

ABBREVIATIONS

Table of abbreviations for construction terms including #, AB, ADJ, AFF, etc.

GENERAL NOTES

- 1. IF ERRORS, OMISSIONS OR CONFLICTS IN THESE DOCUMENTS ARE FOUND OR SUSPECTED, NOTIFY THE ARCHITECT IMMEDIATELY AT THE ADDRESS OR TELEPHONE NO. SHOWN.

APPLICABLE CODES

- 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
2015 WASHINGTON STATE ENERGY CODE (WSEC)
2015 INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL FIRE CODE (IFC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2015 INTERNATIONAL PLUMBING CODE (IPC)
NFPA 70 NATIONAL ELECTRICAL CODE

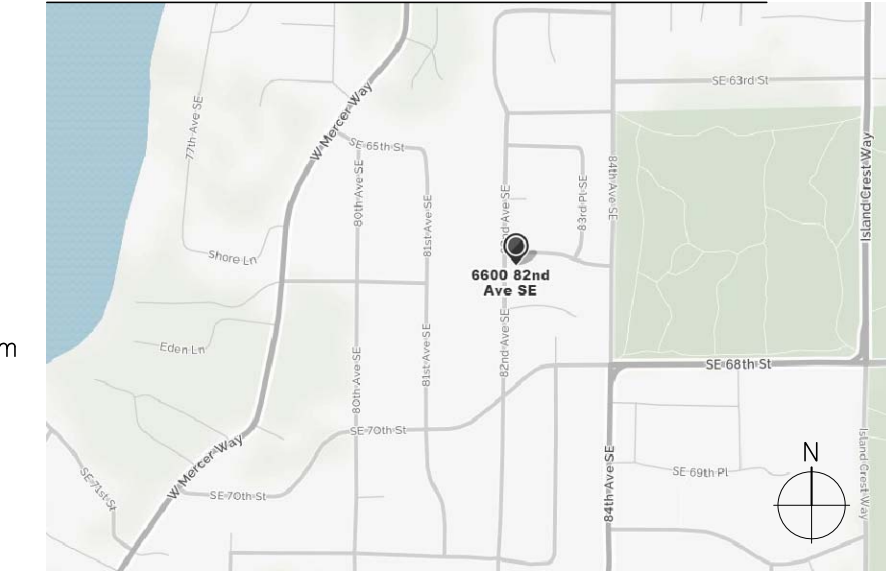
ENERGY CODE NOTES

- 1. COMPLIANCE IS SHOWN THROUGH PRESCRIPTIVE APPROACH
2015 WASHINGTON STATE ENERGY CODE TABLE PRESCRIPTIVE REQUIREMENTS FOR CLIMATE ZONE MARINE 4
COMPONENT MIN. REQUIREMENT
VERTICAL GLAZING U-FACTOR 0.30
OVERHEAD GLAZING U-FACTOR 0.50

PROJECT DIRECTORY

Owner: Kyle & Andrea Fukano, Contractor: TBD, Architect: Jay Deguchi, Structural Engineer: Gary Mackenzie.

VICINITY MAP



Suyama Peterson Deguchi
2224 Second Avenue, Seattle, Washington 98121
P 206.256.0809 F 206.256.0810

PROJECT INFORMATION

ASSESSORS PARCEL: 66920-0370
QUARTER-SECTION-TOWNSHIP-RANGE NE-25-24-4

PROJECT ADDRESS:
6600 82ND AVE SE
MERCER ISLAND, WA 98040

PROJECT DESCRIPTION:
ADDITION TO EXISTING SINGLE-FAMILY RESIDENCE TO INCLUDE NEW KITCHEN, FAMILY ROOM, MEZZANINE STORAGE, AND DECK

LEGAL DESCRIPTION:
PARKEWAY ADD
PLAT BLOCK:
PLAT LOT: 37

ZONING INFORMATION

ZONING: R-9B

CONSTRUCTION TYPE: V-B (NON-RATED)

OCCUPANCY: R3 SINGLE FAMILY RESIDENCE (NO CHANGE)

GROSS LOT AREA: 11989 SF

LOT SLOPE: 10.5% (SEE TS-2 FOR DETAILED CALC)

GROSS FLOOR AREA SUMMARY table with columns for area type and square feet.

HEIGHT LIMIT:

MAXIMUM BUILDING ELEVATION ALLOWED = 335'-0 1/4"
PROPOSED BUILDING MAX. ELEVATION = 323'-0 7/8"

SETBACKS:

REQUIRED YARDS PER MERCER ISLAND CITY CODE 19.02.020
FRONT YARD SETBACK 20'-0"
REAR YARD SETBACK 25'-0"

IMPERVIOUS SURFACE CALCULATIONS:

ALLOWED IMPERVIOUS SURFACES (40%) = 4,796.6 SF
EXISTING IMPERVIOUS SURFACE = (52.2%) 6,256 SF
DEMOLD IMPERVIOUS = -894.2 SF

LOT COVERAGE:

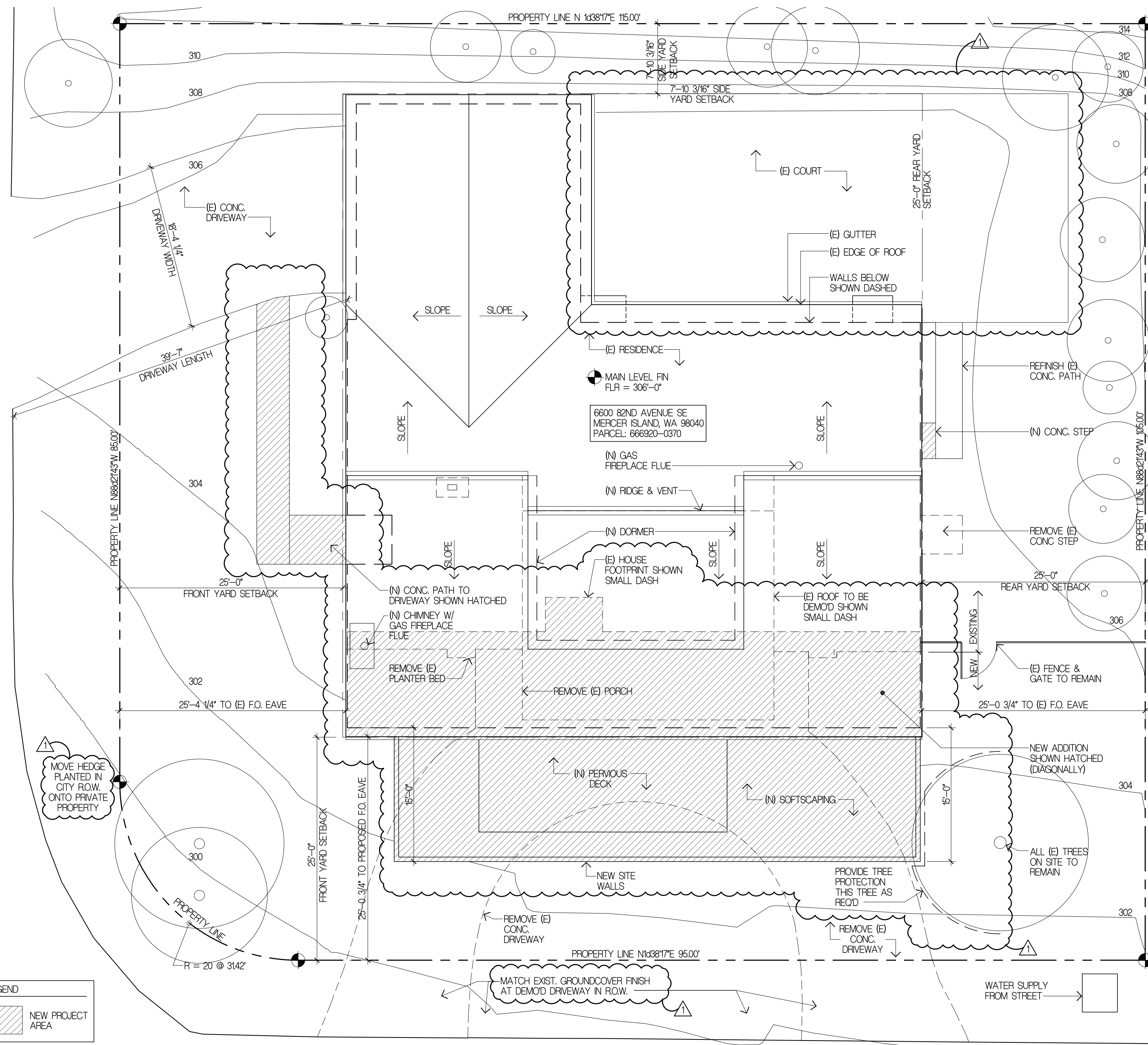
ALLOWED LOT COVERAGE (40%) = 4,796.6 SF
ALLOWED HARDSCAPE (9%) = 1,079.6 SF
EXISTING LOT COVERAGE = (41.9%) 4,931.9 SF

MECHANICAL CODE NOTES

- 1. MECHANICAL PERMIT WILL BE SUBMITTED AND OBTAINED BY BODDER-DESIGNER
2. PROVIDE WHOLE-HOUSE VENTILATION SYSTEM USING EXHAUST FANS PER WAC 51-51-6508...

ELECTRICAL CODE NOTES

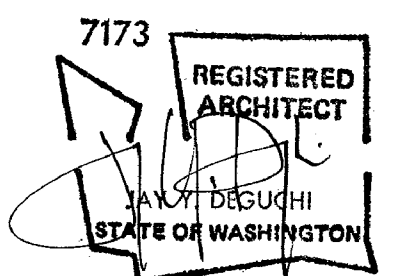
- 1. SYSTEM SHALL BE DESIGNED & INSTALLED BY LICENSED ELECTRICIAN
2. SUBMIT PANEL LOADS, PLACEMENTS, AND OUTLET PLACEMENTS TO OWNER FOR APPROVAL...



SYMBOL LEGEND

Legend defining symbols for ROOM INFO, GRID NUMBER/LINES, DOOR TAG, WINDOW TAG, REVISION TAG, etc.

Project Title: FUKANO RESIDENCE
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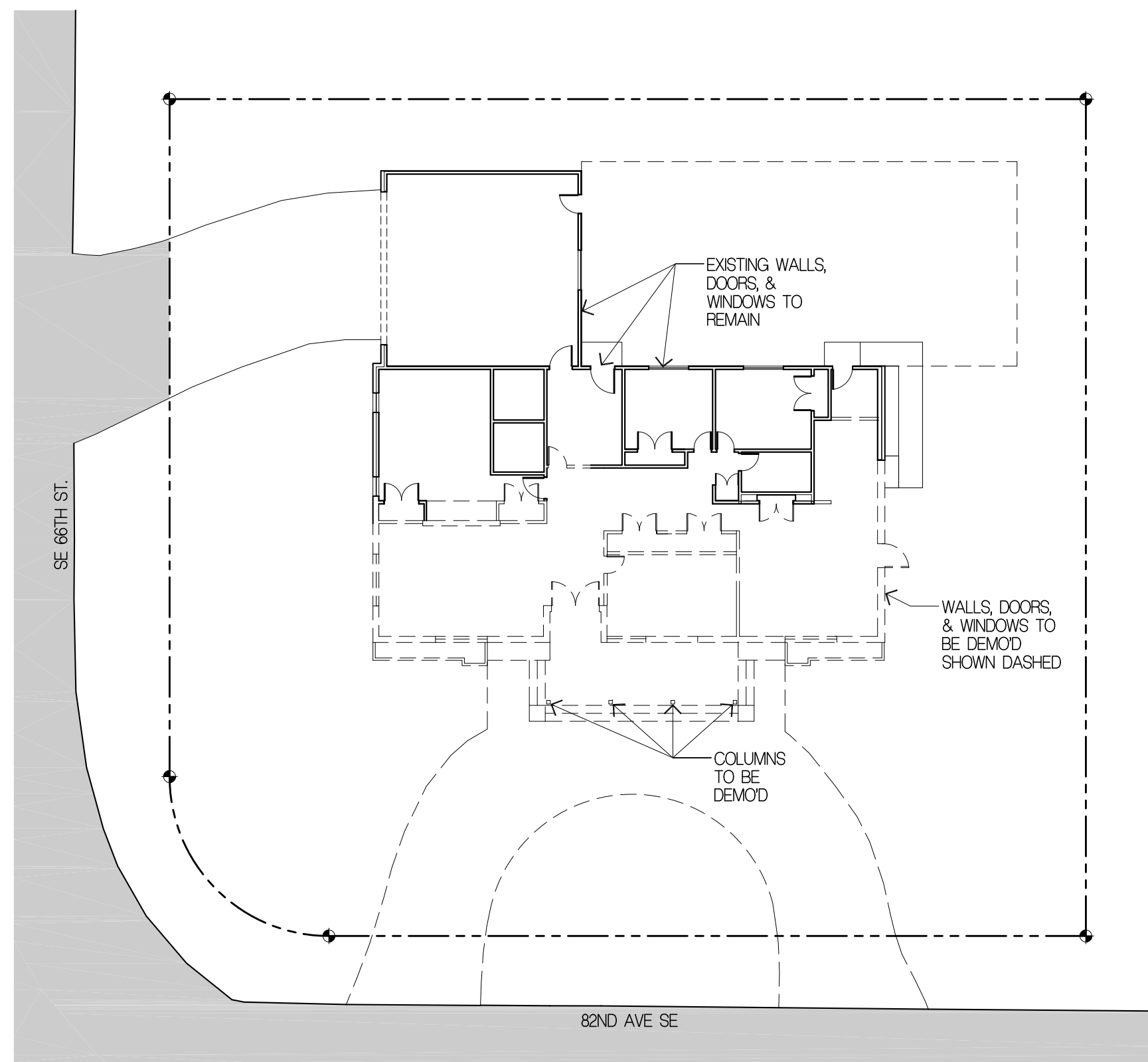
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Date: 11/4/18
Job No.: 1808

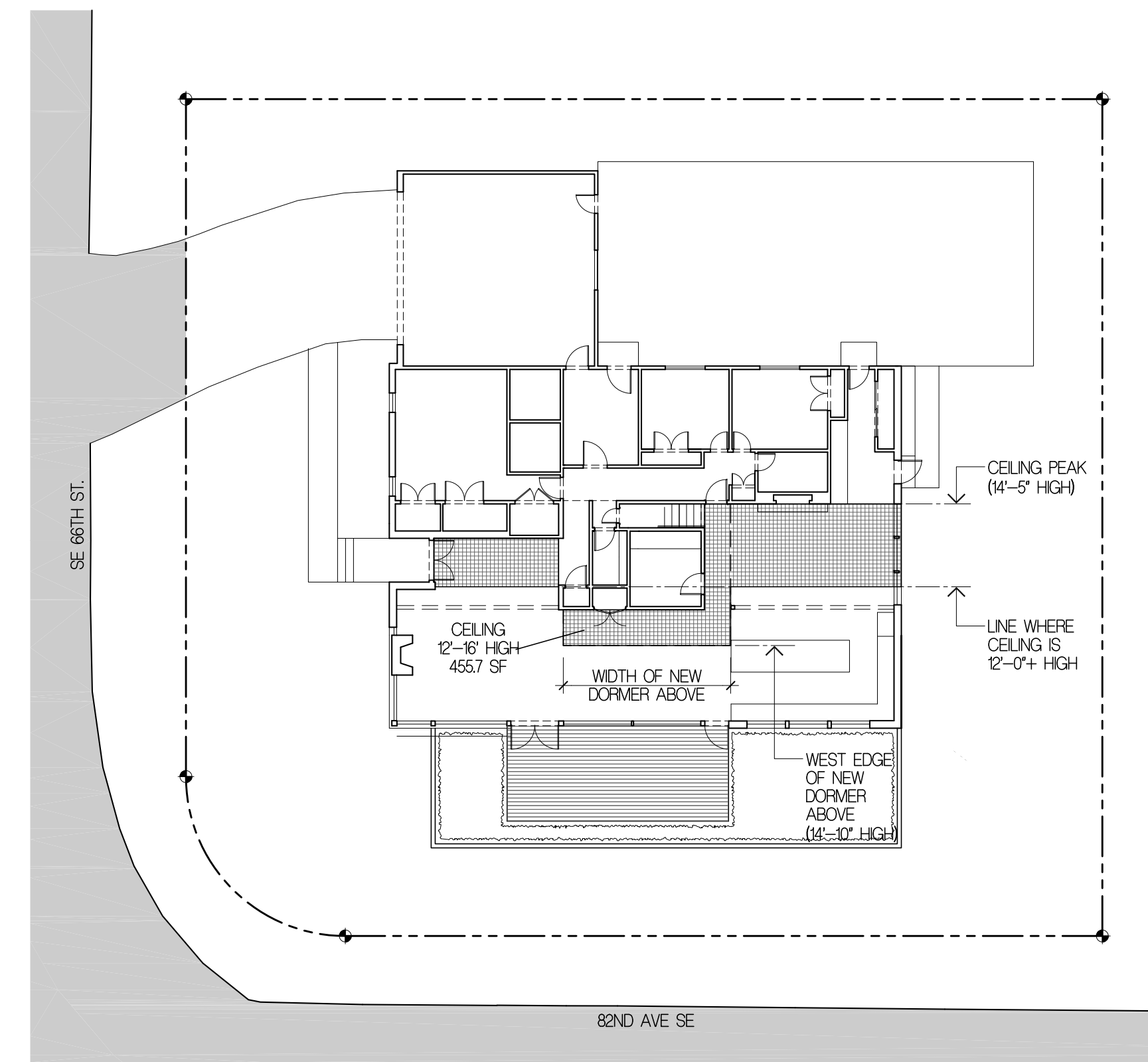
ISSUE DATE
CORRECTIONS/REVISION 10/16/20

PERMIT SET
Sheet No.

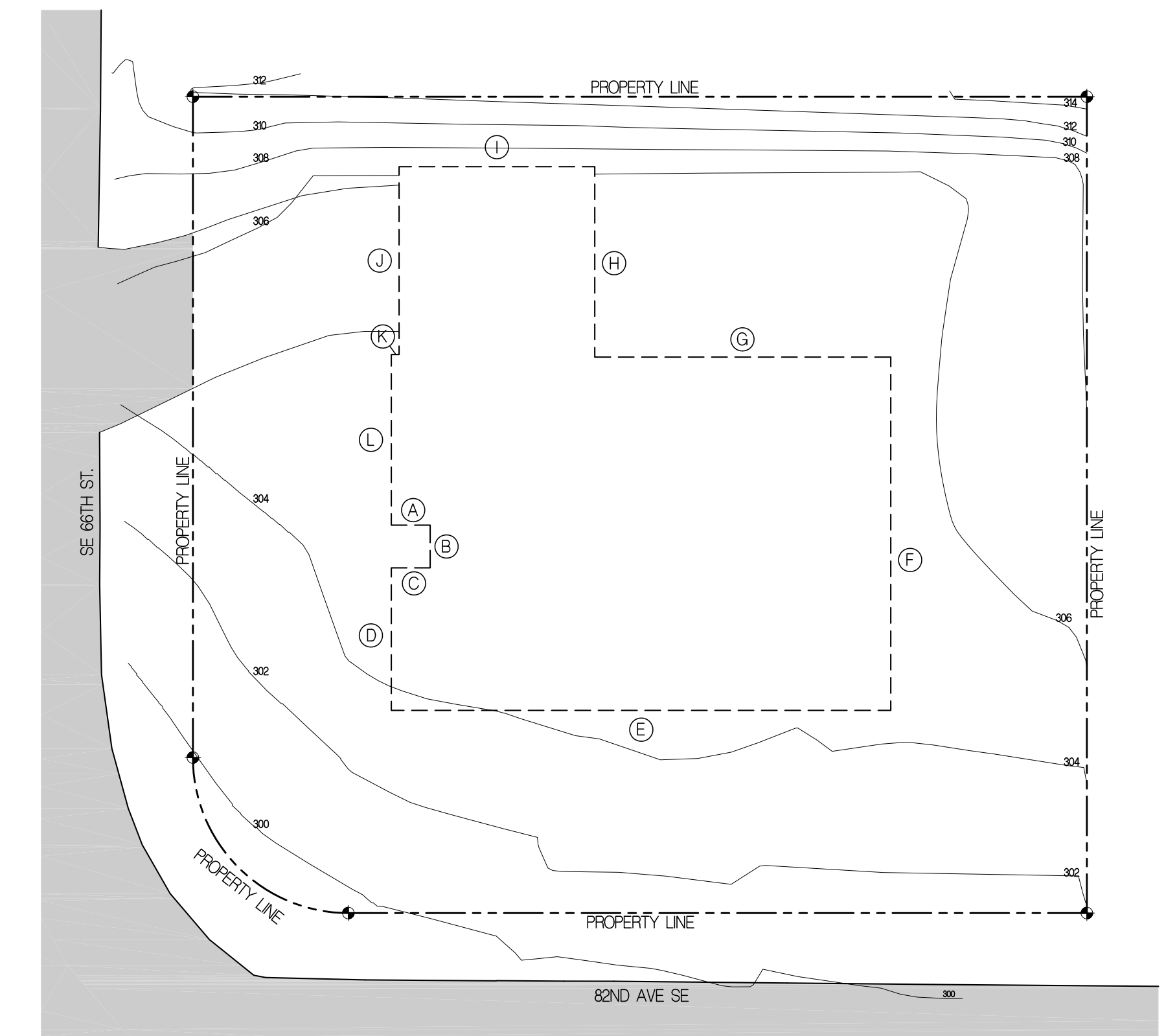
TS-1



5 HOUSE DEMOLITION DIAGRAM
 1/16"=1'-0" 106A-PP04.dwg



4 GFA MODIFIER CALCULATION
 1/16"=1'-0" 106A-PP04.dwg



AVERAGE BUILDING ELEVATION (ABE) CALCULATION

MIDPOINT ELEVATION	SEGMENT LENGTH
A: 304.5	5.0'
B: 304.5	5.5'
C: 304.5	5.0'
D: 304.3	13.3'
E: 304.7	64.3'
F: 305.3	45.5'
G: 305.5	38.1'
H: 305.2	24.5'
I: 306.5	25.2'
J: 305.5	24.2'
K: 305.3	1.0'
L: 304.7	21.9'

$$ABE = (304.5)(5.0) + (304.5)(5.5) + (304.5)(5.0) + (304.3)(13.3) + (304.7)(64.3) + (305.3)(45.5) + (305.5)(38.1) + (305.2)(24.5) + (306.5)(25.2) + (305.5)(24.2) + (305.3)(1) + (304.7)(21.9)$$

$$= 50 + 5.5 + 5.0 + 18.3 + 64.3 + 45.5 + 38.1 + 24.5 + 25.2 + 24.2 + 1 + 21.9$$

$$= 305.01 \text{ OR } 305-0 \text{ } 1/4" \text{ } 30'-0" \text{ ABOVE ABE}$$

$$ABE + 30' = 305-0 \text{ } 1/4" + 30'-0" =$$

335-0 1/4" MAXIMUM BUILDING ELEVATION ALLOWED

3 AVERAGE BUILDING ELEV. CALC.
 1/16"=1'-0" 106A-PP04.dwg

LOT COVERAGE

EXISTING DRIVEWAY 1	4785
EXISTING DRIVEWAY 2	10501
EXISTING HOUSE	34033
EXISTING TOTAL	49319
EXISTING #	4196
DEMO DRIVEWAY 2	-10501
NEW ROOF	+4226
LOT COVERAGE	43044
LOT COVERAGE #	35396
NET LOT COVERAGE	-6275

HARDSCAPE

EXISTING COURT	12585
EXISTING PATH	646
EXISTING TOTAL HS	13231
EXISTING #	196

MCC NON-CONFORMING SITES LOT COVERAGE 100000000
 NO NEW HARDSCAPE OR FURTHER REDUCTION IN LANDSCAPING AREA IS PERMITTED UNLESS:
 L THE SITE IS BROUGHT INTO CONFORMANCE WITH ALL APPLICABLE LOT COVERAGE REQUIREMENTS OF MCC000000

NEW HARDSCAPE PER 100000000

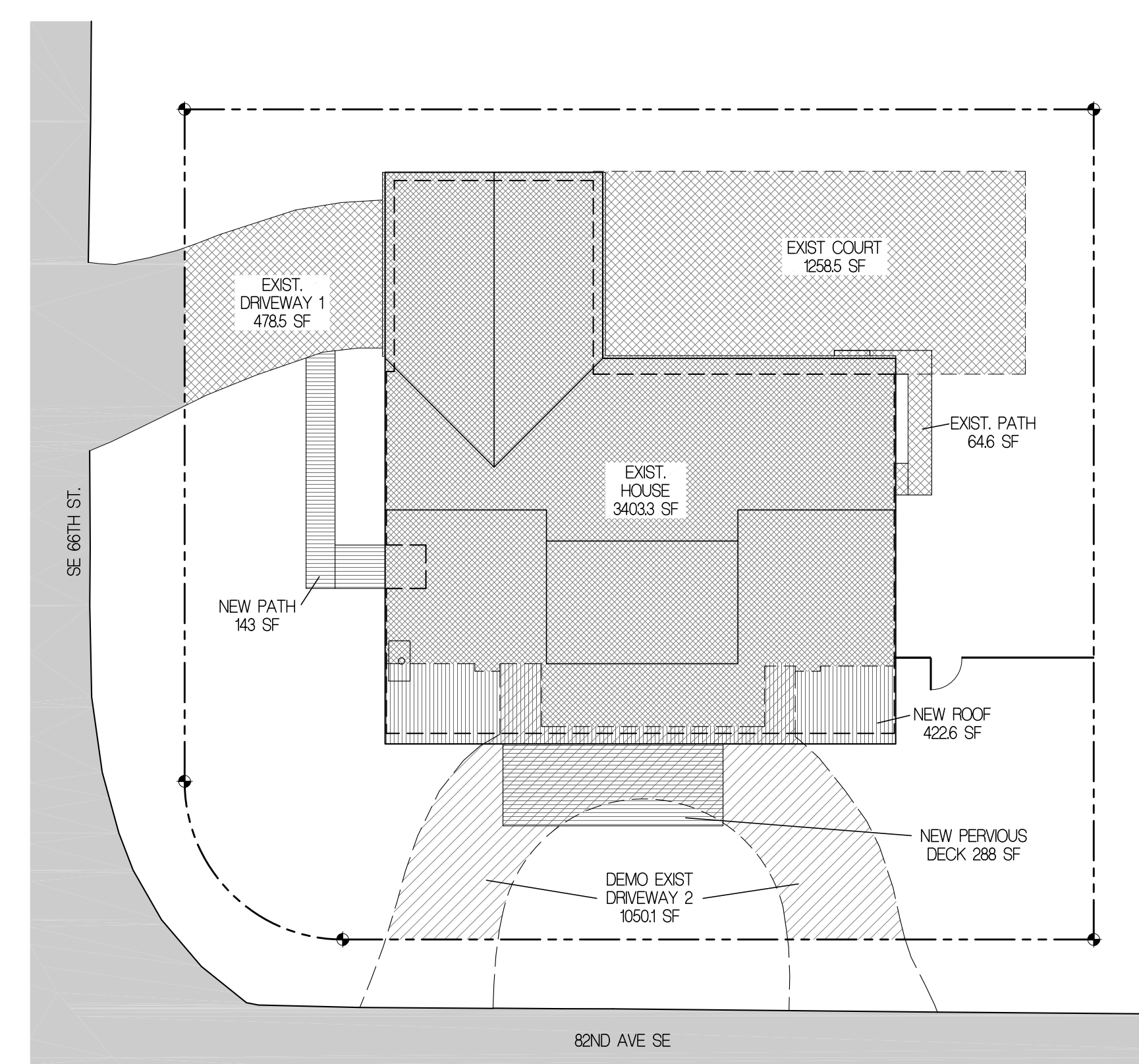
NEW PATH	143
NEW DECK	288
NEW HARDSCAPE	431
EXIST HARDSCAPE	13231
HARDSCAPE	17641
HARDSCAPE #	14694

NET LC + HARDSCAPE

EXISTING LOT COVERAGE	49319
EXISTING HARDSCAPE	13231
EXISTING TOTAL	62550
PROPOSED LOT COVERAGE	43044
PROPOSED HARDSCAPE	17641
TOTAL LC + HARDSCAPE	60685
NET TOTAL LC + HS	-9865

LEGEND

- EXIST. HOUSE TO REMAIN OR BE REPLACED
- EXIST. HARDSCAPE TO REMAIN
- EXIST. HARDSCAPE TO BE DEMOD AND ABANDONED
- NEW HOUSE/ROOF
- NEW HARDSCAPE



2 LOT COVERAGE CALCULATIONS
 1/16"=1'-0" 106A-PP04.dwg

IMPERVIOUS SURFACE

EXISTING DRIVEWAY 1	4785
EXISTING DRIVEWAY 2	10501
EXISTING HOUSE	34033
EXISTING COURT	12585
EXISTING PATH	646
EXISTING TOTAL	62550

MCC NON-CONFORMING SITES IMPERVIOUS SURFACE COVERAGE LIMITATION 100000000

DEMO DRIVEWAY 2	-8942
(ALLOWED NEW 8942 (2)=	4471
NEW ROOF	+4226
NEW ROOF	+143
NEW PATH	+143
TOTAL NEW IMPERVIOUS	+4938
TOTAL IMPERVIOUS	57933
NET TOTAL IMPERVIOUS	-4857

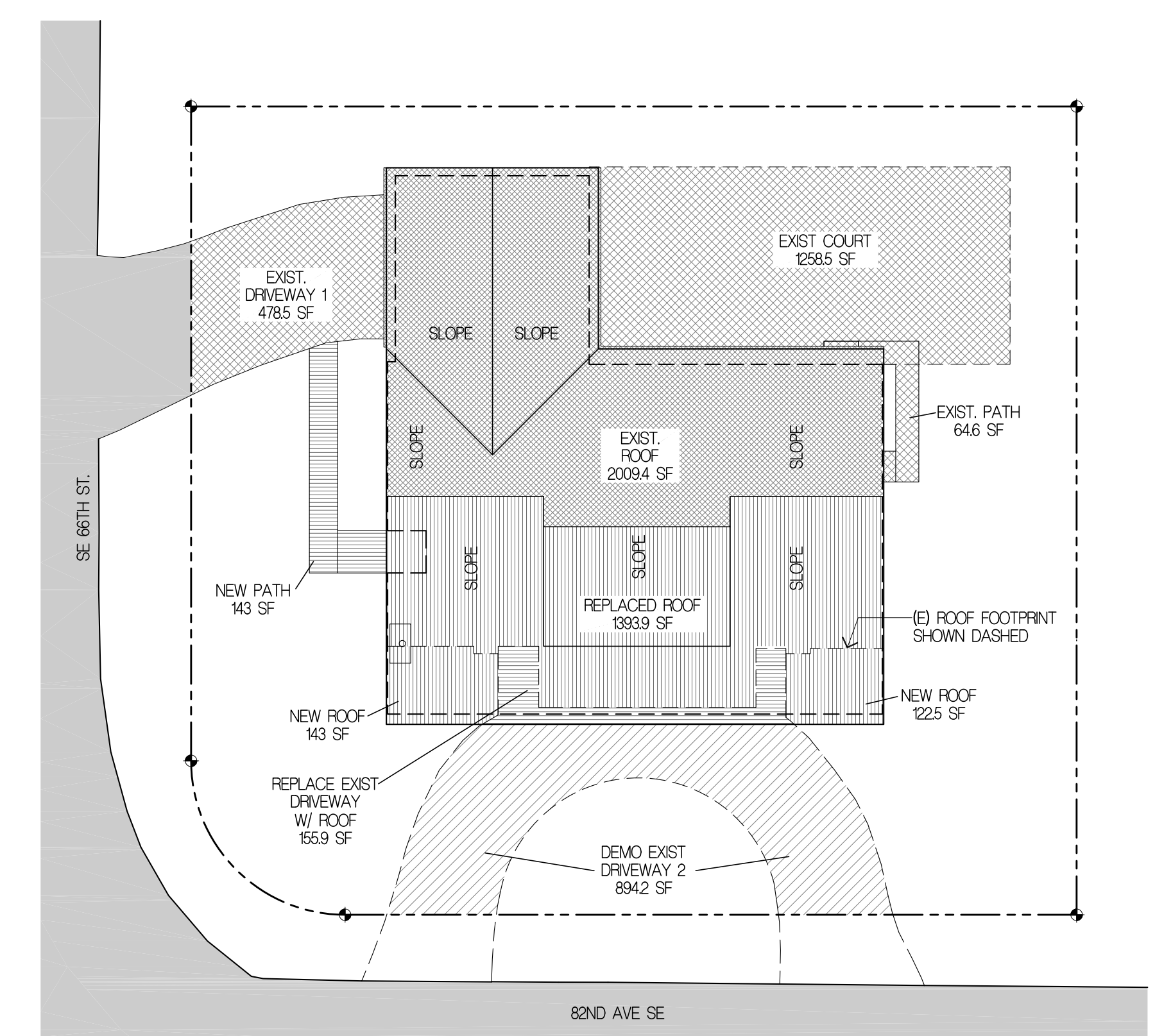
MCC STANDARDS FOR NEW DECK & REPLY-THREESHOUS DEFINTIONS MINIMUM REQ'D MS 100000000

NEW/REPLACED IMPERVIOUS SURFACE

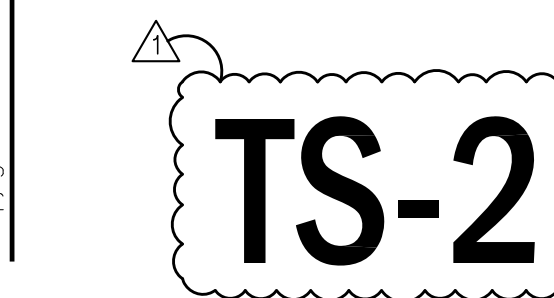
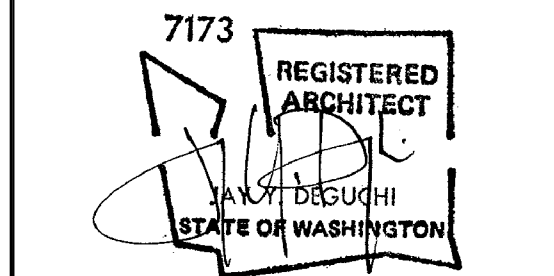
REPLACED ROOF	13939
REPLACED DRIVEWAY 2	1519
NEW ROOF	1225
NEW ROOF	143
NEW PATH	143
NEW/REPLACED TOTAL	15563

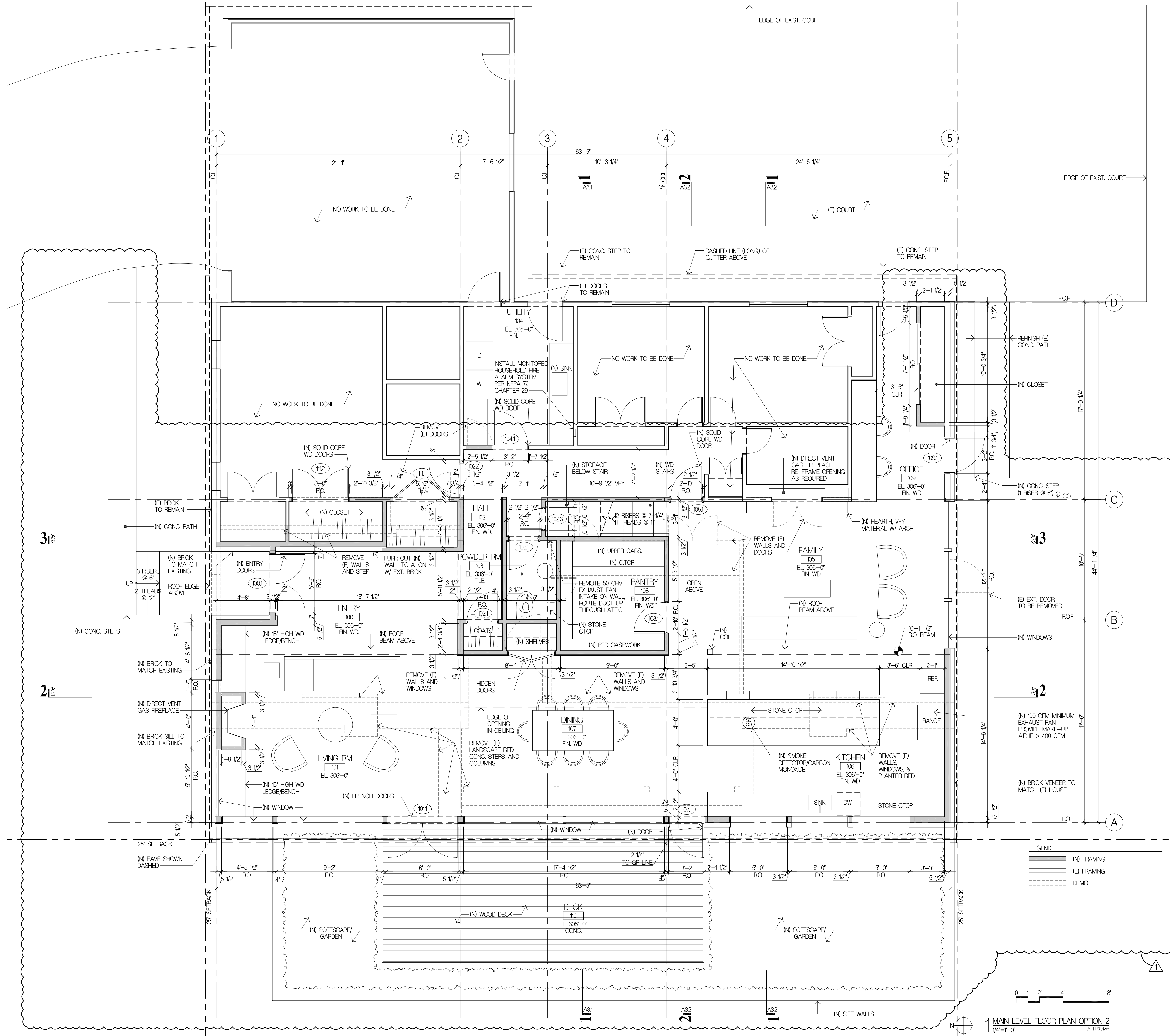
LEGEND

- EXIST. HOUSE/ROOF TO REMAIN
- EXIST. HARD SURFACE TO REMAIN
- EXIST. HARD SURFACE TO BE DEMOD AND ABANDONED
- NEW OR REPLACED HOUSE/ROOF
- NEW OR REPLACED HARD SURFACE

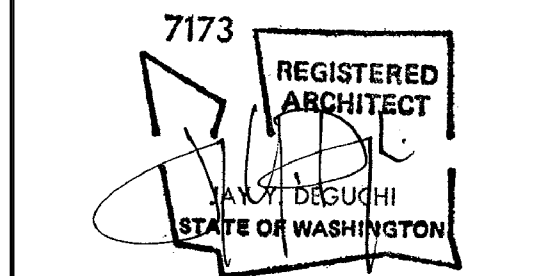


1 IMPERVIOUS CALCULATIONS
 1/16"=1'-0" 106A-PP04.dwg





Project Title
FUKANO RESIDENCE
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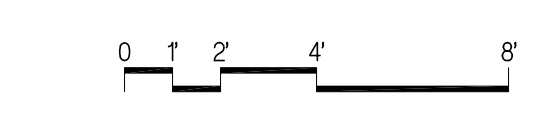


Drawing Title
MAIN LEVEL FLOOR PLAN

Date
 11/14/18
 Job No.
 808

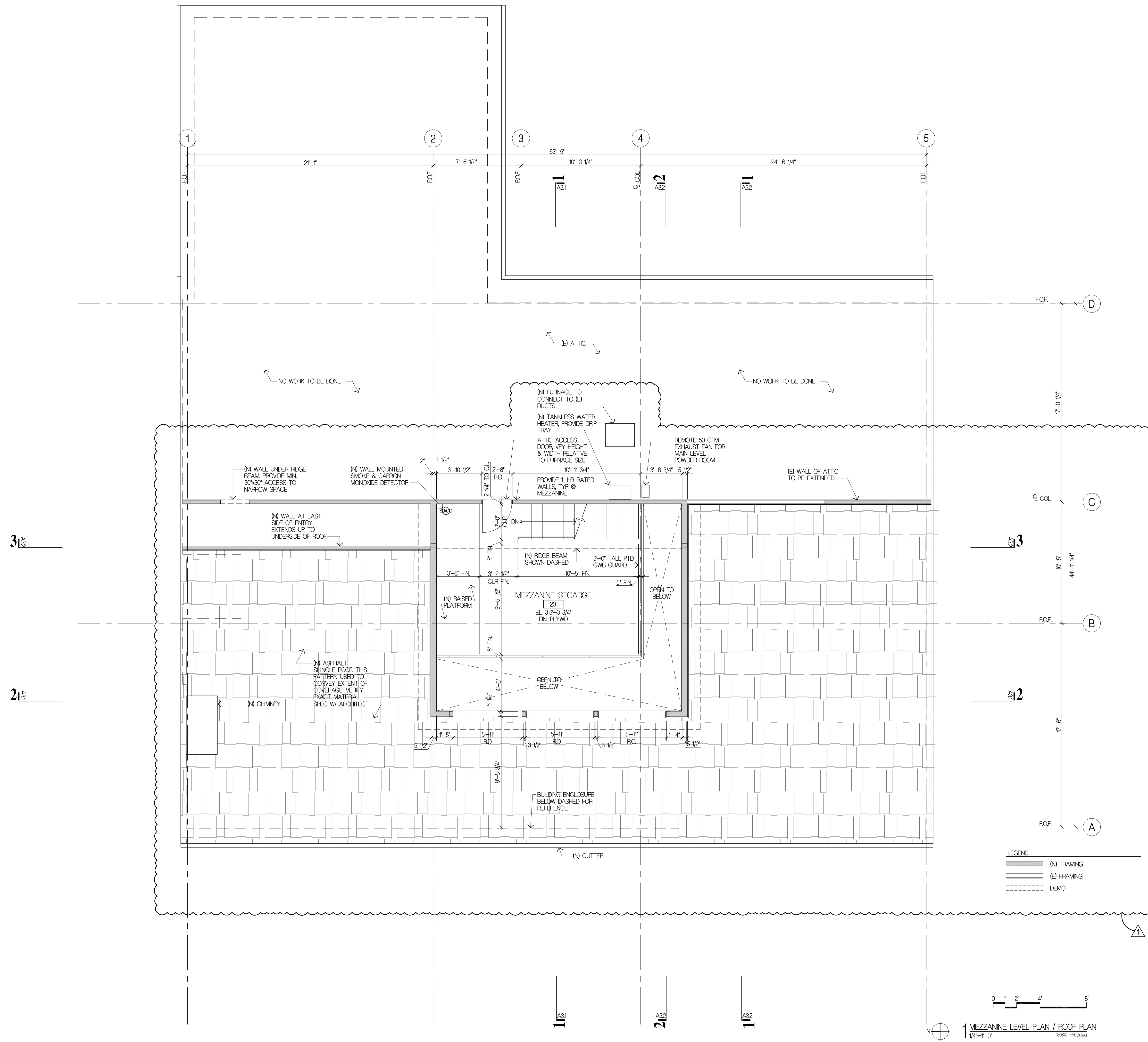
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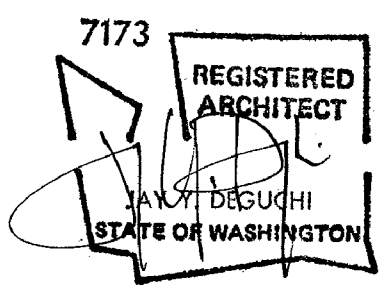


1 MAIN LEVEL FLOOR PLAN OPTION 2
 1/4"=1'-0"

A1.1



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FUKANO RESIDENCE
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MERCER ISLAND, WA 98040



Drawing Title
MEZZANINE LEVEL PLAN / ROOF PLAN

Date
11/4/18

Job No.
1808

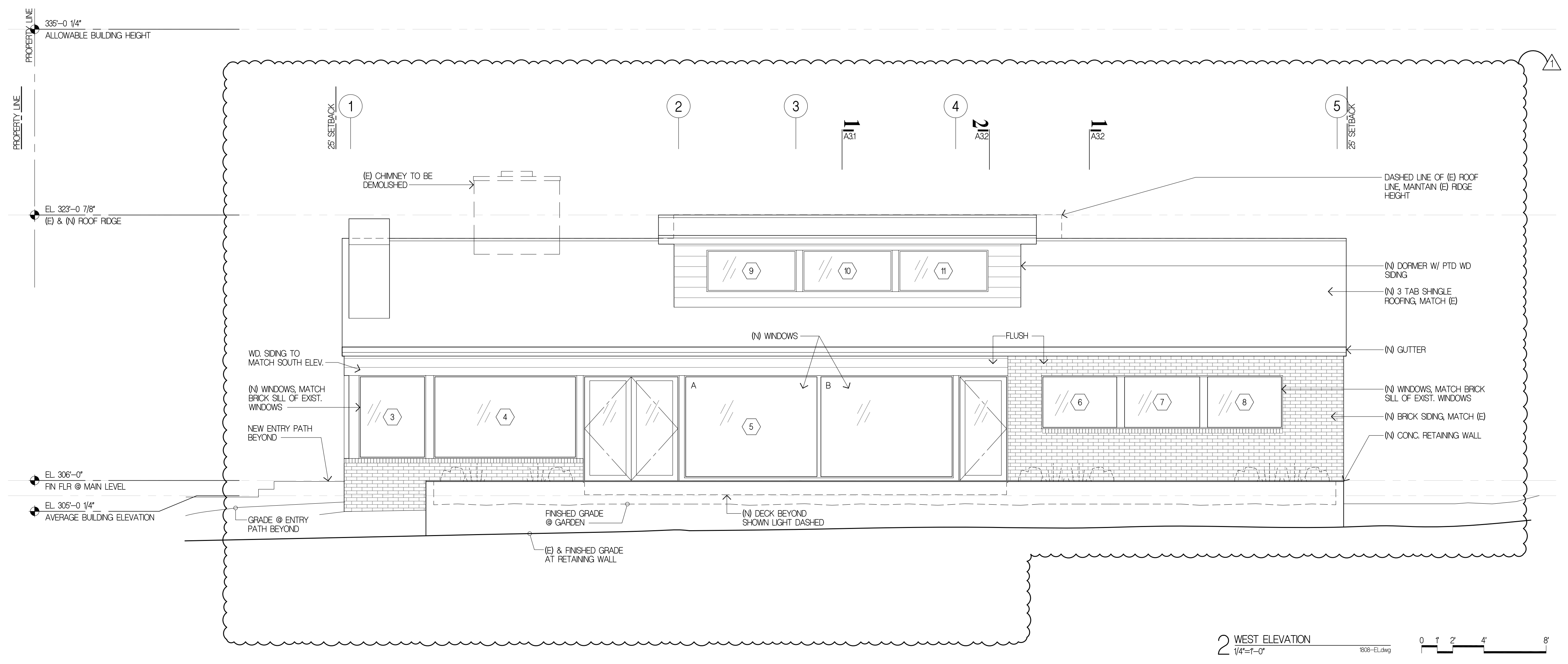
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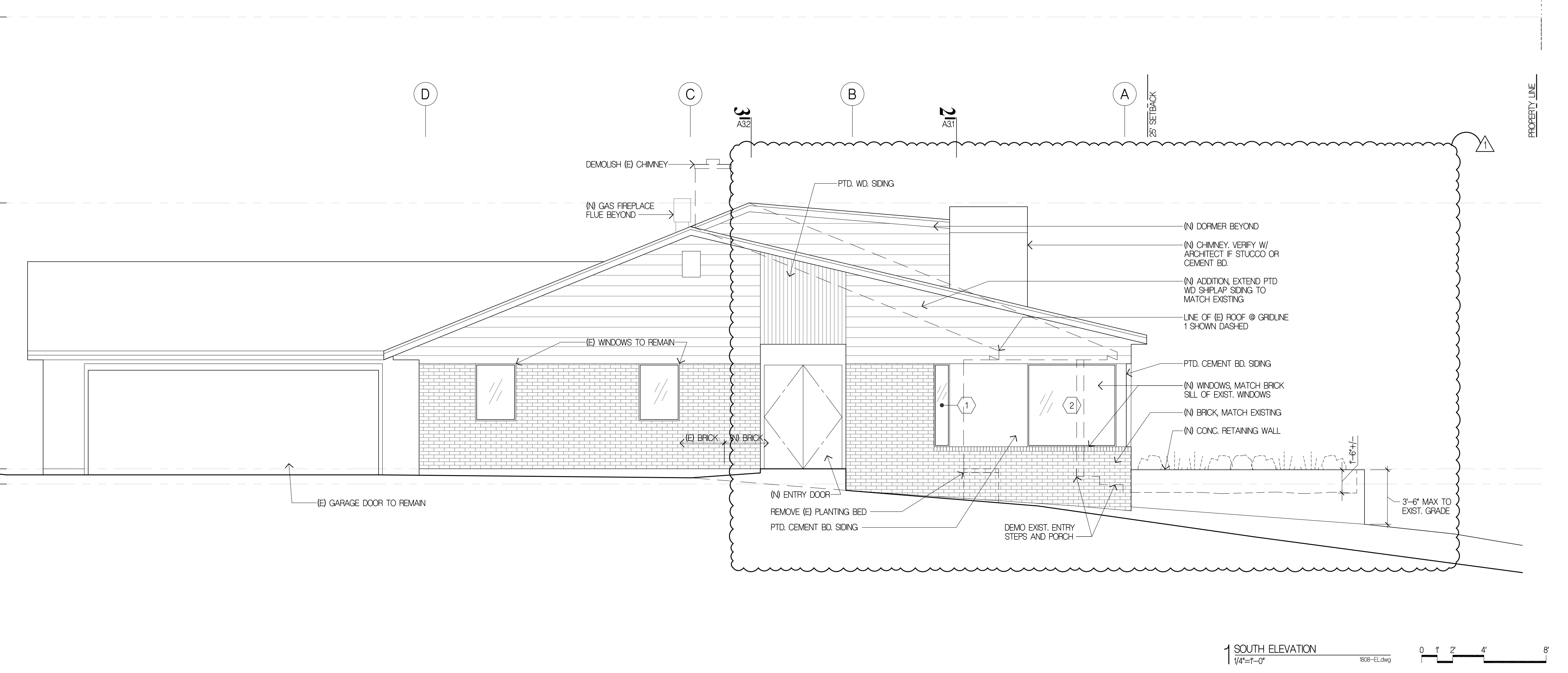
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1/4"=1'-0" MEZZANINE LEVEL PLAN / ROOF PLAN
1808A-FR02.dwg

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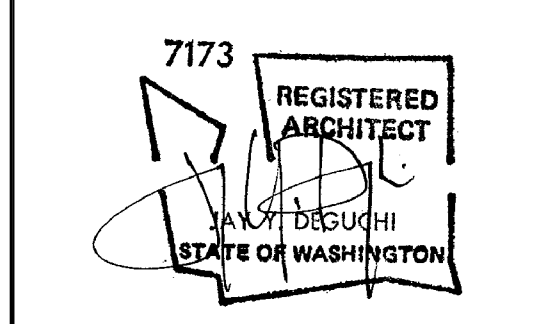


2 WEST ELEVATION
 1/4"=1'-0"
 1/8"=1'-0"



1 SOUTH ELEVATION
 1/4"=1'-0"
 1/8"=1'-0"

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FUKANO RESIDENCE
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Drawing Title
EXTERIOR ELEVATIONS

Date
 11/4/18
 Job No.
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ISSUE	DATE
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 Sheet No.

A2.1

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2015 WASHINGTON STATE ENERGY CODE COMPLIANCE METHOD: CHAPTER 4 PRESCRIPTIVE REQUIREMENTS APPROACH, CLIMATE ZONE 4C, UNLIMITED GLAZING AREA (REFER TO TABLE 402.1.1)

WINDOW SCHEDULE

I.D.	MANUF.	DESCRIPTION	U-VAL	R.O. WIDTH	R.O. HEIGHT	AREA	UFA	ORIENTATION	OPERATION	FRAME MATERIAL	SAFETY GLASS	NOTES
1	MILGARD	ALUMINUM PICTURE	0.30	1 2	5 6	6.4	1.9	N	FIXED	ALUM.	YES	
2	MILGARD	ALUMINUM PICTURE	0.30	5 10 1/2	5 6	32.3	9.7	N	FIXED	ALUM.	YES	
3	MILGARD	ALUMINUM PICTURE	0.30	4 5 1/2	5 6	24.5	7.4	W	FIXED	ALUM.	YES	
4	MILGARD	ALUMINUM PICTURE	0.30	9 2	5 6	50.4	15.1	W	FIXED	ALUM.	YES	
5	MILGARD	ALUMINUM PICTURE	0.30	17 4 1/2	6 9	117.3	35.2	W	FIXED	ALUM.	YES	(2) LITES, SEE ELEVS
6	MILGARD	ALUMINUM PICTURE	0.30	5 0	3 7	17.9	5.4	W	FIXED	ALUM.	YES	
7	MILGARD	ALUMINUM PICTURE	0.30	5 0	3 7	17.9	5.4	W	FIXED	ALUM.	YES	
8	MILGARD	ALUMINUM PICTURE	0.30	5 0	3 7	17.9	5.4	W	FIXED	ALUM.	YES	
9	MILGARD	ALUMINUM PICTURE	0.30	5 11	2 10	16.8	5.0	W	FIXED	ALUM.	YES	
10	MILGARD	ALUMINUM PICTURE	0.30	5 11	2 10	16.8	5.0	W	FIXED	ALUM.	YES	VERIFY W/ ARCH IF OPERABLE/AWNING
11	MILGARD	ALUMINUM PICTURE	0.30	5 11	2 10	16.8	5.0	W	FIXED	ALUM.	YES	
12	MILGARD	ALUMINUM PICTURE	0.30	12 10	5 10	74.9	22.5	S	FIXED	ALUM.	YES	(3) LITES, SEE ELEVS

WINDOW SUBTOTAL 409.9 123.0

GLAZED EXTERIOR DOOR SCHEDULE

I.D.	MANUF.	DESCRIPTION	U-VAL	R.O. WIDTH	R.O. HEIGHT	AREA	UFA	ORIENTATION	OPERATION	FRAME MATERIAL	SAFETY GLASS	NOTES
101.1	MILGARD	ALUMINUM DOOR, SINGLE LITE	0.30	6 2	6 9	41.6	12.5	W	SWING - DBL	ALUM.	YES	
107.1	MILGARD	ALUMINUM DOOR, SINGLE LITE	0.30	3 2	6 9	21.4	6.4	W	SWING	ALUM.	YES	
109.1	MILGARD	ALUMINUM DOOR, SINGLE LITE	0.30	3 2	6 9	21.4	6.4	S	SWING	ALUM.	YES	

GLAZED DOOR SUBTOTAL 84.4 25.3

OPAQUE EXTERIOR DOOR SCHEDULE

100.1	TBD	SOLID CORE WOOD DOOR		5 2	6 9	34.9		N	SWING - DBL	WOOD		VERIFY FINISH & FINAL SPEC W/ ARCHITECT
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GLAZED DOOR SUBTOTAL 84.4 25.3

WINDOW SUBTOTAL 409.9 123.0

FENESTRATION TOTAL 494.2 148.3

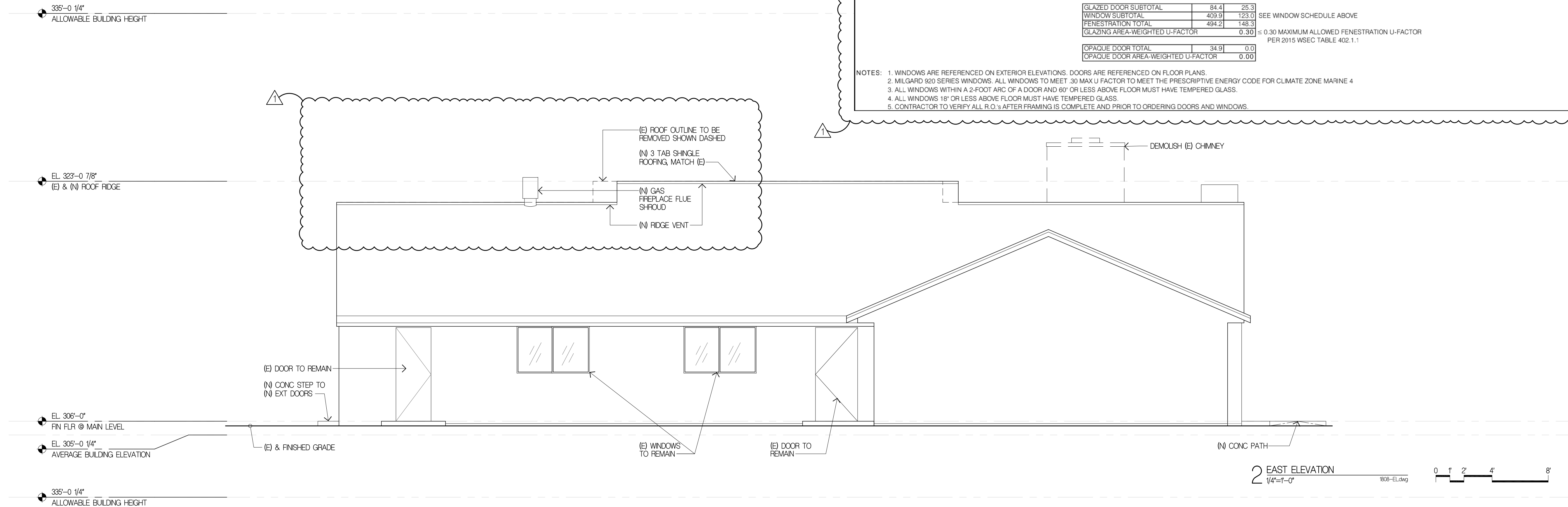
GLAZING AREA-WEIGHTED U-FACTOR 0.30

OPAQUE DOOR TOTAL 34.9 0.0

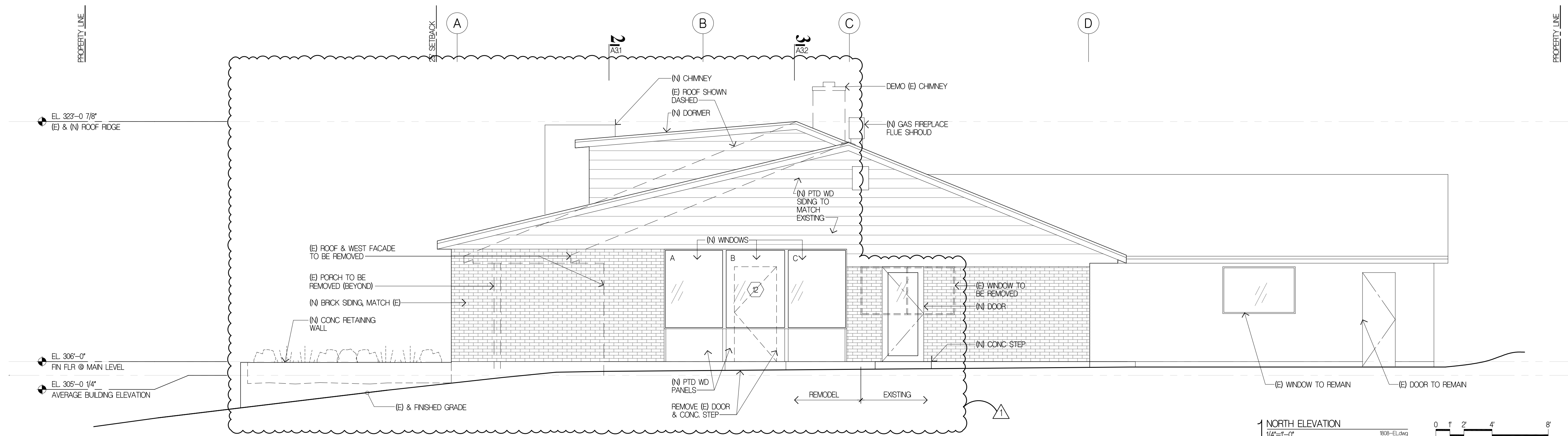
OPAQUE DOOR AREA-WEIGHTED U-FACTOR 0.00

SEE WINDOW SCHEDULE ABOVE
PER 2015 WSEC TABLE 402.1.1
= 0.30 MAXIMUM ALLOWED FENESTRATION U-FACTOR

- NOTES: 1. WINDOWS ARE REFERENCED ON EXTERIOR ELEVATIONS. DOORS ARE REFERENCED ON FLOOR PLANS.
2. MILGARD 920 SERIES WINDOWS. ALL WINDOWS TO MEET .30 MAX U-FACTOR TO MEET THE PRESCRIPTIVE ENERGY CODE FOR CLIMATE ZONE MARINE 4.
3. ALL WINDOWS WITHIN A 2-FOOT ARC OF A DOOR AND 60" OR LESS ABOVE FLOOR MUST HAVE TEMPERED GLASS.
4. ALL WINDOWS 18" OR LESS ABOVE FLOOR MUST HAVE TEMPERED GLASS.
5. CONTRACTOR TO VERIFY ALL R.O.'S AFTER FRAMING IS COMPLETE AND PRIOR TO ORDERING DOORS AND WINDOWS.



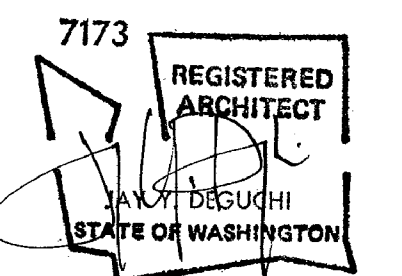
2 EAST ELEVATION
1/4"=1'-0"
1000-EL.dwg
0 1 2 4 8'



1 NORTH ELEVATION
1/4"=1'-0"
1000-EL.dwg
0 1 2 4 8'

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Project Title
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Drawing Title
EXTERIOR ELEVATIONS & WINDOW/DOOR SCHEDULE

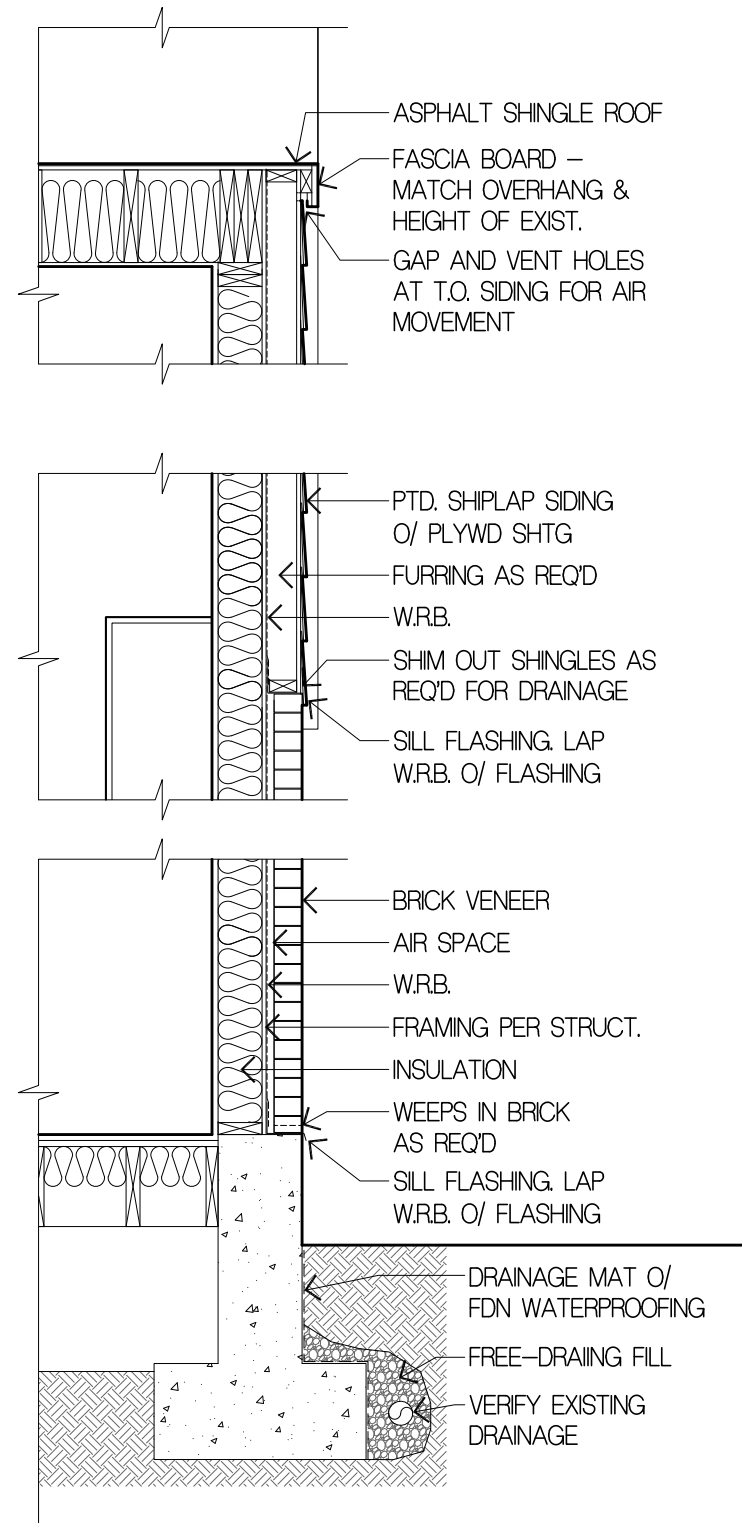
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1608

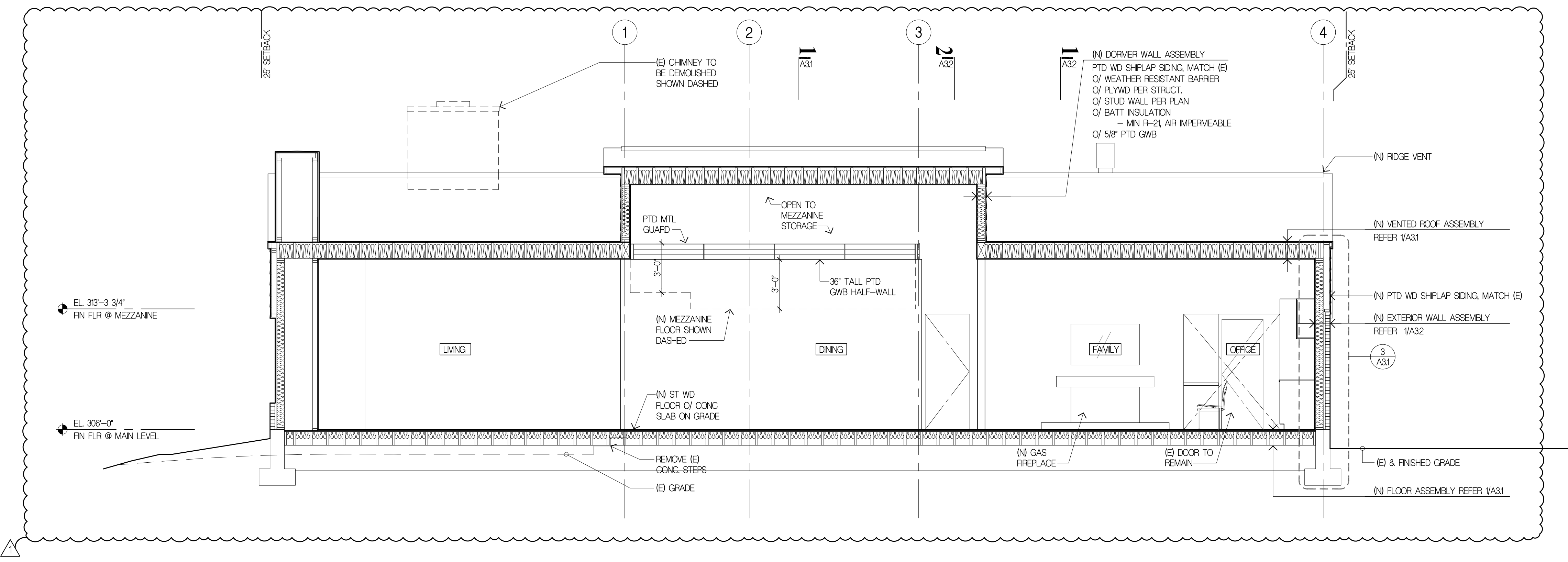
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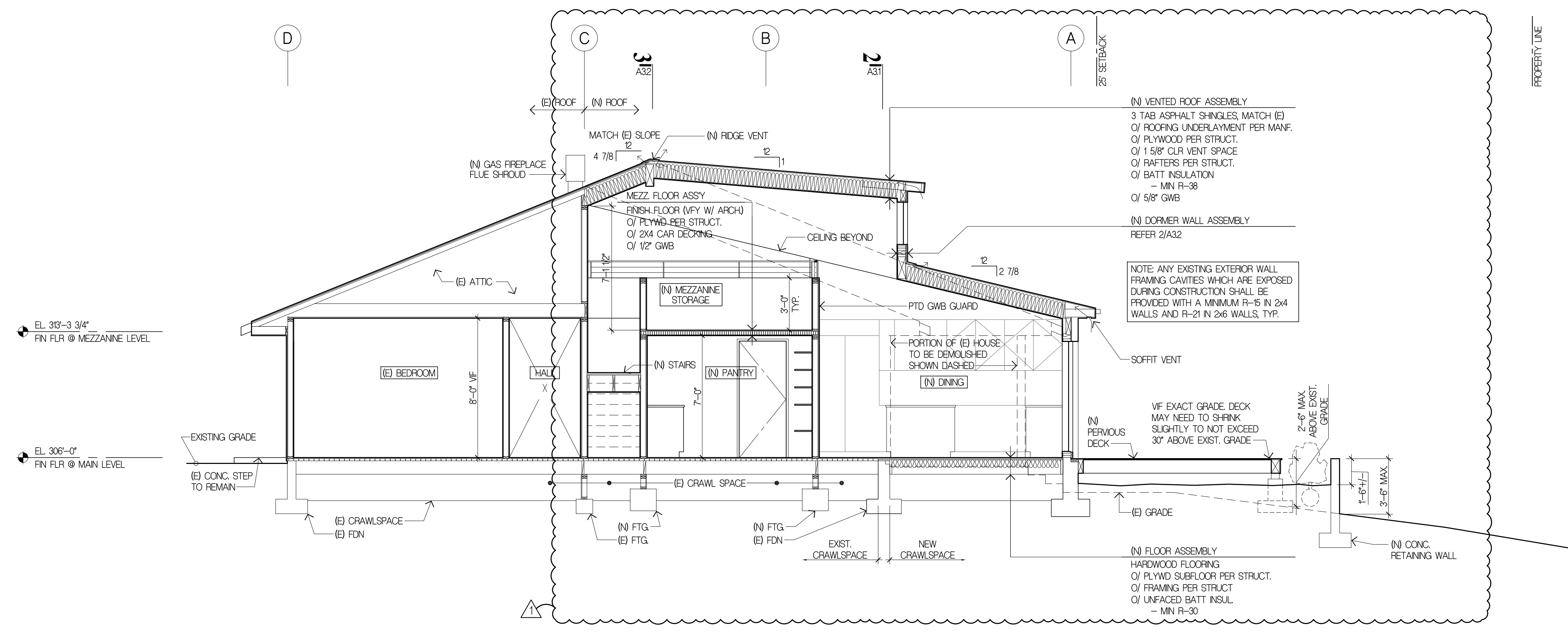
A2.2



3 TYPICAL WALL SECTION
 1/2"=1'-0" A-BSdwg

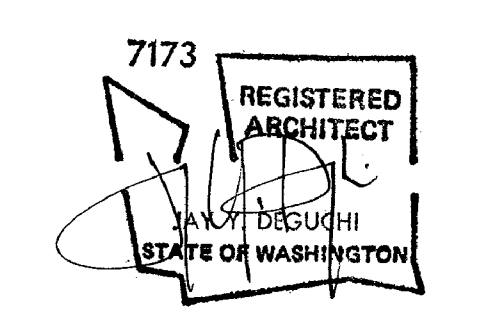


2 SECTION LOOKING EAST
 1/4"=1'-0" A-BSdwg



1 SECTION LOOKING SOUTH
 1/4"=1'-0" A-BSdwg

Project Title
FUKANO RESIDENCE
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Drawing Title
BUILDING SECTIONS

Date
 11/4/18

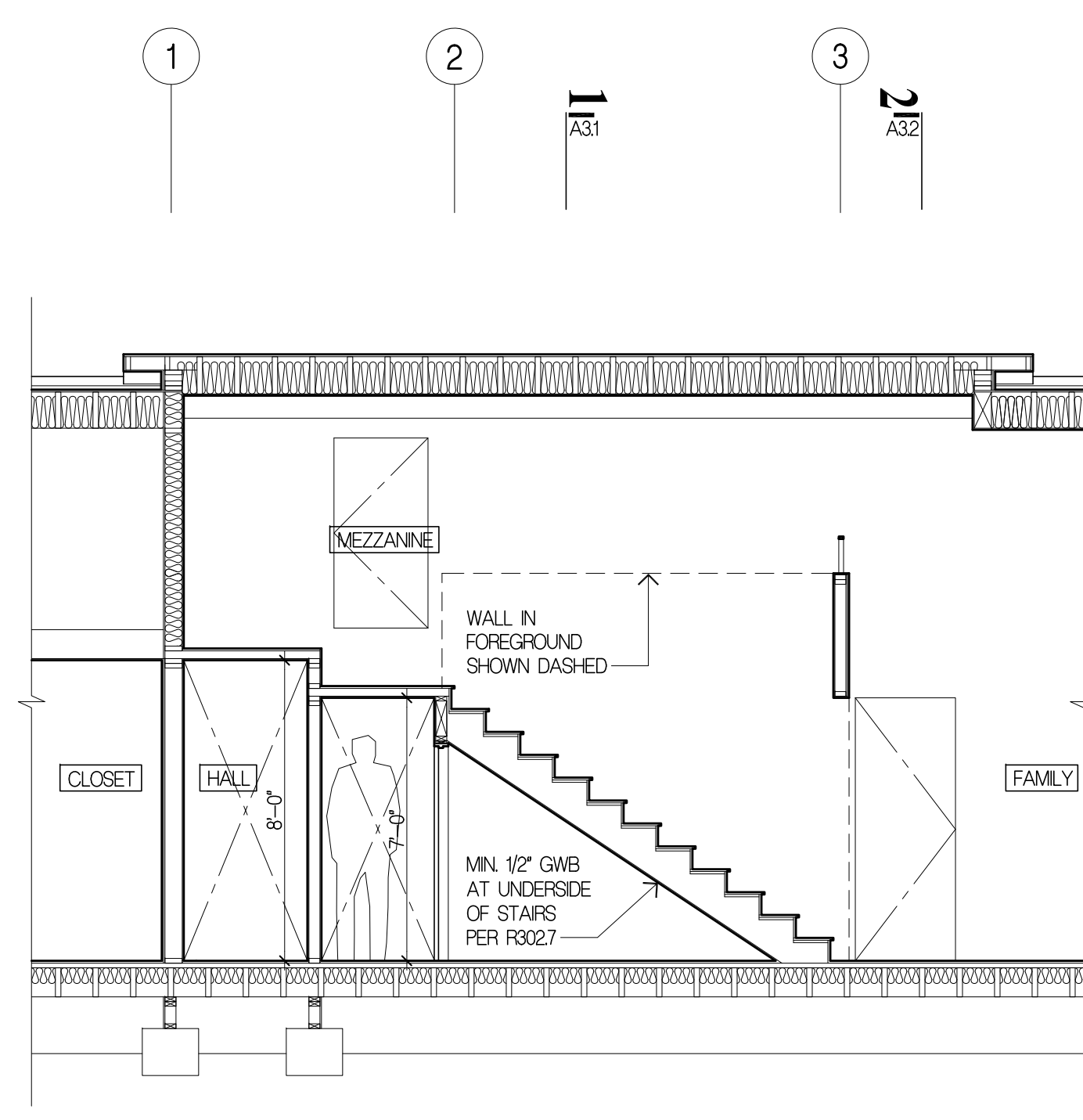
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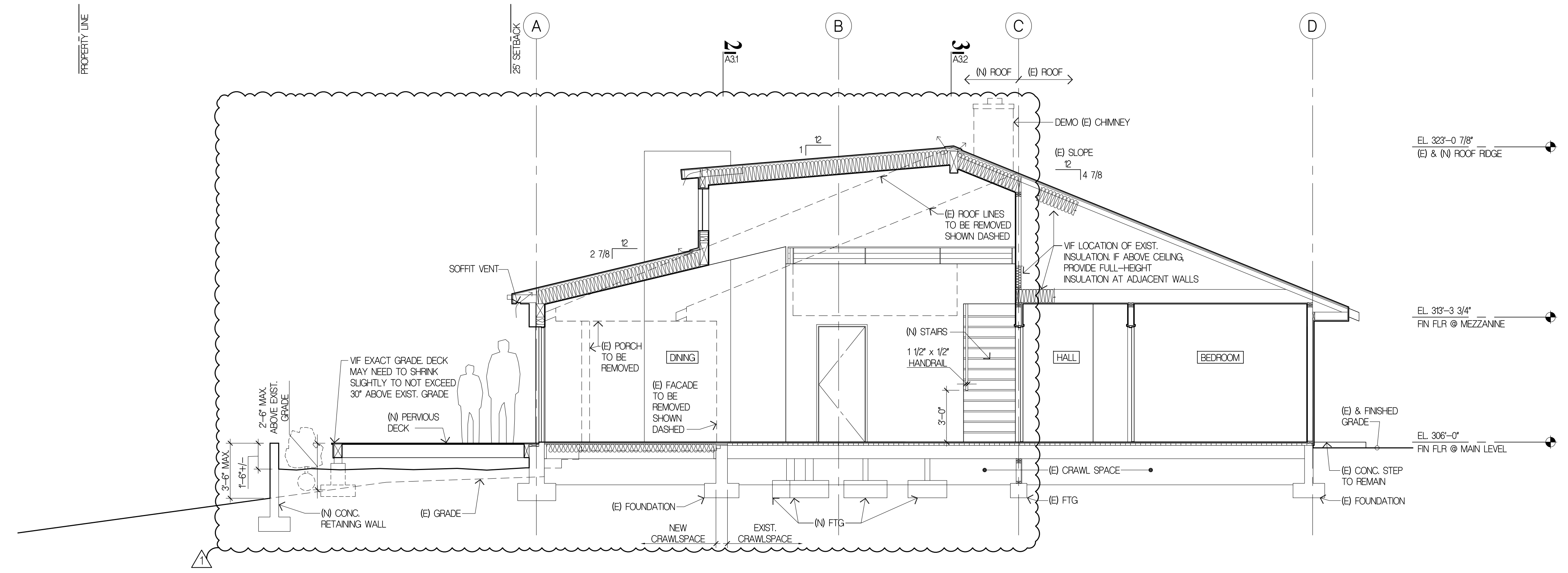
PERMIT SET
 Sheet No.

A3.1

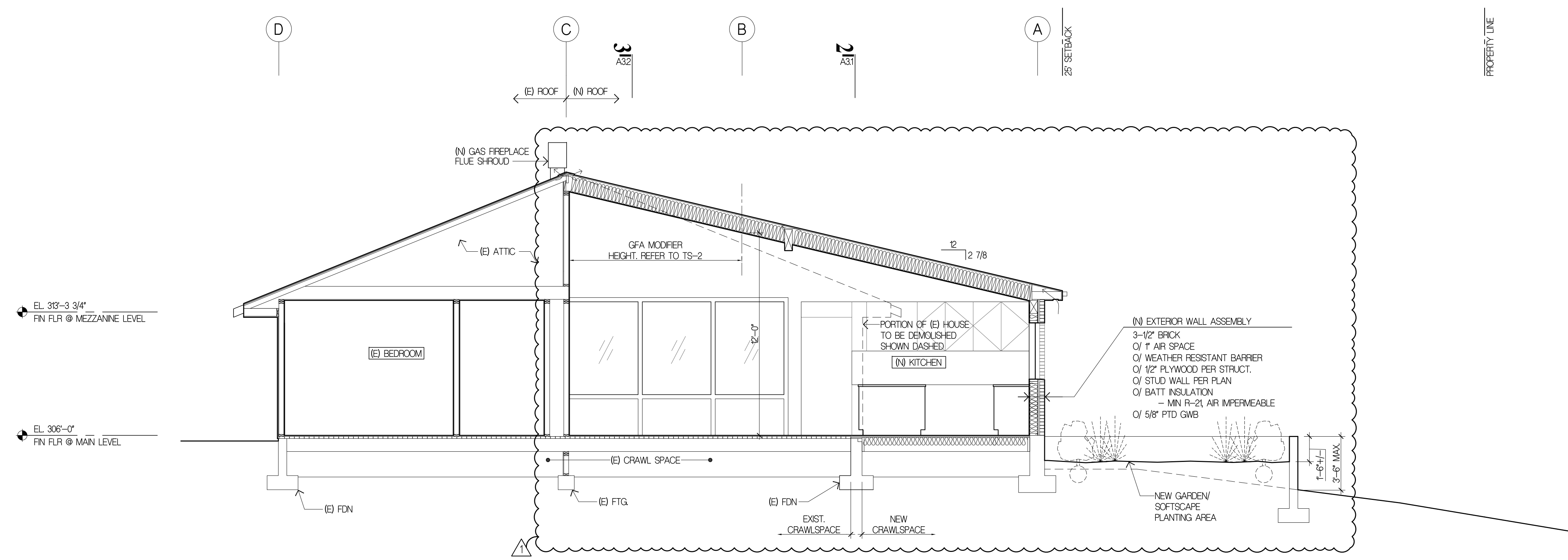
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3 SECTION LOOKING EAST @ MEZZ
 1/4"=1'-0"
 A-B&dwg

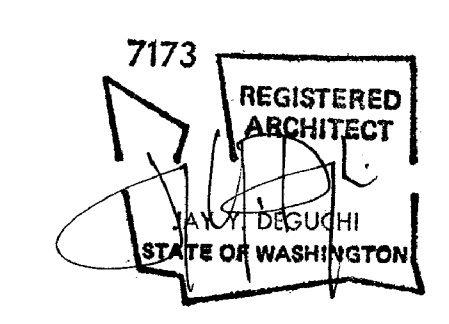


2 SECTION LOOKING NORTH
 1/4"=1'-0"
 A-B&dwg



1 SECTION LOOKING SOUTH
 1/4"=1'-0"
 A-B&dwg

Project Title
FUKANO RESIDENCE
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 MERCER ISLAND, WA 98040



Drawing Title
BUILDING SECTIONS

Date:
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A3.2

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FOUNDATION AND FRAMING PLAN LEGEND

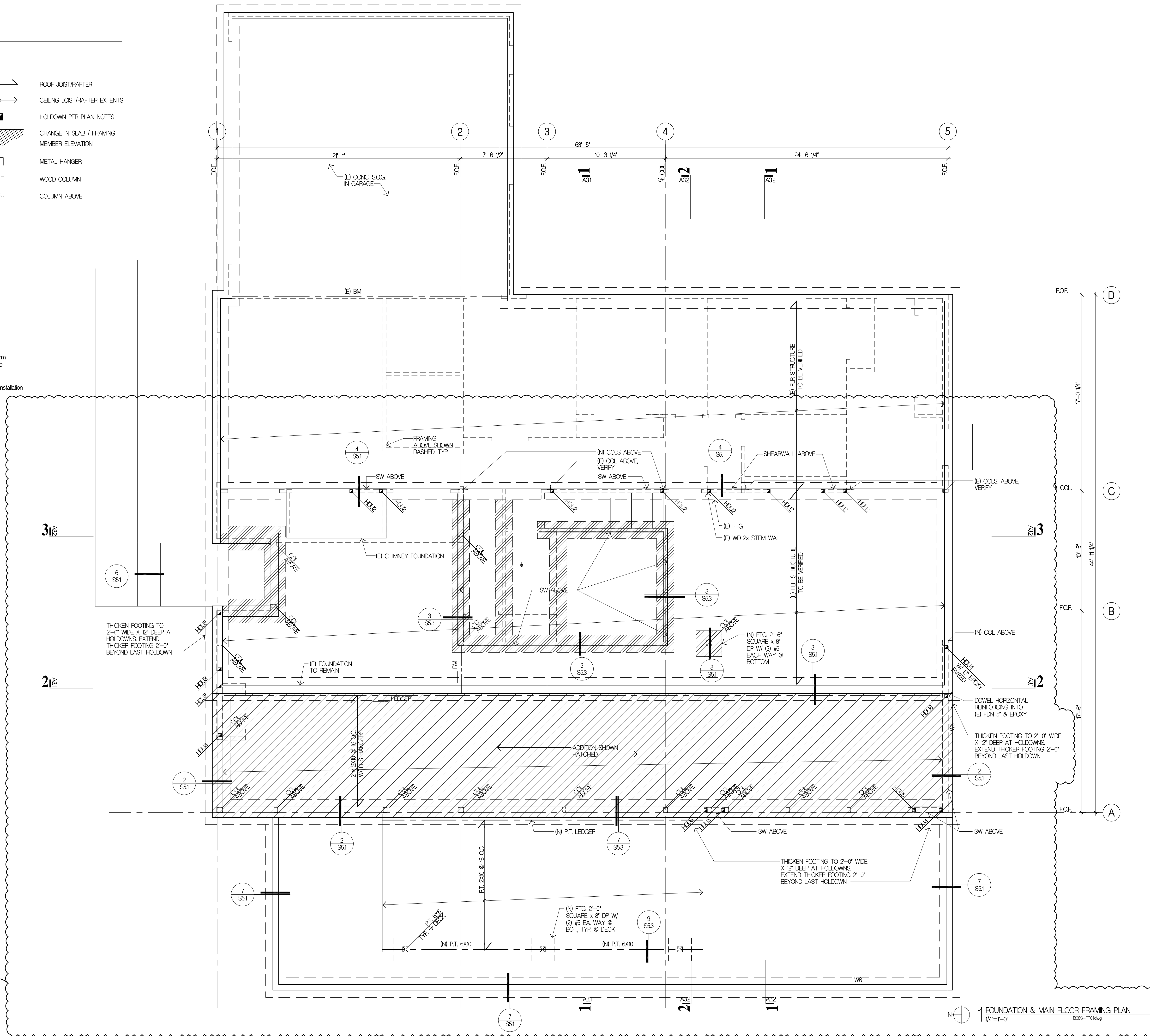
	NON-STRUCTURAL WALL		ROOF JOIST/RAFTER
	THICKENED SLAB EDGE		CEILING JOIST/RAFTER EXTENTS
	SHEAR WALL (HEAVIEST LINE INDICATES PANEL SIDE)		HOLD-DOWN PER PLAN NOTES
	BEARING WALL		CHANGE IN SLAB / FRAMING MEMBER ELEVATION
	BEAM/HEADER/LEDGER		METAL HANGER
	STRAP		WOOD COLUMN
	BLOCKING		COLUMN ABOVE
DB	DROPPED BEAM		
FB	FLUSH BEAM		
RB	RIDGE BEAM		
W _L	SHEARWALL SEE SCHEDULE 1/SS1		
GLC	GLULAM COLUMN		

FOUNDATION PLAN NOTES (TYPICAL, UNLESS OTHERWISE NOTED)

1. Do not scale drawings. Refer to architectural drawings for all dimensions.
2. The bottom of all exterior footings shall be 18" minimum below grade.
3. 4" concrete slab over 6mil vapor barrier on 4" of gravel or crushed rock over firm undisturbed soil or engineered backfill. Reinforce with #3 @ 16" O.C. E-W. Provide construction/control joints per Detail 9/SS1.
4. HDU# indicates hold-down anchor at end of shear wall above. Install per manufacturer's specifications. See 5/SS1 for Hold-Down Schedule for additional installation requirements.
5. Provide corner bars per Detail 10/SS1 at all wall and footing intersections.
6. Refer to General Structural Notes for additional requirements.

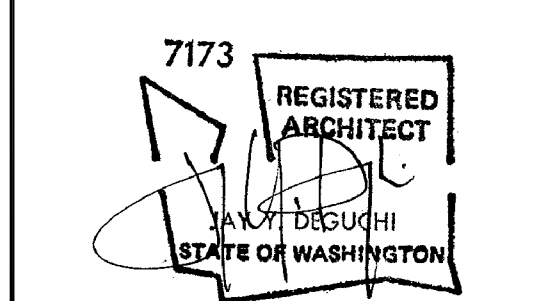
MAIN FLOOR FRAMING PLAN NOTES (TYPICAL, UNLESS OTHERWISE NOTED)

1. Do not scale drawings. Refer to architectural drawings for all dimensions.
2. Floor sheathing shall be 3/4" tongue and groove APA rated panels. Glue and nail at all framed panel edges with 10d @ 6" o.c. and to all intermediate framing at 12" o.c.
3. Refer to General Structural Notes for additional requirements.



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Drawing Title
FOUNDATION & MAIN FLOOR FRAMING PLAN

Date
 11/4/18
 Job No.
 808

ISSUE	DATE
△ CORRECTIONS/REVISION	10/16/20

PERMIT SET
 Sheet No.

S1.1

FOUNDATION AND FRAMING PLAN LEGEND

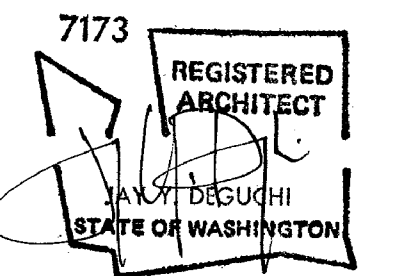
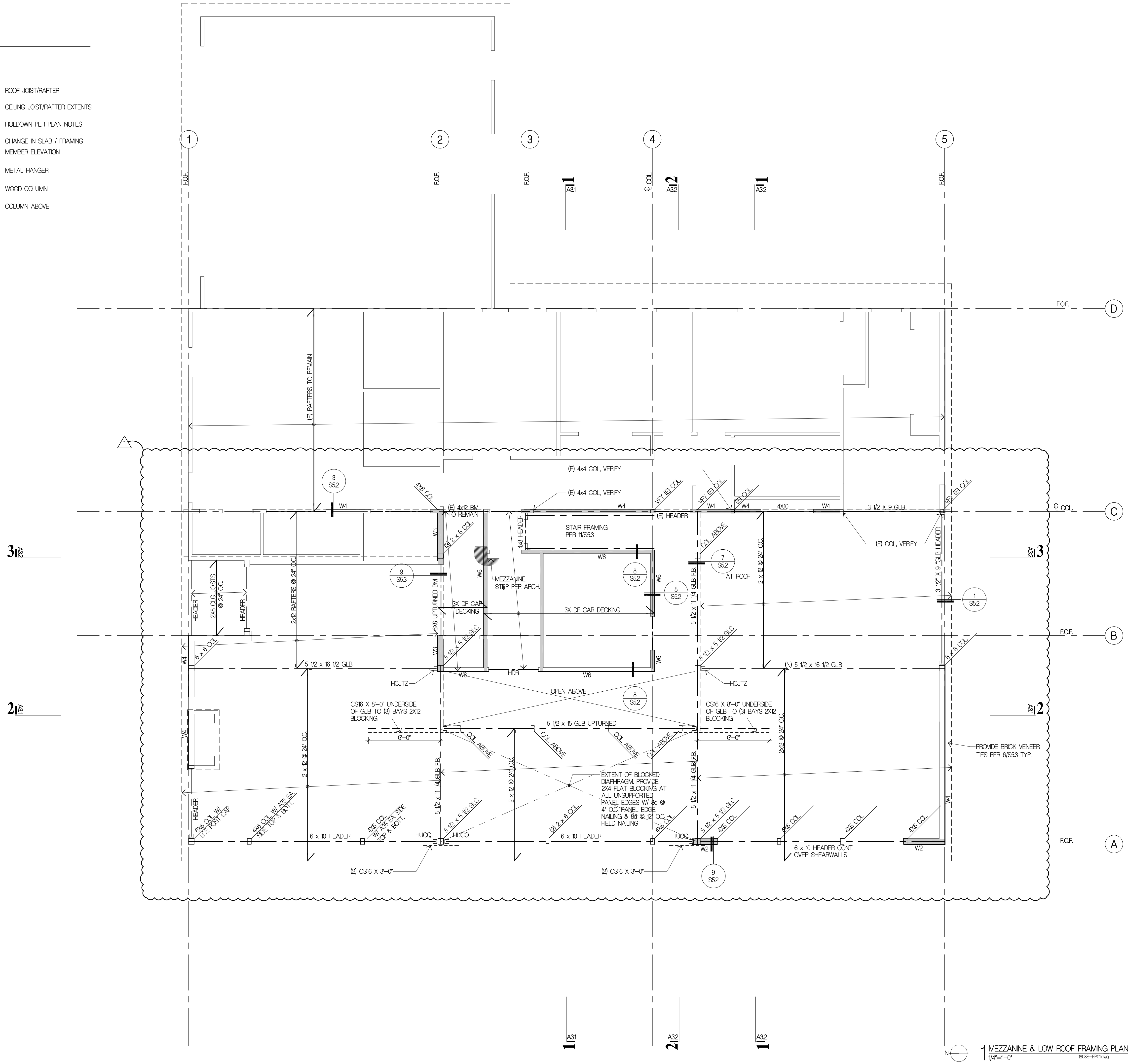
	NON-STRUCTURAL WALL		ROOF JOIST/RAFTER
	THICKENED SLAB EDGE		CEILING JOIST/RAFTER EXTENTS
	SHEAR WALL (HEAVIEST LINE INDICATES PANEL SIDE)		HOLDDOWN PER PLAN NOTES
	BEARING WALL		CHANGE IN SLAB / FRAMING MEMBER ELEVATION
	BEAM/HEADER/LEDGER		METAL HANGER
	STRAP		WOOD COLUMN
	BLOCKING		COLUMN ABOVE
DB	DROPPED BEAM		
FB	FLUSH BEAM		
RB	RIDGE BEAM		
W _L	SHEARWALL SEE SCHEDULE 1/SS1		
GLC	GLULAM COLUMN		

MEZZANINE FLOOR FRAMING PLAN NOTES (TYPICAL, UNLESS OTHERWISE NOTED)

- Do not scale drawings. Refer to architectural drawings for all dimensions.
- Floor sheathing shall be 1/2" APA rated panels. Face grain perpendicular to decking span over 3X decking per plan and general structural notes. Glue and nail at all panel edges with 8d at 6" o.c. and to all intermediate framing at 12" o.c.
- Headers over door and window openings shall be (2) 2x8 minimum. Provide (2) trimmer studs (minimum) at each end of all headers unless noted otherwise on plans. See Detail 1/SS2 for typical installation.
- Verify or provide (2) studs (minimum) at each end of all beams unless noted otherwise on plans. Bear beam fully on built up column and provide AC, PC, or LPC cap.
- W # indicates shear wall. See Shearwall Schedule for construction requirements.
- Splice all double top plates per 5/SS3.
- All exterior walls shall be W6, unless noted otherwise on plans.
- Refer to General Structural Notes for additional requirements.

ROOF FRAMING PLAN NOTES (TYPICAL, UNLESS OTHERWISE NOTED)

- Do not scale drawings. Refer to architectural drawings for all dimensions.
- Roof sheathing shall be 5/8" tongue and groove APA rated panels. Glue and nail at all framed panel edges with 10d @ 6" O.C. and to all intermediate framing at 12" O.C.
- Headers over door and window openings shall be (2) 2x8 minimum. Provide (2) trimmer studs (minimum) at each end of all headers unless noted otherwise on plans. See Detail 1/SS2 for typical installation.
- Verify or provide (2) studs (minimum) at each end of all beams unless noted otherwise on plans. Bear beam fully on built up column and provide AC, PC, or LPC cap where concealed.
- W # indicates shear wall. See Shearwall Schedule for construction requirements.
- All exterior walls shall be W6, unless noted otherwise on plans.
- Provide H25 hurricane tie at each beam where it bears on exterior wall.
- Refer to General Structural Notes for additional requirements.
- All exposed framing members are to be selected for architectural paint grade.



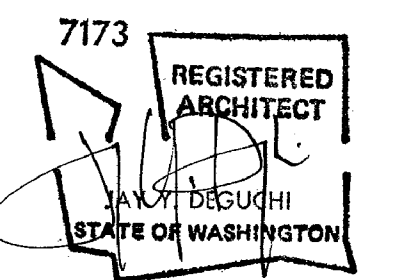
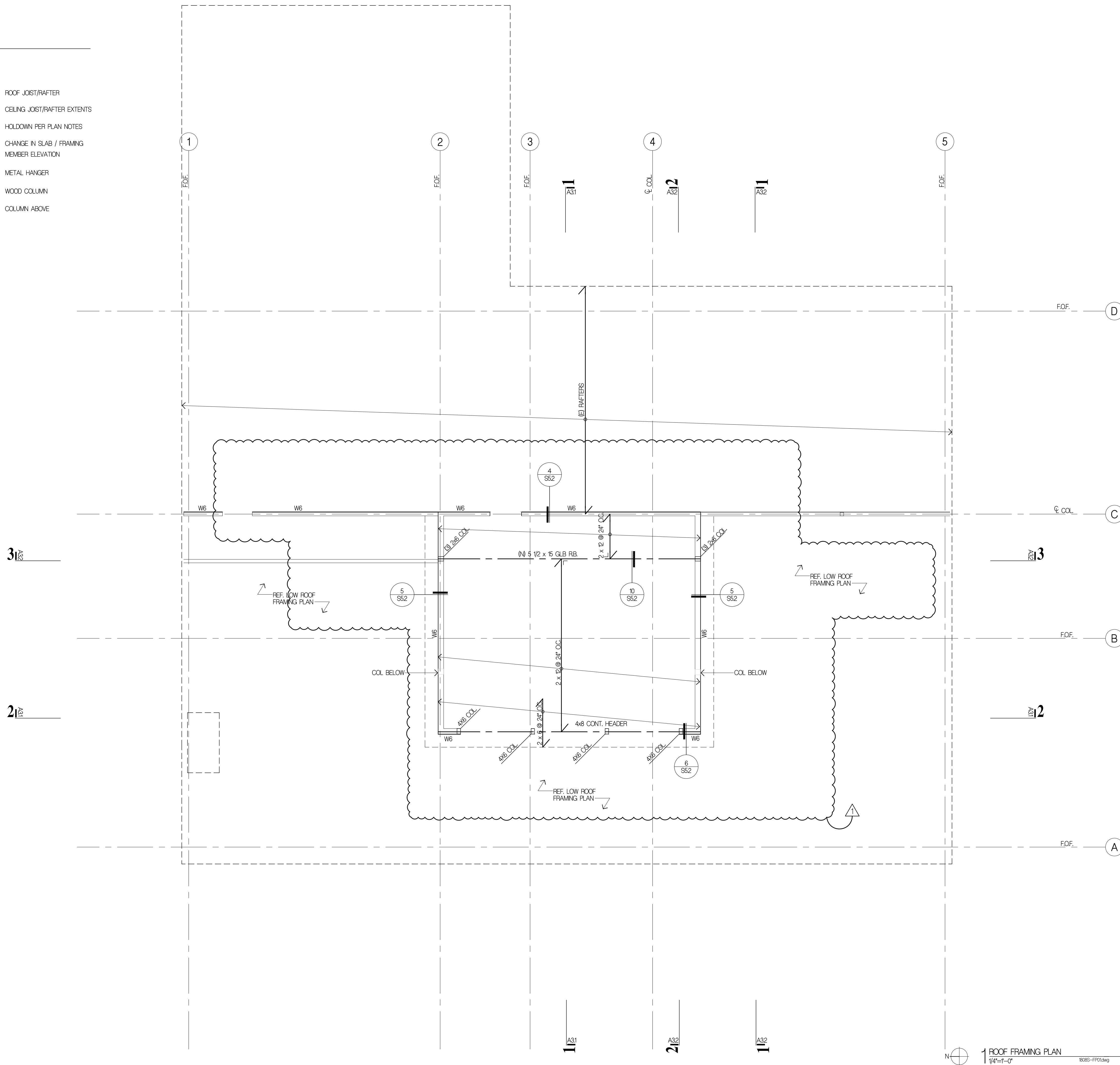
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FOUNDATION AND FRAMING PLAN LEGEND

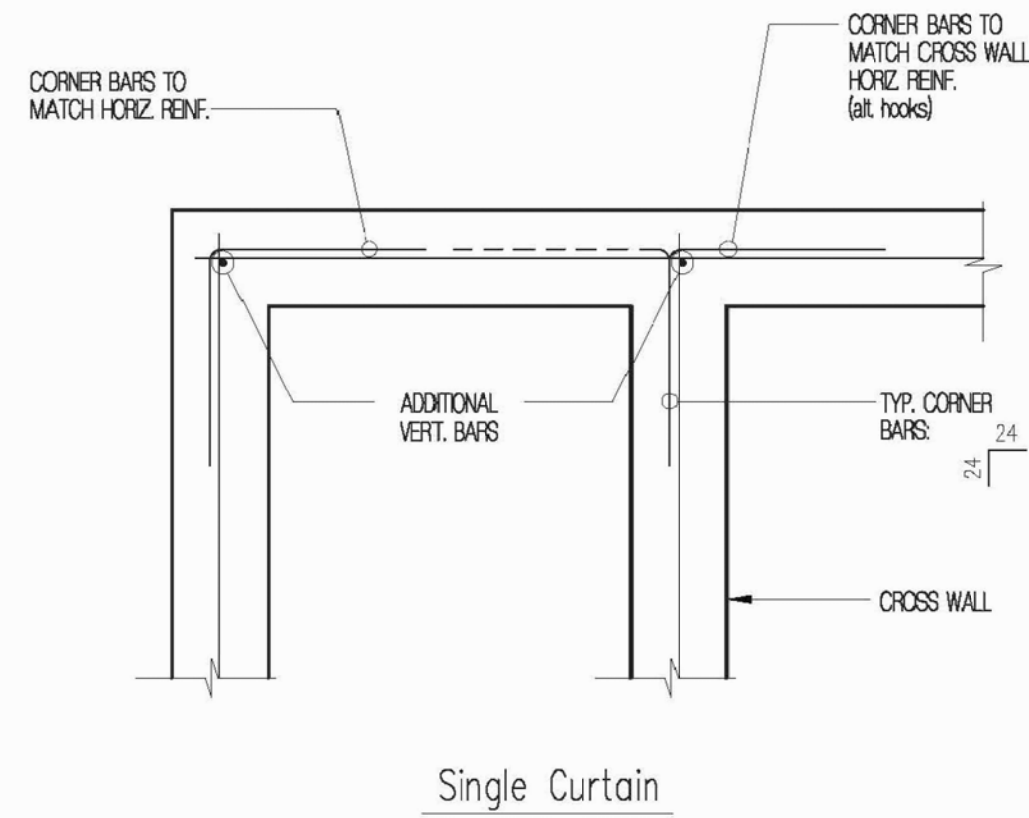
	NON-STRUCTURAL WALL		ROOF JOIST/RAFTER
	THICKENED SLAB EDGE		CEILING JOIST/RAFTER EXTENTS
	SHEAR WALL (HEAVIEST LINE INDICATES PANEL SIDE)		HOLDDOWN PER PLAN NOTES
	BEARING WALL		CHANGE IN SLAB / FRAMING MEMBER ELEVATION
	BEAM/HEADER/LEDGER		METAL HANGER
	STRAP		WOOD COLUMN
	BLOCKING		COLUMN ABOVE
DB	DROPPED BEAM		
FB	FLUSH BEAM		
RB	RIDGE BEAM		
W _L	SHEARWALL SEE SCHEDULE 1/S&1		
GLC	GLULAM COLUMN		

ROOF FRAMING PLAN NOTES (TYPICAL, UNLESS OTHERWISE NOTED)

- Do not scale drawings. Refer to architectural drawings for all dimensions.
- Roof sheathing shall be 5/8" tongue and groove APA, rated panels. Glue and nail at all framed panel edges with 10D @ 6" O.C. and to all intermediate framing at 12" O.C.
- Headers over door and window openings shall be (2) 2x8 minimum. Provide (2) trimmer studs (minimum) at each end of all headers unless noted otherwise on plans. See Detail 11/S&2 for typical installation.
- Verify or provide (2) studs (minimum) at each end of all beams unless noted otherwise on plans. Bear beam fully on built up column and provide AC, PC, or LPC cap where concealed.
- W_L indicates shear wall. See Shearwall Schedule for construction requirements.
- All exterior walls shall be W6, unless noted otherwise on plans.
- Provide H-25 hurricane tie at each beam where it bears on exterior wall.
- Splice all double top plates per 5/S&3.
- Refer to General Structural Notes for additional requirements.
- All exposed framing members are to be selected for architectural paint grade.

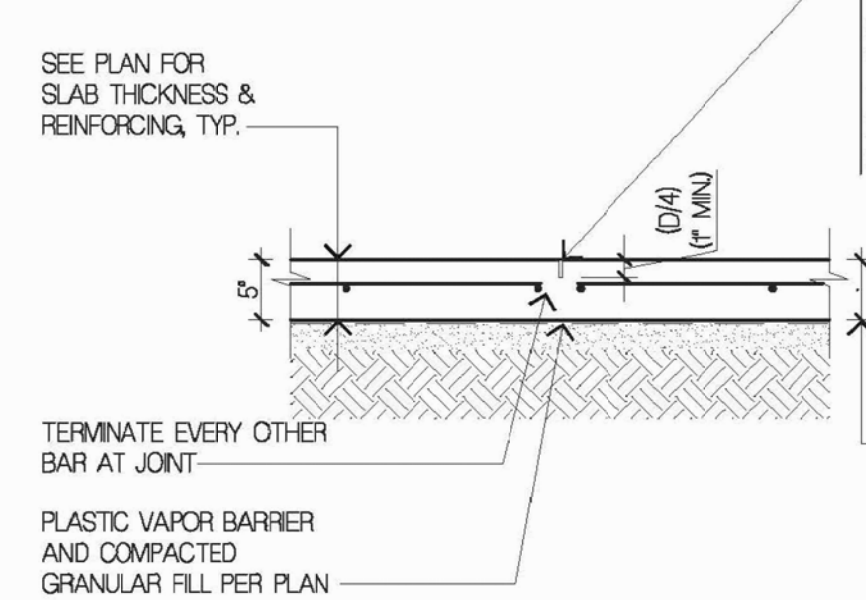


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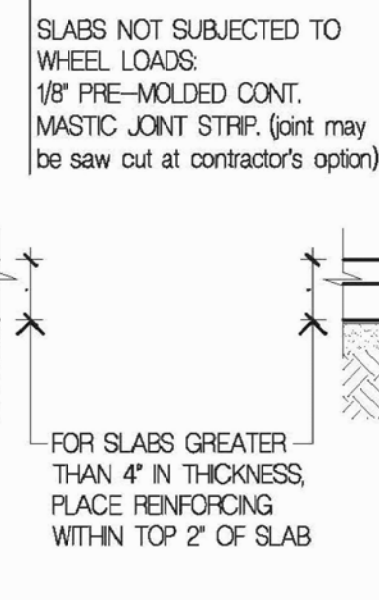


Typ. Corner Bars at Concrete Walls and Footings 10

NOTE: PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 250 SQUARE FEET OR LESS. AREAS TO BE APPROX. SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.

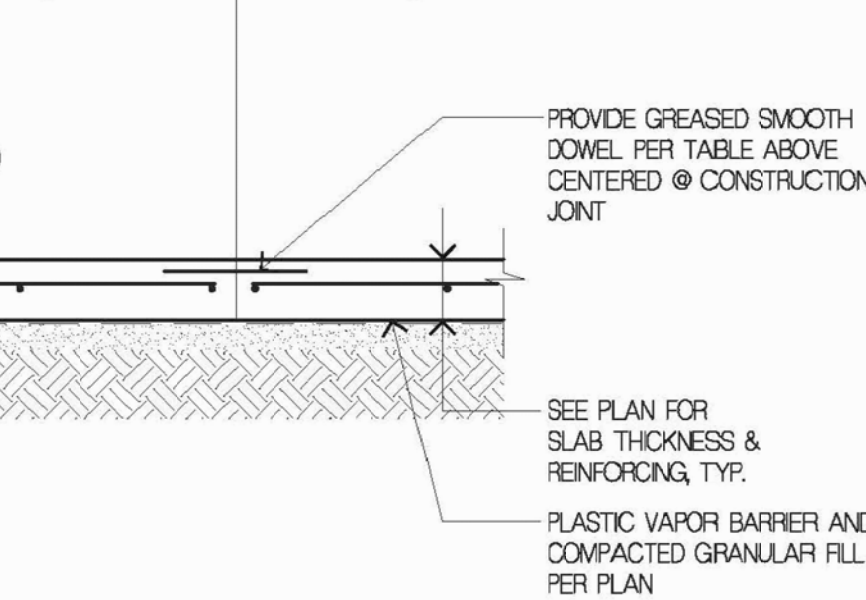


SLABS SUBJECT TO WHEEL LOADS: SAW CUT CONTROL JOINT, FILL JOINT W/ SEMI-RIGID EPOXY OR POLYUREA W/ MIN. SHORE A HARNNESS = 80

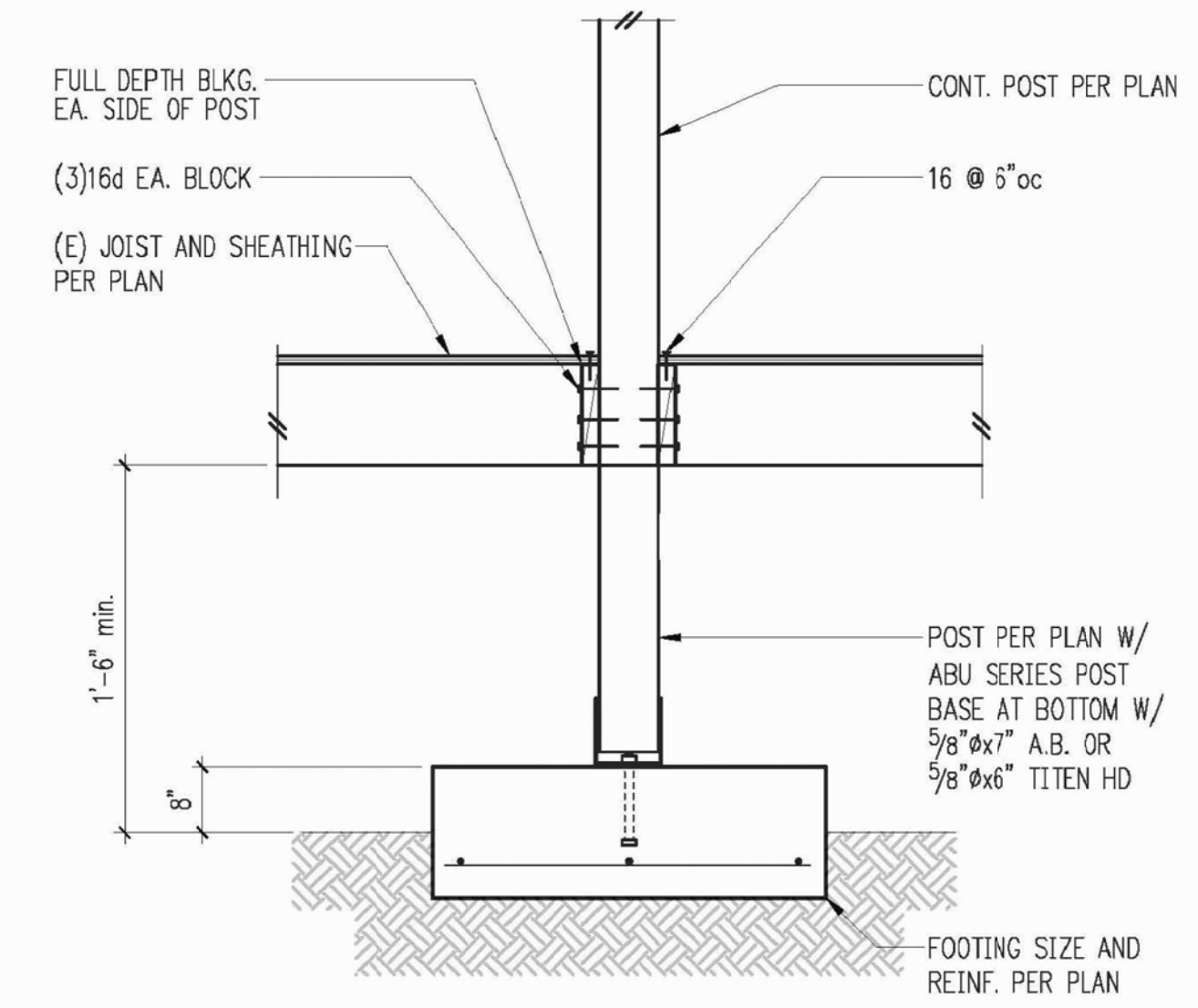


Table

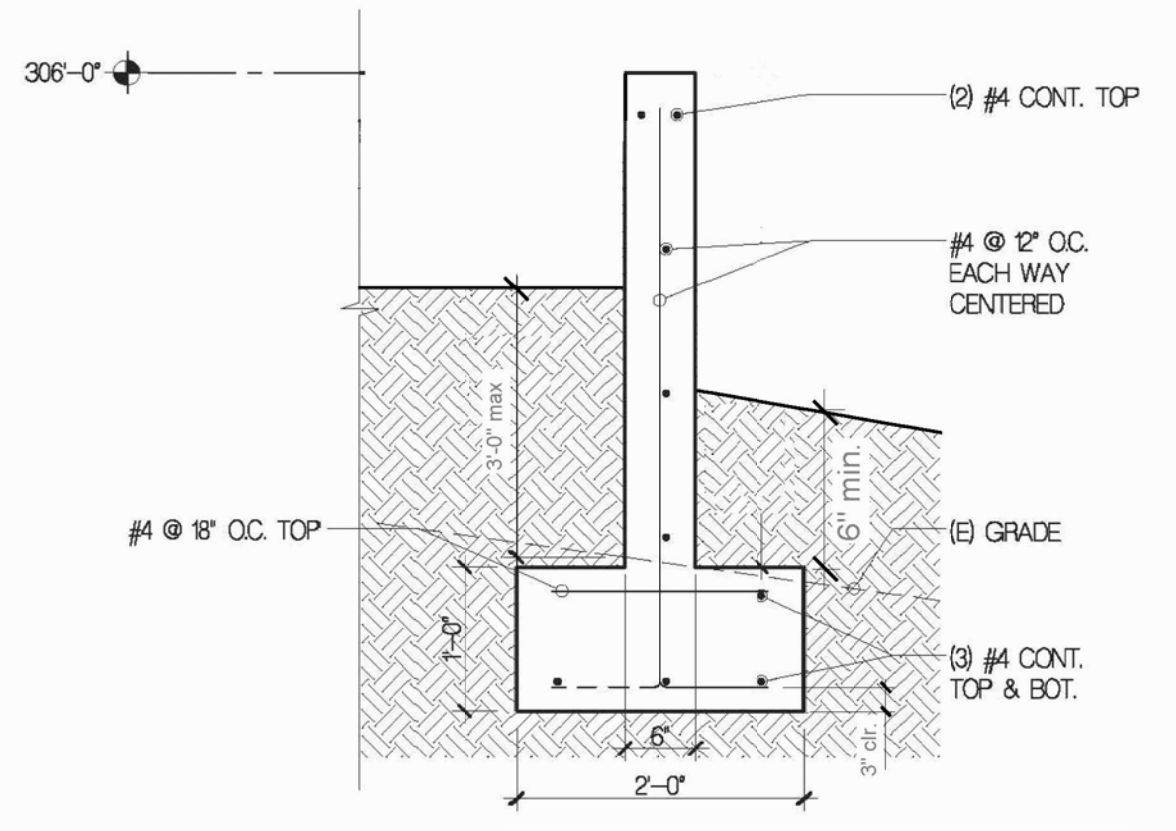
Slab Depth	Dowel Size	Dowel Spacing
4'-5'	5/8" dia. x 14"	12" oc



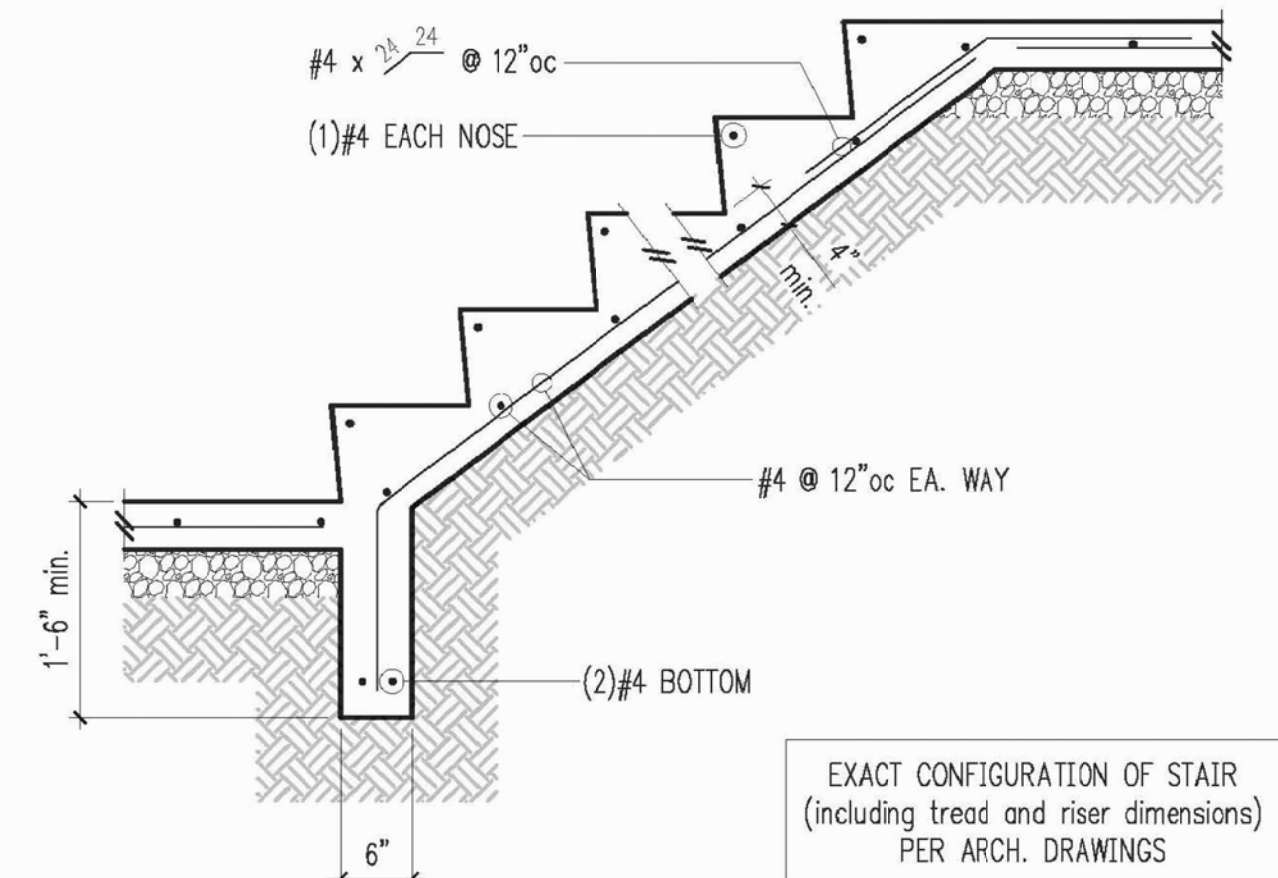
Typ. Slab Joints 9



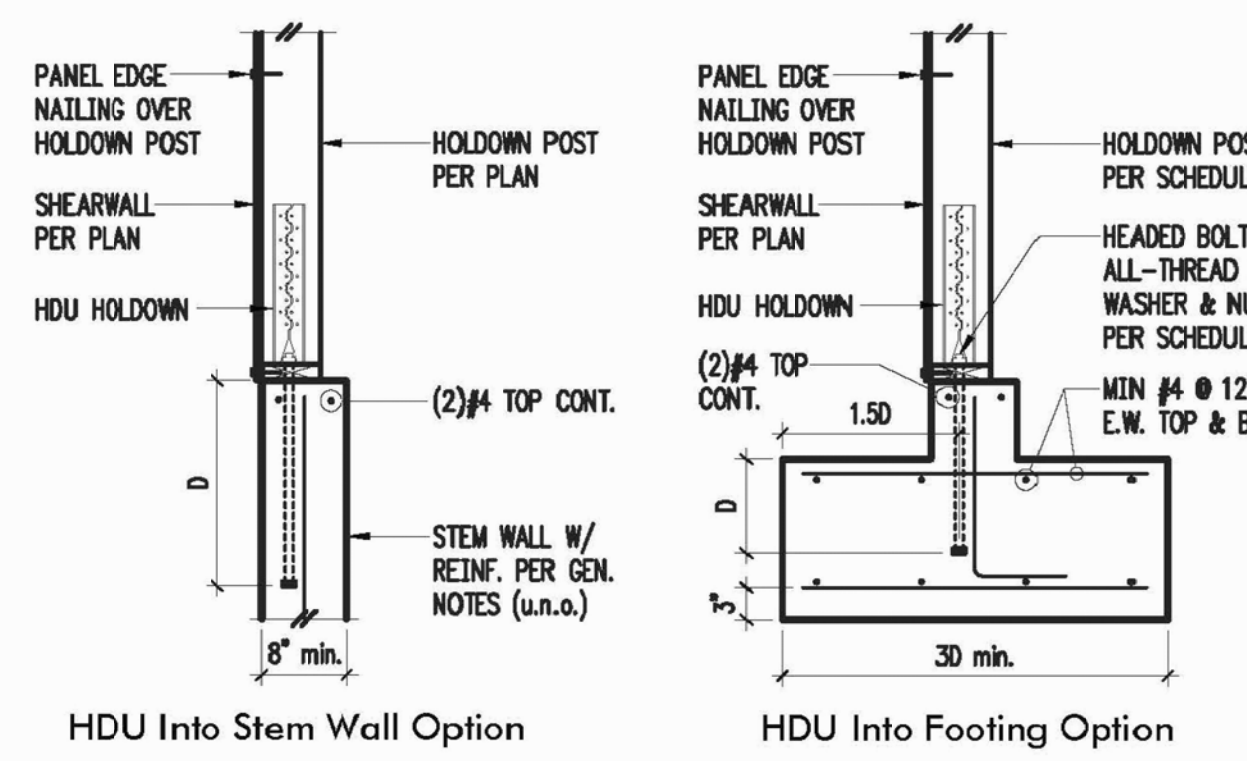
Post Footing at Crawl Space 8



(N) Retaining Wall @ Patio 7



Typical Stair On Grade 6

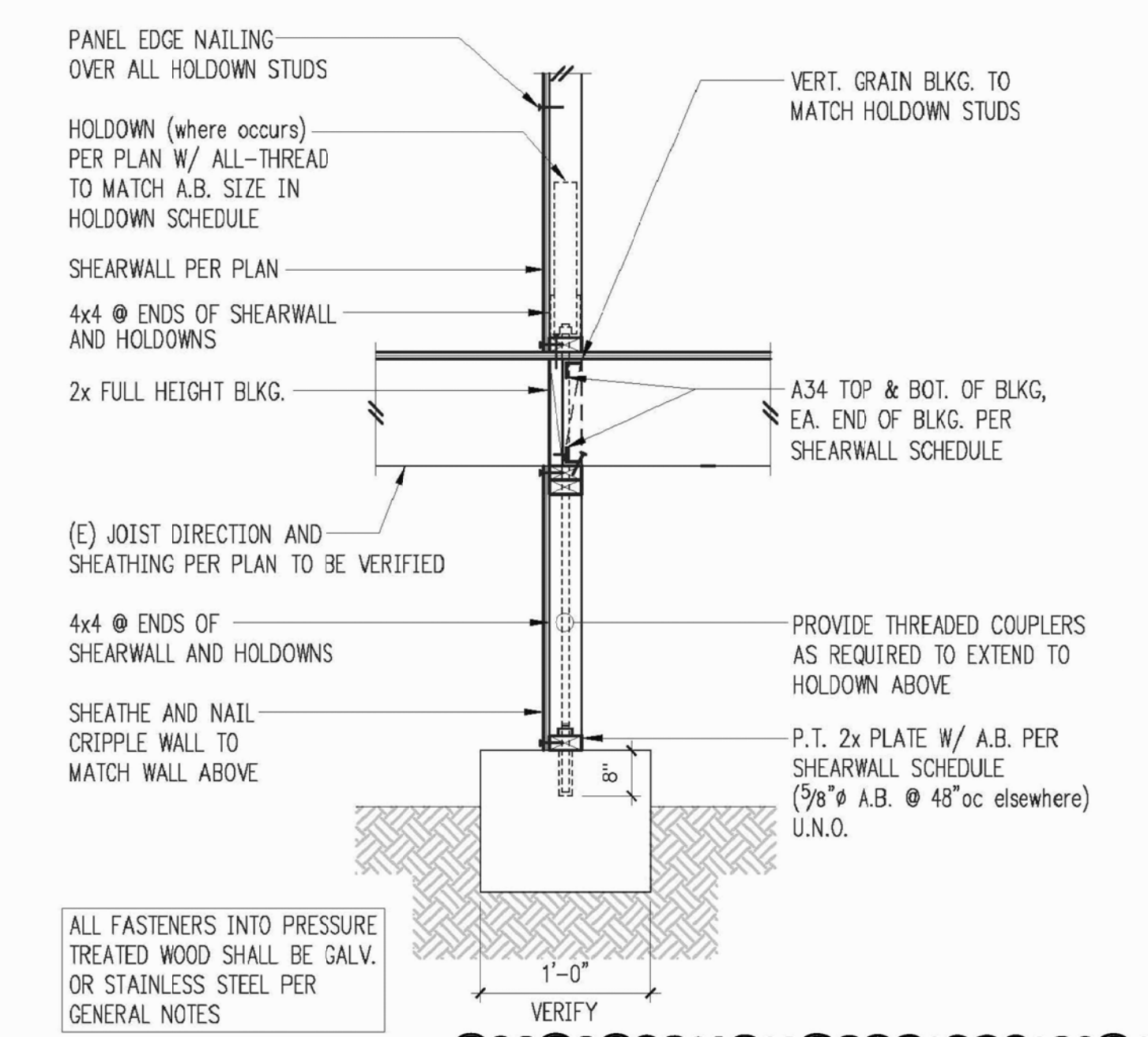


Holdown Schedule

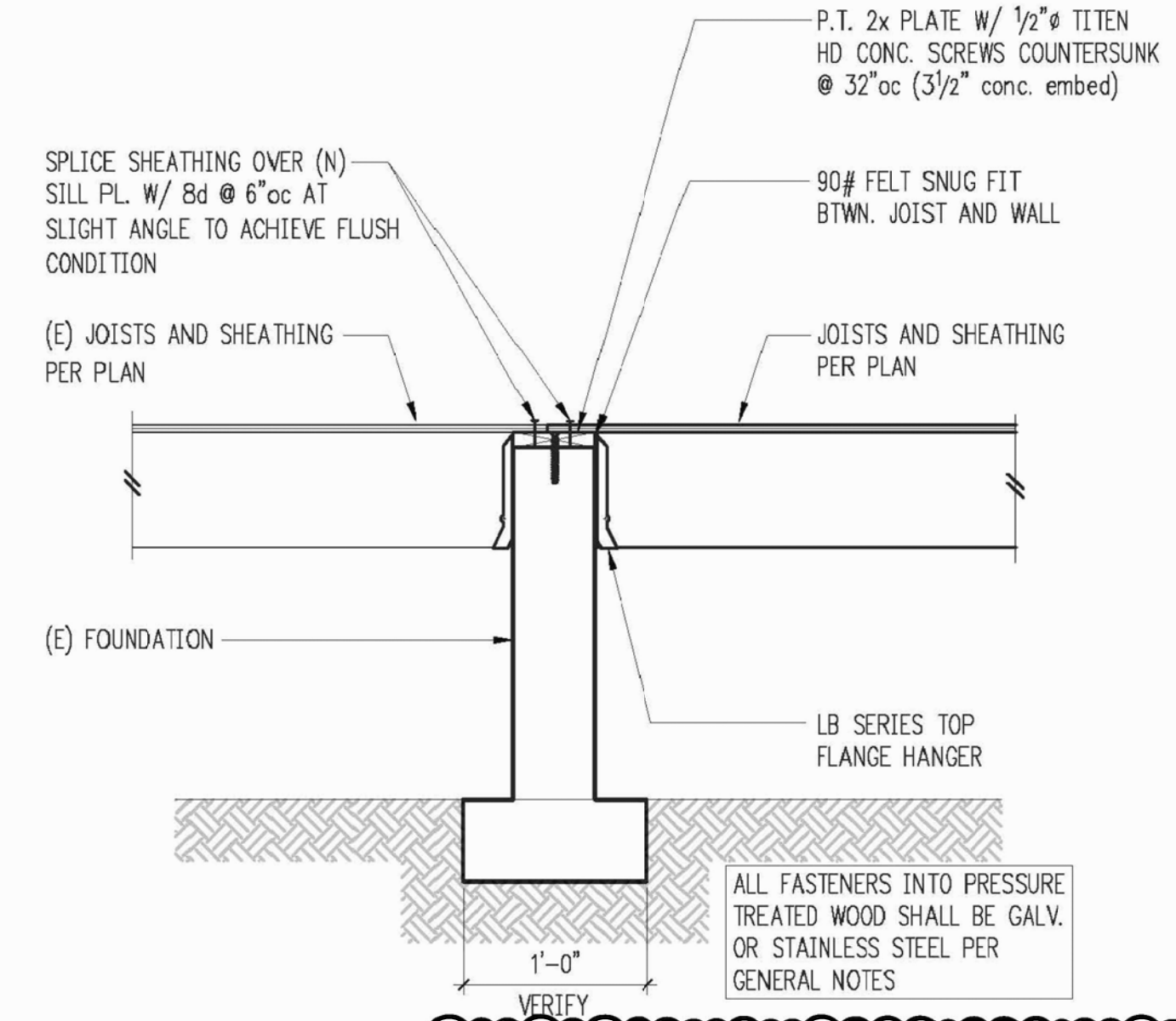
Plan Mark	Screws	Anchor Bolt	Min. A.B. Embed (D)		Holdown Post ①	
			Stem Wall	Footing	if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2 1/2"	5/8"φ	12"	4"	(2) 2x4	(2) 2x6
HDU4-SDS2.5	(10)SDS 1/4"x2 1/2"	5/8"φ	18"	6"	4x4	4x6
HDU5-SDS2.5	(14)SDS 1/4"x2 1/2"	5/8"φ	S870x24	7"	4x4	4x6
HDU8-SDS2.5	(20)SDS 1/4"x2 1/2"	7/8"φ	SSTB28	8"	4x6	6x6

① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

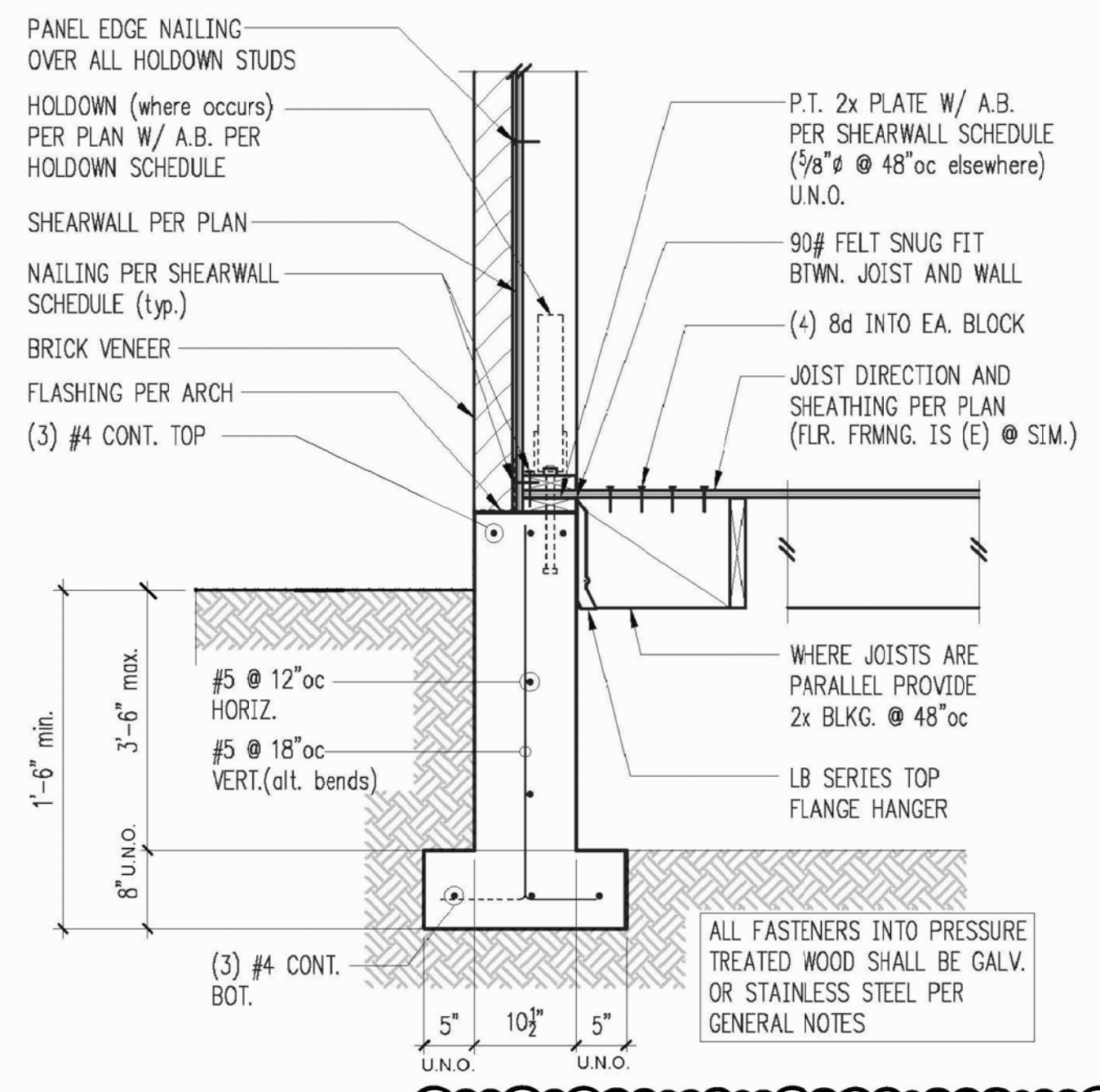
Typical HDU Holdown 5



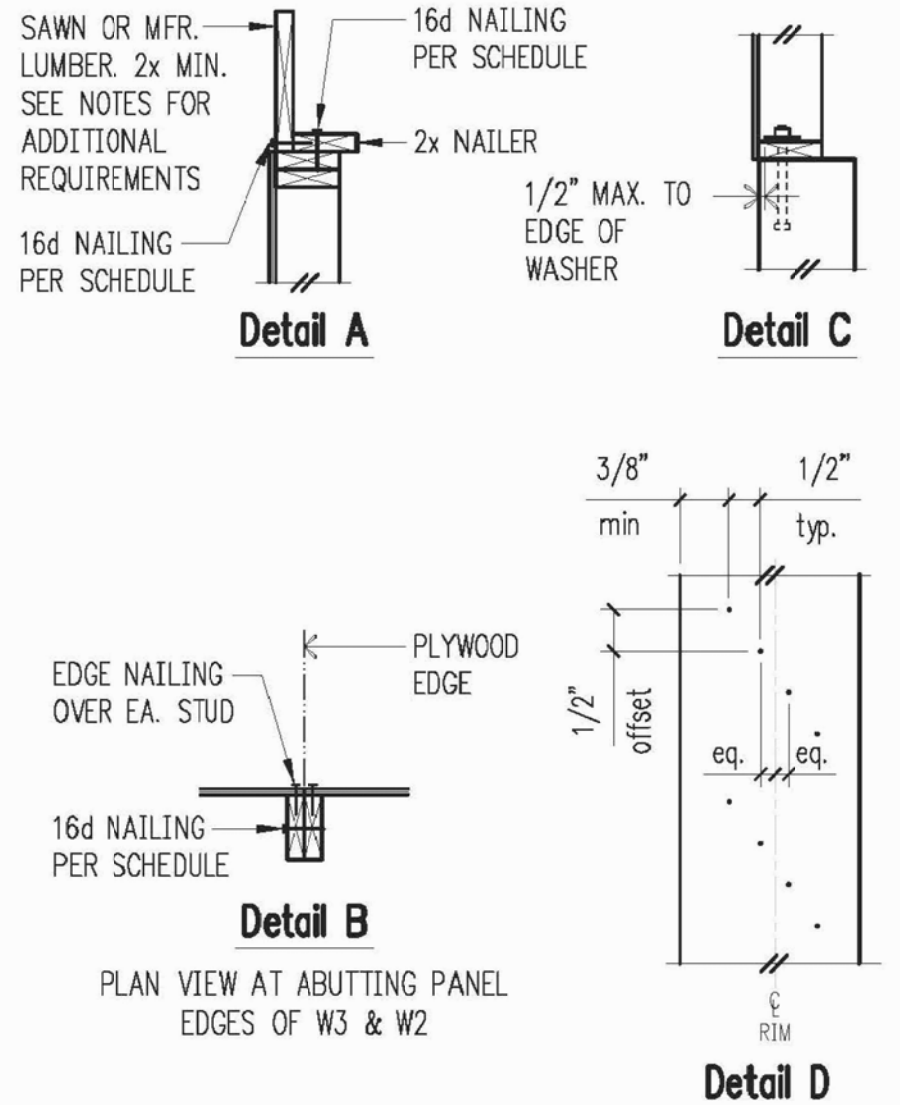
(E) Foundation with Cripple Wall 4



Interior Framing at Crawl Space 3



Exterior Framing at Crawl Space 2



Shearwall Schedule ①②③④⑤⑥⑦

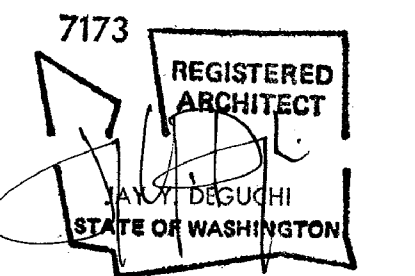
Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection	
			if TJI	if Wood ⑧	at Wood ⑩	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	5/8"φ A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc	(2)rows 16d @ 6"oc	5/8"φ A.B. @ 32"oc
W3 ④	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc	(2)rows 16d @ 6"oc	5/8"φ A.B. @ 24"oc
W2 ④	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc	(2)rows 16d @ 4"oc ⑪	5/8"φ A.B. @ 16"oc

- BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"oc.
- 8d NAILS SHALL BE 0.131"φ x 2 1/2" (common) - 16d NAILS SHALL BE 0.135"φ x 3 1/2" (box)
- EMBED ANCHOR BOLTS AT LEAST 7". EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
- 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX.
- LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
- PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.

Shearwall Schedule 1

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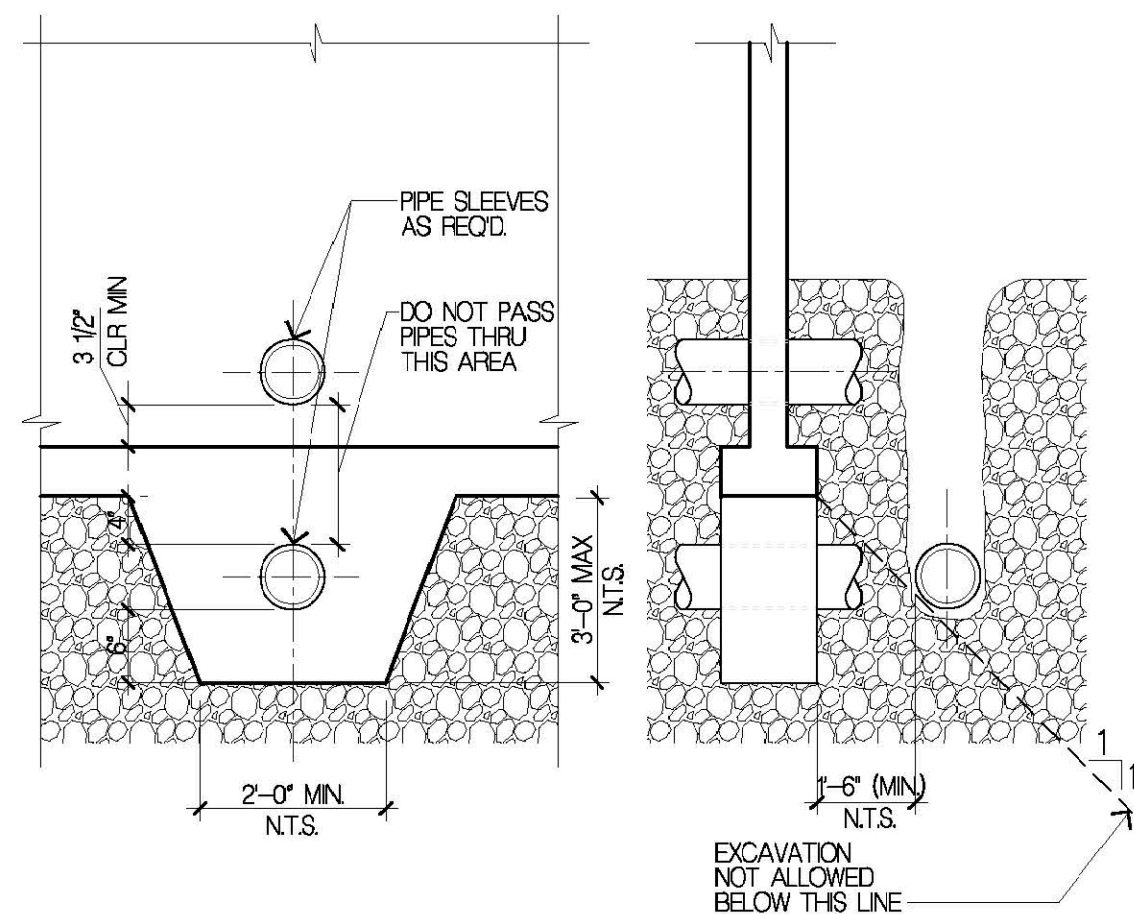
Drawing Title
STRUCTURAL DETAILS

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1808

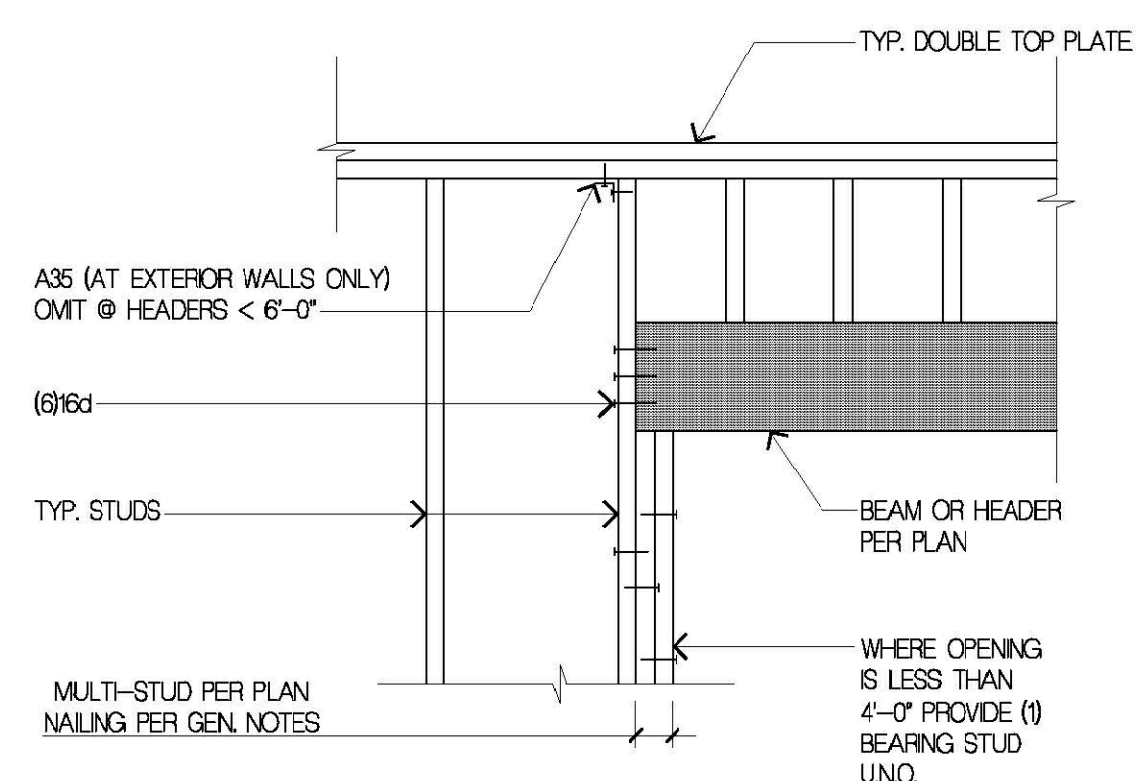
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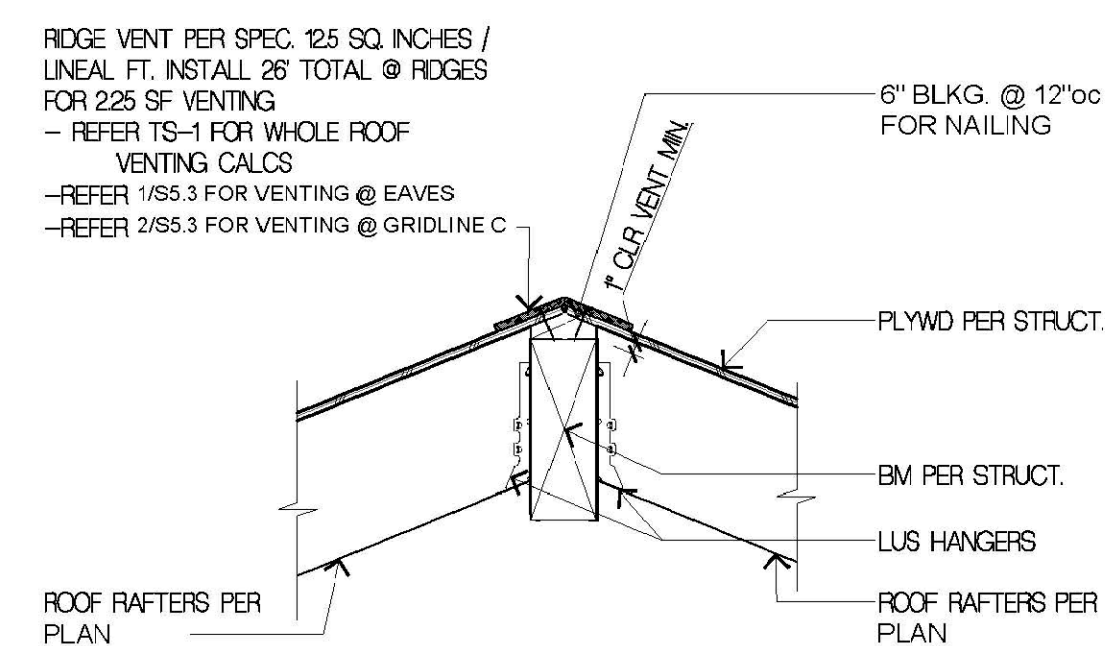
S5.1



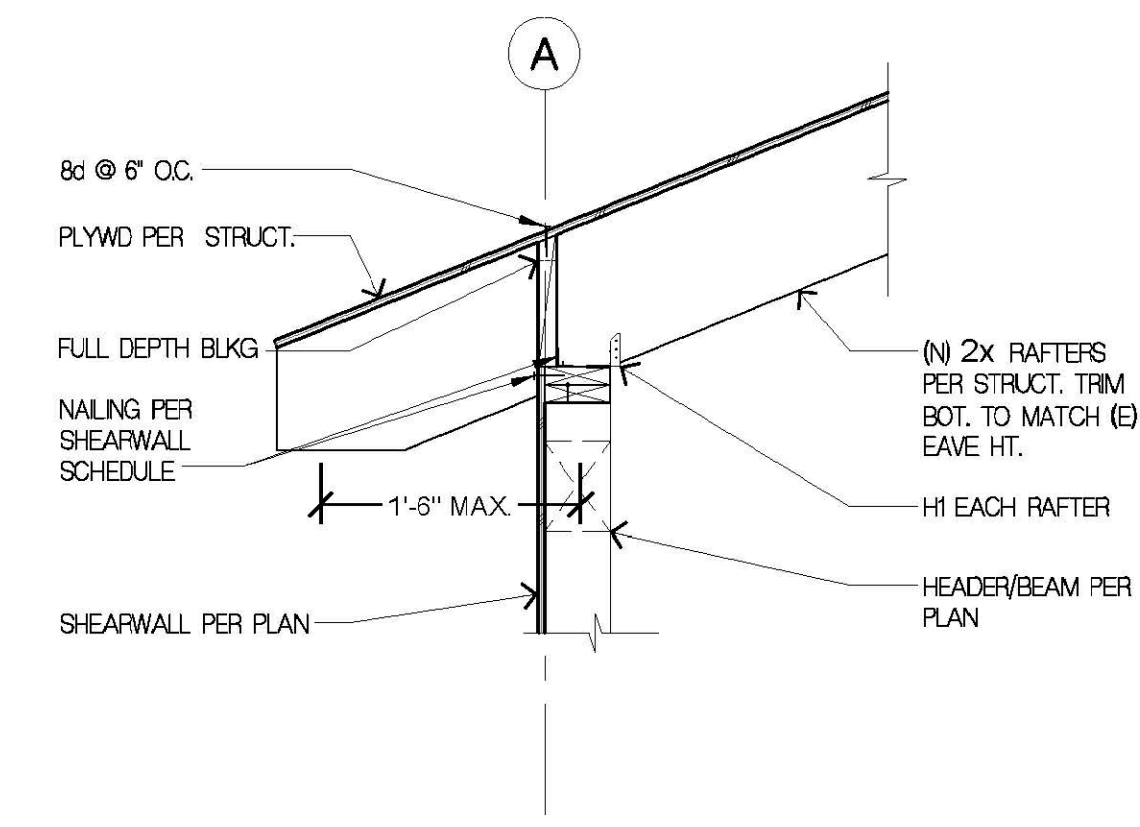
Pipe and Trench Locations 12



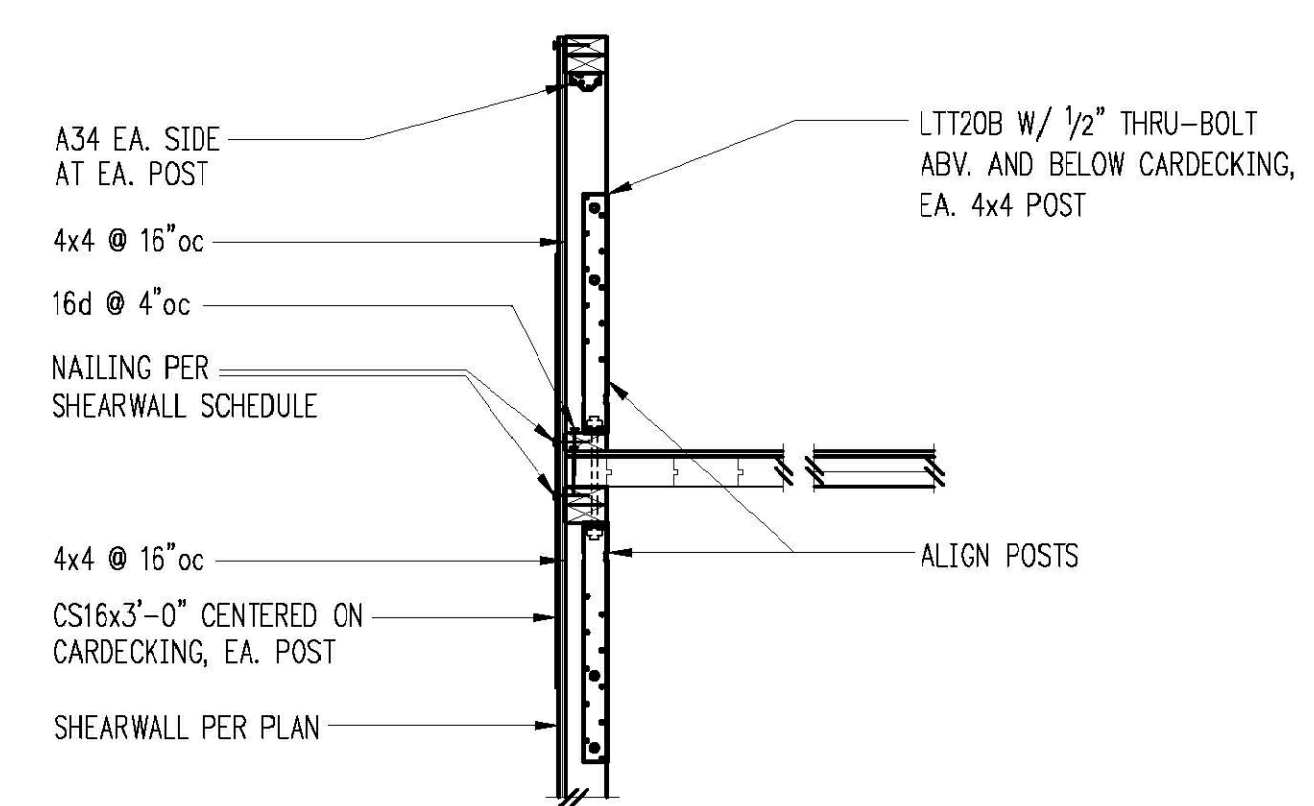
Typical Header Support 11



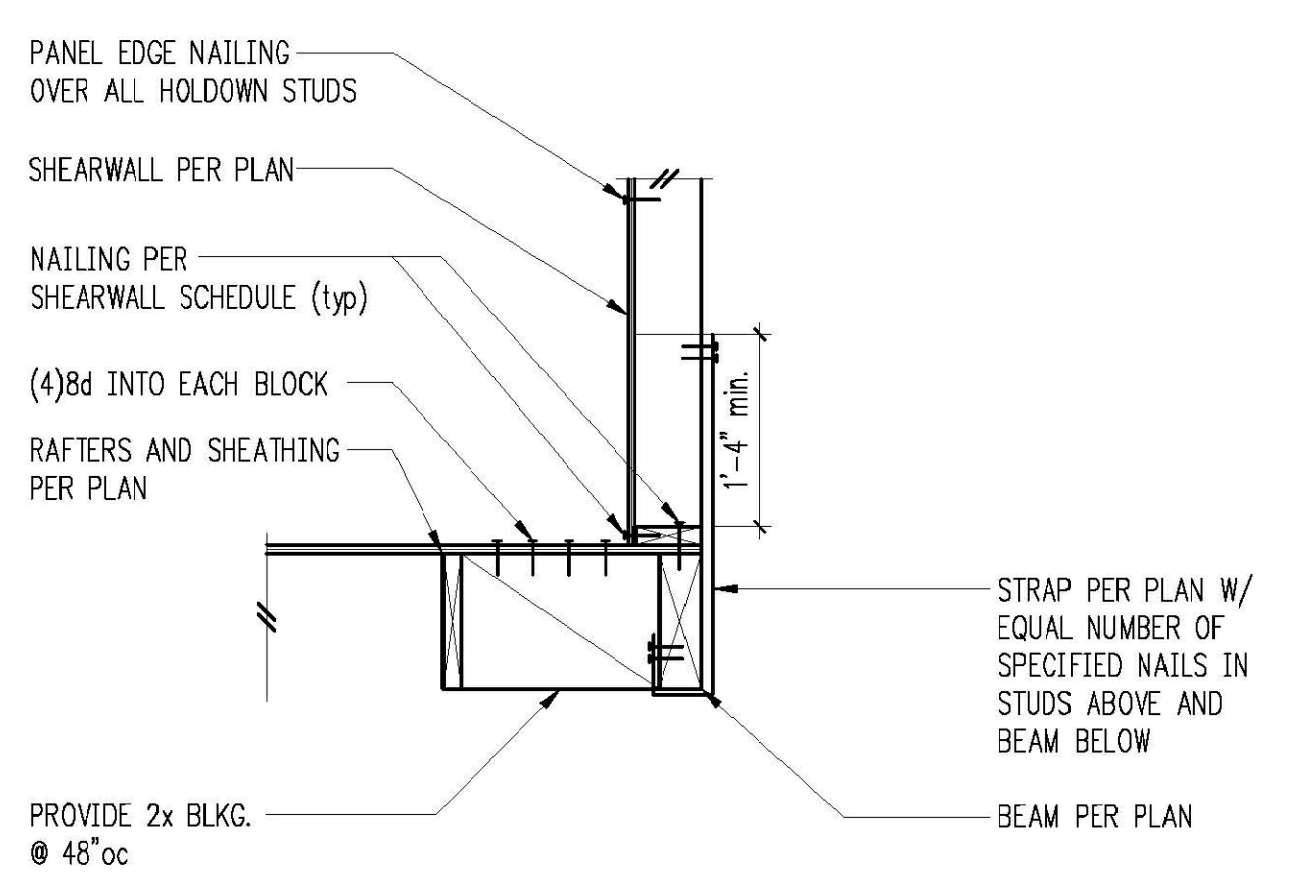
Ridge Beam 10



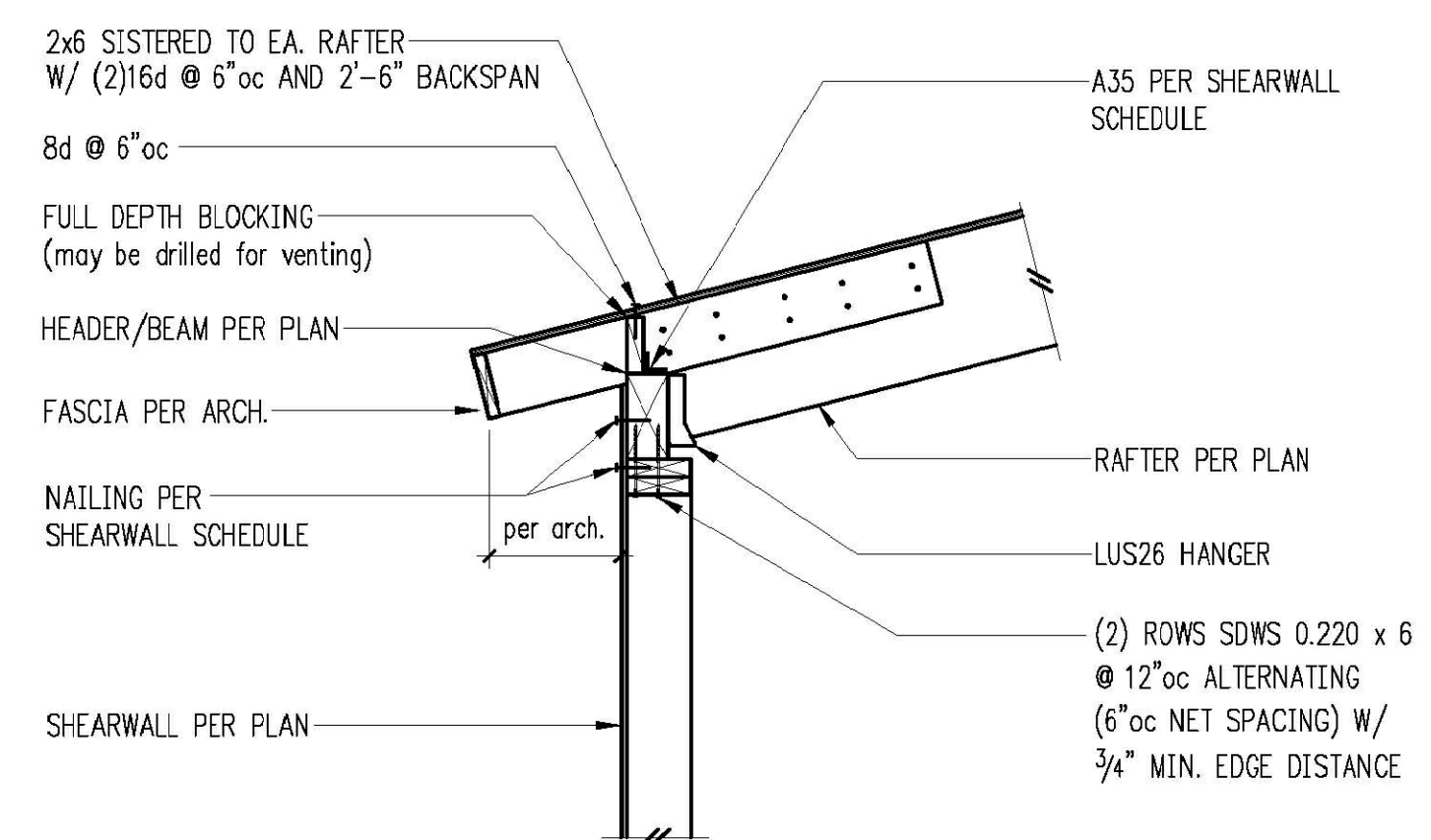
Exterior Bearing Wall, Gridline A 9



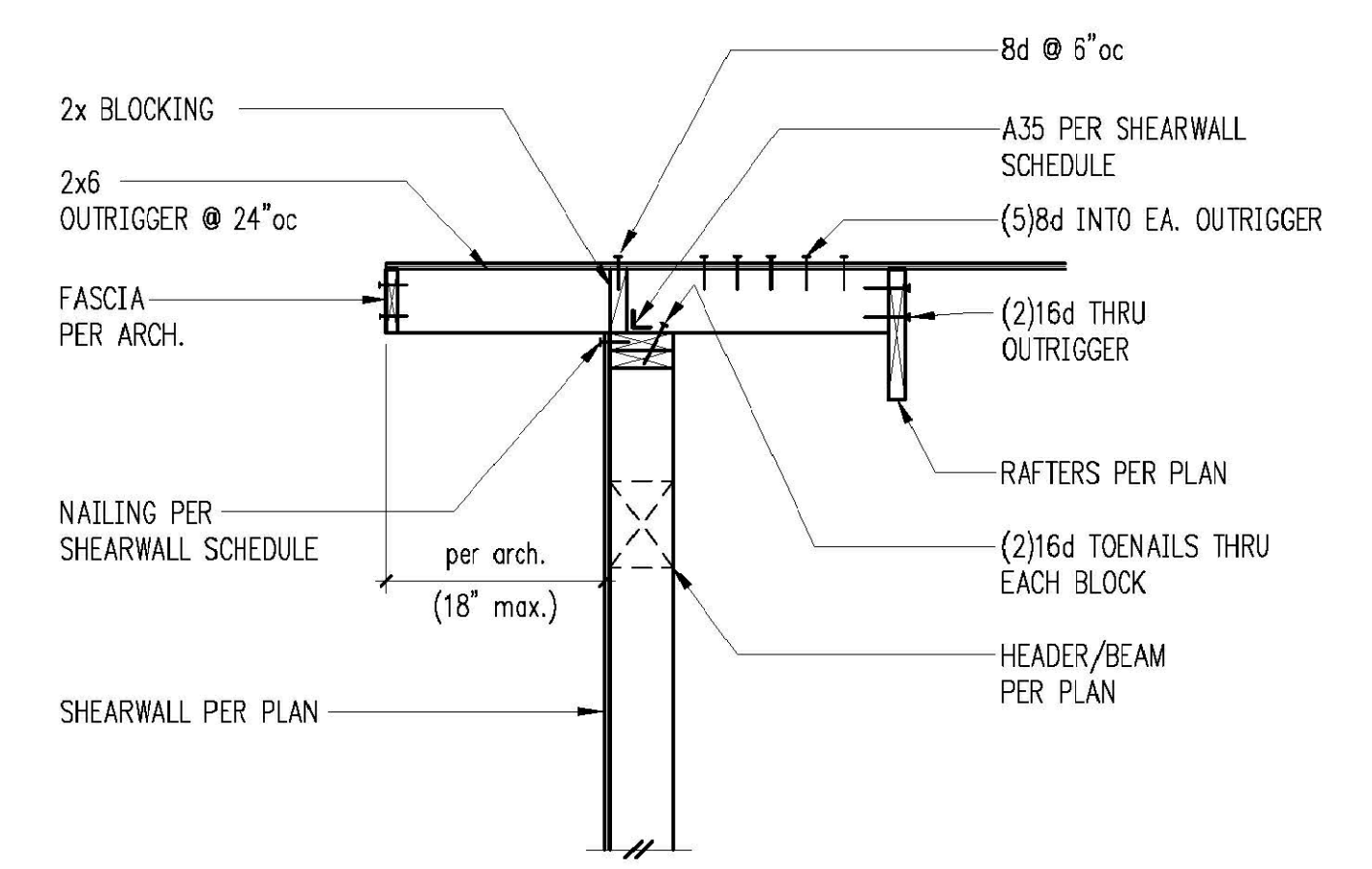
Mezzanine Rail Framing 8



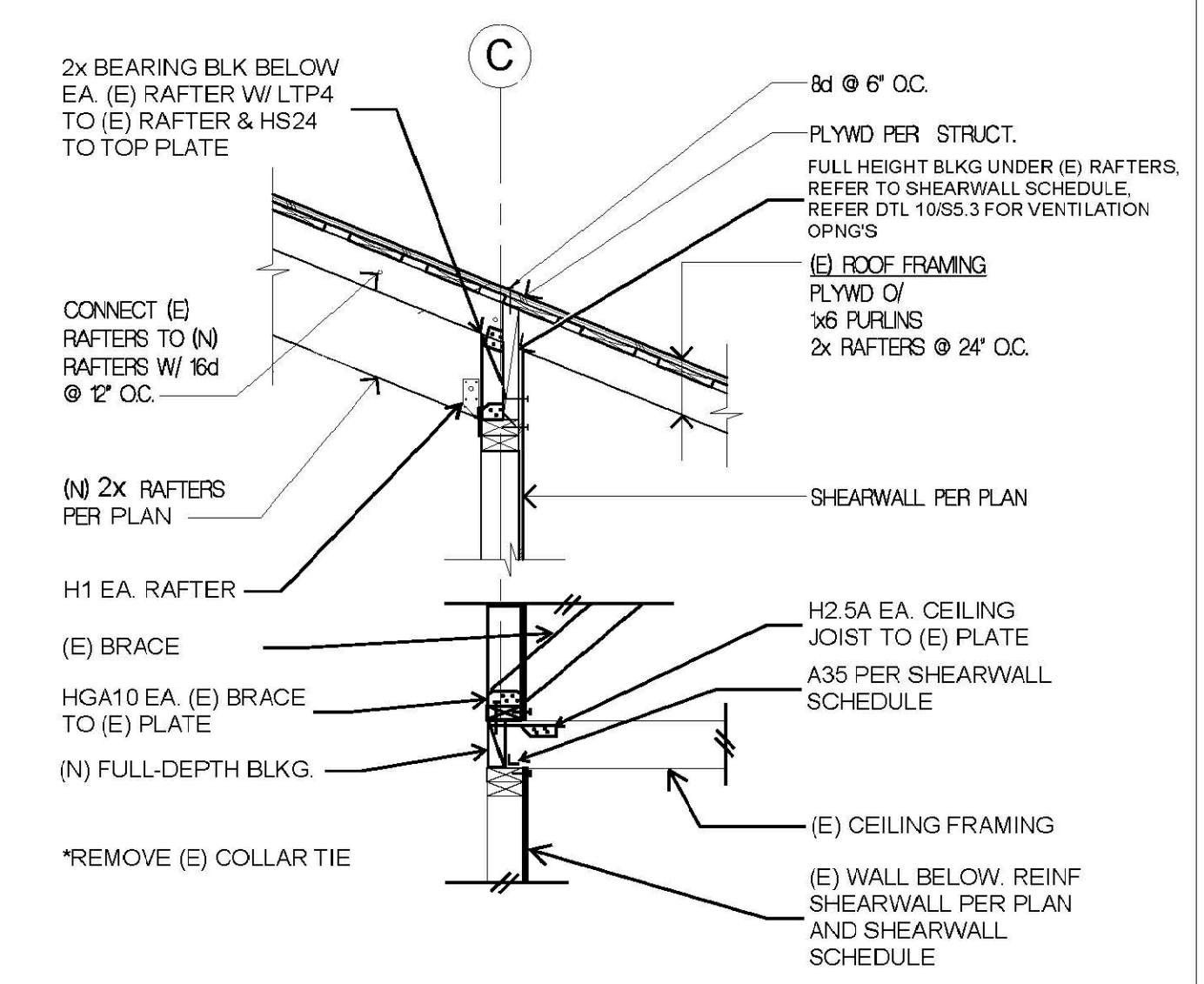
Rafters Parallel to Exterior Wall 7



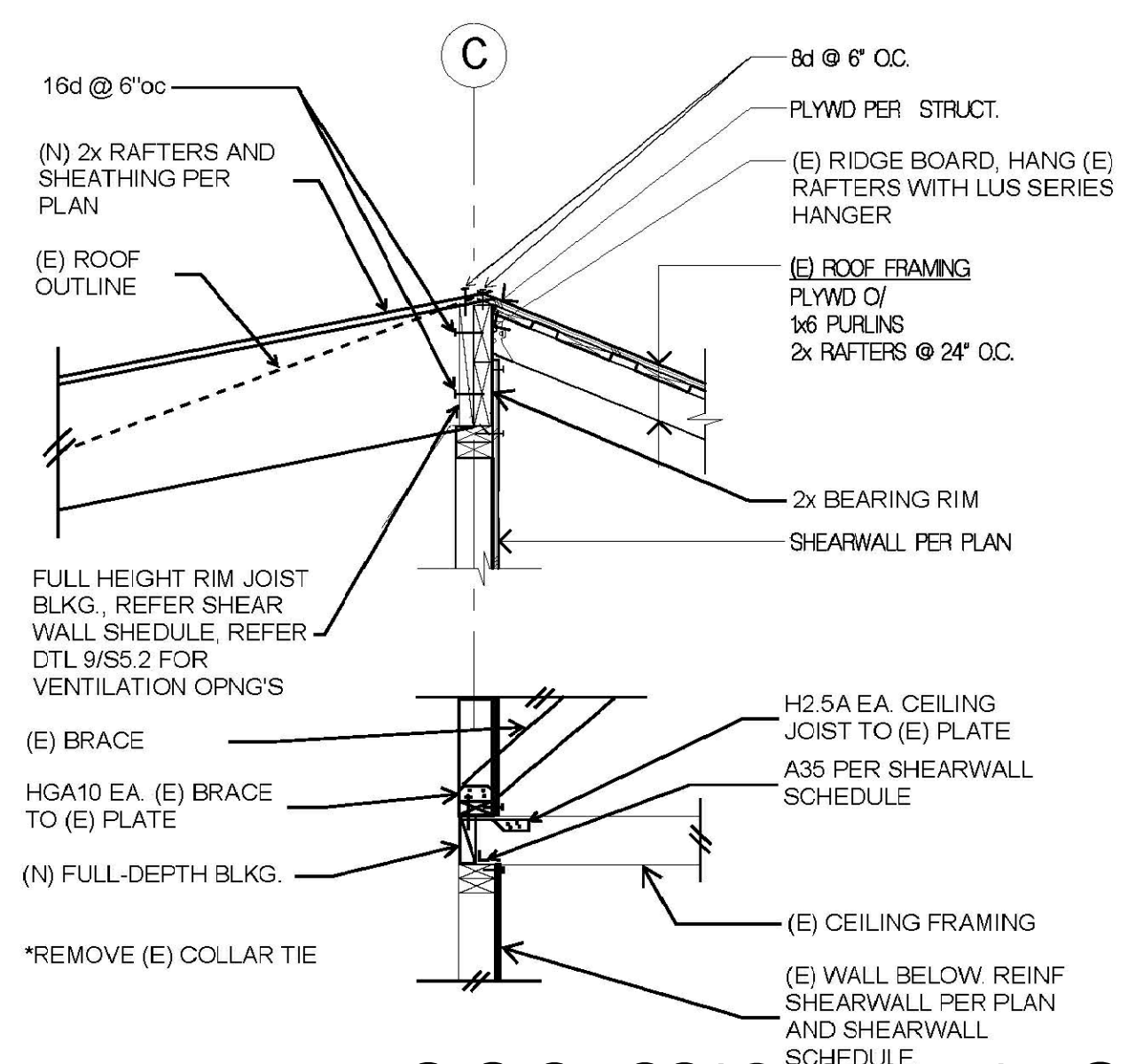
Exterior Bearing Wall 6



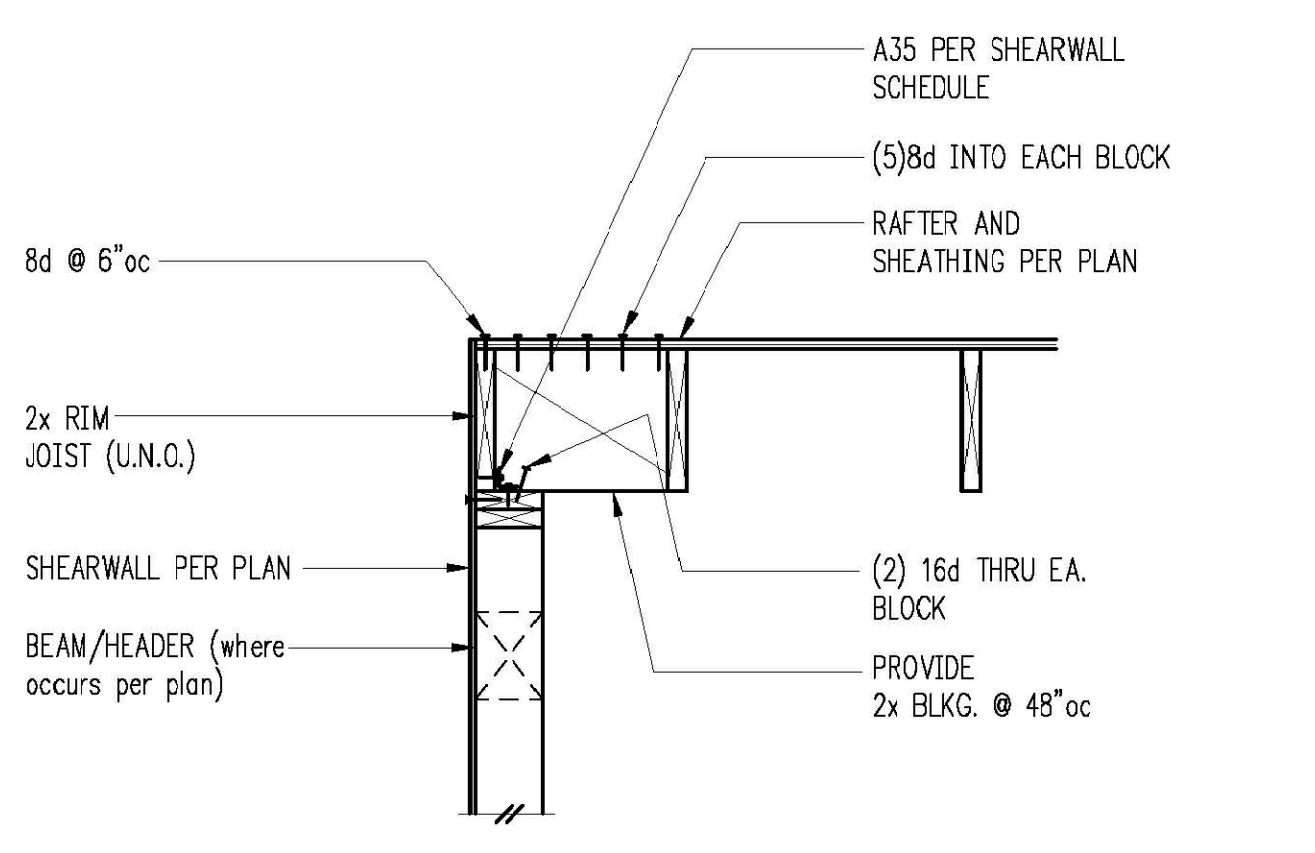
Exterior Non-Bearing Wall 5



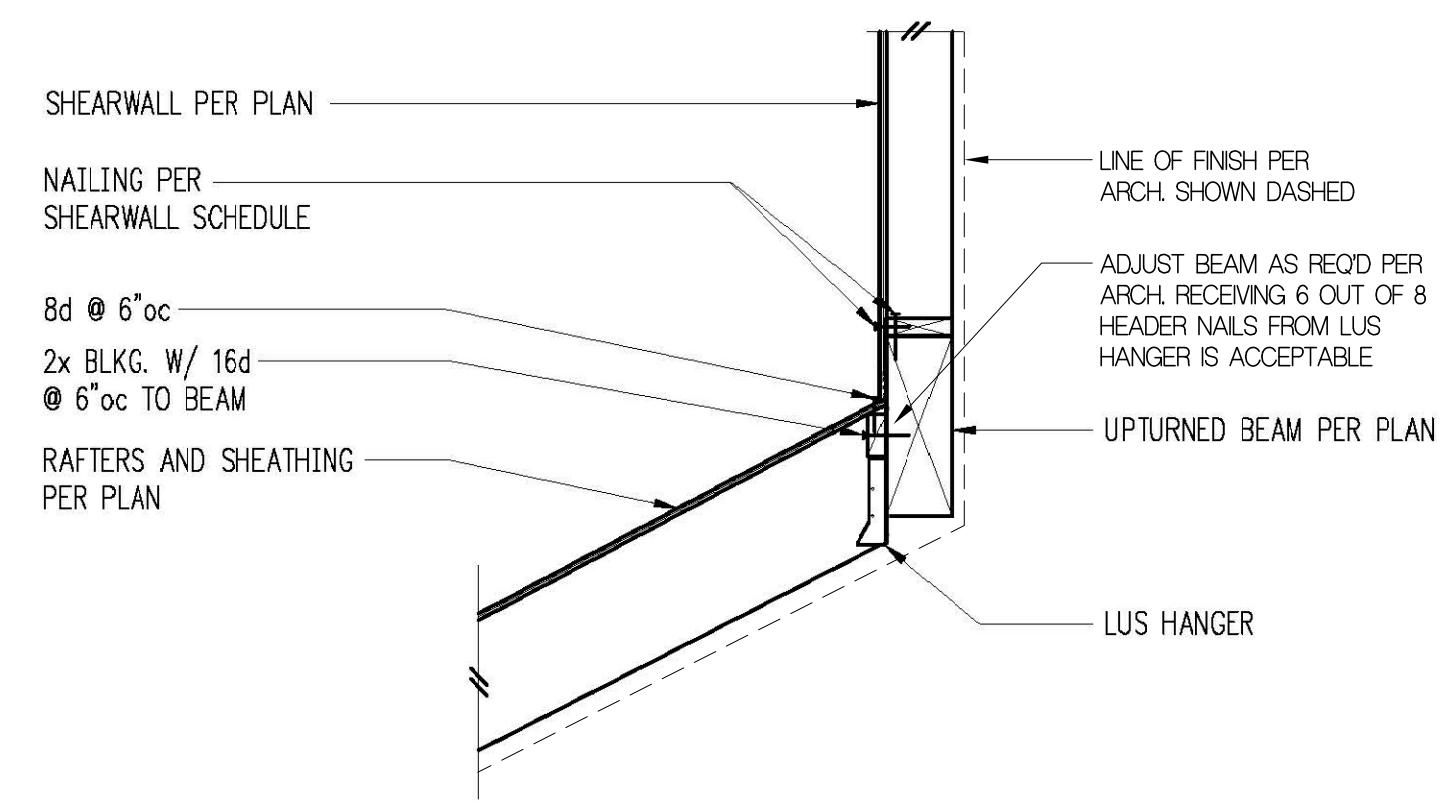
(N) Roof at (E) High Roof, Gridline C 4



(N) Roof at (E) Low Roof, Gridline C 3

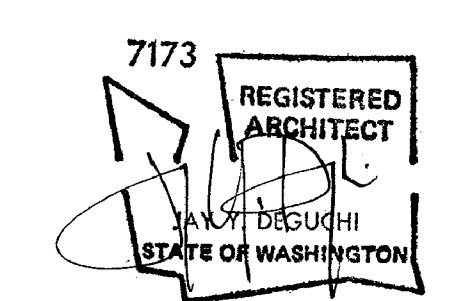


Exterior Non-Bearing Wall 2



Upturned Beam at Roof 1

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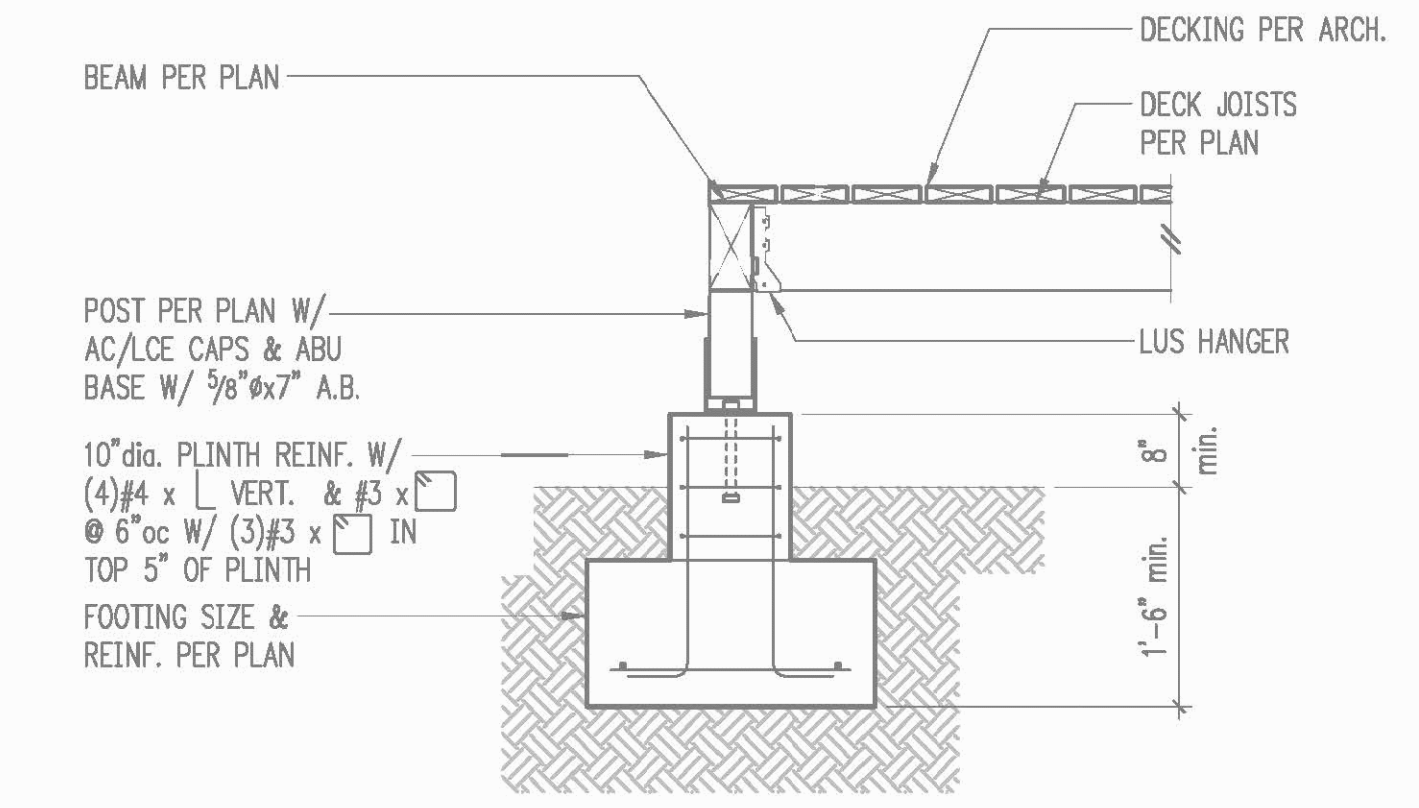
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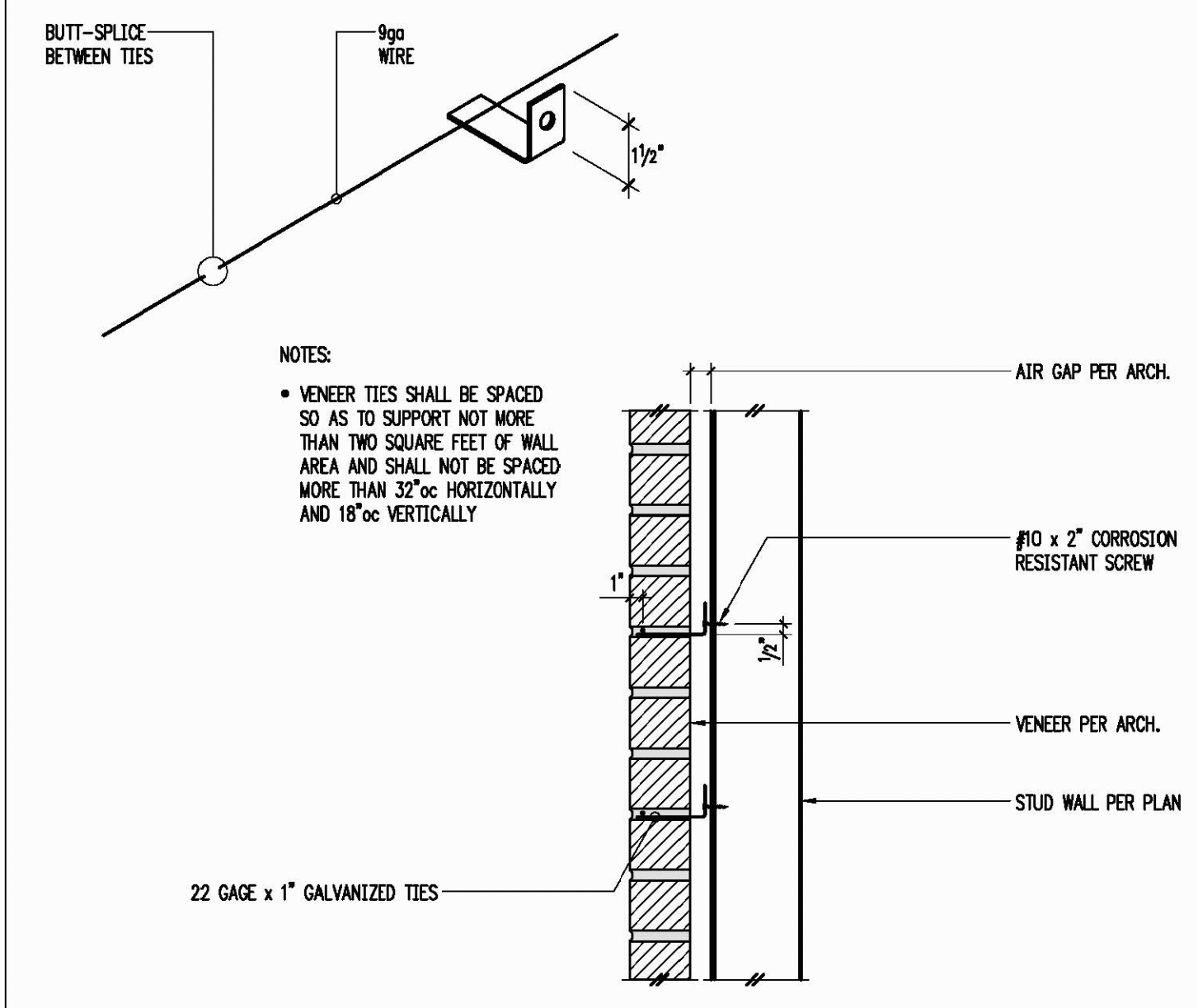


TYPICAL DECK W/ GUARDRAIL DETAIL 9

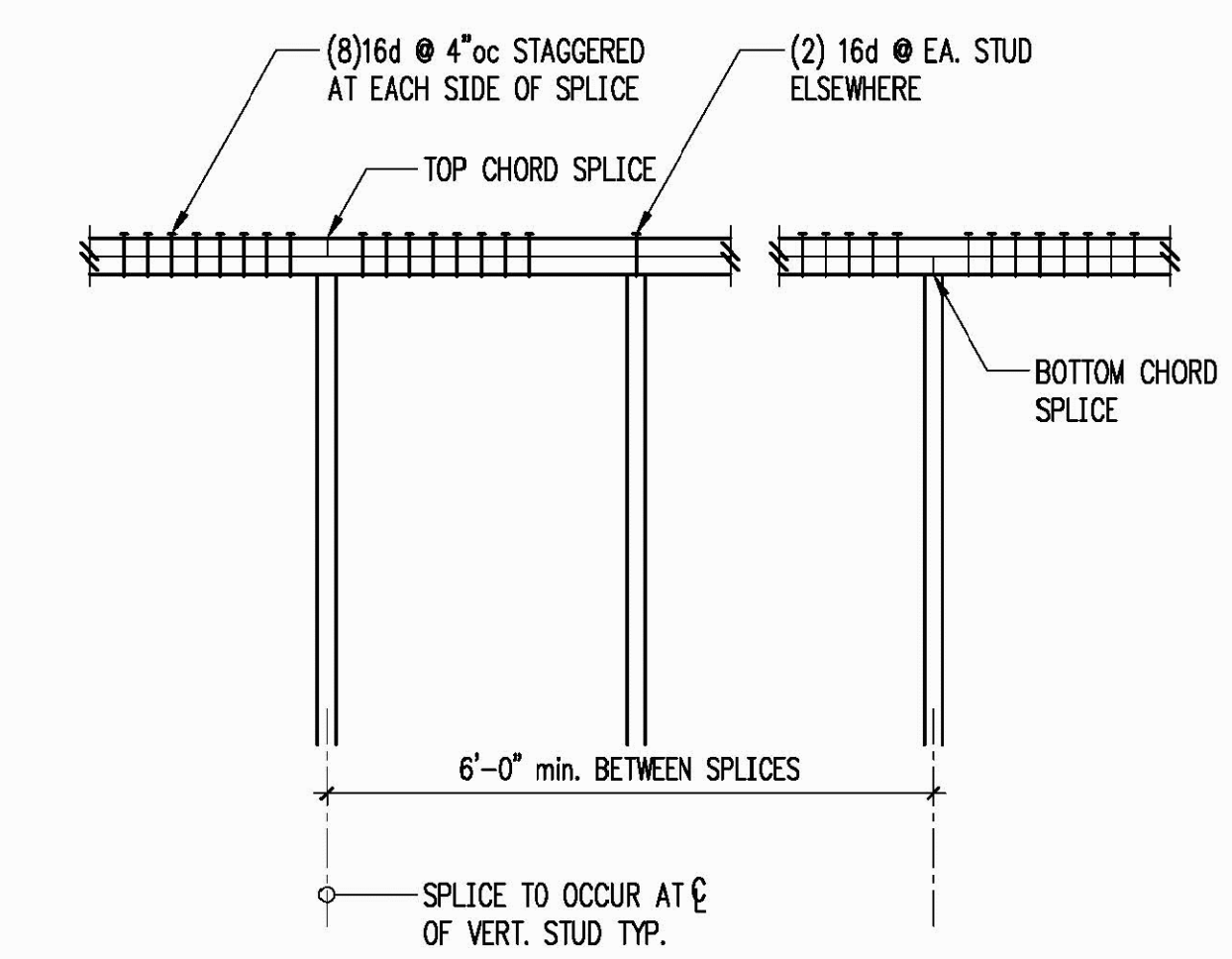
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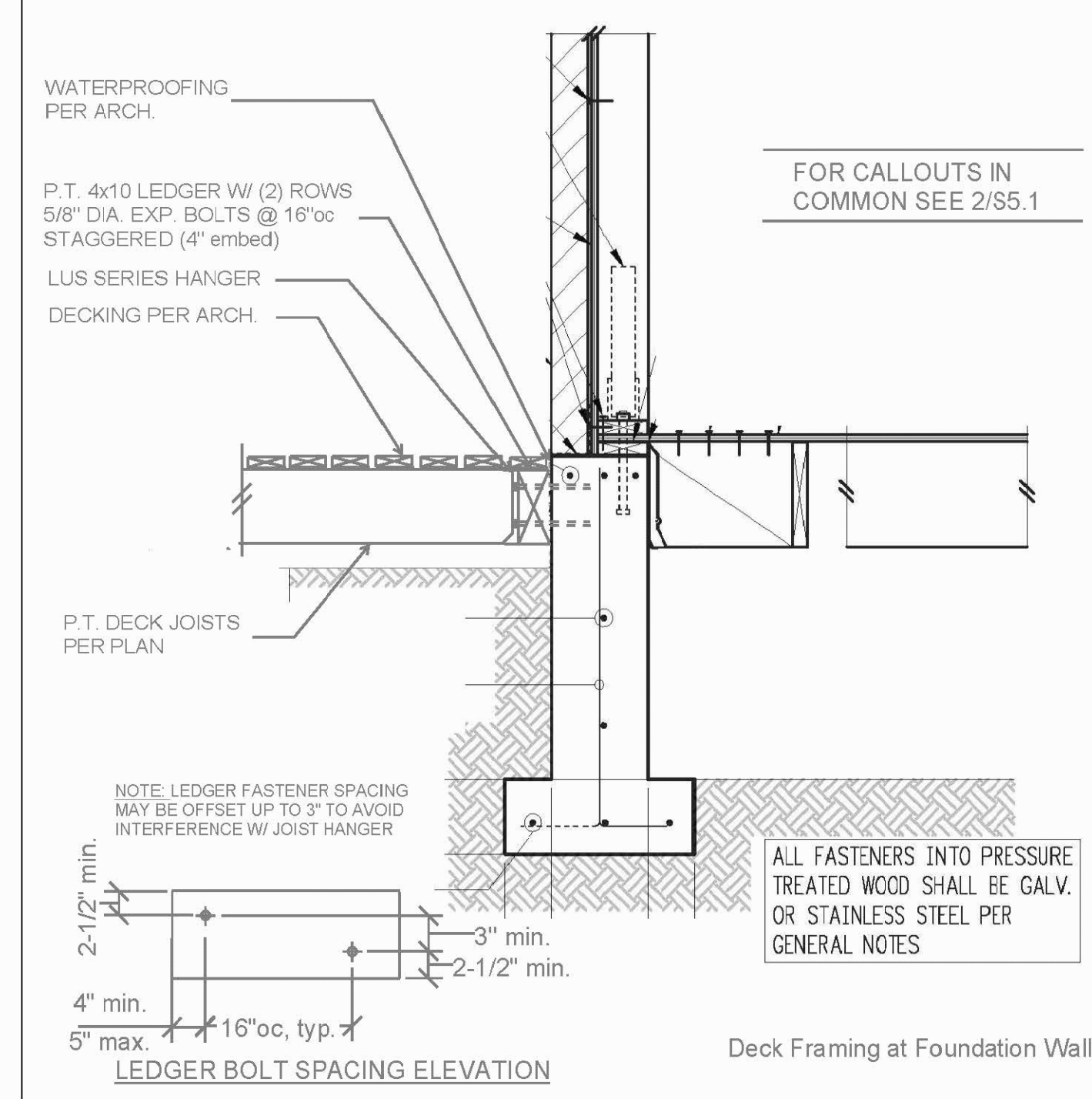
12



Brick Veneer Ties 6



Typical Top Plate Splice 5

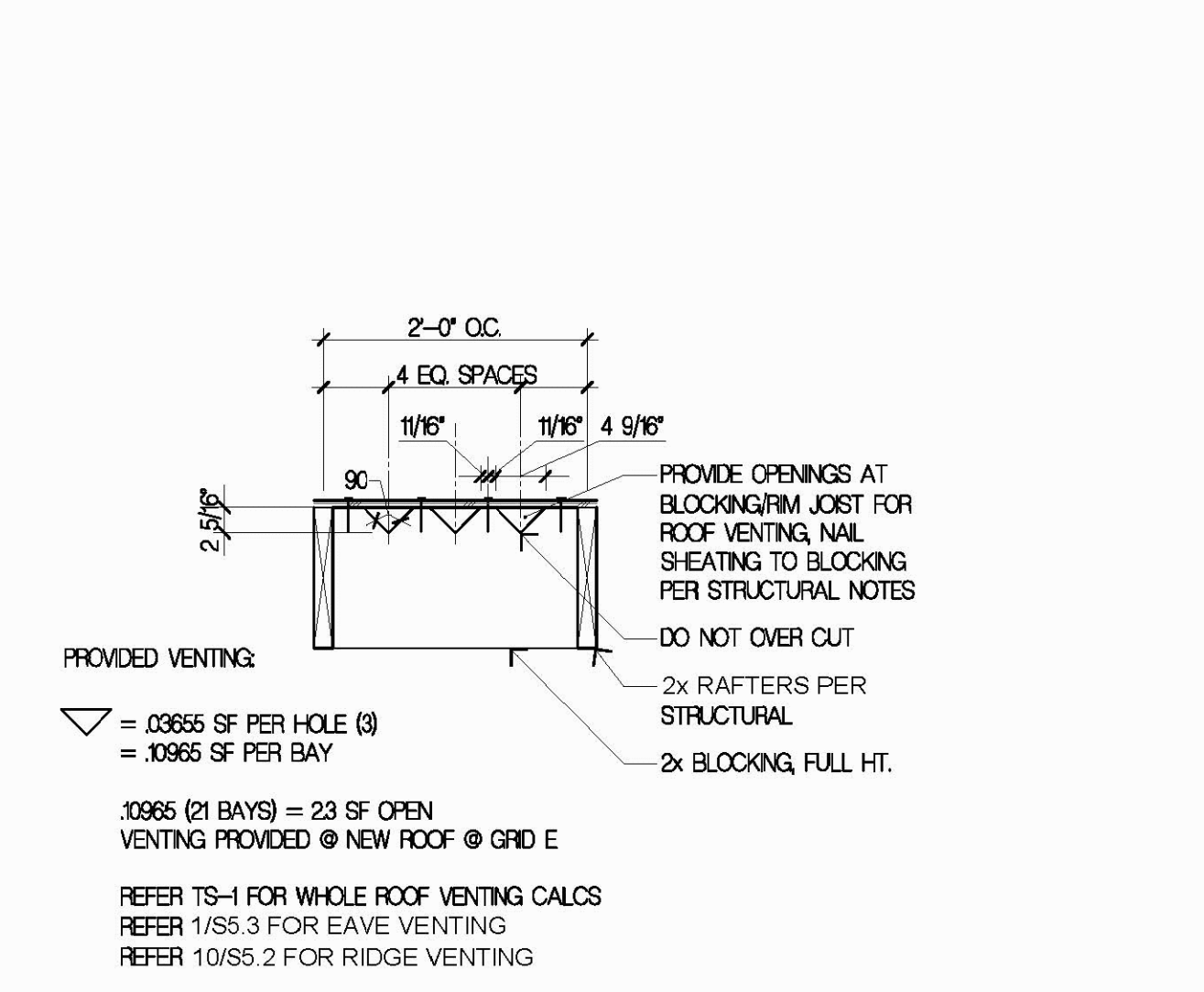


Deck Framing at Foundation Wall 7

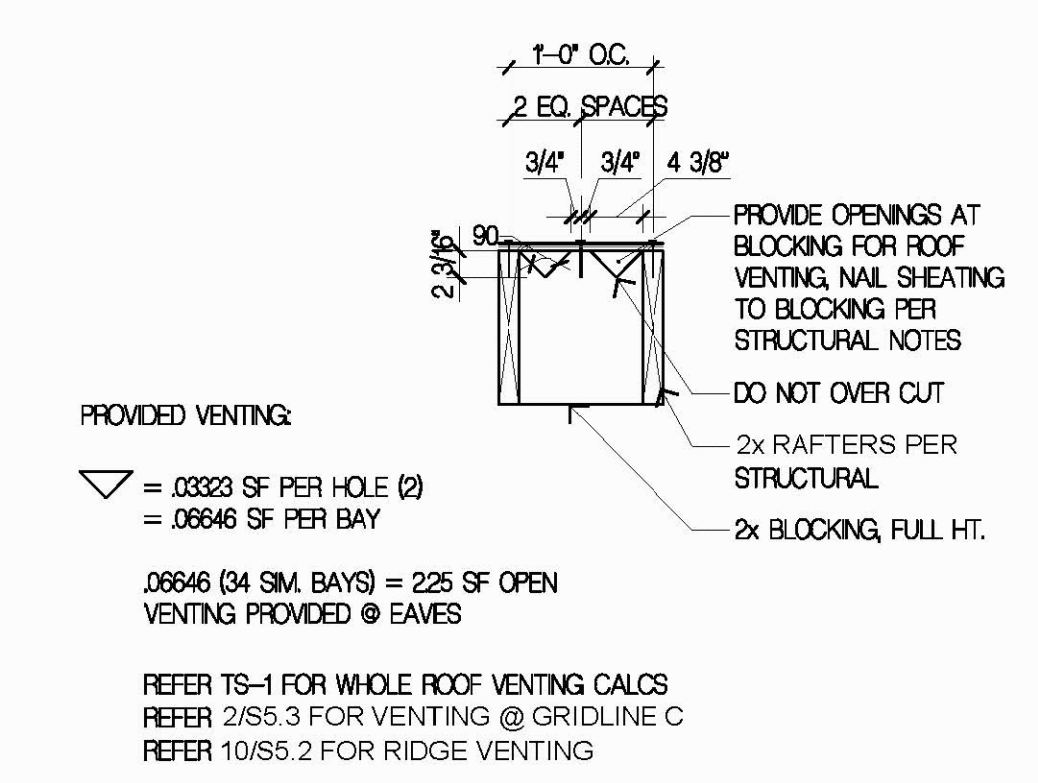
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6

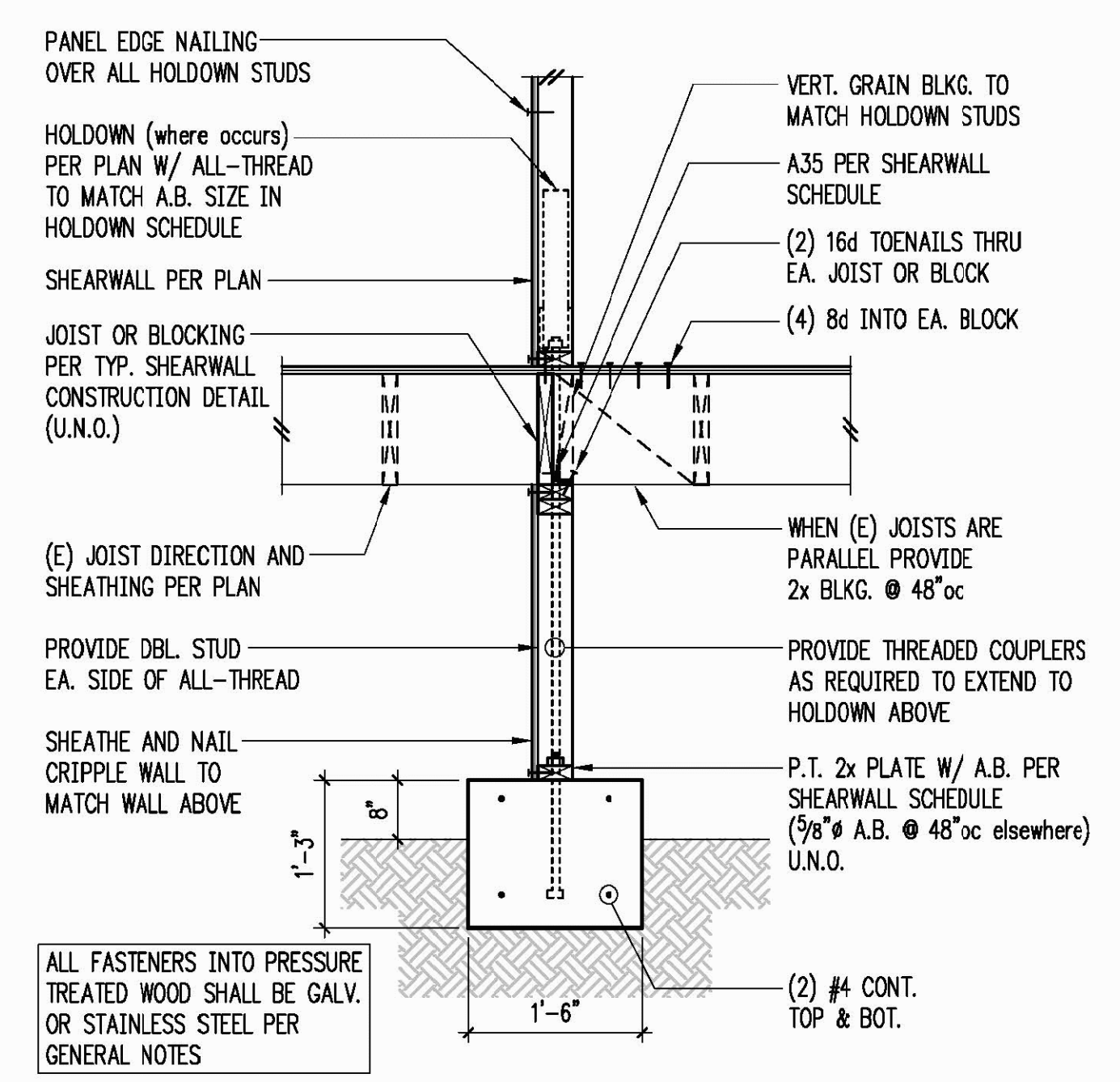
5



Typical Roof Ventilation @ Gridline C 2



Typical Eave Venting 1

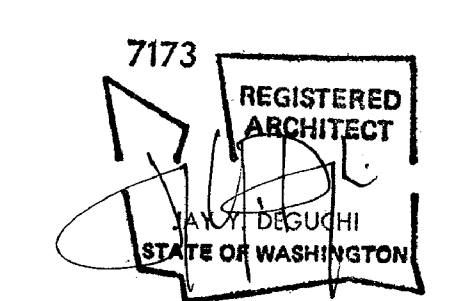


Interior Cripple Wall at Crawl Space 3

4

3

Project Title
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 MERCER ISLAND, WA 98040



Drawing Title
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