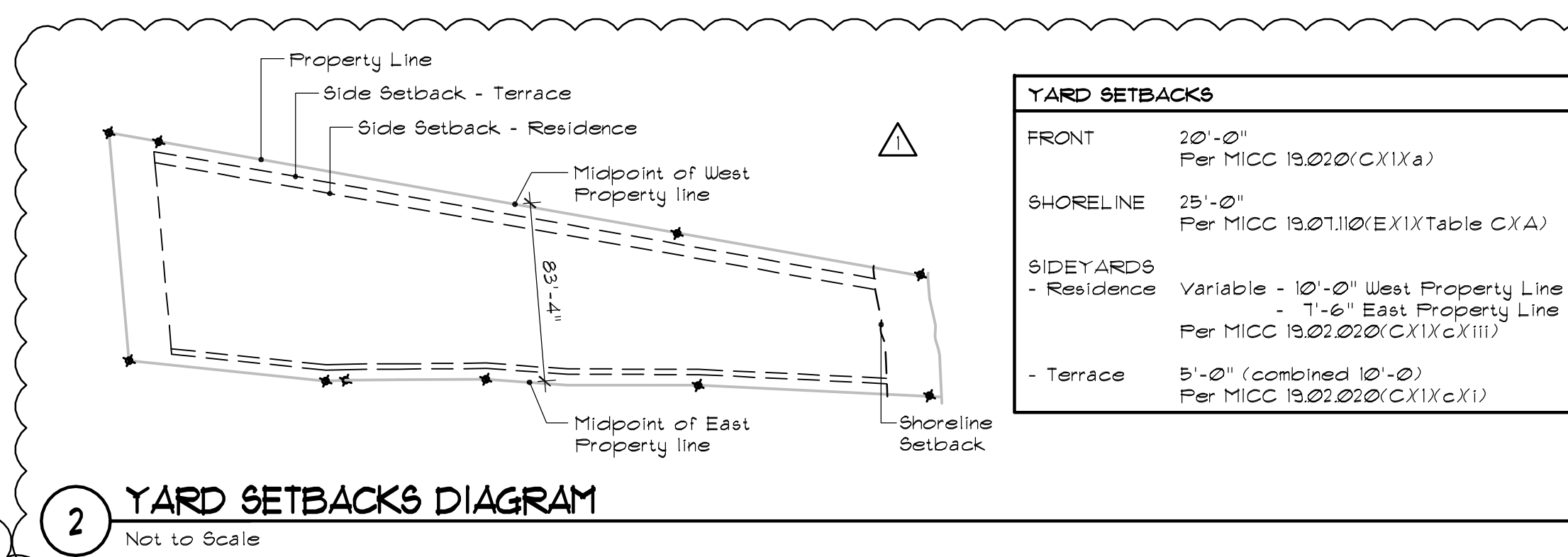
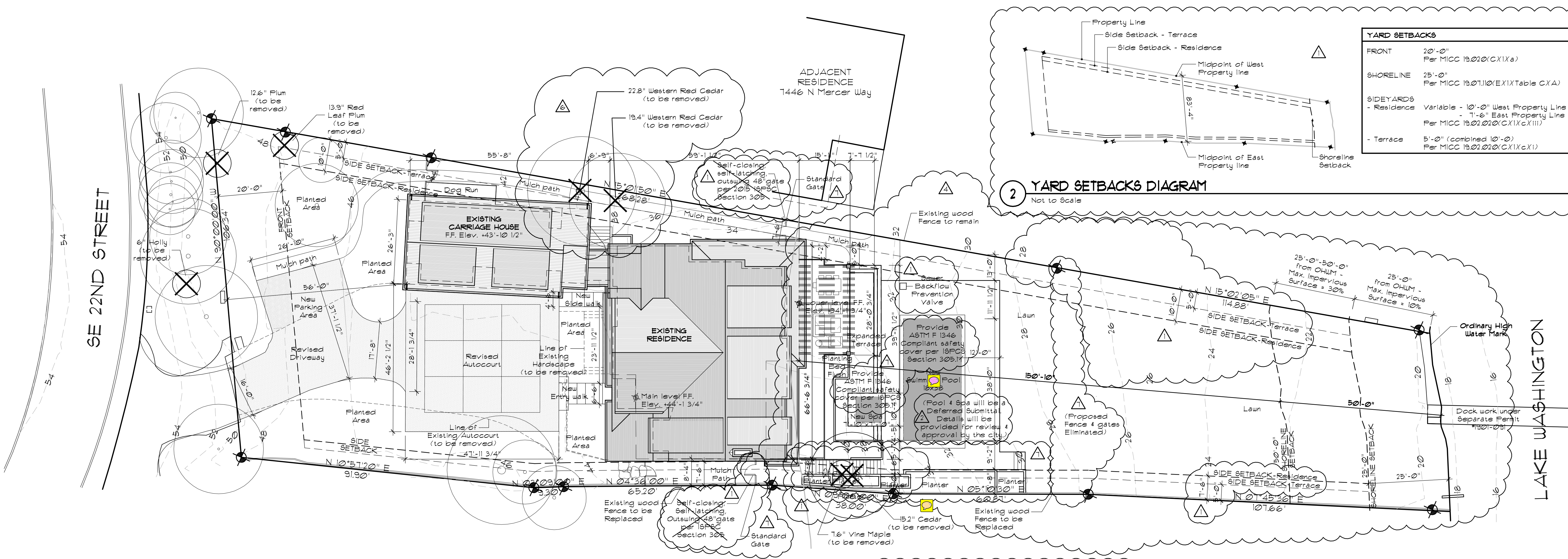


<p><b>VICINITY MAP</b></p> <p>Not to Scale</p>	<p><b>PROJECT DATA</b></p> <p><b>OWNER</b> Sean &amp; Lori Kell 14233 SE 92nd Street Newcastle, Washington 98059 (206) 954-3204 Phone CONTACT: Sean Kell sean_kell@yahoo.com</p> <p><b>ARCHITECT</b> Stillwell Hanson Architects 46 Etruria Street Suite 200 Seattle, Washington 98109 CONTACT: Craig Stillwell craig@stillwellhanson.com Email</p> <p><b>STRUCTURAL ENGINEER</b> Swenson Day Faget 2124 3rd Avenue Suite 102 Seattle, WA 98121 (206) 443-6212 Phone CONTACT: Dan Day dday@swensondayfaget.com Email</p> <p><b>CONTRACTOR</b> Hoxie Huggins Construction 46 Etruria Street #202 Seattle, Washington 98109 (206) 456-5266 ext-101 CONTACT: Rob Hoxie rob@hoxiehuggins.com Email</p>	<p><b>PROPERTY DATA</b></p> <p><b>PROJECT ADDRESS</b> 1450 North Mercer Way Mercer Island, Washington 98040</p> <p><b>ZONING DESIGNATION</b> R-15</p> <p><b>HEIGHT LIMIT</b> 30'-0"</p> <p><b>SETBACKS</b> Front (South) 20'-0" Side - Structural (West) Variable 10'-0" Side - Structural (East) Variable 7'-6" Side - Terrace (Combined 10'-0") 5'-0" Rear (North) from OHW Line 25'-0"</p> <p><b>LOT AREA</b> 30,945 sq ft (per Survey)</p> <p><b>ASSESSOR'S TAX NUMBER</b> 531510-0125</p> <p><b>LEGAL DESCRIPTION</b> MC GILVERAS ISLAND ADD ALL 9 &amp; POR OF 10 WLY OF FOLG LN - BEG AT PT ON S LN BLK 2 DIST 104.18 FT W FRM SE COR OF SD BLK TH N 10 DEG 51 MIN 20 SEC E 91.90 FT TH N 03 DEG 09 MIN 00 SEC E 93.00 FT TH N 04 DEG 36 MIN 00 SEC E 65.20 FT TH N 03 DEG 06 MIN 00 SEC E 38 FT TH N 05 DEG 10 MIN 30 SEC E 60.81 FT TH N 01 DEG 45 MIN 36 SEC E 118 FT M/L TO SH LN OF LK WASH &amp; 2ND CL SH LDBS ADJ</p>	<p><b>CONSTRUCTION DATA</b></p> <p><b>SCOPE OF WORK</b> Lower level covered porch expansion, revised driveway configuration and new in-ground swimming pool &amp; spa with terrace. No new conditioned space.</p> <p><b>AREA SUMMARY</b> <b>Conditioned Space</b> Existing Lower Level 1,736 sq ft Existing Main Level 4,302 sq ft Existing Upper Level 3,082 sq ft New Upper Level-under Permit #101-083 33 sq ft <b>Total</b> 9,153 sq ft</p> <p><b>AVERAGE BUILDING ELEVATION (ABE) DETERMINATION</b> Refer to Detail 1, Sheet A-012</p> <p><b>GROSS FLOOR AREA (GFA) DIAGRAMS &amp; SUMMARY</b> Refer to Detail 2, Sheet A-012</p> <p><b>LOT COVERAGE &amp; IMPERVIOUS SURFACES DIAGRAM</b> Refer to Detail 2, Sheet A-013</p> <p><b>SHORELINE DEVELOPMENT STANDARDS DIAGRAM</b> Refer to Detail 1, Sheet A-013</p>	<p><b>ENERGY DATA</b></p> <p><b>ENERGY CREDIT</b> All work to comply with 2015 Washington State Energy Code (WSEC) - Climate Zone: 4C (Marine) - Compliance Path: Mandatory &amp; Prescriptive</p> <p><b>ENERGY CODE DATA SHEET</b> Refer to Table R402.11 and General Notes, Sheet A-01, for building envelope requirements.</p> <p><b>ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS</b> Per 2015 WSEC R402.22 Additional Energy efficiency requirements, no increase in conditioned space, thus no required energy efficiency requirements.</p>
--	--	--	---	---



**LEGEND**

SYMBOL	DESCRIPTION
---	CONTOUR - EXISTING
---	CONTOUR - PROPOSED
---	HARDSCAPE - HARDSCAPE (to be removed)

**TREE INFORMATION**

Site Plan shows trees proposed for removal (total of 5). Refer to Landscapes Plan (L5-2.0 & L5-2.1), Planting Schedule 4 Notes (L5-2.2), Tree Inventory, Protection & Removal Plan (L5-1.0), and Survey for more details.

**LANDSCAPING**

Refer to Landscapes Plan (L5-2.0 & L5-2.1) and Planting Schedule 4 Notes (L5-2.2) for details on planted areas, planters, & pathways.

**SHORELINE**

Refer to Shoreline Mitigation Plan (W1 & W2) and Shoreline Planting Plan & Schedule (W3) for details on beach area.

**REVISIONS**

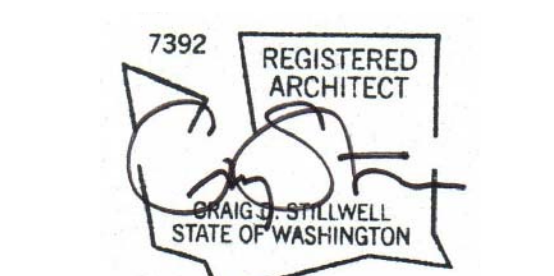
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August 20, 2019	
October 1, 2019	
December 5, 2019	
March 1, 2021	
June 1, 2021	

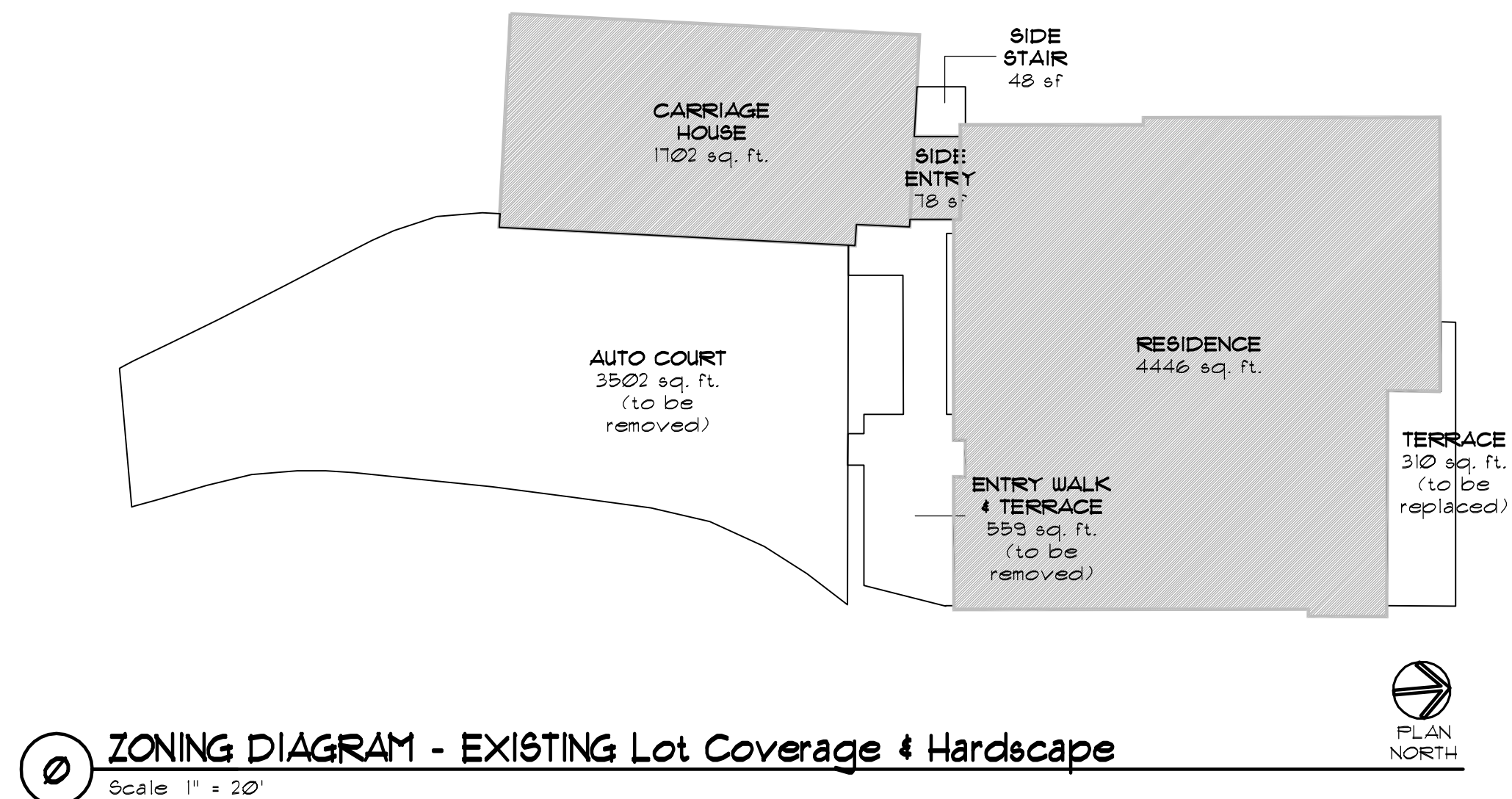
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**DESIGN BY**  
**CHECKED BY**  
**APPROVED BY**

**DATE**  
April 1, 2019

**STILLWELL HANSON ARCHITECTS**  
46 ETRURIA STREET, SUITE 200  
SEATTLE, WASHINGTON 98109  
206 297 1504 PHONE  
206 297 1543 FAX

**LBH RESIDENCE**  
7450 NORTH MERCER WAY  
MERCER ISLAND, WASHINGTON



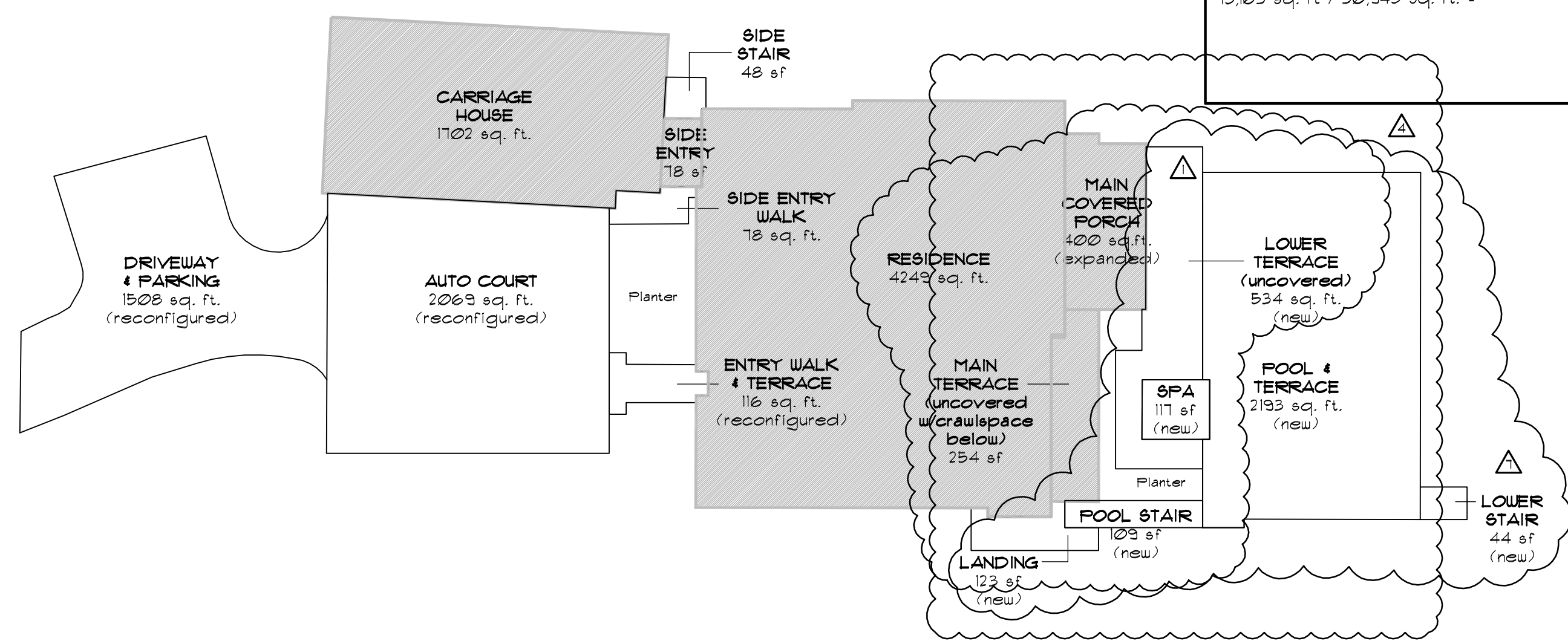


EXISTING LOT # HARDSCAPE COVERAGE	
<b>EXISTING LOT # HARDSCAPE COVERAGE</b>	
Lot Coverage	
Residence	4,446 sq. ft.
Side Entry	78 sq. ft.
Carriage House	1,702 sq. ft.
Auto Court	3,502 sq. ft.
<b>Total</b>	<b>9,728 sq. ft.</b>
<b>TOTAL EXISTING LOT COVERAGE</b>	
9,728 sq. ft. / 30,945 sq. ft. = 31.4%	
<b>Hardscape Coverage</b>	
Side Stair	559 sq. ft.
Entry Walk & Terrace	147 sq. ft.
Terrace	310 sq. ft.
<b>Total</b>	<b>1,016 sq. ft.</b>
<b>TOTAL EXISTING HARDSCAPE COVERAGE</b>	
1,016 sq. ft. / 30,945 sq. ft. = 3.3%	
<b>TOTAL EXISTING COMBINED COVERAGE (Lot Coverage + Hardscape Coverage)</b>	
9,728 sq. ft. + 1,016 sq. ft. = 10,744 sq. ft. 10,744 sq. ft. / 30,945 sq. ft. = 34.7%	

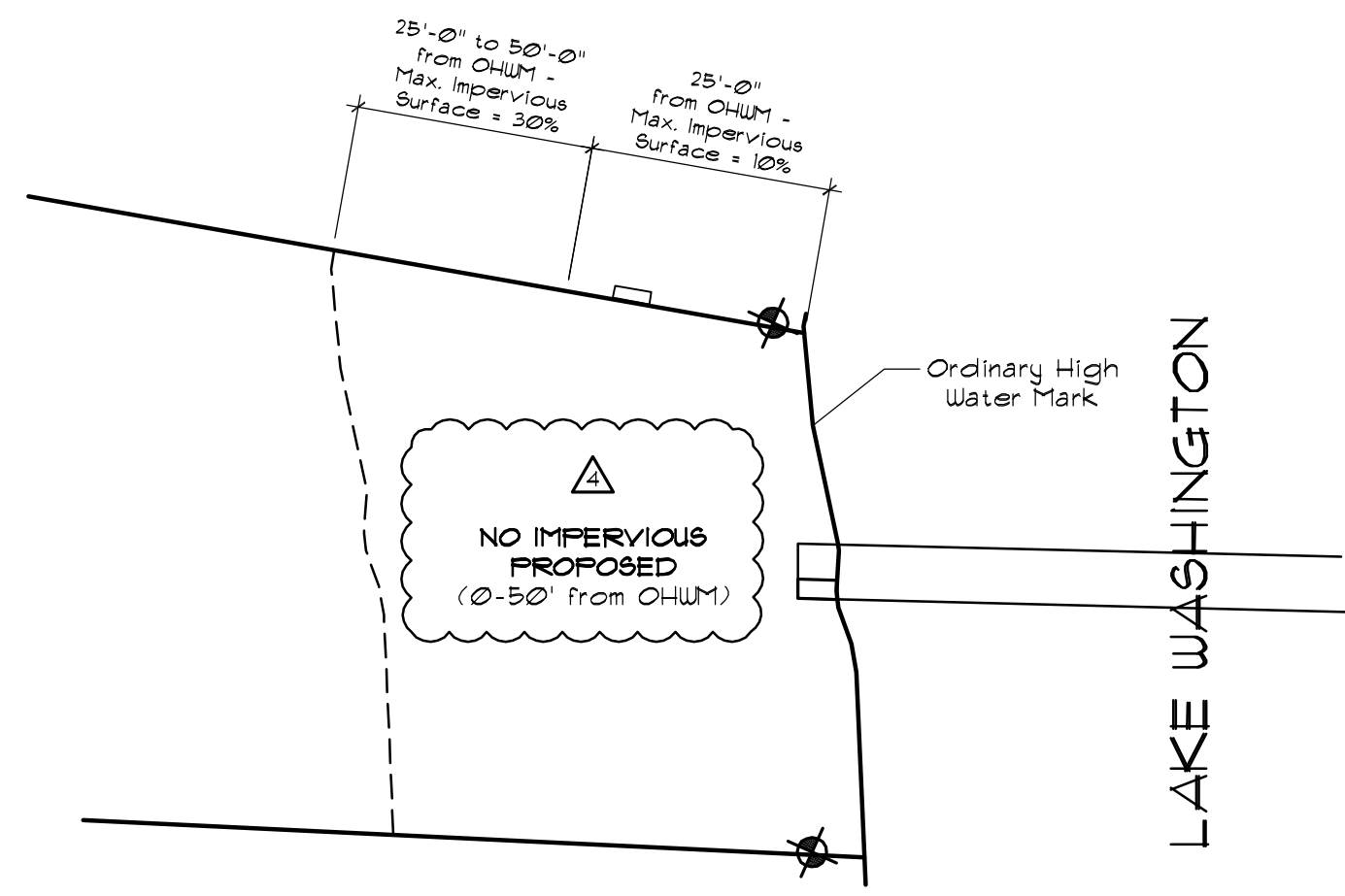
**1 ZONING DIAGRAM - EXISTING Lot Coverage & Hardscape**  
Scale: 1" = 20'

SHORELINE DEVELOPMENT STANDARDS	
MICC 19.07 I, E. Shoreline Development Standards. Waterfront lot - Impervious surface limitations.	
<b>0' to 25' Shoreline Setback</b>	
Total Area = 1,462 sq. ft.	
Impervious Surface Limitation: 10% x 1,462 sq. ft.	
Impervious Surface Proposed:	
Total Impervious Surface Proposed:	
146.2 sq. ft.	
<b>25' to 50' Shoreline Setback</b>	
Total Area = 1,453 sq. ft.	
Impervious Surface Limitation: 30% x 1,453 sq. ft.	
Impervious Surface Proposed:	
Total Impervious Surface Proposed:	
435.9 sq. ft.	

PROPOSED LOT COVERAGE # HARDSCAPE CALCULATIONS	
MICC 19.02.020 F. 3. a. Lot Coverage - Landscaping Required. Minimum area required for single family dwelling shall provide the minimum landscaping area based on the net lot area and lot slope.	
<b>LOT COVERAGE (Building &amp; Driving Areas)</b>	
Lot Slope:	8%
Maximum Lot Coverage:	40%
Landscaping Area Required:	60%
Gross Lot Area:	30,945 sq. ft.
Net Lot Area:	30,945 sq. ft.
Maximum Lot Coverage	40% x 30,945 sq. ft.
Required Landscaping Area	60% x 30,945 sq. ft.
<b>HARDSCAPE COVERAGE</b>	
Lot Slope:	8%
Maximum Lot Coverage:	9%
Net Lot Area:	30,945 sq. ft.
Required Landscaping Area:	2,785 sq. ft.
<b>TOTAL COMBINED COVERAGE ALLOWED (Lot Coverage + Hardscape Coverage)</b>	
12,378 sq. ft. + 2,785 sq. ft. = 15,163 sq. ft. / 30,945 sq. ft. = 49%	
<b>PROPOSED LOT # HARDSCAPE COVERAGE</b>	
Lot Coverage	4,249 sq. ft.
Residence	4,200 sq. ft.
Main Covered Porch	254 sq. ft.
Side Entry	78 sq. ft.
Carriage House	1,702 sq. ft.
Auto Court	2,069 sq. ft.
Driveway & Parking	1,508 sq. ft.
<b>Total</b>	<b>10,260 sq. ft.</b>
<b>TOTAL PROPOSED LOT COVERAGE</b>	
10,260 sq. ft. / 30,945 sq. ft. = 33.2%	
<b>Hardscape Coverage</b>	
Pool & Terrace	2,193 sq. ft.
Lower Terrace	534 sq. ft.
Spa	117 sq. ft.
Pool Stair	109 sq. ft.
Landing	44 sq. ft.
Lower Stair	123 sq. ft.
Side Entry Walk	78 sq. ft.
Side Stair	48 sq. ft.
Entry Walk	116 sq. ft.
<b>Total</b>	<b>3,362 sq. ft.</b>
<b>TOTAL PROPOSED HARDSCAPE COVERAGE</b>	
3,362 sq. ft. / 30,945 sq. ft. = 10.9%	
<b>TOTAL PROPOSED COMBINED COVERAGE (Lot Coverage + Hardscape Coverage)</b>	
10,260 sq. ft. + 3,362 sq. ft. = 13,622 sq. ft. / 30,945 sq. ft. = 44.0%	



**2 ZONING DIAGRAM - PROPOSED Lot Coverage & Hardscape**  
Scale: 1" = 20'



**1 ZONING DIAGRAM - PROPOSED Shoreline Development**  
Not to Scale

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DESIGN BY  
CHECKED BY  
APPROVED BY  
DATE  
September 1, 2019

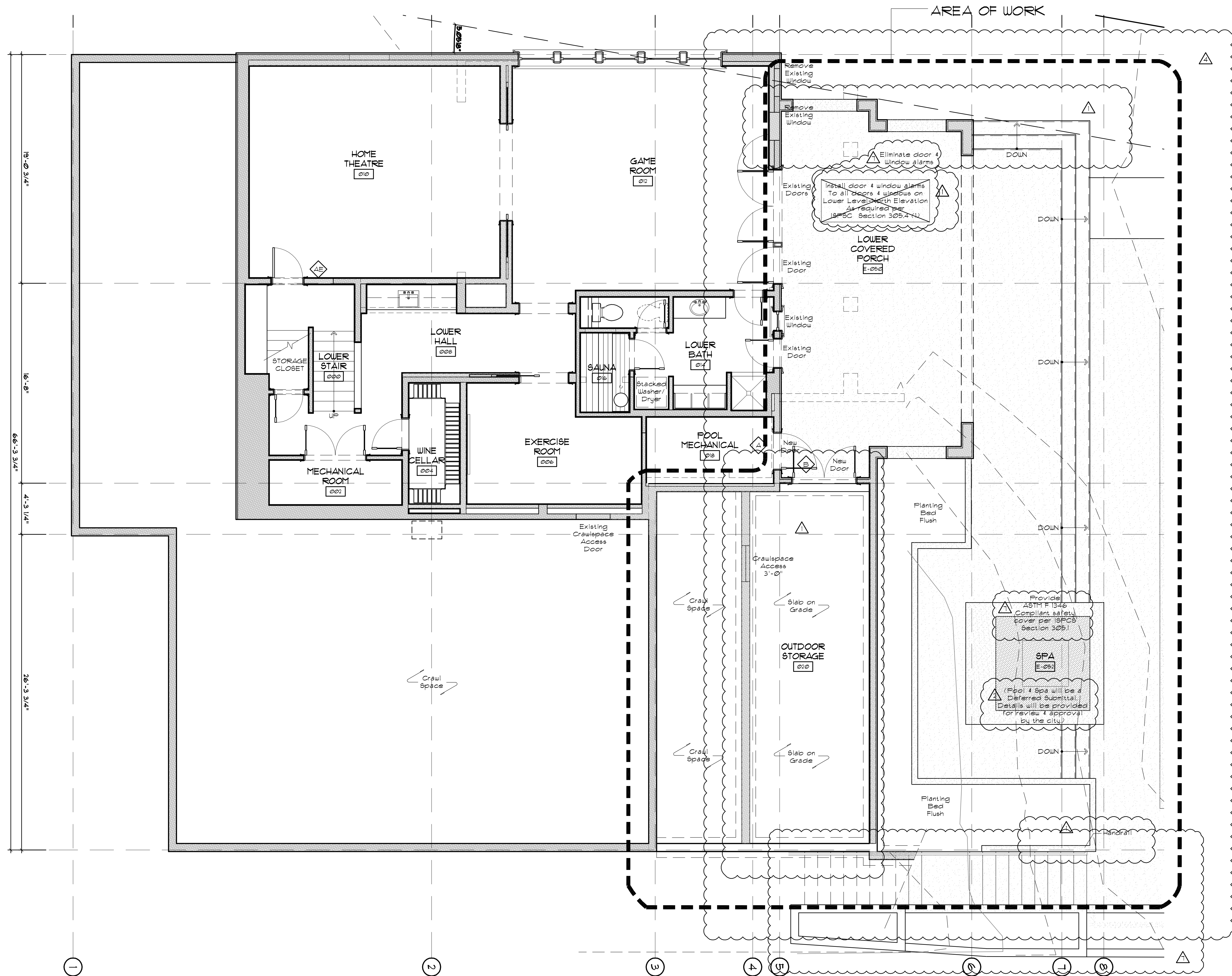
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August 5, 2019 CORRECTION #2  
October 1, 2019 REVISION #2  
June 1, 2021 REVISION #3

**STILLWELL HANSON ARCHITECTS**  
46 ETRURIA STREET, SUITE 200  
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**LBH RESIDENCE**  
7450 NORTH MERCER WAY  
MERCER ISLAND, WASHINGTON

7392 REGISTERED ARCHITECT  
STILLWELL HANSON ARCHITECTS  
STATE OF WASHINGTON

ZONING DIAGRAMS  
**A-1.3**



**FLOOR PLAN LEGEND**

SYMBOL	DESCRIPTION
	New Walls to be Constructed
	Existing Walls to Remain
	Existing Walls to be Demolished

DRAWN BY  
 DESIGN BY  
 CHECKED BY  
 APPROVED BY  
 DATE  
 April 1, 2019

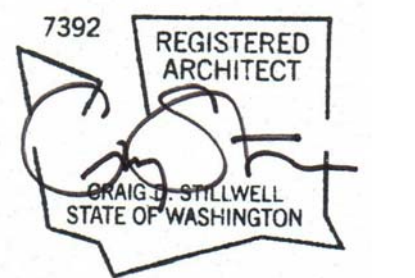
- REVISIONS
- July 10, 2019 - CORRECTIONS #1
  - August 20, 2019 - CORRECTIONS #2
  - October 1, 2019 - REVISION #1
  - June 1, 2021 - REVISION #4

**STILLWELL HANSON ARCHITECTS**

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 SEATTLE, WASHINGTON 98109  
 206 297 1504 PHONE  
 206 297 1543 FAX

**LBH RESIDENCE**

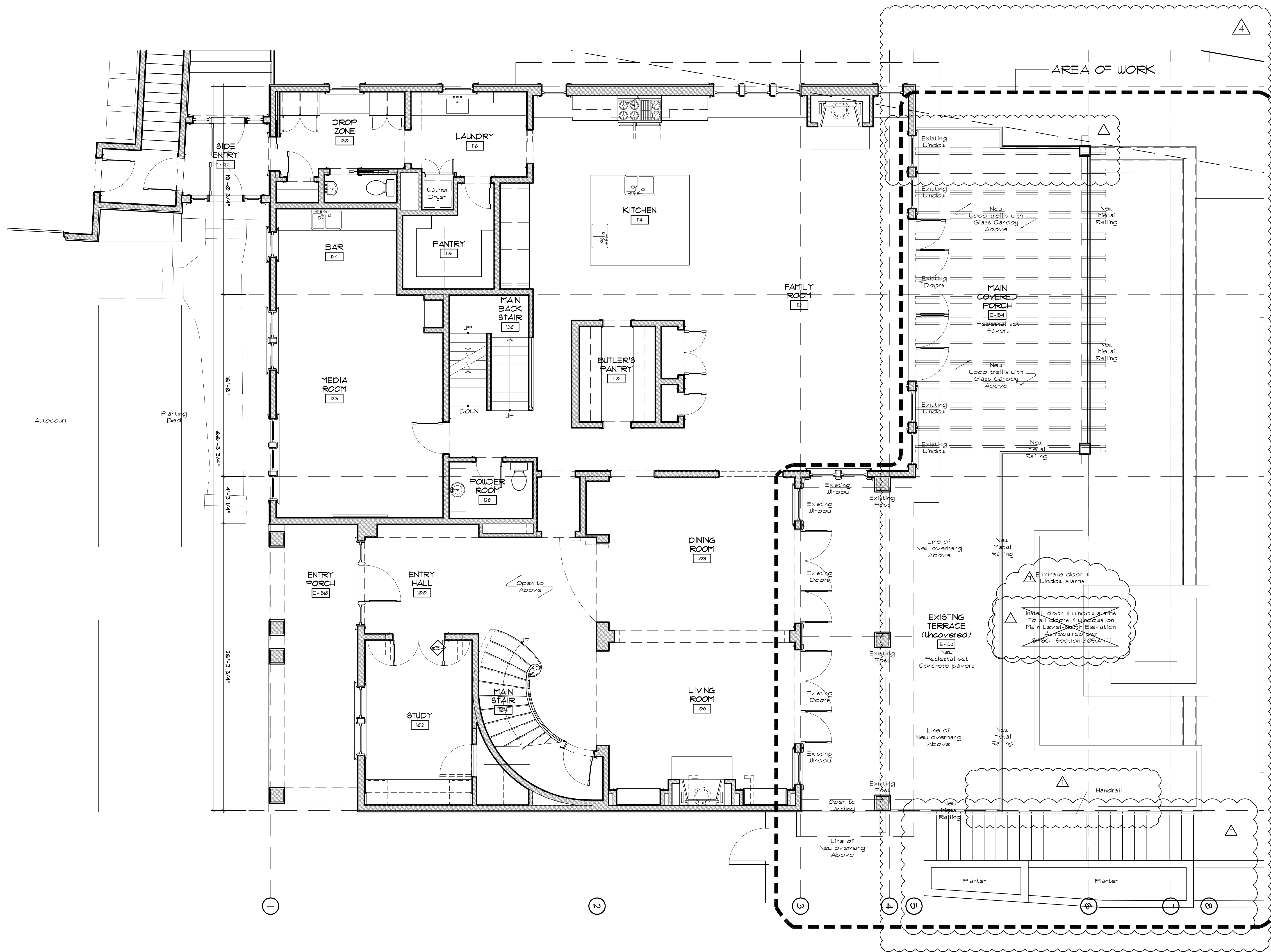
7450 NORTH MERCER WAY  
 MERCER ISLAND, WASHINGTON



**FLOOR PLAN LOWER LEVEL**

**A-2.1**





FLOOR PLAN LEGEND	
SYMBOL	DESCRIPTION
	New Walls to be Constructed
	Existing Walls to Remain
	Existing Walls to be Demolished

DRAWN BY  
 DESIGN BY  
 CHECKED BY  
 APPROVED BY  
 DATE  
 April 1, 2019

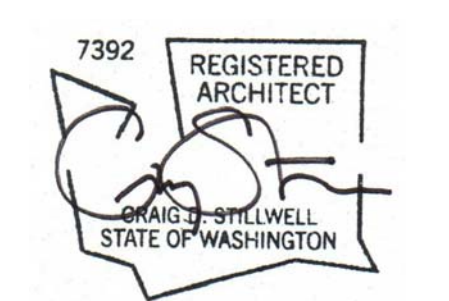
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 June 1, 2021

**STILLWELL HANSON ARCHITECTS**

46 ETRURIA STREET, SUITE 200  
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 206 297 1504 PHONE  
 206 297 1543 FAX

**LBH RESIDENCE**

7450 NORTH MERCER WAY  
 MERCER ISLAND, WASHINGTON

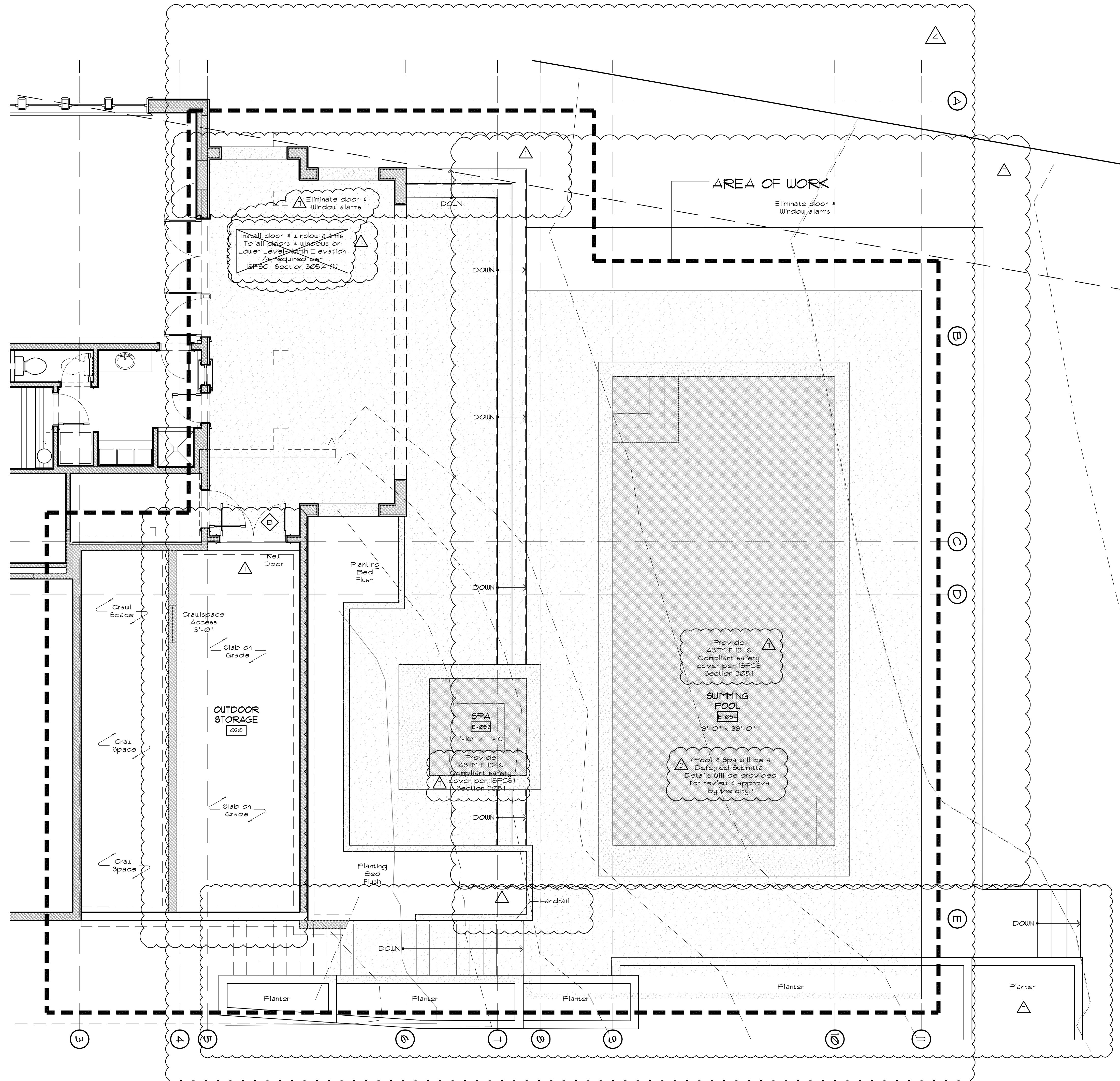


**FLOOR PLAN  
 MAIN LEVEL**

**A-2.2**

**1 FLOOR PLAN - Main Level**  
 Scale: 1/4" = 1'-0"





**FLOOR PLAN LEGEND**

SYMBOL	DESCRIPTION
	New Walls to be Constructed
	Existing Walls to Remain
	Existing Walls to be Demolished

DRAWN BY  
DESIGN BY  
CHECKED BY  
APPROVED BY  
DATE  
April 1, 2019

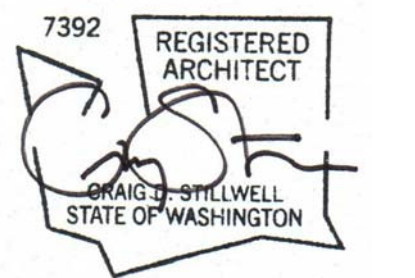
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 October 1, 2019 - REVISION #1  
 June 1, 2021 - REVISION #4

**STILLWELL HANSON ARCHITECTS**

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206 297 1543 FAX

**LBH RESIDENCE**

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MERCER ISLAND, WASHINGTON



**1 FLOOR PLAN - Lower Level (Pool)**  
Scale: 1/4" = 1'-0"

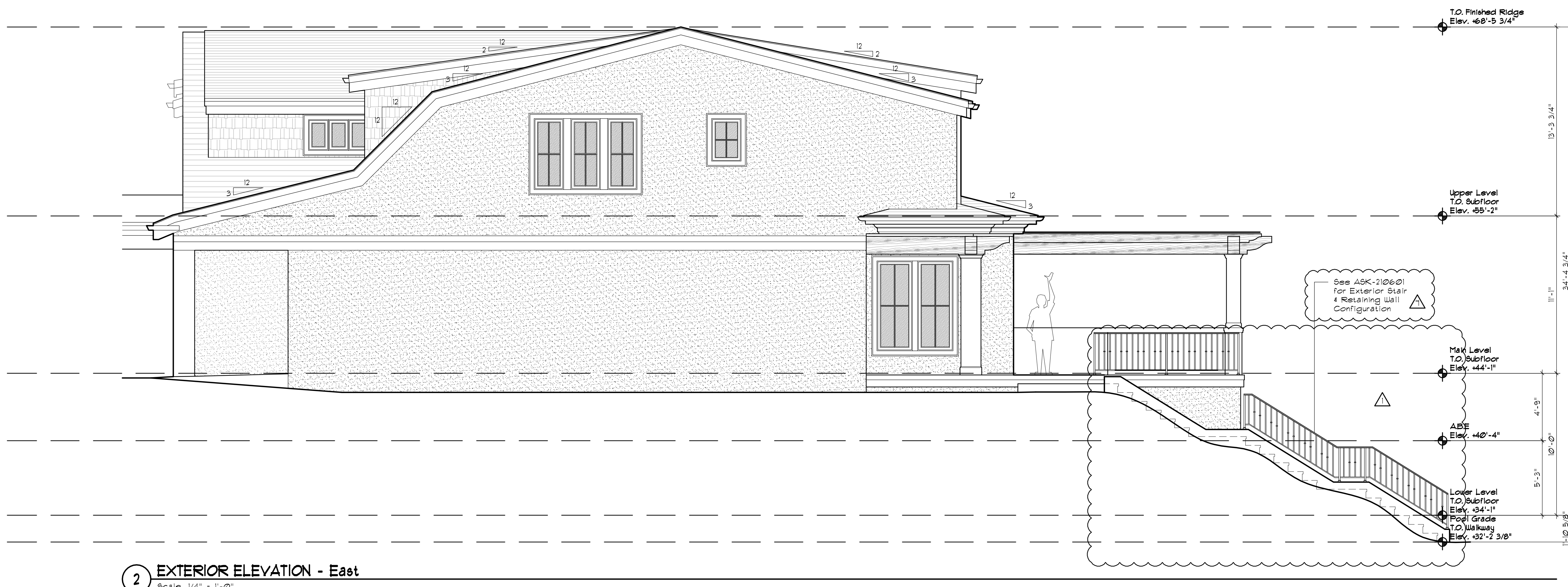


**FLOOR PLAN  
POOL TERRACE**

**A-2.5**



1 EXTERIOR ELEVATION - West  
Scale 1/4" = 1'-0"



2 EXTERIOR ELEVATION - East  
Scale 1/4" = 1'-0"

DRAWN BY  
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CHECKED BY  
APPROVED BY  
DATE  
April 1, 2019

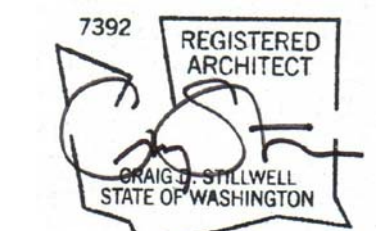
REVISIONS  
CORRECTION #1  
July 10, 2019  
REVISION  
June 1, 2021

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46 ETRURIA STREET, SUITE 200  
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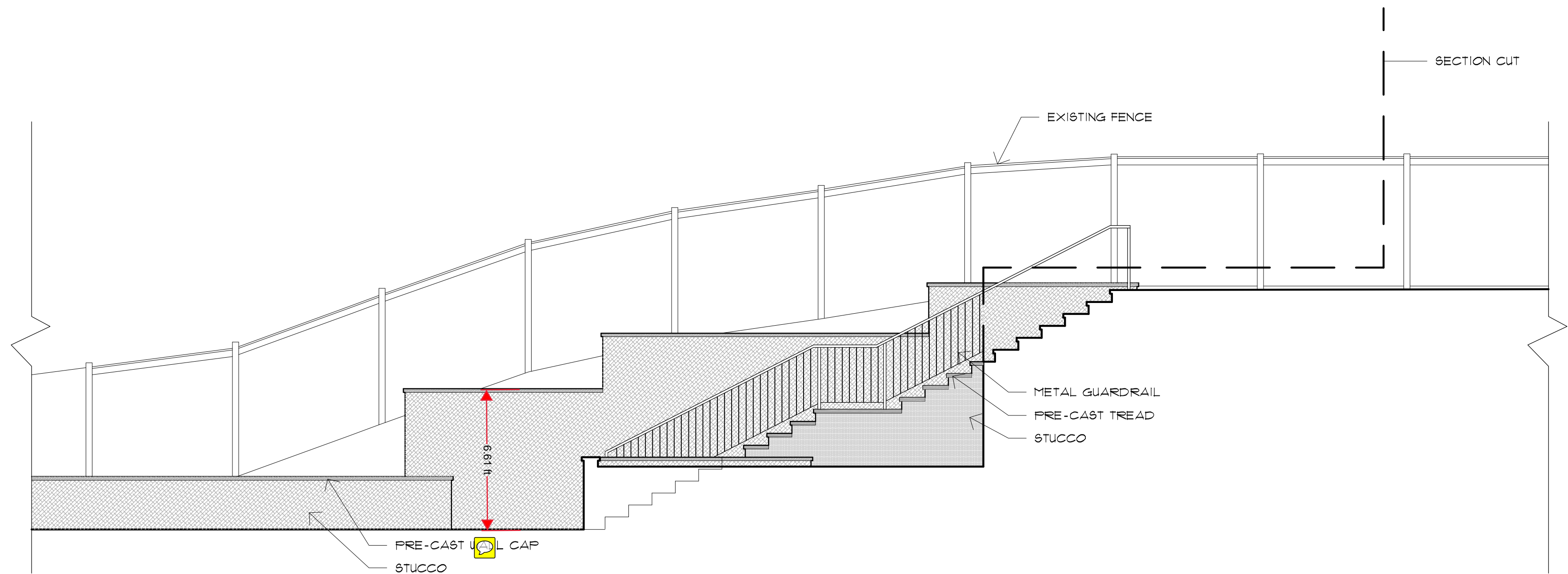
**LBH RESIDENCE**

7450 NORTH MERCER WAY  
MERCER ISLAND, WASHINGTON



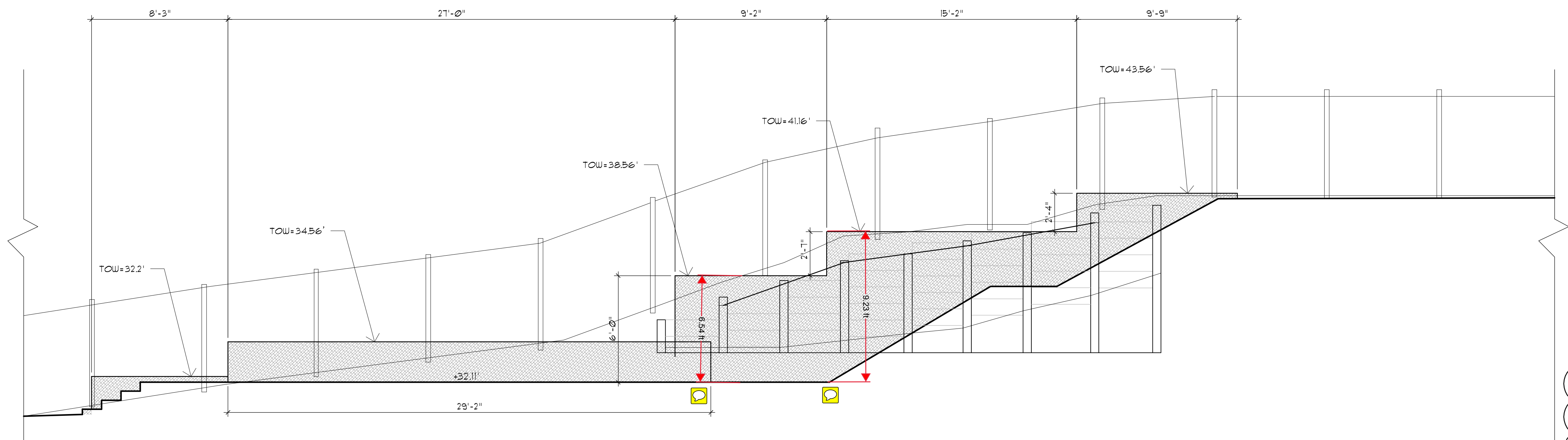
EXTERIOR ELEVATIONS

A-3.2



1 CONCRETE PLANTER & STAIR  
Scale 1/4" = 1'-0"

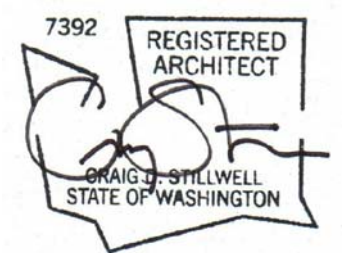
DRAWN BY  
DESIGN BY  
CHECKED BY  
APPROVED BY  
DATE  
June 1, 2021  
REVISIONS



1 RETAINING WALLS & PLANTERS at STAIRS  
Scale 1/4" = 1'-0"

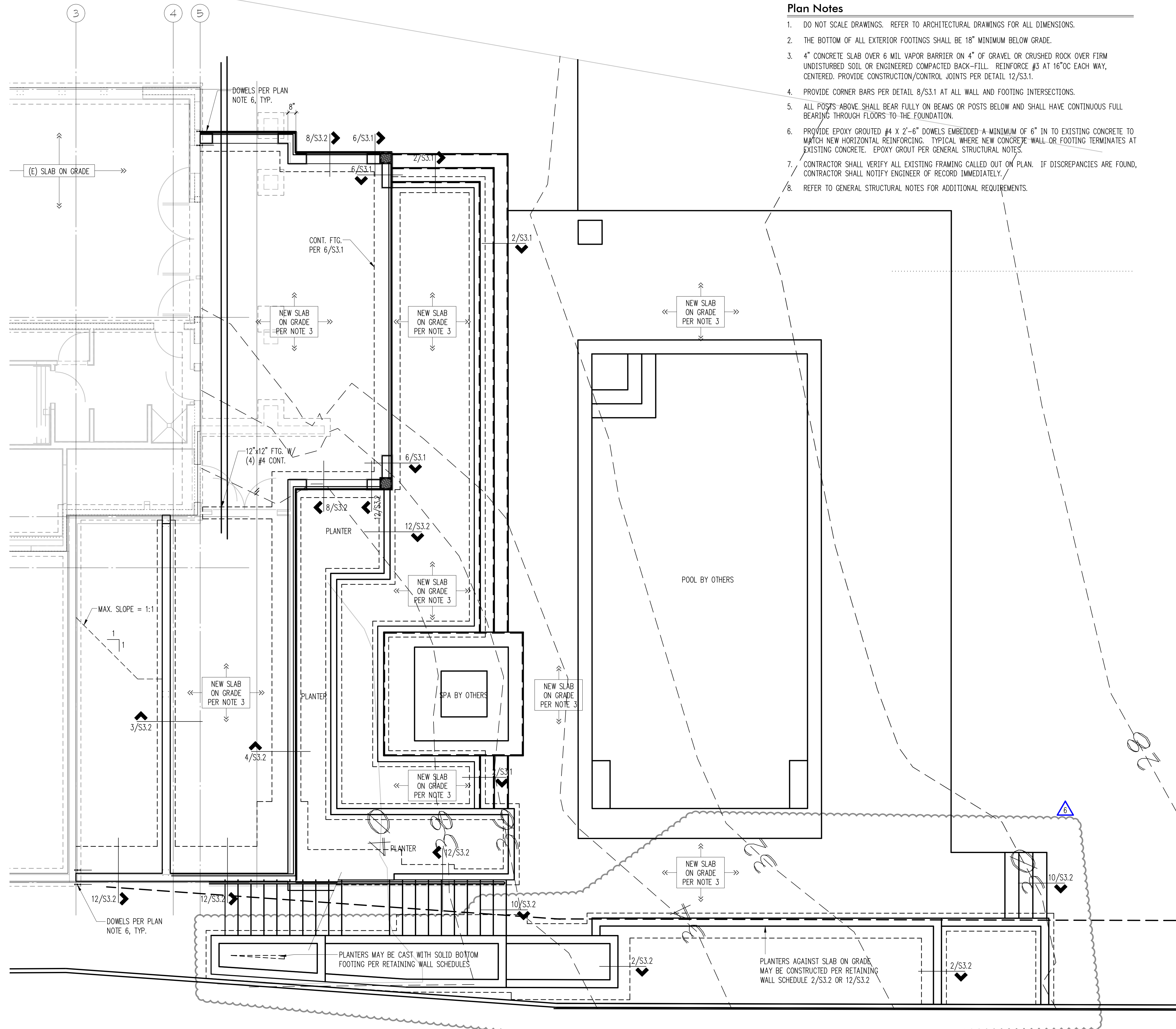
**STILLWELL HANSON ARCHITECTS**  
46 ETRURIA STREET, SUITE 200  
SEATTLE, WASHINGTON 98109  
206 297 1504 PHONE  
206 297 1543 FAX

**LBH RESIDENCE**  
7450 NORTH MERCER WAY  
MERCER ISLAND, WASHINGTON



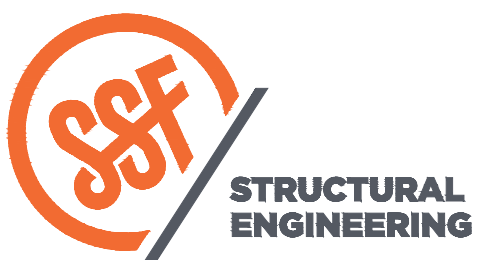
1 RETAINING WALLS & PLANTERS

**ASK-210601**

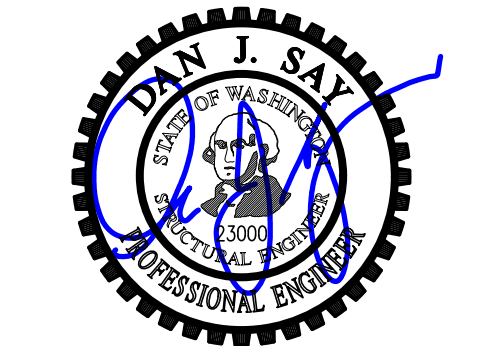


**Plan Notes**

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- 4" CONCRETE SLAB OVER 6 MIL VAPOR BARRIER ON 4" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL. REINFORCE #3 AT 16"OC EACH WAY, CENTERED. PROVIDE CONSTRUCTION/CONTROL JOINTS PER DETAIL 12/S3.1.
- PROVIDE CORNER BARS PER DETAIL 8/S3.1 AT ALL WALL AND FOOTING INTERSECTIONS.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- PROVIDE EPOXY GROUTED #4 X 2'-6" DOWELS EMBEDDED A MINIMUM OF 6" IN TO EXISTING CONCRETE TO MATCH NEW HORIZONTAL REINFORCING. TYPICAL WHERE NEW CONCRETE WALL OR FOOTING TERMINATES AT EXISTING CONCRETE. EPOXY GROUT PER GENERAL STRUCTURAL NOTES.
- CONTRACTOR SHALL VERIFY ALL EXISTING FRAMING CALLED OUT ON PLAN. IF DISCREPANCIES ARE FOUND, CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD IMMEDIATELY.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.



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 P: 206.443.6212  
 sfengineers.com  
 934 Broadway - Tacoma, WA 98402  
 P: 253.284.9470  
 sfengineers.com



DRAWN: RJ  
 DESIGN: KWW  
 CHECKED: KMR  
 APPROVED: DJS

REVISIONS:

1	Corrections	Feb. 19, 2019
2	Corrections	Mar. 21, 2019
3	Corrections	July 12, 2019
4	Revision #1	Oct. 1, 2019
5	Column Revision	November 24, 2019
6	Site Wall Rev.	June 12, 2021

DPD:

PROJECT TITLE:  
**LBH Residence**  
 7450 North Mercer Way  
 Mercer Island, WA

ARCHITECT:  
**Stillwell Hanson Architects**  
 46 Etruria Street, Suite 200  
 Seattle, WA 98109  
 PH 206 297 1504

ISSUE:  
**Construction**

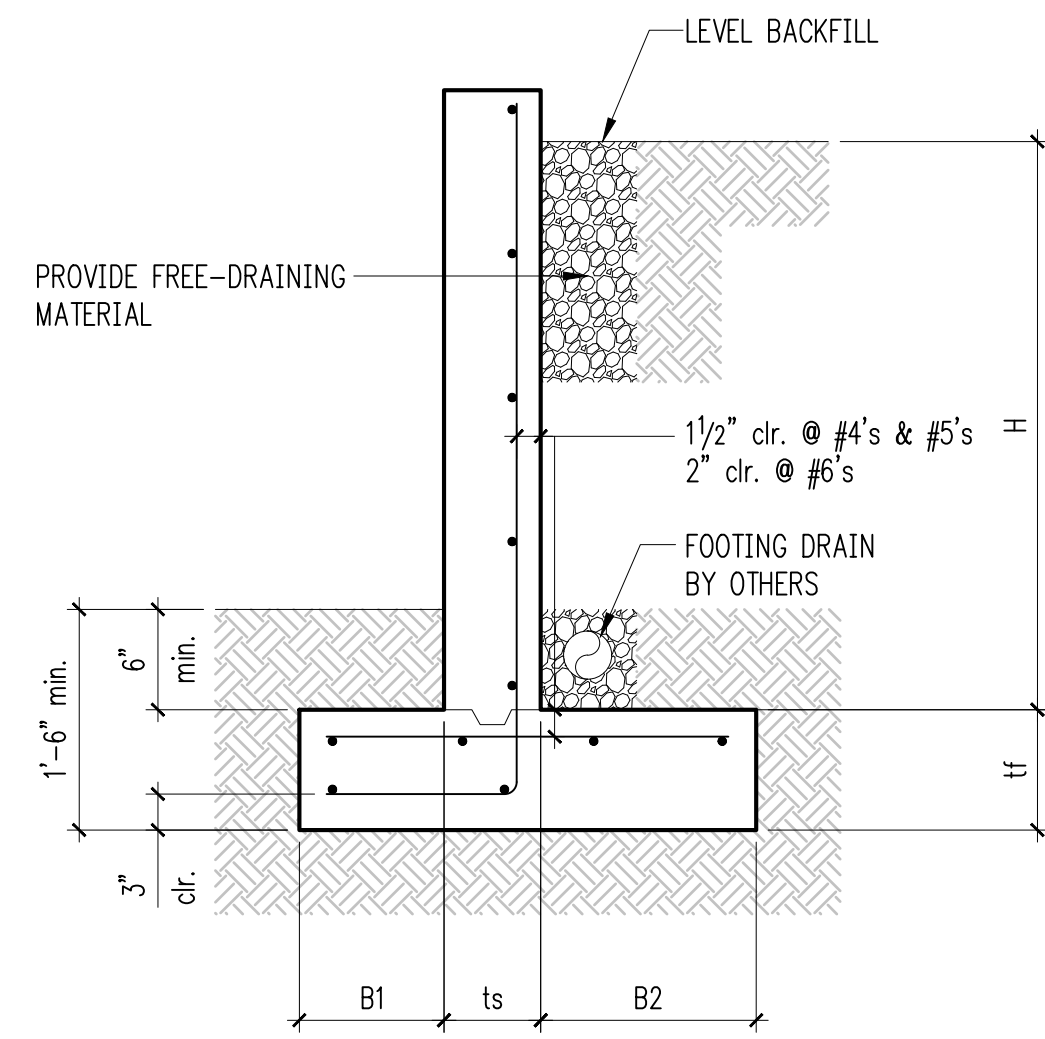
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**Foundation Plan**

SCALE: 1/4" = 1'-0"  
 DATE: December 11, 2019  
 PROJECT NO: 00834-2018-08  
 SHEET NO:

**Foundation Plan**  
 Scale: 1/4" = 1'-0"

**S2.1**

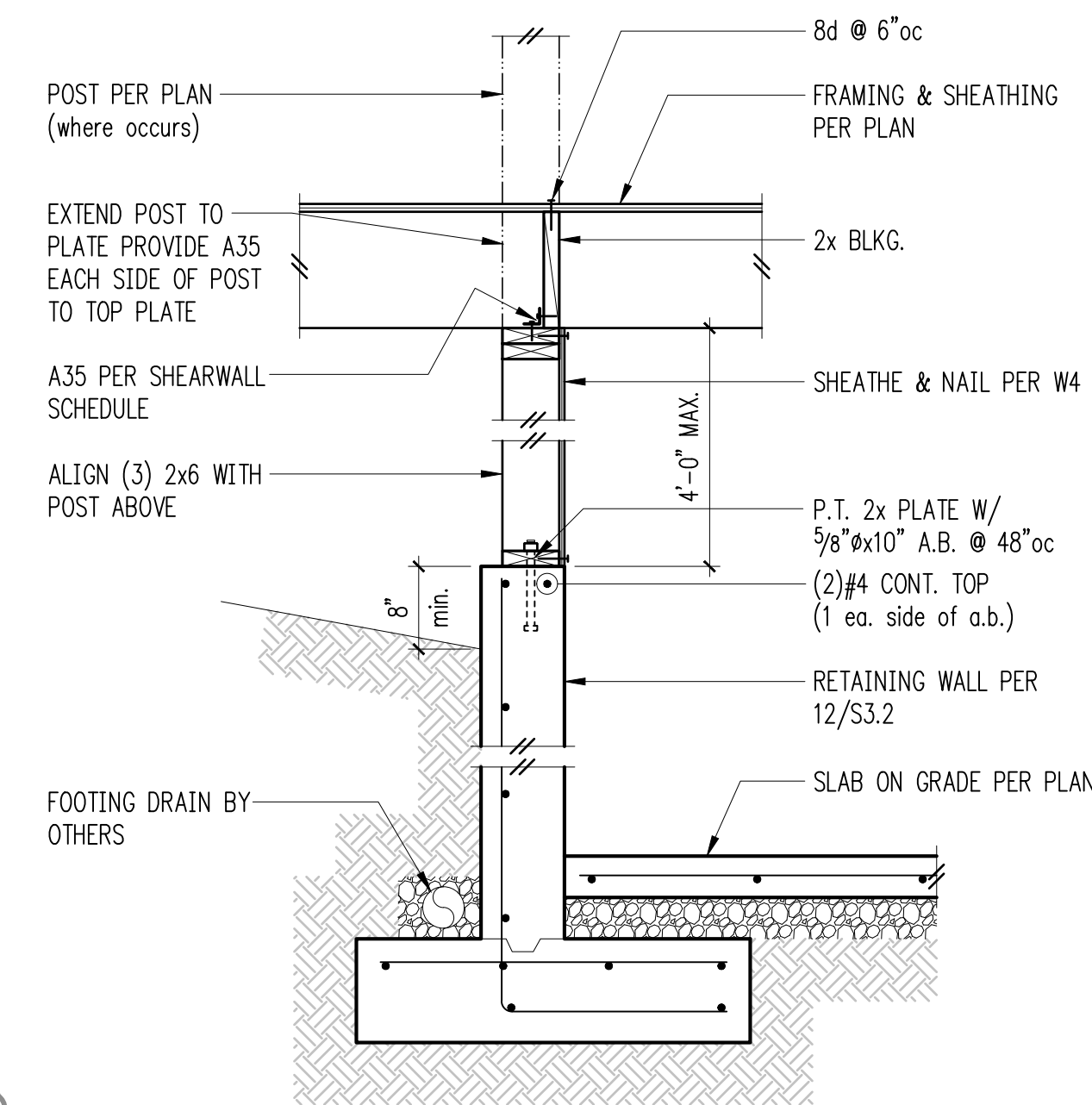




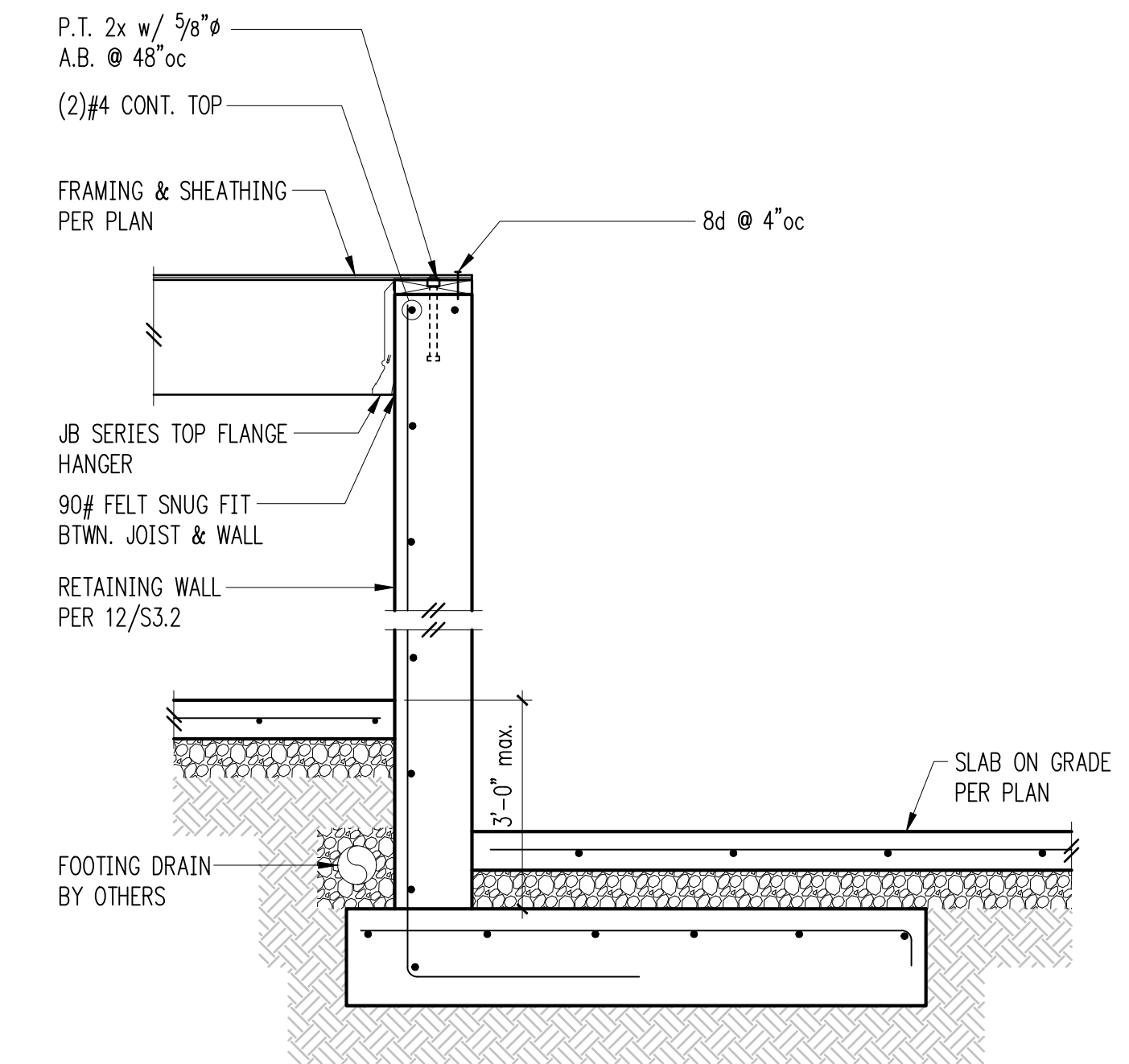
Retaining Wall Schedule

H (ft.)	B1	ts	B2	tf	Stem Reinforcing		Footing Reinforcing	
					Vert.	Horiz.	Top	Longit.
3'-0"	5"	8"	5"	8"	#4 @ 18"oc	#4 @ 12"oc	-	(2)#4
4'-0"	5"	8"	1'-0"	8"	#4 @ 18"oc	#4 @ 12"oc	#4 @ 18"oc	(2)#4
6'-0"	5"	8"	2'-3"	10"	#4 @ 12"oc	#4 @ 12"oc	#4 @ 12"oc	(4)#4
8'-0"	1'-0"	8"	2'-9"	12"	#5 @ 12"oc	#4 @ 12"oc	#5 @ 12"oc	(5)#5
10'-0"	1'-9"	8"	3'-9"	18"	#7 @ 12"oc	#4 @ 12"oc	#6 @ 12"oc	(8)#5

2



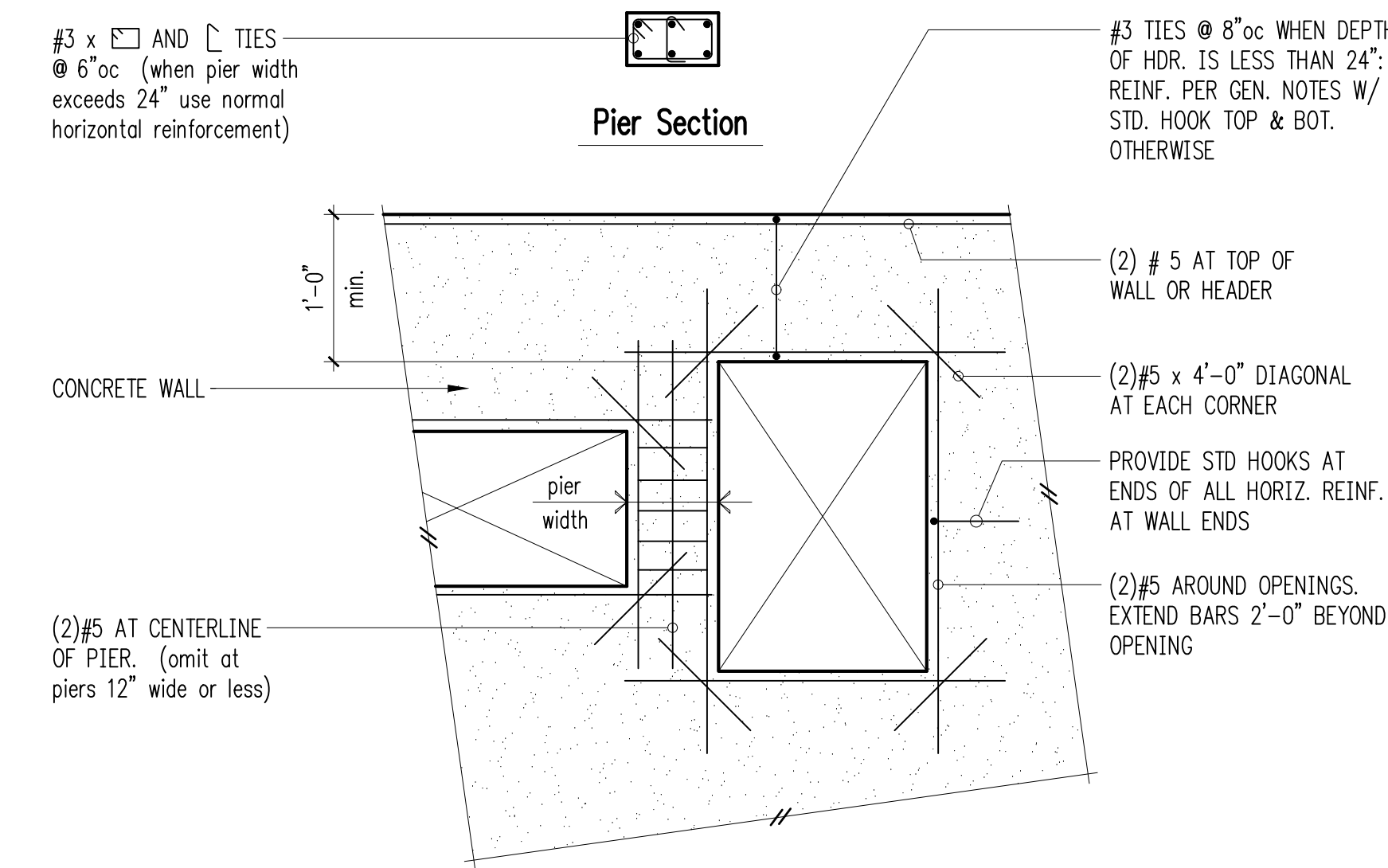
3



4

5

6

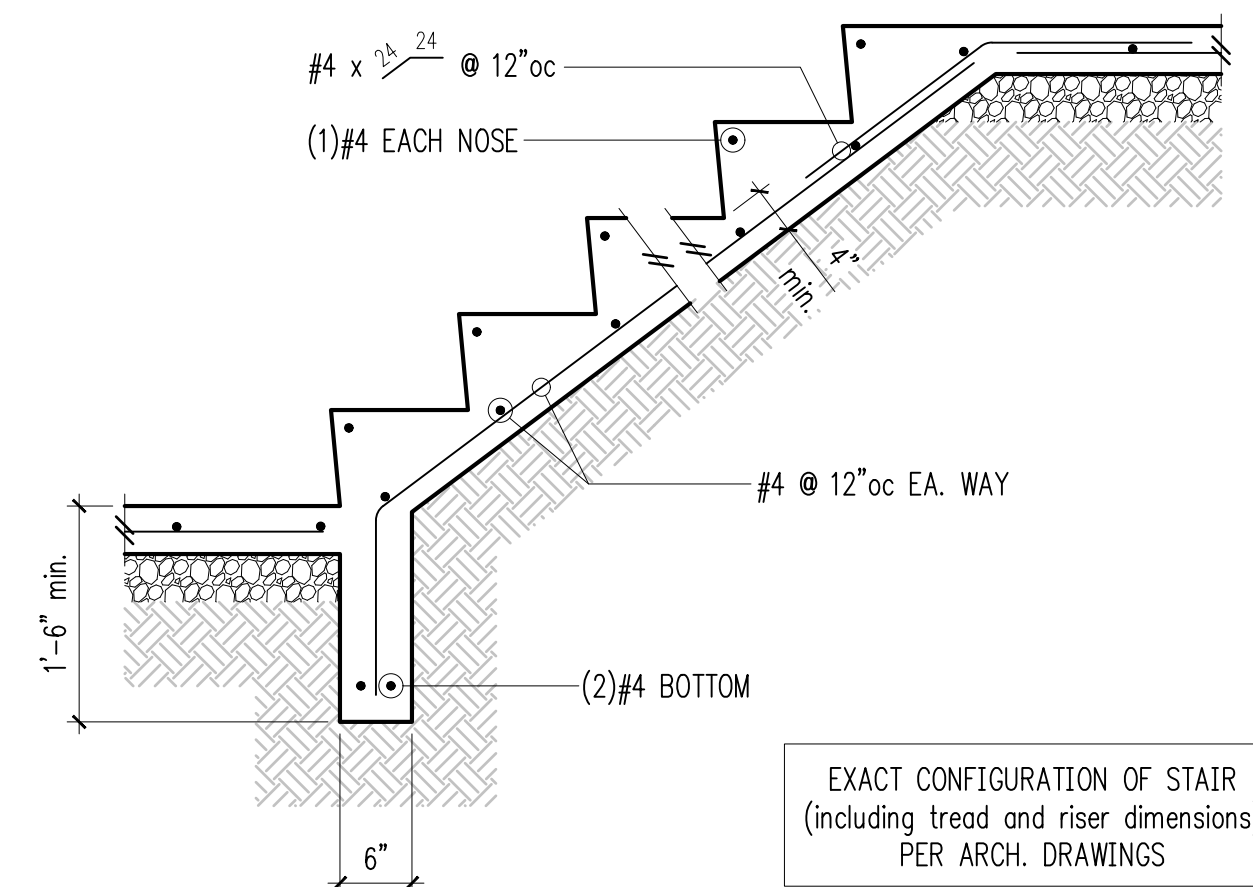


Notes:

- REINFORCING SHOWN IS MINIMUM. SEE PLANS AND WALL ELEVATIONS FOR ANY ADDITIONAL REQUIRED REINFORCING.
- PROVIDE FOR ANY OPENING SIX SQUARE FEET OR LARGER UNLESS OTHERWISE NOTED ON PLANS, ELEVATIONS, OR DETAILS.
- FOR WALLS THICKER THAN 8" USE (4) #5 BARS IN LIEU OF (2) #5 BARS SHOWN.
- AT PIERS ≤ 12" WIDE, PROVIDE #3 TIES @ 3"oc AND EXTEND 1'-0" ABOVE AND BELOW LARGEST OPENING

Typical Opening Reinforcing at Concrete Walls

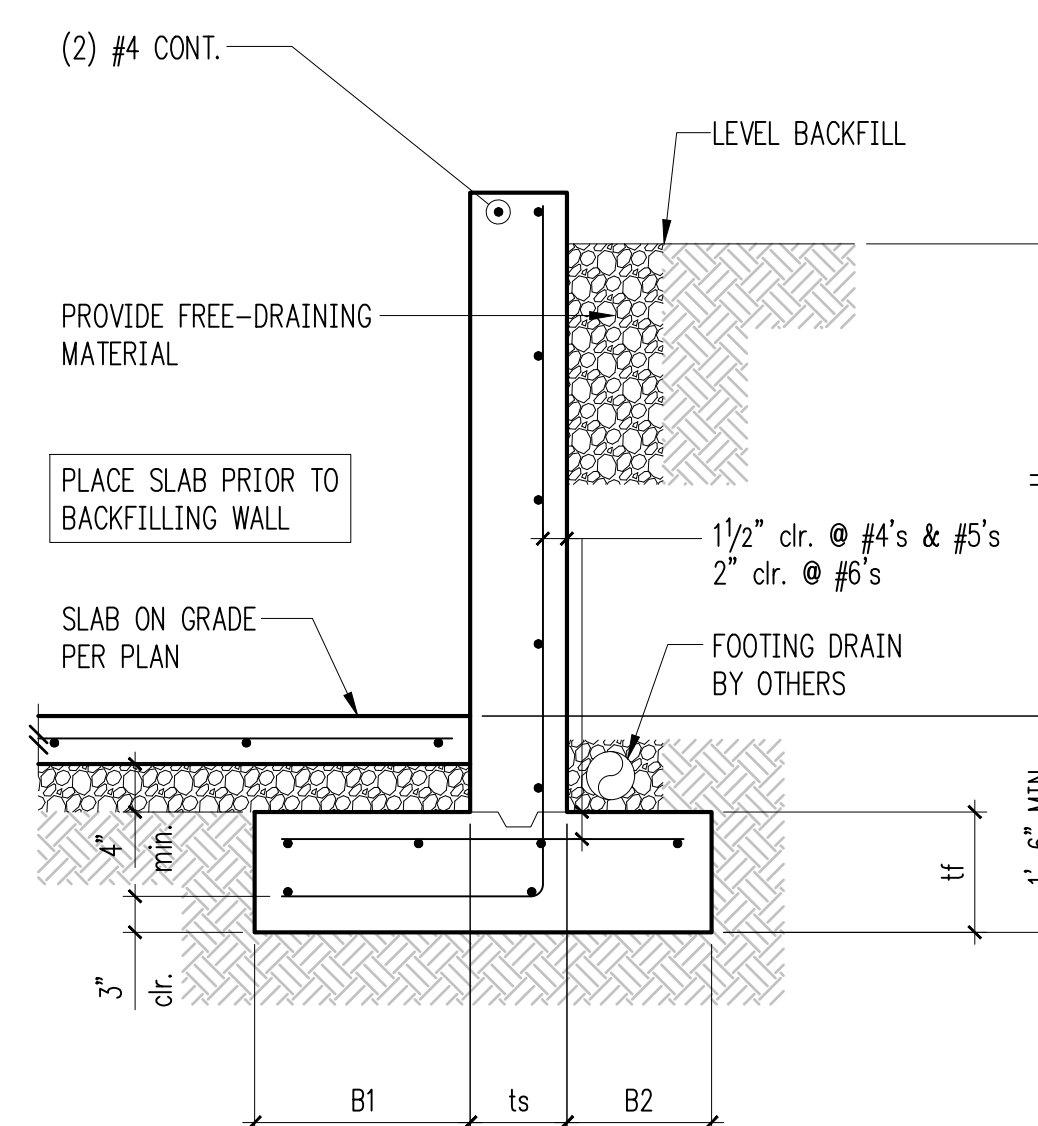
8



Typical Stair On Grade

9

10



Retaining Wall Schedule W/ Slab

H (ft.)	B1	ts	B2	tf	Stem Reinforcing		Footing Reinforcing	
					Vert.	Horiz.	Top	Longit.
3'-0"	5"	8"	5"	8"	#4 @ 18"oc	#4 @ 12"oc	-	(2)#4
4'-0"	1'-0"	8"	5"	8"	#4 @ 18"oc	#4 @ 12"oc	-	(2)#4
6'-0"	2'-3"	8"	5"	10"	#4 @ 12"oc	#4 @ 12"oc	-	(4)#4
8'-0"	2'-9"	8"	1'-0"	12"	#5 @ 12"oc	#4 @ 12"oc	#4 @ 18"oc	(6)#5
10'-0"	3'-9"	8"	1'-6"	18"	#7 @ 12"oc	#4 @ 12"oc	#4 @ 18"oc	(8)#5

12



DRAWN: RJ  
 DESIGN: KWW  
 CHECKED: KMR  
 APPROVED: DJS

REVISIONS:

1	Corrections	Feb. 19, 2019
2	Corrections	Mar. 21, 2019
3	Corrections	July 12, 2019
4	Revision #1	Oct. 1, 2019
5	Column Revision	November 24, 2019
6	Site Wall Rev.	June 12, 2021

DPD:

PROJECT TITLE:  
**LBH Residence**  
 7450 North Mercer Way  
 Mercer Island, WA

ARCHITECT:  
**Stillwell Hanson Architects**  
 46 Etruria Street, Suite 200  
 Seattle, WA 98109  
 PH 206 297 1504

ISSUE:  
**Construction**

SHEET TITLE:  
**Concrete Details**

SCALE: 3/4" = 1'-0" U.N.O.  
 DATE: December 11, 2019  
 PROJECT NO: 00834-2018-08  
 SHEET NO:

**S3.2**