CITY OF MERCER ISLAND
DEVELOPMENT SERVICES GROUP

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercergov.org

INSPECTION REQUESTS:
online: MyBuildingPermit.com
voicemail: (206) 275-7730

MiePlan

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

TO BE COMPLETED BY APPLICANT

CONTACT INFORMATION:
Applicant is to complete the following information.

Applicant Contact information *prior* to permit issuance:	Applicant Contact information *post* permit issuance:
Name: NED NELSON, ARCHITECT	Name: NED NELSON, ARCHITECT
Address: 11773 SUNRISE DR NE BAINBRIDGE ISL. WA 98110	Address: 11773 SUNRISE DR NE BAINBRIDGE ISL. WA 98110
Phone: 425.444.8773	Phone: 425.444.6782
Email: nednelson@msn.com	Email: nednelson@msn.com

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:
It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below. All Special Inspectors (except Geotechnical) must be WABO certified.
When Special Inspection or Structural Observation is required, the report shall be submitted to the City Building Inspector prior to the City Inspection. **Note: Inspection by the City Inspector is required in addition to the Special Inspection or Structural Observation indicated below. Do not cover or conceal any work prior to the City inspection.**

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR):
Engineer of Record:_____ Company:_____ Phone:_____
☐ General Conformance to Construction Documents ☐ Other:_____

SOILS / GEOTECHNICAL:
Special Inspector:_____ Company:_____ Phone:_____
☐ Erosion control measures ☐ Subsurface drainage placement
☐ Shoring installation and monitoring ☐ Verify fill material and compaction
☐ Observe and monitor excavation ☐ Rockery installation
☐ Verification of soil bearing ☐ Pile placement (auger cast/driven pile)
☐ Other: ☐ Other:

REINFORCED CONCRETE:
Special Inspector:_____ Company:_____ Phone:_____
☐ Concrete strength ☐ Retaining wall construction
☐ Reinforcing steel and concrete placement ☐ Prestressed / Precast construction
☐ Shotcrete placement ☐ Other:
☐ Other: ☐ Other:

STRUCTURAL STEEL: *(AISC 360, Chapter N)*
Special Inspector:_____ Company:_____ Phone:_____
☐ Fabrication and shop welds ☐ Moment Frame construction
☐ Structural steel erection, field welds and bolting ☐ Other:
☐ Other: ☐ Other:

STRUCTURAL MASONRY:
Special Inspector:_____ Company:_____ Phone:_____
☐ Mortar strength ☐ Glass unit masonry installation
☐ Masonry unit strength ☐ Wall panel and veneer installation
☐ Other: ☐ Other:
☐ Other: ☐ Other:

WOOD:
Special Inspector / Engineer of Record:_____ Company:_____ Phone:_____
☐ Lateral resisting system construction ☐ High strength diaphragm construction
☐ Other: ☐ Other:

OTHER SPECIAL INSPECTIONS:
Special Inspector:_____ Company:_____ Phone:_____
☐ Epoxy grout installations ☐ Stucco installation
☐ Expansion anchor installations ☐ Infiltration System
☐ Other post installed anchors ☐ Exterior Insulation Finish System (EIFS) installation
☐ Alternative construction methods: ☐ Other:
☐ Alternative construction materials: ☐ Other:

DEFERRED SUBMITTALS:
The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

☐ Connector plate wood trusses ☐ Post tension layout
☐ Metal joist / metal trusses ☐ Exterior cladding
☐ Premanufactured structures (stairs, etc.) ☐ Window wall / curtain wall construction
☐ Precast concrete elements ☐ Other:
☐ Other: ☐ Other:

ENERGY CODE COMPLIANCE INFORMATION:
Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

Sheet:
☐ Building envelope: *WSEC Table 402.1.1* NO HEATED SPACES THIS PERMIT
(include U-factors, insulation and moisture control)
☐ Whole house ventilation: *IRC Section M1507 WA Amended*
(include ventilation option and duct sizing if applicable)
☐ Energy Credit Information: *WSEC Table 406.2*
(include specific, written requirements)
☐ RECPC Form Information:
(if incorporated within drawing set)
http://www.mercergov.org/files/2012ResidentialEnergyCalcForm.pdf

☑ Air Leakage Testing. *IRC Section R402.4.1.2 WA Amendments*
☑ Provide air leakage test report verifying air leakage rate does not to exceed 5 air changes per hour.
☑ Duct Leakage Testing. *WSEC R403.2.2*
☑ Postconstruction Test. *WSEC R403.2.2.1*
☑ Rough-in Test. *WSEC R403.2.2.3*

NOTE: UNHEATED DETACHED GARAGE & NEW SWIMMING POOL

FILE NAME: *DSG CVR 2016 24x36.PDF*

TO BE COMPLETED BY DSG

PROJECT ALERTS:
Construction of the project shall be from ***approved plans only***. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition.

☑ Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including:
- Site Considerations
- Hours of Work
- Construction Vehicle Parking Restrictions
- Acess Road Requirements
- ROW restrictions
- Drainage Requirements
- Sewer Requirements
- Water Service Requirements
- Additional Fire Code Requirements
- Planning Requirements
- Noise Abatement Certification
- Tree Requirements

☐ Refer to "Preconstruction Meeting Checklist" provided at the preconstruction meeting for development related requirements.
☑ Temporary site address with minimum 6" high numbers visible from the street must be installed.
☑ Erosion control measures must be as shown on approved project drawings. All erosion control is to be in place and inspected prior to the start of any site work.
☑ A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information.

TREE PROTECTION REQUIREMENTS:
☑ Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.
☑ No trees shall be cut without a City of Mercer Island tree permit.
☐ Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection.
☐ For this project, N/A trees are authorized to be removed and replaced with N/A trees.
☐ This project appears to be within a protected eagle nest area. Contact Federal Fish and Wildlife at (360) 534-9304 or visit their website at http://www.fws.gov/pacific/eagle

FIRE PROTECTION REQUIREMENTS:
Separate Permits are required for ALL fire protection systems. For more information, see http://www.mercergov.org/Page.asp?NavID=2614

☐ Fire Sprinkler
☐ NFPA 13D
☐ Plus
☐ NFPA 13R
☐ NFPA 13
☐ Approved Fire Code Alternatives:
☐ FCA1
☐ FCA2
☐ Monitored Household Fire Alarm per NFPA 72
☐ Monitored Sprinkler Water Flow Alarm
☐ Other:
☐ FCA3
☐ FCA4

WATER SUPPLY REQUIREMENTS:
☐ Fire sprinkler design calculations must be provided prior to determining water supply system requirements.
☐ Water Supply system upgrade required
☐ City Installation.
☐ Applicant Installation.
Required Service Line Size: N/A (water main to meter) Required Supply Line Size: N/A (water main to house) Required Meter Size: N/A
☐ Abandonment of existing service and meter required at main.
☑ Pressure reducing valve required if pressure exceeds 80 psi.
☑ Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells or lake irrigation).
☐ Additional water supply requirements:_____

DRAINAGE REQUIREMENTS:
☐ On site detention system required. ☐ Direct discharge into the lake.
☐ On site infiltration system required. ☐ No Storm Water permit required.
☐ As-built Utility drawings required. ☐ Connection to public storm drainage conveyance system req'd.
☐ Full Size drawings required. ☐ Other:

SIDE SEWER REQUIREMENTS:
☑ Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties.
☐ Video tape of existing sewer required (see standard details)
☐ New connection. ☐ Connect to existing. Disconnect permit required. ☐ Reconnect permit required.
☐ Other:
Note: When side sewer is to be connected to the lake line you will need to schedule three (3) days in advance with the City of Mercer Island Maintenance Department at (206) 275-7800.

APPROVED CODE ALTERNATIVES:
Code alternatives must be Inspected. Refer to the Inspection Checklist

☐ CA1:
☐ CA2:

SURVEY REQUIREMENTS (The following survey information must be submitted when checked):
Surveyor shall verify points chosen for **height calculations** and point verification shall be submitted at the time of City foundation Inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy.

Surveyor:_____ Phone:_____
☐ Building height survey
☐ Building setback survey
☐ Impervious surface survey
☐ Other:
☐ **MAXIMUM 40 PERCENT ALTERATION INSPECTION:** *MICC 19.01.050(I)(1)(b)(i)*
A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730.
☐ Civil / Drainage ☐ LUP / Setback requirements

GEOTECHNICAL INFORMATION:
Land clearing, grading, filling and foundation work within geoiogic hazard areas is **NOT PERMITTED** between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

☐ Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times.
Geotechnical Engineer *Phone*
SEASONAL DEVELOPMENT LIMITATION RESTRICTION:
☐ Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.
☐ Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.
Permit number *Approved by* *Date*

TO BE COMPLETED BY DSG

REQUIRED CONSTRUCTION INSPECTIONS:
It is the applicant's responsibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at www.MyBuildingPermit.com or by calling the Inspection Hotline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel) in advance of desired inspection. Be specific as to type of inspection.

Inspector shall initial and date appropriate inspection *only* if approved. Note: ***Items marked with an "•" require a separate permit.*** It is the applicants responsibility to apply for and obtain all City of Mercer Island permits.

INSPECTIONS: (Listed in order of typical sequencing)

Inspector | Date | Approved

☐ Pre-construction Meeting to Review Conditions of Permit Approval.
•☐ Tree protection
☐ Erosion control
•☐ Sewer disconnect and cap. If applicable, separate side-sewer permit required
•☐ Right-of-way use or work / easement, material delivery, etc. If applicable, separate ROW permit required
☐ Land clearing, grading and demolition
☐ Temporary power
☐ Pilings / Shoring / Shotcrete. If applicable, provide survey letter (property line); Geotechnical Engineer / Special Inspector reports of inspections (pile and shoring installation, etc.)
☐ Footings, setbacks, UFER ground. If applicable, provide survey letter (building height and setbacks); Special Inspector reports of inspections (soil bearing capacity, compaction, earthwork, pile installation, etc.)
☐ Foundation walls / concrete columns
☐ Roof and footing drains
☐ Foundation damproofing
•☐ Storm drainage, including (but not limited to):
- Connections to storm main in ROW
- Detention systems
- Infiltration systems
- Catch basins including oil-water separator tees
- Area drains
- Conveyance piping / cleanouts
- Storm drain in ROW
- Control structures / manholes
- Pump systems
- Retaining wall drainage

•☐ Water Service
☐ Water Supply
☐ Water as-built drawings
•☐ Side sewer installation, including (but not limited to):
- Connections to side sewer main
- Connections to existing side sewer
- Back-flow valves
- Grinder pump systems
- Sewer manholes

☐ Driveway / Access road
☐ Underslab electrical / mechanical / plumbing
☐ Underslab insulation / vapor barrier / reinforcing
☐ Underfloor framing
☐ Nailing-Roof sheathing. If applicable, provide Special Inspection letter for lateral wood inspection.
☐ Nailing-Exterior wall and Shearwall. If applicable, provide Special Inspection letter for lateral wood inspection.
☐ Rough hydronic installation
☐ Rough electric installation
•☐ Rough fire alarm (wiring inspection)
☐ Rough plumbing installation (DWV, water)
☐ Rough mechanical
☐ Gas Piping
•☐ Rough fire sprinkler / hydrostatic and flow (bucket) test
☐ Framing and glazing. If applicable, provide Special Inspection letter for lateral wood inspection, welding epoxy anchors, etc.
☐ Masonry construction (fireplace / walls / veneer / etc.)
☐ Insulation installation
☐ Stucco (paper and lath)
☐ Shower pan (or tub)
☐ Miscellaneous
☐ Code Alternative CA1:
☐ Code Alternative CA2:
☐ Impact Fees Paid (If applicable)

☐ **Final Inspection:** Tree Restoration ☐ TT
☐ **Final Inspection:** Fire protection, including (but not limited to): ☐ TF
- Sprinkler
- Access Road
- Fire Code Alternatives (see below)
- ☐ FCA1:
- ☐ FCA2:
- Fuel Tank Installation
- Fire Extinguishing System
- Fire Alarm System
- ☐ FCA3:
- ☐ FCA4:

☐ **Final Inspection:** Water supply protection, including (but not limited to) backflow devices for: ☐ TW
- Waterfront property
- Fire / lawn sprinkler
- Well water on property
- Boiler

☐ **Final Inspection:** Site and utility: includes landscape, utilities and ROW. Site restoration complete and as-built drawings ready for submittal. ☐ TS
☐ **Final Inspection:** Building, including electrical / mechanical / plumbing. If applicable, provide closeout (summary) letters from Engineer, Special Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS). ☐ TB

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO):
Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.

Approved *Start Date* *End Date*

ADDITIONAL REQUIRED CITY INSPECTIONS:
Call the appropriate contact to arrange the inspection.

Required Inspection(s):	Contact:	Phone:	Scheduling:

IMPACT FEES:
If applicable.
☐ Impact fees apply and are due ***prior*** to Final Inspection or on _____, whichever occurs first.
Date

PLAN REVIEW APPROVALS:
Not all review disciplines may be required to review the documents.

☐ N/A *Building* ☐ N/A *Planning* ☐ N/A *Engineering* ☐ N/A *Tree* ☐ N/A *Fire*

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES

REVISED: *December 1st, 2015*

SF

PERMIT NUMBER

CERTIFICATE OF OCCUPANCY
Issued after all required inspections have been performed and approved.
Date *Approved*

REVIEWED FOR CODE COMPLIANCE
Date *Approved*

PROJECT NAME: HEADRICK GARAGE & POOL ADDITION
PROJECT ADDRESS: 8822 S.E. 62ND ST. M.I.

HEADRICK RESIDENCE

8822 S.E. 62ND STREET,
MERCER ISLAND, WA. 98040

POOL NOTES / CERTIFICATIONS

ONLINE CERTIFICATIONS DIRECTORY

WDDJ.E164833
Swimming Pool and Spa Cover Operators, Electric

Page Bottom

Swimming Pool and Spa Cover Operators, Electric

See General Information for Swimming Pool and Spa Cover Operators, Electric

LATHAM POOL PRODUCTS INC E164833
1795 W 200 N
Lindon, UT 84042-166 USA

Pool cover operators, Models CS-1800, CS-1800 CL, CS 1800 CO, CS 1800 SS, CS 1800 SW.

Pool cover operator accessory, pool cover drain pump, Model AD-1100.

Pool cover operator and safety cover, Model Infinity 4000. Classified in Accordance with ASTM F1346-91 (Reapproved 2010).

Last Updated on 2015-01-09

Questions? Print this page Terms of Use Page Top

Certificate of Compliance

Certificate Number 20110728 – E211895
Report Reference E211895 – 2002 September 04
Issue Date 2011 July 28

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Underwriters Laboratories

Issued to: **POOL COVER SPECIALISTS NATIONAL INC**
8553 S 2940 W
WEST JORDAN, UT 84088 USA

This is to certify that representative samples of **Covers for Swimming Pools and Spas**
Manual Safety Cover, Model Life-Lock Dual-Pin Manual Safety Cover.

Have been investigated by Underwriters Laboratories in accordance with the Standard(s) indicated on this Certificate.

Standard(s) for Safety: **ASTM F1346, "Standard Performance Specification for Safety Covers and Labeling Requirements for All Covers for Swimming Pools, Spas and Hot Tubs."**

Additional Information: See UL On-line Certification Directory at WWW.UL.COM for additional information.

Only those products bearing the UL Listing Mark for the US and Canada should be considered as being covered by UL's Listing and Follow-Up Service meeting the appropriate requirements for US and Canada.

The UL Listing Mark for the U.S and Canada generally includes the UL in a circle symbol with "C" and "U.S" identifiers; the word "LISTED"; a control number (may be alphanumeric) assigned by UL; and the product category name (product identifier) as indicated in the appropriate UL Directory.

Look for the UL Listing Mark on the product

William R. Carney
Director, North American Certification Programs
Underwriters Laboratories Inc.
Any information and documentation involving UL Mark services are provided on behalf of Underwriters Laboratories Inc. (UL) or any authorized licensee of UL.

For questions, please contact a local UL Customer Service Representative at http://www.ul.com/global/eng/pages/corporate/contactus

CONFORMANCE:
ALL MATERIAL AND CONSTRUCTION METHODS SHALL CONFORM TO CHAPTER 246-260 WAC, "WATER RECREATION FACILITIES" PUBLISHED BY THE WASHINGTON STATE DEPARTMENT OF HEALTH, INTERNATIONAL BUILDING CODE, NATIONAL ELECTRICAL CODE, UNIFORM MECHANICAL CODE (LATEST ADDITIONS) AND INTERNATIONAL SWIMMING POOL & SPA CODE 2015 CHAPTERS 3 & 8, ELECTRICAL CODE AND UNIFORM MECHANICAL CODE (LATEST ADDITIONS) AS MODIFIED BY THE LOCAL PERMIT AGENCY.

DESIGN CRITERIA:
THE POOL WALLS ARE DESIGNED TO MEET THE LOAD REQUIREMENTS RESULTING WHEN THE POOL IS EMPTY ASSUMING LATERAL EARTH PRESSURE (EQUIVALENT FLUID PRESSURE OF 55 PSF) ON THE ENTIRE HEIGHT OF WALL AND ALSO RESULTING WHEN THE POOL IS FULL OF WATER ASSUMING NO LATERAL EARTH RESISTANCE FOR THE TOP 2-1/2 FEET OF THE WALL.
IT IS FURTHER ASSUMED THAT THE POOL SHALL BE POURED AGAINST FIRM UNDISTURBED SOIL ALLOWING THAT THE TOP 2-1/2 FEET OF WALL MAY BE FORMED AND FILL PROVIDED IN BACK THEREOF. THE SOIL SHALL HAVE A MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF.
THE POOL IS NOT DESIGNED AGAINST HYDROSTATIC UPLIFT WHEN EMPTY AND THEREFORE A PRESSURE RELIEF VALVE IS TO BE PROVIDED AT THE LOWEST POINT. THIS TYPE OF POOL ELIMINATES THE USE OF FORMS ON MOST OF THE WORK AND THEREFORE IT'S USE IS LIMITED TO SOILS WHICH CAN BE SHAPED TO THE DESIRED CONTOUR AND WHICH WILL RETAIN ITS SHAPE UNTIL THE GUNITE IS PLACED.

CONCRETE:
GUNITE: 1 PART CEMENT, 4-1/2 PARTS OF SAND, BASED ON DRY AND LOOSE VOLUME; 2,500 PSI @28 DAYS. PORTLAND CEMENT TYPE I OR II, ASTM C-150, SEVEN SACK MIX.

REINFORCEMENT:
REINFORCING STEEL, DEFORMED INTERMEDIATE GRADE, FY = 40,000 PSI, ASTM A-15. LAP SPLICES 40 DIAMETERS; SUPPORT ON CONCRETE BLOCKS AND TIE WITH 16 GAGE ANNEALED WIRE; 2" MINIMUM COVER BETWEEN EARTH AND STEEL.

CONSTRUCTION:
MAXIMUM LENGTH OF POOL WITHOUT CONTROL JOINT IS 60'-0". GUNITE IS TO BE PLACED MONOLITHIC AND PNEUMATICALLY.

EARTH SURFACES:
TO BE THOROUGHLY COMPACTED AND NEATLY TRIMMED TO LINE AND GRADE.

ENERGY CODE
PROVIDE POOL/SPA EQUIPMENT, COVERS, PIPING INSULATION, MOTORS, ETC. IN
ACCORDANCE WITH THE APPLICABLE PORTIONS OF 2015 WSEC SECTIONS R403.10.1 THROUGH R403.10.4.2 AND APSP-15. HEATERS, TIME SWITCHES AND COVERS TO CONFORM TO ISPSC 2015 SECTION 303 & 316.

MAKE-UP WATER
IF NOT OTHERWISE PROVIDED FOR IN THE DRAWINGS, MAKE-UP WATER SHALL BE PROVIDED BY HOSE BIBB LOCATED IN POOL DECK AREA BY OWNER. VACUUM BREAKER PROTECTION SHALL BE PROVIDED.

DUAL DRAIN SEPARATION
POOL FACILITY PUMP CIRCULATION SYSTEMS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) SUCTION OUTLETS OF THE APPROVED TYPE. A MINIMUM HORIZONTAL OR VERTICAL DISTANCE OF THREE (3) FEET SHALL SEPARATE SUCH OUTLETS. THESE SUCTION OUTLETS SHALL BE PIPED SO THAT WATER IS DRAWN THROUGH THEM SIMULTANEOUSLY THROUGH A VACUUM RELIEF-PROTECTED LINE TO THE PUMP OR PUMPS. SUCTION ENTRAPMENT AVOIDANCE SHALL CONFORM TO APSP 7.

SYSTEM DESIGN
A CIRCULATION SYSTEM CONSISTING OF PUMPS, PIPING, RETURN INLETS AND OUTLETS, FILTERS, AND OTHER NECESSARY EQUIPMENT SHALL BE PROVIDED FOR THE COMPLETE CIRCULATION OF WATER. WATER VELOCITY, PIPING AND FITTINGS SHALL CONFORM TO ISPSC 2015 SECTIONS 311.3 & 311.4. CIRCULATION SYSTEM PIPING EQUIPMENT SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE TEST PER ISPSC 2015 SECTION 311.9. CIRCULATION SYSTEM EQUIPMENT SHALL BE SIZED TO PROVIDE A TURNOVER OF THE POOL WATER WAS NOT LESS THAN ONCE EVERY 12 HOURS. THE SYSTEM SHALL BE DESIGNED TO PROVIDE THE REQUIRED TURNOVER RATE BASED ON THE MANUFACTURER'S SPECIFIED MAXIMUM FLOW RATE OF THE FILTER, WITH A CLEAN MEDIA CONDITION OF THE FILTER.

SANITIZING EQUIPMENT
WHERE INSTALLED, CHEMICAL FEED SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS CHEMICAL FEED PUMPS SHALL BE WIRED SO THAT THEY CANNOT OPERATE UNLESS THERE IS ADEQUATE RETURN FLOW TO DISBURSE THE CHEMICAL THROUGHOUT THE POOL OR SPA AS DESIGNED.

LIGHTING
WHERE LIGHTING IS INSTALLED FOR, AND IN, RESIDENTIAL POOLS AND PERMANENT SPAS, SUCH LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 70 OR THE INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE.

BONDING
ALL METALLIC COMPONENTS OF THE POOL AND SPA SHALL BE BONDED AND GROUNDED. #8 SOLID WIRE SHALL BE USED TO BOND ALL EQUIPMENT TOGETHER WITH APPROVED PRESSURE CONNECTORS. ALL ELECTRICAL EQUIPMENT LOCATED WITHIN 5 FEET OF THE WATER'S EDGE MUST BE GROUNDED, I.E. JUNCTION BOXES, TRANSFORMERS, PANELBOARDS, WET AND DRY NICHE LIGHTS, MOTORS, ETC.

DESIGN CRITERIA

DESIGN CRITERIA
PER THE 2015 INTERNATIONAL BUILDING CODE

EARTHQUAKE PER SECTION 1613
Design Per ASCE 7-10
Section 12.8 Equivalent Lateral Force Procedure

Base Shear: $V = C_S * W$
C_S = Seismic Response Coefficient
W = Effective Seismic Weight

Site / Project Specific Design Values:
S_S = 1.45 per USGS
Site Class D (Default)
R = 6.5 from Table 12.2-1
S_1 = 0.56 per USGS
Seismic Design Category D
Risk Category II from Table 1.5-1
I_e = 1.00 from Table 1.5-2

C_S = **0.1487 per Section 12.8.1.1**

WIND DESIGN PER SECTION 1609 (Allowable Stress Design)
Design per ASCE 7-10 Section 28.6

Design Wind Pressure: $P_S = \lambda * I_e * K_{ZT} * PS_{30}$
where: λ = Exposure Factor
K_{ZT} = Topographic Factor
I_e = Importance Factor
PS_{30} = Base Design Pressure

Site/Project Specific Values:
Basic Wind Speed = 110 mph (V_{ult})
λ = 1.00 Exposure "B" (<30') "Urban Clustered Area"
K_{ZT} = 1.30
I_e = 1.00
PS_{30} = see ASCE 7-10, Figure 28.6.1

STANDARD DESIGN INFORMATION
The information described below is to be used unless otherwise noted on the plans

WOOD DESIGN per Section 2301, Allowable Strength Design, ANSI/AWC SDPWS 2015 & AF & PA NDS 2015 when applicable; per 2308 Conventional Light-Frame Construction

MINIMUM NAILING REQUIREMENTS per Table 2304.10.1

ANCHOR BOLTS:
5/8" Ø x 10", A307 or better, w/ 7" min. Embedment. V = 1.6 x 860 = 1376 # / bolt

CONCRETE DESIGN per Chapter 19 & ACI 318-14
Concrete: f'_c = 2500 psi
Rebar: f_y = 40,000 psi

MISCELLANEOUS HARDWARE
SIMPSON Strong-Tie Connectors or equal

PROJECT INFORMATION

ADDRESS: 8822 62ND STREET, MERCER ISLAND, WA 98040
TAX ID 865050-0040

SCOPE OF WORK:
REMOVE 593 SF OF EXISTING SHEDS / REMOVE PATIO AS INDICATED ON SITE PLAN
CONSTRUCT NEW DETACHED GARAGE OVER EXISTING PAVED AREA - 792 SF
CONSTRUCT NEW SWIMMING POOL TO REPLACE EXISTING (NEW LAYOUT)
CONSTRUCT NEW PERVIOUS DECK SURROUNDING NEW POOL
EXTEND EXISTING PAVED DRIVEWAY AS INDICATED ON SITE PLAN

BUILDING CODES

REQUIRED CODES:

IBC 2015
IRC 2015

CONSTRUCTION:

VB - NOT SPRINKLERED
(NOTE TYPE R FIRE SPRINKLER SYSTEM WILL BE ADDED AS PART OF PHASE 2 ADDITION TO RESIDENCE).

ENERGY ENVELOPE: N / A

DETACHED GARAGE WILL BE UNHEATED.

NOTE: AVERAGE BUILDING ELEVATION / ON SITE PLAN SHEET A2

NOTE: LOT SLOPE CALCULATION / ON SITE PLAN SHEET A2

SURVEY / ACCURACY STATEMENT:

SURVEYOR TO FIELD VERIFY MAXIMUM HEIGHT OF DETACHED GARAGE AND PROVIDE STATEMENT OF ACCURACY.

OWNER: Greg & Jennifer Headrick / 8822 S.E. 62nd Street, Mercer Island, WA 98040

DESIGN CONSULTANTS

ARCHITECTURE: Ned Nelson, Architect / 11773 Sunrise Drive NE, Bainbridge Island, Washington 98110
425.444.6782 / nednelson@msn.com

STRUCTURAL: WELLER CONSULTING Mark Weller / 21925 Bothell, WA 98021
425.488.9868 / 425.486.6715 fax

CIVIL: BUSH, ROED & HITCHINGS, INC. Ted Dimof, PE / Engineering Division Manager / Principal
2009 Minor Avenue East, Seattle, WA 98102
206.323.4144 / 206.720.3572 / tedd@brhinc.com

GEOTECHNICAL ENGINEER: GEOTECH CONSULTANTS / Robert Ward / 2401 10th Ave E, Seattle, WA 98102
425.747.5618 / geotech@geotechnw.com

CRITICAL AREAS: WETLAND RESOURCES, INC. / Niels Pedersen / 9505 19th Ave SE, Suite 106, Everett, WA 98208
425.337.3174 / Niels@wetlandresources.com

SURVEYOR: TERRANE Edwin J.Green Jr. / 10801 Main Street, Suite 102, Bellevue, WA 98004
425.458.4488 / support@terrane.net

POOL CONSULTANT: KRISCO AQUATECH POOLS & SPAS Mark Muir, Design Consultant / 17537 132nd Ave. NE, Woodinville, WA 98072
206.226.2433 / 425.487.6400 / 425.486.9696 fax

POOL ENGINEERING: MITCHELL ENGINEERING / 7821 168th Ave NE, Redmond, WA 98052
425.747.1500 / mitchellengineeringinc@comcast.net

ARBORIST: ARBORISTS NW, LLC Neal Baker / ArboristsNW.com / ISA Cert. PN1075A / TRAQ ISA (Tree Risk Assessment Qualified)
Member AREA & SOCA
206.779.2579 / neal@arboristsnw.com

INDEX TO DRAWINGS

ARCHITECTURAL

1

TREE INVENTORY: SURVEY WITH TREE NUMBERS ADDED

Ned Nelson, Architect
11773 Sunrise Drive NE,
Bainbridge Island, WA 98110
telephone: 425.444.6782
email: nednelson@msn.com

STATE OF WASHINGTON
NELSON, JR.
21799
REGISTERED ARCHITECT

HEADRICK RESIDENCE
8822 S.E. 62ND STREET,
MERCER ISLAND, WA. 98040

REVISIONS:

Mark	Date
1	05-20-20

DATE: 05/20/20

PROJECT INFORMATION

SHEET:
A1

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

(PER CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 0134363-ETU, DATED AUGUST 23, 2018)

LOT 8, BLOCK 1, TIMBERLAND ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 52 OF PLATS, PAGE 20, IN KING COUNTY, WASHINGTON. SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

SCHEDULE B ITEMS

ITEM 1
COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON PLAT OF TIMBERLAND, RECORDED IN VOLUME 52 OF PLATS, PAGE 20:
RECORDING NO: 4393606 (BLANKET IN NATURE)

ITEM 3
EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON
PURPOSE: INGRESS AND EGRESS, SOLELY FOR MAINTAINING, OPERATION, REPAIRING AND REPLACING SANITARY
SEWER AND STORM DRAINAGE PIPE AND LINES
RECORDING DATE: FEBRUARY 23, 1982
RECORDING NO.: 8202230542
AFFECTS: A PORTION OF SAID PREMISES (PLOTTED)

ITEM 4
SANITARY SEWER EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
RECORDING DATE: SEPTEMBER 14, 1988
RECORDING NO.: 8809140722 (PLOTTED)

ITEM 5
COMMITMENT TO CONTRIBUTE TO REPAIR OF TIMBERLAND/SALEM WOODS RAVINE AND THE TERMS AND CONDITIONS THEREOF:
RECORDING DATE: SEPTEMBER 14, 1988
RECORDING NO.: 8809140722 (BLANKET IN NATURE)

METHOD OF SURVEY

INSTRUMENTATION FOR THIS SURVEY WAS A LEICA ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS STATE STANDARDS SET BY WAC 332-130-090.

BEARING MERIDIAN

A BEARING OF S88°43'21"E ON THE CENTERLINE OF S.E. 63RD STREET, PER THE PLAT OF TIMBERLAND ADDITION, AS RECORDED IN VOLUME 19 OF PLATS, PAGE 20, RECORDS OF KING COUNTY, WA.

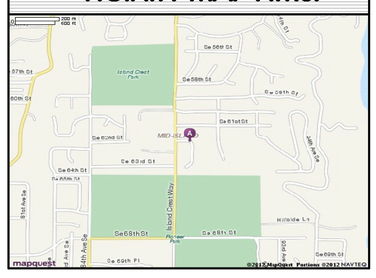
VERTICAL DATUM

CITY OF MERCER ISLAND BENCH MARK NO. 2289
(NAVD 88) (VISITED 08-06-12)

FOUND "1/2"" COPPER PIN IN CONC (DN 1.5')", LOCATED SE 63RD ST, OPP HSE #8817.

ELEVATION = 292.97'

VICINITY MAP N.T.S.



LEGEND

- FOUND MONUMENT AS NOTED
- SET REBAR & CAP AS NOTED
- FOUND IRON PIPE AS NOTED
- UTILITY POLE
- CATCH BASIN
- SANITARY SEWER MANHOLE
- FINISHED FLOOR ELEVATION
- SPOT ELEVATION
- WATER METER
- FIRE HYDRANT
- TELEPHONE RISER
- ASPHALT SURFACE
- RET. WALL
- CONC SURFACE
- STAIRS
- BRICK SURFACE

D.W.APRON DRIVEWAY ACCESS
CONC CONCRETE
R-O-W RIGHT-OF-WAY
( ) RECORD AS NOTED

- BUILDING LINE
- CENTERLINE OF ROAD
- OVERHEAD WIRES
- SLOPE AS NOTED
- EAVES
- METAL FENCE
- SEWER LINE
- BURIED STORM LINE
- GUY WIRE
- WOOD FENCE

- DECIDUOUS TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
- ALDER TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
- CEDAR TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
- APPLE TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
- MAPLE TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
- HEMLOCK TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
- FIG TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
- HOLLY TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
- FIR TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
- CHERRY TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
- SPRUCE TREE (NOT SHOWN TO SCALE) TRUNK DIA SHOWN IN INCHES.
- WETLAND FLAG

ITEM 3 - INGRESS AND EGRESS ESM'T FOR SEWER AND STORM REC. NO. 8202230542

ITEM 4 - SEWER ESM'T REC. NO. 8809140722

SURVEYOR'S NOTES

1) THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2012. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVIENENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2) SUBJECT PROPERTY TAX PARCEL NO. 8650500040.
3) SUBJECT PROPERTY AREA PER THIS SURVEY IS 27,481 SQ.FT.+/-.

SHEET NUMBER 1 OF 1

REVISION HISTORY
DATE: 03/13/2019
DATE: 09/19/2018
SCALE: 1" = 10'
CHECKED BY: E.J.G.
DRAFTED BY: V.L.J.
DATE: 08/13/2012
JOB NUMBER: 12421

Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

EDWIN J. GREEN JR. STATE OF WASHINGTON 15025 REGISTERED PROFESSIONAL LAND SURVEYOR

TOPOGRAPHIC & BOUNDARY SURVEY
SE 1/4 OF THE SW 1/4 OF SEC. 19, TWP. 24N., RGE. 5E., W.M.
CITY OF MERCER ISLAND, KING COUNTY, WA.

HEADRICK RESIDENCE
8822 S.E. 62ND STREET
MERCER ISLAND, WA. 98040

measure success

LEGAL DESCRIPTION

(PER CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 0134363–ETU, DATED AUGUST 23, 2018)

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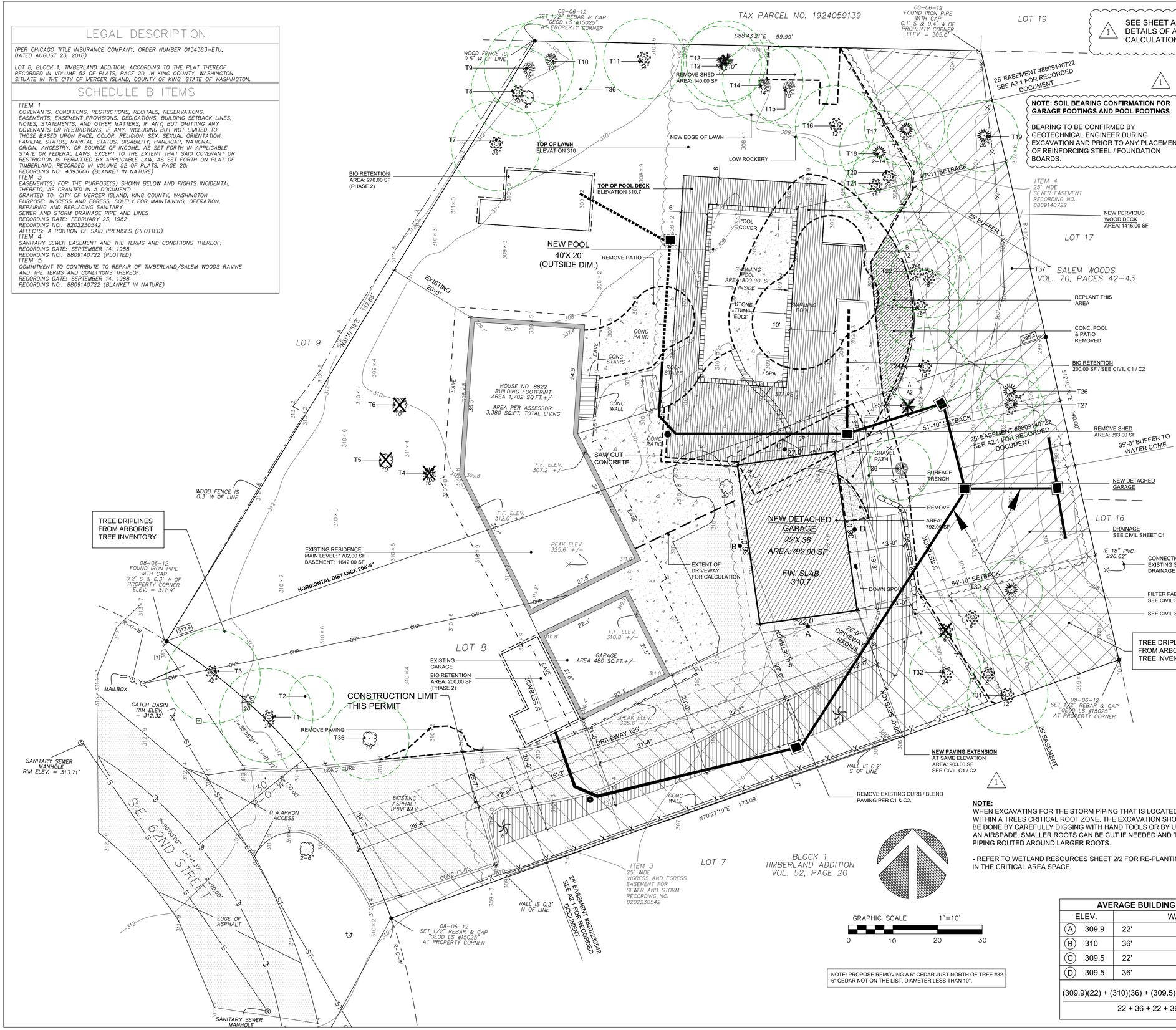


1 SEE SHEET A2.2 FOR DETAILS OF AREA CALCULATIONS

LOT COVERAGE CALCULATIONS

A.	Allowed Lot Coverage	40	% of Lot
B.	Allowed Lot Coverage Area	10,972	Square Feet
C.	Gross Lot Area	27,431	Square Feet
D.	Net Lot Area	26,431	Square Feet
E.	Main Structure Roof Area	3,170	Square Feet
F.	Accessory Building Roof Area	REV. 753	Square Feet
G.	Vehicular Use (driveway, access easements, parking)	REV. 3,746	Square Feet
H.	Total Existing Lot Coverage Area	REV. 7,669	Square Feet
I.	(Total Lot Coverage Area Removed)	REV. 1,421	Square Feet
J.	Total New Lot Coverage Area	REV. 1,639	Square Feet
K.	Total Project Lot Coverage Area = (H-I) + J	REV. 7,921	Square Feet
L.	Proposed adjustment for single story		Square Feet
M.	Proposed adjustment for flag lot		Square Feet
N.	Proposed Lot Coverage = (K/D)x100	29.7	% of Lot

HARDSCAPE

For single family residential development, hardscape is the solid, hard, elements or structures that are incorporated into landscaping. The hardscape includes, but is not limited to, structures, paved areas, stairs, walkways, decks, patios, and similar constructed elements. The hardscape within the landscaping area consists of materials such as wood, stone, concrete, gravel, permeable pavements or pavers, and similar materials. Hardscape does not include solid, hard elements or structures that are covered by a minimum of two feet of soil intended for softscape (for example, a septic tank covered with at least two feet of soil and planted shrubs is not hardscape). The hardscape does not include driving surfaces or buildings.

Up to 9% of the net lot area may consist of hardscape areas. In addition, unused lot coverage may also be improved with hardscape.

What is the total square footage of all hardscape on property? REV. 2,696 Square Feet

What is the total square footage of all decks on property? REV. 1416 Square Feet

BUILDING AREA

All building areas must be identified and labeled on the site plan. Please distinguish all new construction from existing areas on both your drawing and in the calculations you complete below.

Will you be excluding a portion of the basement floor area? Yes ☐ No ☒

If yes, you must provide basement floor area calculations, with your building permit application, that show how you determined what portion of the basement will be excluded. Refer to page 5.

BUILDING AREA CALCULATIONS

Building Area	Existing Area	Removed Area	New/Addition Area	Total
Upper Floor	1702 Sq. Ft.	Sq. Ft.	Sq. Ft.	1702 Sq. Ft.
Main Floor	1642 Sq. Ft.	Sq. Ft.	Sq. Ft.	1642 Sq. Ft. REV
Gross Basement Area REV.	1642 Sq. Ft.	Sq. Ft.	Sq. Ft.	1642 Sq. Ft. REV
Garage/ Carport	480 Sq. Ft.	Sq. Ft.	792 Sq. Ft.	1272 Sq. Ft.
Total Floor Area REV.	3824 Sq. Ft.	Sq. Ft.	Sq. Ft.	Sq. Ft.
Accessory Buildings	376 Sq. Ft.	Sq. Ft.	Sq. Ft.	376 Sq. Ft.
Basement Area Excluded	Sq. Ft.	Sq. Ft.	Sq. Ft.	Sq. Ft.
150% GFA Modifier*	Sq. Ft.	Sq. Ft.	Sq. Ft.	Sq. Ft.
200% GFA Modifier*	Sq. Ft.	Sq. Ft.	Sq. Ft.	Sq. Ft.
Staircase GFA Modifier*	Sq. Ft.	Sq. Ft.	Sq. Ft.	Sq. Ft.
TOTAL Building Area	Sq. Ft.	Sq. Ft.	Sq. Ft.	Sq. Ft.

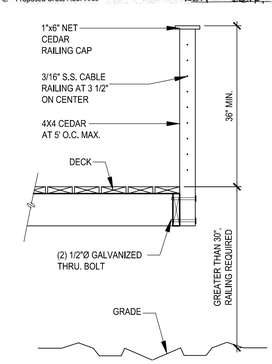
*Enter the actual room area

*CEILING x 12 (REV.) 4616 S.F.

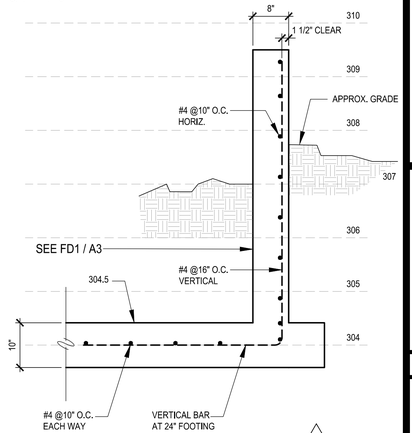
GROSS FLOOR AREA CALCULATIONS

A.	Lot Area	27,421	Square Feet
B.	Allowed Gross Floor Area (refer to "Allowed GFA")	8000	Square Feet
C.	Proposed Gross Floor Area	REV. 4616	Square Feet

1



RAILING DETAIL AT DECK - B
3/4" = 1'-0"



BIO VAULT SECTION A
3/4" = 1'-0"

NOTE:
WHEN EXCAVATING FOR THE STORM PIPING THAT IS LOCATED WITHIN A TREES CRITICAL ROOT ZONE, THE EXCAVATION SHOULD BE DONE BY CAREFULLY DIGGING WITH HAND TOOLS OR BY USING AN AIRSPADE. SMALLER ROOTS CAN BE CUT IF NEEDED AND THE PIPING ROUTED AROUND LARGER ROOTS.

- REFER TO WETLAND RESOURCES SHEET 2/2 FOR RE-PLANTING IN THE CRITICAL AREA SPACE.

NOTE: PROPOSE REMOVING A 6" CEDAR JUST NORTH OF TREE #32. 6" CEDAR NOT ON THE LIST, DIAMETER LESS THAN 10".

AVERAGE BUILDING ELEV. CALCULATION

ELEV.	WALL LENGTH
(A) 309.9	22'
(B) 310	36'
(C) 309.5	22'
(D) 309.5	36'

(309.9)(22) + (310)(36) + (309.5)(22) + (309.5)(36) = 309.73' ABE
22 + 36 + 22 + 36

LOT SLOPE CALCULATION

312.9 - 298.4 / 208.5' x 100 = 6.95%

6.95% LESS THAN 15%
40% COVERAGE OK

Ned Nelson, Architect
11773 Sunrise Drive NE,
Bainbridge Island, WA 98110
telephone: 425.444.6782
email: nednelson@msn.com

HEADRICK RESIDENCE
8822 S.E. 62ND STREET,
MERCER ISLAND, WA. 98040

REVISIONS:

Mark	Date
1	05-20-20

DATE: 05/20/20

SITE PLAN

SHEET: A2

#8202230542 INGRESS / EGRESS EASEMENT FOR MAINTENANCE OF SANITARY AND STORM DRAINAGE FACILITIES

8202230542

INGRESS AND EGRESS EASEMENT

The undersigned, Grantor, for and in consideration of one dollar ($1.00) and other valuable consideration, the receipt of which is hereby acknowledged, by these presents bargains, sells, transfers and conveys unto the CITY OF MERCER ISLAND, King County, Washington, Grantee, an easement over and across the following described property situated in King County, State of Washington, to-wit:

The South 25.00 feet of Lot 8, Block 1, in the Plat of Timberland as recorded in Volume 52 of Plats, page 20, records of King County, Washington, measured perpendicular to the common property line between Lots 7 and 8 of said Plat.

This easement is subject to the following limitations:

a. It shall be for the purpose of ingress and egress across said described property solely for maintaining, operating, repairing and replacing sanitary sewer and storm drainage pipe and lines plus all necessary connections and appurtenances thereto on adjacent property.

b. Said easement shall be 25 feet in width, except to the extent that it lies along the asphalt driveway in which event it shall be 25 feet or the width of the driveway, whichever is the lesser figure; otherwise the easement is as indicated on the attached map.

c. Grantee in each instance shall immediately after utilizing said access restore said premises as nearly as possible to its previous condition.

DATED this 1st day of February, 1982.

Carolyn C. Blackstock
Carolyn C. Blackstock

1% EXCISE TAX NOT REQUIRED
King Co. Records Division
By D Reeves Deputy

STATE OF WASHINGTON)
) SS.
COUNTY OF KING)

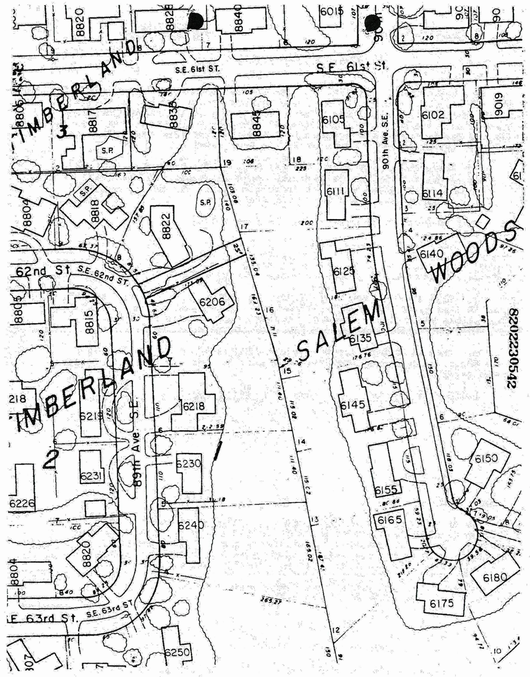
On this 1st day of February, 1982, before me, appeared Carolyn C. Blackstock, to me known to be the individual described in and who executed the foregoing instrument, and acknowledged to me that she signed and sealed the said instrument as her free and voluntary act and deed for the uses and purposes therein mentioned.

WITNESS my hand and official seal hereto affixed the day and year in this certificate above written.

RECEIVED
MAR - 9 1982
CITY OF MERCER ISLAND

Debra E. Simmons
Notary Public in and for the State of Washington, residing at Mercer Island

No. PILE NO. 1050



#8809140722 PUBLIC AND PRIVATE STORM DRAIN AND SANITARY SEWER EASEMENT

8809140722

PUBLIC AND PRIVATE
STORM DRAIN AND SANITARY SEWER EASEMENT

KNOW ALL MEN BY THESE PRESENTS that Carolyn C. Blackstock Owner(s)/Grantor(s) of the following described property:

LOT 8, BLOCK 1, IN THE PLAT OF TIMBERLAND AS RECORDED IN VOLUME 52 OF PLATS, PAGE 20, RECORDS OF KING COUNTY, WASHINGTON.

for and in valuable consideration hereby grant and convey to Grantee, City of Mercer Island, its successors and assigns, a public and private storm drain and sanitary sewer easement over, under, upon and across the above described property as follows:

The east 25.00 feet of Lot 8, Block 1, in the Plat of Timberland as recorded in Volume 52 of Plats, page 20, Records of King County, Washington, measured perpendicular to the east property line.

Said easement being for the purpose of installing, constructing, maintaining, operating, repairing and replacing public and private sanitary sewer and storm drainage facilities and all necessary connections and appurtenances thereto, together with the right of ingress and egress to, from and across said described property for the foregoing purposes, provided that in the original installation of such utilities and appurtenances the Grantees shall immediately after such installation restore said premises to their original condition as near as may be.

DATED this 19th day of August, 1988

Carolyn C. Blackstock
Carolyn C. Blackstock

STATE OF WASHINGTON)
) ss
COUNTY OF KING)

On this 19th day of August, 1988, personally appeared before me Carolyn C. Blackstock, to me known to be the individual(s) described in and who executed the foregoing instrument, and acknowledged that they signed and sealed the same as their free and voluntary act and deed for the uses and purposes therein mentioned.

Given under my hand and official seal the day and year last above written.

BEVERLEE MARSOLEK
NOTARY PUBLIC
STATE OF WASHINGTON

Beverlee Marsolek
Notary Public in and for the State of Washington, residing at Mercer Island.

RECORDED AT REQUEST OF:
Mercer Island City Clerk
3505 88th Avenue S.E.
P.O. Box 1440
Mercer Island, Washington 98040-1440

8809140722

DATED this 19th day of August, 1988.

Carolyn C. Blackstock
Property Owner

Property Owner

STATE OF WASHINGTON)
) ss
COUNTY OF KING)

On this 19th day of Aug, 1988, before me personally appeared CAROLYN C. BLACKSTOCK and to me known to be the individuals described in and who executed the foregoing instrument and acknowledged that they signed and sealed the same as their free and voluntary act and deed for the uses and purposes therein mentioned.

Given under my hand and official seal the day and year last above written.

BEVERLEE MARSOLEK
NOTARY PUBLIC
STATE OF WASHINGTON

Beverlee Marsolek
Notary Public in and for the State of Washington, residing at Mercer Island.

My Commission expires 2-20-89.

RECEIVED
SEP 14 2 19 PM '88
RECORDS & ELECTIONS
KING COUNTY, WA

Ned Nelson, Architect
11773 Sunrise Drive NE,
Bainbridge Island, WA 98110
telephone: 425.444.6782
email: nednelson@msn.com

NED R. NELSON, JR.
STATE OF WASHINGTON

HEADRICK RESIDENCE
8822 S.E. 62ND STREET,
MERCER ISLAND, WA. 98040

REVISIONS:

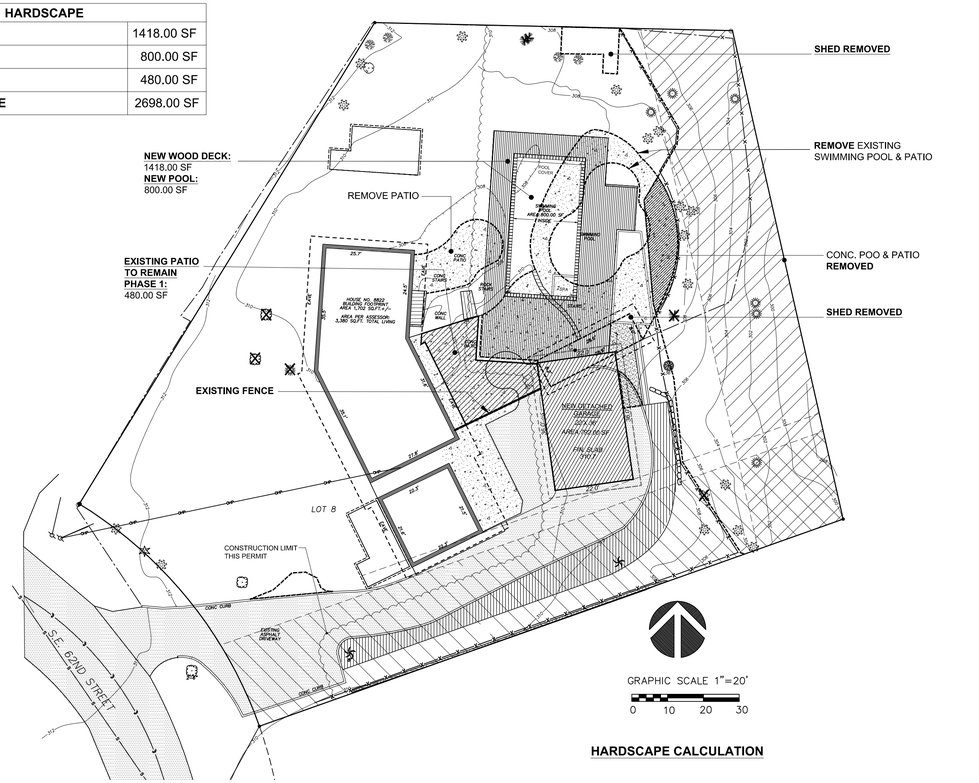
Mark	Date

DATE: 05/20/20

EASEMENTS

SHEET:
A2.1

HARDSCAPE	
Wood Deck	1418.00 SF
Pool	800.00 SF
Patio to Remain	480.00 SF
TOTAL HARDSCAPE	2698.00 SF

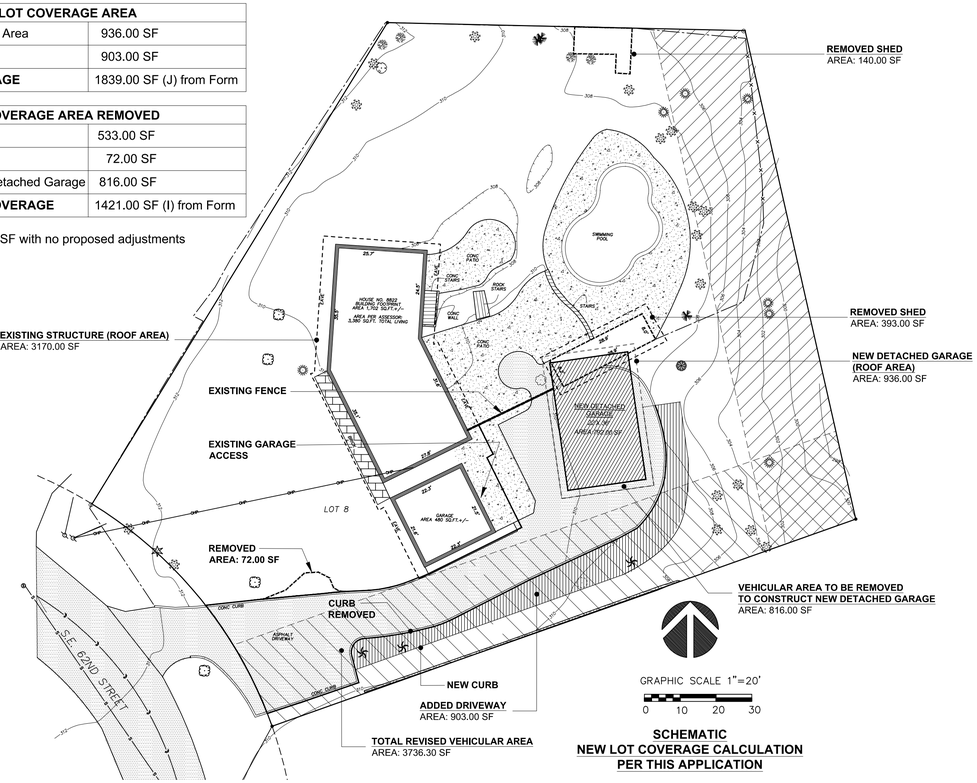


HARDSCAPE CALCULATION

TOTAL NEW LOT COVERAGE AREA	
New Detached Garage Roof Area	936.00 SF
Added Driveway Extension	903.00 SF
TOTAL NEW LOT COVERAGE	1839.00 SF (J) from Form

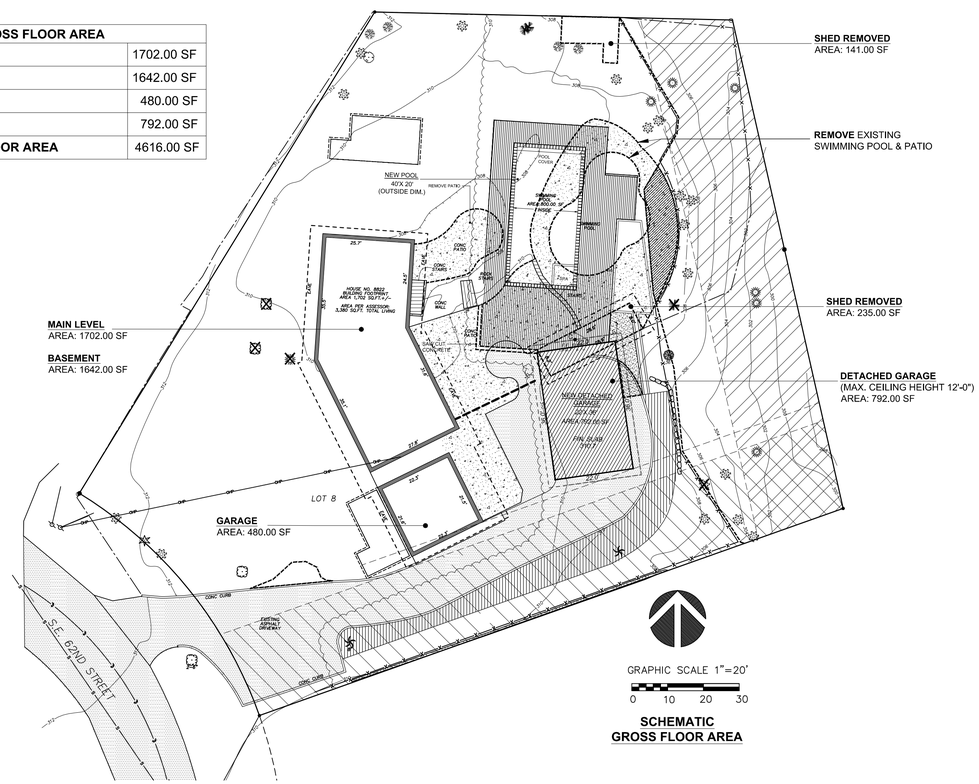
TOTAL LOT COVERAGE AREA REMOVED	
Exist. Shed Roof Area	533.00 SF
Paved Area at Entry	72.00 SF
Removed Paving for New Detached Garage	816.00 SF
TOTAL REMOVED LOT COVERAGE	1421.00 SF (I) from Form

NOTE: (H) - (I) + (J) = 7867 SF with no proposed adjustments



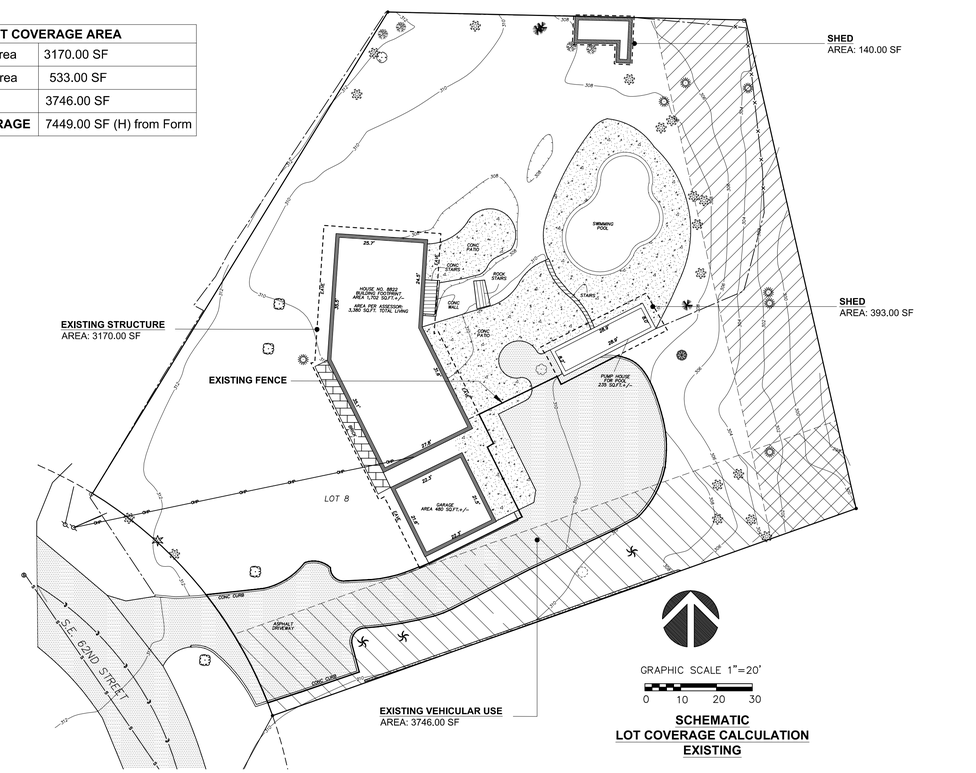
SCHEMATIC
NEW LOT COVERAGE CALCULATION
PER THIS APPLICATION

GROSS FLOOR AREA	
Main Level	1702.00 SF
Basement	1642.00 SF
Garage	480.00 SF
Detached Garage	792.00 SF
TOTAL GROSS FLOOR AREA	4616.00 SF



SCHEMATIC
GROSS FLOOR AREA

EXISTING LOT COVERAGE AREA	
Exist. Main Structure Roof Area	3170.00 SF
Exist. Accessory Structure Area	533.00 SF
Exist. Vehicular Use Area	3746.00 SF
TOTAL EXIST. LOT COVERAGE	7449.00 SF (H) from Form



SCHEMATIC
LOT COVERAGE CALCULATION
EXISTING

Ned Nelson, Architect
11773 Sunrise Drive NE,
Bainbridge Island, WA 98110
telephone: 425.444.6782
email: nednelson@msn.com

NED NELSON, JR.
STATE OF WASHINGTON
21787
REGISTERED ARCHITECT

HEADRICK RESIDENCE
8822 S.E. 62ND STREET,
MERCER ISLAND, WA. 98040

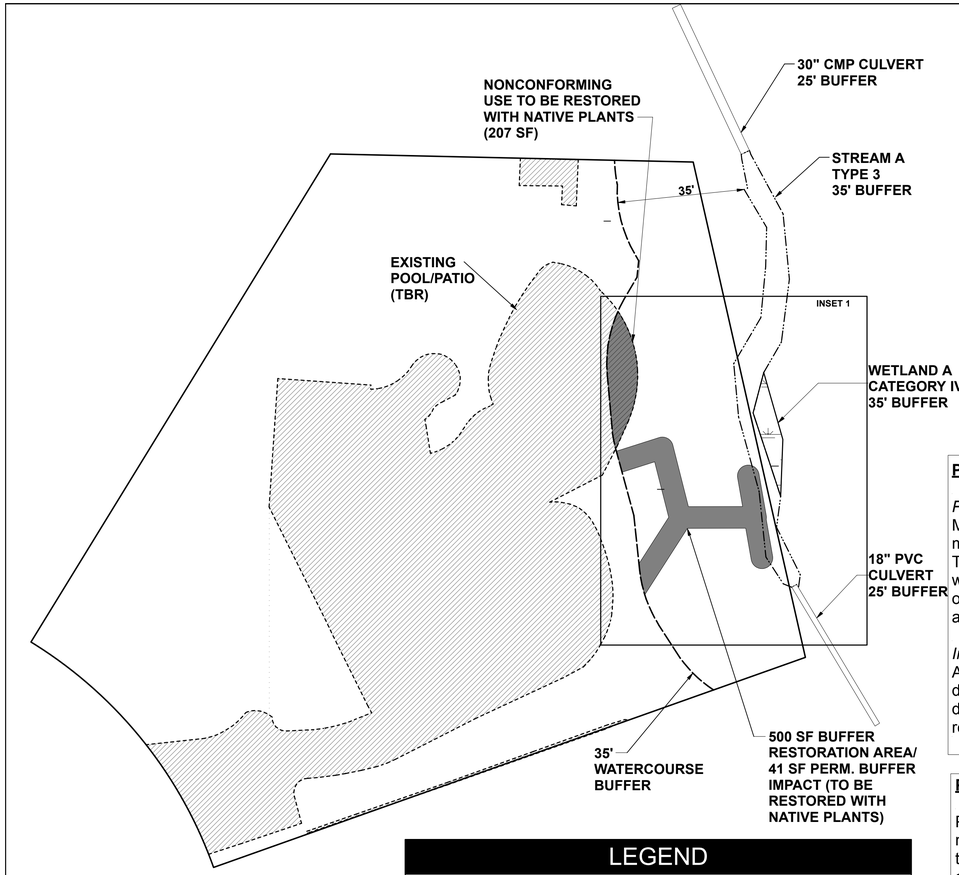
REVISIONS:

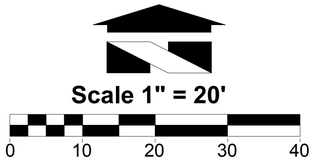
Mark	Date

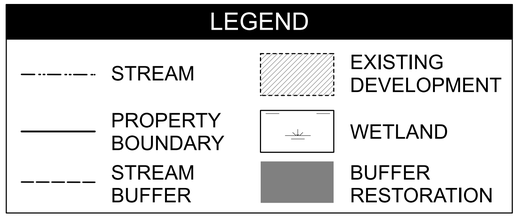
DATE: 05/20/20

AREA SUMMARY
LOT COVERAGE
GROSS FLOOR AREA
HARDSCAPE

SHEET:
A2.2







SITE DESCRIPTION

The site is located at 8822 SE 62nd St., within the city limits of Mercer Island, Washington. The site is comprised of one tax parcel, 8650500040, and is located within a portion of Section 19, Township 24N, Range 5E, W.M.

Regulated features located within the subject property include a Type 3 watercourse, two piped watercourses, and one very small (123 square feet) Category IV wetland along the east property line. An additional City-mapped watercourse that is shown in the vicinity of the existing house was determined to be absent based on physical inspection.

Piped watercourses require 25-foot protective buffers. Wetland A and the open channel portion of Stream A require 35-foot protective buffers. No other watercourses, wetlands, or wildlife habitat conservation areas are known to occur on or in the vicinity of the project. Geologic hazards are beyond the scope of this report.

PROJECT DESCRIPTION

The applicant proposes to construct a new detached garage, to reconfigure an existing pool and patio, and to expand an existing driveway within the subject property. Several existing structures will be removed, including all structures located in the 35-foot protective buffer associated with Stream A/Wetland A. New impacts to the 35-foot buffer associated with Stream A are necessary to construct a stormwater conveyance system.

CRITICAL AREA IMPACTS AND MITIGATION

The proposed redevelopment will mostly occur outside of regulated critical areas and associated buffers. This project will create 41 square feet of new permanent buffer impact, and will remove 207 square feet of existing permanent buffer impacts. Temporary buffer impacts will occur in an area consisting exclusively of undesirable non-native vegetation. In exchange for allowing project impacts, the applicant proposes to restore 207 square feet of nonconforming pool/patio, and to remove 500 square feet of invasive species and provide replacement with native trees and shrubs. Total mitigation includes 707 square feet of buffer enhancement.

BUFFER RESTORATION PLAN

Based on the applicant's survey, 207 square feet of an existing pool and patio are located within the 35-foot buffer associated with Stream A/Wetland A. A proposed stormwater conveyance will create 41 square feet of permanent buffer impact, and less than 500 square feet of temporary impact (related to construction). The applicant's proposed development will remove the non-conforming pool and patio area, which will be restored and planted with native trees and shrubs. The applicant also proposes to restore 500 square feet of invasive vegetation in the vicinity of stormwater structures located in the buffer.

PROJECT NOTES

Preconstruction Meeting
Mitigation projects are typically more complex to install than to describe in plans. Careful monitoring by a wetland professional for all portions of this project is strongly recommended. There will be a pre-construction meeting on this site between the Permittee, the consulting wetland professional, and the contracted landscaper. The objective will be to verify the location of mitigation planting areas, to assess the adequacy of decompaction/amendment measures, and to describe the extent of aggressive control of invasive species prior to planting.

Inspections
A wetland professional shall be contracted to periodically inspect the mitigation installation described in this plan. Minor adjustments to the original design may be necessary prior to and during construction due to unusual or hidden site conditions. A City of Mercer Island representative and/or the consulting professional will make these decisions during construction.

PLANTING NOTES

Planting shall occur in the early spring or late fall. All plants shall be obtained from a reputable nursery. Care and handling of all plant materials is extremely important to the overall success of the project. The origin of all plant materials specified in this plan shall be native plants, nursery grown in the Puget Sound region of Washington. Some limited species substitution may be allowed, only with the agreement of the landscape designer, wetland biologist, and/or City staff.

Compost/Cultivation
During the pre-construction meeting, the condition of the soils in the restoration area will be evaluated. If soils appear extremely compacted or of poor quality, a plan for cultivating and/or adding compost will be created. If compost is deemed necessary, all areas denuded of vegetation and soil surface surrounding all planting pit areas shall receive no less than 2 inches of organic compost after planting. Compost shall be kept well away (at least 2 inches) from the trunks and stems of woody plants.

Handling
Plants shall be handled so as to avoid all damage, including: breaking, bruising, root damage, sunburn, drying, freezing or other injury. Plants must be covered during transport. Plants shall not be bound with wire or rope in a manner that could damage branches. Protect plant roots with shade and wet soil in the time period between delivery and installation. Do not lift container stock by trunks, stems, or tops. Do not remove from containers until ready to plant. Water all plants as necessary to keep moisture levels appropriate to the species horticultural requirements. Plants shall not be allowed to dry out. All plants shall be watered thoroughly immediately upon installation. Soak all containerized plants thoroughly prior to installation. Plants whose roots have dried out from exposure will not be accepted at installation inspection.

Storage
Plants stored by the Permittee for longer than one month prior to planting shall be planted in nursery rows and treated in a manner suitable to those species' horticultural requirements. Plants must be re-inspected by the wetland biologist and/or landscape designer prior to installation.

Damaged plants
Damaged, dried out, or otherwise mishandled plants will be rejected at installation inspection. All rejected plants shall be immediately removed from the site.

Plant Names
Plant names shall comply with those generally accepted in the native plant nursery trade. Any question regarding plant species or variety shall be referred to the landscape designer, wetland professional, or City staff. All plant materials shall be true to species and variety and legibly tagged.

Quality and condition
Plants shall be normal in pattern of growth, healthy, well-branched, vigorous, with well-developed root systems, and free of pests and diseases. Damaged, diseased, pest-infested, scraped, bruised, dried out, burned, broken, or defective plants will be rejected. Plants with pruning wounds over 1" in diameter will be rejected.

Roots
All plants shall be balled and burlapped or containerized, unless explicitly authorized by the landscape designer and/or wetland professional. Rootbound plants or B&B plants with damaged, cracked, or loose rootballs (major damage) will be rejected. Immediately before installation, plants with minor root damage (some broken and / or twisted roots) must be root-pruned. Matted or circling roots of containerized plantings must be pruned or straightened and the sides of the root ball must be roughened from top to bottom to a depth of approximately half an inch in two to four places. Bare root plantings of woody material are allowed only with permission from the landscape designer, wetland professional and/or City staff.

Sizes
Plant sizes shall be the size indicated in the plant schedule in approved plans. Larger stock may be acceptable provided that it has not been cut back to the size specified, and that the root ball is proportionate to the size of the plant. . Measurements, caliper, branching, and balling and burlapping shall conform to the American Standard of Nursery Stock by the American Association of Nurserymen (latest edition).

Form
Evergreen trees shall have single trunks and symmetrical, well-developed form. Deciduous trees shall be single trunked unless specified as multi-stem in the plant schedule. Shrubs shall have multiple stems and be well-branched.

Timing of Planting
Unless otherwise approved by City staff, all planting shall occur between November 1 and March 1. Overall, the earlier plants go into the ground during the dormant period, the more time they have to adapt to the site and extend their root systems before the water demands of spring and summer.

Weeding
Existing and exotic vegetation in the mitigation areas will be hand-weeded from around all newly installed plants at the time of installation and on a routine basis throughout the monitoring period. No chemical control of vegetation on any portion of the site is recommended.

Site conditions
The contractor shall immediately notify the landscape designer and/or wetland professional of drainage or soil conditions likely to be detrimental to the growth or survival of plants. Planting operations shall not be conducted under the following conditions: freezing weather, when the ground is frozen, excessively wet weather, excessively windy weather, or in excessive heat.

Planting Pits
Planting pits shall be circular or square with vertical sides, and shall be 6" deeper and 12" larger in diameter than the root ball of the plant. Break up the sides of the pit in compacted soils. Set plants upright in pits. Burlap shall be removed from the planting pit. Backfill shall be worked back into holes such that air pockets are removed without adversely compacting down soils.

Fertilizer
Slow release fertilizer may be used if pre-approved by City staff. Fertilizers shall be applied only at the base of plantings underneath the required covering of mulch (and shall not make contact with stems of plants). No soil amendment or fertilizers will be placed in planting holes.

Staking
Most shrubs and many trees DO NOT require any staking. If the plant can stand alone without staking in a moderate wind, do not use a stake. If the plant needs support, then strapping or webbing should be used as low as possible on the trunk to loosely brace the tree with two stakes. Do not brace the tree tightly or too high on the trunk. If the tree is unable to sway, it will further lose the ability to support itself. Do not use wire in a rubber hose for strapping as it exerts too much pressure on the bark. As soon as supporting the plant becomes unnecessary, remove the stakes. All stakes must be removed within two (2) years of installation.

Plant Location
Colored surveyors ribbon or other appropriate marking shall be attached to the installed plants to assist in locating the plants while removing the competing non-native vegetation and during the monitoring period.

Arrangement and Spacing
The plants shall be arranged in a pattern with the appropriate numbers, sizes, species, and distribution that are required in accordance with the approved plans. The actual placement of individual plants shall mimic natural, asymmetric vegetation patterns found on similar undisturbed sites in the area. Spacing of the plantings may be adjusted to maintain existing vegetation with the agreement of the landscape designer, wetland biologist, and/or City staff.

Inspection(s)
A wetland biologist shall be present on site to inspect the plants prior to planting. Minor adjustments to the original design may be required prior to and during construction.

Woodchip Mulch
After buffer restoration plant installation, two to four inches of woodchip mulch shall be placed throughout the restoration area. Woodchips shall be kept at least 2 inches from the trunks and stems of woody plants.

WRI JOB #18303

SCALE 1" = 20'

Drawn By: AI

DATE: March 6, 2020

WETLAND RESOURCES, INC
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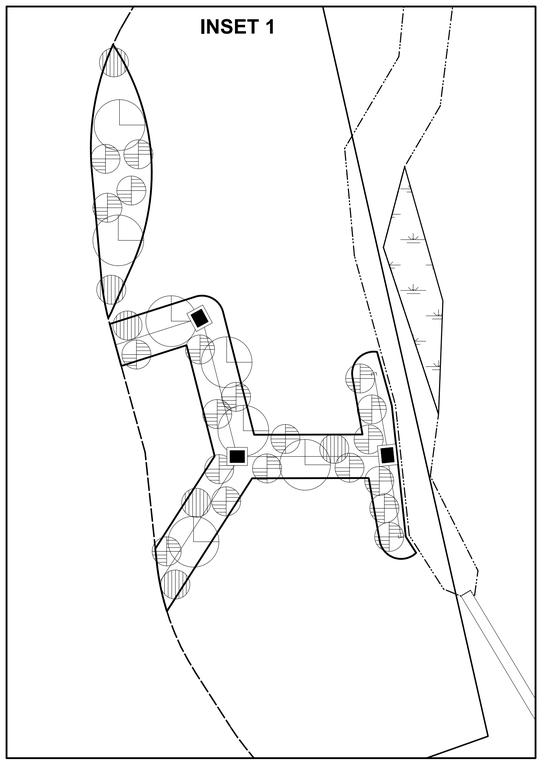
PREPARED FOR:
Greg and Jennifer Headrick
8822 SE 62nd St
Mercer Island, WA 98040

FINAL MITIGATION PLAN
HEADRICK
MERCER ISLAND, WASHINGTON



PLANT LEGEND

- WESTERN RED CEDAR
- SALMONBERRY
- VINE MAPLE

Inset Scale 1" = 10'

0 5 10 15 20

Common Name	Latin Name	Size	Spacing	Qty.
Western red cedar	*Thuja plicata*	1 gallon	10’	7
Salmonberry	*Rubus spectabilis*	1 gallon	5’	20
Vine maple	*Acer circinatum*	1 gallon	5’	6

BUFFER RESTORATION PLANTING PLAN

The applicant proposes to restore 207 square feet of an existing patio that is located in the 35-foot buffer associated with Stream A/Wetland A, and 500 square feet surrounding a proposed stormwater conveyance system. Following the removal of concrete from the restoration area, underlying soils will be decompacted as necessary (to no less than one foot below existing native soils). Soil amendments shall consist of three inches of premium topsoil (with at least 15 percent organic content) tilled into the top twelve inches of existing soil. Mulch shall be placed throughout the restoration area, but away from the stems of woody plants. Additional soil preparation measures may be necessary, based on recommendations by the contracted biologist.

Aggressive control of invasive species located in the 500 square-foot restoration area shall occur prior to planting. Guidelines described by the King County Noxious Weed Control Board shall be implemented prior to planting, and throughout the monitoring period. The following plant species and quantities shall be installed within the restoration area.

Buffer Restoration Planting Plan (707 square feet)

Common Name	Latin Name	Size	Spacing	Qty.
Western red cedar	*Thuja plicata*	1 gallon	10’	7
Salmonberry	*Rubus spectabilis*	1 gallon	5’	20
Vine maple	*Acer circinatum*	1 gallon	5’	6

PROJECT MONITORING PROGRAM

Requirements for monitoring project:
1. Initial compliance/as-built report
2. Site inspection (twice per year for years one and two, and once per year until year 5)
3. Annual reports (one report submitted during each monitored year)

Purpose for Monitoring
The purpose for monitoring this mitigation project shall be to evaluate its success. Success will be determined if monitoring shows at the end of five years that the definitions of success stated below are met. The property owner shall grant access to the mitigation area for inspection and maintenance to the contracted landscaper, wetland specialist, and/or City of Mercer Island staff during the monitoring period or until the project is evaluated as successful.

Monitoring
Monitoring shall be conducted annually for five years in accordance with the approved Restoration Plan. The monitoring period will begin upon City acceptance of written notification confirming the mitigation plan has been successfully implemented. Final inspection will occur five years after completion of this project. The contracted consultant will prepare a final report documenting the success of the project.

Vegetation Monitoring
Due to the small physical size of the restoration area, monitoring will occur based on a hand count of installed species. Monitoring of vegetation sampling points shall occur once per year for five years. Semi-annual inspections will be primarily useful for making maintenance recommendations that will ensure long-term success.

Photo points
No less than two permanent photo points will be established within the mitigation areas. Photographs will be taken from these points to visually record condition of the restoration area. Photos shall be taken annually between May 15 and September 30 (prior to leaf drop), unless otherwise specified.

Monitoring Report Contents
Monitoring reports shall be submitted by December 31 of each year during the monitoring period. As applicable, monitoring reports must include descriptions / data for:

1. Site plan and vicinity map
2. Historic description of project, including date of installation, current year of monitoring, restatement of mitigation / restoration goals, and performance standards
3. Plant survival, and explanation of monitoring methodology in the context of assessing performance standards
4. Slope condition, site stability, any structures or special features
5. Stream and buffer conditions, e.g., surrounding land use, use by humans, and/or wild and domestic creatures
6. Observed wildlife, including amphibians, avian species, and others
7. Assessment of nuisance / exotic biota and recommendations for management
8. Color photographs taken from permanent photo-points that shall be depicted on the monitoring report map

CONTINGENCY PLAN

If 20% of the installed plants are severely stressed during any of the inspections, or it appears 20% may not survive, additional plantings of the same species may be added to the planting area. Elements of a contingency plan may include, but will not be limited to: more aggressive weed control, pest control, mulching, replanting with larger plant material, species substitution, fertilization, soil amendments, and/or irrigation.

MAINTENANCE

The mitigation areas will require periodic maintenance to remove aggressive non-native species and replace vegetation mortality. Maintenance shall occur in accordance with the approved plans. Maintenance may include, but will not be limited to: removal of competing grasses (by hand), irrigation, fertilization (only if necessary), replacement of plant mortality, and the replacement of mulch for each maintenance period. Chemical control, only if approved by City staff, shall be applied by a licensed applicator following all label instructions.

Duration and Extent
In order to achieve performance standards, the permittee shall have the mitigation area maintained for the duration of the five-year monitoring period. Maintenance will include: watering, weeding around the base of installed plants, pruning, replacement, re-staking, removal of all classes of noxious weeds (see Washington State Noxious Weeds List, WAC 16-750-005) as well as Himalayan blackberry, and any other measures needed to ensure plant survival. The landscape designer and/or wetland biologist shall direct all maintenance actions.

Survival
The permittee shall be responsible for the health of 100% of all installed woody plants, and 80% of herbaceous plants, for five growing seasons after successful installation. A growing season for these purposes is defined as occurring from spring to spring (March 15 to March 15 of the following year). For fall installation (often required), the growing season will begin the following spring. The permittee shall replace any plants that are failing, weak, defective in manner of growth, or dead during this growing season, as directed by the landscape designer, wetland biologist, and/or City of Mercer Island staff.

Installation Timing for Replacement Plants
Replacement plants shall be installed between September 15 and January 15, unless otherwise determined by the landscape designer, wetland professional, and/or City of Mercer Island staff.

Standards for Replacement Plants
Replacement plants shall meet the same standards for size and type as those specified for the original installation, unless otherwise directed by the landscape designer, wetland professional, and/or City of Mercer Island staff.

Replanting
Plants that have settled in their planting pits too deep, too shallow, loose, or crooked shall be replanted as directed by the landscape designer, wetland professional, and/or City of Mercer Island staff.

Herbicides / Pesticides
Chemical controls shall not be used in the mitigation area, sensitive areas, or their buffers. However, limited use of herbicides may be approved depending on site-specific conditions, only if approved by City of Mercer Island staff.

Irrigation / Watering
Water should be provided during the dry season (July 1 through October 15) for the first two years after installation to ensure plant survival and establishment. A temporary above ground irrigation system should provide water. Water should be applied at a rate of 1” of water twice per week for year one and 1” per week during year two.

GOALS, OBJECTIVES and PERFORMANCE STANDARDS

The overall goal of this restoration plan is to restore ecological functions within the buffer associated with Wetland A/Stream A. Specific goals, objectives, and performance standards include the following:

Goal 1
Modestly improve forage opportunities in the riparian corridor.

Objective 1a: Maintain diverse native species that can provide forage for terrestrial mammals and passerine birds.

Performance Standard 1a1: The restoration area shall contain at least three different native species (including native pioneer species) during each monitoring year.

Objective 1b: Control aggressive non-native species.

Performance Standard 1b1: Aggressive non-native species (i.e. Himalayan blackberry, English ivy, English holly, ornamental laurel, and yellow archangel) shall constitute less than 15 percent areal cover in the restoration area for all monitoring years.

Goal 2
Improve vegetative screening between proposed development and Stream A/Wetland A.

Objective 1a: Create soil conditions that can support successional development/screening goals within the restoration area.

Performance Standard 1a1: Prior to planting, concrete shall be removed from the restoration area. Soils shall be decompacted to at least twelve inches below existing native soils, and at least three inches of mulch shall be incorporated into the decompacted area.

Objective 1b: Install species that can improve screening in the shrub, sub-canopy, and canopy layers.

Performance Standard 1b1: Installed and native pioneer species in the restoration area shall constitute 70 percent areal cover in year five.

Performance Standard 1b2: There shall be 100 percent survival of all installed woody species in the restoration area in each monitored year.

WRI JOB #18303

SCALE 1" = 10'

Drawn By: AI

DATE: March 6, 2020

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PREPARED FOR:
Greg and Jennifer Headrick
8822 SE 62nd St
Mercer Island, WA 98040

FINAL MITIGATION PLAN
HEADRICK
MERCER ISLAND, WASHINGTON

SHEAR WALL SCHEDULE

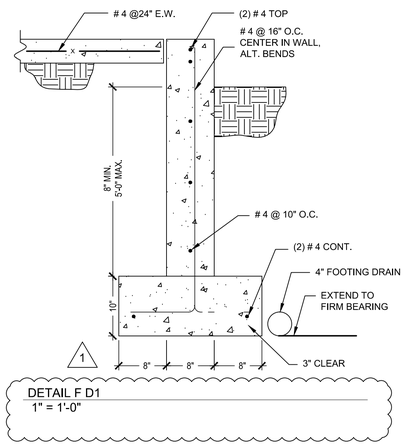
(SEE ANSI / AWC SDPWS-2015 Table 4.3A & Section 4.3.3)

All shear walls to be sheathed from top plate to bottom plate. Block all panel edges.
Nail spacing is for all panel edges. Space nails @ 12" o.c. along intermediate framing members.

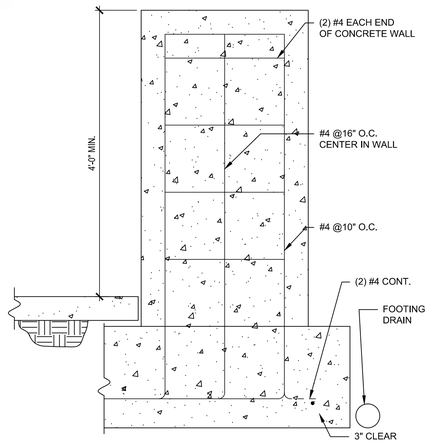
SW-6	**v = 350 plf**	7/16" OSB, w/ 8d (0.131" Ø) common nails @ 6" o.c. Anchorage (interior walls only) to SINGLE joist or blkg below: 16d (box) @ 4" o.c.

The shear values above are based upon the use of 8d common nails with a full head, a shank diameter of 0.131", and a minimum penetration of 1.375". From Table 4.3A use 15/32; 8d values with a 0.93 reduction for Hem-Fir & 1.4 increase for wind.

NOTE: 1/2" CD EXT. PLYWOOD ALTERNATE TO OSB.



1 DETAIL F D1
1" = 1'-0"



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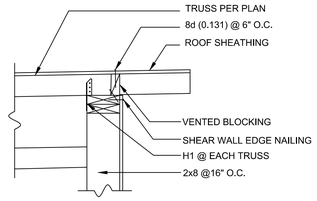

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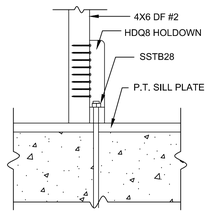

1 DETAIL C
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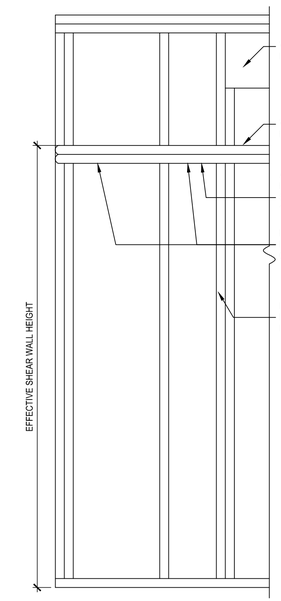

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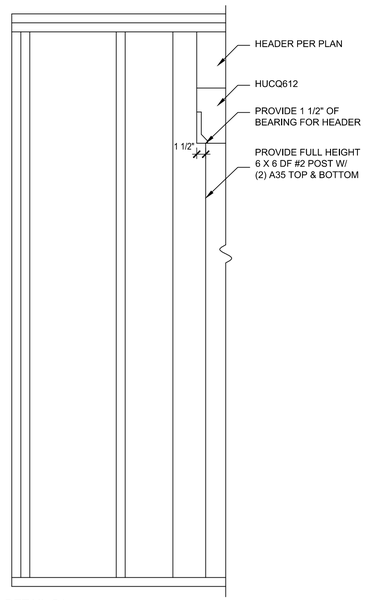

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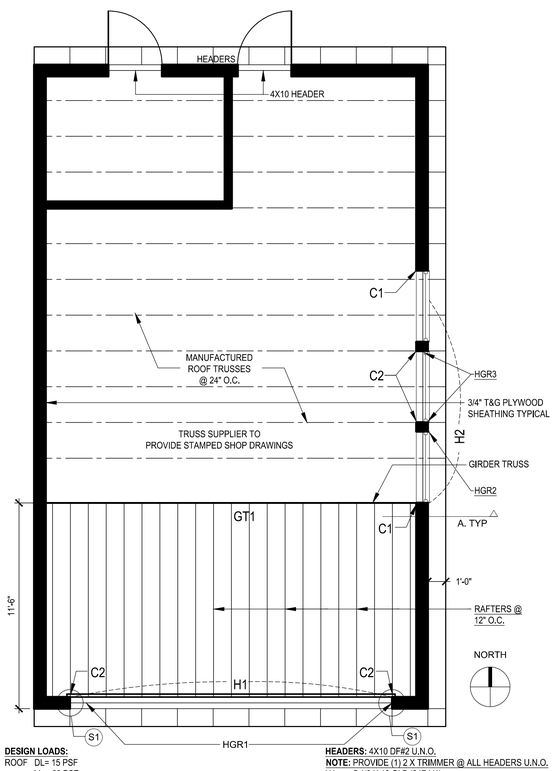


GARAGE / ROOF FRAMING PLAN
1/4" = 1'-0"

DESIGN LOADS:
ROOF DL= 15 PSF
LL= 60 PSF

ENGINEERED TRUSSES BY TRUSS MANUFACTURER
NOTE: PROVIDE (2) 2 x POST @ ALL HIP MASTERS & GIRDER TRUSSES U.N.O.

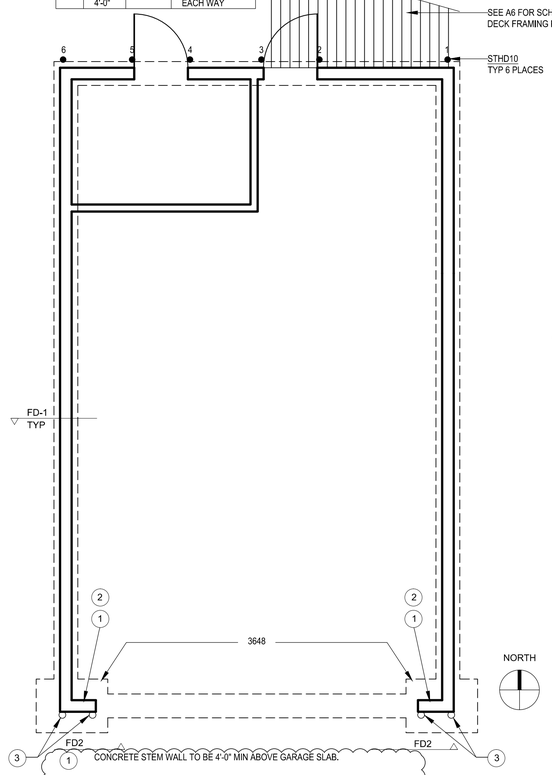
RAFTERS: 1 3/4 X 7 1/4 LVL @12" O.C.
NOTE: PROVIDE HU7 HANGERS @ ALL FLUSH FRAMED ENDS

HEADERS: 4X10 DF#2 U.N.O.
NOTE: PROVIDE (1) 2 X TRIMMER @ ALL HEADERS U.N.O.
H1: 5 1/8 X 18 GLB (24F-V4)
H2: 5 1/8 X 9 GLB (24F-V4)

COLUMNS:
C1: 2 X 6 HF #2 TRIMMER W/ (2) 2 X 6 KING
C2: 6 X 6 DF #2 KING

HANGERS:
HGR1: HUCQ612
HGR2: HUCQ610
HGR3: HUC410

SPREAD FOOTING SCHEDULE			
#	WIDTH	DEPTH	REINFORCEMENT
3648	3'-0" x 4'-0"	14"	#4 @12" O.C. EACH WAY

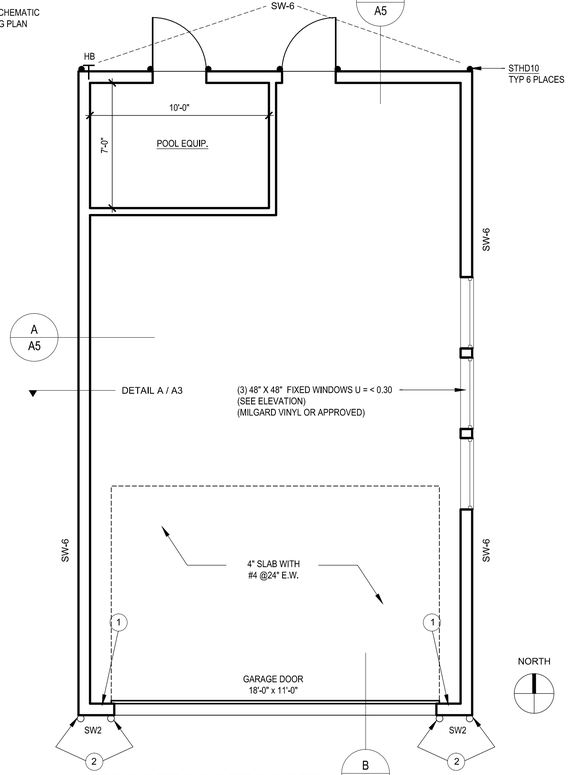


1. CONCRETE STEM WALL TO BE 4'-0" MIN ABOVE GARAGE SLAB.
2. 3" X 3" X 1/4" PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF SHEATHING.
3. SSTB28 FOR HDQ8 ABOVE, SEE DETAIL C

NOTE: USE 5/8" Ø ANCHOR BOLTS W/3" X 3" X 1/4" WASHERS @5'-0" O.C. U.N.O.

1

GARAGE / FOUNDATION PLAN
1/4" = 1'-0"

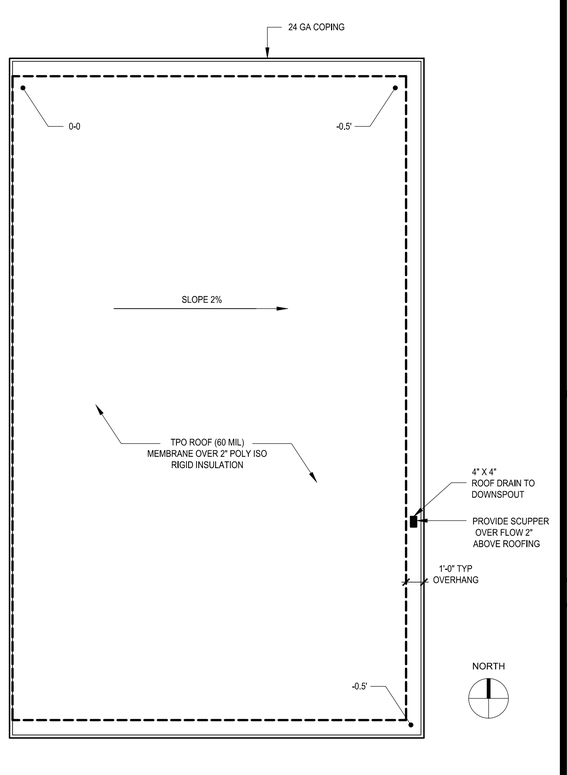


1. ADD CS16 BLOCKNG TO DOOR HEADER. SEE DETAIL B
2. HDQ8, SEE DETAIL C

NOTE: ALL EXTERIOR WALLS TO BE SW-6 U.N.O.

1

GARAGE / FLOOR PLAN - SHEAR WALLS
1/4" = 1'-0"



GARAGE / ROOF PLAN
1/4" = 1'-0"

Ned Nelson, Architect
11773 Sunrise Drive NE,
Bainbridge Island, WA 98110
telephone: 425.444.6782
email: nednelson@msn.com

REGISTERED ARCHITECT NED H. NELSON STATE OF WASHINGTON 2015

HEADRICK RESIDENCE
8822 S.E. 62ND STREET,
MERCER ISLAND, WA. 98040

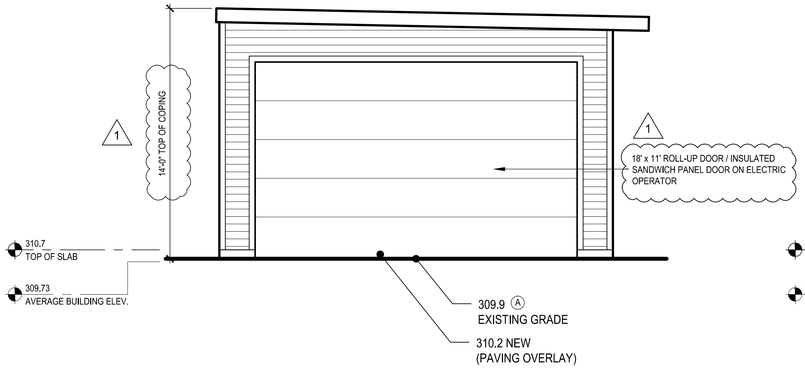
REVISIONS:

Mark	Date
1	05-20-20

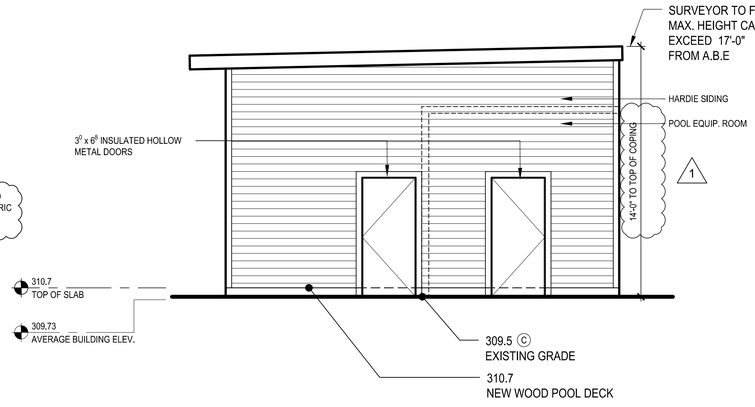
DATE: 05/20/20

GARAGE FLOOR PLAN
FOUNDATION PLAN
ROOF FRAMING PLAN
DETAILS

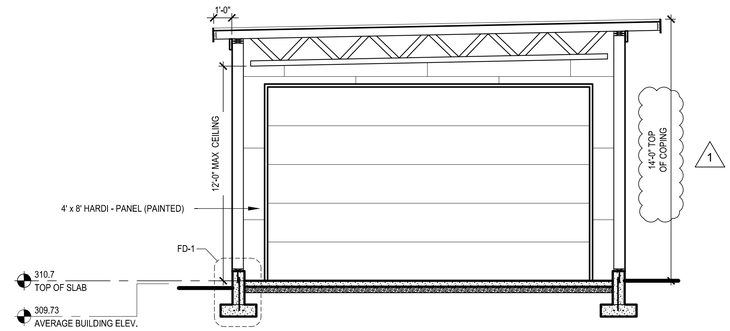
SHEET:
A3



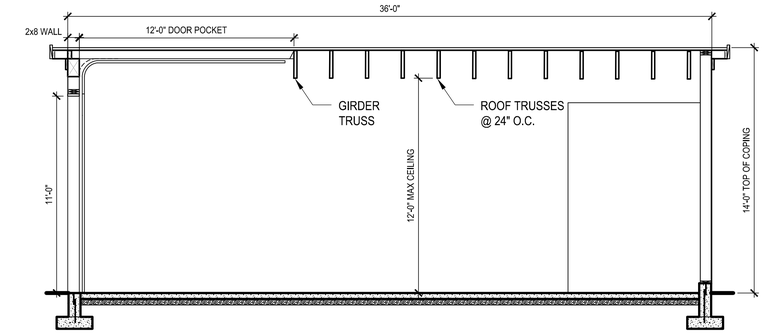
SOUTH ELEVATION
1/4" = 1'-0"



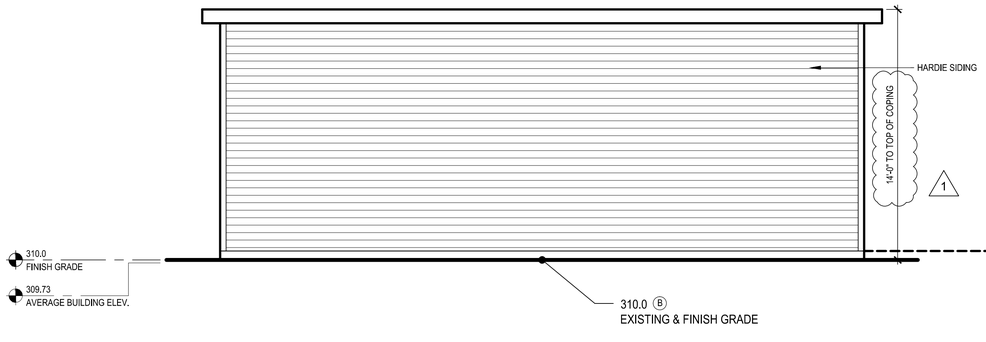
NORTH ELEVATION
1/4" = 1'-0"



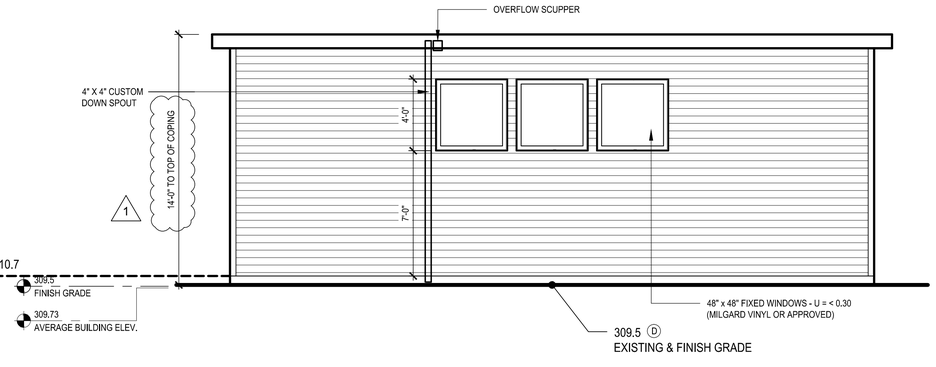
NORTH SECTION
1/4" = 1'-0"



1 EAST SECTION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

Ned Nelson, Architect
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email: nednelson@msn.com

HEADRICK RESIDENCE
8822 S.E. 62ND STREET,
MERCER ISLAND, WA. 98040

REVISIONS:

Mark	Date
1	05-20-20

DATE: 05/20/20

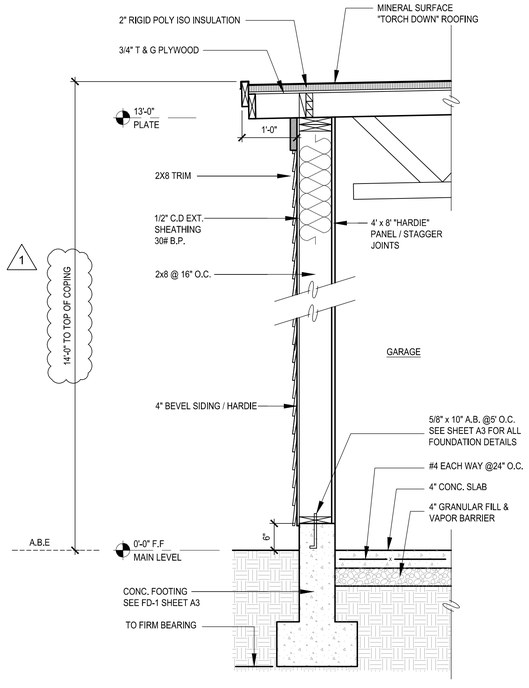
ELEVATIONS
SECTION

SHEET:
A4

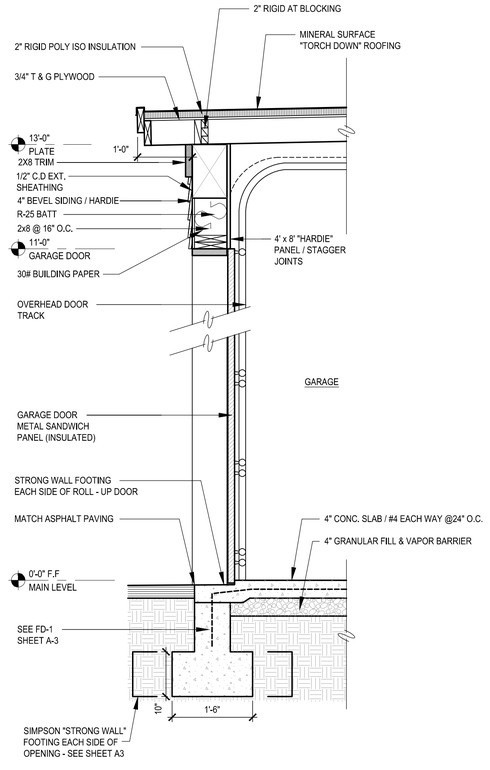
1

NOTE: SOIL BEARING CONFIRMATION FOR GARAGE FOOTINGS AND POOL FOOTINGS

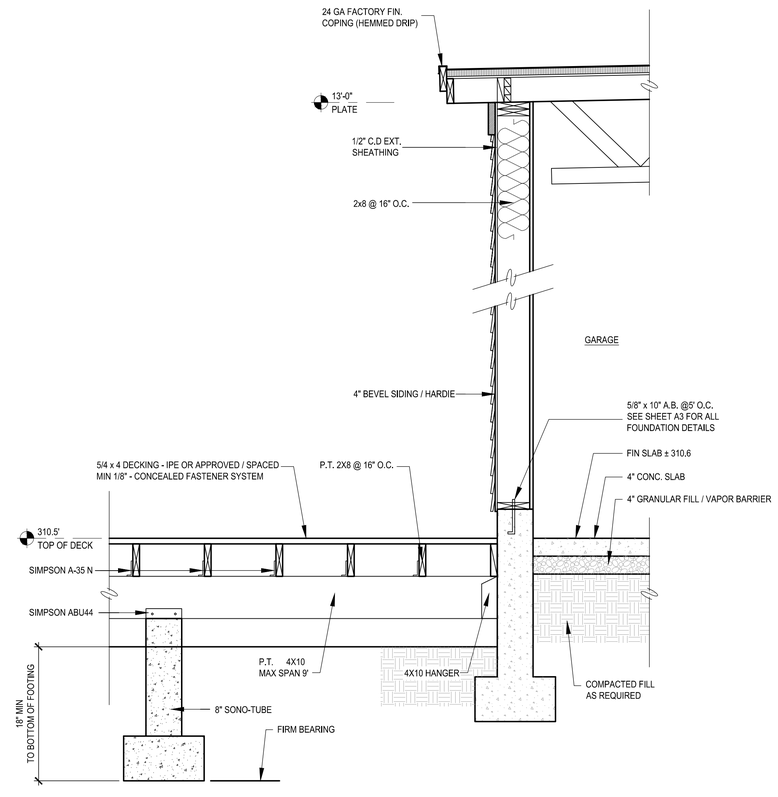
BEARING TO BE CONFIRMED BY GEOTECHNICAL ENGINEER DURING EXCAVATION AND PRIOR TO ANY PLACEMENT OF REINFORCING STEEL / FOUNDATION BOARDS.



WALL SECTION A
3/4" = 1'-0"



WALL SECTION B
3/4" = 1'-0"



WALL SECTION C
3/4" = 1'-0"

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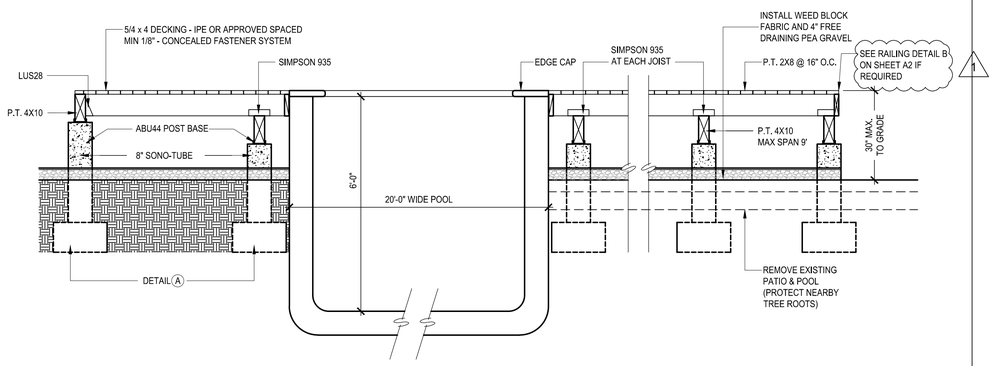
Mark	Date
1	05-20-20

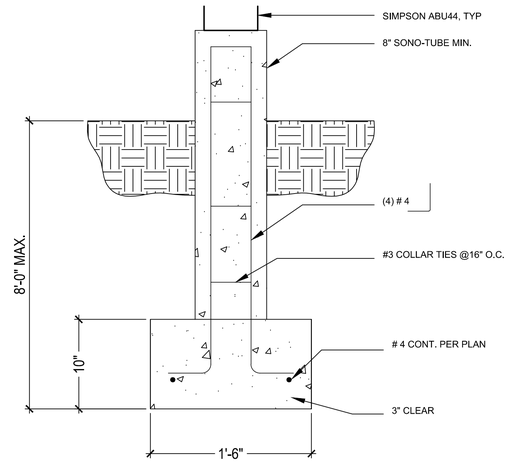
DATE: 05/20/20

GARAGE
WALL SECTIONS

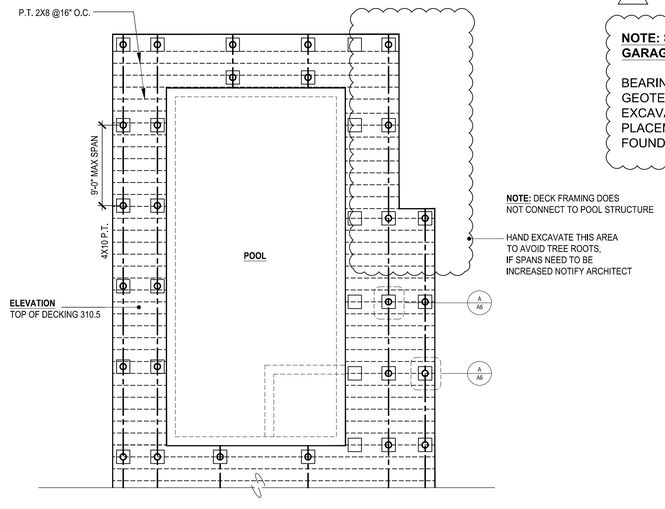
SHEET:
A5



POOL / WOOD DECK SECTION
1/2" = 1'-0"



A TYPICAL SONO-TUBE TO SPREAD FOOTING CONNECTION DETAIL
1 1/2" = 1'-0"

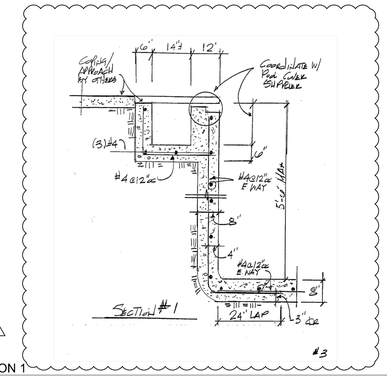


SCHEMATIC FRAMING PLAN FOR DECKING
1/8" = 1'-0"

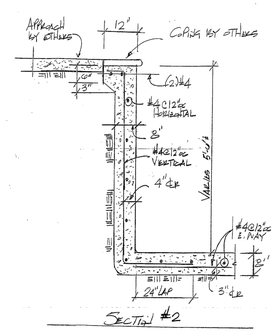
1

NOTE: SOIL BEARING CONFIRMATION FOR GARAGE FOOTINGS AND POOL FOOTINGS

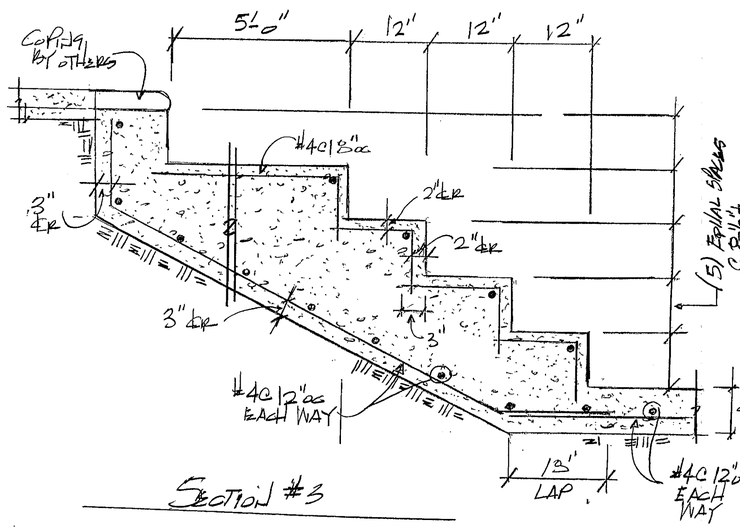
BEARING TO BE CONFIRMED BY GEOTECHNICAL ENGINEER DURING EXCAVATION AND PRIOR TO ANY PLACEMENT OF REINFORCING STEEL / FOUNDATION BOARDS.



1
SECTION 1
1/2" = 1'-0"



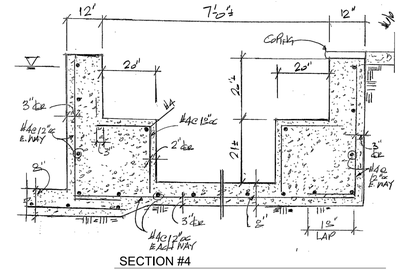
SECTION #2
1/2" = 1'-0"



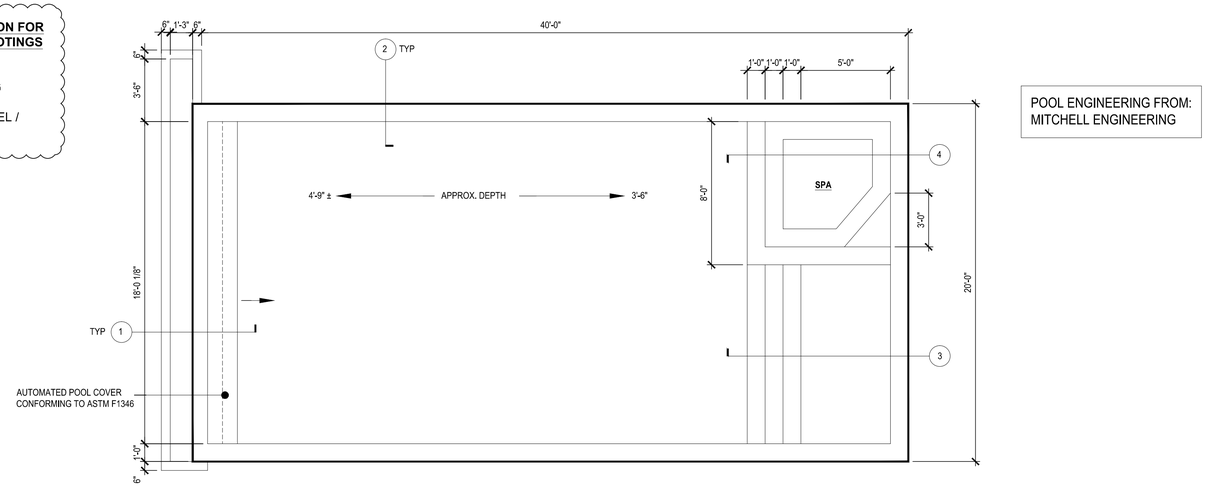
SECTION #3
1/2" = 1'-0"

SWIMMING POOL
STRUCTURAL NOTES

1. CONTRACTOR SHALL COMPLY WITH THE CURRENT EDITION OF THE 2015 INTERNATIONAL BUILDING CODE OR APPLICABLE CODE OR BUILDING ORDINANCE.
2. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS.
3. CALL LOCAL BUILDING DEPARTMENT FOR STEEL INSPECTION PRIOR TO POURING CONCRETE.
4. ASSUMED DESIGN FLUID PRESSURE = 35 LBS. PER CUBIC FOOT.
5. ASSUMED SOIL BEARING = 1500 LBS/ PER FOOT SQUARED.
6. THE GROUND SURROUNDING THE SWIMMING POOL IS ASSUMED LEVEL. NO SURCHARGE, RETAINING WALLS OR TERRACES ARE TO BE CONSTRUCTED ABOUT THE PERIMETER OF THE POOL.
7. AIR-PLACED CONCRETE SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 4000 PSI.
8. STEEL PLACEMENT SHALL BE AS SHOWN ON THE PLAN. LAP ALL BARS 30-BAR DIAMETERS. 2'-0" RETURN AT ALL CORNERS. ALL STEEL SHALL BE CAREFULLY AND FIRMLY WIRED INTO PLACE. REINFORCEMENT SHALL BE SECURED IN PLACE WITH CONCRETE BRICK.
9. CONCRETE SHALL BE PLACED ON FIRM; NATURAL, UNDISTURBED SOIL.
10. THE POOL SECTION HEREIN IS DESIGNED PRIMARILY FOR RECTANGULAR SHAPED POOLS, AND IS FULLY APPLICABLE TO FREE-FORM POOLS.
11. REINFORCEMENT SHALL BE DEFORMED BILLET STEEL fy = 40,000 PSI.



SECTION #4
1/2" = 1'-0"



POOL ENGINEERING FROM:
MITCHELL ENGINEERING

POOL PLAN
1/4" = 1'-0"

Ned Nelson, Architect
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HEADRICK RESIDENCE
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MERCER ISLAND, WA. 98040

REVISIONS:

Mark	Date
1	05-20-20

DATE: 05/20/20

POOL & DECK DETAILS

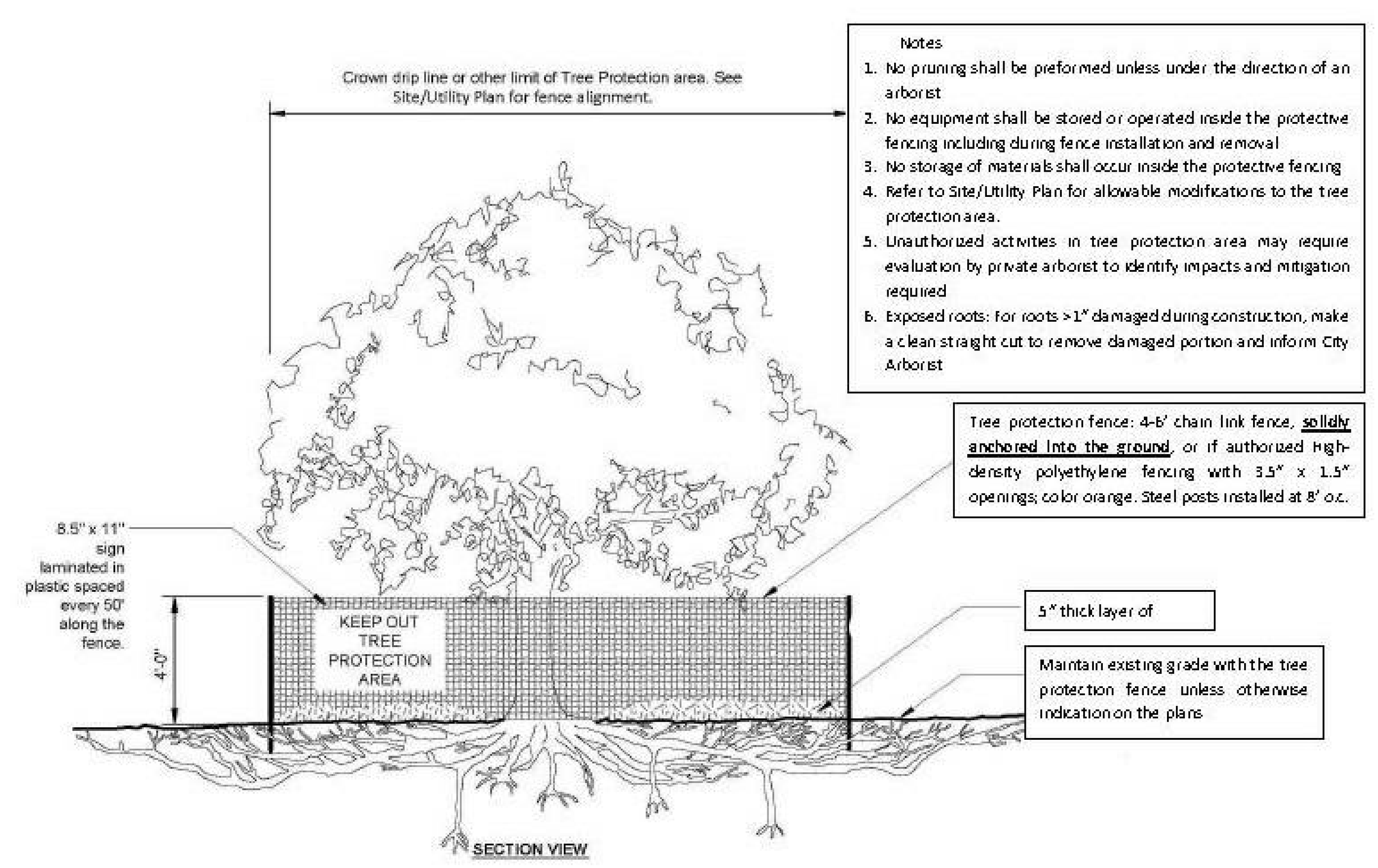
SHEET:
A6

EXISTING TREES

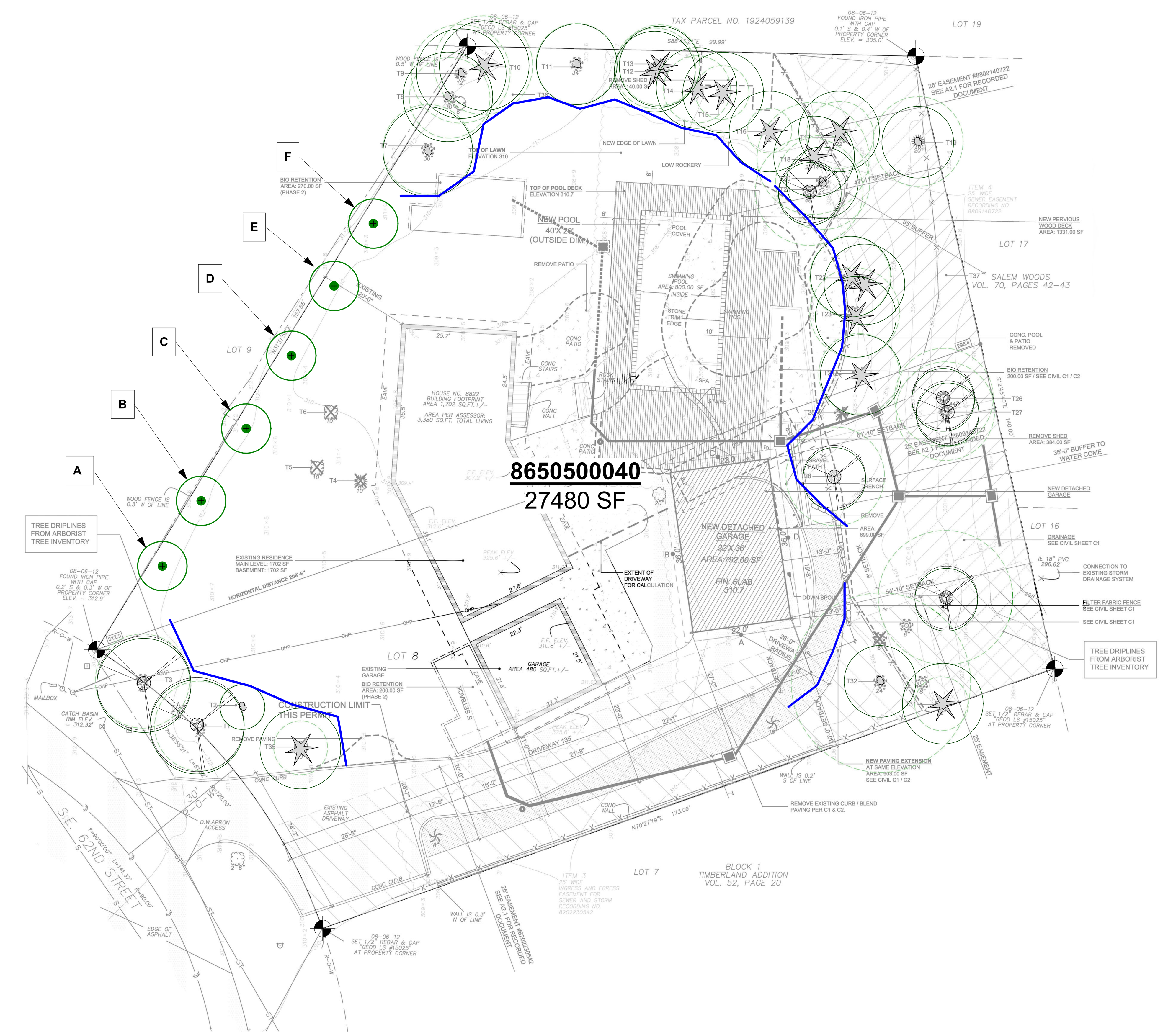
TREE #	TREE TYPE		DBH	DRIPLINE	RETAIN OR REMOVE
1.	WESTERN RED CEDAR	*THUJA PLICATA*	19" DBH	20' DL	RETAIN
2.	MOUNTAIN ASH	*SORBUS AMERICANA*	6" DBH	10' DL	RETAIN
3.	WESTERN RED CEDAR	*THUJA PLICATA*	48" DBH	21'DL	RETAIN
4.	JAPANESE MAPLE	ACER PALMATUM	9" DBH	15' DL	RETAIN
5.	PACIFIC DOGWOOD	*CORNUS NUTTALLII*	7" DBH	15' DL	RETAIN
6.	MAGNOLIA	*MAGNOLIA GRANDIFLORA*	12" DBH	15' DL	RETAIN
7.	WESTERN RED CEDAR	*THUJA PLICATA*	33" DBH	20' DL	RETAIN
8.	WESTERN RED CEDAR	*THUJA PLICATA*	25" DBH	20' DL	RETAIN
9.	DOUGLAS FIR	*PSEDUO-TSUGA MENZIESII*	20" DBH	20' DL	RETAIN
10.	DOUGLAS FIR	*PSEDUO-TSUGA MENZIESII*	22" DBH	20' DL	RETAIN
11.	WESTERN RED CEDAR	*THUJA PLICATA*	33" DBH	18' DL	RETAIN
12.	HEMLOCK	*TSUGA HETEROPHYLLA*	15" DBH	18' DL	RETAIN
13.	HEMLOCK	*TSUGA HETEROPHYLLA*	15" DBH	18' DL	RETAIN
14.	HEMLOCK	*TSUGA HETEROPHYLLA*	14" DBH	15' DL	RETAIN
15.	HEMLOCK	*TSUGA HETEROPHYLLA*	12" DBH	12' DL	RETAIN
16.	WESTERN RED CEDAR	*THUJA PLICATA*	12" DBH	12' DL	RETAIN
17.	BIG LEAF MAPLE	*ACER MACROPHYLLUM*	28" DBH	25' DL	RETAIN
18.	BIG LEAF MAPLE	*ACER MACROPHYLLUM*	28" DBH	25' DL	RETAIN
19.	BIG LEAF MAPLE	*ACER MACROPHYLLUM*	27" DBH	20' DL	RETAIN
20.	WESTERN RED CEDAR	*THUJA PLICATA*	28" DBH	20' DL	RETAIN
21.	WESTERN RED CEDAR	*THUJA PLICATA*	57" DBH	24' DL	RETAIN
22.	WESTERN RED CEDAR	*THUJA PLICATA*	20" DBH	18' DL	RETAIN
23.	WESTERN RED CEDAR	*THUJA PLICATA*	18" DBH	20' DL	RETAIN
24.	WESTERN RED CEDAR	*THUJA PLICATA*	17" DBH	18' DL	RETAIN
25.	HEMLOCK	*TSUGA HETEROPHYLLA*	11" DBH	14' DL	RETAIN
26.	STUMP SPROUT				RETAIN
27.	STUMP SPROUT				RETAIN
28.	SPRUCE,	*PICEA MARIANA*	39" DBH	22' DL	RETAIN
29.	PREVIOUSLY REMOVED				N/A
30.	BIG LEAF MAPLE	*ACER MACROPHYLLUM*	41" DBH	30' DL	RETAIN
31.	WESTERN RED CEDAR	*THUJA PLICATA*	14" DBH	12' DL	RETAIN
32.	WESTERN RED CEDAR	*THUJA PLICATA*	30" DBH	20' DL	RETAIN
33.	PREVIOUSLY REMOVED				N/A
34.	PREVIOUSLY REMOVED				N/A
35.	GINKO	*GINKO BILOBA*	10" DBH	12' DL	RETAIN
36.	THUNDERCLOUD PLUM	*PRUNUS CERASIFERA 'THUNDERCLOUD'*	14" DBH	12' DL	RETAIN
37.	WESTERN RED CEDAR	*THUJA PLICATA*	21" DBH	15' DL	RETAIN

NEW / REPLACEMENT TREES

TREE #	TREE TYPE		PLANTED DBH
A.	EMERALD ARBORVITAE	THUJA OCCIDENTALIS	2"
B.	EMERALD ARBORVITAE	THUJA OCCIDENTALIS	2"
C.	EMERALD ARBORVITAE	THUJA OCCIDENTALIS	2"
D.	EMERALD ARBORVITAE	THUJA OCCIDENTALIS	2"
E.	EMERALD ARBORVITAE	THUJA OCCIDENTALIS	2"
F.	EMERALD ARBORVITAE	THUJA OCCIDENTALIS	2"



TREE PROTECTION DETAIL
3/4" = 1'-0"



ARBORISTS SITE PLAN
1" = 20'-0"

	1. TREES 10" AND GREATER
	2. TREES 24" AND GREATER
	3. TREES 36" AND GREATER
	4. EXCEPTIONAL TREES
	TREE TO BE REMOVED
	TREE PROTECTION FENCING
	NEW TREE

PREPARED BY:

NEAL BAKER
ARBORISTS NW.COM
ISA CERT. PN1075A
TRAQ ISA (TREE RISK ASSESSMENT QUALIFIED)
MEMBER AREA & SOCA
PH: 206 779 2579

arboristsNW

Arborists NW is a full spectrum arboricultural, consulting and landscape design and installation provider. When you think tree and landscape services, think Arborists NW.

ONLINE: https://arboristsnw.com/
PHONE: 206-779-2579
EMAIL: neal@arboristsnw.com

No.	Description	Date

HEADRICK RESIDENCE

8822 SE 62ND STREET, MERCER ISLAND, WA 98040

HEADRICK RESIDENCE

ARBORIST TREE PLAN

Project number	---
Date	4/10/20
Drawn by	CW
Checked by	AB

X100

Scale	As indicated

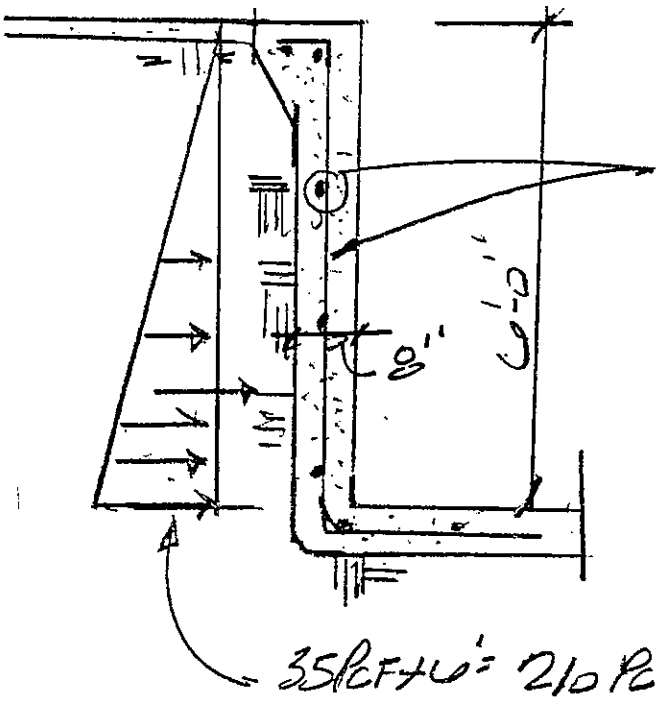
4/15/2020 12:12:21 PM

MITCHELL ENGINEERING INC.

7821 - 168th Ave. N.E
Redmond, WA 98052
(425) 747-1500
mitchellengineeringinc@comcast.net

Scope of Work.

Design for pool wall shown below for pool shown on sheet #A1 contained within.



$P_H = 1/2 \times 30 \times 6^2 = 1080\#$

$35 PCF \times 6' = 210 PCF \times 1.7 = 360\#$

$M = 1080 \times 6/3 = 2160 FT\text{-}lb \times 12 / 4000 \times 4'' = 0.41 in^2$

#4@12"oc Vertical

MICHAEL MITCHELL
STATE OF WASHINGTON
20775
REGISTERED
PROFESSIONAL ENGINEER

PREPARED BY M.M. PROJECT Kelsey Pools SHEET NO. 1 OF 6

DATE 3/31/19 SUBJECT Headkick JOB NO. 019-227

STRUCTURAL NOTES

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MITCHELL ENGINEERING INC.

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Redmond, WA 9
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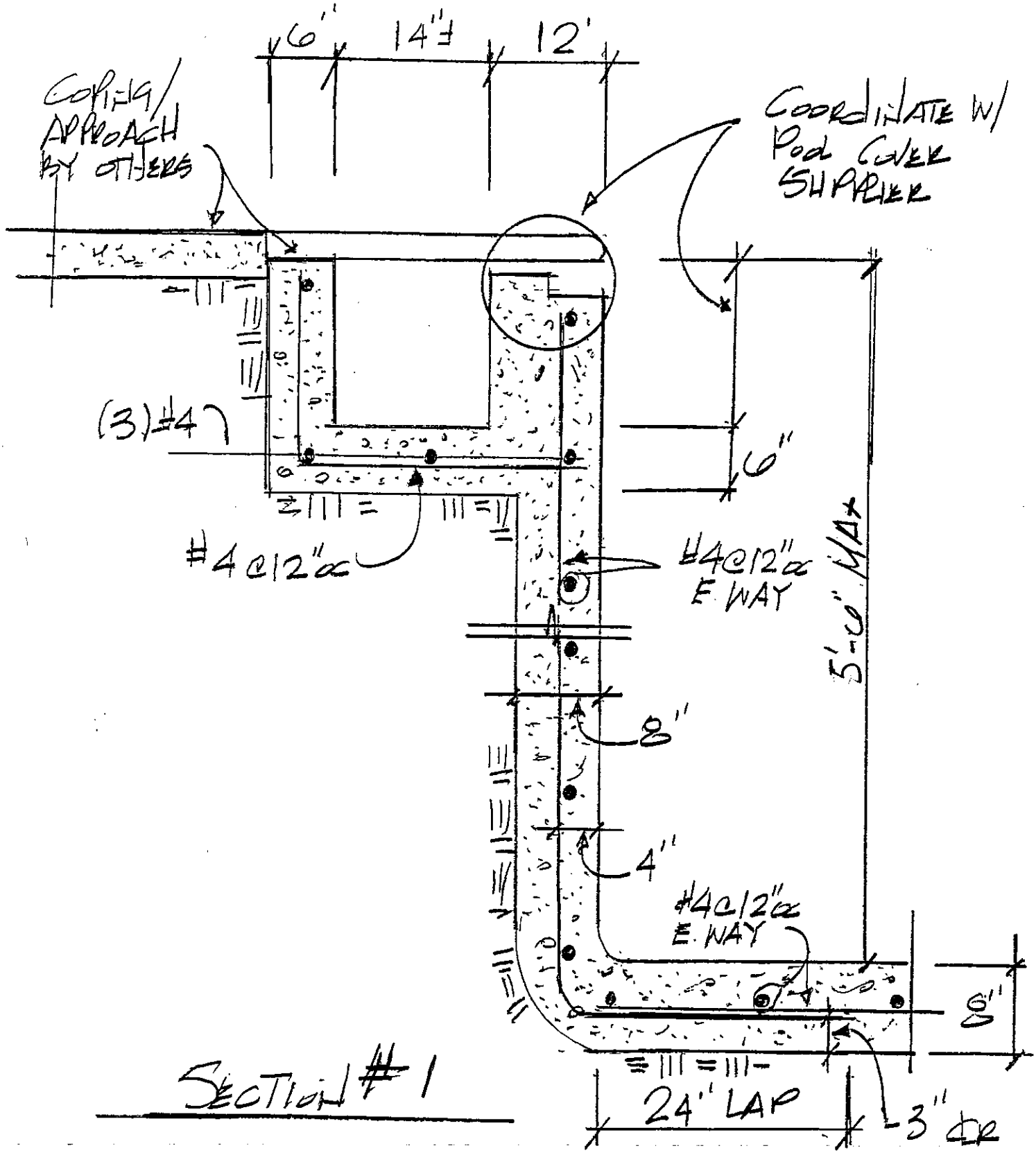
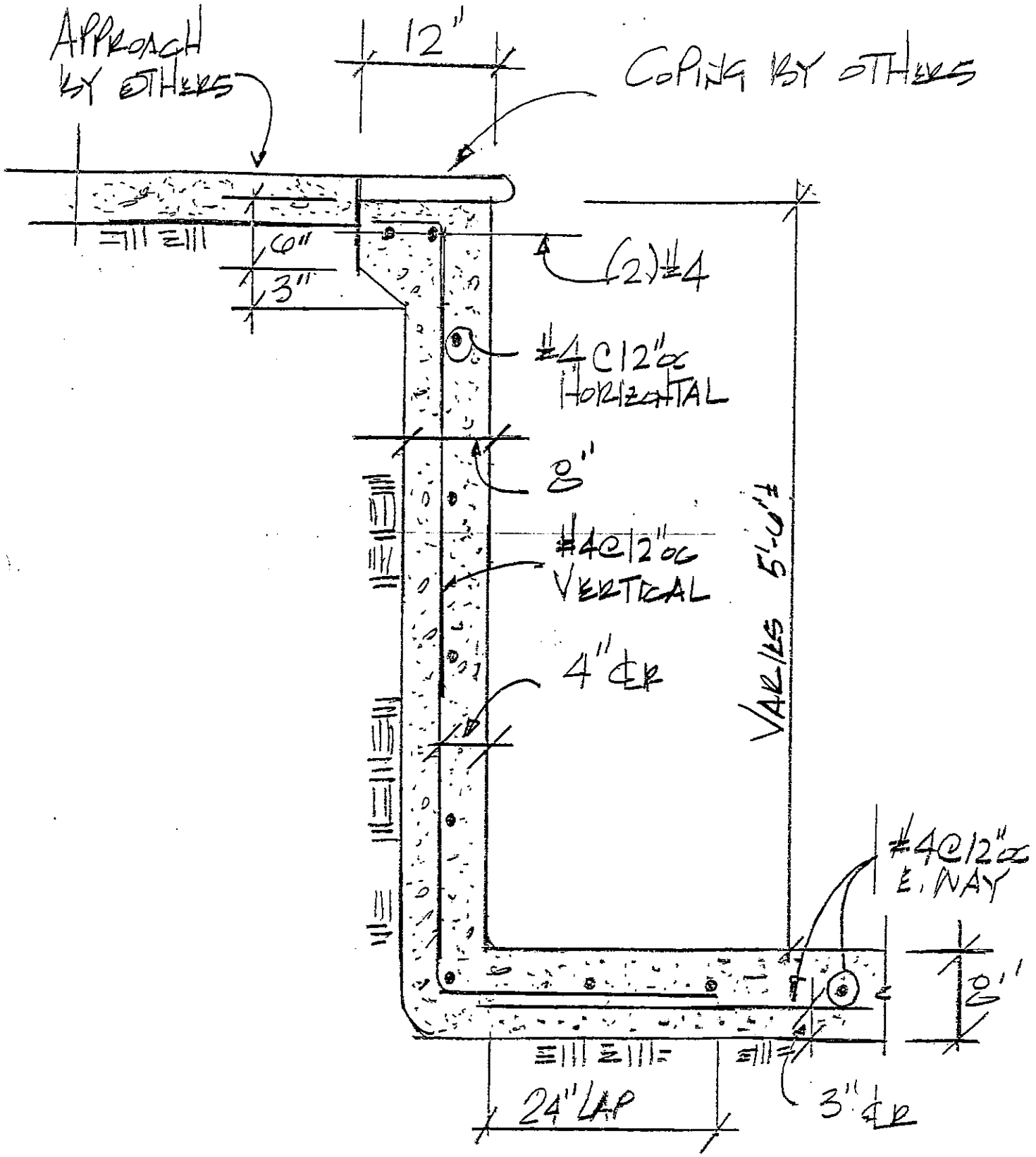
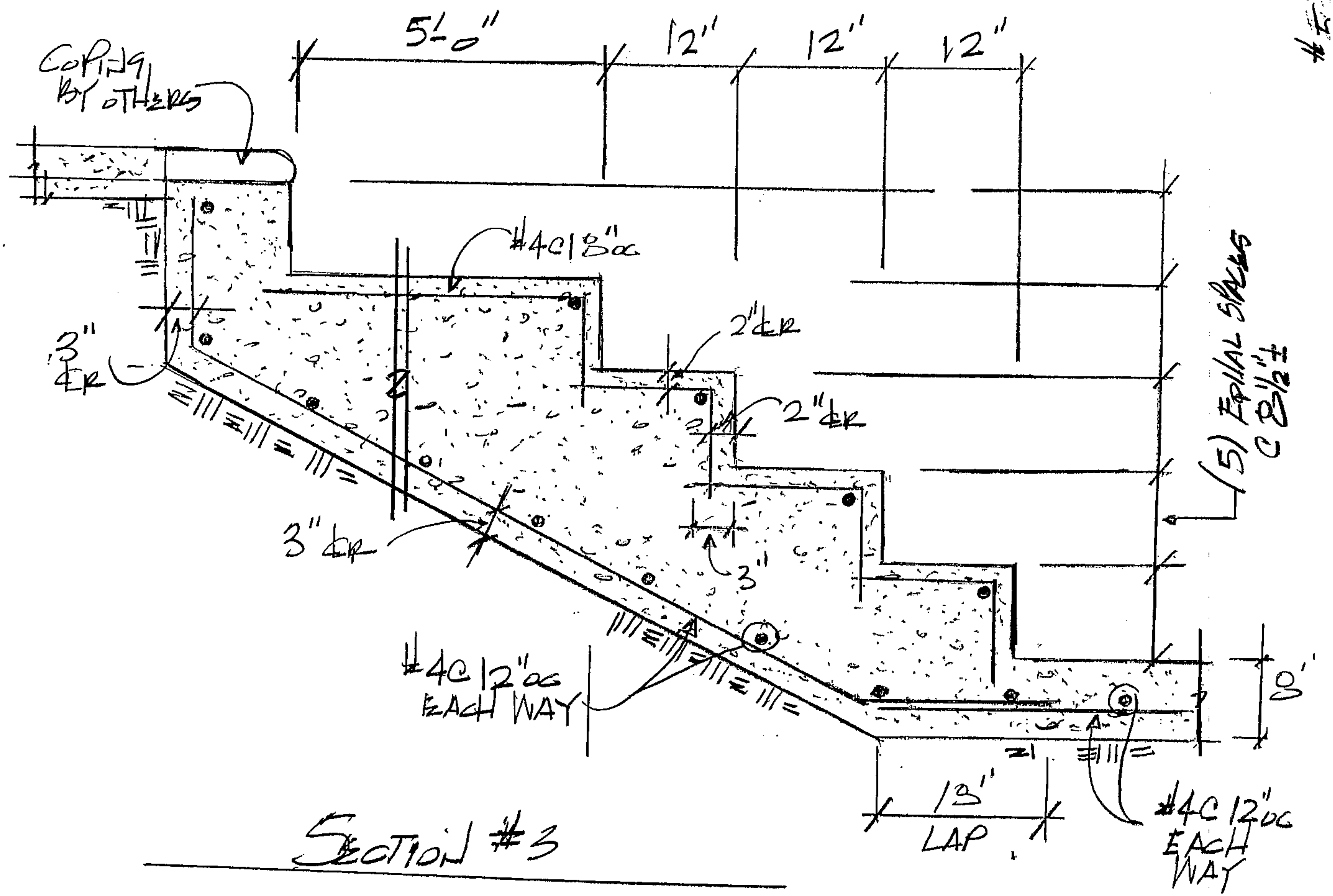


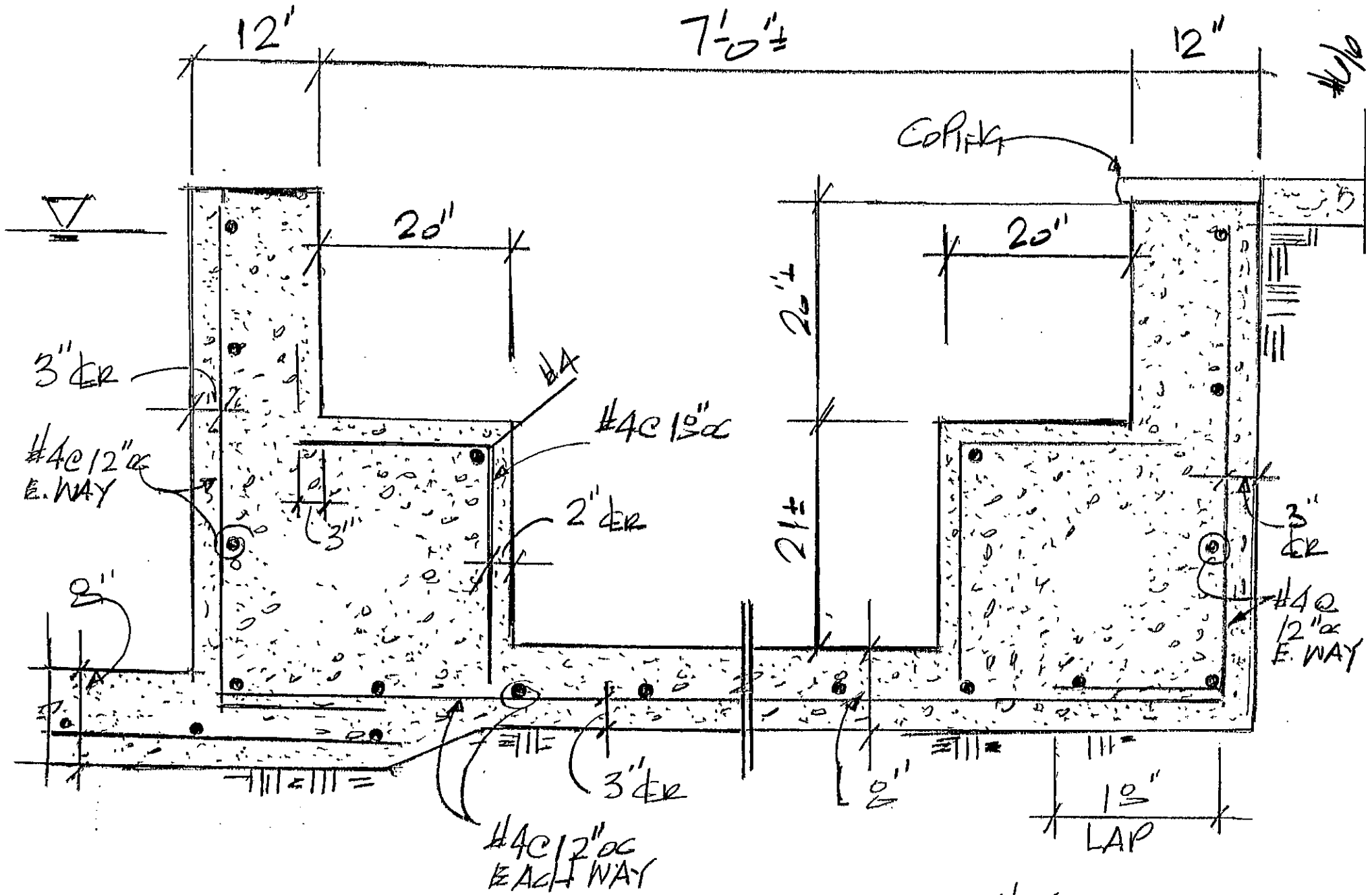
SECTION #1


APPROACH BY OTHERS
12"
COPING BY OTHERS
6"
3"
(2)#4
#4 @ 12" oc HORIZONTAL
8"
#4 @ 12" oc VERTICAL
4" CLR
VARIES 5'-0"±
#4 @ 12" oc E. WAY
2'
24" LAP
3" CLR

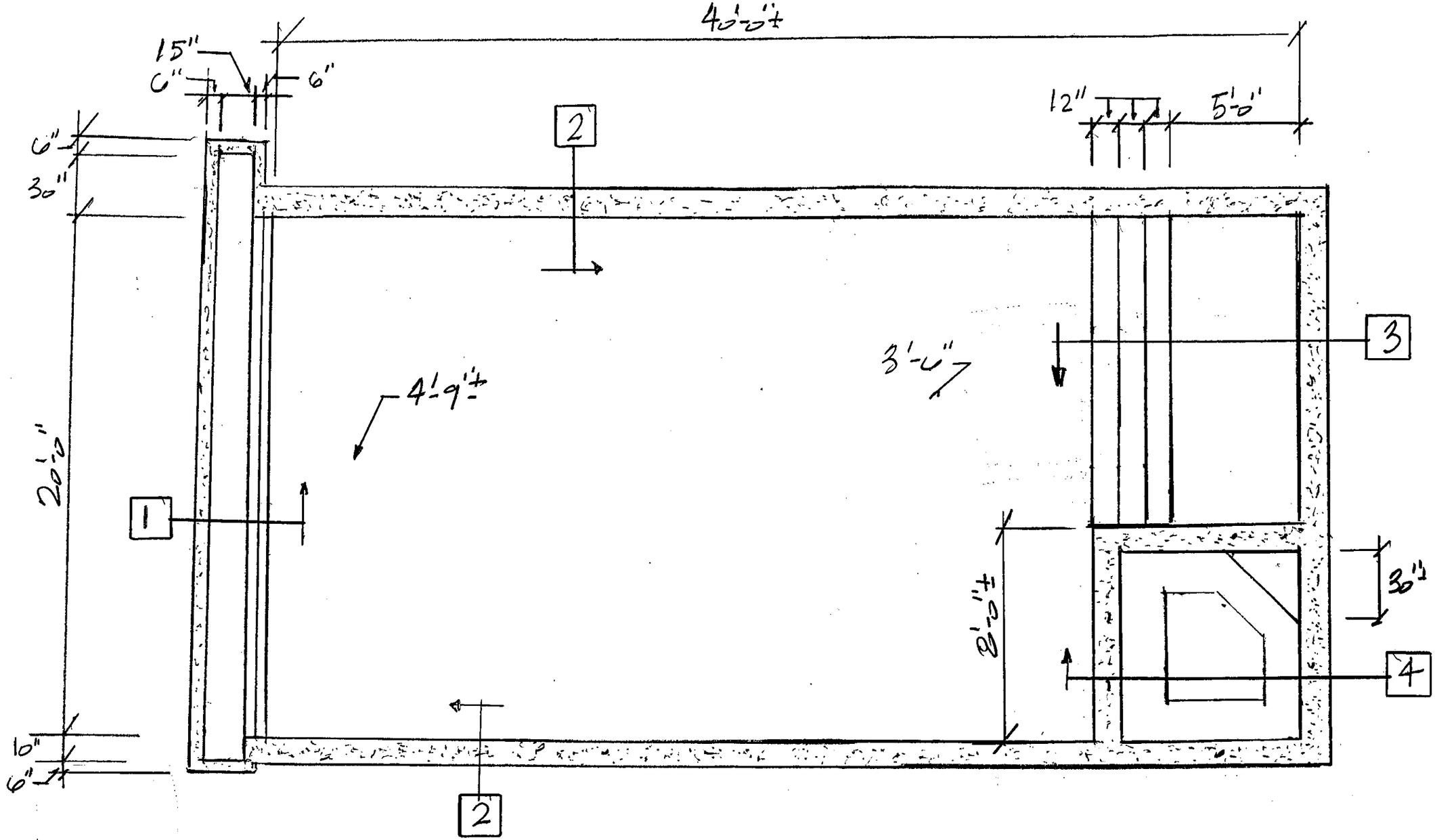
SECTION #2


COPING BY OTHERS
5'-0"
12"
12"
12"
#4 C 18" OC
2" CR
2" CR
3" CR
3" CR
3"
(5) EQUAL SPACES C 8½"±
#4 C 12" OC EACH WAY
8"
13" LAP
#4 C 12" OC EACH WAY

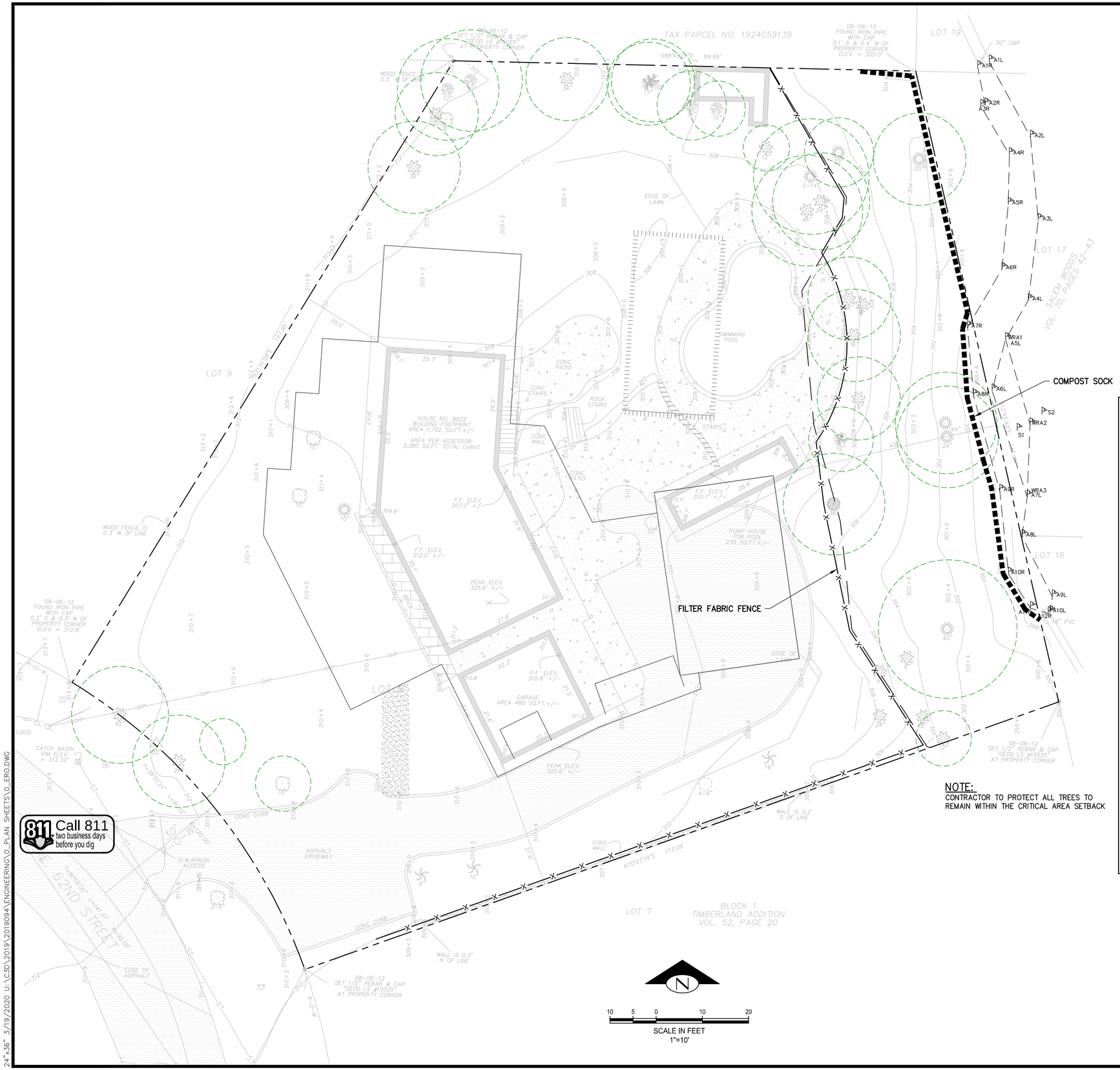
SECTION #3


12"
7'-0"±
12"
#4@10
COPING
20"
20"
3" CLR
#4@12"oc
E. WAY
#4@15"oc
2" CLR
3"
2'-0"±
2'-0"±
3" CLR
#4@
12"oc
E. WAY
2"
3" CLR
2"
10"
LAP
#4@12"oc
EACH WAY

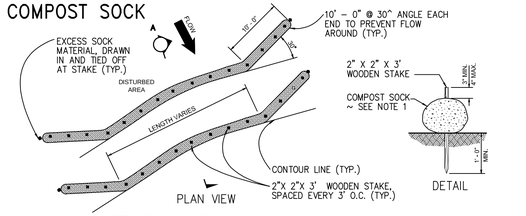
SECTION #4



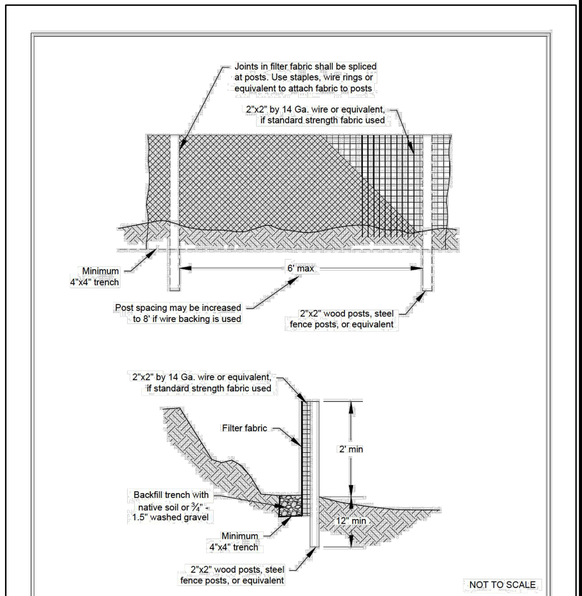
POOL PLAN



COMPOST SOCK



1. COMPOST SOCK SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATION 9.14.4(9). COMPOST SOCK SHALL BE A MINIMUM OF10" IN DIAMETER OR SIZED TO SUIT CONDITIONS AS SPECIFIED BY THE ENGINEER.
2. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
3. REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.
4. MAY BE USED IN PLACE OF FILTER FENCE FOR PREMIER CONTROL.



NOT TO SCALE

DEPARTMENT OF ECOLOGY State of Washington

Figure II-4.2.12
Silt Fence

Revised October 2014

BUSH, ROED & HITCHINGS, INC.
LAND SURVEYORS & CIVIL ENGINEERS
2009 MINOR AVE. EAST
SEATTLE, Washington
98102-3513
(206) 323-4144
1-800-935-0508
FAX# (206) 323-7135

NO	REVISION	DATE

EROSION CONTROL PLAN
8822 S.E. 62ND STREET
HEADRICK RESIDECE
MERCER ISLAND KING COUNTY WASHINGTON

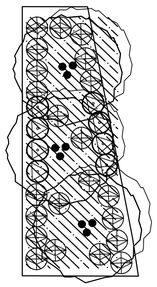
drawn by	checked by
WPG	TFD
scale	date
AS SHOWN	03/19/20
job no.	
2019094.00	
sheet C1	of

24"x36" 3/19/2020 U:\C3D\2019\2019094\ENGINEERING\0_PLAN SHEETS\0_ERO.DWG

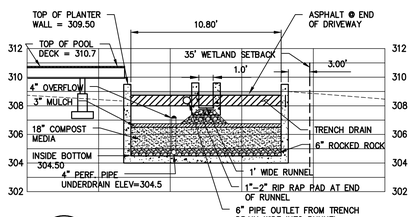
BIORETENTION PLANTING SCHEDULE

*INDICATES DROUGHT TOLERANT OR NATIVE

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE/COND./SPACING
BIORETENTION PLANTS		
	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'/ SERVICEBERRY*	MULTI-STEM., MIN 3 STEMS, 6' HT./ B&B/ PER PLAN
	JUNCUS EFFUSUS/ COMMON RUSH*	1 GAL./CONT./24" O.C.
	CAREX OBNUPTA/ SLOUGH SEDGE*	1 GAL./CONT./24" O.C.
	IRIS SIBERICA/SIBERIAN IRIS*	1 GAL./CONT./24" O.C.
	CORNUS STOLONIFERA 'KELSEYII'/ KELSEY'S DOGWOOD*	2 GAL./CONT./24" O.C.
	ILEX GLABRA 'COMPACTA' / COMPACT INKBERRY HOLLY*	2 GAL./CONT./24" O.C.



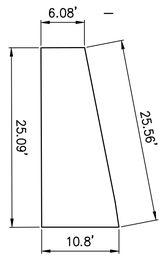
PLANTING DIAGRAM INSIDE PLANTER



1 — SECTION A BIO RETENTION PLANTER
1"=5' H & V

CONTRACTOR NOTE:

REFER TO WALL SECTION F D1 ON SHEET A3 FOR PLANTER WALL DETAIL.



INSIDE PLANTER WALL DIMENSIONS

811 Call 811 two business days before you dig

2 — ASPHALT PAVEMENT
NOT TO SCALE

4 — ROCKERY
NOT TO SCALE

STORM DRAINAGE NOTES:

1. FLOW SPREADER (3/—)
2. TYPE I CB W/ SOLID LID
   RIM=299.0±
   IE=296.0±, 8" W IN
   IE=296.0±, 8" N OUT
   IE=296.0±, 8" S OUT
3. 13LF ~ 8"ø PVC @ 20.5%
4. TYPE I CB W/SOLID LID
   RIM=304.0±
   IE=300.0±, 8" NW IN
   IE=301.5±, 8" SW IN
   IE=301.5±, 8" E OUT
5. 19.5LF ~ 8"ø PVC @ 12.9%
6. TYPE I CB W/SOLID LID
   RIM=306.0±
   IE=303.5, 8" NW IN
   IE=303.5, 8" SE OUT
7. 22LF ~ 8"ø PVC @ 12.9%
8. TY 1 CB –BIO–RETENTION PLANTER OUTLET
   RIM=309.0±
   IE=304.34±, 8" & 4"
9. 39LF ~ 8"ø PVC @ 2.0%
10. 8" CLEANOUT
    RIM=309.0±
    IE=305.12
11. 6LF ~ 8"ø PVC @ 2.0%
12. 8" 45° BEND
    IE=304.24
13. 10LF 8" @ 2.0%
14. 8"STUB WITH CAP
    IE=304.44
    FUTURE OUTLET FOR BIO–RETENTION PLANTER
15. 11LF TRENCH DRAIN
    RIM=309.0±
    IE=308.30
16. 1LF 6" @ 2%
    IE @ BOTTOM OF RUNNEL =308.25
17. IE @ END OF RUNNEL =307.75
    PLACE 1'–2" RIP–RAP PAD AT END OF RUNNEL
18. 6LF 6" PVC @ 4.0%±
    IE @ 4" PERF. PIPE CONNECTION INSIDE BIO–RETENTION PLANTER =304.50
19. 22LF 4" RIDIG PVC PERFORATED PIPE @ 0.0%
20. 67LF 6" PVC @ 4.78%
21. TYPE I CB W/SOLID LID
    RIM=309.5±
    IE=304.70 8"
22. 45LF 6" PVC @ 1.60%
23. 6" CLEANOUT
    RIM=310.5±
    IE=305.4
24. 6" 45° BEND
    IE=305.5±
25. 13LF 6" @ 1.6%
26. 6" STUB WITH CAP
    IE=305.7±
    FUTURE BIO–RETENTION PLANTER OUTLET CONNECTION
27. BIO RETENTION PLANTER SURFACE AREA INSDE PLANTER = 213± (1/—)
28. 4"ø OVERFLOW OUTLET
    RIM=307.25
29. 4"ø POINT OF CONNECTION FOR GARAGE FOOTING DRAIN
    3LF~4" PVC @ 0%
    IE=306.5± @ BLDG
30. 4" FOOTING DRAIN FROM ROCKERY DAYLIGHTS HERE.

NOTE:

CONTRACTOR TO PROTECT ALL TREES TO REMAIN WITHIN THE CRITICAL AREA SETBACK

NOTES:

1. CONSTRUCT TRENCH TO PREVENT POINT DISCHARGE AND/OR EROSION
2. TRENCH AND GRADE BOARD MUST BE LEVEL
3. GRADE BOARD SUPPORT POST SPACING AS REQUIRED BY SOIL CONDITIONS

PLAN

SECTION

3 — FLOW SPREADER
NOT TO SCALE

BUSH, ROED & HITCHINGS, INC.
LAND SURVEYORS & CIVIL ENGINEERS
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STORM DRAINAGE PLAN
8822 S.E. 62ND STREET
HEADRICK RESIDECE
MERCER ISLAND KING COUNTY WASHINGTON

drawn by	checked by
WPG	TFD
scale	date
AS SHOWN	03/19/20
job no.	
2019094.00	
sheet C2 of	

NO. REVISION DATE

24"x36" 3/20/2020 U:\C3D\2019\2019094\ENGINEERING\0_PLAN SHEETS\0_GRD.DWG