

GRIFFITH MERCER ISLAND HOUSE

2443 84TH AVE SE,
MERCER ISLAND, WA 98040
ISSUED FOR PERMIT
JUNE 10, 2019

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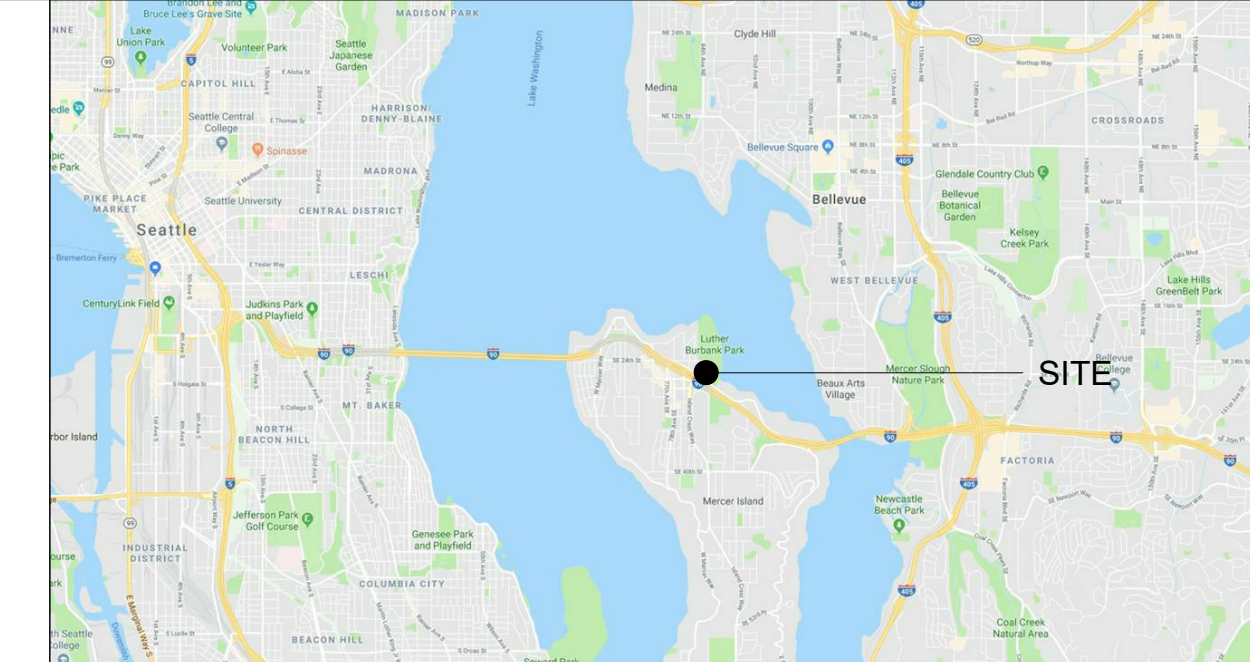
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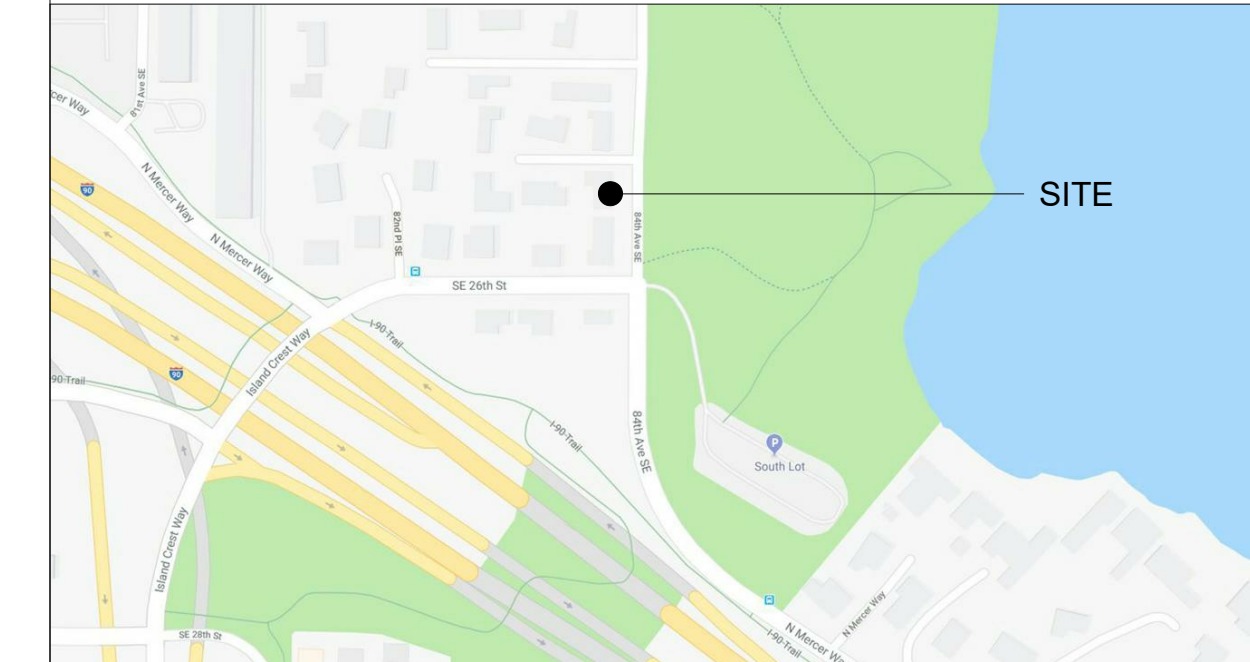
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| | | | |
|--|------------------------------|--|---|
| | NUMBER | | |
| | LETTER | | |
| | REFERENCE GRID LINES | | FENESTRATION TAG WF: WINDOW / RELITE SF: STOREFRONT CF: CURTAIN WALL |
| | VIEW | | KEYNOTE |
| | PARTIAL BUILDING SECTION | | FLOOR/ROOF TAG |
| | WALL SECTION | | WALL TAG |
| | INTERIOR ELEVATION REFERENCE | | FIRE EXTINGUISHER |
| | EXTERIOR ELEVATION REFERENCE | | EXIT LIGHTING |
| | CALL OUT | | EGRESS ARROW AND OCCUPANT LOAD EXITING |
| | DETAIL REFERENCE | | EGRESS DIRECTION PATH OF TRAVEL |
| | NORTH ARROW | | ROOM TAG / OCCUPANT LOAD CALCULATOR |
| | ELEVATION DATUM TAG | | SLOPE INDICATOR |
| | SPOT ELEVATION TAG (IN PLAN) | | SLOPE ARROW |
| | ROOM TAG | | BREAK LINE |
| | CENTER LINE | | REVISION TAG |
| | DOOR TAG | | REVISION CLOUD |

| | | | |
|---|---|--|--|
| ABV ABOVE | FRM FRAME (D) | PEN PENETRATION | VD VOLUME DAMPER |
| A/C AIR CONDITIONING | FRTW FIRE RETARDANT-TREATED WOOD | PERF PERFORATE(D) | VE VALUE ENGINEERING |
| ACP ACOUSTICAL CEILING PANEL | FT FOOT or FEET | PERIM PERIMETER | VECP VALUE ENGINEERING CHANGE PROPOSAL |
| ADA AMERICANS WITH DISABILITIES ACT | FURN FURNISH | PKG PARKING or PACKAGE | VERP VERTICAL PANEL |
| ADL ADDITIONAL | FURR FURRING | PL PROPERTY LINE or PLATE | VERT VERTICAL |
| ADJ ADJUSTABLE | GA GYPSUM ASSOCIATION | PLAM PLASTIC LAMINATE | VG VERTICAL GRAIN or VARIABLE GRADE |
| AFF ABOVE FINISHED FLOOR | ga GAUGE | PLWD PLYWOOD | VIF VERIFY IN FIELD |
| AGG AGGREGATE | GALV GALVANIZED | POC POINT OF CONNECTION | VOL VOLUME |
| AHJ AUTHORITIES(SITY) HAVING JURISDICTION | GAR GARAGE | PRE-FIN PRE-FINISH | VW VARIABLE WIDTH |
| AIA AMERICAN INSTITUTE OF ARCHITECTS | GB GRAB BAR | PRCST PRECAST | W WEST or WIDTH or WIDE |
| ALT ALTERNATE OR ALTERNATIVE | GD GRID LINE | PROP PROPERTY | W/ WITH |
| ALUM ALUMINUM | GR GRADE | PT PRESSURE TREATED | WC WATER CLOSET |
| AND ANODIZED | GYP GYPSUM | PUD PLANNED URBAN DEVELOPMENT or PLANNED UNIT DEVELOPMENT | WCO WALL CLEANOUT |
| ANSI AMERICAN NATIONAL STANDARDS INSTITUTE | GYP BD GYPSUM BOARD | QA QUALITY ASSURANCE | WD WOOD |
| AOR ARCHITECT OF RECORD | GYP CEM GYPSUM CEMENT | QC QUALITY CONTROL | WF WIDE FLANGE |
| AP ACCESS PANEL | GYP SH GYPSUM SHEATHING | QTY QUANTITY | WG WIRE GLASS |
| AP ASSOCIATION(S) | HB HOSE BIB | R RISER | WH WATER HEATER |
| ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS | HDRL HANDRAIL | RCP REFLECTED CEILING PLAN | WIO WITHOUT |
| BD BOARD | HDW HARDWARE | RD ROOF DRAIN | WOM WALK OFF MAT |
| BLDG BUILDING | HM HOLLOW METAL | REF REFERENCE or REFER TO | WP WATERPROOF(ING) |
| BLK BLOCK | HT HEIGHT | REFR REFRIGERATOR | WPM WATERPROOFING MEMBRANE |
| BLKG BLOCKING | HVAC HEATING, VENTILATING, AIR CONDITIONING | REIN REINFORCE(D) or (ING) | WRB WEATHER RESISTANT BARRIER |
| BM BEAM or BENCH MARK | IBC INTERNATIONAL BUILDING CODE | RELOC RELOCATE(D) or (TION) | WS WATERSTOP or WAINSCOT |
| BO BOTTOM OF | ICC INTERNATIONAL CODE COUNCIL | REMO REMOVAL or REMARK | WT WEIGHT |
| BP BUILDING PAPER | IFC INTERNATIONAL FIRE CODE | REPL REPLACE | WWF WELDED WIRE FABRIC |
| BTB BACK TO BACK | IMC INTERNATIONAL MECHANICAL CODE | REQD REQUIRED | YD YARD(S) |
| BTVN BETWEEN | IPC INTERNATIONAL PLUMBING CODE | RES RESIDENCE or (TIAL) | |
| BW BACK OF WALK or BOTTOM WIDTH | IN INCH | RET RETENTION or RETURN | |
| BLR BUILT UP ROOF | INCL INCLUDE(D) or (ING) | RETW RETAILING WALL | |
| CAB CABINET | INSUL INSULATE(D) or INSULATION | REV REVISE(D) or (ION) | |
| CB CATCH BASIN | INT INTERIOR or INTERSECTION | RMD ROOM | |
| CBG CEMENTITIOUS BACKER BOARD | JAN JANITOR | RND ROUND | |
| CG CORNER GUARD | JAN C JANITOR'S CLOSET | RO ROUGH OPENING | |
| CJ CONTROL JOINT | JCT JUNCTION | ROW RIGHT OF WAY | |
| CL CENTER LINE or CHAIN LINK | JST JOIST | RP REFERENCE POINT | |
| CLG CEILING | JT JOINT | RSF RESURFACE | |
| CLO CLOSET | KD KNOCK DOWN | RSVR RESERVOIR | |
| CLR CLEARANCE | KF KICKPLATE | S SOUTH | |
| CMU CONCRETE MASONRY UNIT | KO KNOCK OUT | SAM SELF ADHERING MEMBRANE | |
| CO CLEAN OUT | LAM LAMINATE(D) | SAN SANITARY | |
| COL COLUMN | LAV LAVATORY | SC SOLID CORE | |
| CONC CONCRETE | LOC LIMITS OF CONSTRUCTION | SCHED SCHEDULE | |
| COND CONDITIONAL | MAINT MAINTENANCE | SECT SECTION | |
| CONT CONTINUE(UOUS) | MANF MANUFACTURE(R) or (D) | SF SQUARE FEET (FOOT) | |
| CSMT CASEMENT | MATL MATERIAL | SIM SIMILAR | |
| CSWK CASEWORK | MAX MAXIMUM MECHANICAL BOARD | SIMACNA SHEET METAL & AIR CONDITIONING CONTRACTOR'S NATIONAL ASSOCIATION | |
| CTR CENTER | MECH MECHANICAL | SP STANDPIPE | |
| CW COLD WATER | MEMB MEMBRANE | SPEC SPECIFICATION(S) | |
| DBL DOUBLE | MEP MECHANICAL, ELECTRICAL, & PLUMBING | SQ SQUARE | |
| DEMO DEMOLISH(ED) or DEMOLITION | MIN MINIMUM or MINUTE | SS SOLID SURFACE | |
| DEPT DEPARTMENT | MISC MISCELLANEOUS | SSI STAINLESS STEEL | |
| DIA DIAMETER | MR MOISTURE RESISTANT | STC SOUND TRANSMISSION CLASSIFICATION | |
| DIM DIMENSION | MTD MOUNTED | STD STANDARD | |
| DISP DISPENSER or DISPOSAL | MTL METAL | STOR STORAGE | |
| DN DOWN | MULL MULLION | STRUC STRUCTURE | |
| DR DOOR | (N) NEW | SUB SUBSTITUTION | |
| DS DOWNSPOUT | N NORTH | SUPP SUPPLEMENT or SUPPLY(ER) | |
| DTL DETAIL | N/A NOT APPLICABLE or NOT AVAILABLE | SURF SURFACE | |
| DW DISHWASHER | NIC NOT IN CONTRACT | SUSP SUSPEND(ED) | |
| DWG(S) DRAWING(S) | NOM NOMINAL | SWK SIDEWALK | |
| (E) EXISTING | NTP NOTICE TO PROCEED | SYM SYMBOL or SYMMETRICAL | |
| E EAST | NTS NOT TO SCALE | T TREAD | |
| EACH EACH | OC ON CENTER | T&B TOP & BOTTOM | |
| EJ EXPANSION JOINT | OD OUTSIDE DIAMETER or OUTSIDE DIMENSION | T&G TOP & GROOVE | |
| ELEC ELECTRIC(AL) | OFCE OWNER FURNISHED, CONTRACTOR INSTALLED | TEMP TEMPORARY or TEMPERATURE | |
| ELEV ELEVATOR | OFOW OWNER FURNISHED, OWNER INSTALLED | THK THICK(NESS) | |
| EMER EMERGENCY | OLF OCCUPANT LOAD FACTOR | TO TOP OF | |
| ENCL ENCLOSURE | OPP OPPOSITE | TOC TOP OF CURB | |
| EOR ENGINEER OF RECORD | OPT OPTIONAL | TOP TOP OF PARAPET | |
| EPX EPOXY (PAINT) | ORIG ORIGINAL | TRANS TRANSFORMER | |
| EQ EQUAL | OSB ORIENTED STRAND BOARD | TYP TYPICAL | |
| EQU EQUAL | OTS OPEN TO STRUCTURE | UFC UNIFORM FIRE CODE | |
| EQP EQUIPMENT | OVHD OVERHEAD | UL UNDERWRITERS LABORATORIES | |
| ETC ET CETERA | P PAINT(ED) | UNF UNFINISHED | |
| EXT EXTERIOR | PANL PANEL | UNTR UNTREATED | |
| (F) FUTURE | PC PORTLAND CEMENT or PRECAST CONCRETE | UON UNLESS OTHERWISE NOTED | |
| FC FIBER CEMENT | PEO PEDESTRIAN | UNO UNLESS NOTED OTHERWISE | |
| FE FIRE EXTINGUISHER & BRACKET | | US UNDERSIDE OF STRUCTURE | |
| FEC FIRE EXTINGUISHER CABINET | | UPS UNINTERRUPTED POWER SUPPLY | |
| FF FINISHED FLOOR | | USPS UNITED STATES POSTAL SERVICE | |
| FFE FINISHED FLOOR ELEVATION | | UTIL UTILITIES | |
| FIN FINISHED | | UV UNIT VENTILATOR or ULTRA VIOLET | |
| FLR FLOORING | | V VOLTS | |
| FLR FOUNDATION | | VAR VARIES | |
| FND FOUNDATION | | VB VAPOR BARRIER | |
| FO FACE OF | | | |
| FOC FACE OF CONCRETE | | | |
| FOF FACE OF FINISH | | | |
| FOM FACE OF MASONRY | | | |
| FOS FACE OF STUD or FACE OF STEEL | | | |
| FOW FACE OF WALL | | | |



VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

LEGAL DESCRIPTION:

TAX LOT NO: 1224049090
LEGAL DESCRIPTION: POR OF NE 1/4 BEG NE COR OF SECT TH S 00-07-33 W 432.05 FT TH N 89-38-06 W 30 FT TO TPOB TH S 00-07-33 W 105 FT TH N 89-38-06 W 102.5 FT TH N 00-07-33 E 105 FT TH S 89-38-06 E 102.5 FT TO TPOB
ZONING: R-8.4 (SINGLE FAMILY RESIDENTIAL)
ZONING MAP: MERCER ISLAND ZONING MAP
PLAN DISTRICT: EASTSIDE
COMP PLAN: MERCER ISLAND COMPREHENSIVE PLAN

PROJECT DESCRIPTION:

TENANT IMPROVEMENTS TO AN EXISTING RESIDENTIAL HOUSE WHICH INCLUDES THE FOLLOWING:
1. EXPANSION OF EXISTING FRONT DECK
2. NEW EXTERIOR STAIR ACCESS FROM DRIVEWAY TO FRONT DECK AND BACK YARD
3. EXPANSION OF DRIVEWAY
4. EXTENSION OF ROOF OVER A PORTION OF THE REAR DECK

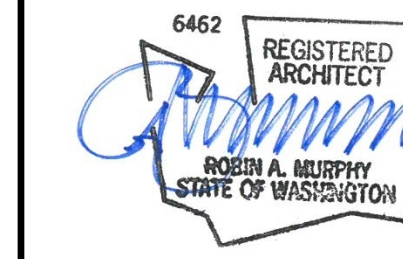
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CONTACT: HOWARD BURTON

GRIFFITH MERCER ISLAND HOUSE
2443 84TH AVE SE,
MERCER ISLAND, WA 98040

| DATE | NO. | DESCRIPTION |
|-----------|-----|-------------------|
| 6/10/2019 | 1 | PERMIT SUBMISSION |



PROJECT NO.: 19051
PROJECT MGR.: LH
DRAWN BY: SMV
CHECKED BY: RAM

COVER SHEET

G0.00

Project Location

2443 84th Ave SE
Mercer Island, WA 98040

Project Description

Construct new porch roof attached to existing residence and over existing concrete front porch. Replace roof on entire existing residence.

Architect

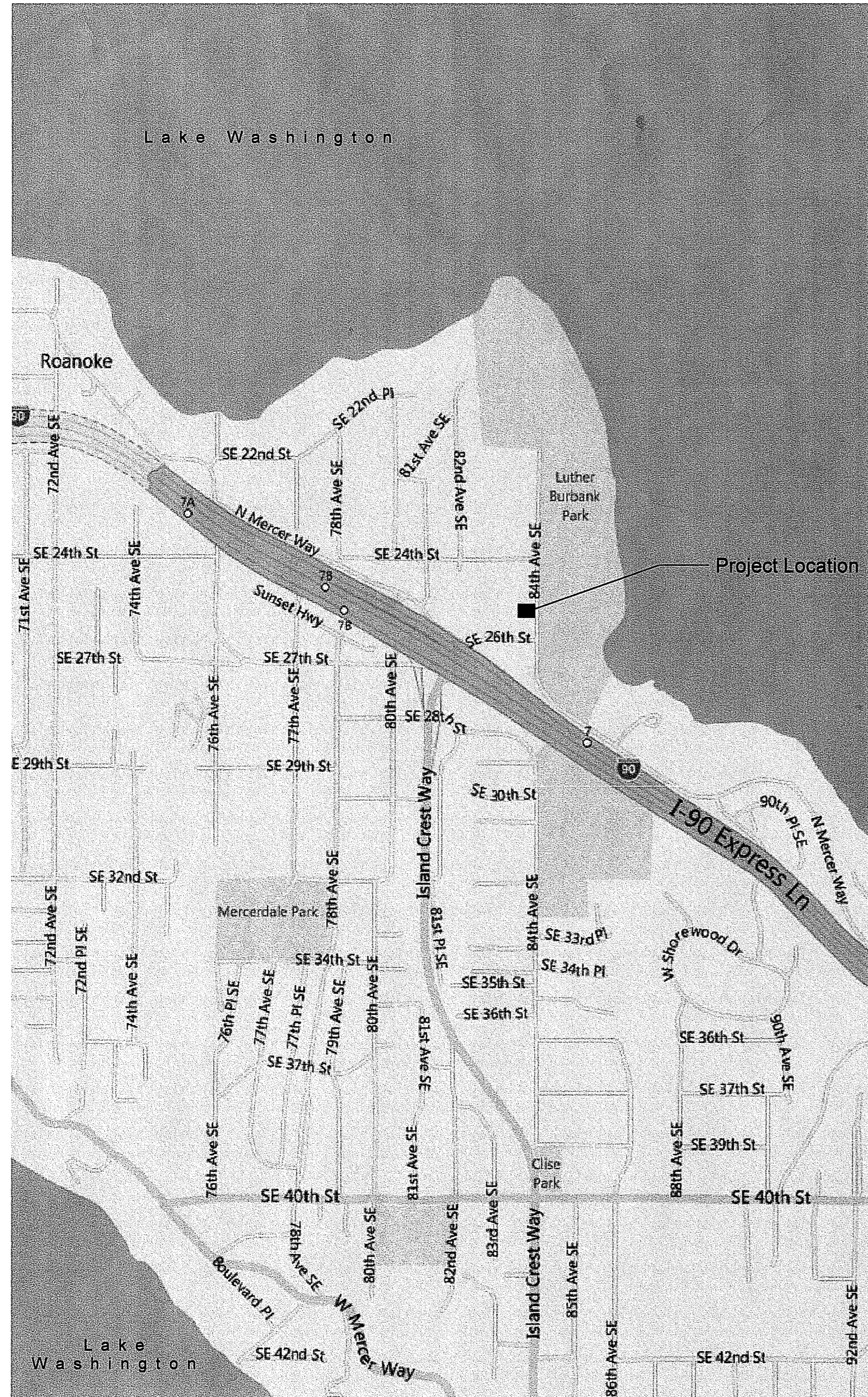
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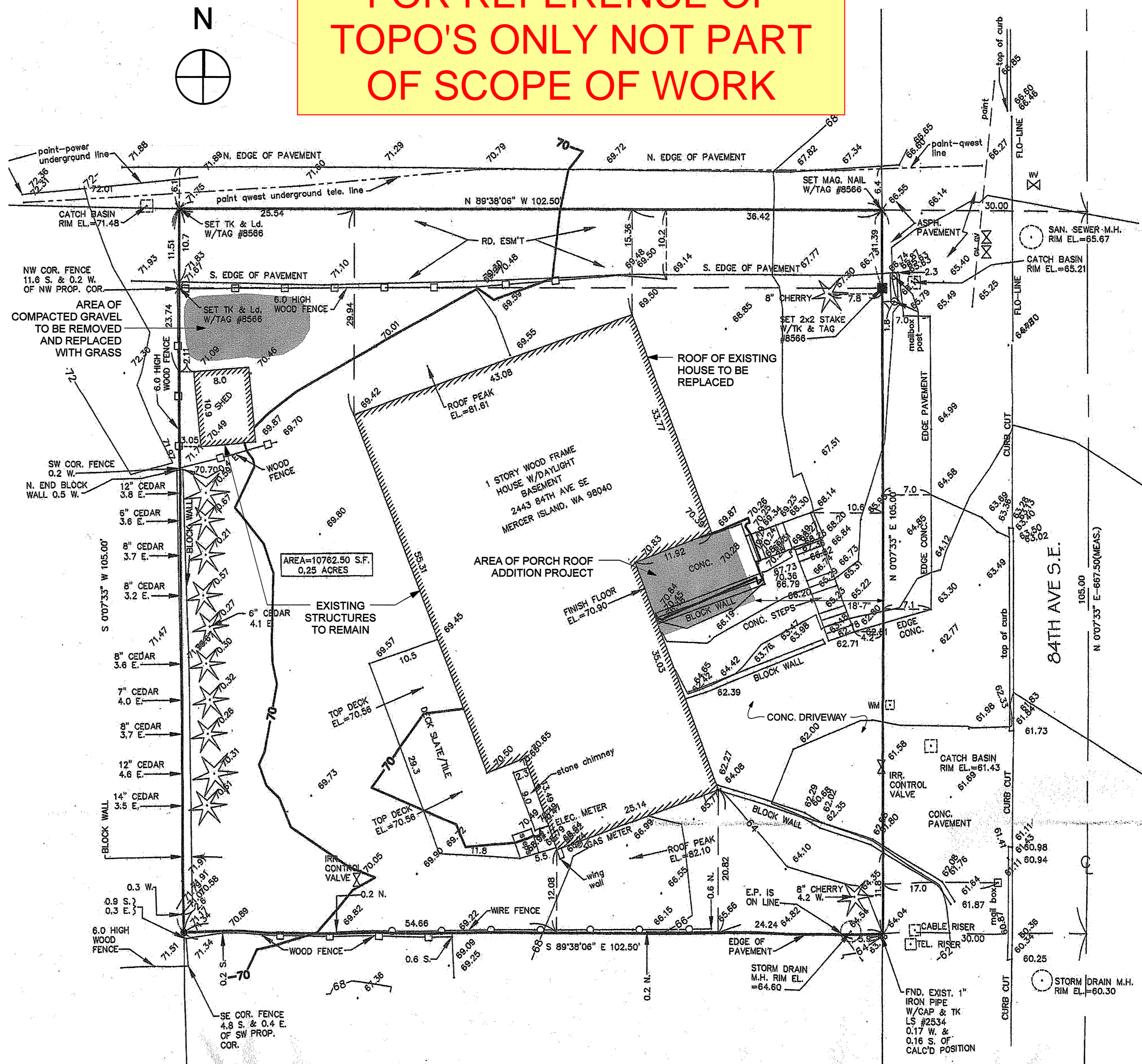
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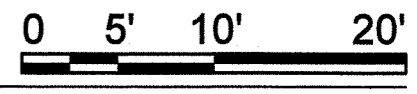


FOR REFERENCE OF TOPO'S ONLY NOT PART OF SCOPE OF WORK



LEGAL DESCRIPTION OF PROPERTY:
 THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 24 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT 432.05 FEET S 0°07'33" W AND 30 FEET N 89°38'06" W FROM THE NORTHEAST CORNER OF SECTION 12, TOWNSHIP 24 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON, AND RUNNING THENCE S 0°07'33" W 105.00 FEET; THENCE N 89°38'06" W 102.5 FEET; THENCE N 0°07'33" E 105.0 FEET; THENCE S 89°38'06" E 102.05 FEET TO THE TRUE POINT OF BEGINNING.

Site Plan
SCALE: 1" = 10'



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 TEL: 206-284-2205
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 REGISTERED ARCHITECT
 PETER B. STONER
 STATE OF WASHINGTON

FOR REFERENCE ONLY

OBERTO
 Stephen and Laura Oberto
 2443 84th Ave SE
 Mercer Island, WA 98040

| |
|--------------------|
| Permit |
| PERMIT APPLICATION |
| 07/11/2011 |
| REVISIONS |
| |
| |
| |

RECEIVED

A1

JUL 11 2011

APPLICABLE CODES AND STANDARDS

| | |
|---------------|---|
| BUILDING CODE | "INTERNATIONAL BUILDING CODE" (IBC), 2015 EDITION, AS AMENDED BY THE CITY OF MERCER ISLAND |
| ACI 318 | AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318-14) |
| ASCE 7 | AMERICAN SOCIETY OF CIVIL ENGINEERS, "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" (ASCE 7-10) |
| ASTM NDS | AMERICAN SOCIETY OF TESTING AND MATERIALS NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, 2015 EDITION |

CONCRETE

MIXING AND PLACING OF ALL CONCRETE AND SELECTION OF MATERIALS SHALL BE IN ACCORDANCE WITH THE BUILDING CODE. PROPORTIONS OF AGGREGATE TO CEMENT SHALL PRODUCE DENSE, WORKABLE MIX WHICH CAN BE PLACED WITHOUT SEGREGATION OR EXCESS FREE SURFACE WATER. ALL CONCRETE, INCLUDING SLABS ON GROUND, SHALL HAVE AN ACCEPTABLE WATER-REDUCING ADMIXTURE ADDED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. ALL CONCRETE WALKS AND PAVEMENTS EXPOSED TO THE WEATHER SHALL CONTAIN AN ACCEPTABLE ADMIXTURE TO PRODUCE 4 TO 6 PERCENT ENTRAINED AIR.

MAXIMUM SIZE OF AGGREGATE SHALL BE 1-1/2 INCHES, BUT MAXIMUM SIZE OF AGGREGATE SHALL NOT BE MORE THAN THREE-QUARTERS OF THE CLEAR DISTANCE BETWEEN REINFORCING BARS.

MIX DESIGNS SHALL BE SUBMITTED TO THE ENGINEER AND THE CITY OF MERCER ISLAND BUILDING DEPARTMENT FOR ACCEPTANCE PRIOR TO USE. MAXIMUM WATER-TO-CEMENT RATIO AND SLUMP SHALL BE AS FOLLOWS FOR VARIOUS CONCRETE STRENGTHS (fc) BASED ON STANDARD 28-DAY CYLINDER TESTS WHEN STRENGTH DATA FROM TRIAL BATCHES OR FIELD EXPERIENCE ARE NOT AVAILABLE.

| MAXIMUM WATER-TO-CEMENT RATIO BY WEIGHT | | | | |
|---|-------------------|---------------|---------------|----------|
| fc | NON-AIR ENTRAINED | AIR ENTRAINED | MAXIMUM SLUMP | LOCATION |
| 2500 psi | 0.44 | 0.40 | 5 | all conc |

CONSTRUCTION JOINTS

ALL CONSTRUCTION JOINTS IN WALLS, SLABS, AND BEAMS SHALL BE KEYPED IN ACCORDANCE WITH THE TYPICAL CONSTRUCTION JOINT DETAILS SHOWN ON THE STRUCTURAL DRAWINGS OR, AT THE CONTRACTORS OPTION, SHALL BE INTENTIONALLY ROUGHENED IN ACCORDANCE WITH THE FOLLOWING: THE SURFACE OF ROUGHENED JOINTS SHALL BE SAND BLASTED OR ROUGHENED WITH A CHIPPING HAMMER TO EXPOSE THE AGGREGATE EMBEDDED IN THE PREVIOUS POUR. THE EXPOSED AGGREGATE SHALL PROTRUDE A MINIMUM OF 1/4 INCH. ALL SURFACES OF CONSTRUCTION JOINTS SHALL BE CLEANED AND LAITANCE REMOVED. IMMEDIATELY BEFORE NEW CONCRETE IS PLACED, ALL CONSTRUCTION JOINTS SHALL BE WETTED AND STANDING WATER REMOVED. THE CONTRACTOR SHALL SUBMIT THE PROPOSED LOCATION OF ALL CONSTRUCTION JOINTS TO THE ENGINEER FOR ACCEPTANCE PRIOR TO STARTING FORMWORK. WATERSTOPS SHALL BE INSTALLED AND PROTECTED AT ALL CONSTRUCTION JOINTS AT OR BELOW GRADE WHERE WATER INTRUSION CAN OCCUR.

REINFORCING STEEL

ALL REINFORCING SHALL BE NEW BILLET STOCK ASTM A615, GRADE 60. BARS SHALL BE SECURELY TIED IN PLACE WITH #16 DOUBLE-ANNEALED IRON WIRE. BARS SHALL BE SUPPORTED ON ACCEPTABLE NON-CORRODIBLE CHAIRS. REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH THE ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING OF REINFORCED CONCRETE STRUCTURES." CONTRACTOR SHALL COORDINATE REINFORCING STEEL PLACEMENT DETAILS AND PROVIDE TEMPLATES FOR PLACING STEEL IN CONGESTED AREAS AS NECESSARY.

LAP ALL REINFORCING BARS AS NOTED ON THE DRAWINGS. MECHANICAL OR WELDED BUTT SPLICES SHALL BE USED SUBJECT TO ENGINEER'S APPROVAL. MECHANICAL SPLICES SHALL DEVELOP 125% OF THE SPECIFIED YIELD STRENGTH OF THE SPLICED BARS IN BOTH TENSION AND COMPRESSION, UNLESS NOTED OTHERWISE.

REINFORCING STEEL MATERIALS

| | |
|-----------------------------|-------------------------|
| DEFORMED BARS | ASTM A615, GRADE 60 |
| DEFORMED WELDED WIRE FABRIC | ASTM A497 (Fy = 70 ksi) |

MINIMUM CAST-IN-PLACE CONCRETE COVER OVER REINFORCING STEEL, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:

CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:
ALL BAR SIZES 3 INCHES

CONCRETE EXPOSED TO EARTH OR WEATHER:
#5 BAR, W31 OR D31 WIRE 1 1/2 INCHES

WALLS (INTERIOR FACE), SLABS, JOISTS
#11 BAR & SMALLER 3/4 INCH

PROVIDE L-SHAPED CORNER BARS AT ALL WALL AND FOOTING CORNERS AND INTERSECTIONS UNLESS NOTED OTHERWISE. MATCH HORIZONTAL REINFORCING BAR SIZE AND QUANTITY. LAP 50 BAR DIAMETERS.

DRILLED-IN-CONCRETE ANCHORS (DICA)

ACCEPTABLE DRILLED-IN-CONCRETE ANCHORS OF SIZE, NUMBER AND SPACING AS SHOWN ON THE DRAWINGS SHALL BE AS FOLLOWS:

FOR CONCRETE: SIMPSON STRONG-TIE STRONG-BOLT 2 WEDGE ANCHORS (ESR #3037), HILTI KWIK BOLT TZ CONCRETE ANCHORS (ESR #1917), ITW RED HEAD TRUBOLT CARBON STEEL WEDGE ANCHORS (ESR #2427), POWERS FASTENERS POWER-STUD+ SD2 CONCRETE ANCHOR (ESR #2502), OR APPROVED EQUAL.

EPOXY ADHESIVE

EPOXY ADHESIVE FOR CONCRETE SHALL BE AS FOLLOWS: SIMPSON STRONG-TIE "SET-XP EPOXY ADHESIVE" (ESR #2508), HILTI "HIT-HY 200 A" (ESR #3187), HILTI "HIT-RE 500 V3 EPOXY ADHESIVE ANCHOR SYSTEM" (ESR #3814), OR APPROVED EQUAL.

CARPENTRY

FRAMING LUMBER SHALL BE GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD GRADING RULES FOR WEST COAST LUMBER, LATEST EDITION. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:
2x,3x & 4x DOUGLAS-FIR NO. 2, Fb = 900 PSI
6x DOUGLAS-FIR NO. 1, Fb = 1350 PSI

EXPOSED TIMBER FRAMING, BOARDS AND DECKING SHALL BE ROUGH SAWN TO THE DIMENSIONS INDICATED. FRAMING NOT EXPOSED MAY BE SURFACED AND SIZES INDICATED ARE NOMINAL.

GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ANSI STANDARD A190.1. EACH MEMBER SHALL BEAR AN AITC OR APA EWS IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA EWS CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4-1.8E (Fb = 2,400 PSI, Fv = 0.72x265 = 190 PSI, E = 1,800,000 PSI). ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8-1.8E (Fb = 2400 PSI, Fv = 190 PSI, E = 1,800,000 PSI). CAMBER ALL GLULAM BEAMS TO 2,000' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.

ALL LUMBER WITH A LEAST DIMENSION OF 2" (NOMINAL) SHALL BE STAMPED SURFACE-DRY AND SHALL HAVE MOISTURE CONTENT WHEN SURFACED AND WHEN INSTALLED OF NOT MORE THAN 19 PERCENT. LUMBER WITH A LEAST DIMENSION OF 4" (NOMINAL) OR GREATER SHALL BE STAMPED SURFACE-GREEN AND AIR-DRIED TO A MOISTURE CONTENT OF NOT MORE THAN 19 PERCENT PRIOR TO ITS USE IN FRAMING THE STRUCTURE.

ALL WOOD PLATES IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE. PROVIDE TWO LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC., AND CONCRETE OR MASONRY.

WOOD FRAMING

ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1 OF THE BUILDING CODE. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

NAILS SHALL BE MANUFACTURED IN CANADA OR THE UNITED STATES IN SIZES AND TYPES AS FOLLOWS, UNLESS NOTED OTHERWISE:
PNEUMATIC NAILING - PLAIN SHANK, COATED OR GALVANIZED
8d = .131 DIAMETER x 2-1/2" MINIMUM LENGTH
10d = .131 DIAMETER x 3" MINIMUM LENGTH
16d = .131 DIAMETER x 3-1/2" MINIMUM LENGTH
HAND NAILING - SINKERS, COATED
8d = 11-1/2 GAGE x 2-3/8"
10d = 11 GAGE x 2-7/8"
16d = 9 GAGE x 3-1/4"

NOTATIONS ON DRAWINGS RELATING TO FRAMING CLIPS, JOIST HANGERS AND OTHER CONNECTING DEVICES REFER TO CATALOG NUMBERS OF CONNECTORS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, SAN LEANDRO, CALIFORNIA. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. SUBMIT MANUFACTURER'S CATALOG AND ICBO REPORTS TO ARCHITECT AND ENGINEER FOR REVIEW WHEN REQUESTING SUBSTITUTIONS. ALL SPECIFIED FASTENERS MUST BE USED AND PROPER INSTALLATION PROCEDURES MUST BE OBSERVED IN ORDER TO OBTAIN ICBO APPROVED LOAD CAPACITIES. VERIFY THAT THE DIMENSIONS OF THE SUPPORTING MEMBER ARE SUFFICIENT TO RECEIVE THE SPECIFIED FASTENERS.

STRUCTURAL DESIGN DATA

DECK DEAD LOAD: 10 PSF
DECK LIVE LOAD 40 PSF
SNOW LOADS 25 PSF

SEISMIC LOADS: 20015 IBC
Ss = 1.370 g, S1 = 0.527 g
SITE CLASS D
Fa = 1.00, Fv = 1.50
SDS = 0.913, SD1 = 0.527
RISK CATEGORY II, Ie = 1.00
SEISMIC DESIGN CATEGORY D
LIGHT-FRAMED WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE
R = 6.5, Qo = 2.5, Cd = 4
DESIGN BASE SHEAR, V = 0.141W = XX KIPS

FOUNDATIONS

FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH) AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. MATERIAL SHALL BE COMPACTED TO 95% MINIMUM OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.

FOOTINGS MAY BE POURED IN NEAT EXCAVATIONS PROVIDED SIZE IS INCREASED 3" AT EACH INTERFACE WITH SOIL.

ALL FOOTING EXCAVATIONS SHALL BE HAND CLEANED PRIOR TO PLACING CONCRETE.

ALL ABANDONED FOOTINGS, UTILITIES, ETC. THAT INTERFERE WITH NEW CONSTRUCTION SHALL BE REMOVED.

CONTRACTOR SHALL PROVIDE FOR DESIGN AND INSTALLATION OF ALL CRIBBING, SHEATHING, AND SHORING REQUIRED TO SAFELY RETAIN EXCAVATIONS.

BACKFILL BEHIND ALL WALLS WITH WELL DRAINING, GRANULAR FILL MATERIAL, AND PROVIDE PERFORATED PIPE DRAINS AS DESCRIBED IN THE SOILS REPORT. BACKFILL BEHIND WALLS SHALL NOT BE PLACED BEFORE THE WALL IS PROPERLY SUPPORTED BY THE FLOOR SLAB, OR TEMPORARY BRACING. ALL FOOTINGS SHALL BE CENTERED BELOW CENTERLINE OF COLUMNS OR WALLS ABOVE, UNLESS NOTED OTHERWISE.

SPECIAL INSPECTION

THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION PER IBC SECTION 1705. THESE INSPECTIONS SHALL BE PERFORMED BY A SPECIAL INSPECTOR CERTIFIED BY THE CITY OF MERCER ISLAND TO PERFORM THE TYPES OF INSPECTIONS SPECIFIED. SEE THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SPECIAL INSPECTION AND TESTING.

| ITEM | DESCRIPTION |
|---------------------------|--|
| EPOXY ANCHORS, DRILLED-IN | INSTALLATION PER INTERNATIONAL CODE |
| CONCRETE ANCHORS | COUNCIL (ICC) EVALUATION SERVICE REPORTS |

SHOP DRAWINGS

SHOP DRAWINGS FOR REINFORCING STEEL SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD. THEREFORE THEY SHALL BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY THE ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION.

SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT BY INDICATING

SUPPLEMENTARY NOTES

STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS.

CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.

CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM HIS WORK. STRUCTURAL DESIGN OF THE BUILDING IS BASED ON RESISTANCE TO DEAD LOADS, CODE SPECIFIED LATERAL LOADS, AND MAXIMUM EXPECTED SERVICE LOADS. NO CONSIDERATION HAS BEEN GIVEN TO LOADS WHICH WILL BE INDUCED BY ERECTION PROCEDURES. THE CONTRACTOR SHALL VERIFY, TO THE SATISFACTION OF HIMSELF AND THE OWNER, THE ABILITY OF THE STRUCTURE TO RESIST ALL ERECTION LOADS WITHOUT EXCEEDING THE ALLOWABLE STRESSES OF THE MATERIALS USED. WHERE ERECTION LOADS WOULD OVERSTRESS THE STRUCTURE, THE CONTRACTOR SHALL SUBMIT DESIGN DOCUMENTS FOR TEMPORARY BRACING AND STRENGTHENING, INCLUDING FABRICATION AND ERECTION DRAWINGS, TO THE ARCHITECT FOR REVIEW. THESE DOCUMENTS SHALL BEAR THE SEAL AND SIGNATURE OF A REGISTERED STRUCTURAL ENGINEER IN THE STATE OF WASHINGTON. THE CONTRACTOR SHALL PROVIDE, INSTALL AND IF NECESSARY REMOVE SUCH TEMPORARY WORK AS REQUIRED.

CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.

ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER

| | |
|------|------------------------|
| S1.1 | GENERAL NOTES, & INDEX |
| S2.1 | PLANS |
| S4.1 | DETAILS |
| S4.2 | REAR ROOF DETAILS |

GRIFFITH MERCER ISLAND HOUSE
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 MERCER ISLAND, WA 98040

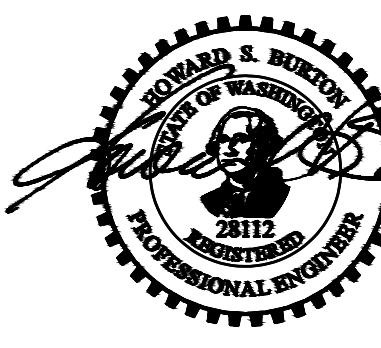


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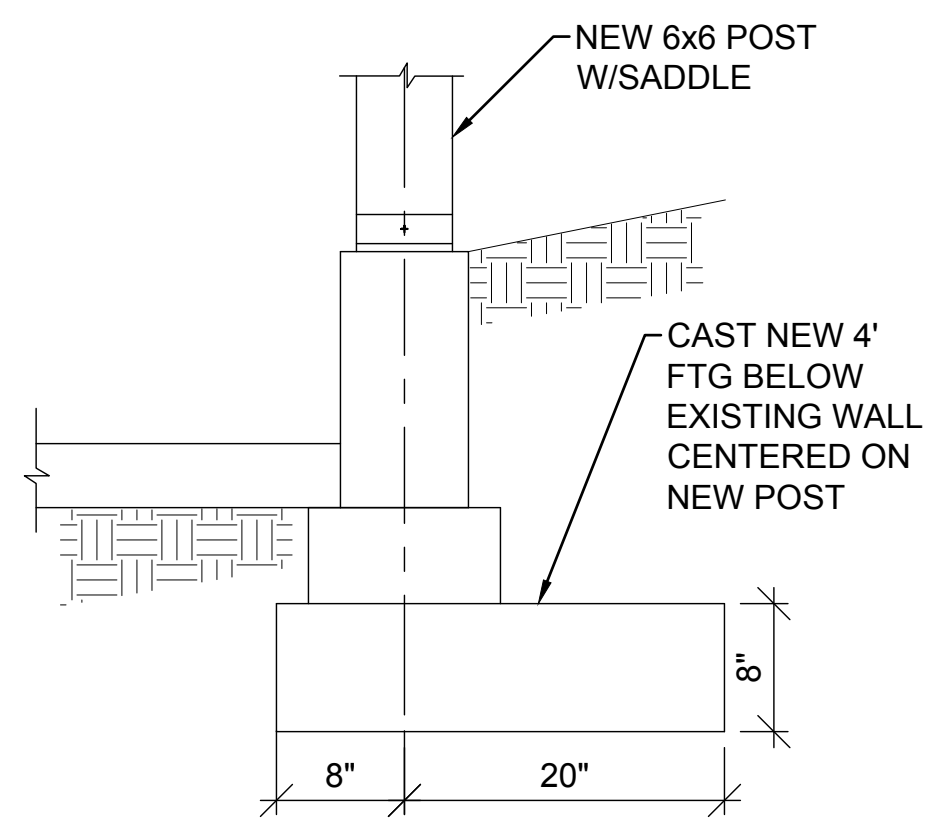
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 DRAWN BY: HMJ
 OWNER APPROVAL:

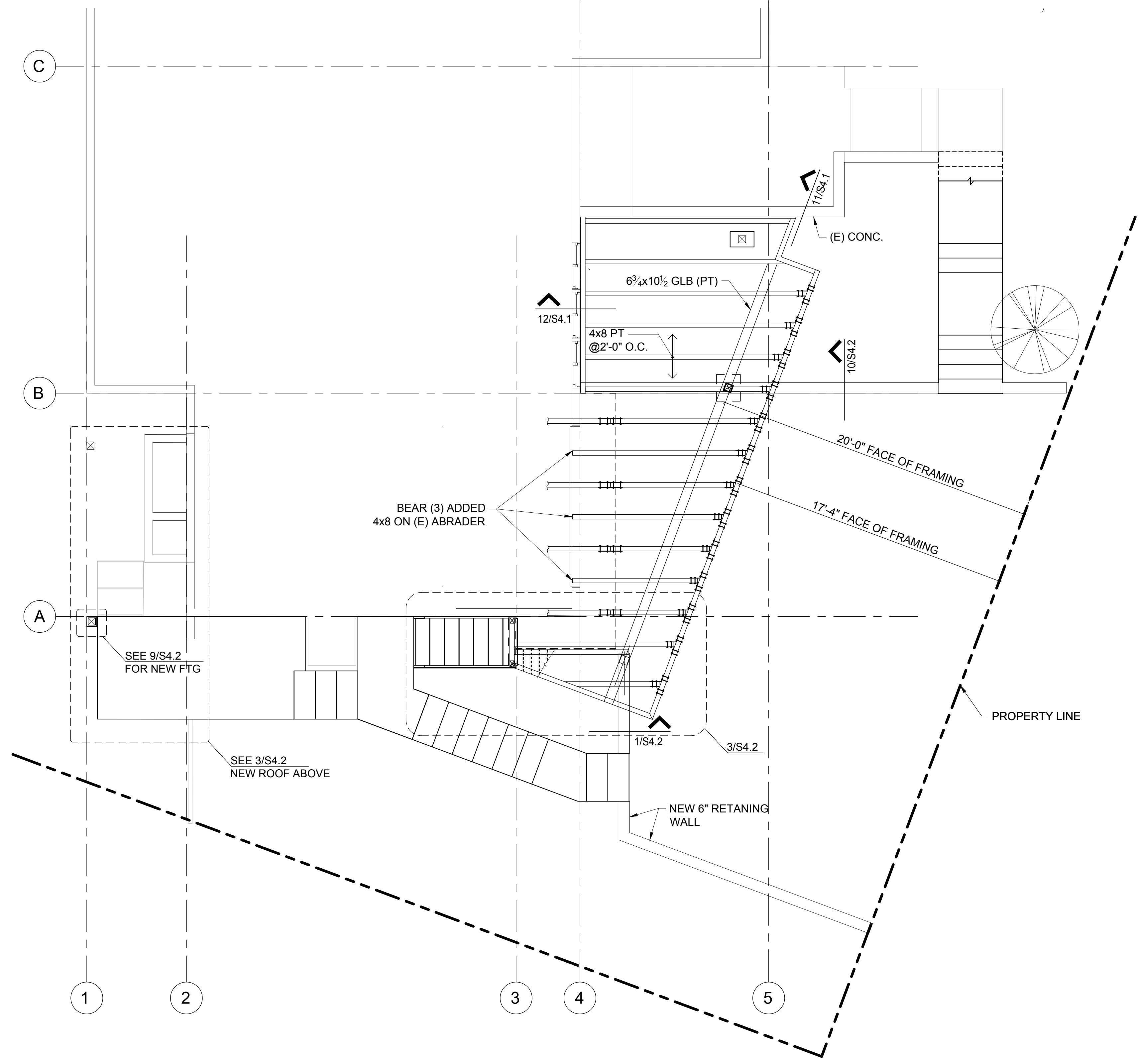
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GENERAL NOTES & INDEX

S1.1



DETAIL 1"=1'-0" 10



FLOOR PLAN 1/4"=1'-0" 3

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1/4"=1'-0" 12

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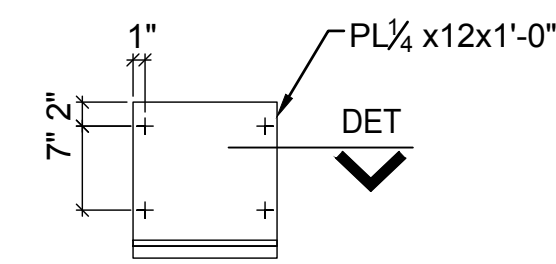
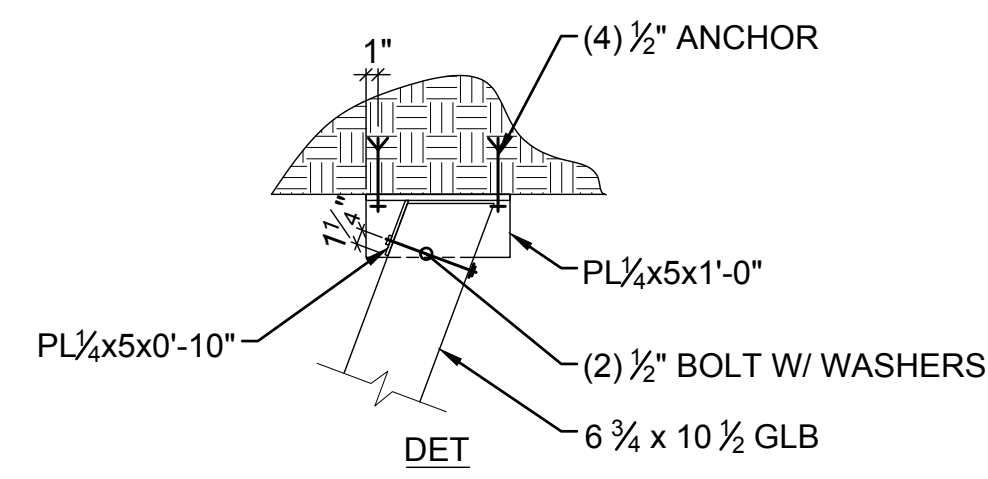
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PLANS

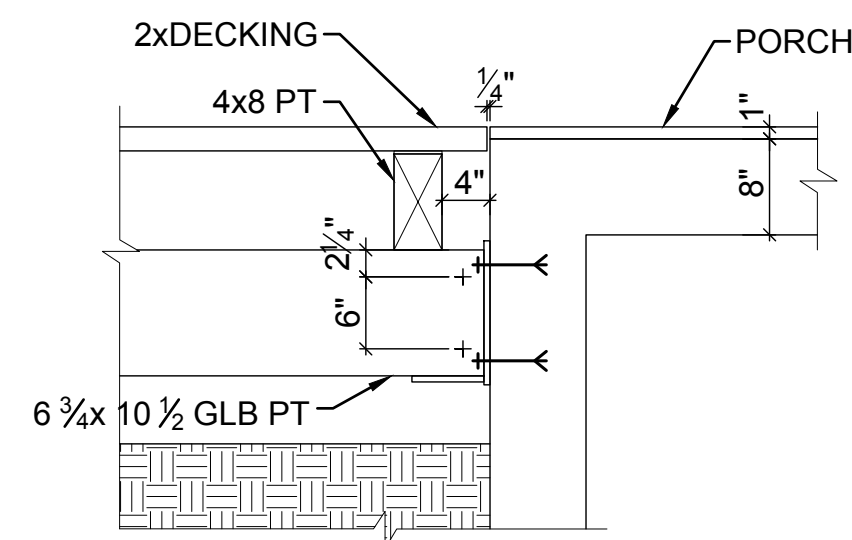
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NOTE: HOT DIP GALV.

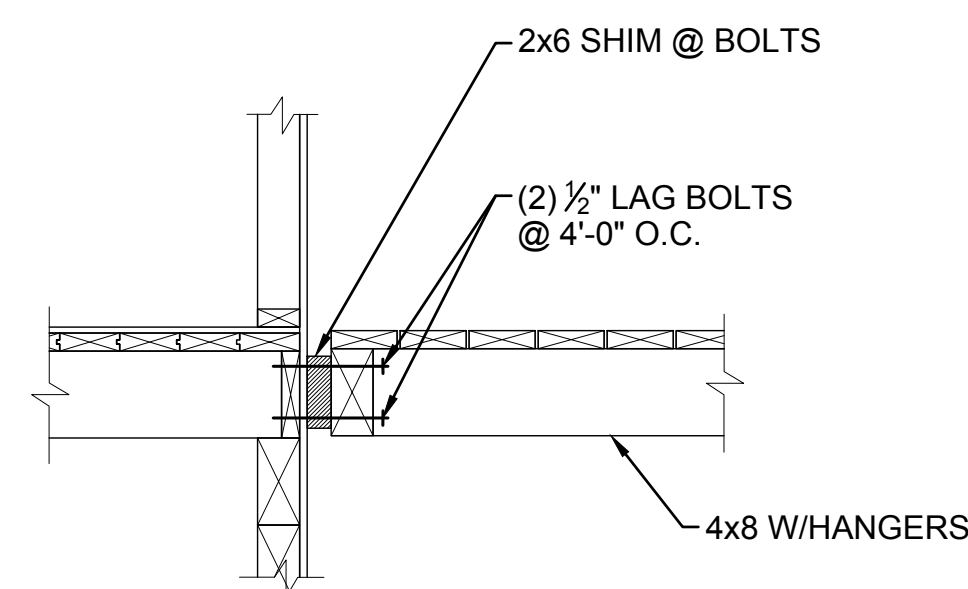
DETAIL

3/4"=1'-0" 10



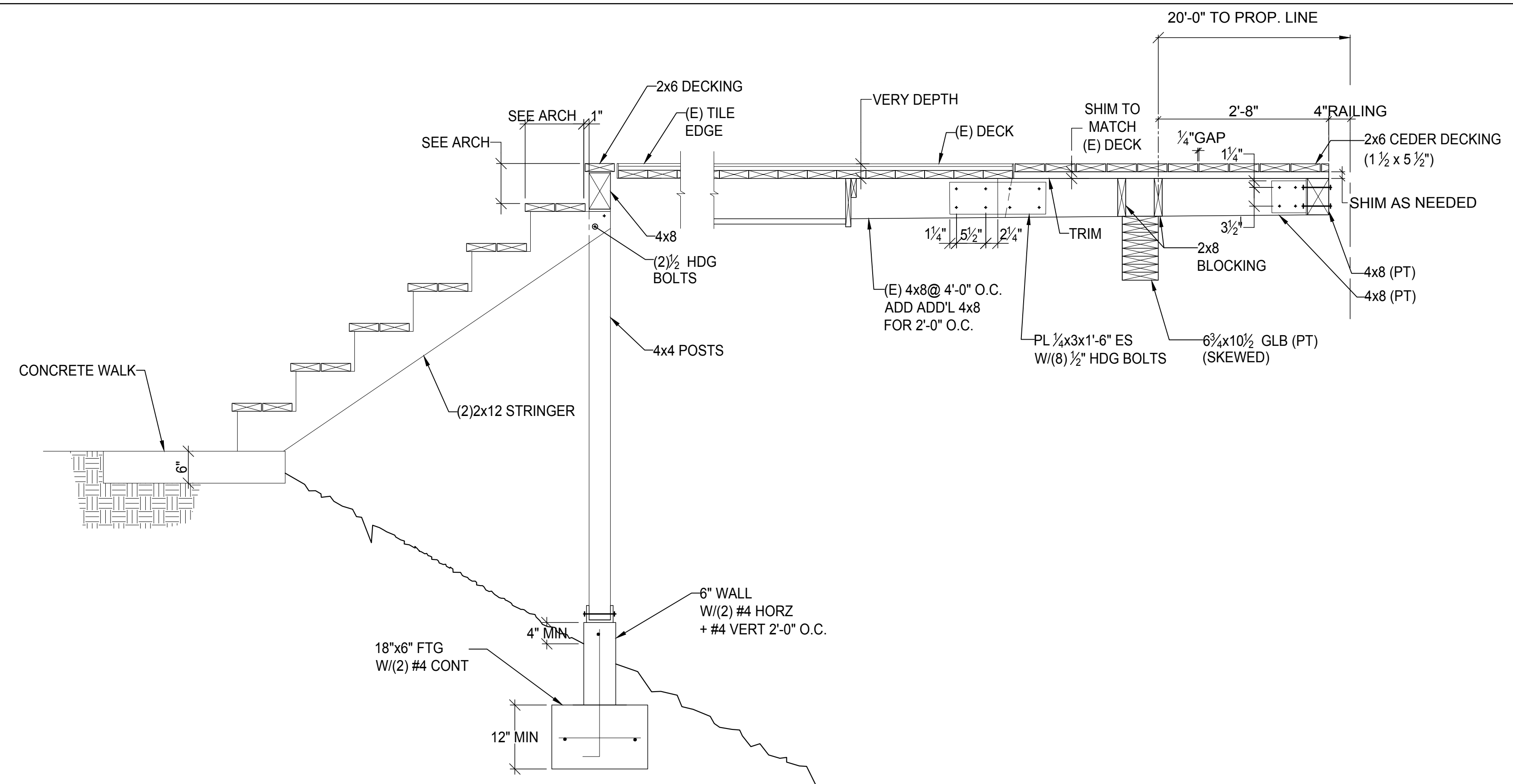
DETAIL

3/4"=1'-0" 11



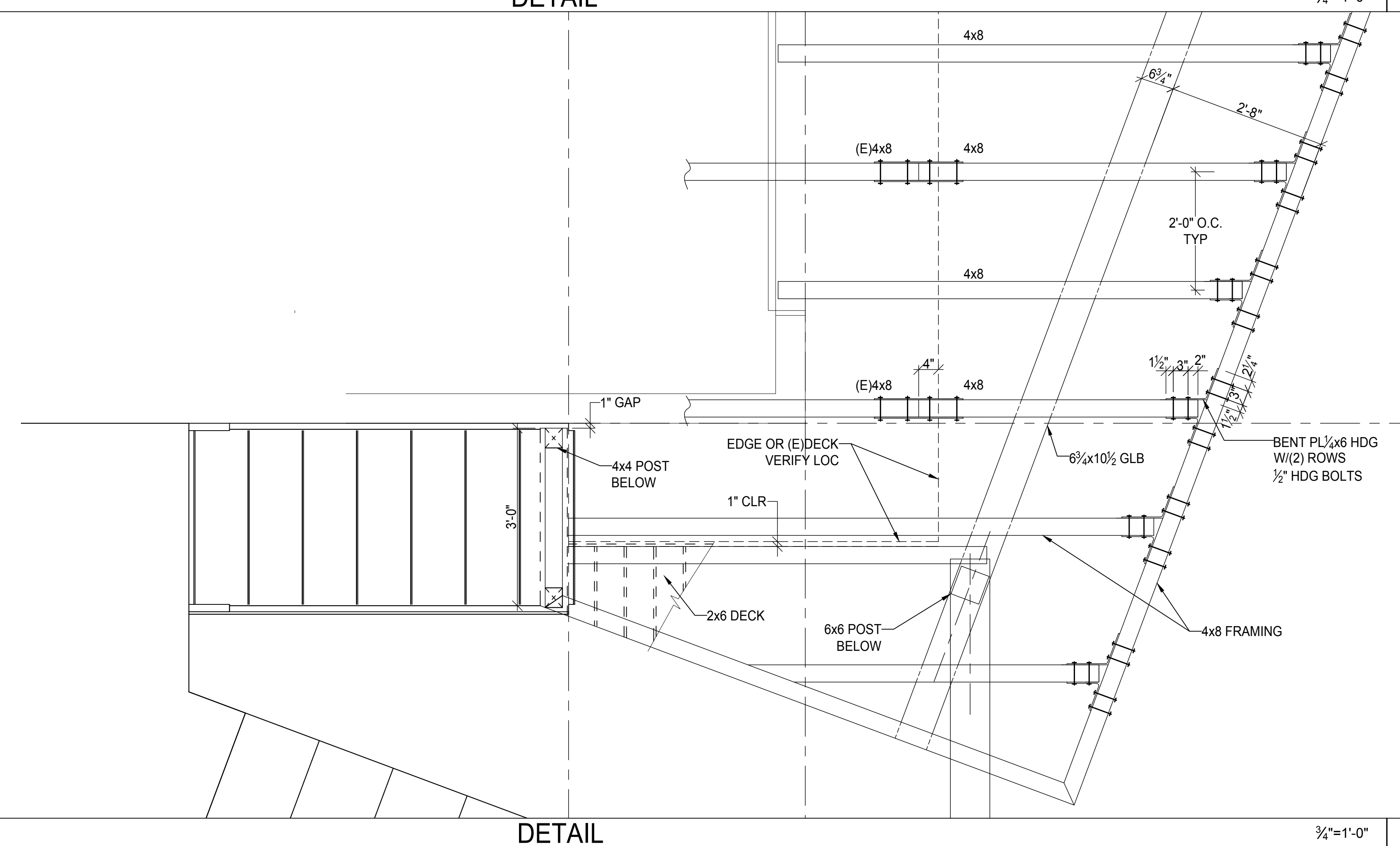
DETAIL

X"=1'-0" 12



DETAIL

3/4"=1'-0" 2



DETAIL

3/4"=1'-0" 3

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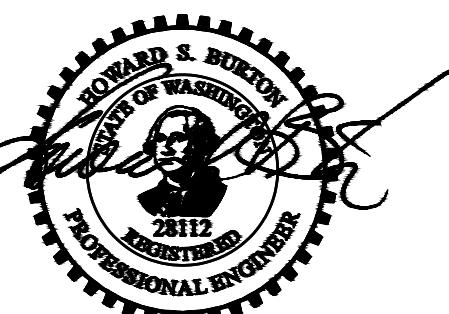


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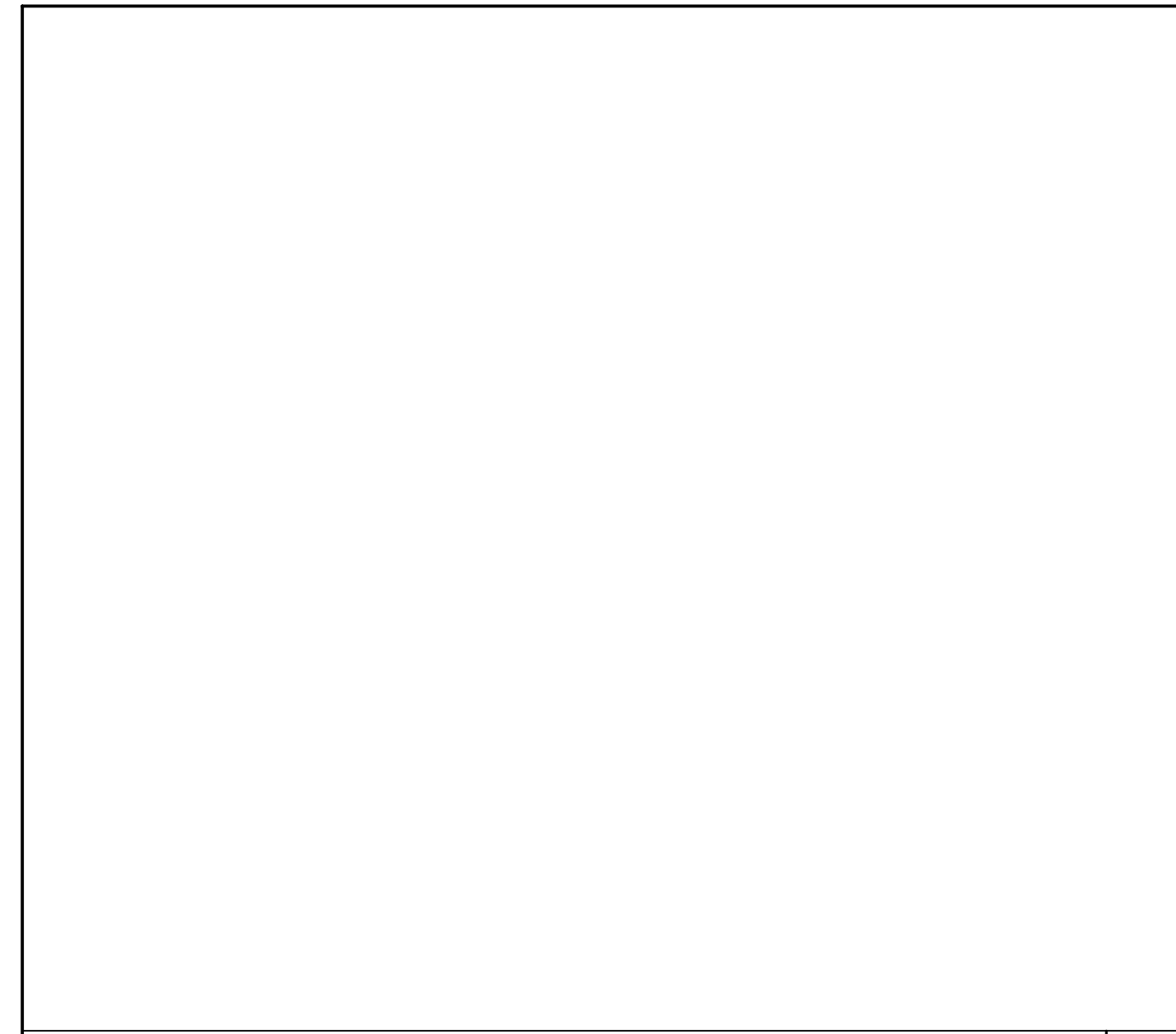
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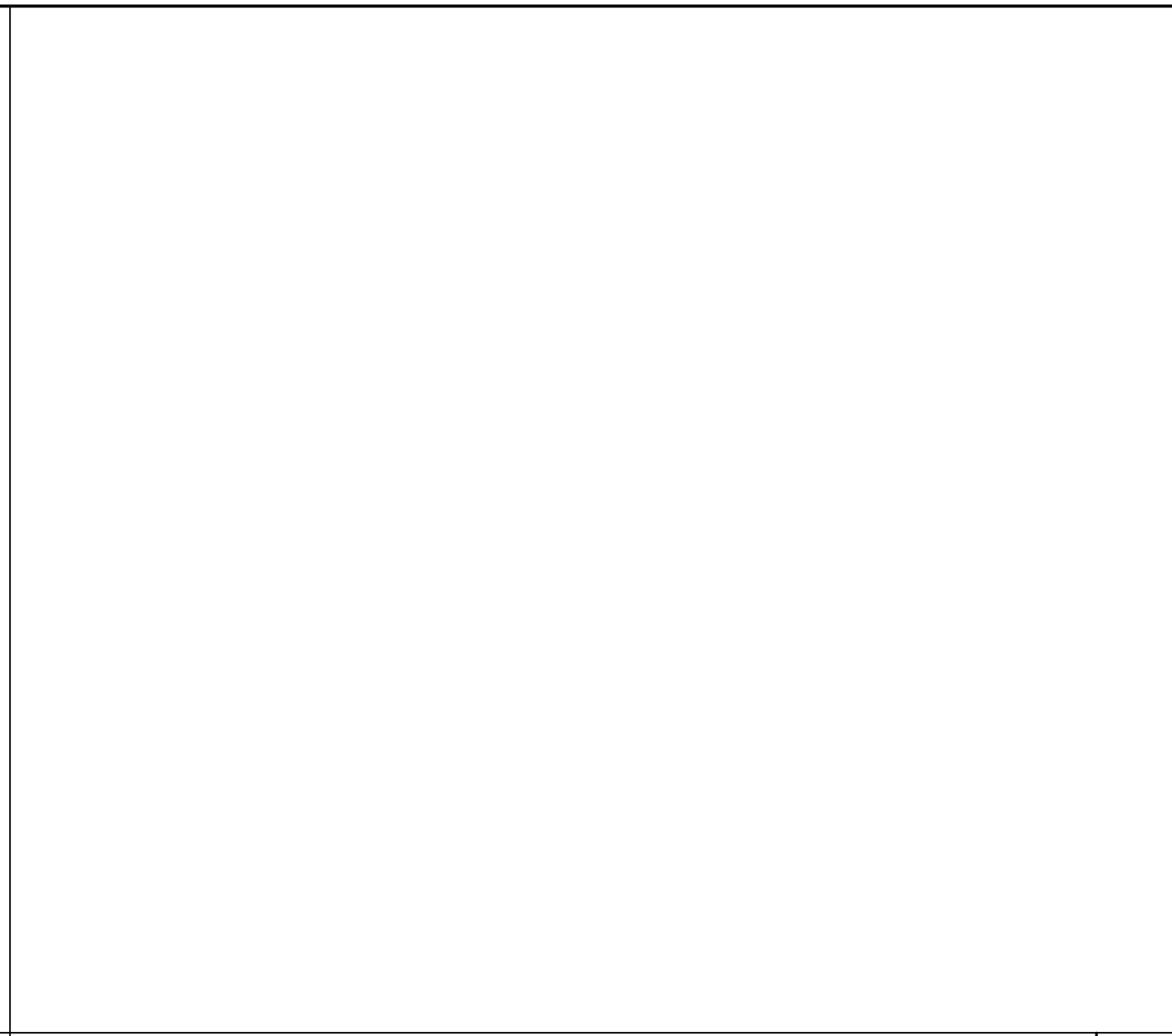
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DETAILS

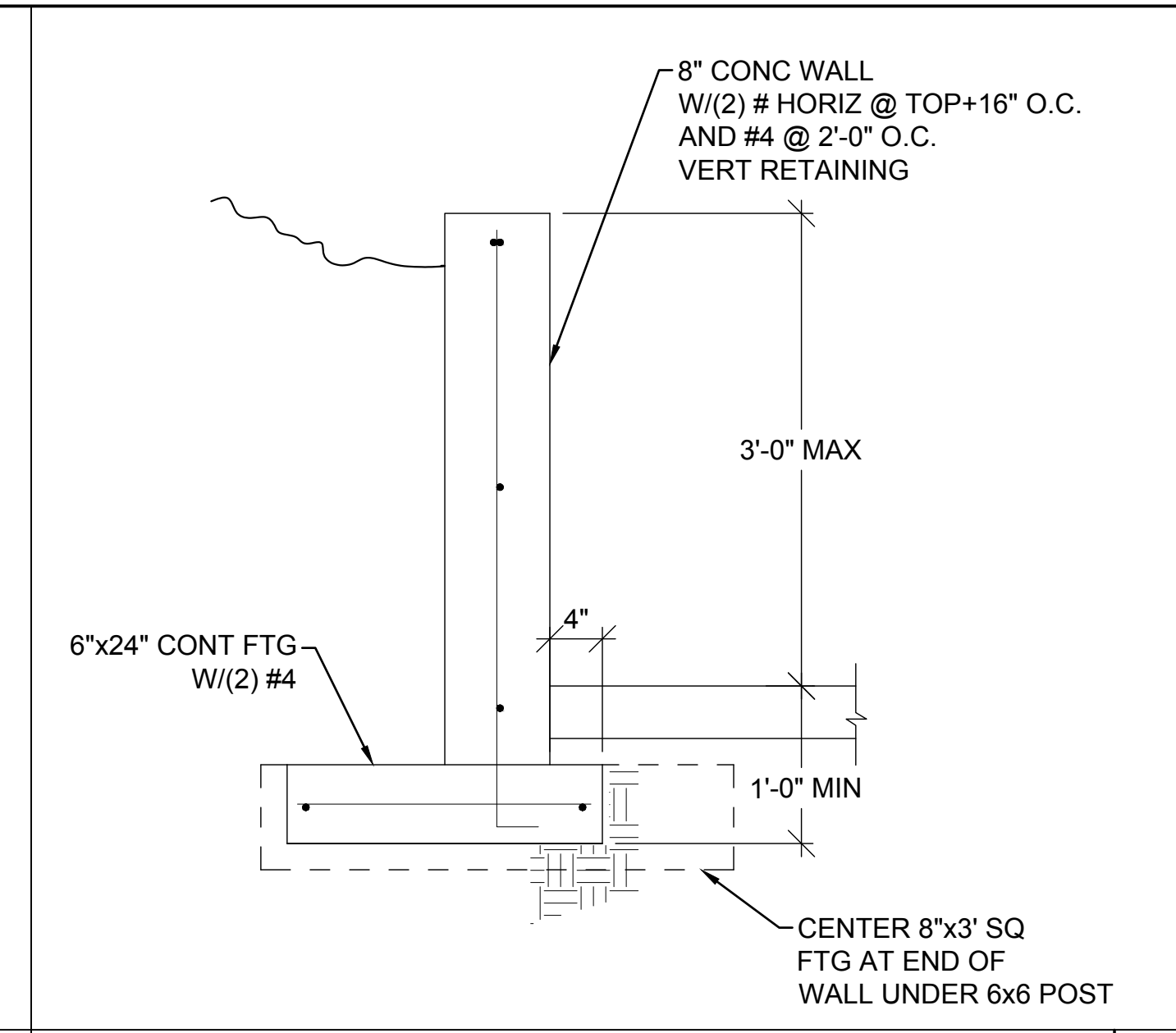
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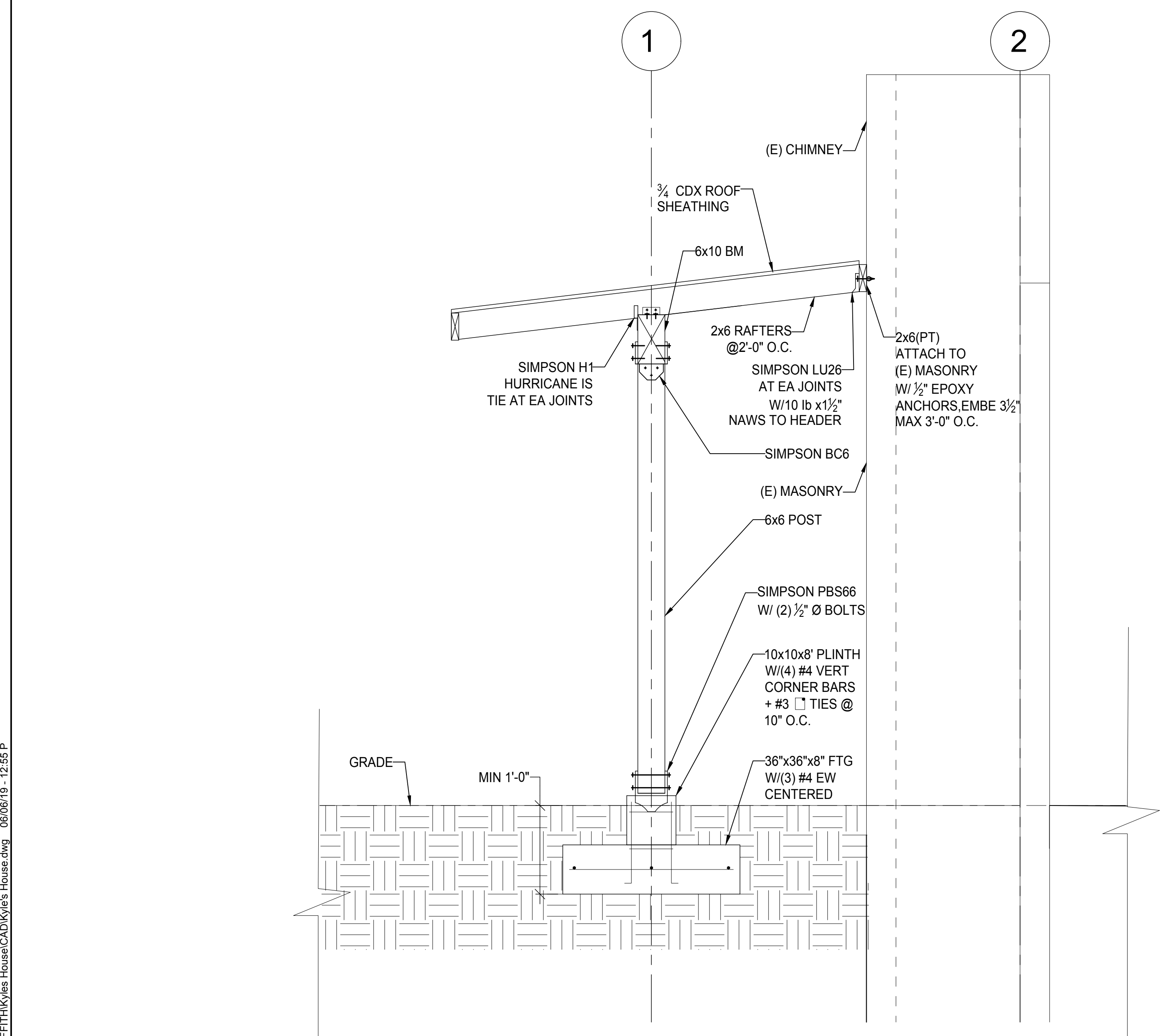
DETAIL X"=1'-0" 10



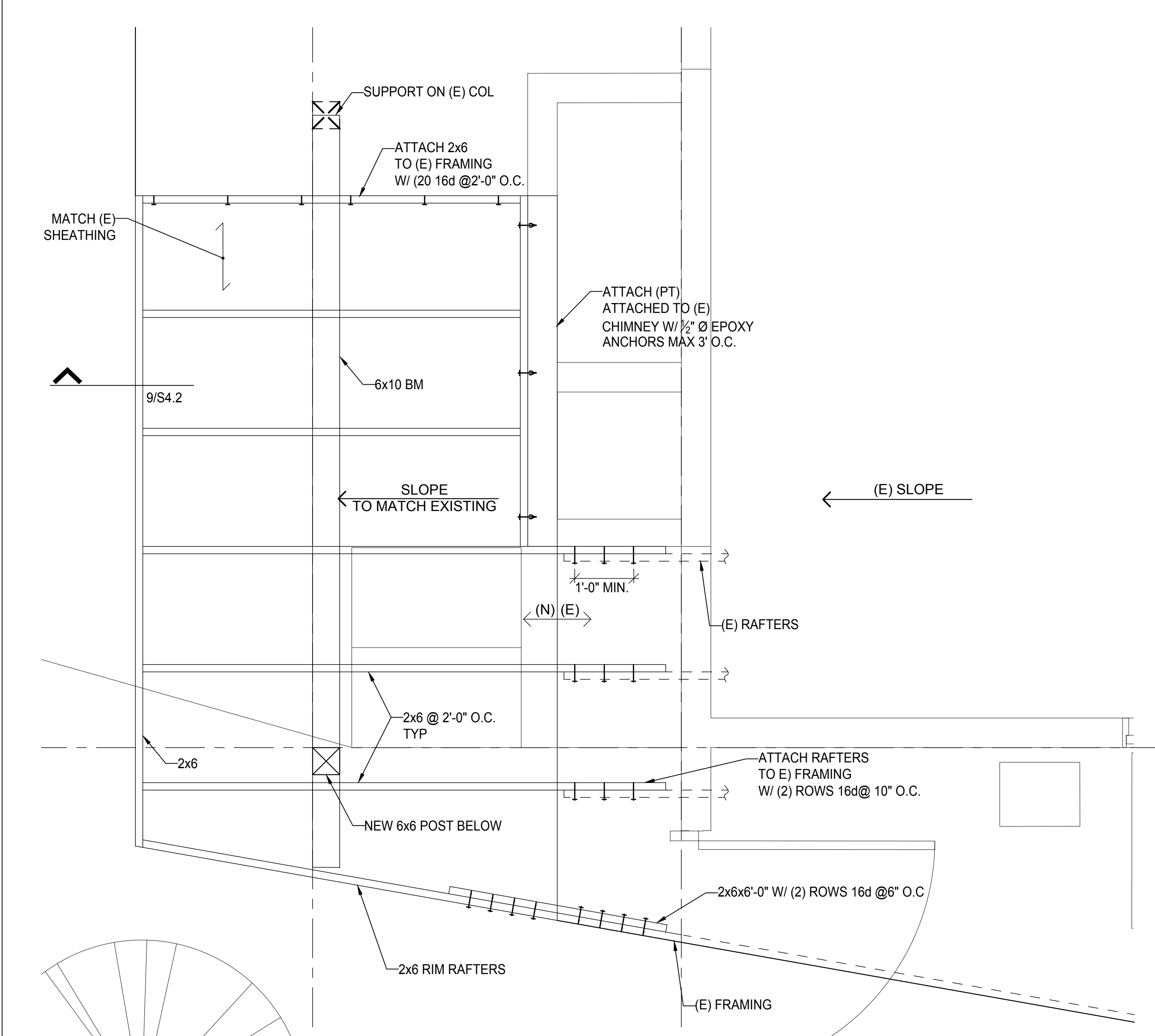
TYP STAIR ON GRADE DETAIL 1"=1'-0" 4



TYP RETAINING WALL 1"=1'-0" 1



DETAIL 3/4"=1'-0" 9



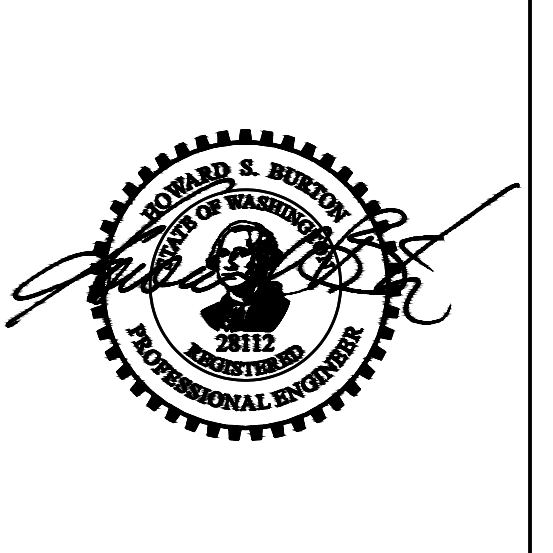
DETAIL 3/4"=1'-0" 3

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DRAWN BY: HML
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REAR ROOF DETAILS
S4.2

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GENERAL NOTES:

1. PROVIDE CONTROL JOINTS AT ALL CONCRETE WALKS AS INDICATED. IF NONE INDICATED, PROVIDE TOOLED CONTROL JOINTS AT EVERY 6'-0" O.C. WITH EXPANSION JOINTS AT EVERY 20'-0" O.C.
2. PROVIDE EXPANSION FILLER STRIPS AND SEALANT AT ALL FLATWORK TO BUILDING, COLUMN, ADJACENT FLATWORK OR OTHER ADJACENT SURFACES TO PROVIDE PROPER EXPANSION CONTROL.
3. PROVIDE MINIMUM 1/2" EXPANSION JOINT WITH FILLER AT ALL TRANSITIONS BETWEEN STRUCTURALLY CONTRACT AND FLATWORK WHETHER ILLUSTRATED OR NOT.

SITE PLAN ANALYSIS:

LOT AREA: 10,762.5 SF (.25 ACRES)
 PER CITY OF MERCER ISLAND SITE DEVELOPMENT REQUIREMENTS:
 MAXIMUM LOT COVERAGE = 40%
 MAXIMUM HARDSCAPE = 9% (PLUS UNUSED LOT COVERAGE)
 EXISTING+PROPOSED LOT COVERAGE = 33%
 EXISTING+PROPOSED HARDSCAPE = 13% (9% + 4% OF UNUSED LOT COVERAGE)

SETBACKS (PER MI ZONING CODE):

| LOCATION | REQUIRED (MIN) | PROVIDED |
|--------------|----------------|---------------------|
| FRONT | 20 FT | 20 FT + |
| REAR | 25 FT | 25 FT + |
| SIDES (SUM)* | 17.85 FT | 27.63 FT |
| SIDE (MIN)* | 5.89 FT | 12.21 FT & 15.88 FT |

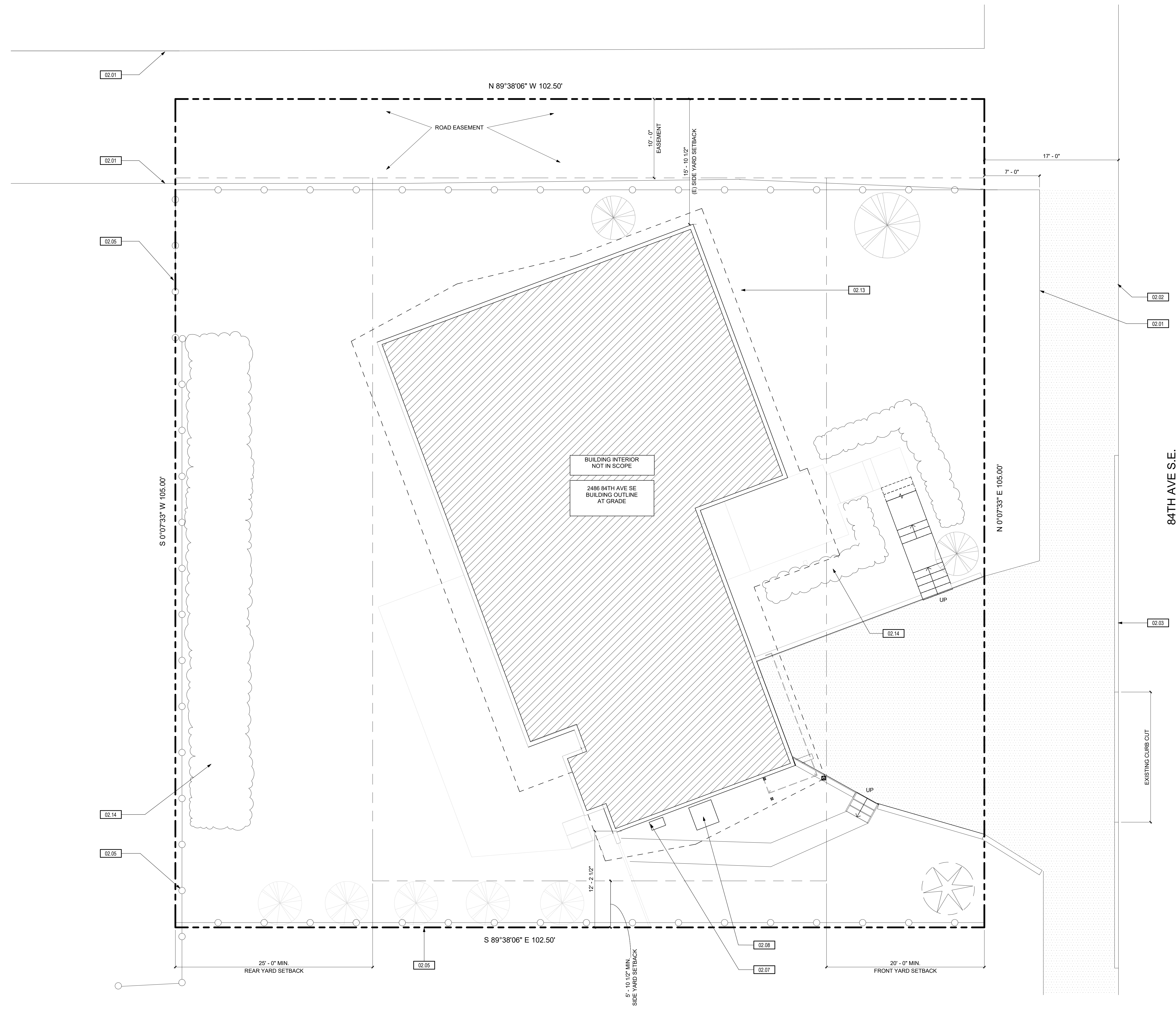
*FOR LOTS WITH A WIDTH GREATER THAN 90 FEET, SIDE YARD SETBACKS MUST:
 1. SUM TO A MINIMUM OF 17% OF THE LOT WIDTH (105 FT x 17% = 17.85 FT)
 2. BE GREATER THAN 33% OF THE MINIMUM SUM (17.85 FT x 33% = 5.89 FT)

SITE PLAN LEGEND:

- HOUSE
- ASPHALT
- PROPERTY LINE
- SETBACK LINE

KEYNOTES:

| # | NOTE |
|-------|---------------------------|
| 02.01 | EXISTING EDGE OF PAVEMENT |
| 02.02 | EXISTING EDGE OF STREET |
| 02.03 | EXISTING CURB |
| 02.05 | EXISTING WOOD FENCE |
| 02.07 | EXISTING GAS METER |
| 02.08 | EXISTING HEAT PUMP ON PAD |
| 02.13 | EXISTING EDGE OF ROOF |
| 02.14 | EXISTING HEDGE |



EXISTING SITE PLAN
 PROJECT NORTH TRUE NORTH
 3/16" = 1'-0"

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| DATE | NO. | DESCRIPTION |
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6462 REGISTERED ARCHITECT

 ROBIN A. MASSEY
 STATE OF WASHINGTON

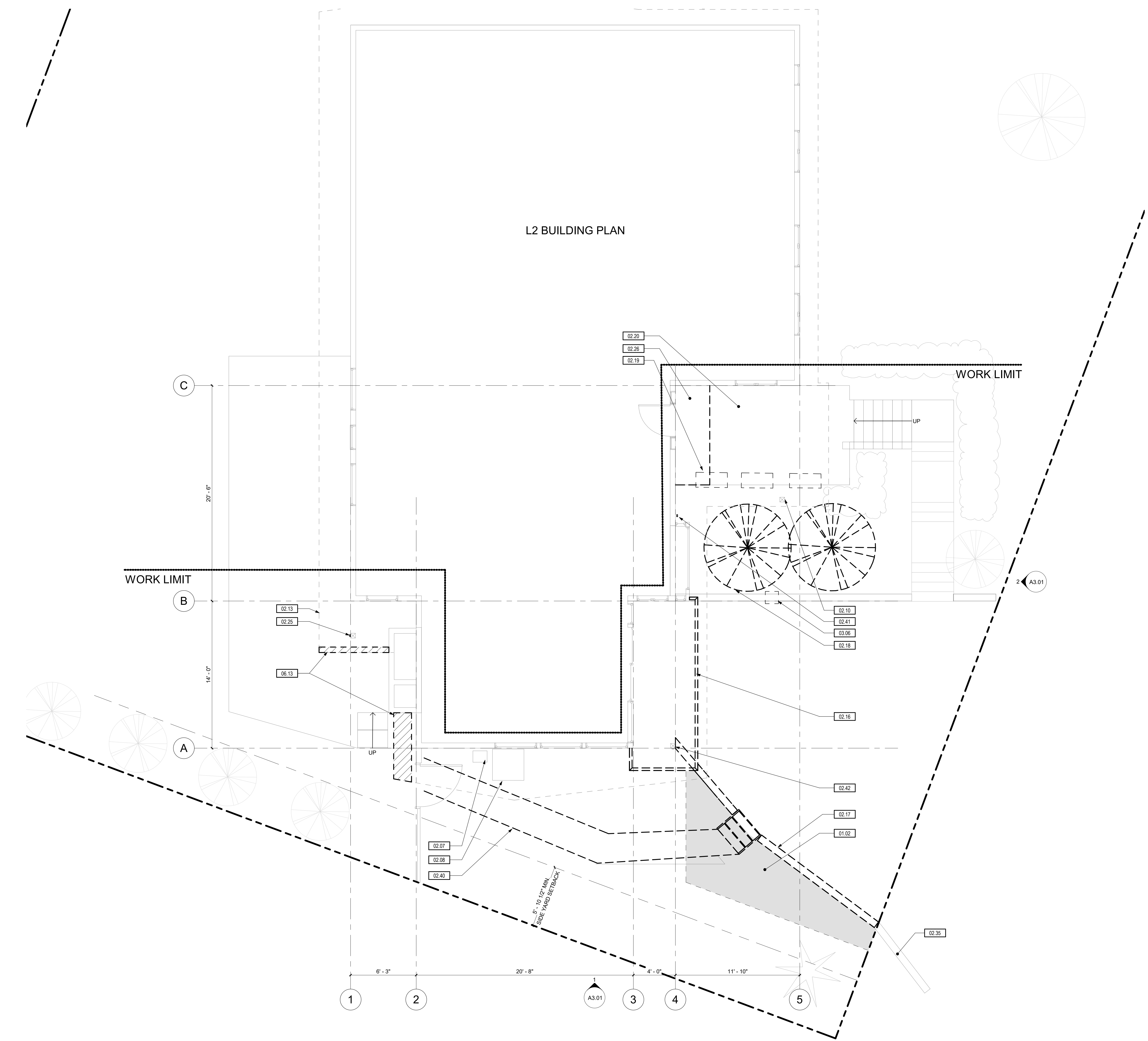
PROJECT NO.: 19051
 PROJECT MGR.: LH
 DRAWN BY: SMV
 CHECKED BY: RAM

EXISTING SITE PLAN
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L2 BUILDING PLAN

1 DEMOLITION PLAN
1/4" = 1'-0"
PROJECT NORTH

GENERAL NOTES:

- PRIOR TO BIDDING AND START OF DEMOLITION CONTRACTOR SHALL VISIT PROJECT SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS. ANY AMBIGUOUS ITEMS OR DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO BIDDING OR COMMENCEMENT OF WORK FOR RESOLUTION IN WRITING.
- NO KNOWN HAZARDOUS MATERIALS ARE ON SITE. SHOULD THE CONTRACTOR SUSPECT THAT HAZARDOUS MATERIALS ARE PRESENT, IMMEDIATELY STOP WORK AND NOTIFY OWNER TO ARRANGE FOR PROPER REMOVAL OF HAZARDOUS MATERIALS.
- CONTRACTOR SHALL NOTIFY OWNER OF REQUIRED INTENTION OF DEMOLITION OR RENOVATION A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO COMMENCEMENT OF WORK.
- IF A UTILITY OR SYSTEM REQUIRES TEMPORARY SHUT DOWN CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO COMMENCEMENT OF SHUT DOWN.
- PROVIDE TEMPORARY SUPPORT OF EXISTING MATERIALS, AND SYSTEMS TO REMAIN IN ORDER TO MAINTAIN THE FUNCTIONAL USE OF THE SYSTEMS TO BE USED DURING OR REUSED AFTER DEMOLITION IS COMPLETE.
- THE OWNER HAS FIRST RIGHT OF SALVAGE TO FIXTURES, EQUIPMENT, AND BUILDING SYSTEM MATERIALS REMOVED AS PART OF DEMOLITION WORK. PRIOR TO BEGINNING DEMOLITION, CONTRACTOR SHALL REQUEST THE OWNER TO PROVIDE A WRITTEN LIST OF ITEMS FROM THE PROJECT AREAS TO BE SALVAGED FOR THE OWNER. CAREFULLY REMOVE THESE ITEMS, STOCKPILE, AND PROTECT THEM ON-SITE FOR THE OWNER.
- REFER TO STRUCTURAL FOR ADDITIONAL DEMOLITION NOTES AND INSTRUCTIONS.
- MATERIALS AND ITEMS TO BE REMOVED SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE EXISTING ITEMS OR MATERIALS THAT ARE TO REMAIN.
- WITHIN AND BENEATH EXISTING BUILDINGS, IN AREAS TO BE REMODELED, REMOVE MECHANICAL, ELECTRICAL, COMMUNICATIONS, ARCH, BUILDING SYSTEMS, AND DELETERIOUS MATERIALS THAT ARE EXPOSED AT THE COMPLETION OF THE DEMOLITION PROCESS, AND NOT SCHEDULED FOR RE-USE OR NEEDED FOR A FUNCTIONING COMPLETED PROJECT.
- WHERE EXISTING SITE PAVING (ASPHALT OR CONCRETE) IS TO BE REMOVED, SAW CUT EDGES OF REMOVAL.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND OTHER VEGETATION TO REMAIN THROUGHOUT THE COURSE OF THIS PROJECT.
- WHEN APPLICABLE, EXISTING TREES TO BE REMOVED SHALL HAVE TREE AND ROOT SYSTEM REMOVED TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, RE: LANDSCAPE.
- CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO BEGINNING OF PROJECT, WHICH ADDITIONAL YARD ITEMS ARE TO BE PROTECTED.
- CONTRACTOR SHALL REMOVE DEMOLITION MATERIALS AND DEBRIS FROM PROJECT SITE DAILY, AND DISPOSE OF ITEMS IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS.
- LOCATE TEMPORARY FIRE EXTINGUISHERS IN ACCORDANCE WITH THE GOVERNING BUILDING CODES, AND IN AREAS REQUIRED BY THE LOCAL FIRE MARSHAL THROUGHOUT CONSTRUCTION OF THIS PROJECT. FIRE EXTINGUISHERS SHALL BE LARGE CAPACITY TYPE A-B-C.
- PERMANENT SUPPORTS SHALL BE INSTALLED FOR EXISTING MATERIALS AND SYSTEMS TO REMAIN.
- DO NOT CUT OR ALTER OPENINGS INTO EXISTING WALLS, FOOTINGS, OR ROOF DECK MATERIALS WITHOUT PROPER SHORING, BRACING, OR SUPPORTS REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE PROJECT. CONTRACTOR SHALL PREVIEW MAJOR DEMOLITION WORK WITH STRUCTURAL ENGINEER PRIOR TO BEGINNING WORK.
- WHERE EXISTING COLUMN, WALL, FLOOR, AND CEILING FINISHES ARE TO BE REMOVED OR REPLACED, SURFACES SHALL BE STRIPPED CLEAN OF EXISTING FINISHES AND MADE READY TO RECEIVE NEW WORK.

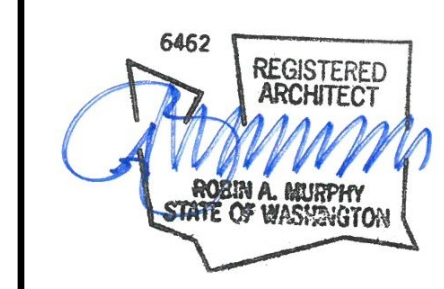
KEYNOTES:

| # | NOTE |
|-------|---|
| 01.02 | EXCAVATE AREA TO EXPAND DRIVE, RELOCATE IRRIGATION METER AS NECESSARY |
| 02.07 | EXISTING GAS METER |
| 02.08 | EXISTING HEAT PUMP ON PAD |
| 02.10 | PROTECT EXISTING POST |
| 02.13 | EXISTING EDGE OF ROOF |
| 02.16 | REMOVE GUARDRAIL AND FASCIA TO EXTENTS REQUIRED TO ACCEPT NEW DECK |
| 02.17 | DEMO RETAINING WALL |
| 02.18 | REMOVE BUSHES TO EXTENTS REQUIRED FOR NEW WORK |
| 02.19 | REMOVE PLANTERS |
| 02.20 | EXISTING CONCRETE STOOP TO REMAIN |
| 02.25 | TEMP SHORE UP ROOF & RELOCATE DOWN SPOUT AS REQUIRED FOR NEW CONSTRUCTION |
| 02.26 | REMOVE SLATE TILE AT ENTRY |
| 02.35 | RETAIN WORK IN R.O.W. |
| 02.40 | DEMO EXISTING GRAVEL WALKWAY |
| 02.41 | RELOCATE EXISTING DOWNSPOUT AS REQUIRED FOR NEW CONSTRUCTION |
| 02.42 | EXISTING COLUMN AND DOWNSPOUT TO REMAIN |
| 03.06 | DEMO PORTION OF EXISTING RETAINING WALL TO ACCOMMODATE NEW COLUMN AND FOOTING |
| 06.13 | REMOVE AND REPLACE EXISTING ROOF TILE TO ACCEPT NEW ROOF EXTENSION. |

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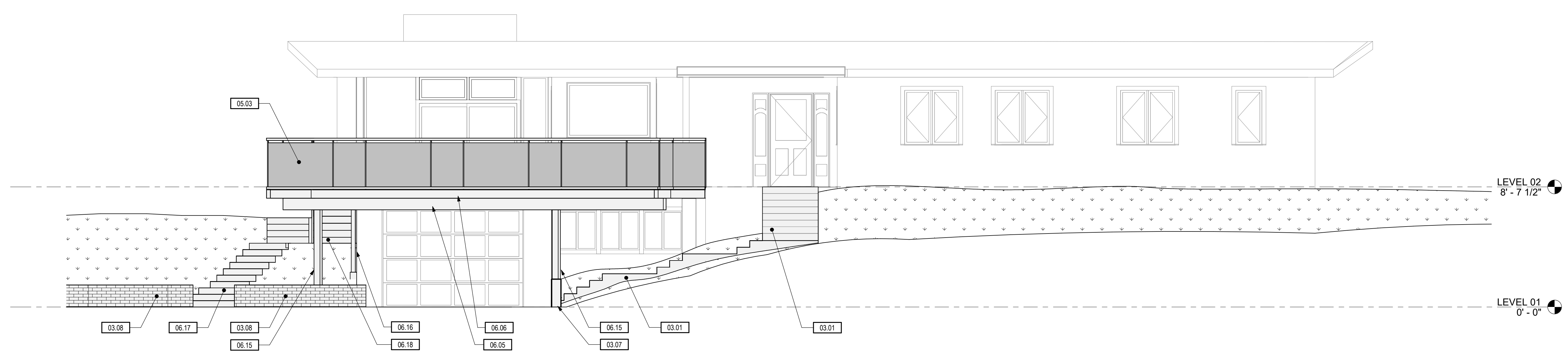


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PROJECT MGR.: LH
DRAWN BY: SMV
CHECKED BY: RAM

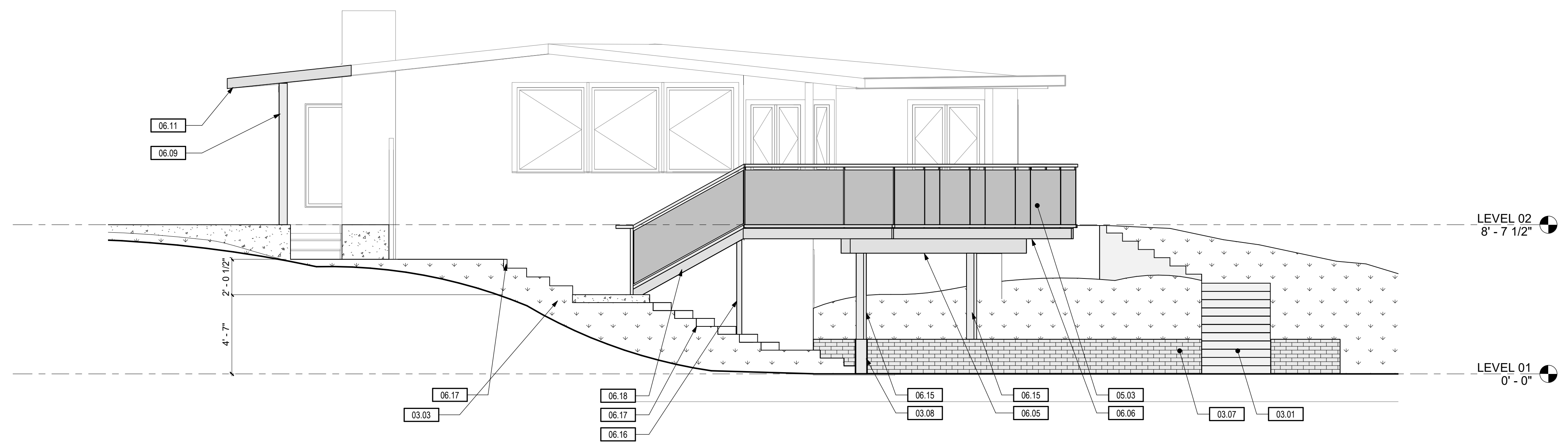
DEMOLITION PLAN
A1.01
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2 EAST ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

- A. REFER TO G0.00 FOR ABBREVIATIONS, SYMBOLS AND GENERAL PROCEDURAL NOTES
- B. CONTRACTOR TO PROTECT ALL EXISTING CONDITIONS AND SHALL REPAIR ANY DAMAGE TO EXISTING CONDITIONS TO MATCH OTHER ADJACENT EXISTING SURFACES, WATER/FIRE PROOFING ETC.
- C. ALL EXTERIOR FINISHES TO BE REVIEWED WITH OWNER PRIOR TO PURCHASE OR INSTALLATION.

KEYNOTES:

| # | NOTE |
|-------|---|
| 03.01 | NEW BLUE STONE THINSET OVER EXISTING CONC AGGREGATE FINISH |
| 03.03 | CONCRETE PAD LANDING |
| 03.07 | NEW BLUE STONE THINSET OVER EXISTING RETAINING WALL |
| 03.08 | NEW BLUE STONE THINSET OVER NEW RETAINING WALL |
| 05.03 | NEW GLASS RAILING |
| 06.05 | NEW GL BEAM REF. STRUCTURAL |
| 06.06 | NEW 4x8 FRAMING, REF. STRUCTURAL |
| 06.09 | NEW COLUMN PER STRUCTURAL WRAP W/ 1X TRIM |
| 06.11 | EXTENT OF NEW ROOF STRUCTURE, REF. STRUCTURAL DRAWINGS FOR FRAMING LAYOUT AND DETAILS |
| 06.15 | NEW DECK COLUMN, REF. STRUCTURAL DRAWINGS |
| 06.16 | NEW WOOD STAIR COLUMN AND FOOTING, REF. STRUCTURAL DRAWINGS |
| 06.17 | NEW WOOD FRAMED GRAVEL PATHWAY |
| 06.18 | NEW WOOD STAIR, REF. STRUCTURAL DRAWINGS |

JM
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GRIFFITH MERCER ISLAND HOUSE
 2443 84TH AVE SE,
 MERCER ISLAND, WA 98040

| DATE | NO. | DESCRIPTION |
|-----------|-----|-------------------|
| 6/10/2019 | 1 | PERMIT SUBMISSION |

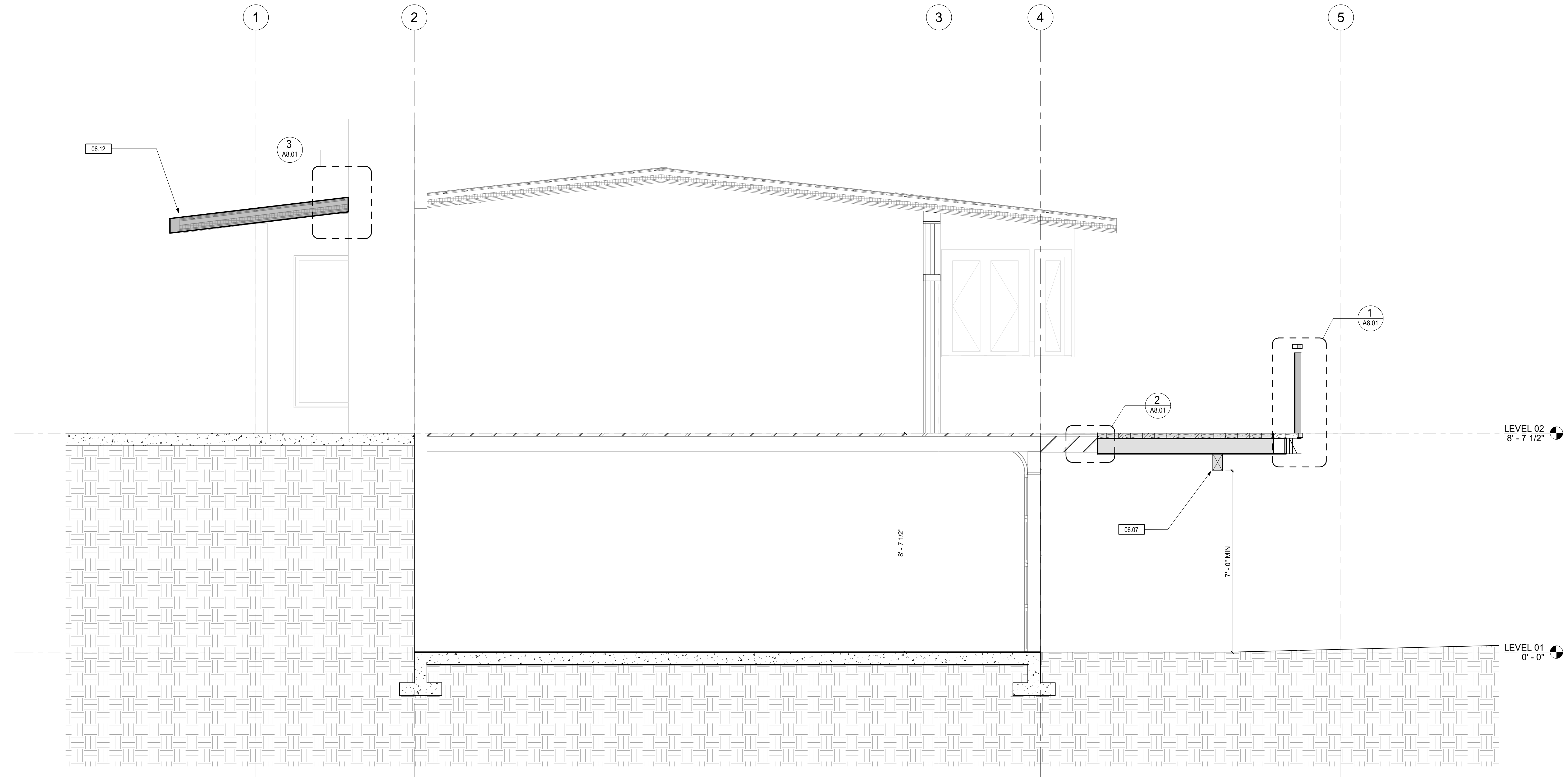
6462 REGISTERED ARCHITECT

 ROBERT A. MASSEY
 STATE OF WASHINGTON

PROJECT NO.: 19051
 PROJECT MGR.: LH
 DRAWN BY: SMV
 CHECKED BY: RAM

ELEVATIONS
A3.01
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1 BUILDING SECTION
1/2" = 1'-0"

- SHEET NOTES:**
- A. FOR SPECIFIC ASSEMBLY INFORMATION, SEE A8.00 SERIES.
 - B. ALL EXTERIOR PAVING TO SLOPE AWAY FROM BUILDING 1/4" / 1'-0" UNLESS OTHERWISE NOTED.
 - C. PROVIDE AND INSTALL BLOCKING, BRACING AND STRAPPING AS REQUIRED FOR CABINETS, TOILET ACCESSORIES, HVAC, PLUMBING, ELECTRICAL AND ALL ADAPTABLE REQUIREMENTS INCLUDING BLOCKING FOR PLACEMENT OF ADA GRAB BARS, BLOCKING FOR UNIT STAIRS AND ANY OTHER FIXTURES THAT REQUIRE SUPPORT BRACING.
 - D. ALL ROOF PENETRATIONS TO MAINTAIN FIRE RATING AND TO BE INSTALLED PER MANUFACTURERS SUGGESTED INSTRUCTIONS.
 - E. COORDINATE B.O. SOFFIT HEIGHT WITH TRIM PACKAGE.
 - F. SEE WINDOW SCHEDULE DETAILS FOR SILL & HEAD CONDITIONS.
 - G. ALIGN BRICK COURSING WITH FIRST FLOOR 0'-0" TYPICAL.
 - H. REF TO STRUCTURAL DRAWINGS FOR ALL FOOTING AND STEM WALL INFORMATION.
 - I. REF TO CIVIL DRAWINGS & GEOTECHNICAL REPORTS FOR FOOTING DRAINAGE BACKFILL CONDITIONS BELOW FOOTINGS AND SLABS.

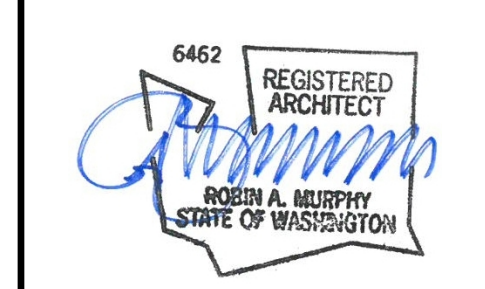
KEYNOTES:

| # | NOTE |
|-------|---------------------|
| 06.07 | BEAM PER STRUCTURAL |
| 06.12 | NEW ROOF EXTENSION |



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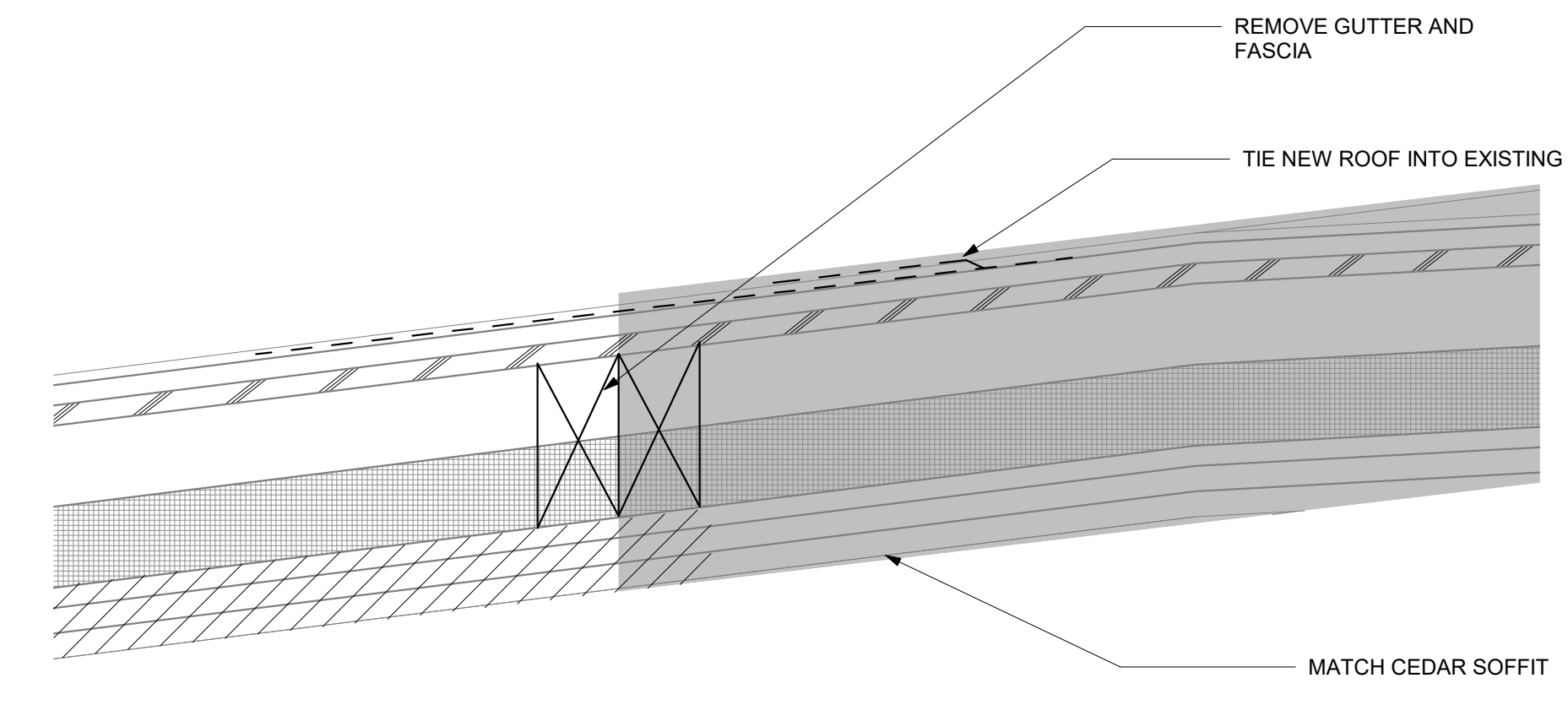


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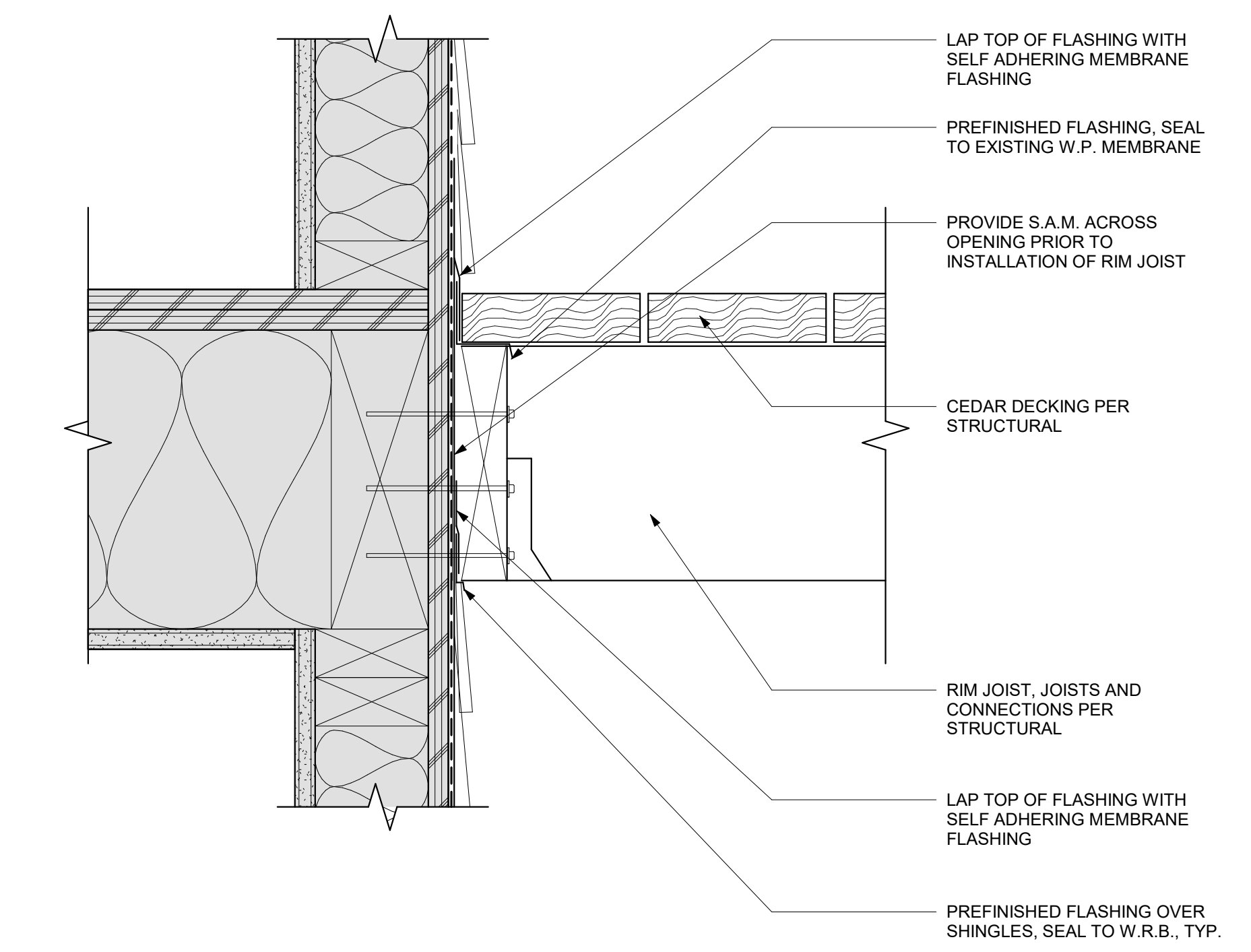
SECTION
A4.01

6/10/2019 7:43:37 AM

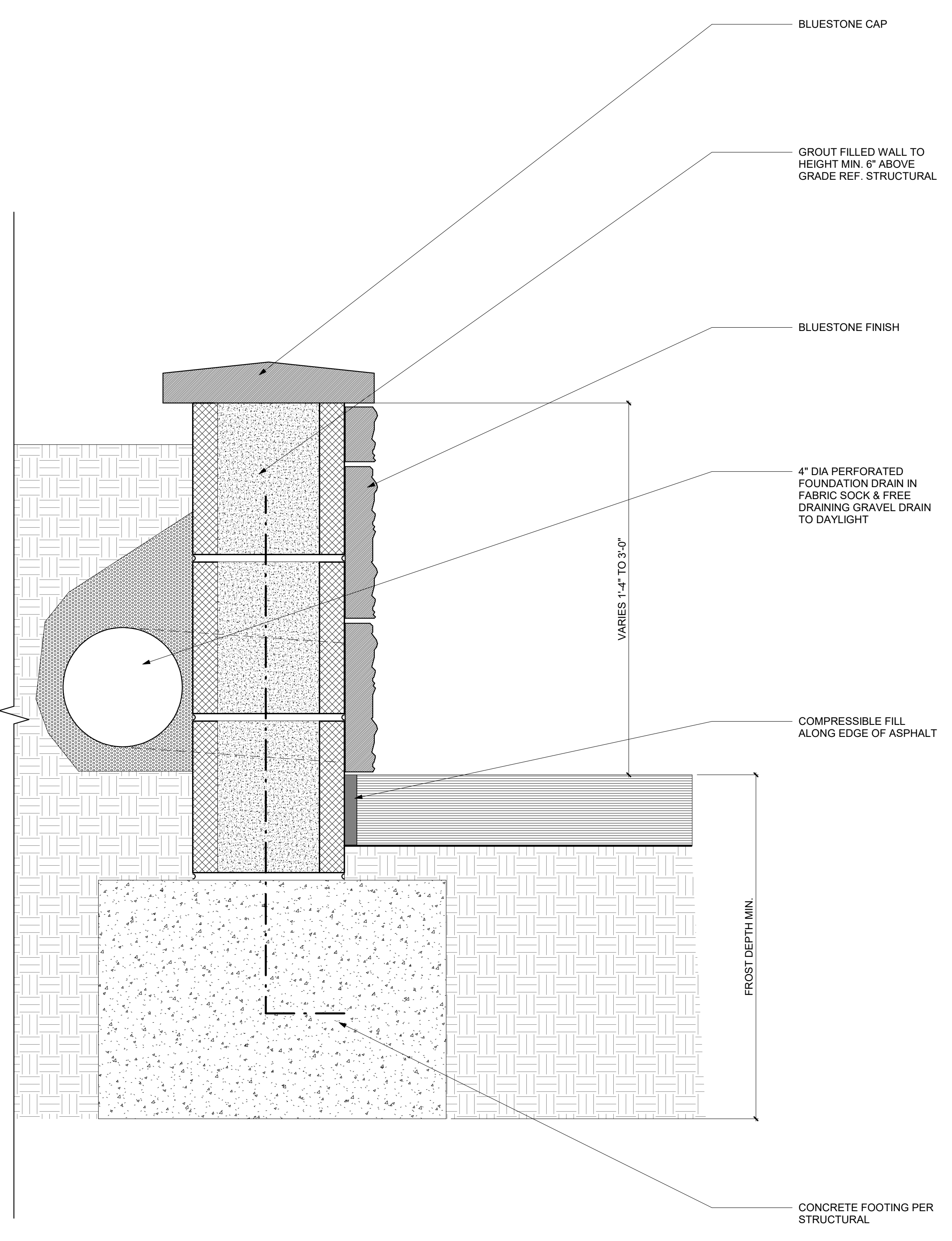
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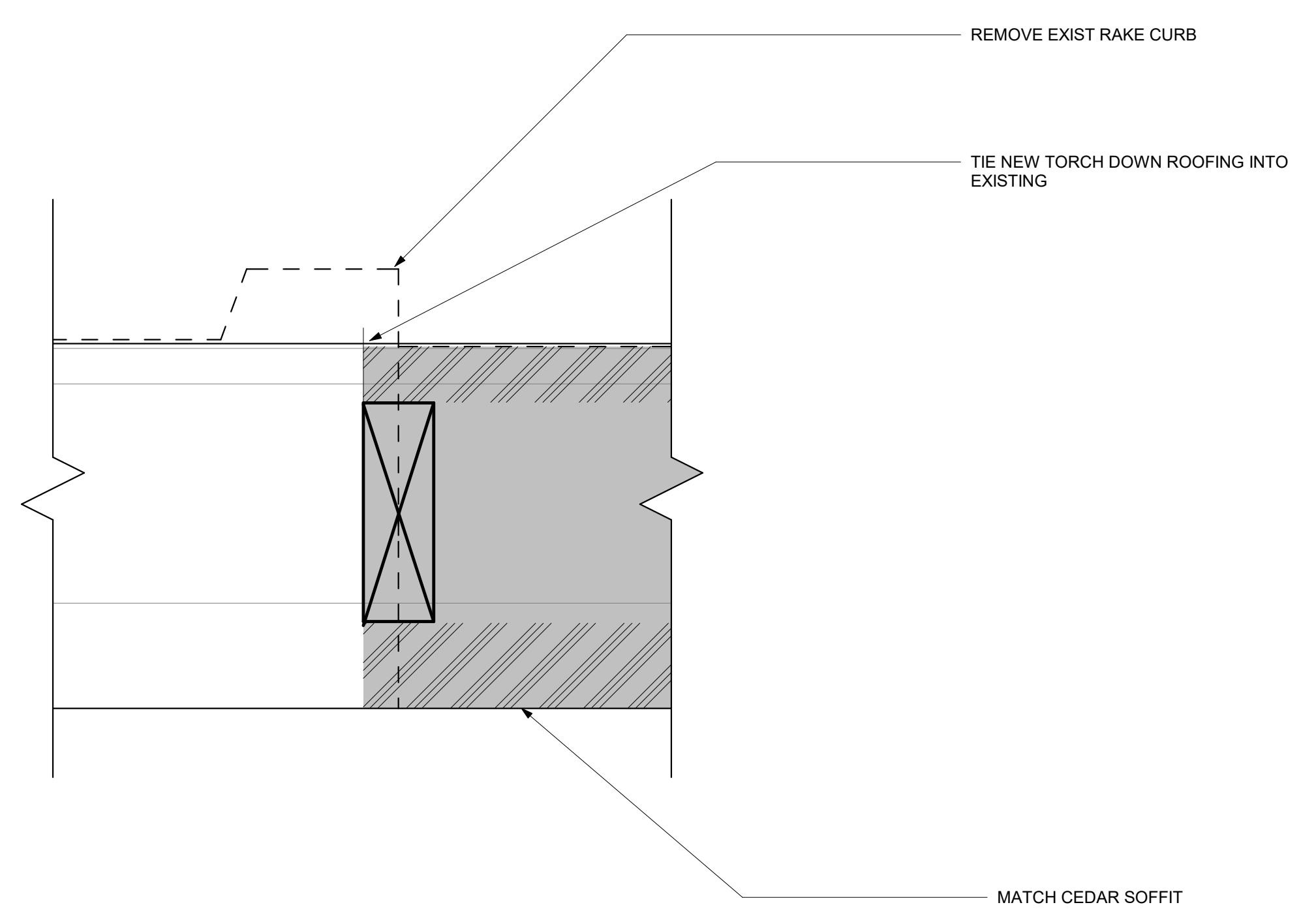
6 ROOF CONNECTION C
 3" = 1'-0"



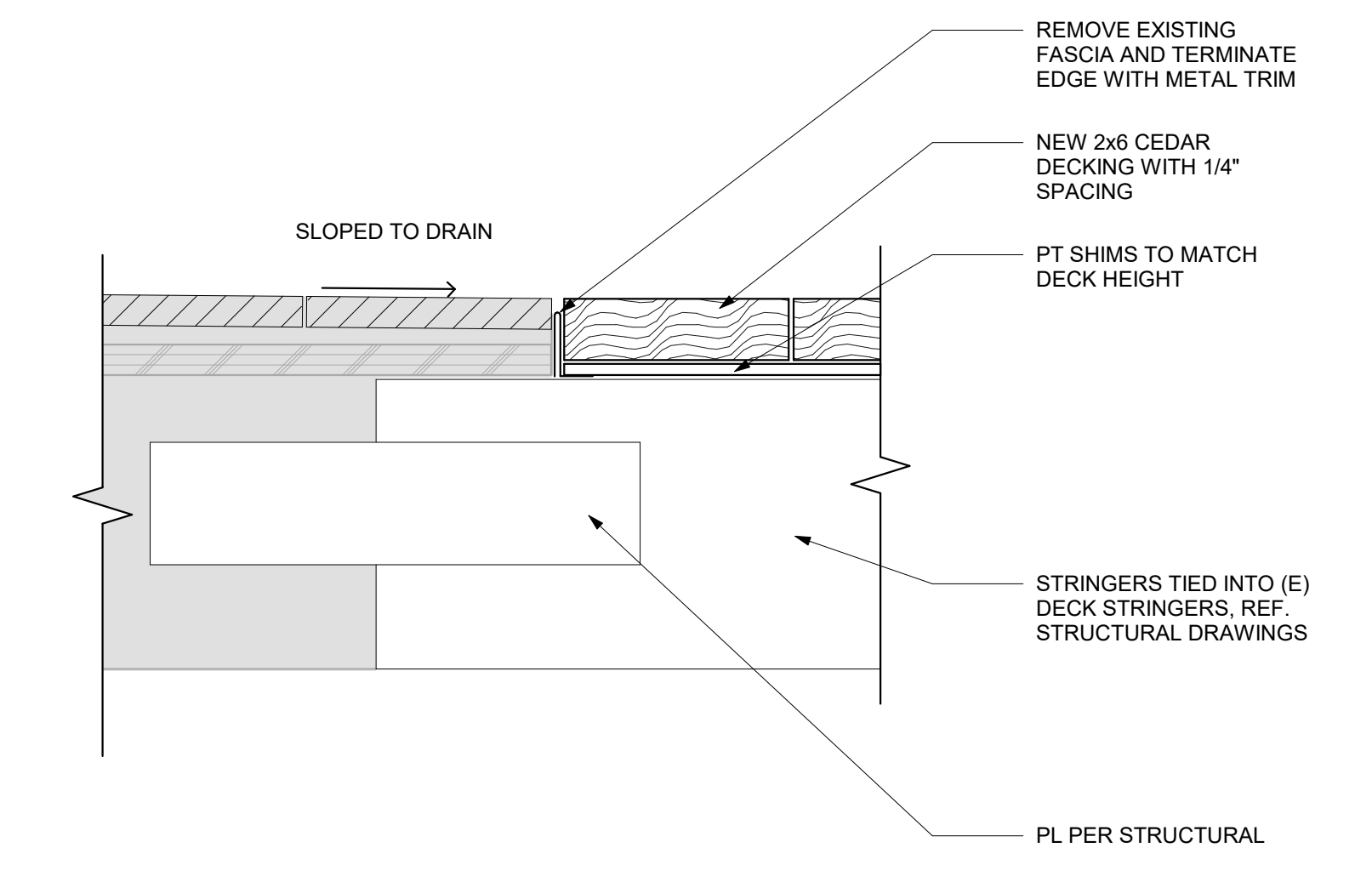
3 RIM JOIST DETAIL
 3" = 1'-0"



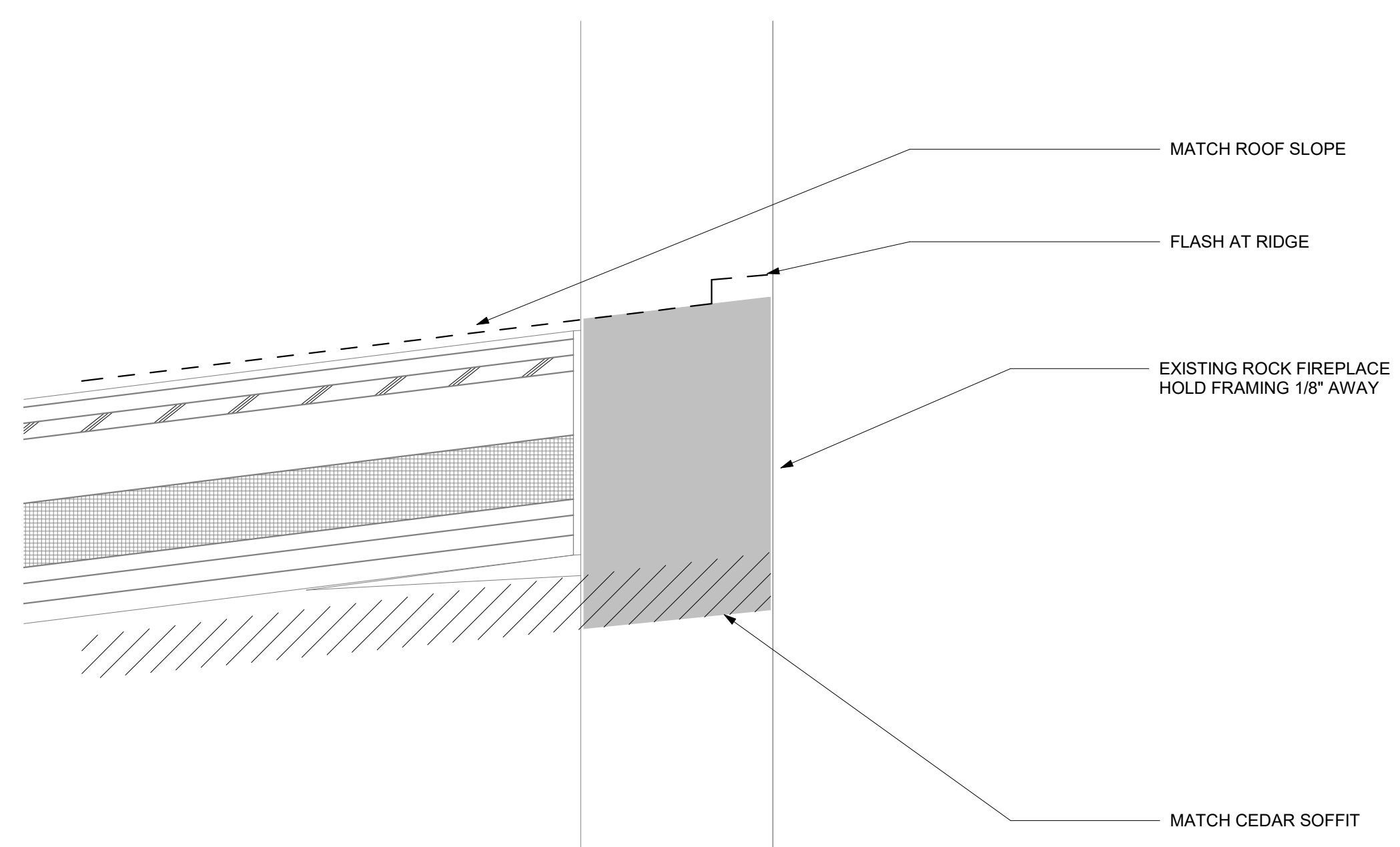
7 SMALL RETAINING WALL SECTION
 3" = 1'-0"



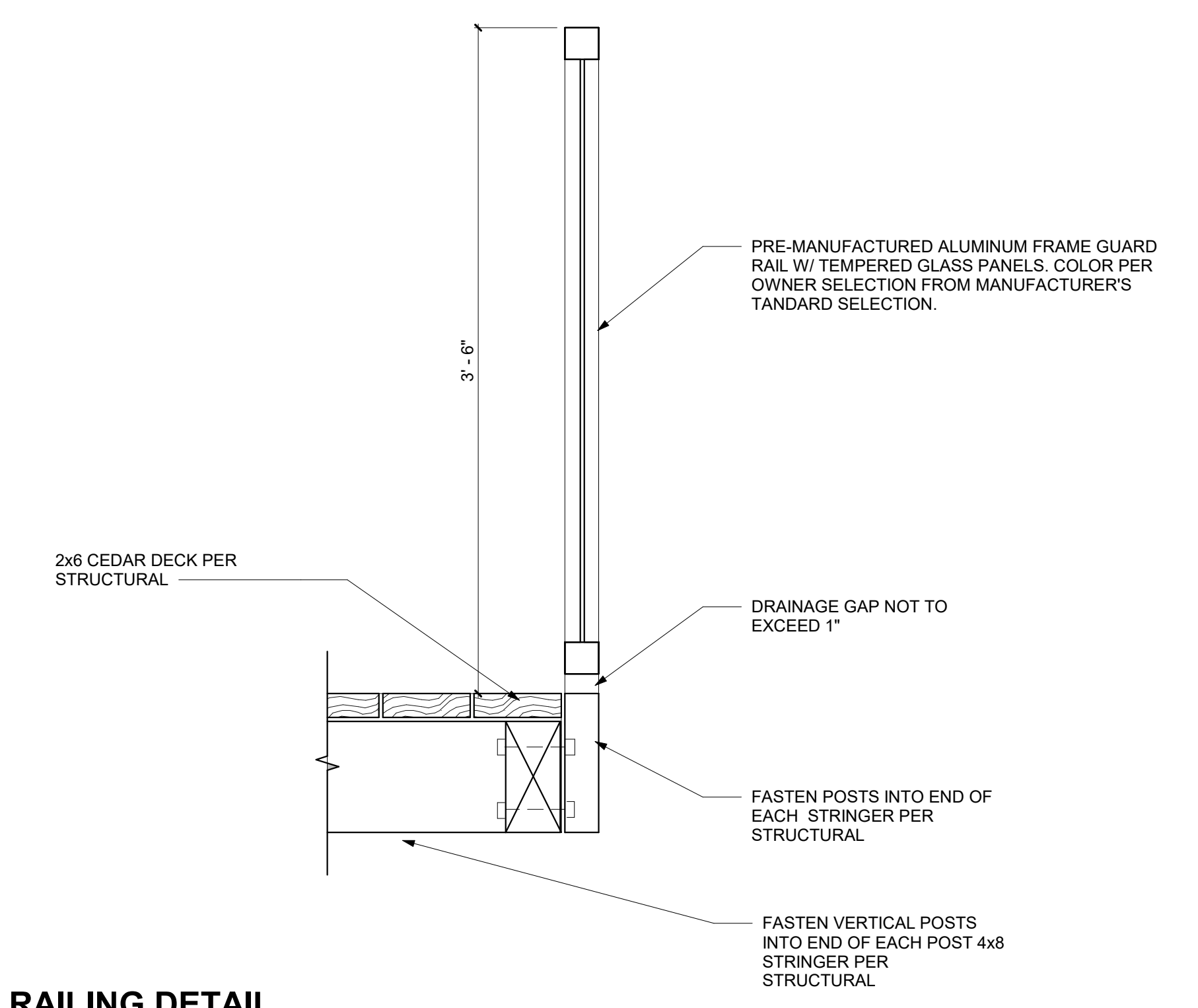
5 ROOF CONNECTION A
 3" = 1'-0"



2 DECK CONNECTION
 3" = 1'-0"



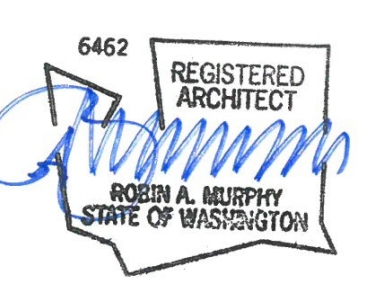
4 ROOF CONNECTION B
 3" = 1'-0"



1 RAILING DETAIL
 1 1/2" = 1'-0"

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DETAILS

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