

CITY OF MERCER ISLAND

DEVELOPMENT SERVICES GROUP

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercergov.org



INSPECTION REQUESTS:

online:



voicemail:

(206) 275-7730



NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:

Applicant is to complete the following information.

Applicant Contact information prior to permit issuance:

Applicant Contact information post permit issuance:

Name: NED NELSON, ARCHITECT

Name: NED NELSON, ARCHITECT

Address: 11773 SUNRISE DR NE

Address: 11773 SUNRISE DR NE

BAINBRIDGE ISL, WA 98110

BAINBRIDGE ISL, WA 98110

Phone: 425.444.8773

Phone: 425.444.6782

Email: ned.nelson@msn.com

Email: ned.nelson@msn.com

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below. All Special Inspectors (except Geotechnical) must be WABO certified.

When Special Inspection or Structural Observation is required, the report shall be submitted to the City Building Inspector prior to the City inspection. Note: Inspection by the City Inspector is required in addition to the Special Inspection or Structural Observation indicated below. Do not cover or conceal any work prior to the City inspection.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR):

Engineer of Record: _____ Company: _____ Phone: _____
[] General Conformance to Construction Documents [] Other: _____

SOILS / GEOTECHNICAL:

Special Inspector: _____ Company: _____ Phone: _____
[] Erosion control measures [] Subsurface drainage placement
[] Shoring installation and monitoring [] Verify fill material and compaction
[] Observe and monitor excavation [] Rockery installation
[] Verification of soil bearing [] Pile placement (auger cast/driven pile)
[] Other: _____ [] Other: _____

REINFORCED CONCRETE:

Special Inspector: _____ Company: _____ Phone: _____
[] Concrete strength [] Retaining wall construction
[] Reinforcing steel and concrete placement [] Prestressed / Precast construction
[] Shotcrete placement [] Other: _____
[] Other: _____ [] Other: _____

STRUCTURAL STEEL: (AISC 360, Chapter N)

Special Inspector: _____ Company: _____ Phone: _____
[] Fabrication and shop welds [] Moment Frame construction
[] Structural steel erection, field welds and bolting [] Other: _____
[] Other: _____ [] Other: _____

STRUCTURAL MASONRY:

Special Inspector: _____ Company: _____ Phone: _____
[] Mortar strength [] Glass unit masonry installation
[] Masonry unit strength [] Wall panel and veneer installation
[] Other: _____ [] Other: _____
[] Other: _____ [] Other: _____

WOOD:

Special Inspector / Engineer of Record: _____ Company: _____ Phone: _____
[] Lateral resisting system construction [] High strength diaphragm construction
[] Other: _____ [] Other: _____

OTHER SPECIAL INSPECTIONS:

Special Inspector: _____ Company: _____ Phone: _____
[] Epoxy grout installations [] Stucco installation
[] Expansion anchor installations [] Infiltration System
[] Other post installed anchors [] Exterior Insulation Finish System (EIFS) installation
[] Alternative construction methods: [] Other: _____
[] Alternative construction materials: [] Other: _____

DEFERRED SUBMITTALS:

The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

[] Connector plate wood trusses [] Post tension layout
[] Metal joist / metal trusses [] Exterior cladding
[] Premanufactured structures (stairs, etc.) [] Window wall / curtain wall construction
[] Precast concrete elements [] Other: _____
[] Other: _____ [] Other: _____

ENERGY CODE COMPLIANCE INFORMATION:

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

NO HEATED SPACES THIS PERMIT
[] Building envelope: WSEC Table 402.1.1
[] Whole house ventilation: IRC Section M1507 WA Amendment
[] Energy Credit Information: WSEC Table 406.2
[] RECPC Form Information: (if incorporated within drawing set)
http://www.mercergov.org/files/2012/ResidentialEnergyCalcForm.pdf

NOTE: UNHEATED DETACHED GARAGE & NEW SWIMMING POOL

TO BE COMPLETED BY DSG

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PROJECT ALERTS: Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition.

[x] Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including:
- Site Considerations
- Hours of Work
- Construction Vehicle Parking Restrictions
- Access Road Requirements
- ROW restrictions
- Drainage Requirements
- Sewer Requirements
- Water Service Requirements
- Additional Fire Code Requirements
- Planning Requirements
- Noise Abatement Certification
- Tree Requirements
[] Refer to "Preconstruction Meeting Checklist" provided at the preconstruction meeting for development related requirements.
[] Temporary site address with minimum 6" high numbers visible from the street must be installed.
[] Erosion control measures must be as shown on approved project drawings. All erosion control is to be in place and inspected prior to the start of any site work.
[] A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information.

TREE PROTECTION REQUIREMENTS:
[x] Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.
[x] No trees shall be cut without a City of Mercer Island tree permit.
[] Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection.
[] For this project, N/A trees are authorized to be removed and replaced with N/A trees.
[] This project appears to be within a protected eagle nest area. Contact Federal Fish and Wildlife at (360) 534-9304 or visit their website at http://www.fws.gov/pacific/eagle

FIRE PROTECTION REQUIREMENTS: Separate Permits are required for ALL fire protection systems. For more information, see http://www.mercergov.org/Page.asp?NavID=2614
[] Fire Sprinkler: [] Monitored Household Fire Alarm per NFPA 72
[] NFPA 13D [] Monitored Sprinkler
[] Plus [] Water Flow Alarm
[] NFPA 13R [] Other:
[] NFPA 13 [] Other:
[] Approved Fire Code Alternatives: [] FCA1 [] FCA3 [] FCA2 [] FCA4

WATER SUPPLY REQUIREMENTS:
[] Fire sprinkler design calculations must be provided prior to determining water supply system requirements.
[] Water Supply system upgrade required
[] City Installation.
[] Applicant Installation.
Required Service Line Size: N/A Required Supply Line Size: N/A Required Meter Size: N/A
(water main to meter) (water main to house)
[] Abandonment of existing service and meter required at main.
[x] Pressure reducing valve required if pressure exceeds 80 psi.
[x] Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells or lake irrigation).
[] Additional water supply requirements:

DRAINAGE REQUIREMENTS:
[] On site detention system required. [] Direct discharge into the lake.
[] On site infiltration system required. [] No Storm Water permit required.
[] As-built Utility drawings required. [] Connection to public storm drainage conveyance system req'd.
[] Full Size drawings required. [] Other:

SIDE SEWER REQUIREMENTS:
[x] Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties.
[] Video tape of existing sewer required (see standard details)
[] New connection. [] Connect to existing. Disconnect permit required. [] Reconnect permit required.
[] Other:
Note: When side sewer is to be connected to the lake line you will need to schedule three (3) days in advance with the City of Mercer Island Maintenance Department at (206) 275-7800.

APPROVED CODE ALTERNATIVES: Code alternatives must be inspected. Refer to the Inspection Checklist
[] CA1: [] CA2:

SURVEY REQUIREMENTS: (The following survey information must be submitted when checked):
Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy.
Surveyor: _____ Phone: _____
[] Building height survey
[] Building setback survey
[] Impervious surface survey
[] Other:
[] MAXIMUM 40 PERCENT ALTERATION INSPECTION: (WSEC 41.01.050(1)(b))
A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730.
[] Civil / Drainage [] LUP / Setback requirements

GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

[] Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times.

Geotechnical Engineer: _____ Phone: _____
SEASONAL DEVELOPMENT LIMITATION RESTRICTION:
[] Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.
[] Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.

Permit number: _____ Approved by: _____ Date: _____

TO BE COMPLETED BY DSG

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REQUIRED CONSTRUCTION INSPECTIONS: It is the applicant's responsibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at www.MyBuildingPermit.com or by calling the Inspection Hotline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel) in advance of desired inspection. Be specific as to type of inspection.

Inspector shall initial and date appropriate inspection only if approved. Note: Items marked with an "*" require a separate permit. It is the applicants responsibility to apply for and obtain all City of Mercer Island permits.

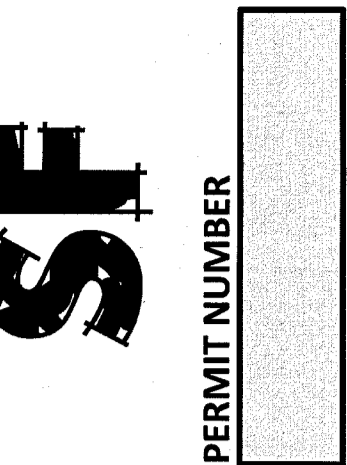
INSPECTIONS: (Listed in order of typical sequencing)
Inspector Date Approved
[] Pre-construction Meeting to Review Conditions of Permit Approval.
[] Tree protection
[] Erosion control
[] Sewer disconnect and cap. If applicable, separate side-sewer permit required
[] Right-of-way use or work / easement, material delivery, etc. If applicable, separate ROW permit required
[] Land clearing, grading and demolition
[] Temporary power
[] Pilings / Shoring / Shotcrete. If applicable, provide survey letter (property line); Geotechnical Engineer / Special Inspector reports of inspections (pile and shoring installation, etc.)
[] Footings, setbacks, UFER ground. If applicable, provide survey letter (building height and setbacks); Special Inspector reports of inspections (soil bearing capacity, compaction, earthwork, pile installation, etc.)
[] Foundation walls / concrete columns
[] Roof and footing drains
[] Foundation dampproofing
[] Storm drainage, including (but not limited to):
- Connections to storm main in ROW
- Detention systems
- Infiltration systems
- Catch basins including oil-water separator tees
- Area drains
- Conveyance piping / cleanouts
- Storm drain in ROW
- Control structures / manholes
- Pump systems
- Retaining wall drainage
[] Water Service
[] Water Supply
[] Water as-built drawings
[] Side sewer installation, including (but not limited to):
- Connections to side sewer main
- Connections to existing side sewer
- Back-flow valves
- Grinder pump systems
- Sewer manholes
[] Driveway / Access road
[] Underslab electrical / mechanical / plumbing
[] Underslab insulation / vapor barrier / reinforcing
[] Underfloor framing
[] Nailing-Roof sheathing. If applicable, provide Special Inspection letter for lateral wood inspection.
[] Nailing-Exterior wall and Shearwall. If applicable, provide Special Inspection letter for lateral wood inspection.
[] Rough hydronic installation
[] Rough electric installation
[] Rough fire alarm (wiring inspection)
[] Rough plumbing installation (DWW, water)
[] Rough mechanical
[] Gas Piping
[] Rough fire sprinkler / hydrostatic and flow (bucket) test
[] Framing and glazing. If applicable, provide Special Inspection letter for lateral wood inspection, welding epoxy anchors, etc.
[] Masonry construction (fireplace / walls / veneer / etc.)
[] Insulation installation
[] Stucco (paper and lath)
[] Shower pan (or tub)
[] Miscellaneous
[] Code Alternative CA1:
[] Code Alternative CA2:
[] Impact Fees Paid (If applicable)

[] Final Inspection: Tree Restoration
[] Final Inspection: Fire protection, including (but not limited to):
- Sprinkler
- Access Road
- Fire Code Alternatives (see below)
- Fuel Tank Installation
- Fire Extinguishing System
- Fire Alarm System
[] FCA1: [] FCA3:
[] FCA2: [] FCA4:
[] Final Inspection: Water supply protection, including (but not limited to) backflow devices for:
- Waterfront property
- Fire / lawn sprinkler
- Well water on property
- Boiler
[] Final Inspection: Site and utility: includes landscape, utilities and ROW. Site restoration complete and as-built drawings ready for submittal.
[] Final Inspection: Building, including electrical / mechanical / plumbing. If applicable, provide closeout (summary) letters from Engineer, Special Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS).

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO): Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.
Approved _____ Start Date _____ End Date _____

ADDITIONAL REQUIRED CITY INSPECTIONS: Call the appropriate contact to arrange the inspection.
Required Inspection(s): _____ Contact: _____ Phone: _____ Scheduling: _____

IMPACT FEES: If applicable. [] Impact fees apply and are due prior to Final Inspection or on _____, whichever occurs first.
PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents.
[] Building [] Planning [] Engineering [] Tree [] Fire



CERTIFICATE OF OCCUPANCY Issued after all required inspections have been performed and approved.

PROJECT NAME: HEADRICK GARAGE & POOL ADDITION
PROJECT ADDRESS: 8822 S.E. 62ND ST.-M.I.
APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES
REVIEWED FOR CODE COMPLIANCE

HEADRICK RESIDENCE

8822 S.E. 62ND STREET, MERCER ISLAND, WA. 98040

Ned Nelson, Architect

11773 Sunrise Drive NE
Bainbridge Island, WA 98110
telephone: 425.444.6782
email: nednelson@msn.com

HEADRICK RESIDENCE

8822 S.E. 62ND STREET,
MERCER ISLAND, WA. 98040

REVISIONS:

Mark	Date

DATE: 05/28/19

PROJECT INFORMATION

SHEET:
A1

POOL NOTES / CERTIFICATIONS

WDDJ.E164833
Swimming Pool and Spa Cover Operators, Electric

Page Bottom

Swimming Pool and Spa Cover Operators, Electric

See General Information for Swimming Pool and Spa Cover Operators, Electric

LATHAM POOL PRODUCTS INC. E164833
3795 W 205 N
Lindon, UT 84042-1662 USA

Pool cover operators, Models CS-1800, CS-1800 CL, CS-1800 CO, CS-1800 SS, CS-1800 SW,
Pool cover operator accessory, pool cover drain pump, Model AD-1100,
Pool cover operator and safety cover, Model Infinity 4000, Classified in accordance with ASTM F1234P-91 (Reapproved 2010).

Last Updated on 2015-01-09

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CONFORMANCE:
ALL MATERIAL AND CONSTRUCTION METHODS SHALL CONFORM TO CHAPTER 246-260 WAC, "WATER RECREATION FACILITIES" PUBLISHED BY THE WASHINGTON STATE DEPARTMENT OF HEALTH, INTERNATIONAL BUILDING CODE, NATIONAL ELECTRICAL CODE, UNIFORM MECHANICAL CODE (LATEST ADDITIONS) AND INTERNATIONAL SWIMMING POOL & SPA CODE 2015 CHAPTERS 3 & 8, ELECTRICAL CODE AND UNIFORM MECHANICAL CODE (LATEST ADDITIONS) AS MODIFIED BY THE LOCAL PERMIT AGENCY.

DESIGN CRITERIA:
THE POOL WALLS ARE DESIGNED TO MEET THE LOAD REQUIREMENTS RESULTING WHEN THE POOL IS EMPTY ASSUMING LATERAL EARTH PRESSURE (EQUIVALENT FLUID PRESSURE OF 55 PSF) ON THE ENTIRE HEIGHT OF WALL AND ALSO RESULTING WHEN THE POOL IS FULL OF WATER ASSUMING NO LATERAL EARTH RESISTANCE FOR THE TOP 2-1/2 FEET OF THE WALL. IT IS FURTHER ASSUMED THAT THE POOL SHALL BE Poured AGAINST FIRM UNDISTURBED SOIL ALLOWING THAT THE TOP 2-1/2 FEET OF WALL MAY BE FORMED AND FILL PROVIDED IN BACK THEREOF. THE SOIL SHALL HAVE A MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF. THE POOL IS NOT DESIGNED AGAINST HYDROSTATIC UPLIFT WHEN EMPTY AND THEREFORE A PRESSURE RELIEF VALVE IS TO BE PROVIDED AT THE LOWEST POINT. THIS TYPE OF POOL ELIMINATES THE USE OF FORMS ON MOST OF THE WORK AND THEREFORE IT'S USE IS LIMITED TO SOILS WHICH CAN BE SHAPED TO THE DESIRED CONTOUR AND WHICH WILL RETAIN ITS SHAPE UNTIL THE GUNITE IS PLACED.

CONCRETE:
GUNITE: 1 PART CEMENT, 4-1/2 PARTS OF SAND, BASED ON DRY AND LOOSE VOLUME; 2,500 PSI @28 DAYS. PORTLAND CEMENT TYPE I OR II, ASTM C-150, SEVEN SACK MIX.

REINFORCEMENT:
REINFORCING STEEL, DEFORMED INTERMEDIATE GRADE, F_y = 40,000 PSI, ASTM A-15. LAP SPLICES 40 DIAMETERS; SUPPORT ON CONCRETE BLOCKS AND TIE WITH 16 GAGE ANNEALED WIRE; 2" MINIMUM COVER BETWEEN EARTH AND STEEL.

CONSTRUCTION:
MAXIMUM LENGTH OF POOL WITHOUT CONTROL JOINT IS 60'-0". GUNITE IS TO BE PLACED MONOLITHIC AND PNEUMATICALLY.

EARTH SURFACES:
TO BE THOROUGHLY COMPACTED AND NEATLY TRIMMED TO LINE AND GRADE.

ENERGY CODE
PROVIDE POOL/SPA EQUIPMENT, COVERS, PIPING INSULATION, MOTORS, ETC. IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF 2015 WSEC SECTIONS R403.10.1 THROUGH R403.10.4.2 AND APSP-15. HEATERS, TIME SWITCHES AND COVERS TO CONFORM TO ISPSC 2015 SECTION 303 & 316.

Certificate of Compliance

Certificate Number: 20110728 - E211895
Report Reference: E211895 - 2002 September 04
Issue Date: 2011 July 28

Page 1 of 1



Issued to: **POOL COVER SPECIALISTS NATIONAL INC**
8553 S 2940 W
WEST JORDAN, UT 84088 USA

This is to certify that representative samples of **Covers for Swimming Pools and Spas**
Manual Safety Cover, Model Life-Lock Dual-Pin Manual Safety Cover.

Have been investigated by Underwriters Laboratories in accordance with the Standard(s) indicated on this Certificate.

Standard(s) for Safety: **ASTM F1246, "Standard Performance Specification for Safety Covers and Labeling Requirements for All Covers for Swimming Pools, Spas and Hot Tubs."**

Additional Information: See UL On-line Certification Directory at WWW.UL.COM for additional information.

Only those products bearing the UL Listing Mark for the US and Canada should be considered as being covered by UL's Listing and Follow-Up Service meeting the appropriate requirements for US and Canada.

The UL Listing Mark for the US and Canada generally includes the UL in a circle symbol with "U" and "C" identifiers. On the word "LISTED" a control number may be alphanumeric assigned by UL; and the product category name (product identifiers as indicated in the appropriate UL Directory).

Look for the UL Listing Mark on the product

William R. Carney
Director, North American Certification Programs
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For questions, please contact a local UL Customer Service Representative at Support@ul.com or <http://www.ul.com/customer-service>

MAKE-UP WATER
IF NOT OTHERWISE PROVIDED FOR IN THE DRAWINGS, MAKE-UP WATER SHALL BE PROVIDED BY HOSE BIBB LOCATED IN POOL DECK AREA BY OWNER. VACUUM BREAKER PROTECTION SHALL BE PROVIDED.

DUAL DRAIN SEPARATION
POOL FACILITY PUMP CIRCULATION SYSTEMS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) SUCTION OUTLETS OF THE APPROVED TYPE. A MINIMUM HORIZONTAL OR VERTICAL DISTANCE OF THREE (3) FEET SHALL SEPARATE SUCH OUTLETS. THESE SUCTION OUTLETS SHALL BE PIPED SO THAT WATER IS DRAWN THROUGH THEM SIMULTANEOUSLY THROUGH A VACUUM RELIEF-PROTECTED LINE TO THE PUMP OR PUMPS. SUCTION ENTRAPMENT AVOIDANCE SHALL CONFORM TO APSP 7.

SYSTEM DESIGN
A CIRCULATION SYSTEM CONSISTING OF PUMPS, PIPING, RETURN INLETS AND OUTLETS, FILTERS, AND OTHER NECESSARY EQUIPMENT SHALL BE PROVIDED FOR THE COMPLETE CIRCULATION OF WATER. WATER VELOCITY, PIPING AND FITTINGS SHALL CONFORM TO ISPSC 2015 SECTIONS 311.3 & 311.4. CIRCULATION SYSTEM PIPING EQUIPMENT SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE TEST PER ISPSC 2015 SECTION 311.9. CIRCULATION SYSTEM EQUIPMENT SHALL BE SIZED TO PROVIDE A TURNOVER OF THE POOL WATER WAS NOT LESS THAN ONCE EVERY 12 HOURS. THE SYSTEM SHALL BE DESIGNED TO PROVIDE THE REQUIRED TURNOVER RATE BASED ON THE MANUFACTURER'S SPECIFIED MAXIMUM FLOW RATE OF THE FILTER, WITH A CLEAN MEDIA CONDITION OF THE FILTER.

SANITIZING EQUIPMENT
WHERE INSTALLED, CHEMICAL FEED SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS CHEMICAL FEED PUMPS SHALL BE WIRED SO THAT THEY CANNOT OPERATE UNLESS THERE IS ADEQUATE RETURN FLOW TO DISBURSE THE CHEMICAL THROUGHOUT THE POOL OR SPA AS DESIGNED.

LIGHTING
WHERE LIGHTING IS INSTALLED FOR, AND IN, RESIDENTIAL POOLS AND PERMANENT SPAS, SUCH LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 70 OR THE INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE.

BONDING
ALL METALLIC COMPONENTS OF THE POOL AND SPA SHALL BE BONDED AND GROUNDED. #8 SOLID WIRE SHALL BE USED TO BOND ALL EQUIPMENT TOGETHER WITH APPROVED PRESSURE CONNECTORS. ALL ELECTRICAL EQUIPMENT LOCATED WITHIN 5 FEET OF THE WATER'S EDGE MUST BE GROUNDED, I.E. JUNCTION BOXES, TRANSFORMERS, PANELBOARDS, WET AND DRY NICHE LIGHTS, MOTORS, ETC.

DESIGN CRITERIA

DESIGN CRITERIA PER THE 2015 INTERNATIONAL BUILDING CODE

EARTHQUAKE PER SECTION 1613
Design Per ASCE 7-10
Section 12.8 Equivalent Lateral Force Procedure

Base Shear: $V = C_s * W$
 C_s = Seismic Response Coefficient
 W = Effective Seismic Weight

Site / Project Specific Design Values:
 S_s = 1.45 per USGS
Site Class D (Default)
 R = 6.5 from Table 12.2-1
 C_s = 0.1487 per Section 12.8.1.1

S_1 = 0.56 per USGS
Seismic Design Category D
Risk Category II from Table 1.5-1
 I_s = 1.00 from Table 1.5-2

WIND DESIGN PER SECTION 1609 (Allowable Stress Design)
Design per ASCE 7-10 Section 28.6

Design Wind Pressure: $P_s = \lambda * I_s * K_{zt} * PS_{30}$
where: λ = Exposure Factor
 K_{zt} = Topographic Factor
 I_s = Importance Factor
 PS_{30} = Base Design Pressure

Site/Project Specific Values:
Basic Wind Speed = 110 mph (V_{30})
 λ = 1.00 Exposure "B" ("C") "Urban Clustered Area"
 K_{zt} = 1.30
 I_s = 1.00
 PS_{30} = see ASCE 7-10, Figure 28.6.1

STANDARD DESIGN INFORMATION
The information described below is to be used unless otherwise noted on the plans

WOOD DESIGN per Section 2301, Allowable Strength Design, ANSI/AWC SDPWS 2015 & AF & PA NDS 2015 when applicable; per 2308 Conventional Light-Frame Construction

MINIMUM NAILING REQUIREMENTS per Table 2304.10.1

ANCHOR BOLTS:
5/8" \varnothing x 10", A307 or better, w/ 7" min. Embedment. $V = 1.6 \times 860 = 1376 \#$ / bolt

CONCRETE DESIGN per Chapter 19 & ACI 318-14
Concrete: $f'_c = 2500$ psi
Rebar: $f'_y = 40,000$ psi

MISCELLANEOUS HARDWARE
SIMPSON Strong-Tie Connectors or equal

PROJECT INFORMATION

ADDRESS: 8822 62ND STREET, MERCER ISLAND, WA 98040
TAX ID 865050-0040

SCOPE OF WORK:
REMOVE 593 SF OF EXISTING SHEDS / REMOVE PATIO AS INDICATED ON SITE PLAN
CONSTRUCT NEW DETACHED GARAGE OVER EXISTING PAVED AREA - 792 SF
CONSTRUCT NEW SWIMMING POOL TO REPLACE EXISTING (NEW LAYOUT)
CONSTRUCT NEW PERVIOUS DECK SURROUNDING NEW POOL
EXTEND EXISTING PAVED DRIVEWAY AS INDICATED ON SITE PLAN

BUILDING CODES

REQUIRED CODES: IBC 2015, IRC 2015

ENERGY ENVELOPE: N / A
DETACHED GARAGE WILL BE UNHEATED.

CONSTRUCTION:
VB - NOT SPRINKLERED
(NOTE TYPE R FIRE SPRINKLER SYSTEM WILL BE ADDED AS PART OF PHASE 2 ADDITION TO RESIDENCE).

NOTE: AVERAGE BUILDING ELEVATION / ON SITE PLAN SHEET A2
NOTE: LOT SLOPE CALCULATION / ON SITE PLAN SHEET A2

SURVEY / ACCURACY STATEMENT:
SURVEYOR TO FIELD VERIFY MAXIMUM HEIGHT OF DETACHED GARAGE AND PROVIDE STATEMENT OF ACCURACY.

OWNER: Greg & Jennifer Headrick / 8822 S.E. 62nd Street, Mercer Island, WA 98040

DESIGN CONSULTANTS
ARCHITECTURE: Ned Nelson, Architect / 11773 Sunrise Drive NE, Bainbridge Island, Washington 98110
425.444.6782 / nednelson@msn.com

STRUCTURAL: WELLER CONSULTING Mark Weller / 21925 Bothell, WA 98021
425.488.9868 / 425.486.6715 fax

CIVIL: BUSH, ROED & HITCHINGS, INC. Ted Dimof, PE / Engineering Division Manager / Principal
2009 Minor Avenue East, Seattle, WA 98102
206.323.4144 / 206.720.3572 / tedd@brhinc.com

GEOTECHNICAL ENGINEER: GEOTECH CONSULTANTS / Robert Ward / 2401 10th Ave E, Seattle, WA 98102
425.747.5618 / geotech@geotechnw.com

CRITICAL AREAS: WETLAND RESOURCES, INC. / Niels Pedersen / 9505 19th Ave SE, Suite 106, Everett, WA 98208
425.337.3174 / Niels@wetlandresources.com

SURVEYOR: TERRANE Edwin J.Green Jr. / 10801 Main Street, Suite 102, Bellevue, WA 98004
425.458.4488 / support@terrane.net

POOL CONSULTANT: KRISCO AQUATECH POOLS & SPAS Mark Muir, Design Consultant / 17537 132nd Ave. NE, Woodinville, WA 98072
206.226.2433 / 425.487.6400 / 425.486.9696 fax

POOL ENGINEERING: MITCHELL ENGINEERING / 7821 168th Ave NE, Redmond, WA 98052
425.747.1500 / mitchellengineeringinc@comcast.net

ARBORIST: ARBORISTS NW, LLC Neal Baker / ArboristsNW.com / ISA Cert. PN1075A / TRAQ ISA (Tree Risk Assessment Qualified)
Member AREA & SOCA
206.779.2579 / neal@arboristsnw.com

INDEX TO DRAWINGS

ARCHITECTURAL		TREE INVENTORY: SURVEY WITH TREE NUMBERS ADDED	
SHEET	DESCRIPTION		
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	PROJECT INFORMATION		
	SURVEY		
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A5	GARAGE WALL SECTIONS		
A6	POOL & DECK DETAILS		

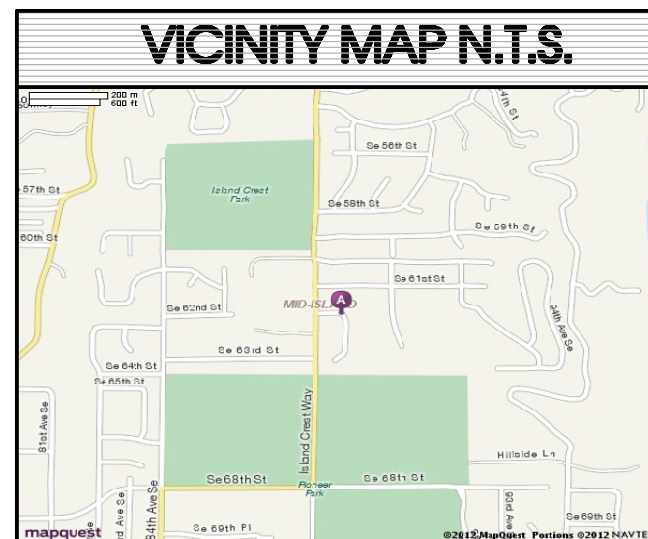
LEGAL DESCRIPTION

METHOD OF SURVEY

TOPOGRAPHIC & BOUNDARY SURVEY

(PER CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 0134363-ETU, DATED AUGUST 23, 2018)
 LOT 8, BLOCK 1, TIMBERLAND ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 52 OF PLATS, PAGE 20, IN KING COUNTY, WASHINGTON, SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

INSTRUMENTATION FOR THIS SURVEY WAS A LEICA ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES. NO CORRECTION NECESSARY. MEETS STATE STANDARDS SET BY WAC 332-130-090.



SCHEDULE B ITEMS

BEARING MERIDIAN

VERTICAL DATUM

A BEARING OF S88°43'21"E ON THE CENTERLINE OF S.E. 63RD STREET, PER THE PLAT OF TIMBERLAND ADDITION, AS RECORDED IN VOLUME 19 OF PLATS, PAGE 20, RECORDS OF KING COUNTY, WA.

CITY OF MERCER ISLAND BENCH MARK NO. 2289
 (NAVD 88) (VISITED 08-06-12)
 FOUND "1/2" COPPER PIN IN CONC (DN 1.5"). LOCATED SE 63RD ST, OPP HSE #8817.
 ELEVATION = 292.97'

ITEM 1
 COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON PLAT OF TIMBERLAND, RECORDED IN VOLUME 52 OF PLATS, PAGE 20; RECORDING NO.: 4393506 (BLANKET IN NATURE)

ITEM 2
 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
 GRANTED TO: CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON
 PURPOSE: INGRESS AND EGRESS, SOLELY FOR MAINTAINING, OPERATION, REPAIRING AND REPLACING SANITARY SEWER AND STORM DRAINAGE PIPE AND LINES
 RECORDING DATE: FEBRUARY 23, 1982
 RECORDING NO.: 8202230542

ITEM 3
 A PORTION OF SAID PREMISES (PLOTTED)

ITEM 4
 SANITARY SEWER EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 RECORDING DATE: SEPTEMBER 14, 1988
 RECORDING NO.: 8809140722 (PLOTTED)

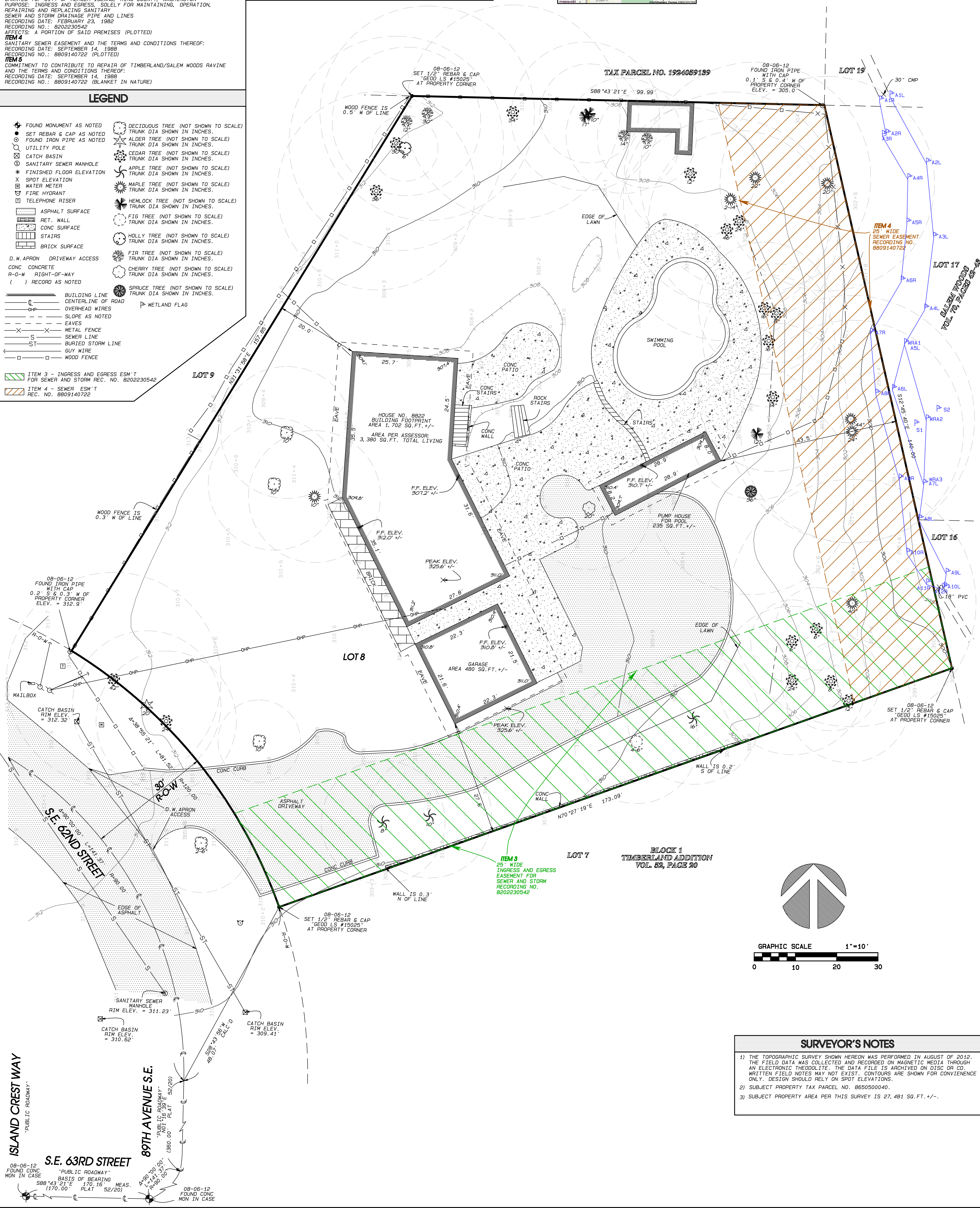
ITEM 5
 COMMITMENT TO CONTRIBUTE TO REPAIR OF TIMBERLAND/SALEM WOODS Ravine AND THE TERMS AND CONDITIONS THEREOF:
 RECORDING DATE: SEPTEMBER 14, 1988
 RECORDING NO.: 8809140722 (BLANKET IN NATURE)

LEGEND

- FOUND MONUMENT AS NOTED
- SET REBAR & CAP AS NOTED
- FOUND IRON PIPE AS NOTED
- UTILITY POLE
- CATCH BASIN
- SANITARY SEWER MANHOLE
- FINISHED FLOOR ELEVATION
- SPOT ELEVATION
- WATER METER
- FIRE HYDRANT
- TELEPHONE RISER
- ASPHALT SURFACE
- RET. WALL
- CONC SURFACE
- STAIRS
- BRICK SURFACE
- D.W. APRON DRIVEWAY ACCESS
- CONC CONCRETE
- R-O-W RIGHT-OF-WAY
- () RECORD AS NOTED
- DECIDUOUS TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES
- ALDER TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES
- CEDAR TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES
- APPLE TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES
- MAPLE TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES
- HEMLOCK TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES
- FIG TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES
- HOLLY TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES
- FIR TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES
- CHERRY TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES
- SPRUCE TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES
- BUILDING LINE
- CENTERLINE OF ROAD
- OVERHEAD WIRES
- SLOPE AS NOTED
- EAVES
- METAL FENCE
- SEWER LINE
- BURIED STORM LINE
- GUY WIRE
- WOOD FENCE
- WETLAND FLAG

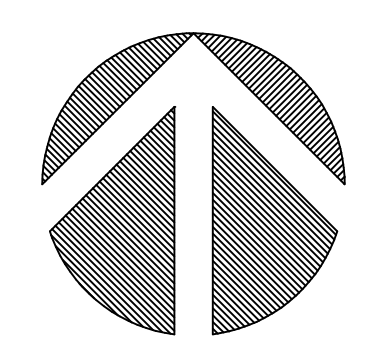
ITEM 3 - INGRESS AND EGRESS ESM T FOR SEWER AND STORM REC. NO. 8202230542

ITEM 4 - SEWER ESM T REC. NO. 8809140722



SURVEYOR'S NOTES

- 1) THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2012. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- 2) SUBJECT PROPERTY TAX PARCEL NO. 8650500040.
- 3) SUBJECT PROPERTY AREA PER THIS SURVEY IS 27,481 SQ. FT. +/-.



ISLAND CREST WAY
 "PUBLIC ROADWAY"
 08-06-12 FOUND CONC MON IN CASE
 BASIS OF BEARING S88°43'21"E 170.16 MEAS. PLAT 52/20

S.E. 62ND STREET
 "PUBLIC ROADWAY"
 08-06-12 FOUND CONC MON IN CASE
 BASIS OF BEARING S88°43'21"E 170.16 MEAS. PLAT 52/20

89TH AVENUE S.E.
 "PUBLIC ROADWAY"
 08-06-12 FOUND CONC MON IN CASE
 BASIS OF BEARING S88°43'21"E 170.16 MEAS. PLAT 52/20

JOB NUMBER: 12421
DATE: 08/13/2012
DRAWN BY: V.L.J.
CHECKED BY: E.J.G.
SCALE: 1" = 10'
REVISION HISTORY
 DATE: 09/19/2018
 DATE: 09/13/2019

Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net

TOPOGRAPHIC & BOUNDARY SURVEY
 SE 1/4 OF THE SW 1/4 OF SEC. 19, TWP. 24N., RGE. 5E., W.M.
 CITY OF MERCER ISLAND, KING COUNTY, WA.

HEADRICK RESIDENCE
 8822 S.E. 62ND STREET
 MERCER ISLAND, WA. 98040

measure success

LEGAL DESCRIPTION
 (PER CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 0134363-ETU, DATED AUGUST 23, 2018)
 LOT 8, BLOCK 1, TIMBERLAND ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 52 OF PLATS, PAGE 20, IN KING COUNTY, WASHINGTON, SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

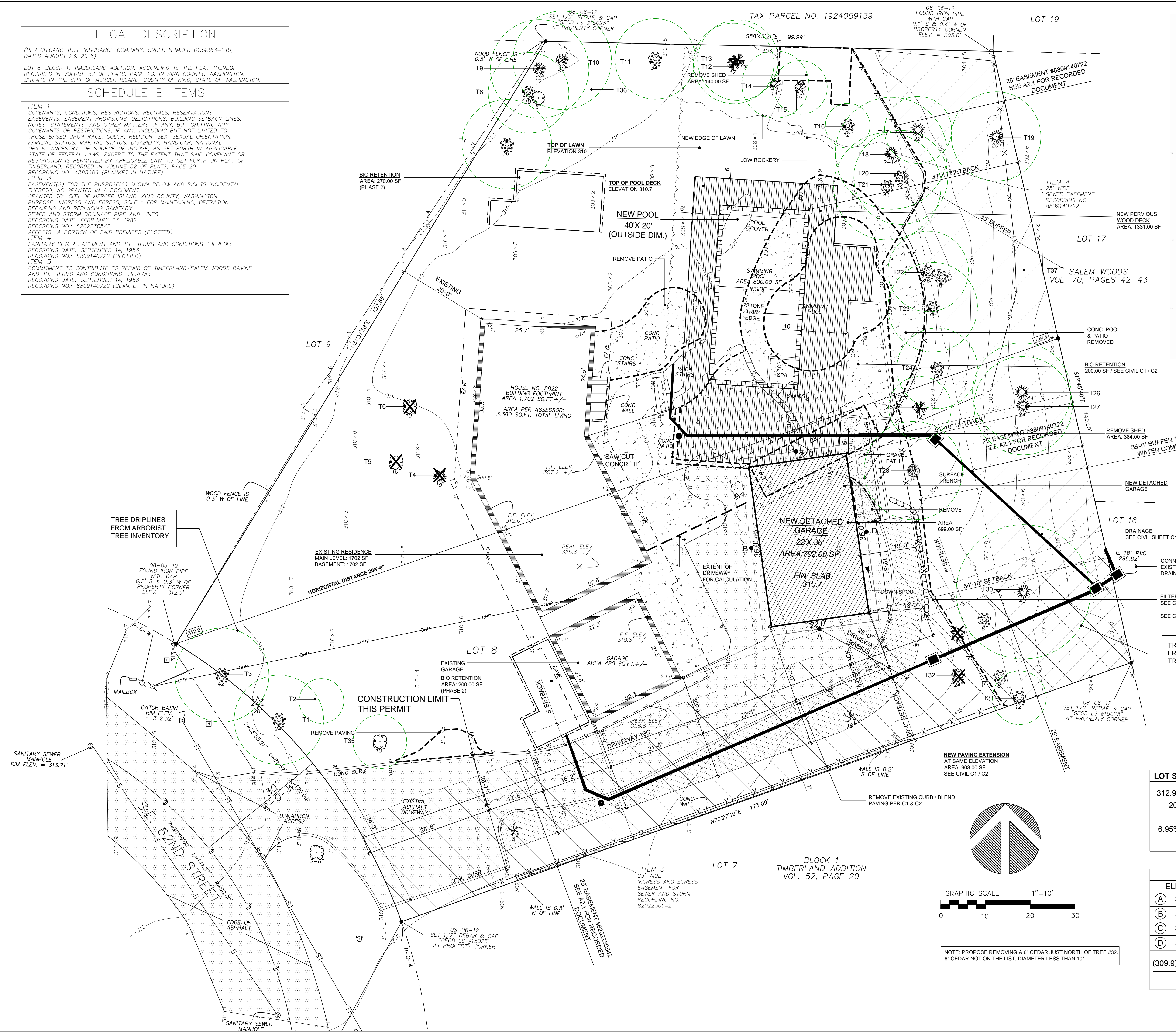
SCHEDULE B ITEMS

ITEM 1
 COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON PLAT OF TIMBERLAND, RECORDED IN VOLUME 52 OF PLATS, PAGE 20; RECORDING NO.: 4393606 (BLANKET IN NATURE)

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 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT GRANTED TO: CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON PURPOSE: INGRESS AND EGRESS, SOLELY FOR MAINTAINING, OPERATION, REPAIRING AND REPLACING SANITARY SEWER AND STORM DRAINAGE PIPE AND LINES RECORDING DATE: FEBRUARY 23, 1982 RECORDING NO.: 8202230542 AFFECTS: A PORTION OF SAID PREMISES (PLOTTED)

ITEM 3
 SANITARY SEWER EASEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDING DATE: SEPTEMBER 14, 1988 RECORDING NO.: 8809140722 (PLOTTED)

ITEM 4
 COMMITMENT TO CONTRIBUTE TO REPAIR OF TIMBERLAND/SALEM WOODS Ravine AND THE TERMS AND CONDITIONS THEREOF: RECORDING DATE: SEPTEMBER 14, 1988 RECORDING NO.: 8809140722 (BLANKET IN NATURE)



LOT COVERAGE CALCULATIONS

A. Allowed Lot Coverage	40	% of Lot
B. Allowed Lot Coverage Area	10,572	Square Feet
C. Gross Lot Area	26,491	Square Feet
D. Net Lot Area	2,591	Square Feet
E. Main Structure Roof Area	3,170	Square Feet
F. Accessory Building Roof Area	293	Square Feet
G. Vehicular Use (driveway, access easements, parking)	293	Square Feet
H. Total Existing Lot Coverage Area	7,454	Square Feet
I. (Total Lot Coverage Area Removed)	800	Square Feet
J. Total New Lot Coverage Area	903	Square Feet
K. Total Project Lot Coverage Area = (H-I) + J	7,557	Square Feet
L. Proposed adjustment for single story	—	Square Feet
M. Proposed adjustment for flag lot	—	Square Feet
N. Proposed Lot Coverage = (K/D)x100	28	% of Lot

HARDSCAPE

What is the total square footage of all hardscape on property?	2,626	Square Feet
What is the total square footage of all decks on property?	1,326	Square Feet

BUILDING AREA

All building areas must be identified and labeled on the site plan. Please distinguish all new construction from existing areas on both your drawing and in the calculations you complete below.

Will you be excluding a portion of the basement floor area? Yes No

If yes, you must provide basement floor area calculations, with your building permit application, that show how you determined what portion of the basement will be excluded. Refer to page 5.

BUILDING AREA CALCULATIONS

Building Area	Existing Area	Removed Area	New/Addition Area	Total
Upper Floor	Sq. Ft.	Sq. Ft.	Sq. Ft.	Sq. Ft.
Main Floor	1,702	—	—	1,702
Gross Basement Area	1,702	—	—	1,702
Garage/Carport	480	—	792	1,272
Total Floor Area	3,884	—	792	4,676
Accessory Buildings	—	—	593	593
Basement Area Excluded	—	—	—	—
150% GFA Modifier*	—	—	296	296
200% GFA Modifier*	—	—	—	—
Staircase GFA Modifier*	—	—	—	—
TOTAL Building Area	—	—	—	6,344

*Enter the actual room area

GROSS FLOOR AREA CALCULATIONS

A. Lot Area	27,481	Square Feet
B. Allowed Gross Floor Area (refer to "Allowed GFA")	2,000	Square Feet
C. Proposed Gross Floor Area	6,344	Square Feet

LOT SLOPE CALCULATION

$312.9 - 298.4 \times 100 = 6.95\%$
 208.5'

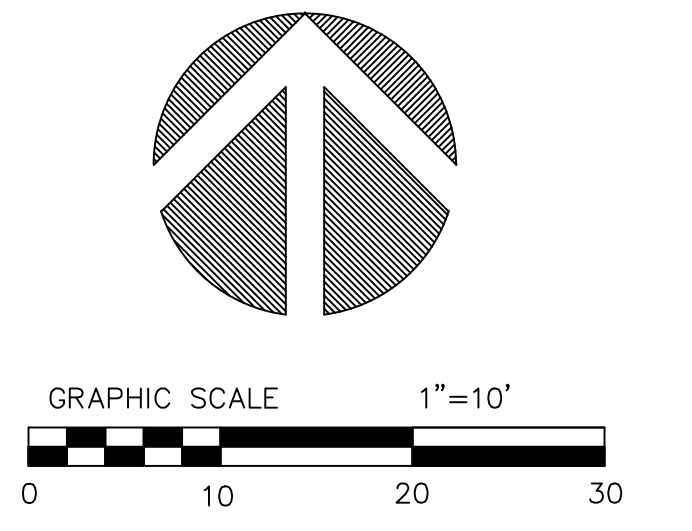
6.95% LESS THAN 15%
 40% COVERAGE OK

AVERAGE BUILDING ELEV. CALCULATION

ELEV.	WALL LENGTH
(A) 309.9	22'
(B) 310	36'
(C) 309.5	22'
(D) 309.5	36'

$(309.9)(22) + (310)(36) + (309.5)(22) + (309.5)(36) = 309.73' \text{ ABE}$

22 + 36 + 22 + 36



Ned Nelson, Architect
 11773 Sunrise Drive NE
 Bainbridge Island, WA 98110
 telephone: 425.444.6792
 email: nednelson@msn.com

HEADRICK RESIDENCE
 8822 S.E. 62ND STREET,
 MERCER ISLAND, WA. 98040

REVISIONS:

Mark	Date

DATE: 05/28/19

SITE PLAN

SHEET:
A2

#8202230542 INGRESS / EGRESS EASEMENT FOR MAINTENANCE OF SANITARY AND STORM DRAINAGE FACILITIES

8202230542

INGRESS AND EGRESS EASEMENT

The undersigned, Grantor, for and in consideration of one dollar (\$1.00) and other valuable consideration, the receipt of which is hereby acknowledged, by these presents bargains, sells, transfers and conveys unto the CITY OF MERCER ISLAND, King County, Washington, Grantee, an easement over and across the following described property situated in King County, State of Washington, to-wit:

The South 25.00 feet of Lot 8, Block 1, in the Plat of Timberland as recorded in Volume 52 of Plats, page 20, records of King County, Washington, measured perpendicular to the common property line between Lots 7 and 8 of said Plat.

This easement is subject to the following limitations:

- It shall be for the purpose of ingress and egress across said described property solely for maintaining, operating, repairing and replacing sanitary sewer and storm drainage pipe and lines plus all necessary connections and appurtenances thereto on adjacent property.
- Said easement shall be 25 feet in width, except to the extent that it lies along the asphalt driveway in which event it shall be 25 feet or the width of the driveway, whichever is the lesser figure; otherwise the easement is as indicated on the attached map.
- Grantee in each instance shall immediately after utilizing said access restore said premises as nearly as possible to its previous condition.

DATED this 1st day of February, 1982.

Carolyn C. Blackstock
Carolyn C. Blackstock

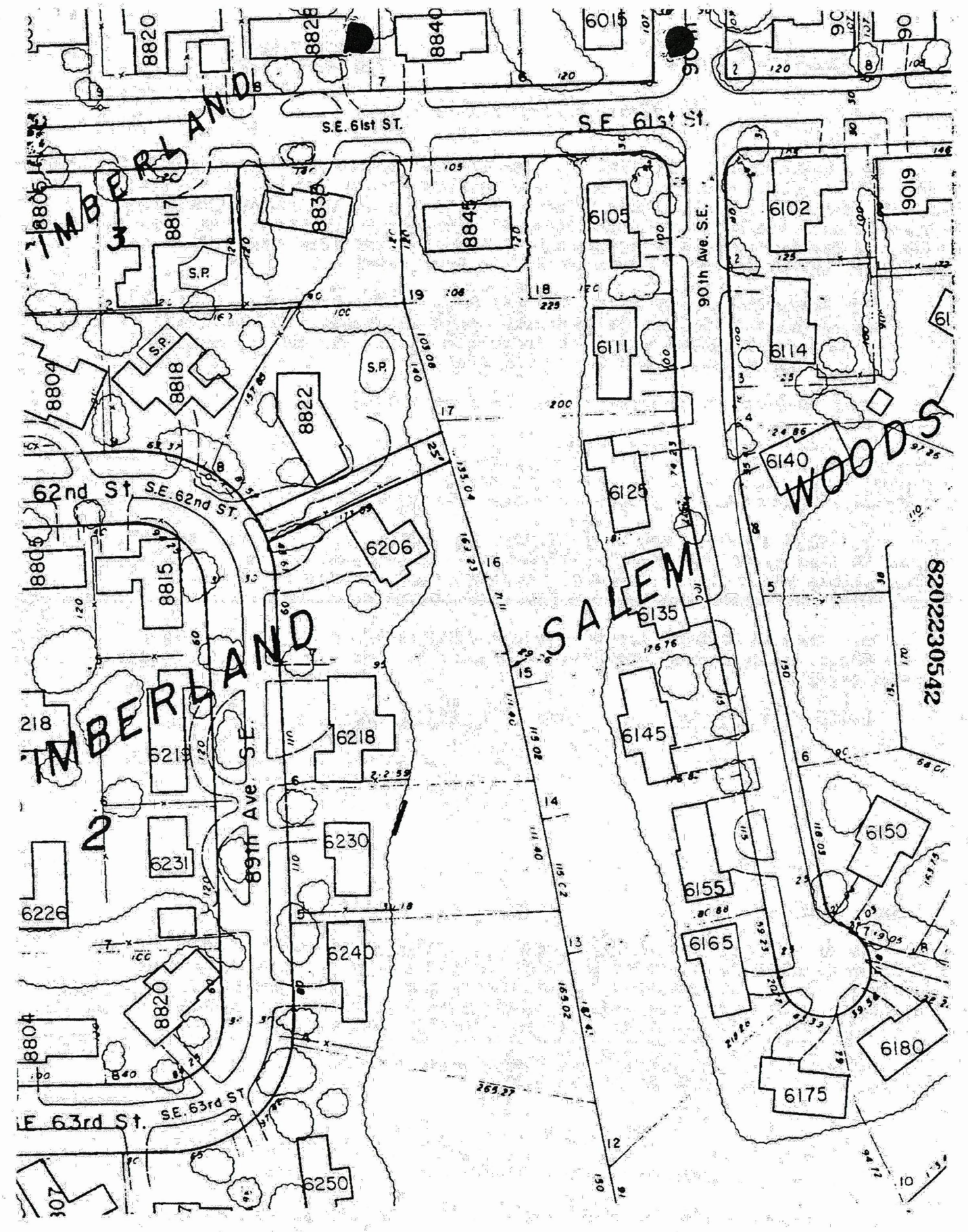
STATE OF WASHINGTON)
COUNTY OF KING) SS.

1% EXCISE TAX NOT REQUIRED
King Co. Records Division
By *D. Runkle* Deputy

On this 1st day of February, 1982, before me, appeared Carolyn C. Blackstock, to me known to be the individual described in and who executed the foregoing instrument, and acknowledged to me that she signed and sealed the said instrument as her free and voluntary act and deed for the uses and purposes therein mentioned.

WITNESS my hand and official seal hereto affixed the day and year in this certificate written.

Robert E. Hammond
MAR - 9 1982
NOTARY PUBLIC in and for the State
CITY OF MERCER ISLAND, Washington, residing at
No. FILE NO. 1050 Mercer Island



#8809140722 PUBLIC AND PRIVATE STORM DRAIN AND SANITARY SEWER EASEMENT

8809140722

PUBLIC AND PRIVATE STORM DRAIN AND SANITARY SEWER EASEMENT

KNOW ALL MEN BY THESE PRESENTS that *Carolyn C. Blackstock* Owner(s)/Grantor(s) of the following described property:

LOT 8, BLOCK 1, IN THE PLAT OF TIMBERLAND AS RECORDED IN VOLUME 52 OF PLATS, PAGE 20, RECORDS OF KING COUNTY, WASHINGTON.

for and in valuable consideration hereby grant and convey to Grantee, City of Mercer Island, its successors and assigns, a public and private storm drain and sanitary sewer easement over, under, upon and across the above described property as follows:

The east 25.00 feet of Lot 8, Block 1, in the Plat of Timberland as recorded in Volume 52 of Plats, page 20, records of King County, Washington, measured perpendicular to the east property line.

Said easement being for the purpose of installing, constructing, maintaining, operating, repairing and replacing public and private sanitary sewer and storm drainage facilities and all necessary connections and appurtenances thereto, together with the right of ingress and egress to, from and across said described property for the foregoing purposes, provided that in the original installation of such utilities and appurtenances the Grantee shall immediately after such installation restore said premises to their original condition as near as may be.

DATED this 19th day of August, 1988.

Carolyn C. Blackstock
Carolyn C. Blackstock

STATE OF WASHINGTON)
COUNTY OF KING) SS.

On this 19th day of August, 1988, before me personally appeared *Carolyn C. Blackstock* and to me known to be the individual(s) described in and who executed the foregoing instrument, and acknowledged that they signed and sealed the same as their free and voluntary act and deed for the uses and purposes therein mentioned.

Given under my hand and official seal the day and year last above written.

Beverlee M. Mar
Notary Public in and for the State of Washington, residing at
Mercer Island, Washington

BEVERLEE MAR
NOTARY PUBLIC
STATE OF WASHINGTON
COMMISSION EXPIRES 12-31-91

WITNESSED AT REQUEST OF:
Mercer Island City Clerk
1505 Sixth Avenue S.E.
P.O. Box 1440
Mercer Island, Washington 98040-1440

DATED this 19th day of August, 1988.

Carolyn C. Blackstock
Property Owner

STATE OF WASHINGTON)
COUNTY OF KING) SS.

On this 19th day of August, 1988, before me personally appeared *Carolyn C. Blackstock* and to me known to be the individual(s) described in and who executed the foregoing instrument and acknowledged that they signed and sealed the same as their free and voluntary act and deed for the uses and purposes therein mentioned.

Given under my hand and official seal the day and year last above written.

Beverlee M. Mar
Notary Public in and for the State of Washington, residing at
Mercer Island, Washington

BEVERLEE MAR
NOTARY PUBLIC
STATE OF WASHINGTON
COMMISSION EXPIRES 12-31-91

Ned Nelson, Architect

11773 Sunrise Drive NE
Bainbridge Island, WA 98110
telephone: 425.444.6782
email: nednelson@msn.com

HEADRICK RESIDENCE
8822 S.E. 62ND STREET,
MERCER ISLAND, WA. 98040

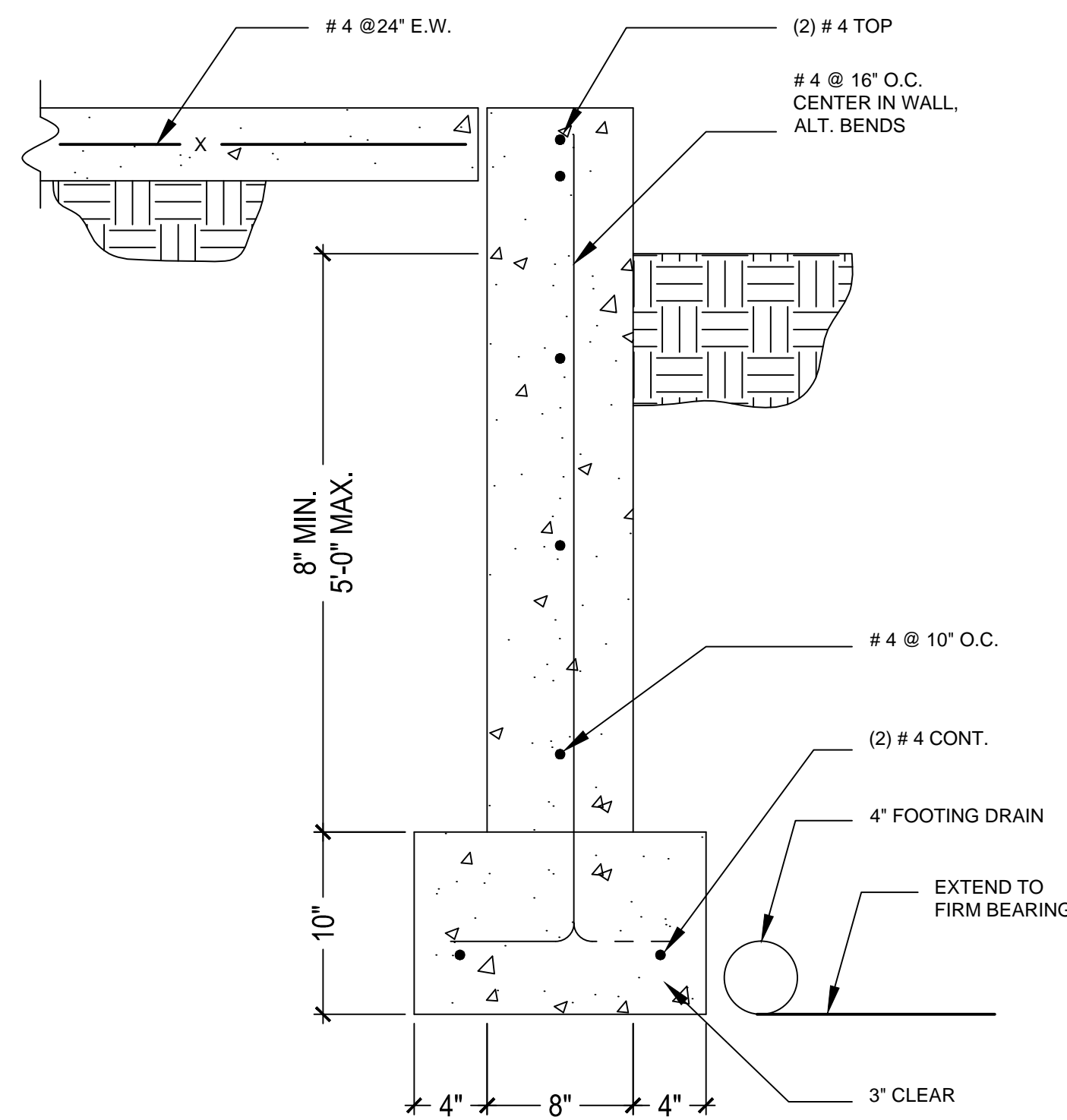
REVISIONS:

Mark	Date

DATE: 05/28/19

EASEMENTS

SHEET:
A2.1



DETAIL F D1
1 1/2" = 1'-0"

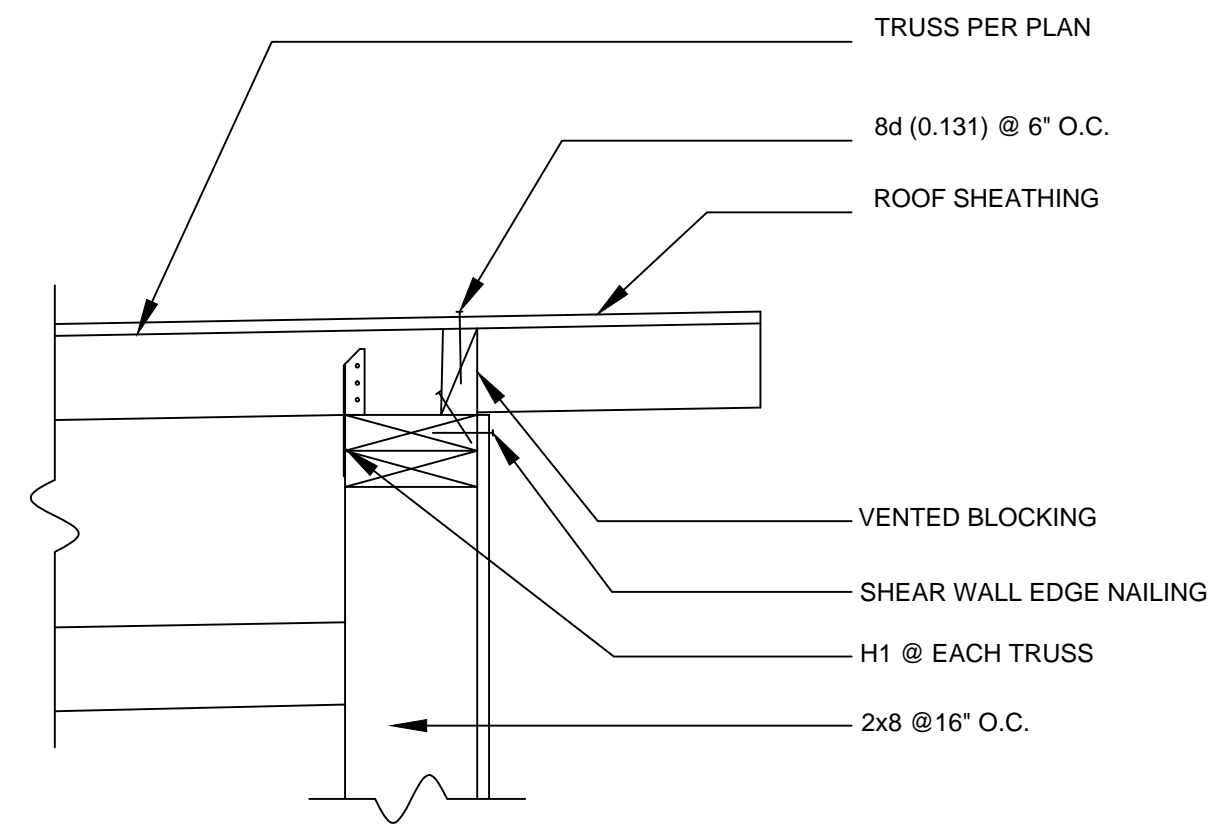
SHEAR WALL SCHEDULE

(SEE ANSI / AWC SDPWS-2015 Table 4.3A & Section 4.3.3)
All shear walls to be sheathed from top plate to bottom plate. Block all panel edges.
Nail spacing is for all panel edges. Space nails @ 12" o.c. along intermediate framing members.

SW-6 $v = 350 \text{ plf}$ 7/16" OSB, w/ 8d (0.131" ϕ) common nails @ 6" o.c.
Anchorage (interior walls only) to SINGLE joist or blk below: 16d (box) @ 4" o.c.

The shear values above are based upon the use of 8d common nails with a full head, a shank diameter of 0.131", and a minimum penetration of 1.375". From Table 4.3A use 15/32; 8d values with a 0.93 reduction for Hem-Fir & 1.4 increase for wind.

NOTE: 1/2" CD EXT. PLYWOOD ALTERNATE TO OSB.

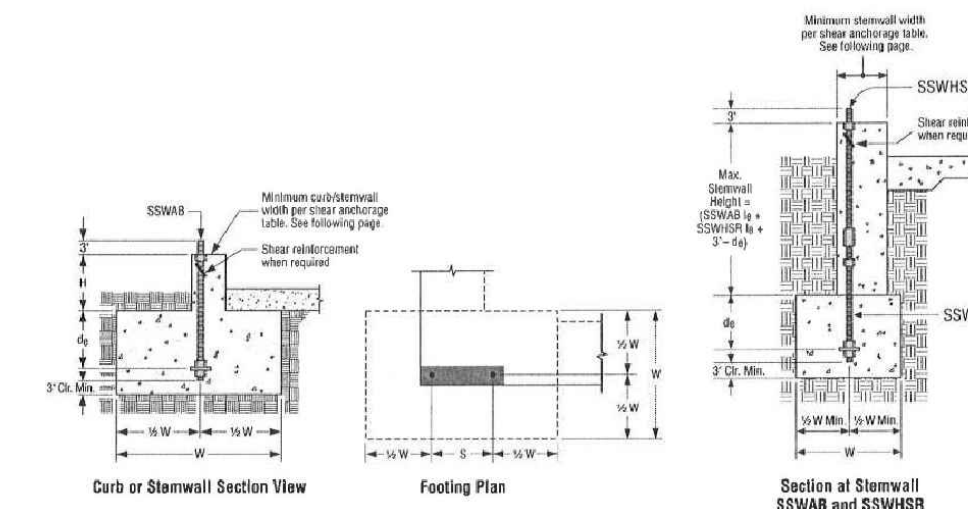


DETAIL A
1 1/2" = 1'-0"

Design Criteria:

- * Stemwall - Garage Front
- * 2015 International Bldg Code
- * Wind
- * 2500 psf concrete

Anchor Solution Details:



Anchor Solution Assuming Cracked Concrete Design:

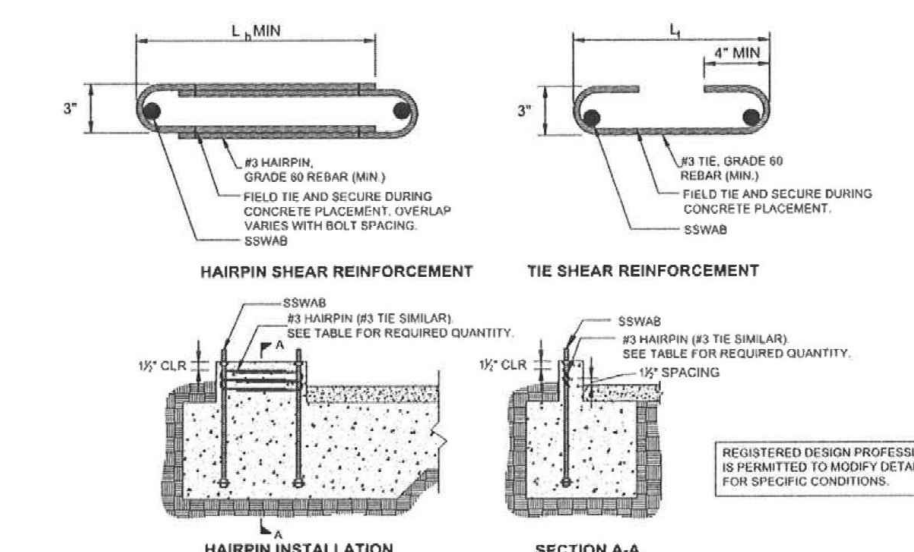
Model	W	de	S	Anchor Bolt	Strength
SSW18x13	32	11	12.25	SSWAG1	Standard

Anchor Solution Assuming Uncracked Concrete Design:

Model	W	de	S	Anchor Bolt	Strength
SSW18x13	22	8	12.25	SSWAB1	Standard

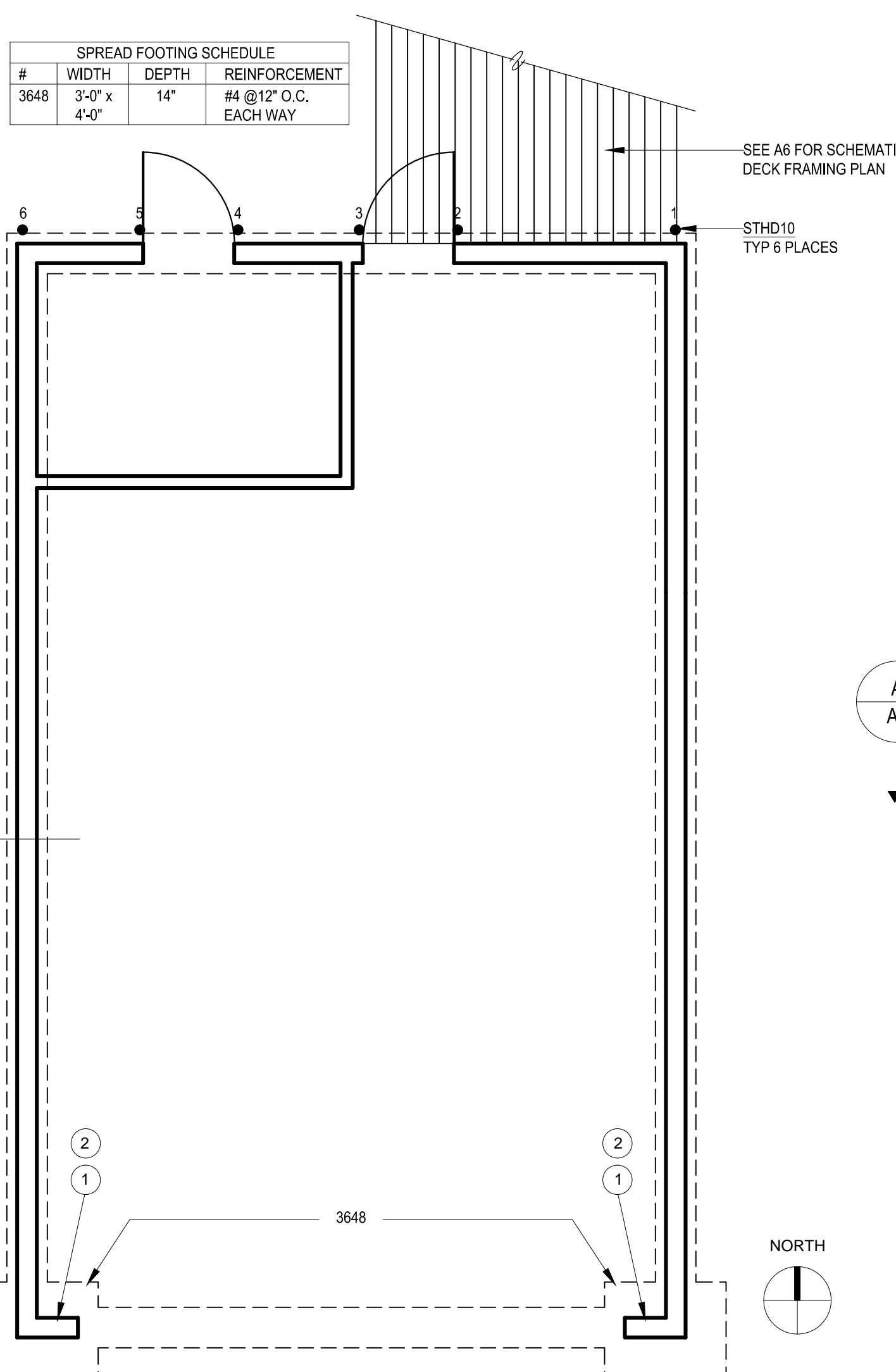
Notes:

1. Anchorage designs conform to ACI 318-14 and 318-11 Appendix D with no supplementary reinforcement for cracked and uncracked concrete as noted.
2. Anchorage strength indicates required grade of SSWAB anchor bolt. Standard (ASTM F1554 Grade 36) or High Strength (HS)(ASTM A449).
3. Wind indicates Seismic Design Category A and B.
4. Footing dimensions are for anchorage only. Foundation design (size and reinforcement) by Designer.



MODEL	L	O.C.	S	S	SSWAG1		SSWAB1	
					MIN. CURS (STEM WALL WIDTH)	MIN. CURS (STEM WALL WIDTH)	MIN. CURS (STEM WALL WIDTH)	MIN. CURS (STEM WALL WIDTH)
SSW18	3	12	12	12	12	12	12	
SSW18	12	12	12	12	12	12	12	
SSW18	18	12	12	12	12	12	12	
SSW18	12	12	12	12	12	12	12	

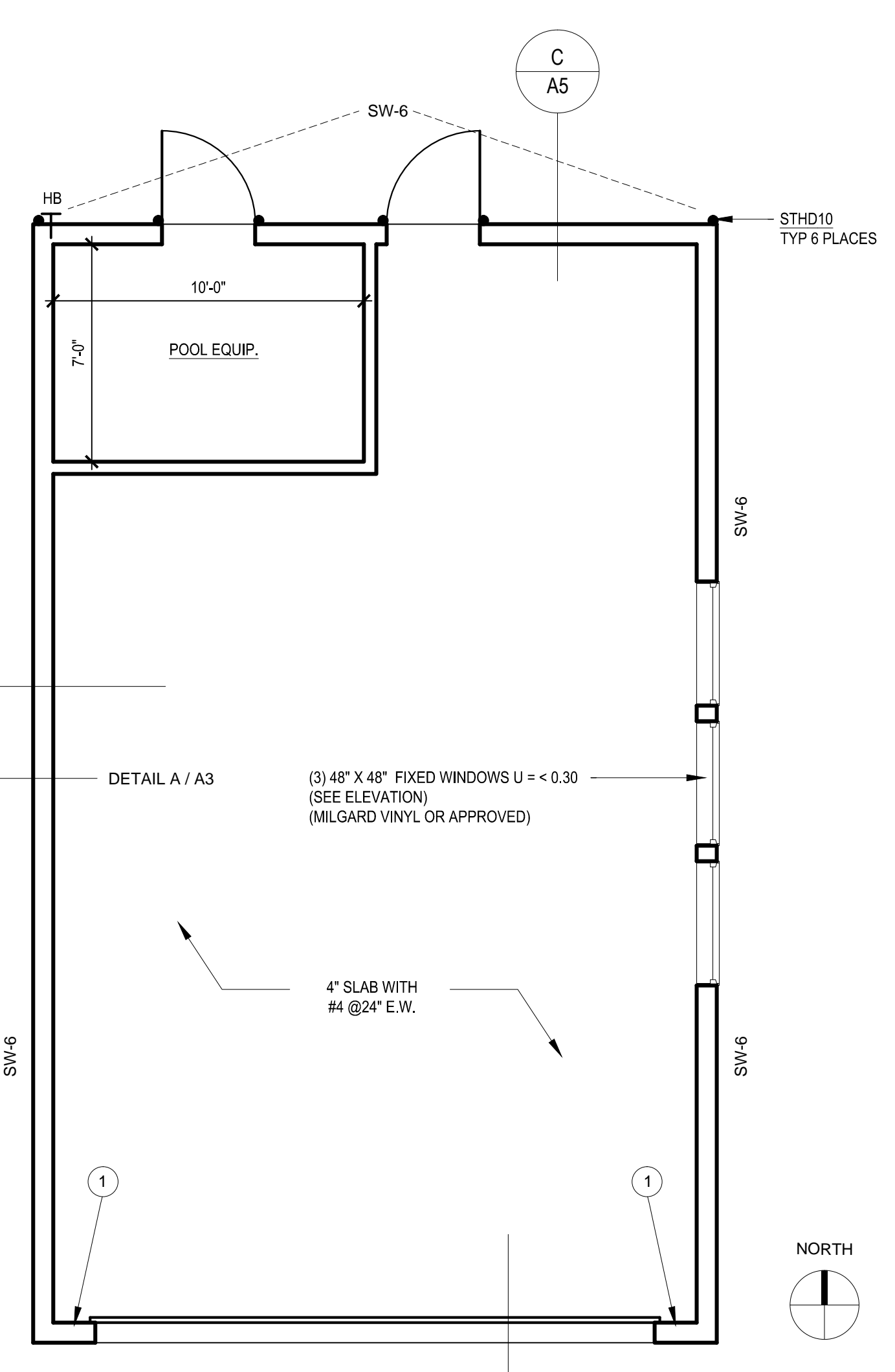
1. USE AN ANCHORAGE DESIGN CONFORMING TO ACI 318-14 AND 318-11 AND INCLUDE MINIMUM 1% DEVELOPMENT CONCRETE. SEE TABLE 18.8.5.1 FOR TENSION ANCHORAGE.
2. FLOOR ROOF OR CEILING IS NOT REQUIRED FOR PANELS ON A WOOD FLOOR. INTERIOR FOUNDATION APPLICATIONS: PANELS INSTALLED AWAY FROM DOOR OF CONCRETE OR BRICK WALL PANEL APPLICATIONS: SEE ELEVATION BEARING DESIGN FOR CATEGORY C THROUGH F. DESIGNED WIND FRAME PENETRATION IN SOIL OR CLAY.
3. USE WIND RESISTANCE CATEGORY A AND B.
4. WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B.
5. MINIMUM CURS (STEM WALL WIDTH) OF WIND RESISTANCE CATEGORY A AND B.
6. USE C1 AS THE MIN. CURS AND C2 AS THE MIN. CURS FOR THE STEEL STRONGWALL PANEL DESIGN SHEAR FORCE EXCEEDS THE TABULATED ANCHORAGE ALLOWABLE SHEAR LOAD.
7. CONCRETE EDGE DISTANCE FOR ANCHORS MUST COMPLY WITH ACI 318-14 SECTION 17.3.2 AND ACI 318-11 8.8.2.



1. RAISE CONCRETE STEMWALL 2'-0" (x) TO ENSURE SSW18X13 STRONG WALL WILL CONNECT DIRECTLY TO UNDERSIDE OF DOUBLE TOP PLATES.
2. PROVIDE ANCHORAGE & REINFORCEMENT PER SIMPSON'S REQUIREMENTS FOR SSW18 X 13 STRONG WALL ABOVE.

NOTE: USE 5/8" ϕ ANCHOR BOLTS W/ 3" X 3" X 1/4" WASHERS @ 5'-0" O.C. U.N.O.

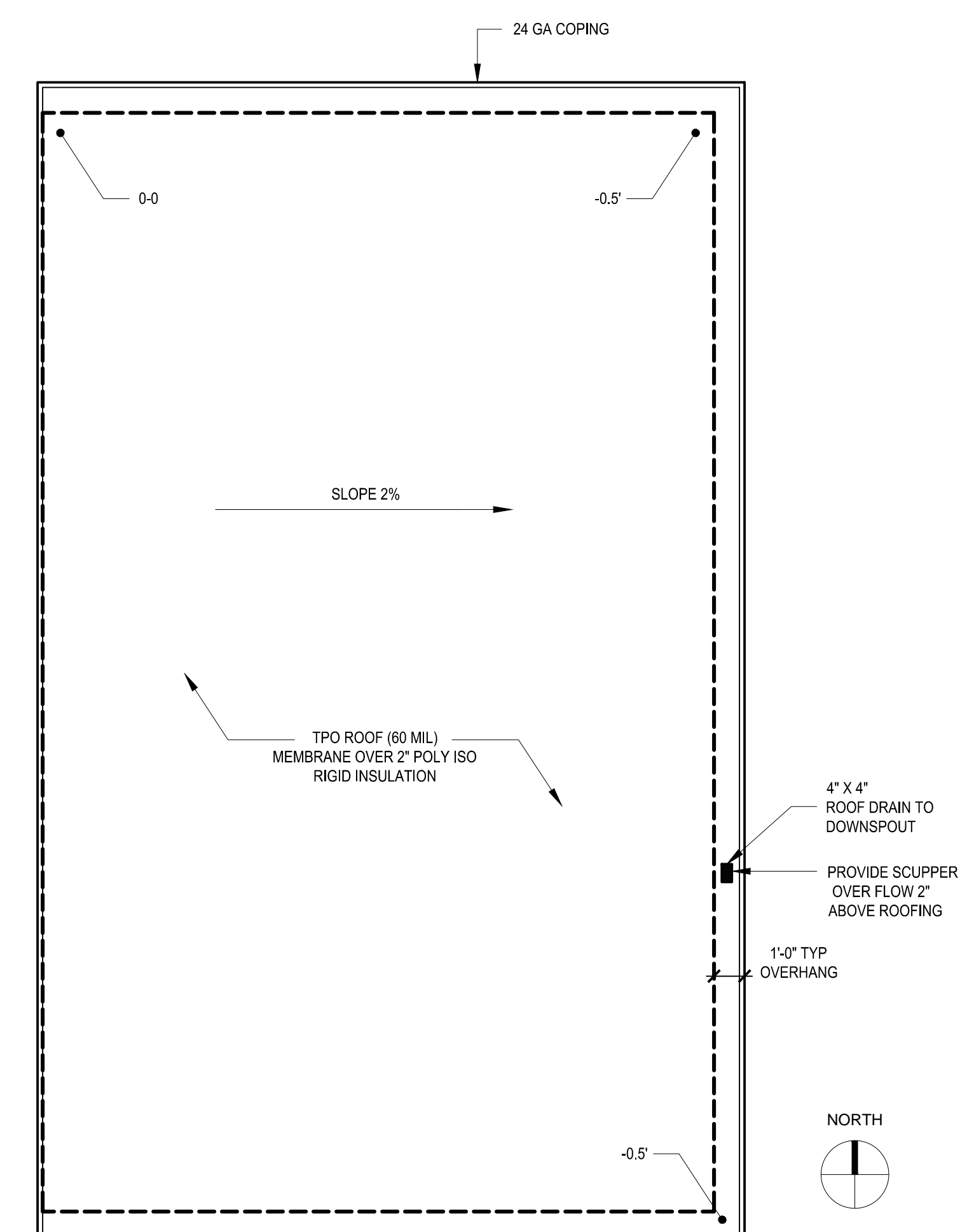
GARAGE / FOUNDATION PLAN
1/4" = 1'-0"



1. PROVIDE SIMPSON SSW18X13 STRONG WALL SEE STANDARD DETAILS THIS SHEET.

NOTE: ALL EXTERIOR WALLS TO BE SW-6 U.N.O.

GARAGE / FLOOR PLAN - SHEAR WALLS
1/4" = 1'-0"



- 4" X 4" ROOF DRAIN TO DOWNSPOUT
- PROVIDE SCUPPER OVER FLOW 2" ABOVE ROOFING
- 1'-0" TYP OVERHANG

GARAGE / ROOF PLAN
1/4" = 1'-0"

DESIGN LOADS:
ROOF DL= 15 PSF
LL= 60 PSF

ENGINEERED TRUSSES BY TRUSS MANUFACTURER

HEADERS: 4X10 DF#2 U.N.O.
NOTE: PROVIDE (1) 2" X TRIMMER @ ALL HEADERS U.N.O.
H1: 5 1/8 X 12 GLB (24F-V4)

GARAGE / ROOF FRAMING PLAN
1/4" = 1'-0"

Ned Nelson, Architect
11773 Sunrise Drive NE
Bainbridge Island, WA 98110
telephone: 425.444.6782
email: nednelson@msn.com

HEADRICK RESIDENCE
8822 S.E. 62ND STREET,
MERCER ISLAND, WA. 98040

REVISIONS:

Mark	Date

DATE: 05/28/19

GARAGE FLOOR PLAN
FOUNDATION PLAN
ROOF FRAMING PLAN
DETAILS

SHEET:
A3

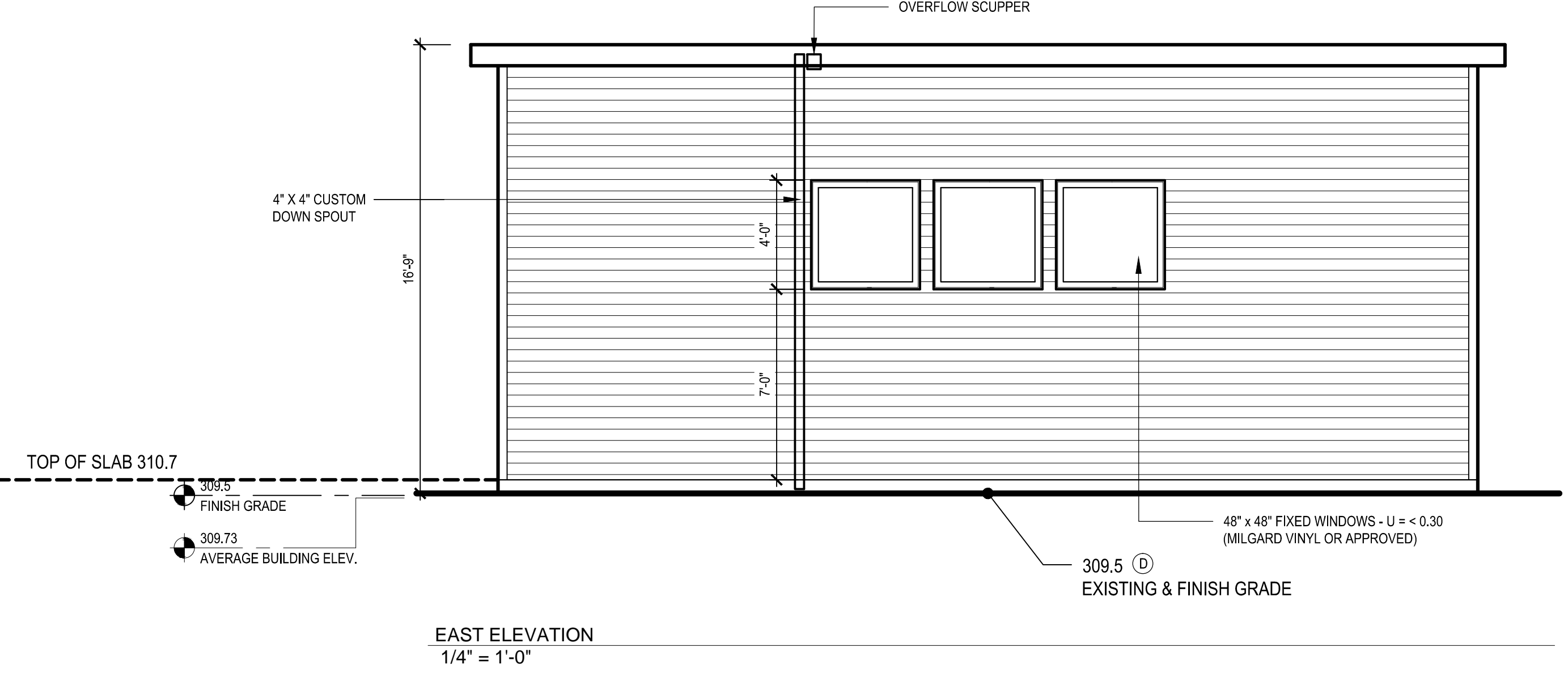
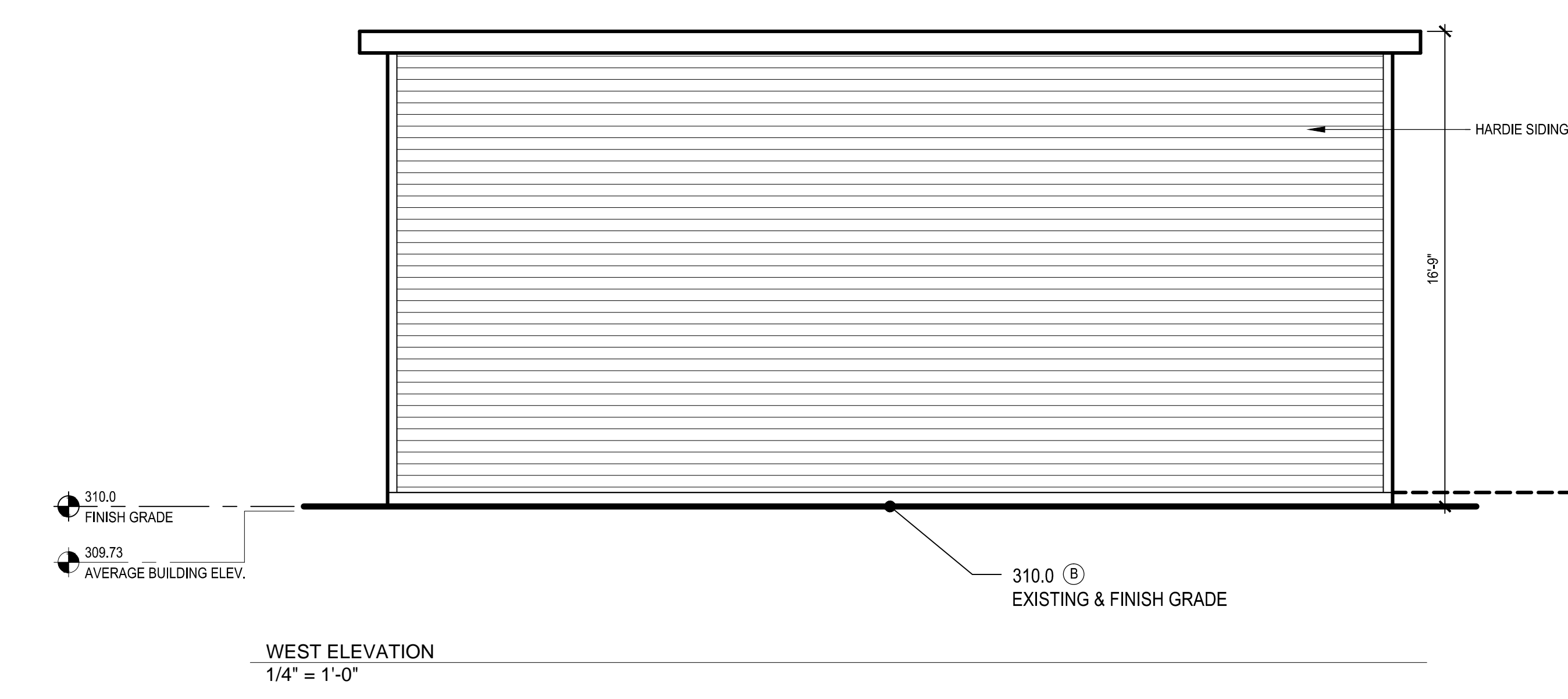
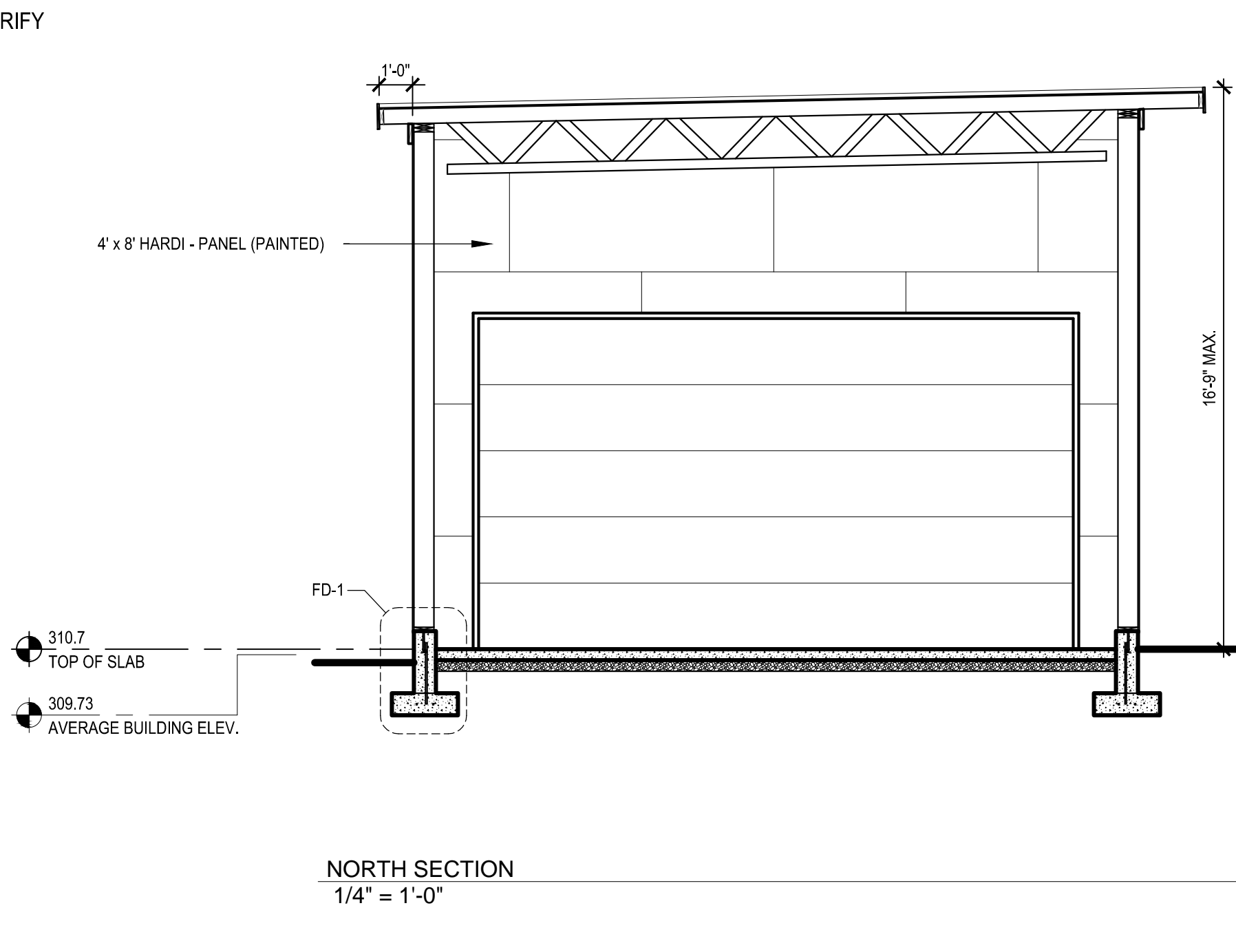
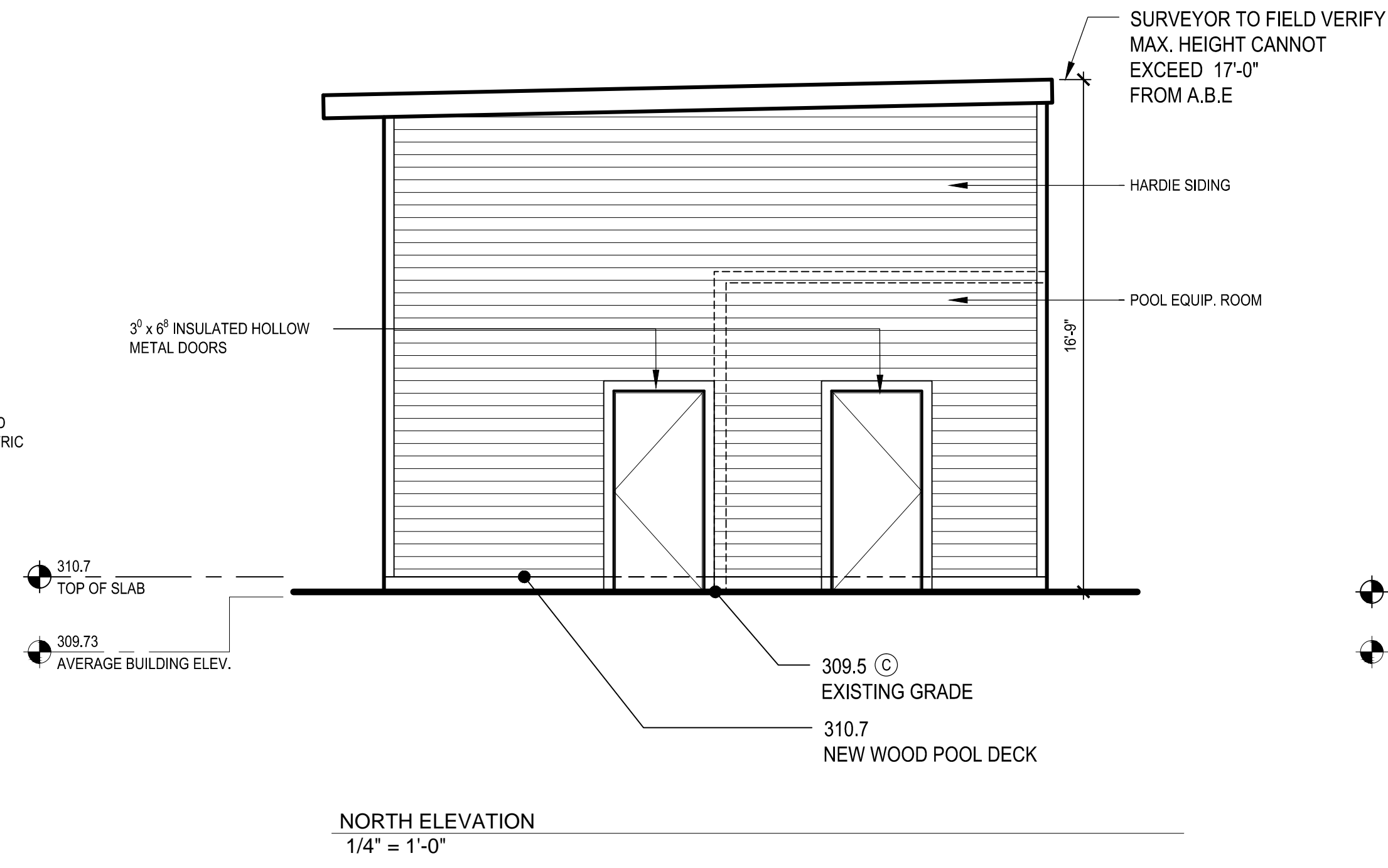
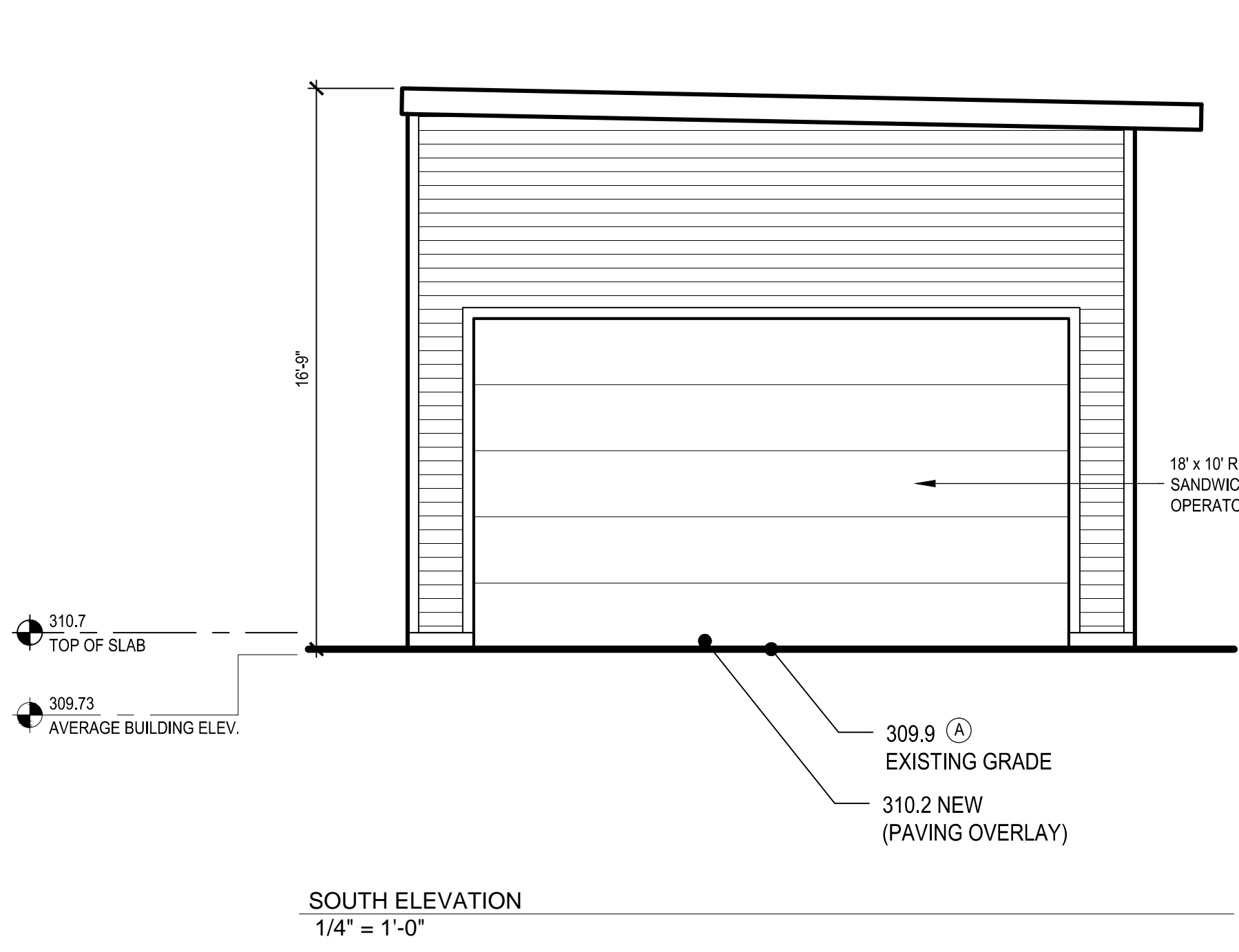
REVISIONS:

Mark	Date

DATE: 05/28/19

ELEVATIONS
SECTION

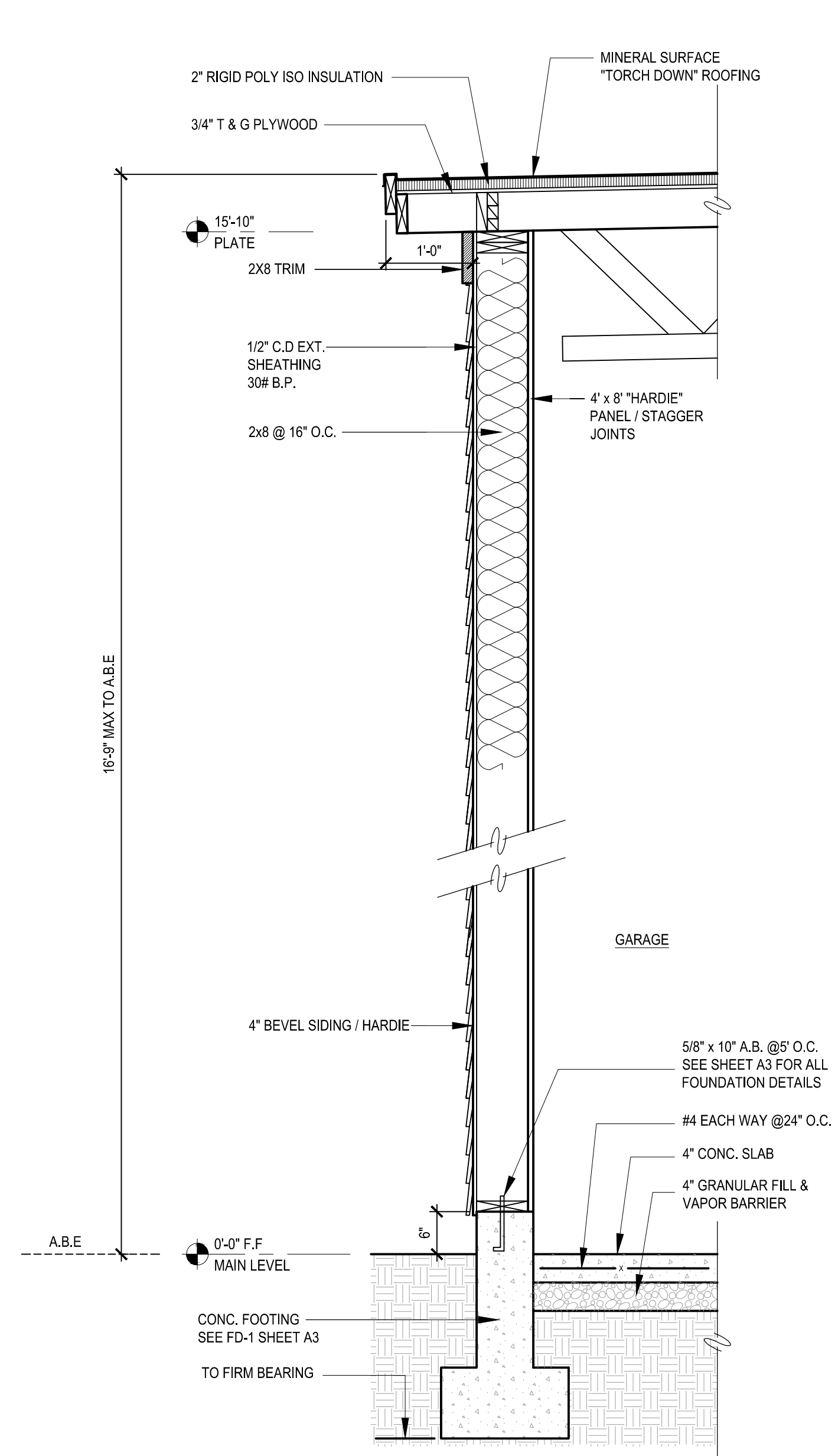
SHEET:
A4



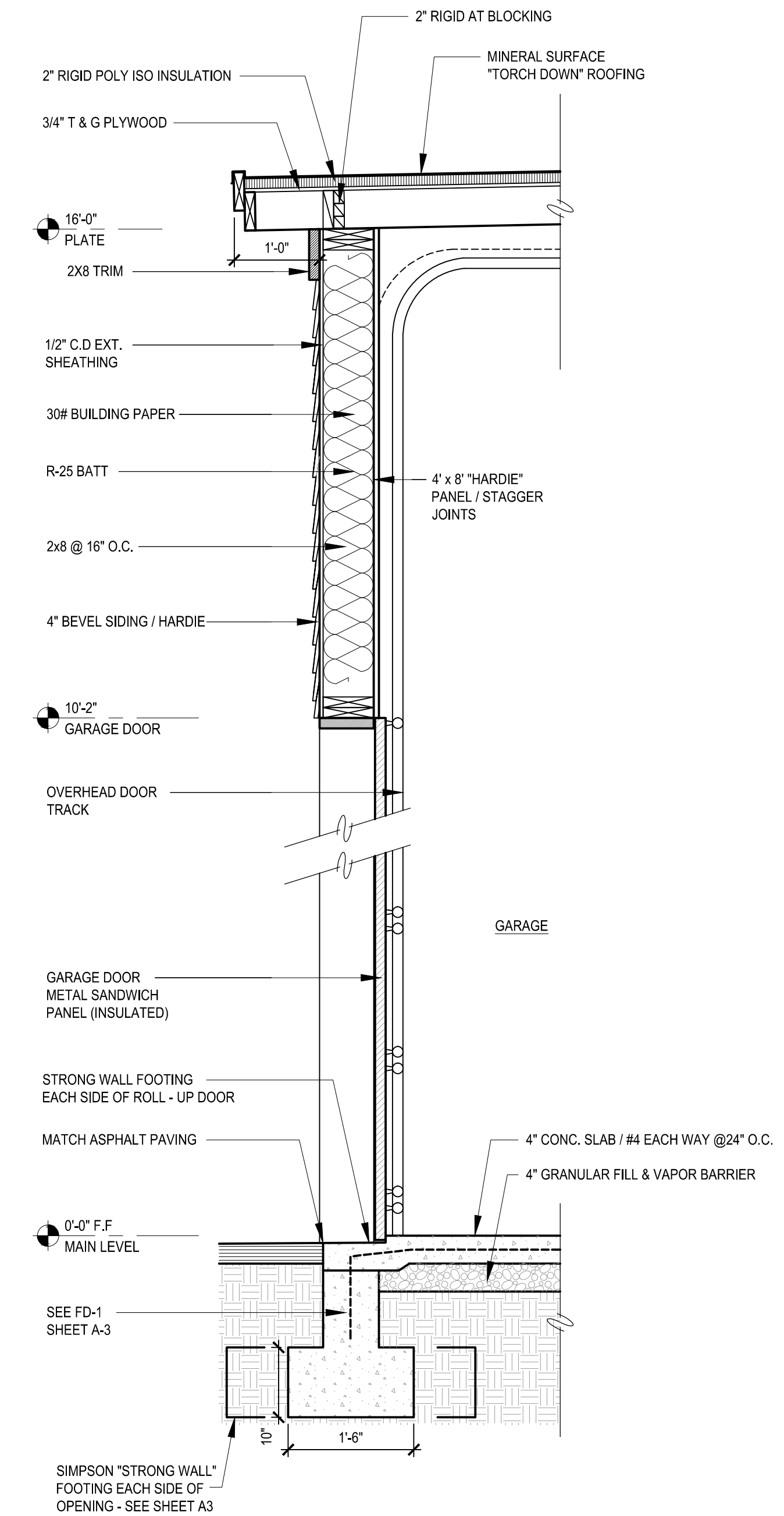
REVISIONS:

Mark	Date

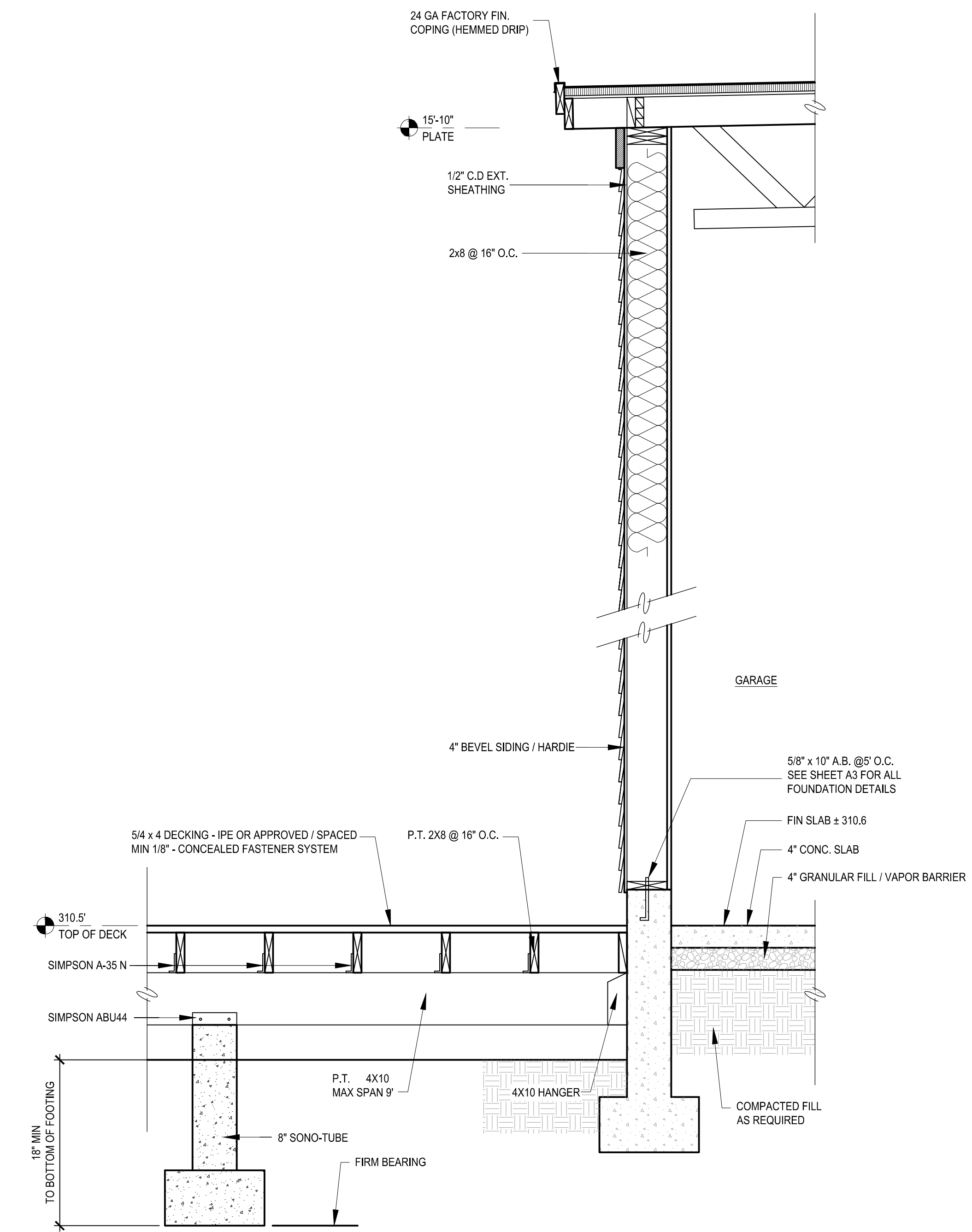
DATE: 05/28/19



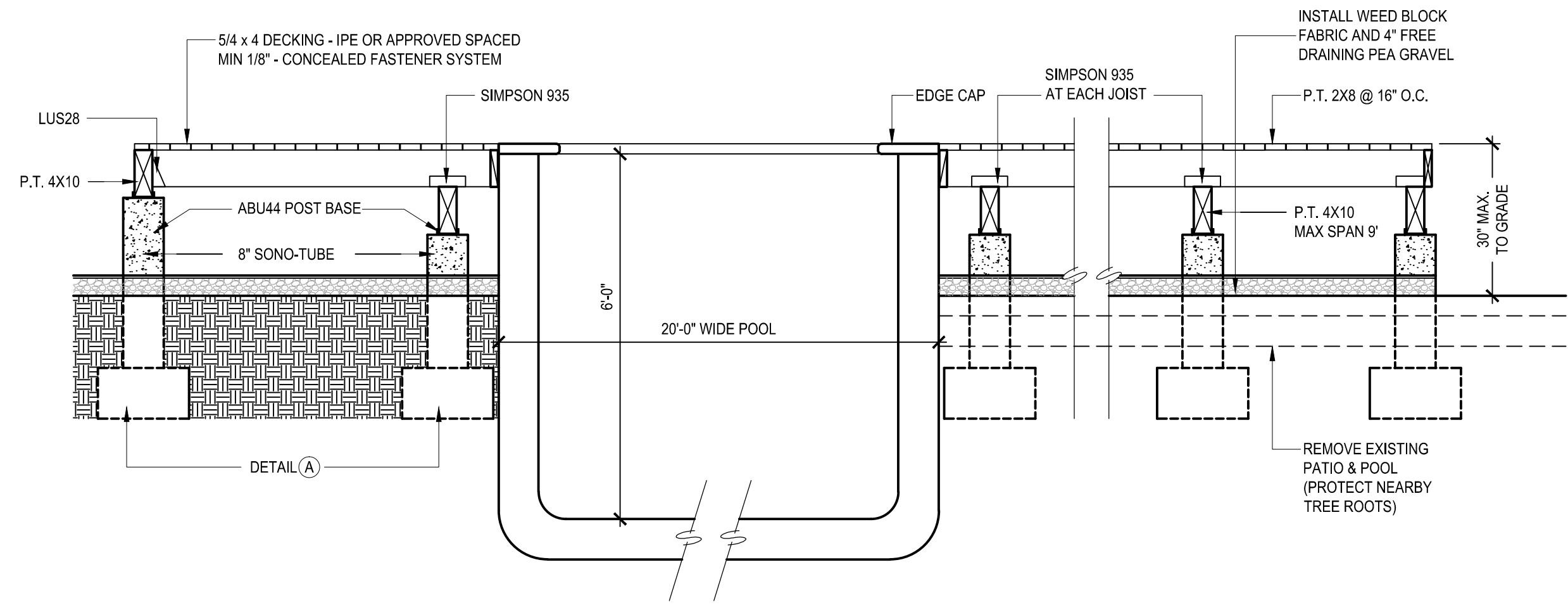
WALL SECTION A
 3/4" = 1'-0"



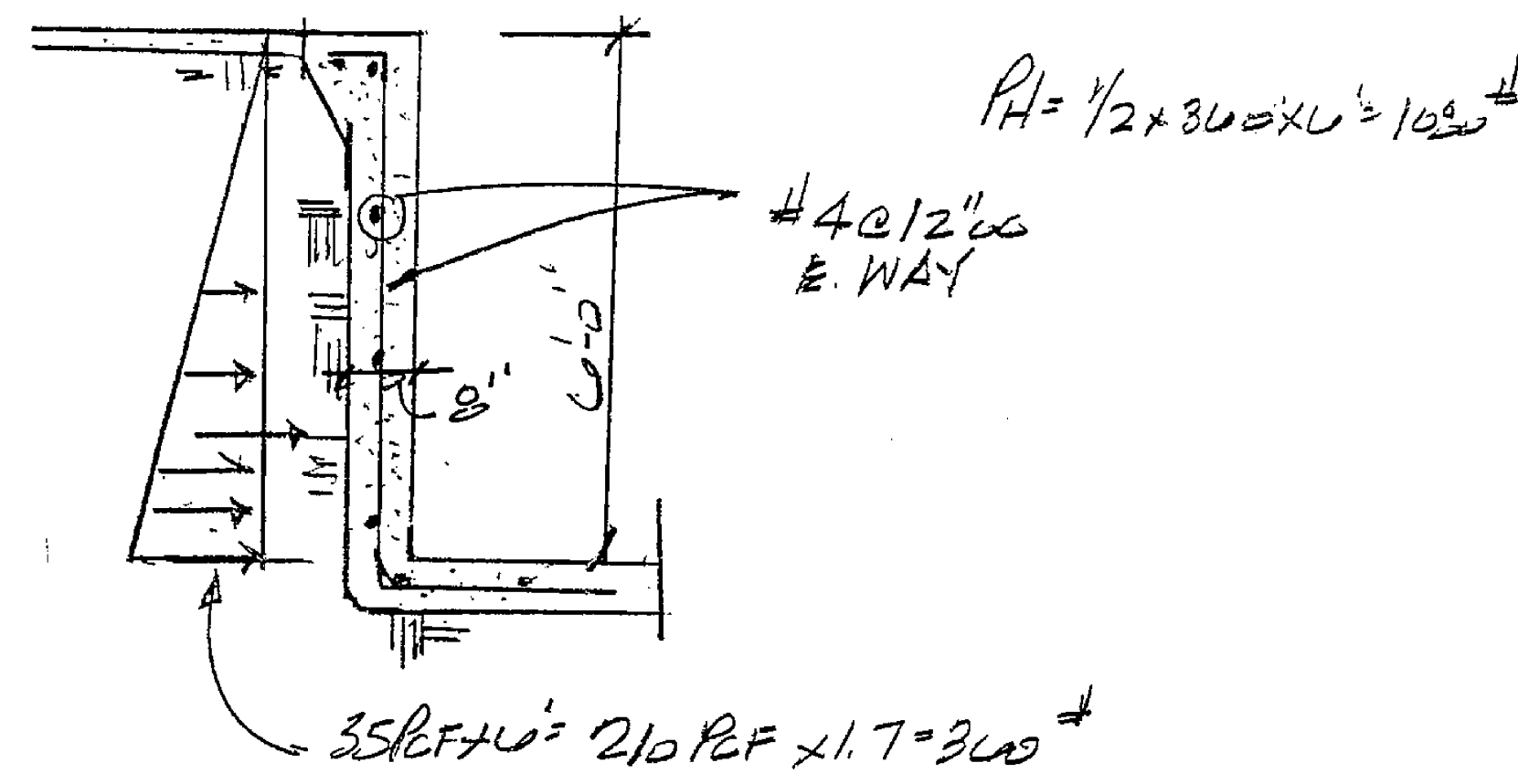
WALL SECTION B
 3/4" = 1'-0"



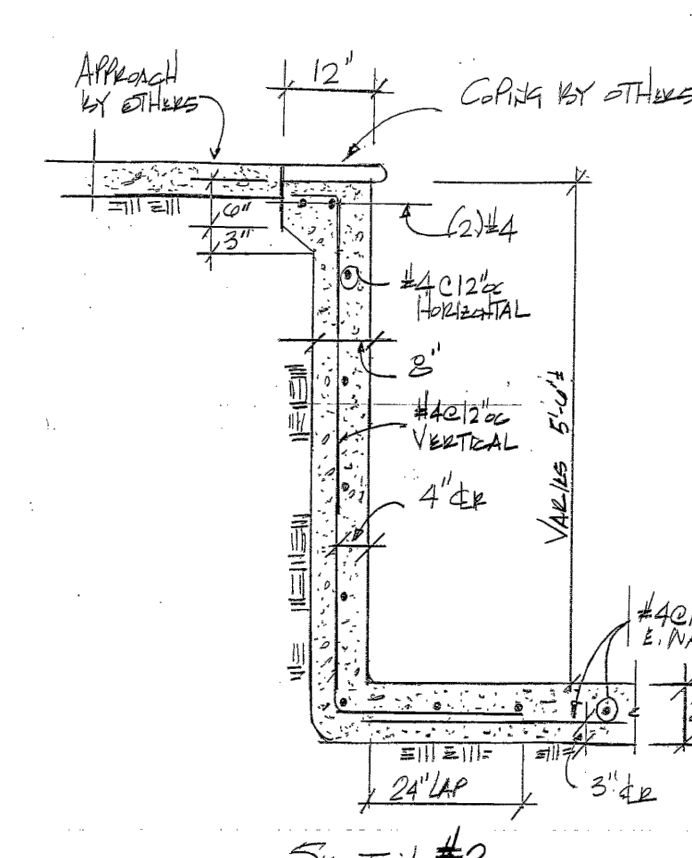
WALL SECTION C
 3/4" = 1'-0"



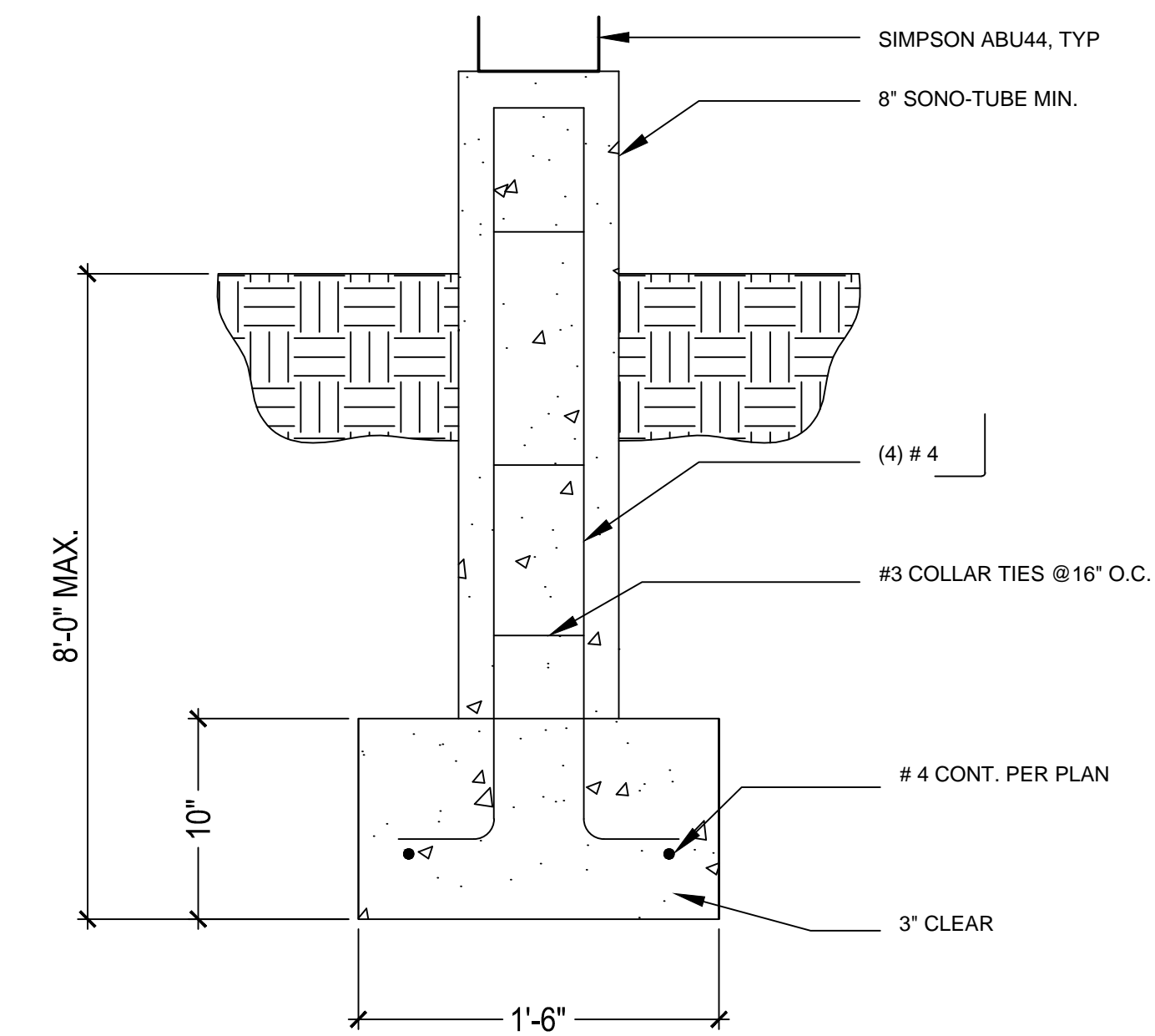
POOL / WOOD DECK SECTION
1/2" = 1'-0"



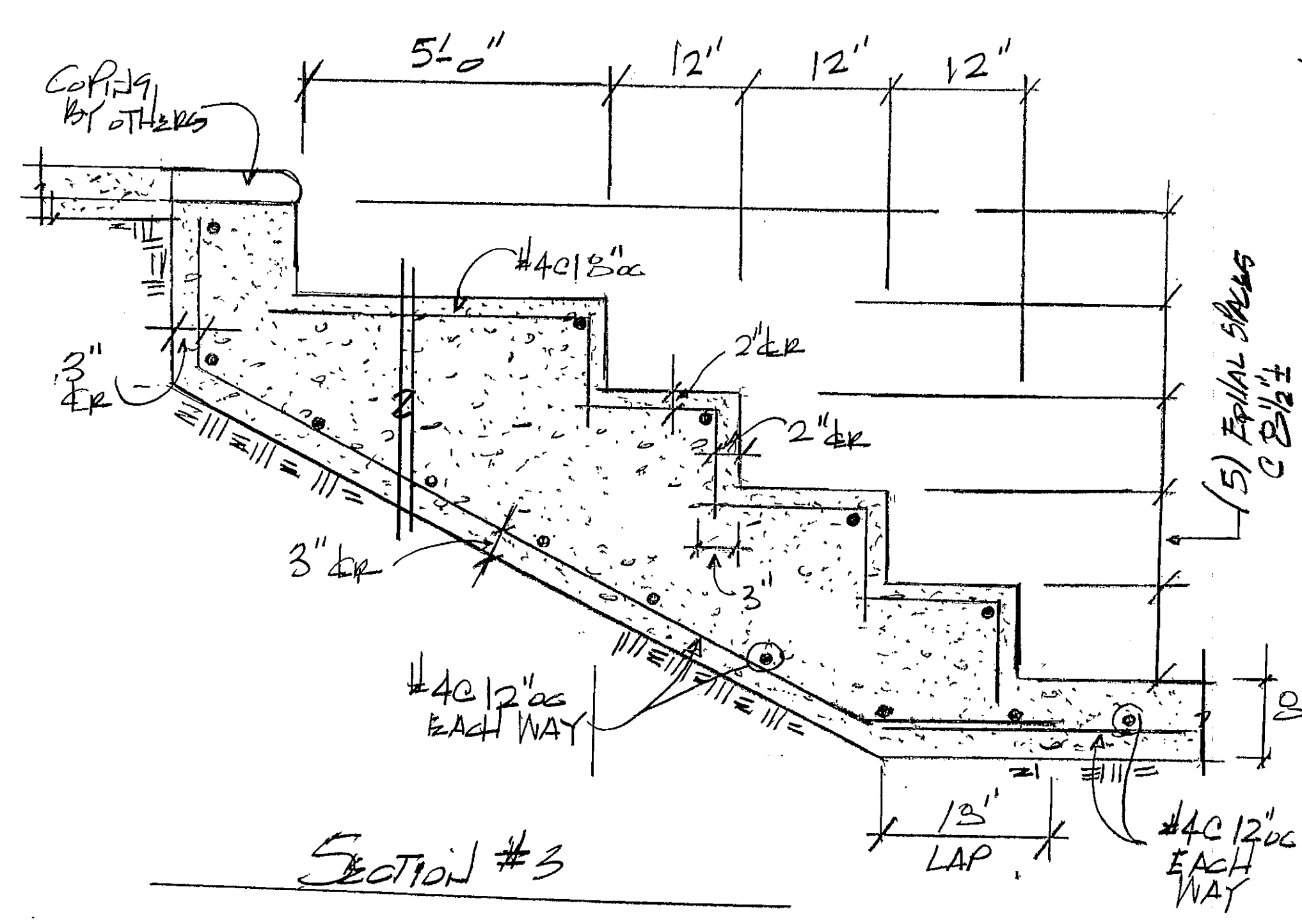
SECTION
1/2" = 1'-0"



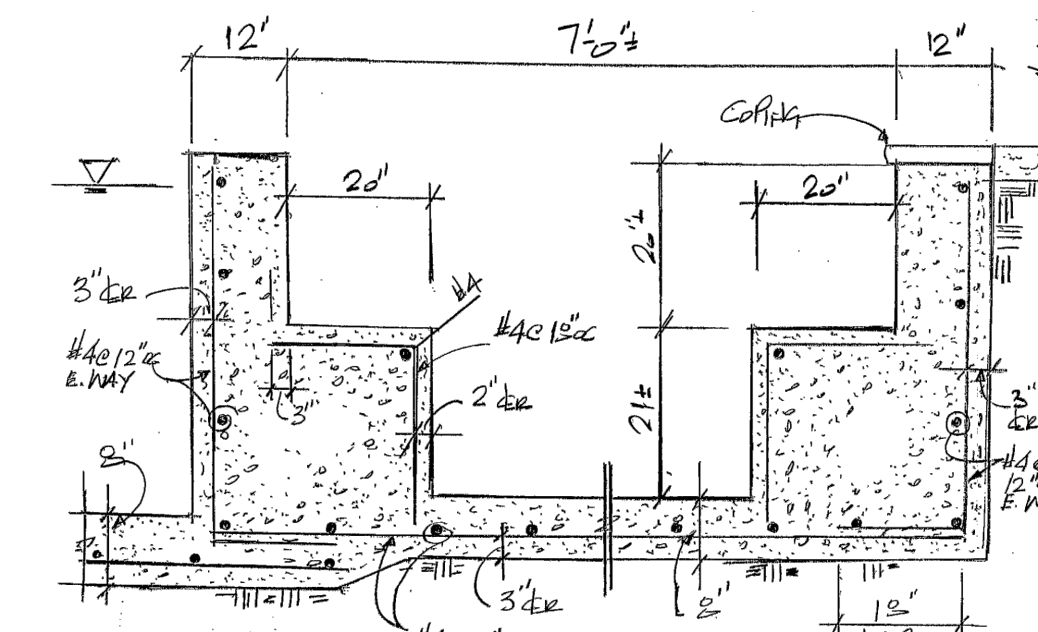
SECTION #2
1/2" = 1'-0"



A TYPICAL SONO-TUBE TO SPREAD FOOTING CONNECTION DETAIL
1 1/2" = 1'-0"

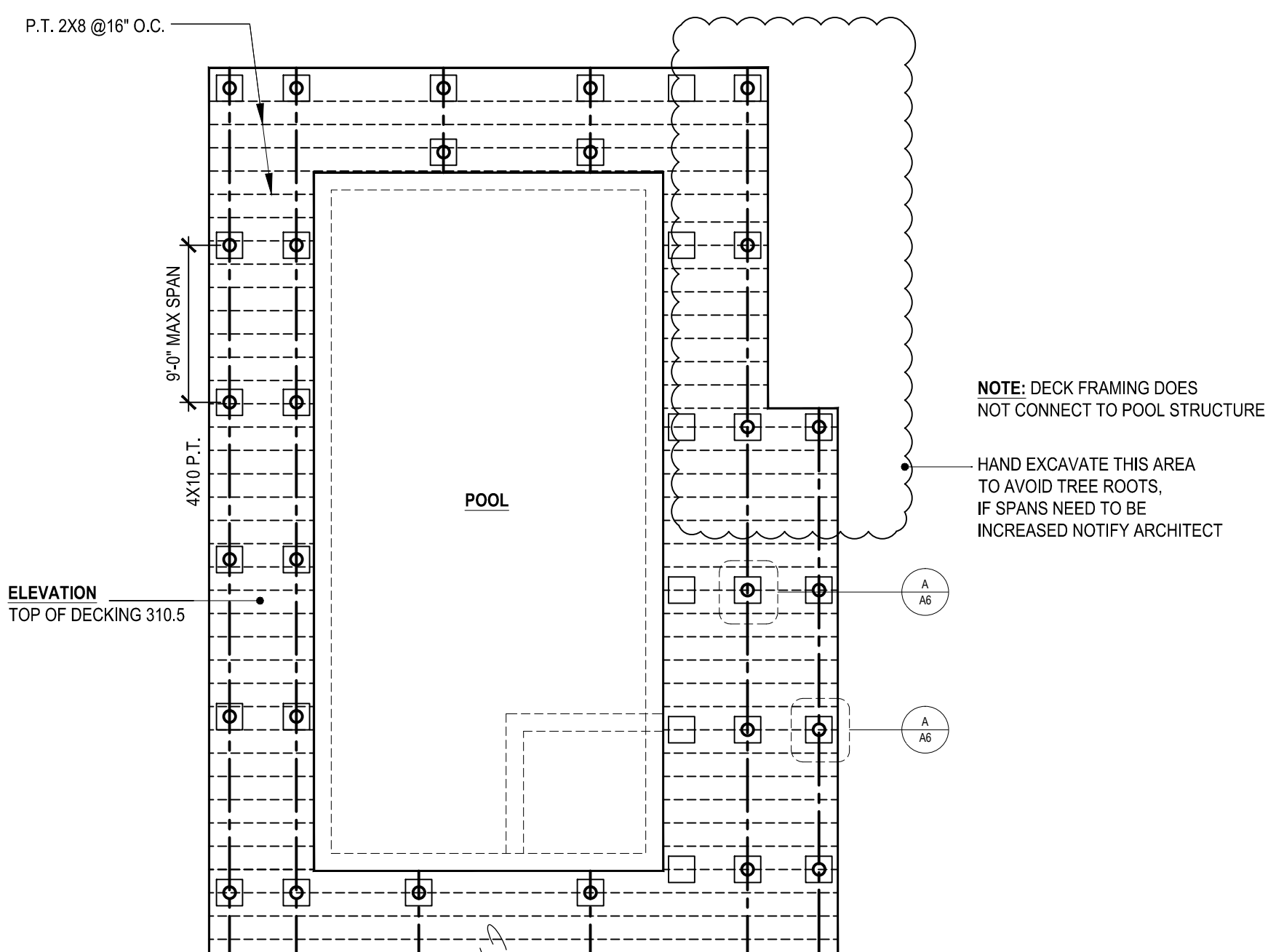


SECTION #3
1/2" = 1'-0"

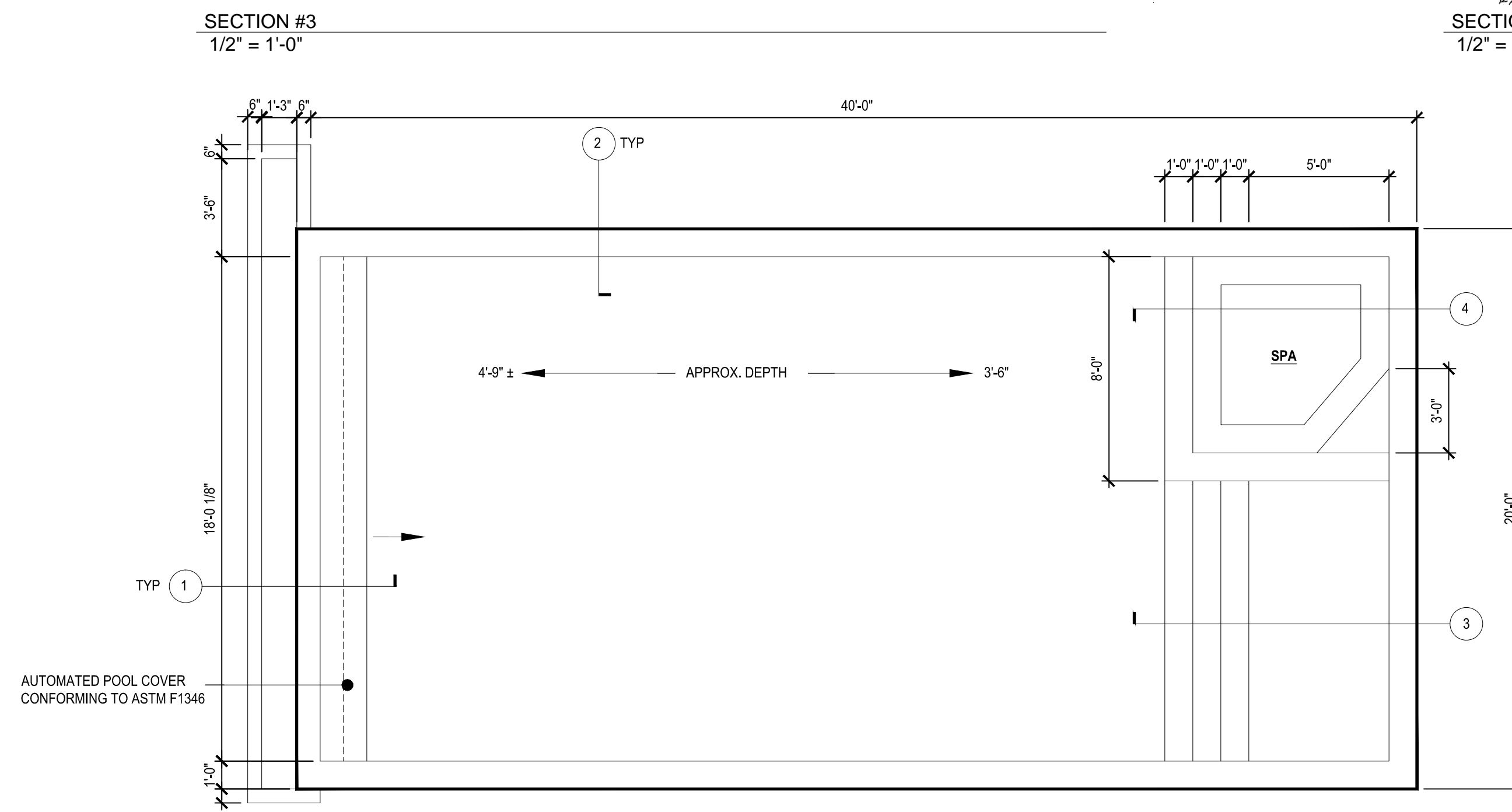


SECTION #4
1/2" = 1'-0"

- SWIMMING POOL STRUCTURAL NOTES**
- CONTRACTOR SHALL COMPLY WITH THE CURRENT EDITION OF THE 2015 INTERNATIONAL BUILDING CODE OR APPLICABLE CODE OR BUILDING ORDINANCE.
 - CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS.
 - CALL LOCAL BUILDING DEPARTMENT FOR STEEL INSPECTION PRIOR TO POURING CONCRETE.
 - ASSUMED DESIGN FLUID PRESSURE = 35 LBS. PER CUBIC FOOT.
 - ASSUMED SOIL BEARING = 1500 LBS/ PER FOOT SQUARED.
 - THE GROUND SURROUNDING THE SWIMMING POOL IS ASSUMED LEVEL. NO SURCHARGE. RETAINING WALLS OR TERRACES ARE TO BE CONSTRUCTED ABOUT THE PERIMETER OF THE POOL.
 - AIR-PLACED CONCRETE SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 4000 PSI.
 - STEEL PLACEMENT SHALL BE AS SHOWN ON THE PLAN. LAP ALL BARS 30-BAR DIAMETERS. 2'-0" RETURN AT ALL CORNERS. ALL STEEL SHALL BE CAREFULLY AND FIRMLY WIRED INTO PLACE. REINFORCEMENT SHALL BE SECURED IN PLACE WITH CONCRETE BRICK.
 - CONCRETE SHALL BE PLACED ON FIRM, NATURAL, UNDISTURBED SOIL.
 - THE POOL SECTION HEREIN IS DESIGNED PRIMARILY FOR RECTANGULAR SHAPED POOLS, AND IS FULLY APPLICABLE TO FREE-FORM POOLS.
 - REINFORCEMENT SHALL BE DEFORMED BILLET STEEL $f_y = 40,000$ PSI.



SCHEMATIC FRAMING PLAN FOR DECKING
1/8" = 1'-0"



POOL PLAN
1/4" = 1'-0"

POOL ENGINEERING FROM:
MITCHELL ENGINEERING

Ned Nelson, Architect

11773 Sunrise Drive NE
Bainbridge Island, WA 98110
telephone: 425.444.6782
email: nednelson@msn.com

HEADRICK RESIDENCE
8822 S.E. 62ND STREET,
MERCER ISLAND, WA. 98040

REVISIONS:

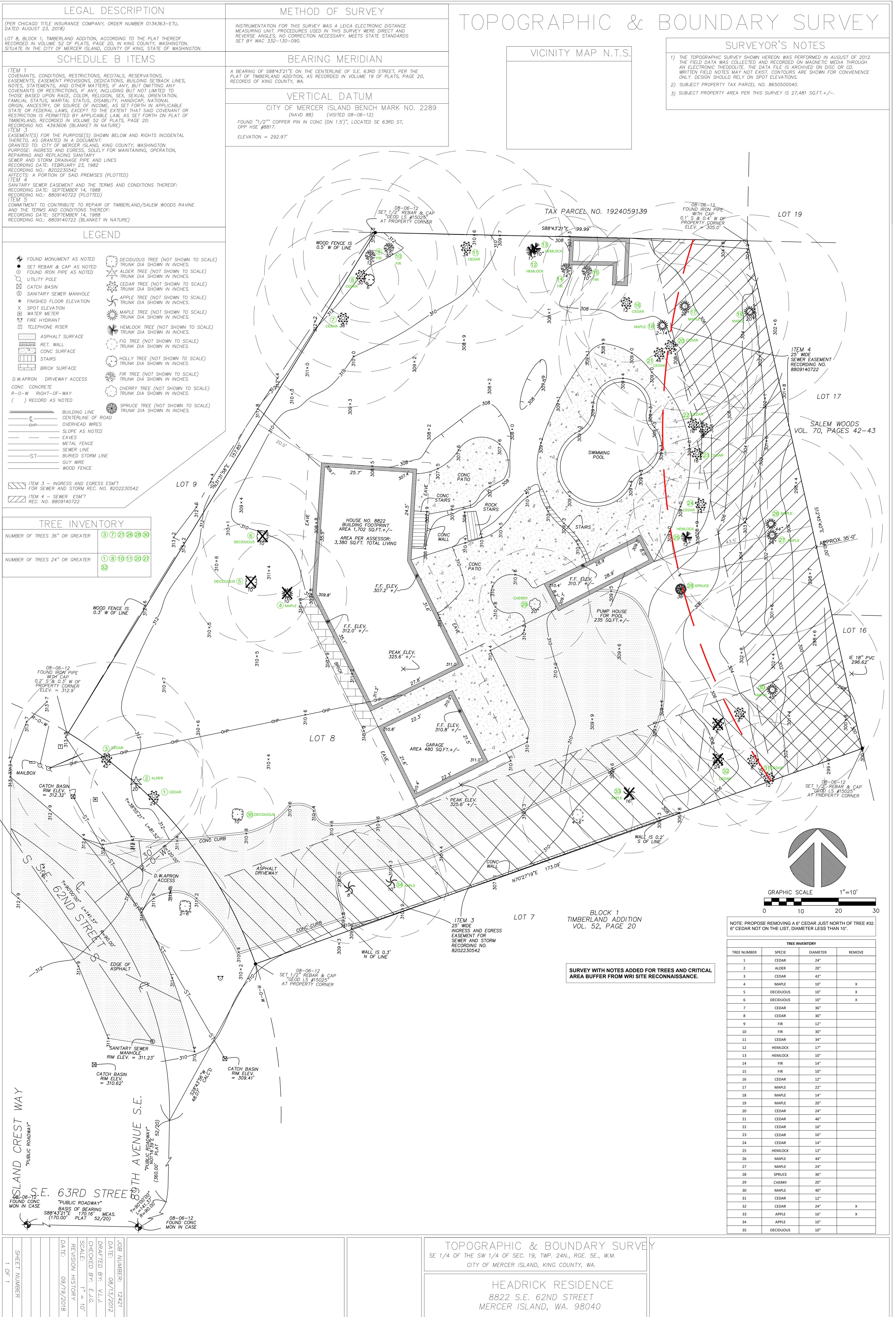
Mark	Date

DATE: 05/28/19

POOL & DECK
DETAILS

SHEET:

A6

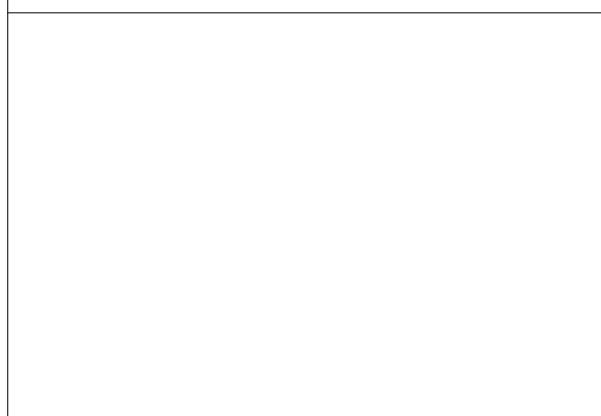


TOPOGRAPHIC & BOUNDARY SURVEY

SURVEYOR'S NOTES

- 1) THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2012. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- 2) SUBJECT PROPERTY TAX PARCEL NO. 865050040.
- 3) SUBJECT PROPERTY AREA PER THIS SURVEY IS 27,481 SQ.FT. +/-.

VICINITY MAP N.T.S.



LEGAL DESCRIPTION
 (PER CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 0134363-ETU, DATED AUGUST 23, 2018)
 LOT 8, BLOCK 1, TIMBERLAND ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 52 OF PLATS, PAGE 20, IN KING COUNTY, WASHINGTON, SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

SCHEDULE B ITEMS

ITEM 1
 COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON PLAT OF TIMBERLAND, RECORDED IN VOLUME 52 OF PLATS, PAGE 20; RECORDING NO.: 4393606 (BLANKET IN NATURE)

ITEM 3
 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT GRANTED TO: CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON PURPOSE: INGRESS AND EGRESS, SOLELY FOR MAINTAINING, OPERATION, REPAIRING AND REPLACING SANITARY SEWER AND STORM DRAINAGE PIPE AND LINES RECORDING DATE: FEBRUARY 23, 1982 RECORDING NO.: 8202230542 AFFECTS: A PORTION OF SAID PREMISES (PLOTTED)

ITEM 4
 SANITARY SEWER EASEMENT AND THE TERMS AND CONDITIONS THEREOF; RECORDING DATE: SEPTEMBER 14, 1988 RECORDING NO.: 8809140722 (PLOTTED)

ITEM 5
 COMMITMENT TO CONTRIBUTE TO REPAIR OF TIMBERLAND/SALEM WOODS Ravine AND THE TERMS AND CONDITIONS THEREOF; RECORDING DATE: SEPTEMBER 14, 1988 RECORDING NO.: 8809140722 (BLANKET IN NATURE)

METHOD OF SURVEY
 INSTRUMENTATION FOR THIS SURVEY WAS A LEICA ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS STATE STANDARDS SET BY WAC 332-130-090.

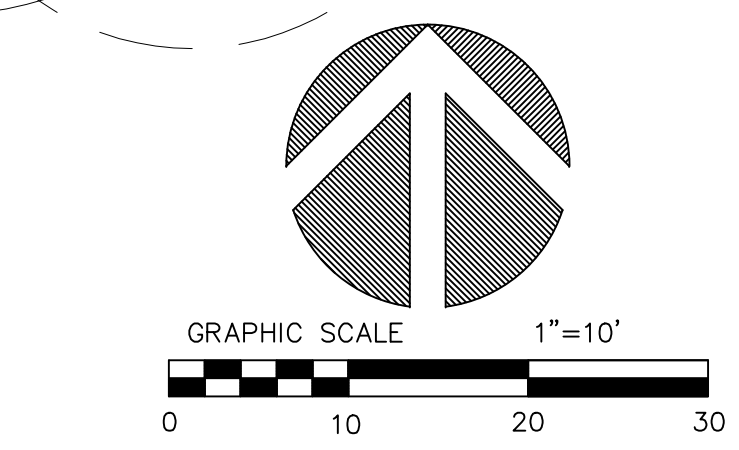
BEARING MERIDIAN
 A BEARING OF S88°43'21"E ON THE CENTERLINE OF S.E. 63RD STREET, PER THE PLAT OF TIMBERLAND ADDITION, AS RECORDED IN VOLUME 19 OF PLATS, PAGE 20, RECORDS OF KING COUNTY, WA.

VERTICAL DATUM
 CITY OF MERCER ISLAND BENCH MARK NO. 2289 (NAVD 88) (VISITED 08-06-12)
 FOUND "1/2" COPPER PIN IN CONC (DN 1.5"), LOCATED SE 63RD ST, OPP HSE #8817.
 ELEVATION = 292.97'

- LEGEND**
- FOUND MONUMENT AS NOTED
 - SET REBAR & CAP AS NOTED
 - FOUND IRON PIPE AS NOTED
 - UTILITY POLE
 - CATCH BASIN
 - SANITARY SEWER MANHOLE
 - FINISHED FLOOR ELEVATION
 - SPOT ELEVATION
 - WATER METER
 - FIRE HYDRANT
 - TELEPHONE RISER
 - ASPHALT SURFACE
 - RET. WALL
 - CONC SURFACE
 - STAIRS
 - BRICK SURFACE
 - D.W. APRON DRIVEWAY ACCESS
 - CONC CONCRETE
 - R-O-W RIGHT-OF-WAY
 - RECORD AS NOTED
 - DECIDUOUS TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
 - ALDER TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
 - CEDAR TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
 - APPLE TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
 - MAPLE TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
 - HEMLOCK TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
 - FIG TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
 - HOLLY TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
 - FIR TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
 - CHERRY TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
 - SPRUCE TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
 - BUILDING LINE
 - CENTERLINE OF ROAD
 - OVERHEAD WIRES
 - SLOPE AS NOTED
 - EAVES
 - METAL FENCE
 - SEWER LINE
 - BURIED STORM LINE
 - GUY WIRE
 - WOOD FENCE
- ITEM 3 - INGRESS AND EGRESS ESMT FOR SEWER AND STORM REC. NO. 8202230542
 ITEM 4 - SEWER ESMT REC. NO. 8809140722

TREE INVENTORY

NUMBER OF TREES 36" OR GREATER	(3) (7) (21) (29) (33)
NUMBER OF TREES 24" OR GREATER	(1) (8) (10) (11) (20) (27) (32)



NOTE: PROPOSED REMOVING A 6" CEDAR JUST NORTH OF TREE #32. 6" CEDAR NOT ON THE LIST, DIAMETER LESS THAN 10".

TREE INVENTORY

TREE NUMBER	SPECIE	DIAMETER	REMOVE
1	CEDAR	24"	
2	ALDER	20"	
3	CEDAR	42"	
4	MAPLE	10"	X
5	DECIDUOUS	10"	X
6	DECIDUOUS	10"	X
7	CEDAR	36"	
8	CEDAR	30"	
9	FIR	12"	
10	FIR	30"	
11	CEDAR	34"	
12	HEMLOCK	17"	
13	HEMLOCK	10"	
14	FIR	14"	
15	FIR	10"	
16	CEDAR	12"	
17	MAPLE	22"	
18	MAPLE	14"	
19	MAPLE	20"	
20	CEDAR	24"	
21	CEDAR	46"	
22	CEDAR	16"	
23	CEDAR	16"	
24	CEDAR	14"	
25	HEMLOCK	12"	
26	MAPLE	44"	
27	MAPLE	24"	
28	SPRUCE	36"	
29	CHERRY	20"	
30	MAPLE	40"	
31	CEDAR	12"	
32	CEDAR	24"	X
33	APPLE	16"	X
34	APPLE	10"	
35	DECIDUOUS	10"	

ISLAND CREST WAY
 S.E. 62ND STREET
 S.E. 63RD STREET
 89TH AVENUE S.E.
 DATE: 09/19/2018

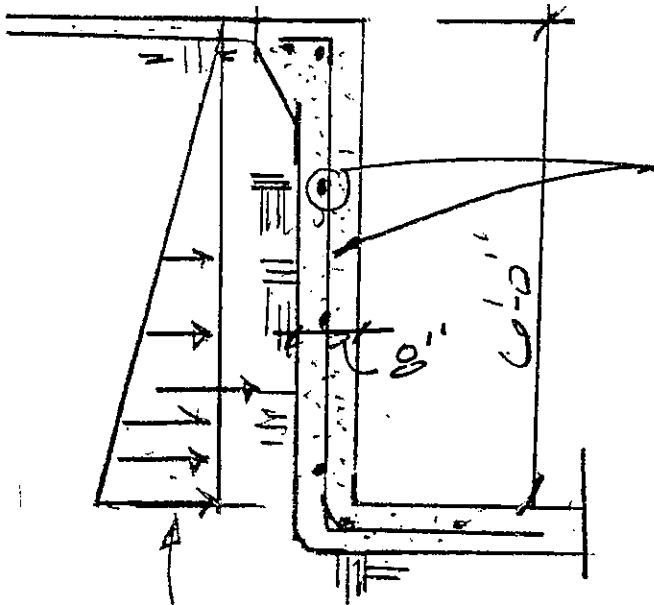
JOB NUMBER: 12421
 DATE: 08/13/2012
 DRAFTED BY: V.L.U.
 CHECKED BY: E.J.G.
 SCALE: 1" = 10'
 REVISION HISTORY

TOPOGRAPHIC & BOUNDARY SURVEY
 SE 1/4 OF THE SW 1/4 OF SEC. 19, TWP. 24N., RGE. 5E., W.M.
 CITY OF MERCER ISLAND, KING COUNTY, WA.
 HEADRICK RESIDENCE
 8822 S.E. 62ND STREET
 MERCER ISLAND, WA. 98040

SHEET NUMBER
 1 OF 1

SCOPE OF WORK:

DESIGN FOR PAD WALL SHOWN BELOW FOR
POD SHOWN ON SHEET #A1 CONTAINED WITHIN.



$$P_H = \frac{1}{2} \times 360 \times L = 1080 \#$$

#4 @ 12" O.C.
E. WAY

$$35 \text{ PCF} \times L = 210 \text{ PCF} \times 1.7 = 360 \#$$

$$M = 1080 \times \frac{L}{3} = 210 \text{ PCF} \times 16 \times 12 / 49000 \times 4 = 0.4 \text{ L} = 20$$

#4 @ 12" O.C. VERTICAL



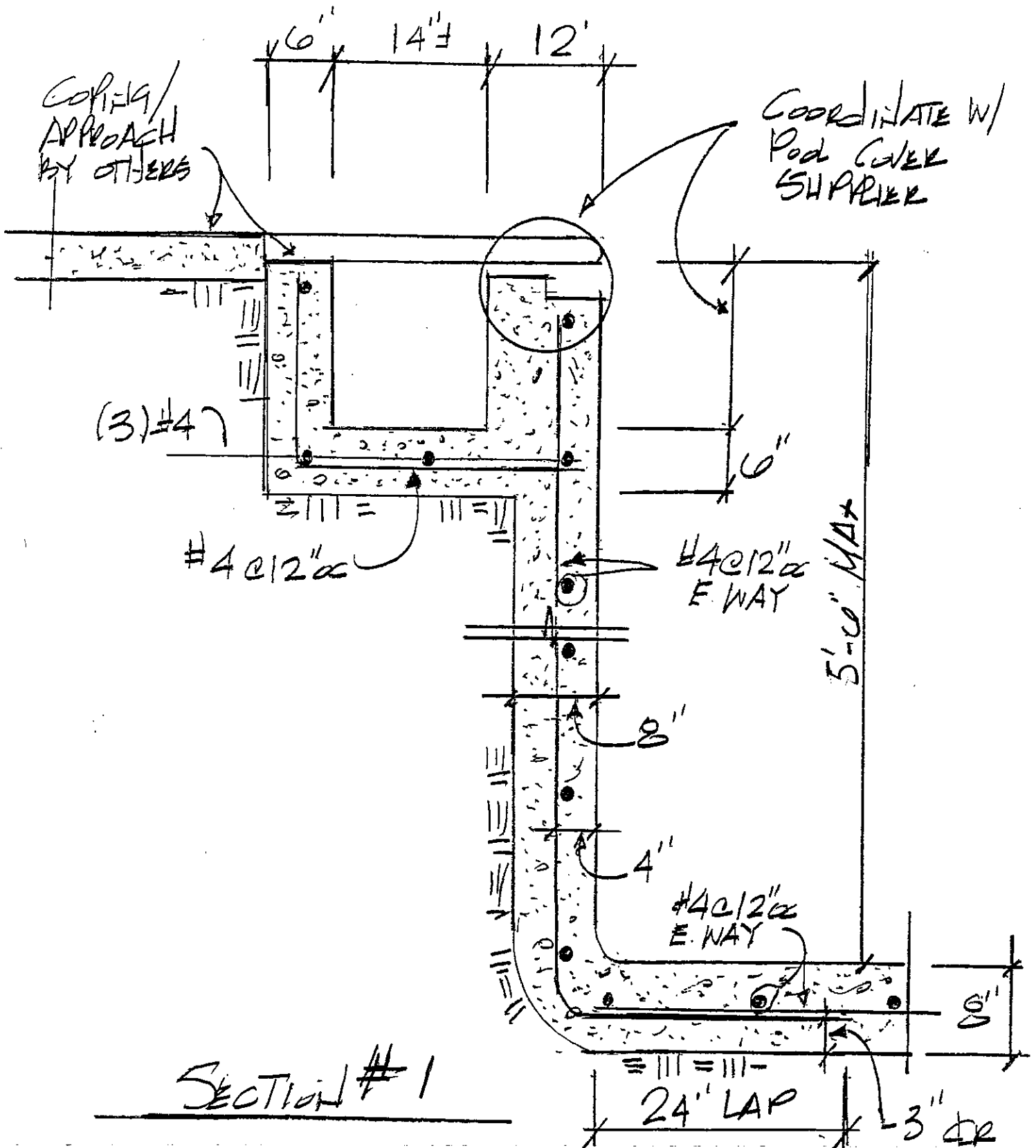
PREPARED BY M.M.
DATE 3/31/19

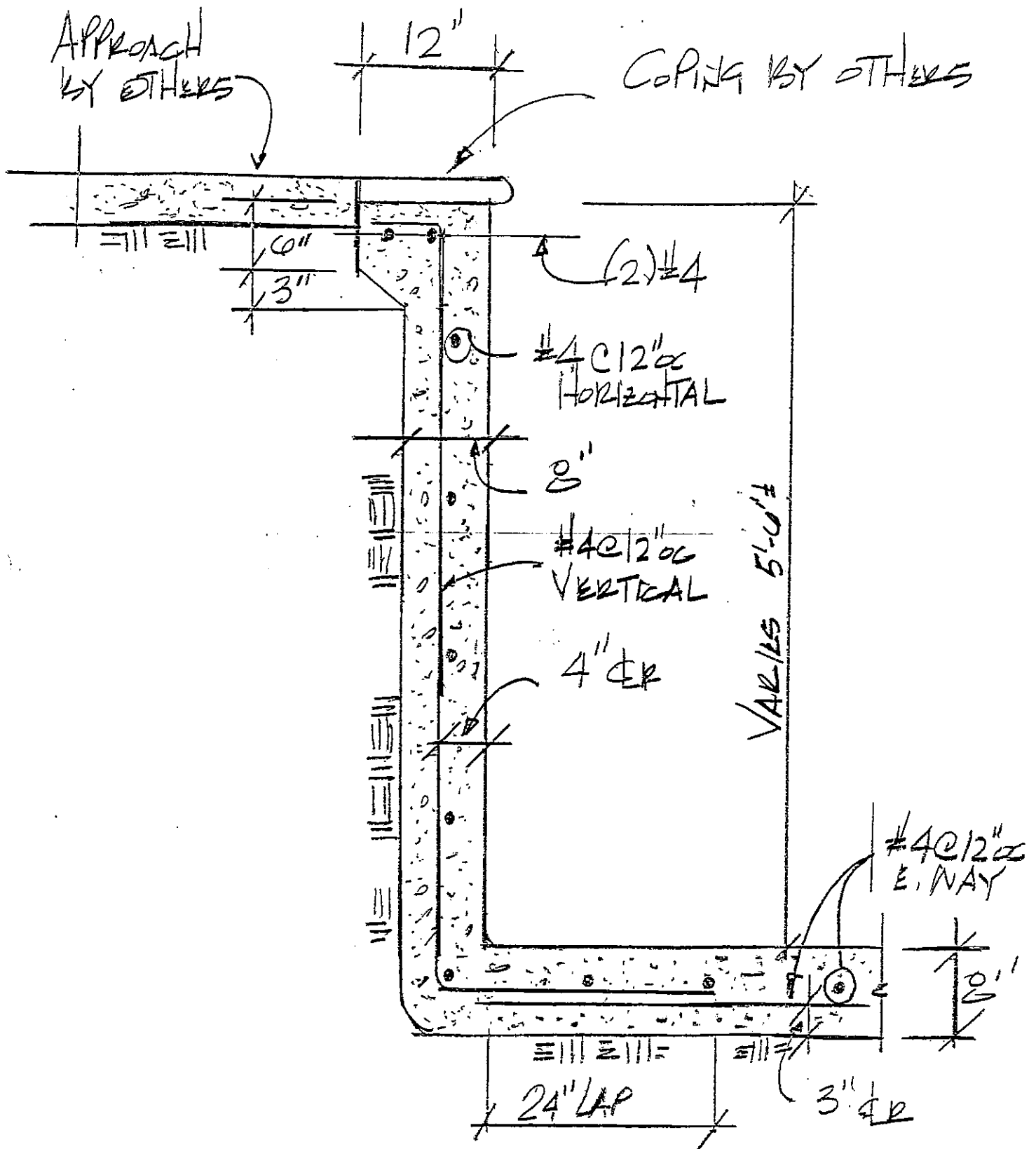
PROJECT Keisaco Pods
SUBJECT HEADWALL

SHEET NO. 1 OF 6
JOB NO. 019-227

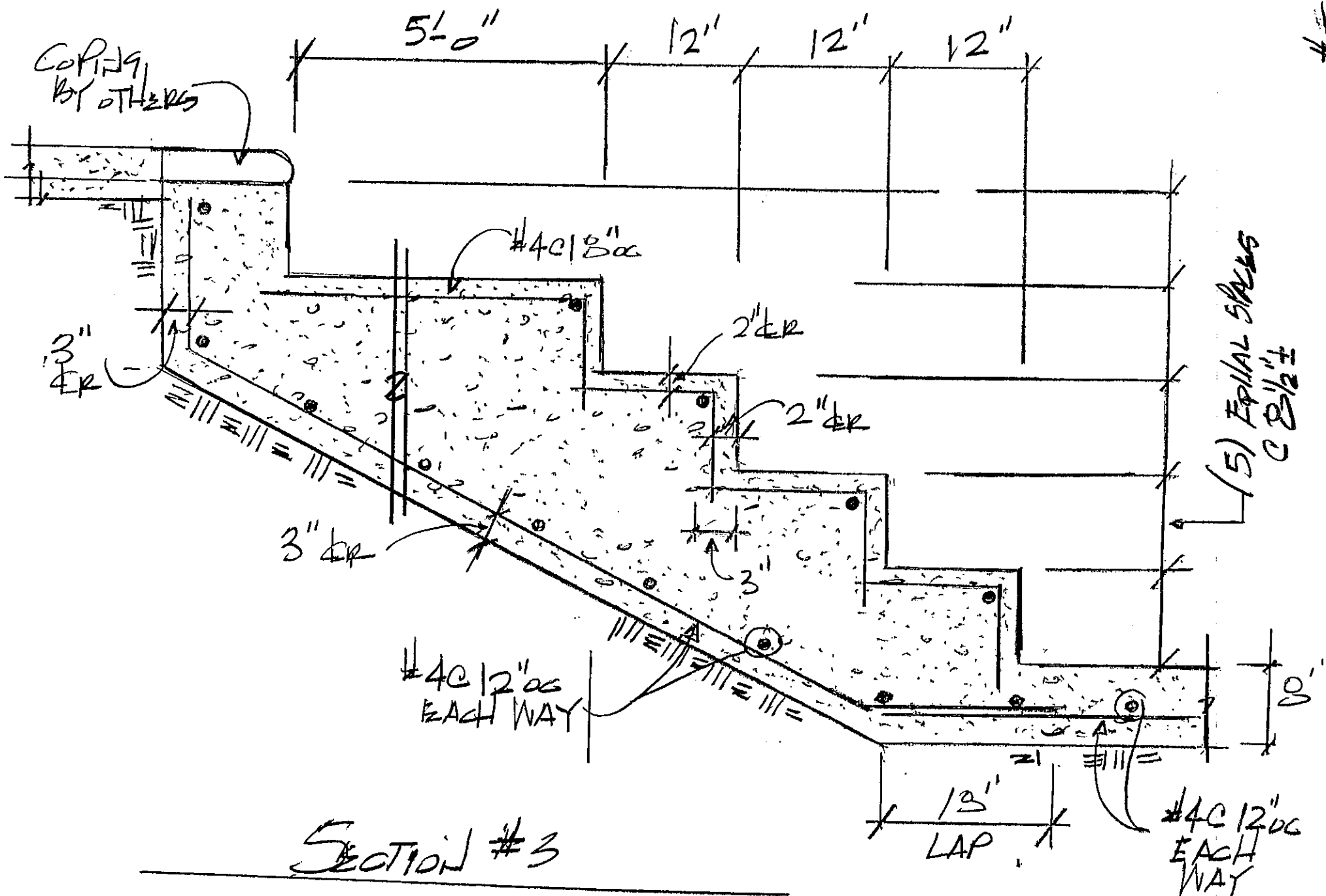
STRUCTURAL NOTES

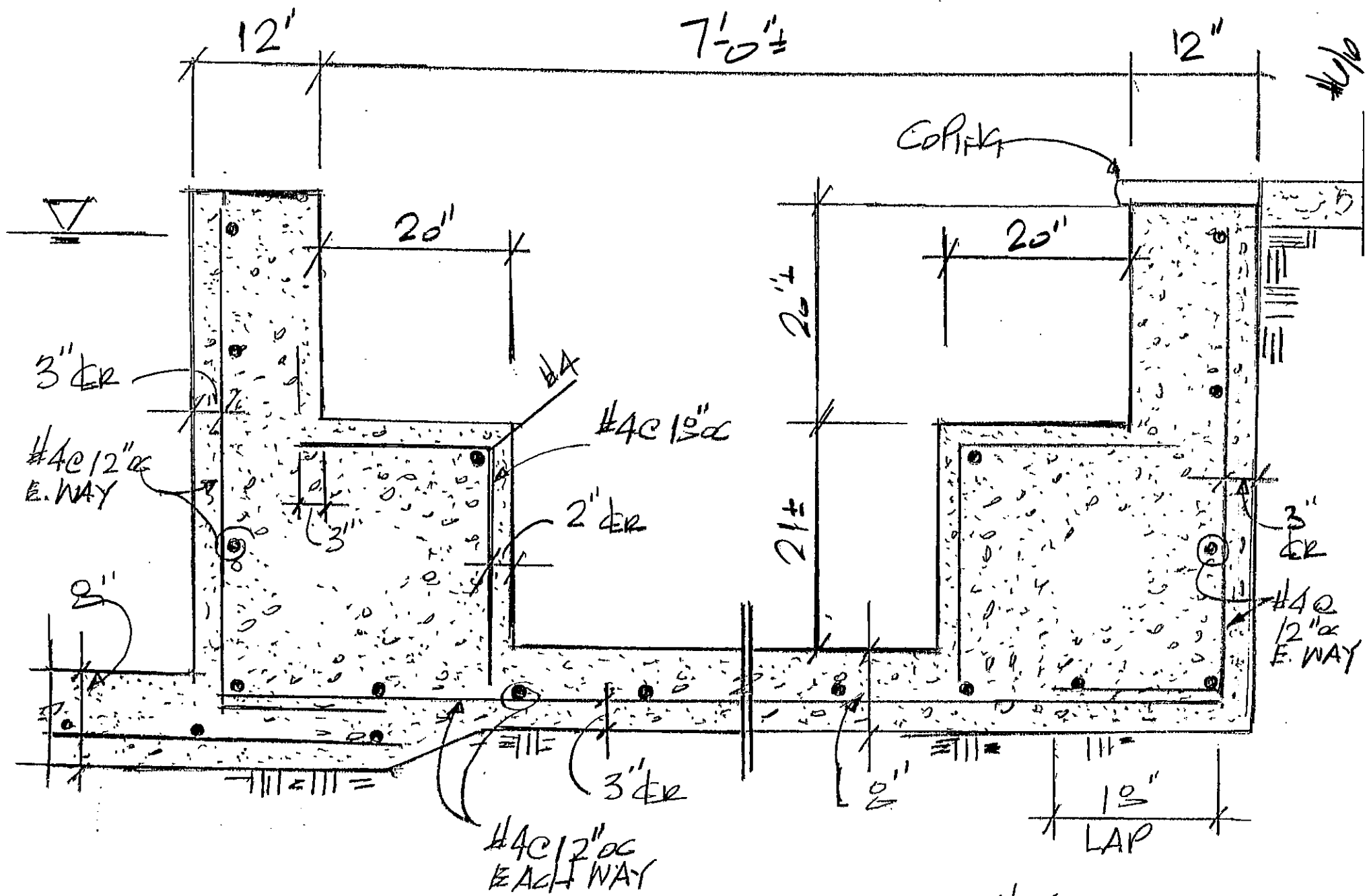
1. CONTRACTOR SHALL COMPLY WITH THE CURRENT EDITION OF THE 2015 INTERNATIONAL BUILDING CODE OR APPLICABLE CODE OR BUILDING ORDINANCE.
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3. CALL LOCAL BUILDING DEPARTMENT FOR STEEL INSPECTION PRIOR TO POURING CONCRETE.
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5. ASSUMED SOIL BEARING = 1500 LBS/ PER FOOT SQUARED.
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11. REINFORCEMENT SHALL BE DEFORMED BILLET STEEL $f_y = 40,000$ PSI.



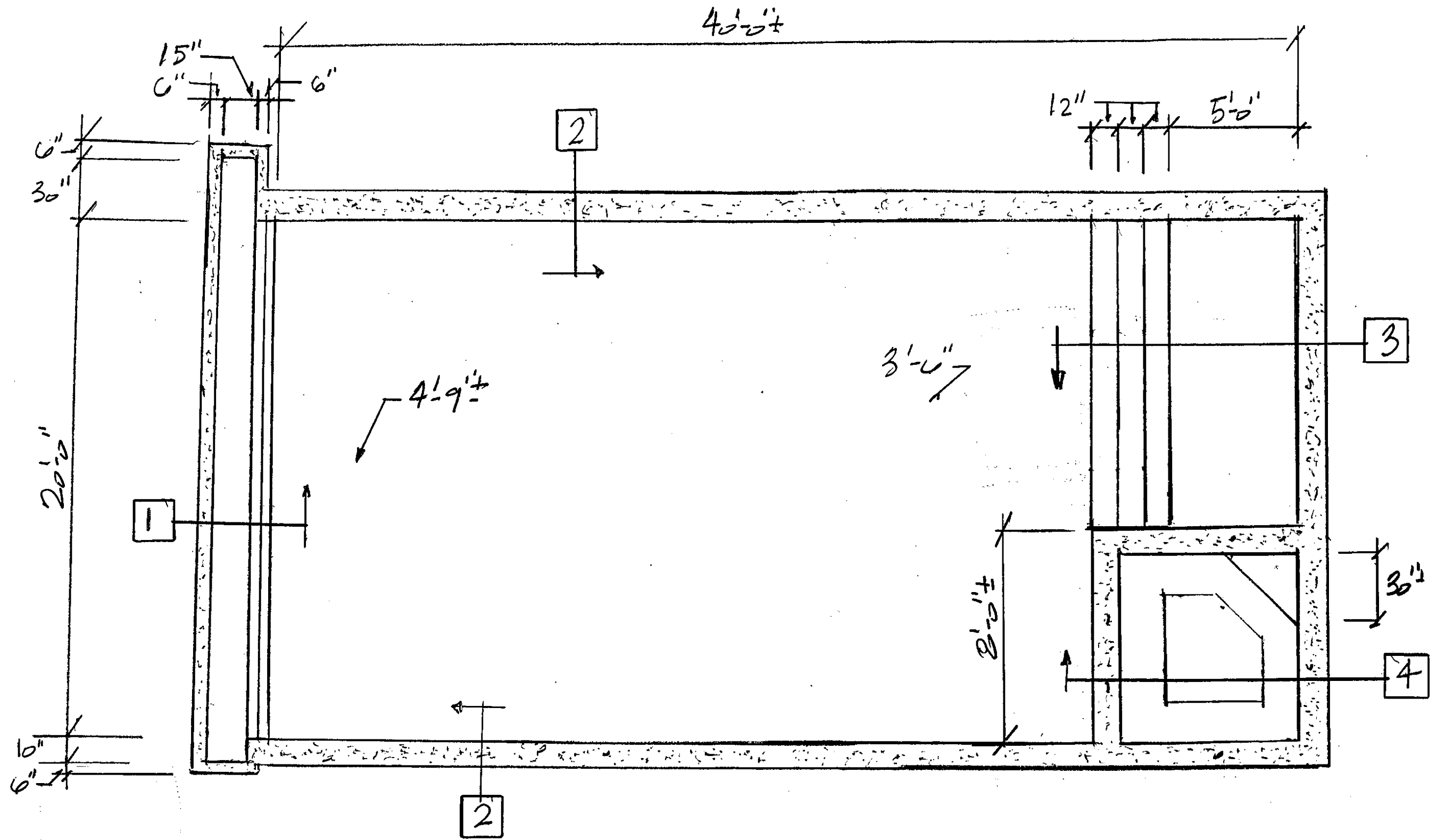


SECTION #2





SECTION #4



POOL PLAN

24" x 36" 6/14/2019 U:\CSD\2019\2019094\ENGINEERING\0-PLAN_SHEETS\0-ERO.DWG

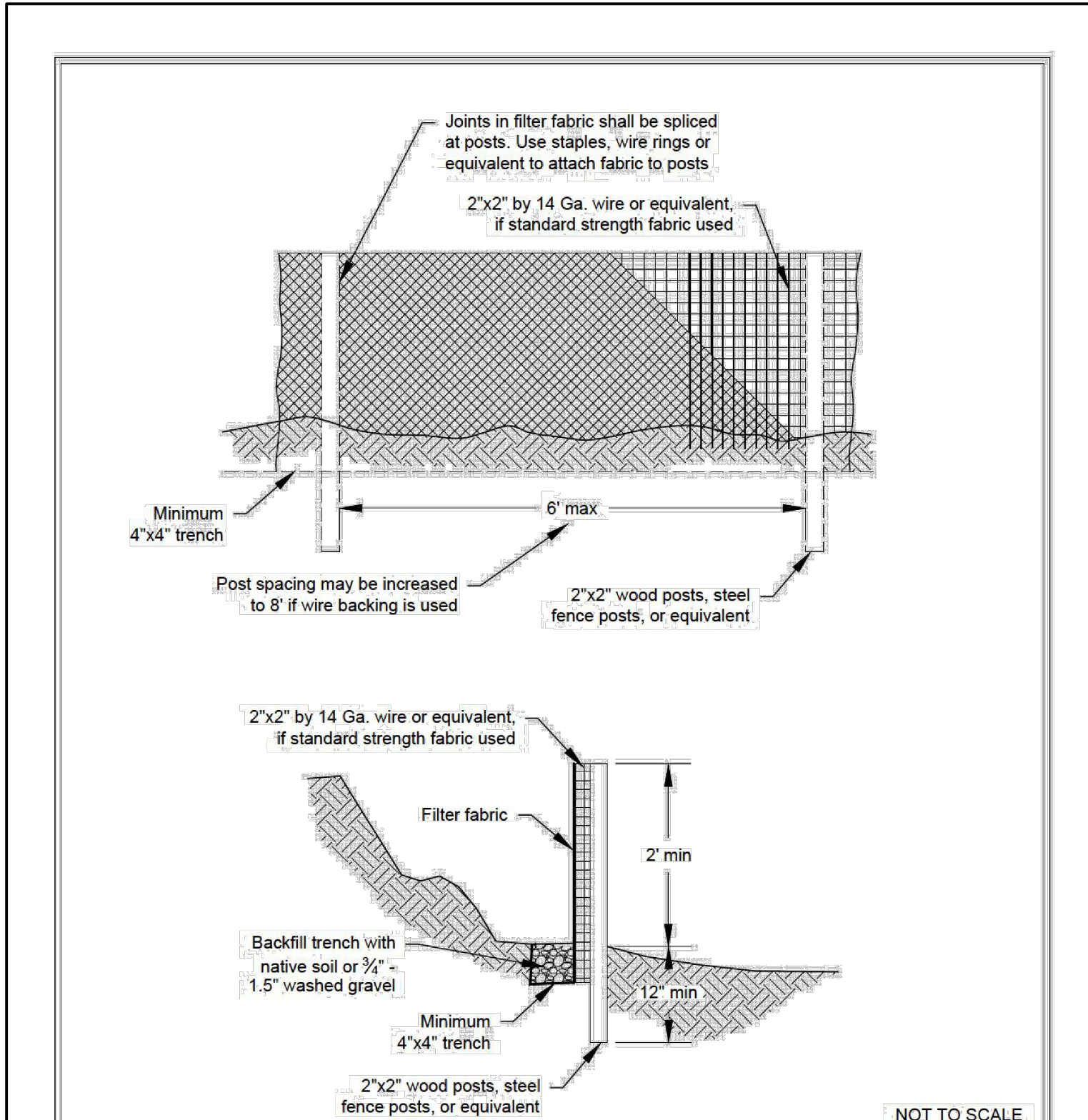
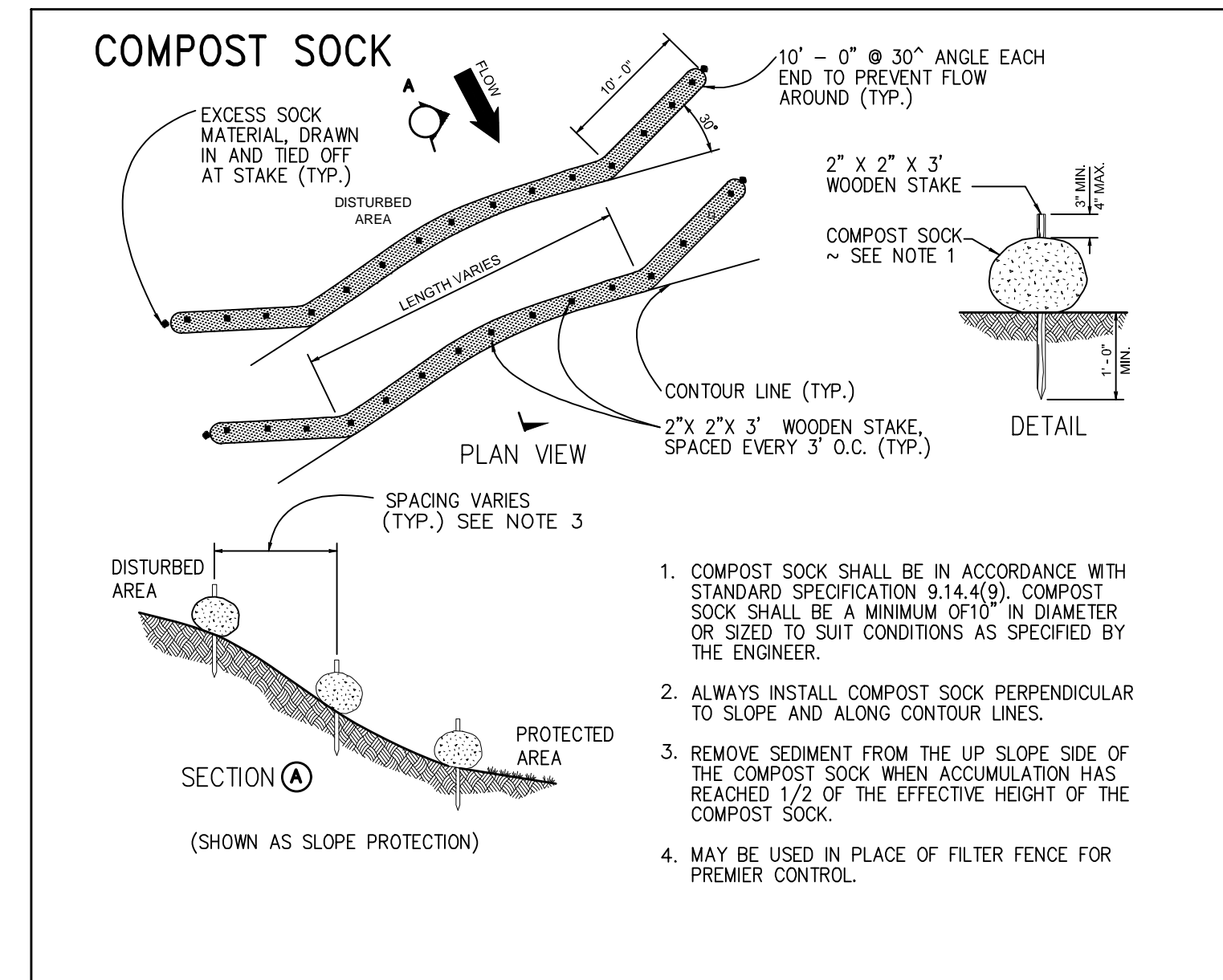
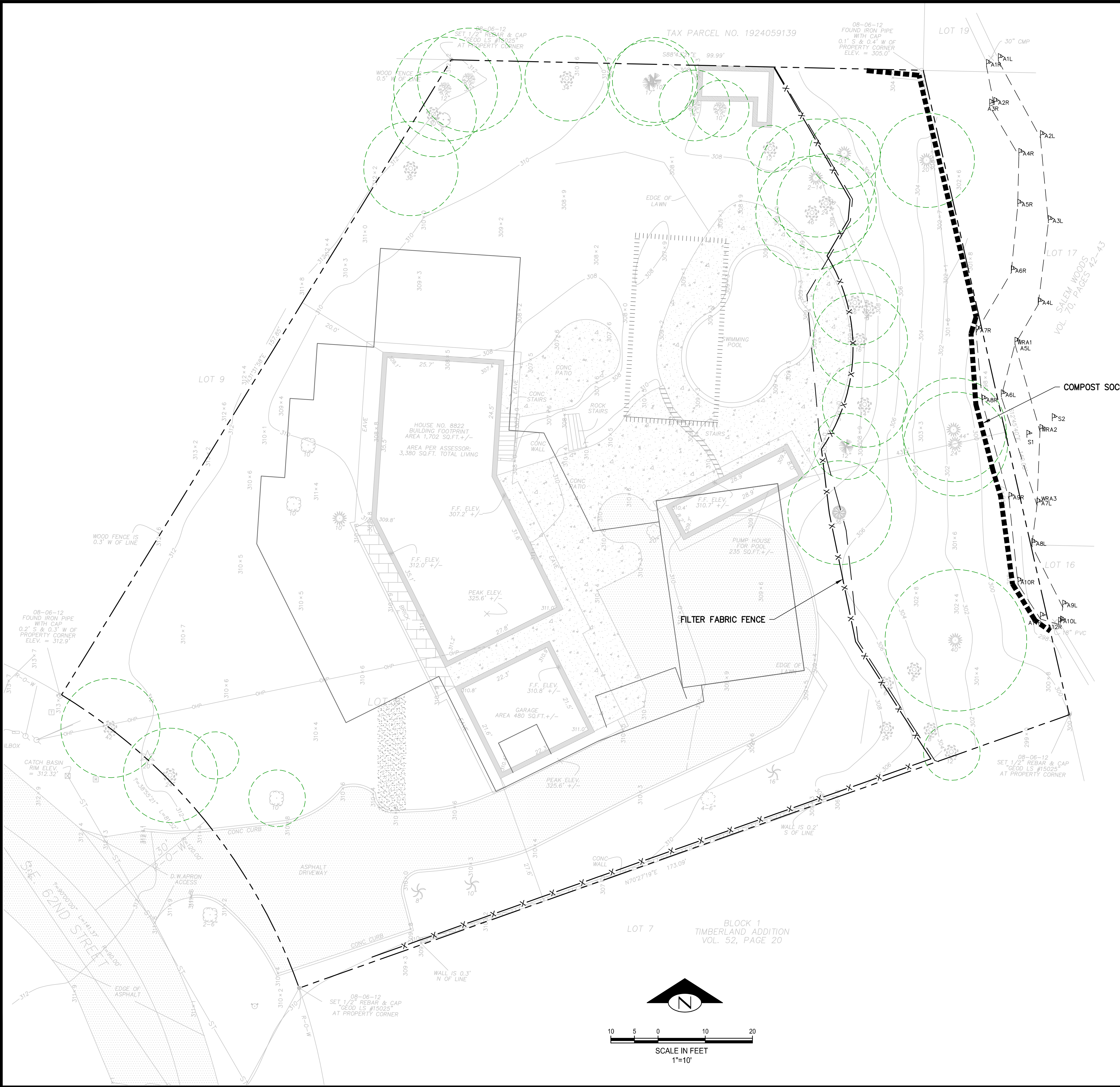
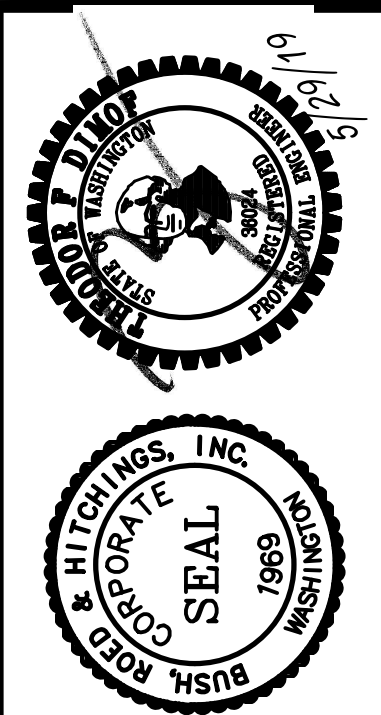


Figure II-4.2.12
Silt Fence
Revised October 2014

DEPARTMENT OF ECOLOGY
State of Washington

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BUSH, ROED & HITCHINGS, INC.
LAND SURVEYORS & CIVIL ENGINEERS

2009 MINOR AVE. EAST
SEATTLE, Washington
98102-3513

(206) 323-4144
1-800-935-0508
FAX# (206) 323-7135



NO.	REVISION	DATE

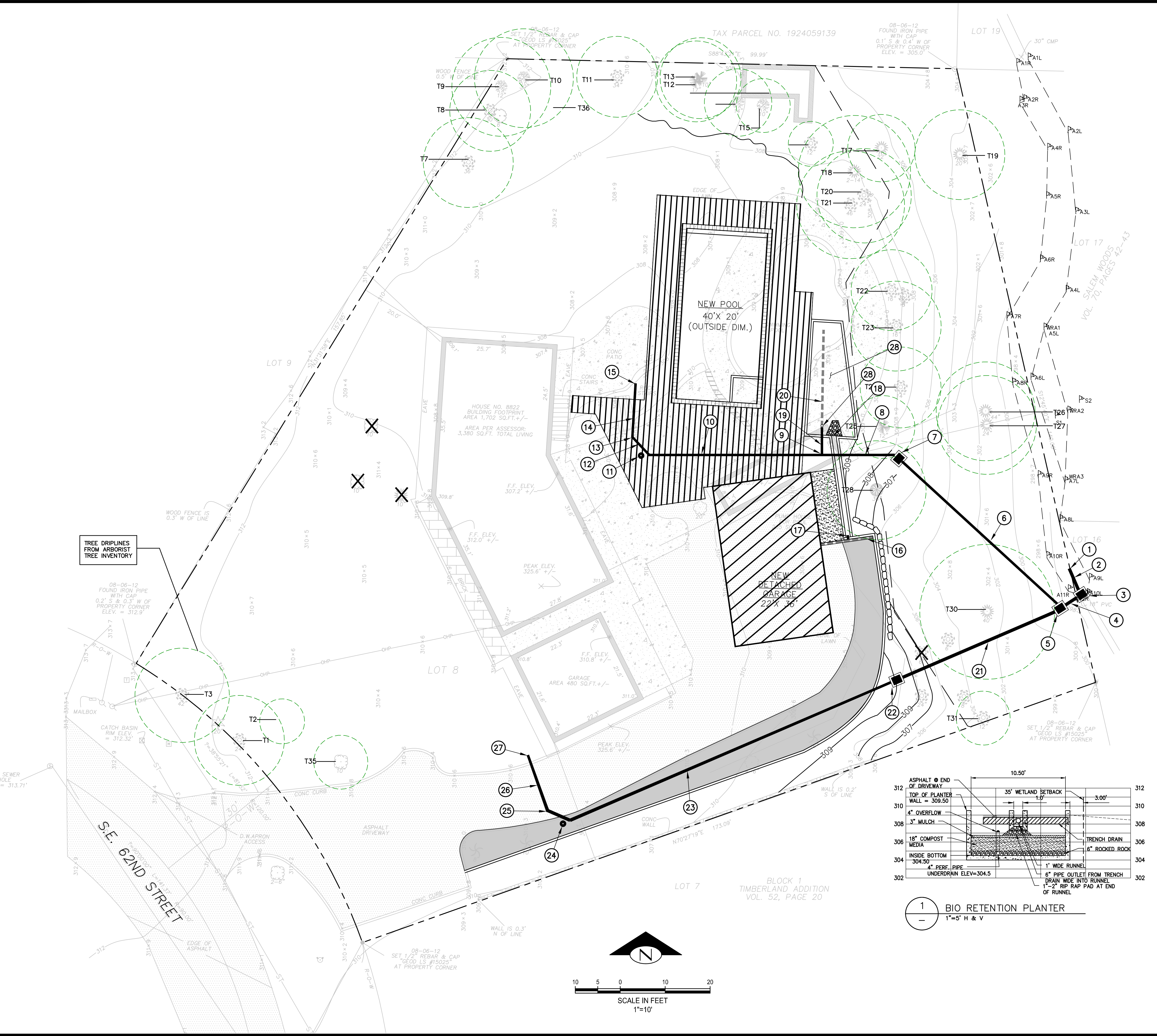
EROSION CONTROL PLAN
8822 S.E. 62ND STREET
HEADRICK RESIDENCE

MERCER ISLAND KING COUNTY WASHINGTON

drawn by	checked by
WPG	TFD
scale	date
AS SHOWN	05/29/19
job no.	
2019094.00	
sheet	of
C1	

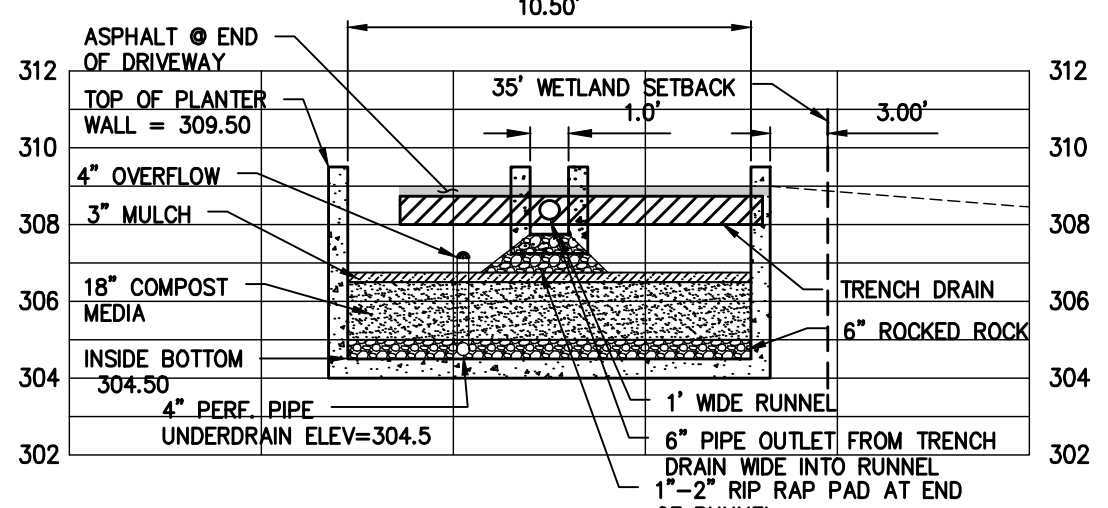


24" x 36" 6/14/2019 U:\CADD\2019\2019094\ENGINEERING\0-PLAN_SHEETS\0-GRD.DWG

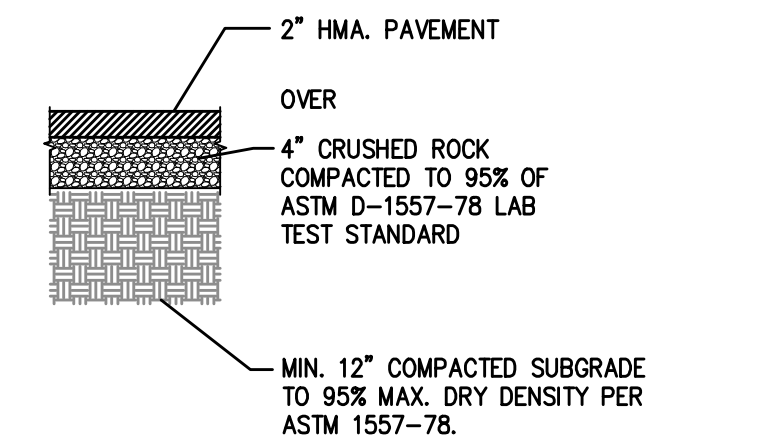


STORM DRAINAGE NOTES:

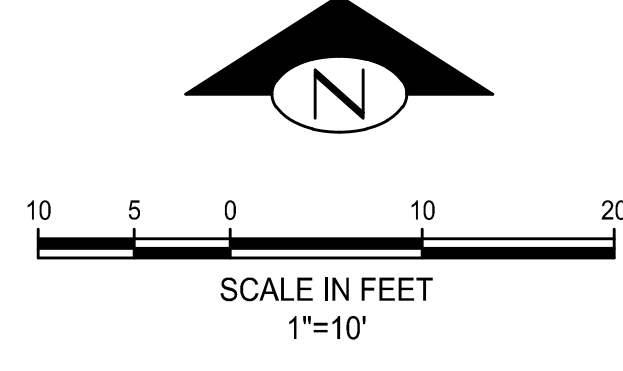
- 1 DITCH IE=297.61
- 2 6LF ~ 18" PVC @ 1.57%
- 3 TYPE II CB RIM=300.50 IE=297.5±, 18" NW IN IE=297.5±, 8" E
- 4 5.5LF ~ 8" PVC @ 2.0%
- 5 TYPE I CB W/SOLID LID RIM=300.5± IE=297.6±, 8" NW IN IE=297.6±, 8" E
- 6 48LF ~ 8" PVC @ 13.33%
- 7 TYPE I CB W/SOLID LID RIM=307.5± IE=304.0, 8" NW IN IE=304.0, 8" E
- 8 17LF ~ 8" PVC @ 2.0%
- 9 8"x6" TEE BIO-RETENTION PLANTER OUTLET IE = 304.34±
- 10 39LF ~ 8" PVC @ 2.0%
- 11 8" CLEANOUT RIM=309.0± IE=305.12
- 12 6LF ~ 8" PVC @ 2.0%
- 13 8" 45° BEND IE=304.24
- 14 10LF 8" @ 2.0%
- 15 8" STUB WITH CAP IE=304.44 FUTURE OUTLET FOR BIO-RETENTION PLANTER
- 16 11LF TRENCH DRAIN RIM=309.0± IE=308.30
- 17 1LF 6" @ 2% IE @ BOTTOM OF RUNNEL =308.25
- 18 IE @ END OF RUNNEL =307.75 PLACE 1'-2" RIP-RAP PAD AT END OF RUNNEL
- 19 6LF 6" PVC @ 4.07± IE @ 4" PERF PIPE CONNECTION INSIDE BIO-RETENTION PLANTER =304.50
- 20 22LF 4" RIDIG PVC PERFORATED PIPE @ 0.0%
- 21 38LF 6" PVC @ 16.84%
- 22 TYPE I CB W/SOLID LID RIM=309.0 IE=304.0 8"
- 23 79LF 6" PVC @ 2.0%
- 24 6" CLEANOUT RIM=310.5± IE=305.58
- 25 6" 45° BEND IE=305.7±
- 26 13LF 6" @ 2.0%
- 27 6" STUB WITH CAP IE=305.96 FUTURE BIO-RETENTION PLANTER OUTLET CONNECTION
- 27 BIO RETENTION PLANTER SURFACE AREA INSIDE PLANTER = 213±
- 28 4" OVERFLOW OUTLET RIM=307.25



1 BIO RETENTION PLANTER
1"=5' H & V



2 ASPHALT PAVEMENT
NOT TO SCALE



BUSH, ROED & HITCHINGS, INC.
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2009 MINOR AVE. EAST
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(206) 323-4144
1-800-935-0508



NO.	REVISION	DATE

STORM DRAINAGE PLAN
8822 S.E. 62ND STREET
HEADRICK RESIDENCE
MERCER ISLAND KING COUNTY WASHINGTON

drawn by WPG	checked by TFD
scale AS SHOWN	date 05/29/19
job no. 2019094.00	
sheet C2	of

