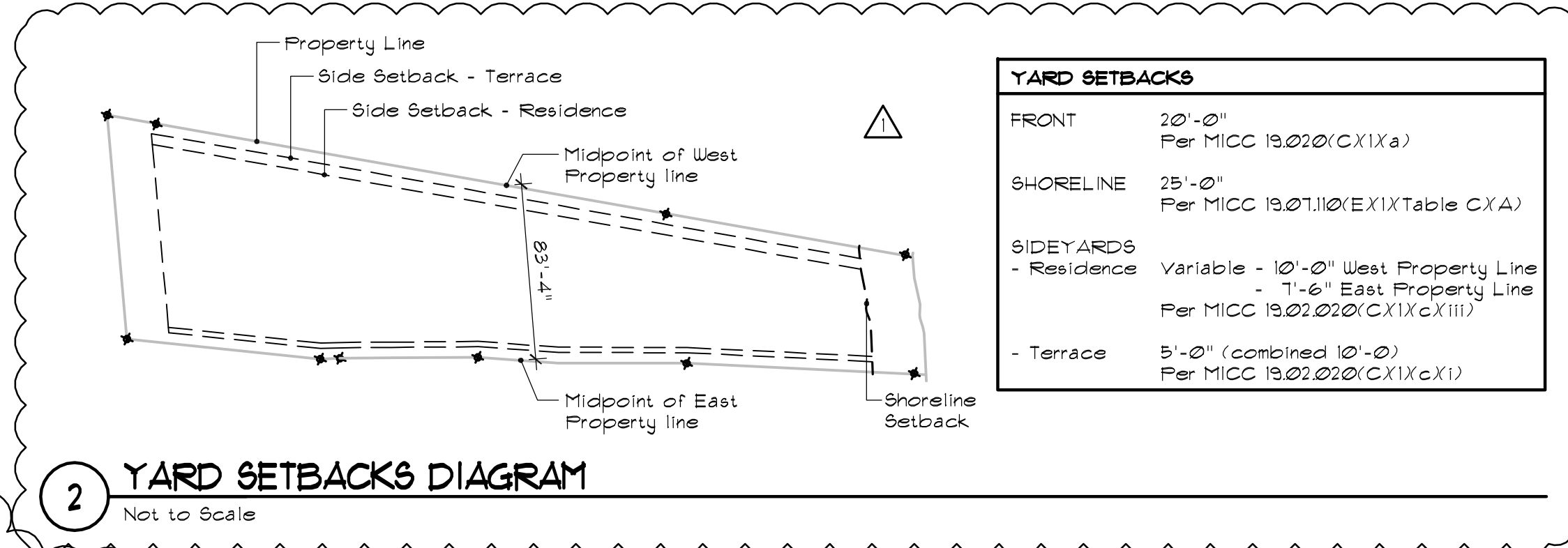
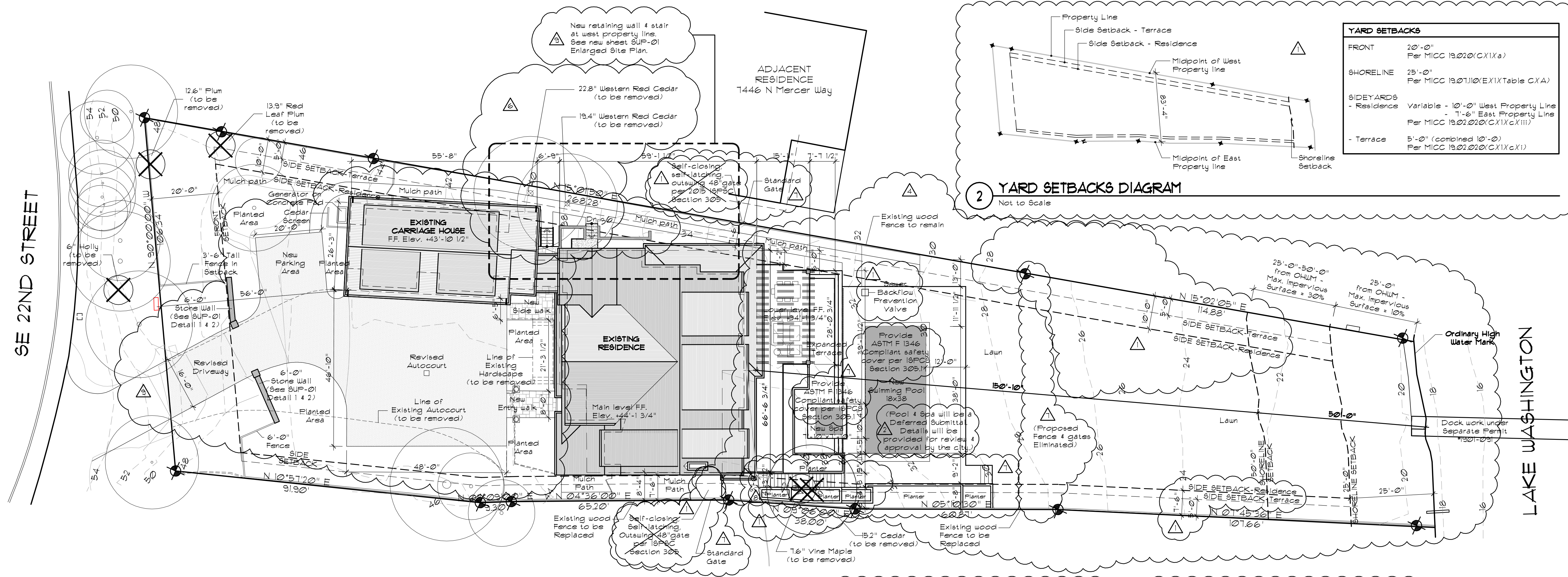


<p>VICINITY MAP</p> <p>Not to Scale</p>	<p>PROJECT DATA</p> <p>OWNER Sean & Lori Kell 14033 SE 92nd Street Newcastle, Washington 98059 (206) 954-3004 Phone CONTACT: Sean Kell sean_kell@yahoo.com</p> <p>ARCHITECT Stillwell Hanson Architects 46 Etruria Street Suite 200 Seattle, Washington 98109 CONTACT: Craig Stillwell craig@stillwellhanson.com Email</p> <p>STRUCTURAL ENGINEER Swenson Day Faget 2124 3rd Avenue Suite 100 Seattle, WA 98121 (206) 443-6212 Phone CONTACT: Dan Day dday@swensondayfaget.com Email</p> <p>CONTRACTOR Hoxie Huggins Construction 46 Etruria Street #202 Seattle, Washington 98109 (206) 456-5266 ext-101 CONTACT: Rob Hoxie rob@hoxiehuggins.com Email</p>	<p>PROPERTY DATA</p> <p>PROJECT ADDRESS 1450 North Mercer Way Mercer Island, Washington 98040</p> <p>ZONING DESIGNATION R-15</p> <p>HEIGHT LIMIT 30'-0"</p> <p>SETBACKS Front (South) 20'-0" Side - Structural (West) Variable 10'-0" Side - Structural (East) Variable 7'-6" Side - Terrace (Combined 10'-0") 5'-0" Rear (North) from OHW Line 25'-0"</p> <p>LOT AREA 30,945 sq ft (per Survey)</p> <p>ASSESSOR'S TAX NUMBER 531510-0125</p> <p>LEGAL DESCRIPTION MC GILVERAS ISLAND ADD ALL 9 4 FOR OF 10 WLY OF FOLG LN- BEG AT FT ON S LN BLK 2 DIST 104.18 FT W FRM SE COR OF SD BLK TH N 10 DEG 51 MIN 20 SEC E 91.90 FT TH N 03 DEG 09 MIN 00 SEC E 93.00 FT TH N 04 DEG 36 MIN 00 SEC E 65.20 FT TH N 03 DEG 06 MIN 00 SEC E 38 FT TH N 05 DEG 10 MIN 30 SEC E 60.81 FT TH N 01 DEG 45 MIN 36 SEC E 118 FT M/L TO SH LN OF LK WASH 4 2ND CL SH LDB ADJ</p>	<p>CONSTRUCTION DATA</p> <p>SCOPE OF WORK Lower level covered porch expansion, revised driveway configuration and new in-ground swimming pool 4 spa with terrace. No new conditioned space.</p> <p>AREA SUMMARY Conditioned Space Existing Lower Level 1,736 sq ft Existing Main Level 4,302 sq ft Existing Upper Level 3,082 sq ft New Upper Level-under Permit #102-083 33 sq ft Total 9,153 sq ft</p> <p>AVERAGE BUILDING ELEVATION (ABE) DETERMINATION Refer to Detail 1, Sheet A-012</p> <p>GROSS FLOOR AREA (GFA) DIAGRAMS & SUMMARY Refer to Detail 2, Sheet A-12</p> <p>LOT COVERAGE & IMPERVIOUS SURFACES DIAGRAM Refer to Detail 2, Sheet A-13</p> <p>SHORELINE DEVELOPMENT STANDARDS DIAGRAM Refer to Detail 1, Sheet A-13</p>	<p>ENERGY DATA</p> <p>ENERGY CREDIT All work to comply with 2015 Washington State Energy Code (WSEC) - Climate Zone: 4C (Marine) - Compliance Path: Mandatory & Prescriptive</p> <p>ENERGY CODE DATA SHEET Refer to Table R402.11 and General Notes, Sheet A-01, for building envelope requirements.</p> <p>ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS Per 2015 WSEC R402.22 Additional Energy efficiency requirements, no increase in conditioned space, thus no required energy efficiency requirements.</p>
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YARD SETBACKS

FRONT	20'-0" Per MICC 19.02.01(C)(1)(a)
SHORELINE	25'-0" Per MICC 19.01.110(E)(1)(Table C)(A)
SIDEYARDS - Residence	Variable - 10'-0" West Property Line - 7'-6" East Property Line Per MICC 19.02.02(C)(1)(c)(III)
	- Terrace 5'-0" (combined 10'-0") Per MICC 19.02.02(C)(1)(c)(I)

REVISIONS

June 15, 2019 & August 20, 2019	October 1, 2019 & December 5, 2019
March 1, 2021	June 1, 2021 & July 1, 2021
January 20, 2022	

DRAWN BY
DESIGN BY
CHECKED BY
APPROVED BY
DATE
April 1, 2019

STILLWELL HANSON ARCHITECTS
46 ETRURIA STREET, SUITE 200
SEATTLE, WASHINGTON 98109
206 297 1504 PHONE
206 297 1543 FAX

LBH RESIDENCE
7450 NORTH MERCER WAY
MERCER ISLAND, WASHINGTON

7392 REGISTERED ARCHITECT
CRAIG J. STILLWELL
STATE OF WASHINGTON

LEGEND

SYMBOL	DESCRIPTION
---	CONTOUR - EXISTING
---	CONTOUR - PROPOSED
---	HARDSCAPE - HARDSCAPE (to be removed)

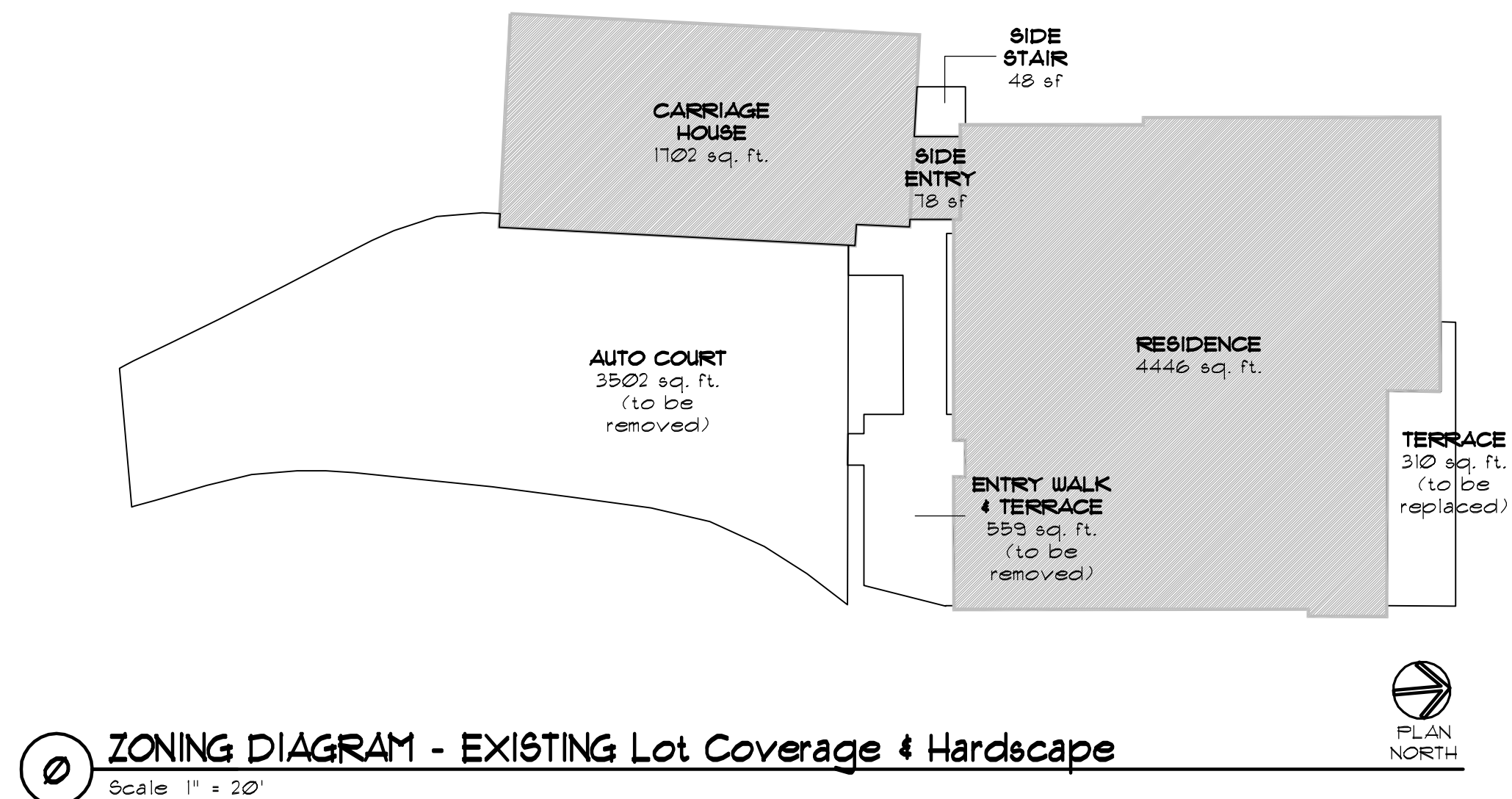
TREE INFORMATION
Site Plan shows trees proposed for removal (total of 5). Refer to Landscapes Plan (L5-2.0 & L5-2.1), Planting Schedule & Notes (L5-2.2), Tree Inventory, Protection & Removal Plan (L5-1.0), and Survey for more details.

LANDSCAPING
Refer to Landscapes Plan (L5-2.0 & L5-2.1) and Planting Schedule & Notes (L5-2.2) for details on planted areas, planters, & pathways.

SHORELINE
Refer to Shoreline Mitigation Plan (W1 & W2) and Shoreline Planting Plan & Schedule (W3) for details on beach area.

SITE WALLS & PLANTERS
All planters along the east property line are hollow. Wall areas have been added to hardscape calculations. See A-13.



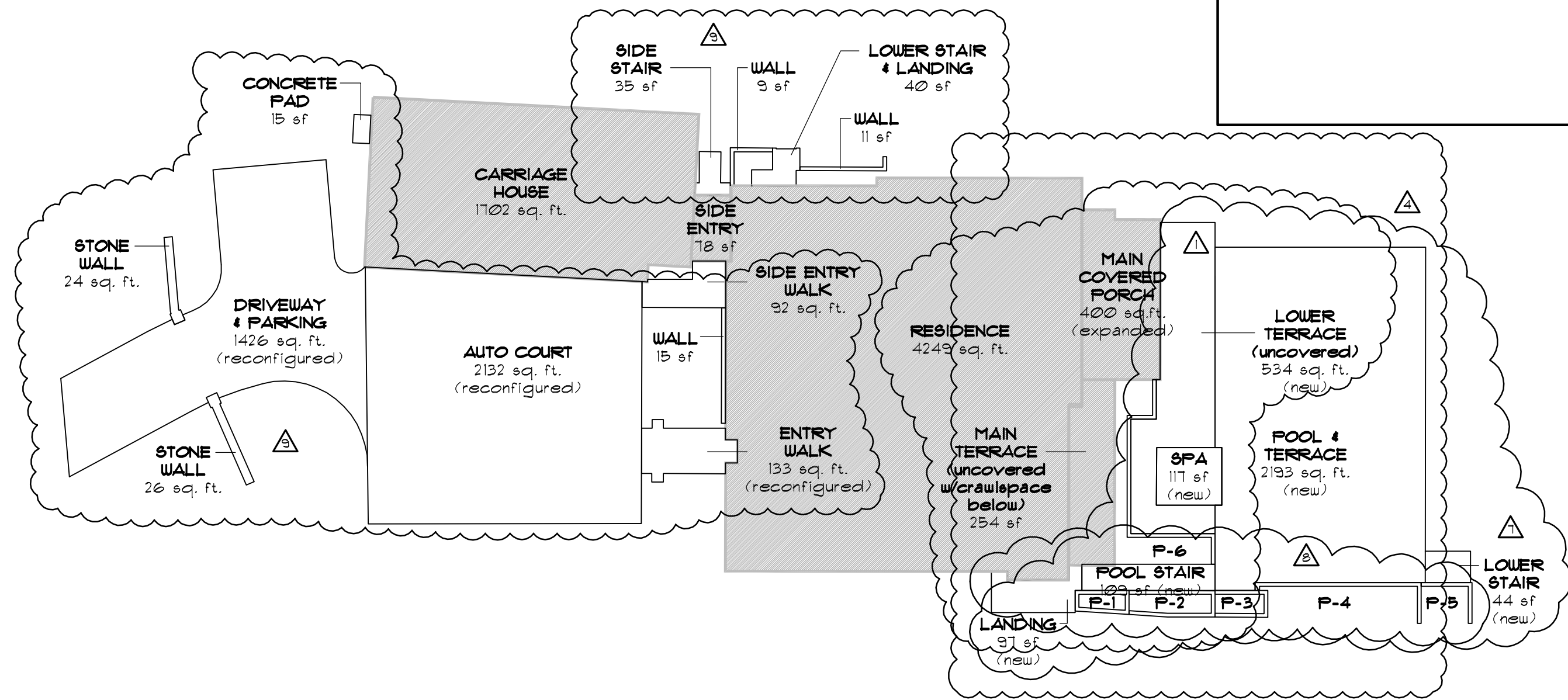


EXISTING LOT # HARDSCAPE COVERAGE	
EXISTING LOT # HARDSCAPE COVERAGE	
Lot Coverage	
Residence	4,446 sq. ft.
Side Entry	78 sq. ft.
Carrriage House	1,102 sq. ft.
Auto Court	3,502 sq. ft.
Total	9,128 sq. ft.
TOTAL EXISTING LOT COVERAGE 9,128 sq. ft. / 30,945 sq. ft. = 31.4%	
Hardscape Coverage	
Side Stair	559 sq. ft.
Entry Walk & Terrace	147 sq. ft.
Terrace	310 sq. ft.
Total	1,016 sq. ft.
TOTAL EXISTING HARDSCAPE COVERAGE 1,016 sq. ft. / 30,945 sq. ft. = 3.3%	
TOTAL EXISTING COMBINED COVERAGE (Lot Coverage + Hardscape Coverage) 9,128 sq. ft. + 1,016 sq. ft. = 10,144 sq. ft. 10,144 sq. ft. / 30,945 sq. ft. = 34.7%	

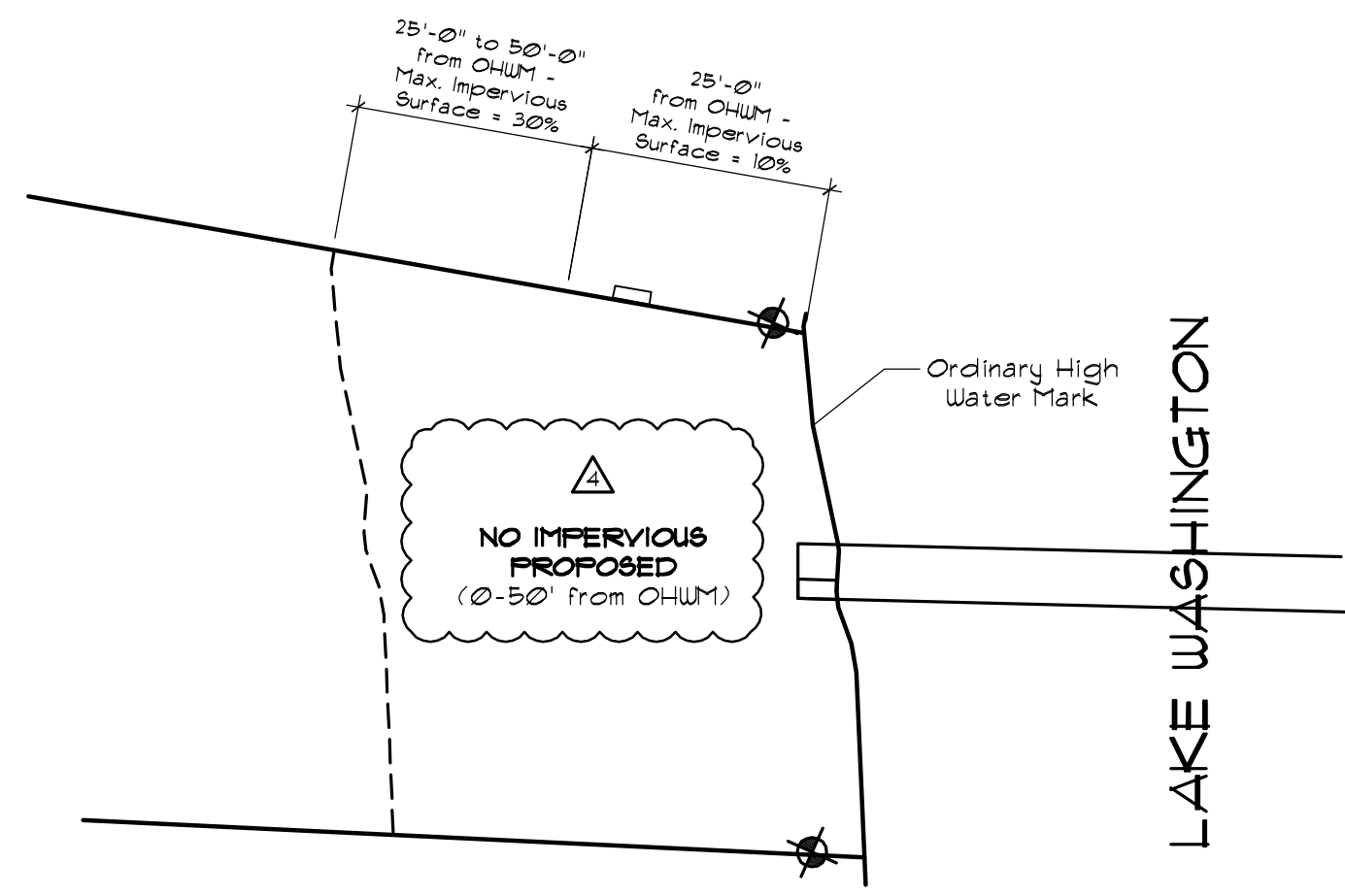
1 ZONING DIAGRAM - EXISTING Lot Coverage & Hardscape
Scale 1" = 20'

SHORELINE DEVELOPMENT STANDARDS	
MICC 19.07 I, E. Shoreline Development Standards. Waterfront lot - Impervious surface limitations.	
0' to 25' Shoreline Setback Total Area = 1,462 sq. ft. Impervious Surface Limitation: 10% x 1,462 sq. ft.	146.2 sq. ft.
Impervious Surface Proposed: Total Impervious Surface Proposed:	0 sq. ft. 0 sq. ft.
25' to 50' Shoreline Setback Total Area = 1,453 sq. ft. Impervious Surface Limitation: 30% x 1,453 sq. ft.	435.9 sq. ft.
Impervious Surface Proposed: Total Impervious Surface Proposed:	0 sq. ft. 0 sq. ft.

PROPOSED LOT COVERAGE # HARDSCAPE CALCULATIONS	
MICC 19.02.020 F. 3. a. Lot Coverage - Landscaping Required. Minimum area required for single family dwelling shall provide the minimum landscaping area based on the net lot area and lot slope.	
LOT COVERAGE (Building & Driving Areas)	
Lot Slope:	8%
Maximum Lot Coverage:	40%
Landscaping Area Required:	60%
Gross Lot Area:	30,945 sq. ft.
Net Lot Area:	30,945 sq. ft.
Maximum Lot Coverage 40% x 30,945 sq. ft.	12,378 sq. ft.
Required Landscaping Area 60% x 30,945 sq. ft.	18,567 sq. ft.
HARDSCAPE COVERAGE	
Lot Slope:	8%
Maximum Lot Coverage:	9%
Net Lot Area:	30,945 sq. ft.
9% x 30,945 sq. ft.:	2,785 sq. ft.
TOTAL COMBINED COVERAGE ALLOWED (Lot Coverage + Hardscape Coverage) 12,378 sq. ft. + 2,785 sq. ft. = 15,163 sq. ft. / 30,945 sq. ft. = 49%	
PROPOSED LOT # HARDSCAPE COVERAGE	
Lot Coverage	
Residence	4,249 sq. ft.
Main Covered Porch	400 sq. ft.
Main Terrace	254 sq. ft.
Side Entry	78 sq. ft.
Carrriage House	1,102 sq. ft.
Auto Court	2,132 sq. ft.
Driveway & Parking	1,426 sq. ft.
Total	10,241 sq. ft.
TOTAL PROPOSED LOT COVERAGE 10,241 sq. ft. / 30,945 sq. ft. = 33.1%	
Hardscape Coverage	
Pool & Terrace	2,193 sq. ft.
Lower Terrace	534 sq. ft.
Spa	117 sq. ft.
Pool Stair	109 sq. ft.
Landing	97 sq. ft.
Lower Stair	44 sq. ft.
Side Entry Walk	92 sq. ft.
Side Stair	35 sq. ft.
Lower Side Stair & Landing	40 sq. ft.
Stone Walls (2) + Walls (3) + Concrete Pad	100 sq. ft.
Entry Walk	133 sq. ft.
Hollow Planters P-1 thru P-6	122 sq. ft.
Total	3,616 sq. ft.
TOTAL PROPOSED HARDSCAPE COVERAGE 3,616 sq. ft. / 30,945 sq. ft. = 11.7%	
TOTAL PROPOSED COMBINED COVERAGE (Lot Coverage + Hardscape Coverage) 10,241 sq. ft. + 3,616 sq. ft. = 13,857 sq. ft. 13,857 sq. ft. / 30,945 sq. ft. = 44.8%	



2 ZONING DIAGRAM - PROPOSED Lot Coverage & Hardscape
Scale 1" = 20'



1 ZONING DIAGRAM - PROPOSED Shoreline Development
Not to Scale

DRAWN BY
DESIGN BY
CHECKED BY
APPROVED BY
DATE
September 1, 2019

REVISIONS
July 10, 2019 CORRECTION #1
August 5, 2019 CORRECTION #2
October 1, 2019 REVISION #2
June 1, 2021 REVISION #3
July 1, 2021 CORRECTION
January 1, 2022 REVISION #4

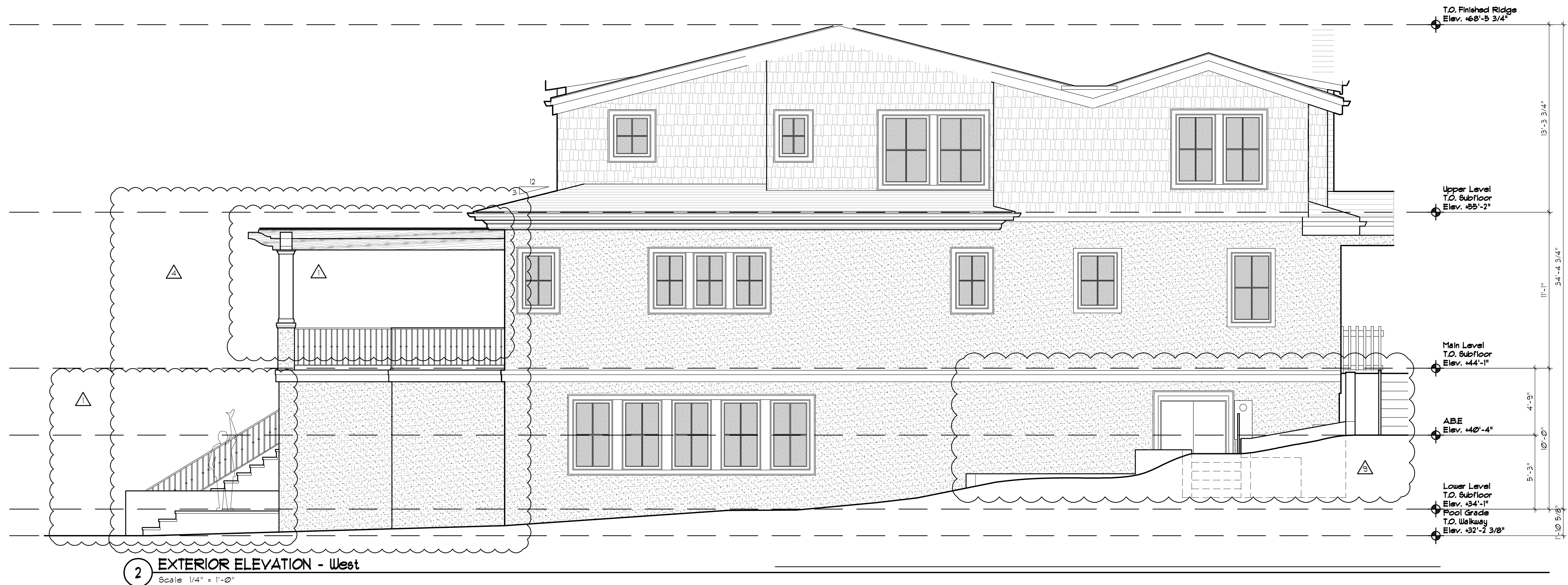
STILLWELL HANSON ARCHITECTS
46 ETRURIA STREET, SUITE 200
SEATTLE, WASHINGTON 98109
206 297 1504 PHONE
206 297 1543 FAX

LBH RESIDENCE
7450 NORTH MERCER WAY
MERCER ISLAND, WASHINGTON

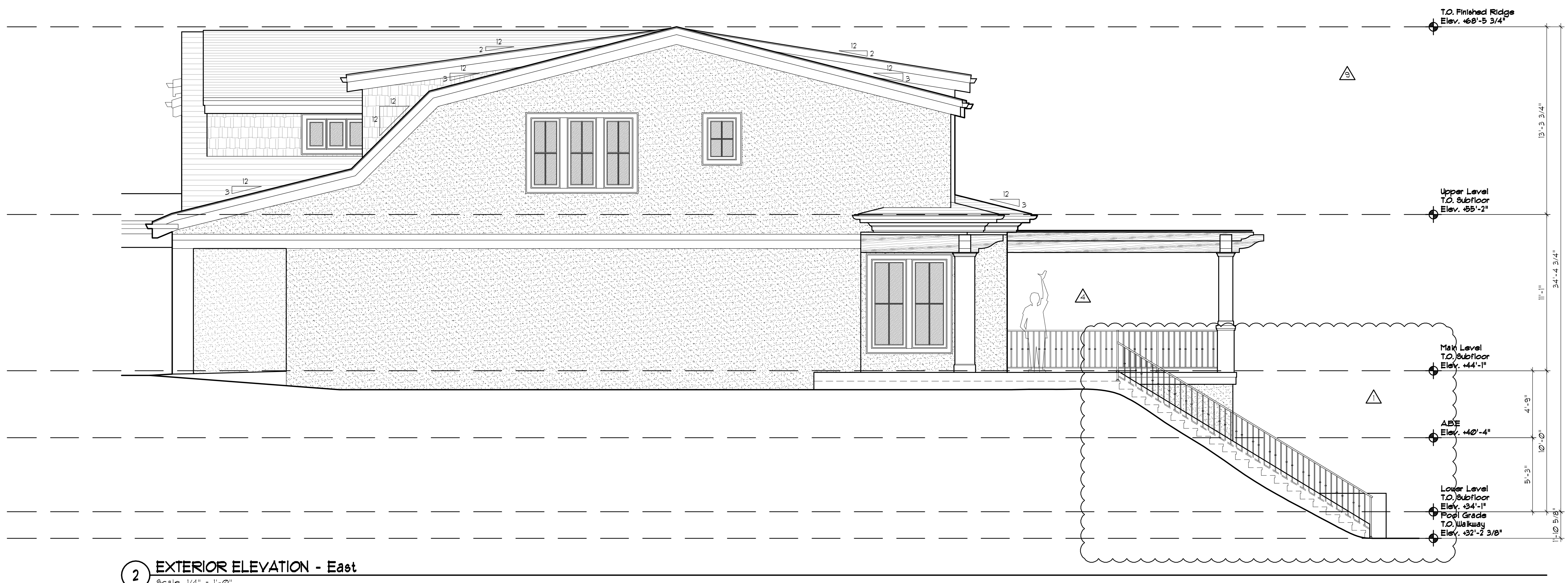
7392 REGISTERED ARCHITECT
STILLWELL HANSON ARCHITECTS
STATE OF WASHINGTON

ZONING DIAGRAMS

A-1.3



2 EXTERIOR ELEVATION - West
Scale 1/4" = 1'-0"



2 EXTERIOR ELEVATION - East
Scale 1/4" = 1'-0"

DRAWN BY
DESIGN BY
CHECKED BY
APPROVED BY
DATE
April 1, 2019

REVISIONS

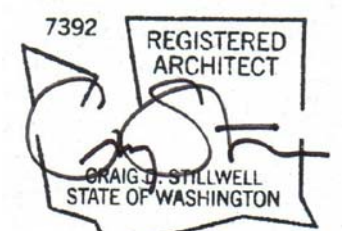
△	CORRECTION #1	July 10, 2019
△	REVISION #1	October 1, 2019
△	REVISION #4	January 20, 2022

STILLWELL HANSON ARCHITECTS

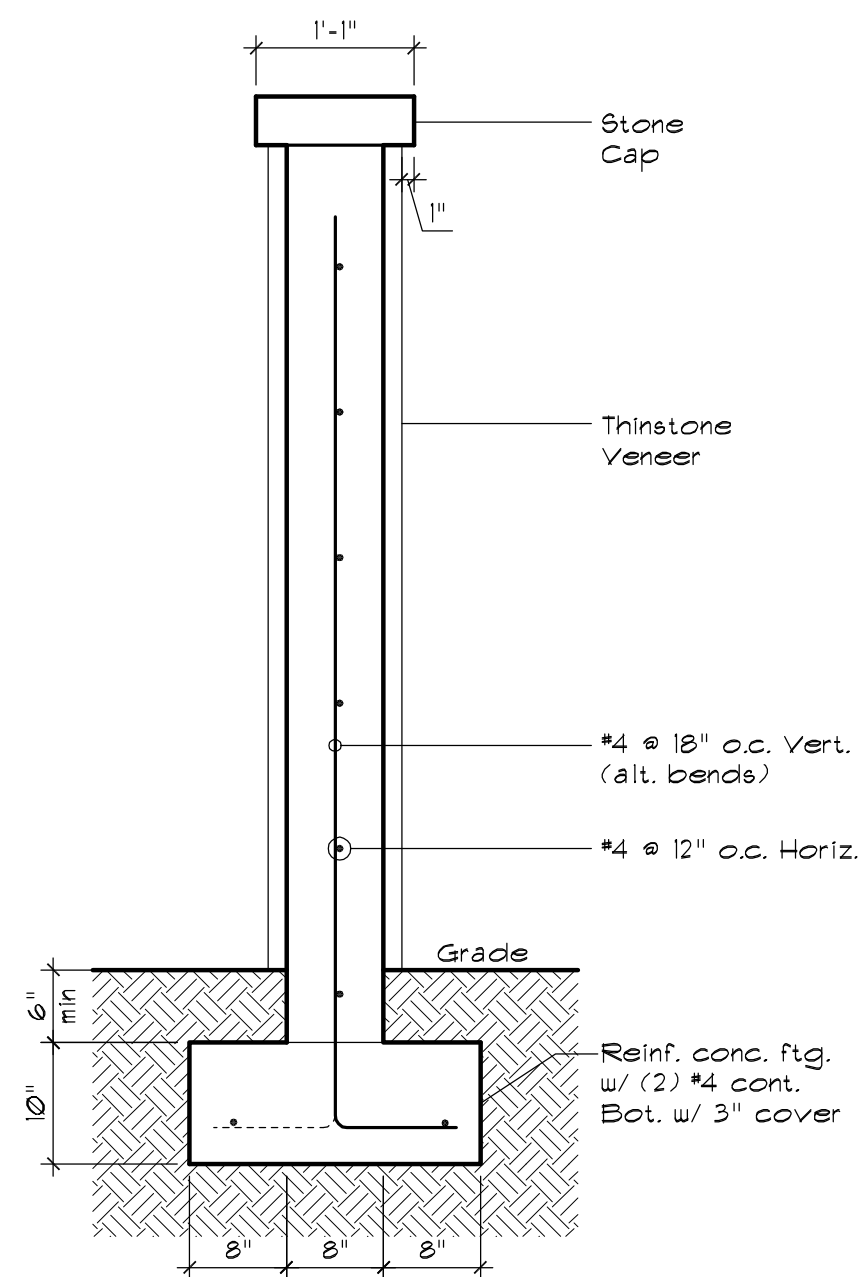
46 ETRURIA STREET, SUITE 200
SEATTLE, WASHINGTON 98109
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206 297 1543 FAX

LBH RESIDENCE

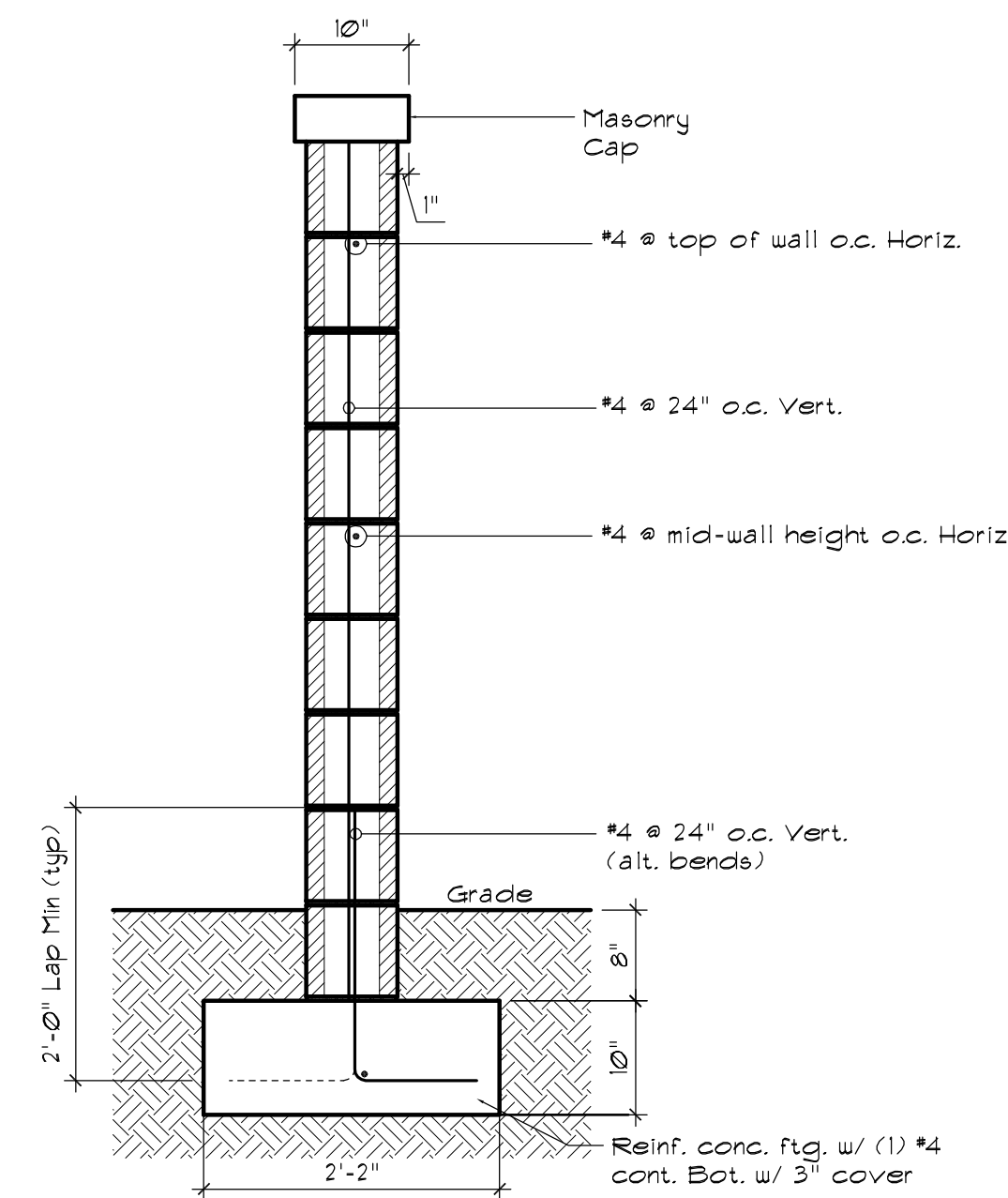
7450 NORTH MERCER WAY
MERCER ISLAND, WASHINGTON



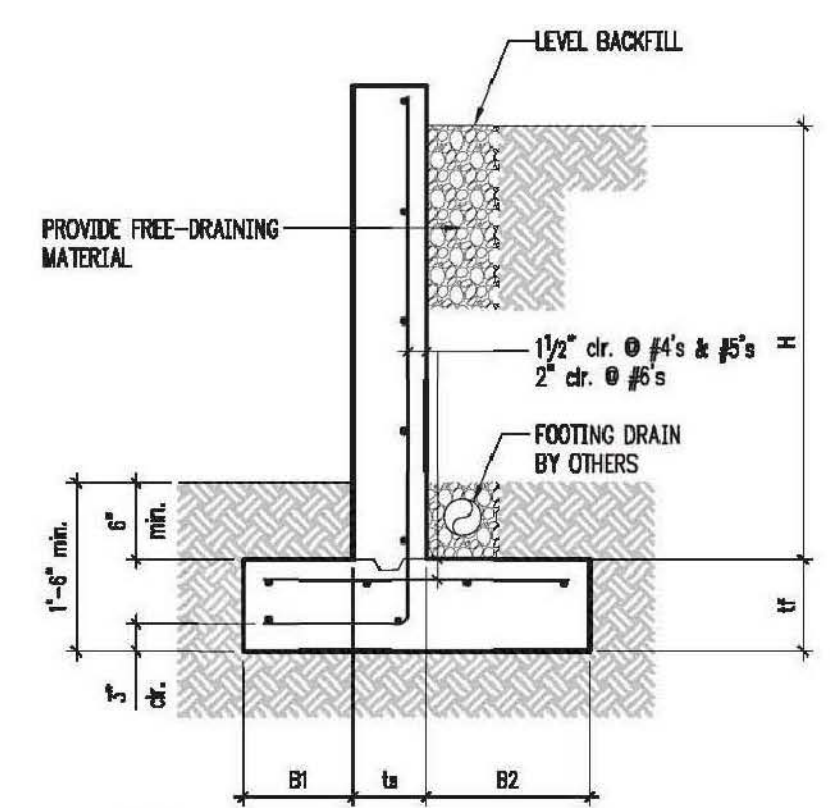
EXTERIOR ELEVATIONS



1 WALL AT DRIVEWAY - Option 1 (Conc.)
Scale 3/4" = 1'-0"



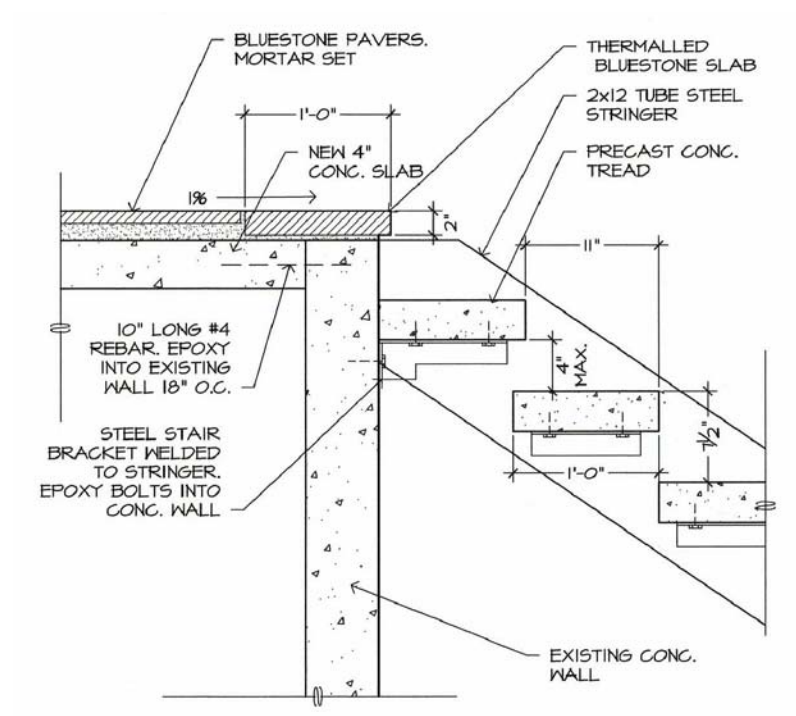
2 WALL AT DRIVEWAY - Option 2 (CMU)
Scale 3/4" = 1'-0"



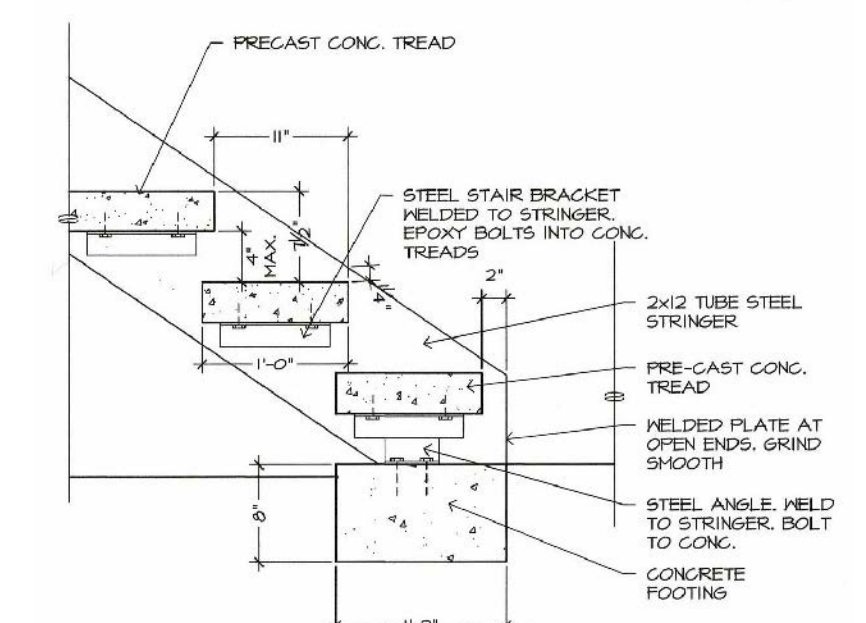
3 RETAINING WALL SCHEDULE - West Yard
Scale N.T.S.

Retaining Wall Schedule

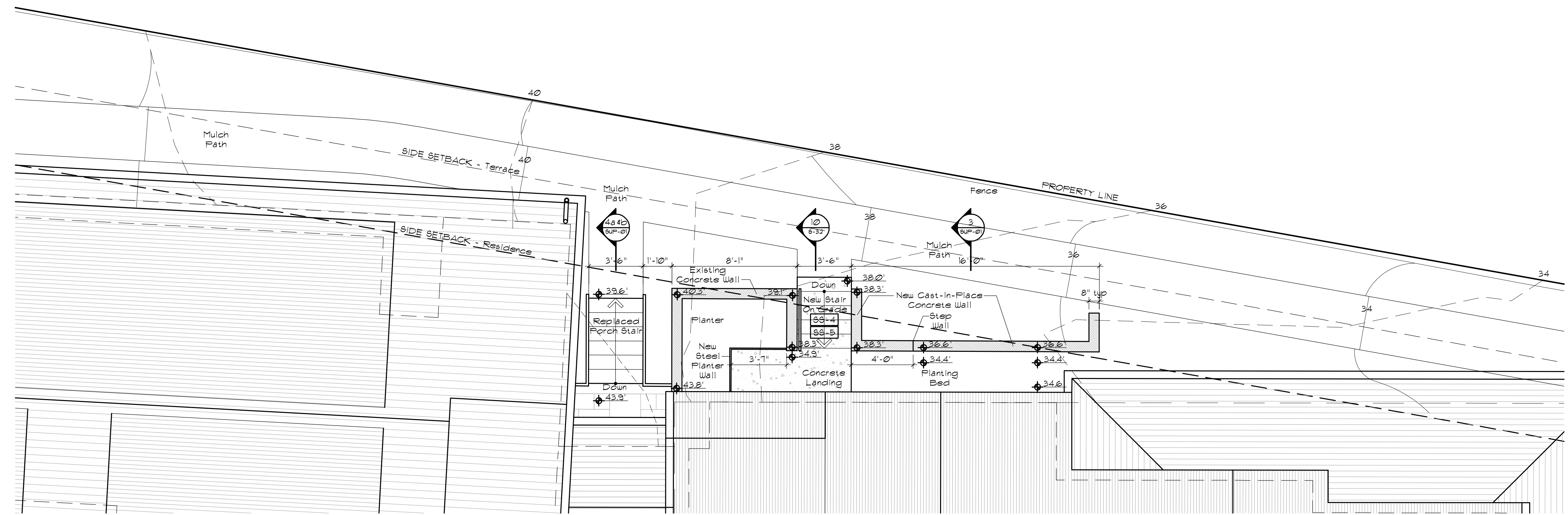
H (ft.)	B1	ts	B2	ff	Stem Reinforcing		Footing Reinforcing	
					Vert.	Horiz.	Top	Longit.
3'-0"	5"	8"	5"	8"	#4 @ 18"oc	#4 @ 12"oc	-	(2)#4
4'-0"	5"	8"	1'-0"	8"	#4 @ 18"oc	#4 @ 12"oc	#4 @ 18"oc	(2)#4
6'-0"	5"	8"	2'-3"	10"	#4 @ 12"oc	#4 @ 12"oc	#4 @ 12"oc	(4)#4
8'-0"	1'-0"	8"	2'-9"	12"	#5 @ 12"oc	#4 @ 12"oc	#5 @ 12"oc	(5)#5
10'-0"	1'-9"	8"	3'-9"	18"	#7 @ 12"oc	#4 @ 12"oc	#6 @ 12"oc	(8)#6



4a PORCH STAIR - Top
Scale 3/4" = 1'-0"



4b PORCH STAIR - Bottom
Scale 3/4" = 1'-0"



5 ENLARGED SITE PLAN - Partial
Scale 1/4" = 1'-0"

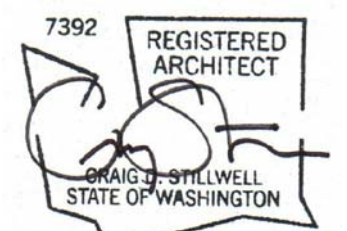
DRAWN BY
DESIGN BY
CHECKED BY
APPROVED BY
DATE
January 20, 2022
REVISIONS

STILLWELL HANSON ARCHITECTS

46 ETRURIA STREET, SUITE 200
SEATTLE, WASHINGTON 98109
206 297 1504 PHONE
206 297 1543 FAX

LBH RESIDENCE

7450 NORTH MERCER WAY
MERCER ISLAND, WASHINGTON



ENLARGED SITE PLAN & MISC DETAILS

SUP-01



SE 1/4 OF SW 1/4 SEC. 1, TWN. 24N, RGE. 4E, W.M.

GENERAL NOTES

1. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
2. SPECIAL INSPECTIONS BY CITY INSPECTOR MAY BE REQUIRED DURING CONSTRUCTION. GENERAL CONTRACTOR TO COORDINATE.
3. IF/WHEN APPLICABLE ALL ROADWAY WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH THE CURRENT APWA AND CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
4. A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
5. ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY PRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTION SHALL BE 95 PERCENT.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY TRAFFIC CONTROL TO ENSURE TRAFFIC SAFETY DURING CONSTRUCTION ACTIVITIES. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
7. MEASURES SHALL BE TAKEN BY THE DEVELOPER TO PROVIDE GROUND COVER IN AREAS WITHIN THE RIGHT-OF-WAY WHICH HAVE BEEN STRIPPED OF NATURAL VEGETATION OR HAVE A POTENTIAL FOR EROSION.
8. ANY EXISTING PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PRIOR TO FINAL INSPECTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL PUBLIC STREETS FREE FROM MUD AND DEBRIS AT ALL TIMES.
10. ALL EXISTING ON-SITE STRUCTURES AND ASSOCIATED UTILITIES TO BE DEMOLISHED, REMOVED, AND/OR ABANDONED PER APPLICABLE JURISDICTIONAL REQUIREMENTS.
11. DEFICIENCIES, WHETHER CAUSED BY CONTRACTOR OPERATIONS OR NOT CAUSED BY THE CONTRACTOR'S OPERATIONS, SHALL BE REPAIRED IMMEDIATELY.
12. THE CONTRACTOR SHALL MAINTAIN ROADS AND STREETS ADJACENT TO THE PROJECT LIMITS WHEN AFFECTED BY THE CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL REMOVE OR REPAIR ANY CONDITION RESULTING FROM THE WORK THAT MIGHT IMPEDE TRAFFIC OR CREATE A HAZARD. PUBLIC ROADWAYS SHALL BE BROOMED CLEAN AT THE END OF EACH WORK DAY.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF THE WORK COVERED BY THE CONTRACT.
14. ROCKERIES AND/OR RETAINING WALLS TO BE CONSTRUCTED PER GEOTECHNICAL AND/OR STRUCTURAL ENGINEER'S PLANS & SPECIFICATIONS.

ARCHITECTURAL, STRUCTURAL & GEOTECHNICAL NOTES

1. SPECIAL INSPECTIONS FOR GEOTECHNICAL AND/OR STRUCTURAL ASPECTS OF THE PROJECT MAY BE REQUIRED DURING VARIOUS STAGES OF THE PROJECT. CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION AND OBTAINING INSPECTIONS WHEN AND WHERE NECESSARY.
2. IF/WHEN APPLICABLE SEE ARCHITECTURAL PLANS FOR BUILDING SECTIONS AND ALL LOCAL/ON-SITE DIMENSIONAL ASPECTS OF BUILDINGS.
3. COORDINATE ALL SITE CIVIL CONSTRUCTION WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL/PLUMBING AND LANDSCAPE PLANS AND IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.

GRADING NOTES:

1. ALL CUT MATERIAL GENERATED DURING THE PROJECT THAT IS NOT ACCEPTABLE FOR USE AS COMPACTED FILL MATERIAL AT ANOTHER LOCATION ON-SITE MUST BE HAULED TO AN APPROVED LOCATION OFF-SITE.
2. THE ON-SITE TOPOGRAPHICAL MAPPING WAS PROVIDED BY TERRANE.
3. ALL TEMPORARY OR PERMANENT SLOPES SHALL NOT EXCEED 2H:1V UNLESS APPROVED BY A GEOTECHNICAL ENGINEER.
4. FILL MATERIAL PLACED UNDER BUILDING FOUNDATIONS OR PAVEMENT SHALL BE CRUSHED BASE ROCK OR COMPACTED STRUCTURAL FILL IN ACCORDANCE TO WSDOT STANDARD SPECIFICATIONS.
5. ROCKERY AND/OR RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT REQUIRES A BUILDING PERMIT.

BUILDING STAKING NOTE:

CONTRACTOR TO USE ARCHITECTURAL PLANS FOR ACCURATE LOCATION & CONSTRUCTION STAKING OF ALL SITE IMPROVEMENTS.

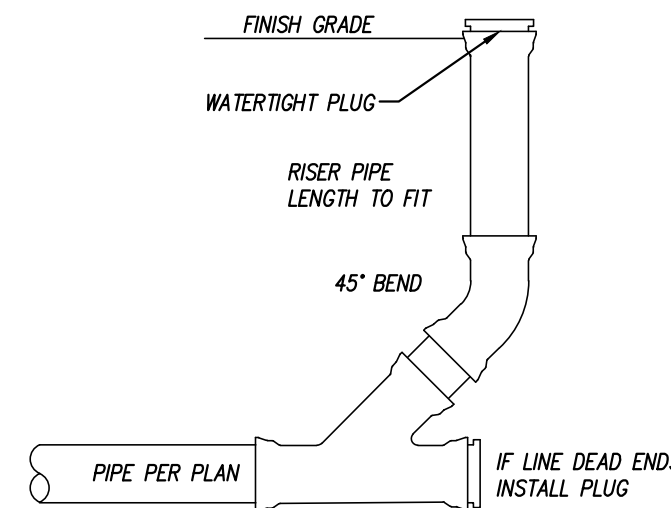
EXISTING UTILITY NOTE:

LOCATION OF EXISTING UTILITIES SHOWN, IF ANY, IS APPROXIMATE AND MAY NOT BE ACCURATE OR ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

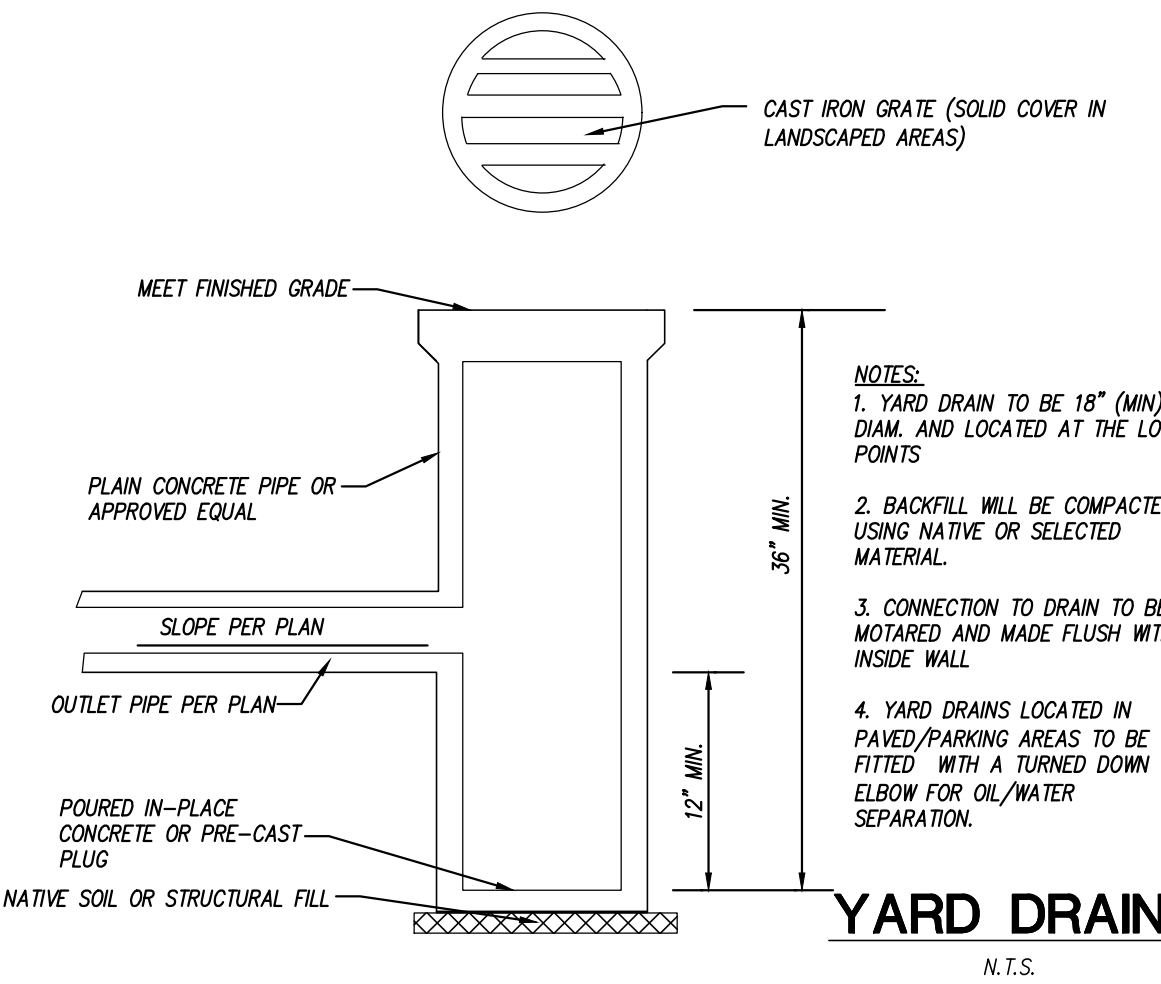
ESTIMATED EARTHWORK NOTE:

CUT: 225± CY
FILL: 0± CY

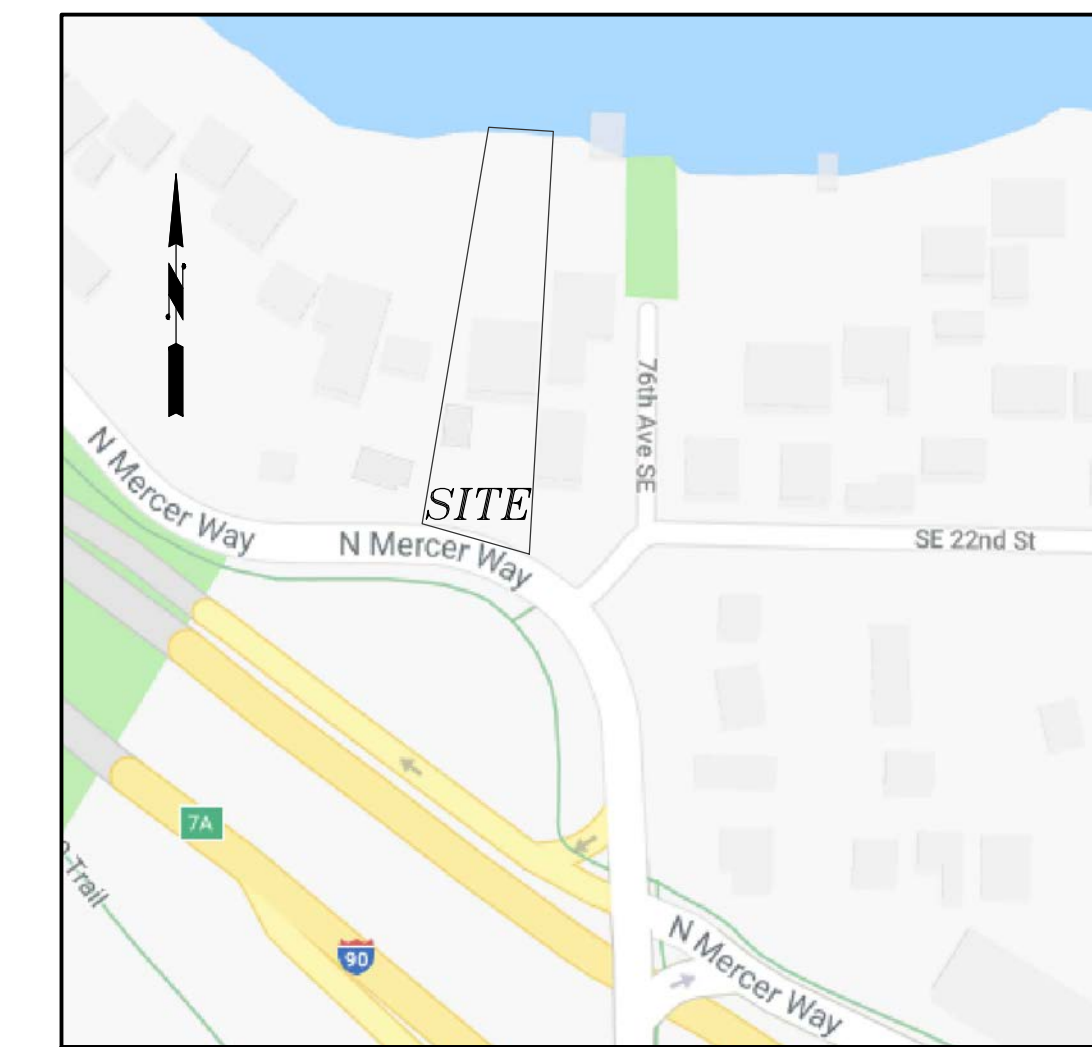
EXCESS CUT MATERIAL TO BE REMOVED FROM SITE TO AN APPROVED OFFSITE LOCATION (TBD).



CLEANOUT DETAIL
N.T.S.



YARD DRAIN
N.T.S.



VICINITY MAP
NOT TO SCALE

LEGEND

- △ FOUND PIPE
- SET HUB
- SET PK NAIL
- FOUND NAIL
- GAS METER
- GAS VALVE
- SOIL LOG/TEST PIT
- SANITARY SEWER MANHOLE
- CATCH BASIN
- WATER METER
- METLAND FLAG
- POWER METER
- AREA LIGHT
- POWER POLE

PROJECT DATA

PROPERTY ADDRESS: 7450 NORTH MERCER WAY
MERCER ISLAND, WASHINGTON 98040
TAX LOT NUMBER: 531510-0125
SITE AREA: 30,941 SF (0.71 ACRES)
ZONING: R-15 = RESIDENTIAL 15

PROJECT TEAM

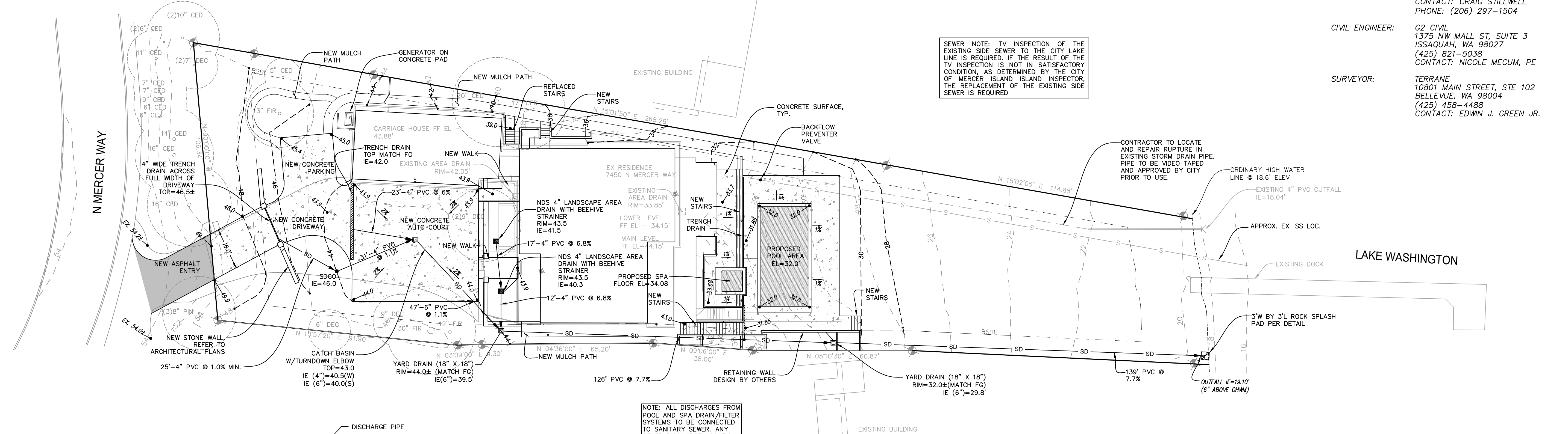
OWNER/DEVELOPER: SEAN & LORI KELL
14033 SE 92ND STREET
NEWCASTLE, WA 98059
CONTACT: SEAN KELL
PHONE: (206) 954-3004

ARCHITECT: STILLWELL HANSON ARCHITECTS
46 ETRURIA STREET, SUITE 200
SEATTLE, WASHINGTON 98109
CONTACT: CRAIG STILLWELL
PHONE: (206) 297-1504

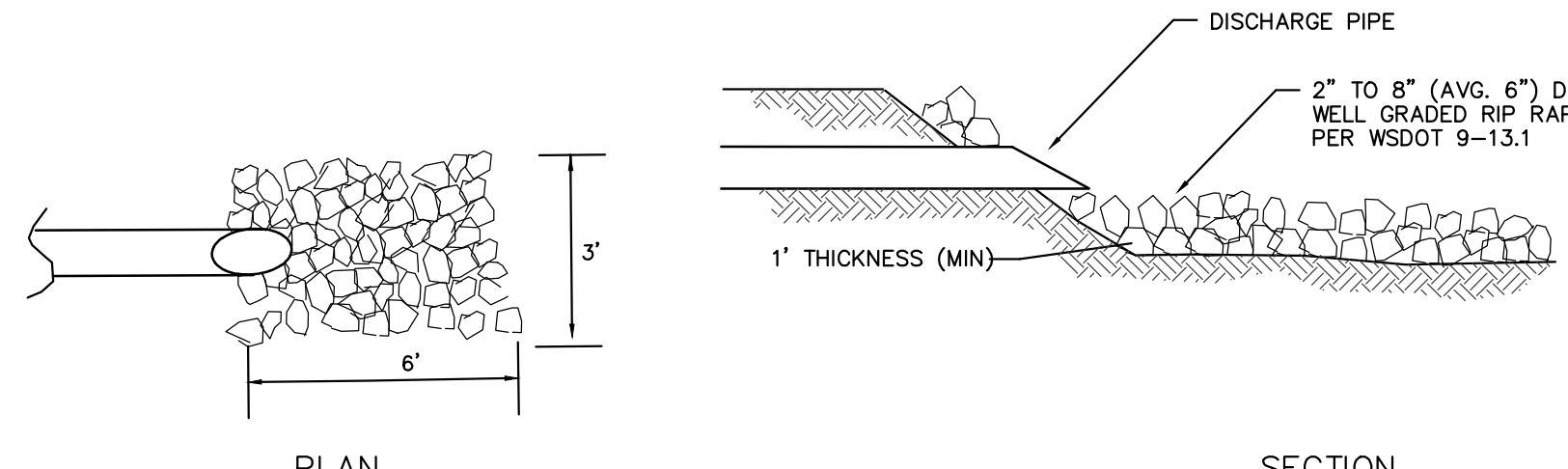
CIVIL ENGINEER: G2 CIVIL
1375 NW MALL ST, SUITE 3
ISSAQUAH, WA 98027
(425) 821-5038
CONTACT: NICOLE MECUM, PE

SURVEYOR: TERRANE
10801 MAIN STREET, STE 102
BELLEVUE, WA 98004
(425) 458-4488
CONTACT: EDWIN J. GREEN JR.

SEWER NOTE: TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY LAKE LINE IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.



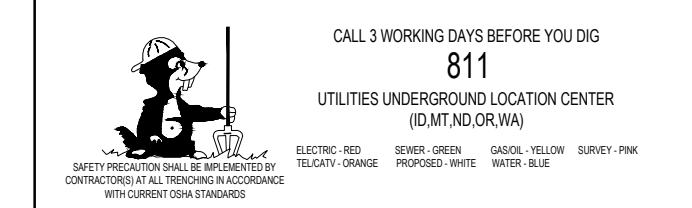
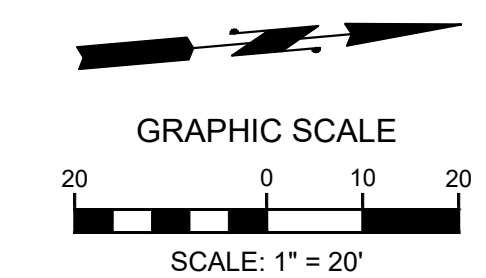
NOTE: ALL DISCHARGES FROM POOL AND SPA DRAIN/FILTER SYSTEMS TO BE CONNECTED TO SANITARY SEWER. ANY OTHER DISCHARGE LOCATION STRICTLY PROHIBITED.



DRAINAGE OUTFALL ROCK PAD
N.T.S.

SHEET INDEX

1. SITE IMPROVEMENT PLAN
2. TESC & SWPP PLAN



APPROVAL _____ DATE _____
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP

NOTES

DATE	CHNG BY	DATE	NOTES
3-14-19	KAL	3-14-19	SUBMITTED TO CLIENT
7-10-19	KAL	7-10-19	REVISED PER CITY COMMENTS
10-28-19	KAL	10-28-19	REVISED PER ARCHITECT
6-23-21	KAL	6-23-21	REVISED PER ARCHITECT
1-19-22	NEM	1-19-22	REVISED PER ARCHITECT

1375 NW MALL ST, SUITE 3
ISSAQUAH, WA 98027
PHONE: (425) 821-5038

G2 CIVIL

SITE IMPROVEMENT PLAN
LBH RESIDENCE
7450 NORTH MERCER WAY
SEAN KELL
14033 SE 92ND STREET
NEWCASTLE, WA 98059

SHEET
1 of 2

JOB NO.

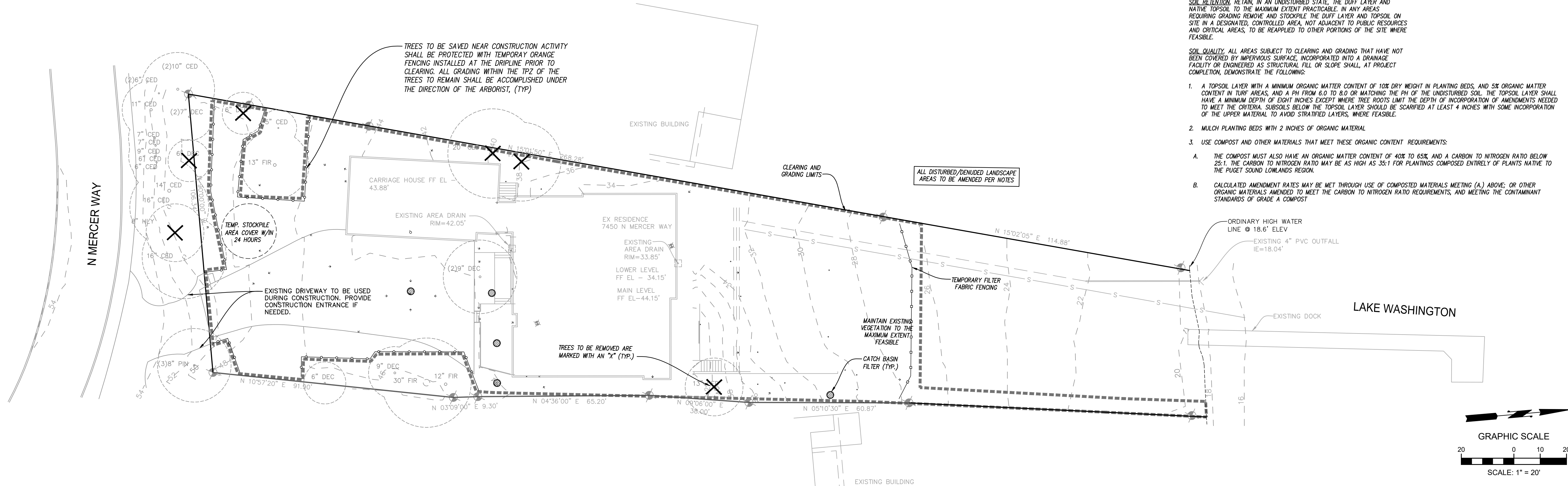
SE 1/4 OF SW 1/4 SEC. 1, TWN. 24N, RGE. 4E, W.M.

WA DOE SOIL AMENDMENT NOTES

SOIL RETENTION: RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

SOIL QUALITY: ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

- A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
- MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL.
- USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
 - THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65%, AND A CARBON TO NITROGEN RATIO BELOW 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
 - CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIALS MEETING (A) ABOVE, OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND MEETING THE CONTAMINANT STANDARDS OF GRADE A COMPOST.



EROSION & SEDIMENT CONTROL NOTES

- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
- THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
- ALL DENuded SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES:
 - * APRIL 1 TO OCTOBER 31 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING.
 - * NOVEMBER 1 TO MARCH 31 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING.
- AT NO TIME SHALL MORE THAN 1" OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ANY PERMANENT RETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN.
- WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
- WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2".
- ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
- THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY OF MERCER ISLAND INSPECTOR.
- A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE, WHENEVER CONSTRUCTION IS IN PROGRESS.
- ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 4' HIGH TEMPORARY CONSTRUCTION FENCE (CYCLONE OR PLASTIC MESH) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL A DWELLING IS CONSTRUCTED AND OWNERSHIP TRANSFERRED TO THE FIRST OWNER/OCCUPANT.
- CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6-FT. HIGH CHAIN LINK FENCE ADJACENT THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.
- OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.
- ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A "FILTER FABRIC SOCK" OR EQUIVALENT.
- THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF KIRKLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.
- ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40%-70% PASSING; 2"-4" ROCK/30%-40% PASSING; AND 1"-2" ROCK/10%-20% PASSING.
- IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY.
- ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.
- DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.
- PRIOR TO OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.
- IF A SEDIMENT POND IS NOT PROPOSED, A BAKER TANK OR OTHER TEMPORARY GROUND AND/OR SURFACE WATER STORAGE TANK MAY BE REQUIRED DURING CONSTRUCTION, DEPENDING ON WEATHER CONDITIONS.
- ANY AREA TO BE USED FOR INFILTRATION OR PERVIOUS PAVEMENT (INCLUDING A 5-FOOT BUFFER) MUST BE SURROUNDED BY SILT FENCE PRIOR TO CONSTRUCTION AND UNTIL FINAL STABILIZATION OF THE SITE TO PREVENT SOIL COMPACTION AND SILTATION BY CONSTRUCTION ACTIVITIES.

CONSTRUCTION SEQUENCE SCHEDULE

- CONDUCT PRE-CONSTRUCTION MEETING.
- FLAG OR FENCE CLEARING LIMITS.
- POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.
- INSTALL CATCH BASIN PROTECTION IF REQUIRED.
- GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
- INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
- MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS.
- COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.
- STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.
- LEED OR SOD ANY AREAS THAT REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.

SWPPP NOTE - MANAGEMENT OF THE PROJECT

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO MANAGE THIS PROJECT AND COORDINATE WITH THE COUNTY INSPECTOR AND ENGINEER.

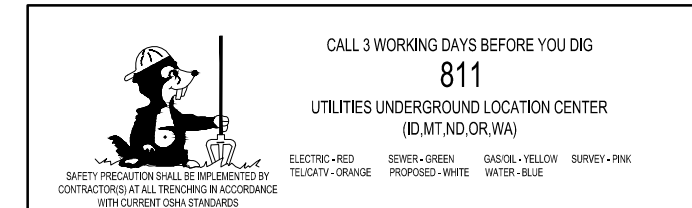
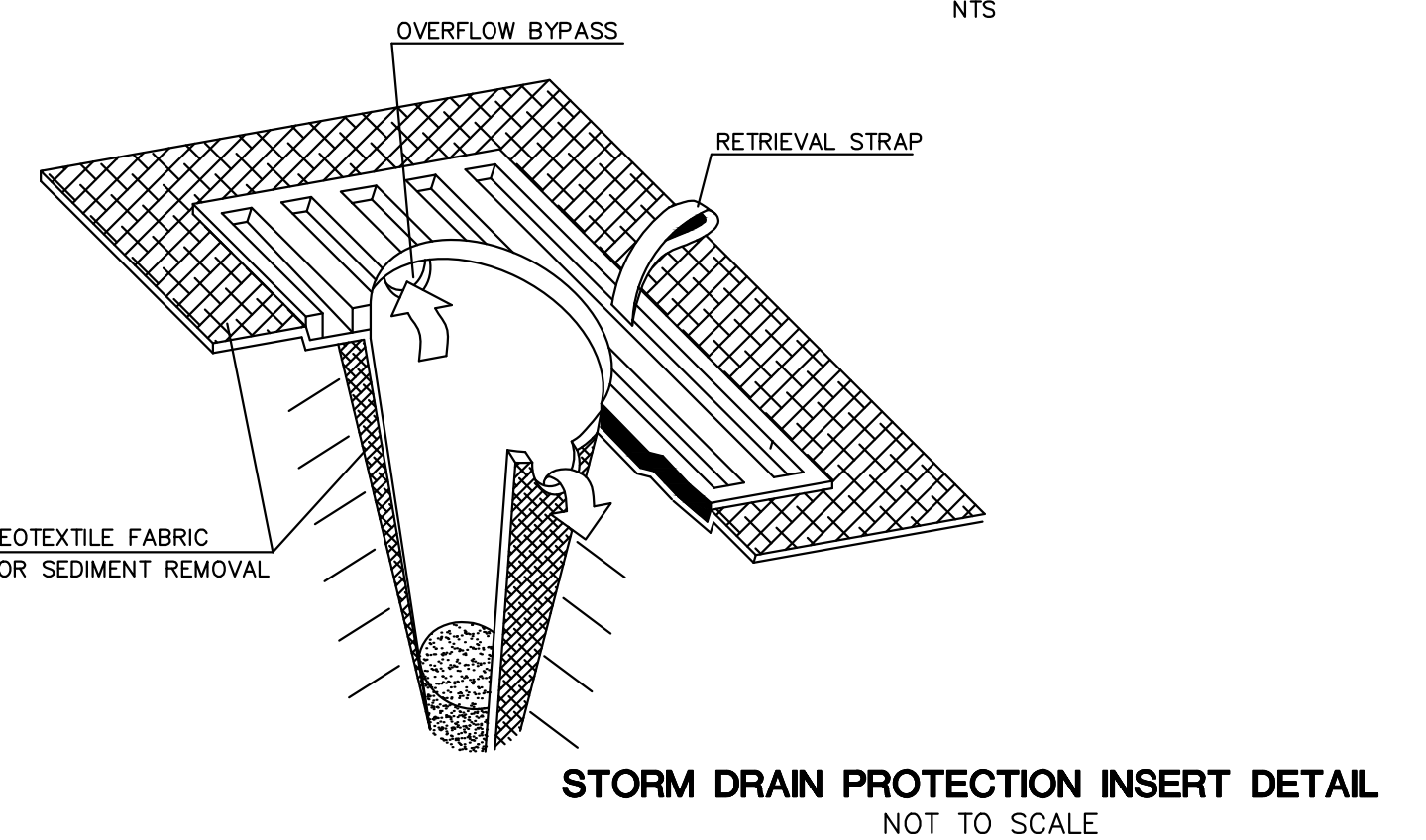
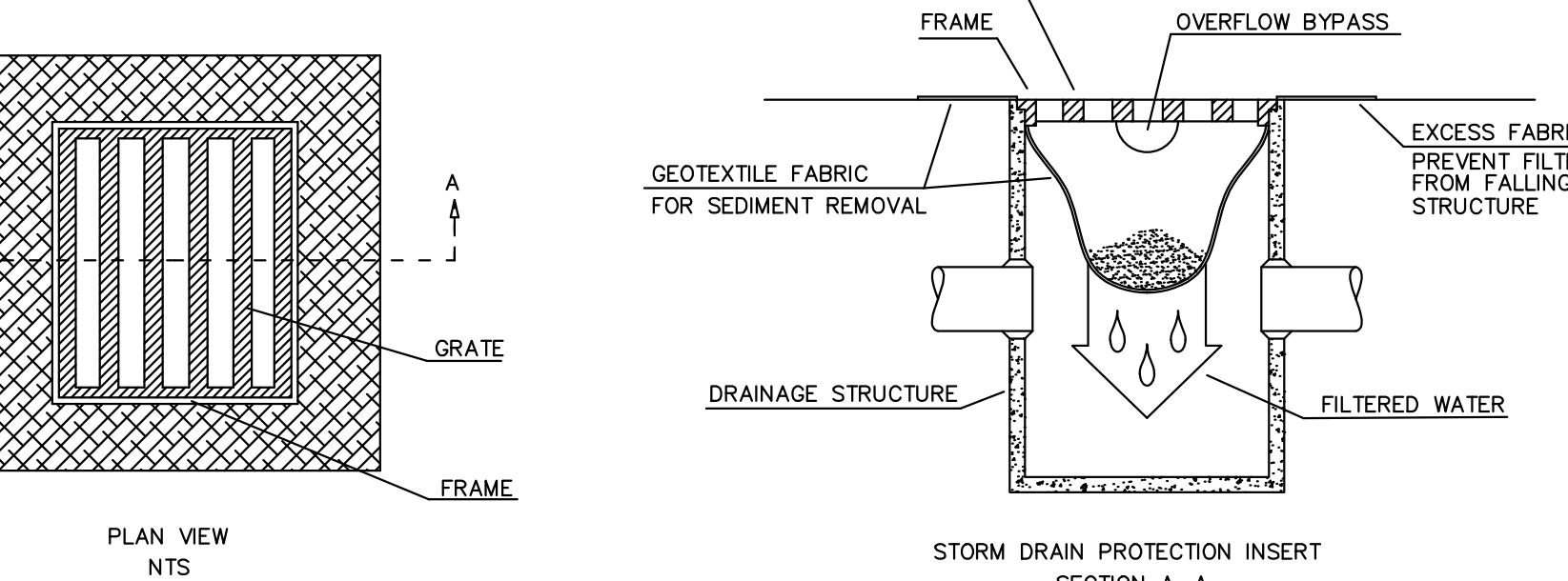
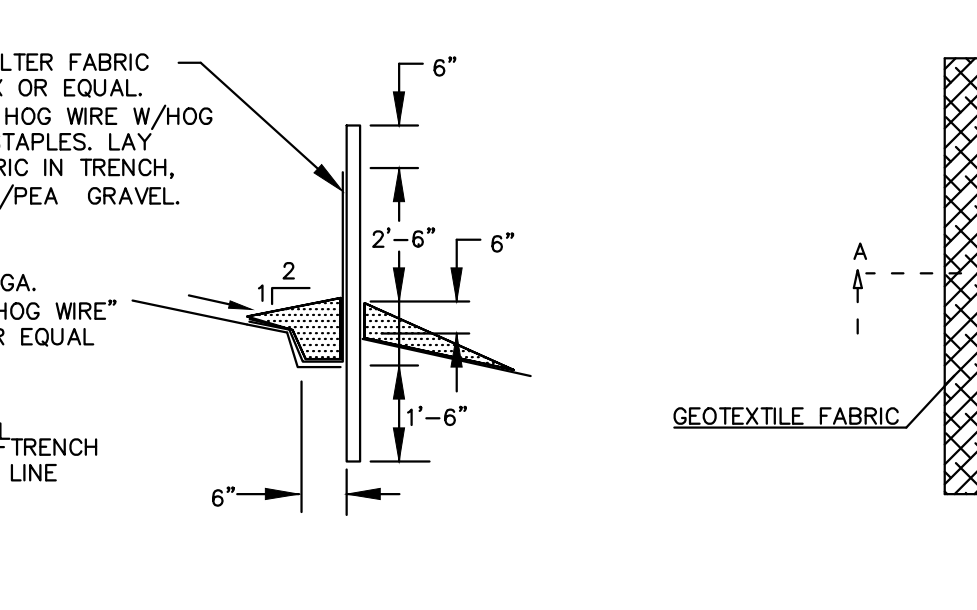
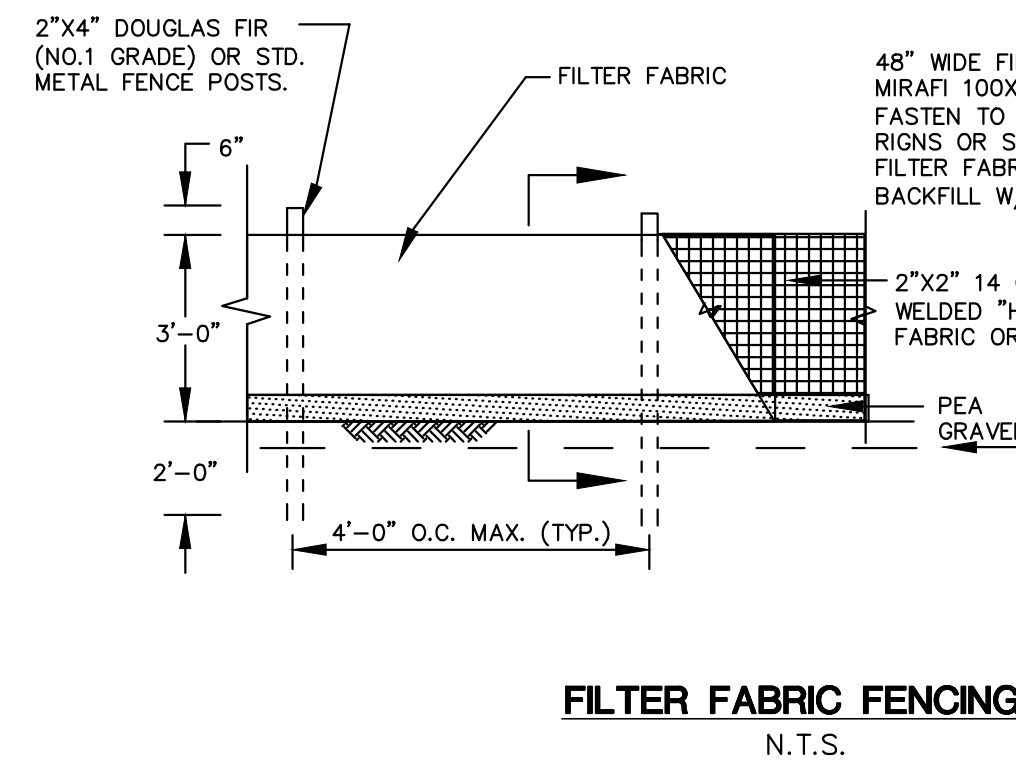
INSPECTION AND MONITORING:
SITE INSPECTIONS SHALL BE DONE BY A PERSON WHO IS KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL. THE PERSON MUST HAVE SKILLS TO FIRST ASSESS THE SITE CONDITIONS AND CONSTRUCTION ACTIVITIES THAT COULD IMPACT THE QUALITY OF STORMWATER, AND SECOND ASSESS THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES USED TO CONTROL THE QUALITY OF STORMWATER DISCHARGES.

WHENEVER INSPECTION AND/OR MONITORING REVEALS THAT THE BMPs IDENTIFIED IN THE CONSTRUCTION SWPPP ARE INADEQUATE, APPROPRIATE BMPs OR DESIGN CHANGES SHALL BE IMPLEMENTED AS SOON AS POSSIBLE.

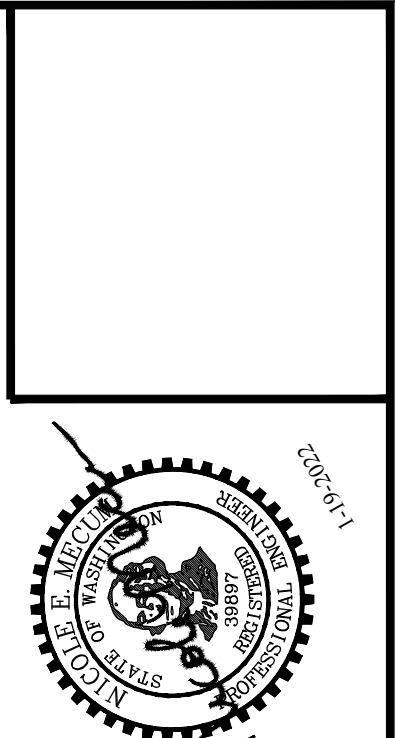
MAINTAINING AN UPDATED CONSTRUCTION SWPPP:
THE CONSTRUCTION SWPPP SHALL BE RETAINED ON-SITE WHENEVER CONSTRUCTION IS UNDERWAY.

ALTHOUGH NOT ANTICIPATED, THE SWPPP SHALL BE MODIFIED WHENEVER THERE IS A CHANGE IN THE DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE AT THE CONSTRUCTION SITE THAT HAS, OR COULD HAVE, A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO WATERS OF THE STATE.

THE SWPPP SHALL BE MODIFIED IF, DURING INSPECTIONS OR INVESTIGATIONS CONDUCTED BY THE OWNER/OPERATOR, OR THE APPLICABLE LOCAL OR STATE REGULATORY AUTHORITY, IT IS DETERMINED THAT THE SWPPP IS INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS IN STORMWATER DISCHARGES FROM THE SITE. THE SWPPP SHALL BE MODIFIED AS NECESSARY TO INCLUDE ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. REVISIONS TO THE SWPPP SHALL BE COMPLETED WITHIN SEVEN DAYS FOLLOWING INSPECTION.



APPROVAL _____ DATE _____
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP



DATE	CHWD BY	REVISED PER	NOTES
3-14-19	KAL	REVISED PER CITY COMMENTS	SUBMITTED TO CLIENT
7-10-19	KAL	REVISED PER ARCHITECT	
10-28-19	KAL	REVISED PER ARCHITECT	
6-23-21	KAL	REVISED PER ARCHITECT	
1-19-22	NEM	REVISED PER ARCHITECT	

1375 NW MALL ST, SUITE 3
ISSAQUAH, WA 98027
PHONE: (425) 821-5038

TESC & SWPPP PLAN
LBH RESIDENCE
7450 NORTH MERCER WAY
SEAN KELL
14033 SE 92ND STREET
NEWCASTLE, WA 98059