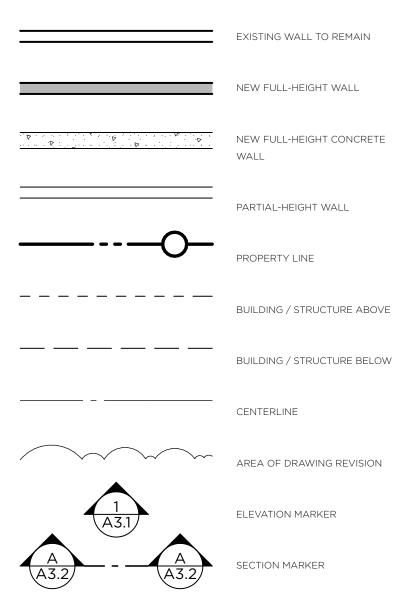
ABBREVIATIONS:

ABOVE FINISHED FLOOR BLOCK, BLOCKING BOTTOM OF WALL CENTERLINE COLUMN CONCRETE CONTINUOUS CONTRACT(OR DOUBLE DETAIL DIAMETER DIMENSION DOWNSPOUT DISHWASHER EACH EXHAUST EXTERIOR FACE OF CONCRETE FACE OF MASONRY FACE OF STUD FINISHED GRADE FIREPLACE FRFF7FR GAUGE GYPSUM WALL BOARD HOSE BIBB INFORMATION INSULATION INTERIOR LIGHT(ING) LOW VOLTAGE MEMBRANE MATERIAI MANUFACTURER NOT APPLICABLE NOT IN CONTRACT NOT FOR CONSTRUCTION NOMINAL OPPOSITE HAND PLATE PROPERTY LINE RISER(S); RADIUS REFER TO REFRIGERATOR SIMII AR TREAD(S) TO BE DETERMINED TEMPERED GLASS TONGUE & GROOVE THICKNESS TOPPING TOP OF WALL TYPICAL UNLESS NOTED OTHERWISE

FLOOR PLAN LEGEND:

VERIFY IN FIELD

WINDOW



ERCERPARCEL 3

8379 E. MERCER WAY MERCER ISLAND



GENERAL PROJECT NOTES:

1. DO NOT SCALE DRAWINGS.

2. THIS PROJECT SHALL COMPLY WITH ALL GOVERNING REGULATIONS, ORDINANCES, BUILDING CODES, OR COVENANTS OF THE AREA IN WHICH IT IS

3. APPROVAL BY AN INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE DRAWINGS OR SPECIFICATIONS. 4. THE CONTRACTOR SHALL SCHEDULE WALK-THROUGHS AT EACH OF

BELOW NOTED INTERVALS: A. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

B. PRIOR TO THE COMMENCEMENT OF ALL MECHANICAL + ELECTRICAL WORK.

5. PROVIDE ALL NECESSARY BARRICADES, WARNING SIGNS, + DEVICES TO PROTECT PUBLIC + CONSTRUCTION PERSONNEL DURING CONSTRUCTION. 6. MAINTAIN ALL REQUIRED ACCESS + EGRESS DURING CONSTRUCTION.

DUTY OF COOPERATION:

RELEASE + ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, THE CONTRACTOR, + RIPPLE DESIGN STUDIO. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED BY THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO RIPPLE DESIGN STUDIO. FAILURE TO DO SO SHALL RELIEVE RIPPLE DESIGN STUDIO FROM ANY RESPONSIBILITY OF THE CONSEQUENCES.

ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT THE CONSENT OF RIPPLE DESIGN STUDIO ARE UNAUTHORIZED. FAILURE TO OBSERVE THESE PROCEDURES SHALL RELIEVE RIPPLE DESIGN STUDIO OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH ACTIONS.

WSEC 2015

1. THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2015 PRESCRIPTIVE

2. INSULATION VALUES SHALL BE AS FOLLOWS:

INSULATION @ INTERIOR SIDE OF WALL.

A. ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX. B. ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.

C. ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN. D. ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-

IN INSULATION MIN. E. ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN. F. ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT

G. ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAMED WALL.

H. ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT I. ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10

RIGID INSULATION WITHIN 24" OF SLAB PERIMETER. J. ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID

3. RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS. 4. PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE

VENTILATION @ KITCHEN. 5. PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION

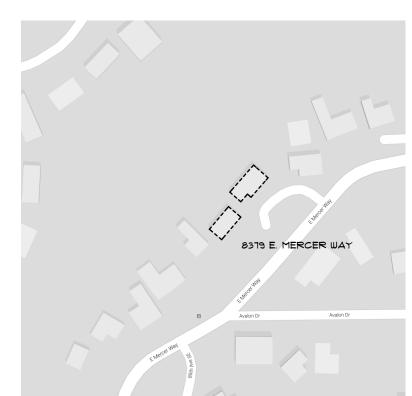
@ ALL BATHS + LAUNDRY. 6. NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM EF OF 0.91 (WSEC 406.2, CREDIT 5c).

7. AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3'-O" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.

8. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.

9. AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

VICINITY MAP:



IMPERVIOUS SURFACE CALCULATIONS:

LOT AREA: ALLOWABLE LOT COVERAGE: (LOT SLOPE IS BETWEEN 15% AND 30%)

PROPOSED RESIDENCE ROOF AREA: PROPOSED DRIVES + WALK AREA: EXISTING WETLAND AREA TO REMAIN:

TOTAL IMPERVIOUS SURFACE UPON COMPLETION:

1,127 FT² 1,948 FT² 5,823 FT² (22.35%)

26,053 FT²

2,748 FT²

9,119 FT² (35%)

PROJECT INFO:

PROJECT ADDRESS: 8379 E. MERCER WAY PARCEL 3

MERCER ISLAND, WA 98040 SCOPE OF WORK:

NEW SINGLE FAMILY RESIDENCE

R-8.4 + R-9.6

LEGAL DESCRIPTION:

AVALON PARK ADD & SELY 40 FT OF POR OF NW 1/4 NWLY LN OF SD 7 & BET SWLY & NELY LNS THOF EXTND WLY

ACCESSOR'S PARCEL NUMBER: #Project Status

BUILDING CODE + OCCUPANCY: 2012 IRC (ARCHITECTURAL) + 2012 IBC (STRUCTURAL) R-3 SINGLE-FAMILY RESIDENTIAL (RESIDENCE) U STORAGE (GARAGE, STORAGE)

TYPE OF CONSTRUCTION:

TYPE-V-N NON-SPRINKLERED

OCCUPANT LOAD CALCULATIONS: PROPOSED BASEMENT GROSS FLOOR AREA:

OCCUPANT LOAD FACTOR (ACCESSORY STORAGE): 1 PER 200 FT² BASEMENT OCCUPANT LOAD: 6 OCCUPANTS PROPOSED FIRST FLOOR GROSS FLOOR AREA: 1,898 FT² OCCUPANT LOAD FACTOR (ACCESSORY STORAGE): 1 PER 200 FT² FIRST FLOOR OCCUPANT LOAD: 10 OCCUPANTS

PROPOSED SECOND FLOOR GROSS FLOOR AREA: OCCUPANT LOAD FACTOR (RESIDENTIAL): SECOND FLOOR OCCUPANT LOAD: TOTAL OCCUPANT LOAD:

BUILDING AREA

CALCULATIONS:

26,053 FT² MAX ALLOWABLE BUILDING GROSS FLOOR AREA: 11,723.85 FT² (45%) PROPOSED BASEMENT AREA: 1,246 FT²

PROPOSED FIRST FLOOR: PROPOSED GARAGE: PROPOSED SECOND FLOOR: TOTAL BUILDING GROSS FLOOR AREA:

953 FT² 2,083 FT² 1,943 FT² 6,225 FT² (23.8%)

1,145 FT²

1,843 FT²

1 PER 200 FT²

10 OCCUPANTS

26 OCCUPANTS

SHEET INDEX:

SHEET NAME: PROJECT INFORMATION

SURVEY 2 SURVEY 3 SURVEY 4 SITE PLAN A2.0 BASEMENT PLAN FIRST FLOOR PLAN

ROOF PLAN WEST BUILDING ELEVATIONS NORTH + SOUTH BUILDING ELEVATIONS BUILDING SECTIONS A-A THROUGH B-E

SECOND FLOOR PLAN

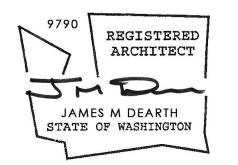
GENERAL STRUCTURAL NOTES BASEMENT / FOUNDATION PLAN FIRST FLOOR FRAMING PLAN SECOND FLOOR FRAMING PLAN CONCRETE DETAILS

CONCRETE DETAILS FLOOR FRAMING DETAILS FLOOR FRAMING DETAILS ROOF FRAMING DETAILS

RIPPLE DESIGN STUDIO

206.913.2333 4303 STONE WAY N

SEATTLE, WA 98103



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PROJECT TEAM:

NEW HORIZON REAL ESTATE DEVELOPMENT 8744 126TH AVE NE KIRKLAND, WA 206.557.0772

ARCHITECT / APPLICANT:

RIPPLE DESIGN STUDIO. INC. - JIM DEARTH

4303 STONE WAY N SEATTLE, WA 98103

206.913.2333

SURVEYOR: GEODIMENSIONS, INC. - KEN GREEN 10801 MAIN STREET, SUITE 102 BELLEVUE, WA 98004

GEOTECHNICAL ENGINEER:

425.458.4488

PANGEO, INC. - MICHAEL XUE 3213 EASTLAKE AVE E SUITE B SEATTLE, WA 98102

206.262.0307 CIVIL ENGINEER:

CIVIL ENGINEERING SOLUTIONS - JEFFREY ELLIS 2244 NW MARKET ST UNIT B SEATTLE, WA 98107 206.930.0342

STRUCTURAL ENGINEER:

BUKER ENGINEERING - DANIEL BUKER PO BOX 28531 SEATTLE, WA 98118 206.310.3559

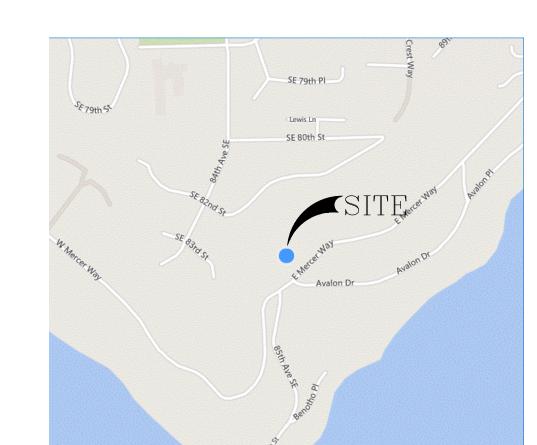
CONTRACTOR:

TBD

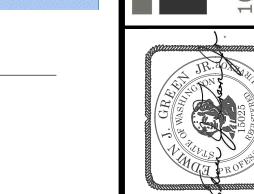
RELEASE SCHEMATIC DESIGN 20 JUNE 2017

E MERCER PARCEL 3

	RUN YONG USA	
MERC	ER ISLAND LOT LINE REVISION NO. SUB 16-004	
DECLARATION	CITY OF MERCER ISLAND APPROVALS	
WE THE UNDERSIGNED OWNER(S) IN FEE SIMPLE [AND CONTRACT PURCHASER(S)] OF THE LAND HEREIN DESCRIBED, DO HEREBY MAKE A LOT LINE REVISION THEREOF PURSUANT TO RCW 58.17.060 AND DECLARE THIS LOT LINE REVISION TO BE THE GRAPHIC REPRESENTATION OF THE SAME, AND THAT SAID SHORT SUBDIVISION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE	EXAMINED AND APPROVED THIS DAY OF, 2016.	
OWNER(S). IN WITNESS WHEREOF WE HAVE SET OUR HANDS AND SEALS.	CODE OFFICIAL	
	EXAMINED AND APPROVED THIS DAY OF, 2016.	
BY: RUN YONG USA		
	CITY ENGINEER	
ACKNOWLEDGEMENTS STATE OF WASHINGTON }	KING COUNTY DEPARTMENT OF ASSESSMEN EXAMINED AND APPROVED THIS DAY OF, 2016.	TS
SS. COUNTY OF KING }	EXAMINED AND APPROVED THIS DAT OF, 2016.	
I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT	ASSESSOR	
BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT HE/SHE SIGNED THIS INSTRUMENT, ON OATH STATED THAT HE/SHE WAS AUTHORIZED TO EXECUTE THE		
INSTRUMENT AND ACKNOWLEDGED IT AS THE OF RUN YONG USA, TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.	BASIS OF BEARINGS PER PLAT OF AVALON PARK, VOL. 49, PAGE(S) 64 & 65, RECORDS OF KING COUNTY, WASHINGTON.	
GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS DAY OF	SURVEY NOTES:	
, 2016.	1. THE SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2014. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST.	I
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON	2. INSTRUMENTATION FOR THIS SURVEY WAS A LEICA TOTAL STATION UNIT.	
PRINTED NAME MY COMMISSION EXPIRES	PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, N CORRECTION NECESSARY. MEETS WASHINGTON STATE STANDARDS SET BY WAC 332-130-090.	0
	3. SEWER AND WATER UTILITIES FROM PUBLIC SERVICE.	
		NOTE
Szo.		
2/3/35	N72°3	53'00"
(BASIS OF BEARING) N87°10'24"F 653.26'(MEAS)(CALC)	N72°3	.33 4
(BASIS OF BEARING) N87°10'24"E 653.26'(MEAS)(CALC)	N88°29'19"E 202.48' =	
N87°10′24″E 653.26 MILA3/(07.23)		
FD REBAR W/CAP	FD MIC— CONC MON W/BRASS PIN CONC MON W/BRASS PIN	
#28101, HELD	DN 0.6', VISITED 8/21/14	
\mathcal{Q}		
S. 40.50-37.7.		
CONTROL MAP		
Zo. Zo.	7 .	
	APPROVAL NOTE: THIS REQUEST QUALIFIES FOR EXEMPTION UNDER RCW 58.17.040. IT DOES NOT	
CONTROL MAP	TOTOILE. THE ELONE TRANSPER OF THE TROPERTY WOOT BE DONE BY SELFARANTE	<u> </u>
SCALE: 1" = 60'	INSTRUMENT UNLESS ALL LOTS HEREIN ARE UNDER THE SAME OWNERSHIP.	







ORIGINAL LEGAL DESCRIPTION:

CONC MON, VISITED 8/21/14 NOTE: MON NO LONGER HAS TACK, PREVIOUSLY VISITED IN 2004

BASED ON DEED FURNISHED BY FIRST AMERICAN TITLE, RECORDED IN KING COUNTY UNDER INSTRUMENT NUMBER 20140523001500, DATED MAY 23, 2014.

LOT 9, BLOCK 3, AVALON PARK, ACCORDING TO PLAT RECORDED IN VOLUME 49 OF PLATS AT PAGE(S) 64 AND 65, IN KING COUNTY, WASHINGTON.

ALSO THE SOUTHEASTERLY 40 FEET OF THE PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. AND GOVERNMENT LOT 1 OF SAID SECTION ADJACENT TO THE NORTHWESTERLY LINE OF SAID LOT 9 AND BETWEEN THE SOUTHWESTERLY AND NORTHEASTERLY LINES THEREOF, EXTENDED NORTHWESTERLY.

LOT 8, BLOCK 3, AVALON PARK, ACCORDING TO PLAT RECORDED IN VOLUME 49 OF PLATS AT PAGE(S) 64 AND 65, IN KING COUNTY, WASHINGTON.

ALSO THE SOUTHEASTERLY 40 FEET OF THE PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. AND GOVERNMENT LOT 1 OF SAID SECTION ADJACENT TO THE NORTHWESTERLY LINE OF SAID LOT 8 AND BETWEEN THE SOUTHWESTERLY AND NORTHEASTERLY LINES THEREOF, EXTENDED NORTHWESTERLY.

LOT 7, BLOCK 3, AVALON PARK, ACCORDING TO PLAT RECORDED IN VOLUME 49 OF PLATS AT PAGE(S) 64 AND 65, IN KING COUNTY, WASHINGTON.

ALSO THE SOUTHEASTERLY 40 FEET OF THE PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. AND GOVERNMENT LOT 1 OF SAID SECTION ADJACENT TO THE NORTHWESTERLY LINE OF SAID LOT 7 AND BETWEEN THE SOUTHWESTERLY AND NORTHEASTERLY LINES THEREOF, EXTENDED NORTHWESTERLY.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

JOB NO.: **140845**

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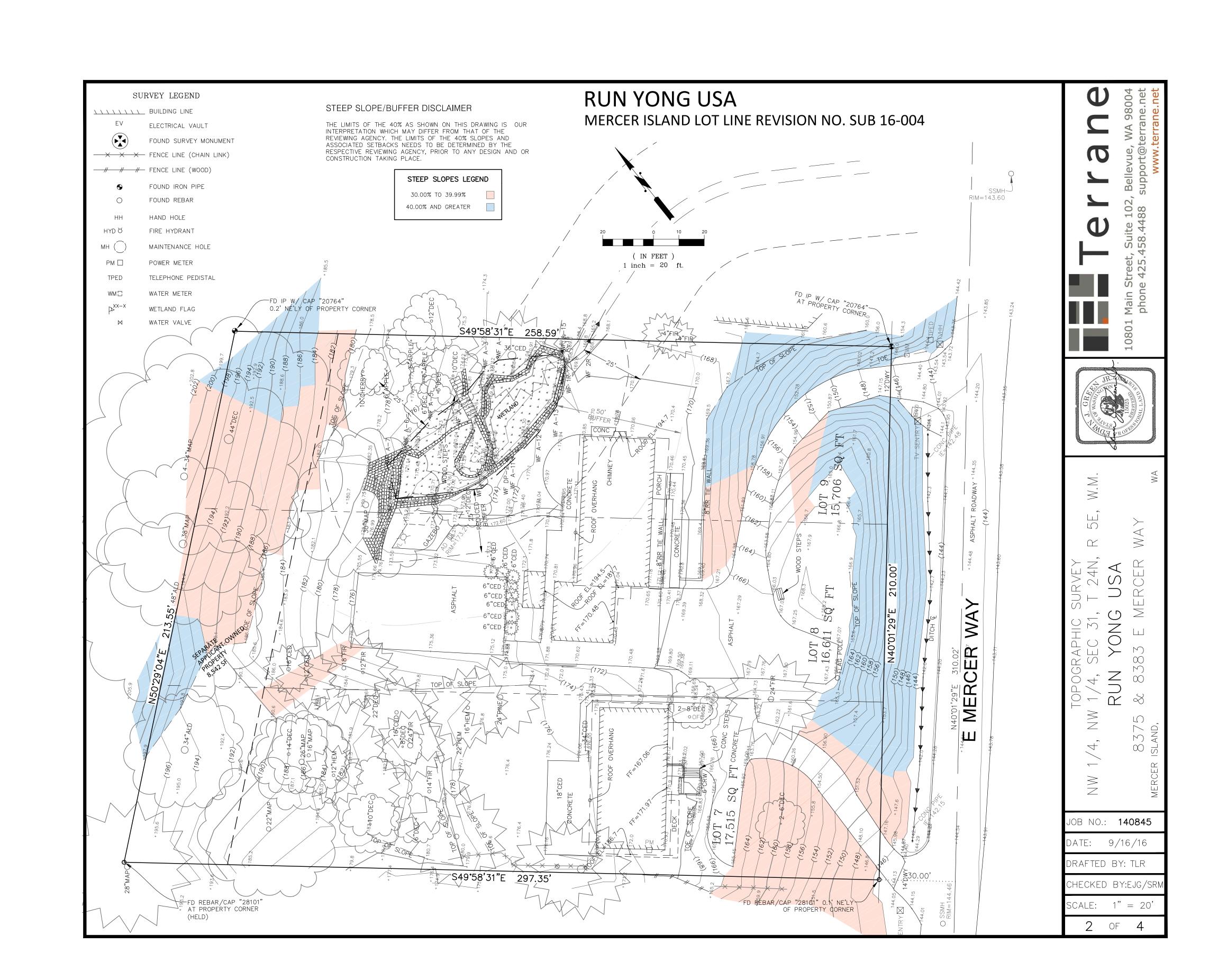
SEC SEC 338,4

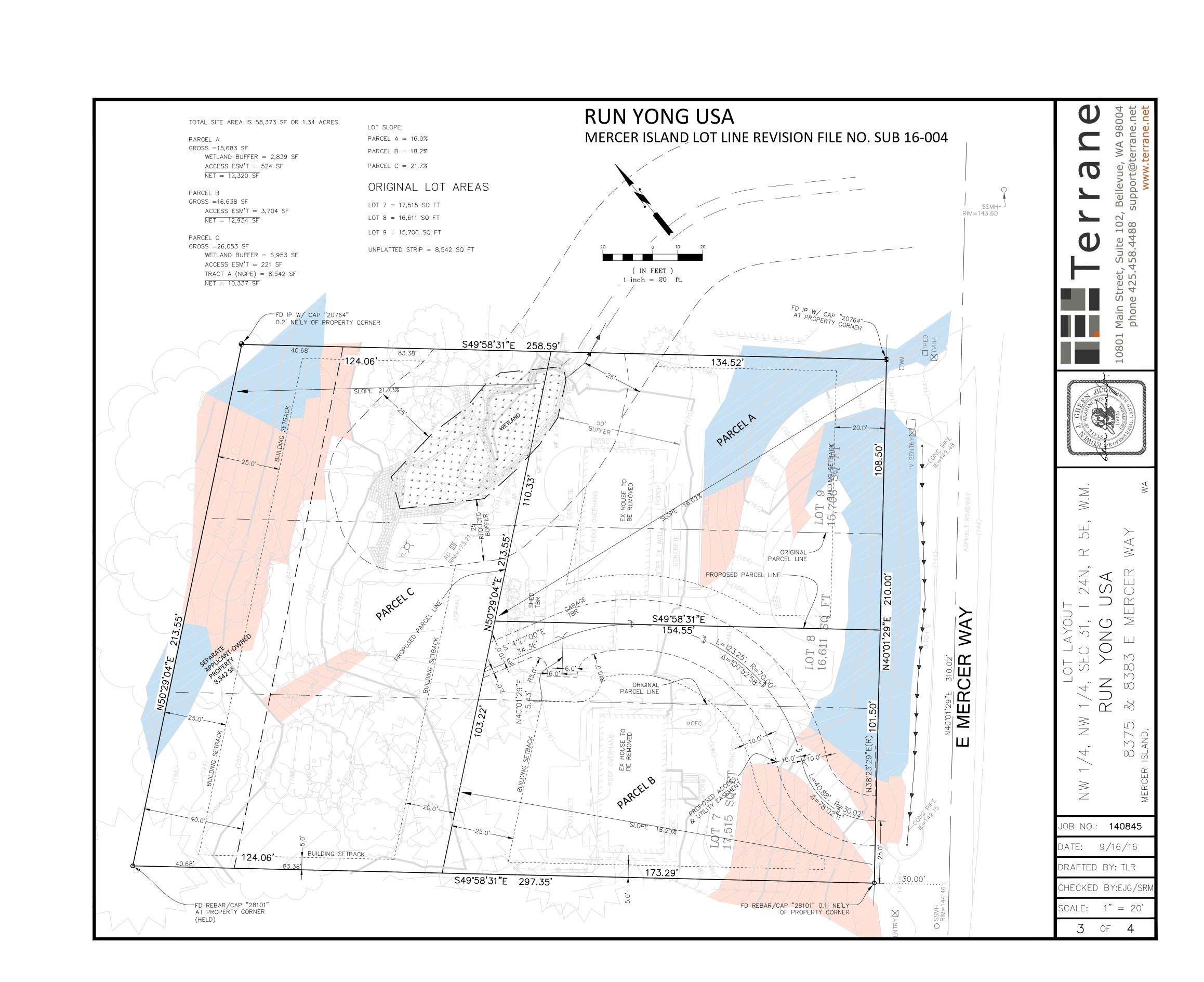
DATE: 9/16/16

DRAFTED BY: TLR

CHECKED BY:EJG/SRM

SCALE: 1" = 60'1 OF 4





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Κl	$\mathbf{J}\mathbf{I}\mathbf{N}$	YU	INCT	USA

MERCER ISLAND LOT LINE REVISION FILE NO. SUB 16-004

NEW LEGAL DESCRIPTIONS:

PARCEL A

LOT 9 AND THE NORTHEASTERLY 38.50 FEET OF LOT 8, BLOCK 3, AVALON PARK, ACCORDING TO THE PLAT RECORDED IN VOLUME 49 OF PLATS, AT PAGES 64 AND 65, IN KING COUNTY, WASHINGTON,

EXCEPT THE NORTHWESTERLY 82.00 FEET THEREOF.

<u>PARCEL B</u>

LOTS 7 AND 8, BLOCK 3, AVALON PARK, ACCORDING TO THE PLAT RECORDED IN VOLUME 49 OF PLATS, AT PAGES 64 AND 65, IN KING COUNTY, WASHINGTON,

EXCEPT THE NORTHEASTERLY 38.50 FEET OF SAID LOT 8; AND EXCEPT THE NORTHWESTERLY 82.00 FEET THEREOF.

THE NORTHWESTERLY 82.00 FEET OF LOTS 7, 8 AND 9, BLOCK 3, AVALON PARK, ACCORDING TO THE PLAT RECORDED IN VOLUME 49 OF PLATS, AT PAGES 64 AND 65, IN KING COUNTY, WASHINGTON;

TOGETHER WITH THE SOUTHEASTERLY 40 FEET OF THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. AND GOVERNMENT LOT 1 OF SAID SECTION LYING BETWEEN THE SOUTHWESTERLY LINE OF LOT 7 IN BLOCK 3 OF SAID PLAT EXTENDED NORTHWESTERLY AND THE NORTHEASTERLY LINE OF LOT 9 IN BLOCK 3 OF SAID PLAT EXTENDED NORTHWESTERLY.

ACCESS AND UTILITY EASEMENT

THAT PORTION OF LOTS 7 AND 8, BLOCK 3, AVALON PARK, ACCORDING TO THE PLAT RECORDED IN VOLUME 49 OF PLATS, AT PAGES 64 AND 65, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

A STRIP OF LAND, 20.00 FEET IN WIDTH, HAVING 10.00 FEET ON BOTH SIDES OF THE FOLLOWING DESCRIBED

COMMENCING AT THE MOST SOUTHERLY CORNER OF SAID LOT 7; THENCE NORTH 40°01'29" EAST, ALONG THE SOUTHEASTERLY LINE OF SAID LOT 7, A DISTANCE OF 25.00 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT FROM WHICH THE CENTER BEARS NORTH 38'23'29" EAST, 30.02 FEET DISTANT, AND THE POINT OF BEGINNING OF THIS CENTERLINE DESCRIPTION; THENCE NORTHWESTERLY, NORTHERLY AND NORTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 78°02'11" AND AN ARC DISTANCE OF 40.88 FEET, TO A POINT OF REVERSE CURVATURE HAVING A RADIUS OF 70.00 FEET;

THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 100'52'58" AND AN ARC DISTANCE OF 123.25 FEET, TO A POINT HEREINAFTER REFERRED TO AS POINT "A" AND THE TERMINUS OF THIS CENTERLINE DESCRIPTION;

TOGETHER WITH A STRIP OF LAND, 12.00 FEET IN WIDTH, HAVING 6.00 FEET ON BOTH SIDES OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE HEREINBEFORE REFERENCED POINT "A";

THENCE SOUTH 40°01'29" WEST 15.43 FEET, TO THE TERMINUS OF THIS CENTERLINE DESCRIPTION;

TOGETHER WITH THAT PORTION OF SAID LOT 8, LYING NORTHERLY OF A FILLETED CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 10.00 FEET BETWEEN THE SOUTHEASTERLY LINE OF SAID 12.00 FOOT STRIP AND THE SOUTHERLY LINE OF SAID 20.00 FOOT STRIP;

TOGETHER WITH A STRIP OF LAND, 12.00 FEET IN WIDTH, HAVING 10.00 FEET ON THE NORTH SIDE AND 2.00 FEET ON THE SOUTH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE; BEGINNING AT THE HEREINBEFORE REFERENCED POINT "A";

THENCE NORTH 74°27'00" WEST 34.36 FEET, TO THE TERMINUS OF THIS CENTERLINE DESCRIPTION, AND A POINT ON THE SOUTHEASTERLY LINE OF THE NORTHWESTERLY 82.00 FEET OF SAID LOTS 7 AND 8;

TOGETHER WITH THAT PORTION OF SAID LOT 8, LYING NORTHERLY OF A FILLETED CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 5.00 FEET BETWEEN THE SOUTHWESTERLY LINE OF SAID 12.00 FOOT STRIP AND THE NORTHWESTERLY LINE OF SAID 12.00 FOOT STRIP;



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JOB NO.: **140845**

DATE: 9/16/16

DRAFTED BY: TLR

CHECKED BY:EJG/SR SCALE: 1" = 20'

4 OF 4

SITE NOTES:

1. ALL IMMEDIATE AREAS AFFECTED BY NEW DEVELOPMENT SHALL BE GRADED AWAY FROM FOUNDATIONS + ADJACENT PROPERTIES @ 10% AS POSSIBLE, 2% MIN.

IMPERVIOUS SURFACE CALCULATIONS:

PROPOSED RESIDENCE ROOF AREA:

EXISTING WETLAND AREA TO REMAIN:

TOTAL IMPERVIOUS SURFACE UPON COMPLETION:

LOT AREA: 26,053 FT² **ALLOWABLE LOT COVERAGE: 9,119 FT² (35%)**(LOT SLOPE IS BETWEEN 15% AND 30%)

2,748 FT²

1,127 FT²

1,948 FT²

5,823 FT² (22.35%)

TREE TO____ REMAIN, TYP

5'-0" REQ SIDE YARD

BUILDING AREA CALCULATIONS:

LOT AREA: 26,053 FT²

MAX ALLOWABLE BUILDING GROSS FLOOR AREA: 11,723.85 FT² (45%)

PROPOSED BASEMENT AREA: 1,246 FT²

PROPOSED FIRST FLOOR: 953 FT²

PROPOSED GARAGE: 2,083 FT²

PROPOSED SECOND FLOOR: 1,943 FT²

TOTAL BUILDING GROSS FLOOR AREA: 6,225 FT² (23.8%)

22"MAP #540 200" HIGH POINT

BOLD LINE DENOTES
LIMIT OF DISTURBANCE
FOR NEW RESIDENCE
FOUNDATION

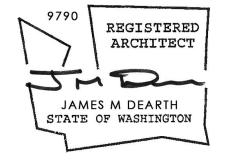
PROPOSED AUTO COURT

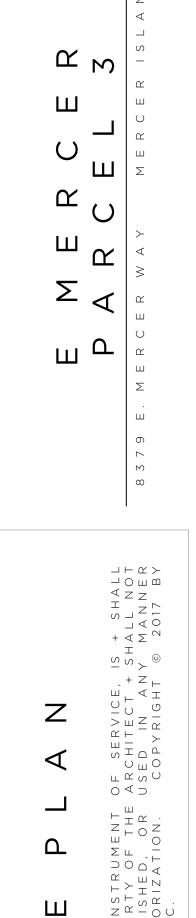
TREE TO BE_ REMOVED, TYP

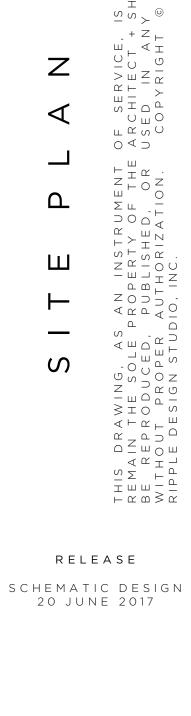
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206.913.2333 4303 STONE WAY N SEATTLE, WA 98103







E MERCER PARCEL 3

170' LOW POINT



RE: CIVIL DRAWINGS FOR ALL GRADING + SITE DRAINAGE

K:176.50

LINE OF BUILDING

-ROOF OVERHANG

PROPOSED DRIVEWAY

NEW TWO-STORY SINGLE-FAMILY RESIDENCE W BASEMENT + ATTACHED 3-CAR GARAGE 1:175.25

BOLD LINE DENOTES
LIMIT OF DISTURBANCE
FOR NEW RESIDENCE
FOUNDATION

RE: CIVIL DRAWINGS FOR ALL GRADING + SITE DRAINAGE

> 5' BUFFER SETBACK

N 50° 29' 04" E

44"DEC #8432

91'-11" ACTUAL SIDE YARD

WETLAND -

FLOOR PLAN NOTES:

- 1. THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
- 2. ALL EXTERIOR WALLS SHALL BE 2x6 UNO.
- 3. ALL INTERIOR WALLS SHALL BE 2x6 UNO.
- 4. ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 11/4" - 2".
- 5. ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST. 6. ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4"
- 7. ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.
- 8. 5/8" GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS +
- 9. ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM PER 302.7. 10. PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE
- CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.1.1. 11. A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN
- LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS. 12. ALL SHOWERHEADS + KITCHEN SINK FAUCETS INSTALLED IN THE UNIT SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS
- SHALL BE RATED AT 1.0 GPM OR LESS.
- 13. ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING PER M1501.1 AND M1506.2.
- 14. CLOTHES DRYER SHALL BE EXHAUSTED TO THE OUTSIDE PER M1502.1
- 15. ALL STAIRS SHALL MEET FOLLOWING REQUIREMENTS; A. MINIMUM 36" WIDTH.
- B. MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.
- C. MINIMUM 6'-8" HEAD ROOM D. MINIUM LANDING LENGTH 36"
- 16. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 2.0 AIR CHANGES/HOUR.

ENERGY CREDIT CALCULATIONS:

- 2b. A. TESTED AIR LEAKAGE SHALL BE 2.0 AIR CHANGES PER 1.0
- HOUR MAXIMUM. B. HEAT RECOVERY VENTILATION SYSTEM
- SHALL BE INSTALLED WITH A MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.70.
- 3a. PROPANE FURNACE WITH MINIMUM AFUE OF 1.0
- 5c. PROPANE WATER HEATER WITH MINIMUM EF 1.5 OF 0.91.

TOTAL CREDITS:

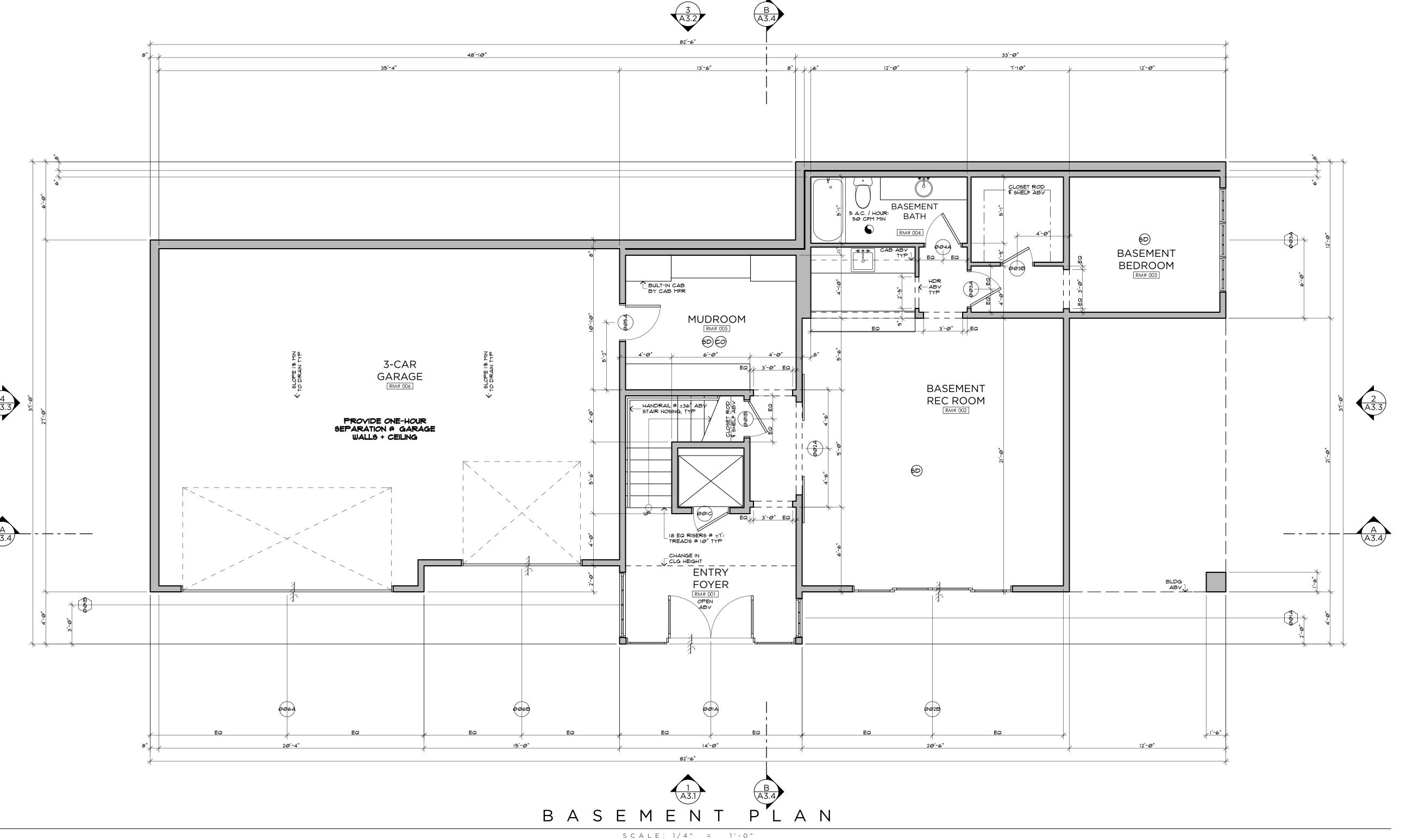


DESIGN STUDIO

206.913.2333

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4303 STONE WAY N SEATTLE, WA 98103 REGISTERED ARCHITECT JAMES M DEARTH STATE OF WASHINGTON



RELEASE

SCHEMATIC DESIGN 20 JUNE 2017

E MERCER PARCEL 3

FLOOR PLAN NOTES:

- 1. THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
- 2. ALL EXTERIOR WALLS SHALL BE 2x6 UNO. 3. ALL INTERIOR WALLS SHALL BE 2x6 UNO.
- 4. ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 11/4" - 2".
- 5. ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST. 6. ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4"
- 7. ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.
- 8. 5/8" GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS +
- 9. ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM PER 302.7. 10. PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE
- CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.1.1. 11. A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN
- LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS. 12. ALL SHOWERHEADS + KITCHEN SINK FAUCETS INSTALLED IN THE UNIT
- SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS.
- 13. ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING PER M1501.1 AND M1506.2.
- 14. CLOTHES DRYER SHALL BE EXHAUSTED TO THE OUTSIDE PER M1502.1
- 15. ALL STAIRS SHALL MEET FOLLOWING REQUIREMENTS;
- A. MINIMUM 36" WIDTH.
- B. MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.
- C. MINIMUM 6'-8" HEAD ROOM D. MINIUM LANDING LENGTH 36"
- 16. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 2.0 AIR CHANGES/HOUR.

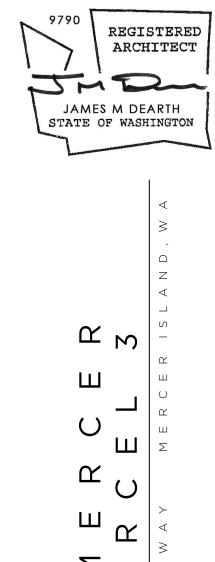
ENERGY CREDIT CALCULATIONS:

- 2b. A. TESTED AIR LEAKAGE SHALL BE 2.0 AIR CHANGES PER 1.0 HOUR MAXIMUM.
- B. HEAT RECOVERY VENTILATION SYSTEM SHALL BE INSTALLED WITH A MINIMUM SENSIBLE HEAT
- RECOVERY EFFICIENCY OF 0.70. 3a. PROPANE FURNACE WITH MINIMUM AFUE OF 1.0
- 5c. PROPANE WATER HEATER WITH MINIMUM EF 1.5 OF 0.91.

TOTAL CREDITS:

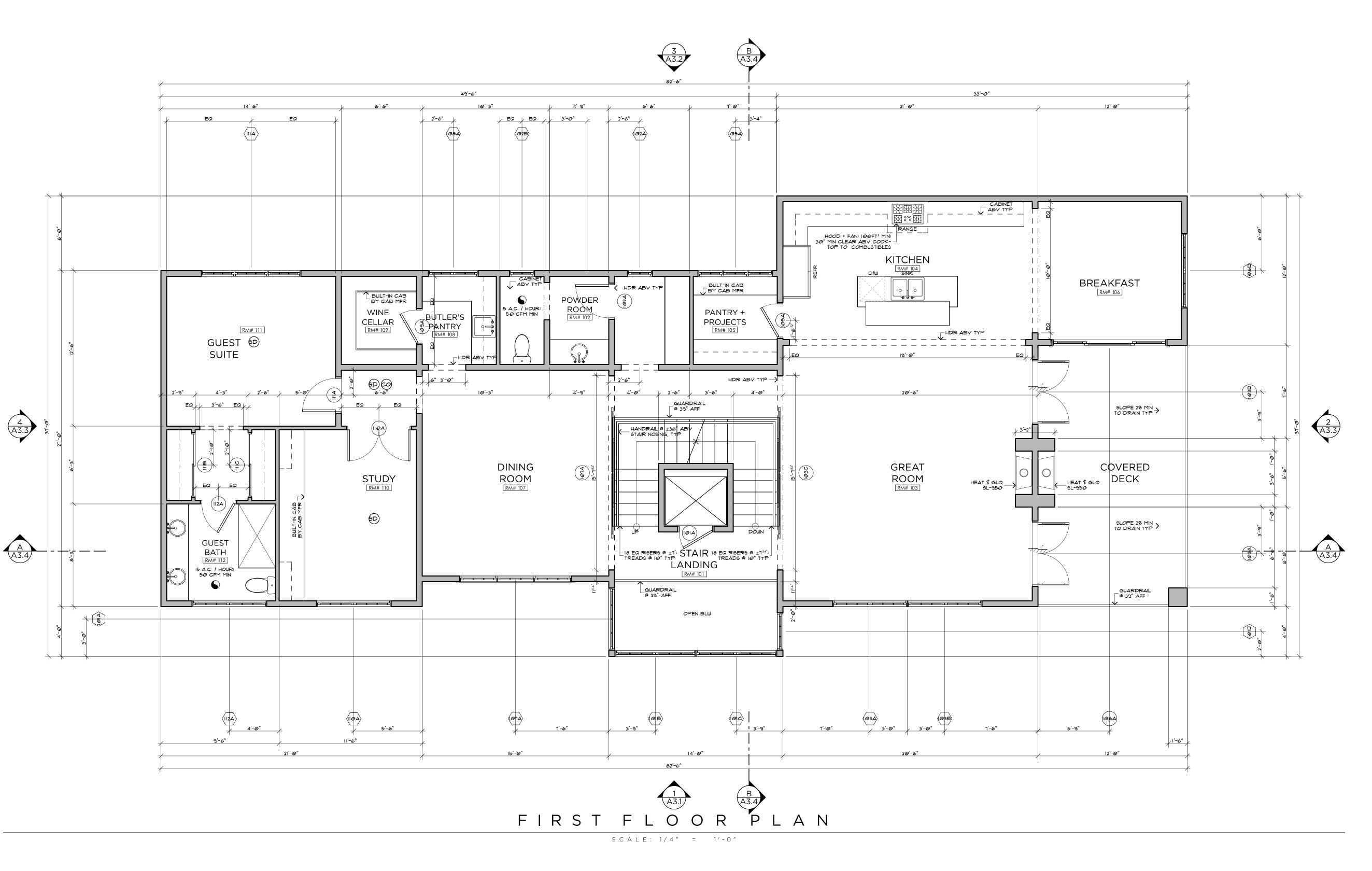


206.913.2333 4303 STONE WAY N SEATTLE, WA 98103



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RELEASE

SCHEMATIC DESIGN 20 JUNE 2017

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ENERGY CREDIT CALCULATIONS:

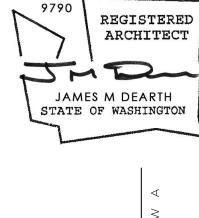
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- 5c. PROPANE WATER HEATER WITH MINIMUM EF 1.5
- OF 0.91.

TOTAL CREDITS:



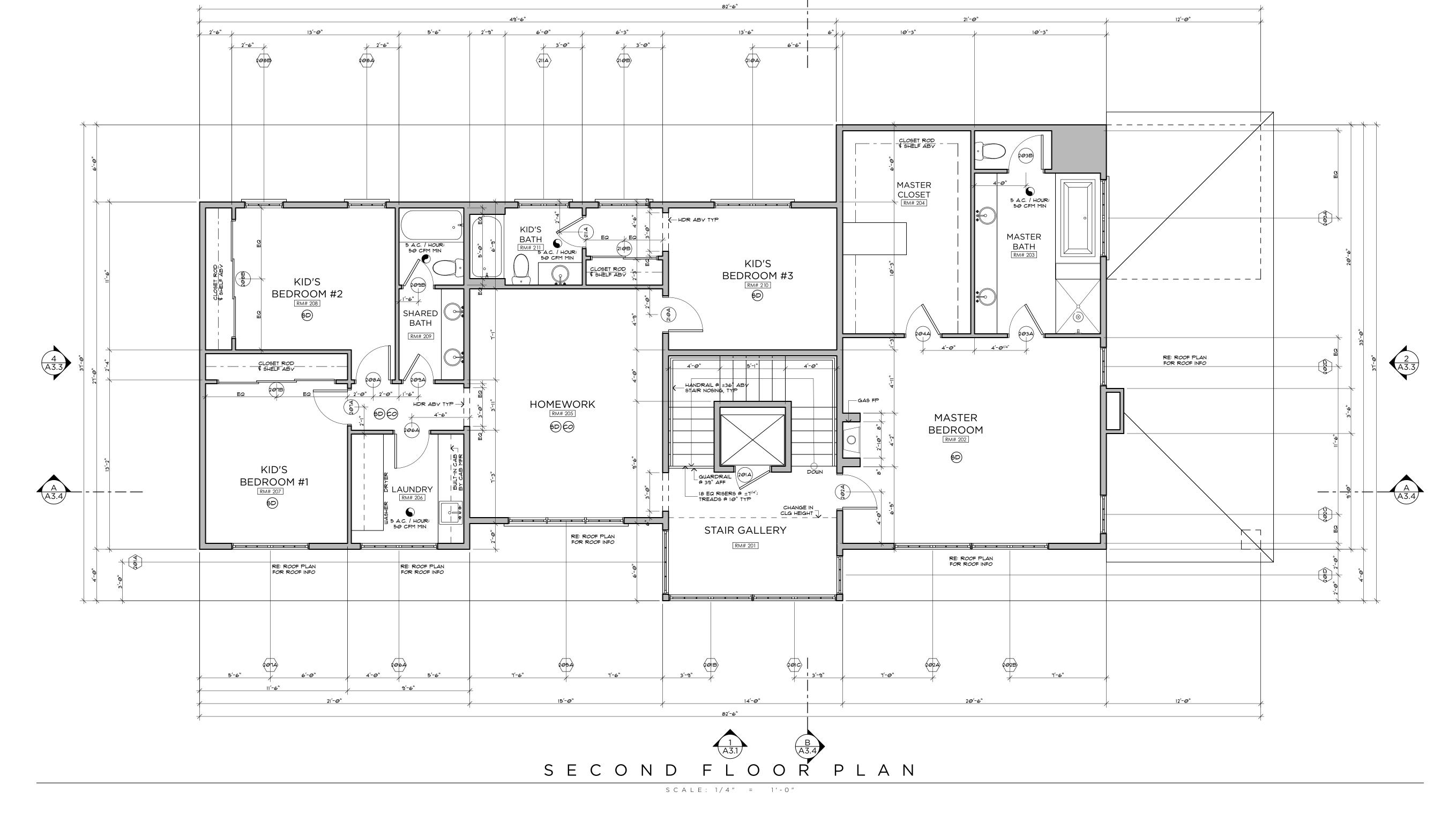
206.913.2333 4303 STONE WAY N SEATTLE, WA 98103

DESIGN STUDIO

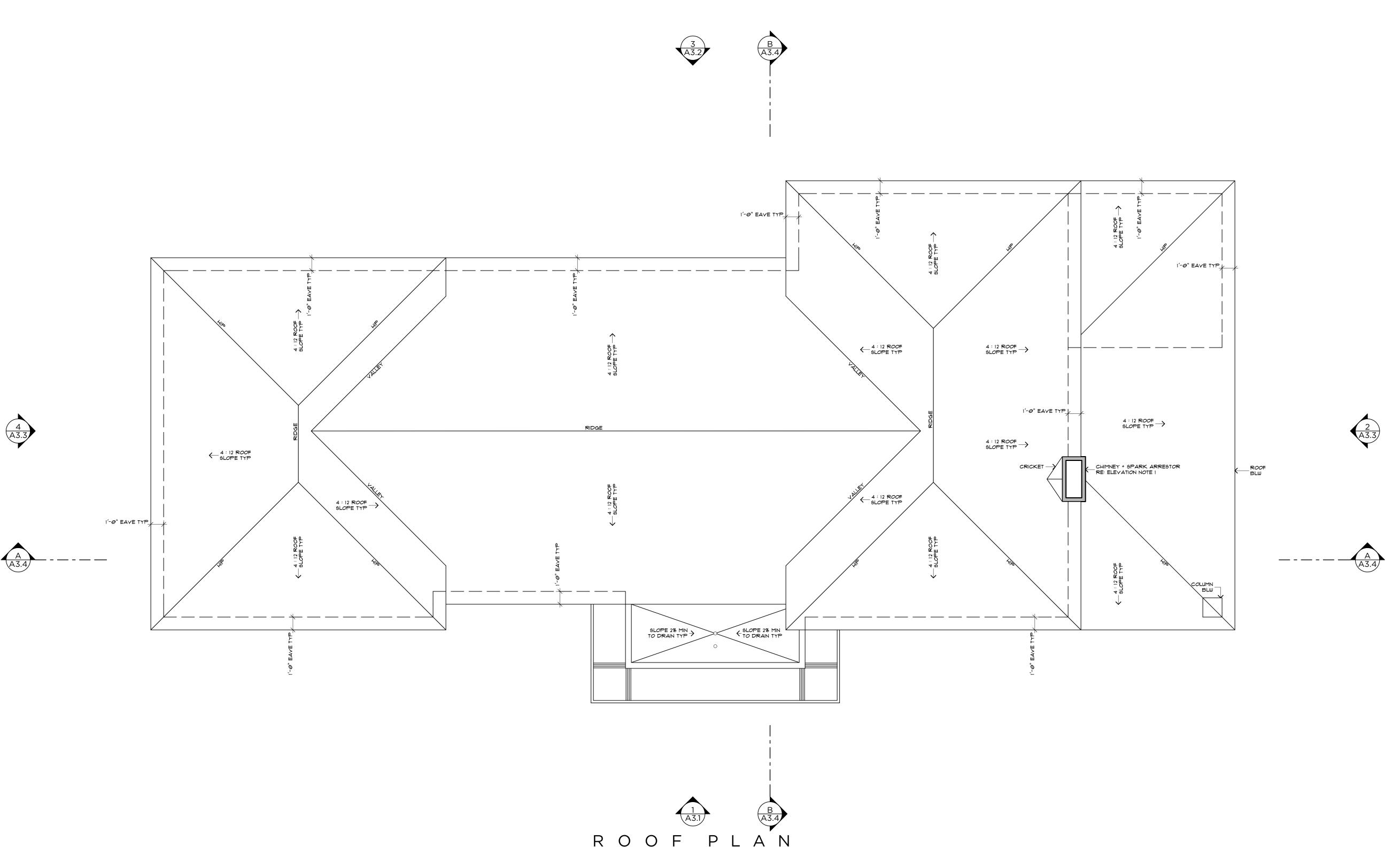




RELEASE SCHEMATIC DESIGN 20 JUNE 2017



E MERCER PARCEL 3



S C A L E: 1/4" = 1'-0"

ROOF NOTES:

 CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.

2. COORDINATE DOWNSPOUT LOCATION W/ RIPPLE DESIGN STUDIO, INC. DESIGN STUDIO PRIOR TO INSTALLATION.

3. ALL VENTS SHALL BE LOCATED AWAY FROM VISIBILITY @ PUBLIC RIGHT-OF-WAY.

4. TRUSS MANUFACTURERS TO PROVIDE TRUSS SHOP DRAWINGS TO RIPPLE
DESIGN STUDIO FOR DESIGN APPROVAL PRIOR TO TRUSS MANUFACTURING.

MAIN ATTIC VENTILATION

PROPOSED ATTIC AREA

REQUIRED VENTILATION

(1/150TH OF ATTIC AREA)

CALCS:

TION 13.24 FT² @ CONTINUOUS
REA) SOFFIT VENTS + RIDGE VENTS

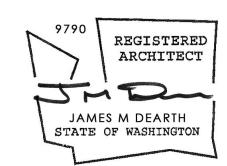
COVERED TERRACE ATTIC VENT CALCS:

PROPOSED ATTIC AREA

REQUIRED VENTILATION

(1/150TH OF ATTIC AREA)

2.64 FT² @ CONTINUOUS SOFFIT VENTS + RIDGE VENTS



206.913.2333

4303 STONE WAY N SEATTLE, WA 98103

E MERCER WAY MERCER ISLAND, W

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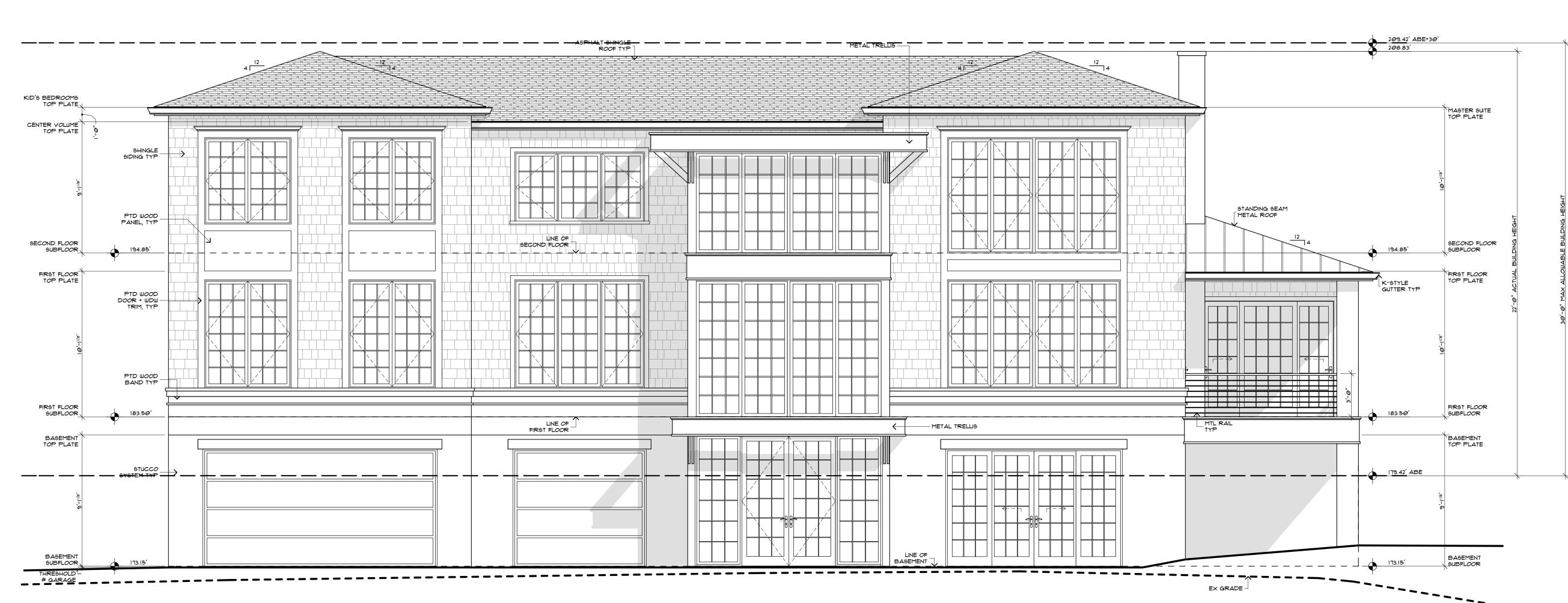
RELEASE

SCHEMATIC DESIGN
20 JUNE 2017

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A 2 . 3

E MERCER
PARCEL 3



EAST ELEVATION

S C A L E: 1/4" = 1'-0"

ELEVATION + SECTION NOTES:

1. CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.

2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.

AGE ING PASS THROUGH. 4303 STONE WAY N SEATTLE, WA 98103 REGISTERED ARCHITECT

182.00′

AVERAGE BUILDING ELEVATION CALC.S:

ELEVATION @ POINT A:

	ELEVATION @ POINT A:	182.00′
	SEGMENT LENGTH @ POINT A:	21.00′
		(3,822.00' @ ELEV x LENGTH)
	ELEVATION @ POINT B:	181.50'
	SEGMENT LENGTH @ POINT B:	2.00′
		(363.00' @ ELEV x LENGTH)
	ELEVATION @ POINT C:	181.00′
	SEGMENT LENGTH @ POINT C:	15′
_		(2,715.00' @ ELEV x LENGTH)
`	ELEVATION @ POINT D:	180.25′
	SEGMENT LENGTH @ POINT D:	6.00′
		(1,081.50' @ ELEV x LENGTH)
	ELEVATION @ POINT E:	178.75′
	SEGMENT LENGTH @ POINT E:	14.00′
		(2,502.50' @ ELEV x LENGTH)
	ELEVATION @ POINT F:	177.00′
	SEGMENT LENGTH @ POINT F:	4.00′
		(708.00' @ ELEV x LENGTH)
	ELEVATION @ POINT G:	175.75′
	SEGMENT LENGTH @ POINT G:	20.50′
		(3,602.88' @ ELEV x LENGTH)
	ELEVATION @ POINT H:	175.25′
	SEGMENT LENGTH @ POINT H:	21.00′
		(3,680.25' @ ELEV x LENGTH)
	ELEVATION @ POINT I:	175.25′
	SEGMENT LENGTH @ POINT I:	12.00′
		(2,103.00' @ ELEV x LENGTH)
	ELEVATION @ POINT J:	175.75′
	SEGMENT LENGTH @ POINT J:	12.00′
		(2,109.00' @ ELEV x LENGTH)
	ELEVATION @ POINT K:	176.50′
	SEGMENT LENGTH @ POINT K:	33.00′
		(5,824.50' @ ELEV x LENGTH)
	ELEVATION @ POINT L:	177.75′
	SEGMENT LENGTH @ POINT L:	6.00′
		(1,066.50' @ ELEV x LENGTH)
	ELEVATION @ POINT M:	184.00′
	SEGMENT LENGTH @ POINT M:	49.50′
		(9,108.00' @ ELEV x LENGTH)
	ELEVATION @ POINT N:	182.00′
—	SEGMENT LENGTH @ POINT N:	27.00′
		(4,914.00' @ ELEV x LENGTH)
	TOTAL ELEVs x SEGMENT LENGTHs:	43,600.13'
	TOTAL SEGMENT LENGTHs:	243'
	AVERAGE BUILDING ELEVATION (ABE):	179.42′

A R C E L 3

ER WAY MERCER ISLAND, WA

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RIPPLE

DESIGN STUDIO

206.913.2333

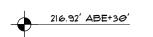
JAMES M DEARTH STATE OF WASHINGTON

E A S T B U I D D D G

E L E V A T I O N

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RELEASE
SCHEMATIC DESIGN
20 JUNE 2017





ELEVATION

S C A L E : 1/4" = 1'-0"

ELEVATION + SECTION NOTES:



2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.

CALC.S:

WALL SEGMENT A LENGTH:	2
WALL SEGMENT A COVERAGE:	55.9
	(15.09 FT % RESUL
WALL SEGMENT B LENGTH:	13
WALL SEGMENT B COVERAGE:	100
	(13.5 FT % RESUL
WALL SEGMENT C LENGTH:	
WALL SEGMENT C COVERAGE:	67.4
	(4.04 FT % RESUL
WALL SEGMENT D LENGTH:	3
WALL SEGMENT D COVERAGE:	100
	(33 FT % RESUL
WALL SEGMENT E LENGTH:	•
WALL SEGMENT E COVERAGE:	27.3 FT
	(3.28 FT % RESUL
WALL SEGMENT F LENGTH:	•
WALL SEGMENT F COVERAGE:	0 FT
	(0 FT % RESUL
WALL SEGMENT G LENGTH:	:
WALL SEGMENT G COVERAGE:	15.5 FT
	(3.26 FT % RESUL
WALL SEGMENT H LENGTH:	20
WALL SEGMENT H COVERAGE:	0 FT
	(0 FT % RESUL
WALL SEGMENT I LENGTH:	
WALL SEGMENT I COVERAGE:	0 FT
	(0 FT % RESUL
WALL SEGMENT J LENGTH:	1
WALL SEGMENT J COVERAGE:	0 FT
	(0 FT % RESUL
TOTAL SEGMENT LENGTHs:	16
TOTAL SEGMENT COVERAGE RESULTS:	36.61 FT
GROSS BASEMENT FLOOR AREA	1,145 F
GROSS BASEMENT FLOOR % TO BE EXCLUDED:	36.61
GROSS BASEMENT FLOOR AREA TO BE	419 F
EXCLUDED:	

AVERAGE BUILDING ELEVATION

CALC.S:	
ELEVATION @ POINT A:	178.0
SEGMENT LENGTH @ POINT A:	(1,068' @ ELEV x LENGTF
ELEVATION @ POINT B:	180.0
SEGMENT LENGTH @ POINT B:	1 (2,700' @ ELEV x LENGT)
ELEVATION @ POINT C: SEGMENT LENGTH @ POINT C:	180.8
SEGNENT ELITOTTI & FORTY C.	(361.60' @ ELEV x LENGTH
ELEVATION @ POINT D: SEGMENT LENGTH @ POINT D:	180.6
SEGNENT ELNOTTI & POINT D.	(3,792.60' @ ELEV x LENGTH
ELEVATION @ POINT E:	182.2
SEGMENT LENGTH @ POINT E:	2 (4,919.40' @ ELEV x LENGTH
ELEVATION @ POINT F:	183.8
SEGMENT LENGTH @ POINT F:	49.
	(9,098.10' @ ELEV x LENGTH

ELEVATION @ POINT I:	174.60′
SEGMENT LENGTH @ POINT I:	33'
	(5,761.80' @ ELEV x LENGTH)
ELEVATION @ POINT J:	174.80′
SEGMENT LENGTH @ POINT J:	20.5′

_	(3,583.40' @ ELE
ELEVATION @ POINT K:	
SEGMENT LENGTH @ POINT K:	
	(700.80' @ ELI

ELEVATION @ POINT L:

TOTAL SEGMENT LENGTHs:

AVERAGE NATURAL GRADE (ANG):

SEGMENT LENGTH @ POINT L:	14'
	(2,464' @ ELEV x LENGTH)
TOTAL ELEVs x SEGMENT LENGTHs:	39,222.70′

176.00′

219′

179.10′

RELEASE

SCHEMATIC DESIGN 20 JUNE 2017

E MERCER PARCEL 3



DESIGN STUDIO

206.913.2333

4303 STONE WAY N SEATTLE, WA 98103

JAMES M DEARTH STATE OF WASHINGTON

REGISTERED ARCHITECT

BASEMENT FLOOR AREA

CALC.S:	
ELEVATION @ POINT A:	178.00′
SEGMENT LENGTH @ POINT A:	6′
	(1,068' @ ELEV x LENGTH)
ELEVATION @ POINT B:	180.00′
SEGMENT LENGTH @ POINT B:	15'
	(2,700' @ ELEV x LENGTH)
ELEVATION @ POINT C:	180.80′
SEGMENT LENGTH @ POINT C:	2'
	(361.60' @ ELEV x LENGTH)
ELEVATION @ POINT D:	180.60′
SEGMENT LENGTH @ POINT D:	21′
	(3,792.60' @ ELEV x LENGTH)
ELEVATION @ POINT E:	182.20′
SEGMENT LENGTH @ POINT E:	27'
	(4,919.40' @ ELEV x LENGTH)
LEVATION @ POINT F:	183.80′
EGMENT LENGTH @ POINT F:	49.5′
	(9,098.10' @ ELEV x LENGTH)
LEVATION @ POINT G:	176.00′
EGMENT LENGTH @ POINT G:	6′
	(1,056' @ ELEV x LENGTH)
ELEVATION @ POINT H:	177.00′
SEGMENT LENGTH @ POINT H:	21′
	(3,717' @ ELEV x LENGTH)
ELEVATION @ POINT I:	174.60′
SEGMENT LENGTH @ POINT I:	33'
	(5,761.80' @ ELEV x LENGTH)
ELEVATION @ POINT J:	174.80′
SEGMENT LENGTH @ POINT J:	20.5′
	(3,583.40' @ ELEV x LENGTH)
ELEVATION @ POINT K:	175.20′
SEGMENT LENGTH @ POINT K:	4'
	(700.80' @ ELEV x LENGTH)
	(700.80 @ ELEV X LENGTH)

AVG BUILDING ELEV CALC.S:

ELEVATION @ POINT A:	178.00
SEGMENT LENGTH @ POINT A:	6
	(1,068' @ ELEV x LENGTH
ELEVATION @ POINT B:	180.00
SEGMENT LENGTH @ POINT B:	15
	(2,700' @ ELEV x LENGTH
ELEVATION @ POINT C:	180.80
SEGMENT LENGTH @ POINT C:	2
	(361.60' @ ELEV x LENGTH
ELEVATION @ POINT D:	180.60
SEGMENT LENGTH @ POINT D:	2
	(3,792.60' @ ELEV x LENGTH
ELEVATION @ POINT E:	182.20
SEGMENT LENGTH @ POINT E:	27
	(4,919.40' @ ELEV x LENGTH
ELEVATION @ POINT F:	183.80
SEGMENT LENGTH @ POINT F:	49.5
	(9,098.10' @ ELEV x LENGTH
ELEVATION @ POINT G:	176.00
SEGMENT LENGTH @ POINT G:	6
	(1,056' @ ELEV x LENGTH
ELEVATION @ POINT H:	177.00
SEGMENT LENGTH @ POINT H:	2
	(3,717' @ ELEV x LENGTH
ELEVATION @ POINT I:	174.60
SEGMENT LENGTH @ POINT I:	33
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ELEVATION @ POINT J:	174.80
SEGMENT LENGTH @ POINT J:	20.5
	(3,583.40' @ ELEV x LENGTH
ELEVATION @ POINT K:	175.20
SEGMENT LENGTH @ POINT K:	2
	(700.80' @ ELEV x LENGTH
ELEVATION @ POINT L:	176.00
SEGMENT LENGTH @ POINT L:	14
	(2,464' @ ELEV x LENGTH
TOTAL 51.51.4. OF OUT. 15.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1	
TOTAL ELEVS X SEGMENT LENGTHS: TOTAL SEGMENT LENGTHS:	39,222.70 219
AVERAGE NATURAL GRADE (ANG):	179.10

ELEVATION + SECTION NOTES:

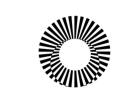
FLU + SPARK ARRESTOR MFR APPROVAL.

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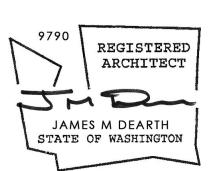
BASEMENT FLOOR AREA CALC.S:

WALL SEGMENT A LENGTH:	27
WALL SEGMENT A COVERAGE:	55.99
(15	.09 FT % RESULT
WALL SEGMENT B LENGTH:	13.5
WALL SEGMENT B COVERAGE:	1009
(1	13.5 FT % RESULT
WALL SEGMENT C LENGTH:	6
WALL SEGMENT C COVERAGE:	67.49
(4.	.04 FT % <i>RESULT</i>
WALL SEGMENT D LENGTH:	33
WALL SEGMENT D COVERAGE:	1009
	(33 FT % <i>RESUL</i> 1
WALL SEGMENT E LENGTH:	12
WALL SEGMENT E COVERAGE:	27.3 FT 9
(3	.28 FT % RESULT
WALL SEGMENT F LENGTH:	1:
WALL SEGMENT F COVERAGE:	O FT S
	(0 FT % RESULT
WALL SEGMENT G LENGTH:	2
WALL SEGMENT G COVERAGE:	15.5 FT 9
(3	.26 FT % RESULT
WALL SEGMENT H LENGTH:	20.6
WALL SEGMENT H COVERAGE:	O FT S
	(0 FT % RESULT
WALL SEGMENT I LENGTH:	2
WALL SEGMENT I COVERAGE:	O FT S
	(0 FT % RESULT
WALL SEGMENT J LENGTH:	14
WALL SEGMENT J COVERAGE:	O FT S
	(0 FT % RESULT
TOTAL SEGMENT LENGTHs:	163
TOTAL SEGMENT COVERAGE RESULTS:	36.61 FT 9
GROSS BASEMENT FLOOR AREA	1,145 FT
GROSS BASEMENT FLOOR % TO BE EXCLUDED:	36.619
GROSS BASEMENT FLOOR AREA TO BE	419 FT

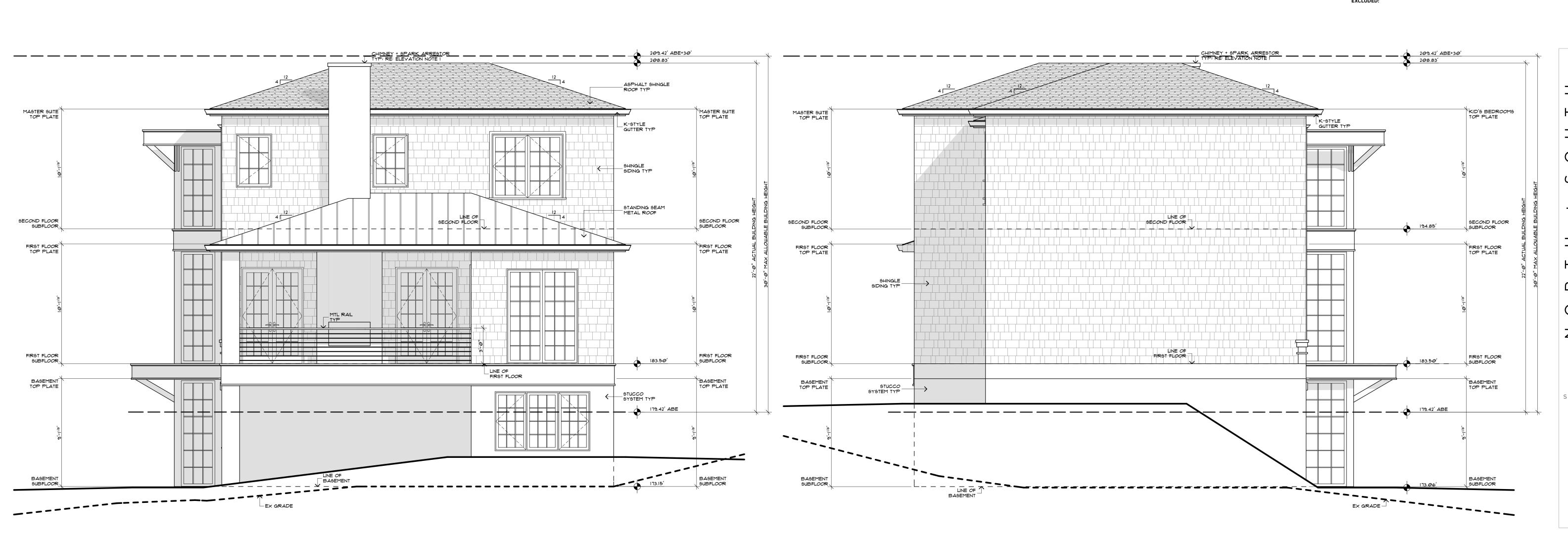


RIPPLE
DESIGN STUDIO

206.913.2333 4303 STONE WAY N SEATTLE, WA 98103



E MERCER WAY MERCER ISLAND, W



DORTH + SOUTH PROPERTY OF THE ARCHITECT + SHALL BE REPRODUCED, PUBLISHED, OR USED IN ANY MANING.

A 3 . 3



S C A L E : 1/4" = 1'-0"



ELEVATION + SECTION NOTES:

1. CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.

2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.



DESIGN STUDIO

4303 STONE WAY N SEATTLE, WA 98103

WSEC 2012 NOTES:

- THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2012 PRESCRIPTIVE METHOD.
 INSULATION VALUES SHALL BE AS FOLLOWS:
- INSULATION VALUES SHALL BE AS FOLLOWS:
 A. ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MIN.
- B. ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MIN.
- C. ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.
- D. ALL CEILINGS IN UNCONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
- E. ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.

 F. ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN.

 G. ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN

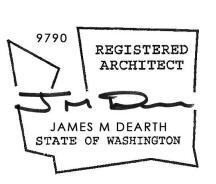
 @ INTERIOR FRAMED WALL.
- H. ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.

 I. ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10 RIGID
- INSULATION WITHIN 24" OF SLAB PERIMETER.

 J. ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @
- INTERIOR SIDE OF WALL.

 3. RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
- 4. PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
- 5. PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ ALL BATHS + LAUNDRY.

6. GAS FURNACE, BOILER, OR TANKLESS WATER HEATER SHALL BE 92% AFU MIN (WSEC TABLE 9-1, CREDIT 1a).



E M E R C E R
P A R C E L 3

79 E. MERCER WAY MERCER ISLAND, WA

BULLDLNG
SECTONS A-A

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SCHEMATIC DESIGN
20 JUNE 2017

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DOOR SCHEDULE:

DOOR NO.	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	REMARKS
001A	6'-6"	9'-0"	FRENCH	CLAD WOOD / GLASS		PAIR, DIVIDED LIGHT, W/ 3'-3" SIDELIGHTS
001B	2'-8"	7'-0"	PANEL	WOOD		
001C	2'-8"	8'-0"	PANEL	WOOD		ELEVATOR, LOCKING, AUTO-CLOSER
002A	7'-0"	8'-0"	SURFACE SLIDER	WOOD		BARN STYLE SLIDING DOOR
002B	12'-0"	8'-0"	FRENCH SLIDER	CLAD WOOD / GLASS		4-PANEL, DIVIDED LIGHT
003A	2'-8"	7'-0"	PANEL	WOOD		
003B	2'-4"	7'-0"	PANEL	WOOD		
004A	2'-8"	8'-0"	PANEL	WOOD		PRIVACY LOCK
005A	2'-8"	8'-0"	PANEL	WOOD		20-MINUTE RATED, AUTO-CLOSER
006A	16'-0"	8'-0"	OVERHEAD	WOOD		GARAGE DOOR
006B	9'-0"	8'-0"	OVERHEAD	WOOD		GARAGE DOOR
101A	2'-8"	8'-0"	PANEL	WOOD		ELEVATOR, LOCKING, AUTO-CLOSER
102A	2'-8"	8'-0"	PANEL	WOOD		PRIVACY LOCK
103A	5'-0"	8'-0"	FRENCH	CLAD WOOD / GLASS		PAIR, DIVIDED LIGHT
103B	5'-0"	8'-0"	FRENCH	CLAD WOOD / GLASS		PAIR, DIVIDED LIGHT
103C	15′-6″	8'-0"	SLIDER	WOOD		3-PANEL, 2 OUTBOARD OPERABLE
105A	2'-8"	8'-0"	PANEL	WOOD		
106A	9'-0"	8'-0"	SLIDER	CLAD WOOD / GLASS		3-PANEL, DIVIDED LIGHT
107A	15′-6″	8'-0"	SLIDER	WOOD		3-PANEL, 2 OUTBOARD OPERABLE
109A	2'-8"	8'-0"	PANEL	WOOD		
110A	5'-0"	8'-0"	PANEL	WOOD		PAIR
111A	2'-8"	7'-0"	PANEL	WOOD		
111B	5'-0"	7'-0"	SLIDER	WOOD		PAIR, BY-PASS CLOSET
111C	5'-0"	7'-0"	SLIDER	WOOD		PAIR, BY-PASS CLOSET
112A	2'-8"	8'-0"	PANEL	WOOD		
201A	2'-8"	7'-0"	PANEL	WOOD		ELEVATOR, LOCKING, AUTO-CLOSER
202A	2'-8"	8'-0"	PANEL	WOOD		PRIVACY
203A	2'-8"	8'-0"		WOOD		
203B	2'-8"	8'-0"		WOOD		
204A	2'-8"	8'-0"		WOOD		
206A	2'-8"	8'-0"	PANEL	WOOD		
207A	2'-8"	7'-0"	PANEL	WOOD		
207B	9'-0"	7'-0"	SLIDER	WOOD		TRIPLE BY-PASS CLOSET
208A	2'-8"	7'-0"	PANEL	WOOD		
208B	9'-0"	7'-0"	SLIDER	WOOD		TRIPLE BY-PASS CLOSET
209A	2'-4"	7'-0"	PANEL	WOOD		PRIVACY LOCK
209B	2'-4"	7'-0"	PANEL	WOOD		PRIVACY LOCK
210A	2'-8"	7'-0"		WOOD		
210B	5'-0"	7'-0"	SLIDER	WOOD		BY-PASS CLOSET
211A	2'-4"	7'-0"	PANEL	WOOD		

WINDOW SCHEDULE:

INDOW NO.	WIDTH	HEIGHT	HEADER	TYPE	MATERIAL	FINISH	REMARKS
001A	3'-0''	9'-0''	9'-0''	FIXED	CLAD WOOD		DIVIDED LIGHT
001B	5'-0''	9'-0''	9'-0''	FIXED	CLAD WOOD		DIVIDED LIGHT
003A	8'-0''	5'-0''	8'-0''	CASEMENT	CLAD WOOD		TRIPLE, DIVIDED LIGHT, SAFETY GLAZING, EGRESS
101A	5'-0''	9'-6"	9'-6"	FIXED	CLAD WOOD		DIVIDED LIGHT
101B	6'-6''	9'-6"	9'-6"	FXED	CLAD WOOD		PAIR, DIVIDED LIGHT
101C	6'-6"	9'-6"	9'-6"	FXED	CLAD WOOD		PAIR, DIVIDED LIGHT
101D	3'-0"	9'-6"	9'-6"	FIXED	CLAD WOOD		DIVIDED LIGHT
102A	2'-0''	4'-0"	8'-0"	FIXED	CLAD WOOD		DIVIDED LIGHT
102B	2'-0''	4'-0''	8'-0"	CASEMENT	CLAD WOOD		DIVIDED LIGHT
103A	6'-0''	7'-6"	9'-6"	FIXED	CLAD WOOD		PAIR, DIVIDED LIGHT, SAFETY GLAZING
103B	6'-0''	7'-6"	9'-6"	FIXED	CLAD WOOD		PAIR, DIVIDED LIGHT, SAFETY GLAZING
105A	6'-0''	5'-0"	8'-0"	CASEMENT	CLAD WOOD		TRIPLE, DIVIDED LIGHT
106B	6'-0''	8'-0"	8'-0"	CASEMENT	CLAD WOOD		PAIR, DIVIDED LIGHT
107A	9'-0''	7'-6"	9'-6"	FIXED	CLAD WOOD		TRIPLE, DIVIDED LIGHT, SAFETY GLAZING
108A	4'-0''	5'-0"	8'-0"	CASEMENT	CLAD WOOD		PAIR, DIVIDED LIGHT
110A	6'-0''	7'-6"	9'-6"	FIXED	CLAD WOOD		PAIR, DIVIDED LIGHT, SAFETY GLAZING
111A	8'-0''	5'-0''	8'-0"	CASEMENT	CLAD WOOD		TRIPLE, DIVIDED LIGHT, EGRESS
112A	6'-0''	7'-6"	9'-6"	FIXED	CLAD WOOD		PAIR, DIVIDED LIGHT, FROSTED GLASS
201A	5'-0''	7'-0''	7'-0''	FIXED	CLAD WOOD		DIVIDED LIGHT, SAFETY GLAZING
201B	6'-6''	7'-0''	7'-0''	FXED	CLAD WOOD		PAIR, DIVIDED LIGHT, SAFETY GLAZING
201C	6'-6"	7'-0"	7'-0''	FXED	CLAD WOOD		PAIR, DIVIDED LIGHT, SAFETY GLAZING
201D	3'-0''	7'-0"	7'-0''	FIXED	CLAD WOOD		DIVIDED LIGHT, SAFETY GLAZING
202A	6'-0''	8'-0"	8'-0"	CASEMENT	CLAD WOOD		PAIR, DIVIDED LIGHT, SAFETY GLAZING
202B	6'-0''	8'-0"	8'-0"	CASEMENT	CLAD WOOD		PAIR, DIVIDED LIGHT, SAFETY GLAZING
202C	3'-0''	4'-6"	8'-0"	CASEMENT	CLAD WOOD		DIVIDED LIGHT, EGRESS
202D	3'-0''	4'-6"	8'-0"	CASEMENT	CLAD WOOD		DIVIDED LIGHT, EGRESS
203A	6'-0''	5'-6"	8'-0"	CASEMENT	CLAD WOOD		PAIR, DIVIDED LIGHT, SAFETY GLAZING
205A	9'-0''	5'-0"	7'-0''	CASEMENT	CLAD WOOD		TRIPLE, DIVIDED LIGHT
206A	6'-0''	6'-0"	8'-0"	CASEMENT	CLAD WOOD		PAIR, DIVIDED LIGHT
207A	6'-0''	6'-0"	8'-0"	CASEMENT	CLAD WOOD		PAIR, DIVIDED LIGHT, EGRESS
208A	3'-0"	6'-0"	8'-0"	CASEMENT	CLAD WOOD		DIVIDED LIGHT, EGRESS
208B	3'-0"	6'-0"	8'-0"	CASEMENT	CLAD WOOD		DIVIDED LIGHT, EGRESS
210A	6'-0"	5'-6"	8'-0"	CASEMENT	CLAD WOOD		PAIR, DIVIDED LIGHT, EGRESS
210B	4'-0''	4'-0"	8'-0"	CASEMENT	CLAD WOOD		PAIR, DIVIDED LIGHT
211A	4'-0''	4'-0''	8'-0"	CASEMENT	CLAD WOOD		PAIR, DIVIDED LIGHT

WSEC 2012 NOTES:

- THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2012 PRESCRIPTIVE METHOD.
 INSULATION VALUES SHALL BE AS FOLLOWS:
- A. ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MIN.
- B. ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MIN.

 C. ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO DESIGN STUDIO
- UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.

 D. ALL CEILINGS IN UNCONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
- E. ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.
- F. ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN.
 G. ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN
 @ INTERIOR FRAMED WALL.
- H. ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.

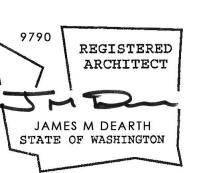
 I. ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10 RIGID
- Insulation within 24" of slab perimeter. J. all headers @ exterior walls shall receive R-10 rigid insulation @
- INTERIOR SIDE OF WALL.

 3. RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
- 4. PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
- 5. PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ ALL BATHS + LAUNDRY.
- 6. GAS FURNACE, BOILER, OR TANKLESS WATER HEATER SHALL BE 92% AFU MIN (WSEC TABLE 9-1, CREDIT 1a).



RIPPLE

206.913.2333 4303 STONE WAY N SEATTLE, WA 98103



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3 7 9 E. MERCER WAY MERCER ISLAND, W

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SCHEMATIC DESIGN
20 JUNE 2017

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E MERCER PARCEL 3 The Following Apply Unless Noted Otherwise on the Drawings

Criteria

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE 2015 INTERNATIONAL BUILDING CODE

DESIGN LOAD CRITERIA

FLOOR LIVE LOAD (RESIDENTIAL) 40 PSF FLOOR LIVE LOAD (RESIDENTIAL DECKS) 60 PSF SNOW Pf=25 PSF

Iw=1.0, GCpi=0.18, 110 MPH WIND (ULTIMATE), EXPOSURE "B", KZT=1.84

EARTHQUAKE ANALYSIS PROCEDURE: **EQUIVALENT LATERAL** FORCE PROCEDURE LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS

BASE SHEAR (ULTIMATE) V=21.30 KIPS SITE CRITERIA SITE CLASS=D, Ss=1.461, Sds=0.974, S1=0.556, SD1=0.556, Cs=0.150

SDC D, le=1.0, R=6.5

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED
- 5. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
- 9. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- 10. SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS. CONNECTOR PLATE WOOD ROOF TRUSSES

CONTRACTOR SHALL SUBMIT WALL ELEVATION DRAWINGS OF AT LEAST 1/8"=1'-0" SCALE INDICATING LOCATIONS OF CONNECTION EMBEDMENTS AND WALL OPENINGS FOR REVIEW PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH REINFORCEMENT SHOP DRAWINGS.

APPROVED SETS OF ALL SHOP DRAWINGS SHALL ALSO BE SUBMITTED TO THE BUILDING DEPARTMENT.

11. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY: REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT. BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

Quality Assurance

1. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROIECT SPECIFICATIONS AND SECTIONS 110 AND 1704 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION IS REQUIRED OF THE FOLLOWING TYPES OF CONSTRUCTION:

EXPANSION BOLTS AND THREADED EXPANSION INSERTS PER MANUFACTURER EPOXY GROUTED INSTALLATIONS PER MANUFACTURER

- 2. UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705.12 OF THE INTERNATIONAL BUILDING
- A. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE RESISTING SYSTEM INCLUDING DRAG STRUTS, BRACES AND HOLDOWNS.
- 3. STRUCTURAL OBSERVATION SHALL BE PERFORMED IN ACCORDANCE WITH SECTIONS 1704 OF THE INTERNATIONAL BUILDING CODE FOR THE FOLLOWING BUILDING ELEMENTS: SHEARWALLS

THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD ADEQUATE NOTICE TO SCHEDULE APPROPRIATE SITE VISITS FOR STRUCTURAL OBSERVATION.

STRUCTURAL OBSERVATION MEANS THE VISUAL OBSERVATION OF THE STRUCTURAL SYSTEM, FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS, AT SIGNIFICANT CONSTRUCTION STAGES AND AT COMPLETION OF THE STRUCTURAL SYSTEM. STRUCTURAL OBSERVATION DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR THE INSPECTIONS REQUIRED BY SECTION 109 OR OTHER SECTIONS OF THE INTERNATIONAL BUILDING CODE.

THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUC-TURAL DESIGN, TO PERFORM STRUCTURAL OBSERVATION. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPEC-TOR, CONTRACTOR, AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES WHICH, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.

Geotechnical

1. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ONPLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT. ALLOWABLE SOIL PRESSURE

LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED) 55 PCF/35 PCF

COEFICIENT OF FRICTION (FACTOR OF SAFETY OF 1.5 INCLUDED)

0.3 PILE CAPACITY (COMPRESSION/TENSION/LATERAL)

SOILS REPORT REFERENCE: PanGEO, Inc. Project #14-206, Dated 2/4/16

Concrete

- CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905, 1906 AND ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c=3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. (STRUCTURAL DESIGN OF FOUNDATION IS BASED ON A f'c=2.500 PSI, PER IBC 1705.3.2.3, SPECIAL INSPECTION IS NOT REQUIRED.)
- 2. THE MINIMUM AMOUNTS OF CEMENT MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH IBC 1905.6. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY TO THE CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.
- 3. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH TABLE ACI 318 TABLE 4.2.1 MODERATE EXPOSURE.
- 4. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy=60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, fy=40,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM A615, GRADE 60, fy=60,000
- 5. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH "THE REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE." PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
- 6. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSEDTO EARTH 3" FORMED SURFACES EXPOSED TO EARTH

OR WEATHER (#5 BARS OR SMALLER) 1-1/2" SLABS AND WALLS (INT. FACE) GREATER OF BAR DIAMETER

PLUS 1/8" OR 3/4" 7. CONCRETE WALL REINFORCING - PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE: 6" WALLS #4 @ 16 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN

8" WALLS #4 @ 12 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN 8. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.

9. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM).

Anchorage

- EXPANSION BOLTS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "KWIK BOLT TZ" AS MANUFACTURED BY THE HILTI CORP., INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-1917, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT INSTALLATION.
- 2. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "HIT RE 500-V3" AS MANUFACTURED BY HILTI CORP. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2322. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED.

Wood

BEAMS:

FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO.17. FURNISH TO THE FOLLOWING MINIMUM STANDARDS: (2X & 3X MEMBERS) DOUGLAS FIR-LARCH NO. 2

AND BEAMS: MINIMUM BASE VALUE, Fb=900 PSI (4X MEMBERS) DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fb=900 PSI

MINIMUM BASE VALUE, Fb=1350 PSI POSTS: (4X MEMBERS) DOUGLAS FIR-LARCH NO. 2

(INCL. 6X AND LARGER)

DOUGLAS FIR-LARCH NO. 1 (6X AND LARGER) MINIMUM BASE VALUE, Fc=1000 PSI

DOUGLAS FIR-LARCH NO. 1

MINIMUM BASE VALUE, Fc=1350 PSI

STUDS, PLATES & MISC. FRAMING: DOUGLAS-FIR-LARCH NO. 2 MANUFACTURED LUMBER, PSL, LVL, AND LSL, SHALL BE MANUFACTURED UNDER A PROCESS

APPROVED BY THE NATIONAL RESEARCH BOARD. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL PSL, LVL, AND LSL LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH ICC-ES REPORT ESR-1387 USING DOUGLAS FIR VENEER GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. THE MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E) Fb=2900 PSI, E=2000 KSI, Fv=290 PSI LVL (1.9E) Fb=2600 PSI ,E=1900 KSI, Fv=285 PSI LSL (1.55E) Fb=2325 PSI ,E=1550 KSI, Fv=310 PSI

DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY THE WEYERHAEUSER CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER, ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

- PREFABRICATED PLYWOOD WEB JOIST DESIGN SHOWN ON PLANS IS BASED ON JOISTS MANUFACTURED BY THE TRUS-JOIST CORPORATION. ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE I.C.B.O. APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL IOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH PLYWOOD WEB JOIST PROVIDED.
- PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:

TOP CHORD LIVE LOAD 25 PSF 10 PSF TOP CHORD DEAD LOAD 5 PSF BOTTOM CHORD DEAD LOAD TOTAL LOAD 40 PSF 5 PSF WIND UPLIFT (TOP CHORD) 10 PSF BOTTOM CHORD LIVE LOAD

(BOTTOM CHORD LIVE LOAD DOES NOT ACT CONCURENTLY WITH THE ROOF LIVE LOAD) WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANGNAIL OR EQUAL). SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC., SHOWN ON THE DRAWINGS. THE EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, IACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1. ORIENTED STRAND BOARD OF EOUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

A. ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

B. FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

C. WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0. D. REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- 6. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.
- 7. PRESSURE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD. PRESSURE TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO A RENTION OF 0.25 PCF. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO A RETENTION OF 0.40 PCF. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO A RETENTION OF 0.60 PCF. SODIUM BORATE (SBX) TREATED WOOD SHALL NOT BE USED WHERE EXPOSED TO WEATHER. FASTENERS AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACQ-A, CBA-A, CA-B, OR SBX TREATED WOOD SHALL BE G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653. FASTENERS AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACZA TREATED WOOD SHALL BE TYPE 304 OR 316 STAINLESS STEEL.

Wood (Con't)

TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2015. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITT" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

9. WOOD FASTENERS A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

> 2-1/2" 0.131" 10d 0.148" 16d BOX 3-1/2" 0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

- B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (2005 EDITION) WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.
- 10. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE
 - A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
 - B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS @ 4" O.C. EACH

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER UNLESS OTHERWISE NOTED.

ENGINEERING

PO Box 55124 Seattle, WA 98155



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No. Date

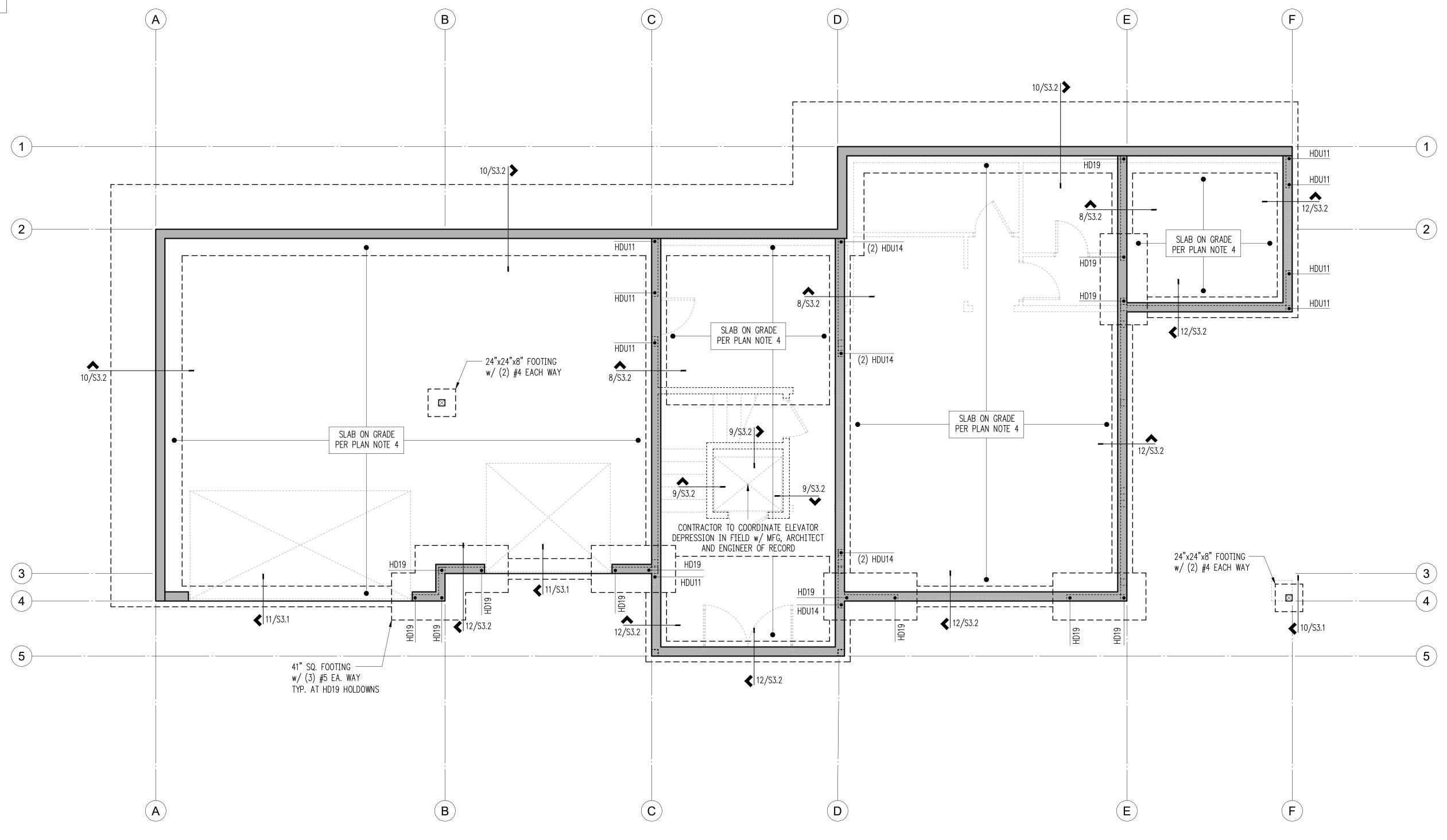
7/26/17 Permit

Sheet Contents

General Structural Notes

Sheet No.

NOTE: FOUNDATION DESIGN BASED ON INSTALLATION OF AGGREGATE PIERS IN ACCORDANCE WITH RECOMENDATIONS OF GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER SHALL INSPECT AND APPROVE ALL SOIL CONDITIONS PRIOR TO FORMING FOUNDATIONS



Basement / Foundation Plan

Scale: 1/4"=1'-0"

1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).

2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.

3. ALL FOOTINGS SHALL BEAR ON FIRM, NATIVE SOIL.

Plan Notes

4. 4" CONCRETE SLAB ON GRADE REINFORCED WITH #3 @ 12"oc EACH WAY, CENTERED IN SLAB. PROVIDE A BASE OF 4" COMPACTED, CLEAN 3/4" MINUS GRAVEL COVERED WITH 4 MIL. VAPOR BARRIER. PROVIDE JOINTS PER 2/S3.1.

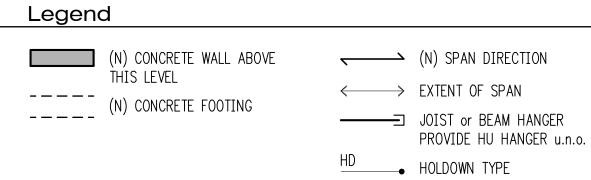
6. PROVIDE DRAINAGE BEHIND ALL FOUNDATION WALLS.

7. REINFORCE FOOTING AND WALL CORNERS AND INTERSECTIONS PER 6/S3.1.

8. "HDU_" REFERS TO HOLDOWNS PER 8/S3.1

9. REFER 9/S3.1 WHERE PIPES PENETRATE FOUNDATION.

10. CONTRACTOR TO VERIFY TOP OF FOOTING ELEVATION w/ ARCHITECTURAL PLANS.





East Mercer - Parcel 3

No. Date Issue

7/26/17 Permit

Sheet Contents

Basement /
Foundation Plan

Sheet No.

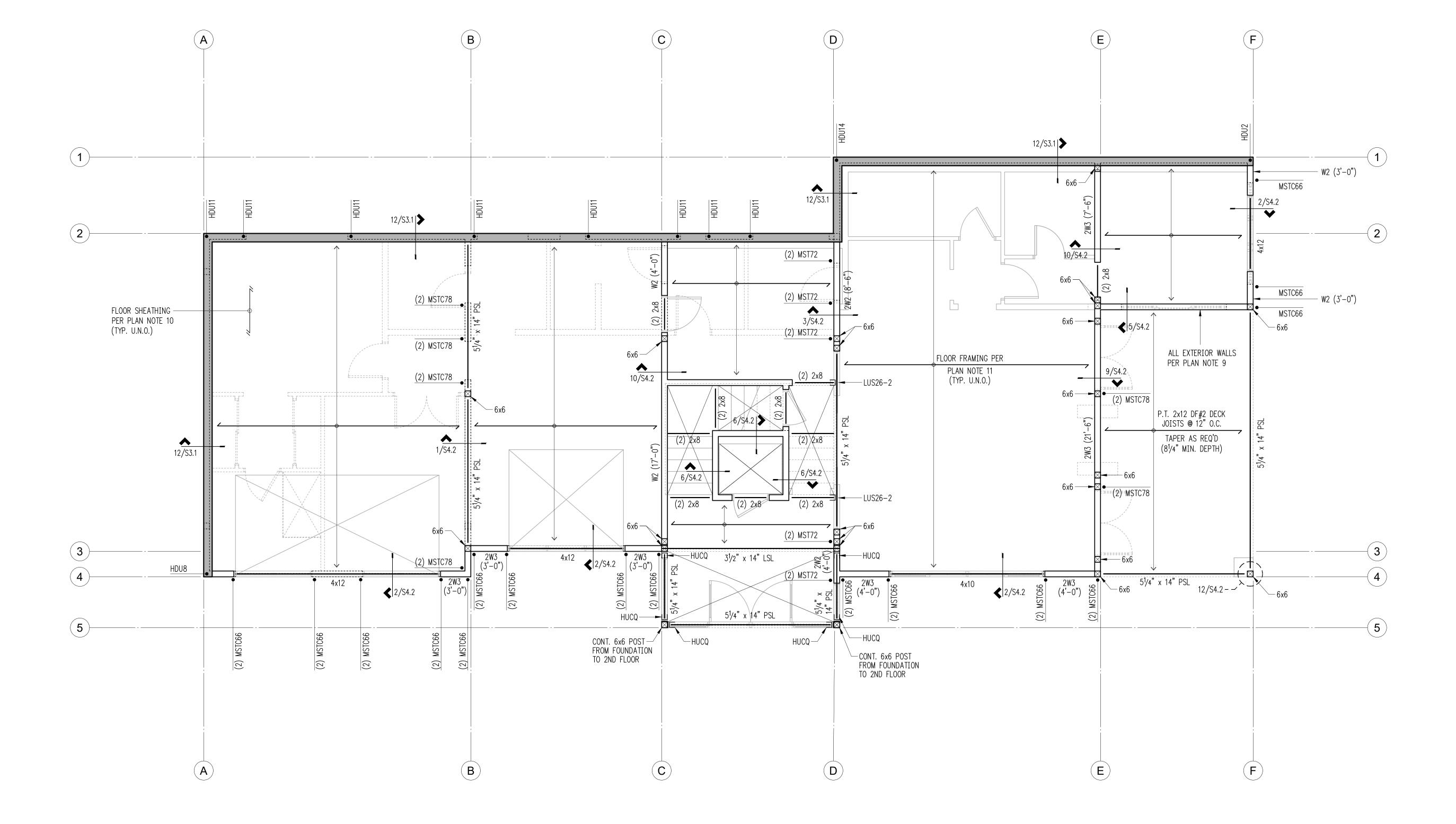
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7/26/17 Permit

Sheet Contents

First Floor Framing Plan

Sheet No.



Plan Notes

- 1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
- 3. PROVIDE DRAINAGE BEHIND ALL FOUNDATION WALLS.
- 4. REINFORCE FOOTING AND WALL CORNERS AND INTERSECTIONS PER 6/S3.1.
- 5. "HDU_" REFERS TO HOLDOWNS PER 8/S3.1
- 6. REFER 9/S3.1 WHERE PIPES PENETRATE FOUNDATION.

- 7. "W#" REFERS TO SHEARWALL TYPE PER 3/S4.1 & 7/S4.1. ALL OTHER NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(X-X)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
- 8. FLOOR SHEATHING SHALL BE 11/8" T&G PLYWOOD SHEATHING WITH 48/24 SPAN RATING. NAIL FRAMED PANEL EDGES W/ 8d COMMON (0.131"dia. x 21/2") @ 6"oc, FIELD @ 12"oc. (REFER TO 9/S4.1)
- 9. FLOOR FRAMING TO BE 14" TJI/230 @ 16"oc (U.N.O.)
- 10. "MSTC66" & "CS16" REFER TO 60" LONG HOLDOWNS PER 11/S4.2 & 7/S4.2 RESPECTIVELY.

11. PROVIDE TOP PLATE SPLICES PER 1/S4.1

- 12. REFER TO 11/S4.1 AT SHEARWALL INTERSECTIONS.
- 13. "D.S." REFERS TO DRAG STRUT. NAIL FLOOR SHEATHING TO DRAG STRUT WITH (2) ROWS OF 8d COMMON (0.131"dia. x $2^{1}/2$ ") @ 4"oc. (REFER TO 5/S4.1)

Legend STRUCTURAL WOOD WALL or STRUCTURAL WOOD WALL or POST ABOVE THIS LEVEL CONCRETE WALL ABOVE

THIS LEVEL

SPAN DIRECTION < → → EXTENT OF SPAN JOIST or BEAM HANGER HD HOLDOWN TYPE

First Floor Framing Plan

BLOCK DIAPH. 2X'S LAID FLAT @ ALL PANEL EDGES. 8D @ 4"OC @ ALL PANEL EDGES & 12"OC IN FIELD. (REFER TO 9/S4.1)

Scale: 1/4"=1'-0"

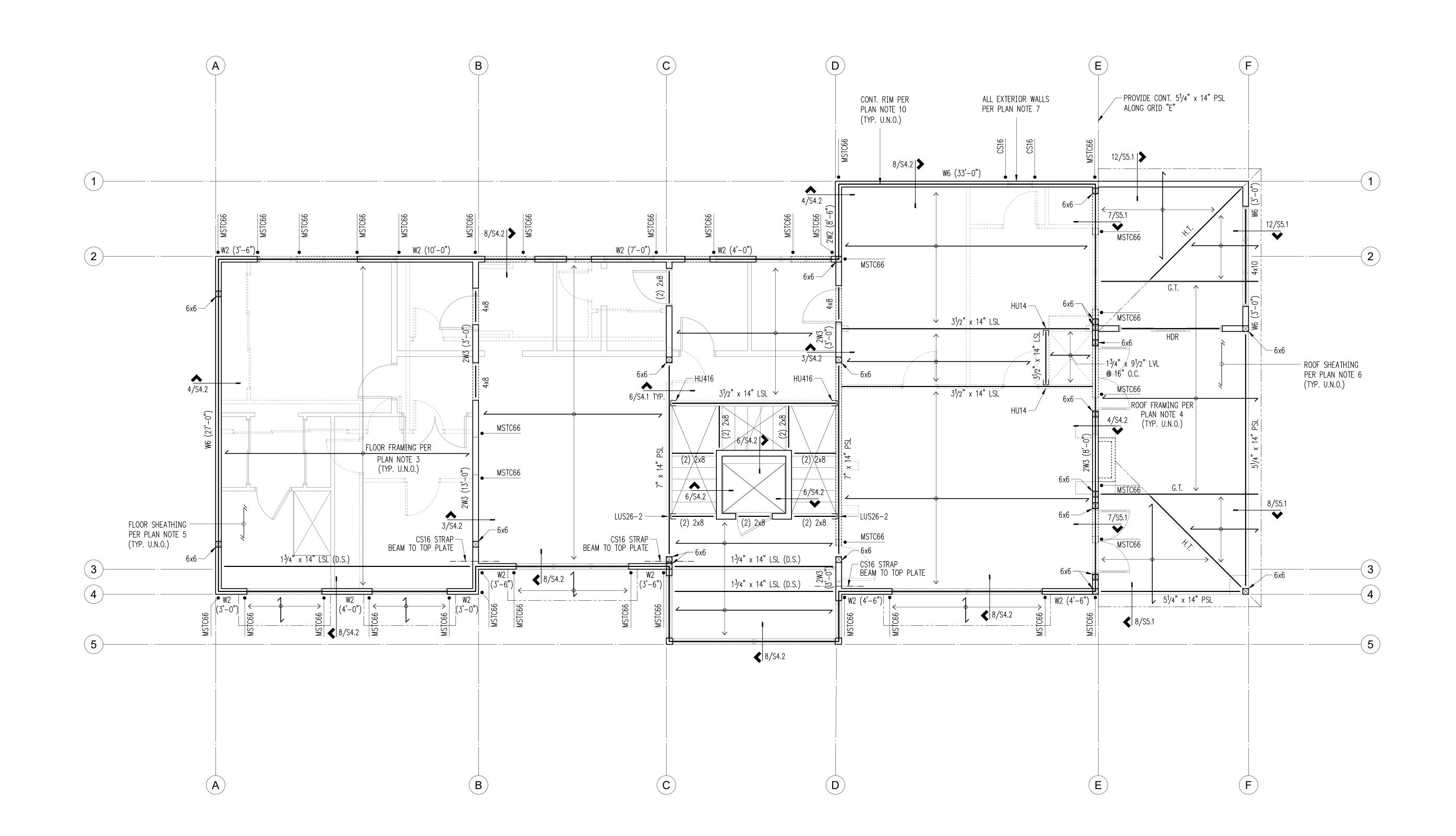
7/26/17 Permit

Sheet Contents Second Floor

Framing Plan

Sheet No.





Second Floor Framing Plan Scale: 1/4"=1'-0"

Legend

Plan Notes

- 1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
- 3. FLOOR FRAMING TO BE 14" TJI/230 @ 16"oc (U.N.O.)
- 4. ROOF FRAMING (where occurs) SHALL BE PRE-MANUFACTURED ROOF TRUSSES @ 24"oc. (Truss design by others).
- 5. FLOOR SHEATHING SHALL BE 11/8" T&G PLYWOOD SHEATHING WITH 48/24 SPAN RATING. NAIL FRAMED PANEL EDGES W/ 8d COMMON (0.131"dia. x 2½") @ 6"oc, FIELD @ 12"oc. 9. PROVIDE TOP PLATE SPLICES PER 1/S4.1 (REFER TO 9/S4.1)
- 6. ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD SHEATHING WITH 40/20 SPAN RATING. NAIL FRAMED PANEL EDGES W/ 8d COMMON (0.131"dia. x 21/2") @ 6"oc, FIELD @ 12"oc. (REFER TO 9/S4.1)
- 7. "W#" REFERS TO SHEARWALL TYPE PER 3/S4.1 & 7/S4.1. ALL OTHER NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(X-X)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
- 8. "MSTC66" & "CS16" REFER TO HOLDOWNS PER 11/S4.2 & 7/S4.2 RESPECTIVELY.

- 10. AT EXTERIOR WALLS, PROVIDE CONTINUOUS FLUSH FRAMED 31/2" X 14" LSL STRUCTURAL RIM JOIST, UNLESS NOTED OTHERWISE. RIM JOISTS OVER OPENINGS SHALL BE CONTINUOUS w/ NO SPLICES. REFER TO 4/S4.2 & 8/S4.2.
- 11. REFER TO 11/S4.1 AT SHEARWALL INTERSECTIONS.
- 12. "D.S." REFERS TO DRAG STRUT. NAIL FLOOR SHEATHING TO DRAG STRUT WITH (2) ROWS OF 8d COMMON (0.131"dia. x $2^{1/2}$ ") @ 4"oc. (REFER TO 5/S4.1)

STRUCTURAL WOOD WALL or STRUCTURAL WOOD WALL or POST ABOVE THIS LEVEL

HD HOLDOWN TYPE H.T.

SPAN DIRECTION < → → EXTENT OF SPAN JOIST or BEAM HANGER GIRDER TRUSS

HIP TRUSS

2X'S LAID FLAT @ ALL PANEL EDGES. 8D @ 4"OC @ ALL PANEL EDGES & 12"OC IN FIELD. (REFER TO 9/S4.1)

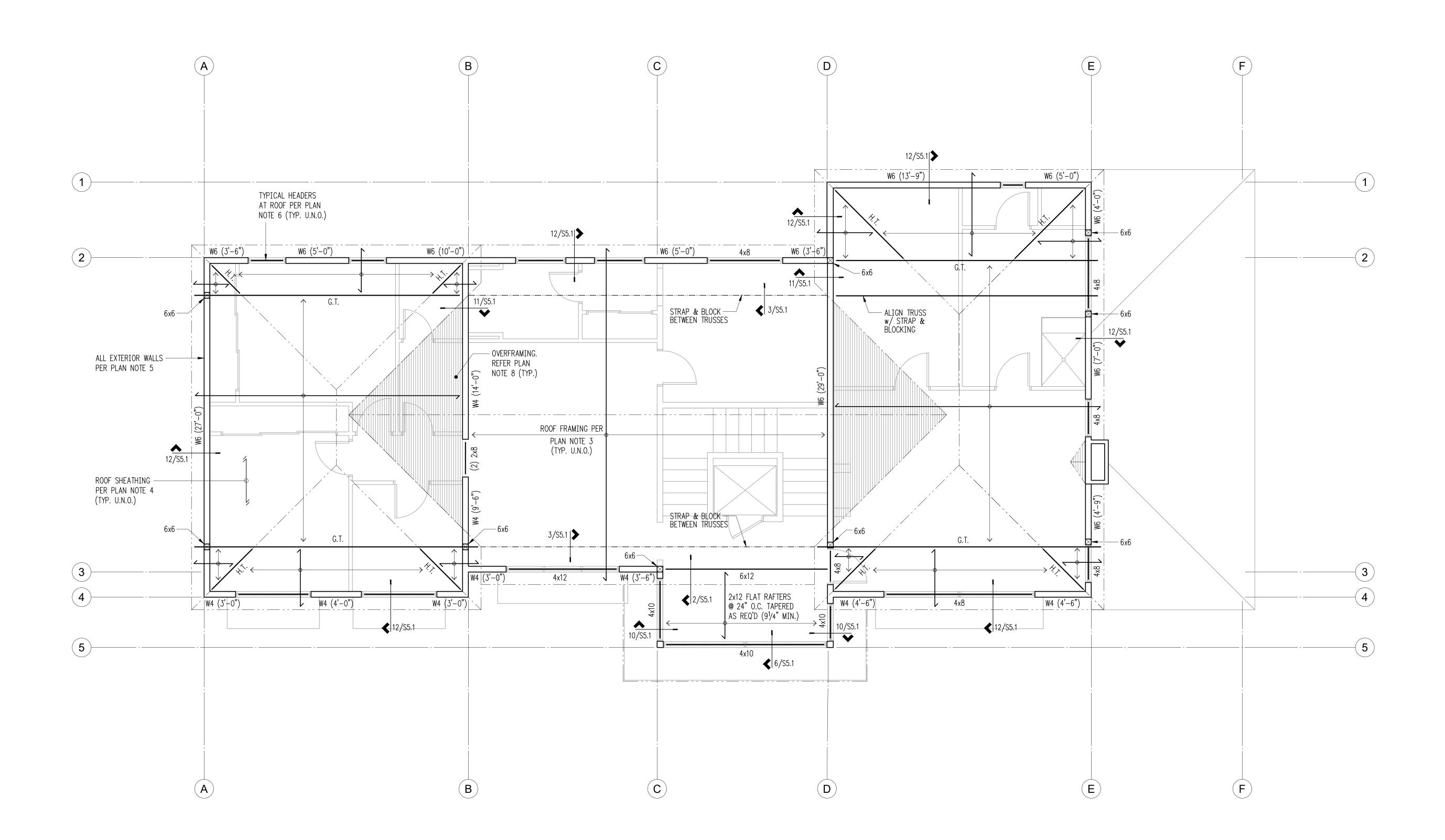
BLOCK DIAPH.

East

E Mercer Way er Island, WA, 98040

Roof Framing Plan

Sheet No.



Roof Framing Plan

Legend

STRUCTURAL WOOD WALL or POST BELOW THIS LEVEL

SPAN DIRECTION

 \longleftrightarrow EXTENT OF SPAN

G.T. GIRDER TRUSS

H.T. HIP TRUSS

JOIST or BEAM HANGER

Scale: 1/4"=1'-0"

Plan Notes

- 1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
- 3. ROOF FRAMING SHALL BE PRE-MANUFACTURED ROOF TRUSSES @ 24"oc. (TRUSS DESIGN BY OTHERS).
- 4. ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD SHEATHING WITH 40/20 SPAN RATING. NAIL FRAMED PANEL EDGES W/ 8d COMMON (0.131"dia. x 2½") @ 6"oc, FIELD @ 12"oc. (REFER TO 9/S4.1)
- 5. "W#" REFERS TO SHEARWALL TYPE PER 3/S4.1 & 7/S4.1. ALL OTHER NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(X-X)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
- (REFER TO DETAIL 2/S4.1)
- 7. PROVIDE TOP PLATE SPLICES PER 1/S4.1
- 8. WHERE OVERFRAMING IS INDICATED, OVERFRAME WITH 2x6 @ 24" O.C.
- 6. ALL HEADERS AT ROOF NOT NOTED OTHERWISE ON PLAN SHALL BE (2) 2X8.
- w/4'-0" MAX. SPAN. (REFER TO DETAIL 4/S5.1)

FOR F'c = 2500 psi, GRADE 60 REINFORCING

MINIMUM STRAIGHT DEVELOPMENT LENGTH (ld)

BAR SIZE	TOP BARS	OTHER BARS
#3	23"	18"
#4	31"	24"
#5	40"	30"
#6	47"	36"
#7	68"	53"
#8	78"	60"
#9	88"	68"
#10	99"	77"
#11	110"	85"

	MINIMUM LAP SPLICE LENGT	THS (ls)	
BAR SIZE	TOP BARS	OTHER BARS	
#3	31"	23"	
#4	41"	31"	
#5	51"	40"	
#6	62"	47"	
#7	89"	68"	
#8	102"	78"	
#9	114"	88"	
#10	130"	99"	
			_

#11

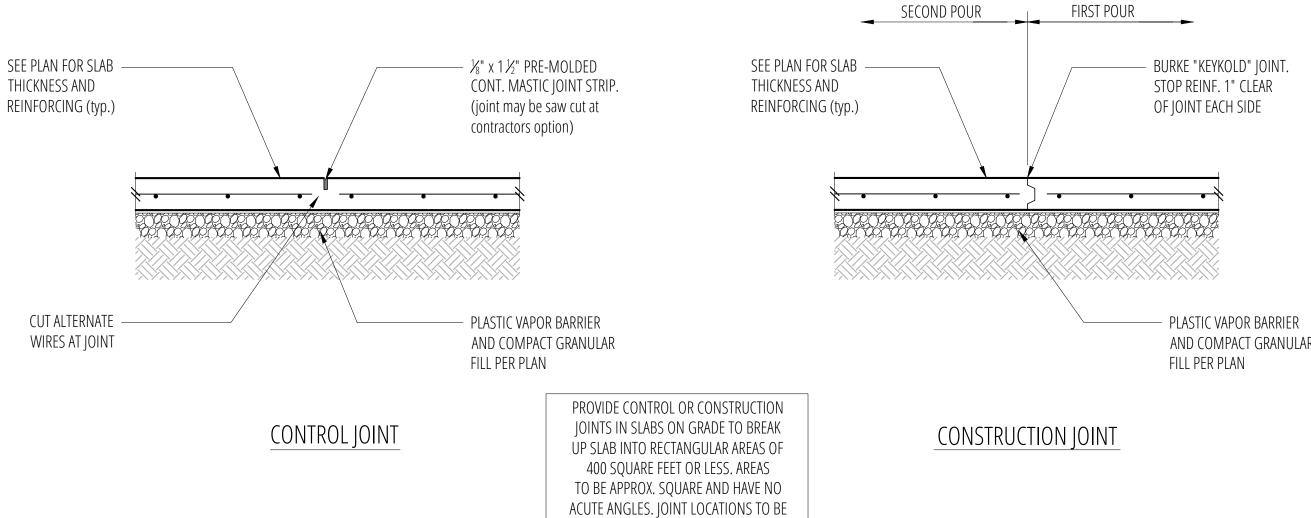
TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM.

IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR, OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMTERS, THEN LENGTHS SHALL BE INCREASED BY 50%

MINIMUM EMBEDMENT LENGTHS (Qdh) FOR STANDARD END HOOKS

	FOR STANDARD END HOOKS
BAR SIZE	LENGTH
#3	7"
#4	9"
#5	11"
#6	13"
<u>#</u> 7	14"
#8	17"
#9	19"
#10	21"
#11	24"

- 1. SIDE COVER MUST BE EQUAL TO OR GREATER THAN $2\frac{1}{2}$ "
- 2. END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN 2"



CORNER BARS TO

MATCH HORIZ. REINF.

ADDITIONAL

VERT. BARS

SINGLE CURTAIN

AND COMPACT GRANULAR APPROVED BY THE ARCHITECT.

CORNER BARS TO

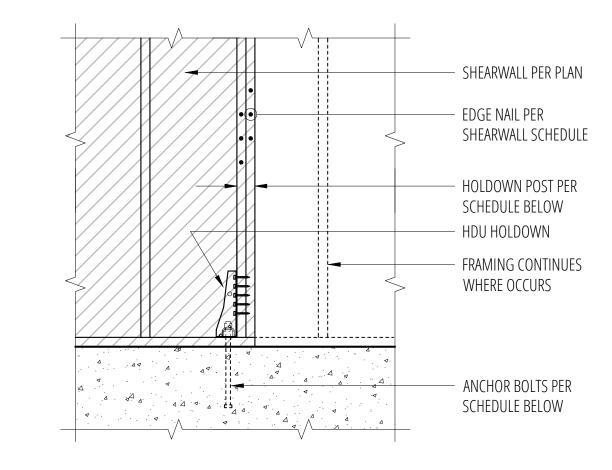
HORIZ. REINF.

TYP. CORNER

BARS: 24

CROSS WALL

MATCH CROSS WALL



Holdown Schedule

CORNER BARS TO

HORIZ. REINF.

(alt. hooks)

- TYP. CORNER

BARS: 24

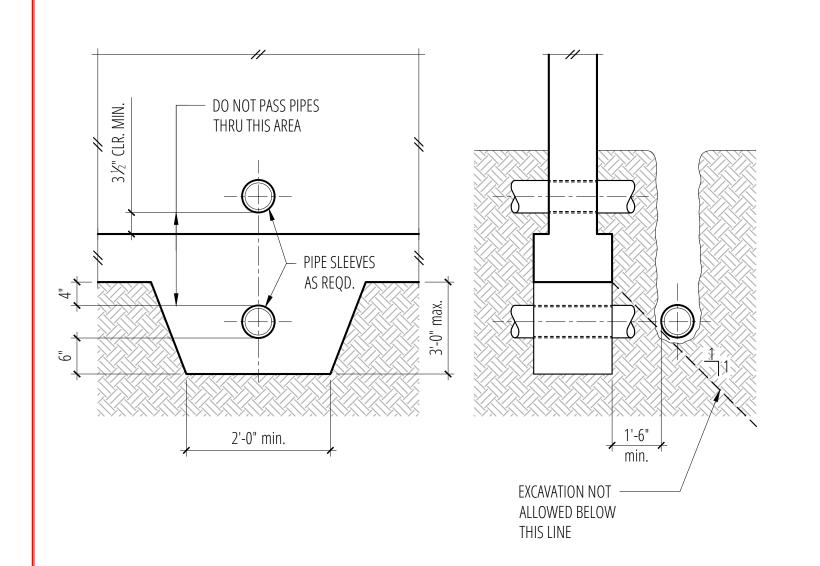
- CROSS WALL

MATCH CROSS WALL

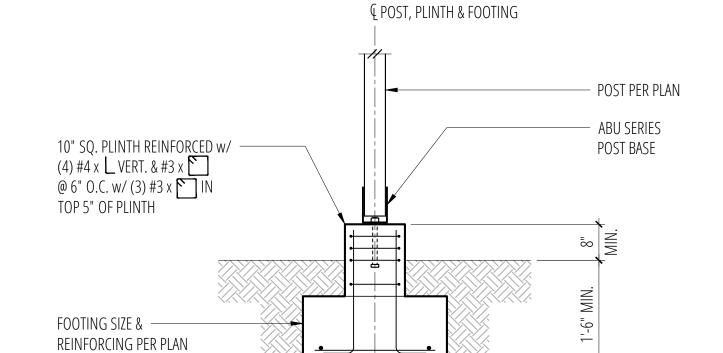
Plan	Screws	Anchor	A.B.	Holdowi	n Post ①	Capacity	
Mark	Mark Sciews		Embed	IF 2x4	IF 2x6	"#	
HDU2-SDS2.5	(6) SDS ½" x 2½"	SSTB16	12 %"	(2) 2x4	4x6	2215/3075	
HDU4-SDS2.5	(10) SDS ¼" x 2½"	SB	18"	4x4	4x6	4565	
HDU5-SDS2.5	(14) SDS ¼" x 2½"	SB ¾ x 24	18"	4x4	4x6	5645	
HDU8-SDS2.5	(20) SDS ¼" x 2½"	SB ⅓ x 24	18"	4x4	4x6	6970	
HDU11-SDS2.5	(30) SDS ¼" x 2½"	SB 1 x 30	24"	4x8	6x6	9535	
HDU14-SDS2.5	(36) SDS ¼" x 2½"	SB ⅓ x 30	24"	4x8	6x6	10770	
HD19	(5) 1"ø THRU BOLTS	PAB10H	21"	N/A	6x6	26690+	

1 MINIMUM SIZE OF POST AT END OF WALL UNLESS NOTED OTHERWISE ON FRAMING PLANS.

Typical Lap Splice & Development Length Typical Corner Bars at Concrete Walls and Footings



Pipe and Trench Locations



- ADDITIONAL

VERT. BARS

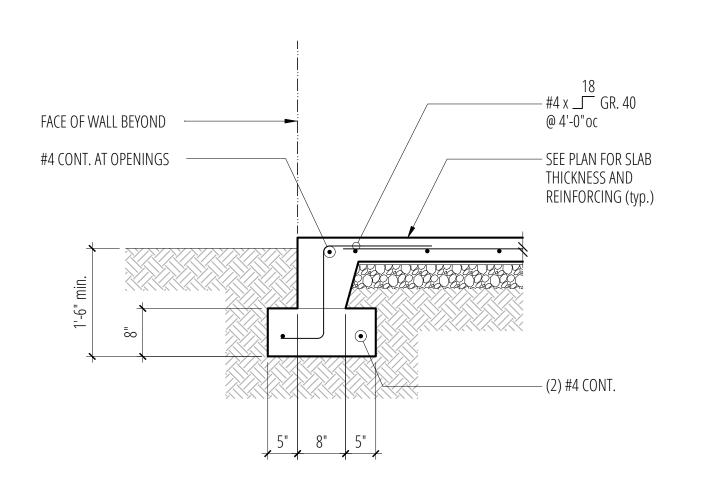
DOUBLE CURTAIN

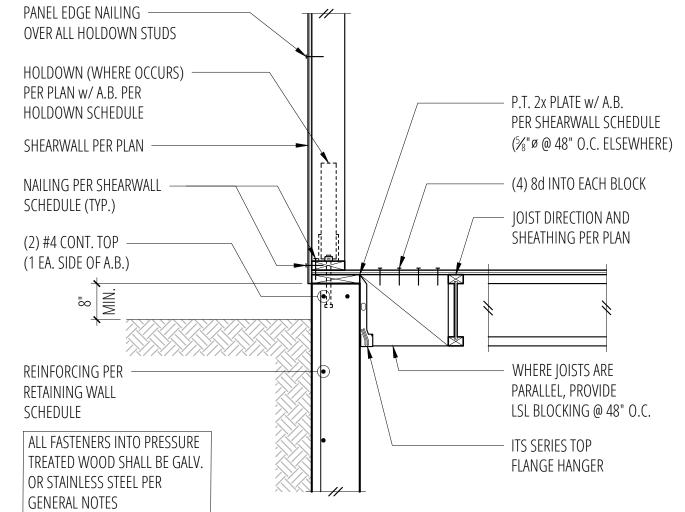
Typical Slab Joints

CORNER BARS TO

MATCH EXTERIOR

HORIZ. REINF.





Exterior Framing at Basement (Dropped Joist)

SCALE: 3/4"=1'-0"

Typical Turned-Down Slab Edge

SCALE: 3/4"=1'-0" Post or Canopy Footing

SCALE: 3/4"=1'-0"

② "SSTB" & "SB" REFER TO ANCHOR BOLTS BY SIMPSON STRONG-TIE. INSTALL PER MANUFACTURER. Typical HDU Holdown

> No. Date Issue 1/20/17 Partial Permit

Sheet Contents Concrete Details

ENGINEERING

PO Box 55124

Residence

Zheng

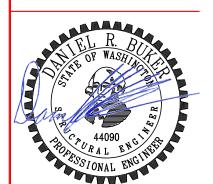
. Mercer Way WA, 98040

8383 E. r Island,

Seattle, WA 98155

Sheet No.

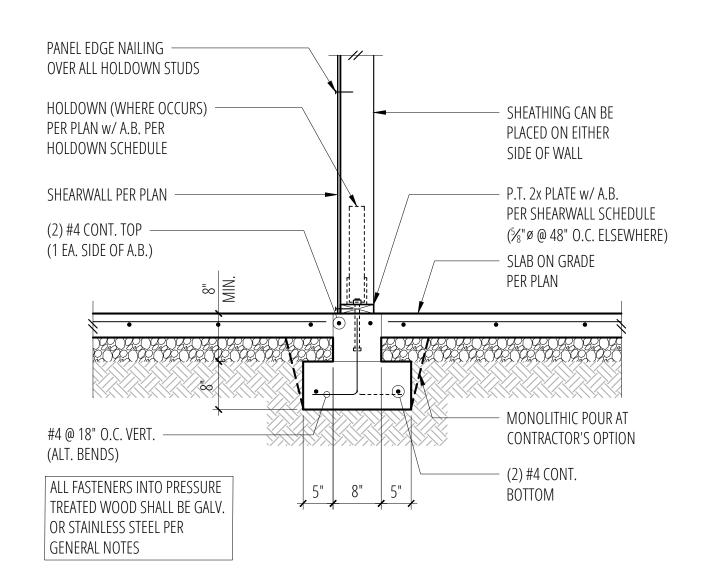
S3.1



3

Zheng Residence

SCALE: 3/4"=1'-0"



SLAB ON GRADE PER PLAN

—— P.T. 3x SILL PLATE w/ 5/8"ø —— AB @ 48" O.C. TYP.

(2) #4 CONT. TOP

- (1 EA. SIDE OF A.B.)

– #4 @ 12"oc HORIZ.

– #4 @ 12"oc

EACH WAY

— #4 @ 18" oc VERT. TYP.

SCALE: 3/4"=1'-0"

PROVIDE FREE-DRAINING

PLACE SLAB PRIOR TO

BACKFILLING WALL

SLAB ON GRADE ---

Retaining Wall Schedule

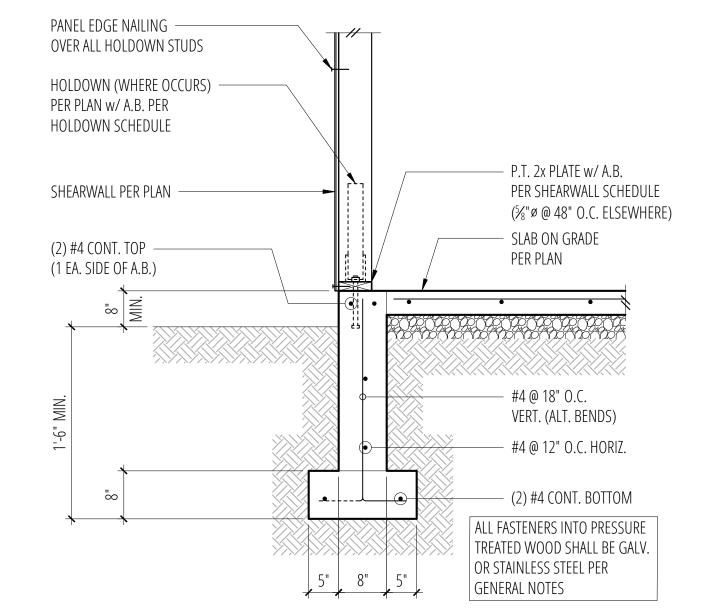
SCALE: 3/4"=1'-0"

MATERIAL

PER PLAN

RETAINING WALL SCHEDULE w/ SLAB

Interior Wall w/ Stem Wall & Footing



Elevator Pit

SCALE: 3/4"=1'-0"

FOOTING DRAIN ts B2

1½" clr. @ #4's & #5's

2" clr. @ #6's

H (ft.)	D1	tc	מ	+f	STEM REIN	NFORCING	FOOTING RE	EINFORCING
11 (11.)	B1	ts	B2	tf	VERT.	HORIZ.	TOP	LONGIT.
3'-0"	5"	8"	5"	8"	#4 @ 18" O.C.	#4 @ 12" O.C.	-	(2) #4
4'-0"	1'-0"	8"	5"	8"	#4 @ 18" O.C.	#4 @ 12" O.C.	-	(2) #4
5'-0"	1'-6"	8"	5"	10"	#4 @ 18" O.C.	#4 @ 12" O.C.	-	(3) #4
6'-0"	2'-0"	8"	5"	10"	#4 @ 18" O.C.	#4 @ 12" O.C.	-	(4) #4
7'-0"	2'-3"	8"	9"	10"	#4 @ 12" O.C.	#4 @ 12" O.C.	-	(5) #4
8'-0"	2'-9"	8"	1'-0"	12"	#5 @ 12" O.C.	#4 @ 12" O.C.	#5 @ 18" O.C.	(5) #5
9'-0"	3'-3"	8"	1'-3"	13"	#5 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 18" O.C.	(6) #5
10'-0"	3'-9"	8"	1'-6"	15"	#6 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 18" O.C.	(7) #5
11'-0"	4'-3"	10"	2'-0"	15"	#6 @ 12" O.C.	#4 @ 10" O.C.	#4 @ 18" O.C.	(8) #5
12'-0"	4'-9"	10"	2'-3"	15"	#6 @ 9" O.C.	#4 @ 10" O.C.	#4 @ 12" O.C.	(9) #5

Exterior Wall w/ Slab on Grade

12 SCALE: 3/4"=1'-0"

No. Date Issue 1/20/17 Partial Permit Sheet Contents Concrete Details

Sheet No.



PO Box 55124 Seattle, WA 98155

DGES.	POT WASHINGTON ALL ENGINEERS TO NAL ENGINEERS

3

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No. Date

Sheet Contents

Sheet No.

Floor Framing

1/20/17 Partial Permit

. Mercer Way WA, 98040

BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12" OC 8d NAILS SHALL BE 0.131" Ø x 2½" (COMMON) - 16d NAILS SHALL BE 0.135" Ø x 3½" (BOX) EMBED ANCHOR BOLTS AT LEAST 7" EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT, ALL BOLTS SHALL HAVE 3" x 3" x 1/4" PLATE WASHERS. 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EI 3x FOUNDATION SILL PLATES ARE REQUIRED FOR 2W3 AND 2W2. 3x STUDS ARE REQUIRED AT ABUTTING PANEL EDGES AND PANEL JOINTS SHALL BE OFFSET EACH SIDE OF WALL. STAGGER NAILS AT ADJOINING PANEL EDGES. 3x STUDS, MIN., REQUIRED AT END OF SHEARWALL.

BASE PLATE CONNECTION

AT CONCRETE

5⁄8" Ø A.B. @ 48" OC

⅓" ø A.B. @ 32" OC

AT WOOD

16d @ 6" OC

16d @ 3" OC ^①

A35 @ 9" OC (2) ROWS 16d @ 4½" OC (8" Ø A.B. @ 12" OC

TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SINGLE-SIDED SHEARWALLS. ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.

ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE

8) $\frac{1}{16}$ " O.S.B. MAY BE SUBSTITUTED FOR $\frac{15}{32}$ " CDX.

SHEARWALL SCHEDULE 00008

SHEATHING

¹⁵/₃₂" CDX PLYWOOD

15/32" CDX PLYWOOD

15/32" CDX PLYWOOD

¹⁵/₃₂" CDX PLYWOOD

¹⁵⁄₃₂" CDX PLYWD. EA. SIDE

¹⁵/₃₂" CDX PLYWD. EA. SIDE 8d @ 2" OC EA. SIDE

MARK

W6

W4

W3 ④

W2 4

2W3 (5)

16d NAILING PER SCHEDULE

PLYWOOD

2x OR LSL —

16d NAILING

PER SCHEDULE

EDGE NAILING

OVER EA. STUD

16d NAILING

PER SCHEDULE

DETAIL A

<u>DETAIL B</u>

PLAN VIEW AT ABUTTING PANEL

EDGES OF W3 & W2

TYP. DOUBLE TOP PLATE

- BEAM OR HEADER

WHERE OPENING IS LESS

(1) BEARING STUD U.N.O.

JOISTS AND

SHEATHING

PER PLAN

- ITS SERIES

HANGER

THAN 6'-0" PROVIDE

PER PLAN

(9) LTP4'S MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.

①. A 2X NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.

PANEL EDGE

NAILING

8d @ 6" OC

8d @ 3" OC

8d @ 3" OC

8d @ 2" OC

8d @ 3" OC EA. SIDE

①. STAGGER NAILS IN ROW W/½" MIN. OFFSET.

②. MINIMUM OFFSET BETWEEN ROWS $\frac{1}{2}$ ", AND MINIMUM RIM OR JOIST 3 $\frac{1}{2}$ " WIDE.

Shearwall Schedule SCALE: N.T.S.

LSL BLOCKING ——— BTWN. JOISTS	PANEL EDGE NAILING OF ———————————————————————————————————	(4) 8d INTO EA. BLOCK
(2) 16d ————EA. JOIST	A35 PER SHEARWALL SCHEDULE	(2) 16d EA. BLOCK
	TOP PLATE CONNECTION ————————————————————————————————————	————— (1) JOIST BAY OF LSL BLKG. @ 48" oc

TOP PLATE CONNECTION

IF 2x OR LSL 9

A35 @ 24" OC 🛈

A35 @ 16" OC ^①

A35 @ 12" OC $^{\textcircled{10}}$

A35 @ 6" OC

HGA10 @ 8" OC

IF TJI

16d @ 6" OC

16d @ 4" OC

(2) ROWS 16d @ 6" OC

(2) ROWS 16d @ 4½" OC

N/A

N/A

SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, NOT OTHERWISE NOTED

- TJI JOISTS PER PLAN PANEL EDGE NAILING 2x BLOCKING BTWN. STUDS SHEATHING PANELIOINT W/ PANEL EDGE NAILING - 2x BLOCKING BOTTOM PLATE CONNECTION BTWN. STUDS - PANEL EDGE NAILING **BEARING WALL** NON-BEARING WALL

5 Typical Drag Strut (D.S.)

SCALE: 3/4"=1'-0"

1 Typical Top Plate Splice

Typical Flush Beam

BEAM PER PLAN

A35 (at exterior walls only)

OMIT @ HEADERS < 6"-0"

Typical Header Support

(6) 16d -

TYP. STUDS

- EDGE NAILING 2x4 FLAT BLOCKING AT PER PLAN UNFRAMED PANEL EDGES WHERE BLOCKED DIAPHRAGM FIELD NAILING IS SPECIFIED ON PLAN PER PLAN FRAMING PER PLAN PROVIDE EDGE NAILING AT ALL HIPS, VALLEYS, RIDGE AND SHEARWALLS STAGGER PLYWOOD AS SHOWN

PLAN VIEW

— 16d @ 12"O.C. STAGGERED

ELSEWHERE

(8) 16d @ 4" O.C. STAGGERED

AT EACH SIDE OF SPLICE

BOTTOM CHORD SPLICE

6'-0" MIN. BETWEEN SPLICES

(2) ROWS PANEL

- ROOF/FLOOR SHEATHING

EDGE NAILING

PER PLAN

- DRAG STRUT

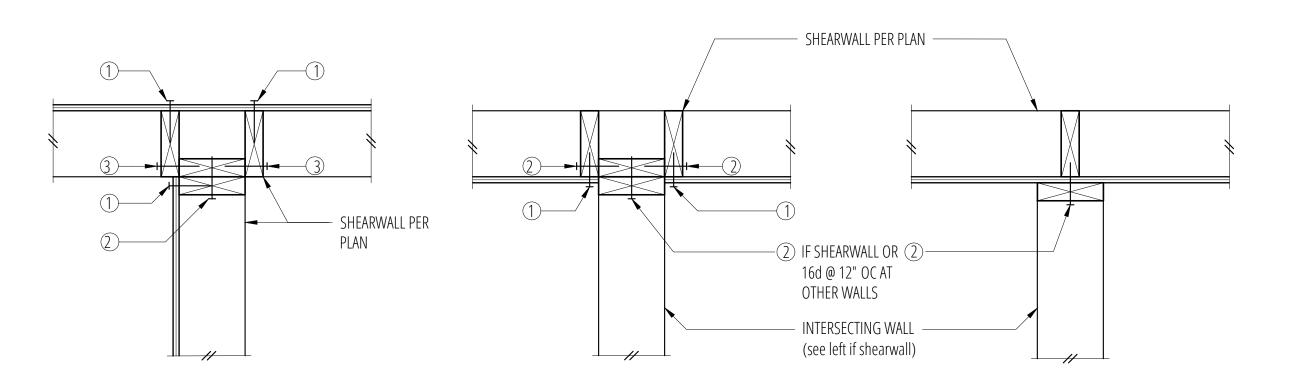
PER PLAN

SPLICE TO OCCUR AT (

OF VERT. STUD TYP.

TOP CHORD SPLICE

Typical Shearwall Construction



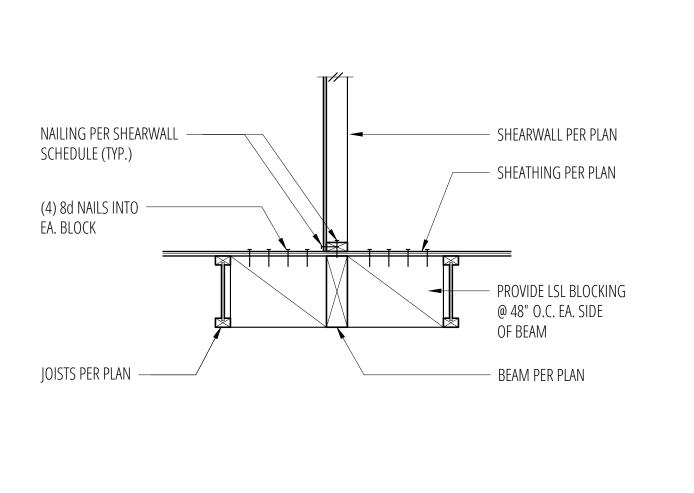
PLYWOOD PANEL EDGE NAILING PER SHEARWALL SCHEDULE

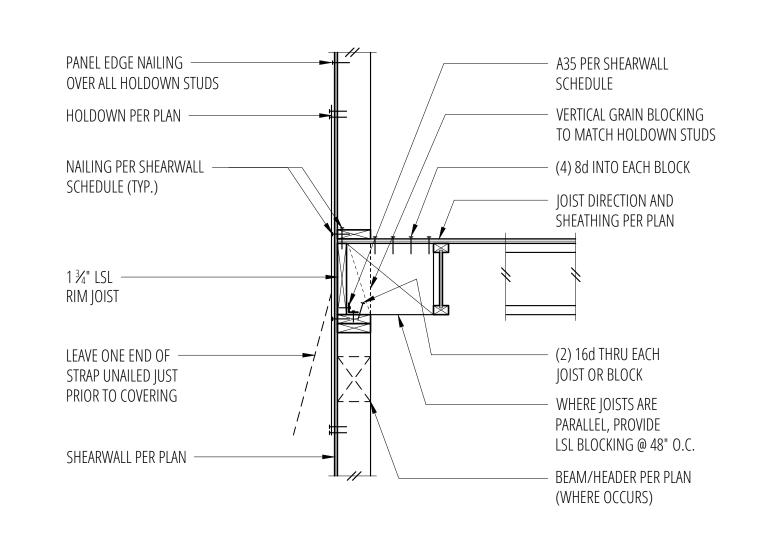
(2.) BASE PLATE NAILING PER SHEARWALL SCHEDULE

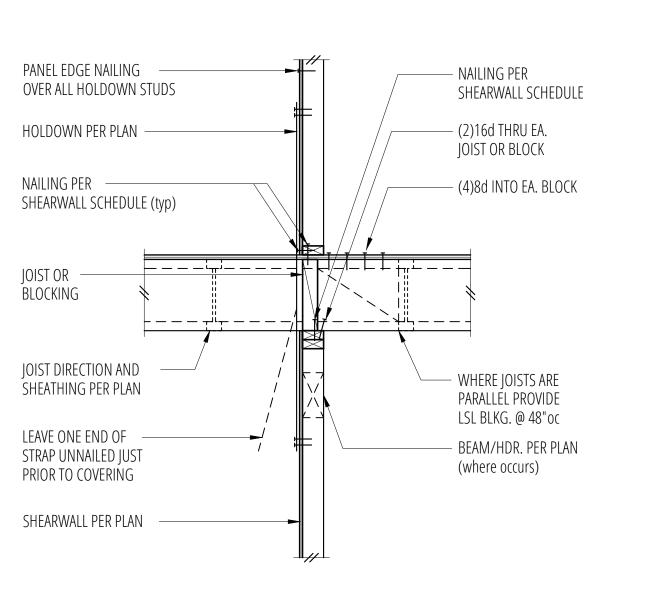
③. 16d @ 8" OC

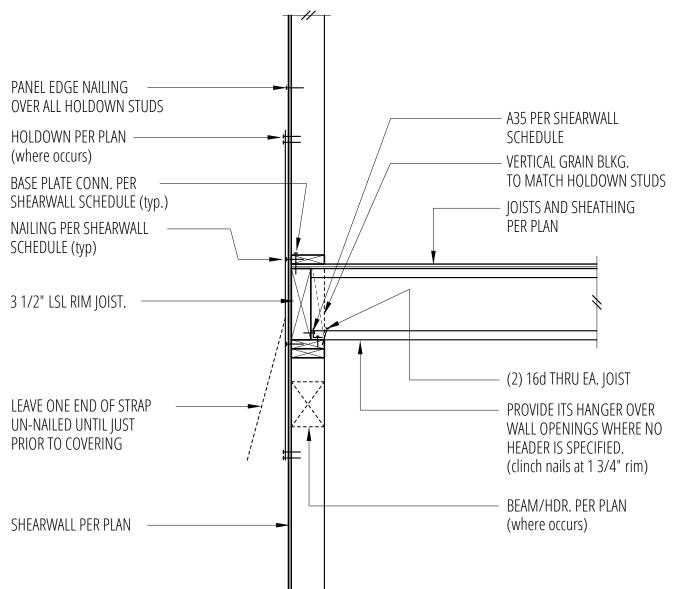
Typical Shearwall Intersections

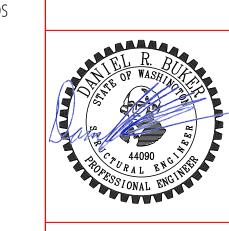
9 Typical Diaphragm Sheathing and Nailing SCALE: 3/4"=1'-0"











Mercer Way WA, 98040

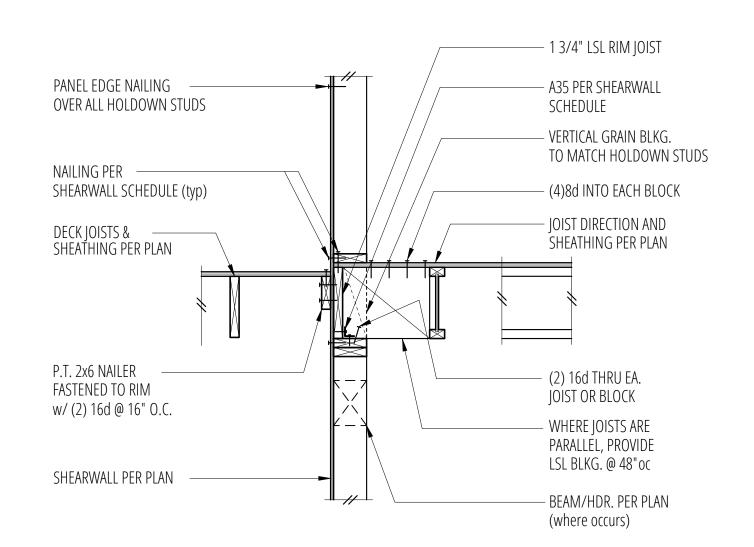
8383 E. r Island,

8375 -Merc

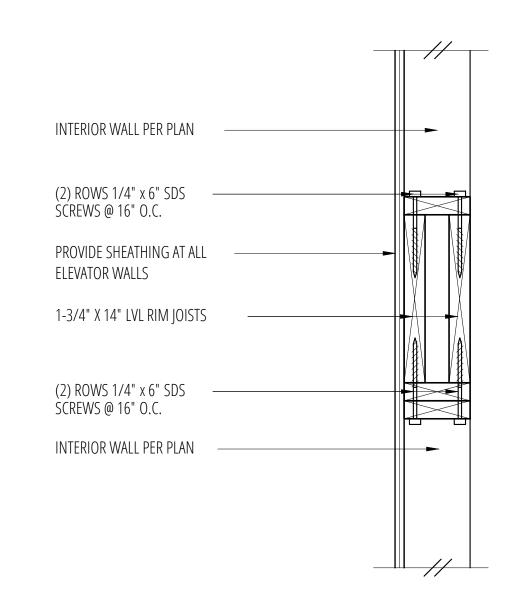
PO Box 55124 Seattle, WA 98155

DUKET ENGINEERING

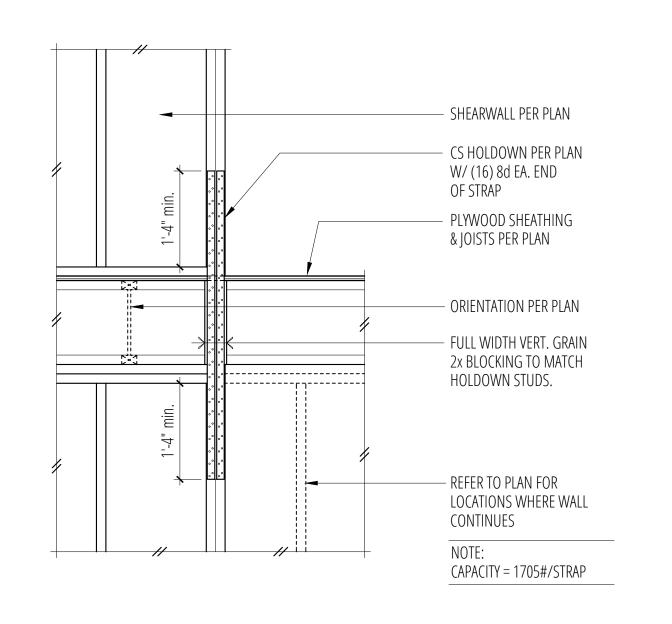
Shearwall over Beam (w/TJI)



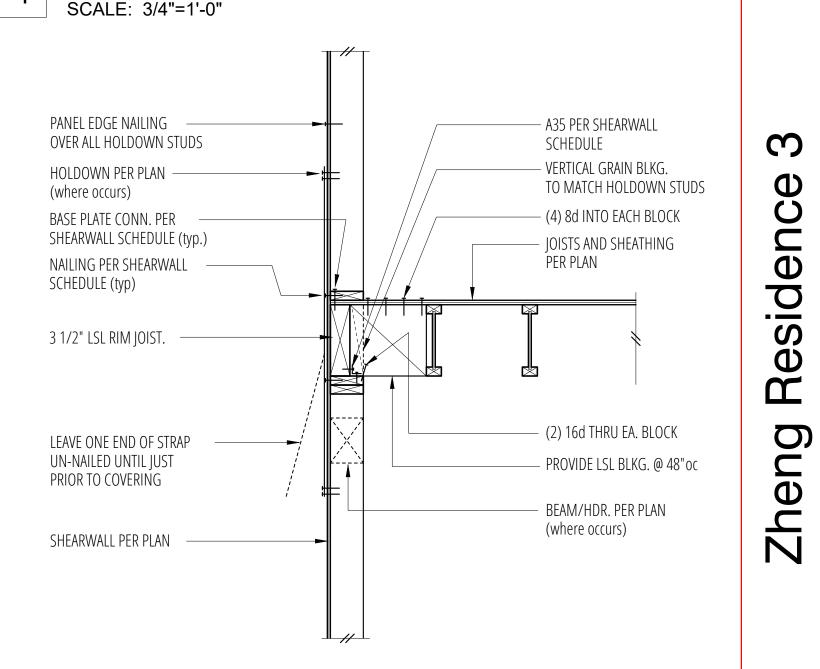
Exterior Floor Framing (w/ TJI's)



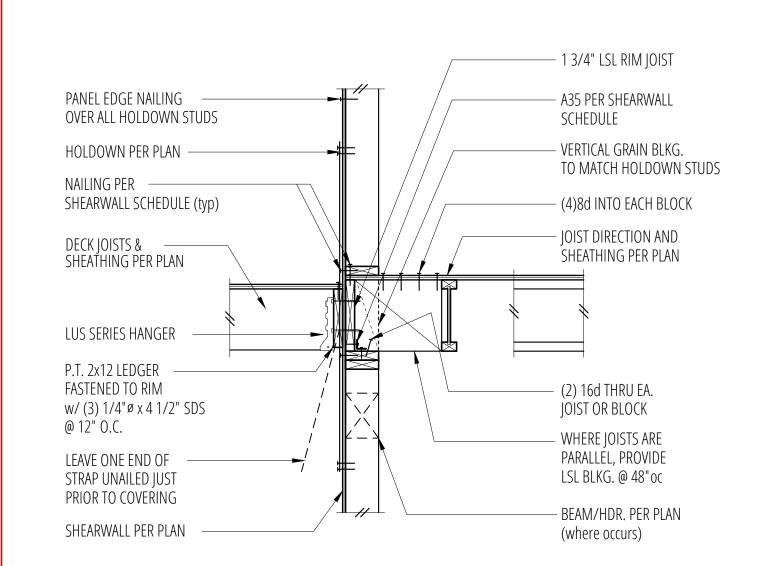
Interior Shearwall (w/TJI's)



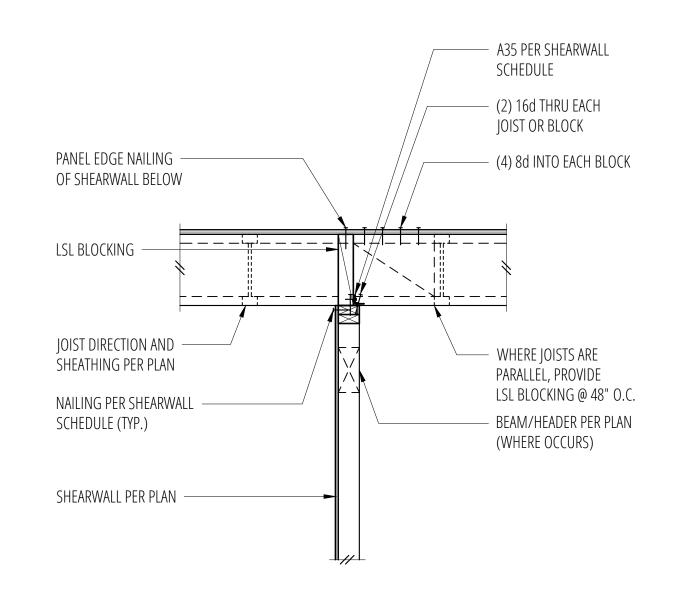
Perpendicular Framing at Exterior walls



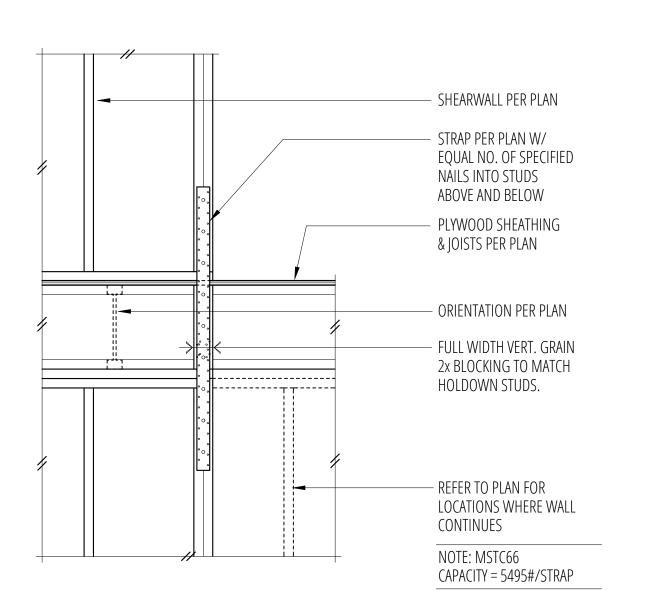
Exterior Floor Framing at Deck



Floor Header at Elevator Wall



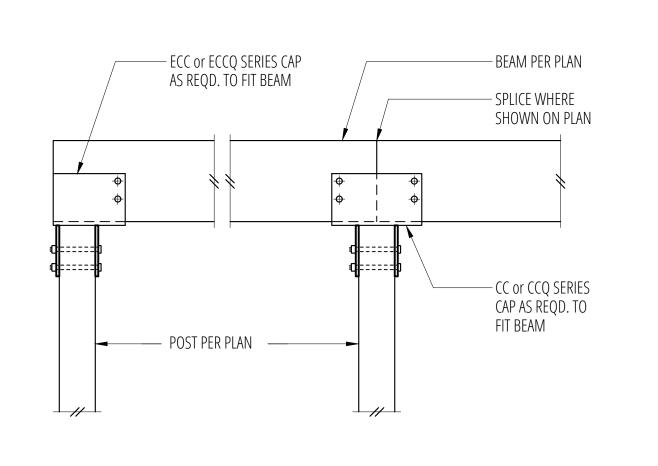
Typical CS16 Holdown Strap



Typical MST/MSTC Strap

SCALE: 3/4"=1'-0"

Parallel Framing at Exterior Walls



Sheet No.

Sheet Contents

No. Date

Exterior Floor Framing at Deck

SCALE: 3/4"=1'-0"

Interior Shearwall Below (w/TJI's)

CC/CCQ Series Connection

Floor Framing Details

1/20/17 Partial Permit



−8d @ 6"oc

TRUSS PER PLAN

3

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+ 8383 E. Mercer Way er Island, WA, 98040

8375 -Merc

- SHEATHING PER PLAN FULL DEPTH BLOCKING ——— (may be drilled for venting) W/8d @ 6"oc PRE-MANUF. TRUSS FASCIA — PER ARCH. PER PLAN - H1 EA. TRUSS RAFTERS & ROOF SHEATHING PER PLAN HEADER/BEAM PER PLAN - SHEARWALL PER PLAN LUS SERIES HANGER 2x12 LEDGER FASTENED TO SHEARWALL w/ 1/4"ø x 3" SDS @ 8" O.C. STAGGERED

- ROOF SHEATHING CONT. STRAP PER PLAN PER PLAN PROVIDE 2x BLOCKING BETWEEN EA. TRUSS PER PLAN PRE-MANUF. TRUSSES -PER PLAN

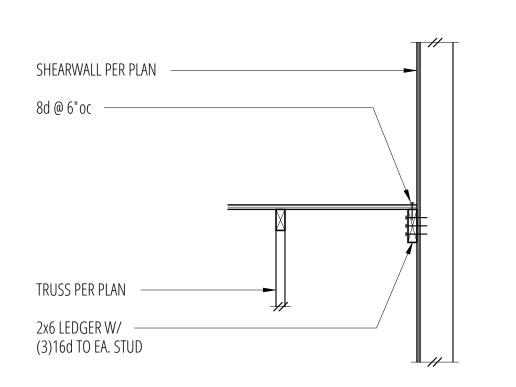
Flat Roof at Exterior Wall SCALE: 3/4"=1'-0"

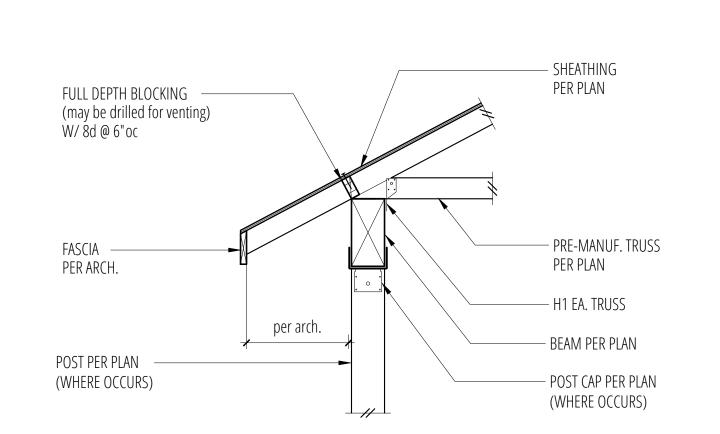
Truss Blocking with Strap

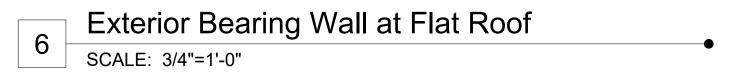
Overframing Connection

2x6 x CONT. W/ — (2)16d @ EA. TRUSS TOP CHORD

– A35 PER SHEARWALL SCHEDULE – VERTICAL GRAIN BLKG. TO MATCH HOLDOWN STUDS (2) 2x CURB RAFTERS AND SHEATHING PER PLAN 2x RIM JOIST - (2) 16d THRU EA. RAFTER BEAM/HDR. PER PLAN SHEARWALL PER PLAN (where occurs)

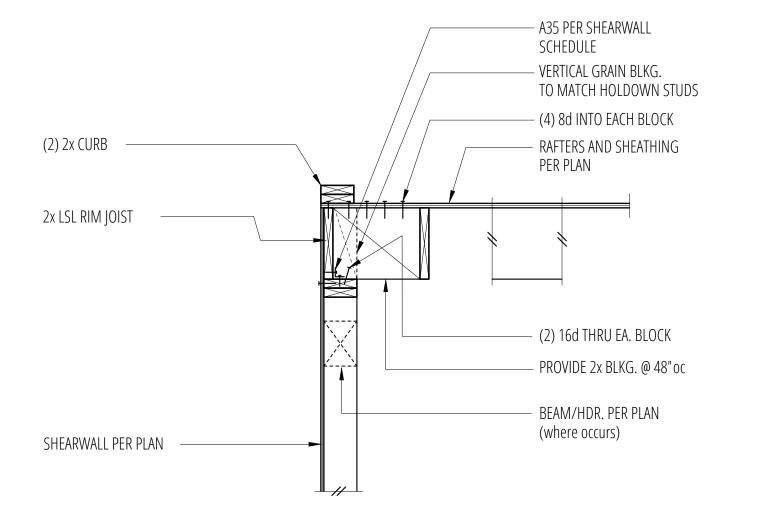


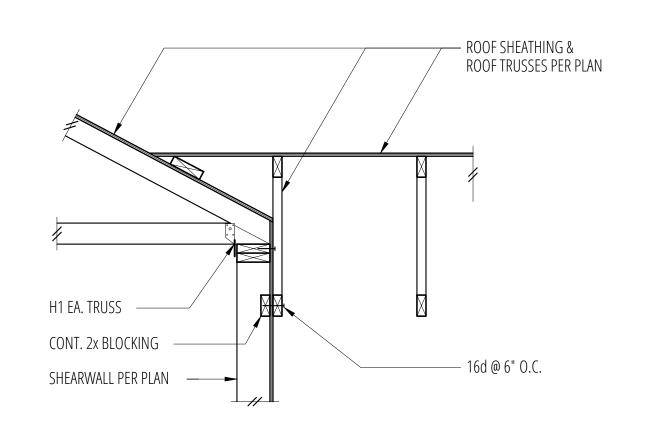


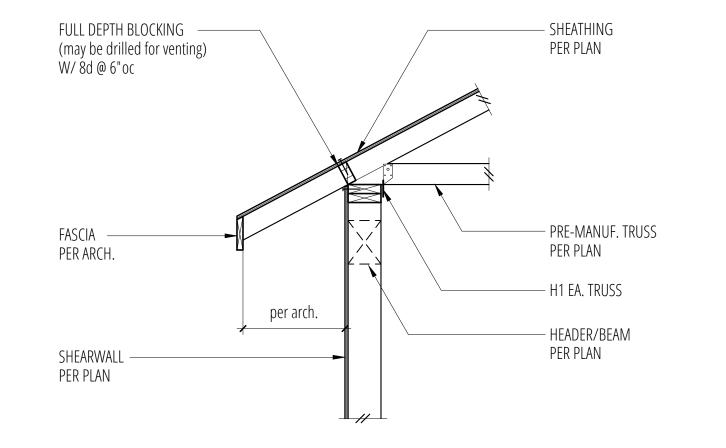












Exterior Non-Bearing Wall at Flat Roof SCALE: 3/4"=1'-0"

Change in Roof Height
SCALE: 3/4"=1'-0"

Exterior Bearing Wall at Roof SCALE: 3/4"=1'-0"

No. Date 1/20/17 Partial Permit Sheet Contents **Roof Framing** Details

Sheet No.

S5.1

TREE TABLE

BY AMERICAN FOREST MANAGEMENT

Tree Summary Table
For: 8383 E Mercer Way

American Forest Management, Inc.

Date: 8/29/14 Inspector: Wilkinson

100000000000000000000000000000000000000		20120	$\overline{}$	170,000 to 000	100	7000000 2000000	100	580 B0000	20, 10	78 90%
		(inches) (feet)	N	S	Е	W				
Tag #	Species	DBH Height		Drip-Line/Limits	s of Distur	bance (feet)	Condition	Viability	Com	nents

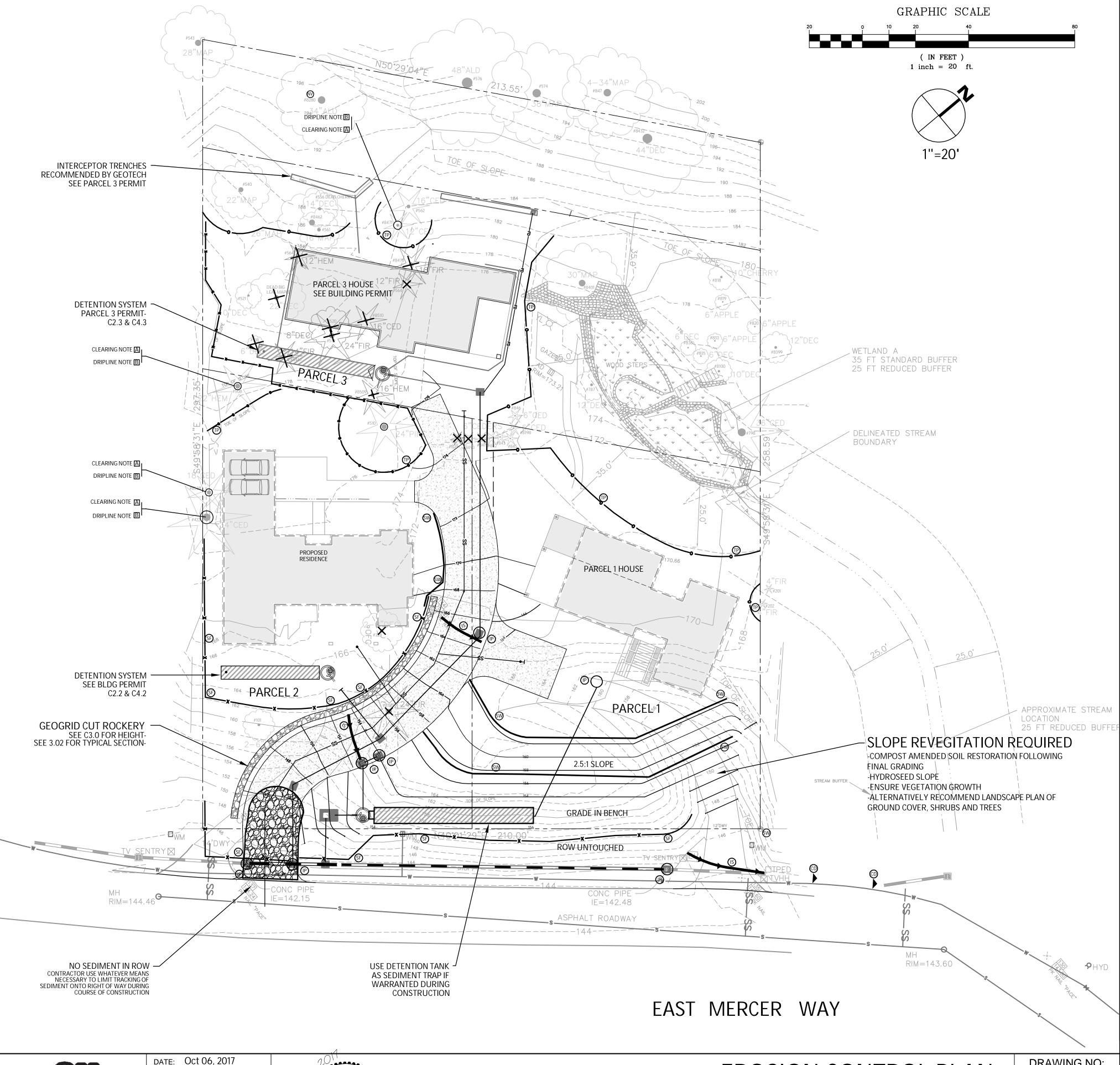
		(inches	s) (feet)	N	S	E	W			
8185	Douglas fir	26	85		17 / 12		15 / 12	good	viable	driveway is 12' south of tree, good taper, was crown thinned in the past
101	deciduous ornamental	5, 7	20	15/8	10/8	10/8	12/8	good	viable	forks at 2', was topped
8538	western red cedar	19	55	13 / 12			18 / 12	fair-poor	borderline	was topped in the past, lots of new leaders, pink ribbon - 507
422	western red cedar	9, 22	55	14 / 12			16 / 12	fair-poor	borderline	was topped in the past, lots of new leaders, pink ribbon - 422, co-dominant stem forks at 1'
508	western hemlock	22	75	22 / 15		23 / 15	13 / 15	fair	viable	hemlock woolly adelgid
518	deciduous	5						good	viable	
8467	sitka spruce	17	75	6/10	16 / 10	20 / 10	4/10	fair	viable	foliage dieback, co dominant stems fork at 40', minor bleeding on trunk
521	Washington hawthorne	9	52	12/6		12/6		fair	viable	suppressed
519	Douglas fir	22	125		14 / 12	11 / 12	6/12	good	viable	no concerns
520	European mountain ash	7	25	15/6	10/6	13/6		good	viable	co-dominant forks at 10'
8509	western hemlock	20	90	15 / 12	12 / 12	14 / 12	8 / 12	fair	viable	was crown thinned, poor form, spike knot
510	western white pine	22	95	12 / 12	18 / 12	15 / 10	12 / 12	fair	viable	was pruned
8510	western red cedar	17	75	11 / 10	12 / 10	5/10	11 / 10	fair	viable	ribbon - 841, 15 deg lean NW, lean self correcting
8464	western hemlock	12	88		10/8		2/8	fair	viable	ribbon - 535, covered in ivy, crown thinned
561	big leaf maple	19	90			12 / 10		fair	viable	ivy covering the trunk
8462	big leaf maple	18	90	5/10			18 / 10	fair	viable	ribbon - 560, forks at 1', dead co-dominant stem
540	big leaf maple	22	90	25 / 15	25 / 15	17 / 15	10 / 15	good	viable	some past branch failure, good form
328	deciduous	6, 6	12	8	10	5	5	fair	viable	
8280	red alder	25	95					poor	non-viable	ribbon - 548
							Neighboring ¹	Trees		
543	big leaf maple	26			20 / 15		16 / 15	good	viable	good form, full crown, no concerns

Tag #	Species	DBH Heigh	Drip-Line/Limit	s of Distur	bance (feet)	Condition Viability	Comments
			•	_			

		(inches)	(feet)	N	S	E	W			
8471	western red cedar	11	50	10 / 8	10 / 8	12/8	9/8	good	viable	ribbon - 542
8432	big leaf maple	38	100		38 / 20	35 / 20		fair	viable	ribbon - 837, leans SE, some dead branches
839	Pyramidalis arborvitae	5	25					fair	viable	
8497	Pyramidalis arborvitae	10	15					fair-poor	borderline	topped, co dominant stems, ribbon - 840
841	Pyramidalis arborvitae	6	28					fair	viable	
842	Pyramidalis arborvitae	6	30		Drip-lines ran	ige from 2-3',		fair	viable	
843	Pyramidalis arborvitae	6	30	limiting distance for all sides is 3'				fair	viable	
8498	Pyramidalis arborvitae	7	30					fair	viable	ribbon - 844
845	Pyramidalis arborvitae	6	35					fair	viable	
846	Pyramidalis arborvitae	7	35					fair	viable	
564	Douglas-fir	13	92		7/8	10/8	4/8	good	viable	good taper
8470	Douglas-fir	18	95	12 / 8		12 / 8	6/8	good	viable	ribbon - 563, good taper
562	western red cedar	18	65	11 / 10		15 / 12	5 / 10	good	viable	no concerns
8401	big leaf maple	36	95	20 / 18	25 / 10	29 / 10	26 / 18	fair	viable	ribbon - 645, some past branch failures, pond is adjacent and SE
787	cherry	13	18					poor	non viable	growths
8100	deciduous	8	22	4/4	15 / 4	4/4		fair-poor	borderline	ribbon - 834, leans south, foliage discoloration
835	fruit	5, 2	20	5/4	4/4	8/4		fair	viable	
833	apple	6	18	5/4	2/4	4/4	4/4	fair	viable	
819	fruit tree	5, 3	15	4/4	10 / 4	5/4	5/4	fair	viable	
818	cherry	9	22				10/8	fair	viable	cherry gummosis, heavy pruning
820	fruit tree	5, 2	12	2/4	8/4	4/4	6/4	fair	viable	pruned
798	western red cedar	26	70	10 / 12	15 / 12		18 / 12	fair	viable	growing on a stump, picture
Neighboring Trees										
847	big leaf maple	38, 22, 30, 25		39 / 20		31 / 20		fair	viable	four co dominant stems, ivy covering the trunk, SE lean, rope swing
574	red alder	15, 32		38				fair-poor	borderline	past stem failure, included bark, pockets of decay, ivy on trunk
576	red alder	12, 9 , 34						poor	non-viable	severe foliage dieback, broken top
8399	cherry	3, 11, 4					8/5	fair	viable	ribbon - 807, pruned
201	Douglas-fir	4					4/4	good	viable	
202	Douglas-fir	4					8/4	good	viable	

Drip-Line and Limits of Disturbance measurements from face of trunk

Trees on neighboring properties - Drip-line and Limits of Disturbance measurements from property lines



NO. DATE BY REVISIONS APPLICANT New Horizon Real Estate Development 8744 126th Ave NE Kirkland, WA 98033



DATE: Oct 06, 2017 1337 DRAFTED: CH DESIGN: DE DIGITAL SIGNATURE





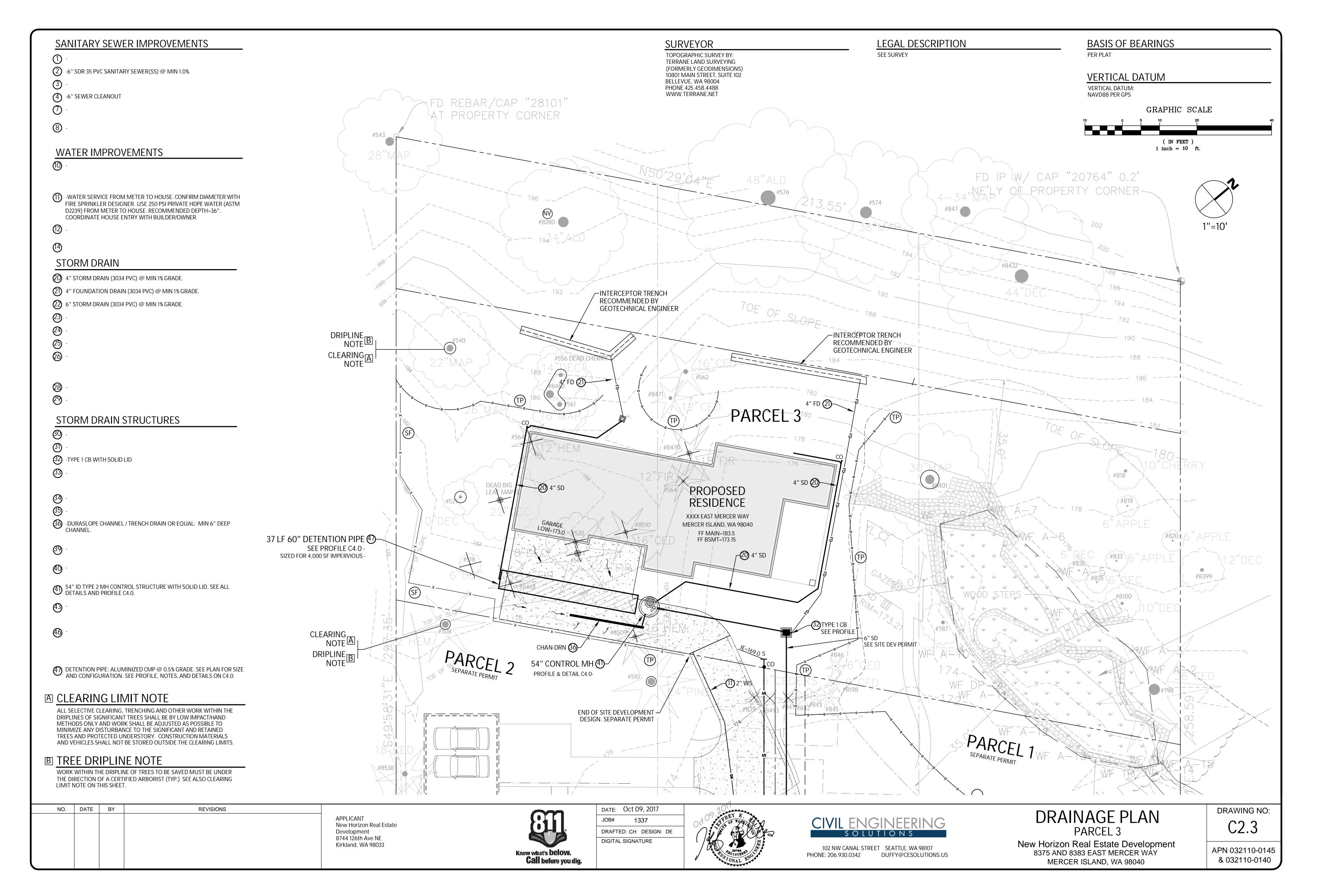
102 NW CANAL STREET SEATTLE, WA 98107 PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

EROSION CONTROL PLAN SITE DEVELOPMENT & PARCELS 1-3

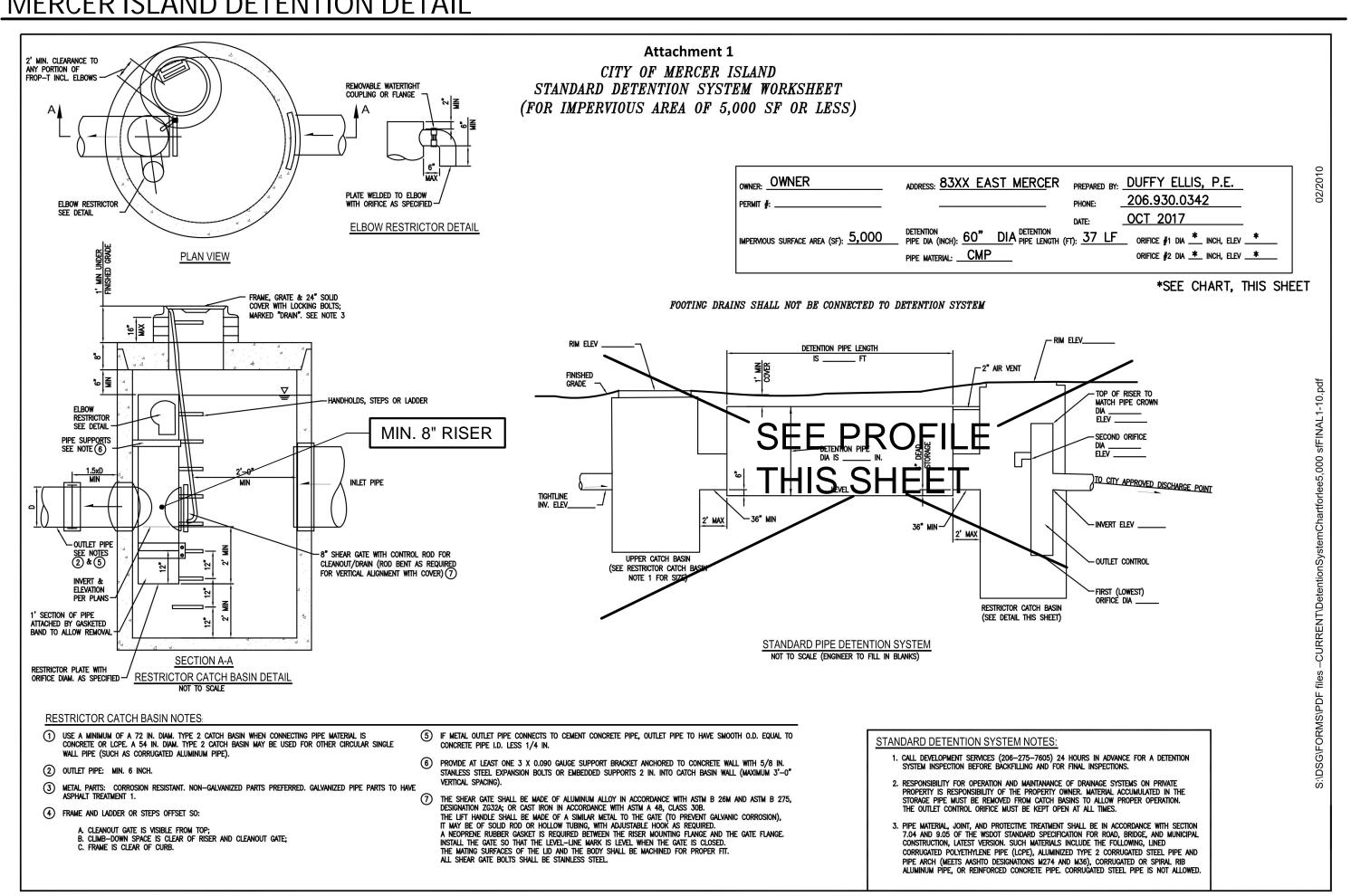
New Horizon Real Estate Development 8375 AND 8383 EAST MERCER WAY MERCER ISLAND, WA 98040

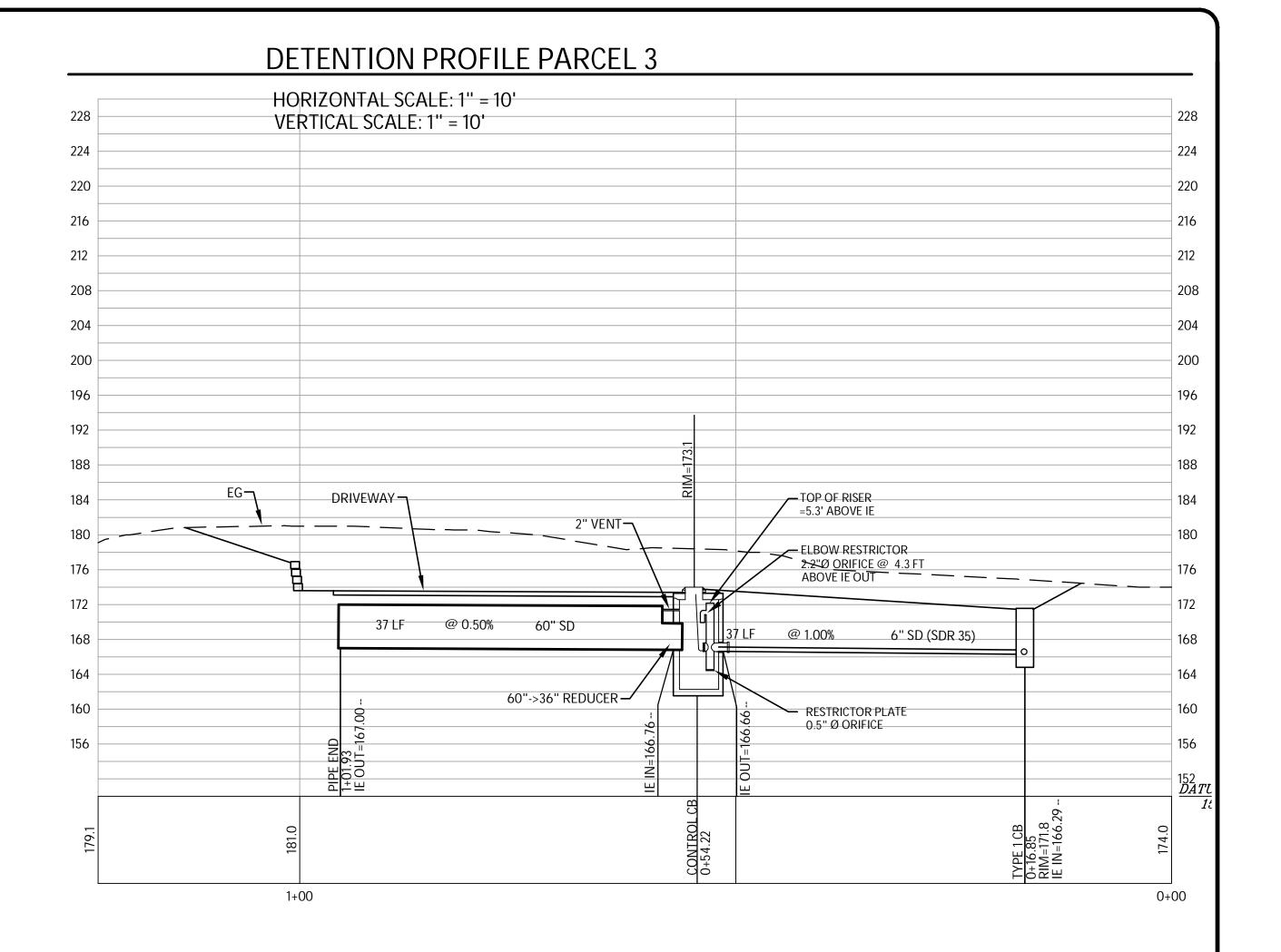
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APN 032110-0145 & 032110-0140

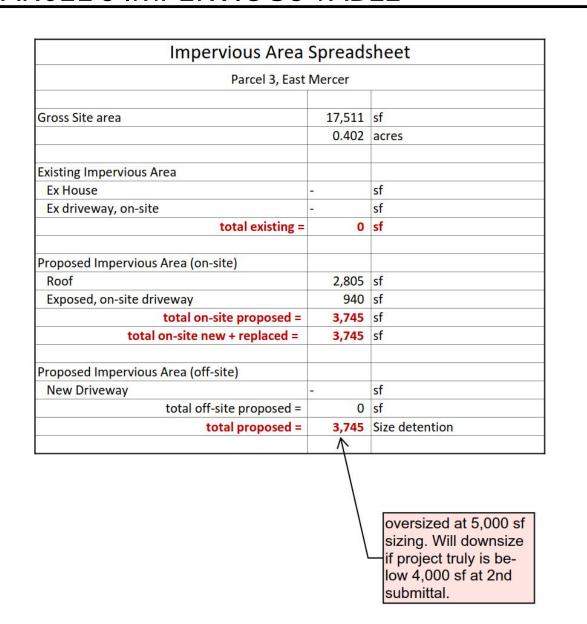


MERCER ISLAND DETENTION DETAIL





PARCEL 3 IMPERVIOUS TABLE



MERCER ISLAND DETENTION "TABLE 2"

TABLE 2 - STANDARD DETENTION PIPE DESIGN FOR PROJECTS BETWEEN 500 SF AND 5,000 SF IMPERVIOUS AREA (WITH 120% CORRECTION FACTOR)

-							Nov	v Impervious Ar	on (of)							ľ.
1	500 to 1,000 sf 1,001 to 2,000 sf							2,001 to 3,000		3,001 to 4,000 sf			4,001 to 5,000 sf			
ł	Detention Pipe Size (in.) and Length (ft)			Detention Pipe Size (in.) and Length (ft)			Detention Pipe Size (in.) and Length (ft)			Detention Pipe Size (in.) and Length (ft)			Detention Pipe Size (in.) and Length (ft)			
Soil Type*	36"	48"	60"	36"	48"	60"	36"	48"	60"	36"	48"	60"	36"	48"	60"	
В	30	A 100000000	11	66	34	22	90	48	30	120	62	42	186	90	48	
(c)	22	11	7	43	23	14	66	36	20	78	42	26	132	60	37	
·						0.41-4.0	-if Ci	- I Davies Hair		Caila Oak						8
Outlet Orifice Size and Design Height for Type B Soils Only Lowest Distance from Second Dist												37 LF-60" DIA				
	Orifice	Distance from Outlet to	Second Orifice	Orifice	Outlet to		Orifice			Orifice	Outlet to	Orifice	Orifice	Outlet to	Orifice	
AMERICAN SERVICE CONTRACTOR OF THE	Diameter	The second secon		Diameter	Second	VT-1000000000	Diameter	Second	2.5	Diameter	The state of the s	Diameter	Diameter	Second	Diameter	
Dotolition i ipo	(inches) ¹	THE PERSON NAMED AND ADDRESS OF THE PERSON NAMED AND ADDRESS O	(inches)	(inches) ¹	Orifice (feet)	(inches)	(inches) ¹		Diameter (inches)	(inches) ¹	Second Orifice (feet)	(inches)	(inches) ¹	-5-5-5-7 TO \$1 10 CO	(inches)	
36	0.5	2.2	0.5	0.5	2.2	0.94	0.5	2.2	0.94	0.5	2.4	1.4	0.5	2.44	1.4	
48	0.5	3.3	0.94	0.5	3.2	0.9	0.5	3.1	0.9	0.5	2.8	0.8	0.5	2.7	0.75	
60	0.5	4.15	0.47	0.5	4.3	0.94	0.5	4.2	0.94	0.5	3.8	0.94	0.5	4.14	0.9	
								100	135,551,5							
Г	W. F. C. C. C. C.	754		724		Outlet O	rifice Size a	nd Design Heig	nt for Type C	Soils Only			100			
	Lowest	Distance from	Second	Lowest	Distance from	Second	Lowest	Distance from	Second	Lowest	Distance from		Lowest	Distance from		
HONOR NO. 420 A1000	Orifice	Outlet to	0111100	Orifice	Outlet to	0111100	Orifice	Outlet to	Orifice	Orifice	Outlet to	Orifice	Orifice	Outlet to	Orifice	
Dotontion i ipo	Diameter	- TO THE POST OF T	Biamotor	Diameter	Second	Diamotor	Diameter	Second	Diameter	Diameter	Second	Diameter	Diameter	Second	Diameter	
	(inches) ¹	Orifice (feet)	(inches)	(inches)1	Orifice (feet)	(inches)	(inches)1	Orifice (feet)	(inches)	(inches)1		(inches)	(inches)1	Orifice (feet)	(inches)	
36	0.5		0.8	0.5	2.3	1.41	0.5	2.4	1.9	- 0 .	5 2.15	1.64	0.5	1.72	2.3	
48	0.5		0.8	0.5	3.3	1.17	0.5	3.25	1.5	0.		1.3	0.5	2.43	1.6	
(60)	0.5	3.4	0.6	0.5	3.6	0.89	0.5	3.7	1.1	0.	5 3.9	1.28	0.5	4.3	2.2	
	0.51															
Minimum diamet																
Geotechnical Ar Basis of Sizing A		rea												\		
		e Stormwater M	Management M	anual for Puge	t Sound Basin	(1992 Manual)	1							\sqrt{co}	NTROL	
			st to imperviou	_	t ooulid basiii	(1332 Manual)	,								_	
			storage in dete											STI	RUCTURE	: SIZING
	- Moderate slo		ago dott	son pipo												
			Factor, assun	ning 120% safe	ety factor											

NO. DATE BY REVISIONS APPLICANT New Horizon Real Estate Development 8744 126th Ave NE Kirkland, WA 98033



DATE: Oct 09, 2017 1337 DRAFTED: DE DESIGN: DE DIGITAL SIGNATURE



DUFFY@CESOLUTIONS.US

PHONE: 206.930.0342

DETENTION PROFILE AND DETAIL

MERCER ISLAND, WA 98040

C4.3 PARCEL 3 New Horizon Real Estate Development 8375 AND 8383 EAST MERCER WAY

APN 032110-0145 & 032110-0140

DRAWING NO: