

PLAN NORTH

SITE PLAN PROJECT INFORMATION

DRAWN BY

DESIGN BY

CHECKED BY

APPROVED BY

DATE

April 1, 2019

REVISIONS

March 1, 2021 June 1, 2021 & July 1, 2021

January 20, 2022 March 1, 2022

ARCHITECTS

46 ETRURIA STREET, SUITE 200

SEATTLE, WASHINGTON 98109

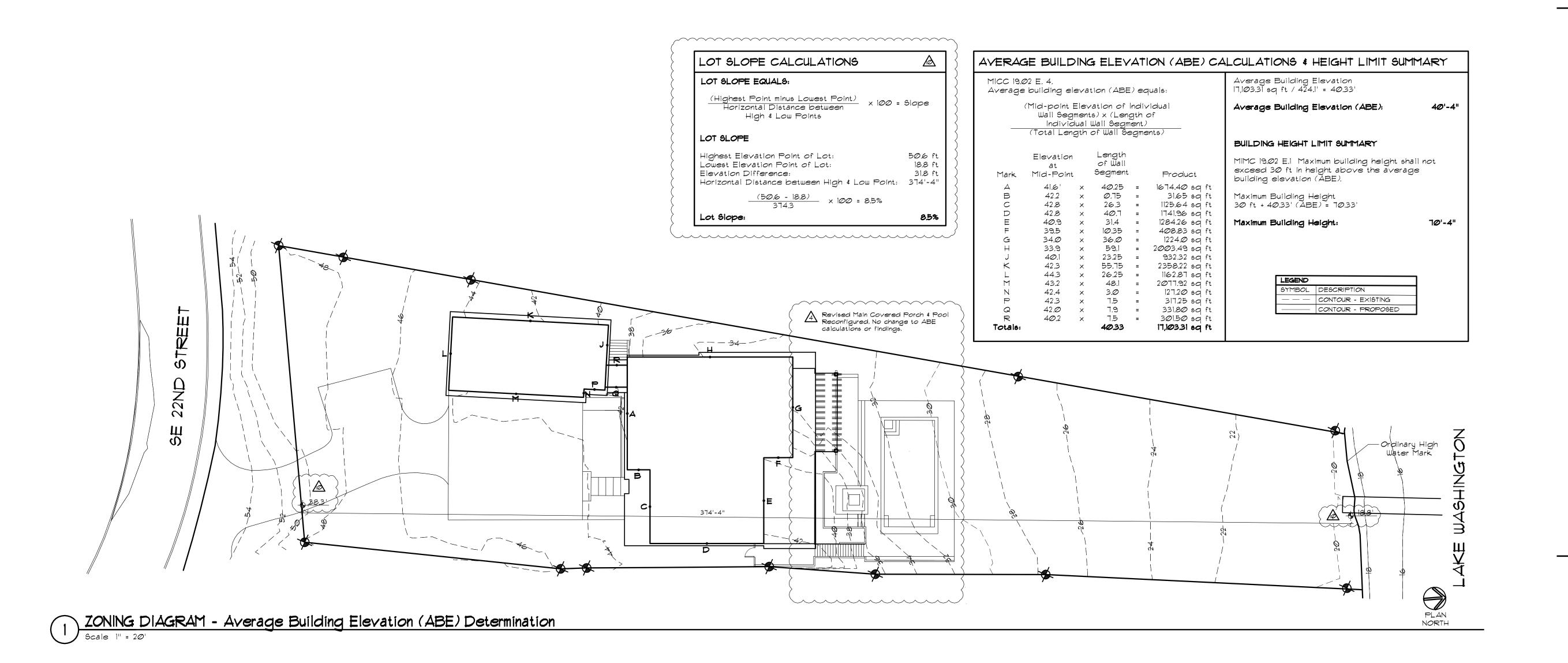
206 297 1504 PHONE

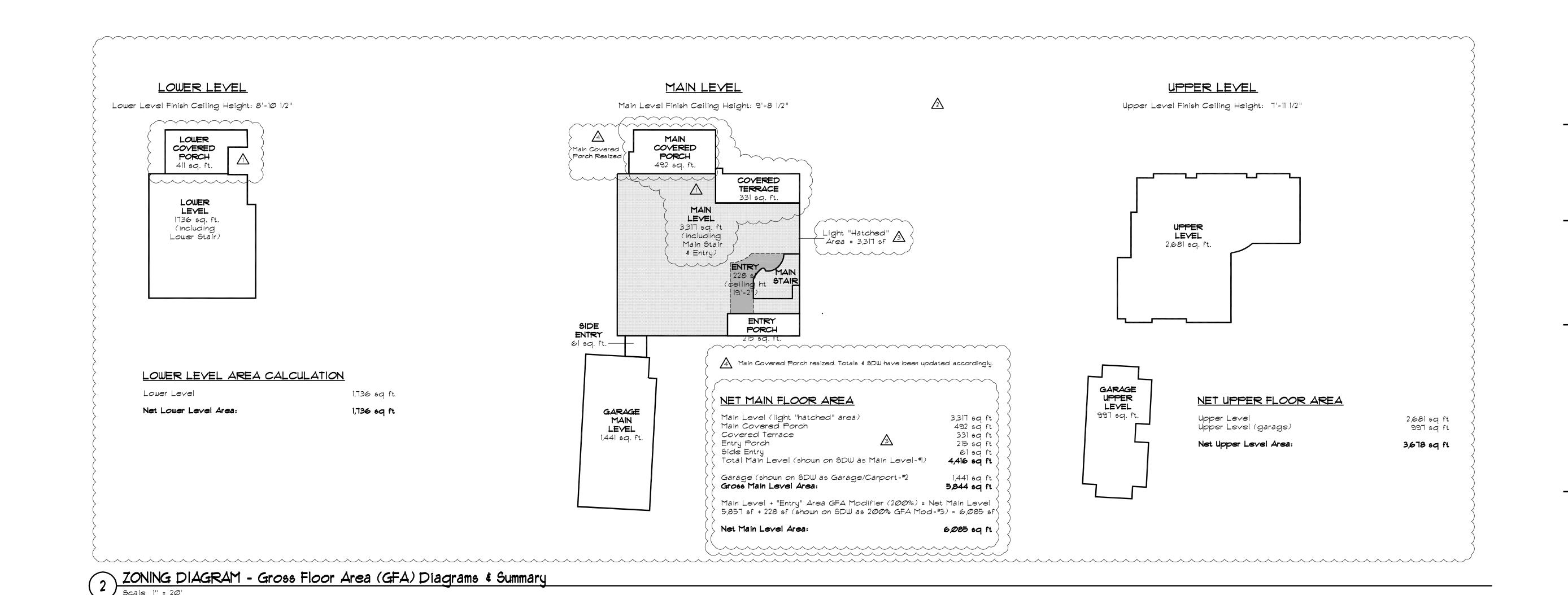
206 297 1543 FAX

LBH

RESIDENCE

7450 NORTH MERCER WAY MERCER ISLAND, WASHINGTON





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REVISIONS

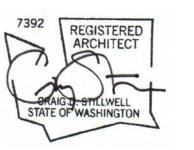
CORRECTION #1 - July 10, 2019
CORRECTION #2 - August 5, 2019
CORRECTION #3 - September 14, 2019
REVISION #1 - October 1, 2019
CORRECTIONS - March 1, 2022

STILLWELL HANSON ARCHITECTS

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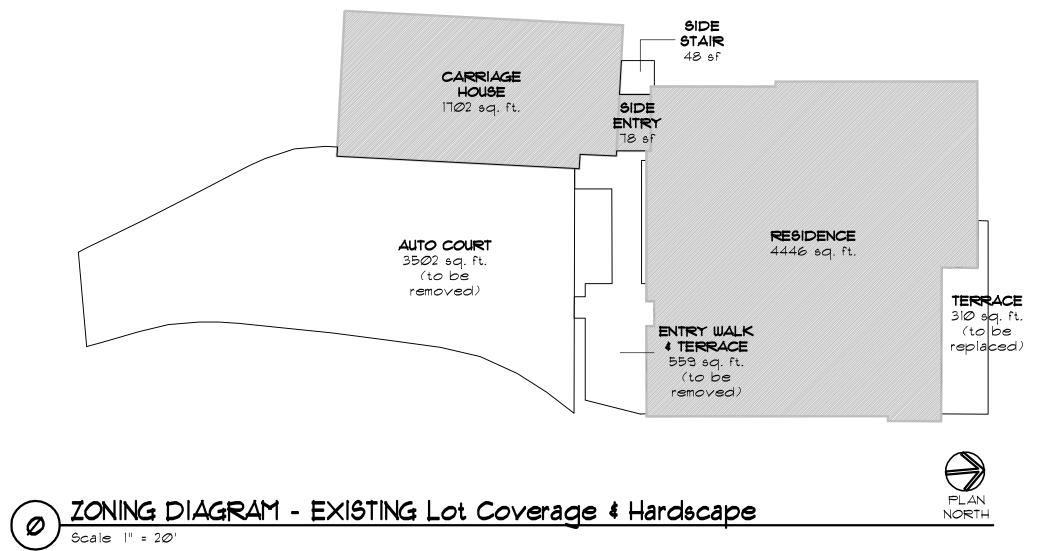
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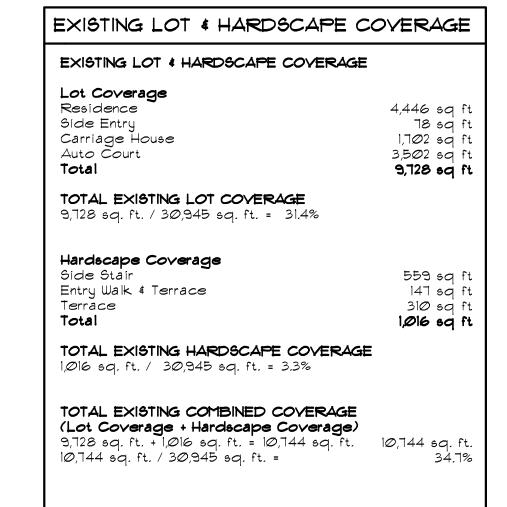
7450 NORTH MERCER WAY MERCER ISLAND, WASHINGTON



ZONING DIAGRAMS

A-1.2





PROPOSED LOT COVERAGE & HARDSCAPE CALCULATIONS

MICC 19.02.020 F. 3. a. Lot Coverage -

LOT COVERAGE (Building & Driving Areas)

TOTAL COMBINED COVERAGE ALLOWED

(Lot Coverage + Hardscape Coverage)

slope.

Lot Slope:

Gross Lot Area:

Net Lot Area:

Lot Slope:

Net Lot Area:

 $9 \% \times 30,945$ sq ft:

LOWER

(new)~

POOL 4

(new)

↓ LOWER

STAIR

\44 sf

Maximum Lot Coverage:

Maximum Lot Coverage

40 % x 30,945 sq ft

60 % x 30,945 sq ft

Landscaping Area Required:

Required Landscaping Area

HARDSCAPE COVERAGE

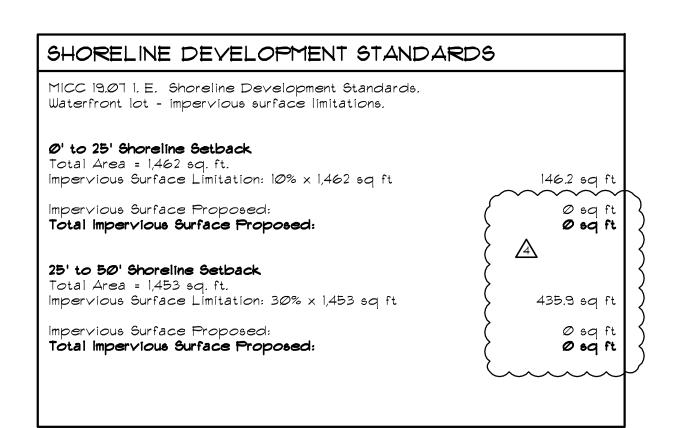
12,378 sq. ft. + 2,785 sq, ft. =

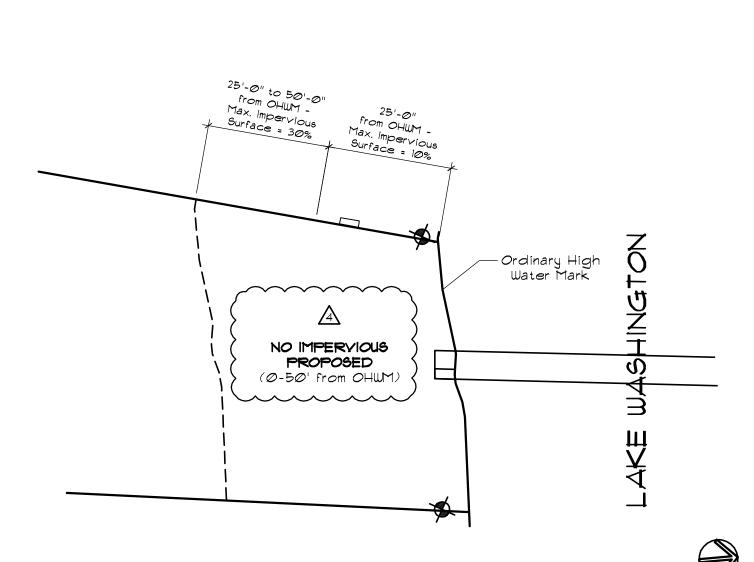
15,163 sq. ft / 30,945 sq. ft. =

Maximum Lot Coverage:

Landscaping Required. Minimum area required for single family dwelling shall provide the minimum

landscaping area based on the net lot area and lot





LOWER STAIR STAIR -# LANDING CONCRETE-35 sf 9 sf 40 sf PAD 15 sf CARRIAGE(HOUSE ENTRY STONE ---WALL SIDE ENTRY COVERED PORCH 400 sq.ft. 24 sq. ft. DRIVEWAY 92 sq. ft # PARKING RESIDENCE TERRACE 1426 sq. ft. 4249 sq. ft. AUTO COURT (uncovered) 15 sf (reconfigured) 2132 sq. ft. 534 sq. ft. (reconfigured) MAIN WALK TERRACE TERRACE SPA WALL 133 sq. ft. (uncovered 2193 sq. ft (reconfigured) w/crawlspace 26 sq. ft. (new) below) • 254 sf P-6 POOL STAIR P-1 P-2 P-3 LANDING Jet (neill) _____

ZONING DIAGRAM - PROPOSED Lot Coverage & Hardscape

DRAWN BY

4,249 sq f

400 sq f

254 sq f

1702 sa f

2,132 sq f 1,426 sq ft

10,241 sq ft

534 sq f

117 sq ft

109 sq ft

97 sq f

35 sq f

40 sq f

133 sq f

100 sq f

3,616 sq ft

13,857 sq f

PLAN

NORTH

44.8%

-44-59-ft

78 sq f

PROPOSED LOT 4 HARDSCAPE COVERAGE

Carriage House
Auto Court

TOTAL PROPOSED LOT COVERAGE

2,785 sq ft Lower Side Stair & Landing
Stone Walls (2) + Walls (3) + Concrete Pad

Hollow Planters P-1 thru P-6*

10,241 sq ft + 3,616 sq ft =

13,857 sq ft / 30,945 sq ft =

3,616 sq ft / 30,945 sq ft = 11.7%

TOTAL PROPOSED HARDSCAPE COVERAGE

TOTAL PROPOSED COMBINED COVERAGE

(Lot Coverage + Hardscape Coverage)

| 10,24| sq. ft. / 30,945 sq. ft. = 33.1% | Hardscape Coverage

Lot Coverage

Main Covered Porch

Driveway & Parking

, Pool & Terrace

Pool Stair

Landing

Side Stair

Entry Walk

Total

Residence

Side Entry

Total

18,567 sq ft Lower Terrace

60%

30,945 sq f

15,163 sq.

CHECKED BY

DESIGN BY

DATE September 1, 2019

APPROVED BY

REVISIONS July 10, 2019 CORRECTION #1 August 5, 2019 CORRECTION #2 October 1, 2019 REVISION #2 June 1, 2021 REVISION #3 July 1, 2021 CORRECTION

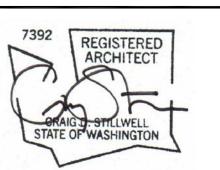
January 1, 2022 REVISION #4

STILLWELL HANSON **ARCHITECTS**

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7450 NORTH MERCER WAY MERCER ISLAND, WASHINGTON



ZONING **DIAGRAMS**

A-1.3

Y ZONING DIAGRAM - PROPOSED Shoreline Development NORTH Not to Scale





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DATE April 1, 2019

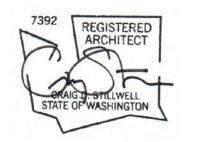
REVISIONS CORRECTION #1
July 10, 2019
REVISION #1 REVISION #1
October 1, 2019
REVISION #4
January 20, 2022

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EXTERIOR ELEVATIONS

A-3.2

DELETED SEE NEW STRUCTURAL SHEET 52.1 - Detail 9 PORCH STAIR - Top

Scale 3/4" = 1'-0"

DELETED

DELETED

DELETED

DELETED

SEE NEW STRUCTURAL SHEET 52.1 - Detail 11

SEE NEW STRUCTURAL SHEET S2.1 - Detail 12

SEE NEW STRUCTURAL SHEET S1.1 - Schedule

SEE NEW STRUCTURAL SHEET 52.1 - Detail 10

WALL AT DRIVEWAY - Option 1 (Conc.) 9cale 3/4" = 1'-0"

WALL AT DRIVEWAY - Option 2 (CMU)

Scale 3/4" = 1'-0"

Mulch

SIDE SETBACK - Residence

3 RETAINING WALL SCHEDULE - West Yard Scale N.T.S.

5a 9UP-Ø1

On Grade 55-4 55-5

4'-Ø"

Wall height—

34.9

Concrete Landing

Slope 1%-to Drain Elev. 34.81

downspout tightline. Outfall at lake.

Wall height
3'-5" max
(at Landing)

Existing
Concrete Wall

38,0'

101

Planter

Steel $^{/}$ Planter-

Wall

Replaced

Down 43.9'

Shedule 10

Wall height— 2'-3"

- New Cast-In-Place Concrete Wall

<u>→ 34.4'</u>

Planting

Bed `

PORCH STAIR - Bottom

Scale 3/4" = 1'-0"

Existing Retaining T.O. Wall 39.1'

Finish Grade 38.0'
a top of stair \$ planter

T.O. Slab 34.9'

5a SECTION - New Stair & Landing

Scale 1/4" = 1'-0"

Line of-

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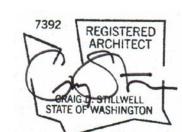
DATE January 20, 2022

REVISIONS March 1, 2022

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> LBH RESIDENCE

7450 NORTH MERCER WAY MERCER ISLAND, WASHINGTON



ENLARGED SITE PLAN & MISC DETAILS **SUP-01 (a)**

5 ENLARGED SITE PLAN - Partial

Scale 1/4" = 1'-0"

PLAN NORTH

General Structural Notes

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS CRITER!A

ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE 12. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE 25. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON: DRAWINGS. SPECIFICATIONS. AND THE INTERNATIONAL BUILDING CODE (2015) EDITION).

- 2. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, THE INTERNATIONAL BUILDING CODE (2018 EDITION). THIS STRUCTURE DOES NOT CONFORM TO PRESENT EARTHQUAKE CODE REQUIREMENTS IT HAS BEEN ANALYZED AND REINFORCED FOR MINIMUM MAINTENANCE IN ACCORDANCE WITH INTERNATIONAL EXISTING BUILDING CODE. AND IS WITHIN THE CURRENT PRACTICE FOR THE RENOVATION OF EXISTING BUILDINGS OF THIS AGE AND TYPE OF CONSTRUCTION.
- . DESIGN LOADING CRITERIA: RESIDENTIAL - ONE AND TWO-FAMILY DWELLINGS DEFLECTION CRITERIA TOTAL LOAD DEFLECTION L/240 ENVIRONMENTAL LOADS SNOW Ce=1.0, Is=1.0, Ct=1.1, Pq=25 PSF, Pf=20 PSF WIND GCpi=0.18. 110 MPH. RISK CATEGORY II. EXPOSURE "B" EARTHQUAKE . ANALYSIS PROCEDURE: NON BUILDING STRUCTURES
 - LATERAL SYSTEM: GROUND SUPPORTED CANTILEVERED WALL SITE CLASS=D, Ss=138, Sds=100, S1=48, SD1=58, Cs=0.400 SDC D, Ie=1.0, R=2.5
- 4. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION. THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.
- PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING 18. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS: CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT. SUPERVISE. NOTE. CORRECT. OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".
- 8. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 9. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY. UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.
- 10. ALL STRUCTURAL SYSTEMS, WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED, SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

GEOTECHNICAL

11. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

ALLOWABLE SOIL PRESSURE	2000 PSF
LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED)	PCF/35 PCF
ALLOWABLE PASSIVE EARTH PRESSURE (FS OF 1.5 INCLUDED)	300 PCF
COEFFICIENT OF FRICTION (FS OF 1.5 INCLUDED)	
TRAFFIC SURCHARGE PRESSURE (UNIFORM LOAD)	. 75 PSF
SEISMIC SURCHARGE PRESSURE (UNIFORM LOAD)	. 7H PSF

RENOVATION

- COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- 13. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND 26. WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, FY = 50 KSI. OTHER ROLLED MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS
- 14. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

- 15. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301. INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2,500
- 16. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260. C494. 29. ALL ANCHORS EMBEDDED IN MASONRY OR CONCRETE SHALL BE A307 HEADED BOLTS OR AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.
- ACCORDANCE WITH ACI 315-99 AND 318-11. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-11, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#6 BARS OR LARGER) 2 FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER). . 1-1/2" SLABS AND WALLS (INT. FACE). . . GREATER OF BAR DIAMETER PLUS 1/8" OR 3/4"

19. CONCRETE WALL REINFORCING--PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

6" WALLS	#4 @ 16 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
8" WALLS	#4 @ 12 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
10" WALLS	#4 @ 18 HORIZ.	#4 @ 18 VERTICAL	2 CURTAIN
12" WALLS	#4 @ 16 HORIZ.	#4 @ 18 VERTICAL	2 CURTAIN

- 20. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.
- 21. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM)

ANCHORAGE

- 22. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037. INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.
- 23. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-XP" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2508. MINIMUM BASE MATERIAL TEMPERATURE IS 50 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT. AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.
- 24. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

STEEL

- A. AISC 360 AND SECTION 2205. 2 OF THE INTERNATIONAL BUILDING CODE. B. APRIL 14, 2010 AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES AMENDED AS FOLLOWS: AS NOTED IN THE CONTRACT DOCUMENTS, BY THE DELETION OF PARAGRAPH 4.4.1. AND REVISE REFERENCE FROM "STRUCTURAL DESIGN DRAWINGS" TO "CONTRACT DOCUMENTS" IN PARAGRAPH 3.1. C. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.
- SHAPES INCLUDING PLATES, SHALL CONFORM TO ASTM A36, FY = 36 KSI. STEEL PIPE SHALL CONFORM TO ASTM A-53, TYPE E OR S, GRADE B, Fy = 35 KSI. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B. FY = 42 KSI (ROUND), FY = 46 KSI (SQUARE AND RECTANGULAR). CONNECTION BOLTS SHALL CONFORM TO ASTM A307.
- 27. ALL STEEL EXPOSED TO THE WEATHER OR IN CONTACT WITH GROUND SHALL BE CORROSION PROTECTED BY GALVANIZATION OR PROVIDED WITH EXTERIOR PAINT SYSTEM, UNLESS OTHERWISE NOTED.
- 28. SHOP PRIME ALL STEEL EXCEPT:

A. STEEL ENCASED IN CONCRETE.

- B. SURFACES TO BE WELDED.
- C. CONTACT SURFACES AT HIGH-STRENGTH BOLTS.
- D. MEMBERS TO BE GALVANIZED.
- E. MEMBERS WHICH WILL BE CONCEALED BY INTERIOR FINISHES. F. SURFACES TO RECEIVE SPRAYED FIREPROOFING.
- G. SURFACES TO RECEIVE OTHER SPECIAL SHOP PRIMERS.
- A36 THREADED ROD WITH AN ASTM 563 HEAVY HEX NUT TACK WELDED ON THE
- 17. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN 30. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES F AND 40 FT - LBS AT 70 DEGREES F, AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.

MASONRY

31. CONCRETE MASONRY UNIT WALLS SHALL BE CONSTRUCTED OF GRADE N, MEDIUM WEIGHT UNITS, CONFORMING TO ASTM C90, LAID IN A RUNNING BOND. MORTAR SHALL BE TYPE "S" CONFORMING TO ASTM C270. GROUT SHALL CONFORM TO ASTM C476 AND ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF fm. WITH A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI, AT 28 DAYS. DESIGN f'm = 2000 PSI.

STRENGTH SHALL BE VERIFIED BY EITHER THE UNIT STRENGTH METHOD OR PRISM TESTING IN ACCORDANCE WITH TMS 602-2016 SECTION 1.4. WHEN VERIFIED BY THE UNIT STRENGTH METHOD, MASONRY UNITS SHALL BE CHOSEN IN ACCORDANCE WITH TMS 602-2016, TABLE 2.

UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING REINFORCEMENT:

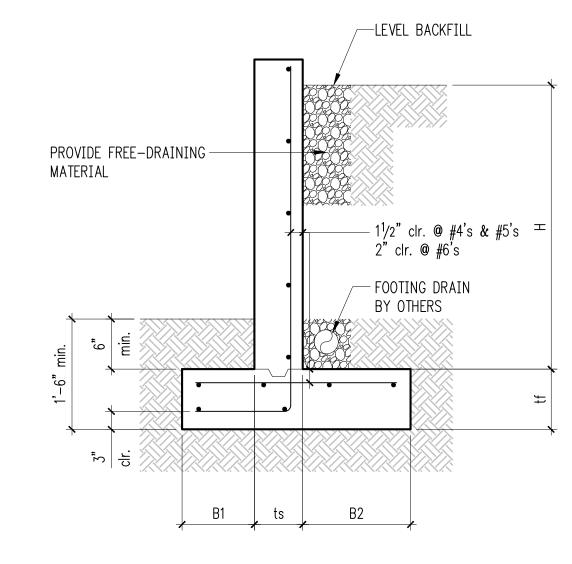
8" WALLS #4 @ 16" O.C. VERT. (2) #4 @ 48" O.C. HORIZ.

IN ADDITION, PROVIDE (1) #5 (#4 @ 6" AND 4" WALLS) VERT. AT EACH SIDE OF OPENINGS. AT WALL CORNERS AND INTERSECTIONS AND AT FREE ENDS OF WALLS AND (2) #4 (#4 @ 4" WALLS) HORIZ. AT ELEVATED FLOOR AND ROOF LEVELS, AT TOPS OF WALLS AND ABOVE AND BELOW ALL OPENINGS. ALL HORIZONTAL REINFORCEMENT SHALL BE PLACED IN BOND BEAMS. EXTEND REINFORCEMENT AROUND OPENINGS 2'-0" BEYOND FACE OF OPENING. IF 2'-0" IS UNAVAILABLE EXTEND AS FAR AS POSSIBLE AND HOOK. PROVIDE CORNER BARS TO LAP HORIZONTAL REINFORCING AT CORNERS AND INTERSECTIONS. LAP ALL REINFORCING STEEL 48 BAR DIAMETERS OR 24" MINIMUM.

FILL ALL CELLS CONTAINING REINFORCEMENT OR EMBEDDED ITEMS AND ALL CELLS BELOW GRADE WITH GROUT. PROVIDE CLEANOUT HOLES AT BOTTOM OF ALL CELLS CONTAINING REINFORCEMENT FOR ALL GROUT POURS OVER 5 FEET IN HEIGHT. UNITS MAY BE LAID TO THE FULL HEIGHT OF THE GROUT POUR AND GROUT SHALL BE PLACED IN A CONTINUOUS POUR IN GROUT LIFTS NOT EXCEEDING 5 FEET. ALL PREPARATION AND PLACING OF MASONRY SHALL CONFORM TO SECTION 2104 OF THE INTERNATIONAL BUILDING CODE AND TMS 602-2016.

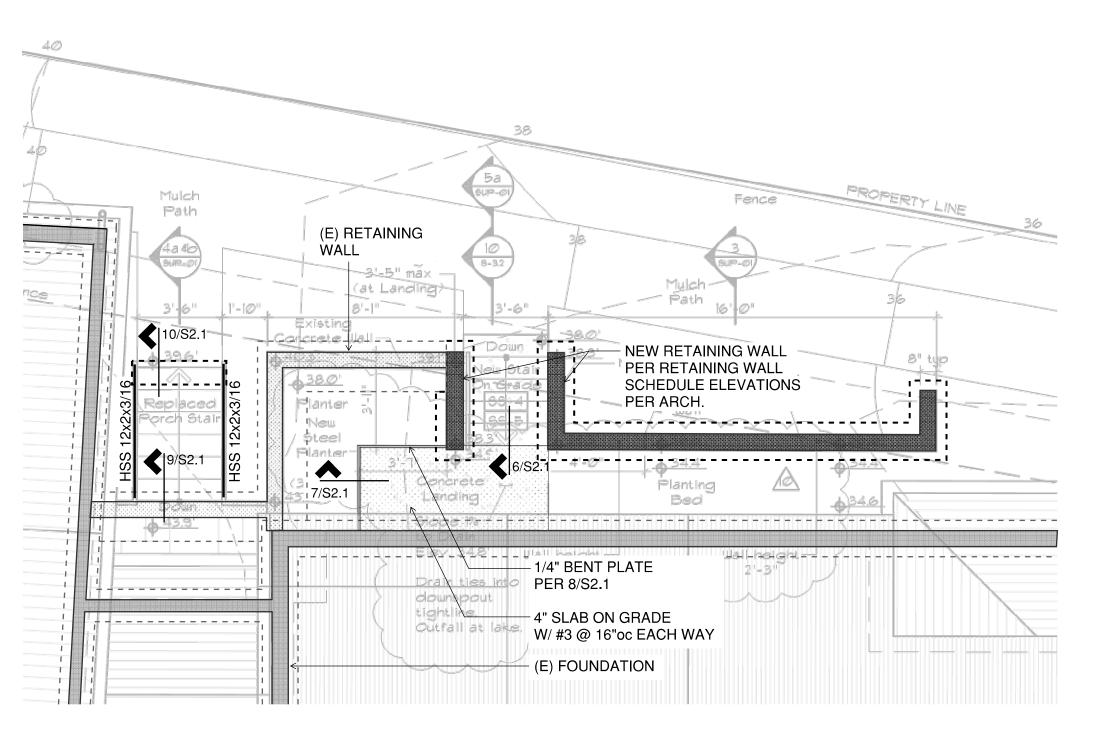
REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1). GRADE 60, FY = 60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, FY = 40,000 PSI.

32. ADHERED MASONRY VENEER, 2-5/8" MAXIMUM THICKNESS, SHALL BE ADHERED TO BACKING WALLS PER SECTION 1405.10 OF THE INTERNATIONAL BUILDING CODE. ADHERED MASONRY SHALL BE ABLE TO DEVELOP SHEAR STRENGTH OF 50 PSI MINIMUM BETWEEN THE BACKING AND THE UNIT IN ACCORDANCE WITH ASTM C 482 OR SHALL BE ADHERED PER ARTICLE 3.3C OF TMS 602-2016.

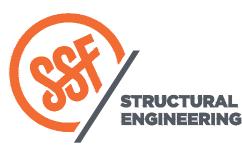


Retaining Wall Schedule

H (ft.)	B1	ts	B2	tf	Stem Reinforcing		Footing Reinforcing	
11 (11.)					Vert.	Horiz.	Тор	Longit.
3'-0"	5"	8"	5"	8"	#4 @ 18"oc	#4 @ 12"oc	_	(2)#4
4'-0"	5"	8"	1'-0"	8"	#4 @ 18"oc	#4 @ 12"oc	#4 @ 18"oc	(2)#4



PARTIAL SITE PLAN



p: 206.443.6212 934 Broadway - Tacoma, WA 98402 p: 253.284.9470

2124 Third Avenue - Suite 100 - Seattle, WA 98121

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DRAWN: DESIGN: CHECKED: KMR APPROVED:

LBH Residence

West Site Walls 7450 North Mercer Way Mercer Island, WA

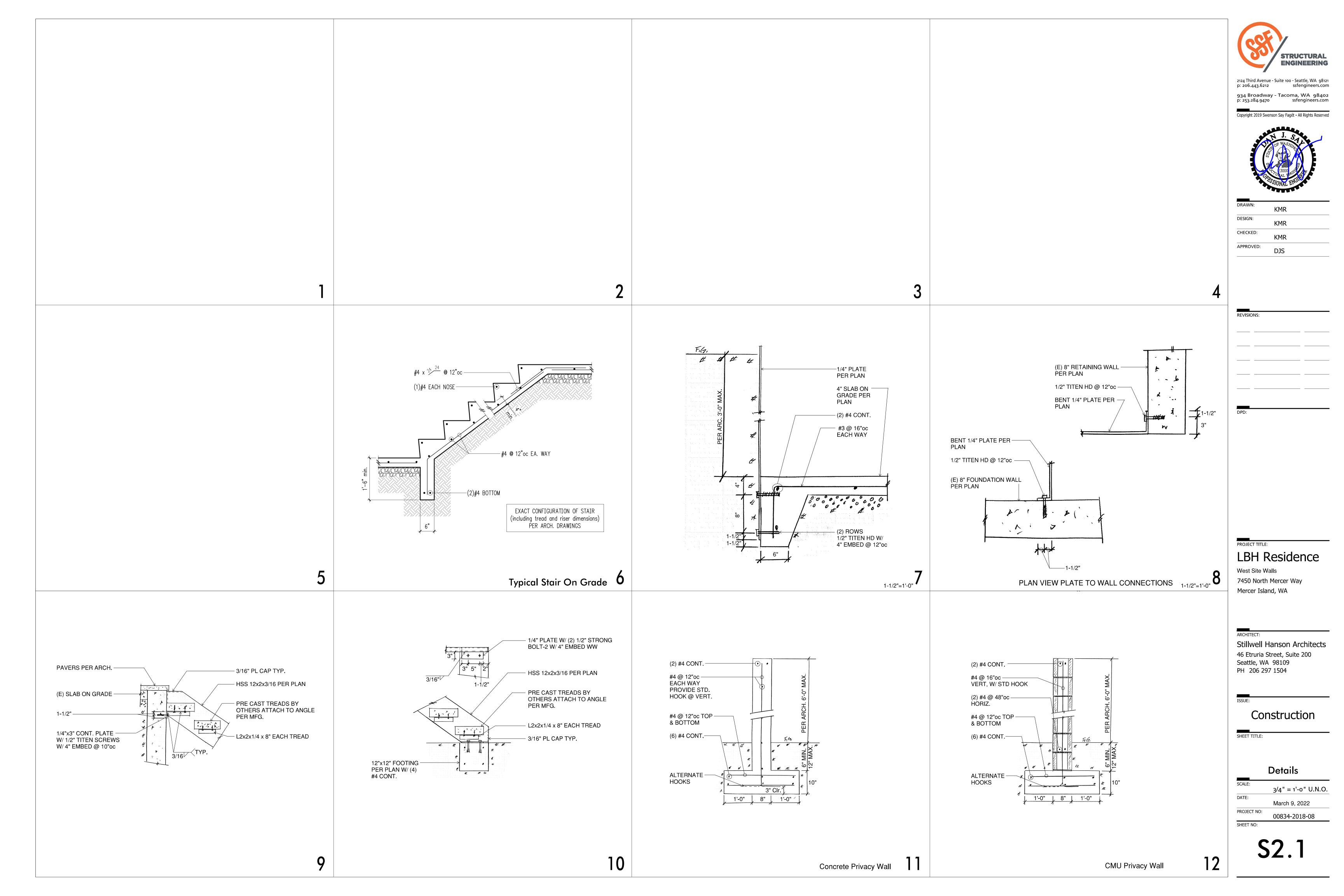
Stillwell Hanson Architects 46 Etruria Street, Suite 200 Seattle, WA 98109 PH 206 297 1504

Construction SHEET TITLE:

> General Structural Notes

As Noted DATE: March 9, 2022 PROJECT NO:

00834-2018-08 SHEET NO:



SE 1/4 OF SW 1/4 SEC. 1, TWN. 24N, RGE. 4E, W.M.

GENERAL NOTES

STANDARDS AND SPECIFICATIONS.

- 1. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- 2. SPECIAL INSPECTIONS BY CITY INSPECTOR MAY BE REQUIRED DURING CONSTRUCTION. GENERAL CONTRACTOR TO COORDINATE.
- 3. IF/WHEN APPLICABLE ALL ROADWAY WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH THE CURRENT APWA AND CITY OF MERCER ISLAND
- 4. A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- 5. ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY PRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTION SHALL BE 95 PERCENT..
- 6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY TRAFFIC CONTROL TO ENSURE TRAFFIC SAFETY DURING CONSTRUCTION ACTIVITIES. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
- 7. MEASURES SHALL BE TAKEN BY THE DEVELOPER TO PROVIDE GROUND COVER IN AREAS WITHIN THE RIGHT-OF-WAY WHICH HAVE BEEN STRIPPED OF NATURAL VEGETATION OR HAVE A POTENTIAL FOR EROSION.
- 8. ANY EXISTING PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PRIOR TO FINAL INSPECTION.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL PUBLIC STREETS FREE FROM MUD AND DEBRIS AT ALL TIMES.
- 10. ALL EXISTING ON-SITE STRUCTURES AND ASSOCIATED UTILITIES TO BE DEMOLISHED, REMOVED, AND/OR ABANDONED PER APPLICABLE JURISDICTIONAL REQUIREMENTS.
- 11. DEFICIENCIES, WHETHER CAUSED BY CONTRACTOR OPERATIONS OR NOT CAUSED BY THE CONTRACTOR'S OPERATIONS, SHALL BE REPAIRED IMMEDIATELY.
- 12. THE CONTRACTOR SHALL MAINTAIN ROADS AND STREETS ADJACENT TO THE PROJECT LIMITS WHEN AFFECTED BY THE CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL REMOVE OR REPAIR ANY CONDITION RESULTING FROM THE WORK THAT MIGHT IMPEDE TRAFFIC OR CREATE A HAZARD. PUBLIC ROADWAYS SHALL BE BROOMED CLEAN AT THE END OF EACH WORK DAY.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF THE WORK COVERED BY THE CONTRACT.
- 14. ROCKERIES AND/OR RETAINING WALLS TO BE CONSTRUCTED PER GEOTECHNICAL AND/OR STRUCTURAL ENGINEER'S PLANS & SPECIFICATIONS.

ARCHITECTURAL, STRUCTURAL & GEOTECHNICAL NOTES

- 1. SPECIAL INSPECTIONS FOR GEOTECHNICAL AND/OR STRUCTURAL ASPECTS OF OF THE PROJECT MAY BE REQUIRED DURING VARIOUS STAGES OF THE PROECT. CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION AND OBTAINING INSPECTIONS WHEN AND WHERE NECESSARY.
- 2. IF/WHEN APPLICABLE SEE ARCHITECTURAL PLANS FOR BUILDING SECTIONS AND ALL LOCATIONAL/DIMENSIONAL ASPECTS OF BUILDINGS.
- 3. COORDINATE ALL SITE CIVIL CONSTRUCTION WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL/PLUMBING AND LANDSCAPE PLANS AND IN ACCORDANCE WITH GEOTECHNICAL

GRADING NOTES:

PIPE PER PLAN

- 1. ALL CUT MATERIAL GENERATED DURING THE PROJECT THAT IS NOT ACCEPTABLE FOR USE AS COMPACTED FILL MATERIAL AT ANOTHER LOCATION ON-SITE MUST BE HAULED TO AN APPROVED LOCATION OFF-SITE.
- 2. THE ON-SITE TOPOGRAPHICAL MAPPING WAS PROVIDED BY TERRANE.

FINISH GRADE

WATERTIGHT PLUG-

RISER PIPE

LENGTH TO FIT

45° BEND

IF LINE DEAD ENDS,

INSTALL PLUG

CLEANOUT DETAIL

- 3. ALL TEMPORARY OR PERMANENT SLOPES SHALL NOT EXCEED 2H:1V UNLESS APPROVED BY A GEOTECHNICAL ENGINEER.
- 4. FILL MATERIAL PLACED UNDER BUILDING FOUNDATIONS OR PAVEMENT SHALL BE CRUSHED BASE ROCK OR COMPACTED STRUCTURAL FILL IN ACCORDANCE TO WSDOT STANDARD SPECIFICATIONS.
- 5. ROCKERY AND/OR RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT REQUIRES A

BUILDING STAKING NOTE:

CONTRACTOR TO USE ARCHITECTURAL PLANS FOR ACCURATE LOCATION & CONSTRUCTION STAKING OF ALL SITE IMPROVEMENTS.

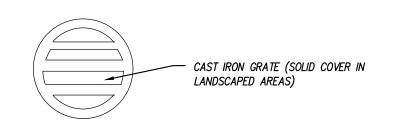
EXISTING UTILITY NOTE:

LOCATION OF EXISTING UTILITIES SHOWN, IF ANY, IS APPROXIMATE AND MAY NOT BE ACCURATE OR ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

ESTIMATED EARTHWORK NOTE:

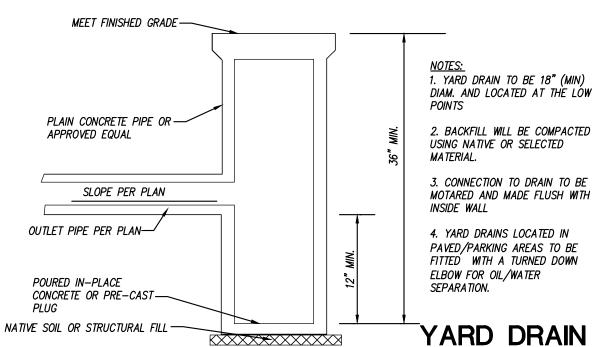
CUT: 225± CY FILL: O± CY

EXCESS CUT MATERIAL TO BE REMOVED FROM SITE TO AN APPROVED OFFSITE LOCATION (TBD).



N. T. S.

EXISTING BUILDING



SURVEY NOTE:

EXISTING SURVEY FEATURES, BOUNDARY AND TOPOGRAPHIC DATA SHOWN ON THESE DRAWINGS HAS BEEN PREPARED, BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, LITCHFIELD ENGINEERING CANNOT ENSURE THE ACCURACY AND THUS IS NOT RESPONSIBLE FOR THE ACCURACY OF DATA/INFORMATION PROVIDED BY OTHERS, OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.

BASIS OF BEARINGS:

HELD BEARING OF N 00°03'00" W ALONG N-S LINE OF SEC. 1, T.24N., R.4.E., W.M. AS SHOWN HEREON AND PER MERCER ISLAND LOT LINE REVISION NO. MI 96-1381 IN VOL. 116 OF SURVEYS,

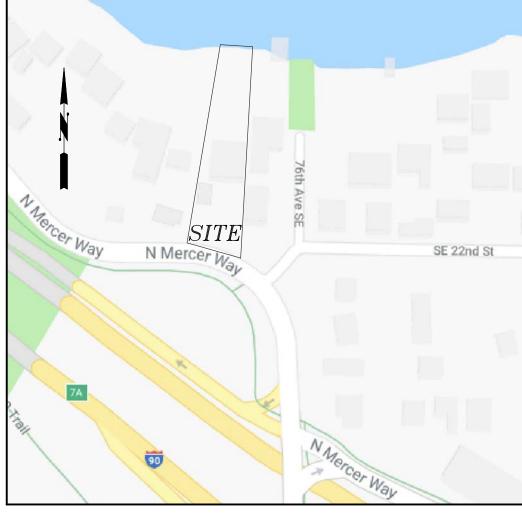
LEGAL DESCRIPTION:

LOT 9, BLOCK 2, MCGILVRA'S ISLAND ADDITION ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 58, IN KING COUNTY, WASHINGTON, THE EASTERLY BOUNDARY LINE OF WHICH IS ESTABLISHED BY JUDGMENT AND DECREE IN THE SUPERIOR COURT OF THE STATE OF WASHINGTON, CASE NUMBER 582636, DATED AUGUST 8, 1962, SAID BOUNDARY LINE BEING DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE, BLOCK 2, MCGILVRA'S ISLAND ADDITION, SAID POINT BEING WEST A DISTANCE OF 104.13 FEET FROM THE SOUTHEAST CORNER OF SAID BLOCK, THENCE NORTH 10°57'20" EAST 91.90 FEET. THENCE NORTH 3°09'00" EAST 9.30 FEET. THENCE NORTH 4'36'00" EAST 65.20 FEET, THENCE NORTH 9'06'00" EAST 38.00 FEET; THENCE NORTH 5'10'30" EAST 60.87 FEET, THENCE NORTH 7"45"36" EAST 118 FEET, MORE OR LESS, TO THE SHORE LINE OF LAKE WASHINGTON,

TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.



VICINITY MAP NOT TO SCALE

7450 NORTH MERCER WAY

PROJECT DATA

PROPERTY ADDRESS:

LEGENDFOUND PIPE SET PK NAIL FOUND NAIL

SET HUB

GAS VALVE

CATCH BASIN

POWER METER

AREA LIGHT

-O- POWER POLE

SOIL LOG/TEST PIT

WATER METER

WETLAND FLAG

SANITARY SEWER MANHOLE

MERCER ISLAND, WASHINGTON 98040 531510-0125 SITE AREA: 30.941 SF (0.71 ACRES R-15 = RESIDENTIAL 1

OWNER/ SEAN & LORI KELL DEVELÓPER 14033 SE 92ND STREET NEWCASTLE, WA 98059 CONTACT: SEAN KELL

ARCHITECT: STILLWELL HANSON ARCHITECTS

46 ETRURIA STREET, SUITE 200 SEATTLE, WASHINGTON 98109 CONTACT: CRAIG STILLWELL PHONE: (206) 297-1504

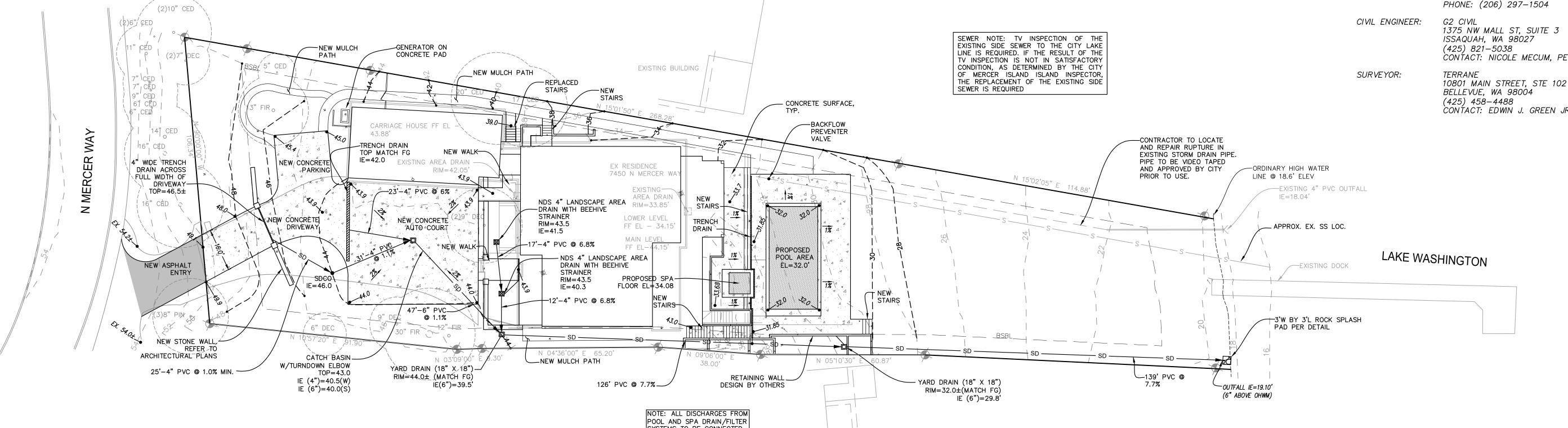
PHONE: (206) 954-3004

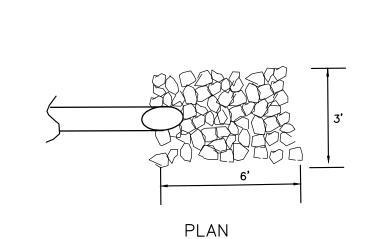
1375 NW MALL ST, SUITE 3 ISSAQUAH, WA 98027 (425) 821-5038

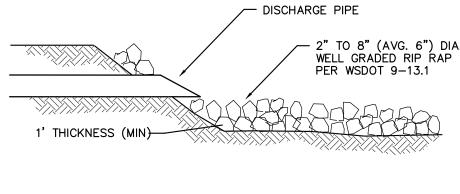
10801 MAIN STREET, STE 102

(425) 458-4488 CONTACT: EDWIN J. GREEN JR.

BELLEVUE, WA 98004

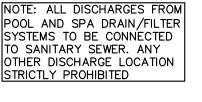




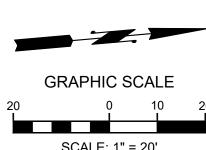


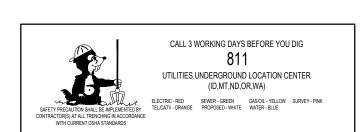
SECTION



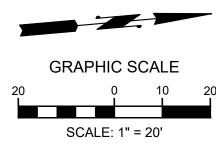








APPROVAL	DATE
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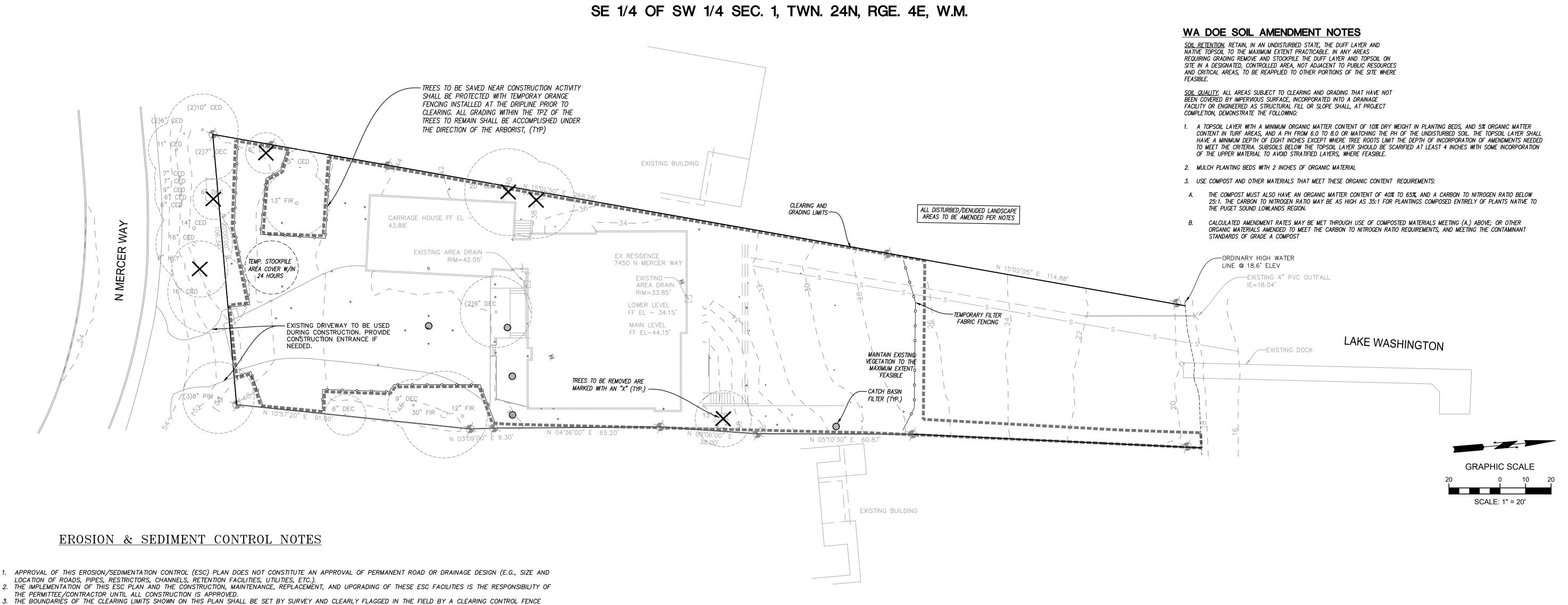


DRAINAGE OUTFALL ROCK PAD

JOB No.

S | 꿈 | 꿈 | 꿈 | 꿈

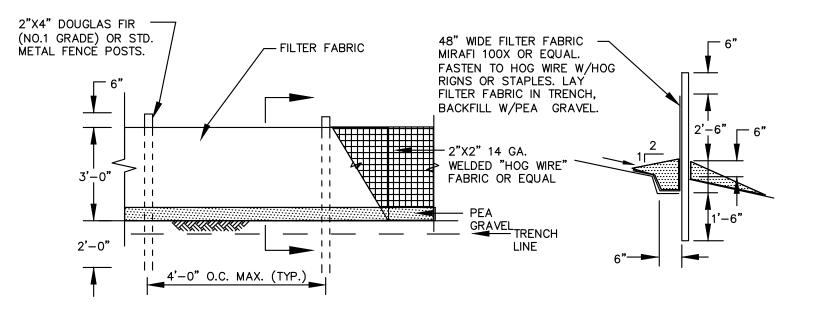
SHEET 1 of 2

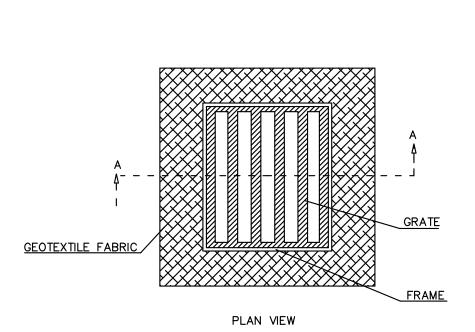


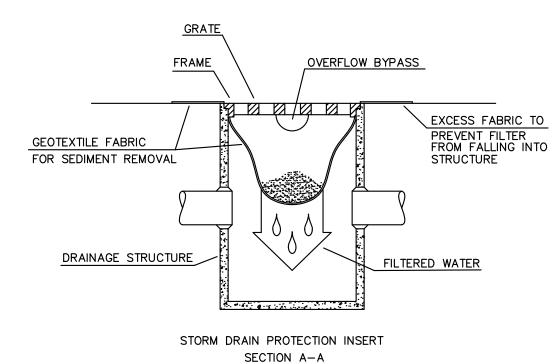
- 3. THE BOUNDARIÉS OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL
- BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION. 4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
- 5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
- 6. THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON—RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS
- 7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT. 8. ALL DENUDED SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING
- * APRIL 1 TO OCTOBER 31 SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING. * NOVEMBER 1 TO MARCH 31 — SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING.
- 9. AT NO TIME SHALL MORE THAN 1' OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT—LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- 10. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- 11. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.
- 12. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
- 13. WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2". 14. ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.
- 15. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS. 16. THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS,
- SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY OF MERCER ISLAND INSPECTOR.
- 17. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. 18. ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 4' HIGH TEMPORARY CONSTRUCTION FENCE (CYCLONE OR PLASTIC MESH) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR
- CLEARING AND REMAIN IN PLACE UNTIL A DWELLING IS CONSTRUCTED AND OWNERSHIP TRANSFERRED TO THE FIRST OWNER/OCCUPANT. 19. CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6-FT. HIGH CHAIN LINK FENCE

ADJACENT THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM

- BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS. 20. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH
- POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.
- 21. ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A "FILTER FABRIC SOCK" OR EQUIVALENT.
- 22. THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF KIRKLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER
- 23. ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40%-70% PASSING; 2"-4" ROCK/30%-40% PASSING; AND 1"-2" ROCK/10%-20% PASSING. 24. IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY
- 25. ALL PROPERTIÉS ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FRÓM SEDIMENT DEPOSITION AND RUNOFF.
- 26. DO NOT FLUSH CONCRETE BY—PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE—CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE—LAYING THE STORM LINE.
- 27. PRIOR TO OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE
- SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES. 28. IF A SEDIMENT POND IS NOT PROPOSED, A BAKER TANK OR OTHER TEMPORARY GROUND AND/OR SURFACE WATER STORAGE TANK MAY BE REQUIRED DURING
- CONSTRUCTION, DEPENDING ON WEATHER CONDITIONS. 29. ANY AREA TO BE USED FOR INFILTRATION OR PERVIOUS PAVEMENT (INCLUDING A 5-FOOT BUFFER) MUST BE SURROUNDED BY SILT FENCE PRIOR TO CONSTRUCTION AND UNTIL FINAL STABILIZATION OF THE SITE TO PREVENT SOIL COMPACTION AND SILTATION BY CONSTRUCTION ACTIVITIES.







FILTER FABRIC FENCING

CONSTRUCTION SEQUENCE SCHEDULE

- A. CONDUCT PRE-CONSTRUCTION MEETING.
- B. FLAG OR FENCE CLEARING LIMITS. C. POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.
- D. INSTALL CATCH BASIN PROTECTION IF REQUIRED. E. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
- F. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, G. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES,
- PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND
- GRADING FOR PROJECT DÉVELOPMENT. H. MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY
- OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE
- CITY TESC MINIMUM REQUIREMENTS. J. COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH
- STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT. K. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS. L. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN
- M. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF

SWPPP NOTE - MANAGEMENT OF THE PROJECT

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO MANAGE THIS PROJECT AND COORDINATE WITH THE COUNTY INSPECTOR AND ENGINEER.

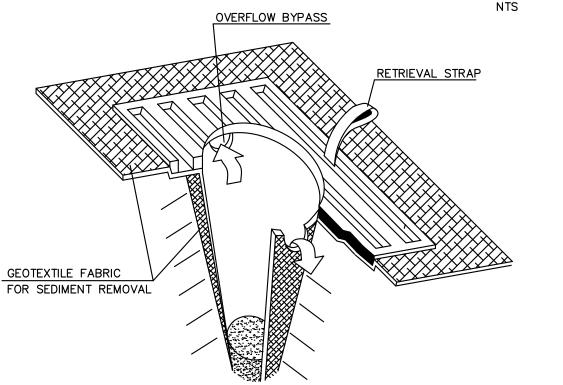
INSPECTION AND MONITORING: SITE INSPECTIONS SHALL BE DONE BY A PERSON WHO IS KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL. THE PERSON MUST HAVE SKILLS TO FIRST ASSESS THE SITE CONDITIONS AND CONSTRUCTION ACTIVITIES THAT COULD IMPACT THE QUALITY OF STORMWATER, AND SECOND ASSESS THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES USED TO CONTROL THE QUALITY OF STORMWATER DISCHARGES.

WHENEVER INSPECTION AND/OR MONITORING REVEALS THAT THE BMPS IDENTIFIED IN THE CONSTRUCTION SWPPP ARE INADEQUATE, APPROPRIATE BMPS OR DESIGN CHANGES SHALL BE IMPLEMENTED AS SOON AS POSSIBLE.

MAINTAINING AN UPDATED CONSTRUCTION SWPPP: THE CONSTRUCTION SWPPP SHALL BE RETAINED ON-SITE WHENEVER CONSTRUCTION IS UNDERWAY. ALTHOUGH NOT ANTICIPATED, THE SWPPP SHALL BE MODIFIED WHENEVER THERE IS A CHANGE IN THE DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE AT THE CONSTRUCTION SITE THAT HAS, OR

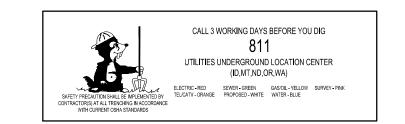
COULD HAVE, A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO WATERS OF THE STATE.

THE SWPPP SHALL BE MODIFIED IF, DURING INSPECTIONS OR INVESTIGATIONS CONDUCTED BY THE OWNER/OPERATOR, OR THE APPLICABLE LOCAL OR STATE REGULATORY AUTHORITY, IT IS DETERMINED THAT THE SWPPP IS INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS IN STORMWATER DISCHARGES FROM THE SITE. THE SWPPP SHALL BE MODIFIED AS NECESSARY TO INCLUDE ADDITIONAL OR MODIFIED BMPS DESIGNED TO CORRECT PROBLEMS IDENTIFIED. REVISIONS TO THE SWPPP SHALL BE COMPLETED WITHIN SEVEN DAYS FOLLOWING INSPECTION.



STORM DRAIN PROTECTION INSERT DETAIL

NOT TO SCALE



CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP



NOTES	SUBMITTED TO CLIENT	REVISED PER CITY COMMENTS	10-28-19 REVISED PER ARCHITECT	REVISED PER ARCHITECT	REVISED PER ARCHITECT	
DATE	3-14-19	7-10-19	10-28-19	6-23-21	1-19-22	
СНКБ ВҮ	KAL	KAL	KAL	KAL	NEM	
DWN BY	KAL	KAL	KAL	KAL	ALT	