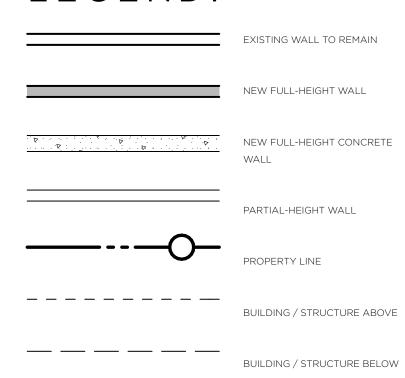
ABBREVIATIONS:

ADDITIONAL ABOVE FINISHED FLOOR BLOCK, BLOCKING BOTTOM OF WALL CENTERLINE CEILING CONCRETE CONTRACT(OR) CENTERPOINT **CASEMENT** DOUBLE DETAIL DIAMETER DIMENSION EXHAUST FXISTING EXTERIOR FACE OF CONCRETE FACE OF MASONRY FACE OF STUD FINISHED GRADE FOUNDATION FIREPLACE GAUGE GLASS GYPSUM WALL BOARD INFORMATION INSULATION INTERIOR LIGHT(ING) LOW VOLTAGE MEMBRANE MATERIAL MANUFACTURER NOT APPLICABLE NOT IN CONTRACT NOT FOR CONSTRUCTION NOMINAL ON CENTER OPPOSITE HAND PLATE, PROPERTY LINE RISER(S); RADIUS REFER TO ROOFING REFRIGERATOR TO BE DETERMINED TEMPERED GLASS **TONGUE & GROOVE** THICKNESS TOPPING TOP OF WALL

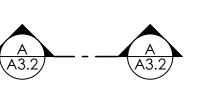
FLOOR PLAN LEGEND:

UNLESS NOTED OTHERWISE

VERIFY IN FIELD WINDOW







E MERCER PARCEL 1

8375 E. MERCER WAY MERCER ISLAND WA 98040



GENERAL PROJECT NOTES:

2. THIS PROJECT SHALL COMPLY WITH ALL GOVERNING REGULATIONS, ORDINANCES, BUILDING CODES, OR COVENANTS OF THE AREA IN WHICH IT IS

3. APPROVAL BY AN INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE DRAWINGS OR SPECIFICATIONS. 4. THE CONTRACTOR SHALL SCHEDULE WALK-THROUGHS AT EACH OF

BELOW NOTED INTERVALS: A. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

B. PRIOR TO THE COMMENCEMENT OF ALL MECHANICAL + ELECTRICAL WORK.

5. PROVIDE ALL NECESSARY BARRICADES, WARNING SIGNS, + DEVICES TO PROTECT PUBLIC + CONSTRUCTION PERSONNEL DURING CONSTRUCTION. 6. MAINTAIN ALL REQUIRED ACCESS + EGRESS DURING CONSTRUCTION.

DUTY OF COOPERATION:

RELEASE + ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, THE CONTRACTOR, + RIPPLE DESIGN STUDIO. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED BY THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO RIPPLE DESIGN STUDIO. FAILURE TO DO SO SHALL RELIEVE RIPPLE DESIGN STUDIO FROM ANY RESPONSIBILITY OF THE CONSEQUENCES.

ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT THE CONSENT OF RIPPLE DESIGN STUDIO ARE UNAUTHORIZED. FAILURE TO OBSERVE THESE PROCEDURES SHALL RELIEVE RIPPLE DESIGN STUDIO OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH ACTIONS.

WSEC 2015

1. THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2015 PRESCRIPTIVE

2. INSULATION VALUES SHALL BE AS FOLLOWS: A. ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.

B. ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.

C. ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN. D. ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-

IN INSULATION MIN. E. ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN. F. ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT

G. ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT

INSULATION MIN @ INTERIOR FRAMED WALL. H. ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT

I. ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10 RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.

J. ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL. 3. RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE

REQUIREMENTS. 4. PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.

5. PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ ALL BATHS + LAUNDRY. 6. NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM

EF OF 0.91 (WSEC 406.2, CREDIT 5c). 7. AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3'-O" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL

BE MECHANICALLY VENTED. 8. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.

9. AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

VICINITY MAP:



PROJECT INFO:

PROJECT ADDRESS: 8375 E. MERCER WAY MERCER ISLAND, WA 98040

SCOPE OF WORK:

DEMOLITION OF EXISTING RESIDENCE AND CONSTRUCTION OF NEW SINGLE-FAMILY RESIDENCE WITH ATTACHED GARAGE.

LEGAL DESCRIPTION:

AVALON PARK ADD PCL A MERCER ISLAND LLR#SUB 16-004 REC#20170131900001 SD LLR DAF-LOTS 7THRU 9 SD BLK 3 TGW SELY 40 FT OF POR OF NW 1/4 STR 31-24-5 ADJ NWLY LNS OF SD LOTS & BET SWLY & NELY LN THOF EXTD WLY

ACCESSOR'S PARCEL NUMBER: 032110-0145

BUILDING CODE + OCCUPANCY: 2015 IRC (ARCHITECTURAL) + 2015 IBC (STRUCTURAL) R-3 SINGLE-FAMILY RESIDENTIAL (RESIDENCE) U STORAGE (GARAGE, STORAGE)

TYPE OF CONSTRUCTION: TYPE-V-N NON-SPRINKLERED

OCCUPANT LOAD CALCULATIONS: PROPOSED BASEMENT GROSS FLOOR AREA: 952 FT² 1 PER 200 FT² OCCUPANT LOAD FACTOR (ACCESSORY STORAGE): BASEMENT OCCUPANT LOAD: 5 OCCUPANTS 1,907 FT² PROPOSED FIRST FLOOR GROSS FLOOR AREA: OCCUPANT LOAD FACTOR (ACCESSORY STORAGE): 1 PER 200 FT² FIRST FLOOR OCCUPANT LOAD: 10 OCCUPANTS PROPOSED SECOND FLOOR GROSS FLOOR AREA: 1,918 FT² OCCUPANT LOAD FACTOR (RESIDENTIAL): 1 PER 200 FT² SECOND FLOOR OCCUPANT LOAD: 10 OCCUPANTS TOTAL OCCUPANT LOAD: 25 OCCUPANTS

SHEET INDEX:

BUILDING ELEVATIONS

ROOF FRAMING PLAN

CONCRETE DETAILS

FLOOR FRAMING DETAILS

STEEL STRONG WALL DETAILS

STEEL STRONG WALL DETAILS

BUILDING SECTIONS A-A THROUGH C-

DOOR + WINDOW SCHEDULES

FIRST FLOOR FRAMING PLAN

SECOND FLOOR FRAMING PLAN

GENERAL STRUCTURAL NOTES

SHEET NAME: PROJECT INFORMATION RIPPLE SURVEY 2 SURVEY 3 DESIGN STUDIO SURVEY 4 SITE PLAN 206.913.2333 BASEMENT PLAN FIRST FLOOR PLAN 4303 STONE WAY N SEATTLE, WA 98103

> REGISTERED ARCHITECT JAMES M DEARTH STATE OF WASHINGTON

> > \propto

PROJECT TEAM:

NEW HORIZON REAL ESTATE DEVELOPMENT 8744 126TH AVE NE KIRKLAND, WA

206.557.0772

ARCHITECT / APPLICANT: RIPPLE DESIGN STUDIO, INC. - JIM DEARTH

4303 STONE WAY N SEATTLE, WA 98103 206.913.2333

SURVEYOR:

TERRANE 10801 MAIN STREET, SUITE 102 BELLEVUE, WA 98004 425.458.4488

206.262.0307

206.930.0342

GEOTECHNICAL ENGINEER: PANGEO, INC. - MICHAEL XUE 3213 EASTLAKE AVE E SUITE B SEATTLE, WA 98102

CIVIL ENGINEER: CIVIL ENGINEERING SOLUTIONS - JEFFREY ELLIS 2244 NW MARKET ST UNIT B SEATTLE, WA 98107

STRUCTURAL ENGINEER: BUKER ENGINEERING - DANIEL BUKER PO BOX 28531 SEATTLE, WA 98118

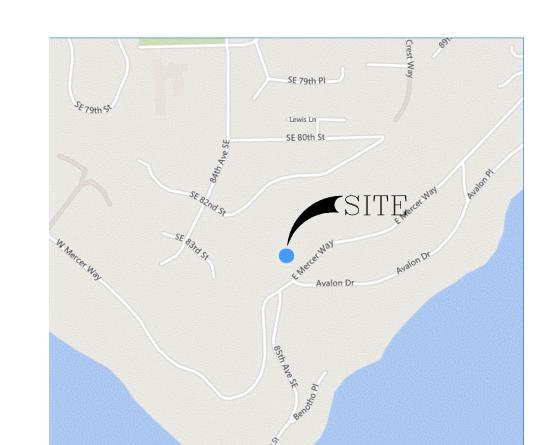
CONTRACTOR:

206.310.3559

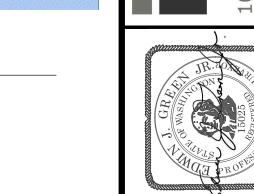
RELEASE BUILDING PERMIT 10 OCT 2017

MERCER PARCEL 1

	RUN YONG USA	
MERC	ER ISLAND LOT LINE REVISION NO. SUB 16-004	
DECLARATION	CITY OF MERCER ISLAND APPROVALS	
WE THE UNDERSIGNED OWNER(S) IN FEE SIMPLE [AND CONTRACT PURCHASER(S)] OF THE LAND HEREIN DESCRIBED, DO HEREBY MAKE A LOT LINE REVISION THEREOF PURSUANT TO RCW 58.17.060 AND DECLARE THIS LOT LINE REVISION TO BE THE GRAPHIC REPRESENTATION OF THE SAME, AND THAT SAID SHORT SUBDIVISION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE	EXAMINED AND APPROVED THIS DAY OF, 2016.	
OWNER(S). IN WITNESS WHEREOF WE HAVE SET OUR HANDS AND SEALS.	CODE OFFICIAL	
	EXAMINED AND APPROVED THIS DAY OF, 2016.	
BY: RUN YONG USA		
	CITY ENGINEER	
ACKNOWLEDGEMENTS STATE OF WASHINGTON }	KING COUNTY DEPARTMENT OF ASSESSMEN EXAMINED AND APPROVED THIS DAY OF, 2016.	TS
SS. COUNTY OF KING }	EXAMINED AND APPROVED THIS DAT OF, 2016.	
I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT	ASSESSOR	
BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT HE/SHE SIGNED THIS INSTRUMENT, ON OATH STATED THAT HE/SHE WAS AUTHORIZED TO EXECUTE THE		
INSTRUMENT AND ACKNOWLEDGED IT AS THE OF RUN YONG USA, TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.	BASIS OF BEARINGS PER PLAT OF AVALON PARK, VOL. 49, PAGE(S) 64 & 65, RECORDS OF KING COUNTY, WASHINGTON.	
GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS DAY OF	SURVEY NOTES:	
, 2016.	1. THE SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2014. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST.	I
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON	2. INSTRUMENTATION FOR THIS SURVEY WAS A LEICA TOTAL STATION UNIT.	
PRINTED NAME MY COMMISSION EXPIRES	PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, N CORRECTION NECESSARY. MEETS WASHINGTON STATE STANDARDS SET BY WAC 332-130-090.	0
	3. SEWER AND WATER UTILITIES FROM PUBLIC SERVICE.	
		NOTE
Szo.		
2/3/35	N72°3	53'00"
(BASIS OF BEARING) N87°10'24"F 653.26'(MEAS)(CALC)	N72°3	.33 4
(BASIS OF BEARING) N87°10'24"E 653.26'(MEAS)(CALC)	N88°29'19"E 202.48' =	
N87°10′24″E 653.26 MILA3/(07.23)		
FD REBAR W/CAP	FD MIC— CONC MON W/BRASS PIN CONC MON W/BRASS PIN	
#28101, HELD	DN 0.6', VISITED 8/21/14	
\mathcal{Q}		
S. 40.50-37.7.		
CONTROL MAP		
Zo. Zo.	7 .	
	APPROVAL NOTE: THIS REQUEST QUALIFIES FOR EXEMPTION UNDER RCW 58.17.040. IT DOES NOT	
CONTROL MAP	TOTOILE. THE ELONE TRANSPER OF THE TROPERTY WOOT BE DONE BY SELFARANTE	<u> </u>
SCALE: 1" = 60'	INSTRUMENT UNLESS ALL LOTS HEREIN ARE UNDER THE SAME OWNERSHIP.	







ORIGINAL LEGAL DESCRIPTION:

CONC MON, VISITED 8/21/14 NOTE: MON NO LONGER HAS TACK, PREVIOUSLY VISITED IN 2004

BASED ON DEED FURNISHED BY FIRST AMERICAN TITLE, RECORDED IN KING COUNTY UNDER INSTRUMENT NUMBER 20140523001500, DATED MAY 23, 2014.

LOT 9, BLOCK 3, AVALON PARK, ACCORDING TO PLAT RECORDED IN VOLUME 49 OF PLATS AT PAGE(S) 64 AND 65, IN KING COUNTY, WASHINGTON.

ALSO THE SOUTHEASTERLY 40 FEET OF THE PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. AND GOVERNMENT LOT 1 OF SAID SECTION ADJACENT TO THE NORTHWESTERLY LINE OF SAID LOT 9 AND BETWEEN THE SOUTHWESTERLY AND NORTHEASTERLY LINES THEREOF, EXTENDED NORTHWESTERLY.

LOT 8, BLOCK 3, AVALON PARK, ACCORDING TO PLAT RECORDED IN VOLUME 49 OF PLATS AT PAGE(S) 64 AND 65, IN KING COUNTY, WASHINGTON.

ALSO THE SOUTHEASTERLY 40 FEET OF THE PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. AND GOVERNMENT LOT 1 OF SAID SECTION ADJACENT TO THE NORTHWESTERLY LINE OF SAID LOT 8 AND BETWEEN THE SOUTHWESTERLY AND NORTHEASTERLY LINES THEREOF, EXTENDED NORTHWESTERLY.

LOT 7, BLOCK 3, AVALON PARK, ACCORDING TO PLAT RECORDED IN VOLUME 49 OF PLATS AT PAGE(S) 64 AND 65, IN KING COUNTY, WASHINGTON.

ALSO THE SOUTHEASTERLY 40 FEET OF THE PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. AND GOVERNMENT LOT 1 OF SAID SECTION ADJACENT TO THE NORTHWESTERLY LINE OF SAID LOT 7 AND BETWEEN THE SOUTHWESTERLY AND NORTHEASTERLY LINES THEREOF, EXTENDED NORTHWESTERLY.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

JOB NO.: **140845**

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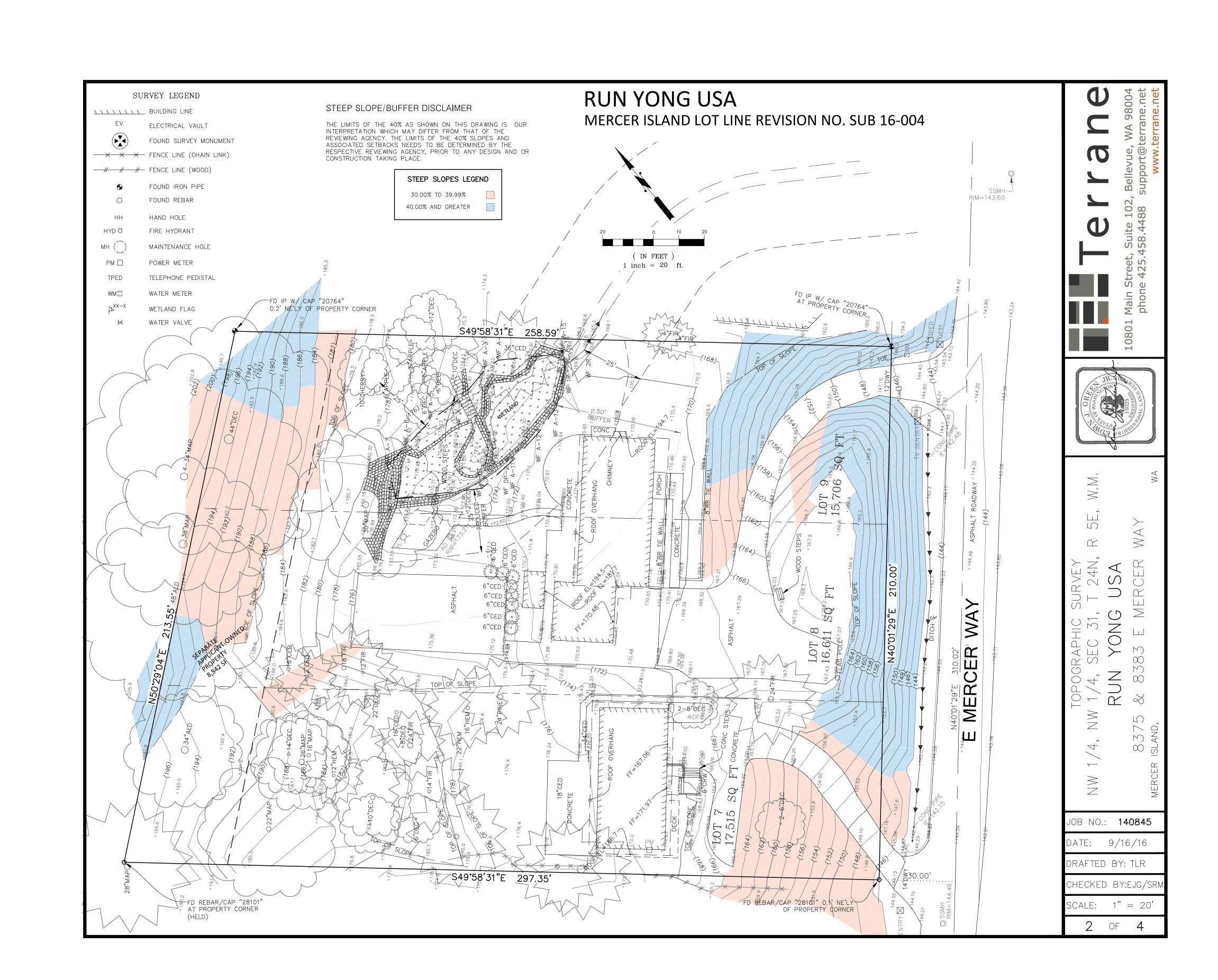
SEC SEC 338,4

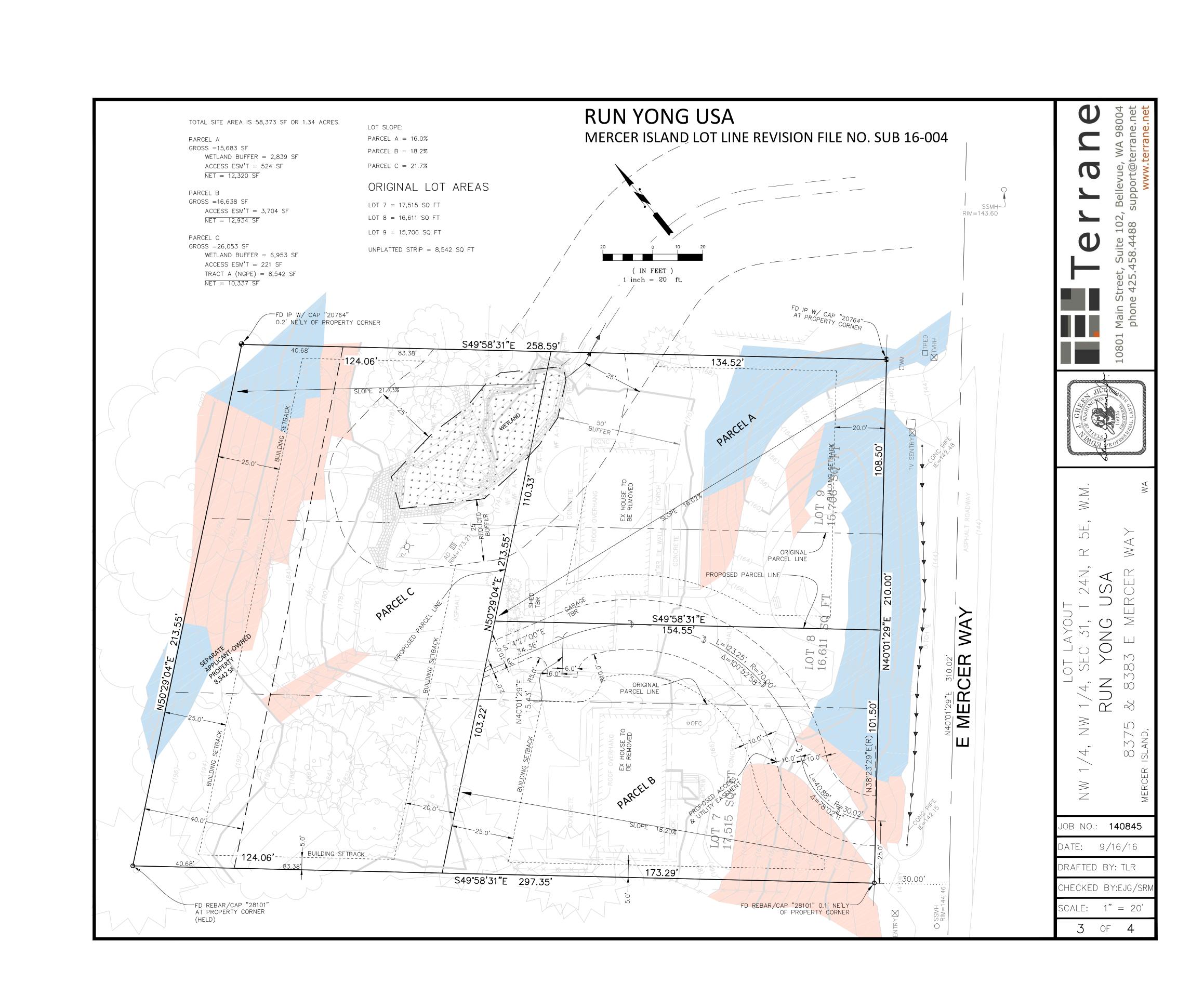
DATE: 9/16/16

DRAFTED BY: TLR

CHECKED BY:EJG/SRM

SCALE: 1" = 60'1 OF 4





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Κl	$\mathbf{J}\mathbf{I}\mathbf{N}$	YU	INCT	USA

MERCER ISLAND LOT LINE REVISION FILE NO. SUB 16-004

NEW LEGAL DESCRIPTIONS:

PARCEL A

LOT 9 AND THE NORTHEASTERLY 38.50 FEET OF LOT 8, BLOCK 3, AVALON PARK, ACCORDING TO THE PLAT RECORDED IN VOLUME 49 OF PLATS, AT PAGES 64 AND 65, IN KING COUNTY, WASHINGTON,

EXCEPT THE NORTHWESTERLY 82.00 FEET THEREOF.

<u>PARCEL B</u>

LOTS 7 AND 8, BLOCK 3, AVALON PARK, ACCORDING TO THE PLAT RECORDED IN VOLUME 49 OF PLATS, AT PAGES 64 AND 65, IN KING COUNTY, WASHINGTON,

EXCEPT THE NORTHEASTERLY 38.50 FEET OF SAID LOT 8; AND EXCEPT THE NORTHWESTERLY 82.00 FEET THEREOF.

THE NORTHWESTERLY 82.00 FEET OF LOTS 7, 8 AND 9, BLOCK 3, AVALON PARK, ACCORDING TO THE PLAT RECORDED IN VOLUME 49 OF PLATS, AT PAGES 64 AND 65, IN KING COUNTY, WASHINGTON;

TOGETHER WITH THE SOUTHEASTERLY 40 FEET OF THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. AND GOVERNMENT LOT 1 OF SAID SECTION LYING BETWEEN THE SOUTHWESTERLY LINE OF LOT 7 IN BLOCK 3 OF SAID PLAT EXTENDED NORTHWESTERLY AND THE NORTHEASTERLY LINE OF LOT 9 IN BLOCK 3 OF SAID PLAT EXTENDED NORTHWESTERLY.

ACCESS AND UTILITY EASEMENT

THAT PORTION OF LOTS 7 AND 8, BLOCK 3, AVALON PARK, ACCORDING TO THE PLAT RECORDED IN VOLUME 49 OF PLATS, AT PAGES 64 AND 65, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

A STRIP OF LAND, 20.00 FEET IN WIDTH, HAVING 10.00 FEET ON BOTH SIDES OF THE FOLLOWING DESCRIBED

COMMENCING AT THE MOST SOUTHERLY CORNER OF SAID LOT 7; THENCE NORTH 40°01'29" EAST, ALONG THE SOUTHEASTERLY LINE OF SAID LOT 7, A DISTANCE OF 25.00 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT FROM WHICH THE CENTER BEARS NORTH 38'23'29" EAST, 30.02 FEET DISTANT, AND THE POINT OF BEGINNING OF THIS CENTERLINE DESCRIPTION; THENCE NORTHWESTERLY, NORTHERLY AND NORTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 78°02'11" AND AN ARC DISTANCE OF 40.88 FEET, TO A POINT OF REVERSE CURVATURE HAVING A RADIUS OF 70.00 FEET;

THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 100'52'58" AND AN ARC DISTANCE OF 123.25 FEET, TO A POINT HEREINAFTER REFERRED TO AS POINT "A" AND THE TERMINUS OF THIS CENTERLINE DESCRIPTION;

TOGETHER WITH A STRIP OF LAND, 12.00 FEET IN WIDTH, HAVING 6.00 FEET ON BOTH SIDES OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE HEREINBEFORE REFERENCED POINT "A";

THENCE SOUTH 40°01'29" WEST 15.43 FEET, TO THE TERMINUS OF THIS CENTERLINE DESCRIPTION;

TOGETHER WITH THAT PORTION OF SAID LOT 8, LYING NORTHERLY OF A FILLETED CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 10.00 FEET BETWEEN THE SOUTHEASTERLY LINE OF SAID 12.00 FOOT STRIP AND THE SOUTHERLY LINE OF SAID 20.00 FOOT STRIP;

TOGETHER WITH A STRIP OF LAND, 12.00 FEET IN WIDTH, HAVING 10.00 FEET ON THE NORTH SIDE AND 2.00 FEET ON THE SOUTH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE; BEGINNING AT THE HEREINBEFORE REFERENCED POINT "A";

THENCE NORTH 74°27'00" WEST 34.36 FEET, TO THE TERMINUS OF THIS CENTERLINE DESCRIPTION, AND A POINT ON THE SOUTHEASTERLY LINE OF THE NORTHWESTERLY 82.00 FEET OF SAID LOTS 7 AND 8;

TOGETHER WITH THAT PORTION OF SAID LOT 8, LYING NORTHERLY OF A FILLETED CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 5.00 FEET BETWEEN THE SOUTHWESTERLY LINE OF SAID 12.00 FOOT STRIP AND THE NORTHWESTERLY LINE OF SAID 12.00 FOOT STRIP;



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JOB NO.: **140845**

DATE: 9/16/16

DRAFTED BY: TLR

CHECKED BY:EJG/SR SCALE: 1" = 20'

4 OF 4

SITE NOTES:

1. ALL IMMEDIATE AREAS AFFECTED BY NEW DEVELOPMENT SHALL BE GRADED AWAY FROM FOUNDATIONS + ADJACENT PROPERTIES @ 10% AS POSSIBLE, 2% MIN.

IMPERVIOUS SURFACE CALCULATIONS:

LOT AREA:	15,683 FT ²
ALLOWABLE IMPERVIOUS SURFACE:	5,489 FT ² (35%)
(LOT SLOPE IS BETWEEN 15% AND 30%)	
PROPOSED RESIDENCE ROOF AREA	2,602 FT ²
PROPOSED DRIVE INCLUDING SHARED EASEMENT AREA:	1,796 FT ²
WALKS + DECKS AREA:	362 FT ²
WETLAND AREA:	286 FT ²
TOTAL IMPERVIOUS SURFACE UPON COMPLETION:	5,046 FT² (32%)

AVERAGE BUILDING ELEVATION CALC.S:

ELEVATION @ POINT A:	170.10
SEGMENT LENGTH @ POINT A:	3.5
	(595.35' @ ELEV x LENGTH)
ELEVATION @ POINT B:	170.30
SEGMENT LENGTH @ POINT B:	32
	(5,449.60' @ ELEV x LENGTH
ELEVATION @ POINT C:	171.1C
SEGMENT LENGTH @ POINT C:	33
	(5,646.30' @ ELEV x LENGTH
ELEVATION @ POINT D:	171.80
SEGMENT LENGTH @ POINT D:	32
	(5,497.60' @ ELEV x LENGTH
ELEVATION @ POINT E:	171.40
SEGMENT LENGTH @ POINT E:	13
	(2,228.20' @ ELEV x LENGTH
ELEVATION @ POINT F:	171.70
SEGMENT LENGTH @ POINT F:	12
	(2,060.40' @ ELEV x LENGTH
ELEVATION @ POINT G:	171.50
SEGMENT LENGTH @ POINT G:	8.8
	(1,457.75' @ ELEV x LENGTH
ELEVATION @ POINT H:	170.00
SEGMENT LENGTH @ POINT H:	20
	(3,400' @ ELEV x LENGTH
ELEVATION @ POINT I:	169.10
SEGMENT LENGTH @ POINT I:	40.5
	(6,848.55 @ <i>ELEV x LENGTH</i>
ELEVATION @ POINT J:	161.80
SEGMENT LENGTH @ POINT J:	20
	(3,236' @ ELEV x LENGTH
ELEVATION @ POINT K:	167.00
SEGMENT LENGTH @ POINT K:	15.5
	(2,588.50' @ ELEV x LENGTH
ELEVATION @ POINT L:	169.70
SEGMENT LENGTH @ POINT L:	12

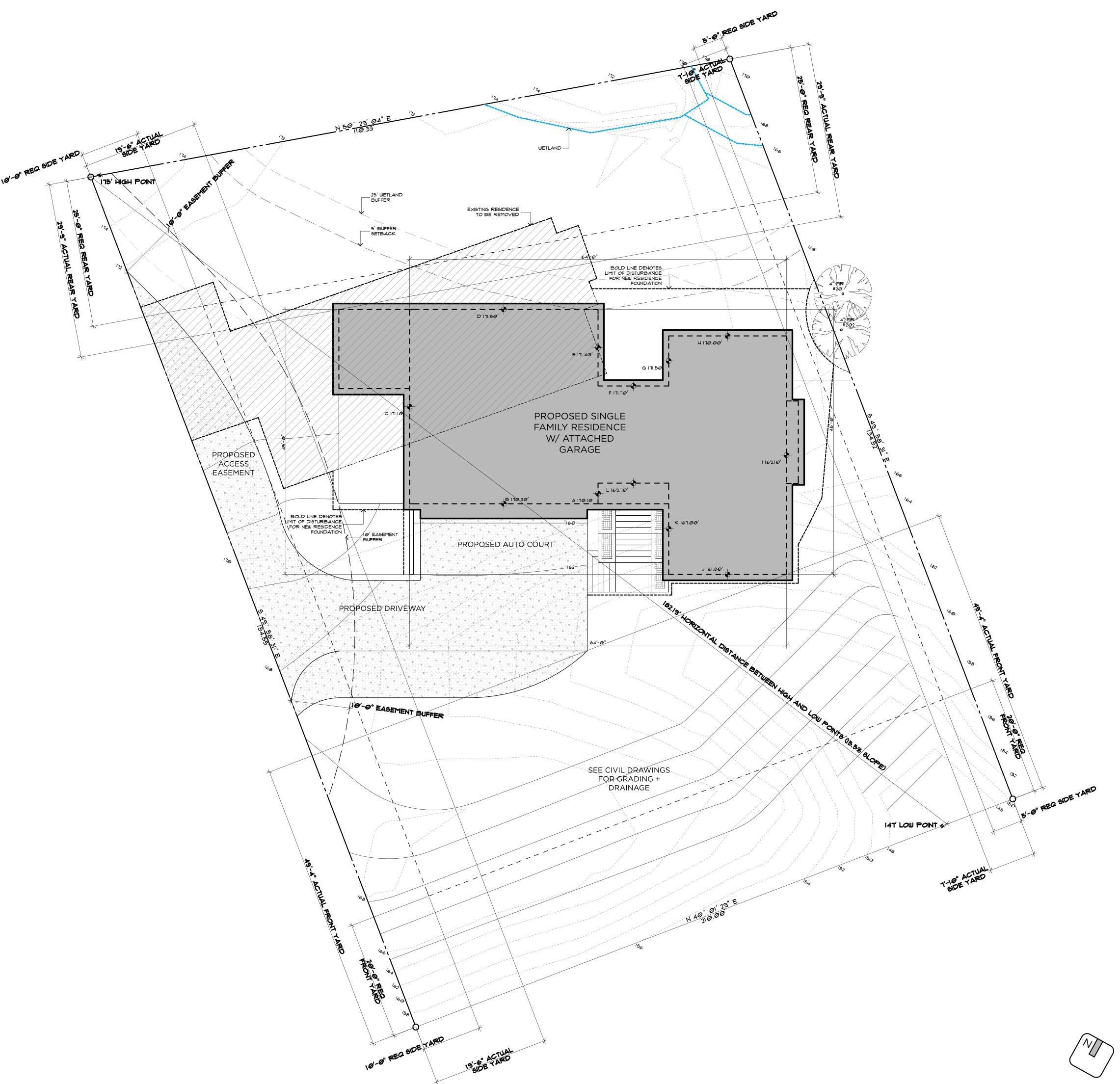
TOTAL ELEVs x SEGMENT LENGTHs:

TOTAL SEGMENT LENGTHS:

AVERAGE NATURAL GRADE (ANG):

(2,036.40' @ ELEV x LENGTH)

41,044.65'



SITE PLAN



RIPPLE
DESIGN STUDIO

206.913.2333

4303 STONE WAY N SEATTLE, WA 98103

9790
REGISTERED ARCHITECT

JAMES M DEARTH STATE OF WASHINGTON

E M E R C E R
P A R C E L 1

SITE PLAN

OIT SHALL

A 1 . 1

E
MERCER
PARCEL 1
AUTHORED:

FLOOR PLAN NOTES:

- 1. THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
- 2. ALL EXTERIOR WALLS SHALL BE 2x6 UNO.
- 3. ALL INTERIOR WALLS SHALL BE 2x6 UNO.
- 4. ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 11/4" - 2".
- 5. ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST. 6. ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4"
- 7. ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.
- 8. 5/8" GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS +
- 9. ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM PER 302.7. 10. PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE
- CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.1.1. 11. A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
- 12. ALL SHOWERHEADS + KITCHEN SINK FAUCETS INSTALLED IN THE UNIT
- SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS.
- 13. ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE
- BUILDING PER M1501.1 AND M1506.2.
- 14. CLOTHES DRYER SHALL BE EXHAUSTED TO THE OUTSIDE PER M1502.1
- 15. ALL STAIRS SHALL MEET FOLLOWING REQUIREMENTS;
- A. MINIMUM 36" WIDTH.
- B. MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.
- C. MINIMUM 6'-8" HEAD ROOM

2.0 AIR CHANGES/HOUR.

D. MINIUM LANDING LENGTH 36" 16. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED

ENERGY CREDIT CALCULATIONS:

- 2b. A. TESTED AIR LEAKAGE SHALL BE 2.0 AIR CHANGES PER 1.0 HOUR MAXIMUM.
- B. HEAT RECOVERY VENTILATION SYSTEM
- SHALL BE INSTALLED WITH A MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.70.
- 3a. PROPANE FURNACE WITH MINIMUM AFUE OF 1.0
- 5c. PROPANE WATER HEATER WITH MINIMUM EF 1.5 OF 0.91.

TOTAL CREDITS:

CRAWL SPACE VENT

CRAWL SPACE AREA 378 FT² REQUIRED VENTILATION 2.52 FT² (1/150TH OF CRAWL SPACE AREA) PROPOSED VENTING

(WITH 3 VENTS @ 1 FT² EACH)

3.5



206.913.2333 4303 STONE WAY N SEATTLE, WA 98103

JAMES M DEARTH

REGISTERED ARCHITECT



S C A L E : 1/4" = 1'-0"



RELEASE

FLOOR PLAN NOTES:

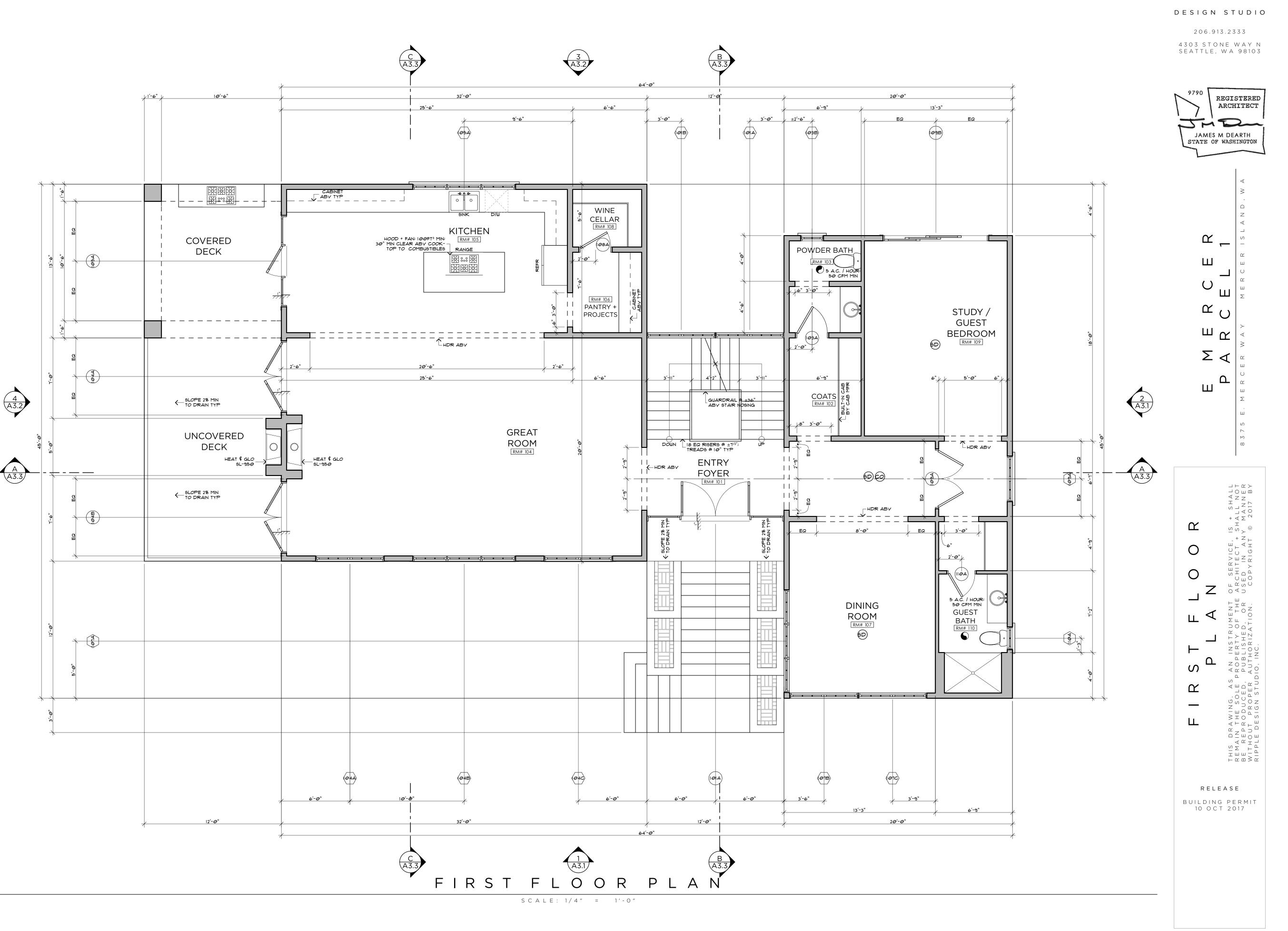
- 1. THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
- 2. ALL EXTERIOR WALLS SHALL BE 2x6 UNO. 3. ALL INTERIOR WALLS SHALL BE 2x6 UNO.
- 4. ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 11/4" - 2".
- 5. ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST. 6. ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4"
- 7. ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.
- 8. 5/8" GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS +
- 9. ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM PER 302.7. 10. PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE
- CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.1.1. 11. A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN
- LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS. 12. ALL SHOWERHEADS + KITCHEN SINK FAUCETS INSTALLED IN THE UNIT
- SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS.
- 13. ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE
- BUILDING PER M1501.1 AND M1506.2.
- 14. CLOTHES DRYER SHALL BE EXHAUSTED TO THE OUTSIDE PER M1502.1
- 15. ALL STAIRS SHALL MEET FOLLOWING REQUIREMENTS; A. MINIMUM 36" WIDTH.
- B. MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.
- C. MINIMUM 6'-8" HEAD ROOM D. MINIUM LANDING LENGTH 36"
- 16. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 2.0 AIR CHANGES/HOUR.

ENERGY CREDIT CALCULATIONS:

- 2b. A. TESTED AIR LEAKAGE SHALL BE 2.0 AIR CHANGES PER 1.0 HOUR MAXIMUM.
- B. HEAT RECOVERY VENTILATION SYSTEM SHALL BE INSTALLED WITH A MINIMUM SENSIBLE HEAT
- RECOVERY EFFICIENCY OF 0.70. 3a. PROPANE FURNACE WITH MINIMUM AFUE OF 1.0
- 5c. PROPANE WATER HEATER WITH MINIMUM EF 1.5 OF 0.91.

TOTAL CREDITS:





E MERCER PARCEL 1

FLOOR PLAN NOTES:

- 1. THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL
- COMPLIANCE W/ ALL CODES + REGULATIONS.
- 2. ALL EXTERIOR WALLS SHALL BE 2x6 UNO. 3. ALL INTERIOR WALLS SHALL BE 2x6 UNO.
- 4. ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 11/4" - 2".
- 5. ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST. 6. ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4"
- 7. ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.
- 8. 5/8" GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS +
- 9. ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM PER 302.7. 10. PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE
- CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.1.1. 11. A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN
- LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS. 12. ALL SHOWERHEADS + KITCHEN SINK FAUCETS INSTALLED IN THE UNIT
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- 13. ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE
- BUILDING PER M1501.1 AND M1506.2. 14. CLOTHES DRYER SHALL BE EXHAUSTED TO THE OUTSIDE PER M1502.1
- 15. ALL STAIRS SHALL MEET FOLLOWING REQUIREMENTS;
- A. MINIMUM 36" WIDTH. B. MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.
- C. MINIMUM 6'-8" HEAD ROOM D. MINIUM LANDING LENGTH 36"
- 16. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 2.0 AIR CHANGES/HOUR.

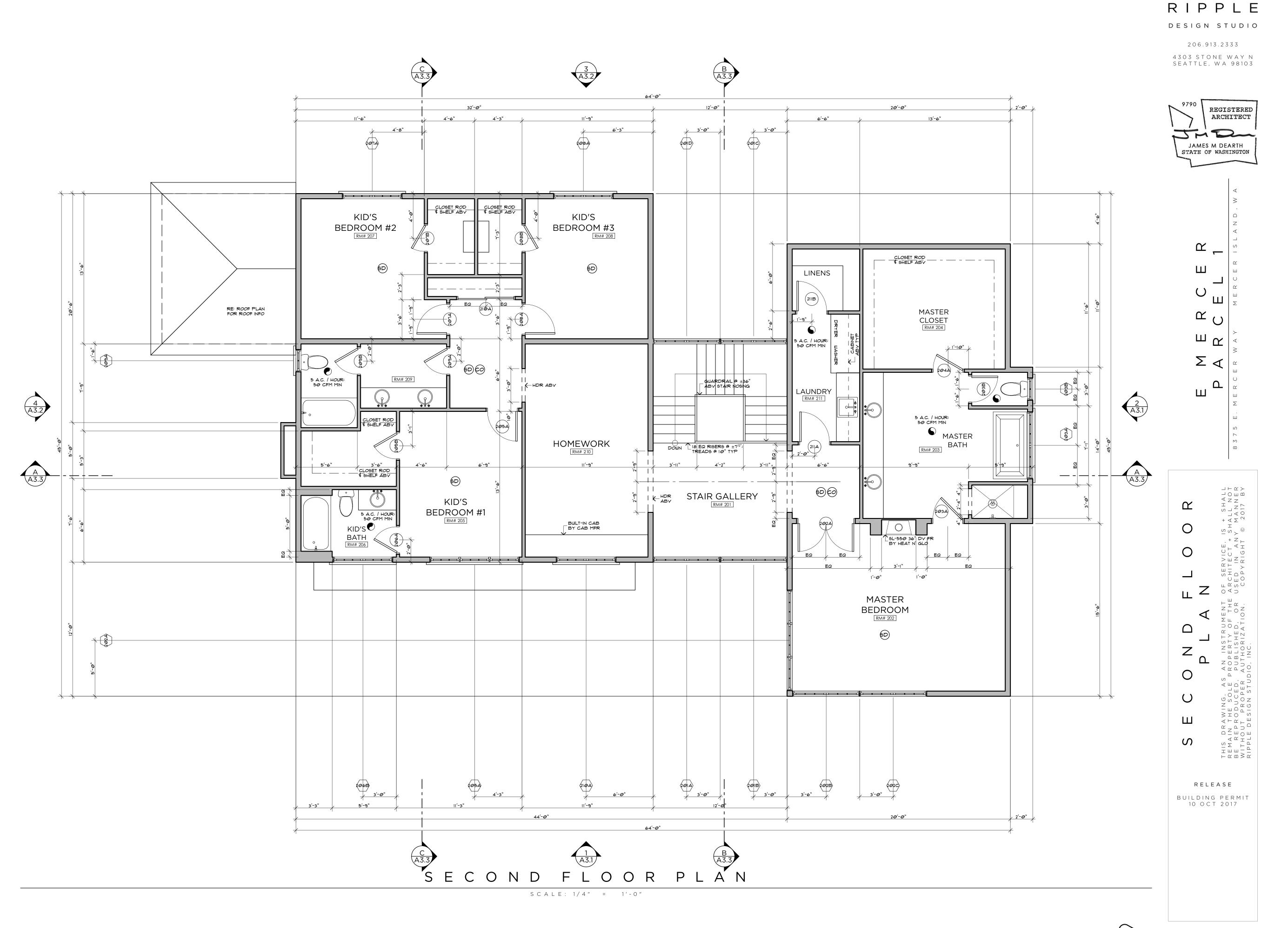
ENERGY CREDIT CALCULATIONS:

- 2b. A. TESTED AIR LEAKAGE SHALL BE 2.0 AIR CHANGES PER 1.0 HOUR MAXIMUM.
- B. HEAT RECOVERY VENTILATION SYSTEM
- SHALL BE INSTALLED WITH A MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.70. 3a. PROPANE FURNACE WITH MINIMUM AFUE OF 1.0
- 5c. PROPANE WATER HEATER WITH MINIMUM EF 1.5 OF 0.91.

TOTAL CREDITS:



E MERCER PARCEL 1



ROOF NOTES:

1. CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY

FLU + SPARK ARRESTOR MFR APPROVAL. 2. COORDINATE DOWNSPOUT LOCATION W/ RIPPLE DESIGN STUDIO, INC.

PRIOR TO INSTALLATION. 3. ALL VENTS SHALL BE LOCATED AWAY FROM VISIBILITY @ PUBLIC RIGHT-

4. TRUSS MANUFACTURERS TO PROVIDE TRUSS SHOP DRAWINGS TO RIPPLE DESIGN STUDIO FOR DESIGN APPROVAL PRIOR TO TRUSS MANUFACTURING.

ATTIC VENTILATION CALCULATIONS:

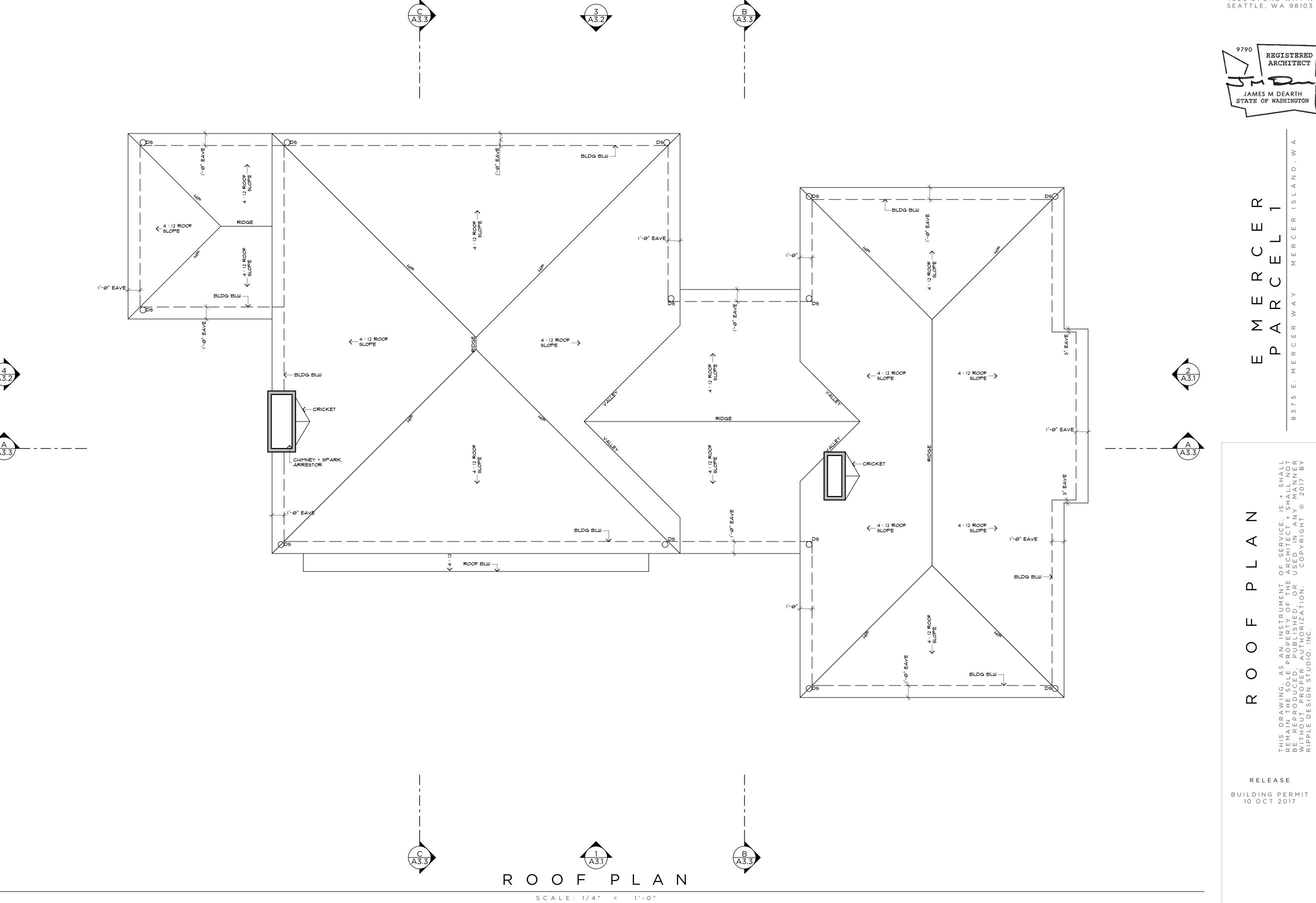
TOTAL PROPOSED VENTILATION	14.53 FT ²	
HOLE; 2 HOLES PER 12" = 470 HOLES \times 3.14 = 1,475.8 IN ²	10.25 FT ²	
NET PER 24") RESTRICTED BY TRUSS BLOCKING; 3.14 IN 2 PER 2" ø		
235 LINEAR FEET OF CONTINUOUS 2" WIDE EAVE VENT (18 \ensuremath{IN}^2		
44.5 LINEAR FEET OF RIDGE VENT (@ 9 IN ² NET PER FOOT)	4.28 FT ²	
PROPOSED VENTILATION		
REQUIRED VENTILATION (1/150 TH OF ATTIC AREA)	14.19 FT ²	
PROPOSED ATTIC AREA	2,129 FT ²	



RIPPLE

DESIGN STUDIO







E MERCER PARCEL 1



ASPHALT SHINGLE ROOF TYP -

MASTER SUITE TOP PLATE

SECOND FLOOR SUBFLOOR

FIRST FLOOR TOP PLATE

FIRST FLOOR SUBFLOOR

BASEMENT TOP PLATE

BASEMENT SUBFLOOR

CHIMNEY + SPARK ARRESTOR TYP; RE: ELEVATION NOTE I

STRAIGHT SHINGLE

NORTH ELEVATION

S C A L E : 1/4" = 1'-0"

ELEVATION + SECTION NOTES:

1. CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.

2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.

BASEMENT FLOOR AREA CALC.S:

2	WALL SEGMENT A LENGTH:
100	WALL SEGMENT A COVERAGE:
(20.00 FT % RESUL	WALE SEGITENT A COVENAGE.
(20.001170112302	WALL SEGMENT BLENGTH:
100	WALL SEGMENT B COVERAGE:
(12.00 FT % RESUL	WARE SECTIENT B GOVERNIGE.
8	WALL SEGMENT C LENGTH:
100	WALL SEGMENT C COVERAGE:
(8.50 FT % RESUL	
2	WALL SEGMENT D LENGTH:
75	WALL SEGMENT D COVERAGE:
(15.00 FT % RESUL	
40	WALL SEGMENT E LENGTH:
50 FT	WALL SEGMENT A COVERAGE:
(20.25 FT % RESUL	
2	WALL SEGMENT F LENGTH:
C	WALL SEGMENT B COVERAGE:
(0.00 FT % RESUL	
	WALL SEGMENT G LENGTH:
75	WALL SEGMENT C COVERAGE:
(9.00 FT % RESUL	
	WALL SEGMENT H LENGTH:
100	WALL SEGMENT D COVERAGE:
(12.00 FT % RESUL	
145 F	TOTAL SEGMENT LENGTHs:
XX.XX FT	TOTAL SEGMENT COVERAGE RESULTS:
952 F	GROSS BASEMENT FLOOR AREA
75	GROSS BASEMENT FLOOR % TO BE EXCLUDED:
714.00 F	GROSS BASEMENT FLOOR AREA TO BE

AVERAGE BUILDING ELEVATION CALC.S:

SECOND FLOOR TOP PLATE

9ECOND FLOOR SUBFLOOR

FIRST FLOOR SUBFLOOR 169.61 ABEN

FIRST FLOOR TOP PLATE

ELEVATION @ POINT A:	170.10′
SEGMENT LENGTH @ POINT A:	3.5′
	(595.35' @ ELEV x LENGTH)
ELEVATION @ POINT B:	170.30′
SEGMENT LENGTH @ POINT B:	32'
	(5,449.60' @ ELEV x LENGTH)
ELEVATION @ POINT C:	171.10′
SEGMENT LENGTH @ POINT C:	33'
	(5,646.30' @ ELEV x LENGTH)
ELEVATION @ POINT D:	171.80′
SEGMENT LENGTH @ POINT D:	32'
	(5,497.60' @ ELEV x LENGTH)
ELEVATION @ POINT E:	171.40′
SEGMENT LENGTH @ POINT E:	13'
	(2,228.20' @ ELEV x LENGTH)
ELEVATION @ POINT F:	171.70′
SEGMENT LENGTH @ POINT F:	12'
	(2,060.40' @ ELEV x LENGTH)
ELEVATION @ POINT G:	171.50′
SEGMENT LENGTH @ POINT G:	8.5'
	(1,457.75' @ ELEV x LENGTH)
ELEVATION @ POINT H:	170.00′
SEGMENT LENGTH @ POINT H:	20'
	(3,400' @ ELEV x LENGTH)
ELEVATION @ POINT I:	169.10′
SEGMENT LENGTH @ POINT I:	40.5'
	(6,848.55 @ <i>ELEV x LENGTH</i>)
ELEVATION @ POINT J:	161.80′
SEGMENT LENGTH @ POINT J:	20'
	(3,236' @ ELEV x LENGTH)
ELEVATION @ POINT K:	167.00′
SEGMENT LENGTH @ POINT K:	15.5'
	(2,588.50' @ ELEV x LENGTH)
ELEVATION @ POINT L:	169.70'
SEGMENT LENGTH @ POINT L:	12'
	(2,036.40' @ ELEV x LENGTH)

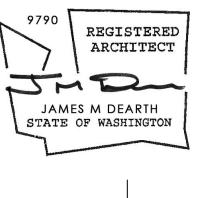
TOTAL ELEVs x SEGMENT LENGTHs:

AVERAGE NATURAL GRADE (ANG):

TOTAL SEGMENT LENGTHs:



206.913.2333 4303 STONE WAY N SEATTLE, WA 98103



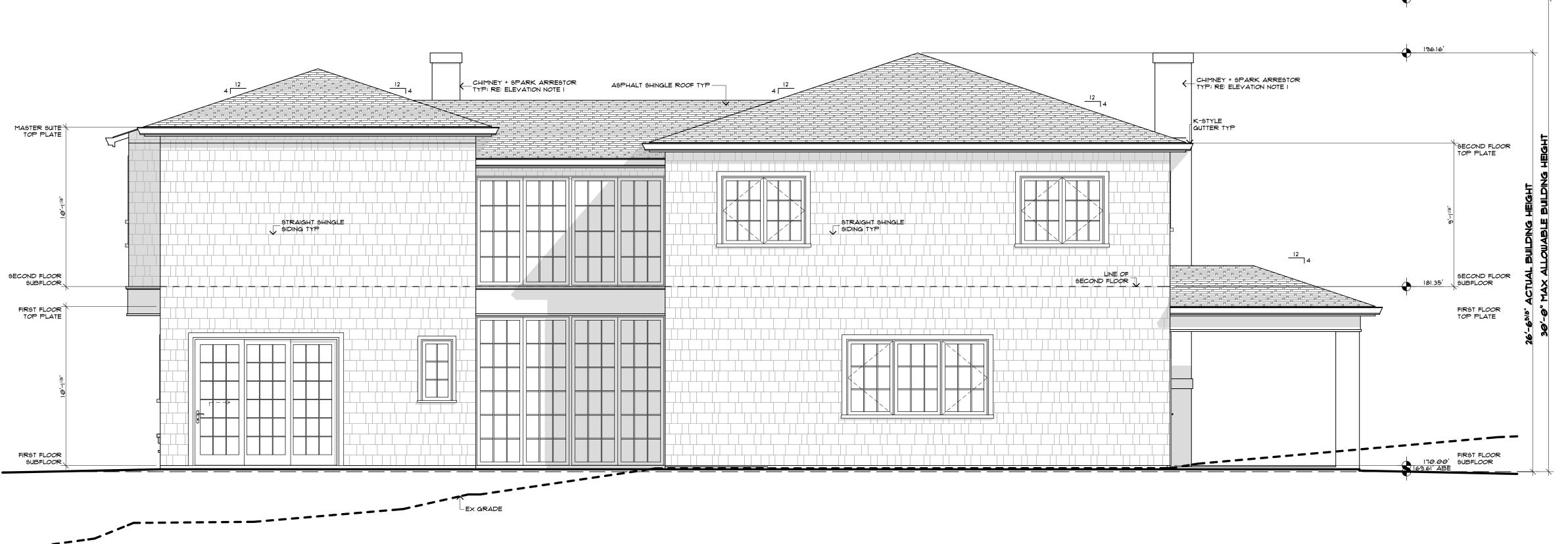
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RELEASE BUILDING PERMIT 10 OCT 2017

41,044.65'

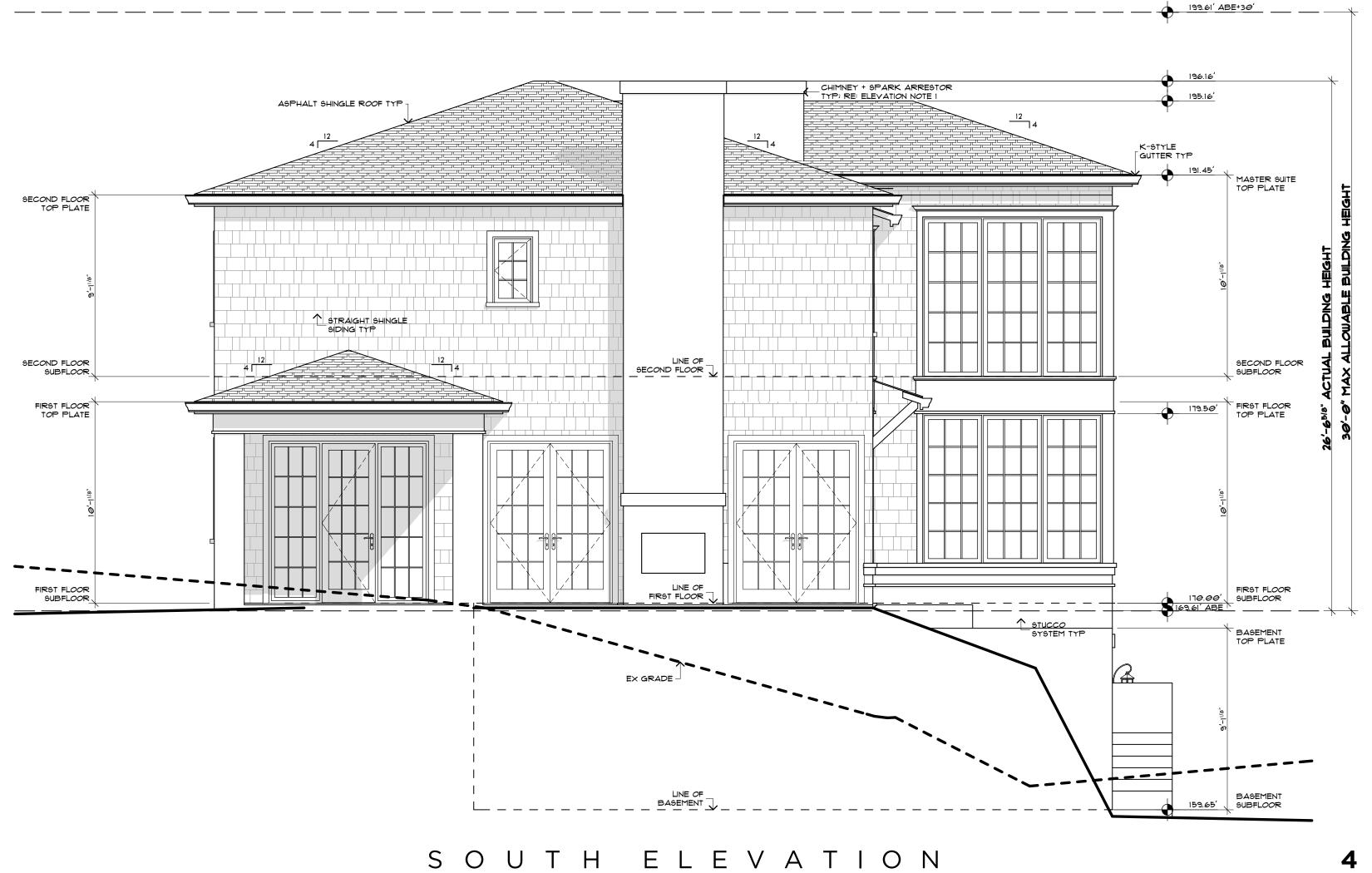
169.61′

MERCER PARCEL 1



WESTELEVATION

S C A L E : 1/4" = 1'-0"



S C A L E : 1/4" = 1'-0"

ELEVATION + SECTION NOTES:

1. CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.

2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.

BASEMENT FLOOR AREA CALC.S:

WALL SEGMENT A LENGTH:	20'
WALL SEGMENT A COVERAGE:	100%
	(20.00 FT % RESULT)
WALL SEGMENT B LENGTH:	12'
WALL SEGMENT B COVERAGE:	100%
	(12.00 FT % RESULT)
WALL SEGMENT C LENGTH:	8.5
WALL SEGMENT C COVERAGE:	100%
	(8.50 FT % RESULT)
WALL SEGMENT D LENGTH:	20
WALL SEGMENT D COVERAGE:	75%
	(15.00 FT % RESULT)
WALL SEGMENT E LENGTH:	40.5
WALL SEGMENT A COVERAGE:	50 FT %
	(20.25 FT % RESULT)
WALL SEGMENT F LENGTH:	20
WALL SEGMENT B COVERAGE:	0%
	(0.00 FT % RESULT)
WALL SEGMENT G LENGTH:	12'
WALL SEGMENT C COVERAGE:	75%
	(9.00 FT % RESULT)
WALL SEGMENT H LENGTH:	12'
WALL SEGMENT D COVERAGE:	100%
	(12.00 FT % RESULT)
TOTAL SEGMENT LENGTHs:	145 FT ²
TOTAL SEGMENT COVERAGE RESULTS:	XX.XX FT %
GROSS BASEMENT FLOOR AREA	952 FT ²
GROSS BASEMENT FLOOR % TO BE EXCLUDED:	75%
GROSS BASEMENT FLOOR AREA TO BE EXCLUDED:	714.00 FT ²

AVERAGE BUILDING ELEVATION CALC.S:

ELEVATION @ POINT A:	170.10′
SEGMENT LENGTH @ POINT A:	3.5′
	(595.35' @ ELEV x LENGTH)
ELEVATION @ POINT B:	170.30′
SEGMENT LENGTH @ POINT B:	32'
	(5,449.60' @ ELEV x LENGTH)
ELEVATION @ POINT C:	171.10′
SEGMENT LENGTH @ POINT C:	33'
	(5,646.30' @ ELEV x LENGTH)
ELEVATION @ POINT D:	171.80′
SEGMENT LENGTH @ POINT D:	32'
	(5,497.60' @ ELEV x LENGTH)
ELEVATION @ POINT E:	171.40′
SEGMENT LENGTH @ POINT E:	13'
	(2,228.20' @ ELEV x LENGTH)
ELEVATION @ POINT F:	171.70′
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ELEVATION @ POINT G:	171.50′
SEGMENT LENGTH @ POINT G:	8.5'
	(1,457.75' @ <i>ELEV x LENGTH</i>)
ELEVATION @ POINT H:	170.00′
SEGMENT LENGTH @ POINT H:	20'
	(3,400' @ ELEV x LENGTH)
ELEVATION @ POINT I:	169.10′
SEGMENT LENGTH @ POINT I:	40.5′
	(6,848.55 @ ELEV x LENGTH)
ELEVATION @ POINT J:	161.80′
SEGMENT LENGTH @ POINT J:	20'
	(3,236' @ ELEV x LENGTH)
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ELEVATION @ POINT L:	169.70′
SEGMENT LENGTH @ POINT L:	12'
	(2,036.40' @ ELEV x LENGTH)

TOTAL ELEVs x SEGMENT LENGTHs:

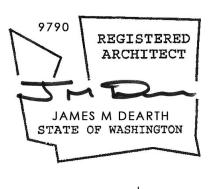
TOTAL SEGMENT LENGTHS: **AVERAGE NATURAL GRADE (ANG):**

RIPPLE

ALL
BY

DESIGN STUDIO

206.913.2333 4303 STONE WAY N SEATTLE, WA 98103



E M E R C E R

P A R C E L 1

5 E. MERCER WAY MERCER ISLAND, WA

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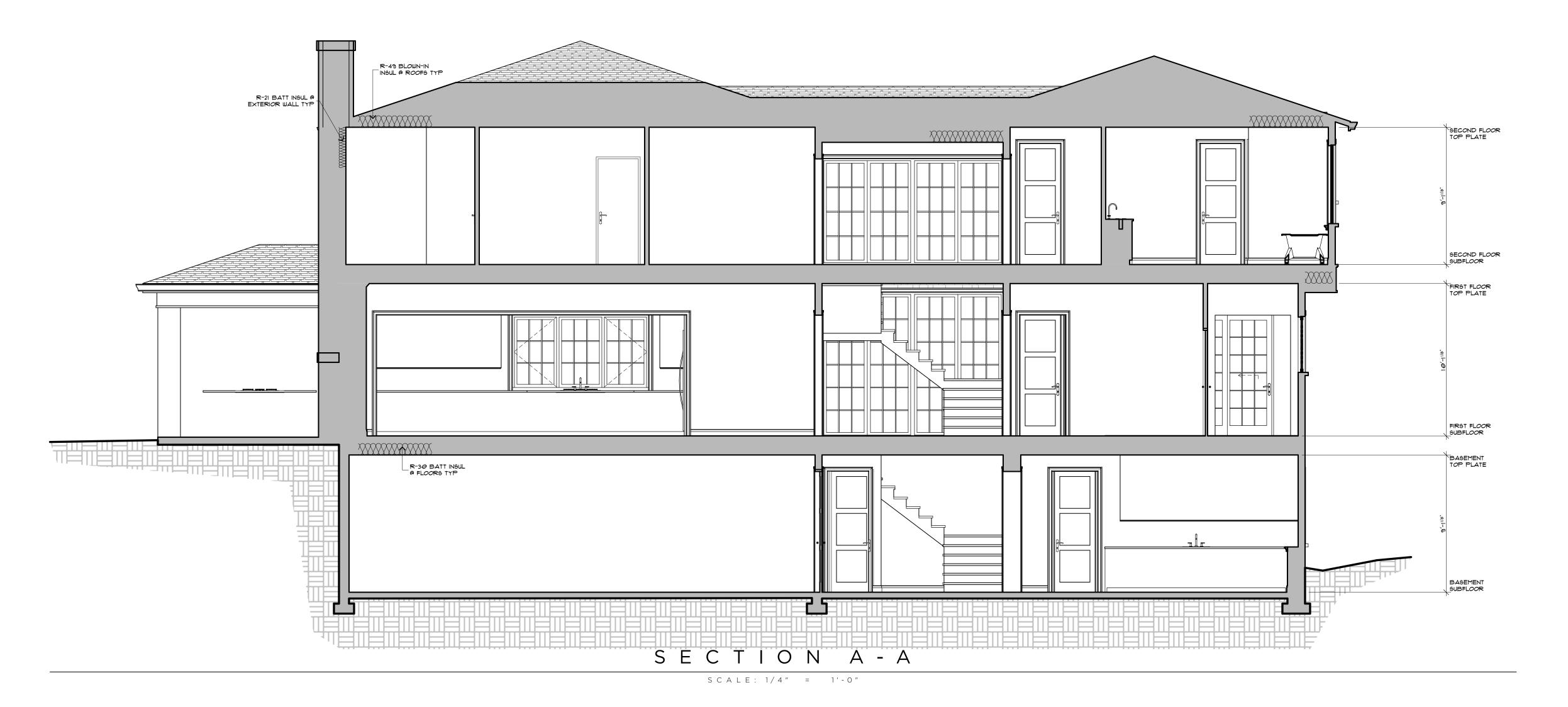
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RELEASE

BUILDING PERMIT 10 OCT 2017

41,044.65'

169.61′



ELEVATION + SECTION NOTES:

1. CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.

2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.

WSEC 2015 NOTES:

- 1. THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2015 PRESCRIPTIVE METHOD.
- 2. INSULATION VALUES SHALL BE AS FOLLOWS:
- A. ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.B. ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.
- C. ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE
- TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.

 D. ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-
- IN INSULATION MIN.

 E. ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.

F. ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT

- INSULATION MIN. G. ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT
- INSULATION MIN @ INTERIOR FRAMED WALL.

 H. ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT
- INSULATION MIN.

 I. ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10
- RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.

 J. ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID
- INSULATION @ INTERIOR SIDE OF WALL.

 3. RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
- 4. PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE
- VENTILATION @ KITCHEN.

 5. PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION
- @ ALL BATHS + LAUNDRY.6. NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM
- EF OF 0.91 (WSEC 406.2, CREDIT 5c).

 7. AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL
- NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- 8. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- 9. AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.



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DESIGN STUDIO

206.913.2333

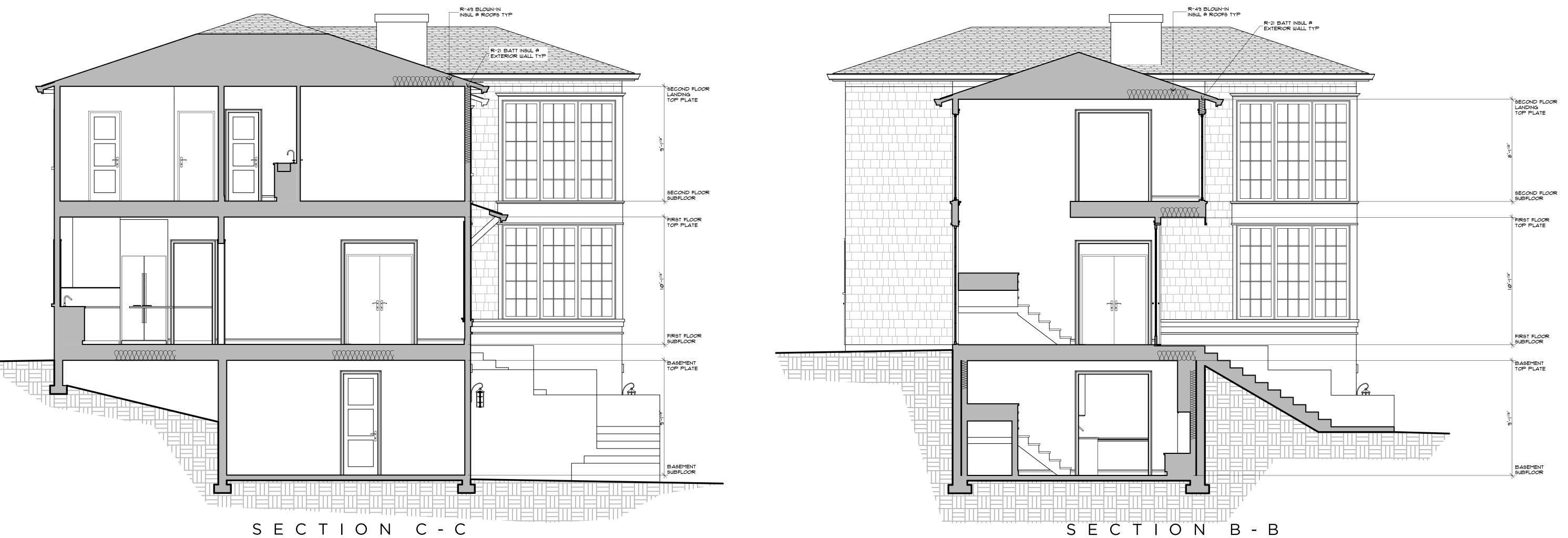
4303 STONE WAY N SEATTLE, WA 98103

JAMES M DEARTH

STATE OF WASHINGTON

REGISTERED ARCHITECT

A 3 . 3



S C A L E : 1/4" = 1'-0"

S C A L E : 1/4" = 1'-0"

DOOR SCHEDULE:

DOOR NO.	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	REMARKS
001A	12'-0"	8'-0"	FRENCH SLIDER	ALUMINUM / GLASS		4 PANEL, DIVIDED LIGHT
002A	2'-8"	7'-0"	PANEL	WOOD		
002B	8'-0"	7'-0"	SLIDER	WOOD		TRIPLE BY-PASS CLOSET
003A	2'-8"	8'-0"	PANEL	WOOD		PRIVACY LOCK
003B	5′-0″	7'-0"	SLIDER	WOOD		DOUBLE BY-PASS CLOSET
004A	2'-8"	8'-0"	PANEL	WOOD		AUTO-CLOSER, 20 MIN. RATED
004B	2'-8"	8'-0"	PANEL	WOOD		
005A	8'-0"	8'-0"	OVERHEAD	WOOD		GARAGE DOOR
005B	8'-0"	8'-0"	OVERHEAD	WOOD		GARAGE DOOR
005C	8'-0"	8'-0"	OVERHEAD	WOOD		GARAGE DOOR
101A	6'-0"	9'-6"	FRENCH	ALUMINUM / GLASS		PAIR, DIVIDED LIGHT, W/3'-0" SIDELIGHTS
103A	2'-8"	8'-0"	PANEL	WOOD		PRIVACY LOCK
104A	6'-0"	8'-0"	FRENCH	ALUMINUM / GLASS		PAIR, DIVIDED LIGHT
104B	6'-0"	8'-0"	FRENCH	ALUMINUM / GLASS		PAIR, DIVIDED LIGHT
105A	2'-8"	8'-0"	FRENCH	ALUMINUM / GLASS		DIVIDED LIGHT, W/ 2'-8" SIDELIGHTS
108A	2'-8"	8'-0"	PANEL	WOOD		
109A	5′-0″	7'-0"	PANEL	WOOD		PAIR, PRIVACY LOCK
109B	9'-0"	8'-0"	FRENCH SLIDER	ALUMINUM / GLASS		3-PANEL, DIVIDED LIGHT
110A	2'-4"	8'-0"	PANEL	WOOD		
202A	5'-0"	8'-0"	PANEL	WOOD		PAIR, PRIVACY LOCK
203A	2'-8"	8'-0"	PANEL	WOOD		
203B	2'-4"	8'-0"		WOOD		
204A	2'-8"	8'-0"	PANEL	WOOD		
205A	2'-8"	7'-0"	PANEL	WOOD		PRIVACY LOCK
205B	2'-4"	7'-0"	PANEL	WOOD		
206A	2'-4"	7'-0"	PANEL	WOOD		
207A	2'-8"	7'-0"	PANEL	WOOD		PRIVACY LOCK
207B	2'-4"	7'-0"	PANEL	WOOD		
208A	2'-8"	7'-0"	PANEL	WOOD		PRIVACY LOCK
208B	2'-4"	7'-0"	PANEL	WOOD		
209A	2'-4"	7'-0"	PANEL	WOOD		
209B	2'-4"	7'-0"	PANEL	WOOD		PRIVACY LOCK
210A	5′-0″	7'-0"	SLIDER	WOOD		
211A	2'-8"	8'-0"	PANEL	WOOD		
211B	2'-8"	8'-0"	PANEL	WOOD		

WINDOW SCHEDULE:

WINDOW NO.	WIDTH	HEIGHT	HEADER	ТҮРЕ	MATERIAL	FINISH	REMARKS
002A	6'-0"	5'-0"	8'-0"	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
101A	6'-0"	9'-6"	9'-6"	CASEMENT	ALLUMINUM		DIVIDED LIGHT
101B	6'-0''	9'-6"	9'-6"	CASEMENT	ALLUMINUM		DIVIDED LIGHT
103B	2'-0''	4'-0''	8'-0"	CASEMENT	ALLUMINUM		DIVIDED LIGHT
104A	6'-0''	7'-6"	9'-6"	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
104B	9'-0''	7'-6''	9'-6"	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
104C	6'-0"	7'-6"	9'-6"	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
105A	9'-0"	5'-0''	8'-0"	TRIPLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
107A	9'-0"	7'-6"	9'-6"	TRIPLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
107B	6'-0"	7'-6"	9'-6"	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
107C	6'-0"	7'-6"	9'-6"	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
109A	4'-0"	4'-0''	8'-0"	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
110A	2'-0"	4'-0''	8'-0"	CASEMENT	ALLUMINUM		DIVIDED LIGHT
201A	6'-0"	7'-0''	7'-0''	FIXED PAIR	ALLUMINUM		DIVIDED LIGHT
201B	6'-0"	7'-0''	7'-0"	FIXED PAIR	ALLUMINUM		DIVIDED LIGHT
201C	6'-0"	7'-0''	7'-0"	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
201D	6'-0''	7'-0''	7'-0''	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
202A	9'-0"	8'-0''	8'-0"	FIXED TRIPLE	ALLUMINUM		DIVIDED LIGHT
202B	6'-0''	8'-0''	8'-0"	FIXED PAIR	ALLUMINUM		DIVIDED LIGHT
202C	6'-0"	8'-0''	8'-0"	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
203A	6'-0''	5'-6"	8'-0"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
203B	2'-0"	4'-0''	8'-0"	CASEMENT	ALLUMINUM		DIVIDED LIGHT
205A	8'-0"	5'-0''	7'-0''	TRIPLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
206B	5'-4"	5'-0''	7'-0''	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
207A	5'-4"	4'-6"	7'-0''	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
208A	5'-4"	4'-6"	7'-0''	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT
209A	2'-0"	3'-6"	7'-0''	CASEMENT	ALLUMINUM		DIVIDED LIGHT
210A	5'-4''	5'-0''	7'-0''	DOUBLE CASEMENT	ALLUMINUM		DIVIDED LIGHT

WSEC 2015 NOTES:

IN INSULATION MIN.

1. THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2015 PRESCRIPTIVE METHOD.

2. INSULATION VALUES SHALL BE AS FOLLOWS:

- A. ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.B. ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.
- C. ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.

 D. ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-
- E. ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.

 F. ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT
- INSULATION MIN.

 G. ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT
- INSULATION MIN @ INTERIOR FRAMED WALL. H. ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT
- INSULATION MIN.

 I. ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10
- RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.

 J. ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID
 INSULATION @ INTERIOR SIDE OF WALL.
- 3. RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
- 4. PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
- 5. PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION

 @ ALL BATHS + LAUNDRY.

 6. NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM
- EF OF 0.91 (WSEC 406.2, CREDIT 5c).

 7. AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE

PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL

- BE MECHANICALLY VENTED.

 8. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1

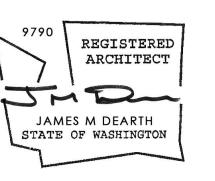
 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- 9. AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.



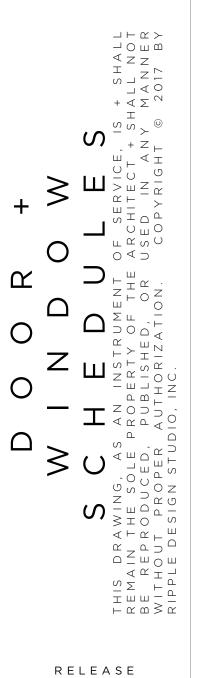
DESIGN STUDIO

4303 STONE WAY N SEATTLE, WA 98103

206.913.2333







BUILDING PERMIT 10 OCT 2017 The Following Apply Unless Noted Otherwise on the Drawings

Criteria

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE 2015 INTERNATIONAL BUILDING CODE

DESIGN LOAD CRITERIA

FLOOR LIVE LOAD (RESIDENTIAL) 40 PSF FLOOR LIVE LOAD (RESIDENTIAL DECKS) 60 PSF SNOW Pf=25 PSF WIND Iw=1.0, GCpi=0.18, 110 MPH

(ULTIMATE), EXPOSURE "B", KZT=1.84

EARTHQUAKE ANALYSIS PROCEDURE: **EQUIVALENT LATERAL** FORCE PROCEDURE LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS

BASE SHEAR (ALLOWABLE) V=18.19 KIPS SITE CRITERIA SITE CLASS=D, Ss=1.461, Sds=0.97,

SDC D, le=1.0, R=6.5

S1=0.56, SD1=0.56, Cs=0.107

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK, ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED
- 5. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
- 9. SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS. CONNECTOR PLATE WOOD ROOF TRUSSES

CONTRACTOR SHALL SUBMIT WALL ELEVATION DRAWINGS OF AT LEAST 1/8"=1'-0" SCALE INDICATING LOCATIONS OF CONNECTION EMBEDMENTS AND WALL OPENINGS FOR REVIEW PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH REINFORCEMENT SHOP DRAWINGS.

APPROVED SETS OF ALL SHOP DRAWINGS SHALL ALSO BE SUBMITTED TO THE BUILDING

10. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

Quality Assurance

1. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1704 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION IS REQUIRED OF THE FOLLOWING TYPES OF CONSTRUCTION:

EXPANSION BOLTS AND THREADED EXPANSION INSERTS PER MANUFACTURER **EPOXY GROUTED INSTALLATIONS** PER MANUFACTURER

- 2. UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705.12 OF THE INTERNATIONAL BUILDING
- A. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE RESISTING SYSTEM INCLUDING DRAG STRUTS, BRACES AND HOLDOWNS.

Geotechnical

1. CHOOSE ONE

1.1. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ONPLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS

ALLOWABLE SOIL PRESSURE 2000 PSF LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED) 55 PCF/35 PCF COEFICIENT OF FRICTION

(FACTOR OF SAFETY OF 1.5 INCLUDED) 0.3 PILE CAPACITY (COMPRESSION/TENSION/LATERAL)

SOILS REPORT REFERENCE: PanGEO, Inc. Project #14-206, Dated 2/4/16

Concrete

- CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905, 1906 AND ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c=3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. (STRUCTURAL DESIGN OF FOUNDATION IS BASED ON A f'c=2,500 PSI, PER IBC 1705.3.2.3, SPECIAL INSPECTION IS NOT REQUIRED.)
- 2. THE MINIMUM AMOUNTS OF CEMENT MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH IBC 1905.6. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY TO THE CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.
- 3. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH TABLE ACI 318 TABLE 4.2.1 MODERATE EXPOSURE.
- 4. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy=60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, fy=40,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM A615, GRADE 60, fy=60,000
- 5. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH "THE REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE." PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
- 6. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSEDTO EARTH FORMED SURFACES EXPOSED TO EARTH

OR WEATHER (#5 BARS OR SMALLER) 1-1/2" SLABS AND WALLS (INT. FACE) GREATER OF BAR DIAMETER

PLUS 1/8" OR 3/4" 7. CONCRETE WALL REINFORCING - PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE: 6" WALLS #4 @ 16 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN

8" WALLS #4 @ 12 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN 8. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.

9. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM).

Anchorage

- EXPANSION BOLTS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "KWIK BOLT TZ" AS MANUFACTURED BY THE HILTI CORP., INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-1917, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT INSTALLATION.
- 2. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "HIT RE 500-V3" AS MANUFACTURED BY HILTI CORP. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2322. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED.

Steel

- STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:
- A. EITHER AISC 360 AND SECTION 2205.2 OF THE INTERNATIONAL BUILDING CODE. B. MARCH 18, 2005 AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES,
- AMENDED AS FOLLOWS.
- AS NOTED IN THE CONTRACT DOCUMENTS.
- ii) BY THE DELETION OF PARAGRAPH 4.4.1.
- iii) REVISE REFERENCE FROM "STRUCTURAL DESIGN DRAWINGS" TO "CONTRACT DOCUMENTS" IN PARAGRAPH 3.1.
- 2. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.

STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: TYPE OF MEMBER ASTM SPECIFICATION WIDE FLANGE SHAPES A992 50 KSI OTHER SHAPES, PLATES, AND RODS A36 36 KSI A325-N CONNECTION BOLTS

(3/4" ROUND, UNLESS SHOWN OTHERWISE)

- 3. ALL A-325N CONNECTION BOLTS NEED ONLY BE TIGHTENED TO A SNUG TIGHT CONDITION, DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF AN IRONWORKER USING AN ORDINARY SPUD WRENCH.
- 4. ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND A.W.S. STANDARDS AND SHALL BE PERFORMED BY W.A.B.O. CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY A.W.S.) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES F AND 40 FT-LBS AT 70 DEGREES F, AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.

Wood

FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO.17. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS (2X & 3X MEMBERS) DOUGLAS FIR-LARCH NO. 2 AND BEAMS: MINIMUM BASE VALUE, Fb=900 PSI (4X MEMBERS) DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fb=900 PSI BEAMS: (INCL. 6X AND LARGER) DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb=1350 PSI

(4X MEMBERS) DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc=1350 PSI (6X AND LARGER) DOUGLAS FIR-LARCH NO. 1

MINIMUM BASE VALUE, Fc=1000 PSI

STUDS, PLATES & MISC. FRAMING: DOUGLAS-FIR-LARCH NO. 2

2. MANUFACTURED LUMBER, PSL, LVL, AND LSL, SHALL BE MANUFACTURED UNDER A PROCESS APPROVED BY THE NATIONAL RESEARCH BOARD. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL PSL, LVL, AND LSL LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH ICC-ES REPORT ESR-1387 USING DOUGLAS FIR VENEER GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. THE MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E) Fb=2900 PSI, E=2000 KSI, Fv=290 PSI Fb=2600 PSI ,E=1900 KSI, Fv=285 PSI LVL (1.9E) Fb=2325 PSI .E=1550 KSI, Fv=310 PSI LSL (1.55E)

DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY THE WEYERHAEUSER CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER, ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC. APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

PREFABRICATED PLYWOOD WEB JOISTS SHALL BE DESIGNED BY THE MANUFACTURER FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS AND SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED SPECIFICATIONS. ALL NECESSARY BRIDGING, BLOCKING, BLOCKING PANELS, STIFFENERS, ETC., SHALL BE DETAILED AND FURNISHED BY THE MANUFACTURER. SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. DESIGN SUBMITTALS SHALL BEAR THE STAMP AND SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER, STATE OF WASHINGTON. PERMANENT AND TEMPORARY BRIDGING SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS.

DESIGN SHOWN ON PLANS IS BASED ON JOISTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION. ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH PLYWOOD WEB JOIST PROVIDED.

PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:

TOP CHORD LIVE LOAD 25 PSF 10 PSF TOP CHORD DEAD LOAD 5 PSF BOTTOM CHORD DEAD LOAD 40 PSF TOTAL LOAD 5 PSF WIND UPLIFT (TOP CHORD) 10 PSF

BOTTOM CHORD LIVE LOAD (BOTTOM CHORD LIVE LOAD DOES NOT ACT CONCURENTLY WITH THE ROOF LIVE LOAD) WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANGNAIL OR EQUAL). SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC., SHOWN ON THE DRAWINGS. THE EXACT COMPOSITION OF SPECIAL HIP. VALLEY. AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

Wood (Con't)

- PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.
- A. ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16 B. FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.
- C. WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.
- D. REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.
- 7. PRESSURE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD. PRESSURE TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO A RENTION OF 0.25 PCF. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO A RETENTION OF 0.40 PCF. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO A RETENTION OF 0.60 PCF. SODIUM BORATE (SBX) TREATED WOOD SHALL NOT BE USED WHERE EXPOSED TO WEATHER. FASTENERS AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACQ-A, CBA-A, CA-B, OR SBX TREATED WOOD SHALL BE G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653. FASTENERS AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACZA TREATED WOOD SHALL BE TYPE 304 OR 316 STAINLESS STEEL.
- TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2015. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TII JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITT" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST
- WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.
- ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.
- WOOD FASTENERS A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAME
8d	2-1/2"	0.131"
10d	3"	0.148"
16d BOX	3-1/2"	0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

- B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (2005 EDITION) WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.
- 10. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE
 - A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS
 - B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

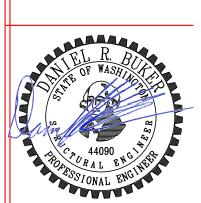
ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS @ 4" O.C. EACH

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER UNLESS OTHERWISE NOTED.

PO Box 55124 Seattle, WA 98155



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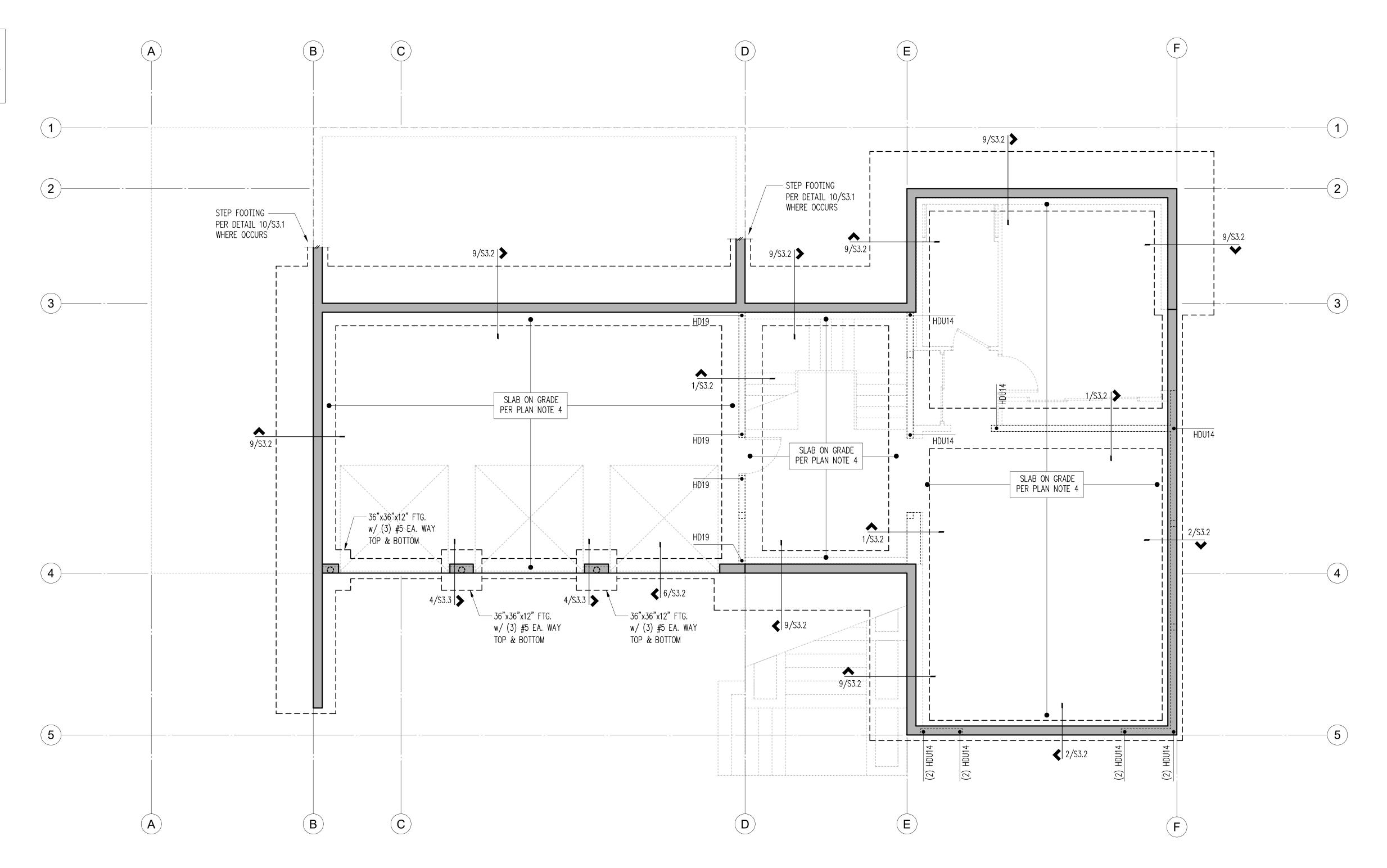
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No. Date Issue 7/13/17 Permit

Sheet Contents General Structural Notes

Sheet No

NOTE: FOUNDATION DESIGN BASED ON INSTALLATION OF AGGREGATE PIERS IN ACCORDANCE WITH RECOMENDATIONS OF GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER SHALL INSPECT AND APPROVE ALL SOIL CONDITIONS PRIOR TO FORMING FOUNDATIONS





Plan Notes

1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).

2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY

NOTED ON STRUCTURAL PLANS.

3. ALL FOOTINGS SHALL BEAR ON FIRM, NATIVE SOIL.

4. 4" CONCRETE SLAB ON GRADE REINFORCED WITH #3 @ 12"oc EACH WAY, CENTERED IN SLAB. PROVIDE A BASE OF 4" COMPACTED, CLEAN 3/4" MINUS GRAVEL COVERED WITH 4 MIL. VAPOR BARRIER. PROVIDE JOINTS PER 2/S3.1.

Plan Notes (Con't)

6. PROVIDE DRAINAGE BEHIND ALL FOUNDATION WALLS.

7. REINFORCE FOOTING AND WALL CORNERS AND INTERSECTIONS PER 6/S3.1.

8. "HDU_" REFERS TO HOLDOWNS PER 8/S3.1

9. REFER 5/S3.2 WHERE PIPES PENETRATE FOUNDATION.

10. CONTRACTOR TO STEP FOUNDATION AS REQ'D PER DETAIL 10/S3.1.

11. CONTRACTOR TO VERIFY TOP OF FOOTING ELEVATION w/ ARCHITECTURAL PLANS.

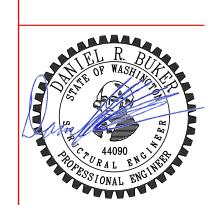
Legend

(N) CONCRETE WALL ABOVE THÍS LEVEL

---- (N) CONCRETE FOOTING

(N) SPAN DIRECTION ← ⇒ EXTENT OF SPAN JOIST or BEAM HANGER PROVIDE HU HANGER u.n.o. HD HOLDOWN TYPE

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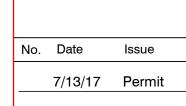
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No. Date Issue 7/13/17 Permit

Sheet Contents

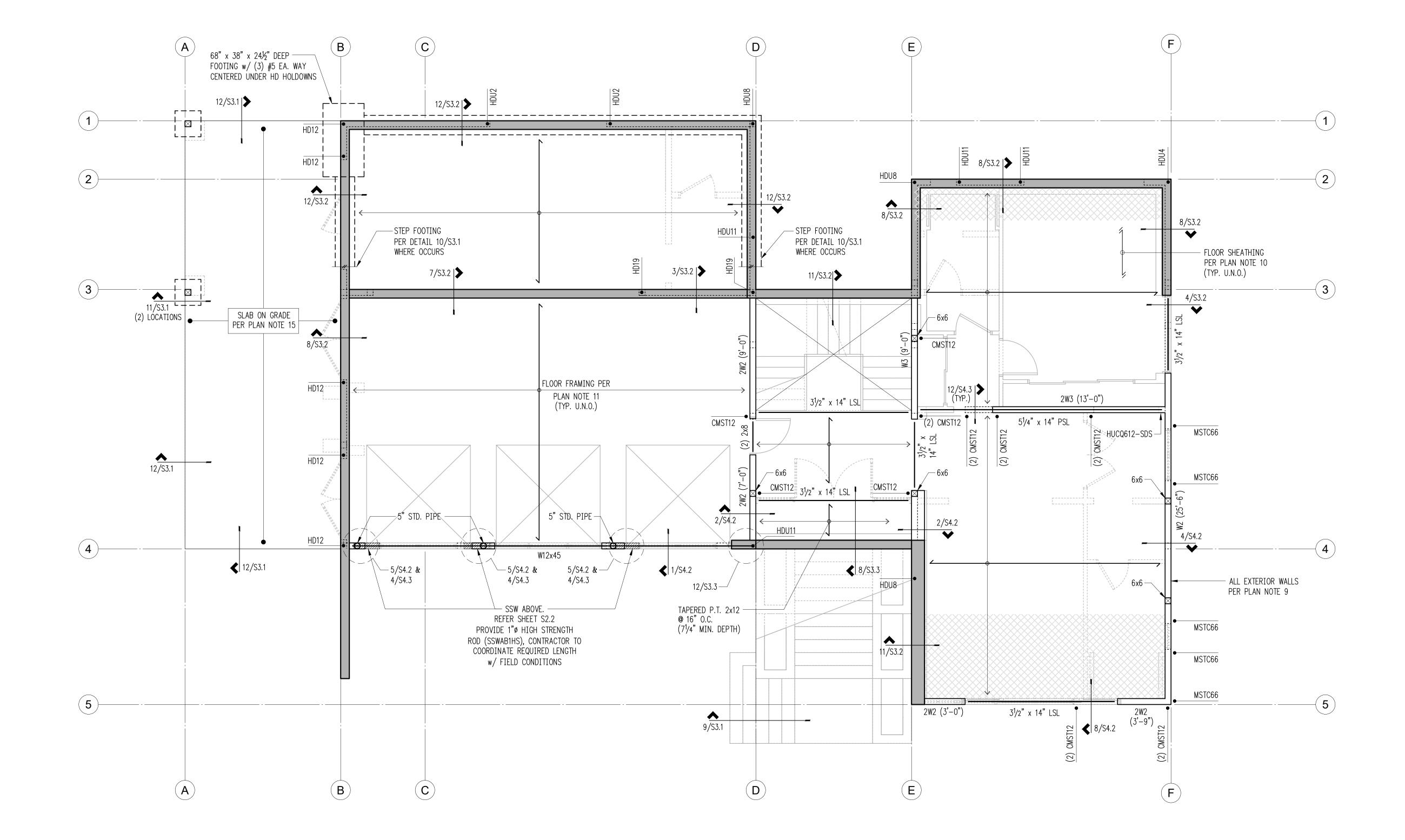
Foundation Plan

S2.0



Sheet Contents First Floor Framing Plan

Sheet No.



Plan Notes

1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).

- 2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
- 3. ALL FOOTINGS SHALL BEAR ON FIRM, NATIVE SOIL.
- 4. PROVIDE DRAINAGE BEHIND ALL FOUNDATION WALLS.
- 5. REINFORCE FOOTING AND WALL CORNERS AND INTERSECTIONS PER 6/S3.1.
- 6. "HDU_" REFERS TO HOLDOWNS PER 8/S3.1
- 7. REFER 5/S3.2 WHERE PIPES PENETRATE FOUNDATION.

Plan Notes (Con't)

- 8. CONTRACTOR TO VERIFY TOP OF FOOTING ELEVATION w/ ARCHITECTURAL PLANS.
- 9. "W#" REFERS TO SHEARWALL TYPE PER 3/S4.1 & 7/S4.1. ALL OTHER NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(X-X)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
- 10. FLOOR SHEATHING SHALL BE 11/8" T&G PLYWOOD SHEATHING WITH 48/24 SPAN RATING. NAIL FRAMED PANEL EDGES W/ 8d COMMON (0.131"dia. x 2½") @ 6"oc, FIELD @ 12"oc. (REFER TO 9/S4.1)
- 11. FLOOR FRAMING TO BE 14" TJI/210 @ 16"oc (U.N.O.)
- 12. "MSTC66" & "CS16" REFER TO 60" LONG HOLDOWNS PER 11/S4.2 & 7/S4.2 RESPECTIVELY.

Plan Notes (Con't)

13. PROVIDE TOP PLATE SPLICES PER 1/S4.1

4 MIL. VAPOR BARRIER. PROVIDE JOINTS PER 2/S3.1.

- 14. REFER TO 11/S4.1 AT SHEARWALL INTERSECTIONS. 15. 4" CONCRETE SLAB ON GRADE REINFORCED WITH #3 @ 12"oc EACH WAY, CENTERED IN SLAB. PROVIDE A BASE OF 4" COMPACTED, CLEAN 3/4" MINUS GRAVEL COVERED WITH
- 16. "SSW#" REFERS TO SIMPSON STRONGWALL. COORDINATE WALL HEIGHT WITH ARCHITECTURAL PLANS. REFER TO SSW1, SSW2 & 5/S4.2 FOR DETAILS. CONTRACTOR TO VERIFY REQ'D HEIGHT PRIOR TO PURCHASE.
- 17. "D.S." REFERS TO DRAG STRUT. NAIL FLOOR SHEATHING TO DRAG STRUT WITH (2) ROWS OF 8d COMMON (0.131"dia. x $2^{1}/2$ ") @ 4"oc. (REFER TO 5/S4.1)

Legend

	STRUCTURAL WOOD WALL or POST BELOW THIS LEVEL
[]]	STRUCTURAL WOOD WALL or
[]]	POST ABOVE THIS LEVEL

---- CONCRETE FOOTING AT

____ THIS LEVEL

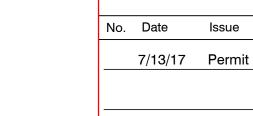
CONCRETE WALL ABOVE THIS LEVEL

SPAN DIRECTION < → → EXTENT OF SPAN JOIST or BEAM HANGER HOLDOWN TYPE

First Floor Framing Plan

BLOCK DIAPH. 2X'S LAID FLAT @ ALL PANEL EDGES. 8D @ 4"OC @ ALL PANEL EDGES & 12"OC IN FIELD. (REFER TO 9/S4.1)

S2.1

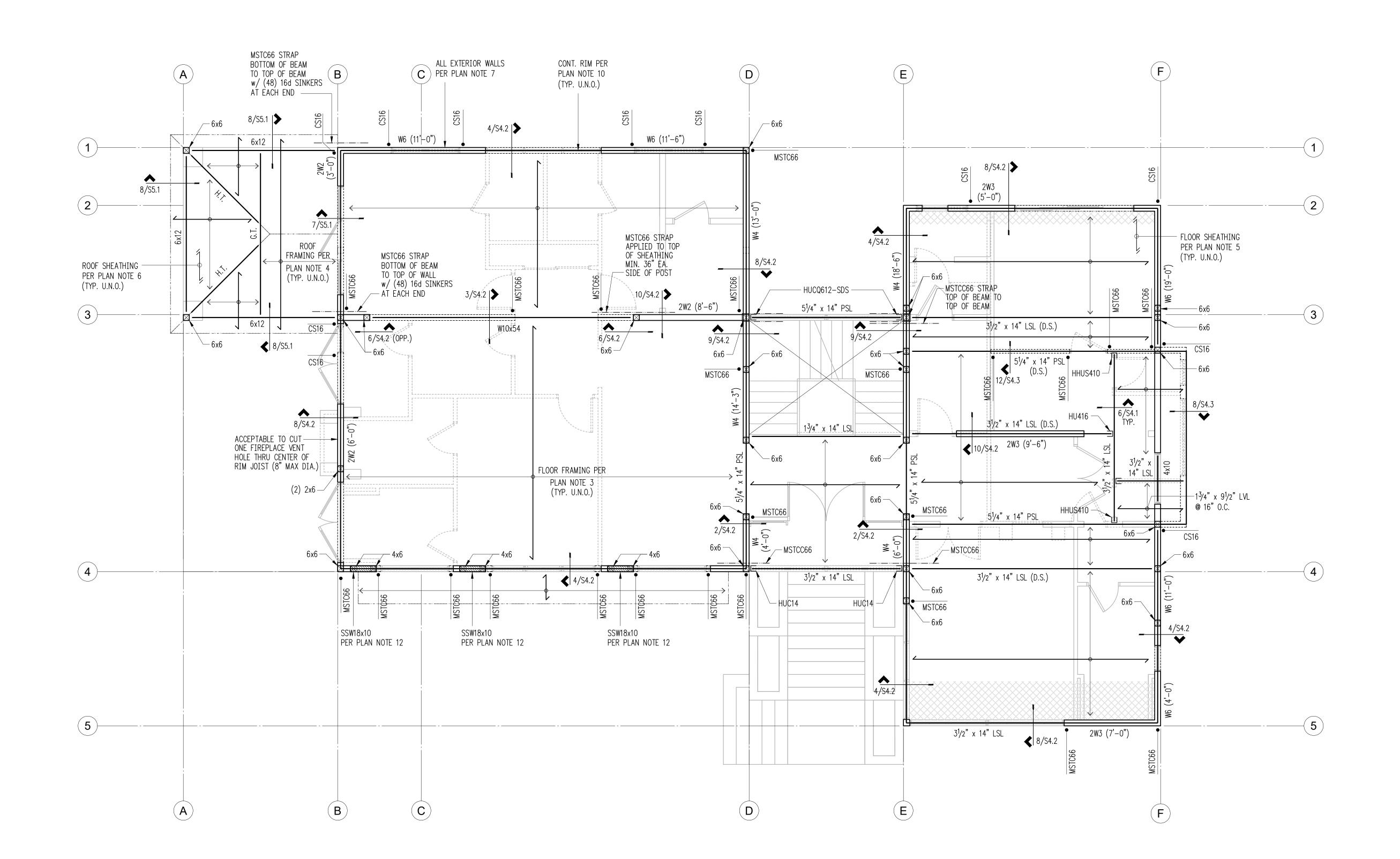


Sheet Contents

Second Floor Framing Plan

Sheet No.

S2.2



Second Floor Framing Plan

Plan Notes

- 1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
- 3. FLOOR FRAMING TO BE 14" TJI/210 @ 16"oc (U.N.O.)
- 4. ROOF FRAMING (where occurs) SHALL BE PRE-MANUFACTURED ROOF TRUSSES @ 24"oc. (Truss design by others).
- 5. FLOOR SHEATHING SHALL BE 11/8" T&G PLYWOOD SHEATHING WITH 48/24 SPAN RATING. NAIL FRAMED PANEL EDGES W/8d COMMON (0.131"dia. x 2½") @ 6"oc, FIELD @ 12"oc. (REFER TO 9/S4.1)

Plan Notes (Con't)

- 6. ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD SHEATHING WITH 40/20 SPAN RATING. NAIL FRAMED PANEL EDGES W/ 8d COMMON (0.131"dia. \times 2 1 /2") @ 6"oc, FIELD @ 12"oc. (REFER TO 9/S4.1)
- 7. "W#" REFERS TO SHEARWALL TYPE PER 3/S4.1 & 7/S4.1. ALL OTHER NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(X-X)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
- 8. "MSTC66" & "CS16" REFER TO HOLDOWNS PER 11/S4.2 & 7/S4.2 RESPECTIVELY.
- 9. PROVIDE TOP PLATE SPLICES PER 1/S4.1

Plan Notes (Con't)

- 10. AT EXTERIOR WALLS, PROVIDE CONTINUOUS FLUSH FRAMED 31/2" X 14" LSL STRUCTURAL RIM JOIST, UNLESS NOTED OTHERWISE. RIM JOISTS OVER OPENINGS SHALL BE CONTINUOUS w/ NO SPLICES. REFER TO 4/S4.2 & 8/S4.2.
- 11. REFER TO 11/S4.1 AT SHEARWALL INTERSECTIONS.
- 12. "SSW#" REFERS TO SIMPSON STRONGWALL. COORDINATE WALL HEIGHT WITH ARCHITECTURAL PLANS. REFER TO SSW1, SSW2 & 5/S4.2 FOR DETAILS. CONTRACTOR TO VERIFY REQ'D HEIGHT PRIOR TO PURCHASE.
- 13. "D.S." REFERS TO DRAG STRUT. NAIL FLOOR SHEATHING TO DRAG STRUT WITH (2) ROWS OF 8d COMMON (0.131"dia. x $2^{1}/2$ ") @ 4"oc. (REFER TO 5/S4.1)

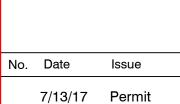
Legend

	STRUCTURAL WOOD WALL or POST BELOW THIS LEVEL
[]	STRUCTURAL WOOD WALL or POST ABOVE THIS LEVEL

HD HOLDOWN TYPE

H.T. HIP TRUSS

BLOCK DIAPH. SPAN DIRECTION 2X'S LAID FLAT @ ALL PANEL < → → EXTENT OF SPAN EDGES. 8D @ 4"OC @ ALL PANEL EDGES & 12"OC IN JOIST or BEAM HANGER FIELD. (REFER TO 9/S4.1) GIRDER TRUSS

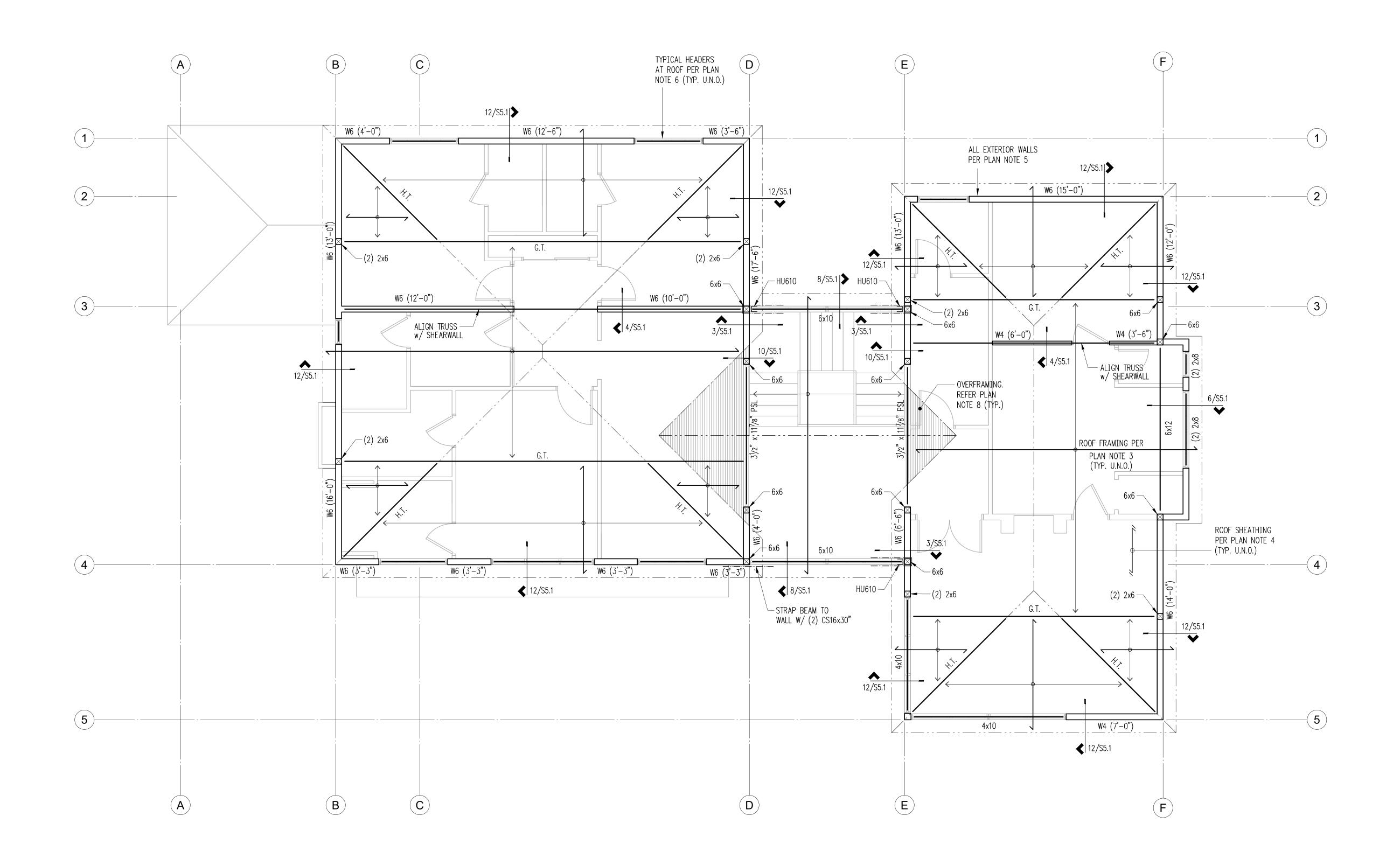


Sheet Contents

Roof Framing Plan

Roof Framing Plan

S2.3



Plan Notes

- 1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
- 3. ROOF FRAMING SHALL BE PRE-MANUFACTURED ROOF TRUSSES @ 24"oc. (TRUSS DESIGN BY OTHERS).
- 4. ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD SHEATHING WITH 40/20 SPAN RATING. NAIL FRAMED PANEL EDGES W/ 8d COMMON (0.131"dia. x 2½") @ 6"oc, FIELD @ 12"oc. (REFER TO 9/S4.1)

Plan Notes (Con't)

- 5. "W#" REFERS TO SHEARWALL TYPE PER 3/S4.1 & 7/S4.1. ALL OTHER NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(X-X)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
- 6. ALL HEADERS AT ROOF NOT NOTED OTHERWISE ON PLAN SHALL BE (2) 2X8. (REFER TO DETAIL 2/S4.1)
- 7. PROVIDE TOP PLATE SPLICES PER 1/S4.1
- 8. WHERE OVERFRAMING IS INDICATED, OVERFRAME WITH 2x6 @ 24" O.C. w/4'-0" MAX. SPAN. (REFER TO DETAIL 11/S5.1)

Legend

STRUCTURAL WOOD WALL or

SPAN DIRECTION

<──→ EXTENT OF SPAN

G.T. GIRDER TRUSS

JOIST or BEAM HANGER

H.T. HIP TRUSS

FOR F'c = 2500 psi, GRADE 60 REINFORCING

MINIMUM STRAIGHT DEVELOPMENT LENGTH (&d)									
BAR SIZE	TOP BARS	OTHER BARS							
#3	23"	18"							
#4	31"	24"							
#5	40"	30"							
#6	47"	36"							
#7	68"	53"							
#8	78"	60"							
#9	88"	68"							
#10	99"	77"							

MINIMUM LAP SPLICE LENGTHS (ℓs)						
BAR SIZE	TOP BARS	OTHER BARS				
#3	31"	23"				
#4	41"	31"				
#5	51"	40"				
#6	62"	47"				
#7	89"	68"				
#8	102"	78"				
#9	114"	88"				
#10	130"	99"				
#11	143"	110"				

110"

CONCRETE CAST BELOW THEM. IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR, OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMTERS,

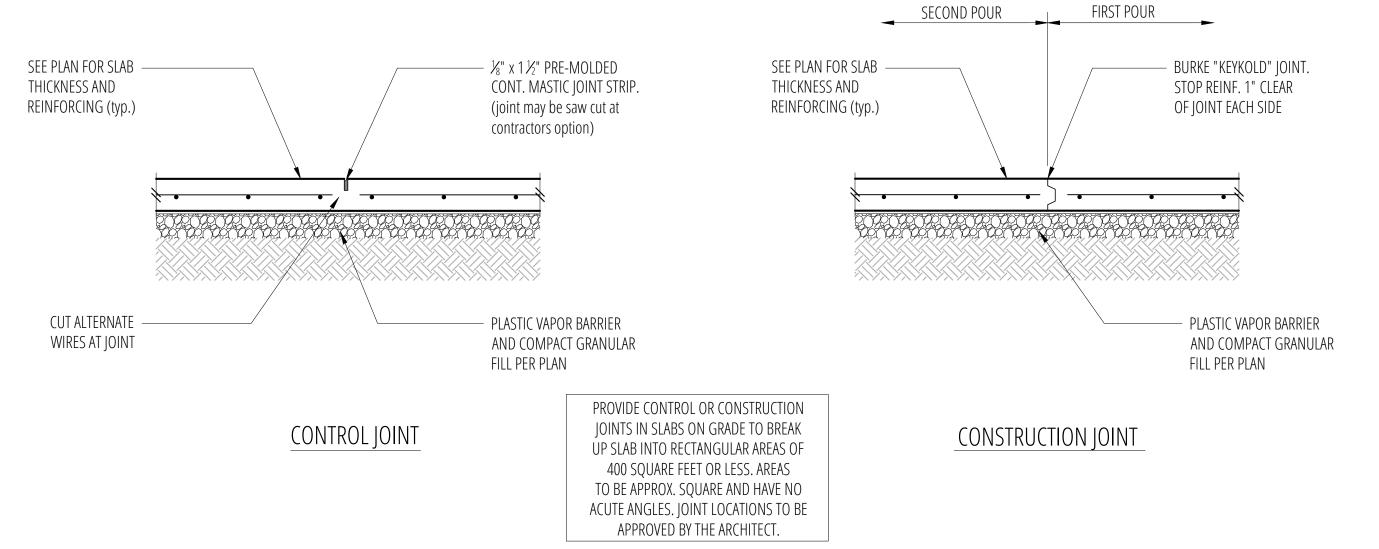
TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF

THEN LENGTHS SHALL BE INCREASED BY 50%

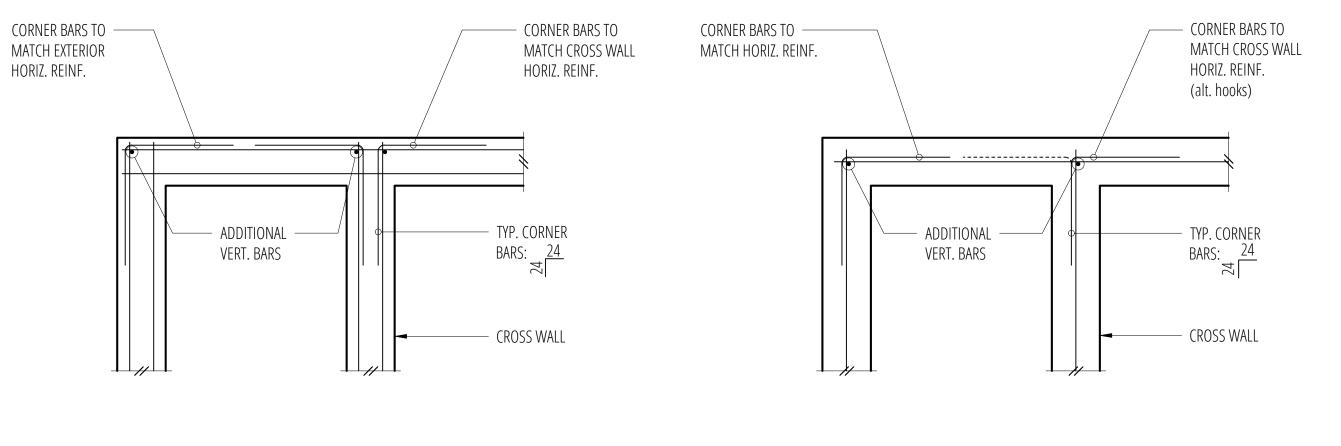
MINIMUM EMBEDMENT LENGTHS (\rblackdh) LUD CIVNDADD LND HUUKC

	FOR STANDARD END HOOKS
BAR SIZE	LENGTH
#3	7"
#4	9"
#5	11"
#6	13"
#7	14"
#8	17"
#9	19"
#10	21"
#11	24"

- 1. SIDE COVER MUST BE EQUAL TO OR GREATER THAN $2\frac{1}{2}$ "
- 2. END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN 2"



Typical Slab Joints



DOUBLE CURTAIN SINGLE CURTAIN

SHEARWALL PER PLAN EDGE NAIL PER SHEARWALL SCHEDULE HOLDOWN POST PER SCHEDULE BELOW - HDU HOLDOWN FRAMING CONTINUES WHERE OCCURS ANCHOR BOLTS PER SCHEDULE BELOW

Holdown Schedule

Plan	Screws	Anchor	A.B.	Holdowi	Capacity	
Mark	2CLGM2	Bolt ②	Embed	IF 2x4	IF 2x6	'# ´
HDU2-SDS2.5	(6) SDS ½" x 2½"	SSTB16	12 1/8"	(2) 2x4	4x6	2215/3075
HDU4-SDS2.5	(10) SDS ½" x 2½"	SB	18"	4x4	4x6	4565
HDU5-SDS2.5	(14) SDS ¼" x 2 ½"	SB % x 24	18"	4x4	4x6	5645
HDU8-SDS2.5	(20) SDS ¼" x 2 ½"	SB ⅓ x 24	18"	4x4	4x6	6970
HDU11-SDS2.5	(30) SDS ¼" x 2 ½"	SB 1 x 30	24"	4x8	6x6	9535
HDU14-SDS2.5	(36) SDS ¼" x 2½"	SB 1⅓ x 30	30"	N/A	6x6	10770
HD12	(4) 1"ø THRU BOLTS	PAB9H	18½"	N/A	6x6	21620+
HD19	(5) 1"ø THRU BOLTS	PAB10H	21"	N/A	6x6	26690+

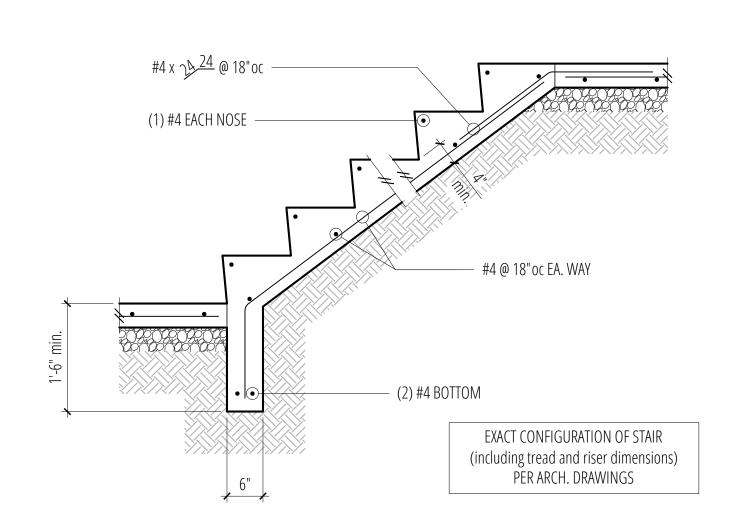
1 MINIMUM SIZE OF POST AT END OF WALL UNLESS NOTED OTHERWISE ON FRAMING PLANS.

8 Typical HDU Holdown
SCALE: 3/4"=1'-0"

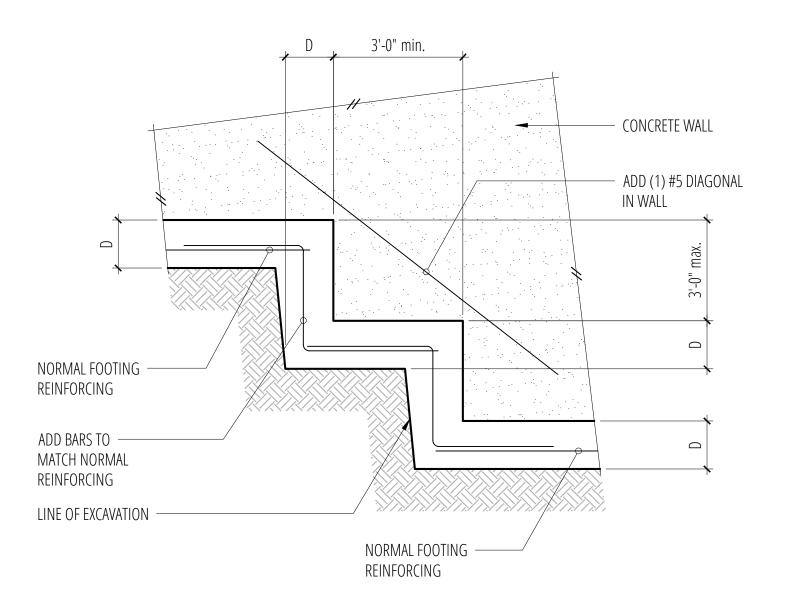
② "SSTB" & "SB" REFER TO ANCHOR BOLTS BY SIMPSON STRONG-TIE. INSTALL PER MANUFACTURER.

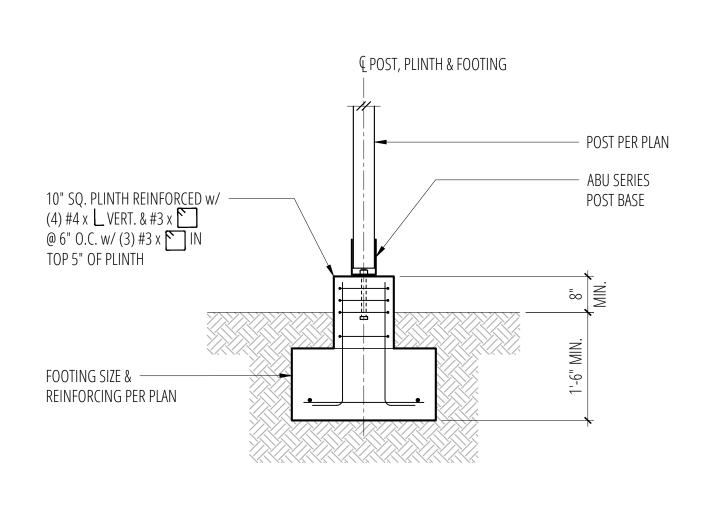
Typical Lap Splice & Development Length





Typical Corner Bars at Concrete Walls and Footings





SEE PLAN FOR SLAB THICKNESS AND REINFORCING (typ.) — PLASTIC VAPOR BARRIER AND COMPACTED GRANULAR FILL PER PLAN

Typical Stair on Grade

SCALE: 3/4"=1'-0"

Typical Stepped Footing

SCALE: 3/4"=1'-0"

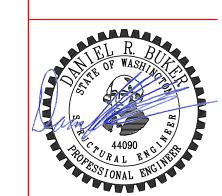
Post or Canopy Footing

SCALE: 3/4"=1'-0"

Typical Slab Edge

SCALE: 3/4"=1'-0"

ENGINEERING PO Box 55124 Seattle, WA 98155



Parcel ercer East Me

Way 4, 98040

No. Date 7/13/17 Permit

Sheet Contents Concrete Details

Sheet No.

A35 PER SHEARWALL

WHERE JOISTS ARE

PARALLEL, PROVIDE

(2) 16d THRU EACH

− P.T. 2x6 PLATE w/ A.B.

PER SHEARWALL SCHEDULE

(⁵/₈"ø @ 48" O.C. ELSEWHERE)

JOIST OR BLOCK

- (2) #4 CONT. TOP

(1 EA. SIDE OF A.B.)

PER SHEARWALL SCHEDULE

(¾"ø@48" O.C. ELSEWHERE)

LSL BLOCKING @ 48" O.C.

SCHEDULE

Parcel Way \, 98040 ercer 5 E Mere Island,

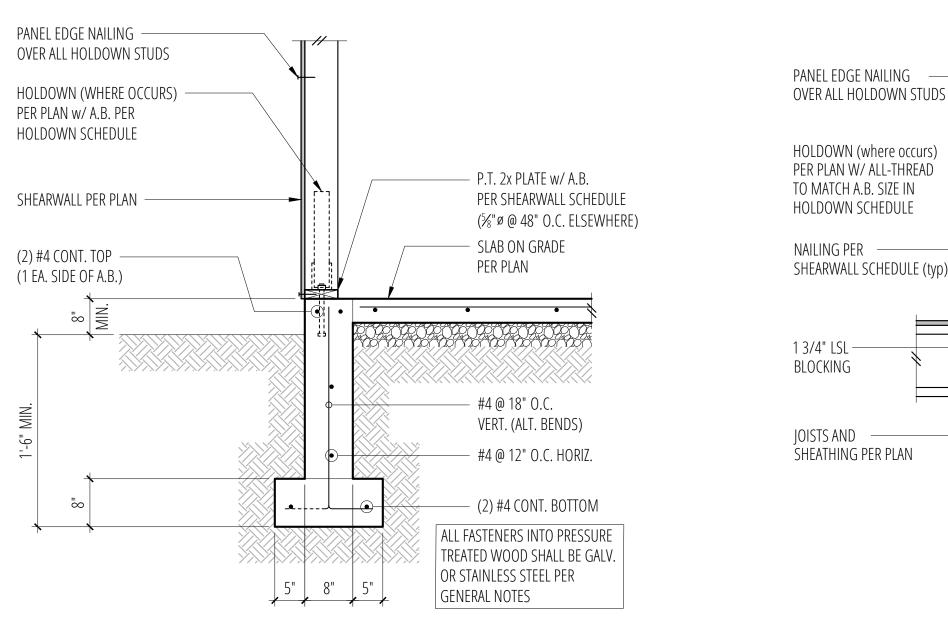
 \geq East

No. Date 7/13/17 Permit

Sheet Contents **Concrete Details**

Sheet No.

S3.2



- #4 x **_** GR. 40

- SEE PLAN FOR SLAB

REINFORCING (typ.)

THICKNESS AND

@ 4'-0"oc

– (2) #4 CONT.

FOOTING REINFORCING

LONGIT.

(2) #4

(2) #4

(3) #4

(4) #4

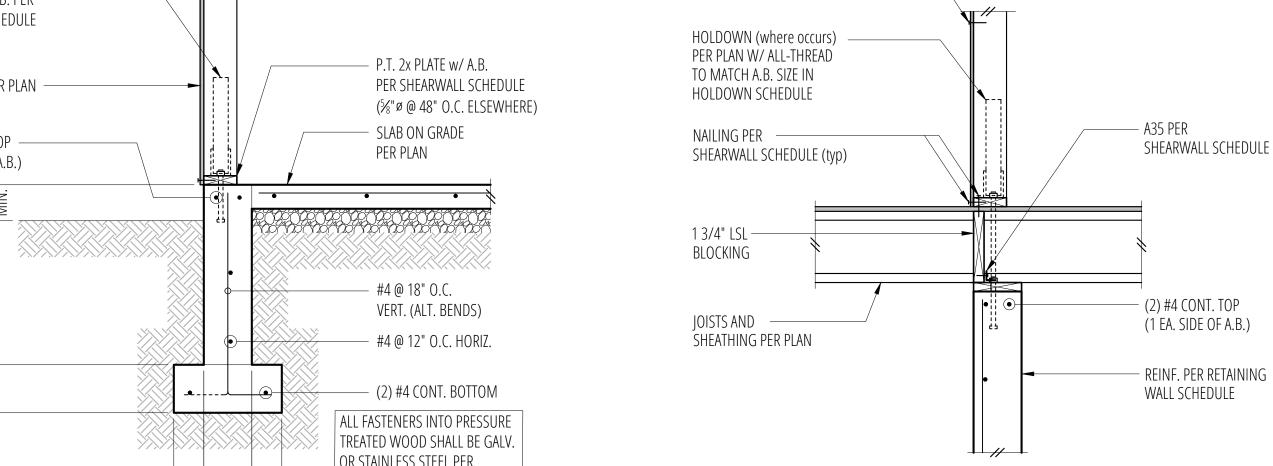
(5) #4

(5) #5

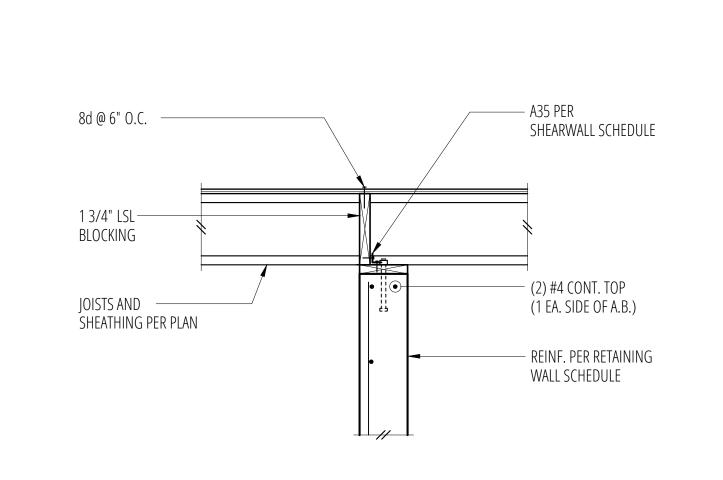
(6) #5

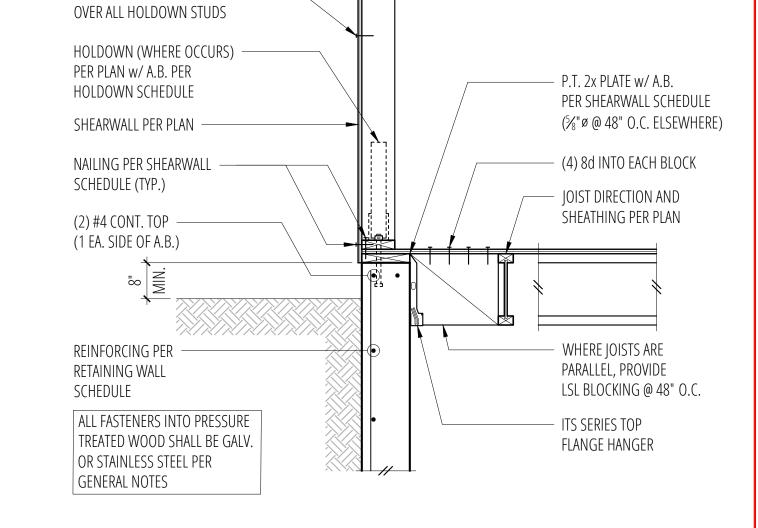
(7) #5

(8) #5









Exterior Framing at Basement (Dropped Joist)

Exterior Framing at Basement (w/ Pony Wall)

PANEL EDGE NAILING OVER ALL HOLDOWN STUDS

HOLDOWN (WHERE OCCURS)

PER PLAN w/ ALL-THREAD

TO MATCH A.B. SIZE IN

HOLDOWN SCHEDULE

SHEARWALL PER PLAN

SCHEDULE (TYP.)

1¾" LSL RIM JOIST

SHEATHE AND NAIL

DBL. STUD EA. SIDE

REINFORCING PER

ALL FASTENERS INTO PRESSURE

TREATED WOOD SHALL BE GALV.

SCALE: 3/4"=1'-0"

OR STAINLESS STEEL PER

PANEL EDGE NAILING -

PANEL EDGE NAILING OVER ALL HOLDOWN STUDS

HOLDOWN (where occurs)

RETAINING WALL SCHEDULE

GENERAL NOTES

OF ALL-THREADS

PONY WALL TO MATCH

WALL ABOVE. PROVIDE

NAILING PER SHEARWALL



STEM REINFORCING

#4 @ 18" O.C. | #4 @ 12" O.C.

#4 @ 18" O.C.

#4 @ 18" O.C.

10" #4 @ 18" O.C.

10" #4 @ 12" O.C.

12" #5 @ 12" O.C.

13" | #5 @ 12" O.C. |

#4 @ 12" O.C.

#4 @ 12" O.C.

#4 @ 12" O.C.

#4 @ 12" O.C.

15" #6 @ 12" O.C. #4 @ 12" O.C. #4 @ 18" O.C.

15" | #6 @ 12" O.C. | #4 @ 10" O.C. | #4 @ 18" O.C.

#4 @ 12" O.C. | #5 @ 18" O.C.

#4 @ 12" O.C. | #4 @ 18" O.C.

5" 8" 5"

Exterior Wall w/ Slab on Grade

SCALE: 3/4"=1'-0"

FACE OF WALL BEYOND

#4 CONT. AT OPENINGS

RETAINING WALL SCHEDULE w/ SLAB

3'-0"

4'-0"

5'-0"

6'-0"

7'-0"

8'-0"

9'-0"

10'-0"

11'-0"

4'-3"

10"

B2

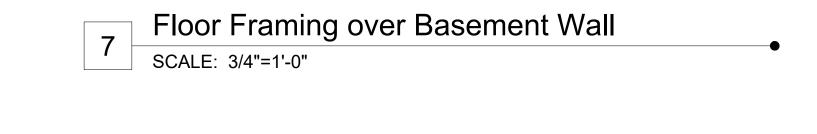
1'-0"

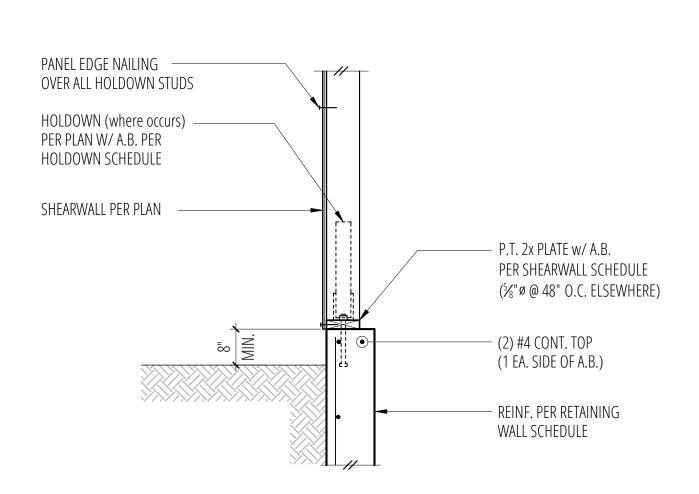
1'-3"

1'-6"

2'-0"

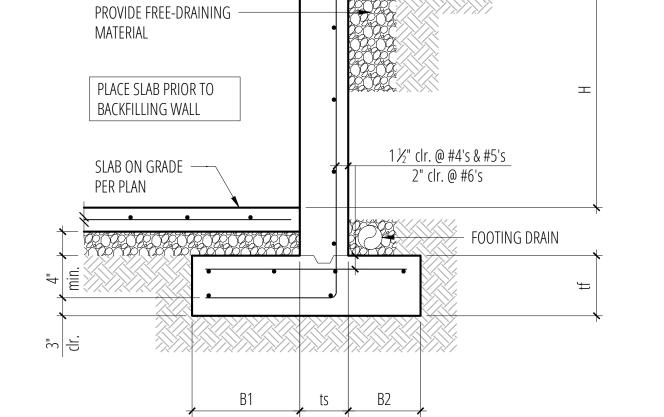
4'-9" 10" 2'-3" 15"





EDGE NAILING ————————————————————————————————————		PER PLAN W/ A.B. PER HOLDOWN SCHEDULE PER SHEARWALL SCH (%" Ø @ 48" O.C. ELSE	HEDU
WN (where occurs) AN W/ A.B. PER WN SCHEDULE		NAILING PER SHEARWALL SCHEDULE (typ.) (2) #4 CONT. TOP (1 ea. side of a.b.)	D
WALL PER PLAN	P.T. 2x PLATE w/ A.B. PER SHEARWALL SCHEDULE (⅓" Ø @ 48" O.C. ELSEWHERE) (2) #4 CONT. TOP (1 EA. SIDE OF A.B.) REINF. PER RETAINING WALL SCHEDULE	#4 @ 12" oc HORIZ. #4 @ 18" oc VERT.(alt. bends) (2) #4 CONT. BOT. #4 @ 12" oc WHERE JOISTS ARE PARALLEL PROVIDE LSL BLKG. @ 48" oc LSL BLKG. @ 48" oc LSL BLKG. @ 48" oc VERT.(alt. bends) ALL FASTENERS INTO PRESSUR TREATED WOOD SHALL BE GAL OR STAINLESS STEEL PER GENERAL NOTES	

Stud Wall at Top of Basement Wall SCALE: 3/4"=1'-0"
SCALE: 3/4"=1'-0"



Retaining Wall Schedule with Slab on Grade

SCALE: 3/4"=1'-0"

PANEL EDGE NAILING

OVER ALL HOLDOWN STUDS

HOLDOWN (where occurs)

PER PLAN W/ A.B. PER

HOLDOWN SCHEDULE

SHEARWALL PER PLAN

ALL FASTENERS INTO PRESSURE

TREATED WOOD SHALL BE GALV.

OR STAINLESS STEEL PER

GENERAL NOTES

SHEATHING CAN BE

PLACED ON EITHER

P.T. 2x PLATE w/ A.B.

PER SHEARWALL SCHEDULE

(½"ø @ 48" O.C. ELSEWHERE)

SIDE OF WALL

SLAB ON GRADE PER PLAN

(ALTERNATE DIRECTION

OF CROSSTIE HOOKS)

– #4 @ 10" O.C

(5) #4 CONT.

TOP & BOTTOM

#4 @ 10" O.C.

EXCAVATION NOT

THIS LINE

ALLOWED BELOW

3'-0"

Interior Wall w/ Thickened Footing

PIPE SLEEVES

AS REQD.

- DO NOT PASS PIPES

THRU THIS AREA

2'-0" min.

Pipe and Trench Locations

Exterior Framing (Dropped Joist) SCALE: 3/4"=1'-0"

PO Box 55124 Seattle, WA 98155



Parcel

East Mercer

8375 E Mercer Way Mercer Island, WA, 98040

Baseplate Connection at Steel Column

EXTERIOR WALL ABOVE STEP PER ARCH. BEAM PER PLAN CONCRETE SLAB PER ARCH. (3" DEPTH MAX.) STAIR ON GRADE
PER 9/S3.1 WHERE OCCURS
COORDINATE w/ ARCH. — JOISTS AND SHEATHING PER PLAN – HU7 @ EA. JOIST P.T. 4x12 LEDGER
FASTENED w/ 3/4"ø
EPOXY ANCHORS @ 16" O.C. &
@ 12" O.C. (EMBED 3 1/2" MIN)

– REINF. PER RETAINING WALL SCHEDULE

Slab on Grade / Framing at Entry

P.T. 2x PLATE W/ A.B. — PER SHEARWALL SCHEDULE (5/8"ø @ 48" oc elsewhere) FLOOR SHEATHING PER PLAN 4x NAILER AND SHIM PER DETAIL 1/S4.2 STEEL BEAM PER PLAN (4) 3/4" A.B. -1'-3" MIN.

Steel Beam Pocket at Retaining Wall

SCALE: 3/4"=1'-0"

Sheet Contents Concrete Details

No. Date Issue

7/13/17 Permit

Sheet No.

S3.3

9 SCALE: 3/4"=1'-0"

10 SCALE: 3/4"=1'-0"

11 SCALE: 3/4"=1'-0"

AT CONCRETE

⅓" ø A.B. @ 48" OC

5⁄8" ø A.B. @ 32" OC

⅓" ø A.B. @ 16" OC

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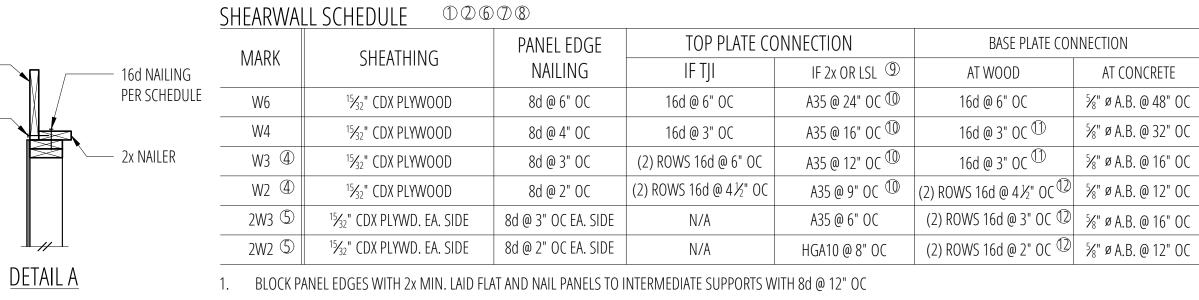
East

No. Date 7/13/17 Permit

Sheet Contents Floor Framing

Sheet No.

S4.⁻



- 8d NAILS SHALL BE 0.131" Ø x 2½" (COMMON) 16d NAILS SHALL BE 0.135" Ø x 3½" (BOX)
- EMBED ANCHOR BOLTS AT LEAST 7" EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" PLATE WASHERS. 4. 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED
- FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES. 3x FOUNDATION SILL PLATES ARE REQUIRED FOR 2W3 AND 2W2. 3x STUDS ARE REQUIRED AT ABUTTING PANEL EDGES AND PANEL JOINTS SHALL BE OFFSET EACH SIDE OF WALL. STAGGER NAILS AT ADJOINING PANEL EDGES. 3x STUDS, MIN., REQUIRED AT END OF SHEARWALL.
- 6. TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SINGLE-SIDED SHEARWALLS. ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- 7. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE
- 9. LTP4'S MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- 10. A 2X NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- 11. STAGGER NAILS IN ROW W/ ½" MIN. OFFSET.

8. $\frac{1}{16}$ " O.S.B. MAY BE SUBSTITUTED FOR $\frac{15}{32}$ " CDX.

- 12. MINIMUM OFFSET BETWEEN ROWS $\frac{1}{2}$ ", AND MINIMUM RIM OR JOIST 3 $\frac{1}{2}$ " WIDE.
- EDGE EDGE NAILING OVER EA. STUD 16d NAILING PER SCHEDULE **DETAIL B**

PLAN VIEW AT ABUTTING PANEL EDGES OF W3 & W2

2x OR LSL -

16d NAILING

PER SCHEDULE

TYP. DOUBLE TOP PLATE

BEAM OR HEADER

WHERE OPENING IS LESS

(1) BEARING STUD U.N.O.

THAN 6'-0" PROVIDE

PER PLAN

Typical Top Plate Splice

6'-0" MIN. BETWEEN SPLICES

SPLICE TO OCCUR AT (

OF VERT. STUD TYP.

(8) 16d @ 4" O.C. STAGGERED

AT EACH SIDE OF SPLICE

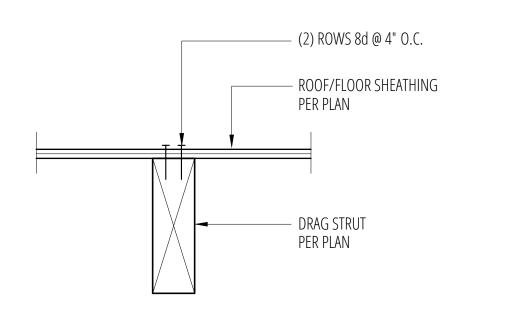
BOTTOM CHORD SPLICE

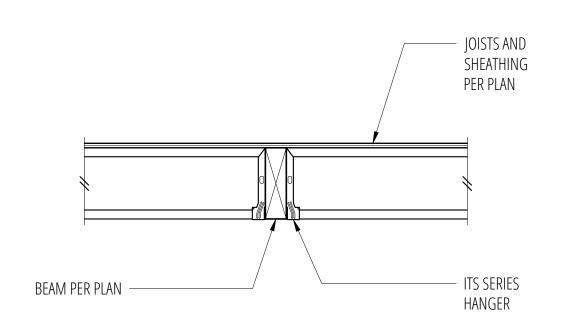
— TOP CHORD SPLICE

16d @ 12"O.C. STAGGERED

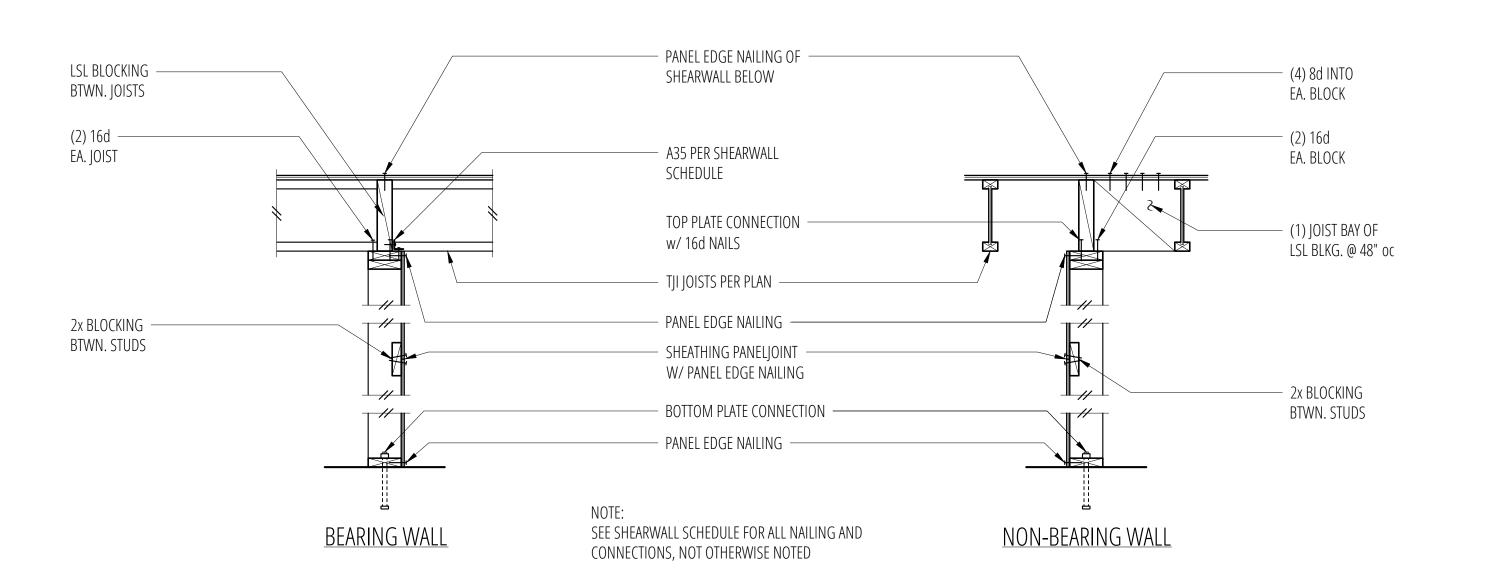
ELSEWHERE

Typical Header Support





Shearwall Schedule SCALE: N.T.S.





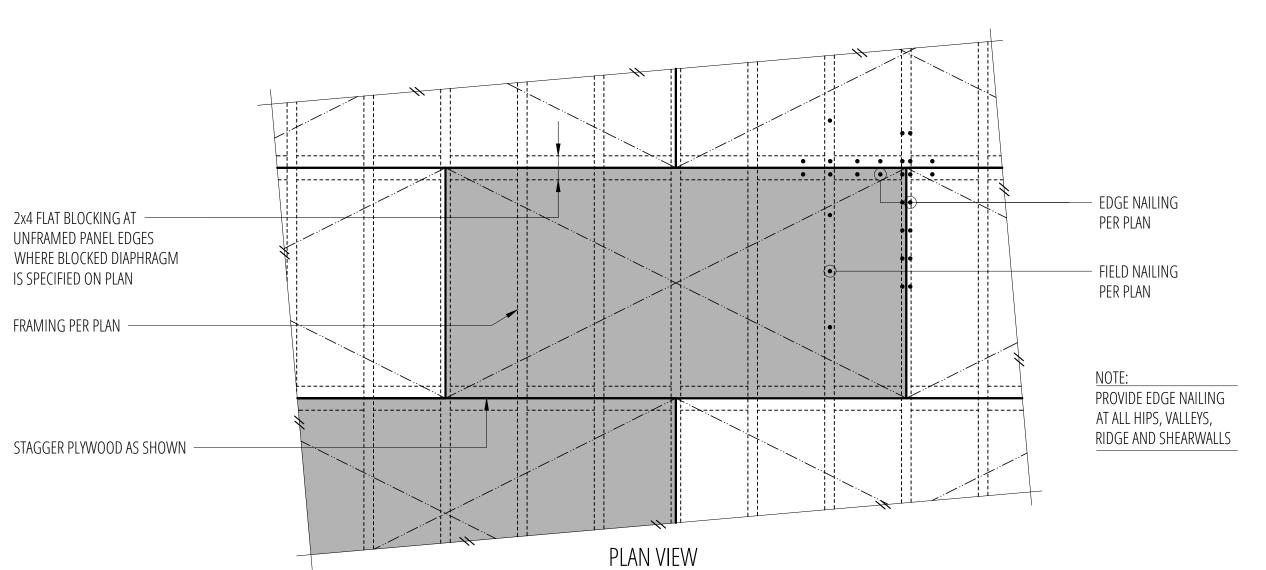
Typical Flush Beam

A35 (at exterior walls only)

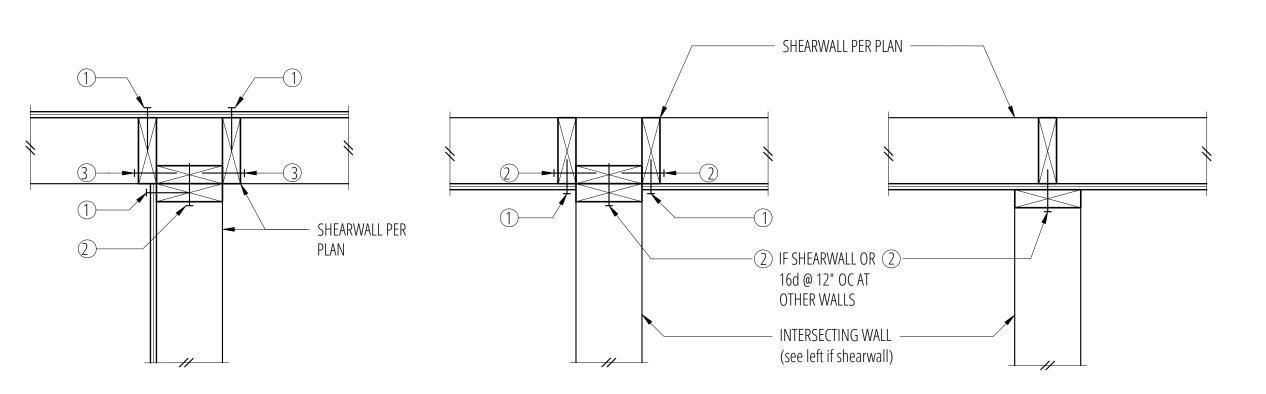
OMIT @ HEADERS < 6"-0"

(6) 16d -

TYP. STUDS



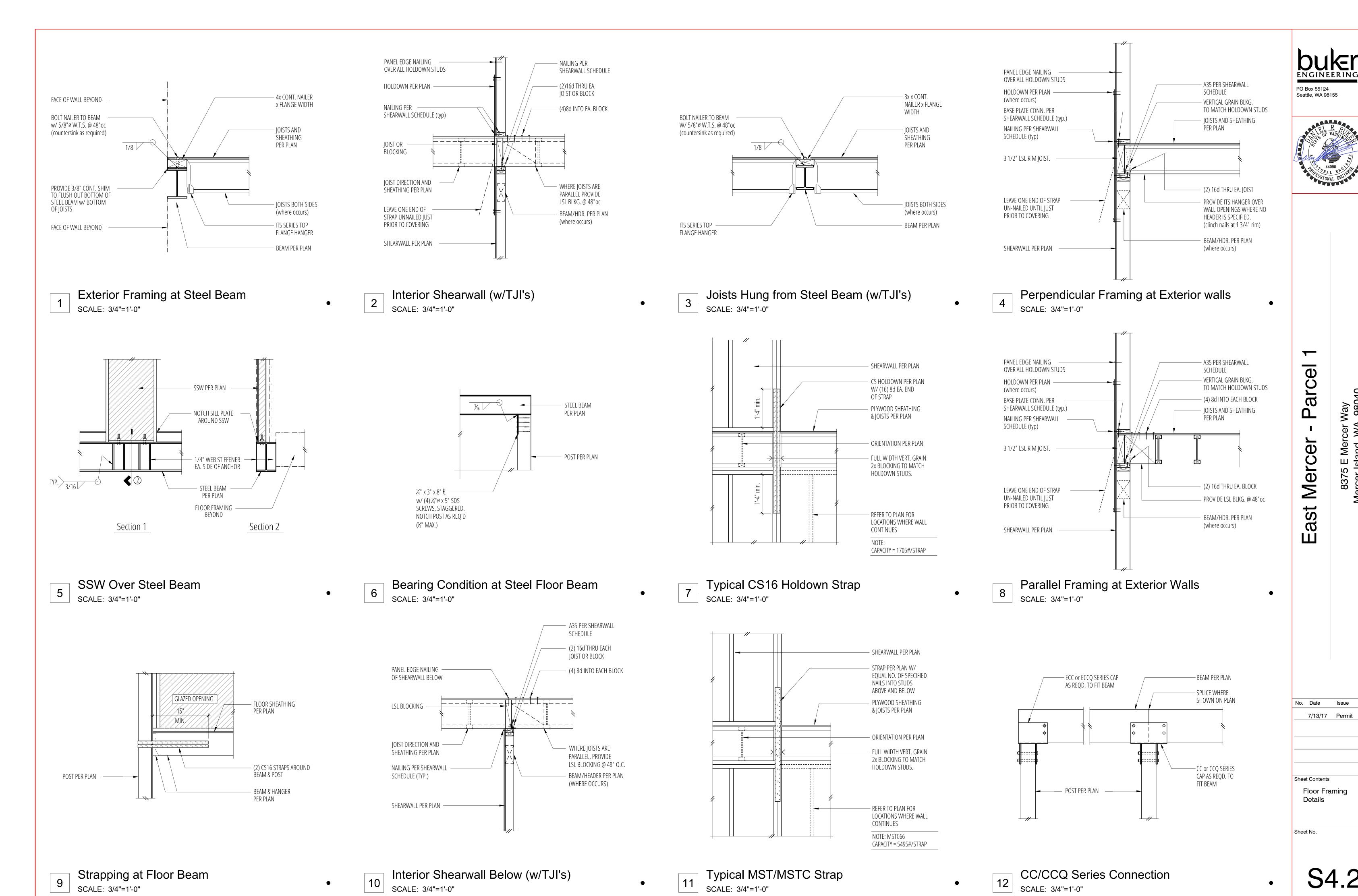
Typical Shearwall Construction



- 1) PLYWOOD PANEL EDGE NAILING PER SHEARWALL SCHEDULE
- (2) BASE PLATE NAILING PER SHEARWALL SCHEDULE
- ③. 16d @ 8" OC

Typical Shearwall Intersections

9 Typical Diaphragm Sheathing and Nailing SCALE: 3/4"=1'-0"



S4.2

7/13/17 Permit

Floor Framing

Details

Parcel

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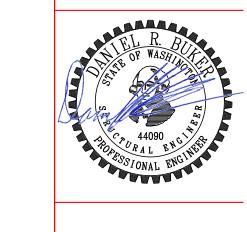
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rcer Way , WA, 98040

5 E Mero Island,



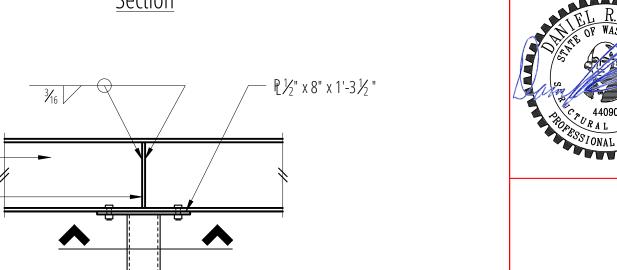




Parcel

East Mercer

8375 E Mercer Way Mercer Island, WA, 98040



- (4) ⅓" THRU BOLTS

Steel Column Support at Steel Beam

— JOISTS AND SHEATHING PER PLAN — PANEL EDGE NAILING PER SHEARWALL BELOW WALL SHEATHING PER PLAN 1 3/4" RIM JOIST CONT. LSL BLOCKING ITS HANGER — AT EACH JOIST — A35 PER SHEARWALL SCHEDULE SHEARWALL PER PLAN

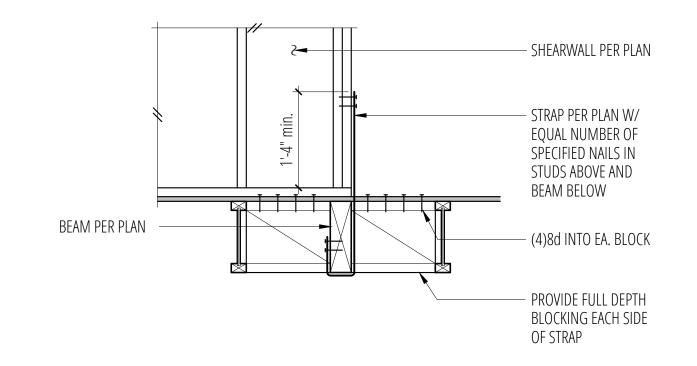
Cantilever at Exterior Wall

STEEL BEAM PER PLAN

STEEL BEAM PER PLAN -

STEEL COLUMN PER PLAN

½" WEB STIFFENER



Holdown at Floor Beam (w/TJI)

SCALE: 3/4"=1'-0"

Sheet Contents Floor Framing Details

No. Date Issue

7/13/17 Permit

S4.3

9 SCALE: 3/4"=1'-0" 10 SCALE: 3/4"=1'-0"

11 SCALE: 3/4"=1'-0"

– ROOF SHEATHING

– SHEATHE AND NAIL TRUSS TO MATCH SHEARWALL BELOW

— A35 PER SHEARWALL SCHEDULE

– SHEARWALL PER PLAN

PER PLAN

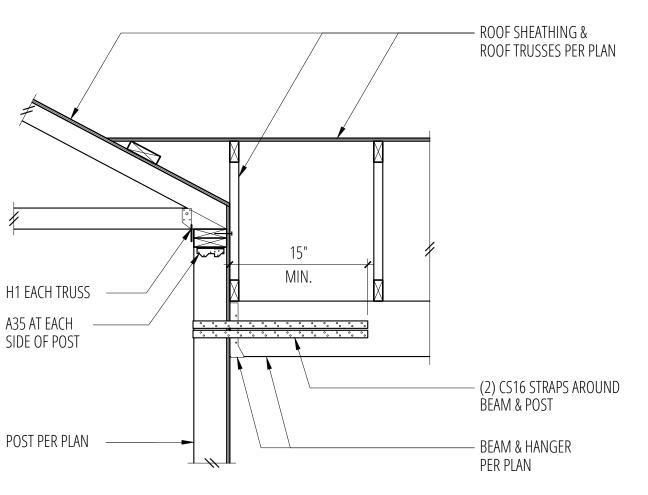
Parcel

No. Date 7/13/17 Permit

Sheet Contents Roof Framing Details

Sheet No.

S5.1



H1 EACH TRUSS A35 AT EACH SIDE OF POST POST PER PLAN

SCALE: 3/4"=1'-0"

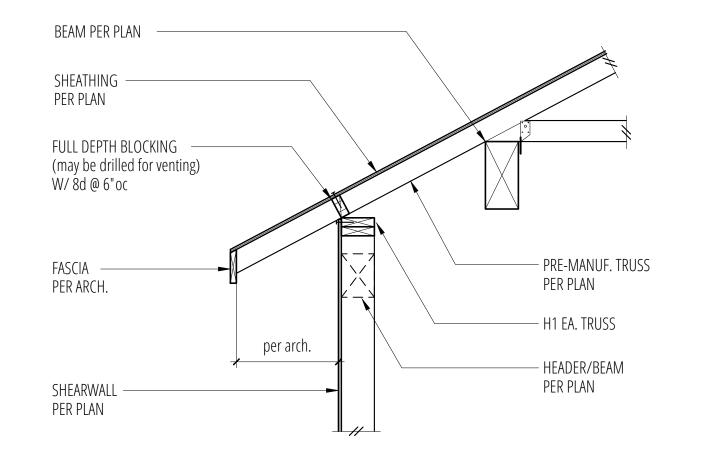
Strapping at Roof Beam SCALE: 3/4"=1'-0"

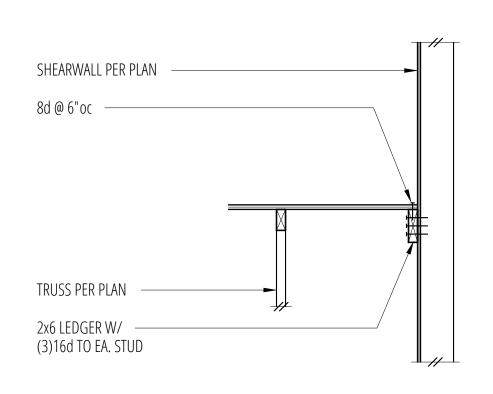
Shearwall Extension Through Truss Depth

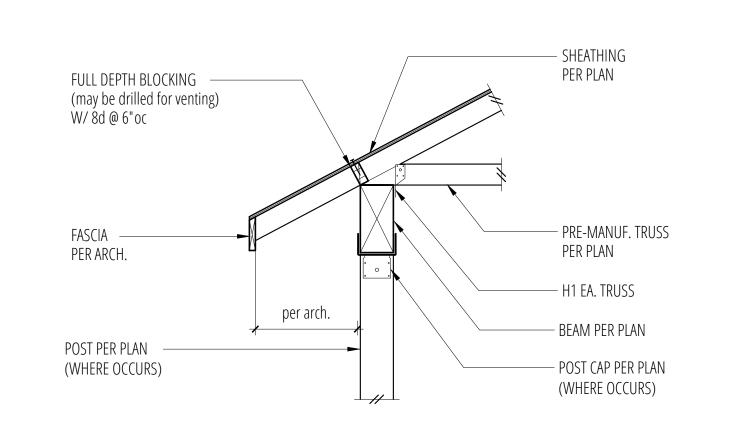
PANEL EDGE NAILING OF

SHEARWALL BELOW

PRE-MANUF. TRUSSES PER PLAN





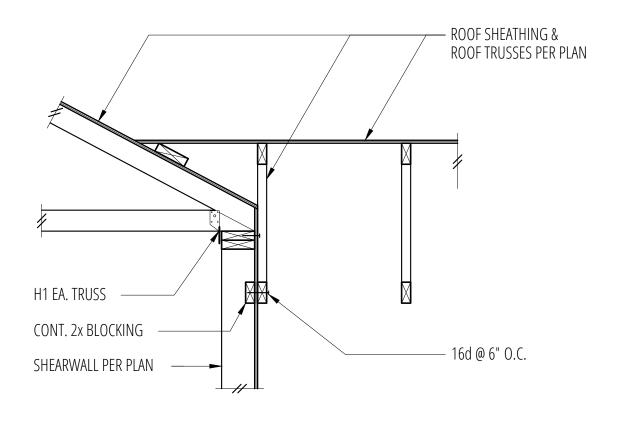


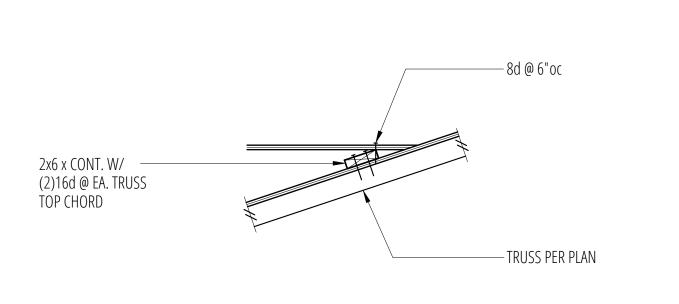
Extended Tail Truss at Exterior Wall

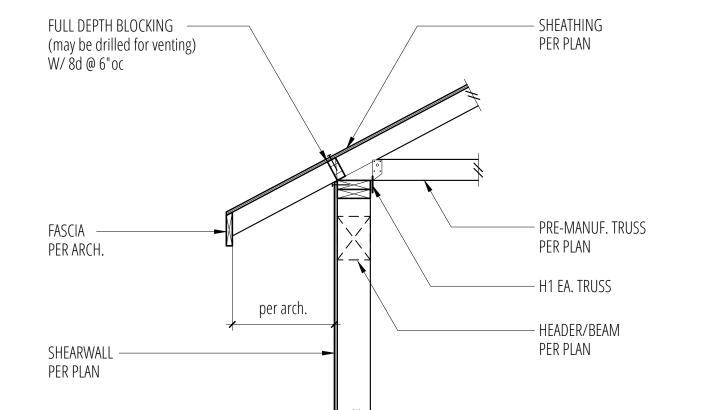
Trusses Parallel to Exterior Wall

Beam & Post at Roof

SCALE: 3/4"=1'-0"







Change in Roof Height

SCALE: 3/4"=1'-0"

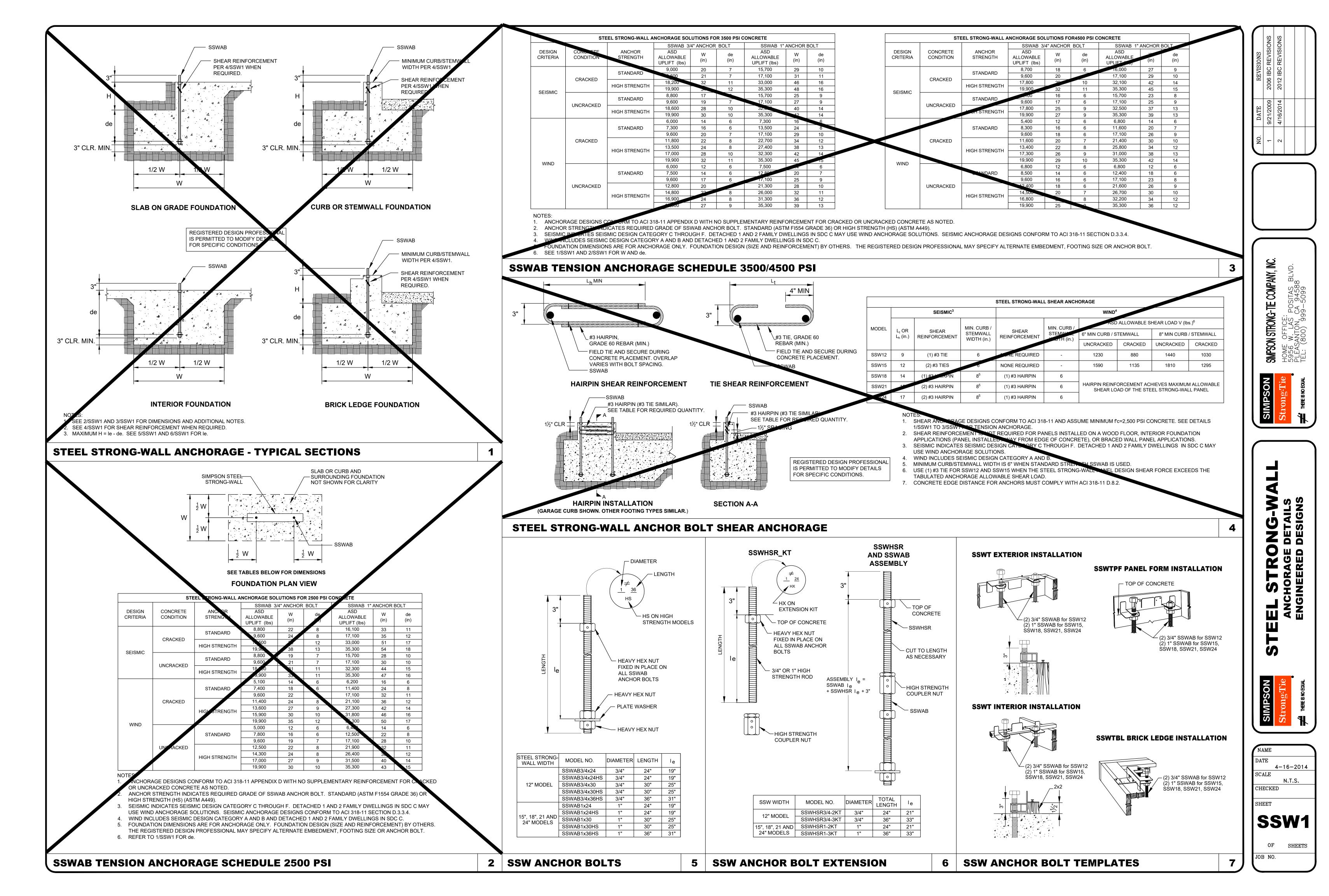
Overframing Connection

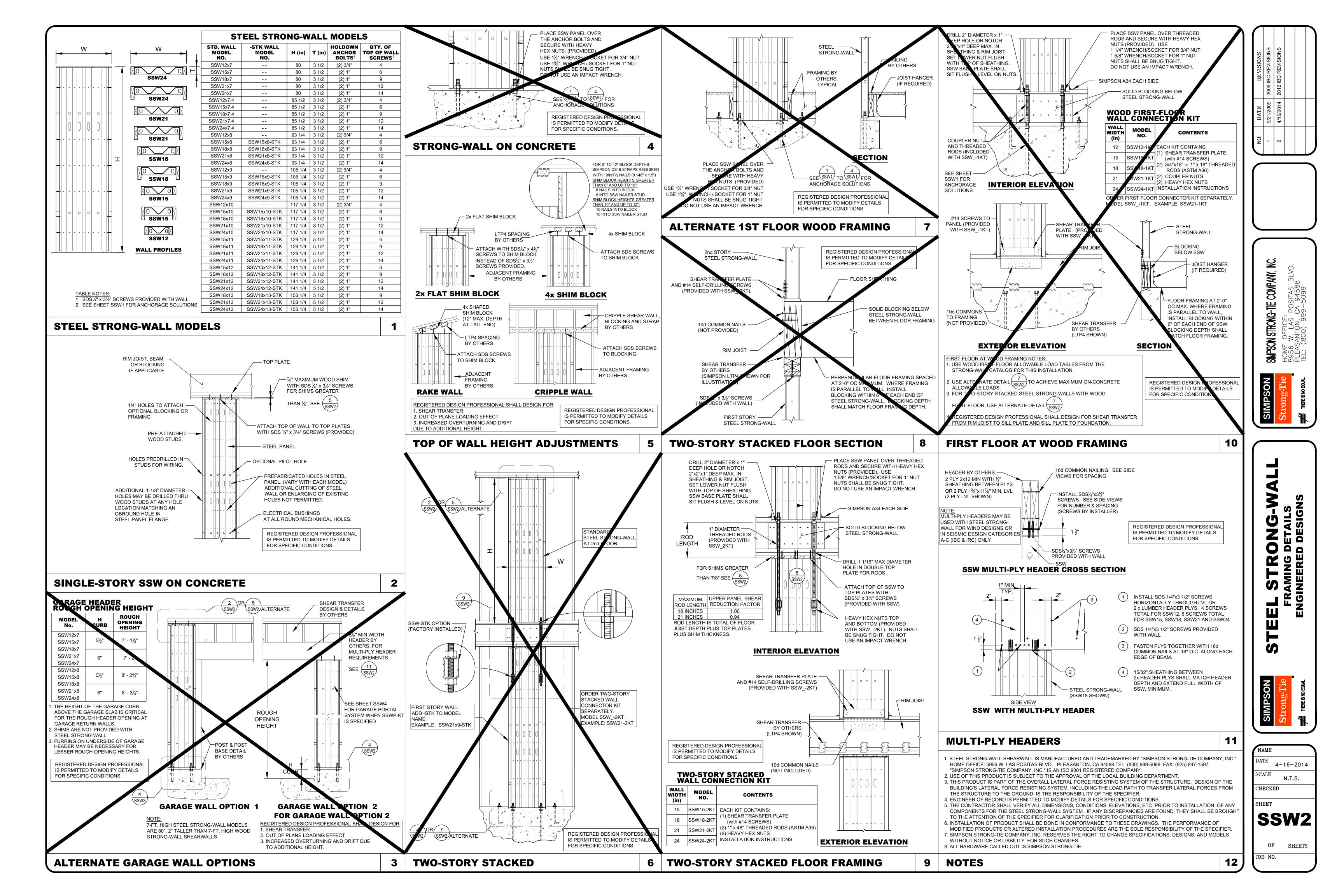
SCALE: 3/4"=1'-0"

Exterior Bearing Wall at Roof

SCALE: 3/4"=1'-0"

SCALE: 3/4"=1'-0"





big leaf maple

BY AMERICAN FOREST MANAGEMENT

Tree Summary Table
For: 8383 E Mercer Way

American Forest Management, Inc.

16 / 15 good viable good form, full crown, no concerns

Date: 8/29/14
Inspector: Wilkinson

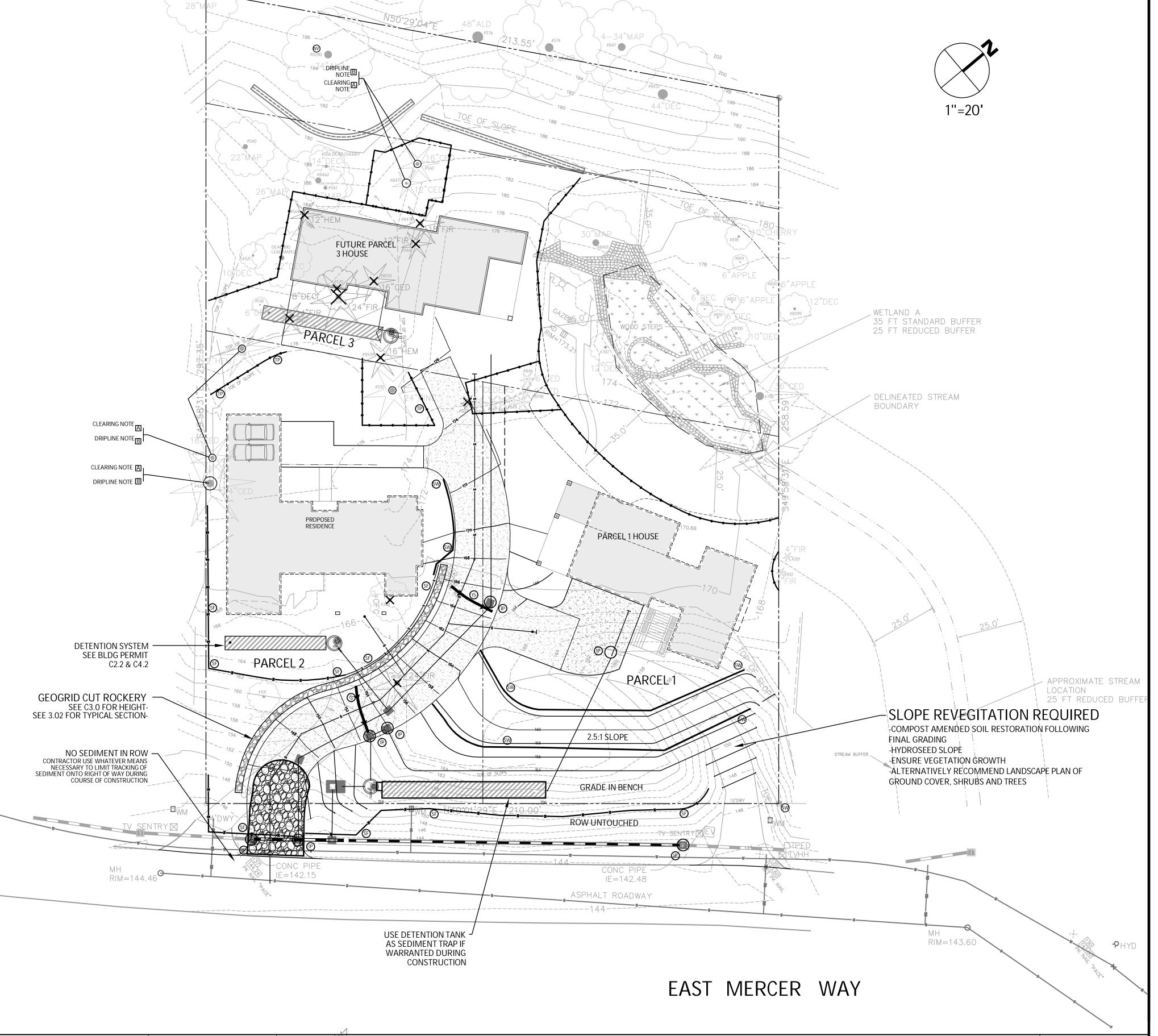
Tree/										
Tag#	Species	DBH	Height	Drip-Li	ne/Limits o	f Disturband	ce (feet)	Condition	Viability	Comments
		(inches	(feet)	N	S	E	W			
8185	Douglas fir	26	85		17 / 12		15 / 12	good	viable	driveway is 12' south of tree, good taper, was crown thinned in the past
101	deciduous ornamental	5, 7	20	15/8	10/8	10/8	12/8	good	viable	forks at 2', was topped
8538	western red cedar	19	55	13 / 12			18 / 12	fair-poor	borderline	was topped in the past, lots of new leaders, pink ribbon - 507
422	western red cedar	9, 22	55	14 / 12			16 / 12	fair-poor	borderline	was topped in the past, lots of new leaders, pink ribbon - 422, co-dominant stem forks at 1'
508	western hemlock	22	75	22 / 15		23 / 15	13 / 15	fair	viable	hemlock woolly adelgid
518	deciduous	5						good	viable	
8467	sitka spruce	17	75	6 / 10	16 / 10	20 / 10	4 / 10	fair	viable	foliage dieback, co dominant stems fork at 40', minor bleeding on trunk
521	Washington hawthorne	9	52	12/6		12/6		fair	viable	suppressed
519	Douglas fir	22	125		14 / 12	11 / 12	6 / 12	good	viable	no concerns
520	European mountain ash	7	25	15/6	10/6	13/6		good	viable	co-dominant forks at 10'
8509	western hemlock	20	90	15 / 12	12 / 12	14 / 12	8 / 12	fair	viable	was crown thinned, poor form, spike knot
510	western white pine	22	95	12 / 12	18 / 12	15 / 10	12 / 12	fair	viable	was pruned
8510	western red cedar	17	75	11 / 10	12 / 10	5/10	11 / 10	fair	viable	ribbon - 841, 15 deg lean NW, lean self correcting
8464	western hemlock	12	88		10/8		2/8	fair	viable	ribbon - 535, covered in ivy, crown thinned
561	big leaf maple	19	90			12 / 10		fair	viable	ivy covering the trunk
8462	big leaf maple	18	90	5/10			18 / 10	fair	viable	ribbon - 560, forks at 1', dead co-dominant stem
540	big leaf maple	22	90	25 / 15	25 / 15	17 / 15	10 / 15	good	viable	some past branch failure, good form
328	deciduous	6.6	12	8	10	5	5	fair	viable	

Tree/
Tag # Species DBH Height Drip-Line/Limits of Disturbance (feet) Condition Viability Comments

lay π	opedies	ווטט	rieigni	DIIP-LI	IIC/LITTIG OF	Disturbant	e (leet)	Condition	Viability	Comments
		(inches)	(feet)	N	S	E	W			
8471	western red cedar	11	50	10 / 8	10 / 8	12/8	9/8	good	viable	ribbon - 542
8432	big leaf maple	38	100		38 / 20	35 / 20		fair	viable	ribbon - 837, leans SE, some dead branches
839	Pyramidalis arborvitae	5	25			-		fair	viable	
8497	Pyramidalis arborvitae	10	15					fair-poor	borderline	topped, co dominant stems, ribbon - 840
841	Pyramidalis arborvitae	6	28					fair	viable	
842	Pyramidalis arborvitae	6	30		Drip-lines rai	nge from 2-3',		fair	viable	
843	Pyramidalis arborvitae	6	30	lin	niting distance	for all sides is	3'	fair	viable	
8498	Pyramidalis arborvitae	7	30					fair	viable	ribbon - 844
845	Pyramidalis arborvitae	6	35					fair	viable	
846	Pyramidalis arborvitae	7	35					fair	viable	
564	Douglas-fir	13	92		7/8	10 / 8	4/8	good	viable	good taper
8470	Douglas-fir	18	95	12 / 8		12 / 8	6/8	good	viable	ribbon - 563, good taper
562	western red cedar	18	65	11 / 10		15 / 12	5 / 10	good	viable	no concerns
8401	big leaf maple	36	95	20 / 18	25 / 10	29 / 10	26 / 18	fair	viable	ribbon - 645, some past branch failures, pond is adjacent and SE
787	cherry	13	18					poor	non viable	growths
8100	deciduous	8	22	4/4	15 / 4	4/4		fair-poor	borderline	ribbon - 834, leans south, foliage discoloration
835	fruit	5, 2	20	5/4	4/4	8/4		fair	viable	
833	apple	6	18	5/4	2/4	4/4	4/4	fair	viable	
819	fruit tree	5, 3	15	4/4	10 / 4	5/4	5/4	fair	viable	
818	cherry	9	22				10/8	fair	viable	cherry gummosis, heavy pruning
820	fruit tree	5, 2	12	2/4	8/4	4/4	6/4	fair	viable	pruned
798	western red cedar	26	70	10 / 12	15 / 12		18 / 12	fair	viable	growing on a stump, picture
							Neighboring 7	Γrees		
847	big leaf maple	38, 22, 3	30, 25		39 / 20	31 / 20		fair	viable	four co dominant stems, ivy covering the trunk, SE lean, rope swing
574	red alder	15, 32			38			fair-poor	borderline	past stem failure, included bark, pockets of decay, ivy on trunk
576	red alder	12, 9, 3	4					poor	non-viable	severe foliage dieback, broken top
8399	cherry	3, 11, 4					8/5	fair	viable	ribbon - 807, pruned
201	Douglas-fir	4					4/4	good	viable	
202	Douglas-fir	4					8/4	good	viable	

Drip-Line and Limits of Disturbance measurements from face of trunk

Trees on neighboring properties - Drip-line and Limits of Disturbance measurements from property lines



NO. DATE BY REVISIONS

APPLICANT New Horizon Real Estate Development 8744 126th Ave NE Kirkland, WA 98033



DATE: Sep 29, 2017

JOB# 1337

DRAFTED: CH DESIGN: DE

DIGITAL SIGNATURE





2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107 PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

EROSION CONTROL PLAN SITE DEVELOPMENT & PARCELS 1-3

New Horizon Real Estate Development 8375 AND 8383 EAST MERCER WAY MERCER ISLAND, WA 98040 DRAWING NO:

APN 032110-0145 & 032110-0140

EROSION/SEDIMENTATION CONTROL PLAN NOTES

1. THE APPROVED CONSTRUCTION SEQUENCE SHALL BE AS FOLLOWS:

A. CONDUCT PRE-CONSTRUCTION MEETING.

B. FLAG OR FENCE CLEARING LIMITS.

C. POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.

D. INSTALL CATCH BASIN PROTECTION IF REQUIRED.

E. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S) F. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).

G. CONSTRUCT SEDIMENT PONDS AND TRAPS. H. GRADE AND STABILIZE CONSTRUCTION ROADS.

I. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR

J. MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. K. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT

CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS. L. COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR

EQUIVALENT. M. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.

N. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS. O. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE

2. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)

3. THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.

4. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD. NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

5. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.

6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.

7. THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.

8. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM

9. ALL DENUDED SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES:

APRIL 1 TO SEPTEMBER 30 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING.

OCTOBER 1 TO MARCH 31 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. STABILIZE SOILS AT THE END OF THE WORKDAY PRIOR TO A WEEKEND, HOLIDAY, OR PREDICTED RAIN EVENT

10. AT NO TIME SHALL MORE THAN 1' OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.

11. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

12. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.

13. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).

14. WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2"

15. ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.

16. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.

17. THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY OF MERCER ISLAND INSPECTOR.

18. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.

19. ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 6' HIGH TEMPORARY CONSTRUCTION FENCE (CHAIN LINK WITH PIER BLOCKS) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL THE PLANNING DEPARTMENT AUTHORIZES REMOVAL

20. CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6-FT. HIGH CHAIN LINK FENCE ADJACENT THE DRIP LINE OF TREES TO BE SAVED. WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES, CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.

21. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.

22. ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE ADEQUATE PROTECTION FROM SEDIMENT CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A "STORM DRAIN PROTECTION INSERT" OR EQUIVALENT.

23. THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF KIRKLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.

24. ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40 %-70% PASSING; 2"-4" ROCK/30 %-40% PASSING; AND 1"-2" ROCK/10 %-20% PASSING.

25. IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED

26. ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.

27. DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.

28. PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.

29. IF A SEDIMENT POND IS NOT PROPOSED, A BAKER TANK OR OTHER TEMPORARY GROUND AND/OR SURFACE WATER STORAGE TANK MAY BE REQUIRED DURING CONSTRUCTION, DEPENDING ON WEATHER CONDITIONS.

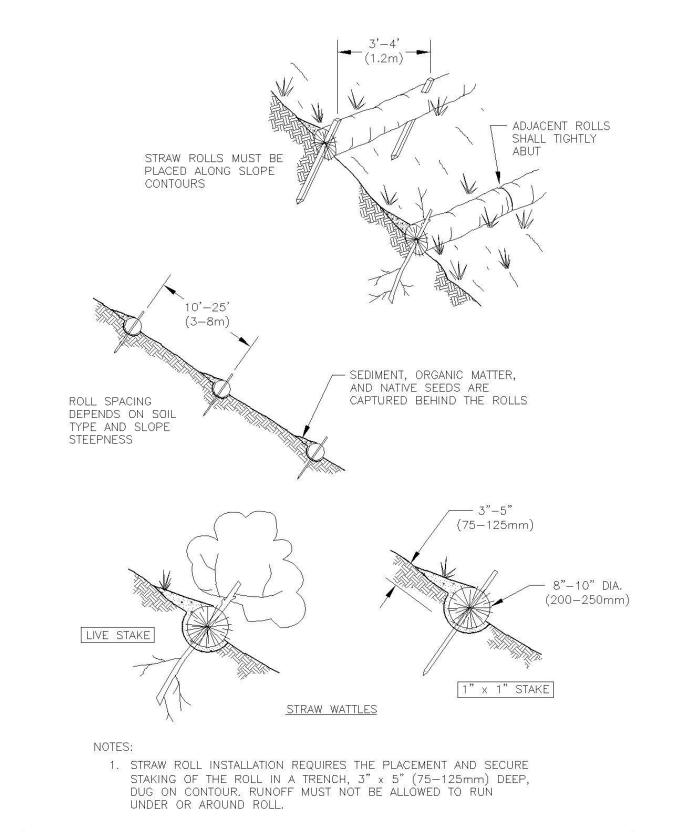
APPLICANT

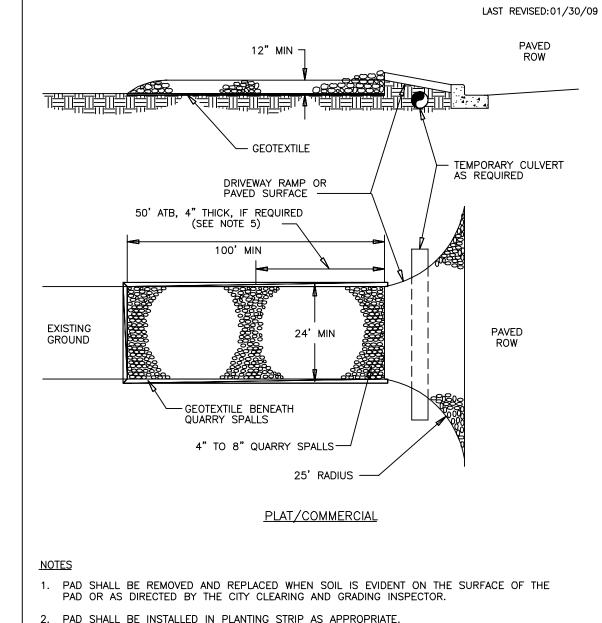
Development 8744 126th Ave NE

Kirkland, WA 98033

New Horizon Real Estate

STRAW WATTLE DETAIL





3. PAD THICKNESS SHALL BE INCREASED IF SOIL CONDITIONS DICTATE AND/OR PER THE

4. CONTRACTOR RESPONSIBLE FOR CURB & GUTTER CONDITION.

DIRECTION OF THE CITY CLEARING AND GRADING INSPECTOR

5. ATB MAY BE REQUIRED PER PW INSPECTOR. 6. SEE ECOLOGY STORMWATER MANAGEMENT MANUAL FOR

CONSTRUCTION ENTRANCE

W. WA, BMP C105 FOR ADDITIONAL DESIGN INFORMATION.

TEMPORARY PLAT/COMMERCIAL CONST. ENTRANCE

LIMITS OF DISTURBANCE FILTER FABRIC FENCE (SILT FENCE)

STABILIZED CONSTRUCTION ENTRANCE

EROSION CONTROL LEGEND

CATCH BASIN INLET PROTECTION

INTERCEPTOR SWALE SEE COR DWG 504 TYPE A TEMPORARY SWALE

TREE PROTECTION FENCING

CHECK DAM

STRAW WATTLES

COMPOST SOCK

PLASTIC COVERING

USE AS NEEDED COVER EXPOSED AREAS WITHIN MERCER ISLAND TIME LIMIT SEDIMENT CONTROL OPTION

RECOMMENDED IN LIEU OF SILT FENC

DOE CONST. STORM GENERAL PERMIT

NOT REQUIRED SINCE TOTAL DISTURBANCE AREA FOR THIS SITE IS UNDER 1 ACRE

WET & DRY SEASON REGS

ALL DENUDED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF CONSTRUCTION. PLEASE READ ALL CITY TESC NOTES ON SHEET C1.2.

OCT 1 TO MARCH 31

ALL DENUDED AREAS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. IF AN EROSION PROBLEM ALREADY EXISTS ON THE SITE, OTHER COVER PROTECTION AND EROSION CONTROL WILL BE REQUIRED.

A CLEARING LIMIT NOTE

ALL SELECTIVE CLEARING, TRENCHING AND OTHER WORK WITHIN THE DRIPLINES OF SIGNIFICANT TREES SHALL BE BY LOW IMPACT/HAND METHODS ONLY AND WORK SHALL BE ADJUSTED AS POSSIBLE TO MINIMIZE ANY DISTURBANCE TO THE SIGNIFICANT AND RETAINED TREES AND PROTECTED UNDERSTORY. CONSTRUCTION MATERIALS AND VEHICLES SHALL NOT BE STORED OUTSIDE THE CLEARING LIMITS.

IBI TREE DRIPLINE NOTE

WORK WITHIN THE DRIPLINE OF TREES TO BE SAVED MUST BE UNDER THE DIRECTION OF A CERTIFIED ARBORIST (TYP.) SEE ALSO CLEARING LIMIT NOTE ON THIS SHEET.

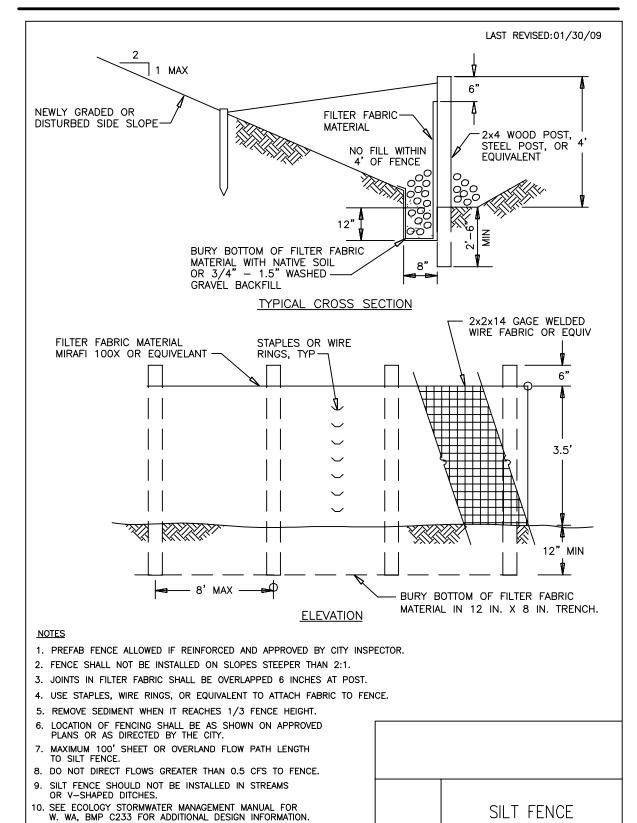
ARBORIST REPORT

SEE REPORT BUY AFM, SEPTEMBER 2014

TREE INVENTORY

SEE SHEET C1.0

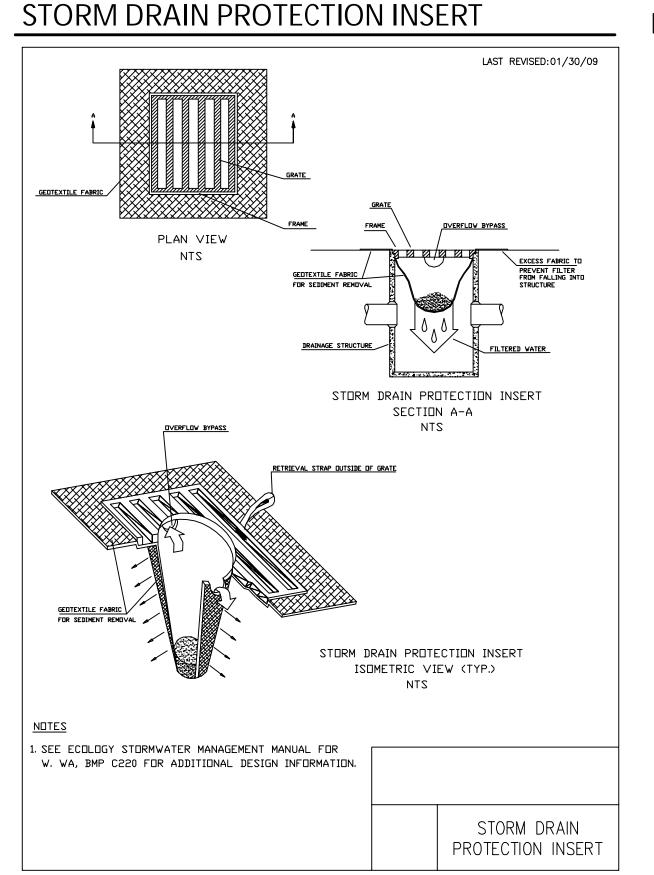
SILT FENCE IF WARRANTED



JOB#

1337

DIGITAL SIGNATURE



NO. DATE **REVISIONS** BY



DATE: Sep 29, 2017 DRAFTED: CH DESIGN: DE



DUFFY@CESOLUTIONS.US

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TESC NOTES & DETAILS

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DRAWING NO

APN 032110-0145 & 032110-0140

