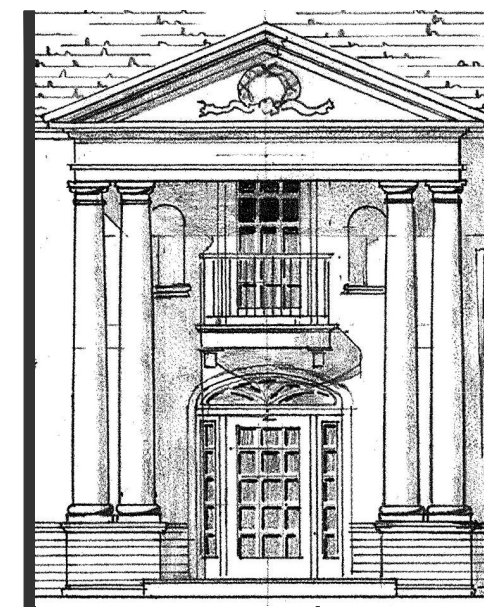


PEYREE REMODEL B

6059 77th Avenue S.E.
Mercer Island, WA 98040-5129



GENERAL NOTES

GENERAL:

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ALL CONSTRUCTION SHALL CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED BY THE STATE OF WASHINGTON AND BE IN ACCORDANCE WITH WASHINGTON STATE LAWS, REGULATIONS AND VARIOUS CODES IMPOSED BY LOCAL AUTHORITIES.

DO NOT SCALE DRAWINGS OR DETAILS - USE GIVEN DIMENSIONS. CHECK DETAILS FOR LOCATION OF ALL ITEMS NOT DIMENSIONED ON THE PLANS. DIMENSIONS ON THE PLANS ARE TO FRAMING OR CENTERLINE OF COLUMNS UNLESS NOTED OTHERWISE.

DOOR AND CASED OPENINGS WITHOUT DIMENSIONS ARE TO BE 4" FROM FACE OF ADJACENT WALL OR CENTERED BETWEEN WALLS, UNLESS NOTED OTHERWISE.

VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.

THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.

CONTRACTORS RESPONSIBILITY:

CONTRACTOR TO VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBER SIZES PRIOR TO CONSTRUCTION. CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS OR FROM THE CODES.

CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE OWNER / ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.

ALL STRUCTURAL SYSTEMS SUCH AS WOOD TRUSSES WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERRECTED SHALL BE SPECIFIED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

CONTRACTOR TO COORDINATE FRAMING LAYOUT WITH ELECTRICAL AND MECHANICAL PLANS.

SOILS:

UNLESS A SOILS REPORT BY A SOILS ENGINEER IS PROVIDED AND ATTACHED TO THIS OFFICE ASHES TO THE PHYSICAL CHARACTERISTICS OF THE SOIL FOUNDATION DESIGN IS BASED ON AN UNIFORM AVERAGE SOIL BEARING OF 2000 PSF. ALL FOOTINGS SHALL BE CAST ON UNDISTURBED FIRM NATURAL SOIL OR COMPACTED SOIL OF 1000 PSF BEARING CAPACITY AT LEAST 14" BELOW LOWEST ADJACENT GRADE FREE OF ORGANIC MATERIALS. FOOTING EXCAVATION SHALL BE FREE OF LOOSE SOILS, DEBRIS, AND FREE WATER AT ALL TIES. THIS OFFICE TAKES NO RESPONSIBILITY IN VERIFYING THE ACCURACY OF ENGINEERING DATA SUPPLIED BY OTHERS.

CLEARING AND GRADING (I.E.S.C. MEASURES)

ALL CLEARING AND GRADING MUST BE IN ACCORDANCE WITH LOCAL JURISDICTION CLEARING AND GRADING EROSION CONTROL STANDARDS, DEVELOPMENT STANDARDS, LAND USE CODE, INTERNATIONAL RESIDENTIAL CODE PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES AND STANDARDS. THE DESIGN ELEMENTS WITH THESE PLANS HAVE BEEN REVIEWED TO THESE REQUIREMENTS. ANY VARIANCE FROM THE ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION.

A COPY OF THE APPROVED PLANS MUST BE ON-SITE WHENEVER CONSTRUCTION IS IN PROGRESS. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.

ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE EFFECTED BY THE WORK.

FINAL SITE DRAINAGE MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM OF 6" WITHIN THE FIRST 10', PER IRC R403.3.

CRAWL SPACE:

UNDER-FLOOR AREAS SHALL BE VENTILATED BY AN APPROVED MECHANICAL MEANS OR BY OPENINGS IN EXTERIOR WALLS. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER-FLOOR AREA. ONE OPENING SHALL BE WITHIN 1' OF EACH CORNER WHENEVER POSSIBLE. THE REQUIRED AREA OF EACH OPENING SHALL BE APPROXIMATELY EQUALLY DISTRIBUTED ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES. IRC R408.2.

CRAIL SPACE UNOBTAINED ACCESS: MINIMUM 18" x 24". IRC R408.4.

PROVIDE 18" MINIMUM CRAWL SPACE UNDER WOOD JOIST AND 12" MINIMUM CRAWL SPACE UNDER WOOD GIRDERS. IRC R501.1.

A GROUND COVER VAPOR BARRIER OF 15 MIL (0.0006") POLYETHYLENE (OR EQUIVALENT) SHALL BE INSTALLED IN ALL CRAWL SPACES. JOINTS LAPPED 12" EXTEND UP FOUNDATION WALL AND SECURE TO BILL PLATE WHENEVER PRACTICAL. USBC 903.6.1.

ALL WOOD IN CONTACT WITH CONCRETE, CMU OR WITHIN 8" OF SOILS SHALL BE PRESURE TREATED WOOD IN COMPLIANCE WITH IRC R301.1.

GARAGES:

DOORS BETWEEN GARAGE AND DWELLING SHALL BE SOLID WOOD DOORS 1 3/8" THICK OR MORE PER IRC R302.3.1. THERE SHALL BE NO OPENINGS BETWEEN GARAGE AND ROOMS USED FOR SLEEPING PURPOSES.

SEPARATION FROM DWELLING TO GARAGE, SHOP OR SIMILAR AREAS SHALL BE SEPARATED FROM RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT. IRC R302.6.

HEATING AND/OR COOLING EQUIPMENT LOCATED IN GARAGE SHALL BE INSTALLED WITH PLOTS AND BURNERS OR HEATING ELEMENTS AND SWITCHES AT LEAST 6" ABOVE THE FLOOR LEVEL. PER IRC G240.2.

FIREPLACES

FACORY-BUILT FIREPLACES AND CHIMNEYS SHALL BE LISTED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. IRC R302.4 AND TESTED IN ACCORDANCE WITH UL 17.

MASONRY FIREPLACES, BARBEQUES, SMOKE CHIMBERS AND FIREPLACE CHIMNEYS SHALL BE CONSTRUCTED OF MASONRY OR REINFORCED CONCRETE. FOUNDATIONS SHALL BE 12" THICK AND EXTEND 12" BELOW FINISHED GRADE. FIREBOX WALLS 12" THICK EXCEPT 18" THICK WHERE A FIREBLOCK LINING IS USED. COMBUSTIBLE MATERIAL SHALL NOT BE PLACED WITHIN 2 INCHES OF FIREBOX SMOKE CHIMNEY OR CHIMNEY WALLS. COMBUSTIBLE MATERIAL SHALL NOT BE PLACED WITHIN 6" OF THE FIREPLACE OPENING. 1/2" THICK NON-COMBUSTIBLE HEARTH EXTENDING 18" IN FRONT AND 18" TO THE SIDE OF THE FIREPLACE OPENING. COMBUSTIBLE MATERIAL WITHIN 12" OF THE FIREPLACE OPENING SHALL NOT PROJECT MORE THAN 18" FOR EACH 1' DISTANCE FROM SUCH OPENING. IRC R302.5-302.6.

CEILING HEIGHTS

HABITABLE SPACE SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0". NOT MORE THAN 50% OF REQUIRED FLOOR AREA OF A SPACE IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN 7'-0" IN HEIGHT WITH NO PORTION LOWER THAN 5'-0". BATHROOM SHALL HAVE A MIN CEILING HEIGHT OF 6'-8" OVER THE FIXTURE AND ITS FRONT CLEARANCE AREA. IRC R505.

ROOFING:

APPLY ROOFING IN ACCORDANCE WITH IRC R505.

BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, OCCUPIED ROOFS AND SIMILAR SURFACES EXPOSED TO THE WEATHER AND SEALED UNDERNEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF 1/4" PER 1" (2% SLOPE) FOR DRAINAGE.



ATTIC:

PROVIDE ATTIC VENTILATION AS INDICATED ON ROOF FRAMING PLANS. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/800 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE MEASURED VERTICALLY. WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED. IRC R806.2.

ATTIC ACCESS MINIMUM 22" x 30" WITH MINIMUM 30" HEADROOM, UNOBTAINED, READY ACCESSIBLE OPENING. IRC R301.1.

GLAZING:

TO BE IN COMPLIANCE WITH IRC R505 AND WASHINGTON STATE SAFETY GLASS LAW.

GLAZING IN HAZARDOUS LOCATIONS SUCH AS GLAZING ON DOORS, GLAZING WITHIN 24" ON EITHER SIDE OF A DOOR OPENING, AREAS WITHIN 60" VERTICAL AND 36" HORIZONTAL OF THE BOTTOM LANDING OF A STAIRWAY, STAIR DOORS, RAILINGS, SHOWER DOORS, SLIDING GLASS DOORS, AND TUB ENCLOSURES SHALL BE SAFETY GLAZING MATERIAL. IRC R508.4.

ALL EXTERIOR WALL GLAZING SHALL COMPLY WITH THE 2018 EDITION OF THE WASHINGTON STATE ENERGY CODE.

EGRESS:

EGRESS IN EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY EXIT WITH A MINIMUM NET CLEAR OPENING OF 5 1/2 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" MINIMUM NET CLEAR OPENING WIDTH DIMENSION OF 30" AND A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. IRC R302.1.

ONE EXIT DOOR CONFORMING TO IRC R302.2 IS REQUIRED.

FIRE PROTECTION:

SMOKE DETECTOR POWER SOURCES TO BE INSTALLED IN ACCORDANCE WITH NFPA 72 / IRC R314. ALL ALARM DEVICES SHALL BE INTERCONNECTED PER IRC R314.

FIREBLOCKING PER IRC R402.8. DRAFTSTOPPING PER IRC R502.2.

VENTILATION & LIGHTING:

IN HABITABLE ROOMS NOT PROVIDED WITH AN OPENABLE EXTERIOR OPENING OF AT LEAST 45 OF THE FLOOR AREA, A MECHANICAL VENTILATION SYSTEM MUST BE PROVIDED THAT PROVIDES 15-35 AIR CHANGES PER HOUR. IRC R503.1.

WHOLE HOUSE VENTILATION METHOD, INTERMITTENT SINGLE HOUSE VENTILATION USING EXHAUST FANS, 4 FRESH AIR INLETS (PER IRC M201.3.4) & SYSTEM COMPONENTS TO COMPLY WITH IRC M201.4.

DRYER & BATH FANS TO BE 50 CFM, AND RANGE/OVEN FANS TO BE 100 CFM MIN. VENT TO THE OUTSIDE. IRC505 AND 2018 WA STATE VENTILATION AND INDOOR AIR QUALITY CODE.

NATURAL LIGHTING TO BE NOT LESS THAN 8% OF THE FLOOR AREA OR ALL HABITABLE SPACES. IRC R303.

STAIRS:

MINIMUM HEADROOM OF 6'-8" MEASURED VERTICALLY FROM A SLOPED PLANE ADJOINING THE TREAD NOINGS OR FROM THE FLOOR SURFACE OR PLATFORM. IRC R301.2 MINIMUM 18" (IRC 301.1).

MINIMUM TREAD 10", MAXIMUM RISE 7 1/4", HANDRAIL MINIMUM 34" AND MAXIMUM 38" ABOVE FINISHING HANDRAIL TO BE 114" TO " CROSS SECTION AND 1" AWAY FROM WALL. IRC R301.4 & 301.1. INSTALL FIRE BLOCKING AT MID STRINGER SPAN AND AT WALL ALONG STRINGER. COVER WALLS AND SOFFITS OF USABLE SPACE UNDER STAIR WITH 1/2" GYPSUM BOARD. IRC R402.3.

GUARDRAILS: ANY WALKING SURFACE 30" OR MORE ABOVE GRADE OR ADJACENT SURFACE SHALL HAVE MIN 36" HIGH GUARDRAIL. IRC R302.

BATHROOMS:

ALL TUB AND SHOWER STALLS SHALL HAVE FIREBLOCKING BETWEEN STALLS.

ALL GLAZING USED FOR DOORS OR ENCLOSURES IN BATHROOMS SHALL BE SAFETY GLAZING. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLONG A SHOWER OR BATH TUB WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET SHALL BE SAFETY GLAZING. IRC R508.4. BATH TUB & SHOWER STALL NON-ABSORBENT WAINSCOTTING SHALL BE A MINIMUM OF 2 INCHES ABOVE THE FLOOR. IRC R501.2.

WATERCLOSETS SHALL HAVE MIN 18" TO SIDE WALLS FROM CENTER OF FIXTURE, AND MIN 21" FRONT CLEARANCE. IRC R301.1.

APPLIANCES IN A FIXED POSITION SHALL BE SECURELY FASTENED IN PLACE TO STRUCTURAL MEMBERS WITH STRAP ANCHORS OR SIMILAR ANCHORING METHOD. IRC G240.4.

ENERGY:

METHOD OF COMPLIANCE - PRESCRIPTIVE METHOD FOR GROUP R OCCUPANCY, CLIMATE ZONE I, TABLE 6-1, OPTION III, UNLIMITED GLAZING.

ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE AND THE WASHINGTON STATE ENERGY CODE, LATEST EDITION, VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.

WALLS: INSULATED PER TABLE 6-1, OPTION III.

ROOF AND CEILING: INSULATED PER TABLE 6-1, OPTION III. PROVIDE INSULATION IN CEILING WHERE POSSIBLE AND IN 2x4 RAFTERS IF VAULTED CEILING CONDITION EXISTS. MAINTAIN A MINIMUM OF 2" CLEAR BETWEEN TOP OF INSULATION AND BOTTOM OF SHEATHING FOR VENTING. VENTING MUST OCCUR IN EACH JOIST SPACE, WHERE CONTINUOUS VENTING WITHIN A JOIST SPACE IS INTERRUPTED BY A HEADER (I.E. SKYLIGHT OR AT HP END), PROVIDE (2) 1 1/2" VENTING HOLES AT THE TOP OF THE RAFTER AT THE HEADER TO ALLOW FOR CONTINUAL THROUGH-VENTING INTO THE NEXT JOIST SPACE.

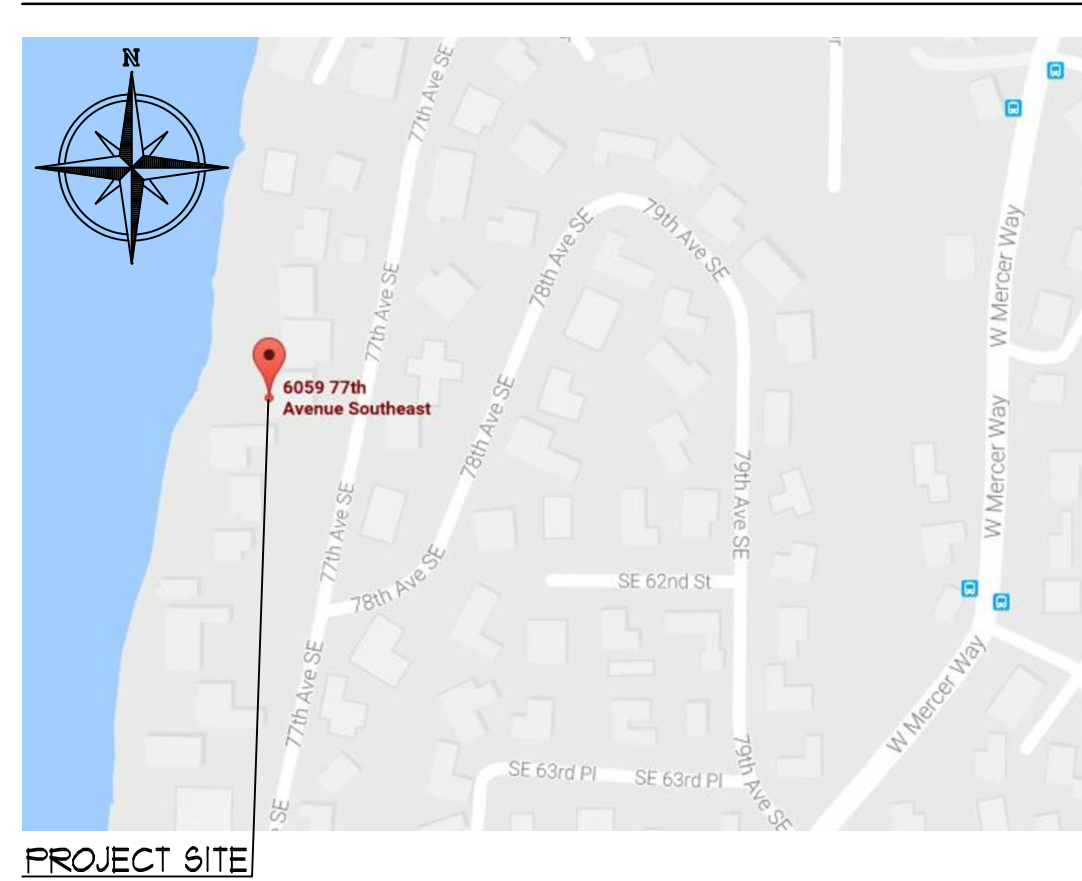
FLOORS: INSULATE PER TABLE 6-1, OPTION III.

SLAB ON GRADE: INSULATE PER TABLE 6-1, OPTION III. PROVIDE EXTRUDED RIGID CLOSED CELL INSULATION. INSULATION INSTALLED INSIDE THE FOUNDATION WALL, SHALL EXTEND DOWNWARD FROM THE TOP OF THE SLAB 24" MIN OR DOWNWARD AND THEN HORIZONTALLY BENEATH THE SLAB FOR A COMBINED 24" MIN. INSULATION INSTALLED OUTSIDE THE FOUNDATION SHALL EXTEND DOWNWARD 24" MIN OR TO THE PROXIMATE. USBC 903.6.2.

VAPOR BARRIERS: VAPOR RETARDERS SHALL BE INSTALLED ON THE WARM SIDE (IN UNTERS) OF INSULATION. FLOORS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE SHALL HAVE MIN 4 MIL POLYETHYLENE OR FASAT FACED MATERIAL. ROOF/CEILING ASSEMBLIES WHERE THE VENTILATION SPACE ABOVE THE INSULATION IS LESS THAN 12 INCHES SHALL BE PROVIDED WITH A VAPOR RETARDER. WALLS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE SHALL HAVE A VAPOR RETARDER INSTALLED. FACED BATT INSULATION SHALL BE FACE STAPLED. A GROUND COVER OF 15 MIL BLACK POLYETHYLENE SHALL BE LAID OVER THE GROUND WITHIN CRAWL SPACES W/ JOINTS LAPPED MIN. 12". USBC 903.6.1.

GLAZING AND DOORS: GLAZING AND DOOR U-FACTORS SHALL BE DETERMINED IN ACCORDANCE WITH USBC SECTIONS 903.6.1 AND 903.6.2.

VICINITY PLAN



CONSULTANTS

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ABBREVIATIONS

IND	UNLESS NOTED OTHERWISE
NC	NOT IN CONTRACT
UC	WATER CLOSET
EXST	EXISTING
RF	ROOM
NTS	NOT TO SCALE
UD	WOOD
FF+FB	COLD WATER FROST-PROOF HOSE BIBS
HW+FB	HOT WATER FROST-PROOF HOSE BIBS
FRIC	FURNISHED BY OWNER - INSTALLED BY CONTRACTOR
SR	SINGLE FAMILY RESIDENCE

PROJECT ADDRESS

6059 77th Avenue SE
MERCER ISLAND, WA 98040-5129

ZONING CLASSIFICATION

CITY OF MERCER ISLAND: R-2

IMPERVIOUS SURFACE COVERAGE

TOTAL LOT AREA = 21200 SF
ALLOWABLE = 21200 x .35 (35%) = 7420 SF
EXISTING + PROPOSED TOTAL = 4750 + 3221 = 1397 SF OK

HEIGHT CALCULATIONS

ABE = 53.86
MAX ALLOWABLE HEIGHT = 53.86' + 30' = 83.86'
PROPOSED BUILDING HEIGHT = 82.5' OK

SQ. FT. CALCULATION

PROPOSED FINISHED AREAS		PROPOSED GARG & UNCONDITIONED STORAGE AREAS		PROPOSED COVERED DECK/PATIO	
LOWER FLOOR	1492 SF	LOWER FLOOR	154 SF	LOWER FLOOR	838 SF
MAIN FLOOR	3285 SF	MAIN FLOOR	523 SF	MAIN FLOOR	384 SF
UPPER FLOOR	3394 SF	UPPER FLOOR	0 SF	UPPER FLOOR	632 SF
TOTAL	8175 SF	TOTAL	677 SF	TOTAL	1854 SF

DECK/PATIO	
LOWER FLOOR	100 SF
MAIN FLOOR	0 SF
UPPER FLOOR	152 SF
TOTAL	252 SF

LEGAL DESCRIPTION

THE NORTH 18 FEET OF THE SOUTH 180 FEET OF THAT PORTION OF GOVERNMENT LOT 1 OF SECTION 14, TOWNSHIP 14 NORTH, RANGE 4 EAST, W/ LYING WEST OF A STRAIGHT LINE RUNNING FROM A POINT ON THE SOUTH LINE OF SAID GOVERNMENT LOT 4, WHICH POINT OF 61324 FEET WEST OF THE NORTHEAST CORNER OF SAID LOT, (ALSO KNOWN AS LOT 10 OF LAKE VIEW HIGHLANDS WATERFRONT TRACTS UNRECORDED) TOGETHER WITH SECOND CLASS SHORELANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN FRONT OF ADJACENT TO, OR ABUTTING THEREON, SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

ASSESSOR'S PARCEL NO. 409110-0025

BUILDING CLASSIFICATION

USE GROUP (IBC CHAPTER 5): R-3 (SINGLE FAM. RESIDENTIAL)
CONSTRUCTION TYPE (IBC 602.5): TYPE V
ALLOWABLE AREA (IBC TABLE 503): UNLIMITED
ALLOWABLE HEIGHT (IBC TABLE 503): 3 STORIES W/ BASEMENT, OR 4 STORIES IF SPRINKLED
SPRINKLERS (IBC 903.3.1): NFPA 13D SYSTEM PROVIDED
FIRE FLOW (IBC TABLE 4-11.1-1): YES - SPRINKLERS REQ'D
IF PROVIDED, INSTALL PER IBC903.508

ENERGY COMPLIANCE

WASHINGTON STATE ENERGY CODE: 2018 EDITION, PRESCRIPTIVE METHOD FOR SINGLE-FAMILY RESIDENTIAL, CLIMATE ZONE I, TABLE 6-1, OPTION III, UNLIMITED GLAZING.

GLAZING U-FACTOR	DOOR U-FACTOR	CEILING U-FACTOR	VAULTED WALL ABOVE GRADE	WALL-INT WALL-EXT BELOW GRADE	FLOOR ON GRADE
0.30	0.30	R-49 OR R-38 ADV	R-38	R-21 TB	R-10

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A01	COVER SHEET	A22-DG	DG - EXTERIOR DETAILS
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A10	SITE DEMOLITION		
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A20	DEPT LOWER FLOOR PLAN		
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A31	PROPOSED EXTERIOR ELEVATIONS		
A32	PROPOSED EXTERIOR ELEVATIONS		
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812 STRUCTURAL SCHEDULES & DETAILS
820 STRUCTURAL FOUNDATION/BASEMENT PLAN
831 STRUCTURAL MAIN FLOOR FRAMING PLAN
832 STRUCTURAL UPPER FLOOR FRAMING PLAN
833 STRUCTURAL ROOF FRAMING PLAN
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843 SHORING WALL - GENERAL NOTES, SECTIONS & DETAILS
844 SHORING WALL - PLAN & ELEVATION

LANDSCAPE

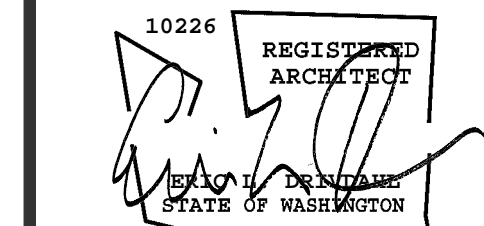
L02 LAYOUT, MATERIALS, GRADING & UTILITIES PLAN
L03 SCHEMATIC PLANTING PLAN

CIVIL

C10 DRAINAGE PLAN
C20 TEG PLAN

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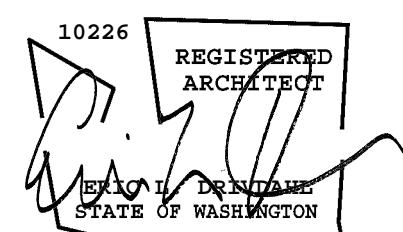
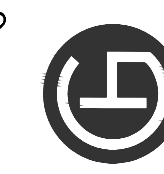
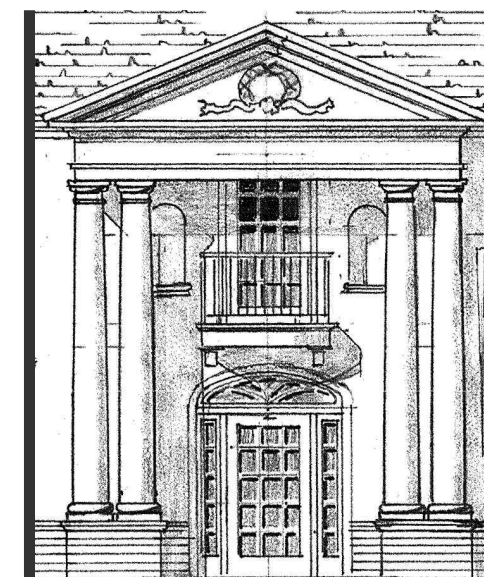


NO.	DATE	REVISION
1	07/31/2020	OWNER REV. #1
2	05/14/20	CONST. SET. #1
3	08/26/19	REVISION 4
4	05/24/19	REVISION 3
5	03/02/19	REVISION 2
6	10/30/18	REVISION 1
7	07/18/17	PERMIT SET

DATE: 07/31/2020
JOB NUMBER: 1625
PK: DKS
FILE: A0.1.DWG

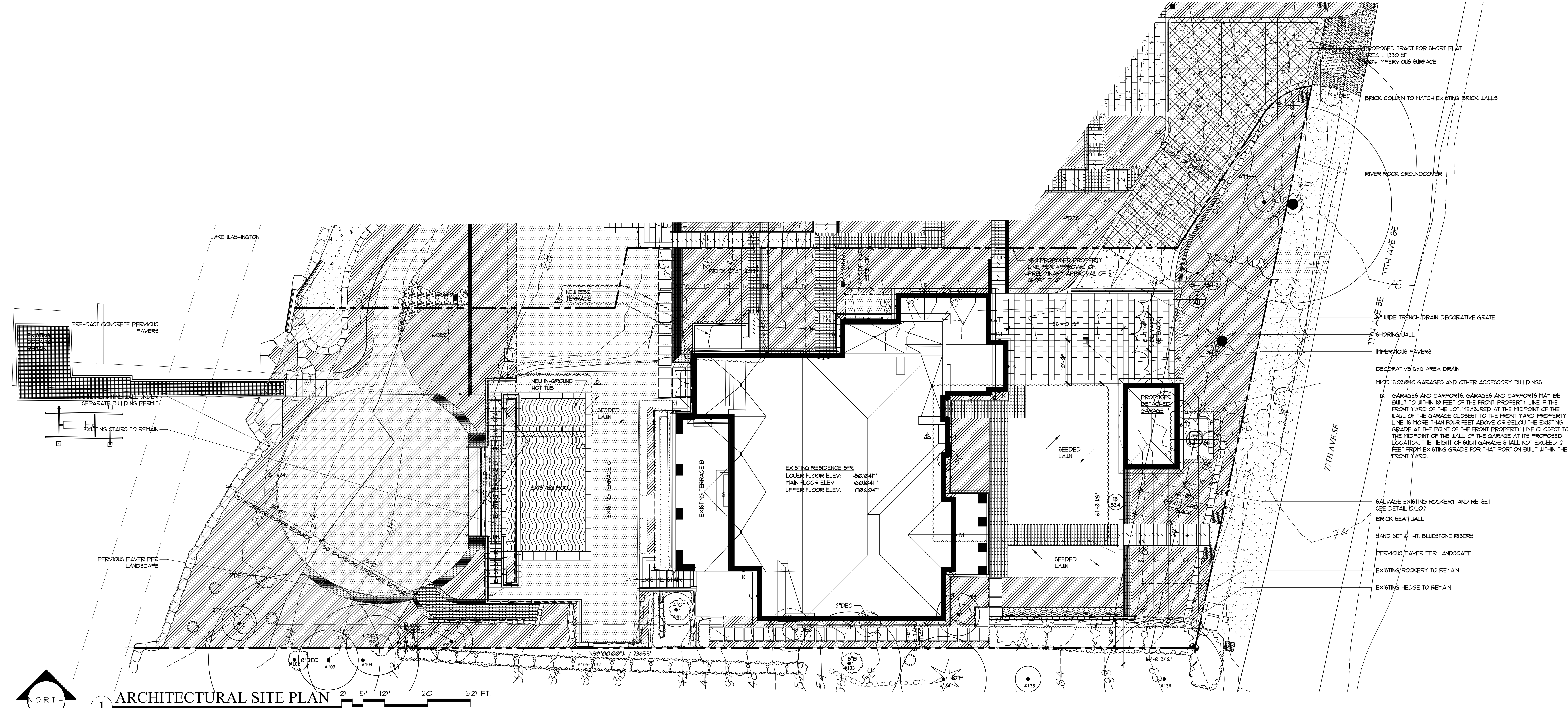
COVERSHEET

A0.1



NO.	DATE	REVISION
07/31/20	OWNER REV. #1	
05/14/20	CONST. SET. #1	
06/26/19	REVISION 4	
05/24/19	REVISION 3	
03/02/19	REVISION 2	
10/30/18	REVISION 1	
07/18/17	PERMIT SET	

DATE: 07/31/2020
JOB NUMBER: 1625
PM: DKS
FILE: xSITE.dwg



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"

PROJECT ADDRESS

6059 77th Ave SE
Mercer Island, WA 98040

ZONING CLASSIFICATION

CITY OF MERCER ISLAND, R-12

GENERAL NOTES

- SEE CIVIL ENGINEERING SHEETS FOR UTILITIES, ESC, DRAINAGE, T.O.W. & B.O.W. FOR RETAINING WALLS.
- SEE TREE PRESERVATION & REMOVAL PLAN FOR TREE SCHEDULE & TREE PROTECTION FENCE.

LEGAL DESCRIPTION

THE NORTH 18 FEET OF THE SOUTH 180 FEET OF THAT PORTION OF GOVERNMENT LOT 1 OF SECTION 24, TOWNSHIP 24 NORTH, RANGE 4 EAST, W.P. LYING WEST OF A STRAIGHT LINE RUNNING FROM A POINT ON THE SOUTH LINE OF SAID GOVERNMENT LOT 4, WHICH POINT OF 63.24 FEET WEST OF THE NORTHEAST CORNER OF SAID LOT 4, (ALSO KNOWN AS LOT 10 OF LAKE VIEW HIGHLANDS WATERFRONT TRACTS UNRECORDED) TOGETHER WITH SECOND CLASS SHORELANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN FRONT OF, ADJACENT TO, OR ABUTTING THEREON, SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

ASSESSOR'S PARCEL NO. 409110-0055

IMPERVIOUS SURFACE COVERAGE

TOTAL LOT AREA	21200 SF
TOTAL ALLOWABLE (21200 x 35%)	7420 SF
EXISTING IMPERVIOUS SURFACE (TO REMAIN)	
HOUSE	3389 SF
TERRACES	11 SF
WATER FEATURE	97 SF
STAIRS	12 SF
POOL	451 SF
TOTAL EXISTING	4170 SF
PROPOSED IMPERVIOUS SURFACE	
HOUSE (ADDITION)	1286 SF
DETACHED GARAGE	336 SF
DRIVEWAY	1081 SF
HOT TUB	15 SF
TERRACE & STAIRS	316 SF
COLUMN	18 SF
GENERATOR PAD	9 SF
TOTAL PROPOSED	3221 SF
EXISTING + PROPOSED TOTAL	4170 + 3221 = 7391 SF UNDER BY 29 SF

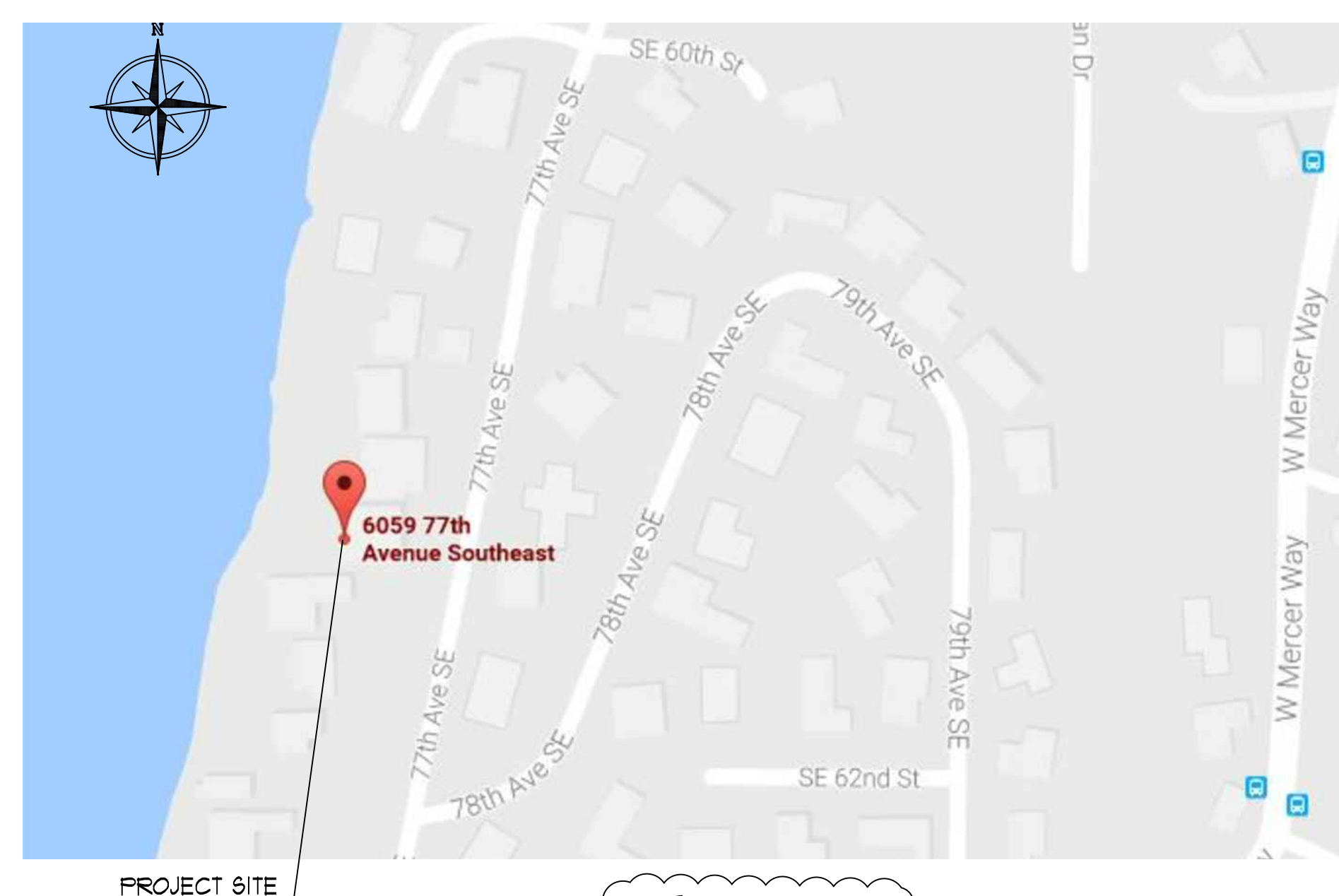
HEIGHT CALCULATIONS

Peyree Remodel B
Building Height Calculations
Revised 04/26/2017

Point	Length	Mid. Elev	Product
A	12.00	61.00	732.00
B	4.00	60.80	243.20
C	0.83	60.60	50.30
D	9.67	60.20	582.13
E	1.00	58.50	58.50
F	1.00	58.30	58.30
G	4.08	58.50	238.68
H	1.00	58.90	58.90
I	9.17	59.20	542.86
J	0.92	59.50	54.74
K	9.50	59.80	568.10
L	2.33	59.90	139.57
M	17.33	60.17	1042.75
N	2.33	60.17	140.20
O	11.42	59.90	694.06
P	43.92	57.80	2538.58
Q	11.87	49.00	571.83
R	6.42	46.40	297.89
S	35.50	46.40	1647.20
T	8.75	46.40	406.00
U	15.17	36.40	552.19
V	34.58	42.20	1459.28
W	8.00	49.00	392.00
X	13.00	52.20	678.60
Y	6.00	54.90	329.40
Z	22.00	57.20	1258.40
A1	11.00	60.50	665.50
B1	4.00	61.00	244.00
	297.59		15325.64

Ave. Bldg. Elevation: 52.56
Height Allowed: 30.00
Allowable Height: 82.56

VICINITY PLAN



GROSS FLOOR CALCULATION

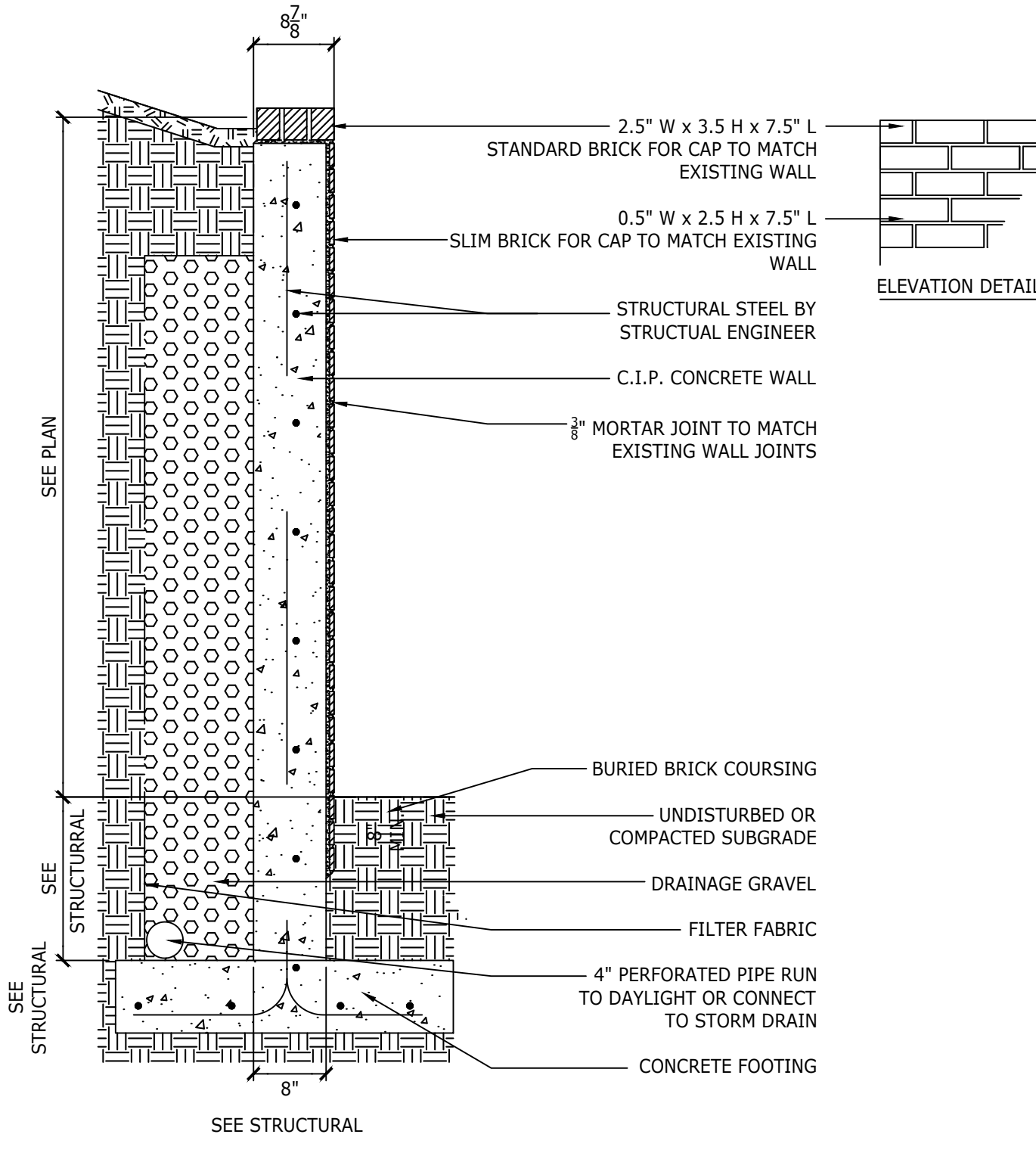
Peyree Remodel B
Gross Floor Area
Revised 04/20/2020

Allowable Area:	Lot Area	Code factor	9,540
Proposed Areas:			
Lower Floor:			1,444
Main Floor:			3,303
Upper Floor:			3,159
Attached Garage:			508
Detached Garage (Accessory Building):			260
Bath & Pkg. Equipment:			174
Total Area:			8,848
Proposed % of Lot Area:			92%

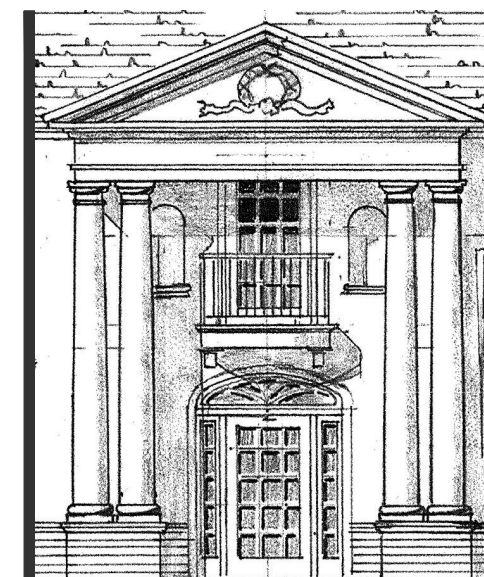
Lower Floor Exclusions

Point	Length	Wall Ht.	Exist. grade	midpoint ht.	Coverage	Result	Percentage
A	2.00	8.95	8.95	1.00	2.00	2.00	2%
B	3.33	8.95	8.95	1.00	3.33	3.33	3%
C	12.75	8.95	8.95	1.00	12.75	12.75	13%
D	2.33	8.95	8.95	1.00	2.33	2.33	3%
E	17.33	8.95	8.95	1.00	17.33	17.33	17%
F	2.33	8.95	8.95	1.00	2.33	2.33	2%
G	11.42	8.95	8.95	1.00	11.42	11.42	11%
H	37.92	8.95	8.17	0.91	34.62	34.62	35%
I	11.67	8.95	0.00	0.00	0.00	0.00	0%
J	6.50	8.95	0.00	0.00	0.00	0.00	0%
K	32.67	8.95	0.00	0.00	0.00	0.00	0%
L	2.17	8.95	0.00	0.00	0.00	0.00	0%
M	18.00	8.95	0.00	0.00	0.00	0.00	0%
N	46.42	8.95	0.33	0.04	1.71	1.71	2%
O	2.92	8.95	7.67	0.86	2.50	2.50	3%
P	8.17	8.95	8.95	1.00	8.17	8.17	8%
Q	21.75	8.95	8.95	1.00	21.75	21.75	22%
R	4.67	8.95	8.95	1.00	4.67	4.67	5%
	244.35						125%

Total floor area to outside of exterior wall: 2954.00
Total % / Total length: 0.51
Total area excluded from Gross Floor area: 1510.05
Total area remaining that counts toward Gross Floor Area: 1443.95



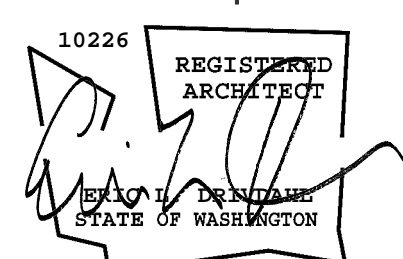
2 TYPICAL BRICK WALL DETAIL
SCALE: 3/4" = 1'-0"



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PEYREE REMODEL B
6059 77th Ave SE
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NO.	DATE	REVISION
07/31/20	OWNER REV. #1	
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06/26/19	REVISION 4	
05/24/19	REVISION 3	
03/02/19	REVISION 2	
10/30/18	REVISION 1	
07/18/17	PERMIT SET	

DATE: 07/31/2020
JOB NUMBER: 1625
PM: DKG
FILE: xFPL_Existing.dwg

DEMO LOWER FLOOR PLAN

A2.1D

DEMOLITION NOTES

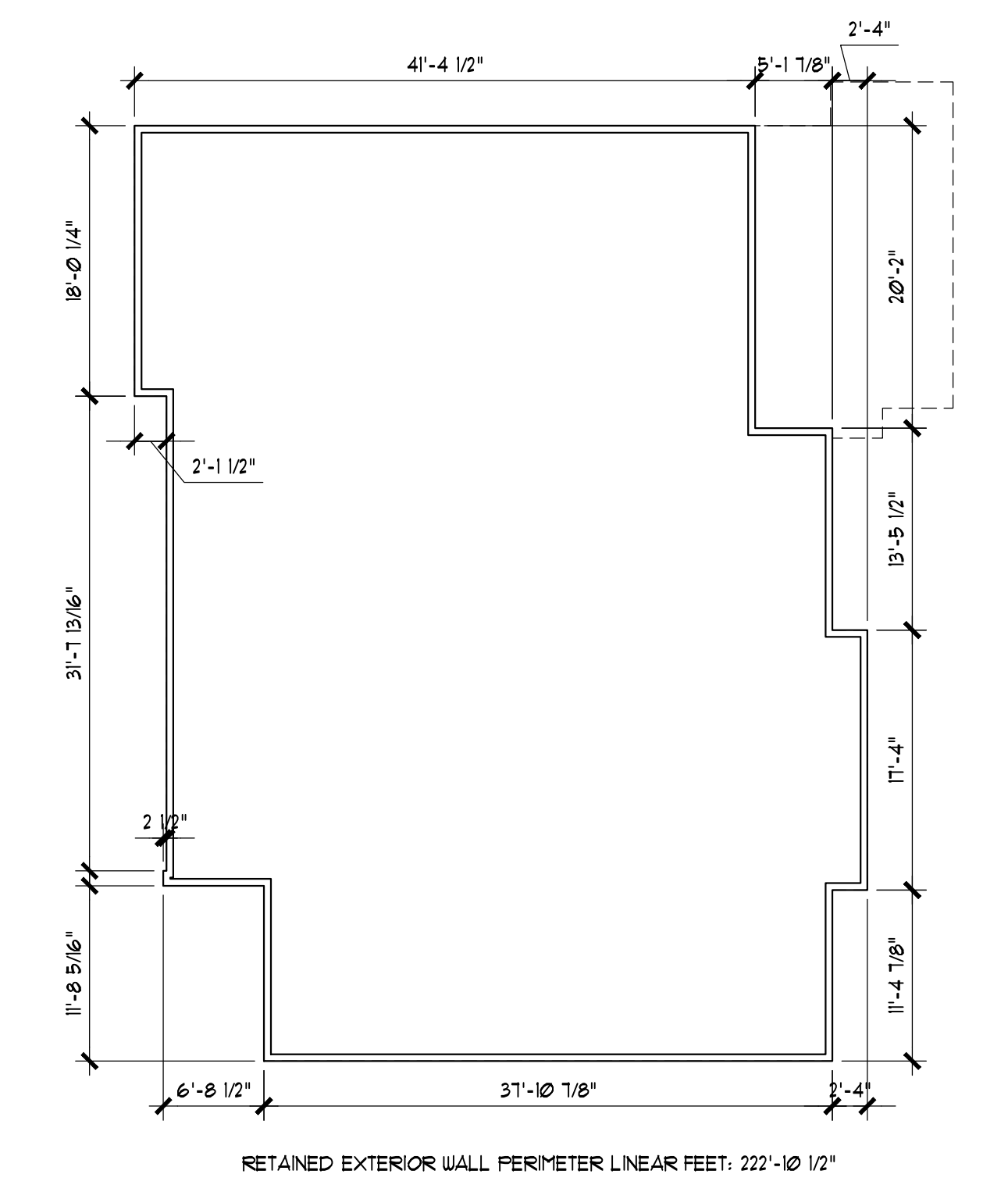
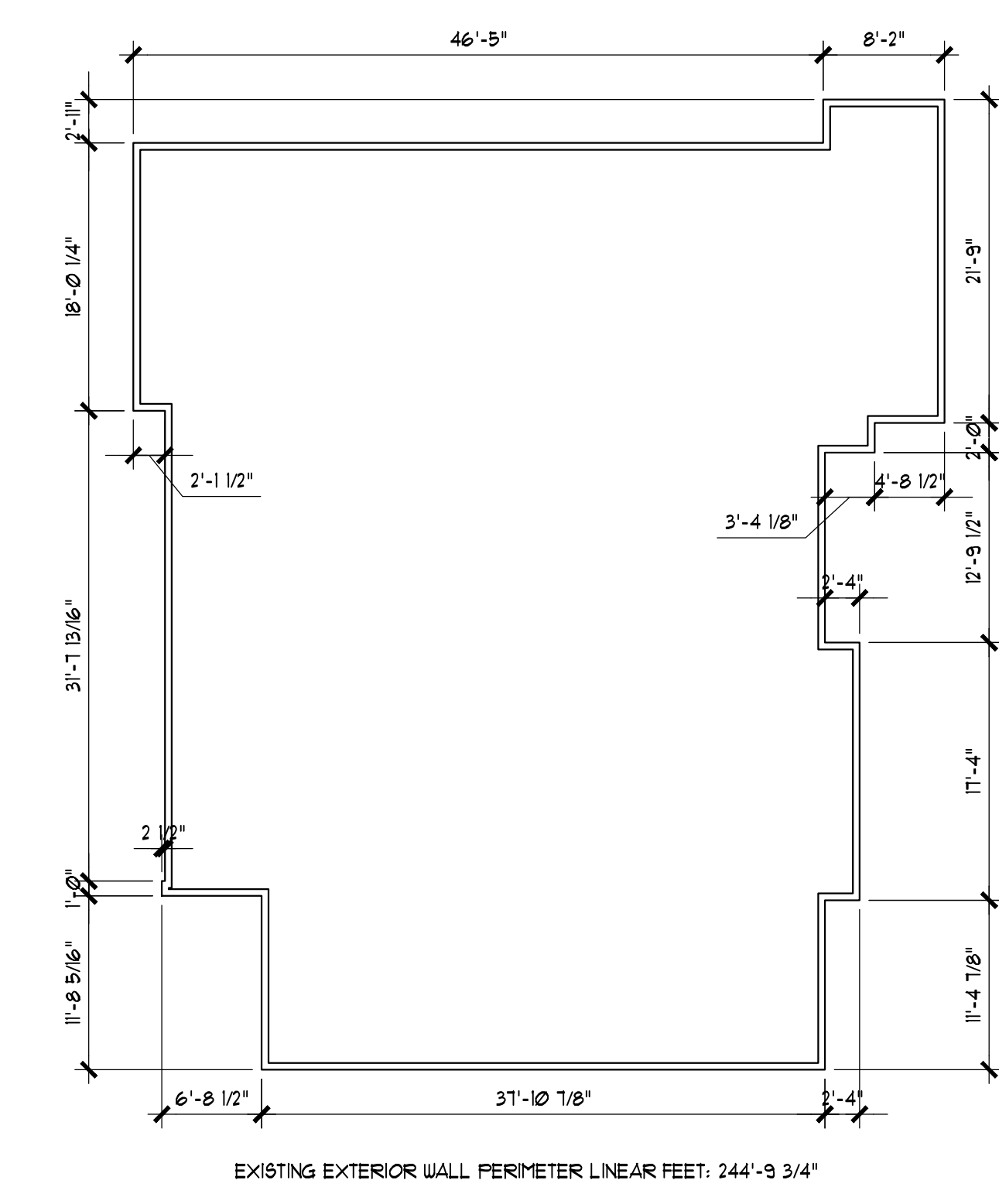
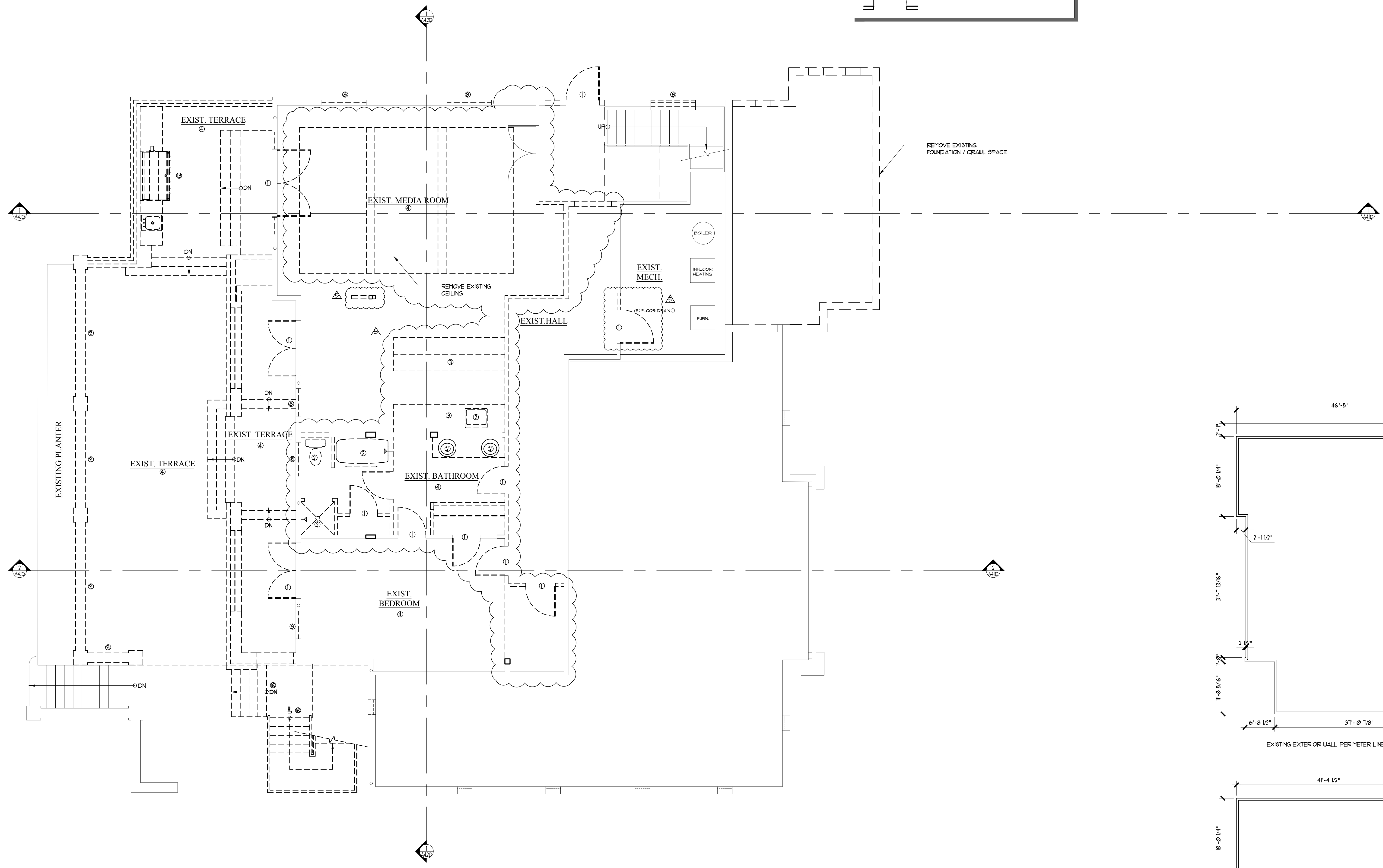
- ① REMOVE EXISTING DOOR AND FRAME
- ② REMOVE EXISTING PLUMBING FIXTURE, CAP PLUMBING
- ③ REMOVE EXISTING CASEWORK
- ④ REMOVE EXISTING FLOORING
- ⑤ EXISTING FINISHES TO REMAIN
- ⑥ RELOCATE EXISTING MECHANICAL EQUIPMENT
- ⑦ RELOCATE EXISTING APPLIANCES
- ⑧ REMOVE EXISTING WINDOW
- ⑨ REMOVE EXISTING GUARDRAIL
- ⑩ REMOVE EXISTING STAIR
- ⑪ REMOVE EXISTING GARAGE DOOR
- ⑫ REMOVE EXISTING COLONNADE
- ⑬ RELOCATE EXISTING CABINET AND COUNTER

WALL LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW WALL

DOOR LEGEND:

- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR



TOTAL EXISTING EXTERIOR WALL PERIMETER LINEAR FEET:
LOWER FLOOR = 244'-9 3/4"
MAIN FLOOR = 231'-6 1/2"
UPPER FLOOR = 284'-9"
TOTAL = 761'-9 1/4"

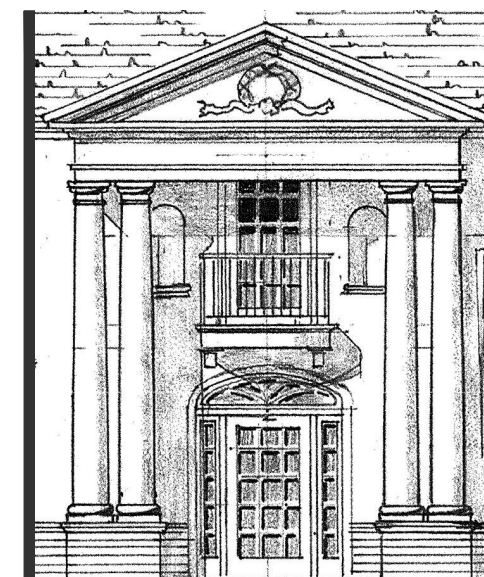
60% = 761.95833 x 0.60 = 456.835 OR 456'-10 1/16"

TOTAL RETAINED WALL PERIMETER LINEAR FEET:
LOWER FLOOR = 222'-10 1/2"
MAIN FLOOR = 21'-6"
UPPER FLOOR = 125'-3 1/2"
469'-8" OR 469'-6"

469.66 / 761.95833 = 61.62% RETAINED EXTERIOR WALLS

60% EXT WALL RETAINAGE DIAGRAM
SCALE: 1" = 10'-0"

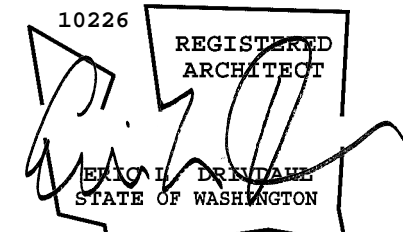
1 DEMO LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



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PM: DKG
FILE: xFPM_Existing.dwg

DEMO MAIN FLOOR PLAN

A2.2D

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DEMOLITION NOTES

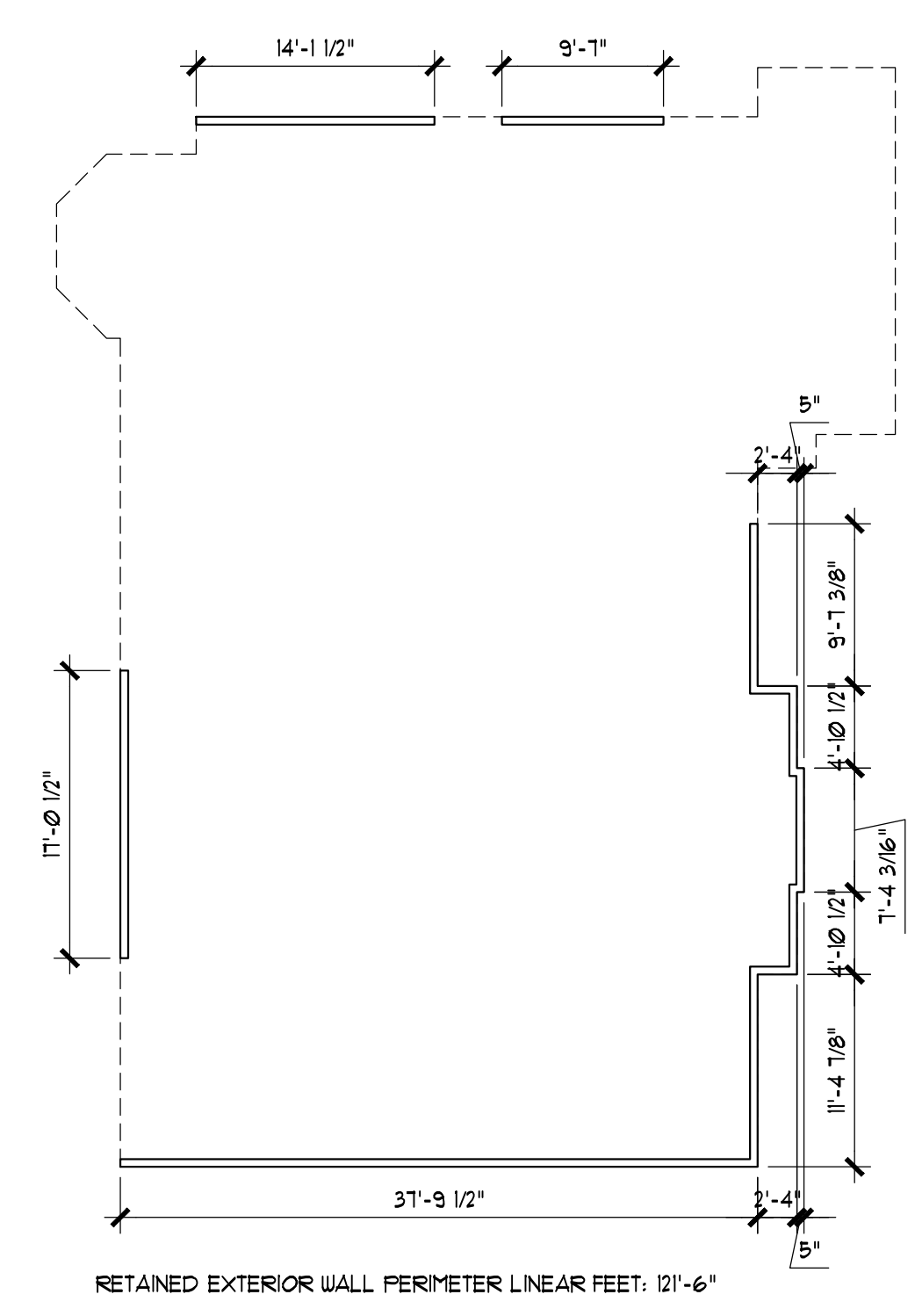
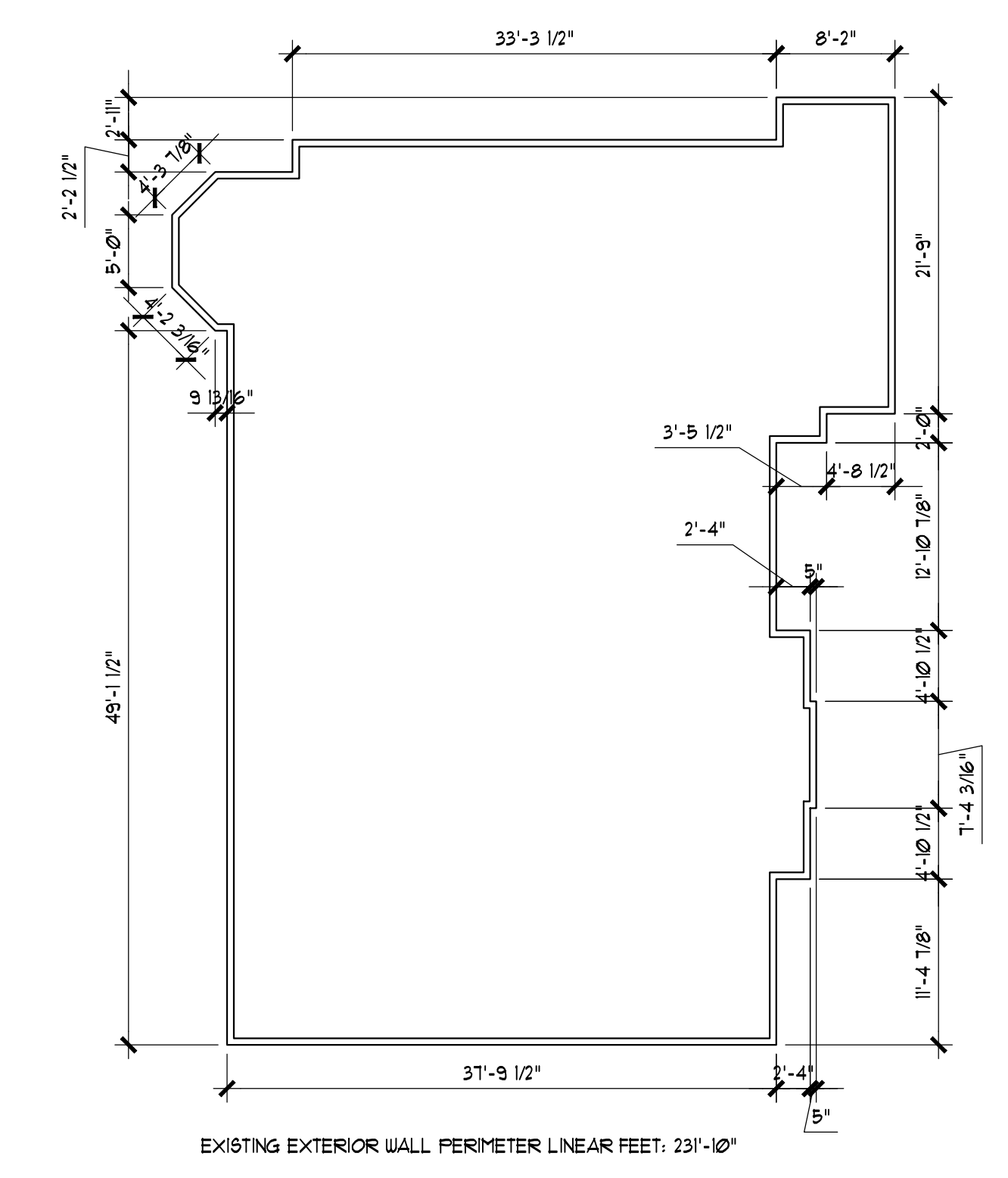
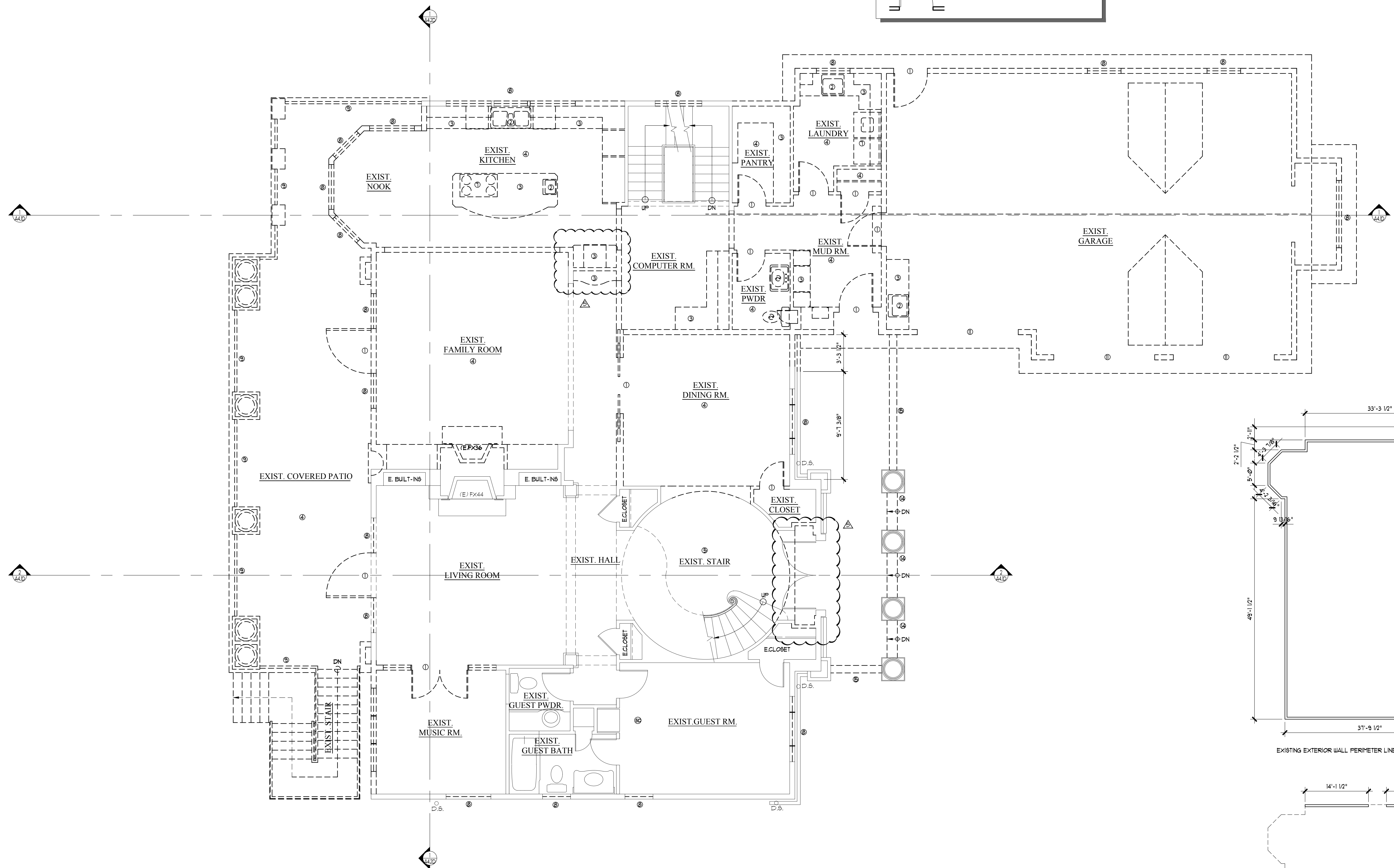
- ① REMOVE EXISTING DOOR AND FRAME
- ② REMOVE EXISTING PLUMBING FIXTURE, CAP PLUMBING
- ③ REMOVE EXISTING CASEWORK
- ④ REMOVE EXISTING FLOORING
- ⑤ EXISTING FINISHES TO REMAIN
- ⑥ RELOCATE EXISTING MECHANICAL EQUIPMENT
- ⑦ RELOCATE EXISTING APPLIANCES
- ⑧ REMOVE EXISTING WINDOW
- ⑨ REMOVE EXISTING GUARDRAIL
- ⑩ REMOVE EXISTING STAIR
- ⑪ REMOVE EXISTING GARAGE DOOR
- ⑫ REMOVE EXISTING COLONNADE
- ⑬ RELOCATE EXISTING CABINET AND COUNTER
- ⑭ REMOVE EXISTING STEPS @ EXTERIOR ENTRY
- ⑮ REMOVE EXISTING SITE RETAINING WALL

WALL LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW WALL

DOOR LEGEND:

- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR



TOTAL EXISTING EXTERIOR WALL PERIMETER LINEAR FEET:
LOWER FLOOR = 244'-9 3/4"
MAIN FLOOR = 231'-10"
UPPER FLOOR = 284'-9"
TOTAL = 760'-4 3/4"

60% = 456.8375' OR 456'-10 1/16"

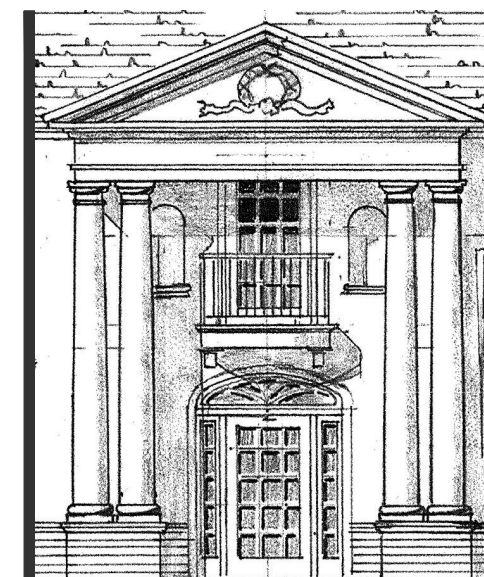
TOTAL RETAINED EXTERIOR WALL PERIMETER LINEAR FEET:
LOWER FLOOR = 222'-10 1/2"
MAIN FLOOR = 121'-6"
UPPER FLOOR = 173'-3 1/2"
465'-9" OR 465.66'

465.66' / 761.395833 = 61.18% RETAINED EXTERIOR WALLS

1 DEMO MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

NORTH

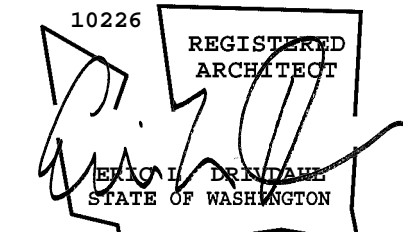
2 60% EXT WALL RETAINAGE DIAGRAM
SCALE: 1" = 10'-0"



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PM: DKG
FILE: xFPU_Existing.dwg

DEMO UPPER FLOOR PLAN

A2.3D

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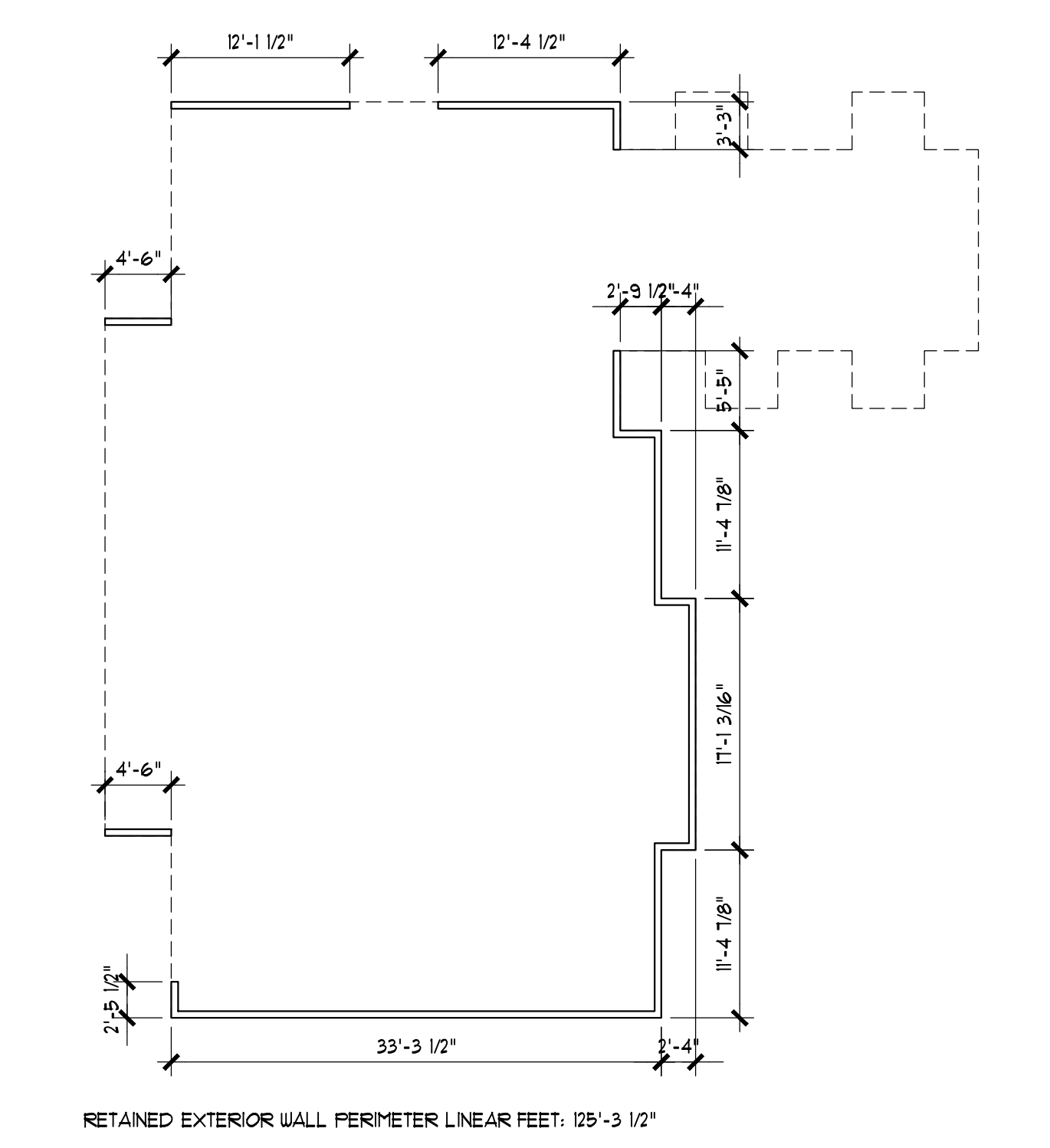
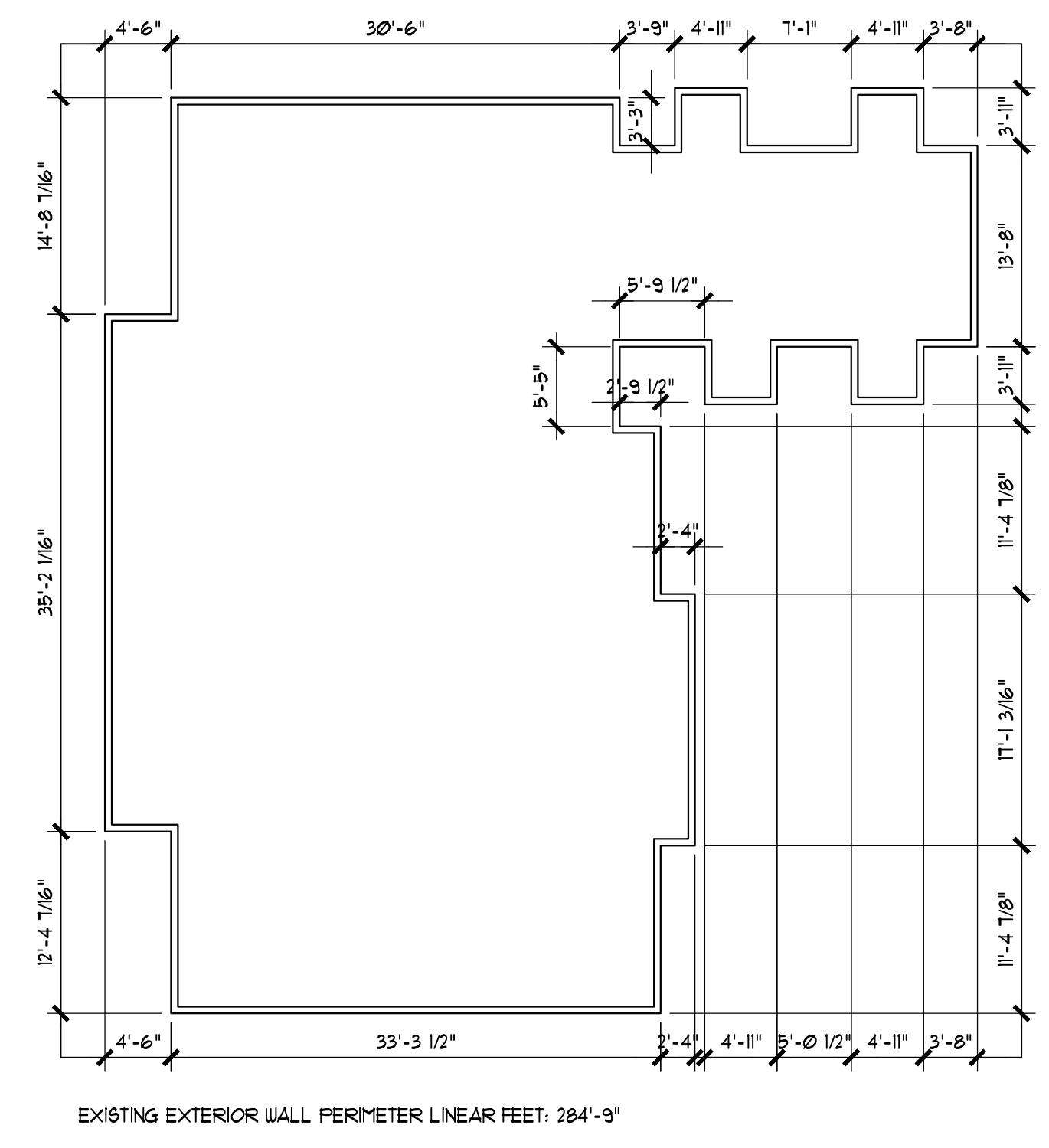
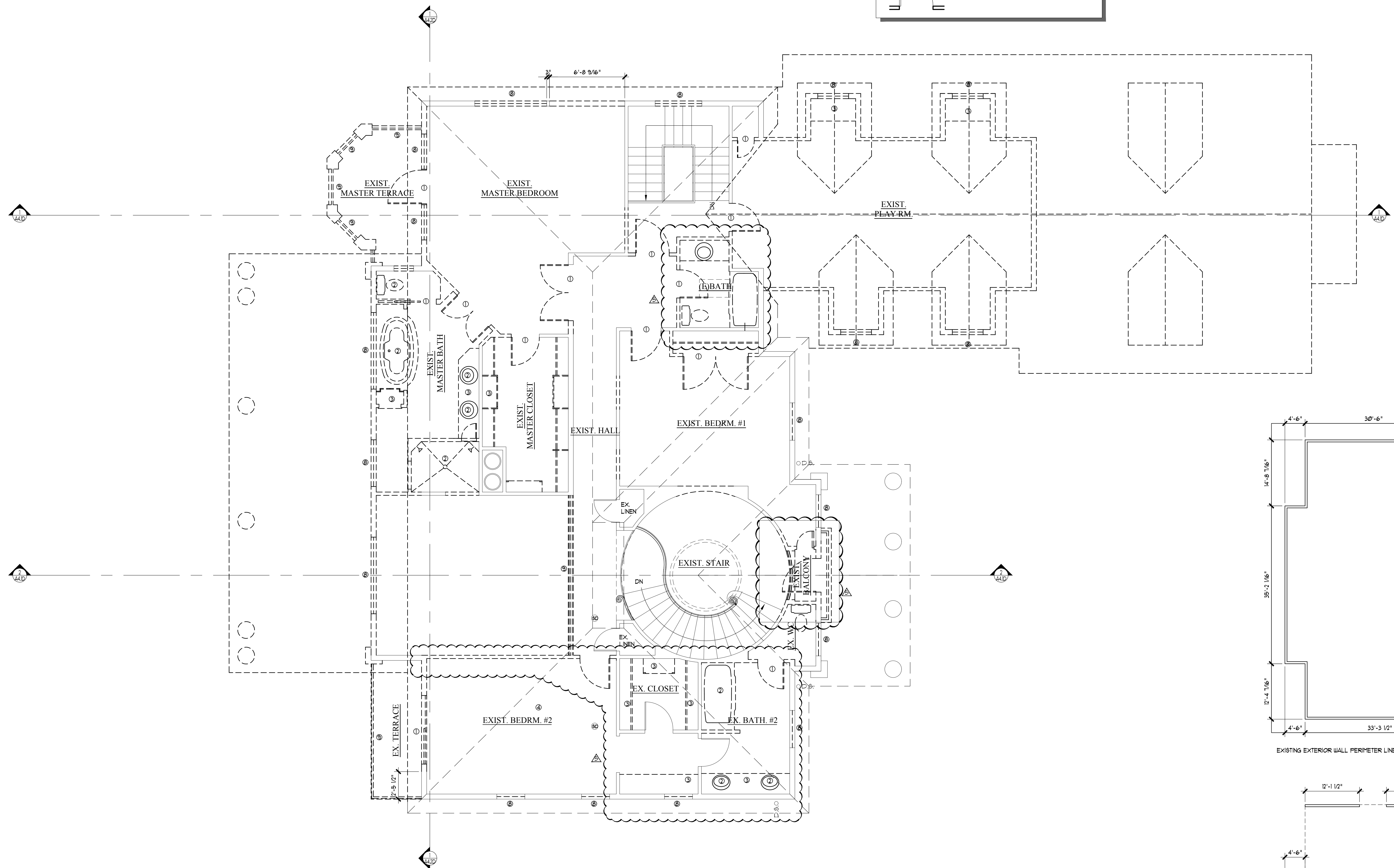
- DEMOLITION NOTES**
- ① REMOVE EXISTING DOOR AND FRAME
 - ② REMOVE EXISTING PLUMBING FIXTURE, CAP PLUMBING
 - ③ REMOVE EXISTING CASEWORK
 - ④ REMOVE EXISTING FLOORING
 - ⑤ EXISTING FINISHES TO REMAIN
 - ⑥ RELOCATE EXISTING MECHANICAL EQUIPMENT
 - ⑦ RELOCATE EXISTING APPLIANCES
 - ⑧ REMOVE EXISTING WINDOW
 - ⑨ REMOVE EXISTING GUARDRAIL
 - ⑩ REMOVE EXISTING STAIR
 - ⑪ REMOVE EXISTING GARAGE DOOR
 - ⑫ REMOVE EXISTING COLONNADE

WALL LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW WALL

DOOR LEGEND:

- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR



TOTAL EXISTING EXTERIOR WALL PERIMETER LINEAR FEET:
LOWER FLOOR = 244'-9 3/4"
MAIN FLOOR = 231'-6"
UPPER FLOOR = 284'-9"
TOTAL = 761'-4 3/4"

60% = 761.95833 x 0.60 = 456.835' OR 456'-10 1/16"

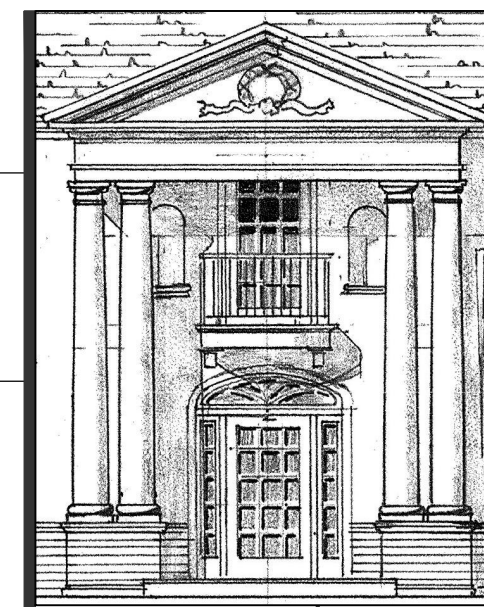
TOTAL RETAINED EXTERIOR WALL PERIMETER LINEAR FEET:
LOWER FLOOR = 222'-10 1/2"
MAIN FLOOR = 21'-6"
UPPER FLOOR = 105'-3 1/2"
460'-8" OR 460'-6"

460.66 / 761.95833 = 61.68% RETAINED EXTERIOR WALLS

1 DEMO UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

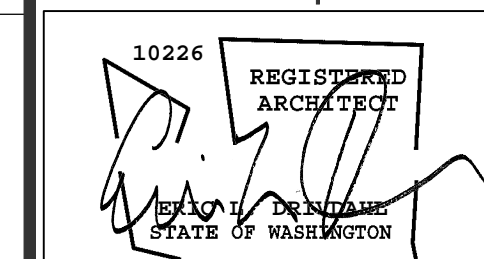
NORTH

2 60% EXT WALL RETAINAGE DIAGRAM
SCALE: 1" = 10'-0"



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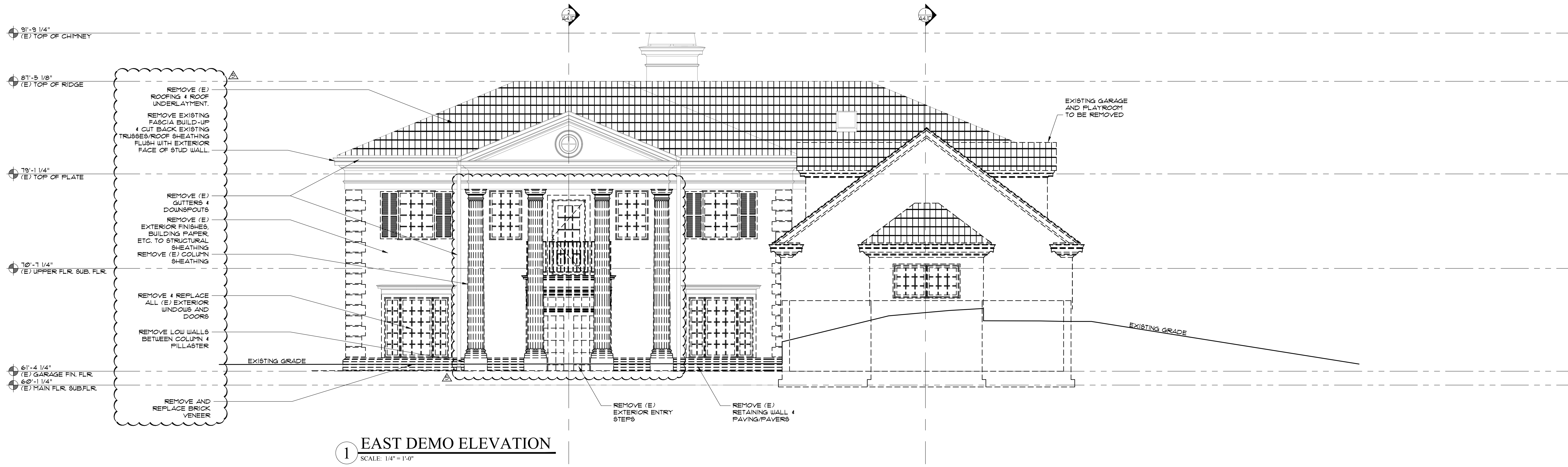
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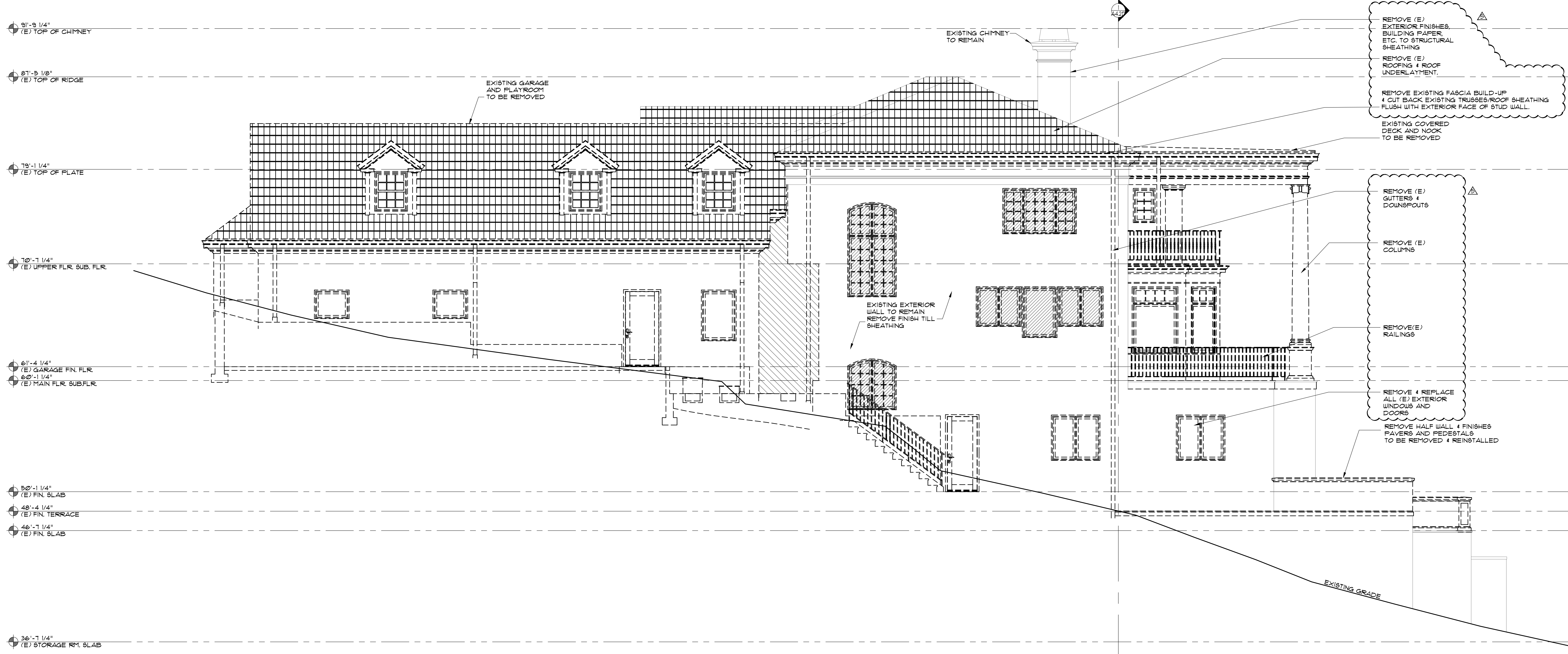
DEMO EXTERIOR ELEVATIONS

A3.1D

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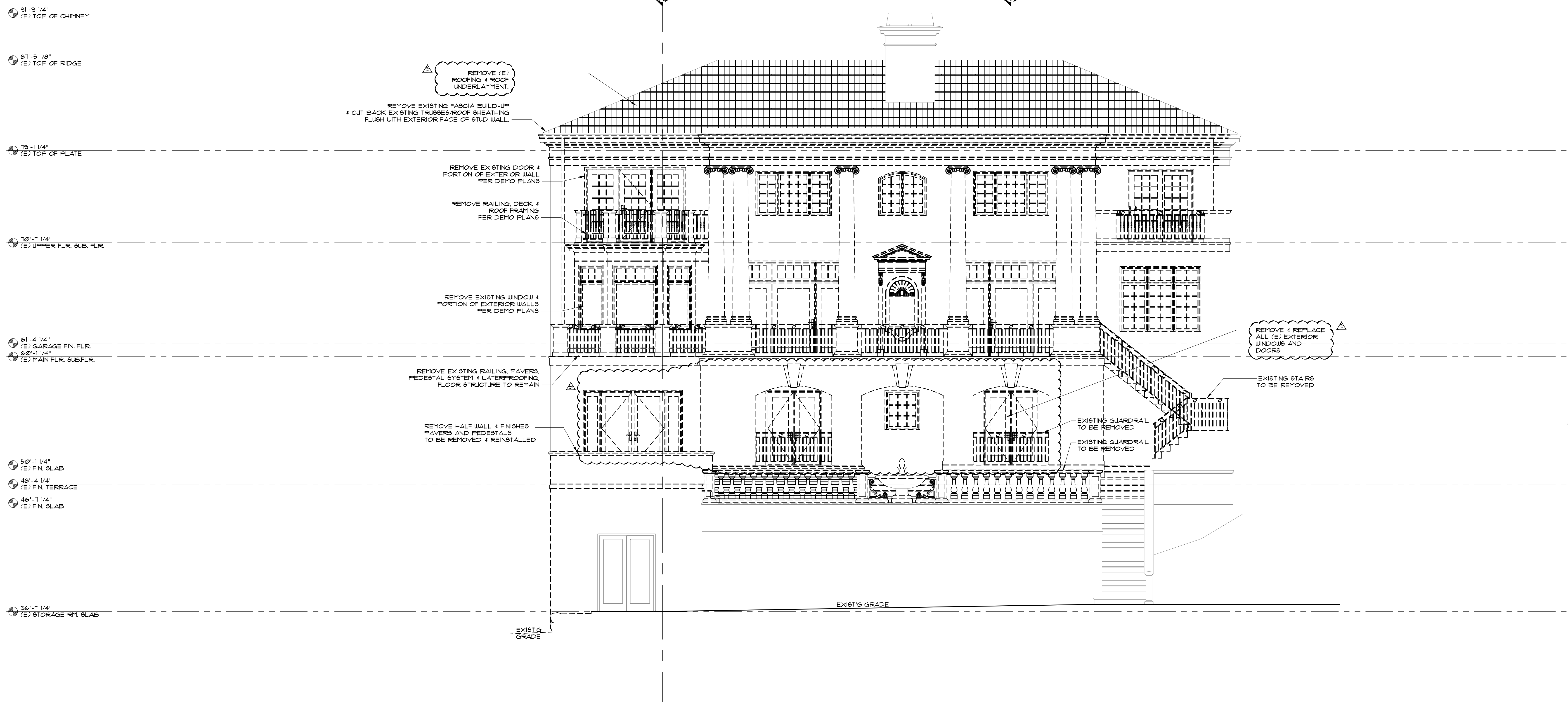
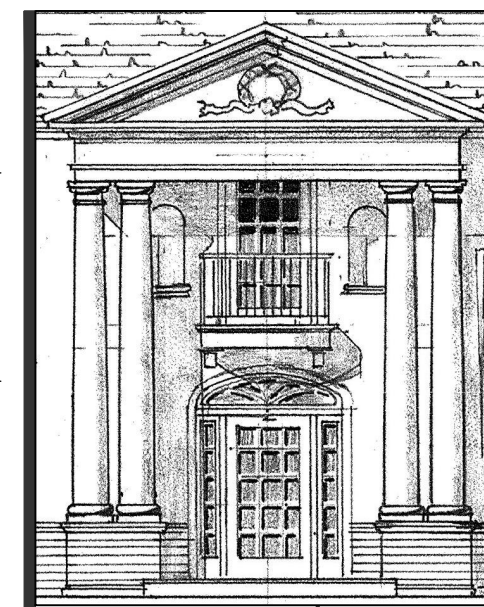
1 EAST DEMO ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH DEMO ELEVATION
SCALE: 1/4" = 1'-0"

WALL/WINDOW LEGEND:

- NEW WINDOW ROUGH OPENING VERIFY SIZE w/ EXISTING CONDITIONS & PROPOSED NEW CLADDING & EXTERIOR MATERIALS.
- REMOVE EXISTING WINDOWS & INFILL EXISTING 2x6 WALL PER STRUCTURE



91'-9 1/4"
(E) TOP OF CHIMNEY

81'-5 1/8"
(E) TOP OF RIDGE

79'-1 1/4"
(E) TOP OF PLATE

70'-1 1/4"
(E) UPPER FLR, SUB. FLR.

61'-4 1/4"
(E) GARAGE FIN. FLR.

60'-1 1/4"
(E) MAIN FLR, SUBFLR.

50'-1 1/4"
(E) FIN. SLAB

48'-4 1/4"
(E) FIN. TERRACE

46'-1 1/4"
(E) FIN. SLAB

36'-1 1/4"
(E) STORAGE RM. SLAB

REMOVE (E) ROOFING & ROOF UNDERLAYMENT.

REMOVE EXISTING FASCIA BUILD-UP & CUT BACK EXISTING TRUSSES/ROOF SHEATHING FLUSH WITH EXTERIOR FACE OF STUD WALL.

REMOVE EXISTING DOOR & PORTION OF EXTERIOR WALL PER DEMO PLANS

REMOVE RAILING, DECK & ROOF FRAMING PER DEMO PLANS

REMOVE EXISTING WINDOW & PORTION OF EXTERIOR WALLS PER DEMO PLANS

REMOVE EXISTING RAILING, PAVERS, PEDESTAL SYSTEM & WATERPROOFING. FLOOR STRUCTURE TO REMAIN

REMOVE HALF WALL & FINISHES PAVERS AND PEDESTALS TO BE REMOVED & REINSTALLED

REMOVE & REPLACE ALL (E) EXTERIOR WINDOWS AND DOORS

EXISTING STAIRS TO BE REMOVED

EXISTING GUARDRAIL TO BE REMOVED

EXISTING GUARDRAIL TO BE REMOVED

EXIST'G GRADE

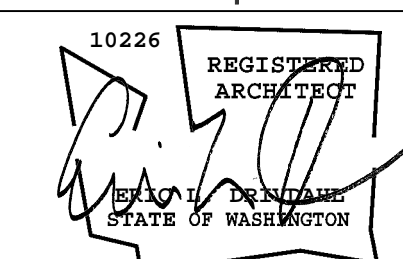
EXIST'G GRADE

1 WEST DEMO ELEVATION
SCALE: 1/4" = 1'-0"



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△	07/18/17	PERMIT SET

DATE: 07/31/2020
JOB NUMBER: 1625
PM: DKG
FILE: A3.1_Existing.dwg

DEMO EXTERIOR ELEVATIONS

A3.2D

91'-9 1/4"
(E) TOP OF CHIMNEY

81'-5 1/8"
(E) TOP OF RIDGE

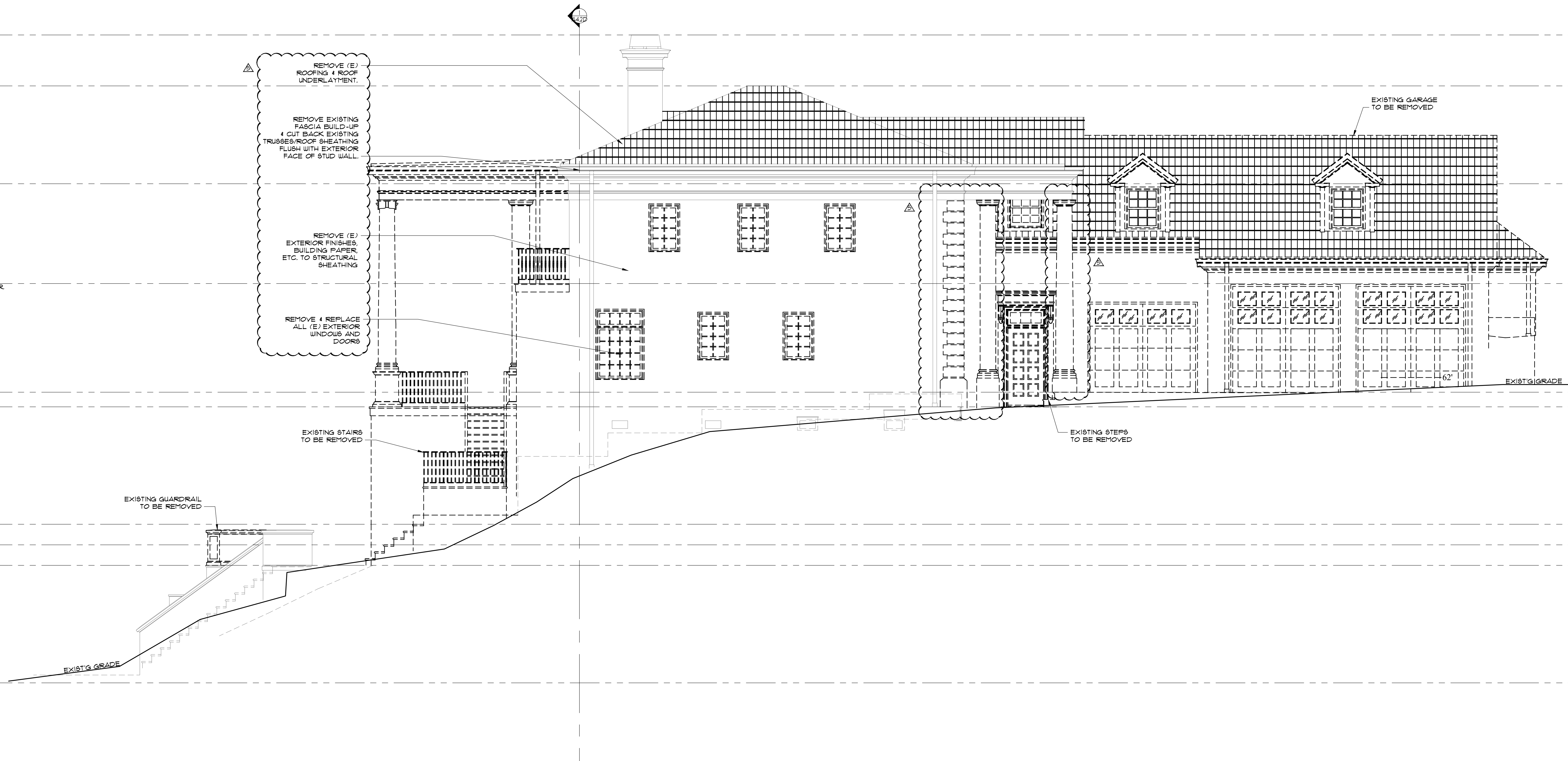
79'-1 1/4"
(E) TOP OF PLATE

70'-1 1/4"
(E) UPPER FLR, SUB. FLR.

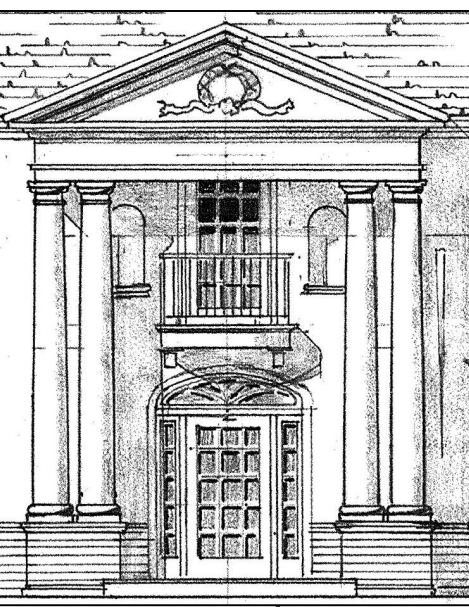
61'-4 1/4"
(E) GARAGE FIN. FLR.
60'-1 1/4"
(E) MAIN FLR, SUBFLR.

50'-1 1/4"
(E) FIN. SLAB
48'-4 1/4"
(E) FIN. TERRACE
46'-1 1/4"
(E) FIN. SLAB

36'-1 1/4"
(E) STORAGE RM. SLAB



1 SOUTH DEMO ELEVATION
SCALE: 1/4" = 1'-0"

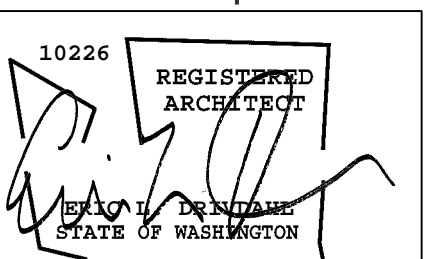


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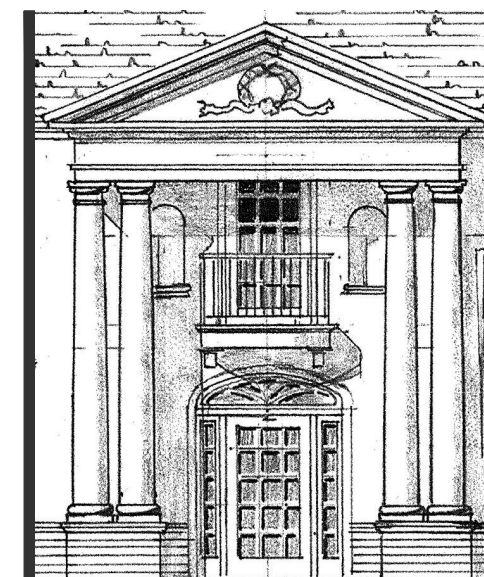


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2	05/14/20	CONST. SET. #1
3	06/26/19	REVISION 4
4	05/24/19	REVISION 3
5	03/02/19	REVISION 2
6	10/30/18	REVISION 1
7	07/18/17	PERMIT SET

DATE: 07/31/2020
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DEMO EXTERIOR
ELEVATIONS

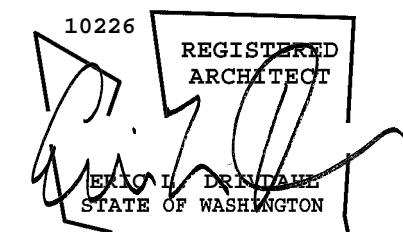
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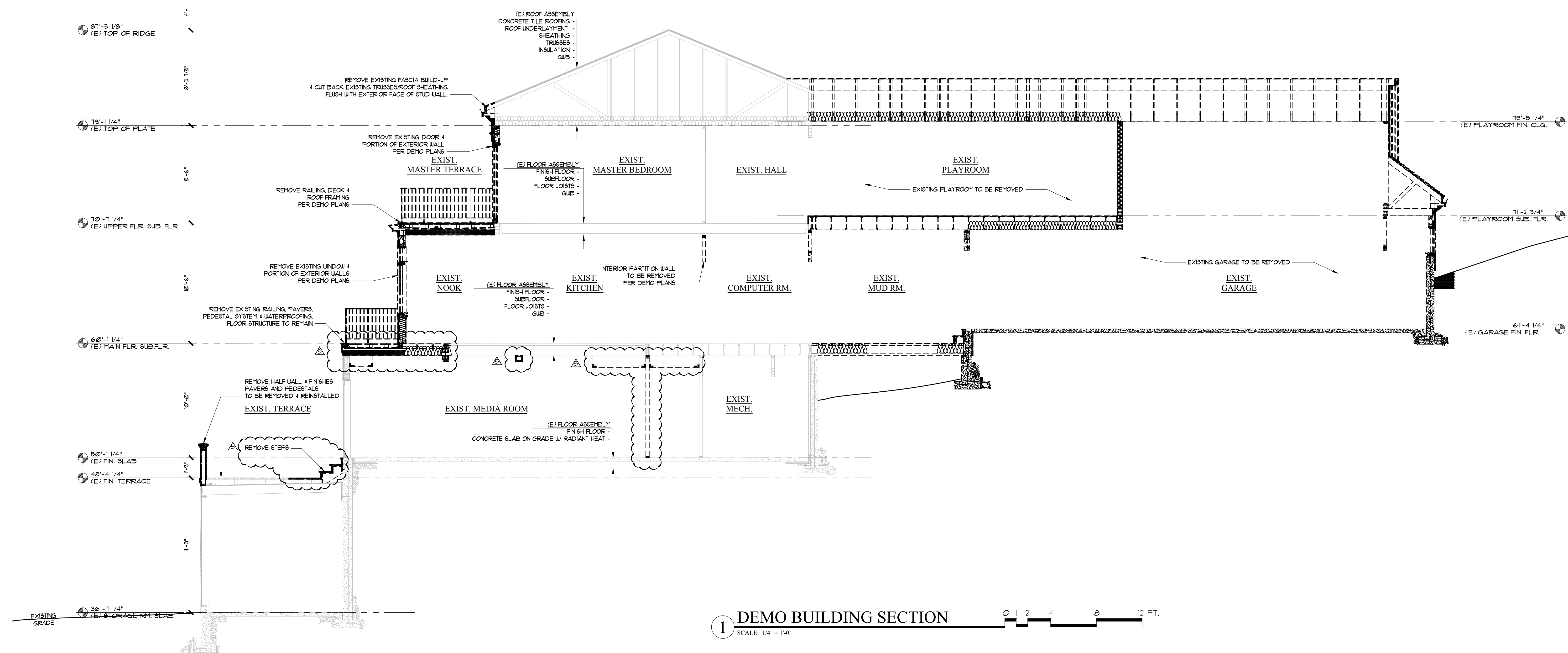
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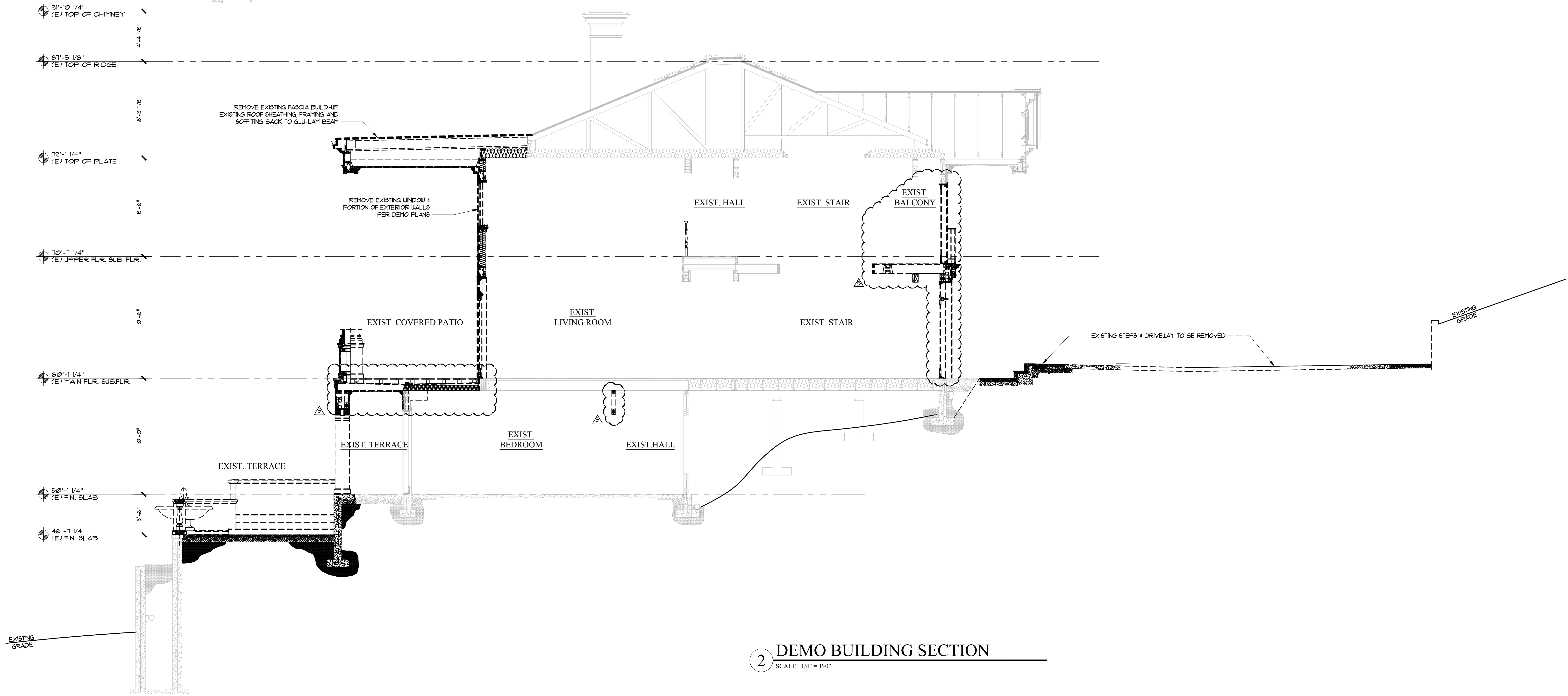
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A4.1D

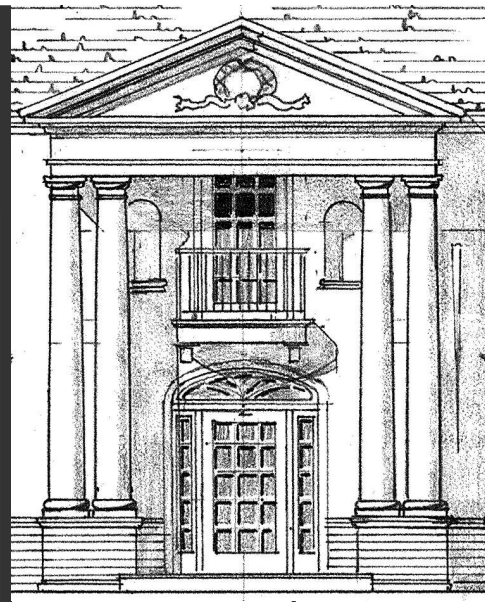
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1 DEMO BUILDING SECTION
 SCALE: 1/4" = 1'-0"



2 DEMO BUILDING SECTION
 SCALE: 1/4" = 1'-0"



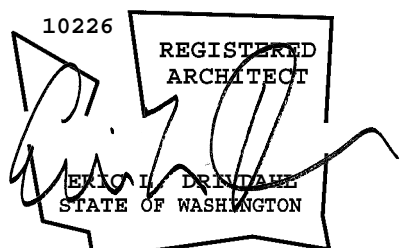
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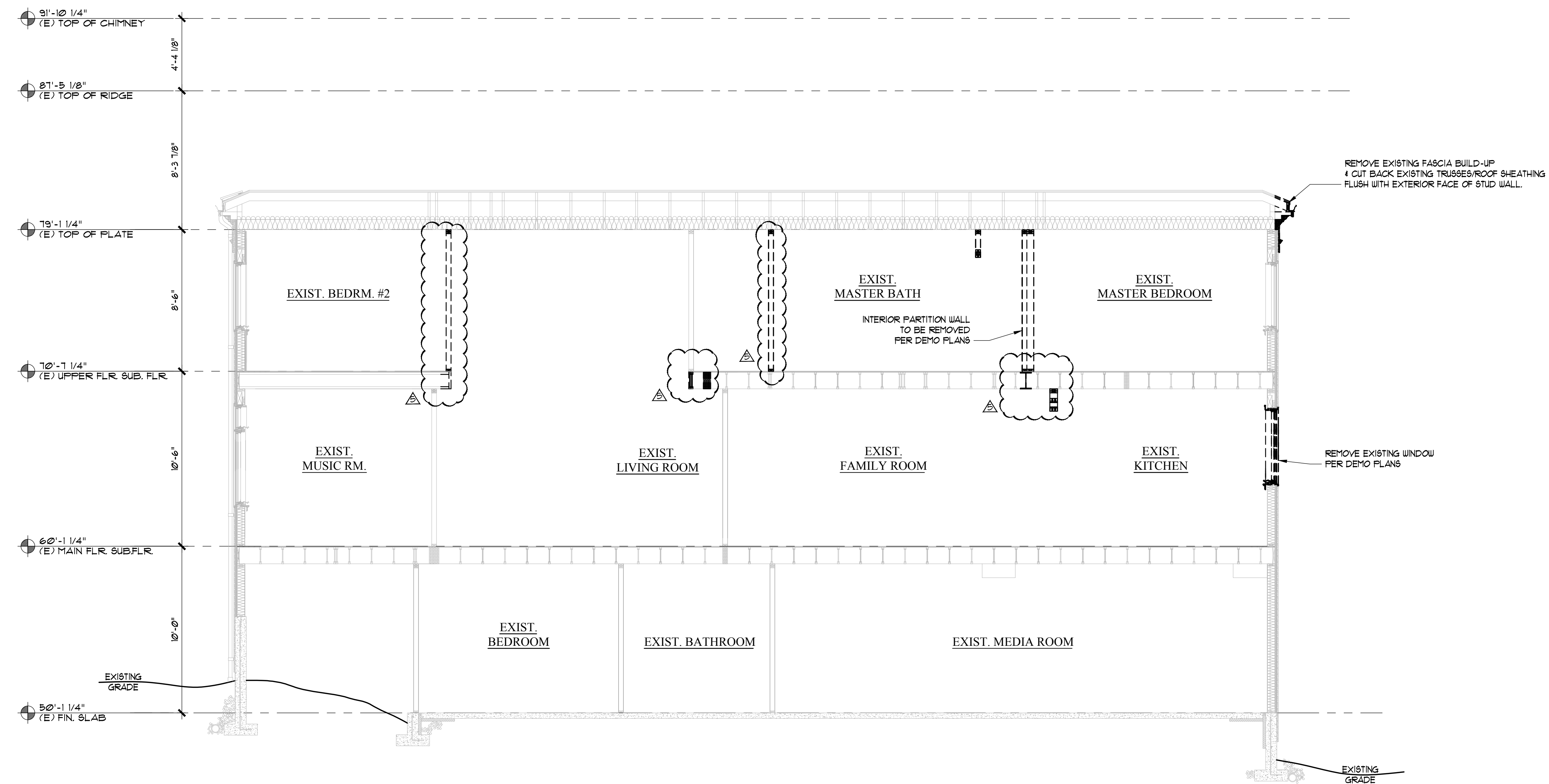
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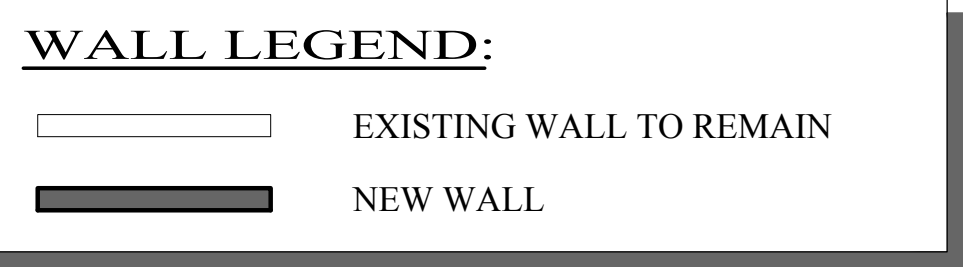
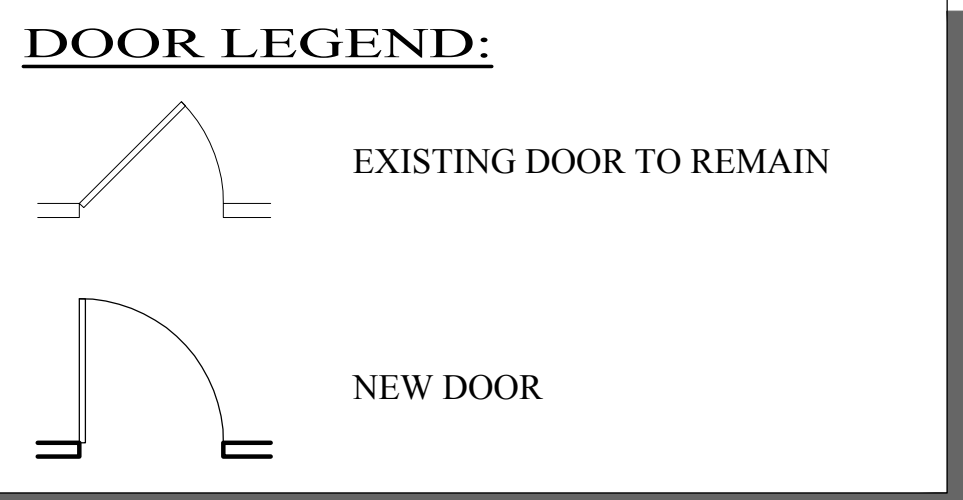
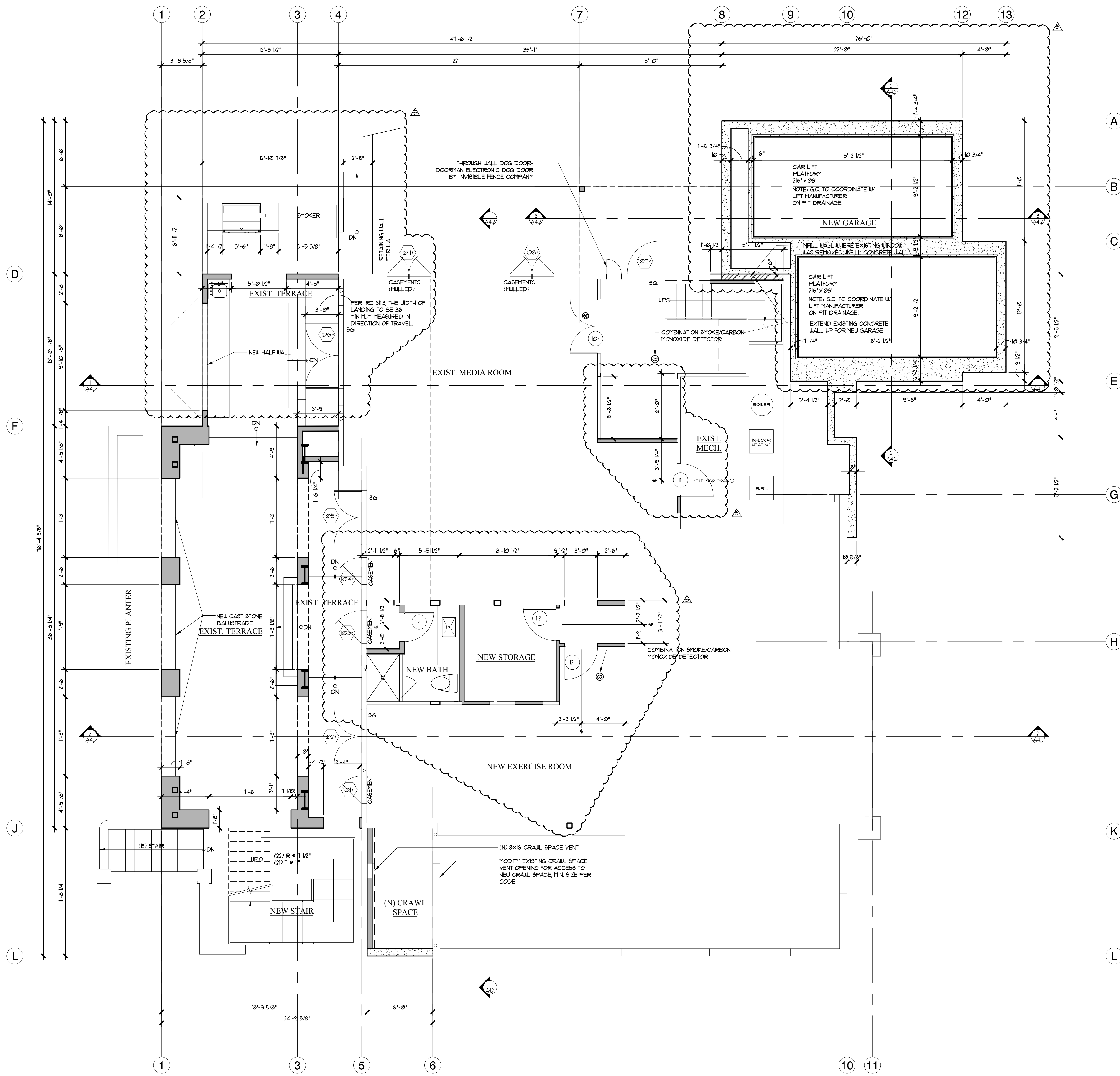
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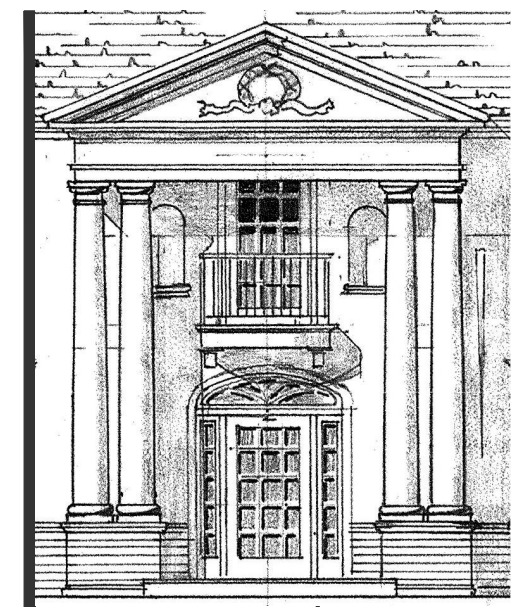
1 DEMO BUILDING SECTION
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

1. MECHANICAL:
 ALL MECHANICAL EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:
 A. IGNITION SOURCE OF MECHANICAL EQUIP. TO BE 8" ABOVE THE FINISHED FLOOR IRC M1301.3
 B. HU TANK SHALL BE STRAPPED SECURELY TO WALL AT UPPER ONE-THIRD AND LOWER ONE-THIRD WHILE MAINTAINING AT LEAST 4" SPACE FROM CONTROLS. IRC M1301.2
 C. HVAC SYSTEMS SHALL COMPLY WITH REQUIREMENTS FOR INTERMITTENT WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER SECTION M1501.3.5 OF THE 2018 IRC.

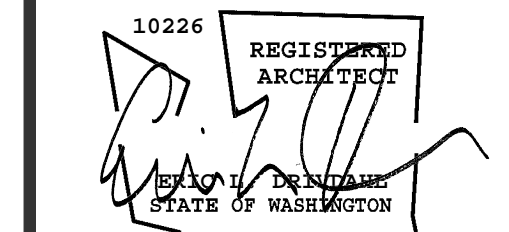
2. INTERIOR STAIRS: BOTH INTERIOR STAIRS ARE TO REMAIN. THIS INCLUDES FINISHES, RISERS, TREADS, GUARDRAILS, HANDRAILS, ETC.



Logo: G

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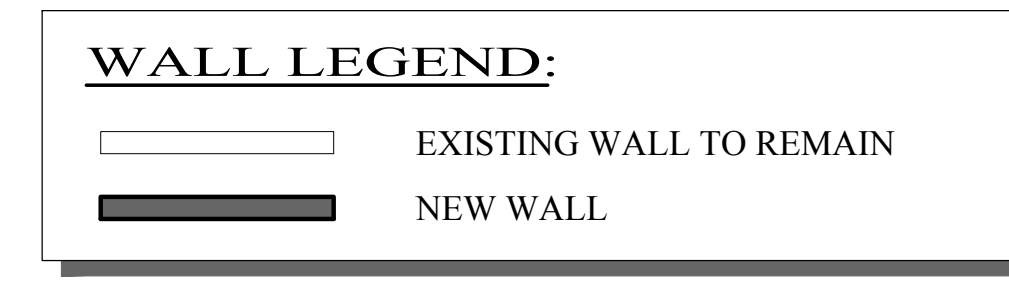
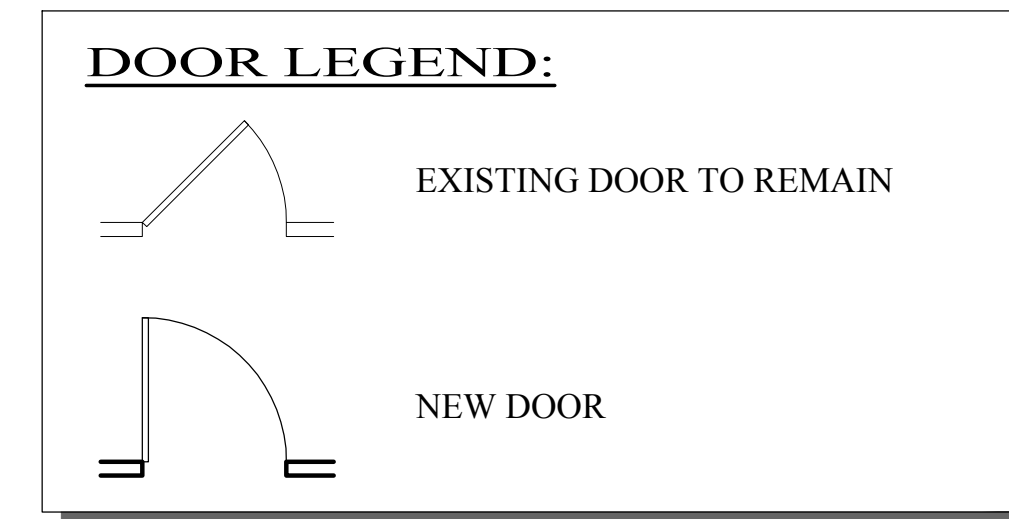
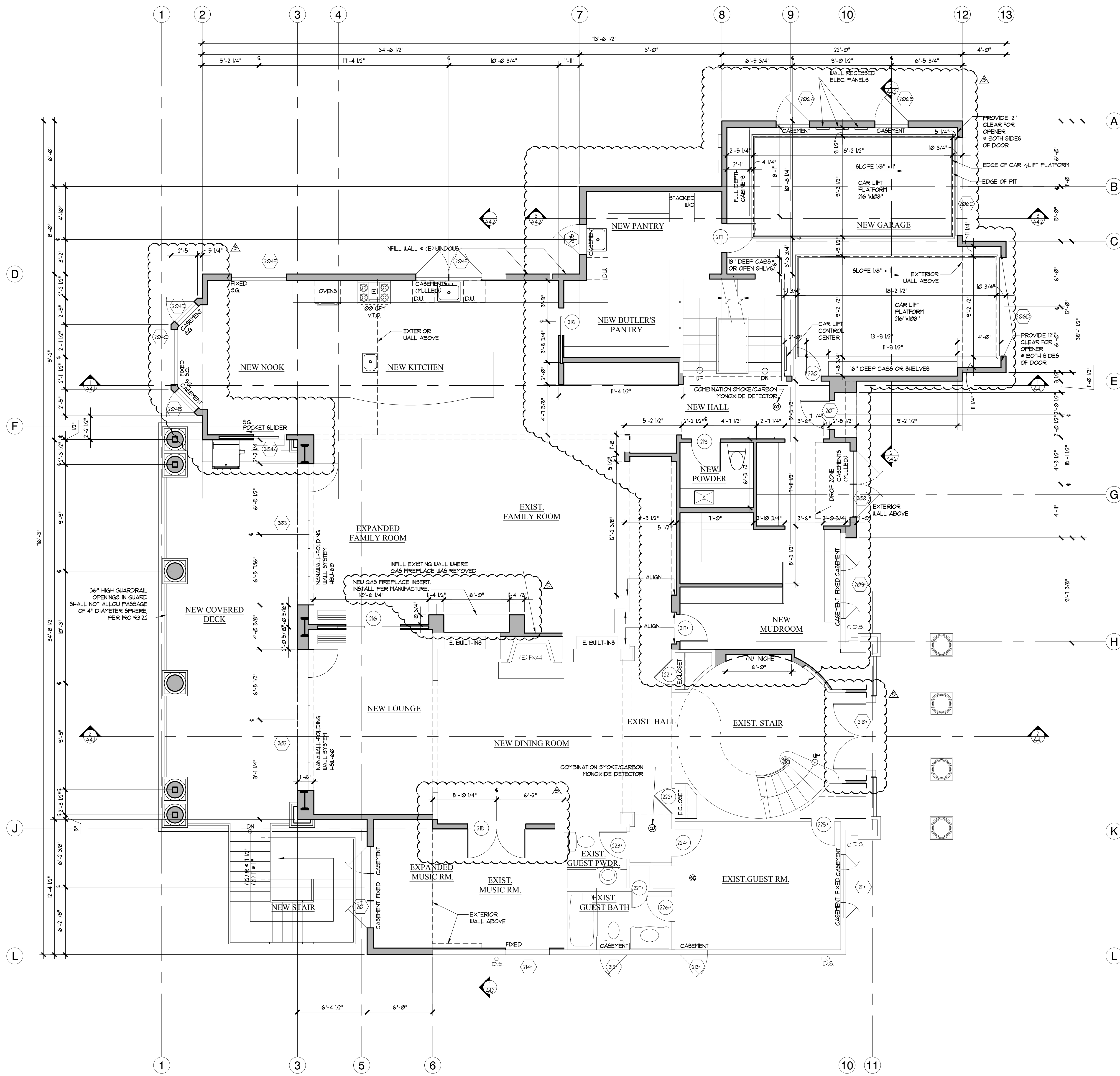
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 PM: DKG
 FILE: xFPL.dwg

PROPOSED LOWER FLOOR PLAN

A2.1

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1 PROPOSED LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"



GENERAL NOTES:

1. MECHANICAL:

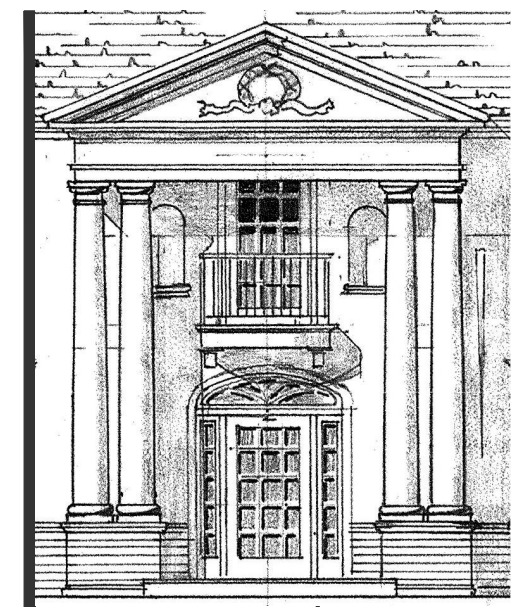
ALL MECHANICAL EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:

A. IGNITION SOURCE OF MECHANICAL EQUIP. TO BE 8" ABOVE THE FINISHED FLOOR IRC M1301.3

B. HU TANK SHALL BE STRAPPED SECURELY TO WALL AT UPPER ONE-THIRD AND LOWER ONE-THIRD WHILE MAINTAINING AT LEAST 4" SPACE FROM CONTROLS. IRC M1301.2

C. HVAC SYSTEMS SHALL COMPLY WITH REQUIREMENTS FOR INTERMITTENT WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER SECTION M1501.3.5 OF THE 2018 IRC.

2. INTERIOR STAIRS: BOTH INTERIOR STAIRS ARE TO REMAIN. THIS INCLUDES FINISHES, RISERS, TREADS, GUARDRAILS, HANDRAILS, ETC.



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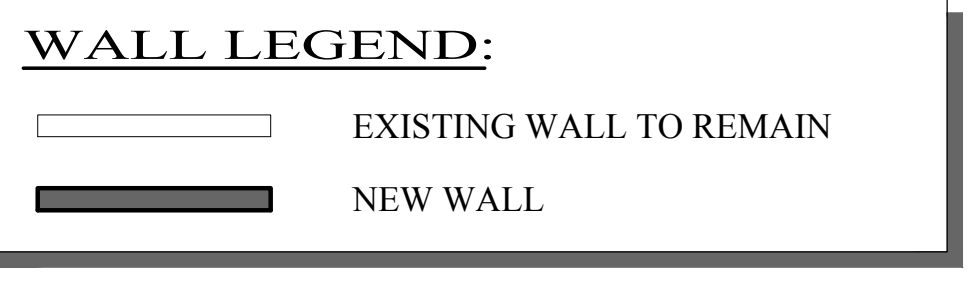
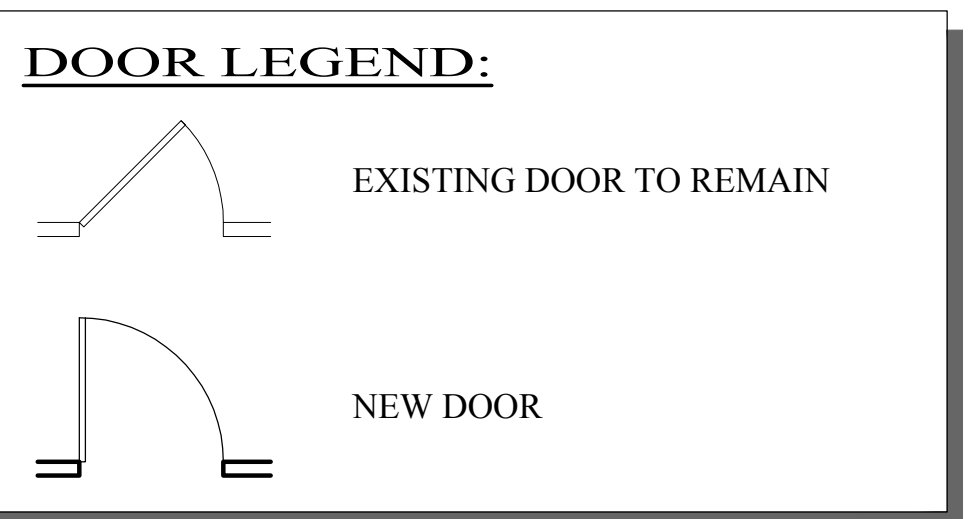
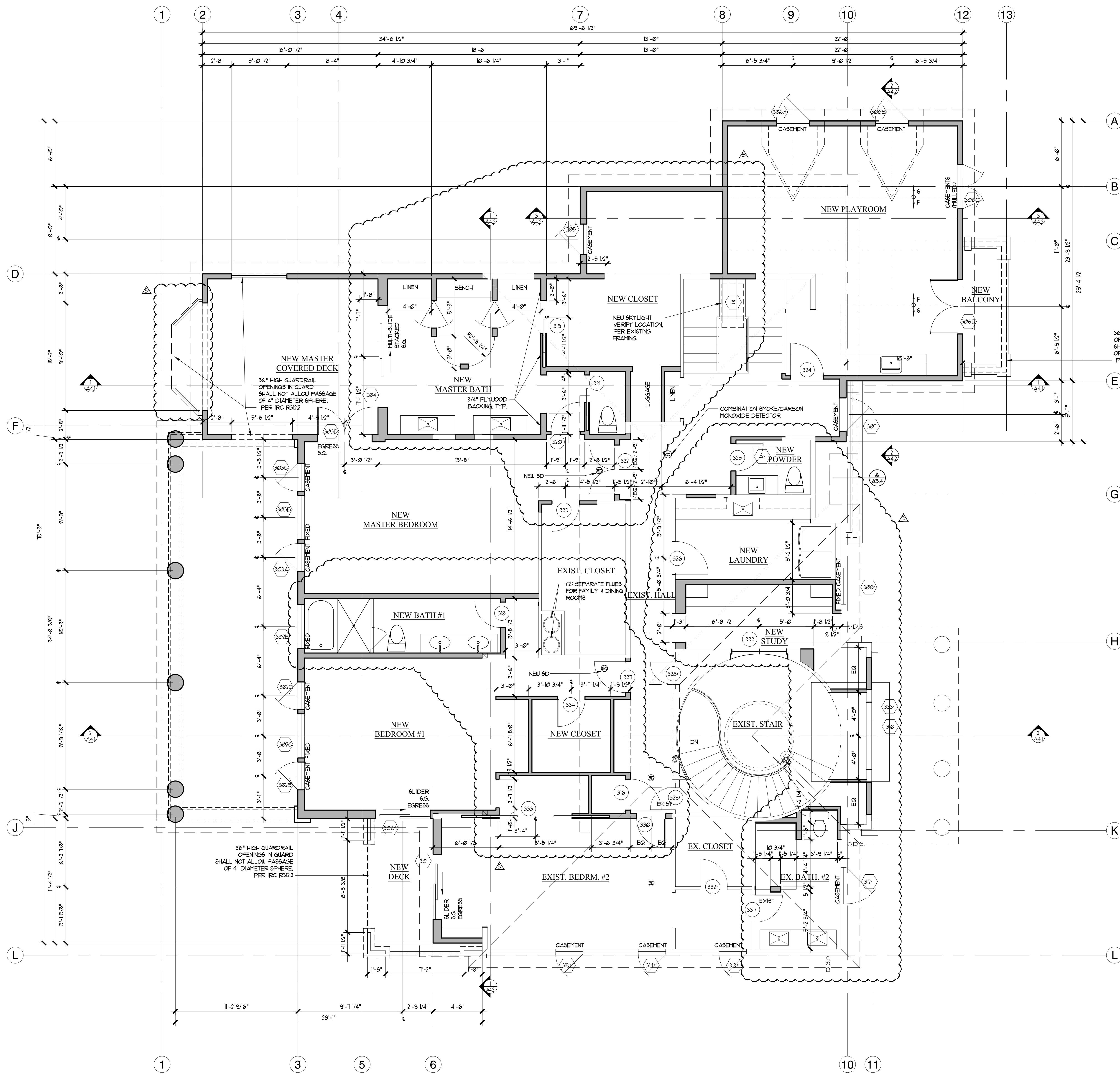
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10219	07/18/17	PERMIT SET

DATE: 07/31/2020
JOB NUMBER: 1625
PM: DKG
FILE: xFPM.dwg

1 PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

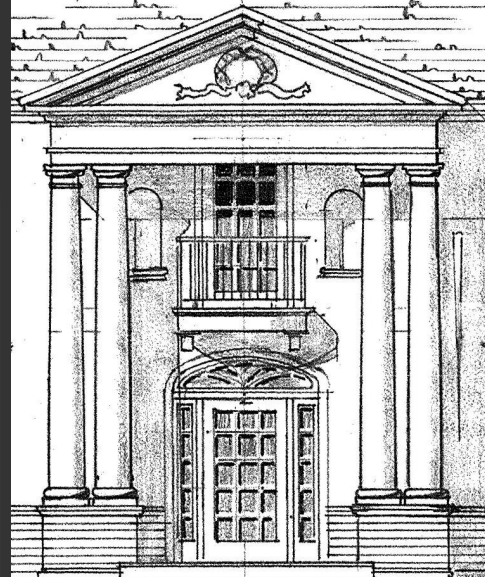
PROPOSED MAIN FLOOR PLAN



- GENERAL NOTES:**
- MECHANICAL:
 - A. IGNITION SOURCE OF MECHANICAL EQUIP. TO BE 8" ABOVE THE FINISHED FLOOR IRC M301.3
 - B. HU TANK SHALL BE STRAPPED SECURELY TO WALL AT UPPER ONE-THIRD AND LOWER ONE-THIRD WHILE MAINTAINING AT LEAST 4" SPACE FROM CONTROLS. IRC M301.2
 - C. HVAC SYSTEMS SHALL COMPLY WITH REQUIREMENTS FOR INTERMITTENT WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER SECTION M1501.3.5 OF THE 2018 IRC.
 - HOT TUB
 - A. HOT TUB SHALL BE PROVIDED WITH A COVER THAT MEETS OR EXCEEDS ASTM F 1346 SPECIFICATIONS. (IRC 2012 AG 105.5)
 - B. ALL SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ANSI/APSP-11 (IRC 2012 AG 106)
 - INTERIOR STAIRS: BOTH INTERIOR STAIRS ARE TO REMAIN. THIS INCLUDES FINISHES, RISERS, TREADS, GUARDRAILS, HANDRAILS, ETC.

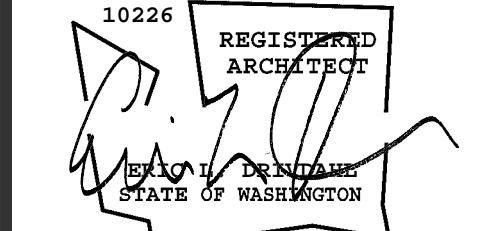
36" HIGH GUARDRAIL OPENINGS IN GUARD SHALL NOT ALLOW PASSAGE OF 4" DIAMETER SPHERE. PER IRC R302.2

1 PROPOSED UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



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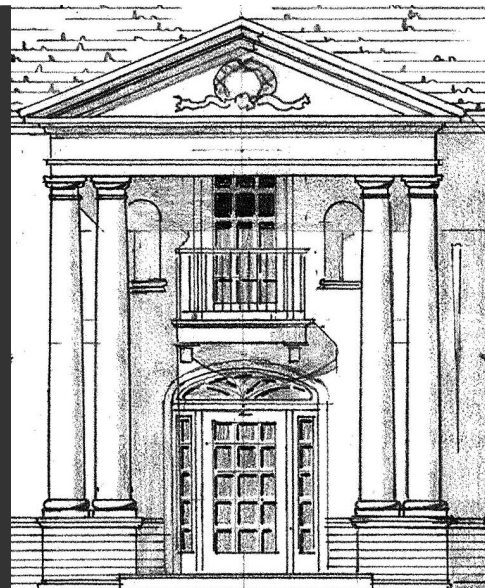


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DATE: 07/31/2020
JOB NUMBER: 1625
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PROPOSED UPPER FLOOR PLAN

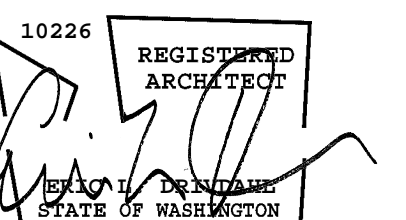
A2.3



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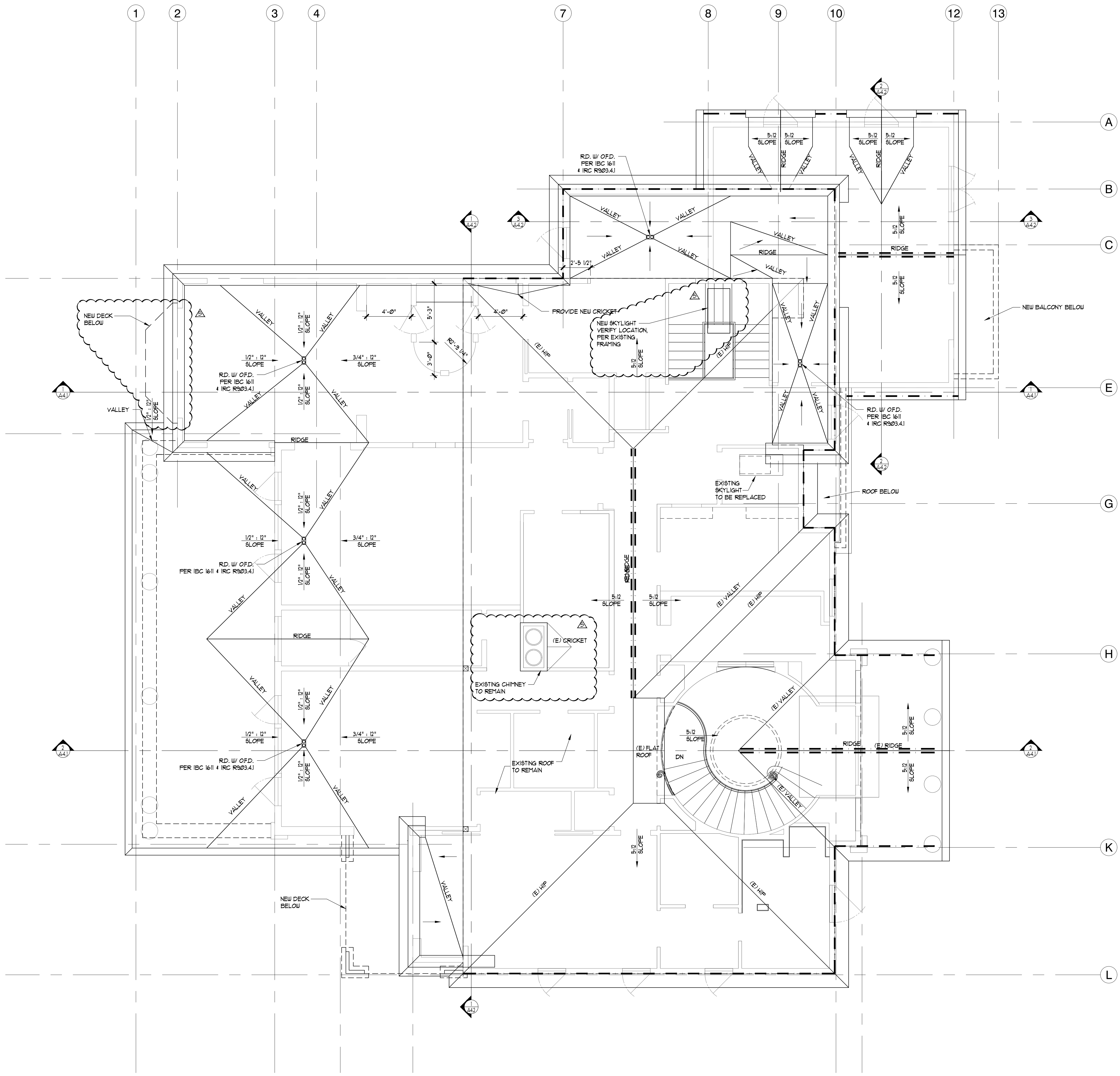
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10/30/18	REVISION 1	
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JOB NUMBER: 1625
PM: DKG
FILE: A2.4.dwg

PROPOSED ROOF PLAN

A2.4

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VENTILATION NOTES:

ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1 INCH OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/60 OF THE AREA OF THE SPACE VENTILATED.

OPENINGS FOR VENTILATION SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4 INCH IN DIMENSION.

ROOF VENT CALCULATIONS (ROOF A):

FITCHED ROOF AREA: 322 SF
REQUIRED VENTING AREA: 1/300 (322) = 1.07 SF VENT
TOTAL VENTING PROVIDED: 188 SF

ACTUAL VENTING AREA:

RIDGE VENTING: (40%-50% REQUIRED, 3'-0" ABOVE EAVE) = 0.43 SF MIN @ 0.4 SF MAX
VENTING PRODUCT: COR-A-VENT V-300 @ 13.5 SQ.IN. NFVA/LINEAL FOOT
(13.5/44 * 2937) 50. FT.)
5'-0" X 2937 CONTINUOUS RIDGE VENT = 0.41 SF

EAVE VENTING: (50% REQUIRED AT EAVE) = 0.54 SF MIN
VENTING PRODUCT: COR-A-VENT S-400 @ 10 SQ.IN. NFVA/LINEAL FOOT
(10/44 * 26944) 50. FT.)
20'-4" X 26944 CONTINUOUS RIDGE VENT = 1.41 SF

ROOF VENTING NOTES:

1) --- LINE OF VENTING
2) --- INSTALL CONTINUOUS RIDGE VENTS

ROOF VENT CALCULATIONS (ROOF B):

FITCHED ROOF AREA: 3831 SF
REQUIRED VENTING AREA: 1/300 (3831) = 12.77 SF VENT
TOTAL VENTING PROVIDED: 5.35 SF

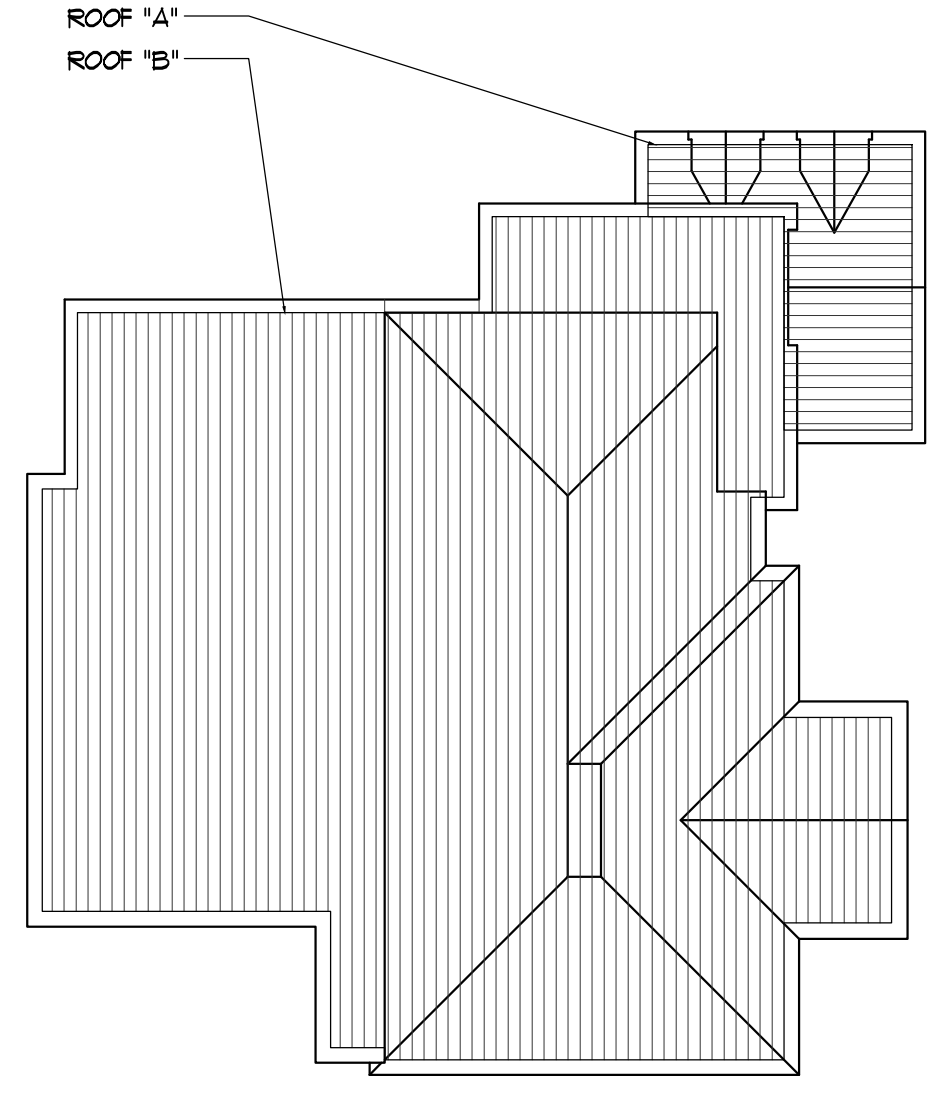
ACTUAL VENTING AREA:

RIDGE VENTING: (40%-50% REQUIRED, 3'-0" ABOVE EAVE) = 5.11 SF MIN @ 0.39 SF MAX
VENTING PRODUCT: COR-A-VENT V-600 (ON BOTH SIDES OF RIDGE) = 20 SQ.IN. NFVA/LINEAL FOOT
(20/44 * 3889) 50. FT.)
39'-9" X 3889 CONTINUOUS RIDGE VENT = 5.52 SF

EAVE VENTING: (50% REQUIRED AT EAVE) = 6.39 SF MIN
VENTING PRODUCT: COR-A-VENT S-400 @ 10 SQ.IN. NFVA/LINEAL FOOT
(10/44 * 26944) 50. FT.)
141'-6" X 26944 CONTINUOUS RIDGE VENT = 9.83 SF

ROOF VENTING NOTES:

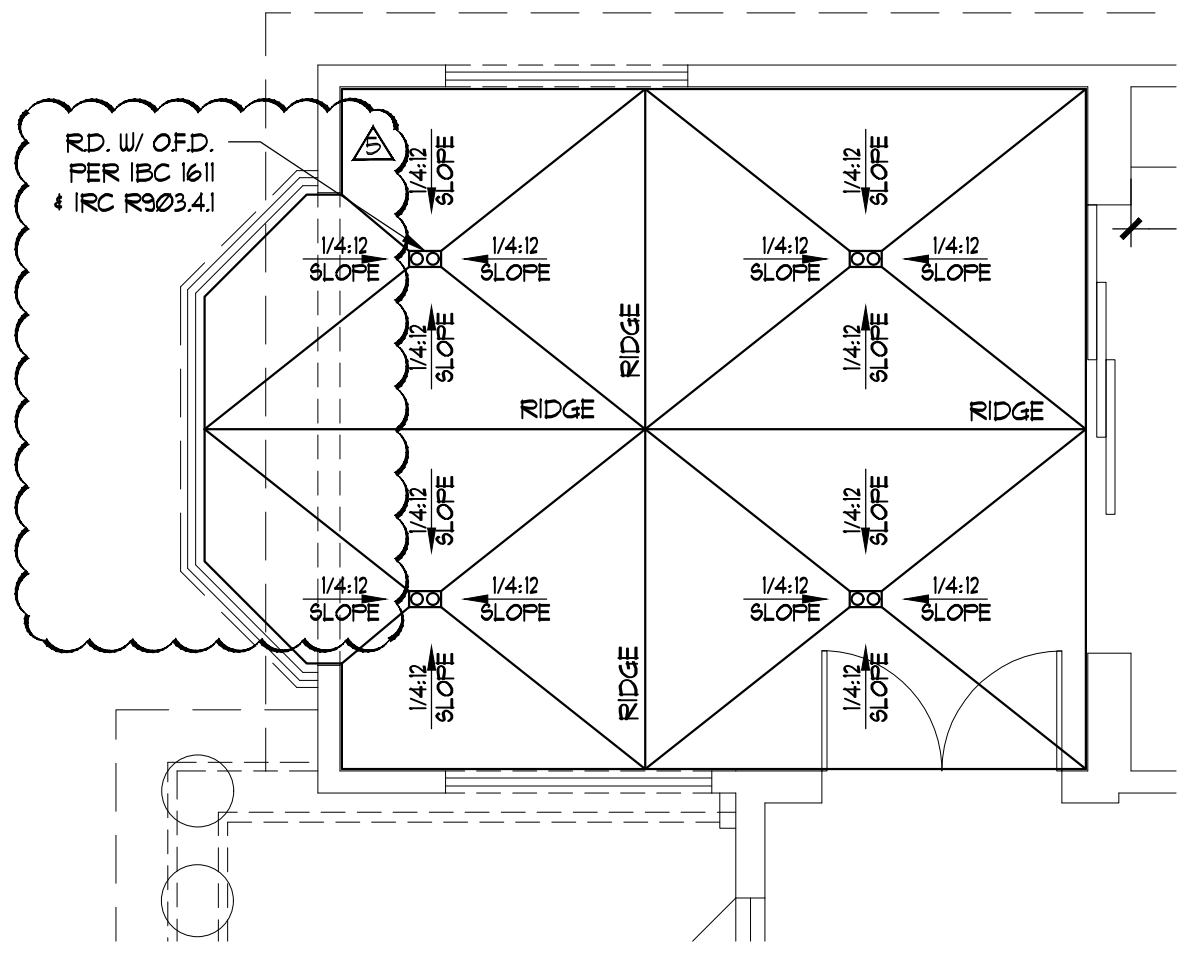
1) --- LINE OF VENTING
2) --- INSTALL CONTINUOUS RIDGE VENTS



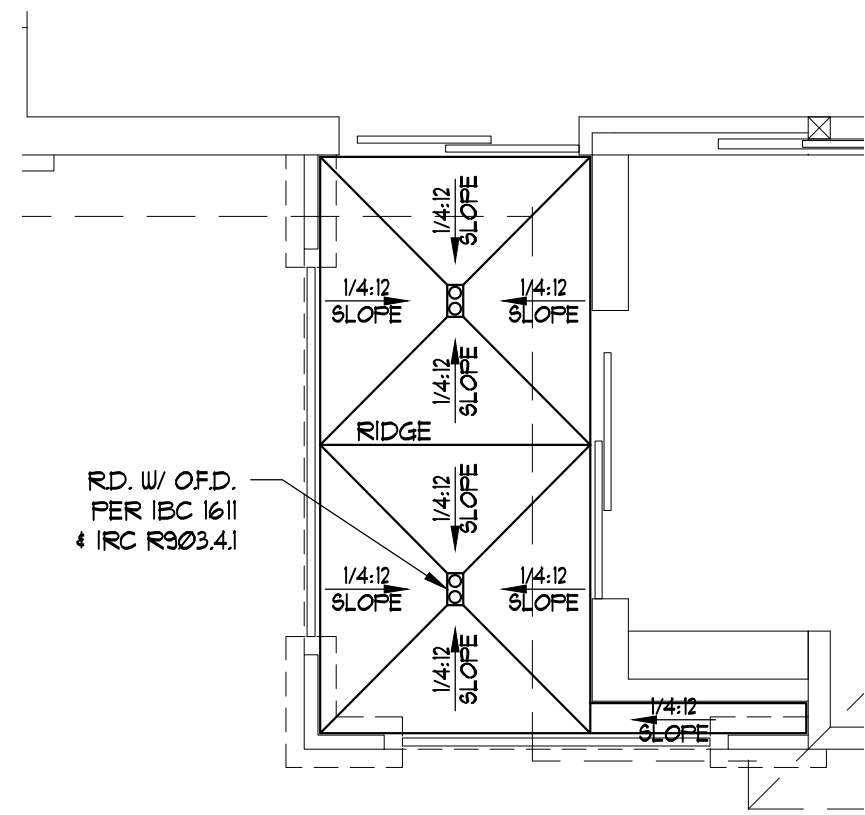
1 ROOF PLAN
SCALE: 1/4" = 1'-0"

0 1 2 4 8 12 FT.

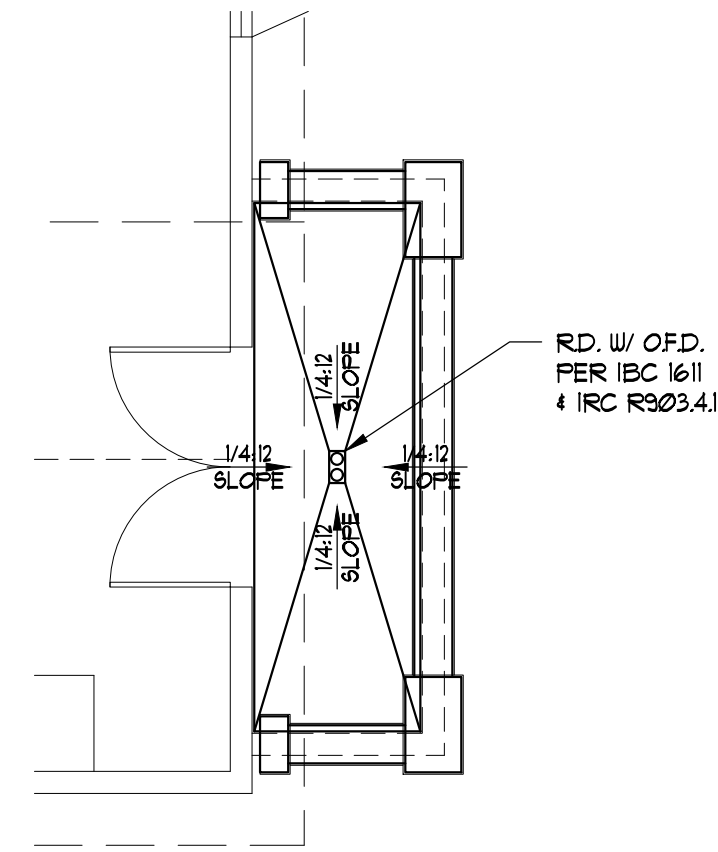
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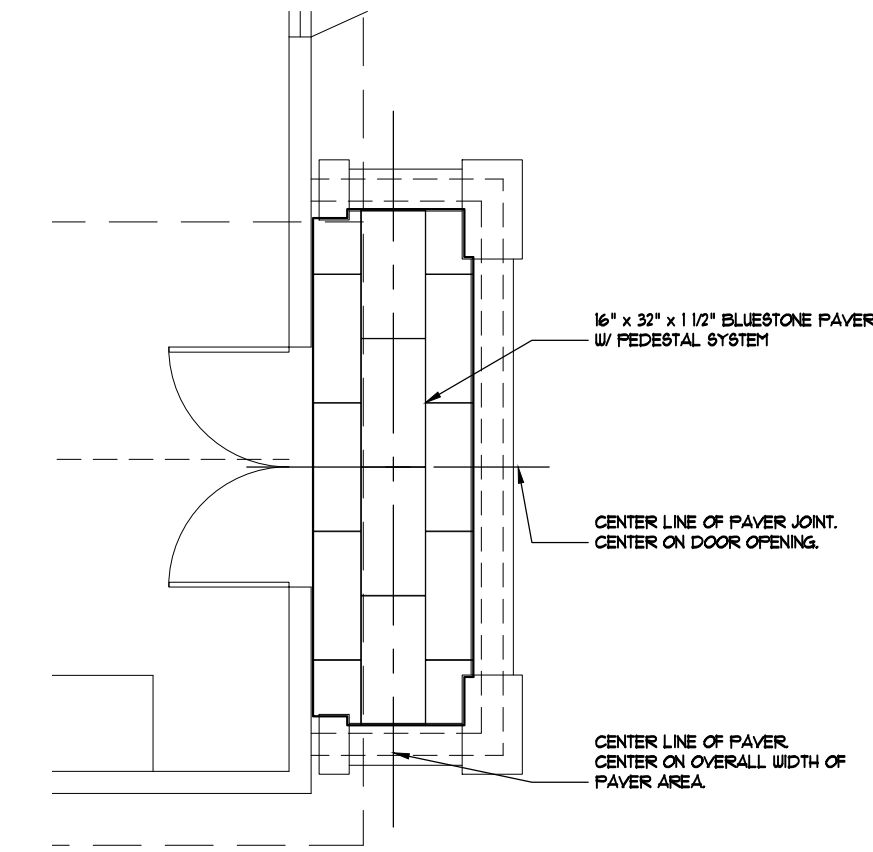
1 UPPER FLOOR COVERED DECK DRAINAGE PLAN
SCALE: 1/4" = 1'-0"



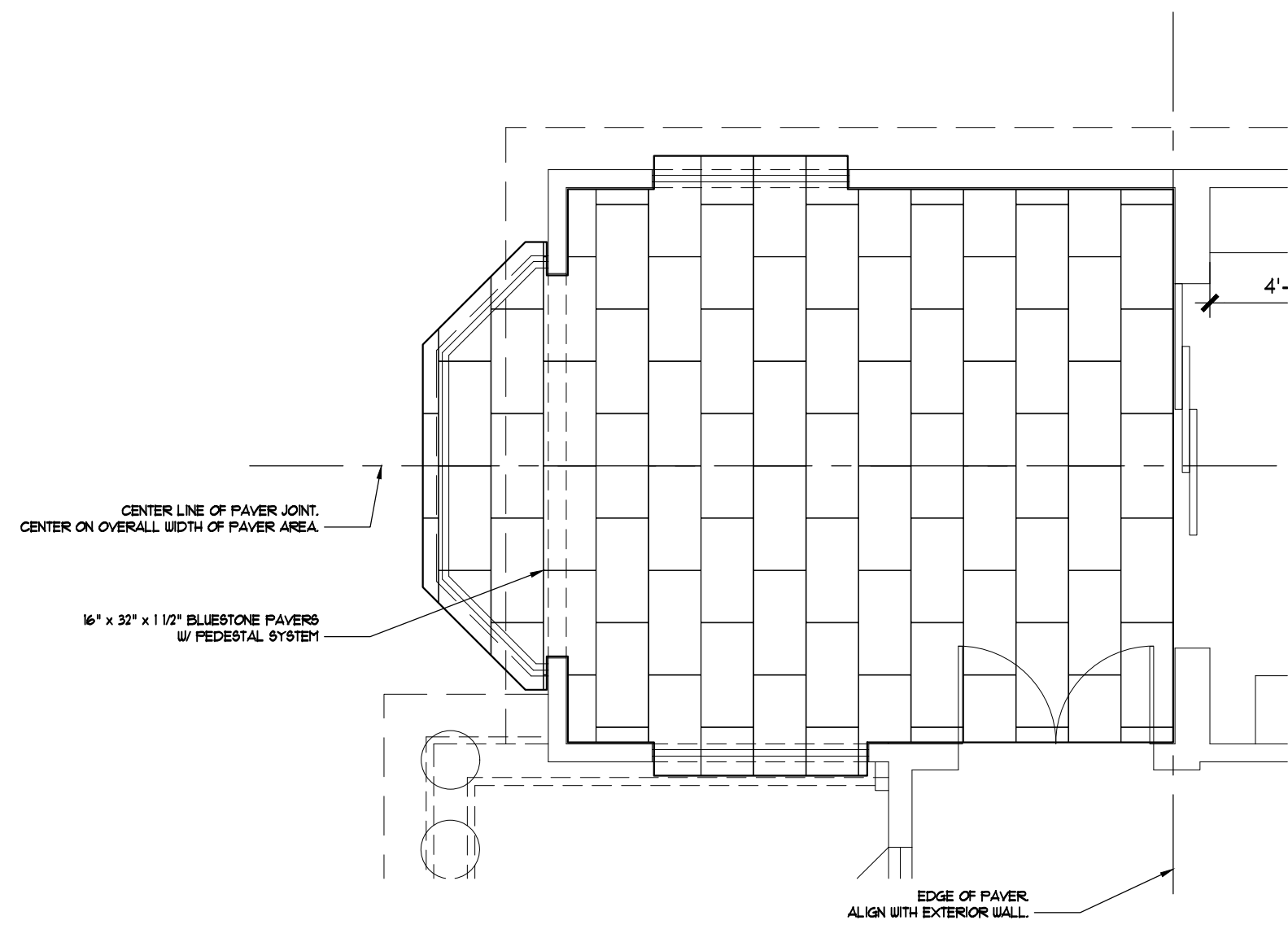
2 UPPER FLOOR DECK DRAINAGE PLAN
SCALE: 1/4" = 1'-0"



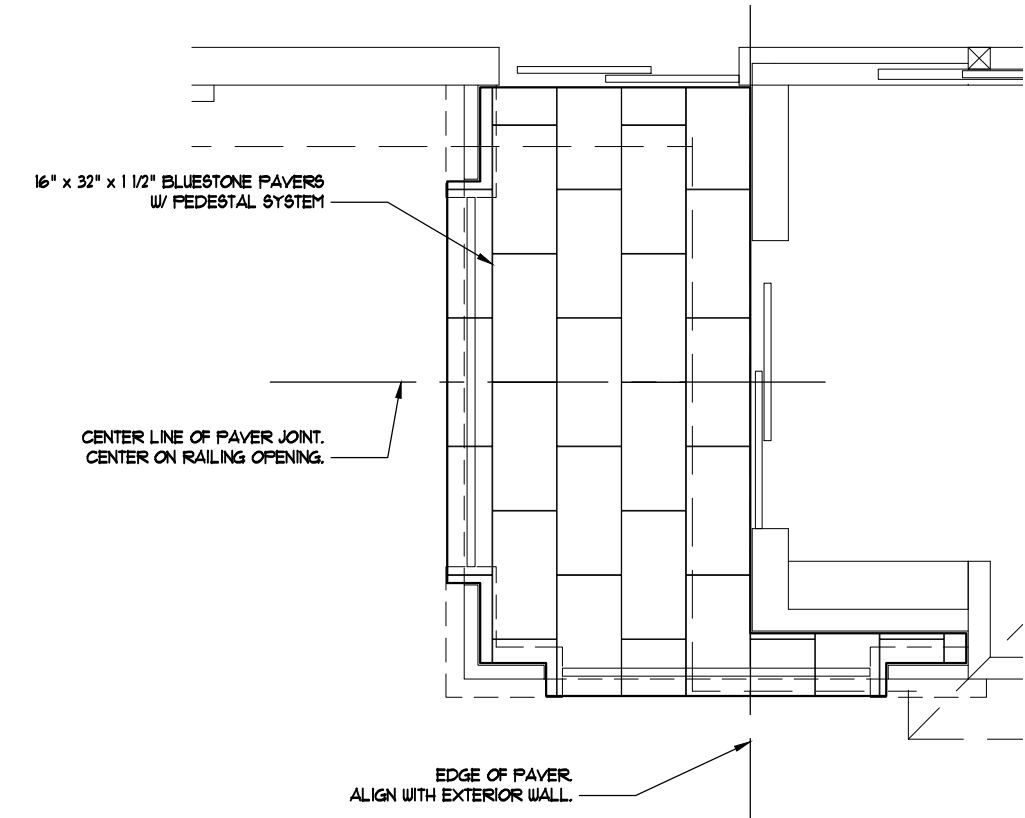
3 UPPER FLOOR BALCONY DRAINAGE PLAN
SCALE: 1/4" = 1'-0"



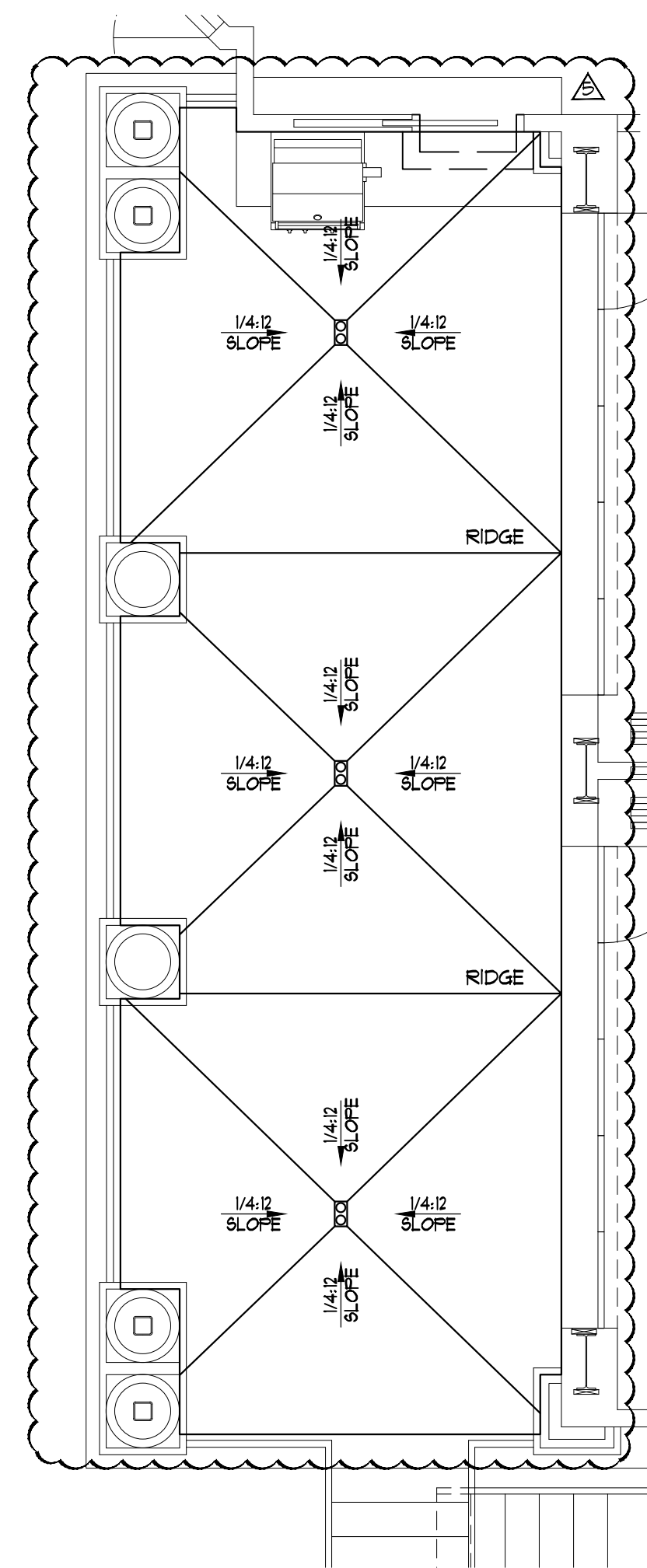
3A UPPER FLOOR BALCONY FINISH PLAN
SCALE: 1/4" = 1'-0"



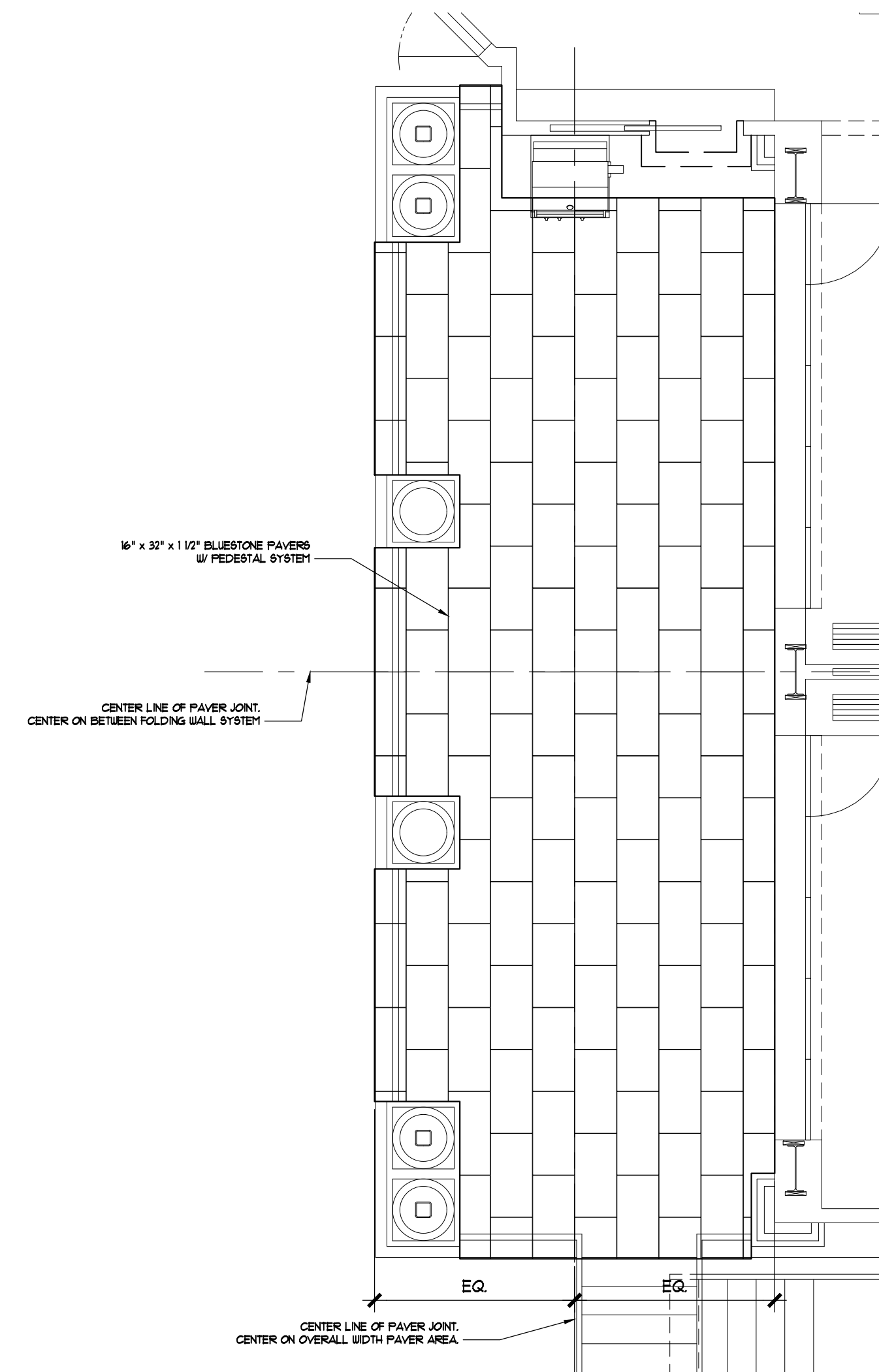
1A UPPER FLOOR COVERED DECK FINISH PLAN
SCALE: 1/4" = 1'-0"



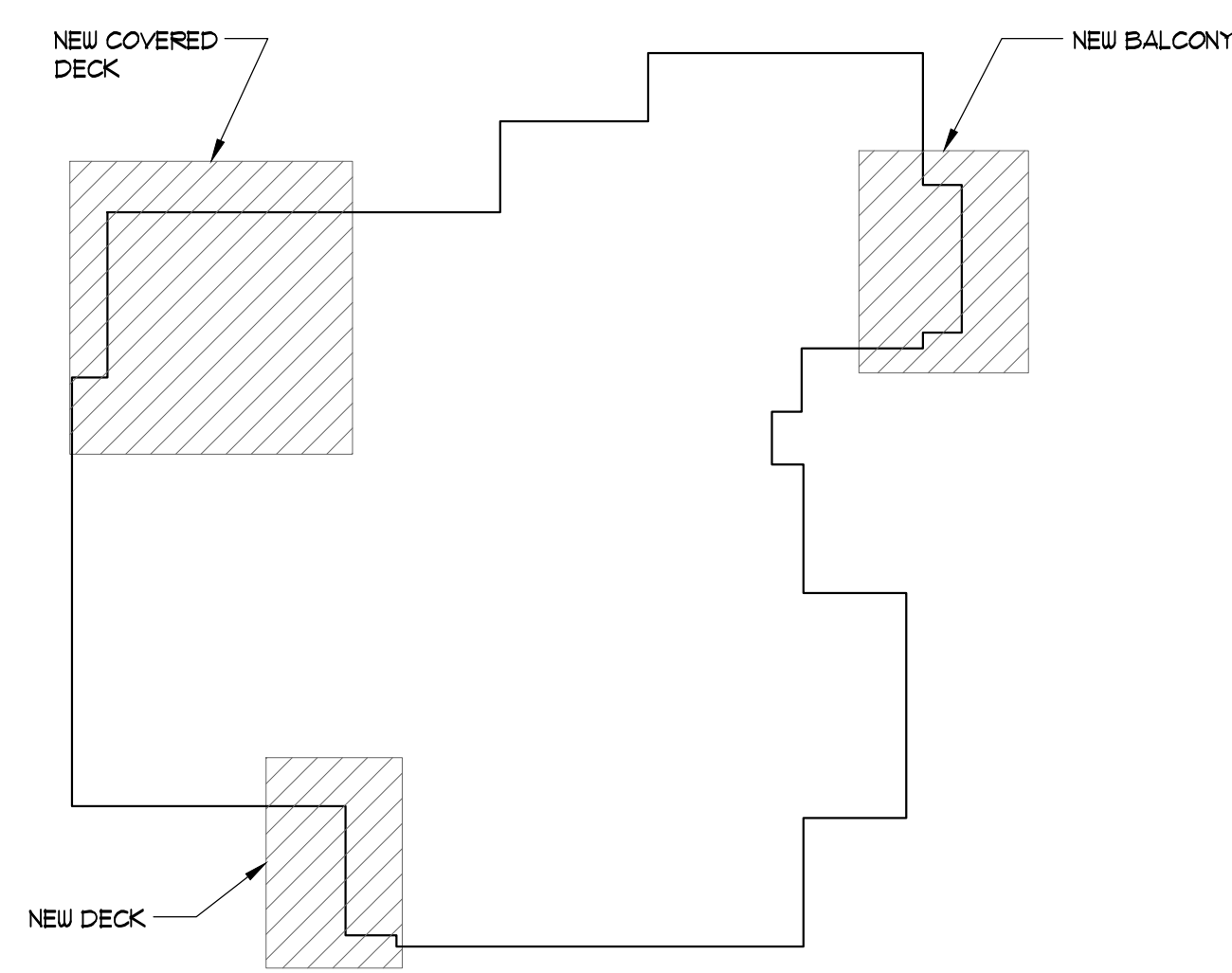
2A UPPER FLOOR DECK FINISH PLAN
SCALE: 1/4" = 1'-0"



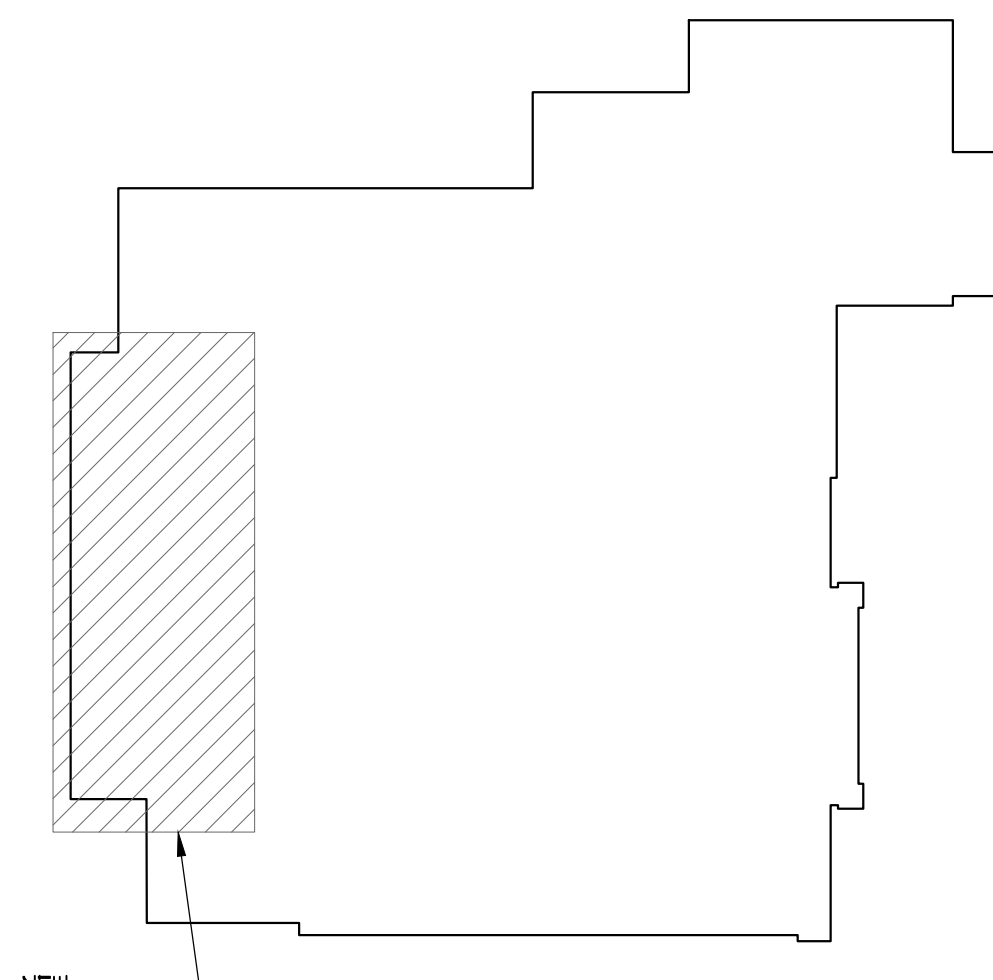
4 MAIN FLOOR COVERED DECK DRAINAGE PLAN
SCALE: 1/4" = 1'-0"



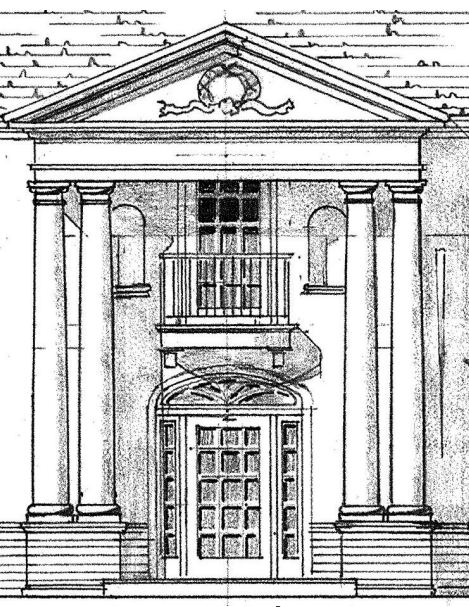
4A MAIN FLOOR COVERED DECK FINISH PLAN
SCALE: 1/4" = 1'-0"



UPPER FLOOR KEYPLAN



MAIN FLOOR KEY PLAN

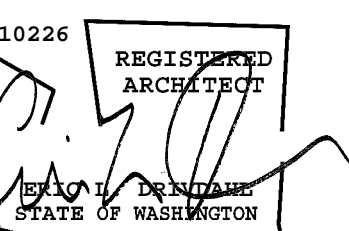


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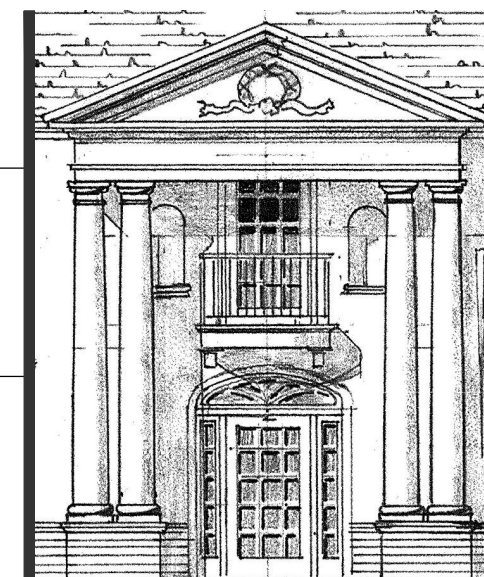


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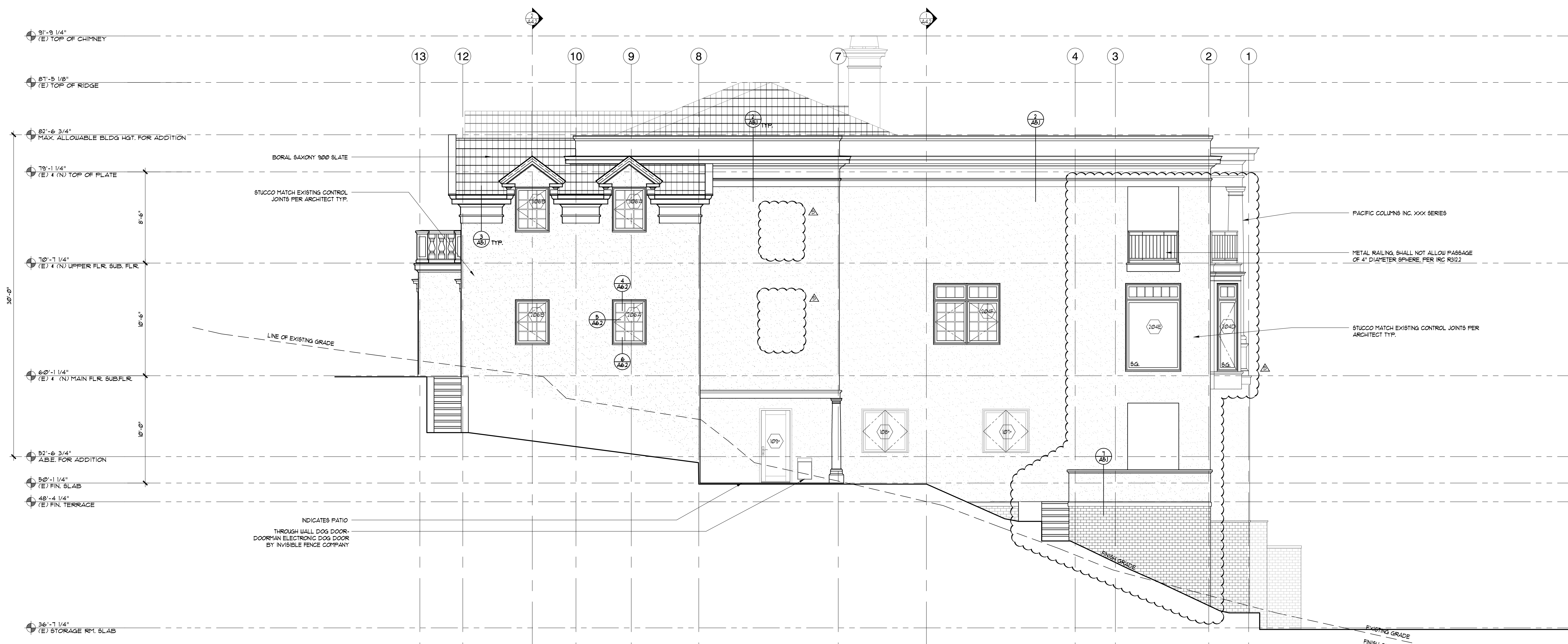
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PROPOSED DECK
DRAINAGE PLANS

A2.5



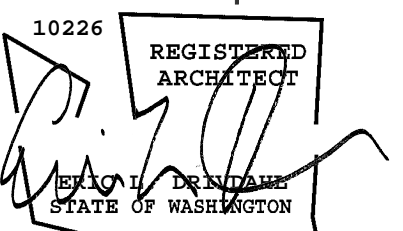
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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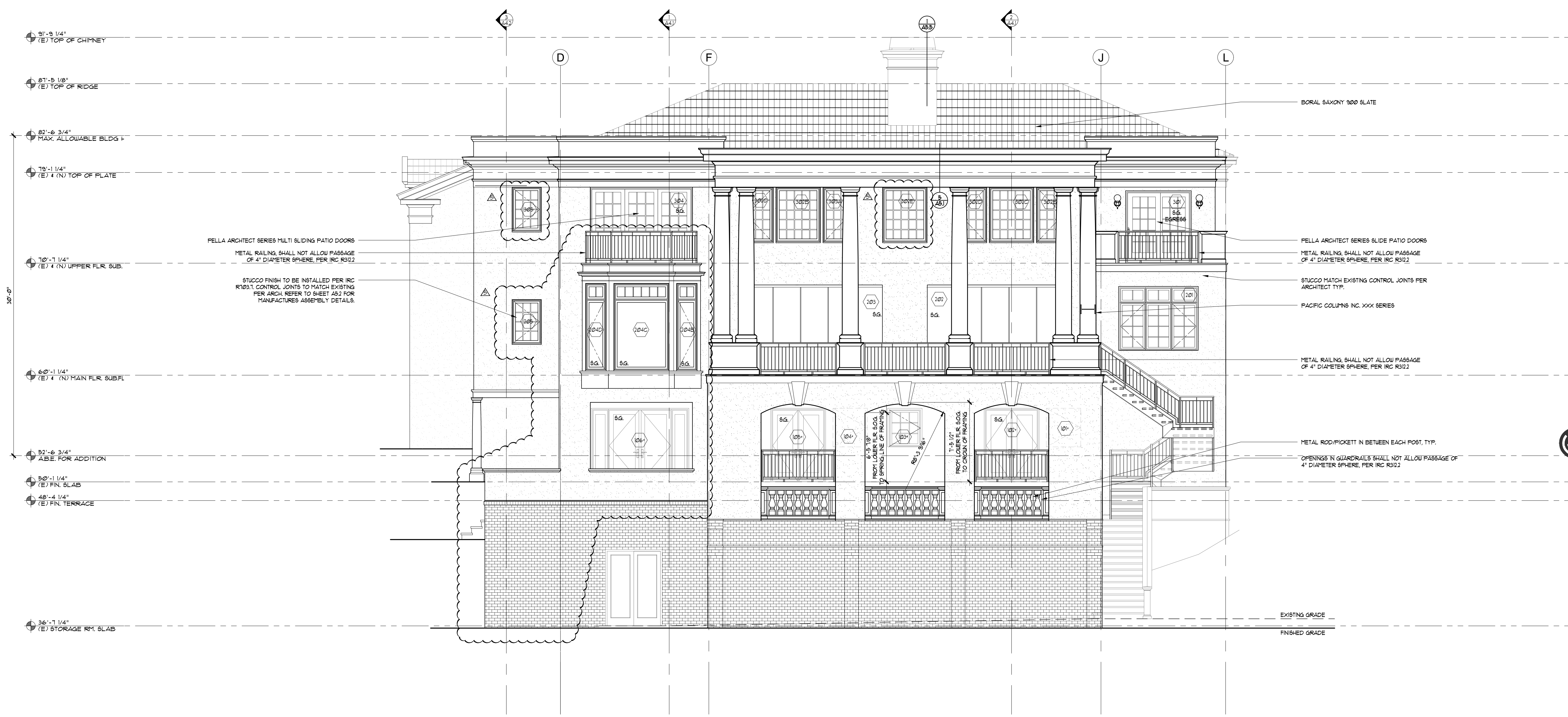
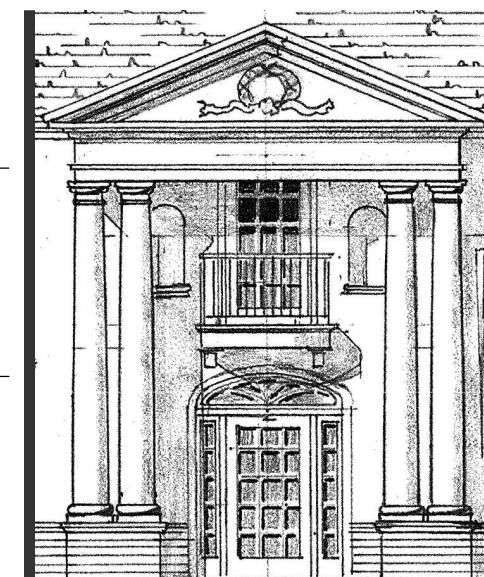


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PK: DKG
FILE: A3.1.dwg

PROPOSED
EXTERIOR
ELEVATIONS

A3.1

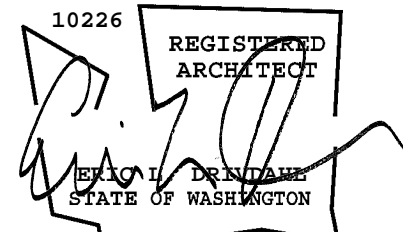


1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



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Mercer Island, WA 98040-5129

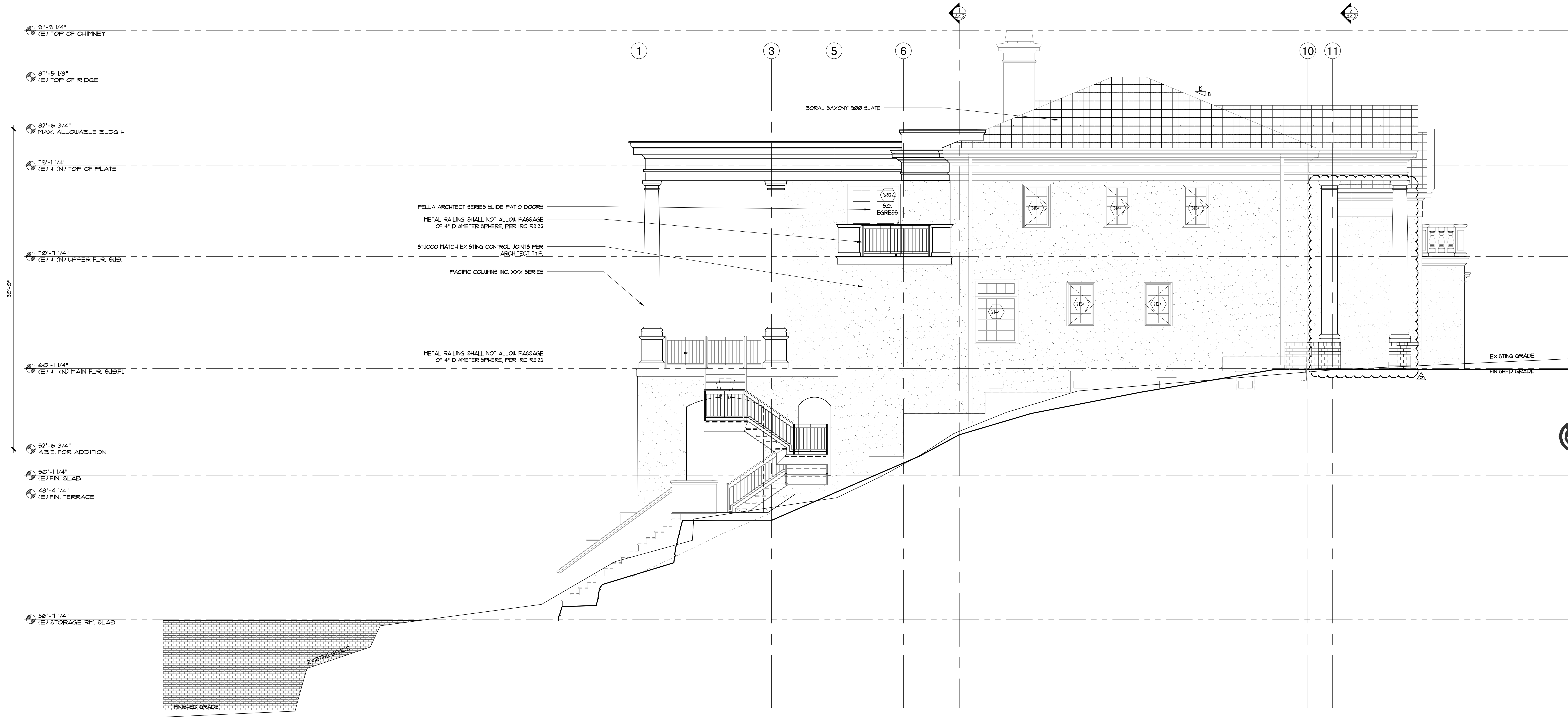
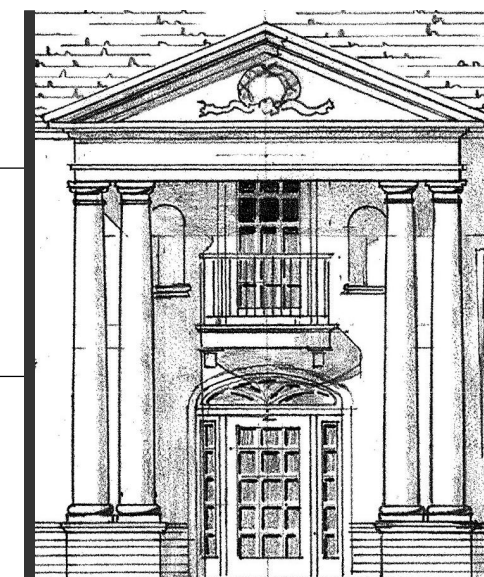


NO.	DATE	REVISION
5	07/31/20	OWNER REV. #1
	05/14/20	CONST. SET. #1
	06/26/19	REVISION 4
	05/24/19	REVISION 3
	03/02/19	REVISION 2
	10/30/18	REVISION 1
	07/18/17	PERMIT SET

DATE: 07/31/2020
JOB NUMBER: 1625
PM: DKG
FILE: A3.1.dwg

PROPOSED
EXTERIOR
ELEVATIONS

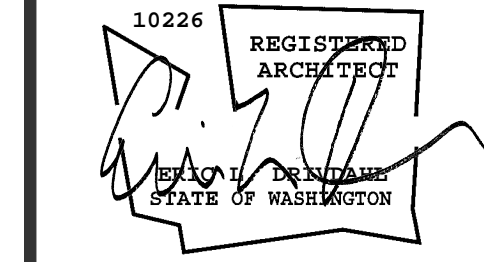
A3.2



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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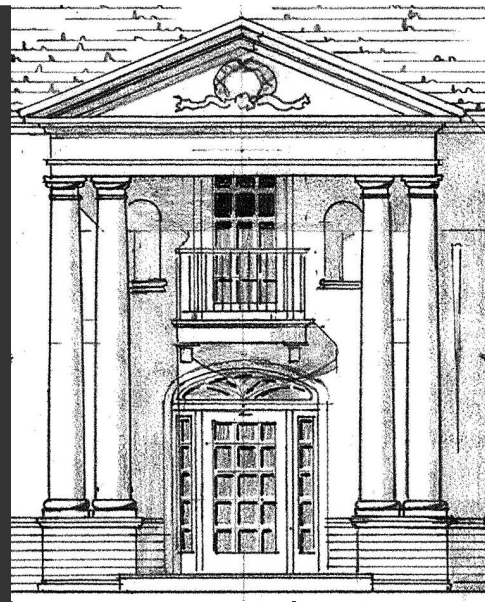


NO.	DATE	REVISION
5	07/31/20	OWNER REV. #1
	05/14/20	CONST. SET. #1
	06/26/19	REVISION 4
	05/24/19	REVISION 3
	03/02/19	REVISION 2
	10/30/18	REVISION 1
	07/18/17	PERMIT SET

DATE: 07/31/2020
JOB NUMBER: 1625
PM: DKG
FILE: A3.1.dwg

PROPOSED
EXTERIOR
ELEVATIONS

A3.3



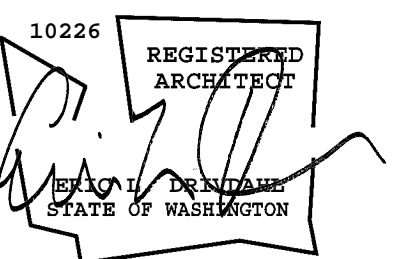
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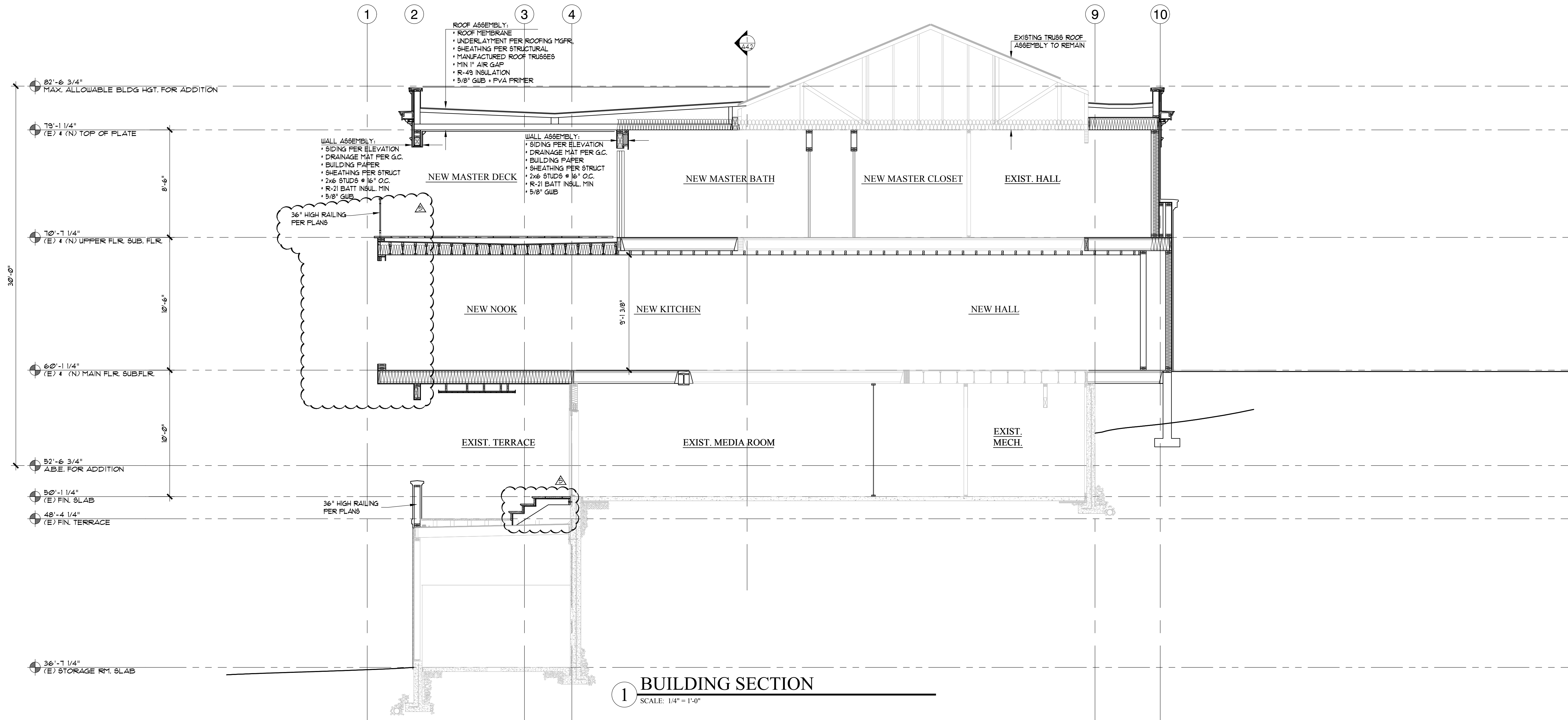
NO.	DATE	REVISION
1	07/31/20	OWNER REV. #1
2	05/14/20	CONST. SET. #1
3	06/26/19	REVISION 4
4	05/24/19	REVISION 3
5	03/02/19	REVISION 2
6	10/30/18	REVISION 1
7	07/18/17	PERMIT SET

DATE: 07/31/2020
JOB NUMBER: 1625
PM: DKG
FILE: A4.1.dwg

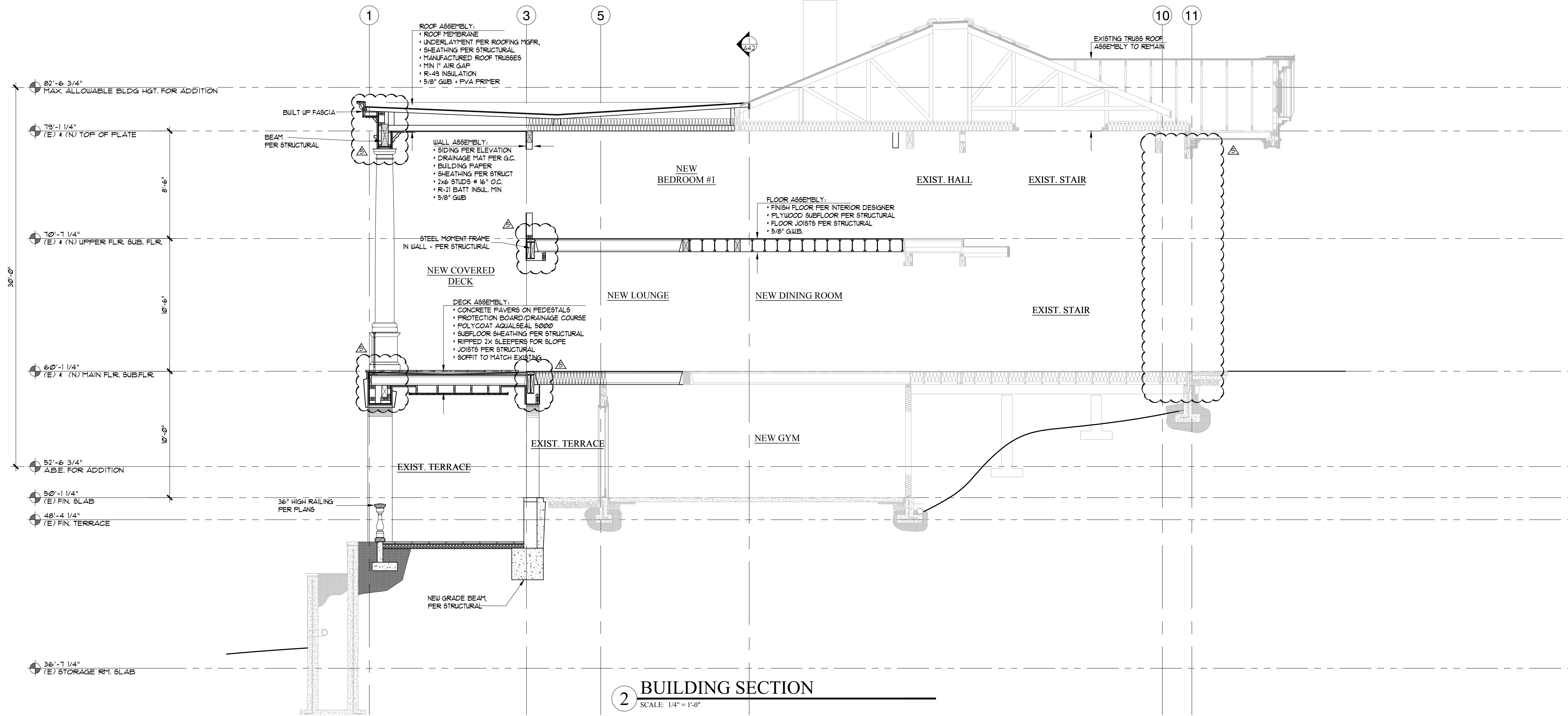
PROPOSED
BUILDING
SECTIONS

A4.1

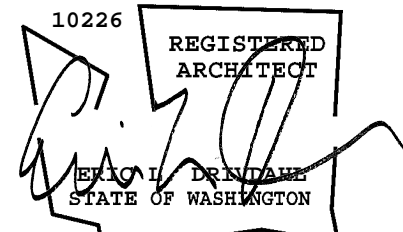
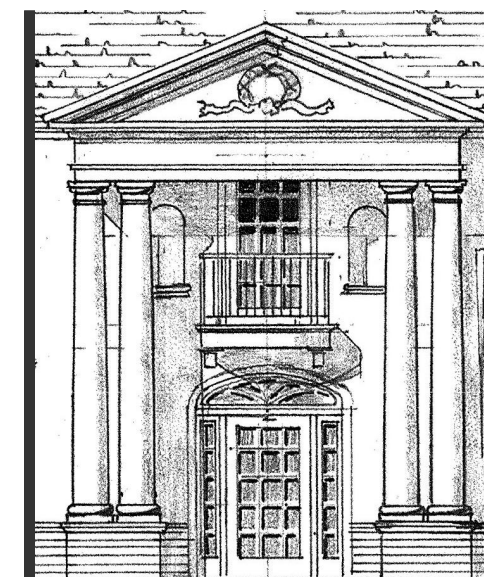
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1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

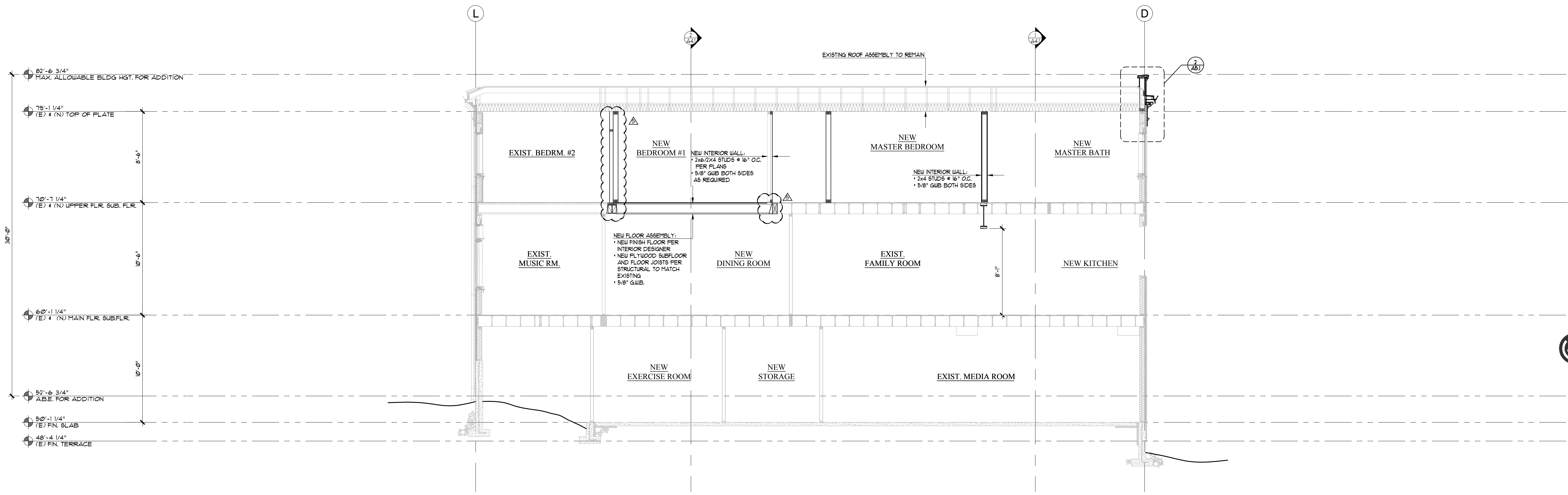


NO.	DATE	REVISION
07/31/20	OWNER REV. #1	
05/14/20	CONST. SET. #1	
06/26/19	REVISION 4	
05/24/19	REVISION 3	
03/02/19	REVISION 2	
10/30/18	REVISION 1	
07/18/17	PERMIT SET	

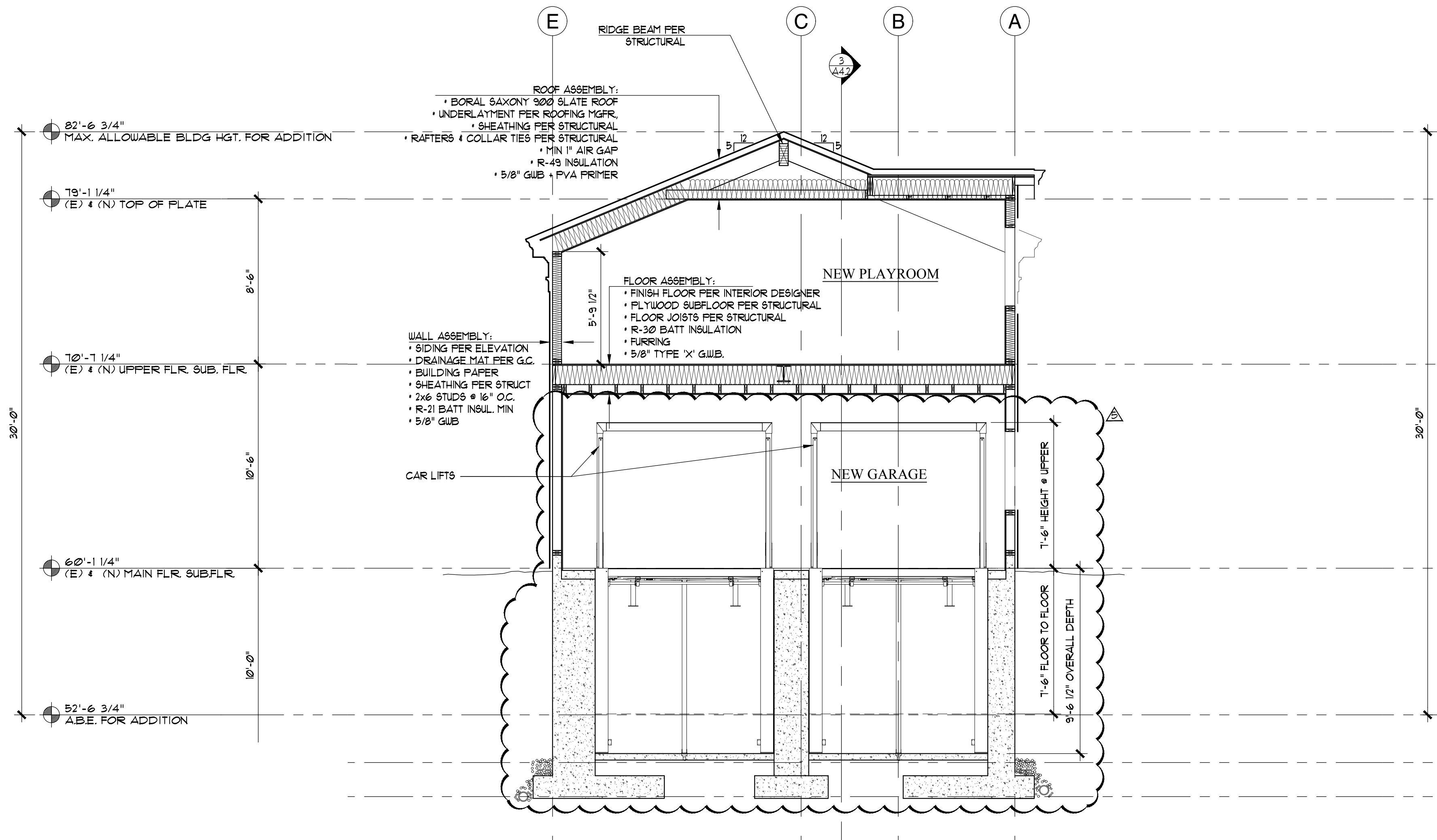
DATE: 07/31/2020
JOB NUMBER: 1625
P/N: DKG
FILE: A4.1.dwg

PROPOSED BUILDING SECTIONS

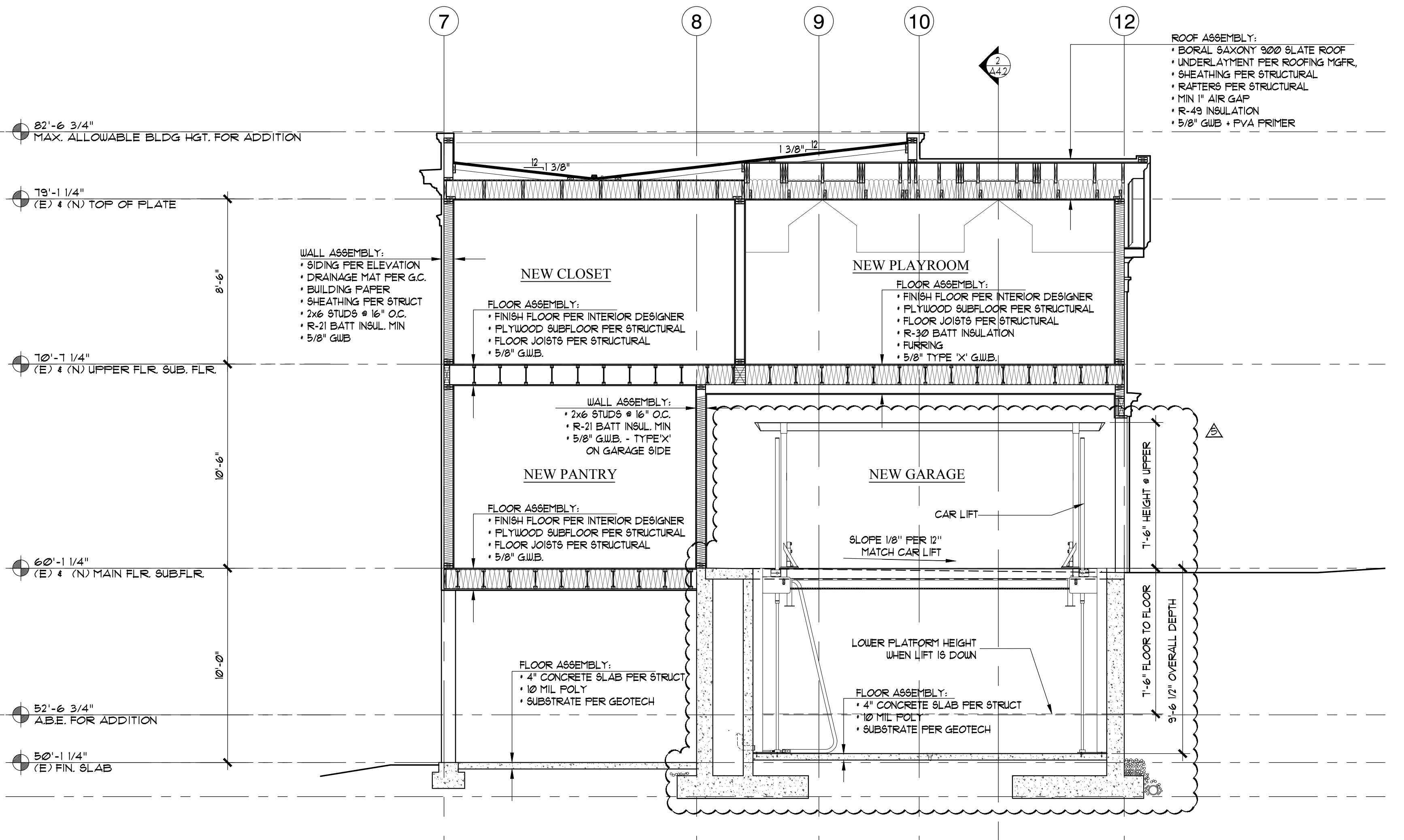
A4.2



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



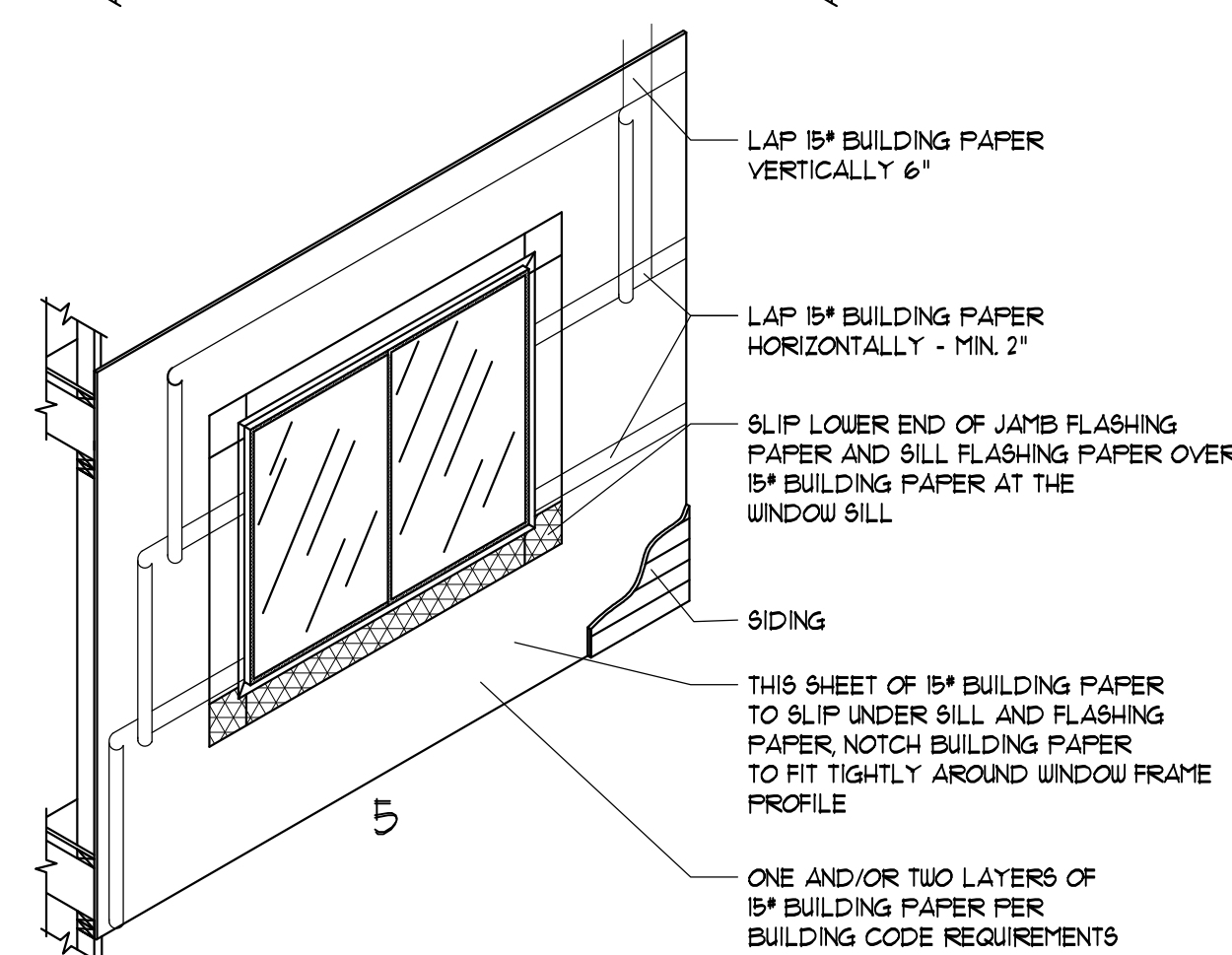
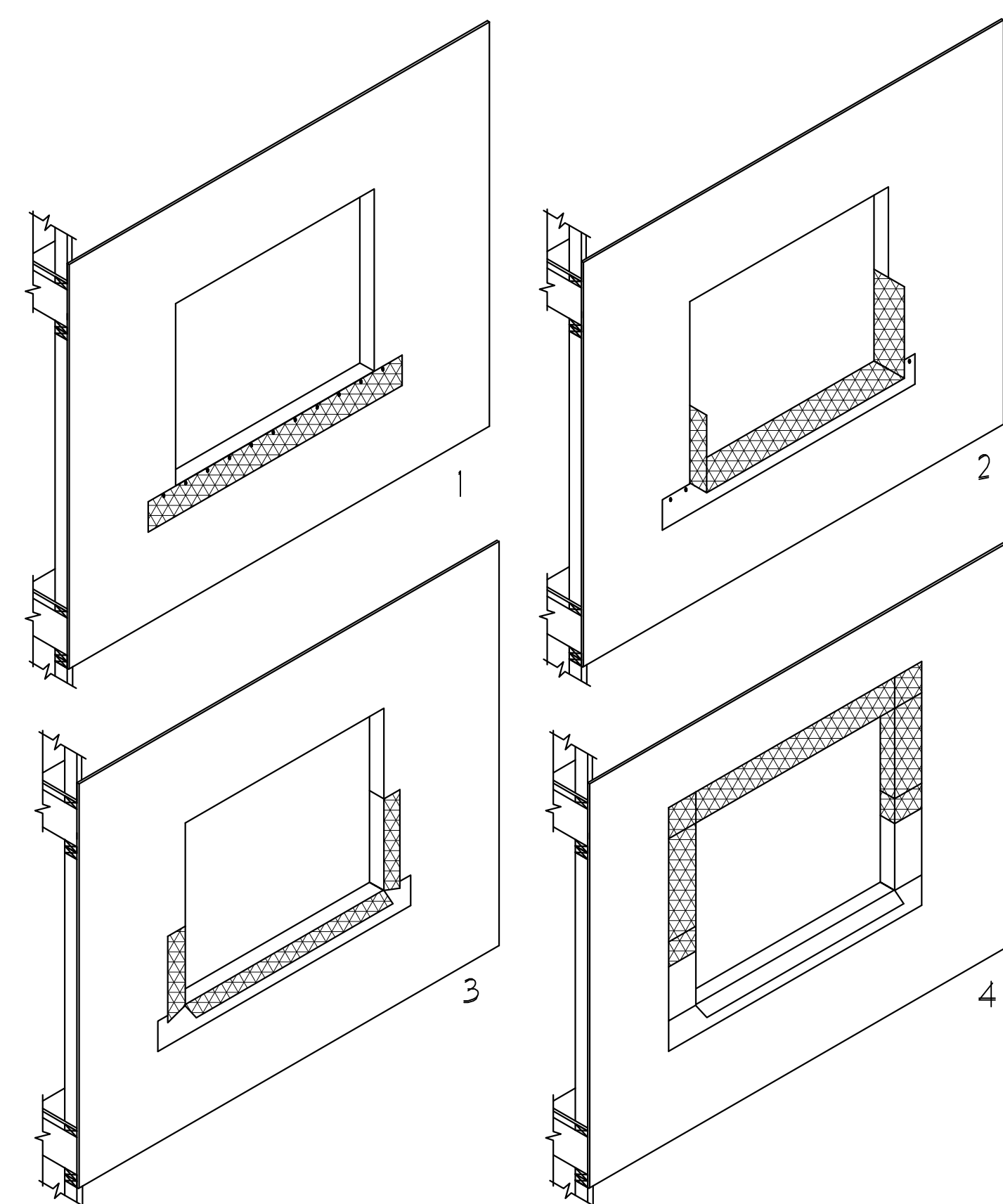
3 BUILDING SECTION
SCALE: 1/4" = 1'-0"

EXTERIOR WINDOW & DOOR SCHEDULE								
#	WIDTH	HEIGHT	HEADER-HEIGHT	TYPE	GRILLES	EGRESS	SAFETY-GLASS	REMARKS
101*	2'-5 3/4" (E)	3'-5 3/4" (E)		U1	YES			CASEMENT
102*	5'-0" (E)	6'-10" (E)		D10		YES		DOUBLE OUTSWING
103*	2'-11 3/4" (E)	3'-5 3/4" (E)		U1	YES			CASEMENT
104*	2'-5 3/4" (E)	3'-5 3/4" (E)		U1	YES			CASEMENT
105*	5'-0" (E)	6'-10" (E)		D10		YES		DOUBLE OUTSWING
106*	9'-0" (E)	6'-10" (E)		D9		YES		DOUBLE OUTSWING W/ SIDELIGHTS
107*	4'-2 3/4" (E)	3'-11 3/4" (E)		U10	YES			MULLED CASEMENT
108*	4'-2 3/4" (E)	3'-11 3/4" (E)		U8	YES			MULLED CASEMENTS
109*	2'-5 3/4" (E)	6'-10" (E)		D8		YES		OUTSWING EXT. DOOR
201	7'-3 3/4"	5'-10 3/4"		U1	YES			CENTER FIXED SIDE CASEMENTS MULLED
202	12'-11"	8'-6"		D4		YES		NANAWALL HSU-60
203	12'-11"	8'-6"		D4		YES		NANAWALL HSU-60
204A	3'-0"	5'-4"		U5		YES		NANAWALLS POCKET
204B	2'-6 1/2"	8'-0 5/8"		U5	TRANSOM ONLY	YES		CASEMENT W/ TRANSOM
204C	5'-1"	8'-0 5/8"		U4	TRANSOM ONLY	YES		FIXED W/ TRANSOM
204D	2'-6 1/2"	8'-0 5/8"		U5	TRANSOM ONLY	YES		CASEMENT W/ TRANSOM
204E	5'-1"	8'-0 5/8"		U4	TRANSOM ONLY	YES		FIXED W/ TRANSOM
204F	6'-0 1/2"	5'-6 1/2"		U6	YES			MULLED CASEMENT
205	2'-5 1/2"	4'-0 1/2"		U1	YES			CASEMENT
206A	3'-0 1/2"	4'-0 1/2"		U1	YES			CASEMENT
206B	3'-0 1/2"	4'-0 1/2"		U1	YES			CASEMENT
206C	9'-0"	7'-9"		D6				OVERHEAD DOOR
206D	9'-0"	7'-9"		D6				OVERHEAD DOOR
207	2'-8"	8'-6"		D7				SINGLE SWING DOOR W/ TRANSOM
208	6'-0 1/2"	4'-0 1/2"		U8	YES			MULLED CASEMENT
309*	5'-5 3/4" (E)	5'-5 3/4" (E)		U11	YES			MULLED CASEMENT CENTER FIXED
210*	6'-2"	8'-6 5/8"		D5				FRONT ENTRY DOOR
211*	5'-5 3/4" (E)	5'-5 3/4" (E)		U11	YES	YES		MULLED CASEMENT CENTER FIXED
212*	2'-5 3/4" (E)	3'-11 3/4" (E)		U1	YES			CASEMENT
213*	2'-5 3/4" (E)	3'-11 3/4" (E)		U1	YES			CASEMENT
214*	5'-11 3/4" (E)	5'-10 3/4" (E)		U3	YES			FIXED W/ TRANSOM
301	6'-0"	6'-10"		D2	YES	YES	YES	DOUBLE SLIDING DOOR
302A	5'-0"	6'-10"		D2		YES	YES	DOUBLE SLIDING DOOR
307B	2'-6 1/2"	5'-0 1/2"		U1	YES			CASEMENT
307C	4'-0 1/2"	5'-0 1/2"		U2	YES			FIXED CASEMENT
307D	2'-6 1/2"	5'-0 1/2"		U1	YES			CASEMENT
307E	4'-0 1/2"	5'-0 1/2"		U2	YES			FIXED CASEMENT
303A	2'-6 1/2"	5'-0 1/2"		U1	YES			CASEMENT
303B	4'-0 1/2"	5'-0 1/2"		U2	YES			FIXED CASEMENT
303C	2'-6 1/2"	5'-0 1/2"		U1	YES			CASEMENT
303D	5'-0"	6'-10"		D1	YES	YES	YES	DOUBLE OUTSWING
304	9'-4"	6'-10"		D3	YES		YES	MULTI-SLIDING DOOR
305	2'-5 1/2"	4'-0 1/2"		U1	YES			CASEMENT
306A	3'-0 1/2"	4'-0 1/2"		U1	YES			CASEMENT
306B	3'-0 1/2"	4'-0 1/2"		U1	YES			CASEMENT
306C	4'-0 1/2"	4'-0 1/2"		U8	YES			MULLED CASEMENTS
306D	5'-0"	6'-10"		D1	YES	YES		DOUBLE INSWING
307	3'-0 1/2"	4'-0 1/2"		U1	YES			CASEMENT
308*	2'-11 3/4" (E)	3'-11 3/4" (E)		U2	YES			FIXED CASEMENT W/ EXT SHUTTERS
310				D5	YES			FIXED SPECIAL
312*	2'-11 3/4" (E)	3'-11 3/4" (E)		U1	YES			CASEMENT W/ EXT SHUTTERS
313*	2'-5 3/4" (E)	3'-11 3/4" (E)		U1	YES			CASEMENT
314*	2'-5 3/4" (E)	3'-11 3/4" (E)		U1	YES			CASEMENT
315*	2'-5 3/4" (E)	3'-11 3/4" (E)		U1	YES			CASEMENT
333*	1'-10 1/2" (E)			U2	YES			FIXED CIRCULAR

NOTE:

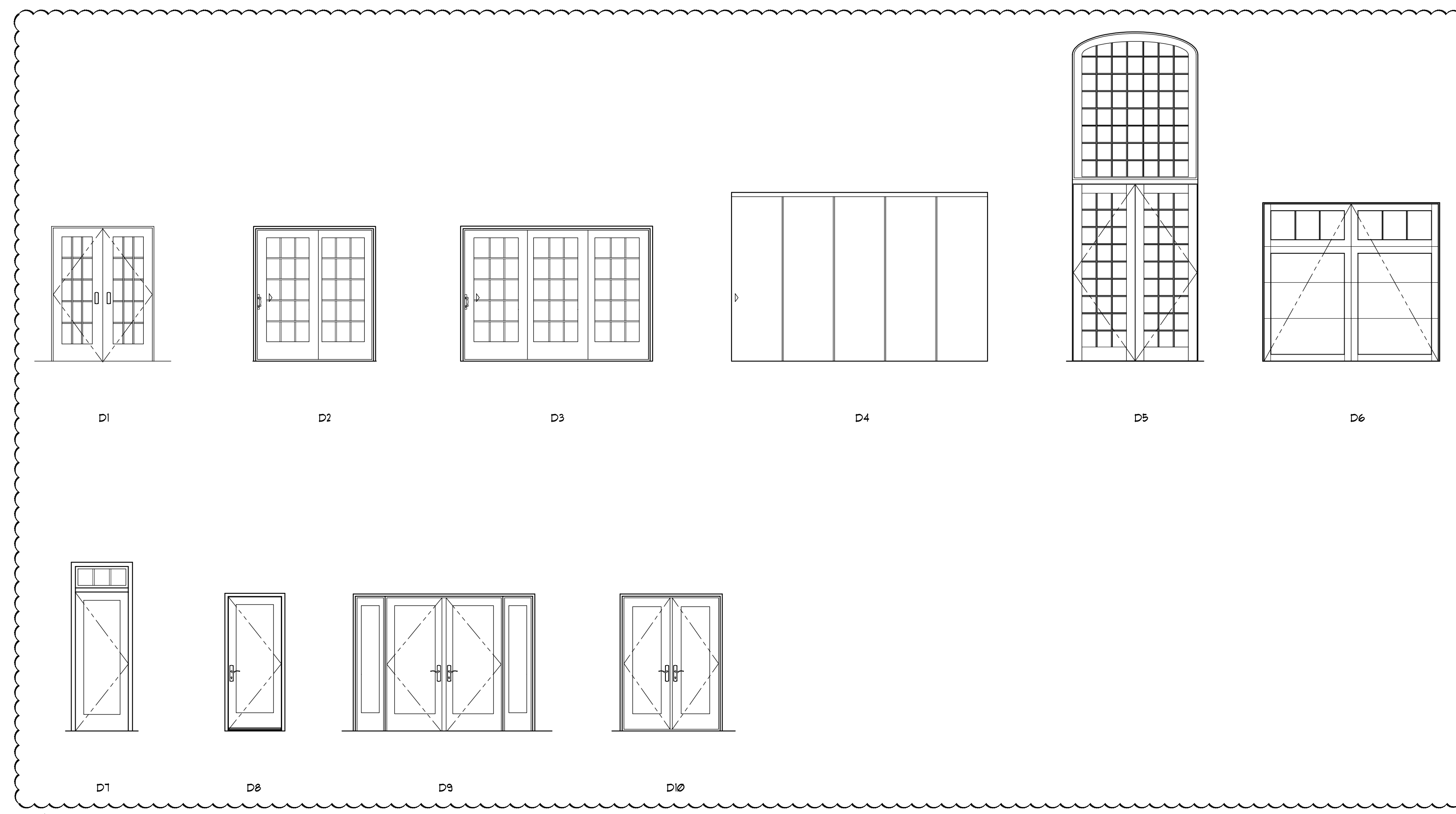
1. TAGS XXXX INDICATES EXISTING WINDOW OR DOOR THAT WILL BE REPLACED
2. SIZES WITH (E) INDICATE EXISTING WINDOW OR DOOR AND NEED TO BE VERIFIED AT FIELD

SKYLIGHT SCHEDULE				
#	WIDTH	HEIGHT	SKYLIGHT HT	REMARKS
A*	2'-0" (E)	4'-0" (E)		FIXED, VERIFY SIZE
B	2'	4'		WILL NEED TO REVIEW EXISTING FRAMING FOR LOCATION



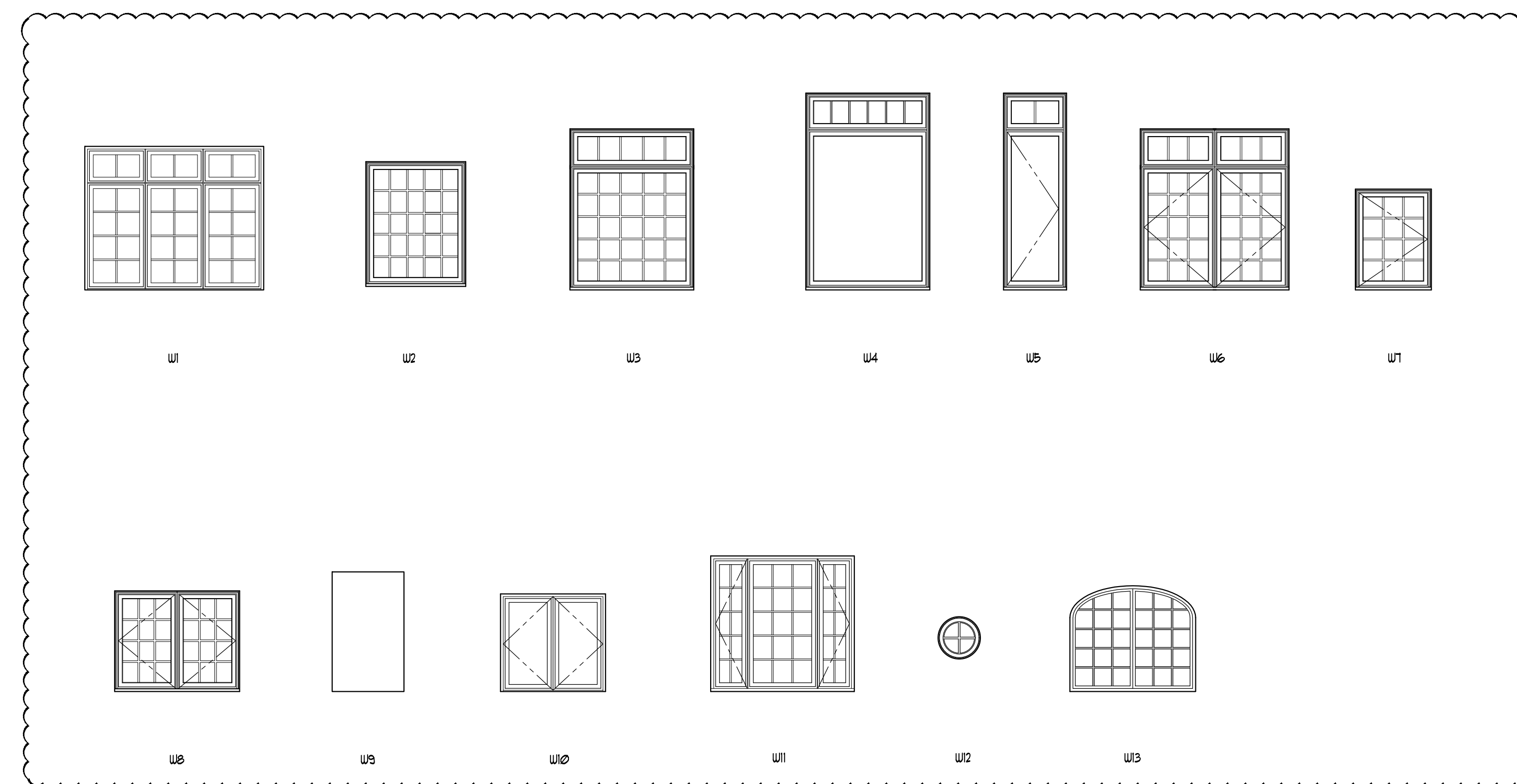
NOTE: ALTERNATE METHOD OF FLASHING A WINDOW IS TO INSTALL A MOISTURE BARRIER PAPER TO THE OUTSIDE SURFACE IN THE SAME OPERATION THAT YOU WOULD BE WRAPPING THE ROUGH INSIDE SURFACE OPENING.

THE NAIL ON WINDOW WOULD BE INSTALLED OVER THE FLASHING SYSTEM



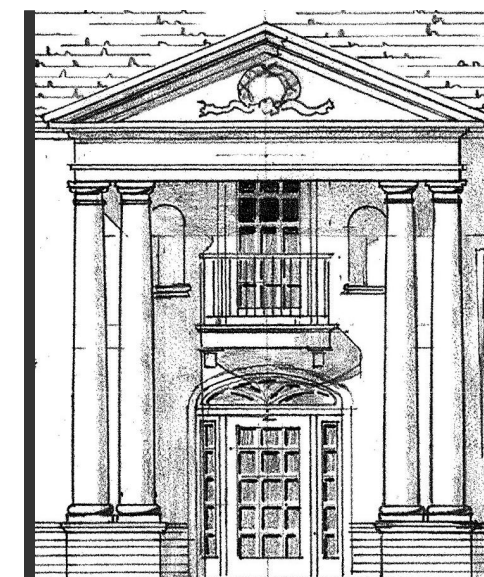
DOOR TYPES

SCALE: 1/4" = 1'-0"



WINDOW TYPES

SCALE: 1/4" = 1'-0"



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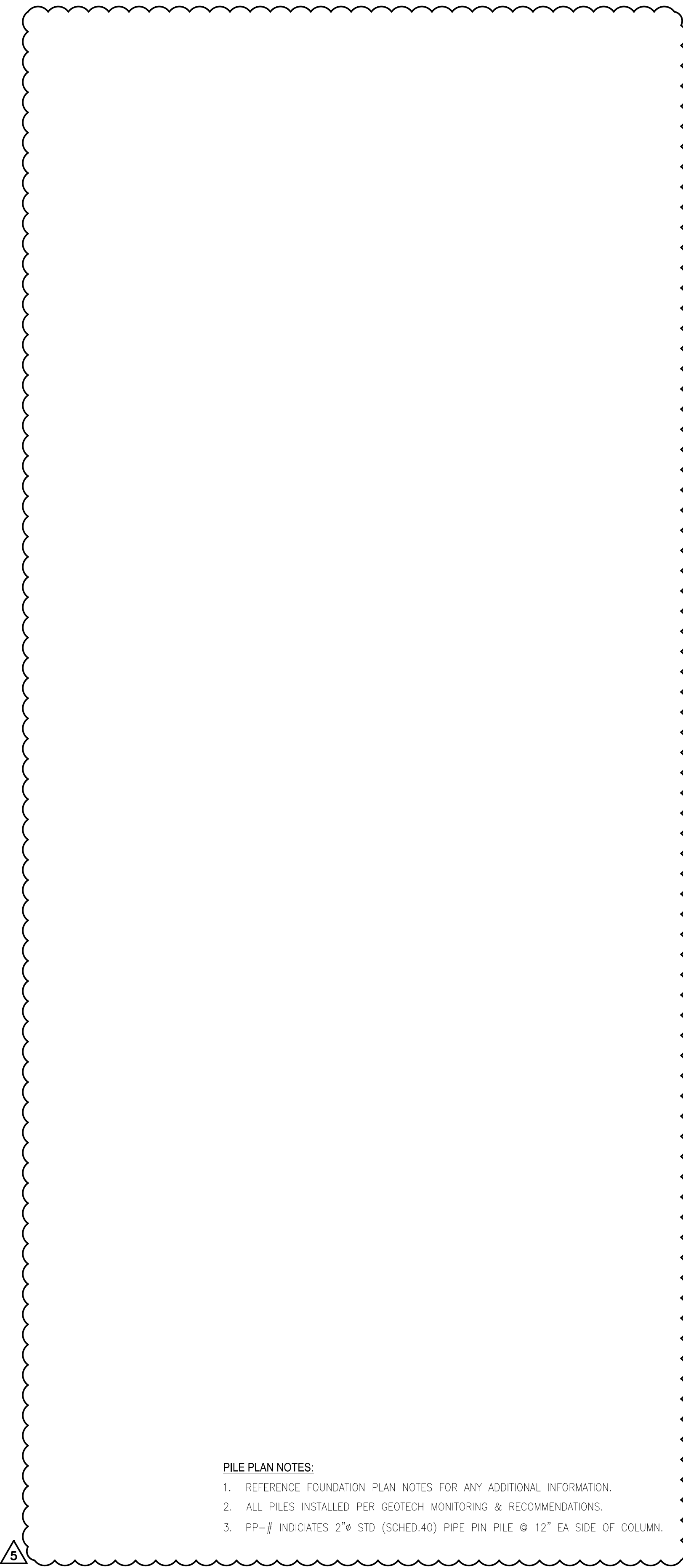
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07/31/20	OWNER REV. #1	
05/14/20	CONST. SET. #1	
06/26/19	REVISION 4	
06/24/19	REVISION 3	
03/02/19	REVISION 2	
10/30/18	REVISION 1	
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PK: DKG
FILE: A6.1.dwg

DOOR & WINDOW SCHEDULE

A6.1

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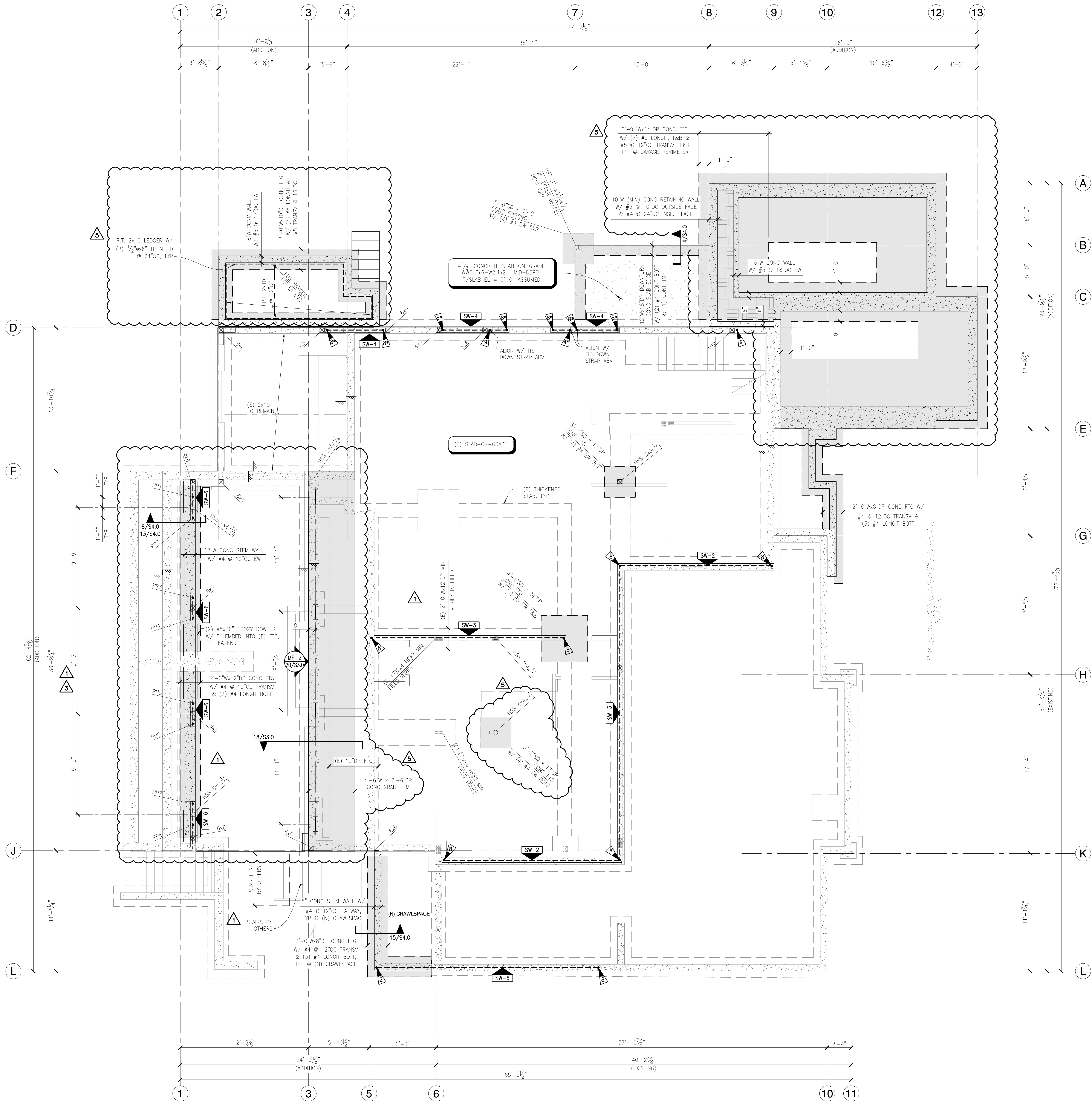


PILE PLAN NOTES:

1. REFERENCE FOUNDATION PLAN NOTES FOR ANY ADDITIONAL INFORMATION.
2. ALL PILES INSTALLED PER GEOTECH MONITORING & RECOMMENDATIONS.
3. PP-# INDICATES 2" STD (SCHED.40) PIPE PIN PILE @ 12" EA SIDE OF COLUMN.

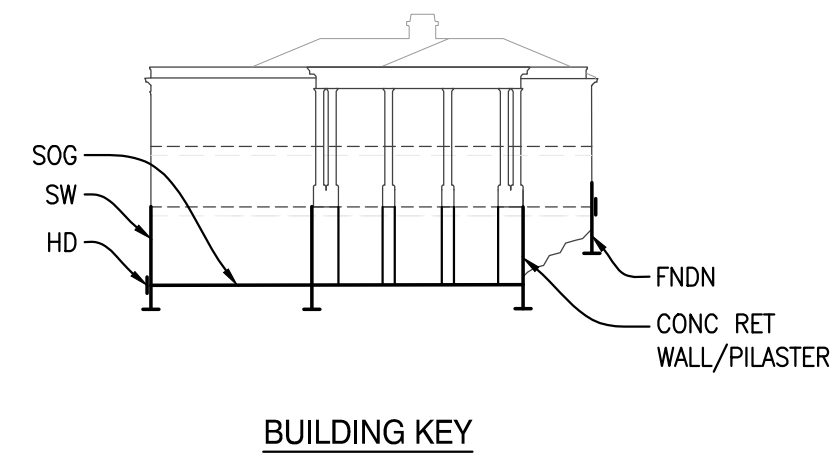
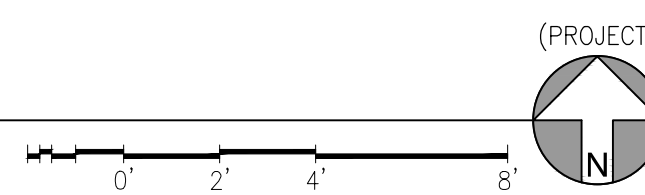
FOUNDATION PLAN NOTES:

1. FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS AND LEGEND, REFERENCE SHEET S1.0.
2. DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. COLUMNS AND FOOTINGS ARE CENTERED ON GRID. UNO. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED. ALL DIMENSIONS ARE TO INSIDE FACE OF CONCRETE, OUTSIDE FACE OF CONCRETE OR CENTERLINE OF GRID/STEEL. CONTINUOUS FOOTINGS ARE CENTERED UNDER WALLS/STRUCTURAL PANELS. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTING OR WALL PIER, UNO.
3. FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER DRAWINGS. FOR STAIR DETAILS AND GUARDRAILS, REFERENCE ARCHITECTURAL DRAWINGS.
4. MOISTURE PROOF ALL WALLS BELOW GRADE PER ARCHITECT.
5. TOP OF SLAB (T/SLAB) ELEVATION ASSUMED 0'-0". FOR ACTUAL T/SLAB ELEVATION REFER TO CIVIL AND ARCHITECTURAL DRAWINGS. FOR SUBGRADE PREPARATION AND FILL REQUIREMENTS AT SLABS AND FOOTINGS PER GEOTECH REPORT.
6. TYPICAL TOP OF INTERIOR FOOTING ELEVATION = -4". UNO. TYPICAL TOP OF EXTERIOR FOOTING ELEVATION = -10" MINIMUM. UNO. EXTERIOR FOOTINGS MUST EXTEND TO AT OR BELOW FROST DEPTH PER JURISDICTIONAL REQUIREMENTS AND LOCAL CONDITIONS.
7. C/J INDICATES CONTROL JOINT. FOR ADDITIONAL INFORMATION, REFERENCE DETAIL 1/S1.2.
8. FIBERMESH IS AN ACCEPTABLE ALTERNATE TO WWF IN THE SLAB ON GRADE. PROVIDE FIBER DOSAGE PER MANUFACTURER RECOMMENDATIONS. SUBMIT TO ENGINEER FOR REVIEW.
9. ALL WOOD IN CONTACT WITH WEATHER-EXPOSED CONCRETE OR WITHIN 6" OF FINISHED GRADE SHALL BE PRESSURE-TREATED.
10. CONCRETE DIMENSIONS: CONTRACTOR SHALL LOCATE ALL DOOR OPENINGS IN EXTERIOR FOUNDATION WALLS AND VERIFY WITH ARCHITECT PRIOR TO POURING CONCRETE. CONTRACTOR TO COORDINATE CURBS.
11. CONTRACTOR TO VERIFY TOP OF CONCRETE WALL ELEVATIONS (T/WALL) ON ALL FULL AND PARTIAL HEIGHT RETAINING WALLS. MAINTAIN T/WALL TO BE A MINIMUM 6" ABOVE FINISH GRADE.
12. ** INDICATES (2) HOLD-DOWNS REQUIRED, TYPICAL UNO ON PLAN.
13. INDICATES WOOD SHEAR WALL. REFERENCE 20/S1.2 FOR SHEAR WALL SHEATHING AND FASTENING REQUIREMENTS. REFERENCE GENERAL STRUCTURAL NOTES FOR WOOD GRADE.
14. INDICATES SIMPSON STRONG-FRAME MOMENT FRAMES. REFERENCE S3.0 AND MANUFACTURER'S DRAWINGS (JOB NO ES-191628)

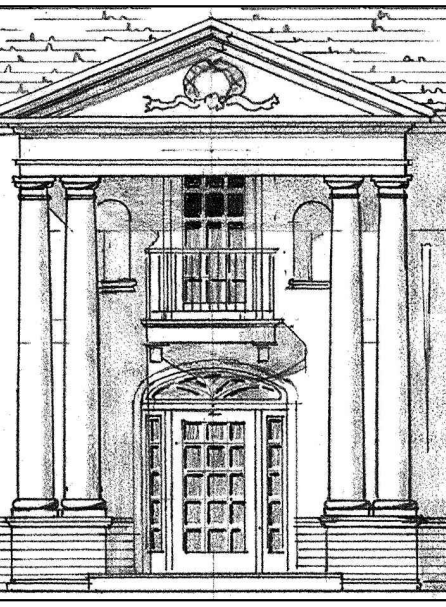


FOUNDATION / BASEMENT PLAN

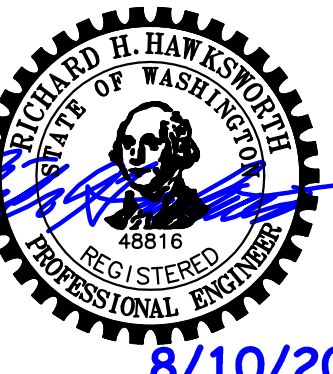
SCALE: 1/4" = 1'-0"



NOTE: CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION & CONSTRUCTION. NOTIFY DEI OF ANY DISCREPANCIES FOR FURTHER DIRECTION.



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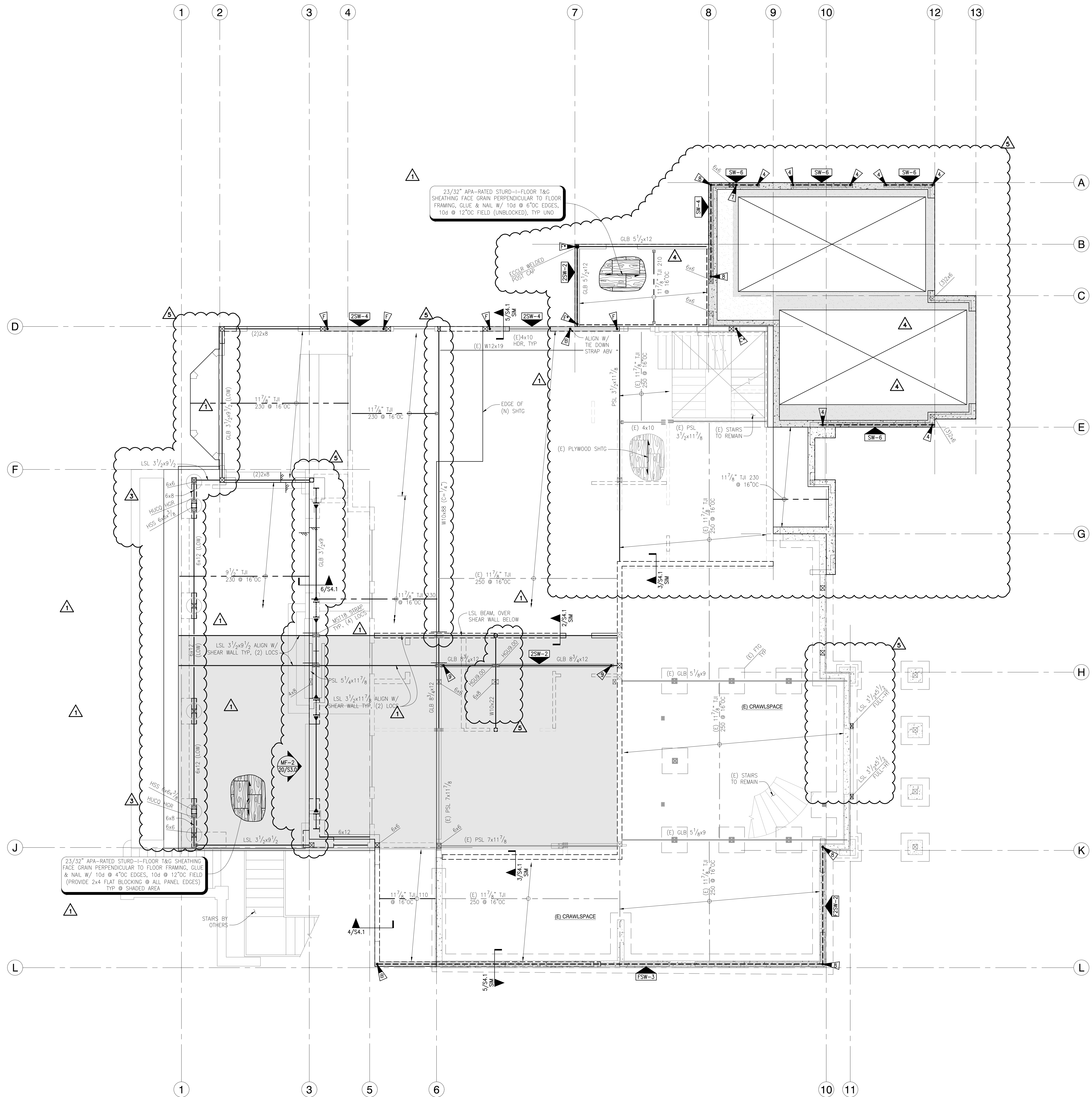
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NO.	DATE	REVISION
1	06/27/17	PERMIT SET
2	09/18/18	BLDG. DEPT. RESP.
3	02/27/19	BLDG. DEPT. RESP.
4	05/24/19	BLDG. DEPT. RESP.
5	06/25/19	BLDG. DEPT. RESP.
6	02/07/20	PRICING SET
7	05/22/20	CS#1
8	08/06/20	OWNER REV#1

DATE: 08/06/2020
JOB NUMBER: 17-291
DRAWN BY: SAT/TJL
DESIGNED BY: JBB

STRUCTURAL FOUNDATION/BASEMENT PLAN

S2.0



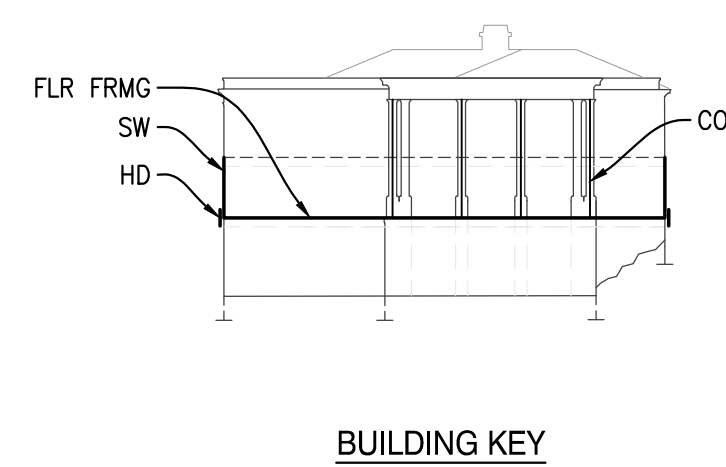
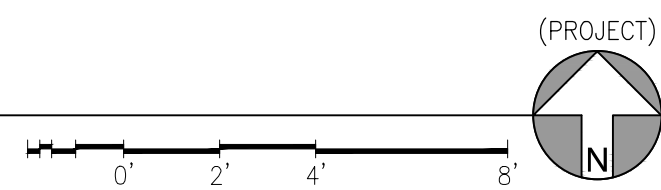
MAIN FLOOR FRAMING PLAN NOTES:

1. DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. COLUMNS AND FOOTINGS ARE CENTERED ON GRID. TYPICAL. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED. ALL DIMENSIONS ARE TO INSIDE FACE OF CONCRETE, OUTSIDE FACE OF CONCRETE OR CENTERLINE OF GRID/STEEL. CONTINUOUS FOOTINGS ARE CENTERED UNDER WALLS/STRUCTURAL PANELS. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTING OR WALL PIER, UNO.
2. FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER DRAWINGS. FOR STAIR DETAILS AND GUARDRAILS, REFERENCE ARCHITECTURAL DRAWINGS.
3. AT ALL BEARING AND SHEAR WALLS, REFERENCE STUD GRADE, SIZES AND SPACING PER PLANS AND GENERAL NOTES.
4. ALL WOOD IN CONTACT WITH WEATHER-EXPOSED CONCRETE OR WITHIN 6" OF FINISHED GRADE SHALL BE PRESURE-TREATED.
5. HANGERS: ALL 2X HANGERS TO BE SIMPSON LUS SERIES, UNO.
6. HEADERS SHOWN BUT NOT SPECIFIED ARE TO BE (2) 2X8 MINIMUM. HEADERS SHOWN SHALL BE SUPPORTED BY (2) STUDS MINIMUM, UNO ON PLAN.
7. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORING.
8. ** INDICATES (2) HOLD-DOWNS REQUIRED, TYPICAL UNO ON PLAN.
9. INDICATES WOOD SHEAR WALL. REFERENCE 20/S1.2 FOR SHEAR WALL SHEATHING AND FASTENING REQUIREMENTS. REFERENCE GENERAL STRUCTURAL NOTES FOR WOOD GRADE.

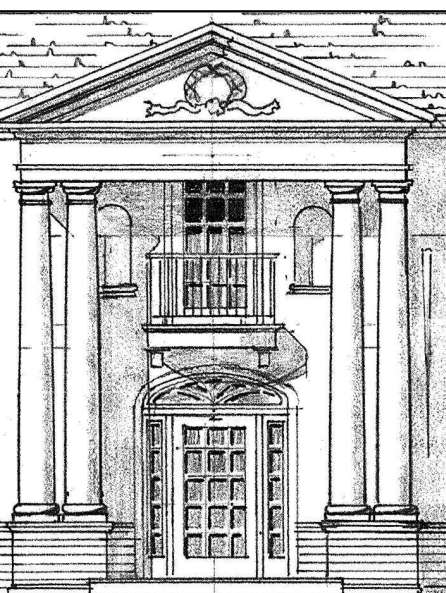
23/32" APA-RATED STURD-I-FLOOR TAG SHEATHING FACE GRAIN PERPENDICULAR TO FLOOR FRAMING, GLUE & NAIL W/ 10d @ 4" OC EDGES, 10d @ 12" OC FIELD (UNBLOCKED), TYP UNO (PROVIDE 2x4 FLAT BLOCKING @ ALL PANEL EDGES) TYP @ SHADDED AREA

MAIN FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



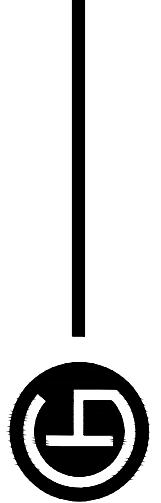
NOTE: CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION & CONSTRUCTION. NOTIFY DEI OF ANY DISCREPANCIES FOR FURTHER DIRECTION.



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3025 112th Ave. NE, Suite 110
Bellevue, Washington 98004
425.828.3081, T. 425.822.2152 F
www.gelottehommas.com

PEYREE REMODEL B

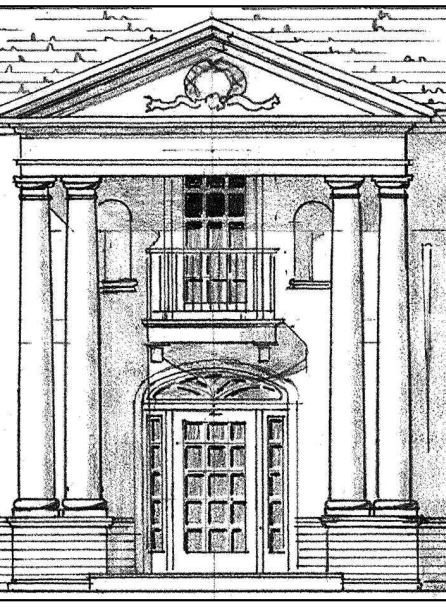
6059 77th Ave SE
Mercer Island, WA 98040-5129

NO.	DATE	REVISION
1	06/27/17	PERMIT SET
2	09/18/18	BLDG. DEPT. RESP.
3	02/27/19	BLDG. DEPT. RESP.
4	05/24/19	BLDG. DEPT. RESP.
5	06/25/19	BLDG. DEPT. RESP.
6	02/07/20	PRICING SET
7	05/22/20	CS#1
8	08/06/20	OWNER REV#1

DATE: 08/06/2020
JOB NUMBER: 17-291
DRAWN BY: SAT/TITLE
DESIGNED BY: JBB

STRUCTURAL
MAIN FLOOR
FRAMING PLAN

S2.1



DEI
DIBBLE ENGINEERS INC.
www.dibbleengineers.com
103 Necker Street, Kirkland, WA 98033
425.828.4200



REGISTERED PROFESSIONAL ENGINEER
8/10/20

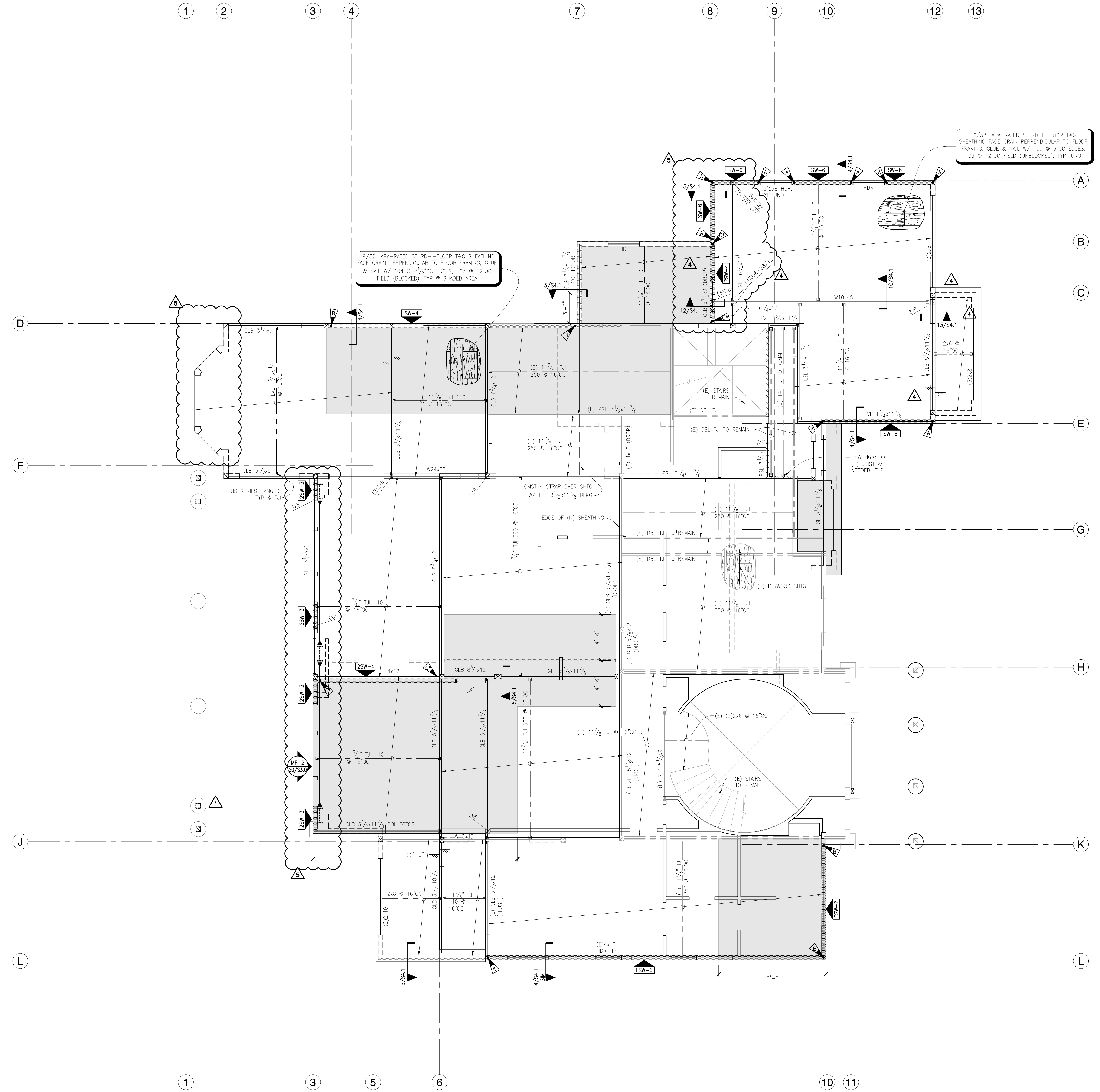
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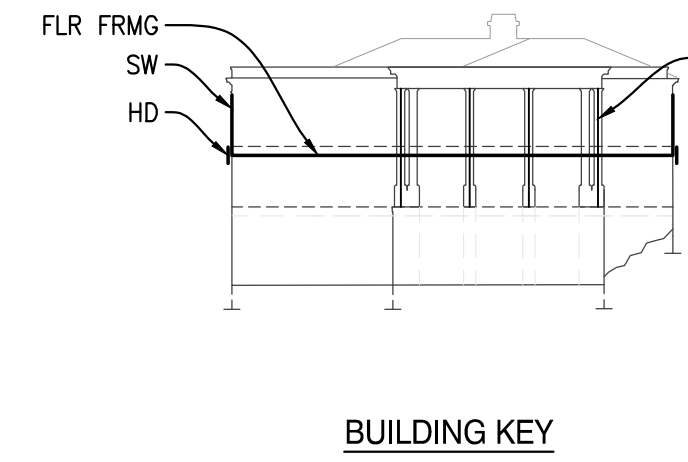
DATE: 08/06/2020
JOB NUMBER: 17-291
DRAWN BY: SAT/TJL
DESIGNED BY: JBB

STRUCTURAL UPPER FLOOR FRAMING PLAN
S2.2

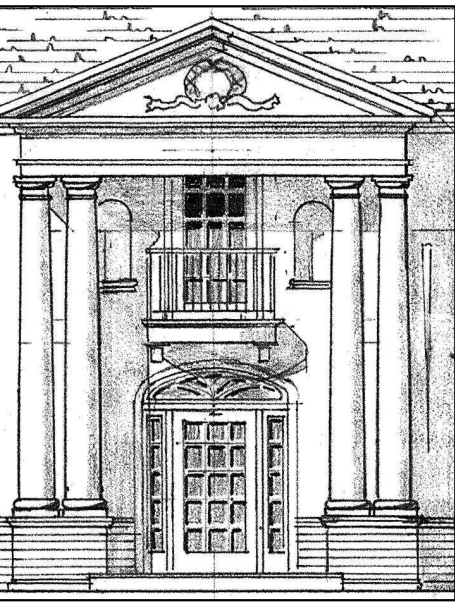


- UPPER FLOOR FRAMING PLAN NOTES:**
- DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. COLUMNS AND FOOTINGS ARE CENTERED ON GRID. TYPICAL. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED. ALL DIMENSIONS ARE TO INSIDE FACE OF CONCRETE, OUTSIDE FACE OF CONCRETE OR CENTERLINE OF GRID/STEEL. CONTINUOUS FOOTINGS ARE CENTERED UNDER WALLS/STRUCTURAL PANELS. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTING OR WALL PIER, UNO.
 - FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER DRAWINGS, FOR STAIR DETAILS AND GUARDRAILS, REFERENCE ARCHITECTURAL DRAWINGS.
 - AT ALL BEARING AND SHEAR WALLS, REFERENCE STUD GRADE, SIZES AND SPACING PER PLANS AND GENERAL NOTES.
 - ALL WOOD IN CONTACT WITH WEATHER-EXPOSED CONCRETE OR WITHIN 6" OF FINISHED GRADE SHALL BE PRESSURE-TREATED.
 - HANGERS: ALL 2X HANGERS TO BE SIMPSON LUS SERIES, UNO.
 - HEADERS SHOWN BUT NOT SPECIFIED ARE TO BE (2) 2X8 MINIMUM. HEADERS SHOWN SHALL BE SUPPORTED BY (2) STUDS MINIMUM, UNO ON PLAN.
 - CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORINGS.
 - ** INDICATES (2) HOLD-DOWNS REQUIRED, TYPICAL UNO ON PLAN.
 - INDICATES WOOD SHEAR WALL. REFERENCE 20/S1.2 FOR SHEAR WALL SHEATHING AND FASTENING REQUIREMENTS. REFERENCE GENERAL STRUCTURAL NOTES FOR WOOD GRADE.

UPPER FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



NOTE: CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION & CONSTRUCTION. NOTIFY DEI OF ANY DISCREPANCIES FOR FURTHER DIRECTION.



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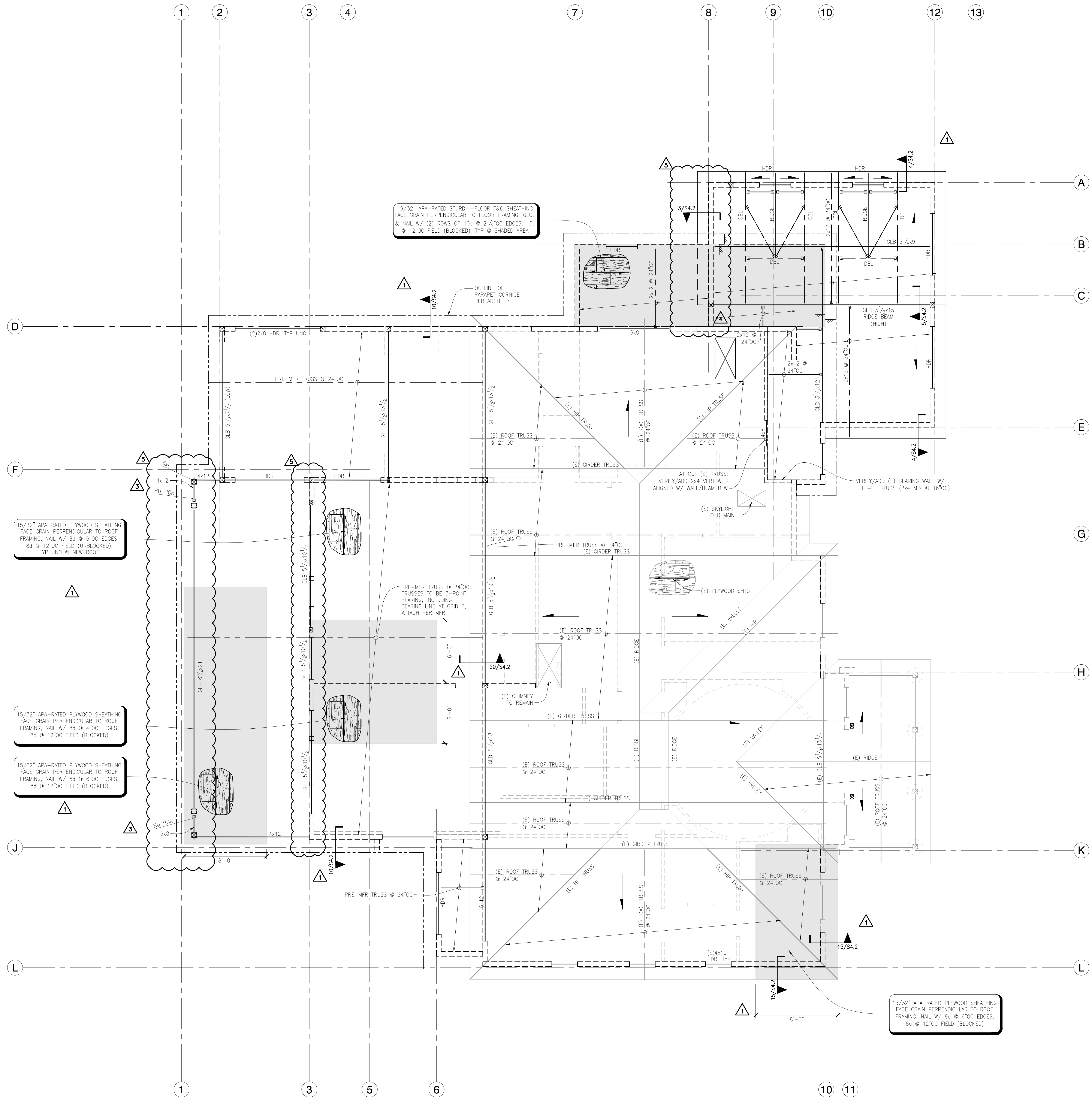
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DATE: 08/06/2020
JOB NUMBER: 17-291
DRAWN BY: SAT/TJL
DESIGNED BY: JBB

STRUCTURAL
ROOF FRAMING
PLAN

S2.3

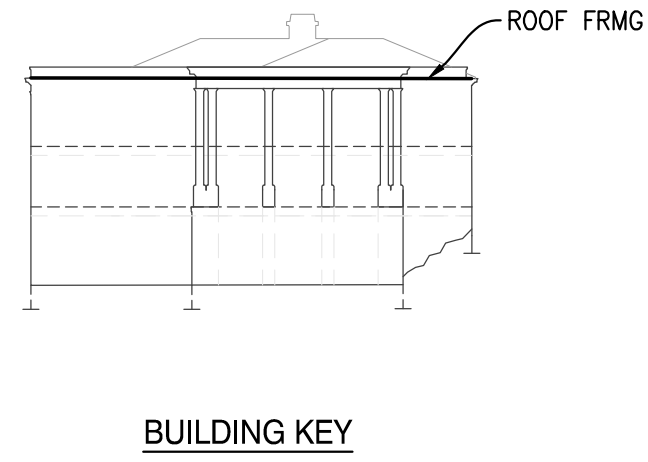
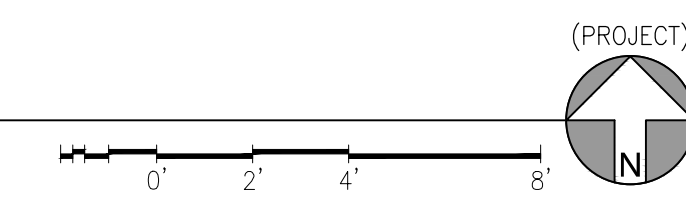
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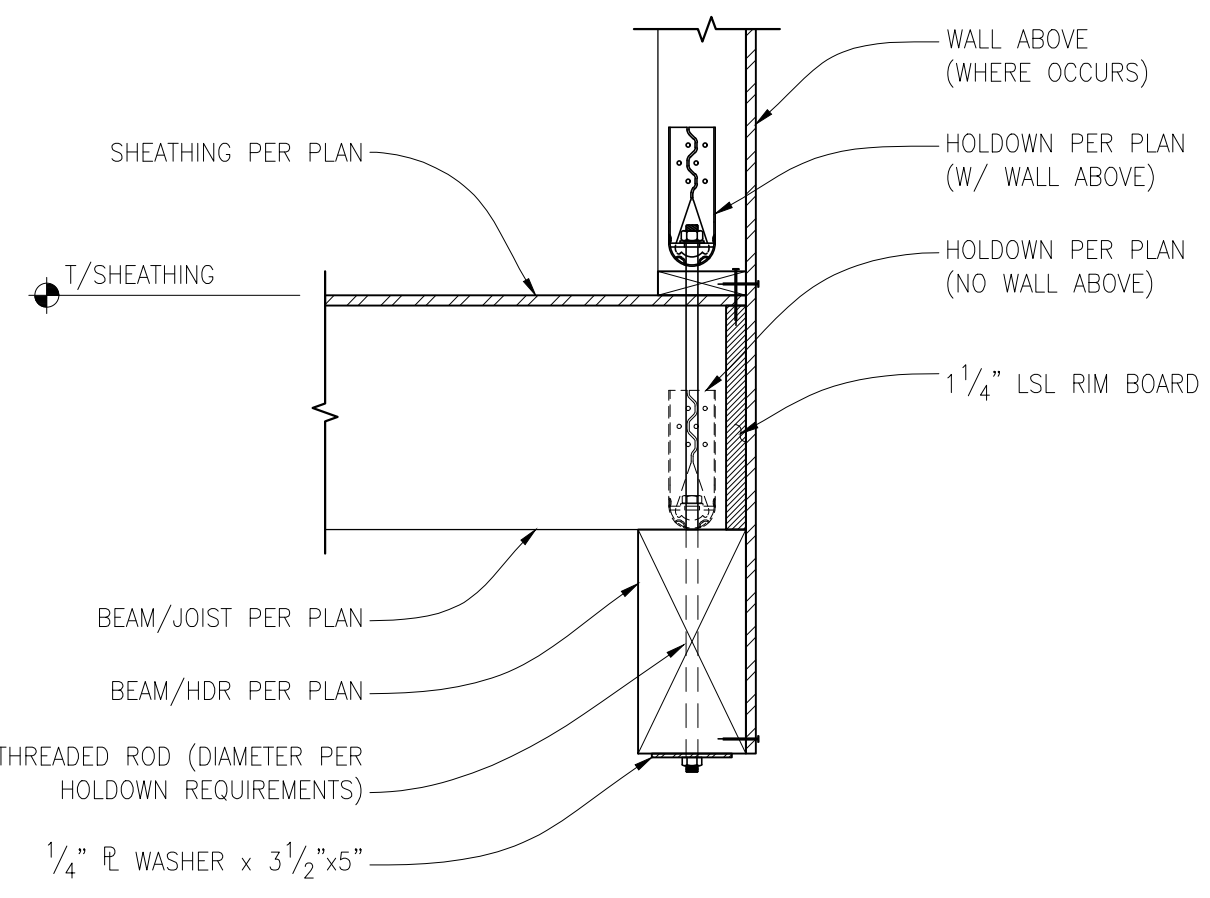
- ROOF FRAMING PLAN NOTES:**
- FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS AND LEGEND, REFERENCE SHEET S1.0.
 - DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. COLUMNS AND FOOTINGS ARE CENTERED ON GRID, TYPICAL UNO. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED. ALL DIMENSIONS ARE TO INSIDE FACE OF CONCRETE, OUTSIDE FACE OF CONCRETE OR CENTERLINE OF GRID/STEEL. CONTINUOUS FOOTINGS ARE CENTERED UNDER WALLS/STRUCTURAL PANELS, UNO. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTING OR WALL PIER, UNO.
 - FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER DRAWINGS. FOR STAIR DETAILS AND GUARDRAILS, REFERENCE ARCHITECTURAL DRAWINGS.
 - FOR CONCRETE SHEAR WALLS OR MOMENT FRAME MEMBER SIZES, REFER TO ELEVATIONS.
 - AT ALL WOOD-FRAMED, BEARING AND SHEAR WALLS, REFERENCE STUD GRADE, SIZES AND SPACING PER GENERAL NOTES. ALL EXTERIOR WALL STUDS 12"-0" HIGH OR GREATER, USE (2) SISTER STUDS AT 16"OC, UNO.
 - TOP PLATE BEARING WALL ELEVATION PER ARCHITECTURAL DRAWINGS.
 - BALLOON FRAME ALL WALLS GREATER THAN ONE LEVEL WITHOUT FLOOR OR ROOF SUPPORT.
 - BLOCKING: PROVIDE SOLID BLOCKING OVER ALL SHEAR WALLS AND BEARING WALLS. AT SHEAR WALLS PARALLEL TO FRAMING, ALIGN (1) ROOF TRUSS OR CONTINUOUS BLOCKING OVER SHEAR WALLS. ADDITIONAL ROOF TRUSSES MAY BE REQUIRED TO ACCOMMODATE BLOCKING.
 - HEADERS SHOWN BUT NOT SPECIFIED ARE TO BE (2) 2X8 MINIMUM. HEADERS SHOWN SHALL BE SUPPORTED BY (2) STUDS MINIMUM, UNO ON PLAN. BEAMS AND HEADERS ARE TO BE FLUSH FRAMED WITH JOISTS, UNLESS NOTED AS "DROPP" INDICATING THAT DROPPED BEAM FRAMING IS REQUIRED.
 - ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING CRITERIA:
 - REFER TO THE STRUCTURAL GENERAL NOTES FOR STANDARD DEAD AND LIVE LOADS AND SUBMITTAL INFORMATION.
 - TRUSS LAYOUT SHOWN IS APPROXIMATE. TRUSS SUPPLIER IS RESPONSIBLE FOR FINAL TRUSS LAYOUT AND CONFIGURATION. NOTIFY ENGINEER OF REVISIONS TO PLAN.
 - SHADED REGION INDICATES APPROXIMATE AREA OF OVER FRAMING. TRUSS MANUFACTURER IS RESPONSIBLE FOR DESIGNING THE OVER FRAMING REQUIRED. TRUSSES SHALL BE DESIGNED TO SUPPORT OVER FRAMING IN ADDITION TO THE STANDARD DESIGN LOADS.
 - PROVIDE SIMPSON H1 HURRICANE TIES AT ALL ROOF TRUSSES AND ROOF JOISTS, TYP. UNO.
 - 2000# INDICATES SHEAR TRANSFER LOAD IN ROOF TRUSS TO BE LOCATED ABOVE SHEAR WALLS. TRUSS MANUFACTURER SHALL DESIGN THESE TRUSSES FOR THE LATERAL LOAD SPECIFIED ON PLAN, IN BRACKETS, IN ADDITION TO THE DESIGN DEAD AND LIVE LOADS.
 - SIMPSON STRAP TIES INDICATED ON THE SHEAR WALL PLANS ARE TO BE CENTERED OVER WALL TOP PLATE AND/OR HEADER, BLOCKING OR BEAM CONTRACTOR SHALL COORDINATE ADDITIONAL WALL FRAMING REQUIRED AT BEAMS AND POSTS WITH CONNECTORS OR HOLD-DOWNS THAT EXCEED THE NOMINAL WALL THICKNESS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORING.

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



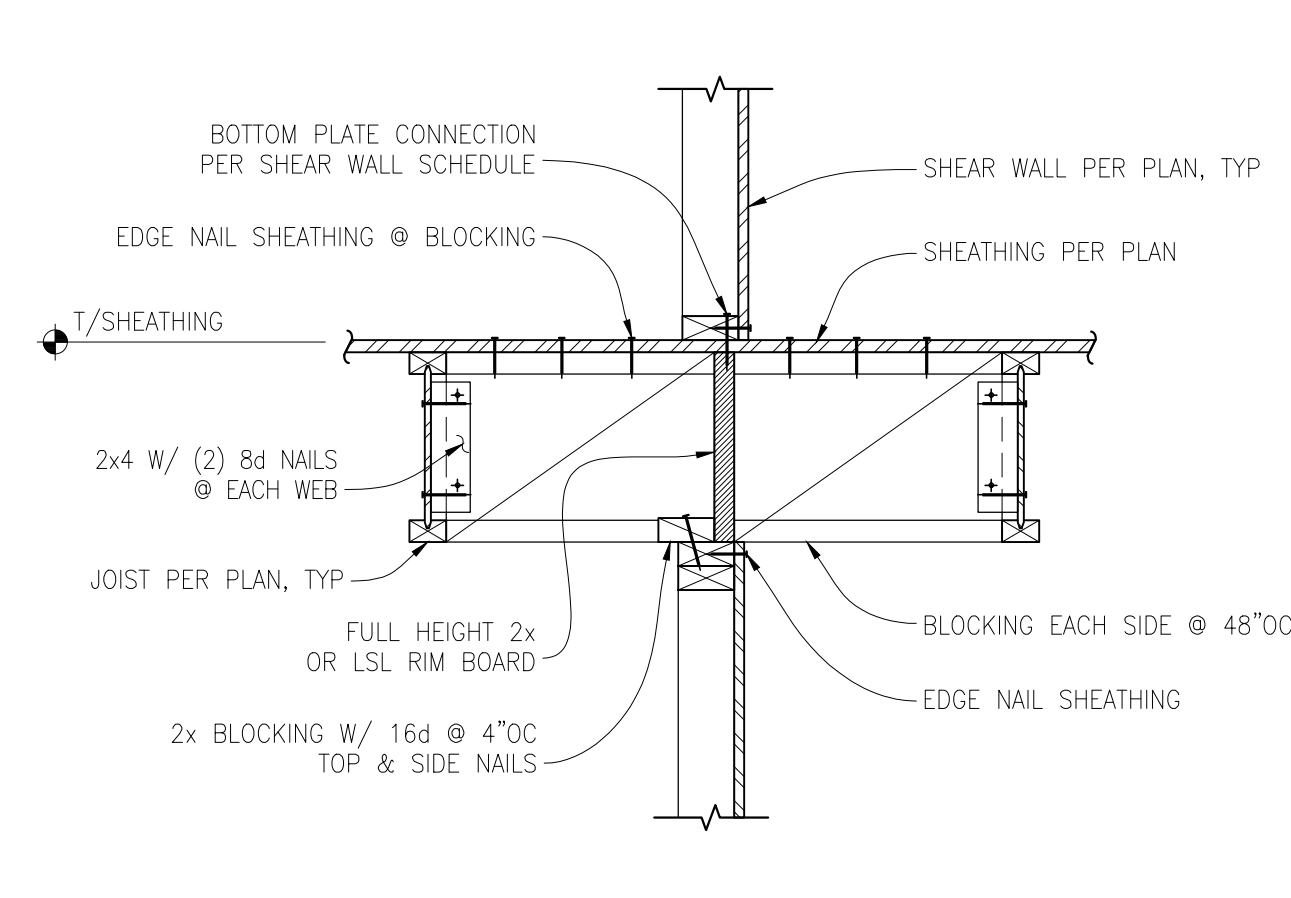
NOTE: CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION & CONSTRUCTION. NOTIFY DEI OF ANY DISCREPANCIES FOR FURTHER DIRECTION.



HOLDOWN AT END OF BEAM

SCALE: 1" = 1'-0"

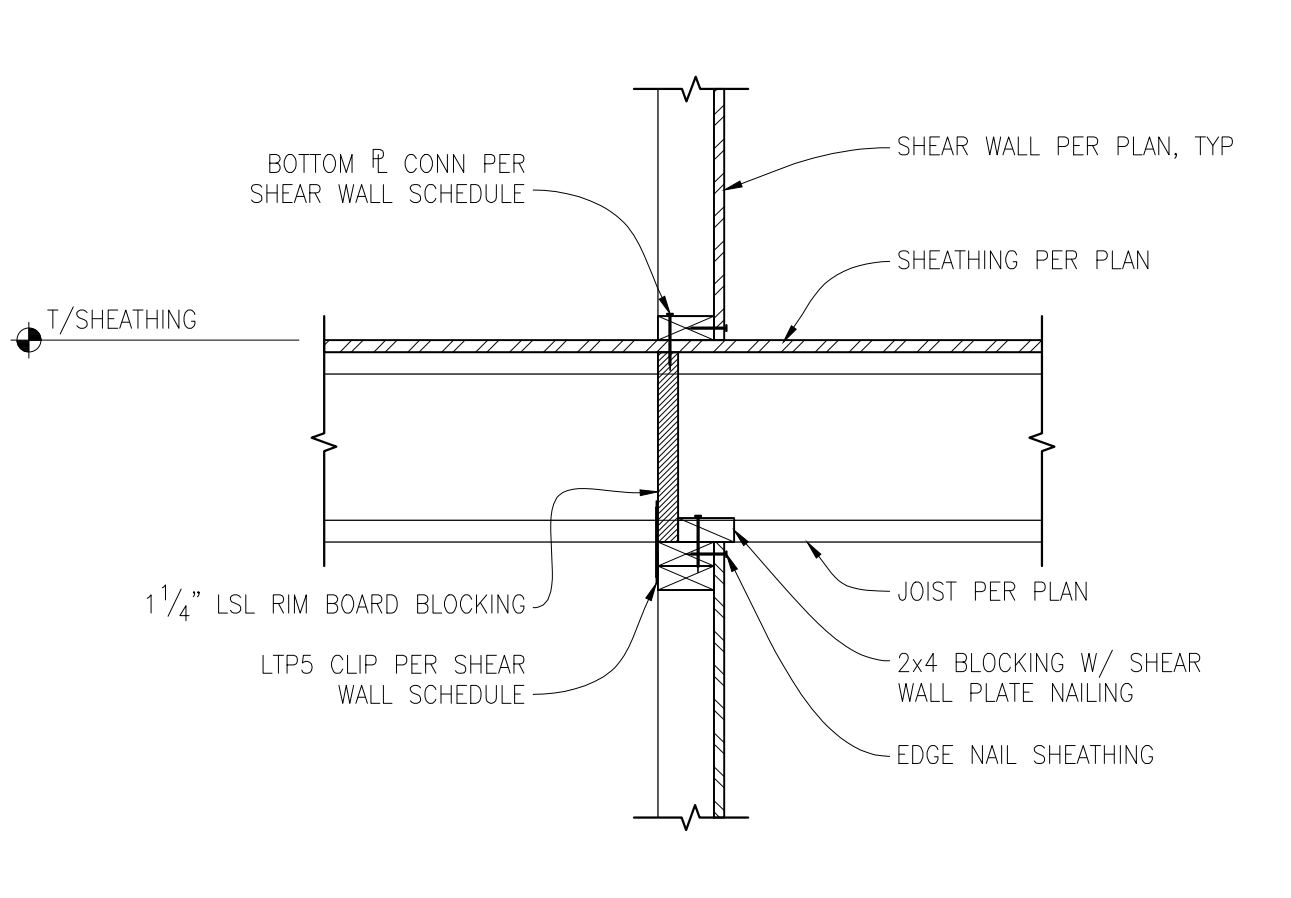
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INTERIOR SHEAR WALL PARALLEL TO FLOOR JOIST

SCALE: 1" = 1'-0"

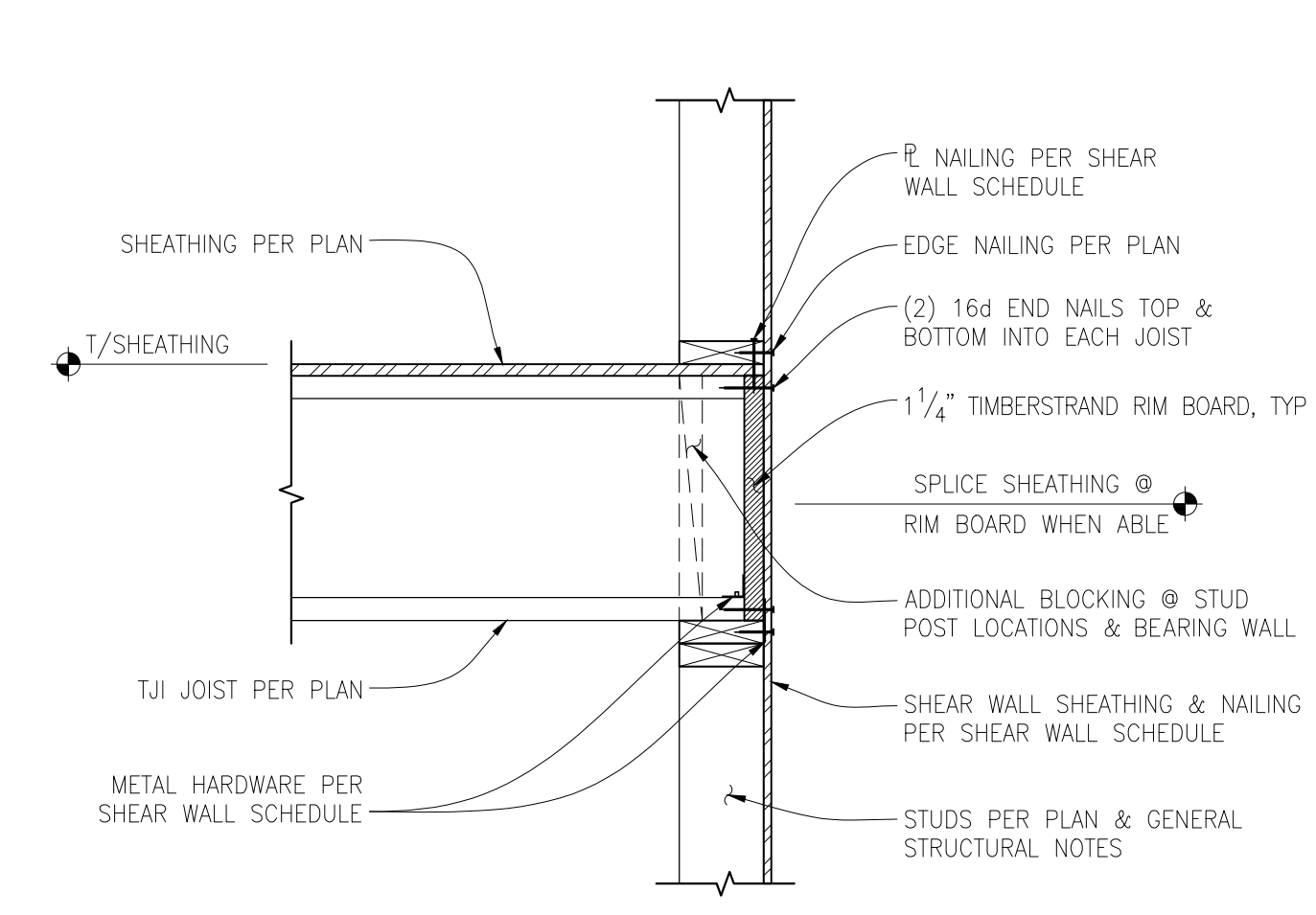
2



INTERIOR SHEAR WALL PERPENDICULAR TO FLOOR JOIST

SCALE: 1" = 1'-0"

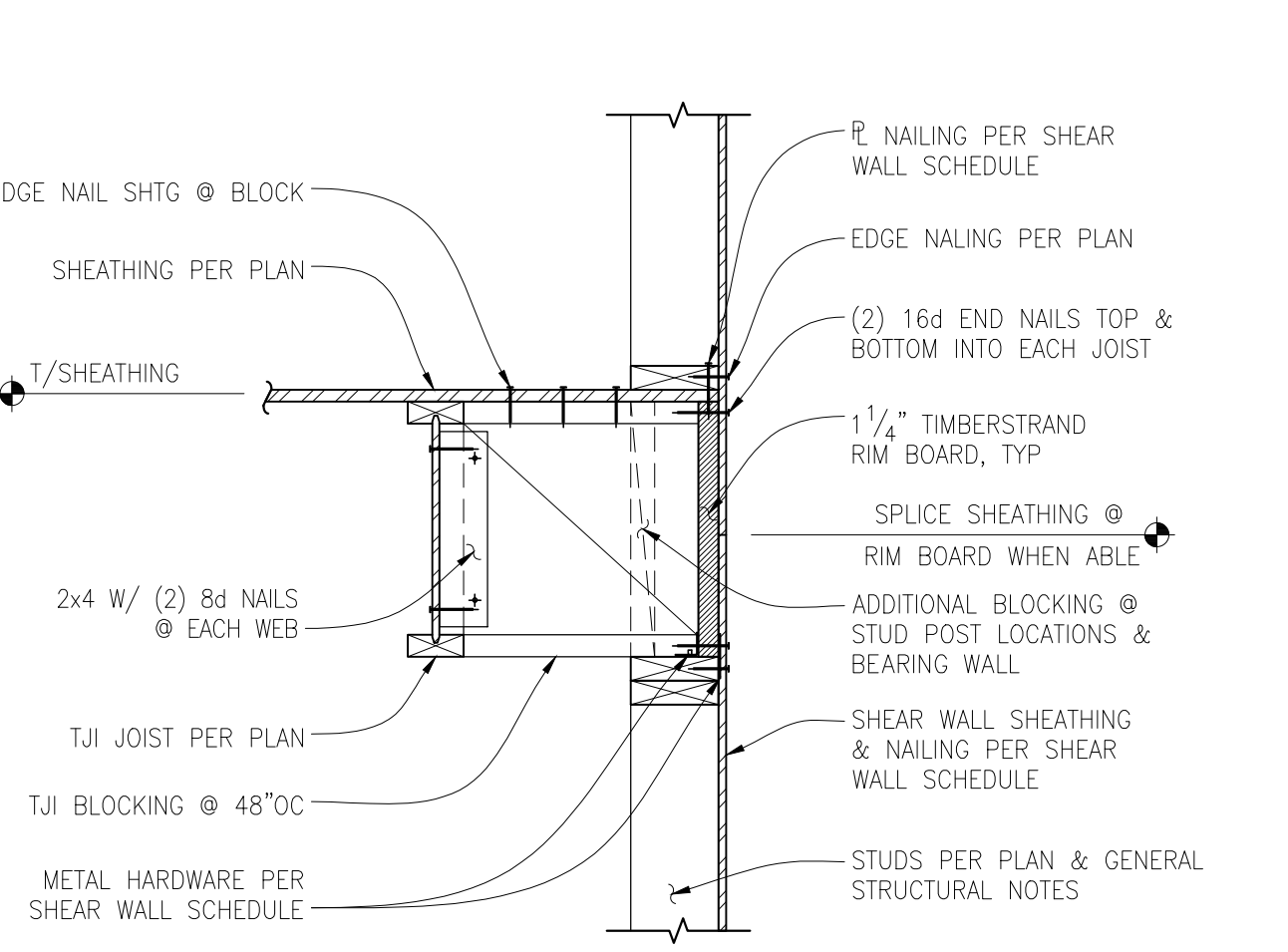
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TYPICAL EXTERIOR WALL PERPENDICULAR TO TJI JOISTS

SCALE: 1" = 1'-0"

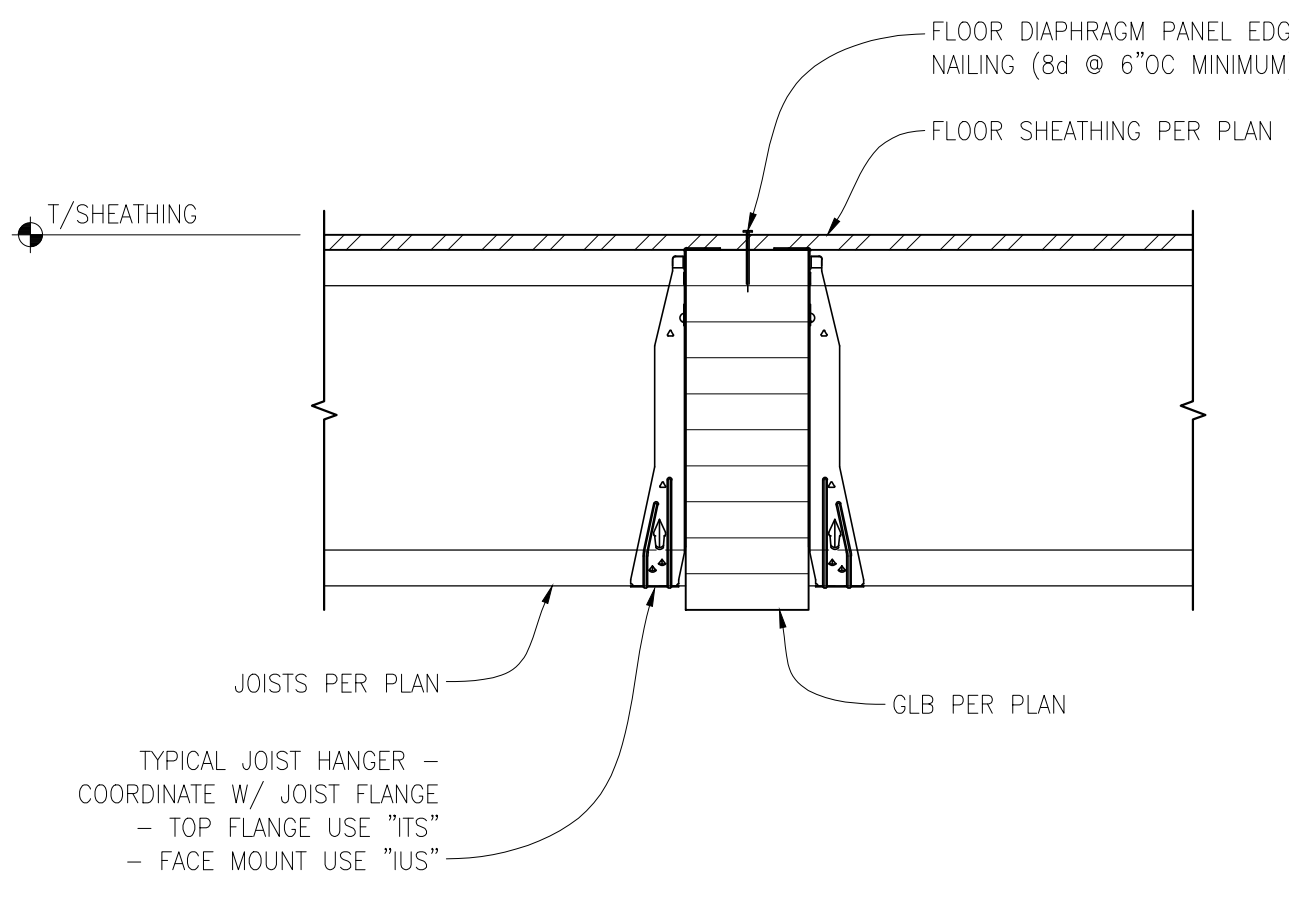
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TYPICAL EXTERIOR WALL PARALLEL TO TJI JOISTS

SCALE: 1" = 1'-0"

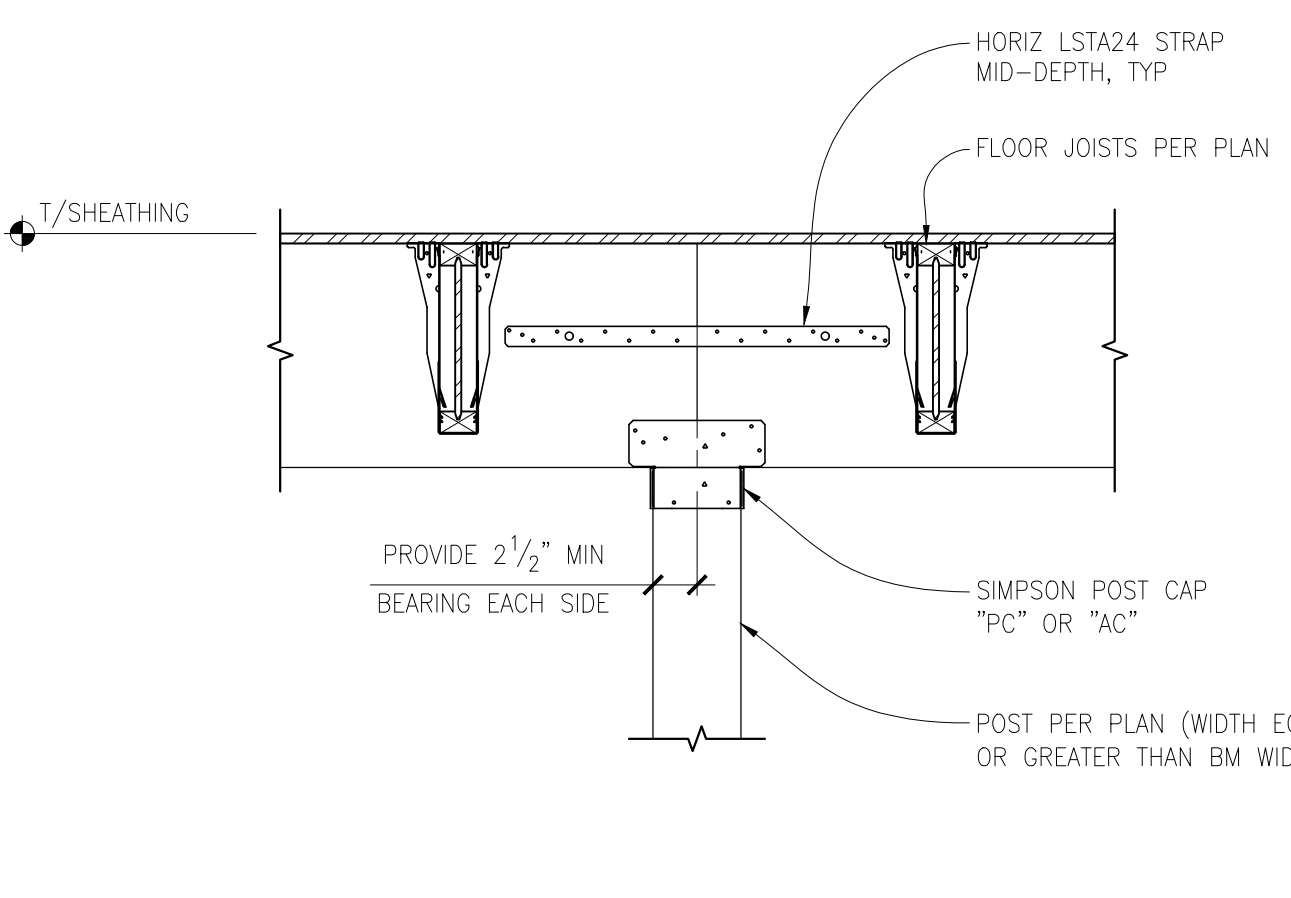
5



TYPICAL JOISTS FLUSH TO TOP OF GLULAM BEAM

SCALE: 1 1/2" = 1'-0"

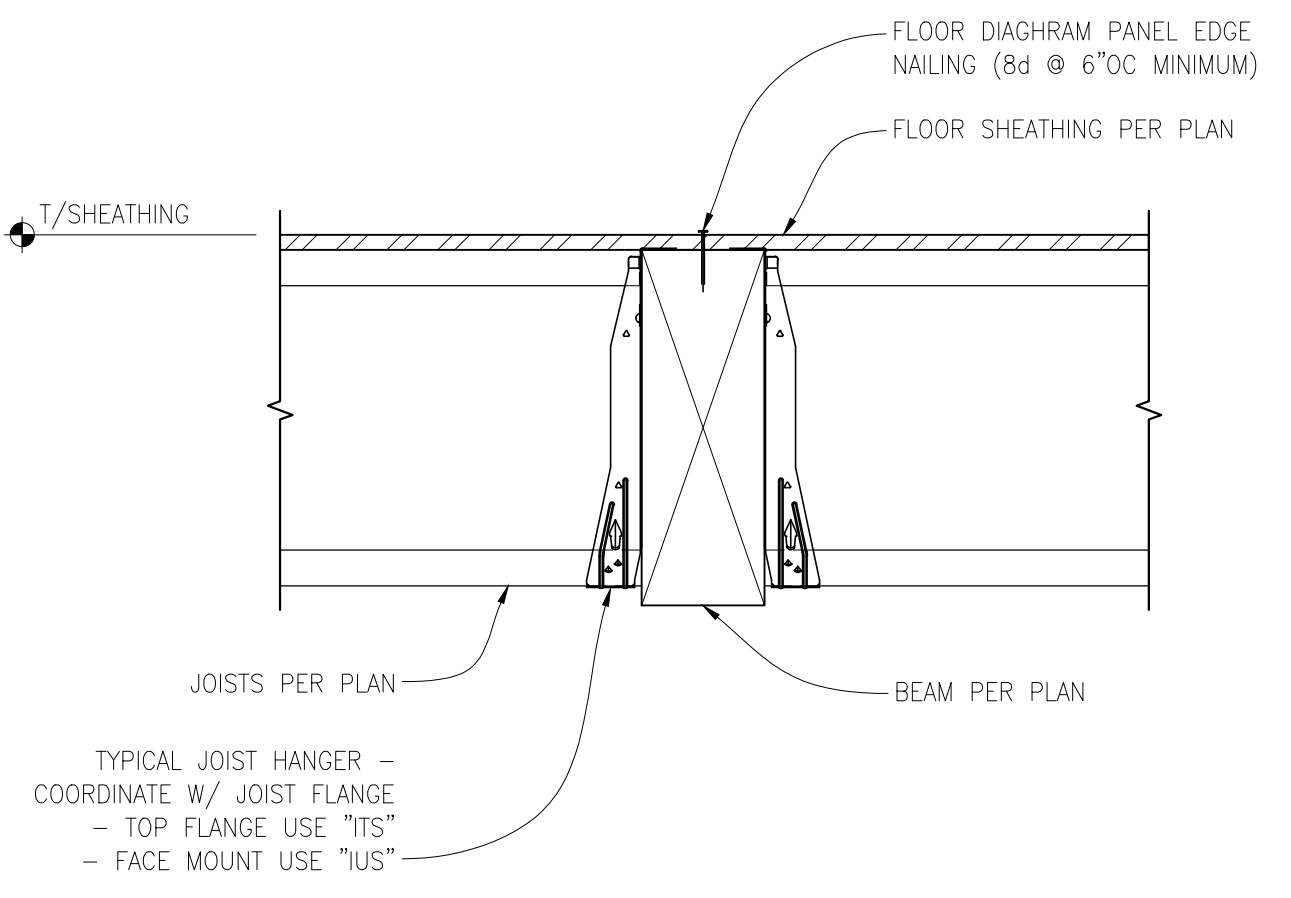
6



POST TO BEAM CONNECTION WITH FLUSH JOISTS

SCALE: 1" = 1'-0"

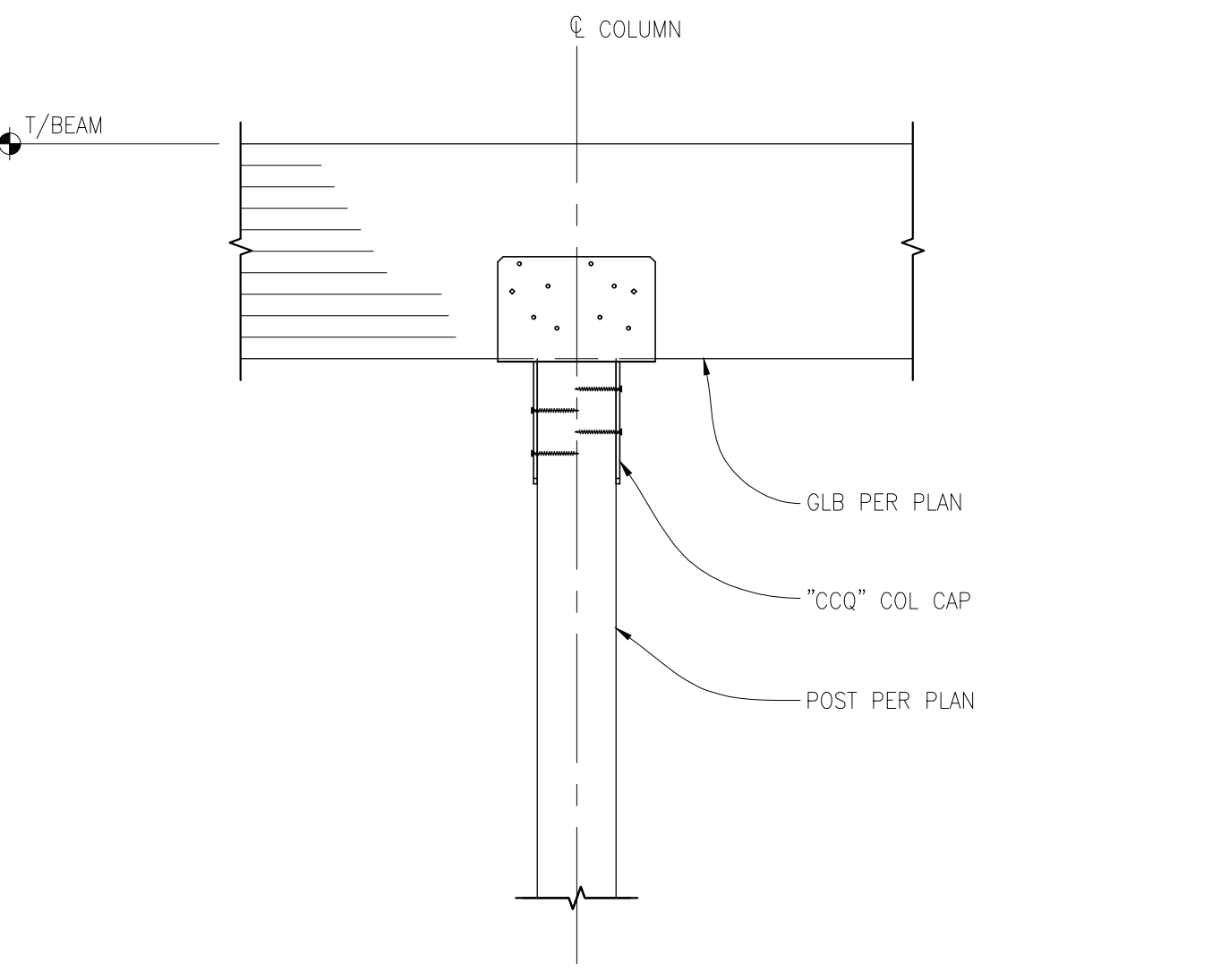
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TYPICAL JOISTS FLUSH TO TOP OF BEAM

SCALE: 1 1/2" = 1'-0"

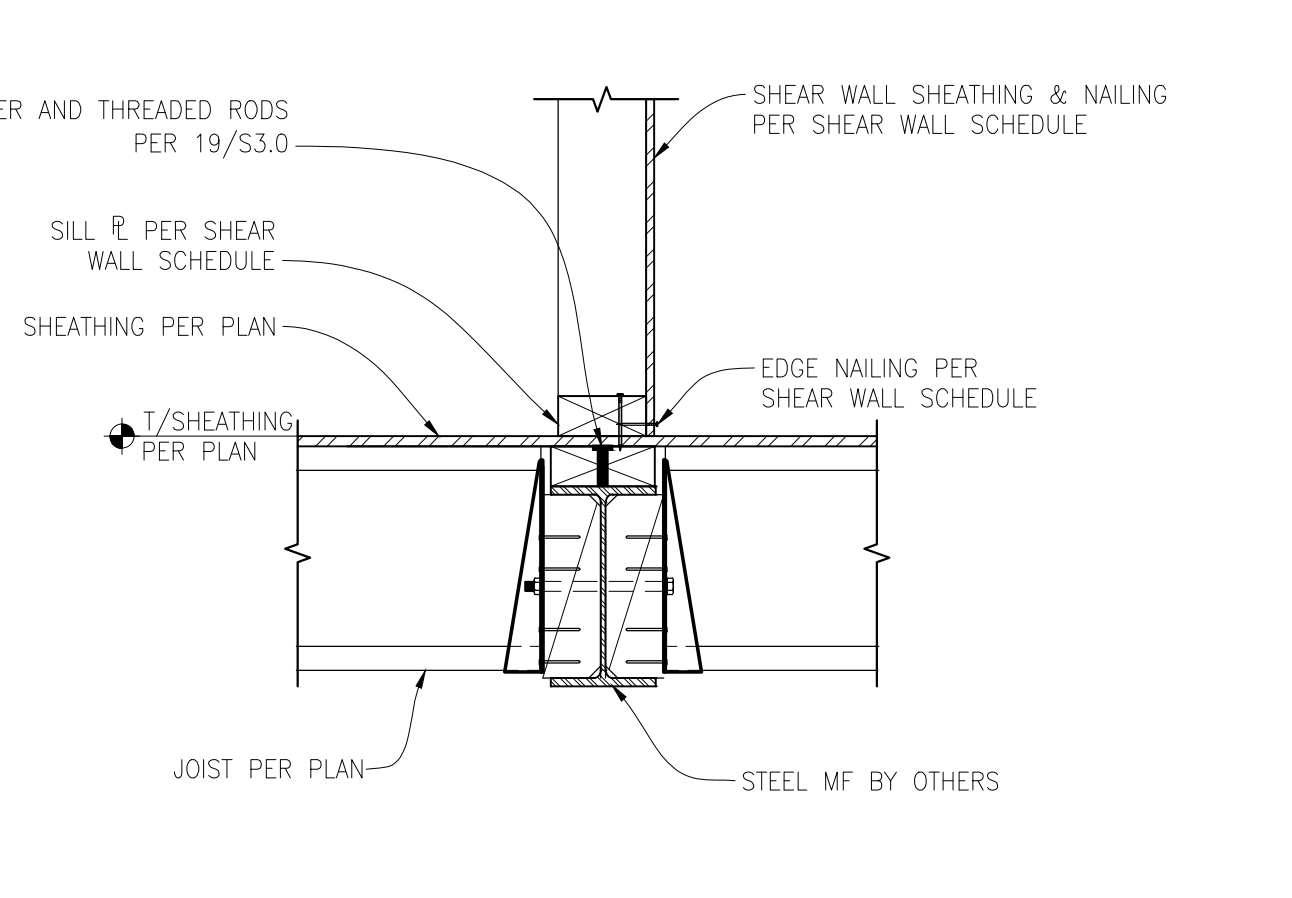
8



TYPICAL COLUMN TO BEAM DETAIL

SCALE: 1" = 1'-0"

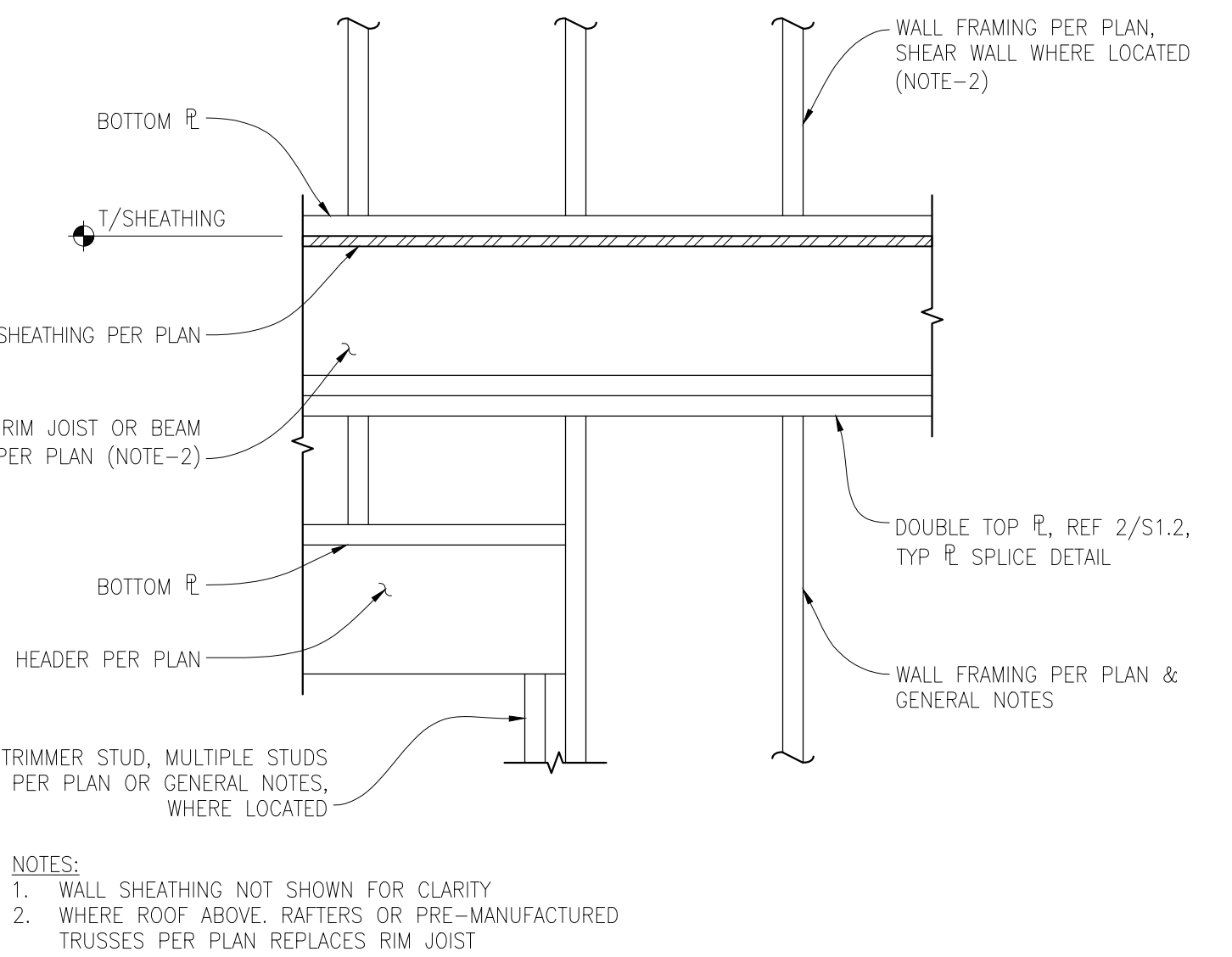
9



TYPICAL WALL TO STEEL BEAM BELOW

SCALE: 1" = 1'-0"

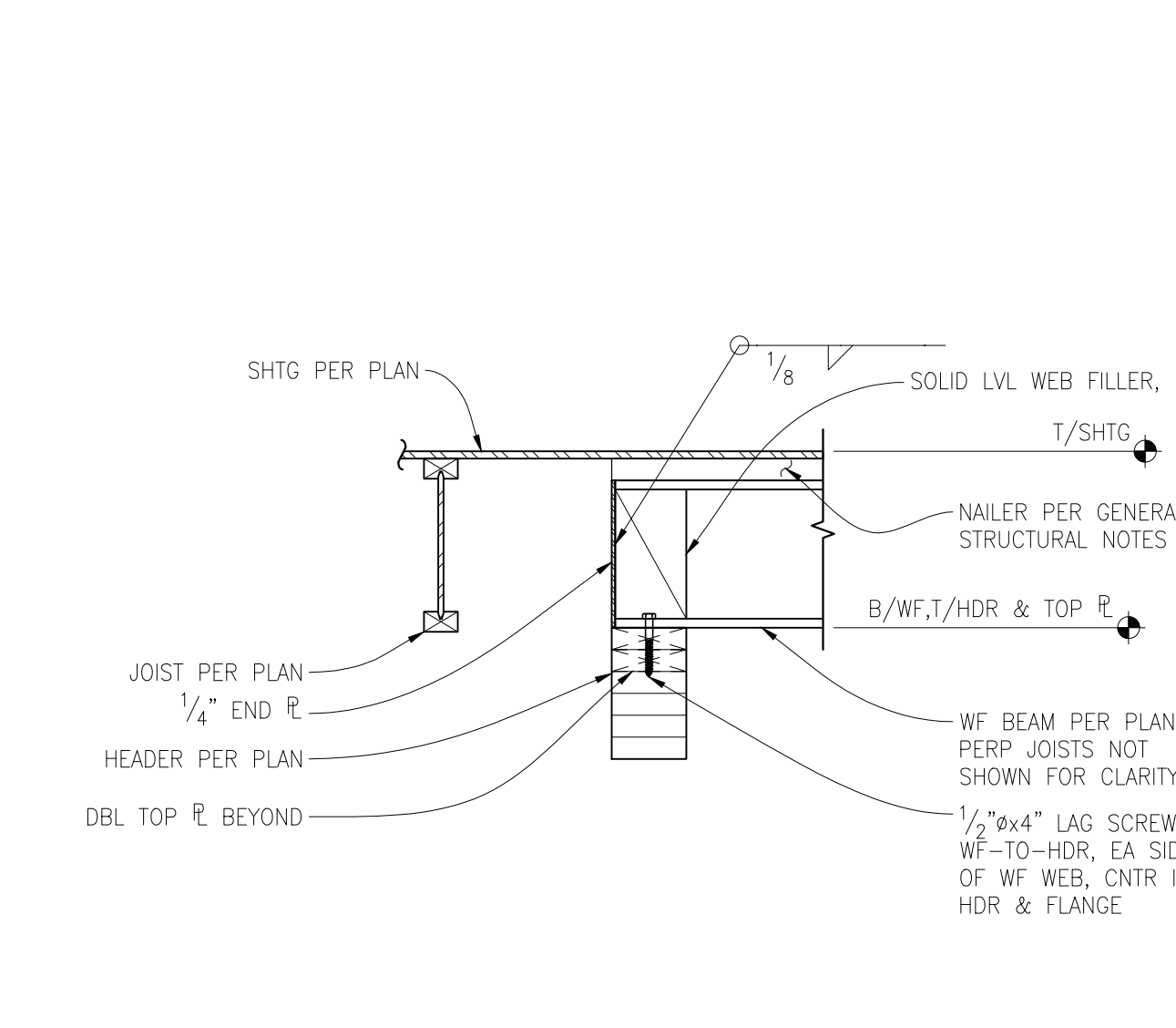
10



TYPICAL HEADER FRAMING DROPPED BELOW JOIST

SCALE: 1" = 1'-0"

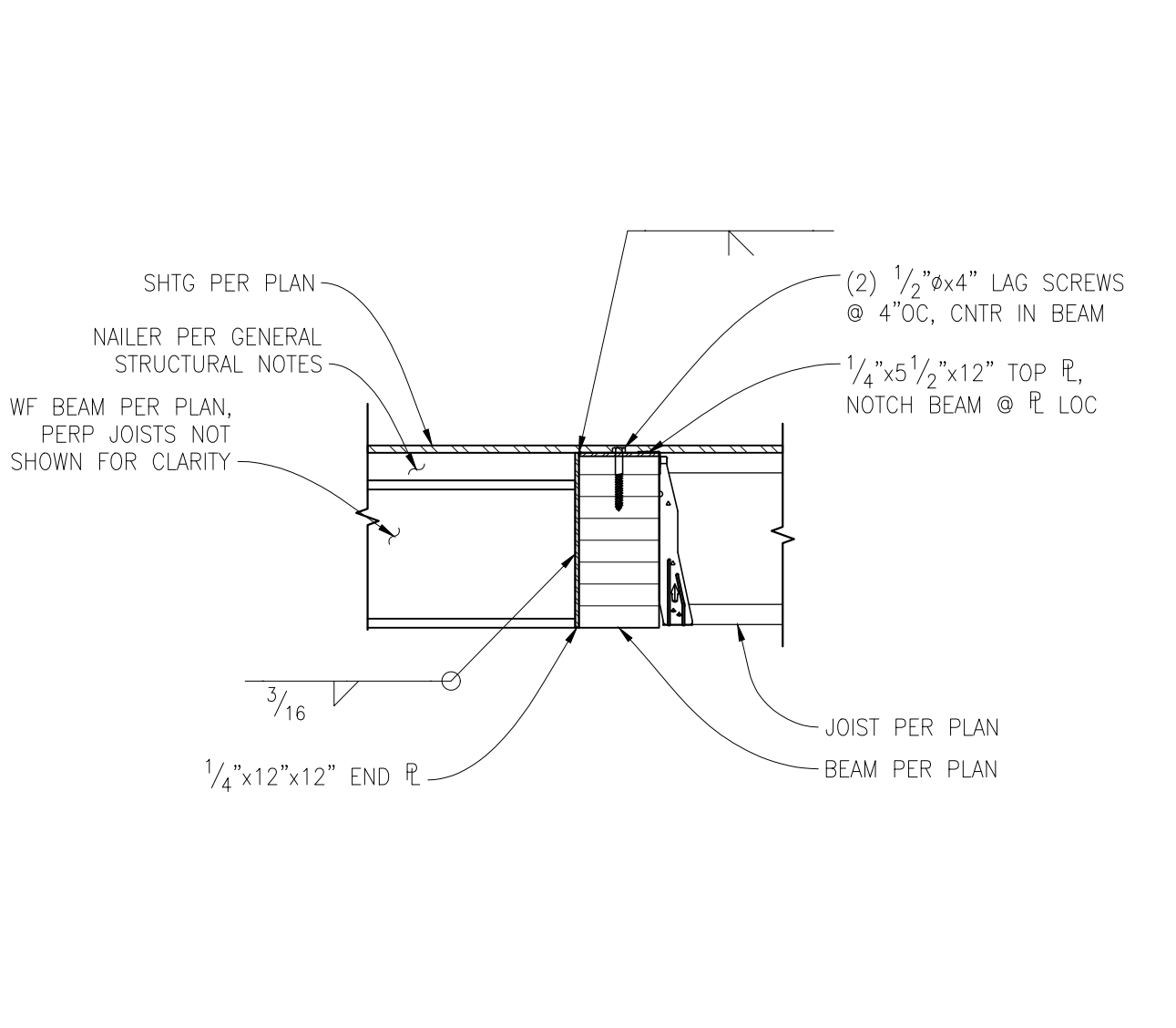
11



WF BEAM TO HEADER DETAIL

SCALE: 1" = 1'-0"

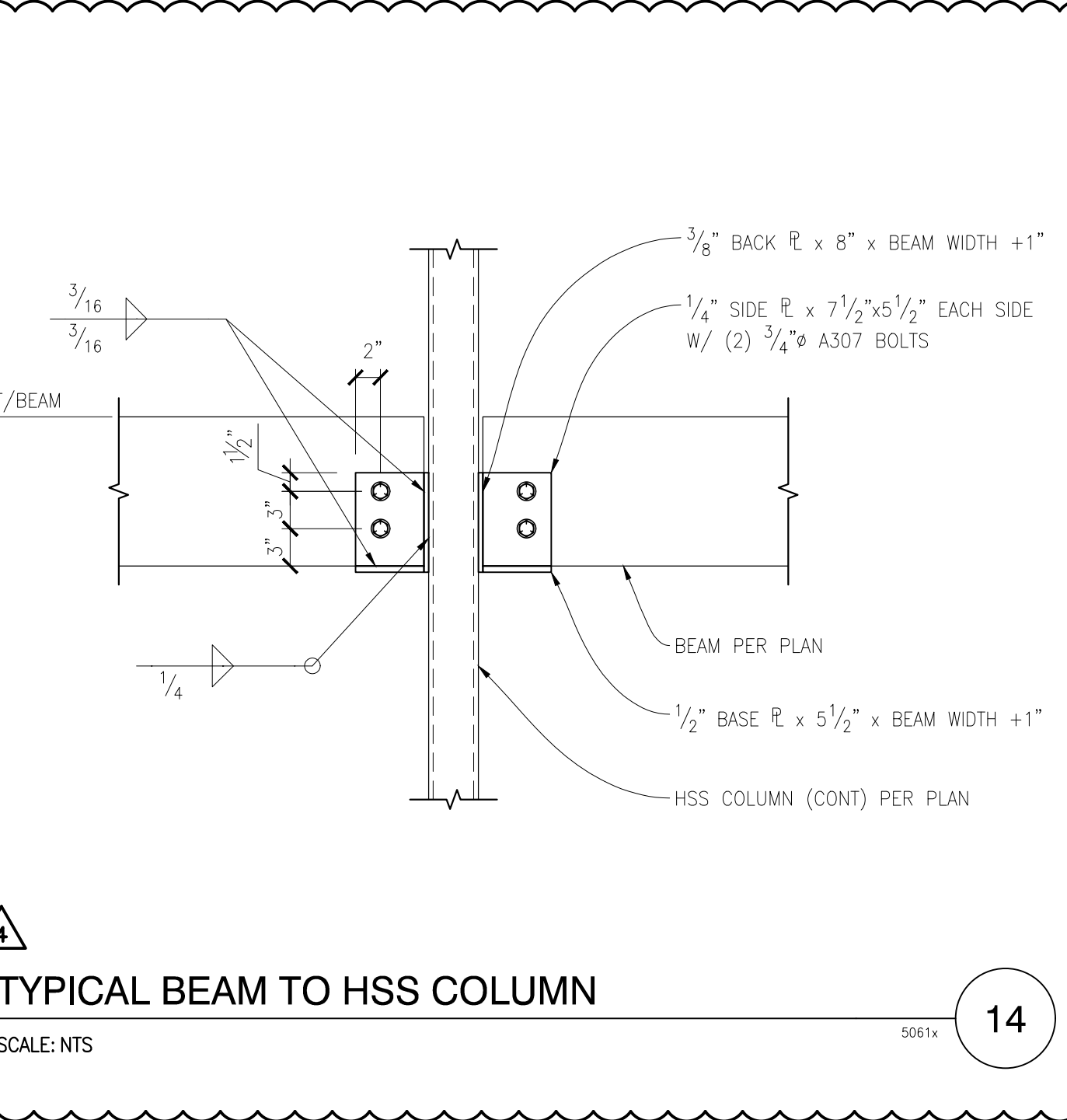
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WF BEAM TO GLULAM BEAM DETAIL

SCALE: 1" = 1'-0"

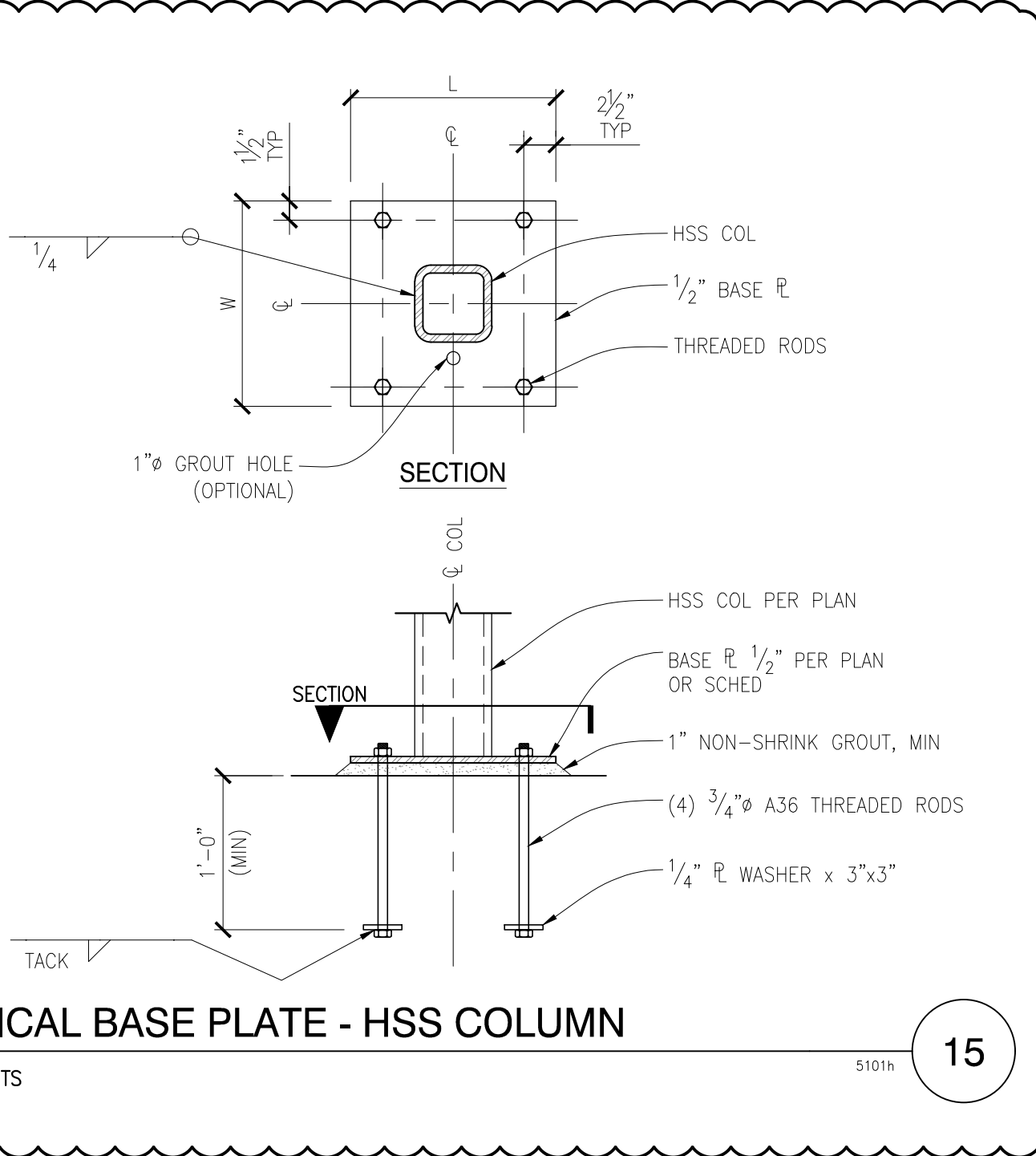
13



TYPICAL BEAM TO HSS COLUMN

SCALE: NTS

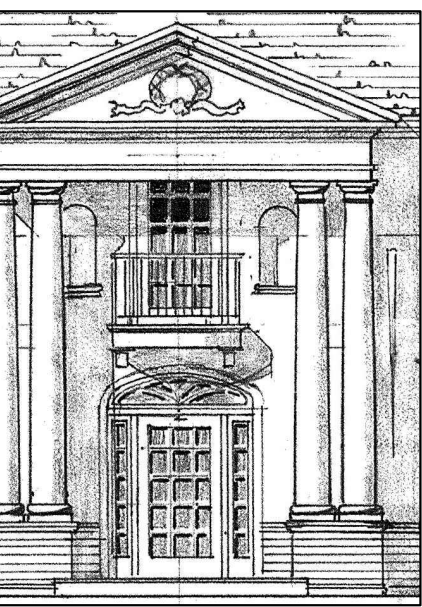
14



TYPICAL BASE PLATE - HSS COLUMN

SCALE: NTS

15



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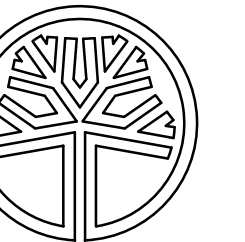
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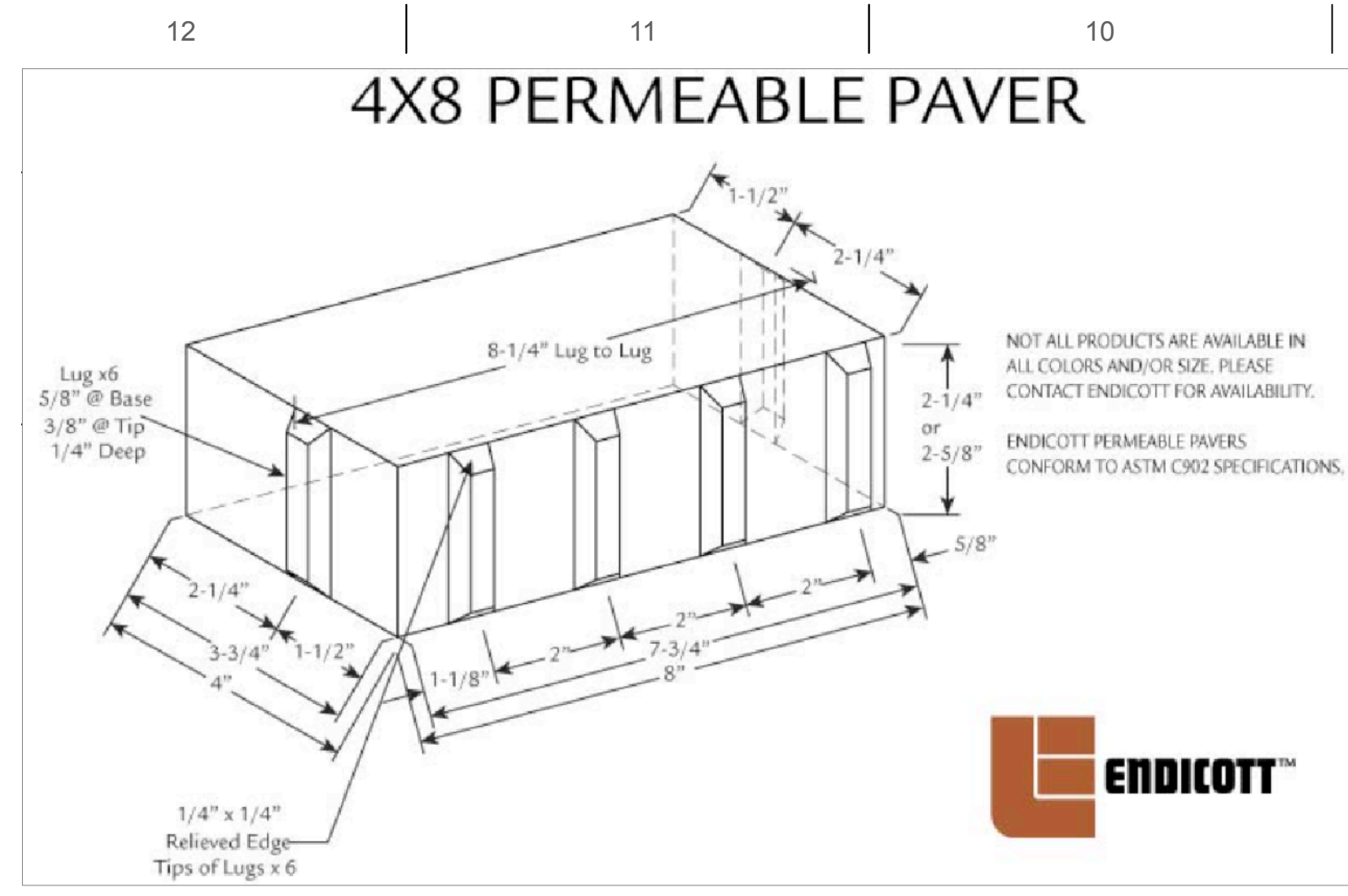
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DRAWN BY: SAT/TLE
DESIGNED BY: JBB

STRUCTURAL
DETAILS

S4.1



DANIEL M. DI ZAZZO
CERTIFICATE NO. 1205



NOTE:
1. INSTALLATION TO FOLLOW CITY OF MERCER ISLAND PERMEABLE BLOCK DESIGN GUIDELINES.

A PERMEABLE BRICK PAVER
SCALE: NOT TO SCALE

GRADING & DRAINAGE NOTES

- ESTABLISH THE FOLLOWING SUBGRADES:
PLANTING AREAS: +1'2" TO ALLOW FOR 10" TOPSOIL & 2" MULCH
- SLOPE ALL PAVED SURFACES TO DRAIN @ MIN. 1%
- VERIFY ALL FINISH GRADES IN FIELD WITH LANDSCAPE ARCHITECT

ARTIFICIAL TURF

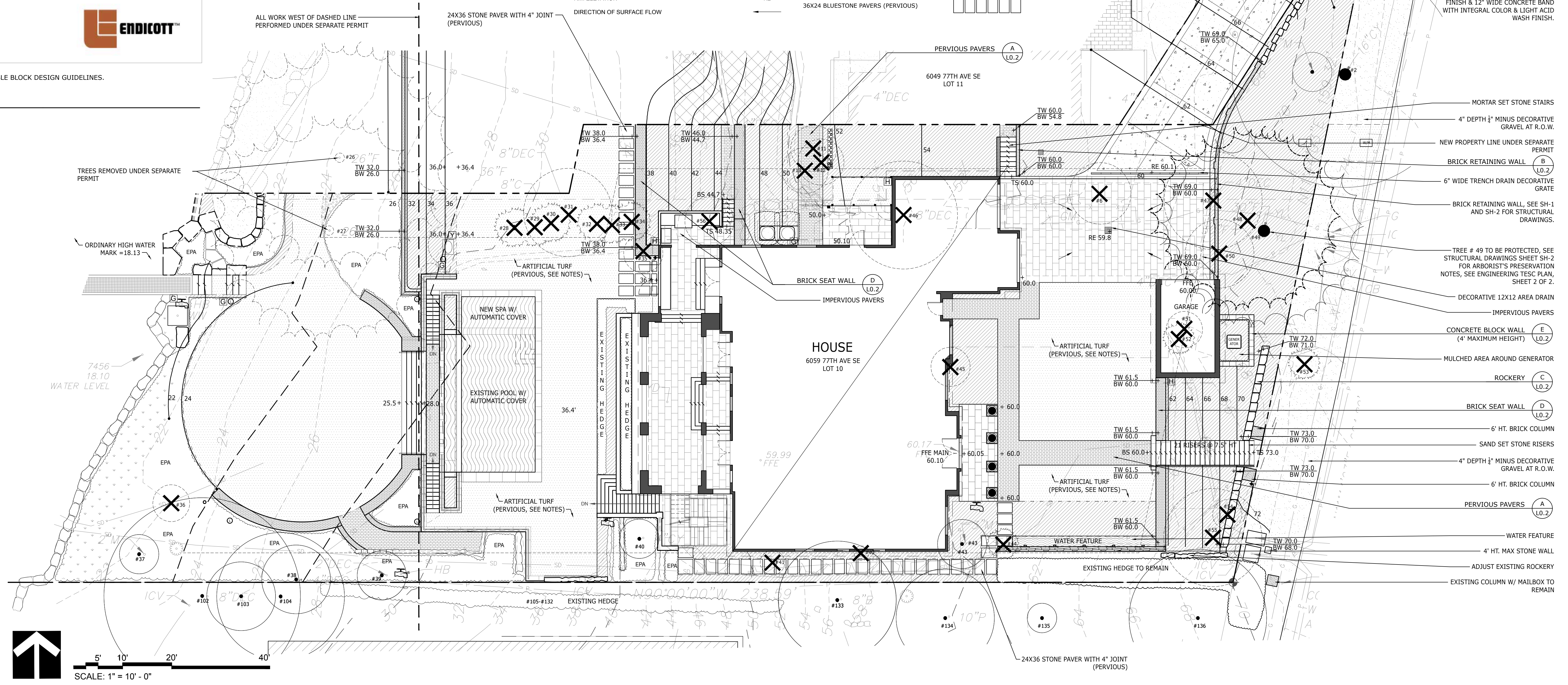
- TEST PITS TO BE DUG ON SITE TO ENSURE SOIL DRAINAGE FOR ARTIFICIAL TURF.
- ARTIFICIAL TURF TO BE SITE TESTED TO VERIFY DRAINAGE CAPACITY.

GRADING & DRAINAGE LEGEND

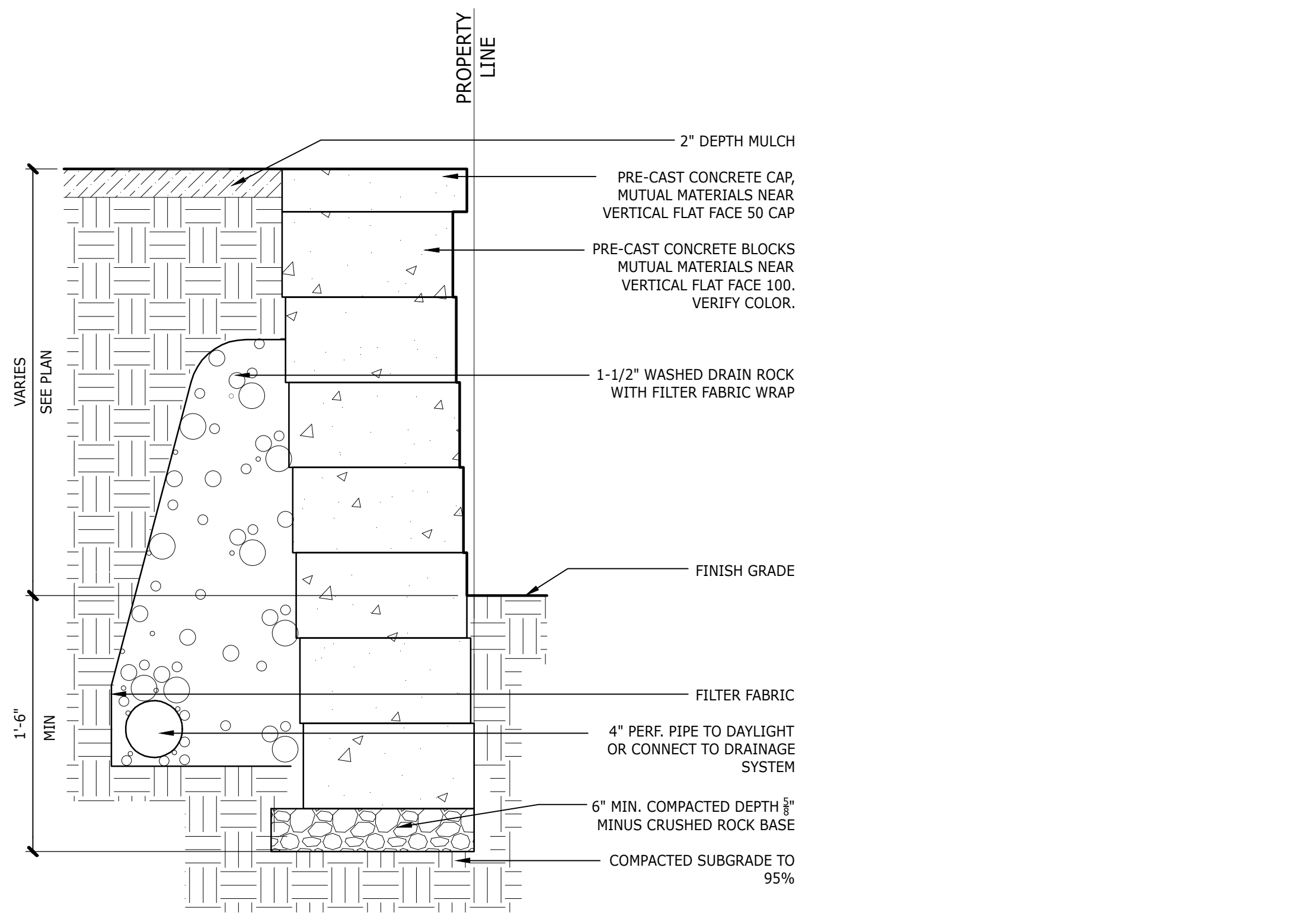
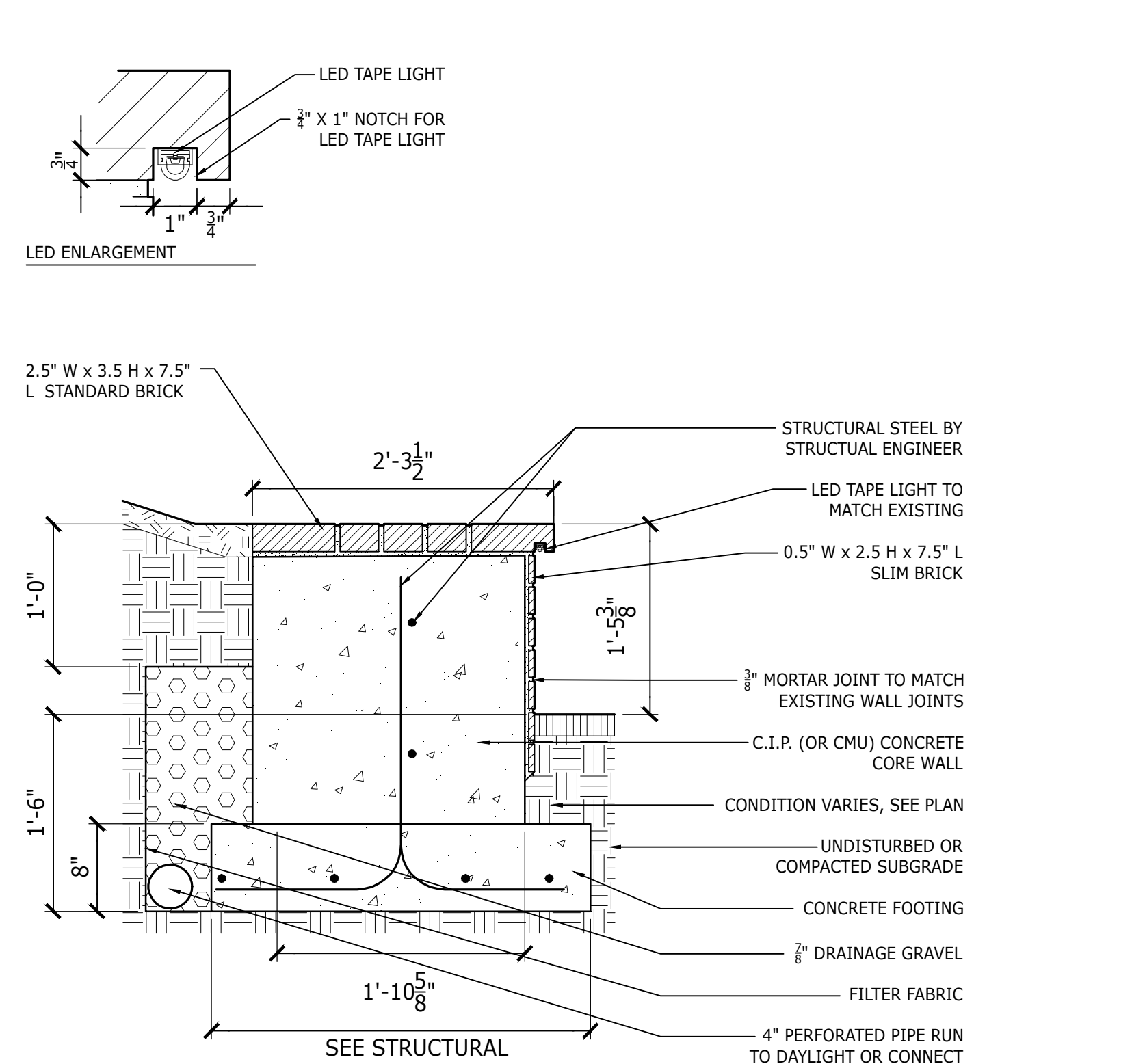
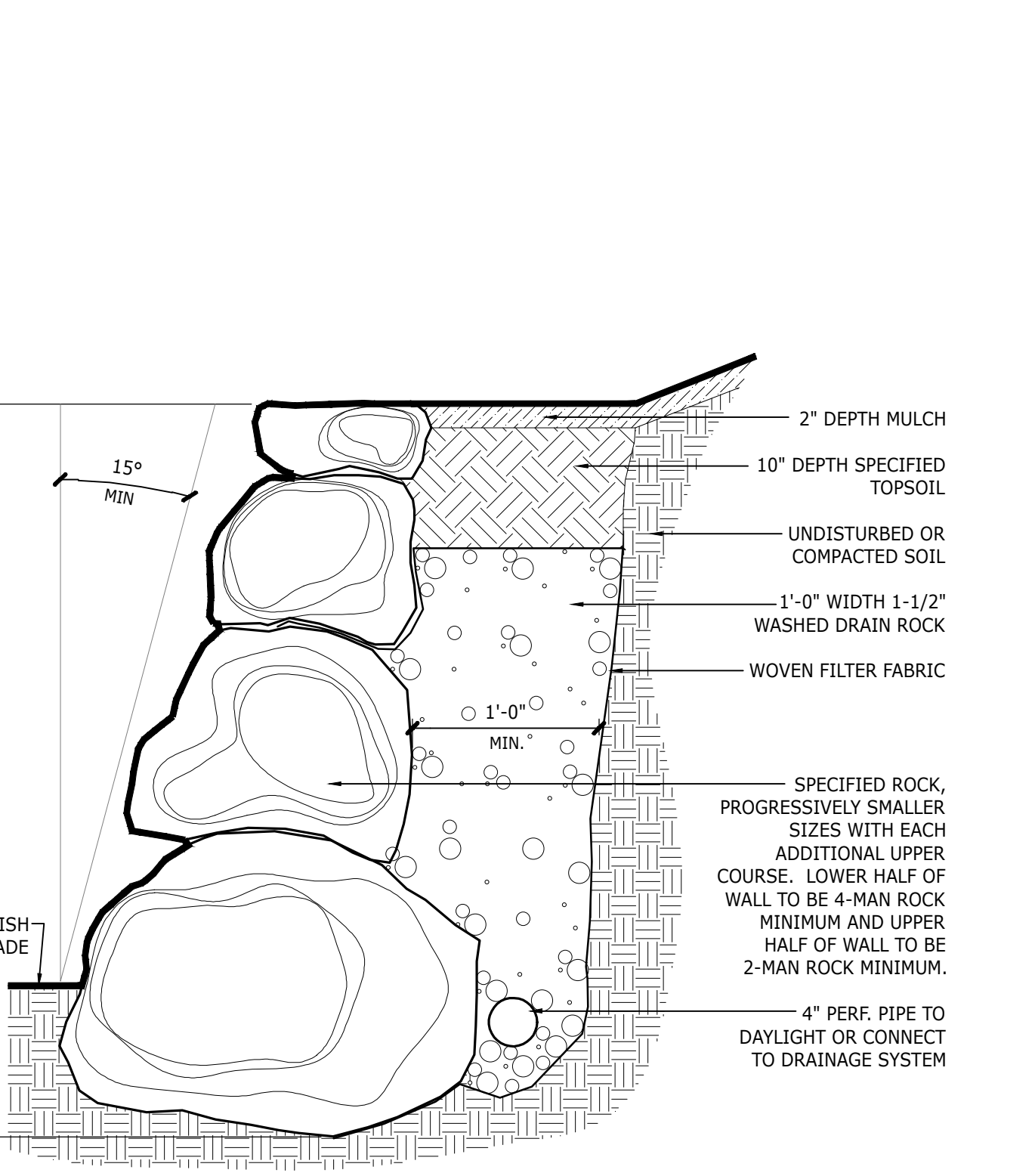
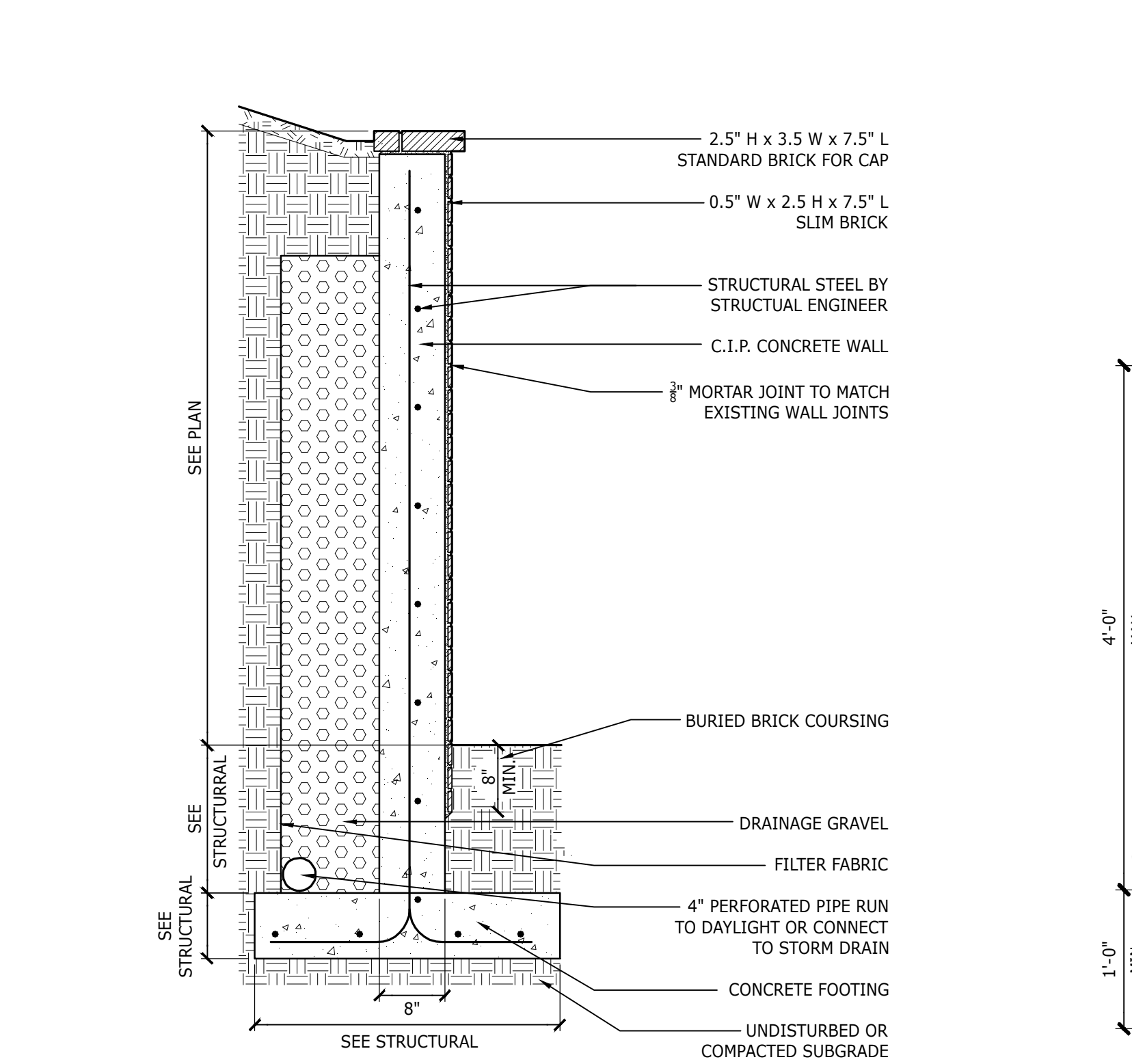
PROPOSED CONTOUR	956
EXISTING CONTOUR	956
PERFORATED PIPE - 4" SCHEDULE 40 PVC	← - - -
AREA DRAIN-12"x12" NDS CATCH BASIN W/ CAST IRON GRATE	AD
PROPOSED SPOT ELEVATION	+ 23.45
EXISTING SPOT ELEVATION	(123.45)
FINISH FLOOR ELEVATION	FFE
TOP OF WALL	TW
BOTTOM OF WALL	BW
TOP OF STEP	TS
BOTTOM OF STEP	BS
RIM ELEVATION	RE
DIRECTION OF SURFACE FLOW	→

GENERAL LEGEND

3/16" x 6" JD RUSSELL DURA EDGE STEEL EDGING OR APPROVED EQUAL INSTALL PER MFR. SPECIFICATIONS	
EXISTING DECIDUOUS TREE	
EXISTING EVERGREEN TREE	
EXISTING TREE TO BE REMOVED	
EXISTING PLANTING AREA	
ARTIFICIAL TURF	
PLANTING AREA	
SHORELINE PLANTING (SEPARATE PERMIT)	
PERVIOUS PAVERS	
IMPERVIOUS STONE PAVERS	
36X24 BLUESTONE PAVERS (PERVIOUS)	



- 6" WIDE TRENCH DRAIN DECORATIVE GRATE
- 6" HT. BRICK COLUMN
- 6" DEPTH C.I.P CONCRETE DRIVEWAY WITH INTEGRAL COLOR AND RAKE FINISH & 12" WIDE CONCRETE BAND WITH INTEGRAL COLOR & LIGHT ACID WASH FINISH.
- MORTAR SET STONE STAIRS
- 4" DEPTH 1/2" MINUS DECORATIVE GRAVEL AT R.O.W.
- NEW PROPERTY LINE UNDER SEPARATE PERMIT
- BRICK RETAINING WALL (B) (L.O.2)
- 6" WIDE TRENCH DRAIN DECORATIVE GRATE
- BRICK RETAINING WALL, SEE SH-1 AND SH-2 FOR STRUCTURAL DRAWINGS.
- TREE # 49 TO BE PROTECTED, SEE STRUCTURAL DRAWINGS SHEET SH-2 FOR ARBORIST'S PRESERVATION NOTES, SEE ENGINEERING TESC PLAN, SHEET 2 OF 2.
- DECORATIVE 12X12 AREA DRAIN
- IMPERVIOUS PAVERS
- CONCRETE BLOCK WALL (E) (4" MAXIMUM HEIGHT) (L.O.2)
- MULCHED AREA AROUND GENERATOR
- ROCKERY (C) (L.O.2)
- BRICK SEAT WALL (D) (L.O.2)
- 6" HT. BRICK COLUMN
- SAND SET STONE RISERS
- 4" DEPTH 1/2" MINUS DECORATIVE GRAVEL AT R.O.W.
- 6" HT. BRICK COLUMN
- PERVIOUS PAVERS (A) (L.O.2)
- WATER FEATURE
- 4" HT. MAX STONE WALL
- ADJUST EXISTING ROCKERY
- EXISTING COLUMN W/ MAILBOX TO REMAIN



B TYPICAL BRICK WALL DETAIL
SCALE: 3/4"=1'-0"

C ROCKERY
SCALE: 1"=1'-0"

D BRICK SEAT WALL
SCALE: 1"=1'-0"

E CONCRETE BLOCK WALL
SCALE: 1-1/2"=1'-0"

PROJECT TITLE
PEYREE RESIDENCE
6059 77TH AVE SE
Mercer Island, WA 98040

DRAWING TITLE
LAYOUT, MATERIALS, GRADING, & UTILITIES PLAN

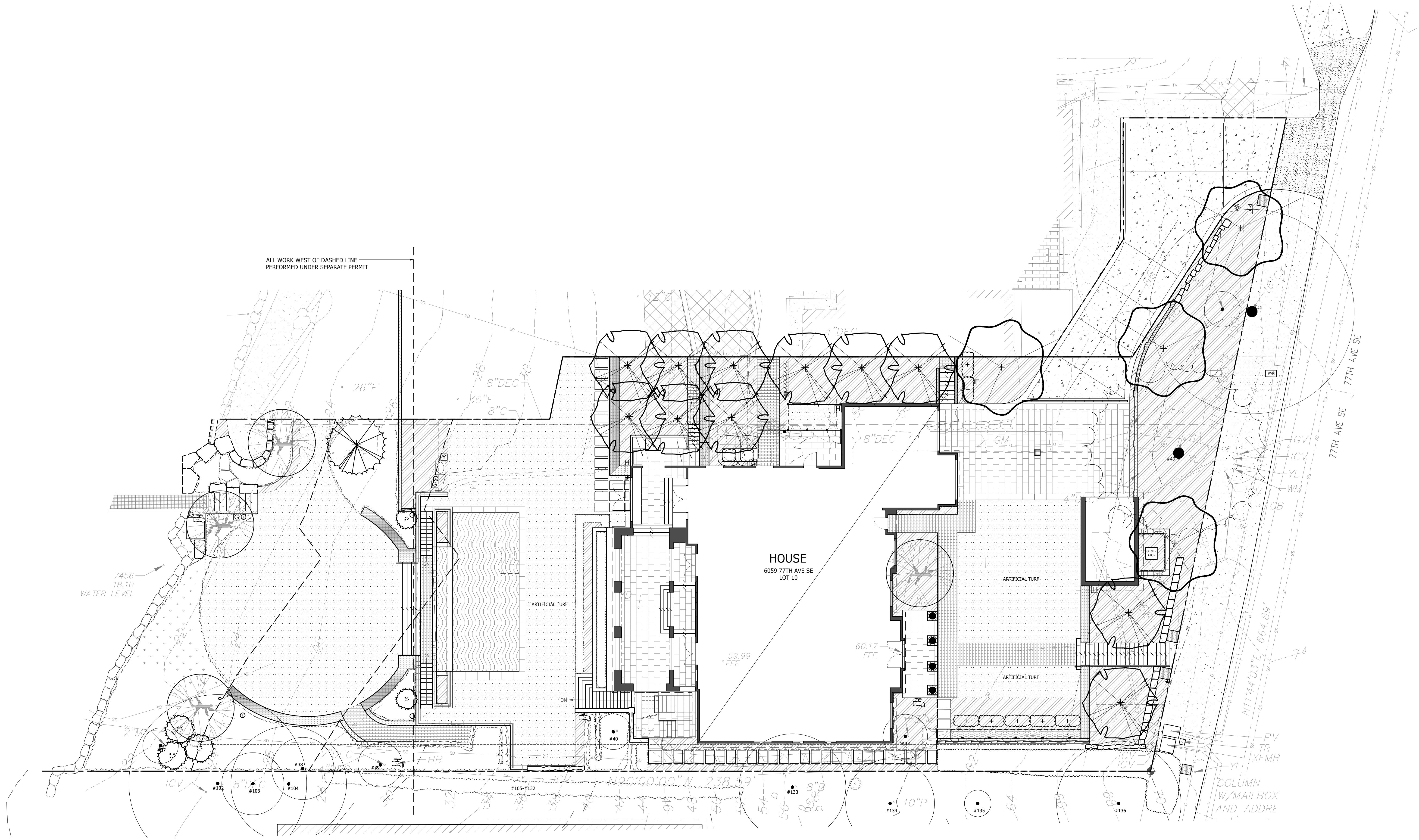
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3	02.12.19	PERMIT REVISION
4	05.03.19	PERMIT REVISION
5	06.12.19	PERMIT REVISION
6	05.29.20	PERMIT REVISION

SHEET NUMBER

L0.2



J
I
H
G
F
E
D
C
B
A



PROJECT TITLE
PEYREE RESIDENCE
 6059 77TH AVE SE
 Mercer Island, WA 98040

DRAWING TITLE
SCHEMATIC PLANTING PLAN

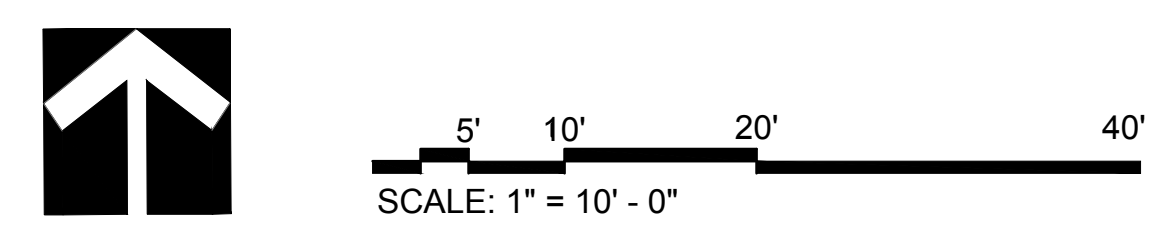
PLANT SCHEDULE

TREES		SIZE	QTY.	REMARKS
	ACER PALMATUM JAPANESE MAPLE	7-8' HT.	3	
	BETULA UTILIS 'JACQUEMONTII' JACQUEMONT BIRCH	2-1/2" CAL.	4	
	CARPINUS BETULUS PLEACHED HORNBEEAM	2" CAL.	7	
	CARPINUS BETULUS 'FASTIGIATA' PYRAMIDAL EUROPEAN HORNBEEAM	2" CAL.	11	
	CHAMAECYPARIS OBTUSA 'GRACILIS' SLENDER HINGKI FALSE CYPRESS	8"-10" HT.	4	
OTHER				
	SHRUB, GROUNDCOVER, AND PERENNIAL PLANTING AREA	N/A	-	
	SHORELINE NATIVE PLANTING. SEPARATE PERMIT.	N/A	-	
	ARTIFICIAL TURF	N/A	-	

- PLANT NOTES**
- FINISH GRADES SHALL BE 1" BELOW TOP OF ADJACENT PAVED SURFACE. PLANTING AREAS SHALL BE CROWNED 1/2" PER FOOT, UNLESS OTHERWISE NOTED.
 - ALL SHRUB AREAS TO RECEIVE 1" DEPTH OF APPROVED TOPSOIL.
 - ALL SHRUB AREAS TO RECEIVE THE FOLLOWING SOIL PREPARATION: SCARIFY OR ROTO-TILL EXISTING SUBGRADES TO A MINIMUM DEPTH OF 12". REMOVE ALL LARGE STONES AND OTHER MISC. DEBRIS. PLACE ONE-HALF DEPTH SPECIFIED TOPSOIL AND INCORPORATE INTO PREPARED SUBGRADE. PLACE REMAINING TOPSOIL TO FINISH GRADE. TOPSOIL DEPTHS TO BE MEASURED AFTER COMPACTING.
 - ALL ARTIFICIAL TURF AREA TO RECEIVE 5" DEPTH OF APPROVED DRAINAGE GRAVEL OVER THE SUBGRADE EXCAVATED 6" DEPTH AND SLOPED TO DRAIN.
 - ALL PLANTING AREAS ARE TO RECEIVE 2" DEPTH CEDAR GROVE LANDSCAPE MULCH OR APPROVED EQUAL.
 - LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL UNTIL FINAL INSPECTION AND APPROVAL.
 - ALL PLANTINGS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING FINAL OWNER ACCEPTANCE.
 - PROVIDE SLOW-RELEASE FERTILIZER (OSMOCOTE OR APPROVED EQUIV.) AT ALL PLANTINGS. PROVIDE FERTILIZER PLANT TABLETS AT ALL TREE PLANTINGS (TWO PER TREE). VERIFY WITH LANDSCAPE ARCHITECT.

NO.	DATE	DESCRIPTION
1	07.20.17	PERMIT
2	09.25.18	PERMIT REVISION
3	02.12.19	PERMIT REVISION
4	05.03.19	PERMIT REVISION
5	06.12.19	PERMIT REVISION
6	06.04.20	PERMIT REVISION

SHEET NUMBER



L0.3

