PROJECT DATA	PROPERTY DATA	ENERGY DATA
OWNER LAI JONATHANL@DCLMANAGEMENT.COM 7505 92ND AVE SE MERCER ISLAND, WA 98040 ARCHITECT JOSH PS 5406 SW BEACH DRIVE TER SEATTLE, WA 98116 SDCI ID: AC58960 CONTACT: S. JOSHUA BRINCKO (206 708 9933) JOSH@JOSHARCH.COM STRUCTURAL ENGINEER SWENSON SAY FAGET 2124 3RD AVE #100 SEATTLE, WA 98121 CONTACT: KARL ROSMAN (206 443 6212) KROSMAN@SWENSONSAYFAGET.COM CONTRACTOR OWNER GEOTECHNICAL ENGINEER PANGEO 3213 EASTLAKE AVE E, SUITE B SEATTLE, WA 98102 CONTACT: SIEW L. TAN, P.E. (206 262 0370)	PROJECT ADDRESS 7505 92ND AVE SE MERCER ISLAND, WA 98040 ZONING DESIGNATION R-9.6 19.02.020.E HEIGHT LIMIT 30' FROM AVERAGE GRADE TO HIGHEST POINT OF ROOF (5' BONUS FOR CHIMNEYS ETC.) *FENCES MAX 72" HIGH (50" LATTICE ALLOWED UP TO 90") SETBACKS FRONT: 20' NORTH SIDE: 7.5' SOUTH SIDE: 13.43' REAR: 25' LOT AREA 11447 SF ASSESSOR'S TAX NUMBER 257950-0188 LEGAL DESCRIPTION FLOODS LAKE SIDE TRS LOT "1" MERCER ISLAND SHORT PLAT NO 95-0521 REC NO 9602019001 SD SHORT PLAT DAF - POR OF LOT 2 BLK 5 OF FLOODS LAKE SIDE TRS - AKA LOT 4 OF THE SULLIVAN SEGREGATION APPROVED SUBD 03-22-63 OF CITY OF MERCER ISLAND REC NO 8903100404 PLAT BLOCK: 5 PLAT LOT: 2	PRESCRIPTIVE OPTION (ENERGY CREDIT 1A) INSULATION VALUES SLAB PERIMETER (FIRST 24") R-10 BELOW GRADE WALLS (EXTERIOR) R-10 BELOW GRADE WALLS (INTERIOR) R-21 ABOVE GRADE WALLS R-21 FLOORS R-30 ATTICS W/ 1" CLEAR VENT SPACE R-49 ADV FRAMED ATTICS W/ 1" CLEAR R-38 VAULTED JOISTS/RAFTERS R-38 FENESTRATION U-0.26 OVERHEAD GLAZING U-0.50 *ALL NEW FENESTRATION TO BE NFRC CERTIFIED
TABLE OF CONTENTS	CONSTRUCTION DATA	VENTILATION DATA
SHT DESCRIPTION A1.0 SITE PLAN + PROJECT INFORMATION A1.1 GENERAL NOTES A1.2 TESC A2.0 FLOOR PLAN A3.0 ELEVATIONS A8.0 DETAILS S1.0-1.1 STRUCT GENERAL NOTES SSK FOUNDATION PLAN AND ROOF FRAMING	SCOPE OF WORK REPLACE EXISTING DECK WITH PAVERS; ADD PATIO AND EXTERIOR KITCHENETTE AREA SUMMARY 19.02.020.D.1.b MAX GROSS FLOOR AREA (40%) 11,447 = 4578.8 SF MAX ALLOWED =4,500 SF EXISTING *STAIRCASE FROM FLOOR ONE TO TWO IS ONLY COUNTED ONCE CONDITIONED SPACE LOWER LEVEL MAIN LEVEL UPPER LEVEL TOTAL 1560 SQ FT 4160 SQ FT 4160 SQ FT UNCONDITIONED SPACE LOWER LEVEL TOTAL 630 SQ FT 630 SQ FT SEE SHEET A1.0a FOR HARDSCAPE AND LOT COVERAGE	SYSTEM DESIGN THIS SYSTEM IS DESIGN/BUILD (IRC CH. 15) SYSTEM CRITERIA MINIMUM OF .35 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS. MAXIMUM OF .50 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS. SYSTEM COMPONENTS TIMER INTAKE GRILL & DUCTING (FROM EXTERIOR) MOTORIZED DAMPER ELECTRIC AIR TEMPERING UNIT INTAKE BLOWER DISTRIBUTION DUCTING (HABITABLE ROOMS) DISTRIBUTION GRILLS (HABITABLE ROOMS) ELECTRIC EXHAUST FAN EXHAUST DUCTING EXHAUST PORT WITH BACK DRAFT DAMPER SYSTEM FUNCTION INTAKE BLOWER, AIR TEMPERING UNIT, AND EXHAUST FAN TO BE CONNECTED TO TIMER FOR SYNCHRONIZED, INTERMITTENT USE THROUGHOUT EACH DAY. FRESH AIR FROM THE EXTERIOR IS PULLED THROUGH AIR TEMPERING UNIT, THEN DISTRIBUTED THROUGH DUCTING TO ALL HABITABLE ROOMS. A BALANCED QUANTITY OF AIR IS

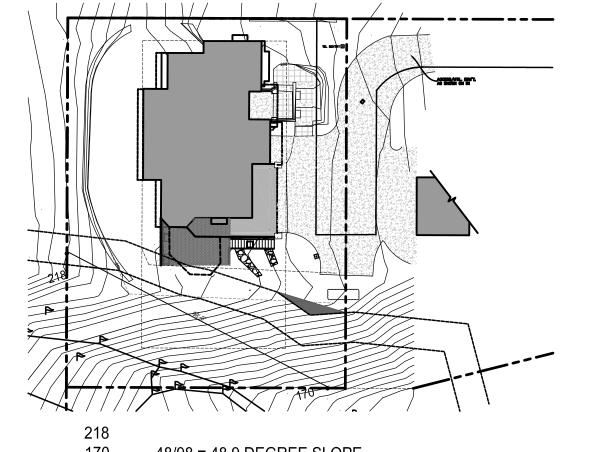
+1211.74+820.4+2665.73+1259.4+6371.84+1676.8+2515.2+2478+817.6= 44,879.95 TOTAL LENGTH = 19.4+16.8+4+9.3+7.1+39.3+24.7+4.2+5.9+4+12.7+6+30.4+8+12+12+4 = 219.8

WEIGHTED SUM/LENGTH =44879.95/219.8 = 204.19' AVERAGE GRADE



SITE PLAN (TO BE VERIFIED IN FIELD)

SCALE: 1/8" = 1'-0"



48/98 = 48.9 DEGREE SLOPE VICINITY MAP SCALE: 1/32" = 1'-0" NOT TO SCALE NORTH PROPERTY LINE' 19.02.020.C.1.c.i (b) HEDGE 17% OF 123.09' WIDTH = 20.93' MIN TOTAL my from the same of the same o HEDGE OF SIDE YARDS 19.02.020.C.1.c.iii (a). (2) 7.5' MIN SIDE SIDE SETBACK 7.5' 10" CED 12" MAP 19.4(198.5)=3850.9 NO BUFFERS REQUIRED IN GEOLOGIC TEL SENTRY 🖸 HAZARD ZONE, BUT PROFESSIONAL REVIEW REQUIRED 12(206.5)=2478 + STAIRS; UNENCLOSED 16∖' MAP STAIRS MAY PROJECT 3™ (E) WALKWAY, INTO SETBACK STAIR, LANDINGS 239 SF PROPERTY OWNER MUST SIGN AND NOTARIZE A HOLD HARMLESS AGREEMENT PER MERCER ISLAND CITY 8(209.6)=1676.8 CODE 19.01.060 FOR GEOLOGIC HAZARD SEE GEOTECHNICAL REPORT FOR 19.02.020.C.3.a EAVES MAY STATEMENT OF RISK PROJECT 1.5' INTO SETBACKS (EXCEPT SIDE SEPA REVIEW NOT REQ SINCE ONLY 5 (SETBACKS) CUBIC YARDS OF CUT AND FILL AND 7.1(206.6)=1466.86 WORK OUTSIDE WATERCOURSE — ∣STONÉ WALL ARBORIST REPORT NOT REQ SINCE DEVELOPMENT HAS NO IMPACT ON TREES OR ROOT ZONE (E) ACCESS/ EASEMENT THERE ARE NO LAND USE APPLICATIONS ASSOCIATED WITH THE <u>EXISTING SFR</u> 7505 92ND AVE SE PROJECT OTHER THAN A CRITICAL AREA DETERMINATION THAT IS BEING MERCER ISLAND, WA 98040 22'-11 1/4 PROCESSED CONCURRENTLY 23'-5 3/8" PARCEL # 2579500188 MERCER ISLAND SHORT PLAT 95-0521 IS FF +206.9' APPLICABLE TO THE PROPOSED 6'∖MAP 6(209.9)=1259.4 PROJECT (KING COUNTY RECORDING #9602019001) HARDSCAPE NO HIGHER THAN 30" MAY BE LOCATED 없었 6" MAP IN YARDS 32'-1" 5.9(205.38)=12(1.74) (E) UNCOVERED DECK 247 SF (27/3-2.6)(204.4)=5048.68 ا انید دید که دیگاه دیگر کید چید پیداند ا LINE OF (E) PATIO REDUCED BUFFER

AREA; SEE REPORT

22/5 1/2" (EXT FACE OF COLS) 10' SETBACK FROM TOP OF SLOPE PER MERCER 28" MAP 23'-1 1/4" (P) ROOF 95-0521 ADDED BUFFER
AREA: SEE REPORT TOP OF SLOPE — √16" MAP 210 28" MAP 208 202 SIDE SETBACK: 13.43' REQ 190 (123.09 × 0.17 = 20.93'-7.5' = 13.43' MIN SIDE YARD)



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STATE OF WASHINGTO

DESIGN SJB DRAWN CEC CHECKED SJB DATE [2019-0114 DESIGN] [2019-0621 PERMIT] [2020-0211 REV 1] [2020-0413 REV 2]

[2020-0428 REV 3]

LAI

7505 92ND AVE SE MERCER ISLAND WA 98040

PERMIT

SITE PLAN PROJECT INFORMATION



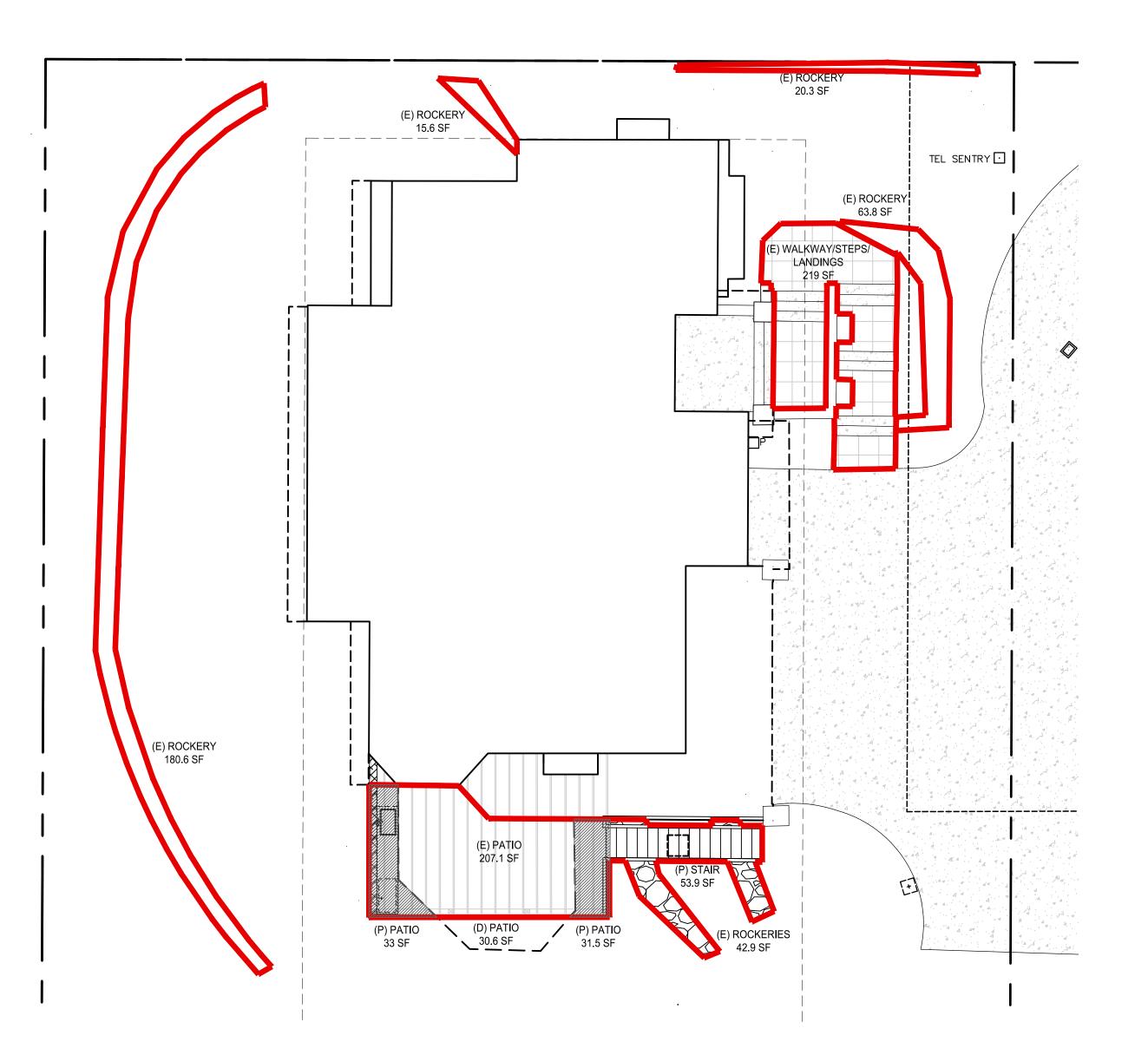
CONSTRUCTION DATA	LOT COVER	RAGE 2		
NET LOT AREA: 11,447-390.3 ACCESS EASEMENT = 11,056.7 SF		EXISTING	EXISTING REMOVED	PROPOSED NEW
NET LOT AREA 11,056.7 SQ FT	ROOF & CHIMNEY	2750.9 SF	0	0
19.02.020.G PARKING REQUIREMENTS: 3	DRIVEWAY	898 SF	0	0
3 PROVIDED (MIN 2 REQ)	TOTAL	3648.9 SF		
ALLOWABLE BUILDING PAD (SHRT PLAT) 3470 SF	ACCESSORY BUIL	D 30-50%, MAX 30% DINGS) SEE DIAGF	- LOT COVERAGE (INCLUD RAM	ING HOUSE, DRIVEWAY,
		VERAGE COVERAGE: MING LOT COVERA G LOT COVERAGE AN ONLY BE UP TO	.30	•
			INCLUDING 50% NONCON GE TO (E) LOT COVERAGE	

(E) ROOF & CHIMNEY 2750.9 SF	TEL SENTRY .
	(E) DRIVE 898 SF

LOT COVERAGE DIAGRAM 2

SCALE: 1/8" = 1'-0"

	9 SF	0	53.9 SF
PATIO 207			
)7.1	30.6 SF	64.5 SF
ROCKERIES 309	9.2 SF	24.9	0
TOTAL 735	35.3 SF	+ N/A	+ 118.4 = 853.7 SF GRAND TOTA



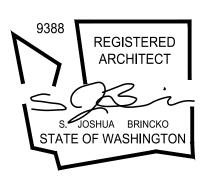
2 HARDSCAPE DIAGRAM 2
SCALE: 1/8" = 1'-0"

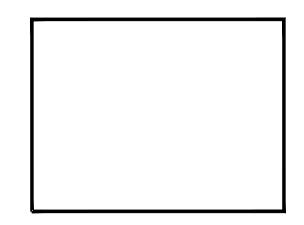
ARTISAN + ARCHITECT

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DESIGN SJB

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HARDSCAPE AND LOT COVERAGE DIAGRAMS



GENERAL NOTES

1. ALL WORK TO COMPLY WITH '2015 INTERNATIONAL RESIDENTIAL CODE' WITH JURISDICTION AMENDMENTS WHERE APPLICABLE.

2. ALL APPLICABLE CODES, ORDINANCES AND MINIMUM STRUCTURAL REQUIREMENTS TAKE PRECEDENCE OVER ALL DRAWINGS, NOTES AND SPECIFICATIONS.

3. CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES IN CONTRACT DOCUMENTS

OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK.

4. CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND APPLICABLE CODES PRIOR TO PROCEEDING WITH WORK.

5. CONTRACTOR TO VERIFY ALL DIMENSIONS, GRADES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH

6. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF/HERSELF WITH ALL ASPECTS OF THE WORK PRIOR TO CONTRACTING WITH THE OWNER TO PERFORM THE WORK.

7. CONTRACTOR SHALL VERIFY CONFORMANCE OF ACTUAL SOIL CONDITIONS WITH SOILS REPORT AND DESIGN

8. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FOR THE WORK, EXCEPT FOR THE BUILDING PERMIT WHICH IS THE RESPONSIBILITY OF THE ARCHITECT.

9. CONTRACTOR'S GUARANTEE ON ALL MATERIALS AND WORKMANSHIP TO BE (1) YEAR FROM DATE OF COMPLETION UNLESS NOTED OTHERWISE IN CONTRACT.

10. REPETITIVE FEATURES MAY BE DRAWN ONLY ONCE, BUT SHALL BE PROVIDED AS IF DRAWN IN FULL. REPETITIVE NOTES MAY BE CALLED OUT ONLY ONCE AND INDICATED AS TYPICAL (TYP).

11. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE OR CENTERLINE OF INTERIOR COLUMNS UNLESS NOTED OTHERWISE.

12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES IN FRAMING PRIOR TO PROCEEDING WITH WORK.

13. THESE DRAWINGS ARE DESIGN-BUILD IN THE AREAS OF MECHANICAL, ELECTRICAL, AND PLUMBING.

14. THE GENERAL CONTRACTOR AND OTHER PARTIES DOING WORK ON BEHALF OF THE GENERAL CONTRACTOR INCLUDING BUT NOT LIMITED TO SUBCONTRACTORS AND ALL STAFF ARE REQUIRED TO BECOME FAMILIAR WITH ALL REGULATIONS REGARDING THE CONSTRUCTION, DEMOLITION, AND RELATED ACTIVITIES FOR THE PROJECT. ANY VIOLATIONS TO APPLICABLE REGULATIONS CAUSED BY THE PARTIES HEREIN SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

15. VISIBLE OVERLAPPING MATERIALS SUCH AS FLASHING TO BE LAPPED SUCH THAT SEAM IS NOT FACING STREET OR DOMINANT VIEW.

16. VENTS AND PENETRATIONS TO BE HIDDEN FROM VIEW FROM STREET OR DOMINANT VIEW.

17. THE GENERAL CONTRACTOR IS REQUIRED TO ORGANIZE A MEETING ON SITE WITH THE ARCHITECT AND ACTUAL LABORS INSTALLING SIDING TO CONFIRM LOCATIONS OF EACH SIDING MATERIAL.

JOB SITE SAFETY

1. THE ARCHITECT HAS NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTOR'S SAFETY PRECAUTIONS.

2. PERIODIC SITE VISITS PERFORMED BY THE ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION SAFETY PRECAUTIONS.

3. THE ARCHITECT IS NOT RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR OR THE CONTRACTOR'S EMPLOYEES OR EMPLOYEES OF SUPPLIERS OR SUBCONTRACTORS, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL OR OCCUPANCY BY ANY PERSON.

OCCUPIES THE BUILDING.

1. ALL EXCAVATION AND FILL SHALL BE STORED AND PROTECTED SUCH AS TO PREVENT RUN OFF OF MATERIAL TO ADJACENT PROPERTIES.

2. FOOTING DRAIN TO BE SEPARATE FROM ROOF AND IMPERVIOUS AREA DRAINS.

3. DOWNSPOUT DRAIN TO BE 4" DIAMETER TIGHTLINE UNLESS NOTED OTHERWISE

4. FOOTING DRAIN TO BE 4" DIAMETER PERFORATED PIPE WRAPPED IN GEOTEXTILE FABRIC UNLESS NOTED

5. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH REQUIRED SEPTIC AND/OR STORM WATER DETENTION

6. SUBSTANTIAL COMPLETION SHALL BE DEFINED AS A POINT IN WHICH ALL INSPECTIONS ARE APPROVED, AND THE BUILIDNG MAY BE USED FOR ITS INTENDED PURPOSE. THE BUILDER SHALL PRESENT A FINAL APPLICATION FOR PAYMENT TO THE OWNER AT THE POINT OF SUBSTANTIAL COMPLETION, ONCE THE FINAL APPLICATION FOR PAYMENT IS RECEIVED, THE OWNER SHALL PRESENT A PUNCHLIST TO THE GENERAL CONTRACTOR TO FINALIZE ANY MINOR ITEMS THAT MAY NEED REPAIRED, BUILT, ALTERED, OR OTHERWISE ADDRESSED TO BRING THE BUILDING IN CONFORMANCE WITH THE CONSTRUCTION DRAWINGS, CODE REQUIREMENTS, AND ORDINARY STANDARD OF CONSTRUCTION QUALITY. ONCE THE PUNCHLIST IS DELIVERED TO THE BUILDER, THE OWNER ACCEPTS RESPONSIBILITY FOR THE BUILDING AND UTILITIES AND MAY OCCUPY THE BUILDING FOR ITS INTENDED USE ONCE APPROVED BY THE BUILDER. THE WARRENTY PERIOD SHALL BEGIN AT THE TIME THE OWNER

VENTILATION NOTES

1. ALL WORK TO COMPLY WITH THE 2015 IRC CHAPTER 15 WITH JURISDICTION AMENDMENTS.

2. SOURCE SPECIFIC FANS SHALL BE LOCATED IN ALL KITCHENS, BATHROOMS, WATER CLOSETS AND LAUNDRY FACILITIES. VENTILATION CAPACITY SHALL BE AT LEAST 50 C.F.M. FOR BATHROOMS AND LAUNDRY ROOMS (Intermittent use) AND 100 C.F.M. FOR KITCHENS (Intermittent use). DUCTING SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH BACKDRAFT DAMPERS.

3. WHOLE HOUSE VENTILATION SYSTEM SHALL BE CAPABLE OF .35 AIR EXCHANGES PER HOUR BUT NO MORE THAN .50 AIR EXCHANGES PER HOUR UNDER NORMAL OPERATING CONDITIONS. OUTDOOR AIR SHALL BE PROVIDED TO ALL HABITABLE ROOMS. FAN SHALL HAVE A SONE RATING OF 1.5 OR LESS MEASURED AT 0.1 INCHES WATER GAUGE.

4. DUCT WORK SHALL CONFORM TO TABLE M1508.6.2 AND M1506.1 OF THE '2015 IRC CHAPTER 15' WITH

JURISDICTION AMENDMENTS. 5. INSULATE DUCTS WITH MIN. R8 INSULATION, ALTHOUGH NO INSULATION IS REQUIRED IF THE DUCTS AND

6. PROVIDE A MINIMUM NET AREA OF 1 SQUARE FOOT OF VENTILATION AREA FOR EACH 150 SQUARE FEET OF CRAWLSPACE AREA. PLACE OPENINGS AS NEAR AS TO CORNERS AS PRACTICABLE AND SHALL PROVIDE CROSS

7. ALL CRAWLSPACE VENTS TO BE PROVIDED WITH 1/4" NON-CORROSIVE WIRE MESH.

EQUIPMENT COMPLETELY ENCLOSED WITHIN THE BUILDING ENVELOPE

8. PROVIDE A MINIMUM NET AREA OF 1 SQUARE FOOT OF VENTILATION AREA FOR EVERY 150 SQUARE FEET OF ATTIC AREA. PROVIDE A CONTINUOUS 1 INCH MINIMUM AIR SPACE ABOVE INSULATION FOR CROSS VENTILATION.ALL ROOFS TO BE CROSS-VENTED U.N.O.

9. ALL ATTIC VENTS TO BE PROVIDED WITH 1/4" NON-CORROSIVE WIRE MESH OR APPROVED SOFFIT VENTS.

10. OUTDOOR AIR INLETS SHALL BE INSTALLED WITHIN EACH HABITABLE SPACE WITH NOT LESS THAN 4 SQUARE INCHES OF INLET AREA EACH WITH SCREENS AND CONTROLLABLE OPENINGS NOT WITHIN 10' OF AN APPLIANCE VENT OR PLUMBING DRAIN VENT OUTLET, NOT WITHIN A ROOM WITH FUEL BURNING APPLICANCES, NOT WITHIN ATTICS, CRAWLSPACES, OR GARAGES AND NOT WITHIN UNSANITARY OR ORDOROUS AREAS PER IRC M1507.3.4.4

11. PER SRC M1501.1 EXHAUST FAN VENTS SHALL TERMINATE OUTDOORS AND NOT IN ATTICS, SOFFITES, RIDGE VENTS, OR CRAWL SPACES, TERMINATIONS TO EXIT THE STRUCTURE WITH CLEARANCES MEETING SRC M1506.3: NOT LESS THATN 3 FEET FROM PROPERTY LINES, 3 FEET FROM OPERABLE OPENINGS INTO THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES.

MOISTURE PROTECTION

1. PROVIDE PRESSURE TREATED PLATES BETWEEN CONCRETE AND

2. PROVIDE A MINIMUM OF 12" CLEAR BETWEEN WOOD GIRDERS AND EARTH.

3. PROVIDE A MINIMUM OF 18" CLEAR BETWEEN WOOD JOISTS AND EARTH.

4. PROVIDE A MINIMUM OF 8" CLEAR BETWEEN WOOD POSTS AND EARTH.

5. PROVIDE A MINIMUM OF 1" CLEAR BETWEEN WOOD POSTS AND CONCRETE FLOORS.

6. CAULK ALL OPENINGS THOROUGHLY.

7. FLASH ALL OPENINGS WITH A MINIMUM OF 26 GAUGE GALVANIZED STEEL TO ACCEPTABLE INDUSTRY

8. METAL COPING AT PARAPET TO BE A MINIMUM OF 22 GAUGE GALVANIZED STEEL.

9. JOSH RECOMMENDS WET SEAL AND WET FLASH LIQUID APPLIED WEATHERPROOFING IN LIEU OF BUILDING PAPER OR HOUSEWRAP.

1. THE GARAGE SHALL BE SEPERATED FROM THE RESIDENCE AND IT'S ATTIC BY NOT LESS THAN THE FOLLOWING:

- NOT LESS THAN (1) LAYER OF 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED TO ALL GARAGE WALLS. NOT LESS THAN (2) LAYERS OF 5/8" TYPE "X" GYPSUM WALLBOARD AT CEILINGS.

- 1-3/8" MINIMUM THICK, SOLID CORE, OR HONEYCOMB CORE STEEL DOOR, OR A 20-MIN. FIRE-RATED DOOR.

- DUCTS PIERCING FIRE SEPARATION TO BE A MINIMUM OF 26 GAUGE, AND HAVE NO OPENINGS INTO THE GROUP "U" OCCUPANCY.

2. FIRE SEPARATION TO BE HORIZONTAL AND VERTICAL INCLUDING ALL STRUCTURAL MEMBERS SUPPORTING THE

3. ALL ENCLOSED USEABLE SPACE UNDER STAIRWAYS SHALL BE (1) LAYER OF 5/8" TYPE 'X' GYPSUM WALLBOARD ON ENCLOSED SIDE.

4. SMOKE DETECTORS SHALL BE HARD WIRED TO BUILDING POWER AND SHALL HAVE BATTERY BACKUP.

5. SMOKE DETECTORS SHALL BE AUDIBLE IN ALL SLEEPING ROOMS, AND OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

6. A MINIMUM OF (1) SMOKE DETECTOR SHALL BE INSTALLED ON EACH FLOOR INCLUDING THE GARAGE.

7. FIRESTOPPING AND DRAFTSTOPPING SHALL CONSIST OF 2" NOMINAL LUMBER.

8. FIRESTOPPING AND DRAFTSTOPPING IS REQUIRED IN THE FOLLOWING PLACES:

- CONCEALED SPACES AT ALL FLOOR AND CEILING LEVELS AND AT 10 FOOT INTERVALS ALONG THE LENGTH OF THE WALL.

- INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES

(i.e. Soffits) - CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP AND BOTTOM OF THE RUN.

9. ROCK WOOL AROUND ALL OPENINGS FOR VENTS, PIPES, DUCTS, ETC.

10. EMERGENCY EGRESS WINDOWS SHALL MEET THE FOLLOWING REQUIREMENTS:

44" (Maximum)

CLEAR OPEN WIDTH 20" (Minimum) CLEAR OPEN HEIGHT 24" (Minimum) CLEAR OPEN AREA 5.7 s.f. (Minimum)

11. PREFABRICATED FIREPLACES SHALL BEAR U.L. OR I.C.B.O. SEAL OF APPROVAL AND SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS.

12. APPLIANCE GENERATING A GLOW, A SPARK, OR FLAME MAY BE INSTALLED IN THE GARAGE PROVIDED THE HEATING ELEMENTS AND SWITCHES ARE 18" ABOVE THE FLOOR.

13. GARAGE FLOOR TO BE CONSTRUCTED OF NON COMBUSTIBLE MATERIAL (CONCRETE).

SHOP DRAWINGS

SILL HEIGHT

1. SHOP DRAWINGS ARE REVIEWED FOR DESIGN INTENT ONLY.

2. THE CONTRACTOR IS TO REVIEW AND APPROVE ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO ARCHITECT OR STRUCTURAL ENGINEER.

3. SEE STRUCTURAL NOTES AND PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND CLARIFICATIONS REGARDING SHOP DRAWINGS.

EARTH WORK

1. EXTEND EXCAVATION DOWN TO UNDISTURBED SOIL OF THE SPECIFIED STRENGTH WITH A MINIMUM OF 18" BELOW LOWEST ADJACENT FINISH GRADE.

2. COMPACTED FILL TO BE WELL GRADED AND GRANULAR WITH NOT MORE THAN 5% PASSING A 200 SIEVE. PLACE IN 8" LOOSE LIFTS AND COMPACT TO 95% MODIFIED AASHO DENSITY AT OPTIMUM MOISTURE CONTENT.

3. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

SAFETY AND SECURITY

1. DEADBOLTS WITH A MINIMUM THROW OF 1/2" AND A VIEWPORT ARE REQUIRED AT ALL EXTERIOR DOORS.

2. DEADBOLTS OR APPROVED LOCKING DEVICES ARE REQUIRED ON ALL SLIDING DOORS.

3. ALL LOCKS SHALL BE OPENABLE WITHOUT ANY SPECIAL KNOWLEDGE OR EFFORT.

34" to 38" above nosing

4. WINDOWS WITHIN 10'-0" OF FINISHED GRADE SHALL BE PROVIDED WITH LATCHING DEVICES.

5. STAIRWAYS TO MEET THE FOLLOWING REQUIREMENTS: OCCUPANCIES LESS THAN 10

STAIR WIDTH TREAD WIDTH 10" (Minimum), 6" Minimum for Winders RISER HEIGHT 7 3/4" (Maximum) HEADROOM 80" (Minimum)

HANDRAIL GRASP 1-1/4"(Min) to 2" (Max) 6. HANDRAIL INTERMEDIATE MEMBERS SHALL BE CONFIGURED AS TO PROHIBIT PASSING A 4" DIAMETER SPHERE

7. GUARDRAILS SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR.

8. GUARDRAIL INTERMEDIATE MEMBERS SHALL BE CONFIGURED AS TO PROHIBIT PASSING A 4" DIAMETER SPHERE THROUGH ANY OPENING.

GLAZING NOTES

HANDRAIL HEIGHT

THROUGH ANY OPENING.

1. ALL GLAZING TO BE (2) PANE INSULATED GLASS OR BETTER UNLESS NOTED OTHERWISE.

2. SLIDING DOORS TO BE SAFETY GLASS, LAMINATED GLASS, OR TEMPERED GLASS.

3. SHOWER DOORS AND ENCLOSURES TO BE SAFETY GLASS, LAMINATED GLASS, OR TEMPERED GLASS.

4. REFER TO WINDOW SCHEDULE FOR ADDITIONAL REQUIREMENTS.

JOSH RECOMMENDS CARDINAL GLASS W/ COATINGS AS SPECIFIED IN SHOP DRAWINGS.

BATHROOM NOTES

1. WALL COVERINGS IN SHOWERS TO BE MOISTURE RESISTANT MATERIAL TO 72" (Minimum) ABOVE DRAIN INLET.

2. TOILET TO HAVE CLEAR SPACE OF 30" WIDE (Minimum) AND 24" CLEAR (Minimum) IN FRONT OF STOOL

INSPIRATIONAL COMMENTS

1. THIS PROJECT IS NOT A SPEC HOME. WE TAKE A LOT OF PRIDE IN CREATING A SPECIAL BUILDING CUSTOMIZED FOR THIS CLIENT, AND WE HOPE YOU WILL DO THE SAME. LET'S WORK TOGETHER TO DO SOMETHING SPECIAL.

2. ALL WORK IS REQUIRED TO EXCEED YOUR ORDINARY LEVEL OF SATISFACTION. WE ARE EXCITED TO SHOW THIS PROJECT TO OUR FRIENDS AND FAMILY, AND WE HOPE YOU WILL SHARE THAT EXCITEMENT.

3. JUST BECAUSE SOMETHING WAS BUILT A CERTAIN WAY BEFORE, DOES NOT MEAN IT NEEDS TO BE BUILT A CERTAIN WAY NOW. THINK A LITTLE DIFFERENTLY, AND BE CREATIVE. EVERY CIRCUMSTANCE IS DIFFERENT. BUILD UPON YOUR PREVIOUS EXPERIENCES TO DO BETTER AND HONE YOUR SKILLS EVEN MORE. EVERY DETAIL IS A CHANCE TO PUSH YOUR LIMITS.

4. BE WILLING TO LEARN SOMETHING NEW AND TEACH SOMETHING NEW SINCE WE ARE ALL LEARNING AT ALL

DRAWING	DRAWING LEGEND				
SYMBOL	DESCRIPTION	REMARKS			
2	WINDOW SYMBOL	See Window Schedule			
A	DOOR SYMBOL	See Door Schedule			
202	SPACE NUMBER	See Finish Schedule			
2	GRID LINE				
A-12	MATCH LINE				
40'-8" T.O. Slab	VERTICAL DATUM POINT				
Stone Wood	SURFACE MATERIAL CHANGE				
DWG	DETAIL REFERENCE				
DWG	SECTION CUT REFERENCE				
4 SHT 2	INTERIOR ELEVATION REFERENCE	See Interior Elevations			

MATERIAL	SYMBOL LEGEND		
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EARTH / COMPACT FILL		ROUGH WOOD FRAMING
00000000000000000000000000000000000000	GRAVEL / POROUS FILL		WOOD BLOCKING
A . A . A	CONCRETE		PLYWOOD
	CMU / BRICK / STONE VENEER		FINISH WOOD
	GYPSUM WALL BOARD / PLASTER		BATT INSULATION
	STEEL OR OTHER METALS		RIGID INSULATION
	NATURAL STONE		

ABBREVIATION LIST

ABV	ABOVE	MAX	MAXIMUM MAQUINE BOLT
AC	AIR CONDITIONING	MB	MACHINE BOLT
ACT	ACOUSTICAL TILE	MECH	MECHANICAL MANUFACTURER
AFF	ABOVE FINISH FLOOR ALTERNATE	MANUF	MAKE IT LOOK PRETTY
ALT	ALUMINUM	MILP	MINIMUM
ALUM ARCH	ARCHITECT/ARCHITECTURAL	MIN MISC	MISCELLANEOUS
ARCH	ANOTHEOTIANOTHEOTOTAL	MTL	METAL
BLDG	BUILDING	IVITE	
BMAB	BUY ME A BEER	N	NORTH
BSMT	BASEMENT	(N)	NEW
ВТВ	BURY THE BODIES	ŇÁ	NOT APPLICABLE
		NIC	NOT IN CONTRACT
CAB	CABINET	NOM	NOMINAL
CL	CENTER LINE	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	Ο/	OVER
COL	COLUMN	OC	ON CENTER
CONC	CONCRETE	OD	OUTSIDE DIAMETER
CONST	CONSTRUCTION	OD	OVERFLOW DRAIN
CONT	CONTINUOUS CARPET	(B)	PROPOSED
CPT CRV	CONTINUOUS RIDGE VENT	(P) PERF	
CRV	CASEMENT	PERF	PERPENDICULAR
CY	CUBIC YARD	PL	PROPERTY LINE
O1	30010 17110	PLAM	PLASTIC LAMINATE
d	PENNY	PLY	PLYWOOD
D	DRYER	PSF	POUNDS PER SQUARE FOOT
(D)	DEMOLITION	PSI	POUNDS PER SQUARE INCH
DAFD	DON'T ASK FOR DETAIL	PT	PRESSURE TREATED
DBAB	DON'T BE A BABY	PTD	PAINTED
DQTA	DON'T QUESTION THE ARCHITECT		
DBL	DOUBLE	QTY	QUANTITY
DCU	DON'T CALL US	R	RADIUS
DIA	DIAMETER	R	RISER
DIM	DIMENSION	RD	ROOF DRAIN
DL	DEAD LOAD	REF	REFRIGERATOR
DN	DOWN	REINF	REINFORCING
DS	DOWNSPOUT (EXTERIOR)	REQ	REQUIRED
DTL	DETAIL	RH	RIGHT HAND
DW	DISHWASHER	RM	ROOM
DWG	DRAWING	RO RV	ROUGH OPENING
E	EAST	ΚV	RIDGE VENT
(E)	EXISTING	S	SOUTH
EA	EACH	SCHED	SCHEDULE
ELEC	ELECTRIC	SF	SQUARE FOOT
ELEV	ELEVATION	SHMTL	SHEET METAL
ENG	ENGINEER	SIM	SIMILAR
EQ	EQUAL	SPECS	SPECIFICATIONS
EQUIP	EQUIPMENT	SQ	SQUARE
EXIST	EXISTING	STD	STAINED
EXT	EXTERIOR	STL	STEEL
		STOR	STORAGE
FF	FLOOR DRAIN	STRUCT	STRUCTURAL
FIN	FINISH	SYM	SYMBOL
FLASH	FLASHING	_	
FT	FOOT/FEET	T	TREAD
FTG	FOOTING	TEL	TELEPHONE
0.4	0.4110.5	TEMP	TEMPERATURE
GA	GAUGE	TEMP	TEMPERATURE
GAL GALV	GALLON GALVANIZED	T&G TO	TONGUE AND GROOVE TOP OF
GFI	GROUND FAULT INTERRUPTER	TOP	TOP OF TOP OF PLATE
GLB	GLU-LAMINATED BEAM	TOS	TOP OF SLAB
GUB	GYPSUM WALL BOARD	TOW	TOP OF SLAB TOP OF WALL
GYP	GYPSUM	TV	TELEVISION
		TW	TRAIN WRECK
HDWD	HARDWOOD	TYP	TYPICAL
HR	HOUR		
HT	HEIGHT	UNO	UNLESS NOTED OTHERWISE
HW	HOT WATER TANK	UCS	USE COMMON SENSE
IDO		VOT	
IBC	INTERNATIONAL BUILDING CODE	VCT	VINYL COMPOSITION TILE
IRC	INTERNATIONAL RESIDENTIAL CODE	VER	VERIFY
IDe IDe	INSIDE DIAMETER	VERT	VERTICAL CRAIN
IDS IN	INTERIOR DOWNSPOUT INCH	VG	VERTICAL GRAIN
INSUL	INCH INSULATION	W	WEST
INT	INTERIOR	W	WATT
• •	INTLINION	W	WIDTH
JDI	JUST DO IT	W/	WITH
	230, 2011	W/O	WITHOUT
LAM	LAMINATED	WD	WOOD
LB	POUNDS	WP	WATERPROOF
LF	LINEAL FOOT	WR	WATER RESISTANT
LH	LEFT HAND	WRB	WEATHER RESISTANT BARRIER
LL	LIVE LOAD	WT	WEIGHT
		WWJD	WHAT WOULD JOSH DO
		WWM	WELDED WIRE MESH
		YD	VADD
		טז	YARD

MAXIMUM

JOSH PS POLICIES

1. DO NOT USE BIFOLD DOORS FOR CLOSETS

2015 WASHINGTON STATE ENERGY CODE (WSEC)

2. DO NOT USE MATERIALS WITH WOOD GRAIN UNLESS THE MATERIAL IS WOOD 3. DO NOT USE GLASS BLOCK

4. METAL FABRICATION ONLY TO BE DONE BY GEORGETOWN METALWORKS UNLESS APPROVED OTHERWISE

5. DO NOT USE WHITE WINDOWS UNLESS APPROVED OTHERWISE 6. DO NOT PURCHASE APPLIANCES, DOORS, OR WINDOWS (OR ANY MATERIAL) WITHOUT JOSH APPROVAL

7. DO NOT TEAR DOWN ANY BUILDING OR LANDSCAPING UNLESS APPROVED OTHERWISE 8. DO NOT PUT STRUCTURE (JOISTS/RAFTERS/BEAMS) IN THE CENTER OF A HALL OR ROOM - WE PUT LIGHTING THERE

9. DO NOT USE ELECTROLUX OR FRIGIDAIRE APPLIANCES 10. DO NOT BEGIN CONSTRUCTION UNTIL THE FINAL PLANS HAVE BEEN REVIEWED WITH JOSH ARCHITECTS 11. INSTALL J BOXES FOR AN ELECTRICAL WALK-THROUGH WITH JOSH AND CLIENT PRIOR TO RUNNING WIRES

12. DO NOT LEAVE SPACES LESS THAN 2" BETWEEN TRIM(S) AND OTHER OBJECTS - WE WILL DESIGN WIDER TRIM OR

SOME OTHER SOLUTION. 13. DO NOT TALK WITH THE BUILDING DEPARTMENT UNLESS YOU HAVE FIRST CONSULTED WITH JOSH 14. AESTHETICS OR STYLE ARE NOT PART OF OUR DESIGN PROCESS, SO PLEASE BASE DECISIONS ON PRACTICAL

SOLUTIONS 15. THE BUILDER IS ENCOURAGED TO WEIGH-IN ON MORE EFFECTIVE AND EFFICIENT CONSTRUCTION METHODS AND SUGGEST BETTER WAYS OF BUILDING TO THE ARCHITECT

16. DIFFERENT MATERIALS MAY NOT BE COPLANAR (FLUSH) 17. BUILDING PAPER (OR HOUSE WRAP) MAY NOT BE EXPOSED FOR LONGER THAN A WEEK, OR IT SHOULD BE REPLACED 18. LIQUID APPLIED WATERPROOFING (PROSOCO OR SIMILAR) IS HIGHLY RECOMMENDED OVER PAPER WEATHER BARRIERS

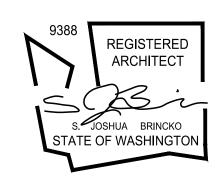
19. DO NOT INSTALL SOLAR PANELS UNTIL THE BUILDING HAS FIRST BEEN SUPER-INSULATED AND WRAPPED WITH INSULATION BOARD (REFLECTIVE SIDE FACING INTERIOR) WITH TAPED SEAMS 20. DISCUSS ANY UNCLEAR INFORMATION WITH JOSH AS SOON AS POSSIBLE, BE RESPONSIVE, AND BE A TEAM PLAYER MERCER ISLAND WA 98040 21. ROOF FASCIAS NOT TO EXCEED 10" IN HEIGHT

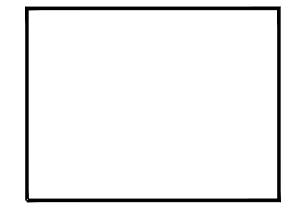
CODES REFERENCED 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 INTERNATIONAL BUILDING CODE (IBC) 2015 INTERNATIONAL MECHANICAL CODE (IMC) ARTISAN + ARCHITEC

206 708 9933 JoshArch.COM

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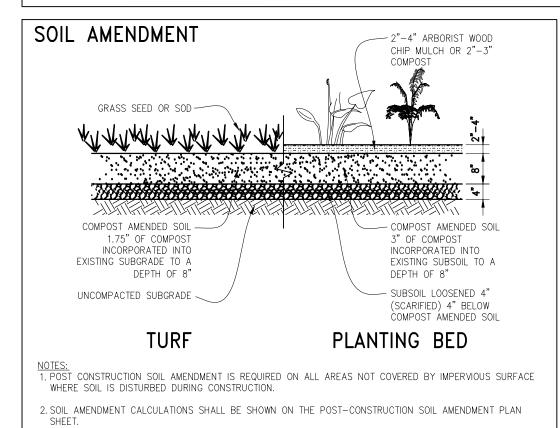
DESIGN SJB DRAWN SJB CHECKED SJB DATE [2019-0114 DESIGN] [2019-0621 PERMIT] [2020-0211 REV 1] [2020-0413 REV 2] [2020-0428 REV 3]

7505 92ND AVE SE

PERMIT

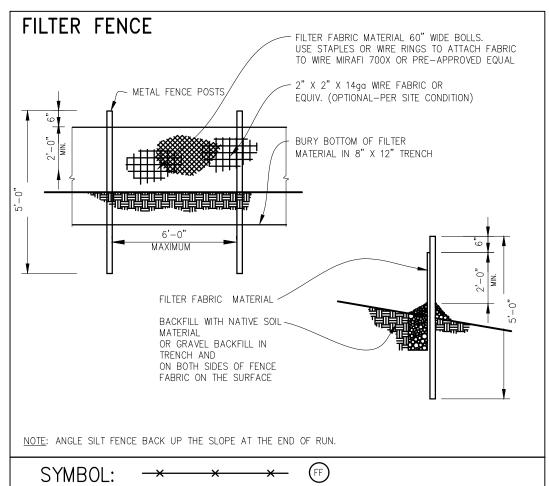
GENERAL NOTES

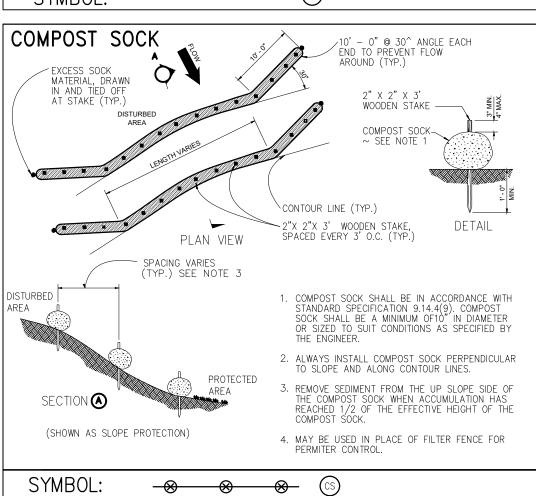
CONSTRUCTION STORMWATER CONTROL STANDARD DETAILS

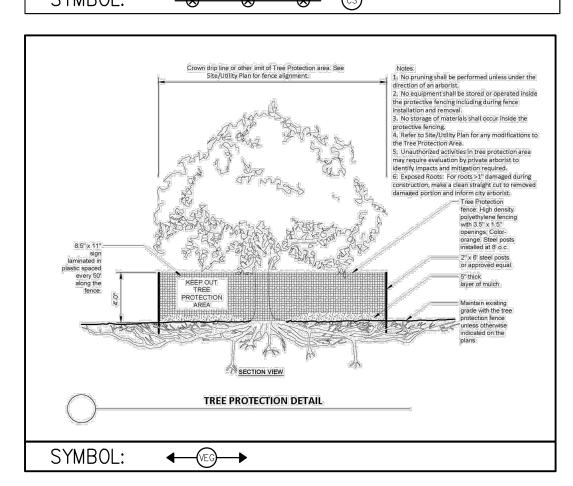


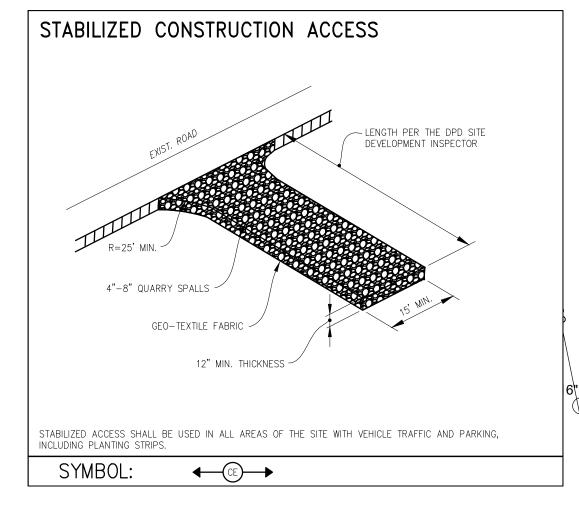
SYMBOL: (T) (P1) (T2) AND/OR (P2)

3. SOIL AMENDMENT MUST PASS A 12 INCH MINIMUM PROBE TEST.











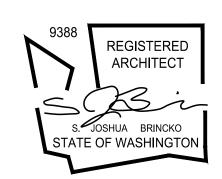


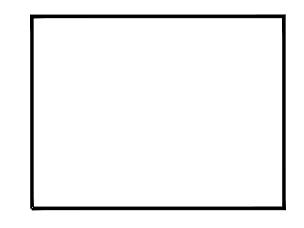
ARTISAN + ARCHITECT

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CHECKED	SJB
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	[2019-0621 PERMIT]
	[2020-0211 REV 1]
	[2020-0413 REV 2]
	[2020-0428 REV 3]

DESIGN SJB

LAI 7505 92ND AVE SE MERCER ISLAND WA 98040

PERMIT

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING# 199712231848)

LOT 1, MERCER ISLAND SHORT PLAT NUMBER 95-0521, RECORDED UNDER RECORDING NUMBER 9602019001, IN KING COUNTY, WASHINGTON, SAID SHORT PLAT DESCRIBED AS FOLLOWS:

LOT 4 OF THE SULLIVAN SEGREGATION APPROVED MARCH 22, 1963 BY THE CITY OF MERCER ISLAND, RECORDED UNDER RECORDING NUMBER 8903100404, IN KING COUNTY, WASHINGTON;

TOGETHER WITH AN EASEMENT FOR PRIVATE ROAD AND UTILITY EASEMENT, AS DELINEATED ON THE FACE OF THE SHORT PLAT.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

HELD BEARING OF N 89°56'57" W ALONG MONUMETED S.E. 76TH ST. AS SHOWN HEREON AND AS SHOWN ON R2, AND AS REFERENCED ON R1

REFERENCES

R1. MERCER ISLAND SHORT PLAT NO 95-0521, VOL. 107, PG. 186. RECORDS OF KING COUNTY, WASHINGTON.

R1. RECORD OF SURVEY, VOL. 75, PG. 106.
RECORDS OF KING COUNTY, WASHINGTON.

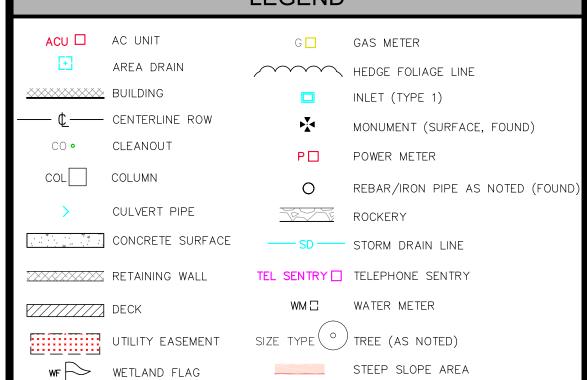
VERTICAL DATUM

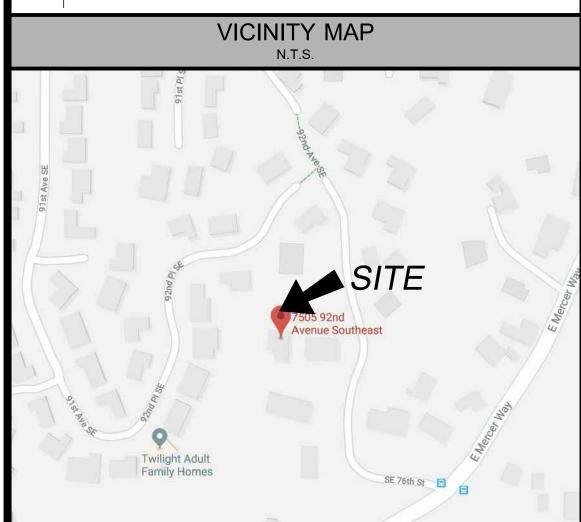
NAVD88 PER GPS OBSERVATIONS

SURVEYOR'S NOTES

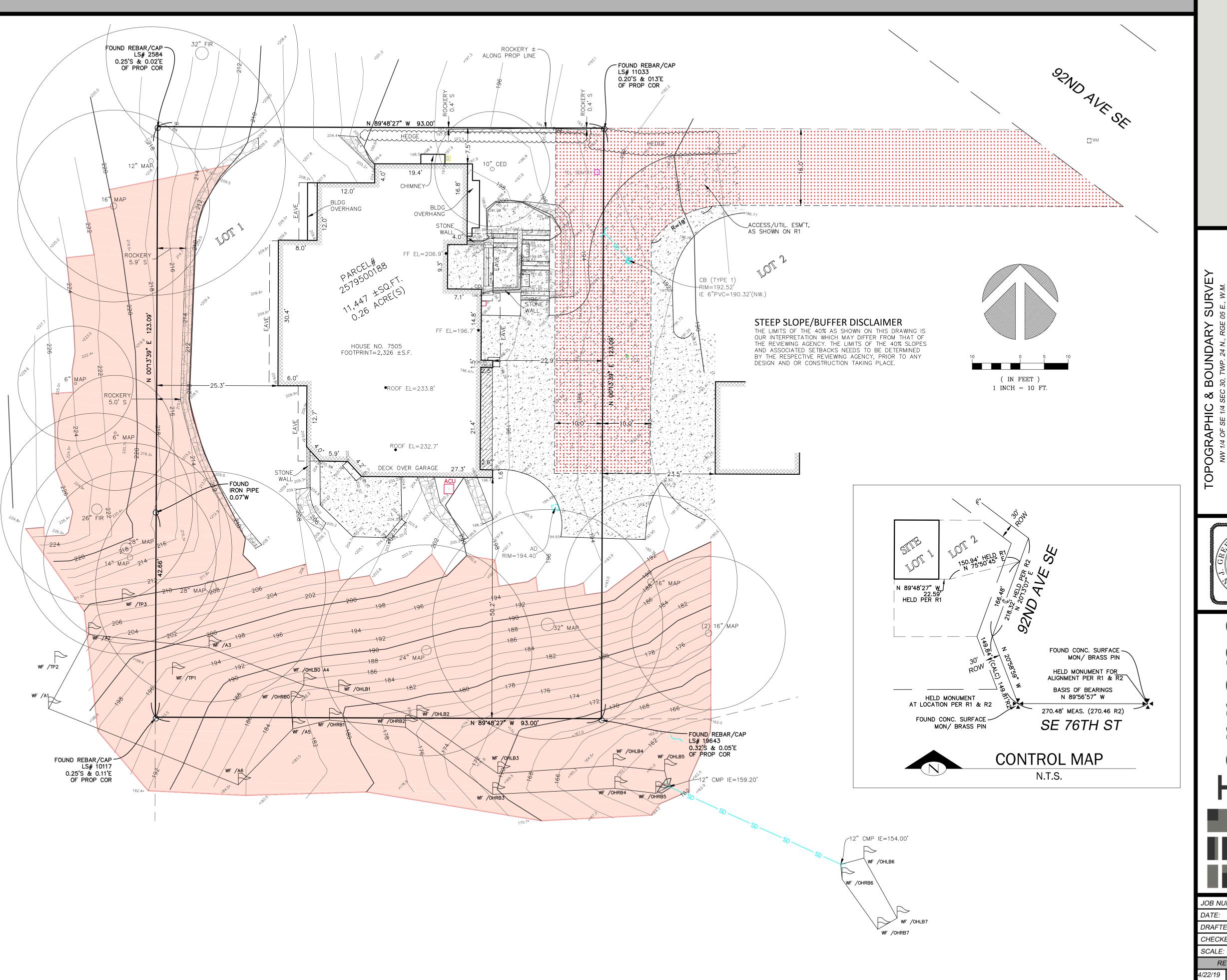
- 1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JUNE OF 2018 & APRIL OF 2019. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- 2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
- 3. BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. TERRANE ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
- 4. SUBJECT PROPERTY TAX PARCEL NO. 257950-0188
- 5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 11,447 ±S.F. (0.26 ACRES)
- 6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST
- 7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND





TOPOGRAPHIC & BOUNDARY SURVEY



asure succe

88 CE

LAI RESIDENCE 7505 92ND AVE SE



France, WA 98004 support@terrane.net



JOB NUMBER: 181046

DATE: 07/04/18

DRAFTED BY: IDV-MD

CHECKED BY: EJG/TMM

SCALE: 1" = 10'

REVISION HISTORY

4/22/19 ADDED WETLAND

INFO

SHEET NUMBER
1 OF 1



JM TPO — 80 mil

Thermoplastic Polyolefin Membrane

Meets or exceeds the requirements of ASTM D 6878

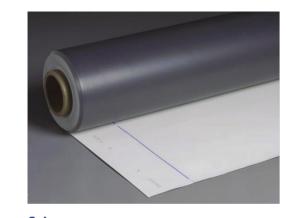
Features and Components

Thickness Over Scrim: Optimized and tested on a continual basis with a state-of-the-art thickness gauge to verify that the thickness valued by our customers is incorporated into the sheet.

One of the Widest Melt Windows: Promotes better welds over a wider variety of speeds and temperatures, and leads to a softer, more flexible and workable sheet.

Reinforced fabric scrim layer and top-ply thickness: Lends to durable physical properties including: Long-term weathering, UV resistance and heat-aging properties

Optimized TPO formulation: delivers high-performance ozone resistance, cool roof reflectivity and overall weather resistance.



Installation/Application

Packaging and Dimensions

for instructions.

Grey* White Tan* * Grey and Tan lead times are subject to availability and may require an upcharge for smaller projects.

System Compatibility This product may be used as a component in the following systems. Please reference product application for specific installation methods and information.

HA CA CA HW HA CA HW SA Do not use with Multi-Ply systems Key: HA = Hot Applied CA = Cold Applied HW = Heat Weldable SA = Self Adhered MF = Mechanically Fastened AD = Adhered BA = Ballasted

S MF AD MF AD MF AD BA Compatible with the selected Single Ply systems above

Refer to JM TPO application guides and detail drawings

Roll Widths 5' (1.52 m) 6' (1.83 m) 8' (2.44m) 10' (3.05m) 12' (3.66 m)

Roll Cover- 375 ft² 450 ft² 600 ft² 750 ft² 900 ft²

*Assumes 48' flatbed truck and does not reflect pallets of accessories or impact of mixed sizes,

75' (22.86 m)

(34.84 m²) (41.81m²) (55.74 m²) (69.68 m²) (83.61 m²)

1400 lb 1680 lb 2300 lb 2820 lb 3420 lb (627.8 kg) (762.0 kg) (997.9 kg) (1251.9 kg) (1551.3 kg) 28-32 22-26 18-20 14-16 11-13

Scottsboro, AL

Energy and the Environment

High breaking and tearing strength

	Standard		Reflectivity	Emissivity
	White	Initial	0.77	0.87
		3 Yr. Aged	0.70	0.86
CRRC®	Tan	Initial	0.67	0.87
CUUC		3 Yr. Aged	0.62	0.90
	Gray	Initial	0.35	0.87
		3 Yr. Aged	0.34	0.90
	White	Pass	0.77	0.87
CA Title 24	Tan	Pass 3 Yr. Aged	SRI	=75
	White	Initial	0.77	0.87
ENERGY	L	3 Yr. Aged	0.70	
STAR®	Tan	Initial	0.67	0.87
O 17 111		3 Yr. Aged	0.62	
	White	Initial	9	5
		3 Yr. Aged	8	5
LEED®	Tan	Initial	8	1
(SRI)		3 Yr. Aged	7	5
	Gray	Initial	39	
		3 Yr. Aged	37	
Recycled	Post-co	nsumer		%
Content	Post-in	Post-industrial		%

Peak Advantage® Guarantee Information

JM TPO 80 mil 5, 10, 15, 20, 25, or 30 yrs







Refer to the Safety Data Sheet and product label prior to using this product. The Safety Data Sheet is available by calling (800) 922-5922 or on the Web at www.jm.com/roofing.

RS-8634 9-18 (Replaces 6-18)

Johns Manville

JM TPO — 80 mil

Thermoplastic Polyolefin Membrane

Meets or exceeds the requirements of ASTM D 6878

Tested Physical Properties

		ASTM	Standard for	JM TP0	– 80 mil
Phys	ical Properties	Test Method	ASTM D 6878 (Min.)	MD*	XMD**
	Breaking Strength, min, lbf (N)	D 751	220 (976)	464 (2,064)	439 (1,953)
Strength	Elongation at Break, min %	D 751	15	29	31
Stre	Tearing Strength, min, lbf (N)	D 751	45 (200)	65 (289)	179 (796)
	Factory Seam Strength, min, lbf (N)	D 751	66 (290)	137	(609)
	Thickness, min, in.	D 751	+/- 10% from Nominal	1) 080.0	Iominal)
.≥	Thickness Over Scrim, min, in. (mm)	D 7635	0.015	0.033	(0.84)
Longevity	Water Absorption, max, %	D 471	3.0	0.	03
2	Brittleness Point, max, -40°F	D 2137	No Cracks	Pa	iss
	Ozone Resistance	D1149	No Cracks	Pa	iss
	Properties after Heat Aging @ 240°F	D 573	Pass/Fail	Pa	iss
به _	Breaking Strength, % (after aging)	D 751	90	>90	>90
Heat Aged Performance	Elongation, % (after aging)	D 751	90	>90	>90
Heat	Tearing Strength, % (after aging)	D 751	60	>60	>60
_ ~	Weight Change, max, % (after aging)	D 751	±1.0	0.	22
	Linear Dimensional Change, max, % (after 6 hrs @ 158°F)	D 1204	±1.0	<1).1
Weather Performance	Accelerated Weathering, min	G 151 & G 155	10,080 kj/m²•nm @ 340 nm (4,000 hrs @ 0.70 W)		i0 kj/m² 10 hrs)
Wea	Cracking (@ 7x magnification)	G 155	No Cracks	Pa	nss

*MD = Machine Direction

**XMD = Cross-Machine Direction Note: All data represents tested values.

Supplemental Testing

www.jm.com/roofing.

Physical Properties	ASTM Test Method	Standard for ASTM D 6878 (Min.)	JM TPO – 80 mil Result
Dynamic Puncture	D 5635	N/A	Pass @ 25 Joules
Static Puncture	D 5602	N/A	Pass @ 44 lb (20 kg)
Impact Resistance of Bituminous Roofing Systems	D 3746	N/A	Pass - minor indentations
Deflectores	C 1549	N/A	78%
Reflectance	E 903	N/A	80%
F	C 1371	N/A	0.87
Emittance	E 408	N/A	0.96
SRI	E 1980	N/A	95
Resistance of Synthetic Polymer Material to Fungi	G 21	N/A	0 rating
Puncture Resistance (FTMS 101C, Method 2031)	N/A	N/A	526 lb (239 kg)
Moisture Vapor Transmission	E 96	N/A	0 g/m² per 24 hours
Hydrostatic Resistance, Mullen	D 751	N/A	474 PSI (3268 kPa)
Standard Test Method for Air Permeance of Building Materials	E 2178	N/A	Pass @ <0.0005 L/(s·m²) (Pass @ <0.0001 CFM/ft²)

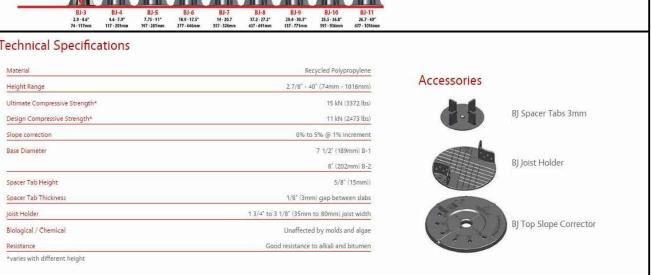
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RS-8634 9-18 (Replaces 6-18)

ALL OTHER PARTIES HARLESS FOR THE USE OF THE MATERIALS REPRESENTED HEREIN 2

HOMEOWNER AND REPRESENTATIVES SHALL HOLD CITY OF MERCER ISLAND AND

PAVER PEDESTAL SPEC: BlackJack® Component BlackJack® Height Chart 35.4°/900mm



FLOOR PLA	AN LEGEND	SEE A-C FOR GENERAL LEGEND
SYMBOL	DESCRIPTION	REMARKS
O _(cfm)	EXHAUST FAN	See Mechanical Plans
⊙ SA	SMOKE ALARM	See Sheet A-C General Notes Fire Protection Section
	NEW WALL (Line of Studs)	2x studs @ 16" O.C.
F	NEW SOUND WALL	Staggered 2x studs with rock wool sound batts
	EXISTING TO REMAIN	
C===3	EXISTING TO REMOVE	
GENERAL I	PROPOSED NO	TES
(D) = DEMOLITIO (E) = EXISTING (P) = PROPOSED		

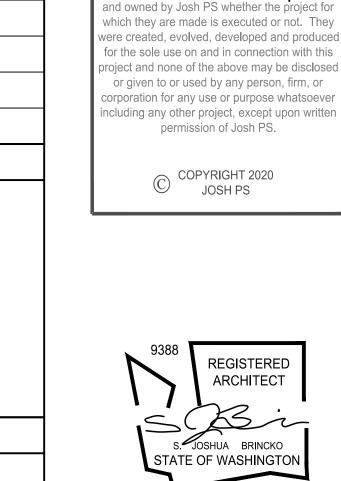
-(P) HEATER

-(P) MOTORIZED SCREENS

-(P) RAILING CONSISTENT WITH STYLE OF EXISTING

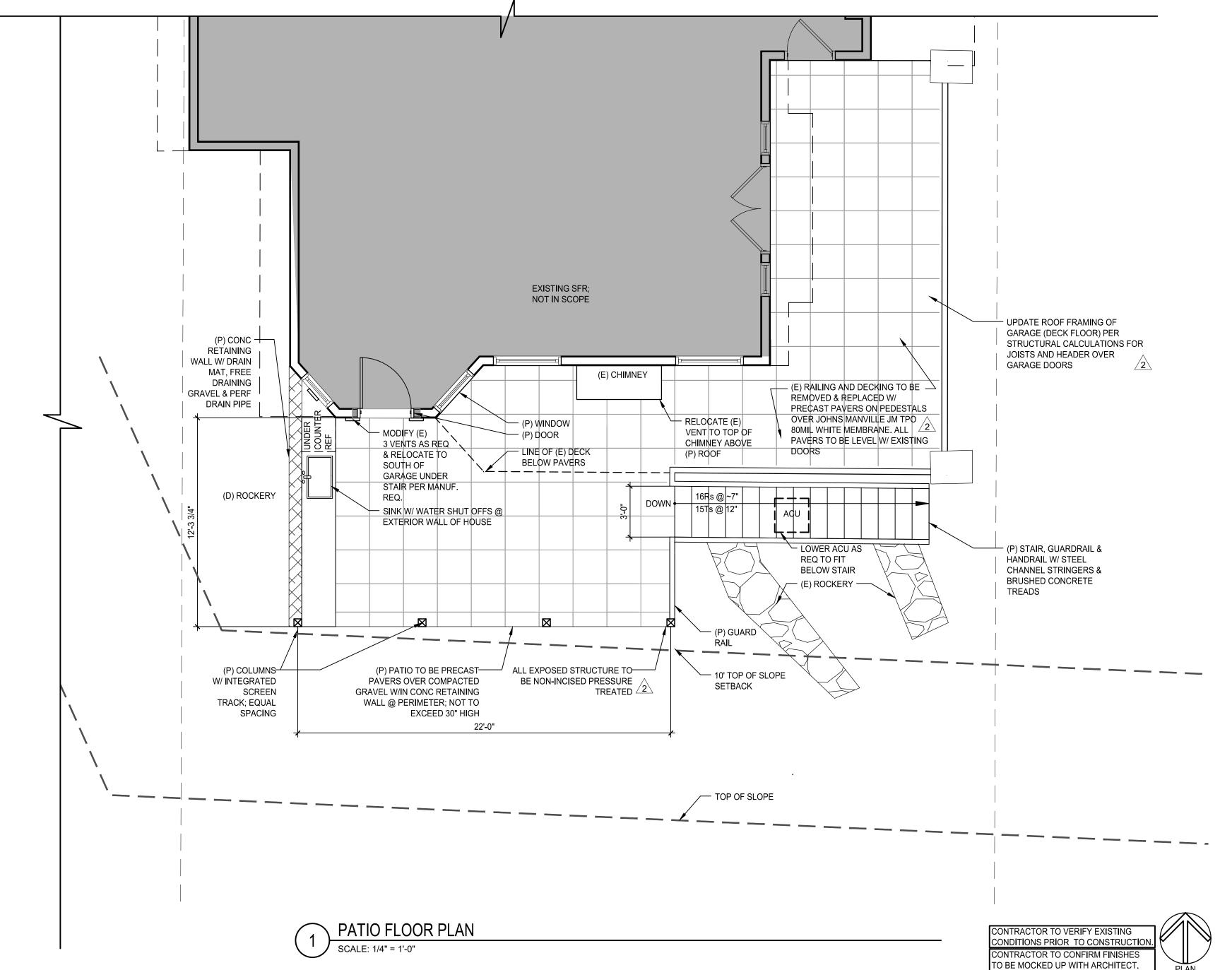
GENERAL DEMOLITION NOTES

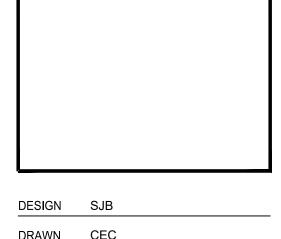
-(P) CEDAR CEILING WITH RECESSED CANS TO MATCH (E) ENTRY



ARTISAN + ARCHITECT

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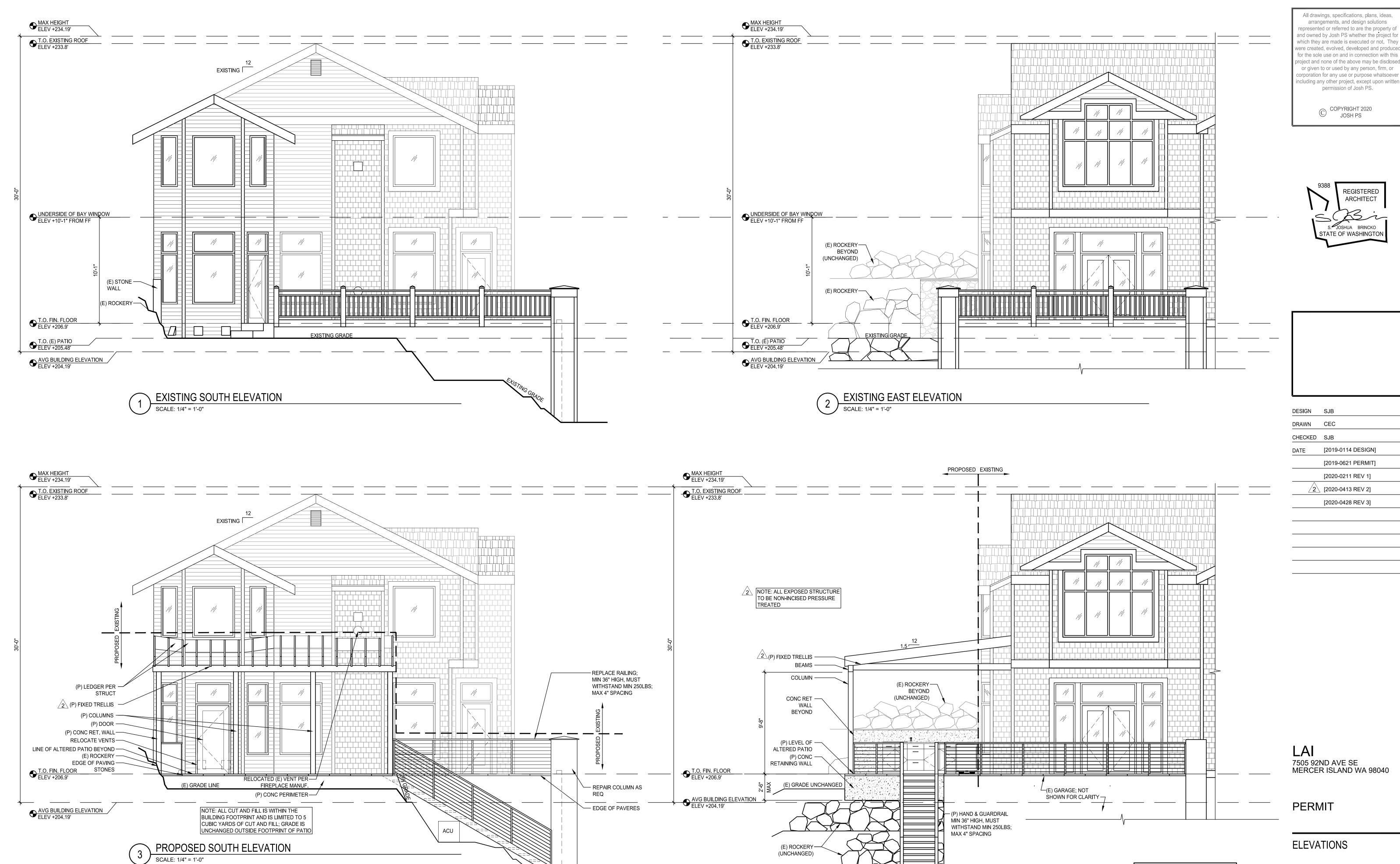
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LAI 7505 92ND AVE SE MERCER ISLAND WA 98040

PERMIT

MAIN FLOOR PLAN





A3.0

CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION

CONTRACTOR TO CONFIRM FINISHES TO BE MOCKED UP WITH ARCHITECT.

PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



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> [2020-0211 REV 1] 2 [2020-0413 REV 2]

[2020-0428 REV 3]

[2019-0621 PERMIT]

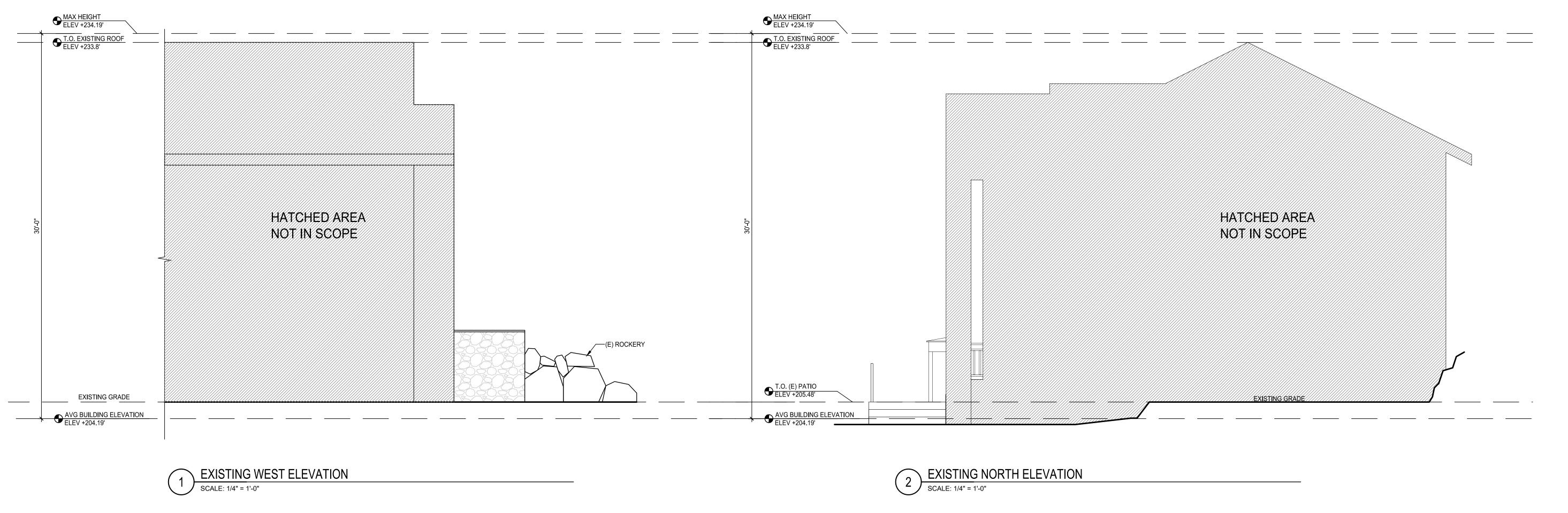
LAI 7505 92ND AVE SE MERCER ISLAND WA 98040

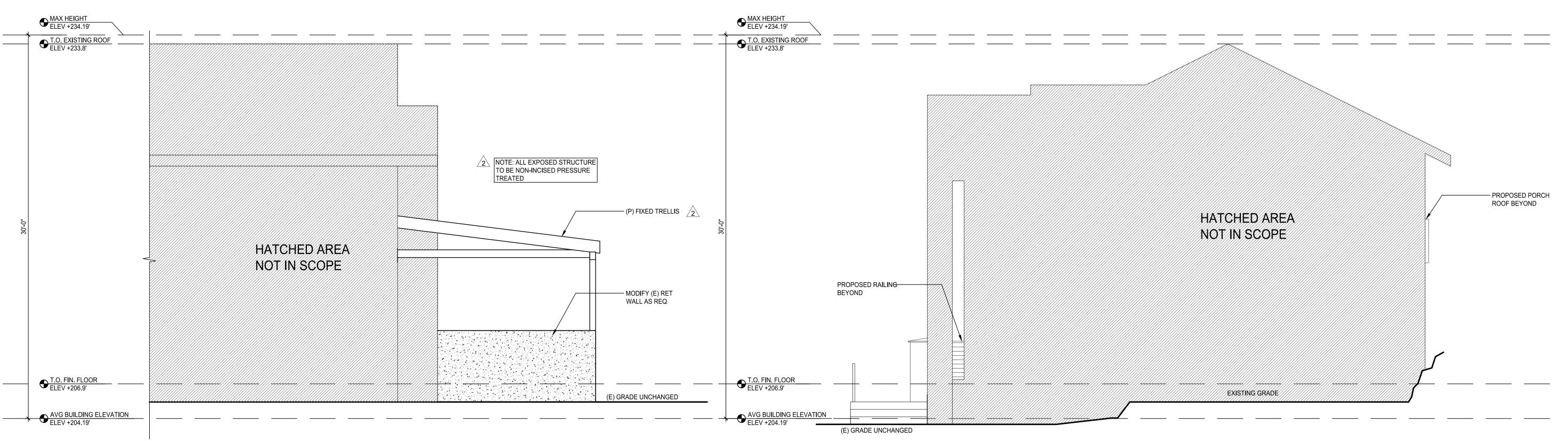
PERMIT

ELEVATIONS

CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

CONTRACTOR TO CONFIRM FINISHES TO BE MOCKED UP WITH ARCHITECT.



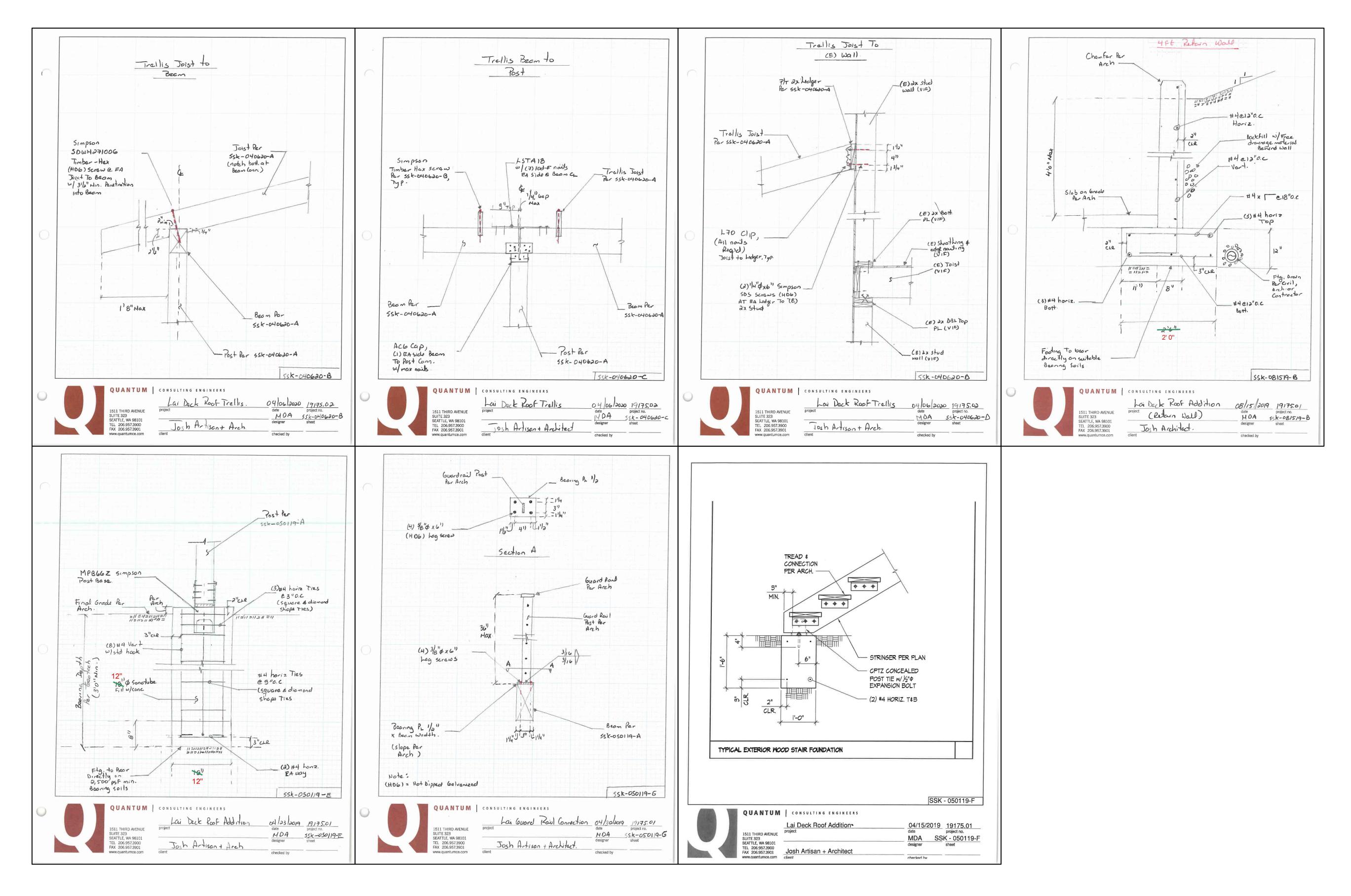


PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

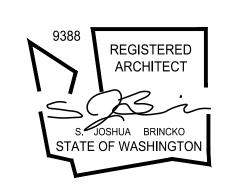


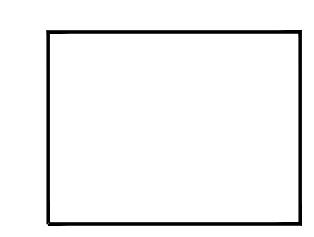
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 DESIGN
 SJB

 DRAWN
 CEC

 CHECKED
 SJB

 DATE
 [2019-0114 DESIGN]

 [2019-0621 PERMIT]

 [2020-0211 REV 1]

 2
 [2020-0413 REV 2]

 [2020-0428 REV 3]

LAI 7505 92ND AVE SE MERCER ISLAND WA 98040

PERMIT

DETAILS

A8 0

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

CRITERIA

- ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).
- 2. THIS STRUCTURE DOES NOT CONFORM TO PRESENT EARTHQUAKE CODE REQUIREMENTS. IT HAS BEEN ANALYZED AND REINFORCED FOR MINIMUM MAINTENANCE IN ACCORDANCE WITH THE INTERNATIONAL EXISTING BUILDING CODE (IEBC) SECTIONS 402, 403 \$ 404 AND IS WITHIN THE CURRENT PRACTICE FOR THE RENOVATION OF EXISTING BUILDINGS OF THIS AGE AND TYPE OF CONSTRUCTION. THIS STRUCTURE HAS NOT BEEN ANALYZED OR DESIGNED FOR A COMPLETE SEISMIC UPGRADE.
- 3. <u>DESIGN LOADING CRITERIA</u>

GUARDRAILS/BALCONY RAILS (ONE OR TWO UNIT DWELLING)

SNOW	. ROOF SNOW LOAD = 25 PSF
	GROUND SNOW LOAD = 20 PSF
	THERMAL FACTOR Ct = 1.20

COMPONENTS AND CLADDING-OPEN STRUCTURES" TOPOGRAPHIC FACTOR Kzt = 1.0

ROOFING DESIGN PRESSURE NOT AT A CORNER (MAX.)

THE DESIGN WIND PRESSURES LISTED ABOVE ARE INWARD OR OUTWARD AND ARE BASED ON AN EFFECTIVE WIND AREA OF 10 SQUARE FEET NEAR A BUILDING CORNER, U.O.N. CORNER AND OTHER ZONES ARE DEFINED BY FIGURE 30.5-1 IN ASCE 7-10. REDUCED DESIGN PRESSURES MAY BE CALCULATED USING ASCE 7. NOTE THAT THE DESIGN WIND PRESSURES NOTED ABOVE ARE ULTIMATE VALUES PER THE 2015 IBC AND SHALL BE MULTIPLIED BY 0.6 FOR ALLOWABLE STRESS DESIGN.

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 5. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
- 6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS. TECHNIQUES SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THEIR WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. WHERE INFORMATION ON THE DRAWINGS IS IN CONFLICT WITH THE SPECIFICATIONS. THE MORE STRINGENT SHALL APPLY, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. DO NOT SCALE THE DRAWINGS.
- 10. ALL STRUCTURAL SYSTEMS WHICH ARE COMPOSED OF FIELD ERECTED COMPONENTS SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- <u>DEFERRED SUBMITTALS OF DESIGN BUILD COMPONENTS</u> SHALL BEAR THE STAMP AND SIGNATURE OF A STATE OF WASHINGTON REGISTERED PROFESSIONAL ENGINEER AND SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO CURSORY REVIEW BY THE ENGINEER OF RECORD FOR LOADS IMPOSED ON THE BASIC STRUCTURE. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. DEFERRED SUBMITTALS SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON BASIC STRUCTURE AND SHALL INCLUDE DESIGN CALCULATIONS WITH THE ENGINEER'S STAMP.

THE FOLLOWING COMPONENTS SHALL BE DEFERRED SUBMITTALS FOR THIS PROJECT: GUARDRAILS

12. SPECIAL INSPECTION: EXPANSION BOLTS AND THREADED EXPANSION INSERTS, EPOXY GROUTED INSTALLATIONS, SHALL BE SUPERVISED IN ACCORDANCE WITH IBC SECTIONS 1704 & 1705 AND THE PROJECT SPECIFICATIONS BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE OWNER. THE TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR AND BUILDING OFFICIAL. ANY MATERIALS WHICH FAIL TO MEET PROJECT SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

<u>GEOTECHNICAL</u>

13. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH) AT LEAST 36" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND GEOTECHNICAL ENGINEER. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED UNDER COLUMNS OR WALLS ABOVE

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE GEOTECHNICAL REPORT.

THE STRUCTURAL DESIGN IS BASED ON THE FOLLOWING VALUES FROM THE REFERENCED GEOTECHNICAL REPORT: ALLOWABLE SOIL PRESSURE . PASSIVE SOIL PRESSURE.

GEOTECHNICAL REPORT REFERENCE: #19-056 BY PAN GEO, DATED MARCH 19, 2019

RENOVATION

- 14. DEMOLITION: VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
 - A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE.
- VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
- SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING, IF POSSIBLE
- D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, REBAR DOWELS EPOXIED INTO THE EXISTING CONCRETE SHALL BE PROVIDED TO MATCH HORIZONTAL REINFORCING, UNLESS OTHERWISE NOTED ON PLANS.

THE RESULTS OF THE TEST ARE TO BE SUBMITTED TO THE MERCER ISLAND BUILDING DEPARTMENT, ALONG WITH A LETTER FROM THE STRUCTURAL ENGINEER OUTLINING THE PROPOSED ALLOWABLE SHEAR STRESS. FACTOR OF SAFETY AND MAXIMUM ACTUAL ANTICIPATED SHEAR STRESS.

15. CHECK FOR DRYROT AT ALL EXTERIOR WALLS. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

16. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301. CONSTRUCTION TOLERANCES SHALL NOT EXCEED THOSE LISTED IN ACI IIT. CONCRETE SHALL ATTAIN A 28 DAY STRENGTH OF F'C = 2,500 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS (BEFORE THE ADDITION OF ADMIXTURES). THE WATER/CEMENT RATIO SHALL NOT EXCEED 0.55 FOR FOOTINGS AND 0.45 FOR ALL SLABS AND EXPOSED CONCRETE UNLESS OTHERWISE NOTED. EXCEPT FOR FOOTINGS AND SLAB ON GRADE, AGGREGATE SIZE SHALL NOT EXCEED 3/4".

THE MINIMUM AMOUNT OF CEMENT AND THE MAXIMUM SLUMP MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT OF MERCER ISLAND FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. (THE W/C RATIO LIMITS STILL APPLY). THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, CEMENTITIOUS MATERIAL, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 301. CHEMICAL ADMIXTURES AND FLY ASH SHALL CONFORM TO ASTM C494 AND C618 RESPECTIVELY. FLY ASH PERCENTAGE OF TOTAL CEMENTITIOUS MATERIAL SHALL NOT EXCEED 20%. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY TO CONTRACT DOCUMENTS. CONTRACTOR MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR ENTRAINED WITH AN AIR ENTRAINING AGENT CONFORMING TO ASTM C260. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14 TABLE 19.3.3.1. ALL CONCRETE EXPOSED TO THE WEATHER AND ALL GARAGE SLABS-ON-GRADE SHALL OBTAIN A 28-DAY STRENGTH I'C OF 3,000 PSI IN ACCORDANCE WITH ACI 318 TABLE 19.3.2.1 AND IBC SECTION 1904.1. THIS INCREASE IN REQUIRED STRENGTH IS FOR DURABILITY ONLY (SPECIAL INSPECTION IS NOT REQUIRED). ALL CONCRETE TO RECEIVE A STEEL TROWELED FINISH SHALL NOT BE AIR-ENTRAINED.

17. REINFORCING STEEL SHALL CONSIST OF #4 BARS CONFORMING TO ASTM A615, GRADE 40, fy = 40,000 PSI AND SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT 48 BAR DIAMETERS, 2'-O" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS, LAP 2'-O" MINIMUM, PROVIDE (2) #4 MIN. U.N.O. TRIM BARS AROUND ALL OPENINGS IN CONCRETE WALLS OR SLABS EXTENDING 2'-O" PAST CORNERS, TYPICAL.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. NO REINFORCING BARS SHALL BE "WET-SET" INTO THE CONCRETE. PROVIDE A 20' LONG REBAR GROUND (UFER GROUND) PER ELECTRICIAN.

18. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS: FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH SLABS AND WALLS (INTERIOR FACE)

ANCHORAGE

- 19. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2 WEDGE ANCHOR", AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-3037 INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT INSTALLATION.
- 20. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) INTO CONCRETE SHALL BE INSTALLED USING "SET-36" ADHESIVE ANCHOR AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-4057, INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR JAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED.

21. FRAMING LUMBER: SHALL BE KILN DRIED OR MC-19 (MOISTURE CONTENT LESS THAN 19%), AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.I.B. STANDARD NO. 17 GRADING RULES FOR WEST COAST LUMBER. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS: (2X, 3X, AND 4X MEMBERS). DOUGLAS FIR NO. 2 POSTS AND TIMBERS: DOUGLAS FIR NO. STUDS, PLATES & MISCELLANEOUS LIGHT FRAMING: DOUGLAS FIR NO. 2 (AS NOTED ON PLANS / DETAILS)

22. <u>LAMINATED STRAND LUMBER (LSL)</u> SHALL BE DESIGNED AND MANUFACTURED PER ASTM D5456. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, AND THE INDEPENDENT INSPECTION AGENCY'S LOGO. ALL LAMINATED STRAND LUMBER SHALL BE MANUFACTURED USING A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559. MINIMUM STRUCTURAL PROPERTIES ARE AS FOLLOWS:

BEAMS AND LEDGERS: $F_h = 2325 \text{ PSI, E} = 1.55 \times 10^6 \text{ PSI, Fv} = 310 \text{ PSI}$

DESIGN SHOWN ON PLANS IS BASED ON MATERIALS MANUFACTURED BY THE WEYERHAEUSER CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.

23. WOOD SHEATHING SHALL BE APA RATED, EXTERIOR GLUE; EXPOSURE I, IN CONFORMANCE WITH THE REQUIREMENTS FOR THEIR TYPE IN DOC PS-I OR PS-2. SEE PLANS FOR THICKNESS, PANEL IDENTIFICATION INDEX AND NAILING REQUIREMENTS.

UNLESS OTHERWISE NOTED ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH FACE GRAIN PERPENDICULAR TO SUPPORTSALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE AND GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH (2) IOd-F NAILS AT EACH END, UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PANEL EDGES AND NAIL WITH EDGE NAILING SPACED PER PLANS. WHERE NOT NOTED OTHERWISE, NAIL PANEL EDGES WITH 8d NAILS @ 6" O.C. EDGES, 12" O.C. IN THE FIELD.

- 24. ALL WOOD EXPOSED TO WEATHER, OR BEARING ON UNPROTECTED CONCRETE BELOW GRADE, OR BEARING ON UNPROTECTED CONCRETE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE TREATED, U.O.N. PRESSURE TREATMENT SHALL BE WITH AN APPROVED PRESERVATIVE AND BRANDED WITH A QUALITY CONTROL AGENCY MARK BY THE AMERICAN WOOD PRESERVERS BUREAU OR EQUAL. ALL METAL HARDWARE IN CONTACT WITH TREATED WOOD SHALL BE PROTECTED WITH A GI85 GALVANIZED COATING (ZMAX) OR BETTER, ALL NAILS IN TREATED WOOD SHALL BE HOT-DIP GALVANIZED OR BETTER, PROVIDE 2 LAYERS OF 30# ASPHALT IMPREGNATED BUILDING PAPER BETWEEN NON-PRESSURE-TREATED LEDGERS, BLOCKING, ETC., AND CONCRETE
- 25. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NO. C-C-2019, EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE I.C.C. OR IAPMO UES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED. ALL BOLTS TIGHTENED TO SNUG TIGHT.



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PROJECT:

LAI DECK ROOF **ADDITION**

7505 92ND AVE SE MERCER ISLAND WA 98040

APPROVAL:

PERMIT SET 5/1/19 DESCRIPTION DATE BY REVISIONS: / ISSUES: (MDA P.E. JHW DRAWN BY: TTH SCALE: AS SHOWN DATE: TTH JOB NO. 19175.01

GENERAL STRUCTURAL **NOTES**

SHEET NO.

SHEET TITLE:

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

MOOD CONTINUED

26. <u>MOOD FASTENERS</u>:

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

Drawing ID Nail Name Nail Diameter Nail Length
"6d" 6d Common O.113" 2"
"8d Box" 8d Box O.113" 2-1/2"
"8d" 8d Common O.131" 2-1/2"
"10d-F" 10d Framer O.131" 3"
"10d" 10d Shear O.148" 2-1/4"
"16d" 16d Sinker O.148" 3-1/4"
IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS
TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

- B. <u>NAILS</u> SHEATHING FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.
- C. <u>SCREMS</u> SHALL BE MOOD SCREMS OF THE DIAMETER AND LENGTH NOTED ON THE DRAWINGS. SDS FASTENERS ARE SIMPSON STRONG DRIVE SCREWS.
- D. HOT DIPPED GALVANIZED NAILS, BOLTS AND METAL PLATES ALL NAILS, BOLTS AND METAL PLATES IN CONTACT WITH PRESSURE TREATED (INCLUDING FIRE-RETARDANT TREATED) LUMBER SHALL BE HOT DIPPED GALVANIZED.
- 27. WOOD FRAMING NOTES: THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
 - A. ALL <u>MOOD FRAMING DETAILS</u> NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE IBC. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.IO.I. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. TIGHTEN BOLTS AND LAG SCREWS SNUGLY AGAINST WOOD FRAMING AFTER WOOD HAS REACHED SPECIFIED MOISTURE CONTENT.
- B. <u>ROOF FRAMING</u>: PROVIDE DOUBLE JOISTS AROUND ALL OPENINGS IN ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH IOD-F NAILS @ 8" O.C. STAGGERED UNLESS OTHERWISE NOTED.
- C. <u>POSITIVE CONNECTIONS</u>: PROVIDE THE FOLLOWING SIMPSON CONNECTORS AT TYPICAL FRAMING UNLESS OTHERWISE NOTED ON PLAN OR DETAIL. PROVIDE CCQ/ECCQ CAPS AND PBS BASES AT POSTS. PROVIDE BC BASE WHERE POST BEARS ON WOOD FRAMING BELOW. PROVIDE LUS SERIES HANGERS FOR 2X FLOOR AND ROOF JOISTS. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED. All CONNECTORS EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH PRESSURE TREATED WOOD, SHALL BE HOT DIPPED GALVANIZED.

ABBREVIATIONS				
@	At	L	Angle	
d Φ	Penny (Nails) Diameter	LL LLH	Live Load Long Leg Horizontal	
,		LLV	Long Leg Vertical	
A.B.	Anchor Bolt	LONGIT.	Longitudinal	
ADD'L ALT.	Additional Alternate	LT. MT.	Lightweight	
APPROX	K. Approximate	MATL.	Material	
ARCH.	Architect	MAX.	Maximum Maximum	
B.U.	Built-up	MECH. MEZZ	Mechanical Mezzanine	
B/	Bottom of	MF	Moment Frame	
BF BLKG.	Braced Frame Blocking	MFR. MIN.	Manufacturer Minimum	
BLDG.	Building	MISC.	Miscellaneous	
BM.	Beam	MK.	Mark	
BOT. BRG.	Bottom Bearing	N.	North	
BTWN.	Between	N.S.	Near Side	
(i	Centerline	NIC NO.	Not in Contract Number	
<u> </u>	Camber	NOM.	Nominal	
CTOC	Center to Center	NTS	Not to Scale	
CIP C.J.	Cast In Place Construction Joint or Control Joint	O.C.	On Center	
CLG.	Ceiling	0.D.	Outside Diameter	
CLR. CMU	Clear	0.F.	Outside Face	
CNTR.	Concrete Masonry Unit Center	O.H. OPNG.	Opposite Hand Opening	
COL.	Column	OPP.	Opposité	
CONC. CONN.	Concrete Connections	PAF	Powder Actuated Fastener	
CONST.	Construction	PC	Precast	
CONT.	Continuous	PERM.	Permanent	
CJP CSK.	Complete Joint Penetration Countersink	PERP. PL or P	Perpendicular Plate	
		PLF	Pounds per linear Foot	
DBA. DBL.	Deformed Bar Anchor Double	PLYWD PJP	Plywood Partial Joint Penetration	
DEG.	Degree	PREFAB.	Prefabricated	
DET.	Detail	PROJ.	Project	
DF DIA.	Doug Fir-Larch Diameter	PSF PSI	Pounds per Square Foot Pounds per Square Inch	
DIAG.	Diagonal	P.T.	Post-Tensioning	
DIAPH. DIM.	Diaphragm Dimension	P/T	Pressure-Treated	
DIM.	Down	RAD.	Radius	
DO	Ditto	REF.	Reference	
DMG.	Drawing	REINF. REQD.	Reinforce or Reinforcement Required	
(E)	Existing	REV.	Revise	
E. EA.	East Each	R.O.	Rough Opening	
E.F.	Each Face	S.	South	
EL.	Elevation	SCH. or SCHE		
ELEV. EMBED.	Elevator Embedment Length	SECT. SHT.	Section Sheet	
ENGR.	Engineer	SIM.	Similar	
E.M. EXP.	Each Way Expansion	SOG SPEC.	Slab On Grade Specification	
EXT.	Exterior	5 Q.	. Square	
FDN.	Foundation	SQ. FT. SQ. IN.	Square Feet Square Inch (inches)	
FIN.	Finish	STD.	Standard	
FLR.	Floor	STIFF.	Stiffener	
FRP F.S.	Fiber Reinforced Polymer Far Side	STL. STR.	Steel Structural	
FT.	Foot or Feet	SUB.	Substitute	
FTG.	Footing	SYM.	Symmetrical	
GA.	Gauge	T/	Top of	
GALV.	Galvanized	T\$B	Top and Bottom	
GL GRD.	Glue Laminated Grade	T# <i>G</i> THRU	Tongue \$ Groove Through	
GMB	Gypsum Wall Board	TEMP.	Temporary	
HF	Hem Fir	T.O.C. T.O.S.	Top of Concrete Top of Steel	
HGR.	Hanger	T.O.W.	Top of Wall	
HORIZ. HSS	Horizontal Hollow Structural Section	TRANS. TS	Transverse Tubo Stool	
HT.	Height	TYP.	Tube Steel Typical	
I.D.	Inside Diameter	LION or LINO	Unlace Othania Natad	
1.D. I.F.	Inside Diameter Inside Face	UON or UNO	Unless Otherwise Noted	
IN.	Inch	VERT.	Vertical	
INFO. INT.	Information Interior	VIF	Verify in Field	
		M.	West	
JT.	Joint	M/ or m/ MD	With Wood	
KSF	Kips per Square Foot	M.H.S.	Melded Headed Stud	
KSI	Kips per Square Inch	M/O	Without	
		MP W.T.S.	Work Point Welded Threaded Stud	
		MMF	Welded Wire Fabric	
		X SECT.	Cross Section	
		X-STR	Extra Strong	



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SEAL:

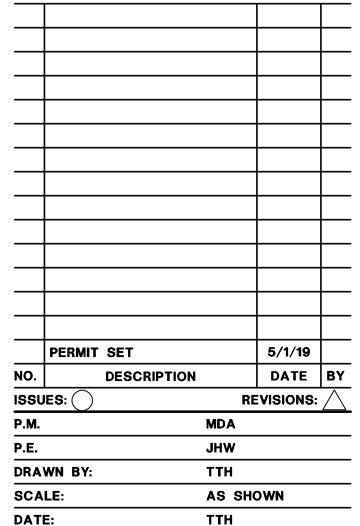


PROJECT:

LAI DECK ROOF ADDITION

7505 92ND AVE SE MERCER ISLAND WA 98040

APPROVAL:



GENERAL STRUCTURAL NOTES & ABBREVIATIONS

19175.01

SHEET NO.

JOB NO.

SHEET TITLE:

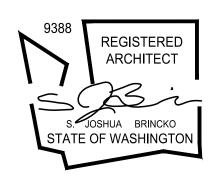
31.1

ARCHITECT REQUIRES A MEETING WITH THE LABORERS INSTALLING SIDING AT THE BEGINNING OF THE FIRST WORKDAY TO EXPLAIN SIDING DETAILS AND SUBSEQUENT MEETINGS FOR EACH DIFFERENT SIDING MATERIAL TO BE INSTALLED.



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DESIGN SJB
DRAWN CEC

CHECKED SJB

[2020-0413 REV 2]

DATE [2019-0114 DESIGN]



LAI 7505 92ND AVE SE MERCER ISLAND WA 98040

PERMIT

ELEVATIONS

