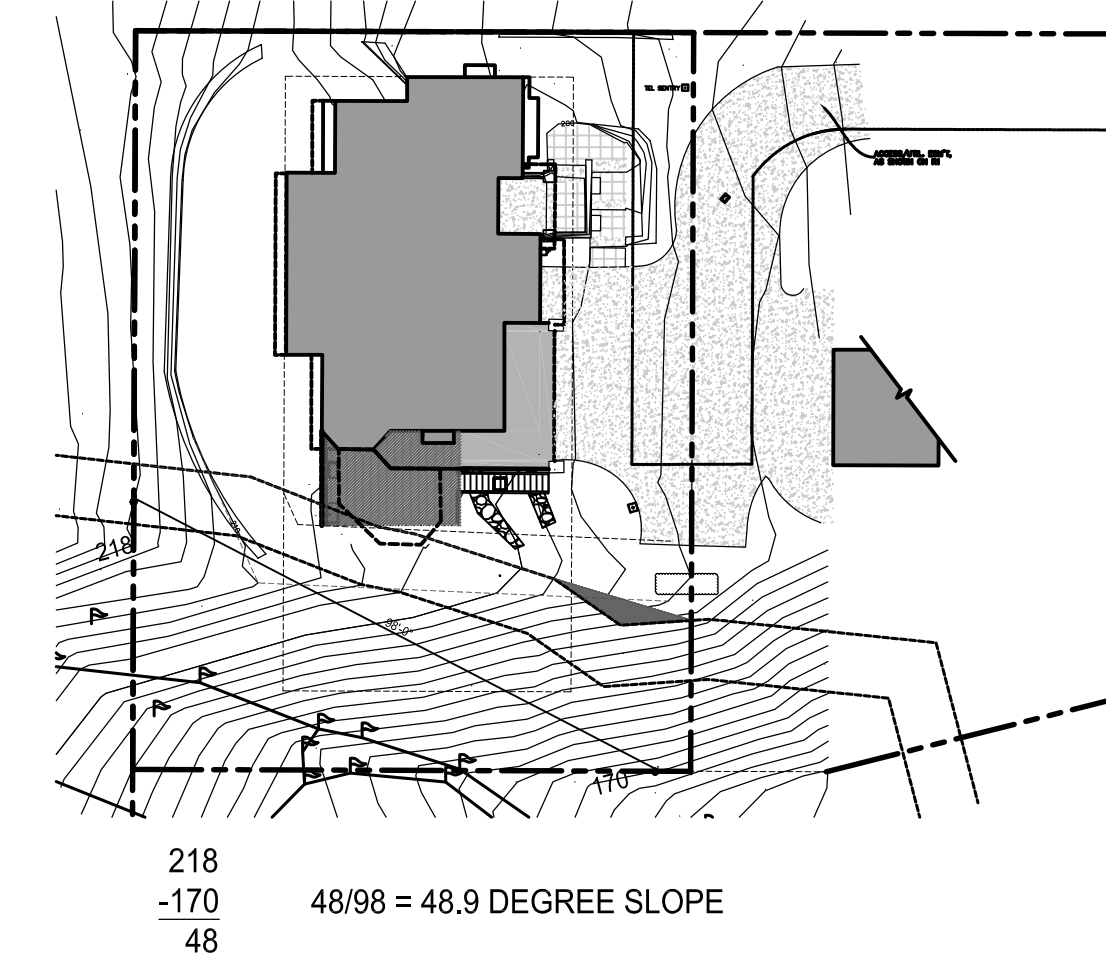
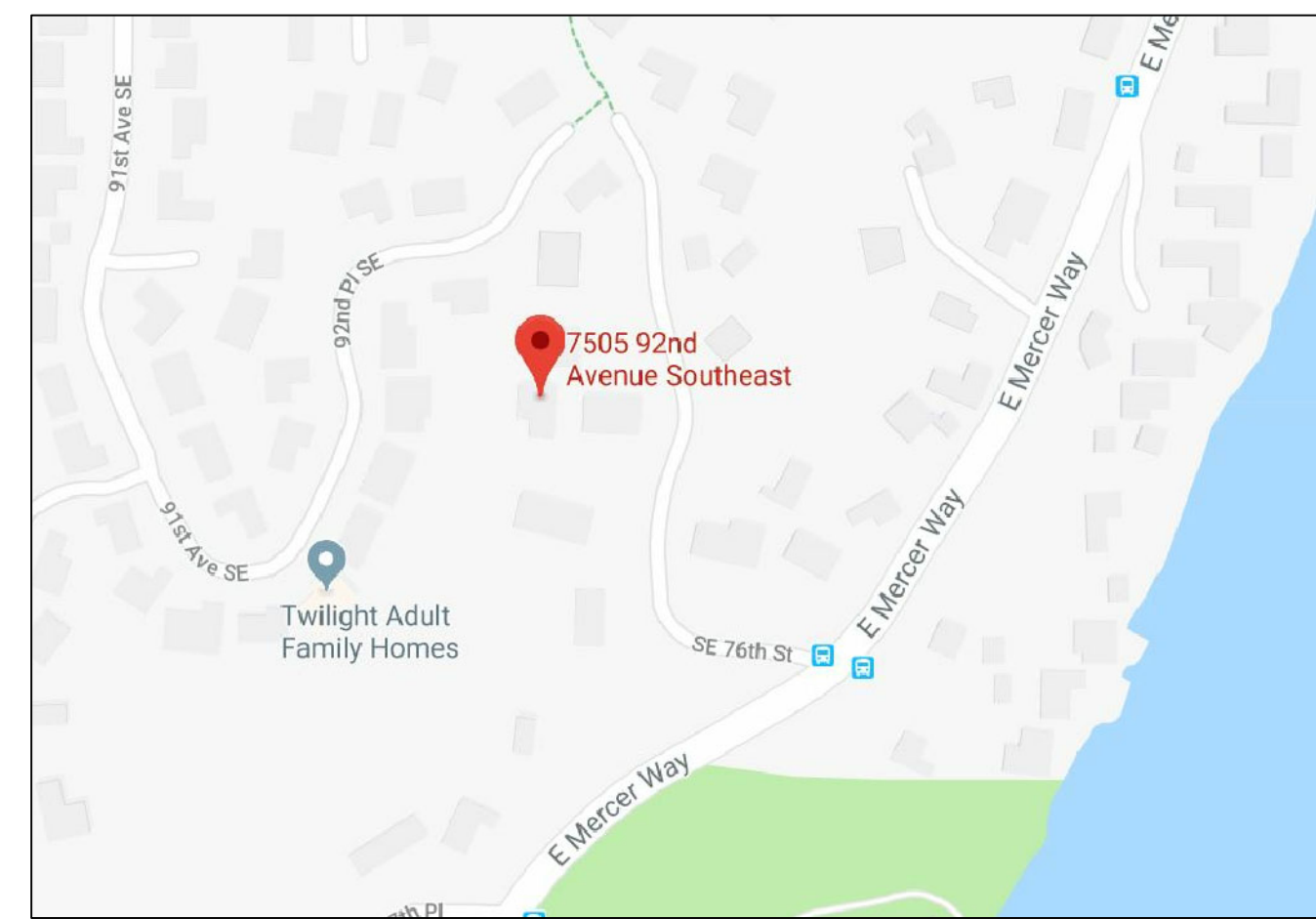


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9388 REGISTERED ARCHITECT
JOSH PS
JOSHUA BRINCKO
STATE OF WASHINGTON

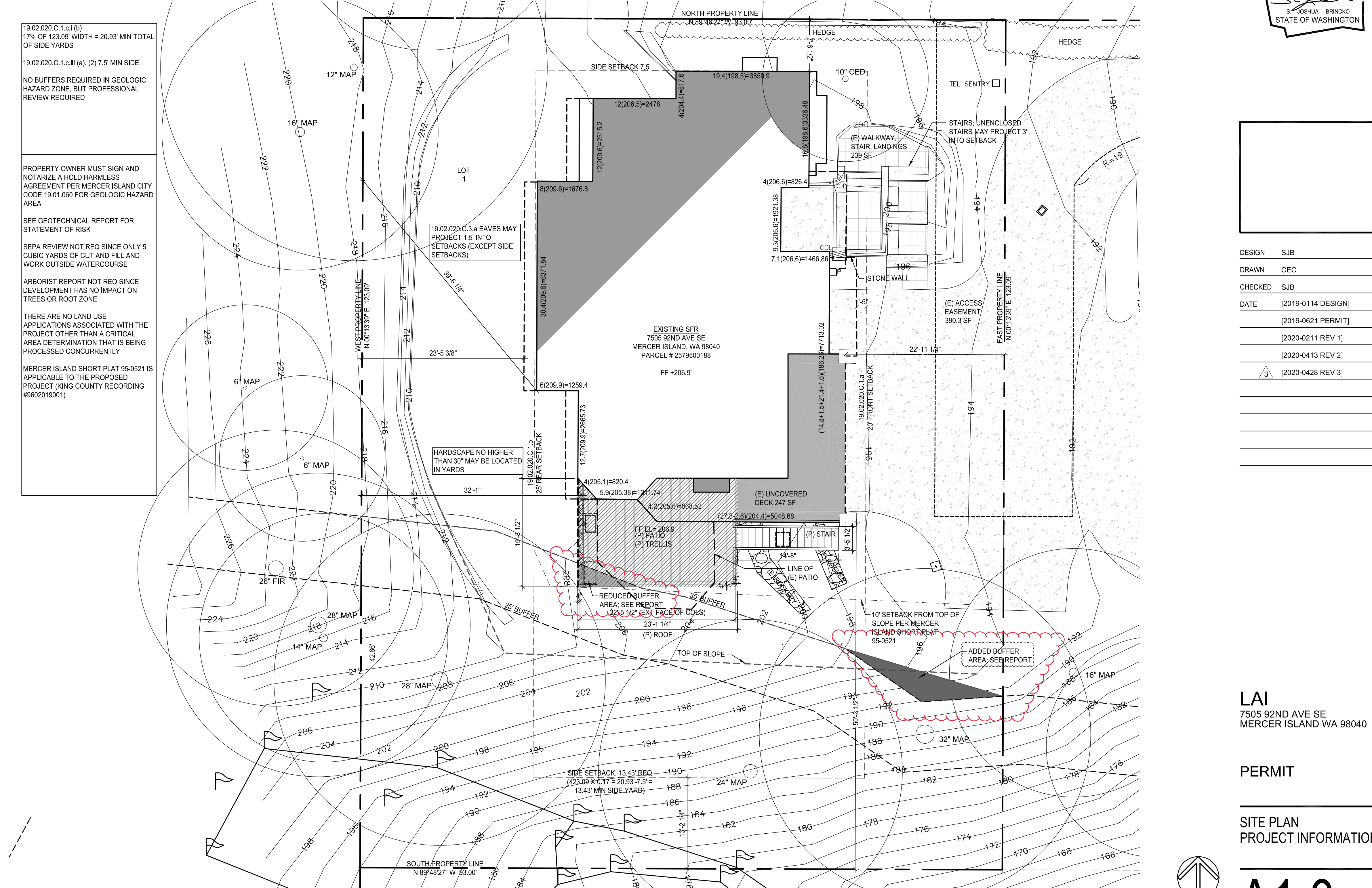
PROJECT DATA	PROPERTY DATA	ENERGY DATA
OWNER LAI JONATHANL@DCLMANAGEMENT.COM 7505 92ND AVE SE MERCER ISLAND, WA 98040	PROJECT ADDRESS 7505 92ND AVE SE MERCER ISLAND, WA 98040	PRESCRIPTIVE OPTION (ENERGY CREDIT 1A)
ARCHITECT JOSH PS 5406 SW BEACH DRIVE TER SEATTLE, WA 98116 SDCI ID: AC58960 CONTACT: S. JOSHUA BRINCKO (206 708 9933) JOSH@JOSHARCH.COM	ZONING DESIGNATION R-9.6 19.02.020.E HEIGHT LIMIT 30' FROM AVERAGE GRADE TO HIGHEST POINT OF ROOF (5' BONUS FOR CHIMNEYS ETC.) *FENCES MAX 72" HIGH (50" LATTICE ALLOWED UP TO 90')	INSULATION VALUES SLAB PERIMETER (FIRST 24") R-10 BELOW GRADE WALLS (EXTERIOR) R-10 BELOW GRADE WALLS (INTERIOR) R-21 ABOVE GRADE WALLS R-21 FLOORS R-30 ATTICS W/ 1" CLEAR VENT SPACE R-49 ADV FRAMED ATTICS W/ 1" CLEAR VAULTED JOISTS/RAFTERS R-38
STRUCTURAL ENGINEER SWENSON SAY FAGET 2124 3RD AVE #100 SEATTLE, WA 98121 CONTACT: KARL ROSMAN (206 443 6212) KROSMAN@SWENSONSAYFAGET.COM	SETBACKS FRONT: 20' NORTH SIDE: 7.5' SOUTH SIDE: 13.43' REAR: 25'	FENESTRATION OVERHEAD GLAZING U-0.28 U-0.50 *ALL NEW FENESTRATION TO BE NFRC CERTIFIED
CONTRACTOR OWNER	LOT AREA 11447 SF	
GEOTECHNICAL ENGINEER PANGELO 3213 EASTLAKE AVE E, SUITE B SEATTLE, WA 98102 CONTACT: SIEW L. TAN, P.E. (206 262 0370)	ASSESSOR'S TAX NUMBER 257950-0188	
	LEGAL DESCRIPTION FLOODS LAKE SIDE TRS LOT 11 MERCER ISLAND SHORT PLAT NO 95-0521 REC NO 9602019001 SD SHORT PLAT DAF - POR OF LOT 2 BLK 5 OF FLOODS LAKE SIDE TRS - AKA LOT 4 OF THE SULLIVAN SEGREGATION APPROVED SUBD 03-22-83 OF CITY OF MERCER ISLAND REC NO 8903100404 PLAT BLOCK: 5 PLAT LOT: 2	



1 VICINITY MAP
NOT TO SCALE

3 SLOPE DIAGRAM/CALC
SCALE: 1/32" = 1'-0"

TABLE OF CONTENTS		CONSTRUCTION DATA	VENTILATION DATA
SHT	DESCRIPTION	SCOPE OF WORK REPLACE EXISTING DECK WITH PAVERS; ADD PATIO AND EXTERIOR KITCHENETTE	SYSTEM DESIGN THIS SYSTEM IS DESIGN/BUILD (IRC CH. 15)
A1.0	SITE PLAN + PROJECT INFORMATION	AREA SUMMARY	SYSTEM CRITERIA
A1.1	GENERAL NOTES	19.02.020.D.1.b MAX GROSS FLOOR AREA (40%) 11,447 = 4578.8 SF MAX ALLOWED = 4,500 SF EXISTING *STAIRCASE FROM FLOOR ONE TO TWO IS ONLY COUNTED ONCE	MINIMUM OF .35 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS. MAXIMUM OF .50 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS.
A1.2	TESC	CONDITIONED SPACE LOWER LEVEL 660 SQ FT MAIN LEVEL 1940 SQ FT UPPER LEVEL 1560 SQ FT TOTAL 4160 SQ FT	SYSTEM COMPONENTS
A2.0	FLOOR PLAN	UNCONDITIONED SPACE LOWER LEVEL 630 SQ FT TOTAL 630 SQ FT	INTAKE BLOWER DISTRIBUTION DUCTING (HABITABLE ROOMS) DISTRIBUTION GRILLS (HABITABLE ROOMS) ELECTRIC EXHAUST FAN EXHAUST DUCTING EXHAUST PORT WITH BACK DRAFT DAMPER
A3.0	ELEVATIONS	SEE SHEET A1.0a FOR HARDSCAPE AND LOT COVERAGE	SYSTEM FUNCTION INTAKE BLOWER, AIR TEMPERING UNIT, AND EXHAUST FAN TO BE CONNECTED TO TIMER FOR SYNCHRONIZED, INTERMITTENT USE THROUGHOUT EACH DAY. FRESH AIR FROM THE EXTERIOR IS PULLED THROUGH AIR TEMPERING UNIT, THEN DISTRIBUTED THROUGH DUCTING TO ALL HABITABLE ROOMS. A BALANCED QUANTITY OF AIR IS SIMULTANEOUSLY EVACUATED FROM THE INTERIOR W/ THE EXHAUST FAN DUCTED TO EXT
A8.0	DETAILS		
S1.0-1.1	STRUCT GENERAL NOTES		
SSK	FOUNDATION PLAN AND ROOF FRAMING		
AVG GRADE CALC: WEIGHTED MIDPOINT SUM = 3850.9+3336.48+862.4+1921.38+1466.86+7713.02+5048.68+863.52 +1211.74+820.4+2665.73+1259.4+6371.84+1676.8+2515.2+2478+817.6= 44,879.95 TOTAL LENGTH = 19.4+16.8+4+9.3+7.1+39.3+24.7+4.2+5.9+4+12.7+6+30.4+8+12+12+4 = 219.8 WEIGHTED SUMLENGTH = 44879.95/219.8 = 204.19' AVERAGE GRADE			



2 SITE PLAN (TO BE VERIFIED IN FIELD)
SCALE: 1/8" = 1'-0"

DESIGN	SJB
DRAWN	CEC
CHECKED	SJB
DATE	[2019-0114 DESIGN] [2019-0621 PERMIT] [2020-0211 REV 1] [2020-0413 REV 2] [2020-0428 REV 3]

LAI
7505 92ND AVE SE
MERCER ISLAND WA 98040

PERMIT

SITE PLAN
PROJECT INFORMATION



A1.0

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CONSTRUCTION DATA	
NET LOT AREA:	11,447.390.3 ACCESS EASEMENT = 11,056.7 SF
NET LOT AREA	11,056.7 SQ FT
19.02.020.G PARKING REQUIREMENTS: 3 PROVIDED (MIN 2 REQ)	
ALLOWABLE BUILDING PAD (SHRT PLAT)	3470 SF

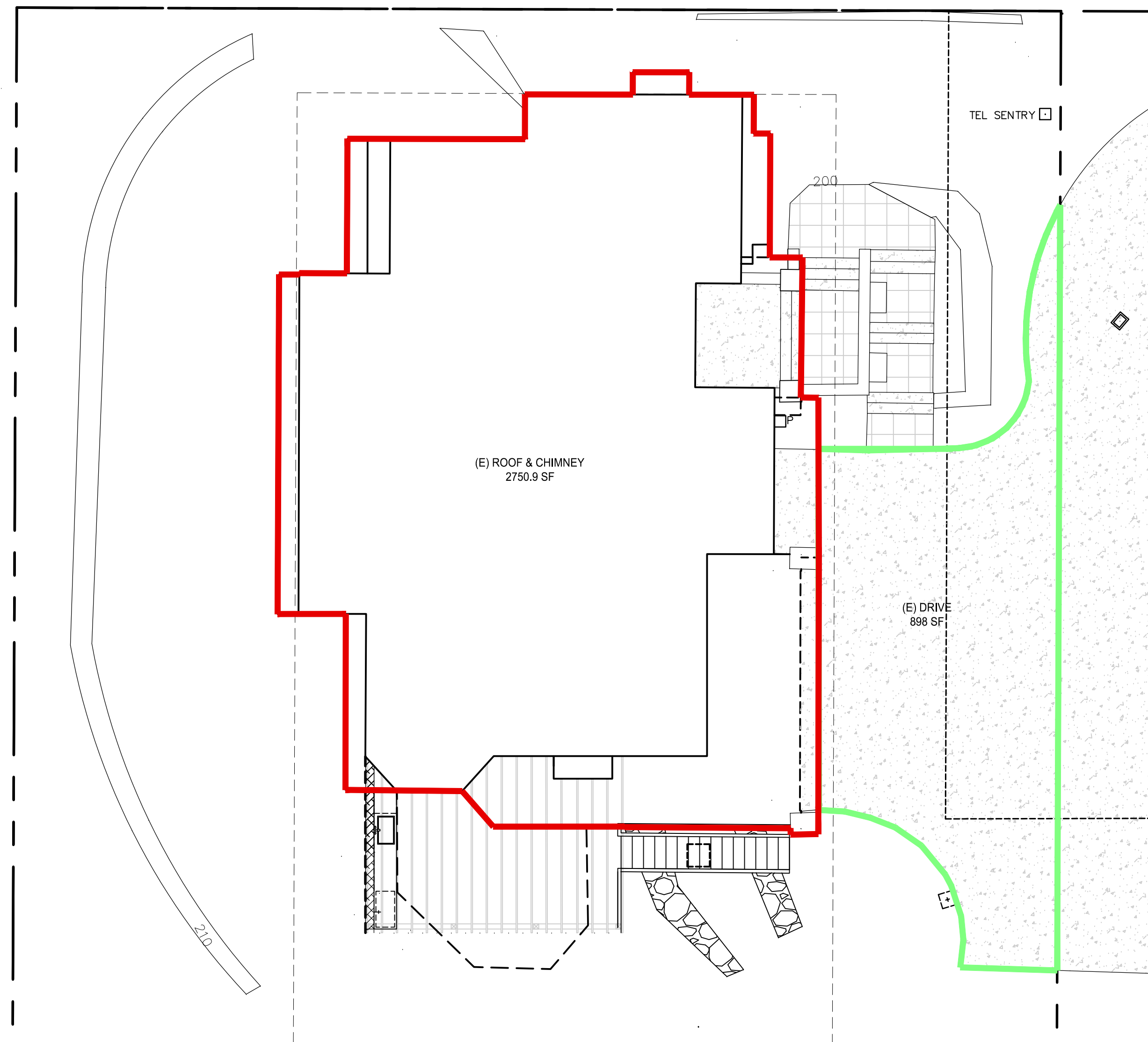
LOT COVERAGE			
	EXISTING	EXISTING REMOVED	PROPOSED NEW
ROOF & CHIMNEY	2750.9 SF	0	0
DRIVEWAY	898 SF	0	0
TOTAL	3648.9 SF		

19.02.020.F.3.a LOT COVERAGE CALC:
FOR LOTS SLOPED 30-50%, MAX 30% LOT COVERAGE (INCLUDING HOUSE, DRIVEWAY, ACCESSORY BUILDINGS) SEE DIAGRAM

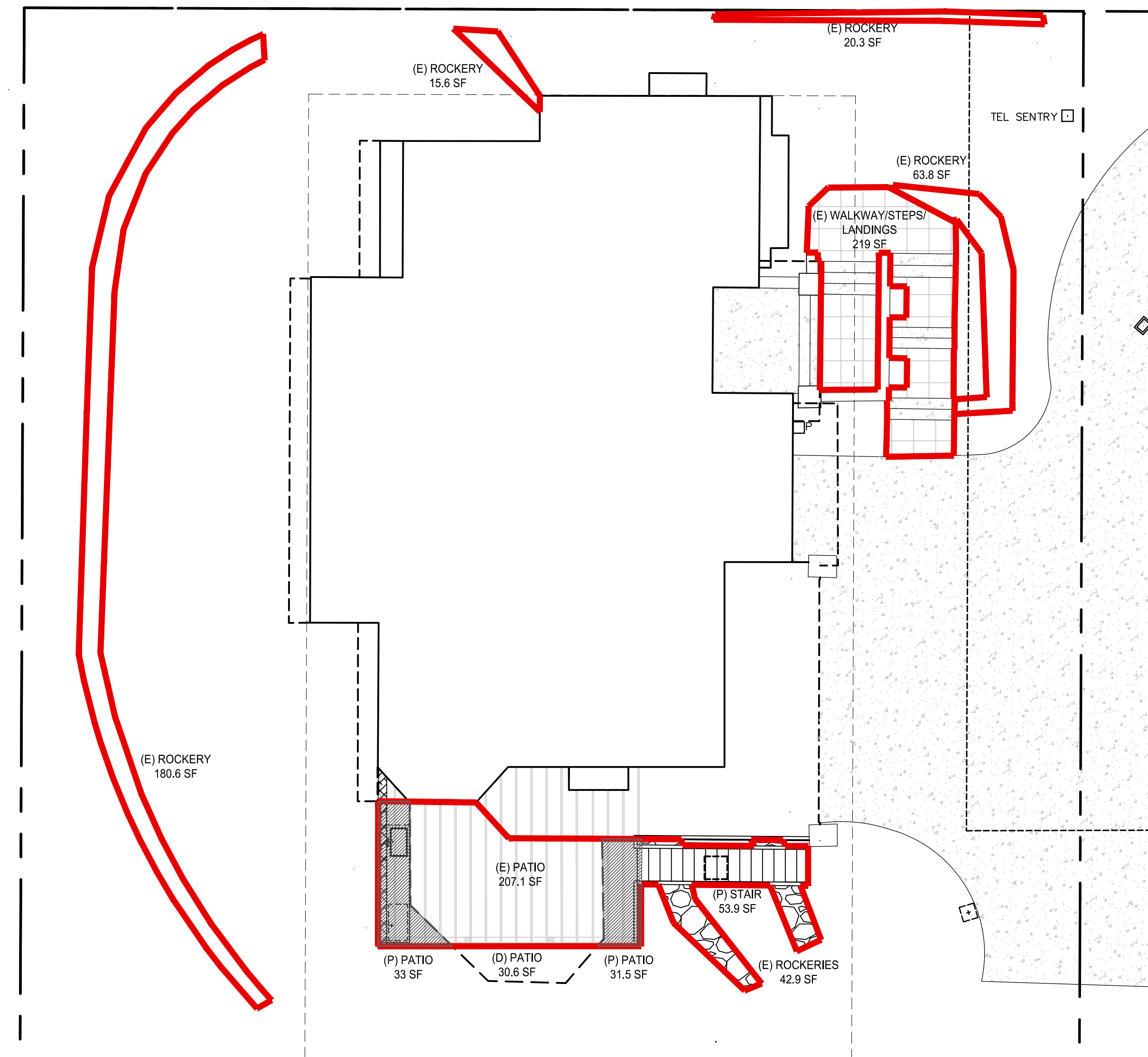
NON CONFORMING LOT COVERAGE CALC:
EXISTING LOT COVERAGE = 3648.9 SF
ALLOWABLE LOT COVERAGE: (.30) (11056.7) = 3317.0 SF
(E) NON CONFORMING LOT COVERAGE = 331.9 SF
*WHEN REMOVING LOT COVERAGE FROM A NON-CONFORMING CONDITION, THE REPLACEMENT CAN ONLY BE UP TO 50% OF THE NON-CONFORMING AREA (50% of 331.9 = 165.95)
TOTAL ALLOWABLE LOT COVERAGE INCLUDING 50% NONCONFORMING: 3482.95 SF
* NOT APPLICABLE SINCE NO CHANGE TO (E) LOT COVERAGE

HARDSCAPE COVERAGE			
	EXISTING TO REMAIN	EXISTING TO BE REMOVED	PROPOSED NEW
WALKWAYS/STAIR	219 SF	0	53.9 SF
PATIO	207.1	30.6 SF	64.5 SF
ROCKERIES	309.2 SF	24.9	0
TOTAL	735.3 SF	+ N/A	+ 118.4 = 853.7 SF GRAND TOTAL

19.02.020.F.3.b.i MAX HARDSCAPE AREA:
9% (11,056.7 NET LOT AREA) = 995.1 SF ALLOWED
PROPOSED HARDSCAPE = 853.7 SF



1 LOT COVERAGE DIAGRAM
SCALE: 1/8" = 1'-0"



2 HARDSCAPE DIAGRAM
SCALE: 1/8" = 1'-0"

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STATE OF WASHINGTON

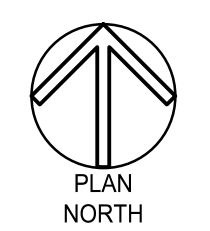


DESIGN	SJB
DRAWN	CEC
CHECKED	SJB
DATE	[2019-0114 DESIGN]
	[2019-0621 PERMIT]
	[2020-0211 REV 1]
	2 [2020-0413 REV 2]
	3 [2020-0428 REV 3]

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MERCER ISLAND WA 98040

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HARDSCAPE AND
LOT COVERAGE
DIAGRAMS



A1.0a

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STATE OF WASHINGTON



DESIGN	SJB
DRAWN	CEC
CHECKED	SJB
DATE	[2019-0114 DESIGN] [2019-0621 PERMIT] [2020-0211 REV 1] [2020-0413 REV 2] [2020-0428 REV 3]

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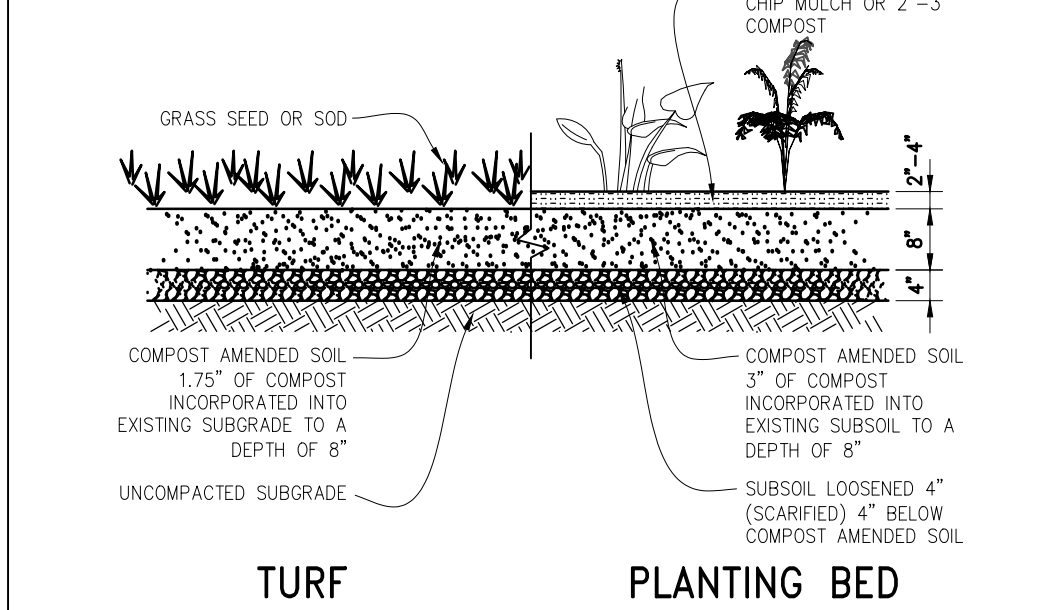
PERMIT

CSC

A1.2

CONSTRUCTION STORMWATER CONTROL STANDARD DETAILS

SOIL AMENDMENT

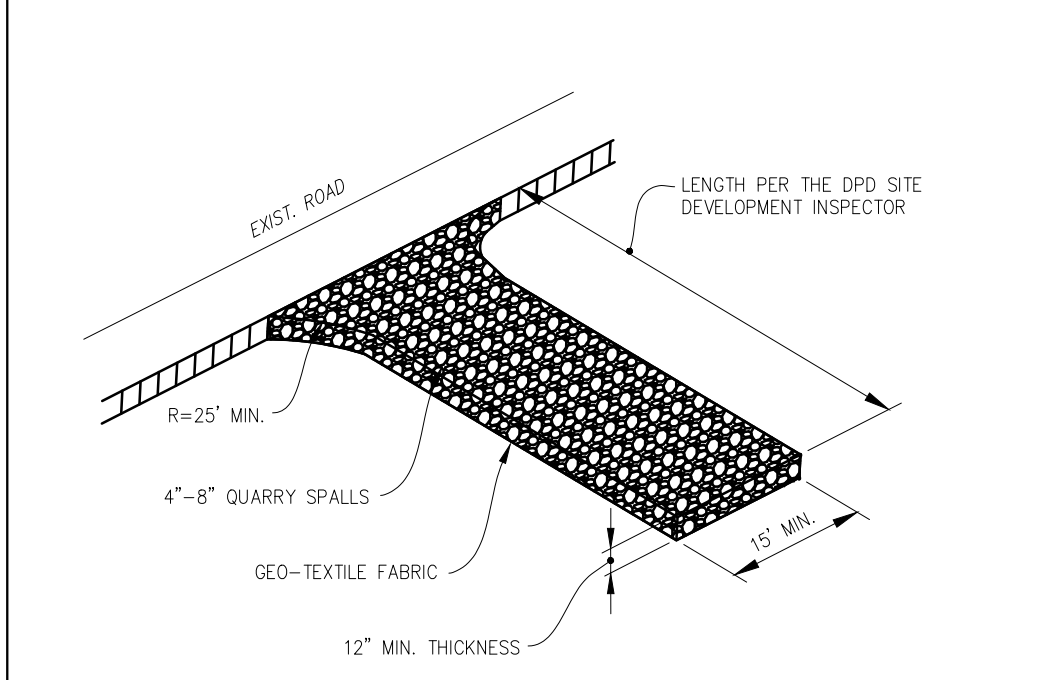


TURF **PLANTING BED**

NOTES:
1. POST CONSTRUCTION SOIL AMENDMENT IS REQUIRED ON ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE WHERE SOIL IS DISTURBED DURING CONSTRUCTION.
2. SOIL AMENDMENT CALCULATIONS SHALL BE SHOWN ON THE POST-CONSTRUCTION SOIL AMENDMENT PLAN SHEET.
3. SOIL AMENDMENT MUST PASS A 12 INCH MINIMUM PROBE TEST.

SYMBOL: (1) (2) AND/OR (3)

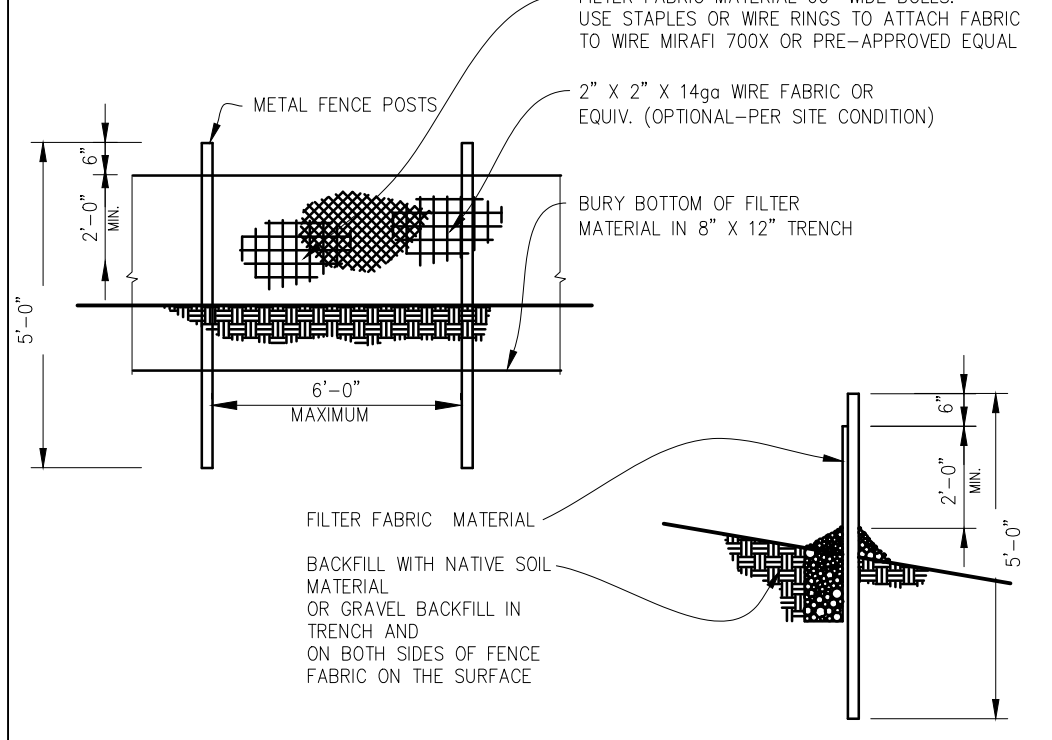
STABILIZED CONSTRUCTION ACCESS



STABILIZED ACCESS SHALL BE USED IN ALL AREAS OF THE SITE WITH VEHICLE TRAFFIC AND PARKING, INCLUDING PLANTING STRIPS.

SYMBOL: (4)

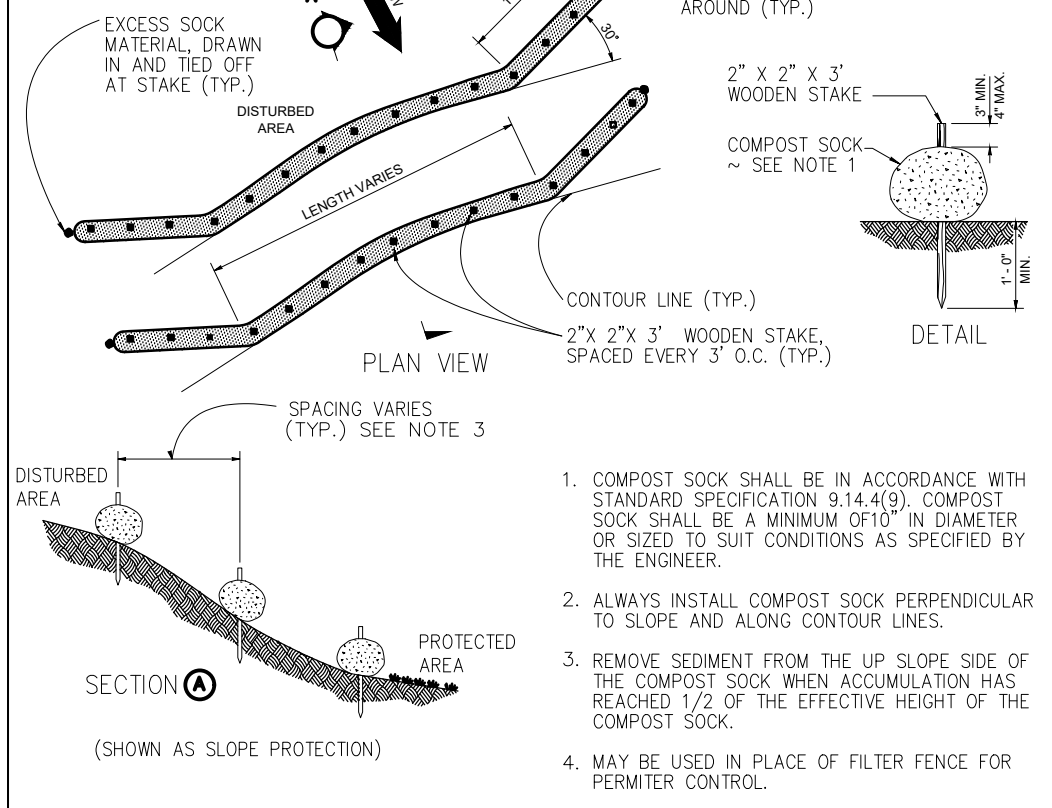
FILTER FENCE



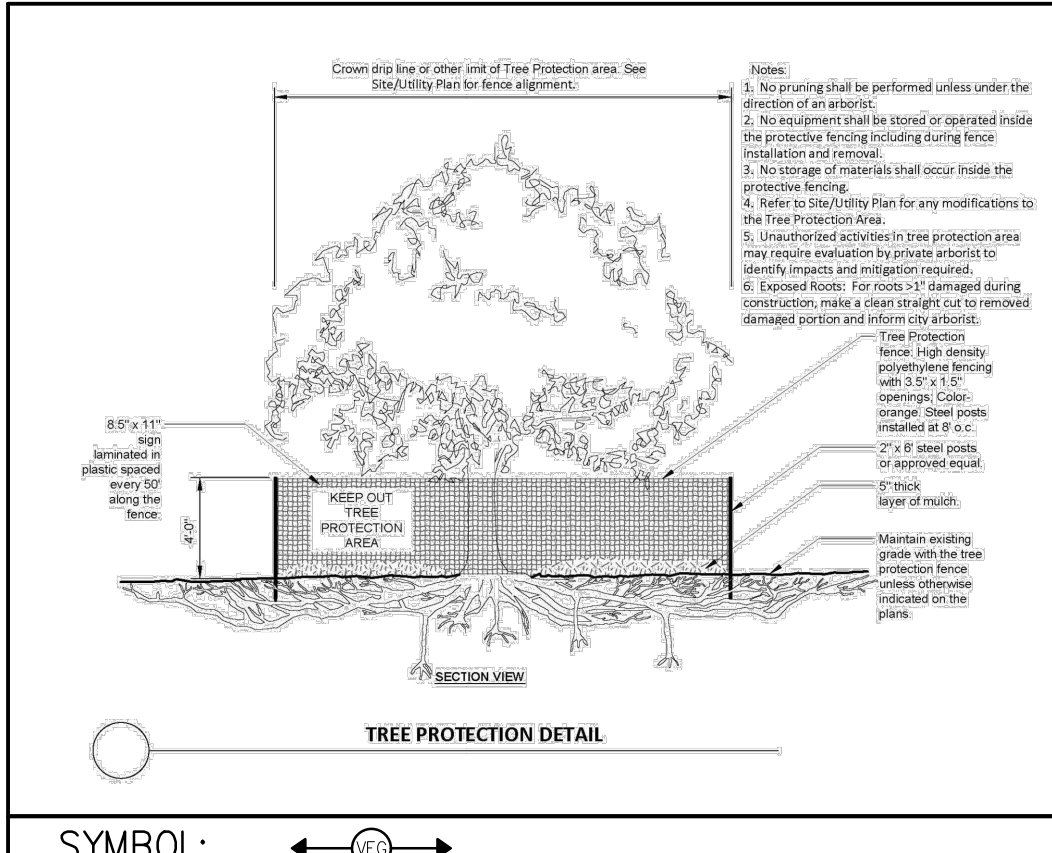
NOTE: ANGLE SILT FENCE BACK UP THE SLOPE AT THE END OF RUN.

SYMBOL: (5)

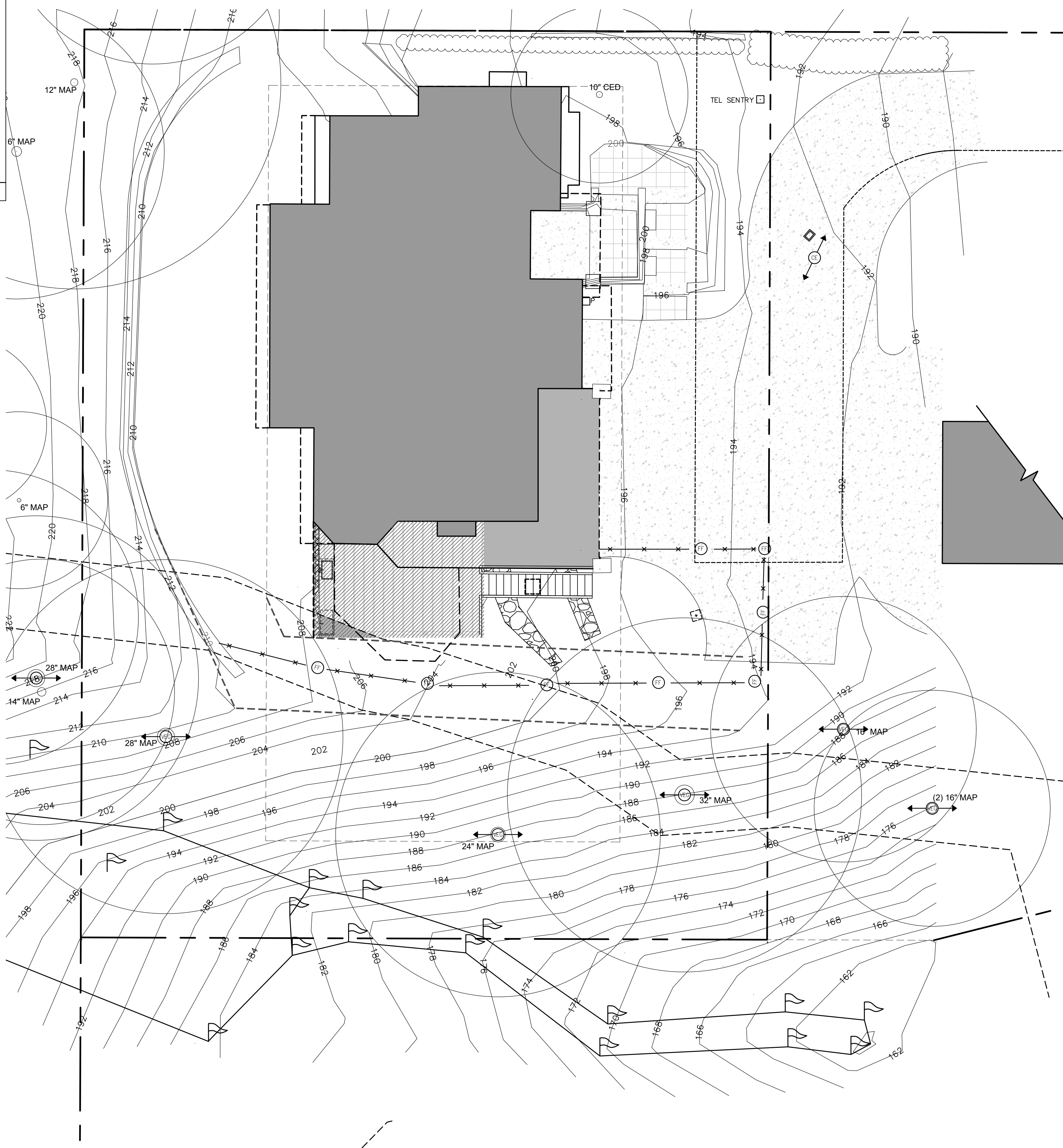
COMPOST SOCK



SYMBOL: (6)



SYMBOL: (7)



CONSTRUCTION STORMWATER CONTROL & POST CONSTRUCTION SOIL MANAGEMENT PLAN: SCALE 1/8" = 1'-0"

NOTE: THIS PLAN IDENTIFIES THE MINIMUM MEASURES REQUIRED; ADDITIONAL MEASURES MAY BE REQUIRED BASED ON CONSTRUCTION METHODS AND ACTUAL AREA OF DISTURBANCE.

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING# 199712231848)
 LOT 1, MERCER ISLAND SHORT PLAT NUMBER 95-0521, RECORDED UNDER RECORDING NUMBER 9602019001, IN KING COUNTY, WASHINGTON, SAID SHORT PLAT DESCRIBED AS FOLLOWS:
 LOT 4 OF THE SULLIVAN SEGREGATION APPROVED MARCH 22, 1963 BY THE CITY OF MERCER ISLAND, RECORDED UNDER RECORDING NUMBER 8903100404, IN KING COUNTY, WASHINGTON;
 TOGETHER WITH AN EASEMENT FOR PRIVATE ROAD AND UTILITY EASEMENT, AS DELINEATED ON THE FACE OF THE SHORT PLAT.
 SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

HELD BEARING OF N 89°56'57" W ALONG MONUMENTED S.E. 76TH ST. AS SHOWN HEREON AND AS SHOWN ON R2, AND AS REFERENCED ON R1

REFERENCES

R1. MERCER ISLAND SHORT PLAT NO 95-0521, VOL. 107, PG. 186. RECORDS OF KING COUNTY, WASHINGTON.
 R1. RECORD OF SURVEY, VOL. 75, PG. 106. RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD88 PER GPS OBSERVATIONS

SURVEYOR'S NOTES

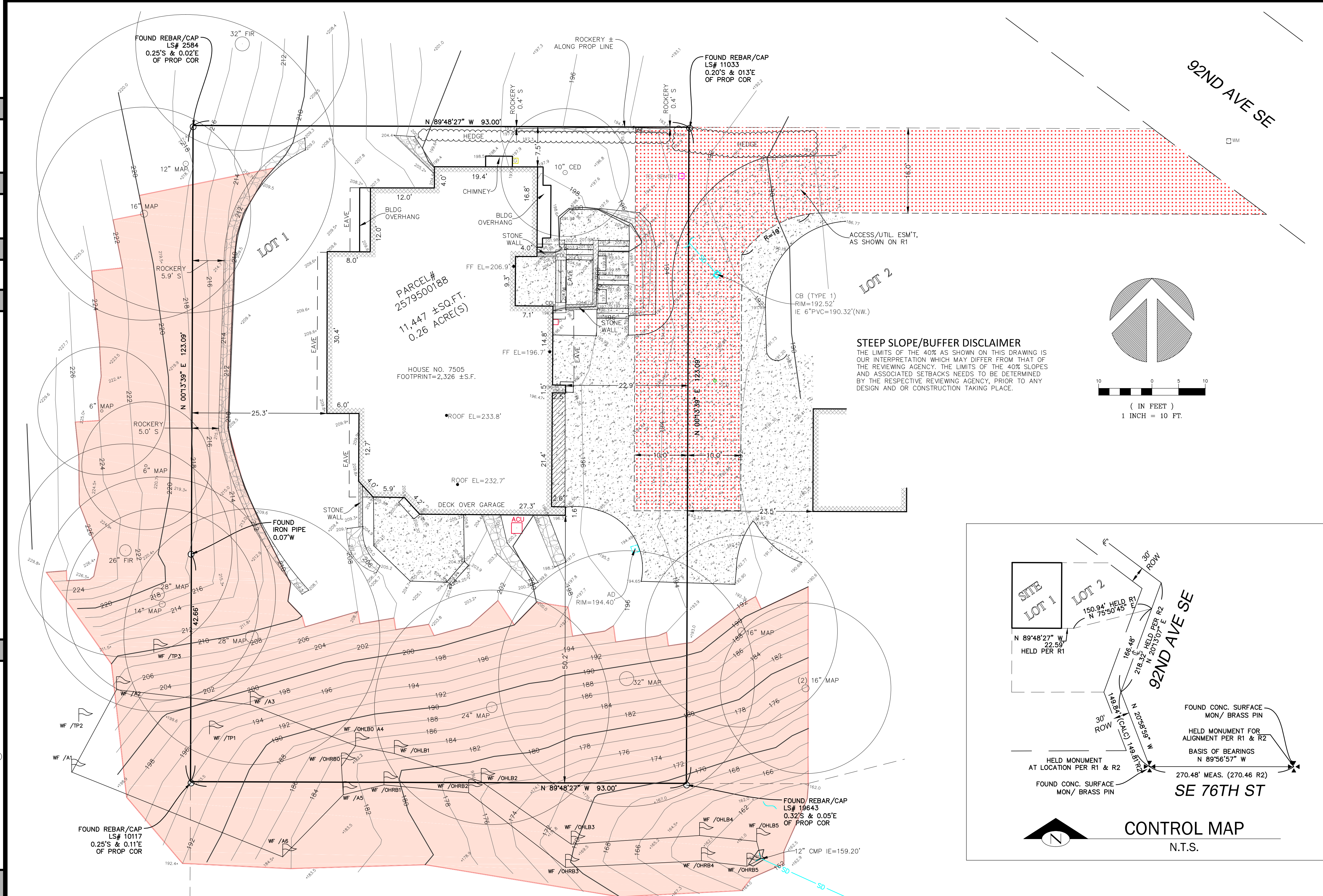
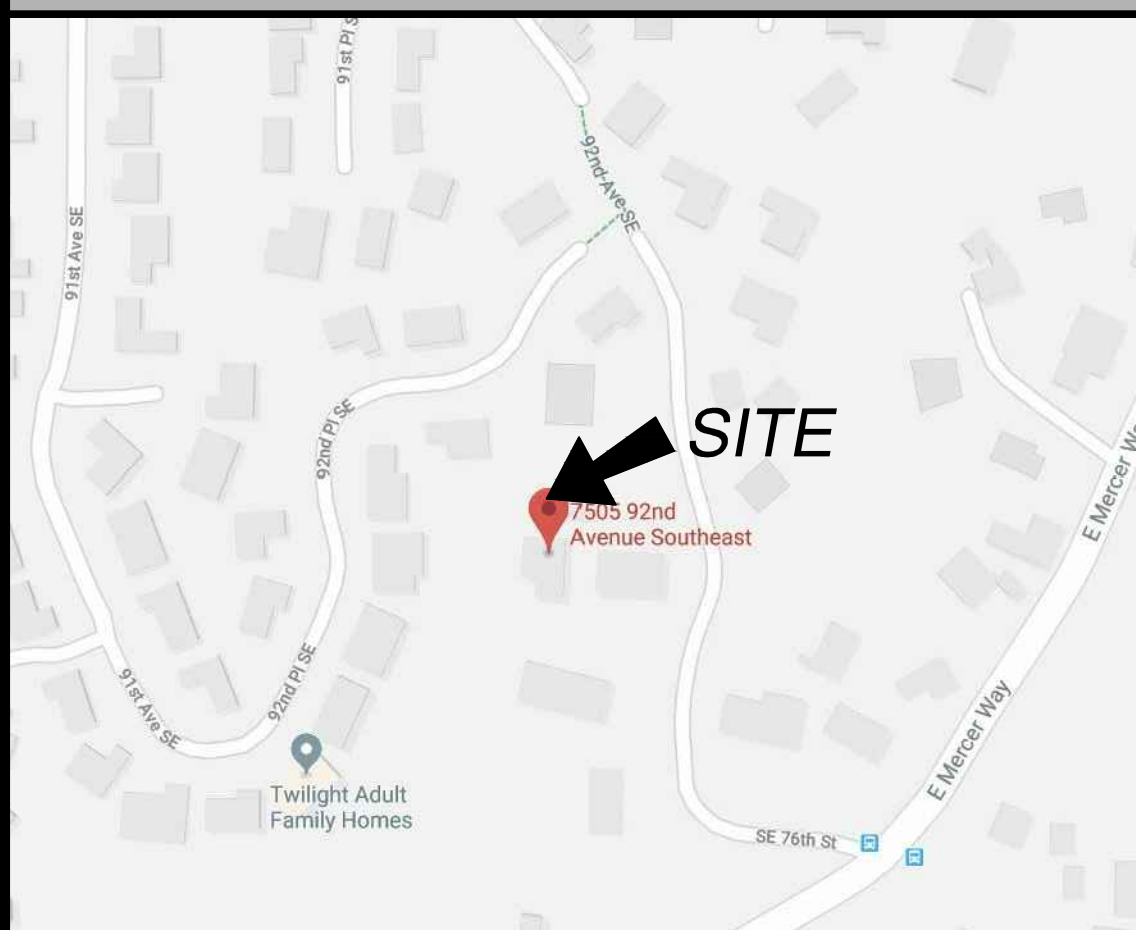
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JUNE OF 2018 & APRIL OF 2019. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. TERRANE ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
4. SUBJECT PROPERTY TAX PARCEL NO. 257950-0188
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 11,447 ±S.F. (0.26 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

AC UNIT	GAS METER
AREA DRAIN	HEDGE FOLIAGE LINE
BUILDING	INLET (TYPE 1)
CENTERLINE ROW	MONUMENT (SURFACE, FOUND)
CLEANOUT	POWER METER
COLUMN	REBAR/IRON PIPE AS NOTED (FOUND)
CULVERT PIPE	ROCKERY
CONCRETE SURFACE	STORM DRAIN LINE
RETAINING WALL	TELEPHONE SENTRY
DECK	WATER METER
UTILITY EASEMENT	TREE (AS NOTED)
WETLAND FLAG	STEEP SLOPE AREA

VICINITY MAP

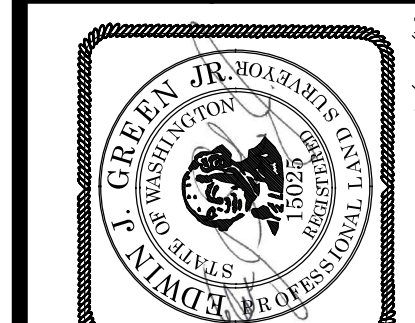
N.T.S.



measure success

TOPOGRAPHIC & BOUNDARY SURVEY
 NW 1/4 OF SE 1/4 SEC 30, TWP. 24 N., RGE 05 E., W.M.
 PARCEL NO. 2579500188

LAI RESIDENCE
 7505 92ND AVE SE
 MERCER ISLAND, WA 98040



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net

JOB NUMBER:	181046
DATE:	07/04/18
DRAFTED BY:	IDV/MD
CHECKED BY:	EJG/TMM
SCALE:	1" = 10'
REVISION HISTORY	
4/22/19	ADDED WETLAND
	INFO
SHEET NUMBER	
1 OF 1	

JM
Johns Manville

JM TPO — 80 mil
Thermoplastic Polyolefin Membrane

Meets or exceeds the requirements of ASTM D 6878

Features and Components

Thickness Over Scrim: Optimized and tested on a continual basis with a state-of-the-art thickness gauge to verify that the thickness valued by our customers is incorporated into the sheet.

One of the Widest Melt Windows: Promotes better welds over a wider variety of speeds and temperatures, and leads to a softer, more flexible and workable sheet.

Reinforced fabric scrim layer and top-ply thickness: Lends to durable physical properties including:

- Long-term weathering, UV resistance and heat-aging properties
- High breaking and tearing strength

Optimized TPO formulation: delivers high-performance ozone resistance, cool roof reflectivity and overall weather resistance.

System Compatibility This product may be used as a component in the following systems. Please reference product application for specific installation methods and information.

Multi-Ply	BUR	APP	SBS
HA	CA	HW	SA

Do not use with Multi-Ply systems

Single-Ply	TPO	PVC	EPDM	BA
MF	AD	AD	AD	BA

Compatible with the selected Single-Ply systems above

Key: HA = Hot Applied CA = Cold Applied HW = Heat Weldable SA = Self Adhered MF = Mechanically Fastened AD = Adhered BA = Ballasted

Energy and the Environment

Standard	Reflectivity	Emissivity
CRRC*	White Initial 0.77 0.87	0.87
	Tan 3 Yr. Aged 0.70 0.86	0.86
	Gray 3 Yr. Aged 0.62 0.90	0.90
CA Title 24	White Pass	SR-75
	Tan 3 Yr. Aged	SR-75
	Gray 3 Yr. Aged	SR-75
ENERGY STAR*	White Initial 0.77 0.87	0.87
	Tan 3 Yr. Aged 0.70 0.86	0.86
	Gray 3 Yr. Aged 0.62 0.90	0.90
LEED* (SRI)	White Initial 95	95
	Tan 3 Yr. Aged 81	81
	Gray 3 Yr. Aged 79	79
Recycled Content	Post-consumer 0%	0%
	Post-industrial 5%	5%

The LEED* Solar Reflectance Index (SRI) is calculated per ASTM E1990.

Peak Advantage® Guarantee Information

Product	Guarantee Term
JM TPO 80 mil	5, 10, 15, 20, 25, or 30 yrs

Codes and Approvals

UL US FM APPROVED

Refer to the Safety Data Sheet and product label prior to using this product. The Safety Data Sheet is available by calling (800) 922-5922 or on the Web at www.jm.com/roofing.

JM
Johns Manville

JM TPO — 80 mil
Thermoplastic Polyolefin Membrane

Meets or exceeds the requirements of ASTM D 6878

Tested Physical Properties

Physical Properties	ASTM Test Method	Standard for ASTM D 6878 (Min.)	JM TPO — 80 mil MD*	XMD**
Breaking Strength, min, lbf (N)	D 751	220 (976)	464 (2,064)	439 (1,953)
Elongation at Break, min %	D 751	15	29	31
Tearing Strength, min, lbf (N)	D 751	45 (200)	65 (288)	179 (796)
Factory Seam Strength, min, lbf (N)	D 751	66 (290)	137 (609)	
Thickness, min, in.	D 751	+/- 10% from Nominal	0.080 (Nominal)	
Thickness Over Scrim, min, in. (mm)	D 7635	0.015	0.033 (0.84)	
Water Absorption, max, %	D 471	3.0	0.03	
Brittleness Point, max, -40°F	D 2137	No Cracks	Pass	
Ozone Resistance	D1149	No Cracks	Pass	
Properties after Heat Aging @ 240°F	D 573	Pass/Fail	Pass	
Breaking Strength, % (after aging)	D 751	90	>90	>90
Elongation, % (after aging)	D 751	90	>90	>90
Tearing Strength, % (after aging)	D 751	60	>60	>60
Weight Change, max, % (after aging)	D 751	±1.0	0.22	
Linear Dimensional Change, max, % (after 6 hrs @ 158°F)	D 1204	±1.0	<0.1	
Accelerated Weathering, min	G 151 & G 155	10,080 kg/m ² ·nm @ 340 nm (4,000 hrs @ 0.70 W)	>20,160 kg/m ² (>8,000 hrs)	
Cracking (@ 7x magnification)	G 155	No Cracks	Pass	

*MD = Machine Direction
**XMD = Cross-Machine Direction
Note: All data represents tested values.

Supplemental Testing

Physical Properties	ASTM Test Method	Standard for ASTM D 6878 (Min.)	JM TPO — 80 mil Result
Dynamic Puncture	D 5635	N/A	Pass @ 25 Joules
Static Puncture	D 5602	N/A	Pass @ 44 lb (20 kg)
Impact Resistance of Bituminous Roofing Systems	D 3746	N/A	Pass - minor indentations
Reflectance	C 1549	N/A	78%
	E 903	N/A	80%
	C 1371	N/A	0.87
Emissance	E 408	N/A	0.96
	E 1980	N/A	95
Resistance of Synthetic Polymer Material to Fungi	G 21	N/A	0 rating
Puncture Resistance (FTMS 101C, Method 2031)	N/A	N/A	526 lb (239 kg)
Moisture Vapor Transmission	E 96	N/A	0 g/m ² per 24 hours
Hydrostatic Resistance, Mullen	D 751	N/A	474 PSI (3268 kPa)
Standard Test Method for Air Permeance of Building Materials	E 2178	N/A	Pass @ <0.0005 L/(s·m ²) (Pass @ <0.0001 CFM/ft ²)

Refer to the Safety Data Sheet and product label prior to using this product. The Safety Data Sheet is available by calling (800) 922-5922 or on the Web at www.jm.com/roofing.

HOMEOWNER AND REPRESENTATIVES SHALL HOLD CITY OF MERCER ISLAND AND ALL OTHER PARTIES HARMLESS FOR THE USE OF THE MATERIALS REPRESENTED HEREIN

PAVER PEDESTAL SPEC:

BlackJack® Component

BlackJack® Height Chart

Technical Specifications

Material	Recycled Polypropylene
Height Range	2 1/8" - 4" (24mm - 101.6mm)
Ultimate Compressive Strength*	15.0k (3372.9kg)
Design Compressive Strength*	11.0k (2479.5kg)
Flare Connection	White Polypropylene
Base Diameter	7 1/2" (190.5mm) & 8" (203.2mm) B-2
Spacer Tab Height	5/8" (15.9mm)
Spacer Tab Thickness	1/8" (3mm) gap between slabs
Joint Holder	1.34" to 1.51" (34mm to 38mm) joint width
Biological / Chemical Resistance	Unaffected by acids and alkalis. Good resistance to oil and turpentine.

Accessories

- B) Spacer Tabs 3mm
- B) Joint Holder
- B) Top Slope Connector

FLOOR PLAN LEGEND SEE A-C FOR GENERAL LEGEND

SYMBOL	DESCRIPTION	REMARKS
(E)M	EXHAUST FAN	See Mechanical Plans
SA	SMOKE ALARM	See Sheet A-C General Notes Fire Protection Section
---	NEW WALL (Line of Studs)	2x studs @ 16" O.C.
---	NEW SOUND WALL	Staggered 2x studs with rock wool sound batts
---	EXISTING TO REMAIN	
---	EXISTING TO REMOVE	

GENERAL PROPOSED NOTES

(D) = DEMOLITION
(E) = EXISTING
(P) = PROPOSED

-(P) HEATER
-(P) MOTORIZED SCREENS
-(P) RAILING CONSISTENT WITH STYLE OF EXISTING
-(P) CEDAR CEILING WITH RECESSED CANS TO MATCH (E) ENTRY

GENERAL DEMOLITION NOTES

JOSH
ARTISAN + ARCHITECT

206 708 9933 JoshArch.COM

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9388 REGISTERED ARCHITECT

JOSHUA BRINCKO
STATE OF WASHINGTON

PATIO FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXISTING SFR; NOT IN SCOPE

(P) CONC RETAINING WALL W/ DRAIN MAT, FREE DRAINING GRAVEL & PERFORATED DRAIN PIPE

(E) CHIMNEY

(E) RAILING AND DECKING TO BE REMOVED & REPLACED W/ PRECAST PAVERS ON PEDESTALS OVER JOHNS MANVILLE JM TPO 80MIL WHITE MEMBRANE. ALL PAVERS TO BE LEVEL W/ EXISTING DOORS

RELOCATE (E) VENT TO TOP OF CHIMNEY ABOVE (P) ROOF

MODIFY (E) 3 VENTS AS REQ. & RELOCATE TO SOUTH OF GARAGE UNDER STAIR PER MANUF. REQ.

SINK W/ WATER SHUT OFFS @ EXTERIOR WALL OF HOUSE

(D) ROCKERY

LOWER ACU AS REQ TO FIT BELOW STAIR

(E) ROCKERY

(P) STAIR, GUARDRAIL & HANDRAIL W/ STEEL CHANNEL STRINGERS & BRUSHED CONCRETE TREADS

(P) GUARD RAIL

10' TOP OF SLOPE SETBACK

ALL EXPOSED STRUCTURE TO BE NON-INCISED PRESSURE TREATED

(P) PATIO TO BE PRECAST PAVERS OVER COMPACTED GRAVEL W/ CONC RETAINING WALL @ PERIMETER; NOT TO EXCEED 30" HIGH

(P) COLUMNS W/ INTEGRATED SCREEN TRACK; EQUAL SPACING

22'-0"

12'-3 3/4"

16" @ 7" / 15" @ 12"

DOWN

TOP OF SLOPE

DESIGN SJB
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DATE [2019-0114 DESIGN]
[2019-0621 PERMIT]
[2020-0211 REV 1]
[2020-0413 REV 2]
[2020-0428 REV 3]

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MAIN FLOOR PLAN

CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONFIRM FINISHES TO BE MOCKED UP WITH ARCHITECT.

PLAN NORTH

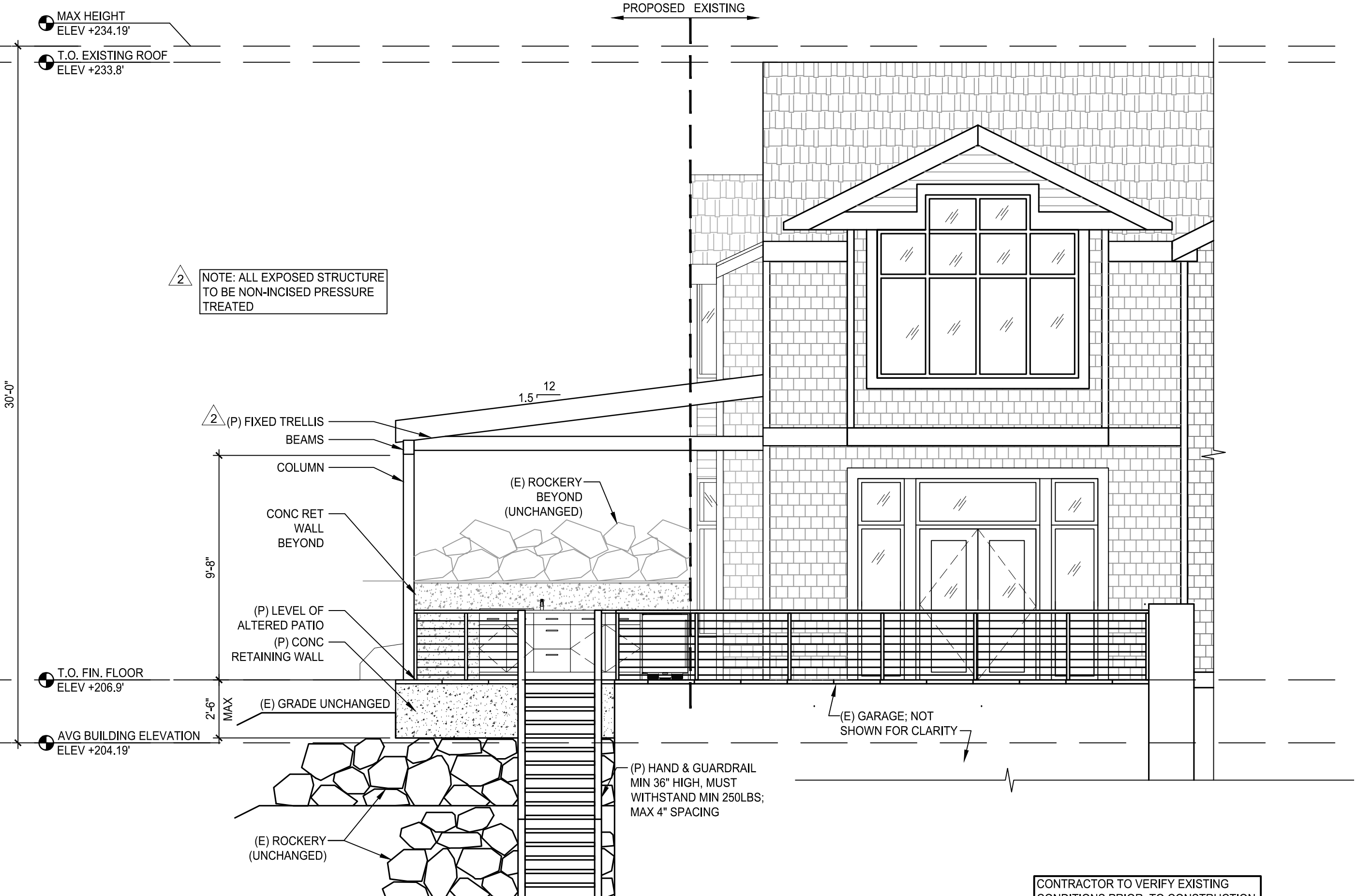
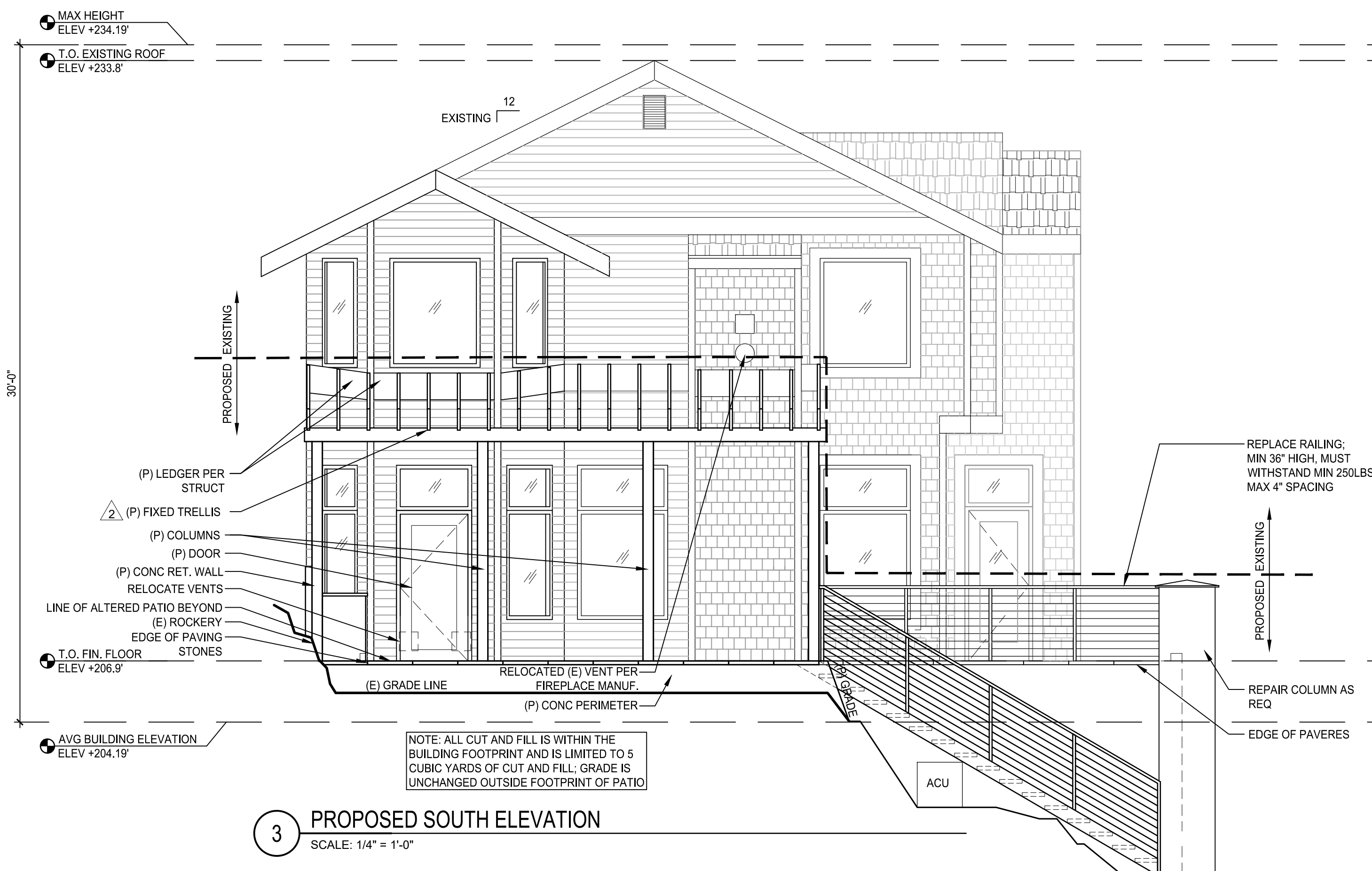
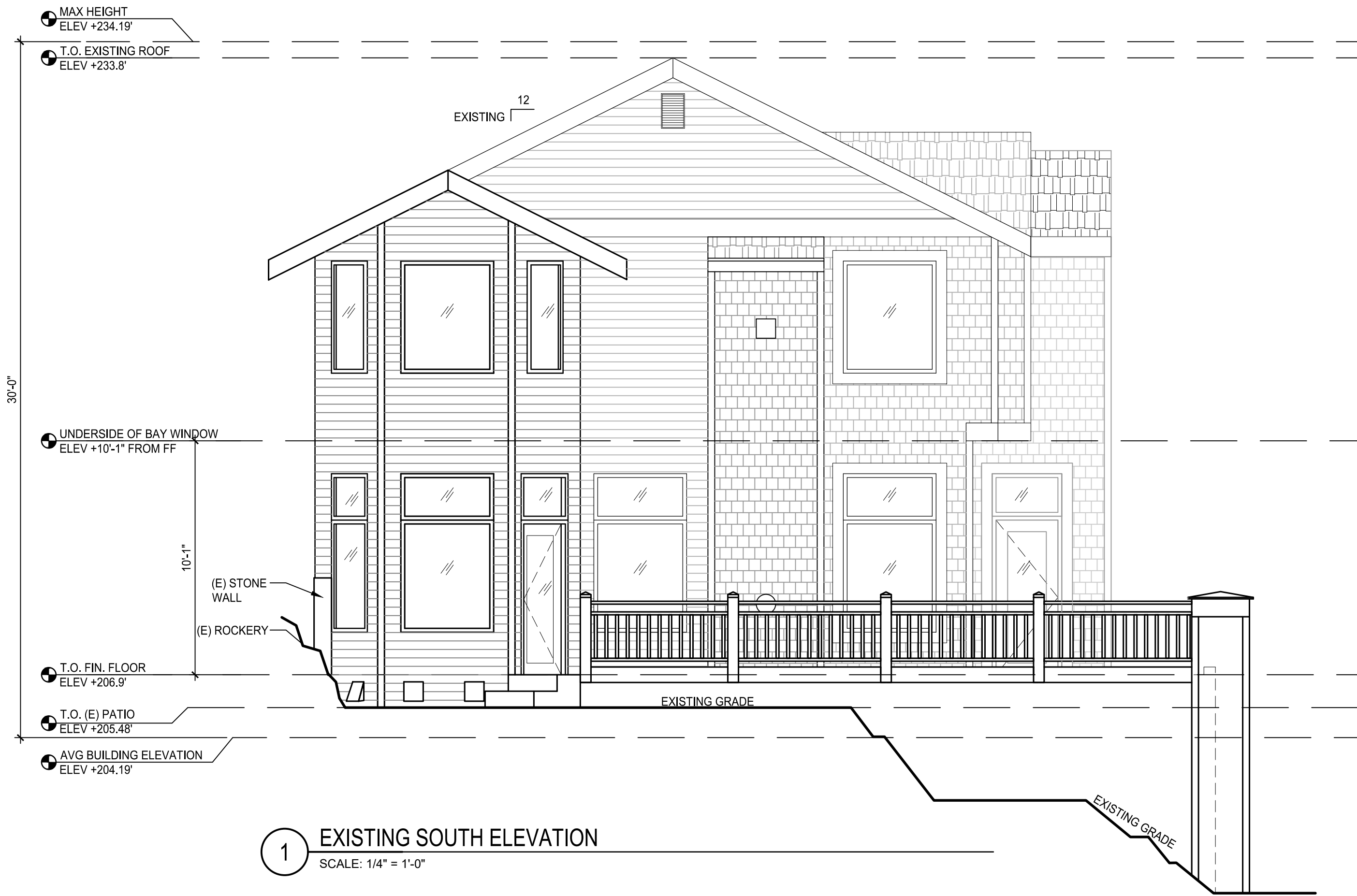
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ARCHITECT REQUIRES A MEETING WITH THE LABORERS INSTALLING SIDING AT THE BEGINNING OF THE FIRST WORKDAY TO EXPLAIN SIDING DETAILS AND SUBSEQUENT MEETINGS FOR EACH DIFFERENT SIDING MATERIAL TO BE INSTALLED.

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9388 REGISTERED ARCHITECT
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JOSHUA BRINCKO
STATE OF WASHINGTON



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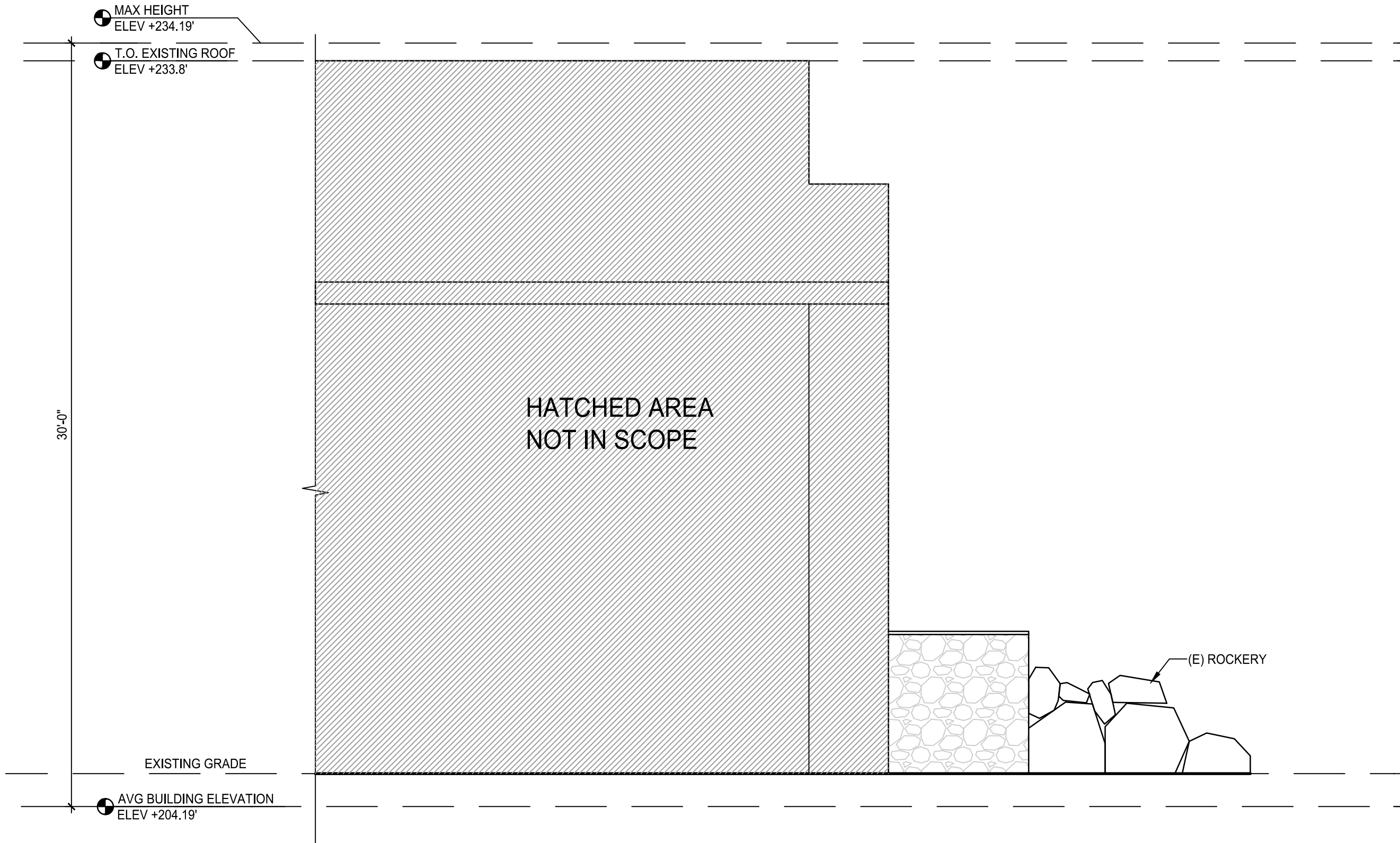
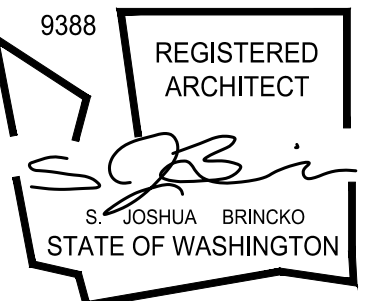
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ELEVATIONS

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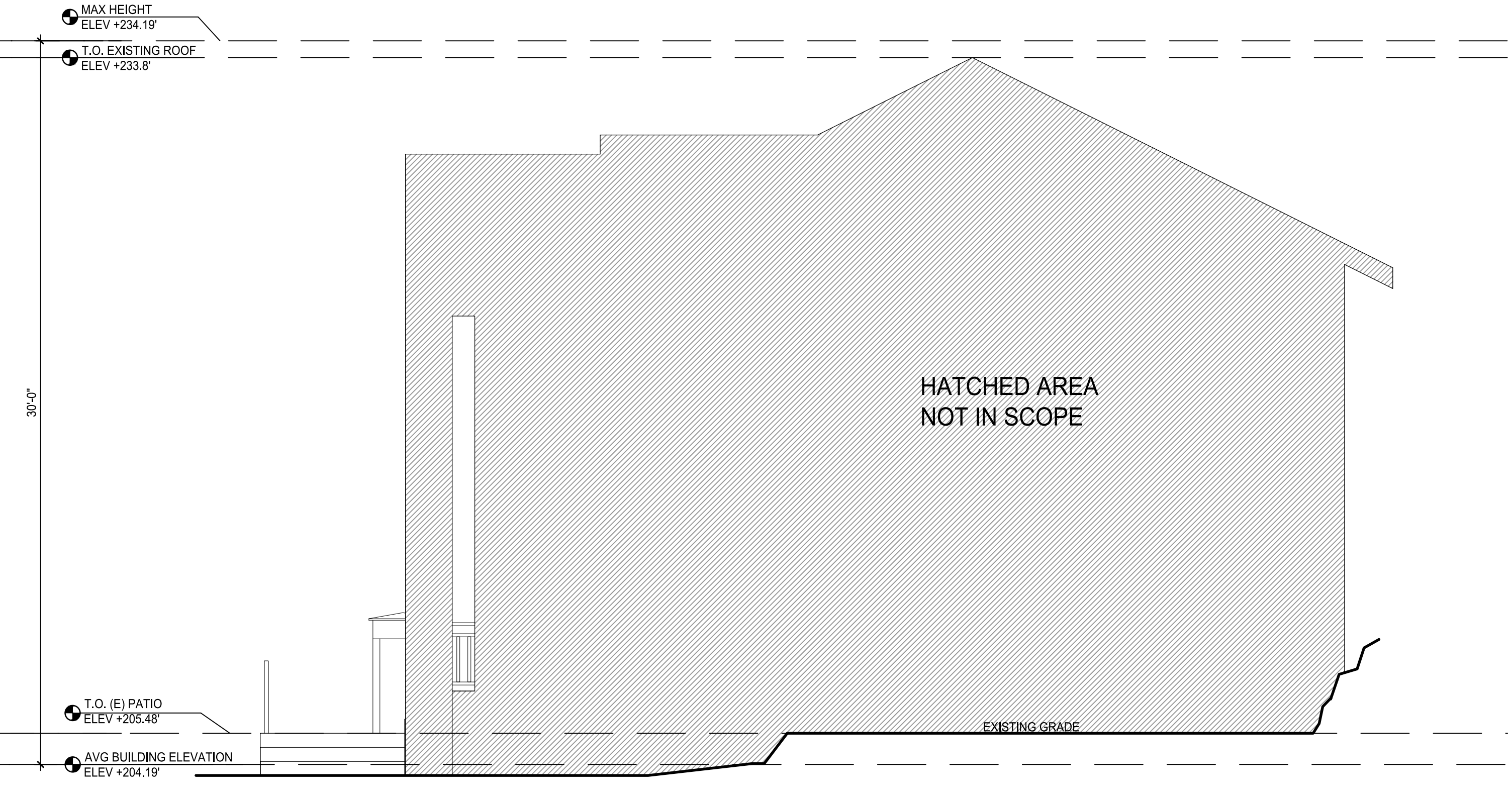
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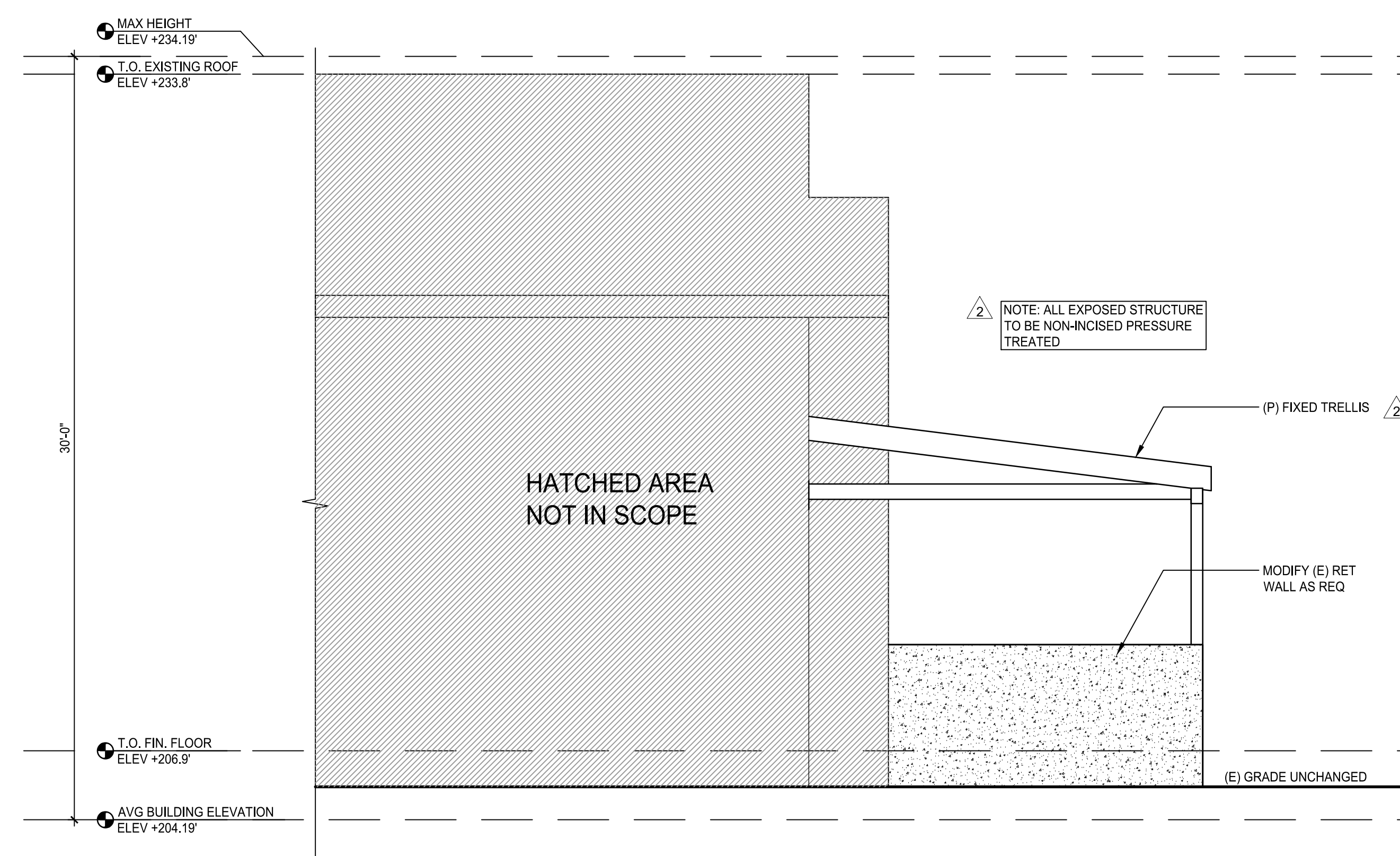
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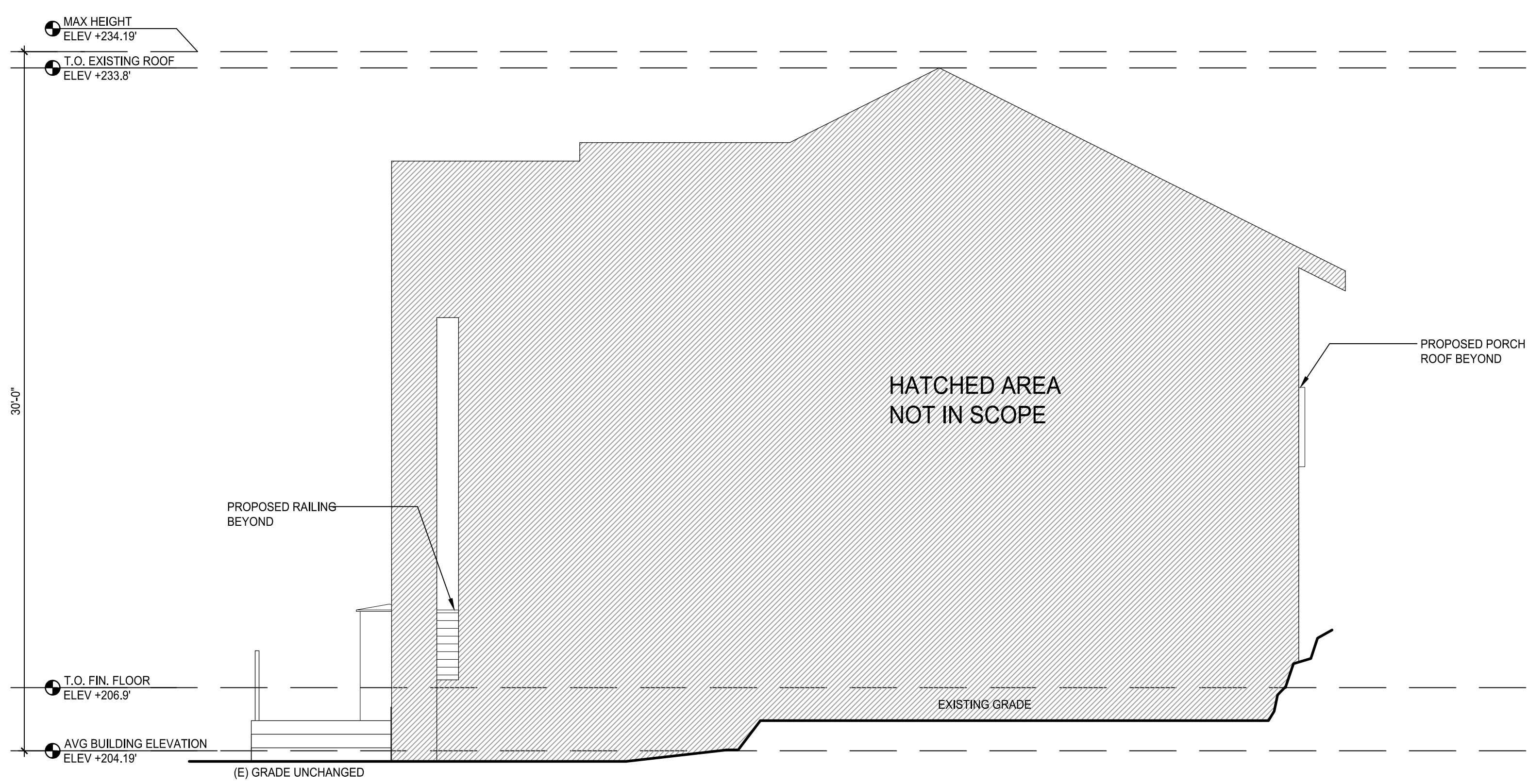
1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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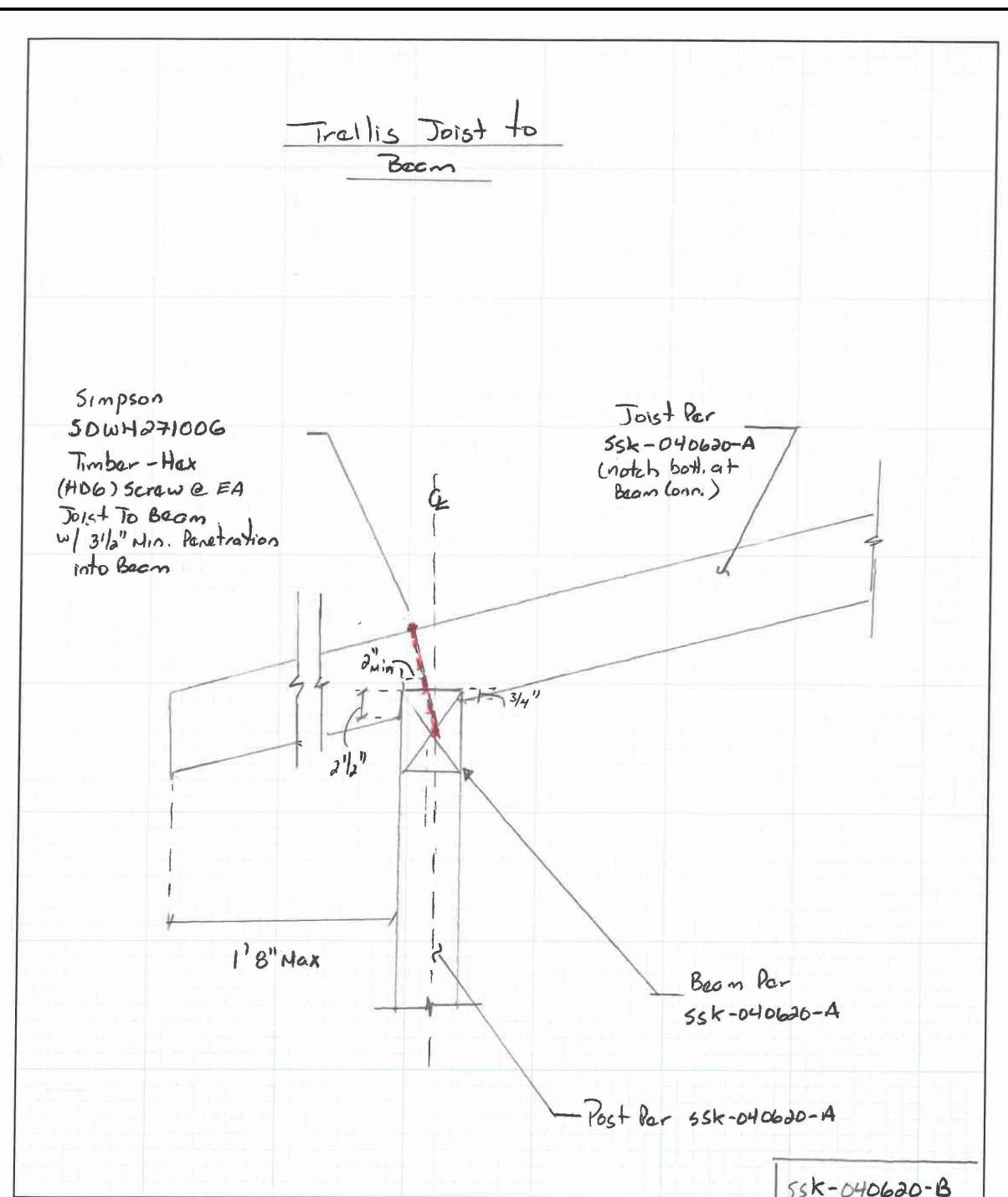
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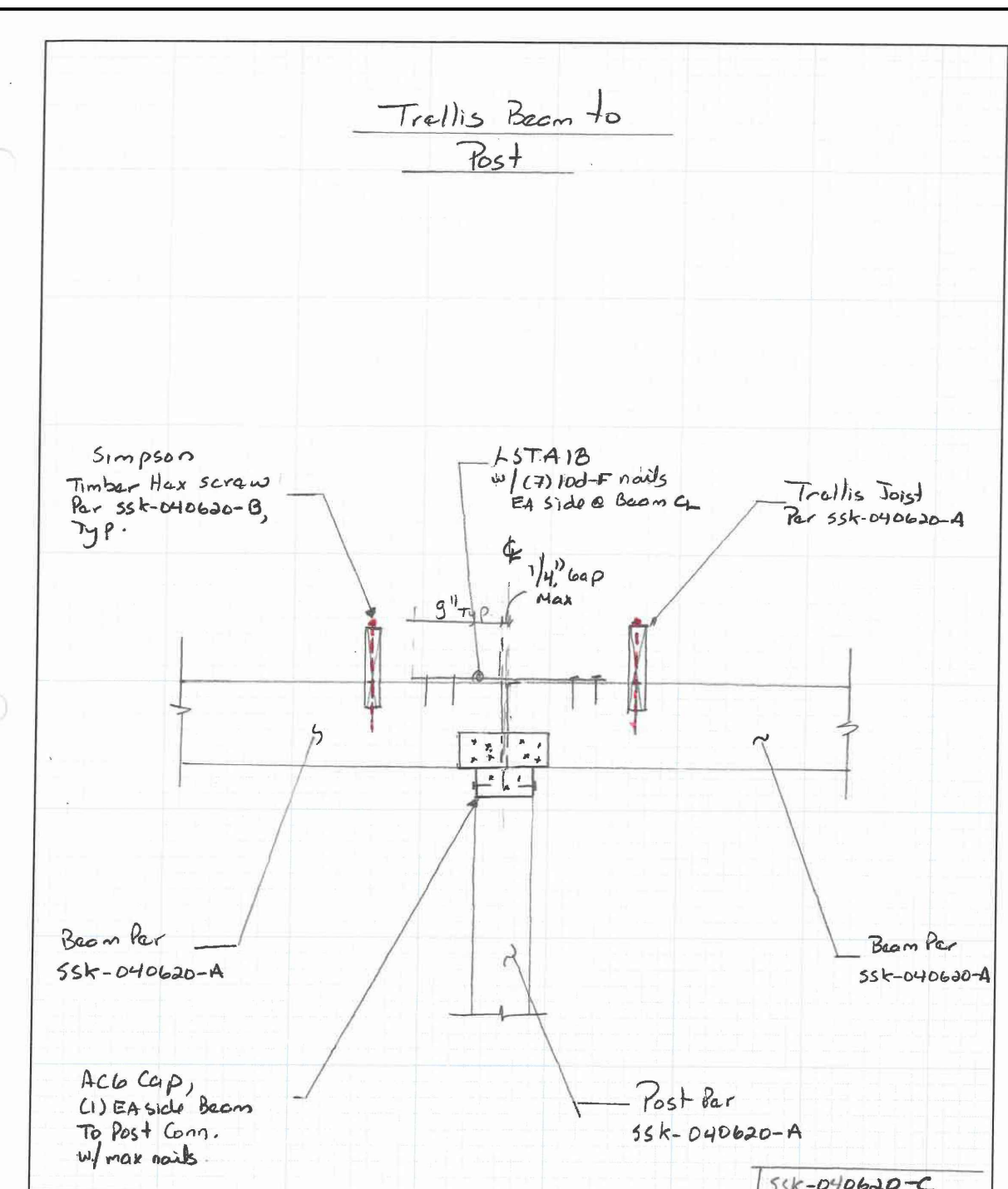
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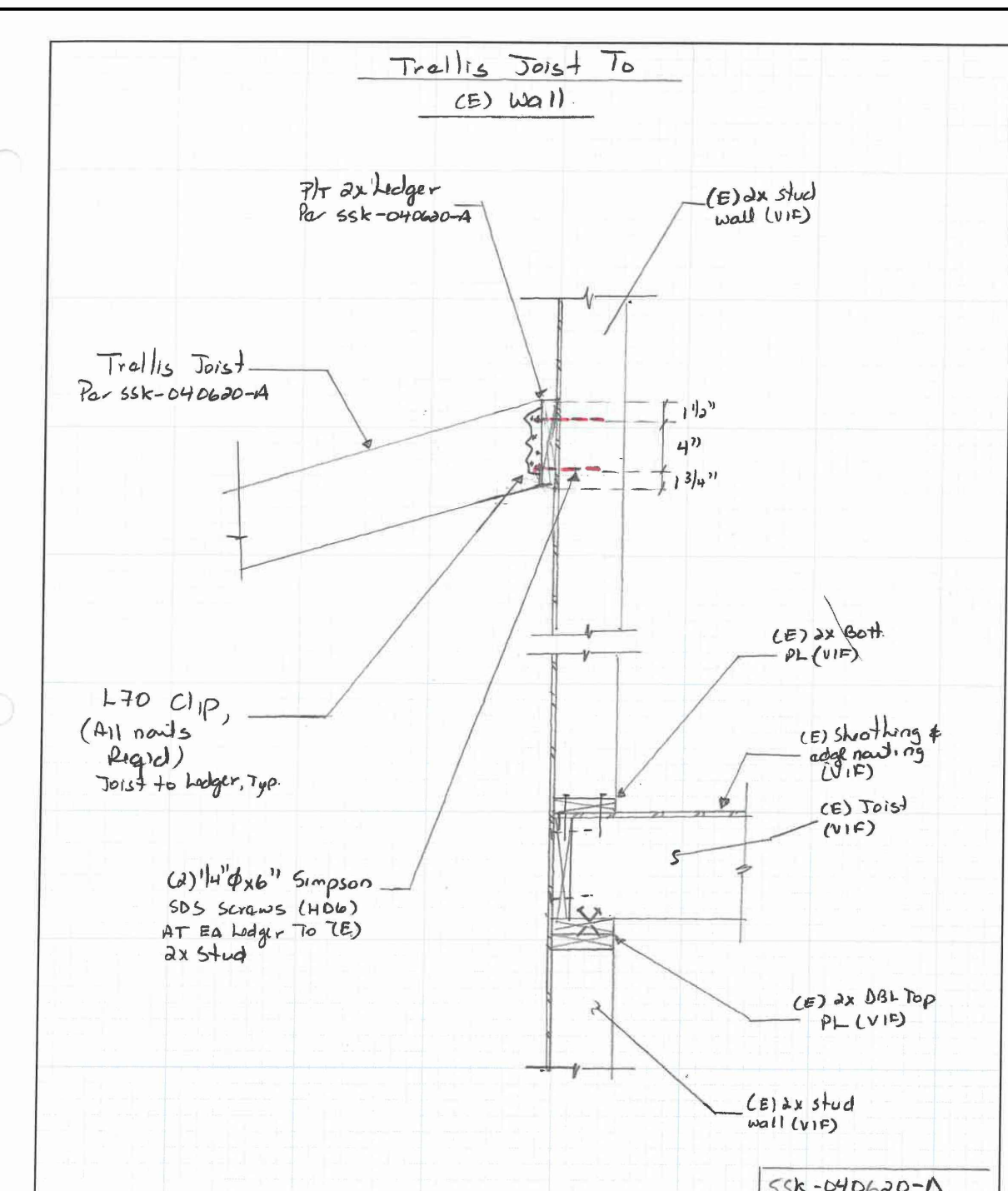
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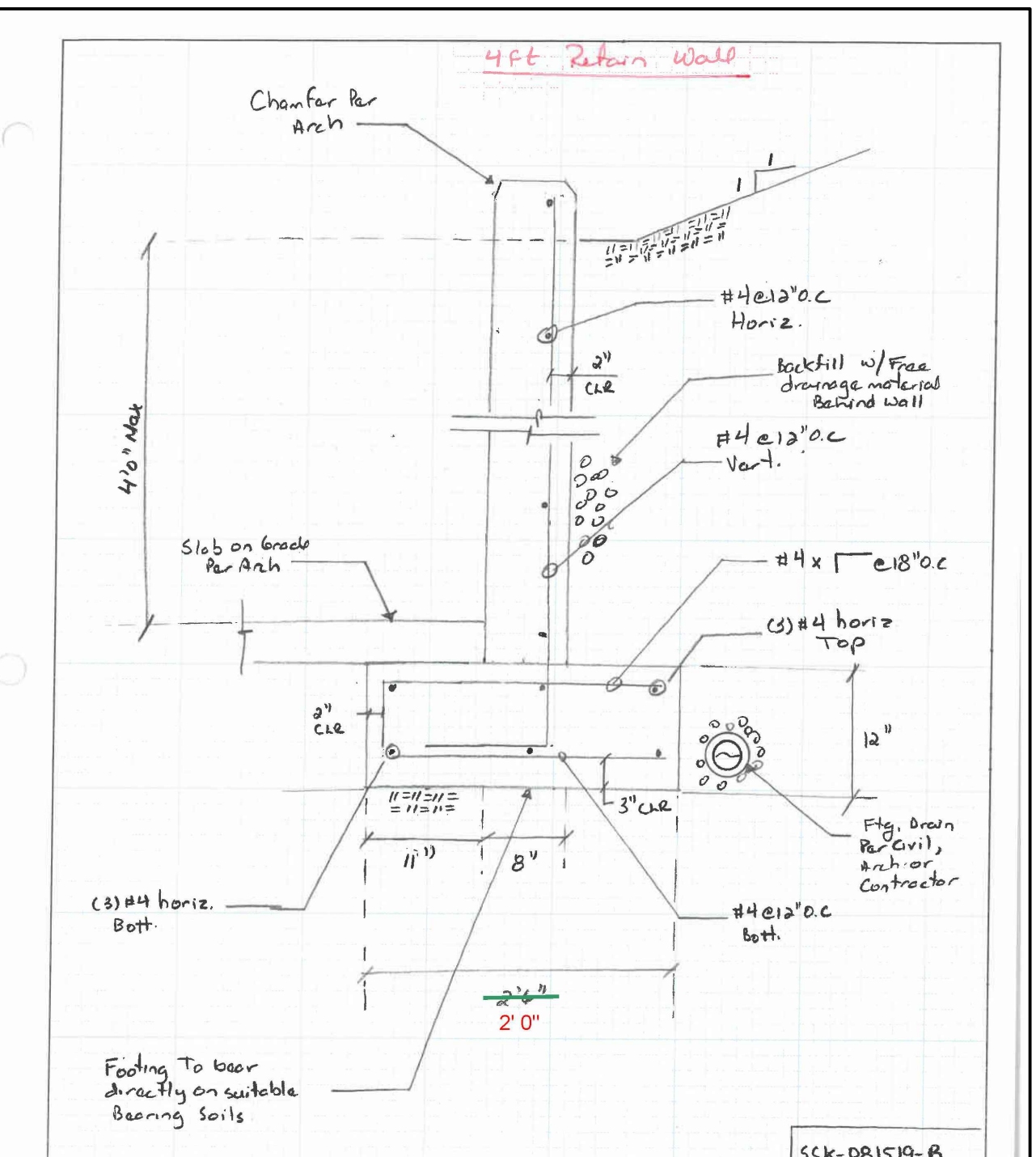
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Lai Deck Roof Trellis
04/10/2020 19175.02
1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101 TEL: 206.957.3900 FAX: 206.957.3901
client: Josh Artisan + Arch
checked by: MDA SSK-040620-B



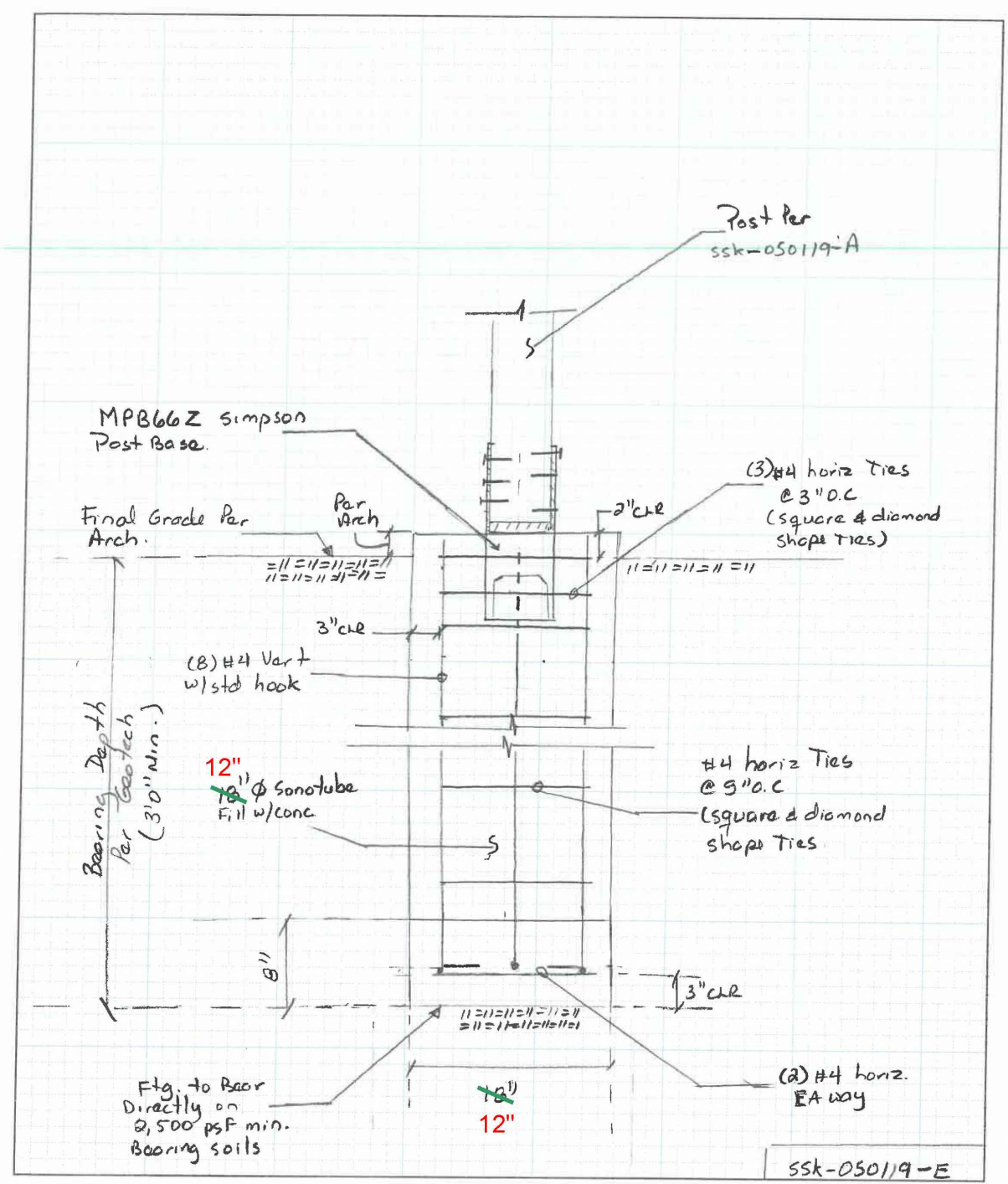
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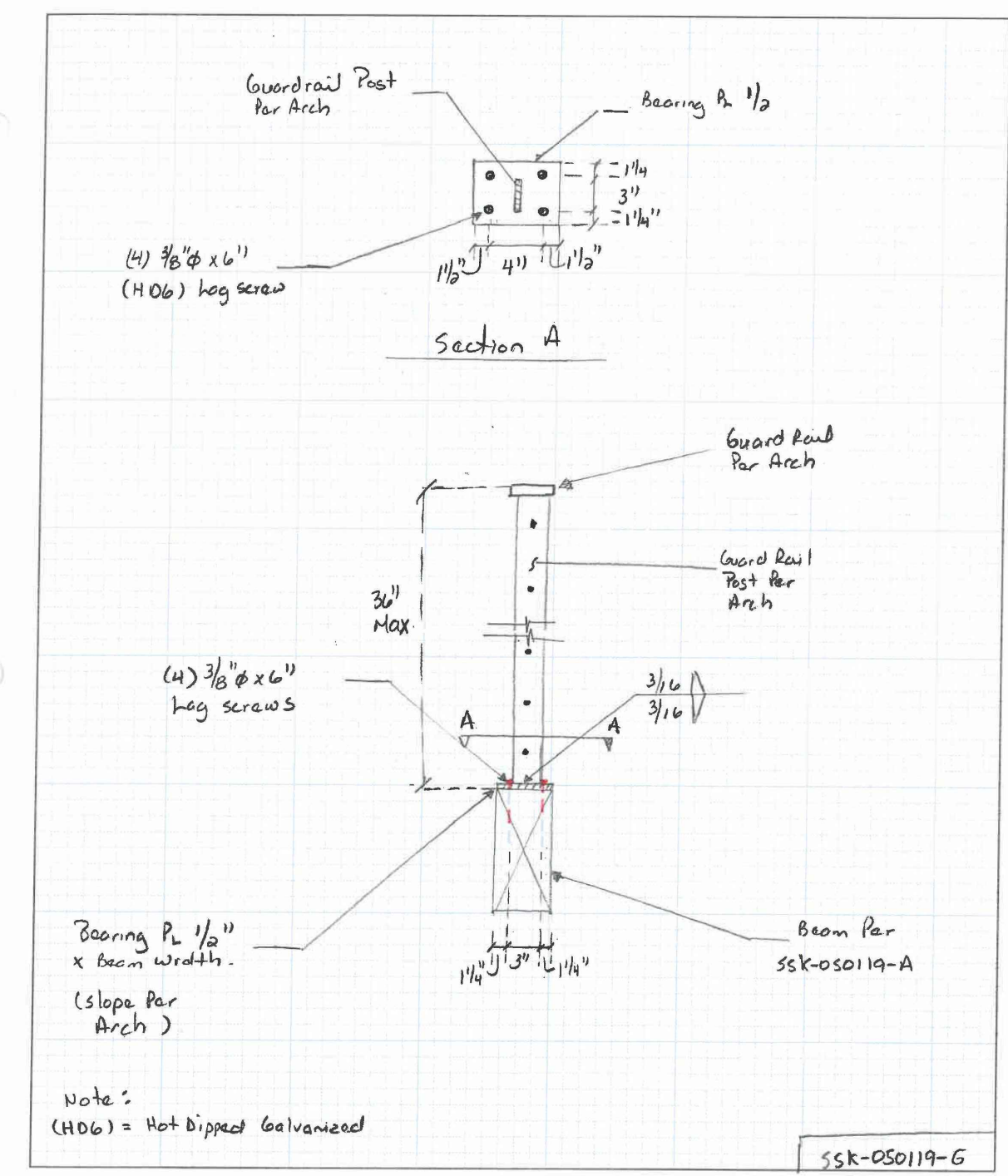
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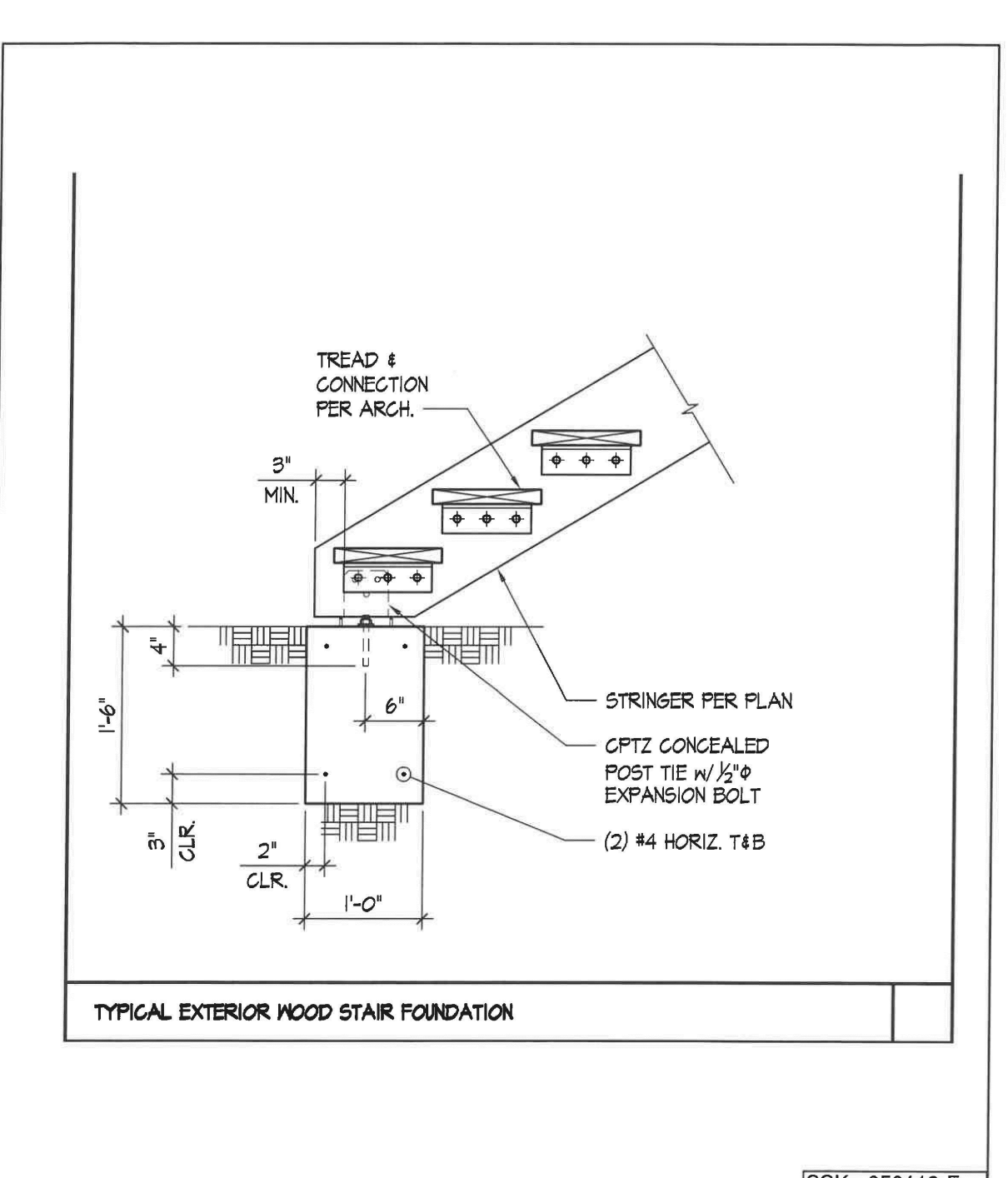
QUANTUM | CONSULTING ENGINEERS
Lai Deck Roof Addition (Return Wall)
08/15/2019 19175.01
1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101 TEL: 206.957.3900 FAX: 206.957.3901
client: Josh Architect
checked by: MDA SSK-081519-B



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Lai Deck Roof Addition
01/13/2019 19175.01
1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101 TEL: 206.957.3900 FAX: 206.957.3901
client: Josh Artisan + Arch
checked by: MDA SSK-050119-E



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Lai Guard Rail Connection
04/10/2019 19175.01
1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101 TEL: 206.957.3900 FAX: 206.957.3901
client: Josh Artisan + Architect
checked by: MDA SSK-050119-G



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Lai Deck Roof Addition
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client: Josh Artisan + Architect
checked by: MDA SSK-050119-F

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DETAILS

A8.0

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

WOOD CONTINUED

26. WOOD FASTENERS:

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

Drawing ID Nail Name Nail Diameter Nail Length
 "6d" 6d Common 0.113" 2"
 "8d Box" 8d Box 0.113" 2-1/2"
 "8d" 8d Common 0.131" 2-1/2"
 "10d-F" 10d Frammer 0.131" 3"
 "10d" 10d Shear 0.148" 2-1/4"
 "16d" 16d Sinker 0.148" 3-1/4"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

B. NAILS - SHEATHING FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

C. SCREWS SHALL BE WOOD SCREWS OF THE DIAMETER AND LENGTH NOTED ON THE DRAWINGS. SDS FASTENERS ARE SIMPSON STRONG DRIVE SCREWS.

D. HOT DIPPED GALVANIZED NAILS, BOLTS AND METAL PLATES - ALL NAILS, BOLTS AND METAL PLATES IN CONTACT WITH PRESSURE TREATED (INCLUDING FIRE-RETARDANT TREATED) LUMBER SHALL BE HOT DIPPED GALVANIZED.

27. WOOD FRAMING NOTES: THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE IBC. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. TIGHTEN BOLTS AND LAG SCREWS SNUGLY AGAINST WOOD FRAMING AFTER WOOD HAS REACHED SPECIFIED MOISTURE CONTENT.

B. ROOF FRAMING: PROVIDE DOUBLE JOISTS AROUND ALL OPENINGS IN ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH 10d-F NAILS @ 8' O.C. STAGGERED UNLESS OTHERWISE NOTED.

C. POSITIVE CONNECTIONS: PROVIDE THE FOLLOWING SIMPSON CONNECTORS AT TYPICAL FRAMING UNLESS OTHERWISE NOTED ON PLAN OR DETAIL. PROVIDE CGQ/ECCQ CAPS AND FBS BASES AT POSTS. PROVIDE BC BASE WHERE POST BEARS ON WOOD FRAMING BELOW. PROVIDE LUS SERIES HANGERS FOR 2X FLOOR AND ROOF JOISTS. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED. ALL CONNECTORS EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH PRESSURE TREATED WOOD, SHALL BE HOT DIPPED GALVANIZED.

ABBREVIATIONS

⊙	At	L	Angle
d	Penny (Nails)	LL	Live Load
∅	Diameter	LLH	Long Leg Horizontal
		LLV	Long Leg Vertical
A.B.	Anchor Bolt	LONGIT.	Longitudinal
ADDL	Additional	LT. WT.	Lightweight
ALT.	Alternate		
APPROX.	Approximate	MATL.	Material
ARCH.	Architect	MAX.	Maximum
		MECH.	Mechanical
B.U.	Built-up	MEZZ	Mezzanine
B/	Bottom of	MF	Moment Frame
BF	Braced Frame	MFR.	Manufacturer
BLKG.	Blocking	MIN.	Minimum
BLDG.	Building	MISC.	Miscellaneous
BM.	Beam	MK.	Mark
BOT.	Bottom		
BRG.	Bearing	N.	North
BTWN.	Between	N.S.	Near Side
		NIC	Not in Contract
☉	Centerline	NO.	Number
C	Camber	NOM.	Nominal
C TO C	Center to Center	NTS	Not to Scale
CJP	Cast in Place		
C.J.	Construction Joint or Control Joint	O.C.	On Center
CLG.	Ceiling	O.D.	Outside Diameter
CLR.	Clear	O.F.	Outside Face
CMU	Concrete Masonry Unit	O.H.	Opposite Hand
CNTR.	Center	OPNG.	Opening
COL.	Column	OPP.	Opposite
CONC.	Concrete		
CONN.	Connections	PAF	Powder Activated Fastener
CONST.	Construction	PC	Precast
CONT.	Continuous	PERM.	Permanent
CJP	Complete Joint Penetration	PERP.	Perpendicular
C/SK.	Countersink	PL or PL	Plate
		PLF	Pounds per linear Foot
DBA.	Deformed Bar Anchor	PLYWD	Plywood
DBL.	Double	PJP	Partial Joint Penetration
DEG.	Degree	PREFAB.	Prefabricated
DET.	Detail	PROJ.	Project
DF	Doug Fir-Larch	PSF	Pounds per Square Foot
DIA.	Diameter	PSI	Pounds per Square Inch
DIAG.	Diagonal	P.T.	Post-Tensioning
DIAPHR.	Diaphragm	P/T	Pressure-Treated
DIM.	Dimension		
DN.	Down	RAD.	Radius
DO	Ditto	REF.	Reference
DWG.	Drawing	REINF.	Reinforce or Reinforcement
		REQD.	Required
(E)	Existing	REV.	Revise
E.	East	R.O.	Rough Opening
EA.	Each		
E.F.	Each Face	S.	South
EL.	Elevation	SCH. or SCHED.	Schedule
ELEV.	Elevator	SECT.	Section
EMBED.	Embedment Length	SHT.	Sheet
ENGR.	Engineer	SIM.	Similar
E.N.	Each Way	SOG	Slab On Grade
EXP.	Expansion	SPEC.	Specification
EXT.	Exterior	SQ.	Square
		SQ. FT.	Square Feet
FDN.	Foundation	SQ. IN.	Square Inch (Inches)
FIN.	Finish	STD.	Standard
FLR.	Floor	STIFF.	Stiffener
FRP	Fiber Reinforced Polymer	STL.	Steel
F.S.	Far Side	STR.	Structural
FT.	Foot or Feet	SUB.	Substitute
FTG.	Footing	SYM.	Symmetrical
GA.	Gauge	T/	Top of
GALV.	Galvanized	T&B	Top and Bottom
GL	Glue Laminated	T&G	Tongue & Groove
GRD.	Grade	THRU	Through
GWB	Gypsum Wall Board	TEMP.	Temporary
		T.O.C.	Top of Concrete
HF	Hem Fir	T.O.S.	Top of Steel
HGR.	Hanger	T.O.W.	Top of Wall
HORIZ.	Horizontal	TRANS.	Transverse
HSS	Hollow Structural Section	TS	Tube Steel
HT.	Height	TYP.	Typical
I.D.	Inside Diameter	UNO or UNO	Unless Otherwise Noted
I.F.	Inside Face		
IN.	Inch	VERT.	Vertical
INFO.	Information	VIF	Verify in Field
INT.	Interior		
		W.	West
JT.	Joint	W or w/	With
		WD	Wood
KSF	Kips per Square Foot	W.H.S.	Welded Headed Stud
KSI	Kips per Square Inch	W/O	Without
		WP	Work Point
		W.T.S.	Welded Threaded Stud
		WVF	Welded Wire Fabric
		X SECT.	Cross Section
		X-STR	Extra Strong



QUANTUM
CONSULTING ENGINEERS

1511 THIRD AVENUE
SUITE 323
SEATTLE, WA 98101
TEL 206.957.3900
FAX 206.957.3901
www.quantumce.com

SEAL:



PROJECT:

LAI DECK ROOF ADDITION

7505 92ND AVE SE
MERCER ISLAND WA
98040

APPROVAL:

NO.	PERMIT SET	DESCRIPTION	DATE	BY
			5/1/19	

ISSUES: ○ REVISIONS: △

P.M.	MDA
P.E.	JHW
DRAWN BY:	TTH
SCALE:	AS SHOWN
DATE:	TTH
JOB NO.	19175.01
SHEET TITLE:	

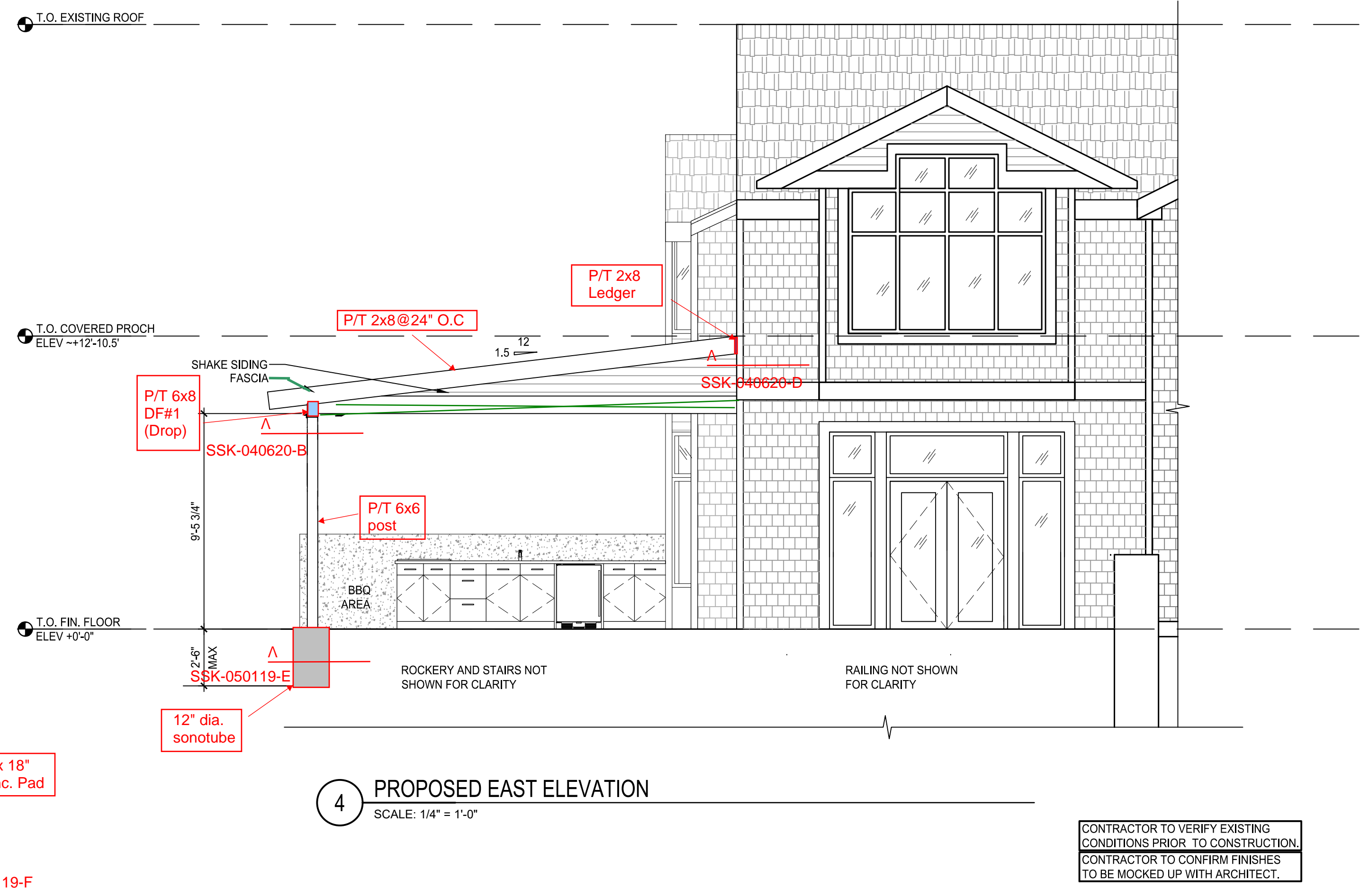
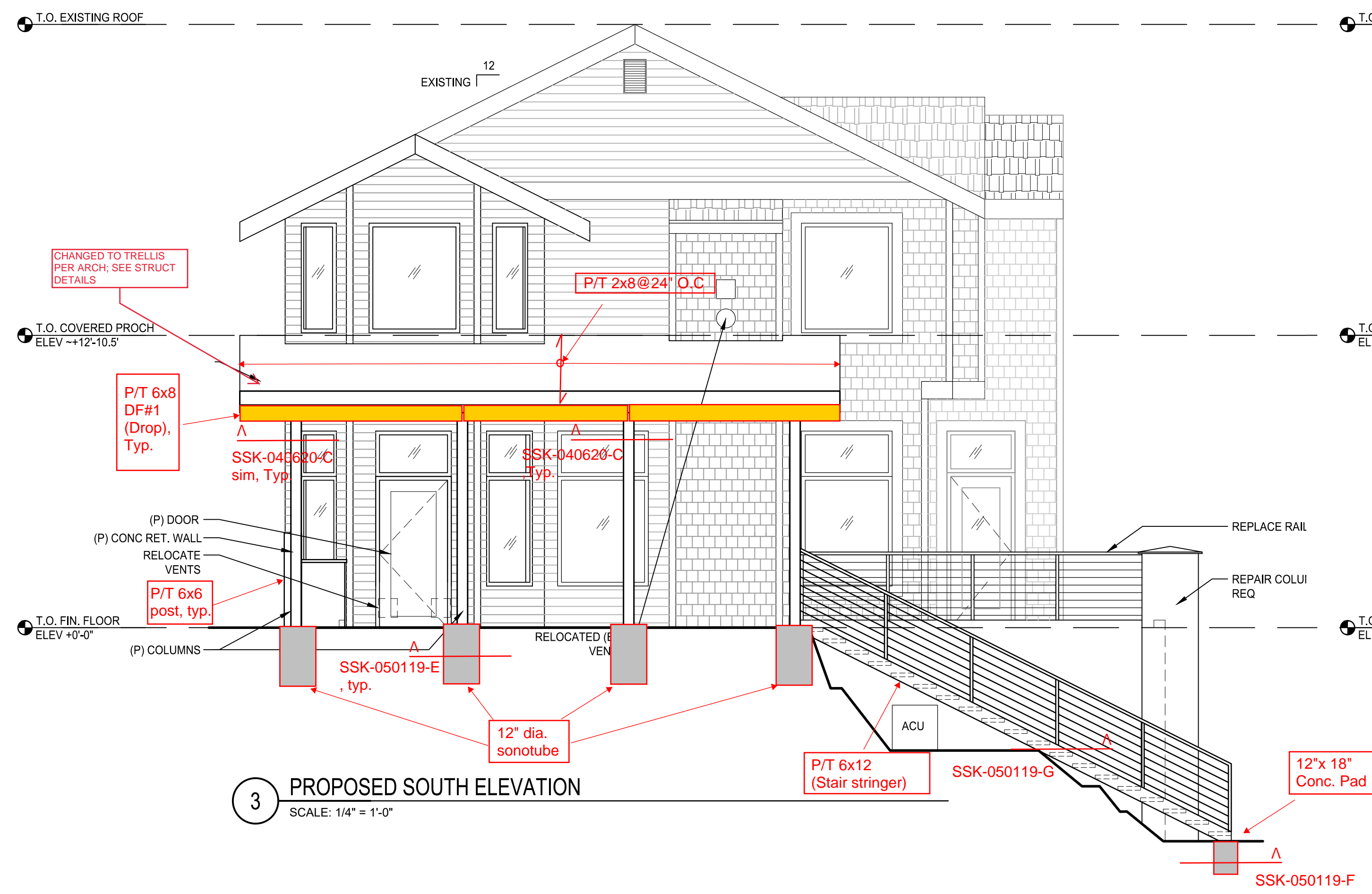
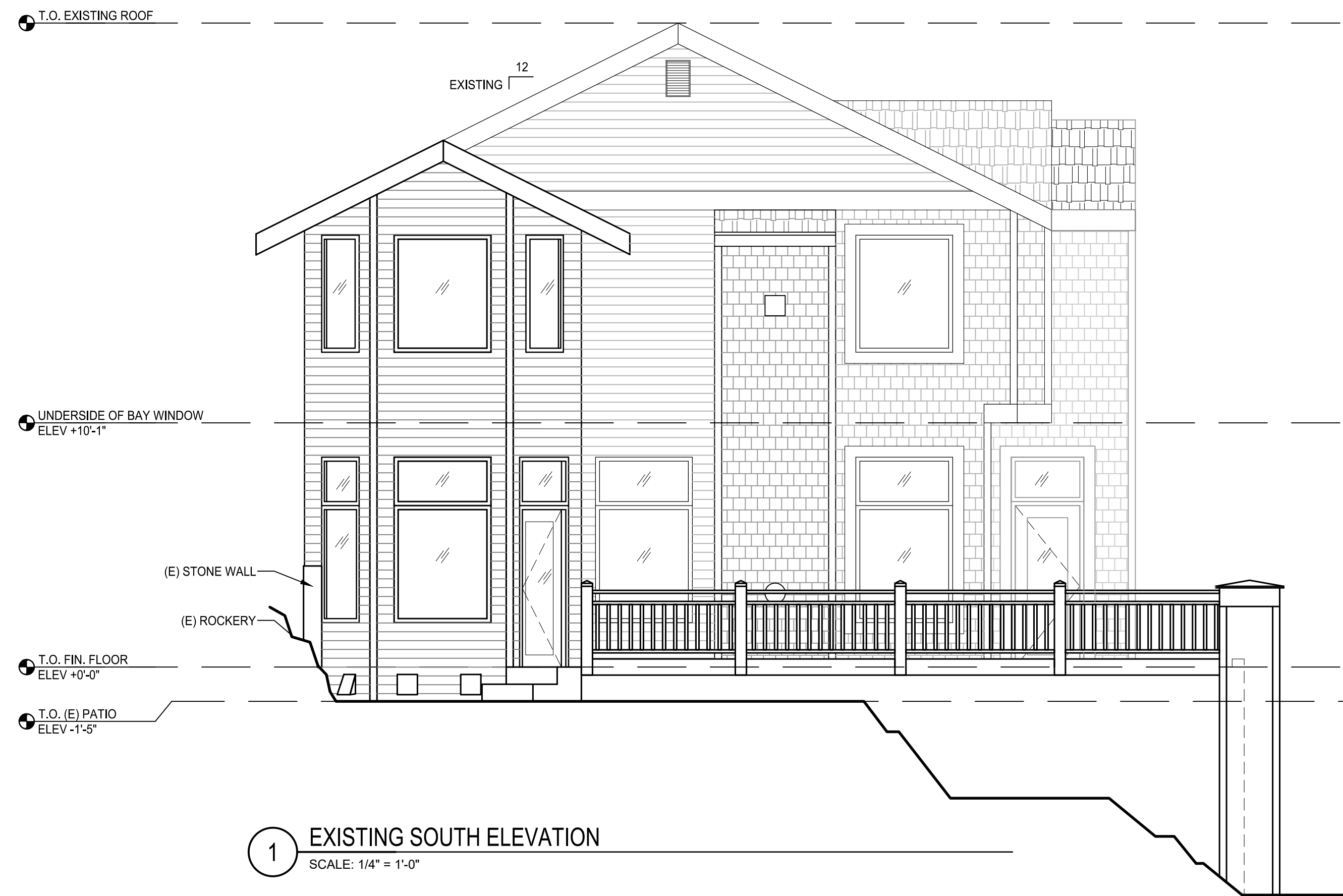
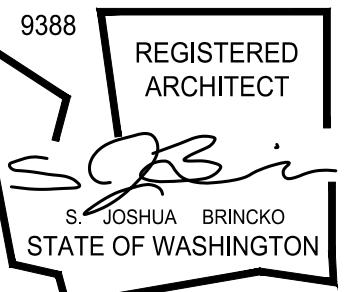
GENERAL STRUCTURAL NOTES & ABBREVIATIONS

SHEET NO. **S1.1**

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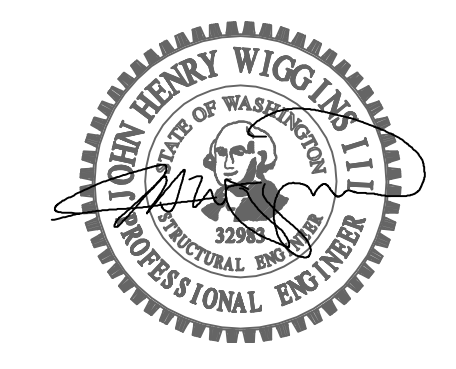
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[2020-0413 REV 2]



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