

SMOKE DETECTOR

TOTAL NET LOT COVERAGE + HARDSCAPE

(4,304.4 + 1,754.1) - (4,931.9 + 1,323.1) = -196.5 SF

APPLICABLE CODES

2015 INTERNATIONAL RESIDENTIAL CODE (IRC)

2015 WASHINGTON STATE ENERGY CODE (WSEC) 2015 INTERNATIONAL BUILDING CODE (IBC)

2015 INTERNATIONAL FIRE CODE (IFC) 2015 INTERNATIONAL MECHANICAL CODE (IMC) 2015 UNIFORM PLUMBING CODE (UPC)

NFPA 70 NATIONAL ELECTRICAL CODE MECHANICAL CODE NOTES

1. MECHANICAL PERMIT WILL BE SUBMITTED AND OBTAINED BY BIDDER-DESIGNER.

2. PROVIDE WHOLE HOUSE VENTILATION SYSTEM USING EXHAUST FANS PER WAC 51-51-1508. PROVIDE MINIMUM VENTILATION RATES PER WAC TABLE M1508.2. WHOLE HOUSE VENTILATION FAN SHALL BE CONTROLLED BY A 24-HOUR CLOCK TIMER WITH THE CAPABILITY OF CONTINUOUS OPERATION, MANUAL, AND AUTOMATIC CONTROL. AT THE TIME OF FINAL INSPECTION, THE AUTOMATIC CONTROL TIMER SHALL BE SET TO OPERATE THE WHOLE HOUSE FAN FOR AT LEAST 8 HOURS A DAY. ALL EXHAUST DUCTS SHALL TERMINATE OUTSIDE OF BUILDING. EXHAUST DUCTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS. OUTDOOR AIR SHALL BE DISTRIBUTED TO EACH HABITABLE ROOM BY INDIVIDUAL OUTDOOR AIR INLETS.

3. PROVIDE MONITORED HOUSEHOLD FIRE ALARM SYSTEM PER NFPA 72 CHAPTER 29

ELECTRICAL CODE NOTES

- 1. SYSTEM SHALL BE DESIGNED & INSTALLED BY LICENSED ELECTRICIAN. 2. SUBMIT PANEL LOADS, PLACEMENTS, AND OUTLET PLACEMENTS TO OWNER
- FOR APPROVAL PRIOR TO PURCHASE OF MATERIALS. 3. ELECTRICAL CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.

ENERGY CODE NOTES

1. COMPLIANCE IS SHOWN THROUGH PRESCRIPTIVE APPROACH 2015 WASHINGTON STATE ENERGY CODE TABLE PRESCRIPTIVE REQUIREMENTS FOR CLIMATE ZONE MARINE 4

COMPONENT MIN. REQUIREMENT VERTICAL GLAZING U-FACTOR OVERHEAD GLAZING U-FACTOR 0.50 CEILING R-49 VAULTED CEILING R-38 WALL ABOVE GRADE WALL INTERIOR SIDE BELOW GRADE R-21 WALL EXTERIOR SIDE BELOW GRADE R-10 R-30 SLAB ON GRADE AND DEPTH R-10, 2'

REFER TO WINDOW & DOOR SCHEDULES, A2.2 FOR VERTICAL GLAZING AND DOOR U-FACTOR INFORMATION.

2. EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAME OPENINGS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF; OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOORS, AND ROOFS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER-STRIPED TO LIMIT AIR LEAKAGE.

3. PROVIDE MOISTURE CONTROL PER WSEC SECTION 502.1.6.

4. ALL EXTERIOR DOORS AND EXTERIOR WINDOWS SHALL HAVE AIR INFILTRATION RATES NO GREATER THAN THOSE SHOWN IN WSEC SECTION 502.4.

5. ENERGY CREDITS

SMALL DWELLING UNIT 1.5 POINTS MIN. REQUIRED ENERGY CREDIT OPTION (PER WSEC TABLE R406.2) 5c - EFFICIENT WATER HEATING (1.5 CREDITS) MANF. TAKAGI PRODUCT: T-H3-OS-N

PROJECT DIRECTORY

CONTRACTOR: OWNER: KYLE & ANDREA FUKANO 6600 82ND AVE S. MERCER ISLAND, WA 98040

ARCHITECT: STRUCTURAL ENGINEER: JAY DEGUCHI SUYAMA PETERSON DEGUCHI 8601 8TH AVE S

GARY MacKENZIE SWENSON SAY FAGET 2124 3rd AVENUE SUITE #100 SEATTLE, WA 98121 (206) 443.6212 FAX: (206) 443.4870 EMAIL: gmackenzie@swensonsayfaget.com

VICINITY MAP

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DRAWING LIST

SEATTLE, WA 98108

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(206) 256-0809

TS-1 TITLE SHEET, PROJECT INFO & SITE PLAN TS-2 CALCULATIONS FOR IMPERVIOUS, ABE, ETC.

A1.1 MAIN LEVEL FLOOR PLAN

A1.2 MEZZANINE LEVEL PLAN / ROOF PLAN

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS & WINDOW/DOOR SCHEDULE

BUILDING SECTIONS A3.2 BUILDING SECTIONS

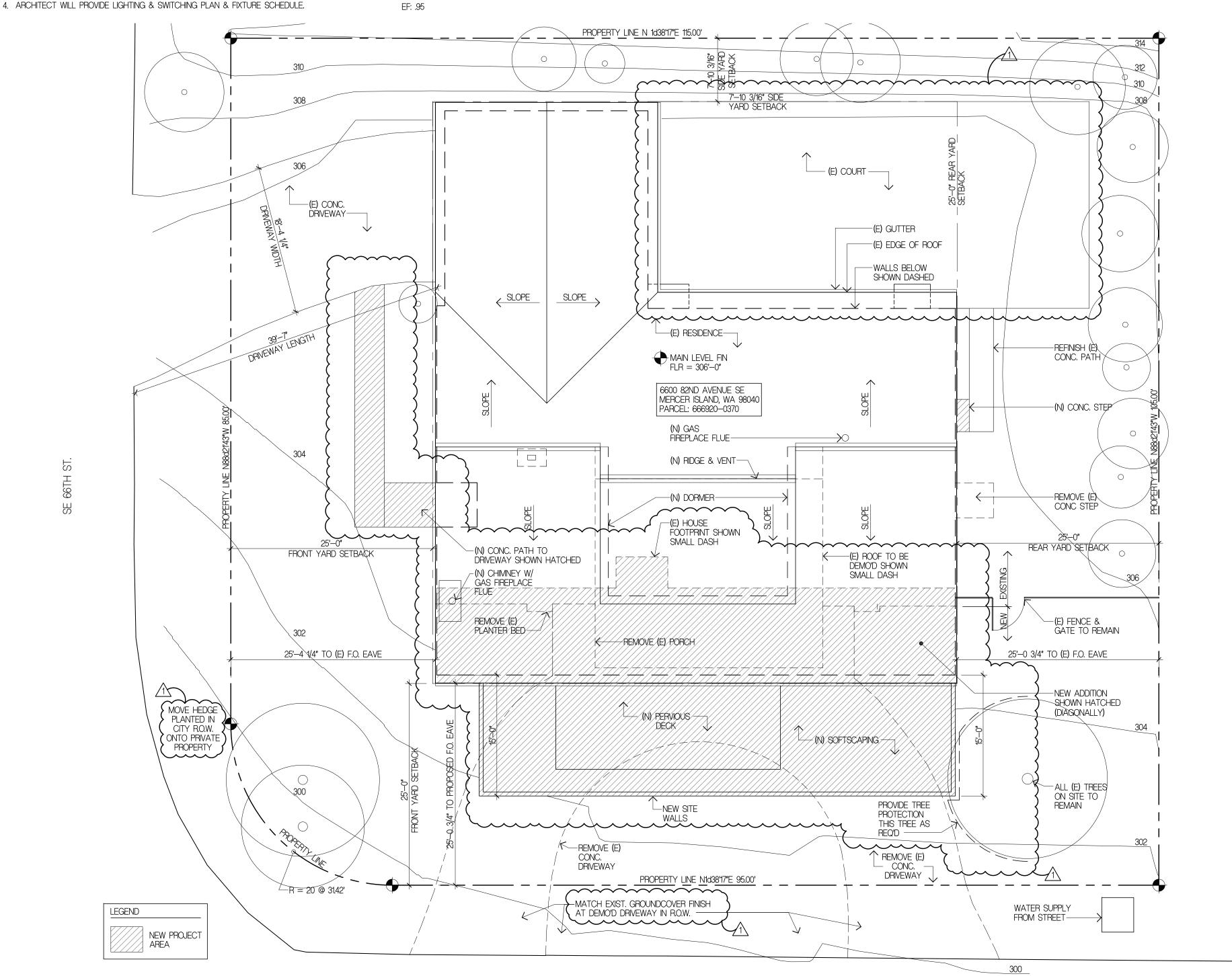
S1.0 STRUCTURAL NOTES

FOUNDATION & MAIN FLOOR FRAMING PLAN MEZZANINE & LOW ROOF FRAMING PLAN

ROOF FRAMING PLAN

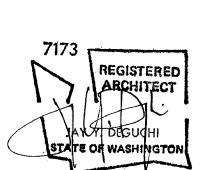
STRUCTURAL DETAILS

S5.2 STRUCTURAL DETAILS S5.3 STRUCTURAL DETAILS



82ND AVE SE

Project Title **FUKANO RESIDENCE** 6600 82ND AVE SE MERCER ISLAND, WA 98040



TITLE SHEET **PROJECT INFO & SITE PLAN**

11.14.18 Job No. **1808**

ISSUE 10/16/20 ▲ CORRECTIONS/REVISION

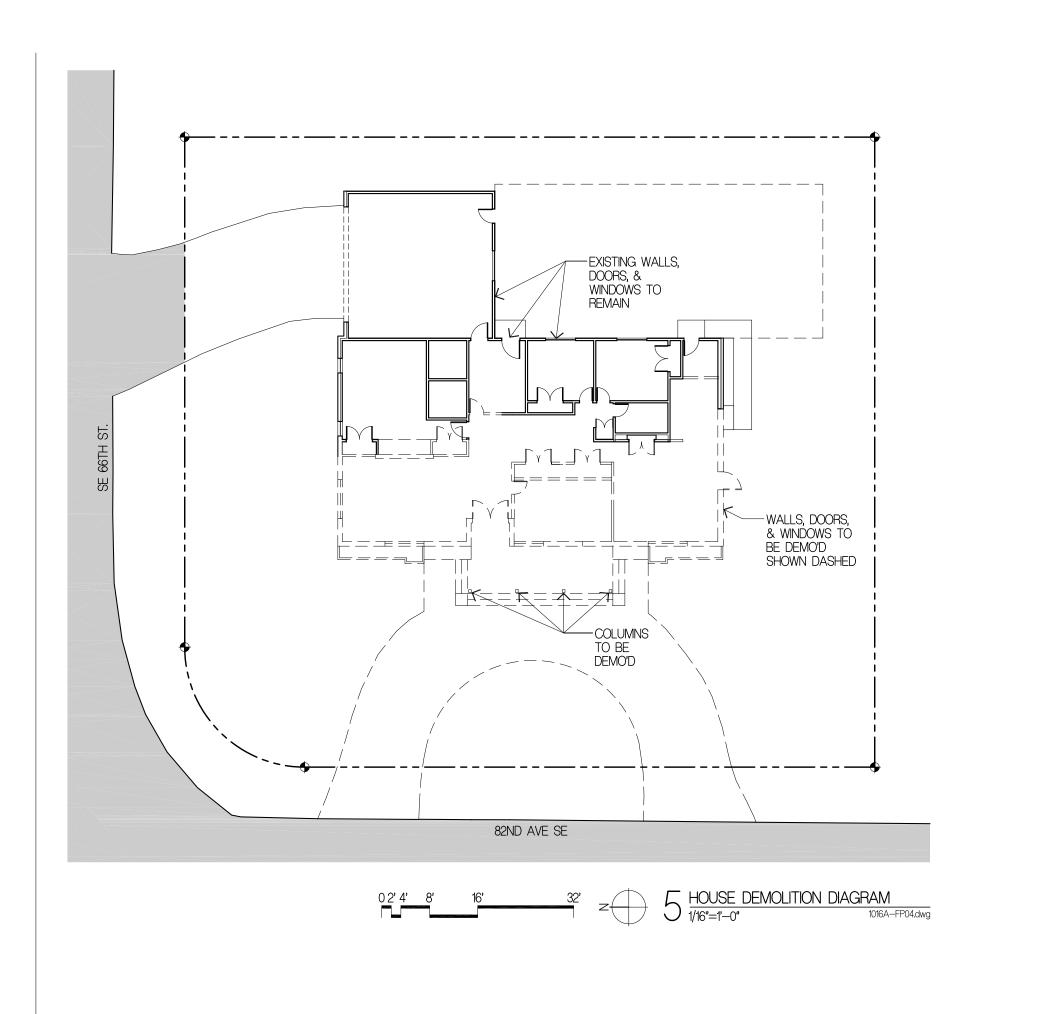
PERMIT SET

Z SITE PLAN

1/8"=1'-0"

1016A-FP04.dwg

0 1' 2' 4' 8' 16'



LOT COVERAGE

EXISTING TOTAL EXISTING %

NEW ROOF

<u>HARDSCAPE</u>

NEW PATH NEW DECK

NEW HARDSCAPE

EXIST HARDSCAPE

NET L.C. + HARDSCAPE

EXISTING TOTAL

EXISTING LOT COVERAGE 4,9319
EXISTING HARDSCAPE 1,323.1

PROPOSED LOT COVERAGE 4,304.4 PROPOSED HARDSCAPE 1,754.1

TOTAL L.C. + HARDSCAPE 6,058.5

NET TOTAL L.C. + H.S. -196.5

EXIST. HARDSCAPE TO BE DEMO'D AND ABANDONED

NEW HOUSE/ROOF

NEW HARDSCAPE

HARDSCAPE HARDSCAPE %

DEMO DRIVEWAY 2

LOT COVERAGE LOT COVERAGE %

NET LOT COVERAGE

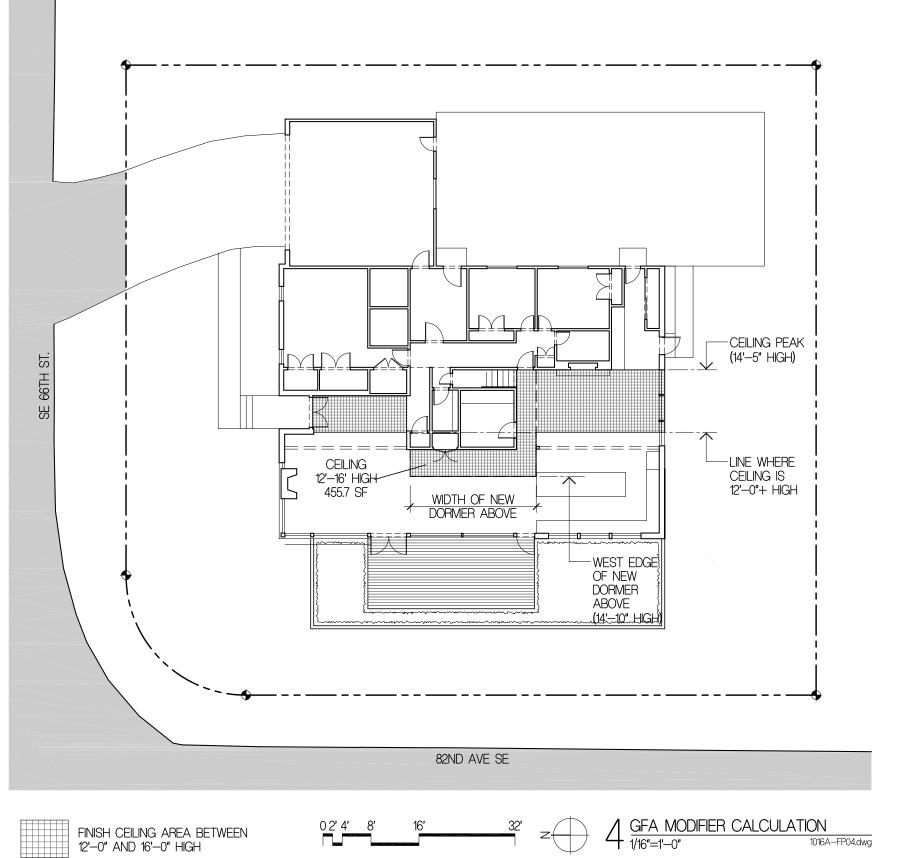
EXISTING TOTAL HS EXISTING %

NEW HARDSCAPE PER 19.01.050(F)3.b.i

-1,050.1 +422.6

-627.5

EXISTING DRIVEWAY 1 EXISTING DRIVEWAY 2 EXISTING HOUSE



IMPERVIOUS SURFACE

EXISTING DRIVEWAY 1 EXISTING DRIVEWAY 2 EXISTING HOUSE

EXISTING COURT EXISTING PATH

EXISTING TOTAL

DEMO DRIVEWAY 2

TOTAL IMPERVIOUS

REPLACED ROOF REPLACED DRIVEWAY 2 NEW ROOF NEW ROOF NEW PATH

NEW ROOF NEW ROOF NEW PATH

(ALLOWED NEW 894.2 /2)=

TOTAL NEW IMPERVIOUS +408.5

NET TOTAL IMPERVIOUS -485.7

NEW/REPLACED IMPERVIOUS SURFACE

NEW/REPLACED TOTAL 1958.3

EXIST. HOUSE/ROOF TO REMAIN

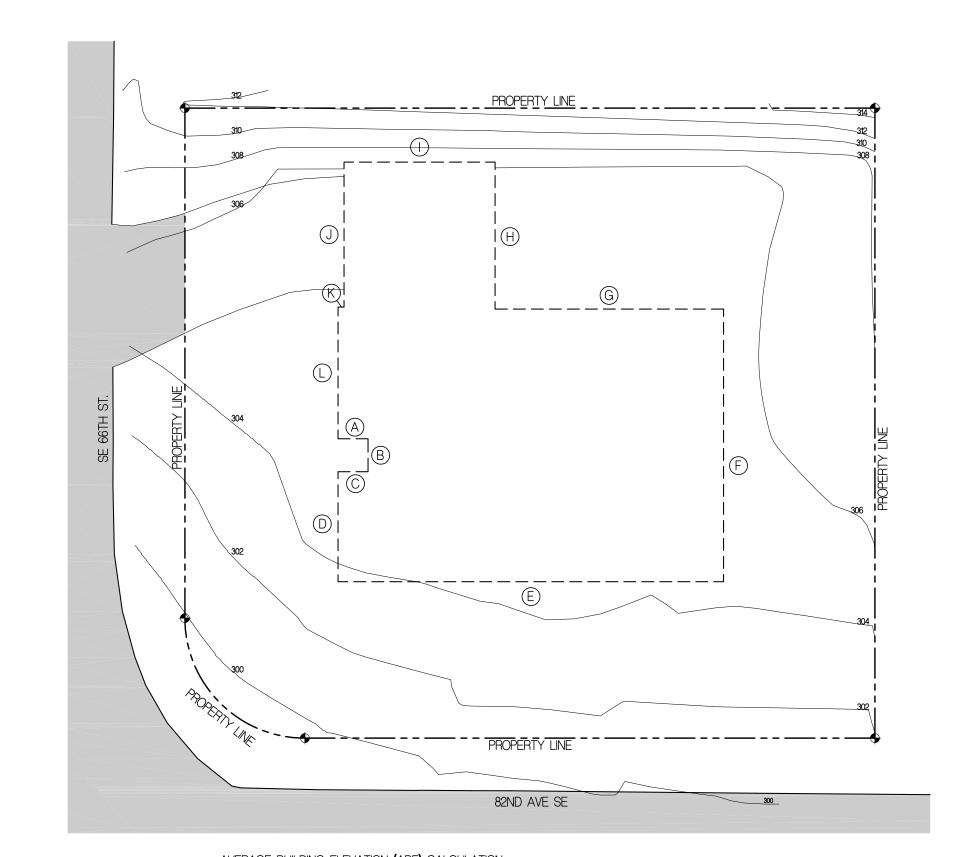
EXIST. HARD SURFACE TO REMAIN

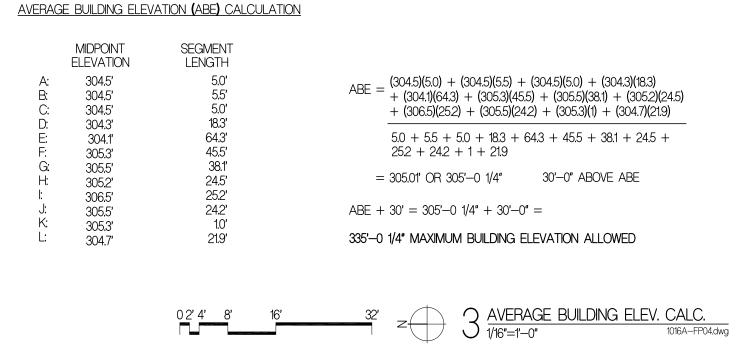
HOUSE/ROOF

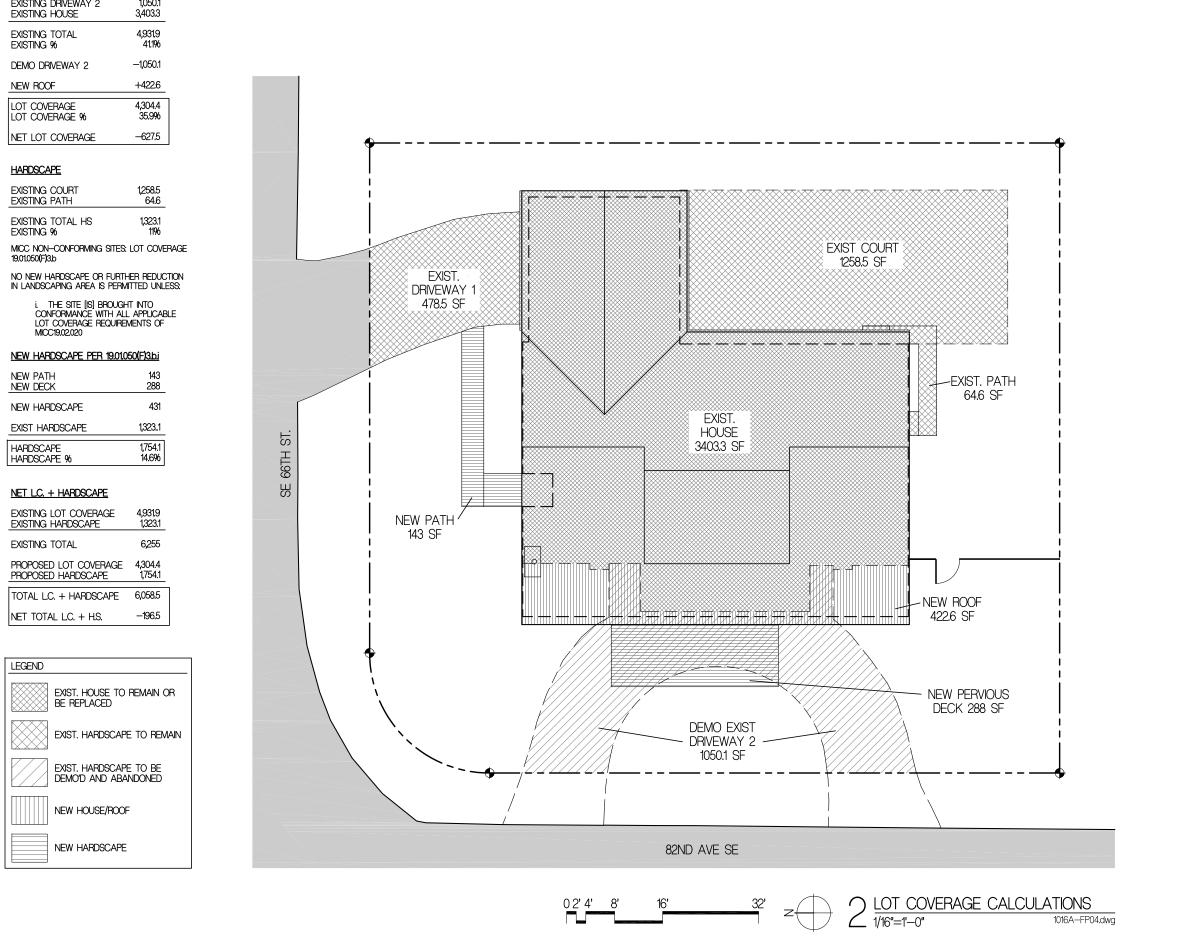
NEW OR REPLACED HARD SURFACE

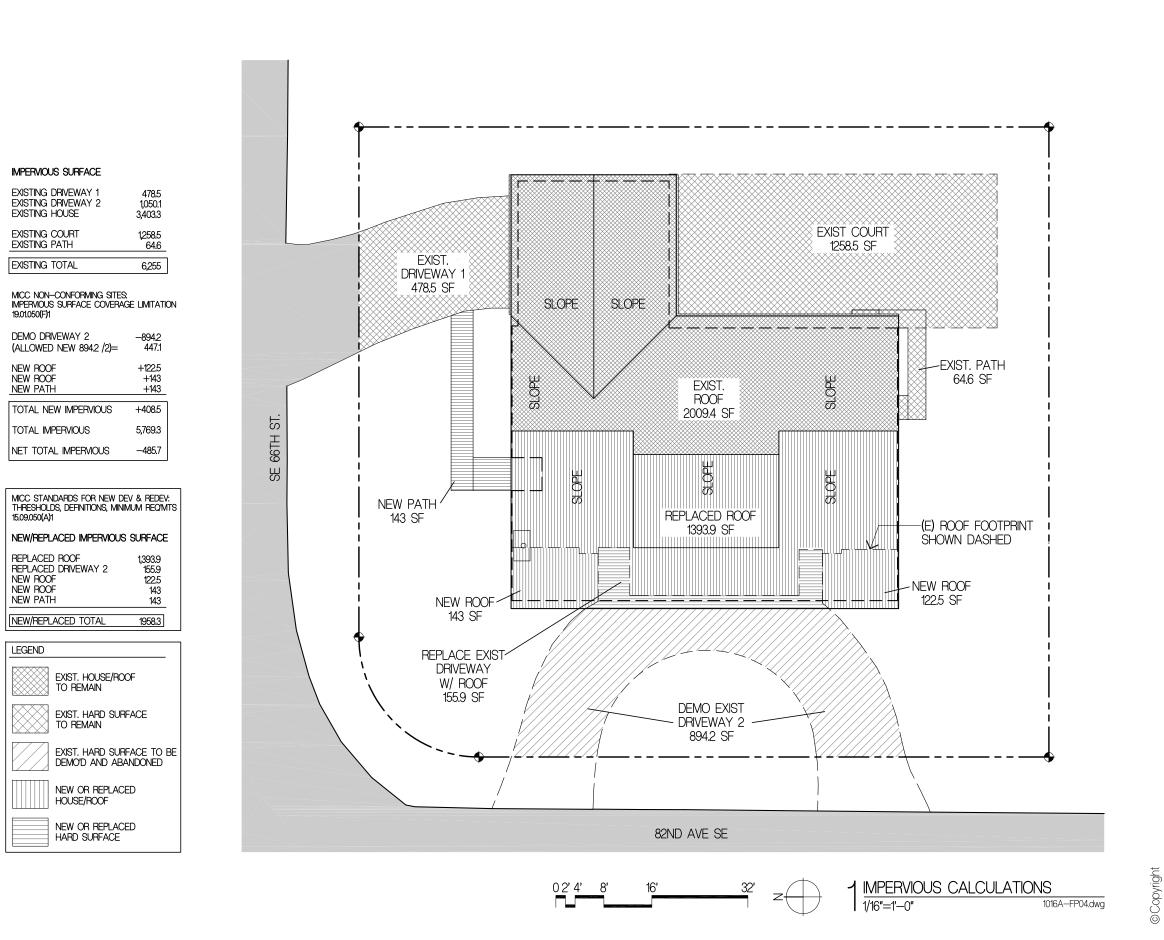
EXIST. HARD SURFACE TO BE DEMO'D AND ABANDONED

478.5 1,050.1 3,403.3





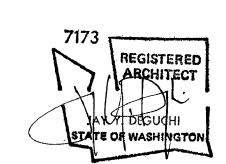




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Suyama Peterson Deguchi 2324 Second Avenue Seattle, Washington 98121

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SITE CALCULATIONS

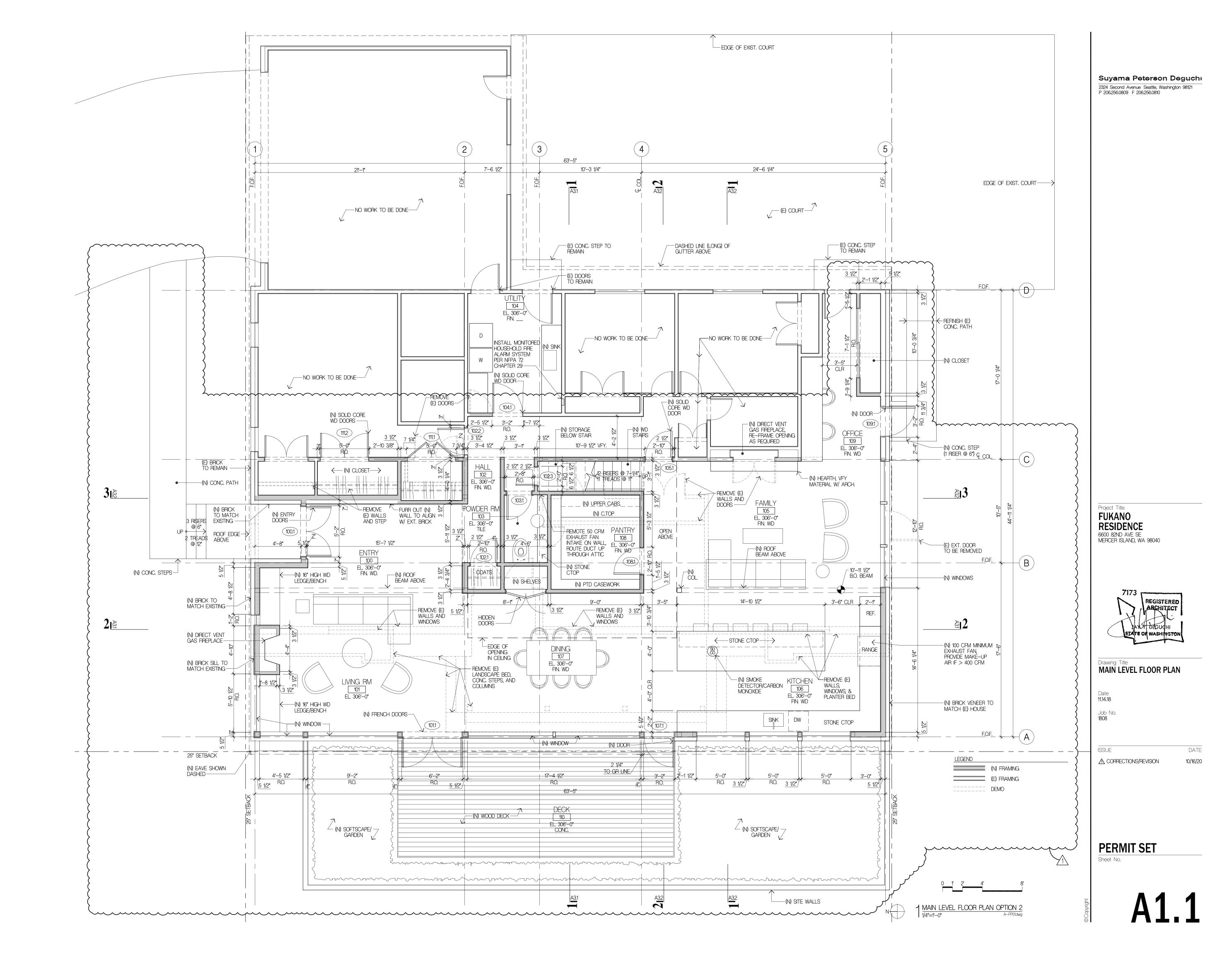
10.16.20

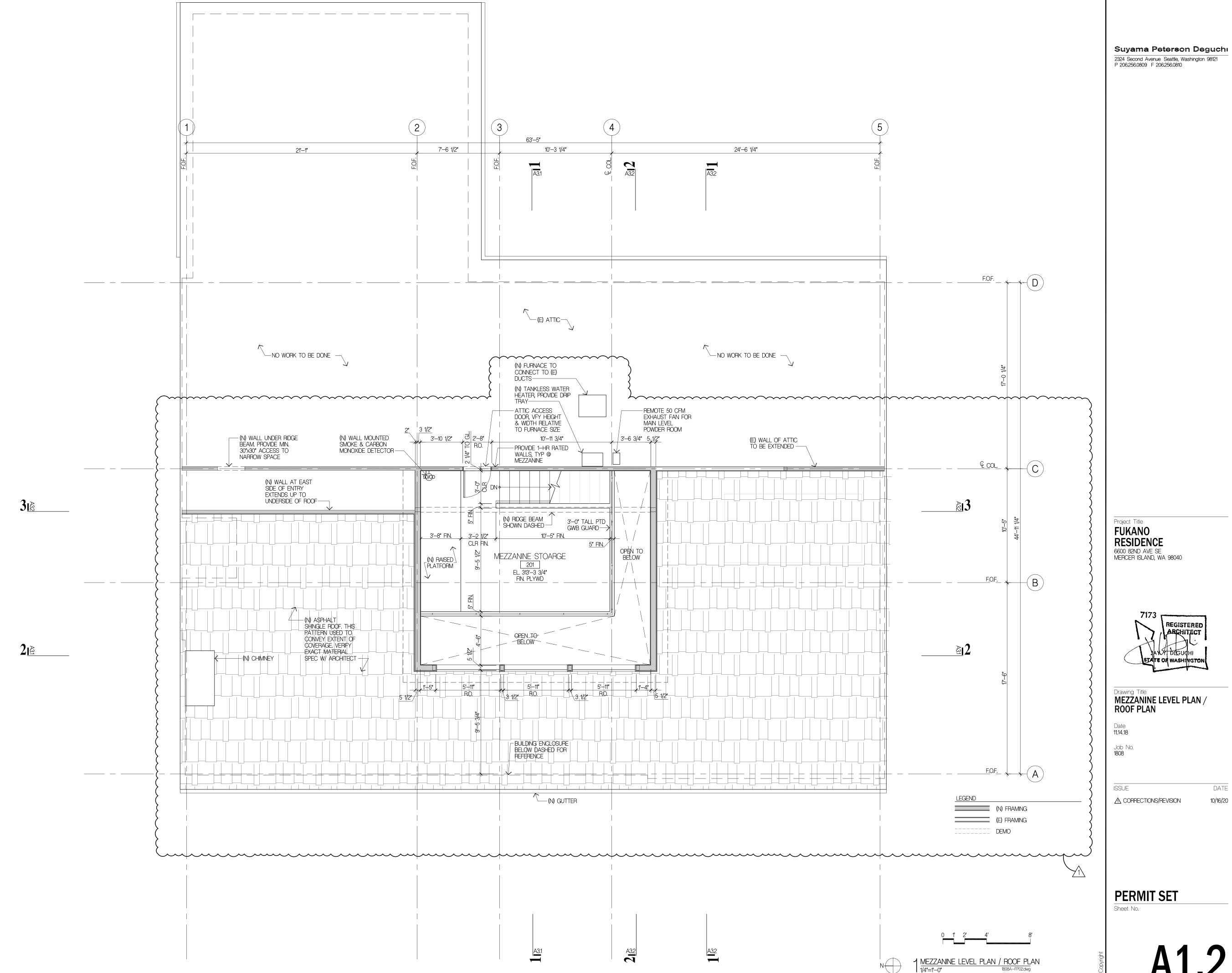
Job No. **1808**

ISSUE ▲ CORRECTIONS/REVISION

10/16/20

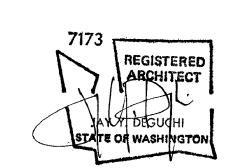
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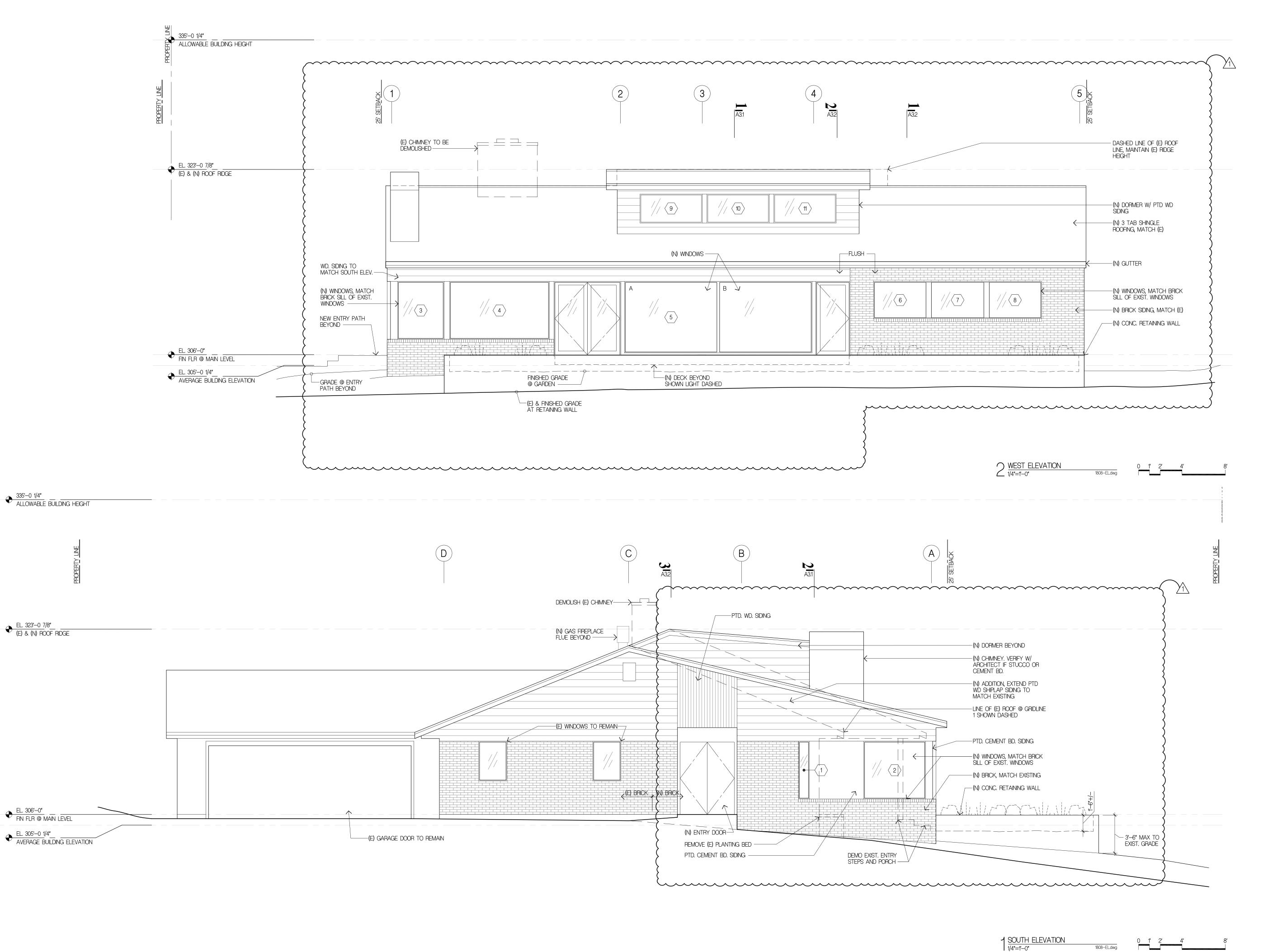
Drawing Title EXTERIOR ELEVATIONS

Date 11.14.18 Job No. **1808**

ISSUE ⚠ CORRECTIONS/REVISION

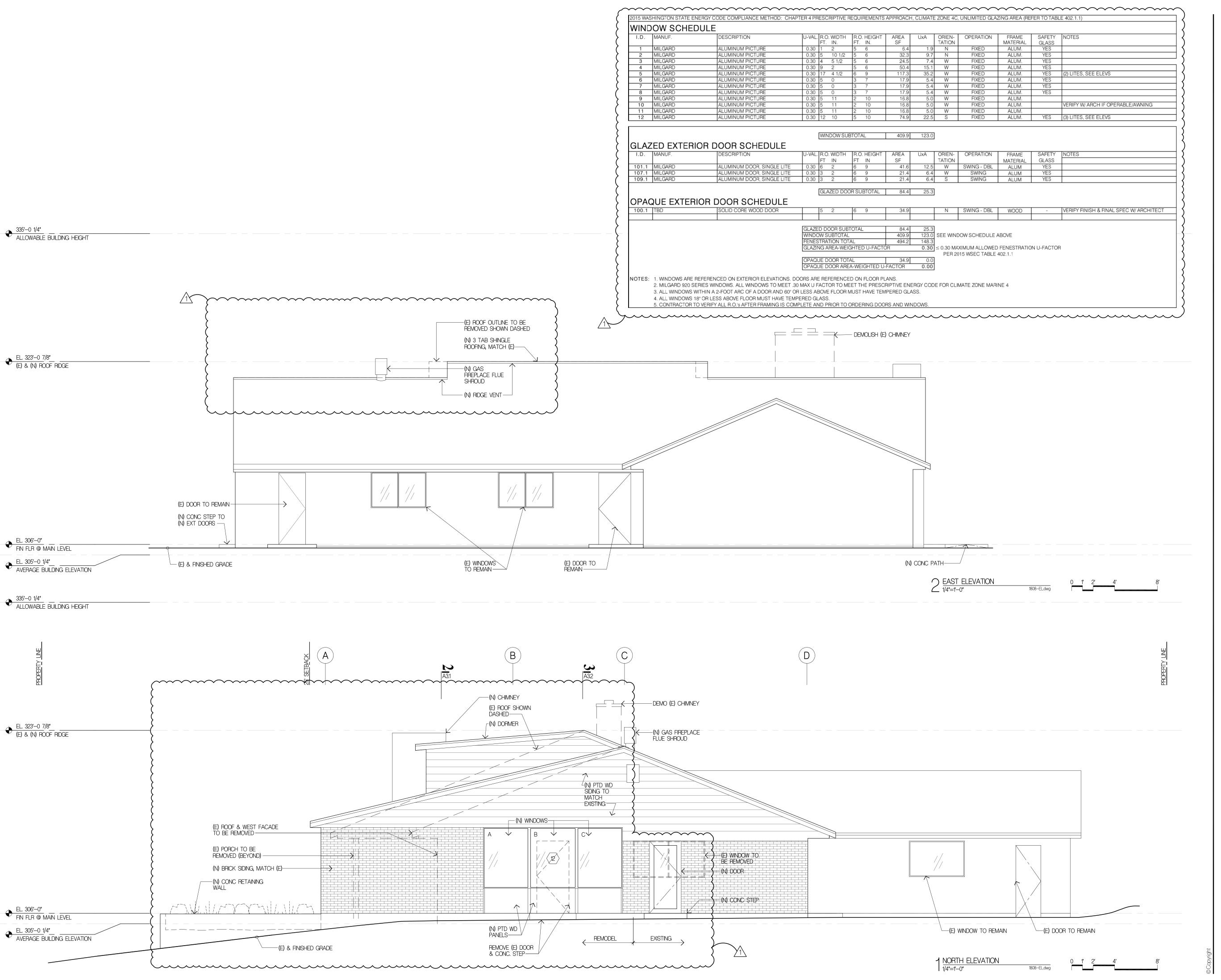
10/16/20

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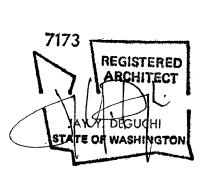
EL. 323'-0 7/8" (E) & (N) ROOF RIDGE

EL. 306'-0"
FIN FLR @ MAIN LEVEL



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FUKANO
RESIDENCE
6600 82ND AVE SE
MERCER ISLAND, WA 98040



EXTERIOR ELEVATIONS
& WINDOW/DOOR SCHEDULE

Date 11.14.18

Job No. **1808**

DATE

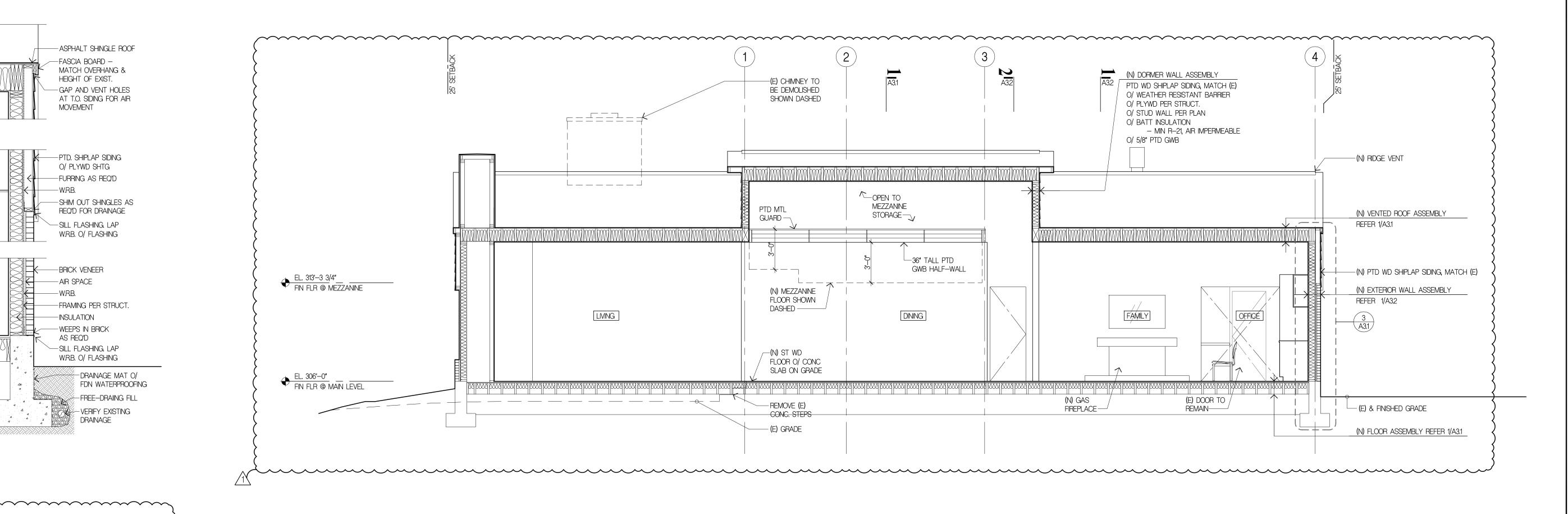
A CORRECTIONS/REVISION

10/16/20

PERMIT SET
Sheet No.

A2.2





- ASPHALT SHINGLE ROOF

-FASCIA BOARD -MATCH OVERHANG &

HEIGHT OF EXIST.

MOVEMENT

-GAP AND VENT HOLES

AT T.O. SIDING FOR AIR

-PTD. SHIPLAP SIDING

-SHIM OUT SHINGLES AS REQ'D FOR DRAINAGE

— SILL FLASHING, LAP

W.R.B. O/ FLASHING

----FRAMING PER STRUCT.

-WEEPS IN BRICK AS REQ'D

— SILL FLASHING, LAP

W.R.B. O/ FLASHING

DRAINAGE MAT O/

FDN WATERPROOFING

FREE-DRAIING FILL

VERIFY EXISTING

DRAINAGE

-BRICK VENEER

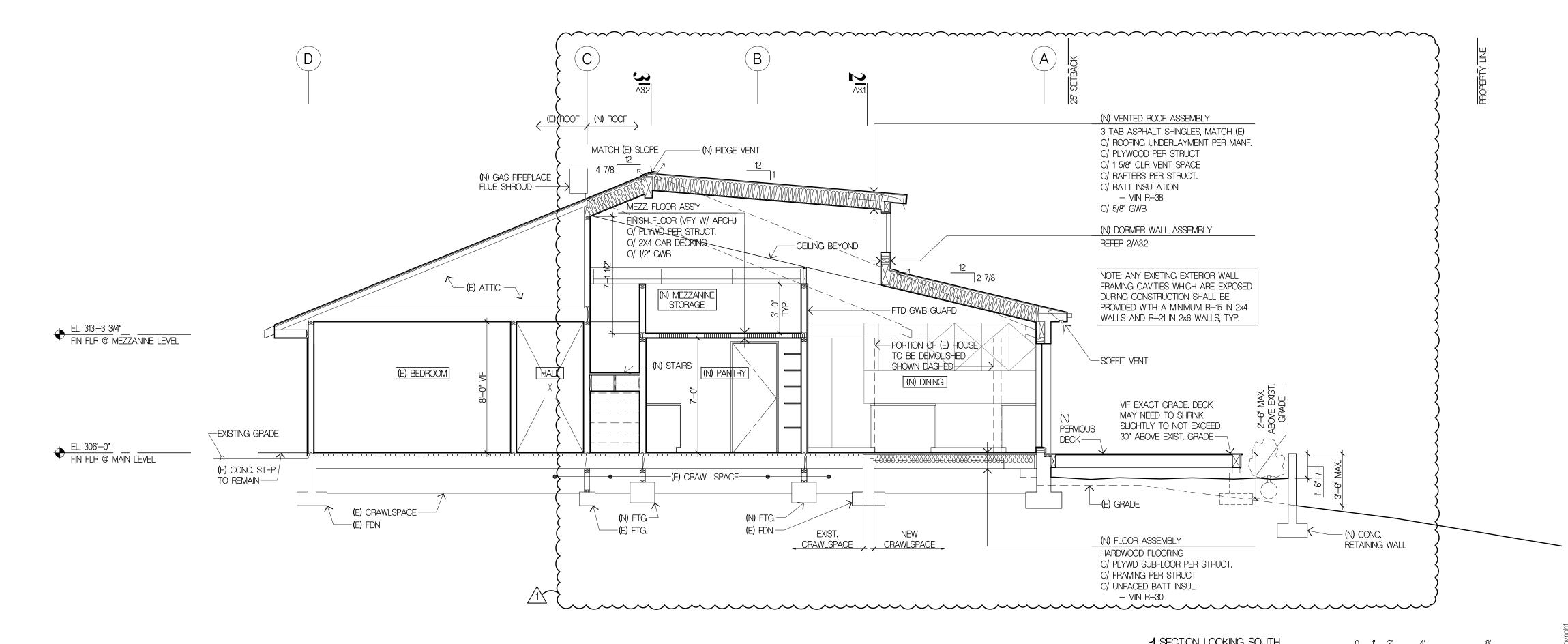
- AIR SPACE

---INSULATION

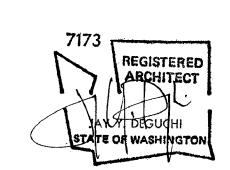
— W.R.B.

 $3\frac{\text{TYPICAL WALL SECTION}}{1/2"=1'-0"}$

O/ PLYWD SHTG -FURRING AS REQ'D



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BUILDING SECTIONS

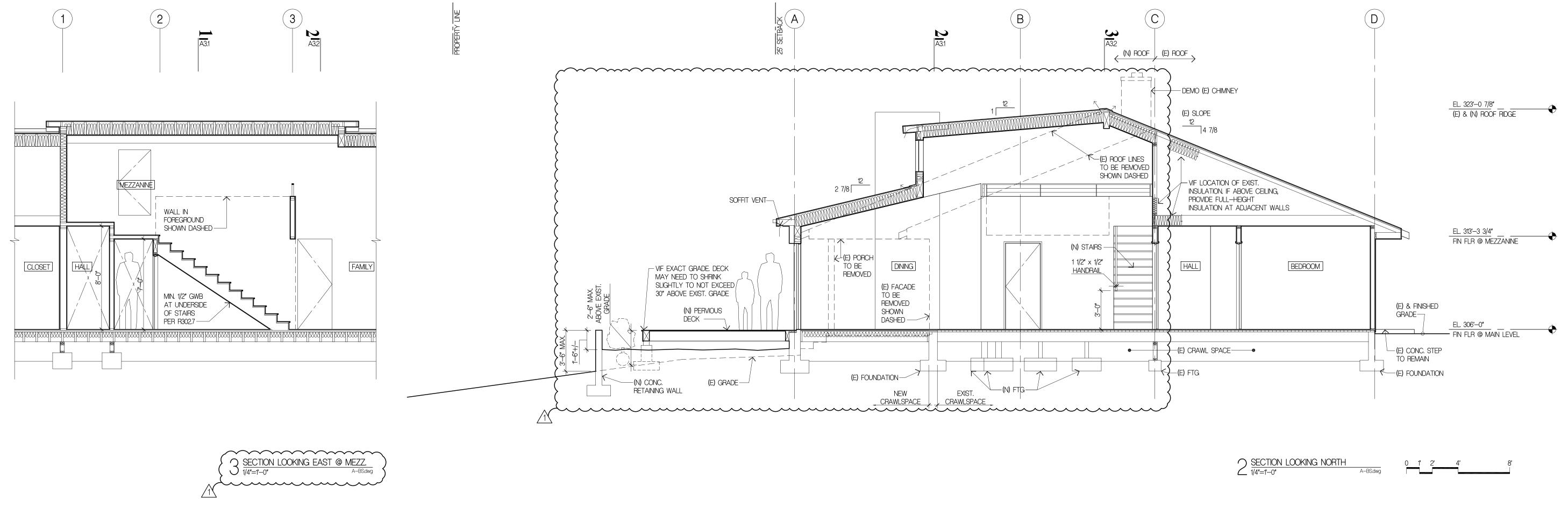
11.14.18 Job No. **1808**

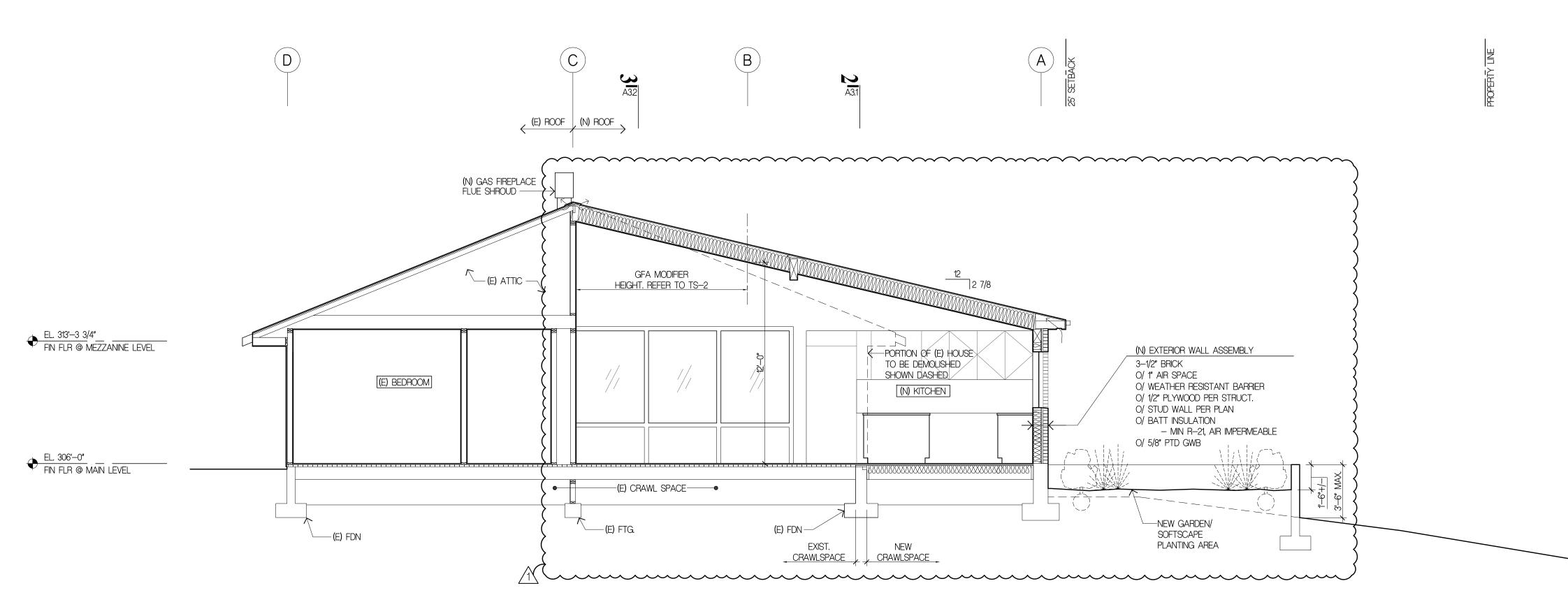
ISSUE ▲ CORRECTIONS/REVISION

10/16/20

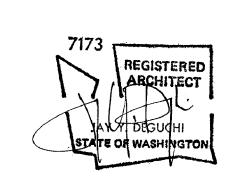
PERMIT SET Sheet No.







Project Title
FUKANO
RESIDENCE
6600 82ND AVE SE
MERCER ISLAND, WA 98040



BUILDING SECTIONS

Date 11.14.18 Job No. 1808

ISSUE

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PERMIT SET
Sheet No.

A3.2

CRITERIA

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE 2015 SEATTLE BUILDING CODE.

2. DESIGN LOADING CRITERIA: HANDRAILS AND GUARDS

	HANDINATED AND GOARDS	
	GUARDRAILS/BALCONY RAILS	0 PLF
	GUARDRAILS/BALCONY RAILS CONCENTRATED LOAD	0 LBS
	RESIDENTIAL - ONE AND TWO-FAMILY DWELLINGS	
	FLOOR LIVE LOAD	0 PSF
	ROOF	
	ROOF LIVE LOAD	5 PSF
	MISCELLANEOUS LOADS	
	DECKS	ERVED
	DEFLECTION CRITERIA	
	LIVE LOAD DEFLECTION	L/360
	TOTAL LOAD DEFLECTION	L/240
_	ENVIRONMENTAL LOADS	~~

> SDC D, Ie=1.0, R=6.5 SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.
- 4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".
- 7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.
- 9. ALL STRUCTURAL SYSTEMS, WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED, SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- 10.SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

GLUED LAMINATED MEMBERS
MANUFACTURED LUMBER (PSL'S, LSL'S, LVL'S)

CONTRACTOR SHALL SUBMIT WALL ELEVATION DRAWINGS OF AT LEAST 1/8" = 1'-0" SCALE INDICATING LOCATIONS OF CONNECTION EMBEDMENT'S AND WALL OPENINGS FOR REVIEW PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WALL ELEVATION DRAWINGS WITH REINFORCEMENT SHOP DRAWINGS.

APPROVED SETS OF ALL SHOP DRAWINGS SHALL ALSO BE SUBMITTED TO THE BUILDING

11. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

QUALITY ASSURANCE

12.STRUCTURAL OBSERVATION SHALL BE PERFORMED IN ACCORDANCE WITH SECTIONS 1704.6 OF THE INTERNATIONAL BUILDING CODE FOR THE FOLLOWING BUILDING ELEMENTS:

LIGHT FRAMED SHEAR WALLS HOLDDOWNS CONCRETE CONSTRUCTION

MASONRY CONSTRUCTION

THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD ADEQUATE NOTICE TO SCHEDULE APPROPRIATE SITE VISITS FOR STRUCTURAL OBSERVATION.

STRUCTURAL OBSERVATION MEANS THE VISUAL OBSERVATION OF THE STRUCTURAL SYSTEM, FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS, AT SIGNIFICANT CONSTRUCTION STAGES AND AT COMPLETION OF THE STRUCTURAL SYSTEM. STRUCTURAL OBSERVATION DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR THE INSPECTIONS REQUIRED BY SECTION 110, 1705, OR OTHER SECTIONS OF THE INTERNATIONAL BUILDING CODE.

THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, TO PERFORM STRUCTURAL OBSERVATION. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR, AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES WHICH, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.

GEOTECHNICAL

13.FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

14.DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.

RENOVATION

- 15.CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.
- 16.EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED
- A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE. CORNERS SHALL NOT BE
- B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
- C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING.

 D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DRILL AND EPOXY DOWELS MATCHING THE NEW REINFORCING INTO THE EXISTING CONCRETE WITH 6" EMBED, UNLESS OTHERWISE NOTED ON PLANS.
- 17.CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

- 18.CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2,500 PSI.
- 19.A CONCRETE PERFORMANCE MIX SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 318-14, SECTIONS 26.4.3 AND 26.4.4. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.
- 20.ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.
- 21.REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, FY = 40,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE DEFORMED WIRE CONFORMING TO ASTM A615, GRADE 60, FY = 60,000 PSI.
- 22.DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
- 23.CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED

24.CONCRETE WALL REINFORCING--PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

6" WALLS	#4 @	16 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
8" WALLS	#4 @	12 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
10" WALLS	#4 @	18 HORIZ.	#4 @ 18 VERTICAL	2 CURTAINS
12" WALLS	#4 @	16 HORIZ.	#4 @ 18 VERTICAL	2 CURTAINS

25.CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.

ANCHORAGE

- 26.EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.
- 27.EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "AT-XP" AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH IAMPO REPORT NO. ER-0281. MINIMUM BASE MATERIAL TEMPERATURE IS 14 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.
- 28.CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

MASONRY

- 29.MASONRY VENEER, 5" MAXIMUM THICKNESS, SHALL BE ANCHORED TO MASONRY BACKING WALLS PER SECTION 1405.6 OF THE INTERNATIONAL BUILDING CODE WITH 7/8" x 22 GAUGE CORRUGATED CORROSION RESISTANT SHEET METAL OR NO. 9 GAGE WIRE ANCHORS MINIMUM. ANCHOR TIES SHALL BE SPACED SO AS TO SUPPORT NOT MORE THAN TWO SQUARE FEET OF WALL AREA AND SHALL BE SPACED NOT MORE THAN 32" O.C. HORIZONTALLY AND 25" O.C. VERTICALLY. ATTACHMENTS SHALL BE WITH CORROSION RESISTANT FASTENERS AND CONNECT TO FRAMING MEMBERS OR CONCRETE OR MASONRY BACKING. TIES SHALL HAVE A LIP OR HOOK ON THE EXTENDED LEG THAT WILL ENGAGE OR ENCLOSE A NO. 9 GAGE REINFORCEMENT WIRE. JOINT REINFORCEMENT SHALL BE CONTINUOUS WITH BUTT SPLICES BETWEEN TIES PERMITTED.
- 30.ADHERED MASONRY VENEER, 2-5/8" MAXIMUM THICKNESS, SHALL BE ADHERED TO BACKING WALLS PER SECTION 1405.10 OF THE INTERNATIONAL BUILDING CODE. ADHERED MASONRY SHALL BE ABLE TO DEVELOP SHEAR STRENGTH OF 50 PSI MINIMUM BETWEEN THE BACKING AND THE UNIT IN ACCORDANCE WITH ASTM C 482 OR SHALL BE ADHERED PER ARTICLE 3.3C OF TMS602/ACI530.1/ASCE 6.

MOOD

31.FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD "GRADING RULES FOR WEST COAST LUMBER NO. 17", OR WWPA STANDARD, "WESTERN LUMBER GRADING RULES 2011". FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLAT	TES & MISC. FRAMING:	DOUGLAS-FIR-LARCH OR HEM-FIR NO. 2

32.GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA-EWS CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS, WITH SPANS OVER 30', TO 3,500' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.

33.MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E)	Fb = 2900 PSI,	E = 2000 KSI,	Fv = 290 PSI
LVL (2.0E)	Fb = 2600 PSI,	E = 2000 KSI	Fv = 285 PSI
LSL (1.55E)	Fb = 2325 PSI,	E = 1550 KSI	Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

34.PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 5/8" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- 35.TONGUE-AND-GROOVE STRUCTURAL ROOF AND FLOOR DECKING SHALL BE INSTALLED AS FOLLOWS: 2X DECKING SHALL BE TOENAILED THROUGH THE TONGUE AND FACE - NAILED WITH ONE 16d NAIL PER PIECE PER SUPPORT. 3X AND 4X DECKING SHALL BE TOENAILED WITH ONE 40d COMMON NAIL AND FACENAILED WITH ONE 60d COMMON NAIL PER SUPPORT. COURSES SHALL BE SPIKED TOGETHER WITH 8" SPIKES @ 30" O.C. (MAXIMUM) AND @ 10" (MAXIMUM) FROM THE END OF EACH PIECE. SPIKES SHALL BE INSTALLED IN PREDRILLED EDGE HOLES. DECKING SHALL BE PLACED WITH A CONTROLLED RANDOM LAYOUT UNLESS OTHERWISE NOTED AND SHALL EXTEND ACROSS A MINIMUM OF THREE SPANS. EACH PLANK SHALL BEAR ON AT LEAST ONE SUPPORT. ALL JOINTS SHALL BE END MATCHED AND ALL PLANKS NAILED TOGETHER WITHIN ONE FOOT OF EACH SIDE OF THE END JOINT. END JOINTS IN ADJACENT PLANKS SHALL BE AT LEAST TWO FEET APART AND END JOINTS IN ALTERNATE PLANKS SHALL BE MORE THAN ONE FOOT APART WHEN MEASURED ALONG THE LENGTH OF THE DECKING. END JOINTS NOT OCCURRING OVER SUPPORTS SHALL BE MATCHED TONGUED AND GROOVED OR SHALL BE CONNECTED WITH 10 GAUGE METAL SPLINES DRIVEN INTO PRE-CUT SLOTS. TONGUE AND GROOVE JOINTS SHALL BE GLUED WITH CONSTRUCTION ADHESIVE WHERE NOTED ON PLAN.
- 36.ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.
- 37.PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.
- 38.WOOD TREATED FOR FIRE RESISTANCE SHALL MEET THE REQUIREMENTS OF ASTM E 84 OR UL 723 AND HAVE A LISTED FLAME SPREAD INDEX OF 25 OR LESS. FIRE RETARDANT TREATED LUMBER AND WOOD STRUCTURAL PANELS SHALL BE LABELED IN ACCORDANCE WITH IBC 2303.2.4. WOOD TREATED FOR FIRE PROTECTION FOR USE IN INTERIOR ABOVE GROUND CONSTRUCTION AND CONTINUOUSLY PROTECTED FROM WEATHER AND OTHER SOURCES OF MOISTURE SHALL BE TREATED TO AWPA UCFA. WOOD TREATED FOR FIRE PROTECTION FOR USE IN EXTERIOR ABOVE GROUND CONSTRUCTION AND SUBJECT TO WETTING OR OTHER SOURCES OF MOISTURE SHALL BE TREATED TO AWPA UCFB.
- 39.FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

	~~~~	
WOOD TREATMENT	CONDITION	PROTECTION
HAS NO AMMONIA CARRIER	INTERIOR DRY	G90 GALVANIZED
CONTAINS AMMONIA CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OR
		CONTINUOUS HOT-GALVANIZED
		PER ASTM A653
CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
AZCA	ANY	TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

40.TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

### 41.WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d BOX	3-1/2"	0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR PROVIDE AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

### 42.NOTCHES AND HOLES IN WOOD FRAMING:

- A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.
- B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.
- C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.
- 43.WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL)APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES)AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

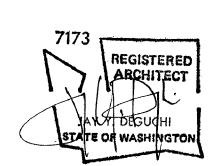
C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER UNLESS OTHERWISE NOTED.

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## STRUCTURAL NOTES

Date 11.14.18 Job No.

1808

ISSUE

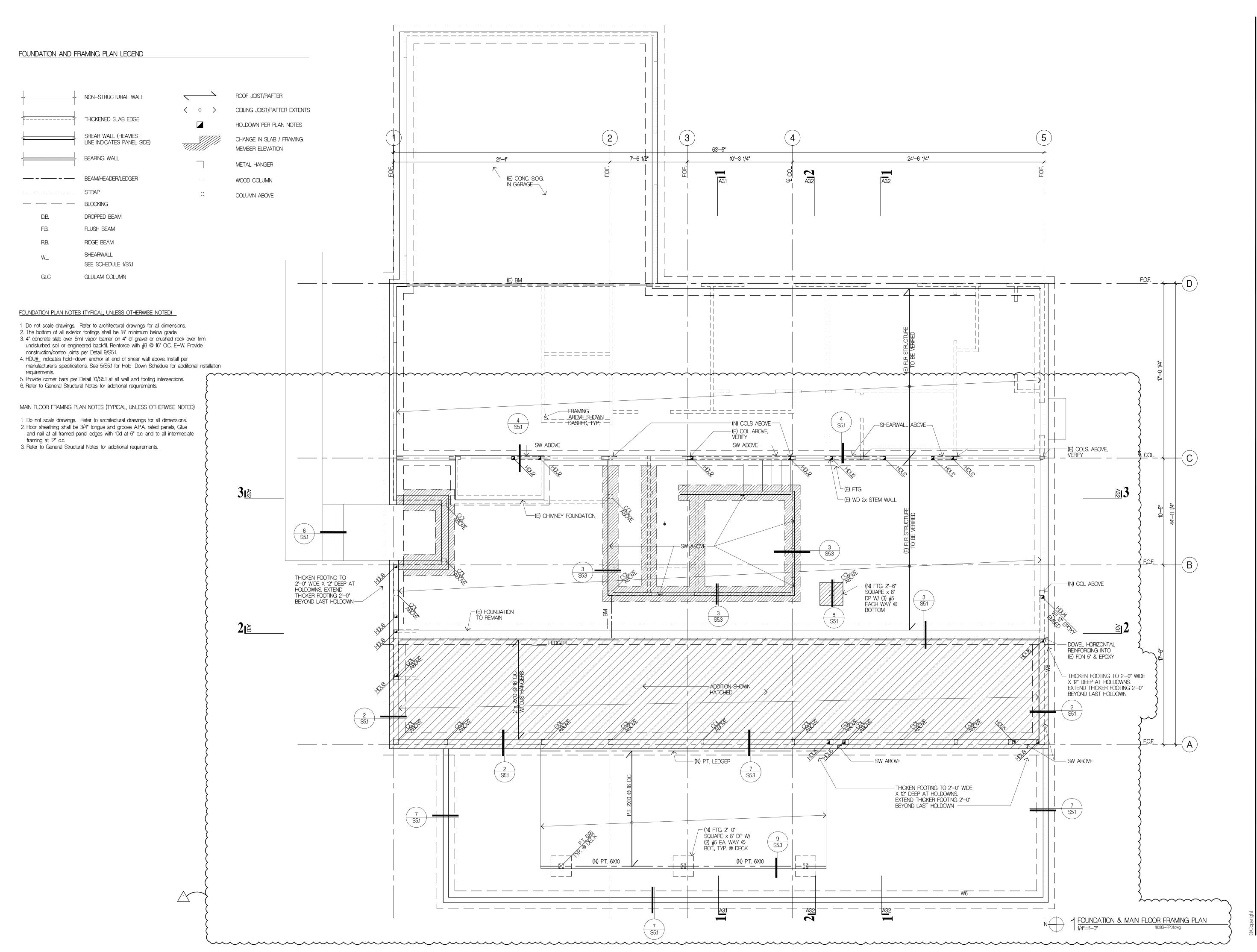
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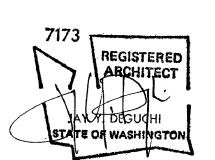
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10/16/20



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FOUNDATION & MAIN FLOOR FRAMING PLAN

Date 11.14.18

Job No. **1808** 

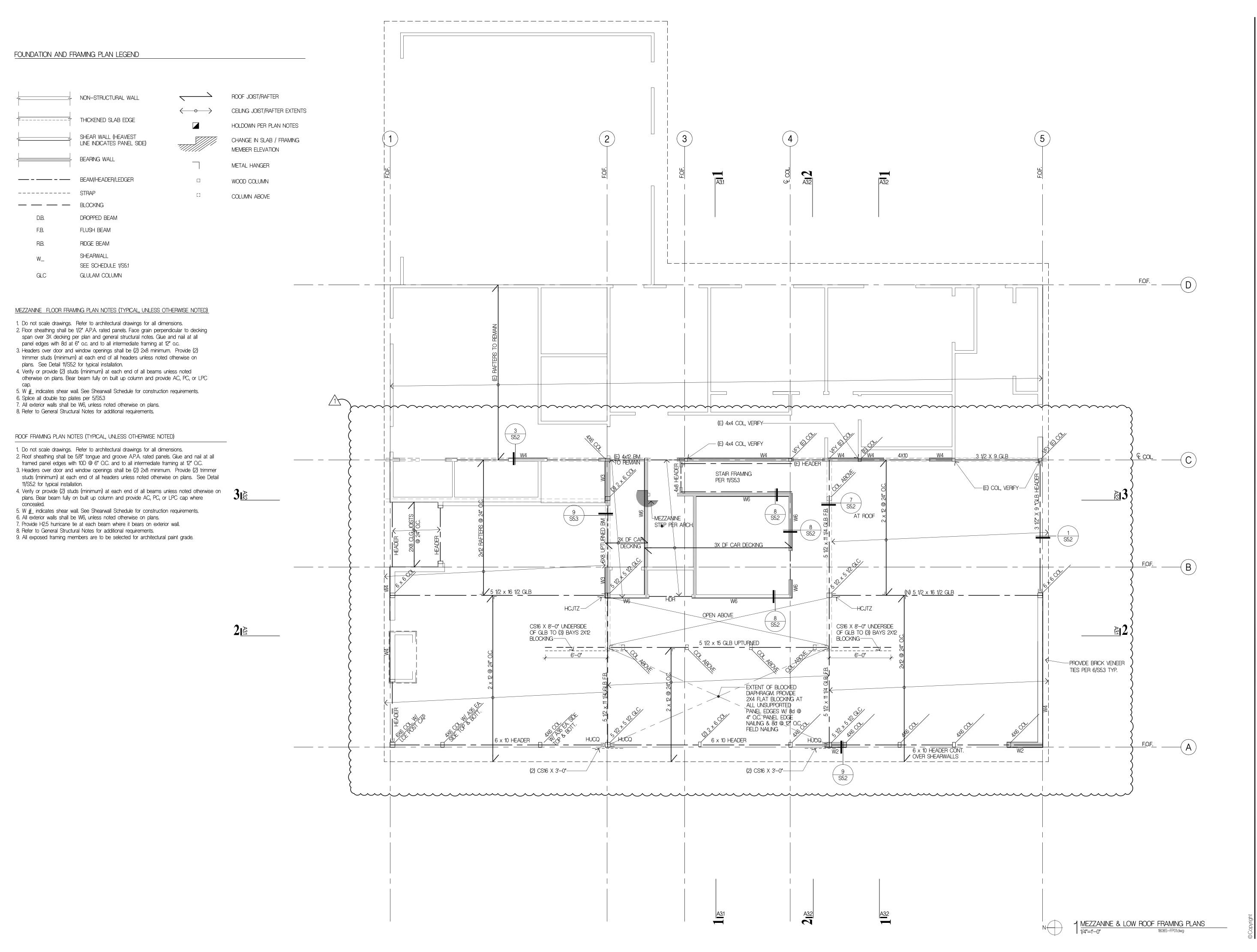
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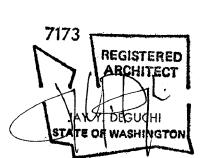
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MEZZANINE & LOW ROOF FRAMING PLAN

Date 11.14.18

Job No. **1808** 

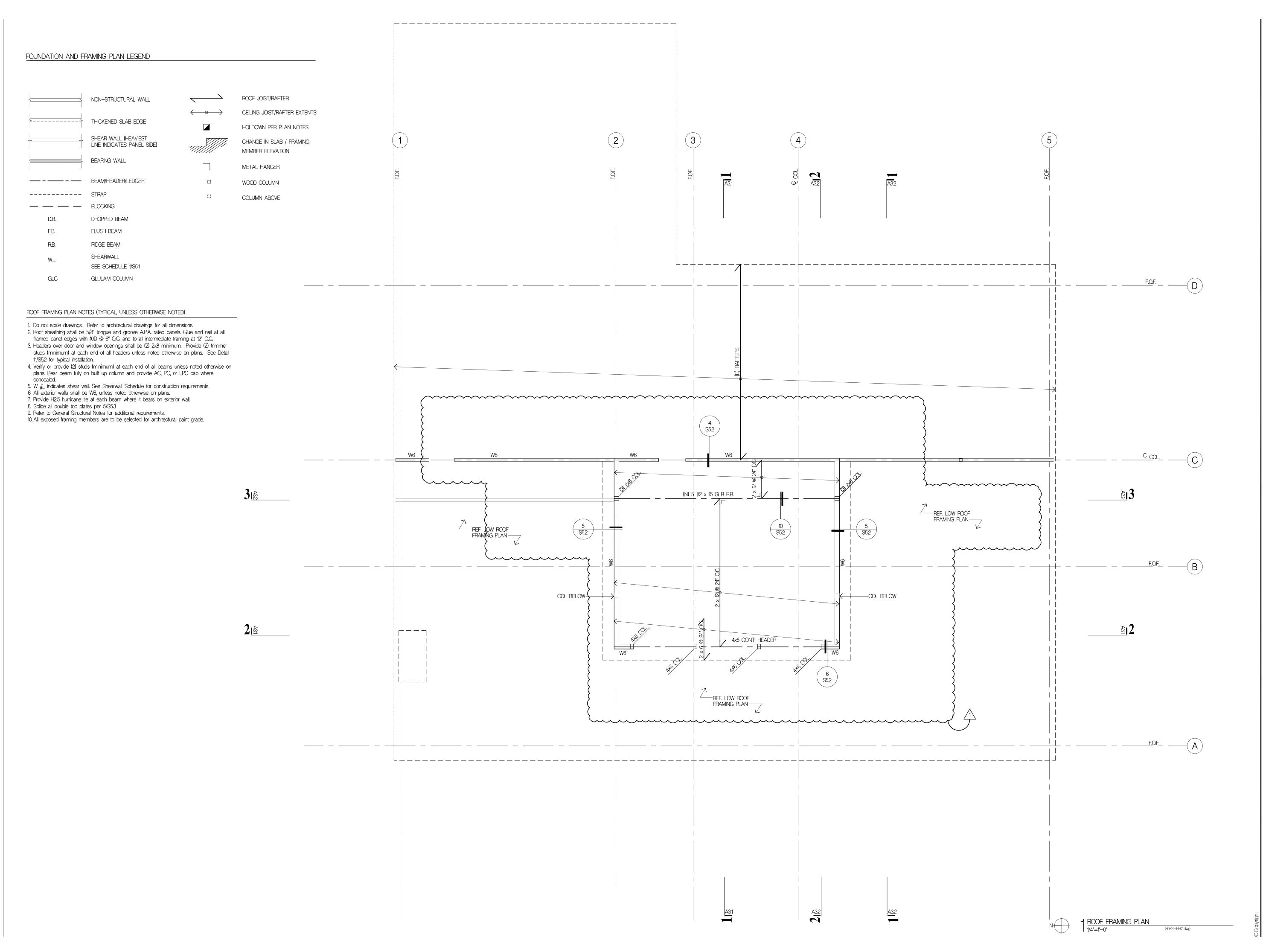
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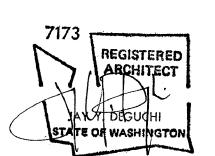
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Drawing Title
ROOF
FRAMING PLAN

Date 11.14.18

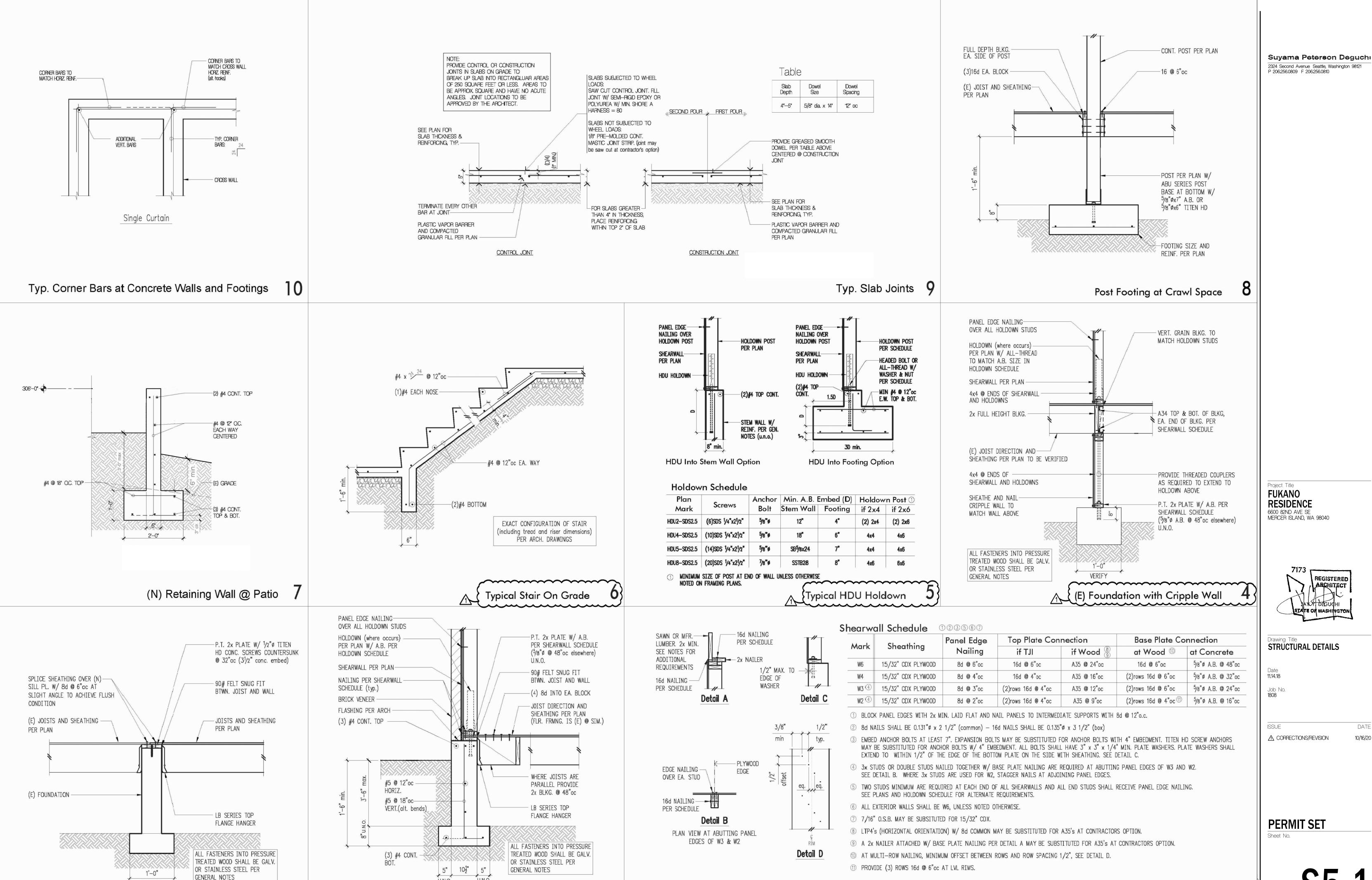
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CORRECTIONS/REVISION

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**S1.3** 



Exterior Framing at Crawl Space

Interior Framing at Crawl Space

Shearwall Schedule

10/16/20

REGISTERED ARCHITECT

