

**ABBREVIATIONS**

ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ARCH	ARCHITECT
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
CABT	CABINET
CONT	CONTINUOUS
CTR	CENTER
CONC	CONCRETE
DBL JST	DOUBLE JOIST
DIM	DIMENSION
DN	DOWN
DTL	DETAIL
DWG	DRAWING
(E)	EXISTING
EL:	ELEVATION REGARDING GRADE
ELEV	ELEVATION
ENGR	ENGINEER
EXIST	EXISTING
FDN	FOUNDATION
FLR	FLOOR
F.O.	FACE OF
FRAMG	FRAMING
FTG	FOOTING
GFA	GROSS FLOOR AREA
GLB	GLULAM BEAM
GWB	GYPSUM WALLBOARD
HDR	HEADER
HT	HEIGHT
INSUL	INSULATION
JST	JOIST
LVL	LAMINATED VENEER LUMBER
MED CABT	MEDICINE CABINET
MFR	MANUFACTURER
MIN	MINIMUM
MTL	METAL
(N)	NEW
O.C.	ON CENTER
OSB	ORIENTED STRAND BOARD
PLYWD	PLYWOOD
PSL	PARALLEL STRAND LUMBER
P.T.	PRESSURE TREATED
REINF.	REINFORCING
R.O.	ROUGH OPENING
SCHED	SCHEDULE
SECT	SECTION
SHEATG	SHEATHING
S-O-G	SLAB ON GRADE
STRUCT	STRUCTURAL
SUBFLR	SUBFLOOR
SW	SHEAR WALL
TBD	TO BE DETERMINED
TJ	TRUSS JOIST
T.K.	TIGHT KNOT
U.N.O.	UNLESS NOTIFIED OTHERWISE
VFY	VERIFY
W/	WITH
WDW	WINDOW

**GENERAL NOTES**

1. All work shall comply with all applicable codes and ordinances. (2015 IBC---structural, 2015 IRC--ordinance, current Energy Code)

2. All mechanical, electrical and plumbing work shall be completed under separate permit, and in compliance with all applicable codes and ordinances.  
2b. Contractor is responsible for obtaining all inspections/closing out/ finaling all permits related to the work. Architect is not responsible for finaling permits.

3. Contractor shall provide all items, materials, articles, operations and/ or methods listed or scheduled on the drawings including all labor, materials, equipment and incidentals necessary and/ or required for completion of the work.

4. The Architect will not be responsible for determining construction means, methods, techniques, sequences or procedures, or for safety precautions or programs in connection with the work. The Architect will not be responsible for any Contractor's failure to complete the work in accordance with the contract documents. The Architect will not be responsible for the acts or omissions of any Contractors, Sub-Contractors, or any of their agents or employees, or any other persons performing any of the work.

5. The Contractor shall be familiar with all mechanical, plumbing, and electrical work on the project. The Contractor shall provide all necessary shafts, openings, bases, curbs, blocking, and structural supports for ducts, conduit and equipment as required.

6. Contractor shall provide all shoring, bracing, and barricading necessary to ensure the structural stability of the building and the safety of all who enter the building during construction.

7. The Contractor is to verify all existing conditions and dimensions, and notify the Architect of any discrepancies or uncertainty.

8. Written dimensions take precedence over scaled dimensions. Details take precedence over general conditions.

9. Dimensions are to face of concrete or to face of stud unless notified otherwise.

10. No change in scope or intent of the work shall be made without the approval of the Architect.

11. ALTERNATIVES AND SUBSTITUTIONS TO DRAWINGS AND SPECIFICATIONS MAY BE ACCEPTABLE, BUT MUST BE APPROVED IN WRITING BY THE OWNER. ANY ITEM SUBSTITUTED WITHOUT WRITTEN APPROVAL MAY BE SUBJECT TO REMOVAL AT NO COST TO THE OWNERS OR ARCHITECT.

12. Floors and walls are to be finished under and behind casework and equipment unless noted otherwise.

13. Shop drawings and/ or material samples shall be prepared by the Contractor and submitted to the Architect for review on the following items. Allow (5) days for Architect's review. Every effort will be made to turn submittals around as quickly as possible. In the event that Architect is not involved in construction observation, all submittals are to be made to Owner for approval.

- All finish materials. Window Orders.
- Trim and molding samples. Door Orders

14. All paint and finish samples are to match Architect's control samples, and must be approved by Architect. No substitutions for paint manufacturers or grades allowed without written approval of the Architect. **ROLL OUT A 4' X 4' SECTION OF EACH WALL PAINT COLOR IN ITS SPACE AND PAINT A 6' LENGTH OF ALL TRIM PIECES FOR OWNER APPROVAL PRIOR TO PURCHASE OF FULL PAINT ORDER. DO NOT PROCEED WITH PAINTING UNTIL THESE ROLL-OUTS ARE APPROVED.**

15. The Contractor is to verify locations of wall-mounted accessories, cabinetry, shelving, and backing for future accessories with the Owners and provide solid blocking at those locations prior to closing the walls.

16. The Contractor shall coordinate with the Owners to photograph the walls and ceilings of the kitchen, bathrooms, utility rooms, and any other rooms after plumbing, electrical and mechanical rough-in and before GWB is applied.

17. The Contractor shall be responsible for the testing of all materials suspected of containing asbestos. The cost for the testing and the removal of such material shall be an additional expense to the Owners. The Contractor shall obtain a minimum of (3) bids for the removal and disposal of the material.

18a. The Owners shall provide the Contractor with a list of items to be salvaged from demolition. All items shown as relocated or salvaged shall be carefully removed, stored, and protected during construction.

18b. Contractor shall provide salvage service for items that are not to be saved by the Owners using a salvage specialist, such as Second Use, Ballard Reuse, etc. The salvageable types of items are but are not limited to anything non-structural such as windows, doors, wood flooring, wood trim, appliances five years and newer, plumbing fixtures.

19. The Contractor is to provide the necessary containers for trash removal and keep the work area reasonably clean at all times. The location of any dumpster used in the work shall be coordinated with the Owners. The surface under any dumpster used in the work shall be protected at all times. The area near any dumpster used in the work shall be kept free of nails and other debris. All areas surrounding any dumpster shall be protected during dumpster removal/ drop-off. Care shall be taken to keep the street free of vehicle blockages.

20. During demolition and construction, protect all new work and existing to remain surfaces and building components. Damage or disturbance to the existing building or to neighboring property shall be promptly restored, repaired, or replaced to match existing at no cost to the Owners.

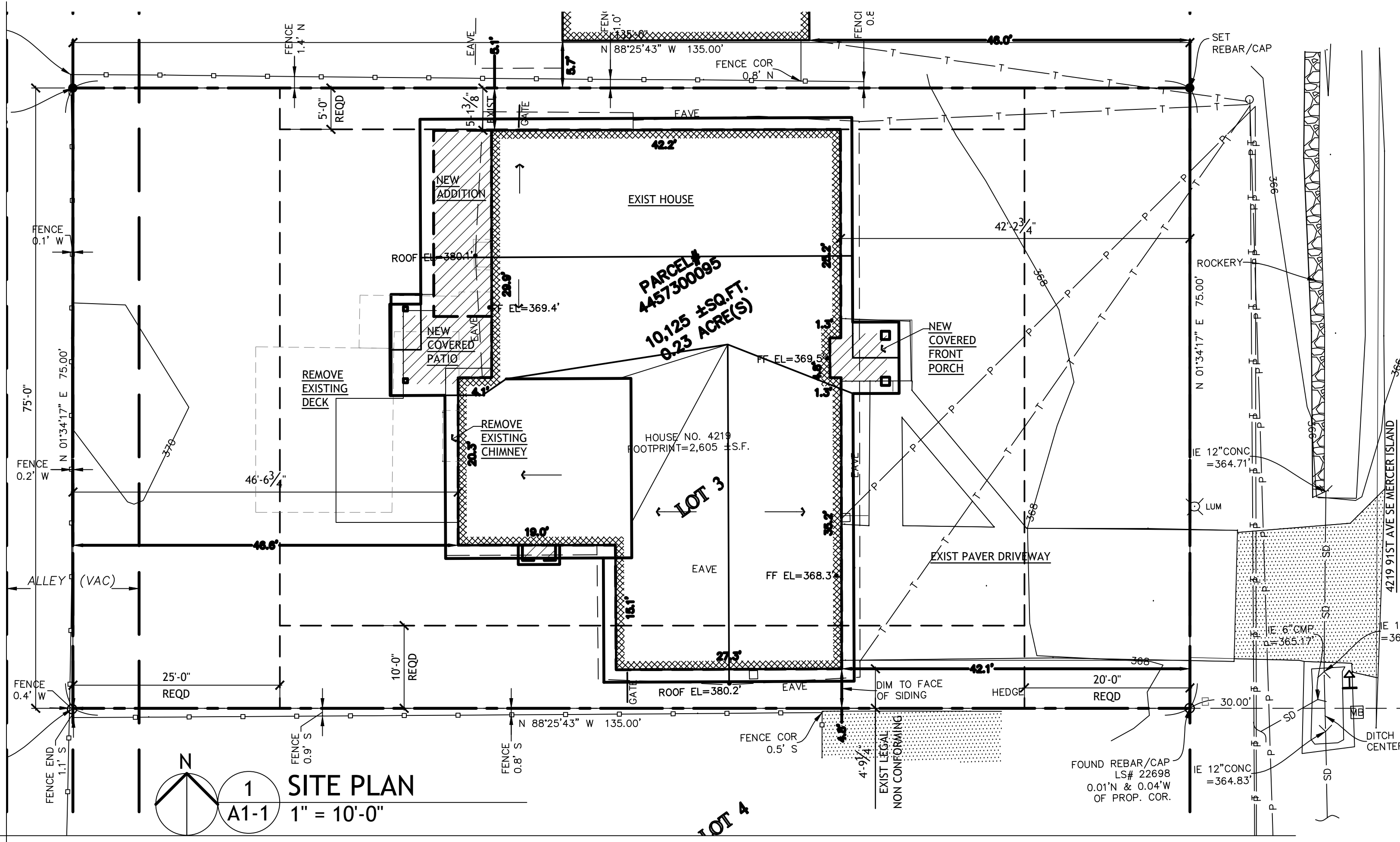
21. Provide temporary plywood enclosures after the removal of exterior walls and windows to adequately secure and protect the building. Cover openings in the roof and walls to secure against wind and rain. Keep all debris from blocking downspouts or tight lines. Maintain all debris in an orderly fashion to prevent scattering in the yard or neighbor's yard or neighborhood. Damage to the new or existing work due to water shall be promptly repaired at no cost at the Owners. All floor finishes that remain shall be protected at all times.  
22. The Contractor shall consult with the Owners regarding the protection of specific plants on site prior to commencement of the work, and shall take reasonable precaution in the protection of these materials throughout the course of the work. All plantings in sloped areas shall be protected at all times.

23. Contractor shall be responsible for the removal of all debris from wall and joist spaces before enclosure, from crawl and attic spaces before completion, and from the site before punch list.

24. Upon completion of the work, the Contractor is responsible for thorough cleaning and touch-up of any marked or damaged materials or surfaces in the area of work and in any other areas of the building affected during construction. A punch list will be generated by the Owners and Contractor at the completion of the work for these marked/damaged surfaces, and any incomplete items.

25. Upon acceptance of the work, the Contractor will submit to the Owners the following items:  
Product and equipment guarantees  
Warranties  
Operating and maintenance manuals as needed  
A list of sub-contractors involved in the work, with their addresses and phone numbers.

26. **Green Building:**  
Use Low-VOC paint AND ADHESIVES  
Deconstruct and recycle areas to be removed.  
Maintain on-site job site recycling area.  
Source materials locally where possible.  
Formaldehyde-free materials to be used.  
Where formaldehyde-free materials not possible, use Urea formaldehyde-free materials.  
Minimize PVC use where possible.  
Air seal at all new construction and opened exist Building PER CODE  
(http://oikos.com/library/airsealing/index.html)



**PROJECT INFORMATION**

**PROJECT DESCRIPTION**  
ADDITION AND REMODEL

**PROJECT NUMBER**  
N/A

**ASSESSOR'S PARCEL NUMBER**  
445730-0095

**PROJECT ADDRESS**  
4219 91ST AVE SE  
MERCER ISLAND, WA 98040

**LEGAL DESCRIPTION**  
LUCAS HEIGHTS ADD & POR  
VAC ALLEY, BLOCK 2 LOT 3

**OWNER**  
SHERYL WHITNEY & MICHAEL GEDEON  
4219 91ST AVE SE  
MERCER ISLAND WA 98040

**ARCHITECT**  
SHERI NEWBOLD  
live-work-play  
9231 EVANSTON AVE N  
SEATTLE, WA 98103  
206-726-0077

**CONTRACTOR**  
WEAVER CONSTRUCTION  
CAM WEAVER  
23631 140th Ave SE  
Kent, WA 98042  
408-348-3095  
WEAVEC\*020C7

**STRUCTURAL ENGINEER**

DANIEL BUKER, PE  
BUKER ENGINEERING  
4303 STONE WAY AVE N  
SEATTLE, WA 98103  
206-258-6335

**LAND USE INFORMATION**

**ZONE**  
R9.6

**LOT SIZE**  
10,125 SF

**LOT COVERAGE**  
40% OF LOT AREA (LESS THAN 15% SLOPE)

**ALLOWED LOT COV:** 10,125 X .4 = 4050 SF

**EXISTING HOUSE & GARAGE:** 3034.87 SF

**EXIST DRIVEWAY:** 646.56 SF

**NEW ADDITION:** 285.58 SF

**TOTAL LOT COVERAGE:** 3967.01 SF

3967.01 SF < 4050 SF

**REQUIRED LANDSCAPE AREA:**  
60% OF LOT AREA (LESS THAN 15% SLOPE)

**LANDSCAPE:** 10,125 X .6 = 6075 SF

**ALLOWED HARDSCAPE:** 10,125 X .09 = 911.25 SF

**EXIST WALK:** 137.62 SF

**NEW UNCOVERED PATIO AREAS:** 224.00 SF

**NEW COVERED PATIO AREAS:** 149.96 SF

NOTE THAT EXISTING DECK IS REMOVED.

**GROSS FLOOR AREA (GFA) MEASURED TO EXTERIOR:**

40% OF LOT AREA

**ALLOWED GFA:** 10,125 X .4 = 4050 SF

**EXISTING HOUSE & GARAGE UNDER 12' H:** 2600.74 SF

**NEW ADDITION UNDER 12' H:** 166.62 SF

**EXIST HOUSE 12'-16' H:** 0 SF

**NEW ADDN 12'-16' H:** 0 SF

**TOTAL GFA:** 2767.36 SF

2767.36 SF < 4050 SF

**LINEAL FEET CALC DUE TO EXIST NON-CONFORMING:**

**EXIST LF OF EXIST EXT. WALL:** 225.8 LF

**ALLOWED CHANGE: 40% OF 225.8' LF** 90.32 LF

**CHANGED LF:** 85.30 LF

**REQ'D SETBACKS**  
FRONT: 20'-0"  
SIDE: 5'-0" AND 10'-0", THIS IS NON-CONFORMING, SEE ATTACHED PERMIT DATED 03-21-1960  
REAR: 25'-0"

**ENERGY INFORMATION**

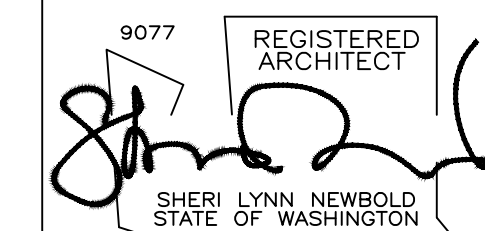
**ENERGY CODE CALCULATION**  
MEETS PRESCRIPTIVE REQ'S TABLE R402.1.1

**EQUIPMENT SIZING FORM**  
SEE ATTACHED.

**TABLE 406.2 CREDIT**  
.5 CREDITS REQUIRED FOR ADDITION LESS THAN 500 SF.  
OPTION 3A, HIGH EFFICIENCY HVAC EQUIPMENT. GAS FIRED FURNACE 94% AFUE OR BETTER.

**DRAWING INDEX**

- A1-1 COVER SHEET/ GENERAL NOTES
- SUR SURVEY
- A1-2 TREE PROTECTION PLAN
- TESC TEMPORARY EROSION AND SITE CONTROL
- A2-0 ENERGY NOTES, DEMO PLAN, WINDOW & DOOR SCHEDULES
- A2-1 FLOOR PLAN
- A2-2 ROOF PLAN
- A2-3 FOUNDATION PLAN
- A2-4 FRAMING PLAN
- A3-1 EXTERIOR ELEVATIONS
- A3-2 EXTERIOR ELEVATIONS
- A4-1 SECTIONS
- A4-2 SECTIONS
- A4-3 SECTIONS
- A4-4 SECTIONS
- A4-5 SECTIONS
- A4-6 SECTIONS
- A4-7 DETAILS
- A4-8 DETAILS
- S1.1 GENERAL STRUCTURAL NOTES
- SEE A2-3, A2-4 FOR FDN & FRAMING
- S3.1 STRUCT DTLs
- S3.2 STRUCT DTLs
- S4.1 STRUCT DTLs
- S5.1 STRUCT DTLs



**live work play**  
sustainable architecture interior design

live-work-play  
9231 Evanston Avenue N  
Seattle WA 98103

206 726 0077  
sheri@live-work-play.net  
live-work-play.net

**PERMIT**

**cover sheet & general notes**  
**whitney-gedeon residence**  
4219 91st avenue SE mercer island, wa 98040

these drawings, as instruments of service, are the property of live-work-play

09/24/19	PERMIT SUBMIT
09/12/19	ENG BK CHECK
07/25/19	SEND TO ENGR
06/04/19	BUDGETING

A1-1

# TOPOGRAPHIC & BOUNDARY SURVEY

measure success

**LEGAL DESCRIPTION**  
 (PER SPECIAL WARRANTY DEED RECORDING# 20010319000457)  
 LOT 3, BLOCK 2, LUCAS HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 17 OF PLATS, PAGE 5, IN KING COUNTY, WASHINGTON.  
 SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON.

**BASIS OF BEARINGS**  
 PER RECORD OF SURVEY BOOK 199, PG 117, A LINE BETWEEN MONUMENTS FOUND AND SHOWN HEREON BEARS N15°15'49"E.

**REFERENCES**  
 R1. RECORD OF SURVEY, VOL. 199, PG. 117, RECORDS OF KING COUNTY, WASHINGTON.  
 R1. UNRECORDED SURVEYS BY JONES BASSI AND ASSOCIATES JOB NO. 1511 DATED 1/26/63, 1326 DATED 4/1/60, 1473 DATED 8/21/62

**VERTICAL DATUM**  
 NAVD88 PER GPS OBSERVATIONS

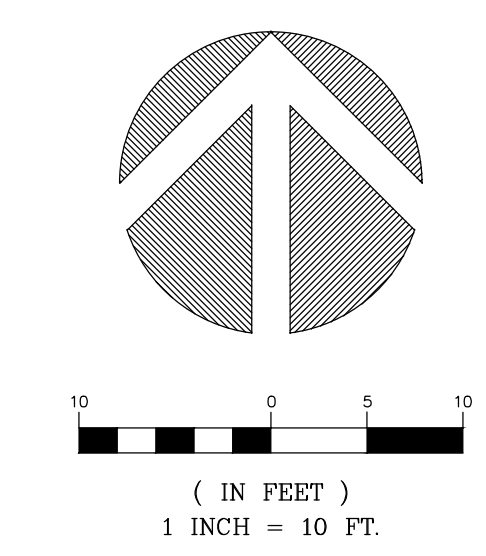
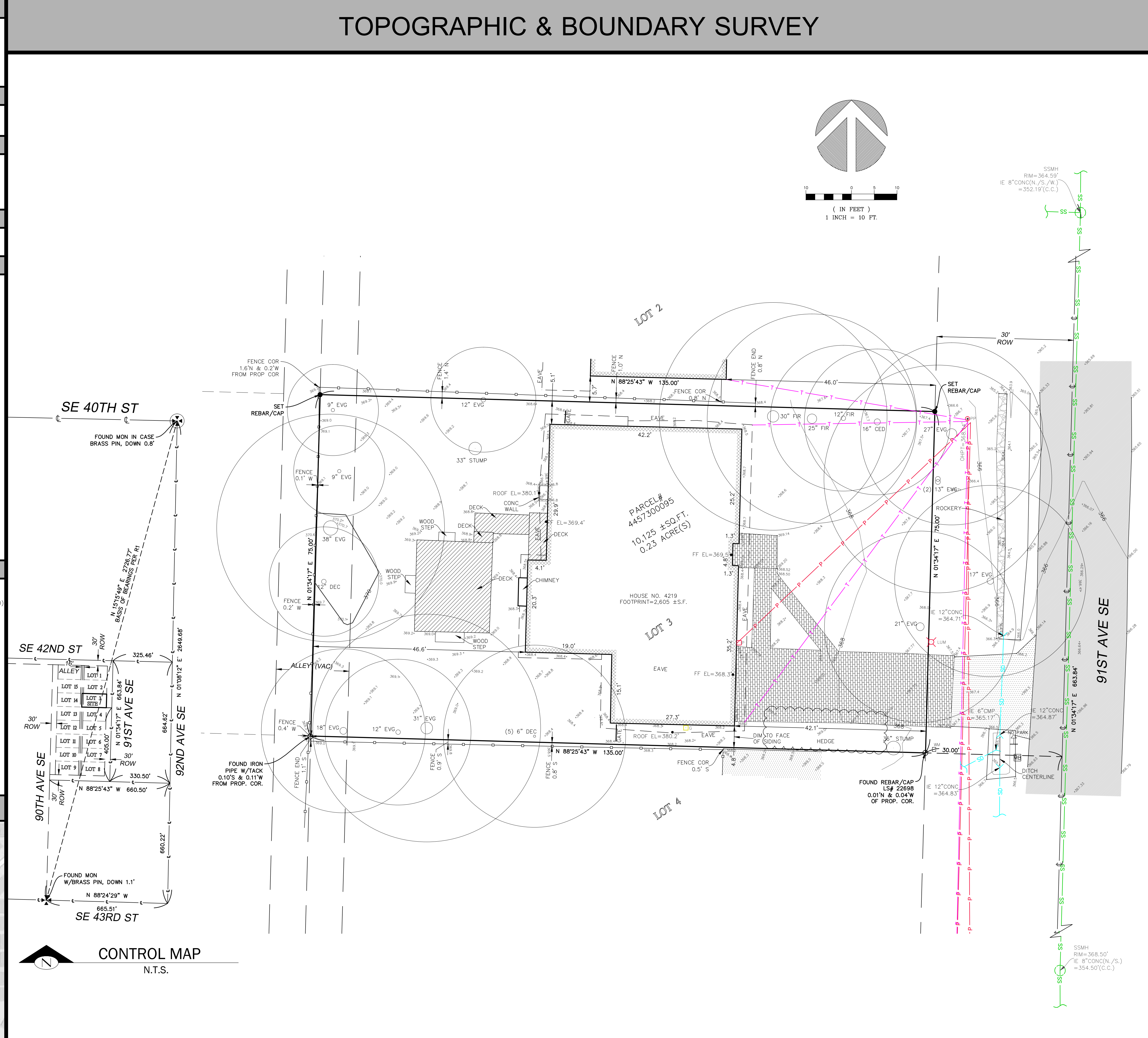
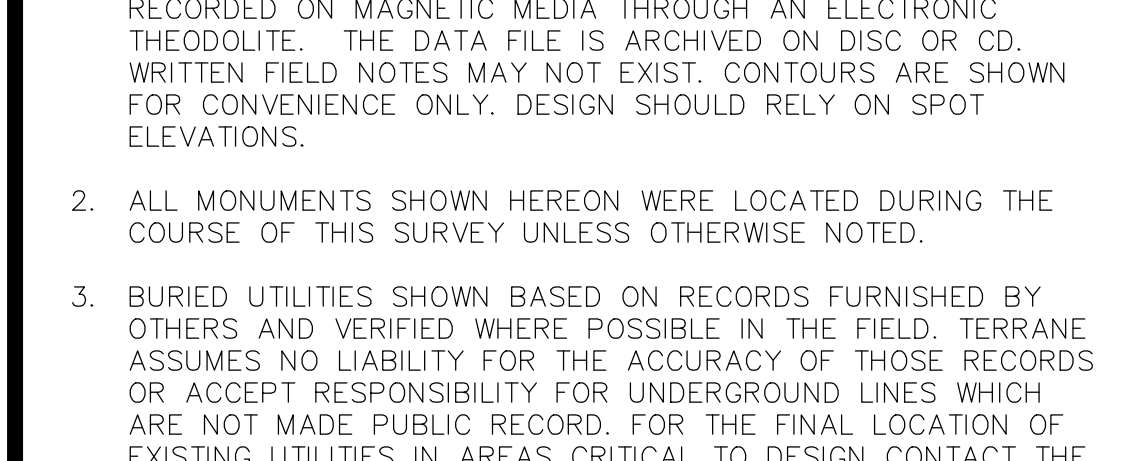
**SURVEYOR'S NOTES**

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN OCTOBER OF 2018. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. TERRANE ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
4. SUBJECT PROPERTY TAX PARCEL NO. 445730-0095
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 10,125 ±S.F. (0.23 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

**LEGEND**

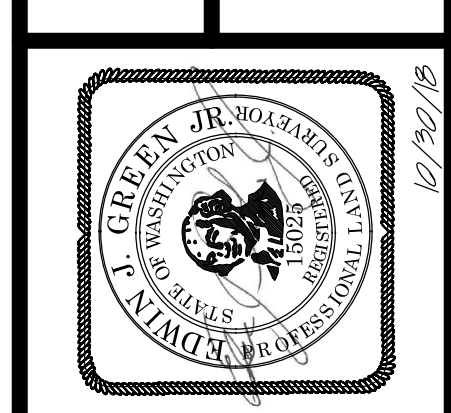
	ASPHALT SURFACE		MAILBOX (RESIDENTIAL)
	BRICK SURFACE		MONUMENT (SURFACE, FOUND)
	BUILDING		POWER METER
	CENTERLINE ROW		POWER (OVERHEAD)
	CULVERT PIPE		POWER POLE
	RETAINING WALL		REBAR & CAP (SET)
	DECK		ROCKERY
	DITCH (FLOWLINE)		SEWER LINE
	FENCE LINE (CHAIN LINK)		SEWER MANHOLE
	FENCE LINE (WOOD)		SIGN (AS NOTED)
	GAS METER		STORM DRAIN LINE
	GRAVEL SURFACE		TELEPHONE (OVERHEAD)
	HEDGE FOLIAGE LINE		TREE (AS NOTED)
	OHP TRANSMISSION ELEVATION		WATER METER
	MONUMENT IN CASE (FOUND)		LUMINAIRE
	REBAR/IRON PIPE AS NOTED (FOUND)		

**VICINITY MAP**  
 N.T.S.



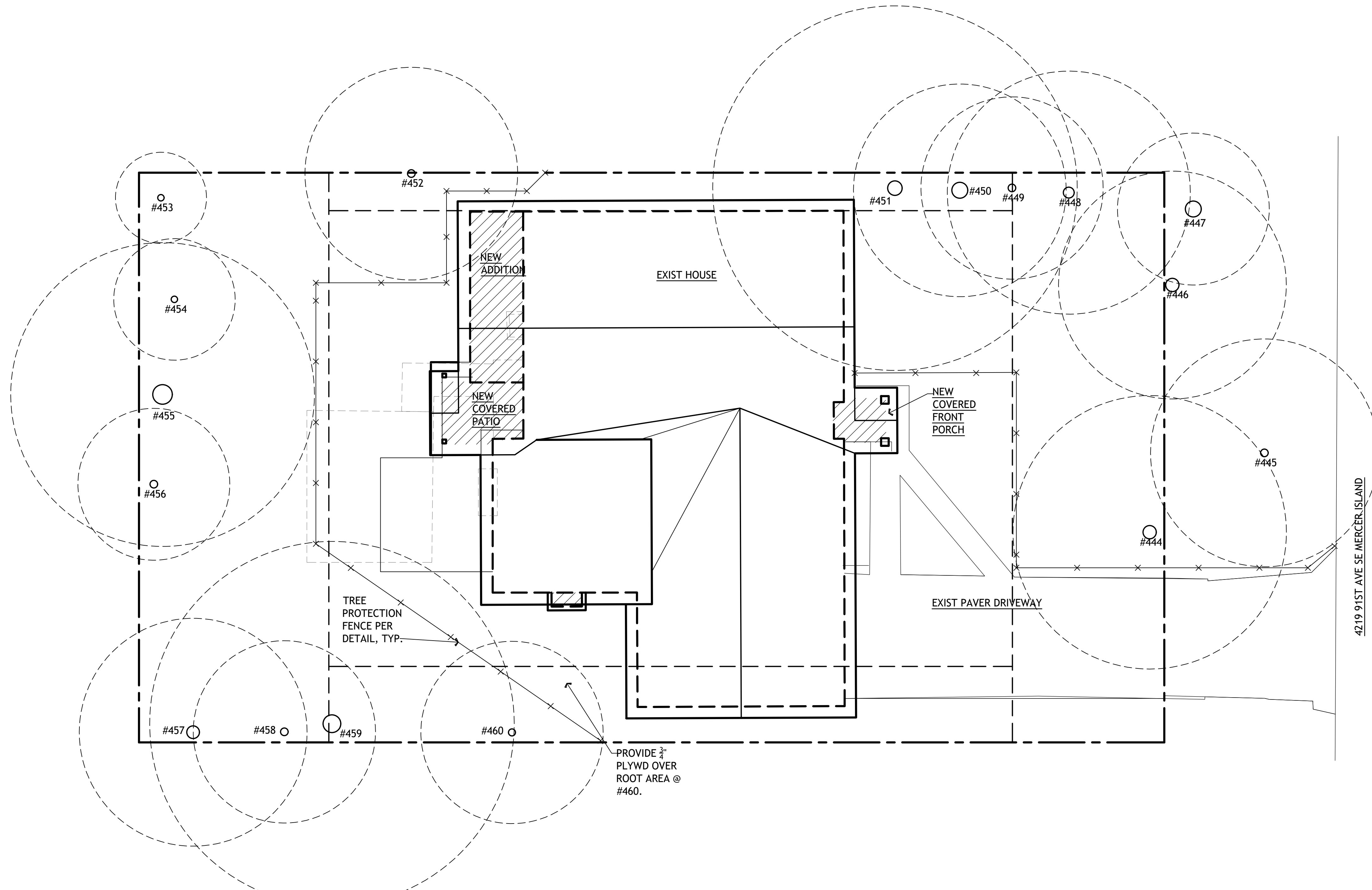
**TOPOGRAPHIC & BOUNDARY SURVEY**  
 SE 1/4 OF NW 1/4 SEC 18, TWP. 24 N., RGE 05 E., W.M.  
 PARCEL NO. 4457300095

**WHITNEY / GEDEON RESIDENCE**  
 4219 91ST AVE SE  
 MERCER ISLAND, WA 98040



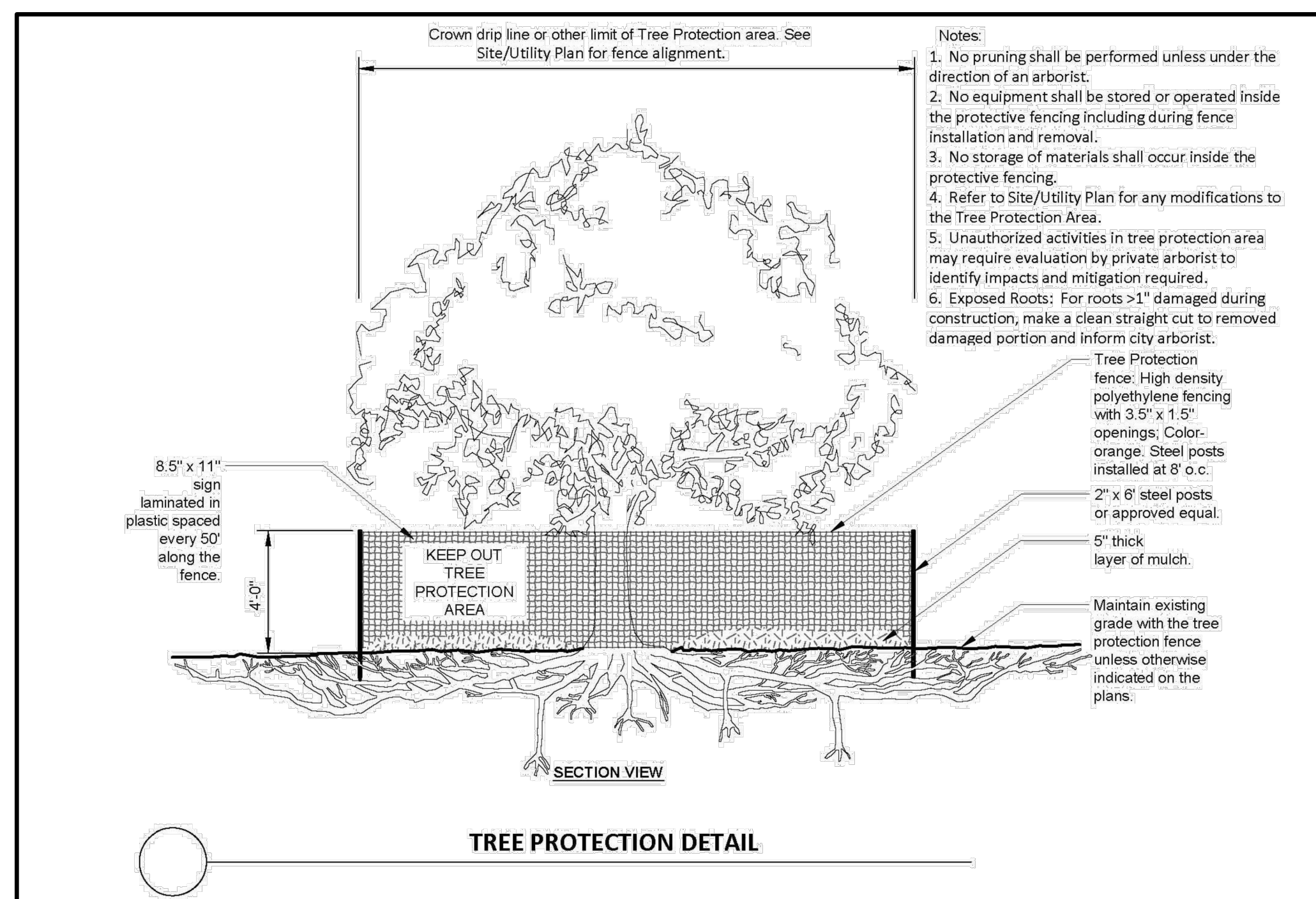
**Terrane**  
 10801 Main Street, Suite 102, Bellevue, WA 98004  
 phone 425.458.4498 support@terrane.net  
 www.terrane.net

JOB NUMBER:	181757
DATE:	10/12/18
DRAFTED BY:	IDV-PSC
CHECKED BY:	EJG/TMM
SCALE:	1" = 10'
<b>REVISION HISTORY</b>	
10/30/28	EAVE REVISION
<b>SHEET NUMBER</b>	
1 OF 1	



1  
A1-2  
TREE PROTECTION PLAN  
1/8"=1'-0"

TREE SCHEDULE



Tree #	Species	DBH"	DrpIn	Radius'	Condition	Comments	Status
444	Douglas Fir	21	18'		Excellent	Off of driveway. Crown-cleaned	retain
445	Douglas Fir	12	15'		Poor	topped for utility clearance. Located Off-Site	retain
446	Douglas Fir	21	15'		Good	Two stems at the root collar. Sq root of {(stem)+(stem2)}	retain
447	douglas Fir	25		Under canopy	Poor	Out-competed	retain
448	Vestern Red Ceda	17	16'		Excellent	Excellent condition.	retain
449	Douglas Fir	12	12'		Good	Near property line, do not limb any higher	retain
450	Douglas Fir	25	14'		Good	Near property line, do not limb any higher	retain
451	Douglas Fir	23	24'		Good	Near property line, do not limb any higher	retain
452	Douglas Fir	12	14'		Fair	Crooked trunk, near building corner	retain
453	Douglas Fir	10	6'		Fair	large bark damage at base of tree. Tree has low vigor.	retain
454	Douglas Fir	10	8'		Fair	Crooked trunk.	retain
455	Douglas Fir	31	20'		Good	Wind broken tops several yrs ago. Bushy top now.	exceptional
456	Flowering Plum	12	10'		Fair	Typically full of suckers, minor old stom damage. Leaning toward light.	retain
457	Vestern Red Ceda	20	15'		Excellent	Excellent condition.	retain
458	Douglas Fir	12	12'		Fair	In canopy of tree #459.	retain
459	Douglas Fir	28	24'		Excellent	History of 'wind-sailing' and crown cleaning.	retain
460	Fruiting Fig	11	12		Good	Old large pruning cuts, typical of species.	retain

**CONSTRUCTION STORMWATER CONTROL (CSC) GENERAL NOTES**

1. A FIRST GROUND DISTURBANCE INSPECTION IS REQUIRED PRIOR TO START OF WORK ON ALL SITES WITH LAND DISTURBING ACTIVITY.
2. SCHEDULE A FIRST GROUND DISTURBANCE INSPECTION FOR AN ISSUED BUILDING PERMIT AT 206-684-8900 OR ONLINE AT WWW.SEATTLE.GOV/DPD/PERMITS/INSPECTIONS/
3. THE APPLICANT SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) SUPERVISOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). FOR LARGE CONSTRUCTION PROJECTS, THE ESC SUPERVISOR SHOULD BE A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESSL). PROVIDE THE NAME AND PHONE NUMBER OF THE ESC SUPERVISOR TO THE SITE INSPECTOR AT THE FIRST GROUND DISTURBANCE INSPECTION.
4. BMPs SHALL BE INSTALLED PRIOR TO STARTING CONSTRUCTION TO ENSURE SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROJECT SITE OR ENTER ROADSIDE DITCHES, STORM DRAINS, SURFACE WATERS, OR WETLANDS.
5. THE BMPs INCLUDED IN THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT BMPs ARE MODIFIED AS NEEDED FOR UNEXPECTED STORM EVENTS OR OTHER UNFORESEEN CIRCUMSTANCES, AND TO ACCOUNT FOR CHANGING SITE CONDITIONS.
6. ANY AREAS OF DISTURBED SOIL THAT WILL NOT BE WORKED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) OR SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) SHALL BE IMMEDIATELY STABILIZED WITH APPROVED BMPs METHODS (E.G. STRAW, MULCH, PLASTIC COVERING, COLD MIX, ETC.)
7. GRADING AND/OR SOIL DISTURBING ACTIVITIES MAY BE LIMITED OR PROHIBITED FOR CERTAIN SITES SUBJECT TO ECA STANDARDS (I.E. ECA STEEP SLOPES, LANDSLIDE PRONE AREAS, ETC.) BETWEEN OCTOBER 31ST AND APRIL 1ST. IF NOTED IN THE GEOTECHNICAL SPECIAL INSPECTOR'S REQUIREMENTS, A GRADING SEASON EXTENSION LETTER (GSEL) ISSUED BY SDCI IS REQUIRED FOR ALL GRADING AND/OR SOIL DISTURBING ACTIVITIES DURING THIS PERIOD. THE GEOTECHNICAL SPECIAL INSPECTOR MUST SUBMIT ELECTRONIC APPLICATIONS FOR A GSEL USING THE SDCI PROJECT PORTAL. ALLOW FOUR TO SIX WEEKS FOR PROCESSING. FAILURE TO OBTAIN THE GSEL PRIOR TO OCTOBER 31 MAY RESULT IN A WORK STOPPAGE.
8. CITY STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AT ALL TIMES. NO MATERIAL SHALL BE STORED ON CITY STREETS OR SIDEWALKS WITHOUT A STREET USE PERMIT FROM THE SEATTLE DEPARTMENT OF TRANSPORTATION (SDOT).
9. POLLUTION CONTROL MEASURES SHALL BE FOLLOWED TO ENSURE THAT NO LIQUID PRODUCTS OR CONTAMINATED WATER ENTERS ANY STORM DRAINAGE FACILITIES OR OTHERWISE LEAVES THE PROJECT SITE. ANY HAZARDOUS MATERIALS OR LIQUID PRODUCTS THAT HAVE THE POTENTIAL TO LEAVE THE PROJECT SITE SHALL BE STORED AND DISPOSED OF PROPERLY.
10. ENSURE THAT WASHOUT FROM CONCRETE TRUCKS IS PERFORMED OFF-SITE OR IN DESIGNATED CONCRETE WASHOUT AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS ONTO THE GROUND, OR TO STORM DRAINS OR OPEN DITCHES. DO NOT DUMP EXCESS CONCRETE ONSITE, EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS.
11. ALL AREAS OF DISTURBED SOIL SHALL BE FULLY STABILIZED WITH THE APPROPRIATE SOIL AMENDMENT AND COVER MEASURES AT COMPLETION OF THE PROJECT. TYPICAL COVER MEASURES INCLUDE LANDSCAPING OR HYDROSEED WITH MULCH.

**CONSTRUCTION STORMWATER CONTROL (CSC) PLAN REQUIREMENTS / NARRATIVE**

THIS PLAN IS REQUIRED FOR ALL PROJECTS WITH GREATER THAN 750 SQUARE FEET OF LAND DISTURBING ACTIVITIES.

SHOW TEMPORARY AND PERMANENT BEST MANAGEMENT PRACTICES (BMPs) IN THE PLAN VIEW OF THIS SHEET THAT WILL ACCOMPLISH THE MINIMUM REQUIREMENTS DESCRIBED IN THE NARRATIVE BELOW.

THE BMPs SHOWN IN THE PLAN VIEW OF THIS PLAN ARE THE MINIMUM REQUIRED. ADDITIONAL BMPs ARE REQUIRED WHEN MINIMUM CONTROLS ARE NOT SUFFICIENT TO PREVENT EROSION OR TRANSPORT OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE.

- MARK CLEARING LIMITS
- DELINEATE ENVIRONMENTALLY CRITICAL AREAS
- RETAIN TOP LAYER AND NATIVE VEGETATION
- ESTABLISH CONSTRUCTION ACCESS
- PROTECT DOWNSTREAM PROPERTIES AND RECEIVING WATERS
- PREVENT EROSION AND SEDIMENT TRANSPORT FROM THE SITE
- STABILIZE SOILS
- PROTECT SLOPES
- PROTECT STORM DRAINS
- STABILIZE CHANNEL AND OUTLETS
- CONTROL POLLUTANTS
- CONTROL DEWATERING
- MAINTAIN AND INSPECT BMPs
- EXECUTE CONSTRUCTION STORMWATER CONTROL PLAN
- MINIMIZE OPEN TRENCHES
- PHASE THE PROJECT
- INSTALL PERMANENT FLOW CONTROL AND WATER QUALITY FACILITIES
- PROTECT STORMWATER BMPs PRIOR TO, DURING, AND AFTER CONSTRUCTION

COMPLETE CONSTRUCTION STORMWATER CONTROL BMP DETAILS AND REQUIREMENTS ARE LOCATED IN DIRECTOR'S RULE DPD DR 21-2015, CHAPTER 4, VOLUME 2: CONSTRUCTION STORMWATER CONTROL, OF THE SEATTLE STORMWATER MANUAL. SHOW ALL BMPs ON THIS PLAN SHEET THAT WILL BE USED TO ACHIEVE THE REQUIREMENTS ABOVE.

**POST CONSTRUCTION SOIL MANAGEMENT PLAN**

AT THE END OF PROJECT, ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL BELOW AND PROBE TO 12-INCHES AT THE SITE FINAL INSPECTION.

- LABEL ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE WITHIN THE SITE AS ONE OF THE FOLLOWING: SA (SOIL AMENDMENT AREA) OR ND (NON-DISTURBED AREA). SEE DEFINITIONS BELOW. DO NOT REFERENCE AN ALTERNATE PLAN SHEET.
- AN ESTIMATE OF THE VOLUME OF COMPOST REQUIRED IS AUTOMATICALLY CALCULATED ON THE SITE AND DRAINAGE CONTROL SUMMARY SHEET REQUIRED ON THE DRAINAGE AND WASTEWATER CONTROL PLAN (DWC PLAN). THE ACTUAL VOLUME OF COMPOST REQUIRED WILL BE DETERMINED IN THE FIELD.

**DEFINITIONS:**

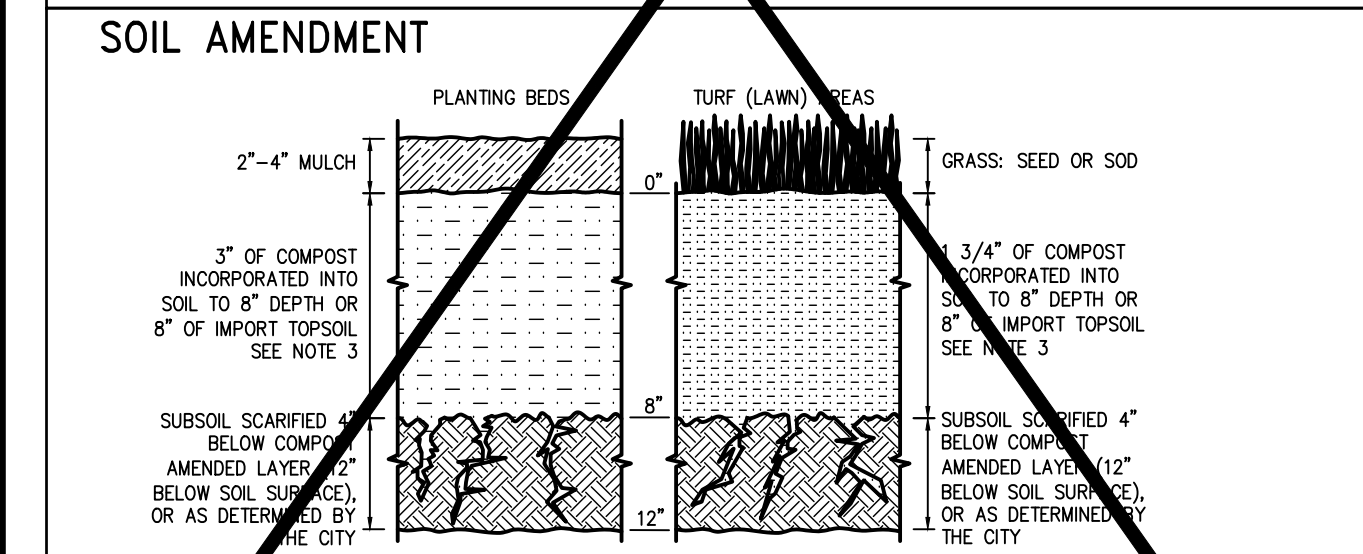
- **NON-DISTURBED AREA (ND):** VEGETATED AREAS THAT WILL NOT BE SUBJECT TO LAND DISTURBING ACTIVITY (SEE D) DO NOT REQUIRE SOIL AMENDMENT IF THEY ARE FENCED AND CONTINUOUSLY PROTECTED THROUGHOUT CONSTRUCTION. THE FENCING MUST BE IN PLACE AT THE FIRST GROUND DISTURBANCE INSPECTION. THIS WILL BE MONITORED BY THE DPD SITE INSPECTOR. NO DISTURBANCE, INCLUDING VEHICLE TRAFFIC OR MATERIAL STORAGE, IS ALLOWED IN THESE AREAS UNTIL FINAL INSPECTION. LABEL THESE AREAS AS (ND) IN THE PLAN VIEW.
- **SOIL AMENDMENT AREA (SA):** VEGETATED OR COMPOST AREAS (TURF AND LANDSCAPE) MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL AND THE SUBSOIL MUST BE LOOSENEED SO IT WILL PROBE TO A DEPTH OF 12 INCHES PRIOR TO SITE FINAL INSPECTION. THIS INCLUDES AREAS IMPAIRED BY CLEARING AND GRADING, STOCKPILING, SITE ACCESS, PATHWAYS, MATERIALS OR EQUIPMENT STORAGE. LABEL THESE AREAS AS (SA) IN THE PLAN VIEW.

**ESTIMATED COMPOST REQUIRED FOR SOIL AMENDMENT**

\*\*\*ONLY COMPLETE THE FOLLOWING CALCULATION IF A DRAINAGE AND WASTEWATER CONTROL PLAN (DWC PLAN) IS NOT REQUIRED (E.G. SUBJECT TO FIELD INSPECTION (SDI) DEMOLITION PERMITS)\*\*\*

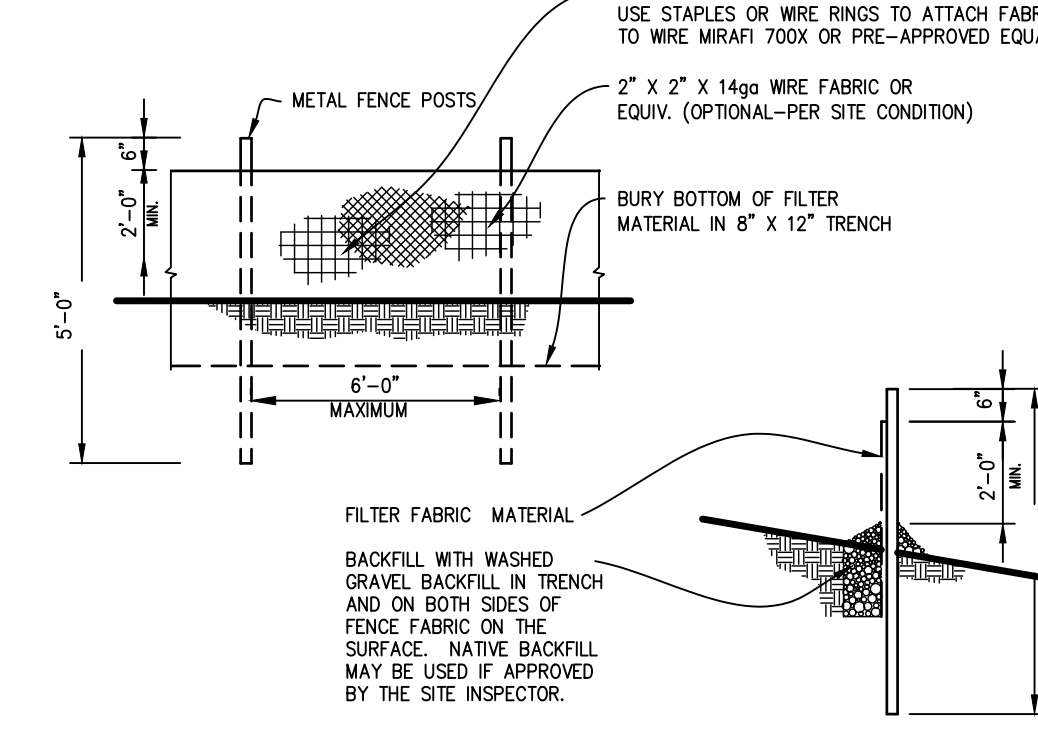
(SQUARE FEET) X 0.001 = (CUBIC YARDS)

AREA REQUIRING AMENDMENT (SA)      REQUIRED COMPOST



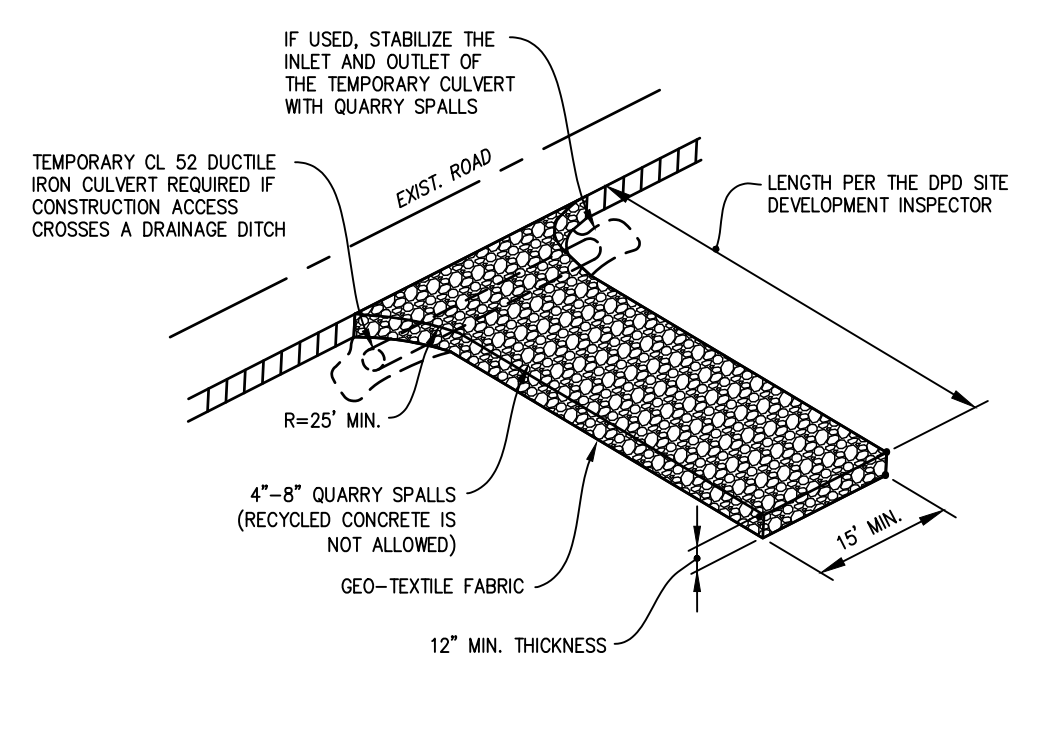
**SYMBOL:** (SA) AREA REQUIRING SOIL AMENDMENT      (ND) NON-DISTURBED AREA (SOIL AMENDMENT NOT REQUIRED)

**FILTER FENCE**



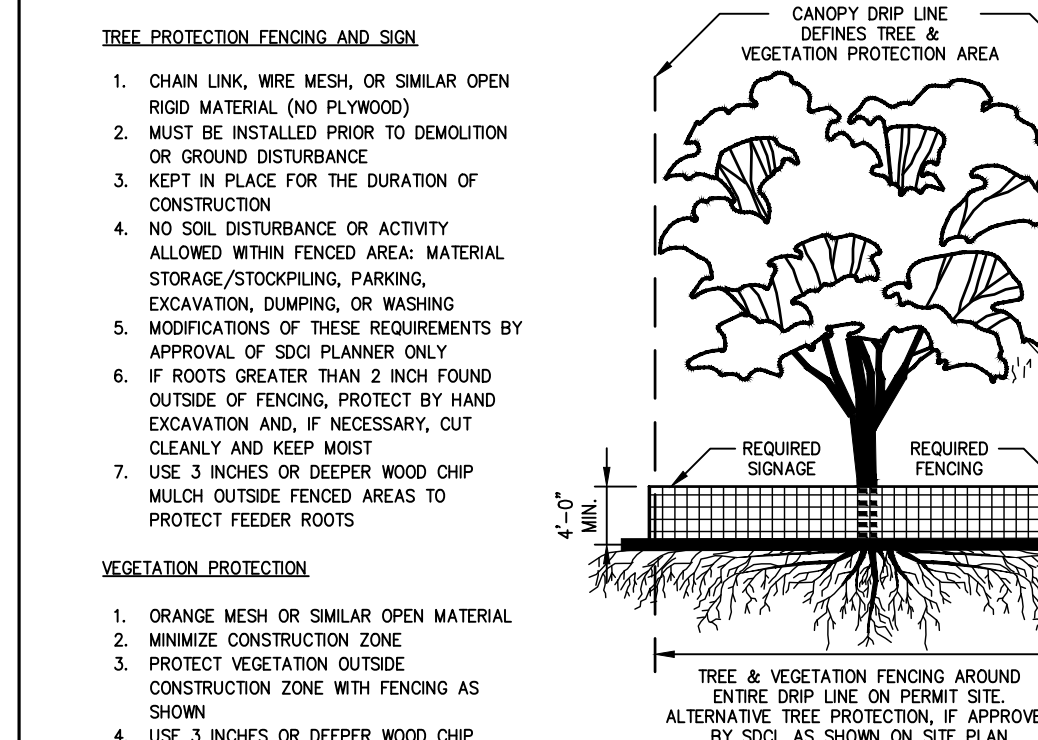
**SYMBOL:** (FF)

**STABILIZED CONSTRUCTION ACCESS**



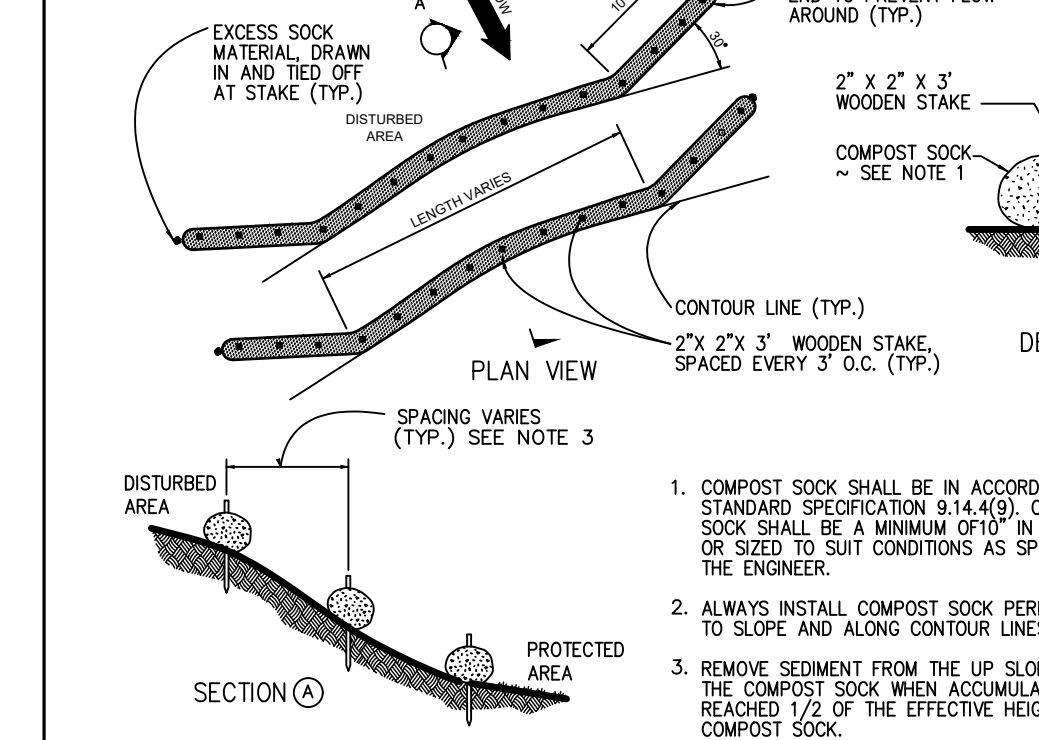
**SYMBOL:** (CE)

**TREE & VEGETATION PROTECTION**



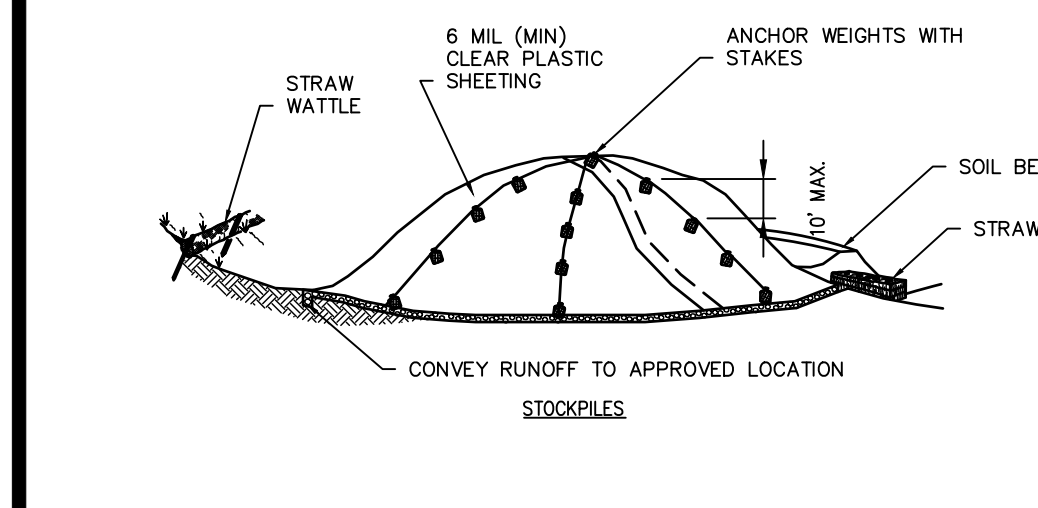
**SYMBOL:** (VEG)

**COMPOST SOCK**



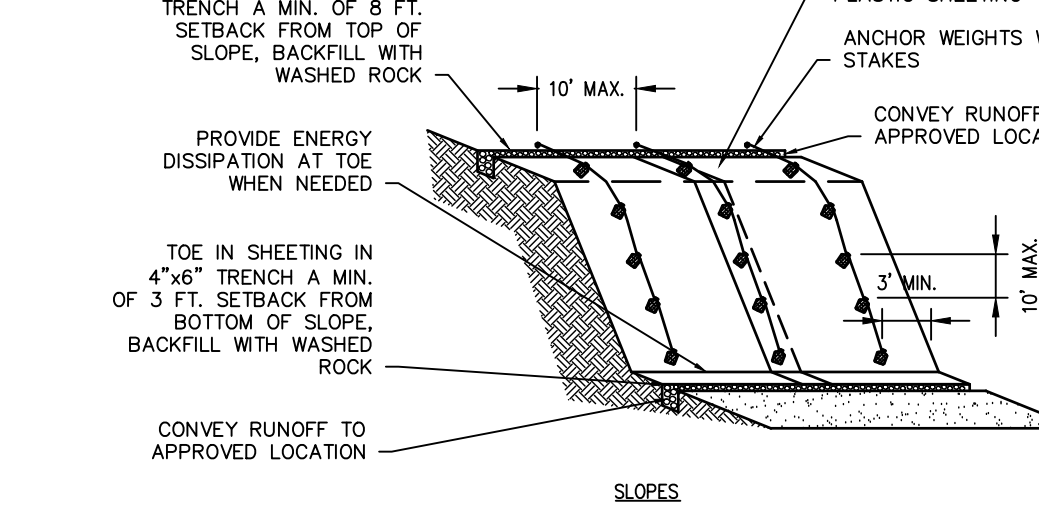
**SYMBOL:** (CS)

**STOCKPILE AND EXPOSED SLOPE COVERING**

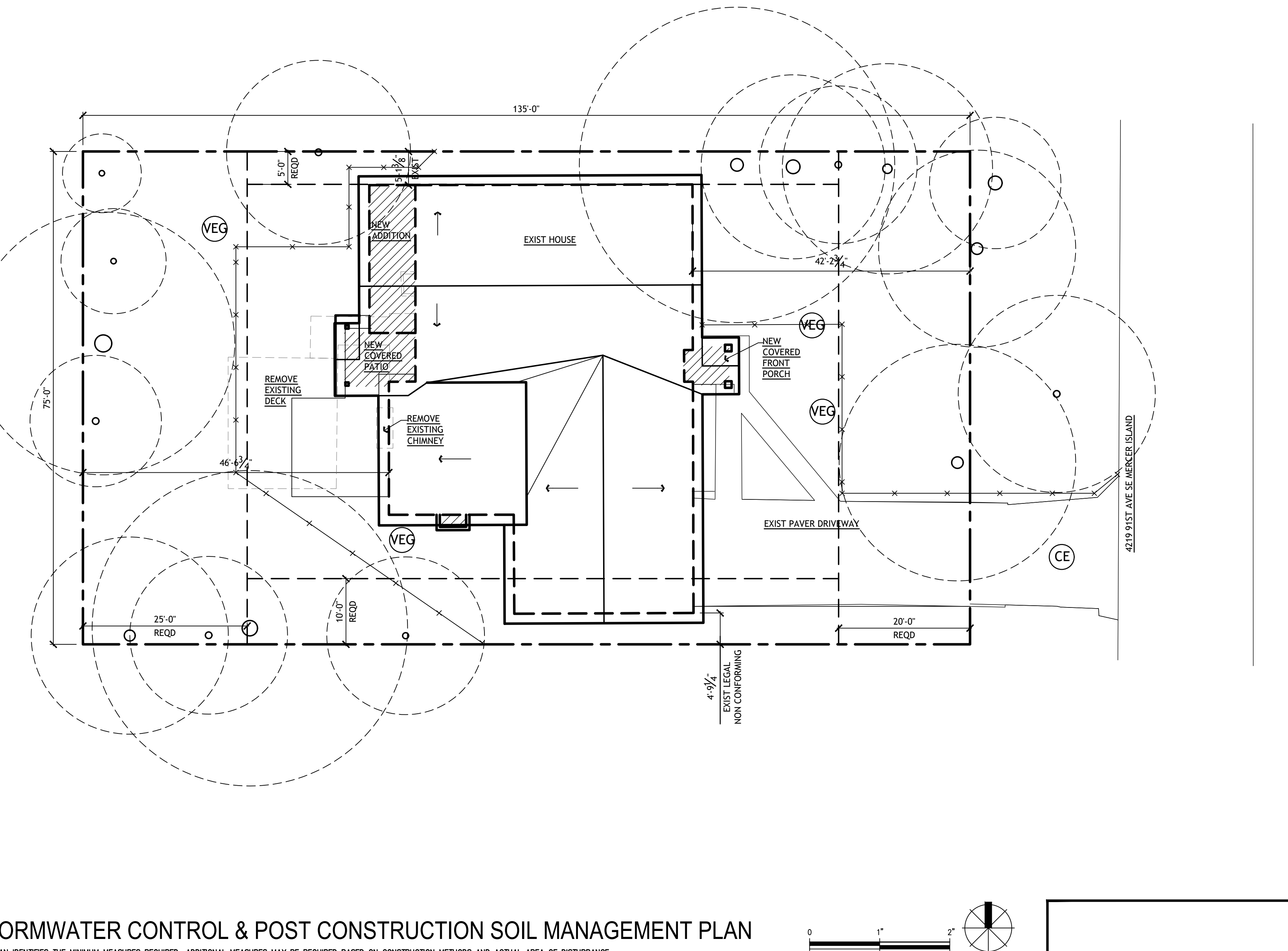


**SYMBOL:** (SP)

**STOCKPILE AND EXPOSED SLOPE COVERING**

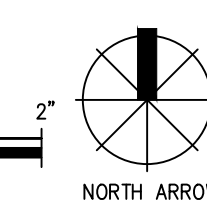
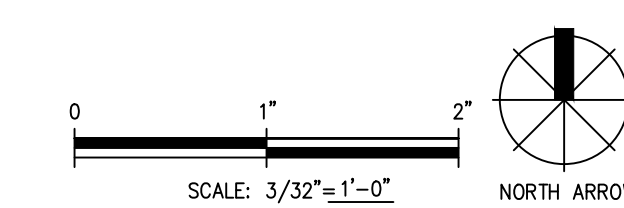


**SYMBOL:** (SP)



**CONSTRUCTION STORMWATER CONTROL & POST CONSTRUCTION SOIL MANAGEMENT PLAN**

NOTE: THIS PLAN IDENTIFIES THE MINIMUM MEASURES REQUIRED; ADDITIONAL MEASURES MAY BE REQUIRED BASED ON CONSTRUCTION METHODS AND ACTUAL AREA OF DISTURBANCE.

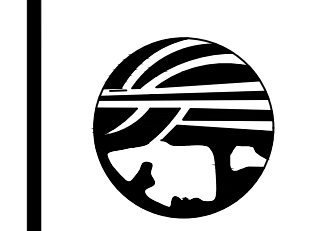


TEMPLATE VERSION:  
2017-06-02

STANDARD CONSTRUCTION STORMWATER CONTROL (CSC) AND  
POST CONSTRUCTION SOIL MANAGEMENT (SOIL) PLAN

APPLICANT PLAN SET

CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION AND INSPECTIONS



DATE: 00/00/0000

STANDARD  
CSC/SOIL  
PLAN

SHEET CSC

Address: 4721 38TH AVE NE SEATTLE WA 98105      Project Number: 6706700-CN

TABLE 406.2 CREDIT  
SEE COVERSHEET A1-1

ADDITION LESS THAN 500 SF = 5 POINTS REQUIRED. OPTION 3A: HIGH EFFICIENCY HVAC EQUIPMENT. GAS FIRED FURNACE 94% AFUE OR BETTER.

ENERGY CODE NOTES

1. SEC 402.4.1.2 TESTING - "The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 5 air changes per hour. Testing shall be conducted with a blower door at a pressure of 0.2 inches w.g. (50 Pascals). Where required by the code official, testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. Once visual inspection has confirmed sealing (see Table R402.4.1.1), operable windows and doors manufactured by small business shall be permitted to be sealed off at the frame prior to the test."

2. SEC 403.1 CONTROLS, MANDATORY- "At least one thermostat shall be provided for each separate heating and cooling system." SEE SEC 403.1.1 for forced air furnace requirements; see SEC 403.1.2 for heat pump requirements.

3. SEC 403.2.2 SEALING - Ducts, air handlers, and filter boxes shall be sealed. Joints and seams shall comply with either the International Mechanical Code or International Residential Code as applicable. RESIDENTIAL ENERGY EFFICIENCY R-Z22012 WA ENERGY CODE

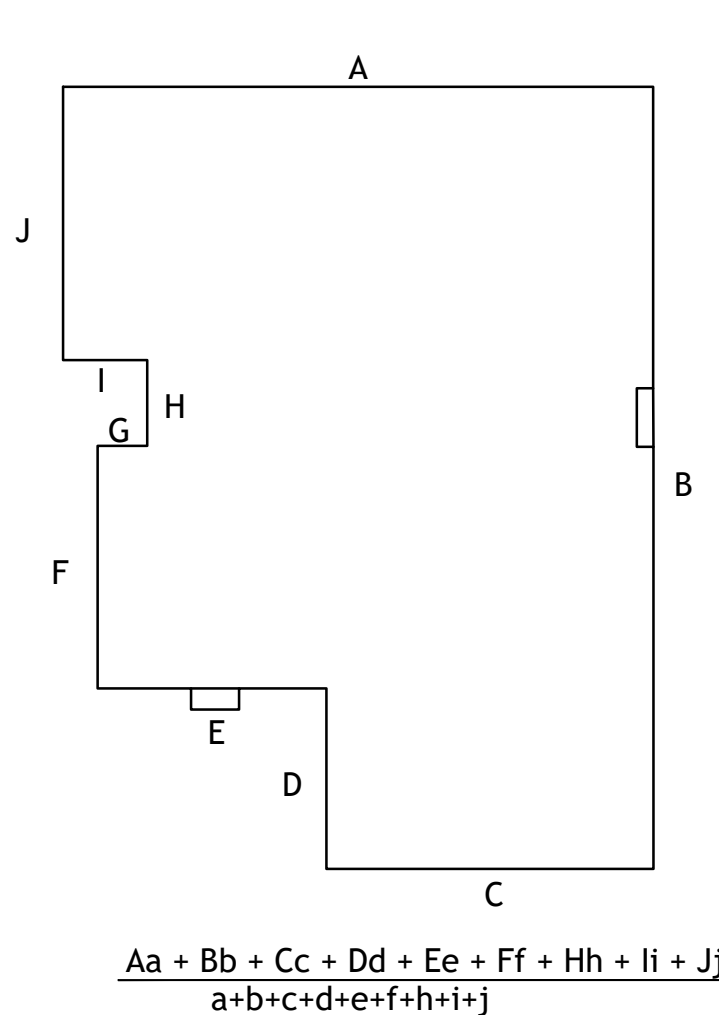
403.2.2 Sealing (Mandatory). "Ducts, air handlers, and filter boxes shall be sealed. Joints and seams shall comply with either the International Mechanical Code or International Residential Code as applicable."

"Ducts shall be leak tested in accordance with WSU RS-33, using the maximum duct leakage rates specified. Duct tightness shall be verified by either of the following:

1. Postconstruction test: Total leakage shall be less than or equal to 4 cfm (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area when tested at a pressure Differential of 0.1 inches w.g. (25 Pa) across the entire system, including the manufacturer's airhandler enclosure. All register boots shall be taped or otherwise sealed during the test. Leakage to outdoors shall be less than or equal to 4 cfm (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area.
2. Rough-in test: Total leakage shall be less than or equal to 4 cfm (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure. All Registers shall be taped or otherwise sealed during the test. If the air handler is not installed at the time of the test, total leakage shall be less than or equal to 3 cfm (85 L/min) per 100 square feet (9.29 m2) of conditioned floor area."

"Exception: The total leakage test is not required for ducts and air handlers located entirely within the building thermal envelope. Ducts located in crawl spaces do not qualify for this exception."

4. SEC 404.1 - "A minimum of 75 percent of the lamps in permanently installed lamps in lighting fixtures shall be high-efficacy lamps."



$$Aa + Bb + Cc + Dd + Ee + Ff + Hh + Ii + Jj$$

$$a+b+c+d+e+f+h+i+j$$

$$(368.7 \times 49.18) + (368.5 \times 65.17) + (368.7 \times 27.25) + (368.9 \times 15.03) + (369.1 \times 19.06) + (369.3 \times 20.19) + (369.3 \times 4.13) + (369.3 \times 7.15) + (369.3 \times 7.00) + (369.2 \times 22.79) = 236.95$$

$$\frac{87395.57}{236.95} = 368.84$$

ABE = 368.84

DOOR SCHEDULE

CONTRACTOR TO VERIFY DOOR PACKAGE PRIOR TO PLACING ORDER  
VERIFY DOOR HARDWARE W/ OWNERS & ARCHITECT

DOOR NUMBER	MATERIAL	GLASS TYPE	PANEL SIZE WIDTH	HEIGHT	THICK.	GLASS AREA	OPERATION	FINISH	NOTES	HARDWARE
001	MARVIN ULTIMATE	N/A	3'-0"	X 6'-8"	1-3/4"	N/A	SWING	VFY		ENTRY SET
002	FRANK LUMBER P-20	N/A	2'-8"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		VFY
003	MARVIN ULTIMATE	CLEAR TEMPERED	6'-0"	X 6'-8"	N/A	N/A	GLIDER	SUEDE, VFY		EXTERIOR PATIO
004	FRANK LUMBER P-20	N/A	3'-0"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY
005	FRANK LUMBER P-20	N/A	3'-0"	X 6'-8"	1-1/2"	N/A	POCKET	PAINT		VFY
006	FRANK LUMBER P-20	N/A	3'-0"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY
007	MARVIN ULTIMATE	CLEAR TEMPERED	5'-0"	X 6'-8"	N/A	N/A	GLIDER	SUEDE, VFY		EXTERIOR PATIO, EGRESS
008	FRANK LUMBER P-20	N/A	2'-4"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		VFY
009	CODEL FIBERGLASS SMOOTH	N/A	2'-8"	X 6'-8"	1-3/4"	N/A	SWING	PAINT	FIRE-RATED, U=0.20	PASSAGE, DEADBOLT
010	CODEL FIBERGLASS SMOOTH	N/A	2'-8"	X 6'-8"	1-3/4"	N/A	SWING	PAINT	U=0.20	PASSAGE, DEADBOLT
011	FRANK LUMBER P-20, VFY	N/A	2'-8"	X 6'-8"	1-1/2"	N/A	SWING	PAINT	VFY. VENT IN DOOR	VFY
012	FRANK LUMBER P-20	N/A	PAIR 2'-6"	X 6'-8"	1-1/2"	N/A	BIFOLD	PAINT		VFY
013	FRANK LUMBER BP-20	N/A	2'-6"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		VFY
014	FRANK LUMBER BP-20	N/A	PAIR 3'-0"	X 6'-8"	1-1/2"	N/A	SLIDING	PAINT DARK BRONZE ANODIZED		VFY SLIDING & OTHER HARDWARE
015	NORTHWEST GARAGE DOOR MC44	SATIN ETCH	16'-0"	X 7'-0"	STANDARD	N/A	GARAGE		EXISTING OPENING. VFY ALL SIZES & MAT'LS	VFY CLOSER & OTHER HARDWARE
016	FRANK LUMBER P-20	N/A	3'-0"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY
017	FRANK LUMBER P-20	N/A	2'-6"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY
018	FRANK LUMBER P-20	N/A	3'-0"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY
019	FRANK LUMBER P-20	N/A	2'-6"	X 6'-8"	1-1/2"	N/A	SWING	PAINT		PRIVACY

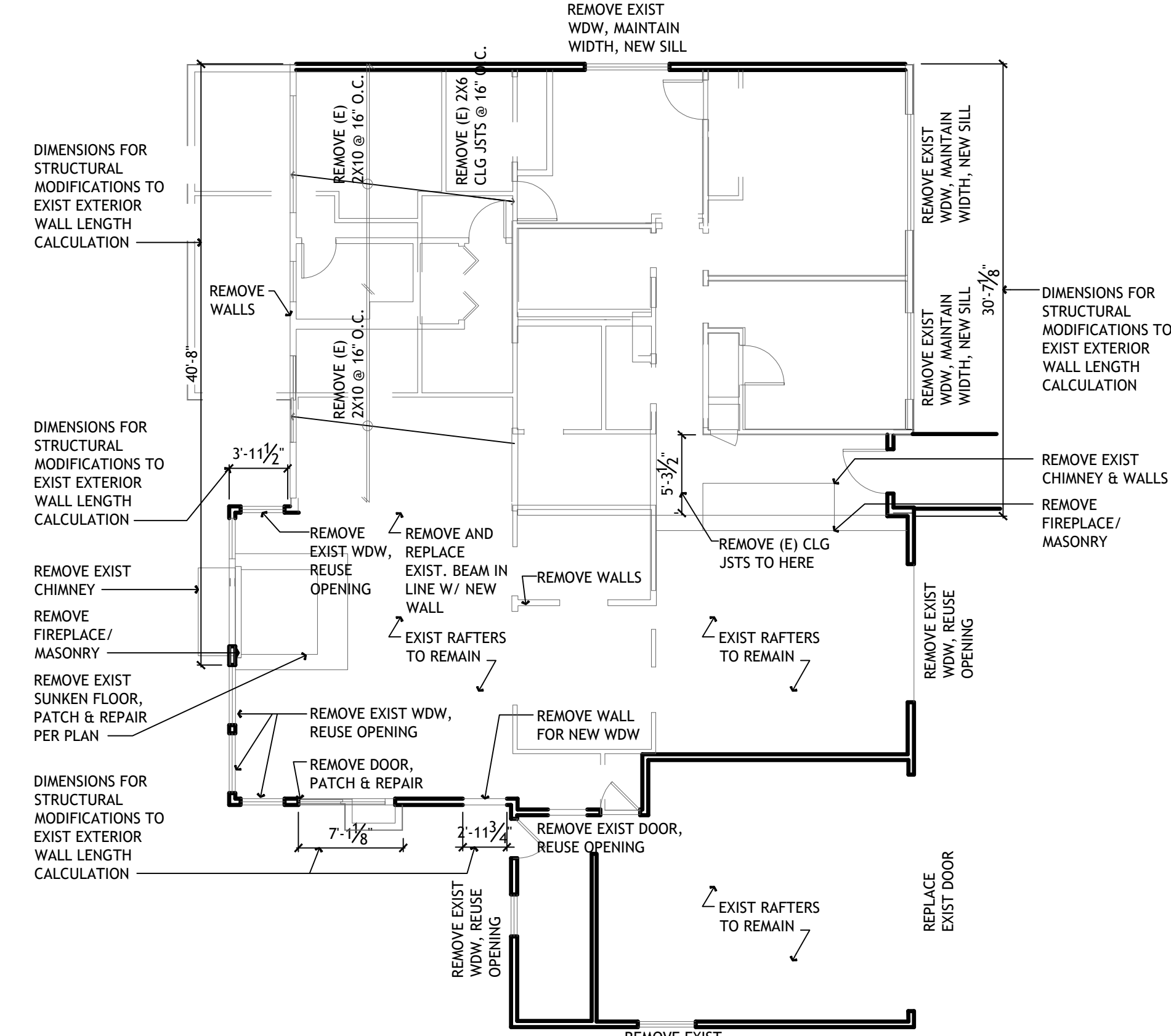
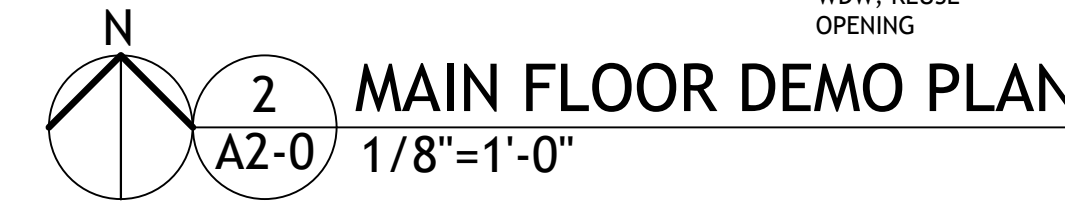


GLAZING SCHEDULE

CONTRACTOR TO VERIFY WDW & DOOR PACKAGE PRIOR TO PLACING ORDER  
ALL DIMENSIONS ARE APPROXIMATE AND TO BE FIELD VERIFIED BY CONTRACTOR  
WDWS ARE MARVIN ULTIMATE U=30, VFY COLOR

HARDWARE IS TO BE DETERMINED, SCREENS TO BE TRUSCENE

NUMBER	MATERIAL	MODEL #	EXT COLOR	INT COLOR	R.O. WIDTH	R.O. HEIGHT	AREA	OPERATION	NOTES
A	MARVIN ULTIMATE		SUEDE	PRIMED	112.125	X 58.5	45.55 SF	(2) DBL HUNG + FIXED	MULLED TOGETHER, VFY SIZE, EXIST R.O., SEE ELEV
B	MARVIN ULTIMATE		SUEDE	PRIMED	47	X 24	7.83 SF	SLIDER	VFY SIZE, EXIST R.O.
C	MARVIN ULTIMATE		SUEDE	PRIMED	34	X 34	8.03 SF	SLIDER	VFY SIZE, EXIST R.O.
D	MARVIN ULTIMATE		SUEDE	PRIMED	35.75	X 47	11.67 SF	DBL HUNG	MATCH & ALIGN W/ EXIST WDW 'E'
E	MARVIN ULTIMATE		SUEDE	PRIMED	35.75	X 47	11.67 SF	DBL HUNG	VFY SIZE, EXIST R.O.
F	MARVIN ULTIMATE		SUEDE	PRIMED	48.75	X 47	15.91 SF	(2) DBL HUNG	VFY SIZE, EXIST R.O.
G	MARVIN ULTIMATE		SUEDE	PRIMED	48.75	X 47	15.91 SF	(2) DBL HUNG	VFY SIZE, EXIST R.O.
H	MARVIN ULTIMATE		SUEDE	PRIMED	48.75	X 47	15.91 SF	(2) DBL HUNG	MATCH G
J	MARVIN ULTIMATE		SUEDE	PRIMED	48.75	X 47	15.91 SF	(2) DBL HUNG	MATCH G
K	MARVIN ULTIMATE		SUEDE	PRIMED	35.75	X 47	11.67 SF	1 DBL HUNG	VFY SIZE, EXIST R.O.
L	MARVIN ULTIMATE		SUEDE	PRIMED	30.25	X 48	10.08 SF	DBL HUNG	CUDH-NG2420
M	MARVIN ULTIMATE		SUEDE	PRIMED	30.25	X 48	10.08 SF	DBL HUNG	CUDH-NG2420
N	MARVIN ULTIMATE		SUEDE	PRIMED	31	X 23.625	5.09 SF	AWNING	VFY., OBSCURE GLASS, CUAWN3024
P	MARVIN ULTIMATE		SUEDE	PRIMED	68.875	X 53.625	25.65 SF	OX	MULLED TOGETHER, VFY SIZE, EXIST R.O. WIDTH, CUCA2854 E @ EGRESS CASEMENT
Q	MARVIN ULTIMATE		SUEDE	PRIMED	94.125	X 53.625	35.05 SF	OX	MULLED TOGETHER, VFY SIZE, EXIST R.O. WIDTH, CUCA2854 E @ EGRESS CASEMENT
R	MARVIN ULTIMATE		SUEDE	PRIMED	70.25	X 53.625	26.16 SF	OX	MULLED TOGETHER, VFY SIZE, EXIST R.O. WIDTH, CUCA2854 E @ EGRESS CASEMENT
S	VELUX	FCM2246	NA	NA	24	X 44.125	7.35 SF	SKYLIGHT	FIXED, VFY SIZE, EXIST R.O.
T	VELUX	FCM2246	NA	NA	24	X 44.125	7.35 SF	SKYLIGHT	FIXED, VFY SIZE, EXIST R.O.
V	VELUX	FCM2246	NA	NA	24	X 44.125	7.35 SF	SKYLIGHT	E
W	VELUX	FCM2246	NA	NA	24	X 44.125	7.35 SF	SKYLIGHT	E
Y	VELUX	FCM2246	NA	NA	22.5	X 46.5	7.27 SF	SKYLIGHT	FIXED, VFY SIZE.
Z	SOLATUBE	290 DS	NA	NA	14.75 DIA			SOLATUBE	FIXED, VFY SIZE.



NOTE:  
DIMENSIONS SHOWN ARE ONLY FOR EXIST. WALL LENGTH MOD. CALCULATION. SEE A2-1, ETC. FOR CONSTRUCTION DIMENSIONS.

9077 REGISTERED ARCHITECT  
SHERI LYNN NEWBOLD  
STATE OF WASHINGTON

live work play  
sustainable architecture interior design

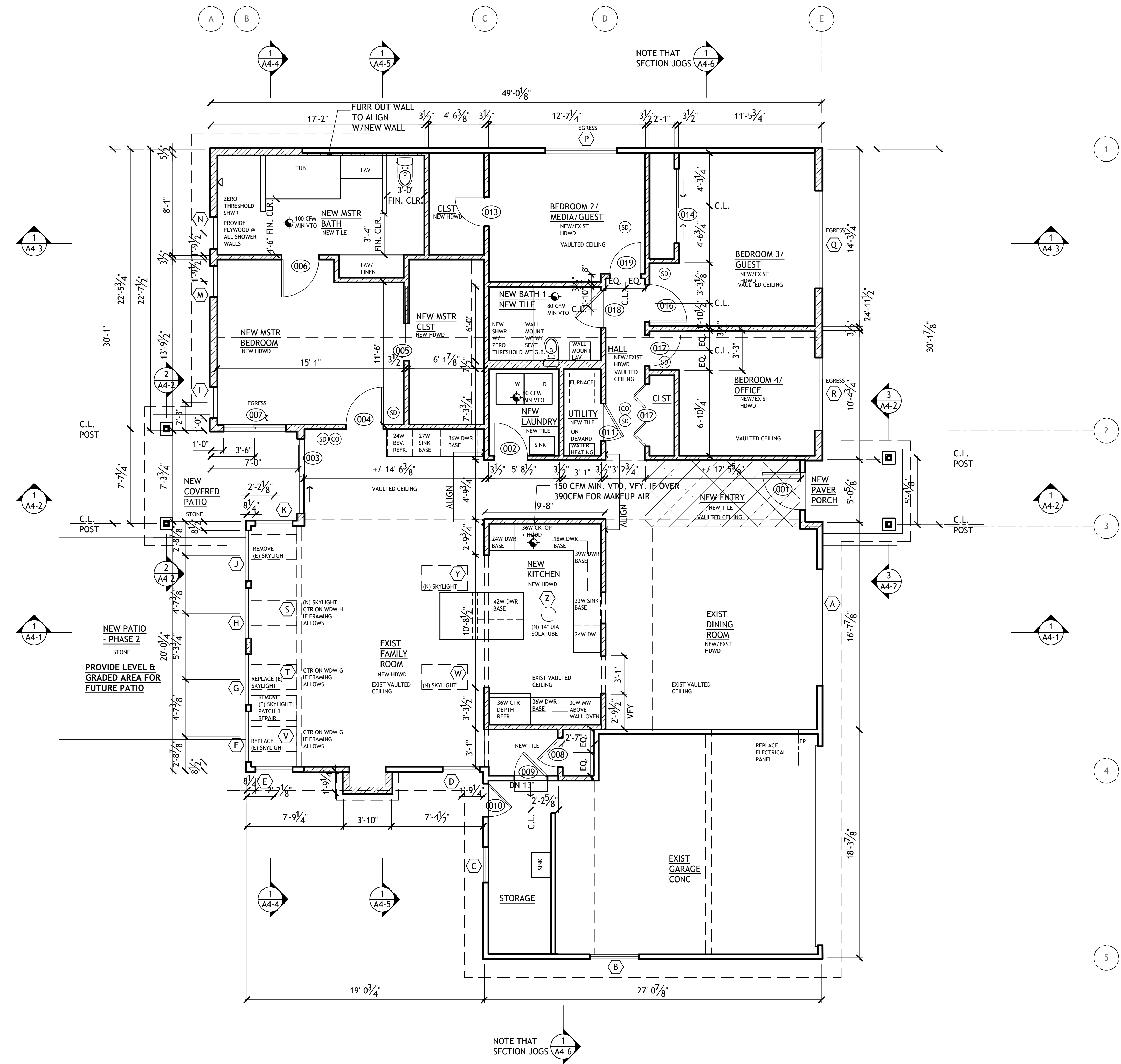
live-work-play  
9231 Evanston Avenue N  
Seattle WA 98103  
206 726 0077  
sheri@live-work-play.net  
live-work-play.net

**PERMIT**  
 energy notes, demo plans, schedule  
 whitney-gedeon residence  
 4219 91st avenue SE mercer island, wa 98040

these drawings, as instruments of service, are the property of live-work-play

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07/25/19	SEND TO ENGR
06/04/19	BUDGETING

**A2-0**



- FLOOR PLAN NOTES**
1. ALL DIMS ARE TO FACE OF STUD UNLESS NOTIFIED OTHERWISE (U.N.O.)
  2. ALL HEADERS TO BE INSULATED TO R-10 MIN.
  3. ALL WDWS & DOORS TO BE FLASHED W/ FORTIFIBER HIGH-PERFORMANCE FLASH'G SYSTEM W/ CORNER GUARDS PER MFR OR OSI (FORMERLY WINTEQ) FLASH'G SYSTEM W/ SILL PAN PER MFR, TYP. ANY SUBSTITUTION TO BE VERIFIED IN WRITING.
  4. USE LOW OR NO VOC ADHESIVES/ SEALANTS.
  5. ALL WALL TO BE FILLED W/ INSUL AS NOTED, & TO BE COMPLETELY FILLED- NO GAPS. ALL OPENED EXIST WALLS TO BE FILLED W/ R-13 BATTS.
  6. AIRSEALING PER OR BEYOND CODE.
  7. SEE STRUCTURAL NOTES FOR ADDITIONAL INFO.

- SMOKE DETECTORS: (SD)**
- ALL SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH SRC R314.
- SRC 314.2.2 DWELLING UNIT IS REQUIRED TO INSTALL SMOKE ALARMS AS REQUIRED FOR NEW CONSTRUCTION AND BE HARDWIRED AND INTERCONNECTED.
- SRC 314.3.4 SMOKE ALARM LOCATION TO BE AT LEAST 3 FEET HORIZONTALLY FROM BATHROOM DOORS TO BATHROOMS WITH TUBS OR SHOWERS.
- CARBON MONOXIDE DETECTORS: (CO)**
- CARBON MONOXIDE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH SRC R315.

M1506.3 EXHAUST OPENINGS. AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM PROPERTY LINES; 3 FEET FROM OPERABLE AND NON OPERABLE OPENINGS INTO THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES EXCEPT WHERE THE OPENING IS LOCATED 3 FEET ABOVE THE AIR INTAKE. OPENINGS SHALL COMPLY WITH SECTIONS R303.5.2 AND R303.6.

- ELECTRICAL/ LIGHTING NOTES**
1. ELECTRICAL PANEL TO BE REPLACED.
  2. ASSUME ALL WIRING TO BE REPLACED.
  3. ALL NEW LIGHTING IN ALL ROOMS TO BE ADDED. AT PUBLIC SPACES AND MASTER BEDROOM, ASSUME MULTIPLE LIGHT FIXTURES PER SPACE AND UNDERCABINET LIGHTING AT THE KITCHEN.
  4. ALL LIGHTING WILL BE DEDICATED LED FIXTURES OR HAVE LED LAMPING.

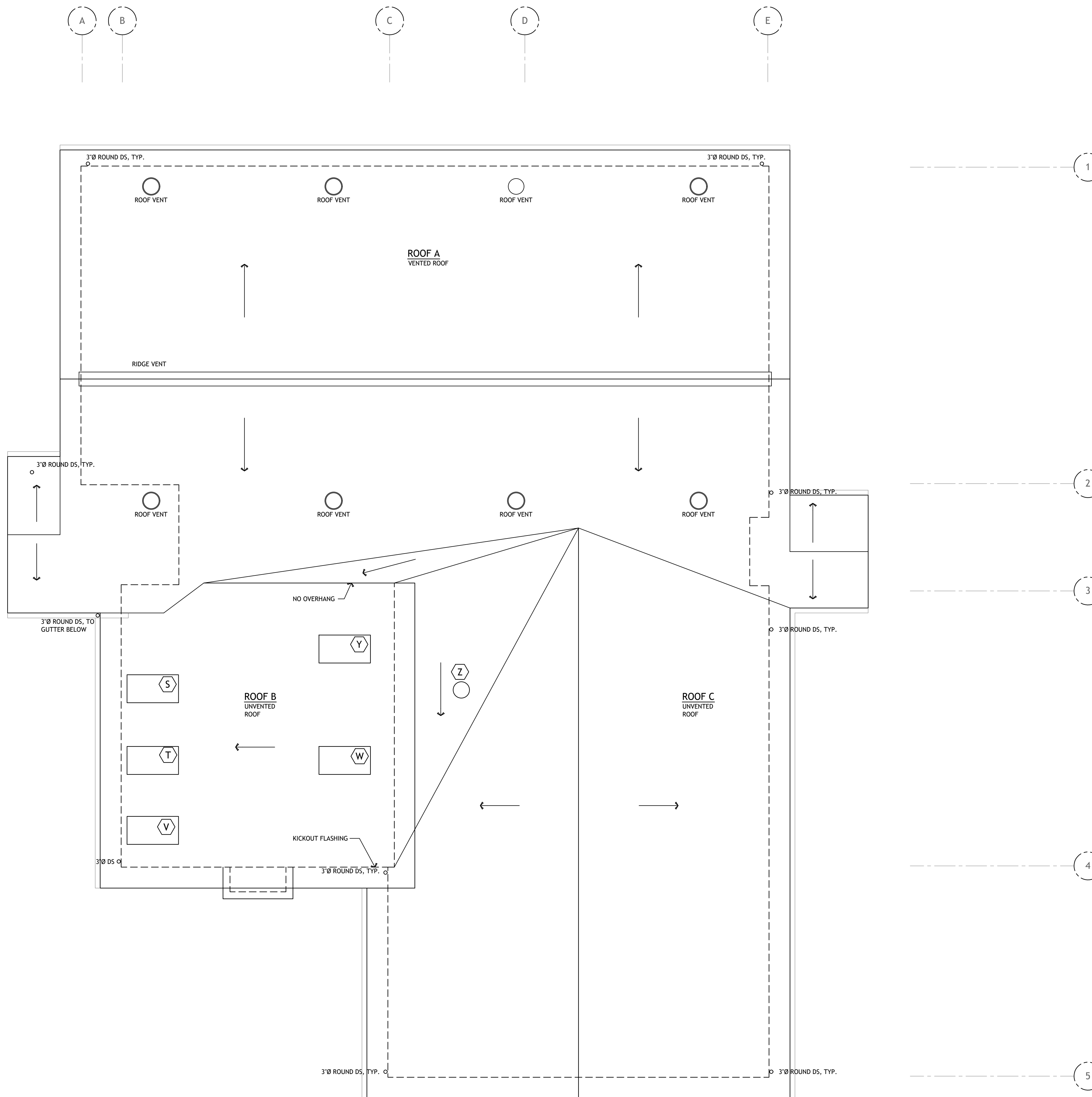
- PLUMBING NOTES**
1. ALL ROUGH PLUMBING TO BE REPLACED EVEN IF A TRIM IS NOT BEING REPLACED.
  2. VERIFY IF WATER LINE NEEDS TO BE REPLACED FROM METER TO HOUSE.
  3. KITCHEN AND ALL NEW/ REMODELED BATHROOMS WILL HAVE KOHLER/ GROHE/ HANSGRÖHE FIXTURES.
  4. SEE PLANS FOR ANY FURTHER NOTES.

1 MAIN FLOOR PLAN  
 1/4" = 1'-0"

these drawings, as instruments of service, are the property of live-work-play

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A2-1



**ROOF VENTILATION CALCULATION**

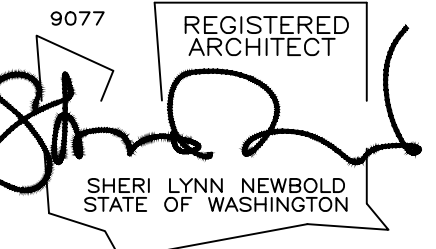
**ROOF A - 1677.0 SF**  
 1677.0 SF / 150 SF = 11.18 SF  
 11.18 SF X 144 = 1609.92 SQ IN NFVA

UPPER VENTING RIDGE VENT (536.64 MIN)  
 EZ VENT-N-CLOSURE, 12 SQ IN NFVA PER  
 LINEAR FOOT  
 52 FT RIDGE \* 12 = 624 SQ IN

LOWER VENTING NORTH (536.64 MIN)  
 (4) AIRVENT B-144 METAL DOME VENTS,  
 144 SQ IN EACH.  
 144 \* 4 = 576 SQ IN

LOWER VENTING SOUTH (536.64 MIN)  
 (4) AIRVENT B-144 METAL DOME VENTS, 144  
 SQ IN EACH.  
 144 \* 4 = 576 SQ IN

**1 ROOF PLAN**  
 A2-2 1/4" = 1'-0"



sustainable  
architecture  
interior design

live-work-play  
 9231 Evanston Avenue N  
 Seattle WA 98103

206 726 0077  
 sheri@live-work-play.net  
 live-work-play.net

**PERMIT**

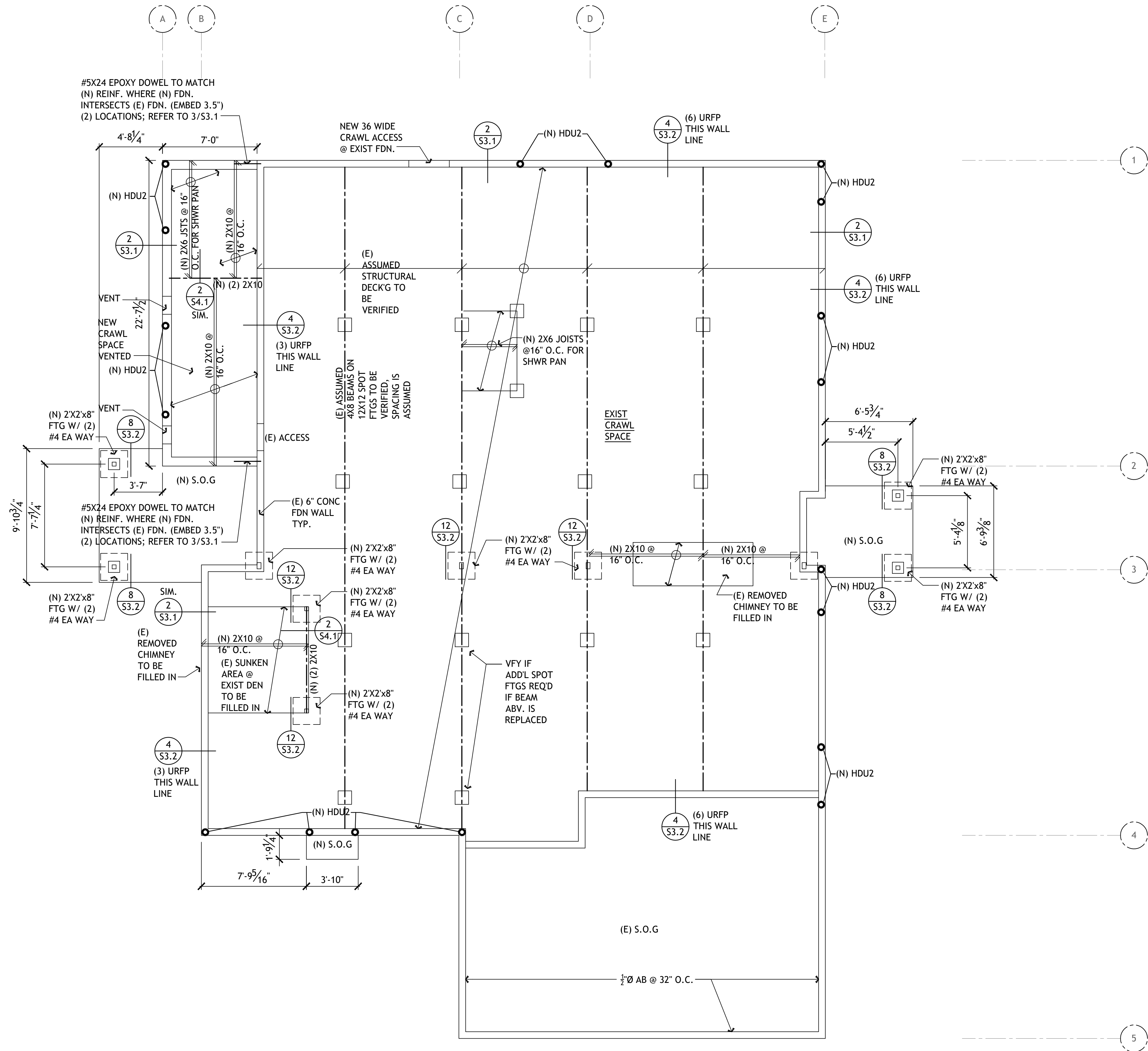
roof plan

**whitney-gedeon residence**  
 4219 91st avenue SE mercer island, wa 98040

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 are the property of live-work-play

09/24/19	PERMIT SUBMIT
09/12/19	ENG BK CHECK
07/25/19	SEND TO ENGR
06/04/19	BUDGETING

**A2-2**



**CRAWL SPACE VENTING:**

1 SF/300 SF  
 NORTHWEST ADDITION: 134.8 SF  
 AREA/300 = .45 SF = 64.7 SQ IN  
 (1) VENT @ 100 SQ IN

EXISTING: 2045.1 SF  
 AREA/300 = 6.82 SF = 981.65 SQ IN  
 (10) VENTS @ 100 SQ IN

VFY (10) VENTS TOTAL @ EXIST FDN

- FOUNDATION PLAN NOTES**
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).
  - REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
  - ALL FOOTINGS SHALL BEAR ON FIRM, NATIVE SOIL.
  - PROVIDE DRAINAGE BEHIND ALL FOUNDATION WALLS.
  - REINFORCE FOOTING AND WALL CORNERS AND INTERSECTIONS PER 11/S3.1.
  - "HDUx" REFERS TO HOLDDOWNS PER 9/S3.1
  - REFER TO 4/S3.1 WHERE PIPES PENETRATE FOUNDATION.
  - CONTRACTOR TO VERIFY TOP OF FOOTING ELEVATION w/ ARCHITECTURAL PLANS.
  - FLOOR FRAMING AT CRAWLSPACE TO BE 2x10 @ 16" O.C. U.N.O.
  - FLOOR SHEATHING SHALL BE 3/4" T&G PLYWOOD SHEATHING WITH 48/24 SPAN RATING. NAIL FRAMED PANEL EDGES w/ 8D COMMON (0.131" DIA. X 2 1/2") @ 6" O.C., FIELD @ 12" O.C. (REFER TO 9/S4.1)
  - CRAWLSPACE VENTILATION SHALL BE PROVIDED PER ARCH.

**PERMIT**  
 fdn/floor framing plan  
 whitney-gedeon residence  
 4219 91st avenue SE mercer island, wa 98040

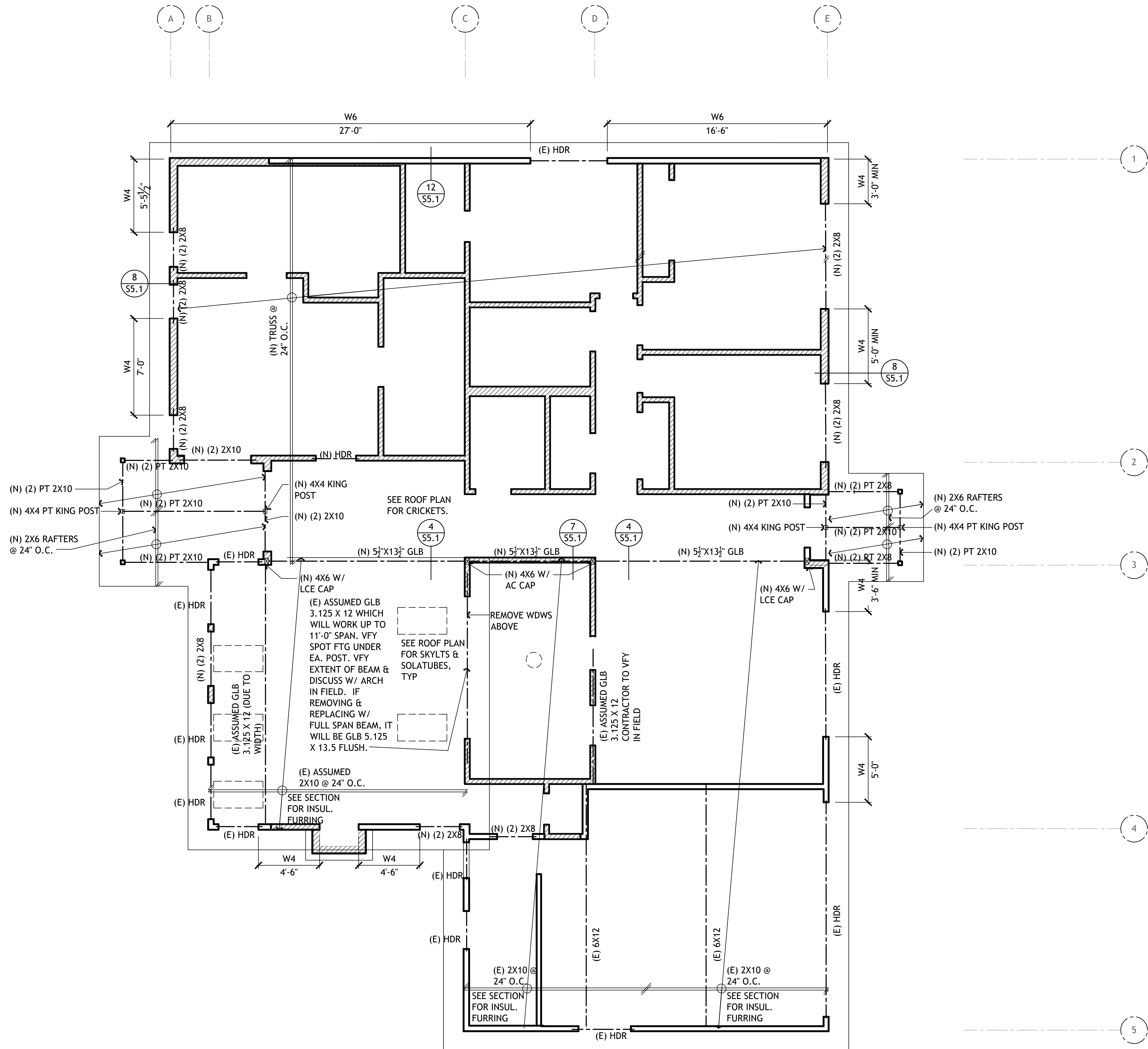
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07/25/19	SEND TO ENGR
06/04/19	BUDGETING

**A2-3**

1  
 A2-3  
 EXIST FDN & MAIN FLR FRAMING PLAN  
 1/4" = 1'-0"





- ROOF PLAN NOTES**
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1)
  - REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
  - NEW ROOF FRAMING SHALL BE PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C. (TRUSS DESIGN BY OTHERS U.N.O.).
  - NEW ROOF SHEATHING SHALL BE 4/8" CDX PLYWOOD SHEATHING WITH 40/20 SPAN RATING. NAIL FRAMED PANEL EDGES W/8d COMMON (0.131" Dia. X 2 1/2") @ 6" O.C., FIELD @ 12" O.C. (REFER TO 9/54.1)
  - "W#" REFERS TO SHEARWALL TYPE PER 3/54.1 & 7/54.1. ALL OTHER NEW NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(X-X)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
  - ALL HEADERS AT ROOF NOT NOTED OTHERWISE ON PLAN SHALL BE (2) 2x8. (REFER TO DETAIL 6/54.1)
  - PROVIDE TOP PLATE SPLICES PER 5/54.1
  - WHERE OVERFRAMING IS INDICATED, OVERFRAME WITH 2x6 @ 24" O.C. w/4'-0" MAX SPAN. (REFER TO DETAIL 11/55.1 FOR CONNECTION OF OVERFRAMING TO PRIMARY ROOF)
  - REFER TO 11/54.1 AT SHEARWALL INTERSECTIONS.

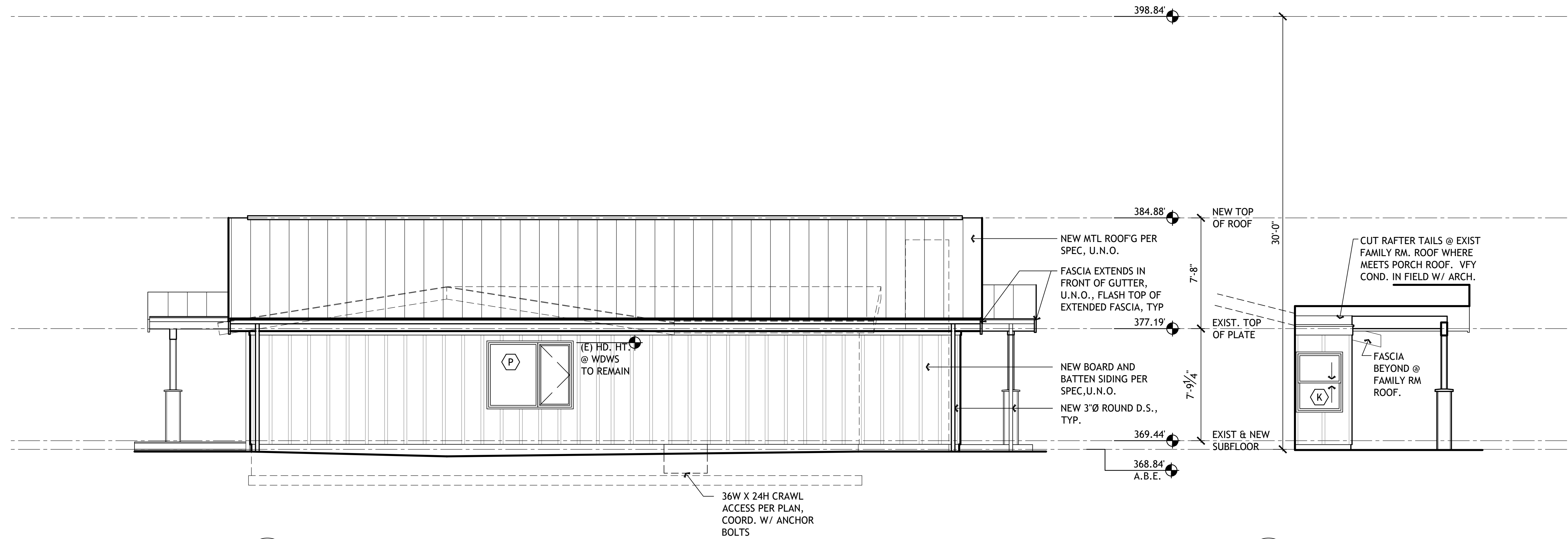
**PERMIT**  
 roof framing plan  
 whitney-gedeon residence  
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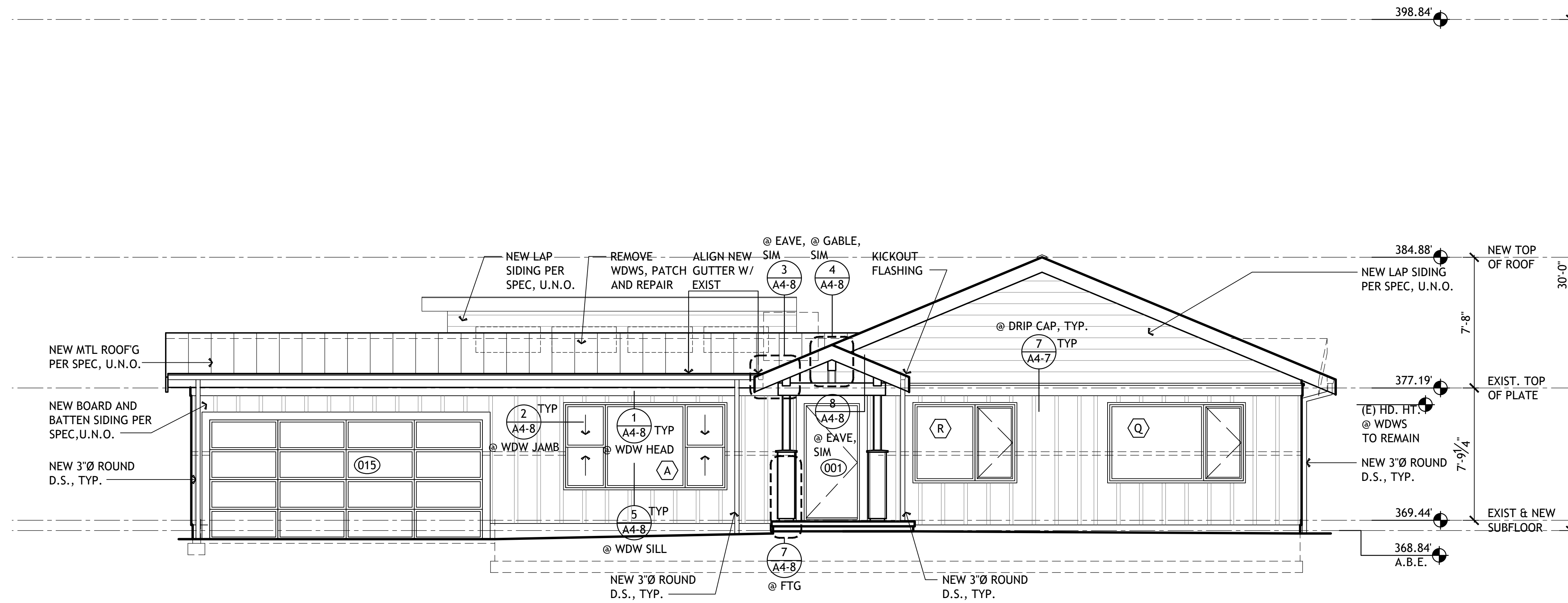
**A2-4**

**1**  
 A2-4  
 EXIST & NEW ROOF FRAMING PLAN  
 1/4" = 1'-0"



1 NORTH ELEVATION  
 A3-1 1/4" = 1'-0"

2 PARTIAL NORTH ELEVATION @ PATIO  
 A3-1 1/4" = 1'-0"



3 EAST (FRONT) ELEVATION  
 A3-1 1/4" = 1'-0"

TYP. SECTION/ ELEVATION NOTES

1. ALL DIMS ARE TO FACE OF STUDS UNLESS NOTIFIED OTHERWISE (U.N.O.)
2. ALL HEADERS TO BE INSULATED TO R-10 MIN W/ RIGID INSULATION.
3. USE LOW OR NO VOC ADHESIVES/ SEALANTS.
4. VERIFY ALL DIMENSIONS WITH EXIST'G CONDITIONS & NOTIFY ARCHITECT OF DISCREPANCY.
5. ALL WALL TO BE FILLED W/ INSUL AS NOTED, & TO BE COMPLETELY FILLED- NO GAPS.
6. ALL NEW, RELOCATED OR UNCOVERED WINDOWS & DOORS TO BE FLASHED W/ FORTIFIBER HIGH-PERFORMANCE FLASH'G SYSTEM W/ CORNER GUARDS PER MFR OR OSI (FORMERLY WINTEQ) FLASH'G SYSTEM W/ SILL PAN PER MFR, TYP. ANY SUBSTITUTION TO BE VERIFIED IN WRITING.
7. PROVIDE ± 8X8 PLINTH BLK PAINTED TO MATCH SIDING @ ALL EXT. LIGHTS, VFY SIZE W/ FIXTURE
8. AIRSEAL PER OR BEYOND CODE.
9. MUST USE PLYWD WHERE SPECIFIED--NO OSB.
10. SEE STRUCT DWGS FOR NOTES IN COMMON & ADDITIONAL INFO.

M1506.3 EXHAUST OPENINGS. AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM PROPERTY LINES; 3 FEET FROM OPERABLE AND NON OPERABLE OPENINGS INTO THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES EXCEPT WHERE THE OPENING IS LOCATED 3 FEET ABOVE THE AIR INTAKE. OPENINGS SHALL COMPLY WITH SECTIONS R303.5.2 AND R303.6.

PERMIT LARGER SCOPE

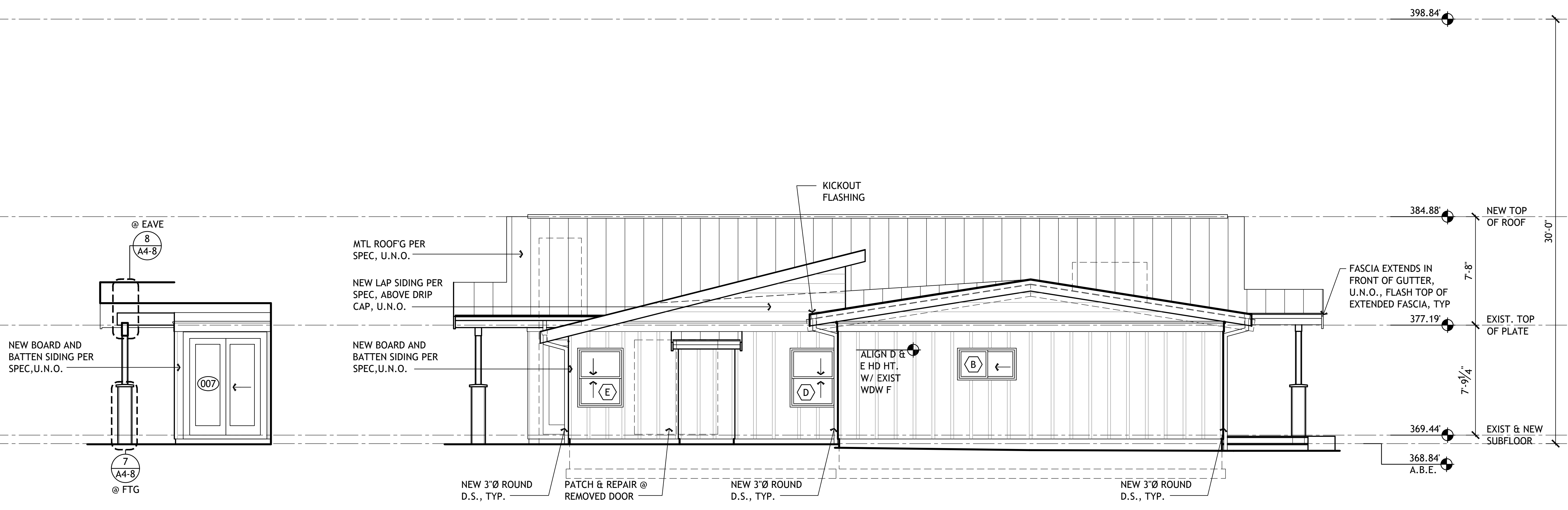
exterior elevations

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A3-1



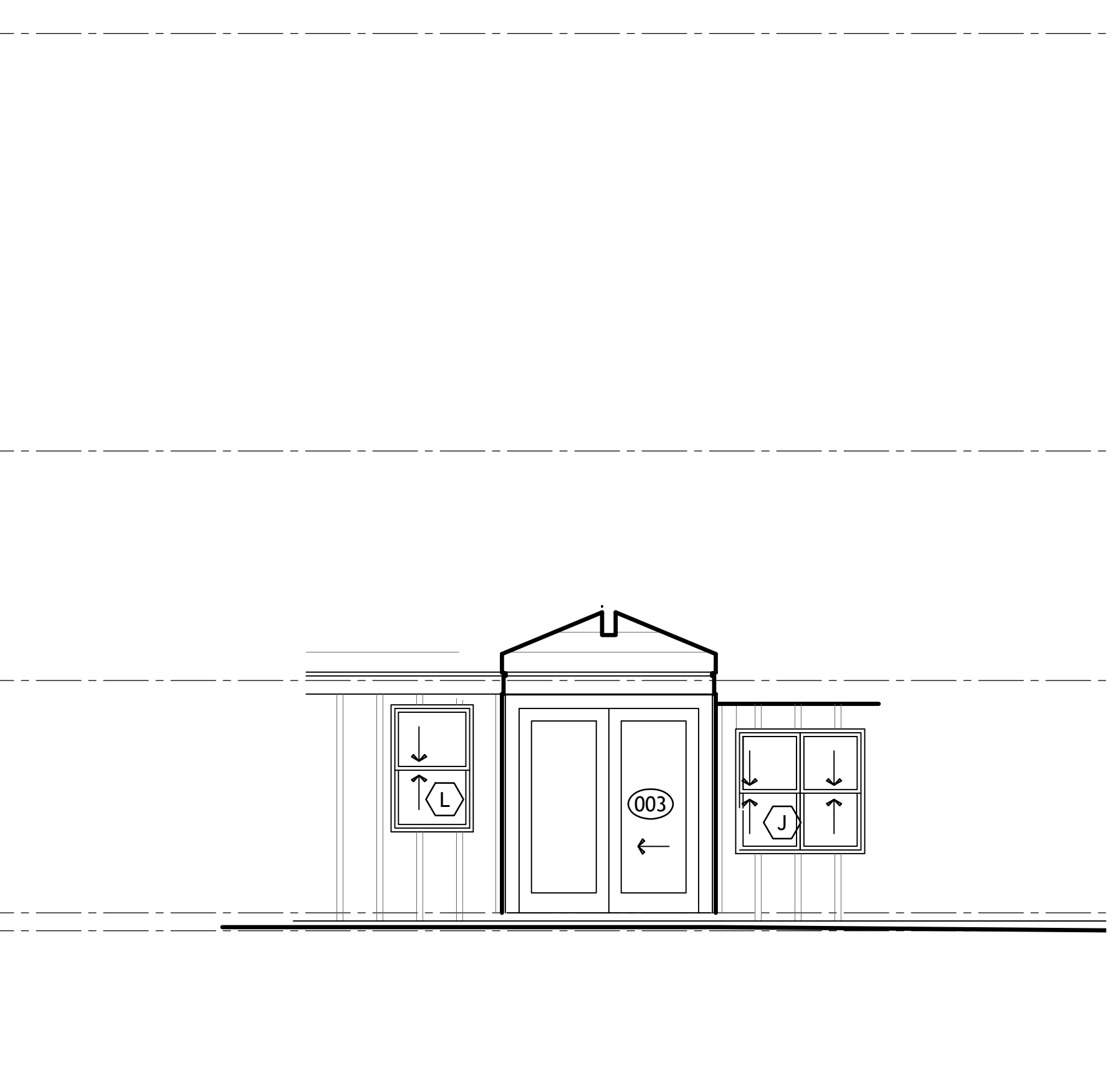
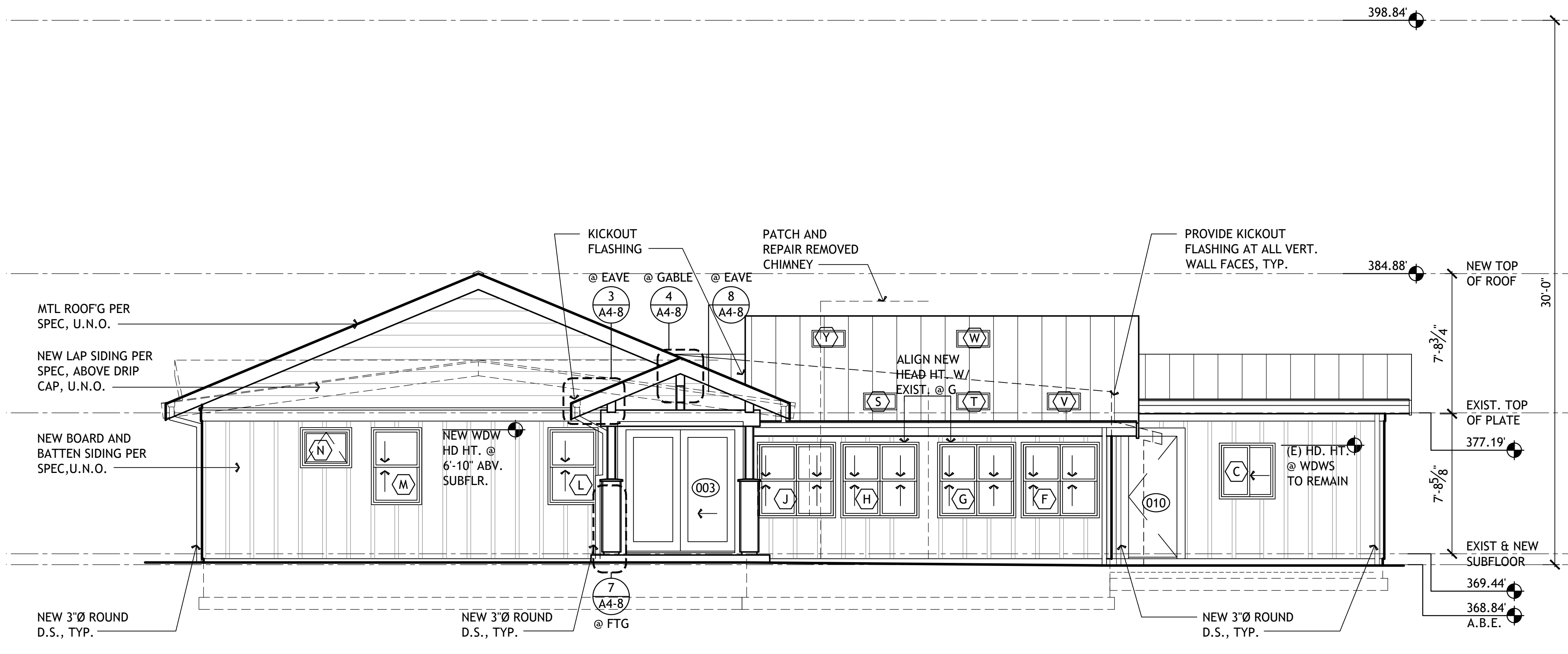
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1 PARTIAL SOUTH ELEVATION @ PATIO  
 A3-2 1/4" = 1'-0"

2 SOUTH ELEVATION  
 A3-2 1/4" = 1'-0"



3 WEST ELEVATION  
 A3-2 1/4" = 1'-0"

4 PARTIAL WEST ELEVATION @ PATIO  
 A3-2 1/4" = 1'-0"

PERMIT LARGER SCOPE

exterior elevations

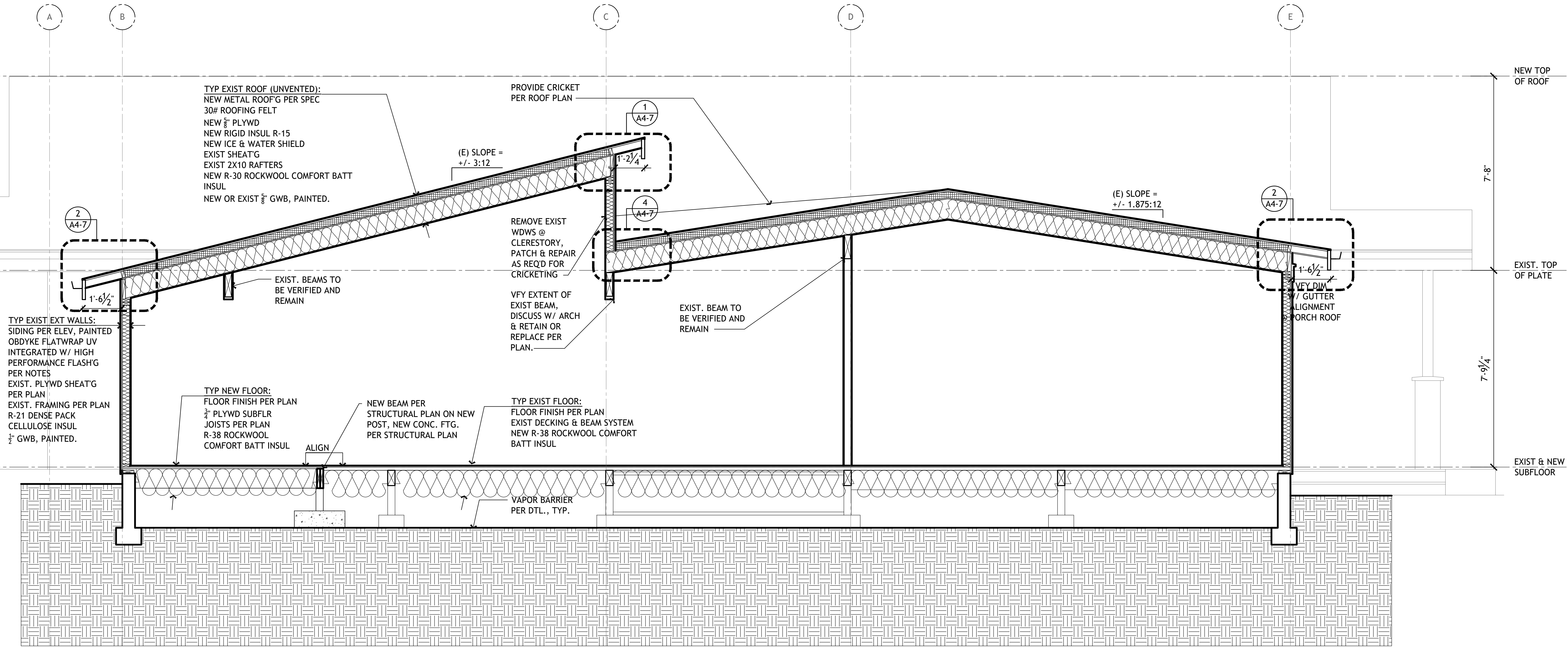
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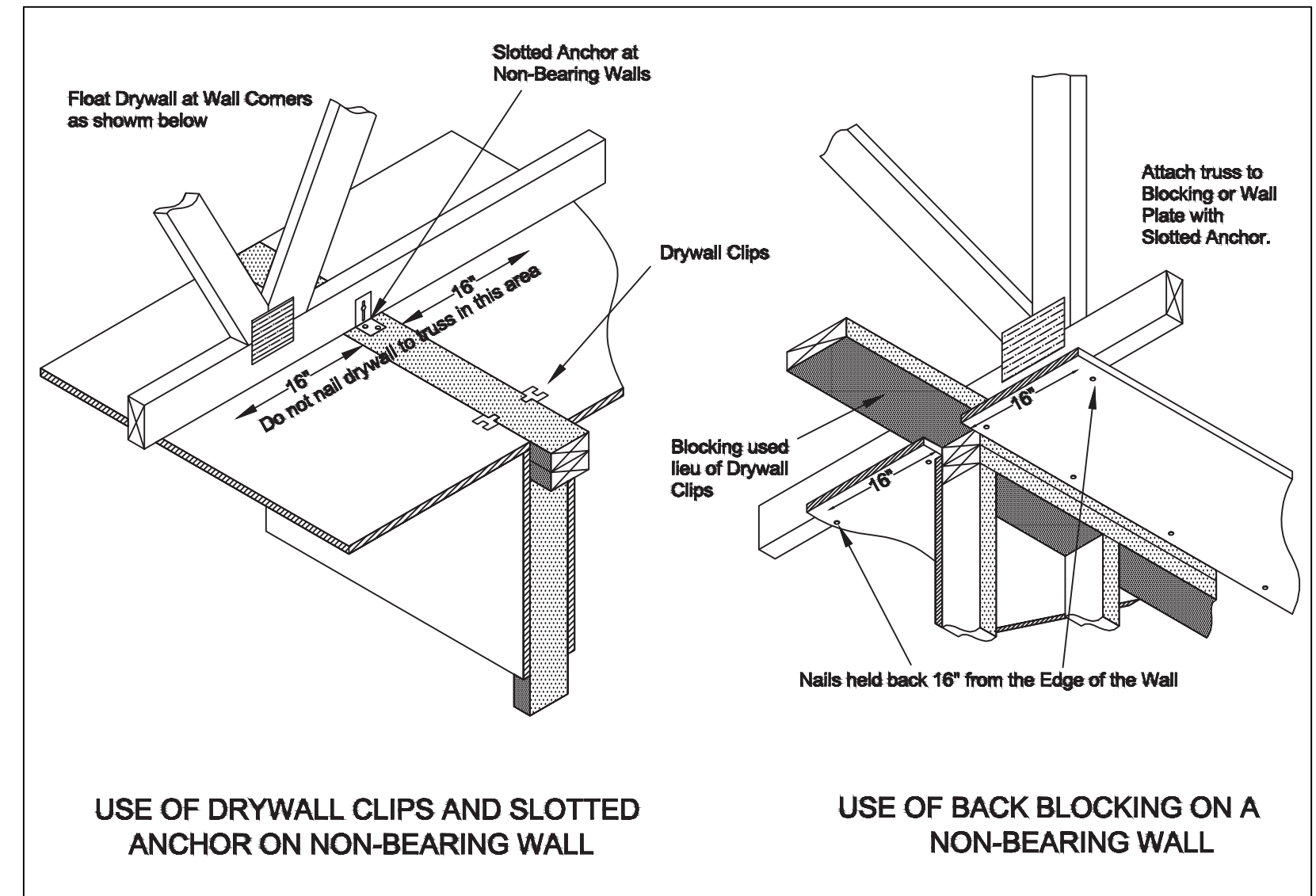
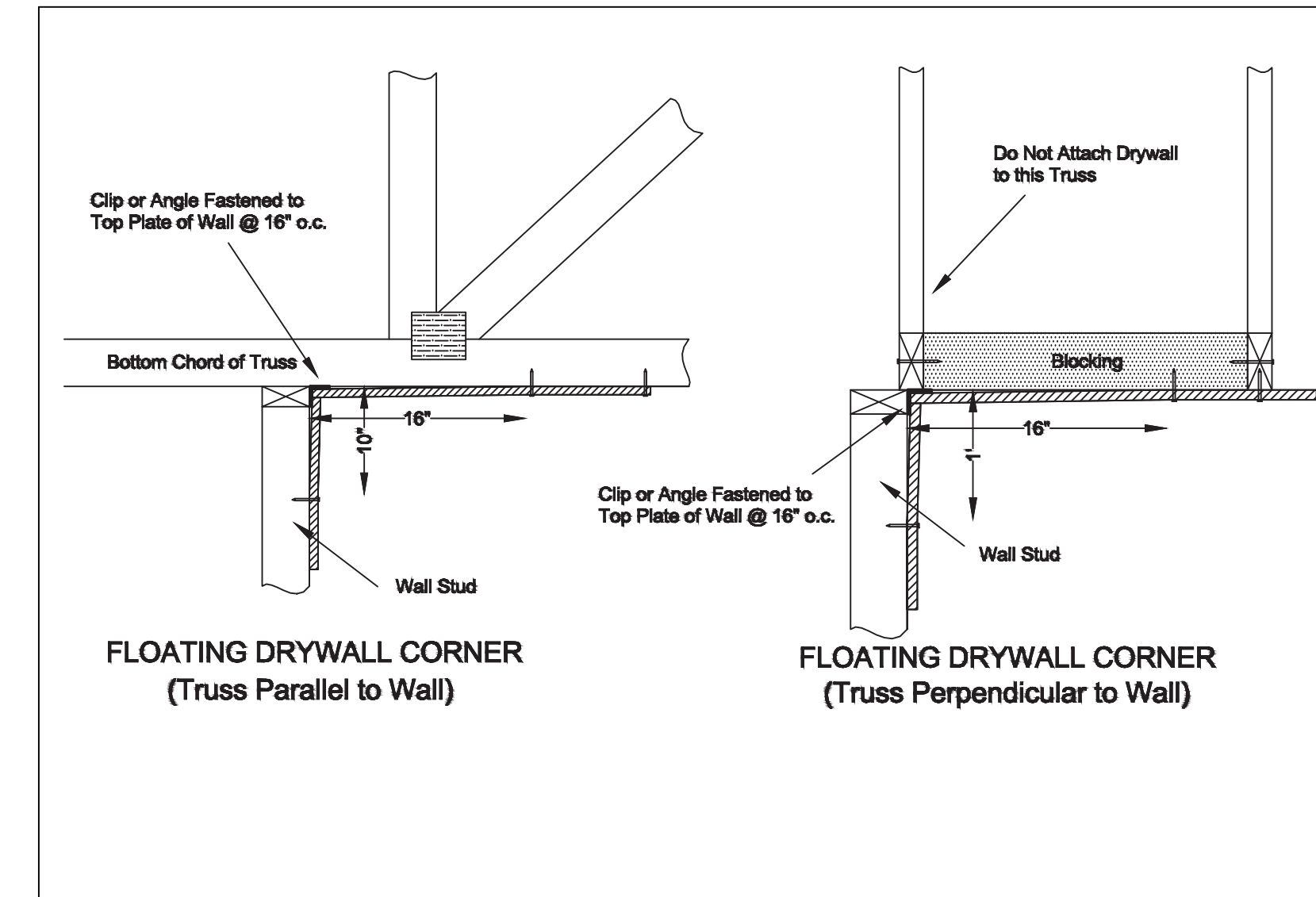
A3-2

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1 SECTION A-A  
 A4-1 1/2" = 1'-0"

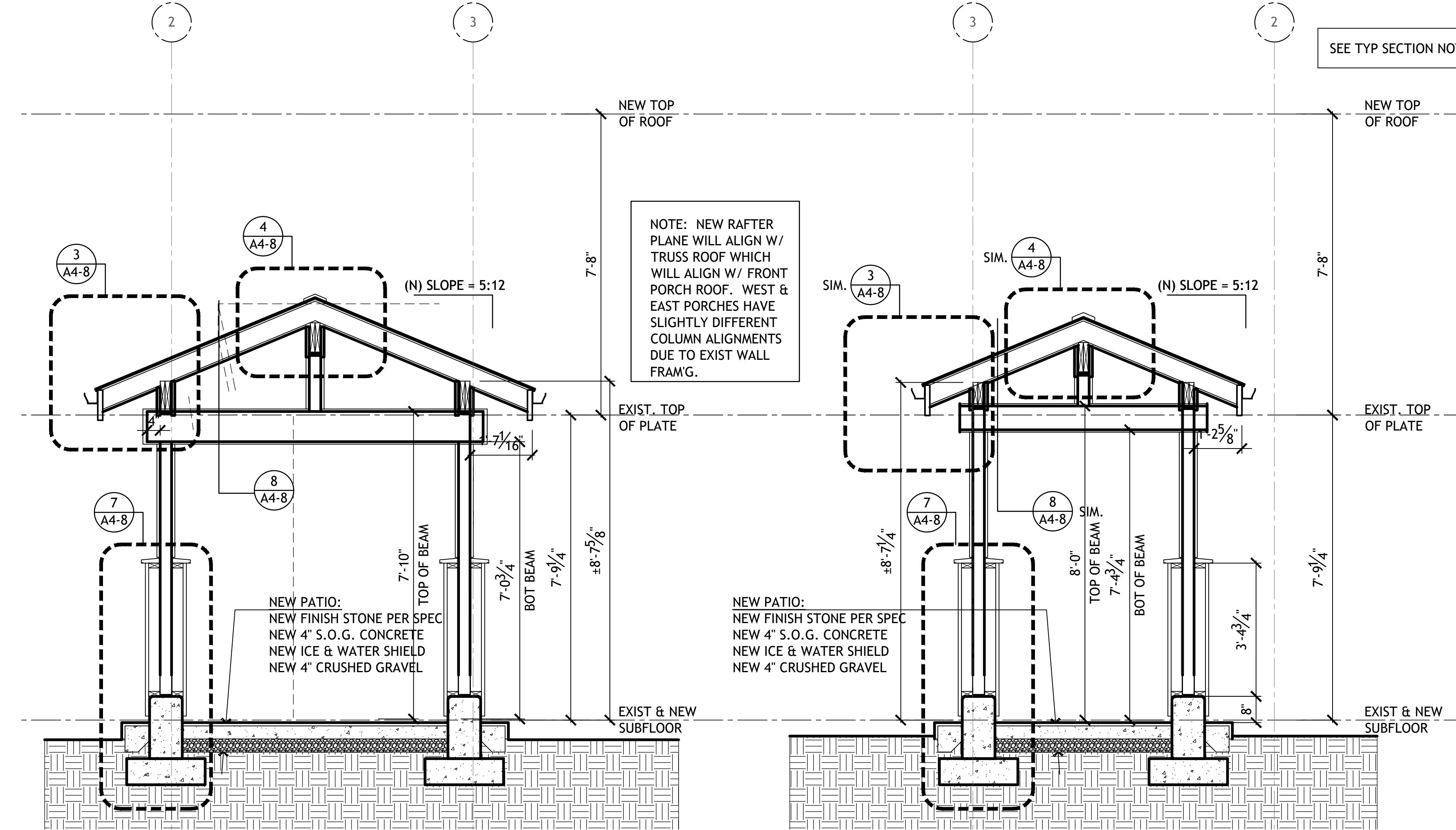
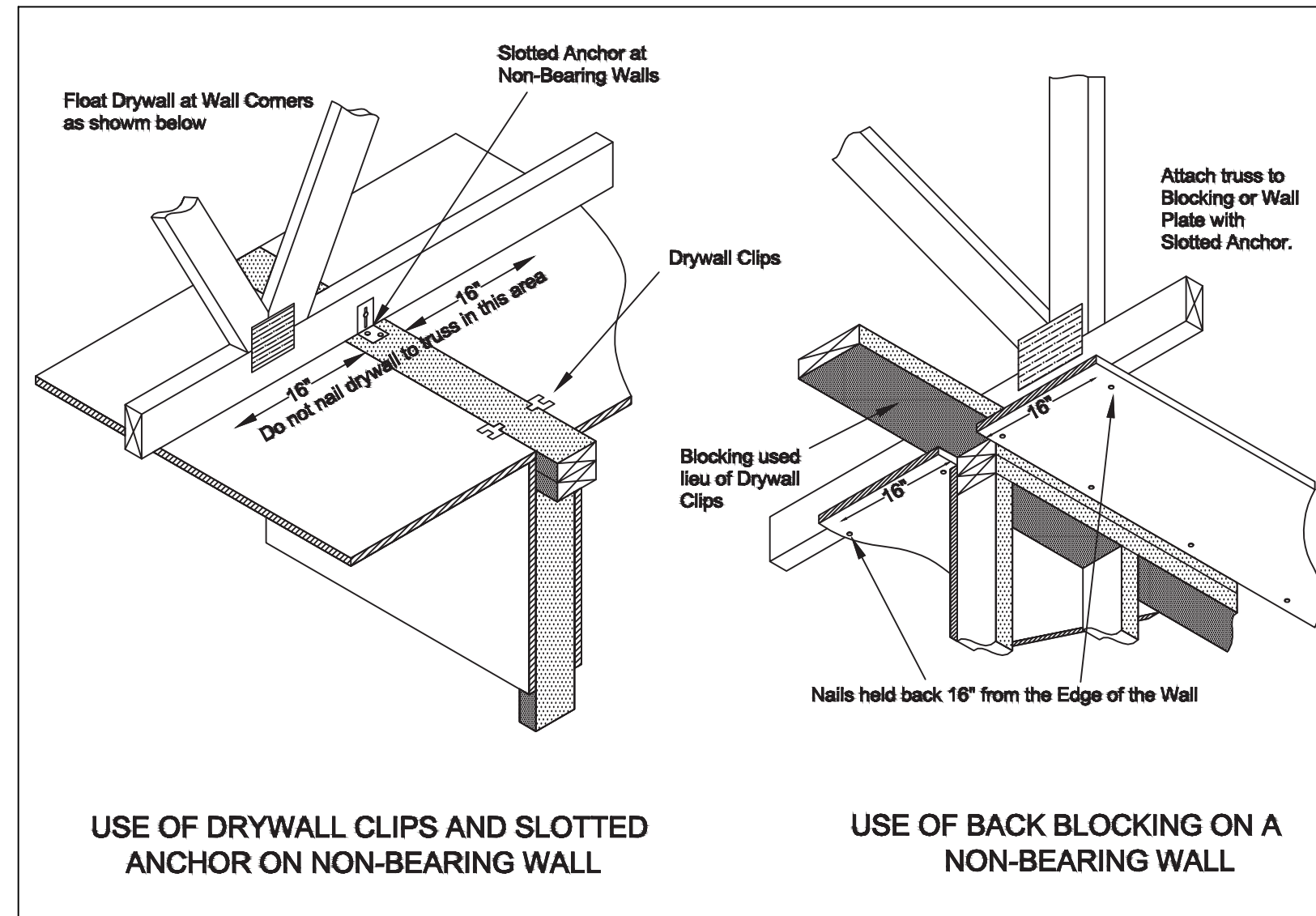
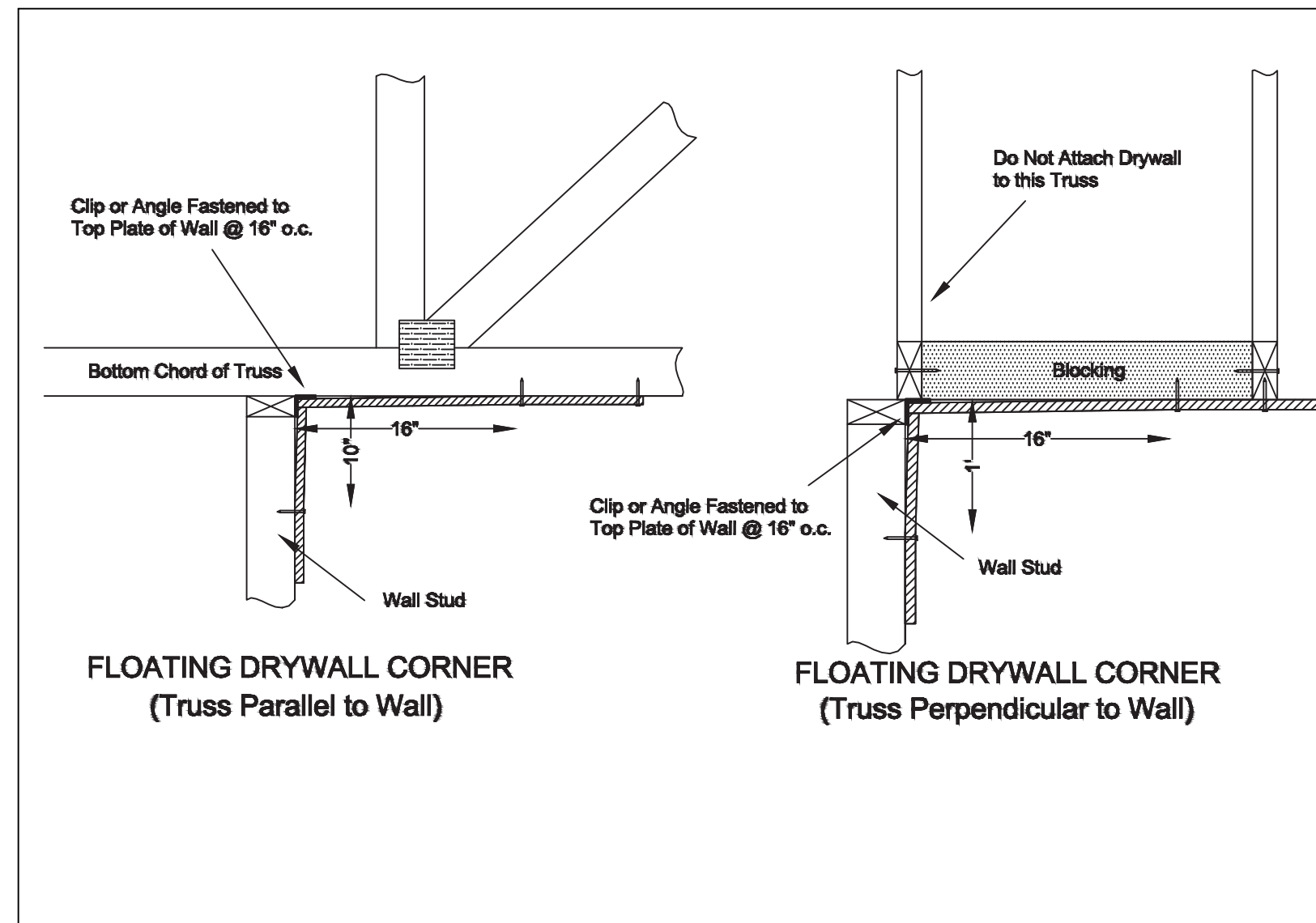
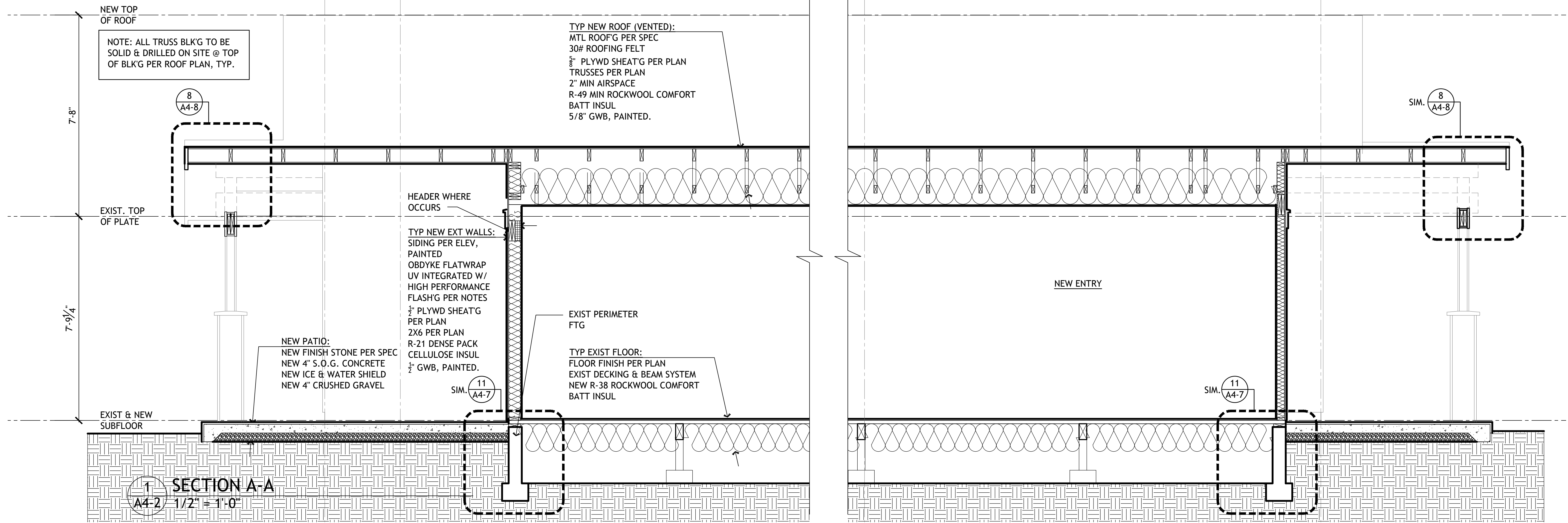
- TYP. SECTION/ ELEVATION NOTES
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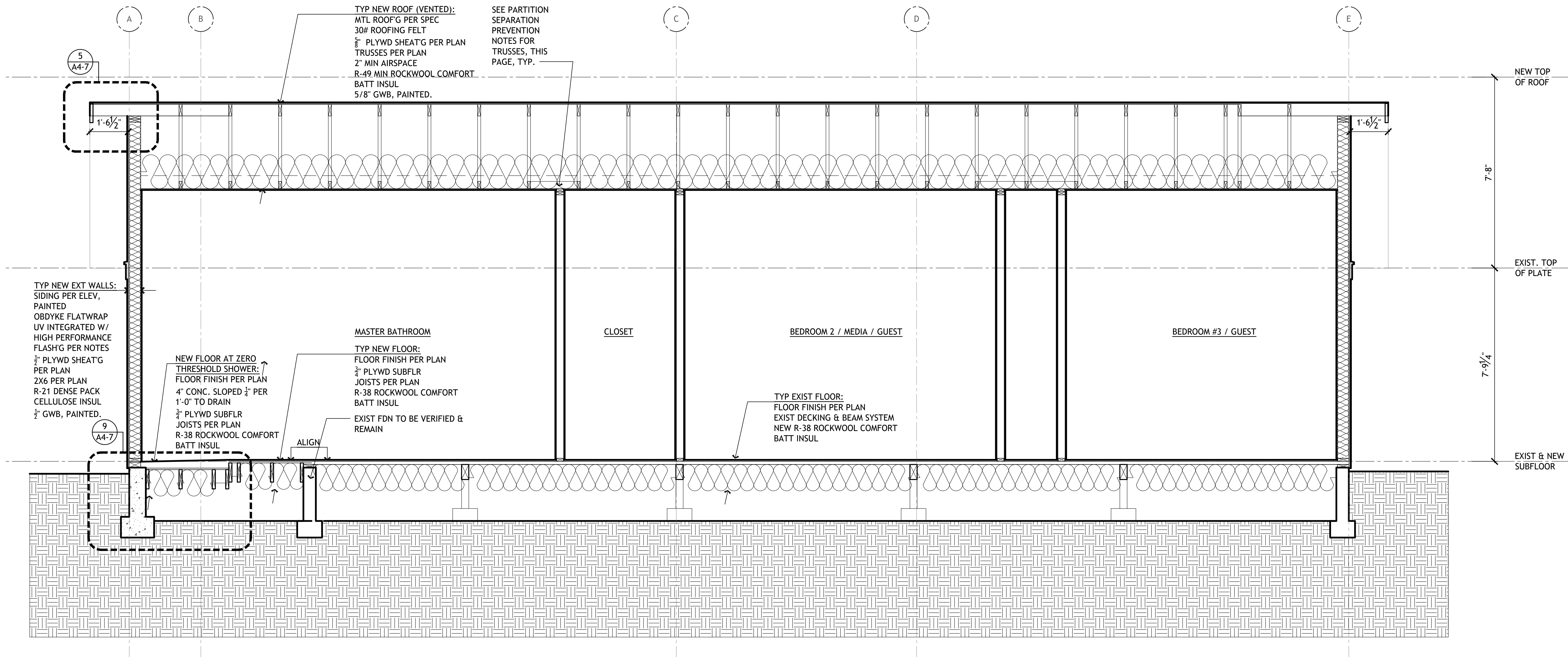


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sections

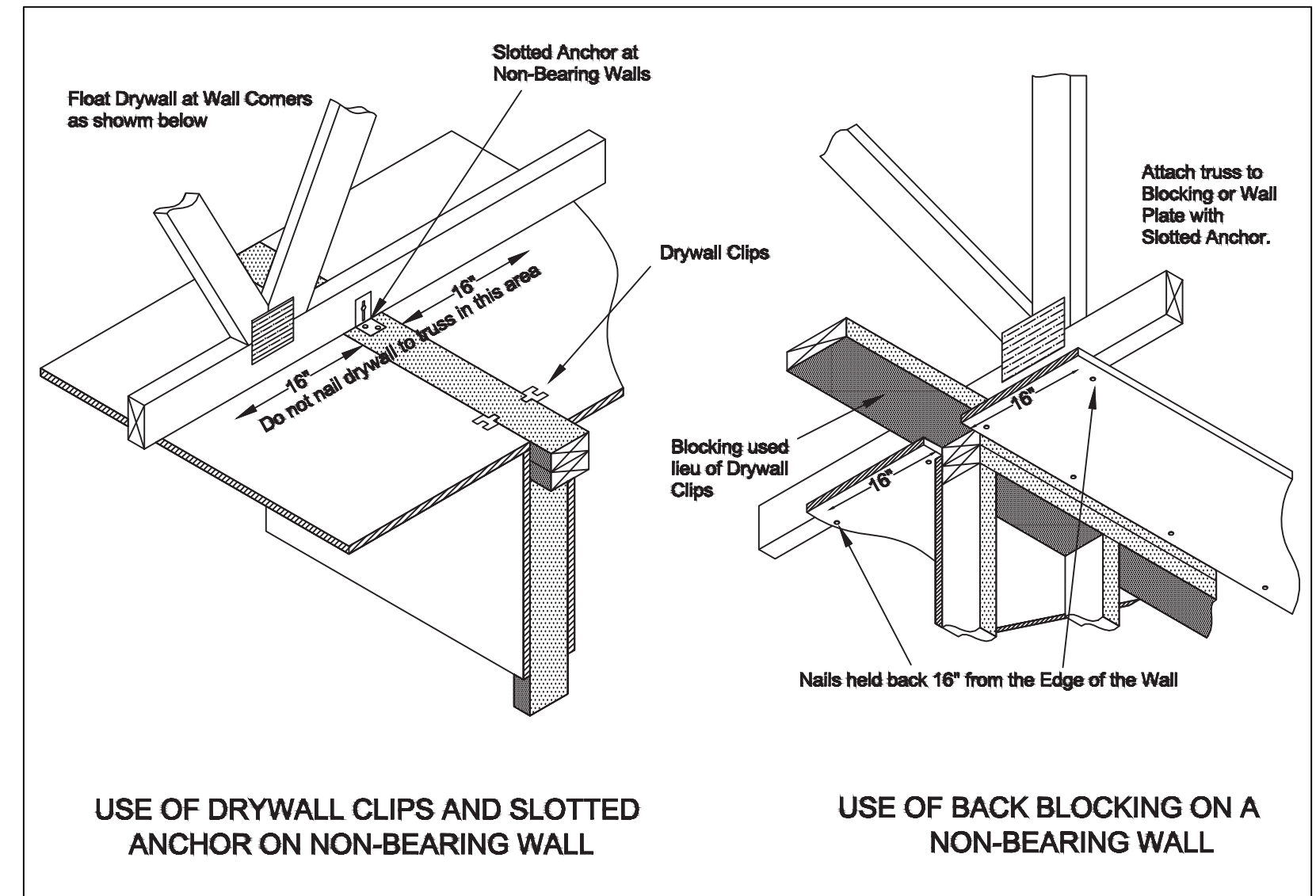
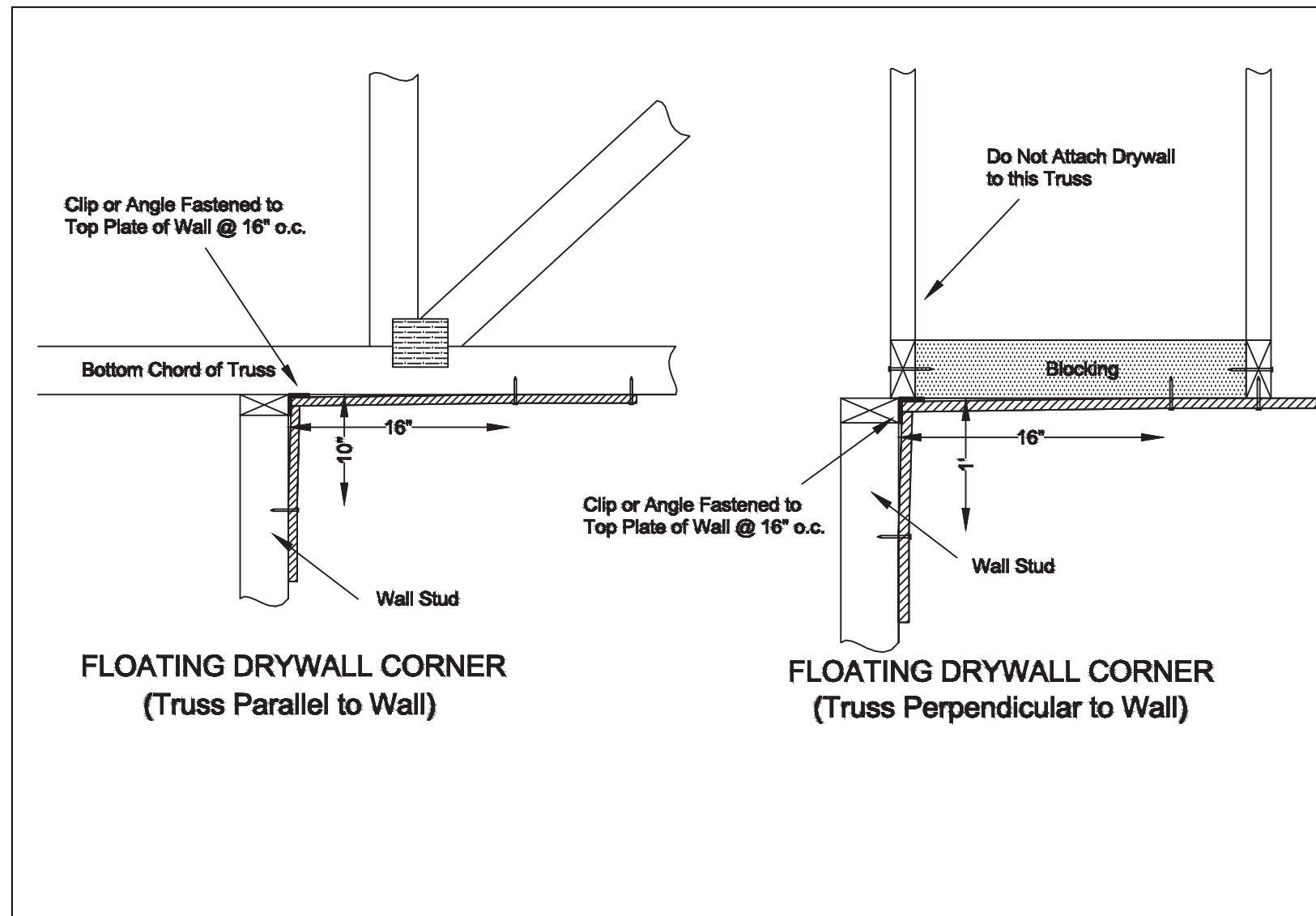
SEE TYP SECTION NOTES A4-1

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06/04/19	BUDGETING



1 SECTION A-A  
A4-3 1/2" = 1'-0"

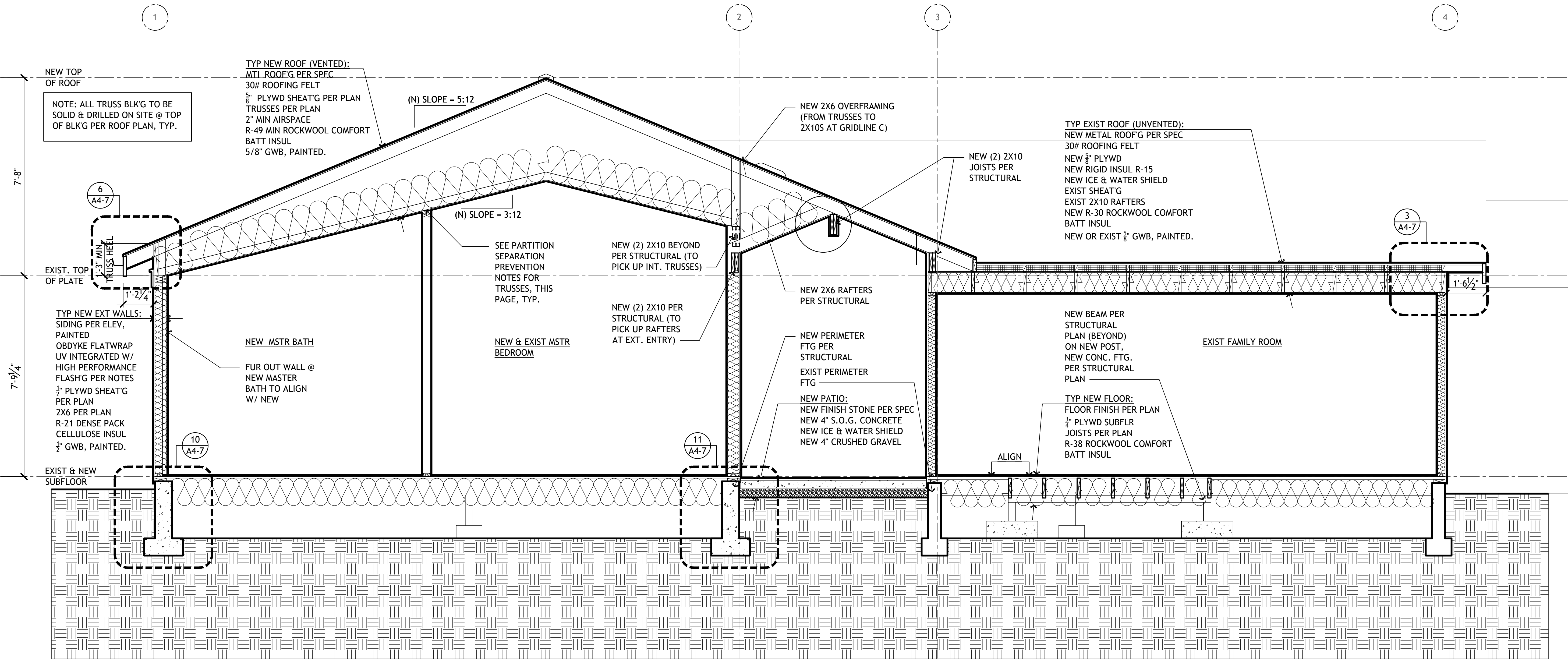
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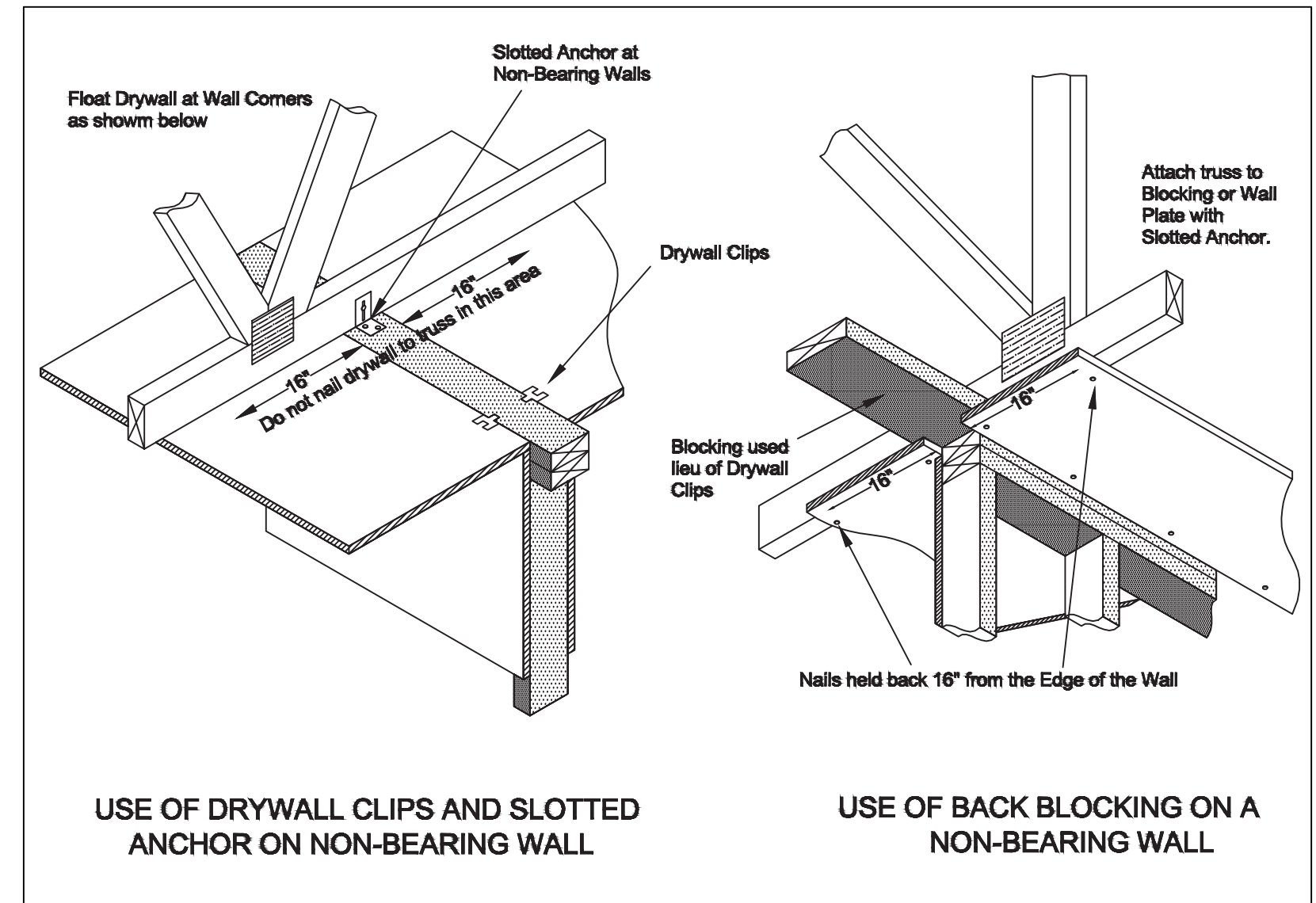
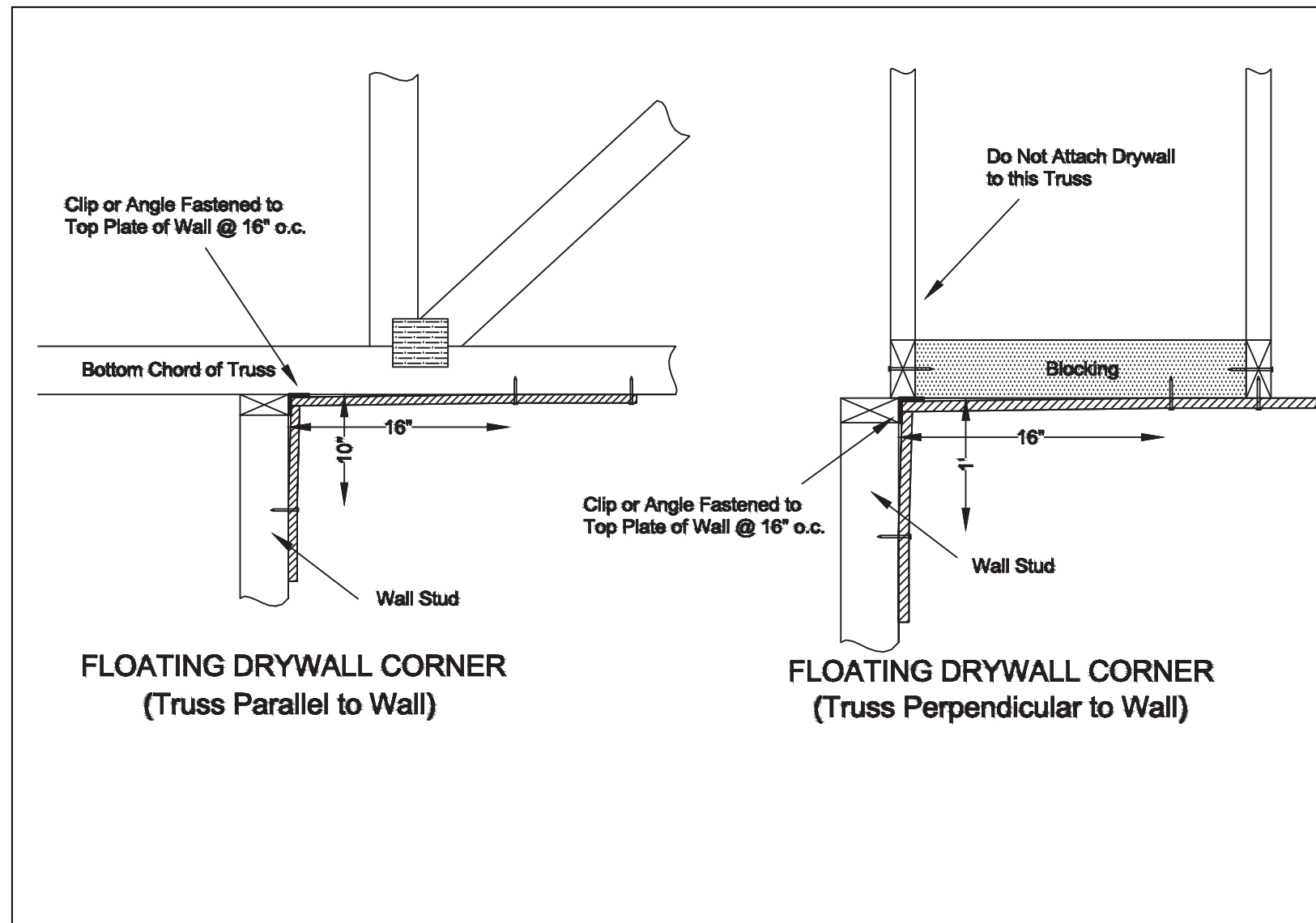
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1 SECTION A-A  
 A4-4 1/2" = 1'-0"

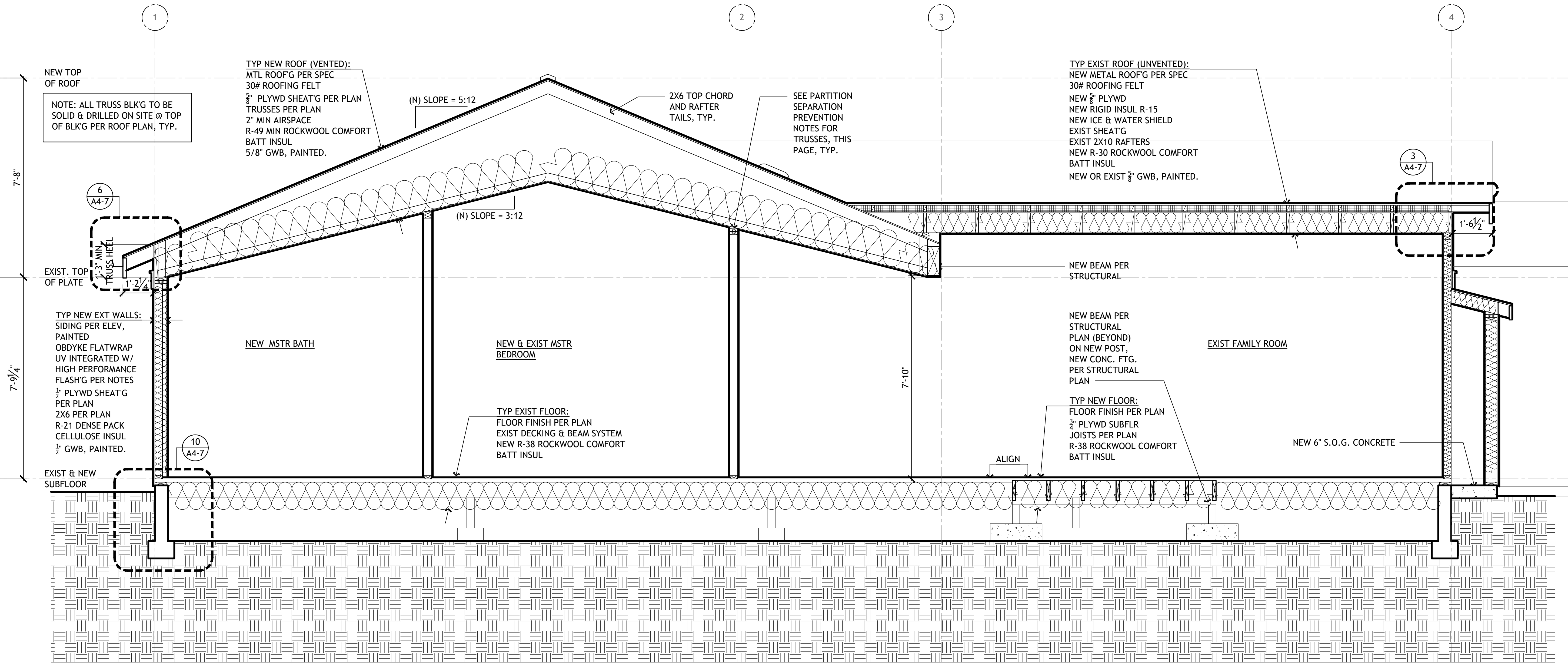
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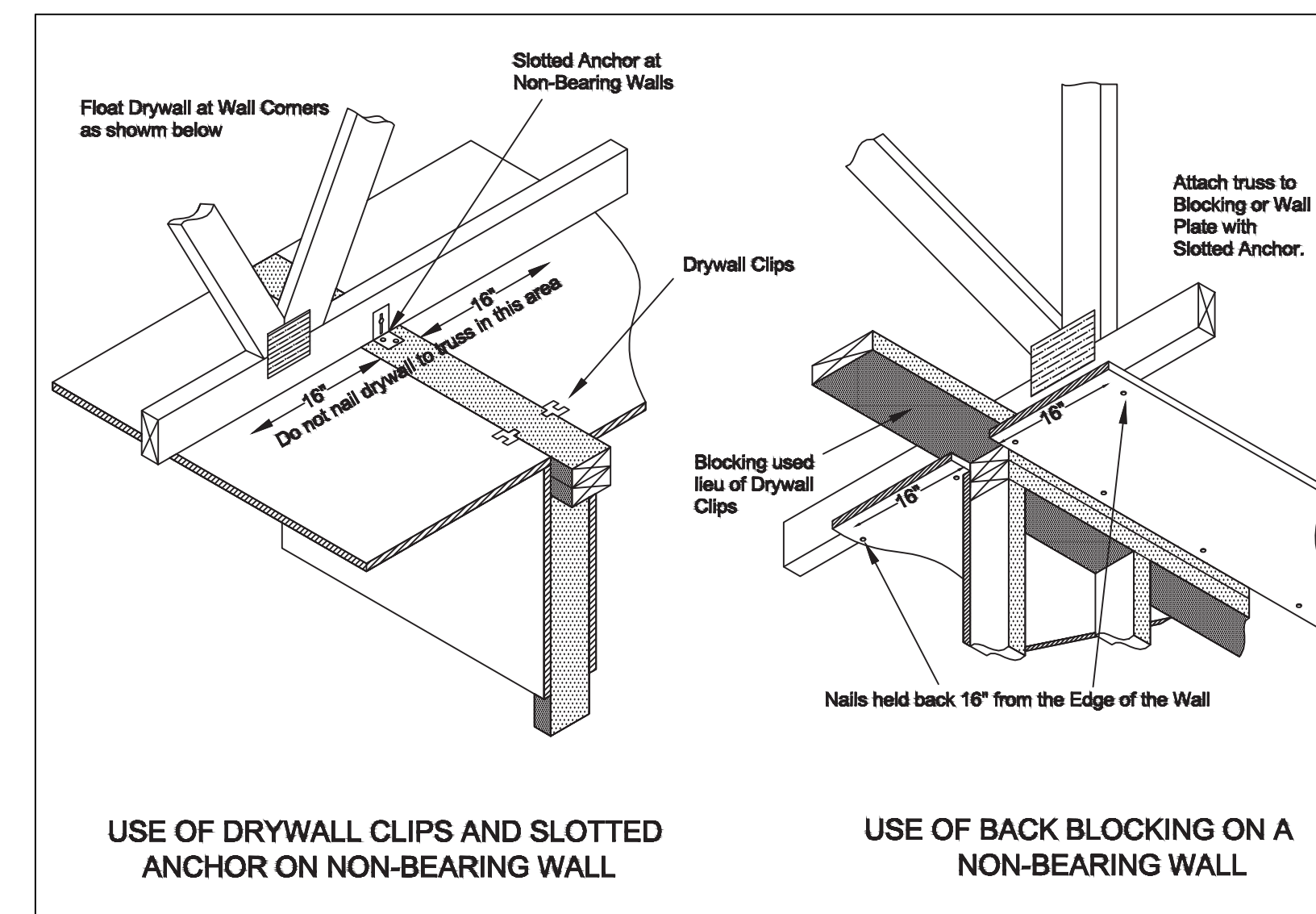
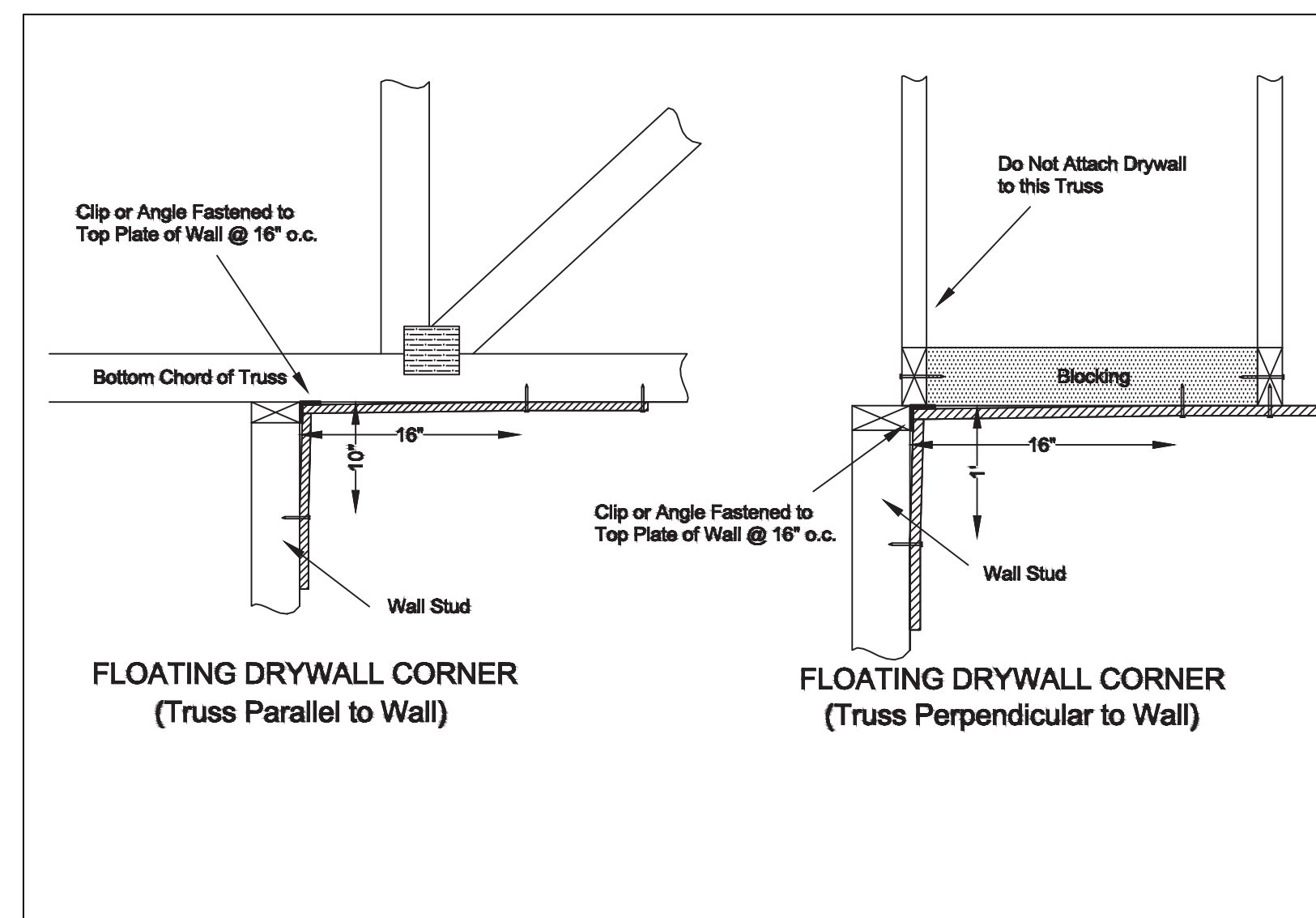
09/24/19	PERMIT SUBMIT
09/12/19	ENG BK CHECK
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06/04/19	BUDGETING



1 SECTION A-A  
 A4-5 1/2" = 1'-0"

TYP. SECTION/ ELEVATION NOTES

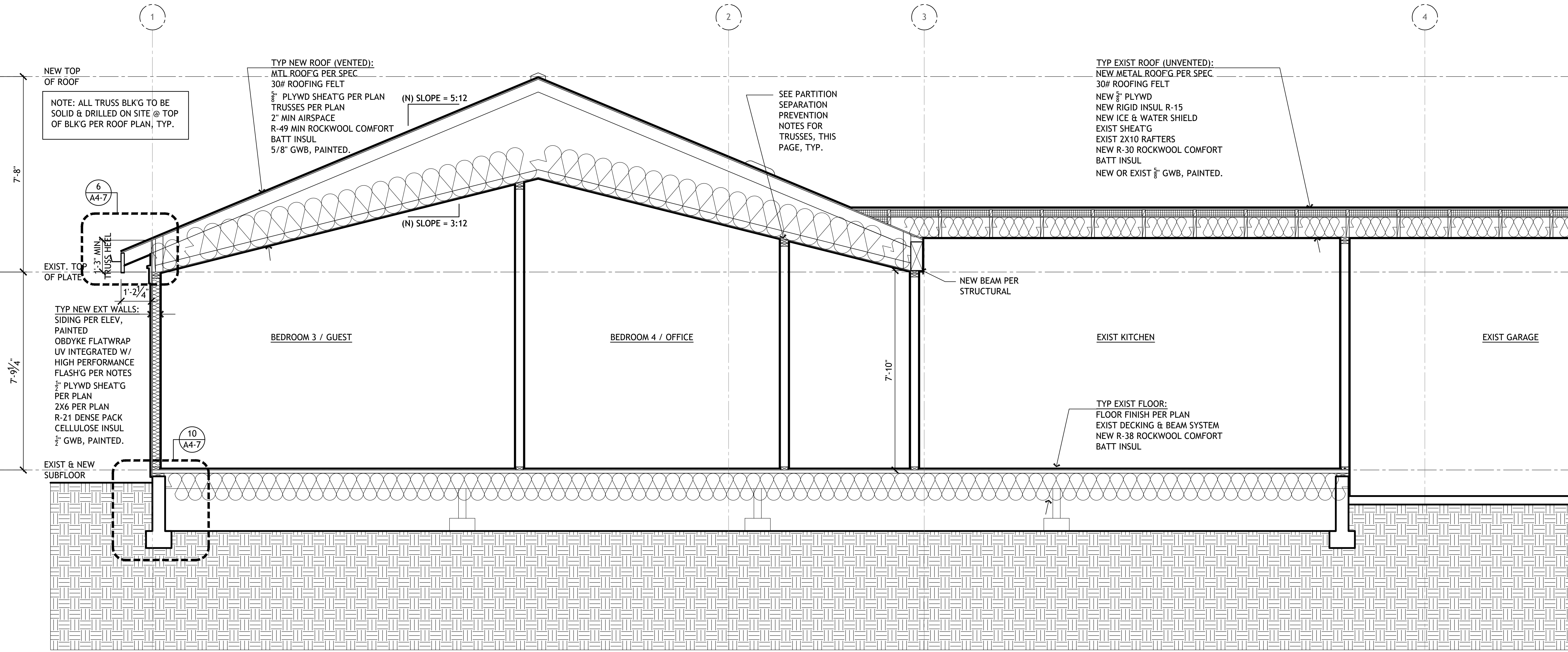
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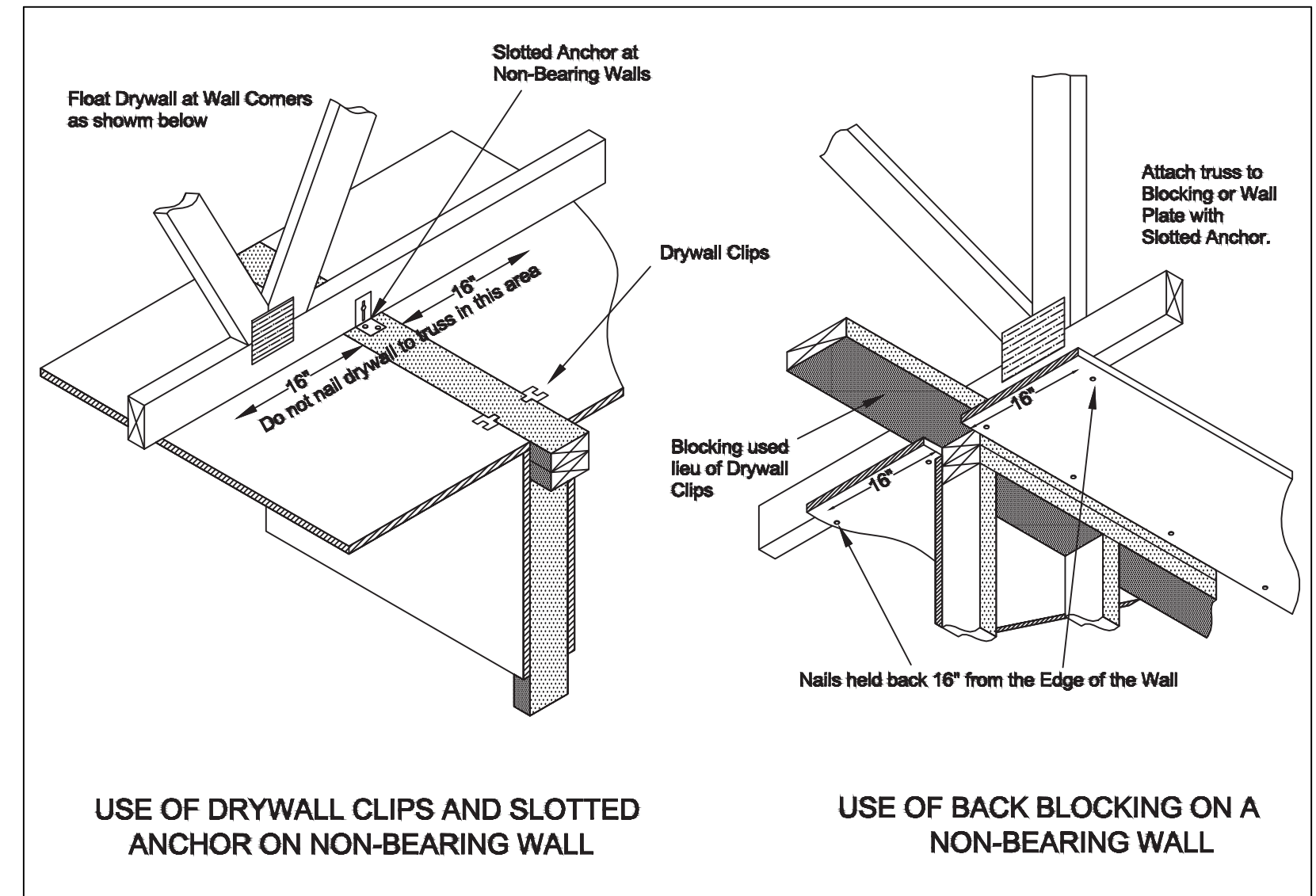
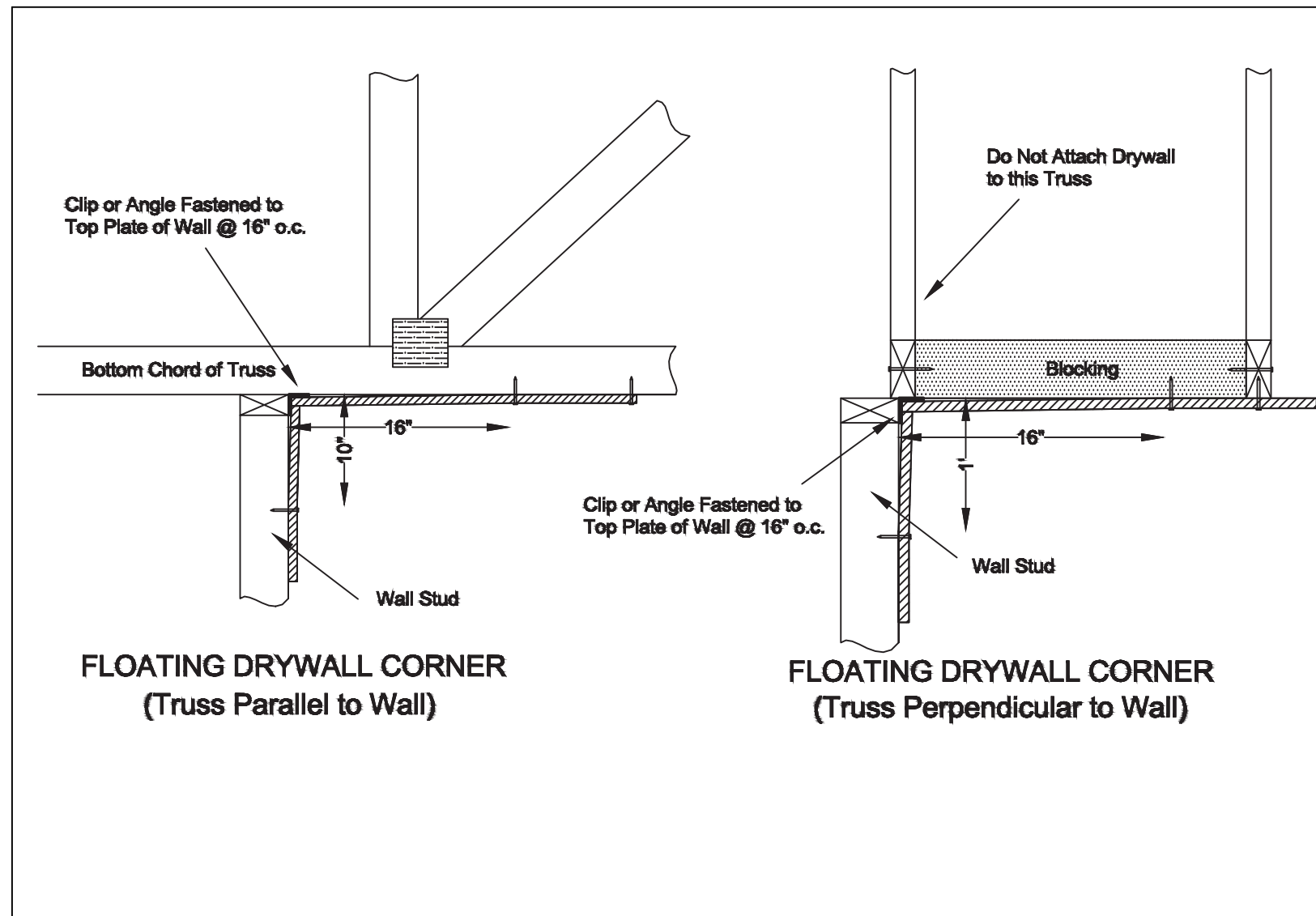


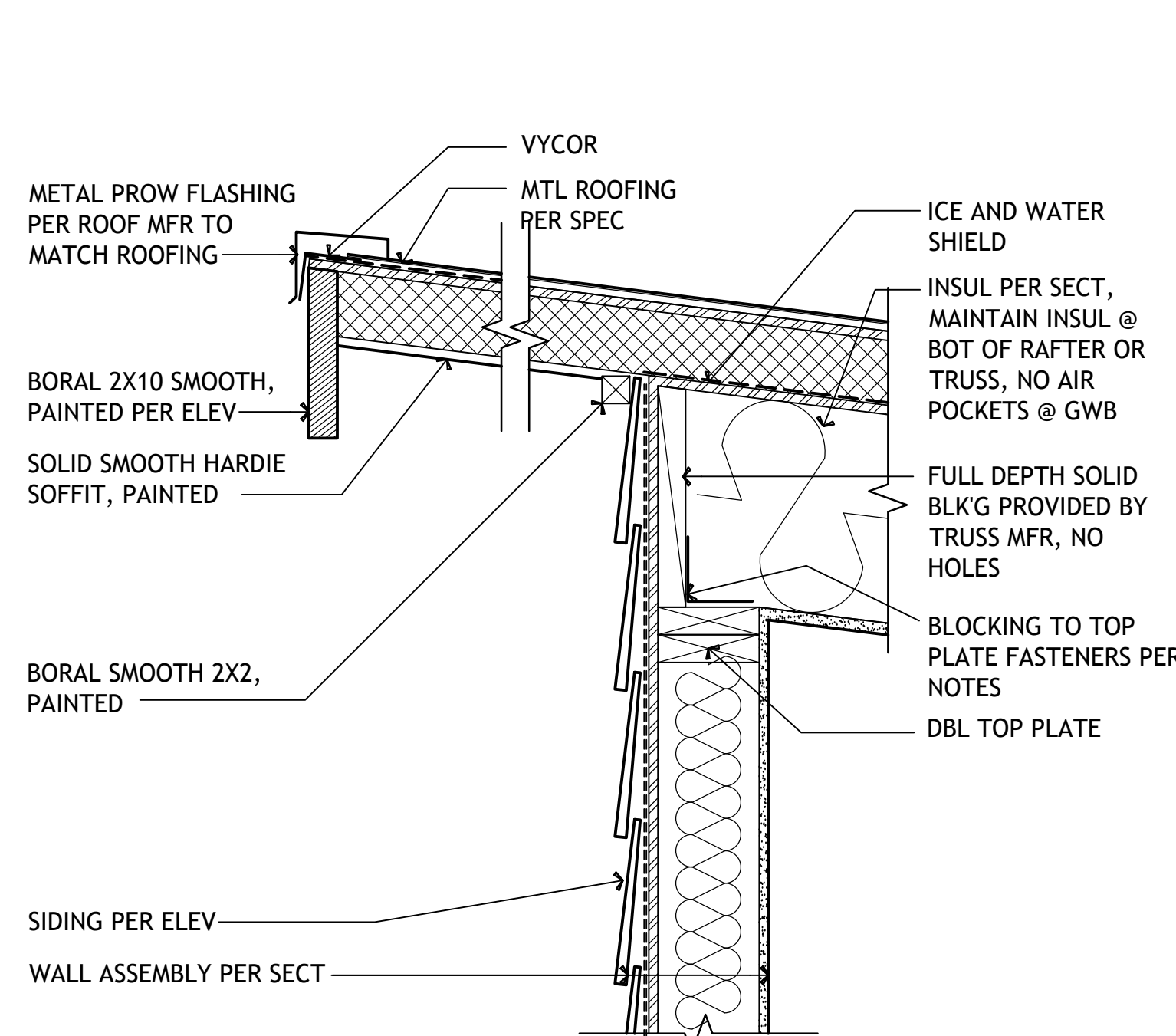
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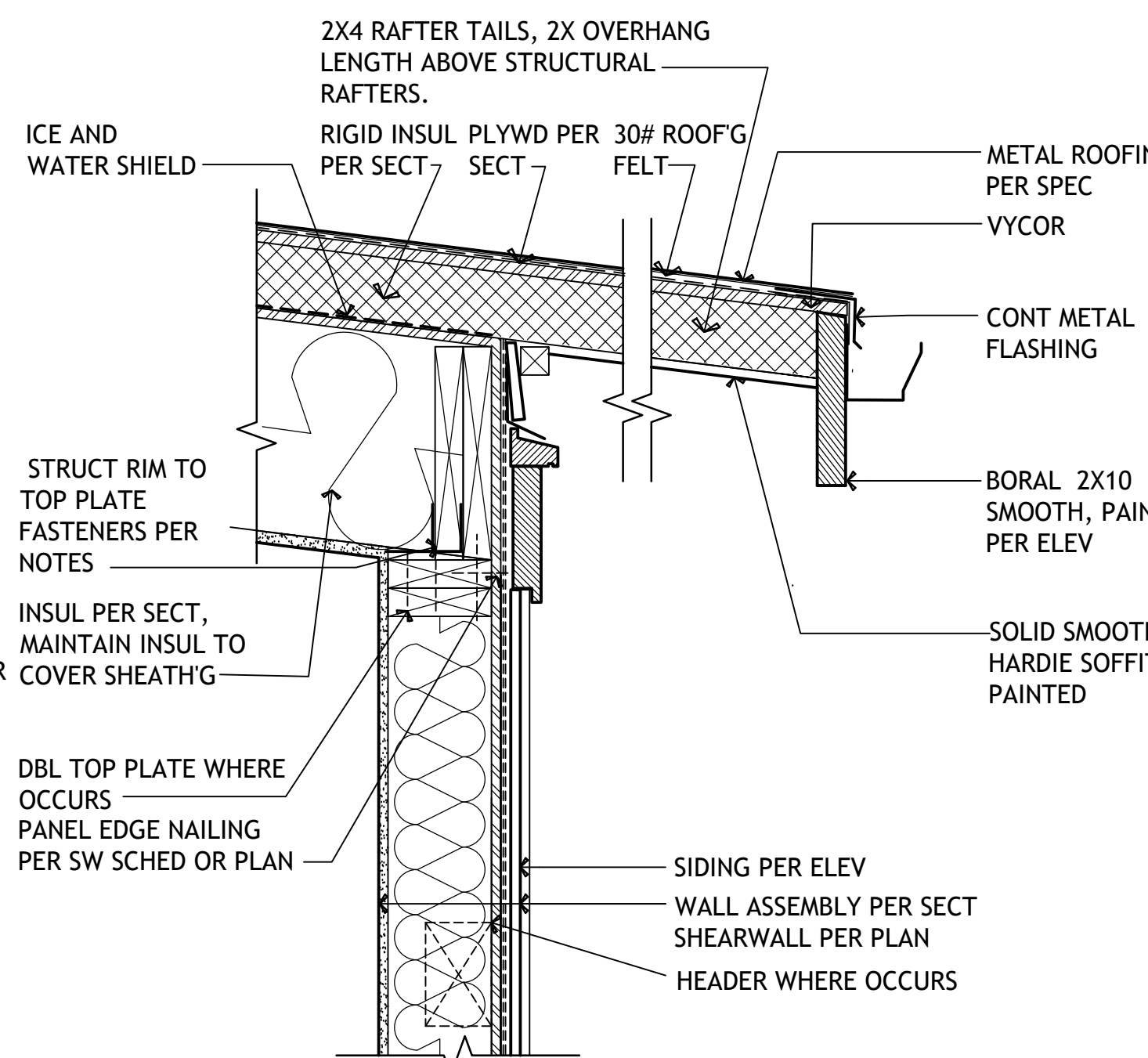
1 SECTION A-A  
 A4-6 1/2" = 1'-0"

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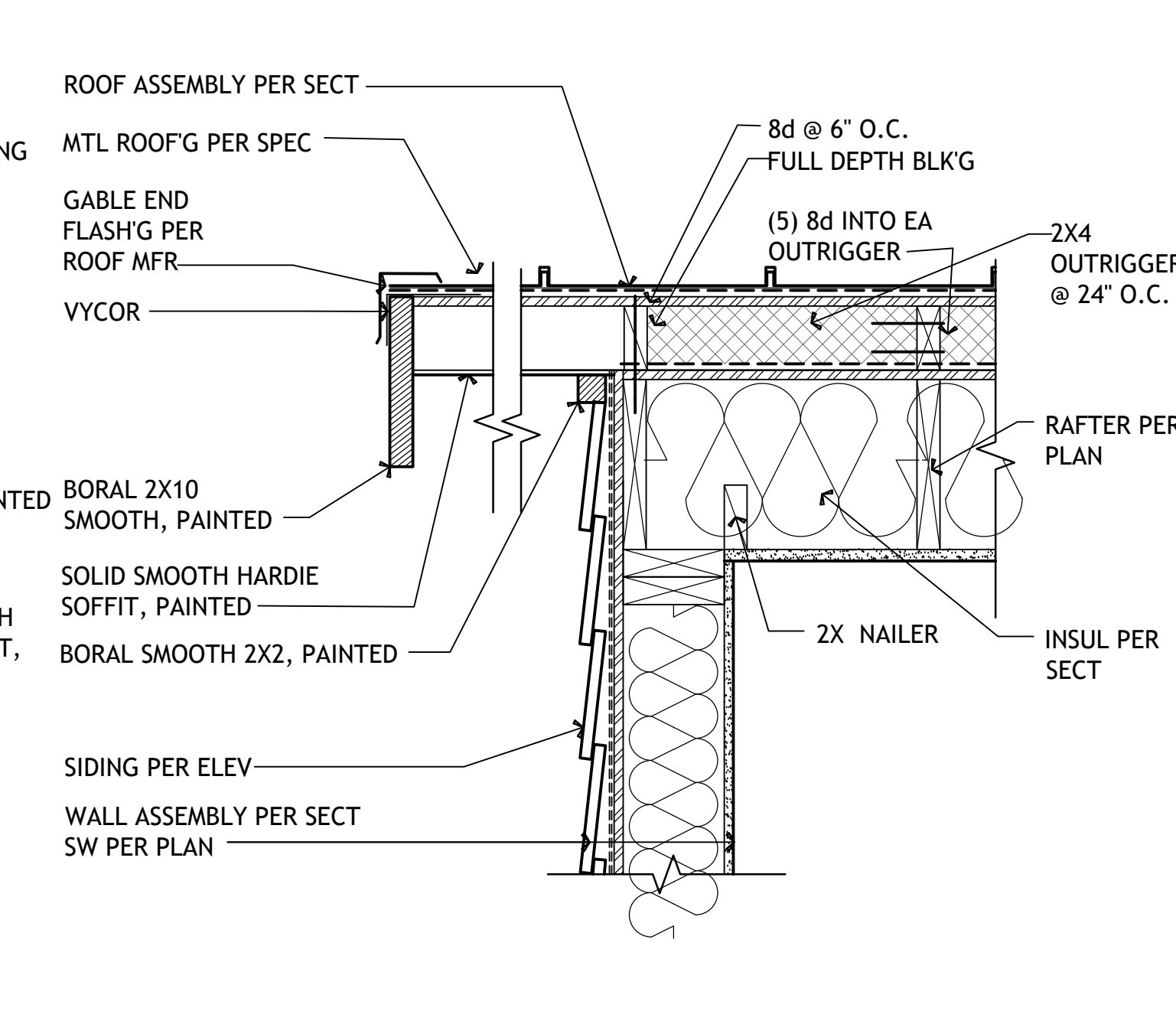




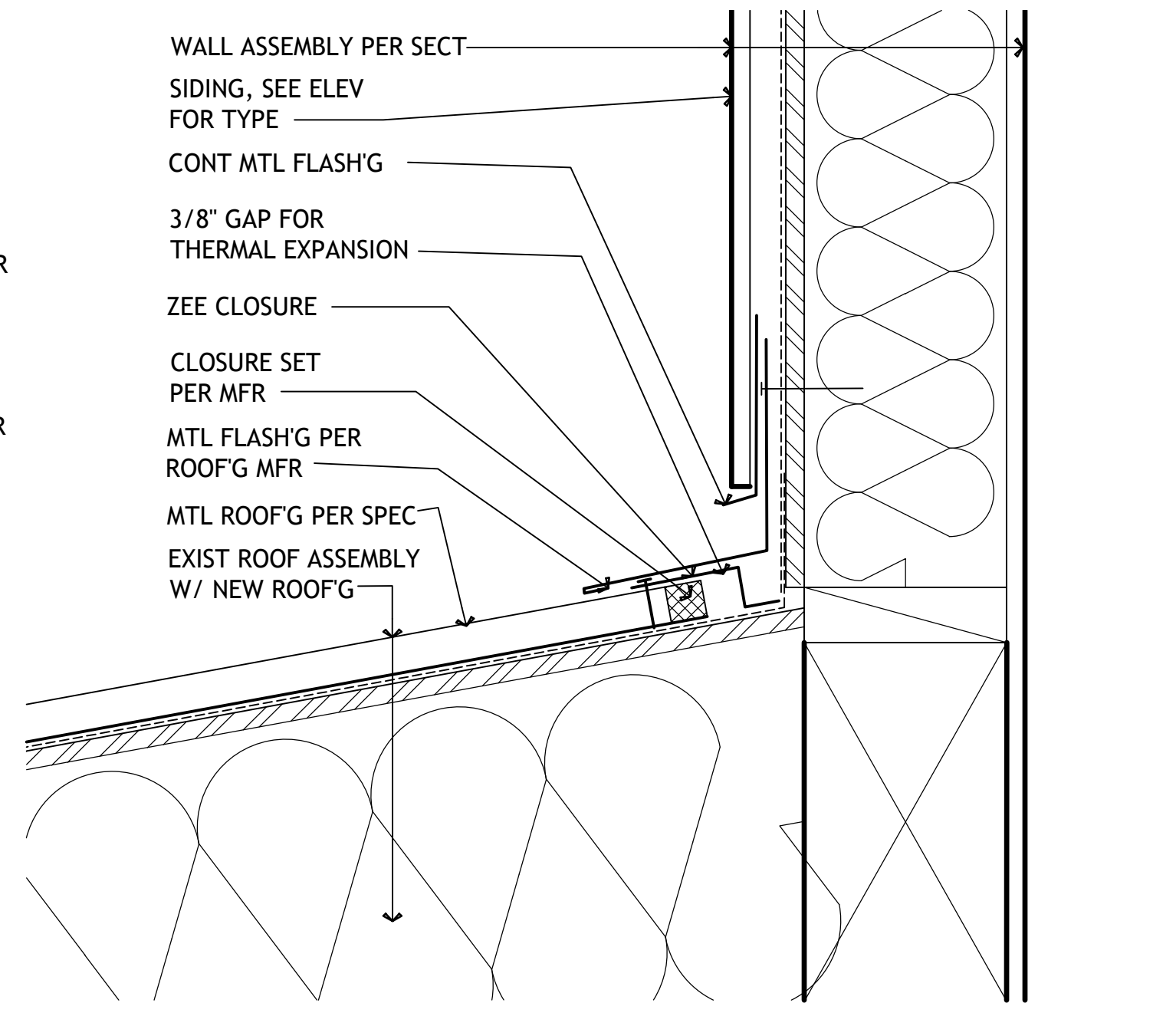
1 EAVE DETAIL @ OVERHANG EXIST SHED ROOF  
A4-7 1-1/2" = 1'-0"



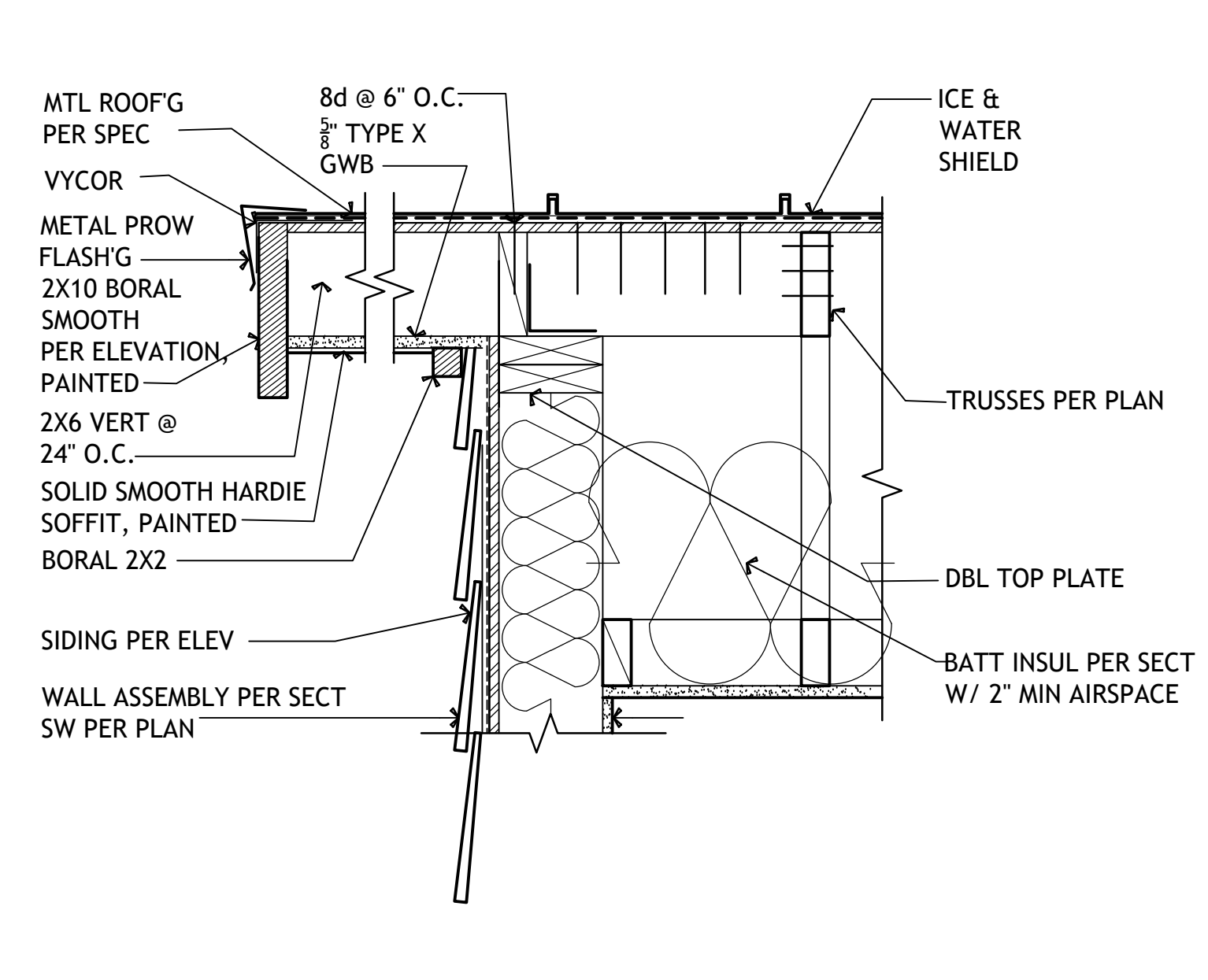
2 EAVE DETAIL @ EXIST ROOF  
A4-7 1-1/2" = 1'-0"



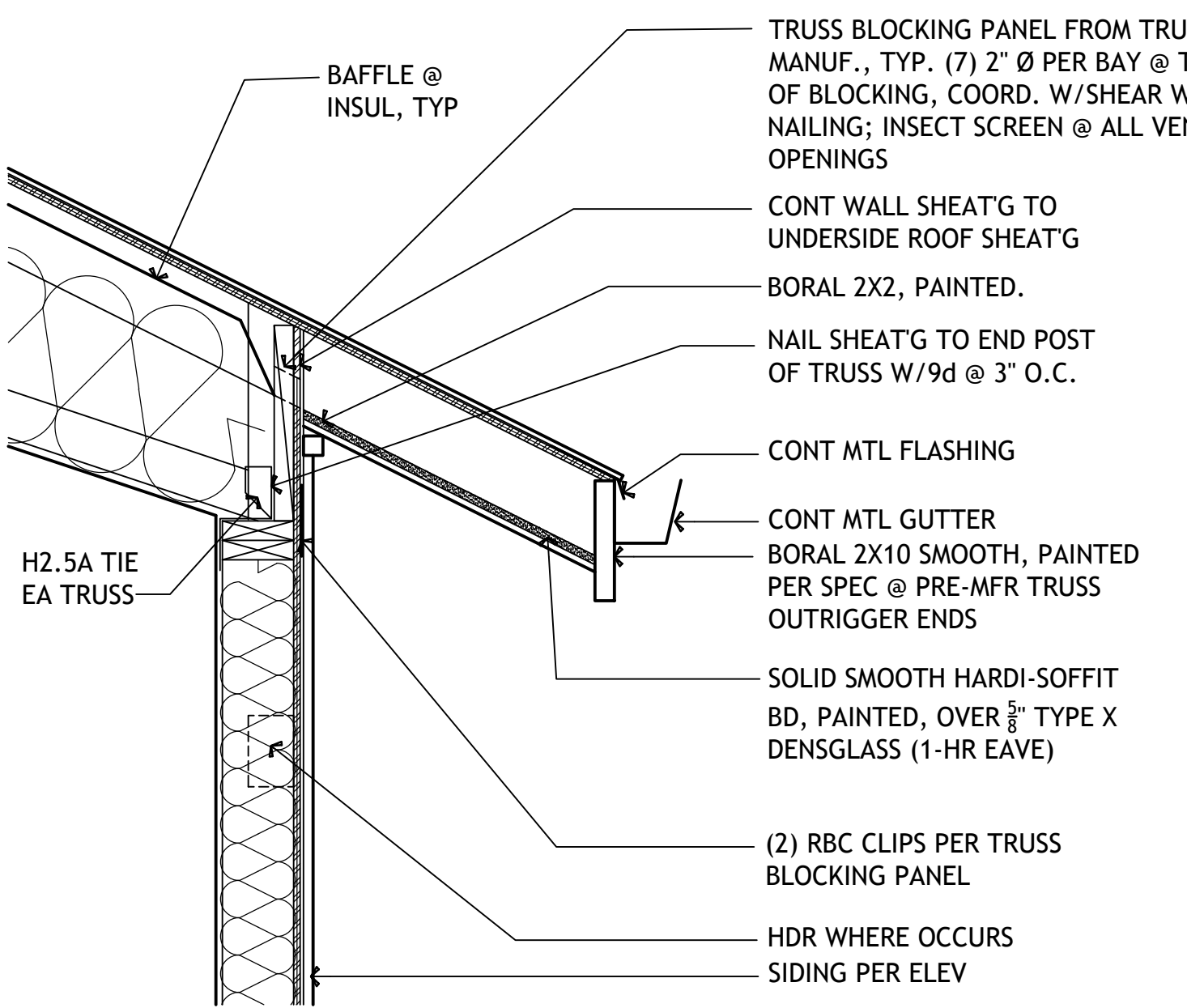
3 UNVENTED GABLE END @ EXIST. ROOF  
A4-7 1-1/2" = 1'-0"



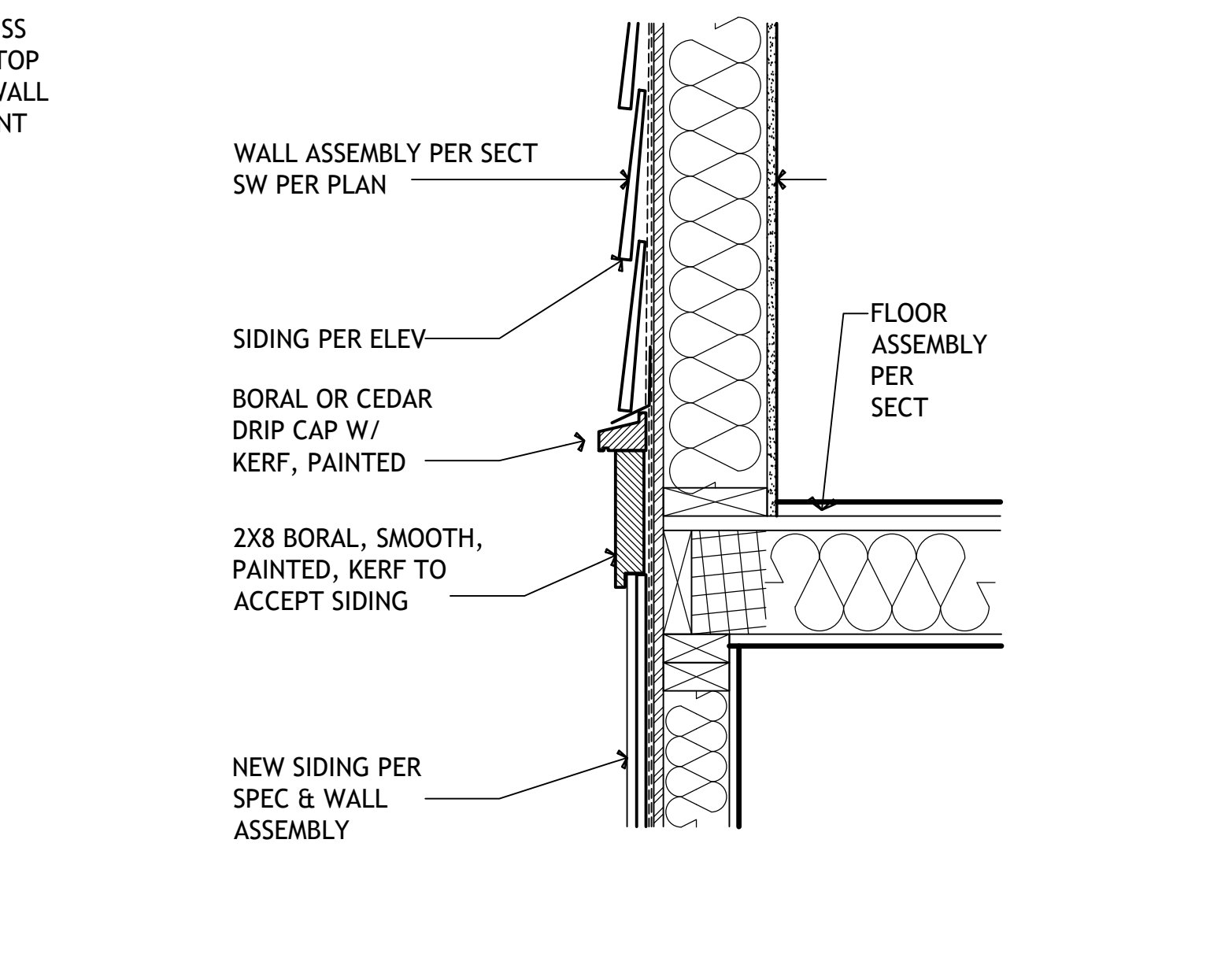
4 ROOF TO WALL TRANSITION  
A4-7 3" = 1'-0"



5 GABLE END @ TRUSSES  
A4-7 1-1/2" = 1'-0"



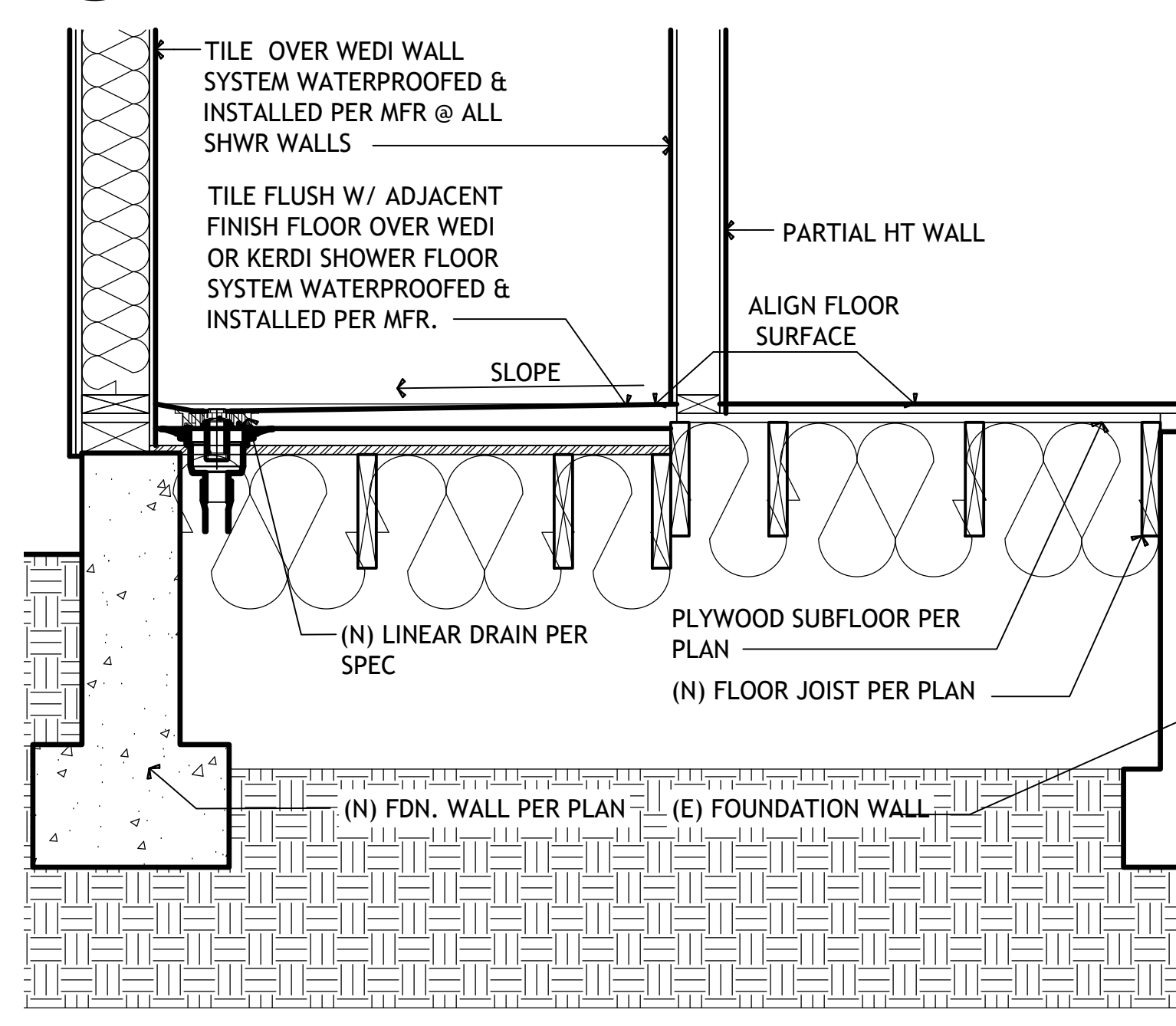
6 EAVE DETAIL @ TRUSSES  
A4-7 1" = 1'-0"



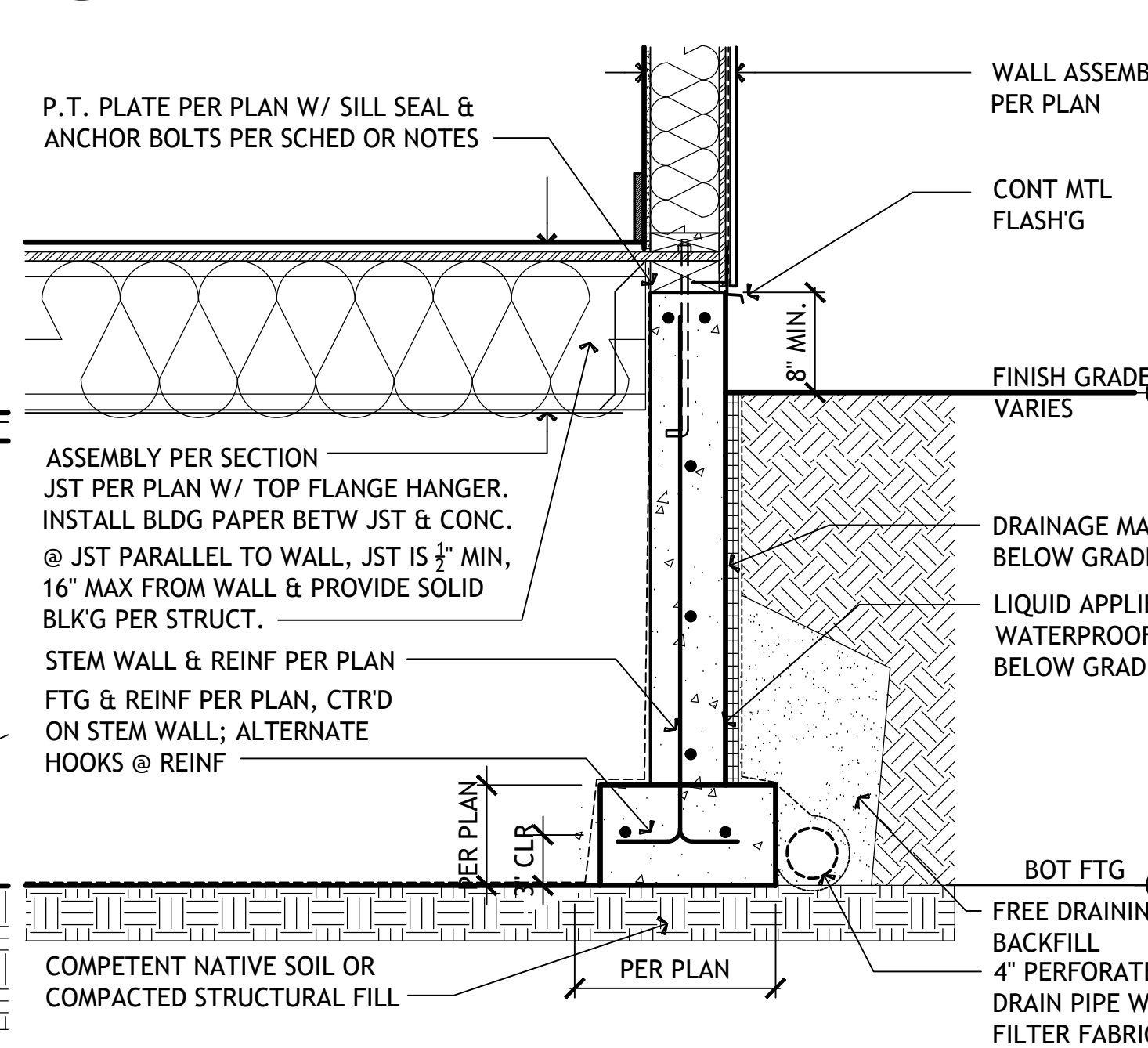
7 DRIP CAP DETAIL  
A4-7 1-1/2" = 1'-0"



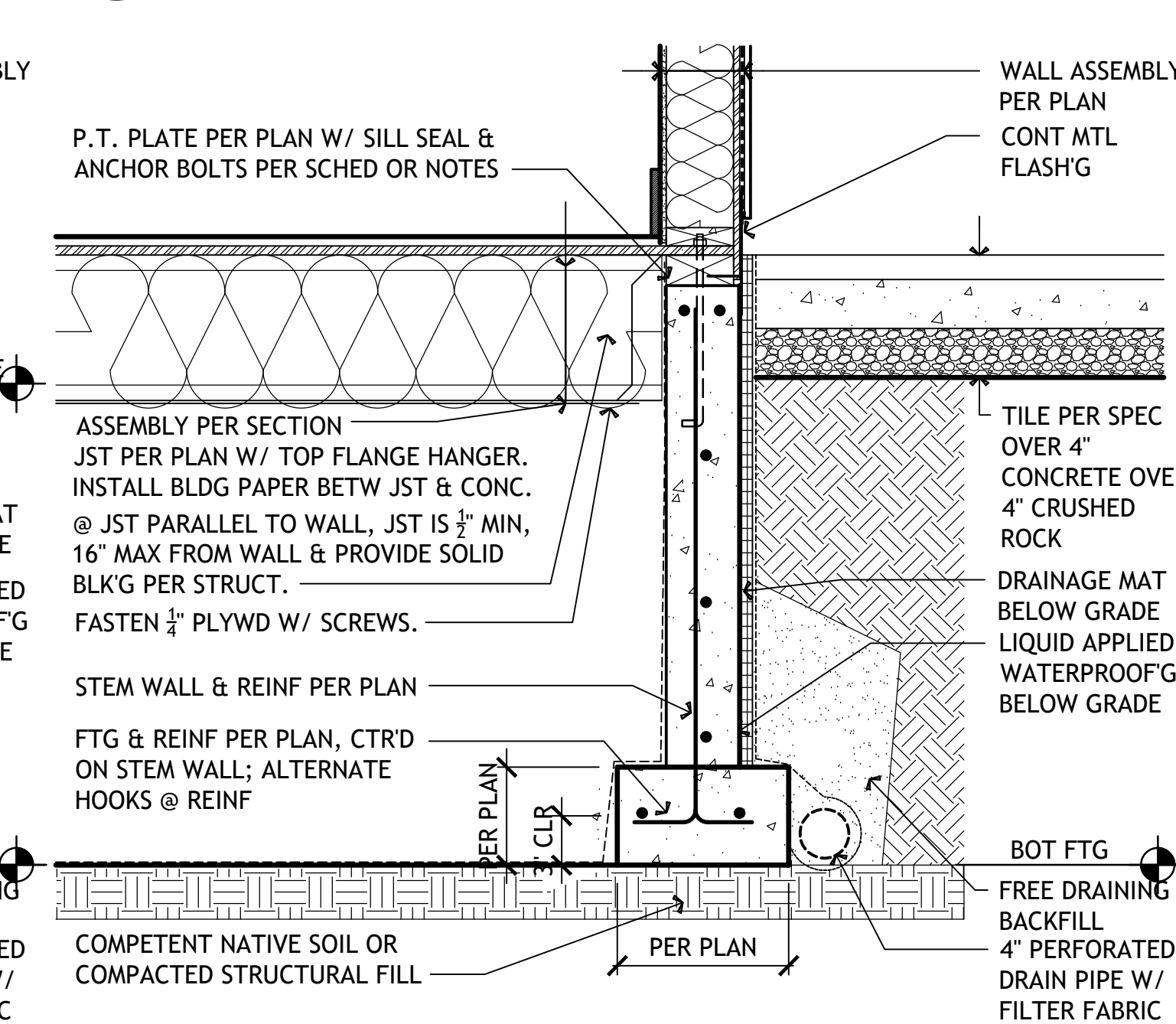
8 --  
A4-7 1-1/2" = 1'-0"



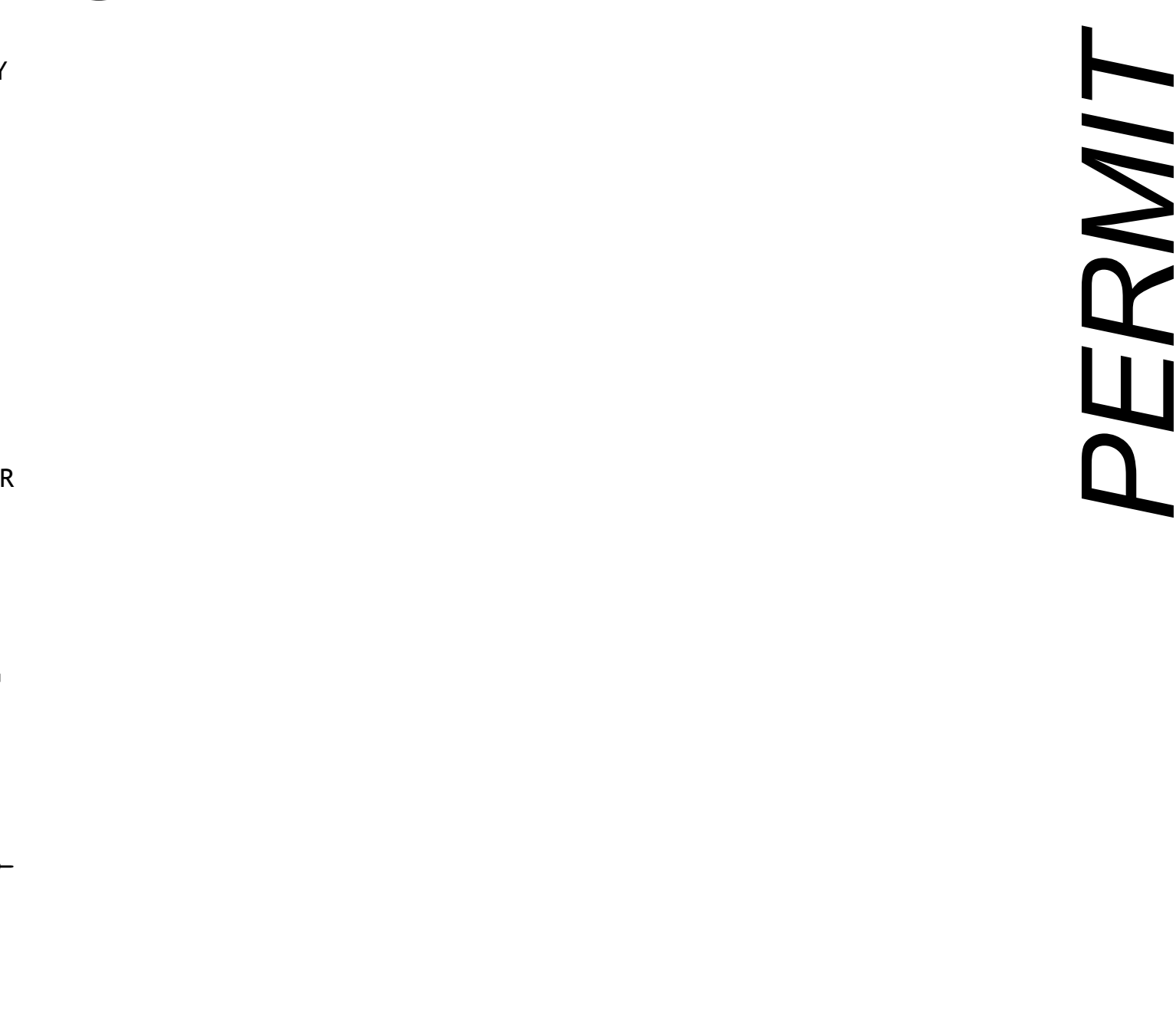
9 ZERO THRESHOLD SHOWER DETAIL  
A4-7 1" = 1'-0"



10 TYPICAL NEW FOUNDATION DETAIL  
A4-7 1" = 1'-0"



11 NEW FOUNDATION @ PATIO  
A4-7 1" = 1'-0"



12 --  
A4-7 1-1/2" = 1'-0"

9077 REGISTERED ARCHITECT  
SHERI LYNN NEWBOLD  
STATE OF WASHINGTON

live work play  
sustainable architecture interior design

live-work-play  
9231 Evanston Avenue N  
Seattle WA 98103

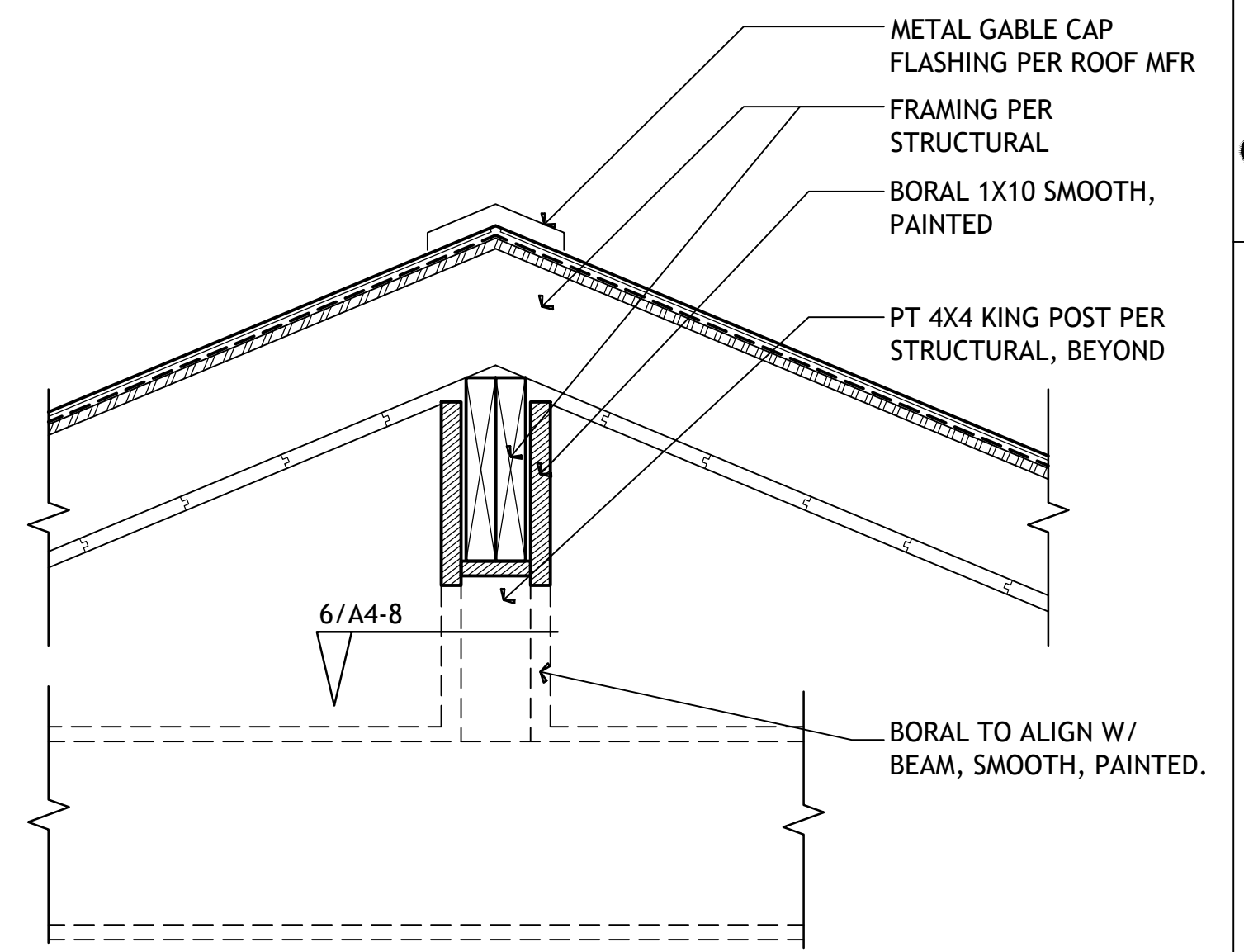
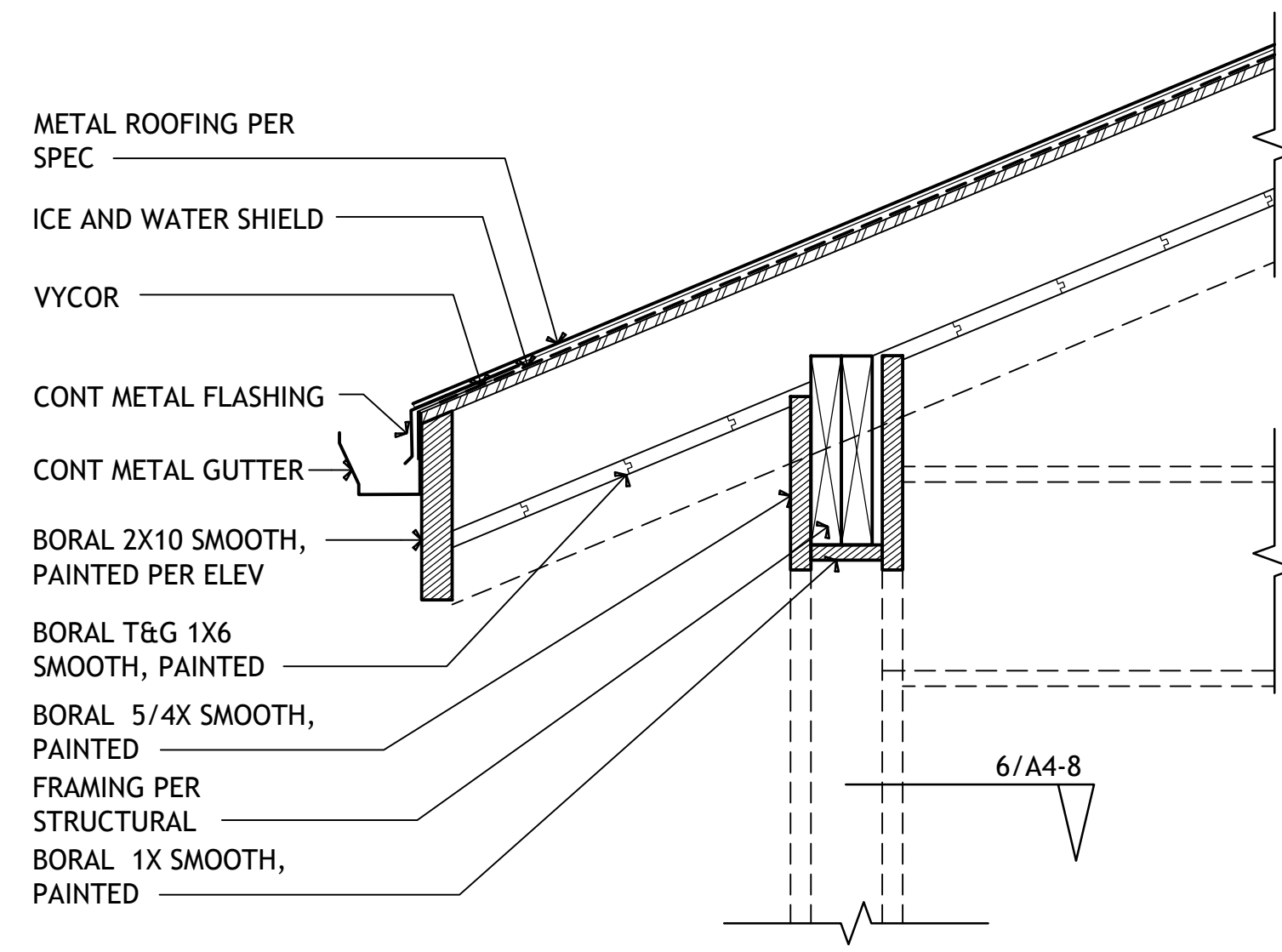
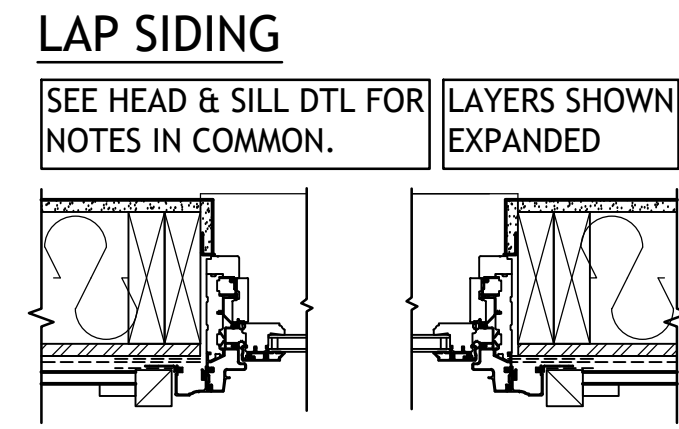
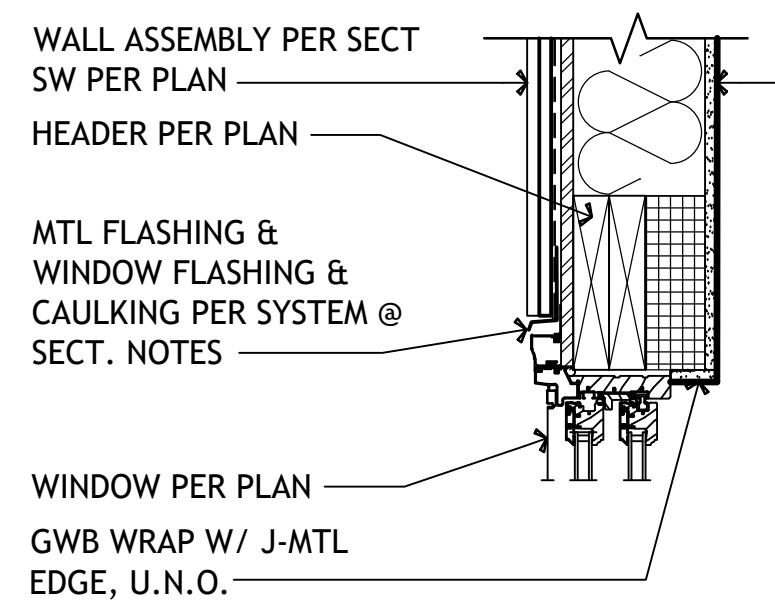
206 726 0077  
sheri@live-work-play.net  
live-work-play.net

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mercier island, wa 98040

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09/24/19	PERMIT SUBMIT
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06/04/19	BUDGETING

A4-7  
24 SEPTEMBER 2019

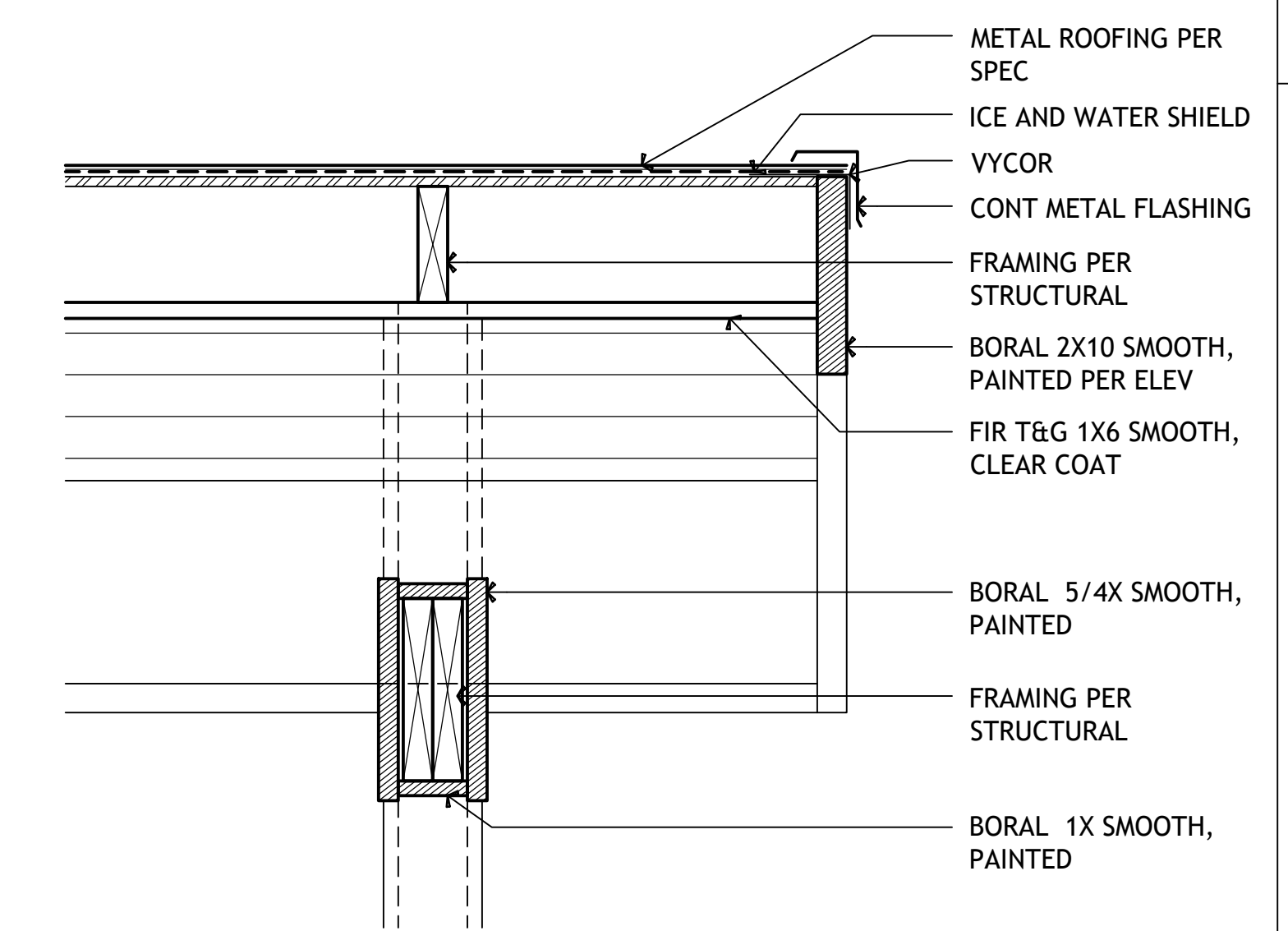
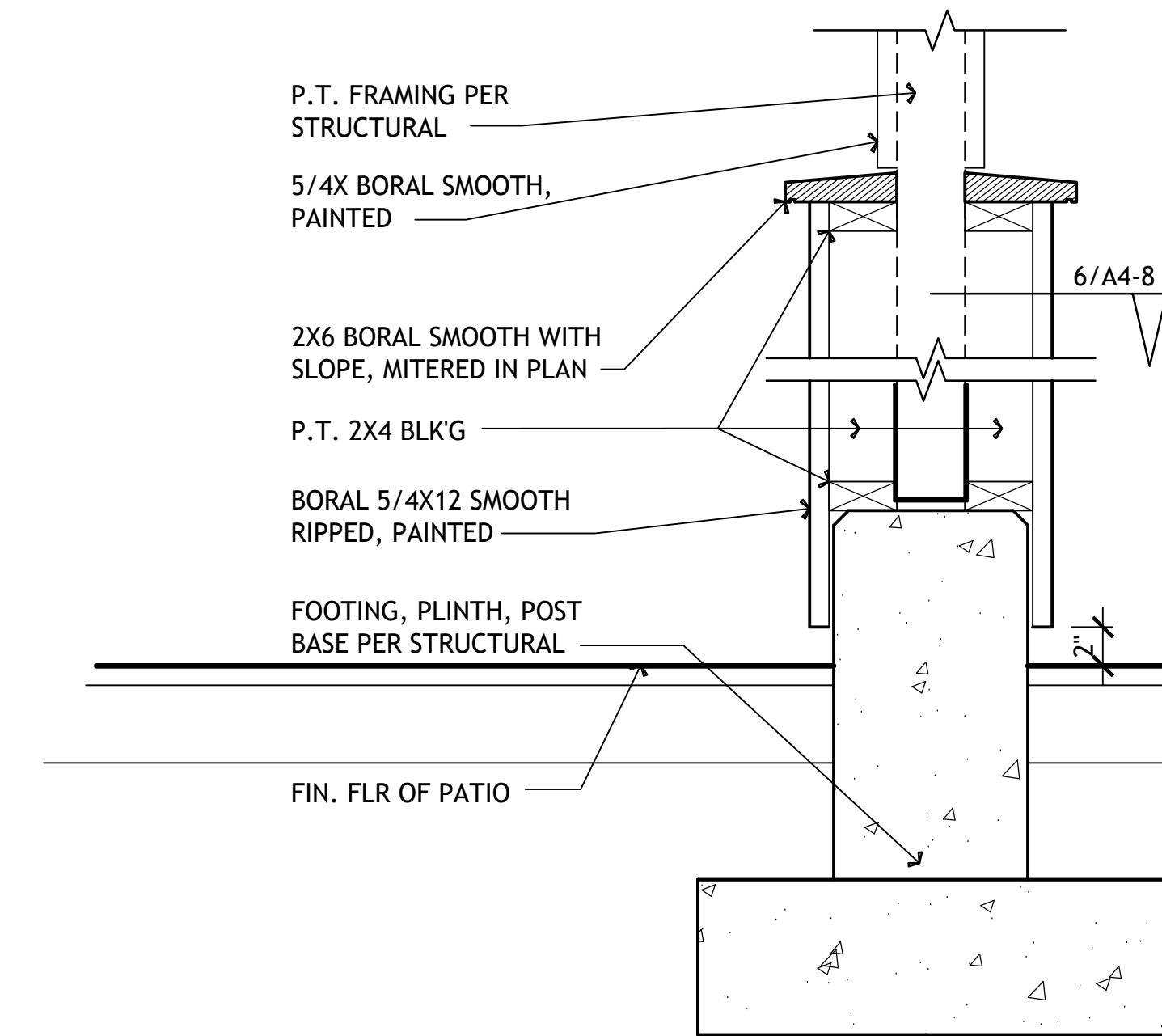
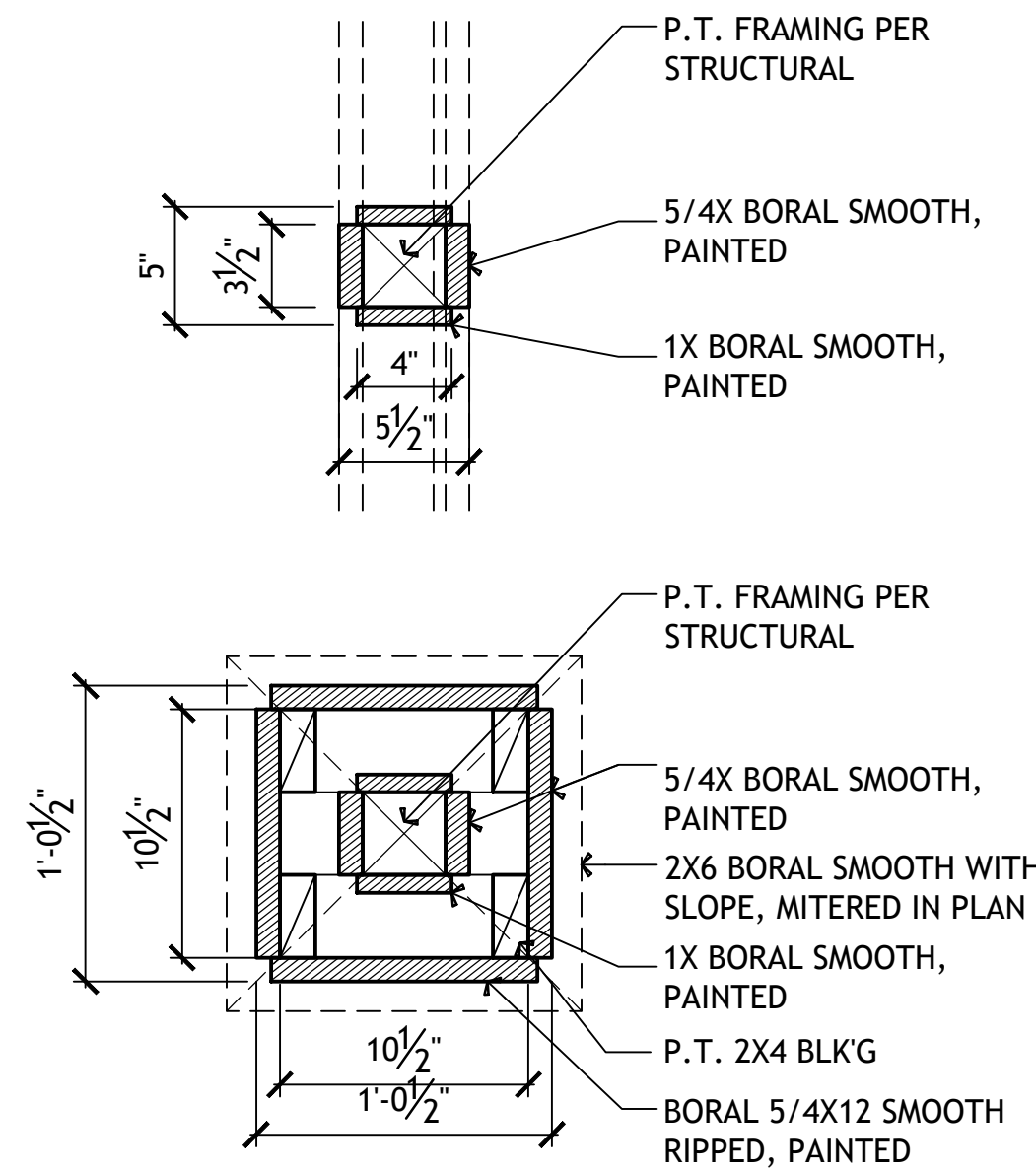
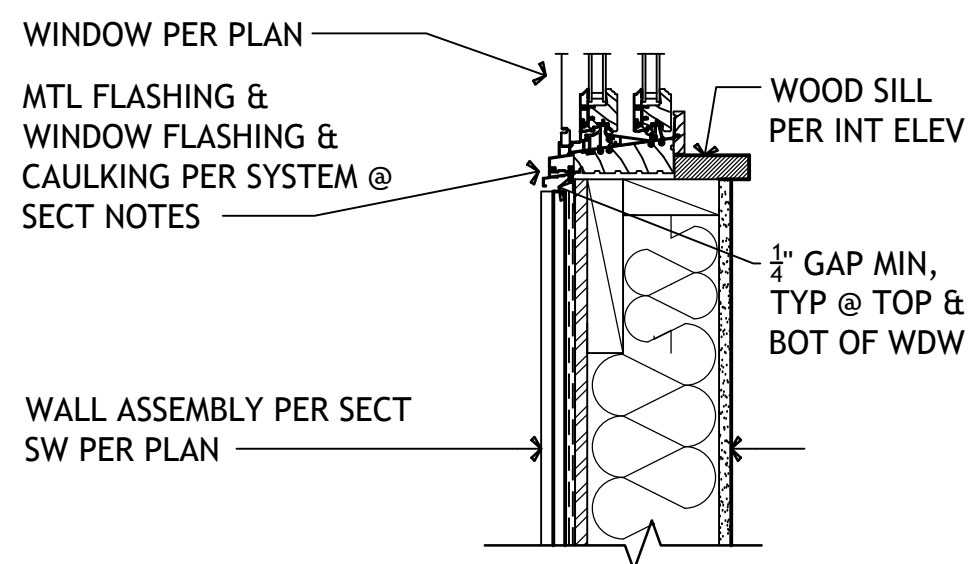


1 TYP. WINDOW HEAD  
 A4-8 1 1/2" = 1'-0"

2 TYP. WINDOW JAMB  
 A4-8 1 1/2" = 1'-0"

3 EAVE DETAIL @ PATIO  
 A4-8 1-1/2" = 1'-0"

4 GABLE DETAIL @ PATIO  
 A4-8 1-1/2" = 1'-0"



5 TYP. WINDOW SILL  
 A4-8 1 1/2" = 1'-0"

6 POST PLAN DETAIL @ PATIO  
 A4-8 1 1/2" = 1'-0"

7 POST FOOTING DETAIL @ PATIO  
 A4-8 1-1/2" = 1'-0"

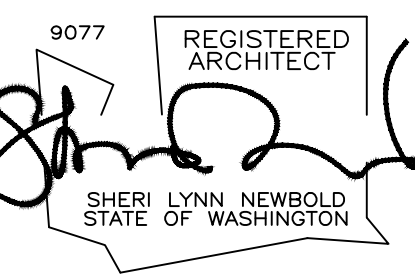
8 EAVE DETAIL @ PATIO  
 A4-8 1-1/2" = 1'-0"

9 -  
 A4-8 1 1/2" = 1'-0"

10 -  
 A4-8 1 1/2" = 1'-0"

11 -  
 A4-8 1-1/2" = 1'-0"

12 -  
 A4-8 1-1/2" = 1'-0"



live-work-play  
 9231 Evanston Avenue N  
 Seattle WA 98103  
 206 726 0077  
 sheri@live-work-play.net  
 live-work-play.net

PERMIT  
 details

whitney-gedeon residence  
 4219 91st avenue SE mercer island, wa 98040

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A4-8

# General Structural Notes

The Following Apply Unless Noted Otherwise on the Drawings

## Criteria

- ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE 2015 INTERNATIONAL BUILDING CODE.
- DESIGN LOAD CRITERIA
 

FLOOR LIVE LOAD (RESIDENTIAL)	40 PSF
FLOOR LIVE LOAD (RESIDENTIAL DECKS)	60 PSF
SNOW	Pf=25 PSF
WIND	Iw=1.0, GCp=0.18, 110 MPH (ULTIMATE), EXPOSURE "B", KZT=1.00
- EARTHQUAKE
 

ANALYSIS PROCEDURE:	EQUIVALENT LATERAL
FORCE PROCEDURE	
LATERAL SYSTEM:	LIGHT FRAMED SHEAR WALLS
BASE SHEAR (ALLOWABLE)	V=7.2 KIPS
SITE CRITERIA	SITE CLASS=D, Ss=1.407, Sds=0.938, S1=0.54, SD1=0.54, Cs=0.103 SDC D, Ie=1.0, R=6.5

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
- ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.
  - CONNECTOR PLATE WOOD ROOF TRUSSES

CONTRACTOR SHALL SUBMIT WALL ELEVATION DRAWINGS OF AT LEAST 1/8"=1'-0" SCALE INDICATING LOCATIONS OF CONNECTION EMBEDMENTS AND WALL OPENINGS FOR REVIEW PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH REINFORCEMENT SHOP DRAWINGS.

APPROVED SETS OF ALL SHOP DRAWINGS SHALL ALSO BE SUBMITTED TO THE BUILDING DEPARTMENT.

- SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

## Quality Assurance

- SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1704 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION IS REQUIRED OF THE FOLLOWING TYPES OF CONSTRUCTION:
  - EXPANSION BOLTS AND THREADED EXPANSION INSERTS PER MANUFACTURER
  - EPOXY GROUTED INSTALLATIONS PER MANUFACTURER
- UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705.12 OF THE INTERNATIONAL BUILDING CODE.
  - A. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE RESISTING SYSTEM INCLUDING DRAG STRUTS, BRACES AND HOLDDOWNS.

## Geotechnical

- FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.
  - FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.
  - BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.
  - ALLOWABLE SOIL PRESSURE 2000 PSF
  - LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED) 55 PCF/35 PCF
  - COEFFICIENT OF FRICTION (FACTOR OF SAFETY OF 1.5 INCLUDED) 0.3

## Renovation

- DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- CONTRACTOR SHALL CHECK FOR DRYROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

## Concrete

- CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905, 1906 AND ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF Fc=3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. (STRUCTURAL DESIGN OF FOUNDATION IS BASED ON A Fc=2,500 PSI, PER IBC 1705.3.2.3. SPECIAL INSPECTION IS NOT REQUIRED.)
- THE MINIMUM AMOUNTS OF CEMENT MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH IBC 1905.6. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY TO THE CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.
- ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH TABLE ACI 318 TABLE 4.2.1 MODERATE EXPOSURE.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy=60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, fy=40,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM A615, GRADE 60, fy=60,000 PSI.
- LONGITUDINAL REINFORCEMENT IN DUCTILE FRAME MEMBERS AND IN WALL BOUNDARY MEMBERS SHALL COMPLY WITH ASTM A706. ASTM A615 GRADES 40 AND 60 REINFORCEMENT ARE ALLOWED IN THESE MEMBERS IF (A) THE ACTUAL YIELD STRENGTH BASED ON MILL TESTS DOES NOT EXCEED THE SPECIFIED YIELD STRENGTH BY MORE THAN 18,000 PSI (RETESTS SHALL NOT EXCEED THIS VALUE BY MORE THAN AN ADDITIONAL 3,000 PSI) AND (B) THE RATIO OF THE ACTUAL ULTIMATE TENSILE STRESS TO THE ACTUAL TENSILE YIELD STRENGTH IS NOT LESS THAN 1.25.
- DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH "THE REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE." PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
  - NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
- CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
 

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER)	1-1/2"
SLABS AND WALLS (INT. FACE)	GREATER OF BAR DIAMETER PLUS 1/8" OR 3/4"
- CONCRETE WALL REINFORCING - PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:
 

8" WALLS	#4 @ 12 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
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- CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.

## Anchorage

- EXPANSION BOLTS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE STRONG-BOLT Z ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT INSTALLATION.
- EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-3G" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2508. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED.

## Wood

- FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO.17. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:
 

JOISTS	(2X & 3X MEMBERS)	HEM-FIR NO. 2	MINIMUM BASE VALUE, Fb=850 PSI
AND BEAMS:			
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2	MINIMUM BASE VALUE, Fb=900 PSI
BEAMS:	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1	MINIMUM BASE VALUE, Fb=1350 PSI
POSTS:	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2	MINIMUM BASE VALUE, Fc=1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1	MINIMUM BASE VALUE, Fc=1000 PSI

- STUDS, PLATES & MISC. FRAMING: DOUGLAS-FIR-LARCH OR HEM-FIR NO. 2
- GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND AITC STANDARDS. EACH MEMBER SHALL BEAR AN A.I.T.C. IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN A.I.T.C. CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb=2,400 PSI, Fv=265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb=2,400 PSI, Fv=265 PSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS TO 3,000" RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.
- PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSITP1 1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:
 

TOP CHORD LIVE LOAD	25 PSF
TOP CHORD DEAD LOAD	10 PSF
BOTTOM CHORD DEAD LOAD	5 PSF
TOTAL LOAD	40 PSF
WIND UPLIFT (TOP CHORD)	5 PSF
BOTTOM CHORD LIVE LOAD	10 PSF

(BOTTOM CHORD LIVE LOAD DOES NOT ACT CONCURRENTLY WITH THE ROOF LIVE LOAD)

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANGNAIL OR EQUAL). SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC., SHOWN ON THE DRAWINGS. THE EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

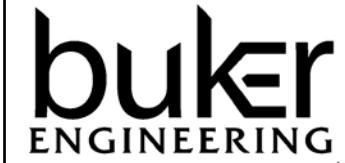
- PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.
  - A. ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.
  - B. FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.
  - C. WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.
  - D. REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.
- PRESSURE TREATED WOOD SHALL BE TREATED PER AWWA STANDARD. PRESSURE TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO A RETENTION OF 0.25 PCF. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO A RETENTION OF 0.40 PCF. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO A RETENTION OF 0.60 PCF. SODIUM BORATE (SBX) TREATED WOOD SHALL NOT BE USED WHERE EXPOSED TO WEATHER. FASTENERS AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACQ-A, CBA-A, CA-B, OR SBX TREATED WOOD SHALL BE G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653. FASTENERS AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACZA TREATED WOOD SHALL BE TYPE 304 OR 316 STAINLESS STEEL.
- TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2015. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  - ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITI" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.
- WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.
  - ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.
- WOOD FASTENERS
  - A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:
 

SIZE	LENGTH	DIAMETER
8d	2-1/2"	0.131"
10d	3"	0.148"
16d BOX	3-1/2"	0.135"

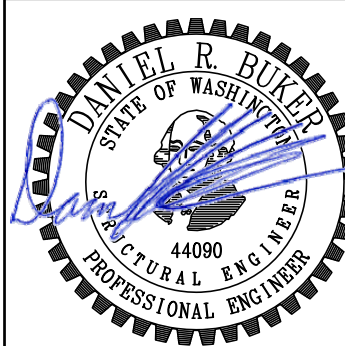
    - IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.
    - NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.
  - B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (2005 EDITION) WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

## Wood (Con't)

- WOOD FRAMING NOTES--THE FOLLOWING APPLY TO NEW CONSTRUCTION UNLESS OTHERWISE SHOWN ON THE PLANS:
  - A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
  - B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO, TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.
    - ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS @ 4" O.C. EACH SIDE JOINT.
    - ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12" ON-CENTER, UNLESS OTHERWISE NOTED. GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER, UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.
  - C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTY-JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.
    - UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER UNLESS OTHERWISE NOTED.



4303 Stone Way N  
Seattle, WA 98103  
206.258.6333



Whitney-Gedeon Residence

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Mercer Island, WA 98040

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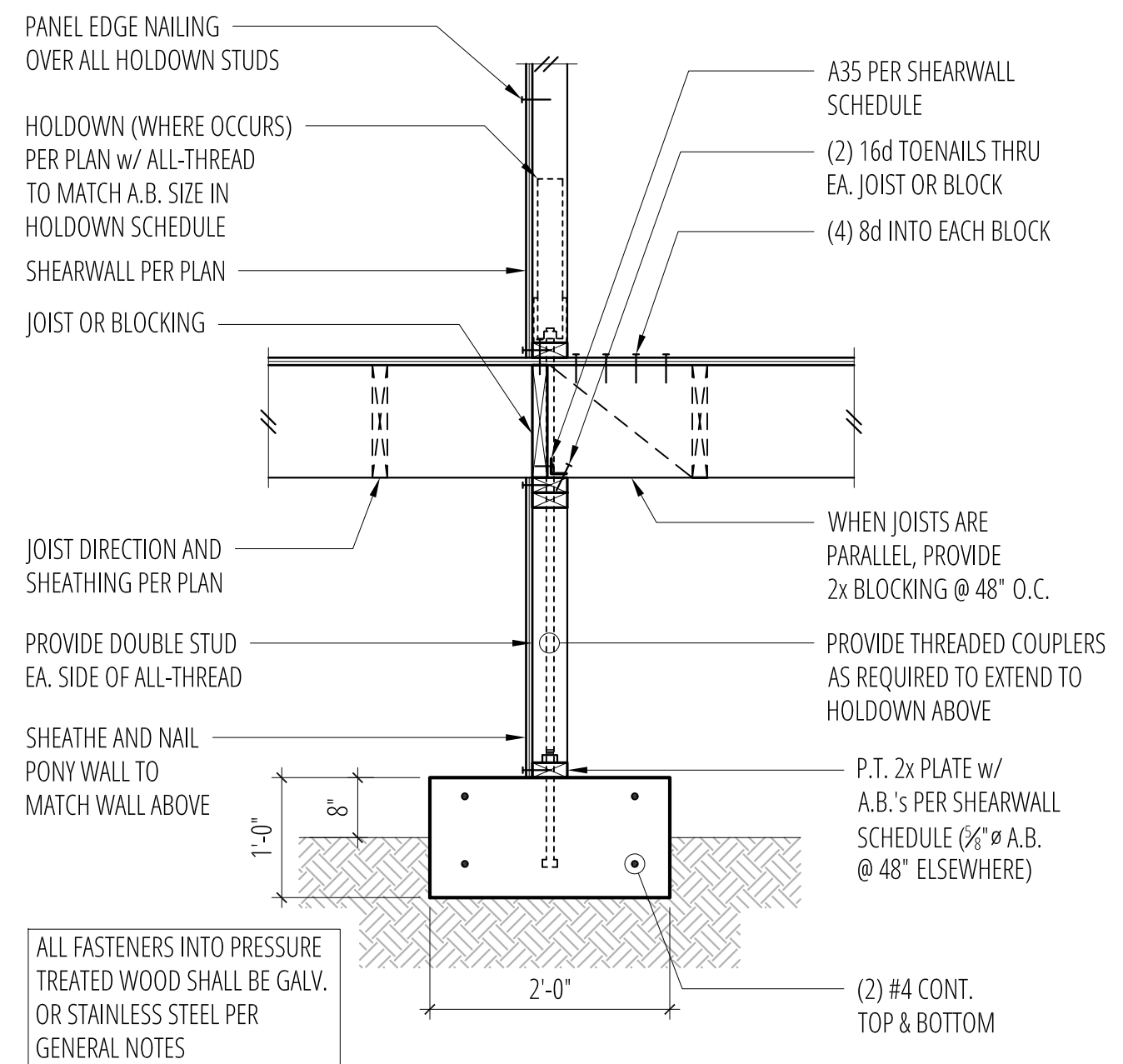
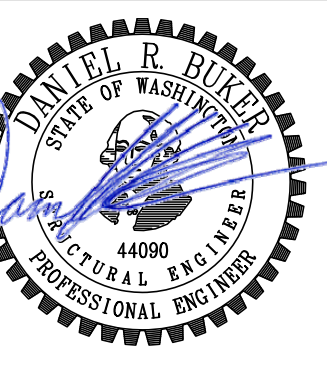
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Sheet Contents

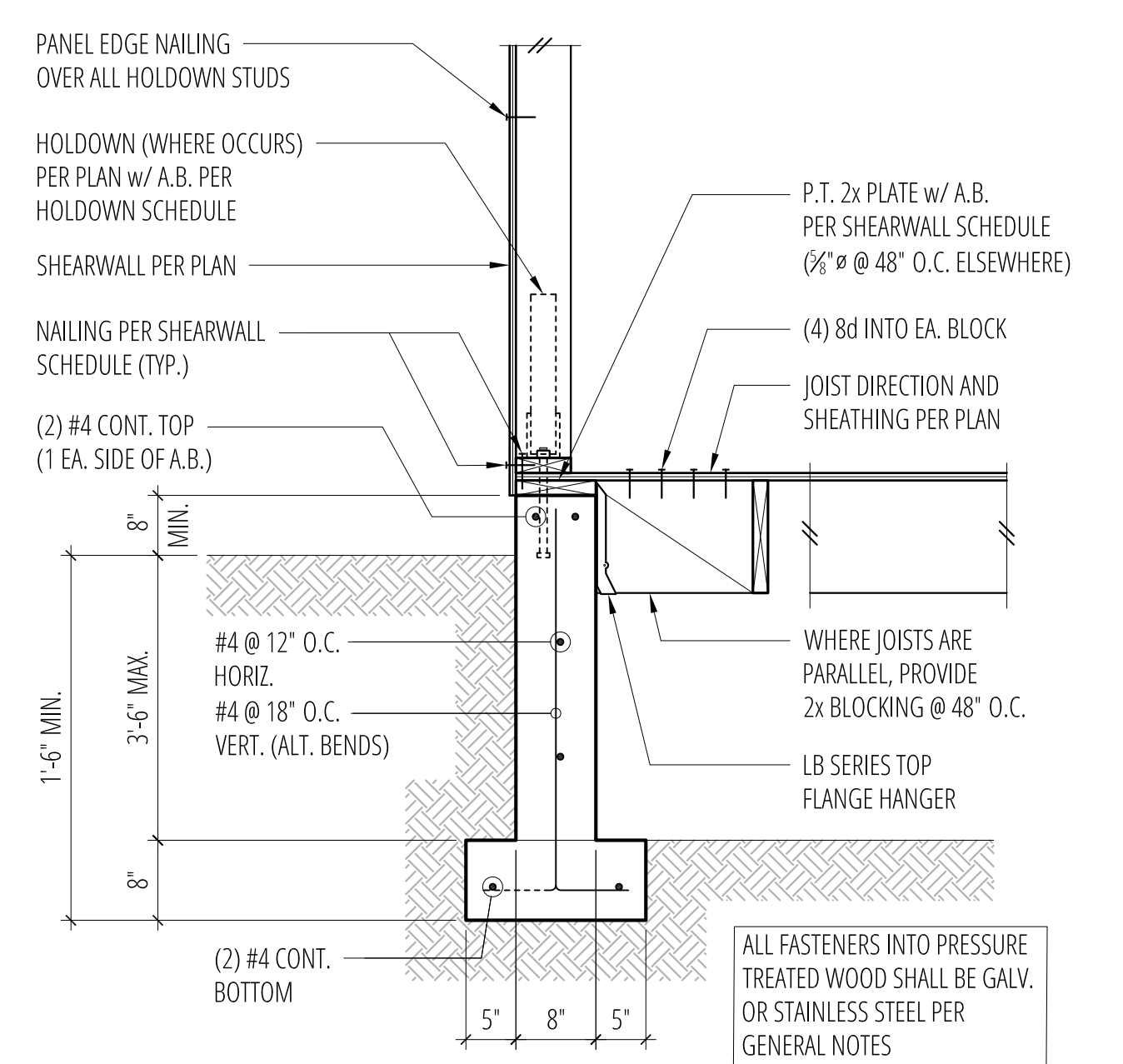
General Structural Notes

Sheet No.

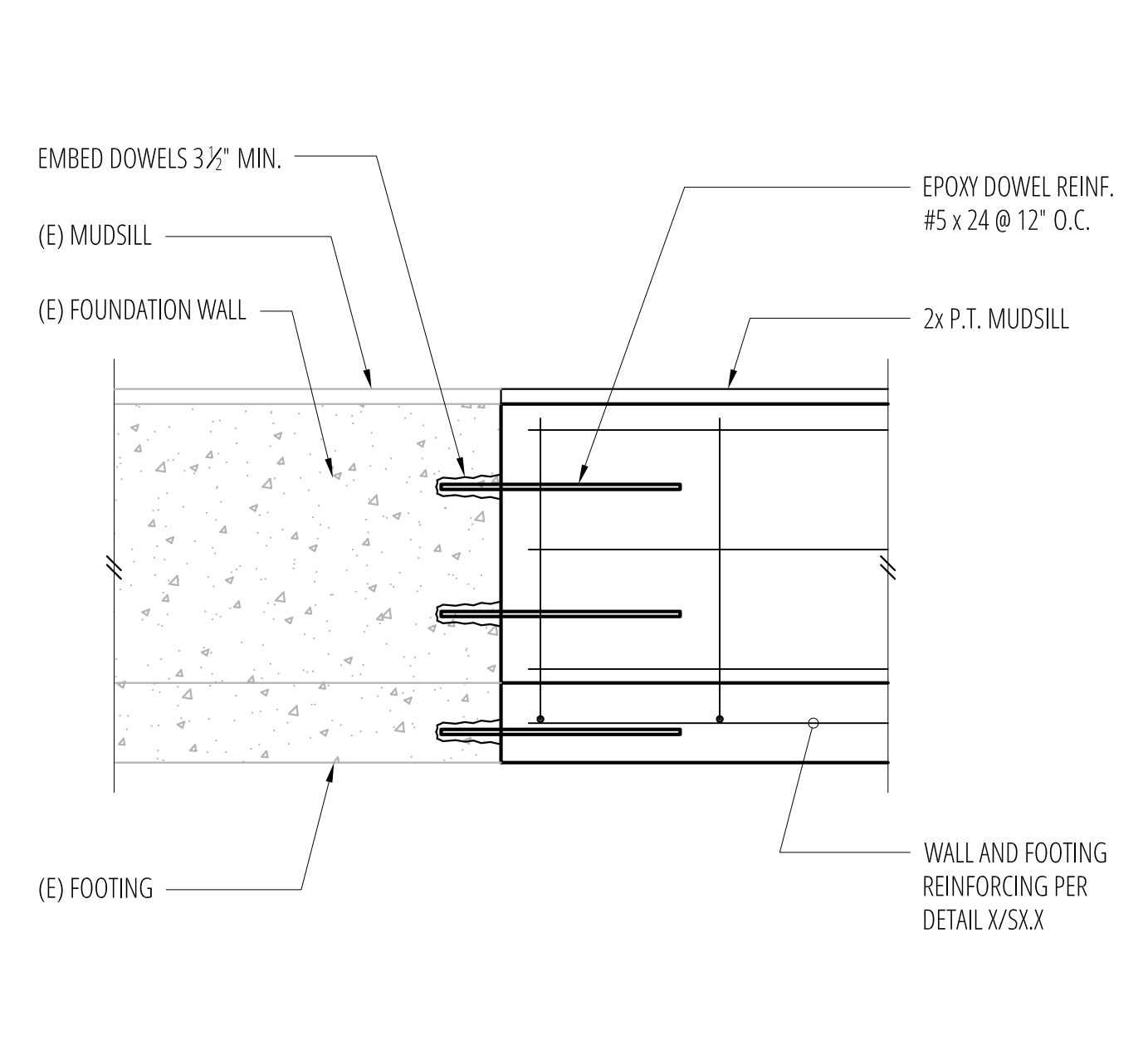
S1.1



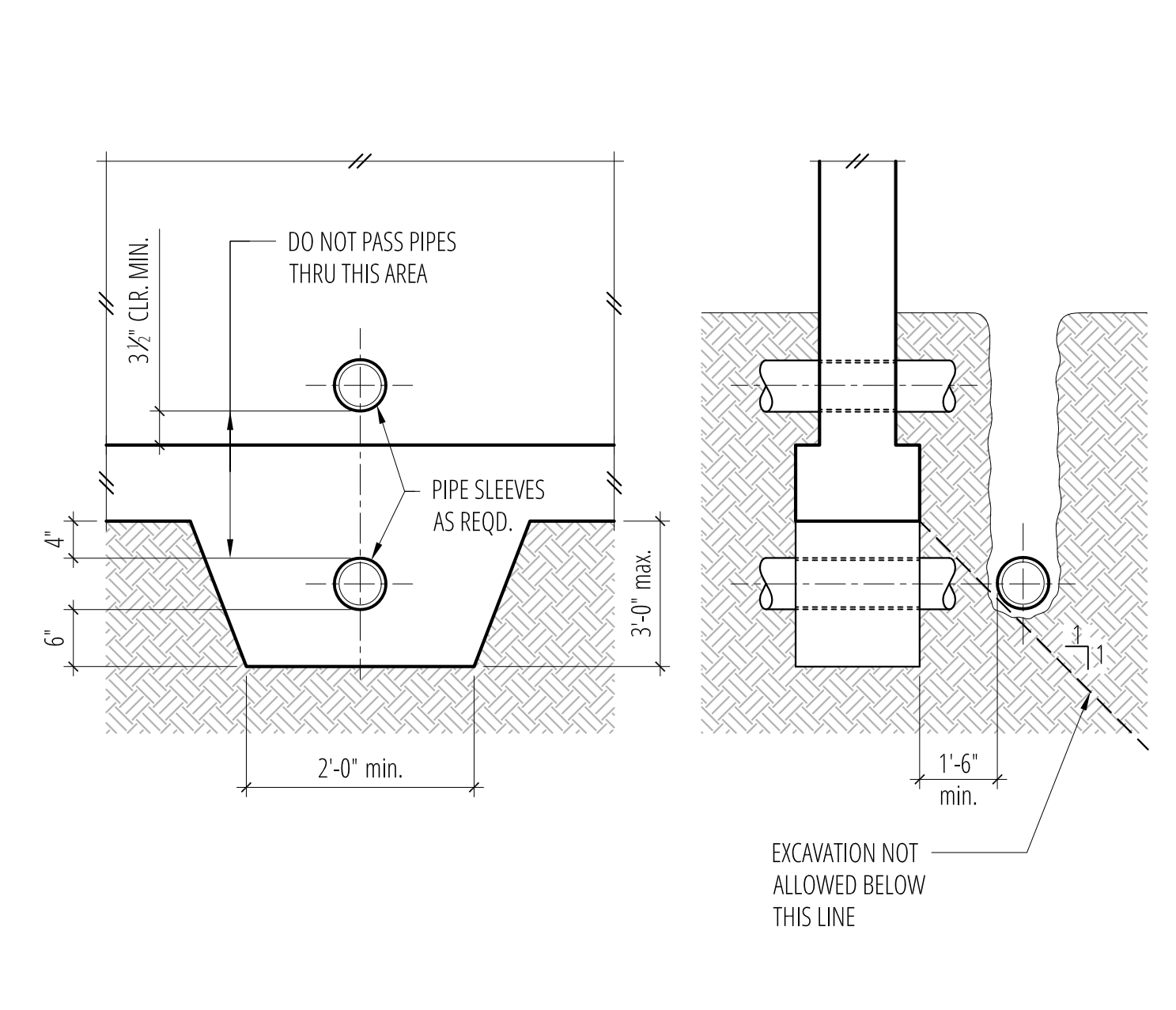
**1 Interior Pony Wall at Crawl Space**  
 SCALE: 3/4"=1'-0"



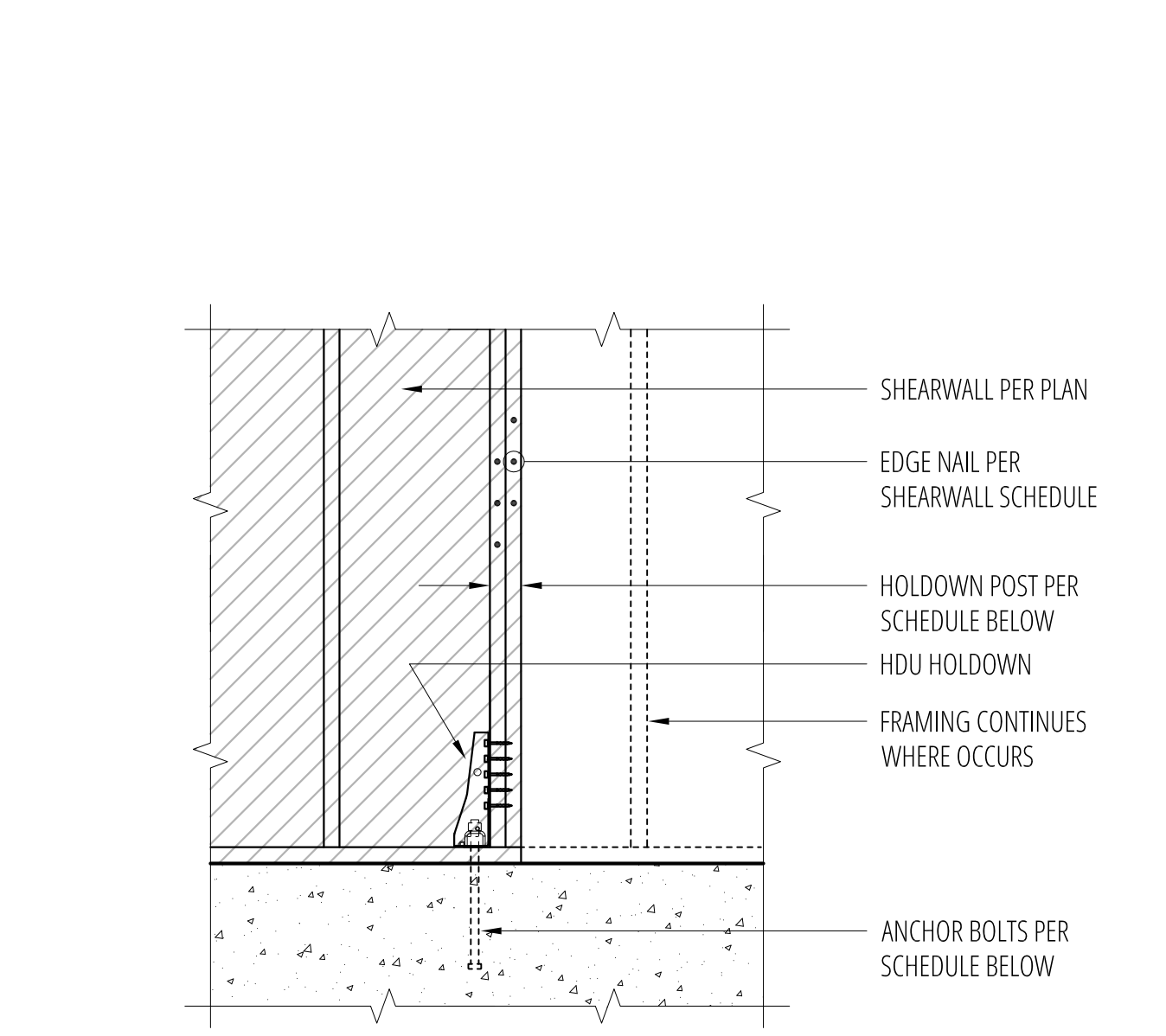
**2 Exterior Framing at Crawlspace (High Grade)**  
 SCALE: 3/4"=1'-0"



**3 Epoxy Dowel Connection at (E) Foundation**  
 SCALE: 3/4"=1'-0"



**4 Pipe and Trench Locations**  
 SCALE: 3/4"=1'-0"



**Holdown Schedule**

Plan Mark	Screws	Anchor Bolt ②	A.B. Embed	Holdown Post ①		Capacity #
				IF 2x4	IF 2x6	
HDU2-SDS2.5	(6) SDS 3/4" x 2 1/2"	SSTB16	12 3/8"	(2) 2x4	4x6	2215/3075
HDU4-SDS2.5	(10) SDS 3/4" x 2 1/2"	SB 3/8" x 24	18"	4x4	4x6	4565
HDU5-SDS2.5	(14) SDS 3/4" x 2 1/2"	SB 3/8" x 24	18"	4x4	4x6	5645
HDU8-SDS2.5	(20) SDS 3/4" x 2 1/2"	SB 3/8" x 24	18"	4x4	4x6	6970
HDU11-SDS2.5	(30) SDS 3/4" x 2 1/2"	SB 1" x 30	24"	4x8	6x6	9535
HDU14-SDS2.5	(36) SDS 3/4" x 2 1/2"	SB 1 1/2" x 30	24"	4x8	6x6	10770

① MINIMUM SIZE OF POST AT END OF WALL UNLESS NOTED OTHERWISE ON FRAMING PLANS.  
 ② "SSTB" & "SB" REFER TO ANCHOR BOLTS BY SIMPSON STRONG-TIE. INSTALL PER MANUFACTURER.  
 ③ AT (E) FOUNDATION, PROVIDE EPOXY GROUTED THREADED ROD (DIA. PER MAUFACTURER) EMBED 12"

**9 HDU Holddown Schedule**  
 SCALE: 3/4"=1'-0"

**REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE**  
 FOR F<sub>c</sub> = 2500 psi, GRADE 60 REINFORCING

① MINIMUM STRAIGHT DEVELOPMENT LENGTH (ℓ<sub>d</sub>)

BAR SIZE	TOP BARS	OTHER BARS
#3	23"	18"
#4	31"	24"
#5	40"	30"
#6	47"	36"
#7	68"	53"
#8	78"	60"
#9	88"	68"
#10	99"	77"
#11	110"	85"

② MINIMUM LAP SPLICE LENGTHS (ℓ<sub>s</sub>)

BAR SIZE	TOP BARS	OTHER BARS
#3	31"	23"
#4	41"	31"
#5	51"	40"
#6	62"	47"
#7	89"	68"
#8	102"	78"
#9	114"	88"
#10	130"	99"
#11	143"	110"

TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM.

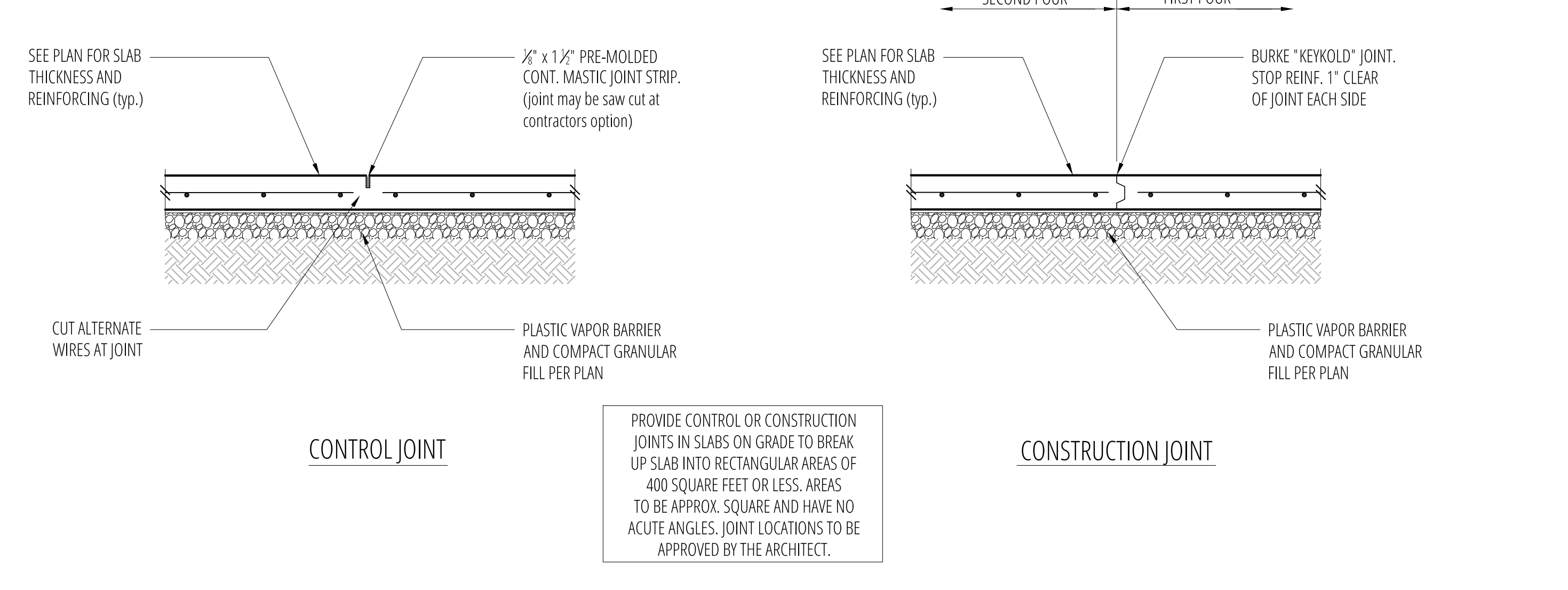
IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR, OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMETERS, THEN LENGTHS SHALL BE INCREASED BY 50%

③ MINIMUM EMBEDMENT LENGTHS (ℓ<sub>dh</sub>) FOR STANDARD END HOOKS

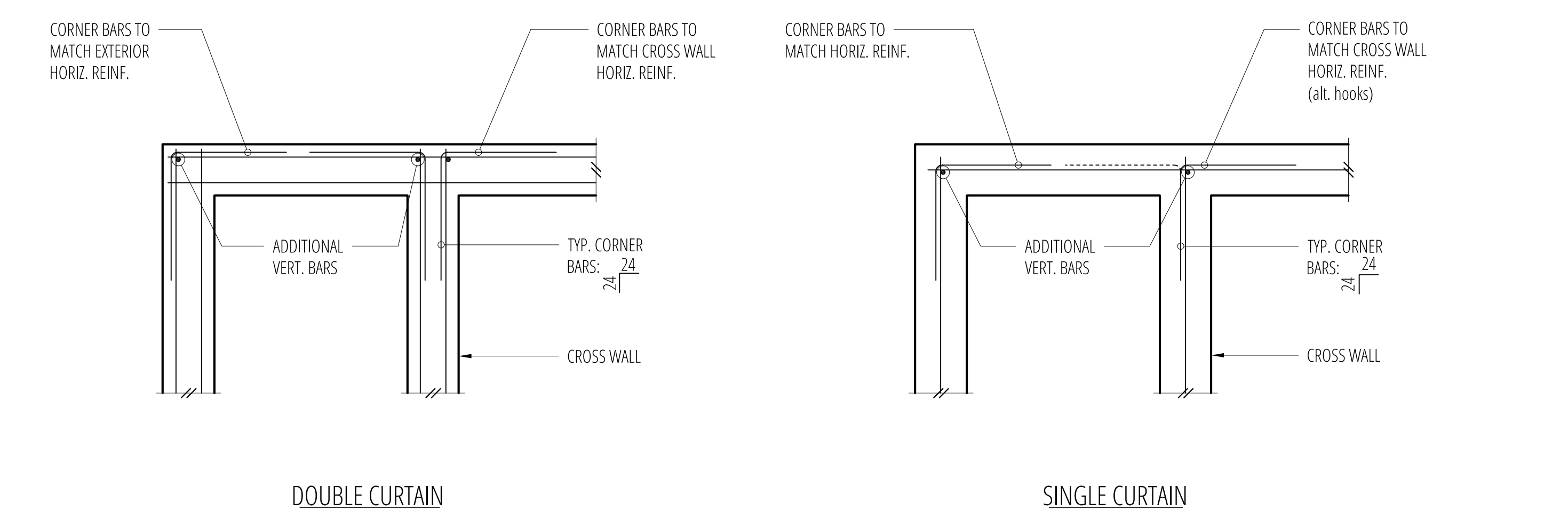
BAR SIZE	LENGTH
#3	7"
#4	9"
#5	11"
#6	13"
#7	14"
#8	17"
#9	19"
#10	21"
#11	24"

1. SIDE COVER MUST BE EQUAL TO OR GREATER THAN 2 1/2"  
 2. END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN 2"

**10 Lap Splice and Development Schedule**  
 SCALE: 3/4"=1'-0"



**7 Typical Slab Joints**  
 SCALE: 3/4"=1'-0"

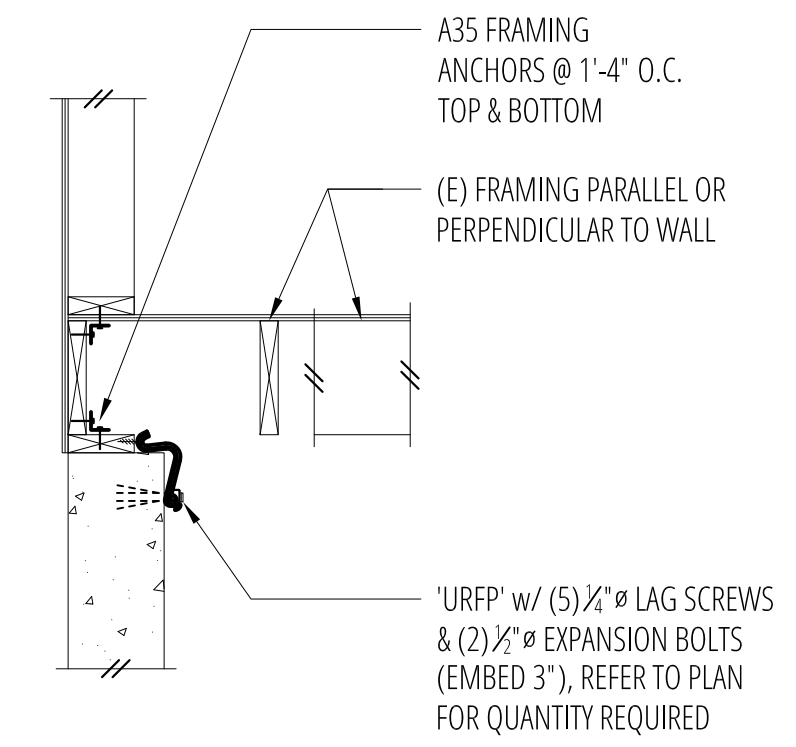
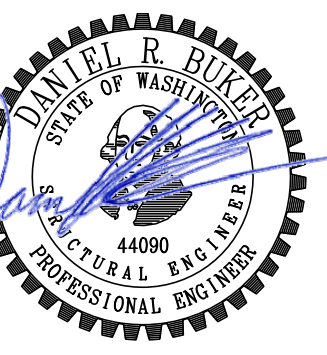


**11 Typical Corner Bars at Concrete Walls and Footings**  
 SCALE: 3/4"=1'-0"

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Sheet Contents  
 CONCRETE DETAILS

Sheet No.



1 SCALE: 3/4"=1'-0"

2 SCALE: 3/4"=1'-0"

3 SCALE: 3/4"=1'-0"

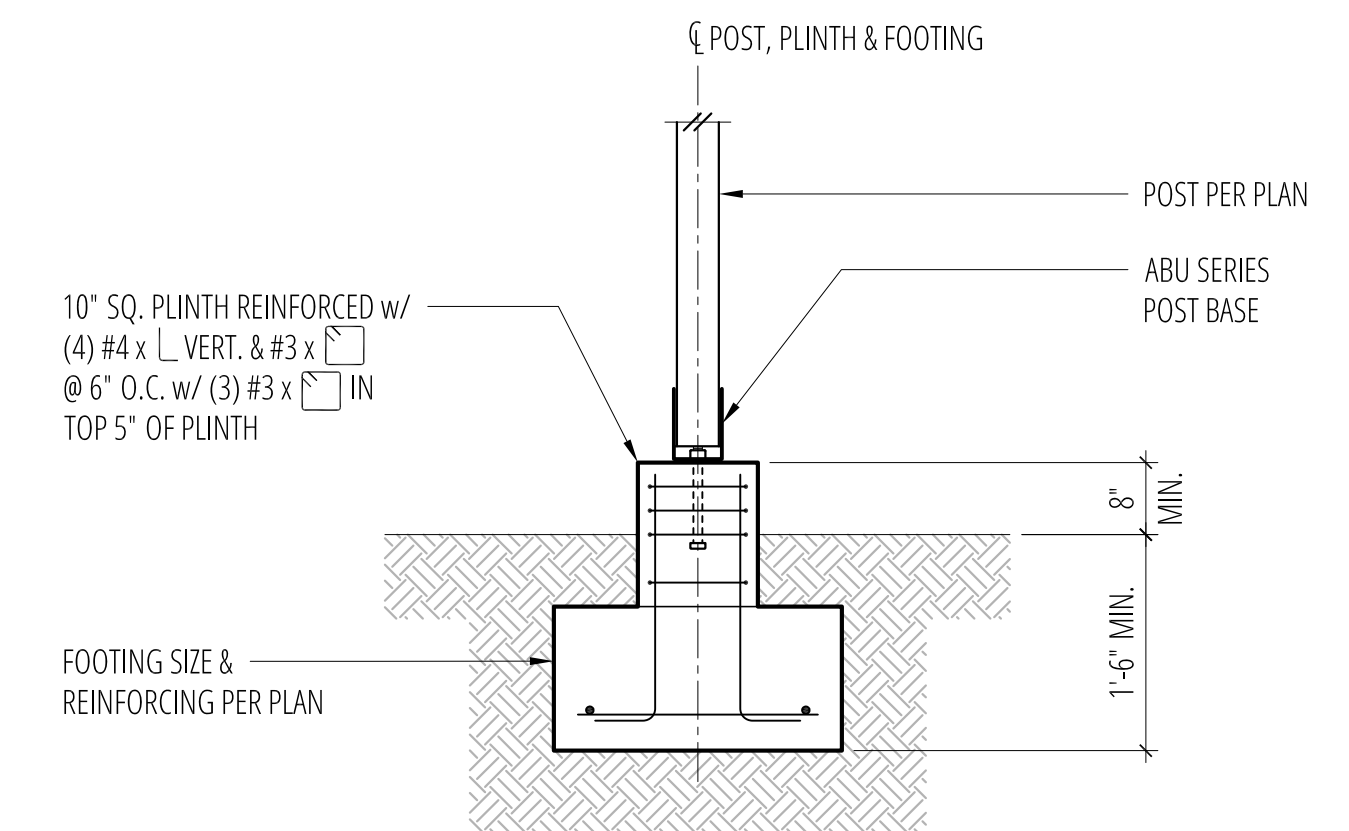
4 URFP Connection  
SCALE: 3/4"=1'-0"

5 SCALE: 3/4"=1'-0"

6 SCALE: 3/4"=1'-0"

7 SCALE: 3/4"=1'-0"

8 Deck or Canopy Post Footing  
SCALE: 3/4"=1'-0"

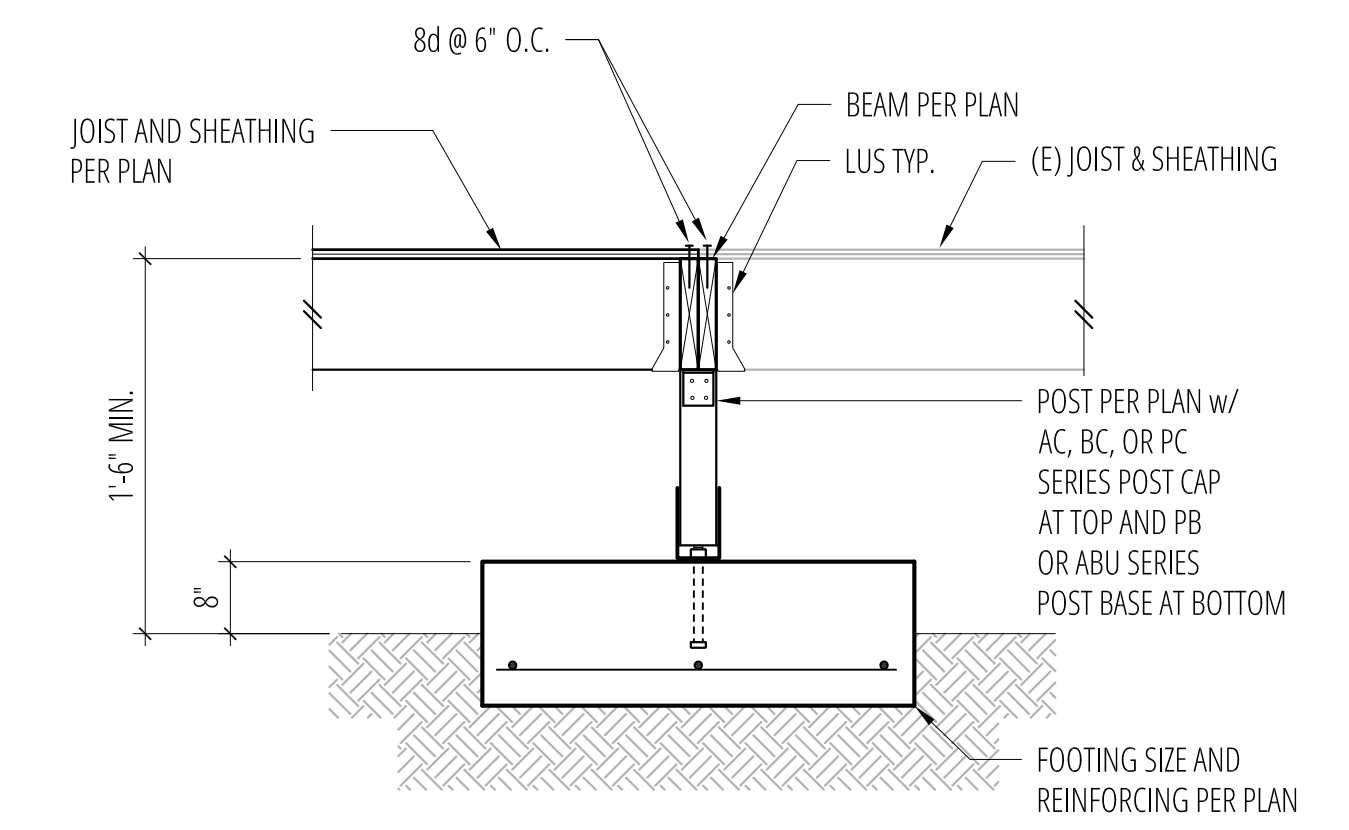


9 SCALE: 3/4"=1'-0"

10 SCALE: 3/4"=1'-0"

11 SCALE: 3/4"=1'-0"

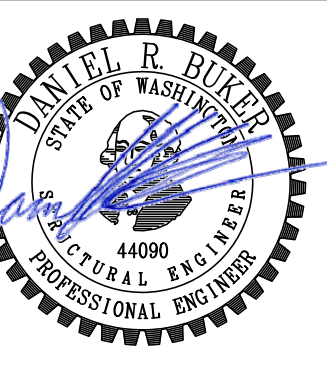
12 Post Footing at Crawl Space  
SCALE: 3/4"=1'-0"



Whitney-Gedeon Residence

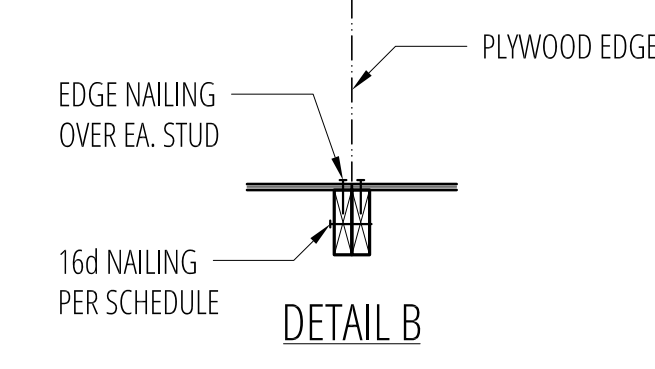
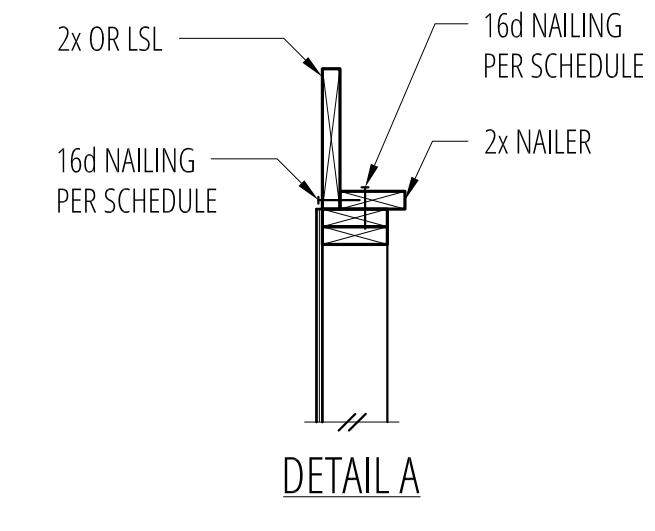
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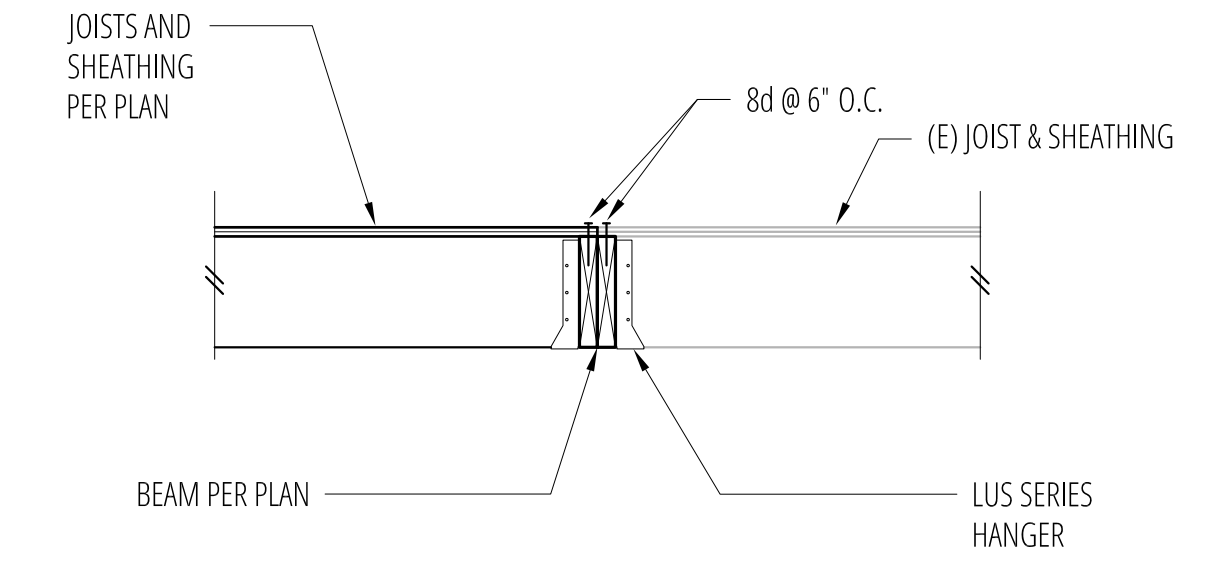
**SHEARWALL SCHEDULE** ①②③④⑤⑥⑦

MARK	SHEATHING	PANEL EDGE NAILING	TOP PLATE CONNECTION		BASE PLATE CONNECTION	
			IF TJI	IF 2x OR LSL	AT WOOD	AT CONCRETE
W6	1/2" CDX PLYWOOD	8d @ 6" OC	16d @ 6" OC	A35 @ 24" OC	16d @ 6" OC	1/2" A.B. @ 48" OC
W4	1/2" CDX PLYWOOD	8d @ 4" OC	16d @ 4" OC	A35 @ 16" OC	16d @ 4" OC	1/2" A.B. @ 32" OC
W3④	1/2" CDX PLYWOOD	8d @ 3" OC	(2) ROWS 16d @ 6" OC	A35 @ 12" OC	16d @ 3" OC ⑩	1/2" A.B. @ 16" OC
W2④	1/2" CDX PLYWOOD	8d @ 2" OC	(2) ROWS 16d @ 4 1/2" OC	A35 @ 9" OC	(2) ROWS 16d @ 4 1/2" OC ⑪	1/2" A.B. @ 12" OC



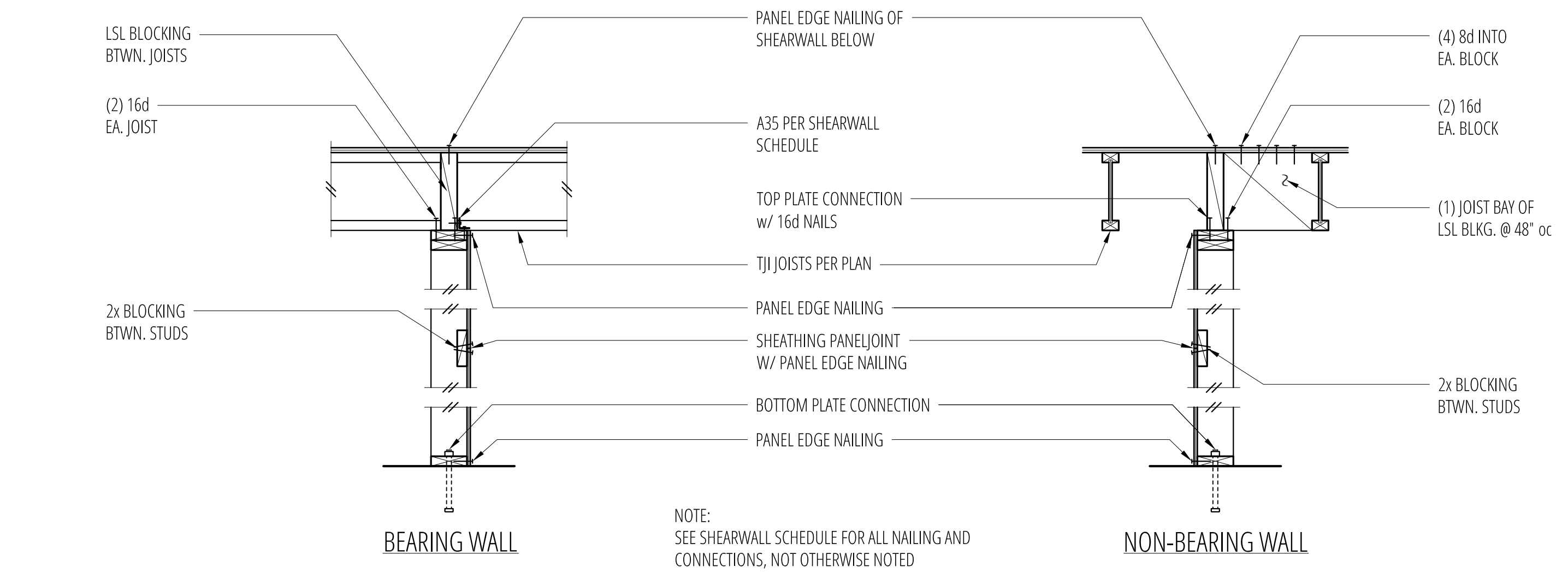
PLAN VIEW AT ABUTTING PANEL EDGES OF W3 & W2

- BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12" o.c.
- 8d NAILS SHALL BE 0.131" x 2 1/2" (common) - 16d NAILS SHALL BE 0.135" x 3 1/2" (box)
- EMBED ANCHOR BOLTS AT LEAST 7" EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/2" PLATE WASHERS. EXTEND TO WITHIN 1/2" OF THE PLYWOOD SHEATHING.
- 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- 3/16" O.S.B. MAY BE SUBSTITUTED FOR 1/2" CDX.
- LTP4'S MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- STAGGER NAILS IN ROW W/ 1/2" MIN. OFFSET.
- MINIMUM OFFSET BETWEEN ROWS 1/2", AND MINIMUM RIM OR JOIST 3 1/2" WIDE.



**2 Typical Flush Beam/Header**  
SCALE: 3/4"=1'-0"

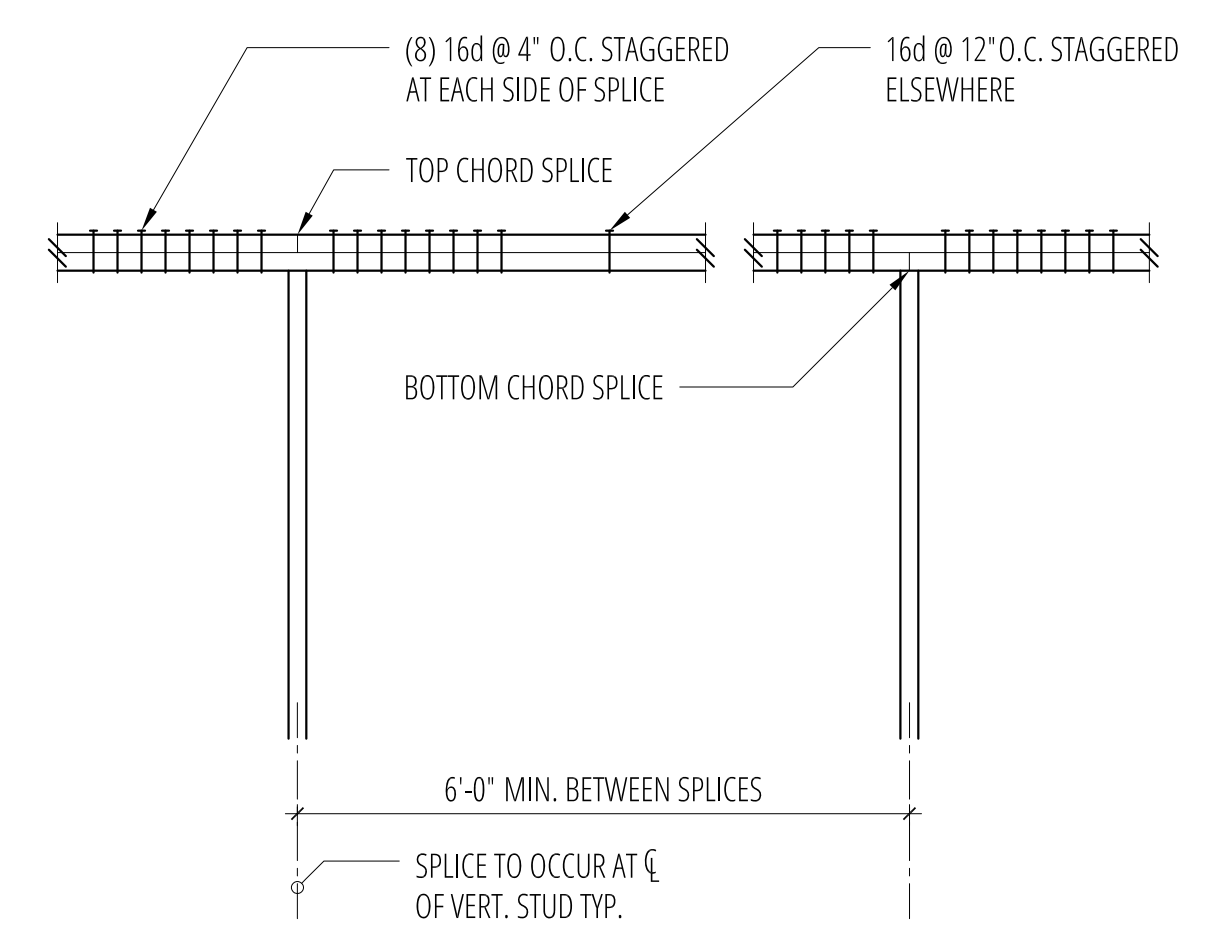
**3 Shearwall Schedule**  
SCALE: 3/4"=1'-0"



NOTE:  
SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, NOT OTHERWISE NOTED

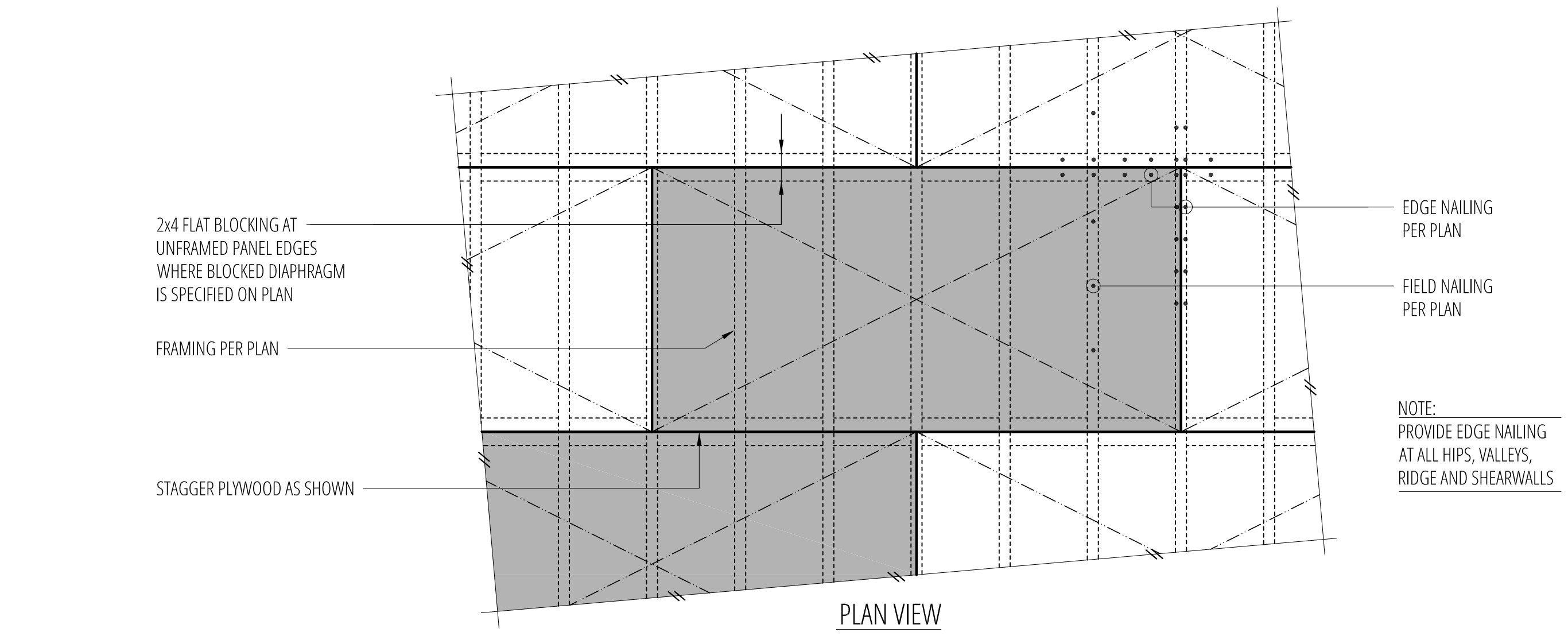
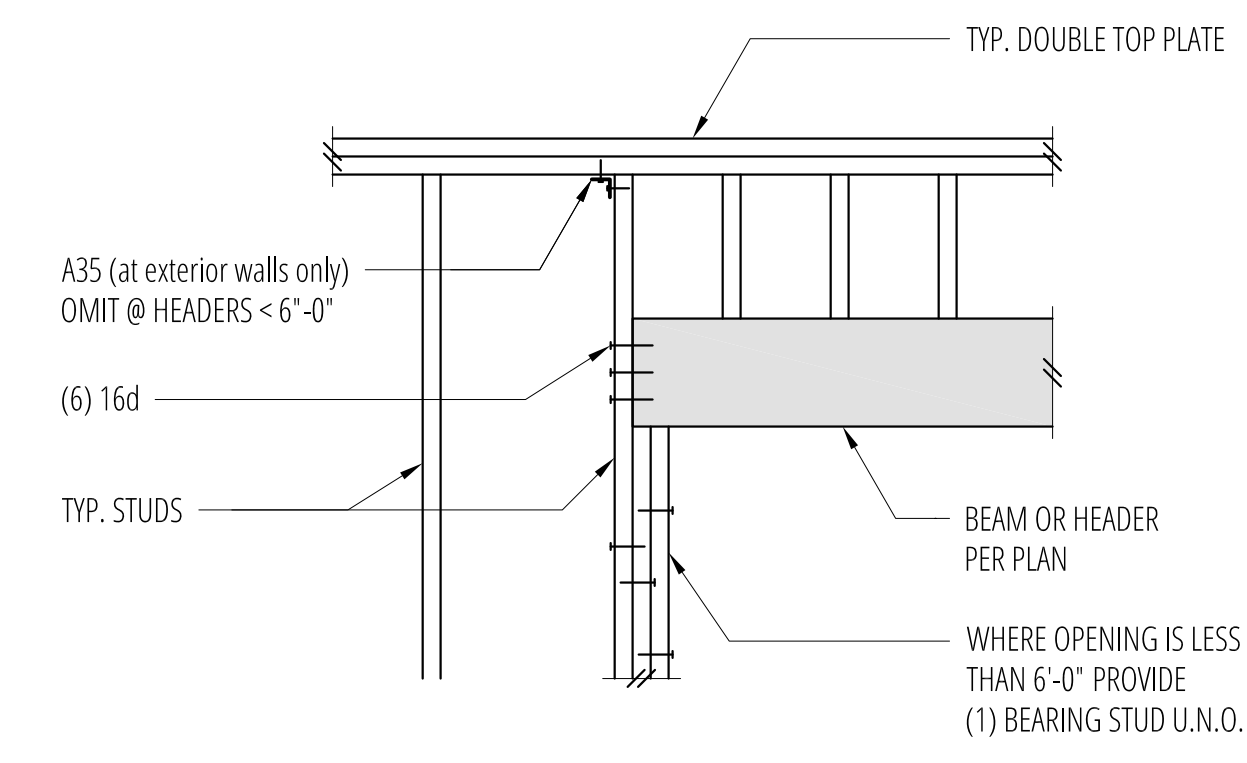
**7 Typical Shearwall Construction**  
SCALE: 3/4"=1'-0"

**1**  
SCALE: 3/4"=1'-0"

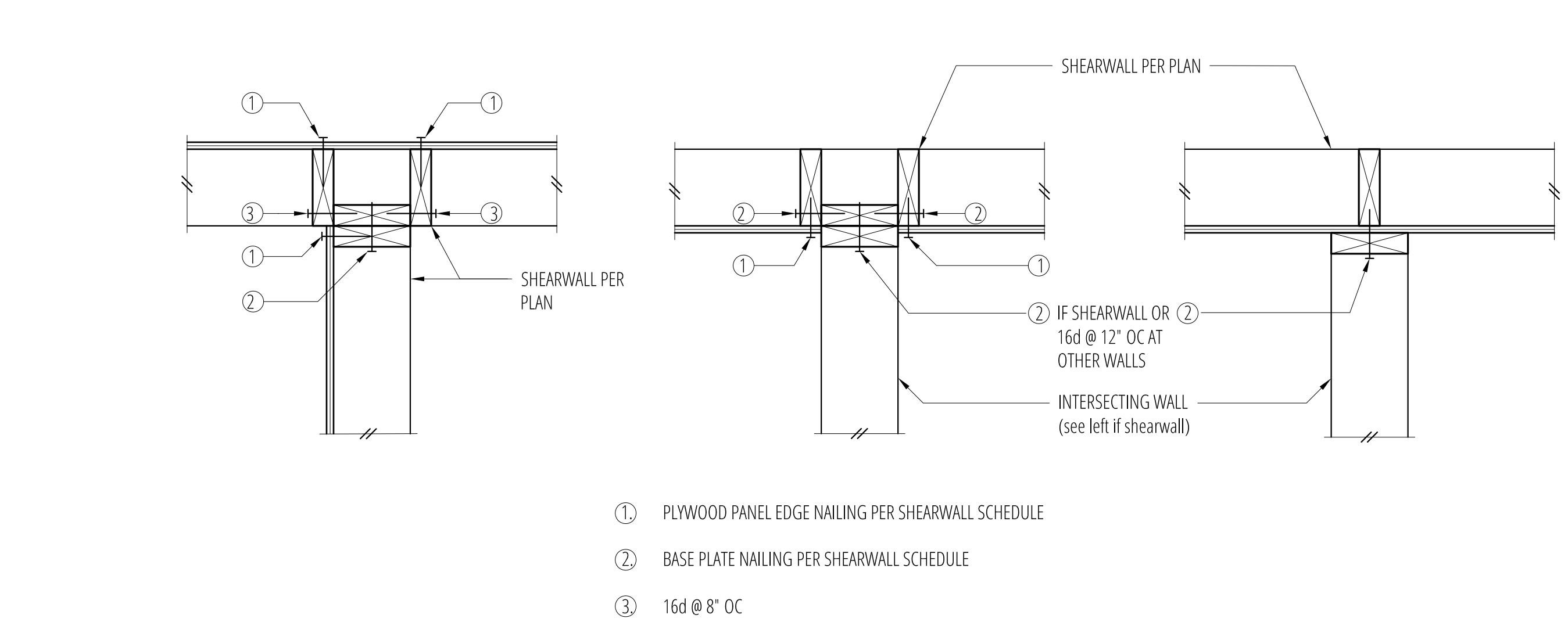


**5 Typical Top Plate Splice**  
SCALE: 3/4"=1'-0"

**6 Typical Header Support**  
SCALE: 3/4"=1'-0"

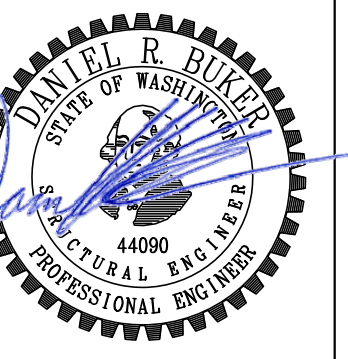


**9 Typical Diaphragm Sheathing and Nailing**  
SCALE: 3/4"=1'-0"



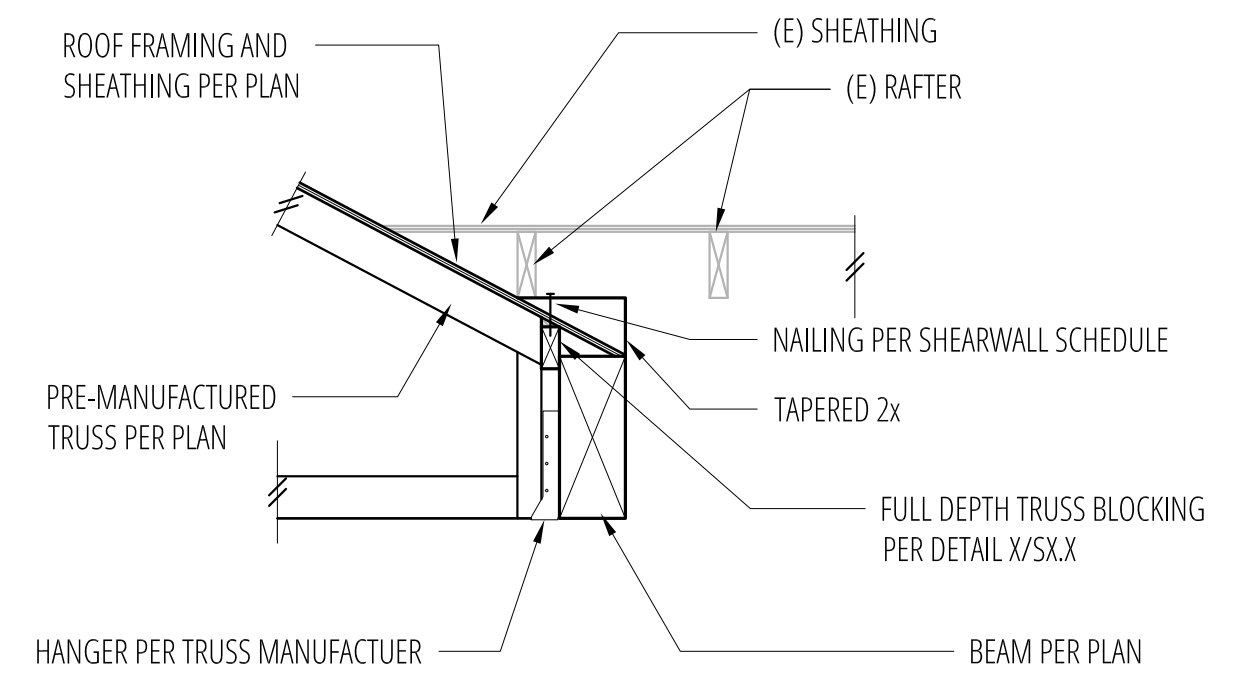
**11 Typical Shearwall Intersection**  
SCALE: 3/4"=1'-0"

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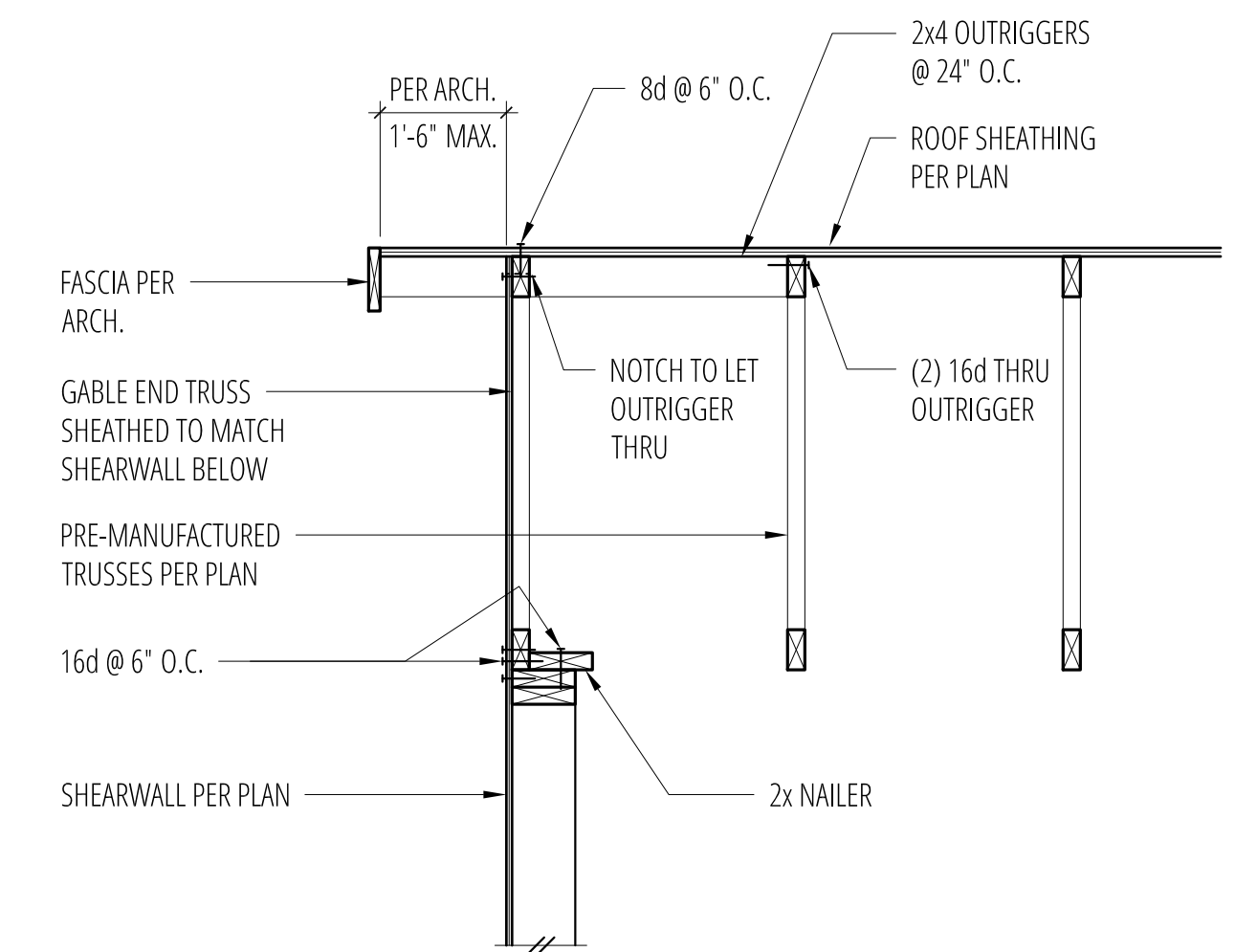


**Whitney-Gedeon Residence**

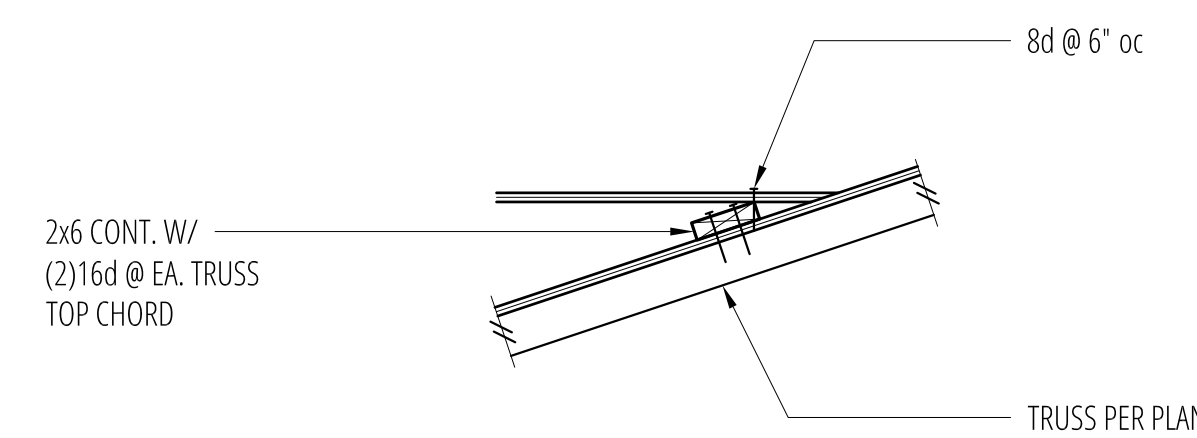
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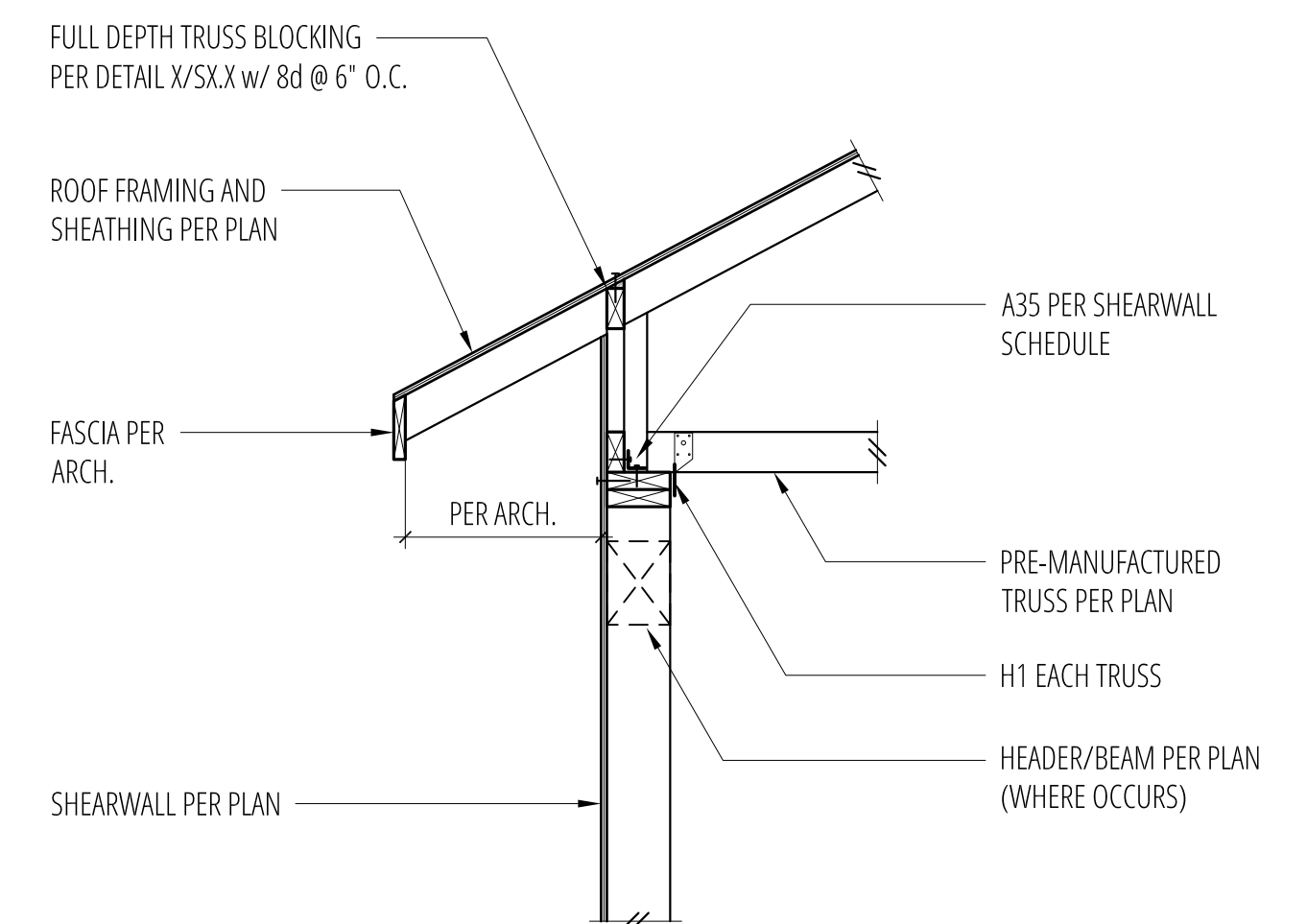
**4 Roof Connection**  
SCALE: 3/4"=1'-0"



**8 Exterior Non-Bearing Wall at Roof**  
SCALE: 3/4"=1'-0"



**11 Overframing Connection**  
SCALE: 3/4"=1'-0"



**12 Exterior Bearing Wall at Roof**  
SCALE: 3/4"=1'-0"

**1** SCALE: 3/4"=1'-0"

**2** SCALE: 3/4"=1'-0"

**3** SCALE: 3/4"=1'-0"

**5** SCALE: 3/4"=1'-0"

**6** SCALE: 3/4"=1'-0"

**7** SCALE: 3/4"=1'-0"

**9** SCALE: 3/4"=1'-0"

**10** SCALE: 3/4"=1'-0"

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Sheet Contents
ROOF FRAMING DETAILS

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