

Gelotte Hommas
THE ART OF ARCHITECTURE

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Bellevue, Washington 98004
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www.gelotthommas.com

PEYREE REMODEL B
6059 77th Ave SE
Mercer Island, WA 98040-5129

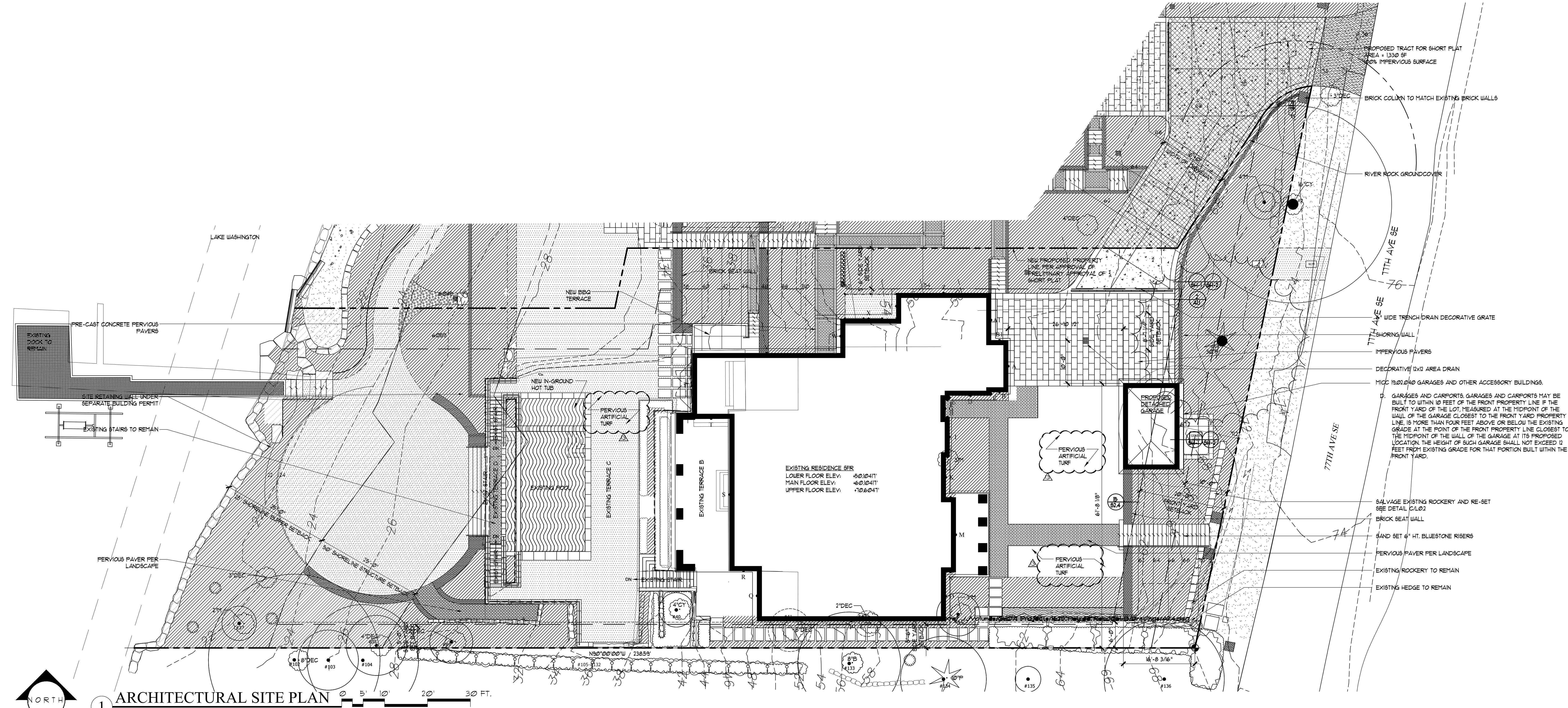
NO.	DATE	REVISION
02/15/21	02/15/21	PERMIT REV. #2
02/09/21	02/09/21	ASI 015
01/28/21	01/28/21	ASI 014
01/20/21	01/20/21	ASI 013
01/14/21	01/14/21	ASI 012
11/23/20	11/23/20	CONST. SET #3
09/17/20	09/17/20	CONST. SET #2

DATE: 02/15/2021
JOB NUMBER: 1625
PM: DKG
FILE: xSITE.dwg

ARCHITECTURAL
SITE PLAN

A1.1

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1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"

PROJECT ADDRESS
6059 77th Ave SE
Mercer Island, WA 98040

ZONING CLASSIFICATION
CITY OF MERCER ISLAND: R-12

GENERAL NOTES
1. SEE CIVIL ENGINEERING SHEETS FOR UTILITIES, ESC, DRAINAGE, T.O.W. & B.O.W. FOR RETAINING WALLS.
2. SEE TREE PRESERVATION & REMOVAL PLAN FOR TREE SCHEDULE & TREE PROTECTION FENCE.

LEGAL DESCRIPTION
THE NORTH 18 FEET OF THE SOUTH 180 FEET OF THAT PORTION OF GOVERNMENT LOT 1 OF SECTION 24, TOWNSHIP 24 NORTH, RANGE 4 EAST, W.M., LYING WEST OF A STRAIGHT LINE RUNNING FROM A POINT ON THE SOUTH LINE OF SAID GOVERNMENT LOT 4, WHICH POINT OF 63.24 FEET WEST OF THE NORTHEAST CORNER OF SAID LOT, (ALSO KNOWN AS LOT 10 OF LAKE VIEW HIGHLANDS WATERFRONT TRACTS UNRECORDED) TOGETHER WITH SECOND CLASS SHORELANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN FRONT OF, ADJACENT TO, OR ABUTTING THEREON, SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

ASSESSOR'S PARCEL NO. 409110-0055

IMPERVIOUS SURFACE COVERAGE

TOTAL LOT AREA	21200 SF
TOTAL ALLOWABLE (21200 x 35%)	7420 SF
EXISTING IMPERVIOUS SURFACE (TO REMAIN)	
HOUSE	3389 SF
TERRACES	11 SF
WATER FEATURE	91 SF
STAIRS	12 SF
POOL	451 SF
TOTAL EXISTING	4170 SF

PROPOSED IMPERVIOUS SURFACE

HOUSE (ADDITION)	1286 SF
DETACHED GARAGE	336 SF
DRIVEWAY	1081 SF
HOT TUB	115 SF
TERRACE & STAIRS	316 SF
COLUMN	18 SF
GENERATOR PAD	9 SF
TOTAL PROPOSED	3221 SF

EXISTING + PROPOSED TOTAL = 4170 + 3221 = 7391 SF UNDER BY 29 SF

HEIGHT CALCULATIONS
Peyree Remodel B
Building Height Calculations
Revised 04/26/2017

Point	Length	Mid. Elev	Product
A	12.00	61.00	732.00
B	4.00	60.80	243.20
C	0.83	60.80	50.90
D	9.67	60.20	582.13
E	1.00	58.50	58.50
F	1.00	58.30	58.30
G	4.08	58.50	238.88
H	1.00	58.80	58.80
I	9.17	59.20	542.86
J	0.92	59.50	54.74
K	9.50	59.80	568.10
L	2.33	59.90	139.57
M	17.33	60.17	1042.75
N	2.33	60.17	140.20
O	11.42	59.90	694.06
P	43.92	57.80	2538.58
Q	11.67	49.00	571.83
R	6.42	48.40	297.89
S	35.50	46.40	1647.20
T	8.75	46.40	406.00
U	15.17	36.40	552.19
V	34.58	42.20	1459.28
W	8.00	49.00	392.00
X	13.00	52.20	678.60
Y	6.00	54.90	329.40
Z	22.00	57.20	1258.40
A1	11.00	60.50	665.50
B1	4.00	61.00	244.00
	297.99		15325.64

Ave. Bldg. Elevation: 52.56
Height Allowed: 30.00
Allowable Height: 82.56

VICINITY PLAN



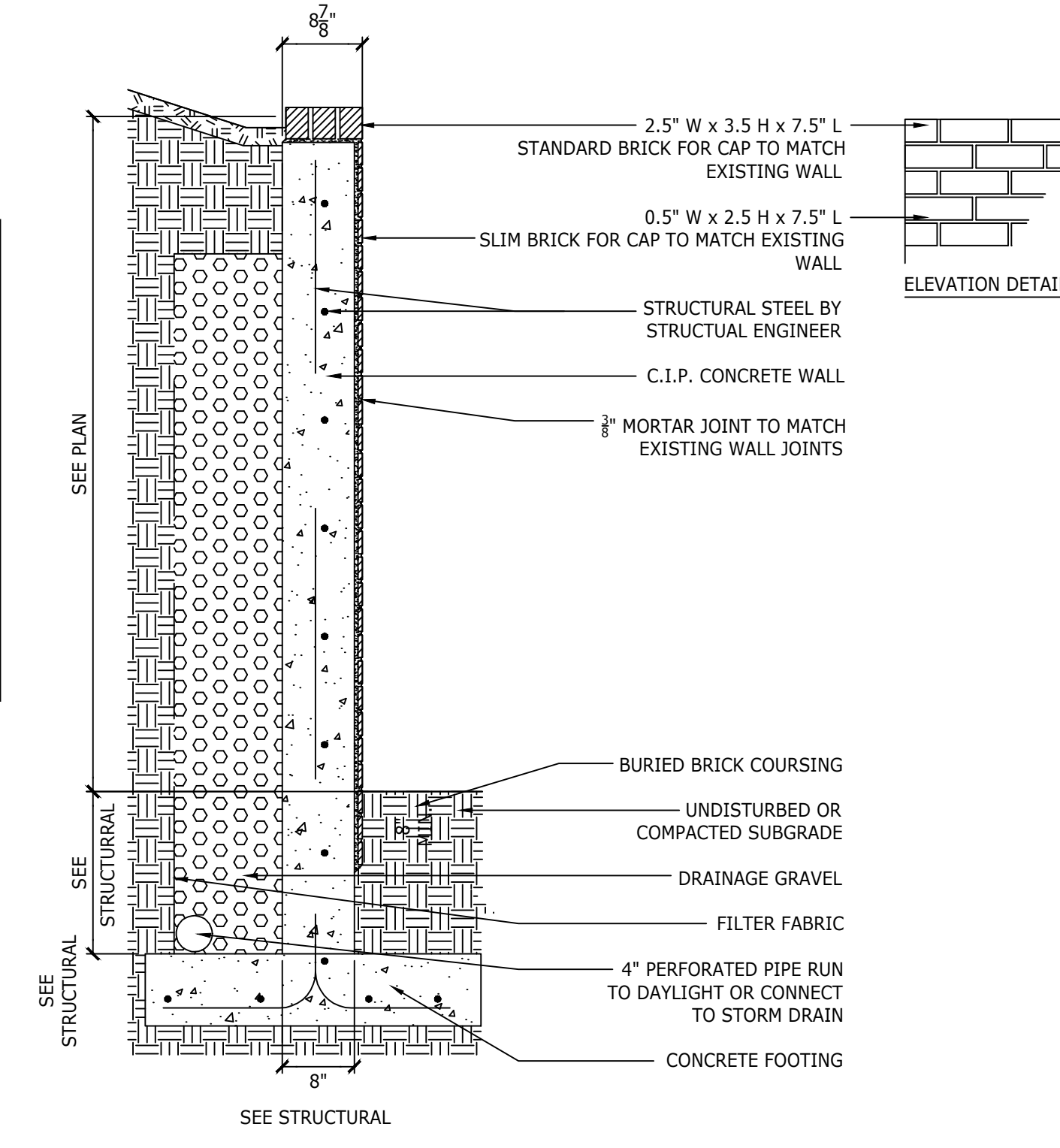
GROSS FLOOR CALCULATION
Peyree Remodel B
Gross Floor Area
Revised 04/20/2020

Allowable Area:	Lot Area	Code factor	9,540
Proposed Area:			
Lower Floor:			1,444
Main Floor:			3,303
Upper Floor:			3,159
Attached Garage:			508
Detached Garage (Accessory Building):			260
Bath & Pool Equipment:			174
Total Area:			8,848
			-692
Proposed % of Lot Area:			42%

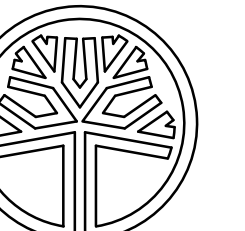
Lower Floor Area exclusions
Peyree Residence
Revised 07/09/2018

Point	Length	Wall Ht.	Exst. grade	midpoint ht.	Coverage	Result	Percentage
A	2.00	8.95	8.95	1.00	2.00	8.95	2%
B	3.33	8.95	8.95	1.00	3.33	8.95	3%
C	12.75	8.95	8.95	1.00	12.75	8.95	13%
D	2.33	8.95	8.95	1.00	2.33	8.95	2%
E	17.33	8.95	8.95	1.00	17.33	8.95	17%
F	2.33	8.95	8.95	1.00	2.33	8.95	2%
G	11.42	8.95	8.95	1.00	11.42	8.95	11%
H	37.92	8.95	8.17	0.91	34.62	8.95	35%
I	11.67	8.95	0.00	0.00	0.00	0.00	0%
J	6.50	8.95	0.00	0.00	0.00	0.00	0%
K	32.67	8.95	0.00	0.00	0.00	0.00	0%
L	2.17	8.95	0.00	0.00	0.00	0.00	0%
M	18.00	8.95	0.00	0.00	0.00	0.00	0%
N	46.42	8.95	0.33	0.04	17.71	8.95	2%
O	2.92	8.95	7.67	0.86	2.50	8.95	3%
P	8.17	8.95	8.95	1.00	8.17	8.95	8%
Q	21.75	8.95	8.95	1.00	21.75	8.95	22%
R	4.67	8.95	8.95	1.00	4.67	8.95	5%
	244.35						125%

Total floor area to outside of exterior wall: 2954.00
Total % / Total length: 0.51
Total area excluded from Gross Floor area: 1510.05
Total area remaining that counts toward Gross Floor Area: 1443.95

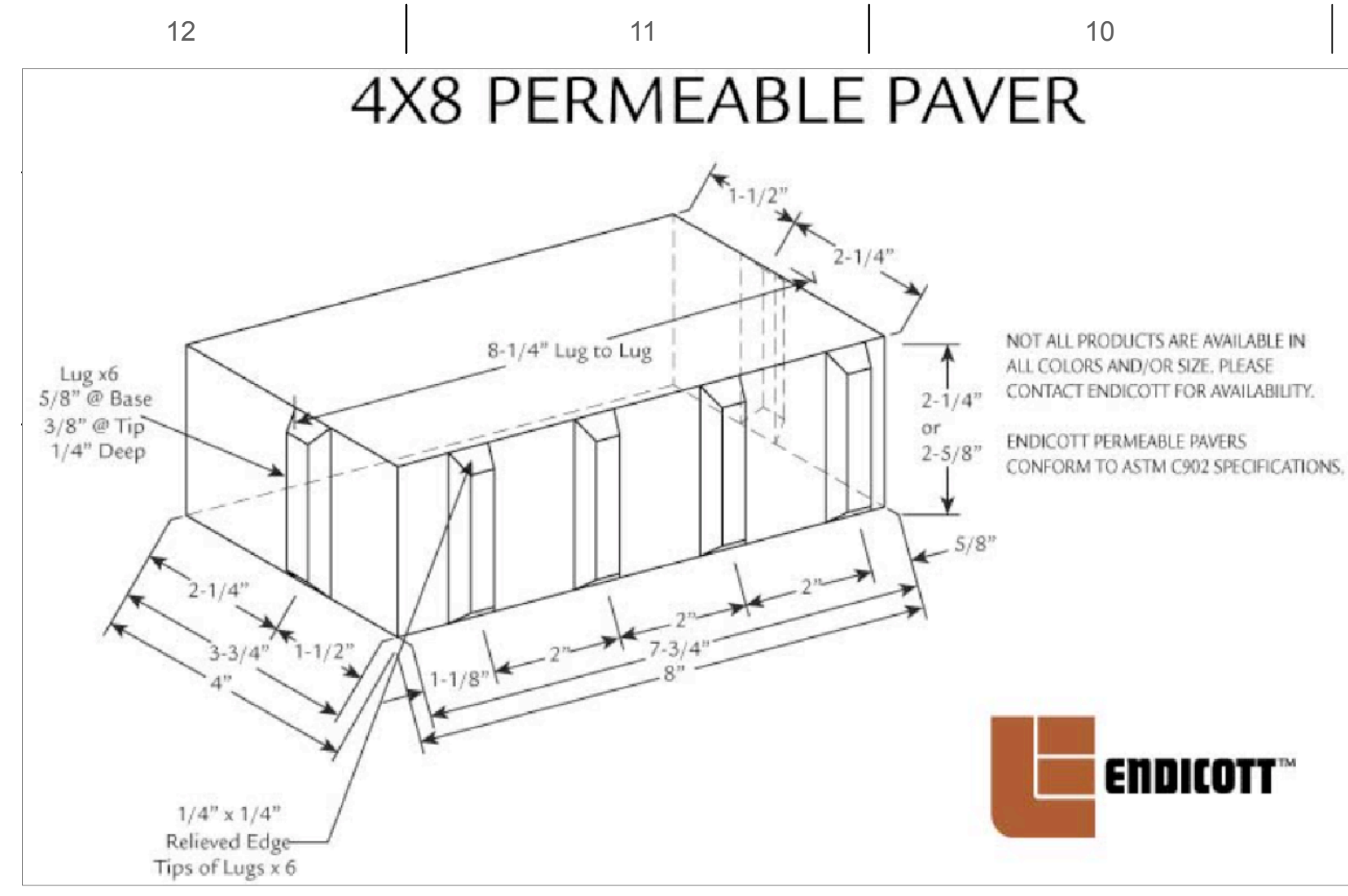


2 TYPICAL BRICK WALL DETAIL
SCALE: 3/4" = 1'-0"



STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT

DANIEL M. DI ZAZZO CERTIFICATE NO. 1205



GRADING & DRAINAGE NOTES

- ESTABLISH THE FOLLOWING SUBGRADES: PLANTING AREAS: +1'2" TO ALLOW FOR 10" TOPSOIL & 2" MULCH
- SLOPE ALL PAVED SURFACES TO DRAIN @ MIN. 1%
- VERIFY ALL FINISH GRADES IN FIELD WITH LANDSCAPE ARCHITECT

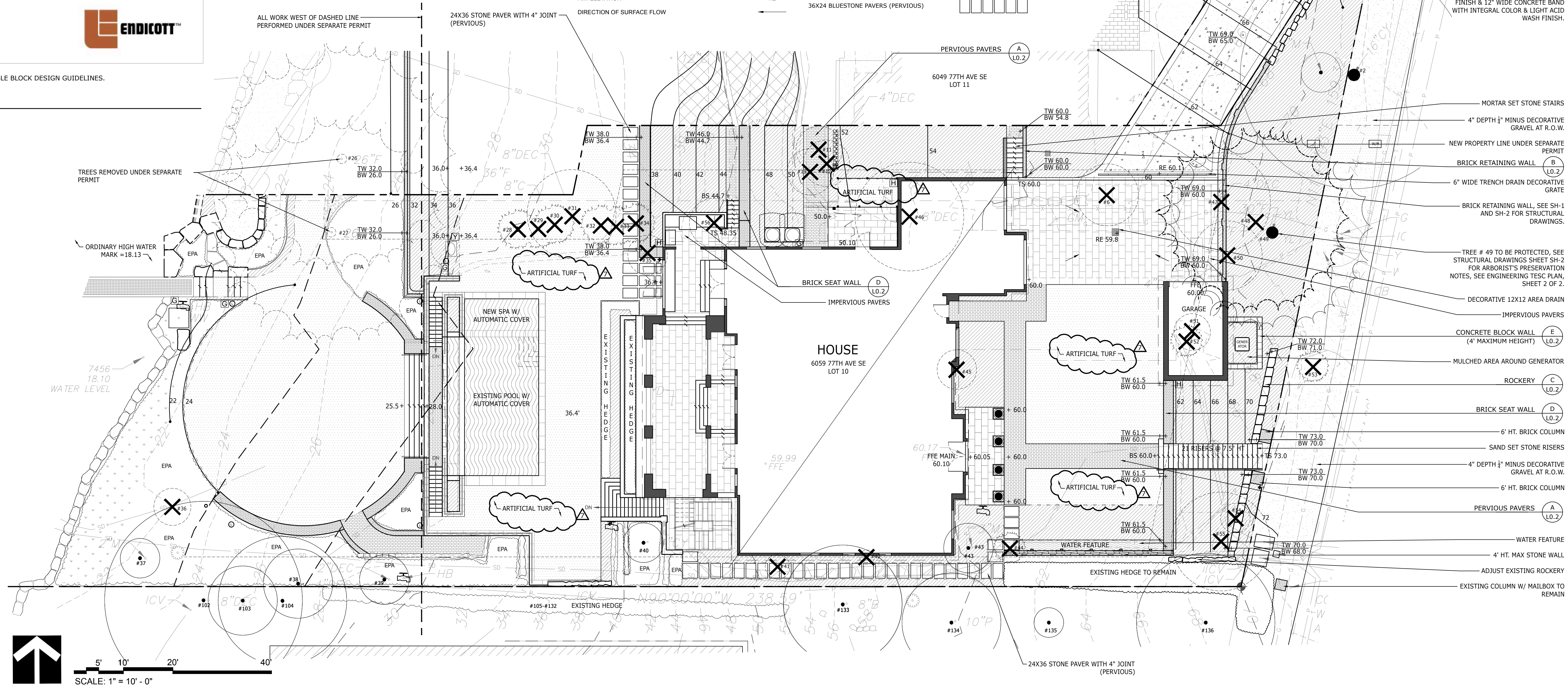
GRADING & DRAINAGE LEGEND

PROPOSED CONTOUR	956
EXISTING CONTOUR	956
PERFORATED PIPE - 4" SCHEDULE 40 PVC	← - - - - -
AREA DRAIN-12"x12" NDS CATCH BASIN W/ CAST IRON GRATE	AD
PROPOSED SPOT ELEVATION	+123.45
EXISTING SPOT ELEVATION	(123.45)
FINISH FLOOR ELEVATION	FFE
TOP OF WALL	TW
BOTTOM OF WALL	BW
TOP OF STEP	TS
BOTTOM OF STEP	BS
RIM ELEVATION	RE
DIRECTION OF SURFACE FLOW	→

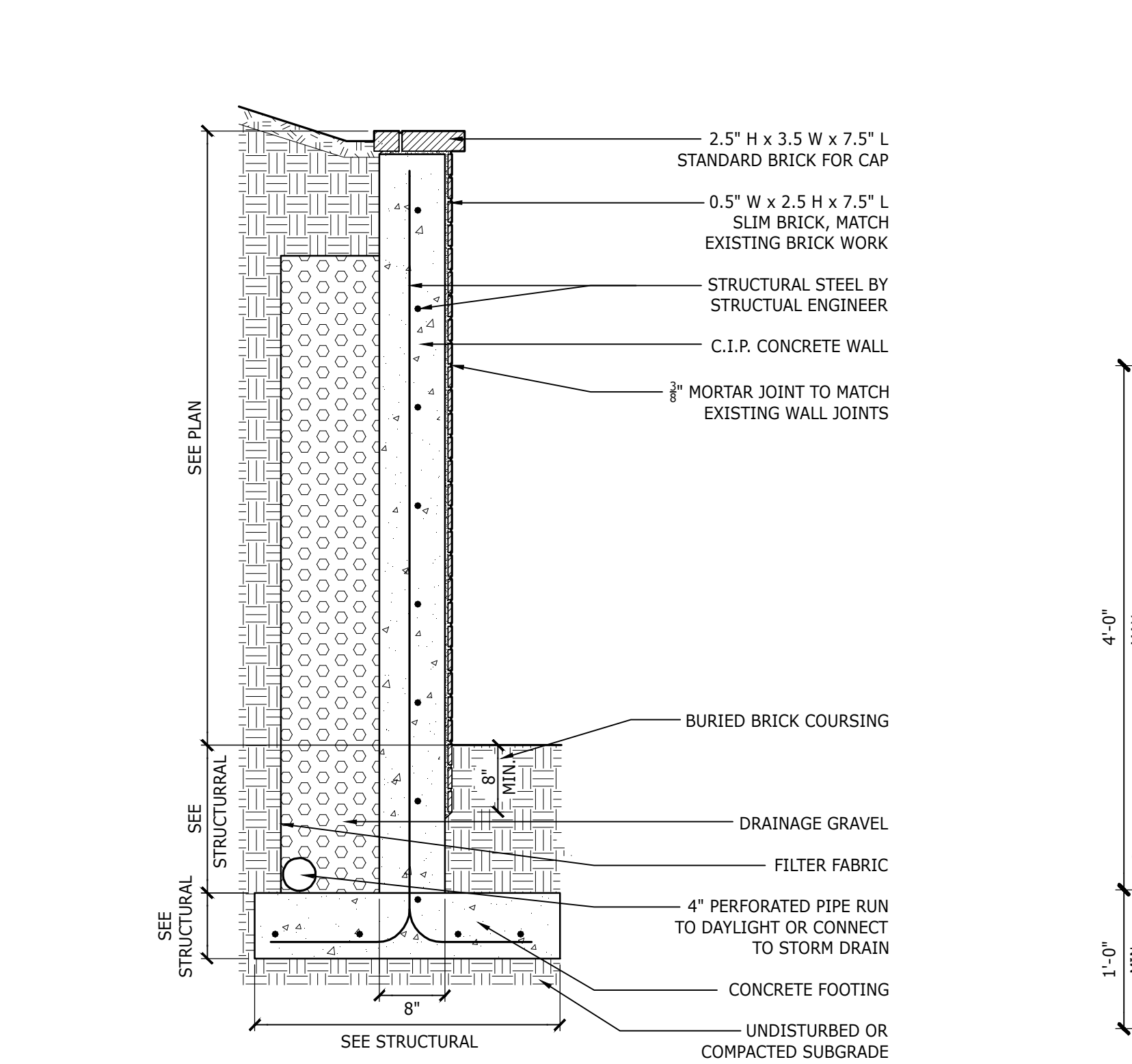
GENERAL LEGEND

3/16" x 6" JD RUSSELL DURA EDGE STEEL EDGING OR APPROVED EQUAL INSTALL PER MFR. SPECIFICATIONS	[Symbol]
EXISTING DECIDUOUS TREE	[Symbol]
EXISTING EVERGREEN TREE	[Symbol]
EXISTING TREE TO BE REMOVED	[Symbol]
EXISTING PLANTING AREA	[Symbol]
SEEDED LAWN	[Symbol]
PLANTING AREA	[Symbol]
SHORELINE PLANTING (SEPARATE PERMIT)	[Symbol]
PERVIOUS PAVERS	[Symbol]
IMPERVIOUS STONE PAVERS	[Symbol]
36X24 BLUESTONE PAVERS (PERVIOUS)	[Symbol]

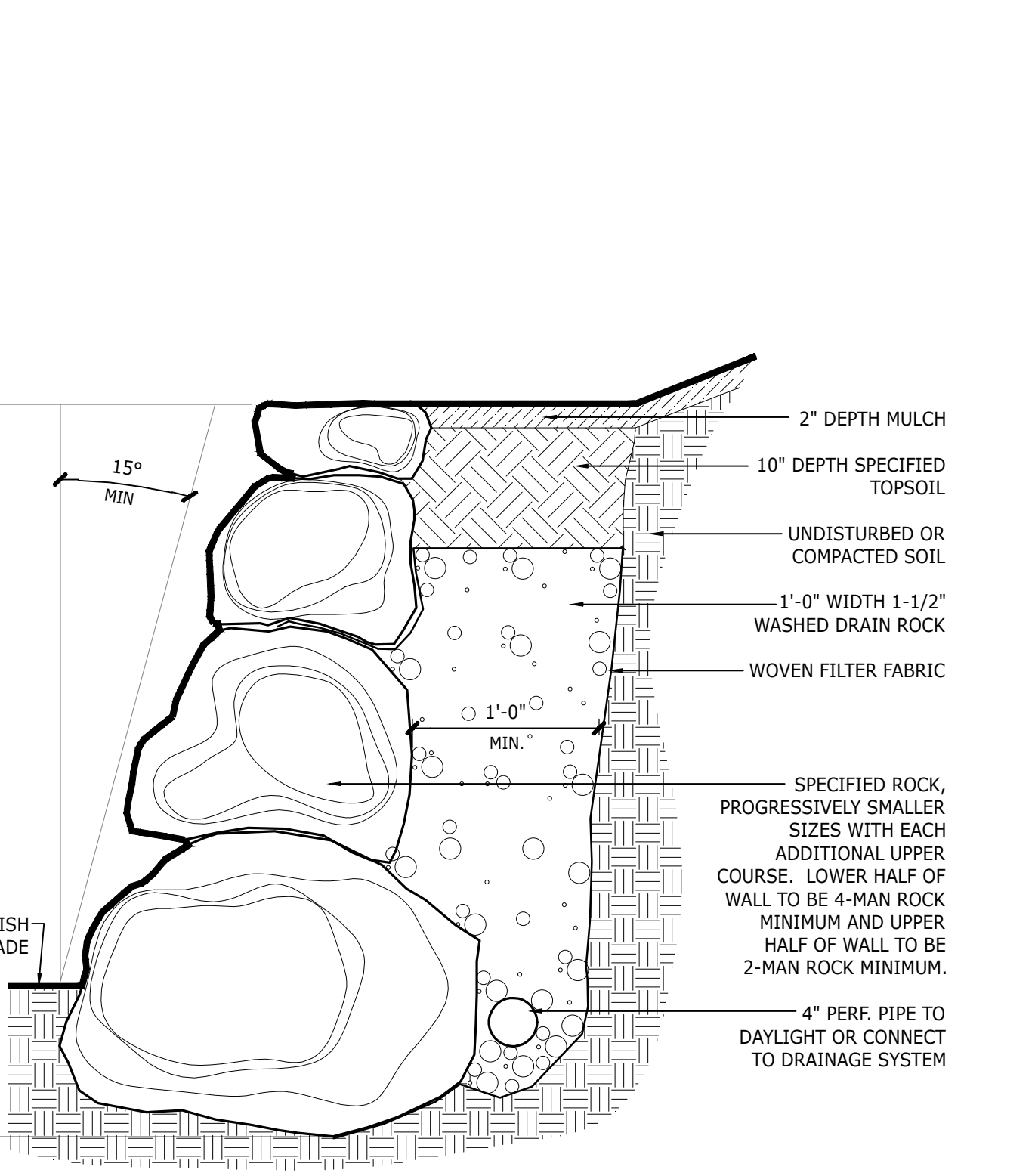
A PERMEABLE BRICK PAVER
SCALE: NOT TO SCALE



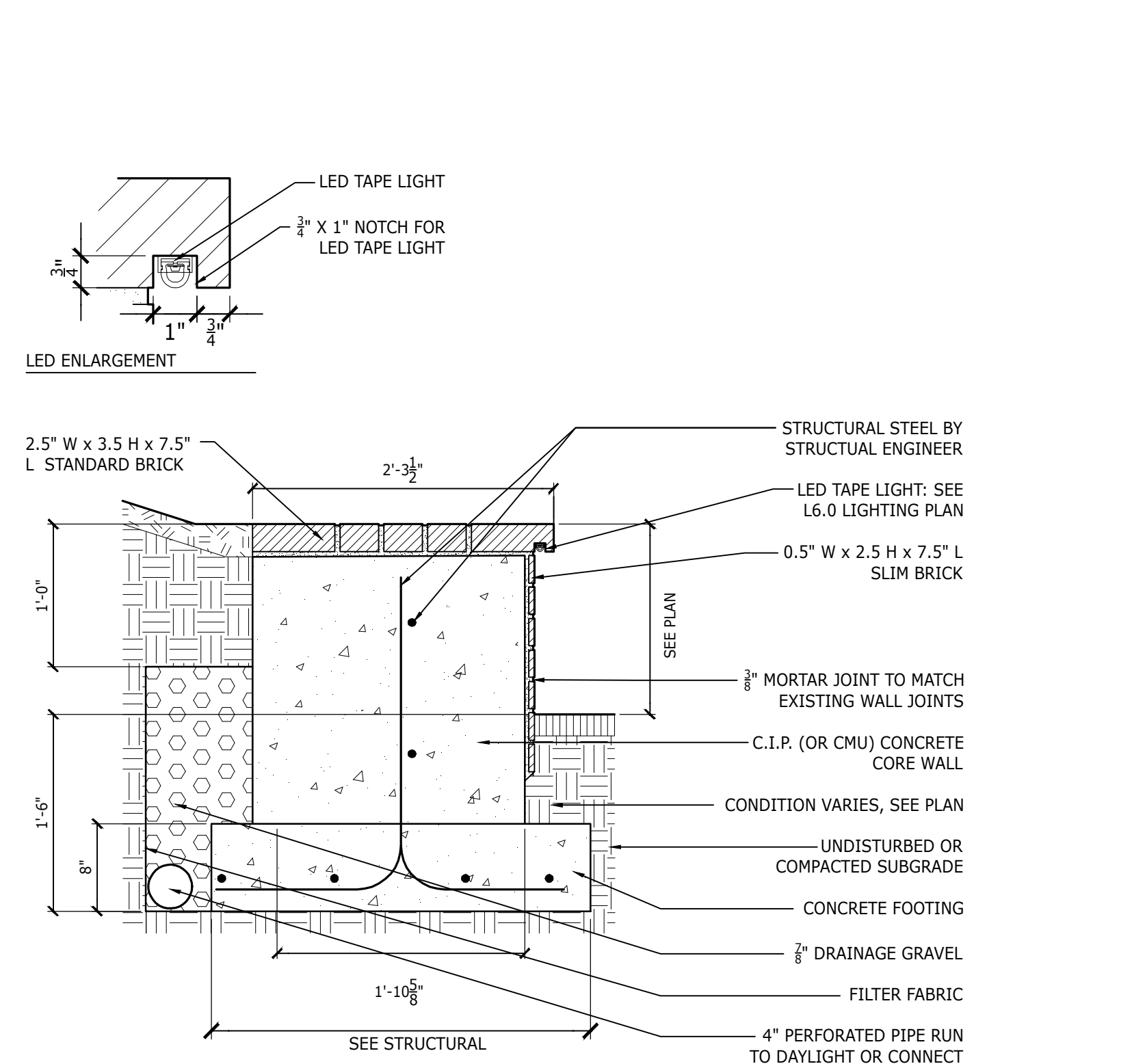
SCALE: 1" = 10' - 0"



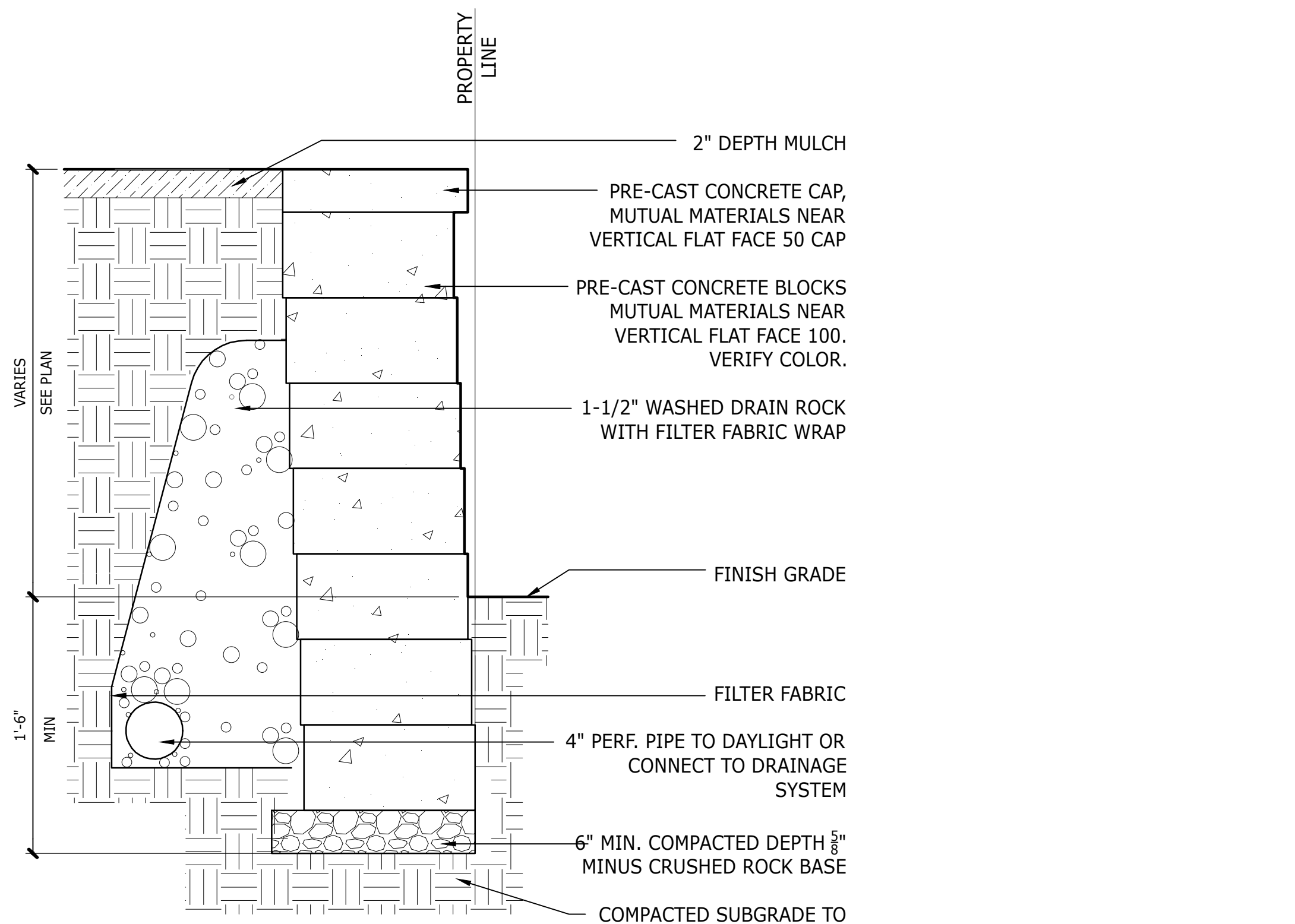
B TYPICAL BRICK WALL DETAIL
SCALE: 3/4"=1'-0"



C ROCKERY
SCALE: 1"=1'-0"



D BRICK SEAT WALL
SCALE: 1"=1'-0"



E CONCRETE BLOCK WALL
SCALE: 1-1/2"=1'-0"

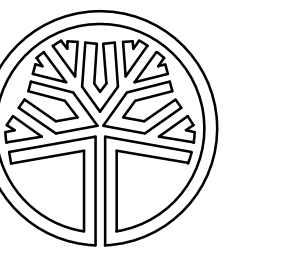
PROJECT TITLE
PEYREE RESIDENCE
6059 77TH AVE SE
Mercer Island, WA 98040

DRAWING TITLE
LAYOUT, MATERIALS, GRADING, & UTILITIES PLAN

NO.	DATE	DESCRIPTION
1	07.20.17	PERMIT
2	09.25.18	PERMIT REVISION
3	02.12.19	PERMIT REVISION
4	05.03.19	PERMIT REVISION
5	06.12.19	PERMIT REVISION
6	09.01.20	PERMIT REVISION
7	02.12.21	PERMIT REVISION

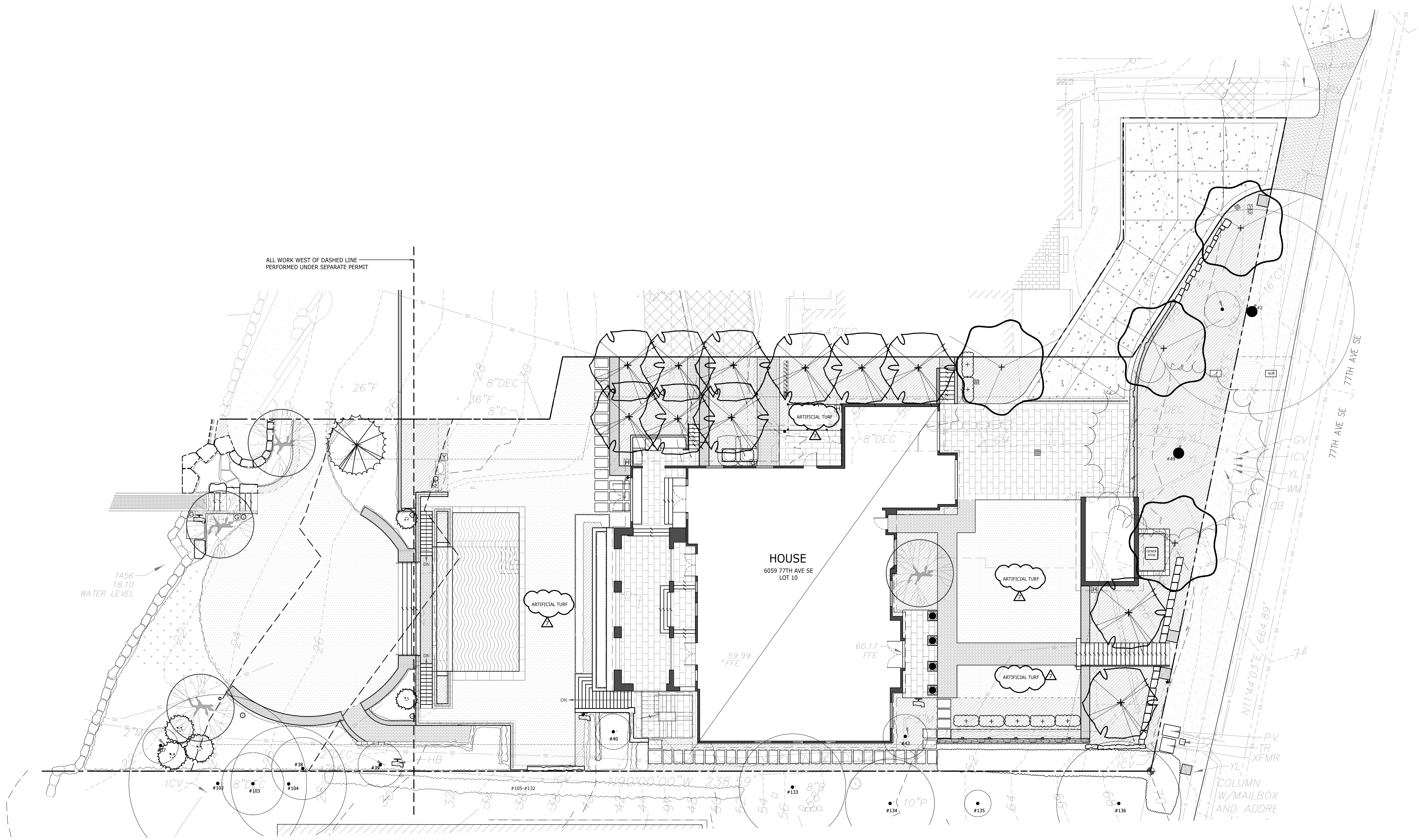
SHEET NUMBER

L0.2



DANIEL M. DI ZAZZO
 CERTIFICATE NO. 1205

J
I
H
G
F
E
D
C
B
A



PROJECT TITLE
PEYREE RESIDENCE
 6059 77TH AVE SE
 Mercer Island, WA 98040

DRAWING TITLE
SCHEMATIC PLANTING PLAN

PLANT SCHEDULE

TREES		SIZE	QTY.	REMARKS
	ACER PALMATUM JAPANESE MAPLE	7-8" HT.	3	
	BETULA UTILIS 'JACQUEMONTII' JACQUEMONT BIRCH	2-1/2" CAL.	4	
	CARPINUS BETULUS PLEACHED HORNBREAM	2" CAL.	7	
	CARPINUS BETULUS 'FASTIGIATA' PYRAMIDAL EUROPEAN HORNBREAM	2" CAL.	11	
	CHAMAECYPARIS OBTUSA 'GRACILIS' SLENDER HINGKI FALSE CYPRESS	8"-10" HT.	4	
OTHER				
	SHRUB, GROUNDCOVER, AND PERENNIAL PLANTING AREA	N/A	-	
	SHORELINE NATIVE PLANTING - SEPARATE PERMIT	N/A	-	
	ARTIFICIAL TURF	N/A	-	

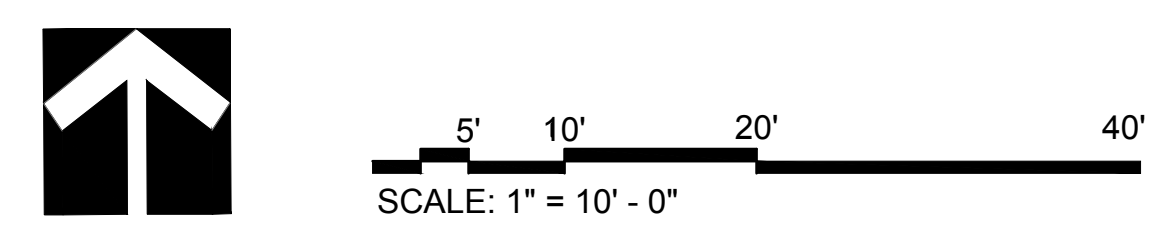
PLANT NOTES

- FINISH GRADES SHALL BE 1" BELOW TOP OF ADJACENT PAVED SURFACE. PLANTING AREAS SHALL BE CROWNED 1/2" PER FOOT, UNLESS OTHERWISE NOTED.
- ALL SHRUB AREAS TO RECEIVE 1" DEPTH OF APPROVED TOPSOIL.
- ALL SHRUB AREAS TO RECEIVE THE FOLLOWING SOIL PREPARATION: SCARIFY OR ROTO-TILL EXISTING SUBGRADES TO A MINIMUM DEPTH OF 12". REMOVE ALL LARGE STONES AND OTHER MISC. DEBRIS. PLACE ONE-HALF DEPTH SPECIFIED TOPSOIL AND INCORPORATE INTO PREPARED SUBGRADE. PLACE REMAINING TOPSOIL TO FINISH GRADE. TOPSOIL DEPTHS TO BE MEASURED AFTER COMPACTING.
- ALL ARTIFICIAL TURF AREA TO RECEIVE 5" DEPTH OF APPROVED DRAINAGE GRAVEL OVER THE SUBGRADE EXCAVATED 6" DEPTH AND SLOPED TO DRAIN.
- ALL PLANTING AREAS ARE TO RECEIVE 2" DEPTH CEDAR GROVE LANDSCAPE MULCH OR APPROVED EQUAL.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL UNTIL FINAL INSPECTION AND APPROVAL.
- ALL PLANTINGS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING FINAL OWNER ACCEPTANCE.
- PROVIDE SLOW-RELEASE FERTILIZER (OSMOCOTE OR APPROVED EQUIV.) AT ALL PLANTINGS. PROVIDE FERTILIZER PLANT TABLETS AT ALL TREE PLANTINGS (TWO PER TREE). VERIFY WITH LANDSCAPE ARCHITECT.

NO.	DATE	DESCRIPTION
1	07.20.17	PERMIT
2	09.25.18	PERMIT REVISION
3	02.12.19	PERMIT REVISION
4	05.03.19	PERMIT REVISION
5	06.12.19	PERMIT REVISION
6	09.01.20	PERMIT REVISION
△	02.12.21	PERMIT REVISION

SHEET NUMBER

L0.3



RECOMMENDATIONS - Tree Protection Measures

- Excavation Process:
 - A qualified International Society of Arboriculture, (ISA), Certified Arborist, or an American Society of Consulting Arborists, (ASCA), Registered Consulting Arborist must be on site and in charge of the excavation process.
 - The process must include using an air spade to expose roots at the edge of the excavation.
 - Roots must then be cleared using hand tools, shovels and trowels, then; the exposed roots must be cleanly cut using sharp implements such as hand shears, loppers, hand saws, and powered reciprocating saws.
 - As the roots are pruned a hoe can pull the soil away on the down-slope side of the trench.
 - This process is to continue until the arborist is convinced that no more roots are to be encountered.
- Irrigation:
 - A temporary drip irrigation system will need to be installed with a complex 24/7 timer that can be turned on once per month from April through October of 2019 and 2020.
 - The temporary system will need to be inspected by the Project Arborist to verify functionality.
 - Apply the water slowly to ensure that the water is penetrating to a depth of 22 to 24 inches. (A post-hole digger is a great way to test for this.)
 - Once the water reaches this depth turn off the water.
 - Repeat once every four weeks.
 - If temperatures rise above 80° F, water once every three weeks.
- Mulch:
 - The area under the trees will need to be covered with 6 - 8 inches of wood chips, hog fuel, or similar product to reduce evaporation.
- Soil/Root Treatments:
 - The trees will be stressed by the excavation and wall construction. In addition to the irrigation and mulch, the root zone will need to be treated with a combination of tree based fertilizer, compost tea, and beneficial microbes.
 - This must be done by a trained professional.
 - I recommend Nick Penovich owner of Soil Science Products.
 - 360-876-3734
 - nick@lawnjockey.net
 - www.lawnjockey.net
 - Tree Based Fertilizer:
 - Trees have different chemical needs than does grass. Lawn fertilizers can actually harm trees.
 - Tree based fertilizers are specifically formulated to meet these needs.
 - Compost Tea:
 - Compost teas are very good at providing Humic acids and beneficial microbes. Humic acids increase a tree's ability to handle stress.
 - Beneficial Microbes:
 - Beneficial microbes come in two naturally occurring forms, bacteria and fungi.
 - Beneficial bacteria increase the microbial activity of the soil. They convert organic matter and fertilizer into forms more readily absorbed by the tree roots.
 - Beneficial fungi form a symbiotic relationship with the tree roots. The tree feeds the fungi. The fungi give off by-products of respiration that are in fact root growth stimulants. They increase absorption of water and nutrients, provide drought resistance, and a level of pathogenic protection.
 - A program that injects the soil multiple times per year will be needed in 2019, 2020, and 2021.
 - Removal of the Garage and Driveways:
 - When and if the driveways and garage are removed extra care will need to be taken with the demolition.
 - Absolutely no material can be stored on the soil of the critical root zone.
 - All work to remove the garage must be done from the existing driveway and road surface.
 - Trucks must be parked to receive the debris so that the truck wheels or the hoe does not drive on the critical root zone.
 - When the driveways are removed they must be combed away from the trunks of the trees and broken up outside the dripline of the trees.

PEYREE RESIDENCE

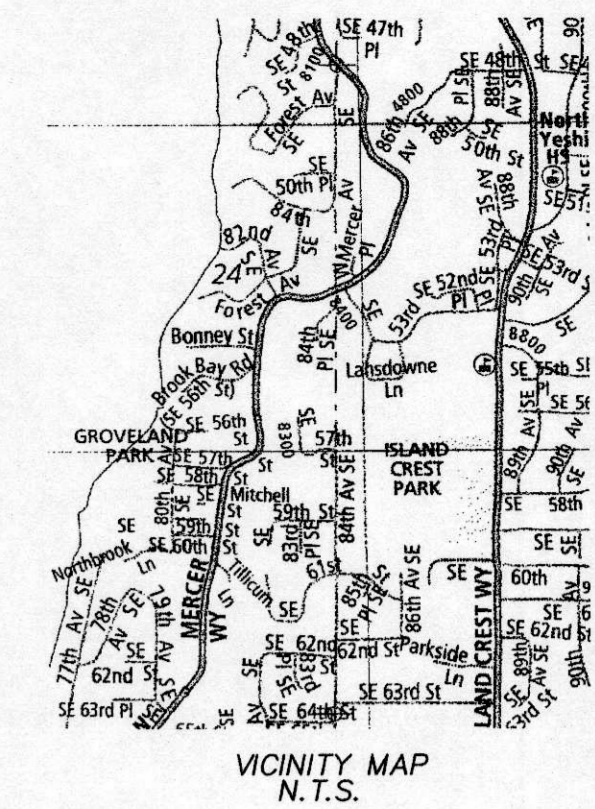
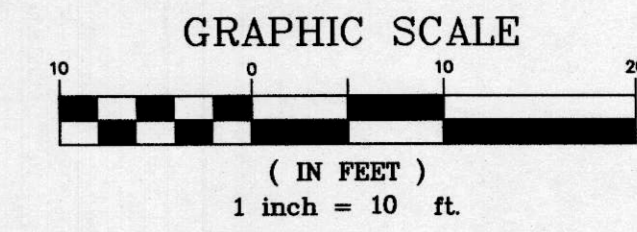
SE 1/4 OF SEC.24, T.24N., R.4E., W.M.

CITY OF MERCER ISLAND, WASHINGTON

OWNERS:
SCOTT AND MICHELLE PEYREE
6059 77TH AVENUE SE
MERCER ISLAND, WA 98040

SITE ADDRESS:
6059 77TH AVENUE SE
MERCER ISLAND, WA 98040

PARCEL NO:
409710-0055



REVISIONS	BY	DATE
1	RSF	10/17/18
2	RSF	10/27/18
3	RSF	5/13/19
4	RSF	5/13/20
5	RSF	12/11/20

REMAIN THE PROPERTY OF EASTSIDE CONSULTANTS, INC.

EXISTING IMPERVIOUS AREA (TO REMAIN)

LOT AREA:	21,200 SF
HOUSE:	3,389 SF
TERRACES:	111 SF
WATER FEATURE:	97 SF
STAIRS:	122 SF
POOL:	451 SF
TOTAL EXISTING AREA:	4,170 SF
PERCENT LOT COVERAGE:	9,664/18,650 = 51.82%

NEW IMPERVIOUS AREA

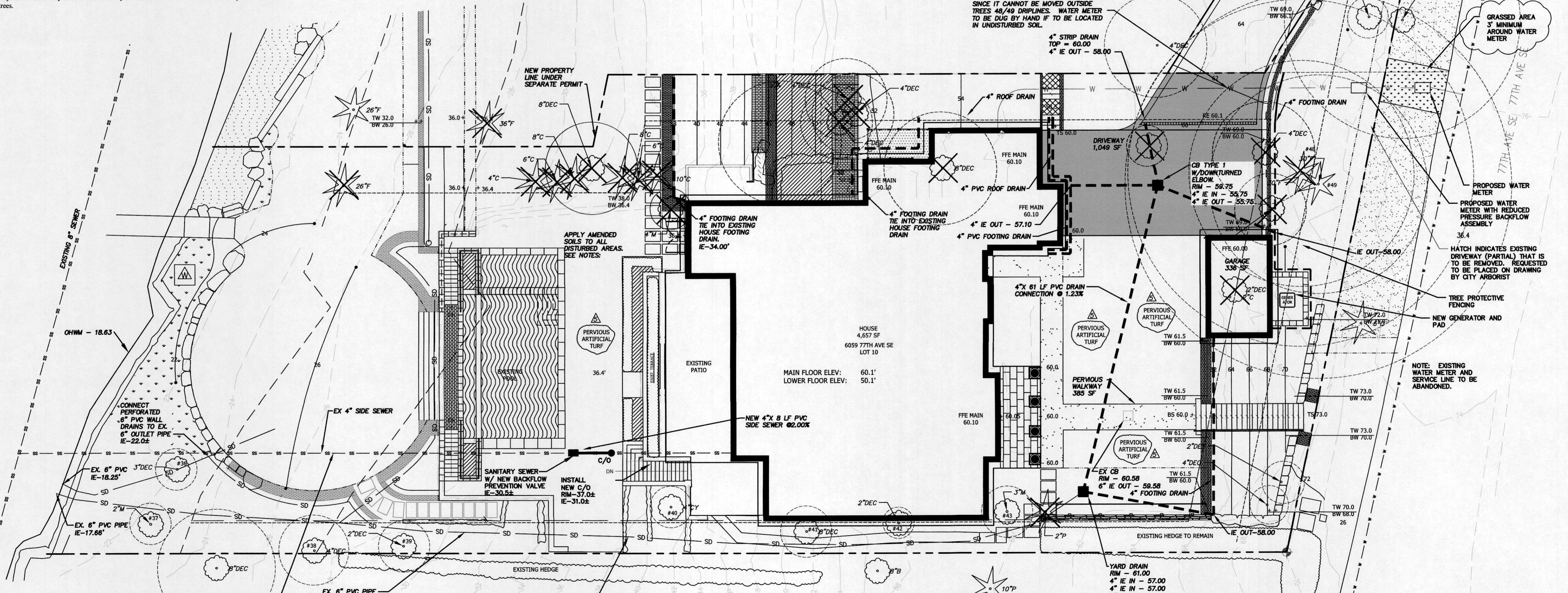
LOT AREA:	22,200 SF
HOUSE ADDITION AREA:	1,286 SF
DETACHED GARAGE:	336 SF
NEW DRIVEWAY:	1,081 SF
HOT TUB:	115 SF
TERRACE AND STAIRS:	376 SF
COLUMN:	18 SF
GENERATOR PAD:	9 SF
TOTAL NEW AREA:	3,221 SF
PERCENT LOT COVERAGE:	7,391/22,220 = 33.26%

SHEET INDEX

- 1 DRAINAGE AND GRADING PLAN
- 2 TESC PLAN

NOTE:
SEE LANDSCAPE SHEET L0.3 SCHEMATIC PLANTING PLAN FOR TREE REMOVAL AND TREE REPLACEMENT SCHEDULES.

WATER SERVICE TO BE TUNNELED/BORED SINCE IT CANNOT BE MOVED OUTSIDE TREES 48/49 DRIPLINES. WATER METER TO BE DUG BY HAND IF TO BE LOCATED IN UNDISTURBED SOIL.



THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER LAKE LINE IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.

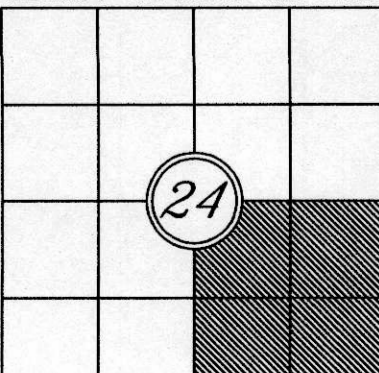
THE TV INSPECTION OF THE EXISTING STORM PIPE TO THE LAKE IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING STORM PIPES ARE REQUIRED.

NOTE: THE EXISTING UTILITIES AS SHOWN ARE ONLY APPROXIMATE. OTHER EXISTING UTILITIES MAY EXIST ALONG THIS PROPOSED ALIGNMENT. IT SHALL BE THE CONTRACTOR AND OR OWNERS RESPONSIBILITY TO VERIFY THE SIZE TYPE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION

Call Before You Dig 811



INDEX LOCATION:
SEC.24 T.24N.R. 4E. W.M.



DRAINAGE PLAN

SCOTT PEYREE
SE 1/4 OF SEC.24, T.24N., R.4E., W.M.
6059 77TH AVENUE SE
MERCER ISLAND, WA 98040

EASTSIDE CONSULTANTS, INC.
1830 N.W. WALL ST., SUITE 807
PORTLAND, OR 97209
PH: (425) 882-5351 FAX: (425) 882-4078

JOB NO. 17090
DATE 6/17
SCALE 1"=10'
DESIGNED CLM
DRAWN CLM
CHECKED RSF
APPROVED RSF

PEYREE RESIDENCE

SE 1/4 OF SEC.24, T.24N., R.4E., W.M.

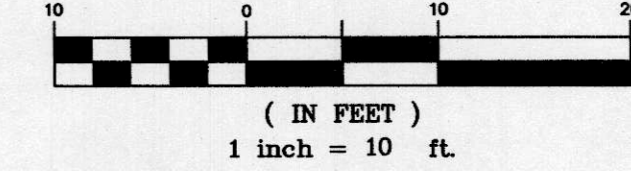
CITY OF MERCER ISLAND, WASHINGTON

OWNERS:
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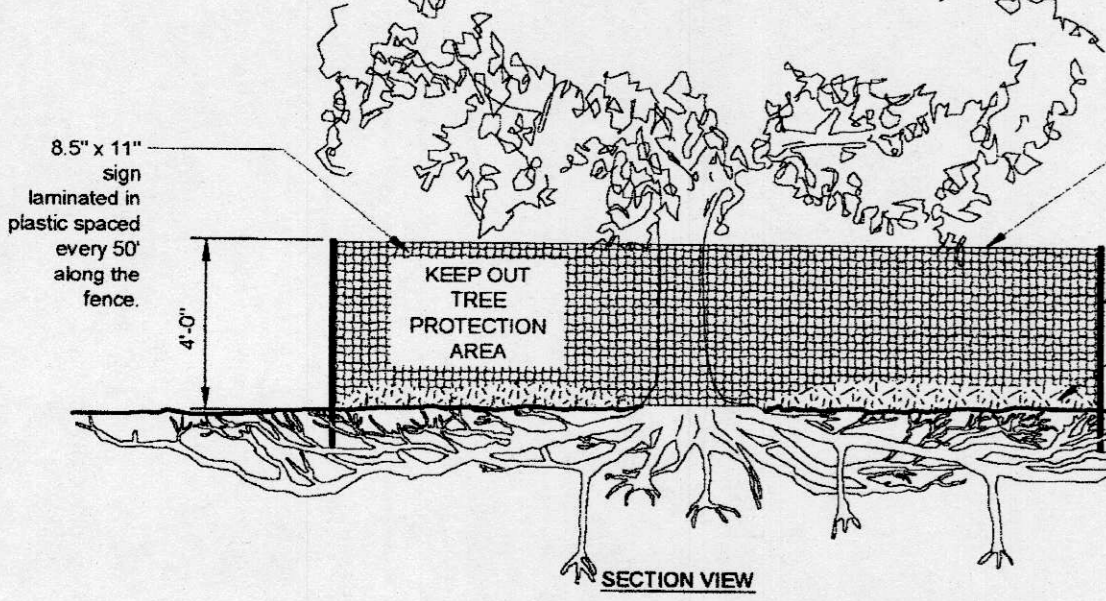
PARCEL NO:
409710-0055

GRAPHIC SCALE



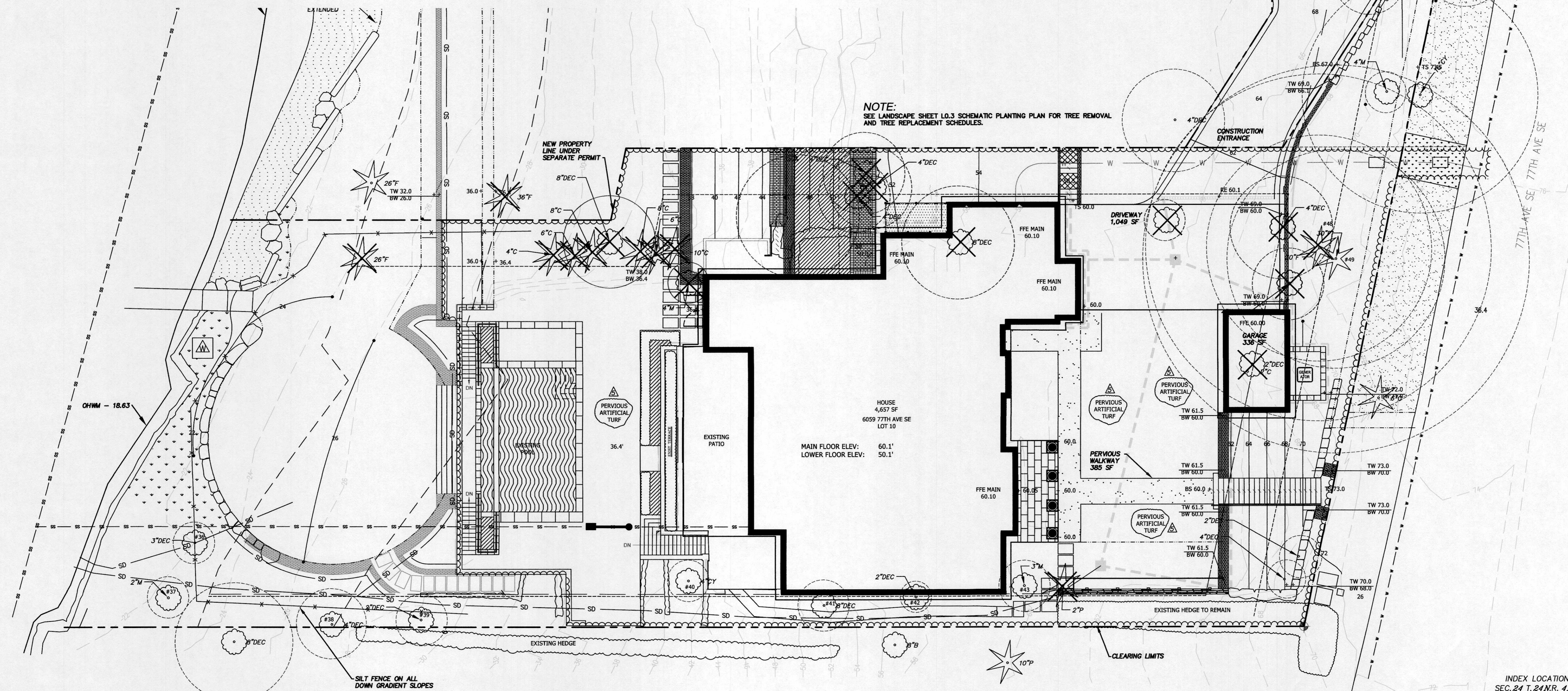
- LEGEND**
- SECTION CORNER
 - QUARTER CORNER
 - FOUND MONUMENT
 - SET REBAR W/CAP
 - SET NAIL W/FLASHER
 - FOUND MONUMENT (125.21')
 - DEED MEASUREMENT
 - 2X2 WOOD HUB
 - WATER VALVE
 - FIRE HYDRANT
 - TELEPHONE PEDASTAL
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - TREE
 - TRAFFIC SIGN

- Notes:**
- No pruning shall be performed unless under the direction of an arborist.
 - No equipment shall be stored or operated inside the protective fencing including during fence installation and removal.
 - No storage of materials shall occur inside the protective fencing.
 - Refer to Site/Utility Plan for any modifications to the Tree Protection Area.
 - Unauthorized activities in tree protection area may require evaluation by private arborist to identify impacts and mitigation required.
 - Exposed Roots: For roots >1" damaged during construction, make a clean straight cut to removed damaged portion and inform city arborist.



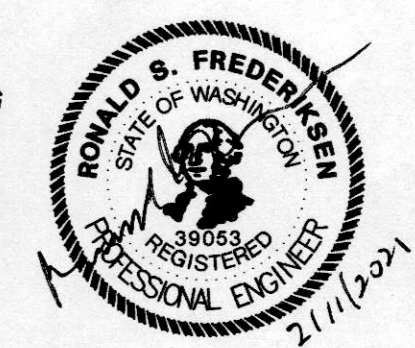
TREE PROTECTION DETAIL

NOTE:
SEE LANDSCAPE SHEET L0.3 SCHEMATIC PLANTING PLAN FOR TREE REMOVAL AND TREE REPLACEMENT SCHEDULES.



NOTE: THE EXISTING UTILITIES AS SHOWN ARE ONLY APPROXIMATE. OTHER EXISTING UTILITIES MAY EXIST ALONG THIS PROPOSED ALIGNMENT. IT SHALL BE THE CONTRACTOR AND OR OWNERS RESPONSIBILITY TO VERIFY THE SIZE TYPE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION

Call Before You Dig 811



INDEX LOCATION:
SEC. 24 T. 24N. R. 4E. W.M.

		24	

REVISIONS	BY	DATE
REV. PER CITY COMMENTS	RSF	10/17/18
REV. PER CLIENT REV	RSF	2/7/19
REV. PER CLIENT REV	RSF	5/14/19
REV. PER CLIENT REV	RSF	5/13/20
REV. PER CLIENT REV	RSF	12/11/21
THE PLANS SET FORTH ON THIS SHEET ARE AND SHALL REMAIN THE PROPERTY OF EASTSIDE CONSULTANTS, INC.		

TESC PLAN

SCOTT PEYREE
SE 1/4 OF SEC.24, T.24N., R.4E., W.M.
6059 77TH AVENUE SE
MERCER ISLAND, WA 98040

ENGINEERS - SURVEYORS
EASTSIDE CONSULTANTS, INC.
1820 N.W. WALL ST. SUITE 807
PORTLAND, OR 97209
PH: (425) 582-5351 FAX: (425) 582-4276

JOB NO. 17090
DATE 8/17
SCALE 1"=10'
DESIGNED CLM
DRAWN CLM
CHECKED RSF
APPROVED RSF

SHEET 2 OF 2