

ABBREVIATIONS:

ABV	ABOVE
ADD	ADDITIONAL
AFB	ABOVE FINISHED FLOOR
BLW	BELOW
BLK	BLOCK, BLOCKING
BOT	BOTTOM
BOW	BOTTOM OF WALL
CAB	CABINET
CL	CENTERLINE
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CONTR	CONTRACT(O)R
CP	CENTERPOINT
CSMT	CASEMENT
DBL	DOUBLE
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DR	DOOR
DS	DOWNPOUT
DW	DISHWASHER
EA	EACH
EXH	EXHAUST
EX	EXISTING
EXT	EXTERIOR
FOC	FACE OF CONCRETE
FOM	FACE OF MASONRY
FOS	FACE OF STUD
FN	FINISHED GRADE
FN GSB	FINISHED
FN	FOUNDATION
FNDR	FLOOR
FLR	FLOOR
FF	FIREPLACE
FRZ	FREEZER
GA	GAUGE
GL	GLASS
GR	GRADE
GWB	GYPSUM WALL BOARD
HB	HOSE BIB
HGT	HEIGHT
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
LT	LIGHT(ING)
LV	LOW VOLTAGE
MEMB	MEMBRANE
MATL	MATERIAL
MTL	METAL
MFR	MANUFACTURER
MT	MOUNTED
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NFC	NOT FOR CONSTRUCTION
NO	NUMBER
NOM	NOMINAL
OC	ON CENTER
OPH	OPPOSITE HAND
PNL	PANEL
PL	PLATE, PROPERTY LINE
PWD	PLYWOOD
R	RISER(S); RADIUS
RAD	RADIUS
RE	REFER TO
RFG	ROOFING
REFR	REFRIGERATOR
SIM	SIMILAR
T	TREAD(S)
TD	TO BE DETERMINED
TG	TEMPERED GLASS
T&G	TONGUE & GROOVE
THK	THICKNESS
TOP	TOPPING
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
V	VOLTAGE
VIF	VERIFY IN FIELD
WD	WOOD
WDW	WINDOW

FLOOR PLAN LEGEND:

	EXISTING WALL TO REMAIN
	NEW FULL-HEIGHT WALL
	NEW FULL-HEIGHT CONCRETE WALL
	PARTIAL-HEIGHT WALL
	PROPERTY LINE
	BUILDING / STRUCTURE ABOVE
	BUILDING / STRUCTURE BELOW
	CENTERLINE
	AREA OF DRAWING REVISION
	ELEVATION MARKER
	SECTION MARKER

GENERAL PROJECT NOTES:

- DO NOT SCALE DRAWINGS.
- THIS PROJECT SHALL COMPLY WITH ALL GOVERNING REGULATIONS, ORDINANCES, BUILDING CODES, OR COVENANTS OF THE AREA IN WHICH IT IS BUILT.
- APPROVAL BY AN INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE DRAWINGS OR SPECIFICATIONS.
- THE CONTRACTOR SHALL SCHEDULE WALK-THROUGHS AT EACH OF BELOW NOTED INTERVALS:
 - PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - PRIOR TO THE COMMENCEMENT OF ALL MECHANICAL + ELECTRICAL WORK.
 - PROVIDE ALL NECESSARY BARRICADES, WARNING SIGNS, + DEVICES TO PROTECT PUBLIC + CONSTRUCTION PERSONNEL DURING CONSTRUCTION.
 - MAINTAIN ALL REQUIRED ACCESS + EGRESS DURING CONSTRUCTION.

DUTY OF COOPERATION:

RELEASE + ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, THE CONTRACTOR, + RIPPLE DESIGN STUDIO. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED BY THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO RIPPLE DESIGN STUDIO. FAILURE TO DO SO SHALL RELIEVE RIPPLE DESIGN STUDIO FROM ANY RESPONSIBILITY OF THE CONSEQUENCES.

ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT THE CONSENT OF RIPPLE DESIGN STUDIO ARE UNAUTHORIZED. FAILURE TO OBSERVE THESE PROCEDURES SHALL RELIEVE RIPPLE DESIGN STUDIO OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH ACTIONS.

E MERCER PARCEL 1

8375 E. MERCER WAY MERCER ISLAND WA 98040



WSEC 2015 NOTES:

- THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2015 PRESCRIPTIVE METHOD.
- INSULATION VALUES SHALL BE AS FOLLOWS:
 - ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
 - ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.
 - ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.
 - ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
 - ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.
 - ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN.
 - ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAMED WALL.
 - ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
 - ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10 RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.
 - ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL.
 - RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
 - PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
 - PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ ALL BATHS + LAUNDRY.
 - NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM EF OF 0.91 (WSEC 406.2 CREDIT 5c).
 - AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
 - THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.41 THROUGH R402.44. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
 - AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

VICINITY MAP:



PROJECT INFO:

PROJECT ADDRESS:
8375 E. MERCER WAY
MERCER ISLAND, WA 98040

SCOPE OF WORK:
DEMOLITION OF EXISTING RESIDENCE AND CONSTRUCTION OF NEW SINGLE-FAMILY RESIDENCE WITH ATTACHED GARAGE.

ZONE:
R-8.4

LEGAL DESCRIPTION:
AVALON PARK ADD PCL A MERCER ISLAND LLR#SUB 16-004 REC#20170131900001 SD LLR DAF-LOTS 7THRU 9 SD BLK 3 TGV SELV 40 FT OF POR OF NW 1/4 STR 31-24-5 ADJ NWLY LNS OF SD LOTS & BET SWLY & NELY LN THOF EXTD WLY

ACCESSOR'S PARCEL NUMBER:
032110-0145

BUILDING CODE + OCCUPANCY:
2015 IRC (ARCHITECTURAL) + 2015 IBC (STRUCTURAL)
R-3 SINGLE-FAMILY RESIDENTIAL (RESIDENCE)
U STORAGE (GARAGE, STORAGE)

TYPE OF CONSTRUCTION:
TYPE-V-N NON-SPRINKLERED

OCCUPANT LOAD CALCULATIONS:

PROPOSED BASEMENT GROSS FLOOR AREA:	952 FT ²
OCCUPANT LOAD FACTOR (ACCESSORY STORAGE):	1 PER 200 FT ²
BASEMENT OCCUPANT LOAD:	5 OCCUPANTS
PROPOSED FIRST FLOOR GROSS FLOOR AREA:	1,907 FT ²
OCCUPANT LOAD FACTOR (ACCESSORY STORAGE):	1 PER 200 FT ²
FIRST FLOOR OCCUPANT LOAD:	10 OCCUPANTS
PROPOSED SECOND FLOOR GROSS FLOOR AREA:	1,918 FT ²
OCCUPANT LOAD FACTOR (RESIDENTIAL):	1 PER 200 FT ²
SECOND FLOOR OCCUPANT LOAD:	10 OCCUPANTS
TOTAL OCCUPANT LOAD:	25 OCCUPANTS

SHEET INDEX:

PAGE:	SHEET NAME:
A1.0	PROJECT INFORMATION
	SURVEY 1
	SURVEY 2
	SURVEY 3
	SURVEY 4
A11	SITE PLAN
A2.0	BASEMENT PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A3.1	BUILDING ELEVATIONS
A3.2	BUILDING ELEVATIONS
A3.3	BUILDING SECTIONS A-A THROUGH C-C
A4.1	DOOR + WINDOW SCHEDULES
S1.1	GENERAL STRUCTURAL NOTES
S2.0	FOUNDATION PLAN
S2.1	FIRST FLOOR FRAMING PLAN
S2.2	SECOND FLOOR FRAMING PLAN
S2.3	ROOF FRAMING PLAN
S3.1	CONCRETE DETAILS
S3.2	CONCRETE DETAILS
S3.3	CONCRETE DETAILS
S4.1	FLOOR FRAMING DETAILS
S4.2	FLOOR FRAMING DETAILS
S4.3	FLOOR FRAMING DETAILS
S5.1	ROOF FRAMING DETAILS
SSW1	STEEL STRONG WALL DETAILS
SSW2	STEEL STRONG WALL DETAILS

RIPPLE DESIGN STUDIO
206.913.2333
4303 STONE WAY N
SEATTLE, WA 98103

9790 REGISTERED ARCHITECT
JAMES M DEARTH
STATE OF WASHINGTON

8375 E. MERCER WAY MERCER ISLAND, WA

E M E R C E R P A R C E L 1

PROJECT TEAM:

CLIENT:
NEW HORIZON REAL ESTATE DEVELOPMENT
8744 126TH AVE NE
KIRKLAND, WA
206.557.0772

ARCHITECT / APPLICANT:
RIPPLE DESIGN STUDIO, INC. - JIM DEARTH
4303 STONE WAY N
SEATTLE, WA 98103
206.913.2333

SURVEYOR:
TERRANE
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
425.458.4488

GEOTECHNICAL ENGINEER:
PANGEQ, INC. - MICHAEL XUE
3213 EASTLAKE AVE E SUITE B
SEATTLE, WA 98102
206.262.0307

CIVIL ENGINEER:
CIVIL ENGINEERING SOLUTIONS - JEFFREY ELLIS
2244 NW MARKET ST UNIT B
SEATTLE, WA 98107
206.930.0342

STRUCTURAL ENGINEER:
BUKER ENGINEERING - DANIEL BUKER
PO BOX 28531
SEATTLE, WA 98118
206.310.3559

CONTRACTOR:
TBD

I N F O R M A T I O N

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RELEASE
BUILDING PERMIT
10 OCT 2017

RUN YONG USA

MERCER ISLAND LOT LINE REVISION NO. SUB 16-004

DECLARATION

WE THE UNDERSIGNED OWNER(S) IN FEE SIMPLE [AND CONTRACT PURCHASER(S)] OF THE LAND HEREIN DESCRIBED, DO HEREBY MAKE A LOT LINE REVISION THEREOF PURSUANT TO RCW 58.17.060 AND DECLARE THIS LOT LINE REVISION TO BE THE GRAPHIC REPRESENTATION OF THE SAME, AND THAT SAID SHORT SUBDIVISION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE OWNER(S).

IN WITNESS WHEREOF WE HAVE SET OUR HANDS AND SEALS.

BY: _____
RUN YONG USA

ACKNOWLEDGEMENTS

STATE OF WASHINGTON }
 } SS.
COUNTY OF KING }

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT _____ IS THE PERSON WHO APPEARED BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT HE/SHE SIGNED THIS INSTRUMENT, ON OATH STATED THAT HE/SHE WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE _____ OF RUN YONG USA, TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 2016.

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON

PRINTED NAME _____
MY COMMISSION EXPIRES _____

CITY OF MERCER ISLAND APPROVALS

EXAMINED AND APPROVED THIS _____ DAY OF _____ 2016.

CODE OFFICIAL

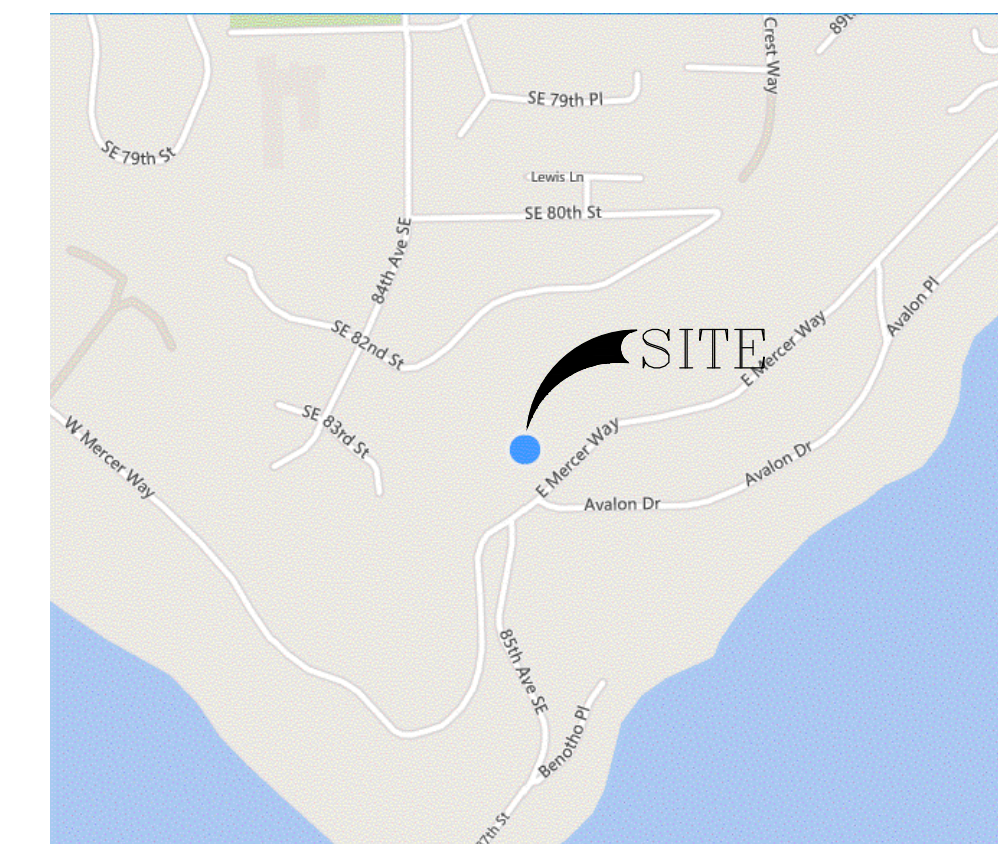
EXAMINED AND APPROVED THIS _____ DAY OF _____ 2016.

CITY ENGINEER

KING COUNTY DEPARTMENT OF ASSESSMENTS

EXAMINED AND APPROVED THIS _____ DAY OF _____ 2016.

ASSESSOR



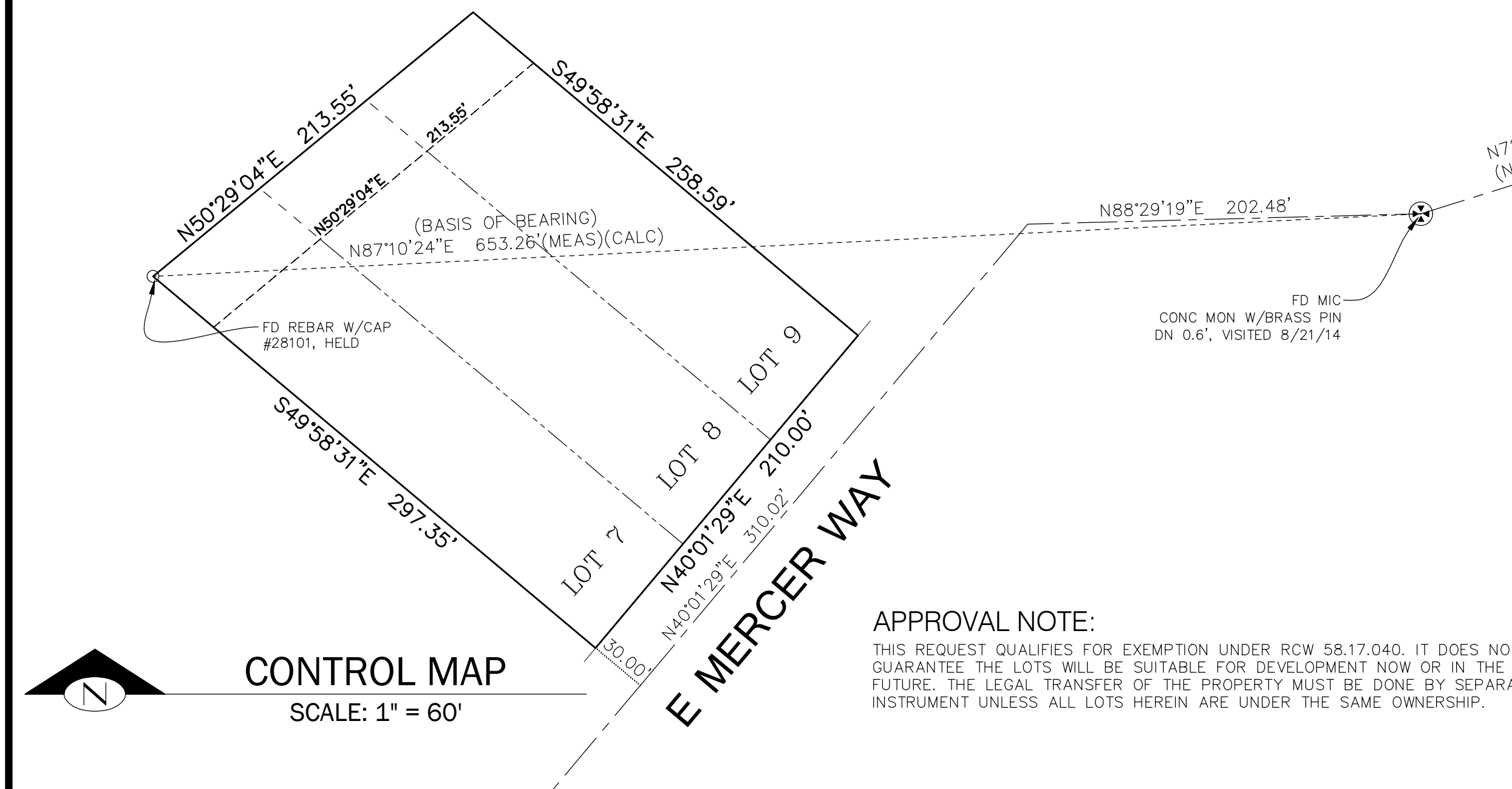
VICINITY MAP
NOT TO SCALE

BASIS OF BEARINGS

PER PLAT OF AVALON PARK, VOL. 49, PAGE(S) 64 & 65, RECORDS OF KING COUNTY, WASHINGTON.

SURVEY NOTES:

1. THE SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2014. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST.
2. INSTRUMENTATION FOR THIS SURVEY WAS A LEICA TOTAL STATION UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS WASHINGTON STATE STANDARDS SET BY WAC 332-130-090.
3. SEWER AND WATER UTILITIES FROM PUBLIC SERVICE.



APPROVAL NOTE:

THIS REQUEST QUALIFIES FOR EXEMPTION UNDER RCW 58.17.040. IT DOES NOT GUARANTEE THE LOTS WILL BE SUITABLE FOR DEVELOPMENT NOW OR IN THE FUTURE. THE LEGAL TRANSFER OF THE PROPERTY MUST BE DONE BY SEPARATE INSTRUMENT UNLESS ALL LOTS HEREIN ARE UNDER THE SAME OWNERSHIP.

ORIGINAL LEGAL DESCRIPTION:

BASED ON DEED FURNISHED BY FIRST AMERICAN TITLE, RECORDED IN KING COUNTY UNDER INSTRUMENT NUMBER 20140523001500, DATED MAY 23, 2014.

LOT 9, BLOCK 3, AVALON PARK, ACCORDING TO PLAT RECORDED IN VOLUME 49 OF PLATS AT PAGE(S) 64 AND 65, IN KING COUNTY, WASHINGTON.

ALSO THE SOUTHEASTERLY 40 FEET OF THE PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. AND GOVERNMENT LOT 1 OF SAID SECTION ADJACENT TO THE NORTHWESTERLY LINE OF SAID LOT 9 AND BETWEEN THE SOUTHWESTERLY AND NORTHEASTERLY LINES THEREOF, EXTENDED NORTHWESTERLY.

LOT 8, BLOCK 3, AVALON PARK, ACCORDING TO PLAT RECORDED IN VOLUME 49 OF PLATS AT PAGE(S) 64 AND 65, IN KING COUNTY, WASHINGTON.

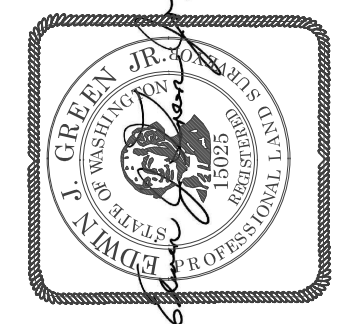
ALSO THE SOUTHEASTERLY 40 FEET OF THE PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. AND GOVERNMENT LOT 1 OF SAID SECTION ADJACENT TO THE NORTHWESTERLY LINE OF SAID LOT 8 AND BETWEEN THE SOUTHWESTERLY AND NORTHEASTERLY LINES THEREOF, EXTENDED NORTHWESTERLY.

LOT 7, BLOCK 3, AVALON PARK, ACCORDING TO PLAT RECORDED IN VOLUME 49 OF PLATS AT PAGE(S) 64 AND 65, IN KING COUNTY, WASHINGTON.

ALSO THE SOUTHEASTERLY 40 FEET OF THE PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. AND GOVERNMENT LOT 1 OF SAID SECTION ADJACENT TO THE NORTHWESTERLY LINE OF SAID LOT 7 AND BETWEEN THE SOUTHWESTERLY AND NORTHEASTERLY LINES THEREOF, EXTENDED NORTHWESTERLY.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net



CITY OF MERCER ISLAND SUB16-004
NW 1/4, NW 1/4, SEC 31, T 24N, R 5E, W.M.
RUN YONG USA
8375 & 8383 E MERCER WAY
MERCER ISLAND, WA

JOB NO.: 140845

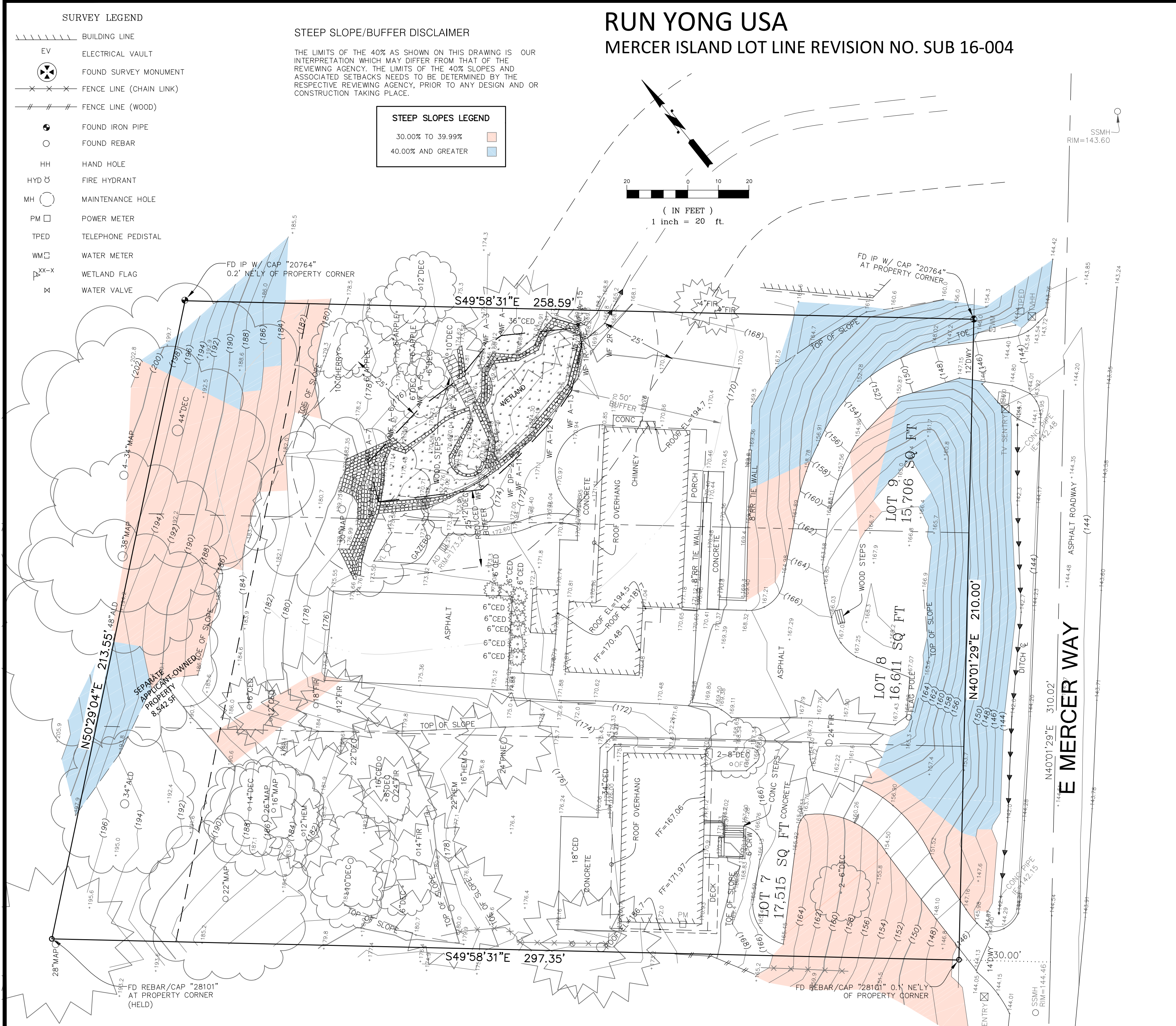
DATE: 9/16/16

DRAFTED BY: TLR

CHECKED BY: E.JG/SRM

SCALE: 1" = 60'

1 OF 4



SURVEY LEGEND

=====	BUILDING LINE
EV	ELECTRICAL VAULT
⊗	FOUND SURVEY MONUMENT
---x---x---	FENCE LINE (CHAIN LINK)
###	FENCE LINE (WOOD)
●	FOUND IRON PIPE
○	FOUND REBAR
HH	HAND HOLE
HYD	FIRE HYDRANT
MH	MAINTENANCE HOLE
PM	POWER METER
TPED	TELEPHONE PEDISTAL
WM	WATER METER
W-X-X	WETLAND FLAG
M	WATER VALVE

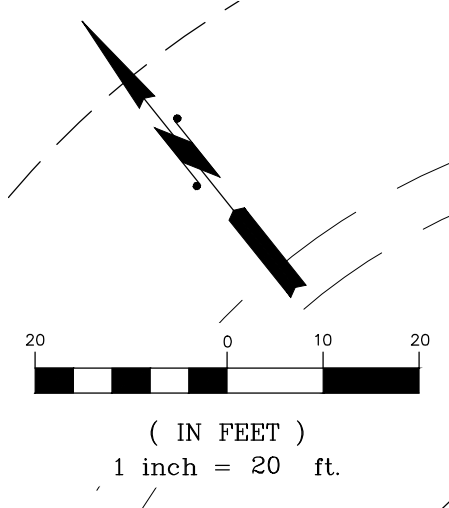
STEEP SLOPE/BUFFER DISCLAIMER

THE LIMITS OF THE 40% AS SHOWN ON THIS DRAWING IS OUR INTERPRETATION WHICH MAY DIFFER FROM THAT OF THE REVIEWING AGENCY. THE LIMITS OF THE 40% SLOPES AND ASSOCIATED SETBACKS NEEDS TO BE DETERMINED BY THE RESPECTIVE REVIEWING AGENCY, PRIOR TO ANY DESIGN AND OR CONSTRUCTION TAKING PLACE.

STEEP SLOPES LEGEND

[Light Blue Box]	30.00% TO 39.99%
[Dark Blue Box]	40.00% AND GREATER

RUN YONG USA
MERCER ISLAND LOT LINE REVISION NO. SUB 16-004

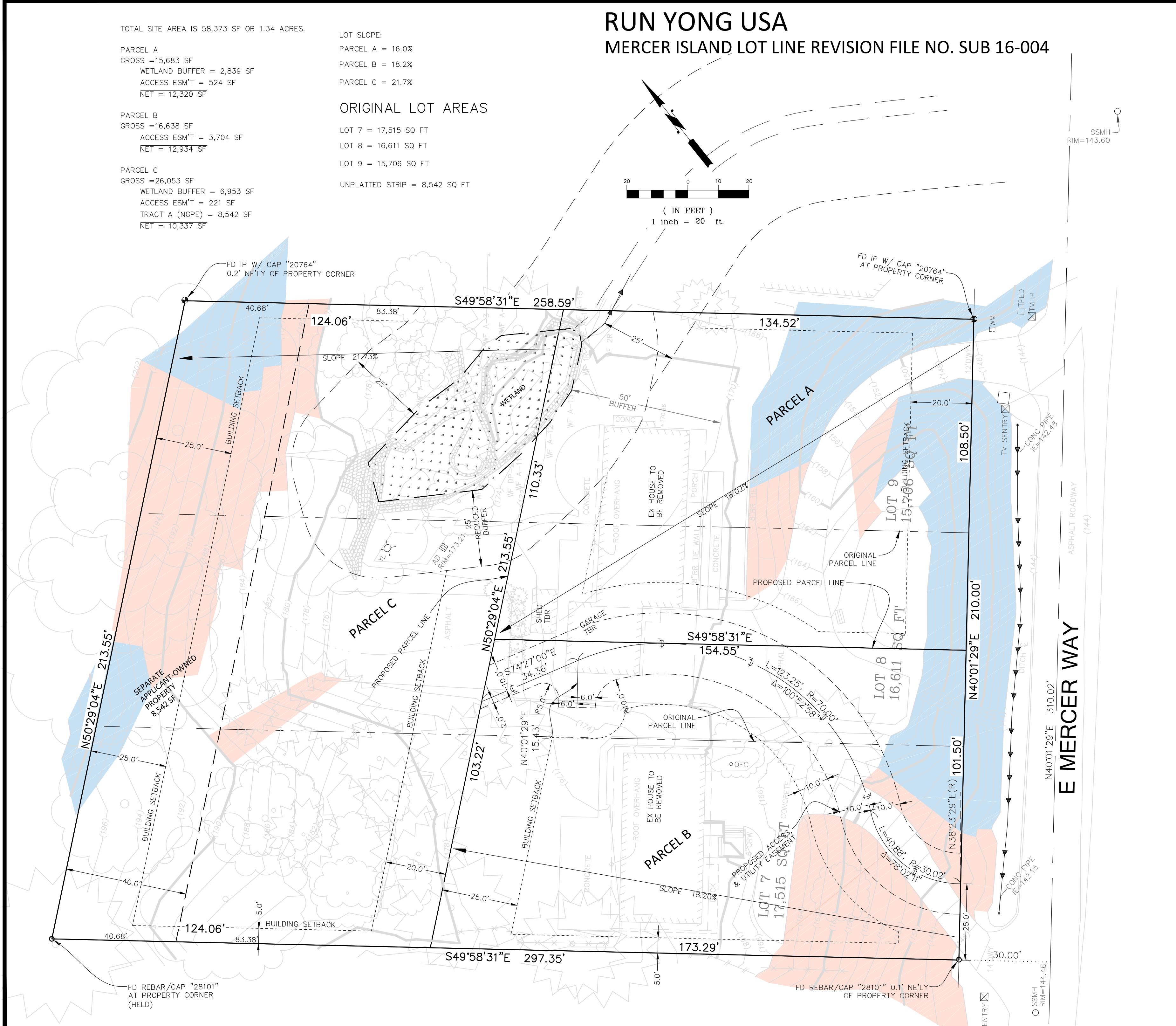


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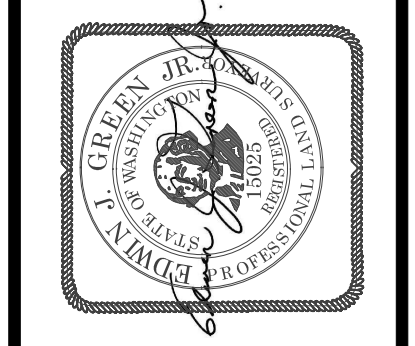


TOPOGRAPHIC SURVEY
 NW 1/4, NW 1/4, SEC 31, T 24N, R 5E, W.M.
RUN YONG USA
 8375 & 8383 E MERCER WAY
 MERCER ISLAND, WA

JOB NO.:	140845
DATE:	9/16/16
DRAFTED BY:	TLR
CHECKED BY:	EJG/SRM
SCALE:	1" = 20'
2 OF 4	



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net



LOT LAYOUT
 NW 1/4, NW 1/4, SEC 31, T 24N, R 5E, W.M.
RUN YONG USA
 8375 & 8383 E MERCER WAY
 MERCER ISLAND, WA

JOB NO.:	140845
DATE:	9/16/16
DRAFTED BY:	TLR
CHECKED BY:	EJG/SRM
SCALE:	1" = 20'
	3 OF 4

RUN YONG USA
MERCER ISLAND LOT LINE REVISION FILE NO. SUB 16-004

NEW LEGAL DESCRIPTIONS:

PARCEL A

LOT 9 AND THE NORTHEASTERLY 38.50 FEET OF LOT 8, BLOCK 3, AVALON PARK, ACCORDING TO THE PLAT RECORDED IN VOLUME 49 OF PLATS, AT PAGES 64 AND 65, IN KING COUNTY, WASHINGTON,
 EXCEPT THE NORTHWESTERLY 82.00 FEET THEREOF.

PARCEL B

LOTS 7 AND 8, BLOCK 3, AVALON PARK, ACCORDING TO THE PLAT RECORDED IN VOLUME 49 OF PLATS, AT PAGES 64 AND 65, IN KING COUNTY, WASHINGTON,
 EXCEPT THE NORTHEASTERLY 38.50 FEET OF SAID LOT 8,
 AND EXCEPT THE NORTHWESTERLY 82.00 FEET THEREOF.

PARCEL C

THE NORTHWESTERLY 82.00 FEET OF LOTS 7, 8 AND 9, BLOCK 3, AVALON PARK, ACCORDING TO THE PLAT RECORDED IN VOLUME 49 OF PLATS, AT PAGES 64 AND 65, IN KING COUNTY, WASHINGTON;
 TOGETHER WITH THE SOUTHEASTERLY 40 FEET OF THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. AND GOVERNMENT LOT 1 OF SAID SECTION LYING BETWEEN THE SOUTHWESTERLY LINE OF LOT 7 IN BLOCK 3 OF SAID PLAT EXTENDED NORTHWESTERLY AND THE NORTHEASTERLY LINE OF LOT 9 IN BLOCK 3 OF SAID PLAT EXTENDED NORTHWESTERLY.

ACCESS AND UTILITY EASEMENT

THAT PORTION OF LOTS 7 AND 8, BLOCK 3, AVALON PARK, ACCORDING TO THE PLAT RECORDED IN VOLUME 49 OF PLATS, AT PAGES 64 AND 65, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

A STRIP OF LAND, 20.00 FEET IN WIDTH, HAVING 10.00 FEET ON BOTH SIDES OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT THE MOST SOUTHERLY CORNER OF SAID LOT 7;
 THENCE NORTH 40°01'29" EAST, ALONG THE SOUTHEASTERLY LINE OF SAID LOT 7, A DISTANCE OF 25.00 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT FROM WHICH THE CENTER BEARS NORTH 38°23'29" EAST, 30.02 FEET DISTANT, AND THE POINT OF BEGINNING OF THIS CENTERLINE DESCRIPTION;
 THENCE NORTHWESTERLY, NORTHERLY AND NORTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 78°02'11" AND AN ARC DISTANCE OF 40.88 FEET, TO A POINT OF REVERSE CURVATURE HAVING A RADIUS OF 70.00 FEET;
 THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 100°52'58" AND AN ARC DISTANCE OF 123.25 FEET, TO A POINT HERINAFTER REFERRED TO AS POINT "A" AND THE TERMINUS OF THIS CENTERLINE DESCRIPTION;

TOGETHER WITH A STRIP OF LAND, 12.00 FEET IN WIDTH, HAVING 6.00 FEET ON BOTH SIDES OF THE FOLLOWING DESCRIBED CENTERLINE:

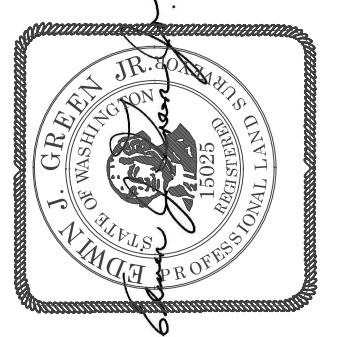
BEGINNING AT THE HEREINBEFORE REFERENCED POINT "A";
 THENCE SOUTH 40°01'29" WEST 15.43 FEET, TO THE TERMINUS OF THIS CENTERLINE DESCRIPTION;

TOGETHER WITH THAT PORTION OF SAID LOT 8, LYING NORTHERLY OF A FILLETED CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 10.00 FEET BETWEEN THE SOUTHEASTERLY LINE OF SAID 12.00 FOOT STRIP AND THE SOUTHERLY LINE OF SAID 20.00 FOOT STRIP;

TOGETHER WITH A STRIP OF LAND, 12.00 FEET IN WIDTH, HAVING 10.00 FEET ON THE NORTH SIDE AND 2.00 FEET ON THE SOUTH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE;

BEGINNING AT THE HEREINBEFORE REFERENCED POINT "A";
 THENCE NORTH 74°27'00" WEST 34.36 FEET, TO THE TERMINUS OF THIS CENTERLINE DESCRIPTION, AND A POINT ON THE SOUTHEASTERLY LINE OF THE NORTHWESTERLY 82.00 FEET OF SAID LOTS 7 AND 8;

TOGETHER WITH THAT PORTION OF SAID LOT 8, LYING NORTHERLY OF A FILLETED CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 5.00 FEET BETWEEN THE SOUTHWESTERLY LINE OF SAID 12.00 FOOT STRIP AND THE NORTHWESTERLY LINE OF SAID 12.00 FOOT STRIP;



LOT LAYOUT
 NW 1/4, NW 1/4, SEC 31, T 24N, R 5E, W.M.
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DATE: 9/16/16

DRAFTED BY: TLR

CHECKED BY: E.JG./SRM

SCALE: 1" = 20'

4 OF 4

SITE NOTES:

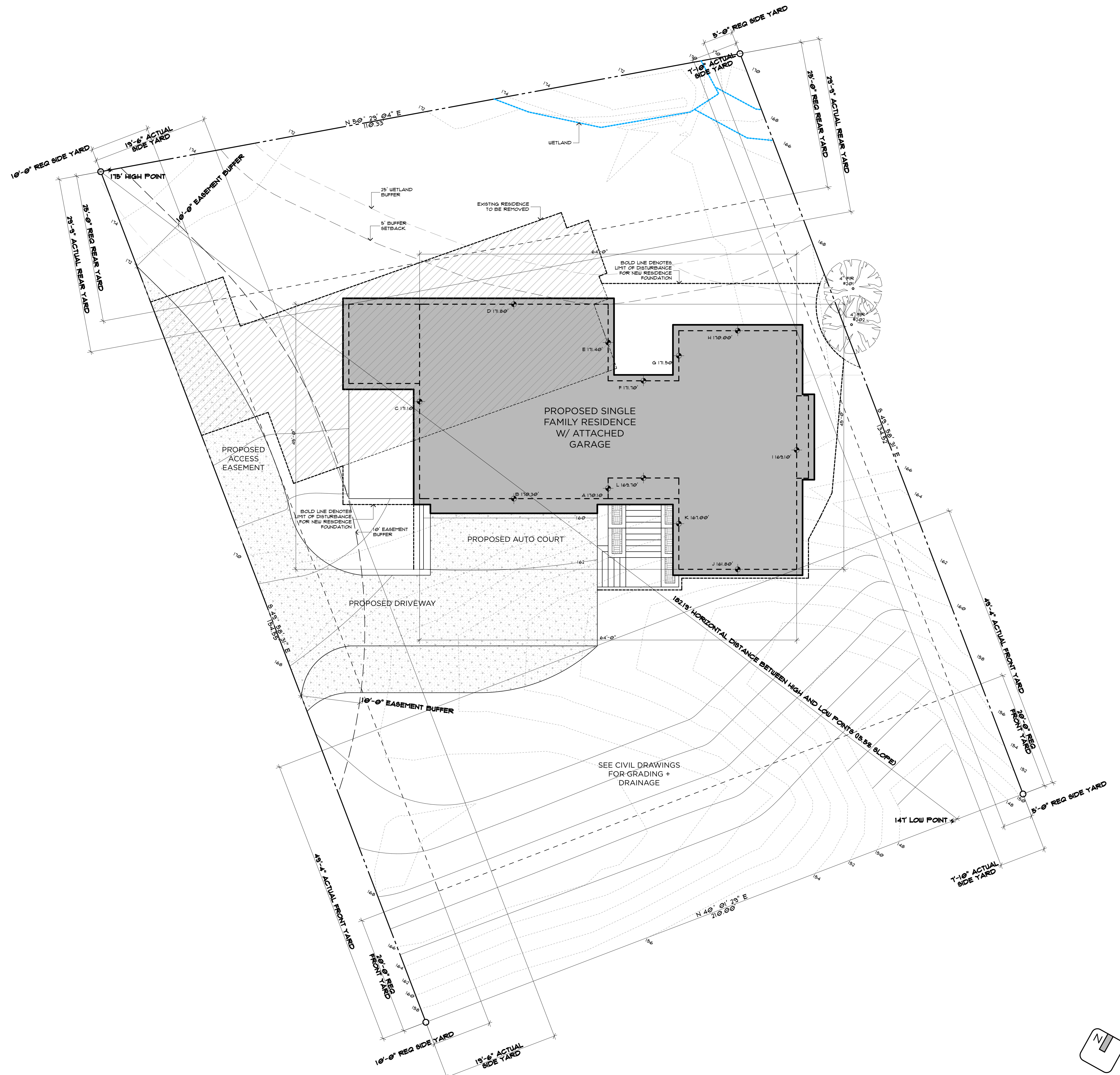
1. ALL IMMEDIATE AREAS AFFECTED BY NEW DEVELOPMENT SHALL BE GRADED AWAY FROM FOUNDATIONS + ADJACENT PROPERTIES @ 10% AS POSSIBLE, 2% MIN.

IMPERVIOUS SURFACE CALCULATIONS:

LOT AREA:	15,683 FT ²
ALLOWABLE IMPERVIOUS SURFACE: (LOT SLOPE IS BETWEEN 15% AND 30%)	5,489 FT ² (35%)
PROPOSED RESIDENCE ROOF AREA:	2,602 FT ²
PROPOSED DRIVE INCLUDING SHARED EASEMENT AREA:	1,796 FT ²
WALKS + DECKS AREA:	362 FT ²
WETLAND AREA:	286 FT ²
TOTAL IMPERVIOUS SURFACE UPON COMPLETION:	5,046 FT² (32%)

AVERAGE BUILDING ELEVATION CALC.S:

ELEVATION @ POINT A:	170.10'
SEGMENT LENGTH @ POINT A:	3.5'
ELEVATION @ POINT B:	170.30'
SEGMENT LENGTH @ POINT B:	32'
ELEVATION @ POINT C:	171.10'
SEGMENT LENGTH @ POINT C:	33'
ELEVATION @ POINT D:	171.80'
SEGMENT LENGTH @ POINT D:	32'
ELEVATION @ POINT E:	171.40'
SEGMENT LENGTH @ POINT E:	13'
ELEVATION @ POINT F:	171.70'
SEGMENT LENGTH @ POINT F:	12'
ELEVATION @ POINT G:	171.50'
SEGMENT LENGTH @ POINT G:	8.5'
ELEVATION @ POINT H:	170.00'
SEGMENT LENGTH @ POINT H:	20'
ELEVATION @ POINT I:	169.10'
SEGMENT LENGTH @ POINT I:	40.5'
ELEVATION @ POINT J:	161.80'
SEGMENT LENGTH @ POINT J:	20'
ELEVATION @ POINT K:	167.00'
SEGMENT LENGTH @ POINT K:	15.5'
ELEVATION @ POINT L:	169.70'
SEGMENT LENGTH @ POINT L:	12'
TOTAL ELEVS x SEGMENT LENGTHS:	41,044.65'
TOTAL SEGMENT LENGTHS:	242'
AVERAGE NATURAL GRADE (ANG):	169.61'

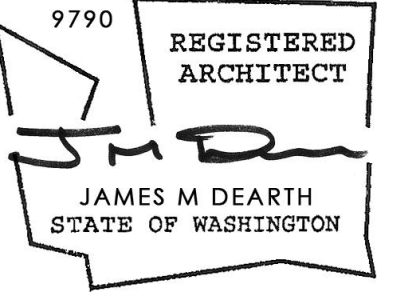


SITE PLAN



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DESIGN STUDIO

206.913.2333
4303 STONE WAY N
SEATTLE, WA 98103



E M E R C E R
P A R C E L 1

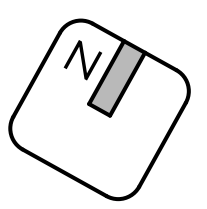
8375 E. MERCER WAY MERCER ISLAND, WA

S I T E P L A N

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A 1.1
E
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P A R C E L 1



FLOOR PLAN NOTES:

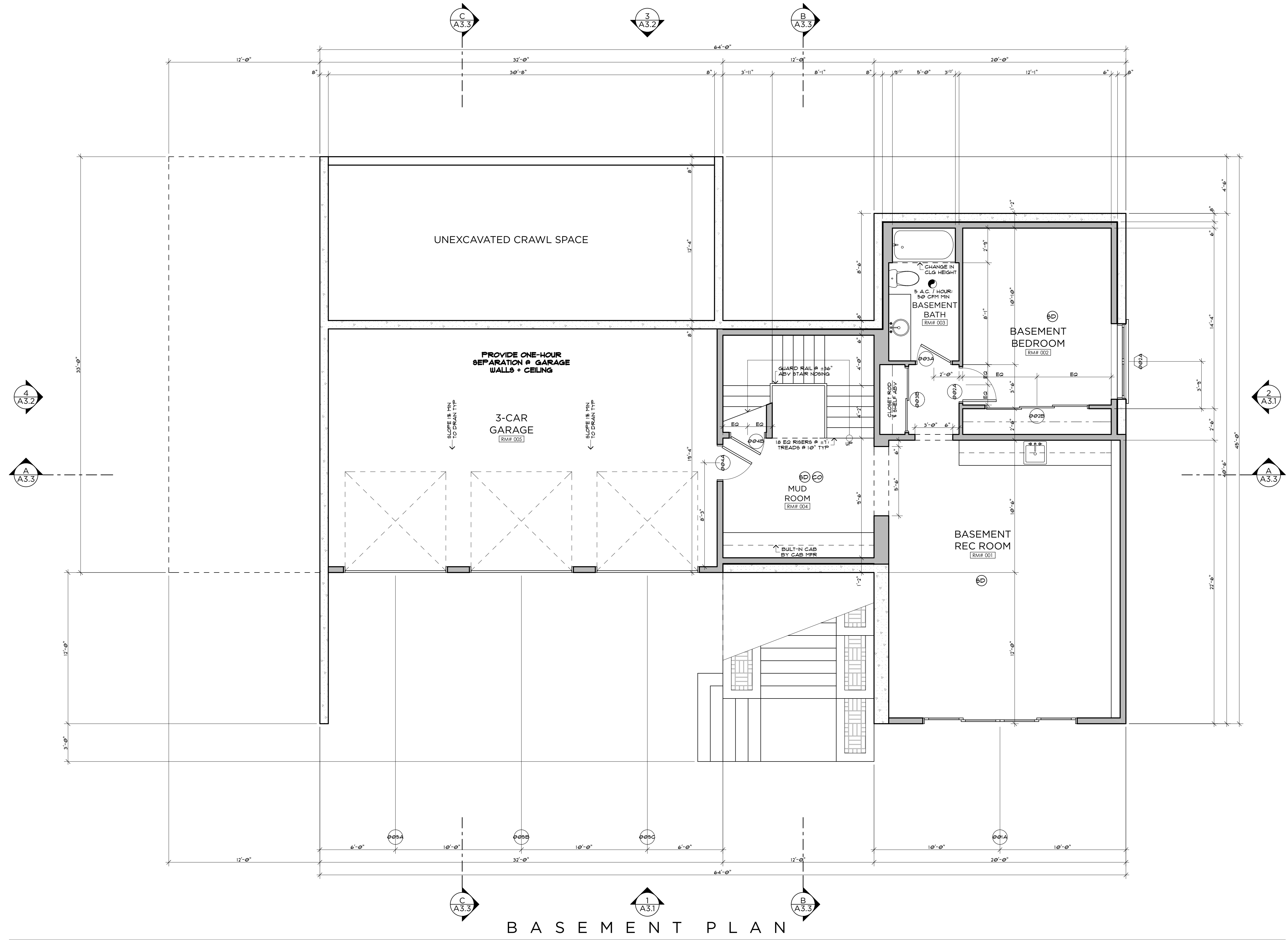
- THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
- ALL EXTERIOR WALLS SHALL BE 2x6 UWD.
- ALL INTERIOR WALLS SHALL BE 2x6 UWD.
- ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 1" - 2".
- ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST.
- ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4" SPHERE.
- ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.
- 5/8" GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS + BEAMS.
- ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM PER 302.7.
- PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.11.
- A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
- ALL SHOWERHEADS + KITCHEN SINK FAUCETS INSTALLED IN THE UNIT SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS.
- ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING PER M501.1 AND M506.2.
- CLOTHES DRYER SHALL BE EXHAUSTED TO THE OUTSIDE PER M502.1.
- ALL STAIRS SHALL MEET FOLLOWING REQUIREMENTS:
 - MINIMUM 36" WIDTH.
 - MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.
 - MINIMUM 6'-8" HEAD ROOM.
 - MINIMUM LANDING LENGTH 36"
- A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 2.0 AIR CHANGES/HOUR.

ENERGY CREDIT CALCULATIONS:

- | | |
|--|------------|
| 2b. A. TESTED AIR LEAKAGE SHALL BE 2.0 AIR CHANGES PER HOUR MAXIMUM. | 10 |
| B. HEAT RECOVERY VENTILATION SYSTEM SHALL BE INSTALLED WITH A MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.70. | |
| 3a. PROPANE FURNACE WITH MINIMUM AFUE OF 94%. | 10 |
| 5c. PROPANE WATER HEATER WITH MINIMUM EF OF 0.91. | 15 |
| TOTAL CREDITS: | 3.5 |

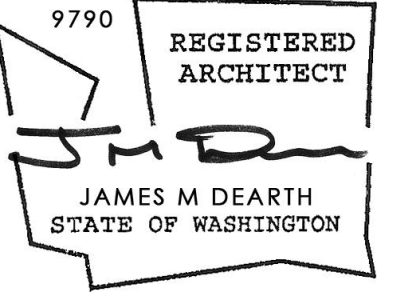
CRAWL SPACE VENT CALC.S:

- | | |
|---|----------------------------|
| CRAWL SPACE AREA | 378 FT ² |
| REQUIRED VENTILATION (1/7500" OF CRAWL SPACE AREA) | 2.52 FT ² |
| PROPOSED VENTING (WITH 3 VENTS @ 1 FT ² EACH) | 3.00 FT² |



BASEMENT PLAN

SCALE: 1/4" = 1'-0"

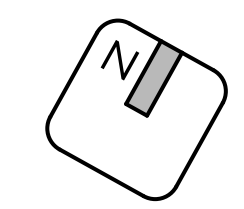


E M E R C E R
P A R C E L 1
8375 E. MERCER WAY
MERCER ISLAND, WA

B A S E M E N T P L A N

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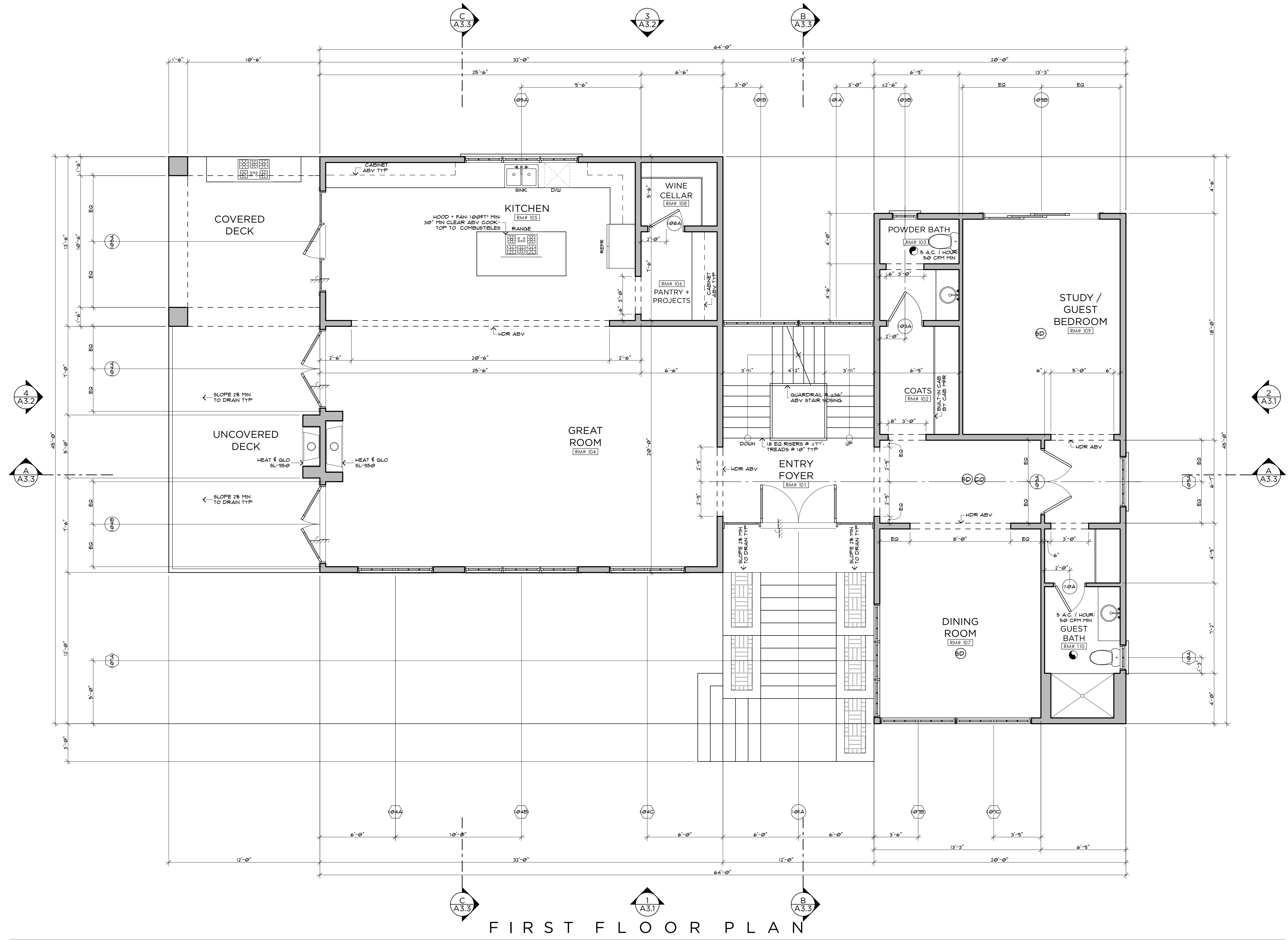


FLOOR PLAN NOTES:

- THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
- ALL EXTERIOR WALLS SHALL BE 2x6 UNO.
- ALL INTERIOR WALLS SHALL BE 2x6 UNO.
- ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 1" - 2".
- ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST.
- ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4" SPHERE.
- ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.
- 5/8" GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS + BEAMS.
- ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM PER 302.7.
- PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.11.
- A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
- ALL SHOWERHEADS + KITCHEN SINK FAUCETS INSTALLED IN THE UNIT SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS.
- ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING PER M501.1 AND M506.2.
- CLOTHES DRYER SHALL BE EXHAUSTED TO THE OUTSIDE PER M502.1.
- ALL STAIRS SHALL MEET FOLLOWING REQUIREMENTS:
 - MINIMUM 36" WIDTH.
 - MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.
 - MINIMUM 6'-8" HEAD ROOM.
 - MINIMUM LANDING LENGTH 36"
- A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 2.0 AIR CHANGES/HOUR.

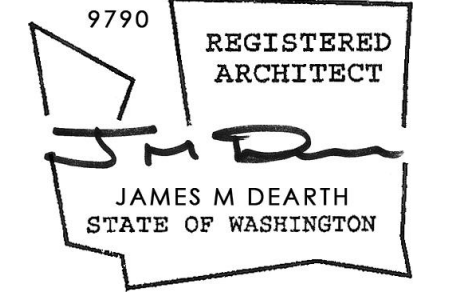
ENERGY CREDIT CALCULATIONS:

- | | |
|--|-------------|
| 2b. A. TESTED AIR LEAKAGE SHALL BE 2.0 AIR CHANGES PER HOUR MAXIMUM. | 10 |
| B. HEAT RECOVERY VENTILATION SYSTEM SHALL BE INSTALLED WITH A MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.70. | 10 |
| 3a. PROPANE FURNACE WITH MINIMUM AFUE OF 94%. | 15 |
| 5c. PROPANE WATER HEATER WITH MINIMUM EF OF 0.91. | 3.5 |
| TOTAL CREDITS: | 53.5 |



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

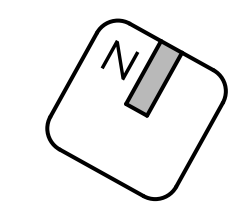


8375 E. MERCER WAY
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FIRST FLOOR PLAN

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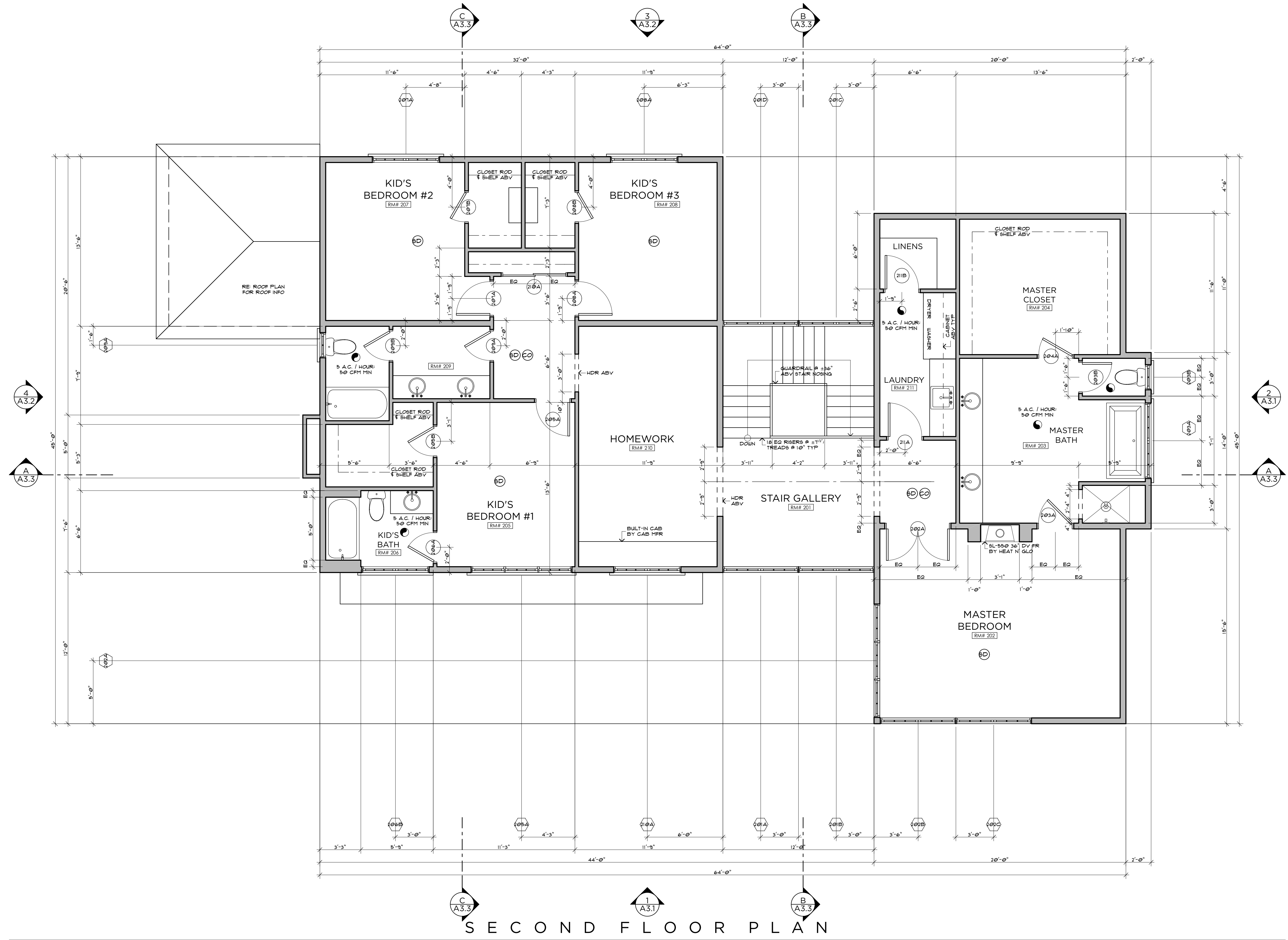


FLOOR PLAN NOTES:

1. THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
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3. ALL INTERIOR WALLS SHALL BE 2x6 UWD.
4. ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 1" - 2".
5. ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST.
6. ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4" SPHERE.
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13. ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING PER M501.1 AND M506.2.
14. CLOTHES DRYER SHALL BE EXHAUSTED TO THE OUTSIDE PER M502.1.
15. ALL STAIRS SHALL MEET FOLLOWING REQUIREMENTS:
 - A. MINIMUM 36" WIDTH.
 - B. MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.
 - C. MINIMUM 6'-8" HEAD ROOM.
 - D. MINIMUM LANDING LENGTH 36"
16. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 2.0 AIR CHANGES/HOUR.

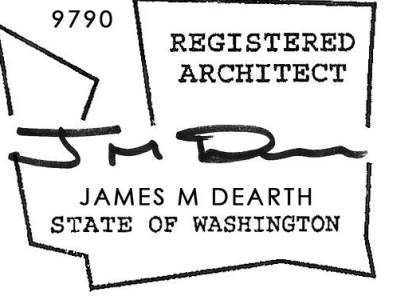
ENERGY CREDIT CALCULATIONS:

- | | |
|--|-----------|
| 2b. A. TESTED AIR LEAKAGE SHALL BE 2.0 AIR CHANGES PER HOUR MAXIMUM. | 10 |
| B. HEAT RECOVERY VENTILATION SYSTEM SHALL BE INSTALLED WITH A MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.70. | |
| 3a. PROPANE FURNACE WITH MINIMUM AFUE OF 94%. | 10 |
| 5c. PROPANE WATER HEATER WITH MINIMUM EF OF 0.91. | 15 |
| TOTAL CREDITS: | 35 |



SECOND FLOOR PLAN

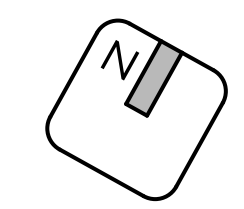
SCALE: 1/4" = 1'-0"



EMERSON
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SECOND FLOOR PLAN
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ROOF NOTES:

1. CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.
2. COORDINATE DOWNSPOUT LOCATION W/ RIPPLE DESIGN STUDIO, INC. PRIOR TO INSTALLATION.
3. ALL VENTS SHALL BE LOCATED AWAY FROM VISIBILITY @ PUBLIC RIGHT-OF-WAY.
4. TRUSS MANUFACTURERS TO PROVIDE TRUSS SHOP DRAWINGS TO RIPPLE DESIGN STUDIO FOR DESIGN APPROVAL PRIOR TO TRUSS MANUFACTURING.

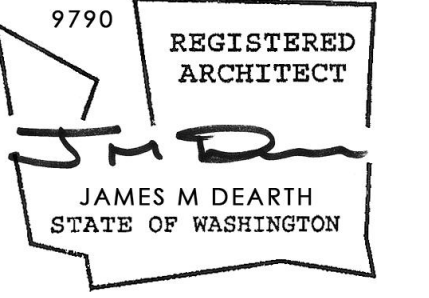
ATTIC VENTILATION CALCULATIONS:

PROPOSED ATTIC AREA	2,229 FT ²
REQUIRED VENTILATION (1/750 th OF ATTIC AREA)	14.19 FT ²
PROPOSED VENTILATION	
44.5 LINEAR FEET OF RIDGE VENT (@ 9 IN ² NET PER FOOT)	4.28 FT ²
235 LINEAR FEET OF CONTINUOUS 2" WIDE EAVE VENT (18 IN ² NET PER 24") RESTRICTED BY TRUSS BLOCKING: 3.34 IN ² PER 2" @	10.25 FT ²
HOLE, 2 HOLES PER 12" = 470 HOLES X 3.34 = 1,475.8 IN ²	
TOTAL PROPOSED VENTILATION	14.53 FT²

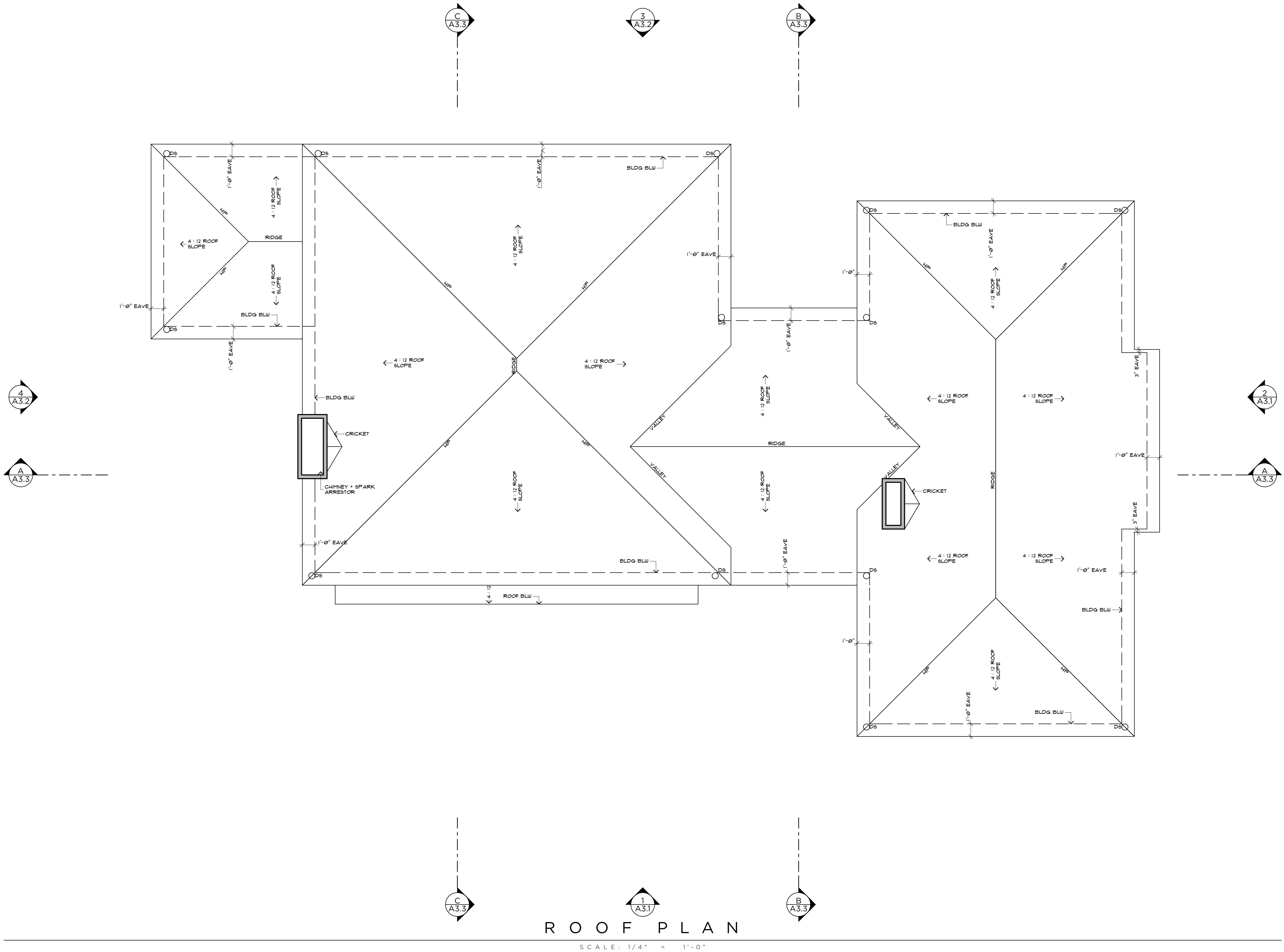


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4303 STONE WAY N
SEATTLE, WA 98103



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8375 E. MERCER WAY MERCER ISLAND, WA



ROOF PLAN

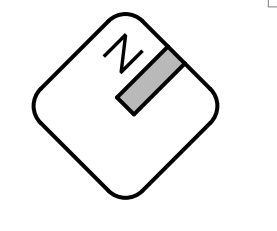
SCALE: 1/4" = 1'-0"

ROOF PLAN

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A 2 . 3
E
MERCER
PARCEL 1
10/17/17





ELEVATION + SECTION NOTES:

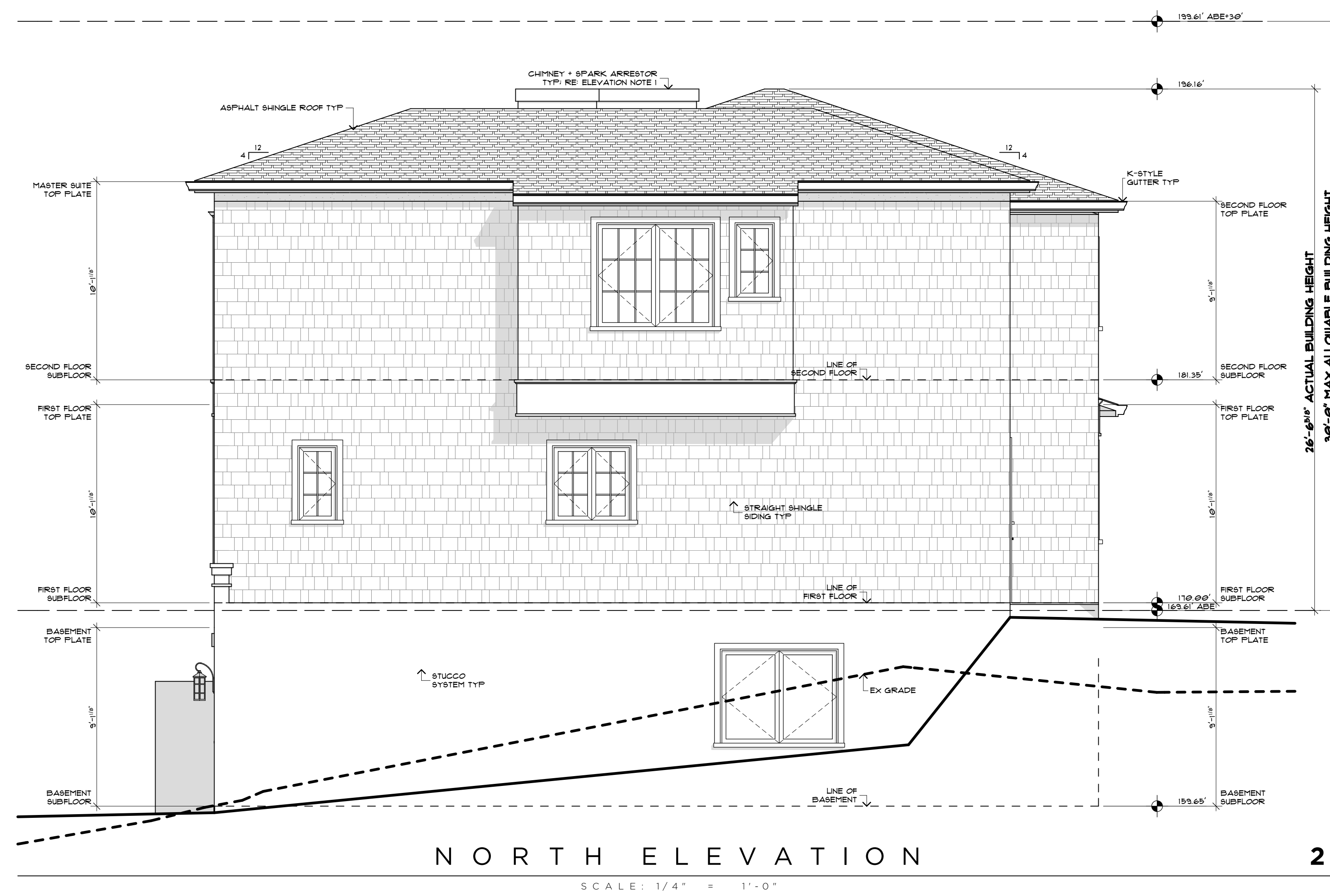
- CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABOVE ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.

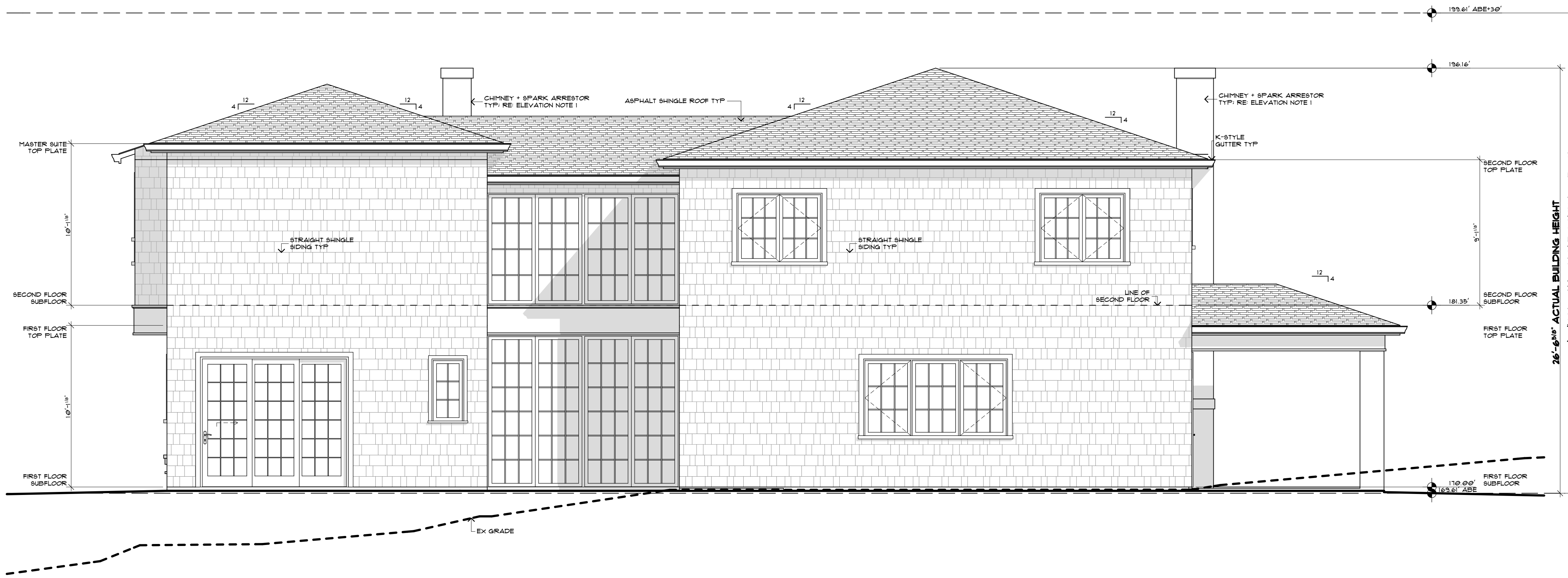
BASEMENT FLOOR AREA CALC.S:

WALL SEGMENT A LENGTH:	20'
WALL SEGMENT A COVERAGE:	100%
WALL SEGMENT B LENGTH:	12'
WALL SEGMENT B COVERAGE:	100%
WALL SEGMENT C LENGTH:	8.5'
WALL SEGMENT C COVERAGE:	100%
WALL SEGMENT D LENGTH:	20'
WALL SEGMENT D COVERAGE:	75%
WALL SEGMENT E LENGTH:	17.5'
WALL SEGMENT E COVERAGE:	50 FT %
WALL SEGMENT F LENGTH:	20'
WALL SEGMENT F COVERAGE:	0%
WALL SEGMENT G LENGTH:	12'
WALL SEGMENT G COVERAGE:	75%
WALL SEGMENT H LENGTH:	12'
WALL SEGMENT H COVERAGE:	100%
TOTAL SEGMENT LENGTHS:	145 FT'
TOTAL SEGMENT COVERAGE RESULTS:	XX.XX FT %
GROSS BASEMENT FLOOR AREA	952 FT'
GROSS BASEMENT FLOOR % TO BE EXCLUDED:	75%
GROSS BASEMENT FLOOR AREA TO BE EXCLUDED:	714.00 FT'

AVERAGE BUILDING ELEVATION CALC.S:

ELEVATION @ POINT A:	170'0"
SEGMENT LENGTH @ POINT A:	3.5'
ELEVATION @ POINT B:	170'30"
SEGMENT LENGTH @ POINT B:	32'
ELEVATION @ POINT C:	171'30"
SEGMENT LENGTH @ POINT C:	33'
ELEVATION @ POINT D:	171'80"
SEGMENT LENGTH @ POINT D:	32'
ELEVATION @ POINT E:	171'40"
SEGMENT LENGTH @ POINT E:	13'
ELEVATION @ POINT F:	171'70"
SEGMENT LENGTH @ POINT F:	12'
ELEVATION @ POINT G:	171'50"
SEGMENT LENGTH @ POINT G:	8.5'
ELEVATION @ POINT H:	170'00"
SEGMENT LENGTH @ POINT H:	20'
ELEVATION @ POINT I:	169'30"
SEGMENT LENGTH @ POINT I:	40.5'
ELEVATION @ POINT J:	161'80"
SEGMENT LENGTH @ POINT J:	20'
ELEVATION @ POINT K:	167'00"
SEGMENT LENGTH @ POINT K:	15.5'
ELEVATION @ POINT L:	169'70"
SEGMENT LENGTH @ POINT L:	12'
TOTAL ELEVATION x SEGMENT LENGTHS:	41,044.65'
TOTAL SEGMENT LENGTHS:	232'
AVERAGE NATURAL GRADE (ANG):	169.61'

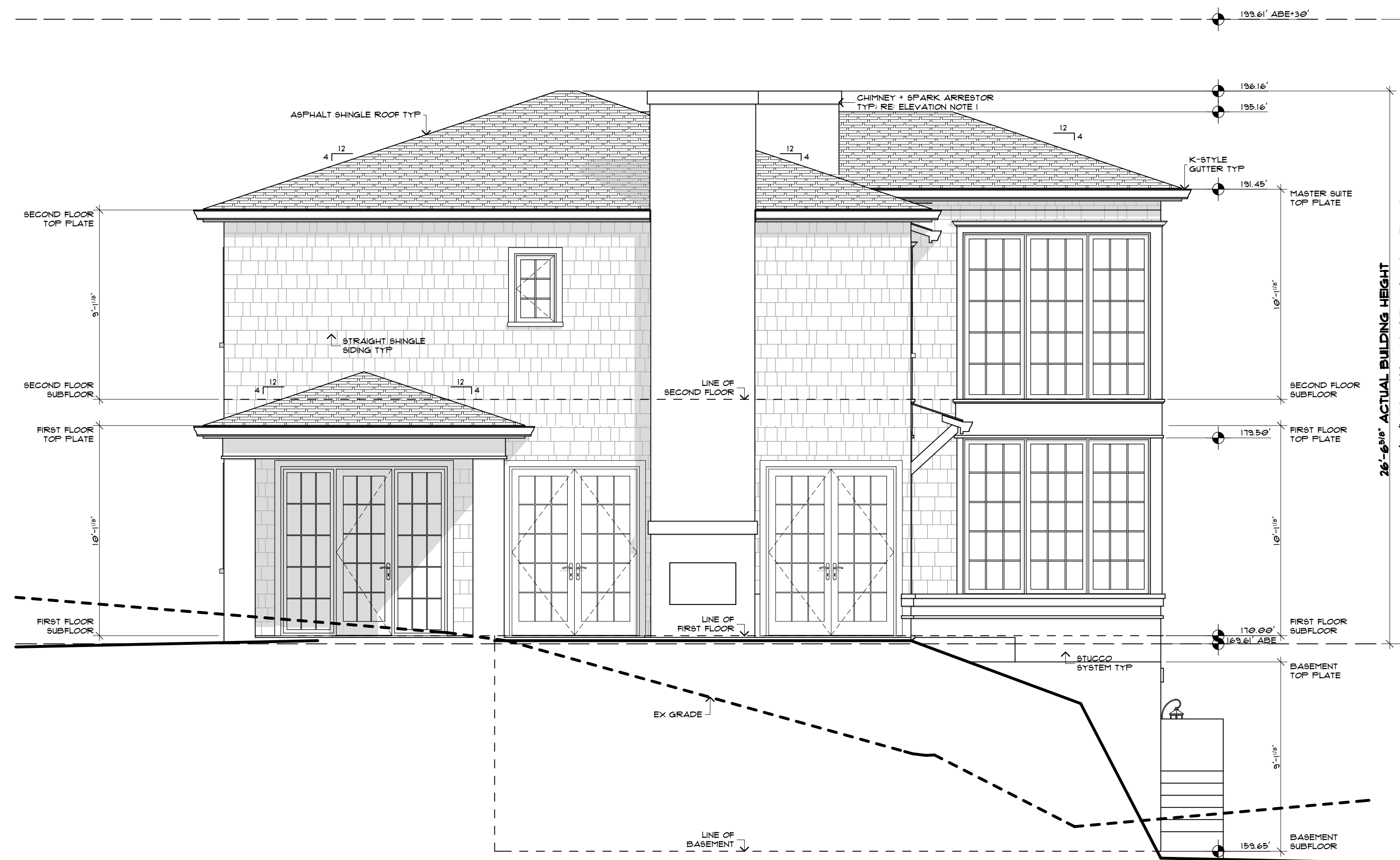




WEST ELEVATION

3

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

4

SCALE: 1/4" = 1'-0"

ELEVATION + SECTION NOTES:

- CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABOVE ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.

BASEMENT FLOOR AREA CALC.S:

WALL SEGMENT A LENGTH:	20'
WALL SEGMENT A COVERAGE:	100%
WALL SEGMENT B LENGTH:	(20.00 FT % RESULT)
WALL SEGMENT B COVERAGE:	12'
WALL SEGMENT C LENGTH:	8.5'
WALL SEGMENT C COVERAGE:	100%
WALL SEGMENT D LENGTH:	(8.50 FT % RESULT)
WALL SEGMENT D COVERAGE:	20'
WALL SEGMENT E LENGTH:	75%
WALL SEGMENT E COVERAGE:	(5.00 FT % RESULT)
WALL SEGMENT F LENGTH:	40.5'
WALL SEGMENT F COVERAGE:	50 FT %
WALL SEGMENT G LENGTH:	(20.25 FT % RESULT)
WALL SEGMENT G COVERAGE:	20'
WALL SEGMENT H LENGTH:	0%
WALL SEGMENT H COVERAGE:	(0.00 FT % RESULT)
WALL SEGMENT I LENGTH:	12'
WALL SEGMENT I COVERAGE:	75%
WALL SEGMENT J LENGTH:	(9.00 FT % RESULT)
WALL SEGMENT J COVERAGE:	12'
WALL SEGMENT K LENGTH:	12'
WALL SEGMENT K COVERAGE:	100%
WALL SEGMENT L LENGTH:	(12.00 FT % RESULT)
TOTAL SEGMENT LENGTHS:	145 FT'
TOTAL SEGMENT COVERAGE RESULTS:	XX.XX FT %
GROSS BASEMENT FLOOR AREA:	952 FT'
GROSS BASEMENT FLOOR % TO BE EXCLUDED:	75%
GROSS BASEMENT FLOOR AREA TO BE EXCLUDED:	714.00 FT'

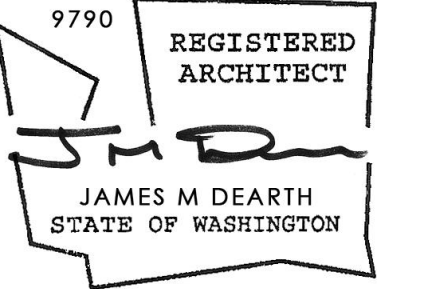
AVERAGE BUILDING ELEVATION CALC.S:

ELEVATION @ POINT A:	170.0'
SEGMENT LENGTH @ POINT A:	3.5'
ELEVATION @ POINT B:	(595.35' @ ELEV x LENGTH)
SEGMENT LENGTH @ POINT B:	170.30'
ELEVATION @ POINT C:	(5.449.60' @ ELEV x LENGTH)
SEGMENT LENGTH @ POINT C:	32'
ELEVATION @ POINT D:	(5.646.30' @ ELEV x LENGTH)
SEGMENT LENGTH @ POINT D:	33'
ELEVATION @ POINT E:	(5.497.60' @ ELEV x LENGTH)
SEGMENT LENGTH @ POINT E:	32'
ELEVATION @ POINT F:	(2.228.20' @ ELEV x LENGTH)
SEGMENT LENGTH @ POINT F:	13'
ELEVATION @ POINT G:	(2.060.40' @ ELEV x LENGTH)
SEGMENT LENGTH @ POINT G:	12'
ELEVATION @ POINT H:	171.50'
SEGMENT LENGTH @ POINT H:	8.5'
ELEVATION @ POINT I:	(1.457.75' @ ELEV x LENGTH)
SEGMENT LENGTH @ POINT I:	170.00'
ELEVATION @ POINT J:	20'
SEGMENT LENGTH @ POINT J:	(3.400' @ ELEV x LENGTH)
ELEVATION @ POINT K:	169.30'
SEGMENT LENGTH @ POINT K:	40.5'
ELEVATION @ POINT L:	(6.848.55' @ ELEV x LENGTH)
SEGMENT LENGTH @ POINT L:	20'
ELEVATION @ POINT M:	161.80'
SEGMENT LENGTH @ POINT M:	(3.236' @ ELEV x LENGTH)
ELEVATION @ POINT N:	167.00'
SEGMENT LENGTH @ POINT N:	15.5'
ELEVATION @ POINT O:	(2.588.50' @ ELEV x LENGTH)
SEGMENT LENGTH @ POINT O:	169.70'
ELEVATION @ POINT P:	12'
SEGMENT LENGTH @ POINT P:	(2.036.40' @ ELEV x LENGTH)
TOTAL ELEV x SEGMENT LENGTHS:	41,044.65'
TOTAL SEGMENT LENGTHS:	292'
AVERAGE NATURAL GRADE (ANG):	169.61'



RIPPLE DESIGN STUDIO

206.913.2333
4303 STONE WAY N
SEATTLE, WA 98103



EMERCEL 1

8375 E. MERCER WAY MERCER ISLAND, WA

BUILDINGS ELEVATIONS

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RELEASE
BUILDING PERMIT
10 OCT 2017

A 3.2

EMERCEL 1

ELEVATION + SECTION NOTES:



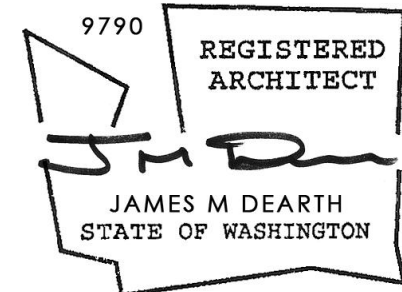
RIPPLE DESIGN STUDIO

206.913.2333
4303 STONE WAY N
SEATTLE, WA 98103

- CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABOV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.

WSEC 2015 NOTES:

- THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2015 PRESCRIPTIVE METHOD.
- INSULATION VALUES SHALL BE AS FOLLOWS:
 - ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
 - ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.
 - ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.
 - ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
 - ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.
 - ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN.
 - ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAMED WALL.
 - ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
 - ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10 RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.
 - ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL.
- RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
- PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
- PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ ALL BATHS + LAUNDRY.
- NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM EF OF 0.91 (WSEC 406.2, CREDIT 5c).
- AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.41 THROUGH R402.44. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.



8375 E. MERCER WAY
MERCER ISLAND, WA
E M E R C E R
P A R C E L 1



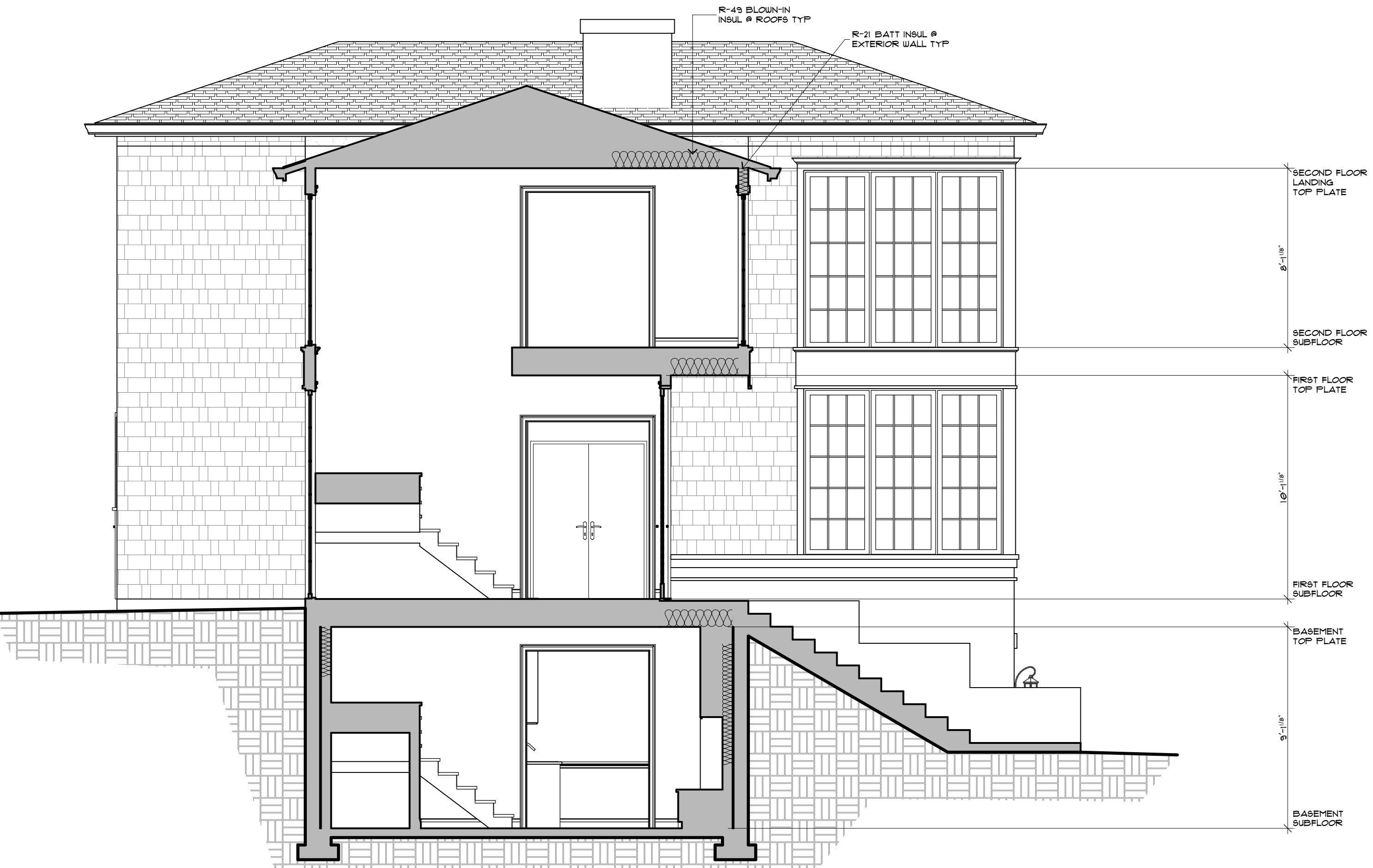
SECTION A - A

SCALE: 1/4" = 1'-0"



SECTION C - C

SCALE: 1/4" = 1'-0"



SECTION B - B

SCALE: 1/4" = 1'-0"

BUILDING A - C
SECTION THROUGH C - C
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10 OCT 2017

DOOR SCHEDULE:

DOOR NO.	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	REMARKS
001A	12'-0"	8'-0"	FRENCH SLIDER	ALUMINUM / GLASS		4 PANEL, DIVIDED LIGHT
002A	2'-8"	7'-0"	PANEL	WOOD		
002B	8'-0"	7'-0"	SLIDER	WOOD		TRIPLE BY-PASS CLOSET
003A	2'-8"	8'-0"	PANEL	WOOD		PRIVACY LOCK
003B	5'-0"	7'-0"	SLIDER	WOOD		DOUBLE BY-PASS CLOSET
004A	2'-8"	8'-0"	PANEL	WOOD		AUTO-CLOSER, 20 MIN. RATED
004B	2'-8"	8'-0"	PANEL	WOOD		
005A	8'-0"	8'-0"	OVERHEAD	WOOD		GARAGE DOOR
005B	8'-0"	8'-0"	OVERHEAD	WOOD		GARAGE DOOR
005C	8'-0"	8'-0"	OVERHEAD	WOOD		GARAGE DOOR
101A	6'-0"	9'-6"	FRENCH	ALUMINUM / GLASS		PAIR, DIVIDED LIGHT, W/3'-0" SIDELIGHTS
103A	2'-8"	8'-0"	PANEL	WOOD		PRIVACY LOCK
104A	6'-0"	8'-0"	FRENCH	ALUMINUM / GLASS		PAIR, DIVIDED LIGHT
104B	6'-0"	8'-0"	FRENCH	ALUMINUM / GLASS		PAIR, DIVIDED LIGHT
105A	2'-8"	8'-0"	FRENCH	ALUMINUM / GLASS		DIVIDED LIGHT, W/ 2'-8" SIDELIGHTS
108A	2'-8"	8'-0"	PANEL	WOOD		
109A	5'-0"	7'-0"	PANEL	WOOD		PAIR, PRIVACY LOCK
109B	9'-0"	8'-0"	FRENCH SLIDER	ALUMINUM / GLASS		3-PANEL, DIVIDED LIGHT
110A	2'-4"	8'-0"	PANEL	WOOD		
202A	5'-0"	8'-0"	PANEL	WOOD		PAIR, PRIVACY LOCK
203A	2'-8"	8'-0"	PANEL	WOOD		
203B	2'-4"	8'-0"	PANEL	WOOD		
204A	2'-8"	8'-0"	PANEL	WOOD		
205A	2'-8"	7'-0"	PANEL	WOOD		PRIVACY LOCK
205B	2'-4"	7'-0"	PANEL	WOOD		
206A	2'-4"	7'-0"	PANEL	WOOD		
207A	2'-8"	7'-0"	PANEL	WOOD		PRIVACY LOCK
207B	2'-4"	7'-0"	PANEL	WOOD		
208A	2'-8"	7'-0"	PANEL	WOOD		PRIVACY LOCK
208B	2'-4"	7'-0"	PANEL	WOOD		
209A	2'-4"	7'-0"	PANEL	WOOD		
209B	2'-4"	7'-0"	PANEL	WOOD		PRIVACY LOCK
210A	5'-0"	7'-0"	SLIDER	WOOD		
211A	2'-8"	8'-0"	PANEL	WOOD		
211B	2'-8"	8'-0"	PANEL	WOOD		

WINDOW SCHEDULE:

WINDOW NO.	WIDTH	HEIGHT	HEADER	TYPE	MATERIAL	FINISH	REMARKS
002A	6'-0"	5'-0"	8'-0"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
101A	6'-0"	9'-6"	9'-6"	CASEMENT	ALUMINUM		DIVIDED LIGHT
101B	6'-0"	9'-6"	9'-6"	CASEMENT	ALUMINUM		DIVIDED LIGHT
103B	2'-0"	4'-0"	8'-0"	CASEMENT	ALUMINUM		DIVIDED LIGHT
104A	6'-0"	7'-6"	9'-6"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
104B	9'-0"	7'-6"	9'-6"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
104C	6'-0"	7'-6"	9'-6"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
105A	9'-0"	5'-0"	8'-0"	TRIPLE CASEMENT	ALUMINUM		DIVIDED LIGHT
107A	9'-0"	7'-6"	9'-6"	TRIPLE CASEMENT	ALUMINUM		DIVIDED LIGHT
107B	6'-0"	7'-6"	9'-6"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
107C	6'-0"	7'-6"	9'-6"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
109A	4'-0"	4'-0"	8'-0"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
110A	2'-0"	4'-0"	8'-0"	CASEMENT	ALUMINUM		DIVIDED LIGHT
201A	6'-0"	7'-0"	7'-0"	FIXED PAIR	ALUMINUM		DIVIDED LIGHT
201B	6'-0"	7'-0"	7'-0"	FIXED PAIR	ALUMINUM		DIVIDED LIGHT
201C	6'-0"	7'-0"	7'-0"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
201D	6'-0"	7'-0"	7'-0"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
202A	9'-0"	8'-0"	8'-0"	FIXED TRIPLE	ALUMINUM		DIVIDED LIGHT
202B	6'-0"	8'-0"	8'-0"	FIXED PAIR	ALUMINUM		DIVIDED LIGHT
202C	6'-0"	8'-0"	8'-0"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
203A	6'-0"	5'-6"	8'-0"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
203B	2'-0"	4'-0"	8'-0"	CASEMENT	ALUMINUM		DIVIDED LIGHT
205A	8'-0"	5'-0"	7'-0"	TRIPLE CASEMENT	ALUMINUM		DIVIDED LIGHT
204B	5'-4"	5'-0"	7'-0"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
207A	5'-4"	4'-6"	7'-0"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
208A	5'-4"	4'-6"	7'-0"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT
209A	2'-0"	3'-6"	7'-0"	CASEMENT	ALUMINUM		DIVIDED LIGHT
210A	5'-4"	5'-0"	7'-0"	DOUBLE CASEMENT	ALUMINUM		DIVIDED LIGHT

WSEC 2015 NOTES:

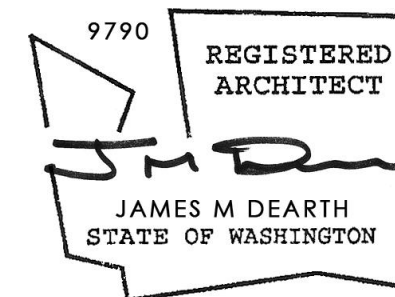
- THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2015 PRESCRIPTIVE METHOD.
- INSULATION VALUES SHALL BE AS FOLLOWS:
 - ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
 - ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.
 - ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.
 - ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
 - ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.
 - ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN.
 - ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAMED WALL.
 - ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
 - ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10 RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.
 - ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL.
- RE STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
- PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
- PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ ALL BATHS + LAUNDRY.
- NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM EF OF 0.91 (WSEC 406.2, CREDIT 5c).
- AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.



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4303 STONE WAY N
SEATTLE, WA 98103



E M E R C E R
P A R C E L 1

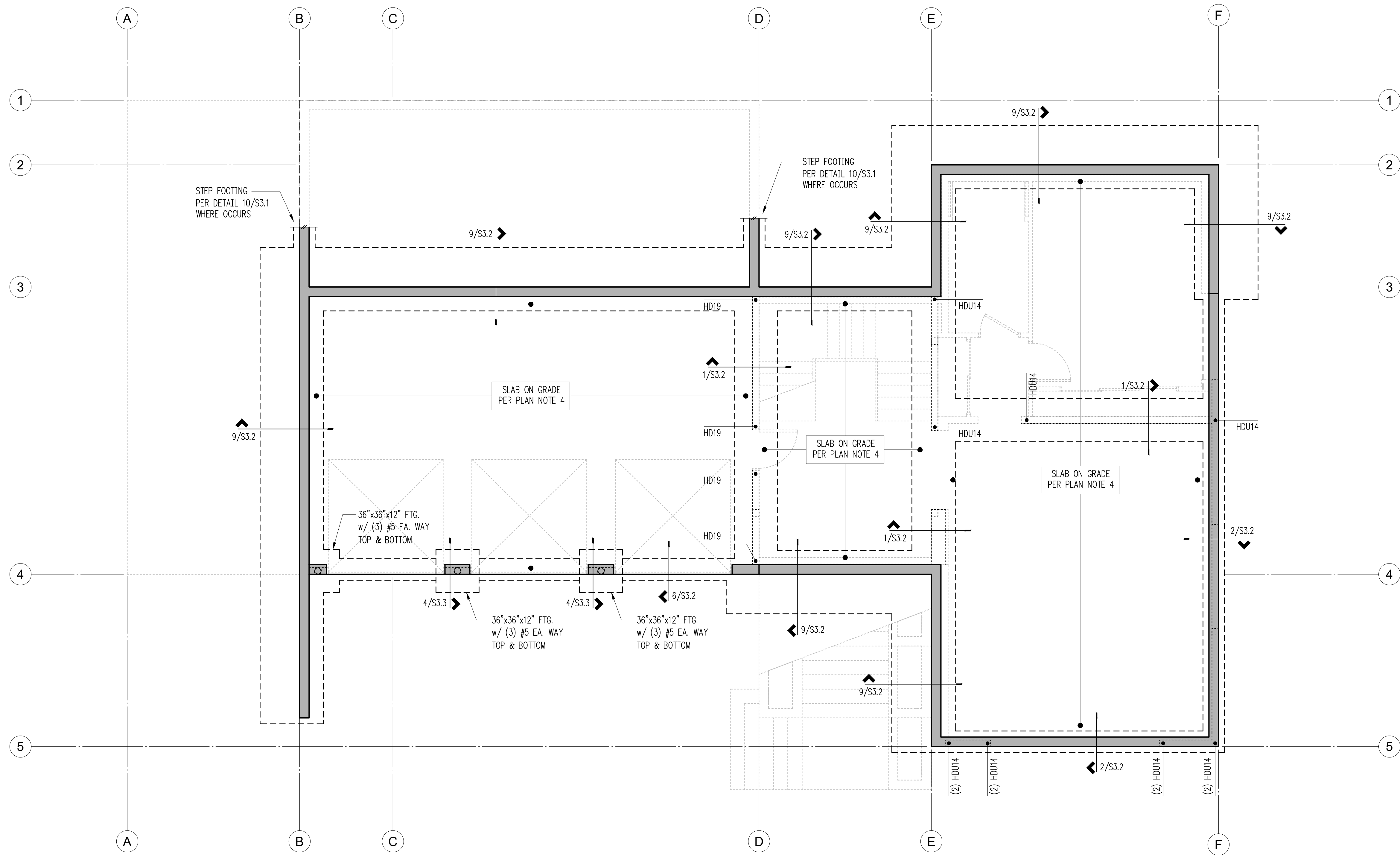
8375 E. MERCER WAY MERCER ISLAND, WA

D O O R +
W I N D O W S
S C H E D U L E S
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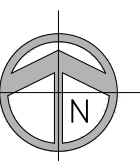
A 4 . 1
E
MERCER
PARCEL 1
10/17/17

NOTE: FOUNDATION DESIGN BASED ON INSTALLATION OF AGGREGATE PIERS IN ACCORDANCE WITH RECOMMENDATIONS OF GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER SHALL INSPECT AND APPROVE ALL SOIL CONDITIONS PRIOR TO FORMING FOUNDATIONS



Foundation Plan

Scale: 1/4"=1'-0"



Plan Notes

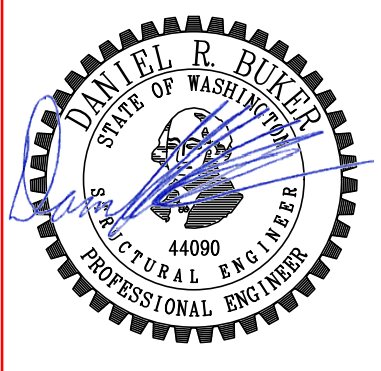
1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).
2. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
3. ALL FOOTINGS SHALL BEAR ON FIRM, NATIVE SOIL.
4. 4" CONCRETE SLAB ON GRADE REINFORCED WITH #3 @ 12"oc EACH WAY, CENTERED IN SLAB. PROVIDE A BASE OF 4" COMPACTED, CLEAN 3/4" MINUS GRAVEL COVERED WITH 4 MIL. VAPOR BARRIER. PROVIDE JOINTS PER 2/S3.1.

Plan Notes (Con't)

6. PROVIDE DRAINAGE BEHIND ALL FOUNDATION WALLS.
7. REINFORCE FOOTING AND WALL CORNERS AND INTERSECTIONS PER 6/S3.1.
8. "HDU_" REFERS TO HOLDDOWNS PER 8/S3.1
9. REFER 5/S3.2 WHERE PIPES PENETRATE FOUNDATION.
10. CONTRACTOR TO STEP FOUNDATION AS REQ'D PER DETAIL 10/S3.1.
11. CONTRACTOR TO VERIFY TOP OF FOOTING ELEVATION w/ ARCHITECTURAL PLANS.

Legend

- (N) CONCRETE WALL ABOVE THIS LEVEL
- (N) CONCRETE FOOTING
- (N) SPAN DIRECTION
- EXTENT OF SPAN
- JOIST or BEAM HANGER PROVIDE HU HANGER u.n.o.
- HD HOLDOWN TYPE



East Mercer - Parcel 1

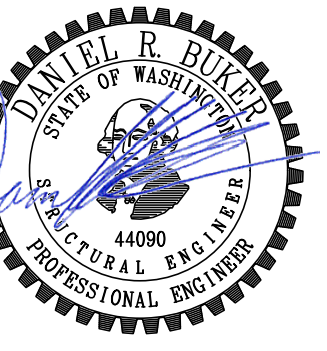
8375 E Mercer Way
Mercer Island, WA, 98040

No.	Date	Issue
	7/13/17	Permit

Sheet Contents
Foundation Plan

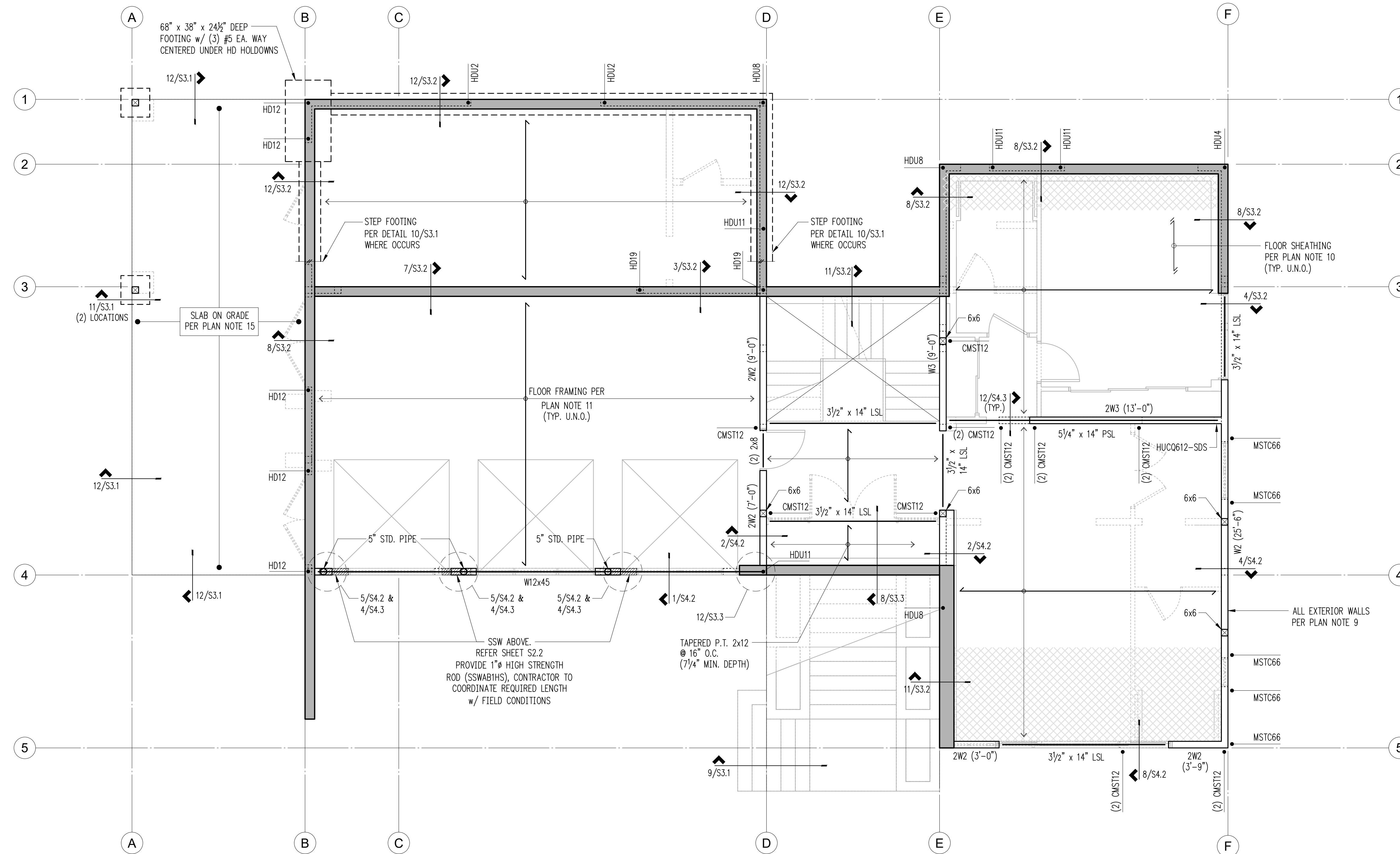
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S2.0



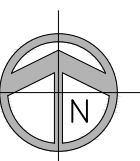
East Mercer - Parcel 1

8375 E Mercer Way
Mercer Island, WA, 98040



First Floor Framing Plan

Scale: 1/4"=1'-0"



Plan Notes

- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
- ALL FOOTINGS SHALL BEAR ON FIRM, NATIVE SOIL.
- PROVIDE DRAINAGE BEHIND ALL FOUNDATION WALLS.
- REINFORCE FOOTING AND WALL CORNERS AND INTERSECTIONS PER 6/S3.1.
- "HDU_" REFERS TO HOLDDOWNS PER 8/S3.1
- REFER 5/S3.2 WHERE PIPES PENETRATE FOUNDATION.

Plan Notes (Cont')

- CONTRACTOR TO VERIFY TOP OF FOOTING ELEVATION W/ ARCHITECTURAL PLANS.
- "W#" REFERS TO SHEARWALL TYPE PER 3/S4.1 & 7/S4.1. ALL OTHER NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(X-X)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
- FLOOR SHEATHING SHALL BE 1/8" T&G PLYWOOD SHEATHING WITH 48/24 SPAN RATING. NAIL FRAMED PANEL EDGES W/ 8d COMMON (0.131"dia. x 2 1/2") @ 6"oc, FIELD @ 12"oc. (REFER TO 9/S4.1)
- FLOOR FRAMING TO BE 14" TJI/210 @ 16"oc (U.N.O.)
- "MSTC66" & "CS16" REFER TO 60" LONG HOLDDOWNS PER 11/S4.2 & 7/S4.2 RESPECTIVELY.

Plan Notes (Cont')

- PROVIDE TOP PLATE SPLICES PER 1/S4.1
- REFER TO 11/S4.1 AT SHEARWALL INTERSECTIONS.
- 4" CONCRETE SLAB ON GRADE REINFORCED WITH #3 @ 12"oc EACH WAY, CENTERED IN SLAB. PROVIDE A BASE OF 4" COMPACTED, CLEAN 3/4" MINUS GRAVEL COVERED WITH 4 MIL. VAPOR BARRIER. PROVIDE JOINTS PER 2/S3.1.
- "SSW#" REFERS TO SIMPSON STRONGWALL. COORDINATE WALL HEIGHT WITH ARCHITECTURAL PLANS. REFER TO SSW1, SSW2 & 5/S4.2 FOR DETAILS. CONTRACTOR TO VERIFY REQ'D HEIGHT PRIOR TO PURCHASE.
- "D.S." REFERS TO DRAG STRUT. NAIL FLOOR SHEATHING TO DRAG STRUT WITH (2) ROWS OF 8d COMMON (0.131"dia. x 2 1/2") @ 4"oc. (REFER TO 5/S4.1)

Legend

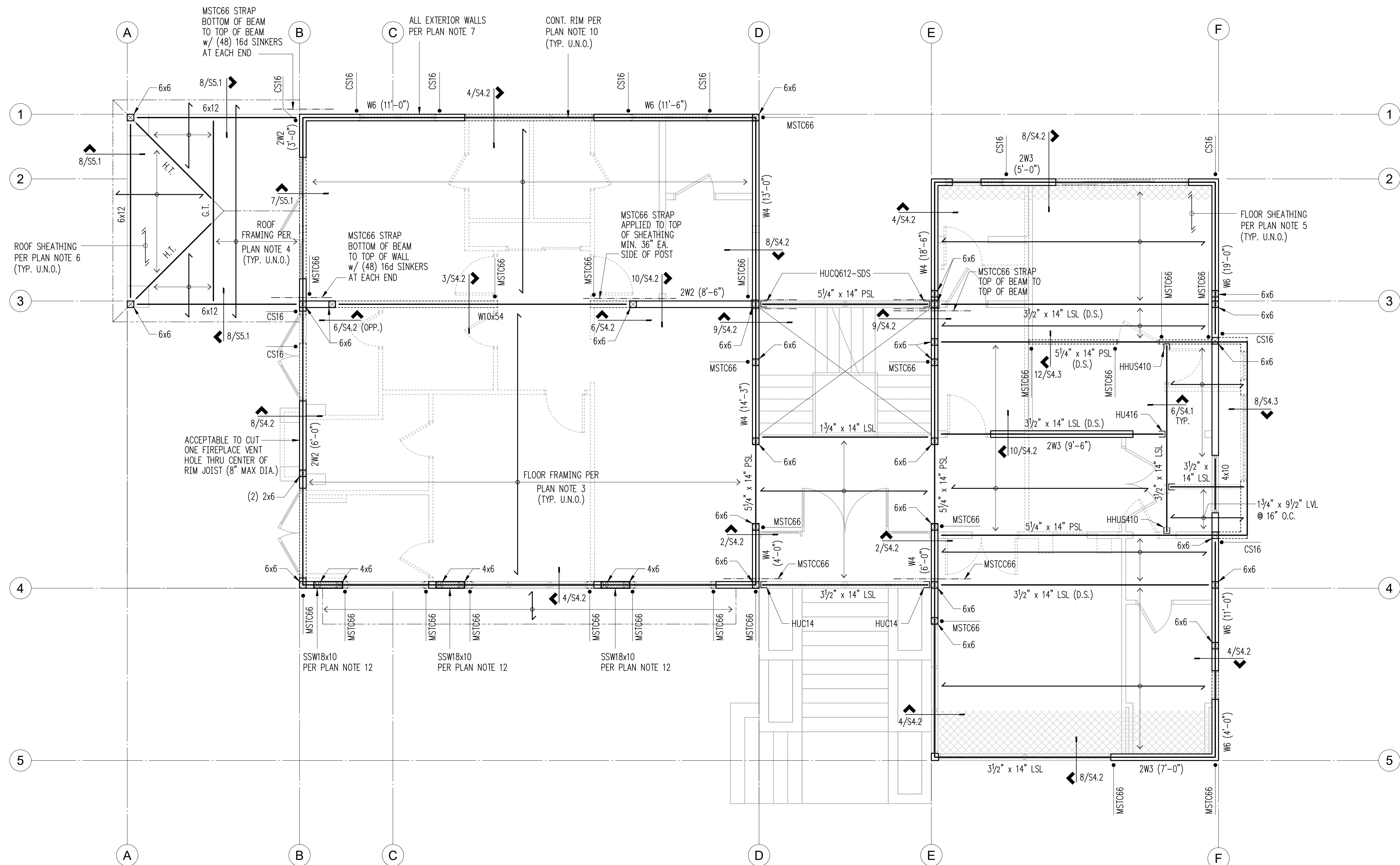
- STRUCTURAL WOOD WALL or POST BELOW THIS LEVEL
- STRUCTURAL WOOD WALL or POST ABOVE THIS LEVEL
- CONCRETE WALL ABOVE THIS LEVEL
- CONCRETE FOOTING AT THIS LEVEL
- SPAN DIRECTION
- EXTENT OF SPAN
- JOIST or BEAM HANGER
- HOLDOWN TYPE
- BLOCK DIAPHR. 2X'S LAID FLAT @ ALL PANEL EDGES. 8d @ 4"oc @ ALL PANEL EDGES & 12"oc IN FIELD. (REFER TO 9/S4.1)

No.	Date	Issue
1	7/13/17	Permit

Sheet Contents
First Floor Framing Plan

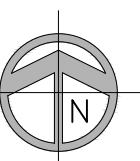
Sheet No.

S2.1



Second Floor Framing Plan

Scale: 1/4"=1'-0"



Plan Notes

- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
- FLOOR FRAMING TO BE 14" TJI/210 @ 16"oc (U.N.O.)
- ROOF FRAMING (where occurs) SHALL BE PRE-MANUFACTURED ROOF TRUSSES @ 24"oc. (Truss design by others).
- FLOOR SHEATHING SHALL BE 1 1/8" T&G PLYWOOD SHEATHING WITH 48/24 SPAN RATING. NAIL FRAMED PANEL EDGES W/ 8d COMMON (0.131"dia. x 2 1/2") @ 6"oc, FIELD @ 12"oc. (REFER TO 9/S4.1)

Plan Notes (Con't)

- ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD SHEATHING WITH 40/20 SPAN RATING. NAIL FRAMED PANEL EDGES W/ 8d COMMON (0.131"dia. x 2 1/2") @ 6"oc, FIELD @ 12"oc. (REFER TO 9/S4.1)
- "W#" REFERS TO SHEARWALL TYPE PER 3/S4.1 & 7/S4.1. ALL OTHER NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(X-X)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
- "MSTC66" & "CS16" REFER TO HOLDDOWNS PER 11/S4.2 & 7/S4.2 RESPECTIVELY.
- PROVIDE TOP PLATE SPLICES PER 1/S4.1

Plan Notes (Con't)

- AT EXTERIOR WALLS, PROVIDE CONTINUOUS FLUSH FRAMED 3/2" X 14" LSL STRUCTURAL RIM JOIST, UNLESS NOTED OTHERWISE. RIM JOISTS OVER OPENINGS SHALL BE CONTINUOUS W/ NO SPLICES. REFER TO 4/S4.2 & 8/S4.2.
- REFER TO 11/S4.1 AT SHEARWALL INTERSECTIONS.
- "SSW#" REFERS TO SIMPSON STRONGWALL. COORDINATE WALL HEIGHT WITH ARCHITECTURAL PLANS. REFER TO SSW1, SSW2 & 5/S4.2 FOR DETAILS. CONTRACTOR TO VERIFY REQ'D HEIGHT PRIOR TO PURCHASE.
- "D.S." REFERS TO DRAG STRUT. NAIL FLOOR SHEATHING TO DRAG STRUT WITH (2) ROWS OF 8d COMMON (0.131"dia. x 2 1/2") @ 4"oc. (REFER TO 5/S4.1)

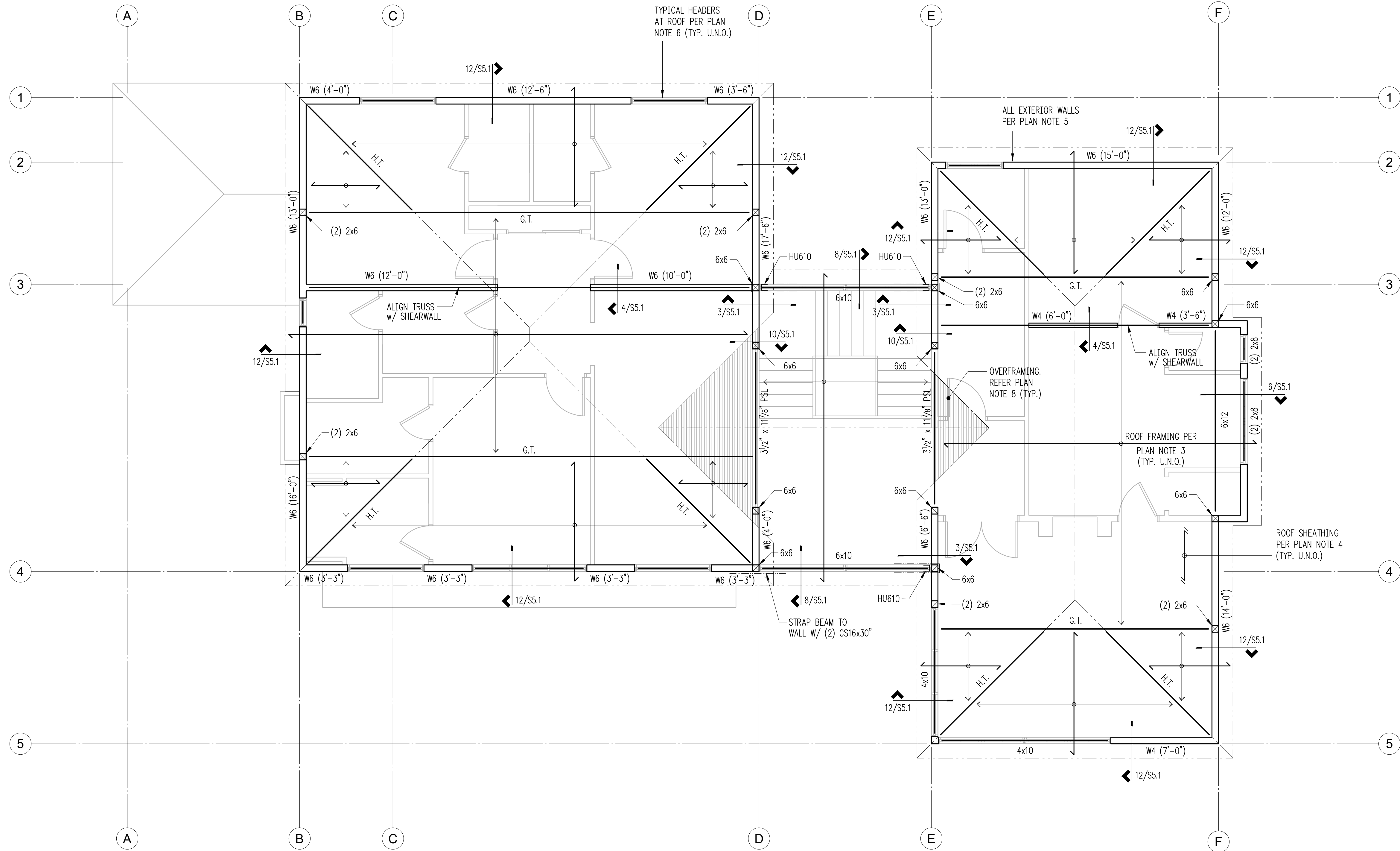
Legend

- STRUCTURAL WOOD WALL or POST BELOW THIS LEVEL
- STRUCTURAL WOOD WALL or POST ABOVE THIS LEVEL
- HOLDDOWN TYPE
- SPAN DIRECTION
- EXTENT OF SPAN
- JOIST or BEAM HANGER
- G.I.T. GIRDER TRUSS
- H.T. HIP TRUSS
- BLOCK DIAPHR. 2X'S LAID FLAT @ ALL PANEL EDGES. 8D @ 4"OC @ ALL PANEL EDGES & 12"OC IN FIELD. (REFER TO 9/S4.1)

No.	Date	Issue
	7/13/17	Permit

Sheet Contents
Second Floor Framing Plan

Sheet No.

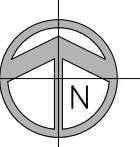


East Mercer - Parcel 1

8375 E Mercer Way
Mercer Island, WA, 98040

Roof Framing Plan

Scale: 1/4"=1'-0"



Plan Notes

- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
- ROOF FRAMING SHALL BE PRE-MANUFACTURED ROOF TRUSSES @ 24"oc. (TRUSS DESIGN BY OTHERS).
- ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD SHEATHING WITH 40/20 SPAN RATING. NAIL FRAMED PANEL EDGES W/ 8d COMMON (0.131"dia. x 2 1/2") @ 6"oc, FIELD @ 12"oc. (REFER TO 9/S4.1)

Plan Notes (Con't)

- "W#" REFERS TO SHEARWALL TYPE PER 3/S4.1 & 7/S4.1. ALL OTHER NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(X-X)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
- ALL HEADERS AT ROOF NOT NOTED OTHERWISE ON PLAN SHALL BE (2) 2X8. (REFER TO DETAIL 2/S4.1)
- PROVIDE TOP PLATE SPLICES PER 1/S4.1
- WHERE OVERFRAMING IS INDICATED, OVERFRAME WITH 2x6 @ 24" O.C. w/ 4'-0" MAX. SPAN. (REFER TO DETAIL 11/S5.1)

Legend

- STRUCTURAL WOOD WALL or POST BELOW THIS LEVEL
- SPAN DIRECTION
- EXTENT OF SPAN
- JOIST or BEAM HANGER
- G.T. GIRDER TRUSS
- H.T. HIP TRUSS

No.	Date	Issue
	7/13/17	Permit

Sheet Contents
Roof Framing Plan

Sheet No.

REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE

FOR $F_c = 2500$ psi, GRADE 60 REINFORCING

I

MINIMUM STRAIGHT DEVELOPMENT LENGTH (d)		
BAR SIZE	TOP BARS	OTHER BARS
#3	23"	18"
#4	31"	24"
#5	40"	30"
#6	47"	36"
#7	68"	53"
#8	78"	60"
#9	88"	68"
#10	99"	77"
#11	110"	85"

II

MINIMUM LAP SPLICE LENGTHS (ls)		
BAR SIZE	TOP BARS	OTHER BARS
#3	31"	23"
#4	41"	31"
#5	51"	40"
#6	62"	47"
#7	89"	68"
#8	102"	78"
#9	114"	88"
#10	130"	99"
#11	143"	110"

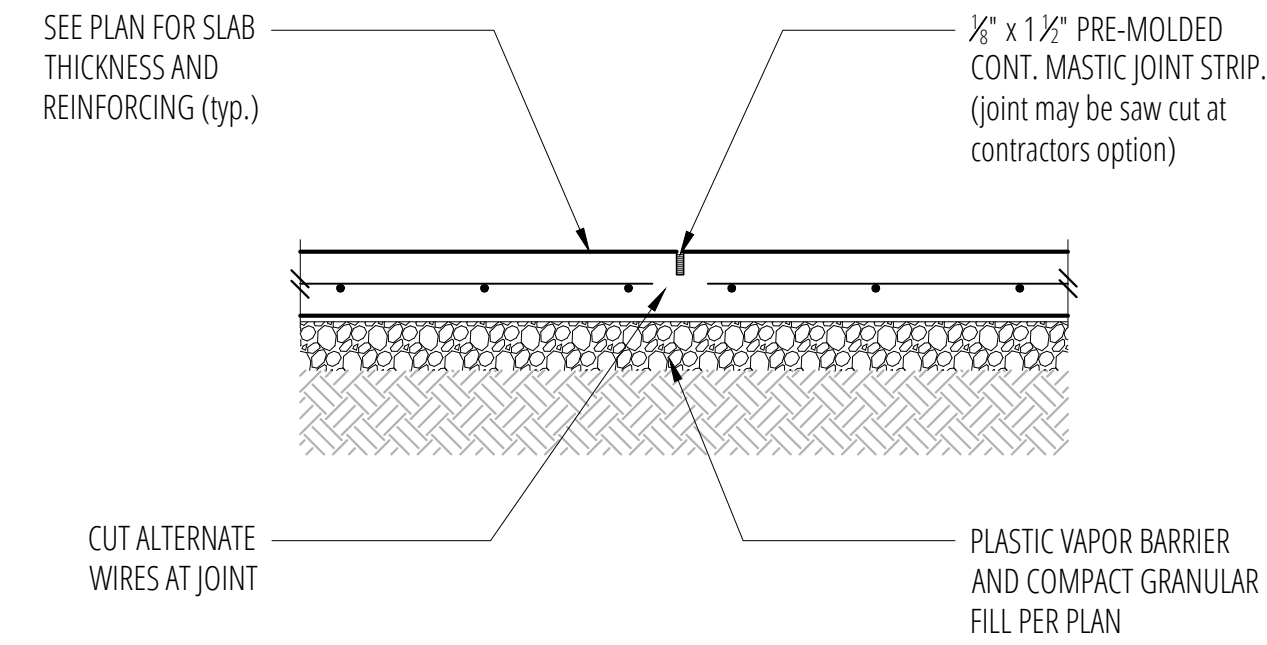
TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM.

IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR, OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMETERS, THEN LENGTHS SHALL BE INCREASED BY 50%

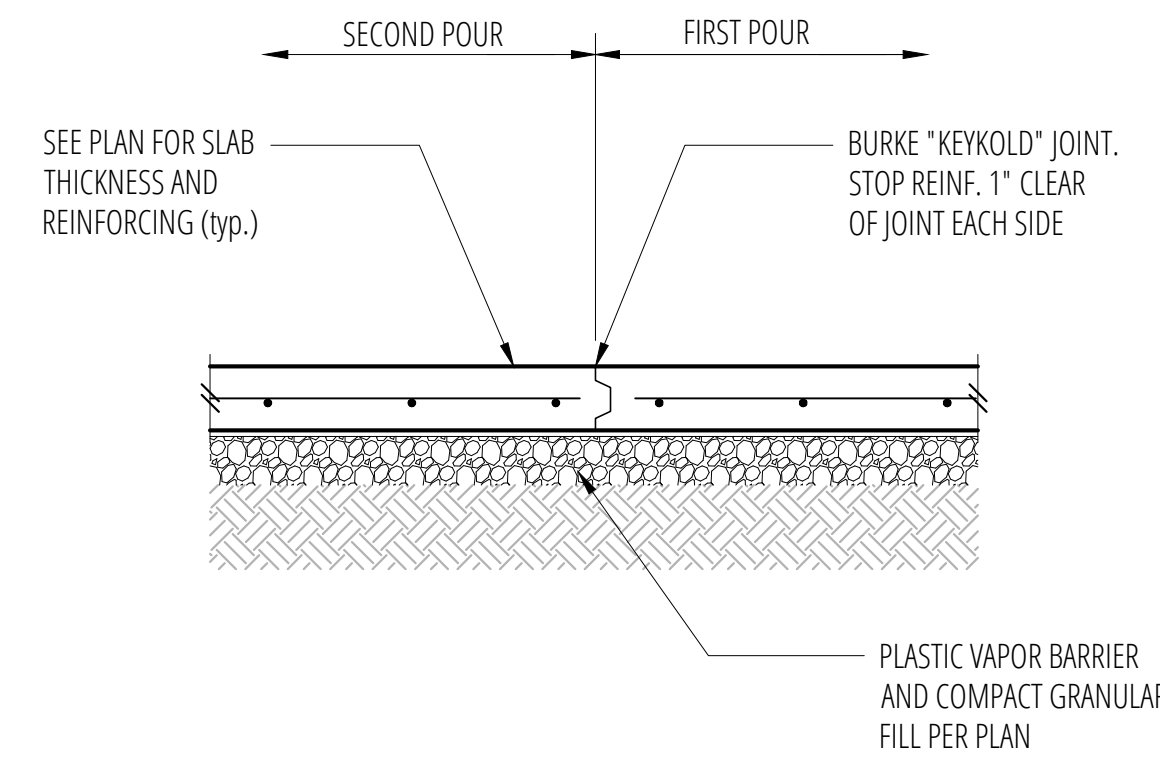
III

MINIMUM EMBEDMENT LENGTHS (dh) FOR STANDARD END HOOKS	
BAR SIZE	LENGTH
#3	7"
#4	9"
#5	11"
#6	13"
#7	14"
#8	17"
#9	19"
#10	21"
#11	24"

- SIDE COVER MUST BE EQUAL TO OR GREATER THAN $2\frac{1}{2}$ "
- END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN 2"



CONTROL JOINT

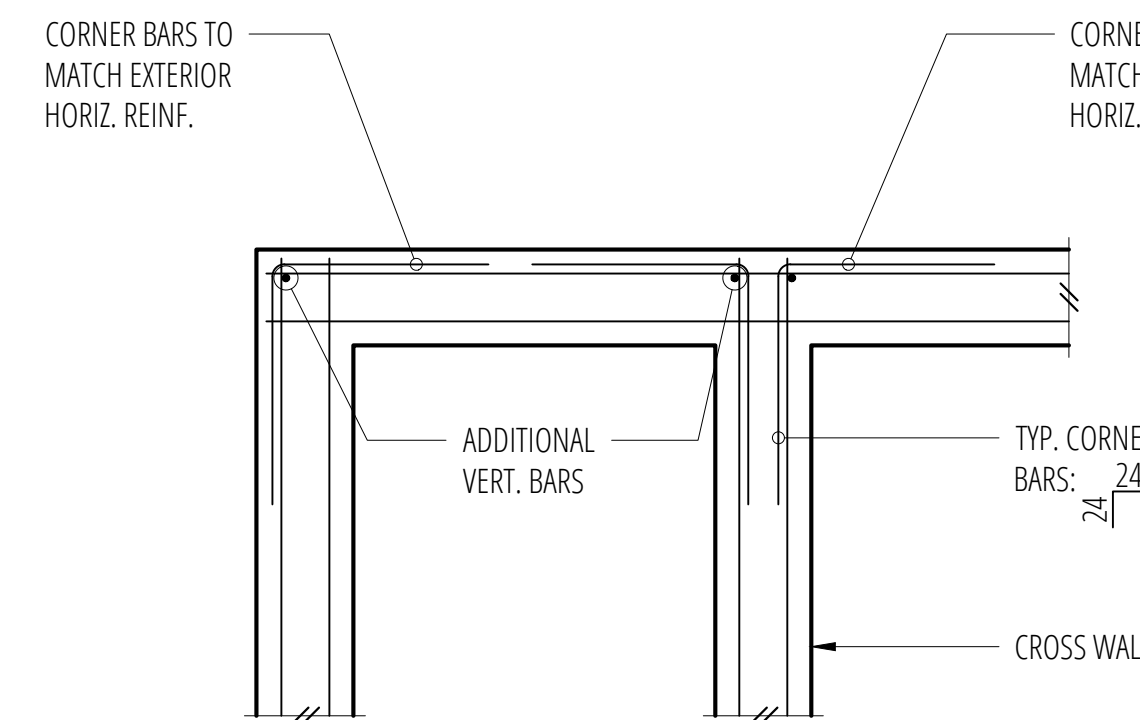


CONSTRUCTION JOINT

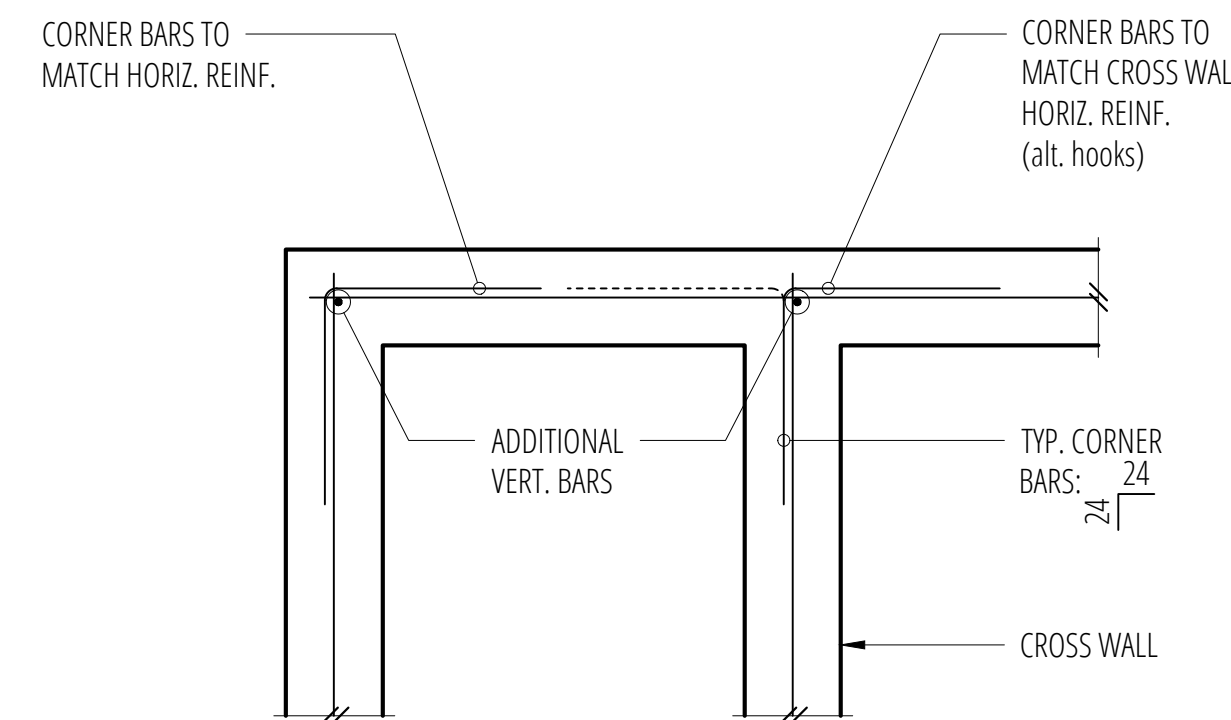
PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 400 SQUARE FEET OR LESS. AREAS TO BE APPROX. SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.

2 Typical Slab Joints

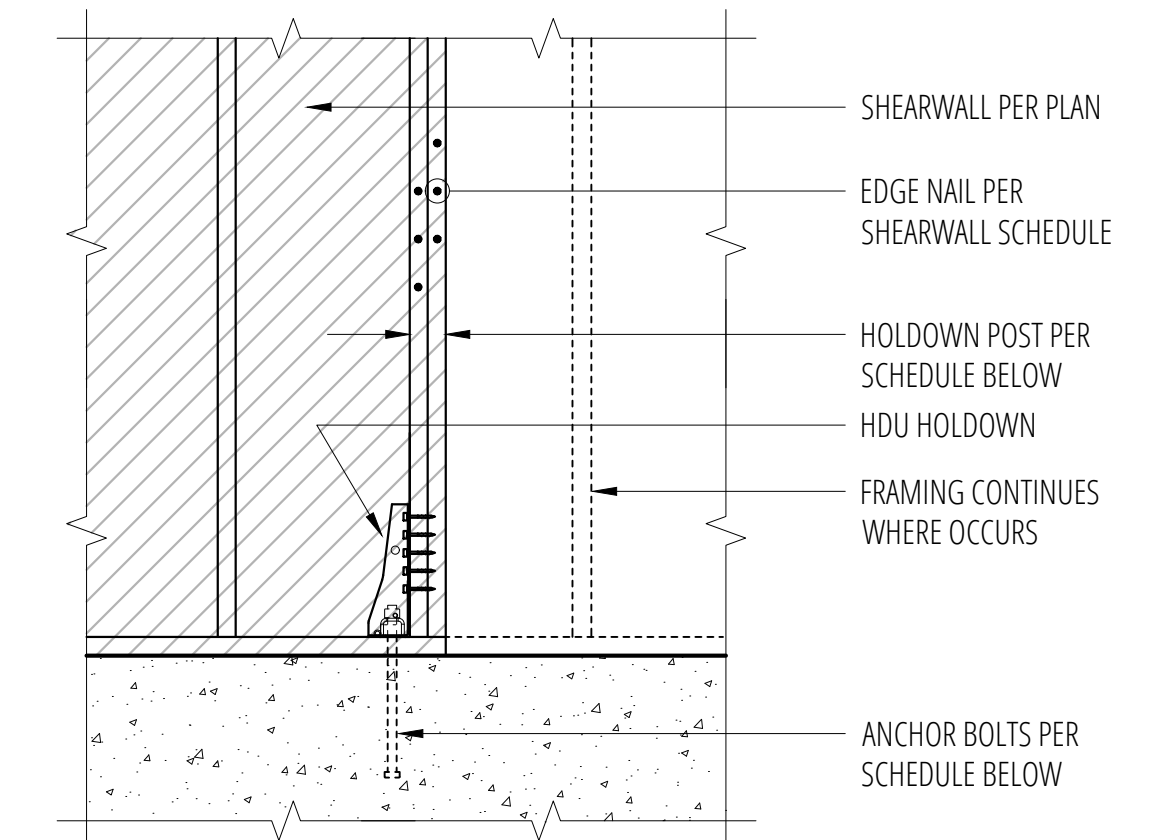
SCALE: 3/4"=1'-0"



DOUBLE CURTAIN



SINGLE CURTAIN



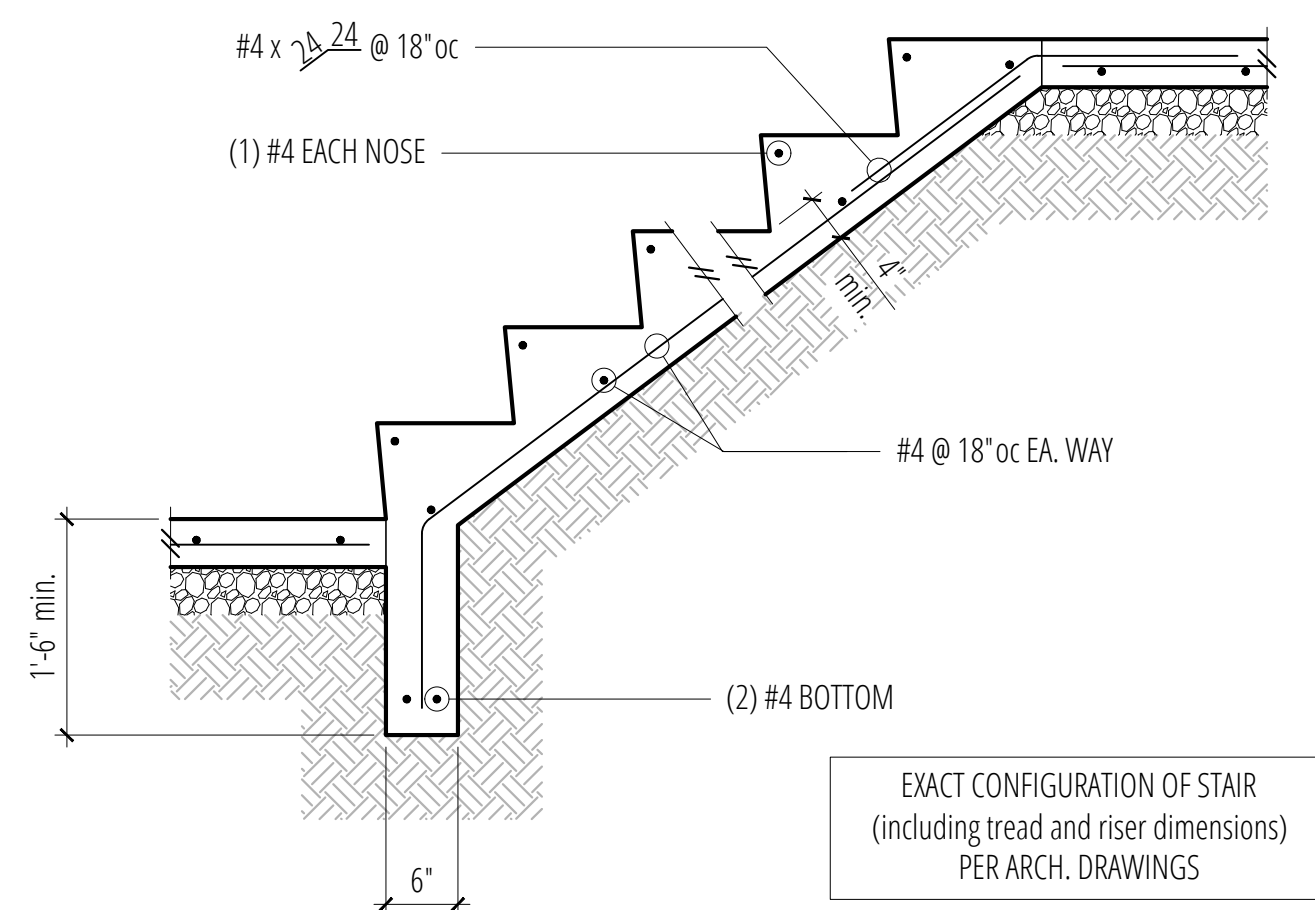
Holdown Schedule

Plan Mark	Screws	Anchor Bolt	A.B. Embed	Holdown Post		Capacity #
				IF 2x4	IF 2x6	
HDU2-SDS2.5	(6) SDS 1/2" x 2 1/2"	SSTB16	12 1/2"	(2) 2x4	4x6	2215/3075
HDU4-SDS2.5	(10) SDS 1/2" x 2 1/2"	SB 3/8 x 24	18"	4x4	4x6	4565
HDU5-SDS2.5	(14) SDS 1/2" x 2 1/2"	SB 3/8 x 24	18"	4x4	4x6	5645
HDU8-SDS2.5	(20) SDS 1/2" x 2 1/2"	SB 3/8 x 24	18"	4x4	4x6	6970
HDU11-SDS2.5	(30) SDS 1/2" x 2 1/2"	SB 1 x 30	24"	4x8	6x6	9535
HDU14-SDS2.5	(36) SDS 1/2" x 2 1/2"	SB 1 1/2 x 30	30"	N/A	6x6	10770
HD12	(4) 1" THRU BOLTS	PAB9H	18 1/2"	N/A	6x6	21620+
HD19	(5) 1" THRU BOLTS	PAB10H	21"	N/A	6x6	26690+

- MINIMUM SIZE OF POST AT END OF WALL UNLESS NOTED OTHERWISE ON FRAMING PLANS.
- "SSTB" & "SB" REFER TO ANCHOR BOLTS BY SIMPSON STRONG-TIE. INSTALL PER MANUFACTURER.

5 Typical Lap Splice & Development Length

SCALE: 3/4"=1'-0"

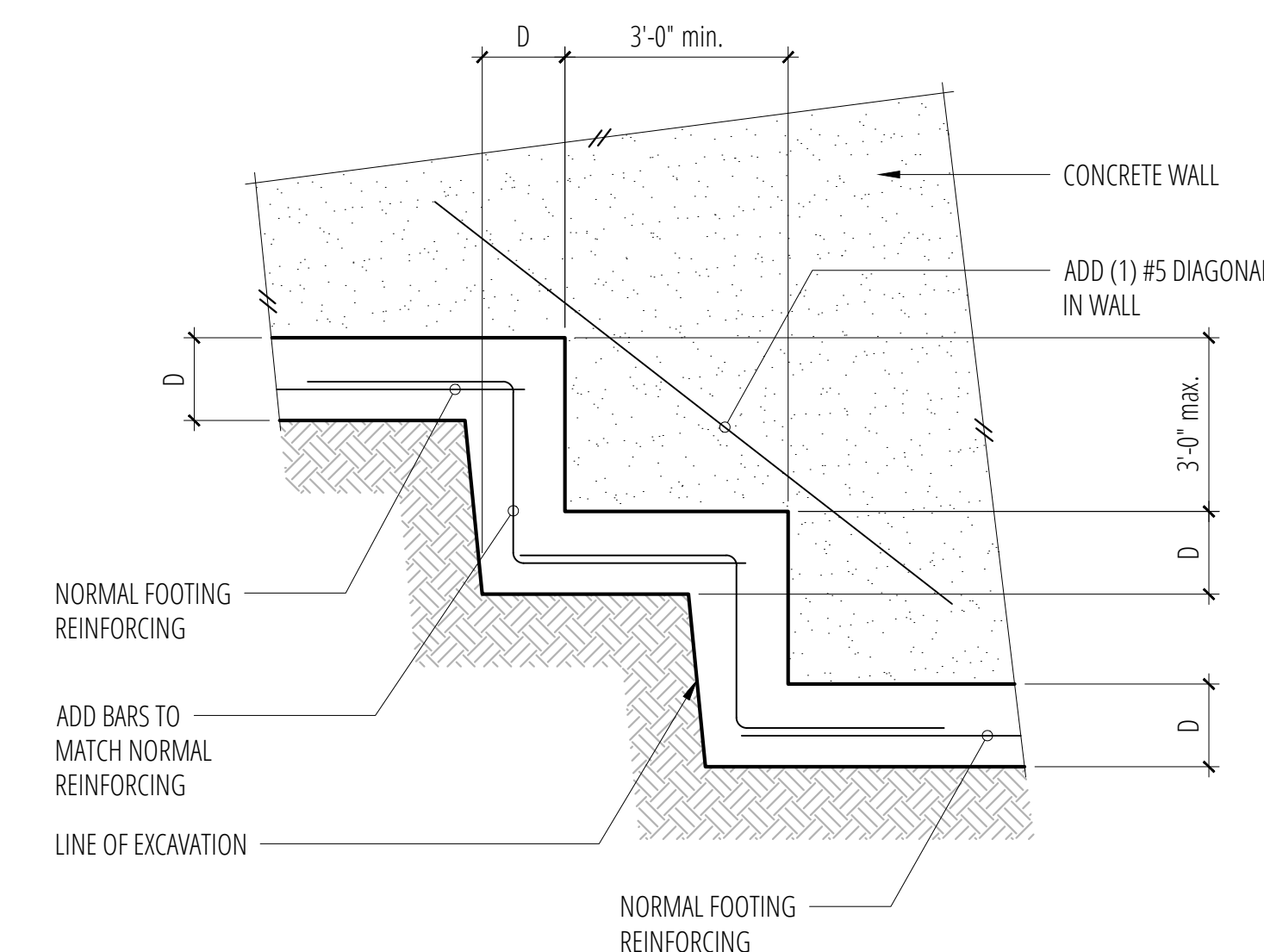


9 Typical Stair on Grade

SCALE: 3/4"=1'-0"

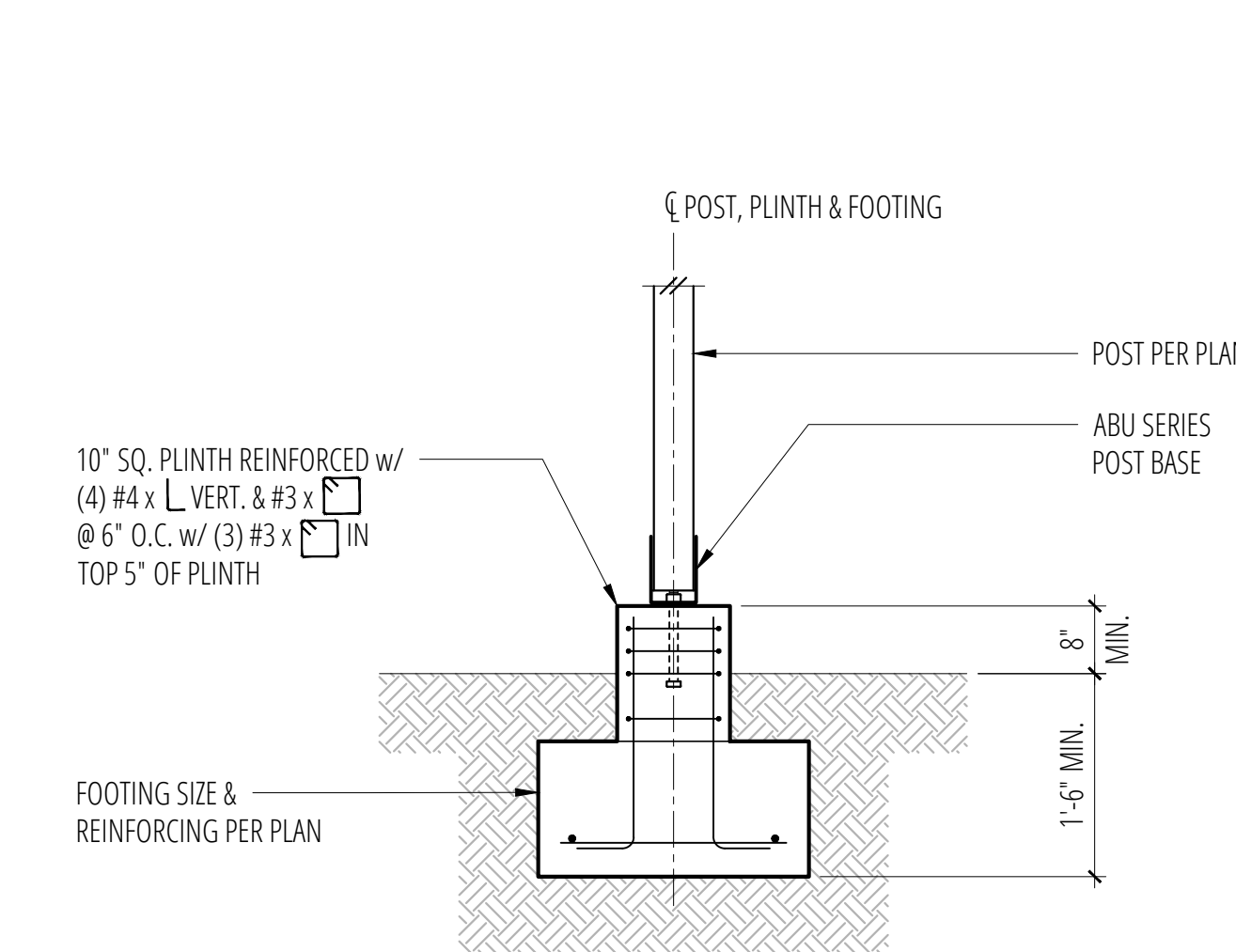
6 Typical Corner Bars at Concrete Walls and Footings

SCALE: 3/4"=1'-0"



10 Typical Stepped Footing

SCALE: 3/4"=1'-0"

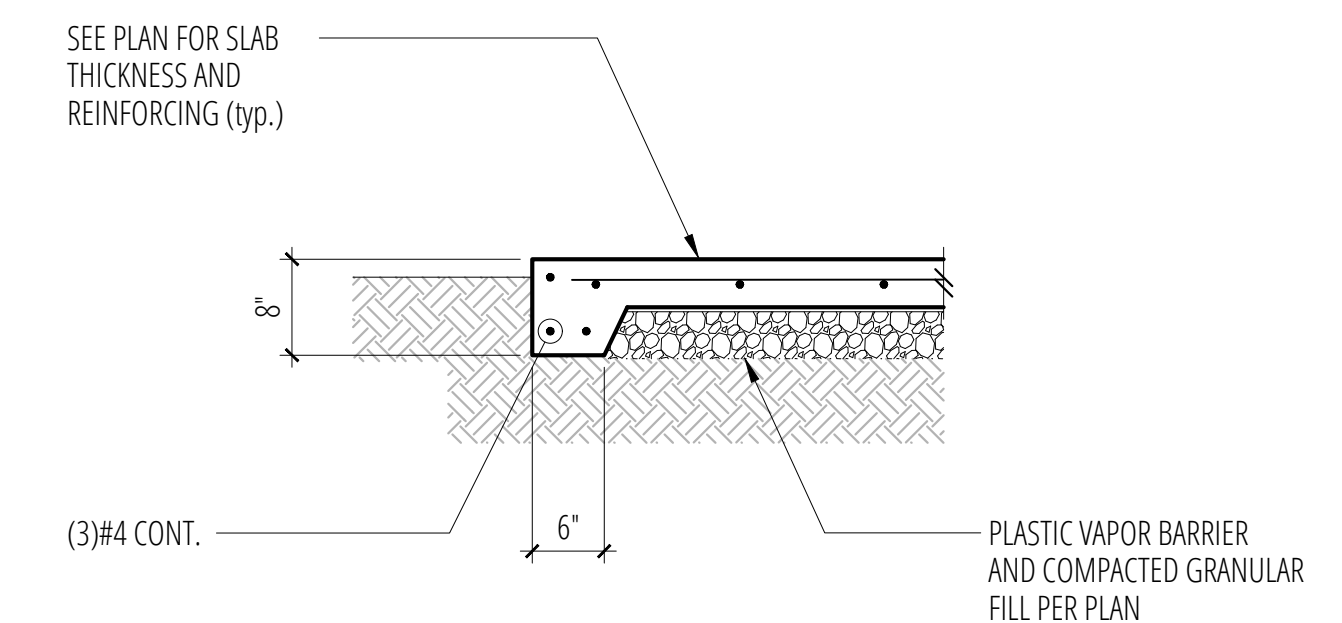


11 Post or Canopy Footing

SCALE: 3/4"=1'-0"

8 Typical HDU Holdown

SCALE: 3/4"=1'-0"



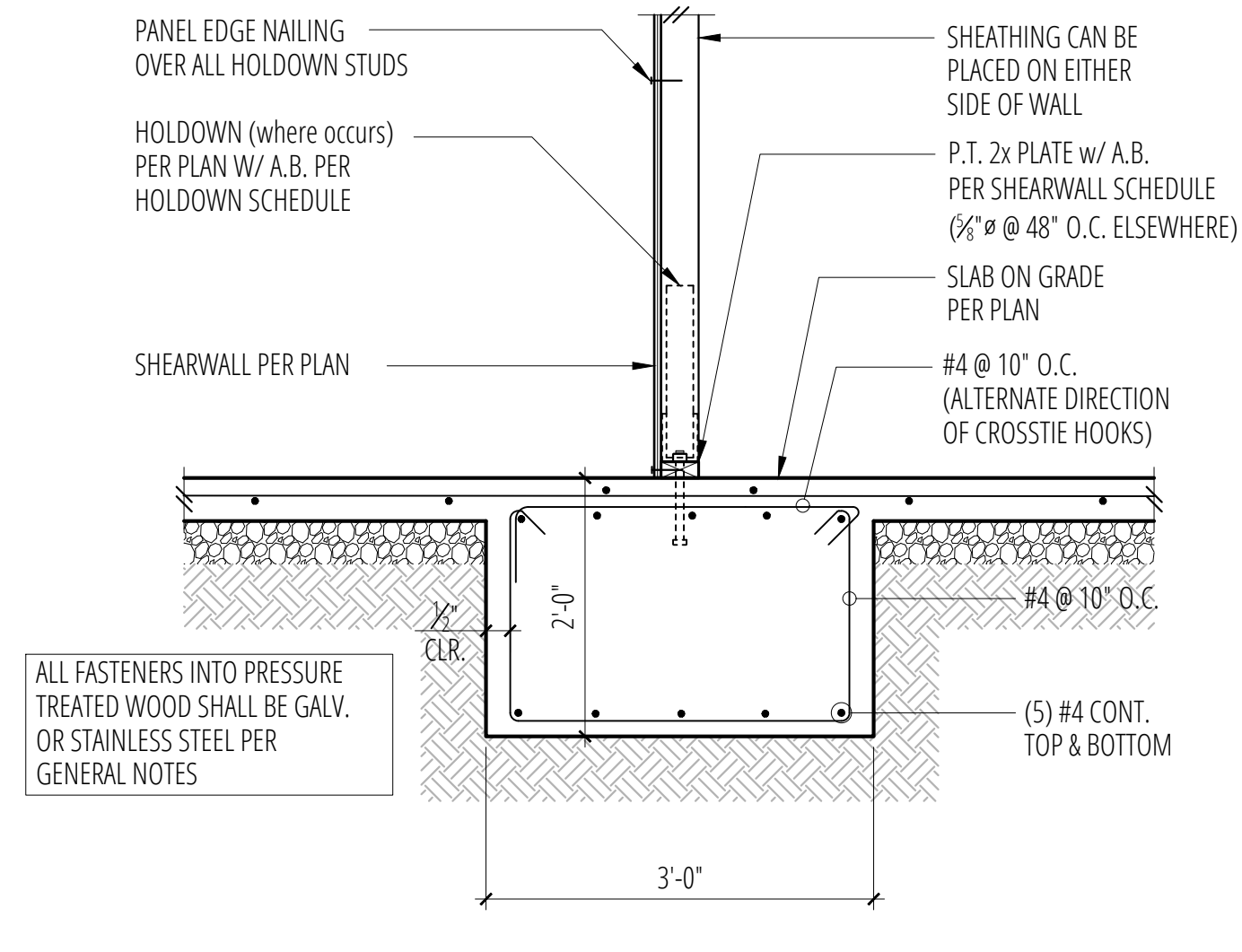
12 Typical Slab Edge

SCALE: 3/4"=1'-0"

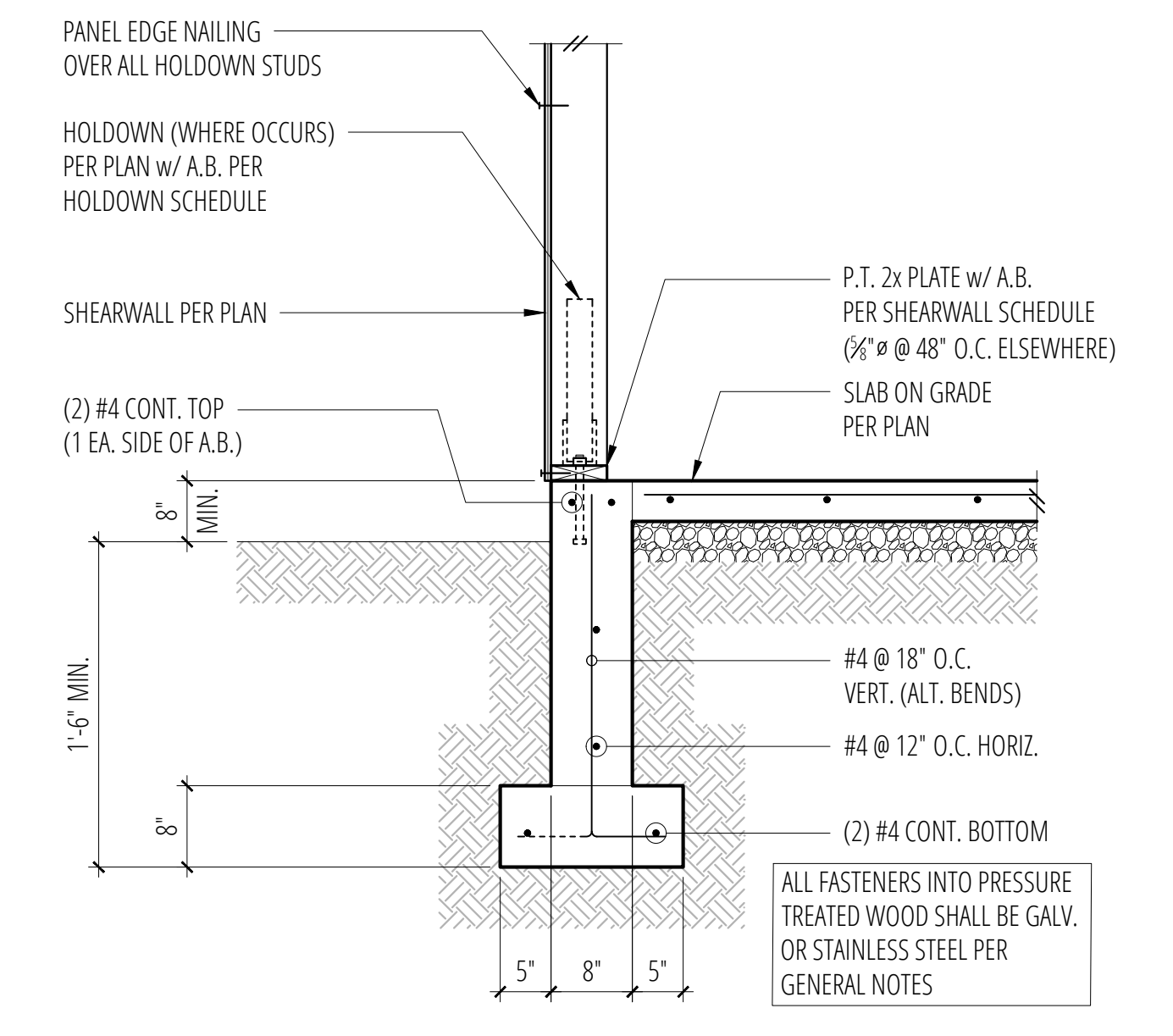
No.	Date	Issue
7/13/17	Permit	

Sheet Contents
Concrete Details

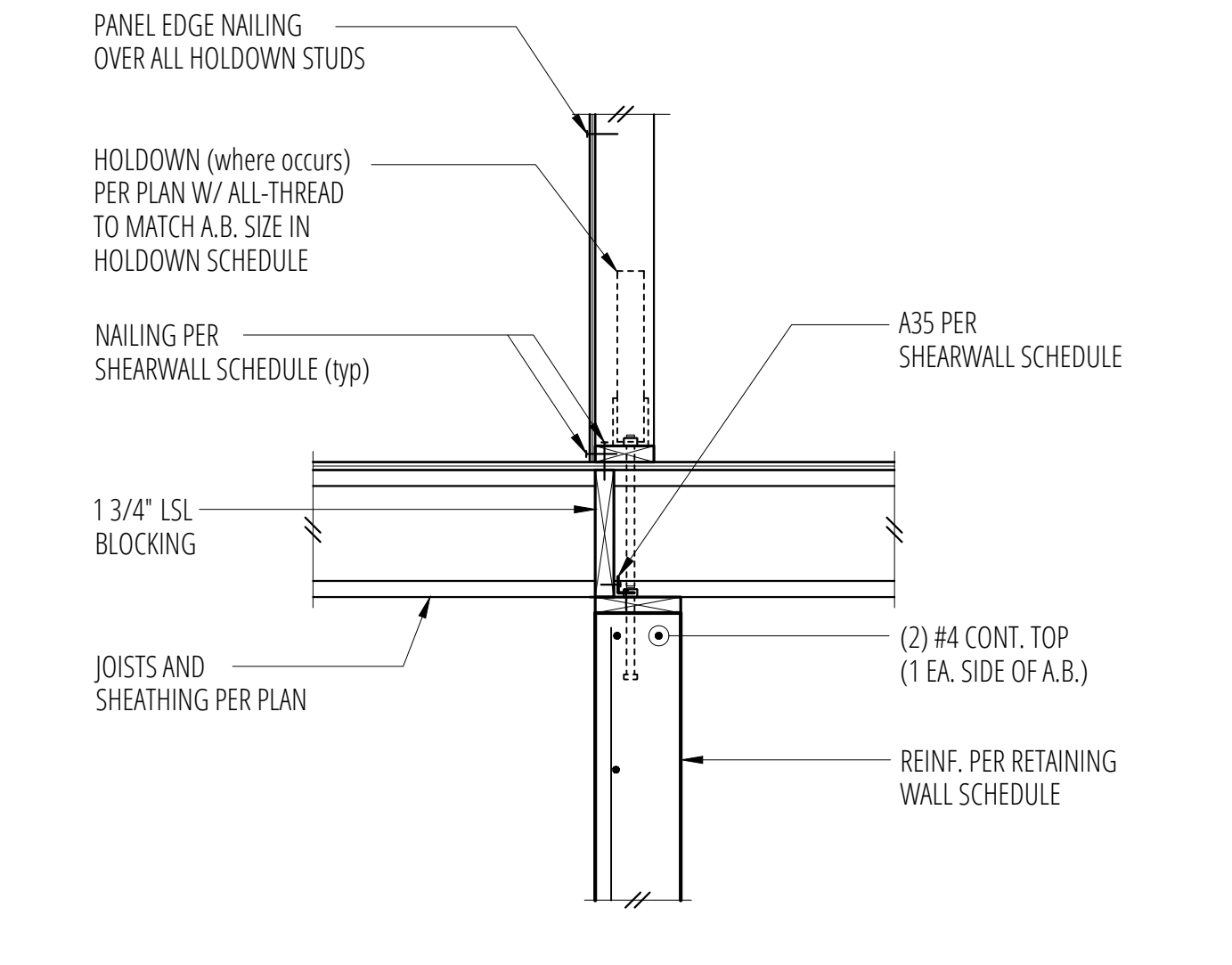
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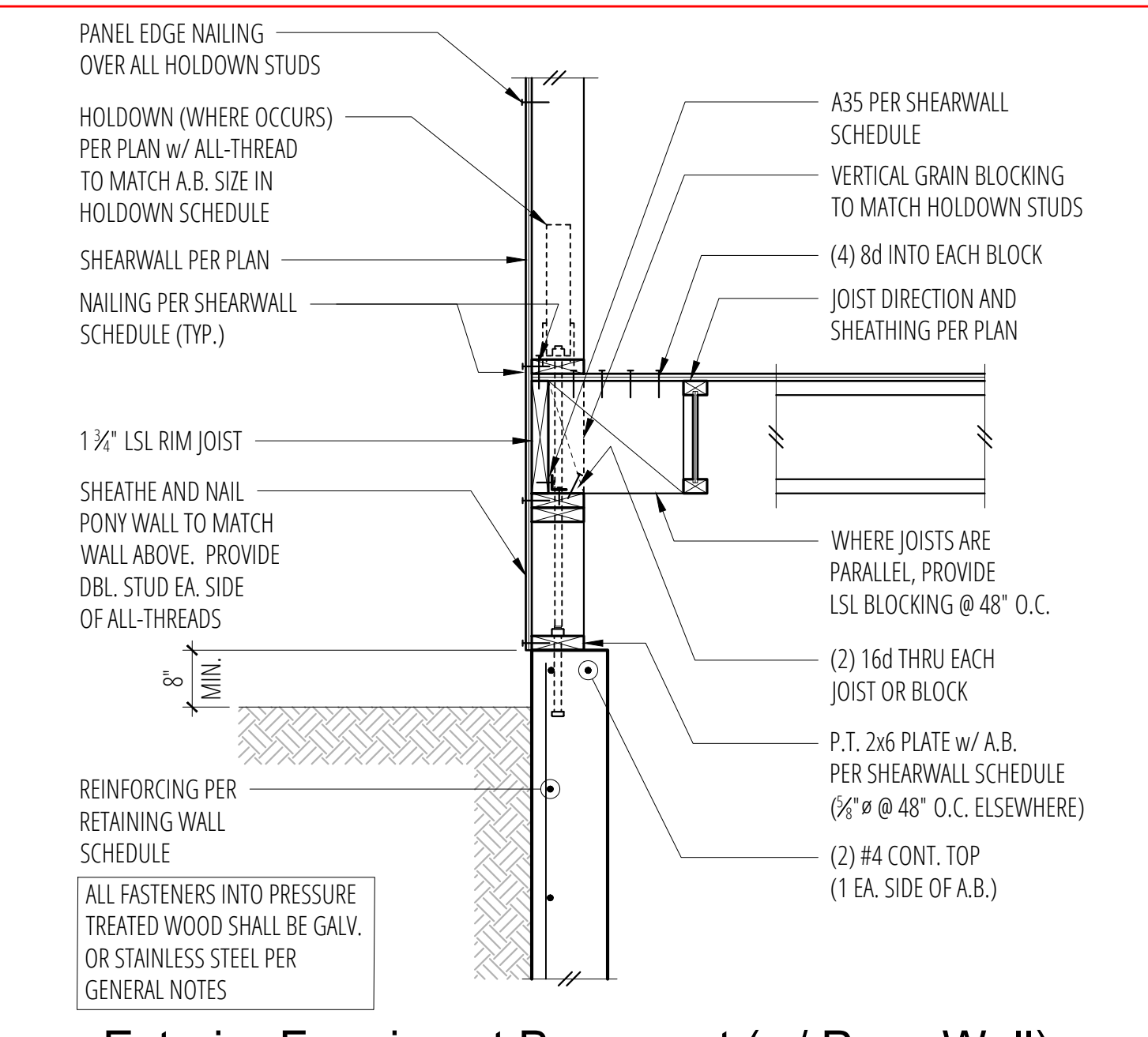
1 Interior Wall w/ Thickened Footing
SCALE: 3/4"=1'-0"



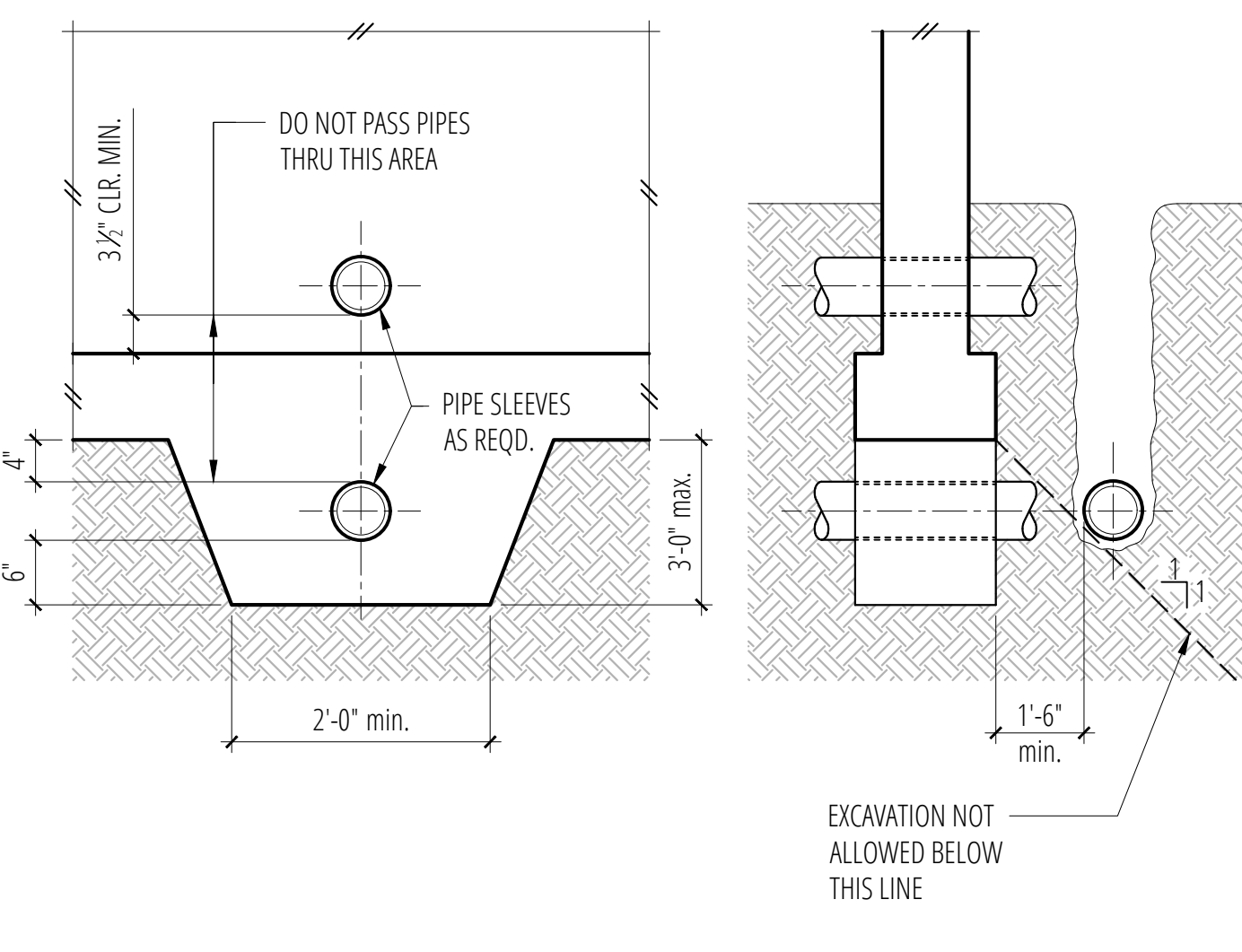
2 Exterior Wall w/ Slab on Grade
SCALE: 3/4"=1'-0"



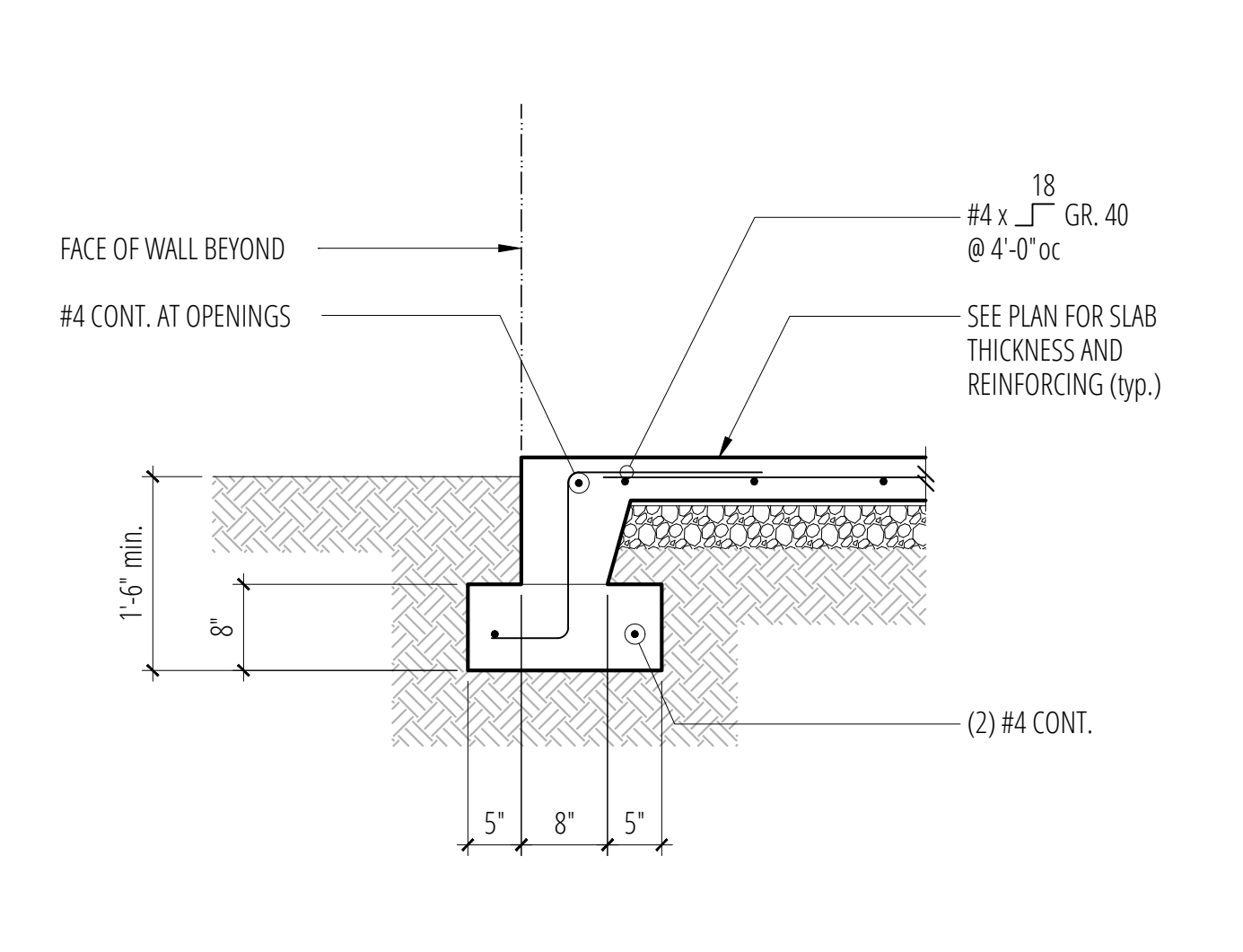
3 Shearwall Over Basement Wall
SCALE: 3/4"=1'-0"



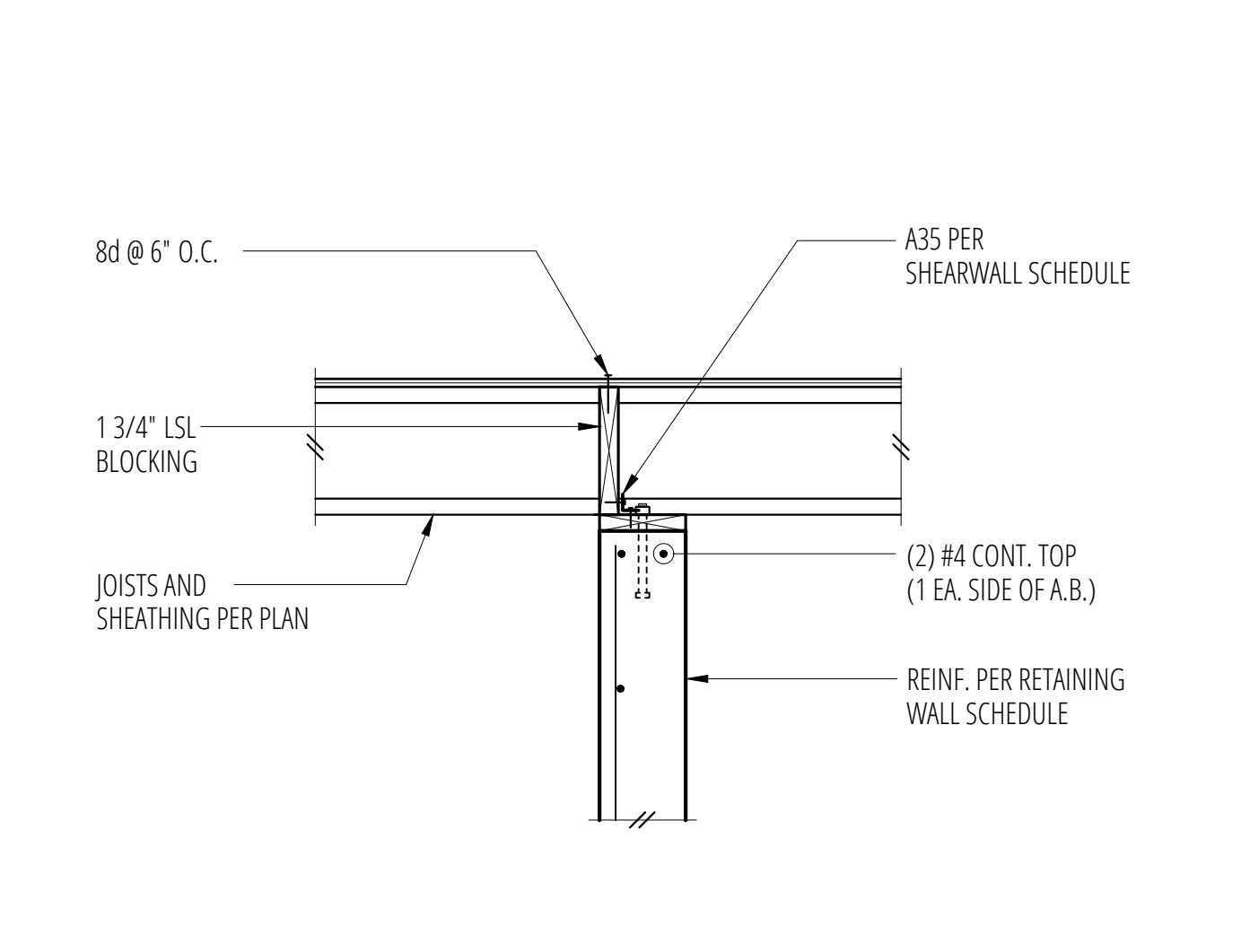
4 Exterior Framing at Basement (w/ Pony Wall)
SCALE: 3/4"=1'-0"



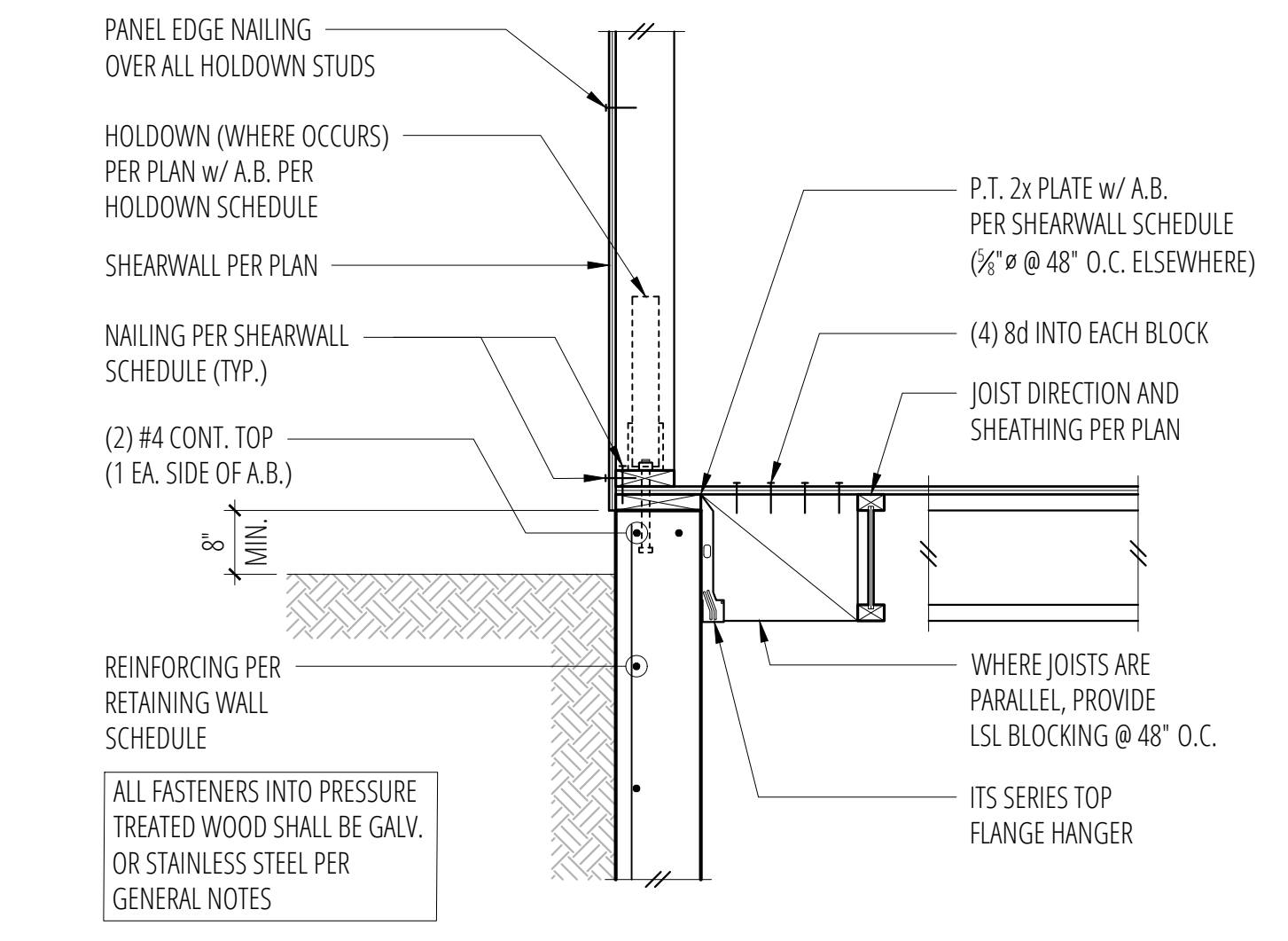
5 Pipe and Trench Locations
SCALE: 3/4"=1'-0"



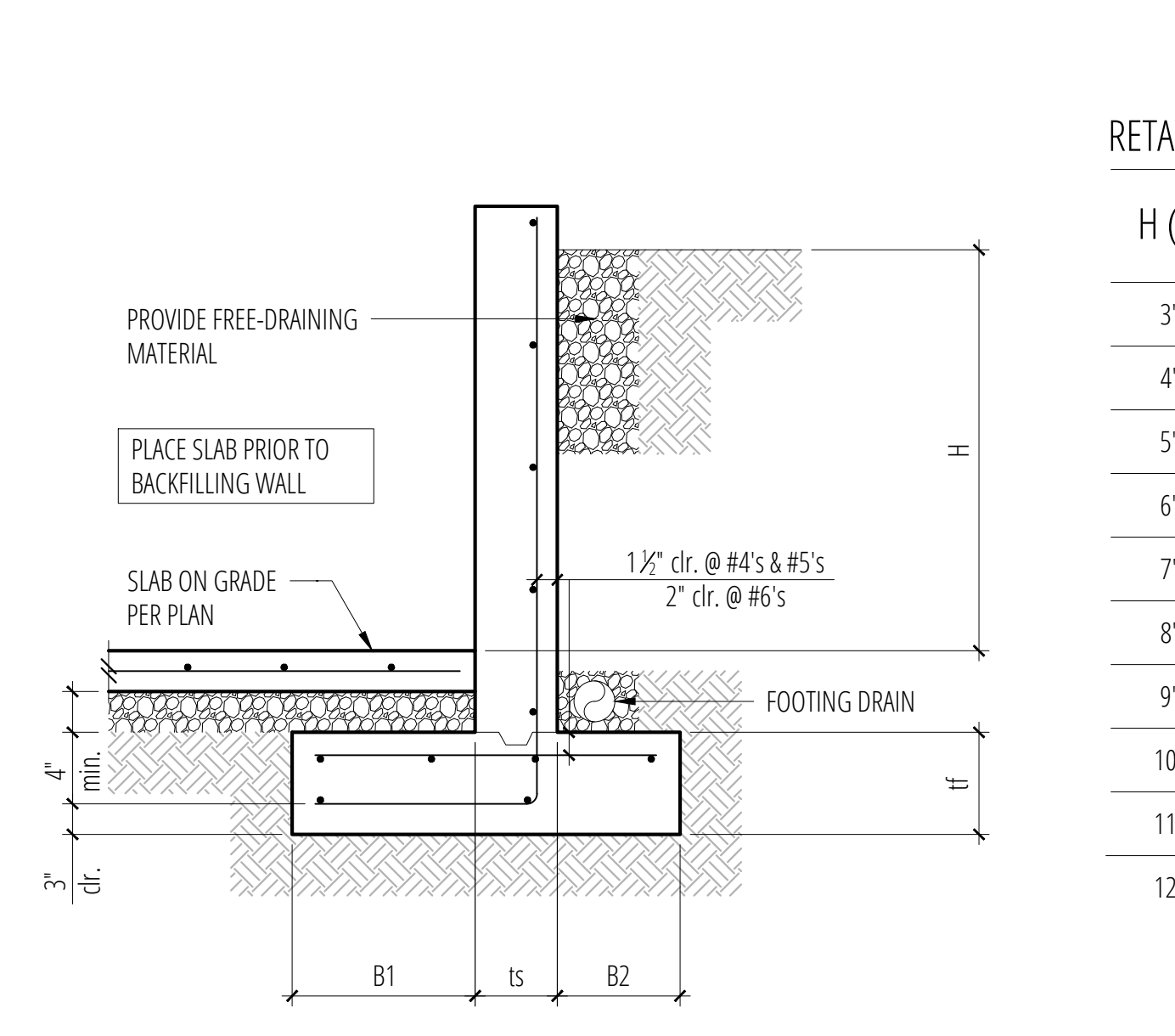
6 Typical Turned-Down Slab Edge
SCALE: 3/4"=1'-0"



7 Floor Framing over Basement Wall
SCALE: 3/4"=1'-0"



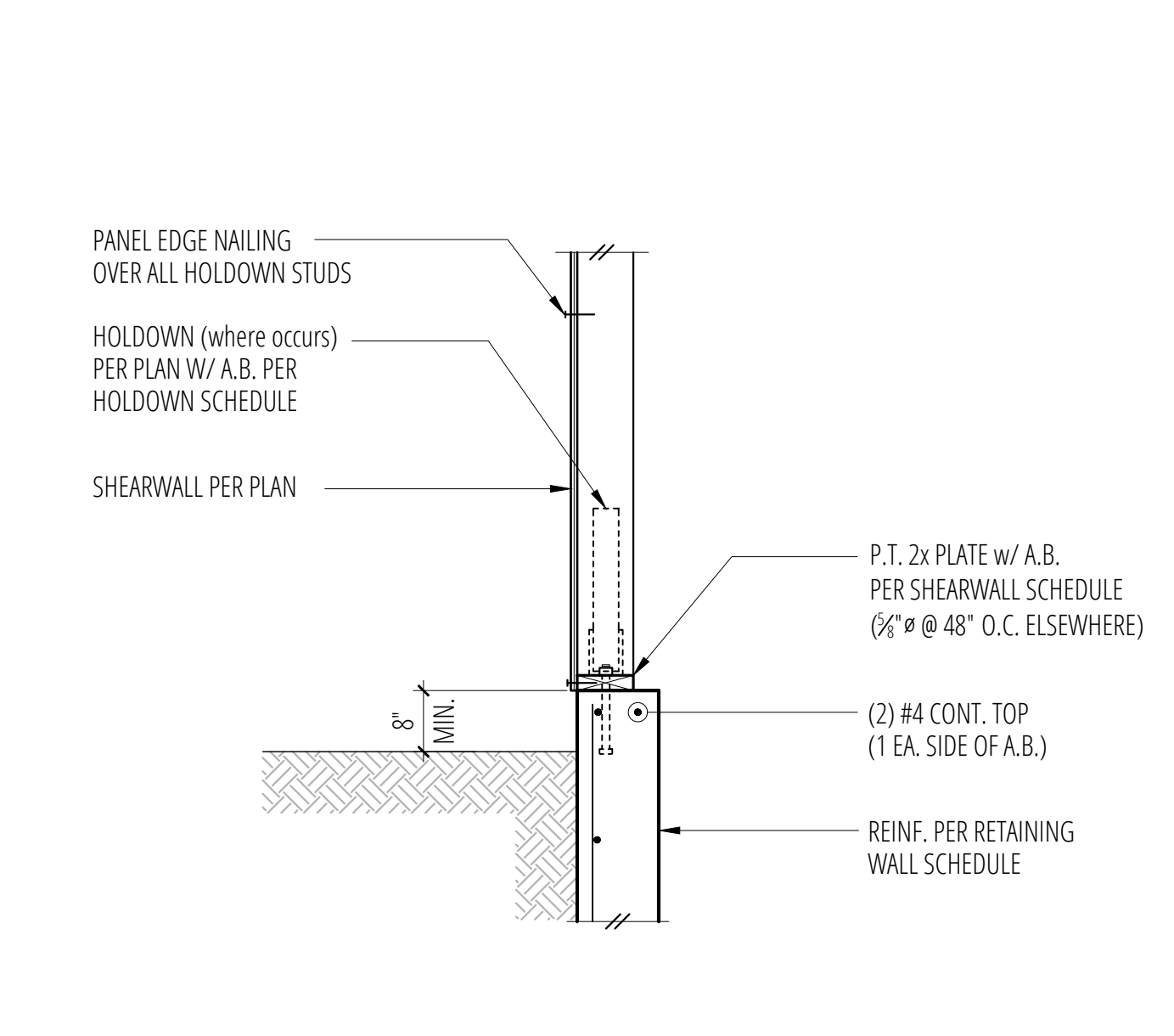
8 Exterior Framing at Basement (Dropped Joist)
SCALE: 3/4"=1'-0"



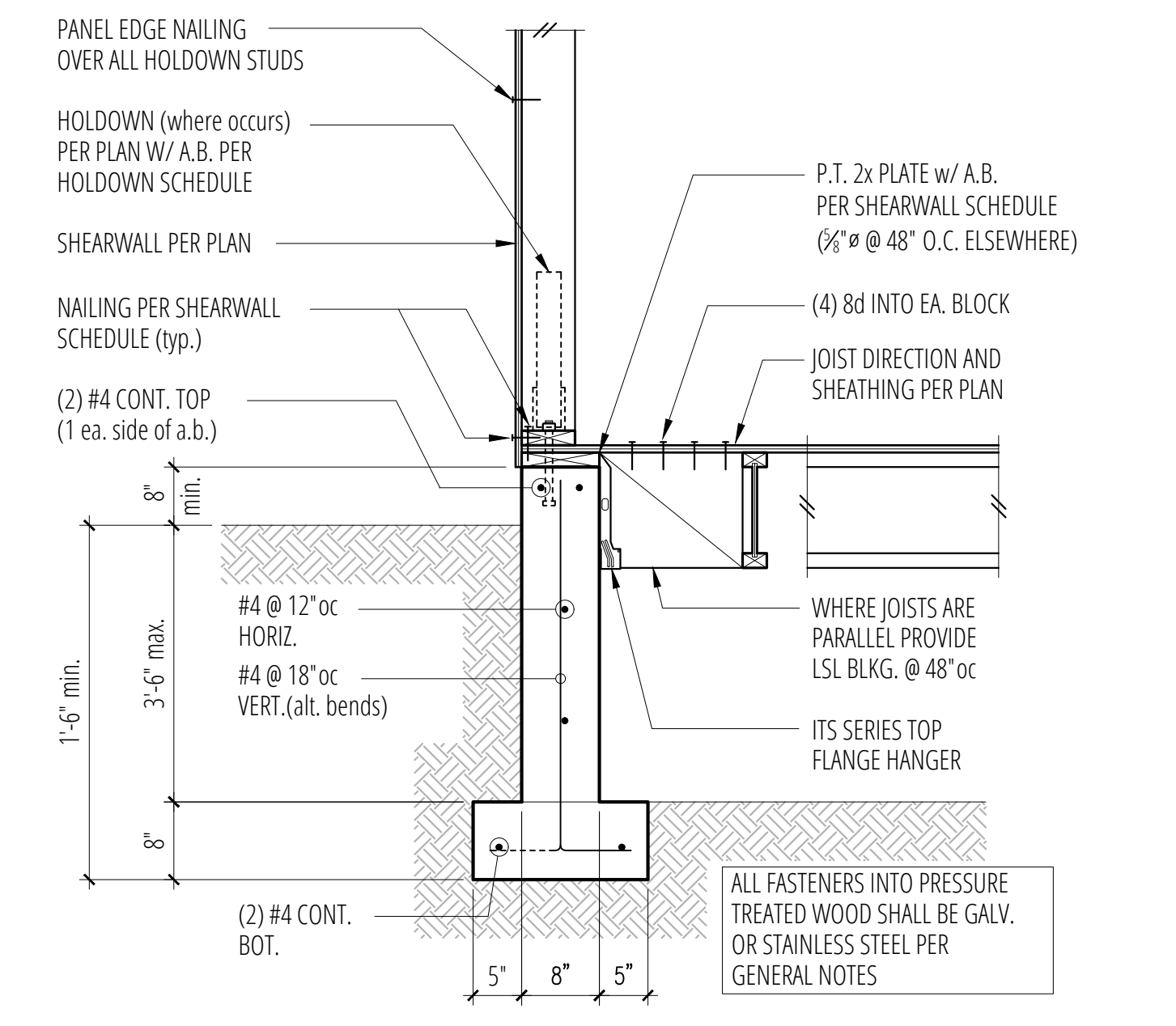
2 Retaining Wall Schedule with Slab on Grade
SCALE: 3/4"=1'-0"

RETAINING WALL SCHEDULE w/ SLAB

H (ft.)	B1	ts	B2	tf	STEM REINFORCING		FOOTING REINFORCING	
					VERT.	HORIZ.	TOP	LONGIT.
3'-0"	5"	8"	5"	8"	#4 @ 18" O.C.	#4 @ 12" O.C.	-	(2) #4
4'-0"	1'-0"	8"	5"	8"	#4 @ 18" O.C.	#4 @ 12" O.C.	-	(2) #4
5'-0"	1'-6"	8"	5"	10"	#4 @ 18" O.C.	#4 @ 12" O.C.	-	(3) #4
6'-0"	2'-0"	8"	5"	10"	#4 @ 18" O.C.	#4 @ 12" O.C.	-	(4) #4
7'-0"	2'-3"	8"	9"	10"	#4 @ 12" O.C.	#4 @ 12" O.C.	-	(5) #4
8'-0"	2'-9"	8"	1'-0"	12"	#5 @ 12" O.C.	#4 @ 12" O.C.	#5 @ 18" O.C.	(5) #5
9'-0"	3'-3"	8"	1'-3"	13"	#5 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 18" O.C.	(6) #5
10'-0"	3'-9"	8"	1'-6"	15"	#6 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 18" O.C.	(7) #5
11'-0"	4'-3"	10"	2'-0"	15"	#6 @ 12" O.C.	#4 @ 10" O.C.	#4 @ 18" O.C.	(8) #5
12'-0"	4'-9"	10"	2'-3"	15"	#6 @ 9" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.	(9) #5

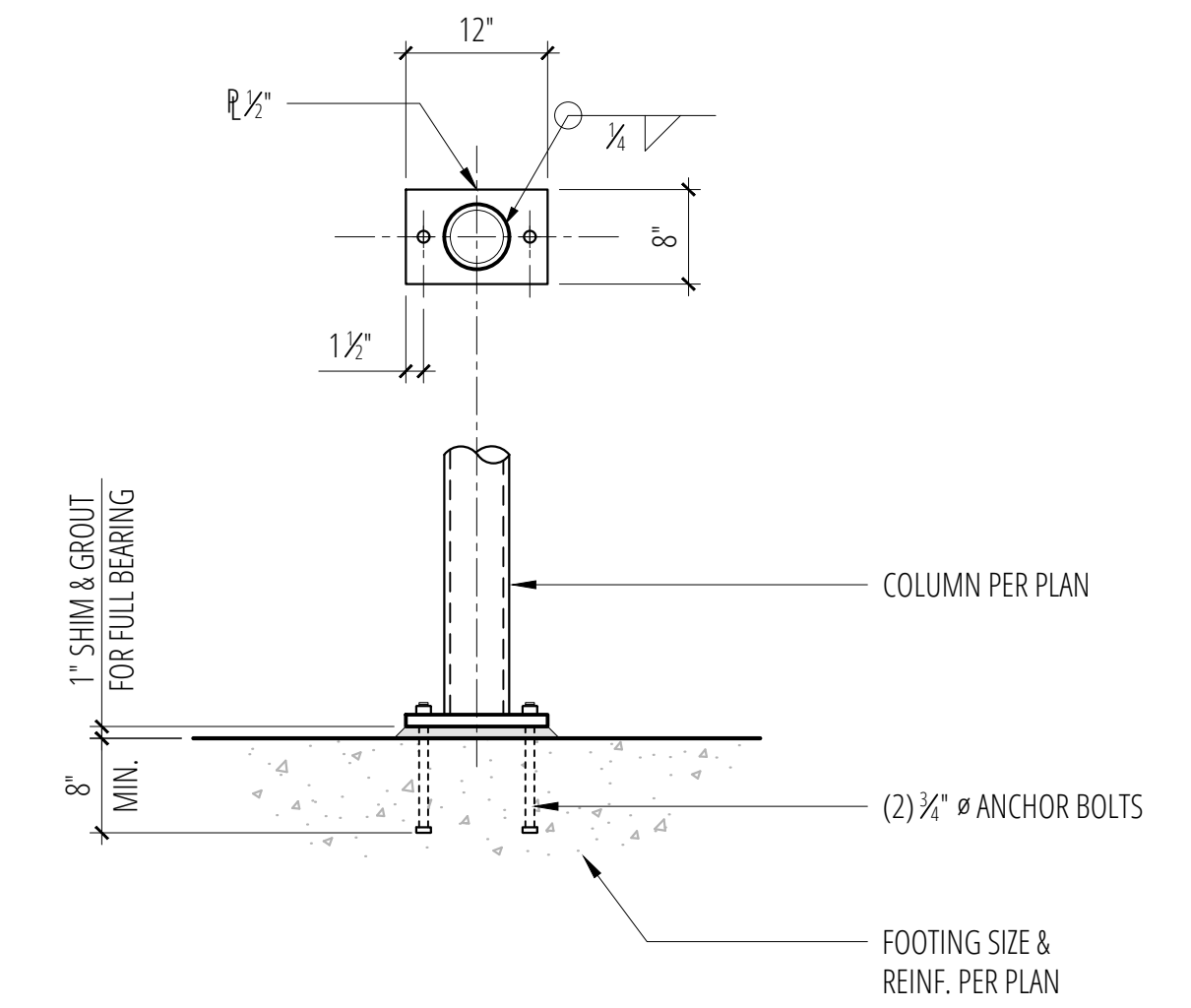
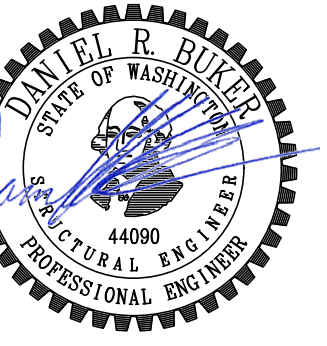


11 Stud Wall at Top of Basement Wall
SCALE: 3/4"=1'-0"



12 Exterior Framing (Dropped Joist)
SCALE: 3/4"=1'-0"

No.	Date	Issue
	7/13/17	Permit
Sheet Contents		
Concrete Details		
Sheet No.		



1 SCALE: 3/4"=1'-0"

2 SCALE: 3/4"=1'-0"

3 SCALE: 3/4"=1'-0"

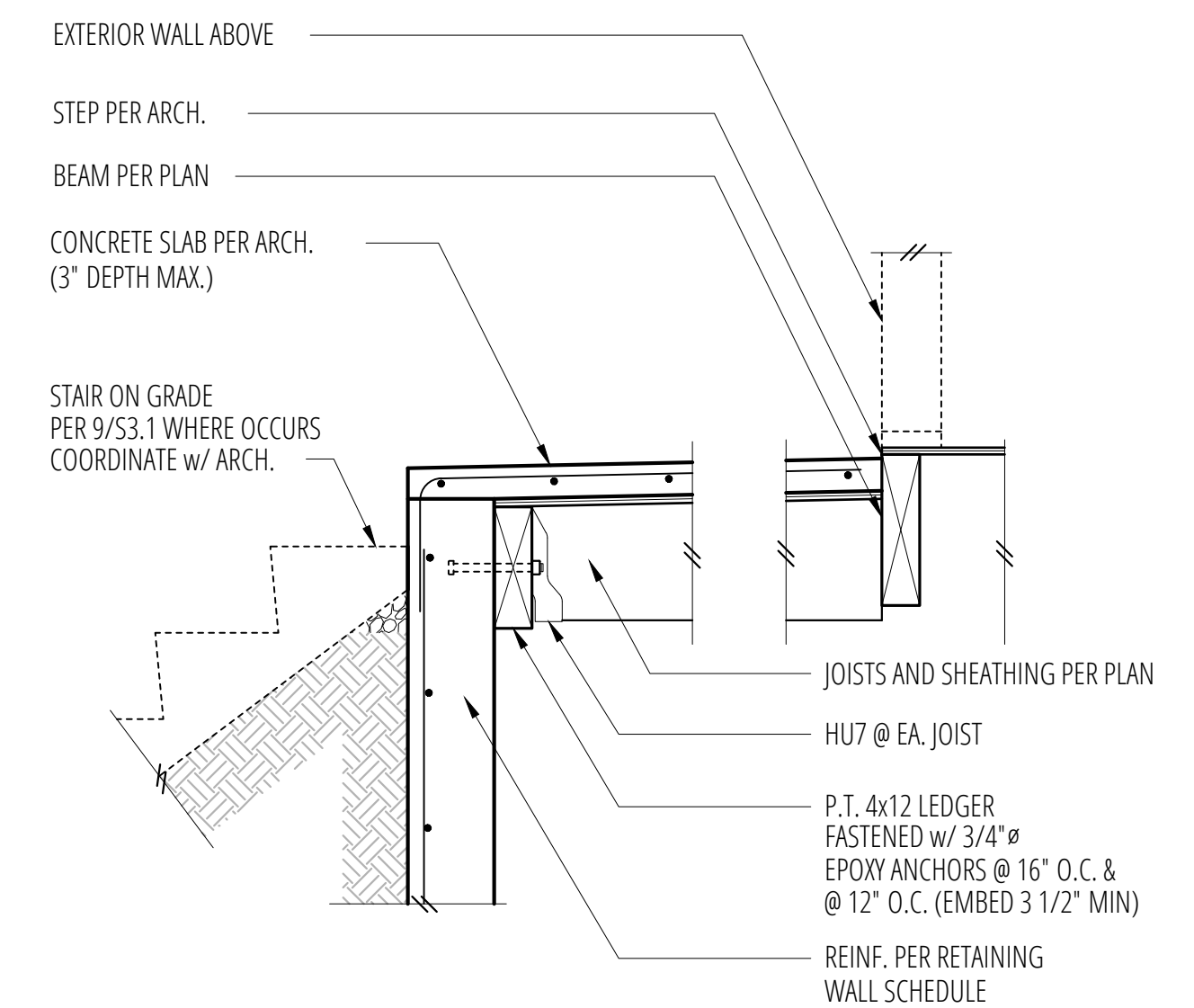
4 Baseplate Connection at Steel Column
SCALE: 3/4"=1'-0"

5 SCALE: 3/4"=1'-0"

6 SCALE: 3/4"=1'-0"

7 SCALE: 3/4"=1'-0"

8 Slab on Grade / Framing at Entry
SCALE: 3/4"=1'-0"

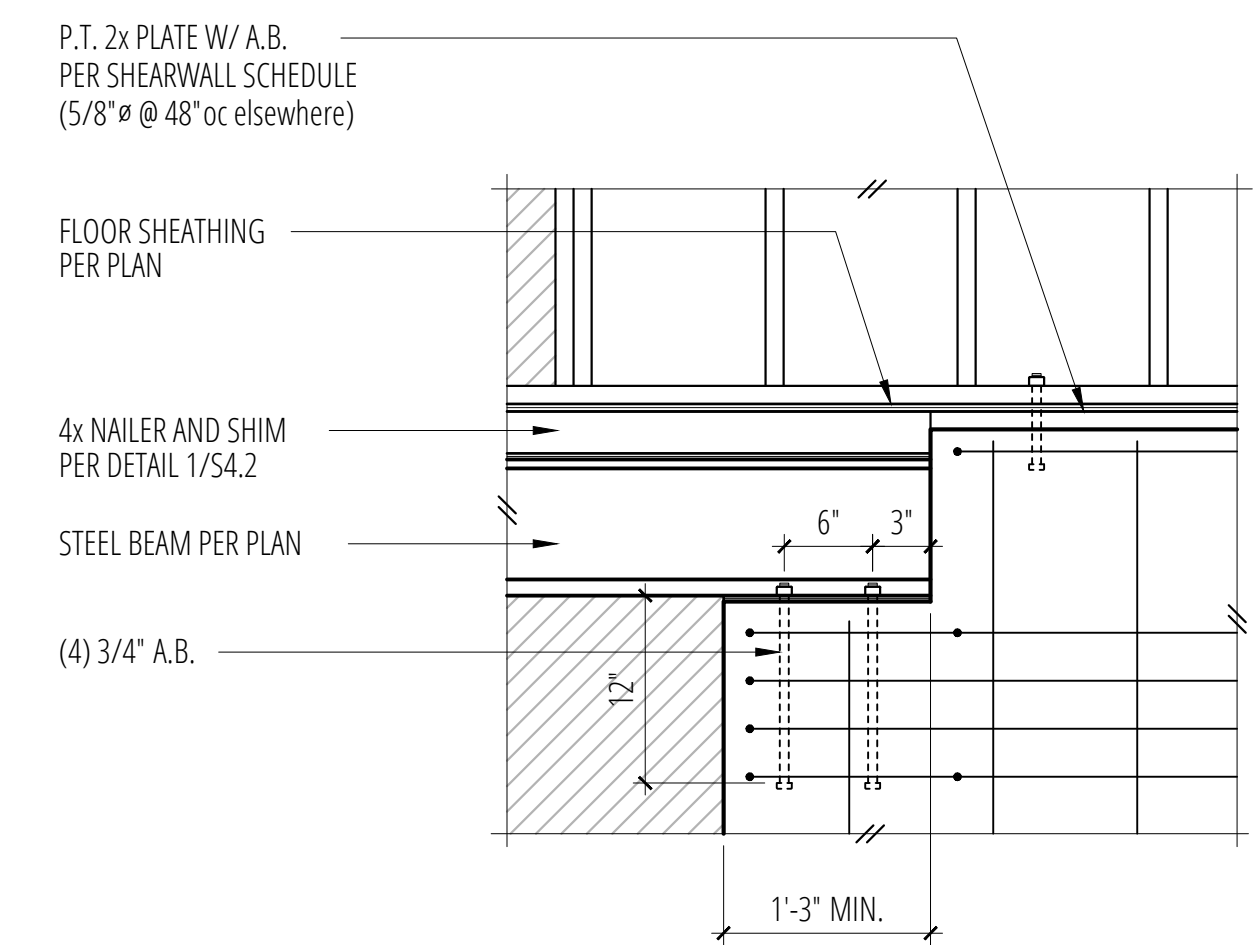


9 SCALE: 3/4"=1'-0"

10 SCALE: 3/4"=1'-0"

11 SCALE: 3/4"=1'-0"

12 Steel Beam Pocket at Retaining Wall
SCALE: 3/4"=1'-0"



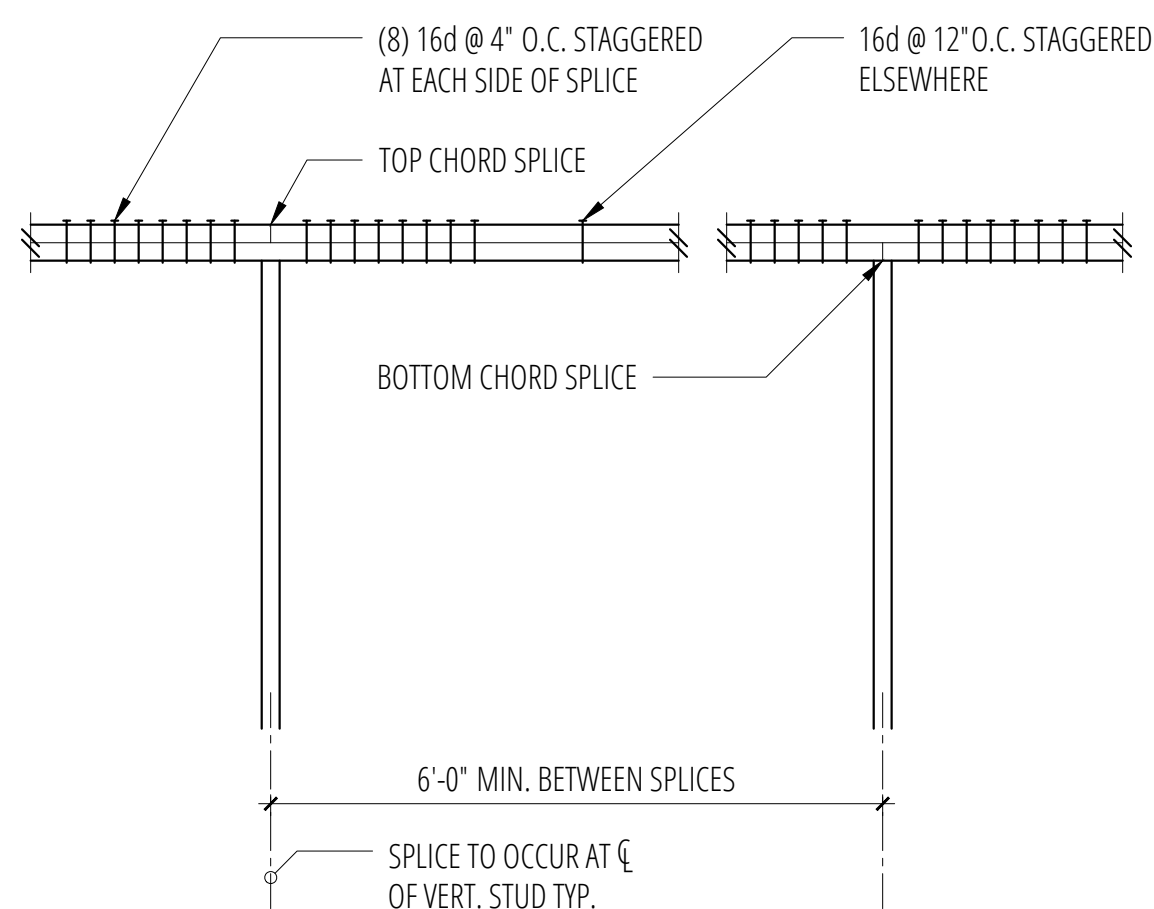
East Mercer - Parcel 1

8375 E Mercer Way
Mercer Island, WA, 98040

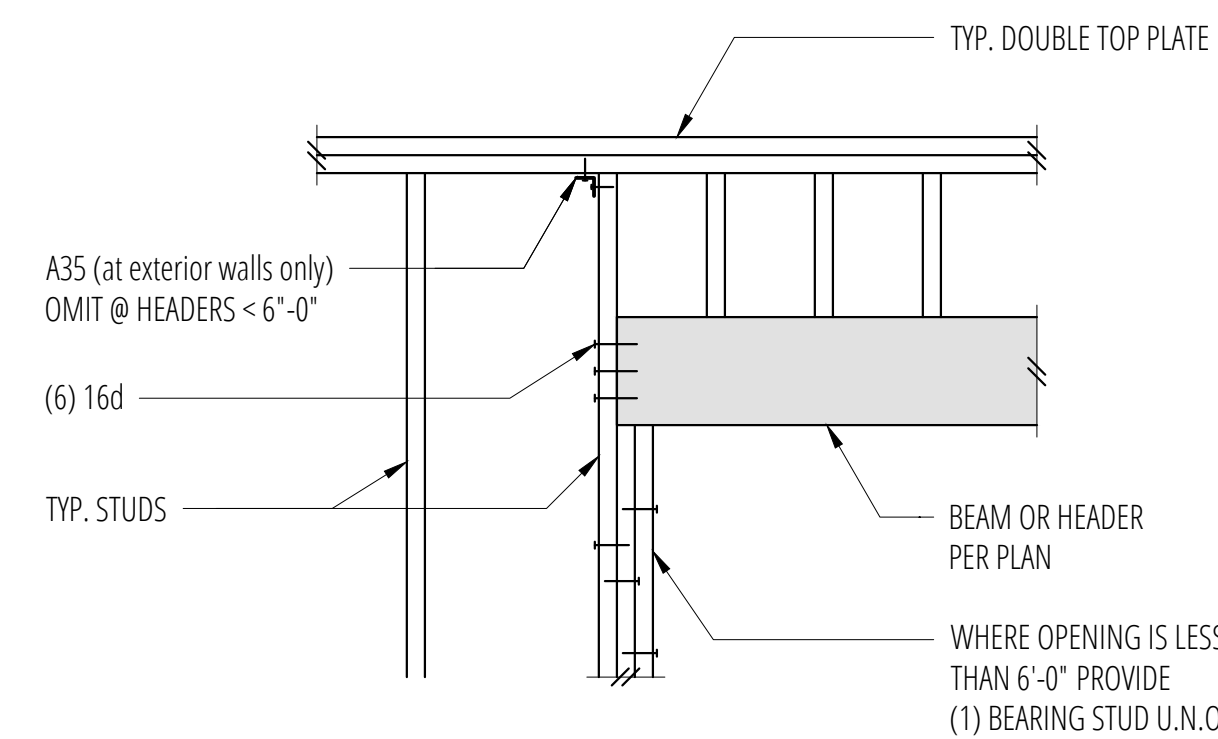
No.	Date	Issue
	7/13/17	Permit

Sheet Contents
Concrete Details

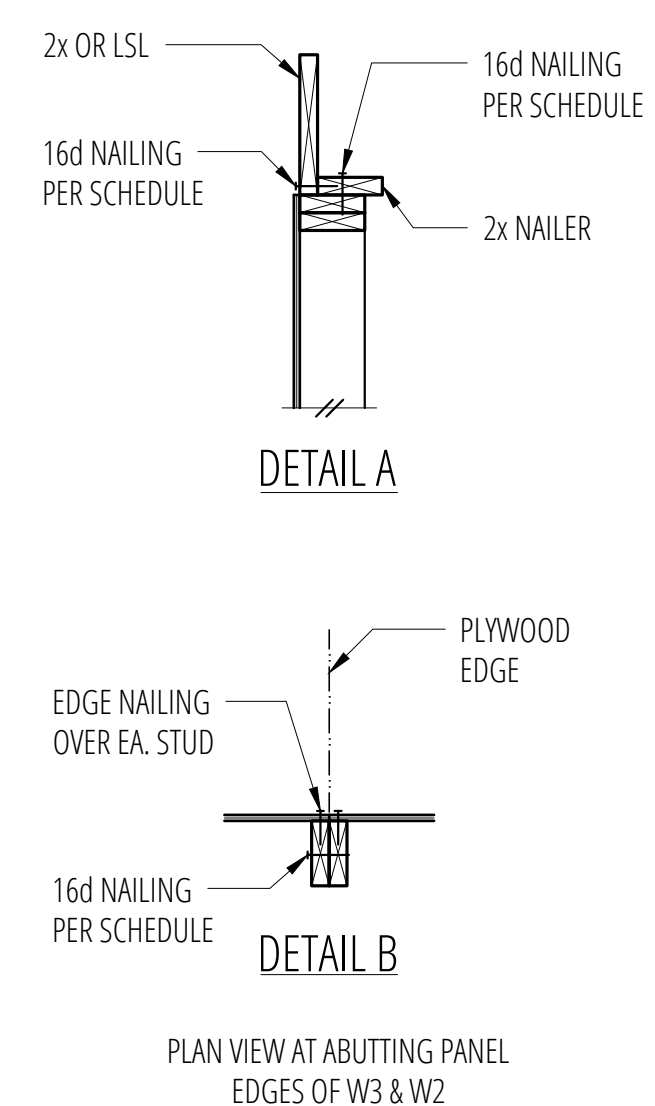
Sheet No.



1 Typical Top Plate Splice
SCALE: 3/4"=1'-0"

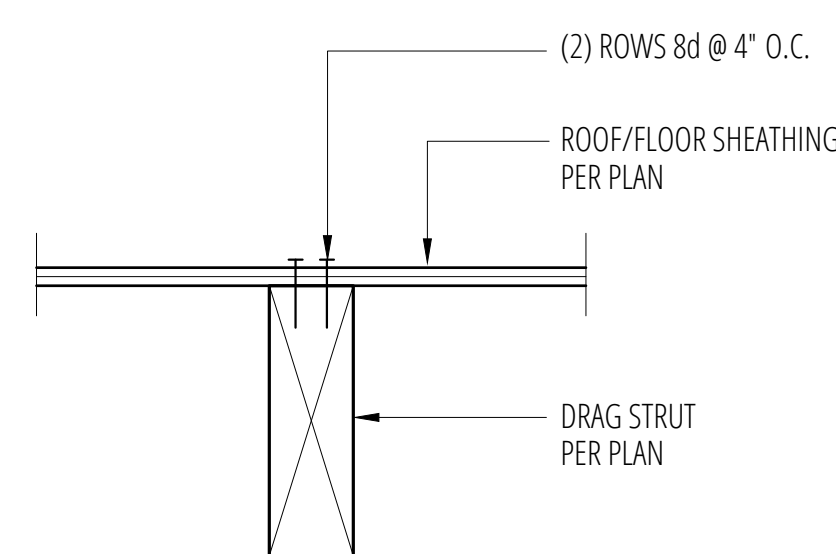


2 Typical Header Support
SCALE: 3/4"=1'-0"

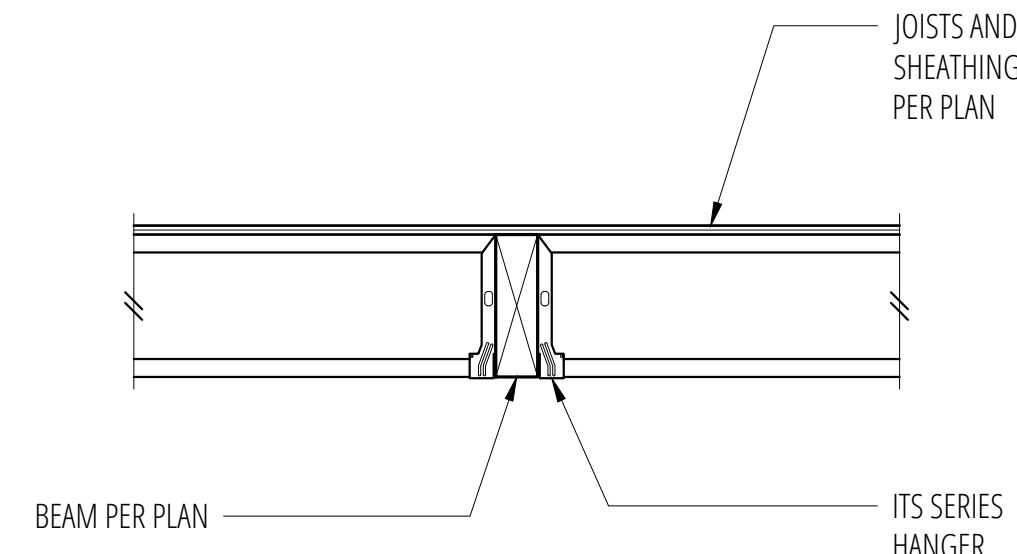


3 Shearwall Schedule
SCALE: N.T.S.

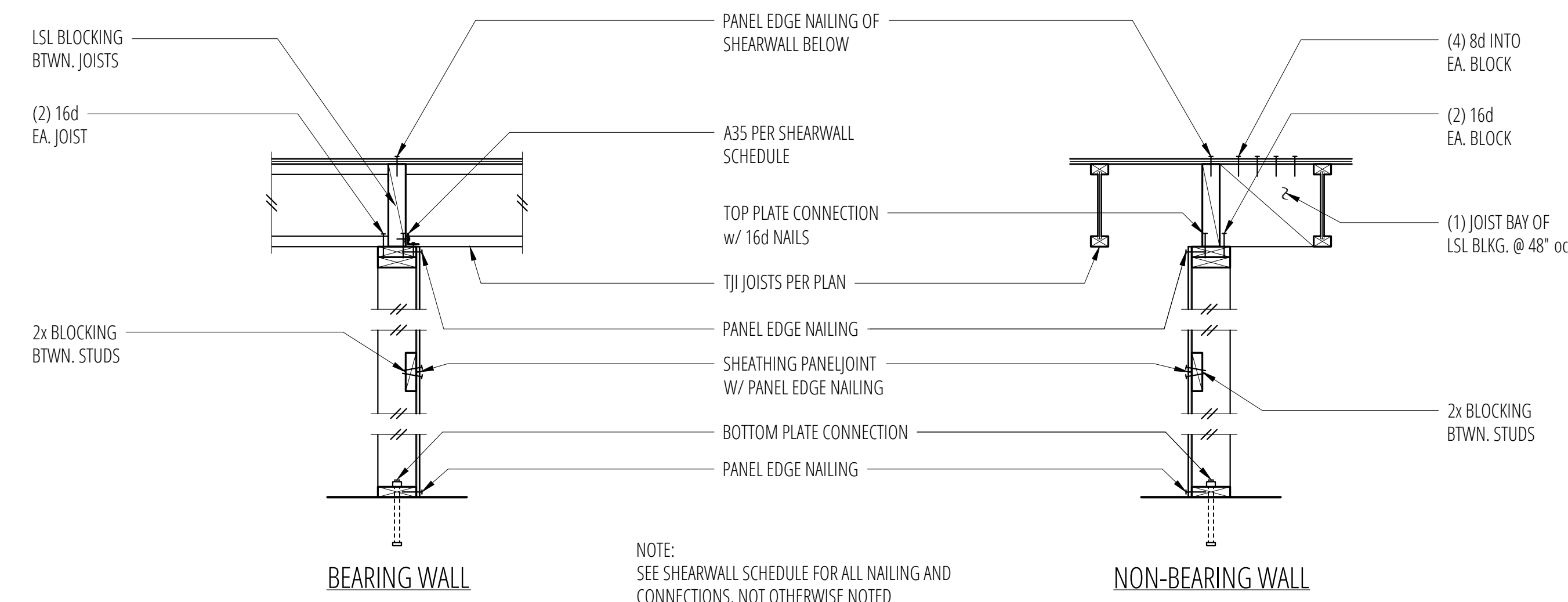
- BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12" OC
- 8d NAILS SHALL BE 0.131" x 2 1/2" (COMMON) - 16d NAILS SHALL BE 0.135" x 3 1/2" (BOX)
- EMBED ANCHOR BOLTS AT LEAST 7" EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/2" PLATE WASHERS.
- 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- 3x FOUNDATION SILL PLATES ARE REQUIRED FOR 2W3 AND 2W2. 3x STUDS ARE REQUIRED AT ABUTTING PANEL EDGES AND PANEL JOINTS SHALL BE OFFSET EACH SIDE OF WALL. STAGGER NAILS AT ADJOINING PANEL EDGES. 3x STUDS, MIN., REQUIRED AT END OF SHEARWALL.
- TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SINGLE-SIDED SHEARWALLS. ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE
- 1/4" O.S.B. MAY BE SUBSTITUTED FOR 1/2" CDX.
- LTP4'S MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- STAGGER NAILS IN ROW W/ 1/2" MIN. OFFSET.
- MINIMUM OFFSET BETWEEN ROWS 1/2", AND MINIMUM RIM OR JOIST 3 1/2" WIDE.



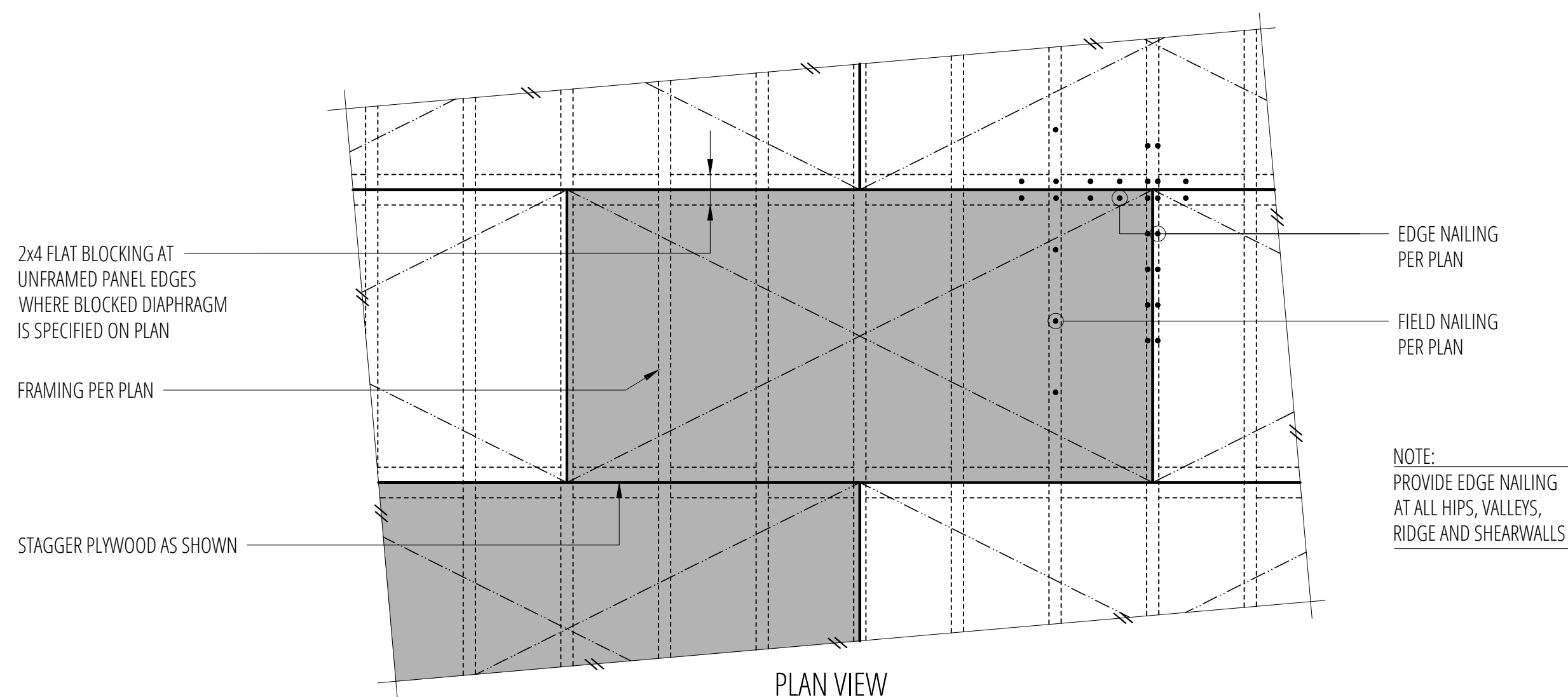
5 Typical Drag Strut (D.S.)
SCALE: 3/4"=1'-0"



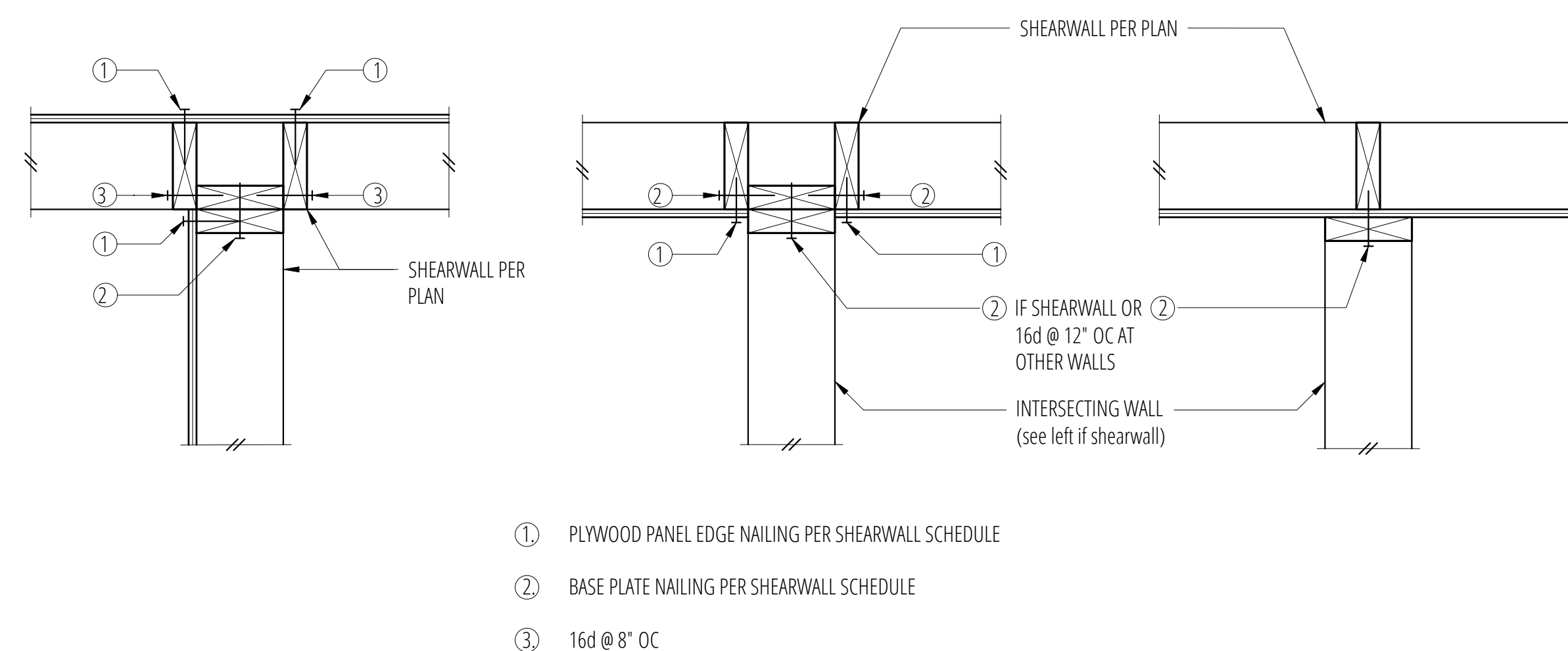
6 Typical Flush Beam
SCALE: 3/4"=1'-0"



7 Typical Shearwall Construction
SCALE: N.T.S.



9 Typical Diaphragm Sheathing and Nailing
SCALE: 3/4"=1'-0"



11 Typical Shearwall Intersections
SCALE: N.T.S.

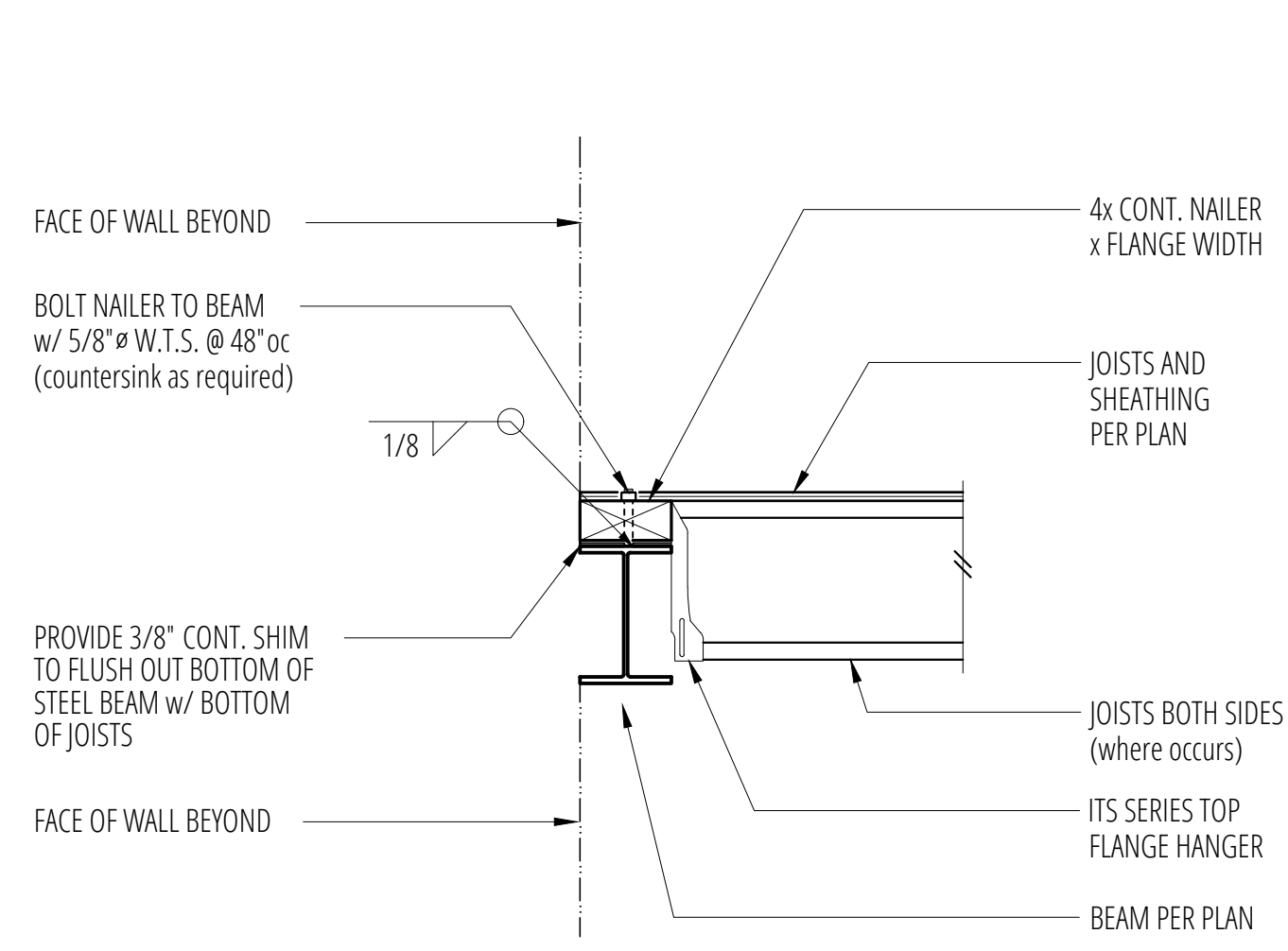


East Mercer - Parcel 1
 8375 E Mercer Way
 Mercer Island, WA, 98040

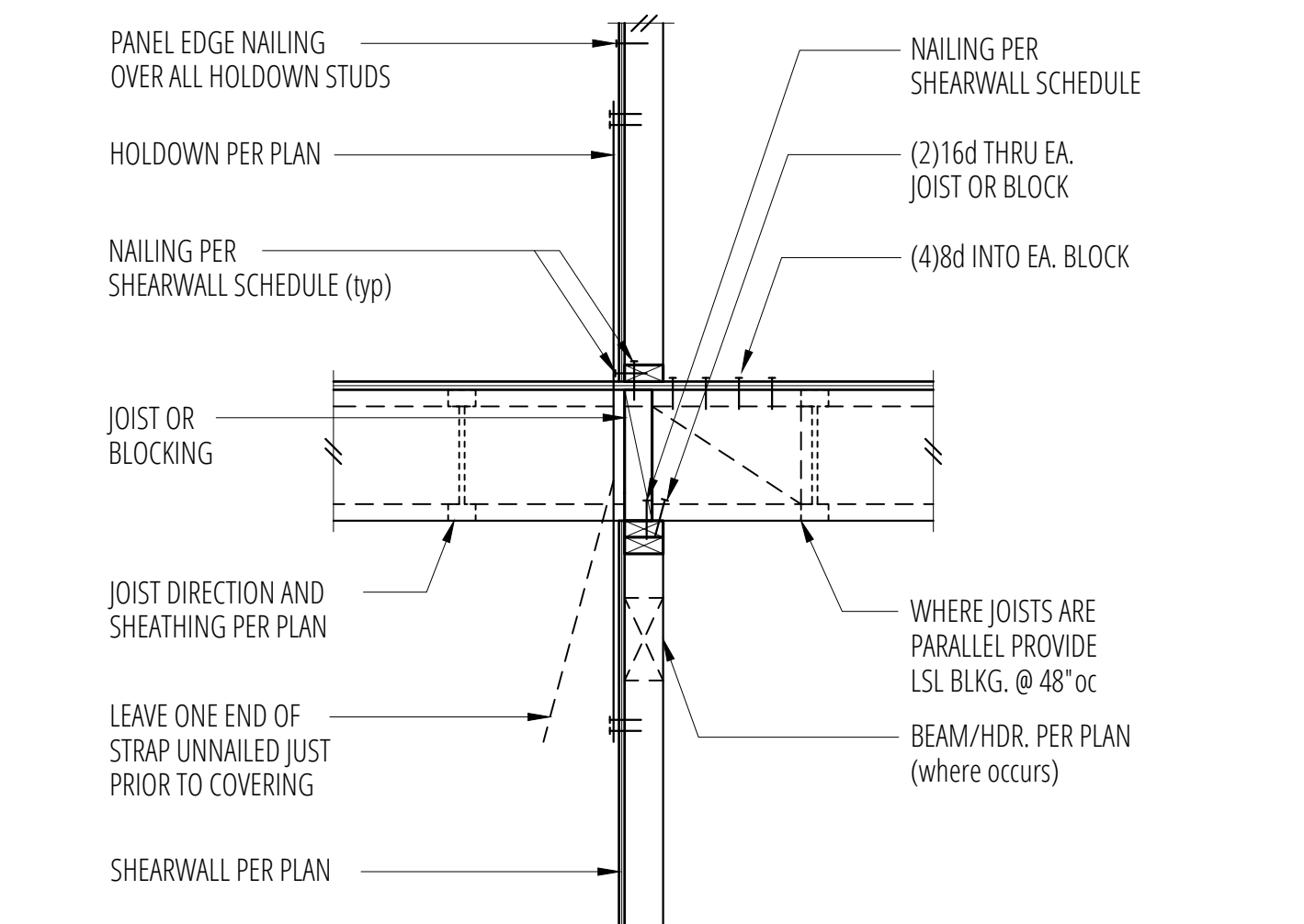
No.	Date	Issue
	7/13/17	Permit

Sheet Contents
Floor Framing Details

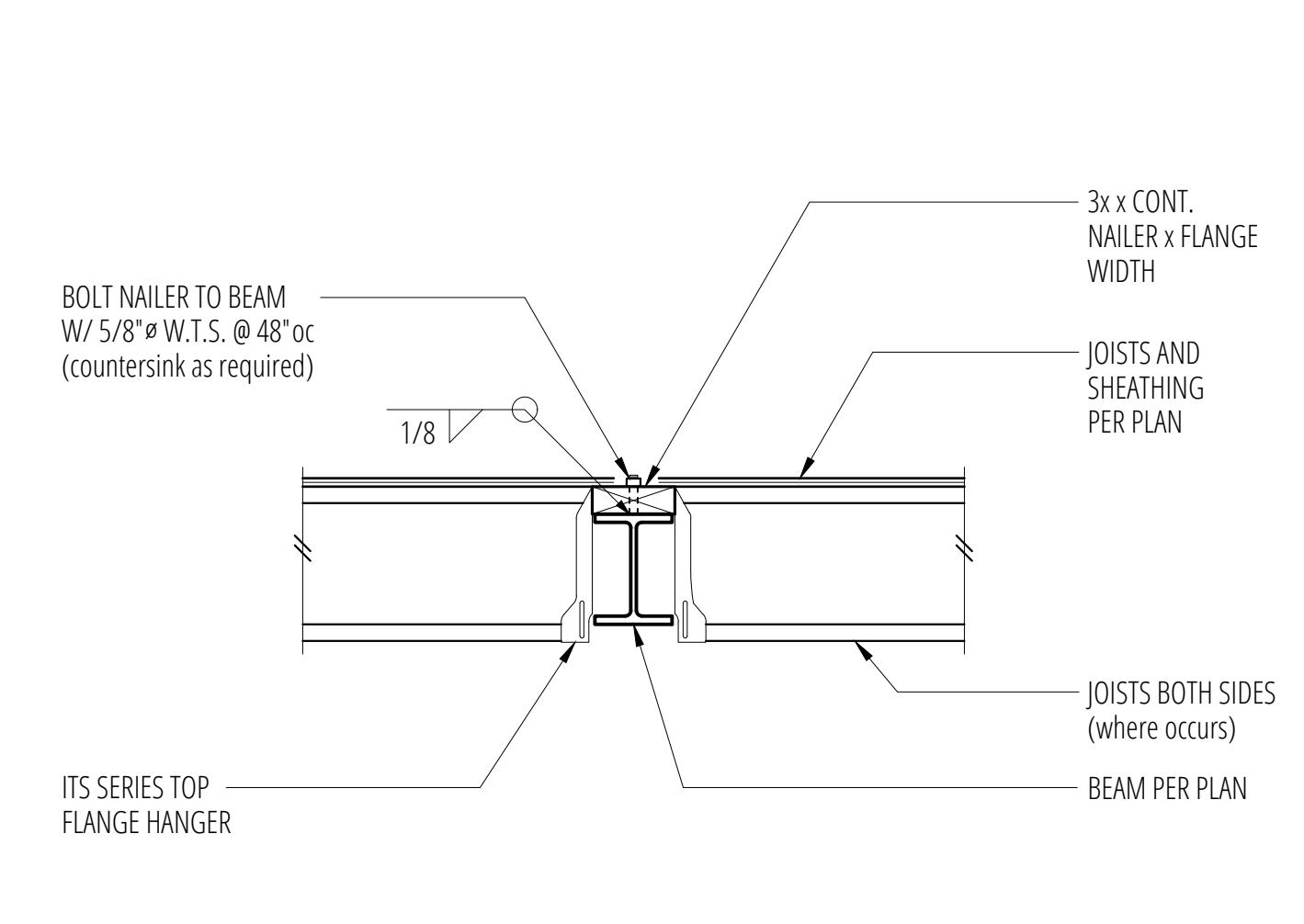
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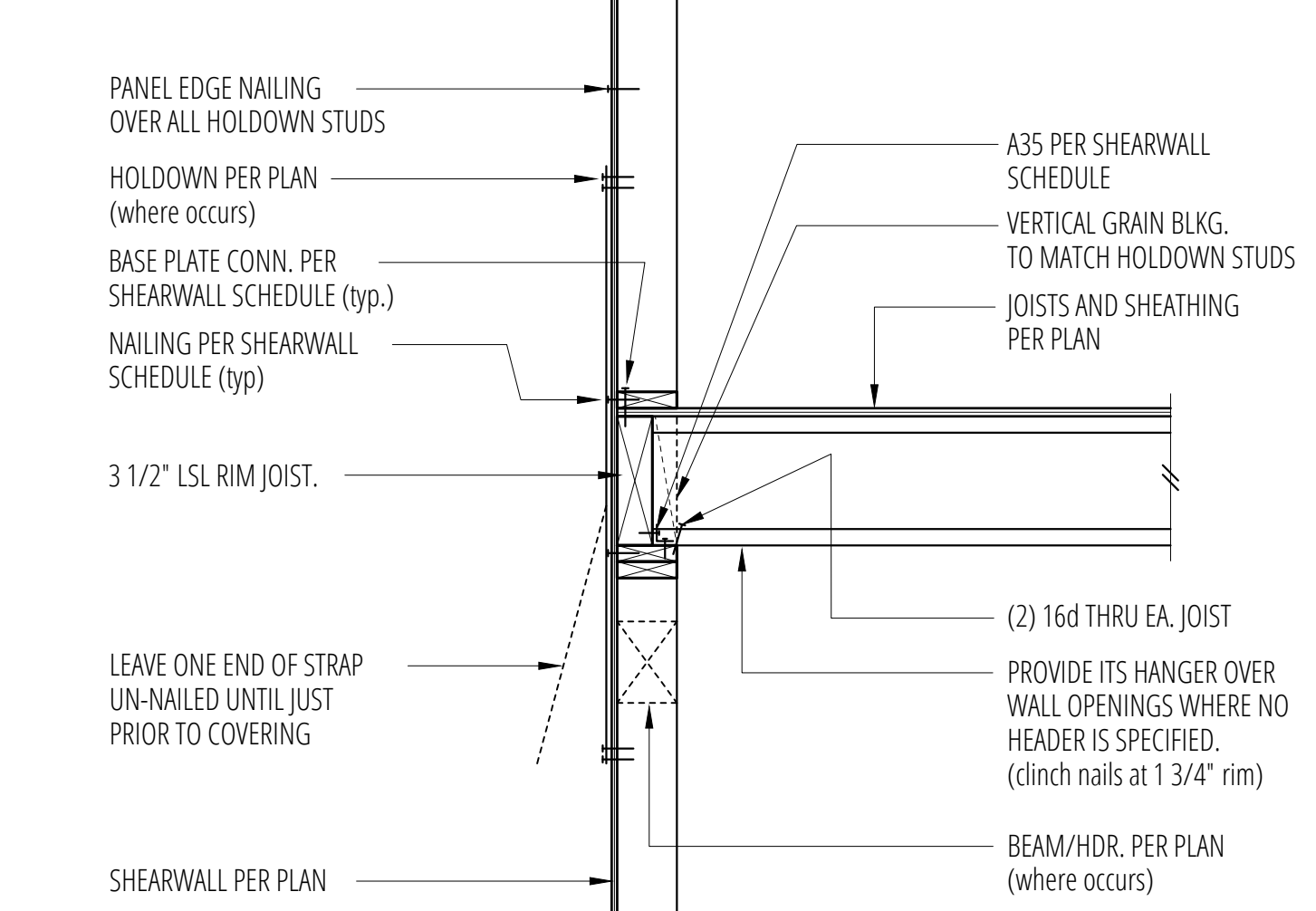
1 Exterior Framing at Steel Beam
SCALE: 3/4"=1'-0"



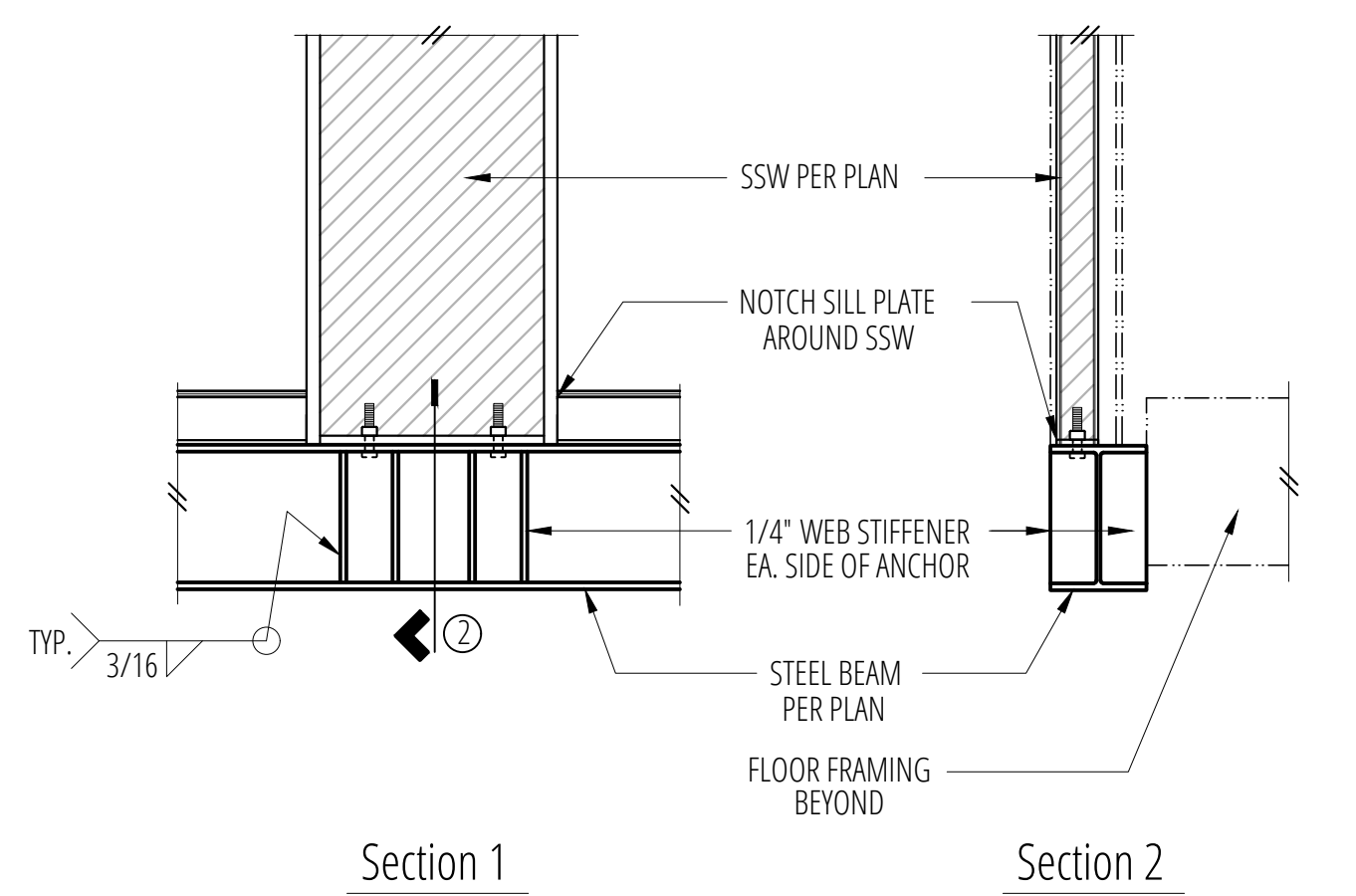
2 Interior Shearwall (w/TJI's)
SCALE: 3/4"=1'-0"



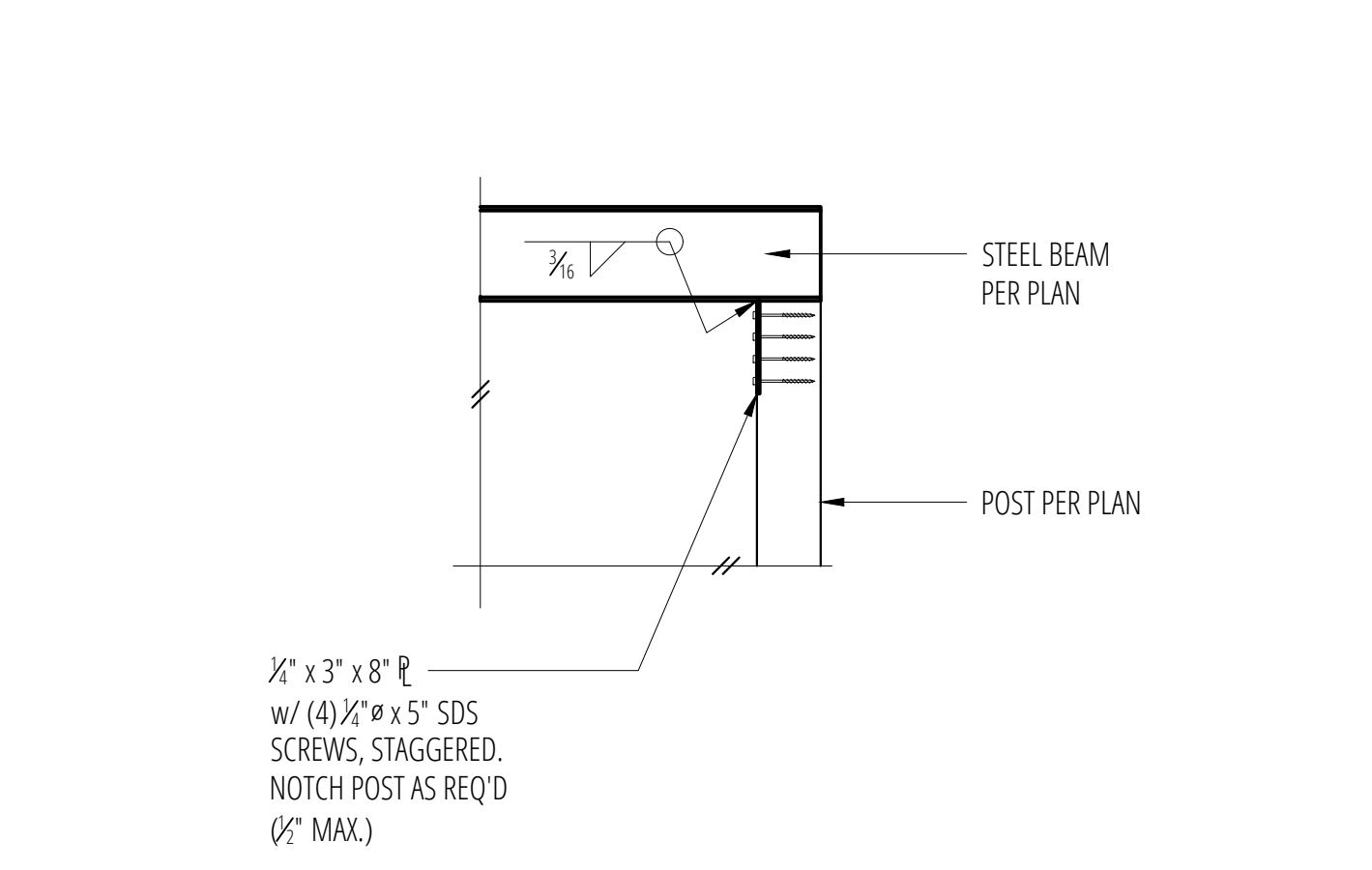
3 Joists Hung from Steel Beam (w/TJI's)
SCALE: 3/4"=1'-0"



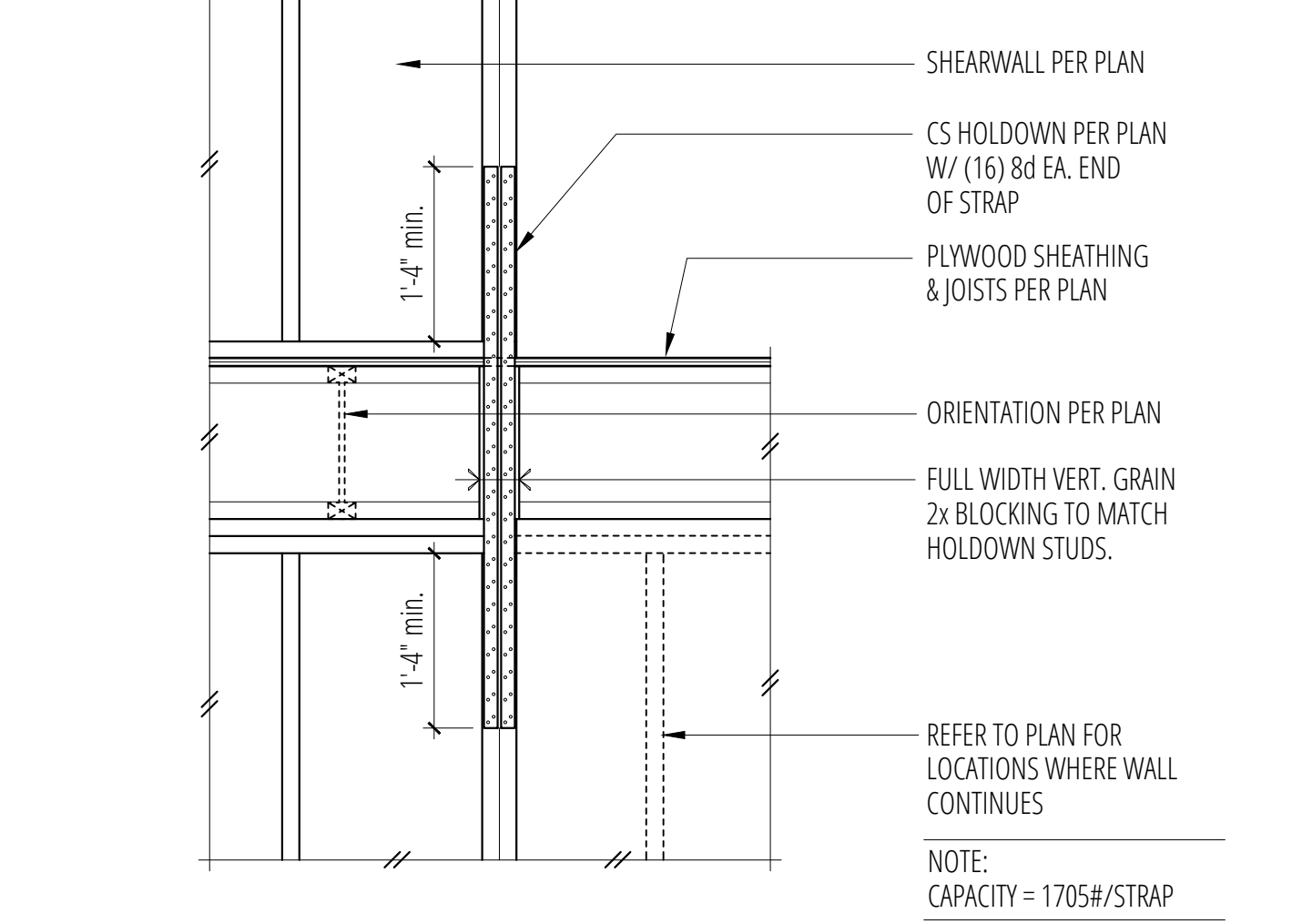
4 Perpendicular Framing at Exterior walls
SCALE: 3/4"=1'-0"



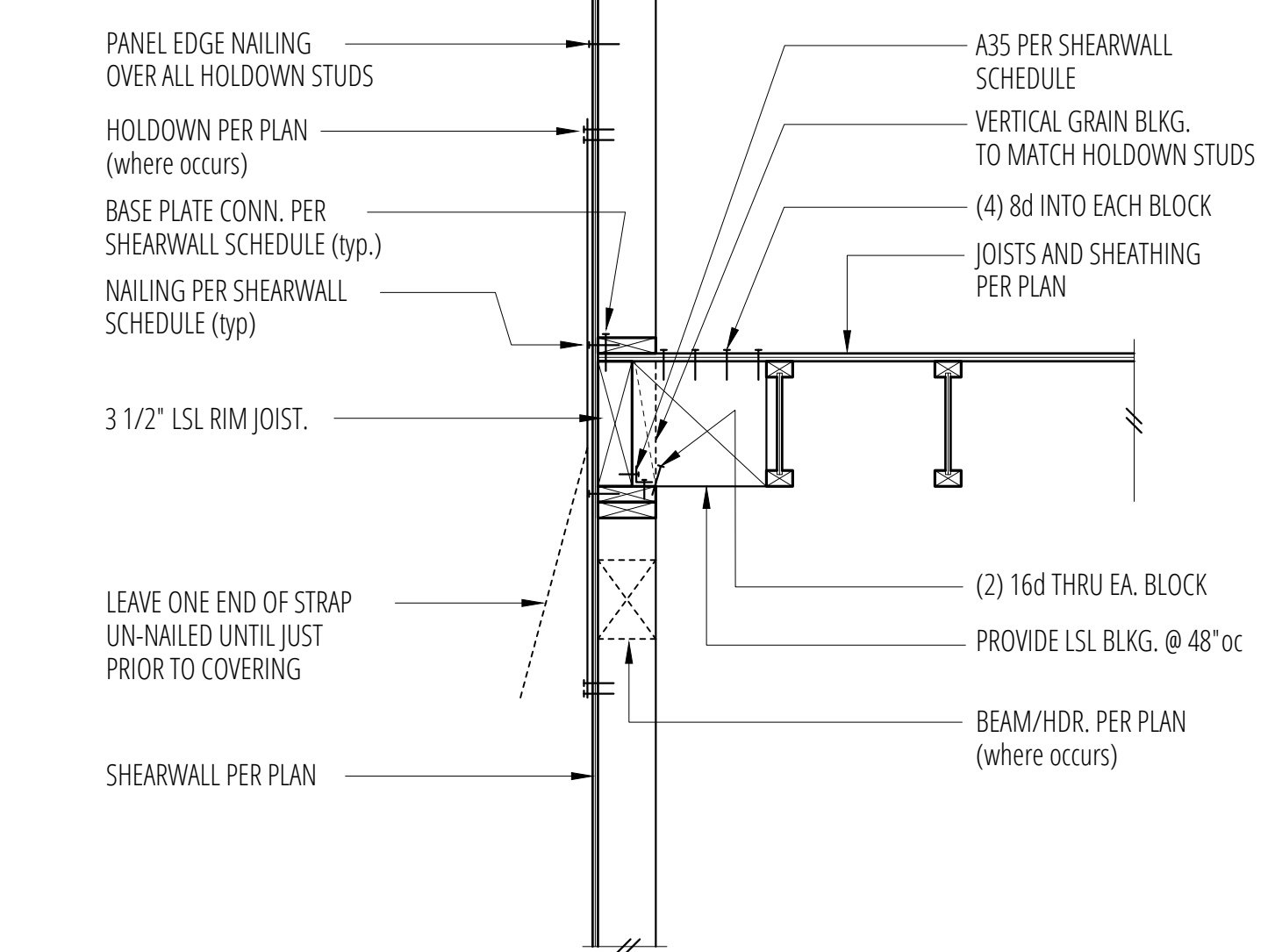
5 SSW Over Steel Beam
SCALE: 3/4"=1'-0"



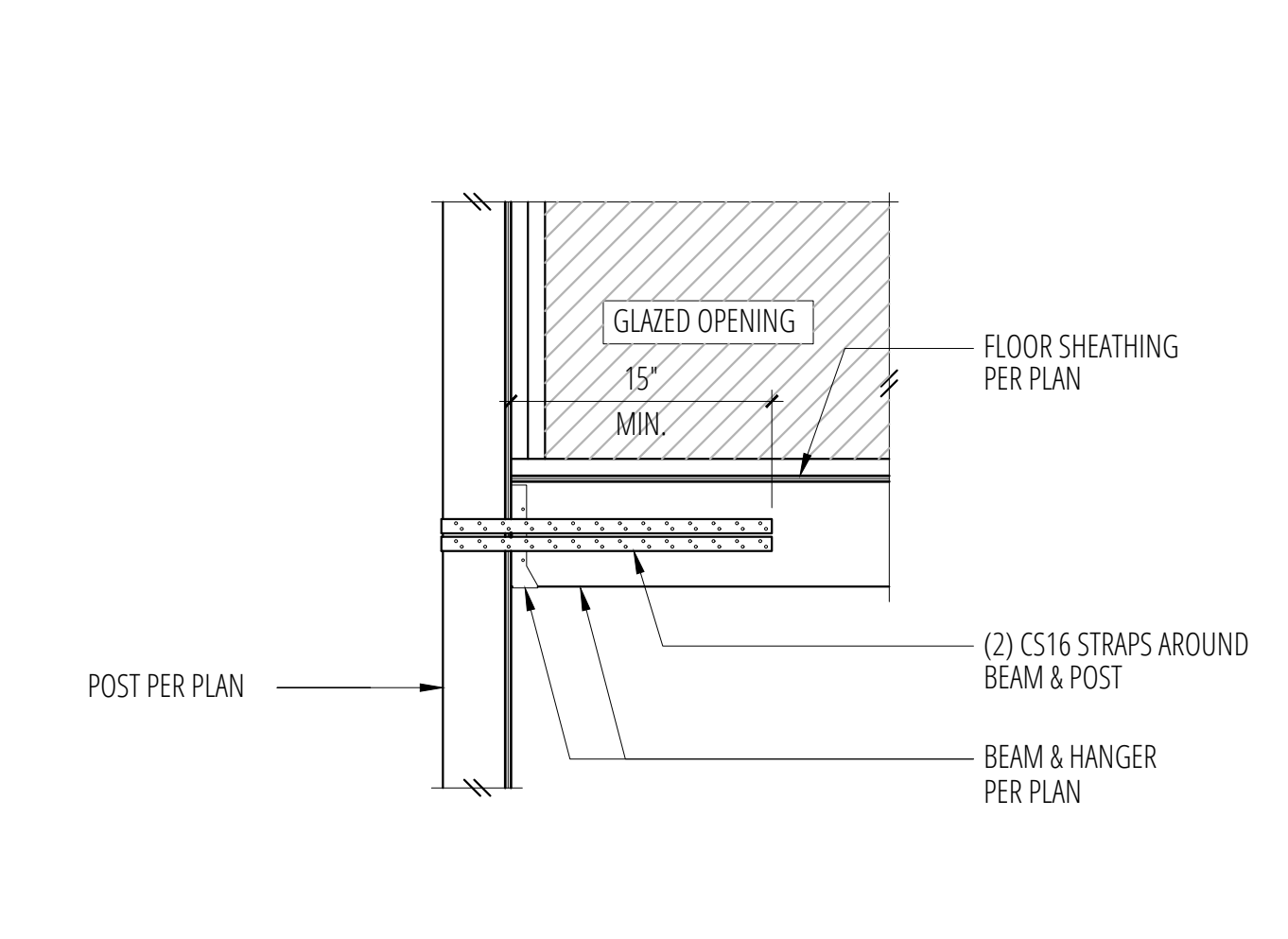
6 Bearing Condition at Steel Floor Beam
SCALE: 3/4"=1'-0"



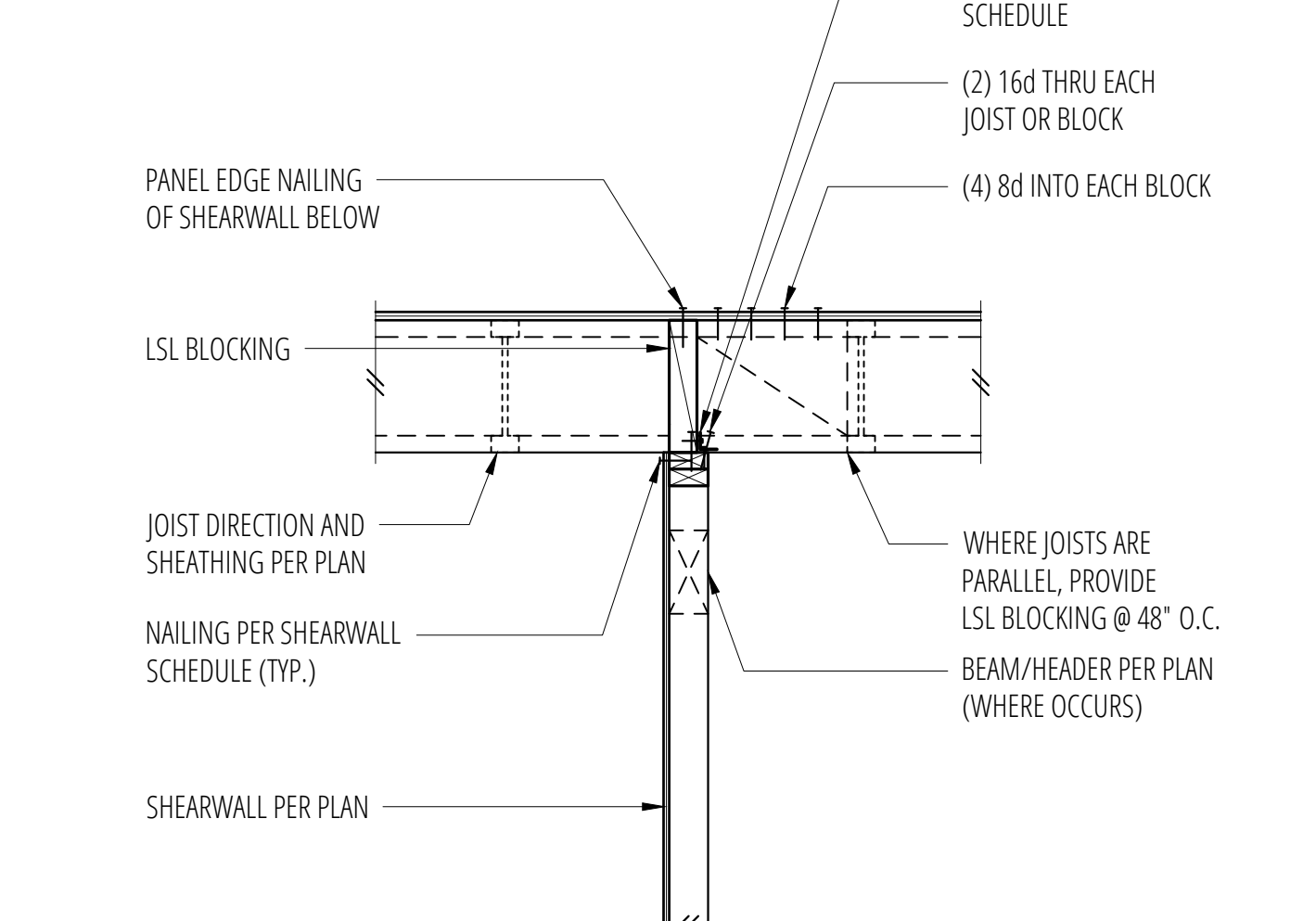
7 Typical CS16 Holdown Strap
SCALE: 3/4"=1'-0"



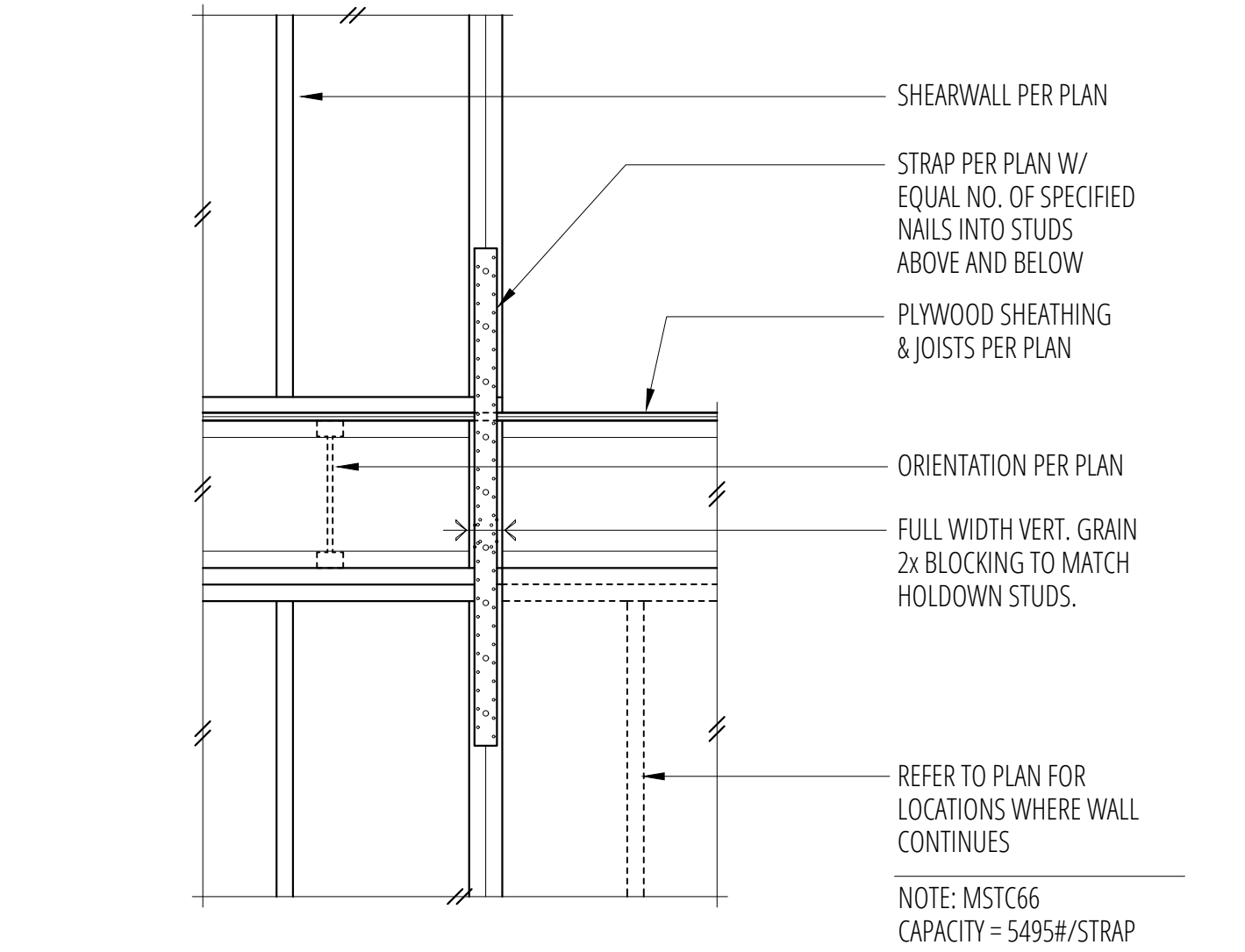
8 Parallel Framing at Exterior Walls
SCALE: 3/4"=1'-0"



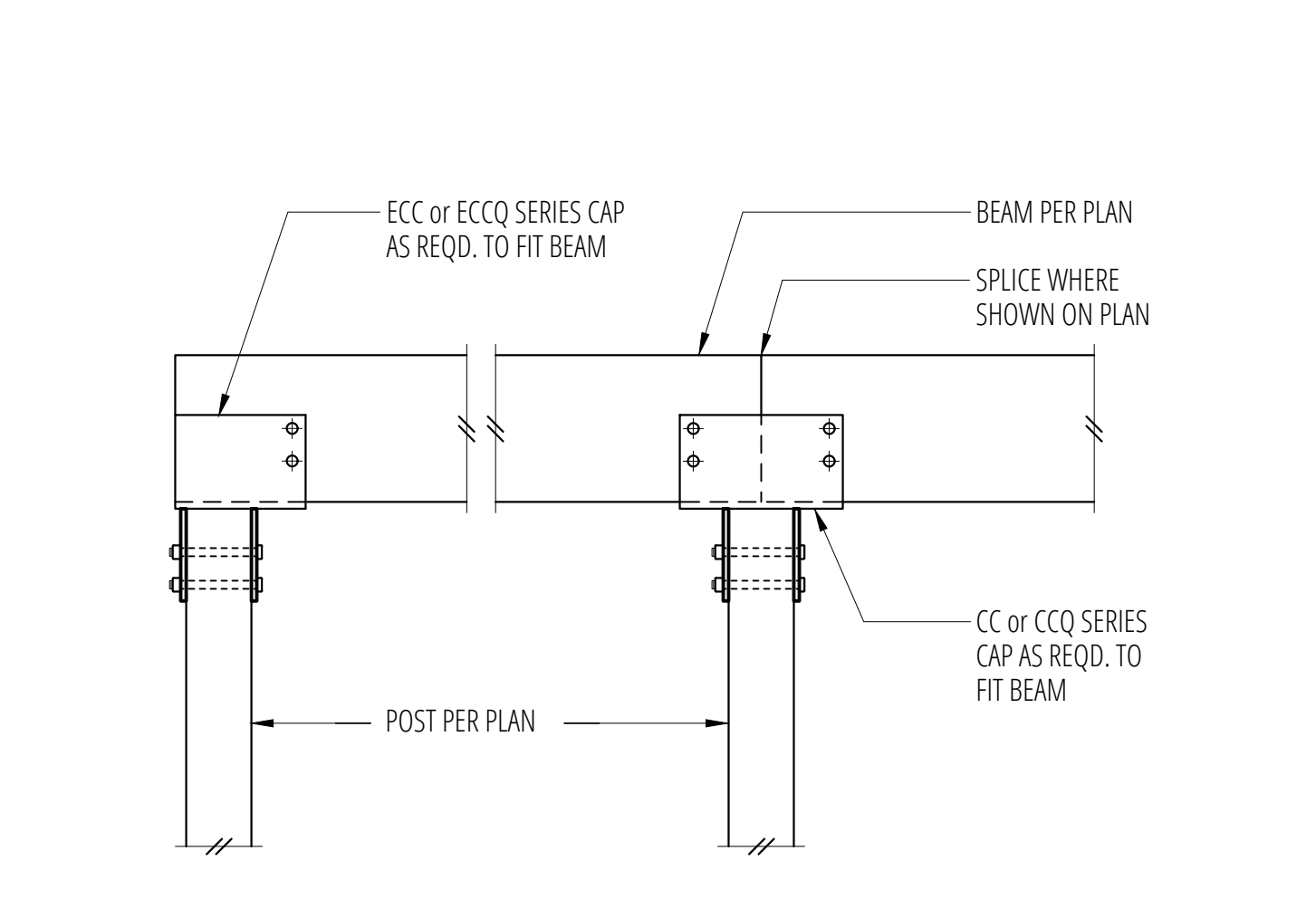
9 Strapping at Floor Beam
SCALE: 3/4"=1'-0"



10 Interior Shearwall Below (w/TJI's)
SCALE: 3/4"=1'-0"



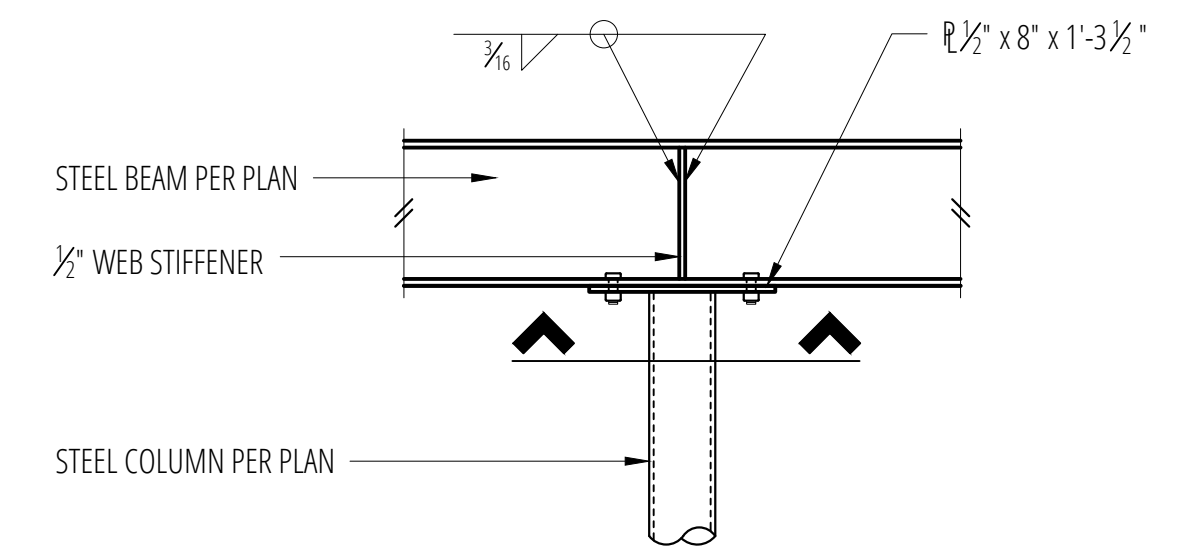
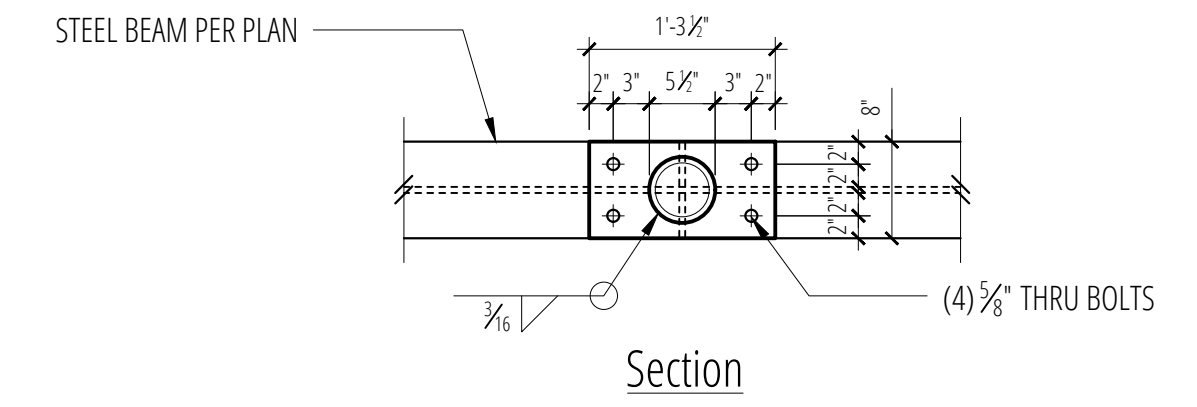
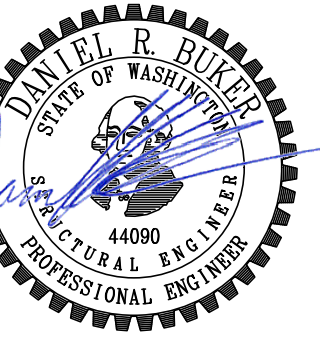
11 Typical MST/MSTC Strap
SCALE: 3/4"=1'-0"



12 CC/CCQ Series Connection
SCALE: 3/4"=1'-0"

No.	Date	Issue
	7/13/17	Permit
Sheet Contents		
Floor Framing Details		

Sheet No.

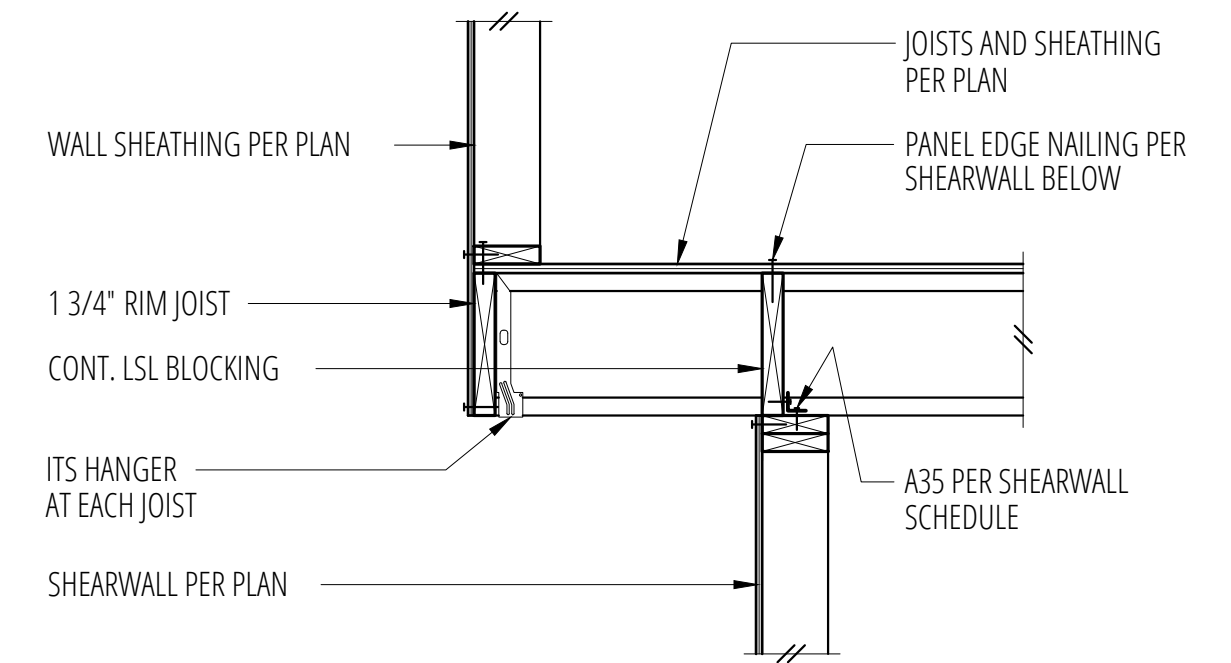


1 SCALE: 3/4"=1'-0"

2 SCALE: 3/4"=1'-0"

3 SCALE: 3/4"=1'-0"

4 Steel Column Support at Steel Beam
SCALE: 3/4"=1'-0"

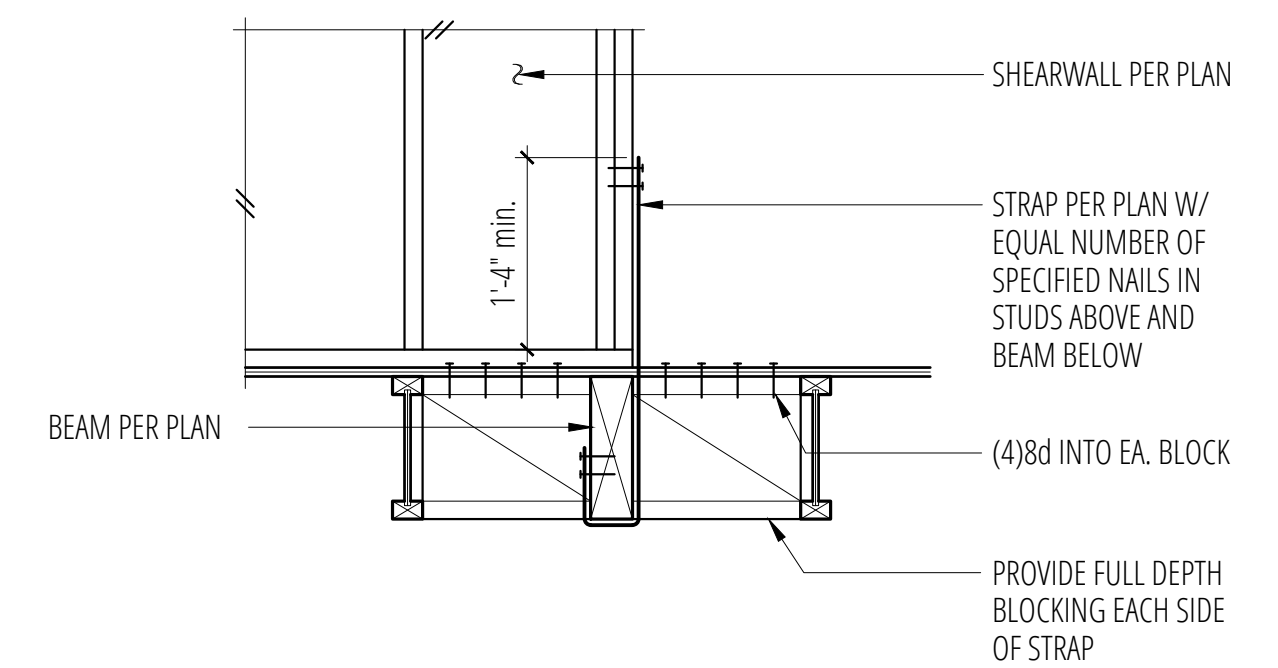


5 SCALE: 3/4"=1'-0"

6 SCALE: 3/4"=1'-0"

7 SCALE: 3/4"=1'-0"

8 Cantilever at Exterior Wall
SCALE: 3/4"=1'-0"



9 SCALE: 3/4"=1'-0"

10 SCALE: 3/4"=1'-0"

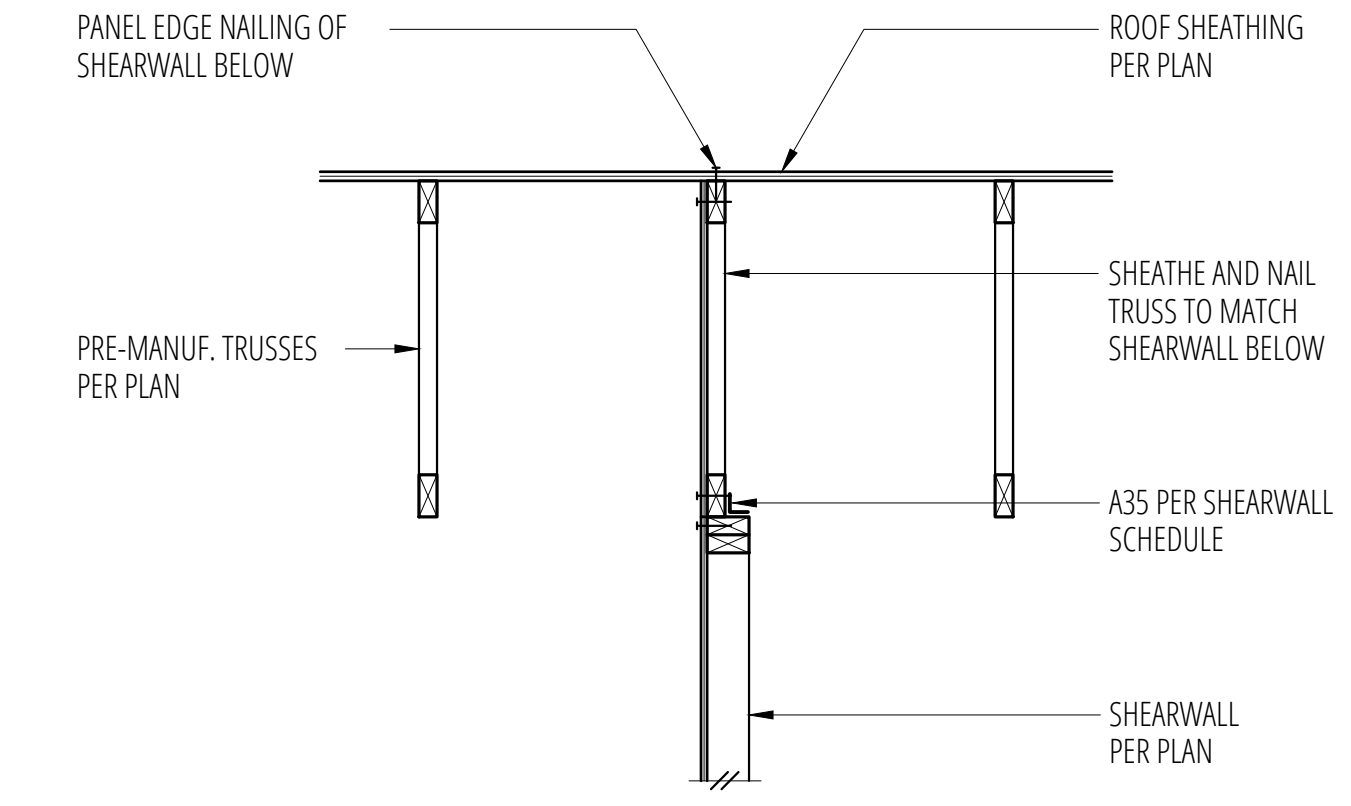
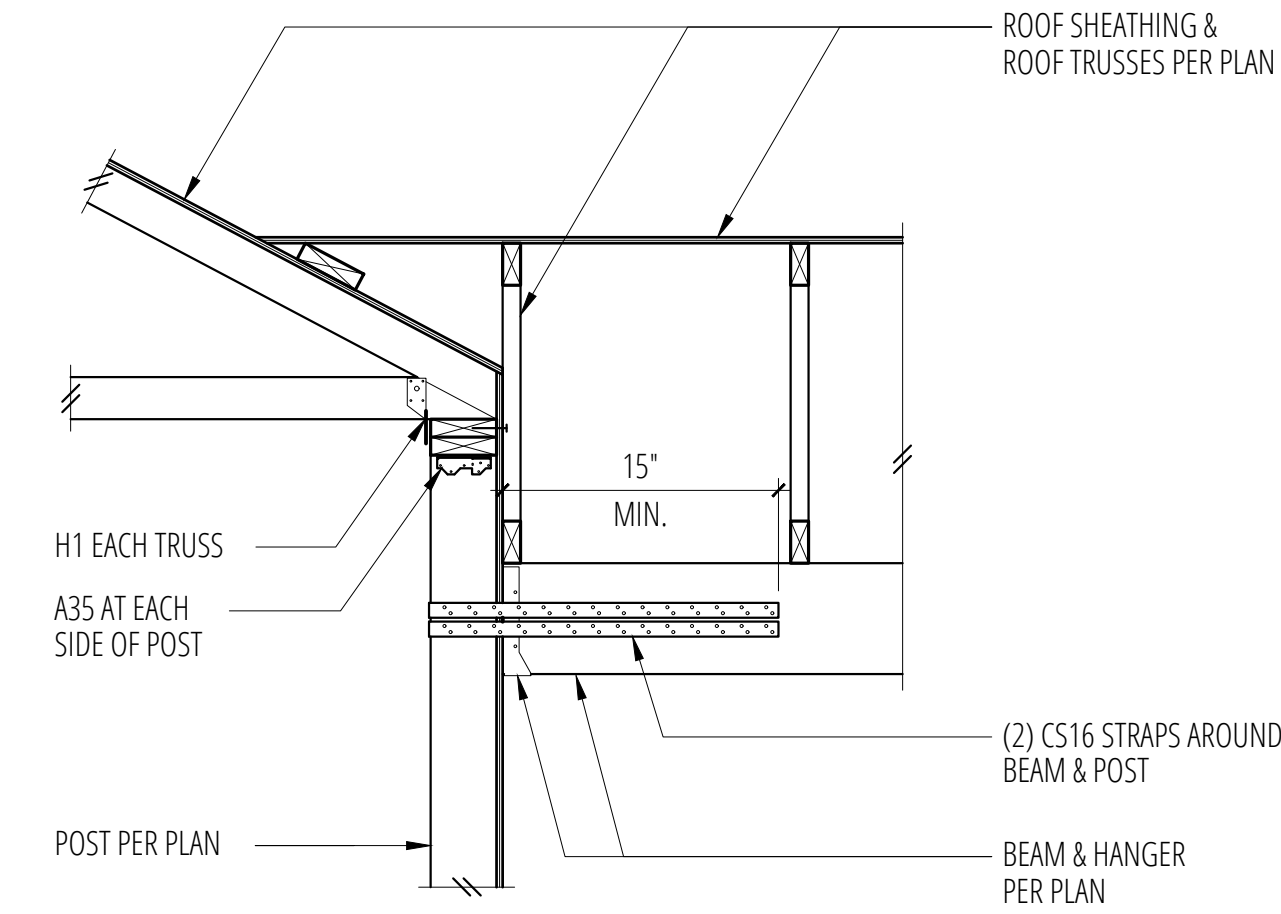
11 SCALE: 3/4"=1'-0"

12 Holdown at Floor Beam (w/TJI)
SCALE: 3/4"=1'-0"

East Mercer - Parcel 1

8375 E Mercer Way
Mercer Island, WA, 98040

No.	Date	Issue
	7/13/17	Permit
Sheet Contents		
Floor Framing Details		
Sheet No.		

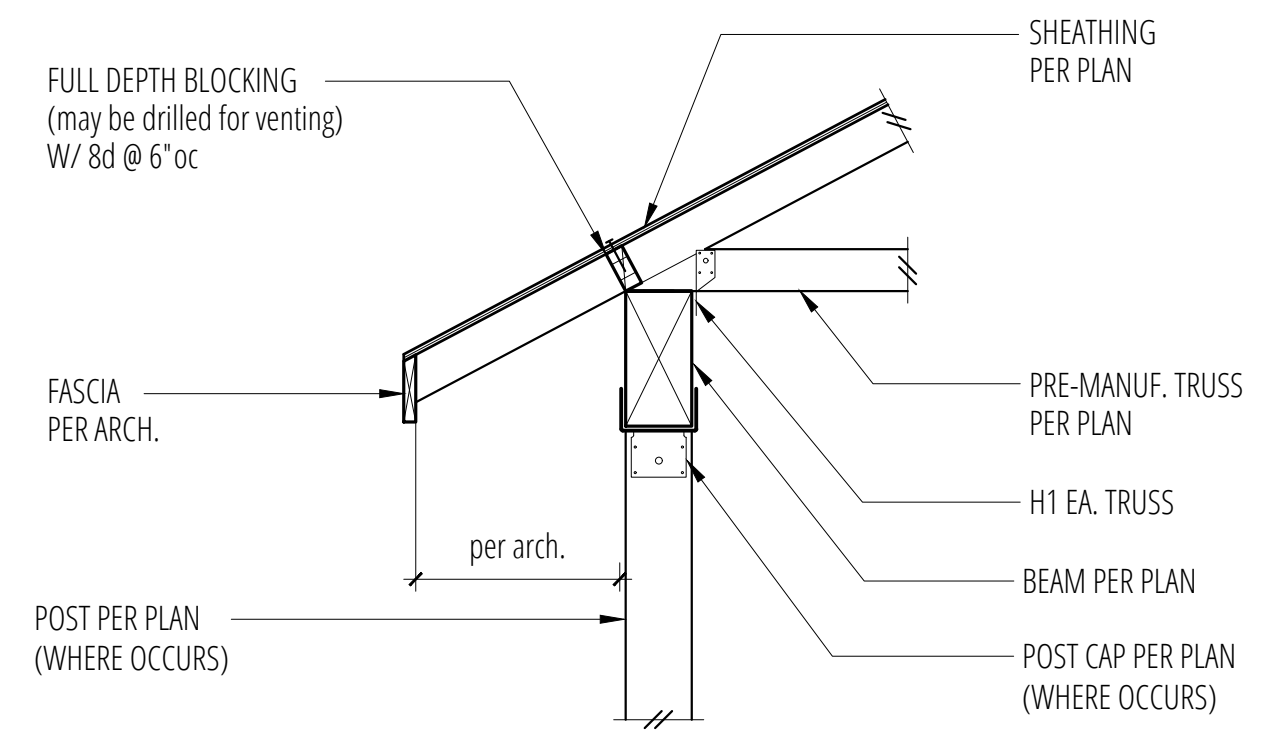
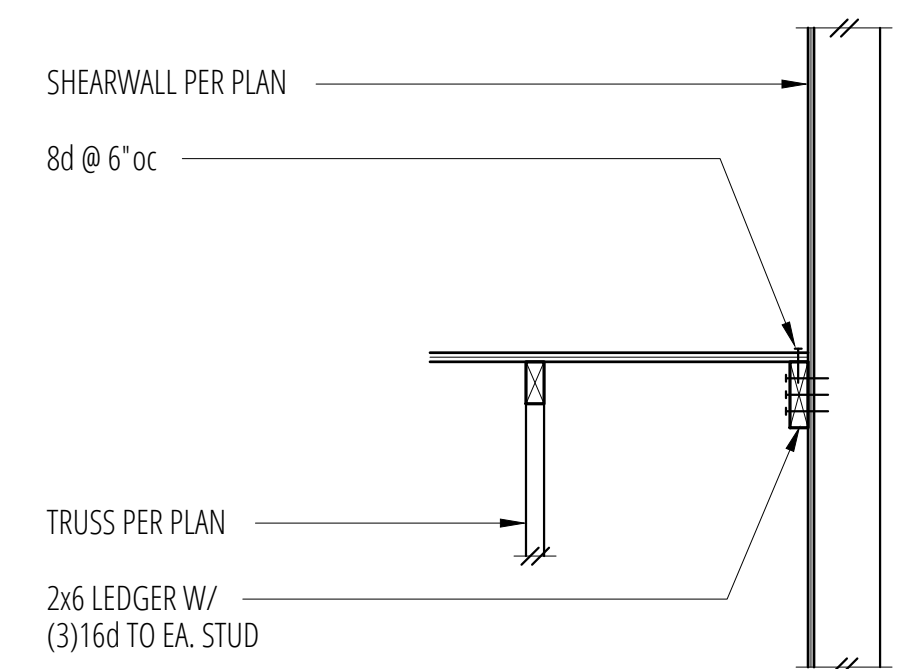
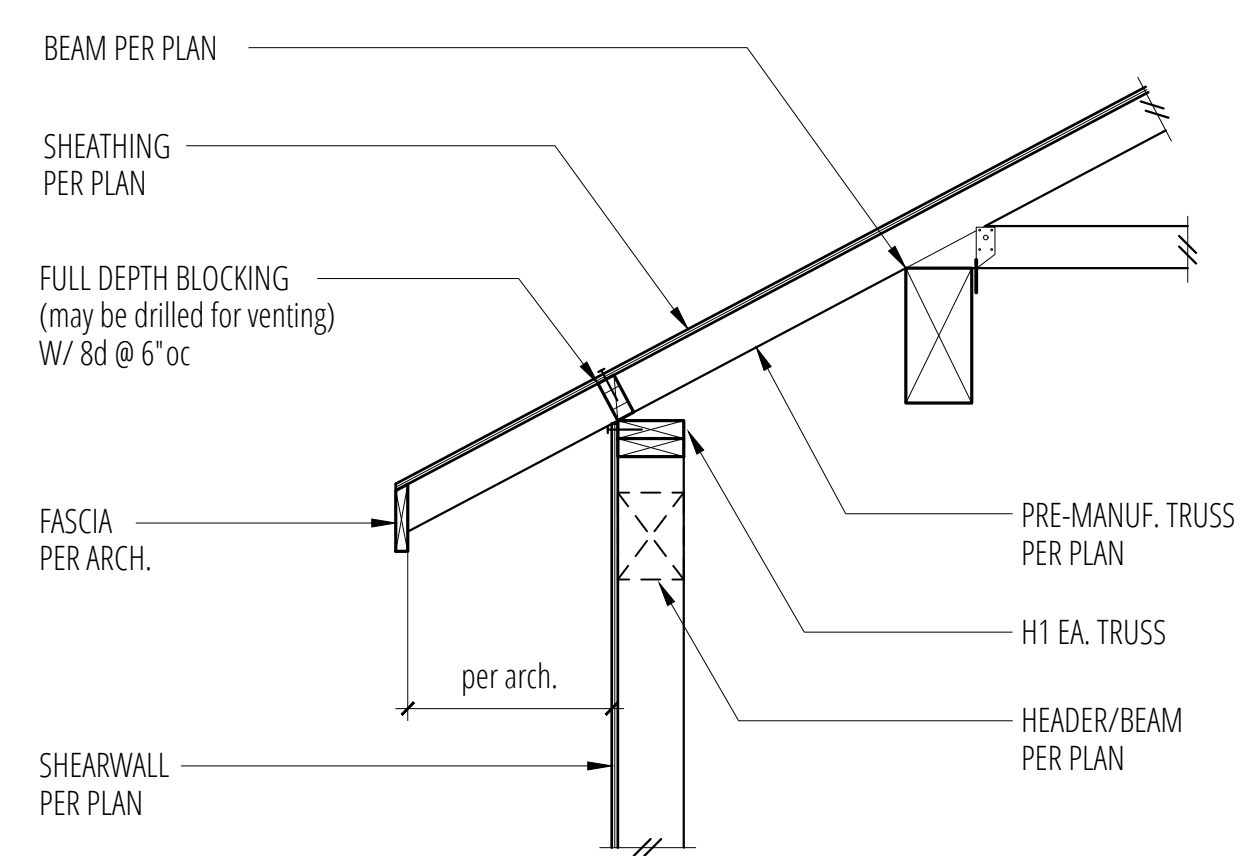


1 SCALE: 3/4"=1'-0"

2 SCALE: 3/4"=1'-0"

3 Strapping at Roof Beam
SCALE: 3/4"=1'-0"

4 Shearwall Extension Through Truss Depth
SCALE: 3/4"=1'-0"

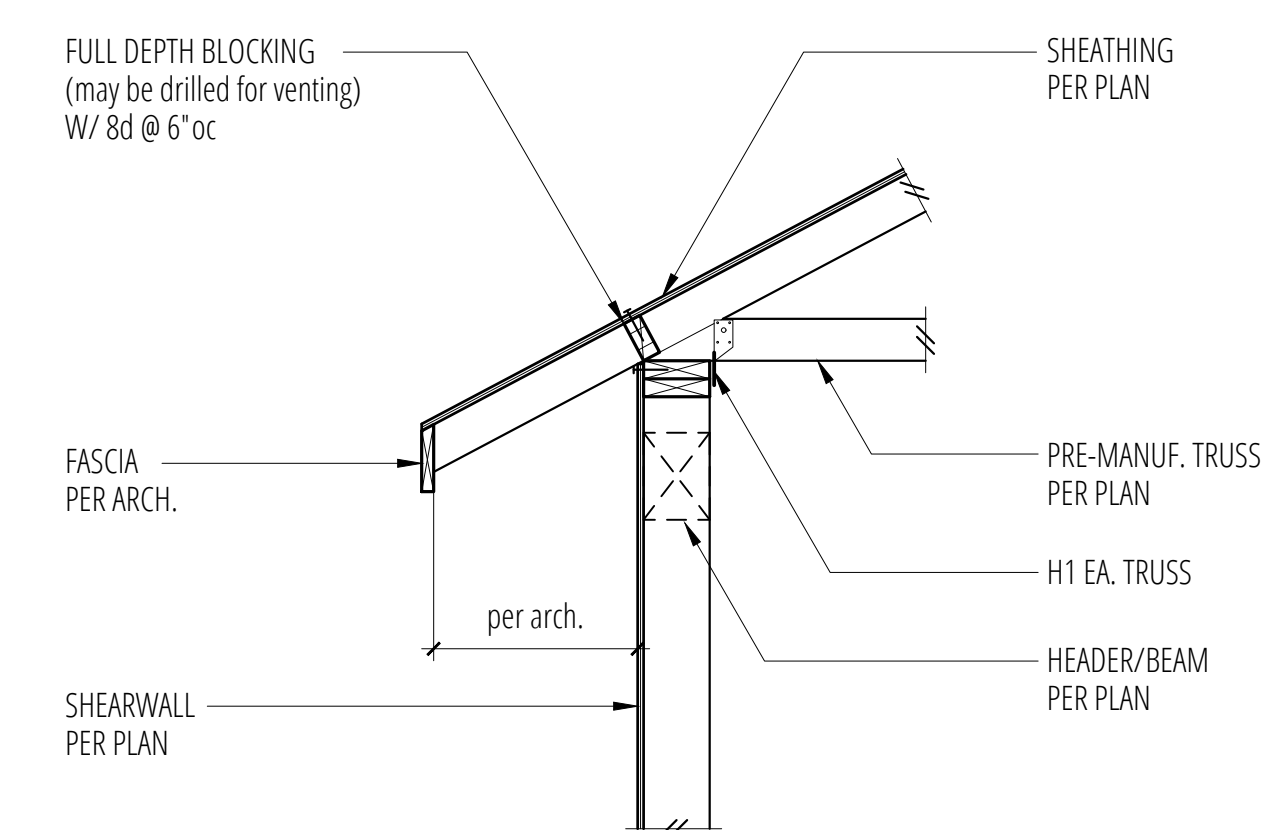
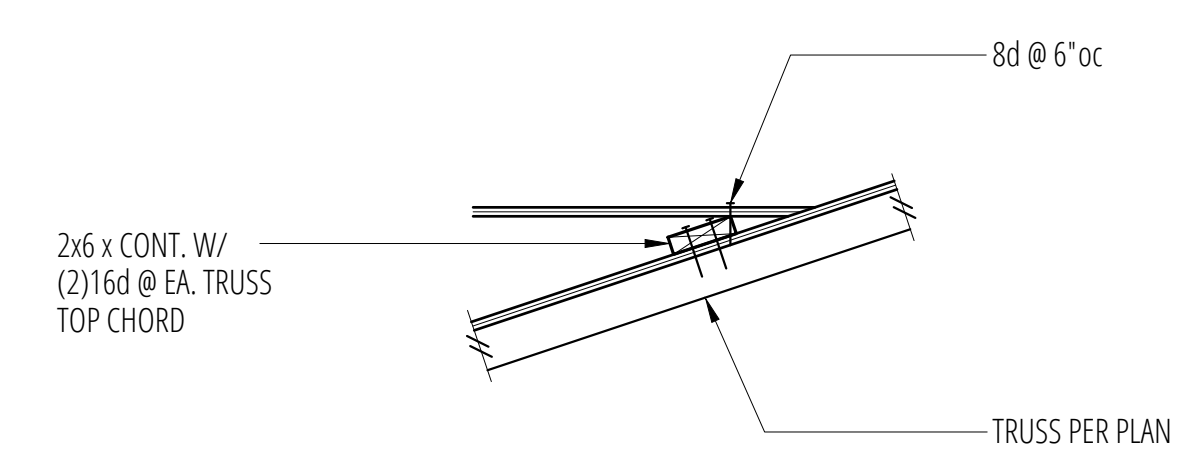
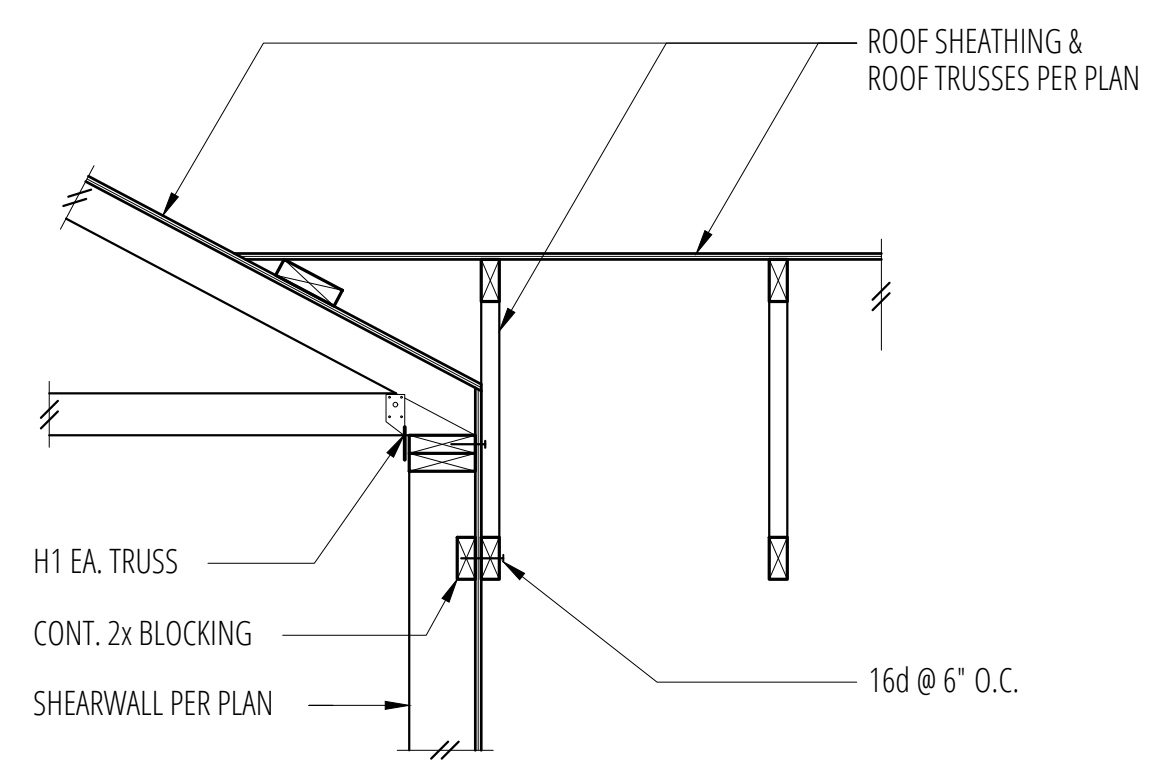


5 SCALE: 3/4"=1'-0"

6 Extended Tail Truss at Exterior Wall
SCALE: 3/4"=1'-0"

7 Trusses Parallel to Exterior Wall
SCALE: 3/4"=1'-0"

8 Beam & Post at Roof
SCALE: 3/4"=1'-0"



9 SCALE: 3/4"=1'-0"

10 Change in Roof Height
SCALE: 3/4"=1'-0"

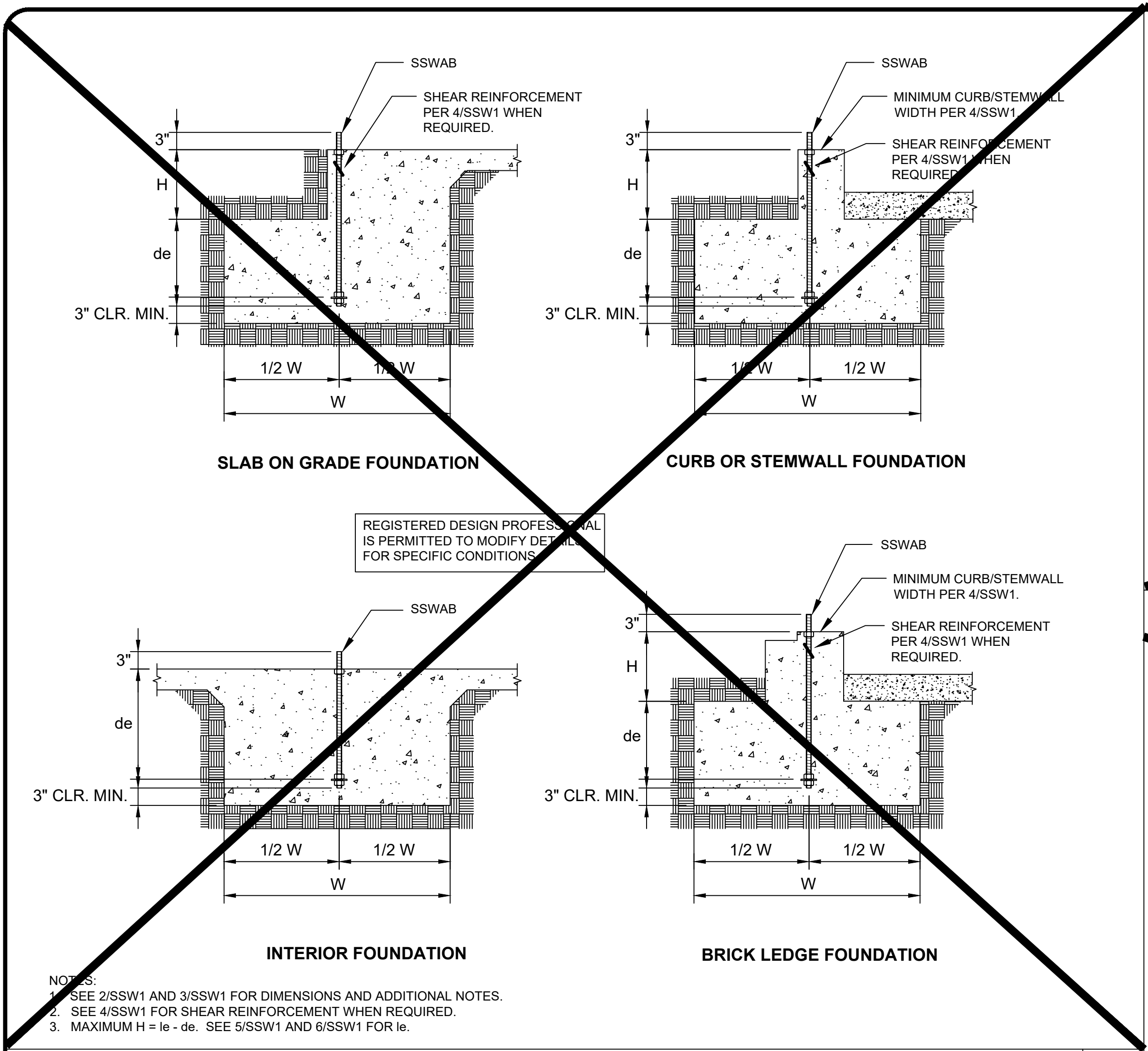
11 Overframing Connection
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12 Exterior Bearing Wall at Roof
SCALE: 3/4"=1'-0"

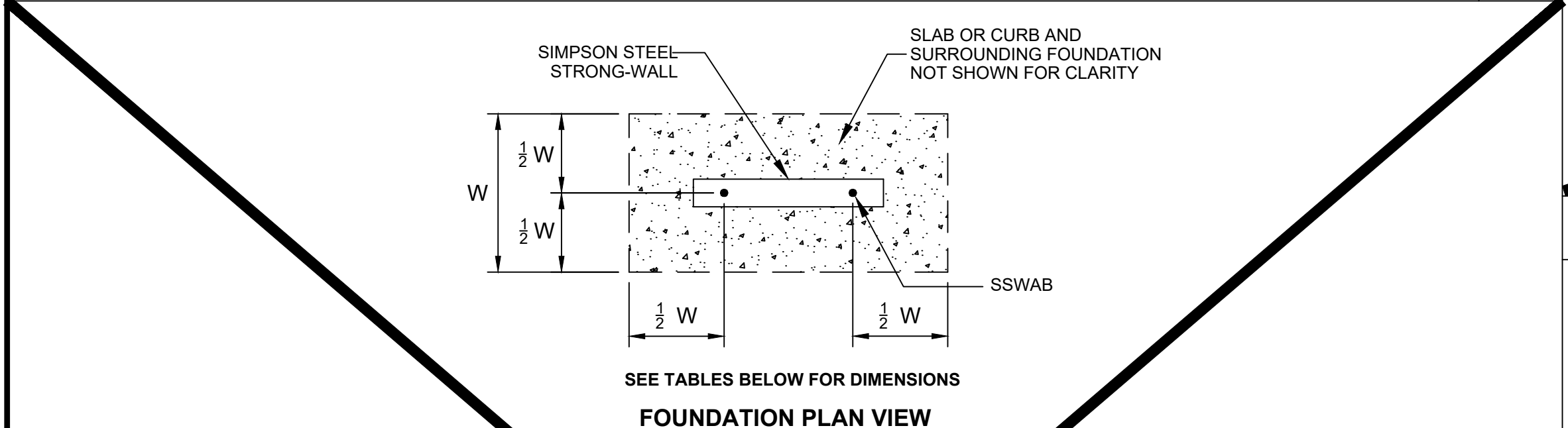
No.	Date	Issue
	7/13/17	Permit

Sheet Contents
Roof Framing
Details

Sheet No.



STEEL STRONG-WALL ANCHORAGE - TYPICAL SECTIONS 1



SEE TABLES BELOW FOR DIMENSIONS

FOUNDATION PLAN VIEW

DESIGN CRITERIA	CONCRETE CONDITION	ANCHOR STRENGTH	SSWAB 3/4" ANCHOR BOLT			SSWAB 1" ANCHOR BOLT		
			ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)	ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)
SEISMIC	CRACKED	STANDARD	8,800	22	8	16,100	33	11
		HIGH STRENGTH	9,600	24	8	17,100	35	12
		HIGH STRENGTH	19,900	38	13	35,300	54	18
	UNCRAKED	STANDARD	8,800	19	7	15,700	28	10
		HIGH STRENGTH	9,600	21	7	17,100	30	10
		HIGH STRENGTH	19,900	31	11	32,300	44	15
WIND	CRACKED	STANDARD	5,100	14	6	6,200	16	6
		HIGH STRENGTH	7,400	18	6	11,400	24	8
		HIGH STRENGTH	9,600	22	8	17,100	32	11
	UNCRAKED	STANDARD	11,400	24	8	21,100	36	12
		HIGH STRENGTH	13,600	27	9	27,300	42	14
		HIGH STRENGTH	15,900	30	10	31,800	46	16

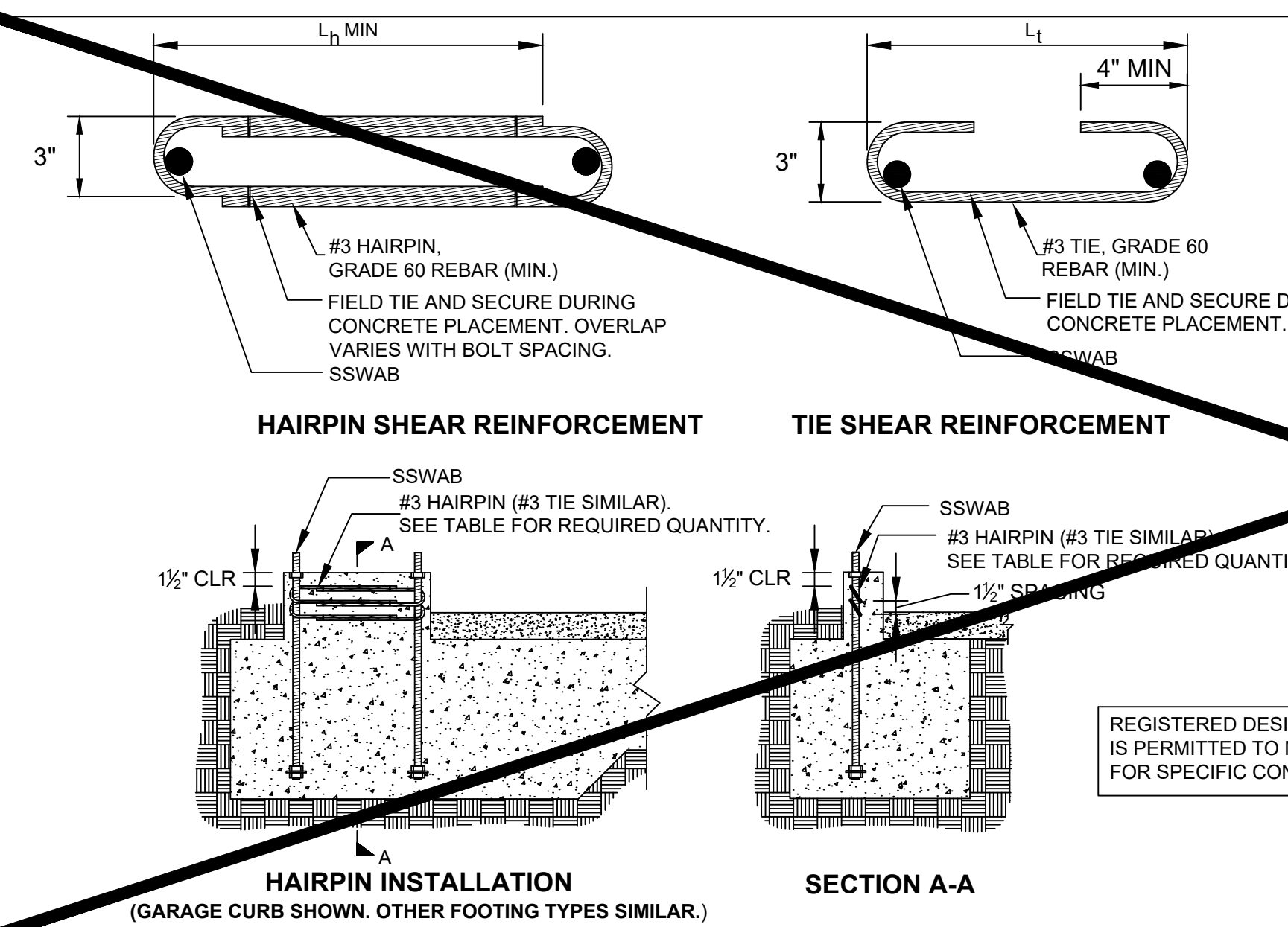
NOTES:
 1. ANCHORAGE DESIGNS CONFORM TO ACI 318-11 APPENDIX D WITH NO SUPPLEMENTARY REINFORCEMENT FOR CRACKED OR UNCRACKED CONCRETE AS NOTED.
 2. ANCHOR STRENGTH INDICATES REQUIRED GRADE OF SSWAB ANCHOR BOLT. STANDARD (ASTM F1554 GRADE 36) OR HIGH STRENGTH (HS) (ASTM A449).
 3. SEISMIC INDICATES SEISMIC DESIGN CATEGORY C THROUGH F. DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C MAY USE WIND ANCHORAGE SOLUTIONS. SEISMIC ANCHORAGE DESIGNS CONFORM TO ACI 318-11 SECTION D.3.3.4.
 4. WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B AND DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C.
 5. FOUNDATION DIMENSIONS ARE FOR ANCHORAGE ONLY. FOUNDATION DESIGN (SIZE AND REINFORCEMENT) BY OTHERS. THE REGISTERED DESIGN PROFESSIONAL MAY SPECIFY ALTERNATE EMBEDMENT, FOOTING SIZE OR ANCHOR BOLT.
 6. REFER TO 1/SSW1 FOR de.

SSWAB TENSION ANCHORAGE SCHEDULE 2500 PSI 2

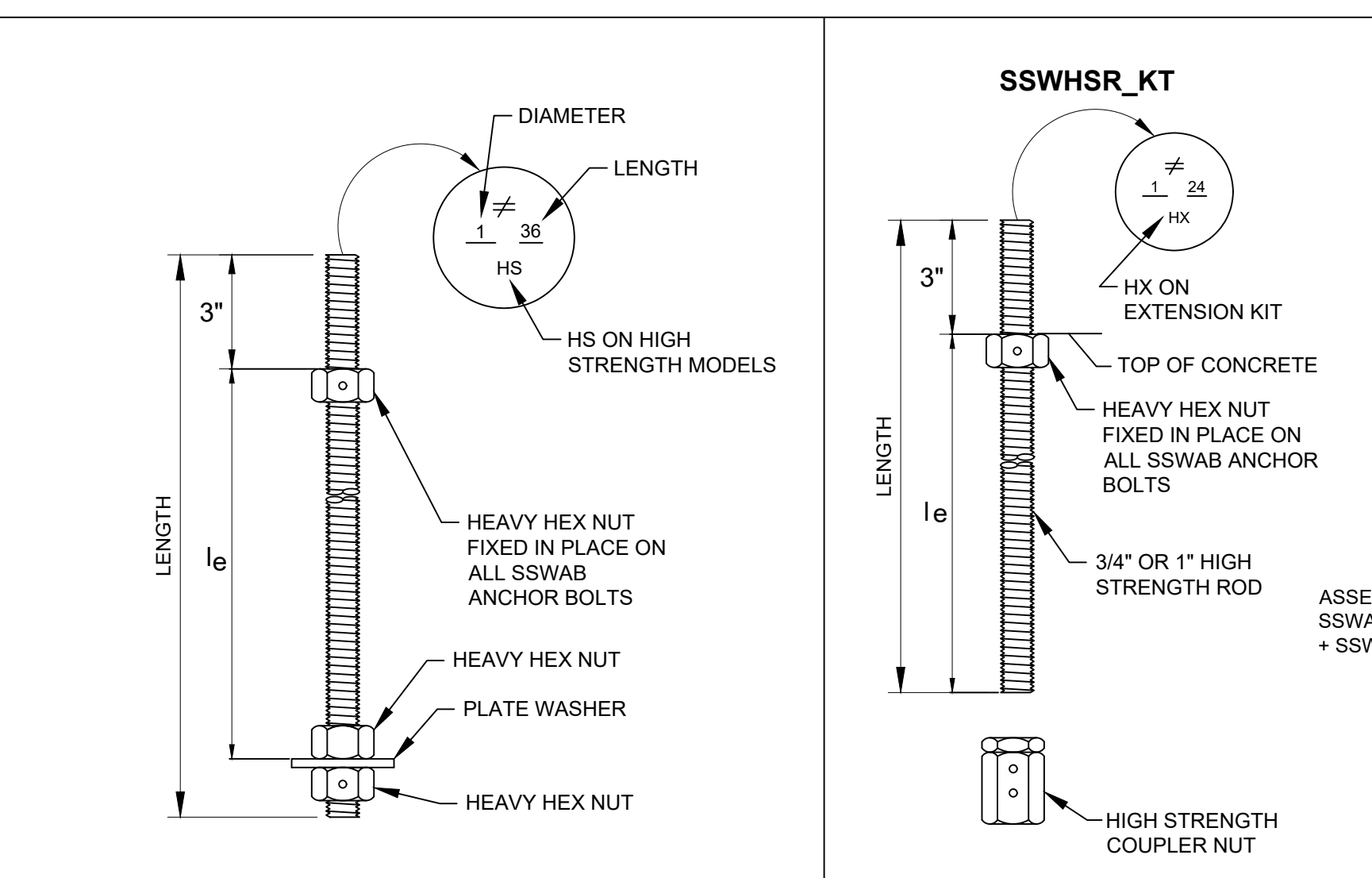
DESIGN CRITERIA	CONCRETE CONDITION	ANCHOR STRENGTH	SSWAB 3/4" ANCHOR BOLT			SSWAB 1" ANCHOR BOLT		
			ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)	ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)
SEISMIC	CRACKED	STANDARD	9,000	20	7	15,700	29	10
		HIGH STRENGTH	9,600	21	7	17,100	31	11
		HIGH STRENGTH	18,200	32	11	33,000	46	16
	UNCRAKED	STANDARD	8,800	17	7	15,700	25	9
		HIGH STRENGTH	9,600	19	7	17,100	27	9
		HIGH STRENGTH	18,200	28	10	32,300	40	14
WIND	CRACKED	STANDARD	6,000	14	6	7,300	16	6
		HIGH STRENGTH	7,300	16	6	13,500	24	8
		HIGH STRENGTH	9,600	20	7	17,100	29	10
	UNCRAKED	STANDARD	11,800	22	8	22,700	34	12
		HIGH STRENGTH	13,500	24	8	27,400	38	13
		HIGH STRENGTH	17,000	28	10	32,300	42	14

NOTES:
 1. ANCHORAGE DESIGNS CONFORM TO ACI 318-11 APPENDIX D WITH NO SUPPLEMENTARY REINFORCEMENT FOR CRACKED OR UNCRACKED CONCRETE AS NOTED.
 2. ANCHOR STRENGTH INDICATES REQUIRED GRADE OF SSWAB ANCHOR BOLT. STANDARD (ASTM F1554 GRADE 36) OR HIGH STRENGTH (HS) (ASTM A449).
 3. SEISMIC INDICATES SEISMIC DESIGN CATEGORY C THROUGH F. DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C MAY USE WIND ANCHORAGE SOLUTIONS. SEISMIC ANCHORAGE DESIGNS CONFORM TO ACI 318-11 SECTION D.3.3.4.
 4. WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B AND DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C.
 5. FOUNDATION DIMENSIONS ARE FOR ANCHORAGE ONLY. FOUNDATION DESIGN (SIZE AND REINFORCEMENT) BY OTHERS. THE REGISTERED DESIGN PROFESSIONAL MAY SPECIFY ALTERNATE EMBEDMENT, FOOTING SIZE OR ANCHOR BOLT.
 6. SEE 1/SSW1 AND 2/SSW1 FOR W AND de.

SSWAB TENSION ANCHORAGE SCHEDULE 3500/4500 PSI 3



STEEL STRONG-WALL ANCHOR BOLT SHEAR ANCHORAGE 4



STEEL STRONG-WALL WIDTH	MODEL NO.	DIAMETER	LENGTH	le
12" MODEL	SSWAB3/4x24	3/4"	24"	19"
	SSWAB3/4x24HS	3/4"	24"	19"
	SSWAB3/4x30	3/4"	30"	25"
	SSWAB3/4x30HS	3/4"	30"	25"
	SSWAB3/4x36HS	3/4"	36"	31"
15", 18", 21 AND 24" MODELS	SSWAB1x24	1"	24"	19"
	SSWAB1x24HS	1"	24"	19"
	SSWAB1x30	1"	30"	25"
	SSWAB1x30HS	1"	30"	25"

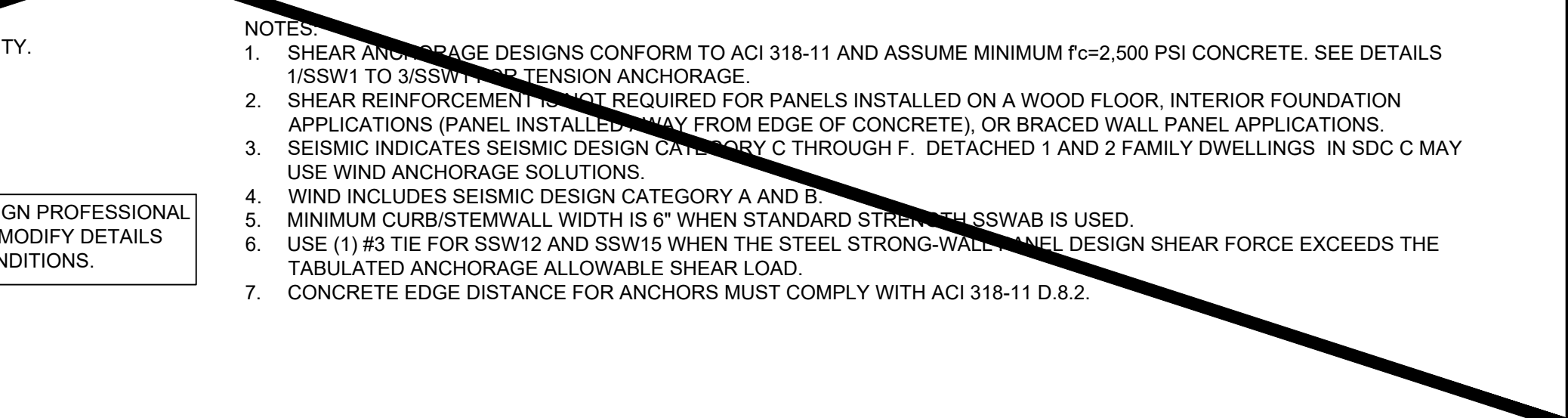
SSW ANCHOR BOLTS 5

DESIGN CRITERIA	CONCRETE CONDITION	ANCHOR STRENGTH	SSWAB 3/4" ANCHOR BOLT			SSWAB 1" ANCHOR BOLT		
			ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)	ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)
SEISMIC	CRACKED	STANDARD	8,700	18	6	16,000	27	9
		HIGH STRENGTH	9,600	20	6	17,100	29	10
		HIGH STRENGTH	17,800	26	10	32,100	42	14
	UNCRAKED	STANDARD	9,600	17	6	17,100	25	9
		HIGH STRENGTH	17,800	25	9	32,500	37	13
		HIGH STRENGTH	19,900	32	11	35,300	45	15
WIND	CRACKED	STANDARD	5,400	12	6	6,800	14	6
		HIGH STRENGTH	8,300	16	6	11,600	20	7
		HIGH STRENGTH	9,600	18	6	17,100	26	9
	UNCRAKED	STANDARD	11,800	20	7	21,400	30	10
		HIGH STRENGTH	13,400	22	8	25,800	34	12
		HIGH STRENGTH	17,300	26	9	31,000	38	13

NOTES:
 1. SHEAR ANCHORAGE DESIGNS CONFORM TO ACI 318-11 AND ASSUME MINIMUM $f_c=2,500$ PSI CONCRETE. SEE DETAILS 1/SSW1 TO 3/SSW1 FOR TENSION ANCHORAGE.
 2. SHEAR REINFORCEMENT IS NOT REQUIRED FOR PANELS INSTALLED ON A WOOD FLOOR, INTERIOR FOUNDATION APPLICATIONS (PANEL INSTALLED AWAY FROM EDGE OF CONCRETE), OR BRACED WALL PANEL APPLICATIONS.
 3. SEISMIC INDICATES SEISMIC DESIGN CATEGORY C THROUGH F. DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C MAY USE WIND ANCHORAGE SOLUTIONS.
 4. WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B.
 5. MINIMUM CURB/STEMWALL WIDTH IS 6" WHEN STANDARD STRENGTH SSWAB IS USED.
 6. USE (1) #3 TIE FOR SSW12 AND SSW15 WHEN THE STEEL STRONG-WALL PANEL DESIGN SHEAR FORCE EXCEEDS THE TABULATED ANCHORAGE ALLOWABLE SHEAR LOAD.
 7. CONCRETE EDGE DISTANCE FOR ANCHORS MUST COMPLY WITH ACI 318-11 D.8.2.

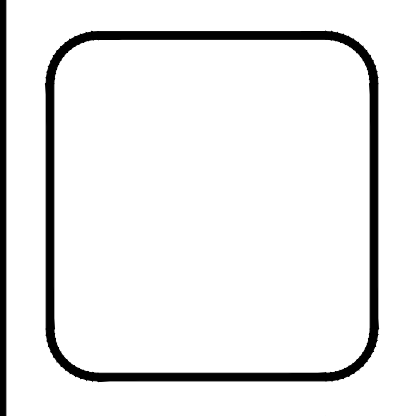
STEEL STRONG-WALL SHEAR ANCHORAGE 6

MODEL	L ₁ OR L ₂ (in.)	SEISMIC ²	SHEAR REINFORCEMENT	MIN. CURB / STEMWALL WIDTH (in.)	SHEAR REINFORCEMENT	MIN. CURB / STEMWALL WIDTH (in.)	ASD ALLOWABLE SHEAR LOAD V (lbs.) ³			
							6" MIN CURB / STEMWALL		8" MIN CURB / STEMWALL	
							UNCRAKED	CRACKED	UNCRAKED	CRACKED
SSW12	9	(1) #3 TIE	6	NONE REQUIRED	-	1230	880	1440	1030	
SSW15	12	(2) #3 TIES	6	NONE REQUIRED	-	1590	1135	1810	1295	
SSW18	14	(1) #3 HAIRPIN	8 ⁵	(1) #3 HAIRPIN	6	HAIRPIN REINFORCEMENT ACHIEVES MAXIMUM ALLOWABLE SHEAR LOAD OF THE STEEL STRONG-WALL PANEL.				
SSW21	17	(2) #3 HAIRPIN	8 ⁵	(1) #3 HAIRPIN	6	HAIRPIN REINFORCEMENT ACHIEVES MAXIMUM ALLOWABLE SHEAR LOAD OF THE STEEL STRONG-WALL PANEL.				



SSW ANCHOR BOLT TEMPLATES 7

NO.	DATE	REVISIONS
1	9/21/2009	2006 IBC REVISIONS
2	4/16/2014	2012 IBC REVISIONS



SIMPSON STRONG-TIE COMPANY, INC.
 HOME OFFICE: 5956 W. LAS POSITAS BLVD. PLEASANTON, CA 94588
 TEL: (800) 999-5099

STEEL STRONG-WALL ANCHORAGE DETAILS ENGINEERED DESIGNS

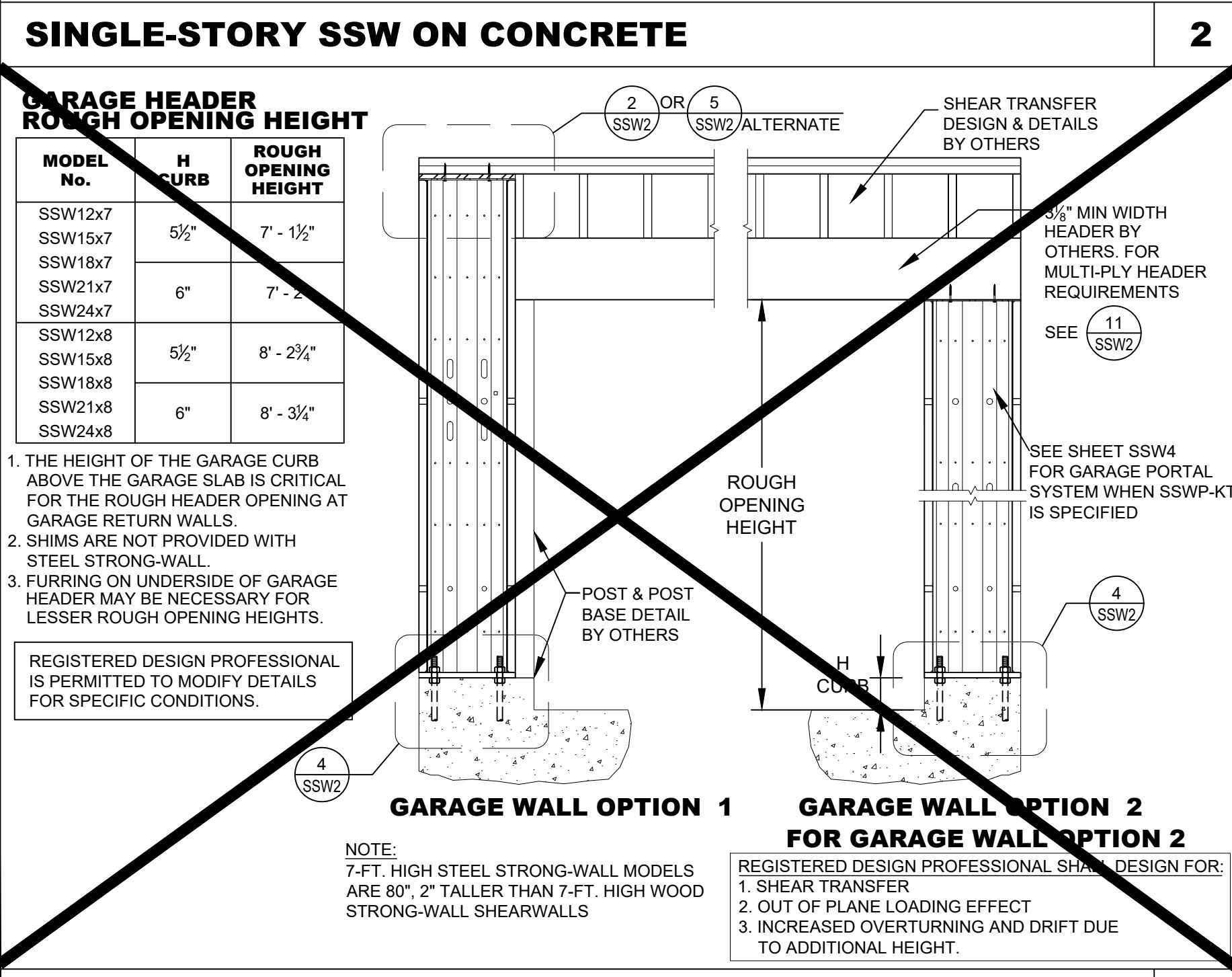
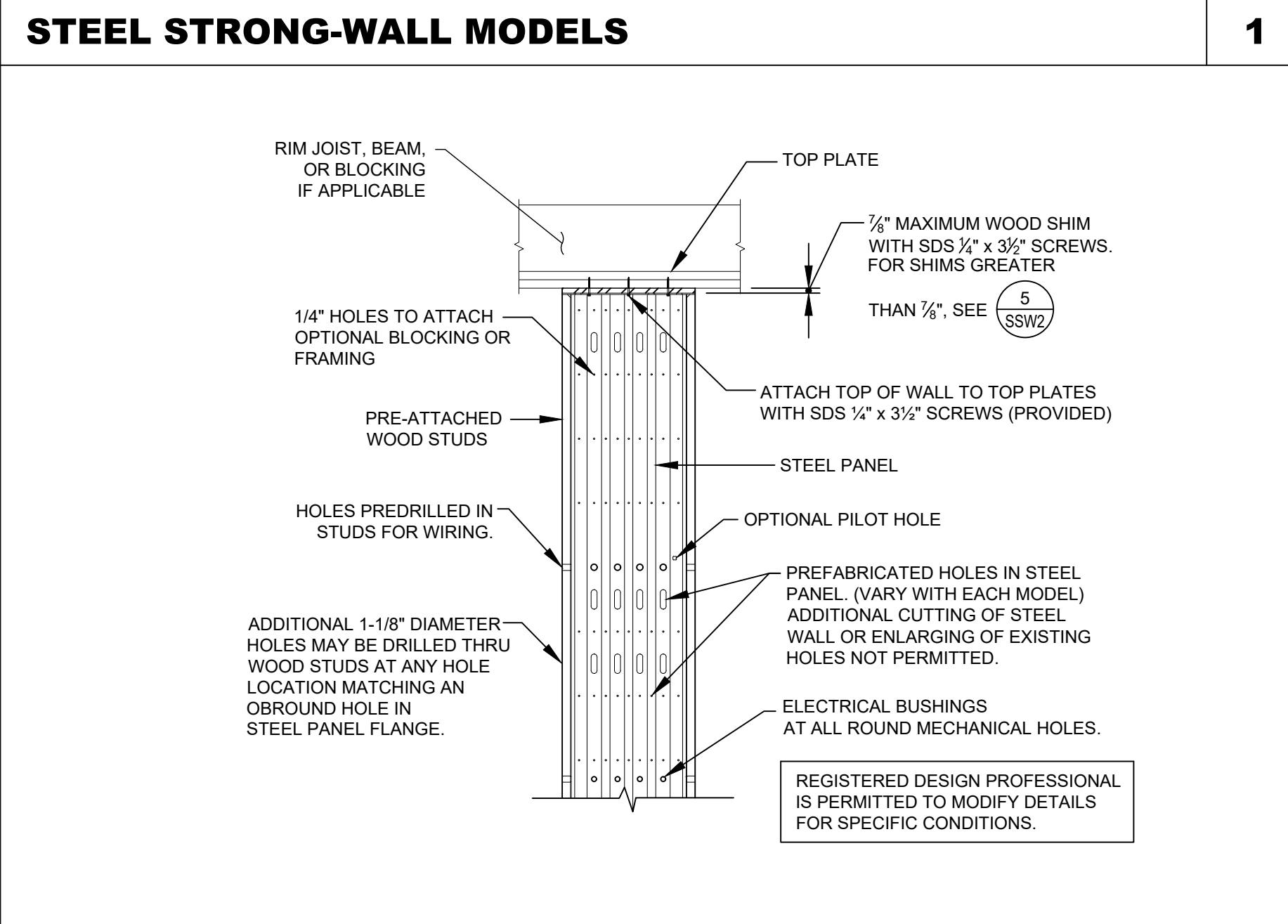
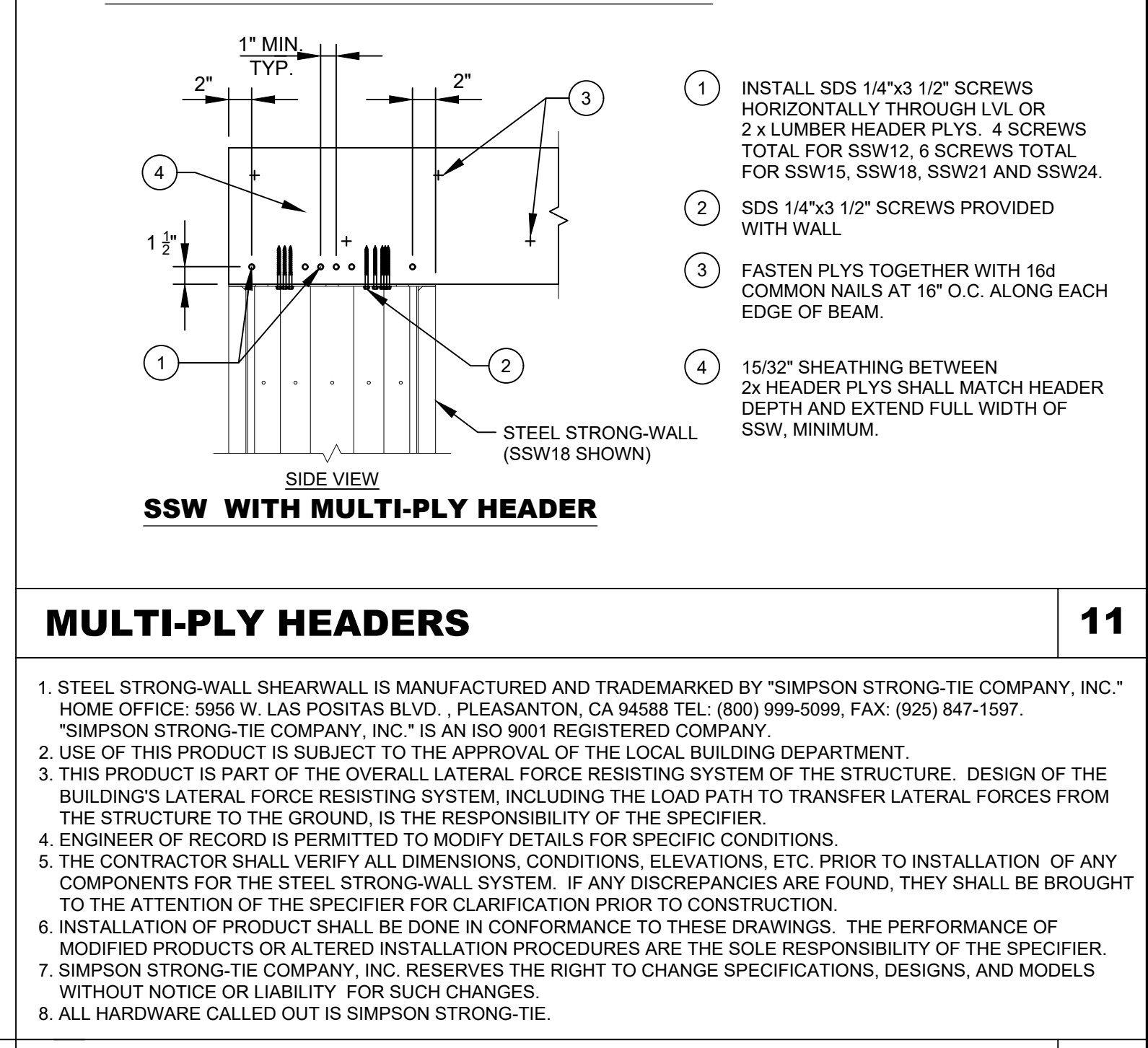
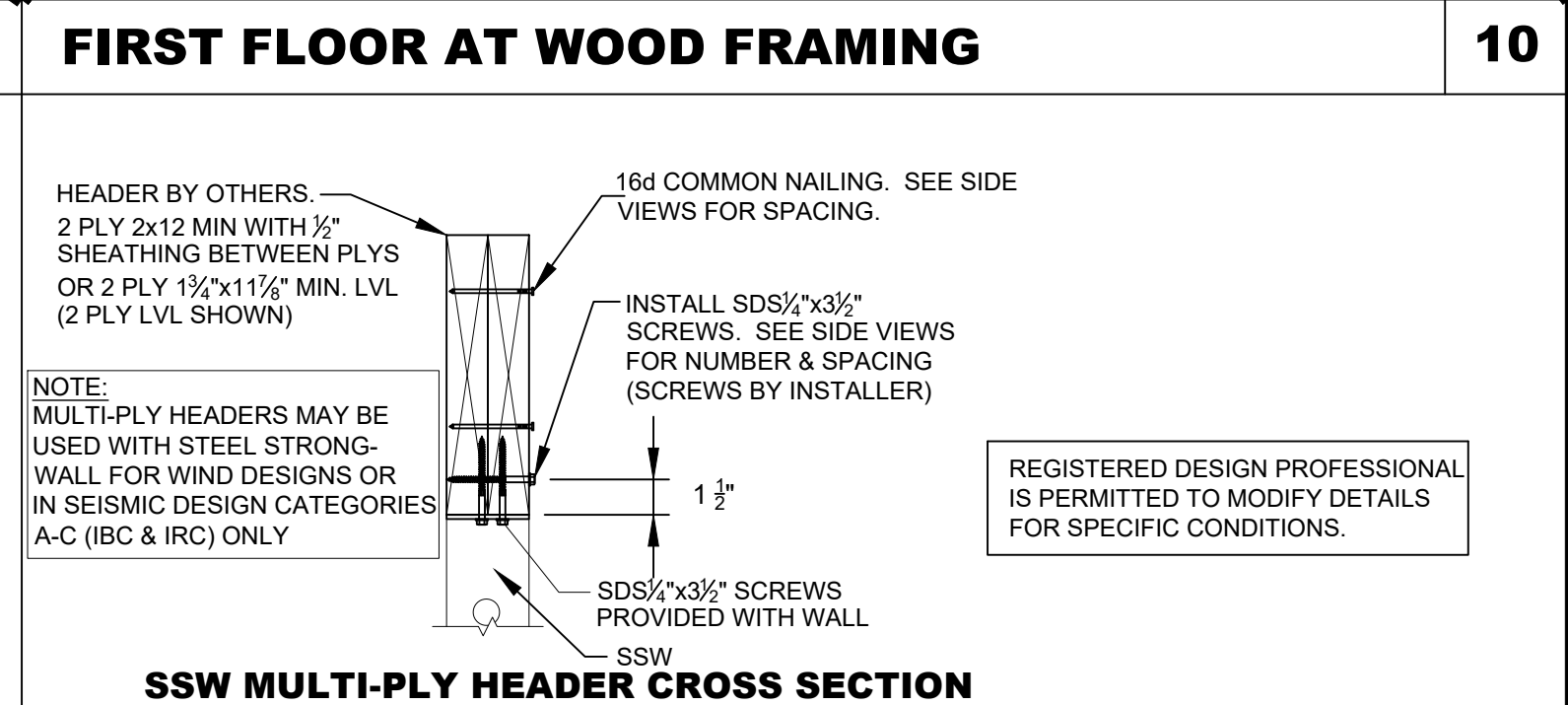
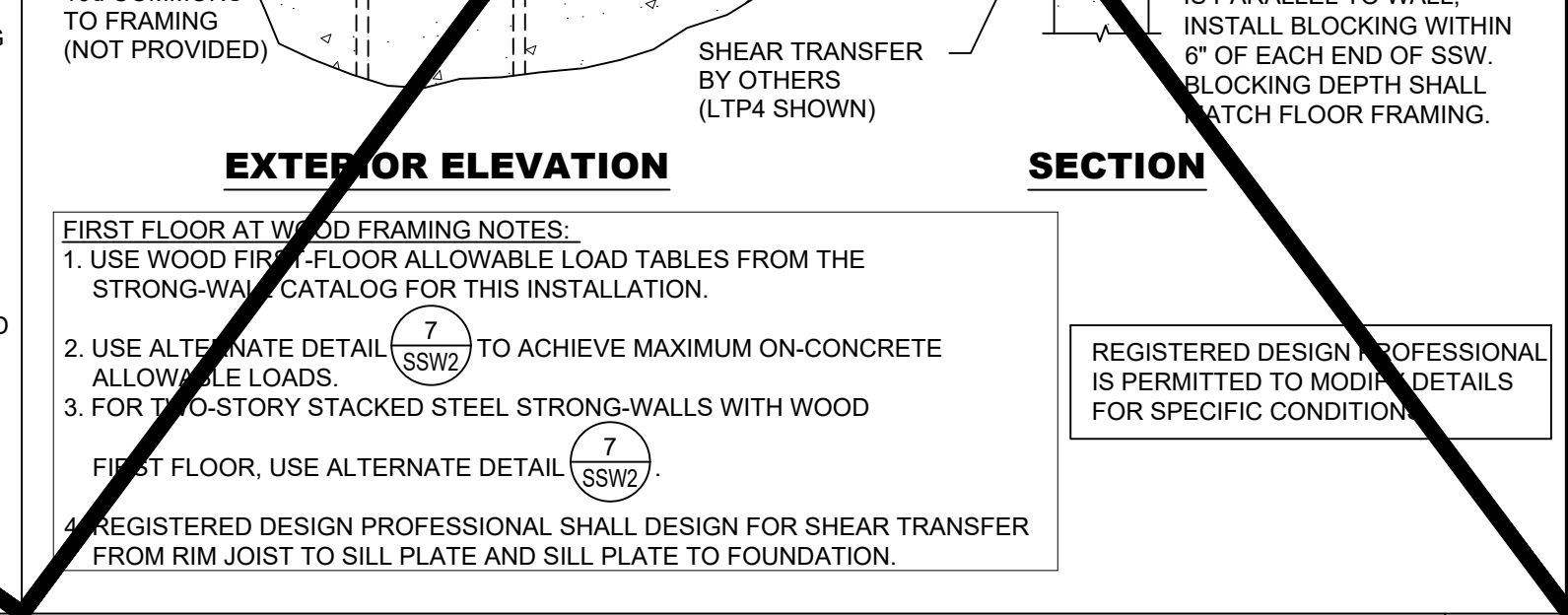
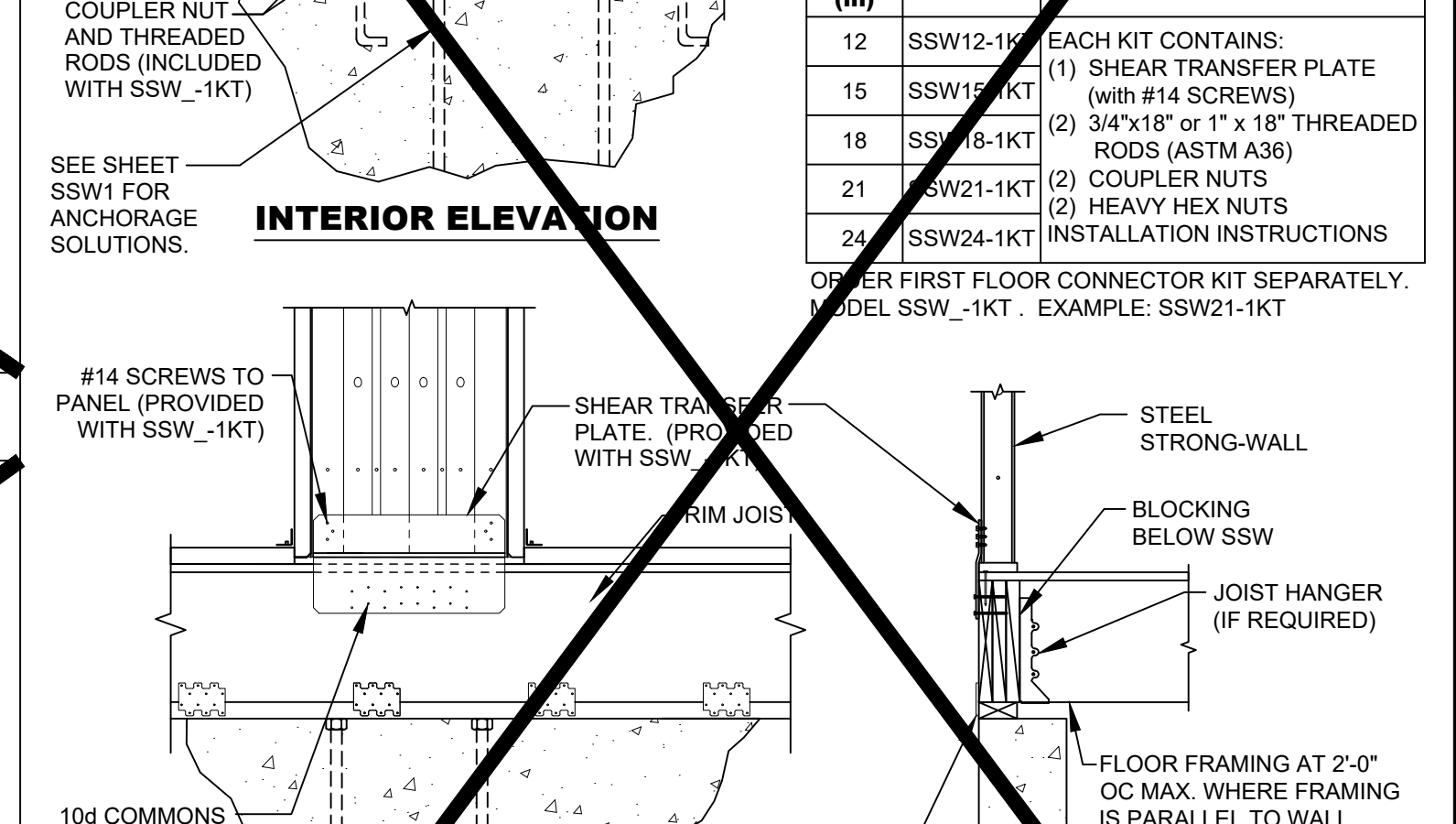
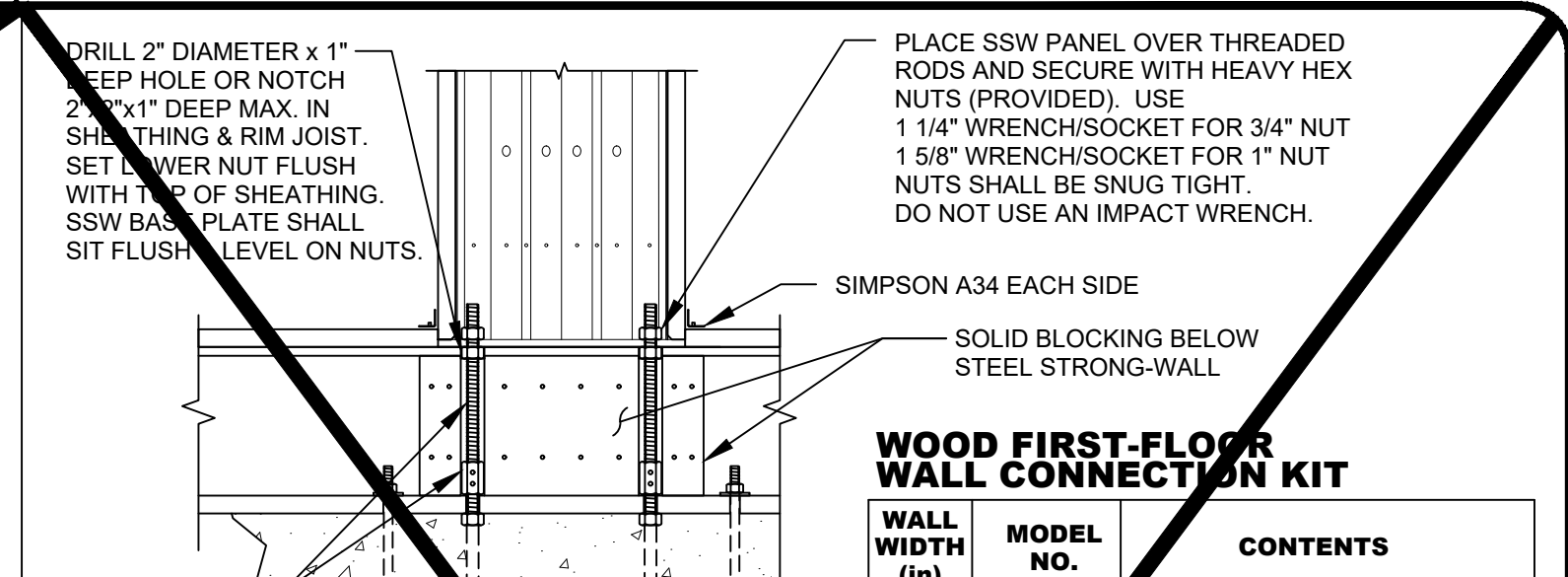
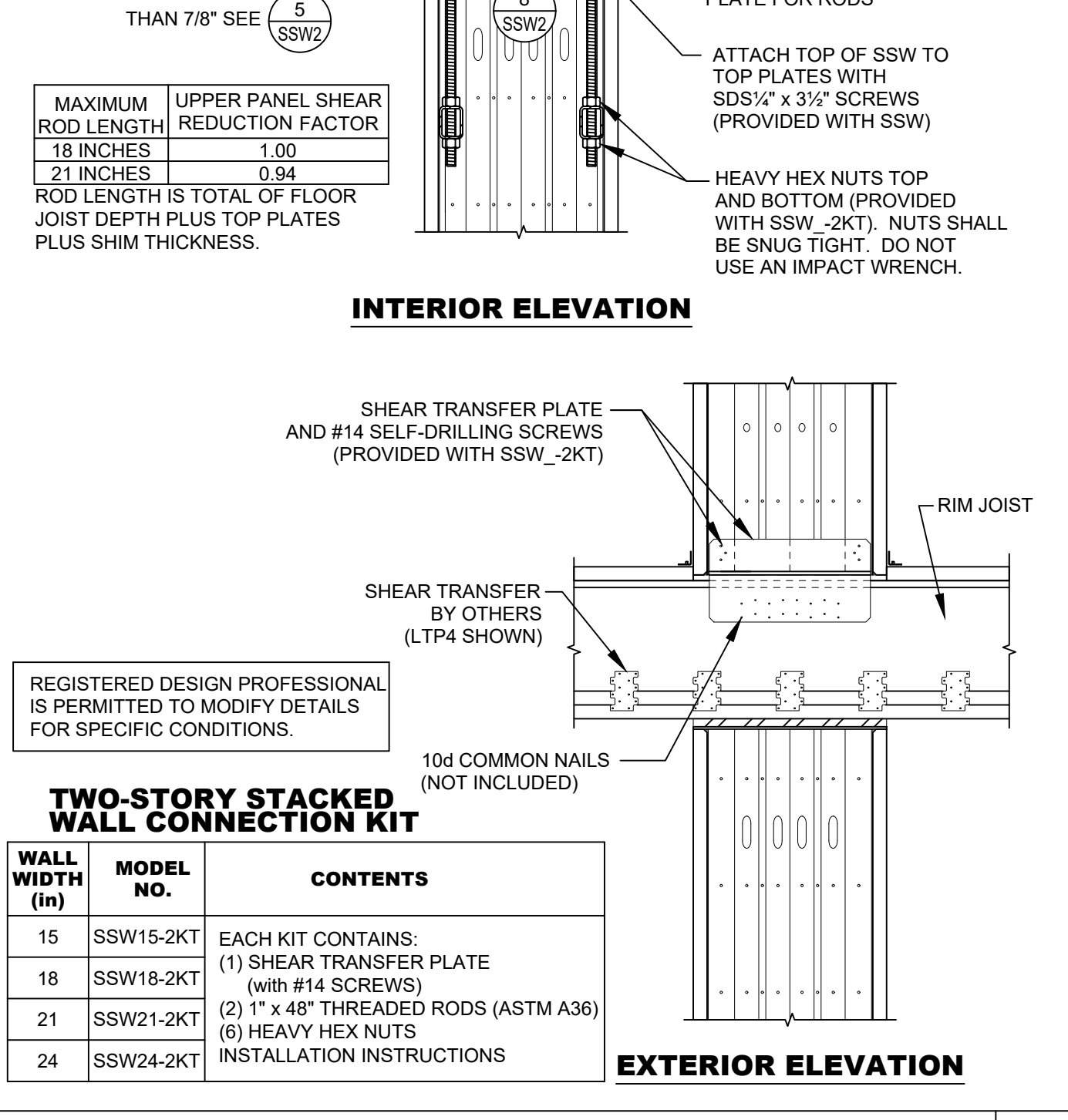
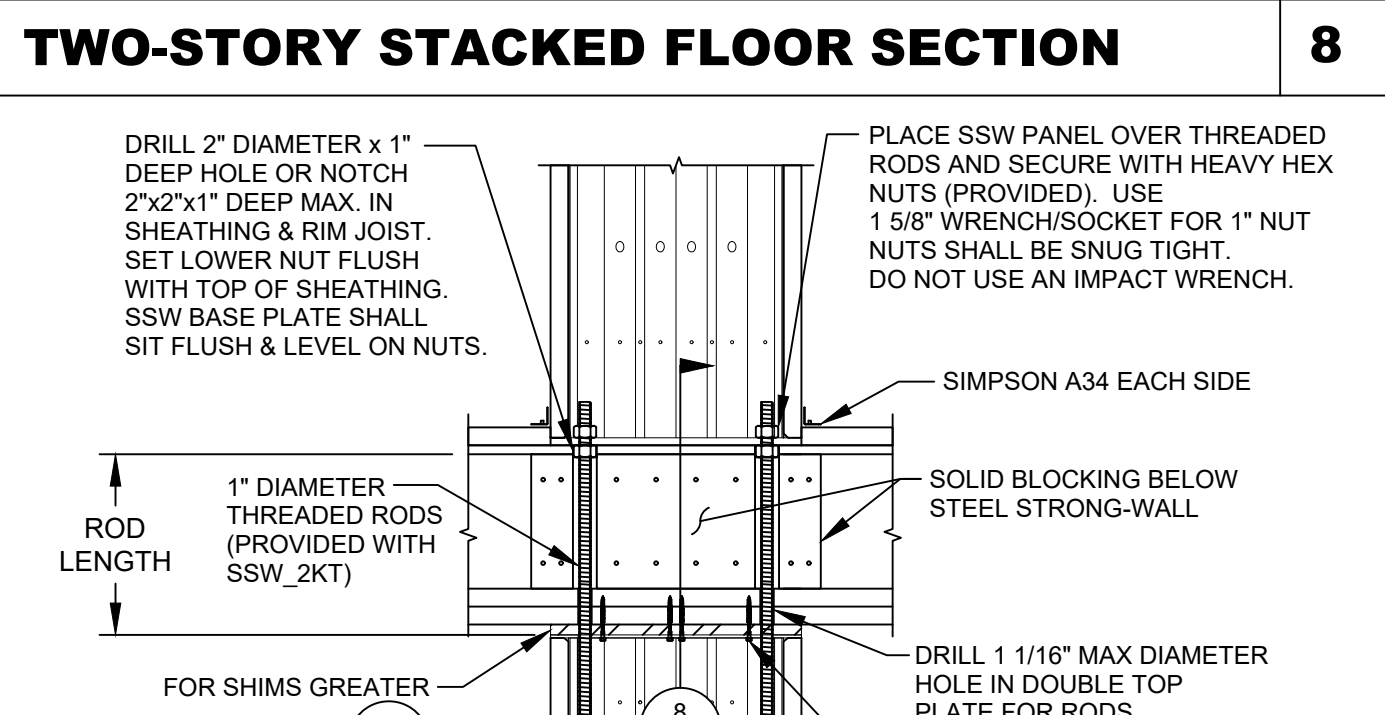
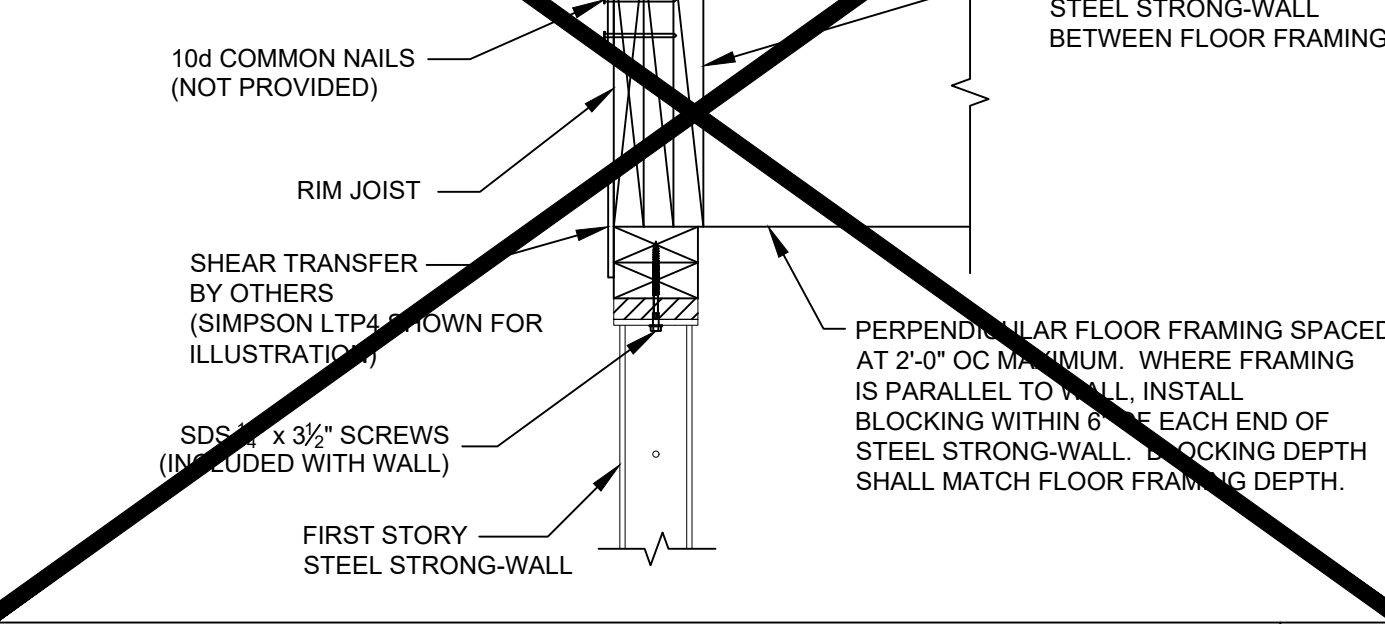
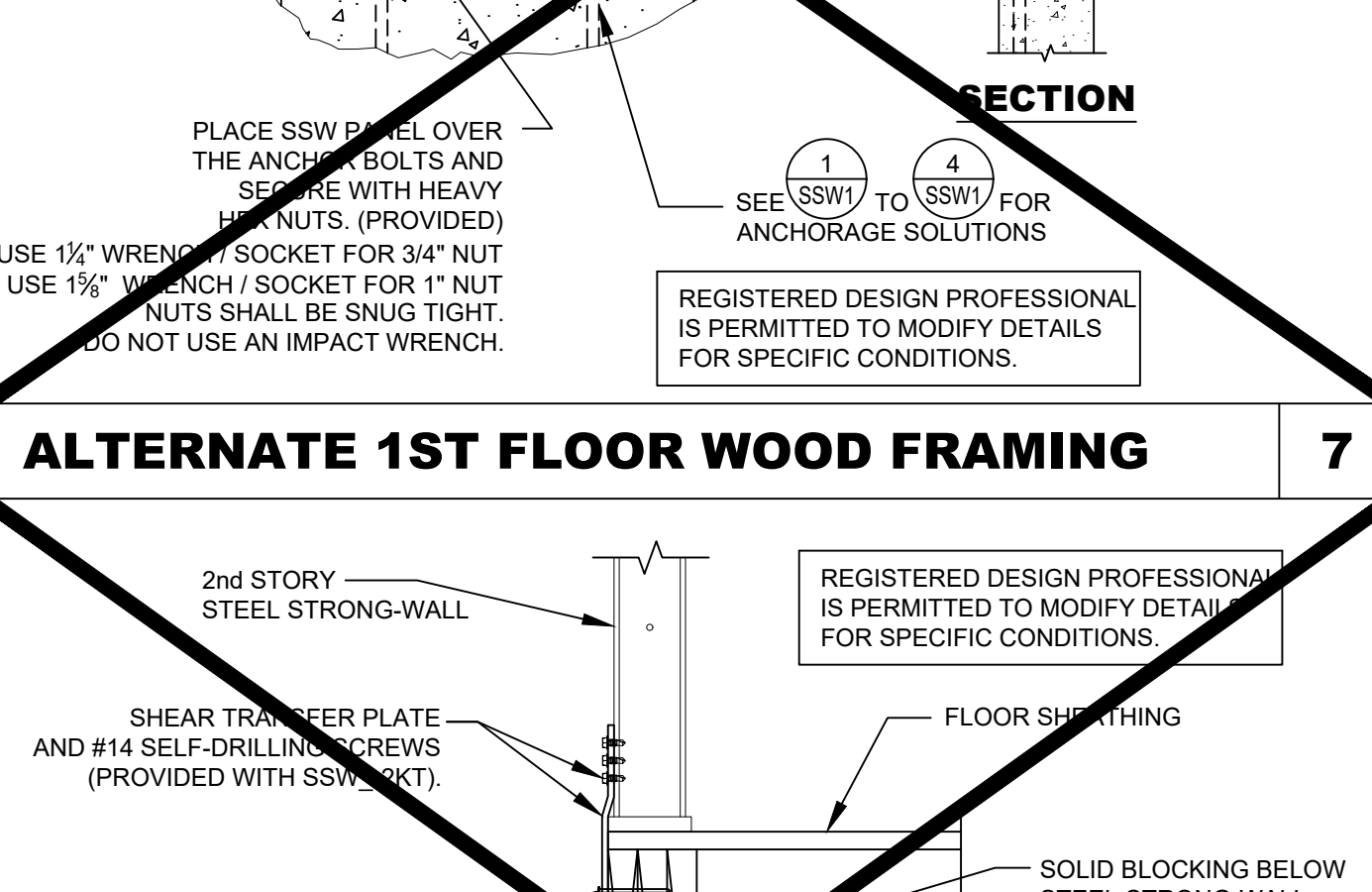
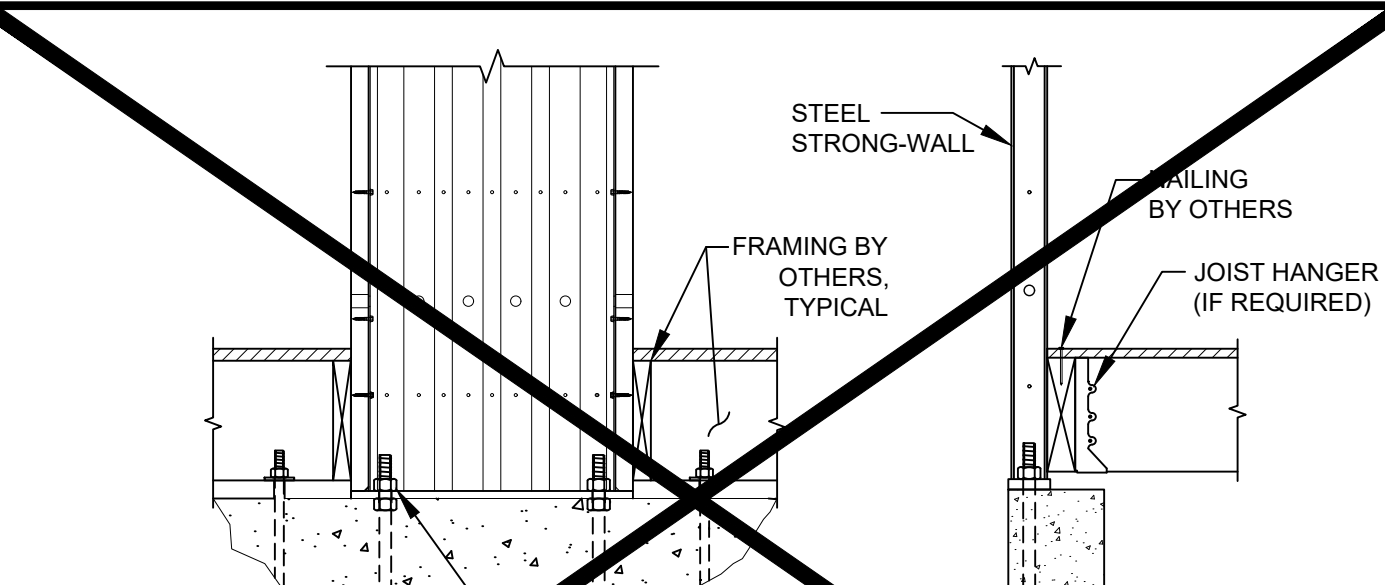
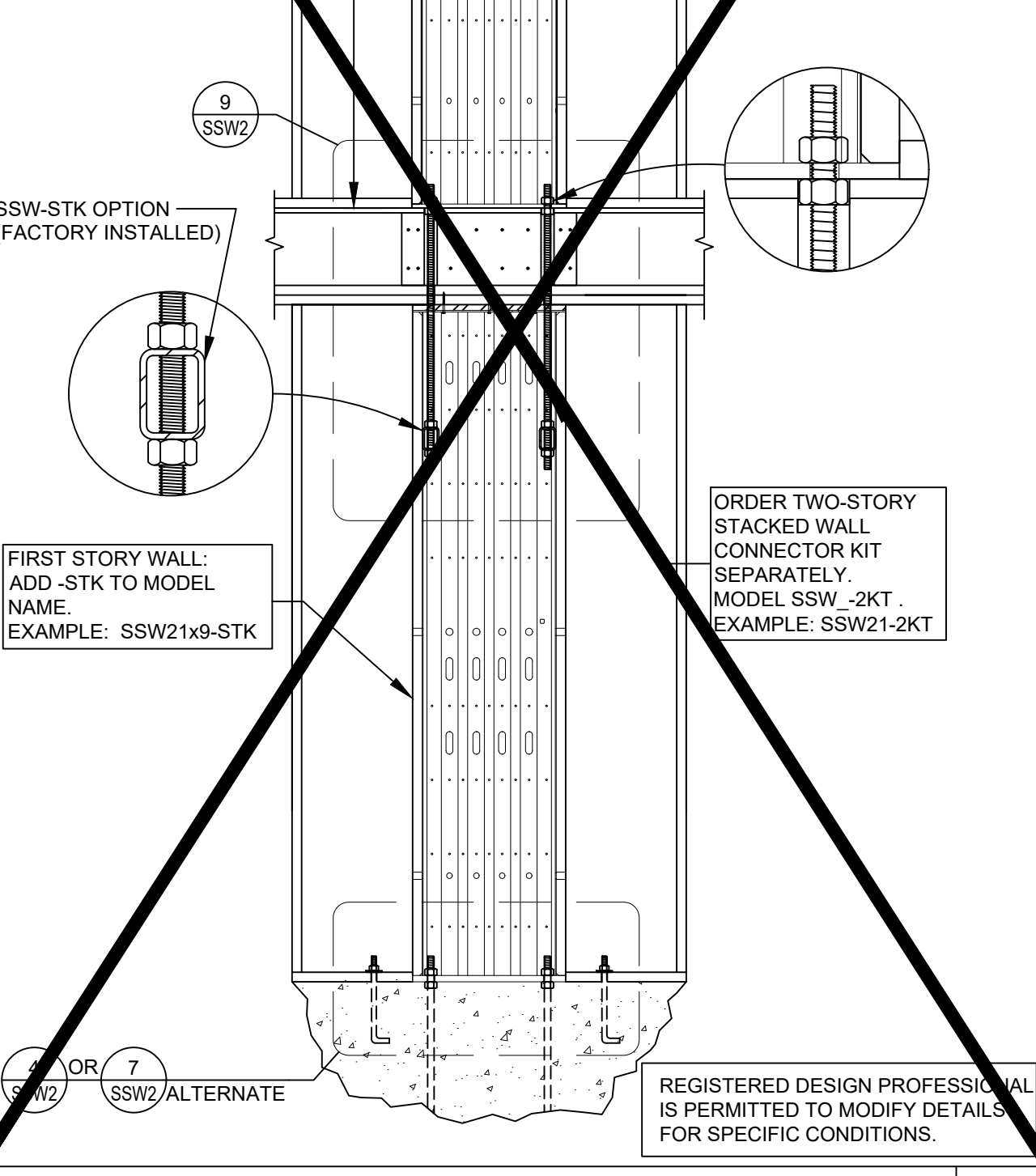
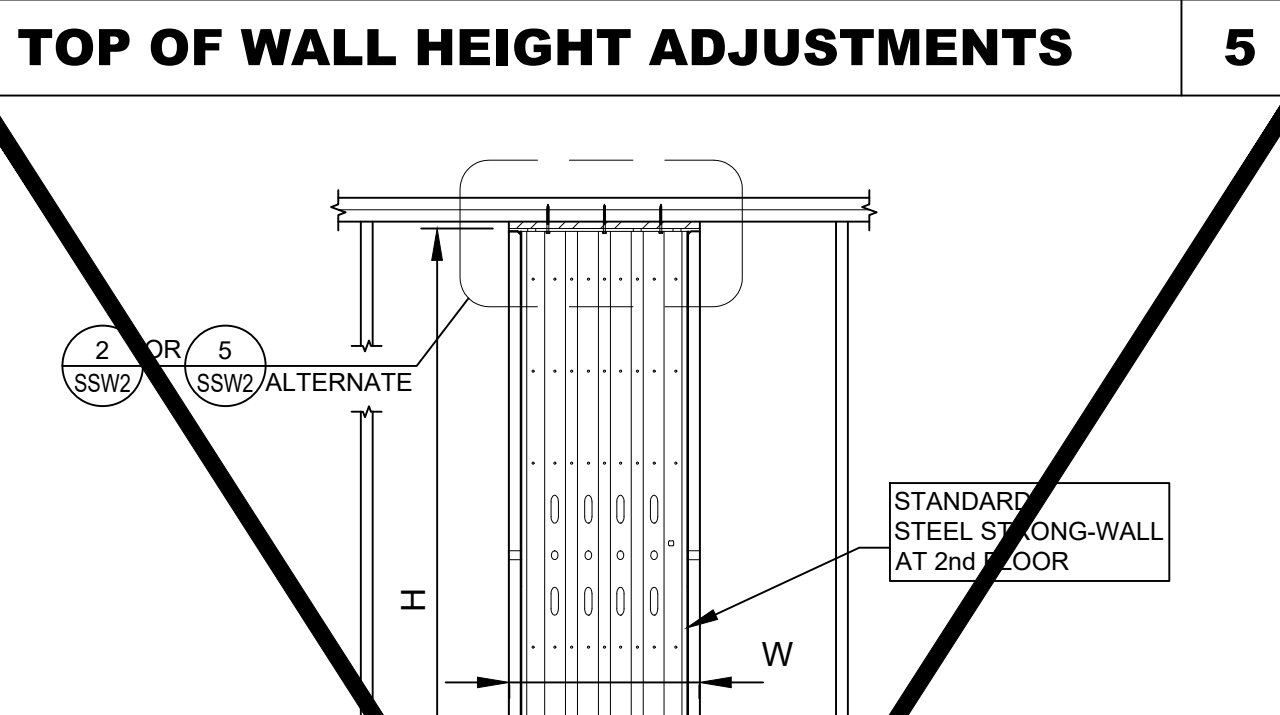
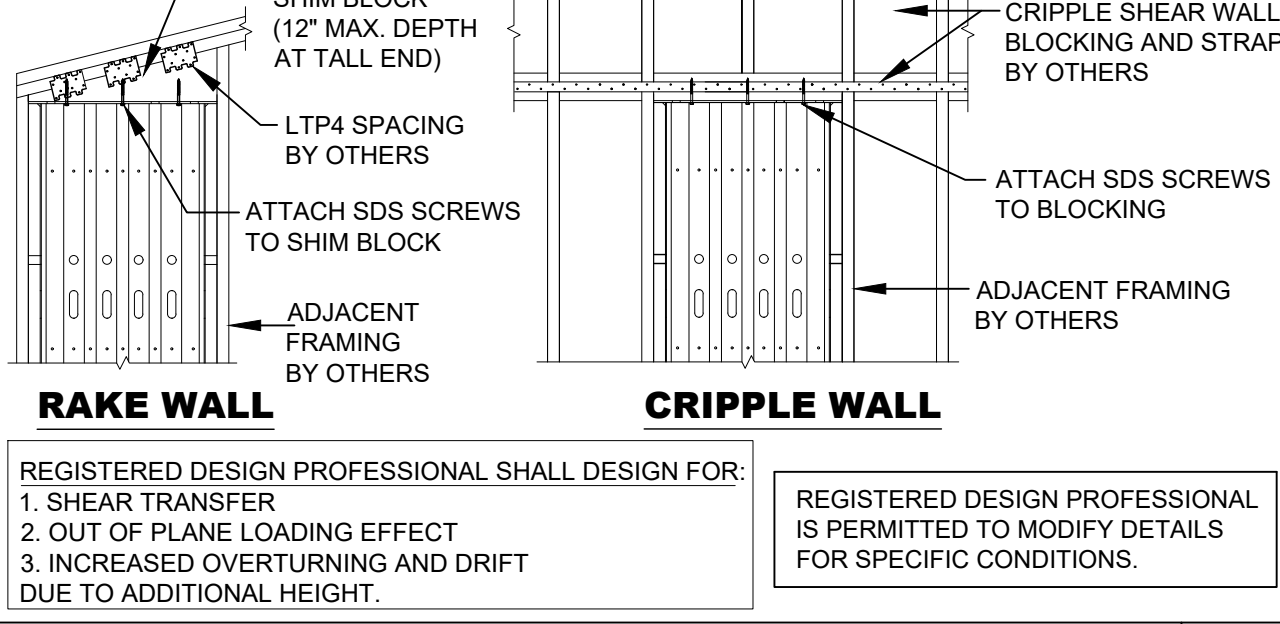
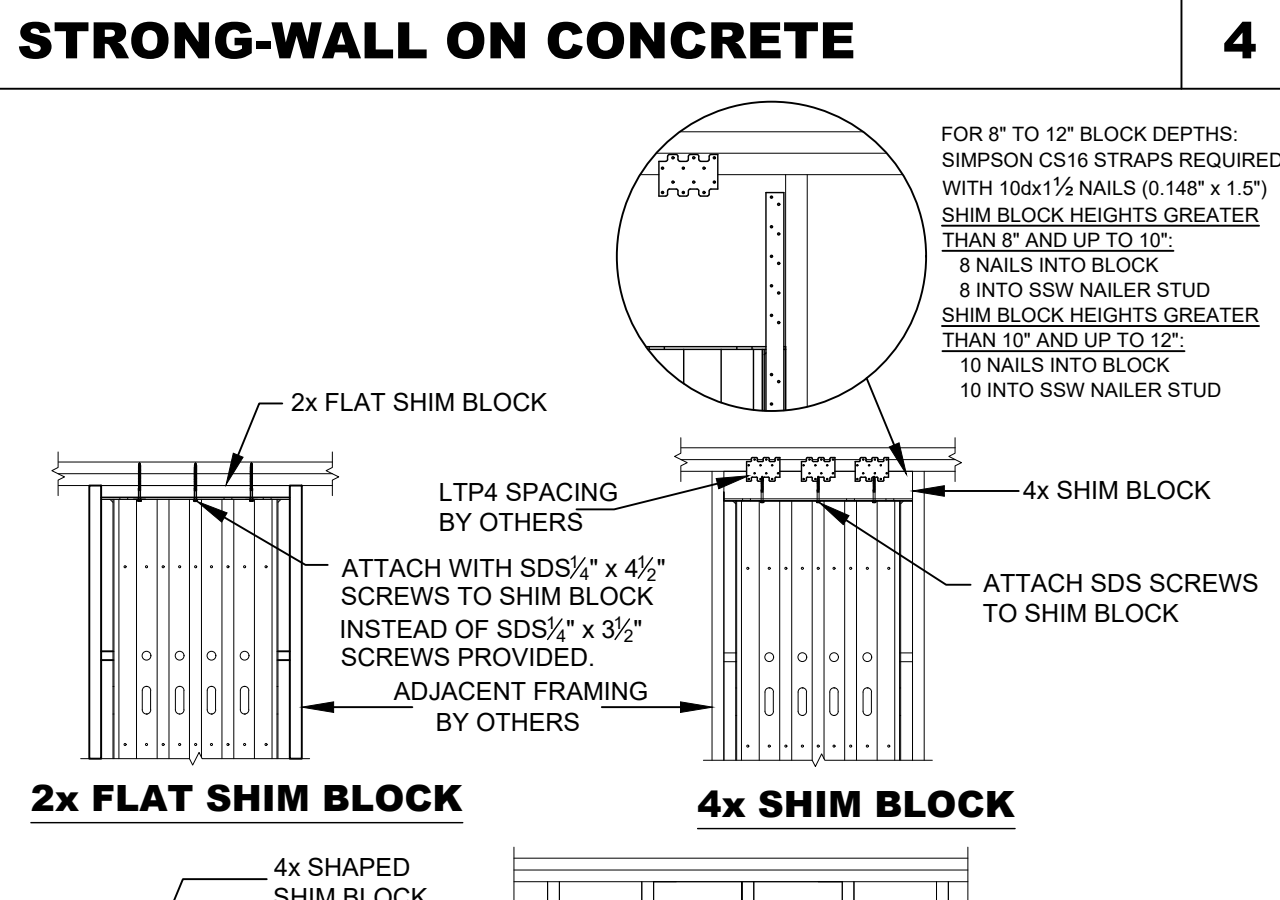
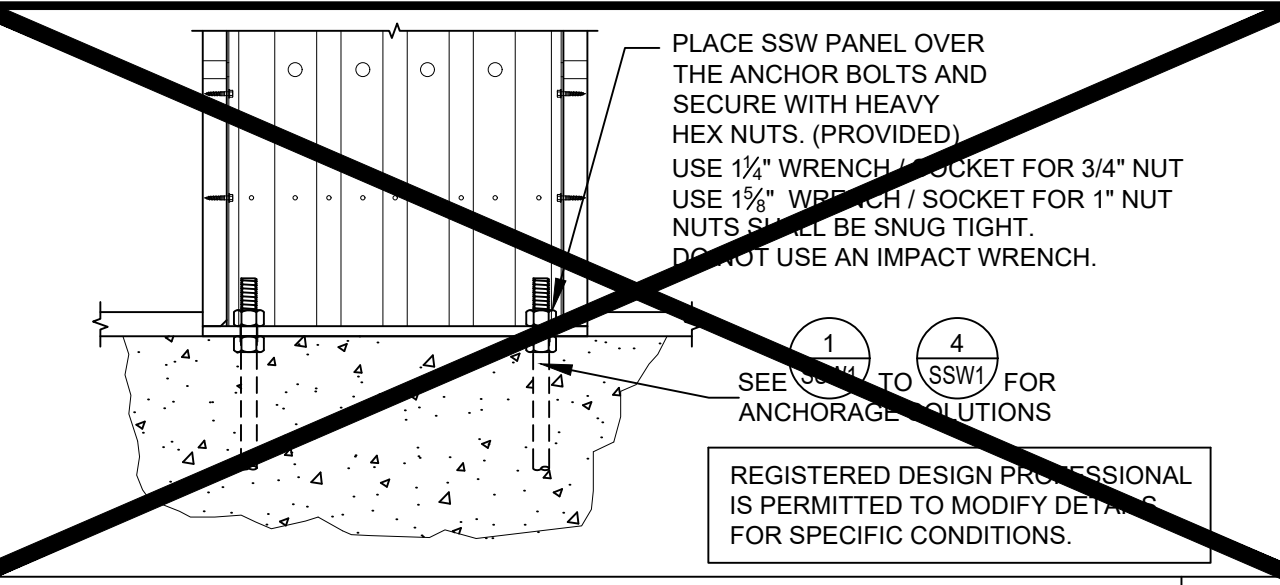
NAME
 DATE 4-16-2014
 SCALE N.T.S.
 CHECKED
 SHEET **SSW1**
 OF SHEETS
 JOB NO.

STEEL STRONG-WALL MODELS

STD. WALL MODEL NO.	-STK WALL MODEL NO.	H (in)	T (in)	HOLD-DOWN ANCHOR BOLTS*	QTY. OF TOP OF WALL SCREWS*
SSW12x7	--	80	3 1/2	(2) 3/4"	4
SSW15x7	--	80	3 1/2	(2) 1"	6
SSW18x7	--	80	3 1/2	(2) 1"	9
SSW21x7	--	80	3 1/2	(2) 1"	12
SSW24x7	--	80	3 1/2	(2) 1"	14
SSW12x7.4	--	85 1/2	3 1/2	(2) 3/4"	4
SSW15x7.4	--	85 1/2	3 1/2	(2) 1"	6
SSW18x7.4	--	85 1/2	3 1/2	(2) 1"	9
SSW21x7.4	--	85 1/2	3 1/2	(2) 1"	12
SSW24x7.4	--	85 1/2	3 1/2	(2) 1"	14
SSW12x8	--	93 1/4	3 1/2	(2) 3/4"	4
SSW15x8	--	93 1/4	3 1/2	(2) 1"	6
SSW18x8	--	93 1/4	3 1/2	(2) 1"	9
SSW21x8	--	93 1/4	3 1/2	(2) 1"	12
SSW24x8	--	93 1/4	3 1/2	(2) 1"	14
SSW12x9	--	105 1/4	3 1/2	(2) 3/4"	4
SSW15x9	--	105 1/4	3 1/2	(2) 1"	6
SSW18x9	--	105 1/4	3 1/2	(2) 1"	9
SSW21x9	--	105 1/4	3 1/2	(2) 1"	12
SSW24x9	--	105 1/4	3 1/2	(2) 1"	14
SSW12x10	--	117 1/4	3 1/2	(2) 3/4"	4
SSW15x10	--	117 1/4	3 1/2	(2) 1"	6
SSW18x10	--	117 1/4	3 1/2	(2) 1"	9
SSW21x10	--	117 1/4	3 1/2	(2) 1"	12
SSW24x10	--	117 1/4	3 1/2	(2) 1"	14
SSW15x11	--	129 1/4	5 1/2	(2) 1"	6
SSW18x11	--	129 1/4	5 1/2	(2) 1"	9
SSW21x11	--	129 1/4	5 1/2	(2) 1"	12
SSW24x11	--	129 1/4	5 1/2	(2) 1"	14
SSW15x12	--	141 1/4	5 1/2	(2) 1"	6
SSW18x12	--	141 1/4	5 1/2	(2) 1"	9
SSW21x12	--	141 1/4	5 1/2	(2) 1"	12
SSW24x12	--	141 1/4	5 1/2	(2) 1"	14
SSW18x13	--	153 1/4	5 1/2	(2) 1"	9
SSW21x13	--	153 1/4	5 1/2	(2) 1"	12
SSW24x13	--	153 1/4	5 1/2	(2) 1"	14

WALL PROFILES: SSW24, SSW21, SSW18, SSW15, SSW12

TABLE NOTES:
1. SDS^{1/4} x 3/8" SCREWS PROVIDED WITH WALL.
2. SEE SHEET SSW1 FOR ANCHORAGE SOLUTIONS.



NO.	DATE	REVISIONS
1	9/21/2009	2006 IBC REVISIONS
2	4/16/2014	2012 IBC REVISIONS

NO.	DATE	REVISIONS
1	9/21/2009	2006 IBC REVISIONS
2	4/16/2014	2012 IBC REVISIONS

SIMPSON STRONG-TIE COMPANY, INC.

HOME OFFICE: 5956 W. LAS POSITAS BLVD., PLEASANTON, CA 94588
TEL: (800) 999-5099

SIMPSON Strong-Tie

THERE IS NO EQUAL

STEEL STRONG-WALL

FRAMING DETAILS
ENGINEERED DESIGNS

SIMPSON Strong-Tie

THERE IS NO EQUAL

NAME	DATE
	4-16-2014

SCALE: N.T.S.

CHECKED:

SHEET: **SSW2**

OF SHEETS

JOB NO.:

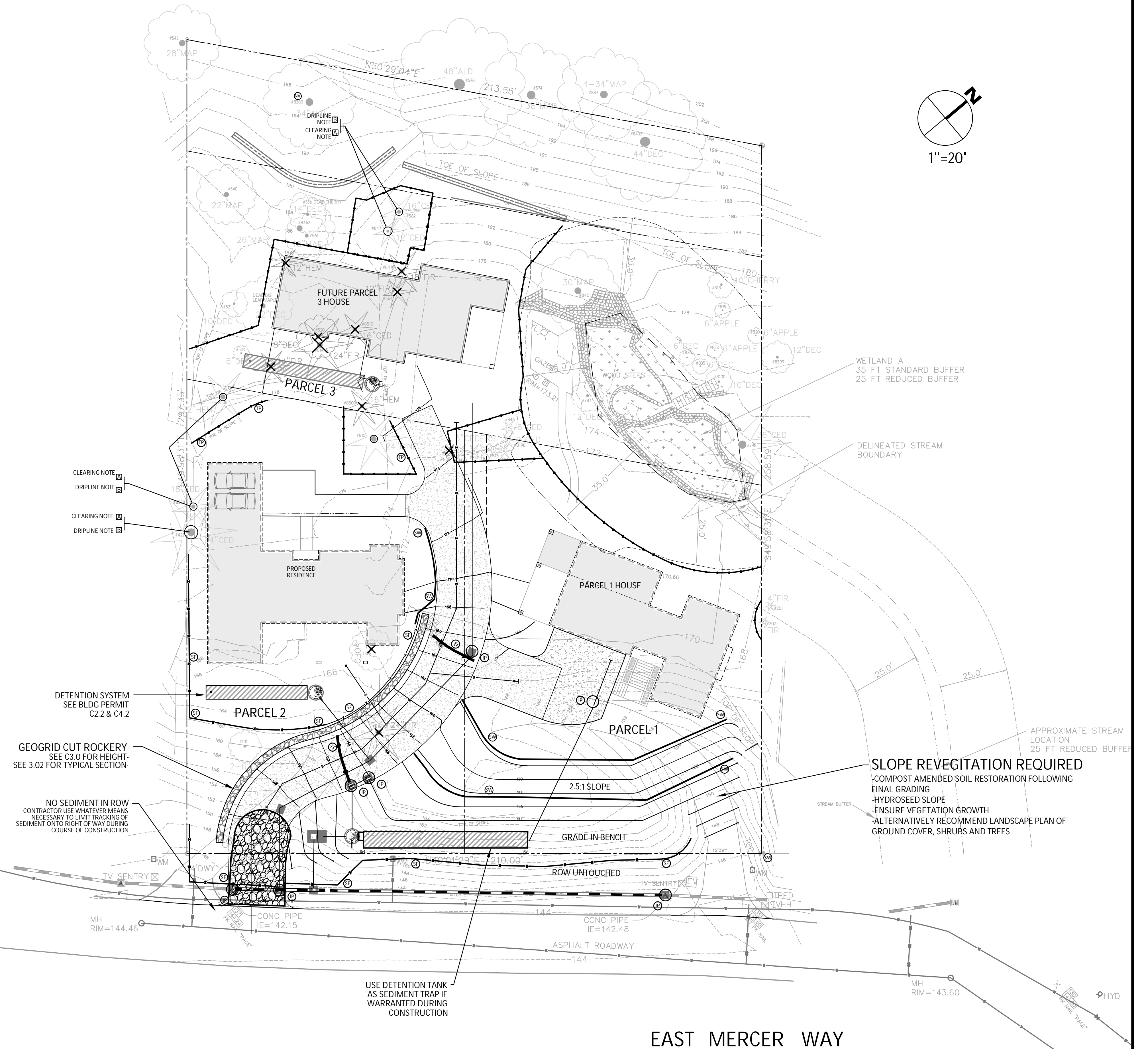
TREE TABLE BY AMERICAN FOREST MANAGEMENT

Tree Summary Table
For: 8383 E Mercer Way
American Forest Management, Inc.
Date: 8/29/14
Inspector: Wilkinson

Tree/Tag #	Species	DBH (inches)	Height (feet)	Drip-Line/Limits of Disturbance (feet)				Condition	Viability	Comments
				N	S	E	W			
8185	Douglas fir	26	85		17 / 12		15 / 12	good	viaible	driveway is 12' south of tree, good taper, was crown thinned in the past
101	deciduous ornamental	5, 7	20	15 / 8		10 / 8	12 / 8	good	viaible	forks at 2', was topped
8538	western red cedar	19	55	13 / 12			18 / 12	fair-poor	borderline	was topped in the past, lots of new leaders, pink ribbon - 507
422	western red cedar	9, 22	55	14 / 12			16 / 12	fair-poor	borderline	was topped in the past, lots of new leaders, pink ribbon - 422, co-dominant stem forks at 1'
508	western hemlock	22	75	22 / 15		23 / 15	13 / 15	fair	viaible	hemlock woolly adelgid
518	deciduous	5						good	viaible	
8467	sitka spruce	17	75	6 / 10	16 / 10	20 / 10	4 / 10	fair	viaible	foliage dieback, co dominant stems fork at 40', minor bleeding on trunk
521	Washington hawthorne	9	52	12 / 6				fair	viaible	suppressed
519	Douglas fir	22	125		14 / 12	11 / 12	6 / 12	good	viaible	no concerns
520	European mountain ash	7	25	15 / 6	10 / 6	13 / 6		good	viaible	co-dominant forks at 10'
8509	western hemlock	20	90	15 / 12	12 / 12	14 / 12	8 / 12	fair	viaible	was crown thinned, poor form, spike knot
510	western white pine	22	95	12 / 12	18 / 12	15 / 10	12 / 12	fair	viaible	was pruned
8510	western red cedar	17	75	11 / 10	12 / 10	5 / 10	11 / 10	fair	viaible	ribbon - 841, 15 deg lean NW, lean self correcting
8464	western hemlock	12	98		10 / 8		2 / 8	fair	viaible	ribbon - 535, covered in ivy, crown thinned
561	big leaf maple	19	90			12 / 10		fair	viaible	ivy covering the trunk
8462	big leaf maple	18	90	5 / 10			18 / 10	fair	viaible	ribbon - 580, forks at 1', dead co-dominant stem
540	big leaf maple	22	90	25 / 15	25 / 15	17 / 15	10 / 15	good	viaible	some past branch failure, good form
328	deciduous	6, 6	12	8	10	5	5	fair	viaible	
8280	red alder	25	95					poor	non-viaible	ribbon - 548
Neighboring Trees										
543	big leaf maple	26			20 / 15		16 / 15	good	viaible	good form, full crown, no concerns

Tree/Tag #	Species	DBH (inches)	Height (feet)	Drip-Line/Limits of Disturbance (feet)				Condition	Viability	Comments
				N	S	E	W			
8471	western red cedar	11	50	10 / 8	10 / 8	12 / 8	9 / 8	good	viaible	ribbon - 542
8432	big leaf maple	38	100	38 / 20	35 / 20			fair	viaible	ribbon - 837, leans SE, some dead branches
839	Pyramidalis arborvitae	5	25					fair	viaible	
8497	Pyramidalis arborvitae	10	15					fair-poor	borderline	topped, co dominant stems, ribbon - 840
841	Pyramidalis arborvitae	6	28					fair	viaible	
842	Pyramidalis arborvitae	6	30					fair	viaible	
843	Pyramidalis arborvitae	6	30					fair	viaible	
8498	Pyramidalis arborvitae	7	30					fair	viaible	ribbon - 844
845	Pyramidalis arborvitae	6	35					fair	viaible	
846	Pyramidalis arborvitae	7	35					fair	viaible	
564	Douglas-fir	13	92	7 / 8	10 / 8	4 / 8		good	viaible	good taper
8470	Douglas-fir	18	95	12 / 8	12 / 8	6 / 8		good	viaible	ribbon - 563, good taper
562	western red cedar	18	65	11 / 10		15 / 12	5 / 10	good	viaible	no concerns
8401	big leaf maple	36	95	20 / 18	25 / 10	29 / 10	26 / 18	fair	viaible	ribbon - 645, some past branch failures, pond is adjacent and SE
787	cherry	13	18					poor	non viaible	growths
8100	deciduous	8	22	4 / 4	15 / 4	4 / 4		fair-poor	borderline	ribbon - 834, leans south, foliage discoloration
835	fruit	5, 2	20	5 / 4	4 / 4	9 / 4		fair	viaible	
833	apple	6	18	5 / 4	2 / 4	4 / 4	4 / 4	fair	viaible	
819	fruit tree	5, 3	15	4 / 4	10 / 4	5 / 4	5 / 4	fair	viaible	
818	cherry	9	22				10 / 8	fair	viaible	cherry gummosis, heavy pruning
820	fruit tree	5, 2	12	2 / 4	8 / 4	4 / 4	6 / 4	fair	viaible	pruned
798	western red cedar	28	70	10 / 12	15 / 12		18 / 12	fair	viaible	growing on a stump, picture
Neighboring Trees										
847	big leaf maple	38, 22, 30, 25		39 / 20	31 / 20			fair	viaible	four co dominant stems, ivy covering the trunk, SE lean, rope swing
574	red alder	15, 32		38				fair-poor	borderline	past stem failure, included bark, pockets of decay, ivy on trunk
576	red alder	12, 9, 34						poor	non-viaible	severe foliage dieback, broken top
8389	cherry	3, 11, 4				8 / 5		fair	viaible	ribbon - 807, pruned
201	Douglas-fir	4				4 / 4		good	viaible	
202	Douglas-fir	4				8 / 4		good	viaible	

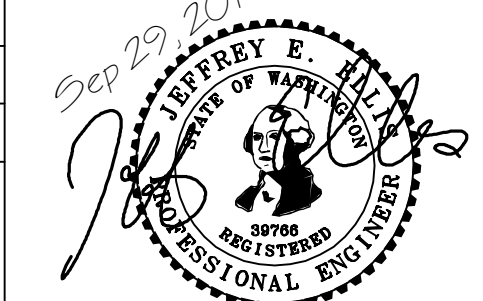
Drip-Line and Limits of Disturbance measurements from face of trunk
Trees on neighboring properties - Drip-line and Limits of Disturbance measurements from property lines



NO.	DATE	BY	REVISIONS

APPLICANT
New Horizon Real Estate
Development
8744 126th Ave NE
Kirkland, WA 98033

DATE: Sep 29, 2017
JOB#: 1337
DRAFTED: CH DESIGN: DE
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CIVIL ENGINEERING SOLUTIONS
2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107
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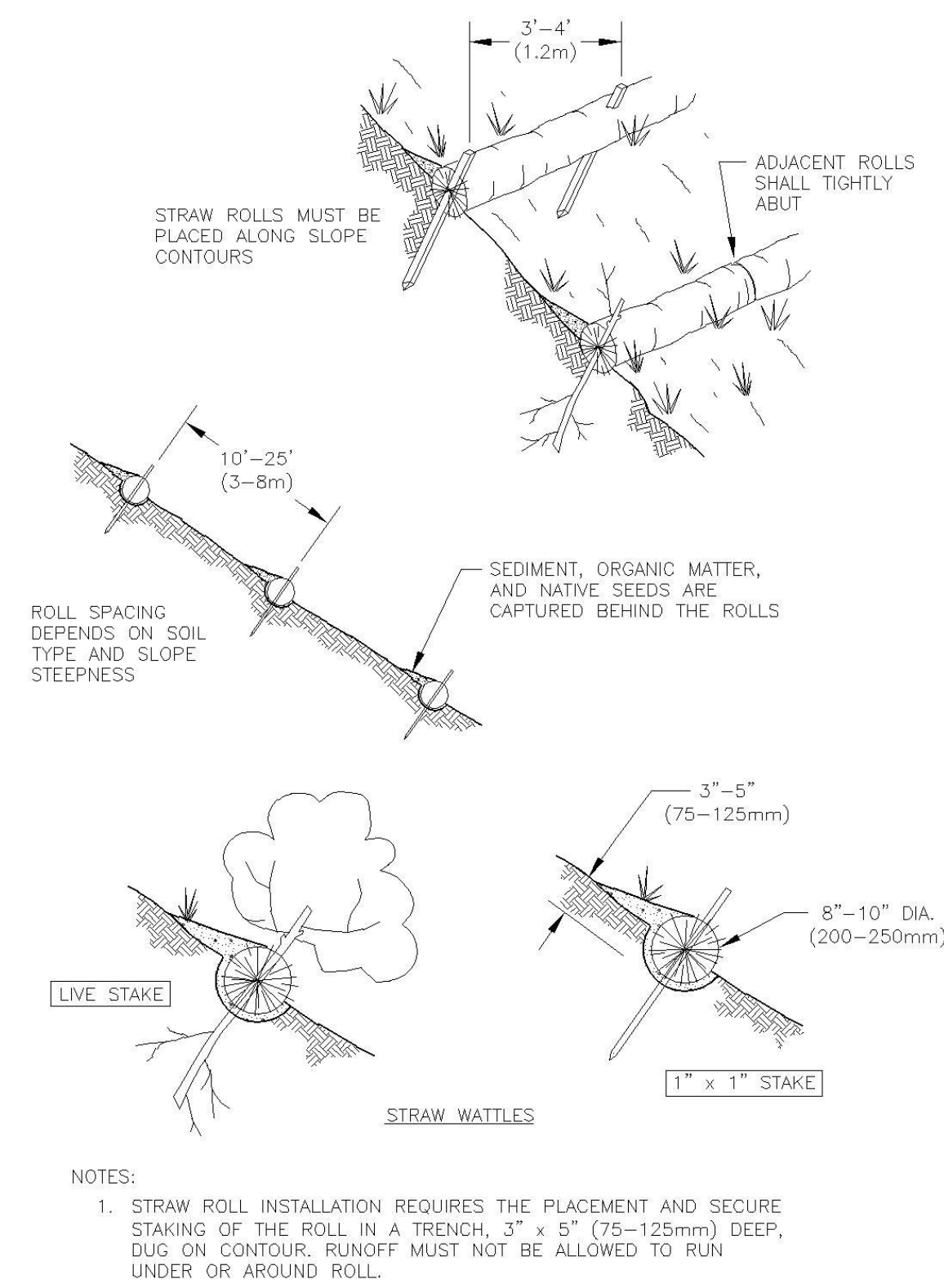
EROSION CONTROL PLAN
SITE DEVELOPMENT & PARCELS 1-3
New Horizon Real Estate Development
8375 AND 8383 EAST MERCER WAY
MERCER ISLAND, WA 98040

DRAWING NO:
C1.0
APN 032110-0145
& 032110-0140

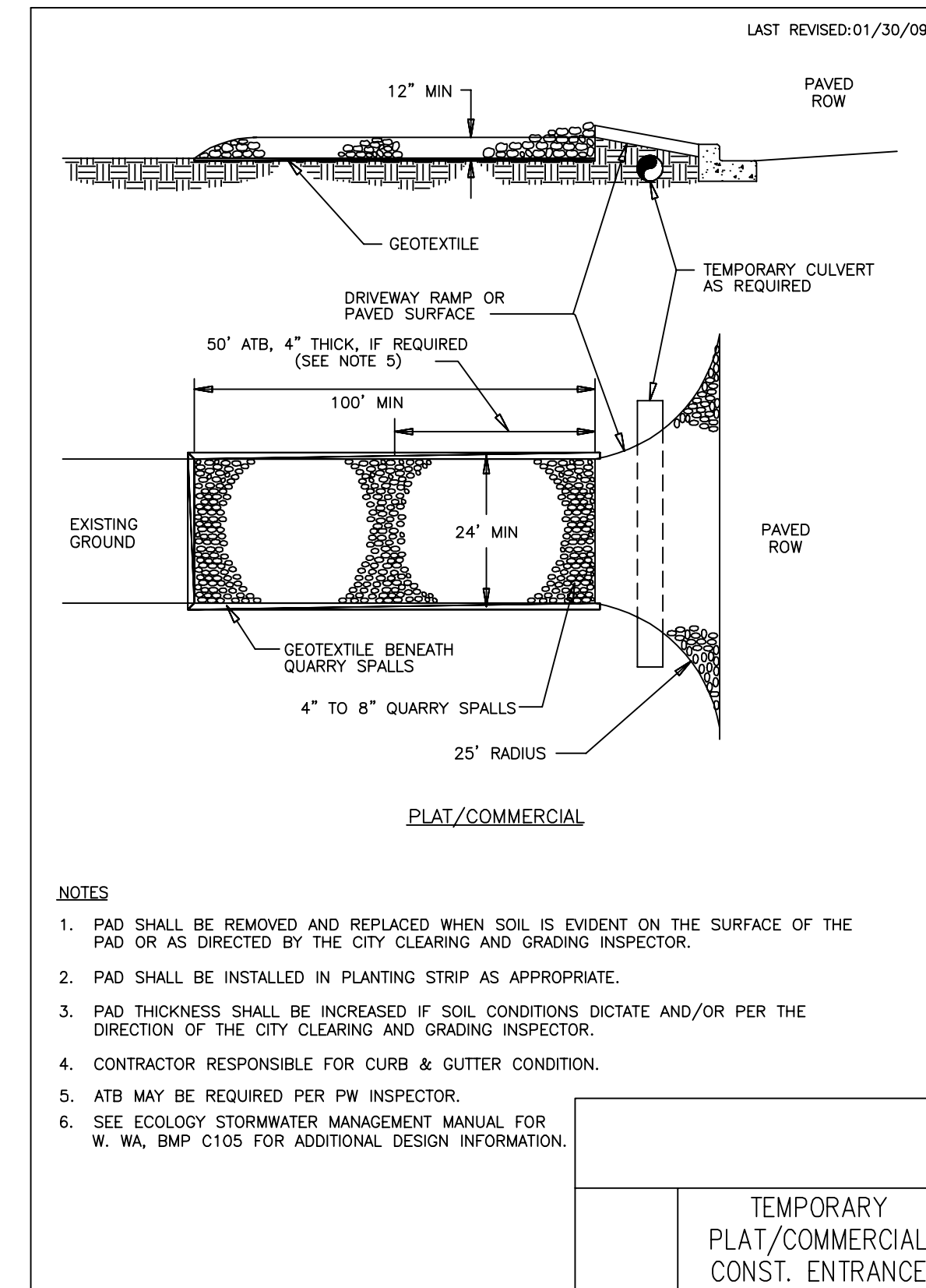
EROSION/SEDIMENTATION CONTROL PLAN NOTES

- THE APPROVED CONSTRUCTION SEQUENCE SHALL BE AS FOLLOWS:
 - CONDUCT PRE-CONSTRUCTION MEETING.
 - FLAG OR FENCE CLEARING LIMITS.
 - POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.
 - INSTALL CATCH BASIN PROTECTION IF REQUIRED.
 - GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
 - INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
 - CONSTRUCT SEDIMENT PONDS AND TRAPS.
 - GRADE AND STABILIZE CONSTRUCTION ROADS.
 - CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
 - MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 - RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS.
 - COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.
 - STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.
 - SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
 - UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
- THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
- ALL DENUDED SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES:
 - APRIL 1 TO SEPTEMBER 30 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING.
 - OCTOBER 1 TO MARCH 31 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING.
 - STABILIZE SOILS AT THE END OF THE WORKDAY PRIOR TO A WEEKEND, HOLIDAY, OR PREDICTED RAIN EVENT.
- AT NO TIME SHALL MORE THAN 1" OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.
- WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
- WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2".
- ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
- THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY OF MERCER ISLAND INSPECTOR.
- A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 6' HIGH TEMPORARY CONSTRUCTION FENCE (CHAIN LINK WITH PIER BLOCKS) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL THE PLANNING DEPARTMENT AUTHORIZES REMOVAL.
- CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6-FT. HIGH CHAIN LINK FENCE ADJACENT TO THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.
- OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.
- ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE ADEQUATE PROTECTION FROM SEDIMENT. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A "STORM DRAIN PROTECTION INSERT" OR EQUIVALENT.
- THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF KIRKLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.
- ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40% 70% PASSING; 2"-4" ROCK/30% 40% PASSING; AND 1"-2" ROCK/10% 20% PASSING.
- IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY.
- ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.
- DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.
- PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDING IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDING WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDING AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.
- IF A SEDIMENT POND IS NOT PROPOSED, A BAKER TANK OR OTHER TEMPORARY GROUND AND/OR SURFACE WATER STORAGE TANK MAY BE REQUIRED DURING CONSTRUCTION, DEPENDING ON WEATHER CONDITIONS.

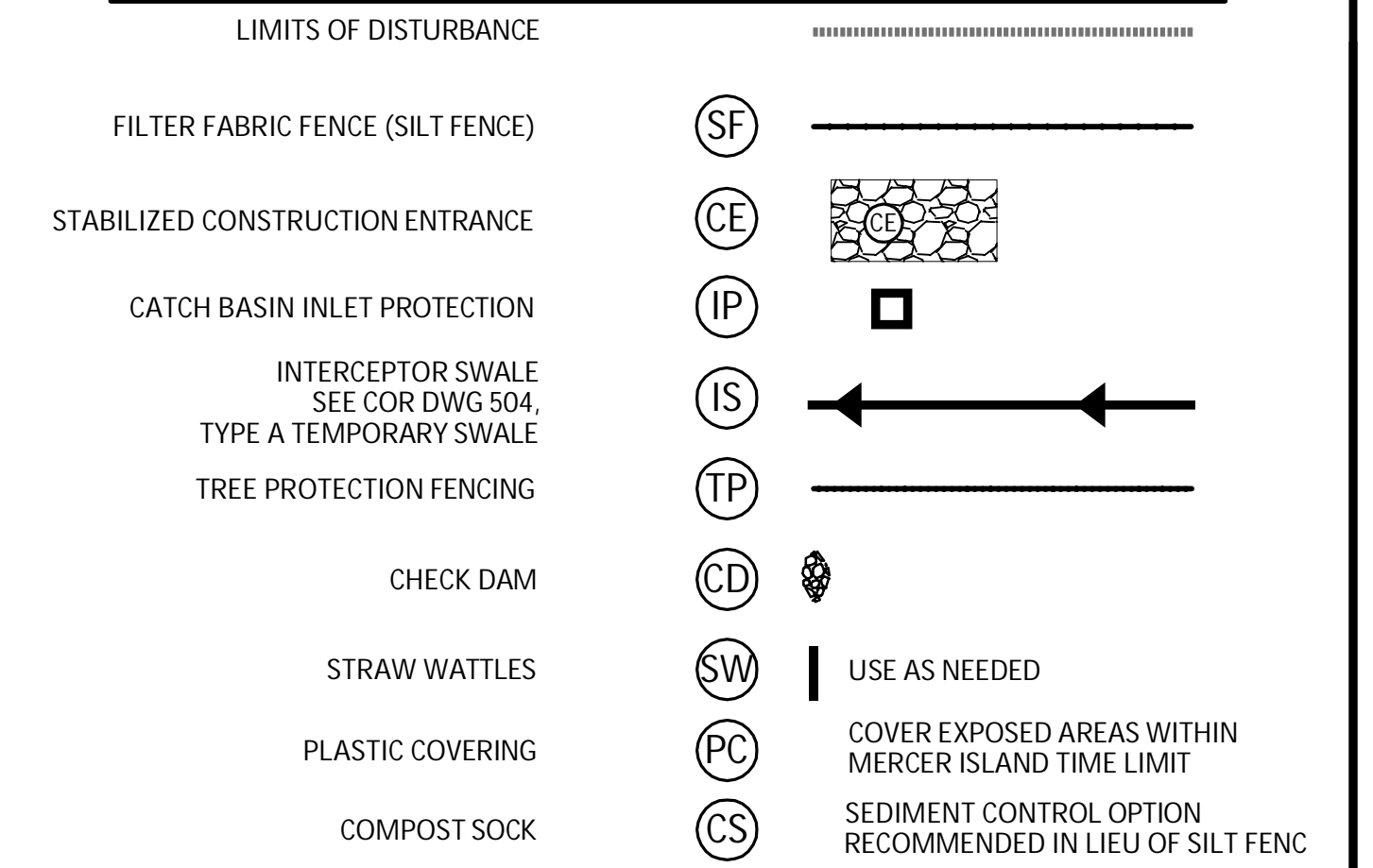
STRAW WATTLE DETAIL



CONSTRUCTION ENTRANCE



EROSION CONTROL LEGEND



DOE CONST. STORM GENERAL PERMIT

NOT REQUIRED SINCE TOTAL DISTURBANCE AREA FOR THIS SITE IS UNDER 1 ACRE.

WET & DRY SEASON REGS

APRIL 1 TO SEPT 30
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF CONSTRUCTION. PLEASE READ ALL CITY TESC NOTES ON SHEET C1.2.

OCT 1 TO MARCH 31
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. IF AN EROSION PROBLEM ALREADY EXISTS ON THE SITE, OTHER COVER PROTECTION AND EROSION CONTROL WILL BE REQUIRED.

CLEARING LIMIT NOTE

ALL SELECTIVE CLEARING, TRENCHING AND OTHER WORK WITHIN THE DRIPLINES OF SIGNIFICANT TREES SHALL BE BY LOW IMPACT HAND METHODS ONLY AND WORK SHALL BE ADJUSTED AS POSSIBLE TO MINIMIZE ANY DISTURBANCE TO THE SIGNIFICANT AND RETAINED TREES AND PROTECTED UNDERSTORY. CONSTRUCTION MATERIALS AND VEHICLES SHALL NOT BE STORED OUTSIDE THE CLEARING LIMITS.

TREE DRIPLINE NOTE

WORK WITHIN THE DRIPLINE OF TREES TO BE SAVED MUST BE UNDER THE DIRECTION OF A CERTIFIED ARBORIST (TYP.) SEE ALSO CLEARING LIMIT NOTE ON THIS SHEET.

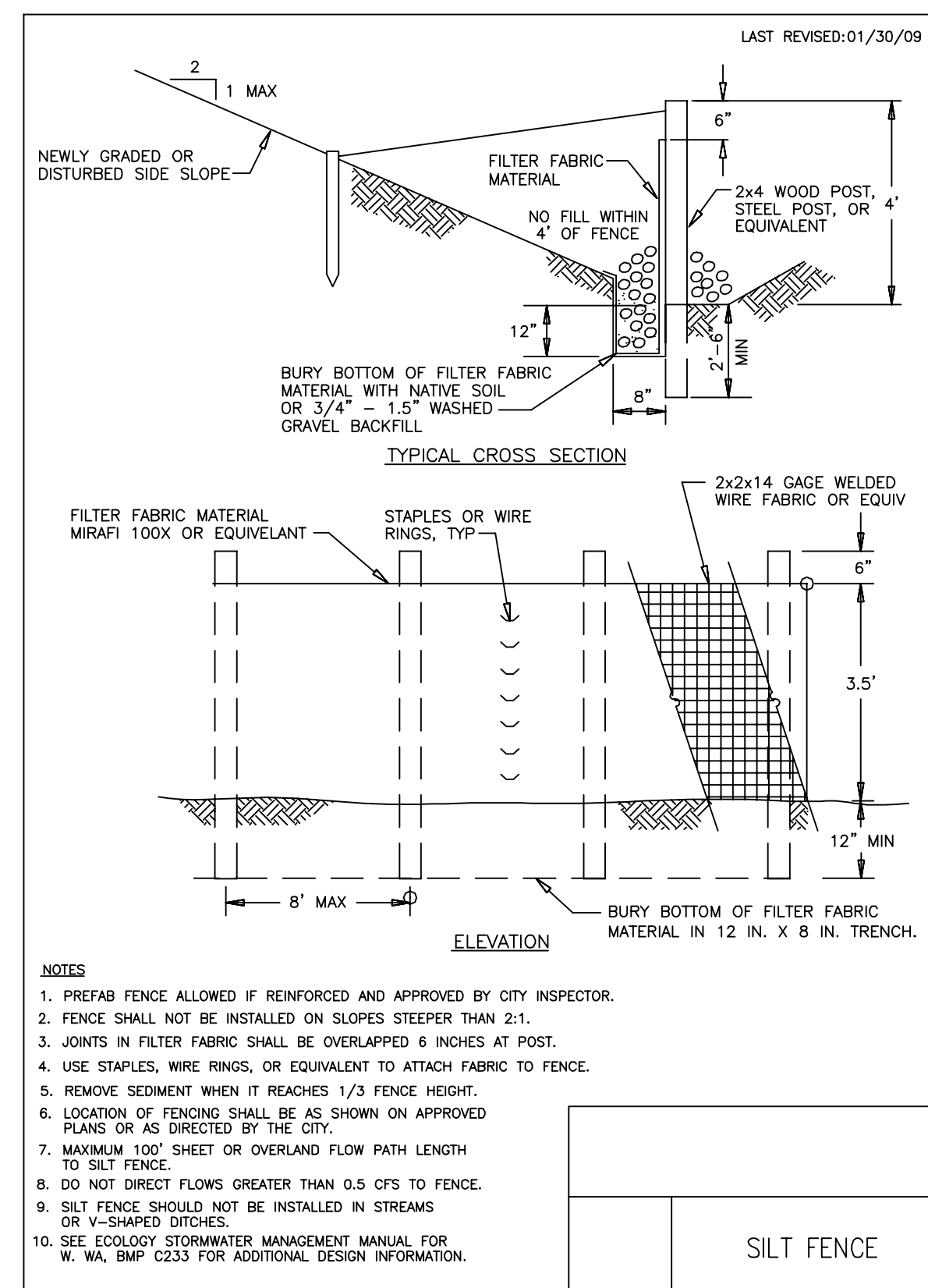
ARBORIST REPORT

SEE REPORT BUY AFM, SEPTEMBER 2014

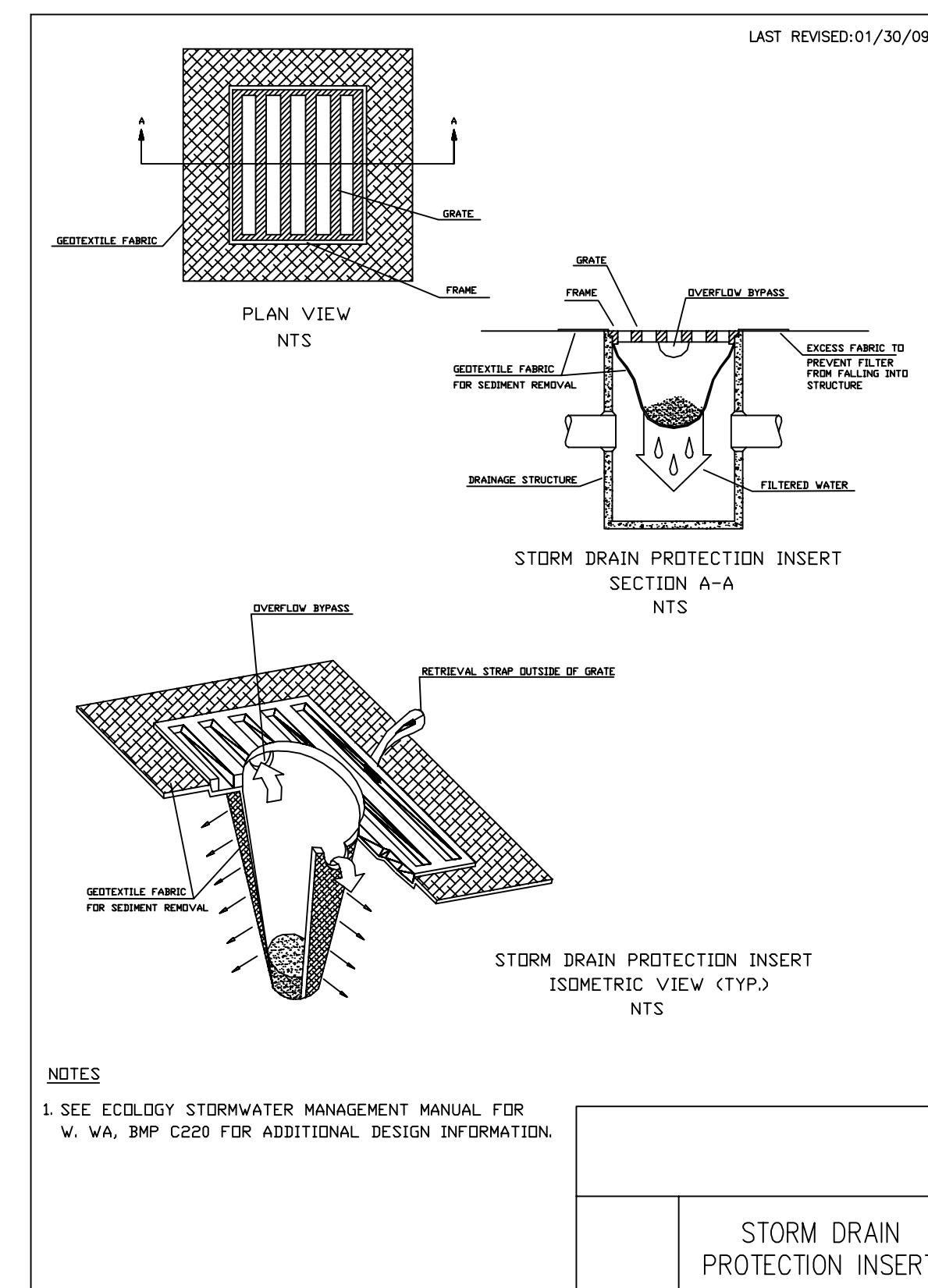
TREE INVENTORY

SEE SHEET C1.0

SILT FENCE IF WARRANTED



STORM DRAIN PROTECTION INSERT



NO.	DATE	BY	REVISIONS

APPLICANT
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Development
8744 126th Ave NE
Kirkland, WA 98033

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Professional Engineer
Professional Engineer
Professional Engineer

CIVIL ENGINEERING SOLUTIONS

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TESC NOTES & DETAILS

New Horizon Real Estate Development
8375 AND 8383 EAST MERCER WAY
MERCER ISLAND, WA 98040

DRAWING NO:
C1.2

APN 032110-0145
& 032110-0140

SANITARY SEWER IMPROVEMENTS

- ①
- ② 6" SDR 35 PVC SANITARY SEWER(SS) @ MIN 1.0%.
- ③
- ④ 6" SEWER CLEANOUT PER MERCER ISLAND DETAIL S-19.
- ⑦ LOCATE AND VIDEO CONDITION OF EXISTING SANITARY SIDE SEWER. REPLACE LINE IF FOUND DEFECTIVE AS DETERMINED BY CITY INSPECTOR.
- ⑧

WATER IMPROVEMENTS

- ⑩ NEW SF RESIDENTIAL WATER SERVICE & METER PIT. CONFIRM REQUIRED SIZE WITH BUILDING PERMIT REVIEW. INSTALL PER MERCER ISLAND DETAIL W-13, W-14, OR W-14A DEPENDING ON SIZE REQUIREMENT.
- ⑪ MIN 1.5" 250 PSI PRIVATE HDPE WATER (ASTM D2239) FROM METER TO HOUSE. RECOMMENDED DEPTH=36". COORDINATE HOUSE ENTRY WITH BUILDER/OWNER.
- ⑫
- ⑭

STORM DRAIN

- ⑳ 4" STORM DRAIN (3034 PVC) @ MIN 1% GRADE.
- ㉑ 4" FOUNDATION DRAIN (3034 PVC) @ MIN 1% GRADE.
- ㉒ 6" STORM DRAIN (3034 PVC) @ MIN 1% GRADE.
- ㉓ 8" STORM DRAIN. (SDR 35 PVC OR EQUAL). SEE PROFILE FOR GRADE.
- ㉔
- ㉕
- ㉖

STORM DRAIN STRUCTURES

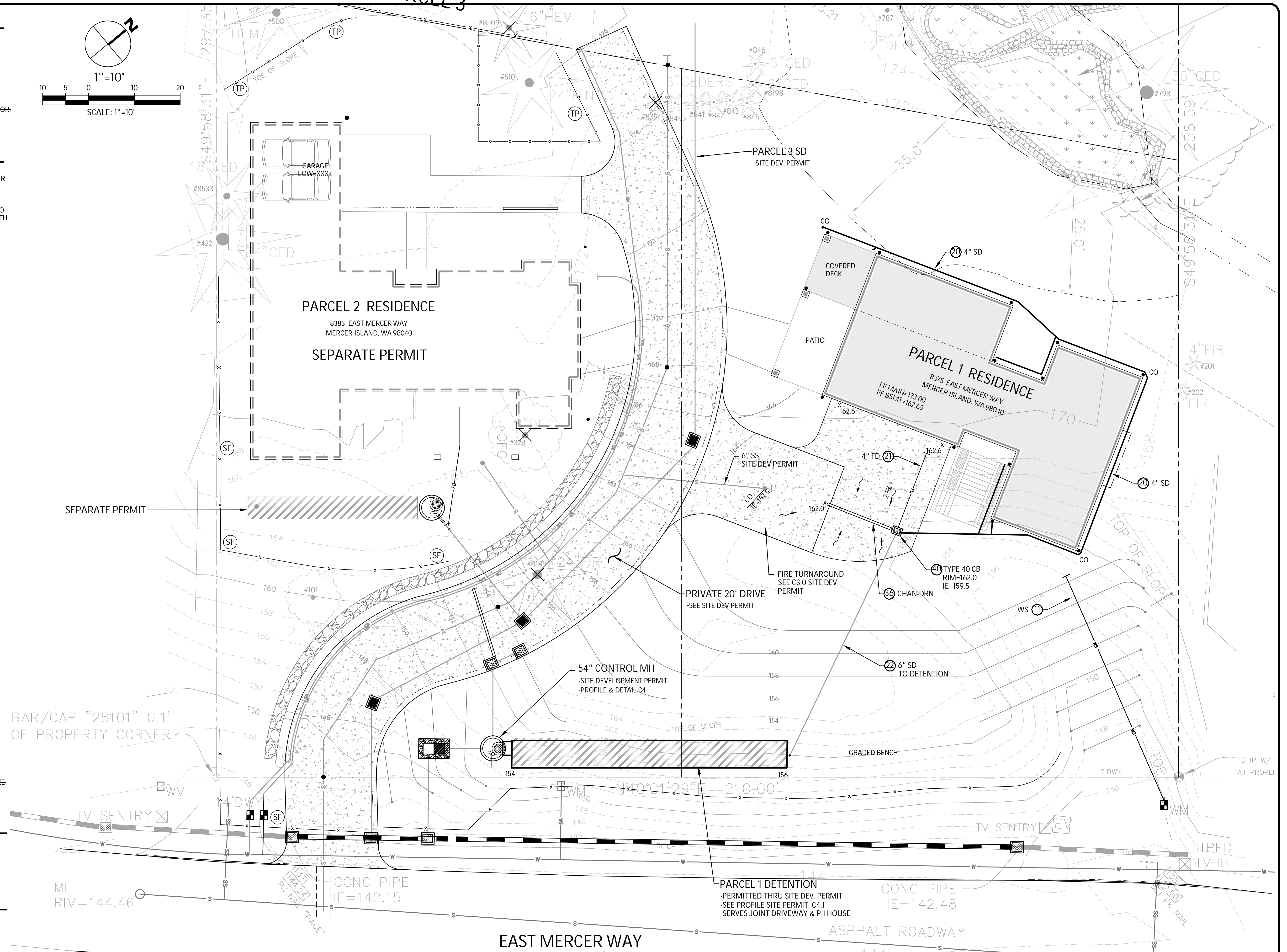
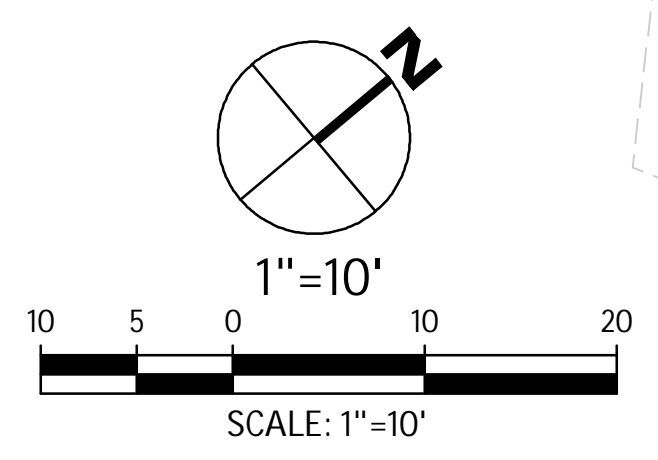
- ㉗ TYPE 1 CB WITH STANDARD GRATE. MAX 5' RIM TO FL DEPTH.
- ㉘ TYPE 1 CB WITH VANED LID. MAX 5' RIM TO FL DEPTH.
- ㉙ TYPE 1 CB WITH SOLID LID
- ㉚
- ㉛
- ㉜
- ㉝
- ㉞
- ㉟ DURASLOPE CHANNEL / TRENCH DRAIN OR EQUAL. MIN 6" DEEP CHANNEL. SET LEVEL MIN 2" BELOW LOW GARAGE FF.
- ㊱
- ㊲
- ㊳ 54" ID TYPE 2 MH CONTROL STRUCTURE WITH SOLID LID. SEE ALL DETAILS AND PROFILE C4.0.
- ㊴
- ㊵
- ㊶
- ㊷ DETENTION PIPE- ALUMINIZED CMP @ 0.5% GRADE. SEE PLAN FOR SIZE AND CONFIGURATION. SEE PROFILE, NOTES, AND DETAILS ON C4.2.

CLEARING LIMIT NOTE

ALL SELECTIVE CLEARING, TRENCHING AND OTHER WORK WITHIN THE DRIPLINES OF SIGNIFICANT TREES SHALL BE BY LOW IMPACT/HAND METHODS ONLY AND WORK SHALL BE ADJUSTED AS POSSIBLE TO MINIMIZE ANY DISTURBANCE TO THE SIGNIFICANT AND RETAINED TREES AND PROTECTED UNDERSTORY. CONSTRUCTION MATERIALS AND VEHICLES SHALL NOT BE STORED OUTSIDE THE CLEARING LIMITS.

TREE DRIPLINE NOTE

WORK WITHIN THE DRIPLINE OF TREES TO BE SAVED MUST BE UNDER THE DIRECTION OF A CERTIFIED ARBORIST (TYP). SEE ALSO CLEARING LIMIT NOTE ON THIS SHEET.

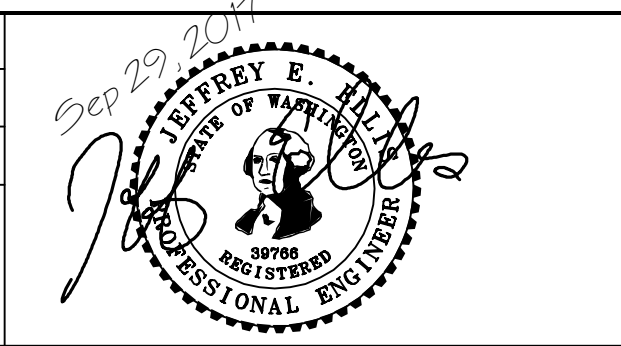


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PARCEL 1 CIVIL PLAN
New Horizon Real Estate Development
8375 AND 8383 EAST MERCER WAY
MERCER ISLAND, WA 98040

DRAWING NO:
C2.1
APN 032110-0145
& 032110-0140