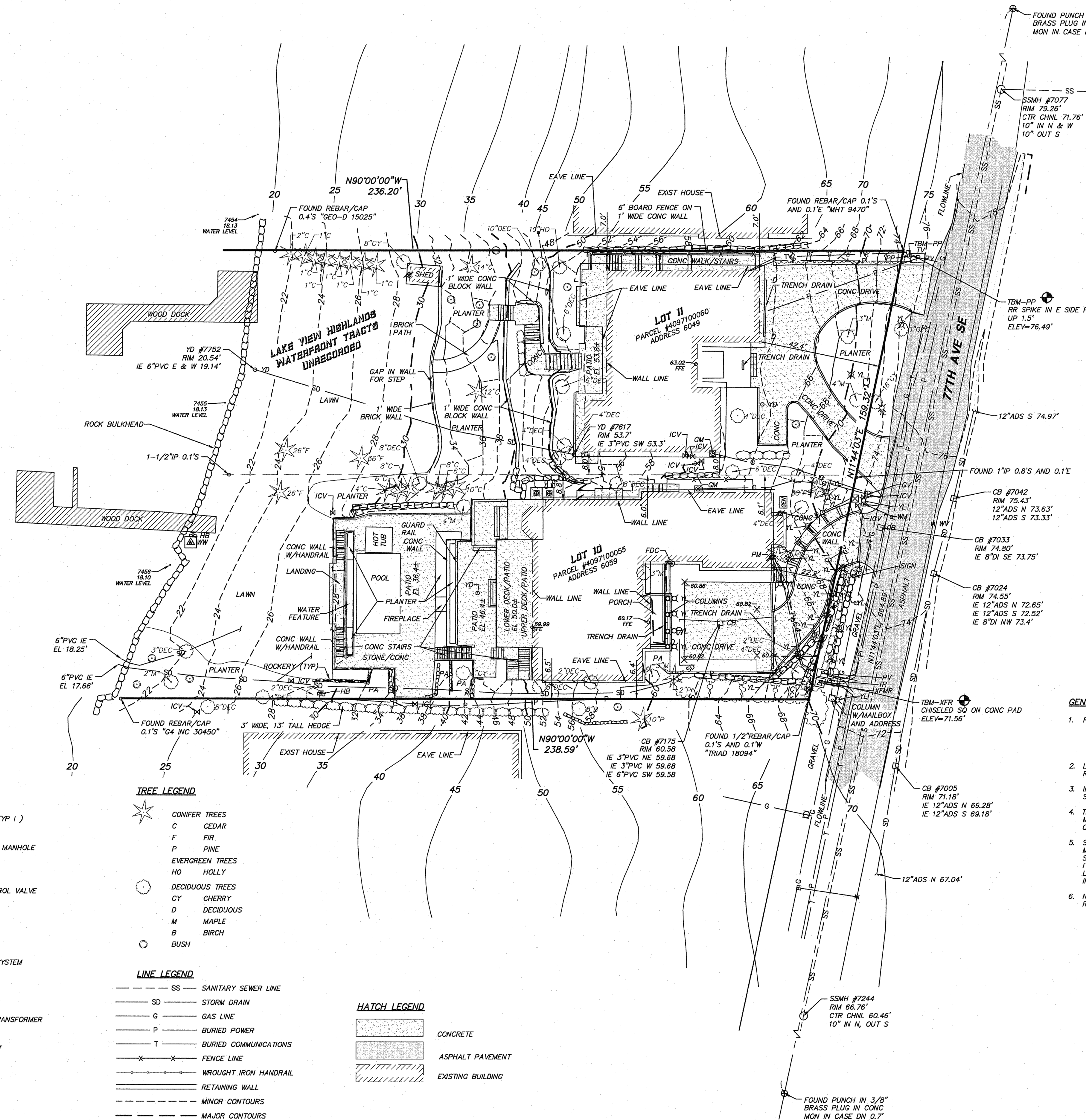


POR GOV. LOT 4, SEC 24, TWP 24 N, RGE 4 E, W.M.



SYMBOL LEGEND

CB	CATCH BASIN (TYP 1)
YD	YARD DRAIN
SSMH	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT
HB	HOSE BIB
ICV	IRRIGATION CONTROL VALVE
WM	WATER METER
WV	WATER VALVE
WV	WATER VAULT
GM	GAS METER
HVAC	H.V. AIR COND. SYSTEM
YL	YARD LIGHT
PM	POWER METER
PV	POWER VAULT
XFR	PAD MOUNTED TRANSFORMER
PP	POWER POLE
TV	TV RISER ASSEMBLY
MB	MAILBOX
SGN	SIGN
ROCKERY	ROCKERY

TREE LEGEND

CONIFER TREES	C
CEDAR	C
FIR	F
PINE	P
EVERGREEN TREES	HO
HOLLY	HO
DECIDUOUS TREES	D
CHERRY	CY
MAPLE	M
BIRCH	B
BUSH	B

LINE LEGEND

SS	SANITARY SEWER LINE
SD	STORM DRAIN
G	GAS LINE
BURIED POWER	BURIED POWER
BURIED COMMUNICATIONS	BURIED COMMUNICATIONS
FENCE LINE	FENCE LINE
WROUGHT IRON HANDRAIL	WROUGHT IRON HANDRAIL
RETAINING WALL	RETAINING WALL
MINOR CONTOURS	MINOR CONTOURS
MAJOR CONTOURS	MAJOR CONTOURS

HATCH LEGEND

CONCRETE	CONCRETE
ASPHALT PAVEMENT	ASPHALT PAVEMENT
EXISTING BUILDING	EXISTING BUILDING

BASIS OF BEARING
 REPLAT OF LAKE VIEW HIGHLANDS VOL. 76, PG 41 AND 42, RECORDS OF KING COUNTY, WASHINGTON

DATUM
 NAVD83
 CONTOUR INTERVAL = 2'

ORIGINAL BENCHMARK
 WGS CONTROL POINT DESIGNATION 3114, CITY OF MERCER ISLAND, WASHINGTON LOCATED AT THE SOUTHEAST CORNER OF LOT 11 ELEVATION = 60.81'
 TBM-XFR CHISELED SQUARE IN NORTHWEST CORNER OF CONC PAD FOR POWER TRANSFORMER LOCATED AT THE SOUTHEAST CORNER OF LOT 11 ELEVATION = 71.56'
 TBM-PP SET RAILROAD SPIKE IN EAST SIDE OF POWER POLE LOCATED AT NORTHEAST CORNER OF LOT 10

LEGAL DESCRIPTION
 THE NORTH 78 FEET OF THE SOUTH 780 FEET OF THAT PORTION OF GOVERNMENT LOT 7 OF SECTION 24, TOWNSHIP 24 NORTH, RANGE 4 EAST, WM., LYING WEST OF A STRAIGHT LINE RUNNING FROM A POINT ON THE SOUTH LINE OF SAID GOVERNMENT LOT 4, WHICH POINT IS 89.60 FEET WEST OF THE SOUTHWEST CORNER OF SAID LOT 4 TO A POINT ON THE NORTH LINE OF SAID GOVERNMENT LOT 4, WHICH POINT OF 613.24 FEET WEST OF THE NORTHEAST CORNER OF SAID LOT 4;
 (ALSO KNOWN AS LOT 10 OF LAKE VIEW HIGHLANDS WATERFRONT TRACTS UNRECORDED); TOGETHER WITH SECOND CLASS SHORELANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN FRONT OF, ADJACENT TO, OR ABUTTING THEREON; SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON; TOGETHER WITH

THE NORTH 78 FEET OF THE SOUTH 858 FEET OF THAT PORTION OF GOVERNMENT LOT 4, SECTION 24, TOWNSHIP 24 NORTH, RANGE 4 EAST, WM., IN KING COUNTY, WASHINGTON, LYING WEST OF THE LAKE VIEW HIGHLANDS, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 33 OF PLATS, PAGE 34, IN KING COUNTY, WASHINGTON; (ALSO KNOWN AS LOT 11, LAKE VIEW HIGHLANDS WATERFRONT TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF); TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING SAID PREMISES.

GENERAL NOTES

- REFERENCE DOCUMENTS:
 A. THE REPLAT OF LAKE VIEW HIGHLANDS PER THE PLAT RECORDED IN VOLUME 76 OF PLATS, PAGES 41 AND 42.
 B. RECORD OF SURVEY DRAWING RECORDED UNDER RECORDING NO. 2008015900003.
 C. SURVEY BY TOMA ENGINEERS AND LAND SURVEYORS SIGNED DECEMBER 20, 2000.
- LEGAL DESCRIPTIONS SHOWN ARE BASED ON STATUTORY WARRANTY DEEDS RECORDED UNDER RECORDING NO. 20120629001015 AND 20070615002228.
- INSTRUMENTATION FOR THIS SURVEY WAS A LEICA TOTAL STATION. PROCEDURES USED IN THIS SURVEY WERE FIELD TRAVERSE, MEETING OR EXCEEDING STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON MARCH 31 AND APRIL 1, 2015 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME.
- SANITARY SEWER AND STORM DRAINAGE FACILITIES HAVE BEEN ASBUILT THROUGH FIELD MEASUREMENTS OF THE LOCATION OF THE ACCESS STRUCTURES, THE TOP ELEVATION OF THE STRUCTURES, AND THE INVERT ELEVATIONS OF ANY PIPES ENTERING OR LEAVING THE STRUCTURES. IT IS STANDARD PRACTICE TO SHOW THE PIPES CONNECTING THESE STRUCTURES AS STRAIGHT LINES. THIS IS ONLY AN ASSUMPTION AND THE ACTUAL LOCATION OF THE PIPING MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION.
- NO TITLE REPORT WAS PROVIDED AND THUS NO EASEMENTS, RESTRICTIONS OR RESERVATION OF RECORD WHICH WOULD BE DISCLOSED BY TITLE REPORT ARE SHOWN.

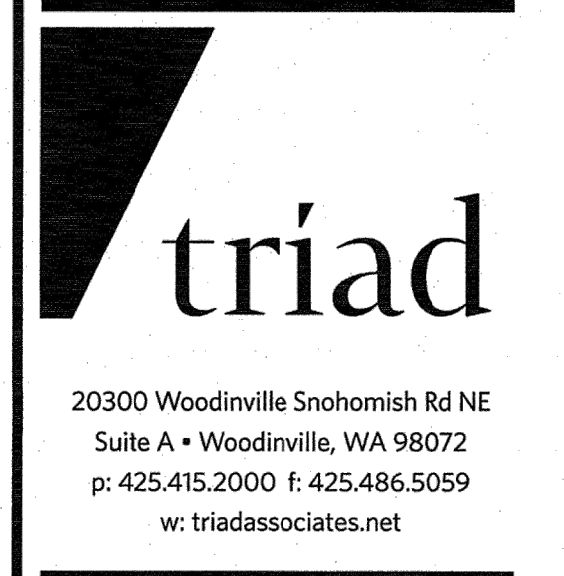
AREAS

AREA OF BOTH LOTS COMBINED (TO THE APPROXIMATE FACE OF BULKHEAD)
 35,692 SQ FT ± OR 0.819 ACRES ±

AREA OF NORTH DOCK = 677 SQ FT ±
 AREA OF SOUTH DOCK = 603 SQ FT ±

AREA OF IMPERVIOUS SURFACE ON THE NORTH LOT = 6,814 SQ FT ±
 AREA OF IMPERVIOUS SURFACE ON THE SOUTH LOT = 10,108 SQ FT ±

CAUTION
 LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE AND MAY NOT BE ACCURATE OR ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATION OF UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. YOU MUST CALL 1-800-424-5555 NOT LESS THAN 2 FULL BUSINESS DAYS BEFORE BEGINNING EXCAVATION WHERE ANY UNDERGROUND UTILITIES MAY BE LOCATED. FAILURE TO DO SO COULD MEAN BEARING SUBSTANTIAL REPAIR COSTS.



20300 Woodinville Snohomish Rd NE
 Suite A • Woodinville, WA 98072
 p: 425.415.2000 f: 425.486.5059
 w: triadassociates.net

TOPOGRAPHIC SURVEY FOR
SCOTT & MICHELLE PEYREE
PEYREE RESIDENCE
 WASHINGTON
 MERCER ISLAND,

NO. DATE REVISION

1	04/23/2018	REVISION 1
2	07/18/17	PERMIT SET

PROJECT MANAGER
 GREGORY J. JANEAU, PLS

PROJECT SURVEYOR
 MARY H. MADONELL, PLS

PROJECT ENGINEER
 PROJECT LANDSCAPE ARCHITECT
 FIRST SUBMITTAL DATE: 4/16/15
 SCALE: HORIZ: 1"=20' VERT:



STAMP NOT VALID
 UNLESS SIGNED AND DATED

JOB NO. **15-047**

SHEET NO. **1 of 1**

Gelotte Hommas
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 3025 112th Ave NE, Suite 110
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 www.gelottehomas.com

PEYREE REMODEL B
 6059 77th Ave SE
 Mercer Island, WA 98040-5129

REGISTERED ARCHITECT
 GELOTTE HOMMAS
 STATE OF WASHINGTON

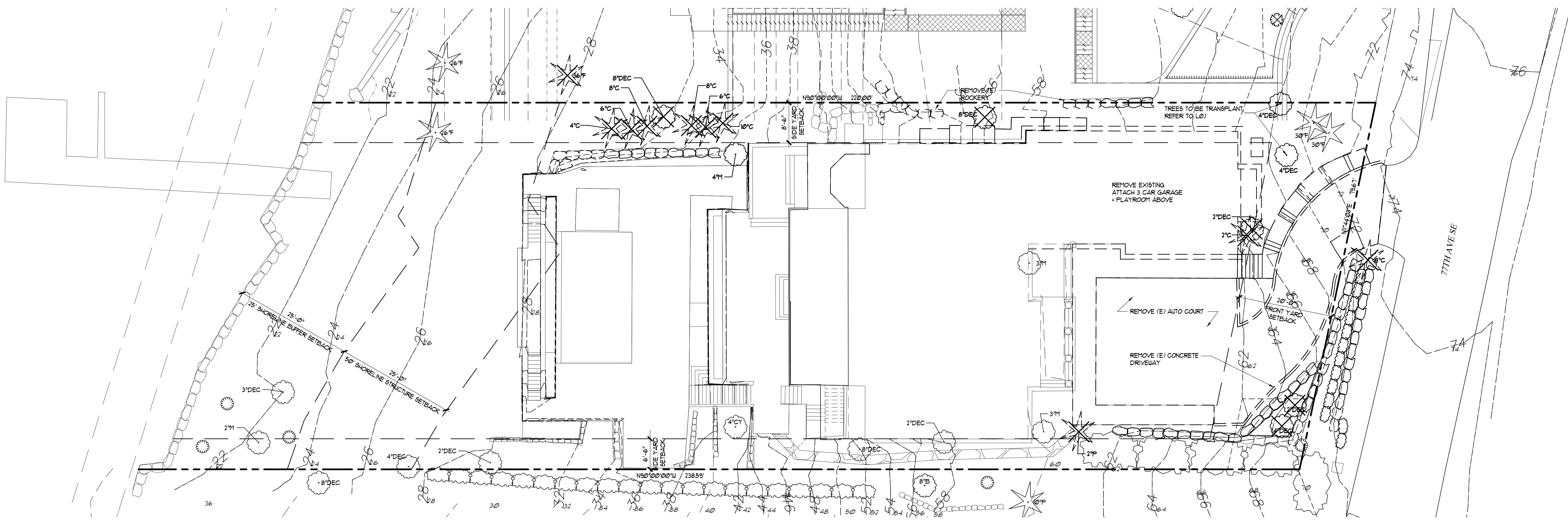
NO. DATE REVISION

1	04/23/2018	REVISION 1
2	07/18/17	PERMIT SET

DATE: 04/23/2018
 JOB NUMBER: 1525
 PM: DKG
 FILE: A0.2 Survey.dwg

SURVEY

A0.2



DEMOLITION NOTES

THE CONTRACT FOR CONSTRUCTION CONTAINS ALL DEMOLITION WORK REQUIRED TO PREPARE THE SITE FOR THE CONTRACTED CONSTRUCTION WORK. THE DEMOLITION DRAWINGS AND NOTES ARE PROVIDED TO OUTLINE THE GENERAL SCOPE OF WORK ONLY. THE CONTRACTOR MUST VISIT THE SITE PRIOR TO BIDDING AND DETERMINE THE FULL EXTENT OF THE WORK AND BE RESPONSIBLE FOR SAME.

THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UTILITIES AND SERVICES AT THE SITE PRIOR TO BEGINNING ANY DEMOLITION OR SITE IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF UTILITY ITEMS DAMAGED DURING DEMOLITION AND THROUGHOUT CONSTRUCTION.

ADJACENT PROPERTIES, STREETS AND WALKS ARE TO BE PROTECTED FROM DAMAGE AT ALL TIMES.

NO MATERIALS FROM THE DEMOLITION ARE TO BE STOCKPILED ON ADJACENT PROPERTIES OR PUBLIC RIGHT-OF-WAYS. ALL RUBBISH AND PRODUCTS OF DEMOLITION ARE TO BE REMOVED FROM THE SITE.

ADJUST ALL VALVE BOXES, MANHOLE RIMS AND OTHER UTILITY COVERS TO NEW GRADES. COORDINATE INSTALLATION OF NEW UTILITIES TO ENSURE PROPER GRADE AND LOCATION FOR NEW ITEMS.

THE OWNER IS RESPONSIBLE FOR SALVAGING ANY ON-SITE MATERIALS PRIOR TO DEMOLITION OR COORDINATING SALVAGE OF ITEMS WITH THE CONTRACTOR IN A TIMELY MANNER.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY ON-SITE MATERIAL NOT INCORPORATED INTO THE NEW CONSTRUCTION.

ALL ITEMS THAT ARE DEMOLISHED OR REMOVED FROM THE SITE AND ARE NOT TO BE SALVAGED OR RE-INCORPORATED INTO THE CONSTRUCTION ARE THE PROPERTY OF THE CONTRACTOR.

ITEMS THAT ARE TO BE REMOVED FROM THE BUILDING AND THEN INCORPORATED INTO THE NEW CONSTRUCTION ARE TO BE SECURED BY THE CONTRACTOR ON OR NEAR THE SITE AND BE PROTECTED FROM WEATHER AND DAMAGE UNTIL THEY ARE INCORPORATED INTO THE NEW FACILITY.

ALL EXISTING CONCRETE FOUNDATIONS SHALL BE REMOVED OR BURIED AS REQUIRED TO PREVENT INTERFERENCE WITH NEW OR FUTURE CONSTRUCTION.

IF DURING THE COURSE OF WORK THE EXISTENCE OF ASBESTOS NOT DETECTED AND DEALT WITH BY HAZARDOUS MATERIAL SURVEY IN THE STRUCTURE OR THE BUILDING IS OBSERVED, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER AND ARCHITECT REGARDING REMOVAL OR ENCLOSURE OF THE ASBESTOS MATERIAL. THE CONTRACTOR SHALL NOT PERFORM ANY WORK PERTINENT TO THE ASBESTOS MATERIAL PRIOR TO RECEIPT OF SPECIAL INSTRUCTIONS FROM OTHER THROUGH THE ARCHITECT.

THE EXTENTS OF DEMOLITION SHOWN IS APPROXIMATE. FIELD VERIFY EXISTING CONDITIONS AND CONSULT WITH THE OWNER AND ARCHITECT AS REQUIRED.

DEMOLITION AND REMOVAL WORK SHALL INCLUDE SITE PREPARATION FOR NEW WORK.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ENGINEERING AND SURVEY DATA PROVIDED BY OTHERS.

PERFORMANCE OF DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF THE TESC.P.

REFER TO THE LANDSCAPE PLANS FOR SALVAGING AND PROTECTION OF EXISTING LANDSCAPING. X-THRU TREES TO BE REMOVED.

GENERAL NOTES

1. SEE CIVIL ENGINEERING SHEETS FOR UTILITIES, TESC, DRAINAGE, T.O.W. & B.O.W. FOR RETAINING WALLS.
2. SEE TREE PRESERVATION & REMOVAL PLAN FOR TREE SCHEDULE & TREE PROTECTION FENCE.

ALLOWABLE LOT COVERAGE

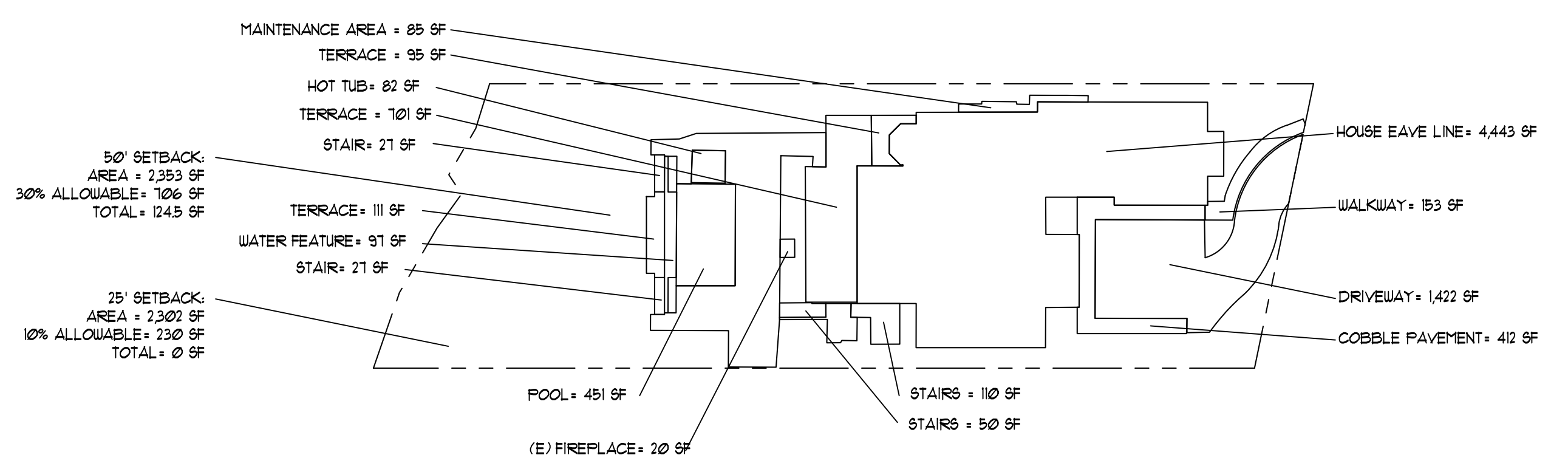
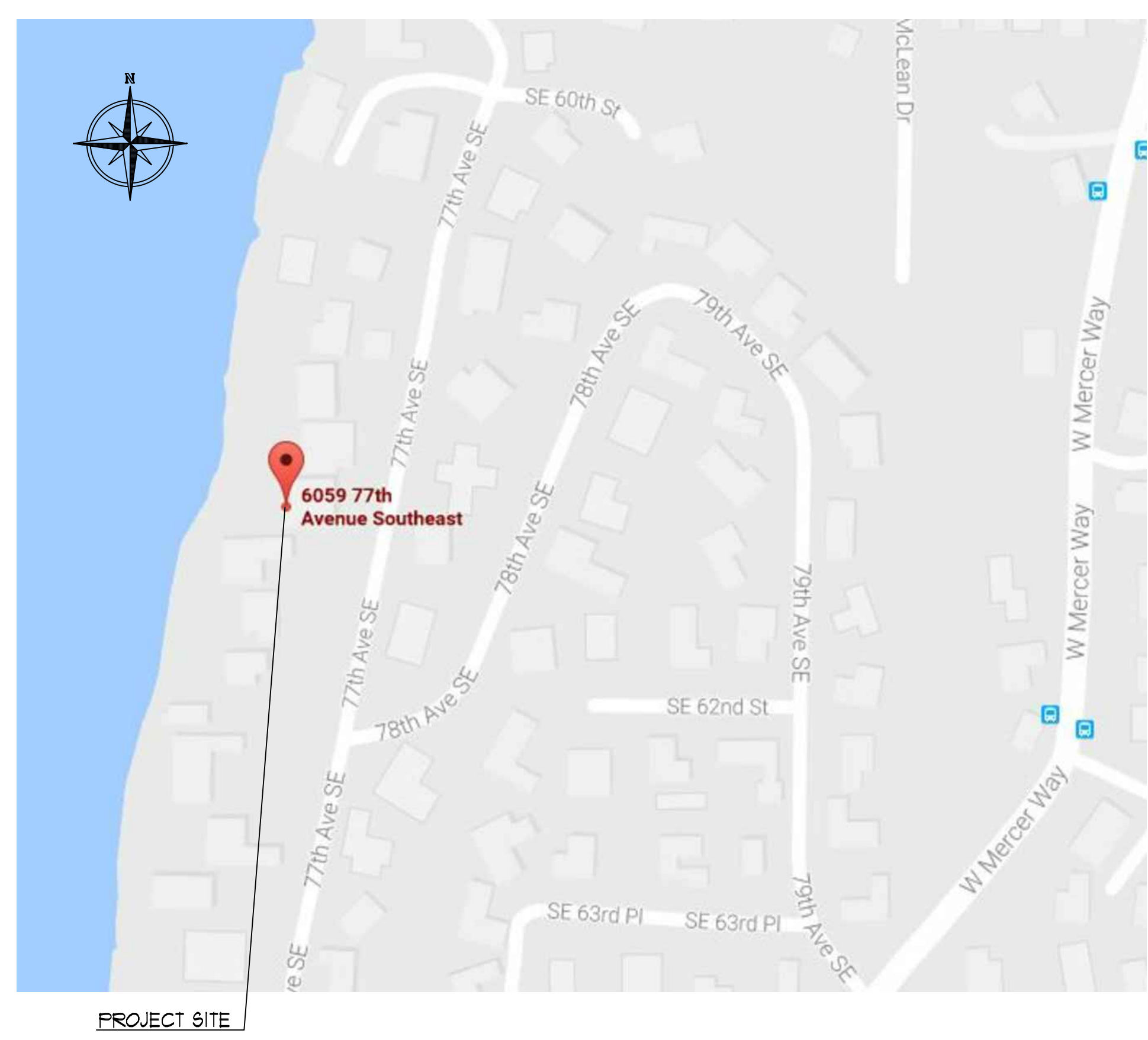
LOT HIGH POINT +	13.0 FT.
LOT LOW POINT +	181 FT.
HORIZ. DIST. BETWEEN H.P. & L.P. +	2261 FT.
LOT SLOPE 56.2 FT. / 2251 FT. +	24.9 %
TOTAL ALLOWABLE LOT COVERAGE +	35 % MAX.

EXISTING IMPERVIOUS SURFACE COVERAGE

TOTAL LOT AREA:	18,650 SF.
ALLOWABLE + 35 +	6,528 SF.
APPROVED 5% DEVIATION +	9325 SF.
TOTAL ALLOWABLE LOT COVERAGE +	14,605 SF.

FIREPLACE +	20 SF.
MAINTENANCE AREA +	85 SF.
TERRACE +	95 SF.
HOT TUB +	82 SF.
STAIRS +	21 SF.
WATER FEATURE +	91 SF.
POOL +	451 SF.
HOUSE EAVE +	4,443 SF.
COBBLE PAVEMENT +	412 SF.
WALKWAY +	153 SF.
DRIVEWAY +	1,422 SF.
TOTAL +	8,286 SF.

VICINITY PLAN



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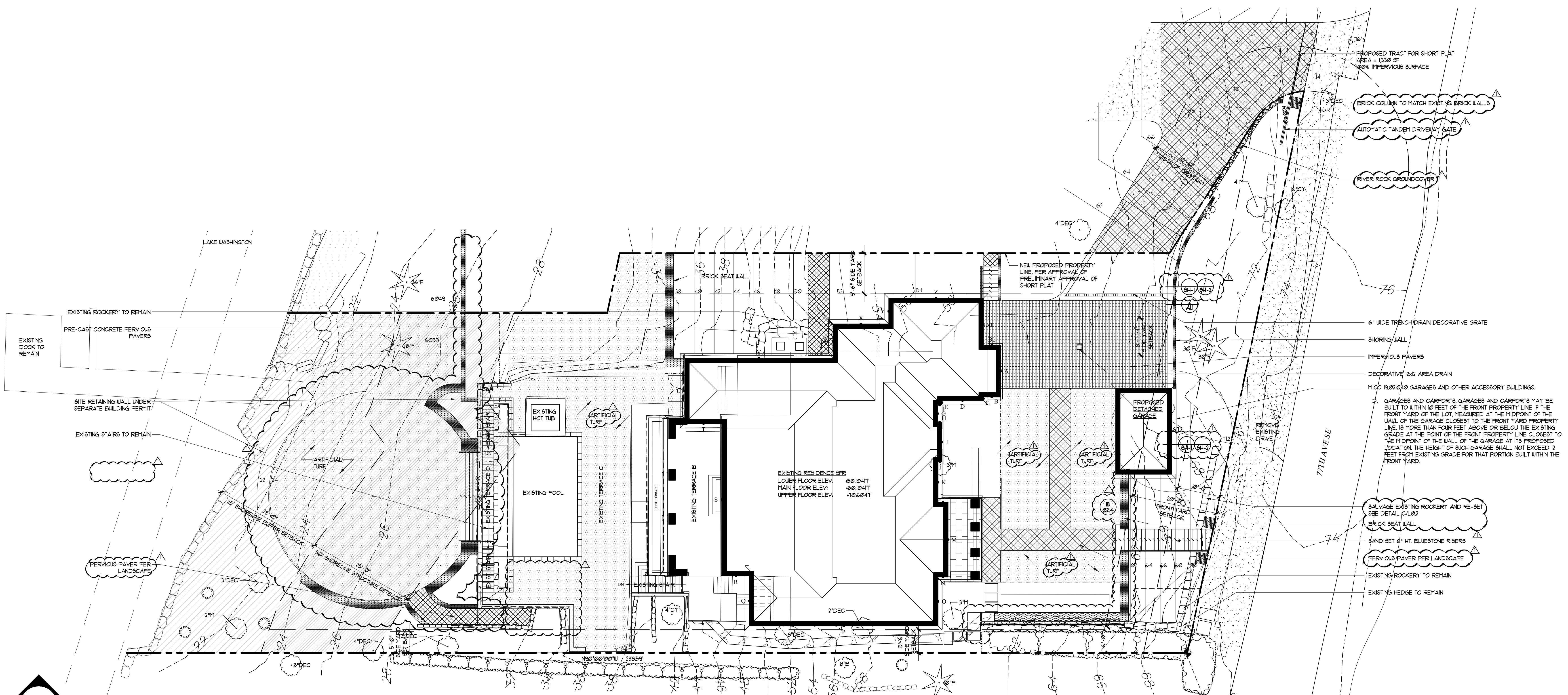


NO.	DATE	REVISION
1	10/30/18	REVISION 1
2	07/18/17	PERMIT SET

DATE: 04/23/2018
JOB NUMBER: 1625
PW: DKG
FILE: xSITE_Exising.dwg

SITE DEMOLITION

A1.0



1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 10'-0"

PROJECT ADDRESS
 6059 77th Ave SE
 MERCER ISLAND, WA 98040

ZONING CLASSIFICATION
 CITY OF MERCER ISLAND: R-12

GENERAL NOTES

- SEE CIVIL ENGINEERING SHEETS FOR UTILITIES, ESC, DRAINAGE, T.O.W. & B.O.W. FOR RETAINING WALLS.
- SEE TREE PRESERVATION & REMOVAL PLAN FOR TREE SCHEDULE & TREE PROTECTION FENCE.

LEGAL DESCRIPTION

THE NORTH 18 FEET OF THE SOUTH 180 FEET OF THAT PORTION OF GOVERNMENT LOT 1 OF SECTION 24, TOWNSHIP 24 NORTH, RANGE 4 EAST, WM, LYING WEST OF A STRAIGHT LINE RUNNING FROM A POINT ON THE SOUTH LINE OF SAID GOVERNMENT LOT 4, WHICH POINT OF 615.24 FEET WEST OF THE NORTHEAST CORNER OF SAID LOT, (ALSO KNOWN AS LOT 10 OF LAKE VIEW HIGHLANDS WATERFRONT TRACTS UNRECORDED) TOGETHER WITH SECOND CLASS SHORELANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN FRONT OF, ADJACENT TO OR ABUTTING THEREON, SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON, ASSESOR'S PARCEL NO. 409110-0005

IMPERVIOUS SURFACE COVERAGE

TOTAL LOT AREA	21200 SF
TOTAL ALLOWABLE (71200 x 35%)	7420 SF
EXISTING IMPERVIOUS SURFACE	
HOUSE (TO REMAIN)	3,389 SF
TERRACES	783 SF
WATER FEATURE	91 SF
FIREPLACE	70 SF
STAIRS	104 SF
POOL	451 SF
HOT TUB	82 SF
TOTAL EXISTING	4,406 SF

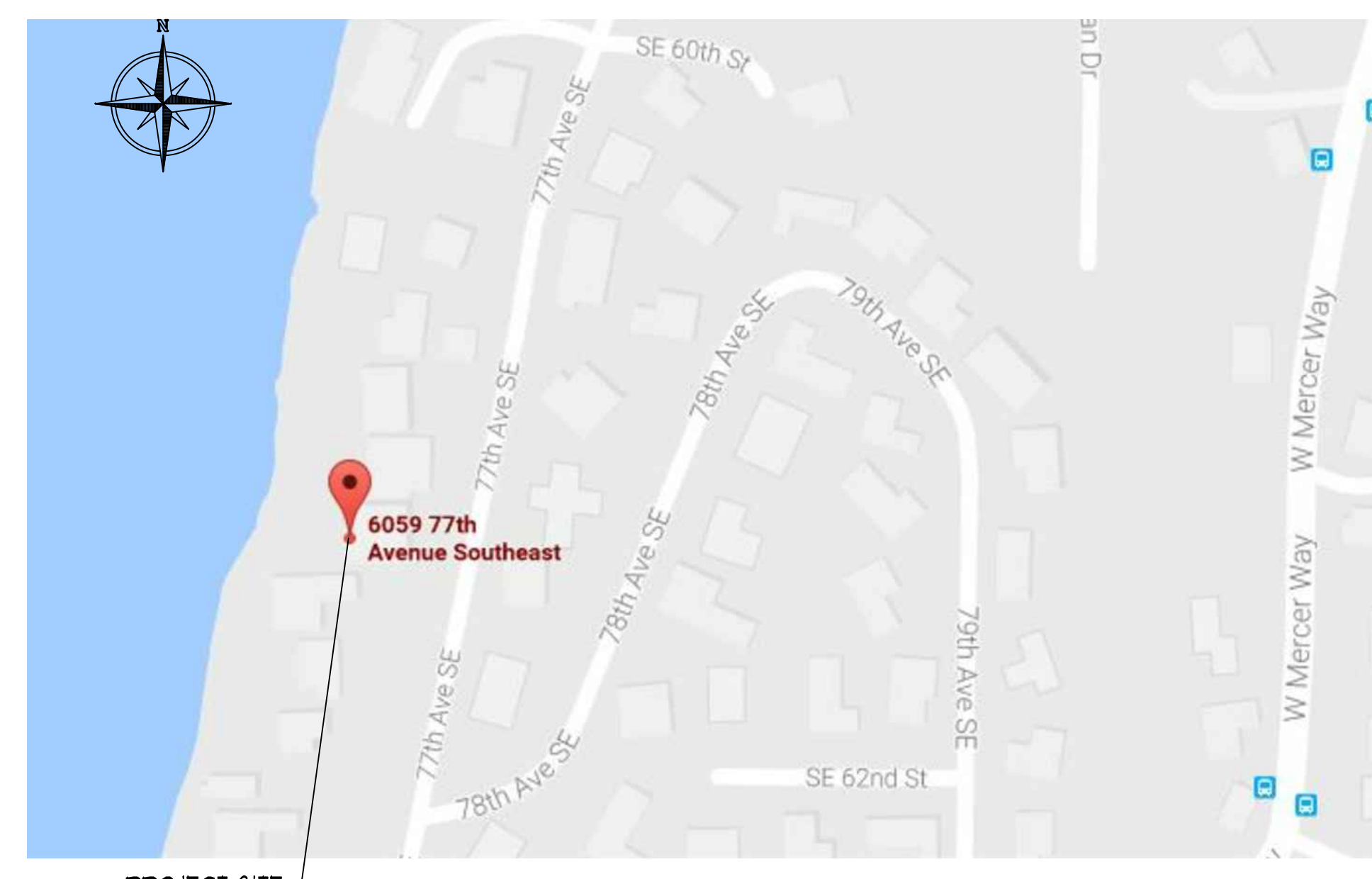
PROPOSED IMPERVIOUS SURFACE

HOUSE (ADDITION)	1268 SF
DETACHED GARAGE	336 SF
DRIVEWAY	1049 SF
STAIRS	101 SF
COLUMN	18 SF
TOTAL PROPOSED	2,772 SF

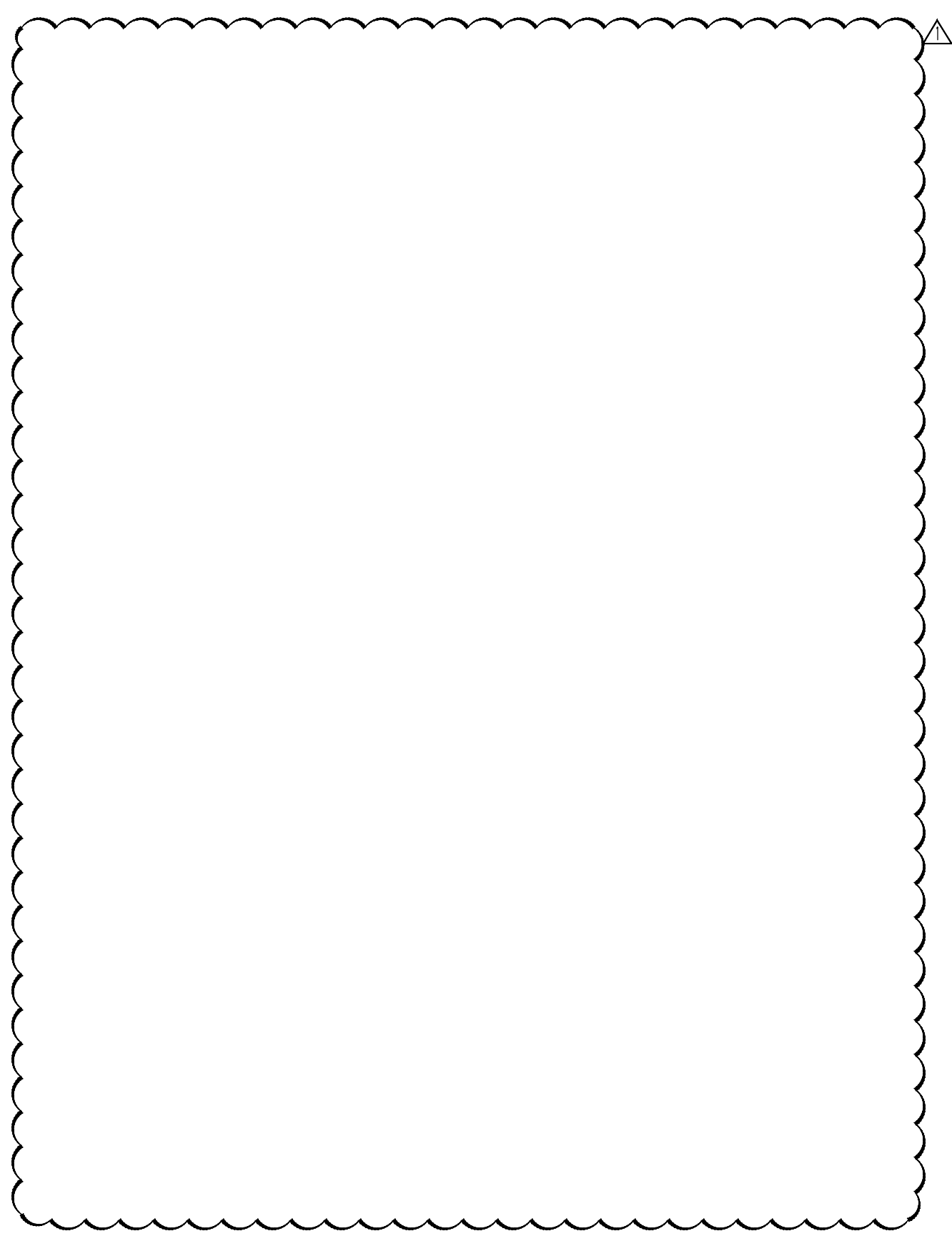
EXISTING + PROPOSED TOTAL = 4,406 + 2,772 = 7,178 SF UNDER BY 236 SF

HEIGHT CALCULATIONS

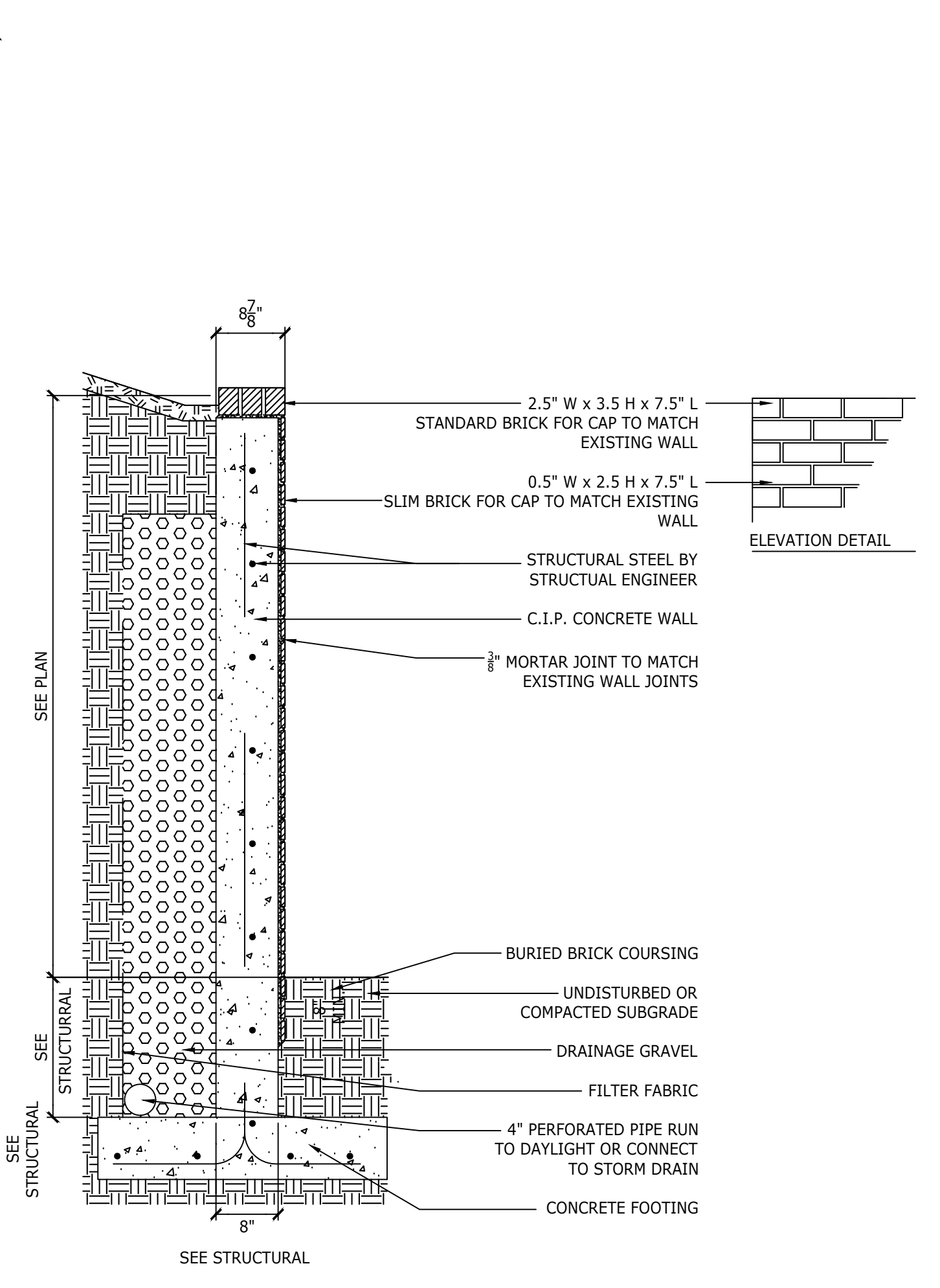
VICINITY PLAN



GROSS FLOOR CALCULATION



2 TYPICAL BRICK WALL DETAIL
 SCALE: 3/4" = 1'-0"



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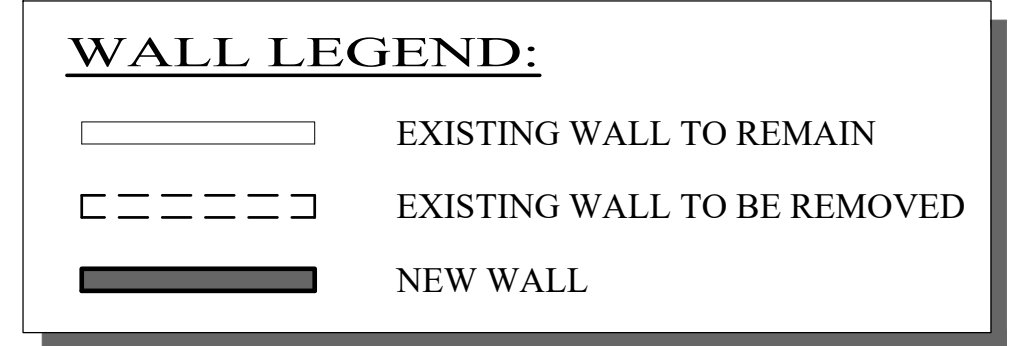
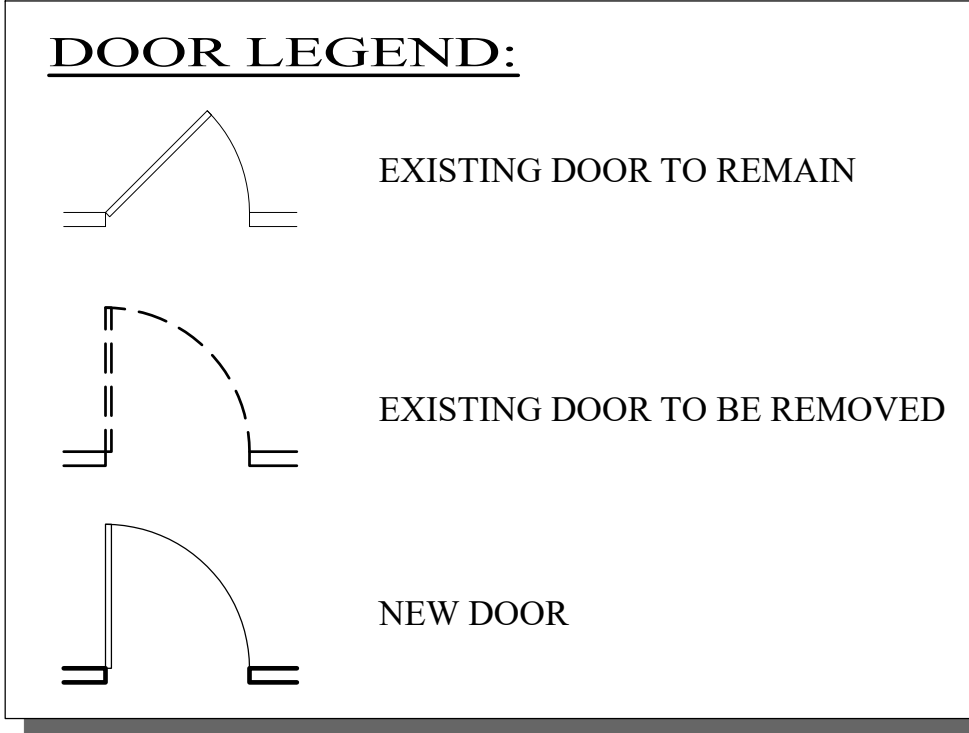


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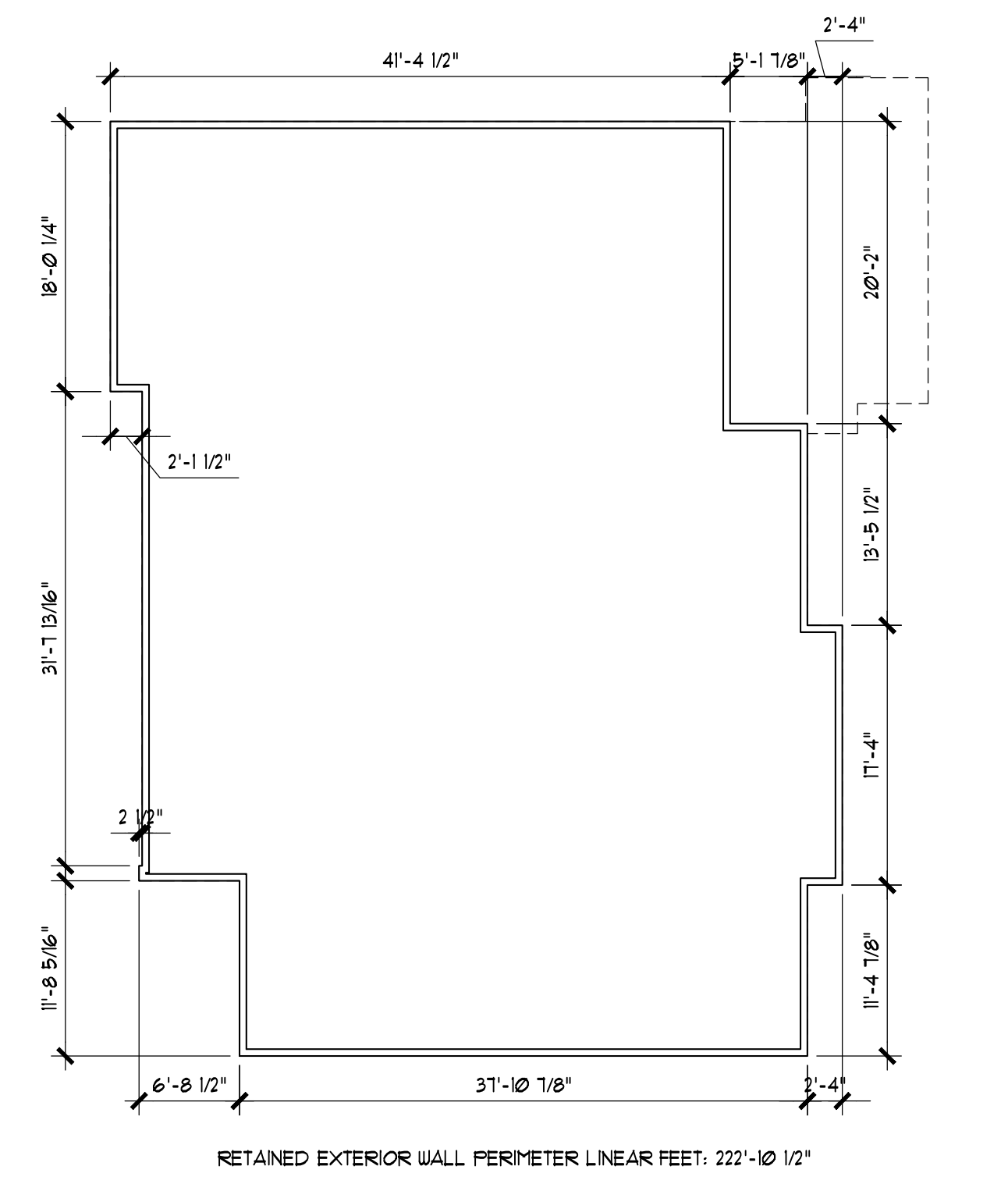
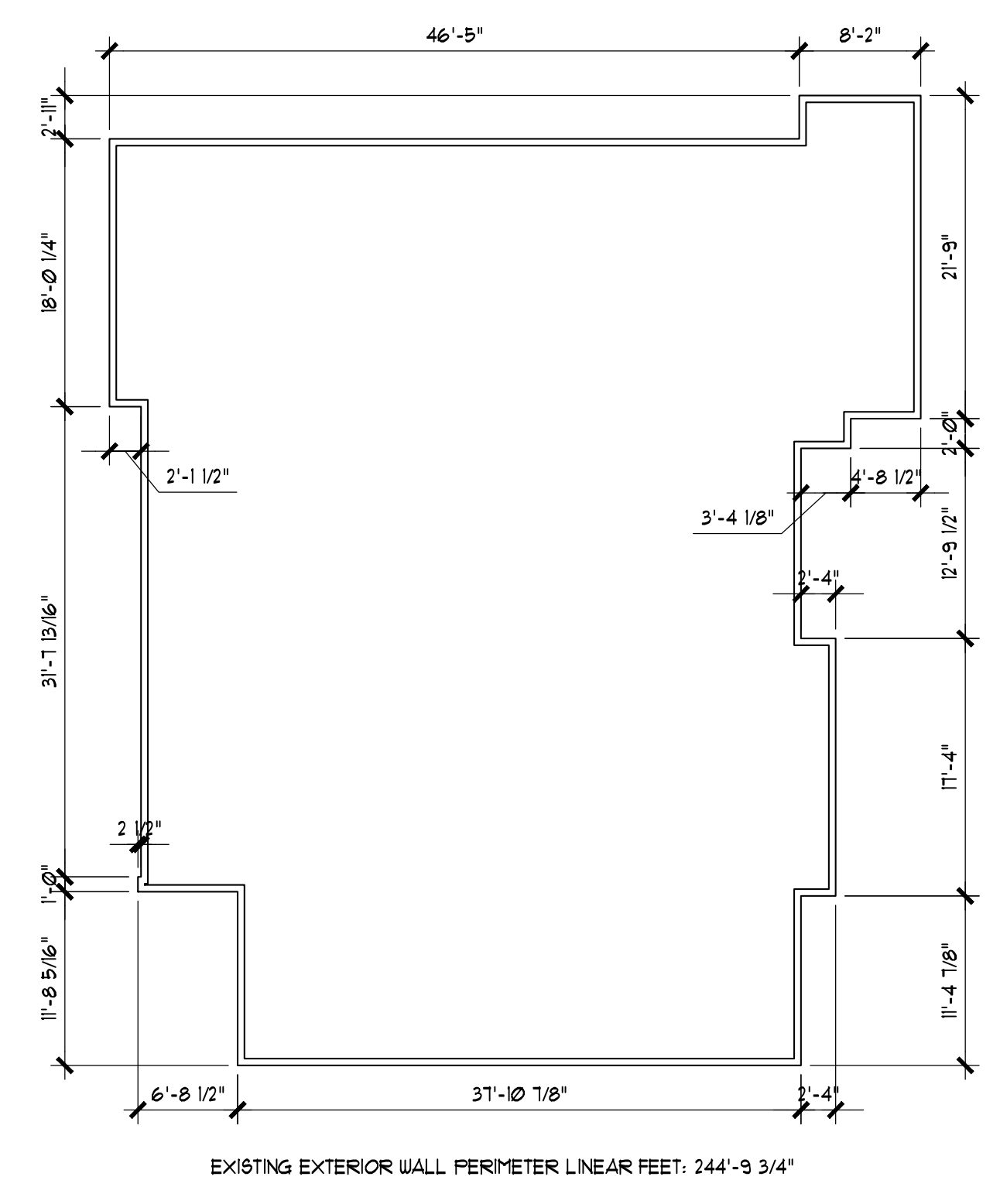
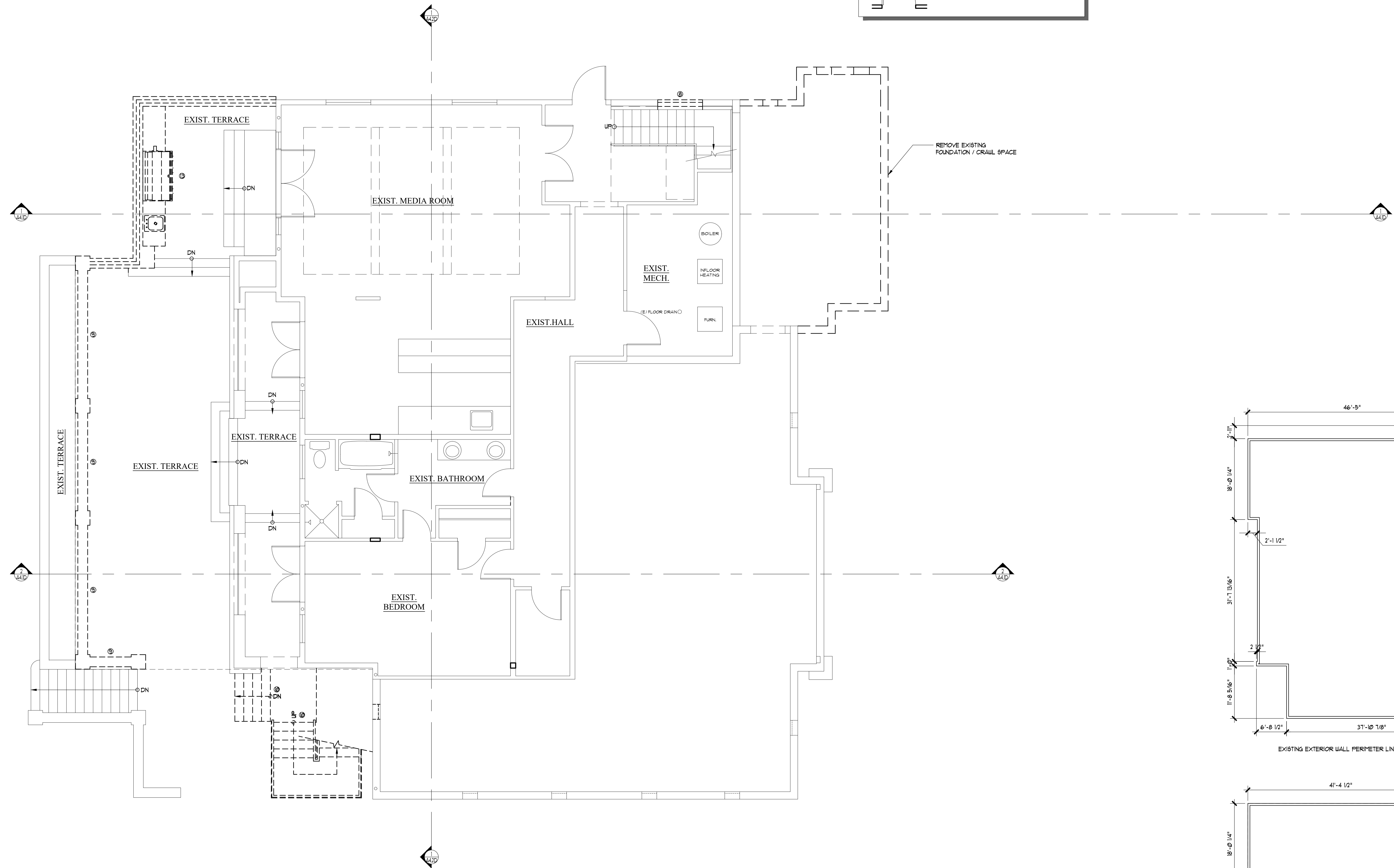
DATE: 04/23/2018
 JOB NUMBER: 1625
 PW: DKG
 FILE: xSITE.dwg

ARCHITECTURAL SITE PLAN

A1.1



- DEMOLITION NOTES**
- ① REMOVE EXISTING DOOR AND FRAME
 - ② REMOVE EXISTING PLUMBING FIXTURE, CAP PLUMBING
 - ③ REMOVE EXISTING CASEWORK
 - ④ REMOVE EXISTING FLOORING
 - ⑤ EXISTING FINISHES TO REMAIN
 - ⑥ RELOCATE EXISTING MECHANICAL EQUIPMENT
 - ⑦ RELOCATE EXISTING APPLIANCES
 - ⑧ REMOVE EXISTING WINDOW
 - ⑨ REMOVE EXISTING GUARDRAIL
 - ⑩ REMOVE EXISTING STAIR
 - ⑪ REMOVE EXISTING GARAGE DOOR
 - ⑫ REMOVE EXISTING COLLONADE
 - ⑬ RELOCATE EXISTING CABINET AND COUNTER



TOTAL EXISTING EXTERIOR WALL PERIMETER LINEAR FEET:
 LOWER FLOOR = 244'-9 3/4"
 MAIN FLOOR = 231'-10"
 UPPER FLOOR = 284'-9"
 TOTAL = 761'-4 3/4"

60% = 161395833 x 0.60 = 4568375' OR 456'-10 1/16"

TOTAL RETAINED WALL PERIMETER LINEAR FEET:
 LOWER FLOOR = 222'-10 1/2"
 MAIN FLOOR = 121'-6"
 UPPER FLOOR = 129'-3 1/2"
 469'-9" OR 469'-6"

469.66' / 161395833 = 61.68% RETAINED EXTERIOR WALLS

1 DEMO LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

2 60% EXT WALL RETAINAGE DIAGRAM
 SCALE: 1" = 10'-0"

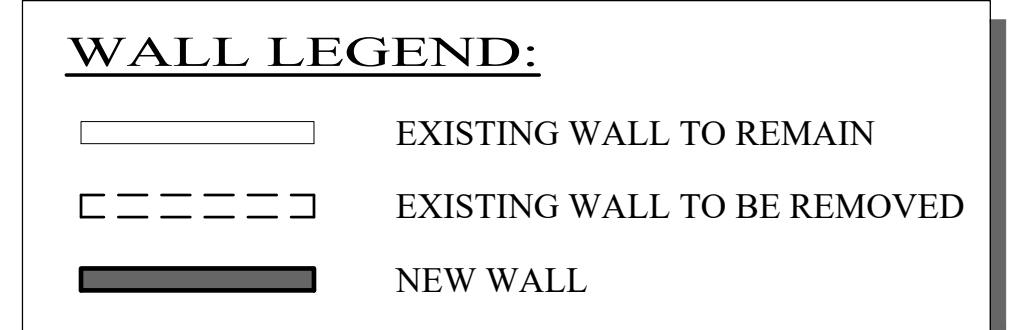
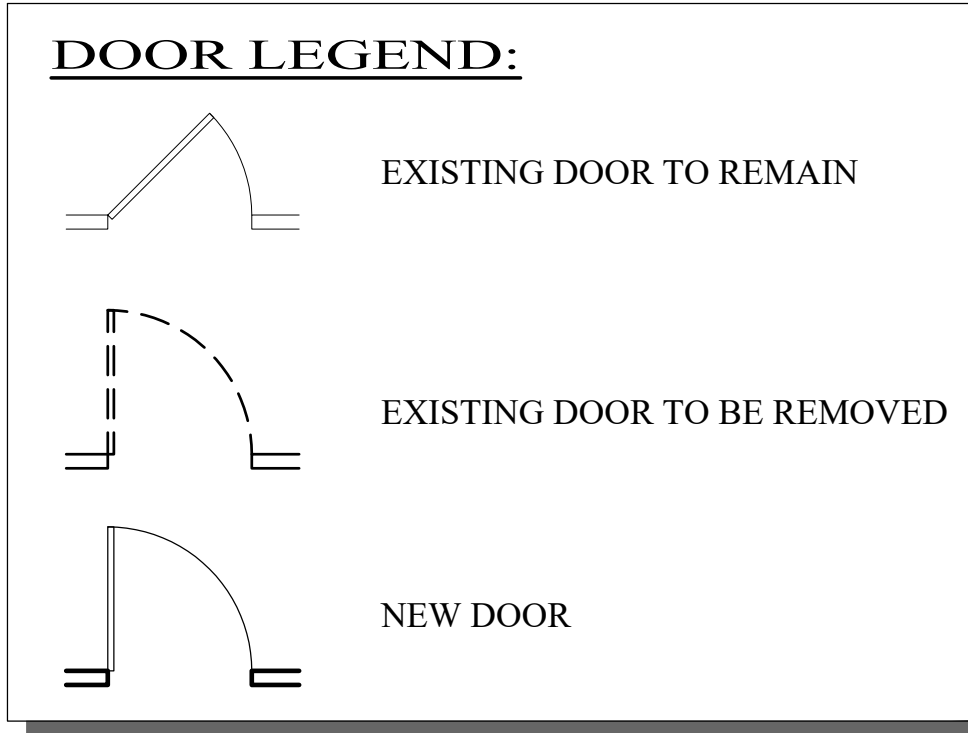


NO.	DATE	REVISION
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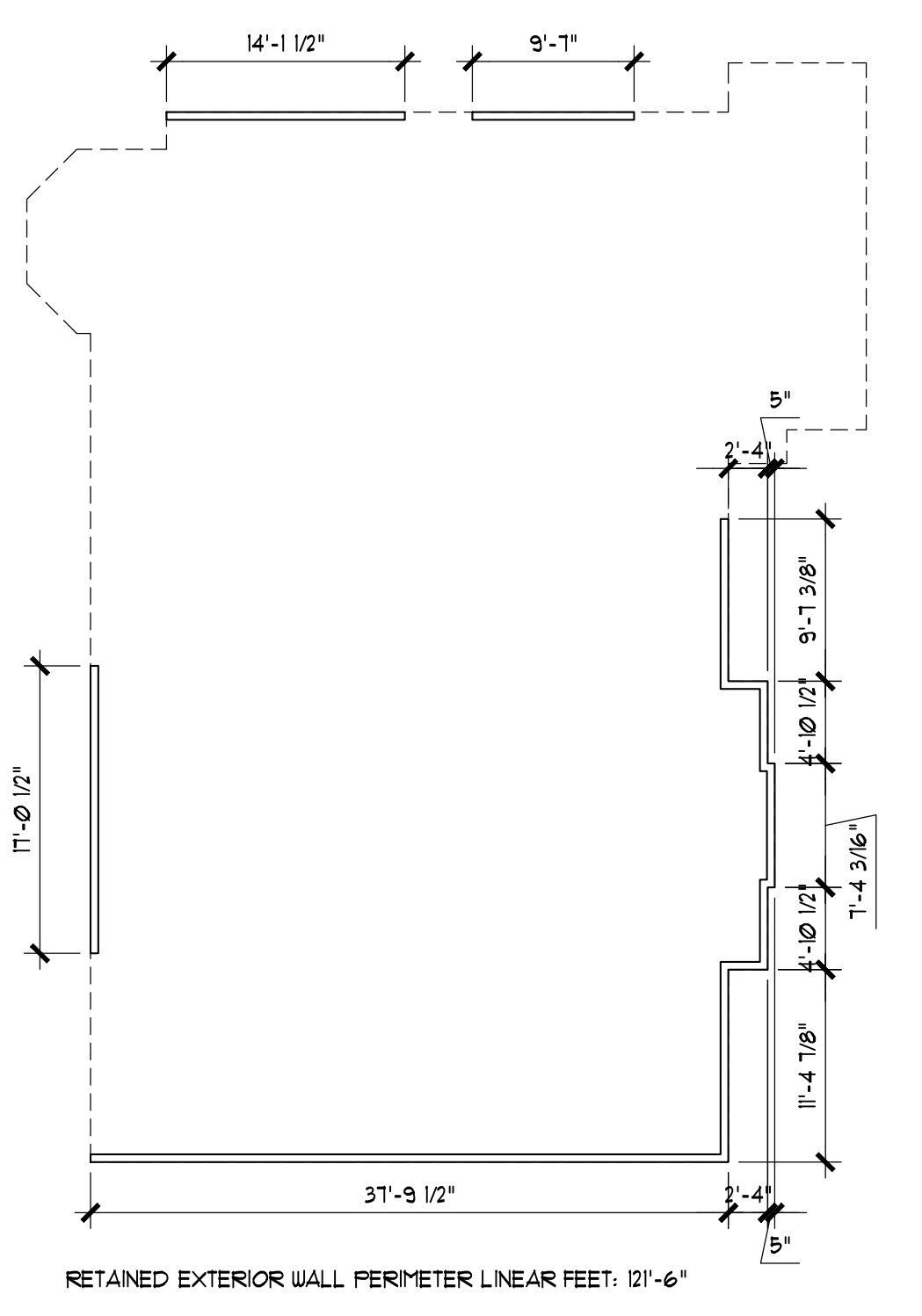
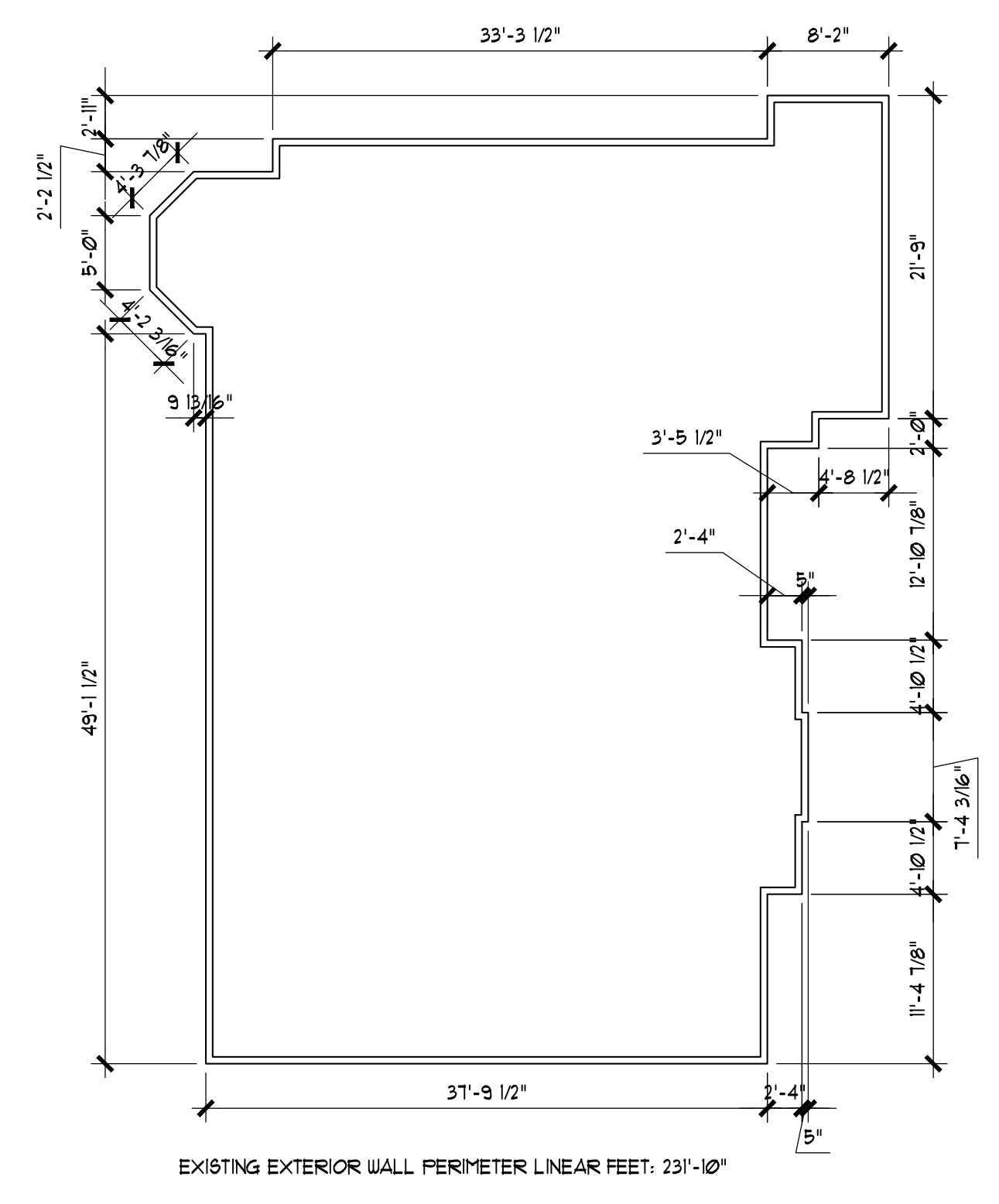
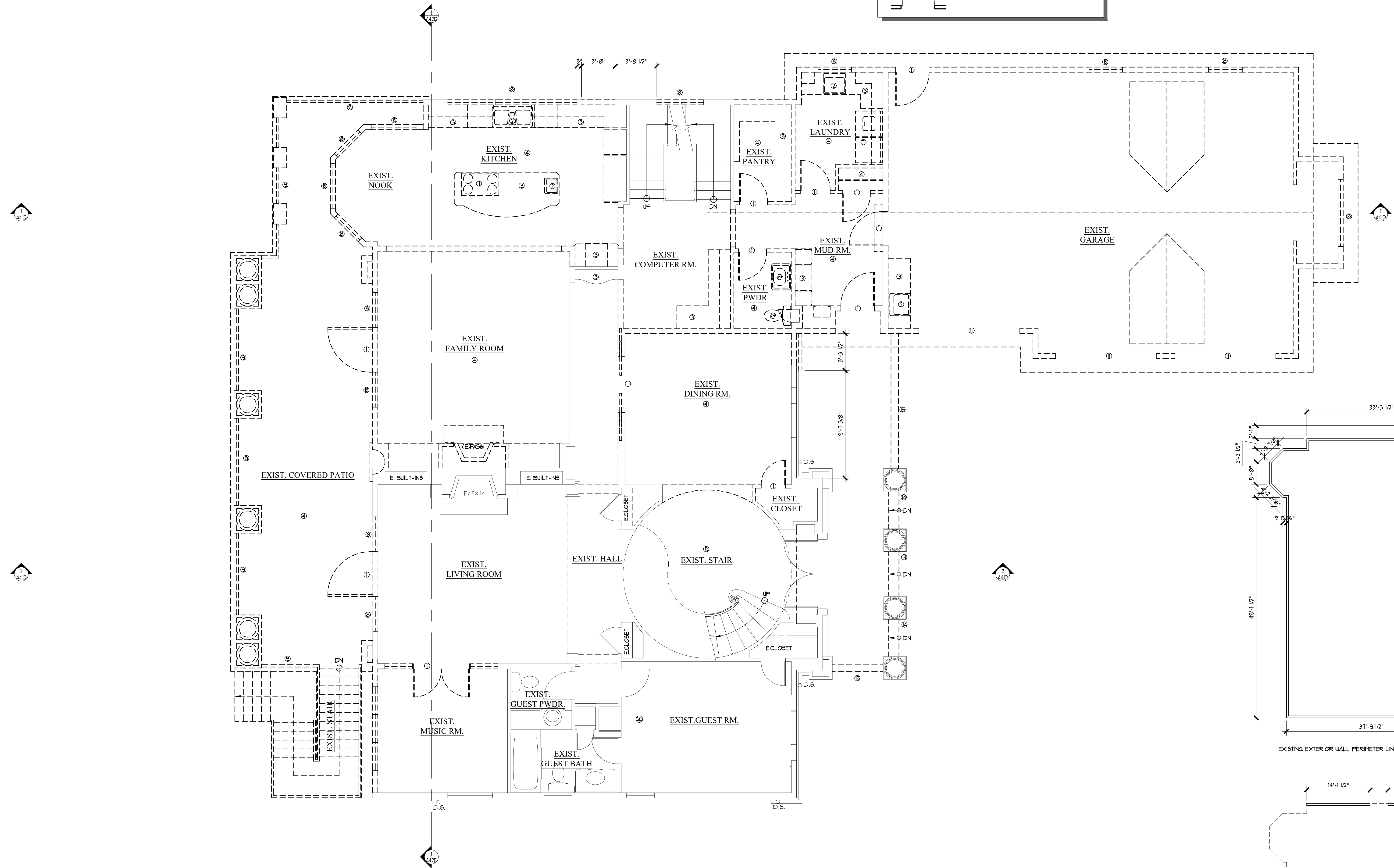
DEMO LOWER FLOOR PLAN

A2.1D



DEMOLITION NOTES

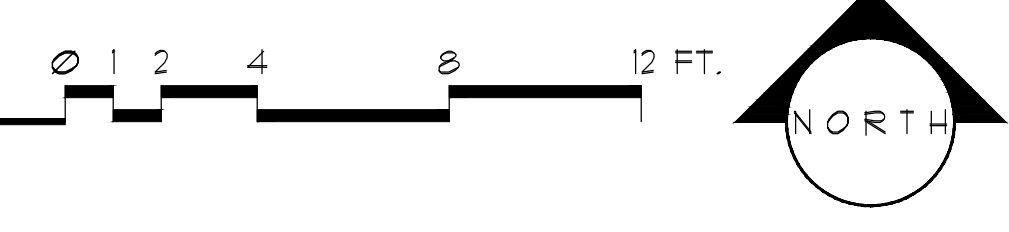
- ① REMOVE EXISTING DOOR AND FRAME
- ② REMOVE EXISTING PLUMBING FIXTURE, CAP PLUMBING
- ③ REMOVE EXISTING CABINETWORK
- ④ REMOVE EXISTING FLOORING
- ⑤ EXISTING FINISHES TO REMAIN
- ⑥ RELOCATE EXISTING MECHANICAL EQUIPMENT
- ⑦ RELOCATE EXISTING APPLIANCES
- ⑧ REMOVE EXISTING WINDOW
- ⑨ REMOVE EXISTING GUARDRAIL
- ⑩ REMOVE EXISTING STAIR
- ⑪ REMOVE EXISTING GARAGE DOOR
- ⑫ REMOVE EXISTING COLLONADE
- ⑬ RELOCATE EXISTING CABINET AND COUNTER
- ⑭ REMOVE EXISTING STEPS • EXTERIOR ENTRY
- ⑮ REMOVE EXISTING SITE RETAINING WALL



TOTAL EXISTING EXTERIOR WALL PERIMETER LINEAR FEET:
 LOWER FLOOR = 244'-9 3/4"
 MAIN FLOOR = 231'-10"
 UPPER FLOOR = 284'-9"
 TOTAL = 760'-4 3/4"
 60% = 456'-2 1/4" x 0.60 = 273'-7 1/2" OR 456'-10 1/16"
 TOTAL RETAINED EXTERIOR WALL PERIMETER LINEAR FEET:
 LOWER FLOOR = 222'-10 1/2"
 MAIN FLOOR = 121'-6"
 UPPER FLOOR = 129'-3 1/2"
 TOTAL = 473'-0" OR 469'-6"

469'-6" / 761'-0" = 61.8% RETAINED EXTERIOR WALLS

1 DEMO MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 60% EXT WALL RETAINAGE DIAGRAM
SCALE: 1" = 10'-0"

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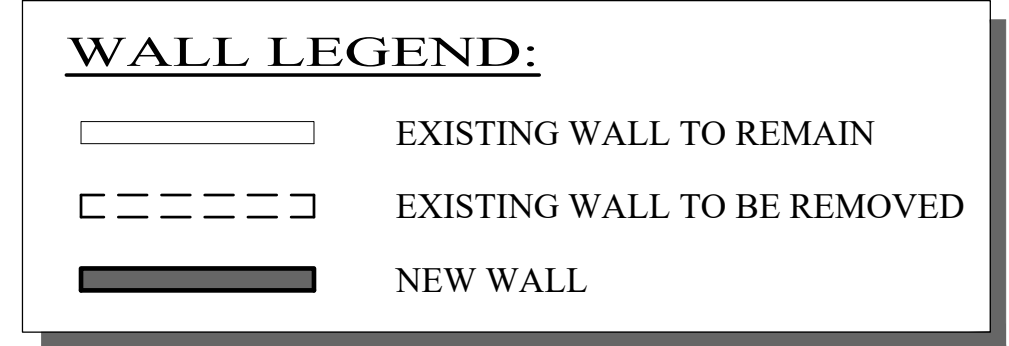
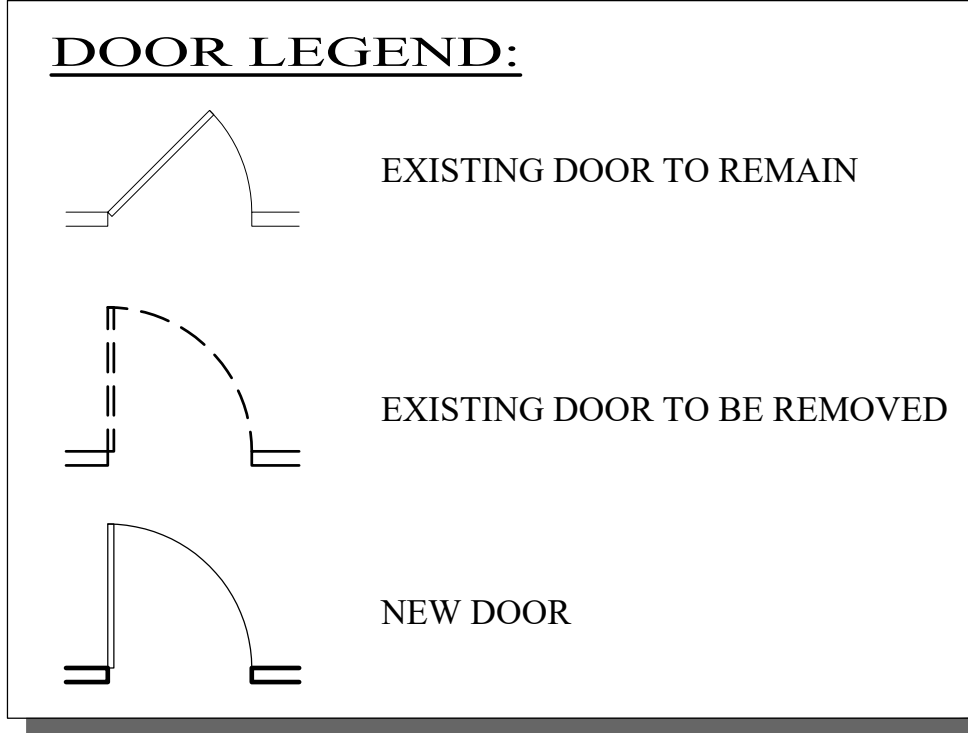


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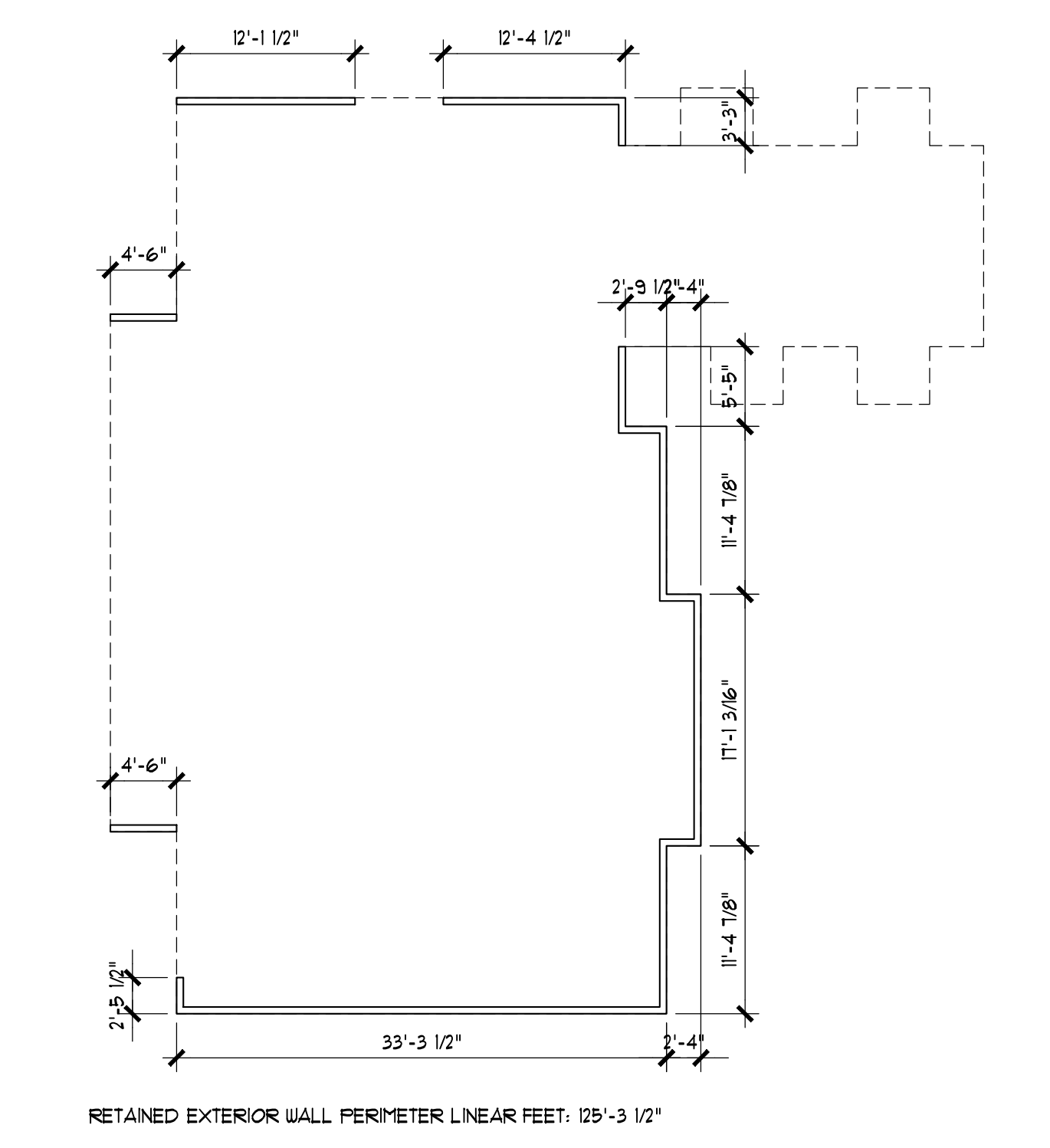
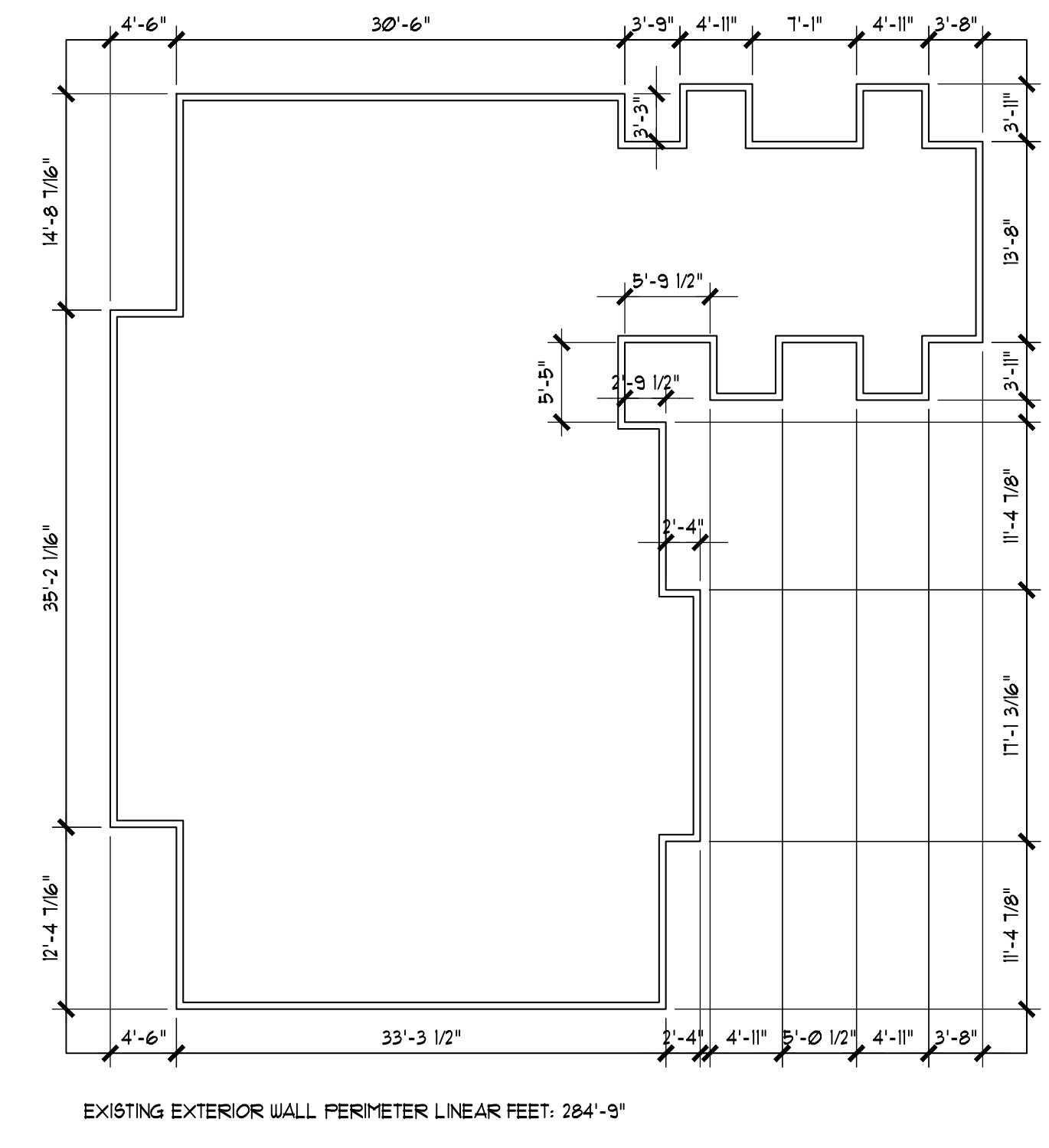
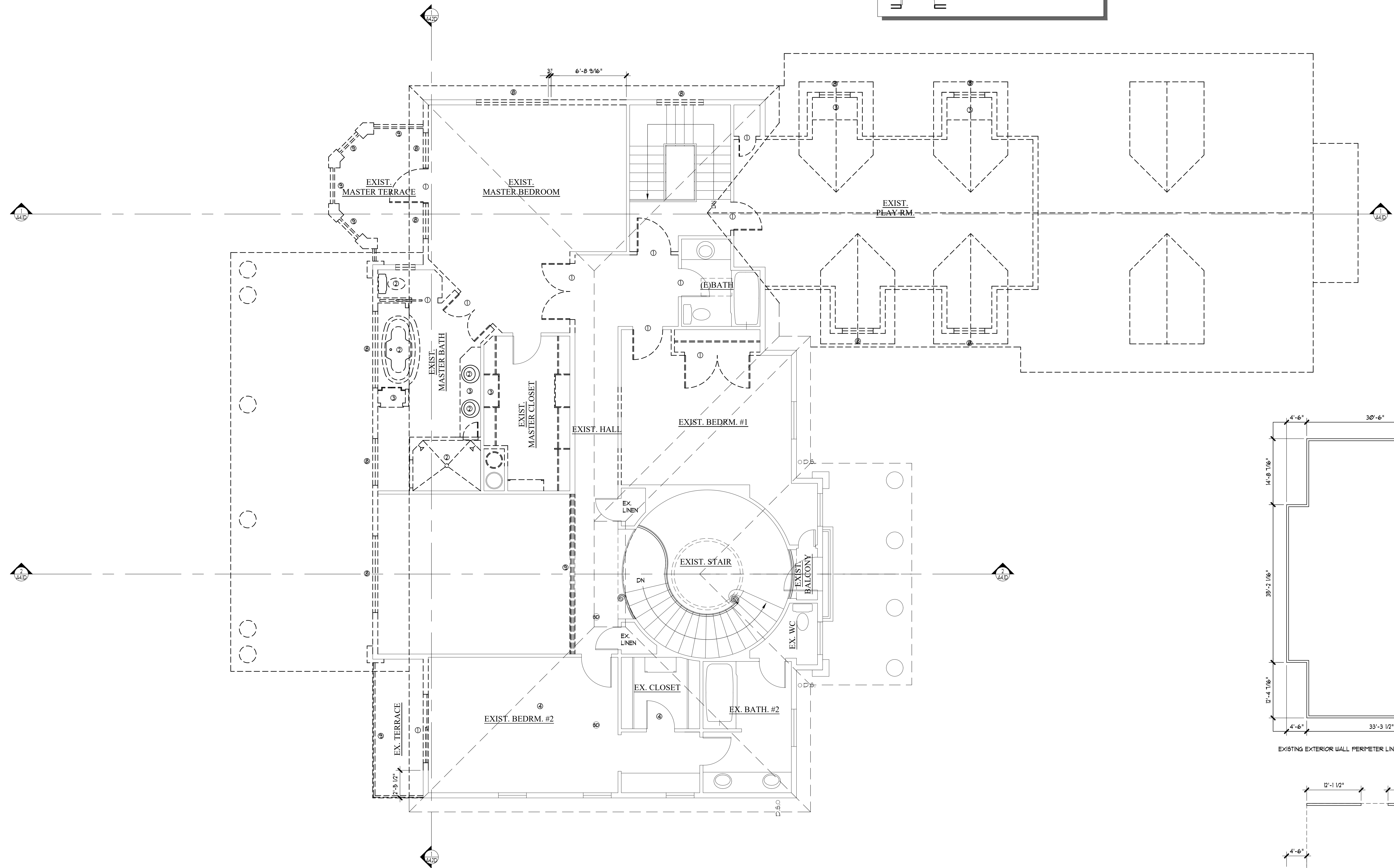
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FILE: xFPM_Existing.dwg

DEMO MAIN FLOOR PLAN

A2.2D



- DEMOLITION NOTES**
- ① REMOVE EXISTING DOOR AND FRAME
 - ② REMOVE EXISTING PLUMBING FIXTURE, CAP PLUMBING
 - ③ REMOVE EXISTING CABELOWRK
 - ④ REMOVE EXISTING FLOORING
 - ⑤ EXISTING FINISHES TO REMAIN
 - ⑥ RELOCATE EXISTING MECHANICAL EQUIPMENT
 - ⑦ RELOCATE EXISTING APPLIANCES
 - ⑧ REMOVE EXISTING WINDOW
 - ⑨ REMOVE EXISTING GUARDRAIL
 - ⑩ REMOVE EXISTING STAIR
 - ⑪ REMOVE EXISTING GARAGE DOOR
 - ⑫ REMOVE EXISTING COLLONADE



TOTAL EXISTING EXTERIOR WALL PERIMETER LINEAR FEET:
 LOWER FLOOR = 244'-9 3/4"
 MAIN FLOOR = 231'-10"
 UPPER FLOOR = 284'-9"
 TOTAL = 761'-9 3/4"

60% = 161'-9 3/4" x 0.60 = 97'-0" OR 456'-10 1/16"

TOTAL RETAINED EXTERIOR WALL PERIMETER LINEAR FEET:
 LOWER FLOOR = 222'-10 1/2"
 MAIN FLOOR = 121'-6"
 UPPER FLOOR = 125'-3 1/2"
 TOTAL = 469'-9" OR 469'-9"

469'-9" / 761'-9 3/4" = 61.68% RETAINED EXTERIOR WALLS

1 DEMO UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

2 60% EXT WALL RETAINAGE DIAGRAM
 SCALE: 1" = 10'-0"

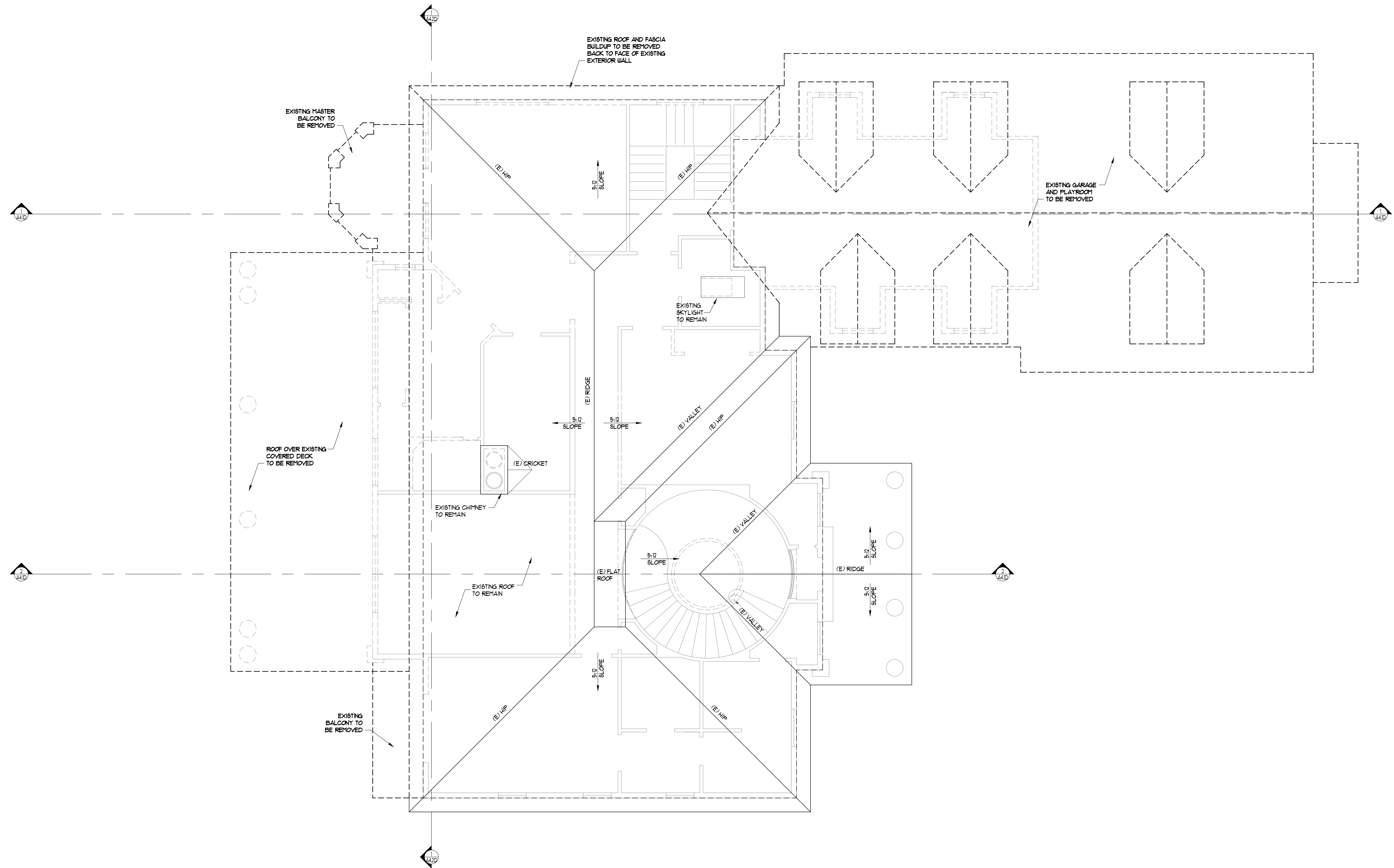


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 FILE: xFPU_Existing.dwg

DEMO UPPER FLOOR PLAN

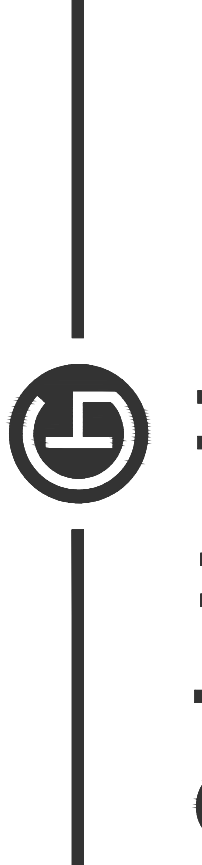
A2.3D



1 DEMO ROOF PLAN
 SCALE: 1/4" = 1'-0"

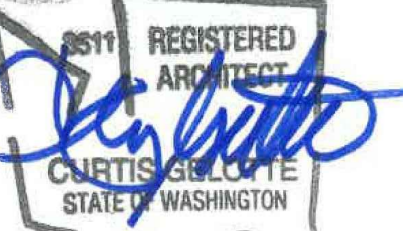
0 1 2 4 8 12 FT.

NORTH



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DEMO ROOF PLAN

A2.4D

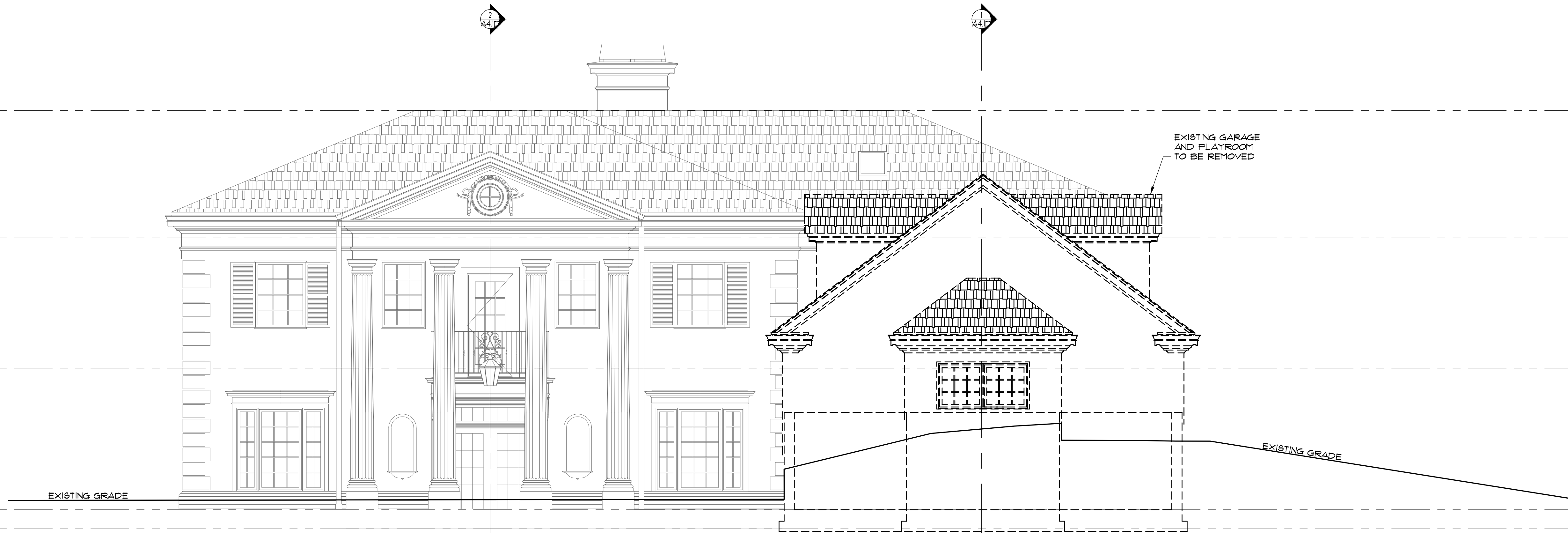
91'-9 1/4"
(E) TOP OF CHIMNEY

87'-5 1/8"
(E) TOP OF RIDGE

79'-1 1/4"
(E) TOP OF PLATE

70'-7 1/4"
(E) UPPER FLR. SUB. FLR.

61'-4 1/4"
(E) GARAGE FIN. FLR.
60'-1 1/4"
(E) MAIN FLR. SUB. FLR.



1 EAST DEMO ELEVATION
SCALE: 1/4" = 1'-0"

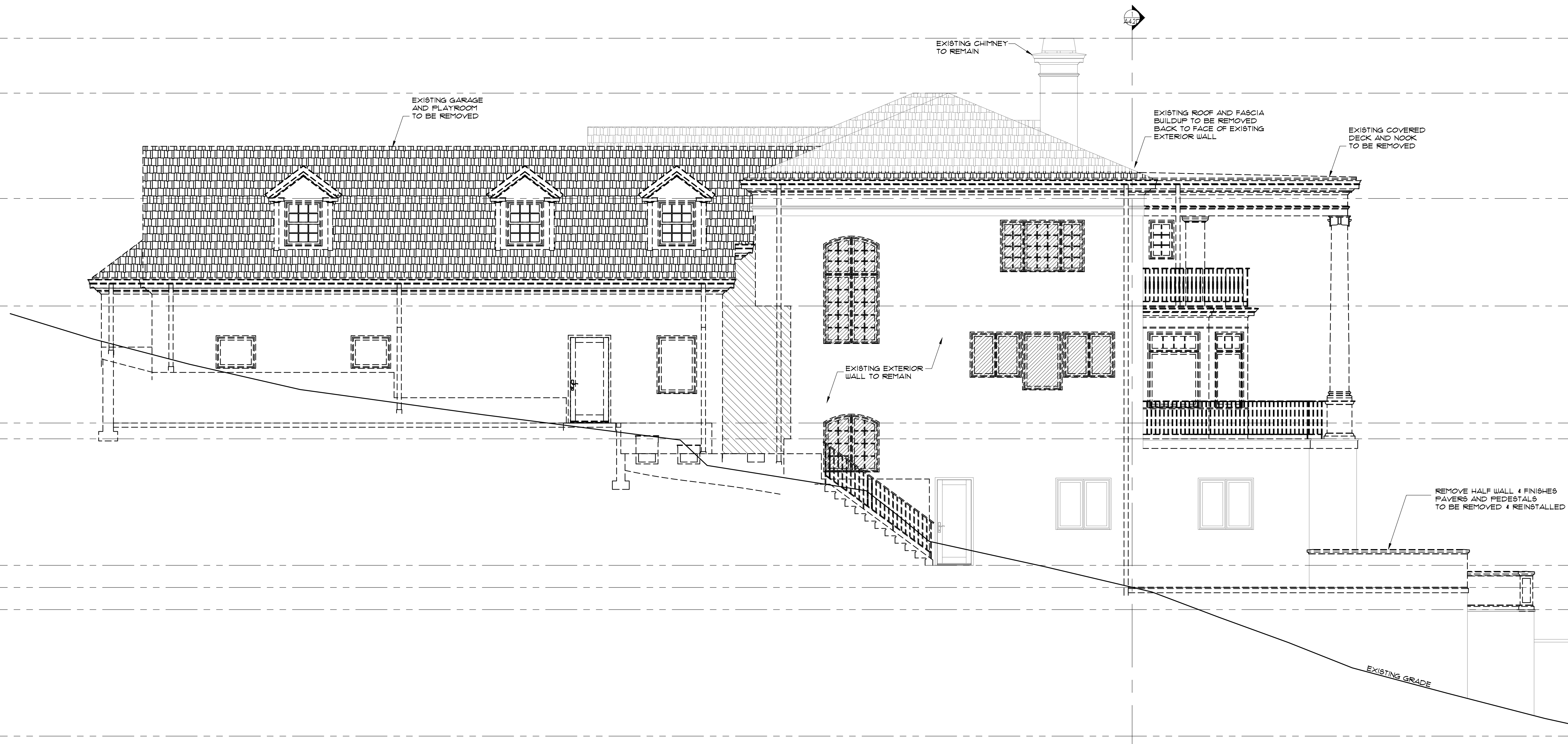
91'-9 1/4"
(E) TOP OF CHIMNEY

87'-5 1/8"
(E) TOP OF RIDGE

79'-1 1/4"
(E) TOP OF PLATE

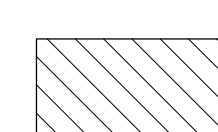
70'-7 1/4"
(E) UPPER FLR. SUB. FLR.

61'-4 1/4"
(E) GARAGE FIN. FLR.
60'-1 1/4"
(E) MAIN FLR. SUB. FLR.



2 NORTH DEMO ELEVATION
SCALE: 1/4" = 1'-0"

WALL/WINDOW LEGEND:

 NEW WINDOW ROUGH OPENING
VERIFY SIZE w/ EXISTING
CONDITIONS & PROPOSED
NEW CLADDING & EXTERIOR
MATERIALS.

 REMOVE EXISTING
WINDOWS & INFILL
EXISTING 2x6 WALL PER
STRUCTURE



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DEMO EXTERIOR
ELEVATIONS

A3.1D

91'-9 1/4"
(E) TOP OF CHIMNEY

81'-5 1/8"
(E) TOP OF RIDGE

79'-1 1/4"
(E) TOP OF PLATE

70'-7 1/4"
(E) UPPER FLR. SUB. FLR.

61'-4 1/4"
(E) GARAGE FIN. FLR.
60'-1 1/4"
(E) MAIN FLR. SUB. FLR.

50'-1 1/4"
(E) FIN. SLAB

48'-4 1/4"
(E) FIN. TERRACE

46'-7 1/4"
(E) FIN. SLAB

36'-7 1/4"
(E) STORAGE RM. SLAB

REMOVE EXISTING FASCIA BUILD-UP
& CUT BACK EXISTING TRUSSES/ROOF SHEATHING
FLUSH WITH EXTERIOR FACE OF STUD WALL.

REMOVE EXISTING DOOR &
PORTION OF EXTERIOR WALL
PER DEMO PLANS

REMOVE RAILING, DECK &
ROOF FRAMING
PER DEMO PLANS

REMOVE EXISTING WINDOW &
PORTION OF EXTERIOR WALLS
PER DEMO PLANS

REMOVE EXISTING RAILING, PAVERS,
PEDESTAL SYSTEM & WATERPROOFING.
FLOOR STRUCTURE TO REMAIN

REMOVE HALF WALL & FINISHES
PAVERS AND PEDESTALS
TO BE REMOVED & REINSTALLED

EXISTING STAIRS
TO BE REMOVED

EXISTING GUARDRAIL
TO BE REMOVED

EXIST'G GRADE

EXIST'G GRADE

1 WEST DEMO ELEVATION
SCALE: 1/4" = 1'-0"

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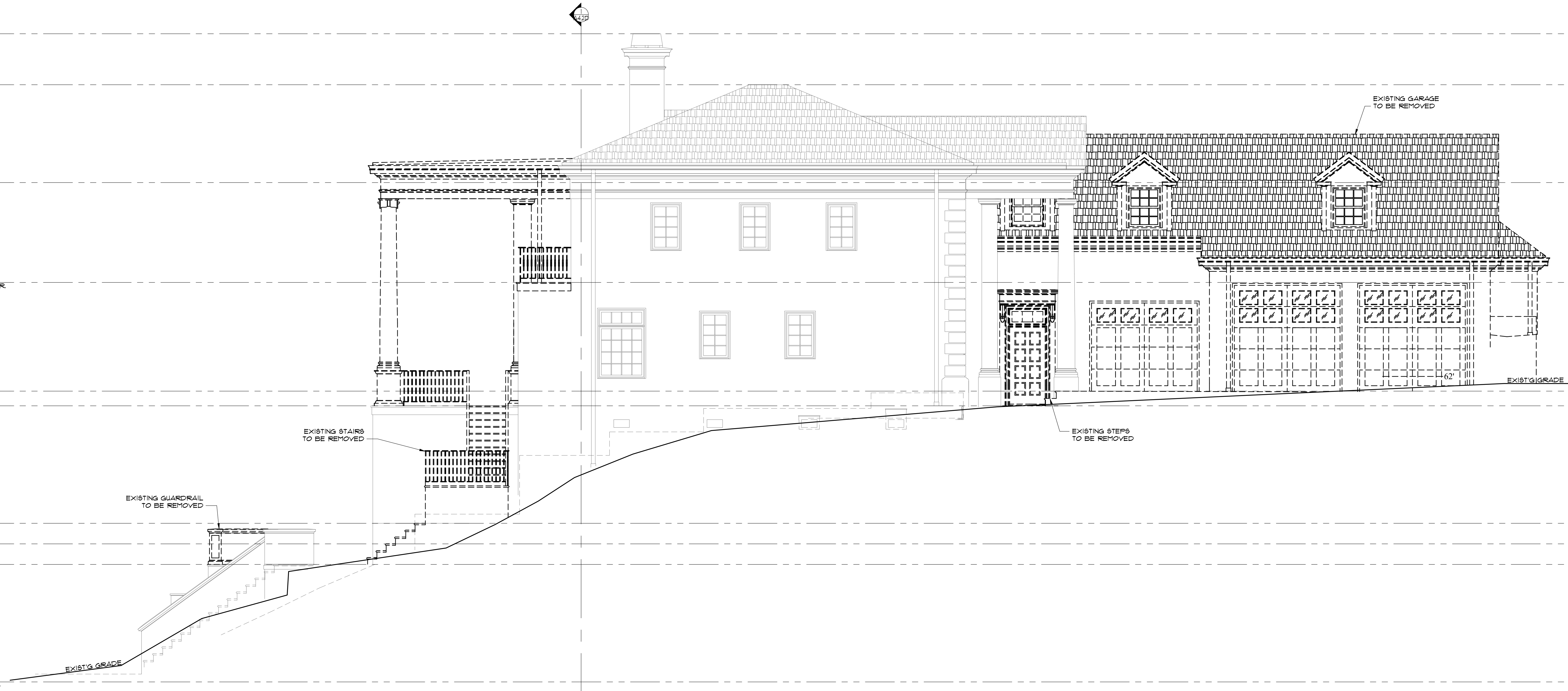
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FILE: A3.1_Existing.dwg

DEMO EXTERIOR
ELEVATIONS

A3.2D

- 91'-9 1/4"
(E) TOP OF CHIMNEY
- 81'-5 1/8"
(E) TOP OF RIDGE
- 79'-1 1/4"
(E) TOP OF PLATE
- 70'-7 1/4"
(E) UPPER FLR. SUB. FLR.
- 61'-4 1/4"
(E) GARAGE FIN. FLR.
60'-1 1/4"
(E) MAIN FLR. SUB. FLR.
- 50'-1 1/4"
(E) FIN. SLAB
- 48'-4 1/4"
(E) FIN. TERRACE
- 46'-7 1/4"
(E) FIN. SLAB
- 36'-1 1/4"
(E) STORAGE RM. SLAB



1 SOUTH DEMO ELEVATION
SCALE: 1/4" = 1'-0"

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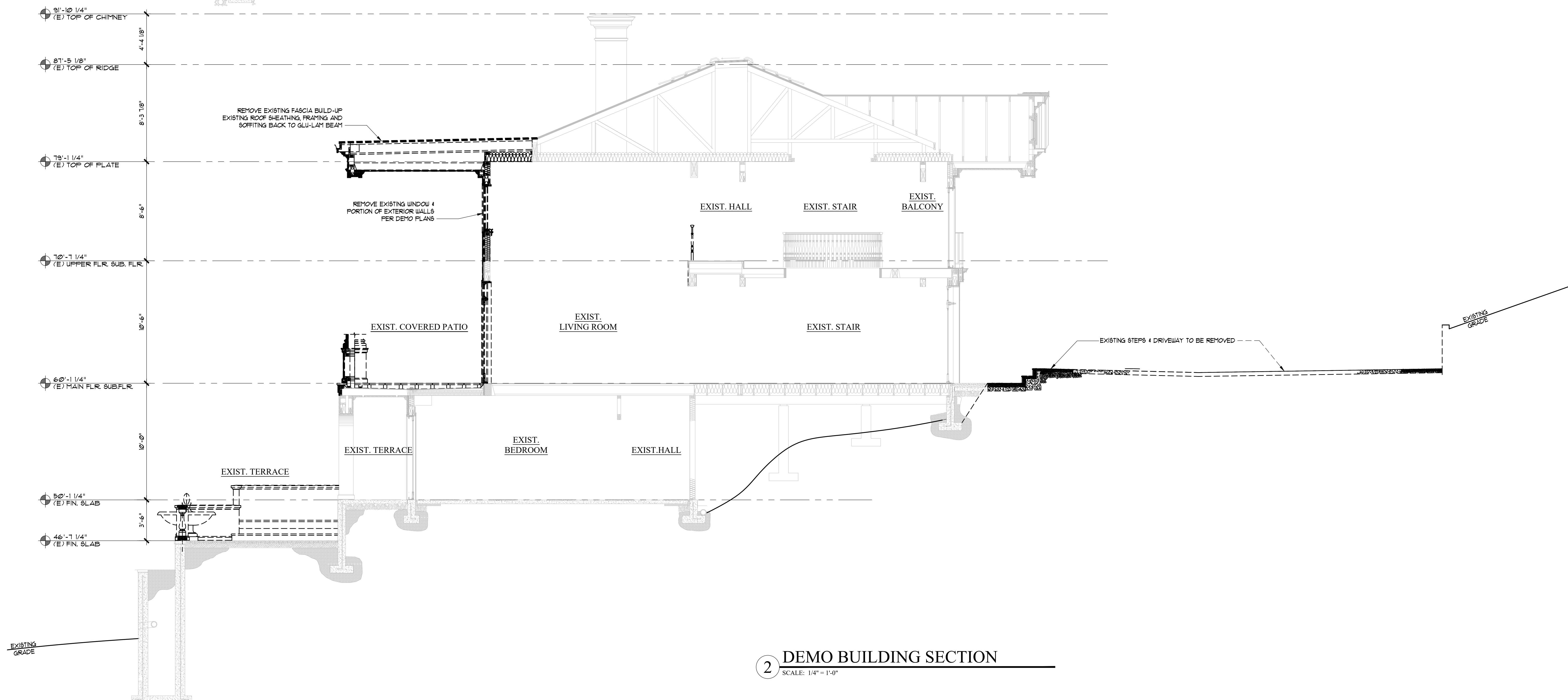
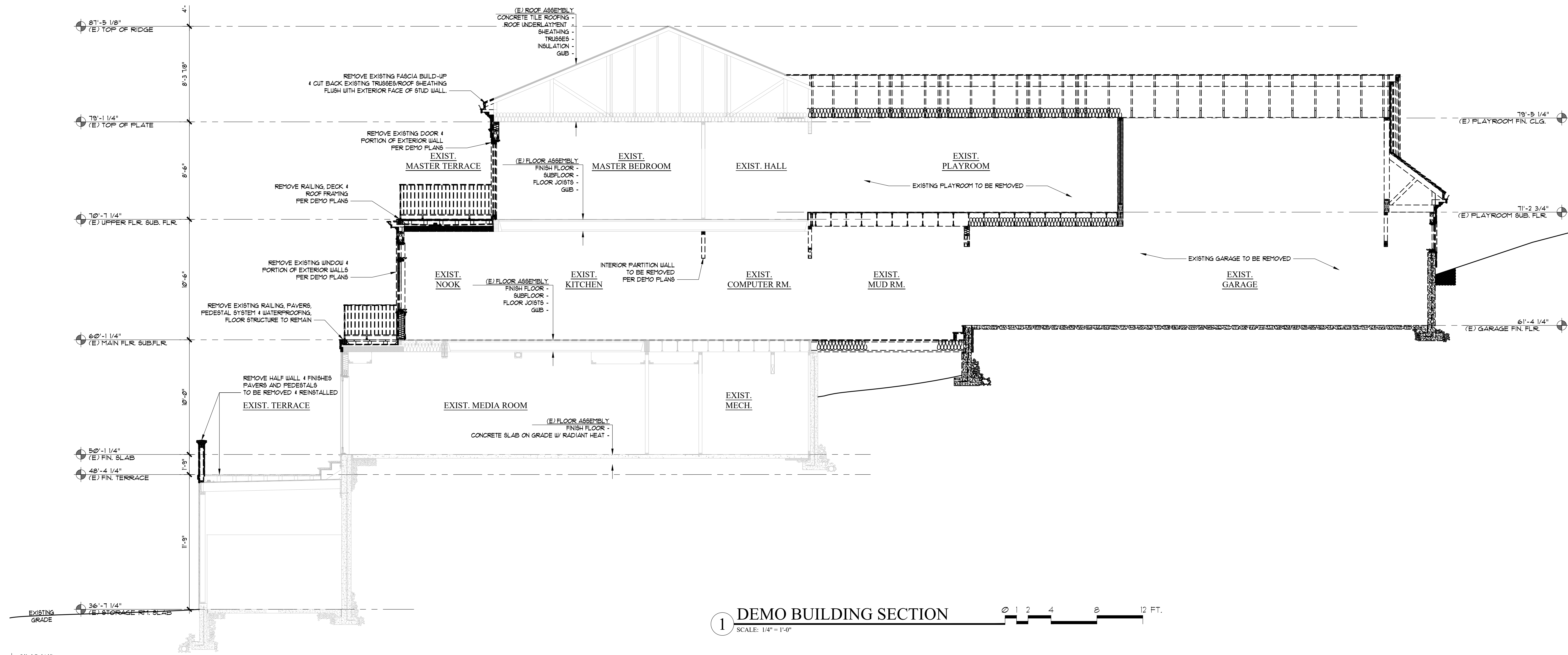


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DEMO EXTERIOR ELEVATIONS

A3.3D

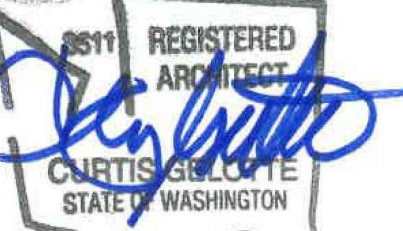


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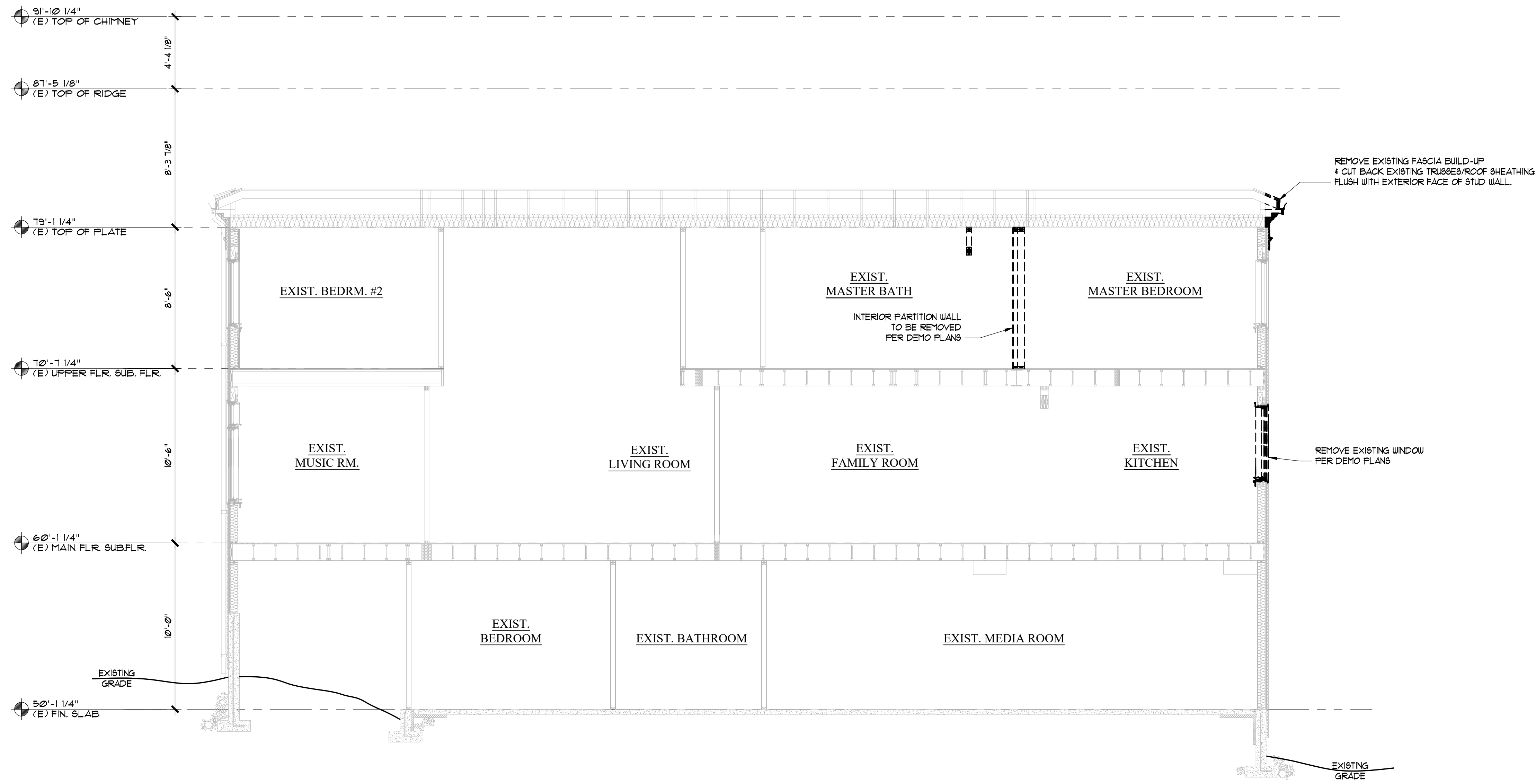


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FILE: A4.1_Existing.dwg

DEMO BUILDING SECTIONS

A4.1D



1 DEMO BUILDING SECTION
SCALE: 1/4" = 1'-0"

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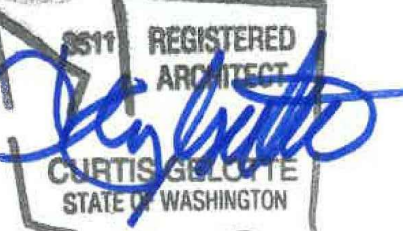


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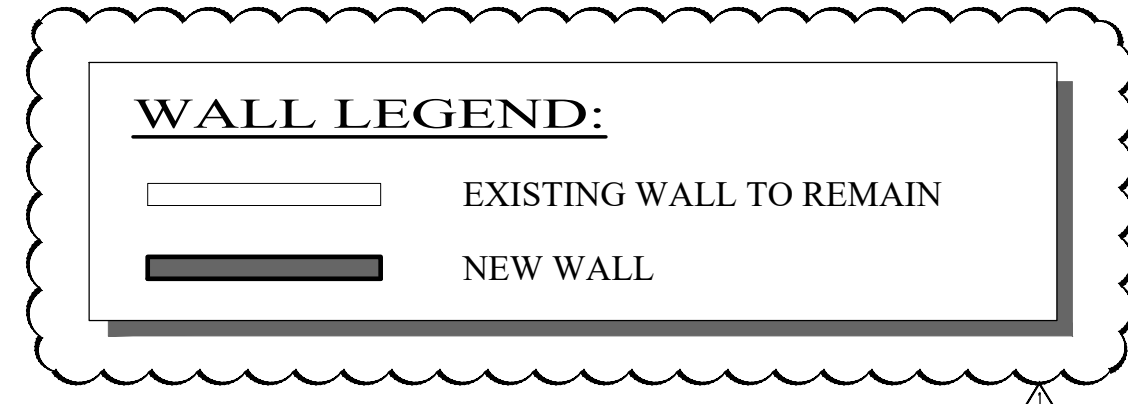
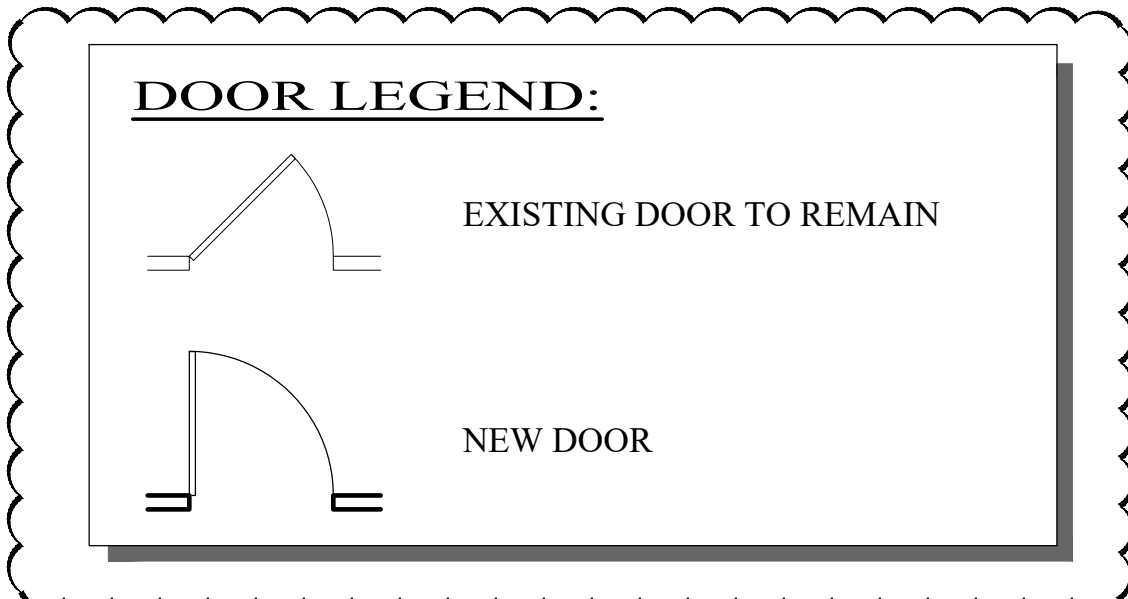
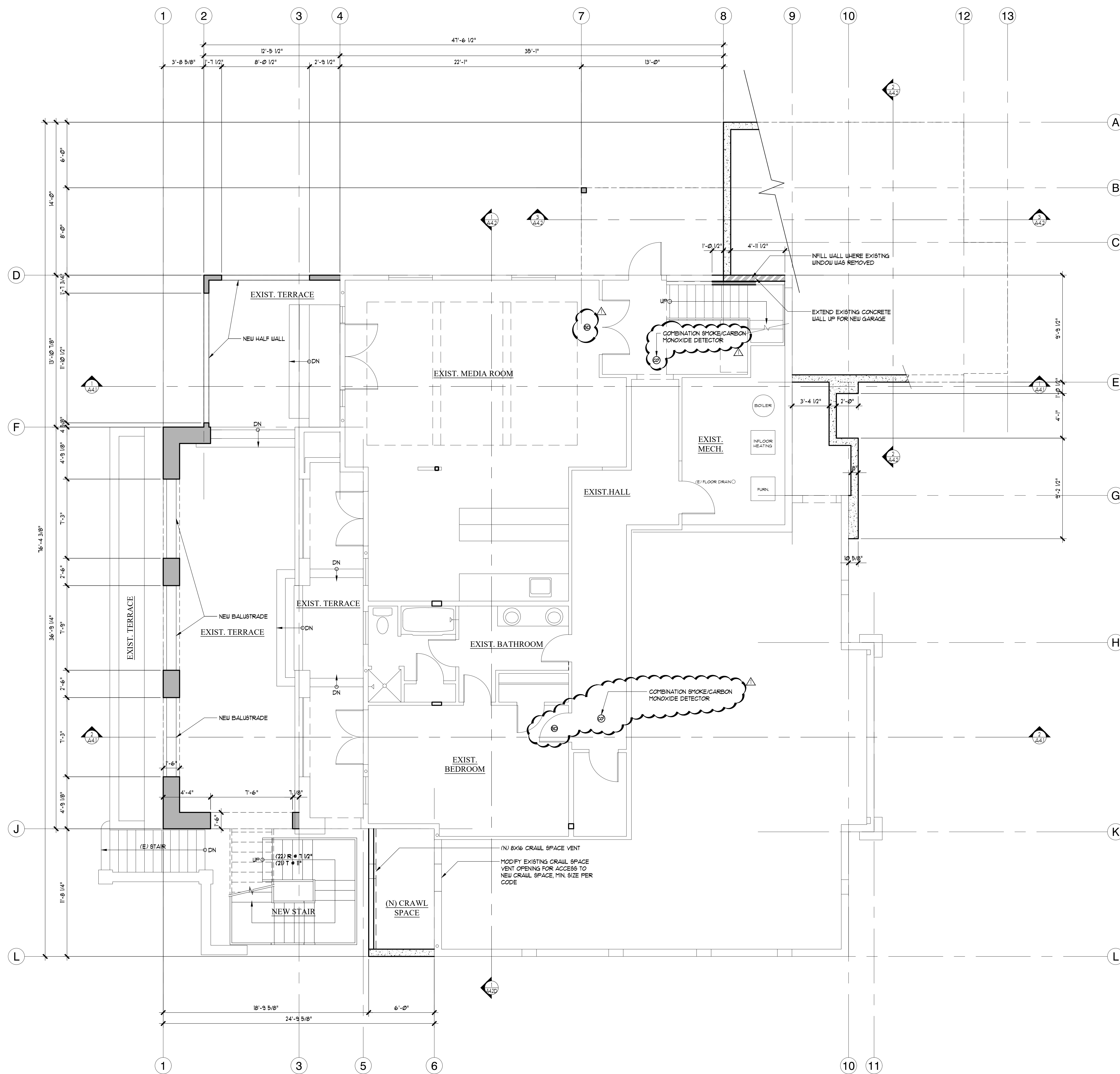


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DEMO BUILDING SECTIONS

A4.2D



GENERAL NOTES:

1. MECHANICAL:
ALL MECHANICAL EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:
A. IGNITION SOURCE OF MECHANICAL EQUIP. TO BE 18" ABOVE THE FINISHED FLOOR IRC M13013
B. HU TANK SHALL BE STRAPPED SECURELY TO WALL AT UPPER ONE-THIRD AND LOWER ONE-THIRD WHILE MAINTAINING AT LEAST 4" SPACE FROM CONTROLS. IRC M13012
C. HVAC SYSTEMS SHALL COMPLY WITH REQUIREMENTS FOR INTERMITTENT WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER SECTION M15013.3 OF THE 2018 IRC

2. INTERIOR STAIRS: BOTH INTERIOR STAIRS ARE TO REMAIN. THIS INCLUDES FINISHES, RISERS, TREADS, GUARDRAILS, HANDRAILS, ETC.

1 PROPOSED LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

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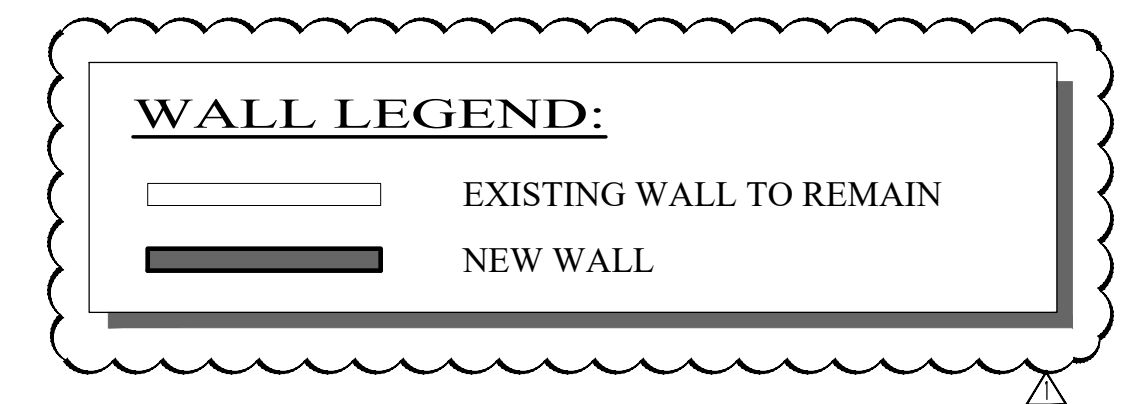
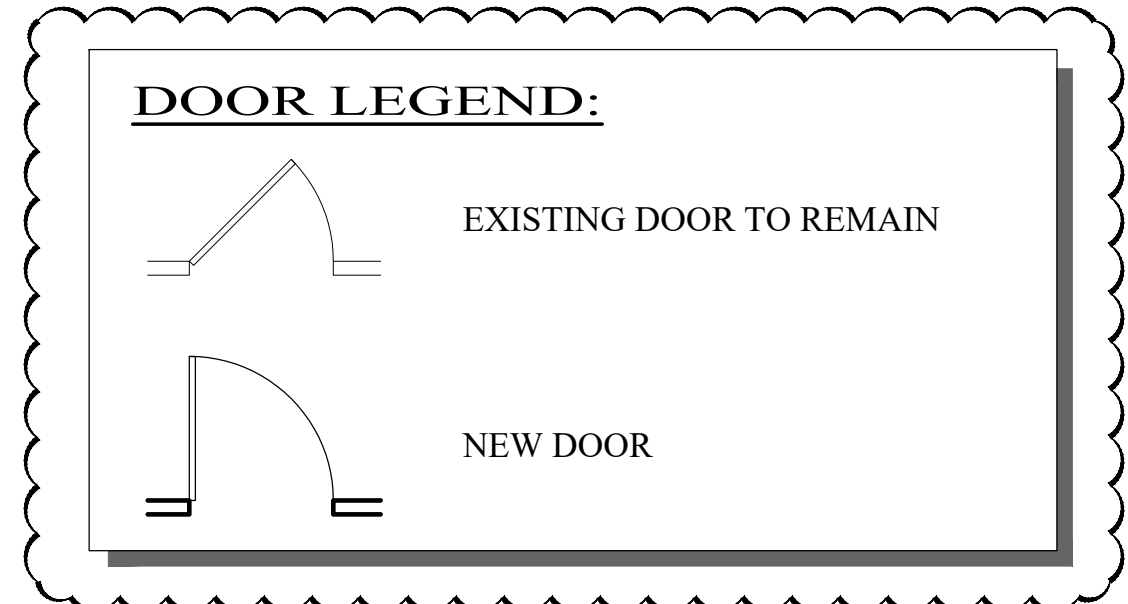
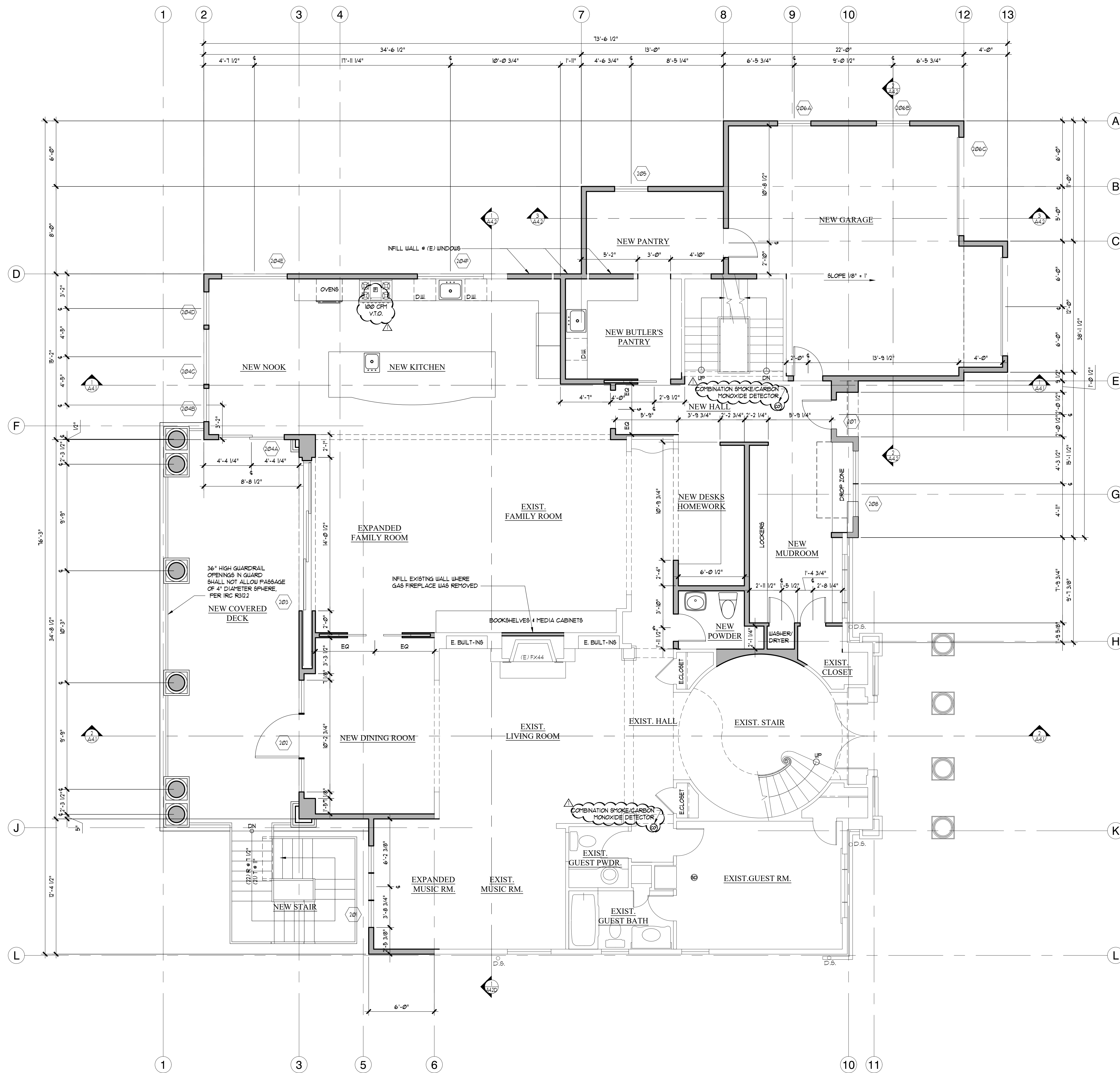
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PROPOSED LOWER FLOOR PLAN



GENERAL NOTES:

1. MECHANICAL:
ALL MECHANICAL EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:
A. IGNITION SOURCE OF MECHANICAL EQUIP. TO BE 18" ABOVE THE FINISHED FLOOR IRC M1301.3
B. HU TANK SHALL BE STRAPPED SECURELY TO WALL AT UPPER ONE-THIRD AND LOWER ONE-THIRD WHILE MAINTAINING AT LEAST 4" SPACE FROM CONTROLS. IRC M1301.2
C. HVAC SYSTEMS SHALL COMPLY WITH REQUIREMENTS FOR INTERMITTENT WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER SECTION M1501.3 OF THE 2018 IRC.

2. INTERIOR STAIRS: BOTH INTERIOR STAIRS ARE TO REMAIN. THIS INCLUDES FINISHES, RISERS, TREADS, GUARDRAILS, HANDRAILS, ETC.

1 PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

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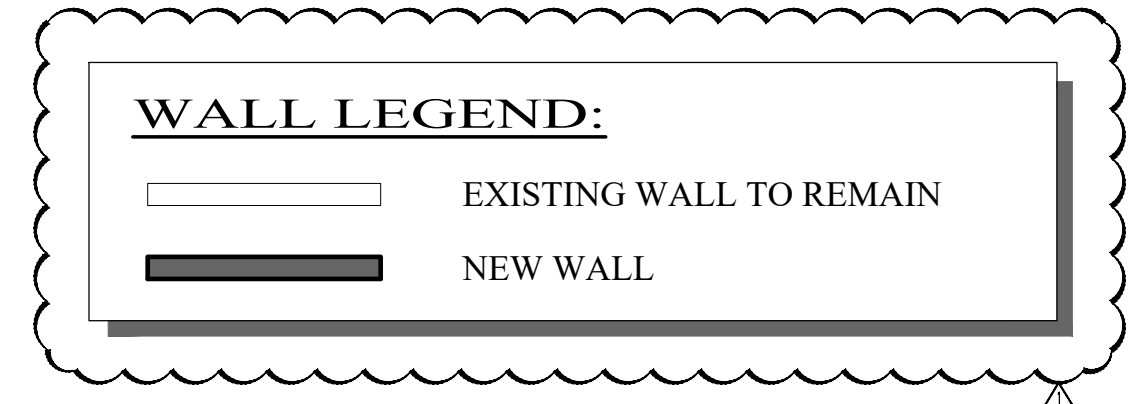
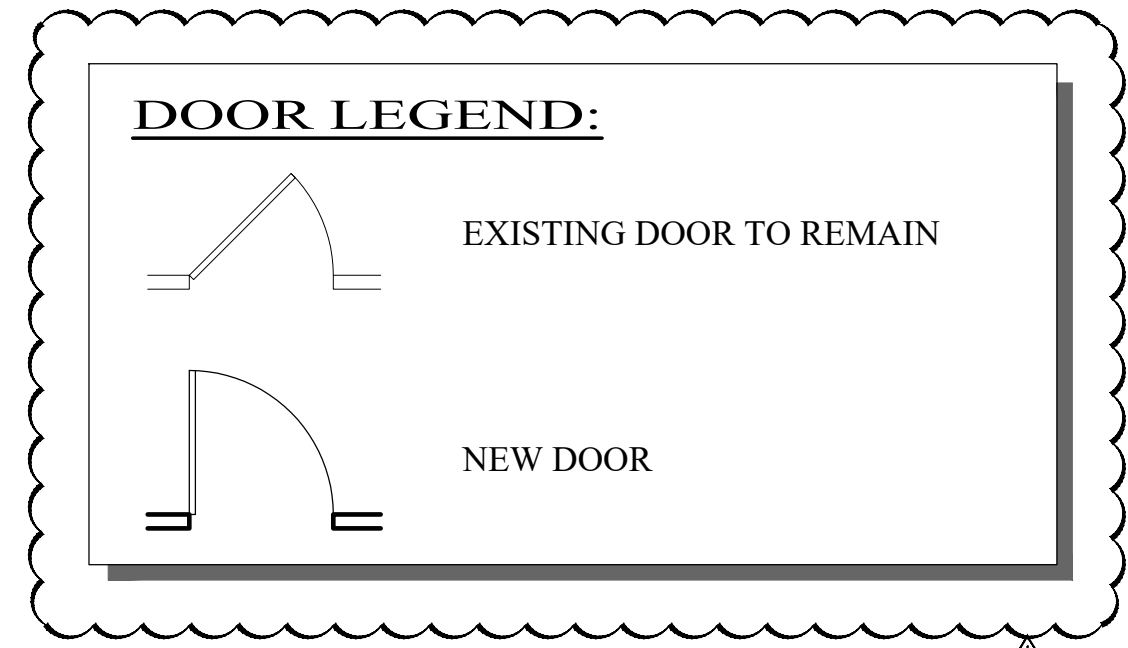
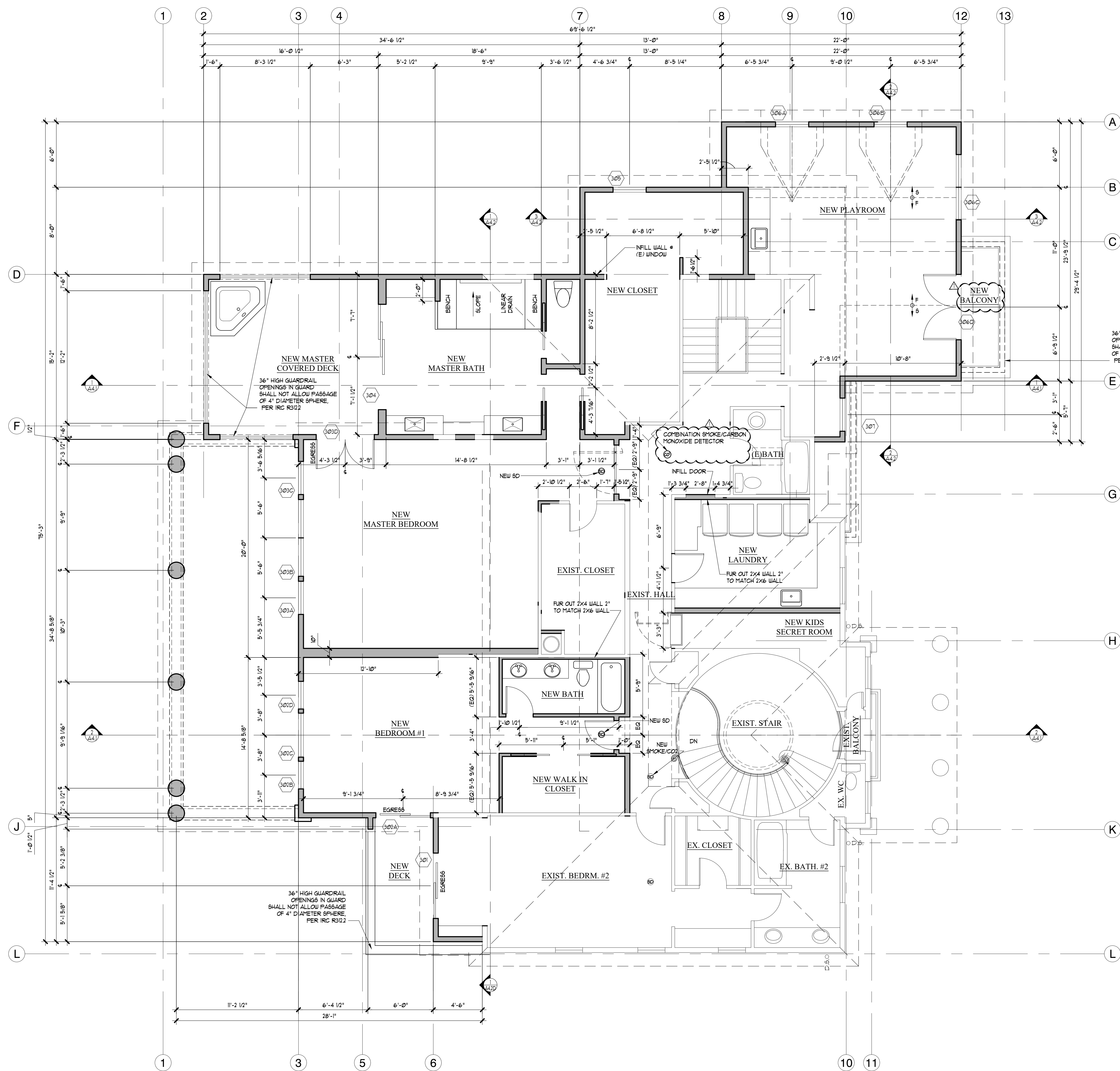
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PROPOSED MAIN FLOOR PLAN



- GENERAL NOTES:**
1. MECHANICAL:
- ALL MECHANICAL EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:
- A. IGNITION SOURCE OF MECHANICAL EQUIP. TO BE 18" ABOVE THE FINISHED FLOOR IRC M1501.3
 - B. HU TANK SHALL BE STRAPPED SECURELY TO WALL AT UPPER ONE-THIRD AND LOWER ONE-THIRD WHILE MAINTAINING AT LEAST 4" SPACE FROM CONTROLS. IRC M1501.2
 - C. HVAC SYSTEMS SHALL COMPLY WITH REQUIREMENTS FOR INTERMITTENT WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER SECTION M1501.3.5 OF THE 2018 IRC.
2. HOT TUB
- A. HOT TUB SHALL BE PROVIDED WITH A COVER THAT MEETS OR EXCEEDS ASTM F 1346 SPECIFICATIONS. (IRC 2017 AG 109.5)
 - B. ALL SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ANSI/APSP-1. (IRC 2017 AG 106)
3. INTERIOR STAIRS: BOTH INTERIOR STAIRS ARE TO REMAIN. THIS INCLUDES FINISHES, RISERS, TREADS, GUARDRAILS, HANDRAILS, ETC.

36" HIGH GUARDRAIL OPENINGS IN GUARD SHALL NOT ALLOW PASSAGE OF 4" DIAMETER SPHERE. PER IRC R312.2

1 PROPOSED UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

0 1 2 4 8 12 FT.

NORTH

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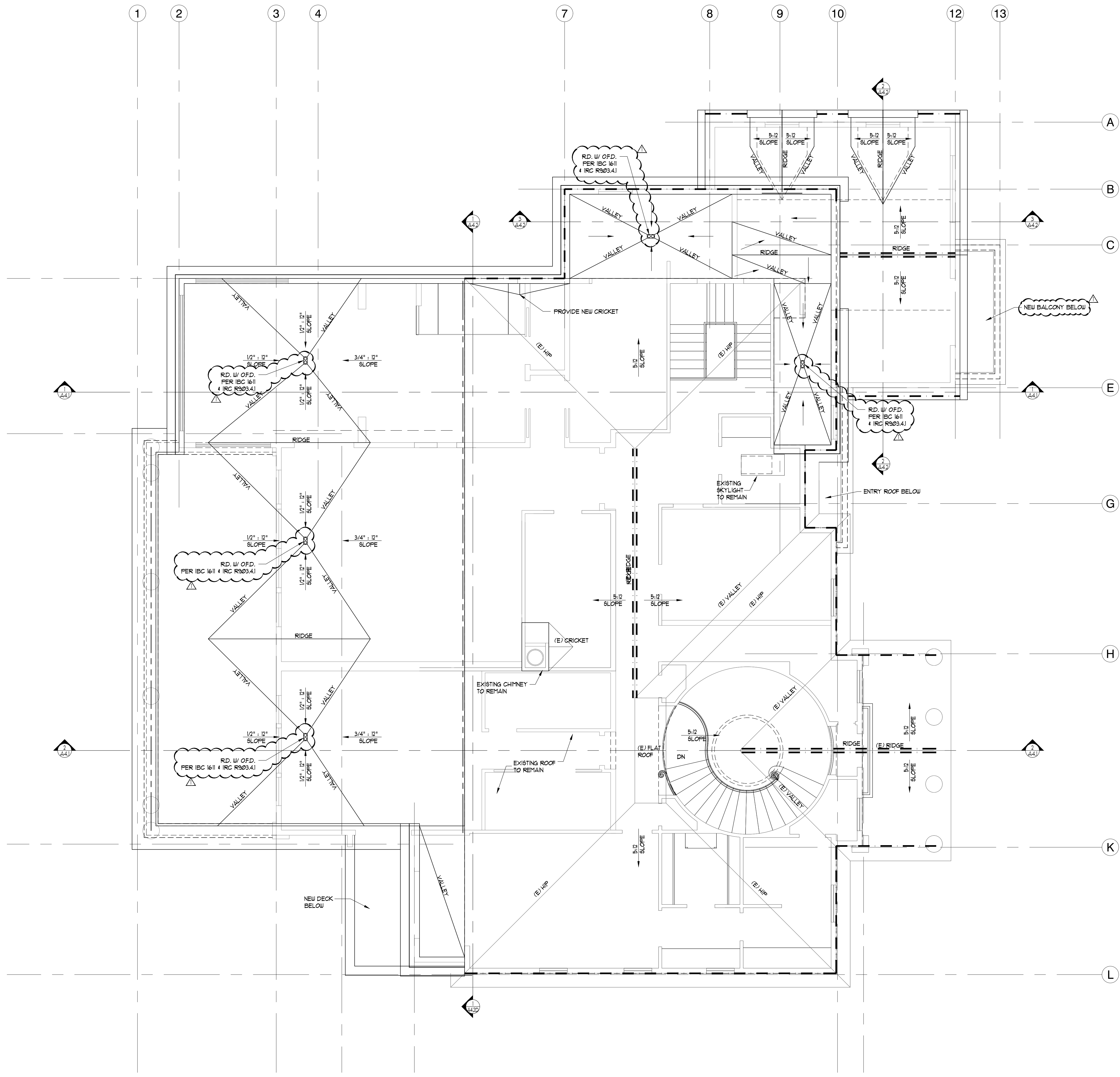


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PW: DKG
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PROPOSED UPPER FLOOR PLAN

A2.3



VENTILATION NOTES:

ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1 INCH OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/80 OF THE AREA OF THE SPACE VENTILATED.

OPENINGS FOR VENTILATION SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4 INCH IN DIMENSION.

ROOF VENT CALCULATIONS (ROOF A)

PITCHED ROOF AREA: 322 SF
 REQUIRED VENTING AREA: 1/300 (322) = 1.07 SF VENT
 TOTAL VENTING PROVIDED: 1.88 SF

ACTUAL VENTING AREA:

RIDGE VENTING: (40%-50% REQUIRED, 3'-0" ABOVE EAVE) = 0.43 SF MIN @ 54 SF MAX VENTING PRODUCT, COR-A-VENT V-300 = 13.50 IN. NFVA/LINEAL FOOT (13.5/44 = 0.3075 SQ. FT.)
 5'-0" X 0.9375 CONTINUOUS RIDGE VENT = 0.41 SF

EAVE VENTING: (50% REQUIRED AT EAVE) = 0.54 SF MIN VENTING PRODUCT, COR-A-VENT S-400 = 10 SQ. IN. NFVA/LINEAL FOOT (10/44 = 0.2273 SQ. FT.)
 20'-4" X 0.6944 CONTINUOUS RIDGE VENT = 1.41 SF

ROOF VENTING NOTES:

1) --- LINE OF VENTING
 2) INSTALL CONTINUOUS RIDGE VENTS.

ROOF VENT CALCULATIONS (ROOF B)

PITCHED ROOF AREA: 3831 SF
 REQUIRED VENTING AREA: 1/300 (3831) = 12.77 SF VENT
 TOTAL VENTING PROVIDED: 15.35 SF

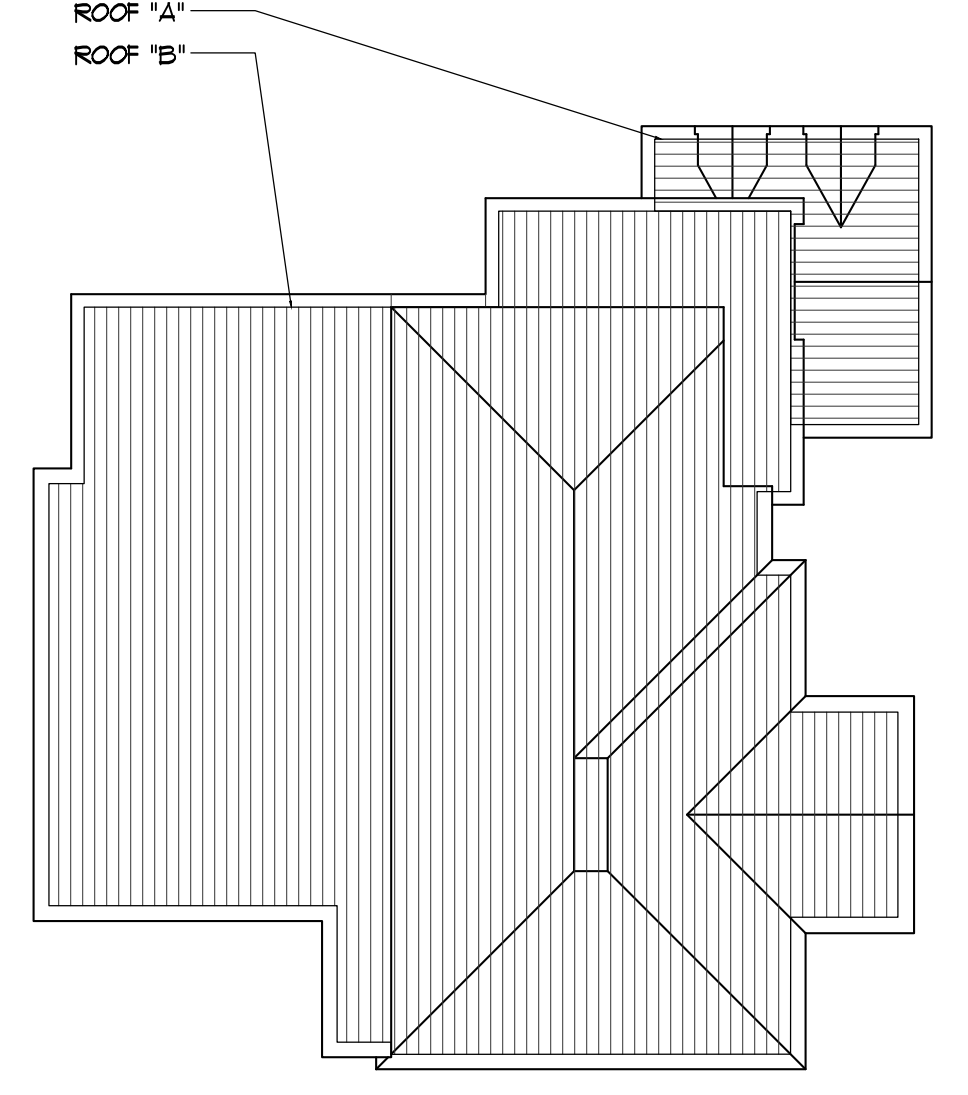
ACTUAL VENTING AREA:

RIDGE VENTING: (40%-50% REQUIRED, 3'-0" ABOVE EAVE) = 5.11 SF MIN @ 39 SF MAX VENTING PRODUCT, COR-A-VENT V-600 (ON BOTH SIDES OF RIDGE) = 20 SQ. IN. NFVA/LINEAL FOOT (20/44 = 0.4545 SQ. FT.)
 39'-9" X 0.3889 CONTINUOUS RIDGE VENT = 5.52 SF

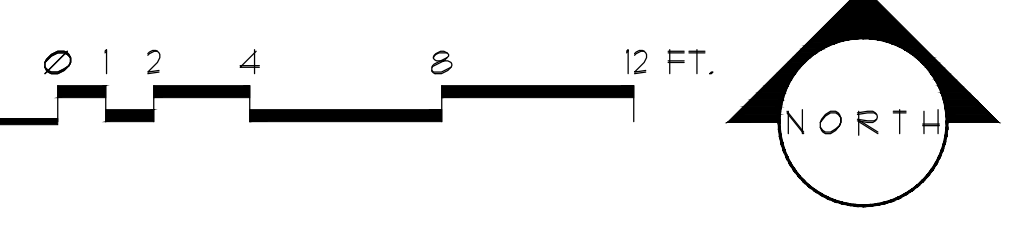
EAVE VENTING: (50% REQUIRED AT EAVE) = 6.39 SF MIN VENTING PRODUCT, COR-A-VENT S-400 = 10 SQ. IN. NFVA/LINEAL FOOT (10/44 = 0.2273 SQ. FT.)
 141'-6" X 0.6944 CONTINUOUS RIDGE VENT = 9.83 SF

ROOF VENTING NOTES:

1) --- LINE OF VENTING
 2) INSTALL CONTINUOUS RIDGE VENTS.



1 ROOF PLAN
 SCALE: 1/4" = 1'-0"

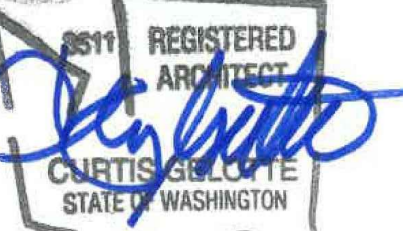


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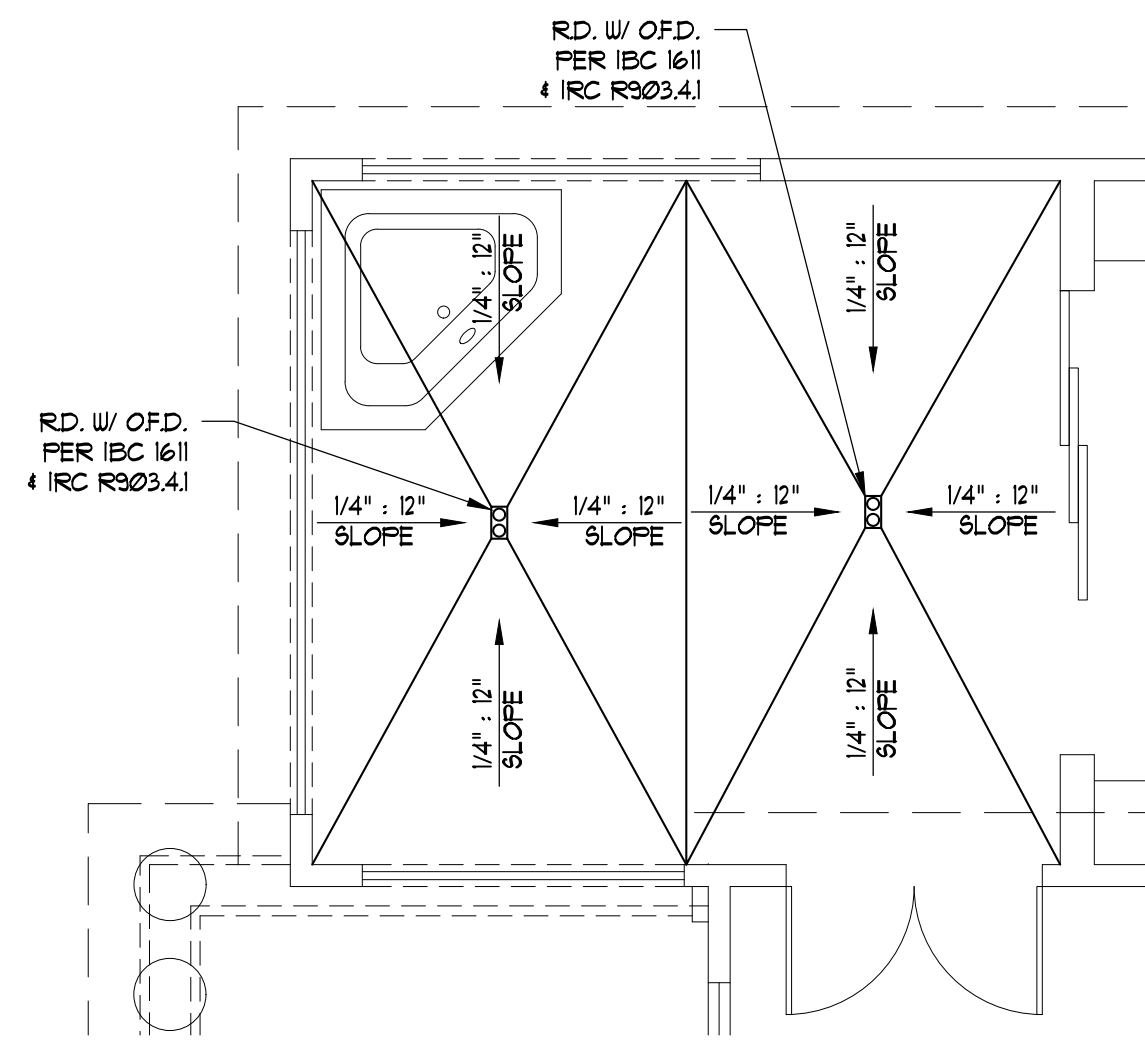


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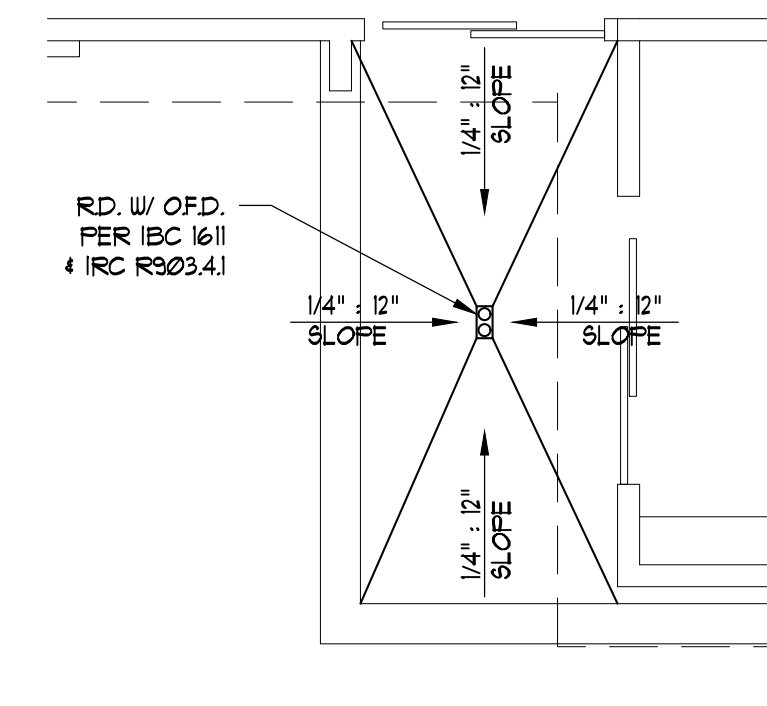
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 PM: DKG
 FILE: A2.4.dwg

PROPOSED ROOF PLAN

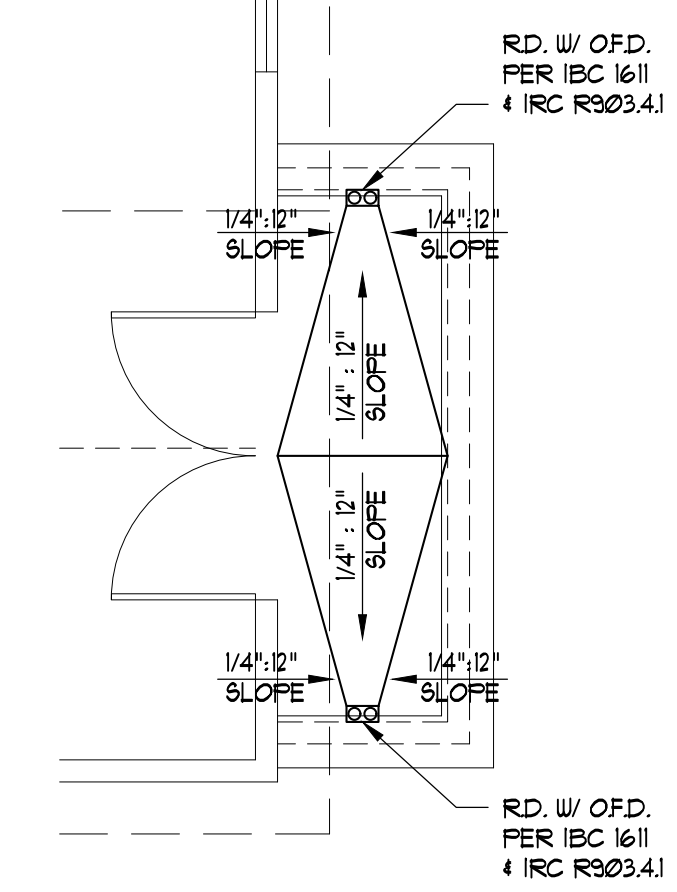
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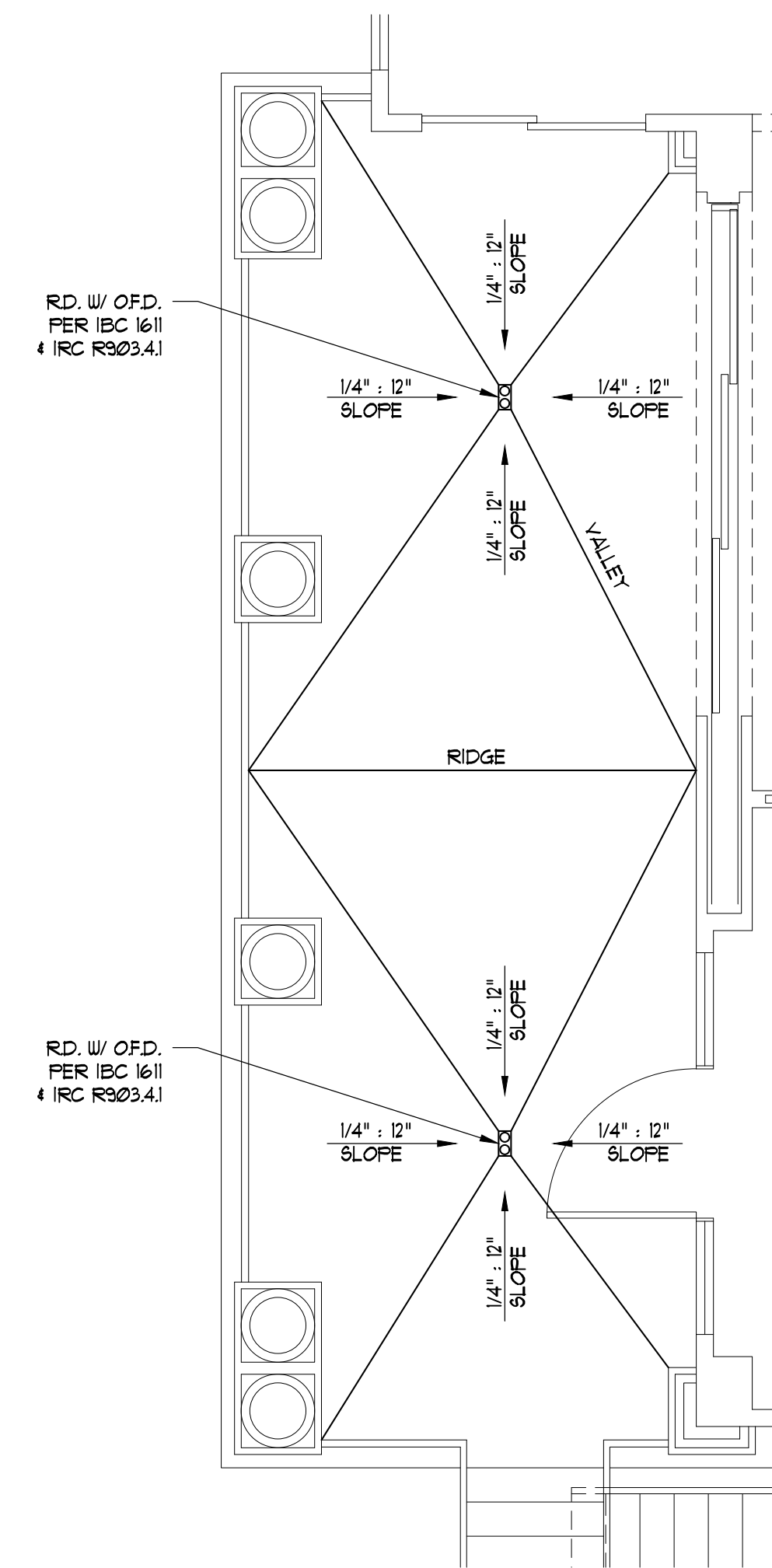
1 UPPER FLOOR COVERED DECK DRAINAGE PLAN
SCALE: 1/4" = 1'-0"



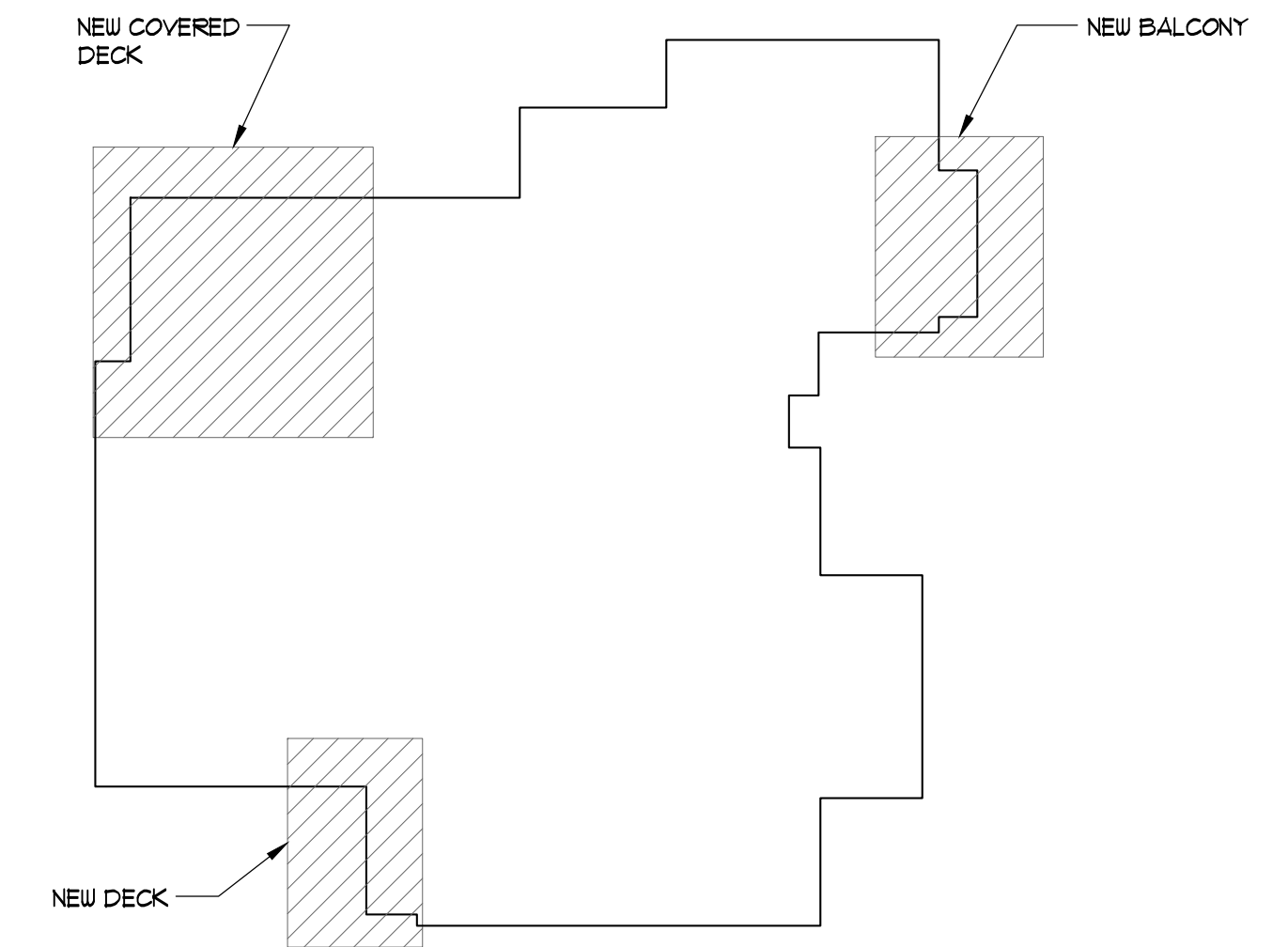
2 UPPER FLOOR DECK DRAINAGE PLAN
SCALE: 1/4" = 1'-0"



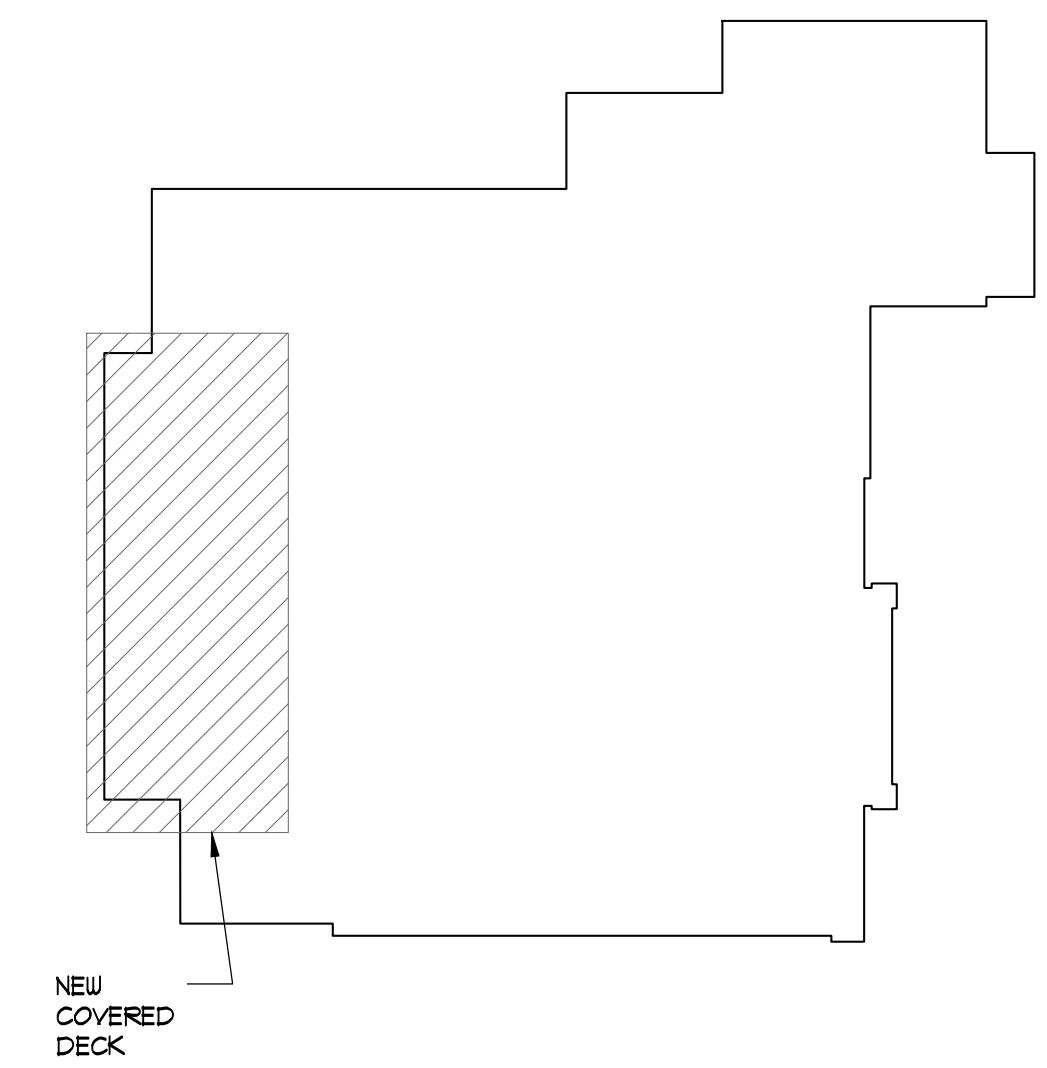
3 UPPER FLOOR BALCONY DRAINAGE PLAN
SCALE: 1/4" = 1'-0"



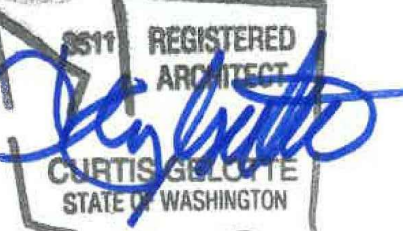
4 MAIN FLOOR COVERED DECK DRAINAGE PLAN
SCALE: 1/4" = 1'-0"



UPPER FLOOR KEYPLAN



MAIN FLOOR KEY PLAN

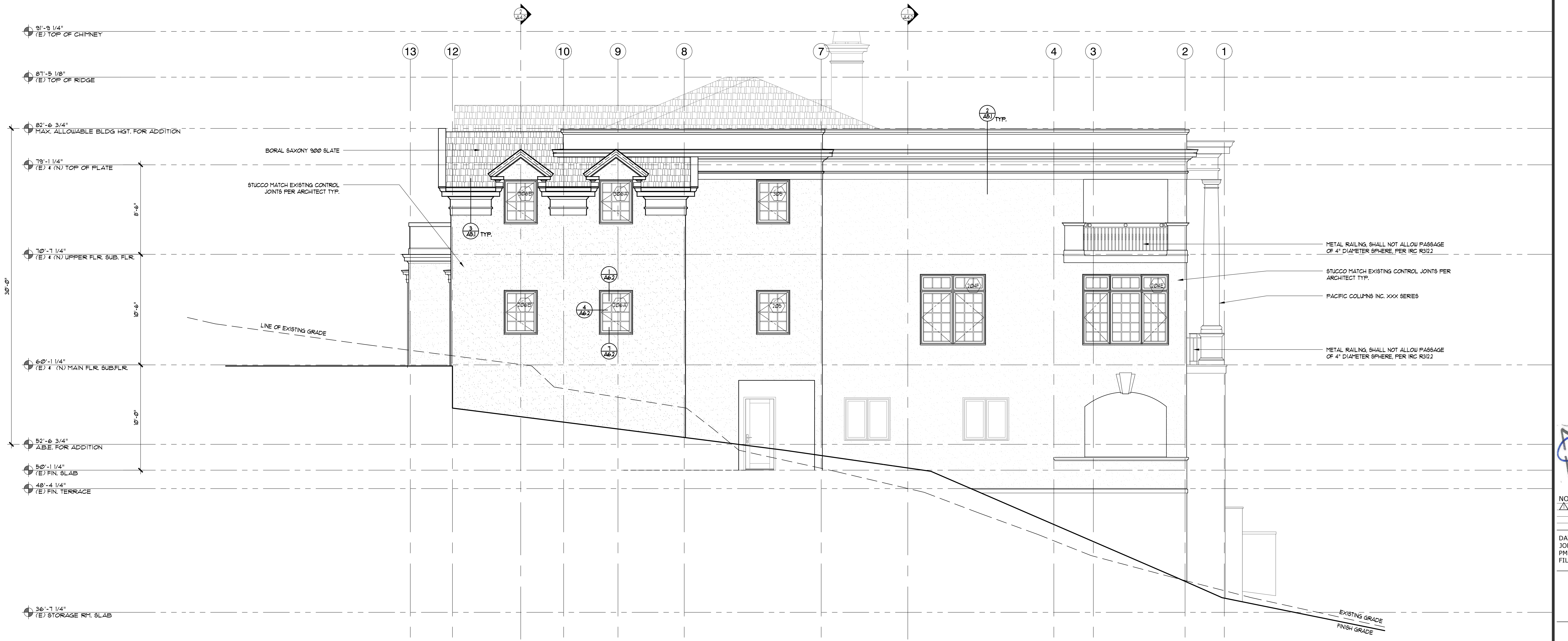


NO.	DATE	REVISION
Δ	10/30/18	REVISION 1
	07/18/17	PERMIT SET

DATE: 04/23/2018
JOB NUMBER: 1625
PW: DKG
FILE:



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



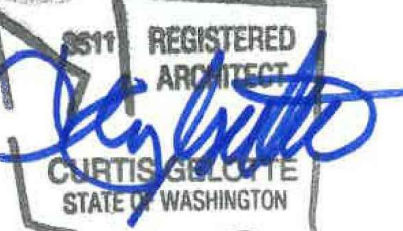
2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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NO.	DATE	REVISION
1	10/30/18	REVISION 1
2	07/18/17	PERMIT SET

DATE: 04/23/2018
JOB NUMBER: 1625
PW: DKG
FILE: A3.1.dwg

PROPOSED
EXTERIOR
ELEVATIONS

A3.1



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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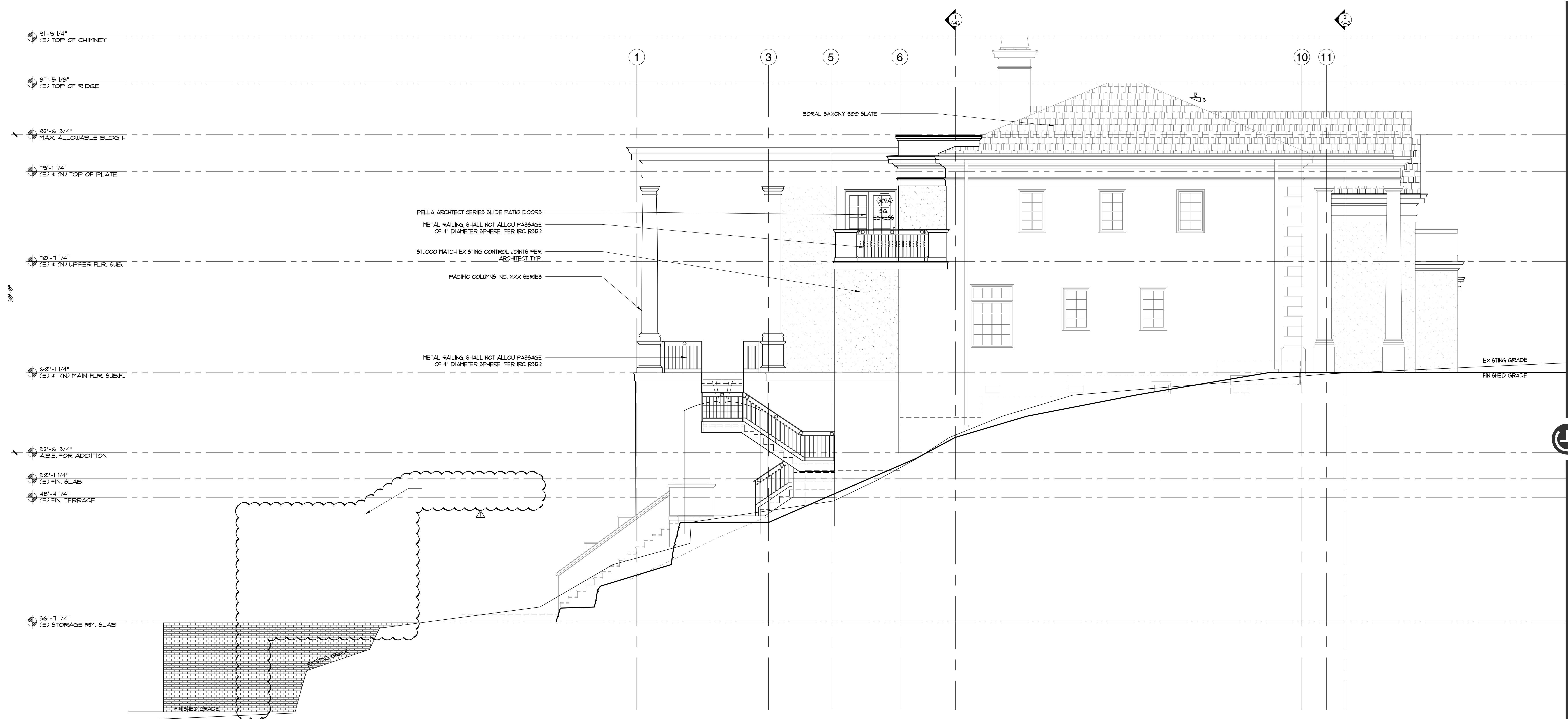


NO.	DATE	REVISION
1	10/30/18	REVISION 1
2	07/18/17	PERMIT SET

DATE: 04/23/2018
JOB NUMBER: 1625
PM: DKG
FILE: A3.1.dwg

PROPOSED
EXTERIOR
ELEVATIONS

A3.2



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

- 91'-3 1/4"
(E) TOP OF CHIMNEY
- 81'-5 1/8"
(E) TOP OF RIDGE
- 82'-6 3/4"
MAX. ALLOWABLE BLDG F
- 79'-1 1/4"
(E) 4 (N) TOP OF PLATE
- 70'-1 1/4"
(E) 4 (N) UPPER FLR. SUB.F.
- 60'-1 1/4"
(E) 4 (N) MAIN FLR. SUB.F.
- 52'-6 3/4"
A.B.E. FOR ADDITION
- 50'-1 1/4"
(E) FIN. SLAB
- 48'-4 1/4"
(E) FIN. TERRACE
- 36'-1 1/4"
(E) STORAGE RM. SLAB

PELLA ARCHTECT SERIES SLIDE PATIO DOORS
METAL RAILING, SHALL NOT ALLOW PASSAGE
OF 4" DIAMETER SPHERE, PER IRC R302.2

STUCCO MATCH EXISTING CONTROL JOINTS PER
ARCHTECT TYP.

PACIFIC COLUMNS INC. XXX SERIES

METAL RAILING, SHALL NOT ALLOW PASSAGE
OF 4" DIAMETER SPHERE, PER IRC R302.2

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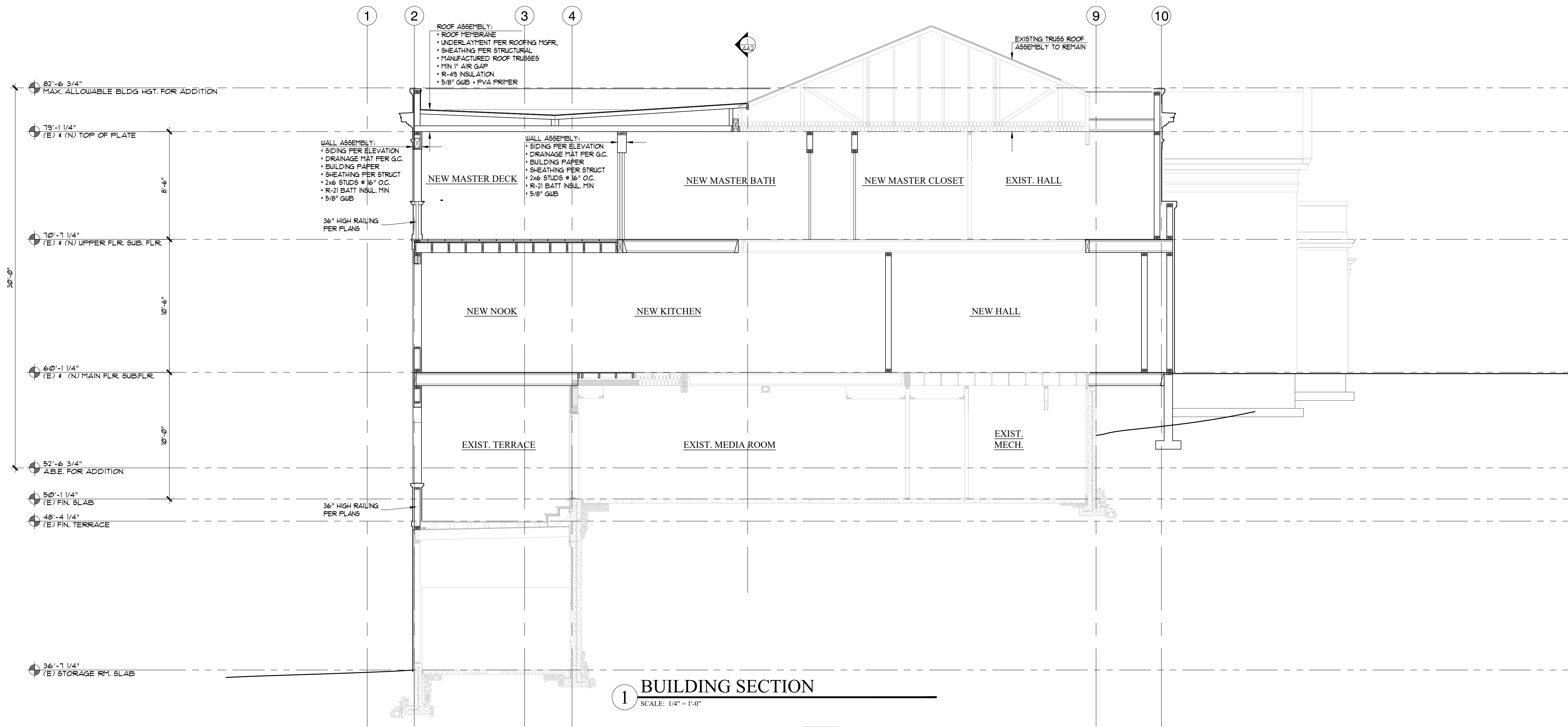


NO.	DATE	REVISION
1	10/30/18	REVISION 1
	07/18/17	PERMIT SET

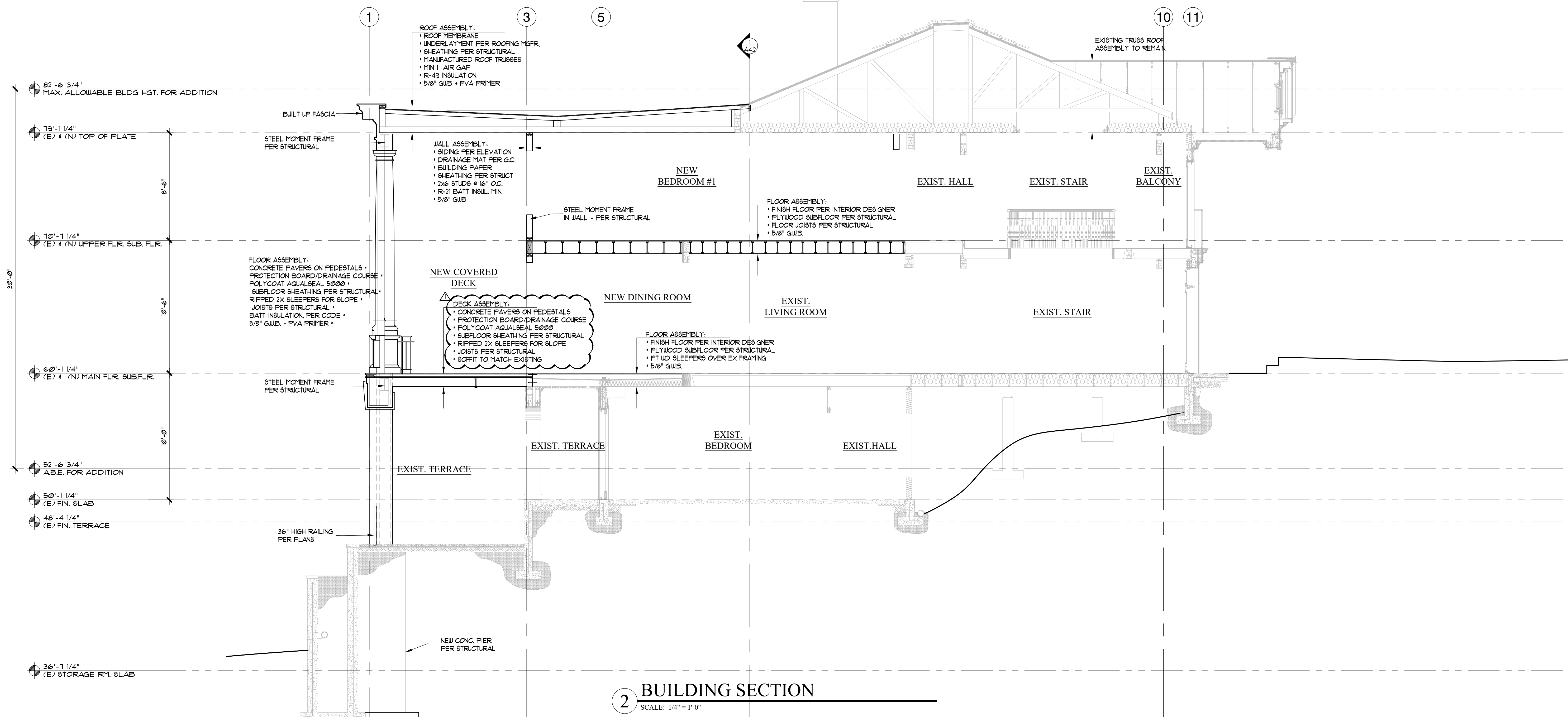
DATE: 04/23/2018
JOB NUMBER: 1625
PW: DKG
FILE: A3.1.dwg

PROPOSED
EXTERIOR
ELEVATIONS

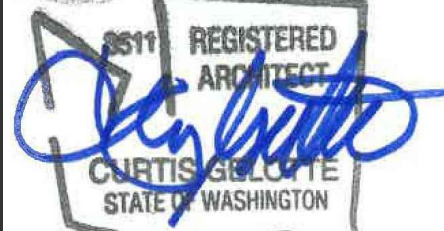
A3.3



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

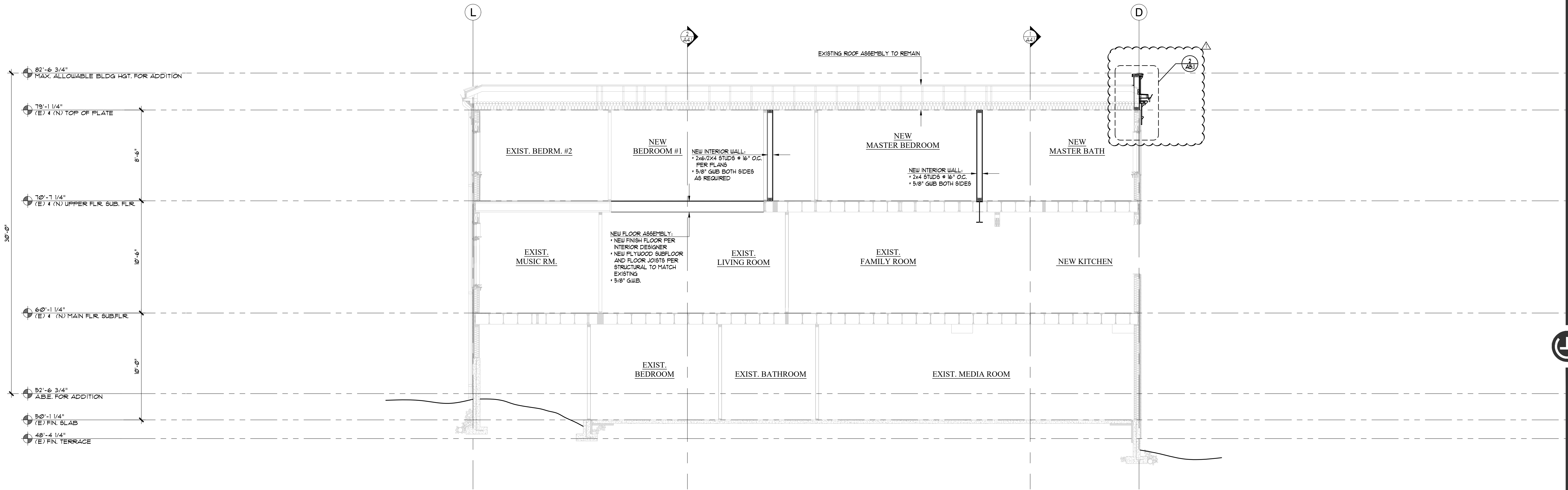


NO.	DATE	REVISION
1	10/30/18	REVISION 1
2	07/18/17	PERMIT SET

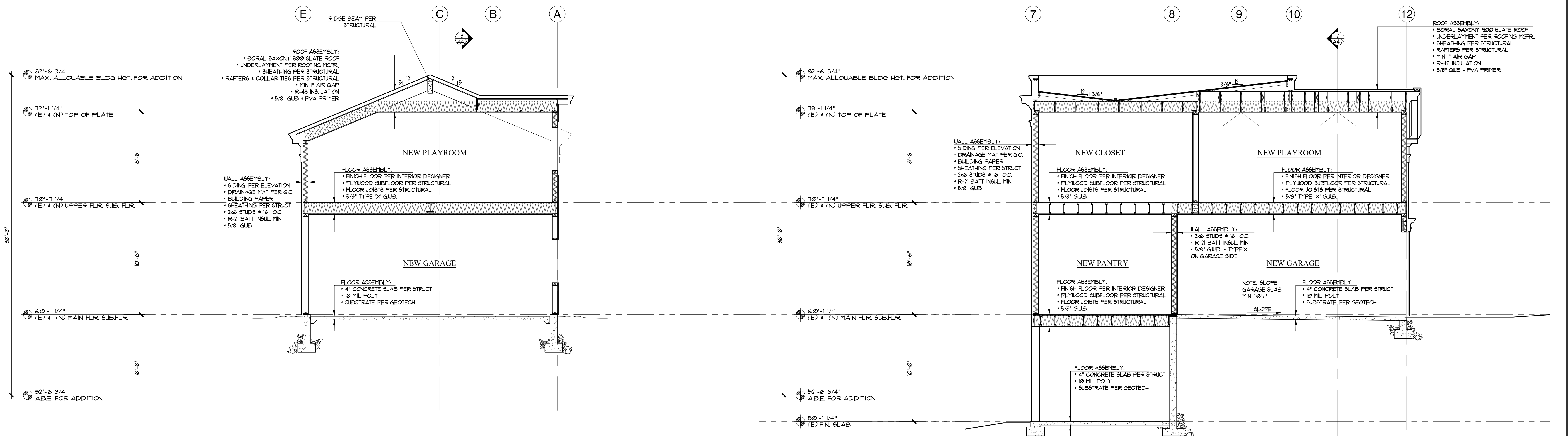
DATE: 04/23/2018
JOB NUMBER: 1625
P/W: DKG
FILE: A4.1.dwg

PROPOSED
BUILDING
SECTIONS

A4.1



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

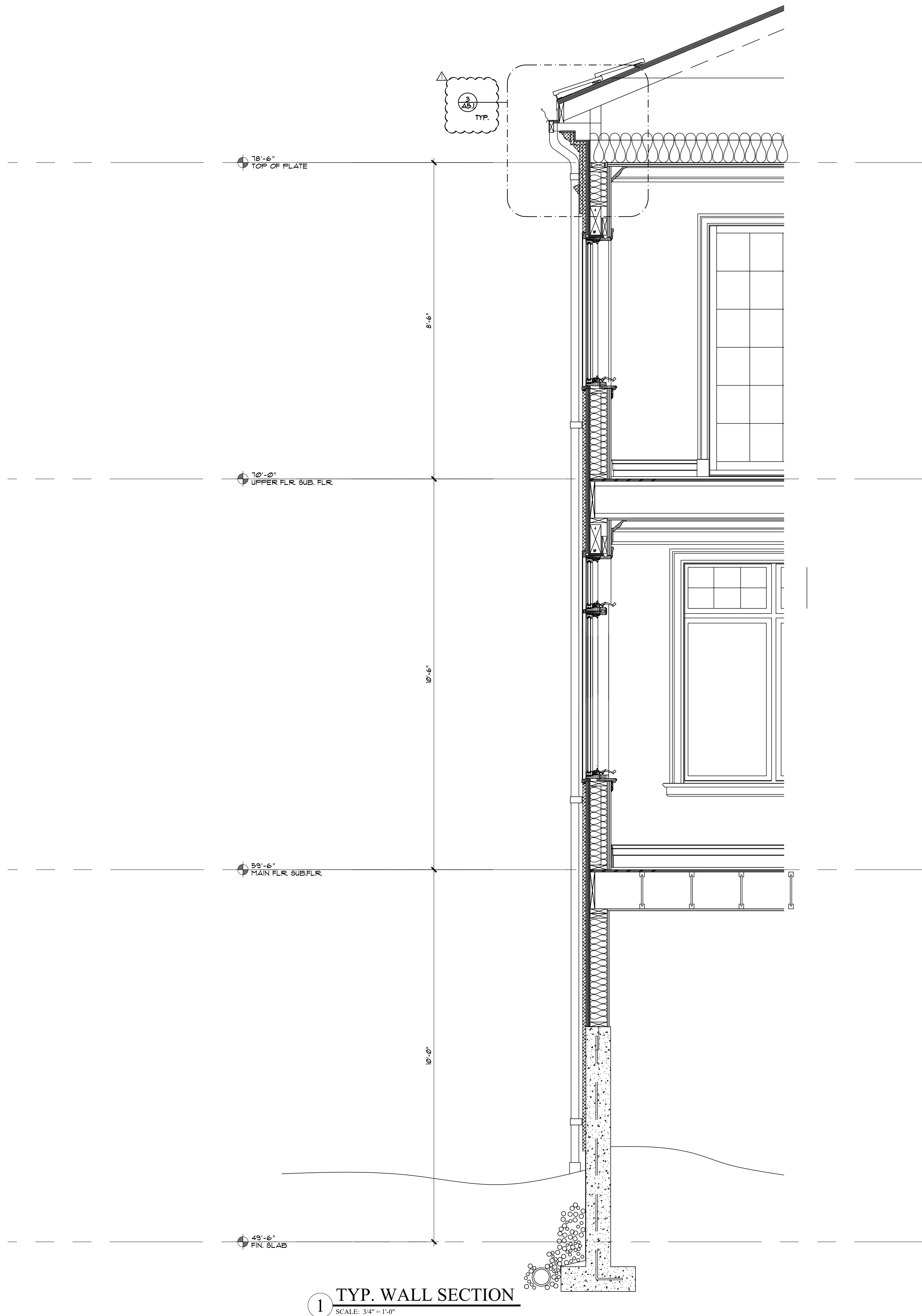
3 BUILDING SECTION
SCALE: 1/4" = 1'-0"



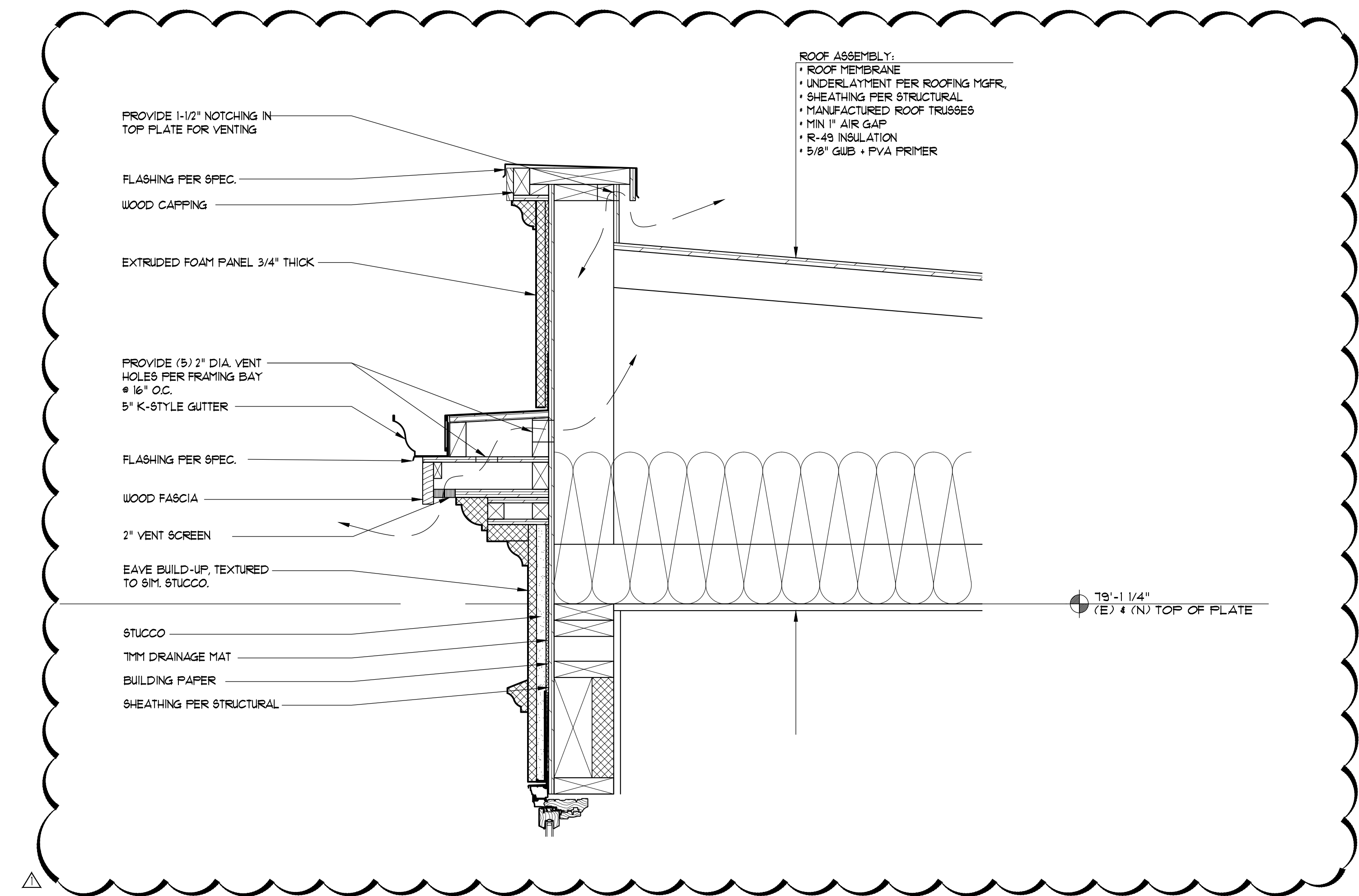
NO.	DATE	REVISION
1	10/30/18	REVISION 1
2	07/18/17	PERMIT SET

DATE: 04/23/2018
JOB NUMBER: 1625
PW: DKG
FILE: A4.1.dwg

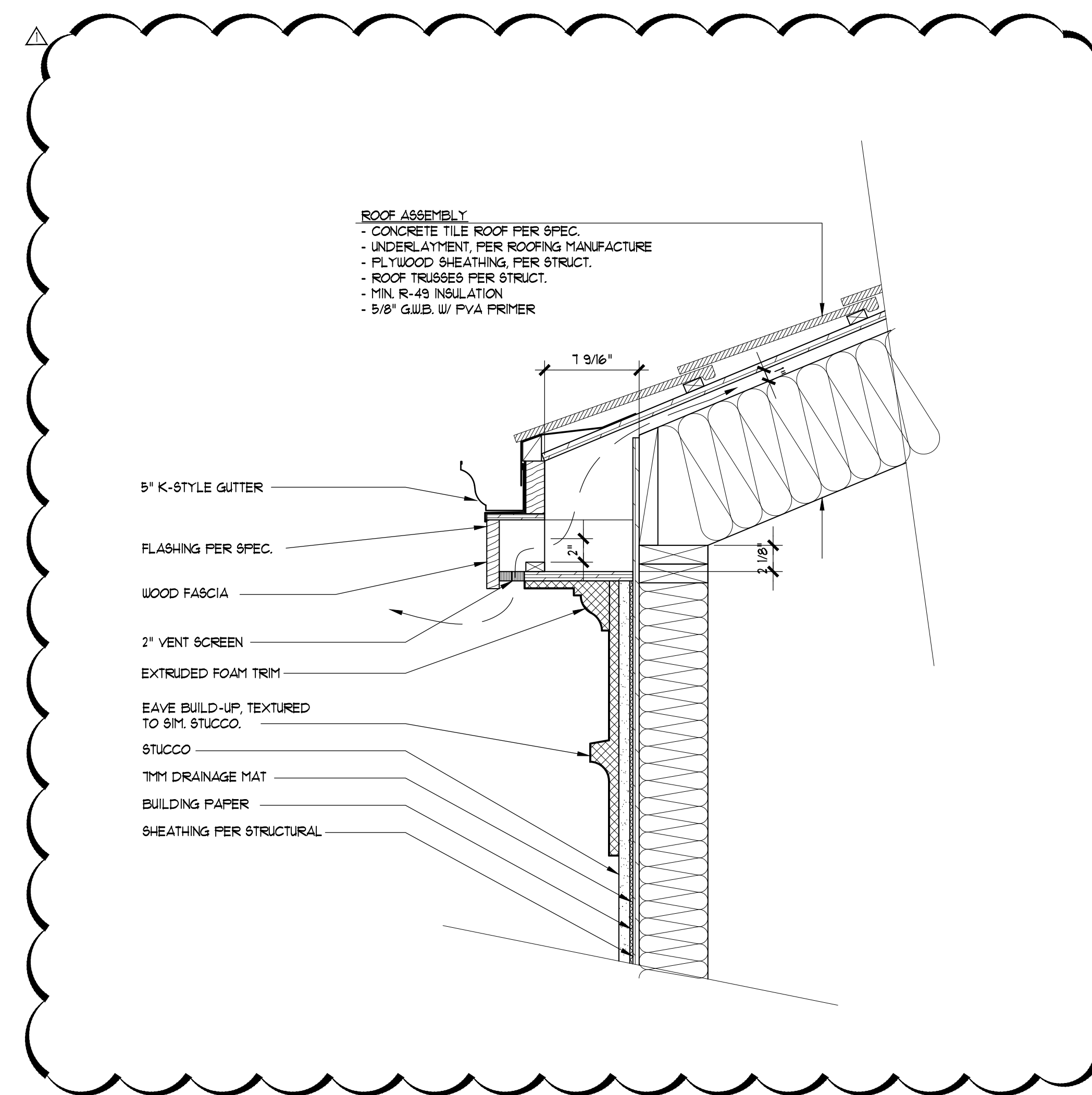
PROPOSED
BUILDING
SECTIONS



1 TYP. WALL SECTION
SCALE: 3/4" = 1'-0"



2 TYP. PARAPET DETAIL
SCALE: 1 1/2" = 1'-0"



3 TYP. EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



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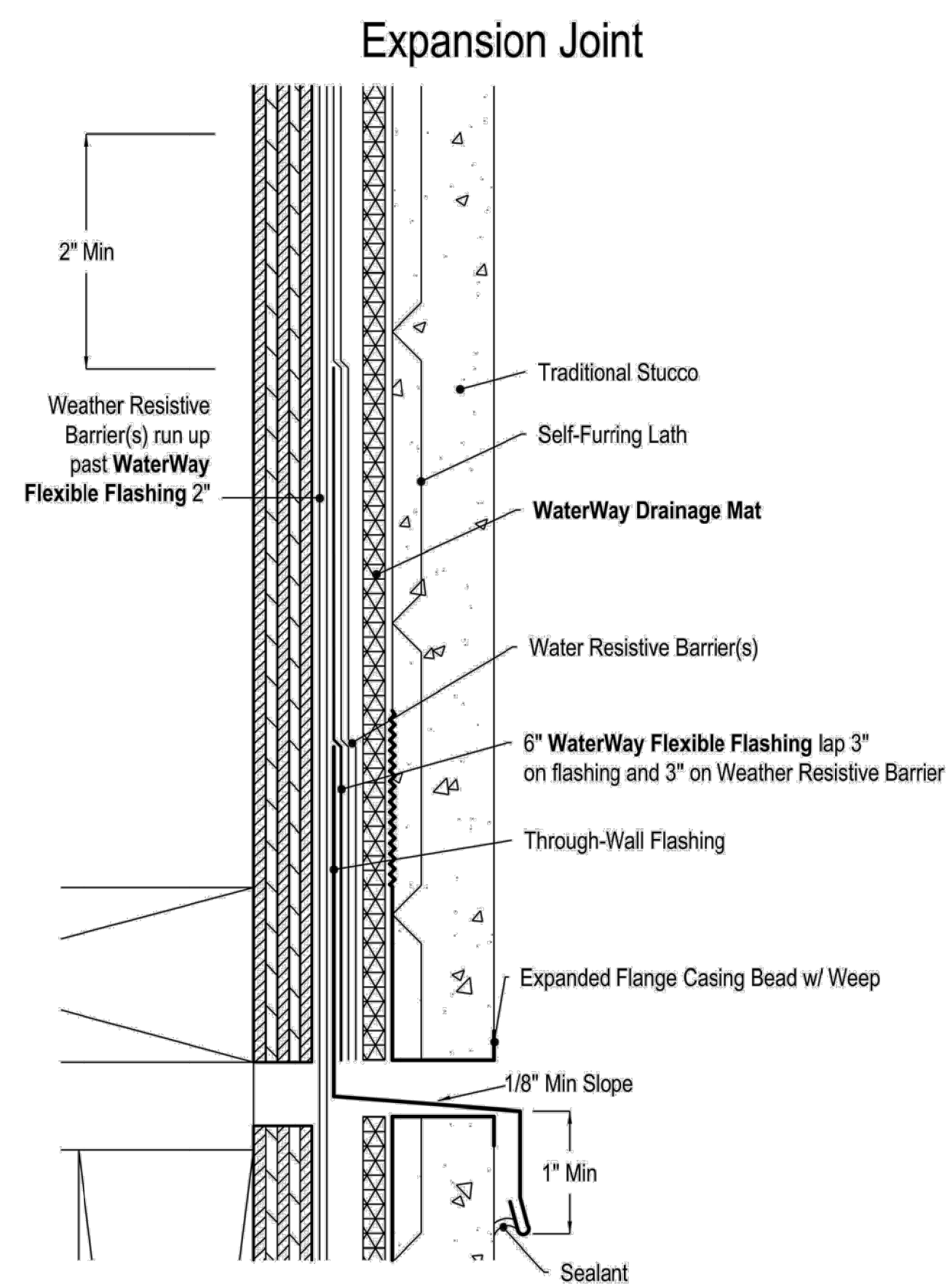
NO.	DATE	REVISION
06/23/17		PERMIT SET

DATE: 06/23/2017
JOB NUMBER: 1625
PW: DKG
FILE: A5.1.dwg

EXTERIOR
DETAILS

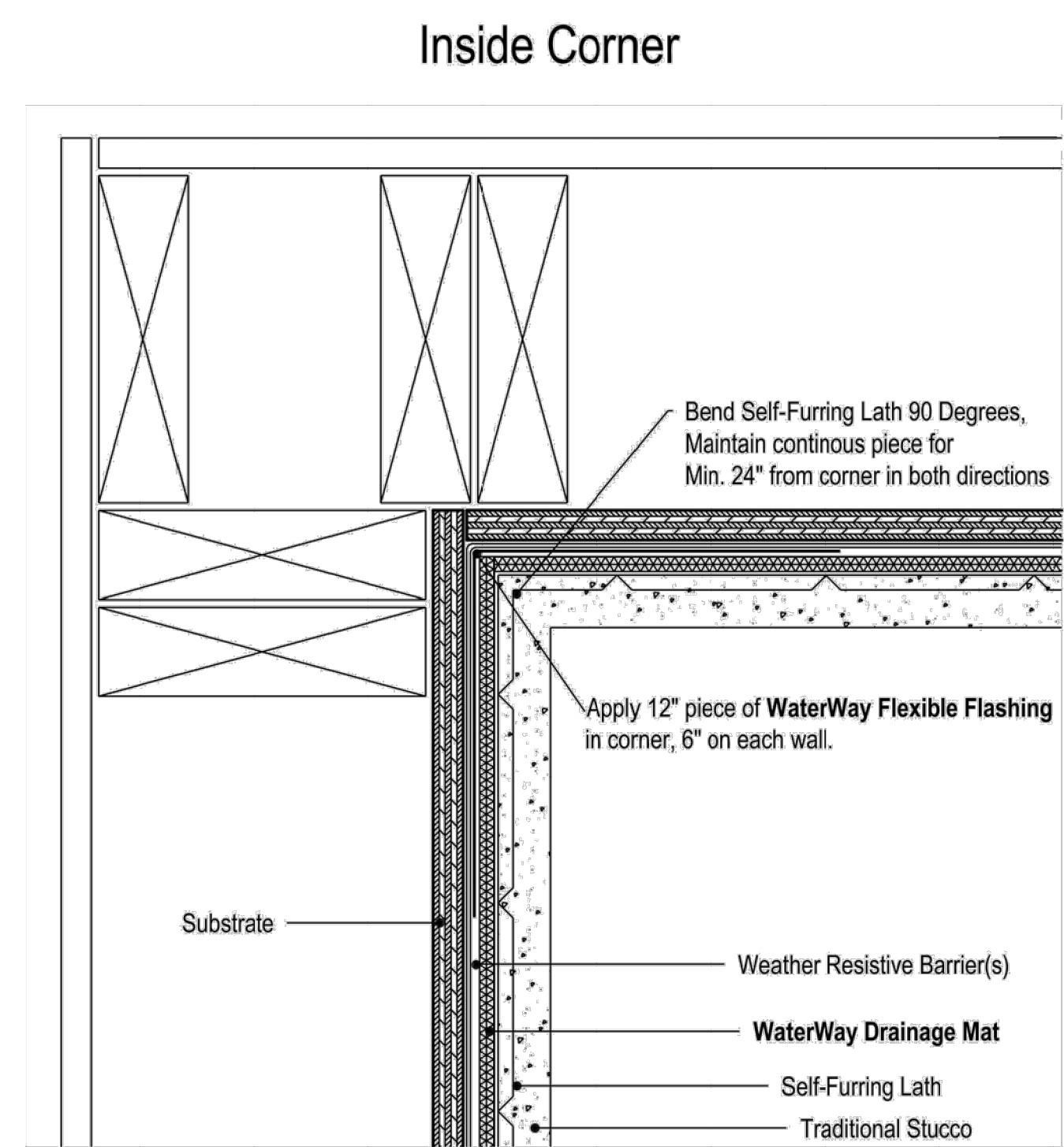
A5.1

PERMIT SET - 06. 23. 2017



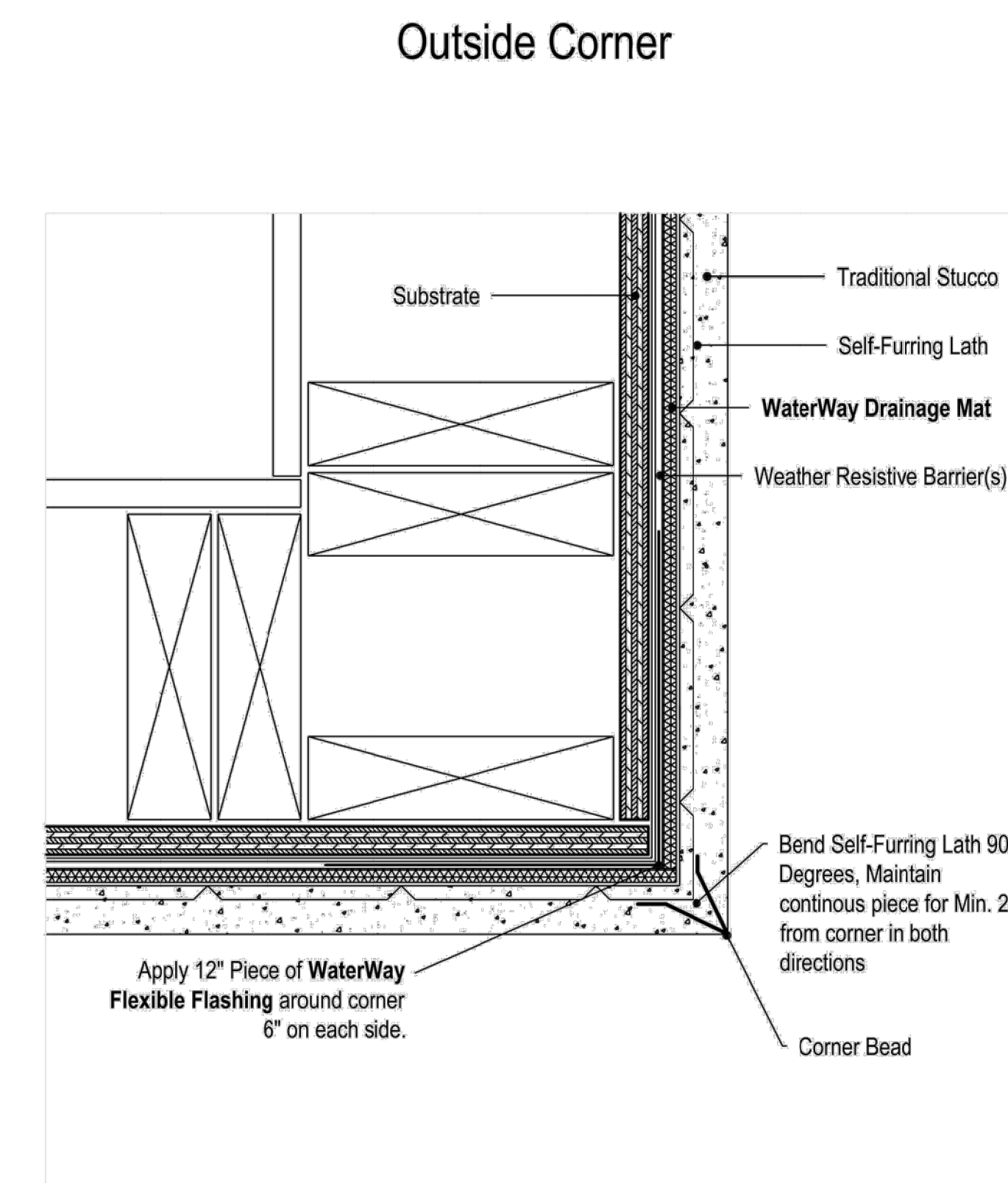
Flashing 2.0

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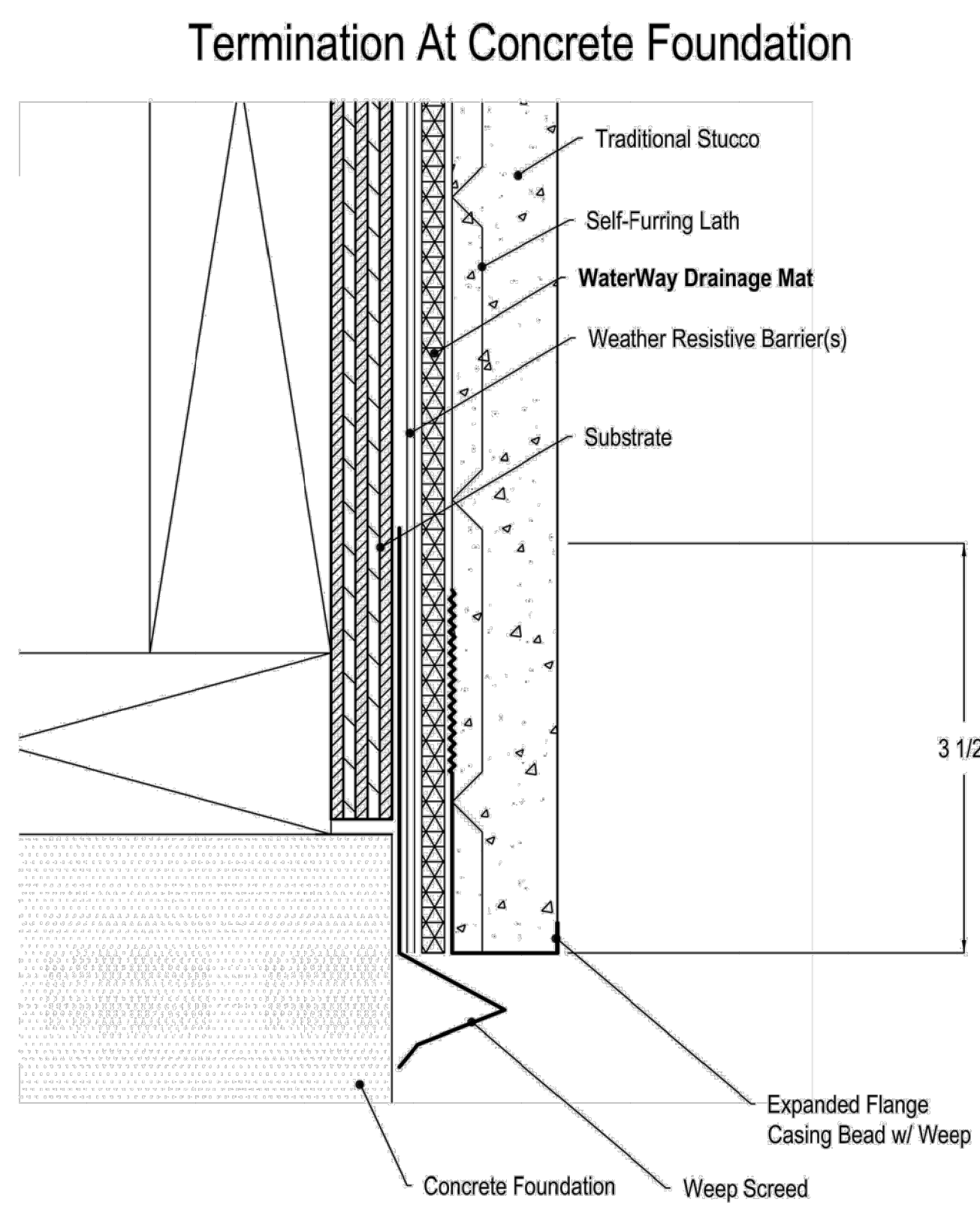
Corner 1.0

STUC-O-FLEX
INTERNATIONAL, INC.
800.305.1045 www.stucoflex.com



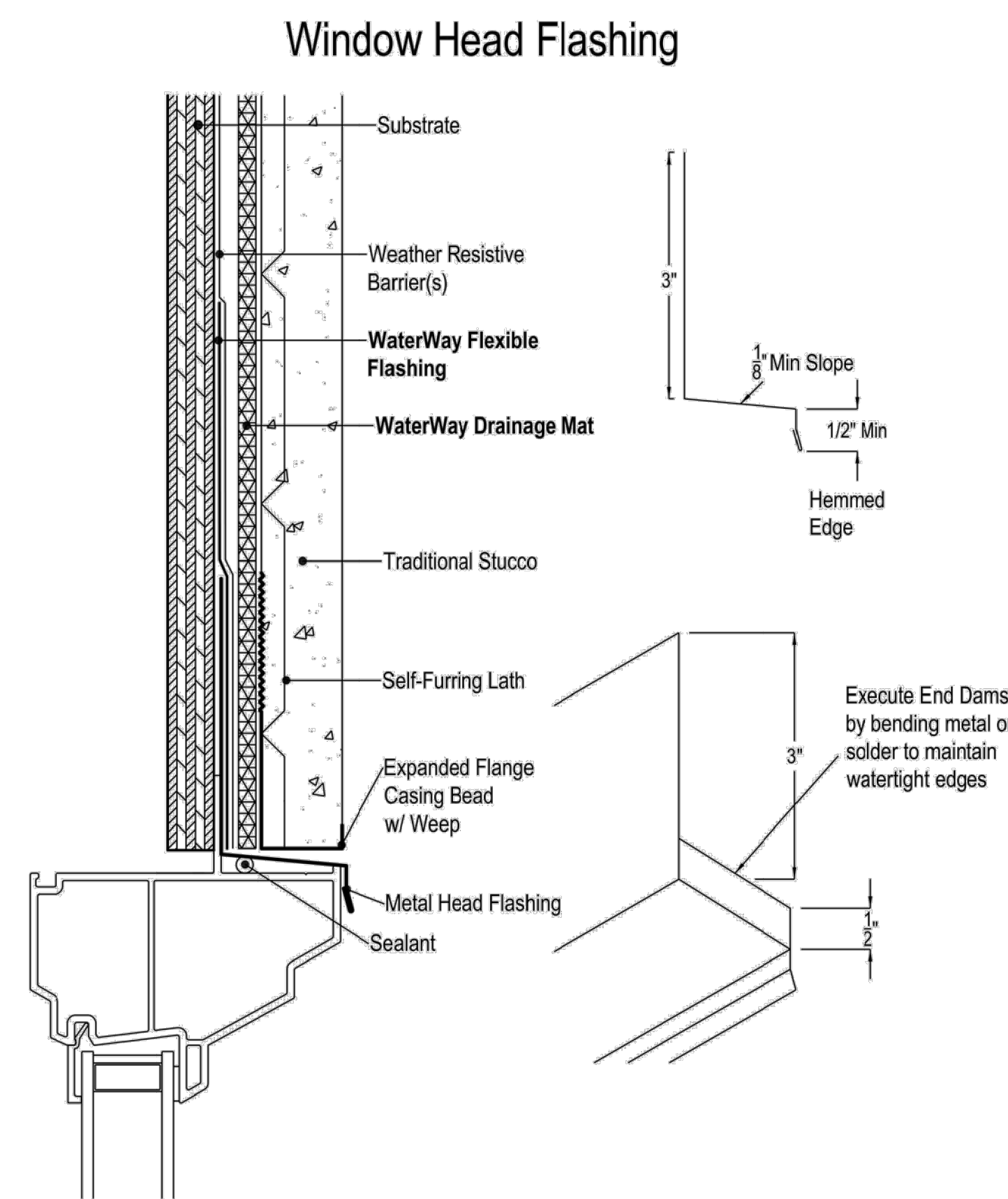
Corner 2.0

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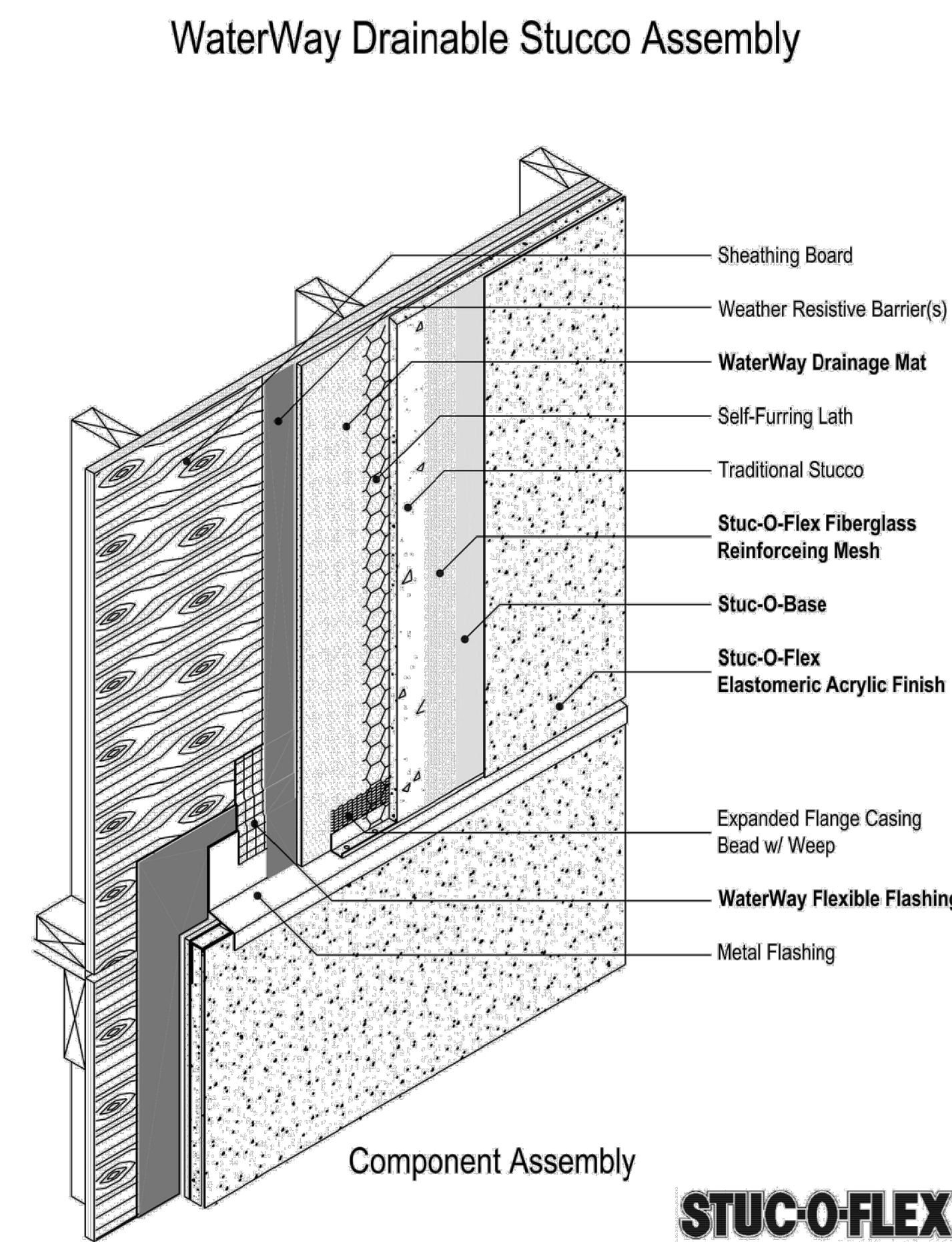
Terminations 1.1

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Flashing 1.0

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WDSA 1.0

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NO.	DATE	REVISION
06/23/17		PERMIT SET

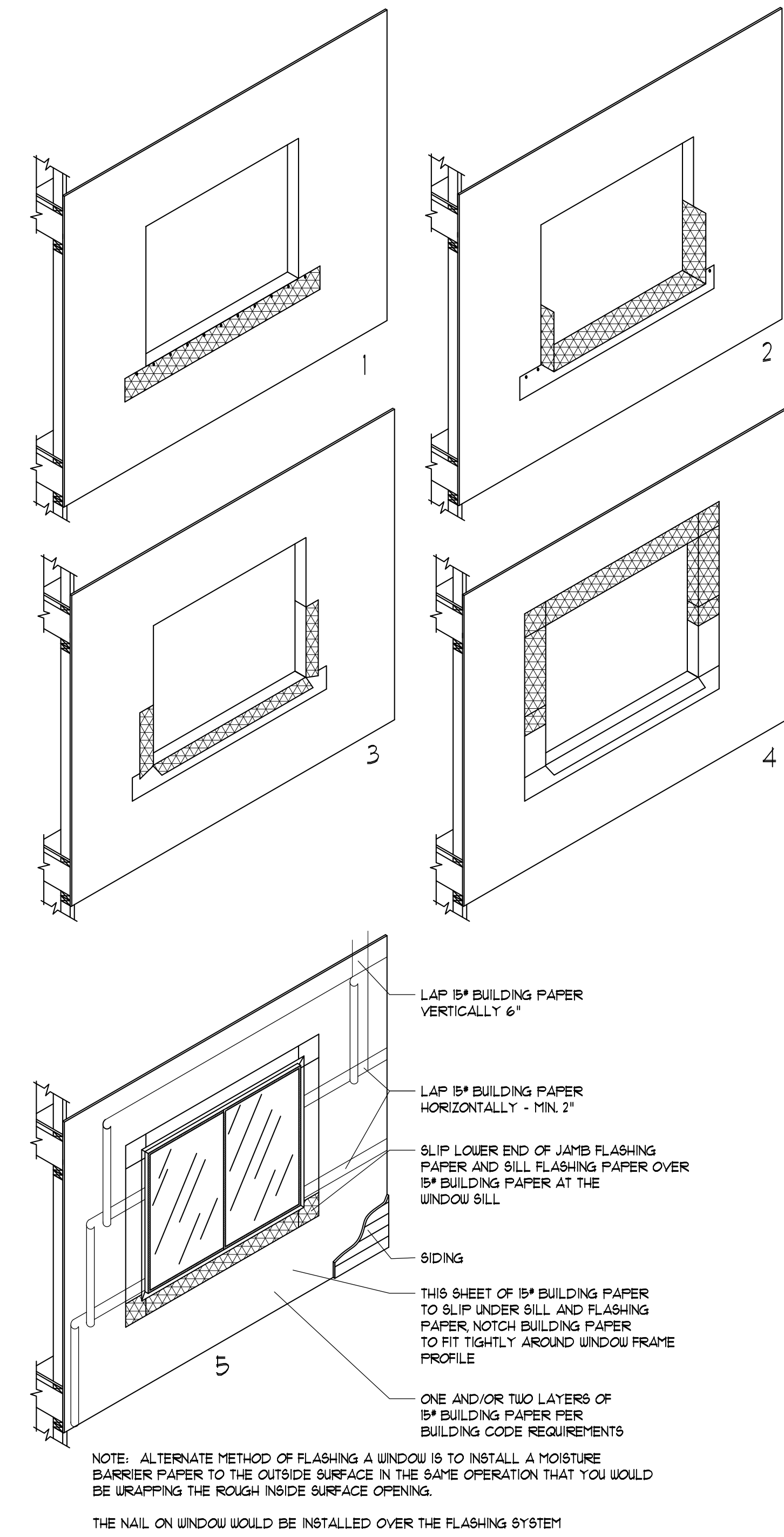
DATE: 06/23/2017
JOB NUMBER: 1625
PW: DKG
FILE: A5.1.dwg

STUCCO
DETAILS

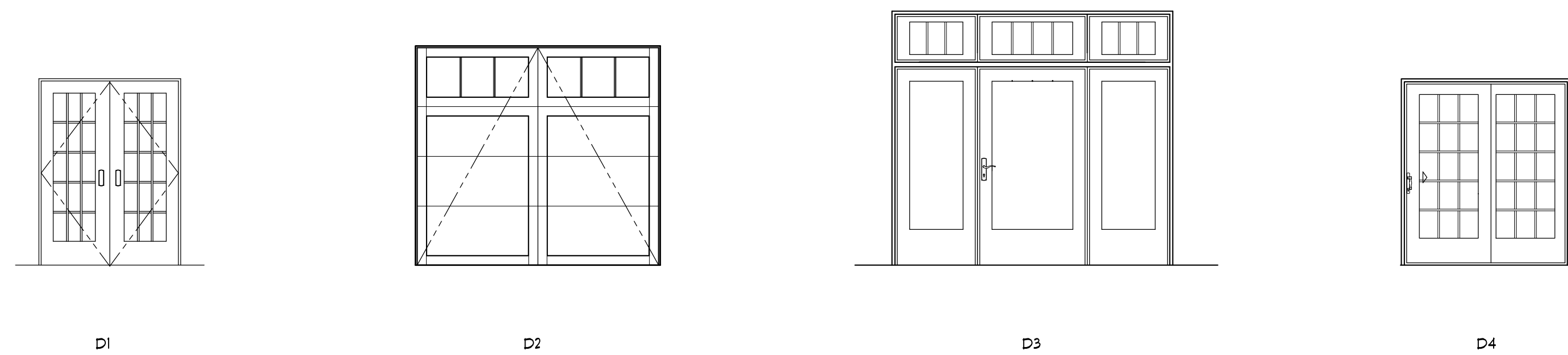
A5.2

PERMIT SET - 06. 23. 2017

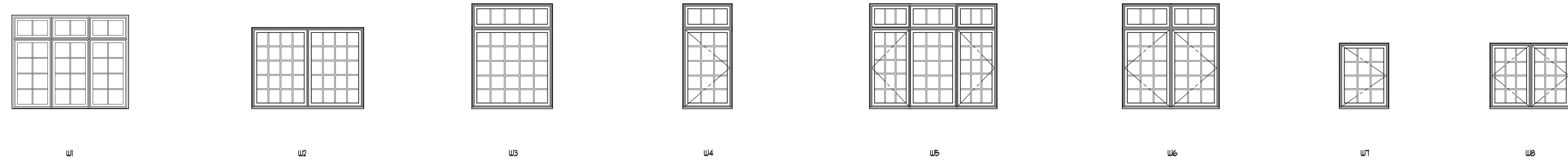
EXTERIOR WINDOW & DOOR SCHEDULE								
#	WIDTH	HEIGHT	HEADER-HEIGHT	TYPE	GRILLES	EGRESS	SAFETY-GLASS	REMARKS
201	1'-3 3/4"	5'-10 3/4"		W1	YES			FIXED CASEMENT
202	10'-2 3/4"	8'-10"					YES	SINGLE W/ DOUBLE SIDE LIGHTS & TRANSOM
203	14'-1/2"	8'-6 1/2"					YES	LACANTINA MULTI SLIDE DOOR - POCKET
204A	6'-0"	6'-8 5/8"					YES	DOUBLE SLIDING DOOR
204B	2'-11 3/4"	6'-6 3/4"		W4	YES			CASEMENT W/ TRANSOM
204C	4'-11 3/4"	6'-6 3/4"		W3	YES			FIXED W/ TRANSOM
204D	2'-11 3/4"	6'-6 3/4"		W4	YES			CASEMENT W/ TRANSOM
204E	8'-1/2"	6'-6 3/4"		W5	YES			CENTER FIXED W/ TRANSOM
204F	6'-1"	6'-6 3/4"		W6	YES			CASEMENT W/ TRANSOM
205	2'-11 3/4"	3'-11 3/4"		W7	YES			CASEMENT
206A	2'-11 3/4"	3'-11 3/4"		W7	YES			CASEMENT
206B	2'-11 3/4"	3'-11 3/4"		W7	YES			CASEMENT
206C	9'-0"	1'-10"		D2				OVERHEAD DOOR
206D	9'-0"	1'-10"		D2				OVERHEAD DOOR
207	2'-9 1/4"	6'-8 5/8"					YES	SINGLE SWING DOOR
208	5'-1"	3'-11 3/4"		W8	YES			CASEMENT
301	6'-0"	6'-10"		D4	YES	YES	YES	DOUBLE SLIDING DOOR
302A	4'-9"	6'-8 5/8"		D4		YES	YES	DOUBLE SLIDING DOOR
302B	2'-5 3/4"	4'-11 3/4"		W7	YES			CASEMENT
302C	3'-11 3/4"	4'-11 3/4"		W2	YES			FIXED CASEMENT
302D	2'-5 3/4"	4'-11 3/4"		W7	YES			CASEMENT
303A	2'-11 3/4"	4'-11 3/4"		W7	YES			CASEMENT
303B	1'-1/2"	4'-11 3/4"		W2	YES			FIXED CASEMENT
303C	2'-11 3/4"	4'-11 3/4"		W7	YES			CASEMENT
303D	5'-4"	6'-8 5/8"		D1		YES	YES	CASEMENT DOOR
304	9'-8"	6'-8 5/8"					YES	TRIPLE SLIDING DOOR
305	2'-11 3/4"	3'-11 3/4"		W7	YES			CASEMENT
306A	2'-11 3/4"	3'-11 3/4"		W7	YES			CASEMENT
306B	2'-11 3/4"	3'-11 3/4"		W7	YES			CASEMENT
306C	3'-10 3/4"	3'-11 3/4"		W8	YES			CASEMENT
306D	5'-0"	6'-10"		D1	YES		YES	FRENCH DOOR
307	2'-11 3/4"	3'-11 3/4"		W7	YES			CASEMENT



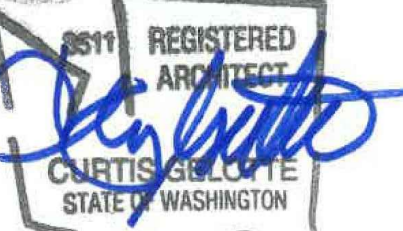
NOTE: ALTERNATE METHOD OF FLASHING A WINDOW IS TO INSTALL A MOISTURE BARRIER PAPER TO THE OUTSIDE SURFACE IN THE SAME OPERATION THAT YOU WOULD BE WRAPPING THE ROUGH INSIDE SURFACE OPENING.
THE NAIL ON WINDOW WOULD BE INSTALLED OVER THE FLASHING SYSTEM



DOOR TYPES
SCALE: 1/4" = 1'-0"



WINDOW TYPES
SCALE: 1/4" = 1'-0"

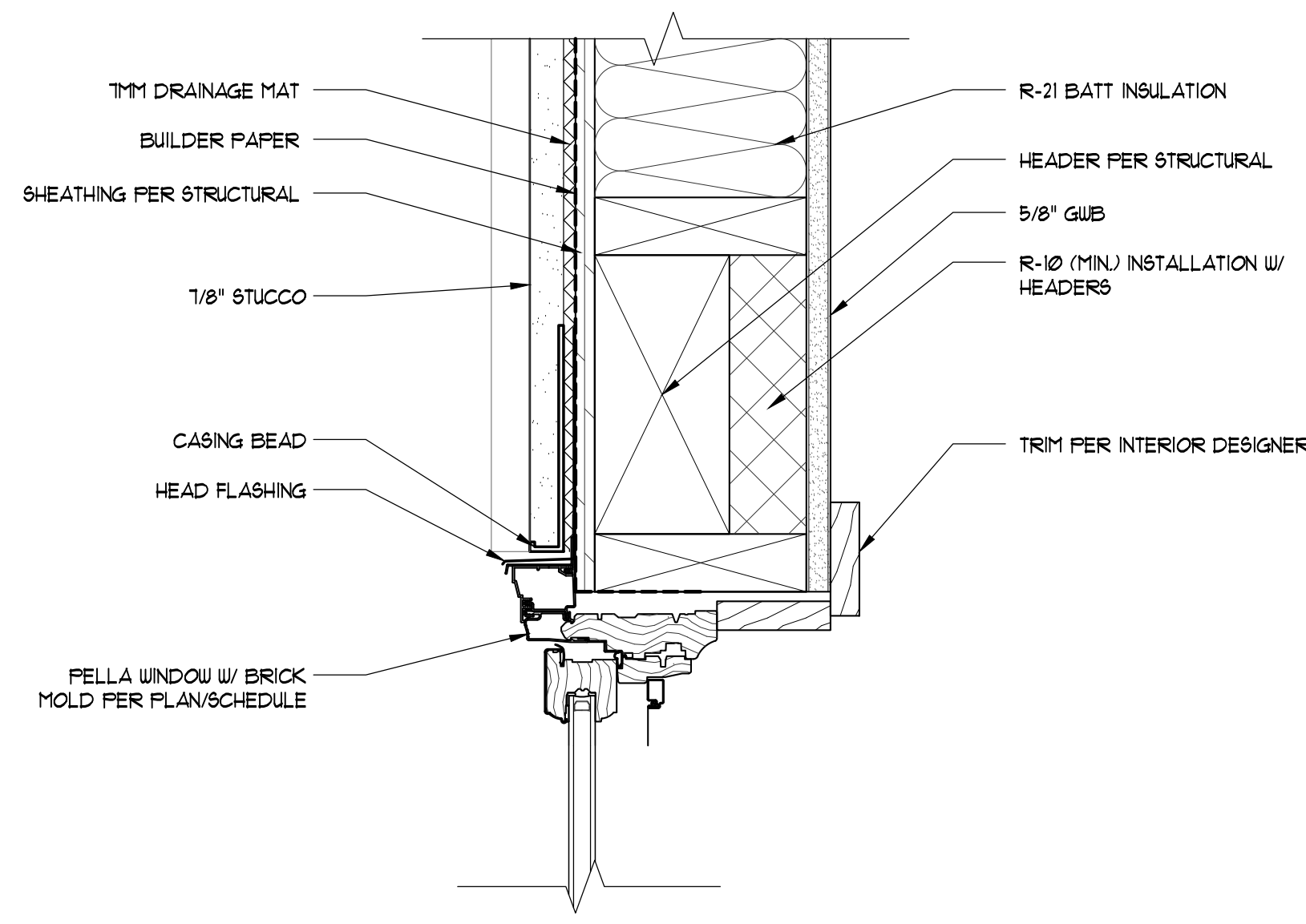


NO.	DATE	REVISION
1	10/30/18	REVISION 1
2	07/18/17	PERMIT SET

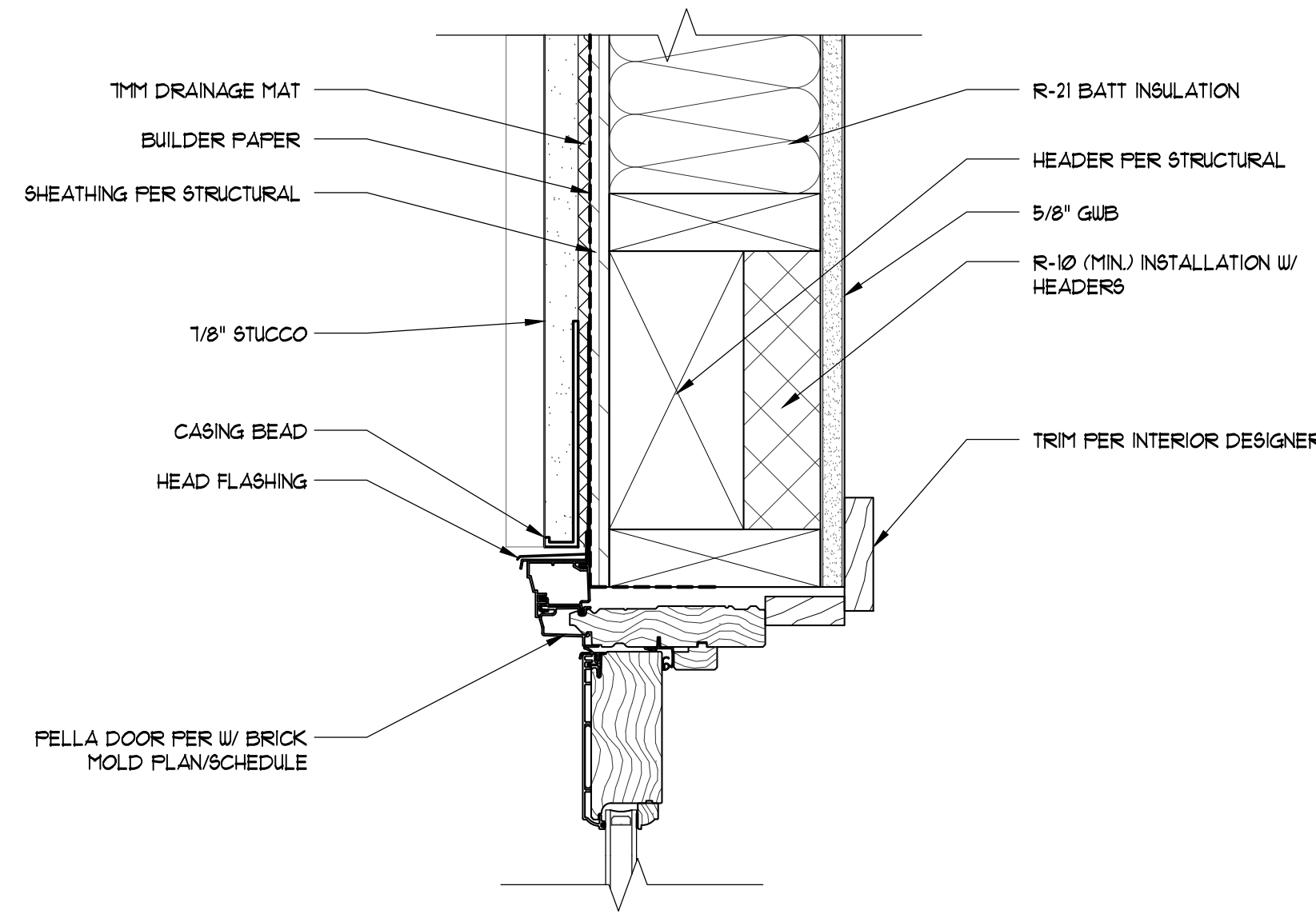
DATE: 04/23/2018
JOB NUMBER: 1625
PW: DKG
FILE: A6.1.dwg

DOOR & WINDOW SCHEDULE

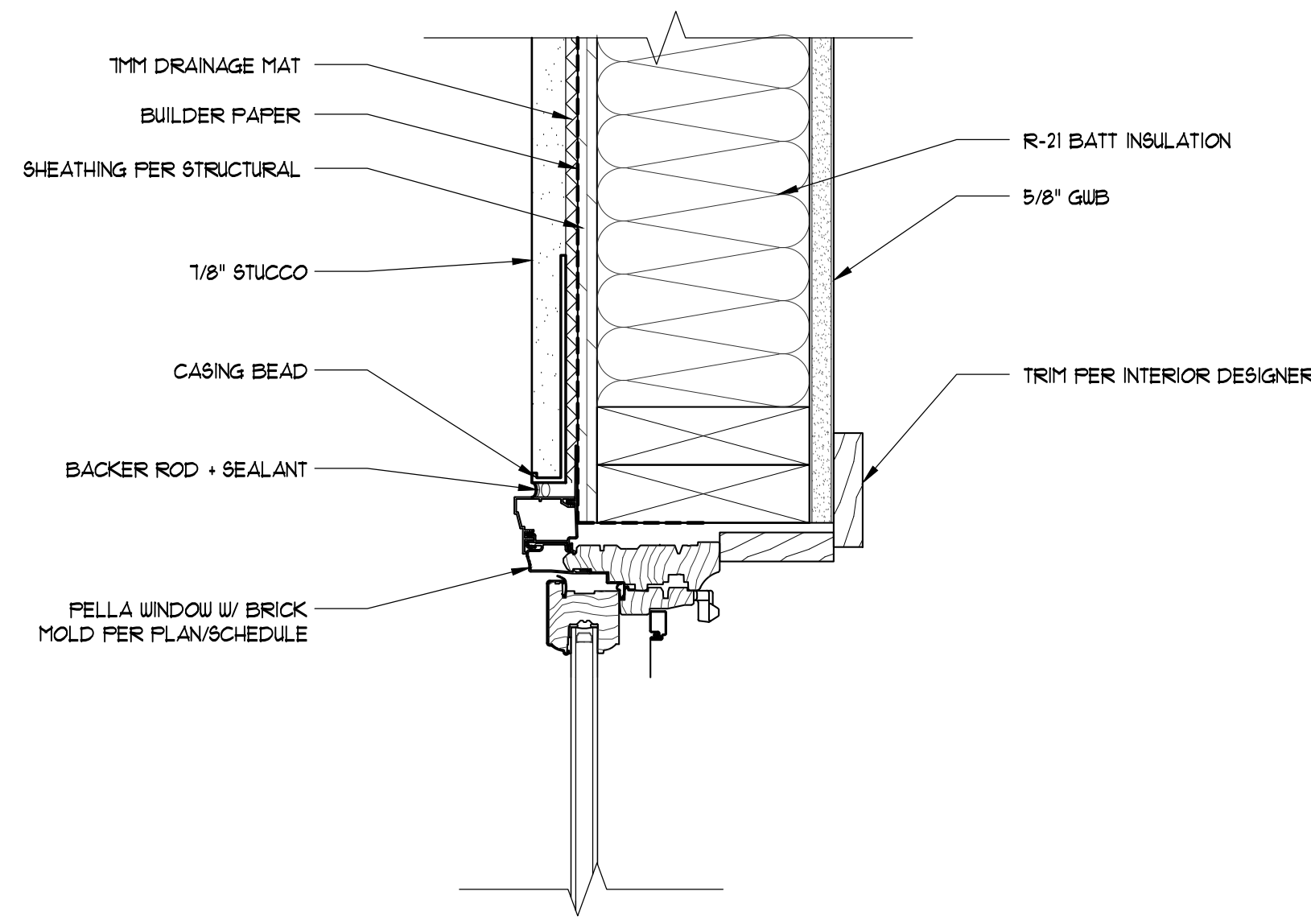
A6.1



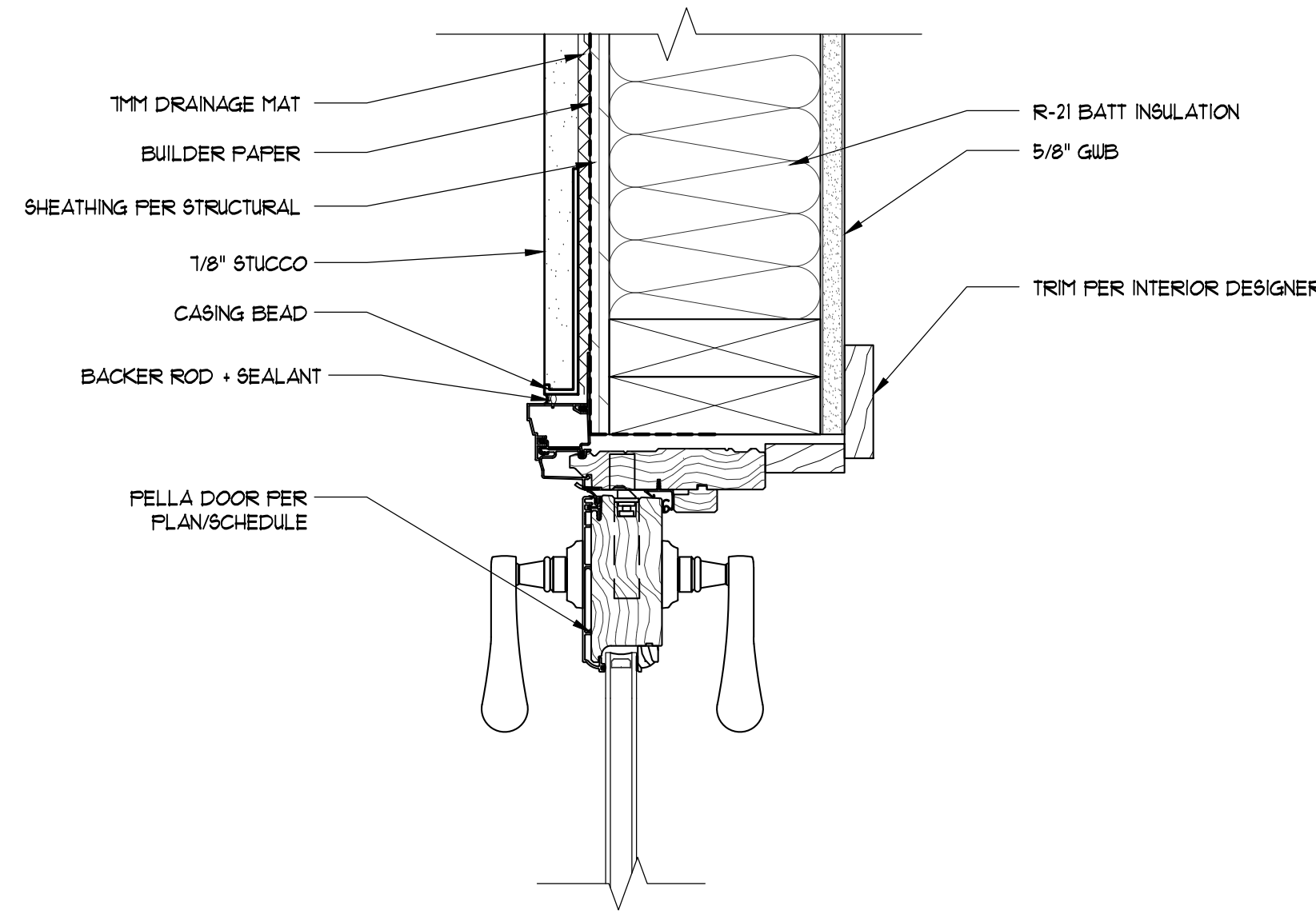
1 TYP. WINDOW HEAD DETAIL
SCALE: 3" = 1'-0"



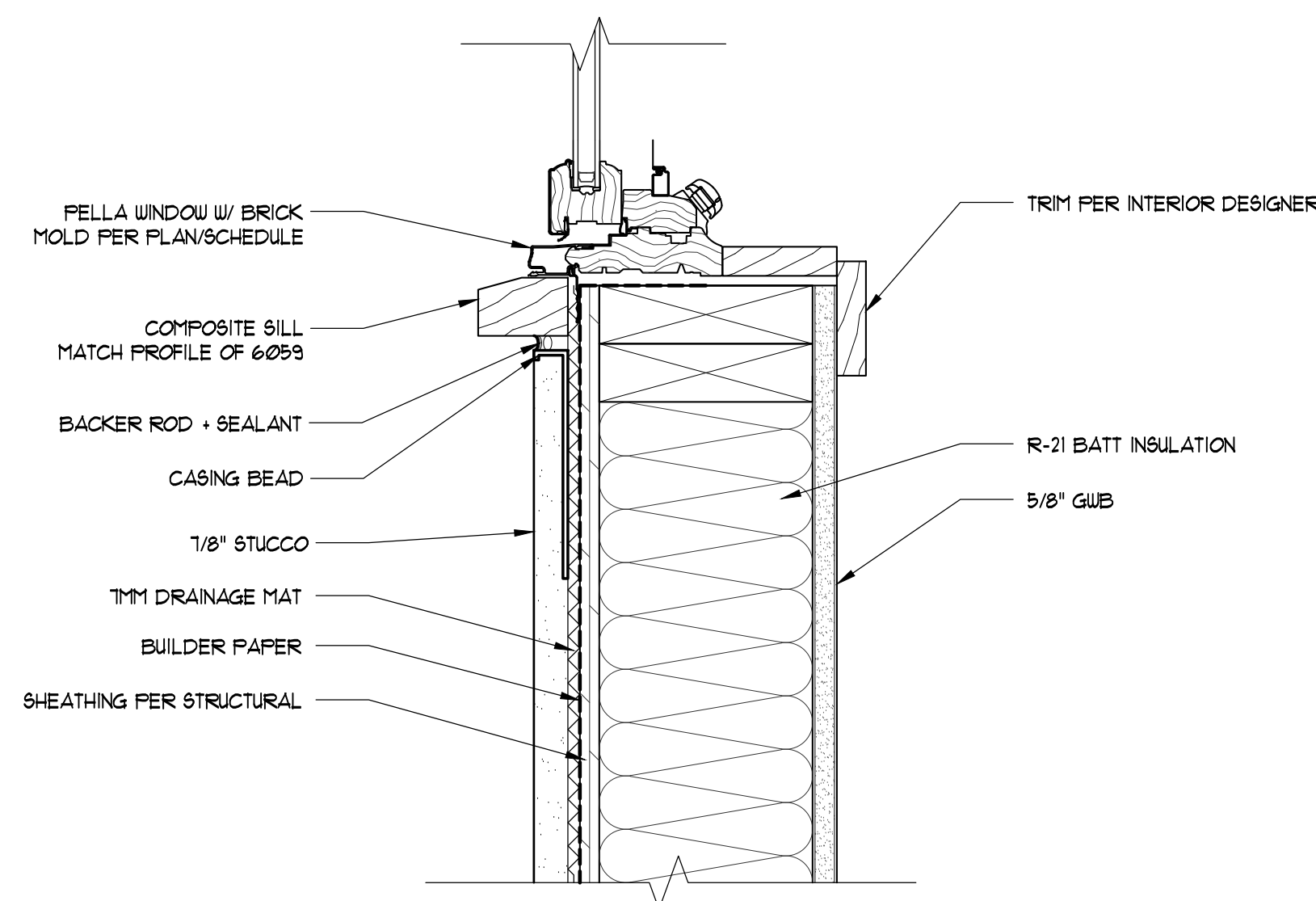
2 TYP. DOOR HEAD DETAIL
SCALE: 3" = 1'-0"



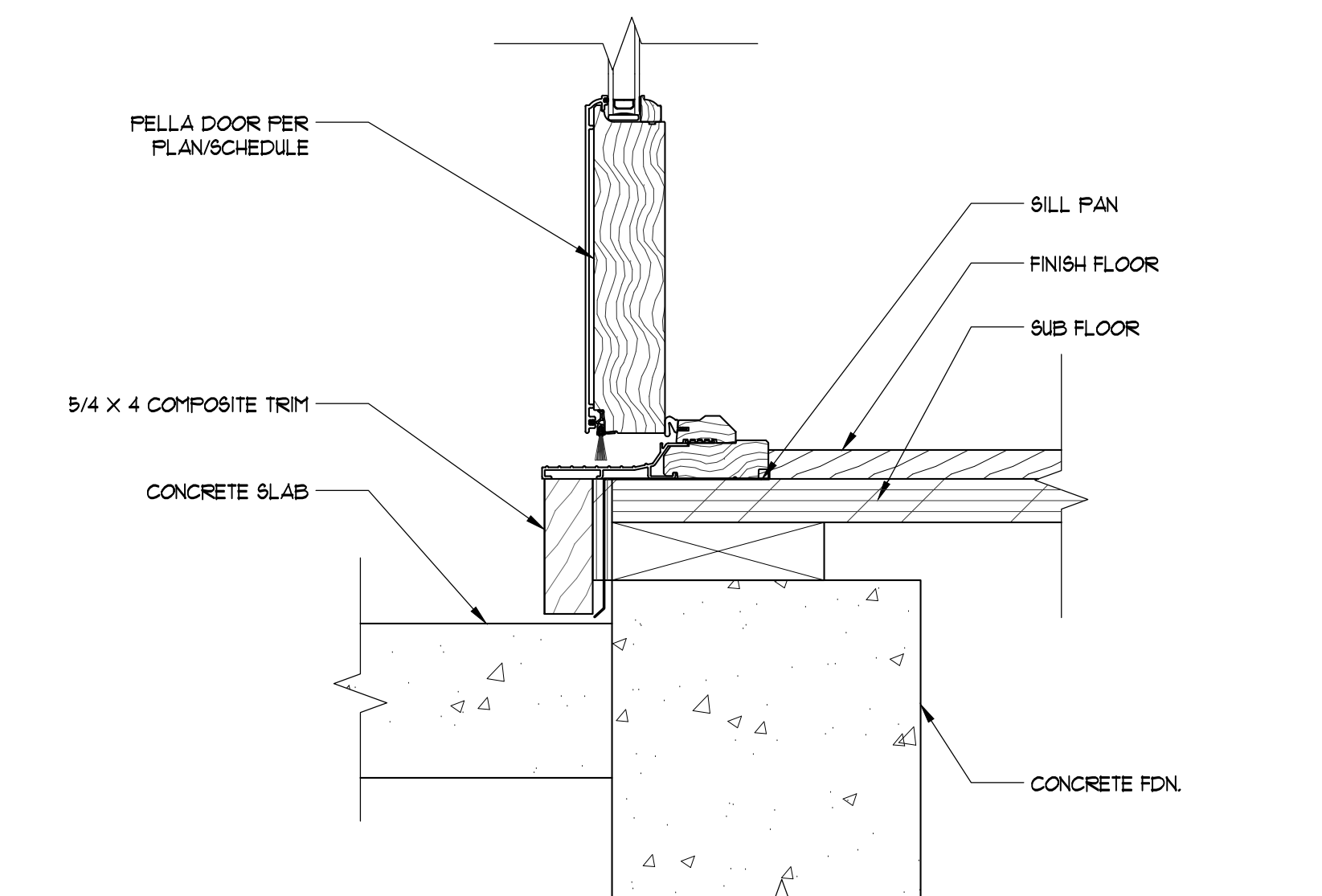
4 TYP. WINDOW JAMB DETAIL
SCALE: 3" = 1'-0"



5 TYP. DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



7 TYP. WINDOW SILL DETAIL
SCALE: 3" = 1'-0"



8 TYP. DOOR SILL DETAIL
SCALE: 3" = 1'-0"

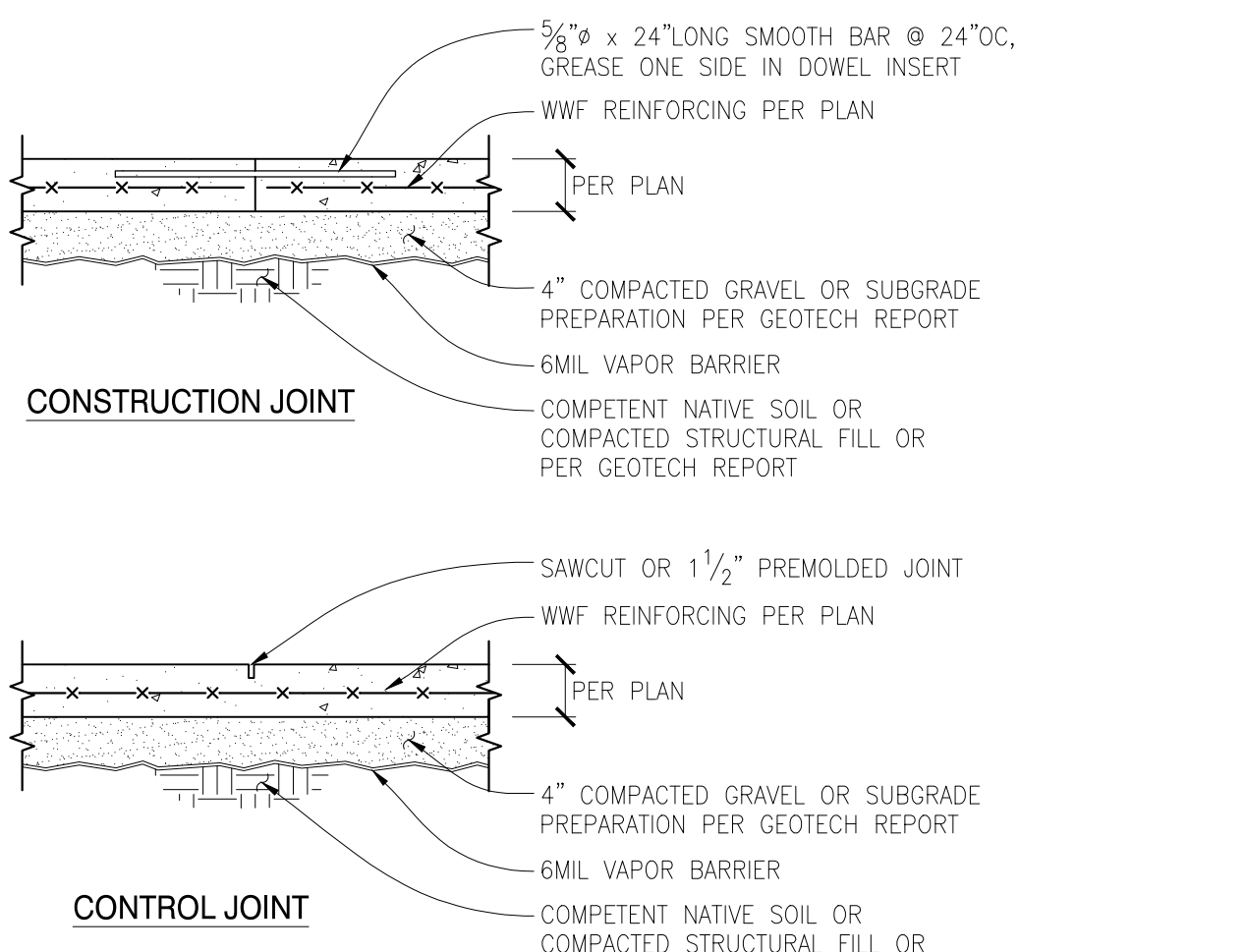


NO.	DATE	REVISION
Δ	10/30/18	REVISION 1
	07/18/17	PERMIT SET

DATE: 04/23/2018
JOB NUMBER: 1625
PW: DKG
FILE: A6.2.dwg

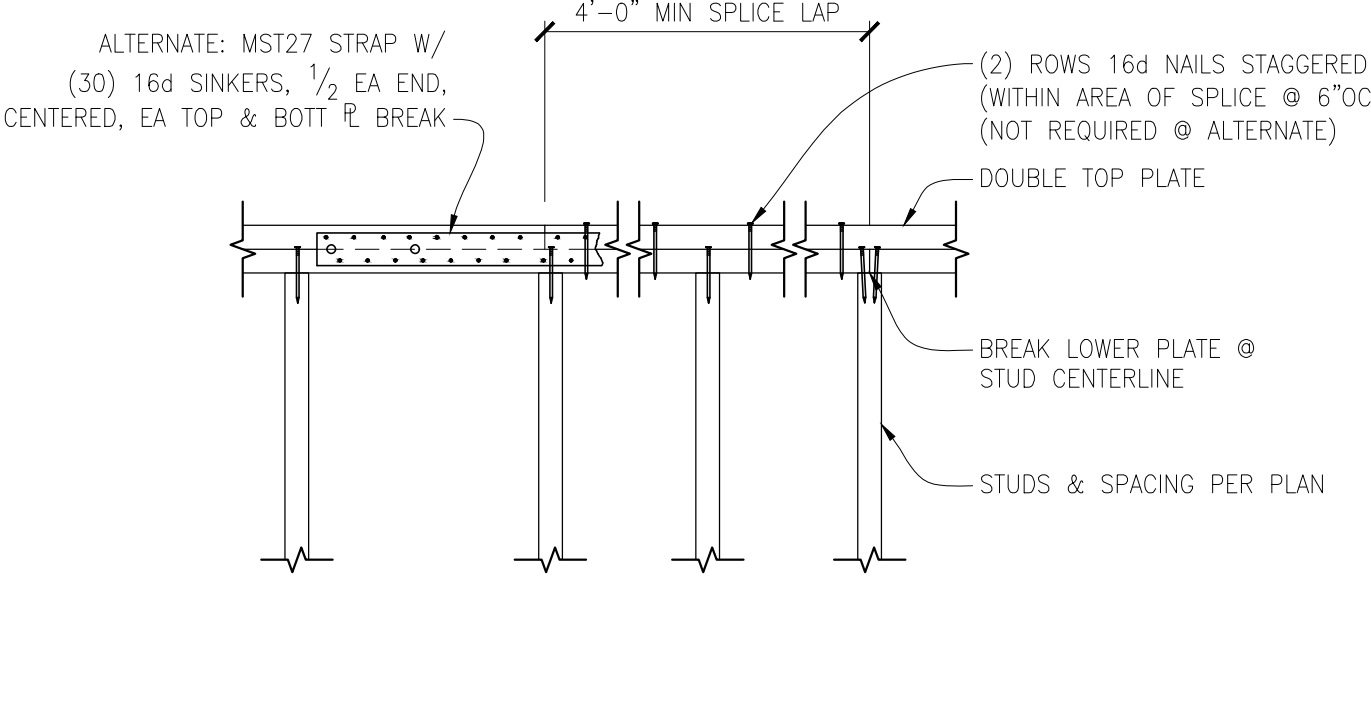
WINDOW & DOOR
DETAILS

A6.2

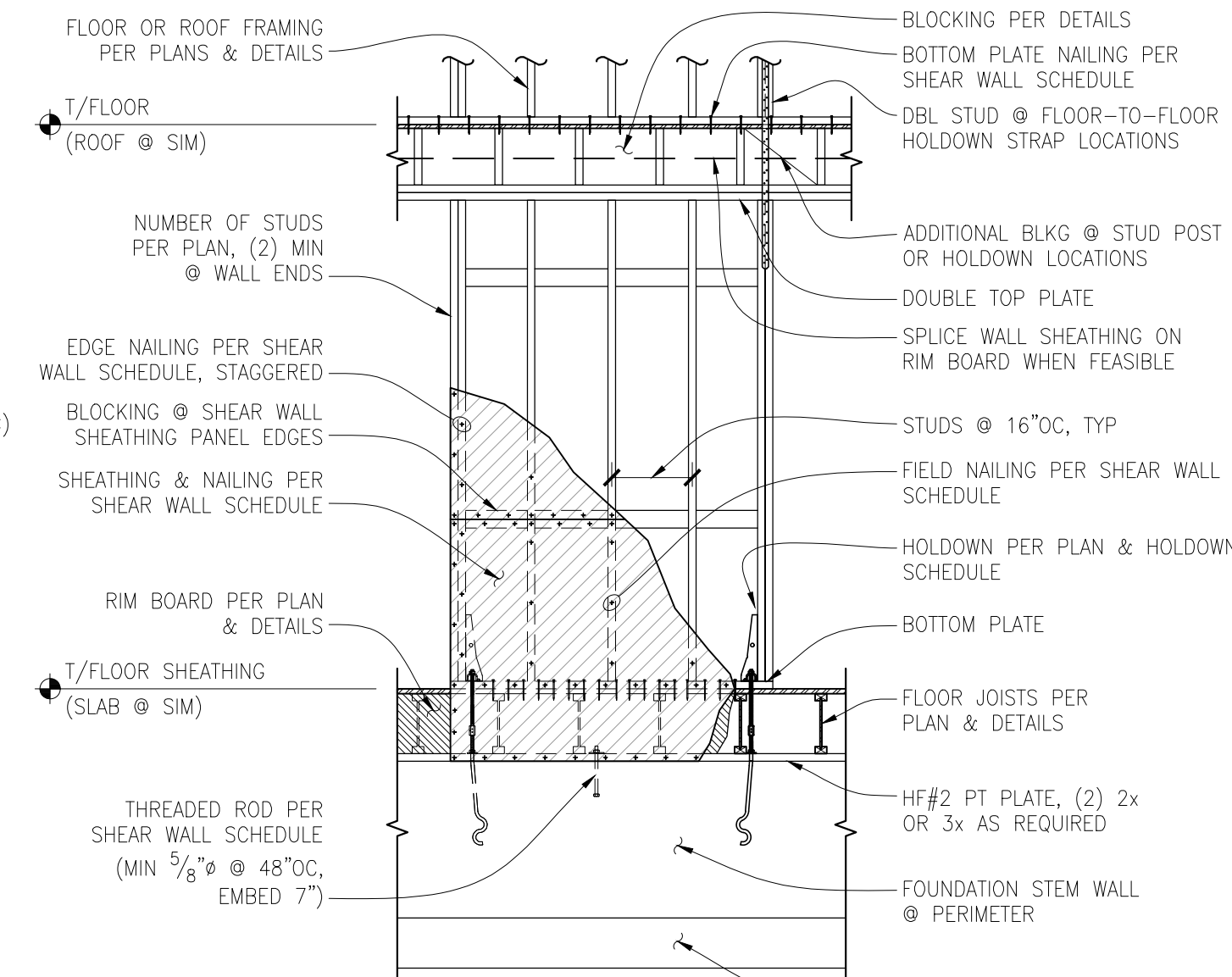


- NOTES: 1. FOR CONSTRUCTION OR CONTROL JOINT LOCATIONS... 2. USE "SOFT-CUT SAW" AS SOON AS POSSIBLE... 3. PROVIDE CONSTRUCTION/CONTROL JOINT TO ENCLOSE APPROXIMATE SQUARE AREAS OF 225 SF MAX

TYPICAL SLAB ON GRADE JOINT DETAILS SCALE: N.T.S.



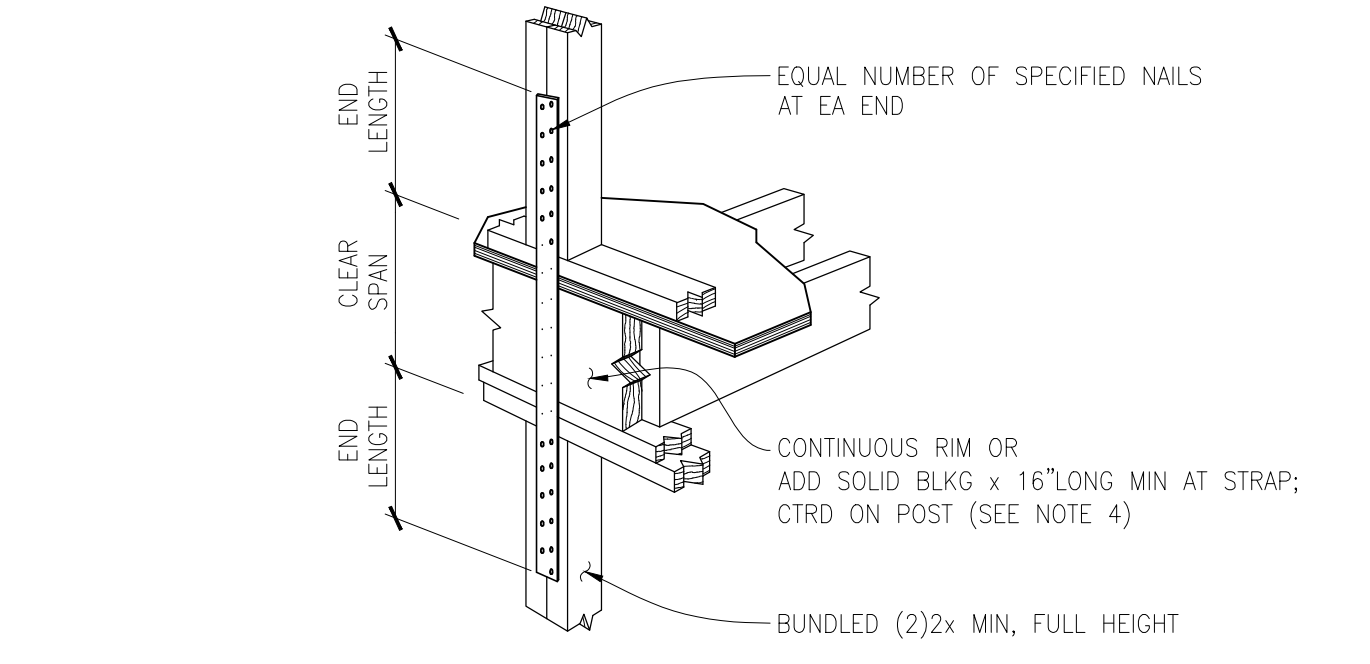
TYPICAL PLATE SPLICE DETAIL SCALE: N.T.S.



TYPICAL SHEAR WALL ELEVATION SCALE: N.T.S.

HEM-FIR STRAP SCHEDULE table with columns: MARK, STRAP, MINIMUM END LENGTH, NAILING REQUIRED AT EACH END LENGTH, NAIL SPACING, ALLOWABLE UPLIFT (LBS), STRAP, CLEAR SPAN.

- NOTES: 1. FOLLOW ALL SIMPSON STRONG-TIE GUIDELINES... 2. STRAP MAY BE INSTALLED OVER OR UNDERNEATH PLYWOOD... 3. EDGE NAIL PLYWOOD TO STRAPPED POST...

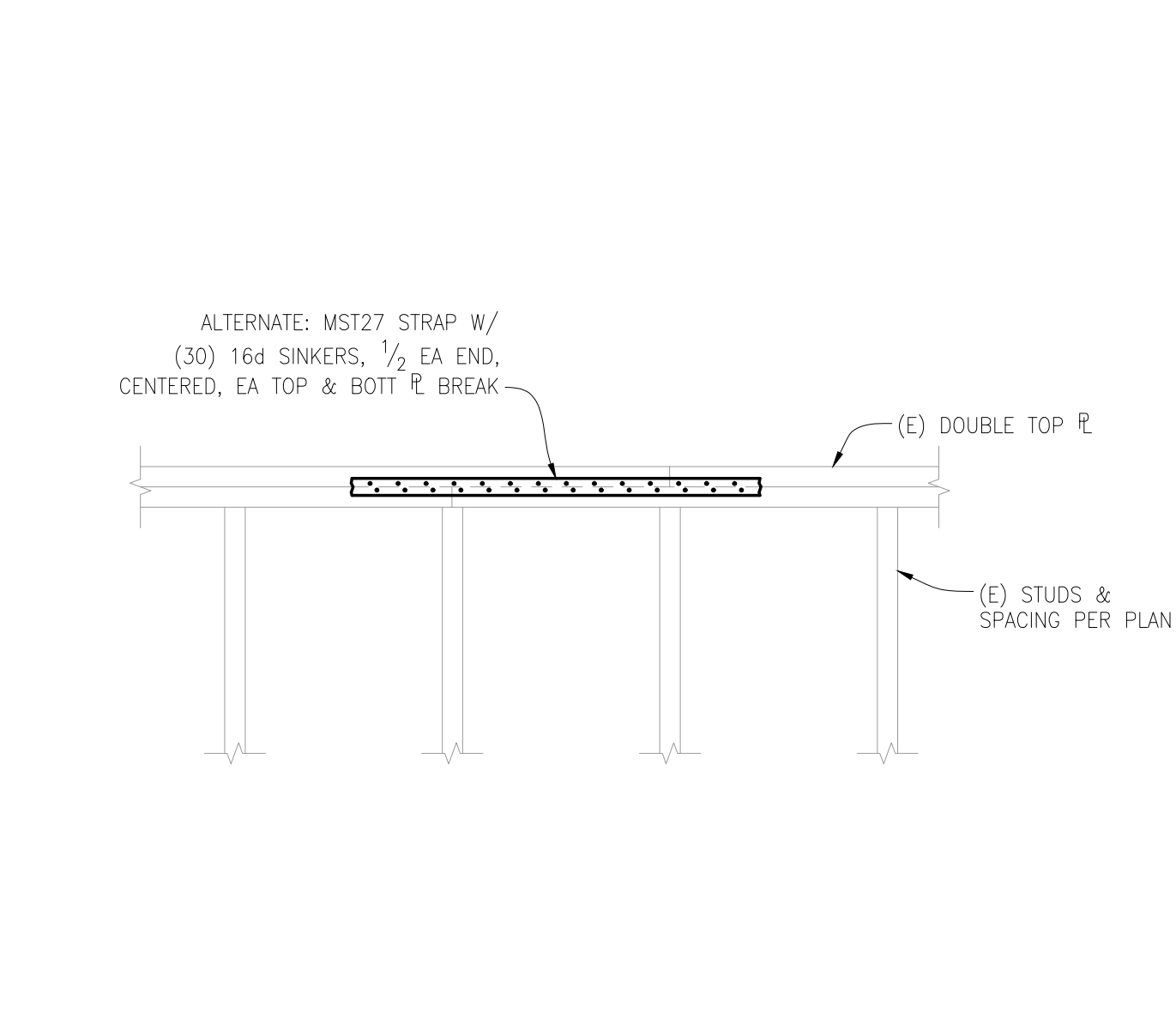


FLR-TO-FLR HOLDOWN STRAP SCHEDULE SCALE: N.T.S.

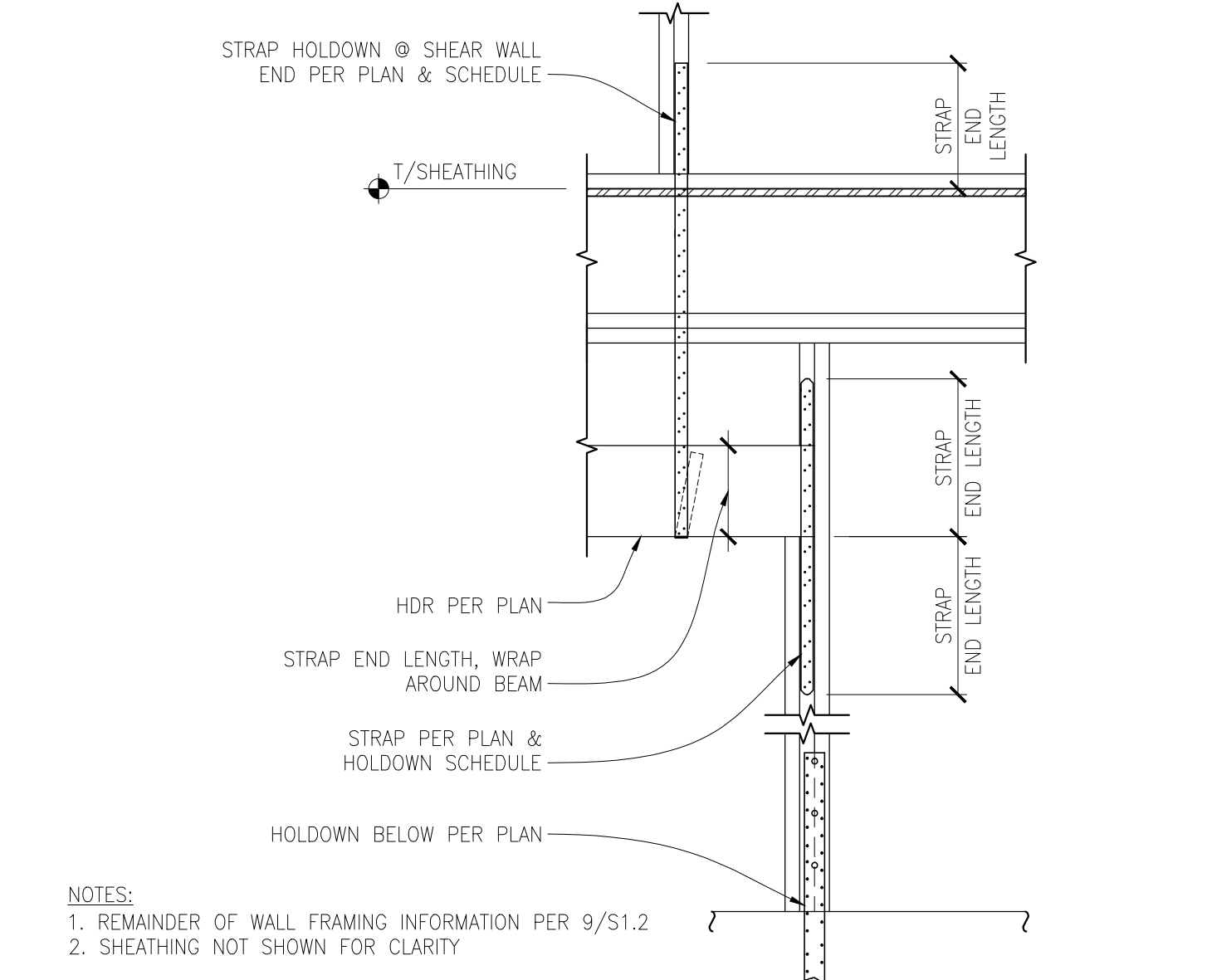
HOLDOWN SCHEDULE (RFSBMC) table with columns: MARK, MODEL #, ALLOWABLE UPLIFT (LBS), MIN END STUDS, STUD FASTENERS, CONCRETE ANCHOR.

- NOTES: 1. HOLDOWNS SPECIFIED ARE AS MANUFACTURED BY SIMPSON STRONG-TIE CO. INC... 2. REFERENCE PLANS FOR ADDITIONAL STUD REQUIREMENTS WHERE OCCURS...

HOLDOWN SCHEDULE (8" MIN STEM WALL) SCALE: N.T.S.



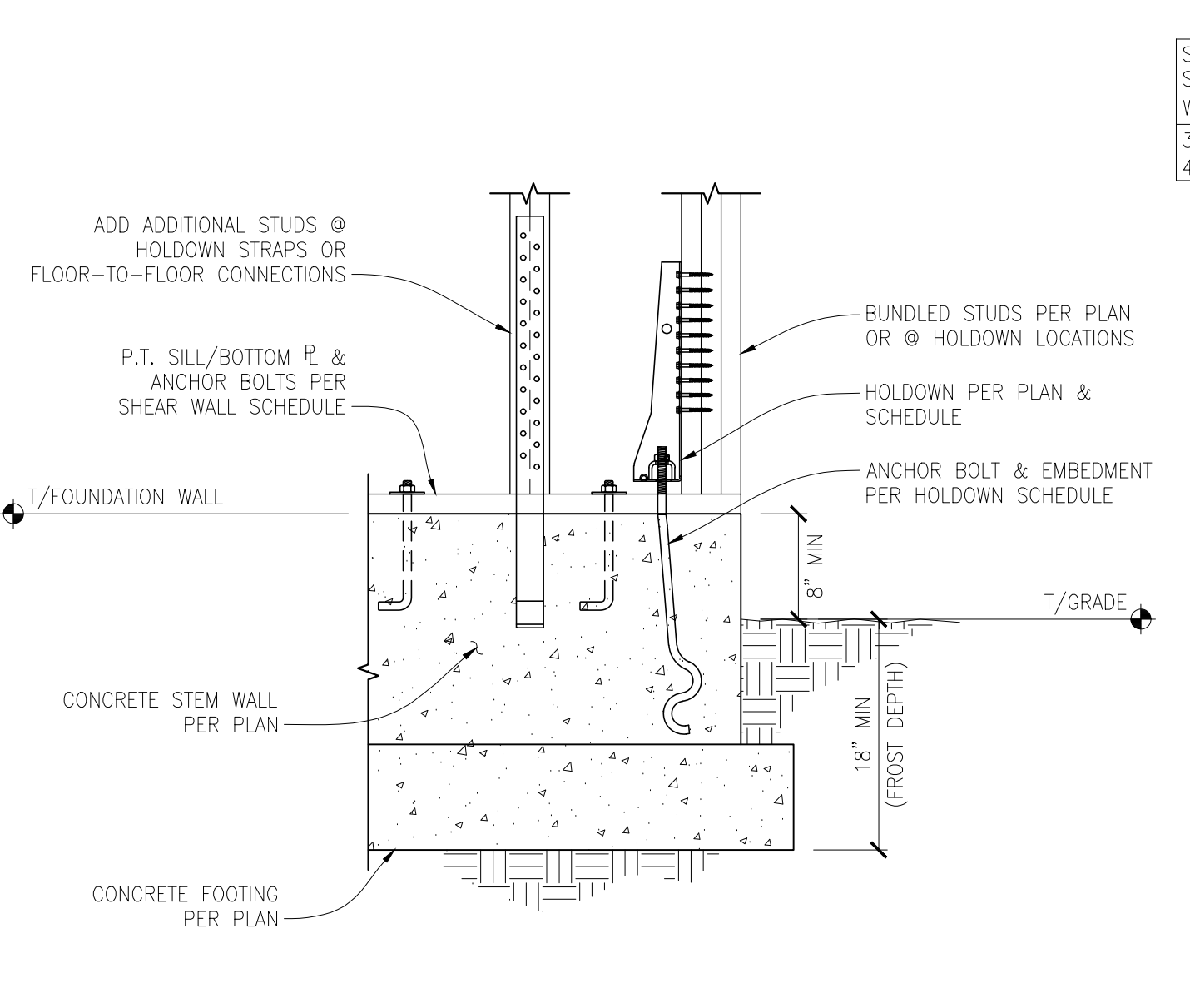
TYPICAL PLATE SPLICE DETAIL SCALE: N.T.S.



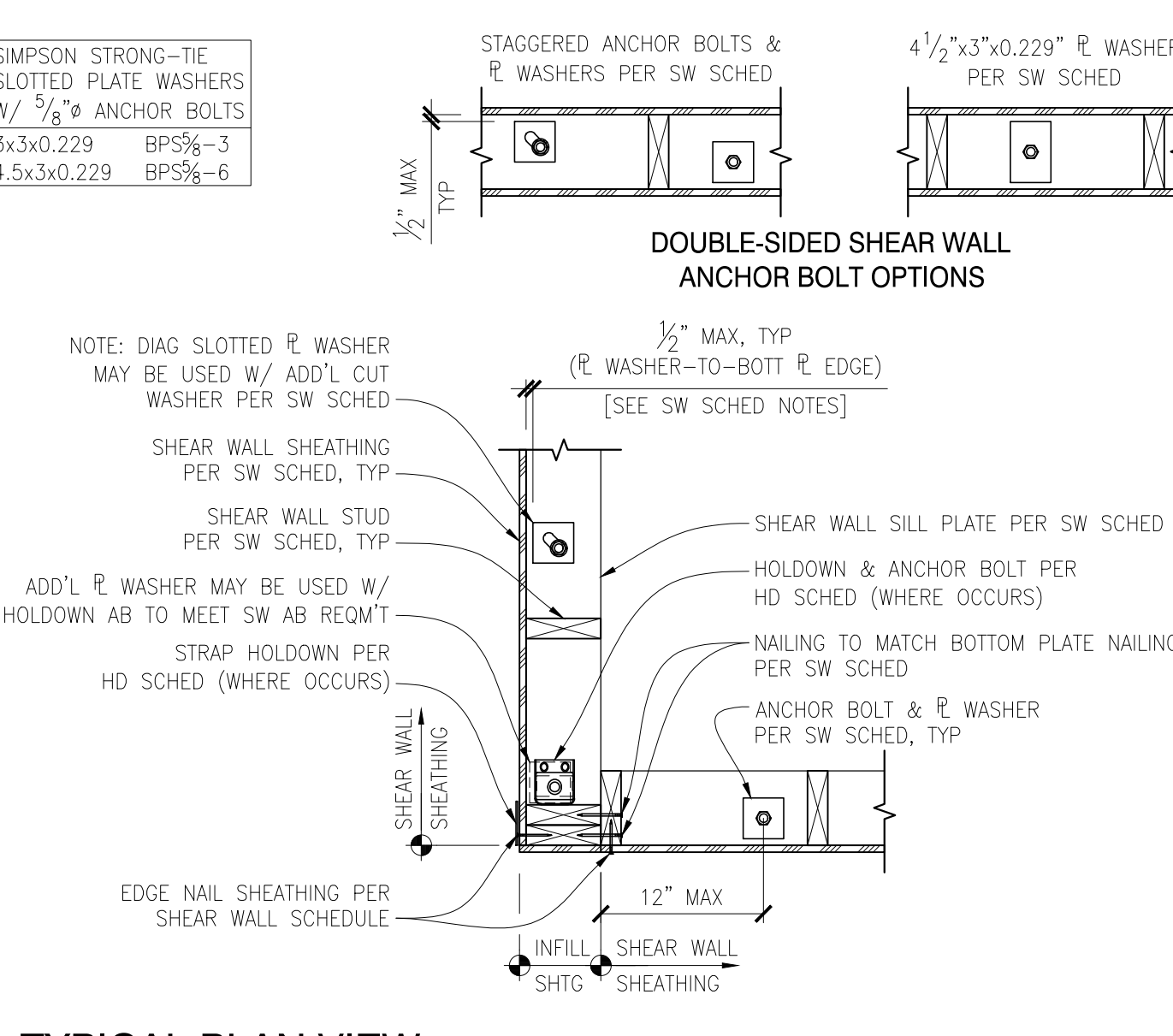
TYPICAL SHEAR WALL ELEVATION (8) SCALE: 3/4" = 1'-0"

FLR-TO-FLR HOLDOWN STRAP SCHEDULE (9) SCALE: N.T.S.

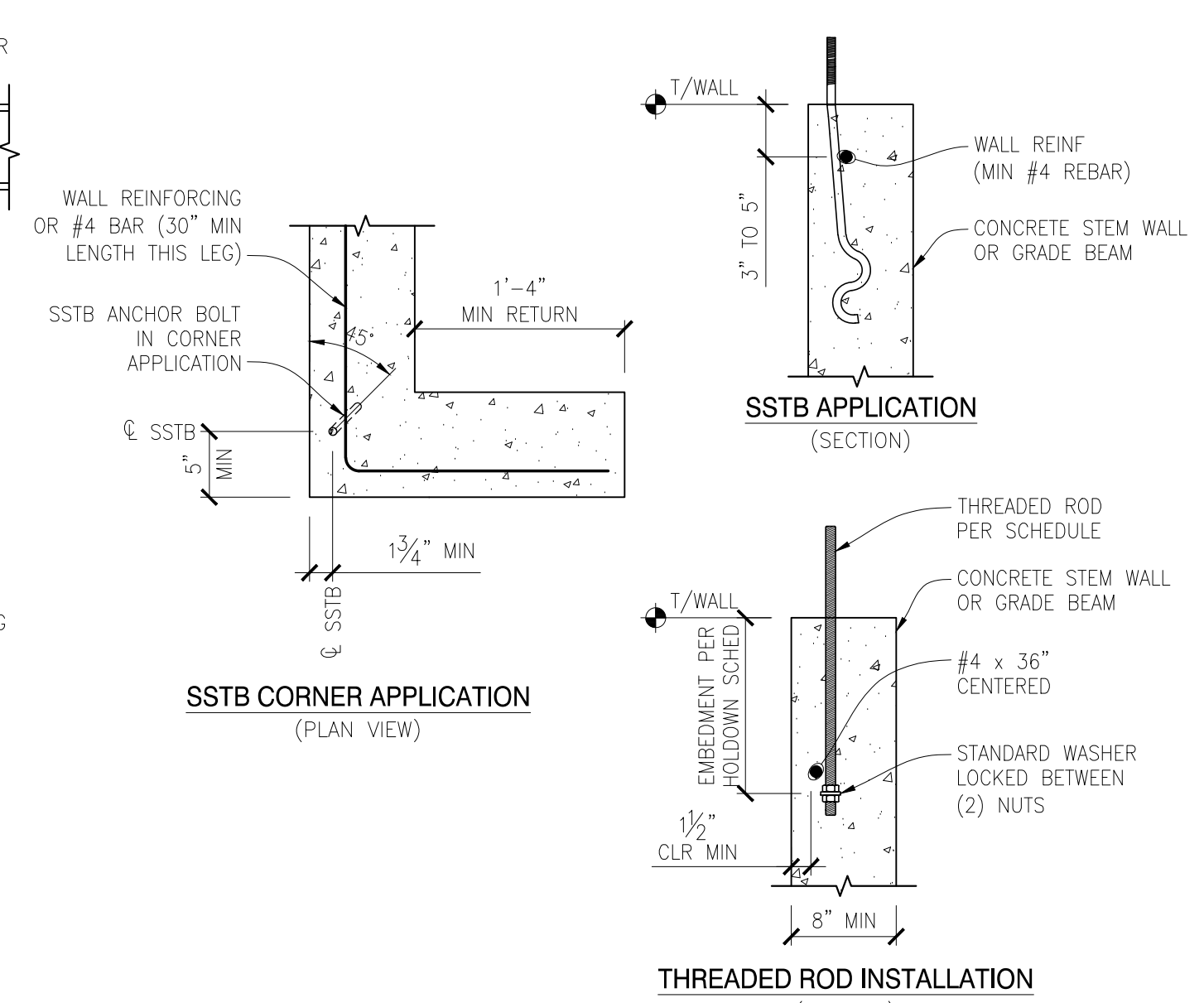
HOLDOWN SCHEDULE (10) SCALE: N.T.S.



TYPICAL SHEAR WALL HOLDOWN CONNECTION SCALE: N.T.S.



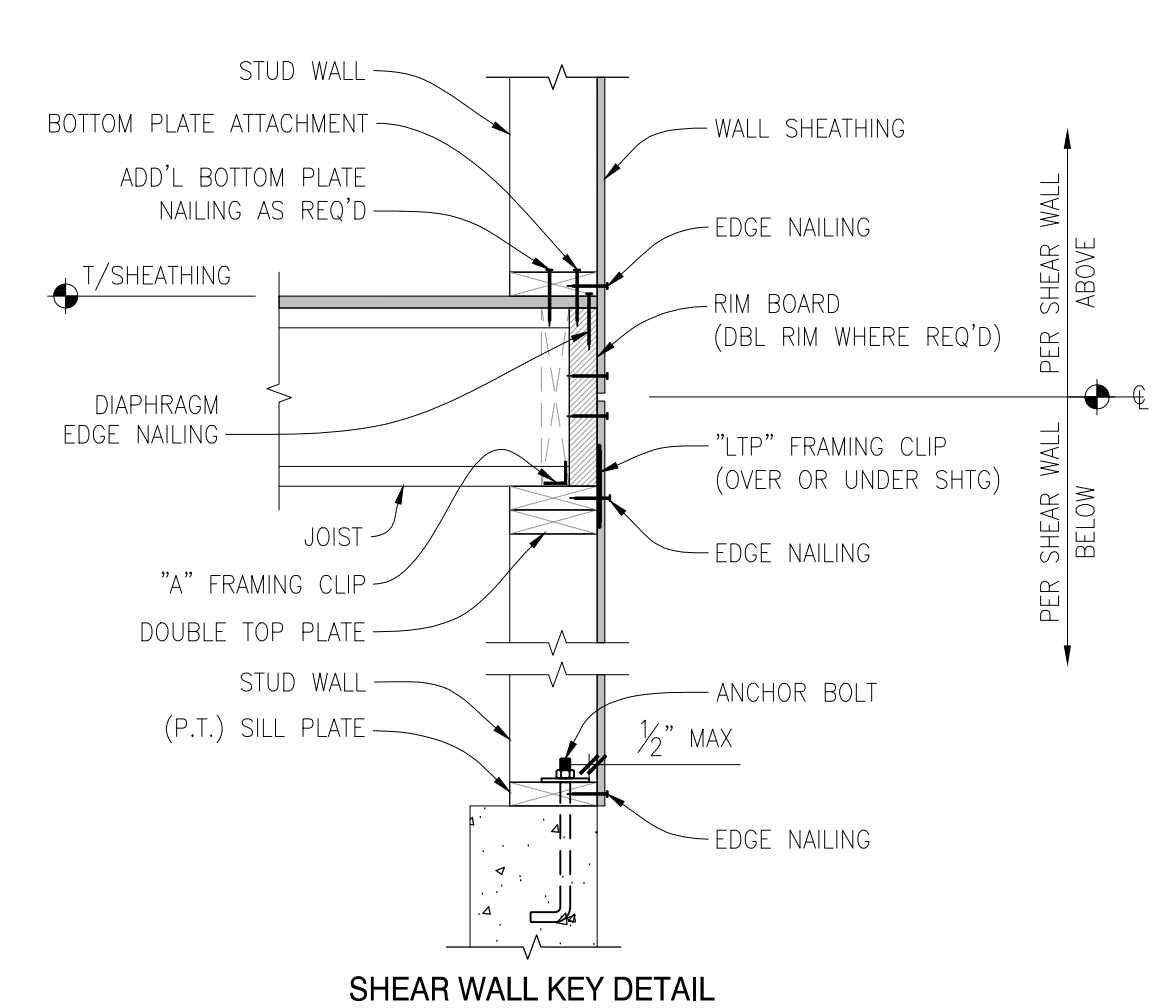
TYPICAL PLAN VIEW - SHEAR WALL HOLDOWNS & ANCHOR BOLTS SCALE: N.T.S.



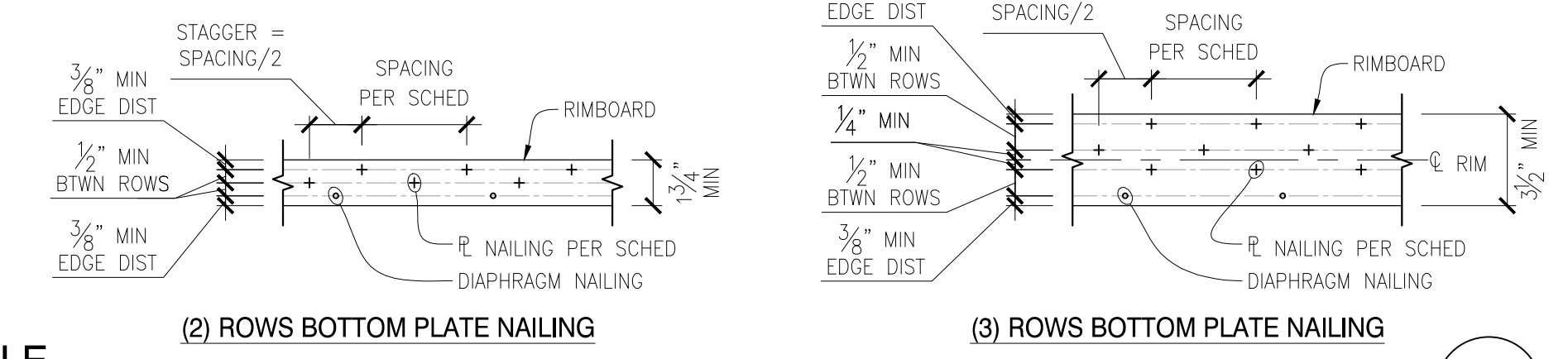
TYPICAL HOLDOWN ANCHOR BOLT INSTALLATION SCALE: N.T.S.

WOOD-FRAMED SHEAR WALL SCHEDULE table for HEM-FIR FRAMING w/ 10d COMMON NAILS (2015 IBC) with columns: SW TYPE, WALL SHEATHING, EDGE NAILING, BOTTOM PLATE ATTACHMENT, FRAMING CLIP, MINIMUM RIM BOARD THICKNESS, BLOCKING, ANCHOR BOLT TO CONCRETE FOUNDATION, SILL PLATE AT FOUNDATION, ALLOWABLE SHEAR WALL CAPACITY (PLF).

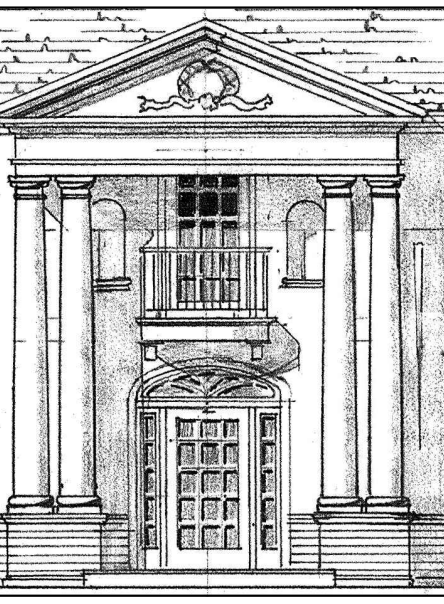
- NOTES: 1. ALL NAILS ARE COMMON UNO... 2. REFERENCE GENERAL STRUCTURAL NOTES FOR NAIL DIAMETER AND LENGTH... 3. PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF THE WALLS...



SHEAR WALL KEY DETAIL



WOOD-FRAMED SHEAR WALL SCHEDULE SCALE: NONE



DEI DIBBLE ENGINEERS INC. www.dibbleengineers.com 109 Market Street, Kirkland, WA 98033 425.828.4200



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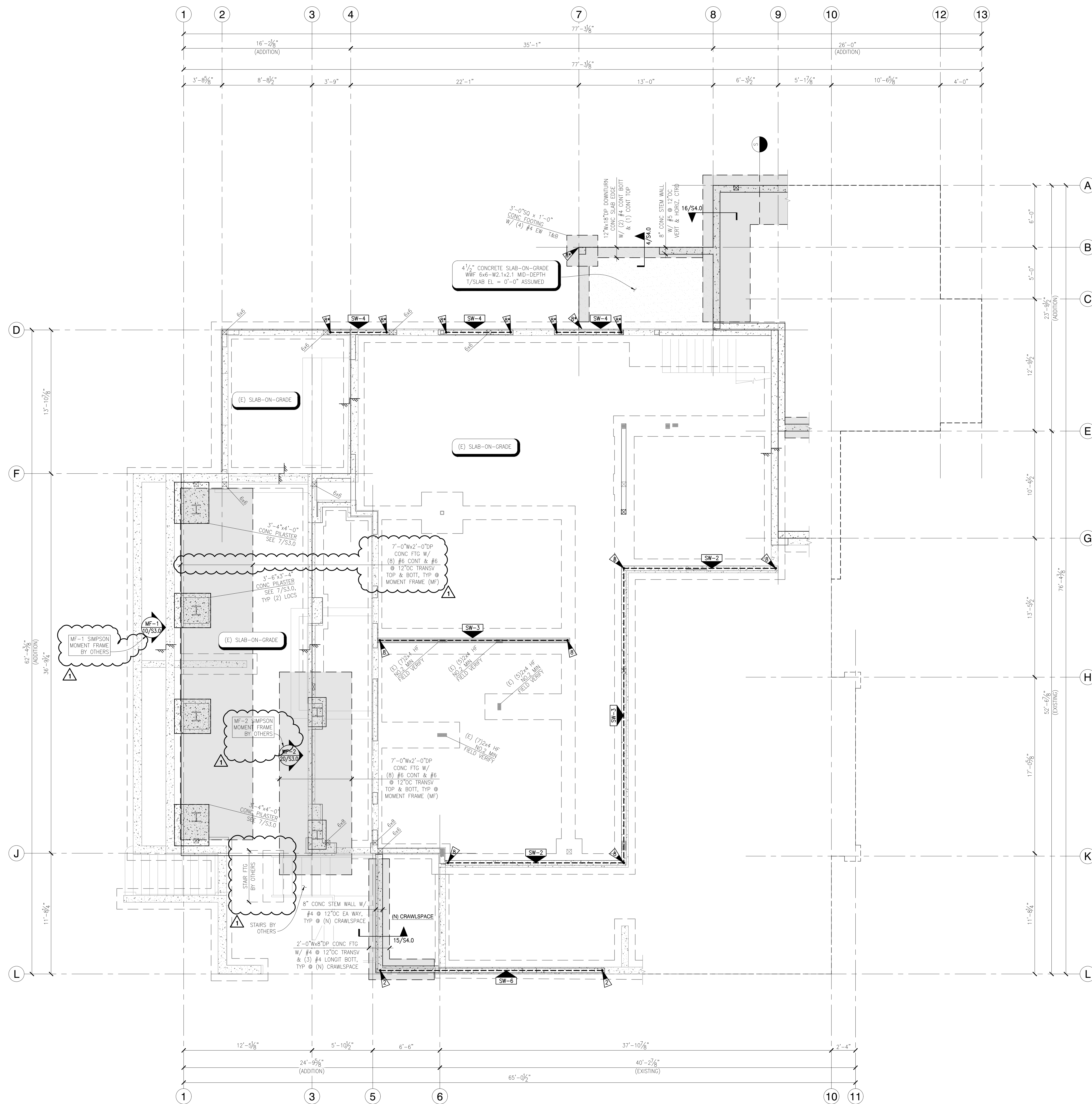
PEYREE REMODEL B Gelotte Hommas THE ART OF ARCHITECTURE 6059 77th Ave SE Mercer Island, WA 98040-5129

Revision table with columns: NO., DATE, REVISION. Includes revisions 06/27/17 PERMIT SET, 09/18/18 BLDG. DEPT. RESP.

DATE: 05/19/2017 JOB NUMBER: 17-291 DRAWN BY: SAT/TLE DESIGNED BY: JBB

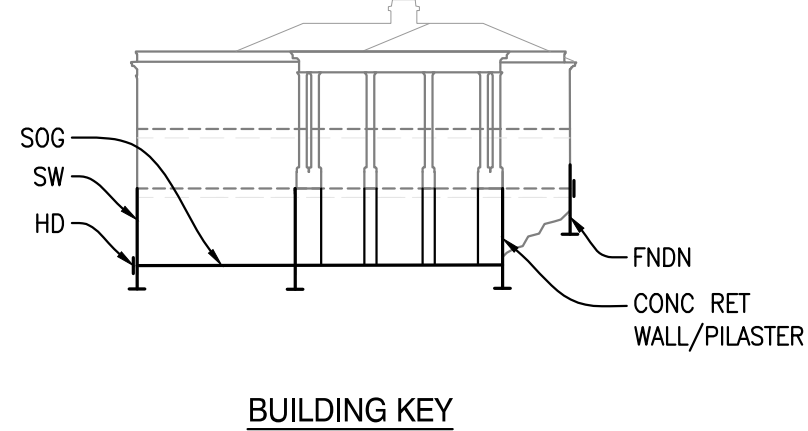
STRUCTURAL SCHEDULES & DETAILS

S1.2

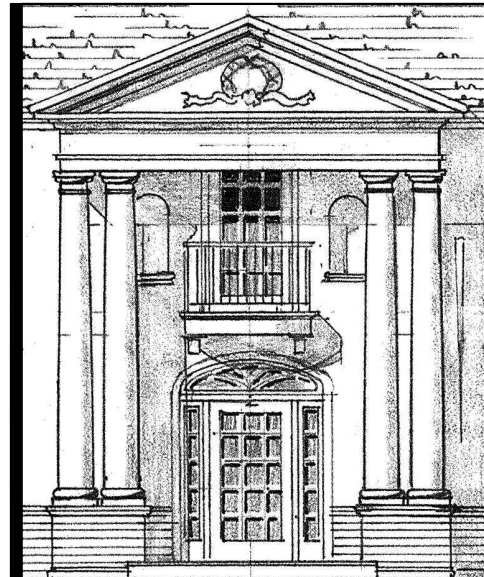


- FOUNDATION PLAN NOTES:**
- FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS AND LEGEND, REFERENCE SHEET S1.0.
 - DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. COLUMNS AND FOOTINGS ARE CENTERED ON GRID, UNO. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED. ALL DIMENSIONS ARE TO INSIDE FACE OF CONCRETE, OUTSIDE FACE OF CONCRETE OR CENTERLINE OF GRID/STEEL. CONTINUOUS FOOTINGS ARE CENTERED UNDER WALLS/STRUCTURAL PANELS. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTING OR WALL PIER, UNO.
 - FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER DRAWINGS. FOR STAIR DETAILS AND GUARDRAILS, REFERENCE ARCHITECTURAL DRAWINGS.
 - MOISTURE PROOF ALL WALLS BELOW GRADE PER ARCHITECT.
 - TOP OF SLAB (T/SLAB) ELEVATION ASSUMED 0'-0\"/>

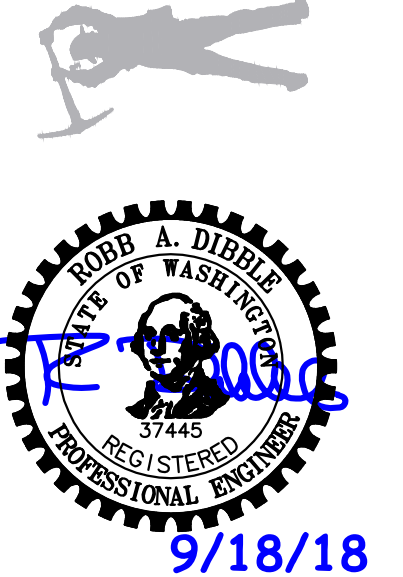
FOUNDATION / BASEMENT PLAN
 SCALE: 1/4" = 1'-0"
 (PROJECT)



NOTE: CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION & CONSTRUCTION. NOTIFY DEI OF ANY DISCREPANCIES FOR FURTHER DIRECTION.



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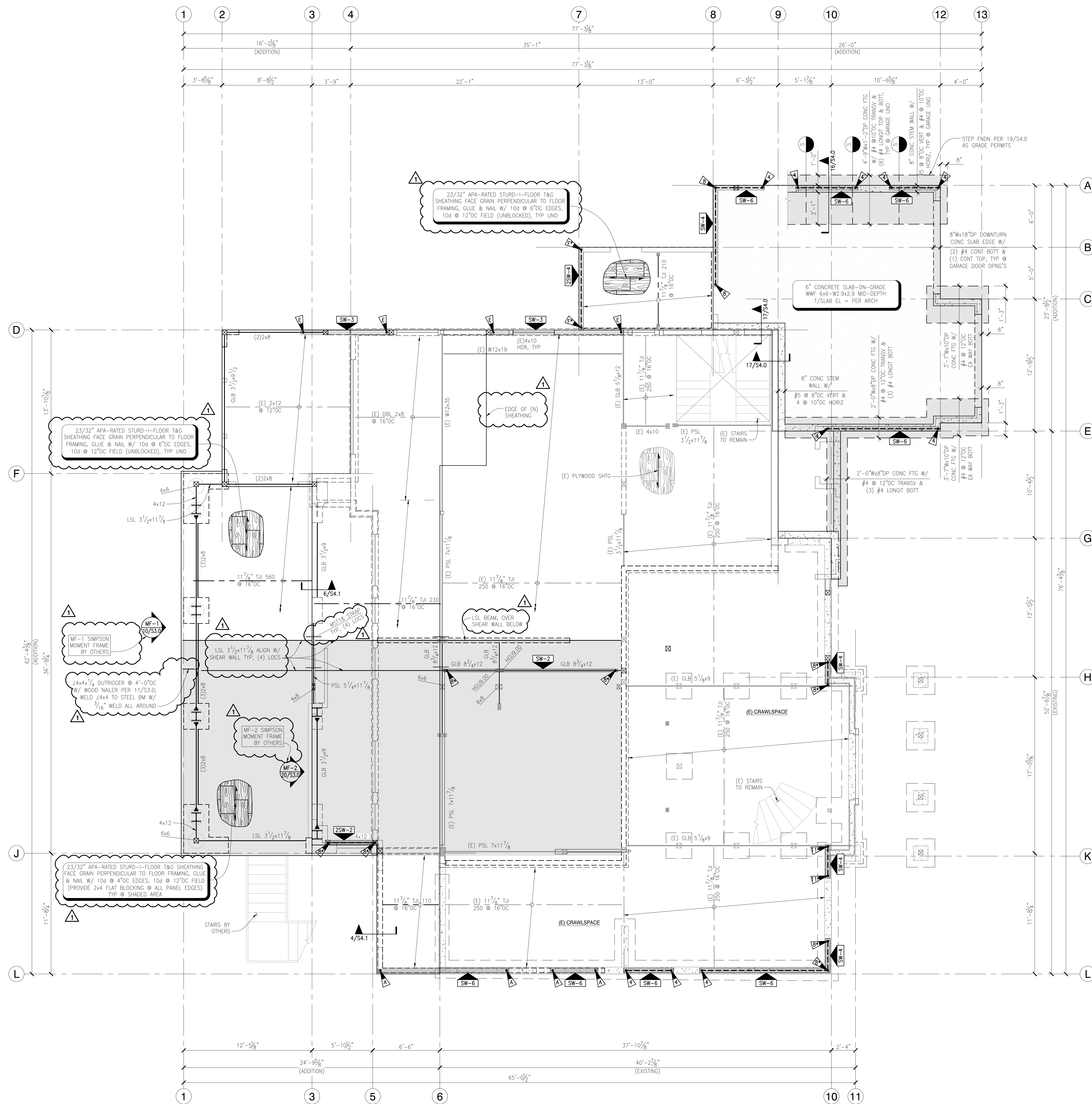
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STRUCTURAL FOUNDATION/ BASEMENT PLAN

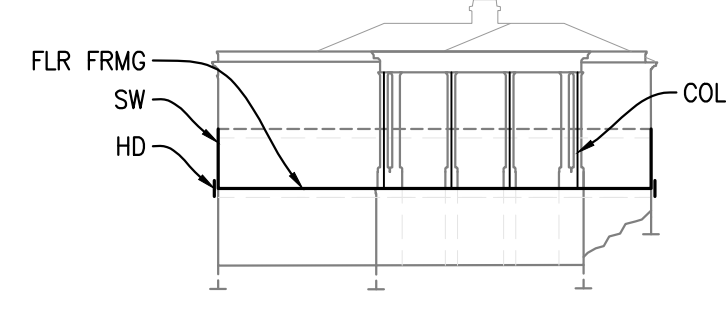
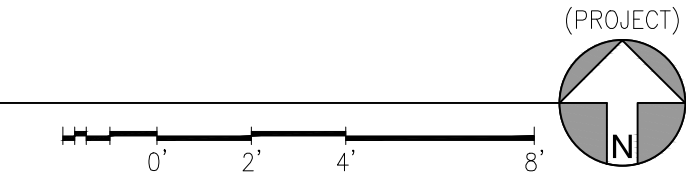
S2.0



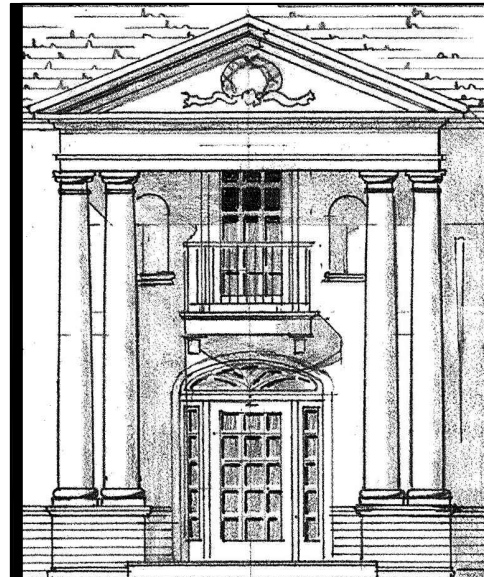
- MAIN FLOOR FRAMING PLAN NOTES:**
- DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. COLUMNS AND FOOTINGS ARE CENTERED ON GRID. TYPICAL. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED. ALL DIMENSIONS ARE TO INSIDE FACE OF CONCRETE, OUTSIDE FACE OF CONCRETE OR CENTERLINE OF GRID/STEEL. CONTINUOUS FOOTINGS ARE CENTERED UNDER WALLS/STRUCTURAL PANELS. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTING OR WALL PIER, UNO.
 - FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER DRAWINGS. FOR STAIR DETAILS AND GUARDRAILS, REFERENCE ARCHITECTURAL DRAWINGS.
 - AT ALL BEARING AND SHEAR WALLS, REFERENCE STUD GRADE, SIZES AND SPACING PER PLANS AND GENERAL NOTES.
 - ALL WOOD IN CONTACT WITH WEATHER-EXPOSED CONCRETE OR WITHIN 6" OF FINISHED GRADE SHALL BE PRESSURE-TREATED.
 - HANGERS: ALL 2X HANGERS TO BE SIMPSON LUS SERIES, UNO.
 - HEADERS SHOWN BUT NOT SPECIFIED ARE TO BE (2) 2X8 MINIMUM. HEADERS SHOWN SHALL BE SUPPORTED BY (2) STUDS MINIMUM, UNO ON PLAN.
 - CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORING.
 - ** INDICATES (2) HOLDINGS REQUIRED, TYPICAL UNO ON PLAN.

MAIN FLOOR FRAMING PLAN

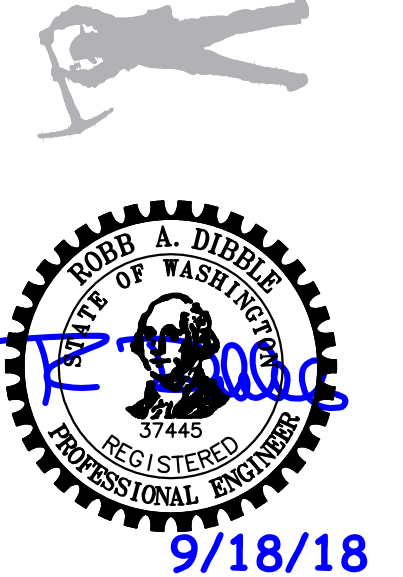
SCALE: 1/4" = 1'-0"



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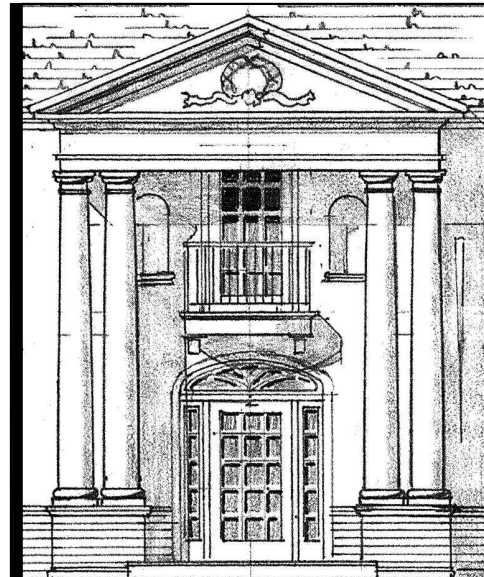
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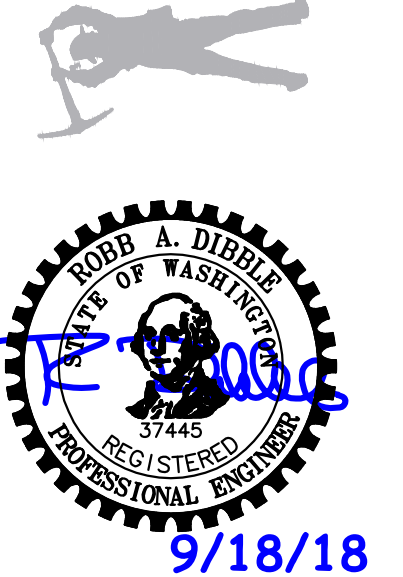
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STRUCTURAL MAIN FLOOR FRAMING PLAN

S2.1



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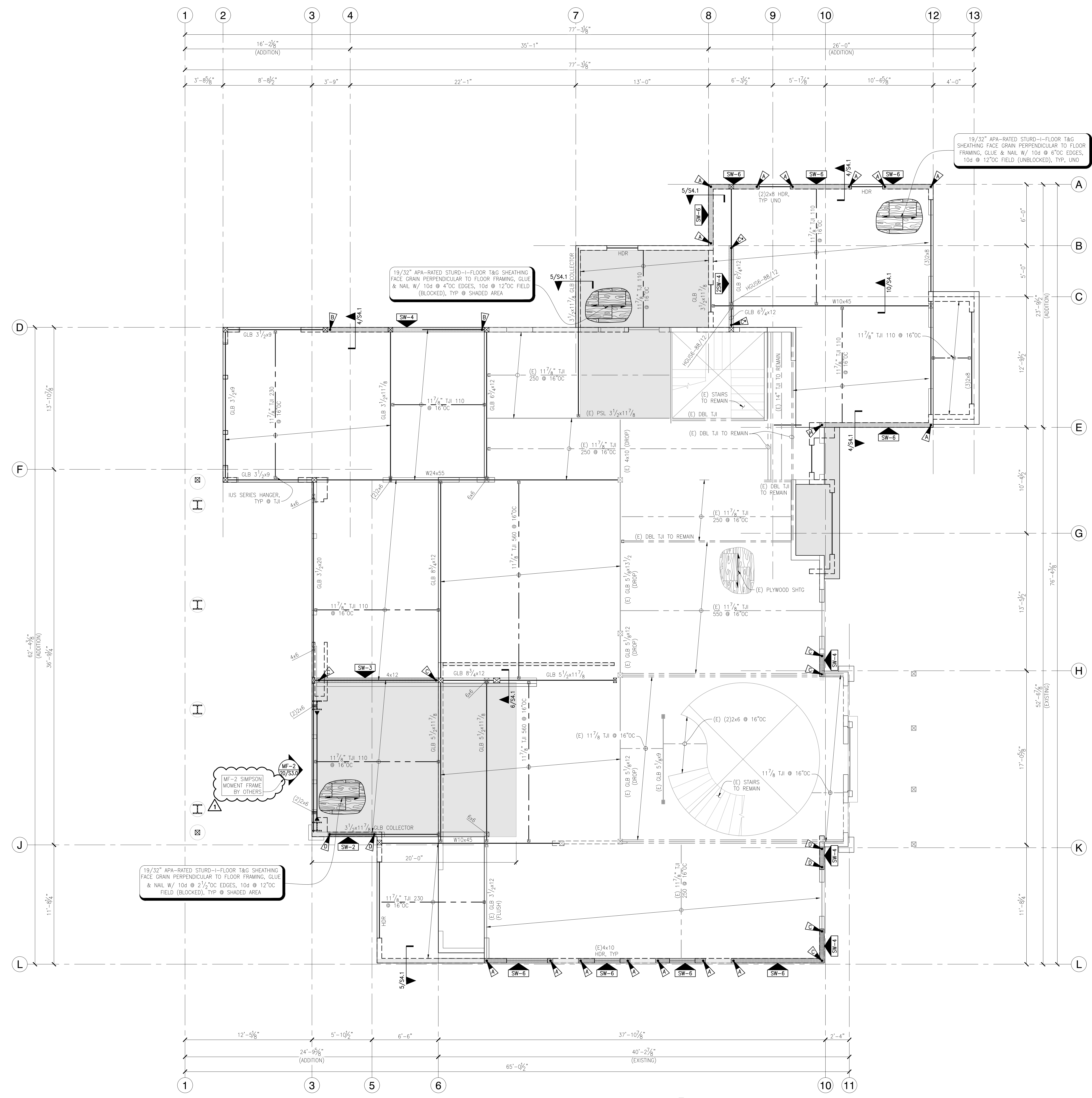
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STRUCTURAL UPPER FLOOR FRAMING PLAN

S2.2

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- UPPER FLOOR FRAMING PLAN NOTES:**
- DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS, COLUMNS AND FOOTINGS ARE CENTERED ON GRID, TYPICAL. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED. ALL DIMENSIONS ARE TO INSIDE FACE OF CONCRETE, OUTSIDE FACE OF CONCRETE OR CENTERLINE OF GRID/STEEL. CONTINUOUS FOOTINGS ARE CENTERED UNDER WALLS/STRUCTURAL PANELS. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTING OR WALL PIER, UNO.
 - FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER DRAWINGS. FOR STAIR DETAILS AND GUARDRAILS, REFERENCE ARCHITECTURAL DRAWINGS.
 - AT ALL BEARING AND SHEAR WALLS, REFERENCE STUD GRADE, SIZES AND SPACING PER PLANS AND GENERAL NOTES.
 - ALL WOOD IN CONTACT WITH WEATHER-EXPOSED CONCRETE OR WITHIN 6" OF FINISHED GRADE SHALL BE PRESSURE-TREATED.
 - HANGERS: ALL 2X HANGERS TO BE SIMPSON LUS SERIES, UNO.
 - HEADERS SHOWN BUT NOT SPECIFIED ARE TO BE (2) 2X8 MINIMUM. HEADERS SHOWN SHALL BE SUPPORTED BY (2) STUDS MINIMUM, UNO ON PLAN.
 - CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORING.
 - ** INDICATES (2) HOLDDOWNS REQUIRED, TYPICAL UNO ON PLAN.

19/32" APA-RATED STURD-I-FLOOR T&G SHEATHING
FACE GRAIN PERPENDICULAR TO FLOOR FRAMING, GLUE
& NAIL W/ 10d @ 2 1/2" OC EDGES, 10d @ 12" OC
FIELD (BLOCKED), TYP @ SHADED AREA

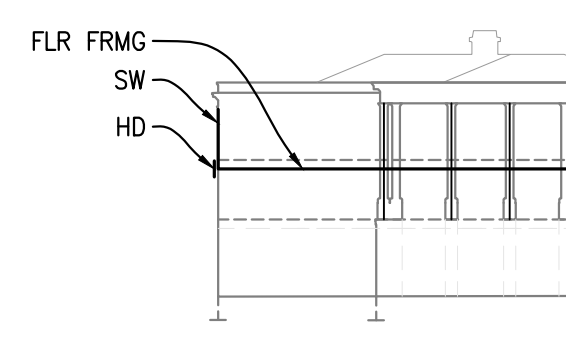
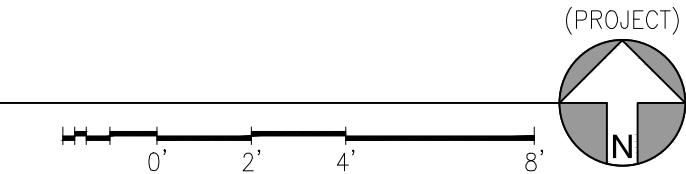
19/32" APA-RATED STURD-I-FLOOR T&G SHEATHING
FACE GRAIN PERPENDICULAR TO FLOOR FRAMING, GLUE
& NAIL W/ 10d @ 4" OC EDGES, 10d @ 12" OC FIELD
(BLOCKED), TYP @ SHADED AREA

19/32" APA-RATED STURD-I-FLOOR T&G
SHEATHING FACE GRAIN PERPENDICULAR TO FLOOR
FRAMING, GLUE & NAIL W/ 10d @ 6" OC EDGES,
10d @ 12" OC FIELD (UNBLOCKED), TYP, UNO

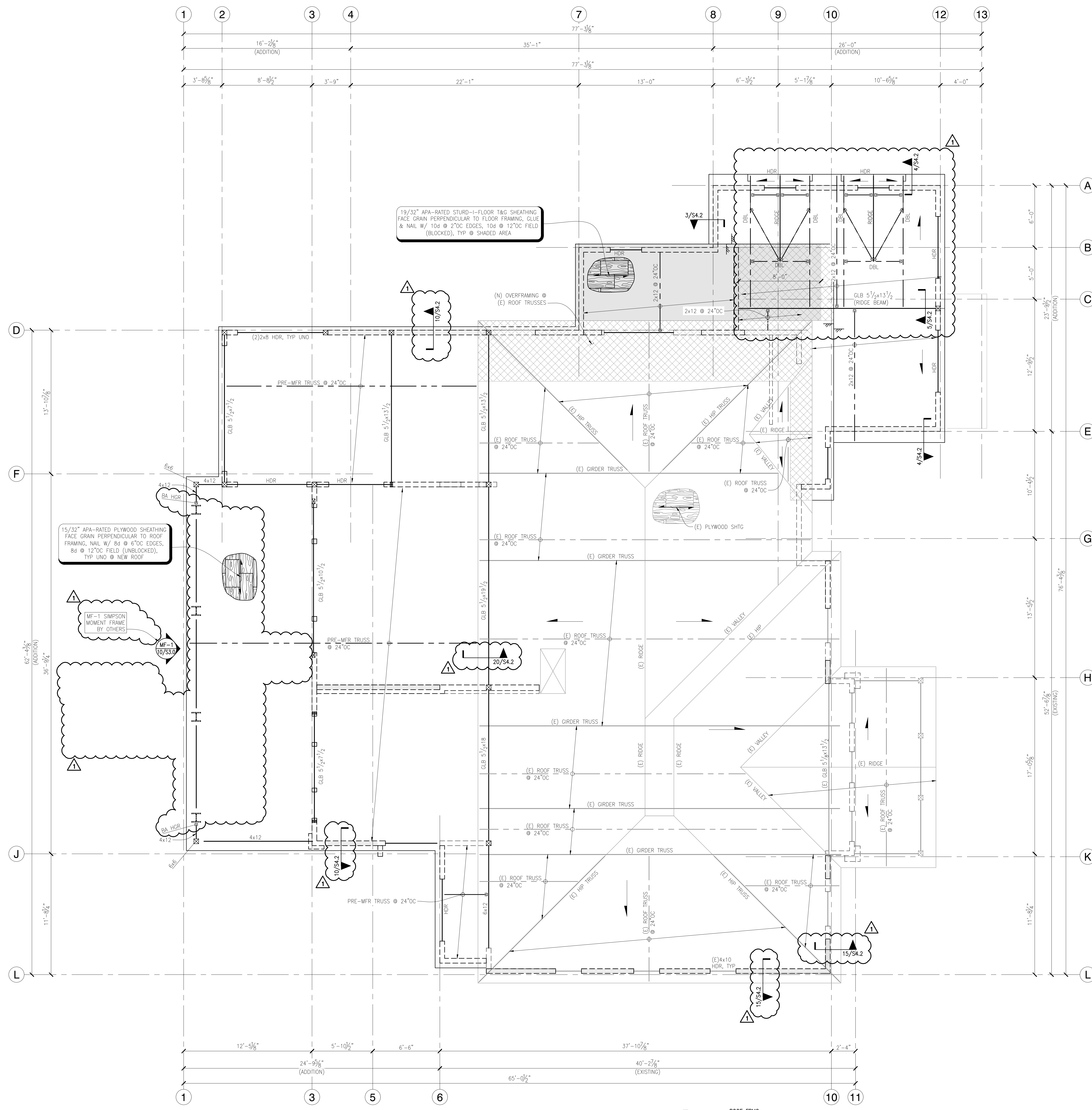
MF-2 SIMPSON
MOMENT FRAME
BY OTHERS

19/32" APA-RATED STURD-I-FLOOR T&G SHEATHING
FACE GRAIN PERPENDICULAR TO FLOOR FRAMING, GLUE
& NAIL W/ 10d @ 2 1/2" OC EDGES, 10d @ 12" OC
FIELD (BLOCKED), TYP @ SHADED AREA

UPPER FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



NOTE: CONTRACTOR TO VERIFY ALL EXISTING
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PRIOR TO FABRICATION & CONSTRUCTION.
NOTIFY DEI OF ANY DISCREPANCIES FOR
FURTHER DIRECTION

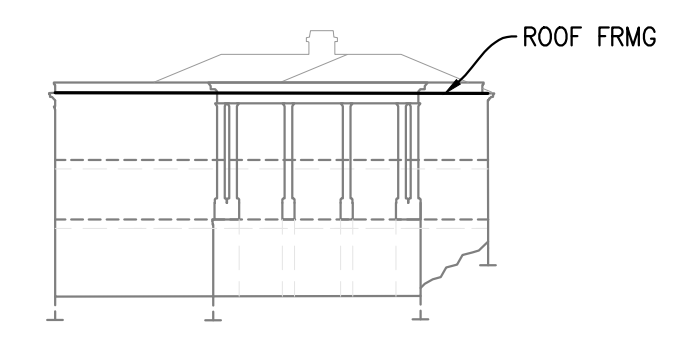
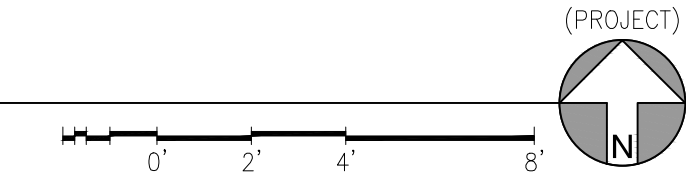


ROOF FRAMING PLAN NOTES:

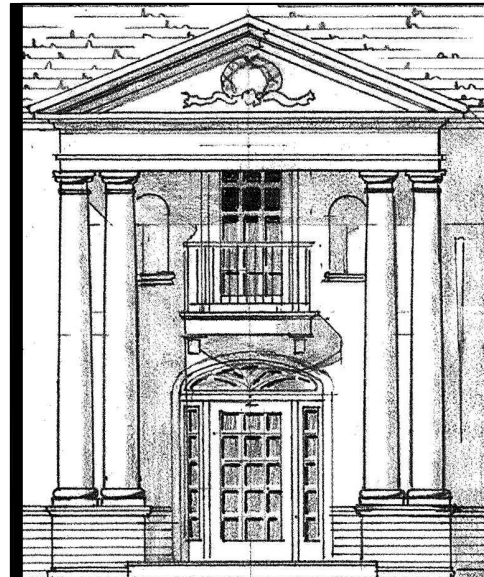
- FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS AND LEGEND, REFERENCE SHEET S1.0.
- DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. COLUMNS AND FOOTINGS ARE CENTERED ON GRID. TYPICAL UNO ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED. ALL DIMENSIONS ARE TO INSIDE FACE OF CONCRETE, OUTSIDE FACE OF CONCRETE OR CENTERLINE OF GRID/STEEL. CONTINUOUS FOOTINGS ARE CENTERED UNDER WALLS/STRUCTURAL PANELS, UNO. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTING OR WALL PIER, UNO.
- FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER DRAWINGS. FOR STAIR DETAILS AND GUARDRAILS, REFERENCE ARCHITECTURAL DRAWINGS.
- FOR CONCRETE SHEAR WALLS OR MOMENT FRAME MEMBER SIZES, REFER TO ELEVATIONS.
- AT ALL WOOD-FRAMED, BEARING AND SHEAR WALLS, REFERENCE STUD GRADE, SIZES AND SPACING PER GENERAL NOTES. ALL EXTERIOR WALL STUDS 12'-0" HIGH OR GREATER, USE (2) SISTER STUDS AT 16'OC, UNO.
- TOP PLATE BEARING WALL ELEVATION PER ARCHITECTURAL DRAWINGS.
- BALLOON FRAME ALL WALLS GREATER THAN ONE LEVEL WITHOUT FLOOR OR ROOF SUPPORT.
- BLOCKING: PROVIDE SOLID BLOCKING OVER ALL SHEAR WALLS AND BEARING WALLS. AT SHEAR WALLS PARALLEL TO FRAMING, ALIGN (1) ROOF TRUSS OR CONTINUOUS BLOCKING OVER SHEAR WALLS. ADDITIONAL ROOF TRUSSES MAY BE REQUIRED TO ACCOMMODATE BLOCKING.
- HEADERS SHOWN BUT NOT SPECIFIED ARE TO BE (2) 2X8 MINIMUM. HEADERS SHOWN SHALL BE SUPPORTED BY (2) STUDS MINIMUM, UNO ON PLAN. BEAMS AND HEADERS ARE TO BE FLUSH FRAMED WITH JOISTS, UNLESS NOTED AS "DROP" INDICATING THAT DROPPED BEAM FRAMING IS REQUIRED.
- ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING CRITERIA:
 - REFER TO THE STRUCTURAL GENERAL NOTES FOR STANDARD DEAD AND LIVE LOADS AND SUBMITTAL INFORMATION.
 - TRUSS LAYOUT SHOWN IS APPROXIMATE. TRUSS SUPPLIER IS RESPONSIBLE FOR FINAL TRUSS LAYOUT AND CONFIGURATION. NOTIFY ENGINEER OF REVISIONS TO PLAN.
 - SHADED REGION INDICATES APPROXIMATE AREA OF OVER FRAMING. TRUSS MANUFACTURER IS RESPONSIBLE FOR DESIGNING THE OVER FRAMING REQUIRED. TRUSSES SHALL BE DESIGNED TO SUPPORT OVER FRAMING IN ADDITION TO THE STANDARD DESIGN LOADS.
 - PROVIDE SIMPSON H1 HURRICANE TIES AT ALL ROOF TRUSSES AND ROOF JOISTS, TYP, UNO.
- 2000# INDICATES SHEAR TRANSFER LOAD IN ROOF TRUSS TO BE LOCATED ABOVE SHEAR WALLS TRUSS MANUFACTURER SHALL DESIGN THESE TRUSSES FOR THE LATERAL LOAD SPECIFIED ON PLAN, IN BRACKETS, IN ADDITION TO THE DESIGN DEAD AND LIVE LOADS.
- SIMPSON STRAP TIES INDICATED ON THE SHEAR WALL PLANS ARE TO BE CENTERED OVER WALL TOP PLATE AND/OR HEADER. BLOCKING OR BEAM CONTRACTOR SHALL COORDINATE ADDITIONAL WALL FURRING REQUIRED AT BEAMS AND POSTS WITH CONNECTORS OR HOLDINGS THAT EXCEED THE NOMINAL WALL THICKNESS.
- CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORING.

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



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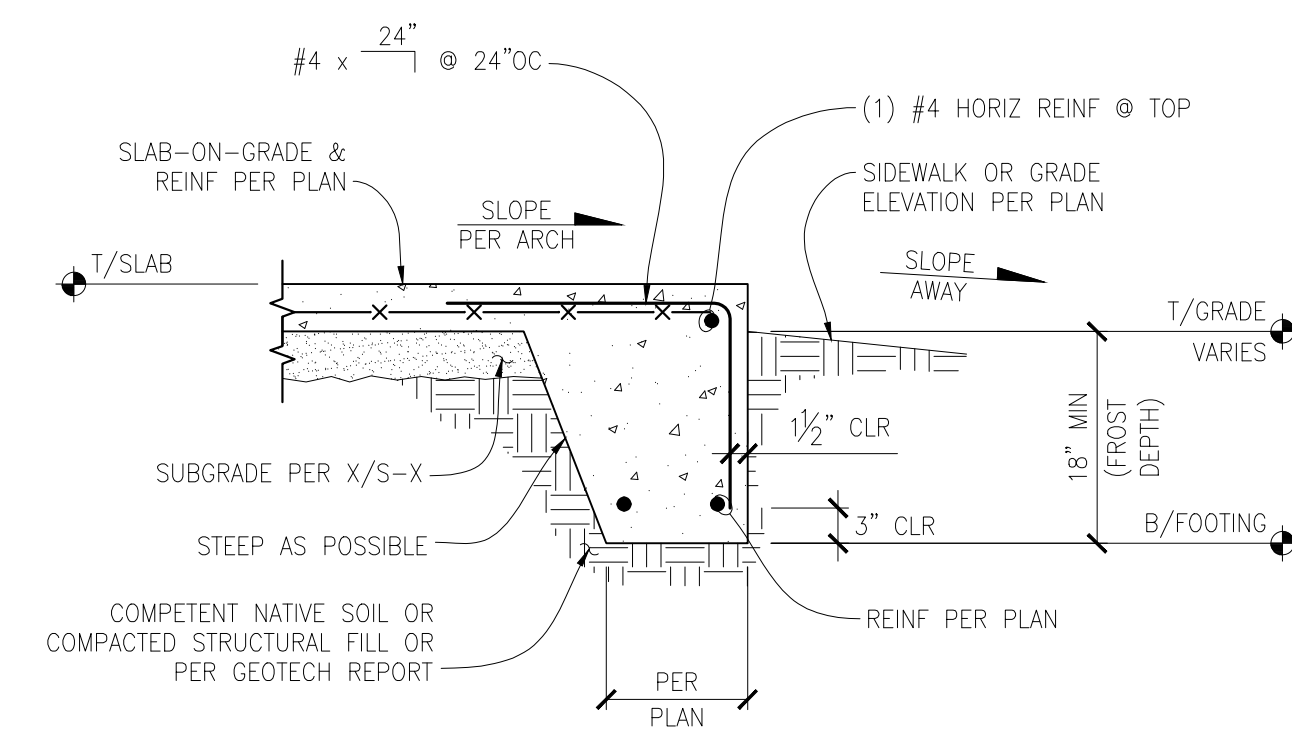
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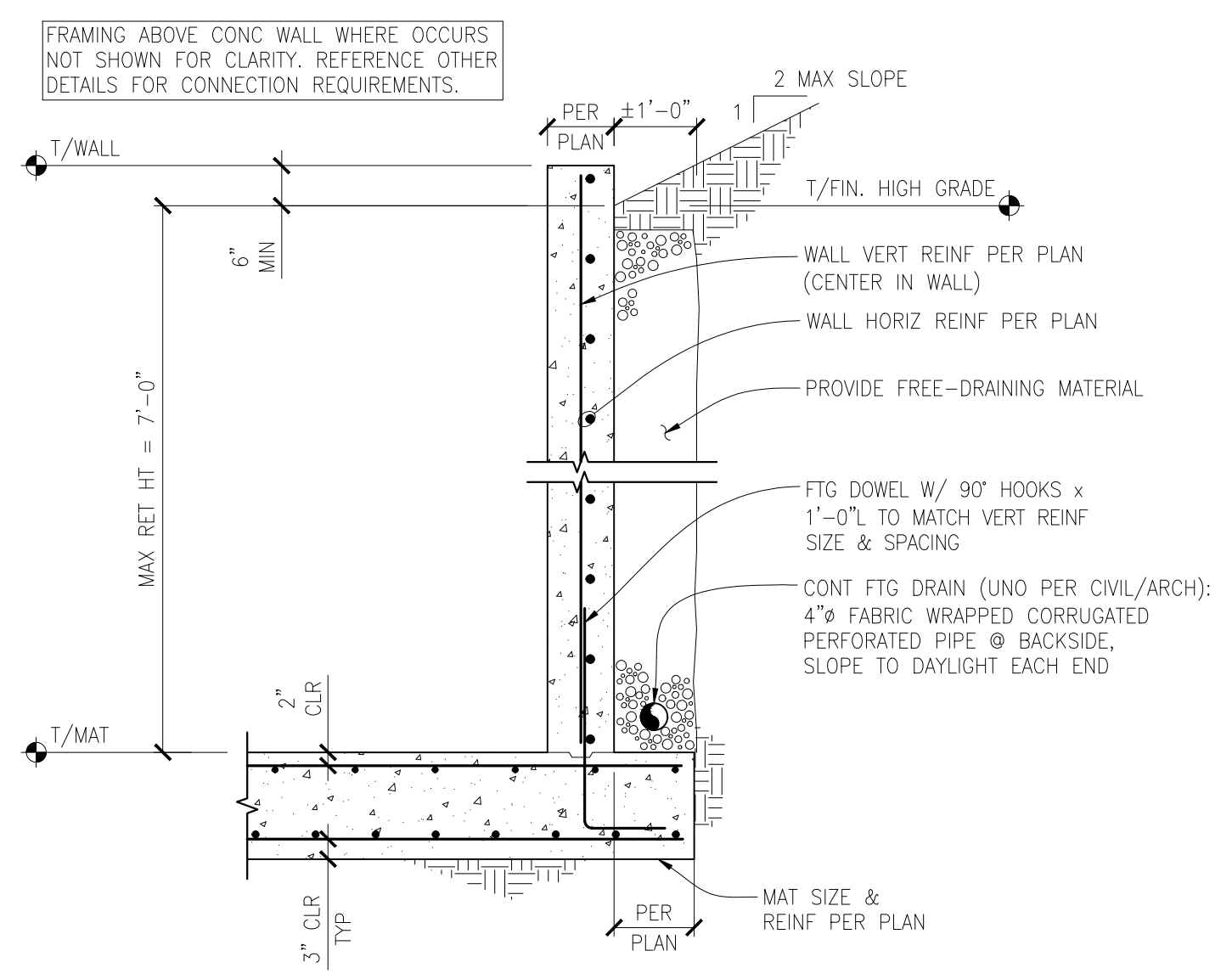
DATE: 05/19/2017
JOB NUMBER: 17-291
DRAWN BY: SAT/TLE
DESIGNED BY: JBB

STRUCTURAL ROOF FRAMING PLAN

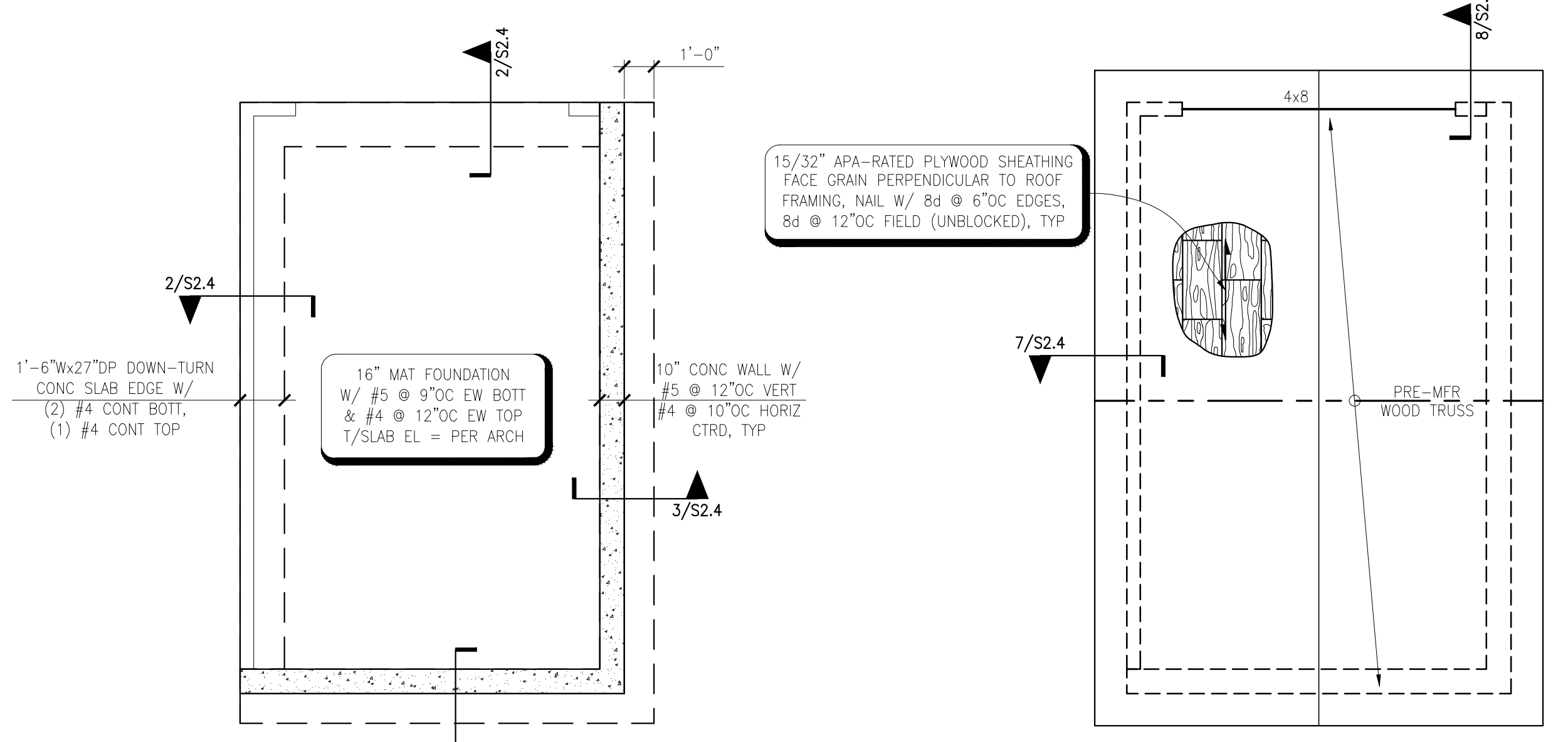
S2.3



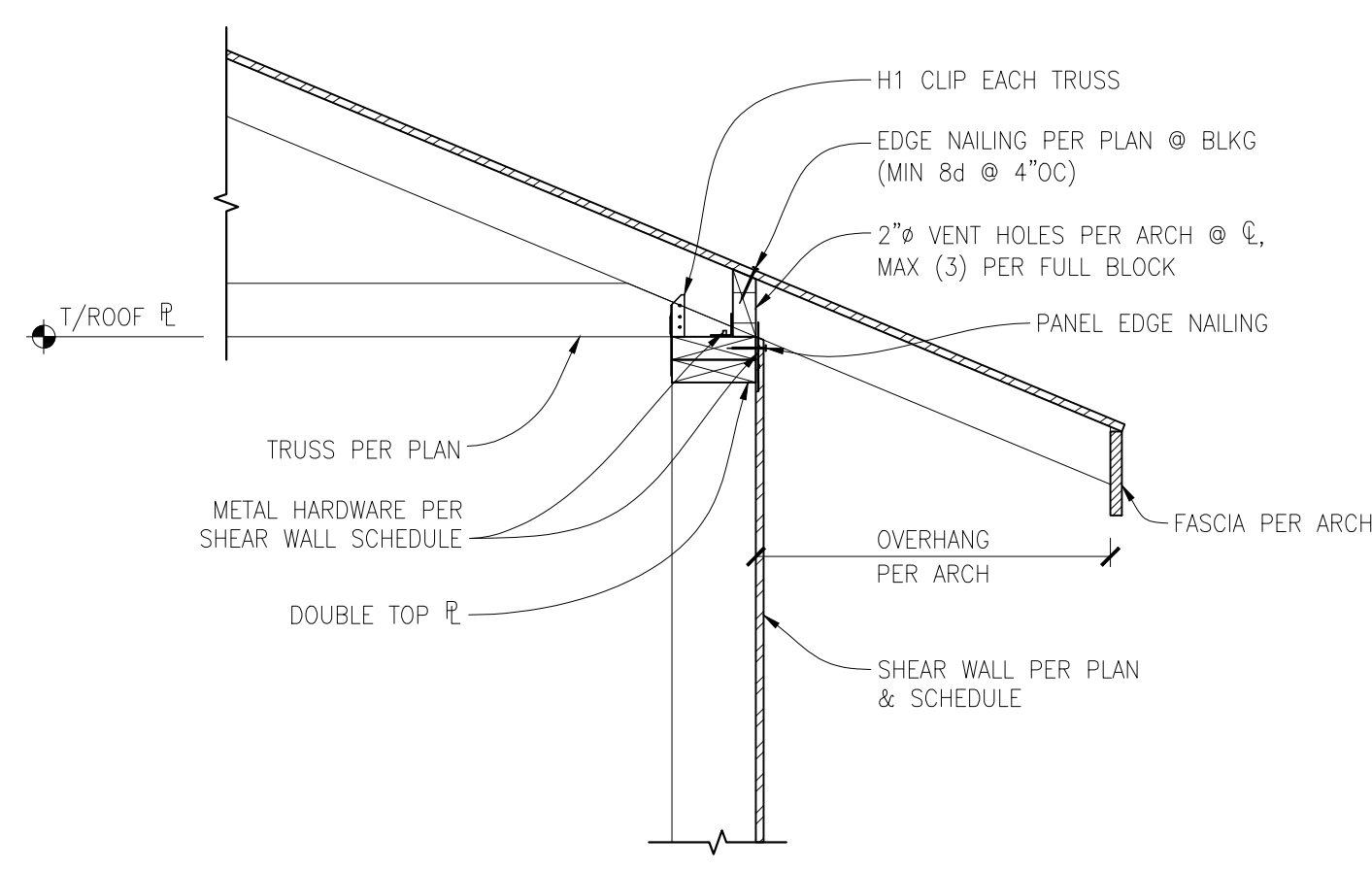
GARAGE TYPICAL THICKENED SLAB EDGE FOOTING
SCALE: N.T.S.



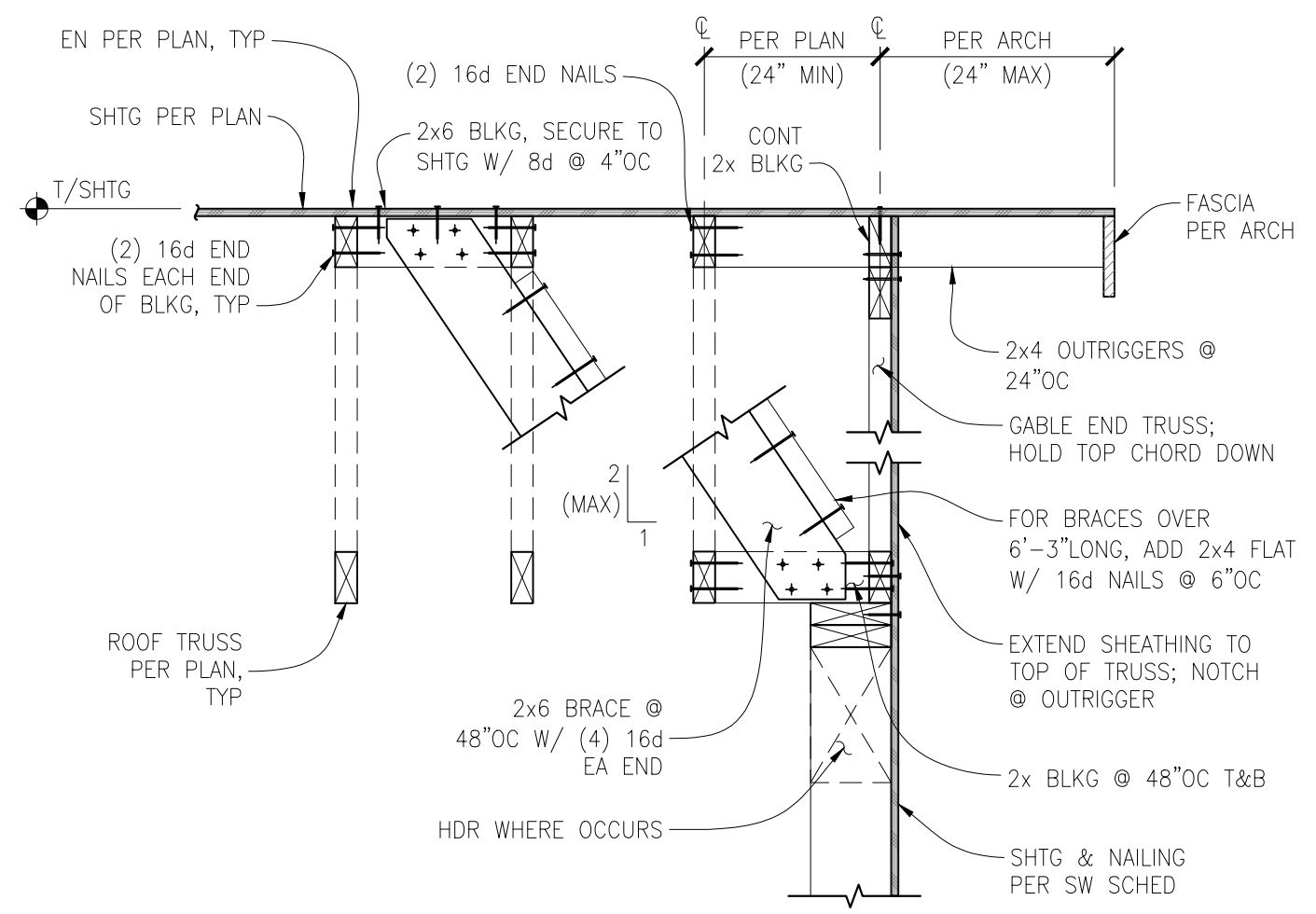
GARAGE CONCRETE RETAINING WALL AND MAT FOUNDATION
SCALE: N.T.S.



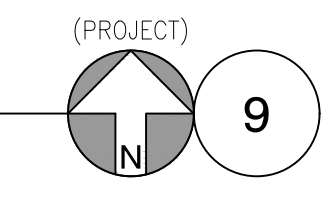
GARAGE FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



EXTERIOR SHEAR WALL PERPENDICULAR TO ROOF TRUSS
SCALE: 1" = 1'-0"



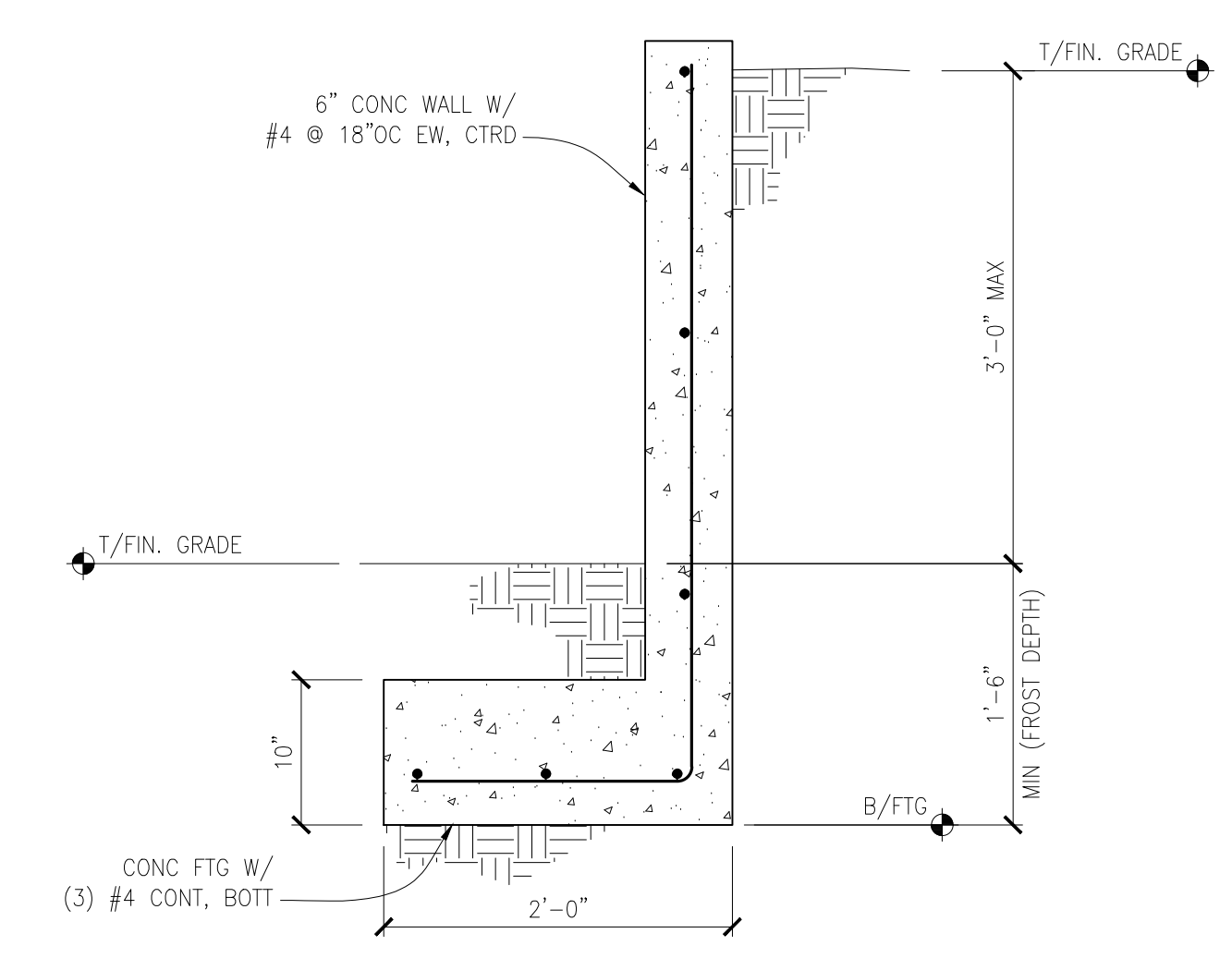
EXTERIOR SHEAR WALL PARALLEL TO ROOF TRUSS (GABLE END)
SCALE: N.T.S.



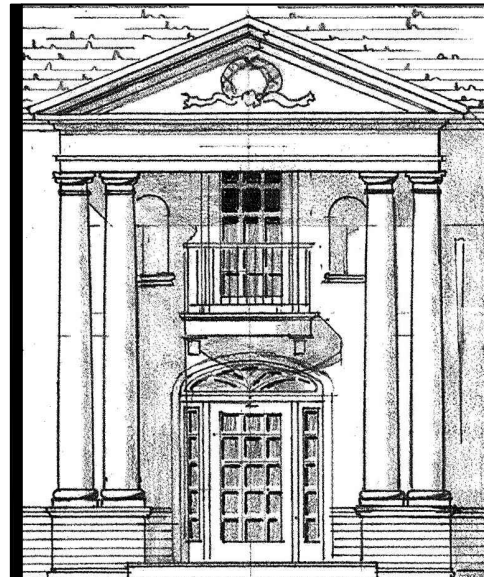
GARAGE ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



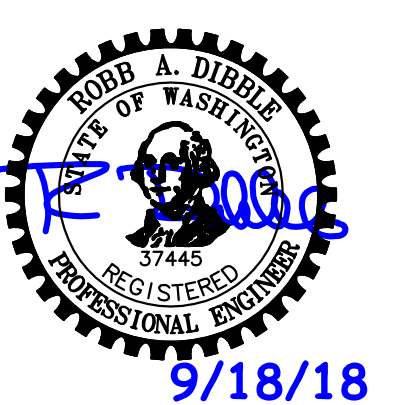
GARAGE ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



SITE RETAINING WALL
SCALE: 1" = 1'-0"



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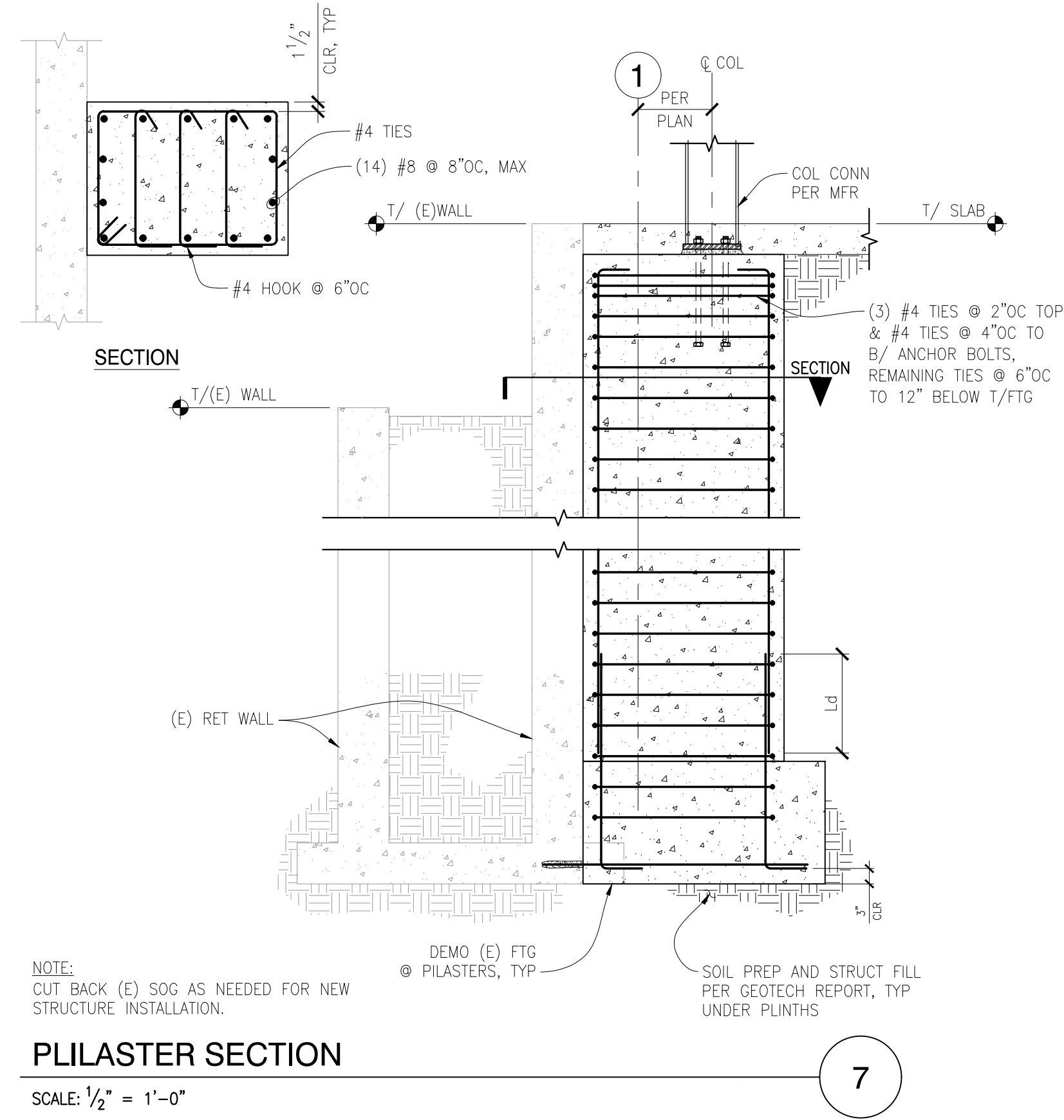
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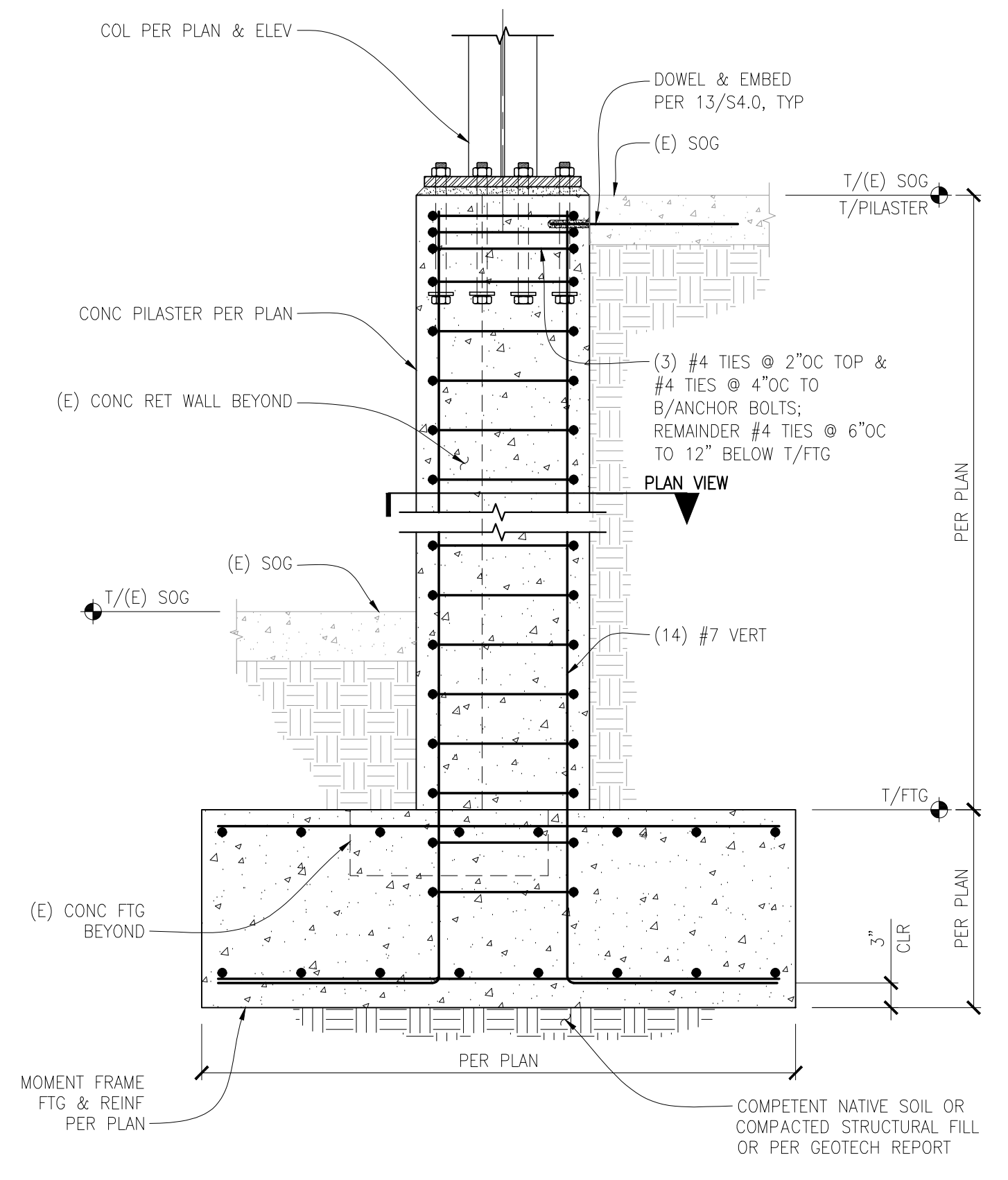
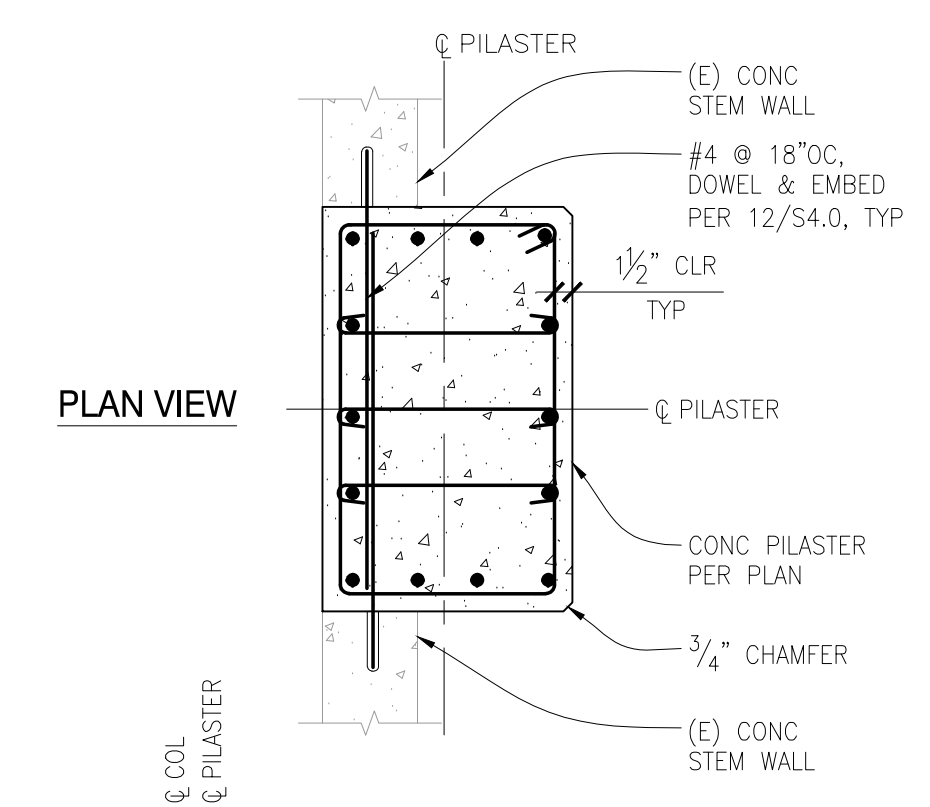
STRUCTURAL GARAGE/CABANA PLANS & DETAILS

S2.4



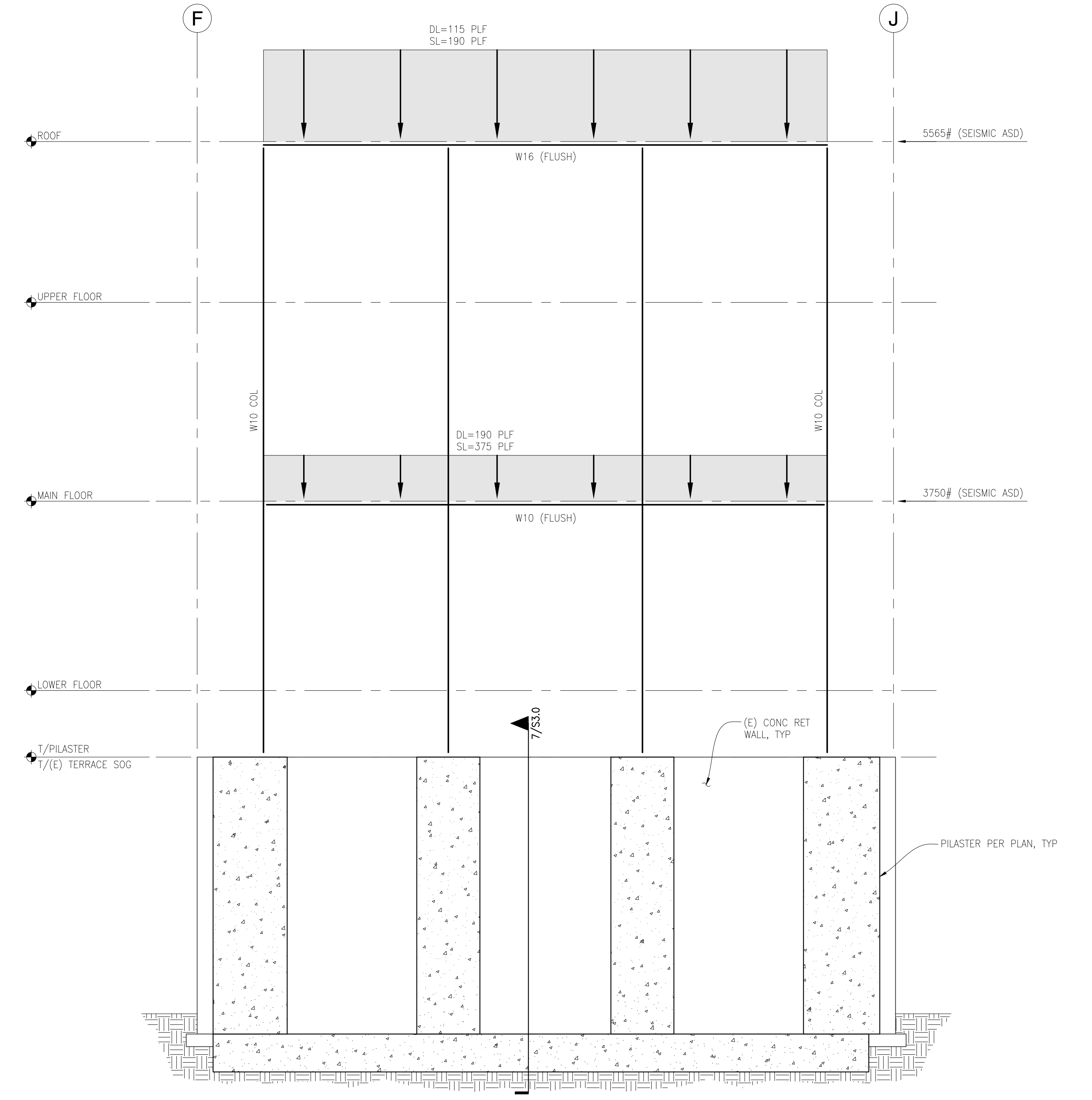
PILASTER SECTION
SCALE: 1/2" = 1'-0"

7



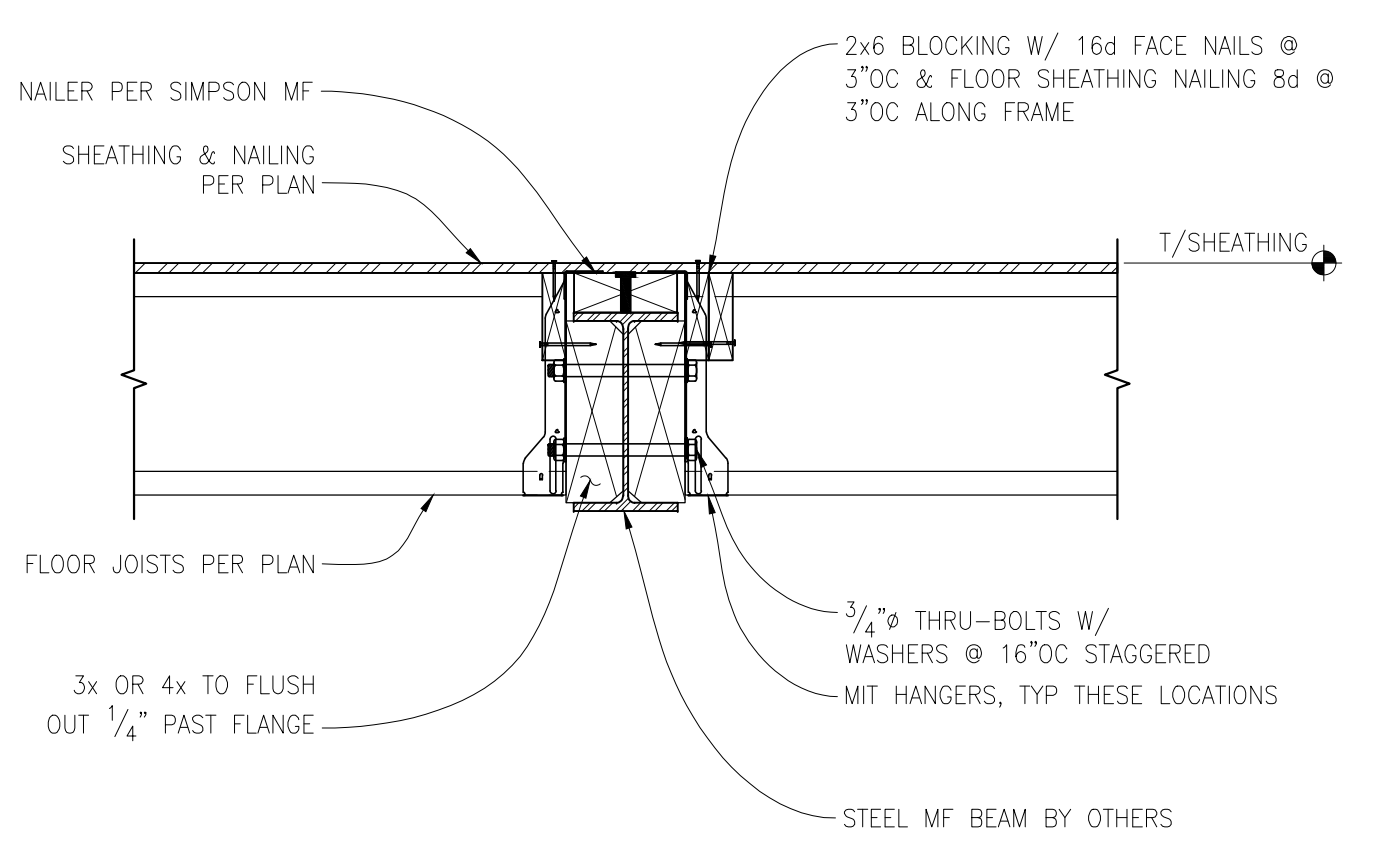
MF-2 PILASTER AND FOOTING
SCALE: 3/4" = 1'-0"

18



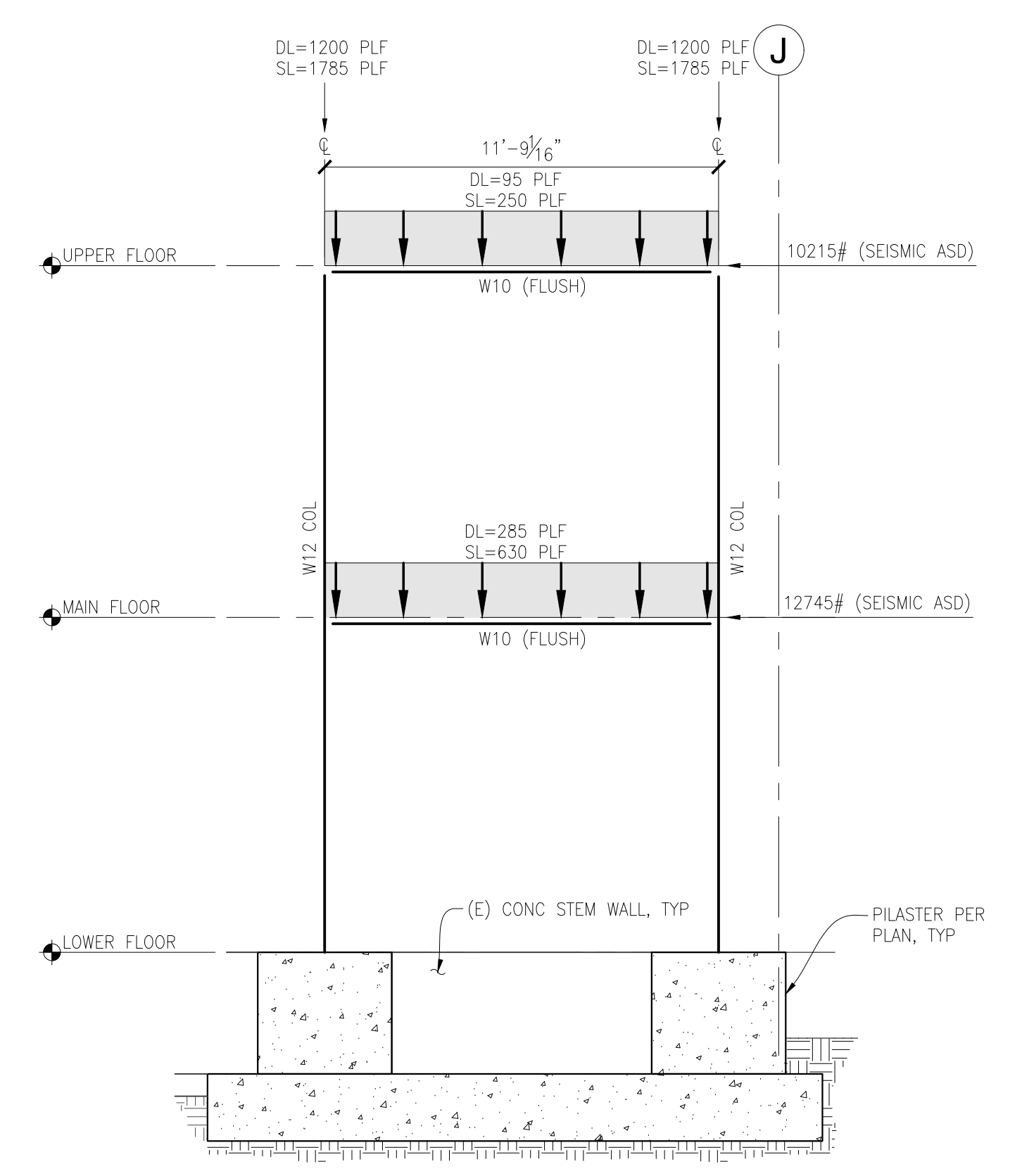
SIMPSON MOMENT FRAME (MF-1) ELEVATION
SCALE: 1/4" = 1'-0"

10



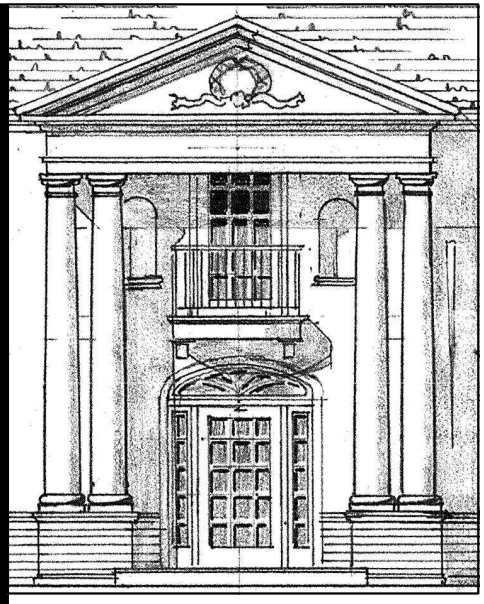
TYPICAL JOIST TO FLUSH WIDE FLANGE BEAM
SCALE: 1" = 1'-0"

19

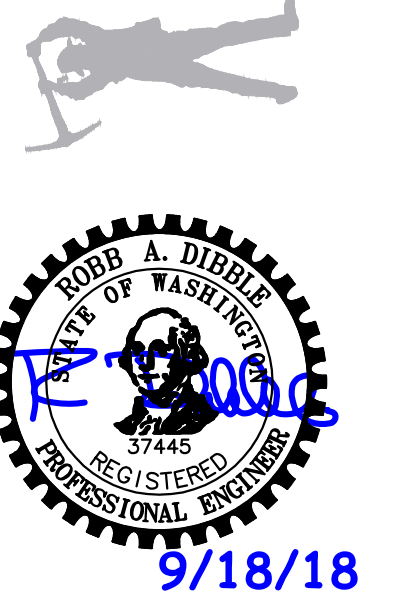


SIMPSON MOMENT FRAME (MF-2) ELEVATIONS
SCALE: 1/4" = 1'-0"

20



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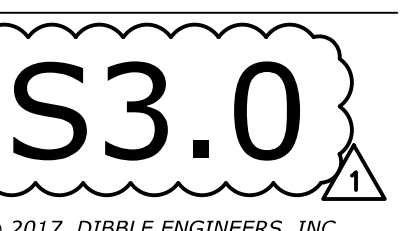
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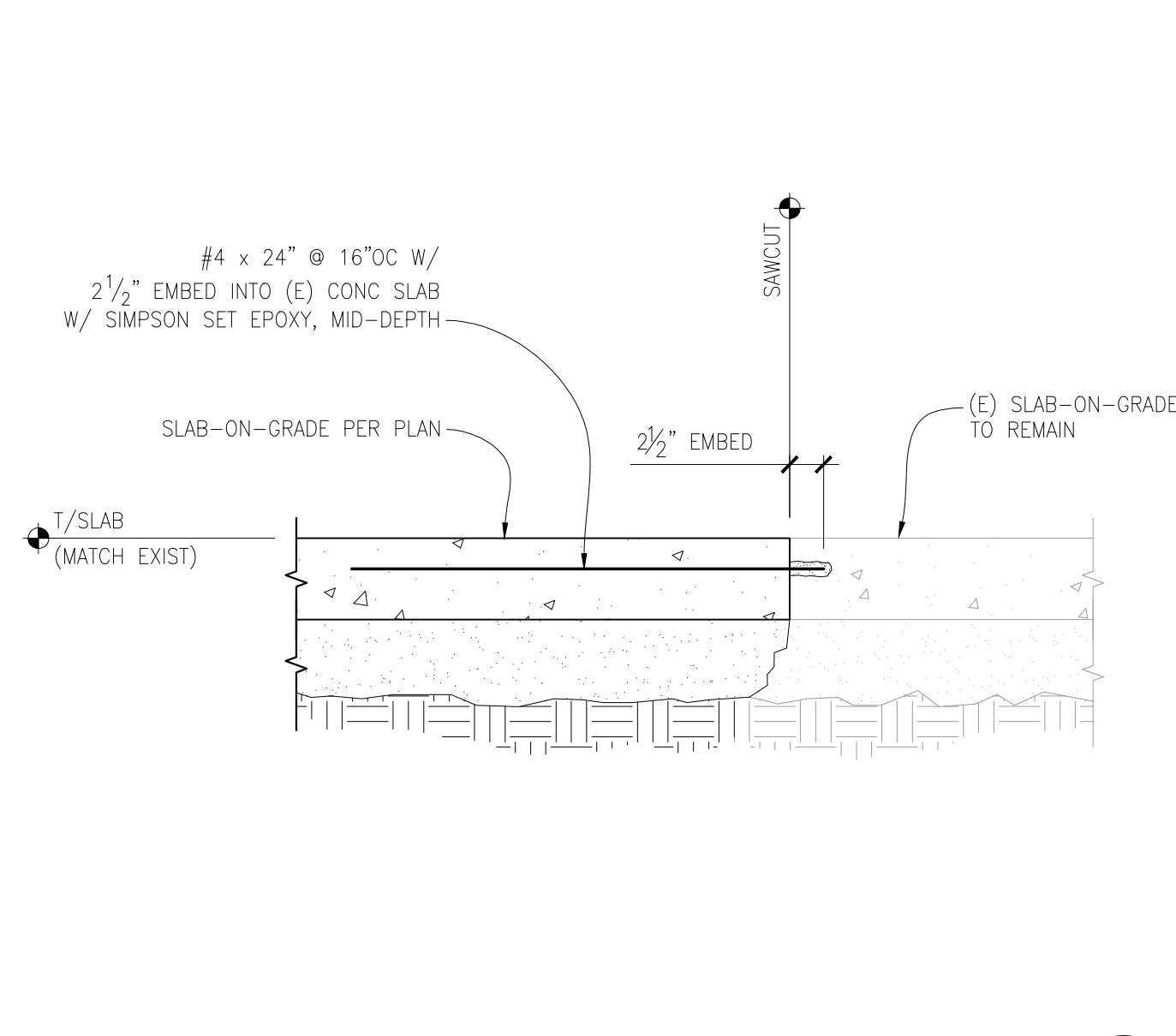
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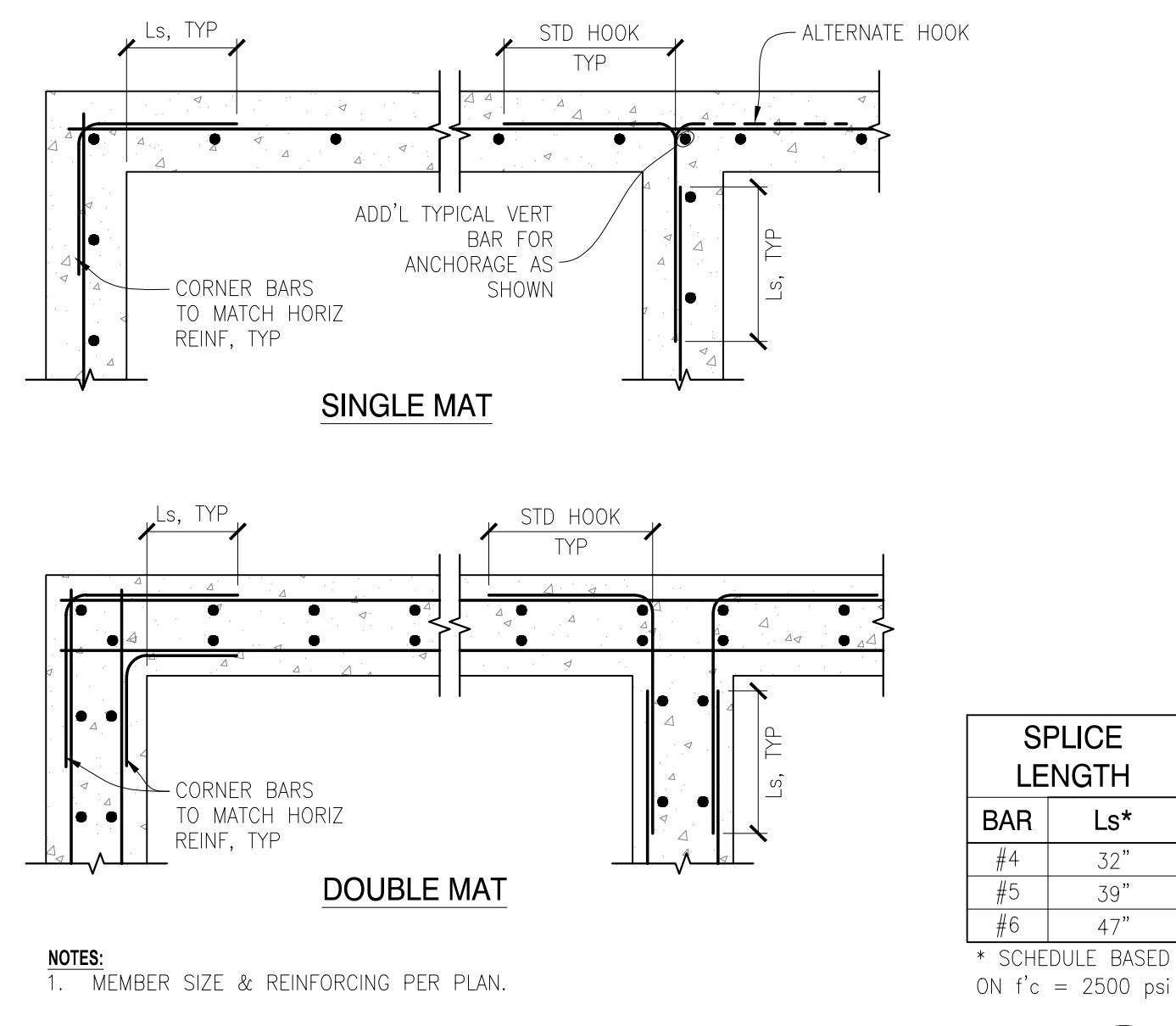
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**STRUCTURAL
DETAILS &
ELEVATIONS**

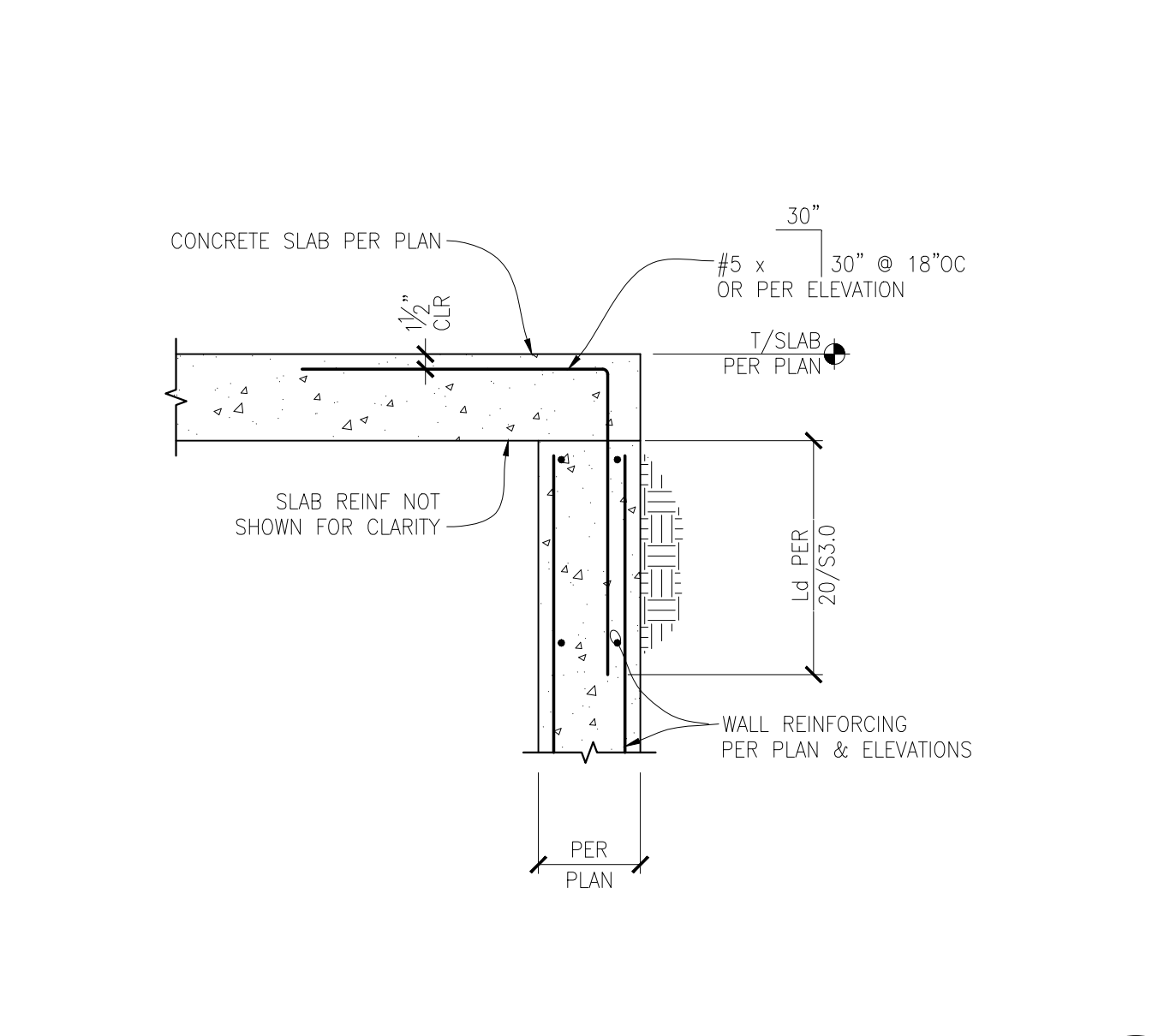




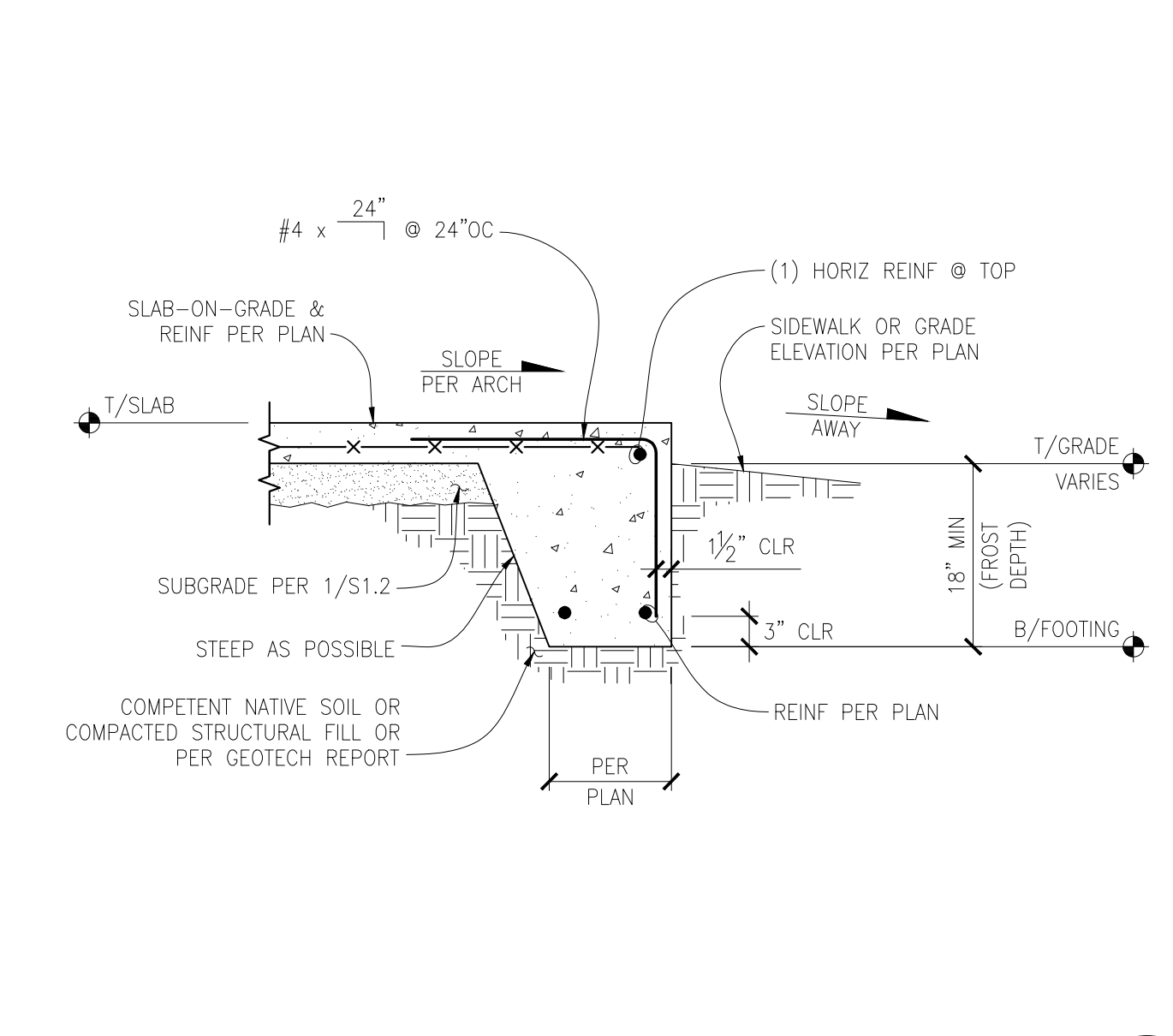
NEW SLAB TO EXISTING SLAB-ON-GRADE
SCALE: N.T.S.



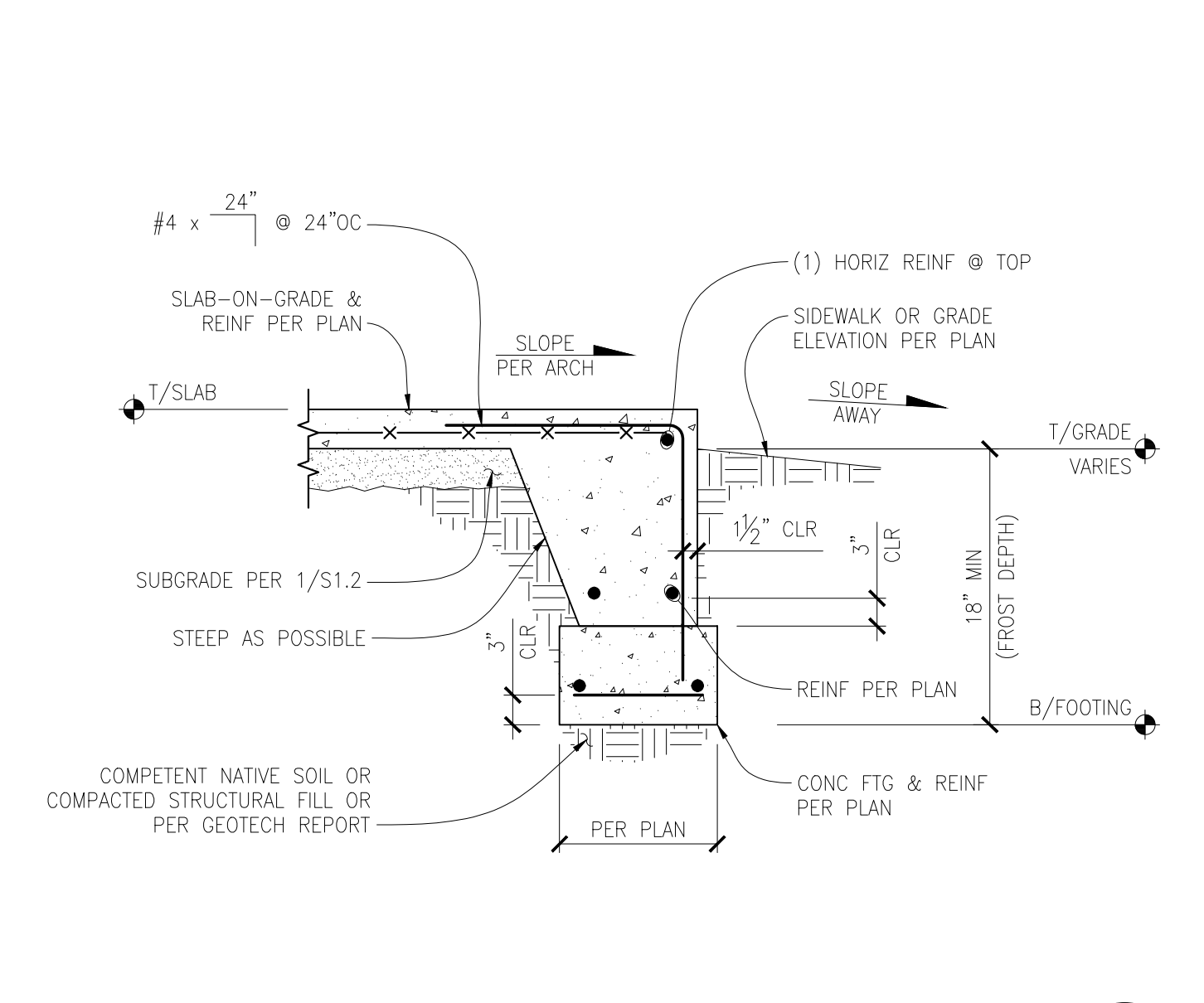
TYPICAL CONCRETE MEMBER INTERSECTIONS
SCALE: N.T.S.



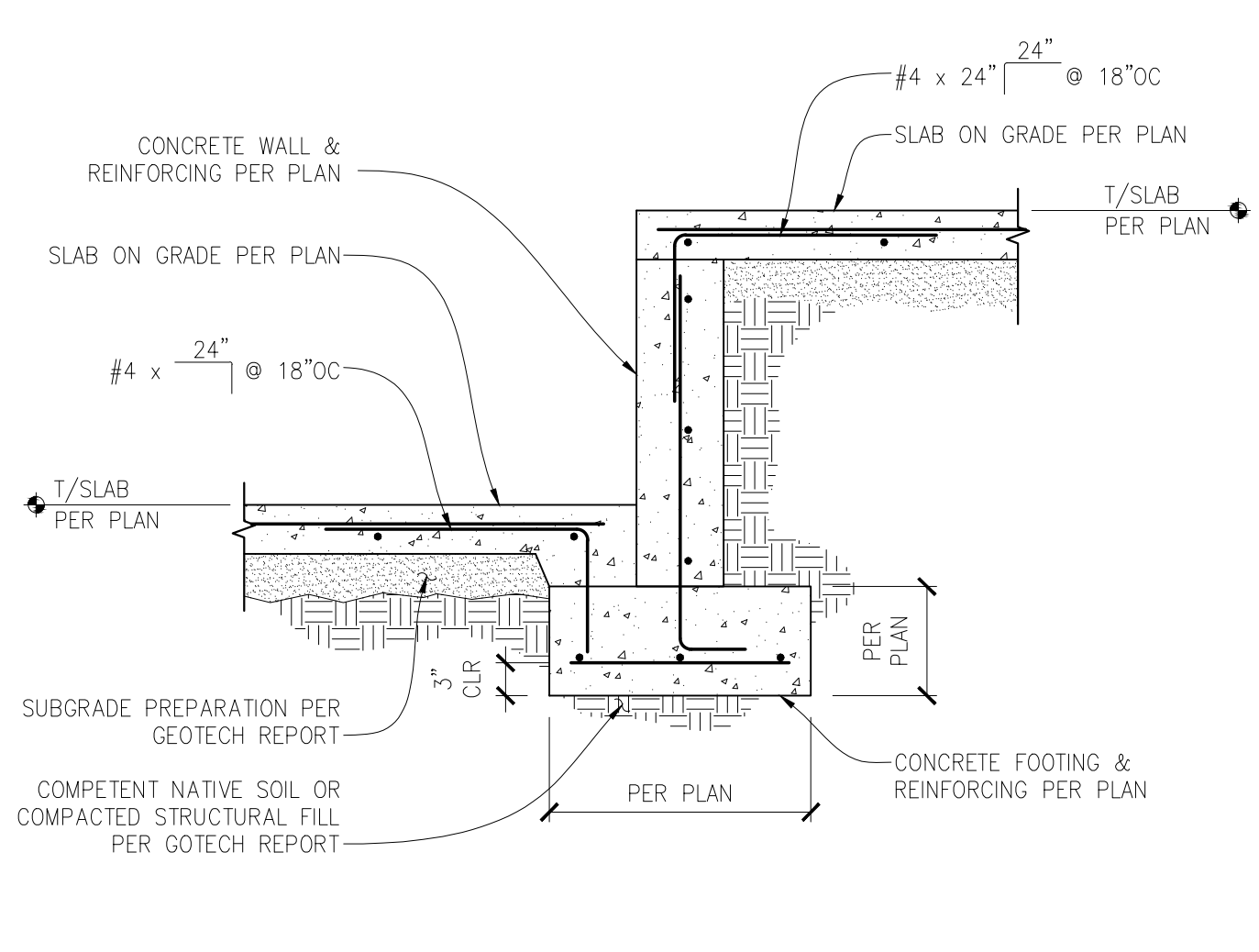
TYPICAL SLAB AT TOP OF WALL
SCALE: N.T.S.



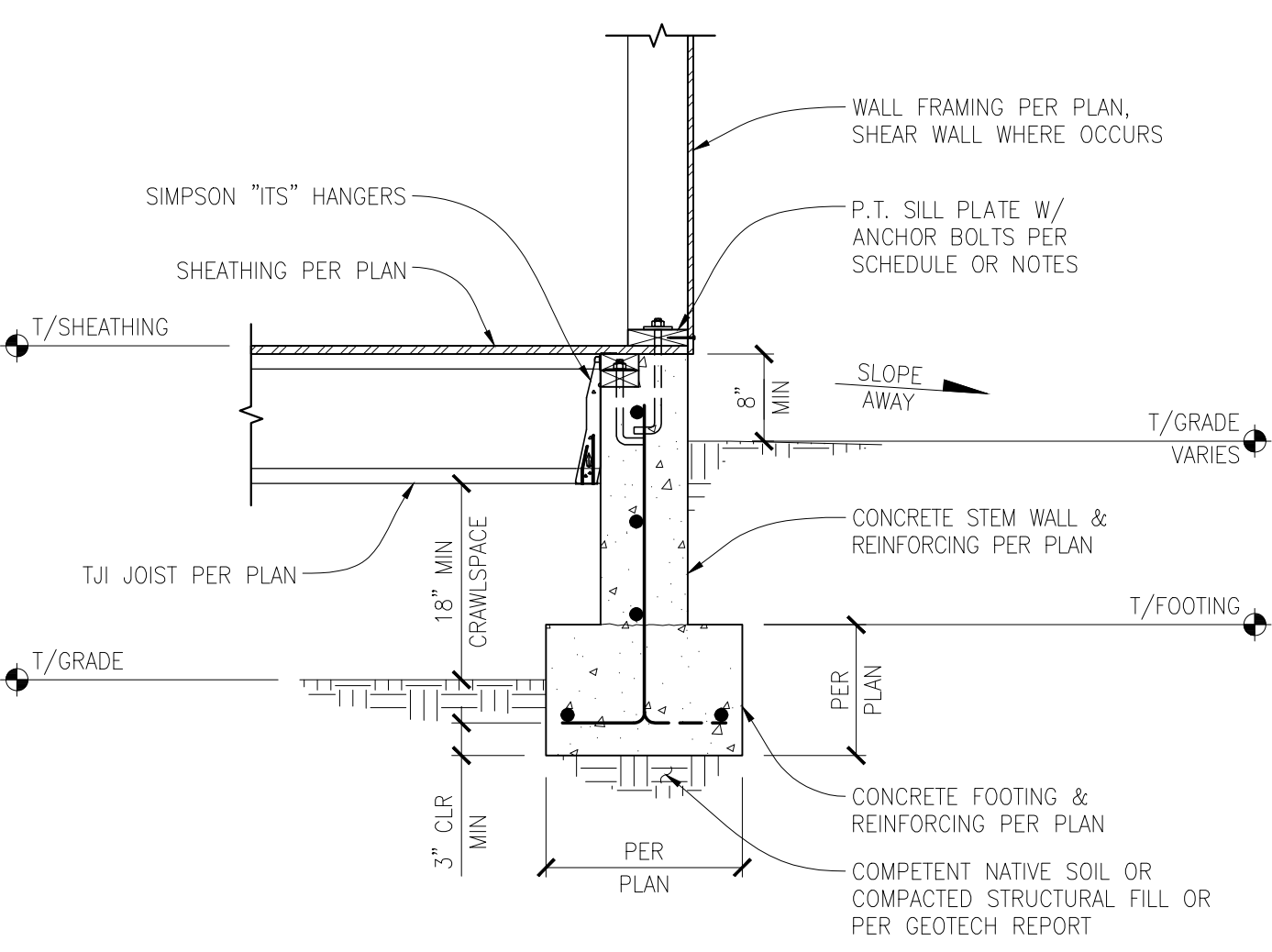
TYPICAL THICKENED SLAB EDGE FOOTING
SCALE: N.T.S.



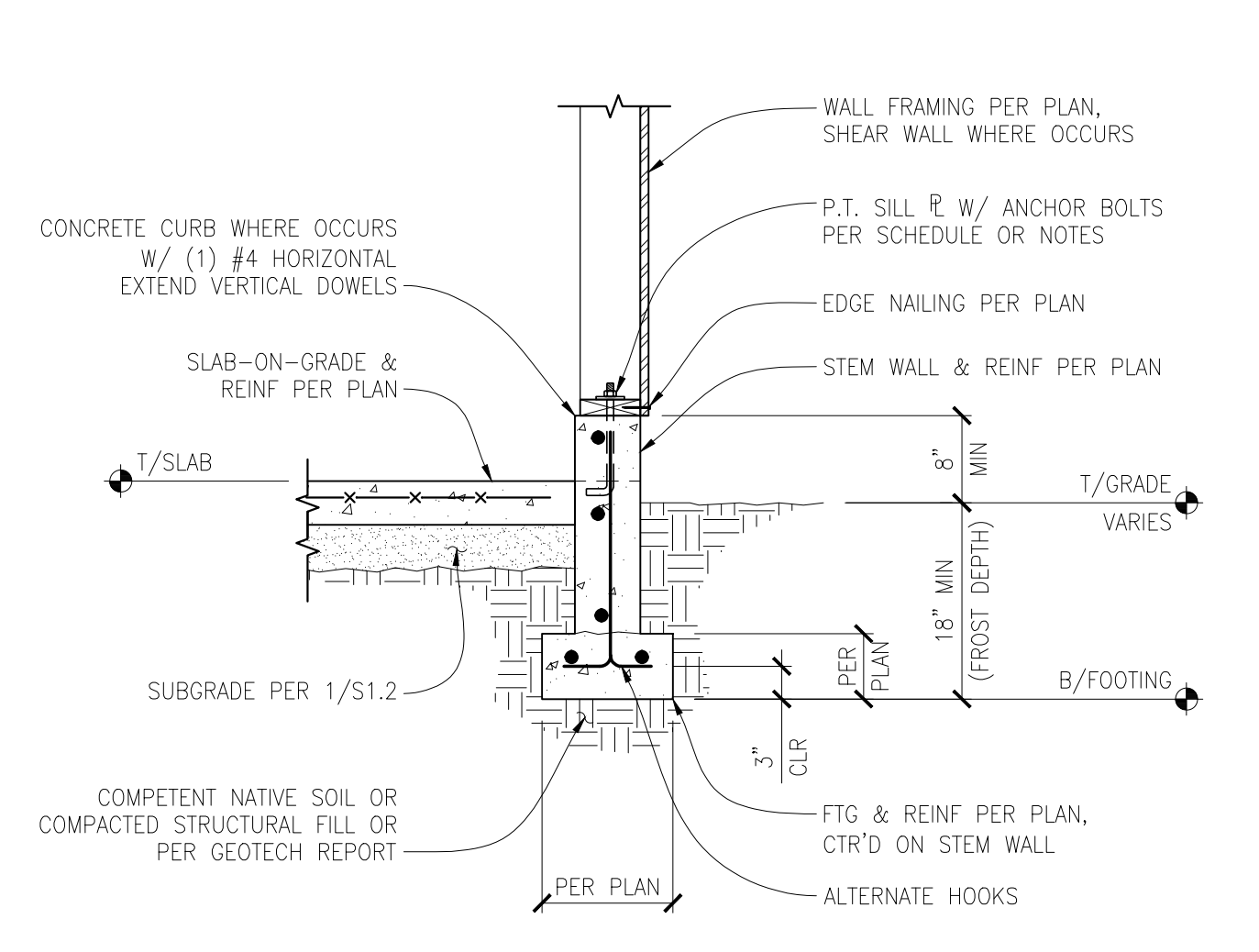
THICKENED SLAB EDGE WITH CONCRETE FOOTING
SCALE: N.T.S.



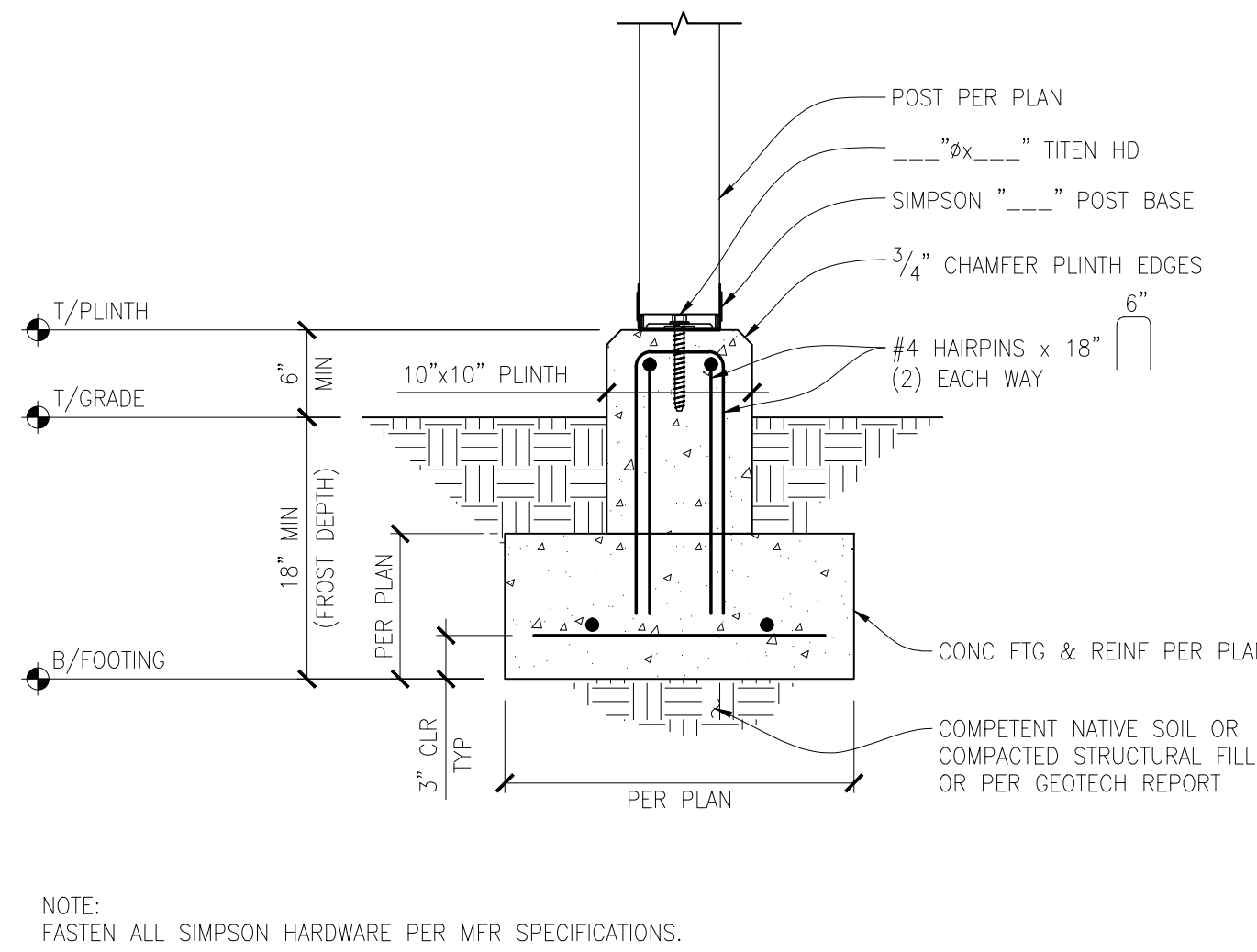
SECTION AT SLAB STEP
SCALE: 3/4" = 1'-0"



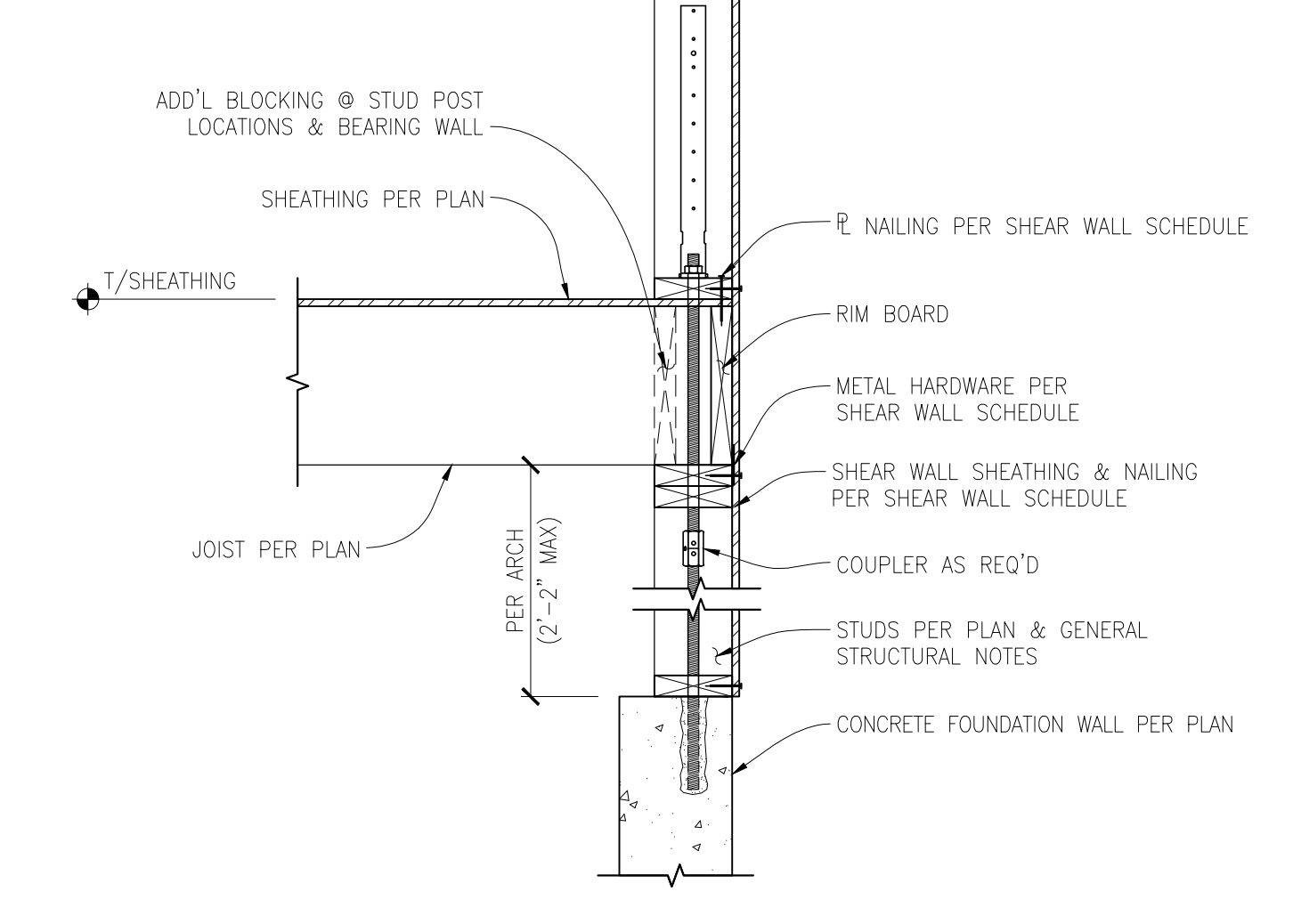
CRAWL SPACE EXTERIOR SHEAR WALL WITH JOISTS PERPENDICULAR
SCALE: 3/4" = 1'-0"



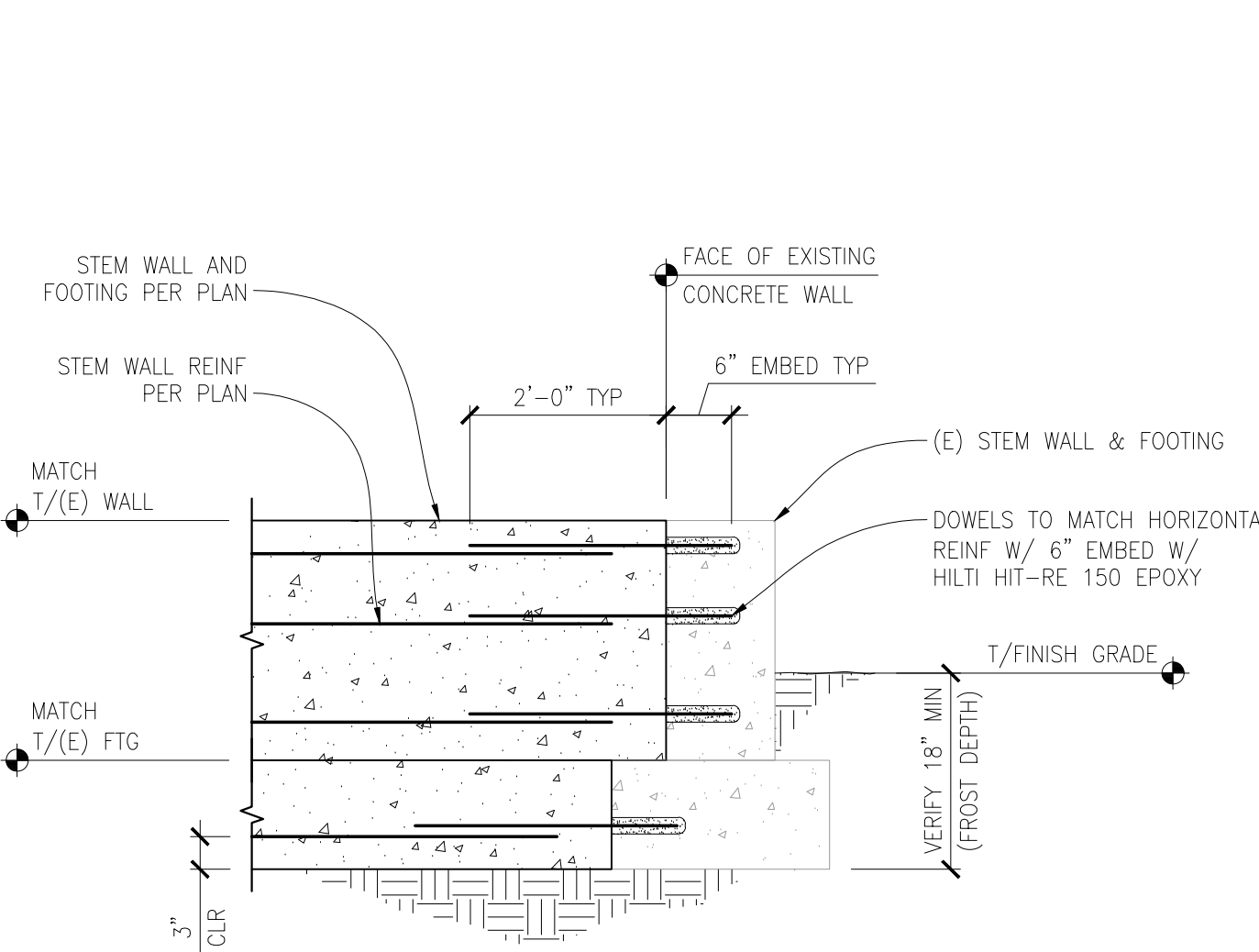
TYPICAL FOUNDATION FOOTING AND STEM WALL WITH SLAB ON GRADE
SCALE: 3/4" = 1'-0"



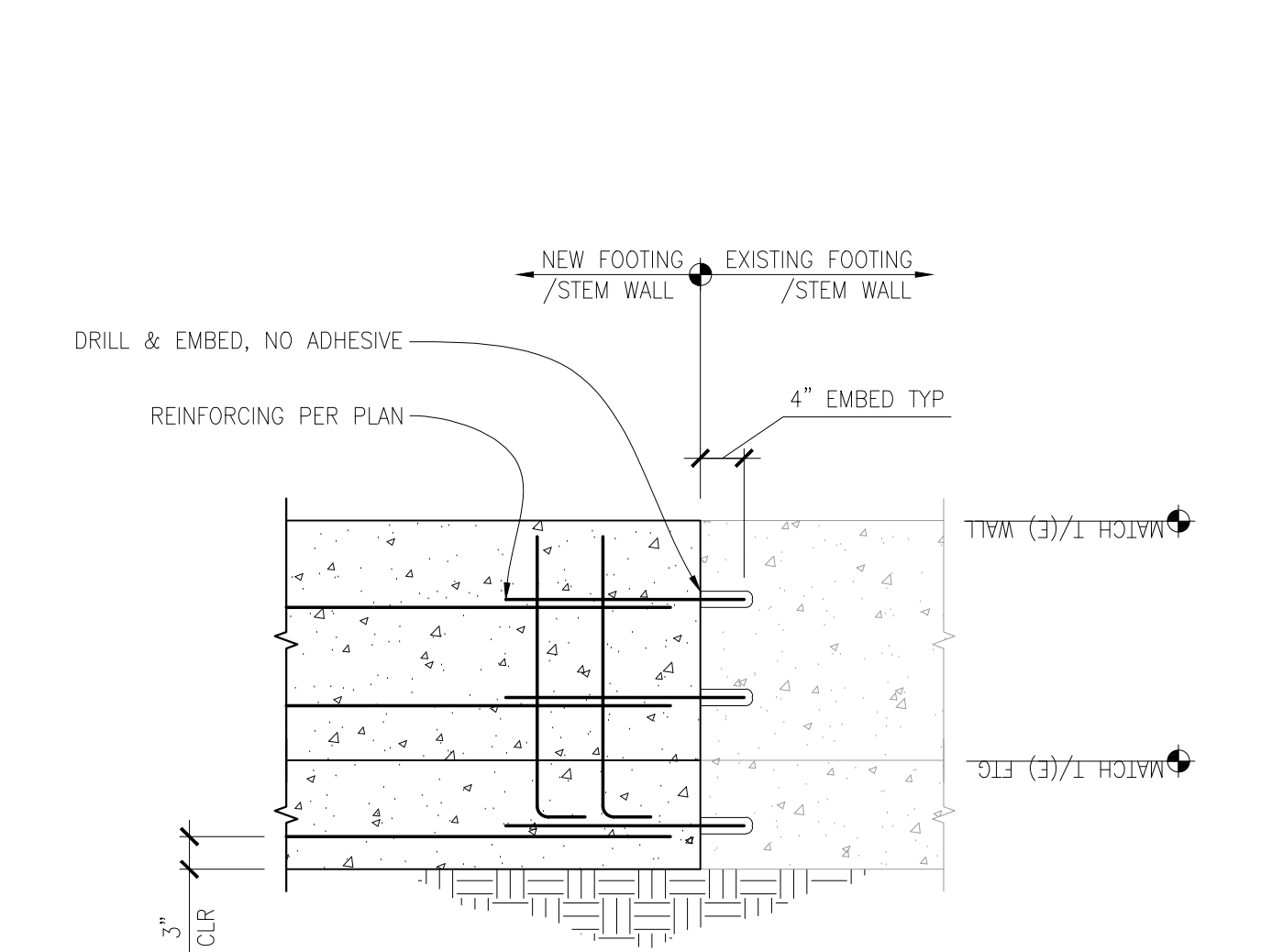
TYPICAL POST FOOTING WITH PLINTH
SCALE: 1" = 1'-0"



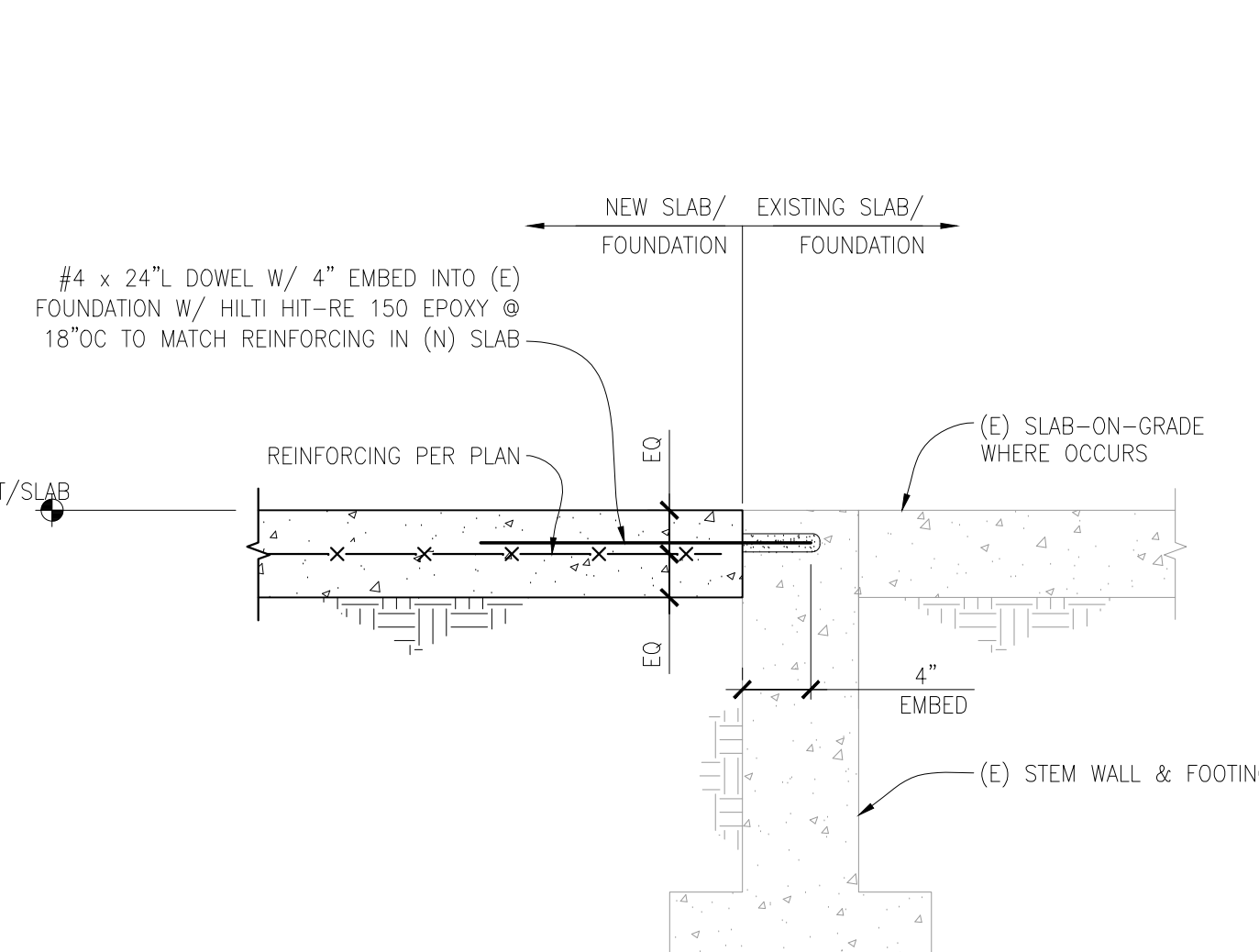
THROUGH-FLOOR HOLDOWN CONNECTION
SCALE: 1" = 1'-0"



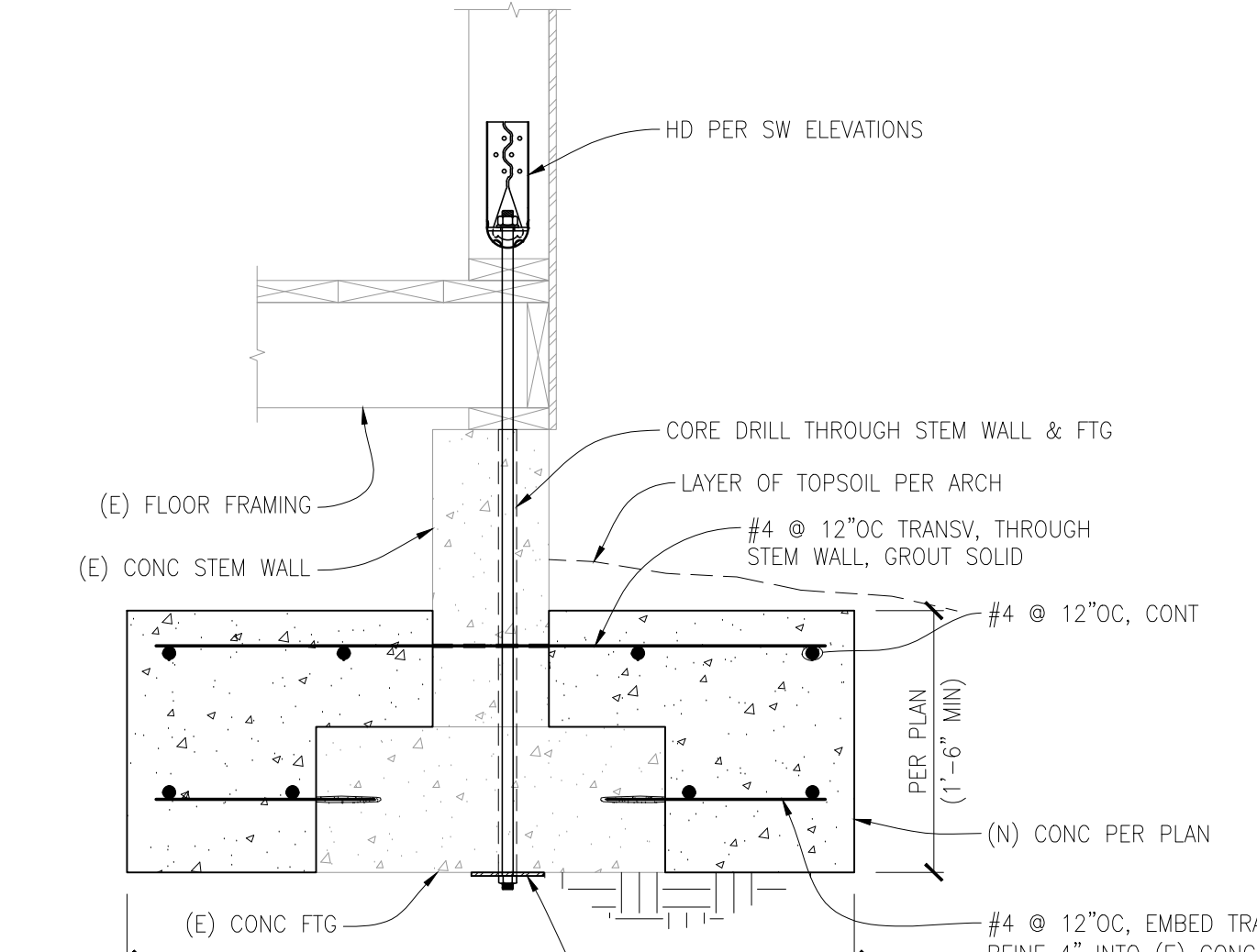
NEW FOUNDATION CONNECTION TO EXISTING
SCALE: N.T.S.



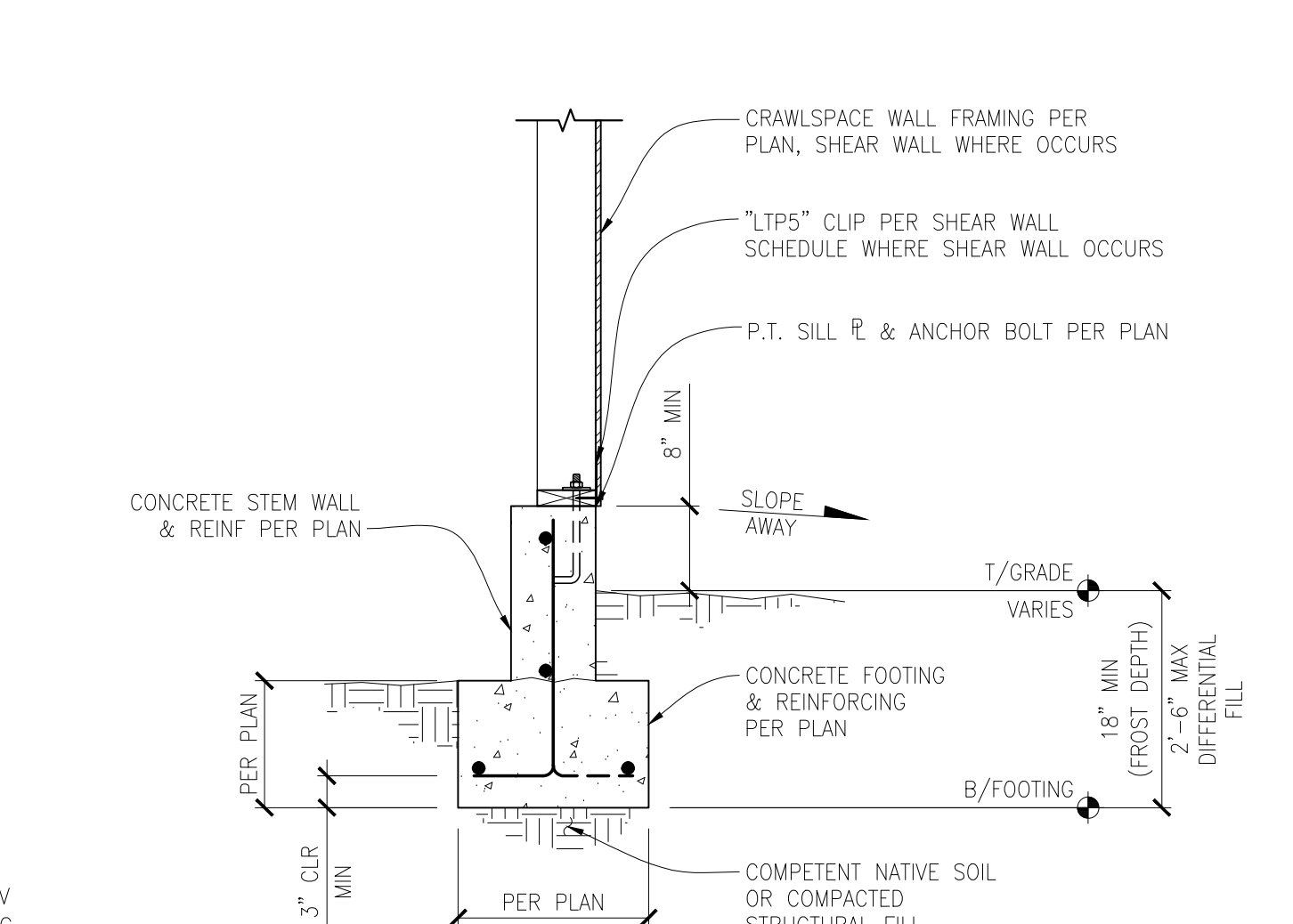
NEW FOUNDATION CONNECTION TO EXISTING
SCALE: N.T.S.



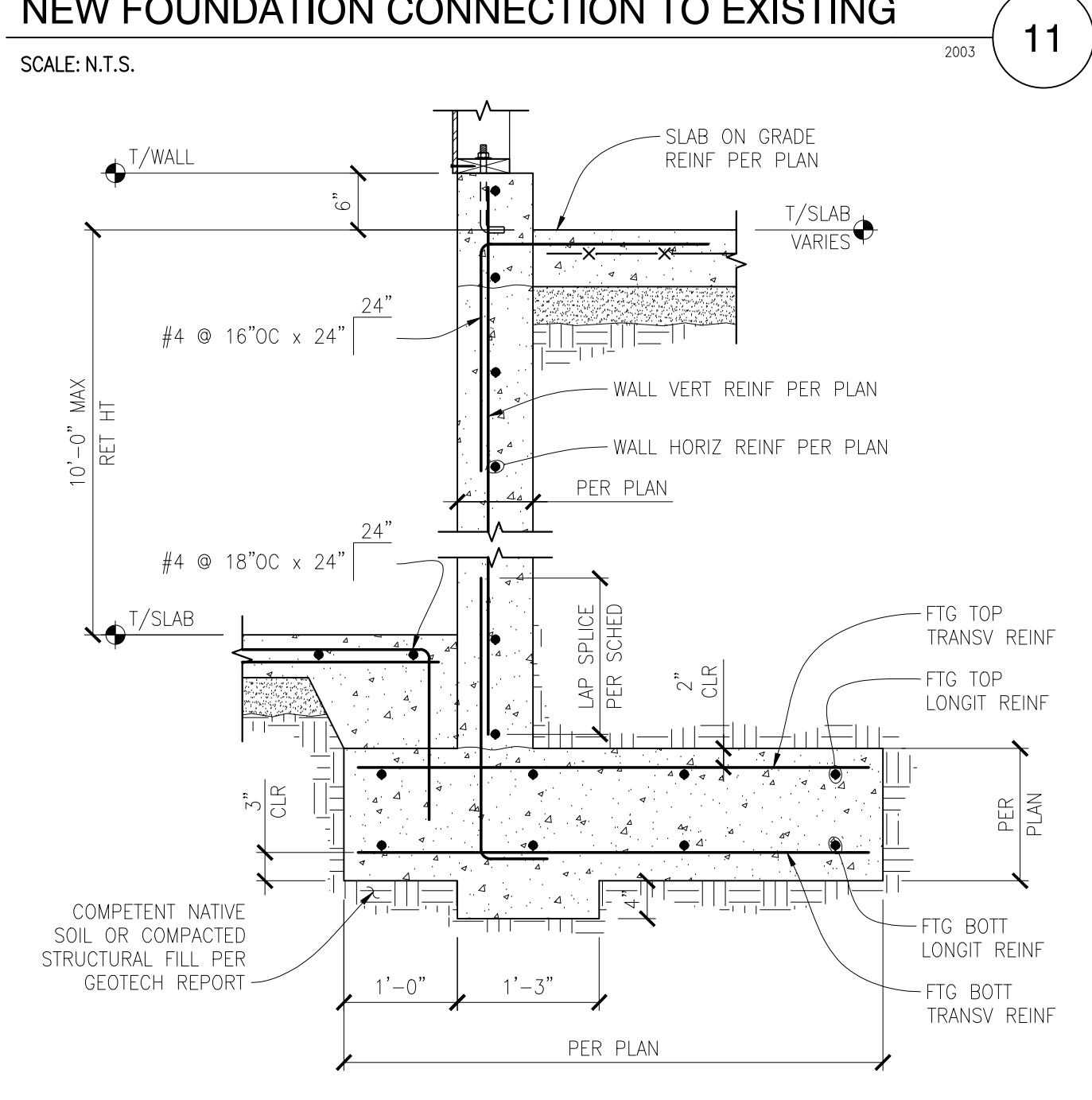
NEW SLAB CONNECTION AT EXISTING SLAB/WALL
SCALE: N.T.S.



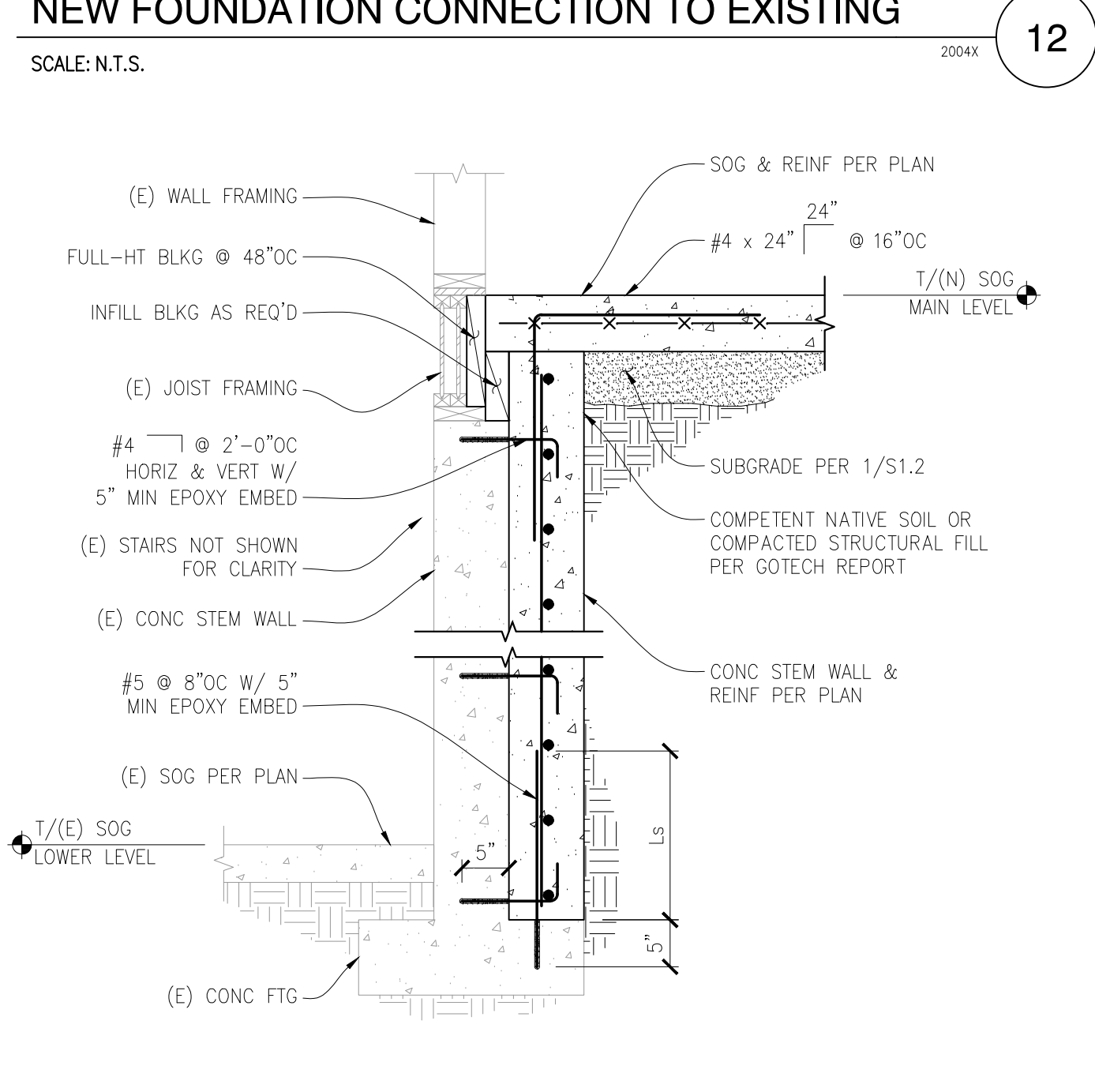
NEW FOOTING AT EXISTING FOOTING
SCALE: N.T.S.



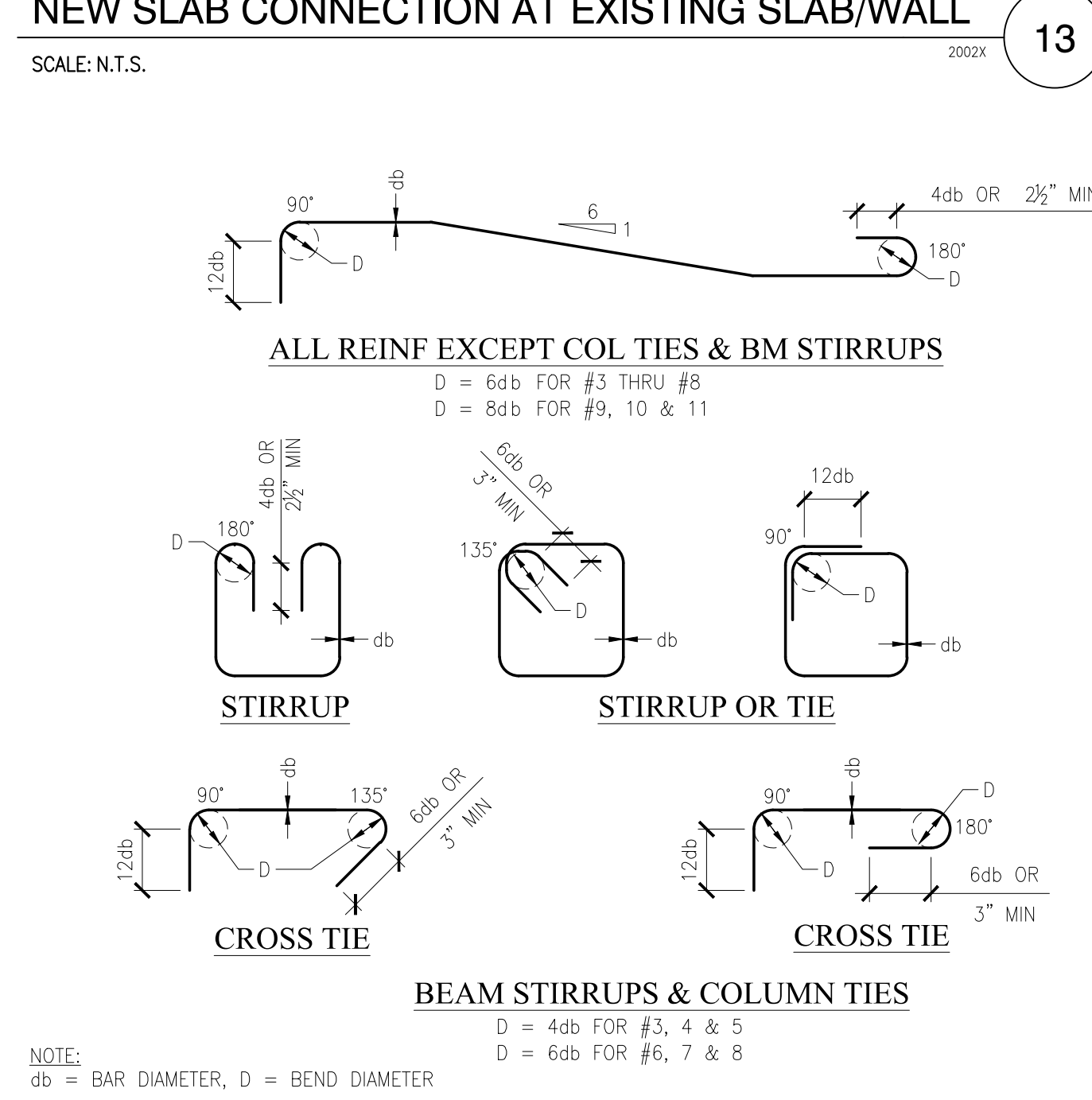
FOOTING WITH PONY WALL AT CRAWL SPACE
SCALE: 3/4" = 1'-0"



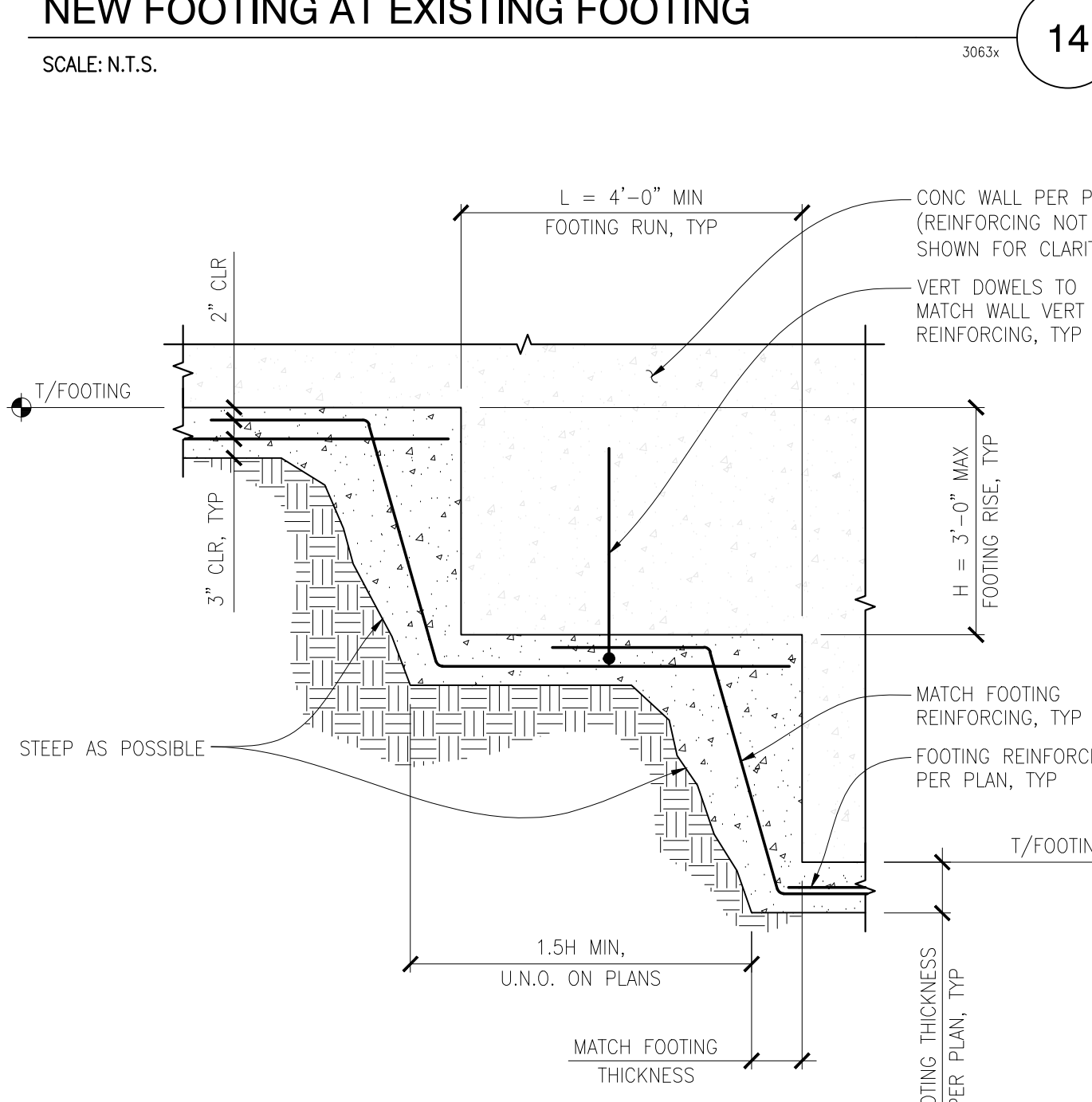
GARAGE RETAINING WALL
SCALE: N.T.S.



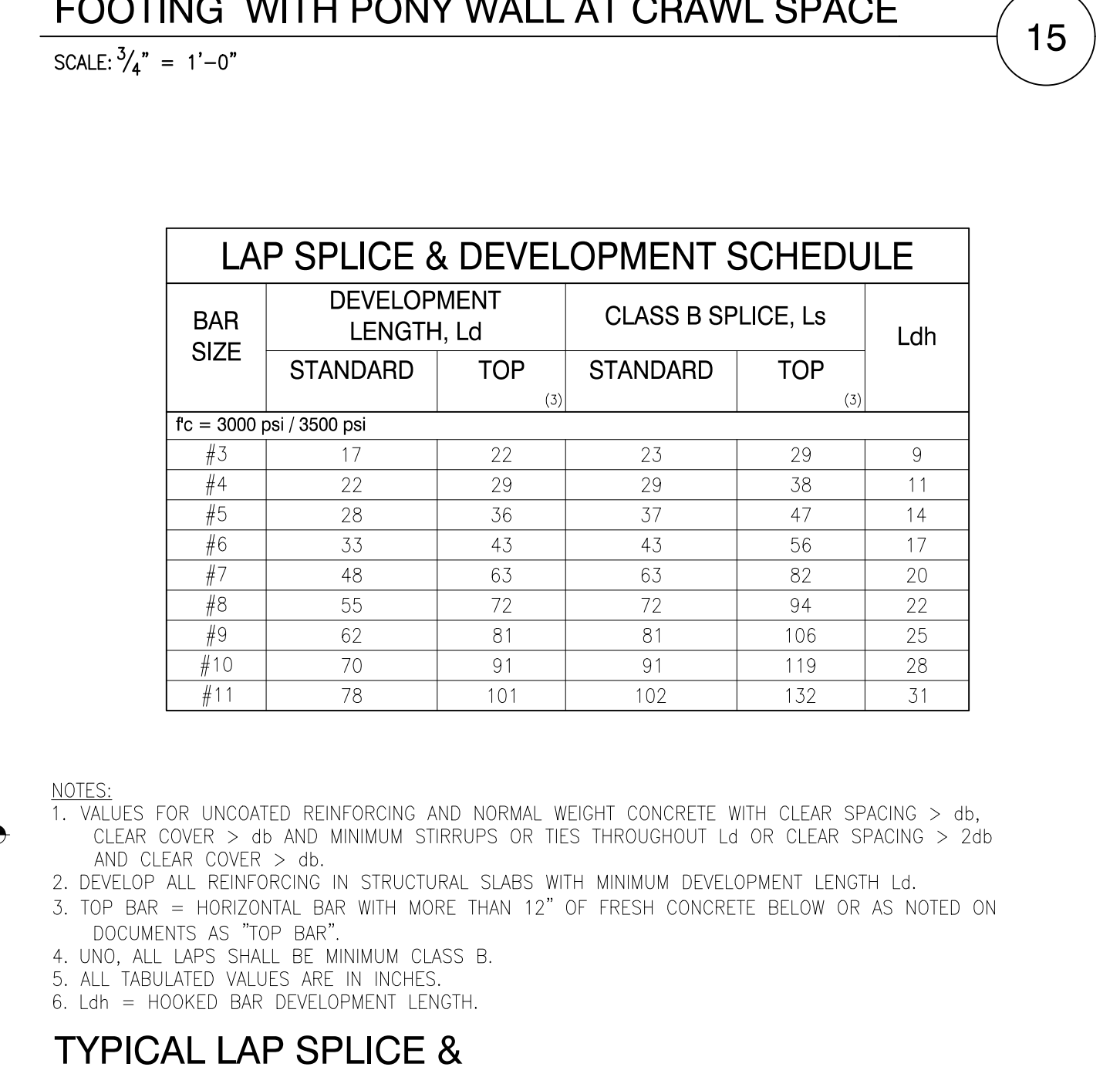
NEW STEM WALL AT EXISTING STEM WALL
SCALE: 3/4" = 1'-0"



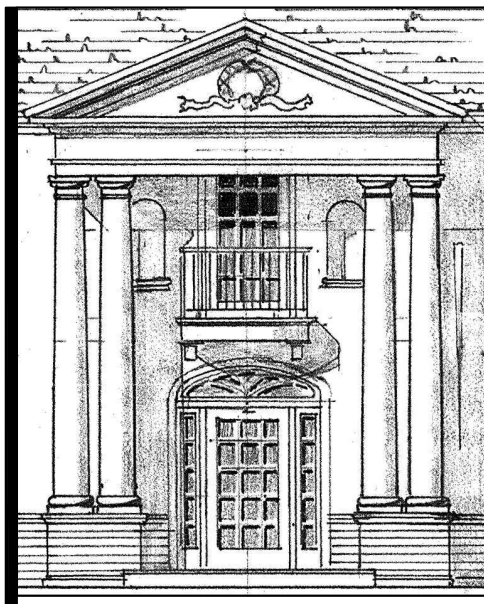
TYPICAL REBAR BEND SCHEDULE
SCALE: N.T.S.



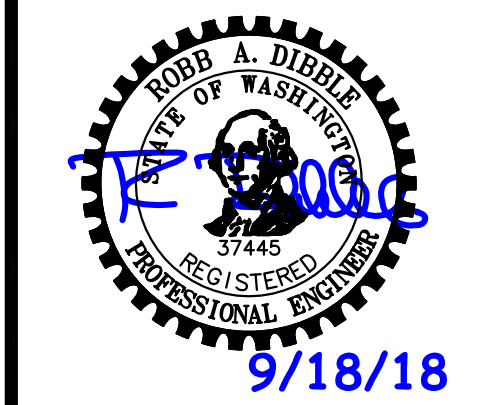
TYPICAL STEPPED FOOTING DETAIL
SCALE: N.T.S.



TYPICAL LAP SPlice & DEVELOPMENT LENGTH SCHEDULE
SCALE: N.T.S.



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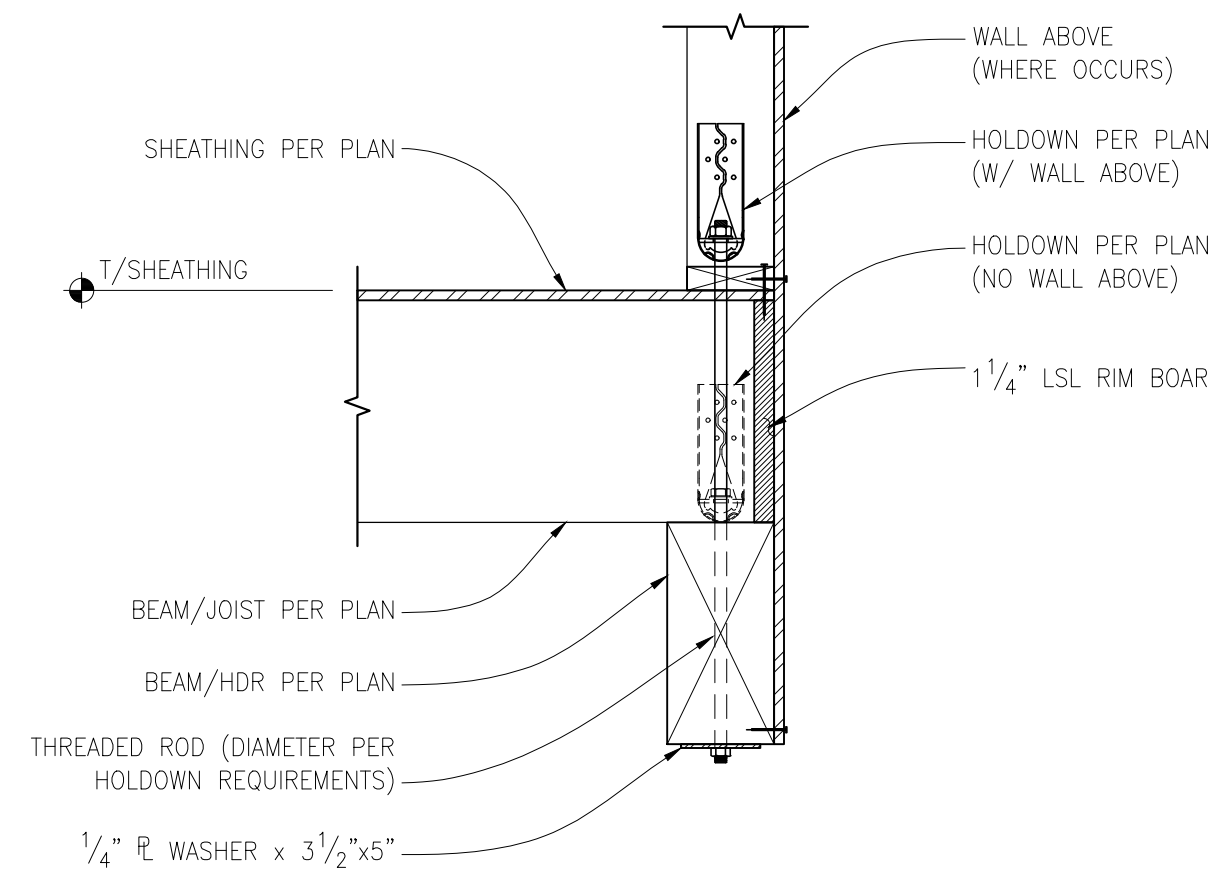
PEYREE REMODEL B
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Mercer Island, WA 98040-5129

NO.	DATE	REVISION
06/27/17	09/18/18	PERMIT SET
17-291		SAT/TLE
JBB		DESIGNED BY:

DATE: 05/19/2017
JOB NUMBER: 17-291
DRAWN BY: SAT/TLE
DESIGNED BY: JBB

STRUCTURAL DETAILS

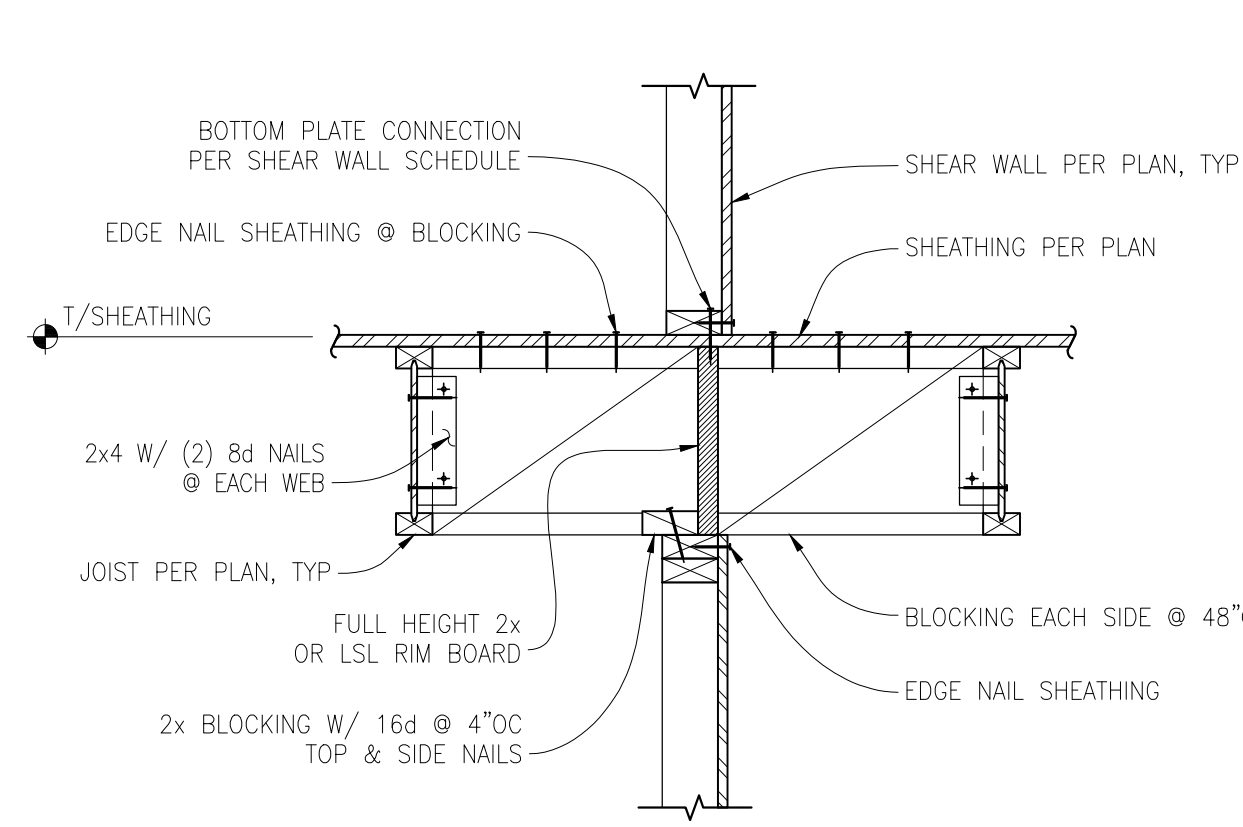
S4.0
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HOLDOWN AT END OF BEAM

SCALE: 1" = 1'-0"

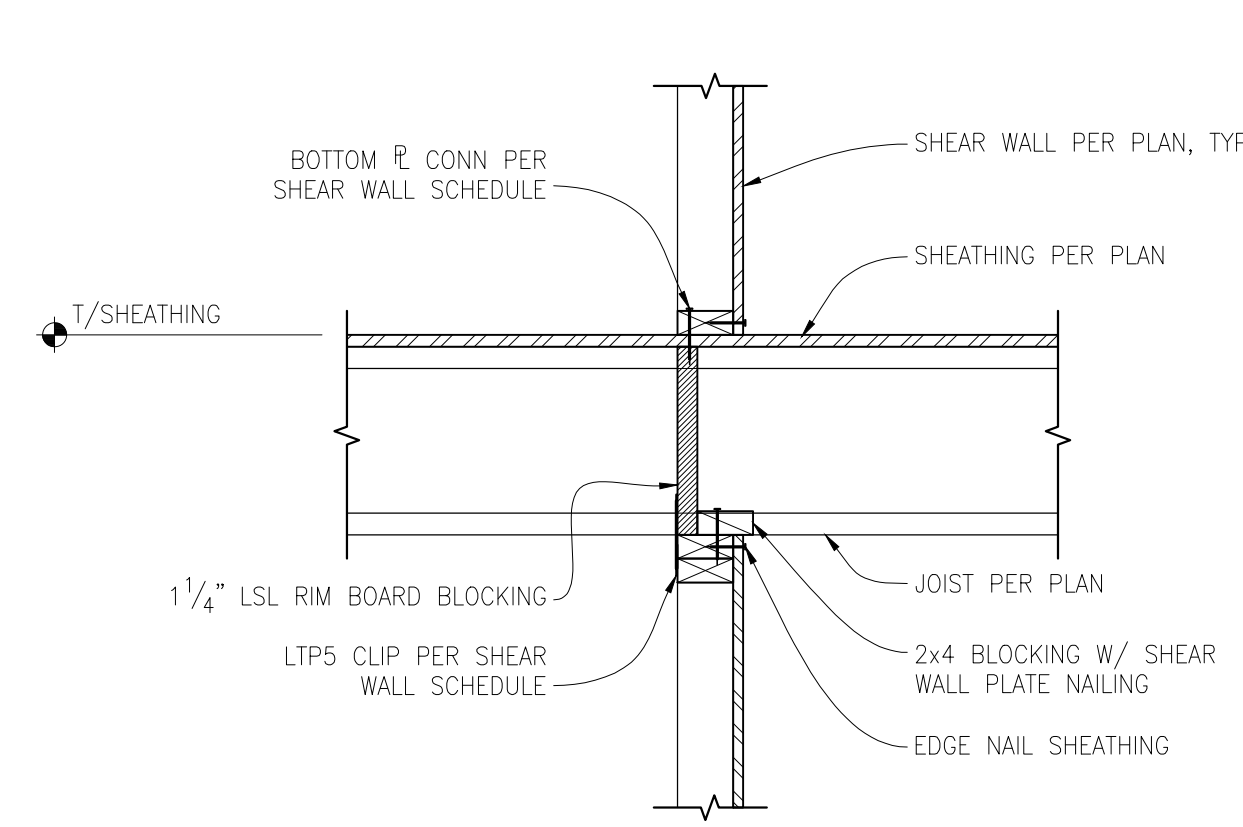
1



INTERIOR SHEAR WALL PARALLEL TO FLOOR JOIST

SCALE: 1" = 1'-0"

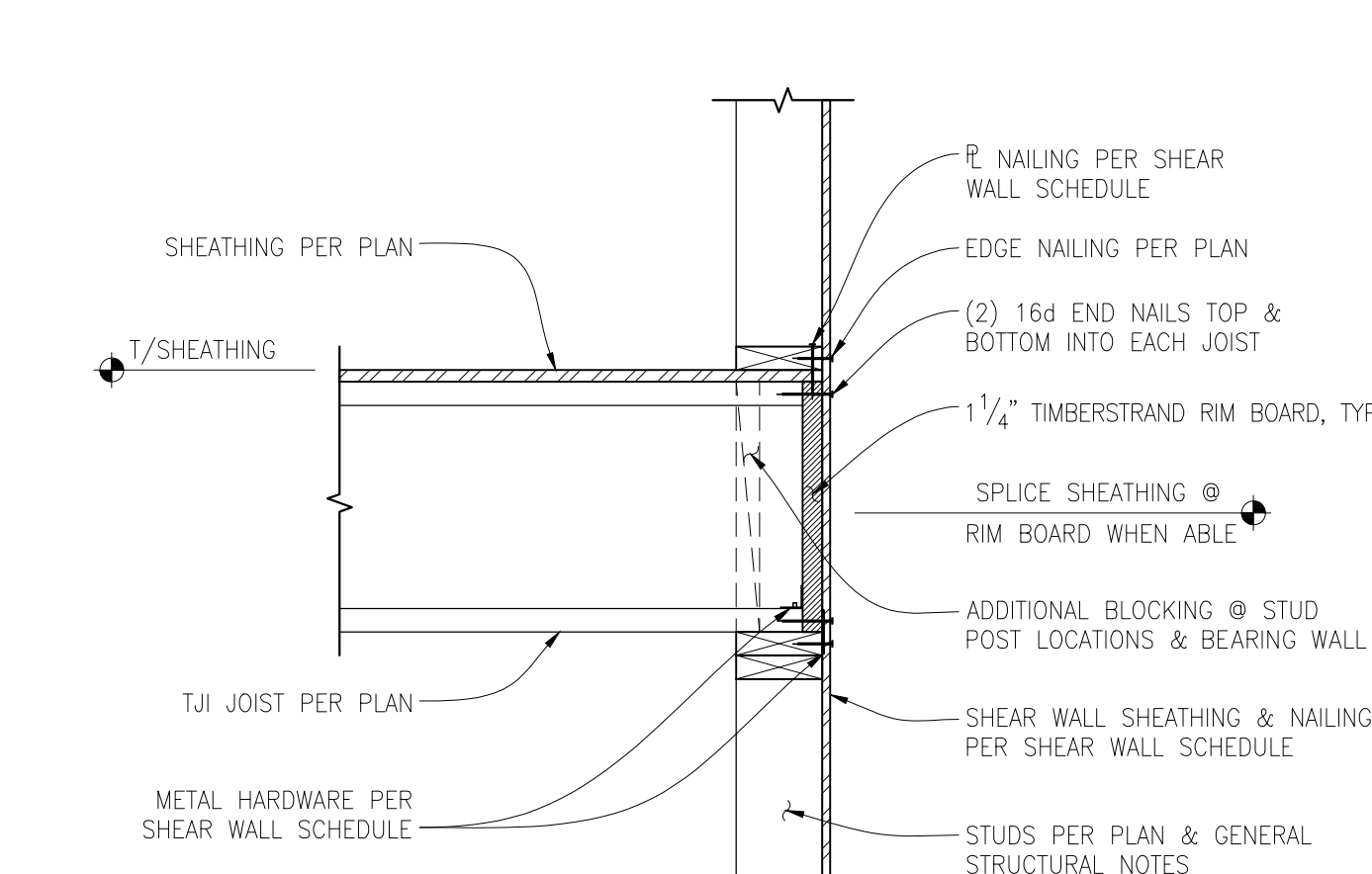
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INTERIOR SHEAR WALL PERPENDICULAR TO FLOOR JOIST

SCALE: 1" = 1'-0"

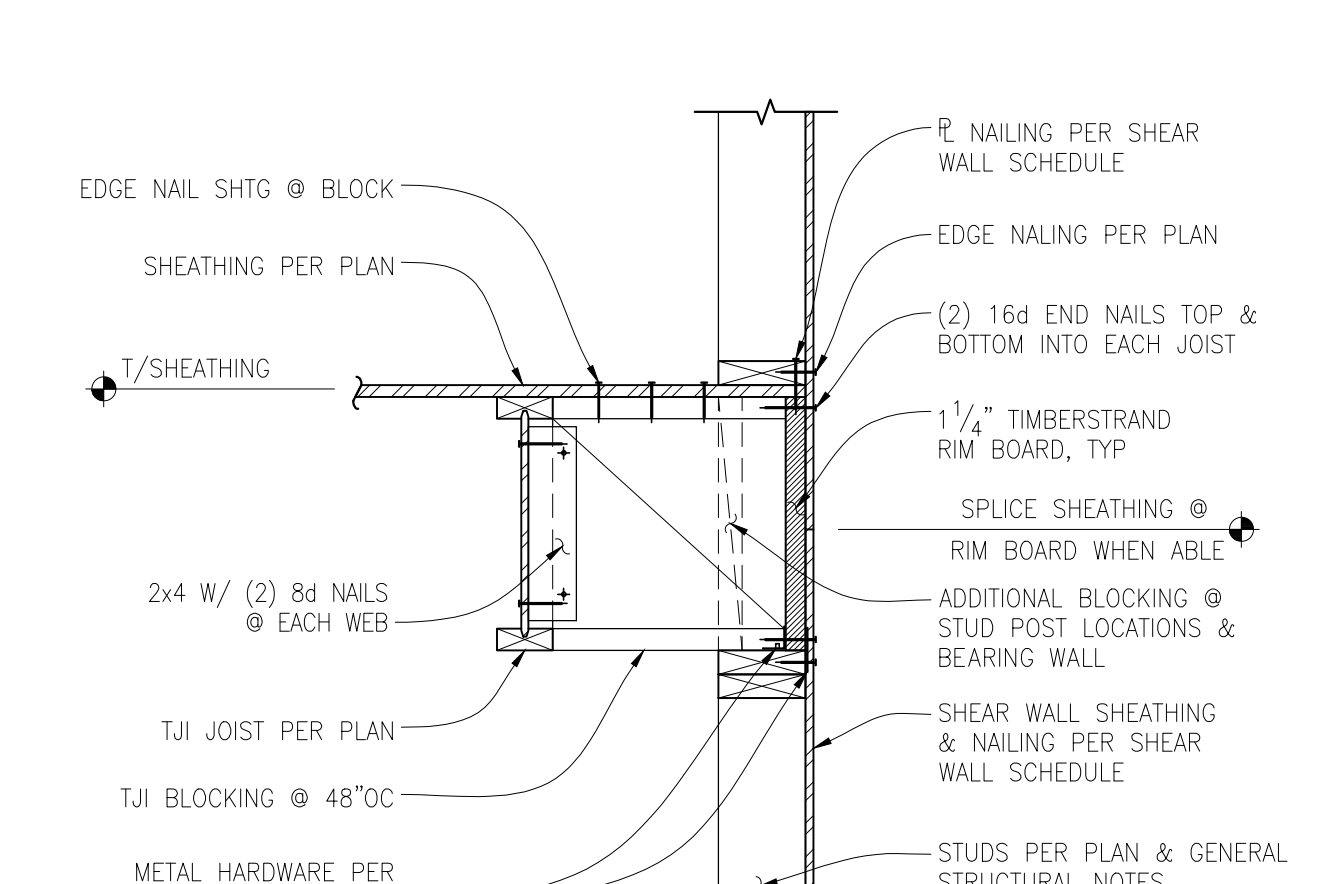
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TYPICAL EXTERIOR WALL PERPENDICULAR TO TJI JOISTS

SCALE: 1" = 1'-0"

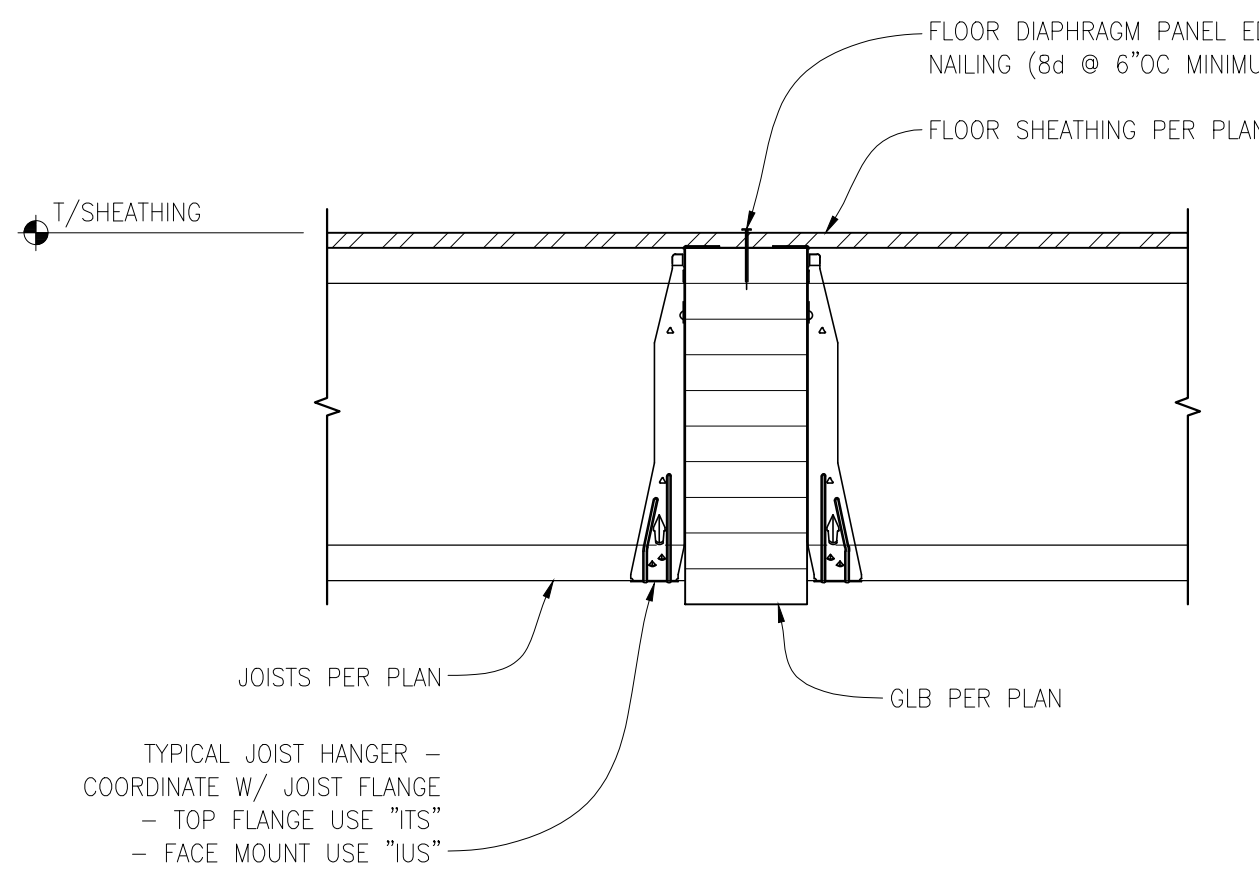
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TYPICAL EXTERIOR WALL PARALLEL TO TJI JOISTS

SCALE: 1" = 1'-0"

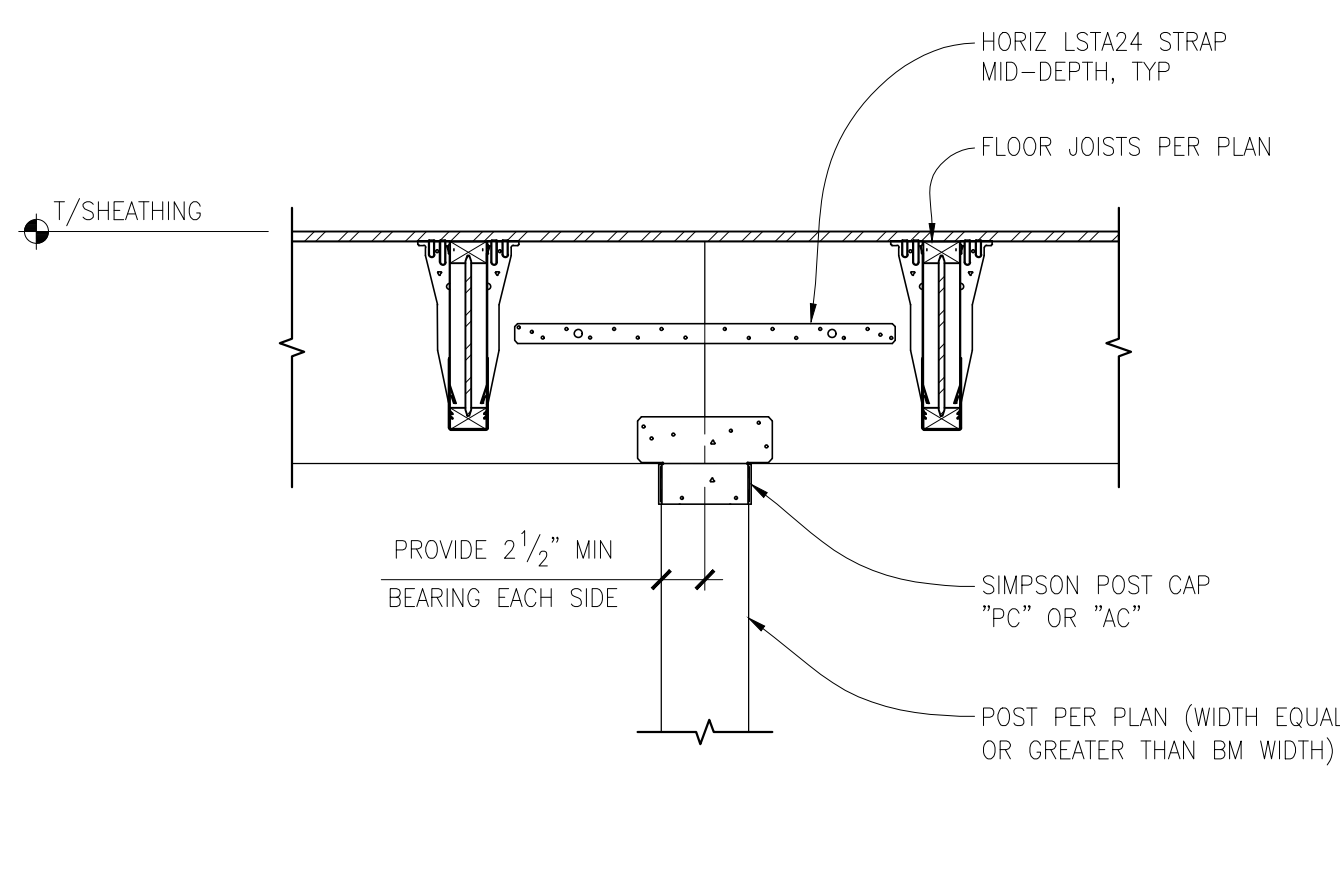
5



TYPICAL JOISTS FLUSH TO TOP OF GLULAM BEAM

SCALE: 1 1/2" = 1'-0"

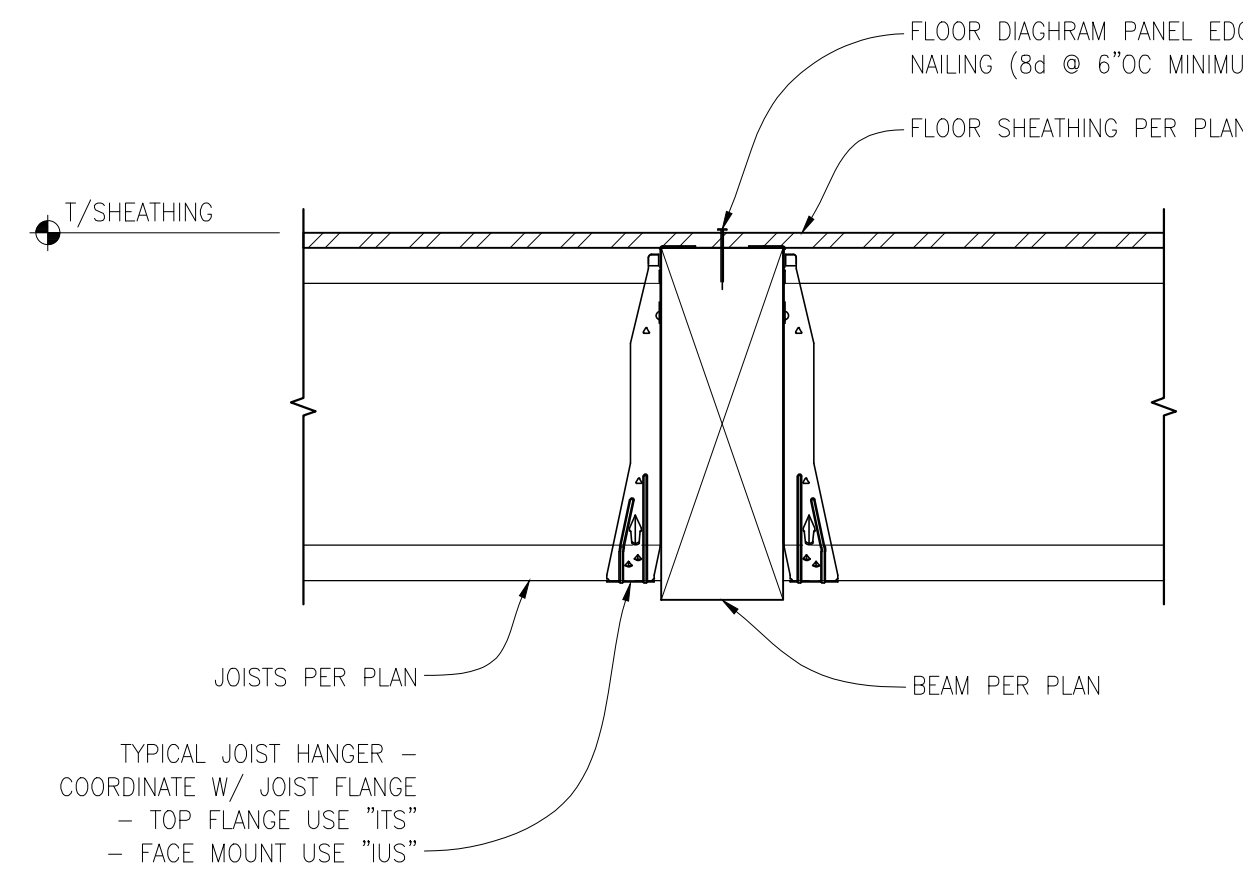
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POST TO BEAM CONNECTION WITH FLUSH JOISTS

SCALE: 1" = 1'-0"

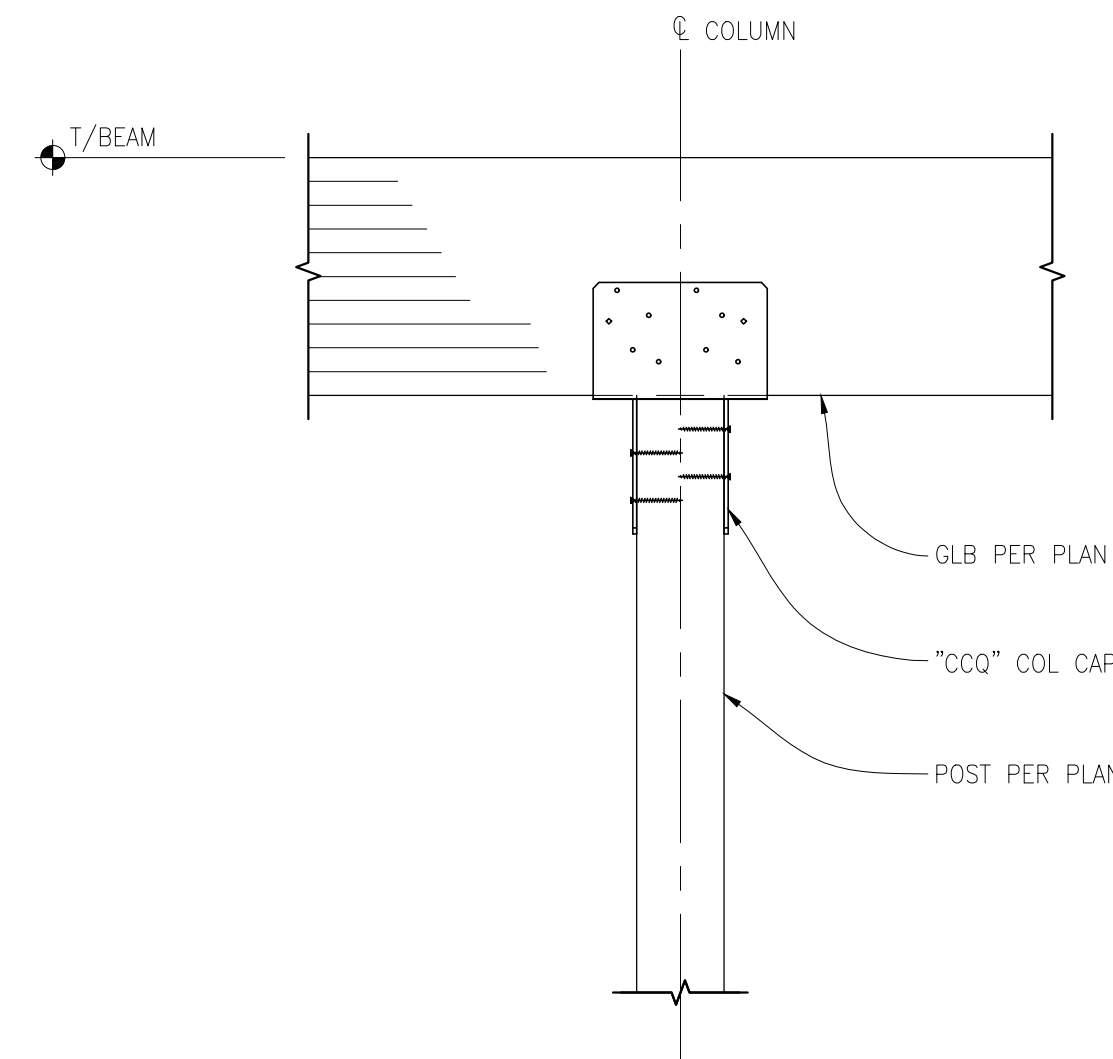
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TYPICAL JOISTS FLUSH TO TOP OF BEAM

SCALE: 1 1/2" = 1'-0"

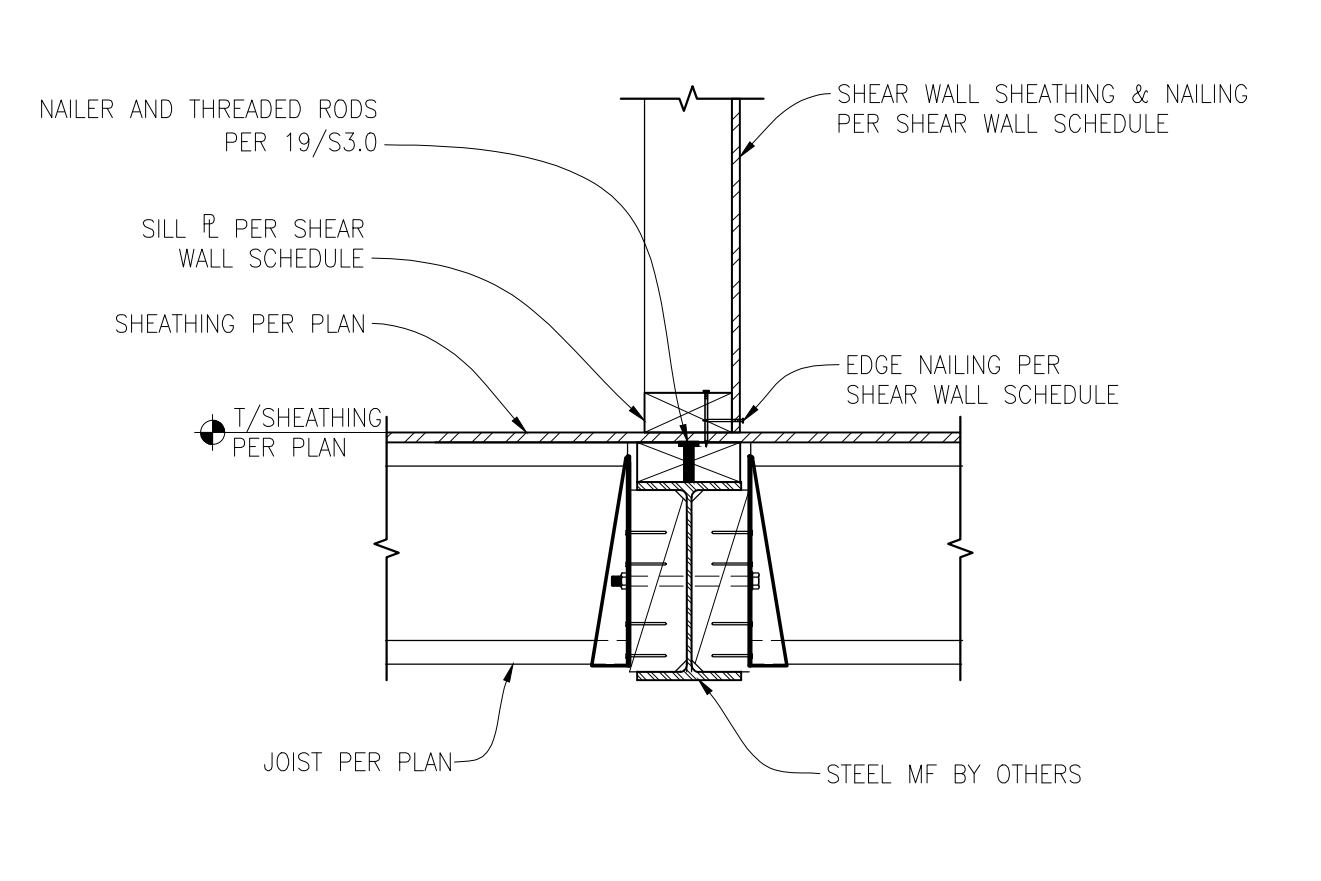
8



TYPICAL COLUMN TO BEAM DETAIL

SCALE: 1" = 1'-0"

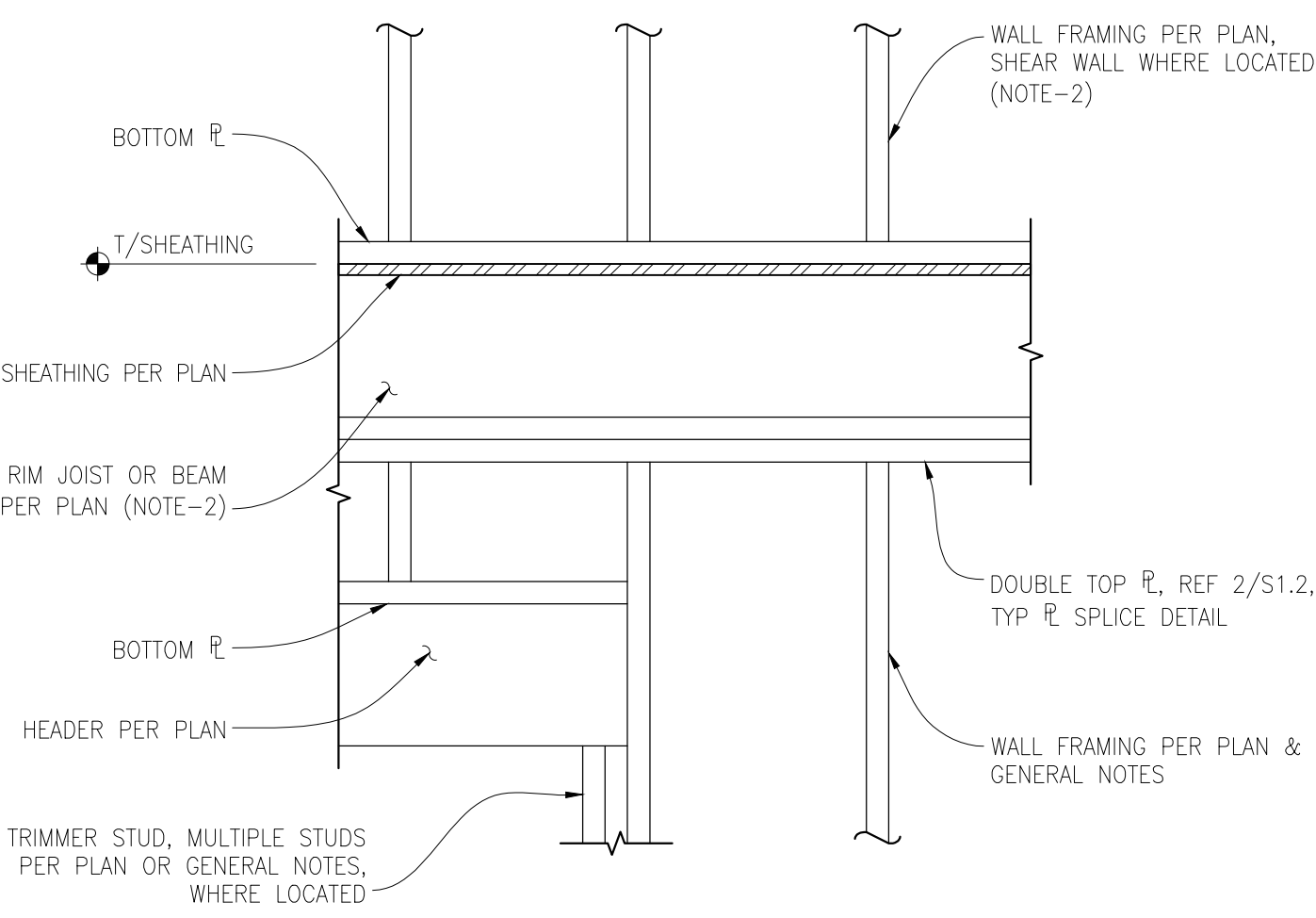
9



TYPICAL WALL TO STEEL BEAM BELOW

SCALE: 1" = 1'-0"

10

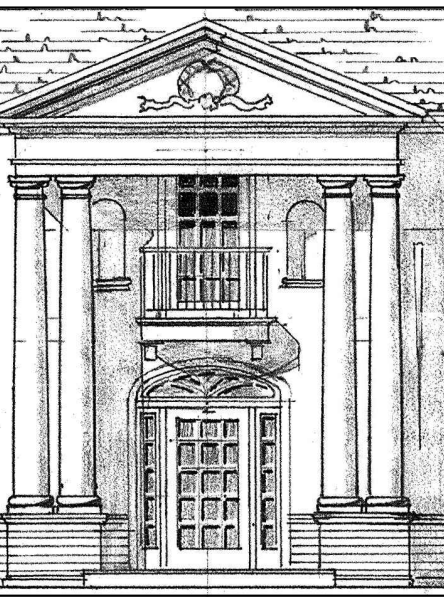


TYPICAL HEADER FRAMING DROPPED BELOW JOIST

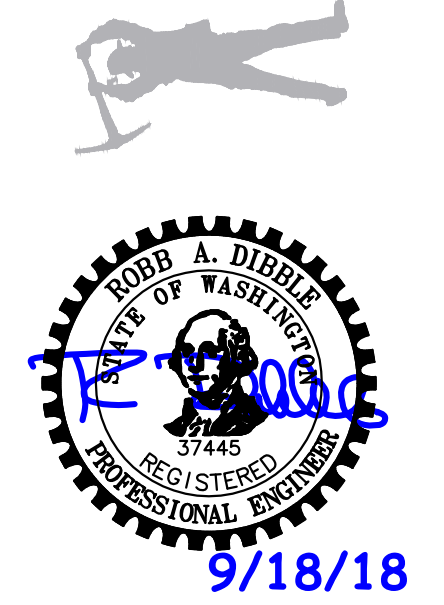
SCALE: 1" = 1'-0"

11

NOTES:
1. WALL SHEATHING NOT SHOWN FOR CLARITY
2. WHERE ROOF ABOVE: RAFTERS OR PRE-MANUFACTURED TRUSSES PER PLAN REPLACES RIM JOIST



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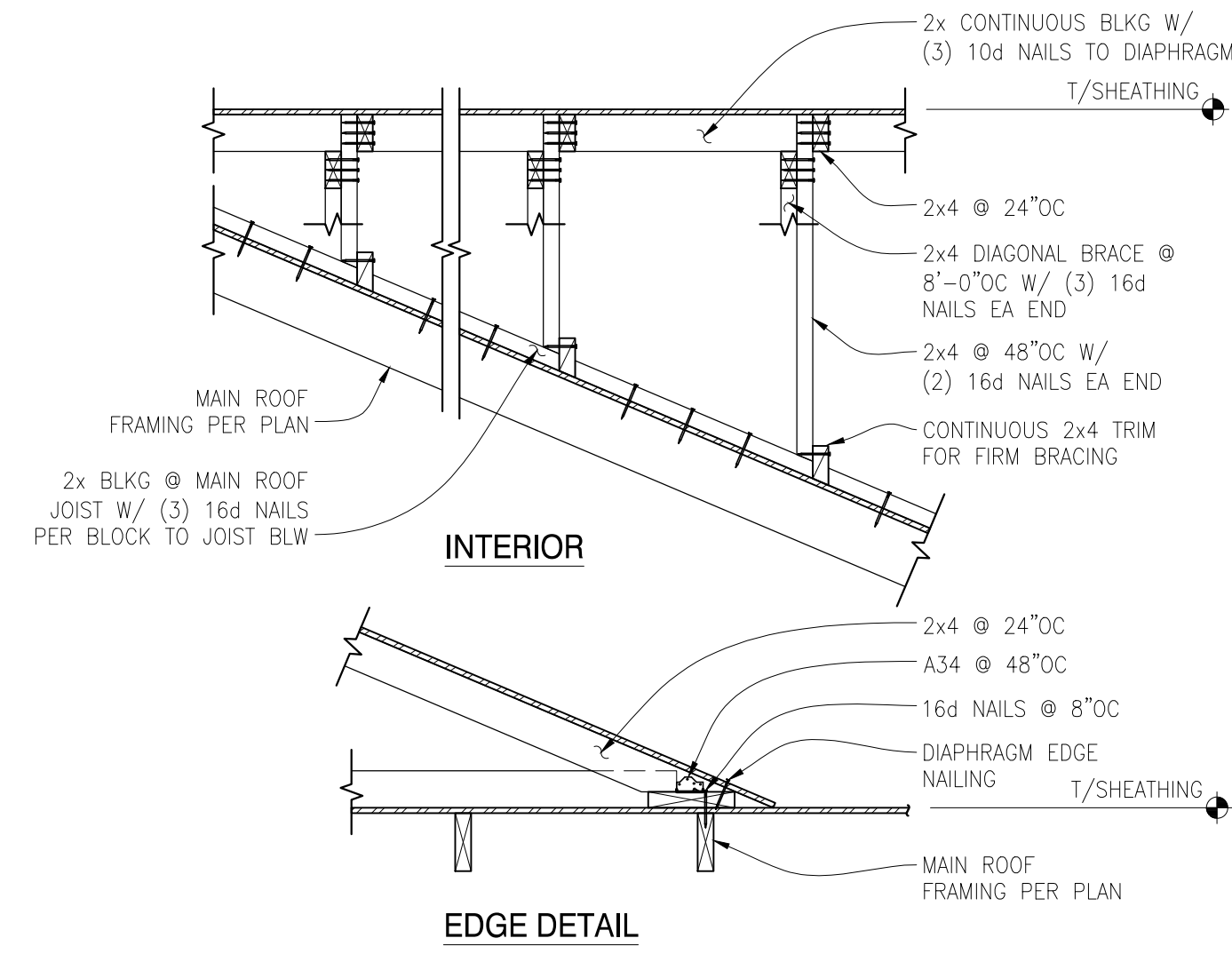
NO.	DATE	REVISION
06/27/17	06/27/17	PERMIT SET
09/18/18	09/18/18	BLDG. DEPT. RESP.

DATE: 05/19/2017
JOB NUMBER: 17-291
DRAWN BY: SAT/TLE
DESIGNED BY: JBB

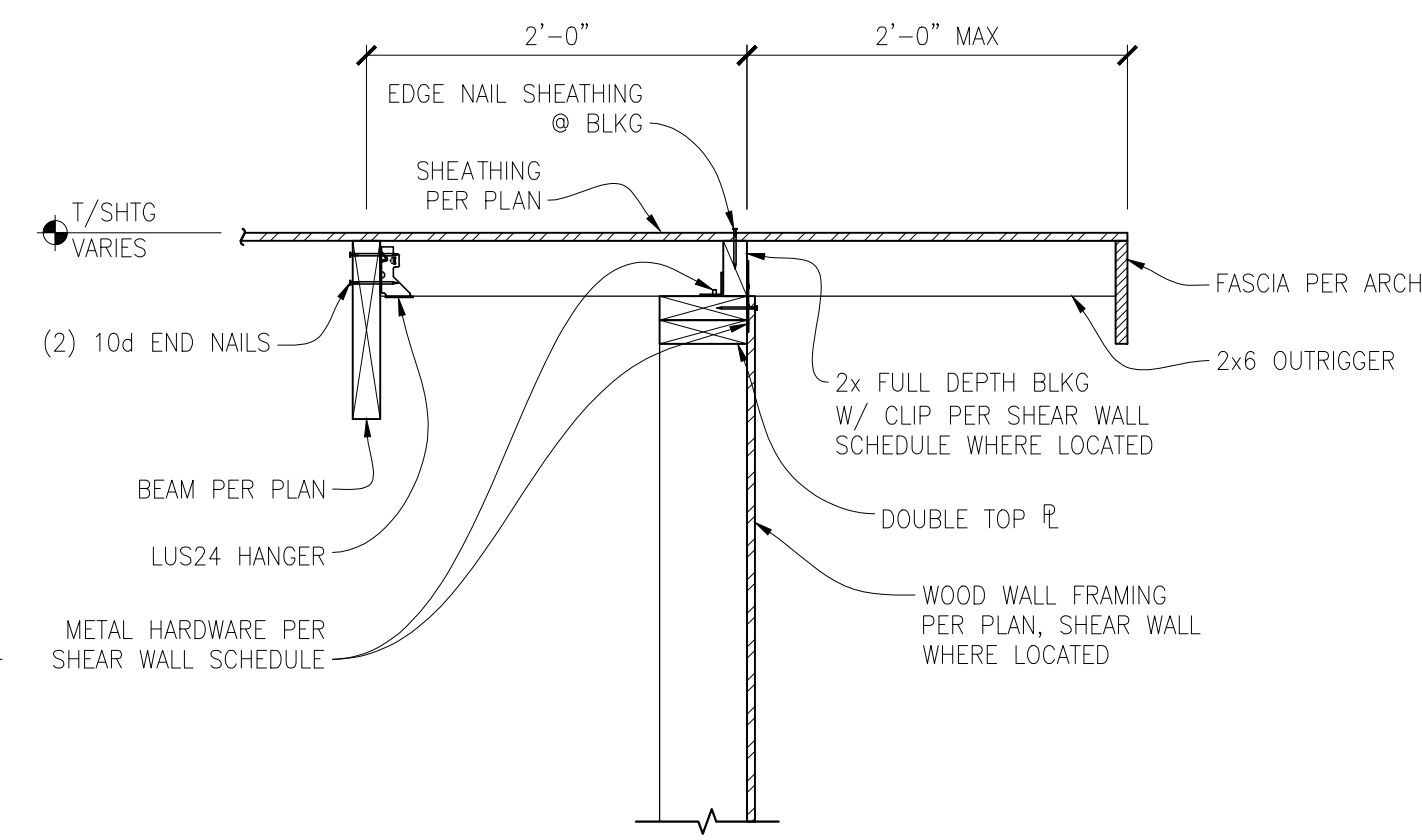
STRUCTURAL
DETAILS

S4.1

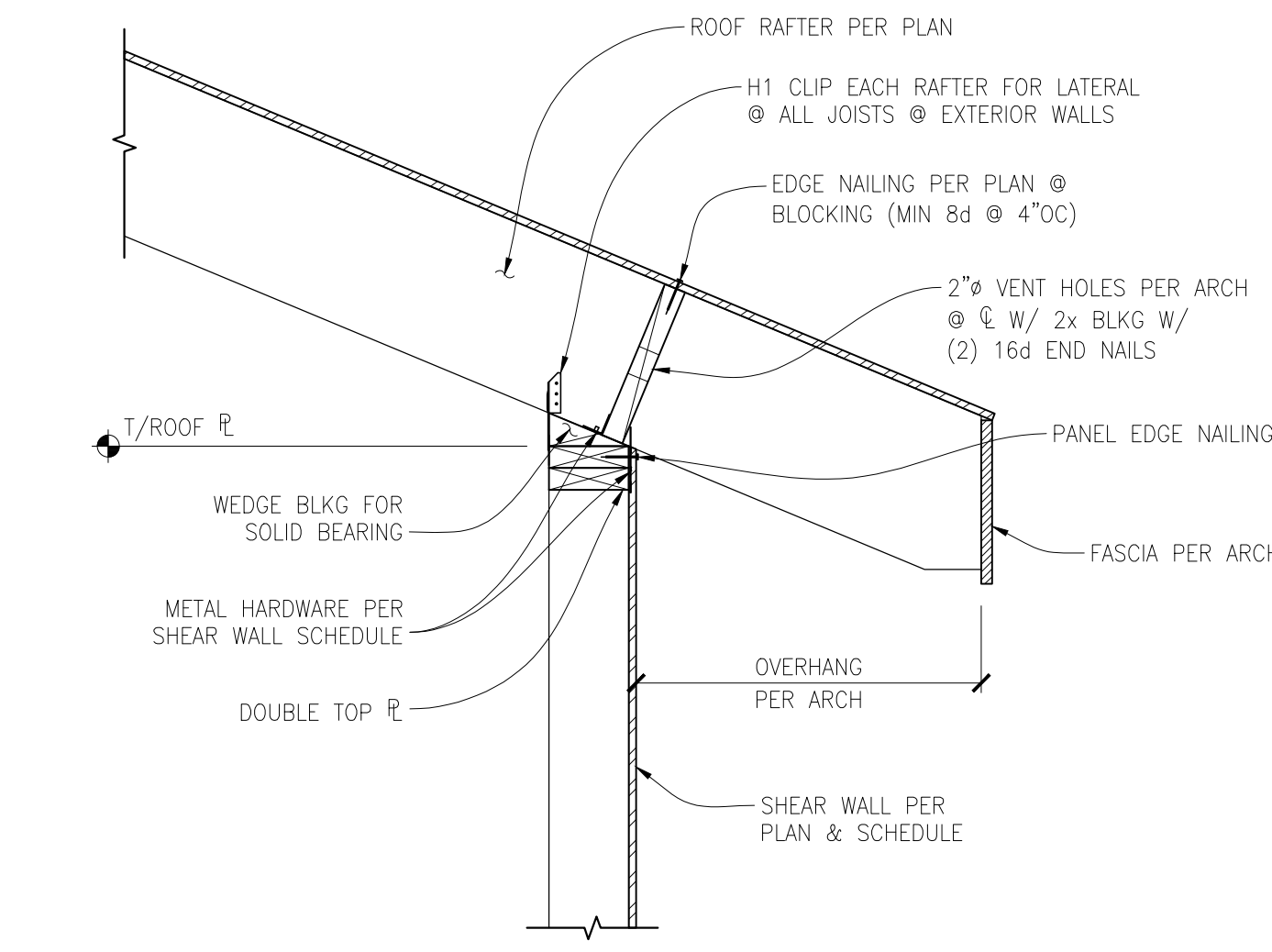
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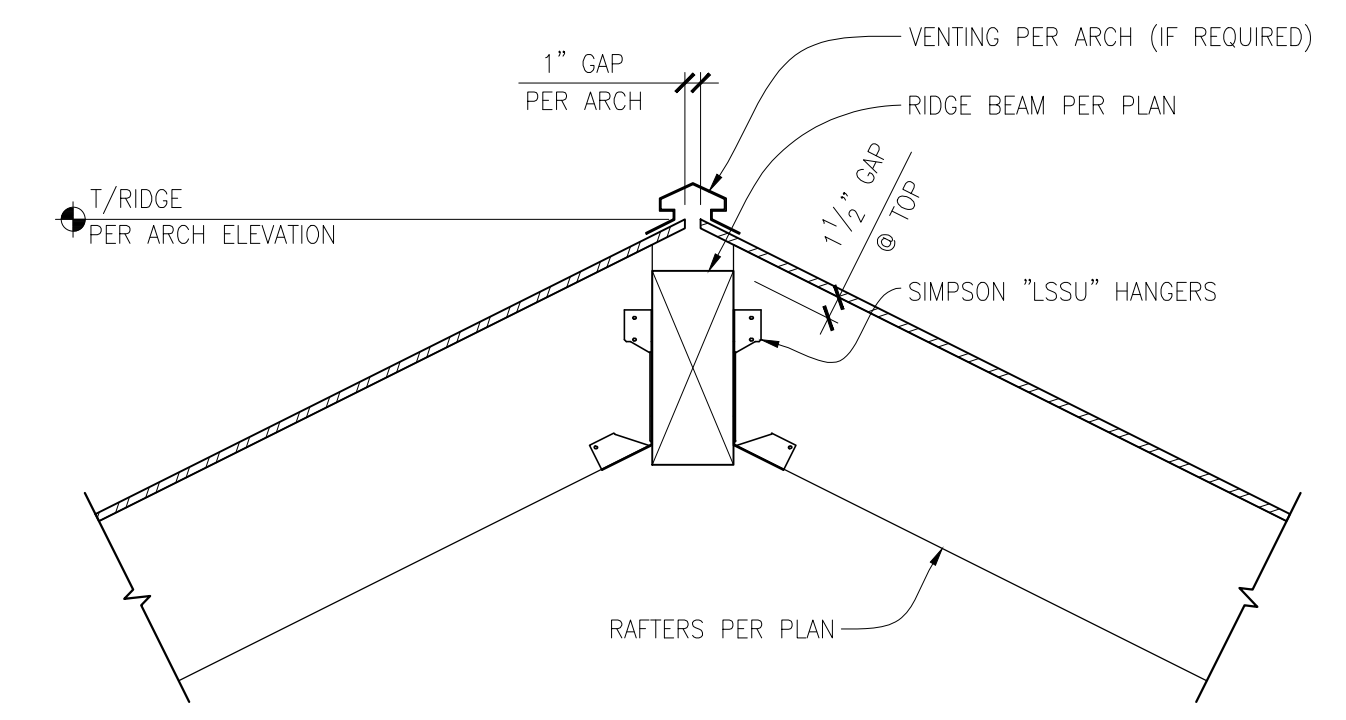
TYPICAL ROOF OVERFRAMING DETAIL
SCALE: N.T.S.



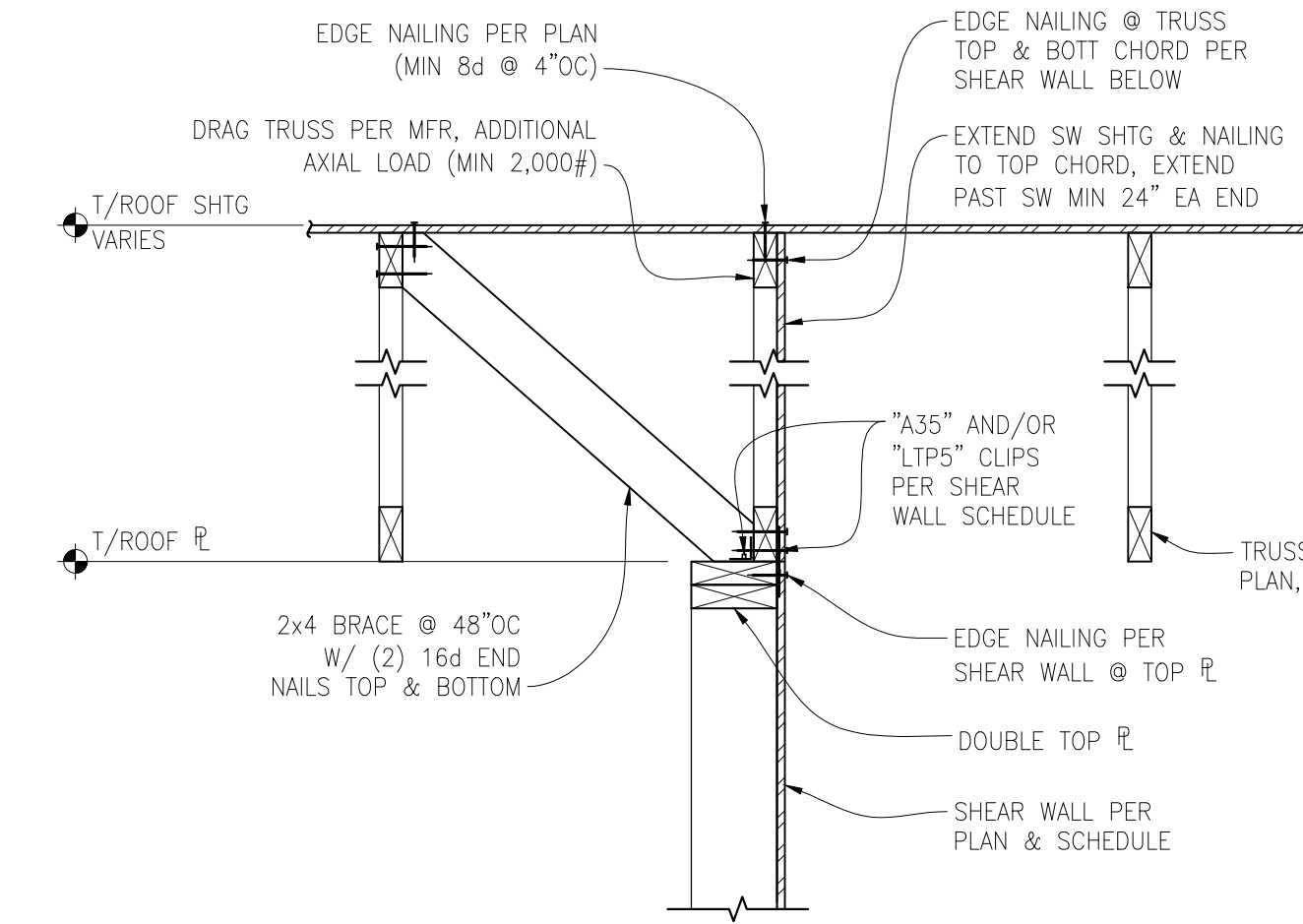
TYPICAL OUTRIGGER AT GABLE END
SCALE: 1" = 1'-0"



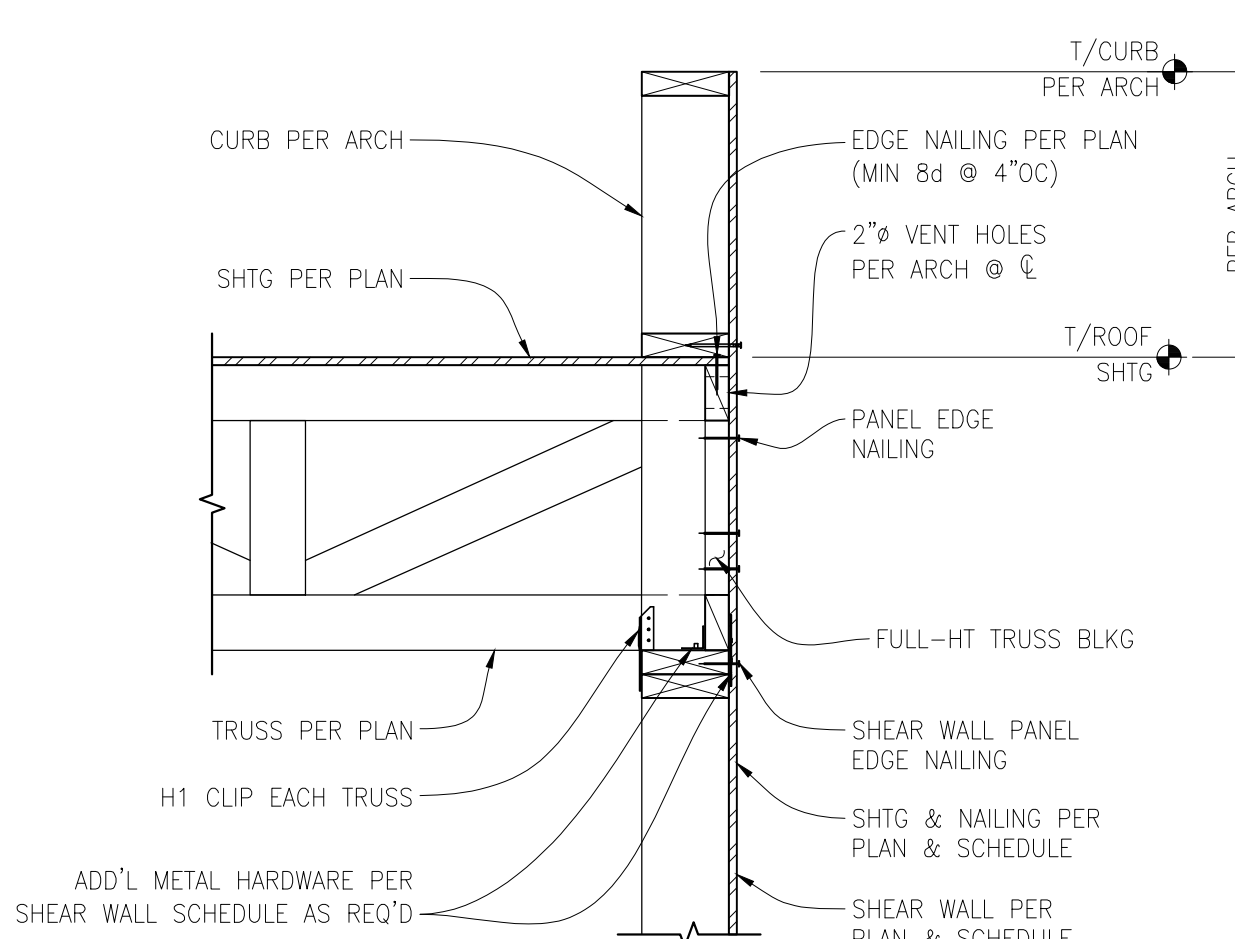
EXTERIOR SHEAR WALL PERPENDICULAR TO ROOF RAFTER
SCALE: 1" = 1'-0"



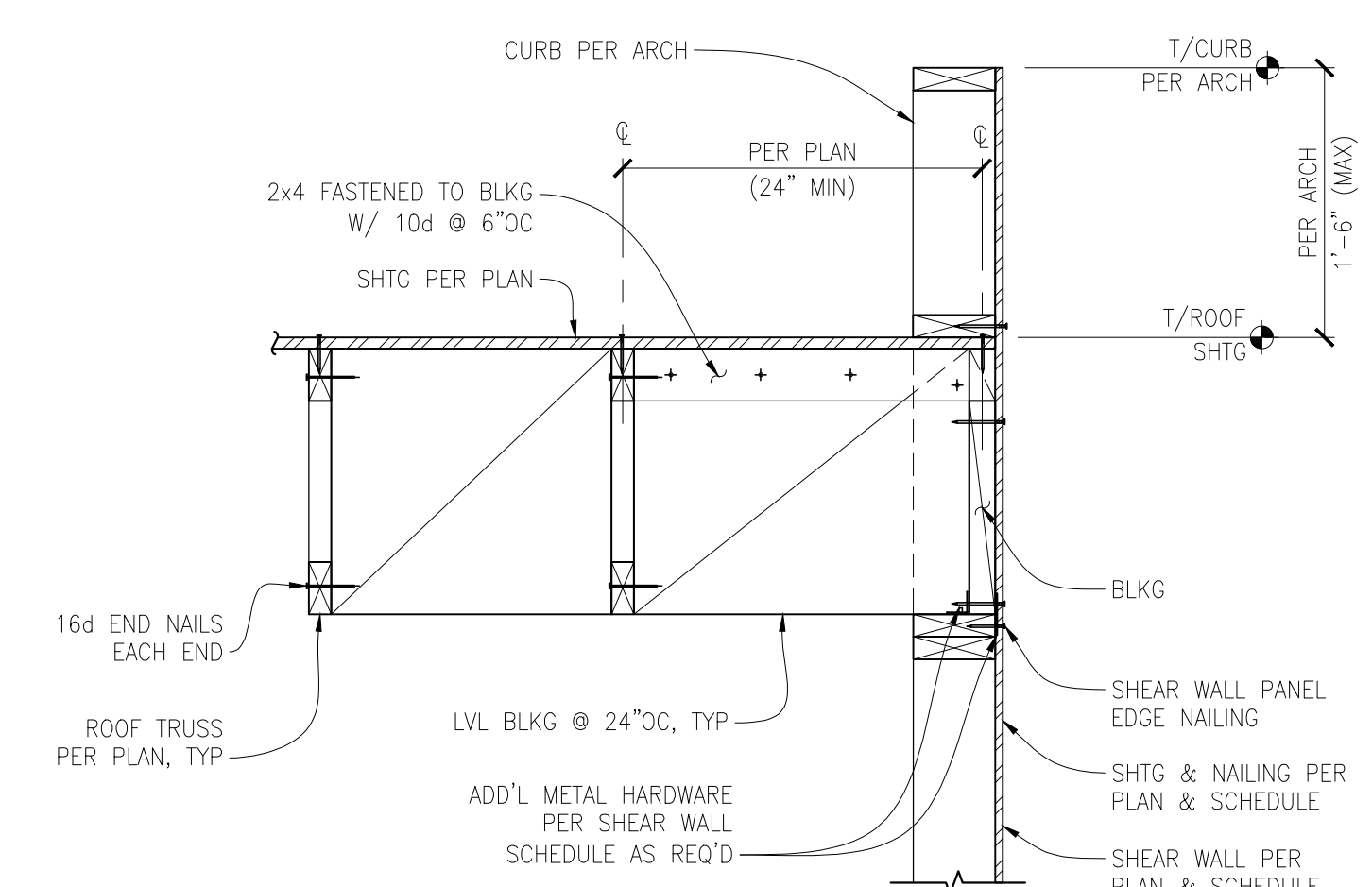
TYPICAL SECTION AT RIDGE BEAM
SCALE: 1" = 1'-0"



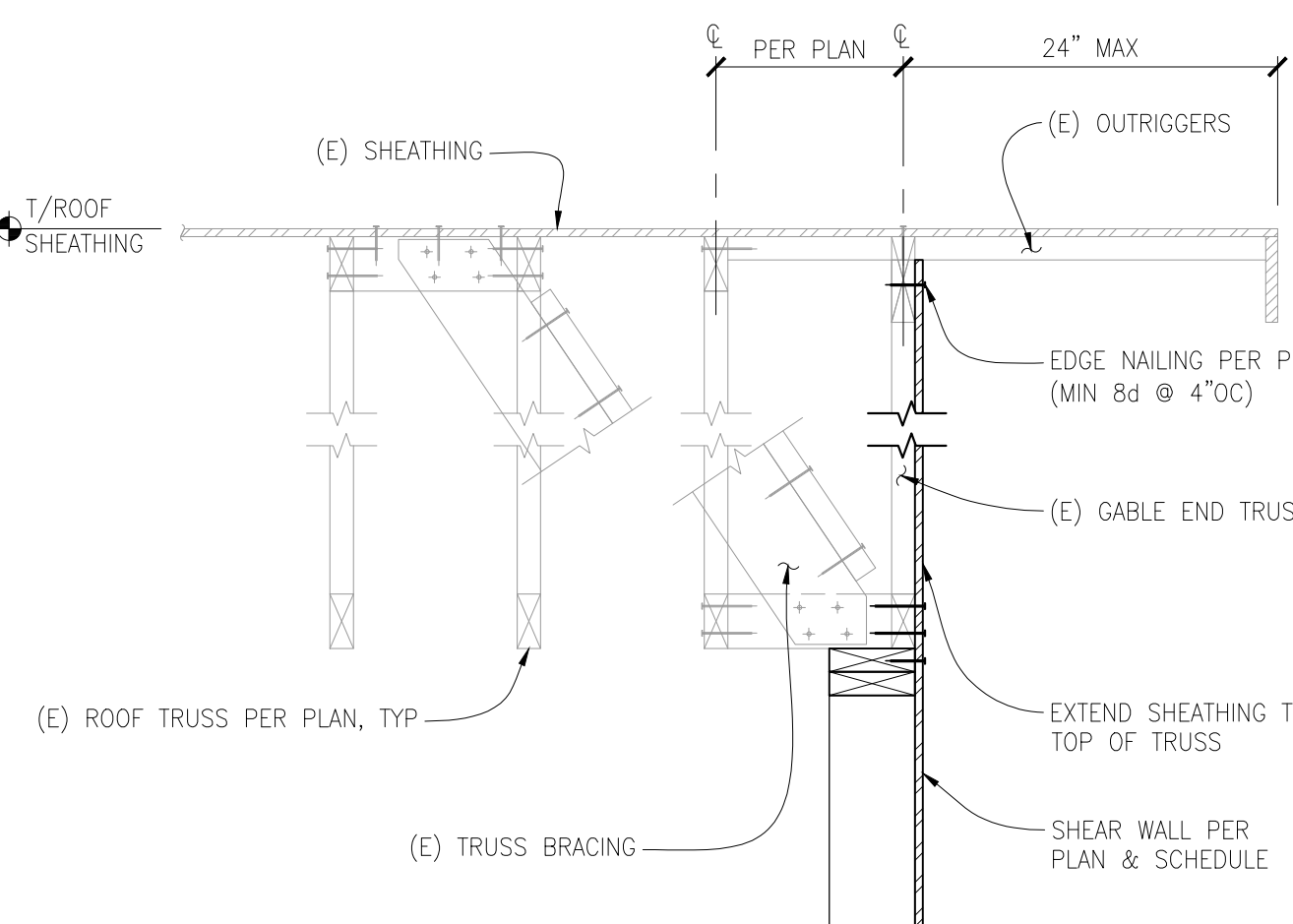
INTERIOR SHEAR WALL PARALLEL TO ROOF TRUSS
SCALE: 1" = 1'-0"



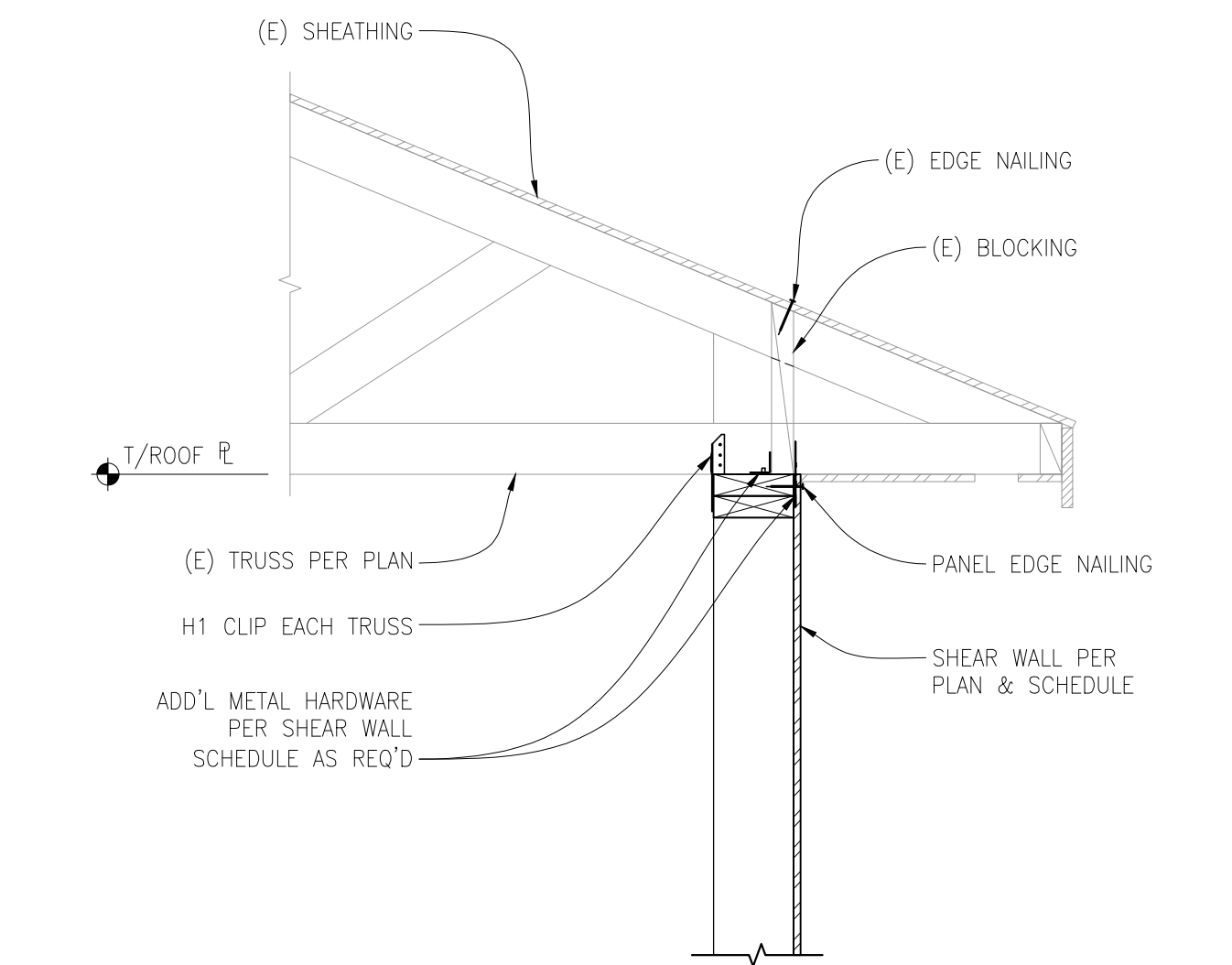
EXTERIOR SHEAR WALL PERPENDICULAR TO ROOF TRUSS
SCALE: N.T.S.



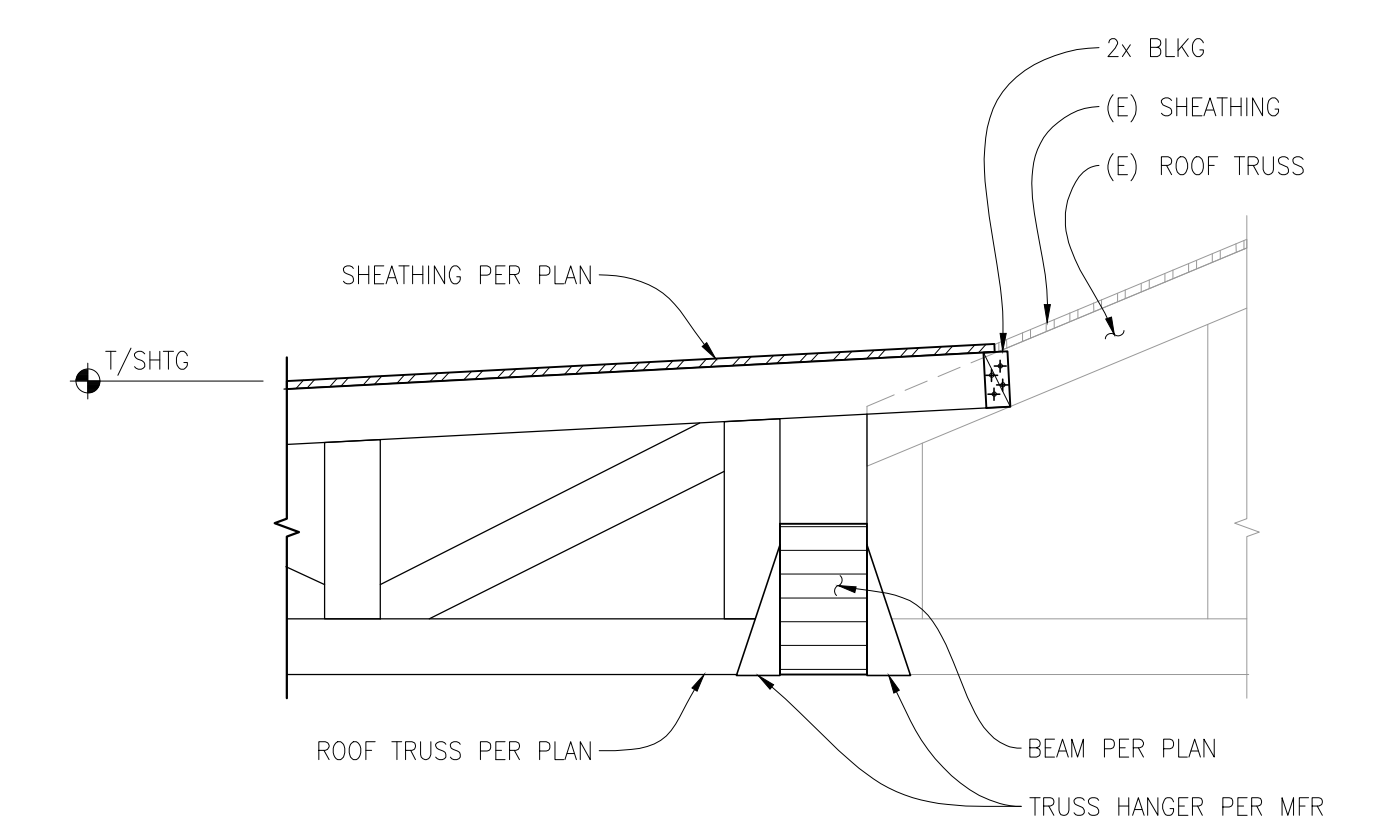
EXTERIOR SHEAR WALL PARALLEL TO ROOF TRUSS
SCALE: N.T.S.



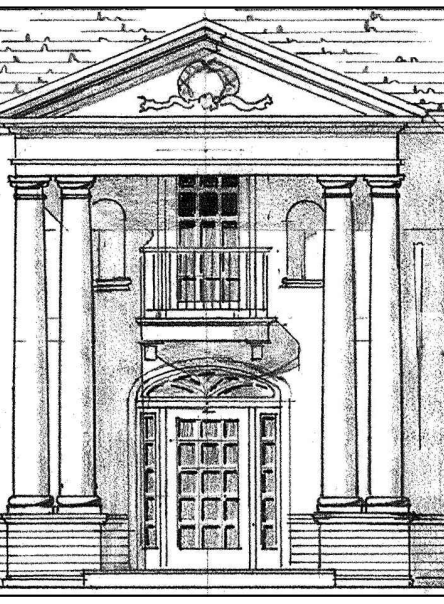
EXTERIOR SHEAR WALL PARALLEL TO EXISTING ROOF TRUSS
SCALE: 1" = 1'-0"



EXTERIOR SHEAR WALL PERPENDICULAR TO EXISTING ROOF TRUSS
SCALE: 1" = 1'-0"



EXISTING TRUSS-TO-NEW-TRUSS
SCALE: 1" = 1'-0"



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Robb A. Dibble
PROFESSIONAL ENGINEER
9/18/18

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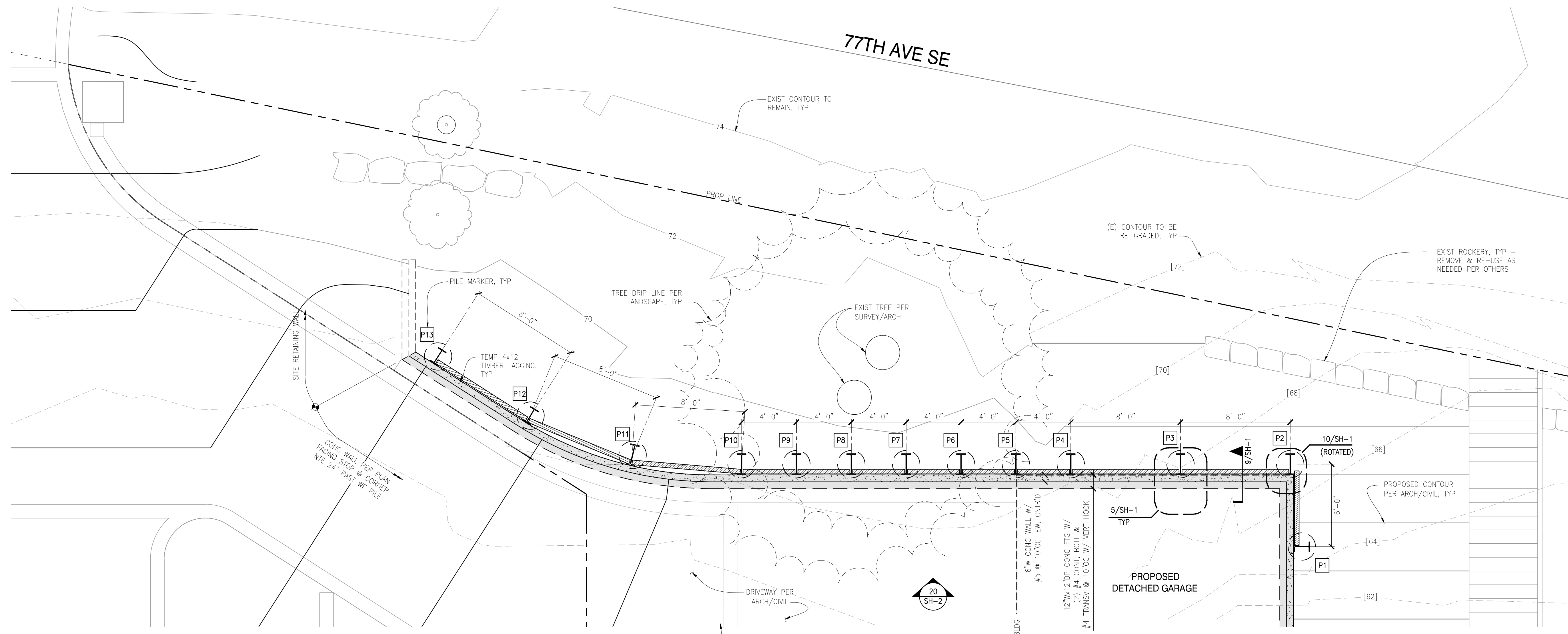
PEYREE REMODEL B
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NO.	DATE	REVISION
06/27/17	PERMIT SET	
09/18/18	BLDG. DEPT. RESP.	

DATE: 05/19/2017
JOB NUMBER: 17-291
DRAWN BY: SAT/TLE
DESIGNED BY: JBB

STRUCTURAL
DETAILS

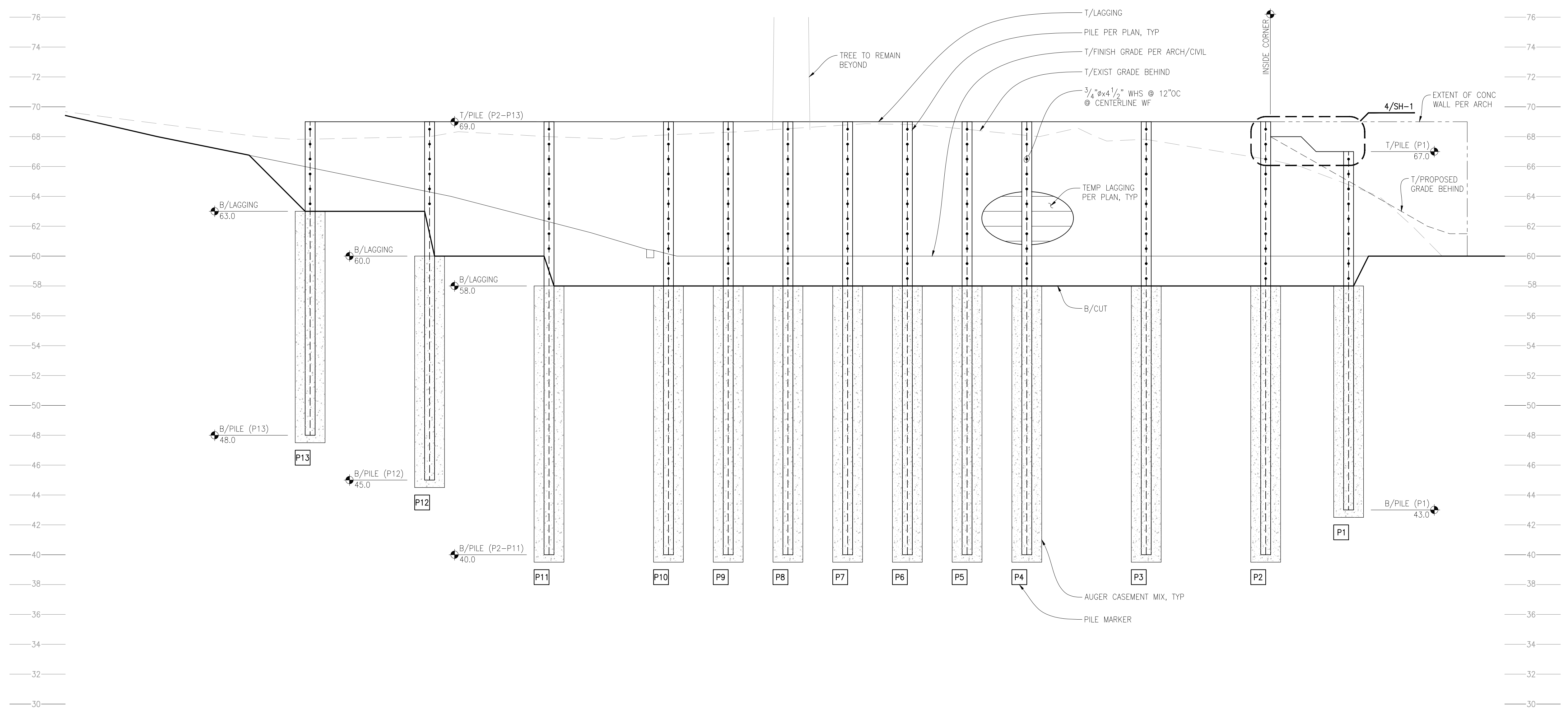
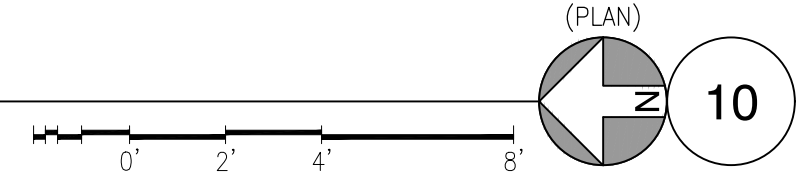
S4.2



- PLAN NOTES:**
1. REFERENCE SH-1 FOR GENERAL NOTES & PRESSURE DIAGRAM.
 2. PILE SIZES:
 - * W18x65 AT P2-P11; MAXIMUM 11'-0" RETAINING HEIGHT, MINIMUM 18'-0" EMBEDMENT.
 - * W14x43 AT P1, P12, P13; MAXIMUM 9'-0" RETAINING HEIGHT, MINIMUM 15'-0" EMBEDMENT.
 3. AUGER DIAMETER TO BE 2'-0", TYP, UNO.
 4. PILE SPACING PER PLAN (8'-0" OCC MAXIMUM).

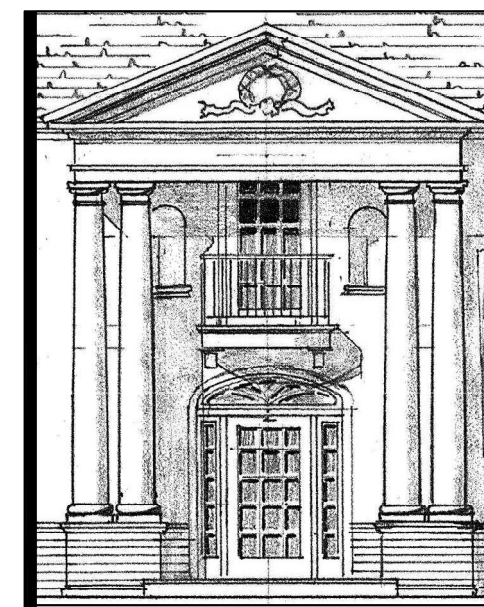
SHORING PLAN

SCALE: 1/4" = 1'-0"

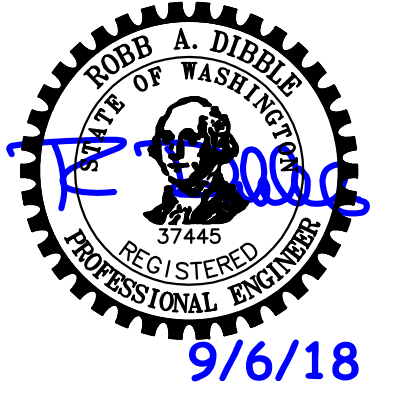


TEMPORARY SHORING WALL ELEVATION

SCALE: 1/4" = 1'-0"



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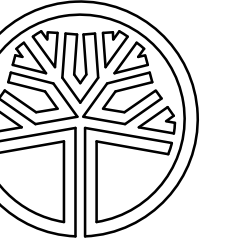
NO.	DATE	REVISION

PERMIT DATE: 09/06/2018
 JOB NUMBER: 17-291.300
 DRAWN BY: MRL
 DESIGNED BY: JKL

SHORING PLAN
 & ELEVATION

SH-2

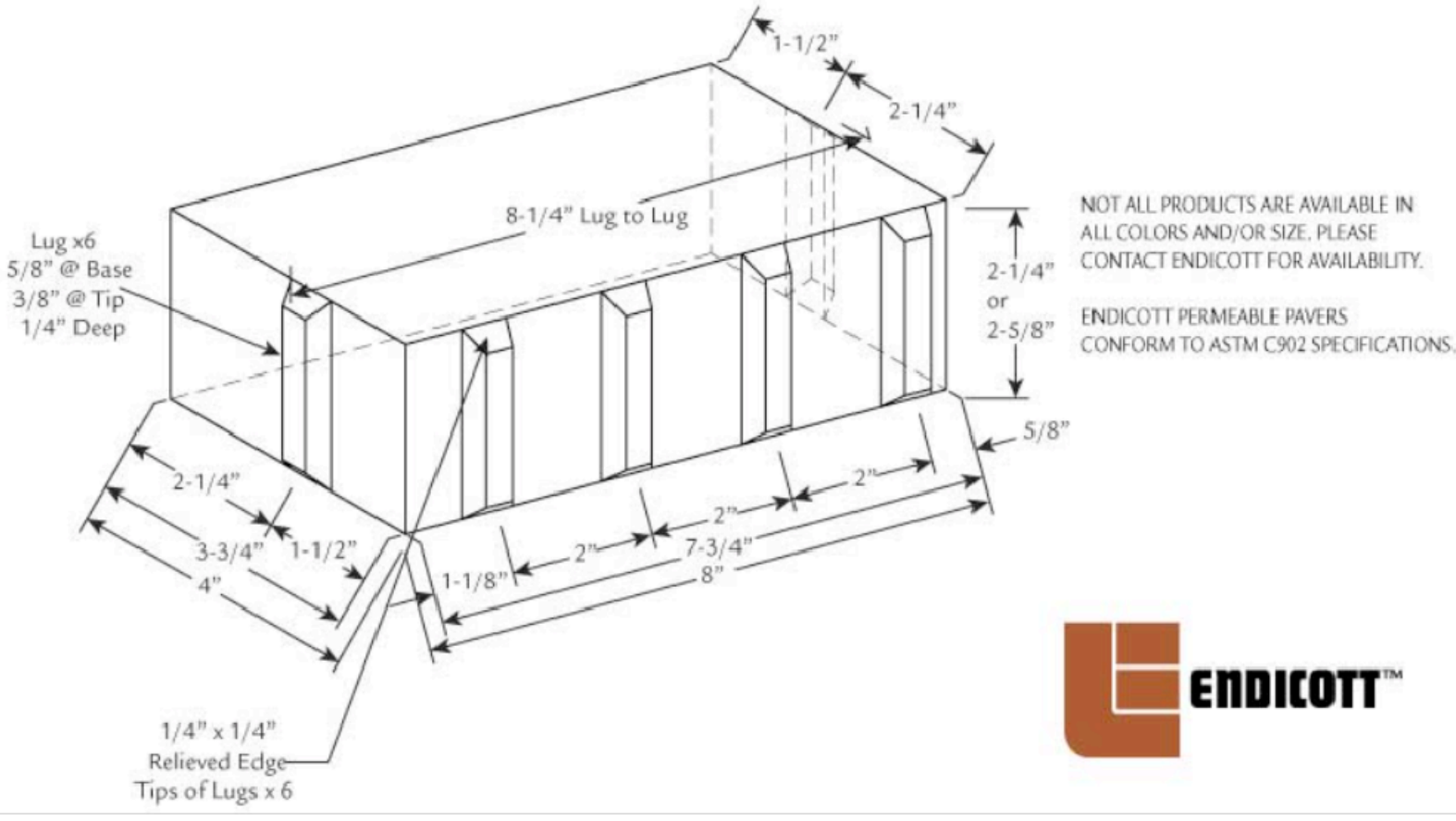
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STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT

DANIEL M. DI ZAZZO CERTIFICATE NO. 1209

4X8 PERMEABLE PAVER



GRADING & DRAINAGE NOTES

- ESTABLISH THE FOLLOWING SUBGRADES: PLANTING AREAS: -12\"/>

GRADING & DRAINAGE LEGEND

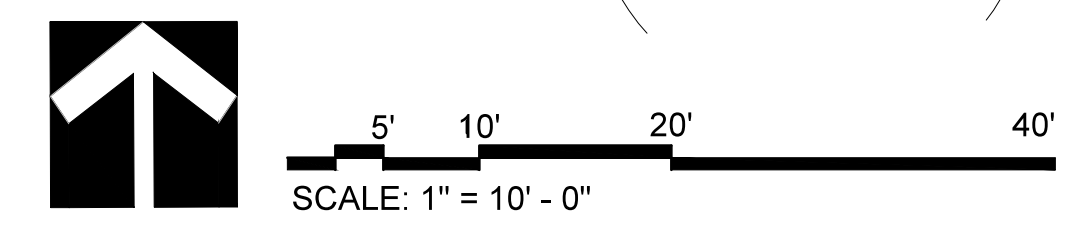
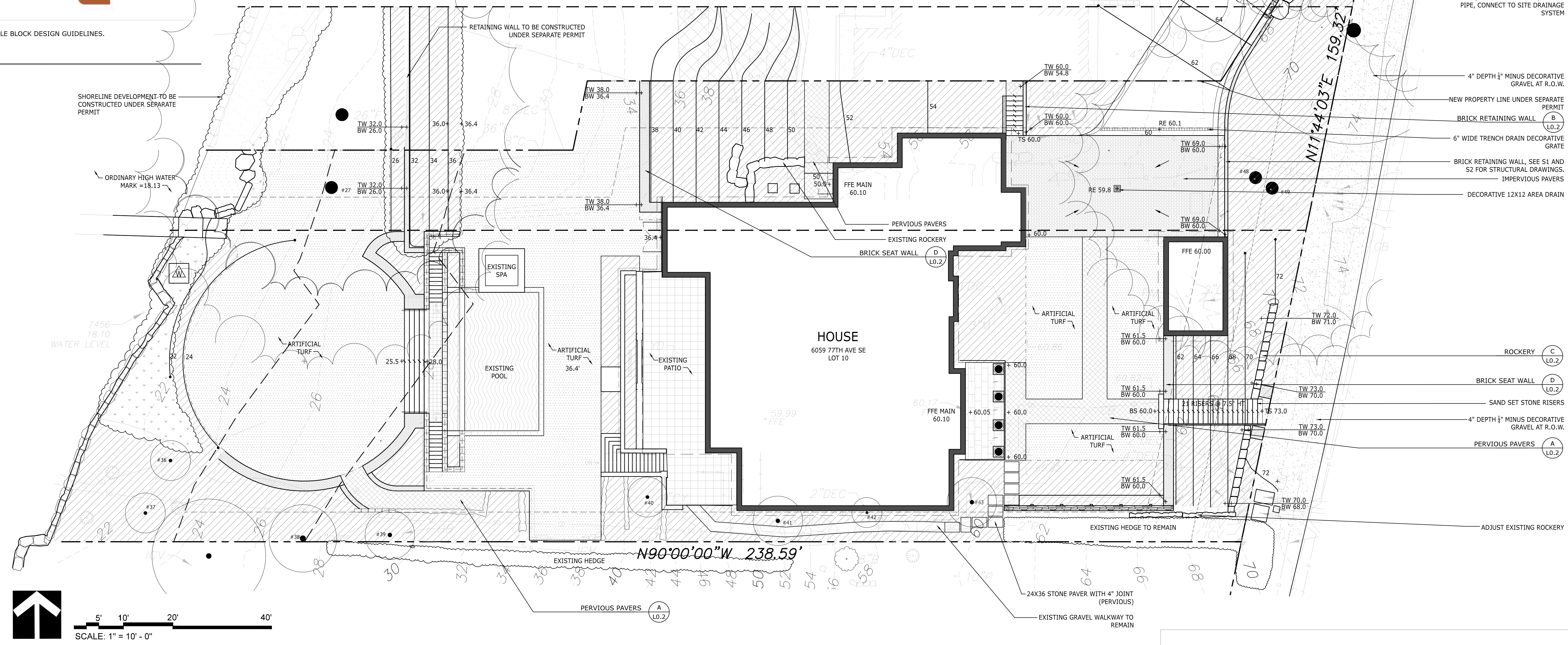
PROPOSED CONTOUR	956
EXISTING CONTOUR	956
PERFORATED PIPE - 4\"/>	
SOLID DRAINPIPE - 6\"/>	
AREA DRAIN-12\"/>	
PROPOSED SPOT ELEVATION	123.45
EXISTING SPOT ELEVATION	(123.45)
FINISH FLOOR ELEVATION	FFE
TOP OF WALL	TW
BOTTOM OF WALL	BW
TOP OF STEP	TS
BOTTOM OF STEP	BS
RIM ELEVATION	RE
DIRECTION OF SURFACE FLOW	←

GENERAL LEGEND

3/16\"/>	
EXISTING DECIDUOUS TREE	(Symbol)
EXISTING EVERGREEN TREE	(Symbol)
ARTIFICIAL TURF	(Symbol)
PLANTING AREA	(Symbol)
SHORELINE PLANTING (SEPARATE PERMIT)	(Symbol)
PERVIOUS PAVERS	(Symbol)
IMPERVIOUS STONE PAVERS	(Symbol)
36X24 BLUESTONE PAVERS (PERVIOUS)	(Symbol)
IMPERVIOUS PAVERS	(Symbol)

NOTE: 1. INSTALLATION TO FOLLOW CITY OF MERCER ISLAND PERMEABLE BLOCK DESIGN GUIDELINES.

A PERMEABLE BRICK PAVER
SCALE: NOT TO SCALE



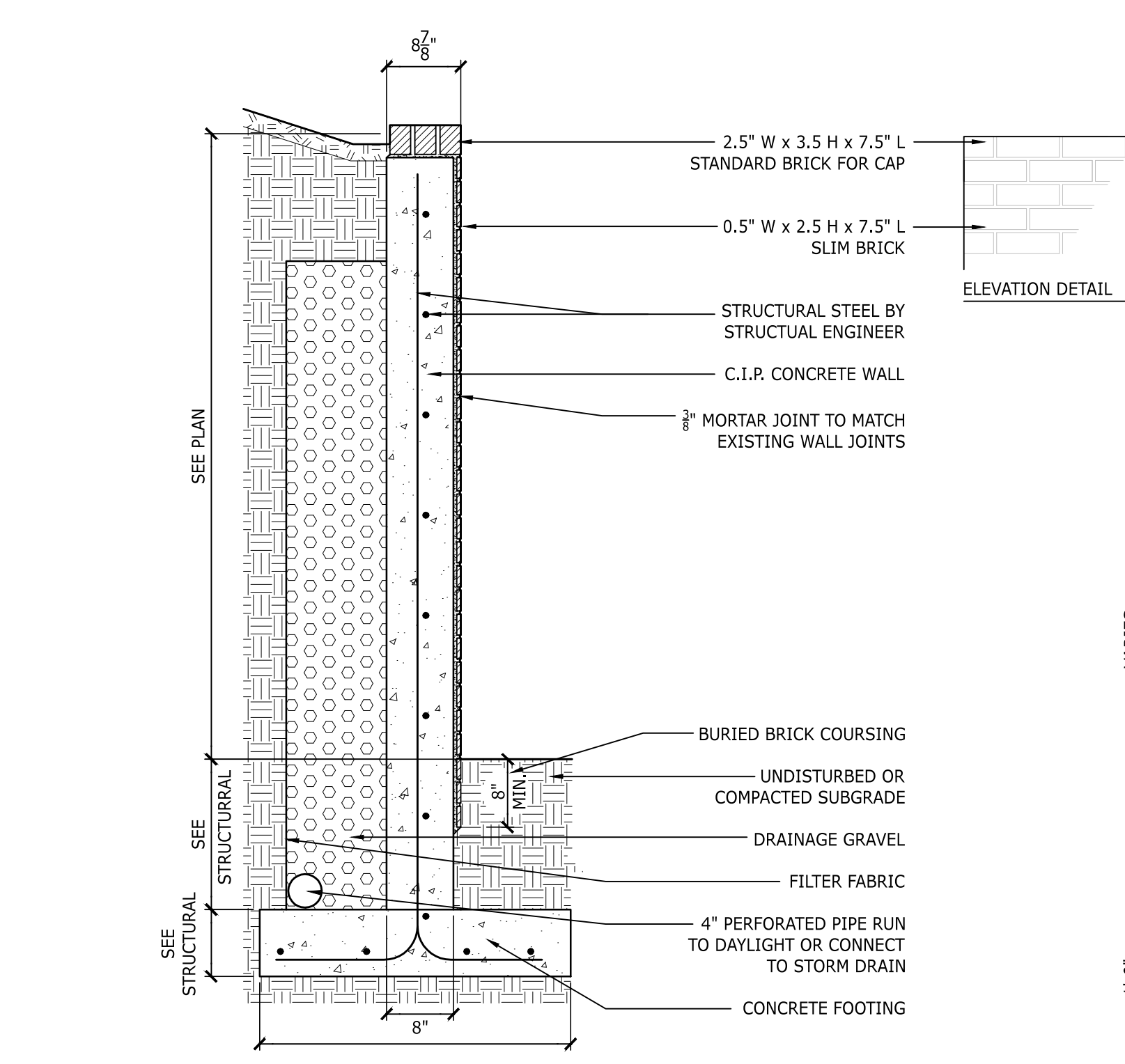
PROJECT TITLE
PEYREE RESIDENCE
6059 77TH AVE SE
Mercer Island, WA 98040

DRAWING TITLE
LAYOUT, MATERIALS, GRADING, & UTILITIES PLAN

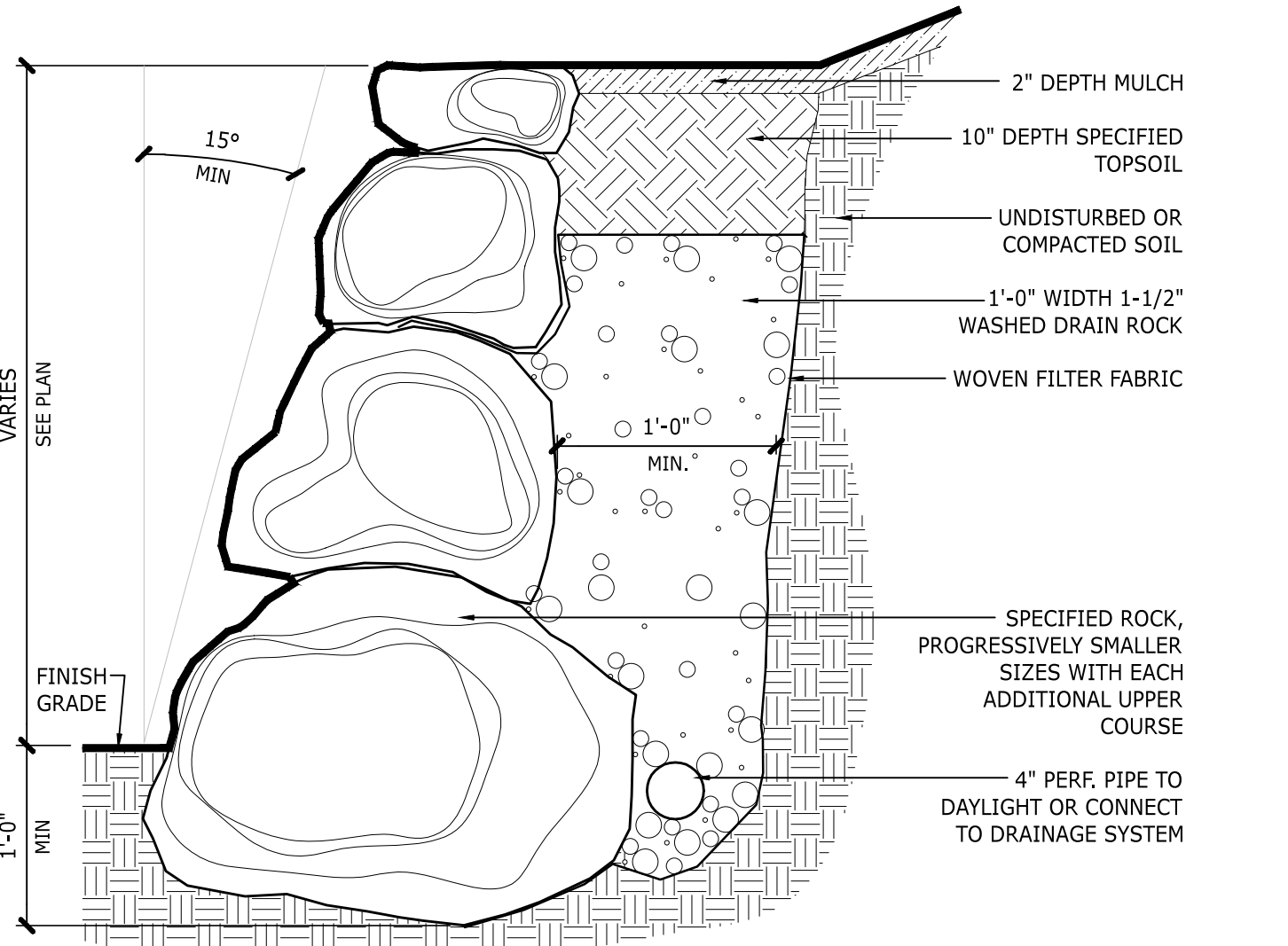
NO.	DATE	DESCRIPTION
1	07.20.17	PERMIT
2	09.25.18	PERMIT REVISION

SHEET NUMBER

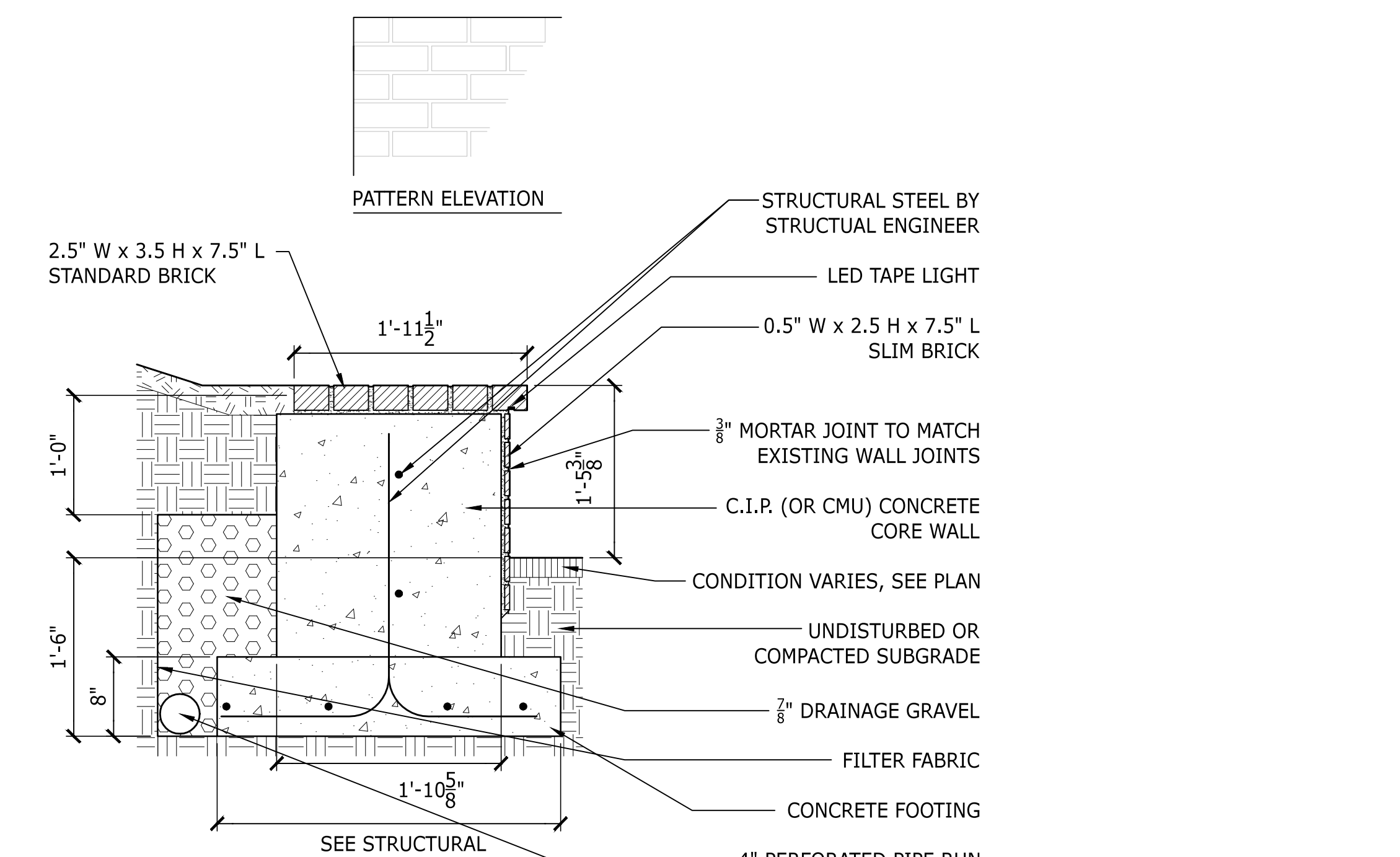
L0.2



B TYPICAL BRICK WALL DETAIL
SCALE: 3/4\"/>



C ROCKERY
SCALE: 1\"/>



D BRICK SEAT WALL
SCALE: 1\"/>



May 27, 2018
Dan Di Zazzo | Landscape Architecture
92 Lenora Street
Seattle, WA 98121

Dear Dan,

This note is in response to City of Mercer Island Review Comments for File No. SUB17-010-Peyree Short Plat, dated October 17, 2017. Reference is made to the attached "Tree Preservation and Removal Plan."

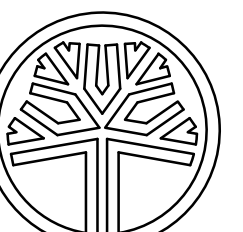
The review asks for documentation from the Project Arborist regarding the long term negative impacts of the driveway and retaining wall construction on trees #48 and #49, both large Douglas-fir.

The construction plan is to replace the existing driveway that is now within about 18-feet of the trees, leaving the soil grade as is in the area from the trees to the driveway and maintaining the existing location and grade. In my opinion replacing the driveway will not significantly adversely affect tree vigor and vitality.

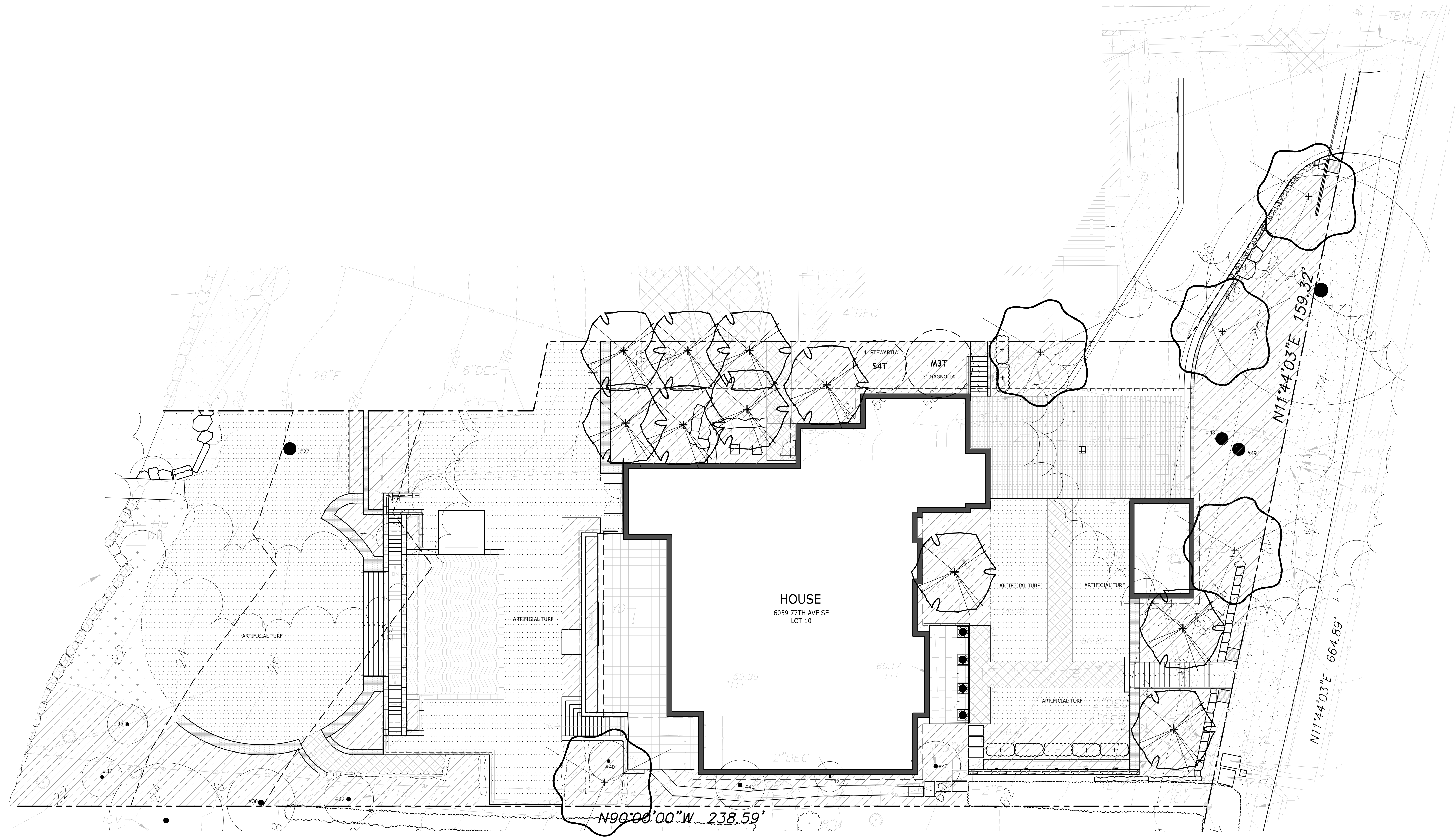
The planned retaining wall will replace the existing concrete block wall that currently stands about 18-24 feet from tree #49 and 6-12 feet from tree #48. The plan calls for removing the wall and replacing it with a new wall utilizing "pin pile" shoring. (See attached diagram). The new wall will stand in the same location as the existing wall and no change in soil grade is planned. This construction technique is minimally destructive to existing tree roots, although some minor damage can be expected. That damage should not affect the tree vigor and vitality. (Note that previous owners have put top soil over the root crowns of both trees that should be raked away).

Tom Hanson

Tom Hanson
CA#23136, RCA#499



STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
DANIEL M. DI ZAZZO
CERTIFICATE NO. 1209



PROJECT TITLE
PEYRE RESIDENCE
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Mercer Island, WA 98040

DRAWING TITLE
SCHEMATIC PLANTING PLAN

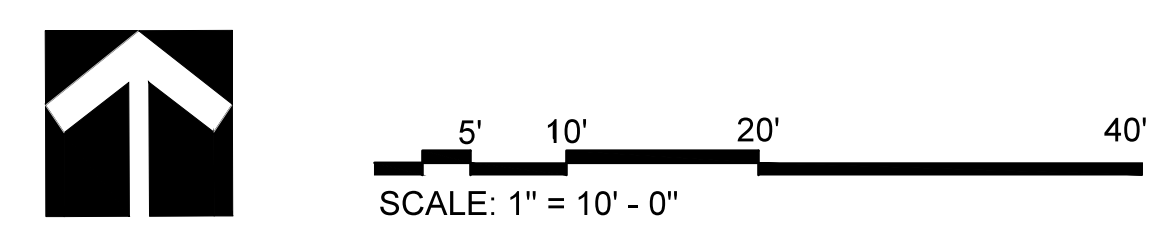
NO.	DATE	DESCRIPTION
1	07.20.17	PERMIT
2	09.25.18	PERMIT REVISION

SHEET NUMBER

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	QTY.	REMARKS
	ACER PALMATUM JAPANESE MAPLE	7-8' HT.	10	
	BETULA UTILIS 'JACQUEMONTII' JACQUEMONT BIRCH	2-1/2' CAL.	5	
	CARPINUS BETULUS BLEACHED HORNBREAM	2" CAL.	7	
	STEWARTIA TRANSPLANT	4" CAL.	1	
	MAGNOLIA TRANSPLANT	3"	1	
	SHRUB, GROUNDCOVER, AND PERENNIAL PLANTING AREA	N/A	-	
	SHORELINE NATIVE PLANTING. SEPARATE PERMIT.	N/A	-	
	ARTIFICIAL TURF	N/A	-	

- PLANT NOTES**
- FINISH GRADES SHALL BE 1" BELOW TOP OF ADJACENT PAVED SURFACE. PLANTING AREAS SHALL BE CROWNED 1/2" PER FOOT UNLESS OTHERWISE NOTED.
 - ALL SHRUB AREAS TO RECEIVE 10" DEPTH OF APPROVED TOPSOIL.
 - ALL SHRUB AREAS TO RECEIVE THE FOLLOWING SOIL PREPARATION: SCARIFY OR ROTO-TILL EXISTING SUBGRADES TO A MINIMUM DEPTH OF 12". REMOVE ALL LARGE STONES AND OTHER MISC. DEBRIS. PLACE ONE-HALF DEPTH SPECIFIED TOPSOIL AND INCORPORATE INTO PREPARED SUBGRADE. PLACE REMAINING TOPSOIL TO FINISH GRADE. TOPSOIL DEPTHS TO BE MEASURED AFTER COMPACTING.
 - ALL ARTIFICIAL TURF AREA TO RECEIVE 6" DEPTH OF APPROVED DRAINAGE GRAVEL OVER THE SUBGRADE EXCAVATED 6" DEPTH AND SLOPED TO DRAIN.
 - ALL PLANTING AREAS ARE TO RECEIVE 2" DEPTH CEDAR GROVE LANDSCAPE MULCH OR APPROVED EQUIV.
 - LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL UNTIL FINAL INSPECTION AND APPROVAL.
 - ALL PLANTINGS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING FINAL OWNER ACCEPTANCE.
 - PROVIDE SLOW-RELEASE FERTILIZER (OSMOCOTE OR APPROVED EQUIV.) AT ALL PLANTINGS. PROVIDE FERTILIZER PLANT TABLETS AT ALL TREE PLANTINGS (TWO PER TREE). VERIFY WITH LANDSCAPE ARCHITECT.



L0.3

PEYREE RESIDENCE

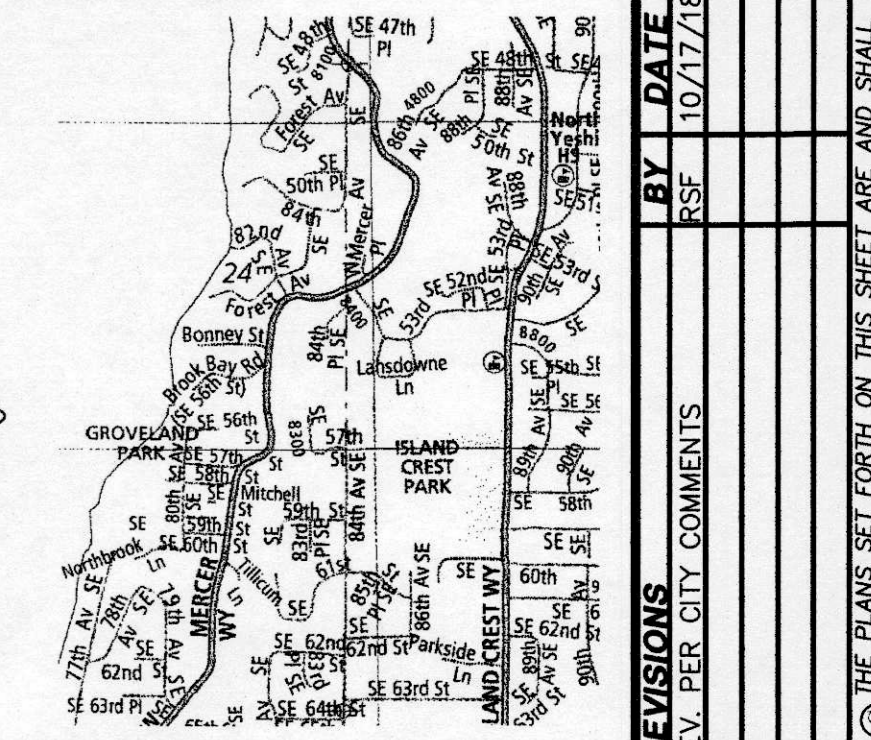
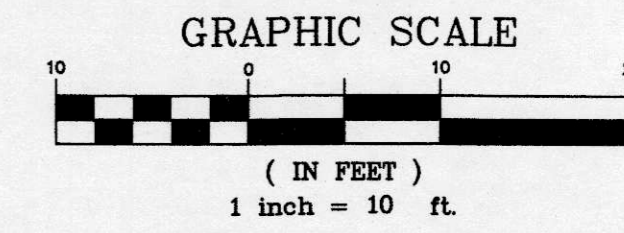
SE 1/4 OF SEC.24, T.24N., R.4E., W.M.

CITY OF MERCER ISLAND, WASHINGTON

OWNERS:
SCOTT AND MICHELLE PEYREE
6059 77TH AVENUE SE
MERCER ISLAND, WA 98040

SITE ADDRESS:
6059 77TH AVENUE SE
MERCER ISLAND, WA 98040

PARCEL NO:
409710-0055



SOIL QUALITY AND DEPTH NOTE:

*Soil quality. All areas subject to clearing and grading that have not been covered by impervious surface, incorporated into a drainage facility or engineered as structural fill or slope shall, at project completion, demonstrate the following:

- 1) A topsoil layer with a minimum organic matter content of 10% dry weight in planting beds, and 5% organic matter content in turf areas, and a pH from 6.0 to 8.0 or matching the pH of the undisturbed soil. The topsoil layer shall have a minimum depth of eight inches except where tree roots limit the depth of incorporation of amendments needed to meet the criteria. Subsoils below the topsoil layer should be scarified at least 4 inches with some incorporation of the upper material to avoid stratified layers, where feasible.
- 2) Mulch planting beds with 2 inches of organic material.
- 3) Use compost and other materials that meet these organic content requirements:
 - a) The organic content for "pre-approved" amendment rates can be met only using compost meeting the compost specification for Bioretention (BMP T7.30), with the exception that the compost may have up to 35% biosolids or manure. The compost must also have an organic matter content of 40% to 65%, and a carbon to nitrogen ratio below 25:1. The carbon to nitrogen ratio may be as high as 35:1 for plantings composed entirely of plants native to the Puget Sound Lowlands region.
 - b) Calculated amendment rates may be met through use of composted material meeting (a) above, or other organic materials amended to meet the carbon to nitrogen ratio requirements, and not exceeding the contaminant limits identified in Table 220-B, Testing Parameters, in WAC 173-350-220.

LEGEND

- SECTION CORNER
- QUARTER CORNER
- FOUND MONUMENT
- SET REBAR W/CAP
- SET NAIL W/FLASHER
- FOUND MONUMENT
- (125.21') DEED MEASUREMENT
- 2X2 WOOD HUB
- WATER VALVE
- FIRE HYDRANT
- TELEPHONE PEDASTAL
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- TREE
- TRAFFIC SIGN

EXISTING IMPERVIOUS AREA

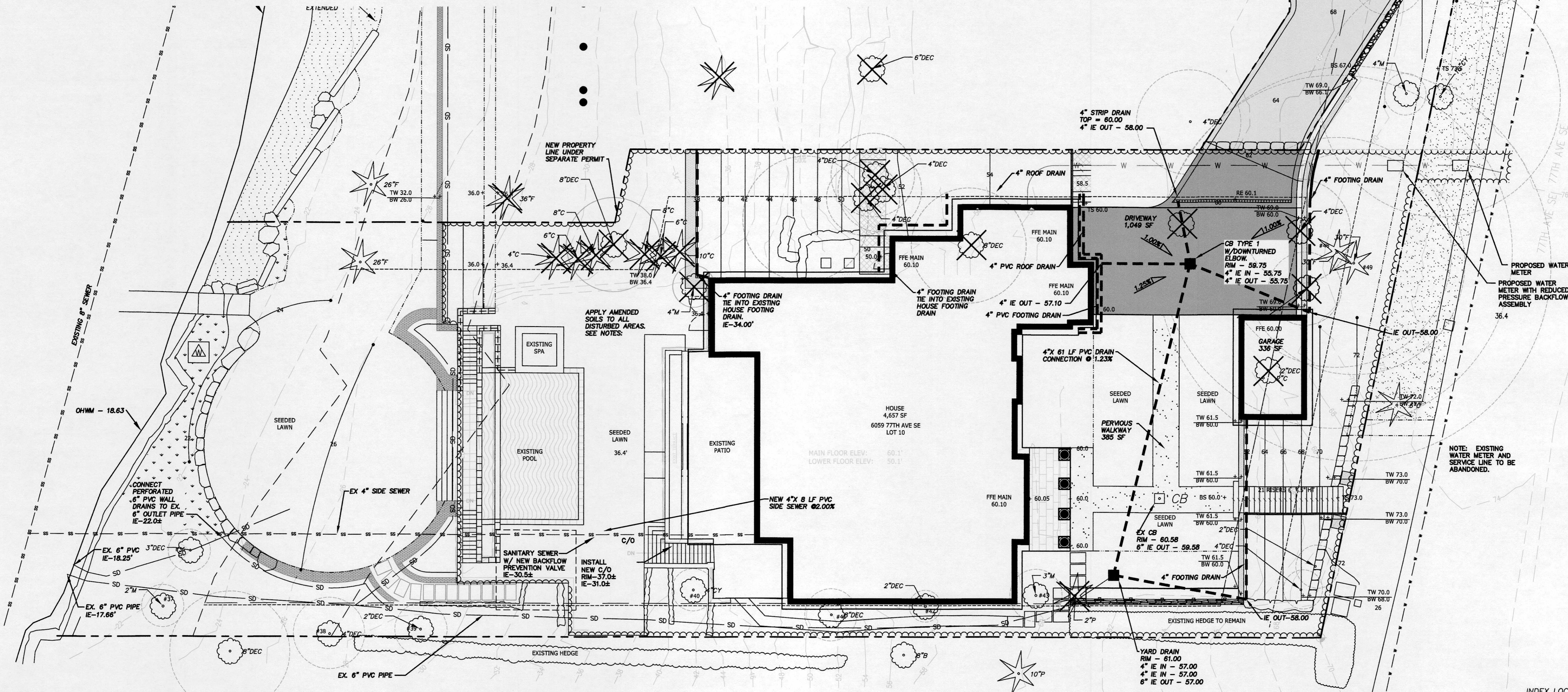
LOT AREA: 18,650 S.F.
HOUSE/GARAGE BLDG ROOF AREA: 4,443 S.F.
DRIVEWAY & WALKWAY AREA: 5,221 S.F.
TOTAL AREA: 9,664 S.F.
PERCENT LOT COVERAGE 9,664/18,650 = 51.82%

NEW IMPERVIOUS AREA

LOT AREA: 18,650 S.F.
EX HOUSE BLDG ROOF AREA: 3,700 S.F.
NEW GARAGE: 1,289 S.F.
NEW DRIVEWAY: 1,049 S.F.
EX WALKWAY AREA: 1,760 S.F.
TOTAL AREA: 7,798 S.F.
PERCENT LOT COVERAGE 7,798/18,650 = 41.81%

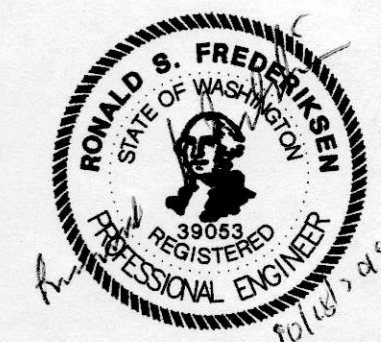
SHEET INDEX

- 1 DRAINAGE AND GRADING PLAN
- 2 TESC PLAN

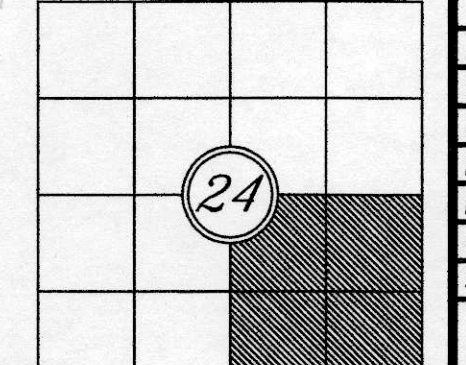


NOTE: THE EXISTING UTILITIES AS SHOWN ARE ONLY APPROXIMATE. OTHER EXISTING UTILITIES MAY EXIST ALONG THIS PROPOSED ALIGNMENT. IT SHALL BE THE CONTRACTOR AND OR OWNERS RESPONSIBILITY TO VERIFY THE SIZE TYPE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION

Call Before You Dig 811



INDEX LOCATION:
SEC. 24 T.24N.R. 4E. W.M.



REV.	BY	DATE
1	RSF	10/17/18

ENGINEERS - SURVEYORS
EASTSIDE CONSULTANTS, INC.
1320 N.W. MALL ST., SUITE B
PORTLAND, OR 97209
PH: (503) 992-6381 FAX: (503) 992-6070

SCOTT PEYREE
SE 1/4 OF SEC.24, T.24N., R.4E., W.M.
6059 77TH AVENUE SE
MERCER ISLAND, WA 98040

DRAINAGE PLAN

JOB NO. 17090
DATE 6/17
SCALE 1"=10'
DESIGNED CLM
DRAWN CLM
CHECKED RSF
APPROVED RSF
SHEET 1 OF 2

PEYREE RESIDENCE

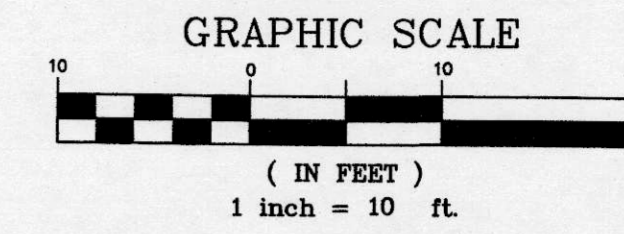
SE 1/4 OF SEC.24, T.24N., R.4E., W.M.

CITY OF MERCER ISLAND, WASHINGTON

OWNERS:
SCOTT AND MICHELLE PEYREE
6059 77TH AVENUE SE
MERCER ISLAND, WA 98040

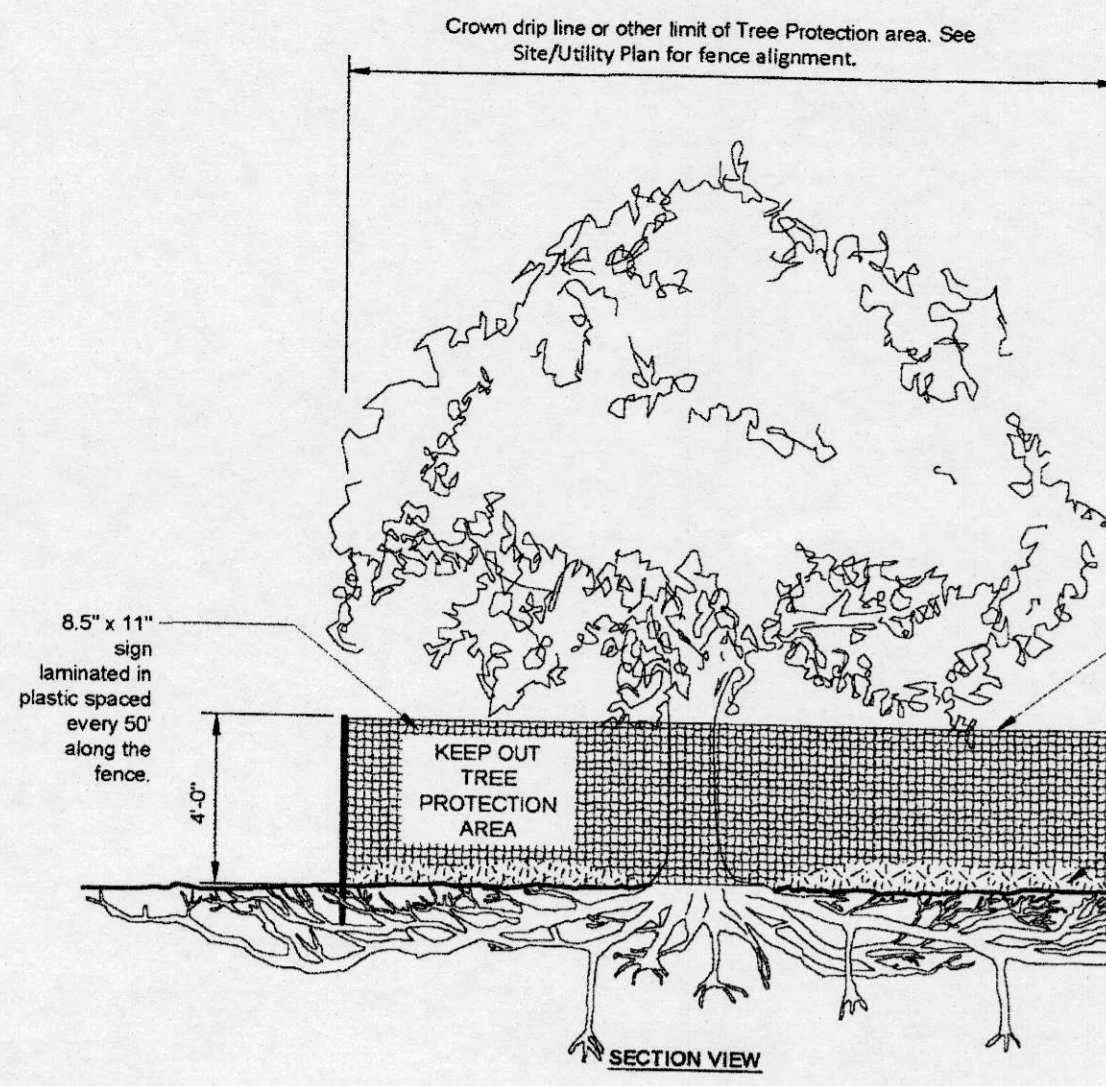
SITE ADDRESS:
6059 77TH AVENUE SE
MERCER ISLAND, WA 98040

PARCEL NO:
409710-0055

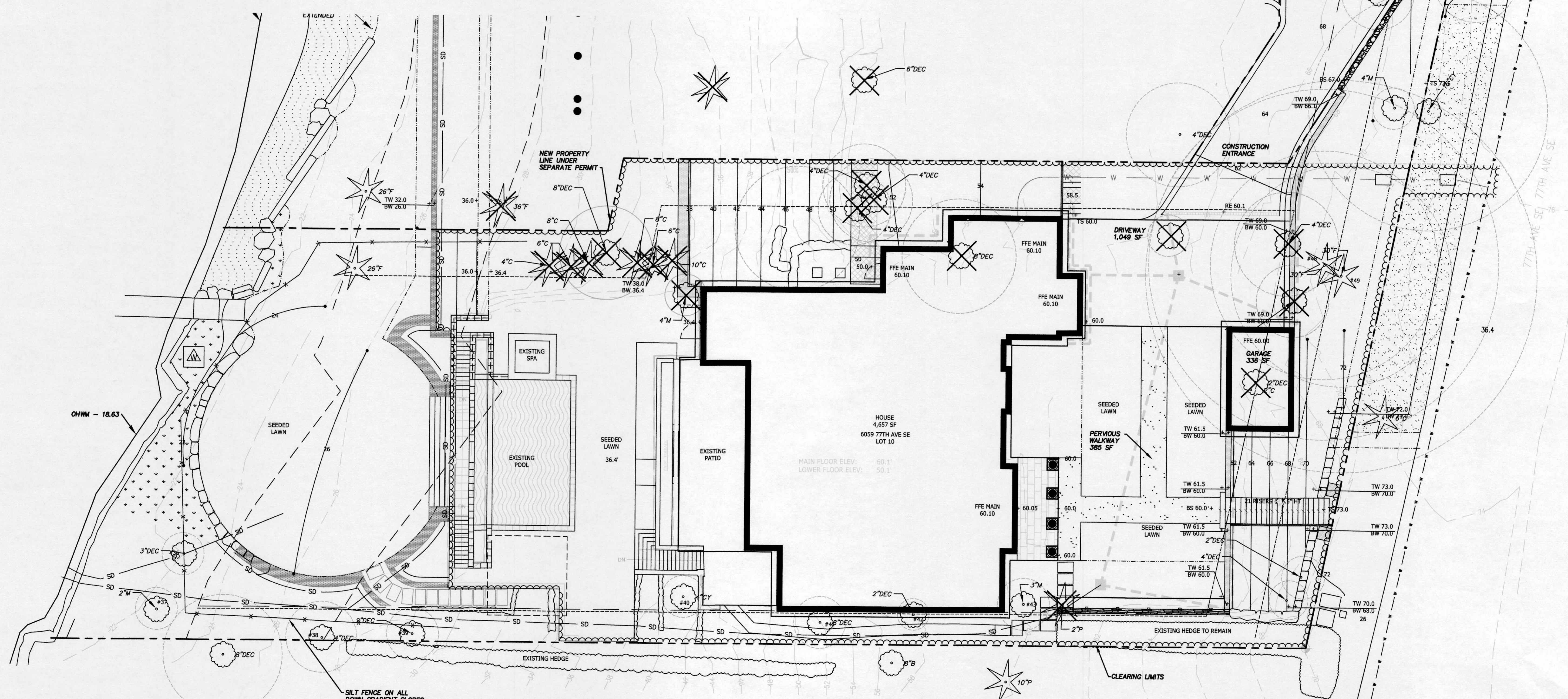


- LEGEND**
- SECTION CORNER
 - QUARTER CORNER
 - FOUND MONUMENT
 - SET REBAR W/CAP
 - SET NAIL W/FLASHER
 - FOUND MONUMENT
 - (125.21') DEED MEASUREMENT
 - 2X2 WOOD HUB
 - WATER VALVE
 - FIRE HYDRANT
 - TELEPHONE PEDASTAL
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - TREE
 - TRAFFIC SIGN

- Notes:**
- No pruning shall be performed unless under the direction of an arborist.
 - No equipment shall be stored or operated inside the protective fencing including during fence installation and removal.
 - No storage of materials shall occur inside the protective fencing.
 - Refer to Site/Utility Plan for any modifications to the Tree Protection Area.
 - Unauthorized activities in tree protection area may require evaluation by private arborist to identify impacts and mitigation required.
 - Exposed Roots: For roots >1" damaged during construction, make a clean straight cut to removed damaged portion and inform city arborist.

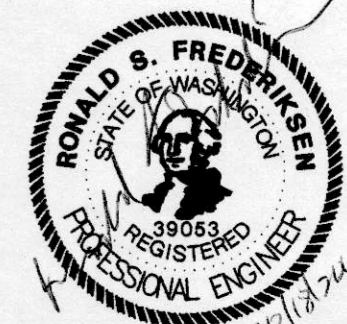


TREE PROTECTION DETAIL



NOTE: THE EXISTING UTILITIES AS SHOWN ARE ONLY APPROXIMATE. OTHER EXISTING UTILITIES MAY EXIST ALONG THIS PROPOSED ALIGNMENT. IT SHALL BE THE CONTRACTOR AND OR OWNERS RESPONSIBILITY TO VERIFY THE SIZE TYPE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION

Call Before You Dig 811



INDEX LOCATION:
SEC. 24 T. 24 N. R. 4 E. W.M.

24

REV.	DATE	BY	DATE
1	10/17/18	RSF	

TESC PLAN

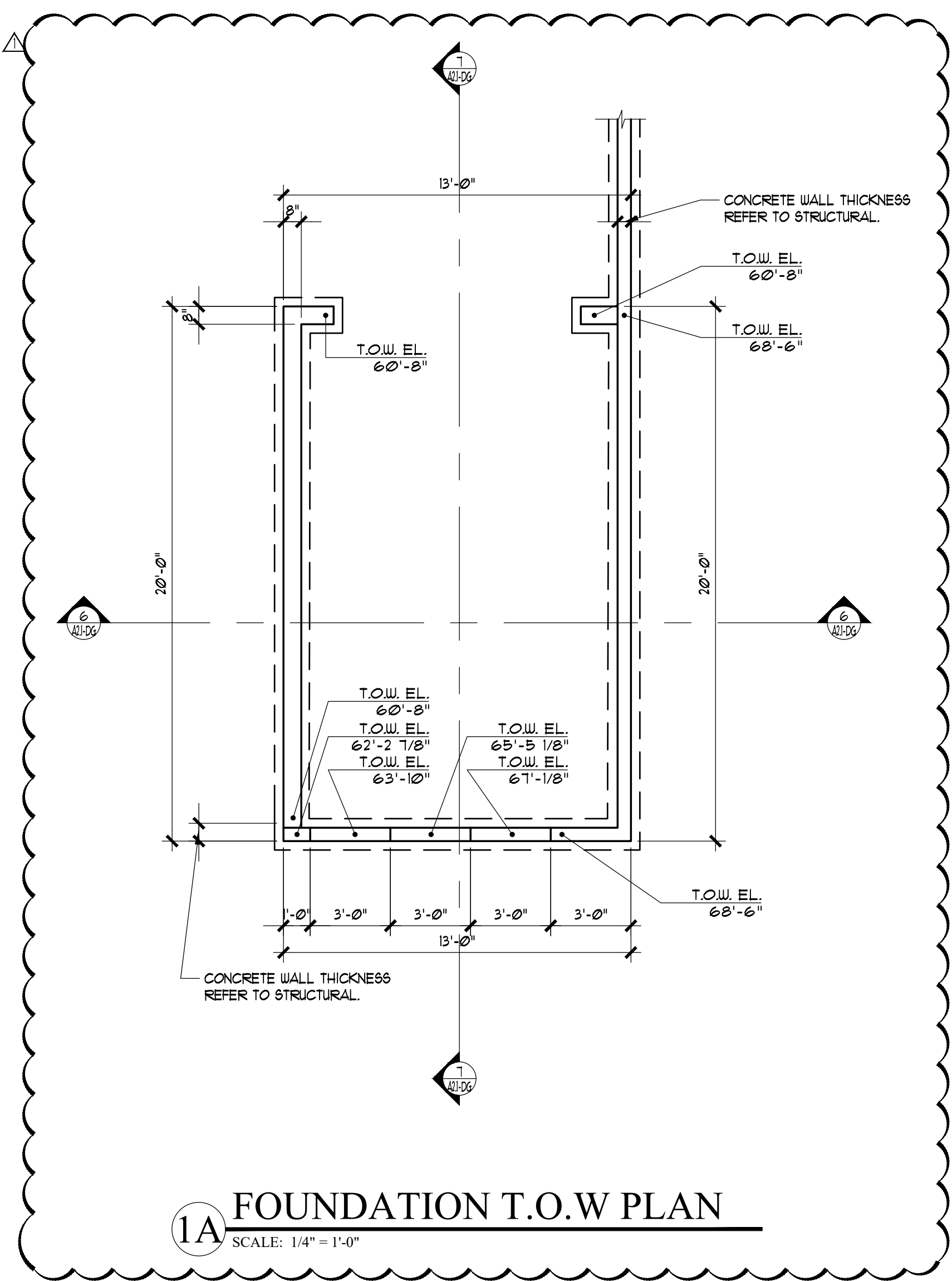
SCOTT PEYREE
SE 1/4 OF SEC.24, T.24N., R.4E., W.M.
6059 77TH AVENUE SE
MERCER ISLAND, WA 98040

EASTSIDE CONSULTANTS, INC.
1320 N.W. HALL ST. SUITE B
ISSAQUAH, WASHINGTON 98027
PH: (425) 992-5351 FAX: (425) 992-4676

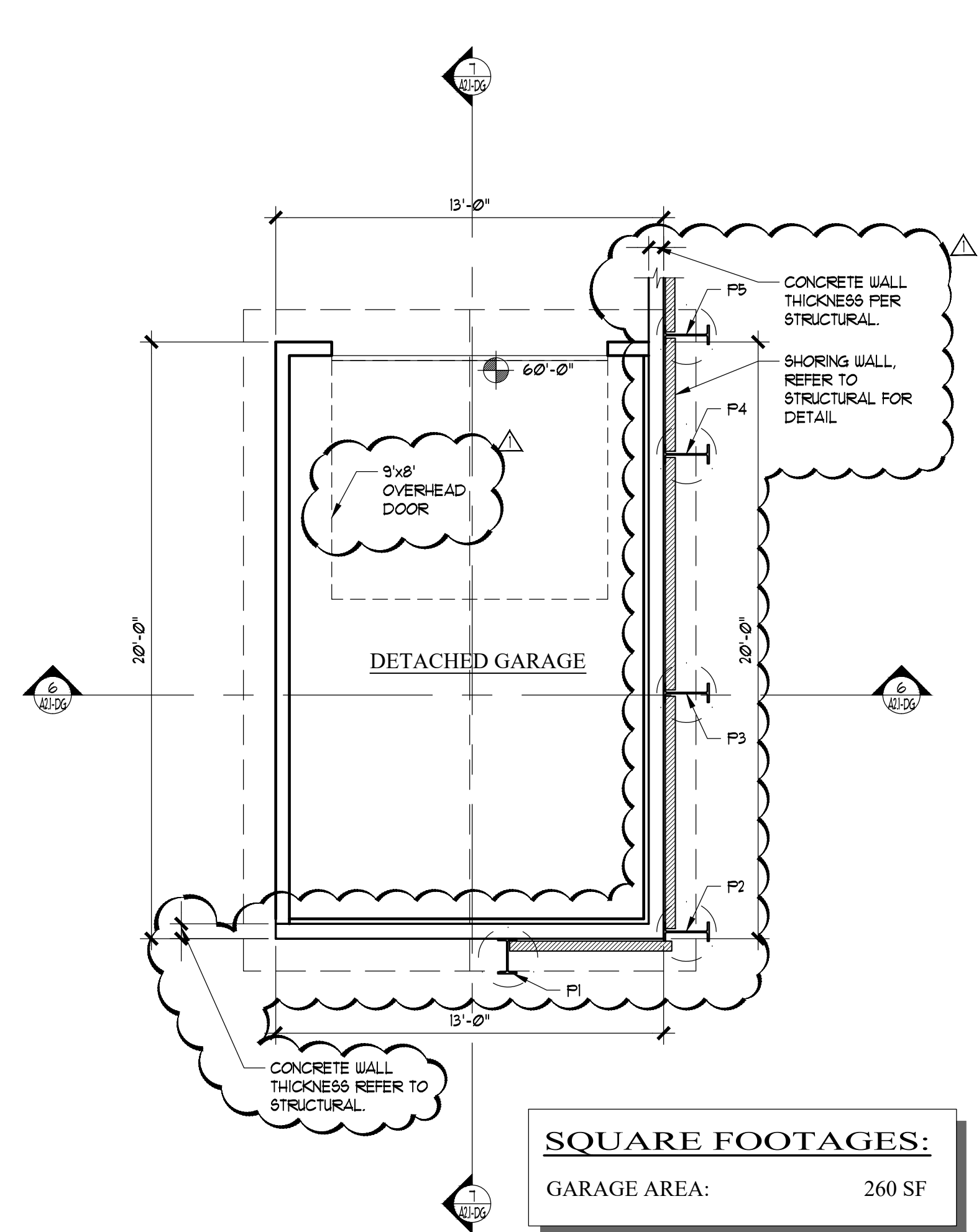
ENGINEERS - SURVEYORS

JOB NO. 17090
DATE 8/17
SCALE 1"=10'
DESIGNED CLM
DRAWN CLM
CHECKED RSF
APPROVED RSF

SHEET 2 OF 2



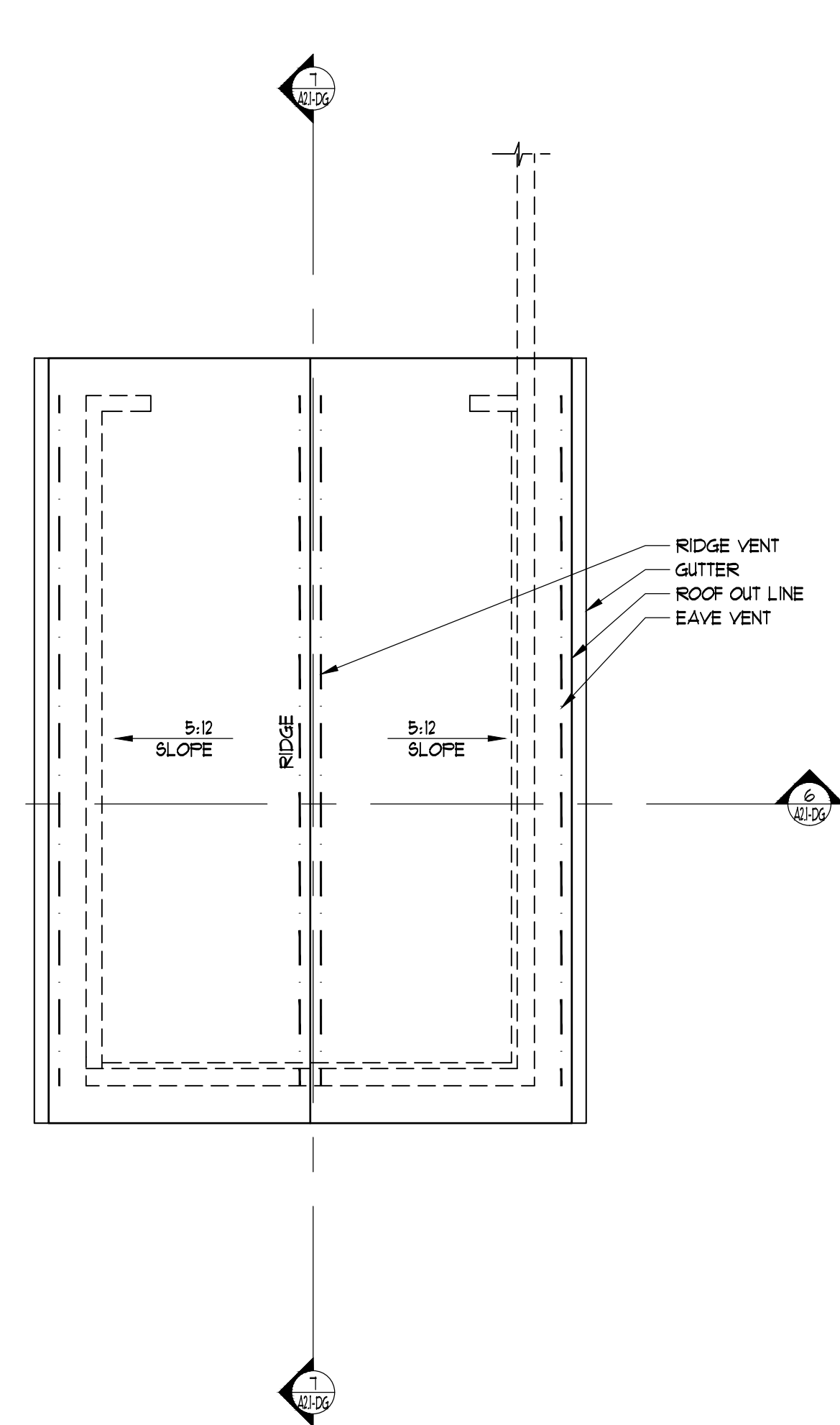
1A FOUNDATION T.O.W PLAN
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGES:

GARAGE AREA:	260 SF
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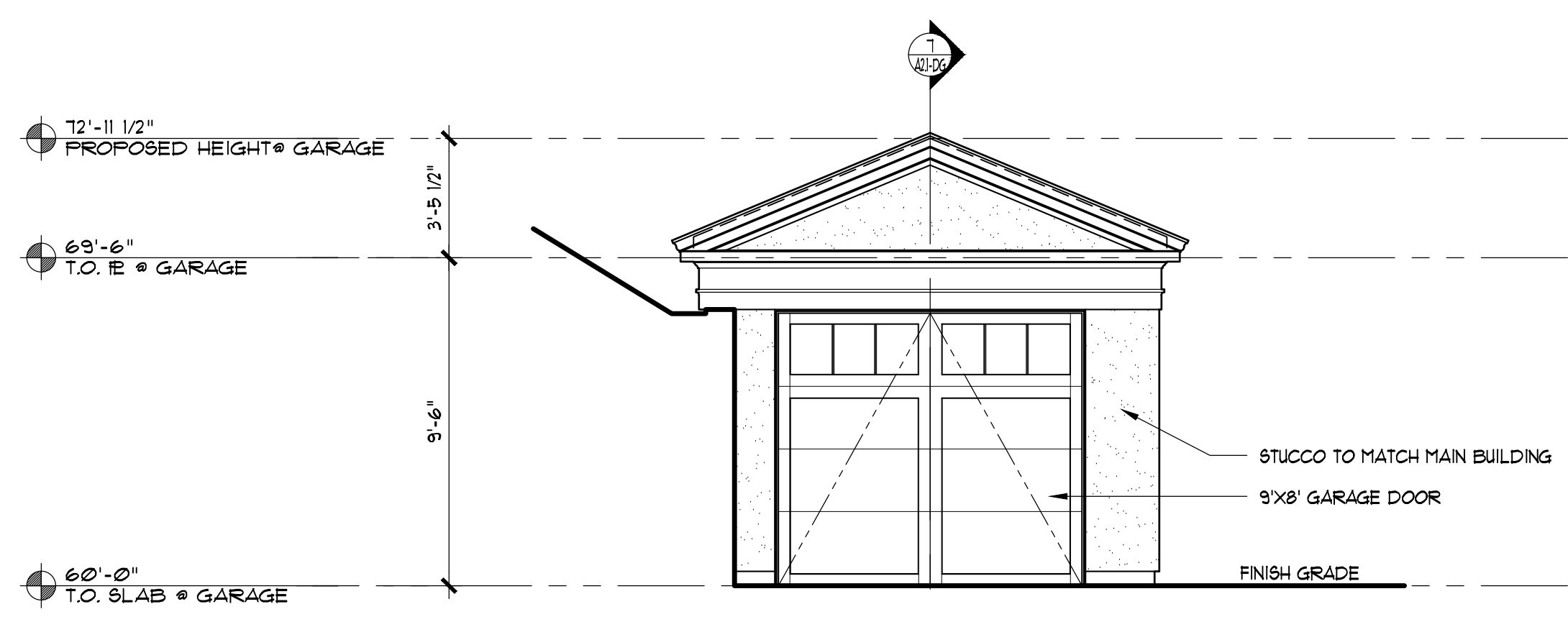
2 ROOF PLAN
SCALE: 1/4" = 1'-0"

VENTILATION NOTES:
ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1 INCH OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/60 OF THE AREA OF THE SPACE VENTILATED.
OPENINGS FOR VENTILATION SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4 INCH IN DIMENSION.

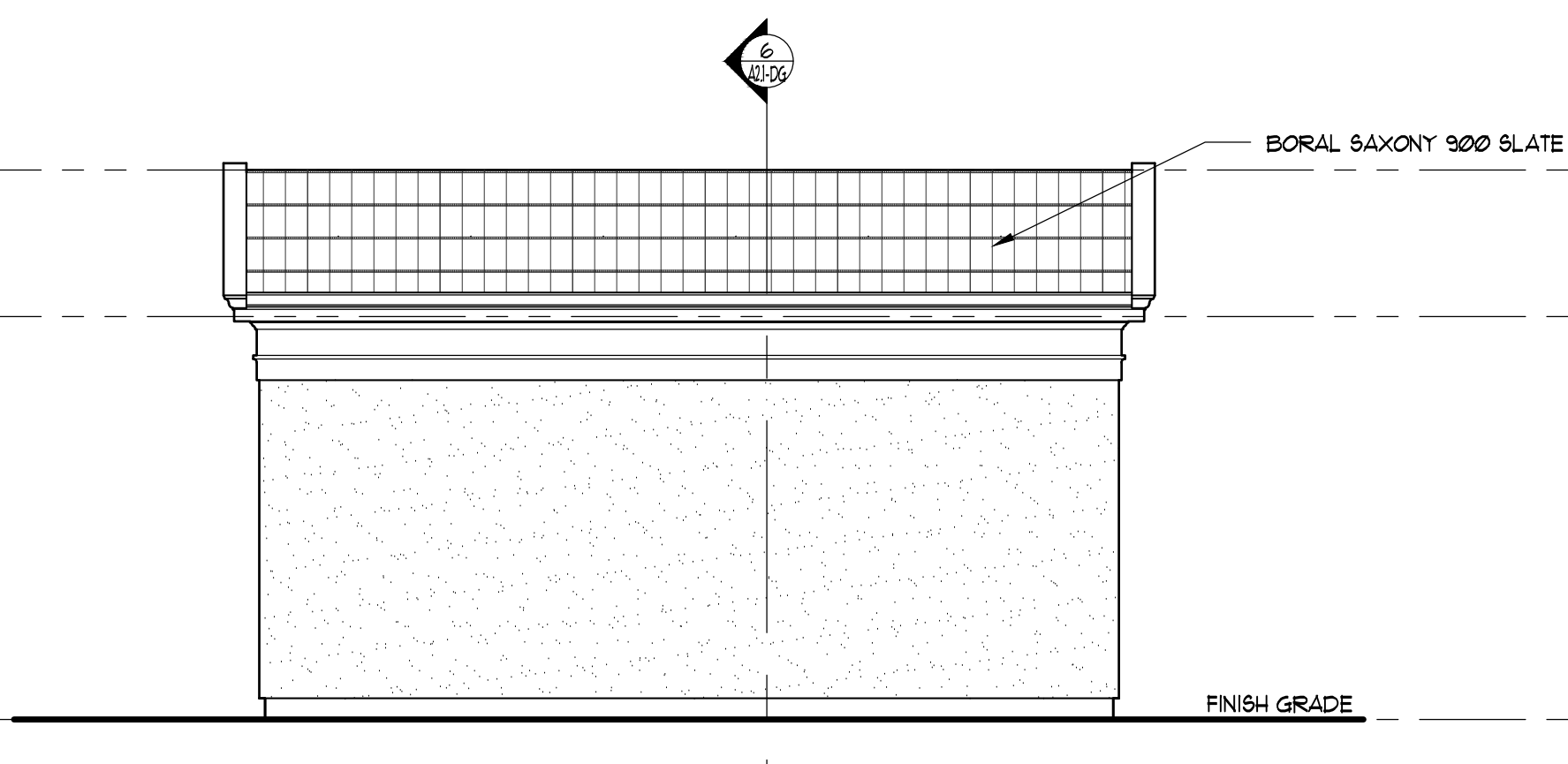
ROOF VENT CALCULATIONS:

FITCHED ROOF AREA:	260 SF
REQUIRED VENTING AREA:	1/60 (260) = 1.13 SF VENT
TOTAL VENTING PROVIDED:	466 SF
ACTUAL VENTING AREA:	
RIDGE VENTING VENTING PRODUCT, COR-A-VENT V-300 x 13.5 SQ.IN. NFVA/LINEAL FOOT (13.5/44 x 293.15 SQ.FT.) 20'-0" X Ø93.15 CONTINUOUS RIDGE VENT = 188 SF	
EAVE VENTING: VENTING PRODUCT, COR-A-VENT 8-400 x 10 SQ.IN. NFVA/LINEAL FOOT (10/44 x 26544 SQ.FT.) 40'-0" X Ø65.44 CONTINUOUS RIDGE VENT = 278 SF	

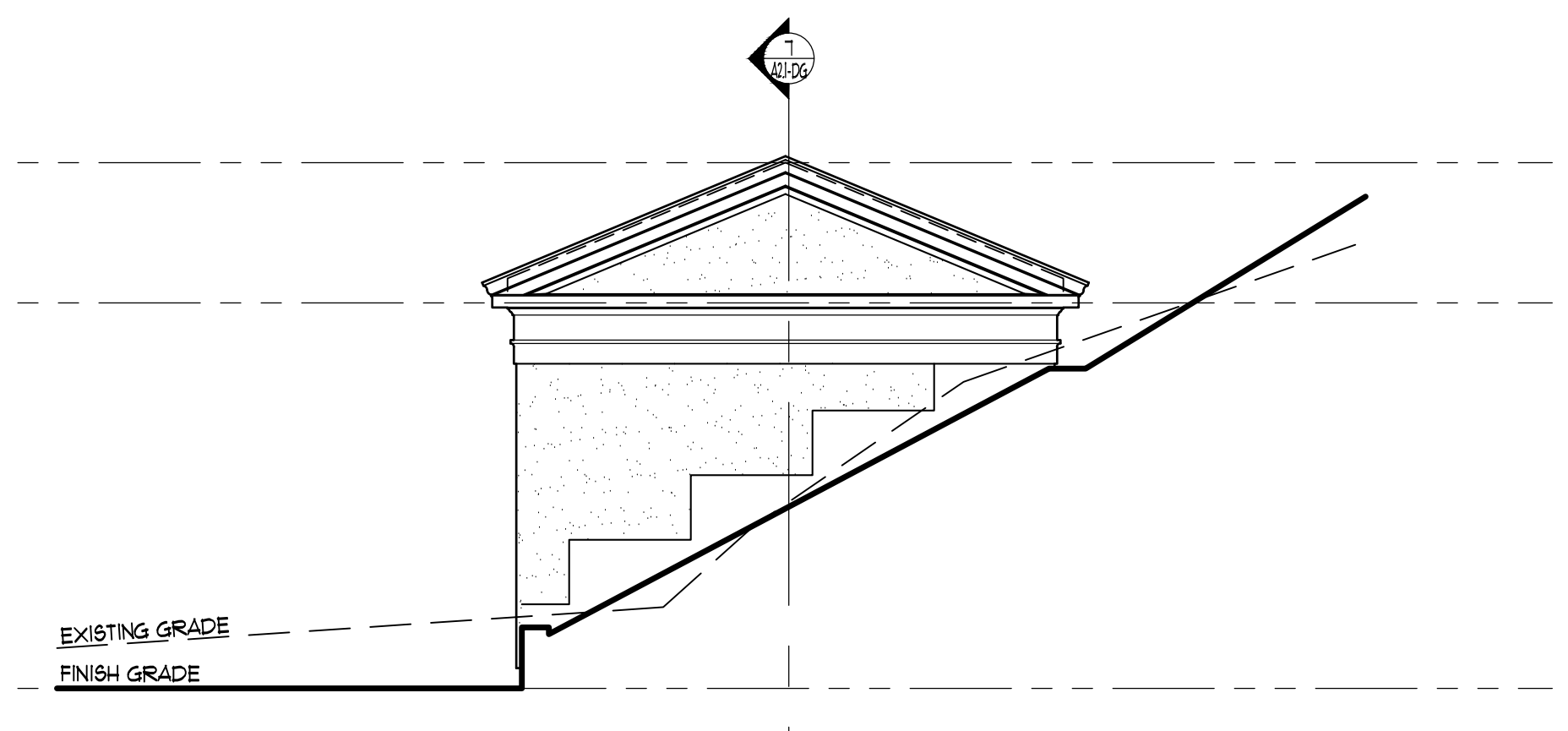
ROOF VENTING NOTES:
1) ——— LINE OF VENTING
2) INSTALL CONTINUOUS RIDGE VENTS.



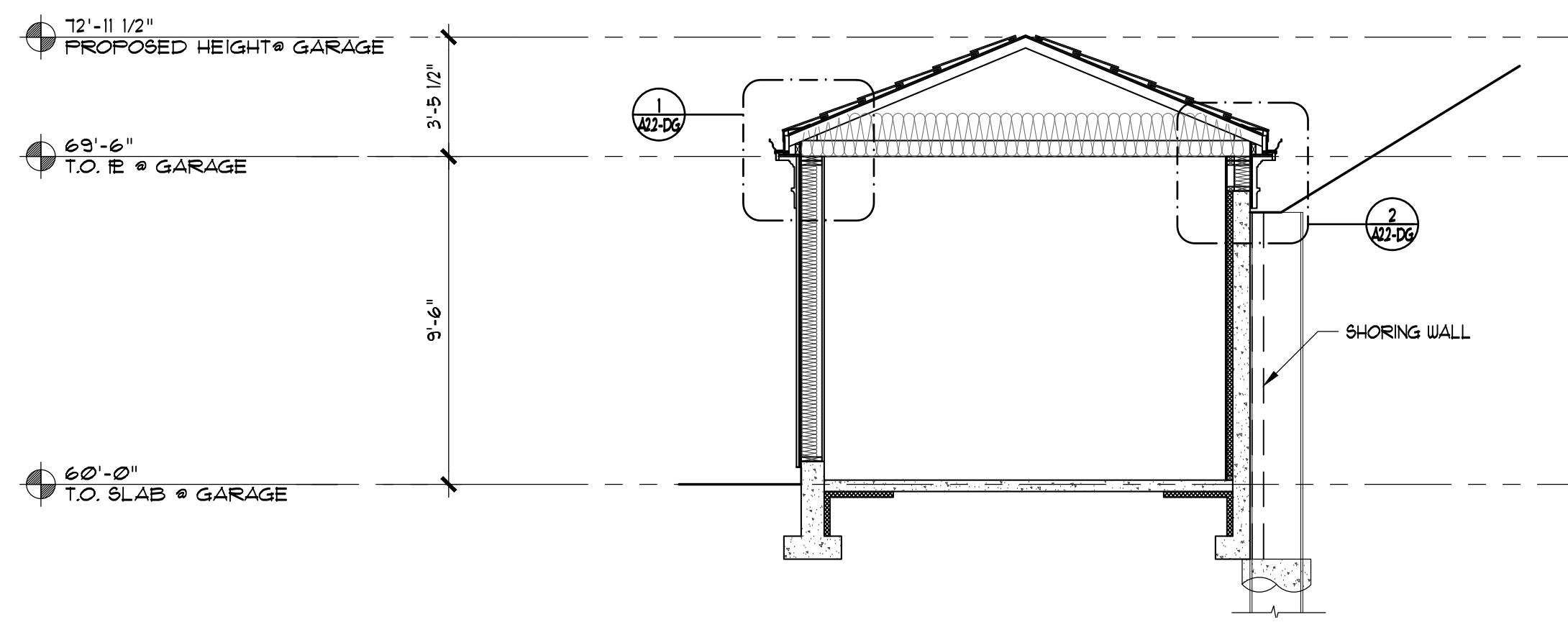
3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



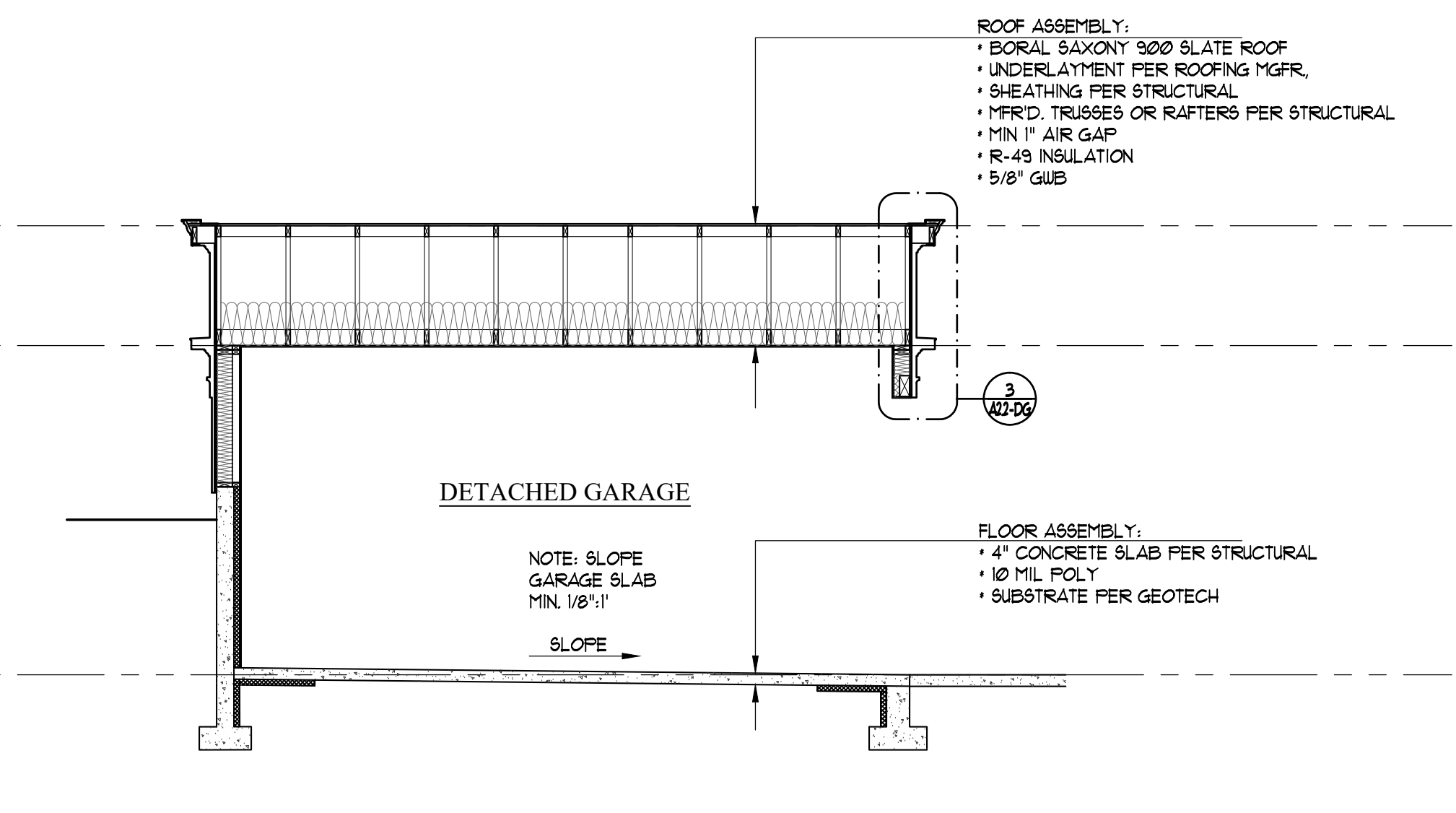
4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



5 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



6 SECTION
SCALE: 1/4" = 1'-0"



7 SECTION
SCALE: 1/4" = 1'-0"

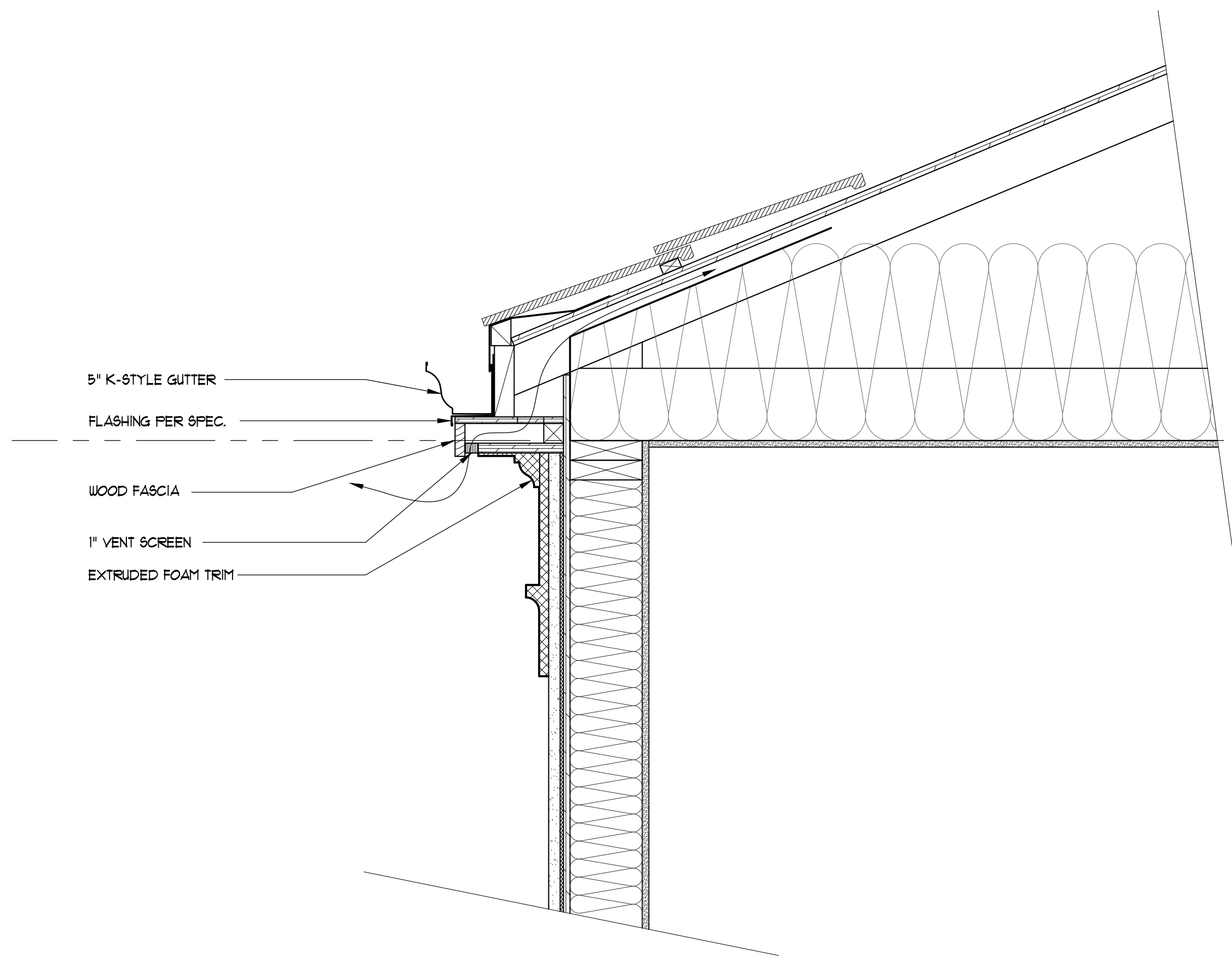


NO.	DATE	REVISION
1	10/30/18	REVISION 1
2	07/18/17	PERMIT SET

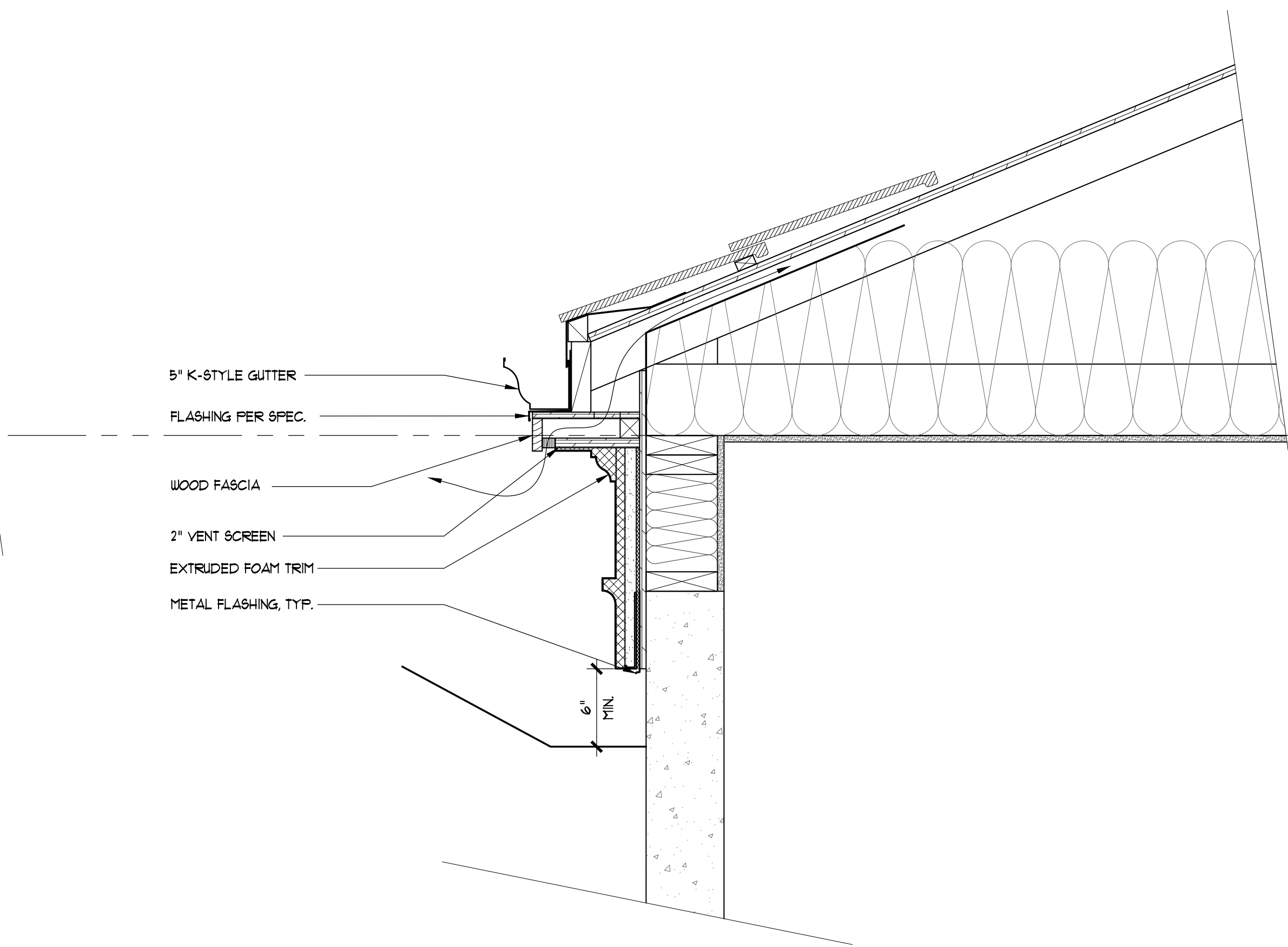
DATE: 04/23/2018
JOB NUMBER: 1625
PLOT: DKG
FILE: XD-Garage.dwg

DG - FLOOR PLAN,
ROOF PLAN,
ELEVATIONS &
SECTION

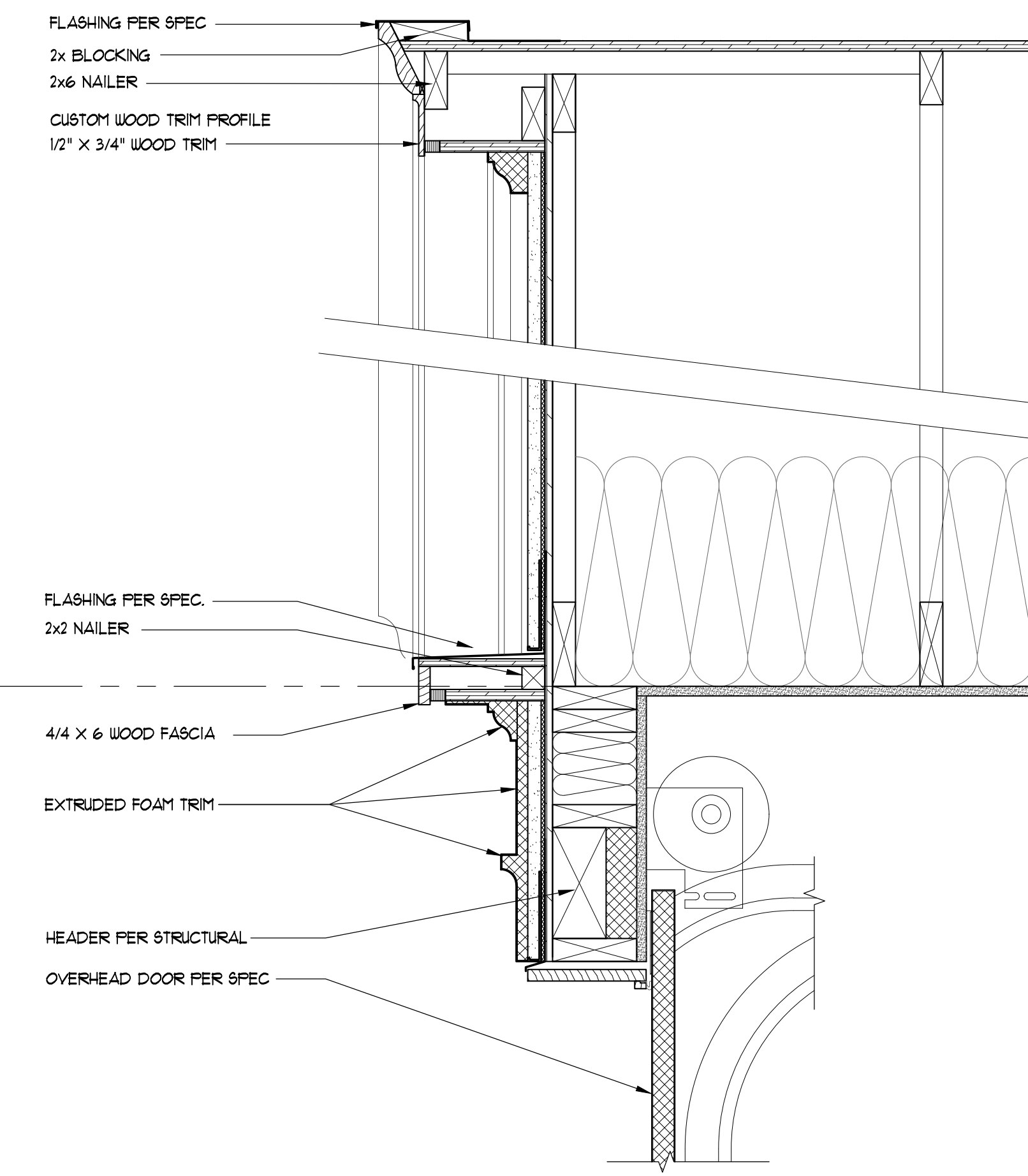
A2.1_DG



1 **EAVE DETAIL, TYP.**
SCALE: 1 1/2" = 1'-0"



1 **EAVE DETAIL @ SHORING WALL**
SCALE: 1 1/2" = 1'-0"



3 **DETAIL @ PEDIMENT**
SCALE: 1 1/2" = 1'-0"



Gelotte Hommas
THE ART OF ARCHITECTURE

3025 112th Ave. NE, Suite 110
Bellevue, Washington 98004
425.828.3081 T. 425.822.2152 F
www.gelottehomas.com

PEYREE REMODEL B

6059 77th Ave SE
Mercer Island, WA 98040-5129



NO.	DATE	REVISION
Δ	10/30/18	REVISION 1
	07/18/17	PERMIT SET

DATE: 04/23/2018
JOB NUMBER: 1625
PM: DKG
FILE: xD-Garage.dwg

DG - EXTERIOR
DETAILS

A2.2_DG