

**GENERAL NOTES**

- CODE COMPLIANCE**  
ALL WORK SHALL COMPLY WITH THE 2015 IBC, 2015 IMC, 2015 IFGC, 2015 IFC, 2015 UPC, 2015 IPCM, 2008 NEC, 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH WASHINGTON STATE AMENDMENTS, 2009 ICC A117.1, AND WITH ALL LOCAL CODES AND ORDINANCES.
- DIMENSIONS**  
DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.  
UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE WALLS. FACE OF STONE VENEER LIES 6" +/- OUTSIDE THE FACE OF FRAMING. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.  
VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND APPLIANCES PRIOR TO COMMITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL TOLERANCES REQUIRED.
- DOCUMENT REVIEW/VERIFICATION**  
CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK.
- ROUGH OPENINGS/BACKING**  
VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS.  
FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BACKS/BACKING FOR SURFACE-MOUNTED ITEMS.
- FURRING**  
PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS.  
FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
- GRADES**  
VERIFY ALL GRADES AND THEIR RELATIONSHIP TO THE BUILDINGS.  
FLOOR LINES: "FLOOR LINE" REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.  
REPETITIVE FEATURES: OFTEN DRAWN ONLY ONCE AND SHALL BE PROVIDED AS IF FULLY DRAWN.  
DOORS:  
DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTERED BETWEEN WALLS AS SHOWN.
- WOOD MEMBERS IN CONTACT WITH CONCRETE, AND/OR EXPOSED TO WEATHER:**  
TO BE PRESSURE TREATED, TYPICAL. PROVIDE PRESSURE TREATED SILL PLATE IF FINISH GRADE IS WITHIN 8" TYPICAL.
- FRAMING**  
ALL NEW INTERIOR FRAME PARTITIONS TO BE 2X4 @ 16" O.C. & ALL NEW EXTERIOR FRAME PARTITIONS TO BE 2X6 @ 16" O.C., UNLESS OTHERWISE NOTED. VERIFY W/ STRUCTURAL DRAWINGS. EXISTING EXTERIOR WALLS ARE 2X4 STUDS @ 16" O.C. AND ARE TO REMAIN.
- VENTILATION**  
VENT ALL BATHROOM FANS, LAUNDRY FANS, RANGE HOODS AND DRYERS TO OUTSIDE ATMOSPHERE.  
BATHROOM UTILITY ROOM FANS SHALL BE CAPABLE OF 5 AIR CHANGES PER HOUR AND SHALL BE VENTED DIRECTLY TO THE OUTSIDE THROUGH SMOOTH, RIGID, NON-CORROSIVE METAL, 24 GA. DUCTWORK. FLEX DUCTING IS NOT ALLOWED.  
FLUES: FLUES TO BE LOCATED MINIMUM 2" FROM ALL COMBUSTIBLE MATERIALS.  
DOWNSPOUTS: LOCATE NEW DOWNSPOUTS AS SHOWN ON ROOF PLAN, FLOOR PLANS & ELEVATIONS.  
OTHER DOCUMENTATION: REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, AND/OR LANDSCAPE DRAWINGS FOR ADDITIONAL DRAWINGS, NOTES, SCHEDULES, AND SYMBOLS.
- PROTECTION**  
PROTECT ALL EXISTING FINISHES AND SURFACES. ANY DAMAGE WILL BE REPAIRED WITHOUT ADDITIONAL COST TO OWNER.
- PERMITS**  
SEPARATE ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS ARE REQUIRED IN ADDITION TO THE BASIC BUILDING PERMIT.
- ROOFING**  
PROVIDE NEW ROOFING TO MATCH EXISTING.
- EXHAUST DUCTS**  
PROVIDE BACKDRAFT DAMPERS AT ALL EXHAUST DUCTS. PROVIDE COMBUSTION AIR OPENINGS INTO FURNACE ROOM PER UMC 703.
- APPLIANCES**  
CLEARANCES OF UL LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN UL LISTING.
- WATER FLOW**  
SHOWER SHALL BE EQUIPPED WITH FLOW CONTROL DEVICE TO LIMIT WATER FLOW TO 2.5 GALLONS PER MINUTE.
- SMOKE & CARBON MONOXIDE**  
THROUGHOUT NEW CONSTRUCTION, TO BE MONITORED PER FIRE DEPARTMENT REQUIREMENTS.
- FIREBLOCKING**  
FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION PER 2015 IRC SECTION R302.11, SPECIFICALLY: 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, 2) AT INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES, 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT T.O. & B.O. RUN, 4) AT OPENINGS AROUND VENTS, PIPES, ETC. AT CEILING AND FLOOR LEVEL.

**SHEET INDEX**

- A1.0 COVER SHEET - GENERAL & ENERGY NOTES, LEGAL, PROJECT DATA, CUT-FILL CALC, INDEX, SITE PLAN
- SURVEY
- C1.0 EROSION & CONSTRUCTION STORMWATER CONTROL NOTES AND DETAILS
- A2.0 LOWER FLOOR PLAN
- A2.1 MAIN FLOOR PLAN
- A2.2 UPPER FLOOR
- A2.3 ROOF PLAN
- A3.0 EXTERIOR ELEVATIONS
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A4.0 BUILDING SECTIONS
- A4.1 BUILDING SECTIONS
- A4.2 BUILDING SECTIONS
- A5.0 WALL SECTIONS
- A6.0 EXTERIOR DETAILS
- S1.1 GENERAL STRUCTURAL NOTES
- S2.1 MAIN FLOOR FRAMING/ FOUNDATION PLAN
- S2.2 UPPER FLOOR FRAMING PLAN
- S2.3 ROOF FRAMING PLAN
- S3.1 STRUCTURAL DETAILS
- S3.2 STRUCTURAL DETAILS
- S4.1 STRUCTURAL DETAILS
- S4.2 STRUCTURAL DETAILS
- AB-1 AS-BUILT LOWER FLOOR PLAN
- AB-2 AS-BUILT MAIN FLOOR PLAN

**ENERGY NOTES**

- CODE: 2015 W.S.E.C. & 2015 I.R.C. WAC 51-11R CLIMATIC ZONE: ZONE #4-MARINE
- SPACE HEAT TYPE: NATURAL GAS, FORCED AIR SYSTEM THERMAL STANDARDS: UNLIMITED OPTION FOR OPENINGS.
- INSULATION VALUES:  
WALLS: R-21  
FLAT ATTICS/CEILING: R-49  
VAULTED CEILING: R-38  
FLOORS (OVER UNHEATED SPACES): R-30  
SLAB-ON-GRADE: R-10
- PRESCRIPTIVE METHOD:  
R-49  
R-38  
R-30  
R-10
- AIR INFILTRATION: MANUFACTURED DOORS/WINDOWS: CONFORM TO SECTION R402.4.3 OF THE WASHINGTON STATE ENERGY CODE
- EXTERIOR JOINTS/OPENINGS: SEAL, CALK, GASKET OR WEATHERSTRIP TO LIMIT AIR LEAKAGE AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, OPENINGS AT PENETRATIONS OF UTILITY SERVICES AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE
- MOISTURE CONTROL:  
WALLS: VAPOR RETARDER BONDED TO BATT INSULATION; INSTALL WITH STAPLES NOT MORE THAN 8 INCHES ON CENTER AND WITH A GAP BETWEEN AND OVER FRAMING NOT GREATER THAN 1/16 OF AN INCH, OR, VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE)
- ATTICS/CEILING: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE); INSTALL CONTINUOUSLY
- CRAWL SPACE: 6 MIL POLYETHYLENE
- VENTILATION:  
ATTICS WITH LOOSE FILL: N.A. BAFFLE VENT OPENINGS TO DEFLECT AIR ABOVE INSULATION SURFACE ENCLOSED JOIST OR RAFTER SPACES; PROVIDE MINIMUM OF ONE INCH CLEAR VENTED AIR SPACE ABOVE INSULATION. TAPER OR COMPRESS INSULATION AT PERIMETER TO INSURE PROPER VENTILATION, MAINTAINING MINIMUM OF R-30.
- HEATING & COOLING: AIR SOURCE HEAT PUMP W/ MIN HSPF OF 9.0
- TEMP. CONTROL:  
FOR HEATING AND COOLING, THERMOSTAT SHALL BE CAPABLE OF BEING SET FROM 55-85 DEGREES FARENHEIT AND OF OPERATING THE HEATING/COOLING SYSTEM IN SEQUENCE, THERMOSTAT TO BE AUTOMATIC DAY/NIGHT SETBACK TYPE.
- DUCT INSULATION:  
THERMALLY INSULATE ALL PLENUMS, DUCTS AND ENCLOSURES IN ACCORDANCE WITH SECTION R403.3.1 OF THE WASHINGTON STATE ENERGY CODE.
- a. ALL HEATING DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH A MIN. OF R-8. ALL SEAM JOINTS SHALL BE TAPED, SEALED AND FASTENED WITH THE MINIMUM OF FASTENERS PER WISEC.
- b. DUCTS WITHIN A CONCRETE SLAB OR IN THE GROUND SHALL BE INSULATED TO R-10, WITH INSULATION DESIGNED TO BE USED BELOW GRADE.
- LIGHTING:  
RECESSED LIGHTING FIXTURES INSTALLED IN BUILDING ENVELOPE SHALL COMPLY WITH WSEC PROVISIONS AND SHALL BE IC LISTED.
- PIPE INSULATION:  
ALL HOT WATER PIPES, AND NON-RECIRCULATING COLD WATER PIPES LOCATED IN UNCONDITIONED SPACE, SHALL BE INSULATED TO R-3 MIN. PLUMBING OR MECHANICAL CANNOT DISPLACE THE REQUIRED INSULATION.
- WHOLE HOUSE VENTILATION SYSTEM:  
a. WHOLE HOUSE VENTILATION SHALL BE PROVIDED BY EXHAUST FAN PROVIDING 320 CFM RUNNING INTERMITTENTLY PER 2015 IRC TABLE M1507.3.3 (182). FAN SHALL BE LESS THAN 35 WATT PER CFM AND CONNECTED TO A 24 HOUR CLOCK TIMER AND HAVE A SONE RATING OF LESS THAN 1.0. VENTILATION SHALL BE ABLE TO OPERATE INDEPENDENTLY OF HEATING SYSTEM.  
b. SYSTEM SHALL HAVE A 5" SMOOTH FRESH AIR DUCT W/ LOUVER & SCREEN CONNECTED TO THE RETURN AIR STREAM 4' UPSTREAM OF THE AIR HANDLER AND INSULATED W/ R-4 MIN IN HEATED AREAS.  
c. SHALL HAVE A FILTER WITH A MERV OF AT LEAST 6 INSTALLED IN AN EASILY ACCESSIBLE LOCATION.  
d. FRESH AIR VENT SHALL BE LOCATED AWAY FROM SOURCES OF ODORS OR FUMES, MIN 10' FROM PLUMBING OR APPLIANCE VENTS, AWAY FROM ROOMS W/ FUEL BURNING APPLIANCES, AND OUT OF ATTICS, CRAWL SPACES, AND GARAGES.  
e. AIRFLOW FOR WHOLE HOUSE EXHAUST FAN SHALL BE PROVIDED BY UNDERCUTTING INTERIOR DOORS 1/2" ABOVE FINISHED FLOOR, TYP.
- PLUMBING FIXTURES: ALL PLUMBING FIXTURES SHALL CONFORM TO RCW 19.27.170  
ALL TOILETS 1.6 GPM MAX URINALS 1.0 GPM MAX  
SHOWERHEADS <1.75 GPM FAUCETS <1.75 GPM  
LAVATORIES < 1.0 GPM

**PROJECT DATA**

PROJECT ADDRESS: 4307 E MERCER WAY  
MERCER ISLAND 98040

PROPERTY TAX ID NUMBER: 546110-0090

SCOPE OF WORK: ADDITION OF SECOND FLOOR ABOVE NEW LIVING ROOM (FORMER GARAGE), ADDITION OF NEW GARAGE AND LAUNDRY ROOM. ADDITION OF NEW ENTRY W/ MINOR INTERIOR WALL RECONFIGURATIONS. INSTALLATION OF NEW STAIRS TO UPPER FLOOR. REPLACEMENT OF SOME EXISTING WINDOWS

ZONING: R-15

CONSTRUCTION TYPE: TYPE V B

SEISMIC ZONE: 3

NUMBER OF STORIES: 1 STORY + DAYLIGHT BASEMENT

FIRE PROTECTION: NONE

BUILDING HEIGHT: MAX. 30 FT ABOVE AVERAGE BUILDING ELEV.

GROSS FLOOR AREA: 12,000 SF OR 40 % LOT AREA, WHICHEVER IS LESS

FLOOR AREA: 11,214 SF

SETBACKS:  
FRONT LOT LINE = 20 FT  
REAR LOT LINE = 25 FT  
SIDE LOT LINES = LOTS 300' WIDTH; SUM OF 17% LOT WIDTH; BOTH > 25 FT

**PROJECT TEAM**

OWNER: ANDRE MARSHALL  
4307 E. MERCER WAY  
MERCER ISLAND, WA 98040  
PHONE: 425.451.7003  
CONTACT: BRAD STURMAN

CONTRACTOR: BETTER BUILDERS  
4800 CALIFORNIA AVE SW  
SEATTLE, WA 98116  
PHONE: 206.588.2075  
CONTACT: ANDREMARSHALLR@GMAIL.COM

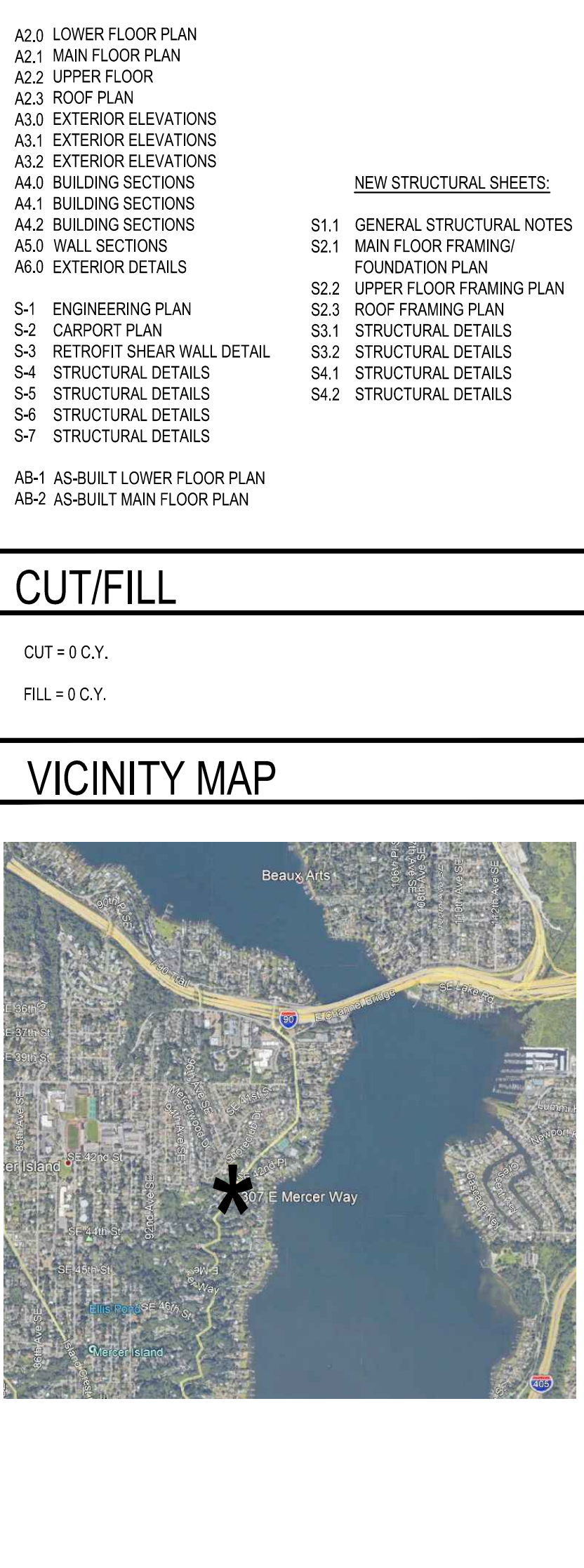
ARCHITECT: STURMAN ARCHITECTS, INC.  
9-103RD AVE NE SUITE 203  
BELLEVUE, WA 98004  
PHONE: 425.451.7003  
CONTACT: BRAD STURMAN

STRUCTURAL: SWENSON S&Y FAGET STRUCTURAL ENGINEERING  
2124 3RD AVE, STE. 100  
SEATTLE, WA 98121  
PHONE: 206.443.6212  
CONTACT: BLAZE BRESKO

**CUT/FILL**

CUT = 0 C.Y.  
FILL = 0 C.Y.

**VICINITY MAP**



**LEGAL DESCRIPTION**

LOT 9, MERCERWOOD PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 70 OF PLATS, PAGE 63 IN KING COUNTY, WASHINGTON;  
EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:  
BEGINNING AT THE MOST WESTERLY CORNER OF SAID LOT 9; THENCE SOUTH 45°59'55" EAST ALONG THE LINE BETWEEN LOTS 8 AND 9 OF SAID SHORTPLAT, A DISTANCE OF 8.00 FEET; THENCE NORTH 07°01'36" EAST 9.62 FEET; THENCE ALONG THE MARGIN OF SOUTHEAST 43RD ST ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 313.92 FEET, THE CENTER OF WHICH BEARS SOUTH 28°12'23" EAST AN ARC DISTANCE OF 8.00 FEET TO THE POINT OF BEGINNING.  
SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**BUILDING AREA**

	LOWER FLOOR	MAIN FLOOR	UPPER FLOOR	HEATED SUB-TOTAL	(E) ATTACHED GARAGE	(N) ATTACHED GARAGE	GRAND TOTAL	UNHEATED DECKS
EXISTING HOUSE:	789.5 SF	1454.3 SF	0 SF	2243.8 SF	497.7 SF	0 SF	2741.5 SF	780.7 SF
PROPOSED CHANGES:	+4.0 SF	+679.4 SF	+720.6 SF	+1400 SF	-497.7 SF	+526.5 SF	+1428.8 SF	+122.3 SF
PROPOSED HOUSE:	789.5 SF	2133.7 SF	720.6 SF	3643.8 SF	0 SF	526.5 SF	4170.3 SF	903 SF

**GROSS FLOOR AREA**

MAX GFA FOR R-15 IS EITHER 12,000 SQUARE FEET OR 40% OF THE LOT AREA, WHICHEVER IS LESS

40% OF 11,214 SF = 4,485.6 SF, SO THIS IS THE MAX ALLOWABLE GFA.

4170.3 SF OF GROSS FLOOR AREA IS LESS THAN MAXIMUM 4,485.6 SF

**LOT COVERAGE (IMPERVIOUS AREA)**

	GROSS LOT S.F.	MAIN ROOF STRUCT	DRIVES/ PARKING	TOTAL LOT COVERAGE	% LOT COVERAGE
EXISTING IMPERVIOUS AREA	11,214 SF	2440 SF	2240 SF	4680 SF	41.7%
PROPOSED IMPERVIOUS AREA		3527.7 SF	354.8 SF	3882.5 SF	34.6%
NET GAIN/LOSS IMPERVIOUS AREA		+1087.7 SF	-1885.2 SF	-797.5 SF	-7.1%
% ALLOWED IMPERVIOUS AREA				3925 SF ALLOWABLE	35%

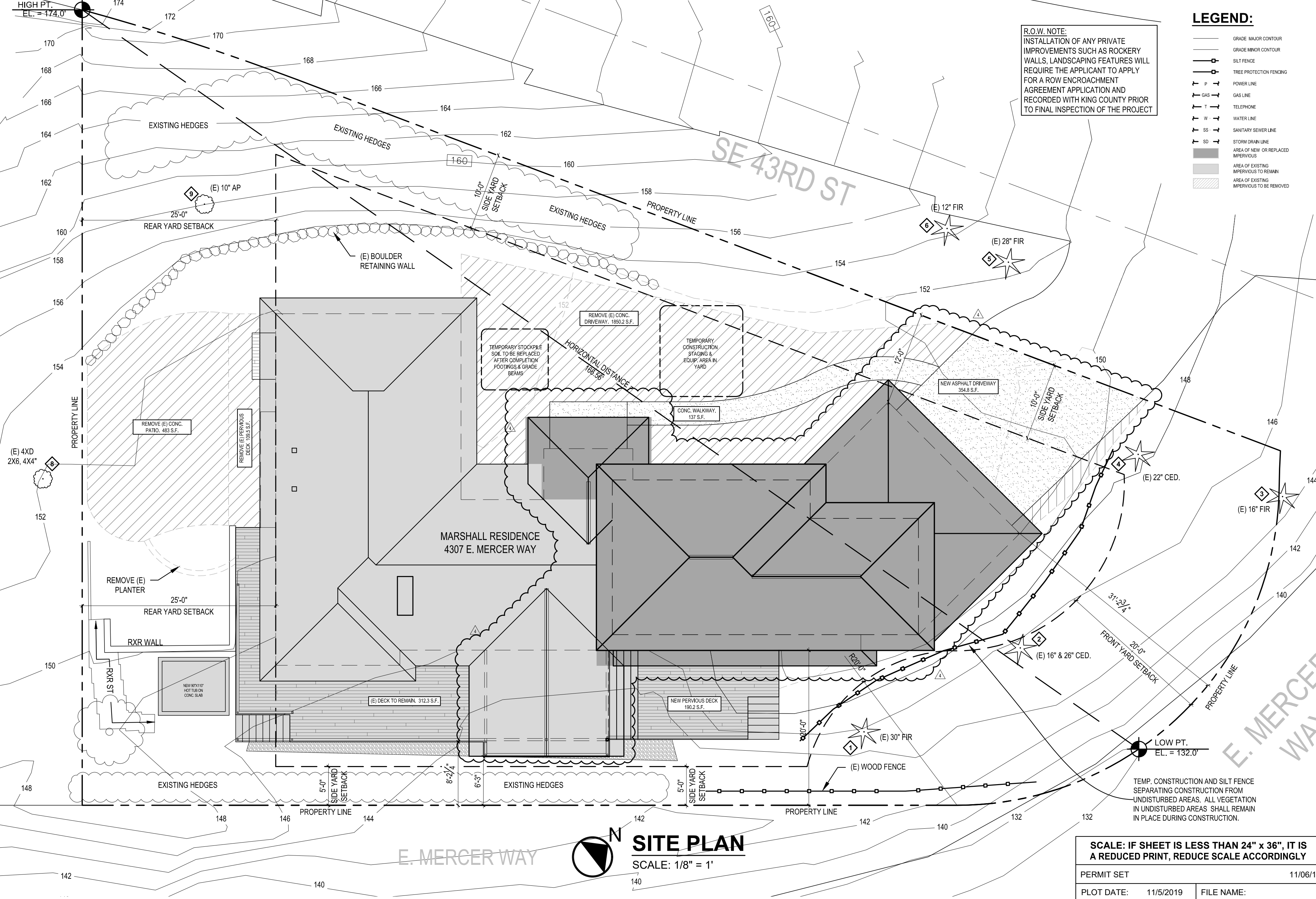
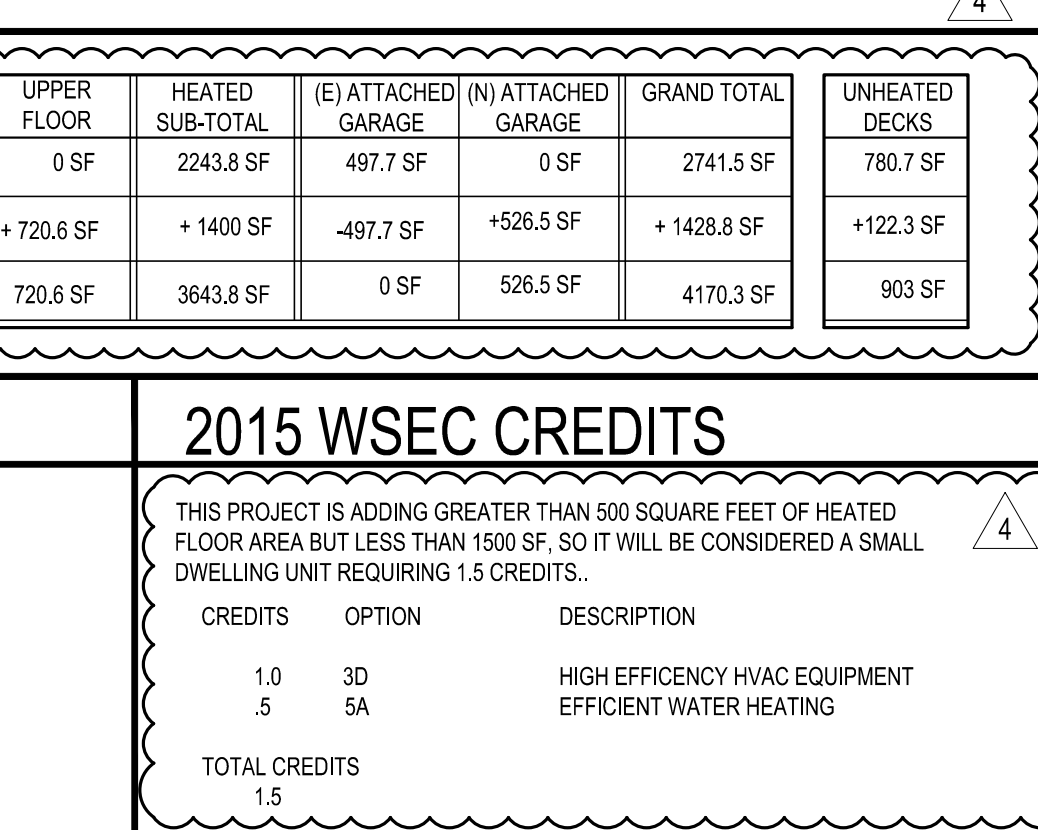
	GRAVEL	SITE STEPS	DECK	PATIO	FRONT WALK	HOT TUB	TOTAL HARDCAPE	% HARDCAPE
EXISTING	105.8 SF	59.5 SF	618 SF	483 SF	0 SF	0 SF	1266.3 SF	11.3%
PROPOSED	60.9 SF	0 SF	508.5 SF	0 SF	137 SF	68.8 SF	775.2 SF	6.9%
NET GAIN/LOSS	-44.9 SF	-59.5 SF	-109.5 SF	-483 SF	+137 SF	+68.8 SF	-491.1 SF	-4.4%
% ALLOWED							1009.26 SF ALLOWABLE	9%

**AVERAGE BUILDING ELEVATION**

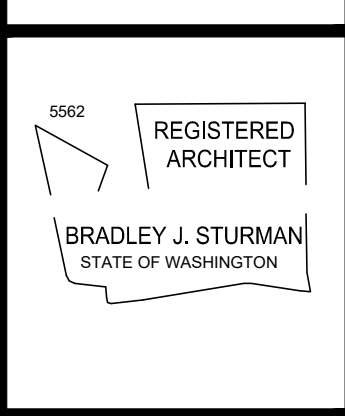
	Wall Length	Elevation Pt.	Wall Length X Elev. Pt.
A	24	152.0	3648
B	24	152.0	3648
C	10.4	151.5	1575.6
D	6.58	151.5	996.87
E	12.15	151.5	1840.725
F	4	151.5	606
G	27.625	151.0	4171.375
H	14.21	151.0	2145.71
I	24	150.5	3612
J	18.46	150.0	2769
K	7.46	150.0	1119
L	2	150.0	300
M	32.625	149.0	4861.125
N	11.71	144.0	1686.24
O	16	143.0	2288
P	11.71	144.5	1692.095
Q	27	146.5	3955.5
R	15.83	149.0	2358.67
S	2	150.5	301
T	14.94	151.0	2255.94
U	2	151.0	302
V	12.67	151.0	1913.17
<b>TOTAL</b>	<b>321.37</b>	<b>3292.0</b>	<b>48046.02</b>

Average Building Elevation: 149.50

**ABE KEY PLAN** NO SCALE



TEL (425) 451-7003  
9 103rd Avenue NE  
Suite 203  
Bellevue, WA 98004



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**MARSHALL RESIDENCE PERMIT SET**  
4307 EAST MERCER WAY  
MERCER ISLAND, WA 98040

**PHASE 2 GENERAL NOTES**  
**SITE PLAN**

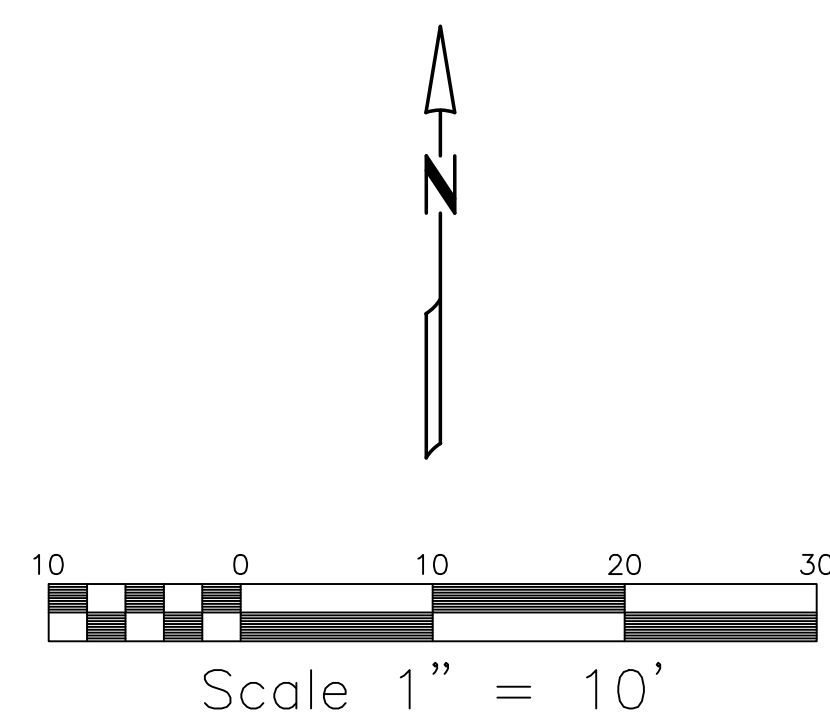
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	2019-04-26 DESIGN REVISIONS	
	2019-03-09 PERMIT CORRECTIONS	
	2019-01-16 DESIGN REVISIONS	
DRAWN BY:	KE	
CHECKED BY:	BJS	
SHEET	<b>A1.0</b>	

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

PERMIT SET 11/06/19

PLOT DATE: 11/5/2019 FILE NAME:





**MERIDIAN**

ASSUMED

**DATUM**

NAVD 88

**CONTOUR INTERVAL = 2'**

**EQUIPMENT & PROCEDURES**

FIELD SURVEY CONDUCTED USING A COMBINATION OF GPS USING A REFERENCE NETWORK AND A 5" ELECTRONIC TOTAL STATION WAS USED FOR THIS FIELD TRAVERSE SURVEY. SURVEY PROCEDURES MEET OR EXCEED STATE STANDARDS AS SPECIFIED BY W.A.C. 332-130 WITH REGARD TO LINEAR AND ANGULAR CLOSURES. ALL MEASURING INSTRUMENTS FOR THIS SURVEY HAVE BEEN MAINTAINED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND HAVE BEEN COMPARED WITH A NATIONAL GEODETIC SURVEY CALIBRATED BASELINE WITHIN THE LAST 12 MONTHS.

**BENCHMARKS**

ORIGINAL BM: CONC. MON WITH LEAD + TACK, WGS DESIGNATION 2217, LOCATION SHOWN ON DRAWING. ELEV. = 184.73

TBM - A: SET MAG NAIL. ELEV. = 150.92

TBM - B: SET HUB + MAG NAIL. ELEV. = 149.04

**GENERAL NOTES**

1. THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME.
2. UNDERGROUND UTILITIES WERE LOCATED BASED ON THE SURFACE EVIDENCE OF UTILITIES (I.E. PAINT MARKS, SAW CUTS IN PAVEMENT, COVERS, LIDS ETC.). THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. TREE SIZES WERE LOCATED & SPECIES DETERMINED TO THE BEST OF OUR ABILITY. HOWEVER, THE SURVEYORS DOES NOT WARRANT THE ACCURACY OF SIZE & SPECIES SHOWN HEREON. ANY TREES CONSIDERED TO BE CRITICAL SHOULD BE VERIFIED BY A TRAINED ARBORIST.
4. THIS MAP DOES NOT PURPORT TO SHOW EASEMENTS OF RECORD, IF ANY.
5. NO PROPERTY CORNERS WERE SET IN CONJUNCTION WITH THIS SURVEY.
6. THE INTENT OF THIS SURVEY IS TO AID IN DESIGN FOR THIS SITE.
7. THE BOUNDARY FOR THIS SURVEY WAS COMPUTED FROM THE PLAT OF MERCERWOOD PARK, AS RECORDED IN VOLUME 70 OF PLATS, PAGE 63 RECORDS OF KING COUNTY, WASHINGTON.

**LEGAL DESCRIPTION**

LOT 9, MERCERWOOD PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 70 OF PLATS, PAGE 63 IN KING COUNTY, WASHINGTON, EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:

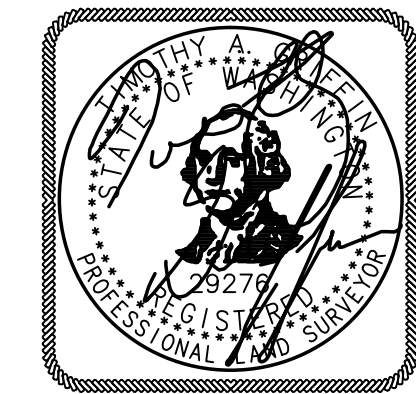
BEGINNING AT THE MOST WESTERLY CORNER OF SAID LOT 9; THENCE SOUTH 45°59'55" EAST ALONG THE LINE BETWEEN LOTS 8 AND 9 OF SAID SHORTPLAT, A DISTANCE OF 8.00 FEET; THENCE NORTH 07°01'36" EAST 9.62 FEET; THENCE ALONG THE MARGIN OF SOUTHEAST 43RD ST ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 313.92 FEET, THE CENTER OF WHICH BEARS SOUTH 29°12'23" EAST, AN ARC DISTANCE OF 8.00 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**LEGEND:**

BFNC	BOARD FENCE	X	FENCE LINE AS NOTED
CB	CATCH BASIN	OHP	OVERHEAD POWER LINE
DL	DRIP LINE	—	ROCK WALL
EA	EDGE OF ASPHALT	—	STORM DRAIN LINE
FH	FIRE HYDRANT	SS	SANITARY SEWER LINE
KSW	KEY STONE WALL	W	WATER LINE
MB	MAIL BOX		
PM	POWER METER		
PFL	POWER POLE W/LIGHT		
PTLU	POWER POLE W/XFMR&LIGHT&UG		
RXR	RAIL ROAD TIE		
SGN	SIGN		
SSCO	SANITARY SEWER CLEANOUT		
WM	WATER METER		
WV	WATER VALVE		
AP	APPLE		
C	CEDAR		
D	DECIDUOUS		
F	FIR		
M	MAPLE		
[Concrete Hatch]	CONCRETE HATCH		
[Deck Hatch]	DECK HATCH		
[Gravel Hatch]	GRAVEL HATCH		

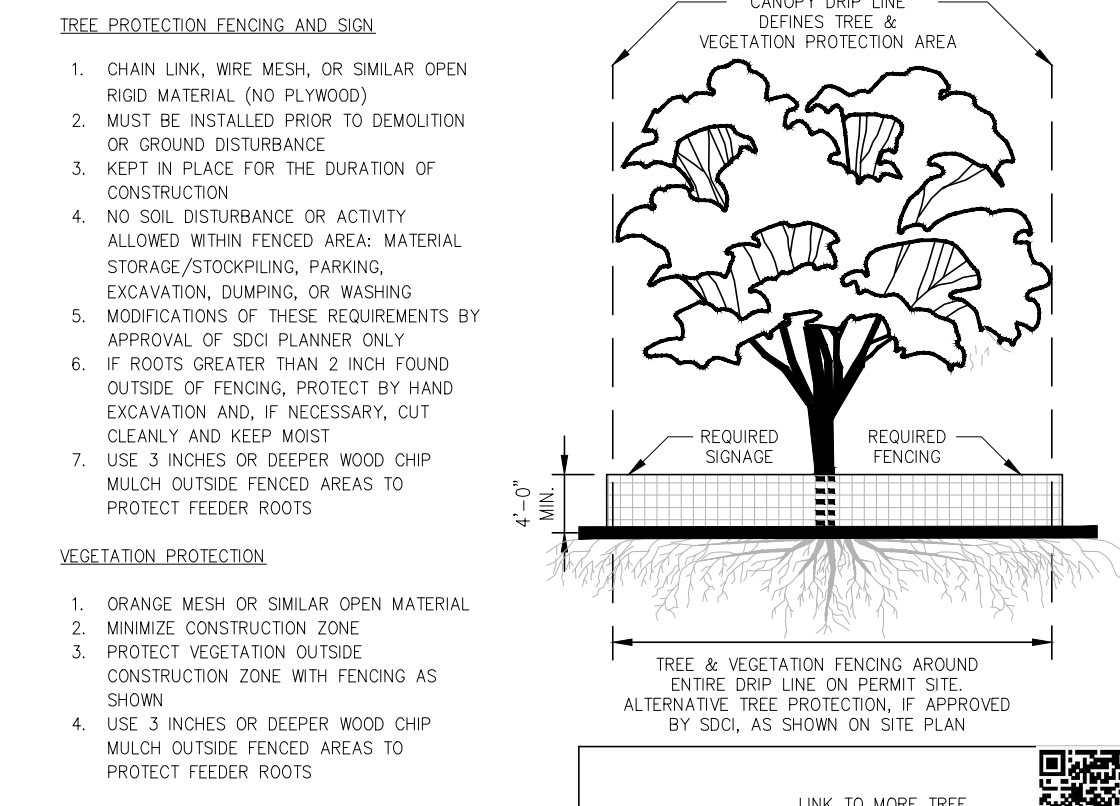
PARCEL # 5461100090  
SE1/4, NE1/4, SEC. 18, T. 24 N., R. 5 E., W.M.  
MERCER ISLAND, WASHINGTON



TOPOGRAPHIC SURVEY for <b>ANDRE MARSHALL</b>		
4307 MERCER WAY MERCER ISLAND, WASHINGTON 98004		
<b>Tyee Surveyors</b> PROFESSIONAL LAND SURVEYORS 10007 GREENWOOD AV. N. SEATTLE, WA. 98133 206-525-3660		
DRAWN BY: RG	DATE: 7-24-19	JOB NO.: 19107
CHKD BY: TG	SCALE: 1" = 10'	SHEET: 1 OF 1

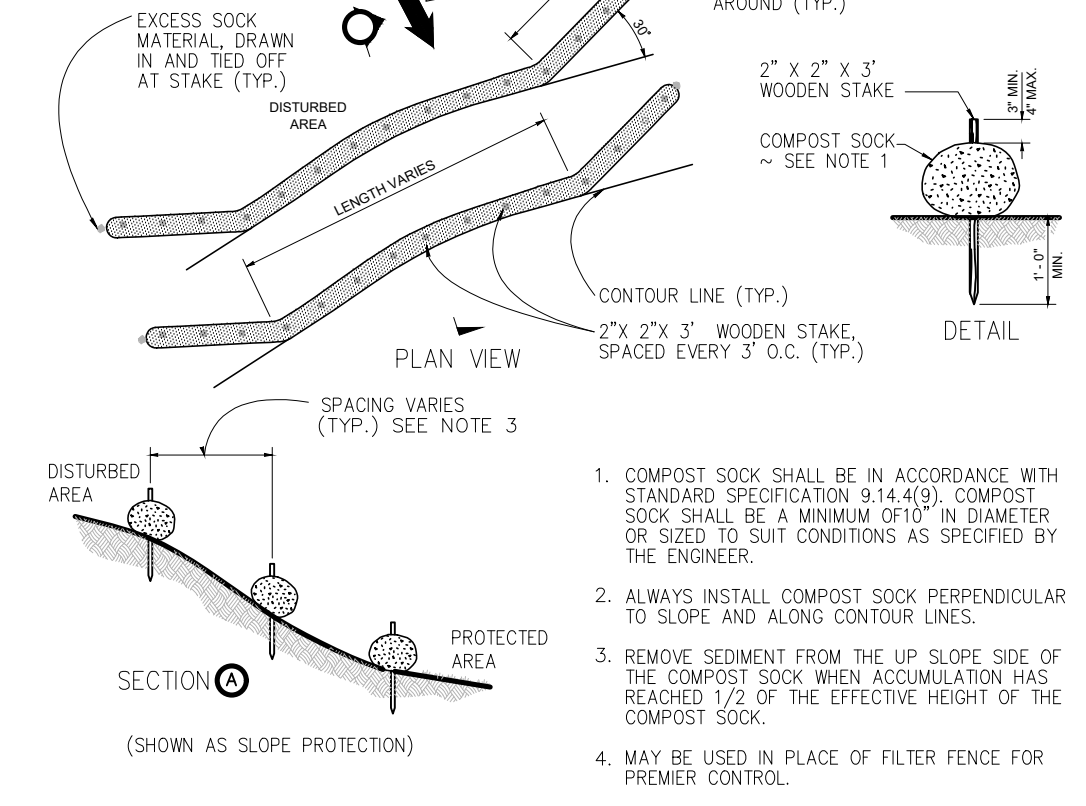


**TREE & VEGETATION PROTECTION**



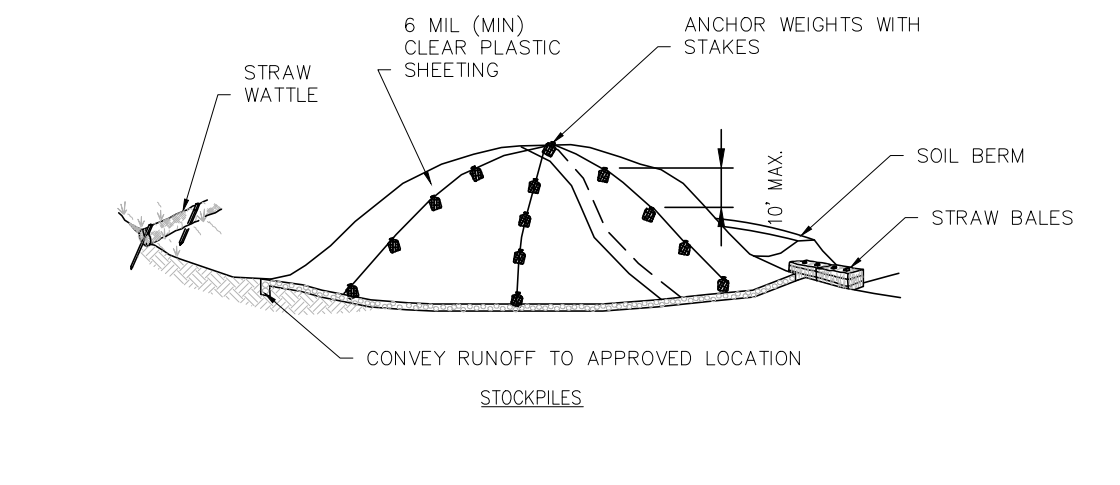
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**COMPOST SOCK**



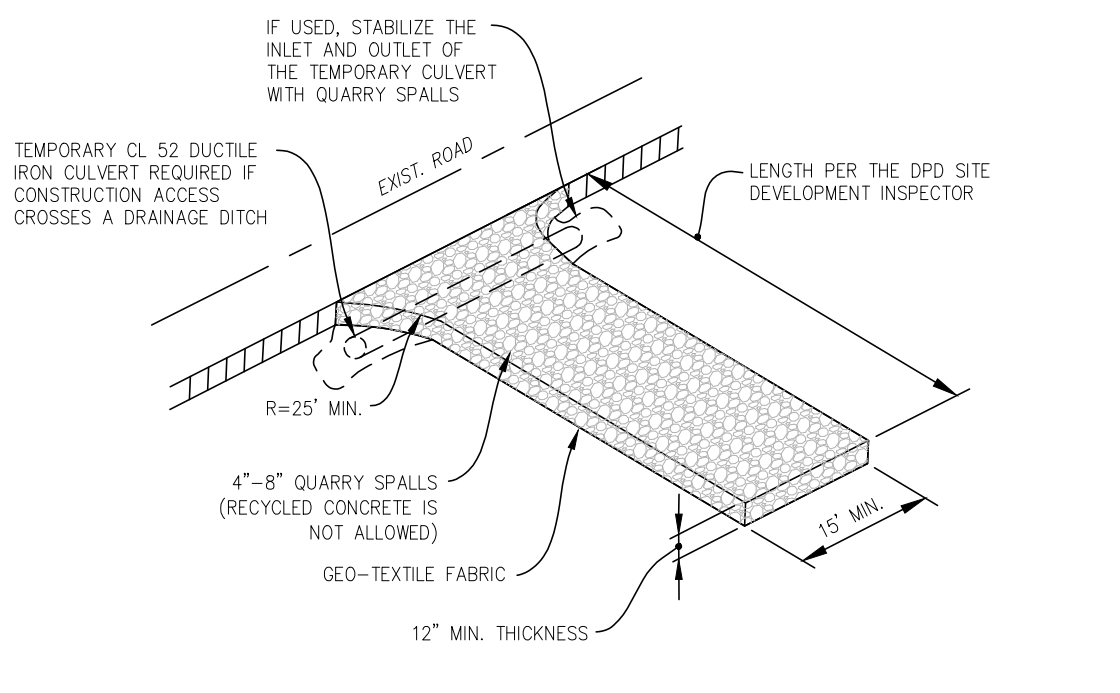
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**STOCKPILE AND EXPOSED SLOPE COVERING**



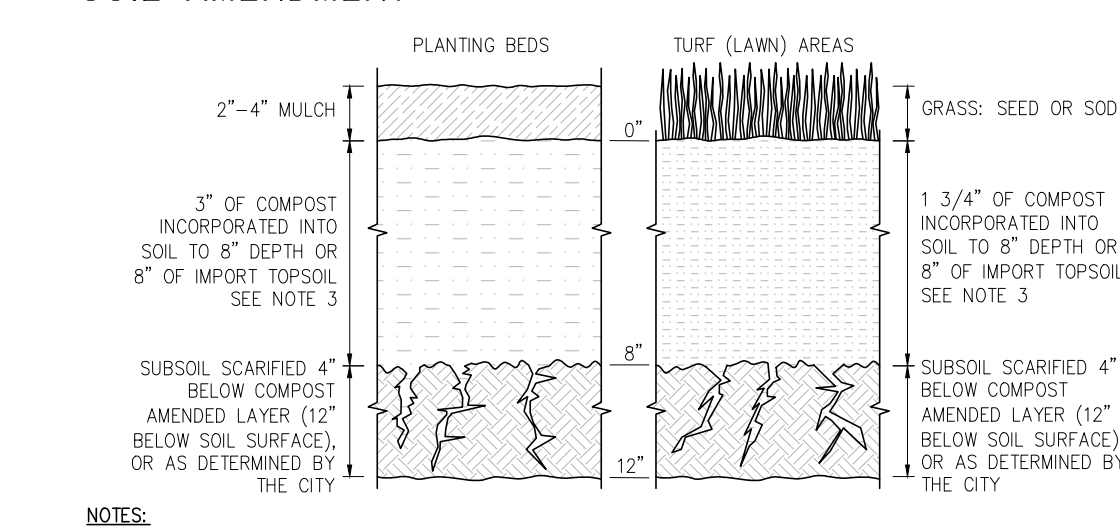
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**STABILIZED CONSTRUCTION ACCESS**



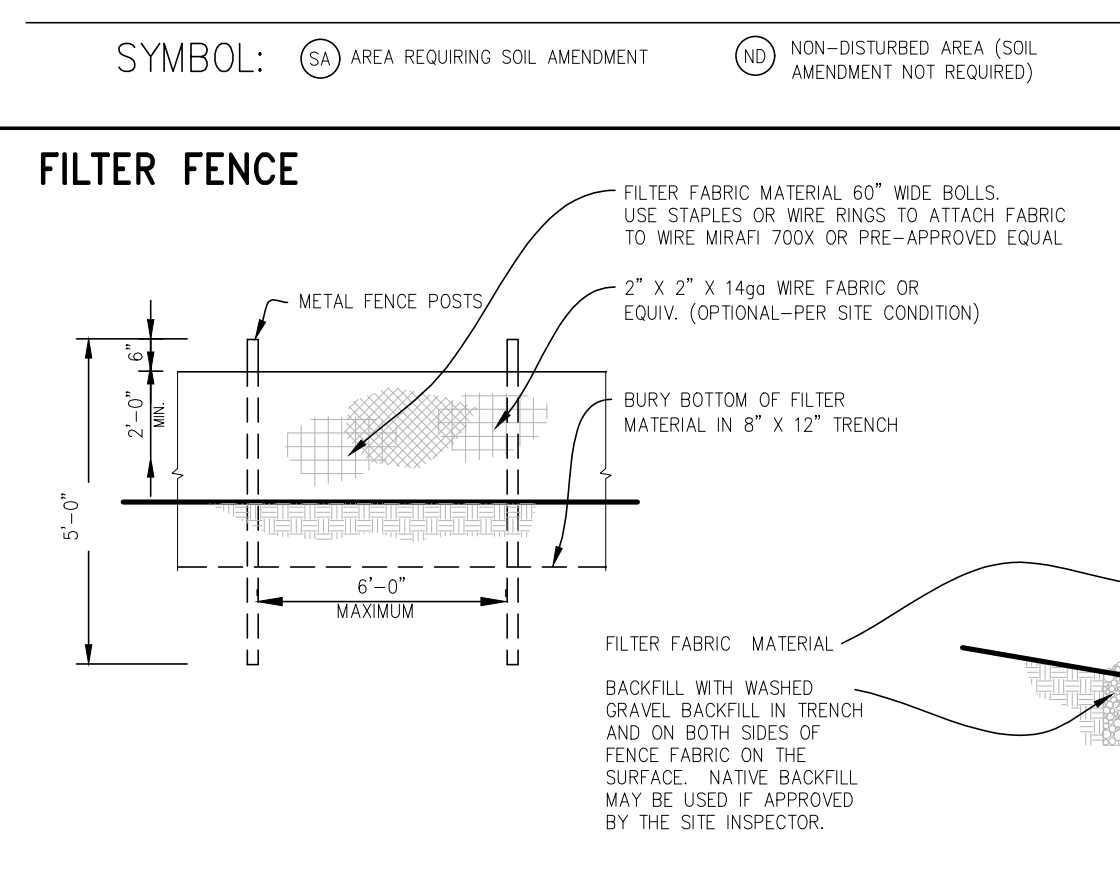
SYMBOL: [Symbol]

**SOIL AMENDMENT**



SYMBOL: [Symbol]

**FILTER FENCE**



SYMBOL: [Symbol]

**EROSION AND SEDIMENTATION CONTROL NOTES**

- NOT USED
  - NOT USED
  - PERIMETER PROTECTION MAY BE USED AS THE SOLE FORM OR TREATMENT WHEN THE FLOWPATH MEETS THE CRITERIA LISTED BELOW. IF THESE ARE NOT MET, PERIMETER PROTECTION SHALL ONLY BE USED AS A BACKUP TO A SEDIMENT TRAP OR POND.
- | AVERAGE SLOPE   | SLOPE PERCENT | FLOWPATH LENGTH |
|-----------------|---------------|-----------------|
| 1.5H:1V OR LESS | 67% OR LESS   | 100 FEET        |
| 2H:1V OR LESS   | 50% OR LESS   | 115 FEET        |
| 4H:1V OR LESS   | 25% OR LESS   | 150 FEET        |
| 6H:1V OR LESS   | 16.7% OR LESS | 200 FEET        |
| 10H:1V OR LESS  | 10% OR LESS   | 250 FEET        |
- THE CONTRACTOR SHALL STABILIZE DENUDED AREAS AND SOIL STOCKPILES AS FOLLOWS:  
DENUDED AREAS SHALL BE COVERED BY MULCH, SOD, PLASTIC, OR OTHER BMP'S APPROVED BY THE ENGINEER. WHERE POSSIBLE NATURAL VEGETATION SHALL BE MAINTAINED FOR EROSION AND SEDIMENT CONTROL.
  - AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, THE EROSION CONTROL FACILITIES SHALL BE MAINTAINED AND/OR ALTERED AS REQUIRED TO ENSURE CONTINUING EROSION/SEDIMENT CONTROL.
  - EVERY EFFORT SHALL BE MADE TO CLOSE UTILITY TRENCHES BY THE END OF THE DAY AND MATERIAL EXCAVATED DURING UNDERGROUND UTILITY CONSTRUCTION SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES (WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS).
  - ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE IN OPERATION, AND THE POTENTIAL FOR EROSION HAS PASSED.
  - AT A MINIMUM, EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED MONTHLY, OR FOLLOWING EACH RUNOFF-PRODUCING STORM, TO ENSURE PROPER OPERATION OF ALL EROSION AND SEDIMENT CONTROL FACILITIES. SEDIMENT SHALL BE REMOVED FROM BMP'S WHEN IT REACHES D-FOOT DEPTH.
  - THE PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAN. TRACKING OF MUD AND DEBRIS FROM THE SITE WILL NOT BE ALLOWED. FAILURE TO COMPLY WITH THIS CONDITION MAY RESULT IN ALL WORK ON SITE BEING STOPPED.
  - THE WASHINGTON STATE CLEAN AIR ACT REQUIRES THE USE OF ALL KNOWN AVAILABLE, AND REASONABLE MEANS OF CONTROLLING AIR POLLUTION, INCLUDING DUST. DUST CAN BE CONTROLLED BY WETTING EXPOSED SOILS, WASHING TRUCK WHEELS BEFORE THEY LEAVE THE SITE, AND INSTALLING AND MAINTAINING ROCK CONSTRUCTION ENTRANCES. CONSTRUCTION VEHICLE TRACK-OUT IS A MAJOR SOURCE OF DUST AND ANY EVIDENCE OF TRACK-OUT CAN TRIGGER FINES FROM THE DEPARTMENT OF ECOLOGY OF THE PUGET SOUND AIR POLLUTION CONTROL AGENCY.
  - NOT USED
  - THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL BMP'S WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THEY ARE NO LONGER NECESSARY.

**PRIOR TO BEGINNING CLEARING OR GRADING**

- INSTALL THE SLIT FENCE AS INDICATED ON THE SITE PLAN & SHEET C1.0
- PLACE A THICK LAYER OF STRAW OR MULCH ON ALL AREAS OF BARE SOIL OUTSIDE OF THE PLANNED NEW CONSTRUCTION. THIS IS PARTICULARLY IMPORTANT IN THE SOUTH, LOW END OF THE LOT.
- INSTALL PRE MANUFACTURED SILT SOCKS IN THE TWO EXISTING CATCH BASINS LOCATED SOUTH & EAST OF THE SITE. THIS CATCH BASIN PROTECTION MUST BE CHECKED PERIODICALLY, & CLEANED AS NECESSARY, TO PREVENT THE SILT SOCKS FROM BECOMING OVERLOADED WITH SILT & DEBRIS FROM SURFACE RUNOFF.
- CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE, AS SHOWN ON SHEET C1.0 OF THE DRAWINGS, WHEREVER TRUCKS WILL DRIVE OFF AN PAVED SURFACES TO IMPORT OR EXPORT DEBRIS & SOIL.

**DURING GRADING AND CONSTRUCTION**

- COVER ANY SOIL STOCKPILES WITH PLASTIC SHEETING THAT IS STAKED OR WEIGHTED TO PREVENT IT FROM BLOWING AWAY.
- ALLOW NO RUNOFF FROM THE EXCAVATION FOR THE SOUTHERN ADDITION TO FLOW ACROSS THE GROUND SURFACE TOWARD THE SOUTH. THIS MAY REQUIRE CREATING A SOIL BERM ALONG THE SOUTHERN EDGE OF THE EXCAVATION. IF SILTY RUNOFF COLLECTS IN THE EXCAVATION, IT MAY NEED TO BE PUMPED TO A TEMPORARY HOLDING TANK FOR DISPOSAL OFF SITE.
- FOLLOWING CONSTRUCTION OF THE FOUNDATION WALLS, PROCEED IMMEDIATELY WITH INSTALLATION OF DRAINAGE & WATER PROOFING, THEN COMPLETION OF BACKFILLING.
- SPREAD STRAW OR MULCH AGAIN ON ALL BARE SOIL OUTSIDE OF THE BACKFILLED FOUNDATIONS, UNLESS PERMANENT LANDSCAPING & VEGETATION WILL BE IMMEDIATELY ESTABLISHED.

**COVER MEASURES**

TEMPORARY EROSION CONTROL SEED MIX:			
	% WEIGHT	% PURITY	% GERMINATION
ANNUAL OR PERENNIAL RYE (LOLIUM MULTIFLORUM OR LOLIUM PERENNE)	40	98	90
REDDTOP OR COLONIAL BENTGRASS (AGROSTIS ALBA OR AGROSTIS TENUIS)	10	92	85

COVER METHODS INCLUDE THE USE OF MULCH, EROSION CONTROL NETS AND BLANKETS, PLASTIC COVERING, SEEDING, AND SODDING. MULCH AND PLASTIC SHEETING ARE PRIMARILY INTENDED TO PROTECT DISTURBED AREAS FOR A SHORT PERIOD OF TIME, TYPICALLY DAYS TO A FEW MONTHS. SEEDING AND SODDING ARE MEASURES FOR AREAS THAT ARE TO REMAIN UNWORKED FOR MONTHS.

PERMANENT SEED MIX:				REMARKS
	% WEIGHT	% PURITY	% GERMINATION	
PERENNIAL RYE BLEND (LOLIUM PERENNE)	70	98	90	THIS MIX IS PROVIDED AS JUST ONE RECOMMENDED POSSIBILITY. LOCAL SUPPLIERS SHOULD BE CONSULTED FOR THEIR RECOMMENDATIONS BECAUSE THE APPROPRIATE MIX DEPENDS ON A VARIETY OF FACTORS, INCLUDING EXPOSURE, SOIL TYPE, SLOPE, AND EXPECTED FOOT TRAFFIC.
CHEWINGS AND RED FESCUE BLEND (FESTUCA RUBRA VAR. COMMUTATA OR FESTUCA RUBRA)	30	98	90	

MULCH STANDARDS AND GUIDELINES:			
MULCH MATERIAL	QUALITY STANDARDS	APPLICATION RATES	REMARKS
STRAW	AIR-DRIED; FREE FROM UNDESIRABLE SEED AND COARSE MATERIAL.	2"-3" THICK; 2-3 BALES PER 1000 SF OR 2-3 TONS PER ACRE	COST-EFFECTIVE PROTECTION WHEN APPLIED WITH ADEQUATE THICKNESS. HAND-APPLICATION GENERALLY REQUIRES GREATER THICKNESS THAN BLOWN STRAW. STRAW SHOULD BE CRIMPED TO AVOID WIND BLOW. THE THICKNESS OF STRAW MAY BE REDUCED BY HALF WHEN USED IN CONJUNCTION WITH SEEDING.
CHIPPED SITE VEGETATION	AVERAGE SIZE SHALL BE SEVERAL INCHES.	2" MINIMUM THICKNESS	THIS IS A COST-EFFECTIVE WAY TO DISPOSE OF DEFRIS FROM CLEARING AND GRUBBING, AND IT ELIMINATES THE PROBLEMS ASSOCIATED WITH BURNING. GENERALLY, IT SHOULD NOT BE USED ON SLOPES ABOVE APPROXIMATELY 10% BECAUSE OF ITS TENDENCY TO BE TRANSPORTED BY RUNOFF. IT IS NOT RECOMMENDED WITHIN 200 FEET OF SURFACE WATERS. IF SEEDING IS EXPECTED SHORTLY AFTER MULCH, THE DECOMPOSITION OF THE CHIPPED VEGETATION MAY TIE UP NUTRIENTS IMPORTANT TO GRASS ESTABLISHMENT.

**CONSTRUCTION STORMWATER CONTROL (CSC) NOTES**

- BMP'S SHALL BE INSTALLED PRIOR TO STARTING CONSTRUCTION TO ENSURE SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROJECT SITE OR ENTER ROADSIDE DITCHES, STORM DRAINS, SURFACE WATERS, OR WETLANDS.
- THE BMP'S INCLUDED IN THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT BMP'S ARE MODIFIED AS NEEDED FOR UNEXPECTED STORM EVENTS OR OTHER UNFORESEEN CIRCUMSTANCES, AND TO ACCOUNT FOR CHANGING SITE CONDITIONS.
- ANY AREAS OF DISTURBED SOIL THAT WILL NOT BE WORKED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) OR SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) SHALL BE IMMEDIATELY STABILIZED WITH APPROVED BMP'S METHODS (E.G. STRAW, MULCH, PLASTIC COVERING, COLD MIX, ETC.)
- CITY STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AT ALL TIMES.
- POLLUTION CONTROL MEASURES SHALL BE FOLLOWED TO ENSURE THAT NO LIQUID PRODUCTS OR CONTAMINATED WATER ENTERS ANY STORM DRAINAGE FACILITIES OR OTHERWISE LEAVES THE PROJECT SITE. ANY HAZARDOUS MATERIALS OR LIQUID PRODUCTS THAT HAVE THE POTENTIAL TO POLLUTE RUNOFF SHALL BE STORED AND DISPOSED OF PROPERLY.
- ENSURE THAT WASHOUT FROM CONCRETE TRUCKS IS PERFORMED OFF-SITE OR IN DESIGNATED CONCRETE WASHOUT AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS ONTO THE GROUND, OR TO STORM DRAINS OR OPEN DITCHES. DO NOT DUMP EXCESS CONCRETE ONSITE, EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS.
- ALL AREAS OF DISTURBED SOIL SHALL BE FULLY STABILIZED WITH THE APPROPRIATE SOIL AMENDMENT AND COVER MEASURES AT COMPLETION OF THE PROJECT. TYPICAL COVER MEASURES INCLUDE LANDSCAPING OR HYDROSEED WITH MULCH.

**CONSTRUCTION SEQUENCE**

- SCHEDULE THE PRE-CONSTRUCTION MEETING.
- FLAG OR FENCE ALL CRITICAL AREAS AND CLEARING LIMITS.
- POST A SIGN WITH THE NAME AND PHONE NUMBER OF THE E.S.C. SUPERVISOR.
- GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
- INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- CONSTRUCT SEDIMENT PONDS AND TRAPS, IF REQUIRED.
- GRADE AND STABILIZE CONSTRUCTION ROADS.
- CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
- INSTALL UTILITIES.
- RELOCATE SURFACE WATER CONTROLS OR EROSION CONTROL MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE ACCEPTED STANDARD BMP'S.
- COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
- STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
- SEED OR SOD ANY AREAS OF THE PROJECT, STABILIZE ALL DISTURBED AREA AND REMOVE BMP'S IFF APPROPRIATE
- UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMP'S IF APPROPRIATE.

**INTERCEPTOR DIKE AND SWALE NOTES AND FIGURES**

- INTERCEPTOR DIKES AND SWALES ARE REQUIRED IN THE FOLLOWING SITUATIONS:
- AT THE TOP OF ALL SLOPES IN EXCESS OF 3H:1V AND WITH MORE THAN 20 FEET OF VERTICAL RELIEF.
  - AT INTERVALS ON ANY SLOPE THAT EXCEEDS THE DIMENSIONS SPECIFIED IN THIS SECTION FOR THE HORIZONTAL SPACING OF DIKES AND SWALES.
  - INTERCEPTOR DIKES AND SWALES SHALL BE SPACED HORIZONTALLY AS FOLLOWS:
- | AVERAGE SLOPE  | SLOPE PERCENT | FLOWPATH |
|----------------|---------------|----------|
| 20H:1V OR LESS | 3-5%          | 300 FEET |
| (10 TO 20)H:1V | 5-10%         | 200 FEET |
| (4 TO 10)H:1V  | 10-25%        | 100 FEET |
| (2 TO 4)H:1V   | 25-50%        | 50 FEET  |
- FOR SLOPES STEEPER THAN 2H:1V WITH MORE THAN 10 FEET OF VERTICAL RELIEF, BENCHES MAY BE CONSTRUCTED OR CLOSER SPACED INTERCEPTOR DIKES OR SWALES CAN BE USED. WHICHEVER MEASURE IS CHOSEN, THE SPACING AND CAPACITY OF THE MEASURES MUST BE DESIGNED BY THE ENGINEER AND THE DESIGN MUST INCLUDE PROVISIONS FOR EFFECTIVELY INTERCEPTING THE HIGH VELOCITY RUNOFF ASSOCIATED WITH STEEP SLOPES.
  - IF THE DIKES OR SWALES INTERCEPTS RUNOFF FROM THE DISTURBED AREAS, IT SHALL DISCHARGE TO A STABLE CONVEYANCE SYSTEM THAT ROUTES THE RUNOFF TO AN ACCEPTABLE BMP. IF THE DIKE OR SWALE INTERCEPTS RUNOFF THAT ORIGINATES FROM UNDISTURBED AREAS, IT SHALL DISCHARGE TO A STABLE CONVEYANCE SYSTEM THAT ROUTES THE RUNOFF DOWNSLOPE OF ANY DISTURBED AREAS AND RELEASE THE WATER AT A STABILIZED OUTLET.
  - CONSTRUCTION TRAFFIC OVER TEMPORARY DIKES AND SWALES SHALL BE MINIMIZED.

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

PERMIT SET 11/06/19

PLOT DATE: 11/5/2019 FILE NAME:

**STURMAN ARCHITECTS**

TEL (425) 451-7003

9 103rd Avenue NE Suite 203 Bellevue, WA 98004

REGISTERED ARCHITECT

BRADLEY J. STURMAN STATE OF WASHINGTON

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**MARSHALL RESIDENCE PERMIT SET**

**4307 EAST MERCER WAY MERCER ISLAND, WA 98040**

**EROSION & CONSTRUCTION STORMWATER CONTROL NOTES AND DETAILS**

REVISIONS:

- 2019-04-30 PERMIT CORRECTIONS
- 2019-04-26 DESIGN REVISIONS
- 2019-04-09 PERMIT CORRECTIONS
- 2019-11-14 DESIGN REVISIONS

DRAWN BY: KE

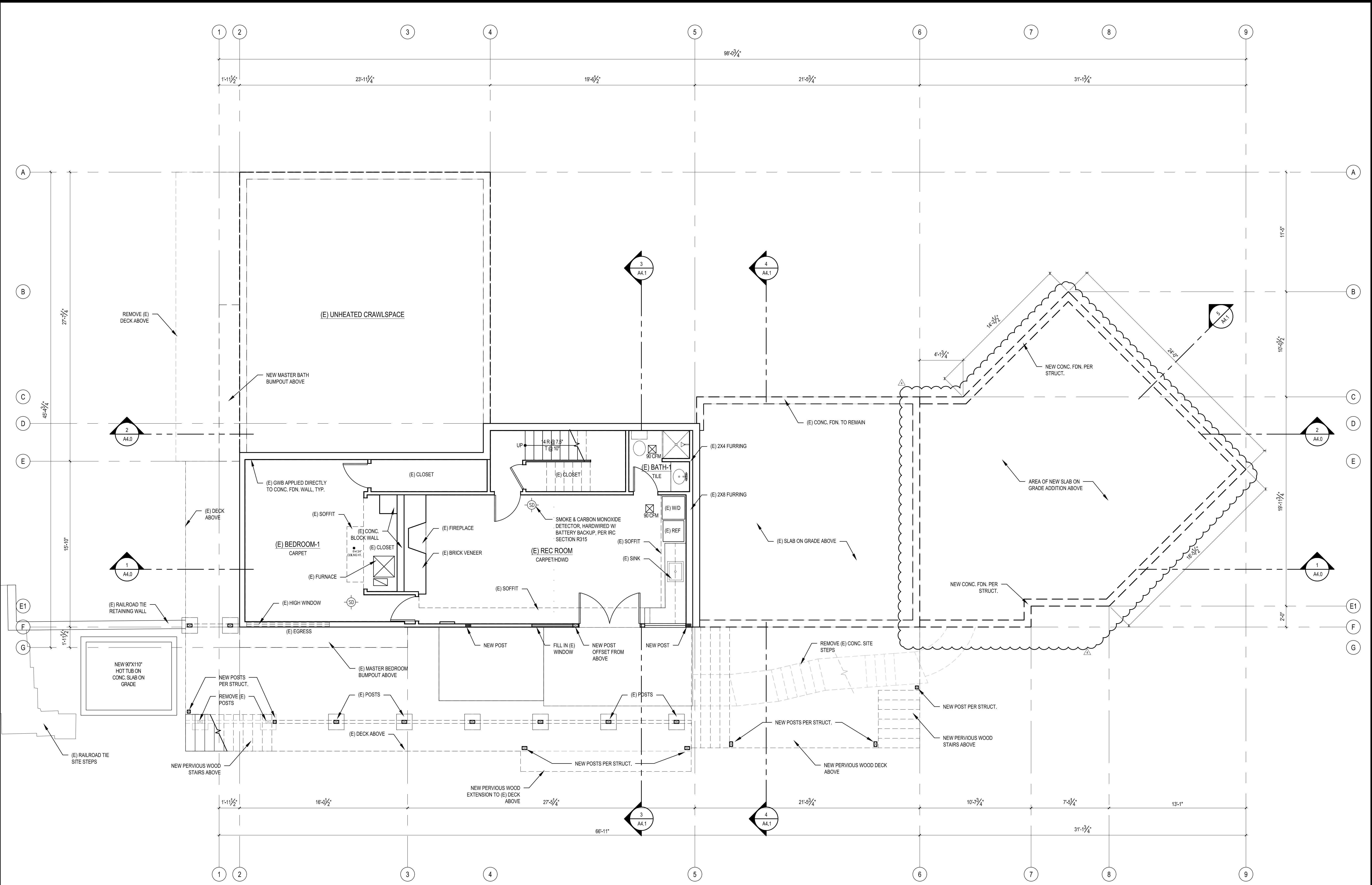
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SHEET

**C1.0**

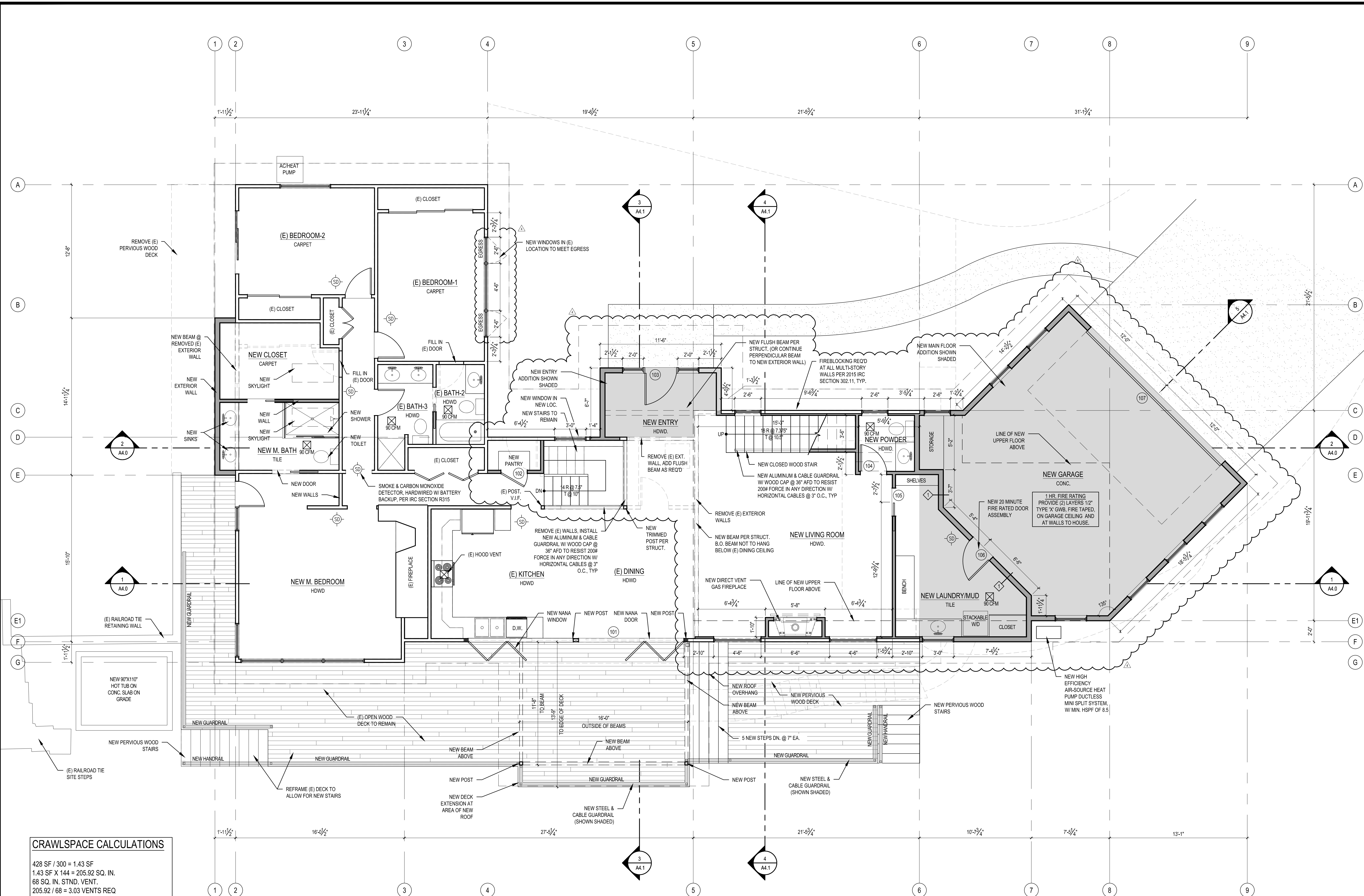
OF





**LOWER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"





**CRAWLSPACE CALCULATIONS**

428 SF / 300 = 1.43 SF  
1.43 SF X 144 = 205.92 SQ. IN.  
68 SQ. IN. STND. VENT.  
205.92 / 68 = 3.03 VENTS REQ

USE APPROVED CLASS I VAPOR RETARDER PER IBC R408.2, EXCEPTION.

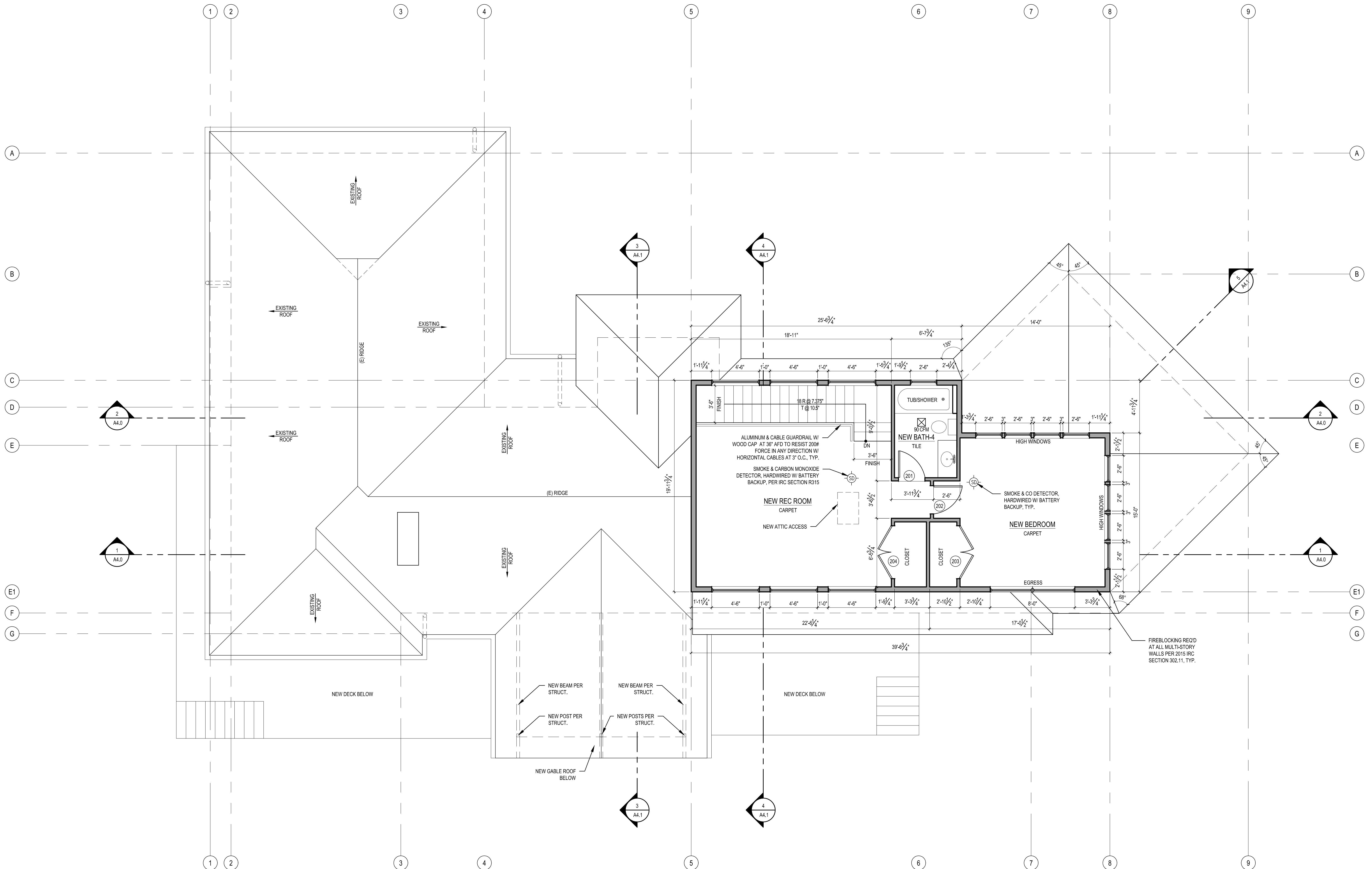
**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'



REVISIONS:	
▲	2018-5-30 PERMIT CORRECTIONS #1
▲	2018-9-28 DESIGN REVISIONS
▲	2019-10-9 PERMIT CORRECTIONS
▲	2019-11-8 DESIGN REVISIONS

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CHECKED BY: BJS

SHEET  
**A2.2**  
OF



**UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PERMIT SET 11/06/19  
PLOT DATE: 11/5/2019 FILE NAME:

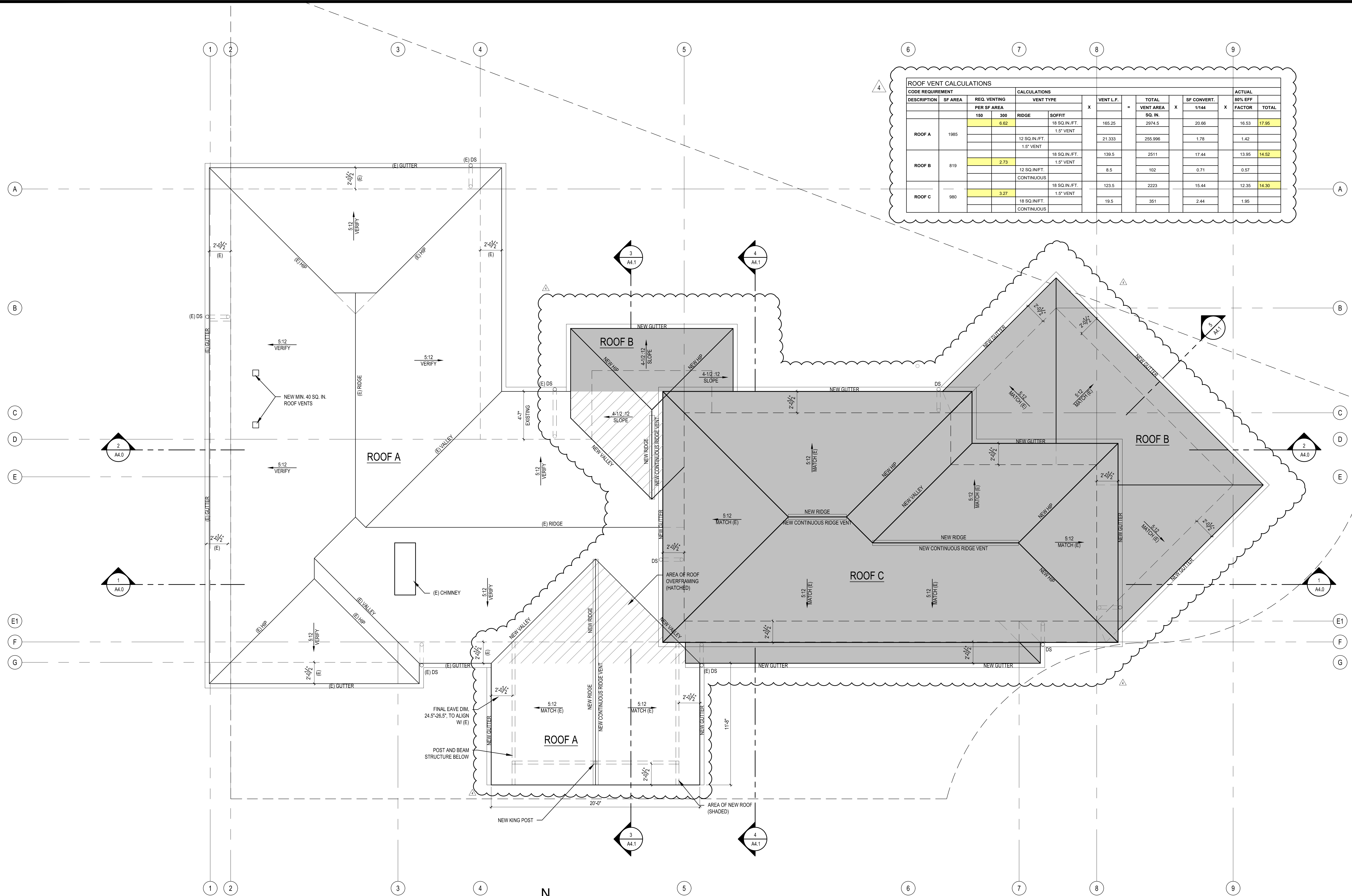


REVISIONS:	2019-04-30	PERMIT CORRECTIONS #1
2019-04-30	DESIGN REVISIONS	
2019-09-09	PERMIT CORRECTIONS	
2019-11-14	DESIGN REVISIONS	

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CHECKED BY: BJS

SHEET  
**A2.3**

ROOF VENT CALCULATIONS																
CODE REQUIREMENT DESCRIPTION	SF AREA	REQ. VENTING PER SF AREA		VENT TYPE		VENT L.F.	X	=	TOTAL	X	SF CONVERT.	X	ACTUAL			
		150	300	RIDGE	SOFFIT				VENT AREA SQ. IN.		1/144		80% EFF FACTOR	TOTAL		
ROOF A	1985	6.62		18 SQ. IN./FT.		165.25			2974.5		20.68		16.53	17.95		
					1.5" VENT											
					12 SQ. IN./FT.		21.333							1.78		1.42
					1.5" VENT											
ROOF B	819	2.73		18 SQ. IN./FT.		139.5			2511		17.44		13.95	14.52		
					1.5" VENT											
					12 SQ. IN./FT.		8.5							0.71		0.57
					1.5" VENT											
ROOF C	980	3.27		18 SQ. IN./FT.		123.5			2223		15.44		12.35	14.30		
					1.5" VENT											
					18 SQ. IN./FT.		19.5							2.44		1.95
					CONTINUOUS											



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

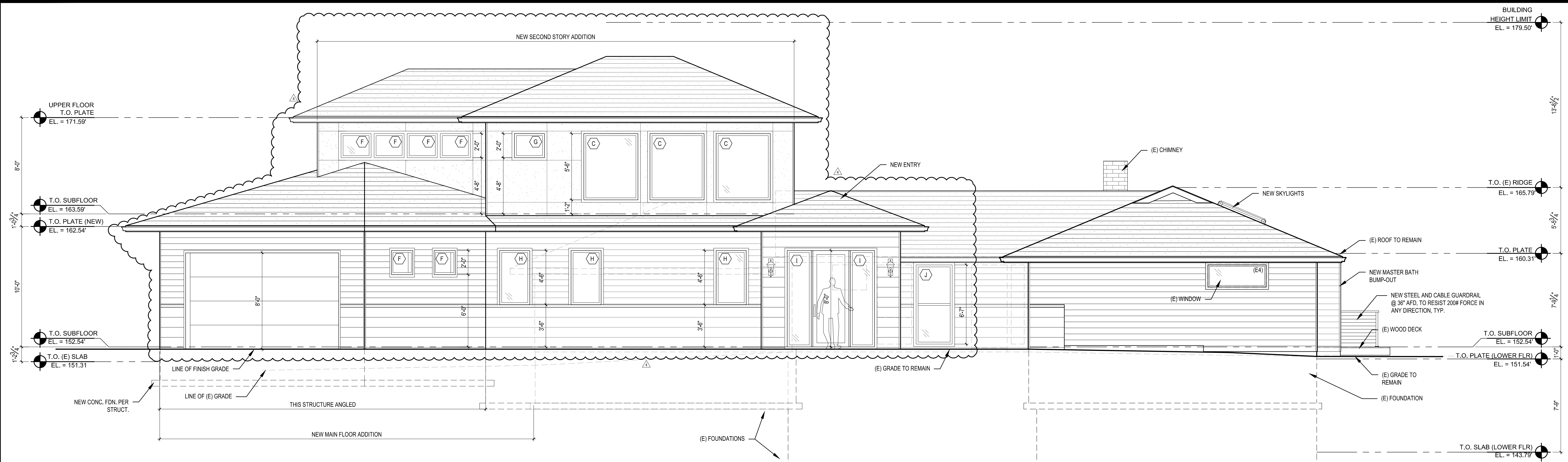
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PERMIT SET 11/06/19  
PLOT DATE: 11/5/2019 FILE NAME:



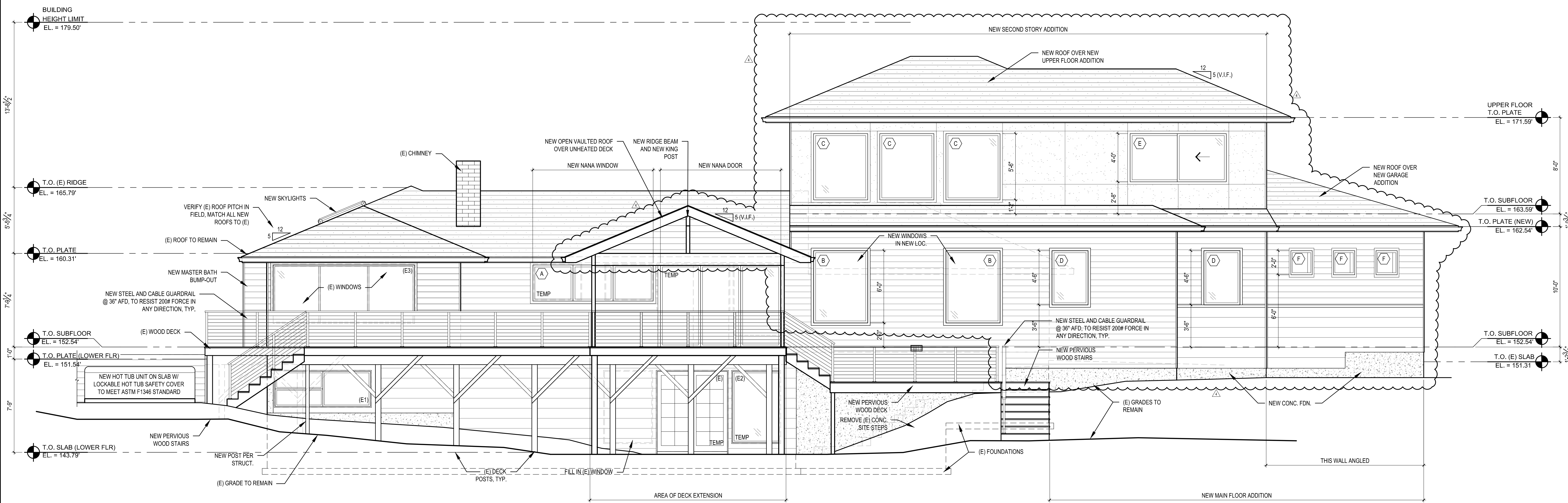
REVISIONS:	2019-05-30 PERMIT CORRECTIONS #1
2019-05-30 DESIGN REVISIONS	
2019-08-08 PERMIT CORRECTIONS	
2019-11-14 DESIGN REVISIONS	

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CHECKED BY: BUS

SHEET  
**A3.0**



**① NORTHWEST EXT. ELEVATION**  
SCALE: 1/4" = 1'-0"



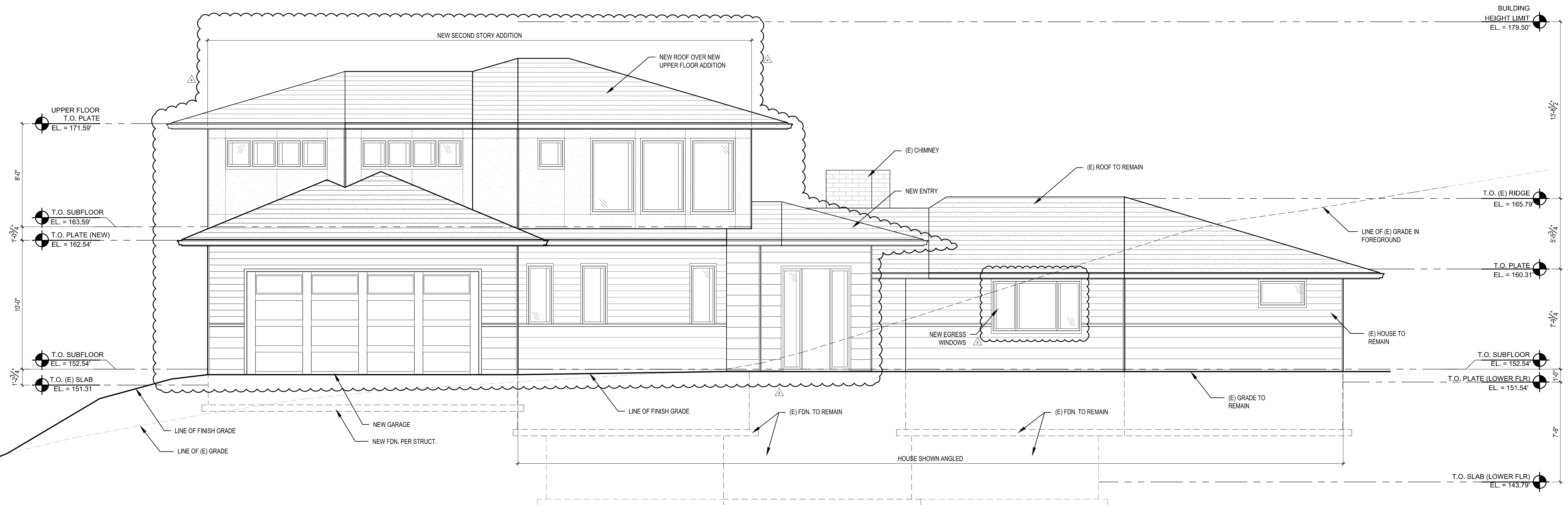
**② SOUTHEAST EXT. ELEVATION**  
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PERMIT SET 11/06/19  
PLOT DATE: 11/5/2019 FILE NAME:







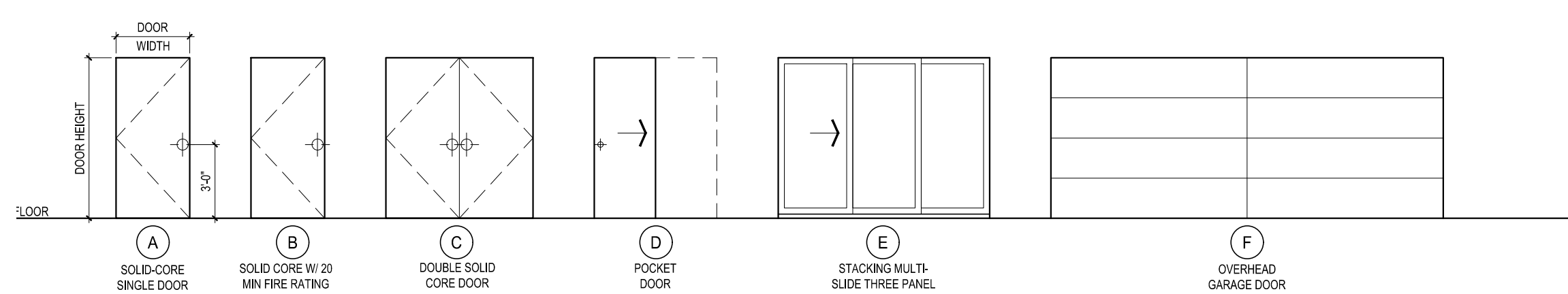


**⑤ NORTH EXT. ELEVATION**  
SCALE: 1/4" = 1'-0"

**DOOR SCHEDULE**

LOWER FLOOR										
DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR FIN.	DOOR THK.	U-VAL. (MIN.)	OPENING	REMARKS
001										
MAIN FLOOR										
DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR FIN.	DOOR THK.	U-VAL. (MIN.)	OPENING	REMARKS
101	KITCHEN	10'-0"	6'-8"	E	Y	-	1-3/4"	.30	NEW	NANA DOOR, ALREADY INSTALLED
102	NEW PANTRY	2'-6"	6'-8"	A	-	-	1-3/4"		NEW	
103	NEW ENTRY DOOR	3'-0"	8'-0"	A	Y	-	1-3/4"	.30	NEW	VERIFY WITH OWNERS
104	NEW POWDER	2'-6"	6'-8"	A	-	-	1-3/4"		NEW	
105	NEW MUD/LAUNDRY	2'-8"	6'-8"	D	-	-	1-3/4"		NEW	POCKET DOOR, VERIFY W/ OWNERS
106	NEW GARAGE	2'-8"	6'-8"	B	-	-	1-3/4"		NEW	20 MIN. FIRE RATED
107	NEW GARAGE	18'-0"	8'-0"	F	-	-	1-3/4"		NEW	OVERHEAD DOOR
108	NEW UNDER-STAIR STORAGE	2'-6"	6'-8"	A	-	-	1-3/4"		NEW	VERIFY LOCATION W/ OWNERS
UPPER FLOOR										
DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR FIN.	DOOR THK.	U-VAL. (MIN.)	OPENING	REMARKS
201	NEW BATH	2'-8"	7'-0"	A	-	-	1-3/4"		NEW	
202	NEW BEDROOM	2'-8"	7'-0"	A	-	-	1-3/4"		NEW	
203	NEW BEDROOM	PR 2'-8"	7'-0"	C	-	-	1-3/4"		NEW	VERIFY W/ OWNERS
204	NEW REC ROOM	PR 2'-8"	7'-0"	C	-	-	1-3/4"		NEW	VERIFY W/ OWNERS

**DOOR TYPES:**



**WINDOW SCHEDULE**

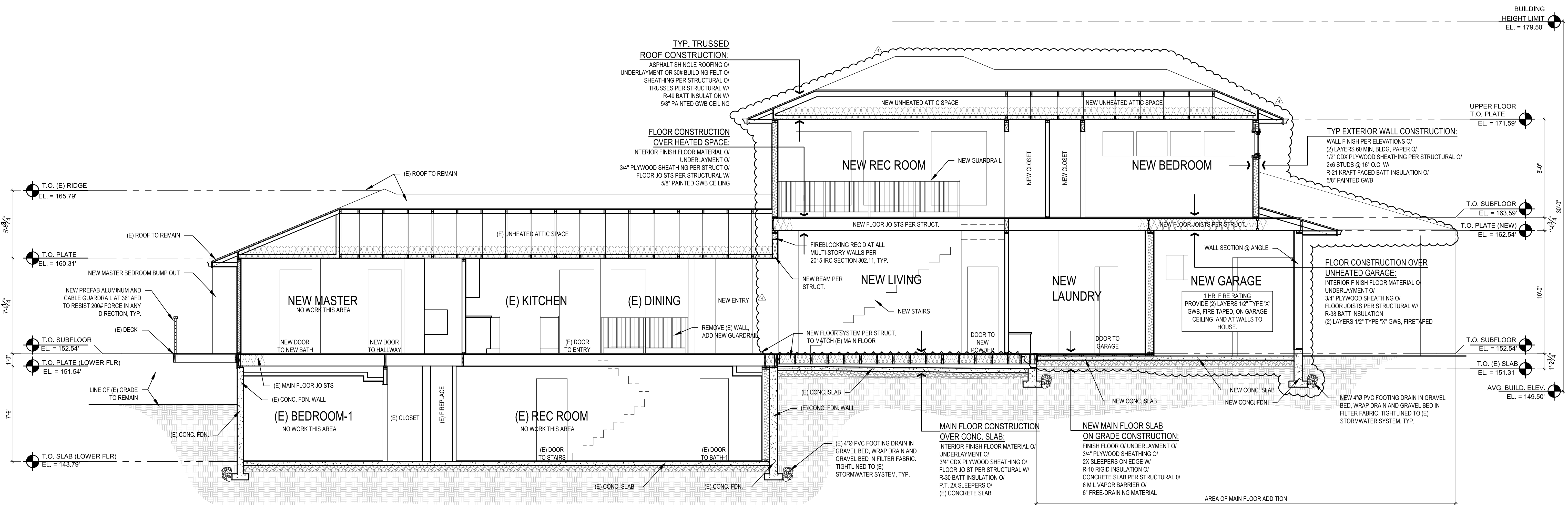
WINDOW MARK	DESCRIPTION	R.O. SIZE		TEMP.	QTY.	TOTAL AREA (SF)	U-VALUE (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
A	NANA WINDOW	10'-0"	3'-0"	Y	1		.30	LOW E / CLEAR	ALREADY INSTALLED
B	FIXED	4'-6"	6'-0"		2		.30	LOW E / CLEAR	
C	FIXED	4'-6"	5'-6"		6		.30	LOW E / CLEAR	
D	CASEMENT	3'-0"	4'-6"		2		.30	LOW E / CLEAR	
E	SLIDER	8'-0"	4'-0"		1		.30	LOW E / CLEAR	
F	AWNING OR CASEMENT	2'-6"	2'-0"		13		.30	LOW E / CLEAR	
G	FIXED	2'-6"	2'-0"	Y	1		.30	LOW E / CLEAR	
H	CASEMENT	2'-6"	4'-6"		3		.30	LOW E / CLEAR	
I	FIXED	2'-0"	8'-0"	Y	2		.30	LOW E / CLEAR	SIDELIGHTS, VERIFY WITH OWNER
J	FIXED OR SINGLE HUNG	3'-0"	6'-8"	Y	1		.30	LOW E / CLEAR	VERIFY WITH OWNER
K	CASEMENT	2'-8"	3'-10"		2		.30	LOW E / CLEAR	VERIFY HEIGHT WITH OWNER
L	FIXED	4'-6"	3'-10"		1		.30	LOW E / CLEAR	VERIFY HEIGHT WITH OWNER

**ABBREVIATIONS:**

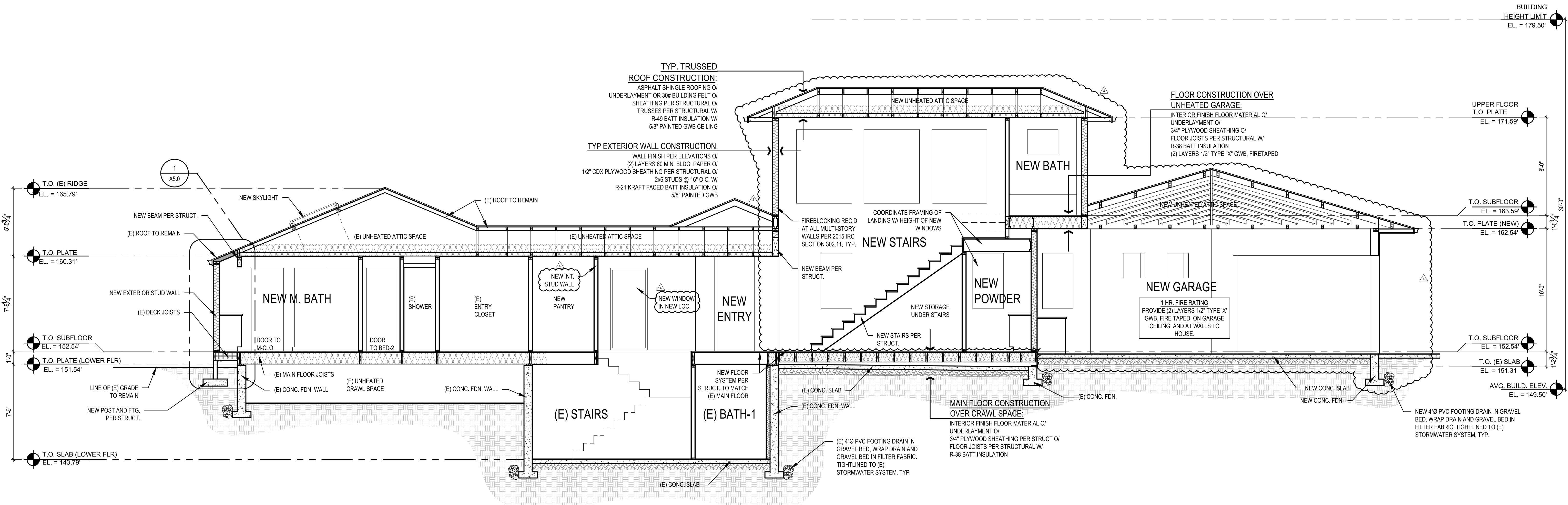
ALUM	ALUMINUM
MC	METAL CLAD
PRE-FIN	PRE-FINISHED
PNT	PAINTED
SCW	SOLID CORE WOOD
WD	WOOD

**WINDOW & DOOR SCHEDULE NOTES:**

- CONTRACTOR TO VERIFY ALL GLAZING SIZING, AND DOOR DIMENSIONS IN FIELD PRIOR TO ROUGH FRAMING & ORDERING OF GLAZING/WINDOW/DOOR MATERIALS. REVIEW SIZES AND ANY DISCREPANCIES W/ ARCHITECT.
- ALL GLAZING TO BE "LOW E", INSULATED GLASS UNLESS NOTED OTHERWISE.
- ALL OPERABLE WINDOWS TO HAVE SCREENS.
- GLAZING INDOORS AND/OR WITHIN 24" OF A DOOR TO BE TEMPERED. SEE EXTERIOR ELEVATION FOR TEMP. GLASS LOCATION & EGRESS WINDOWS.
- 2015 WSEC & VIAQ RESIDENTIAL PRESCRIPTIVE OPTION 3 ADOPTED. GLAZING AREA INDICATED UNLIMITED, SEE ENERGY NOTE AT A1.0 SHEET FOR DETAILS.
- ALL WINDOWS AND DOORS WITHOUT A BUG ARE EXISTING TO REMAIN.



**① BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**② BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

**STURMAN ARCHITECTS**  
TEL (425) 451-7003  
9 103rd Avenue NE  
Suite 203  
Bellevue, WA 98004

5862 REGISTERED ARCHITECT  
BRADLEY J. STURMAN  
STATE OF WASHINGTON

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4307 EAST MERCER WAY  
MERCER ISLAND, WA 98040

**PHASE 2**  
**BUILDING SECTIONS**

REVISIONS:	2019-03-30 PERMIT CORRECTIONS #1
△	2019-04-26 DESIGN REVISIONS
△	2019-09-09 PERMIT CORRECTIONS
△	2019-11-14 DESIGN REVISIONS

DRAWN BY: KE

CHECKED BY: BJS

SHEET  
**A4.0**

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PERMIT SET 11/06/19  
PLOT DATE: 11/5/2019 FILE NAME:

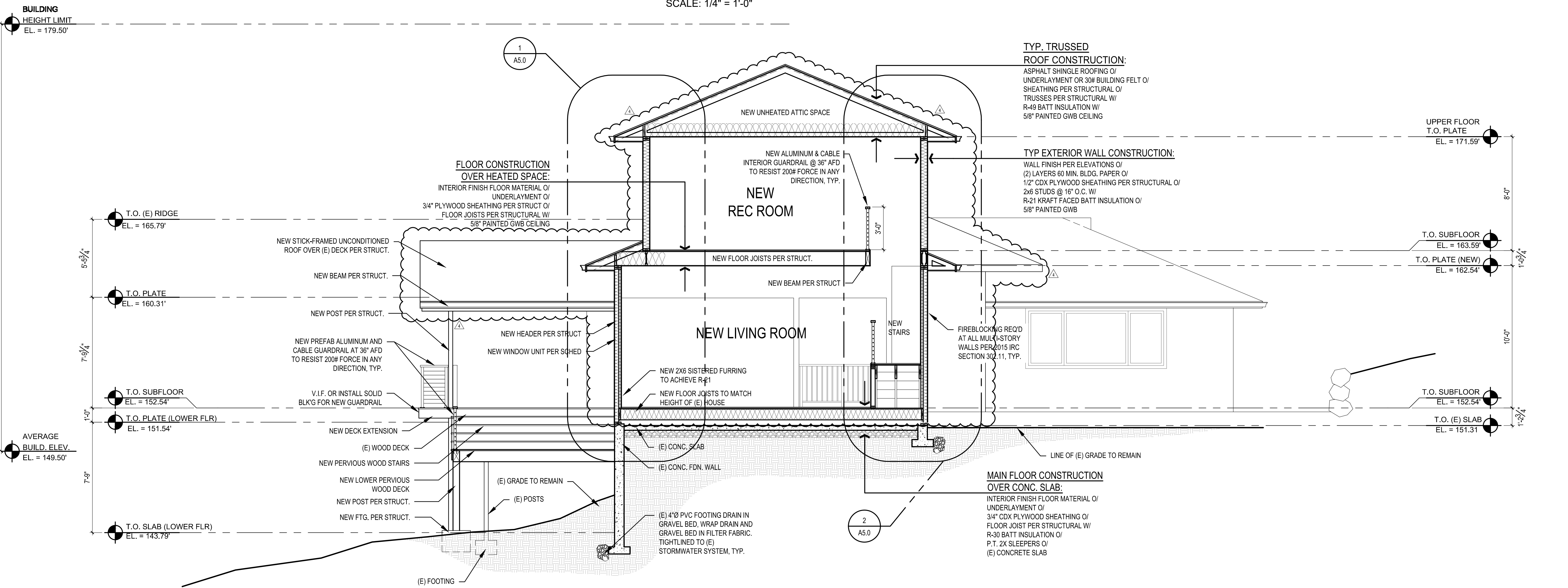
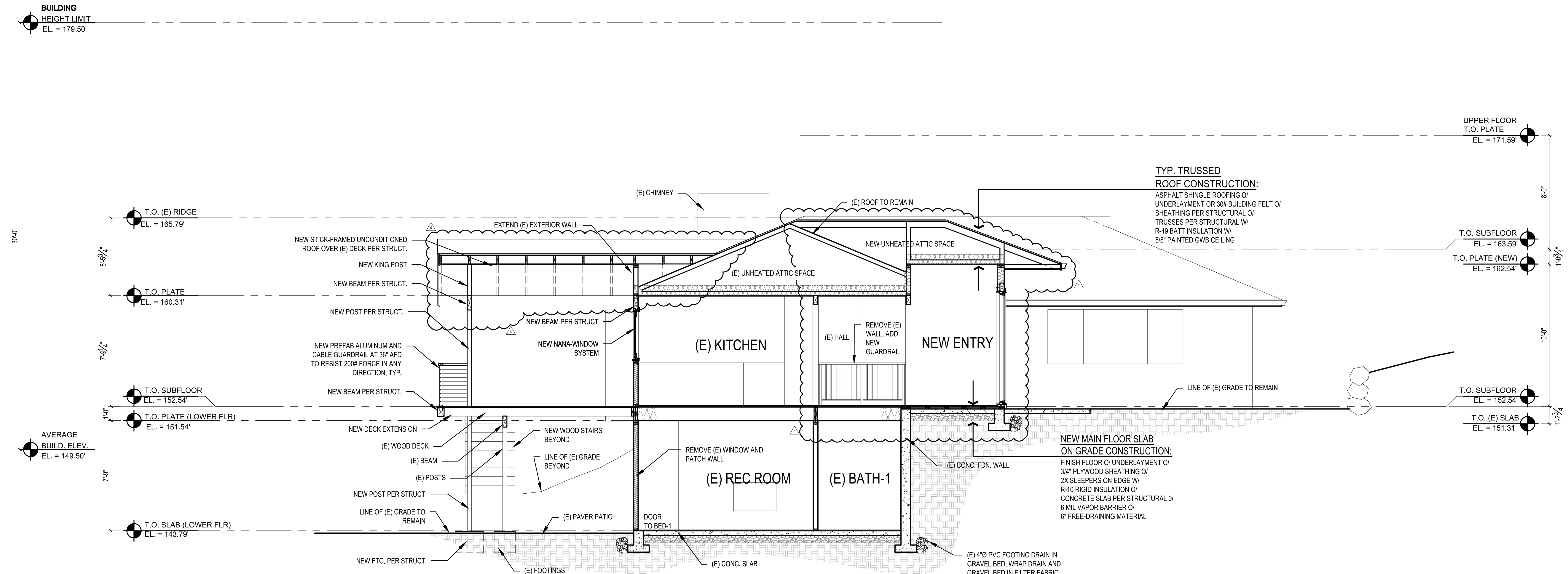


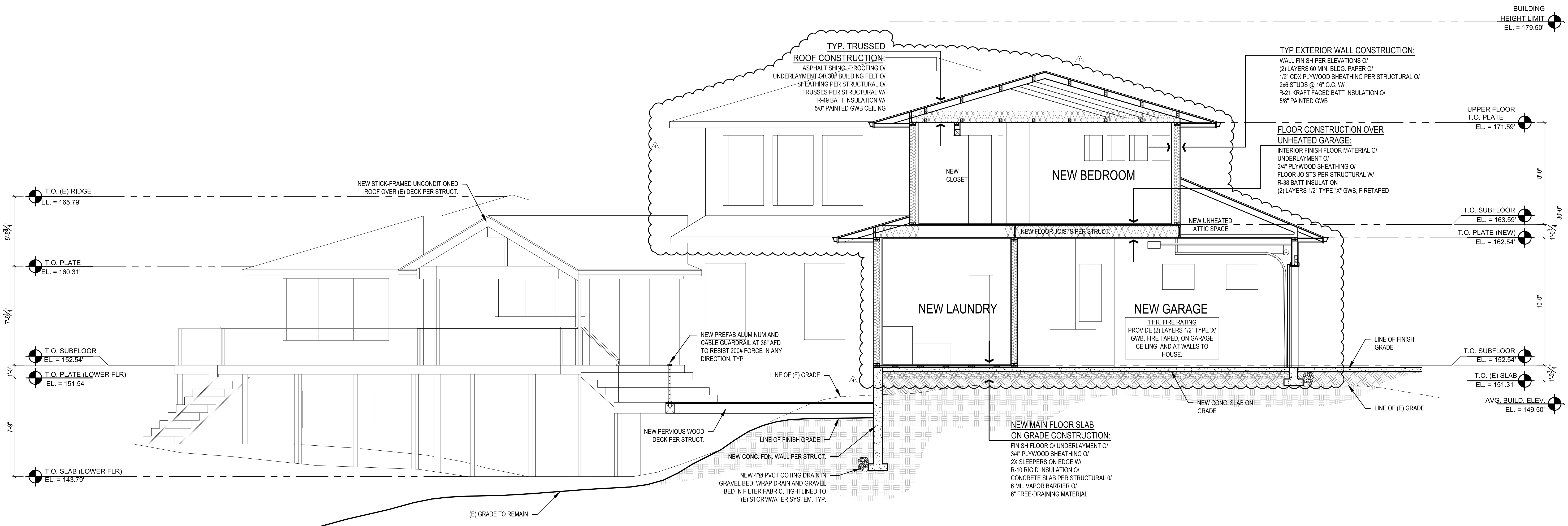
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2019-03-09 PERMIT CORRECTIONS	
2018-11-14 DESIGN REVISIONS	

DRAWN BY: KE  
CHECKED BY: BJS

SHEET  
**A4.1**

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY	
PERMIT SET	11/06/19
PLOT DATE: 11/5/2019	FILE NAME:





**⑤ BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

REVISIONS:

△	2019-05-30	PERMIT CORRECTIONS #1
△	2019-08-26	DESIGN REVISIONS
△	2019-10-09	PERMIT CORRECTIONS
△	2019-11-14	DESIGN REVISIONS

DRAWN BY: KE  
CHECKED BY: BJS

SHEET  
**A4.2**

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PERMIT SET 11/06/19  
PLOT DATE: 11/5/2019 FILE NAME: OF



REVISIONS:	2019-06-30 PERMIT CORRECTIONS #1
2019-04-26 DESIGN REVISIONS	
2019-03-09 PERMIT CORRECTIONS	
2018-11-16 DESIGN REVISIONS	

DRAWN BY: KE

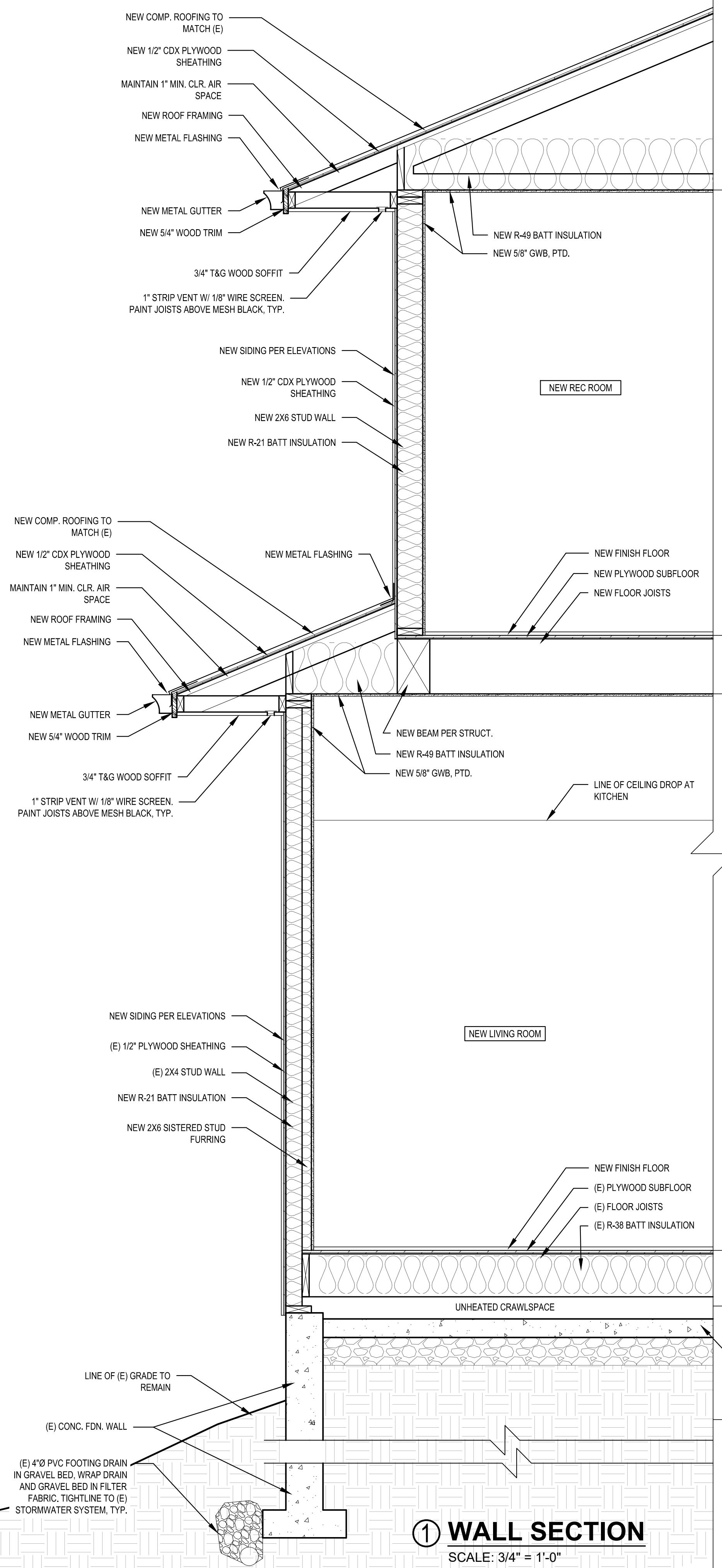
CHECKED BY: BJS

SHEET

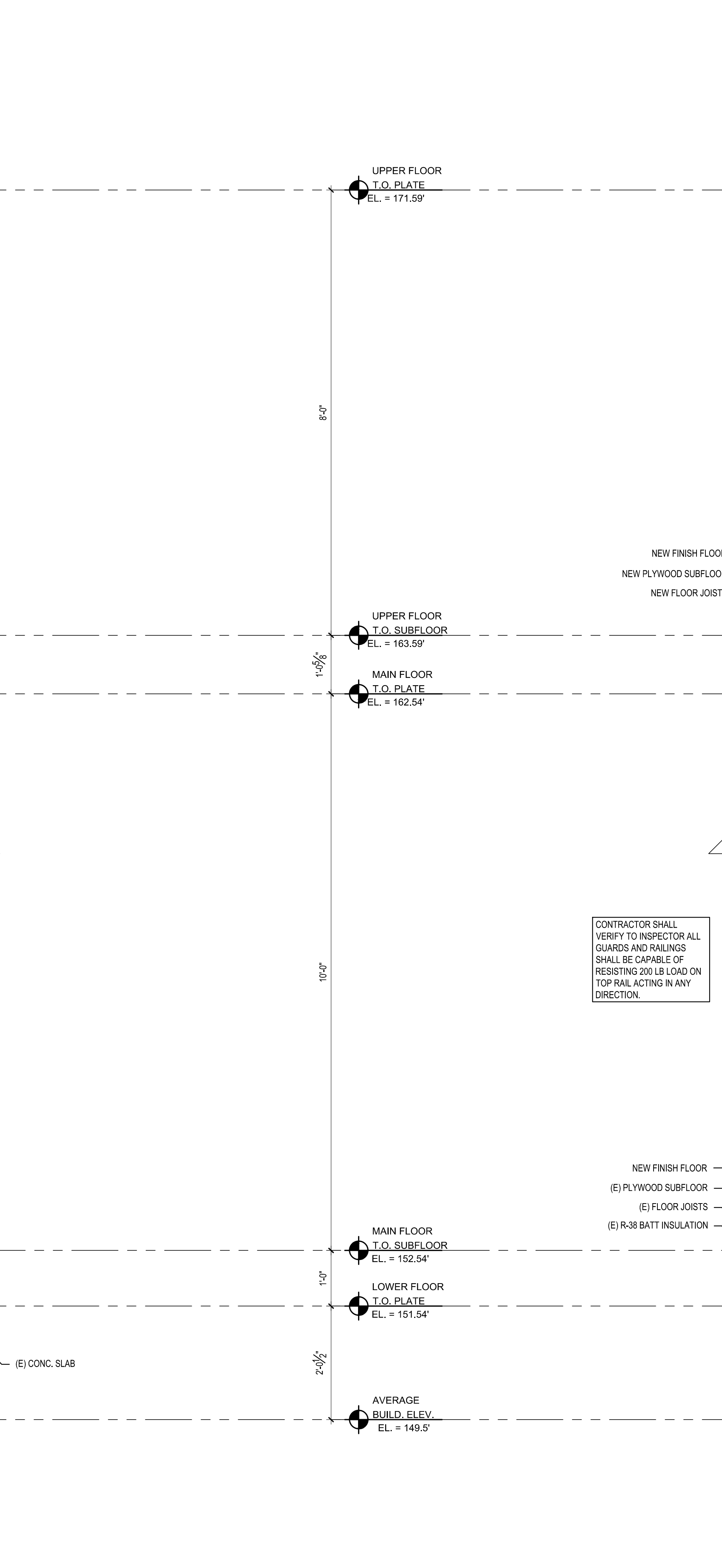
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PERMIT SET 11/06/19

PLOT DATE: 11/5/2019 FILE NAME: OF



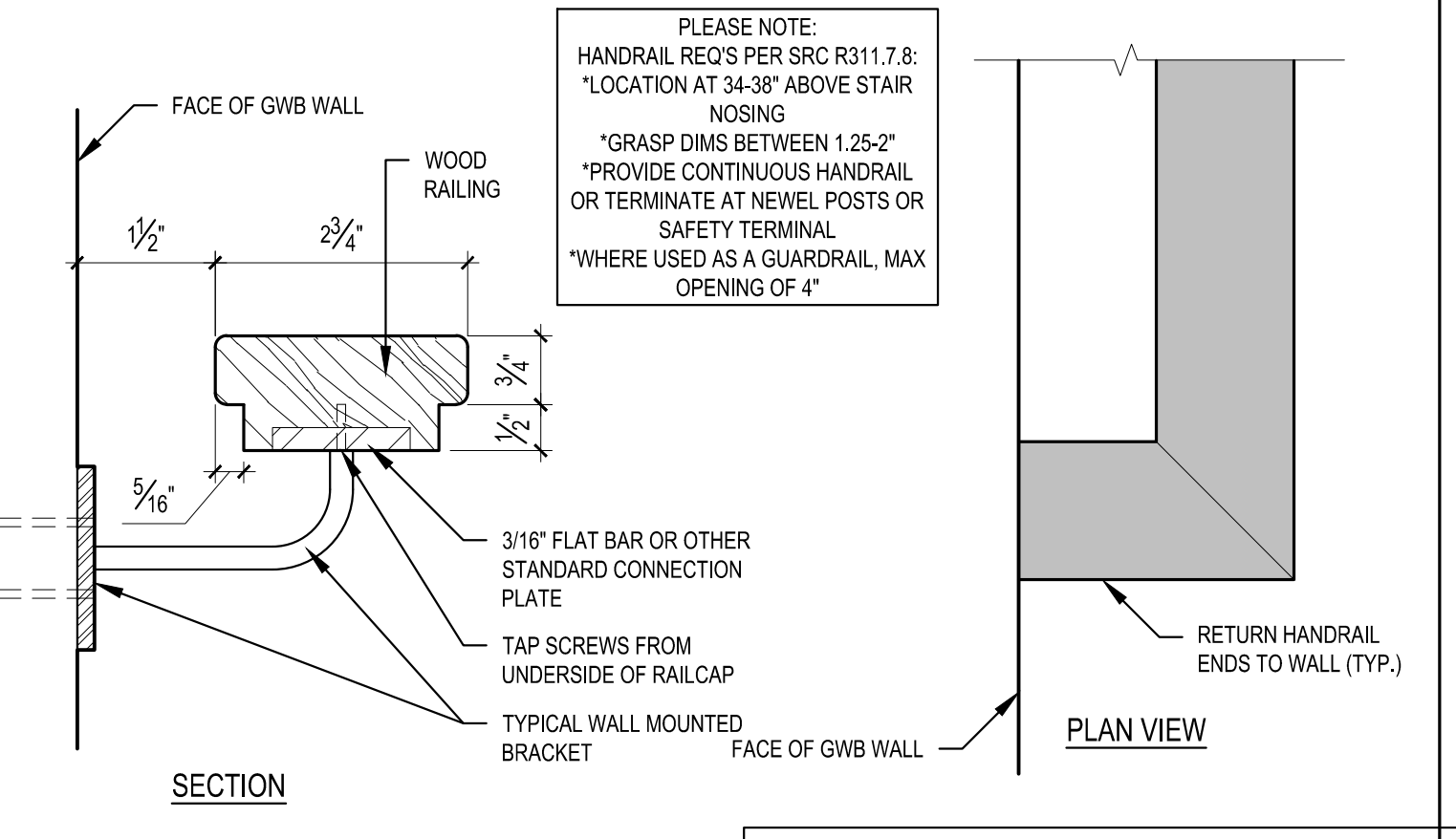
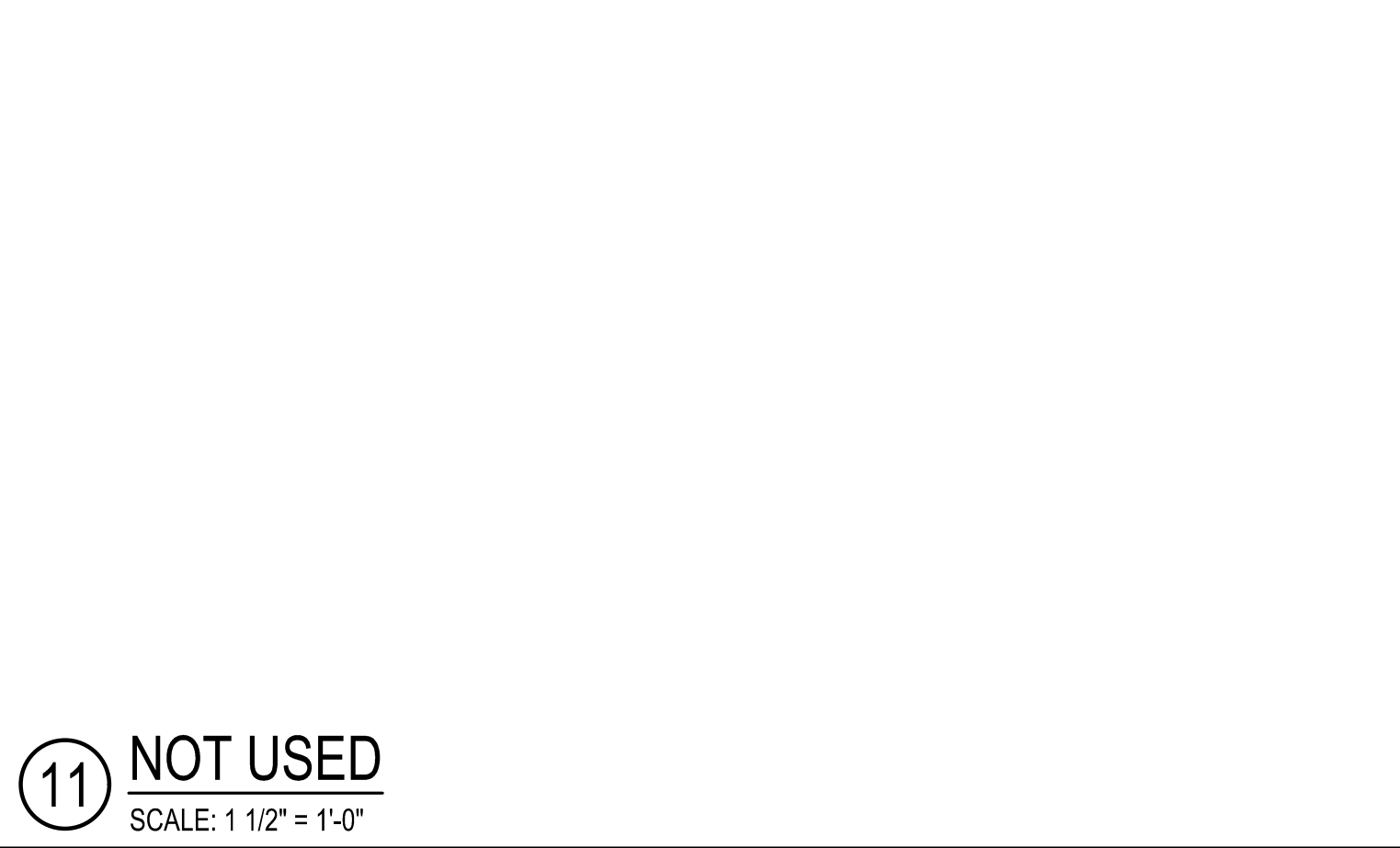
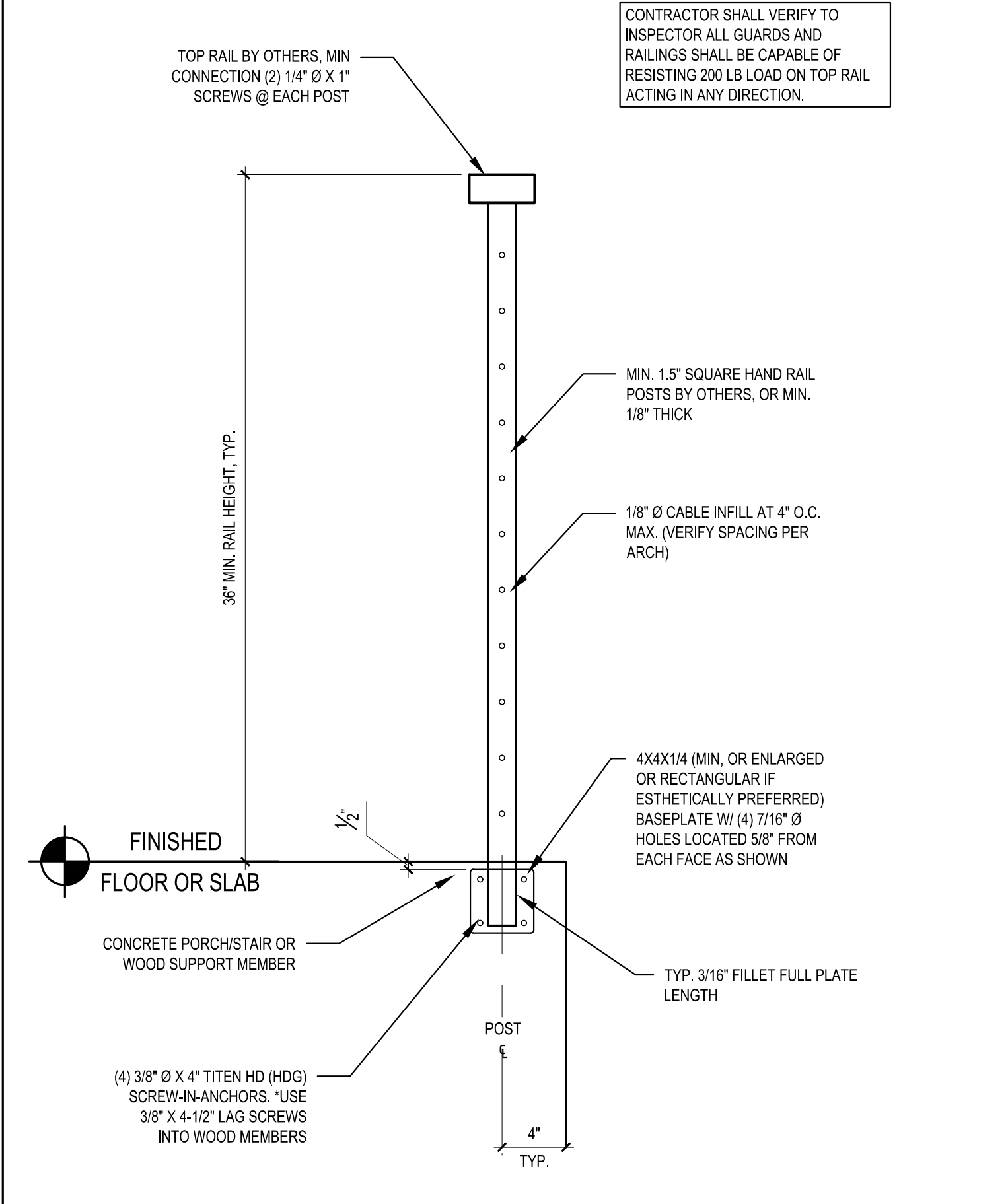
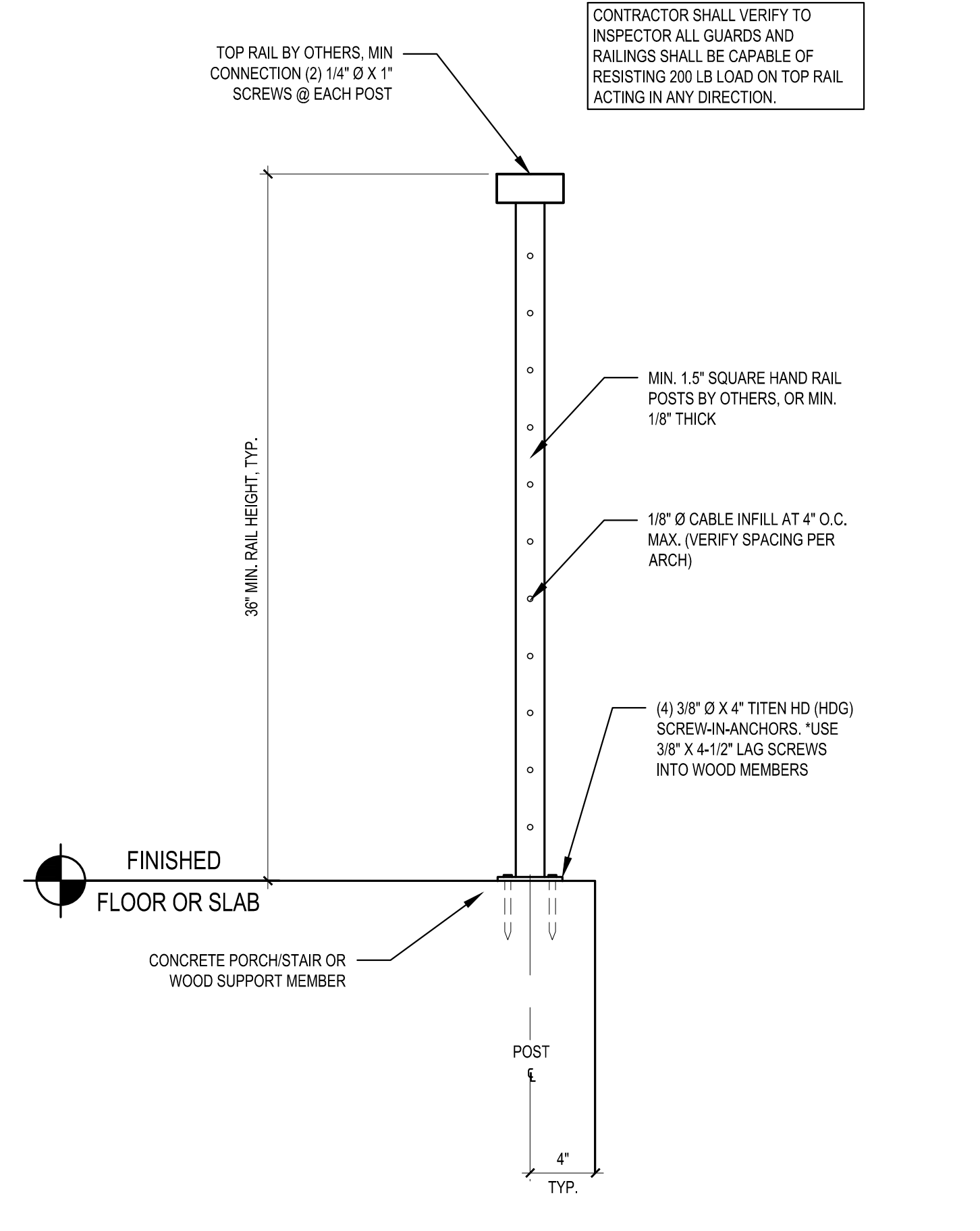
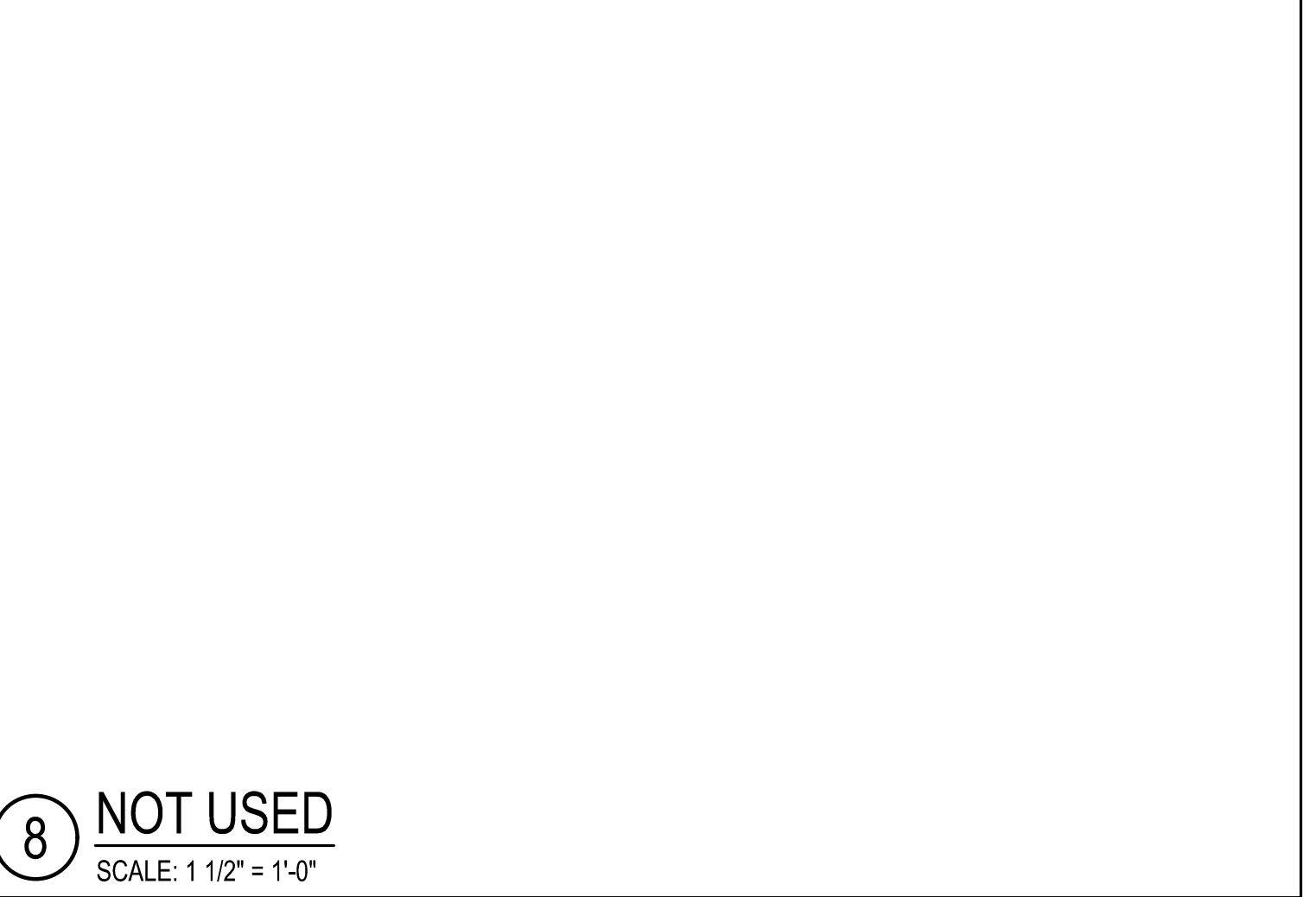
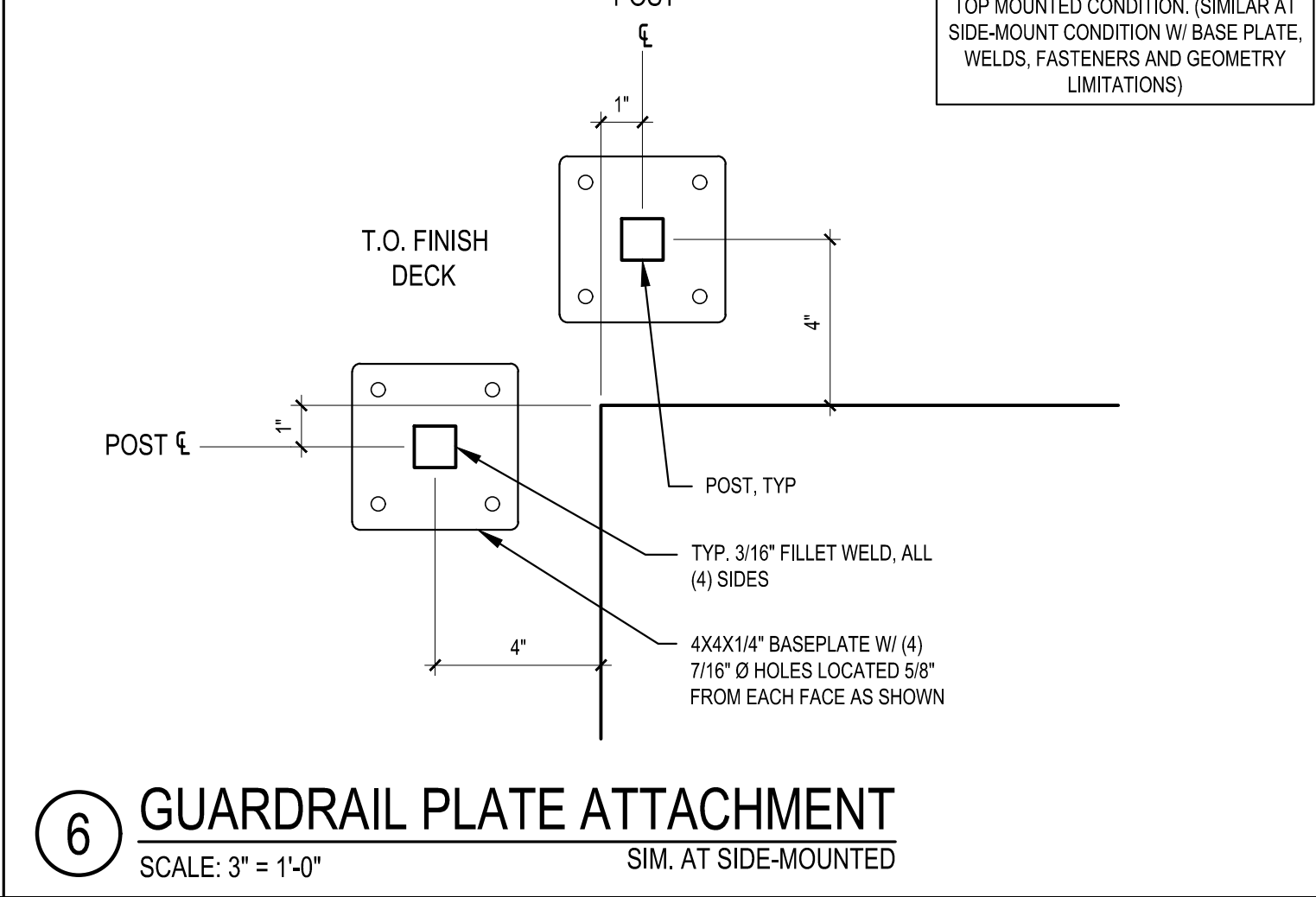
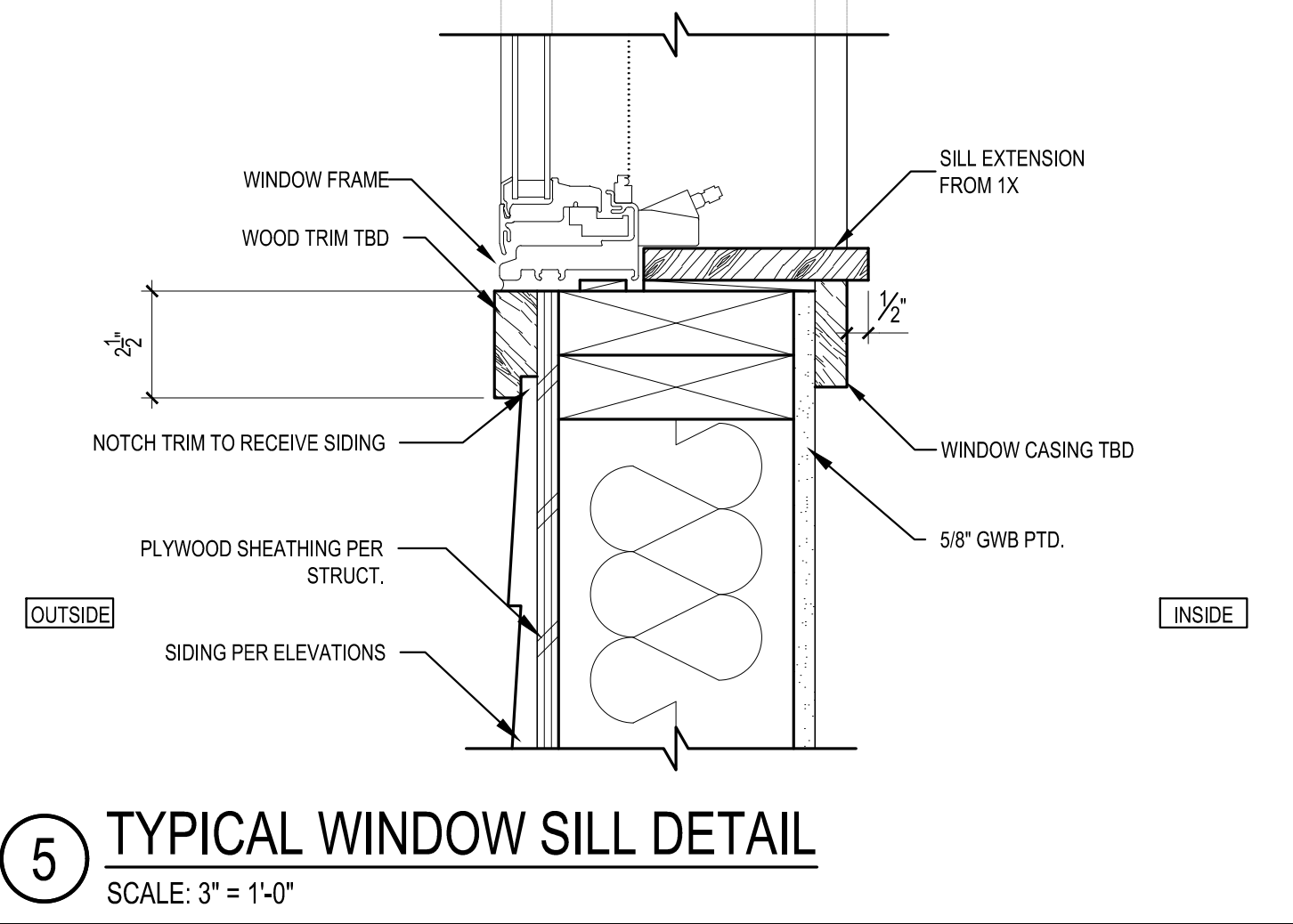
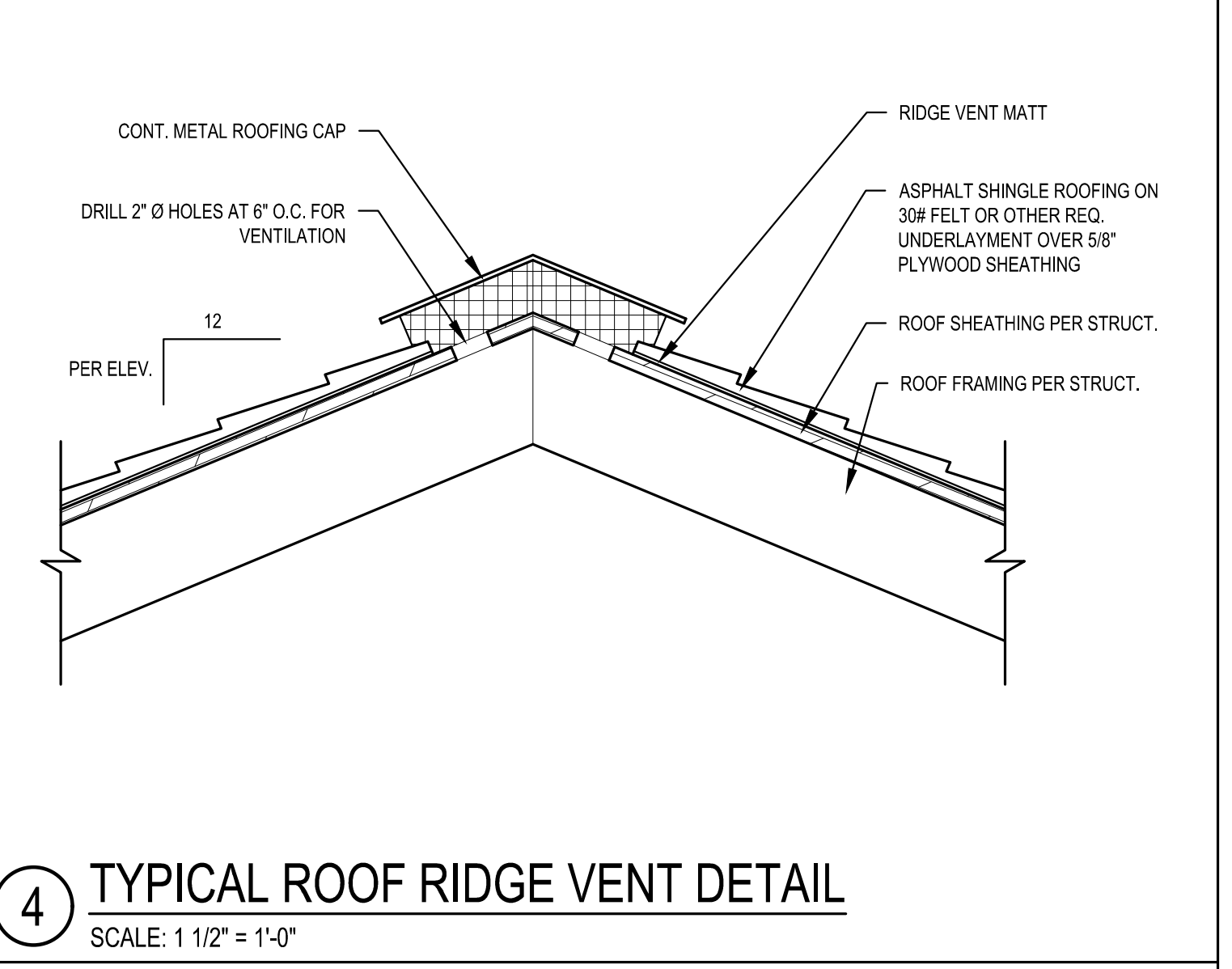
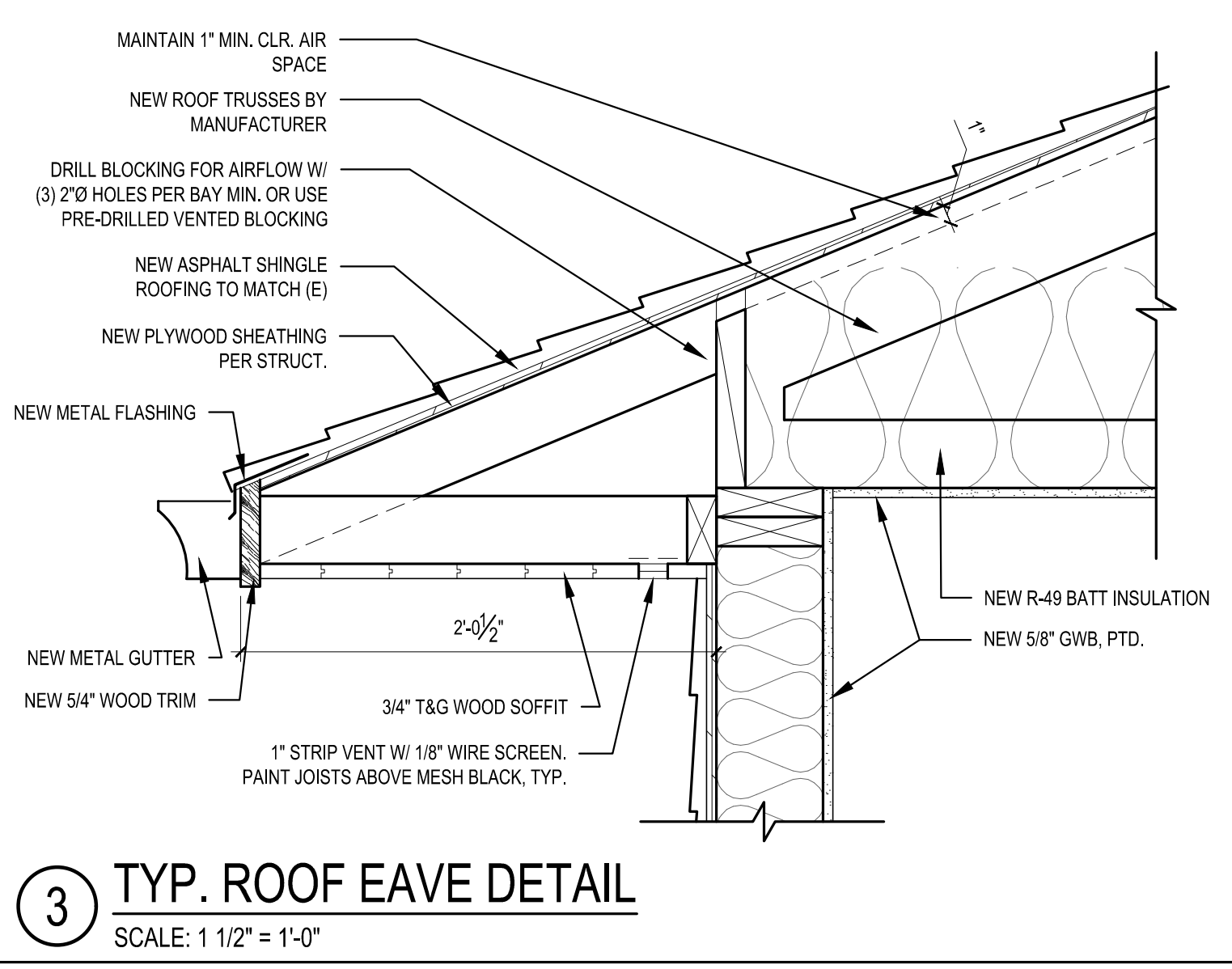
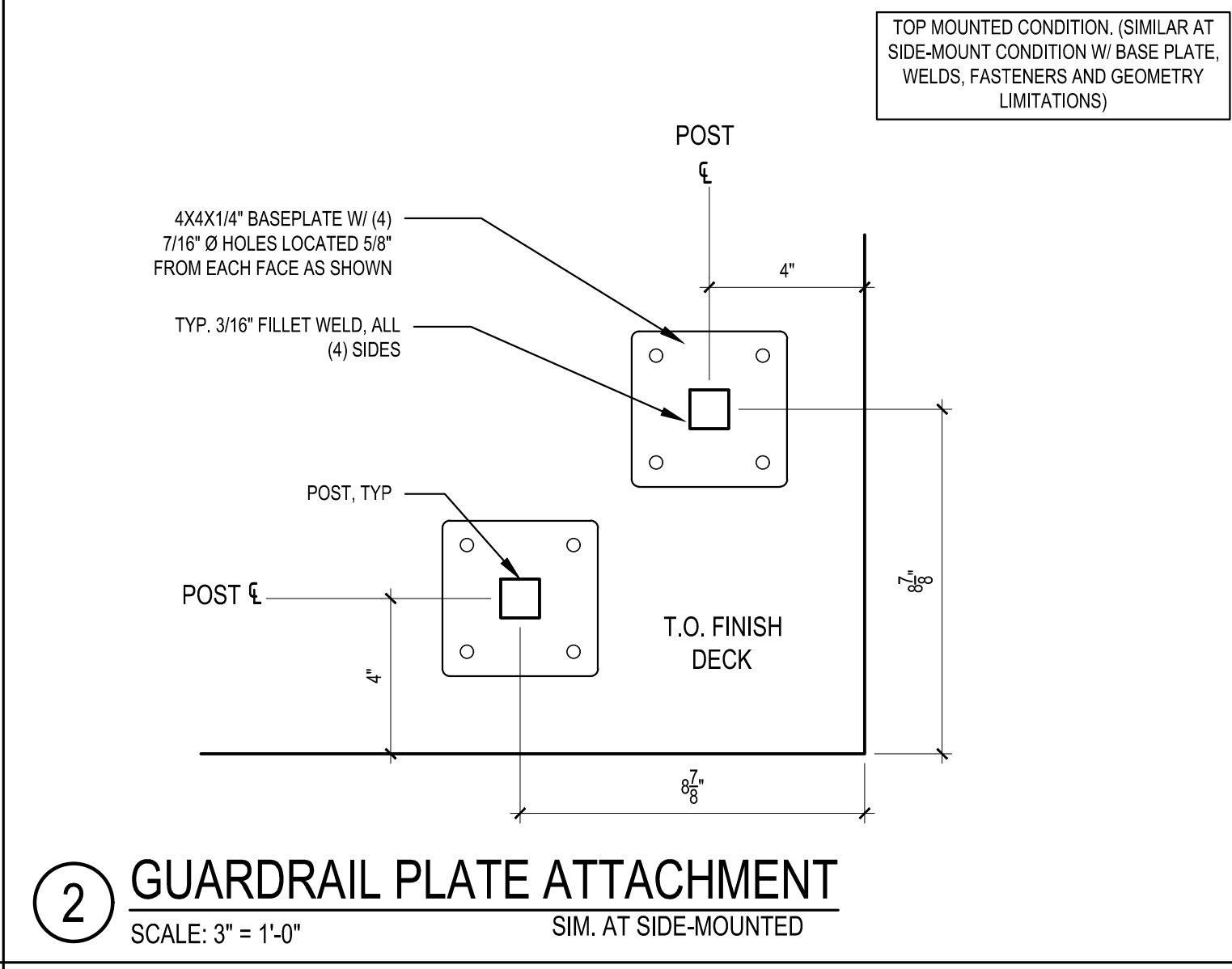
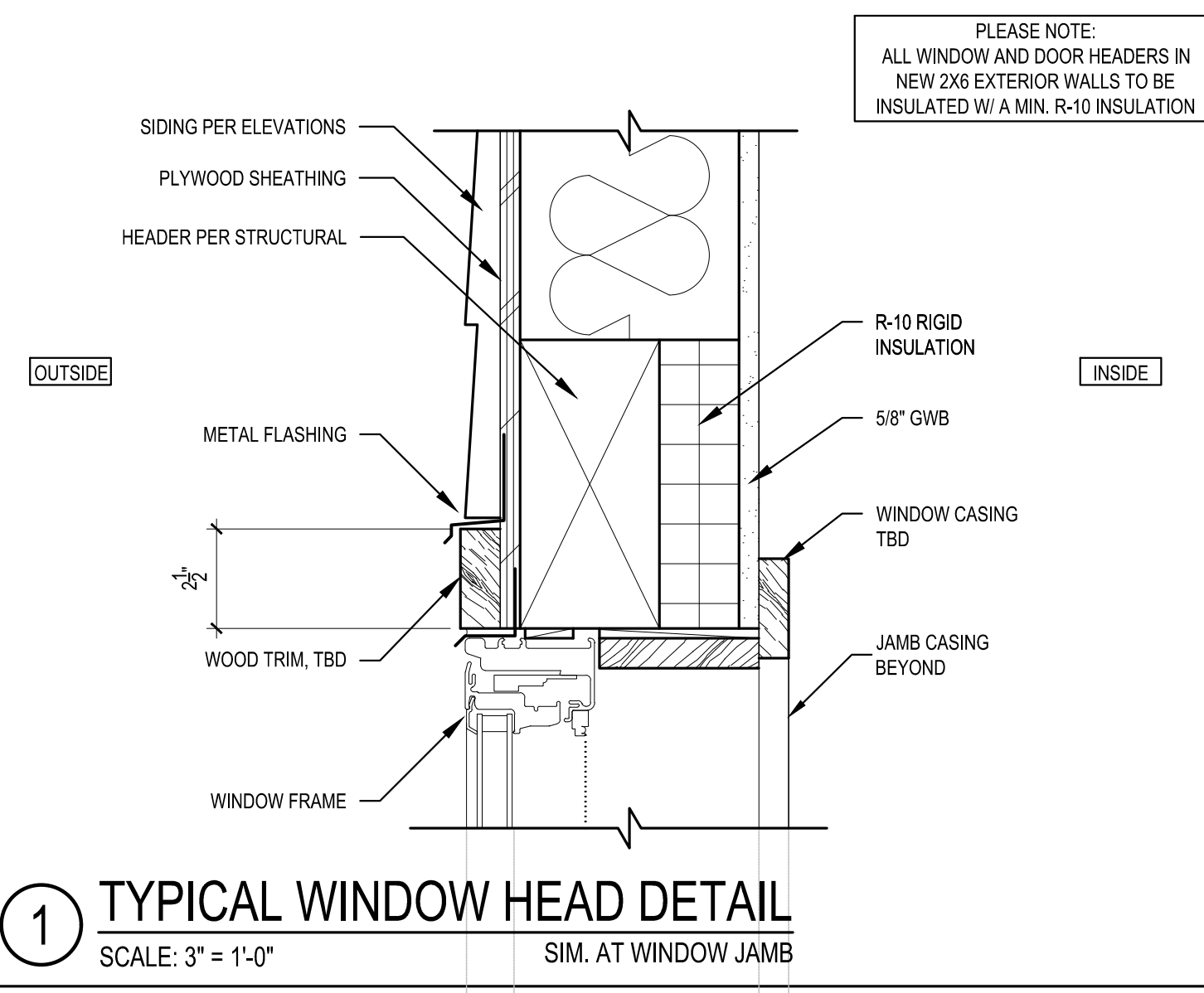
**1 WALL SECTION**  
SCALE: 3/4" = 1'-0"



**2 WALL SECTION**  
SCALE: 3/4" = 1'-0"

CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS AND RAILINGS SHALL BE CAPABLE OF RESISTING 200 LB LOAD ON TOP RAIL ACTING IN ANY DIRECTION.

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY



9 RAILING ATTACHMENT - TOP-MOUNTED  
SCALE: 1-1/2" = 1'-0"

10 RAILING ATTACHMENT - SIDE-MOUNTED  
SCALE: 1-1/2" = 1'-0"

13 NOT USED  
SCALE: 1 1/2" = 1'-0"

14 HANDRAIL DETAIL  
SCALE: 6" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY	
PERMIT SET	11/06/19
PLOT DATE: 11/5/2019	FILE NAME:

**STURMAN ARCHITECTS**

TEL (425) 451-7003

9 103rd Avenue NE  
Suite 203  
Bellevue, WA 98004

5862 REGISTERED ARCHITECT  
BRADLEY J. STURMAN  
STATE OF WASHINGTON

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**MARSHALL RESIDENCE  
PERMIT SET**

**4307 EAST MERCER WAY  
MERCER ISLAND, WA 98040**

**EXTERIOR DETAILS**

REVISIONS:	2019-5-30 PERMIT CORRECTIONS #1	
	2019-5-30 DESIGN REVISIONS	
	2019-10-09 PERMIT CORRECTIONS	
	2019-11-14 DESIGN REVISIONS	
DRAWN BY:	KE	
CHECKED BY:	BS	
SHEET		
<b>A6.0</b>		
		OF









10/24/19

DRAWN:	CFG
DESIGN:	VMB
CHECKED:	ABB
APPROVED:	ABB

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

**Marshall Residence**  
4307 East Mercer Way  
Mercer Island, WA 98040

Phase 2

ARCHITECT:  
**Sturman Architects**  
9 103rd Ave NE Suite 203  
Bellevue, WA 98004

ISSUE:

**Preliminary**

SHEET TITLE:

**Main Floor  
Framing /  
Foundation Plan**

SCALE:

1/4" = 1'-0" U.N.O.

DATE:

Aug. 20, 2019

PROJECT NO:

10315-2019-02

SHEET NO:

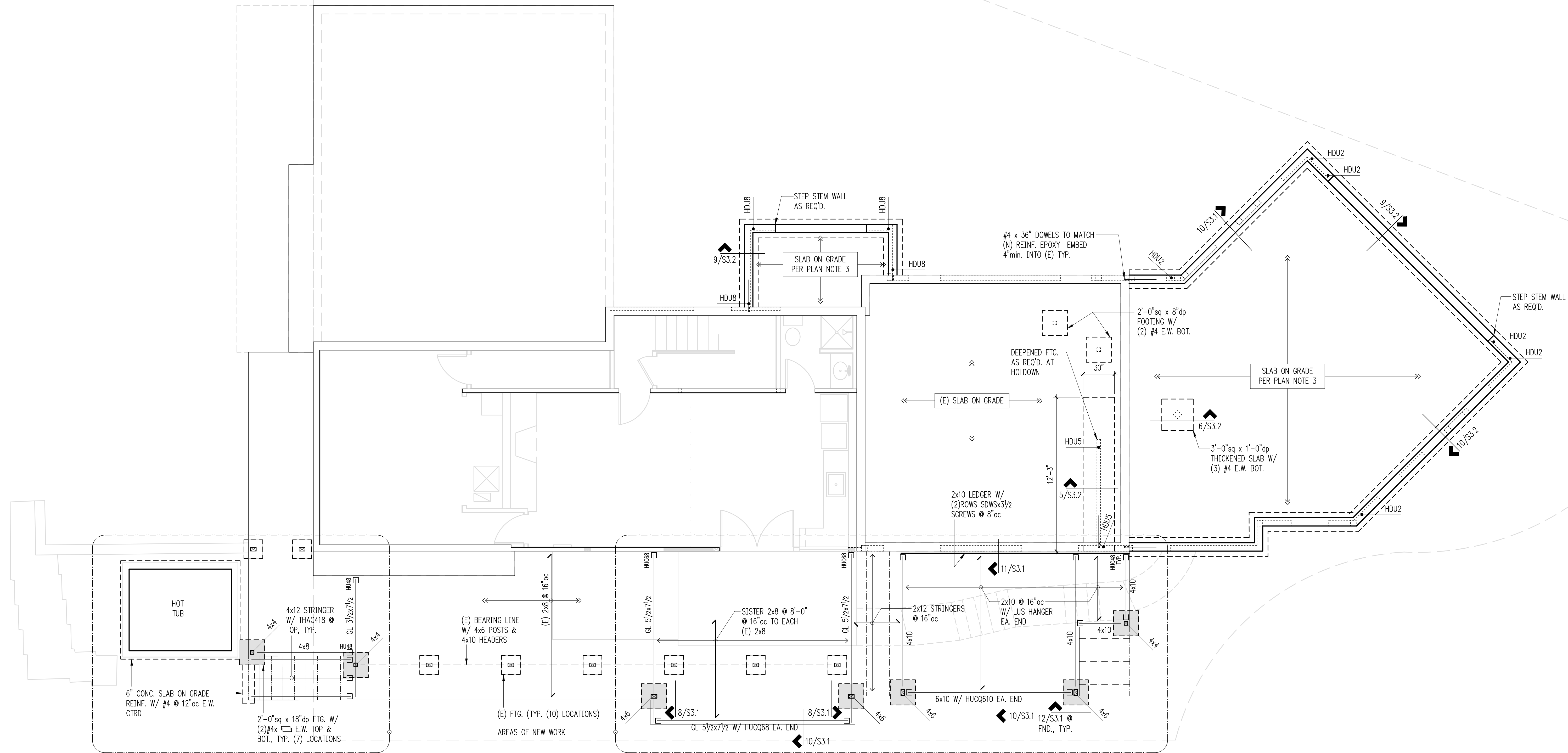
**S2.1**

**Plan Notes**

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE. TOP OF FOOTINGS SHALL BE 8" BELOW TOP OF FLOOR SLAB U.N.O. STEP FOOTINGS AS REQUIRED TO ACCOMMODATE CHANGES IN GRADE PER DETAIL 7/S3.1
- 4" CONCRETE SLAB OVER 10 MIL VAPOR BARRIER ON 4" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. REINFORCE WITH #3 @ 16"OC. EACH WAY. PROVIDE CORNER BARS PER DETAIL 12/S3.1 AT ALL WALL AND FOOTING INTERSECTIONS.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

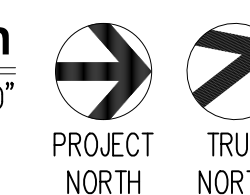
**Legend**

- CONCRETE WALL & FOOTING
- EXISTING STEM WALL & FOOTING
- NON-STRUCTURAL WALL ABOVE
- STRUCTURAL 2x WALL ABOVE
- HOLDDOWN PER 4/S3.1



**Main Floor Framing / Foundation Plan**

Scale: 1/4" = 1'-0"







10/24/19  
 DRAWN: CFG  
 DESIGN: VMB  
 CHECKED: ABB  
 APPROVED: ABB

REVISIONS:  
 \_\_\_\_\_  
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 \_\_\_\_\_  
 JURISDICTIONAL APPROVAL STAMP:  
 \_\_\_\_\_

PROJECT TITLE:  
**Marshall Residence**  
 4307 East Mercer Way  
 Mercer Island, WA 98040  
 Phase 2  
 ARCHITECT:  
 Sturman Architects  
 9 103rd Ave NE Suite 203  
 Bellevue, WA 98004

ISSUE:  
**Preliminary**

SHEET TITLE:  
**Upper Floor Plan**

SCALE:  
 1/4" = 1'-0" U.N.O.  
 DATE:  
 Aug. 20, 2019  
 PROJECT NO:  
 10315-2019-02  
 SHEET NO:

**S2.2**

**Plan Notes**

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). GLUE AND NAIL AT ALL FRAMED PANEL EDGES WITH 8D AT 6" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.
- FLOOR JOISTS SHALL BE PER PLAN.
- HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2)2X10, 4X8, OR 6X6 MINIMUM. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE ON PLANS. SEE DETAIL 10/S4.1 FOR TYPICAL INSTALLATION.
- PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE ACE, PCZ, LCE, OR LPCZ CAP TO FIT.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
- MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- SPLICE ALL TOP PLATE SPLICES PER DETAIL 9/S4.1.
- ALL RAILINGS SHALL BE DESIGNED BY OTHERS FOR 200# CONCENTRATED LOAD ON TOP RAIL & 50 PSF FOR INFILL COMPONENTS. SUBMIT TO ENGINEER & ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

**Legend**

- STRUCTURAL WALL BELOW
- STRUCTURAL WALL ABOVE
- NON-STRUCTURAL WALL BELOW
- EXISTING STRUCTURAL WALL BELOW
- EXTENTS OF FRAMING
- SPAN & DIRECTION OF FRAMING
- EXISTING HEADER/BEAM
- HEADER/BEAM PER PLAN
- HANGER
- SHEARWALL PER SCHEDULE 12/S4.1
- BLOCK DIAPHRAGM W/ 2x FLAT BLOCKING 8d @ 4"oc
- OVERFRAMING PER 4/S4.2

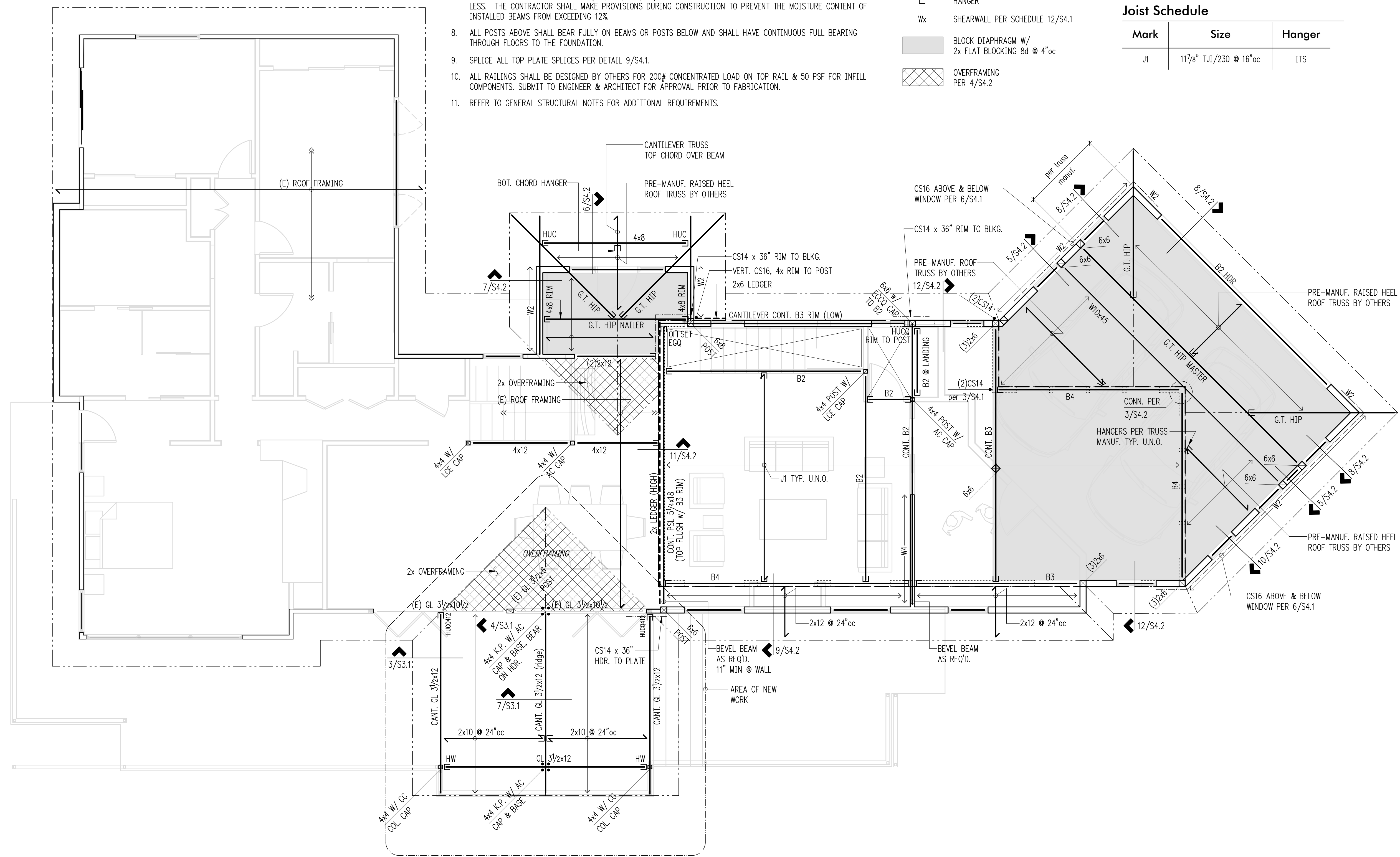
**Beam Schedule**

Mark	Size	Hanger * U.N.O.	Min. Brg. Studs or Post Each End U.N.O.
B1	LSL 1 3/4x11 7/8	HUCQ/HU	(2) STUDS
B2	LSL 3/2x11 7/8	HUCQ/HGUS	4x4/4x6
B3	PSL 5/4x11 7/8	HUCQ/HGUS	4x6/6x6
B4	PSL 7x11 7/8	HGUS	4x8/6x6

\* USE HU/HGUS AT INTERIOR CONDITIONS AND HUCQ AT CORNER CONDITIONS

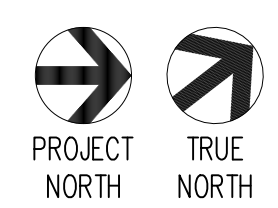
**Joist Schedule**

Mark	Size	Hanger
J1	11 7/8" TJI/230 @ 16"oc	ITS



**Upper Floor Framing/ Low Roof Plan**

Scale: 1/4" = 1'-0"





10/24/19

DRAWN:	CFG
DESIGN:	VMB
CHECKED:	ABB
APPROVED:	ABB

REVISIONS:	

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:  
**Marshall Residence**  
 4307 East Mercer Way  
 Mercer Island, WA 98040

Phase 2

ARCHITECT:  
**Sturman Architects**  
 9 103rd Ave NE Suite 203  
 Bellevue, WA 98004

ISSUE:  
**Preliminary**

SHEET TITLE:  
**Roof Farming Plan**

SCALE:  
 1/4" = 1'-0" U.N.O.  
 DATE:  
 Aug. 20, 2019  
 PROJECT NO:  
 10315-2019-02  
 SHEET NO:

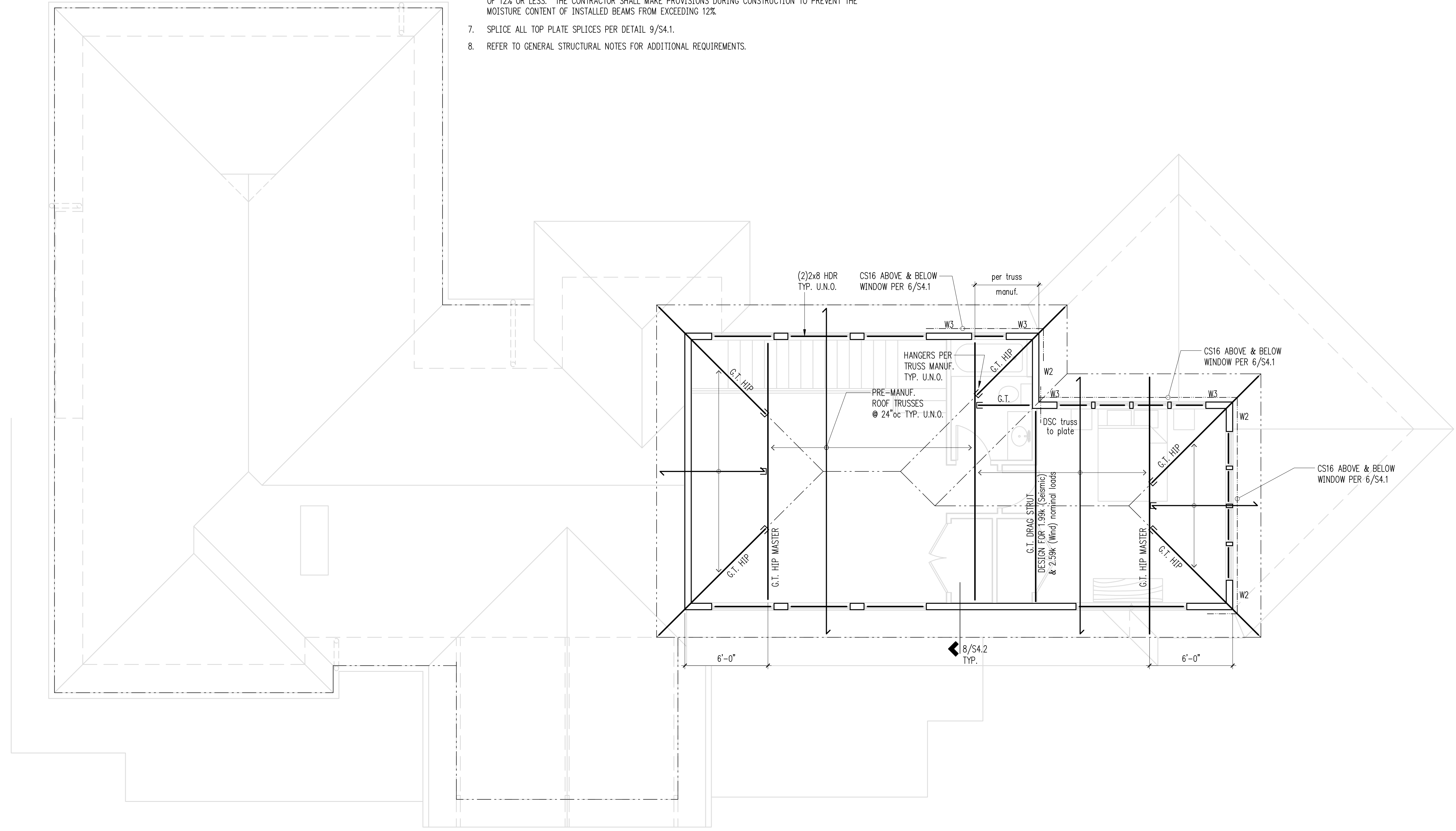
**S2.3**

**Plan Notes**

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- ROOF SHEATHING SHALL BE 3/4" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8D AT 6" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.
- HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2)2X10, 4X8, OR 6X6 MINIMUM. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE ON PLANS. SEE DETAIL 10/S4.1 FOR TYPICAL INSTALLATION.
- PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE ACE, PCZ, LCE, OR LPCZ CAP TO FIT.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
- MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- SPLICE ALL TOP PLATE SPLICES PER DETAIL 9/S4.1.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

**Legend**

- STRUCTURAL WALL BELOW
- NON-STRUCTURAL WALL BELOW
- EXTENTS OF FRAMING
- SPAN & DIRECTION OF FRAMING
- HEADER/BEAM PER PLAN
- HANGER
- SHEARWALL PER SCHEDULE 12/S4.1



**Roof Framing Plan**  
 Scale: 1/4" = 1'-0"





DRAWN: CFG  
 DESIGN: VMB  
 CHECKED: ABB  
 APPROVED: ABB

REVISIONS:


JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:  
**Marshall Residence**  
 4307 East Mercer Way  
 Mercer Island, WA 98040

Phase 2

ARCHITECT:  
**Sturman Architects**  
 9 103rd Ave NE Suite 203  
 Bellevue, WA 98004

ISSUE:  
**Preliminary**

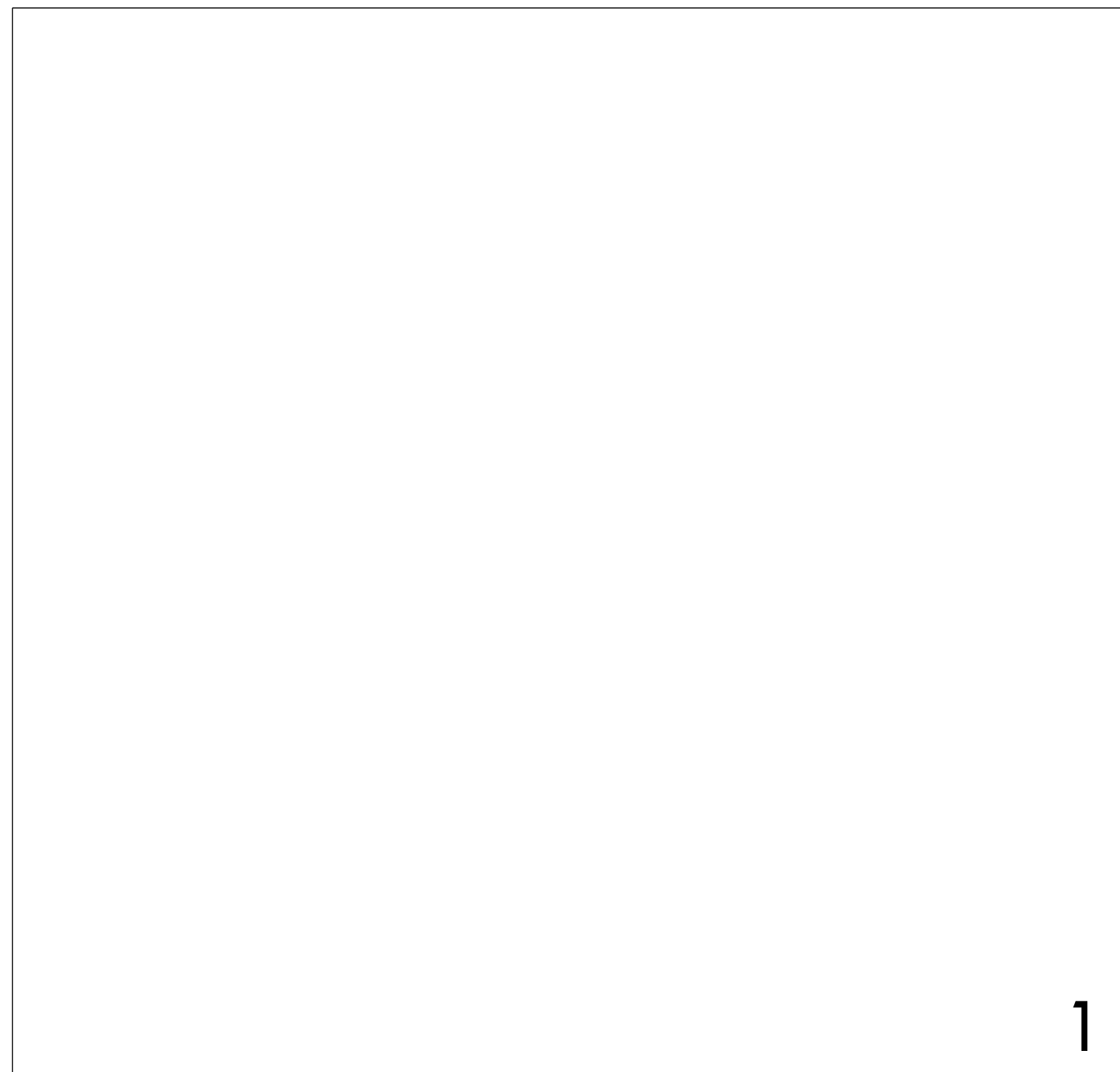
DETAILS

SCALE:  
 3/4" = 1'-0" U.N.O.

DATE:  
 Aug. 20, 2019

PROJECT NO:  
 10315-2019-02

SHEET NO:



1



5



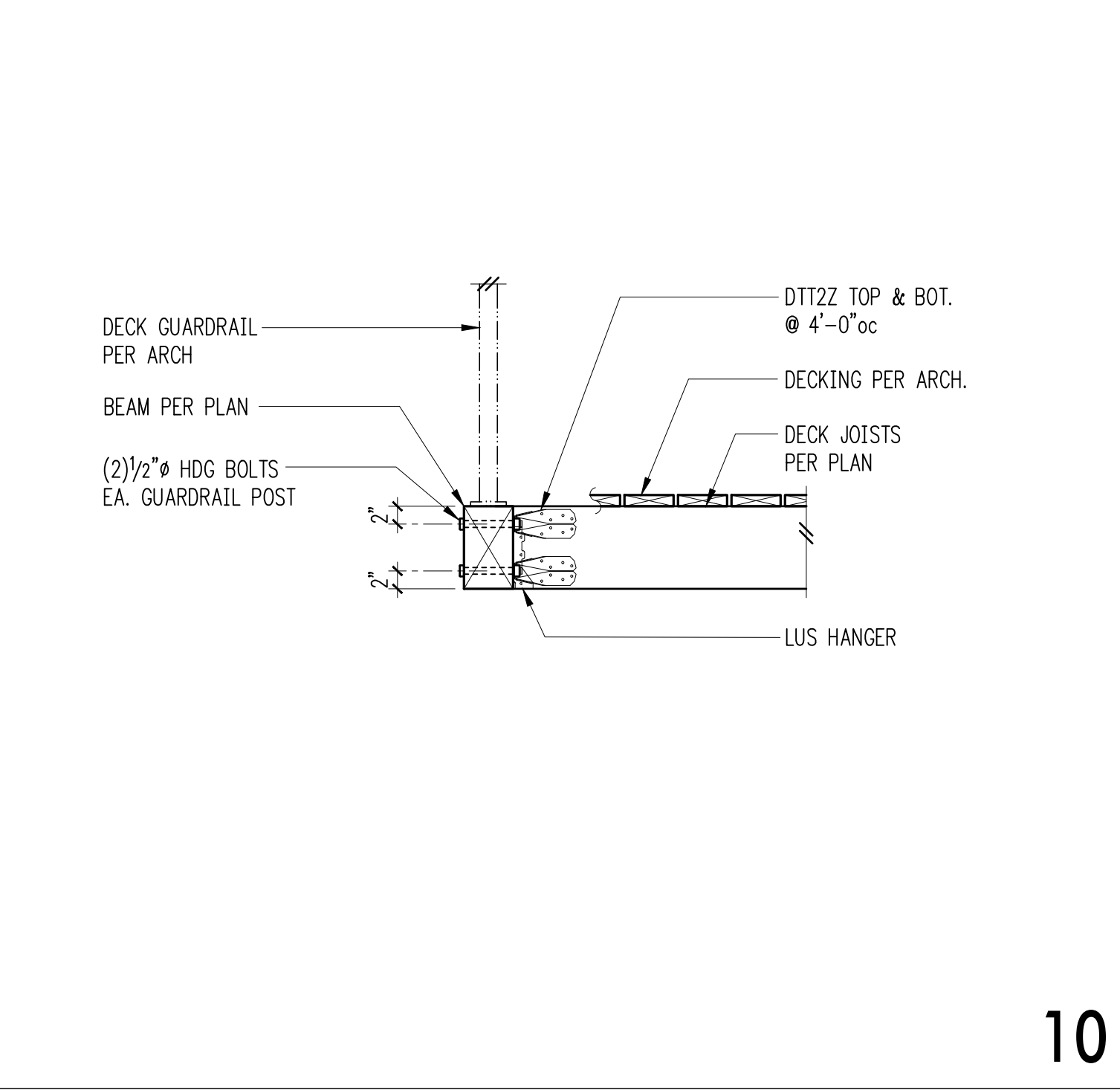
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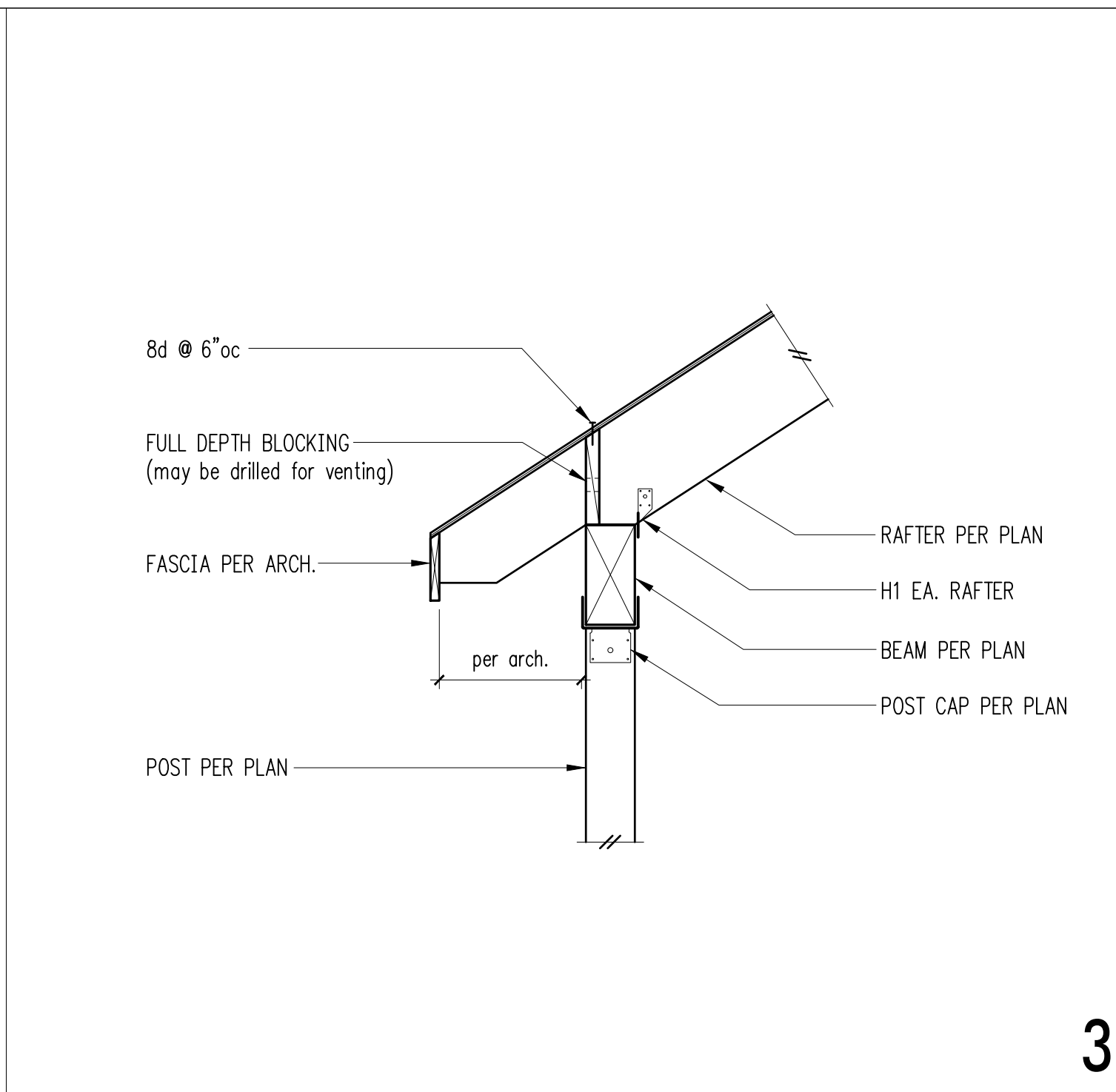
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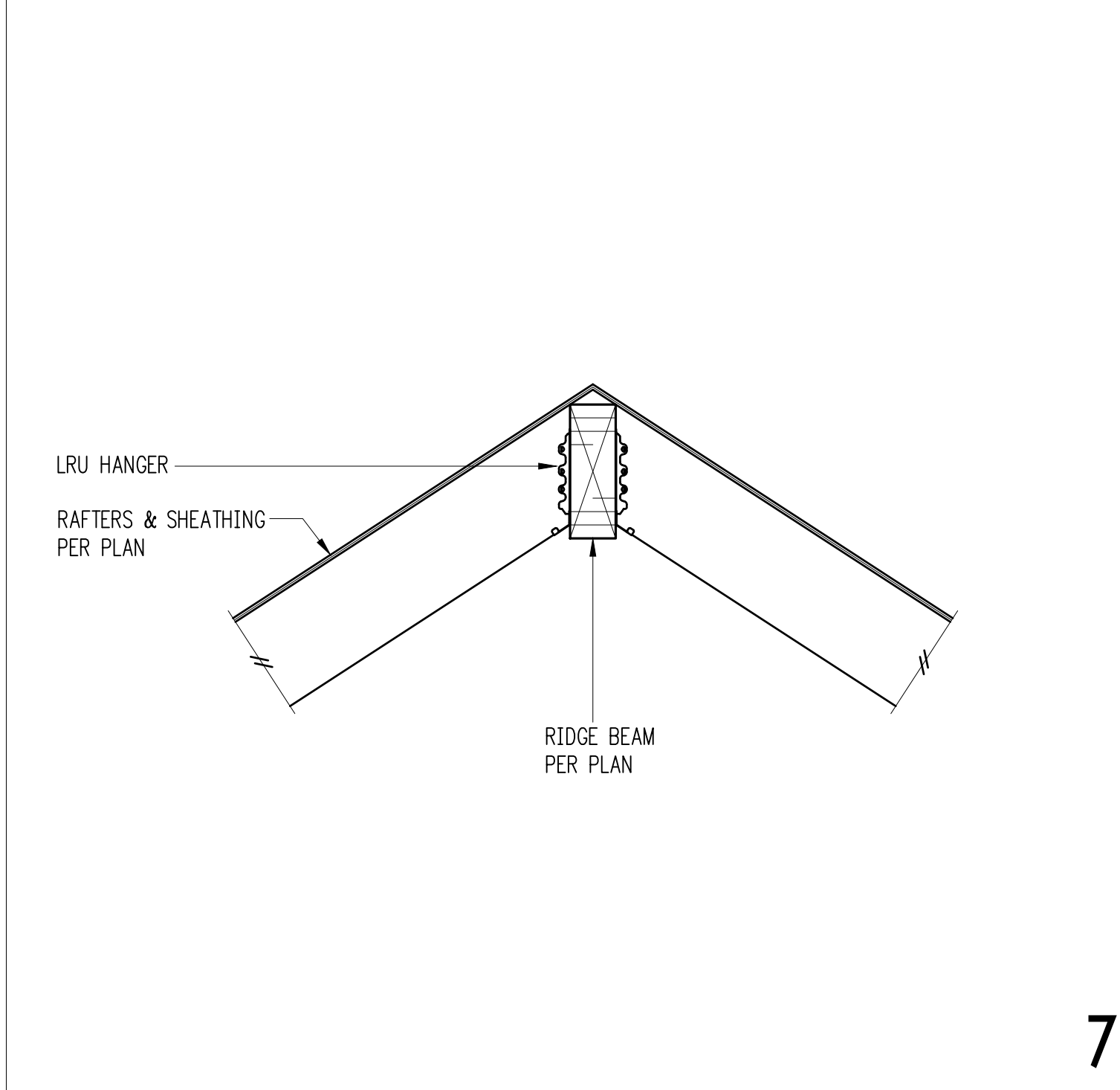
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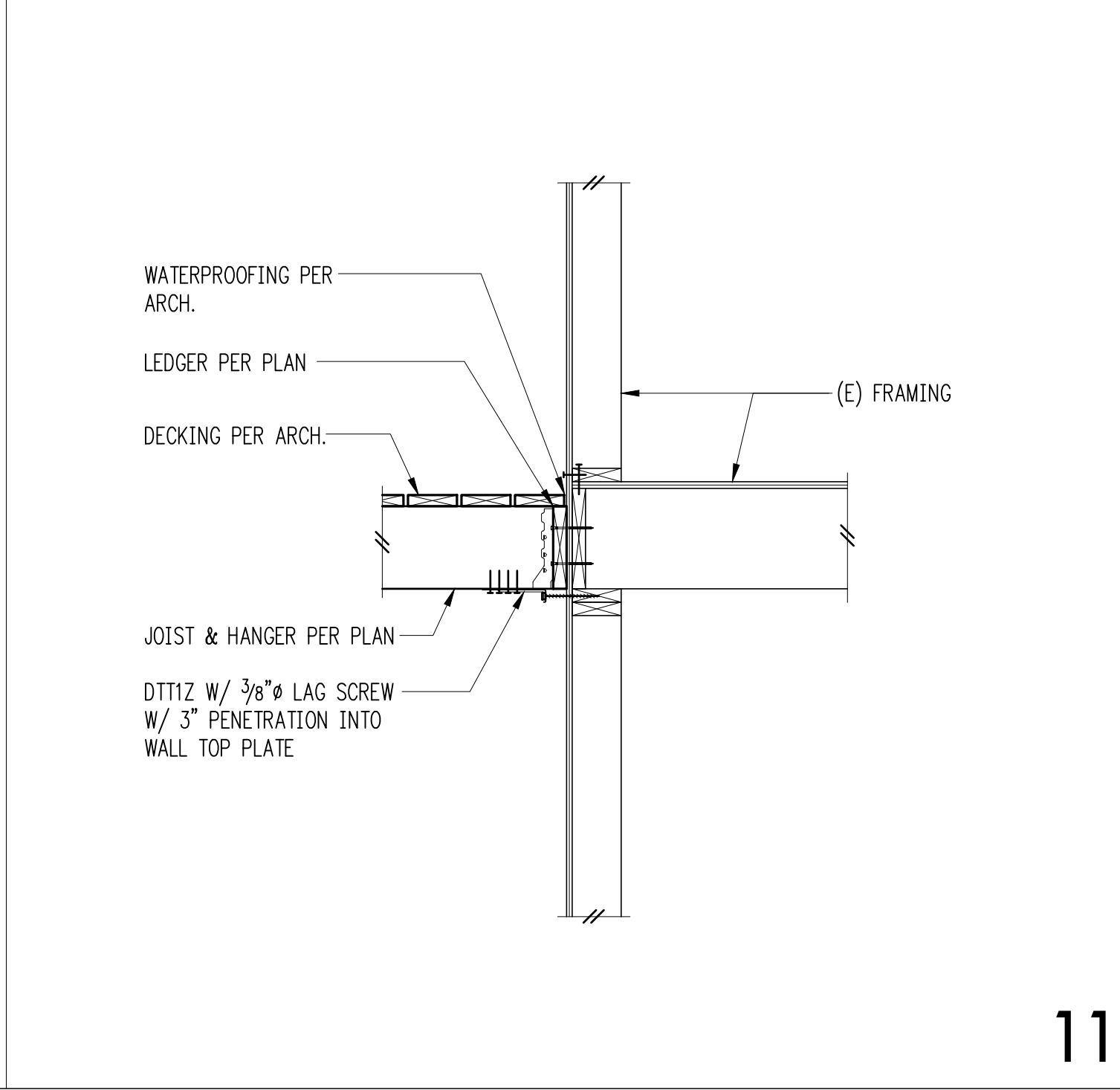
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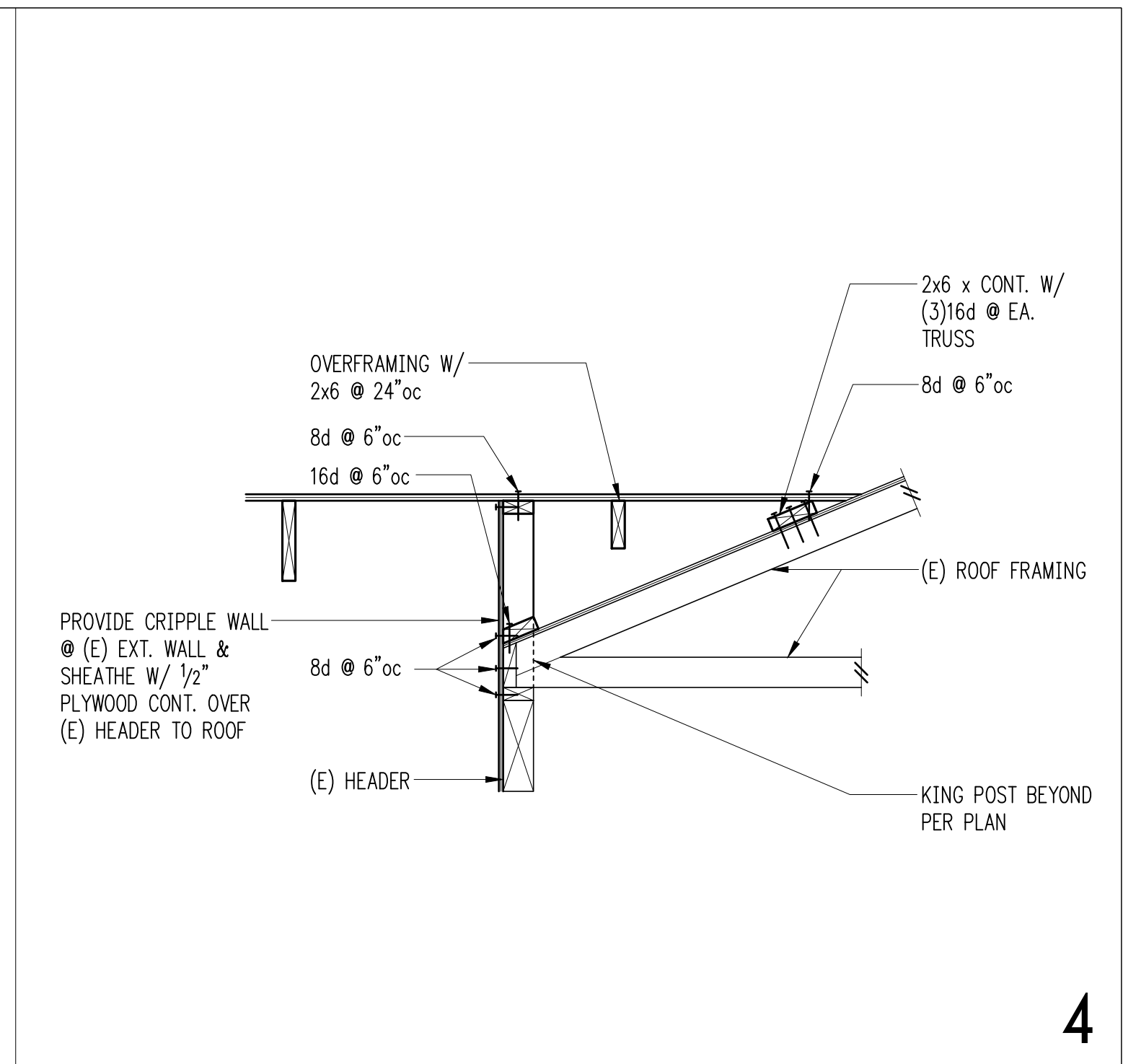
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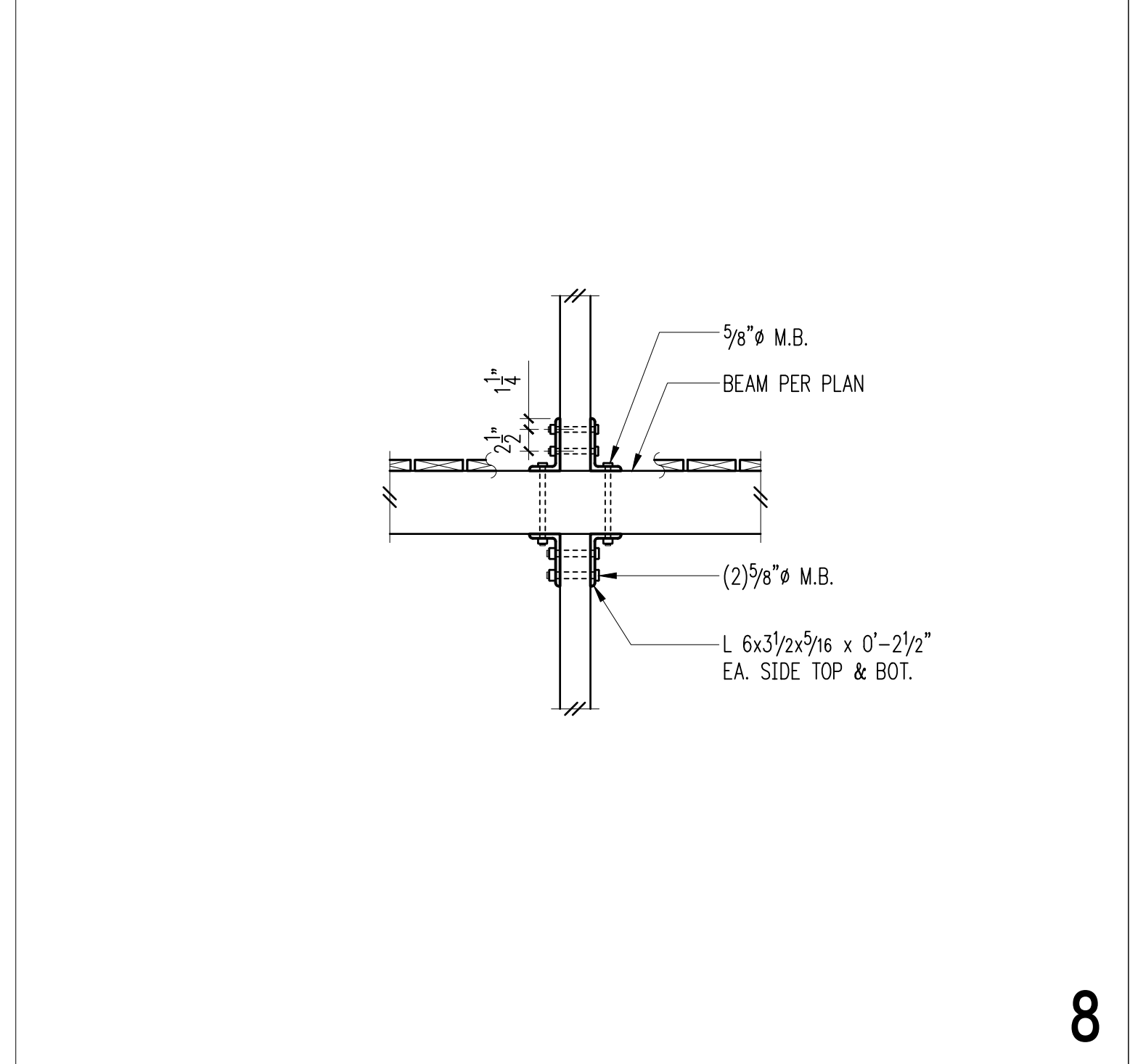
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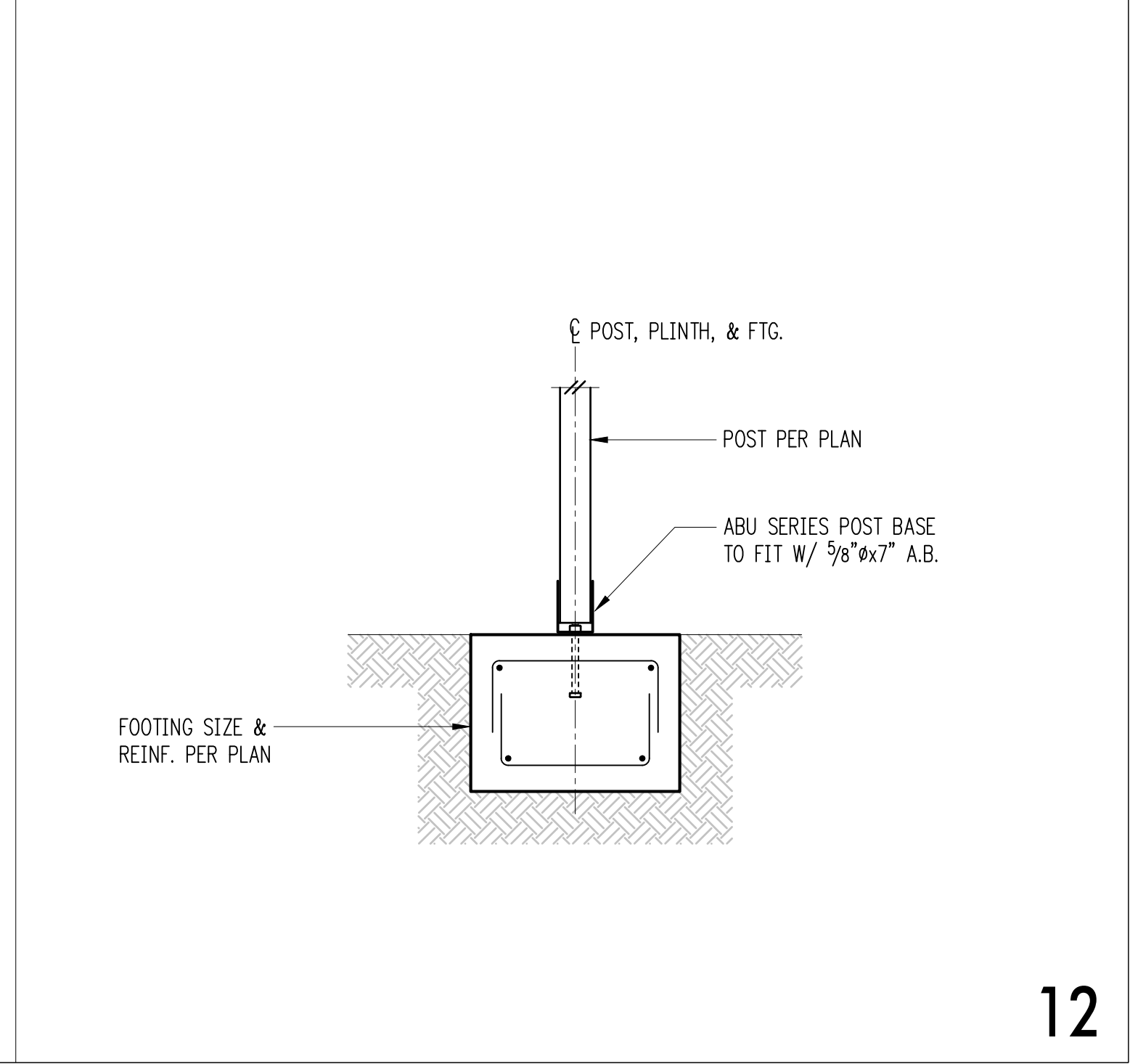
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4



8



12







10/24/19

DRAWN: CFG  
 DESIGN: VMB  
 CHECKED: ABB  
 APPROVED: ABB

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:  
**Marshall Residence**  
 4307 East Mercer Way  
 Mercer Island, WA 98040

Phase 2

ARCHITECT:  
**Sturman Architects**  
 9 103rd Ave NE Suite 203  
 Bellevue, WA 98004

ISSUE:  
**Preliminary**

SHEET TITLE:  
**General Wood Framing Details**

SCALE:  
 3/4" = 1'-0" U.N.O.  
 DATE:  
 Aug. 20, 2019  
 PROJECT NO:  
 10315-2019-02  
 SHEET NO:

**S4.1**

1

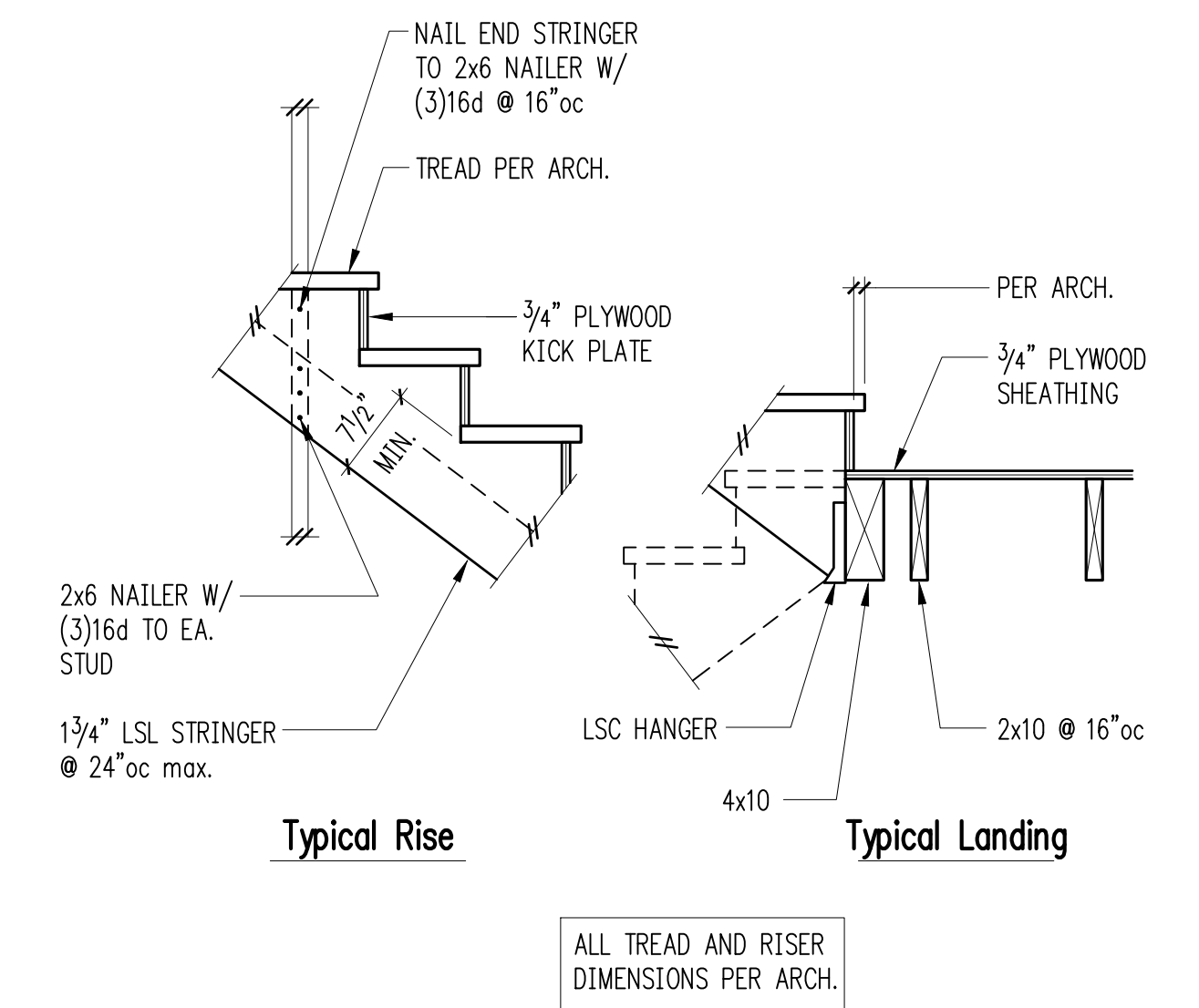
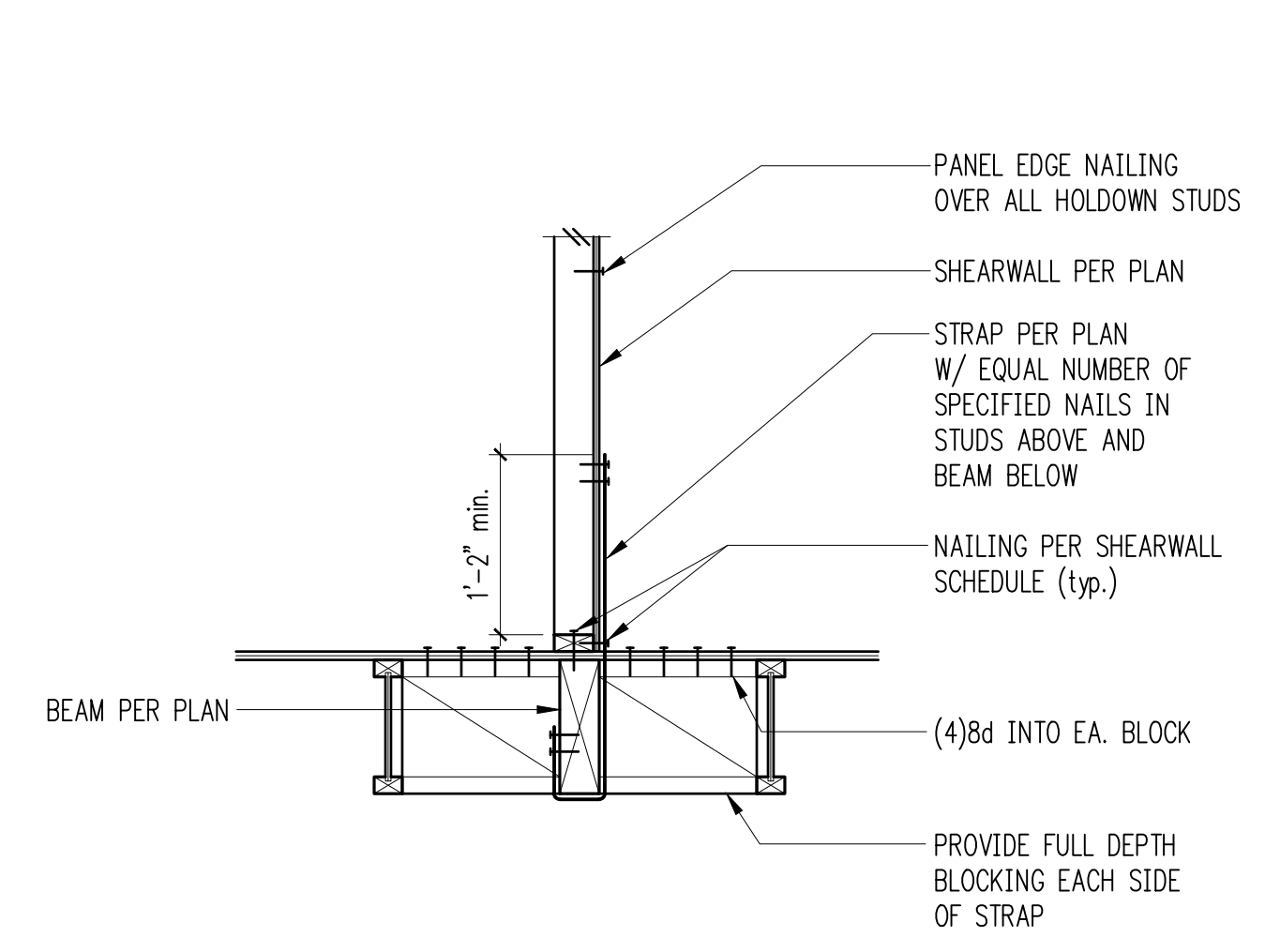
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CS Holdown at Floor Beam Parallel (w/TJI) - CS16 Strap

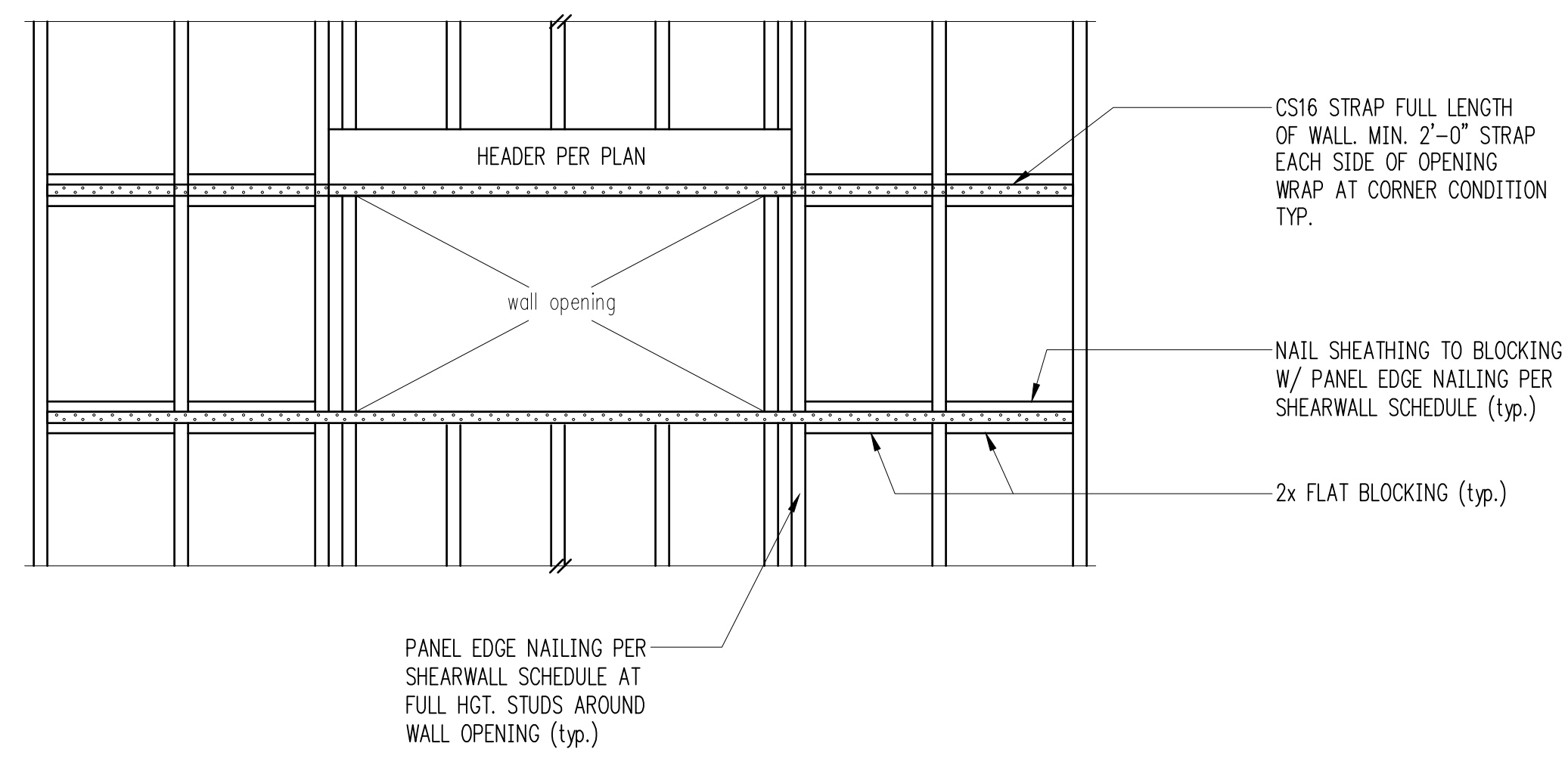
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Typical Stair and Landing Detail

4

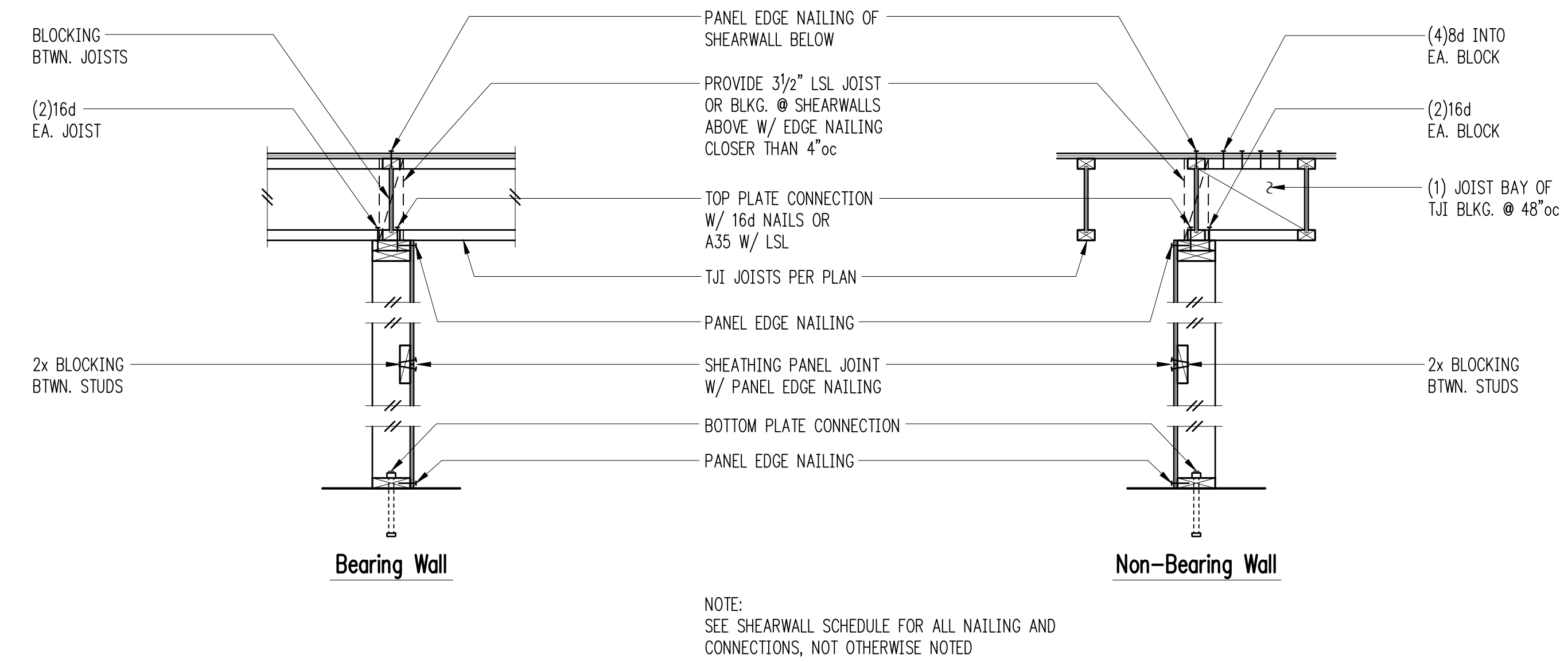


ALL TREAD AND RISER DIMENSIONS PER ARCH.



Continuous Straps at Wall Opening (above and below)

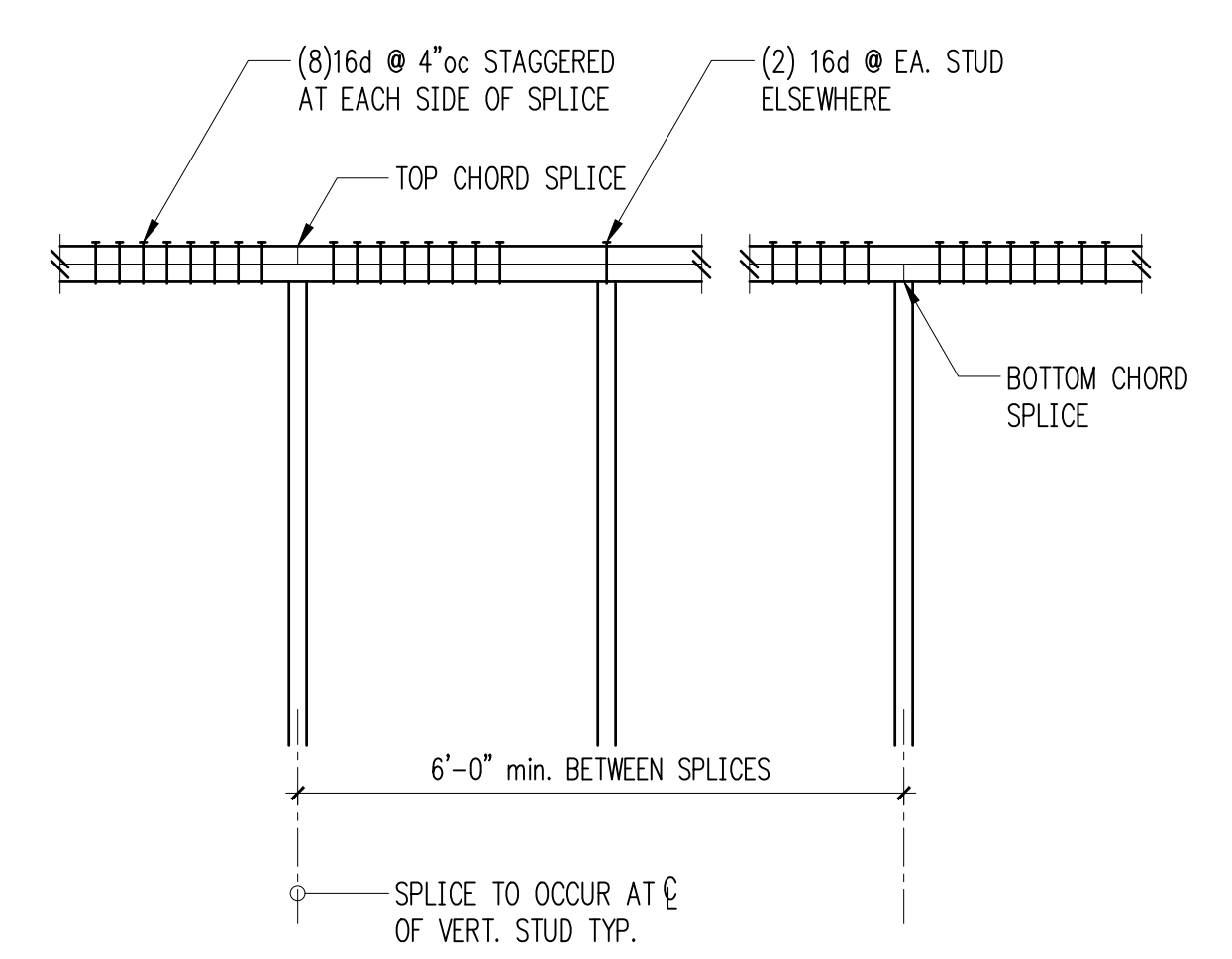
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NOTE:  
 SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, NOT OTHERWISE NOTED

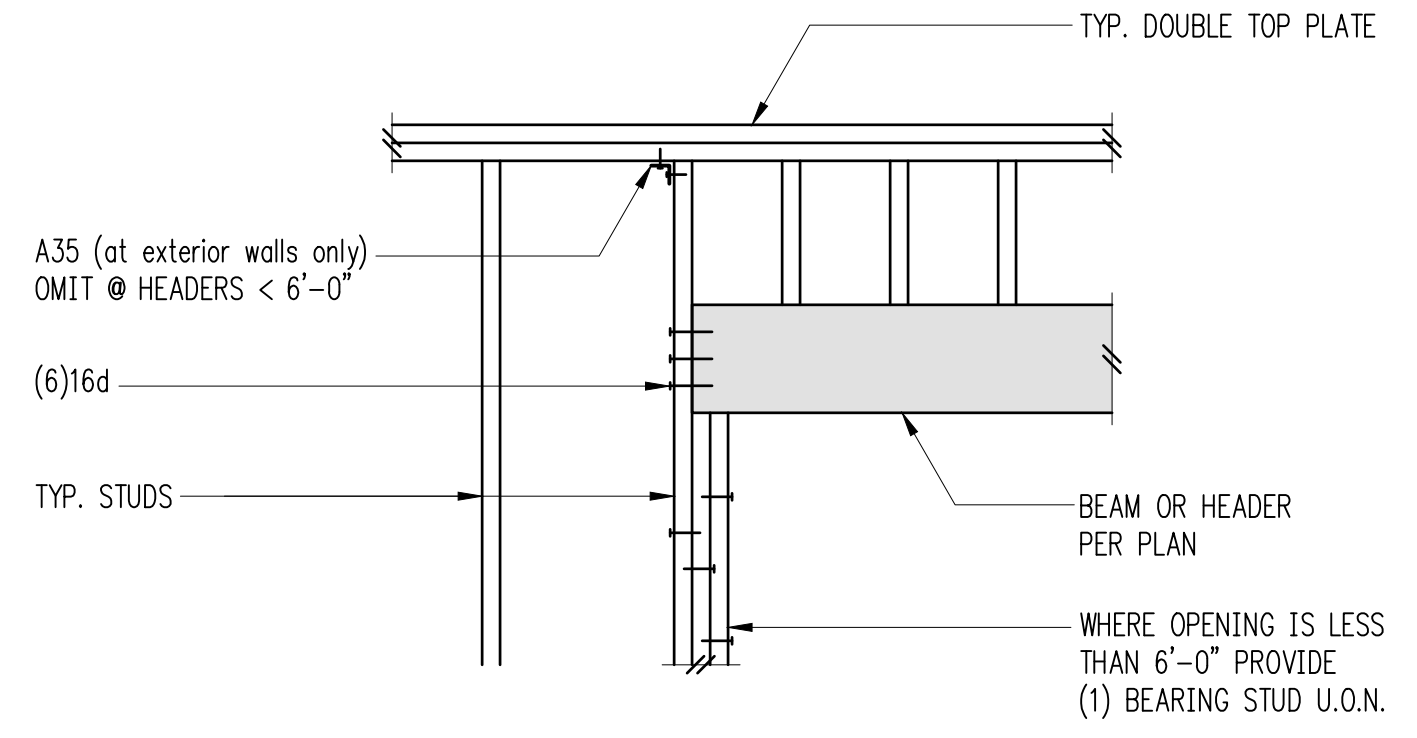
Typical Shearwall Construction

8



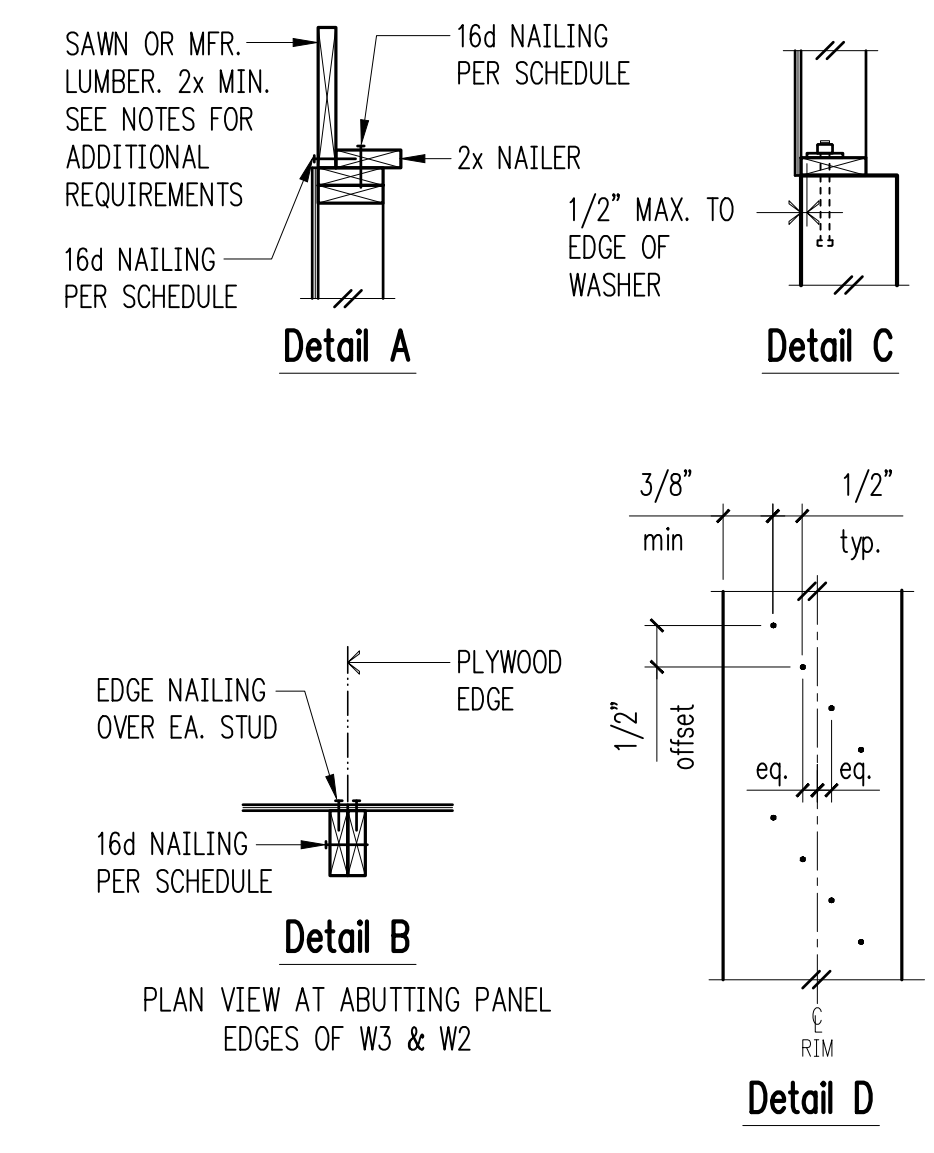
Typical Top Plate Splice

9



Typical Header Support

10



Shearwall Schedule

Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection	
			if TJI	if Wood	at Wood	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	5/8" A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc	(2)rows 16d @ 6"oc	5/8" A.B. @ 32"oc
W3	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc	(2)rows 16d @ 6"oc	5/8" A.B. @ 24"oc
W2	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc	(2)rows 16d @ 4"oc	5/8" A.B. @ 16"oc

- BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"oc.
- 8d NAILS SHALL BE 0.131"ø x 2 1/2" (common) - 16d NAILS SHALL BE 0.135"ø x 3 1/2" (box)
- EMBED ANCHOR BOLTS AT LEAST 7". EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
- 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX.
- LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
- PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.

Shearwall Schedule - (Sheathed One Side)

12



DRAWN: CFG  
 DESIGN: VMB  
 CHECKED: ABB  
 APPROVED: ABB

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:  
**Marshall Residence**  
 4307 East Mercer Way  
 Mercer Island, WA 98040

Phase 2

ARCHITECT:  
**Sturman Architects**  
 9 103rd Ave NE Suite 203  
 Bellevue, WA 98004

ISSUE:  
**Preliminary**

SHEET TITLE:

**Wood Framing Details**

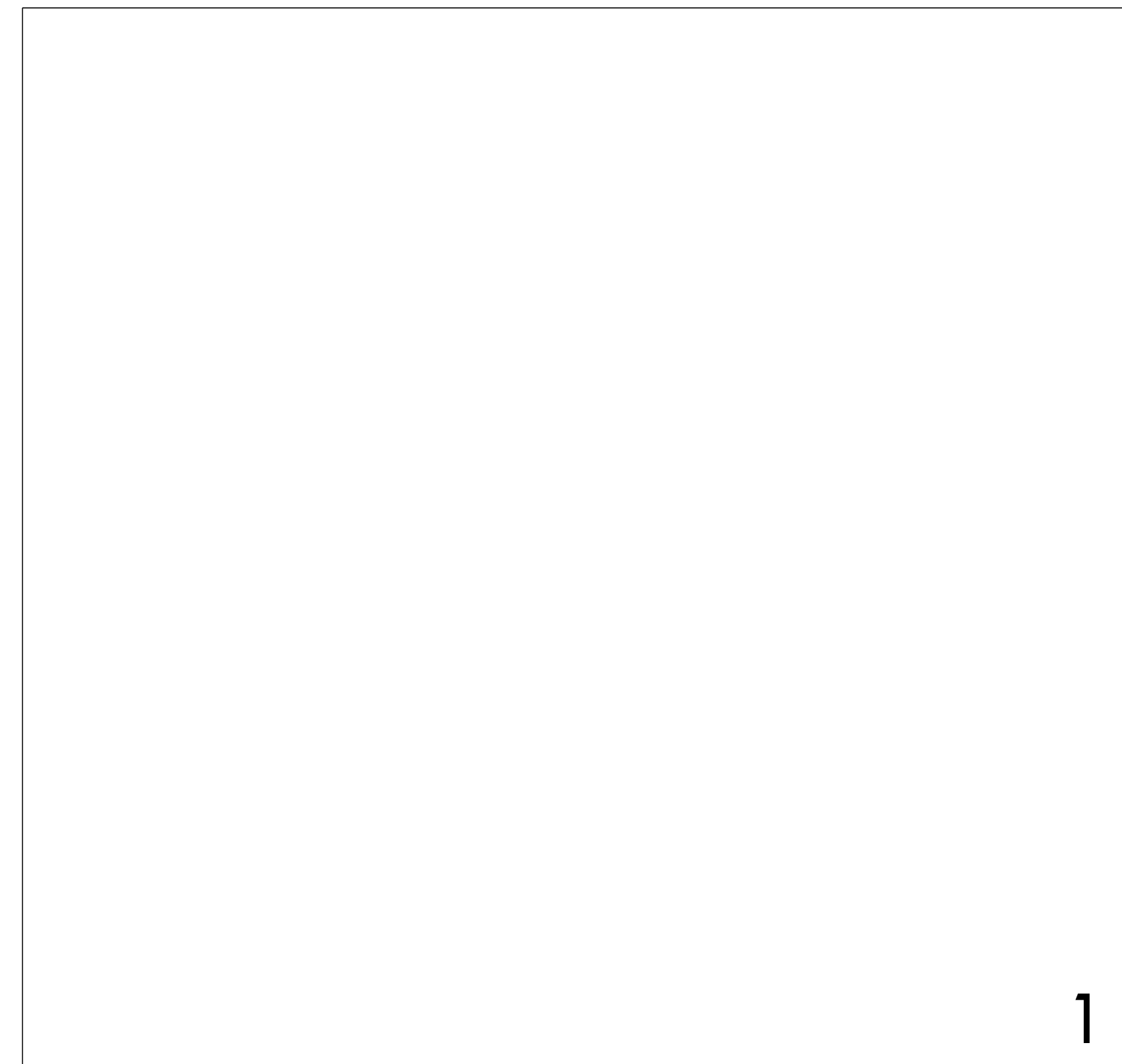
SCALE:  
 = 1'-0" U.N.O.

DATE:  
 Aug. 20, 2019

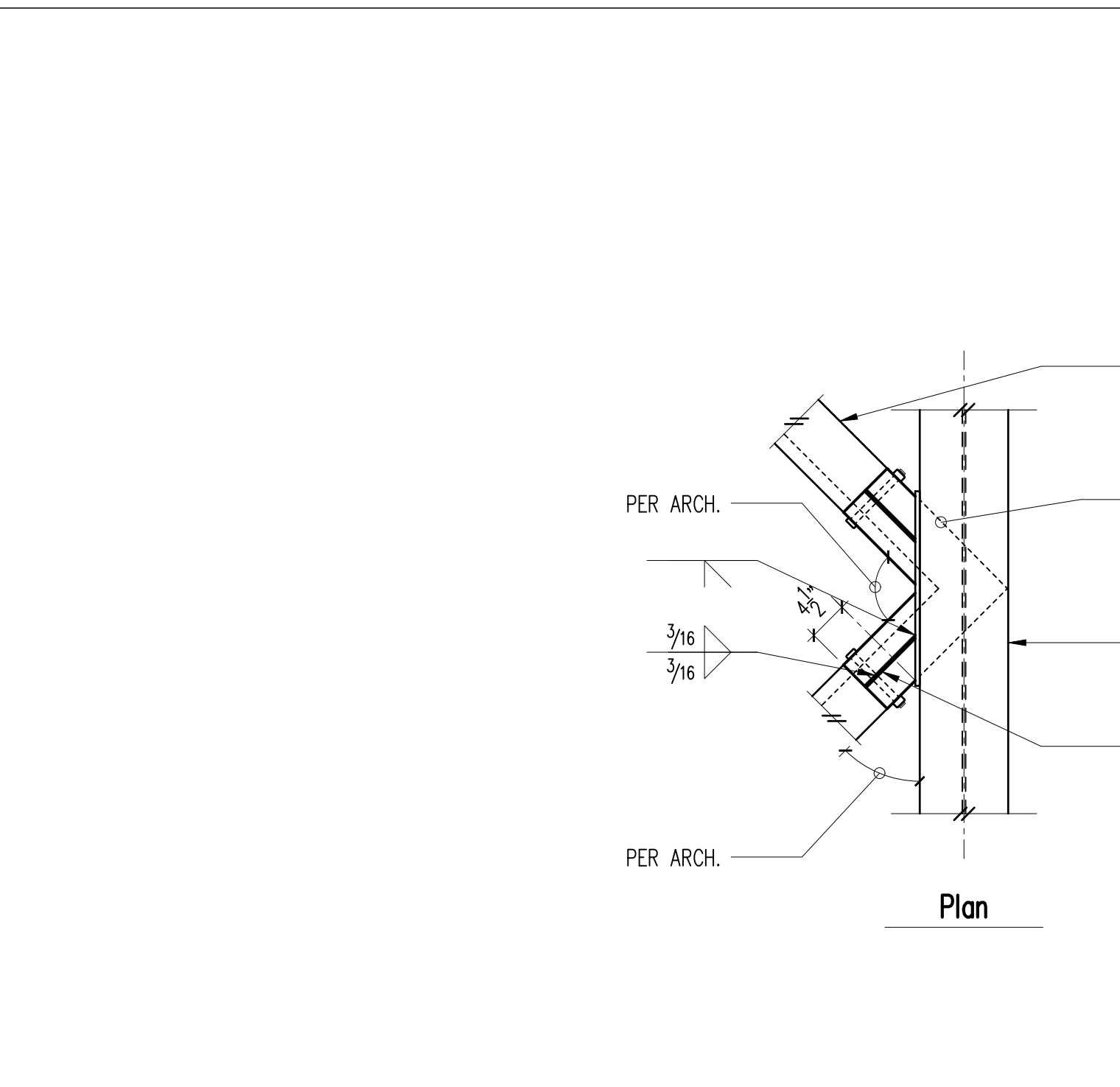
PROJECT NO:  
 10315-2019-02

SHEET NO:

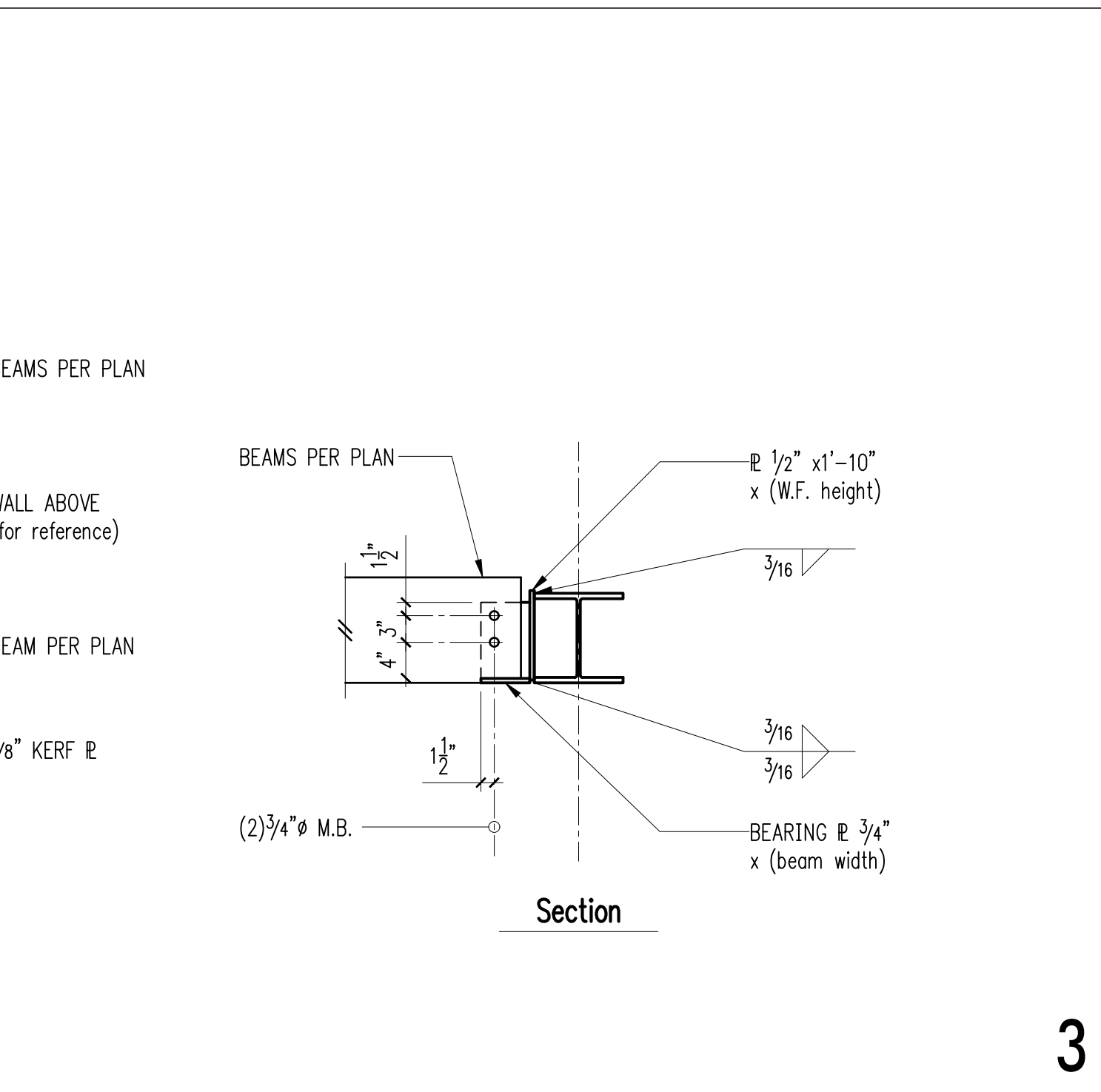
**S4.2**



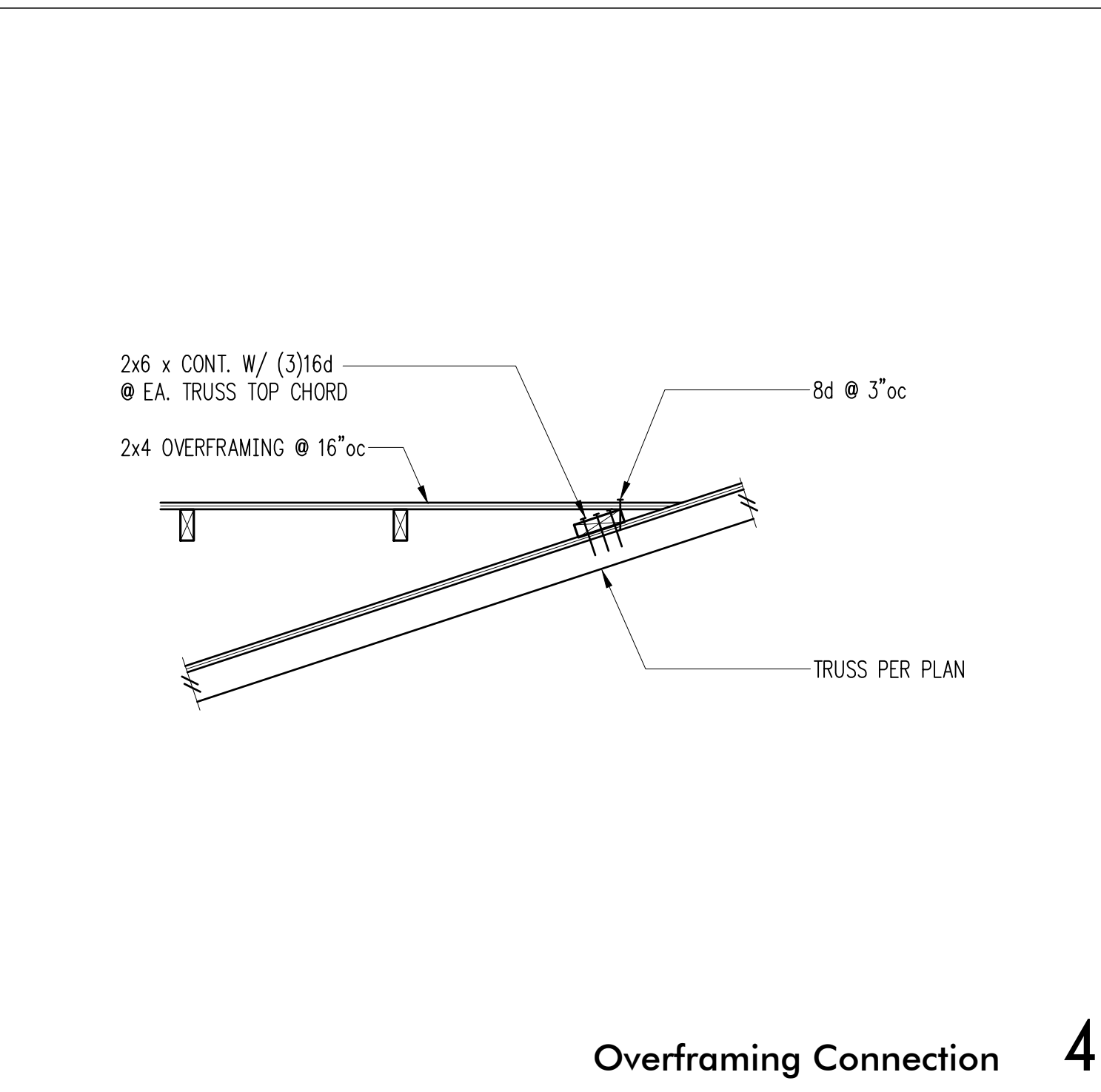
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2

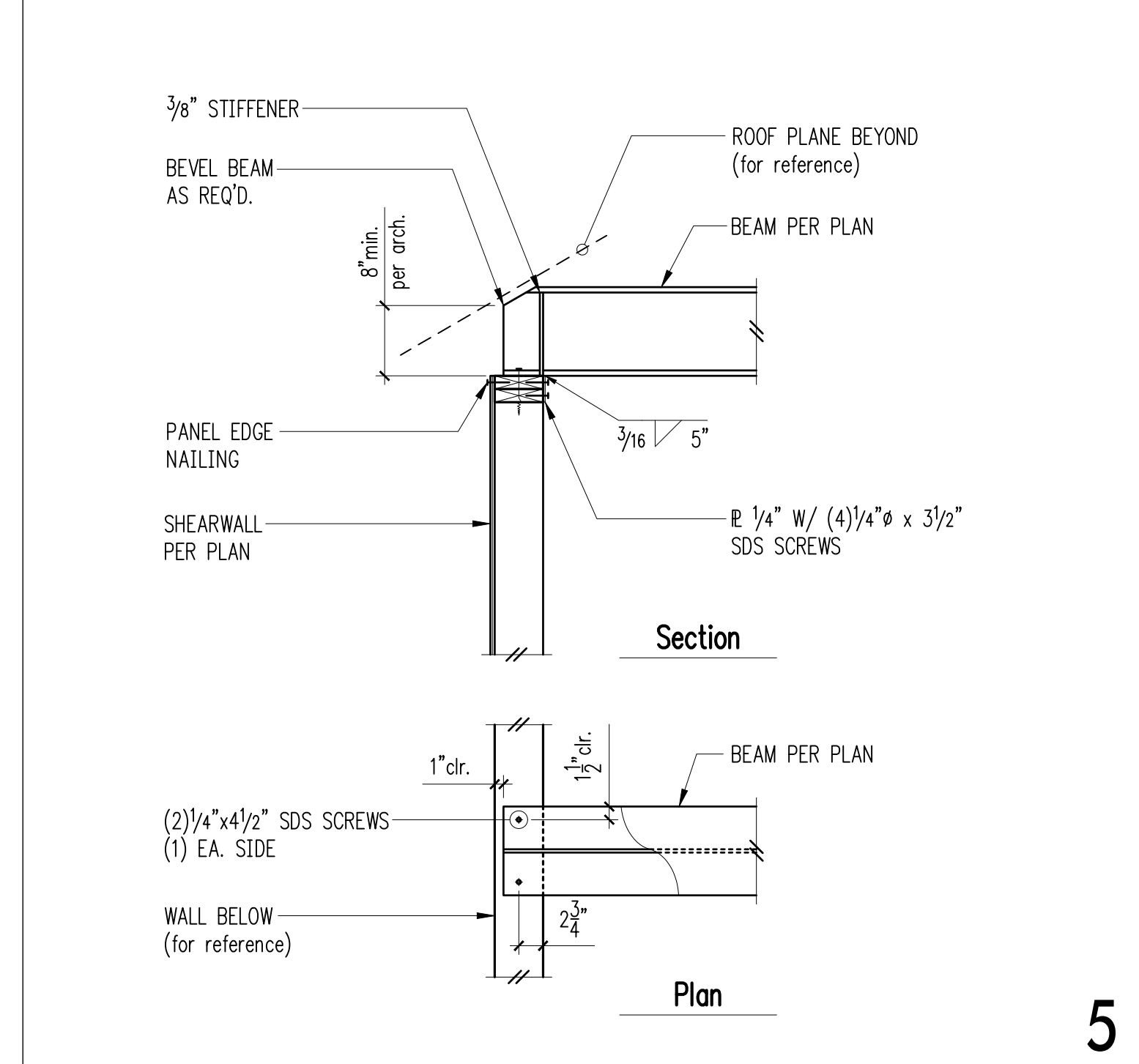


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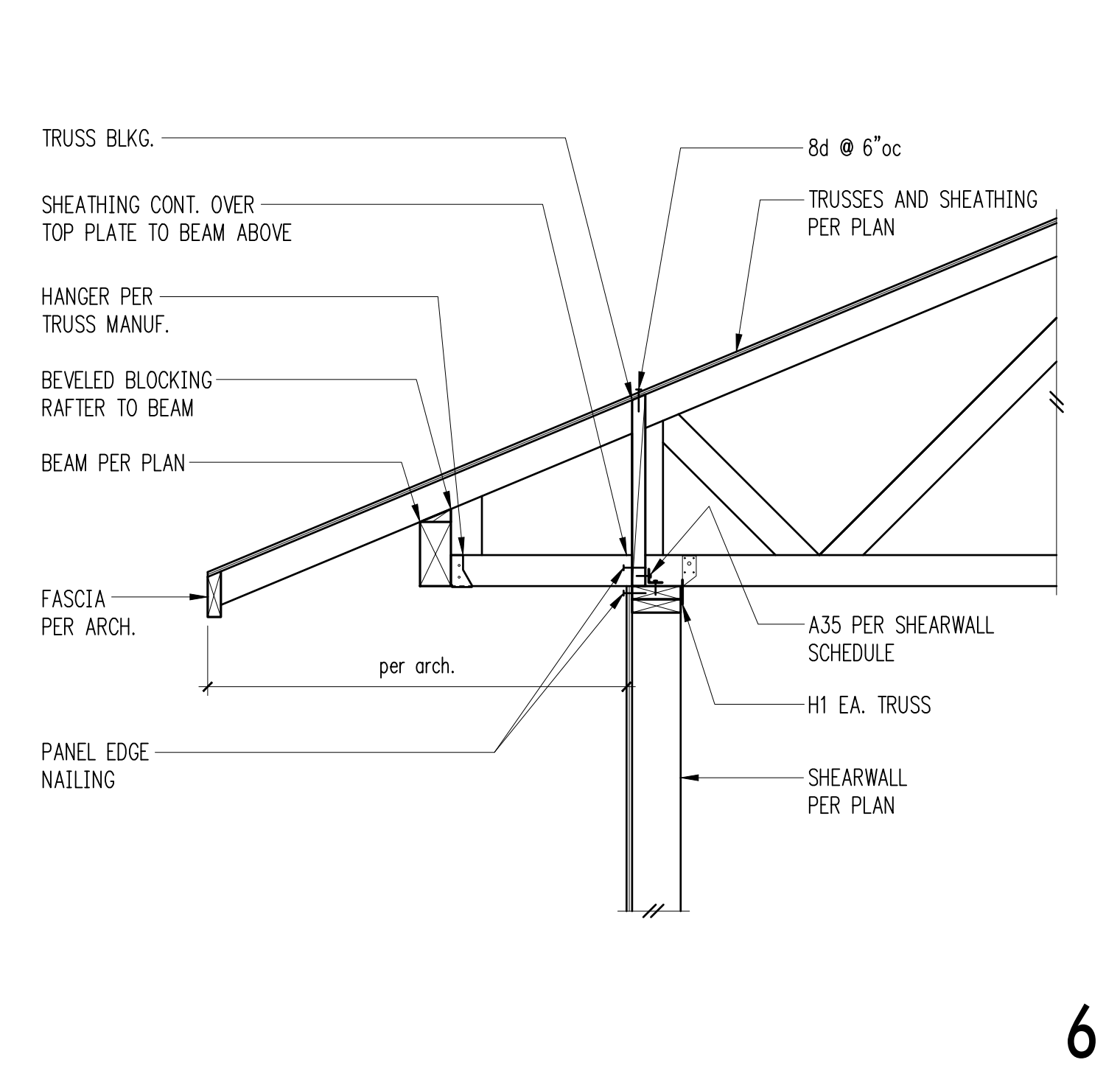


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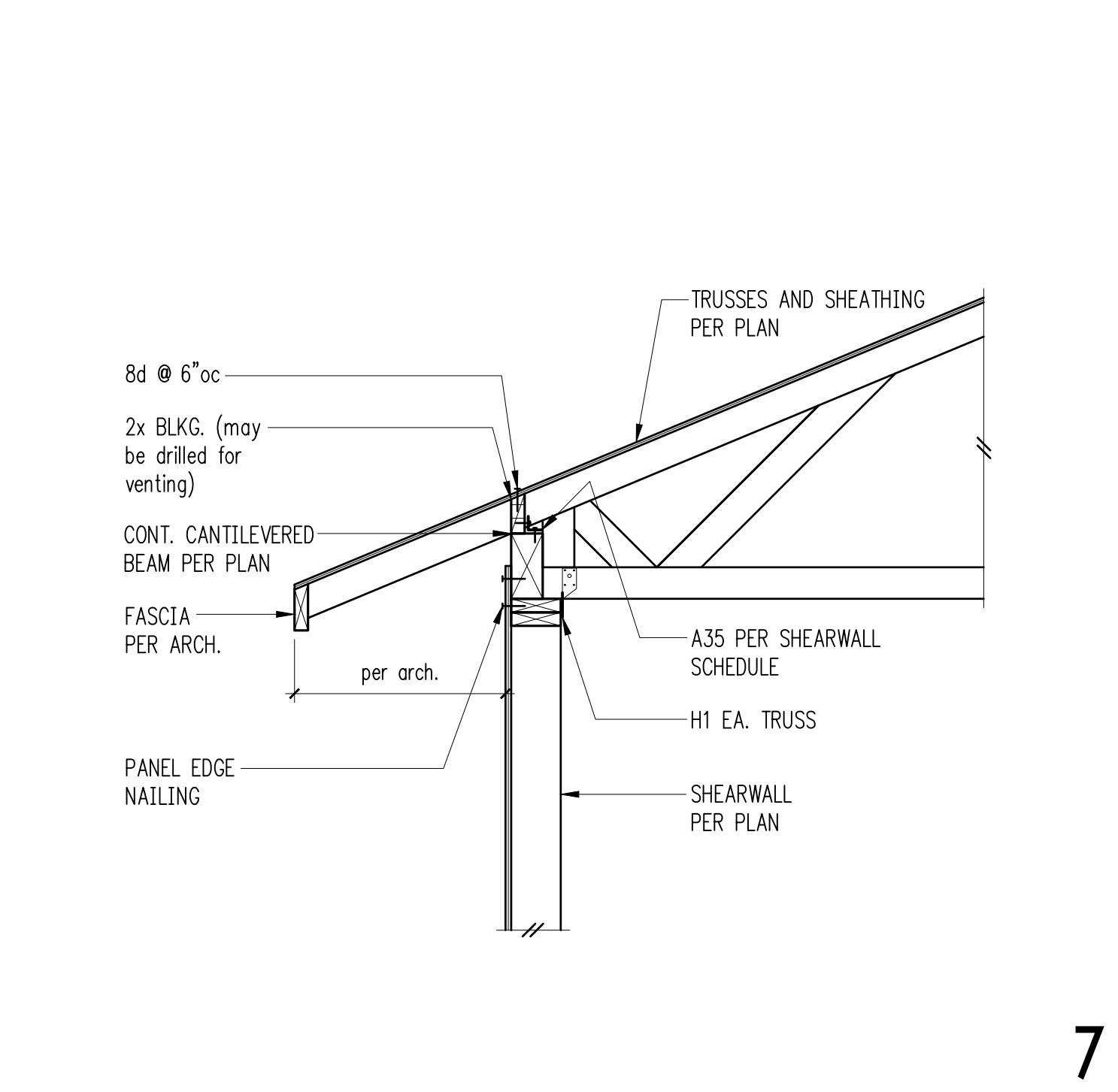
Overframing Connection



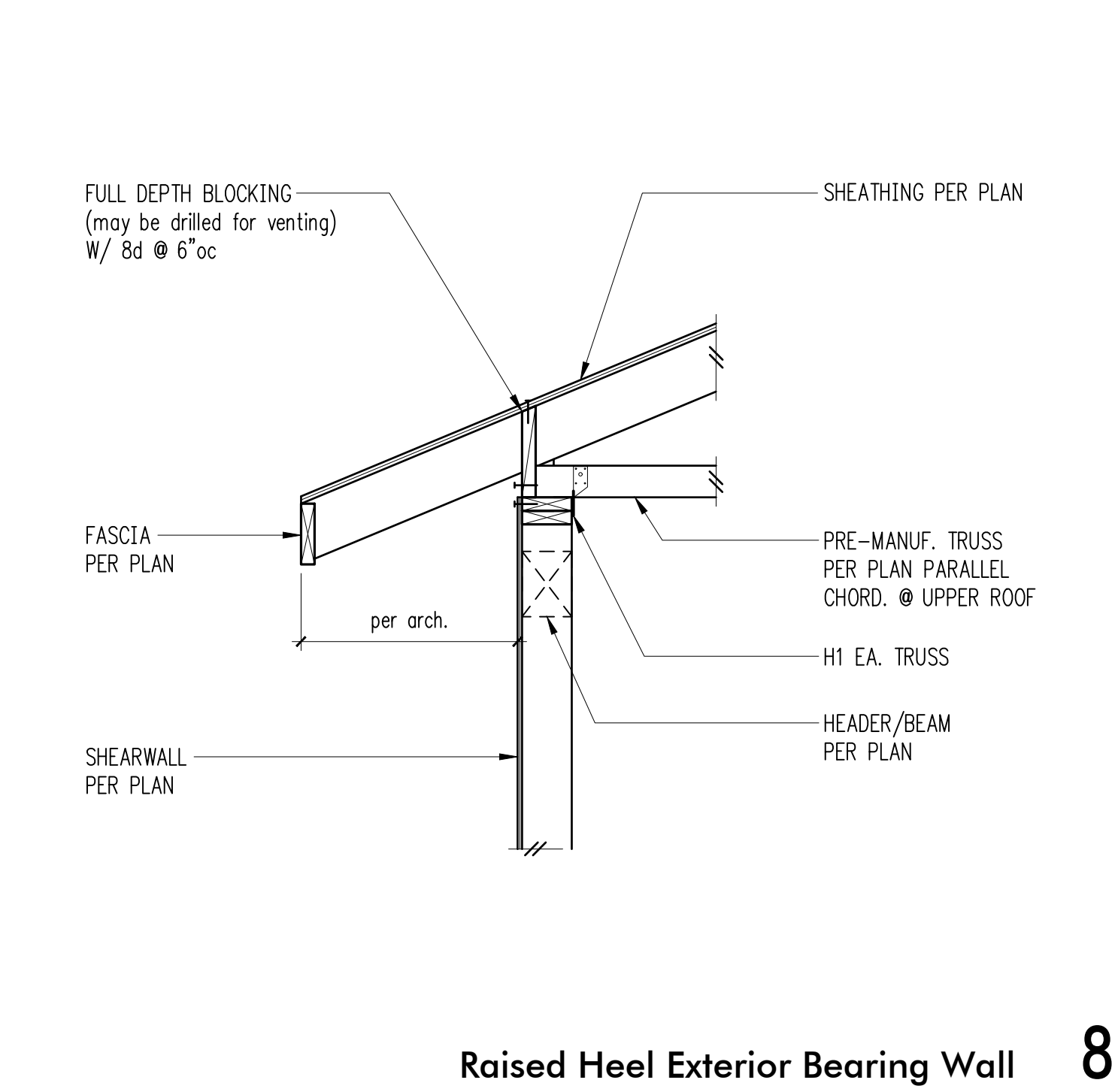
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6

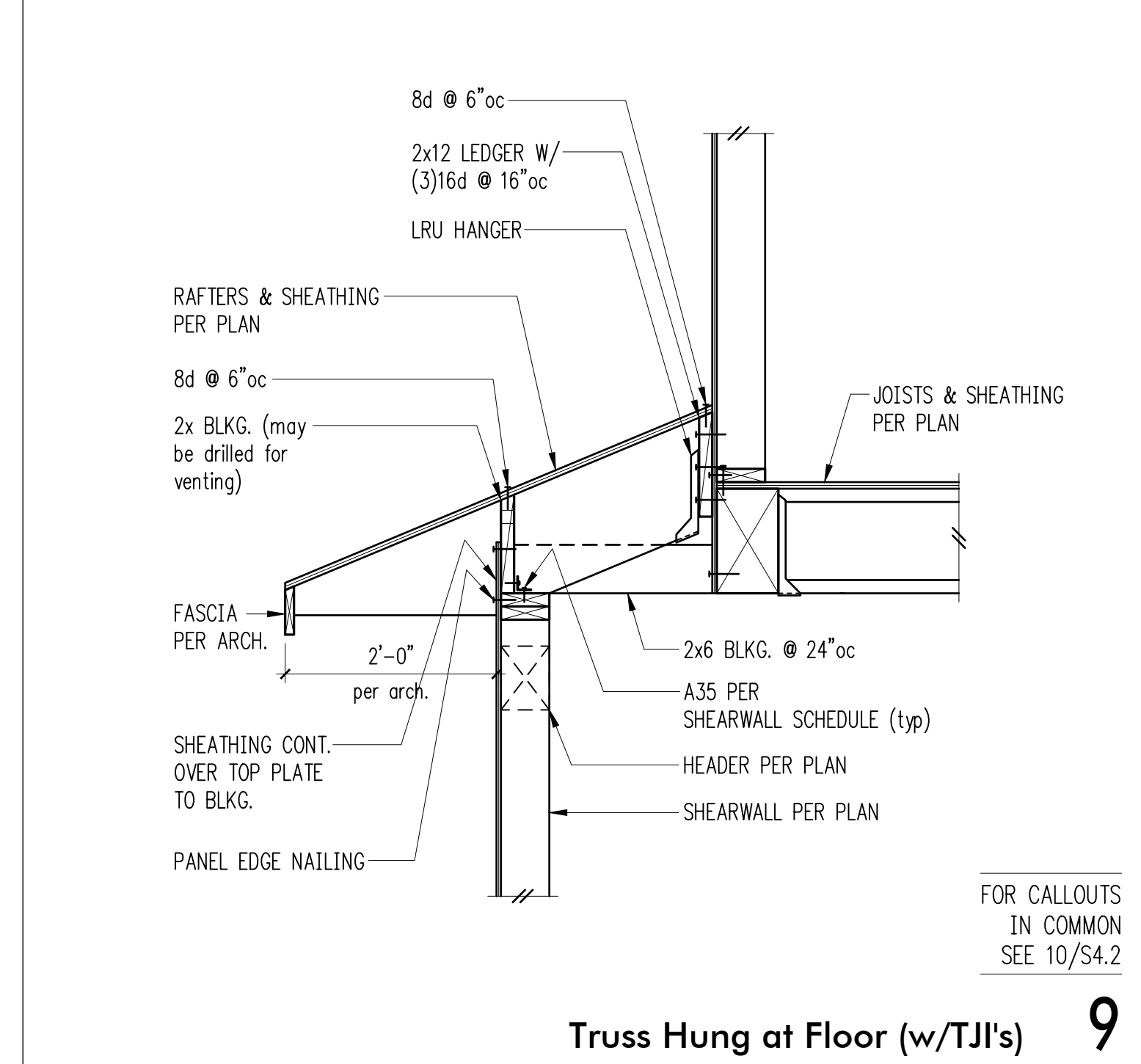


7



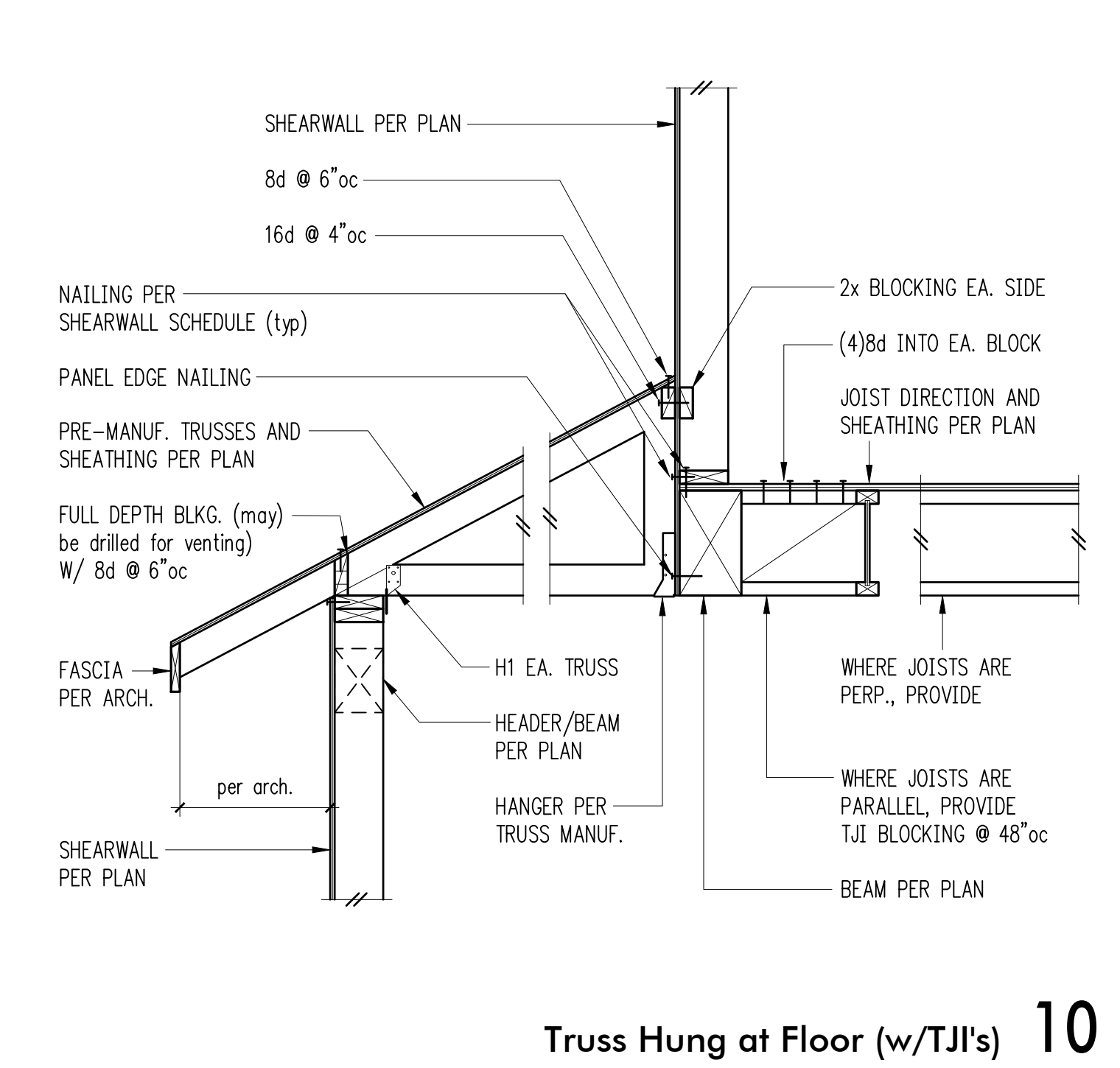
8

Raised Heel Exterior Bearing Wall



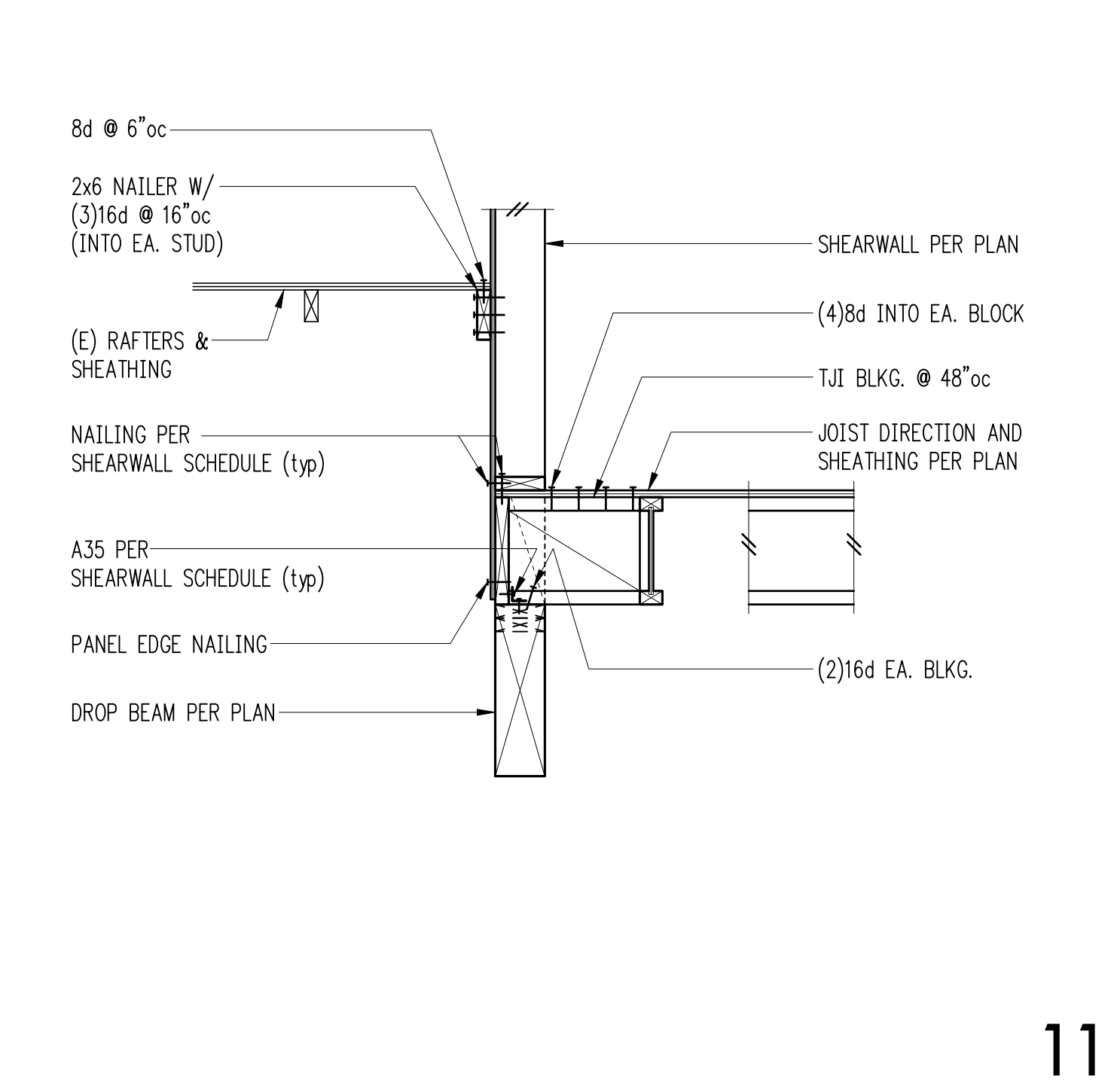
9

Truss Hung at Floor (w/TJI's)

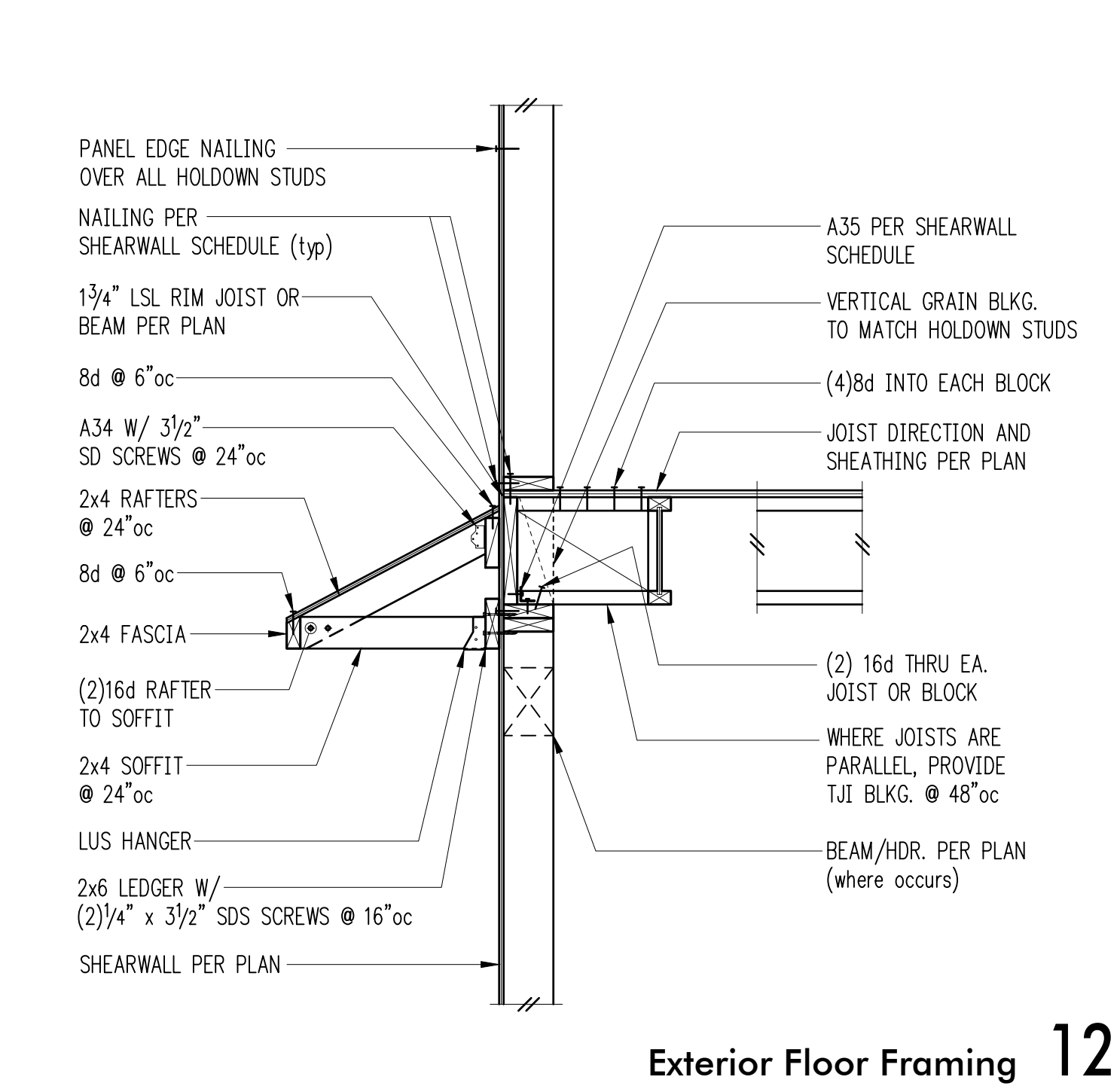


10

Truss Hung at Floor (w/TJI's)



11



12

Exterior Floor Framing

FOR CALLOUTS IN COMMON SEE 10/S4.2



REVISIONS:	2019-05-30 PERMIT CORRECTIONS #1

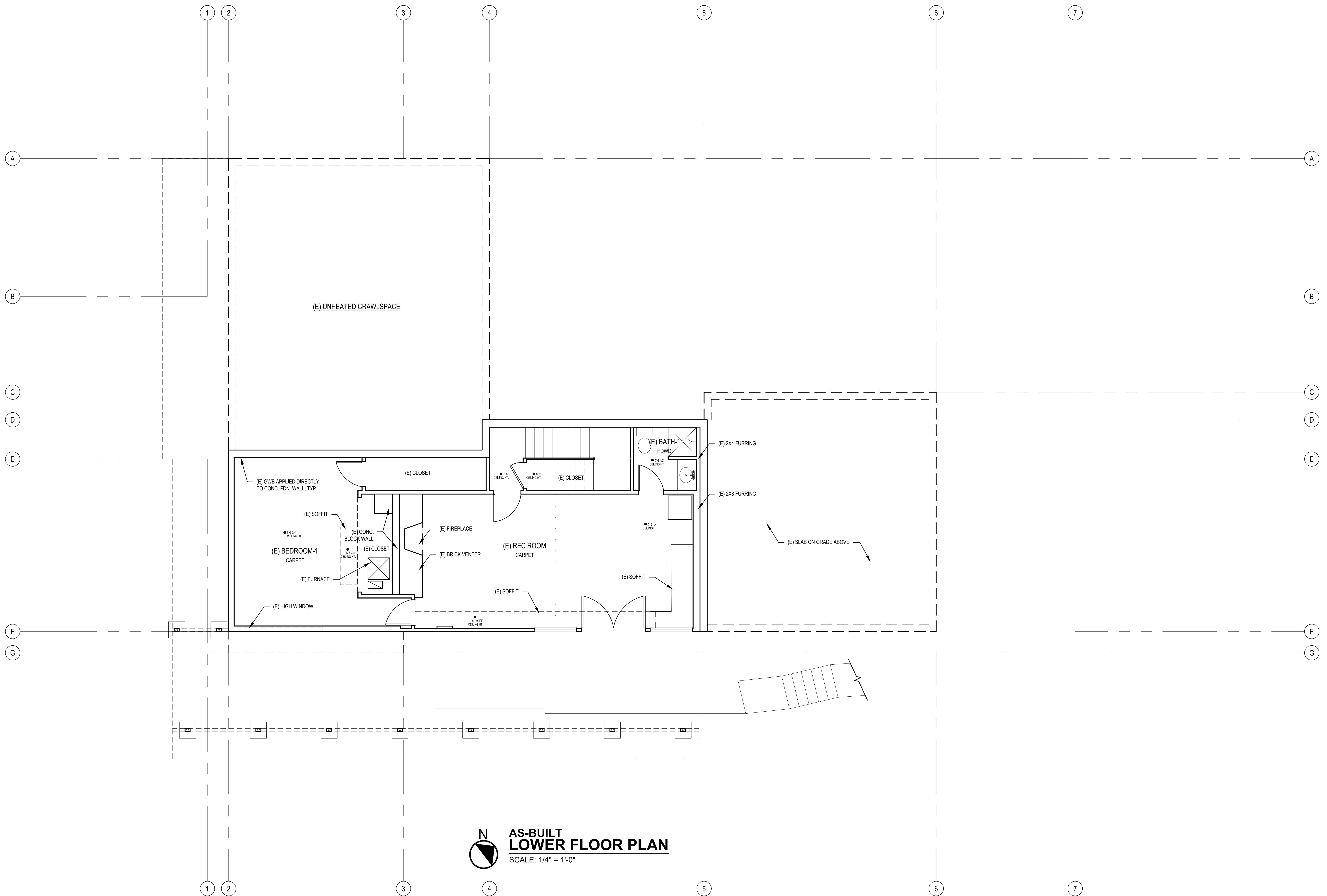
DRAWN BY: KE

CHECKED BY: BJS

SHEET

**AB-1**

OF



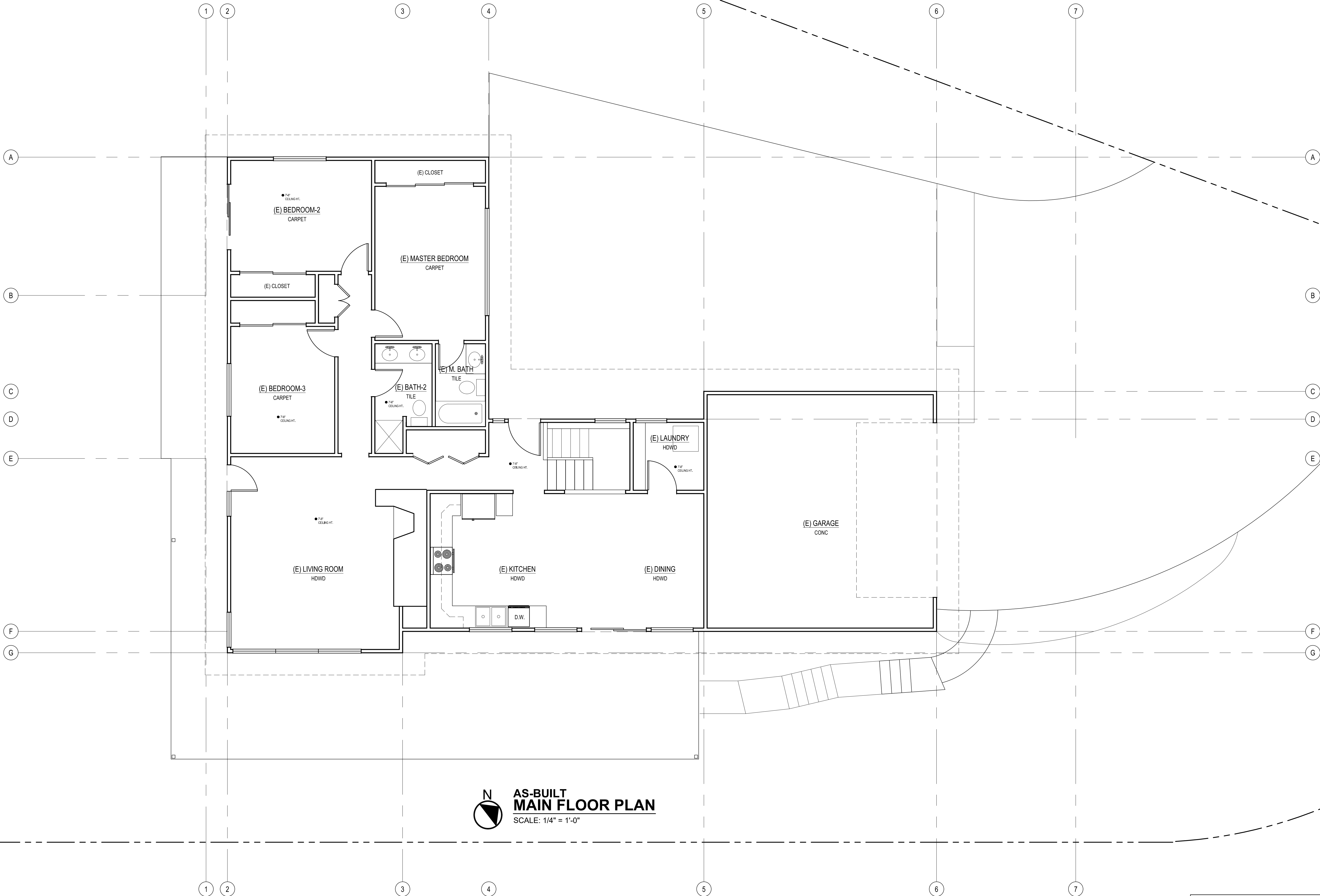
**AS-BUILT**  
**LOWER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PERMIT SET 05/30/19  
PLOT DATE: 5/30/2019 FILE NAME:

REVISIONS:	2019-05-30 PERMIT CORRECTIONS #1
1	
2	
3	
4	
5	
6	
7	

DRAWN BY: KE  
CHECKED BY: BJS

SHEET  
**AB-2**  
OF



**AS-BUILT**  
**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PERMIT SET 05/30/19  
PLOT DATE: 5/30/2019 FILE NAME:





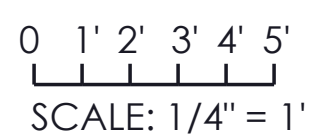
# DESIGN CRITERIA

SOIL: 1500 psf  
 SNOW: 25 psf  
 ROOF LIVE LOAD: 20 psf  
 FLOOR LOADS: 40 psf  
 DECK LOADS: 60 psf  
 FLOOR LIVE LOAD: 40 psf  
 DESIGN WIND SPEED, 3-SECOND GUST: 110 mph  
 WIND EXPOSURE CATEGORY: B  
 WIND CALCULATION METHOD: 2015SBC, ASCE 7-10  
 WIND SPEED UP FACTOR (Kzt): 1.0  
 SEISMIC ANALYSIS PROCEDURE USED: 2012SBC, ASCE 7-10  
 SEISMIC DESIGN CATEGORY: D  
 SITE CLASS: D

- NOTES:
1. CONCRETE MIN. STRENGTH 2500 PSI
  2. ALL GLB SHALL HAVE A MODULUS OF ELASTICITY OF 1800psi OR GREATER
  3. ALL GLB SHALL HAVE A MINIMUM Fd OF 1850 PSI.
  4. ALL TIMBER SHALL BE HF2 OR BETER UNLESS OTHERWISE SPECIFIED.
  5. ALL TIMBER SHALL BE PRESURE TREATED WHERE WITHIN 6" OF GROUND.
  6. CODES REFERENCED: 2015 IBC, 2015 IRC.

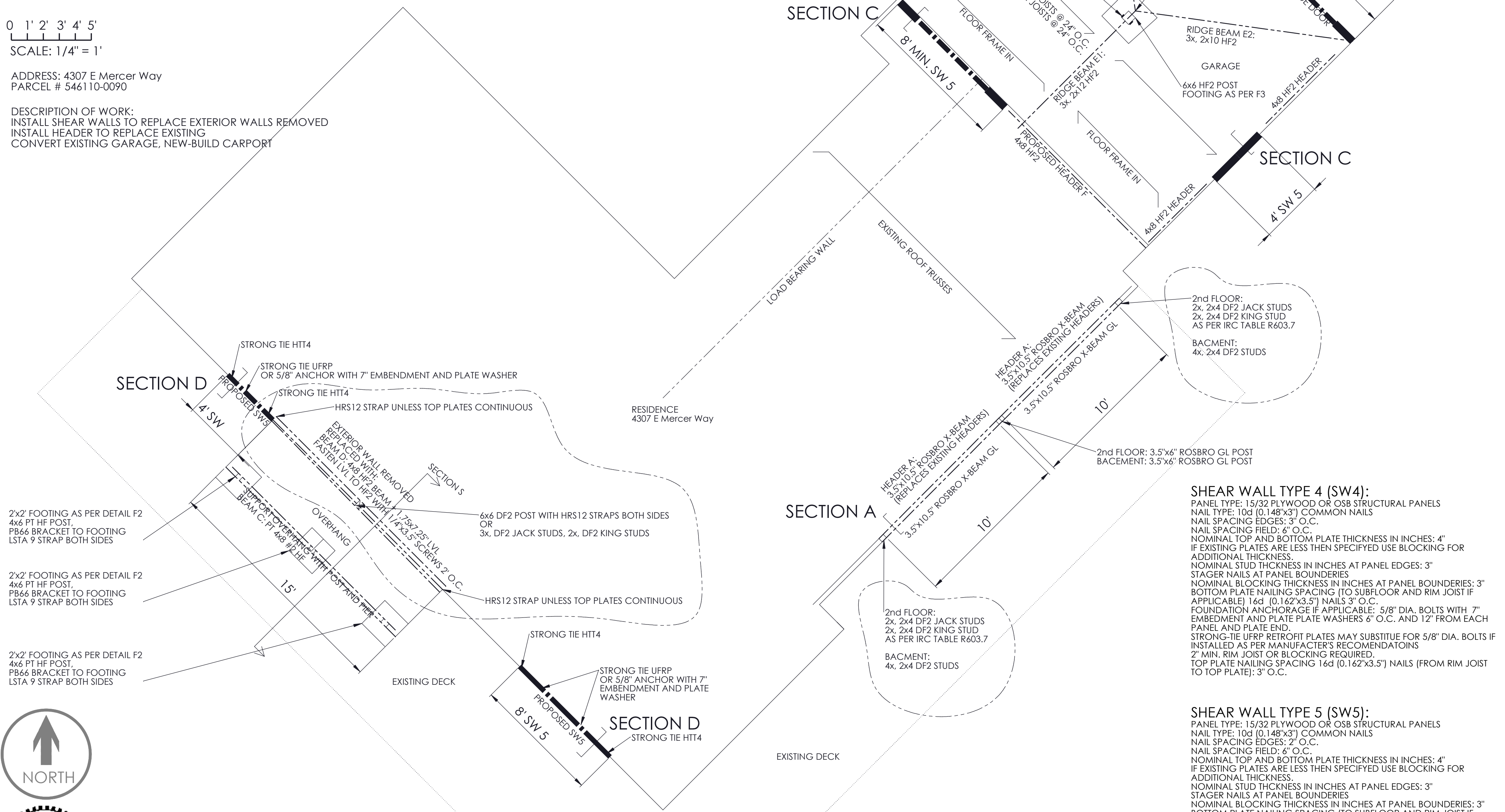
# ENGINEERING PLAN

DRAWN BY: CASH M. CARR  
 DATE: 5/25/2019  
 PAGE NUMBER: 1



ADDRESS: 4307 E Mercer Way  
 PARCEL # 546110-0090

DESCRIPTION OF WORK:  
 INSTALL SHEAR WALLS TO REPLACE EXTERIOR WALLS REMOVED  
 INSTALL HEADER TO REPLACE EXISTING  
 CONVERT EXISTING GARAGE, NEW-BUILD CARPORT



2'x2' FOOTING AS PER DETAIL F2  
 4x6 PT HF POST,  
 PB66 BRACKET TO FOOTING  
 LSTA 9 STRAP BOTH SIDES

2'x2' FOOTING AS PER DETAIL F2  
 4x6 PT HF POST,  
 PB66 BRACKET TO FOOTING  
 LSTA 9 STRAP BOTH SIDES

2'x2' FOOTING AS PER DETAIL F2  
 4x6 PT HF POST,  
 PB66 BRACKET TO FOOTING  
 LSTA 9 STRAP BOTH SIDES

**SHEAR WALL TYPE 4 (SW4):**  
 PANEL TYPE: 15/32 PLYWOOD OR OSB STRUCTURAL PANELS  
 NAIL TYPE: 10d (0.148"x3") COMMON NAILS  
 NAIL SPACING EDGES: 3" O.C.  
 NAIL SPACING FIELD: 6" O.C.  
 NOMINAL TOP AND BOTTOM PLATE THICKNESS IN INCHES: 4"  
 IF EXISTING PLATES ARE LESS THEN SPECIFIED USE BLOCKING FOR ADDITIONAL THICKNESS.  
 NOMINAL STUD THCKNESS IN INCHES AT PANEL EDGES: 3"  
 STAGER NAILS AT PANEL BOUNDERIES  
 NOMINAL BLOCKING THICKNESS IN INCHES AT PANEL BOUNDERIES: 3"  
 BOTTOM PLATE NAILING SPACING (TO SUBFLOOR AND RIM JOIST IF APPLICABLE) 16d (0.162"x3.5") NAILS 3" O.C.  
 FOUNDATION ANCHORAGE IF APPLICABLE: 5/8" DIA. BOLTS WITH 7" EMBEDMENT AND PLATE PLATE WASHERS 6" O.C. AND 12" FROM EACH PANEL AND PLATE END.  
 STRONG-TIE UFRP RETROFIT PLATES MAY SUBSTITUTE FOR 5/8" DIA. BOLTS IF INSTALLED AS PER MANUFACTURER'S RECOMENDATOINS  
 2" MIN. RIM JOIST OR BLOCKING REQUIRED.  
 TOP PLATE NAILING SPACING 16d (0.162"x3.5") NAILS (FROM RIM JOIST TO TOP PLATE): 3" O.C.

**SHEAR WALL TYPE 5 (SW5):**  
 PANEL TYPE: 15/32 PLYWOOD OR OSB STRUCTURAL PANELS  
 NAIL TYPE: 10d (0.148"x3") COMMON NAILS  
 NAIL SPACING EDGES: 2" O.C.  
 NAIL SPACING FIELD: 6" O.C.  
 NOMINAL TOP AND BOTTOM PLATE THICKNESS IN INCHES: 4"  
 IF EXISTING PLATES ARE LESS THEN SPECIFIED USE BLOCKING FOR ADDITIONAL THICKNESS.  
 NOMINAL STUD THCKNESS IN INCHES AT PANEL EDGES: 3"  
 STAGER NAILS AT PANEL BOUNDERIES  
 NOMINAL BLOCKING THICKNESS IN INCHES AT PANEL BOUNDERIES: 3"  
 BOTTOM PLATE NAILING SPACING (TO SUBFLOOR AND RIM JOIST IF APPLICABLE) 16d (0.162"x3.5") NAILS 3" O.C.  
 FOUNDATION ANCHORAGE IF APPLICABLE: 5/8" DIA. BOLTS WITH 7" EMBEDMENT AND PLATE PLATE WASHERS 4" O.C. AND 12" FROM EACH PANEL AND PLATE END.  
 STRONG-TIE UFRP RETROFIT PLATES MAY SUBSTITUTE FOR 5/8" DIA. BOLTS IF INSTALLED AS PER MANUFACTURER'S RECOMENDATOINS  
 3" MIN. RIM JOIST OR BLOCKING REQUIRED.  
 TOP PLATE NAILING SPACING 16d (0.162"x3.5") NAILS (FROM RIM JOIST TO TOP PLATE): 2" O.C.





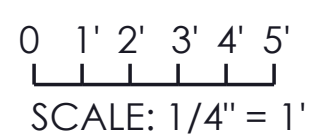
NOTE:

# CARPORT PLAN

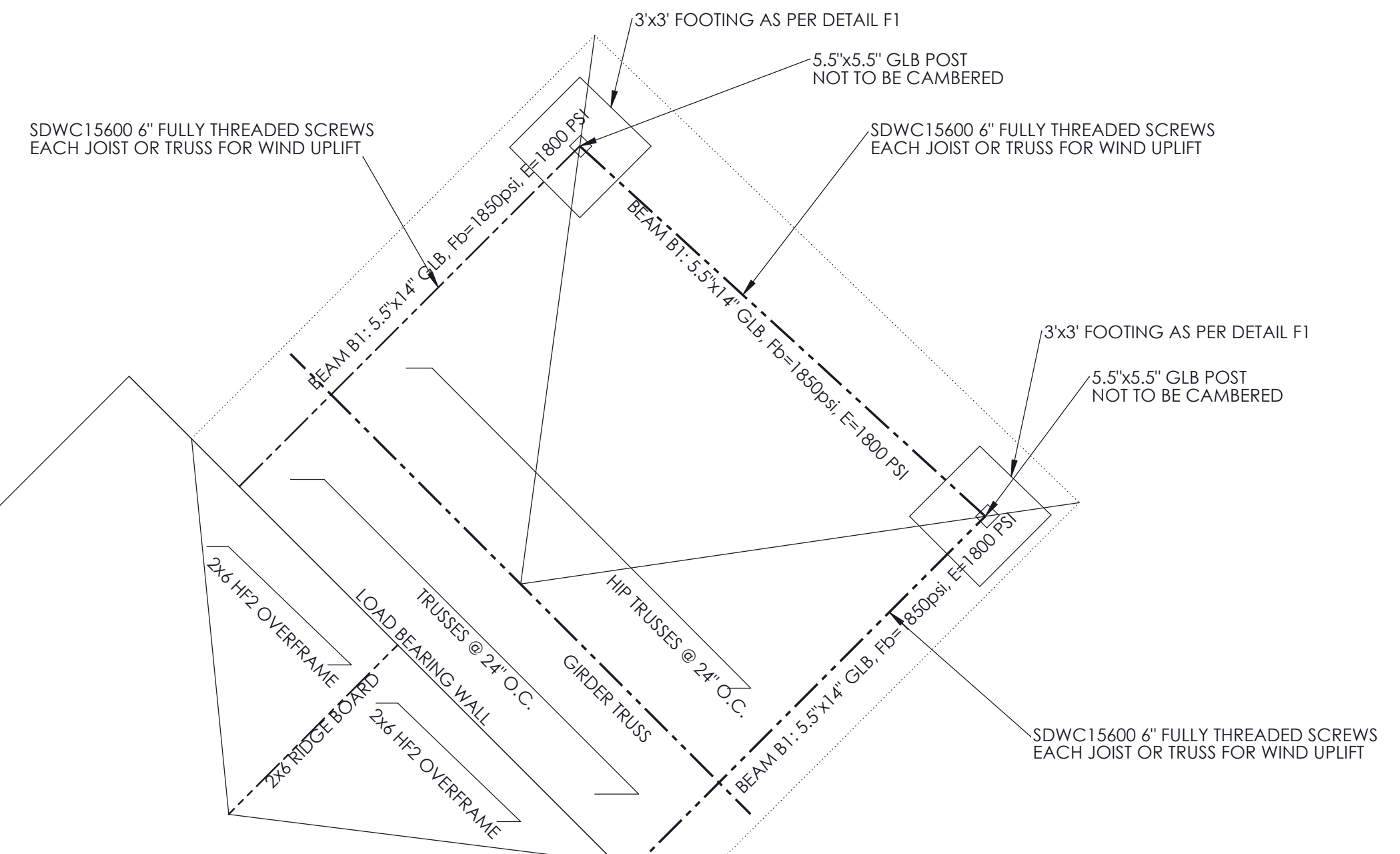
DRAWN BY: CASH M. CARR

DATE: 2/27/2018

PAGE NUMBER: 2



NOTE: TRUSSES TO BE DESIGNED BY MANUFATERER





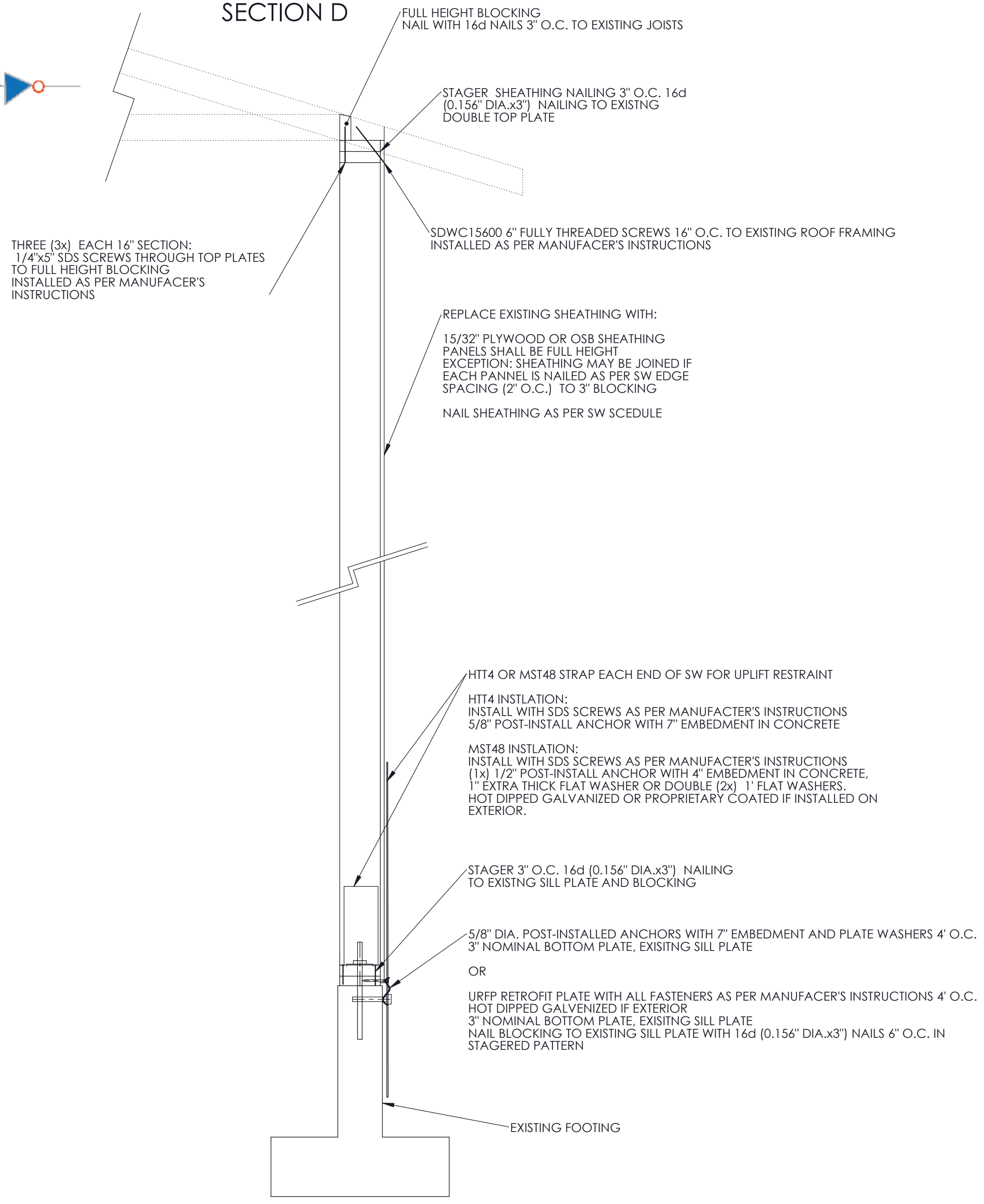


# RETROFIT SHEAR WALL DETAIL

DRAWN BY: CASH M. CARR  
 DATE: 2/27/2018  
 PAGE NUMBER: 3

## SOUTH SW RETROFIT

### SECTION D



THREE (3x) EACH 16" SECTION:  
 1/4"x5" SDS SCREWS THROUGH TOP PLATES  
 TO FULL HEIGHT BLOCKING  
 INSTALLED AS PER MANUFACER'S  
 INSTRUCTIONS

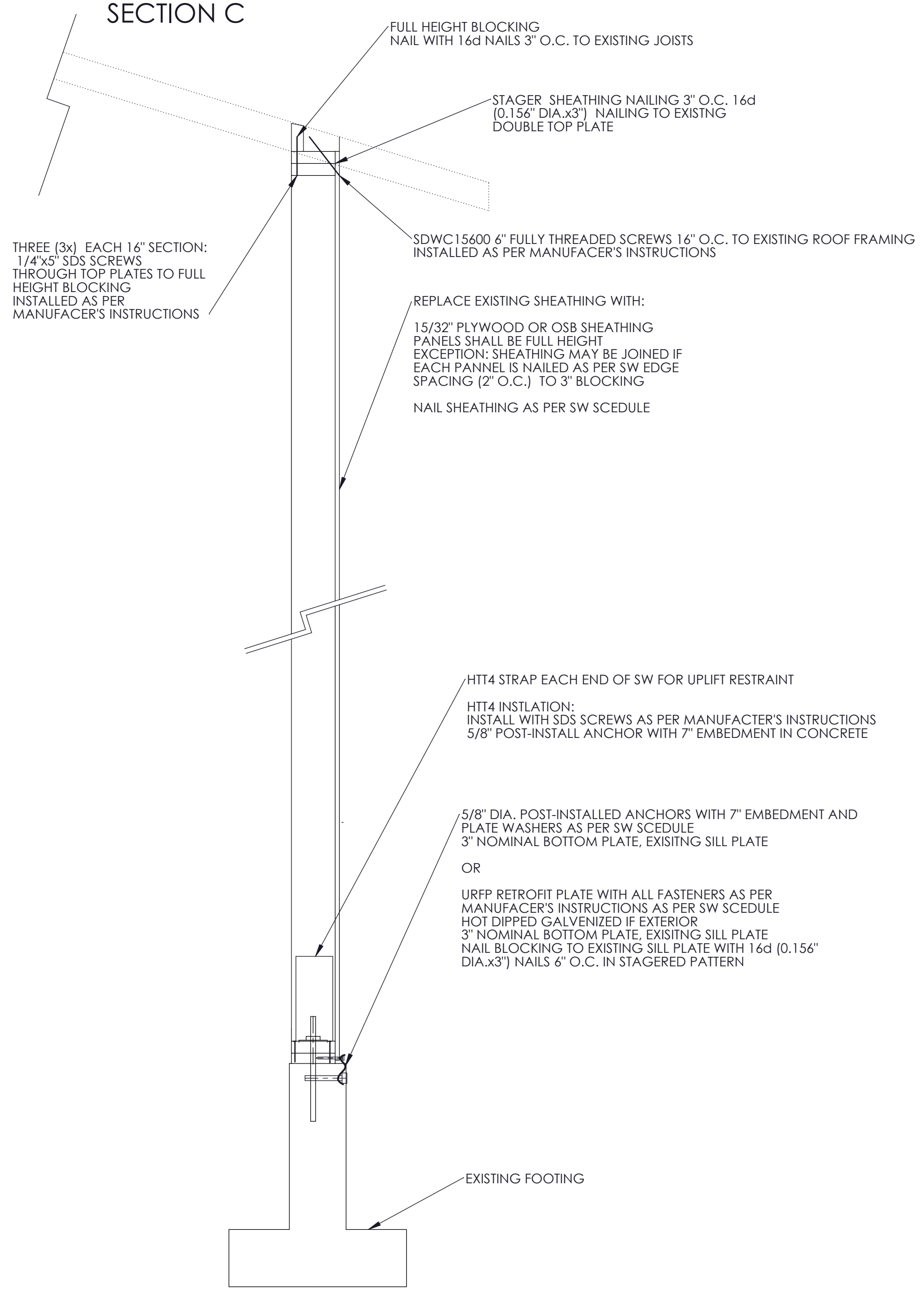
REPLACE EXISTING SHEATHING WITH:  
 15/32" PLYWOOD OR OSB SHEATHING  
 PANELS SHALL BE FULL HEIGHT  
 EXCEPTION: SHEATHING MAY BE JOINED IF  
 EACH PANNEL IS NAILED AS PER SW EDGE  
 SPACING (2' O.C.) TO 3" BLOCKING  
 NAIL SHEATHING AS PER SW SCEDULE

HTT4 OR MST48 STRAP EACH END OF SW FOR UPLIFT RESTRAINT  
 HTT4 INSTALATION:  
 INSTALL WITH SDS SCREWS AS PER MANUFACTER'S INSTRUCTIONS  
 5/8" POST-INSTALL ANCHOR WITH 7" EMBEDMENT IN CONCRETE  
 MST48 INSTALATION:  
 INSTALL WITH SDS SCREWS AS PER MANUFACTER'S INSTRUCTIONS  
 (1x) 1/2" POST-INSTALL ANCHOR WITH 4" EMBEDMENT IN CONCRETE,  
 1" EXTRA THICK FLAT WASHER OR DOUBLE (2x) 1" FLAT WASHERS,  
 HOT DIPPED GALVANIZED OR PROPRIETARY COATED IF INSTALLED ON  
 EXTERIOR.

STAGER 3" O.C. 16d (0.156" DIA.x3") NAILING  
 TO EXISTNG SILL PLATE AND BLOCKING  
 5/8" DIA. POST-INSTALLED ANCHORS WITH 7" EMBEDMENT AND PLATE WASHERS 4' O.C.  
 3" NOMINAL BOTTOM PLATE, EXISITNG SILL PLATE  
 OR  
 URFP RETROFIT PLATE WITH ALL FASTENERS AS PER MANUFACER'S INSTRUCTIONS 4' O.C.  
 HOT DIPPED GALVENIZED IF EXTERIOR  
 3" NOMINAL BOTTOM PLATE, EXISITNG SILL PLATE  
 NAIL BLOCKING TO EXISTING SILL PLATE WITH 16d (0.156" DIA.x3") NAILS 6" O.C. IN  
 STAGERED PATTERN

## GARAGE SW RETROFIT

### SECTION C



THREE (3x) EACH 16" SECTION:  
 1/4"x5" SDS SCREWS  
 THROUGH TOP PLATES TO FULL  
 HEIGHT BLOCKING  
 INSTALLED AS PER  
 MANUFACER'S INSTRUCTIONS

REPLACE EXISTING SHEATHING WITH:  
 15/32" PLYWOOD OR OSB SHEATHING  
 PANELS SHALL BE FULL HEIGHT  
 EXCEPTION: SHEATHING MAY BE JOINED IF  
 EACH PANNEL IS NAILED AS PER SW EDGE  
 SPACING (2' O.C.) TO 3" BLOCKING  
 NAIL SHEATHING AS PER SW SCEDULE

HTT4 STRAP EACH END OF SW FOR UPLIFT RESTRAINT  
 HTT4 INSTALATION:  
 INSTALL WITH SDS SCREWS AS PER MANUFACTER'S INSTRUCTIONS  
 5/8" POST-INSTALL ANCHOR WITH 7" EMBEDMENT IN CONCRETE

5/8" DIA. POST-INSTALLED ANCHORS WITH 7" EMBEDMENT AND  
 PLATE WASHERS AS PER SW SCEDULE  
 3" NOMINAL BOTTOM PLATE, EXISITNG SILL PLATE  
 OR  
 URFP RETROFIT PLATE WITH ALL FASTENERS AS PER  
 MANUFACER'S INSTRUCTIONS AS PER SW SCEDULE  
 HOT DIPPED GALVENIZED IF EXTERIOR  
 3" NOMINAL BOTTOM PLATE, EXISITNG SILL PLATE  
 NAIL BLOCKING TO EXISTING SILL PLATE WITH 16d (0.156"  
 DIA.x3") NAILS 6" O.C. IN STAGERED PATTERN



SCALE: 1" = 1'

# GARAGE FRAME-IN SW RETROFIT

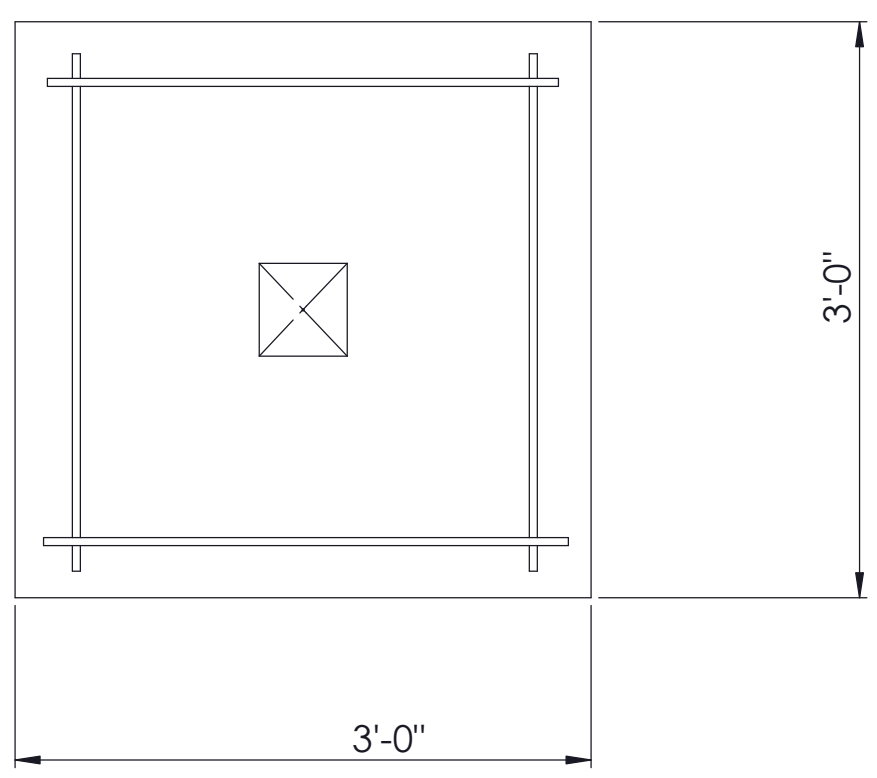
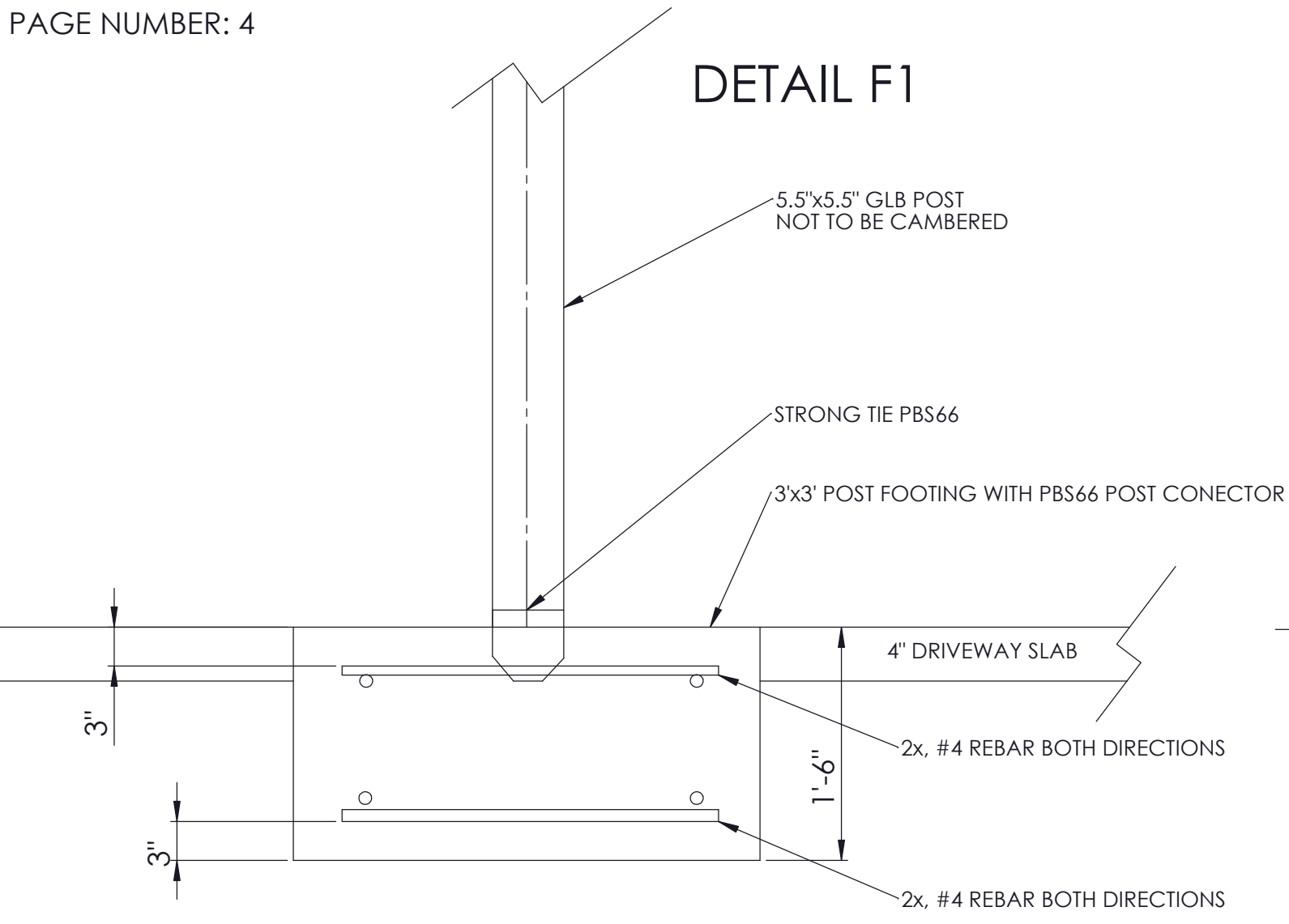
## SECTION B

## PROPOSED GARAGE DOOR FRAME IN SW DETAIL

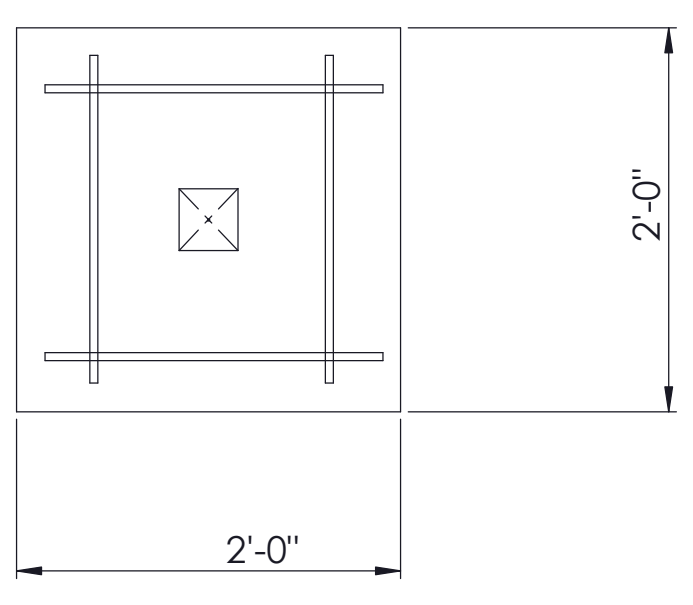
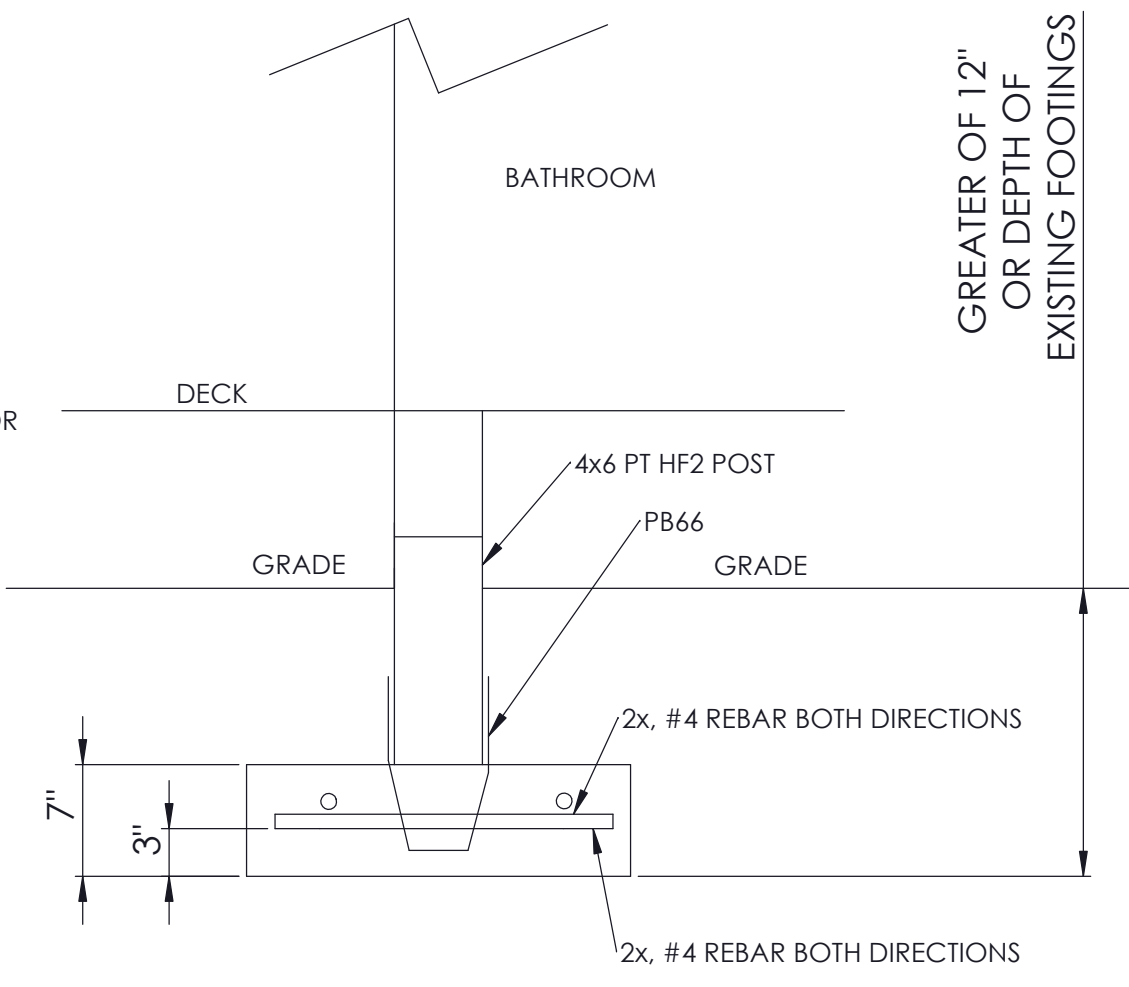
## PROPOSED FOOTING DETAILS

DRAWN BY: CASH M. CARR  
 DATE: 2/27/2018  
 PAGE NUMBER: 4

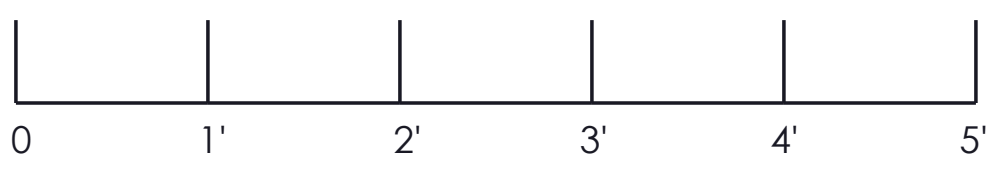
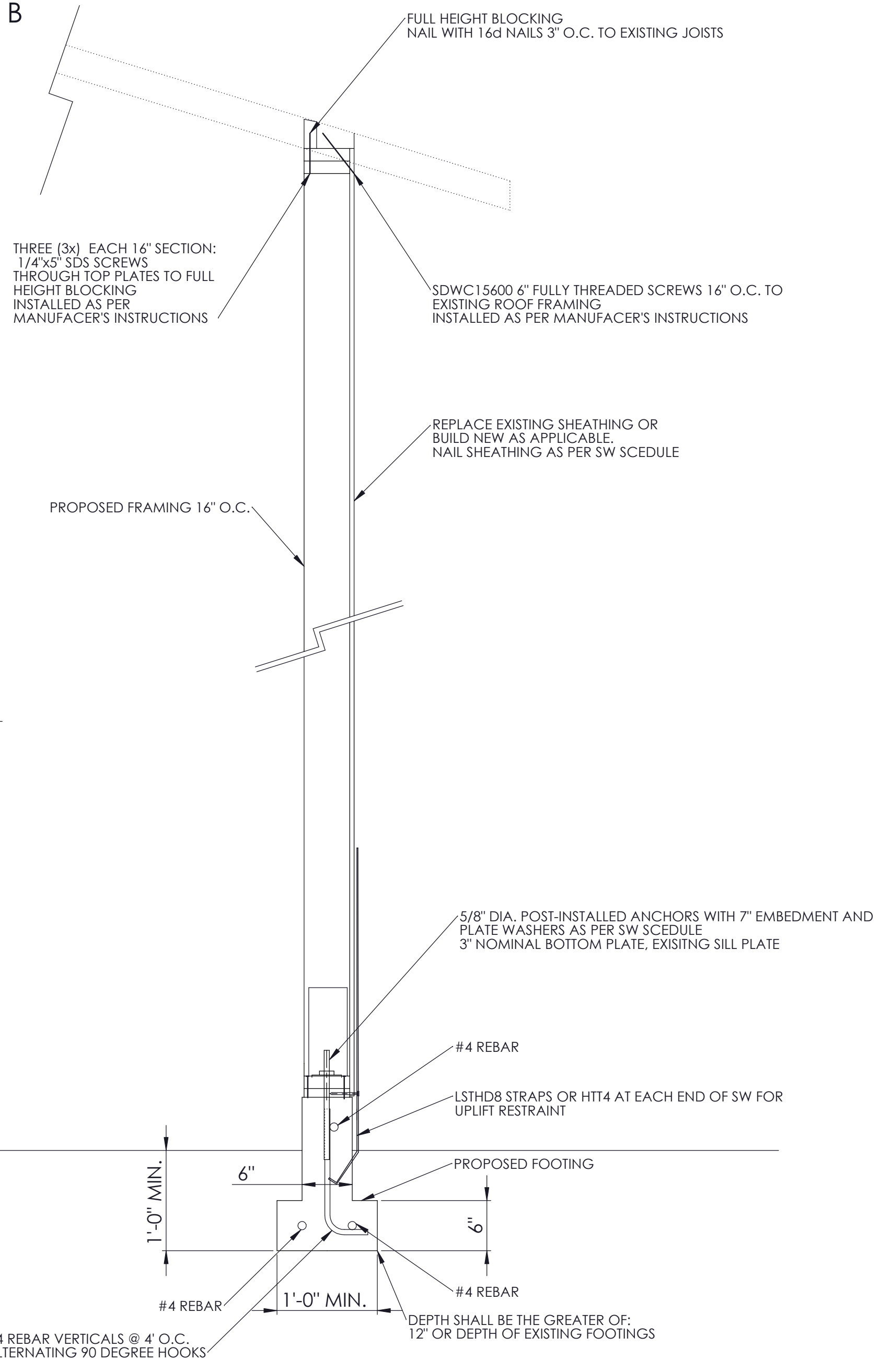
### DETAIL F1



### DETAIL F2



GREATER OF 12"  
 OR DEPTH OF  
 EXISTING FOOTINGS



SCALE: 1" = 1'

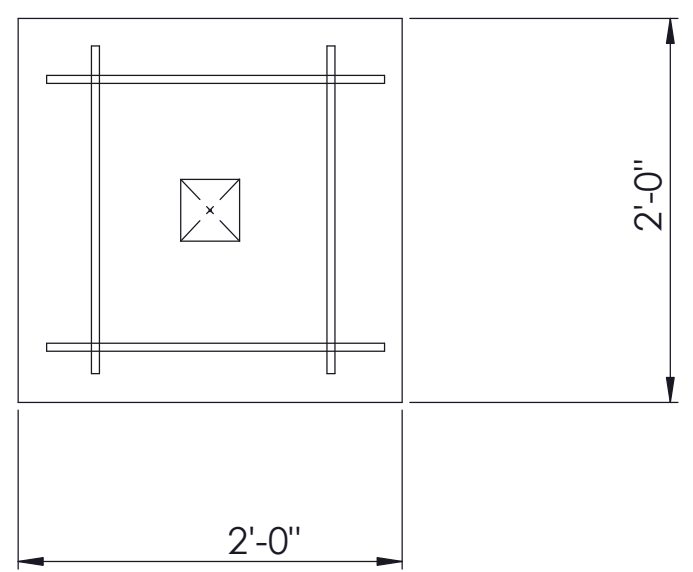
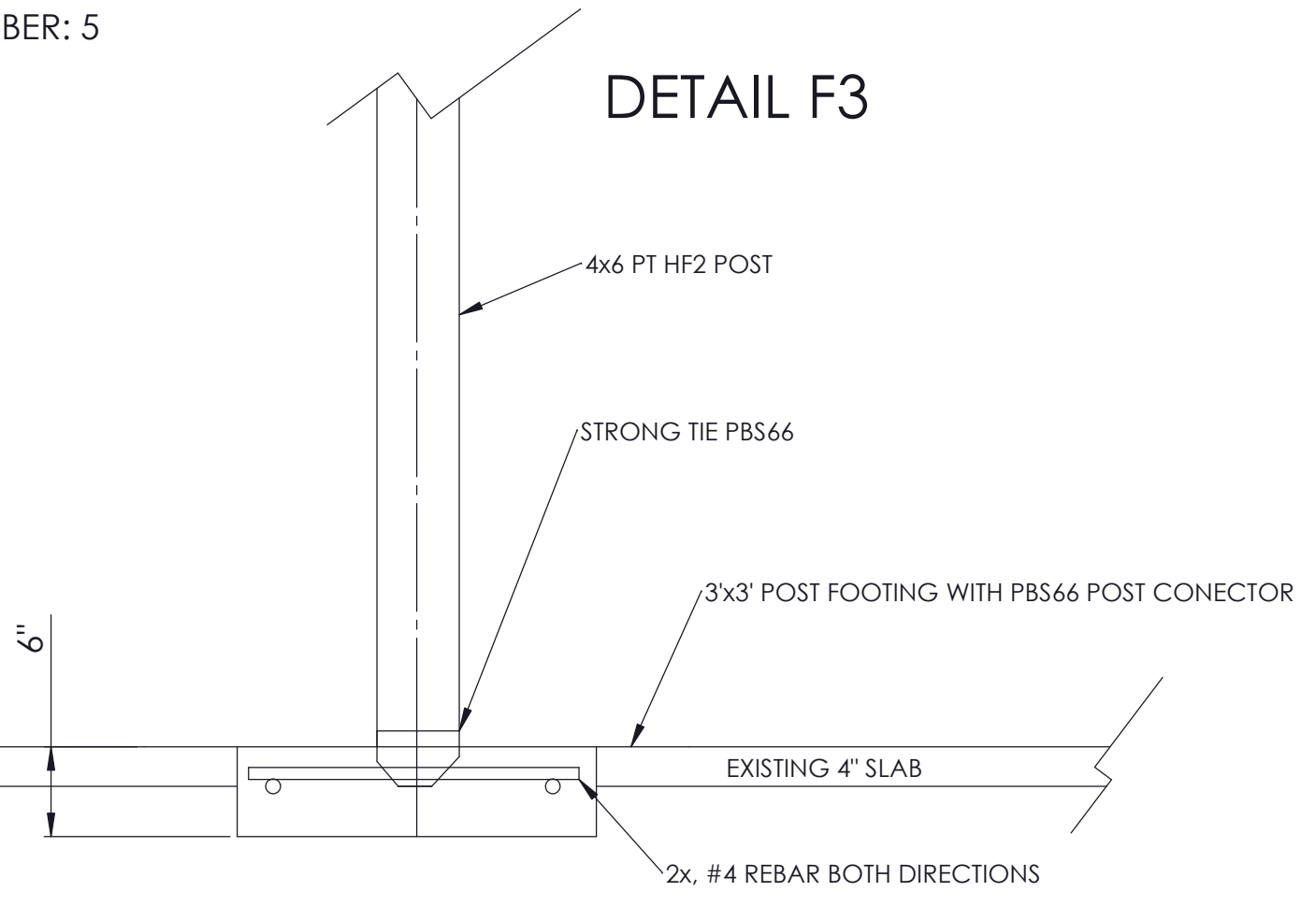




FLOOR FRAMING DETAIL



DETAIL F3



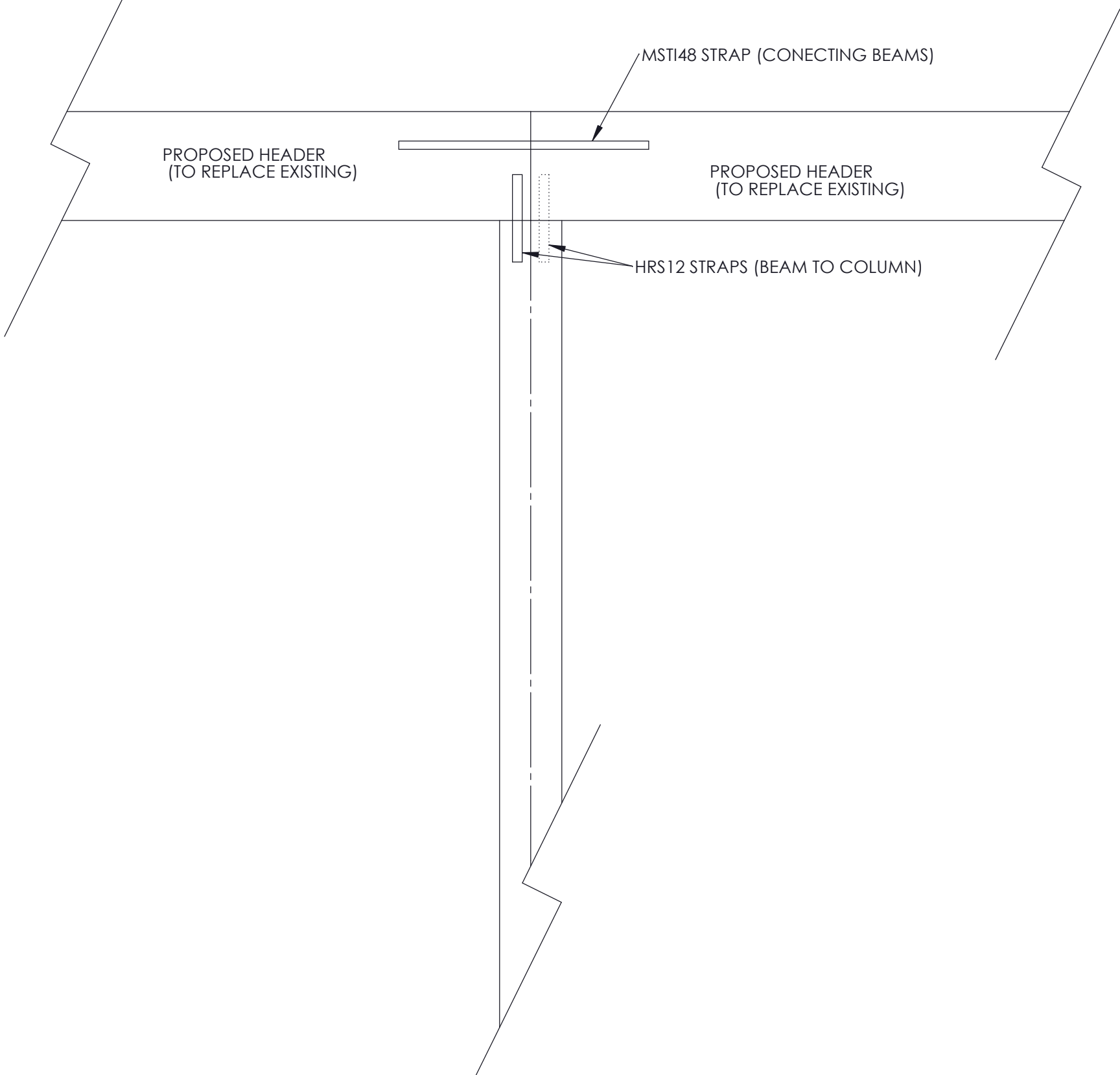
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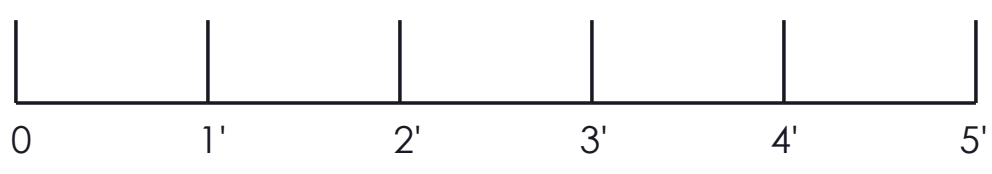
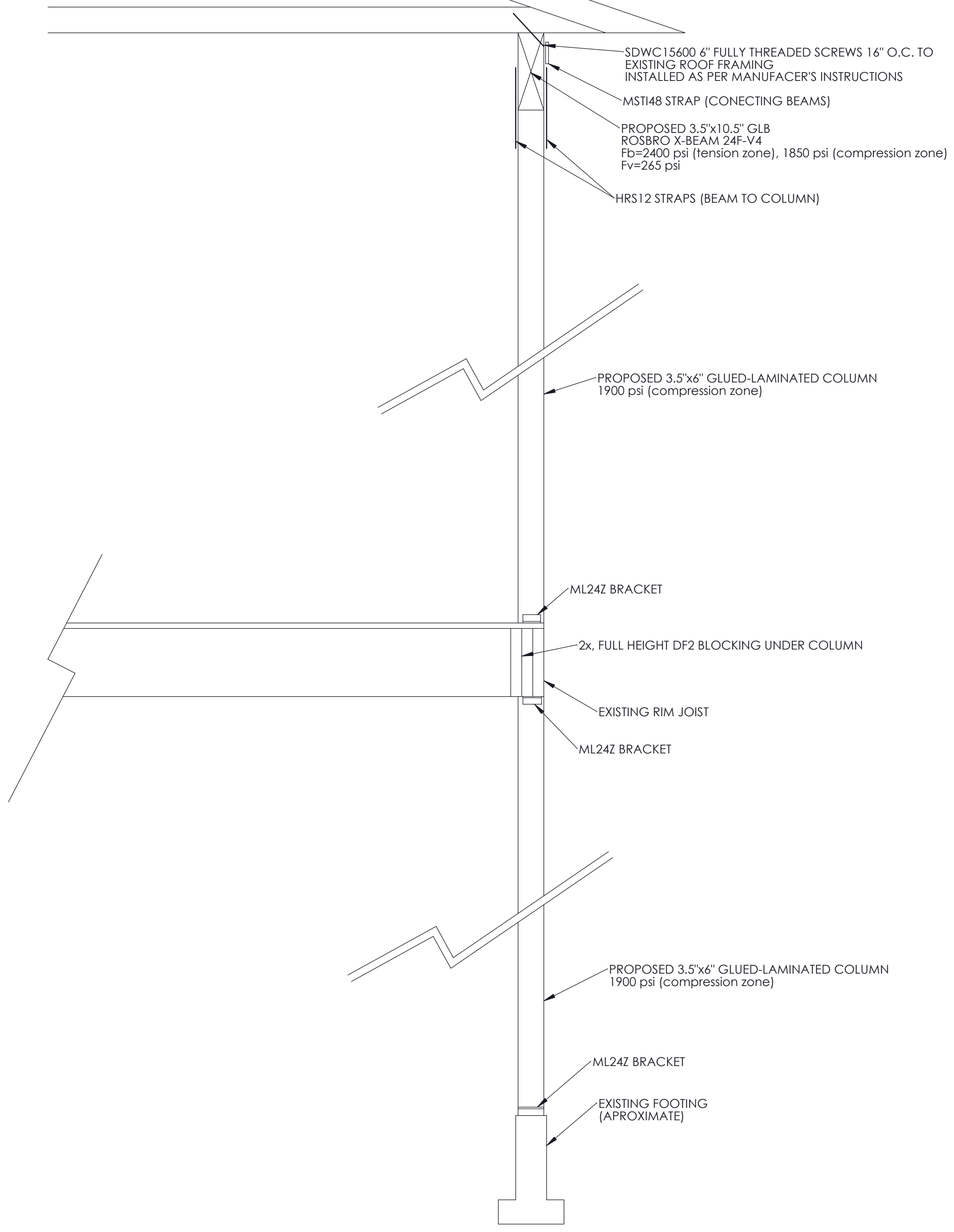
# HEADER DETAIL

DRAWN BY: CASH M. CARR  
DATE: 2/27/2018  
PAGE NUMBER: 6

## HEADER TO COLUMN CONECTION DETAIL B



## HEADER A DETAIL SECTION A



SCALE: 1" = 1'

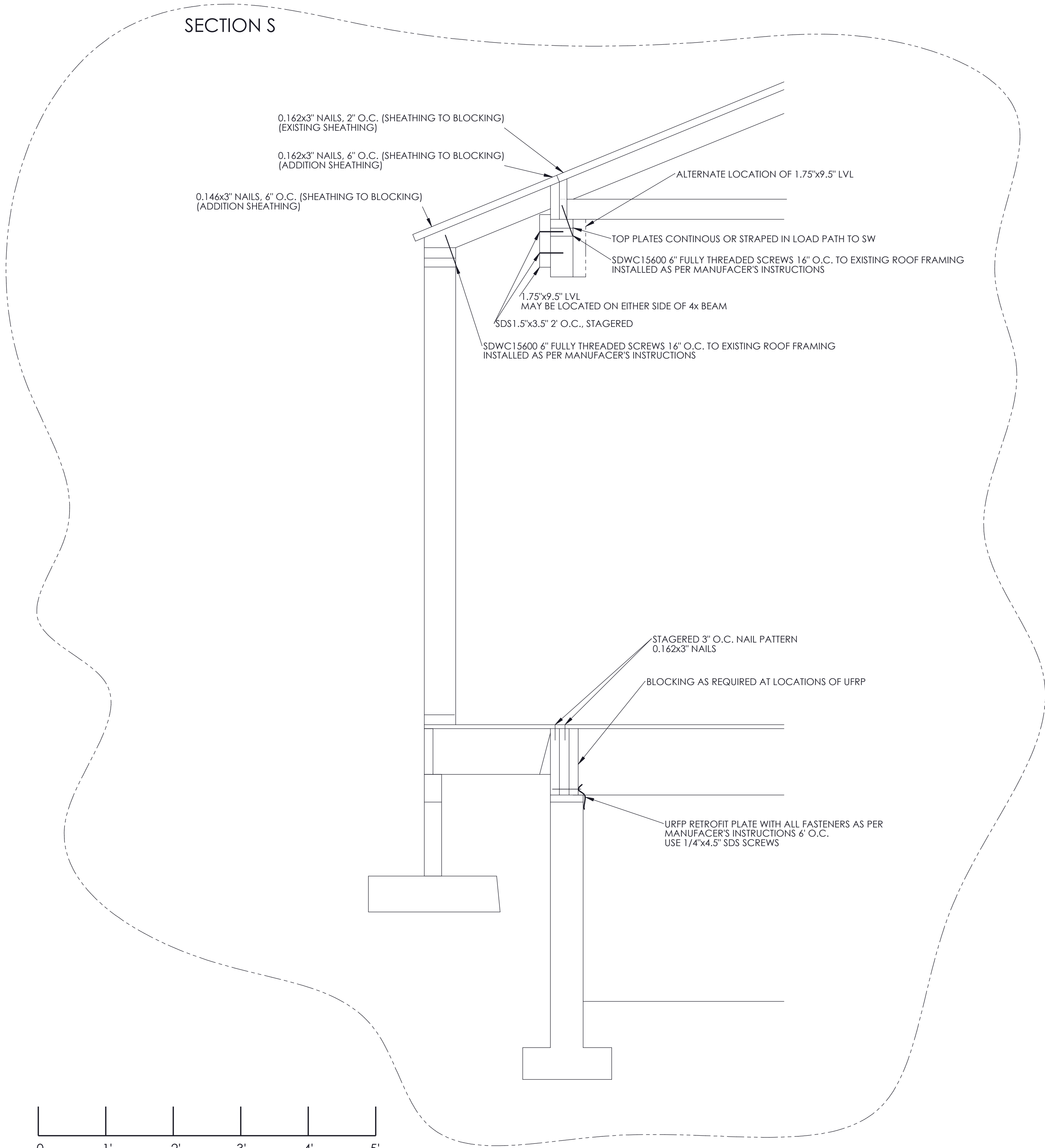




# SHEAR TRANSFER DETAIL

DRAWN BY: CASH M. CARR  
DATE: 5/26/2019  
PAGE NUMBER: 7

## SECTION S



0.162x3" NAILS, 2" O.C. (SHEATHING TO BLOCKING)  
(EXISTING SHEATHING)

0.162x3" NAILS, 6" O.C. (SHEATHING TO BLOCKING)  
(ADDITION SHEATHING)

0.146x3" NAILS, 6" O.C. (SHEATHING TO BLOCKING)  
(ADDITION SHEATHING)

ALTERNATE LOCATION OF 1.75"x9.5" LVL

TOP PLATES CONTINUOUS OR STRAPED IN LOAD PATH TO SW

SDWC15600 6" FULLY THREADED SCREWS 16" O.C. TO EXISTING ROOF FRAMING  
INSTALLED AS PER MANUFACER'S INSTRUCTIONS

1.75"x9.5" LVL  
MAY BE LOCATED ON EITHER SIDE OF 4x BEAM

SDS1.5"x3.5" 2' O.C., STAGERED

SDWC15600 6" FULLY THREADED SCREWS 16" O.C. TO EXISTING ROOF FRAMING  
INSTALLED AS PER MANUFACER'S INSTRUCTIONS

STAGERED 3" O.C. NAIL PATTERN  
0.162x3" NAILS

BLOCKING AS REQUIRED AT LOCATIONS OF UFRP

UFRP RETROFIT PLATE WITH ALL FASTENERS AS PER  
MANUFACER'S INSTRUCTIONS 6" O.C.  
USE 1/4"x4.5" SDS SCREWS



SCALE: 1" = 1'

