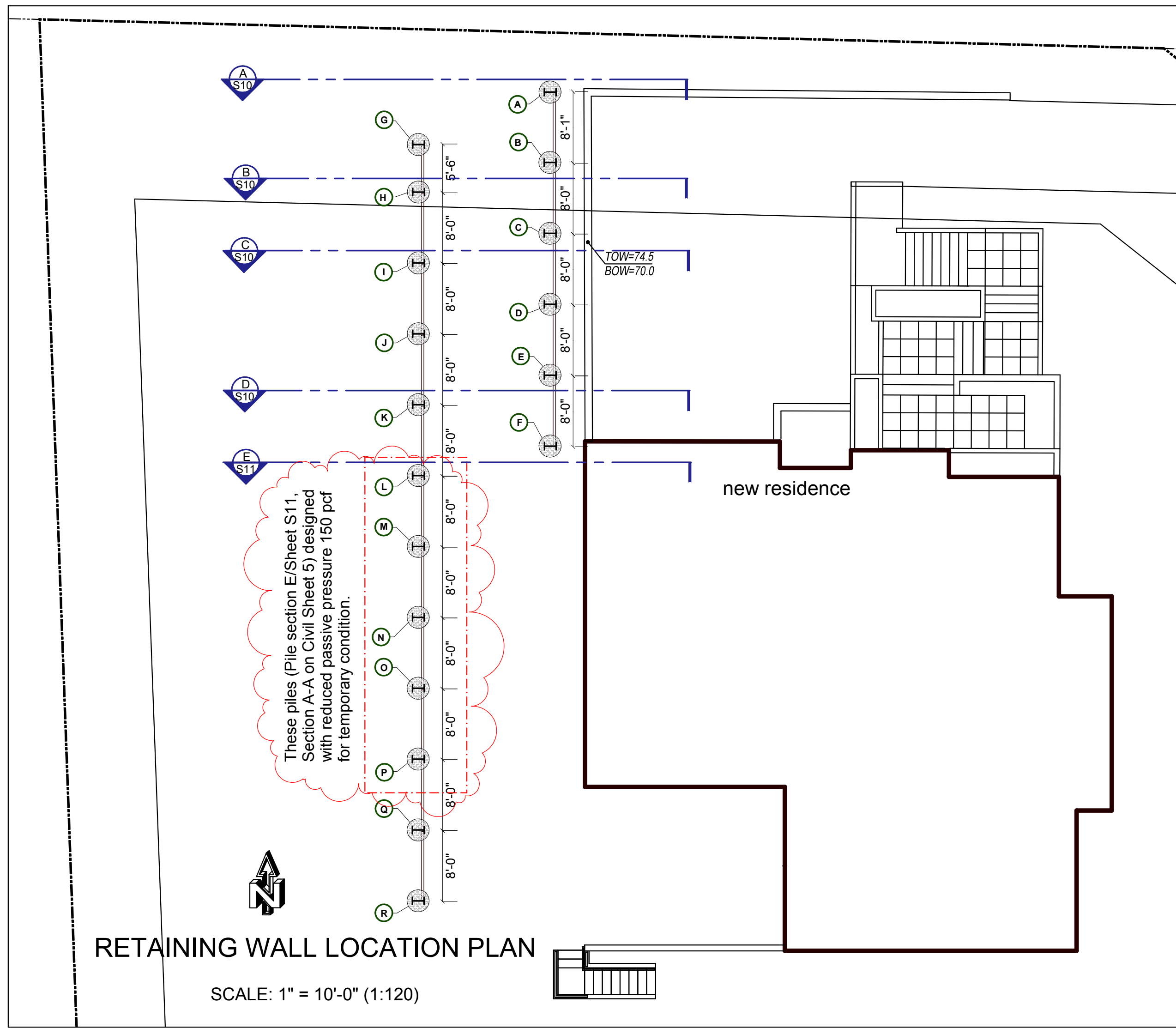
THIRD LEVEL SHEAR WALL PLAN

SCALE: 1/4" = 1'-0" (1:48)



REVISION 09/17/17

| | | | |
|--|----------------------------------|-----------------|----|
|  tec instruct LLC 6830 NE Bothell Way - Suite C, PMS 181, Kenmore, WA 98028 Telephone (206) 553 9076 - Fax (206) 529 4408 ENGINEERING | | | S9 |
| BUILDER: | Barcelo Homes | SHEET | |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | | |
| PARCEL NO.: | WA 98040 | | |
| DESCRIPTION: | new SFR | | |
| DATE: | 02/23/15 | SCALE: as noted | |
| ENGINEER: | Roland Heimisch, P. E. | | |

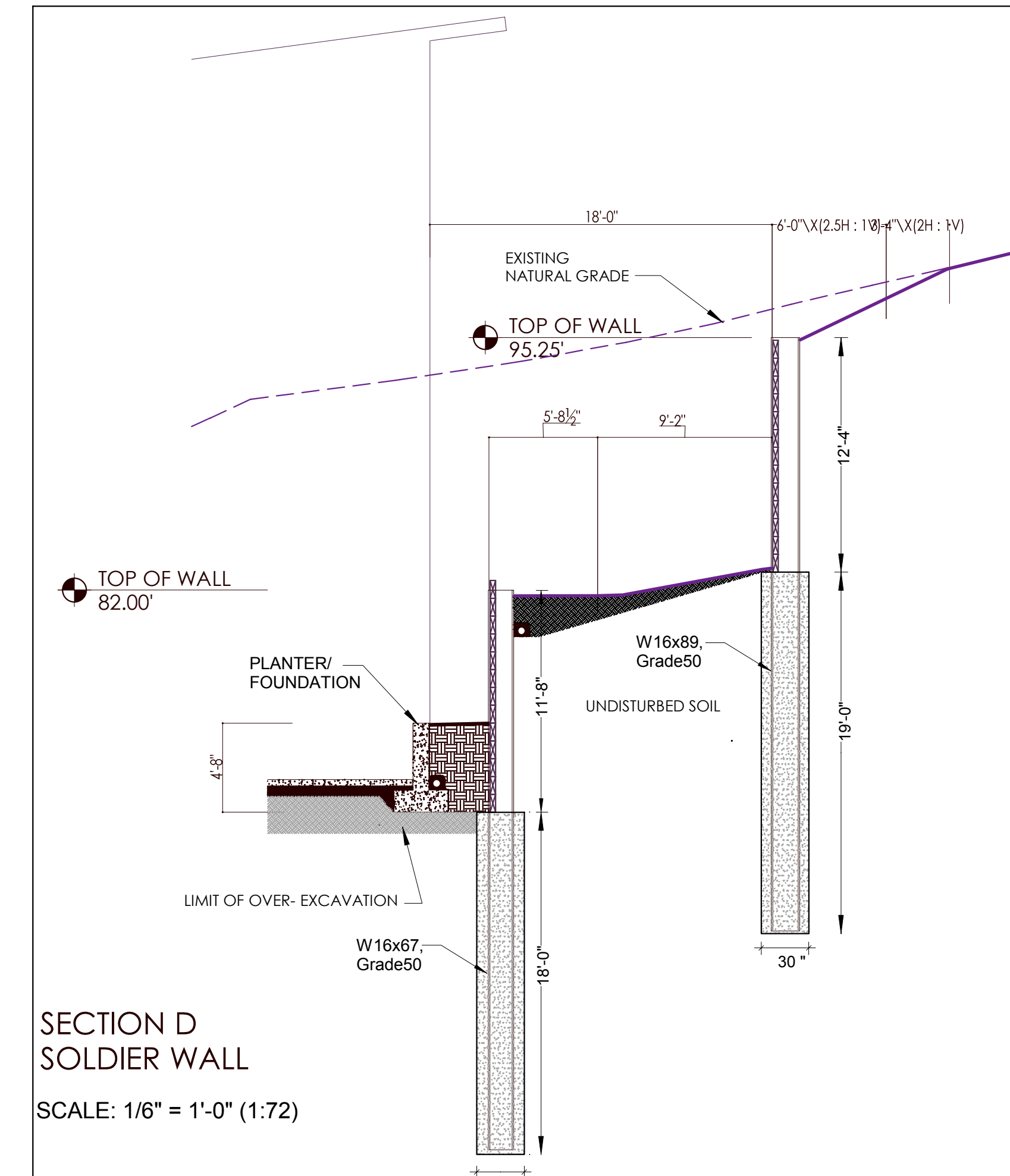


CONTRACTOR TO COORDINATE WITH ARCHITECT & STRUCTURAL ENGINEER ON ALL PENETRATIONS THROUGH RETAINING WALLS, PROVIDING SLEEVES WHERE SHOWN OR REQUIRED.

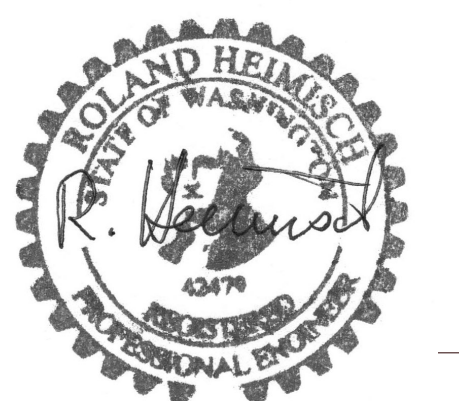
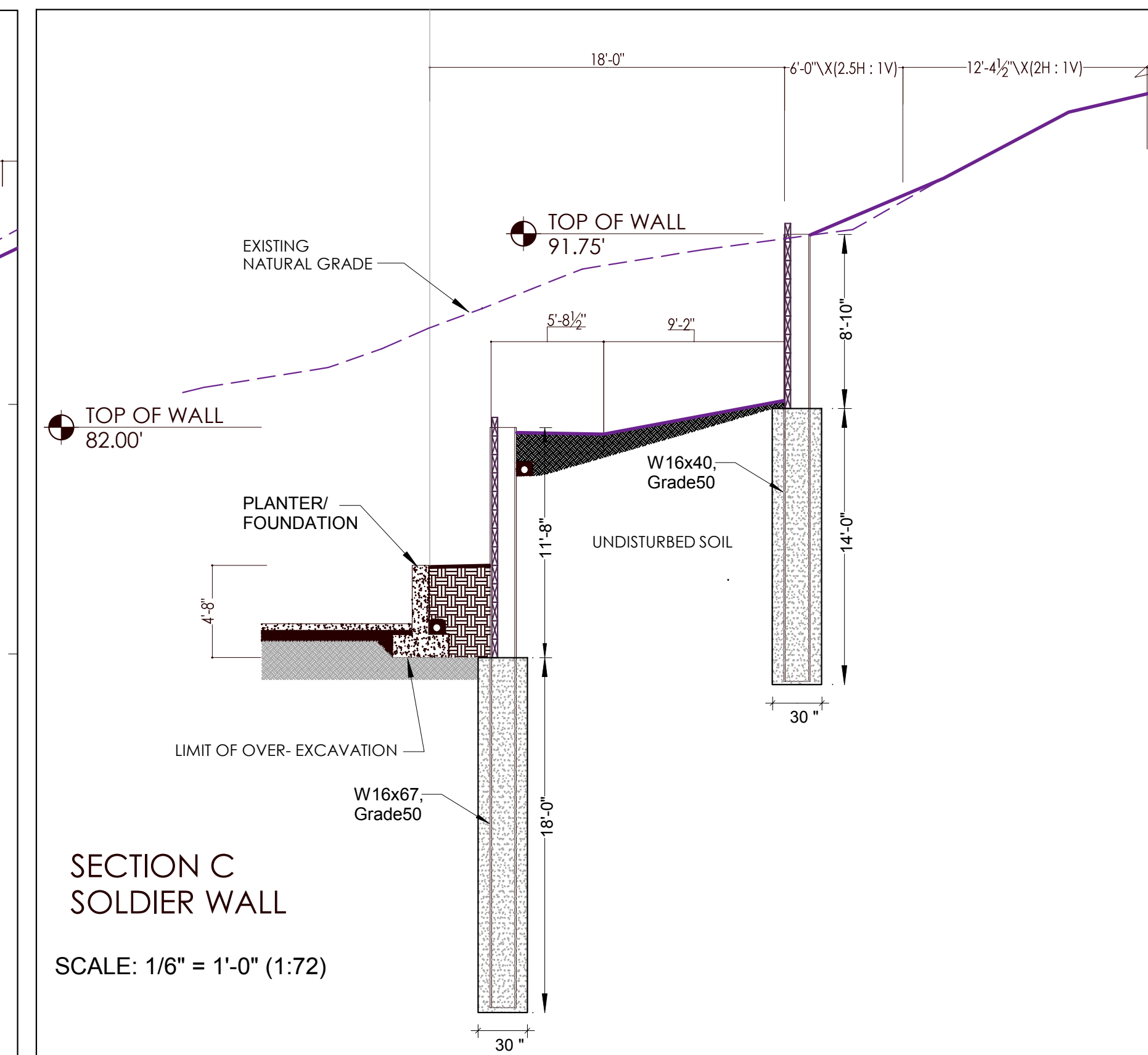
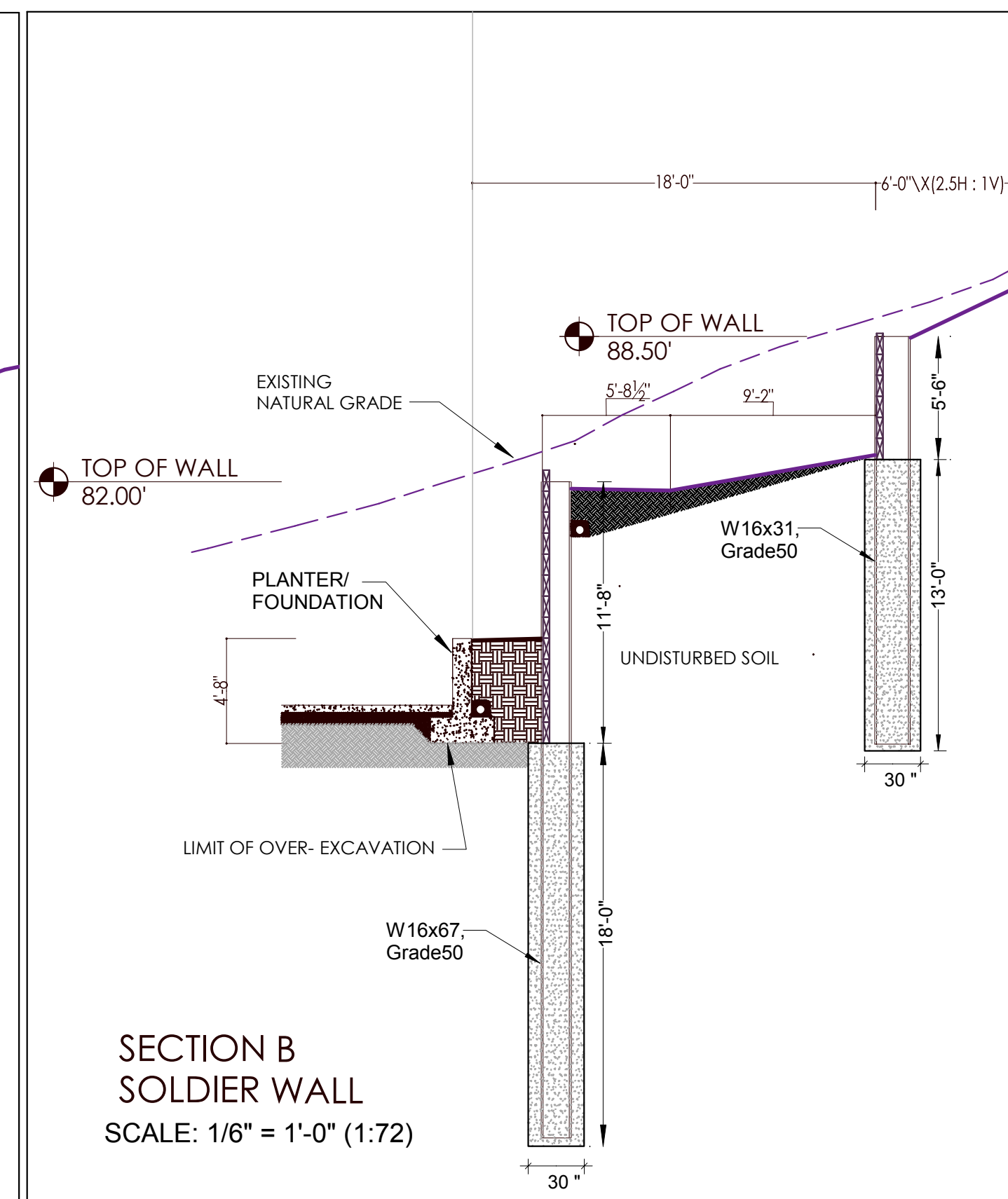
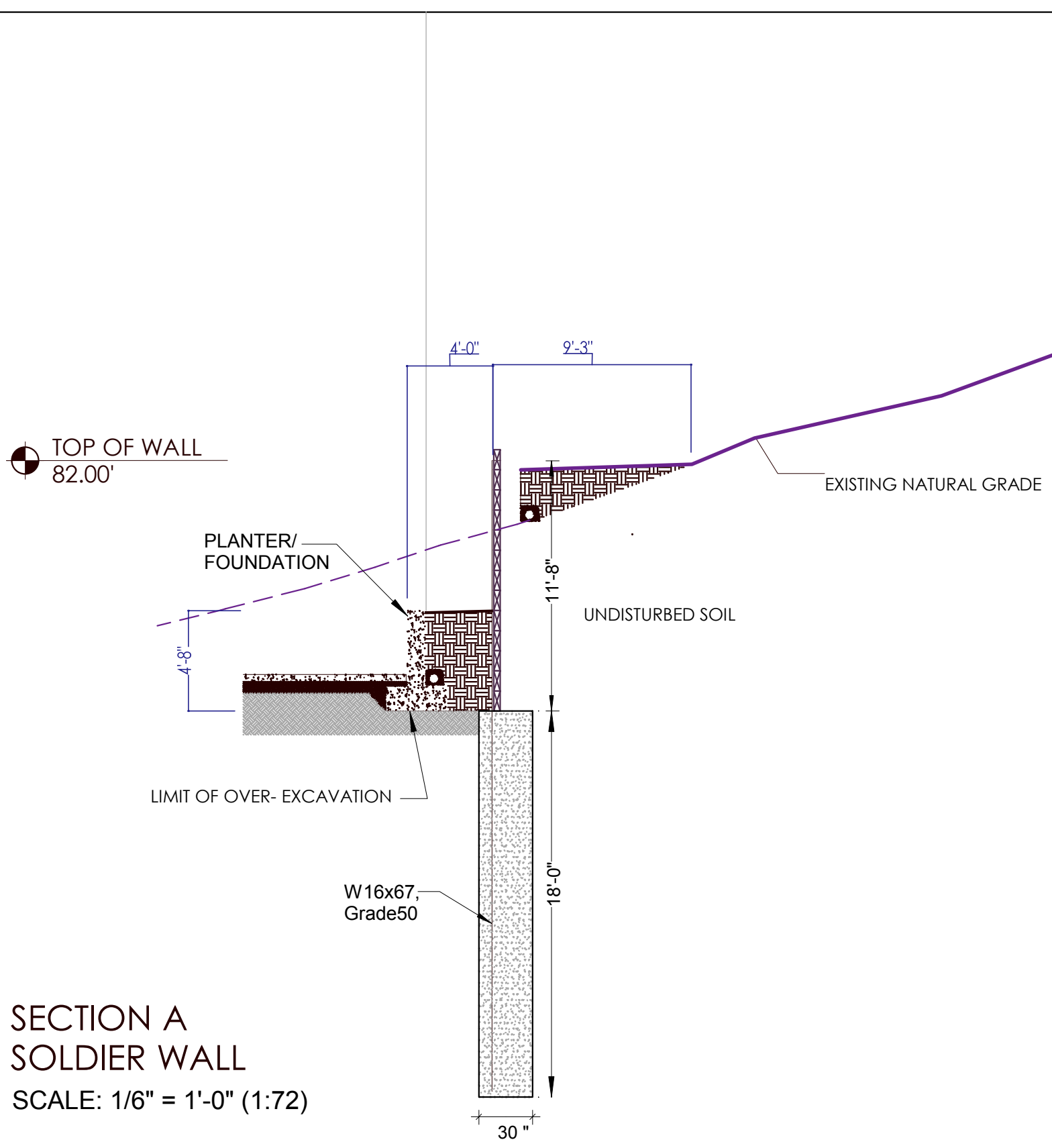
PILE/LAGGING TABLE

| | TOP OF PILE | TOP LAGGING (N) | BOTTOM LAGGING (N) | TOP LAGGING (S) | BOTTOM LAGGING (S) | MIN. PILE EMBEDMENT |
|---------------------------------------|-------------|-----------------|--------------------|-----------------|--------------------|---------------------|
| LOWER SOLIDER PILES, SPACING PER PLAN | | | | | | |
| A | 82.0 | N/A | N/A | 82.0 | 70.3 | 18ft |
| B | 82.0 | 82.0 | 70.3 | 82.0 | 70.3 | 18ft |
| C | 82.0 | 82.0 | 70.3 | 82.0 | 70.3 | 18ft |
| D | 82.0 | 82.0 | 70.3 | 82.0 | 70.3 | 18ft |
| E | 82.0 | 82.0 | 70.3 | 82.0 | 70.3 | 18ft |
| F | 82.0 | 82.0 | 70.3 | N/A | N/A | 18ft |
| UPPER SOLIDER PILES, SPACING PER PLAN | | | | | | |
| G | 86.0 | N/A | N/A | 86.0 | 83.0 | 13ft |
| H | 88.5 | 86.0 | 83.0 | 88.5 | 83.0 | 13ft |
| I | 91.75 | 88.5 | 83.0 | 91.75 | 83.0 | 14ft |
| J | 91.75 | 91.75 | 83.0 | 91.75 | 83.0 | 14ft |
| K | 95.3 | 91.75 | 83.0 | 95.3 | 83.0 | 19ft |
| L | 95.3 | 95.3 | 83.0 | 95.3 | 83.0 | 28ft |
| M | 95.3 | 95.3 | 83.0 | 95.3 | 83.0 | 28ft |
| N | 95.3 | 95.3 | 83.0 | 95.3 | 83.0 | 28ft |
| O | 95.3 | 95.3 | 83.0 | 95.3 | 83.0 | 28ft |
| P | 95.3 | 94.0 | 83.0 | 95.3 | 83.0 | 28ft |
| Q | 94.0 | 94.0 | 83.0 | 91.75 | 83.0 | 28ft |
| R | 91.75 | 91.75 | 83.0 | N/A | N/A | 28ft |

- ALL LAGGING TO BE PRESSURE TREATED.
- PILES SHALL BE COATED WITH CORROSION PROTECTION PAINT.
- USE CONCRETE $f_c = 2,500$ psi TO EMBED PILES



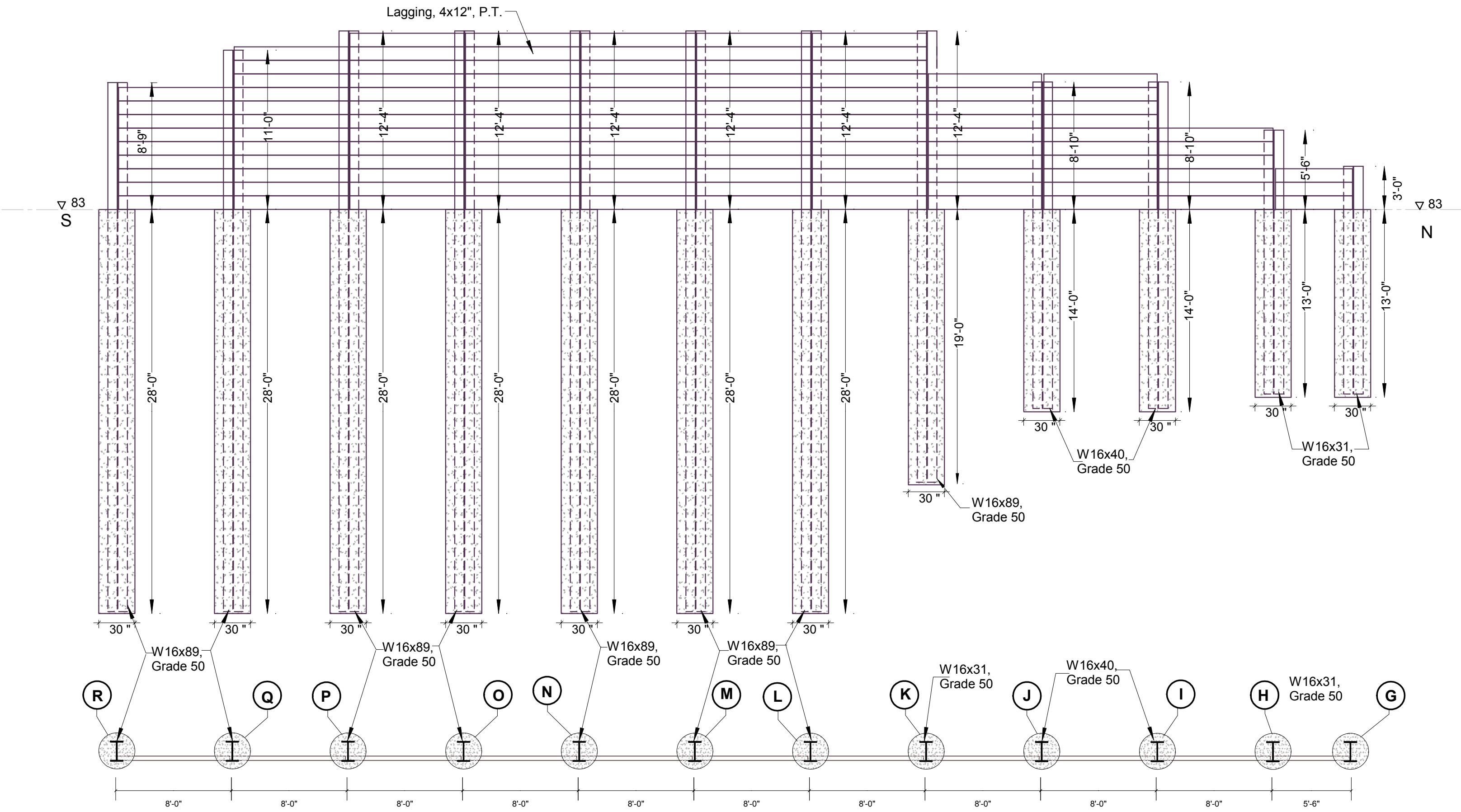
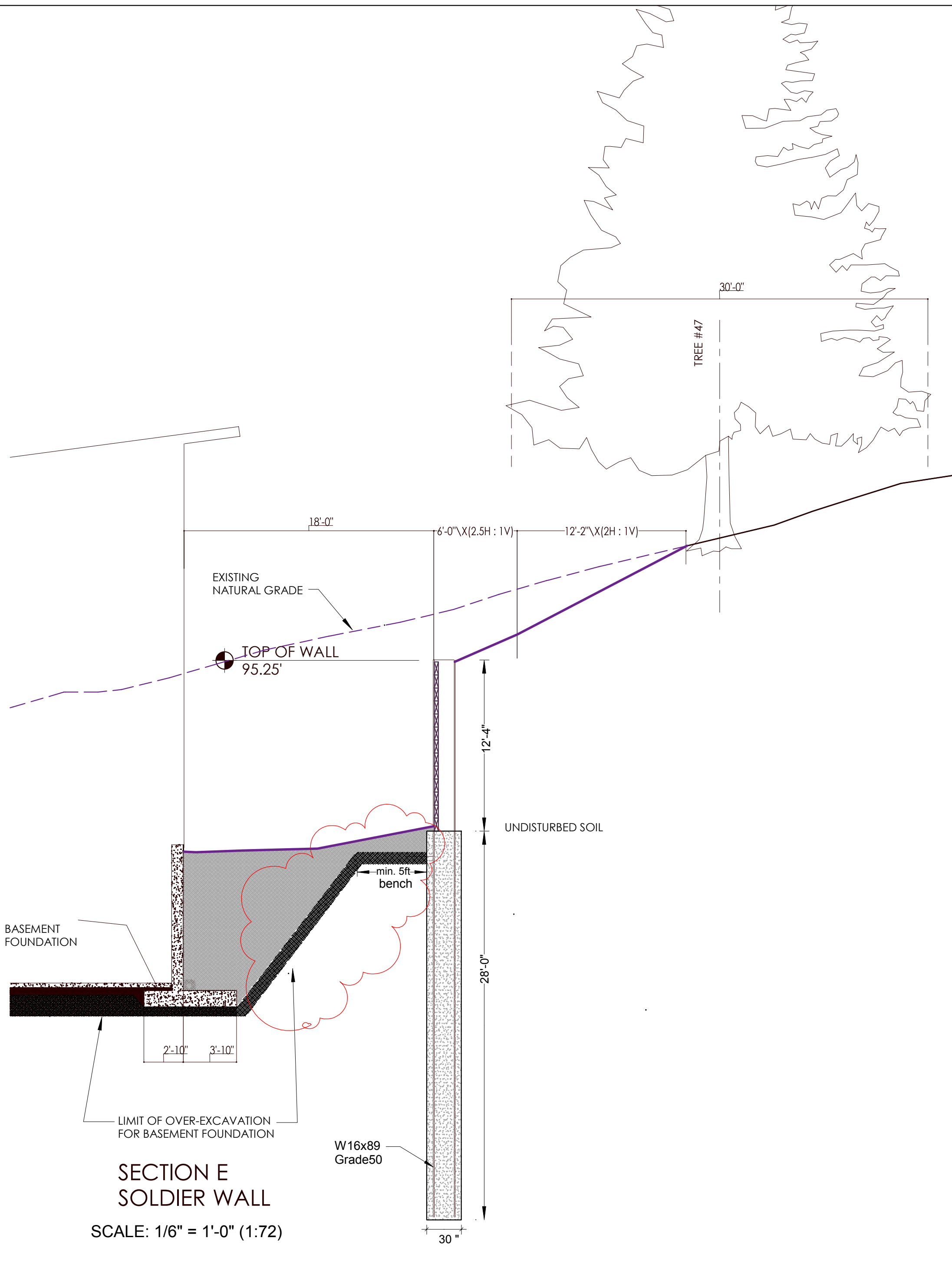
NOTE:
REFER TO GEOTECHNICAL REPORT ADDENDUM
EVALUATION OF SURCHARGE LOAD ON THE SOLDIER PILE WALL
PROPOSED SIGLE-FAMILY RESIDENCE
4634 E MERCER WAY, MERCER ISLAND, WA
FOR FURTHER INFORMATION.



REVISION 08/05/19

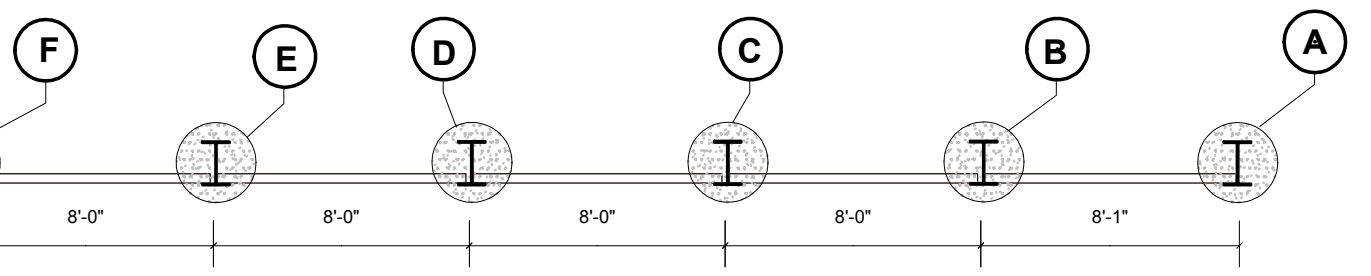
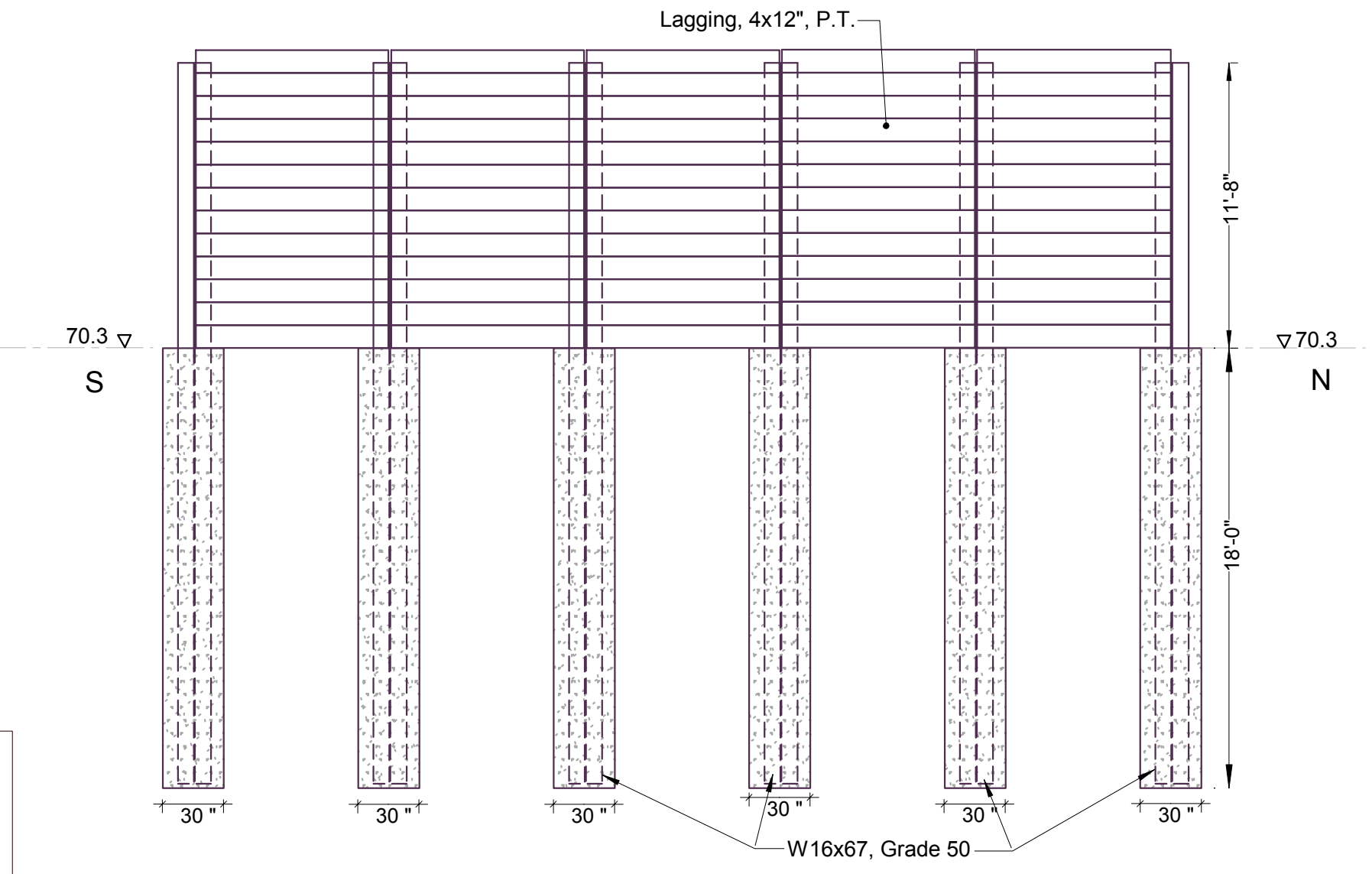
tec instruct LLC
6830 NE Bothell Way - Suite C, PMB 181, Kenmore, WA 98028
Telephone (206) 553 9076 - Fax (206) 529 4408
ENGINEERING

| | | |
|--------------|----------------------------------|-----------------|
| BUILDER: | Barcelo Homes | SHEET |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | S10 |
| PARCEL NO.: | WA 98040 | |
| DESCRIPTION: | Solider Pile Shoring | |
| DATE: | 03/11/15 | SCALE: as noted |
| ENGINEER: | Roland Heimisch, P. E. | |



UPPER LINE OF SOLDIER PILE SHORING
SCALE: 1/6" = 1'-0" (1:72)

| KEY NO. | STRUCTURAL MEMBERS |
|-------------------|---|
| FOUNDATION | |
| 4.9 | Lower soldier Pile Wall, all Sections, W16x67, Grade 50 |
| 4.10 | Upper Soldier Pile Wall, Section B, W16x31, Grade 50 |
| 4.11 | Upper Soldier Pile Wall, Section C, W16x40, Grade 50 |
| 4.12 | Upper Soldier Pile Wall, Section D, W16x89, Grade 50 |
| 4.13 | Soldier Pile Wall, Section E, W16x89, Grade 50 |



LOWER LINE OF SOLDIER PILE SHORING
SCALE: 1/6" = 1'-0" (1:72)

Shoring Construction Sequence

1. Grade and excavate to the top of the upper wall
2. Drill 2.5 ft dia. holes for upper wall to bottom of embedment and install steel piles
3. Dig soil in sections only deep enough to immediately install lagging
Install lagging following the excavation to the top level of the lower wall
4. Drill 2.5 ft dia. holes for lower wall to bottom of embedment and install steel piles
5. Dig soil in sections only deep enough to immediately install lagging
Install lagging following the excavation to the bottom level of the wall



REVISION 05/23/19

tec instruct LLC
6830 NE Bothell Way - Suite C, PMB 181, Kenmore, WA 98028
Telephone (206) 553 9076 - Fax (206) 529 4408
ENGINEERING

| | | | |
|--------------|----------------------------------|------------|-----------------|
| BUILDER: | Barcelo Homes | SHEET | |
| JOB SITE: | 4634 E Mercer Way, Mercer Island | S11 | |
| PARCEL NO.: | WA 98040 | | |
| DESCRIPTION: | Soldier Pile Shoring | | |
| DATE: | 03/11/15 | | SCALE: as noted |
| ENGINEER: | Roland Heimisch, P. E. | | |