

SITE ADDRESS:
VICINITY OF 88TH AVENUE SOUTHEAST AND SOUTHEAST 48TH STREET
MERCER ISLAND, WASHINGTON 98040

TAX PARCEL NUMBER:
275700-0050-00

ZONING:
R-9.6 = RESIDENTIAL 9.6

FLOOD MAP:
LOCATED IN ZONE "X" AND IS OUTSIDE 500 YEAR FLOODPLAIN PER FLOOD INSURANCE RATE MAP
NUMBER 530330675F, MAP NOT PRINTED.

AREA:
TOTAL SITE AREA IS 13,746 SQUARE FEET OR 0.31 ACRES.

METHOD OF SURVEY:
INSTRUMENTATION FOR THIS SURVEY WAS A LEICA TOTAL STATION UNIT. PROCEDURES USED IN THIS
SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS WASHINGTON STATE
STANDARDS SET BY WAC 332-130-090.

UNDERGROUND UTILITIES:
BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN
THE FIELD. GEODIMENSIONS ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT
RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL
LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY.
AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.

VERTICAL DATUM:
NAVD88 PER GPS
THE ACCURACY OF ELEVATIONS SHOWN MEET OR EXCEED THE STANDARDS SET BY WAC 332-130-080.

SITE BENCHMARK: SEWER MH RIM IN CUL-DE-SAC, ELEV=334.87

BASIS OF BEARING:
CENTERLINE OF SOUTHEAST 48TH STREET BEARS SOUTH 88°11'03" EAST PER PLAT

LEGAL DESCRIPTION:
LOT 5, GILBERT ADDITION, AS PER PLAT RECORDED IN VOLUME 74 OF PLATS, PAGE 47, RECORDS OF
KING COUNTY.

SITUATE IN THE CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON.

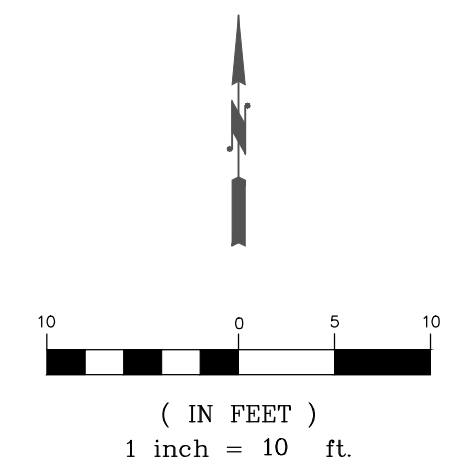
REFERENCE:
LEGAL DESCRIPTION BASED ON DEED FURNISHED BY RIDDELL WILLIAMS, RECORDED IN KING COUNTY
UNDER INSTRUMENT NUMBER 20110926000363, DATED SEPTEMBER 26, 2011.

Edwin J. Zhang Jr.
EDWIN J. ZHANG JR. PLS#15022

5/12/2015
DATE

SURVEY LEGEND

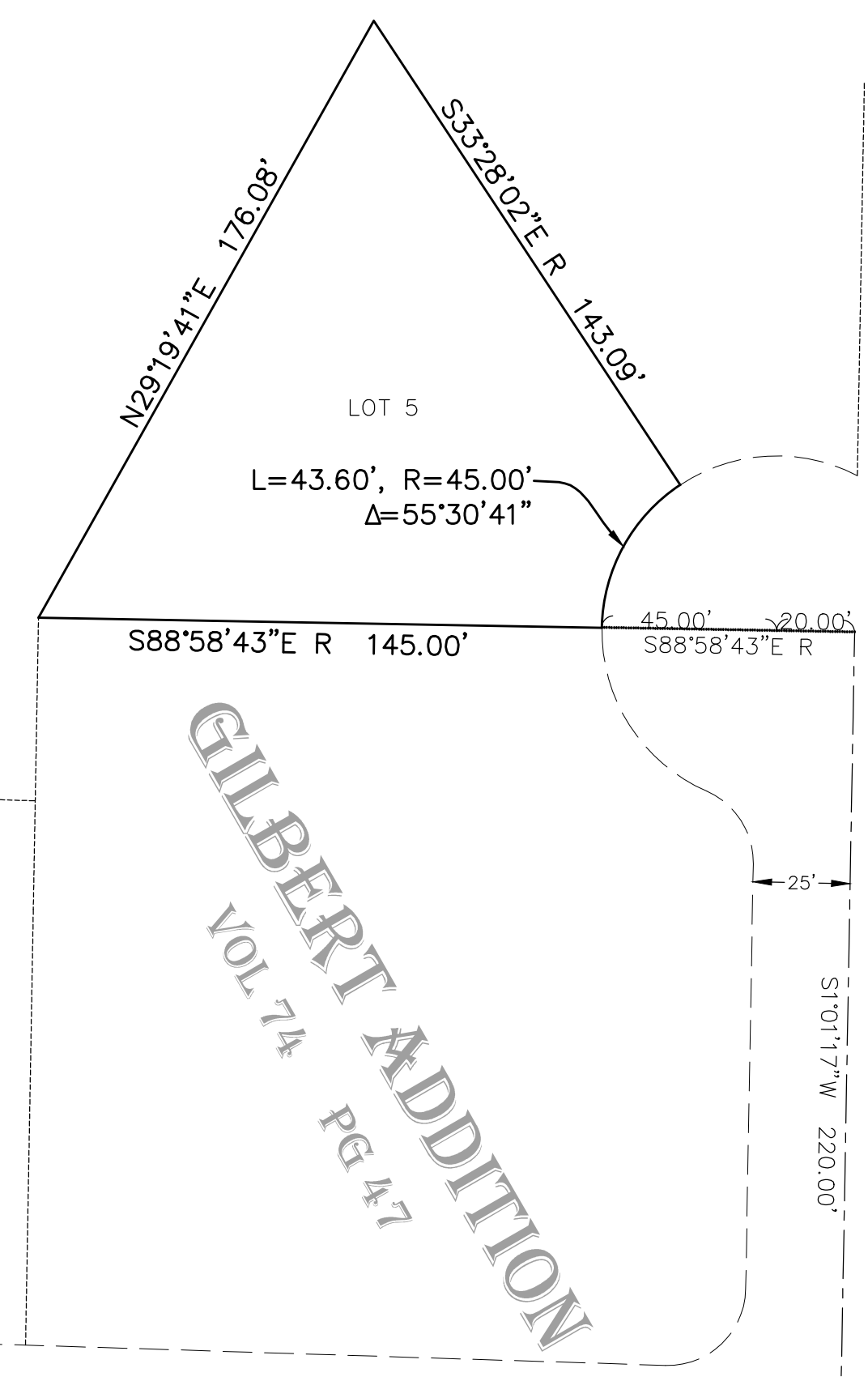
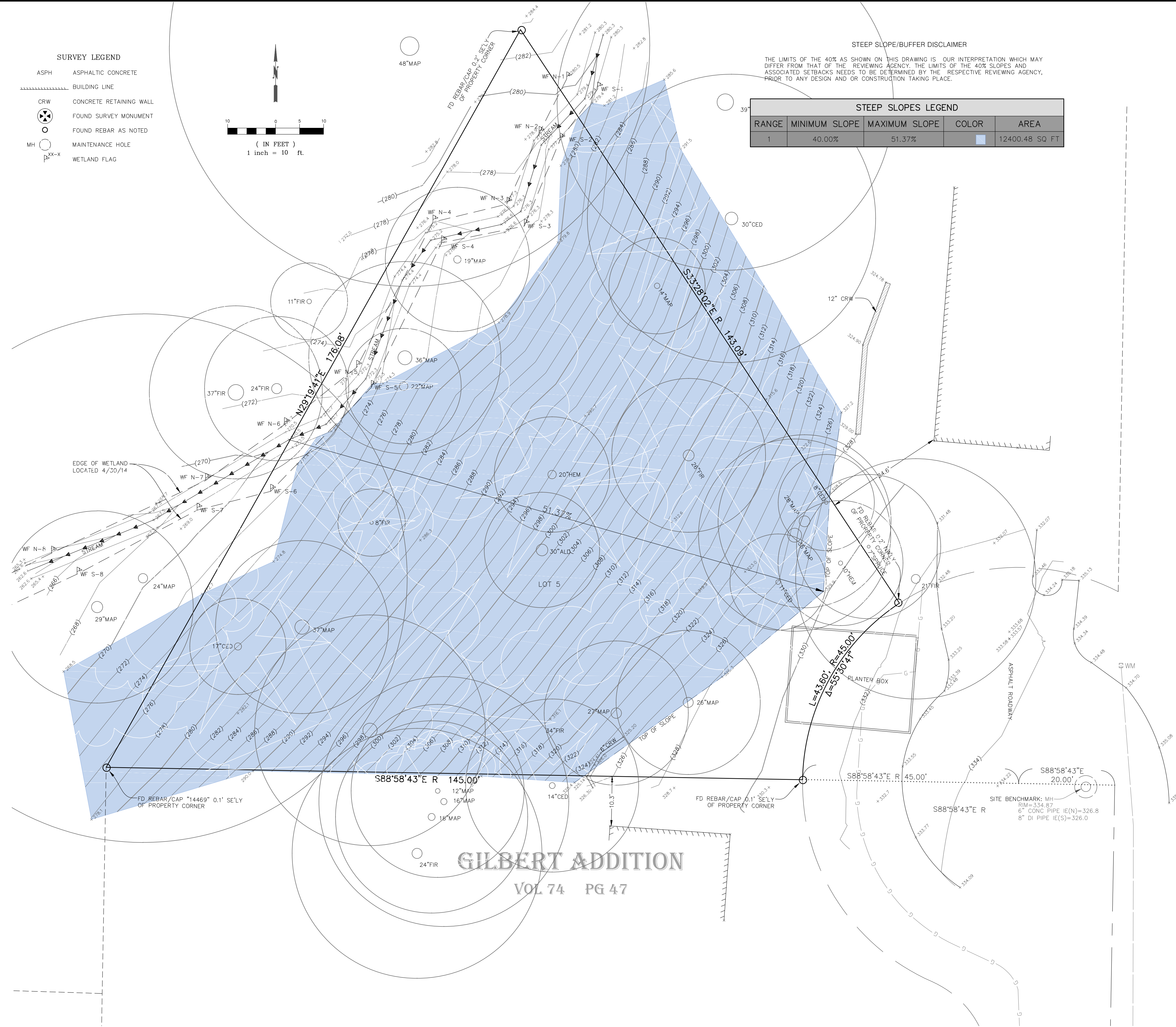
ASPH	ASPHALTIC CONCRETE
—————	BUILDING LINE
CRW	CONCRETE RETAINING WALL
⊗	FOUND SURVEY MONUMENT
○	FOUND REBAR AS NOTED
MH	MAINTENANCE HOLE
⊗	WETLAND FLAG



STEEP SLOPE/BUFFER DISCLAIMER

THE LIMITS OF THE 40% AS SHOWN ON THIS DRAWING IS OUR INTERPRETATION WHICH MAY DIFFER FROM THAT OF THE REVIEWING AGENCY. THE LIMITS OF THE 40% SLOPES AND ASSOCIATED SETBACKS NEEDS TO BE DETERMINED BY THE RESPECTIVE REVIEWING AGENCY, PRIOR TO ANY DESIGN AND OR CONSTRUCTION TAKING PLACE.

STEEP SLOPES LEGEND				
RANGE	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA
1	40.00%	51.37%	[Blue Shaded Area]	12400.48 SQ. FT.



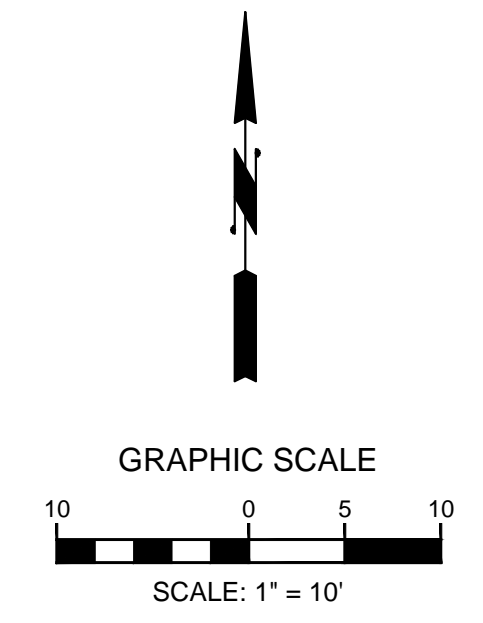
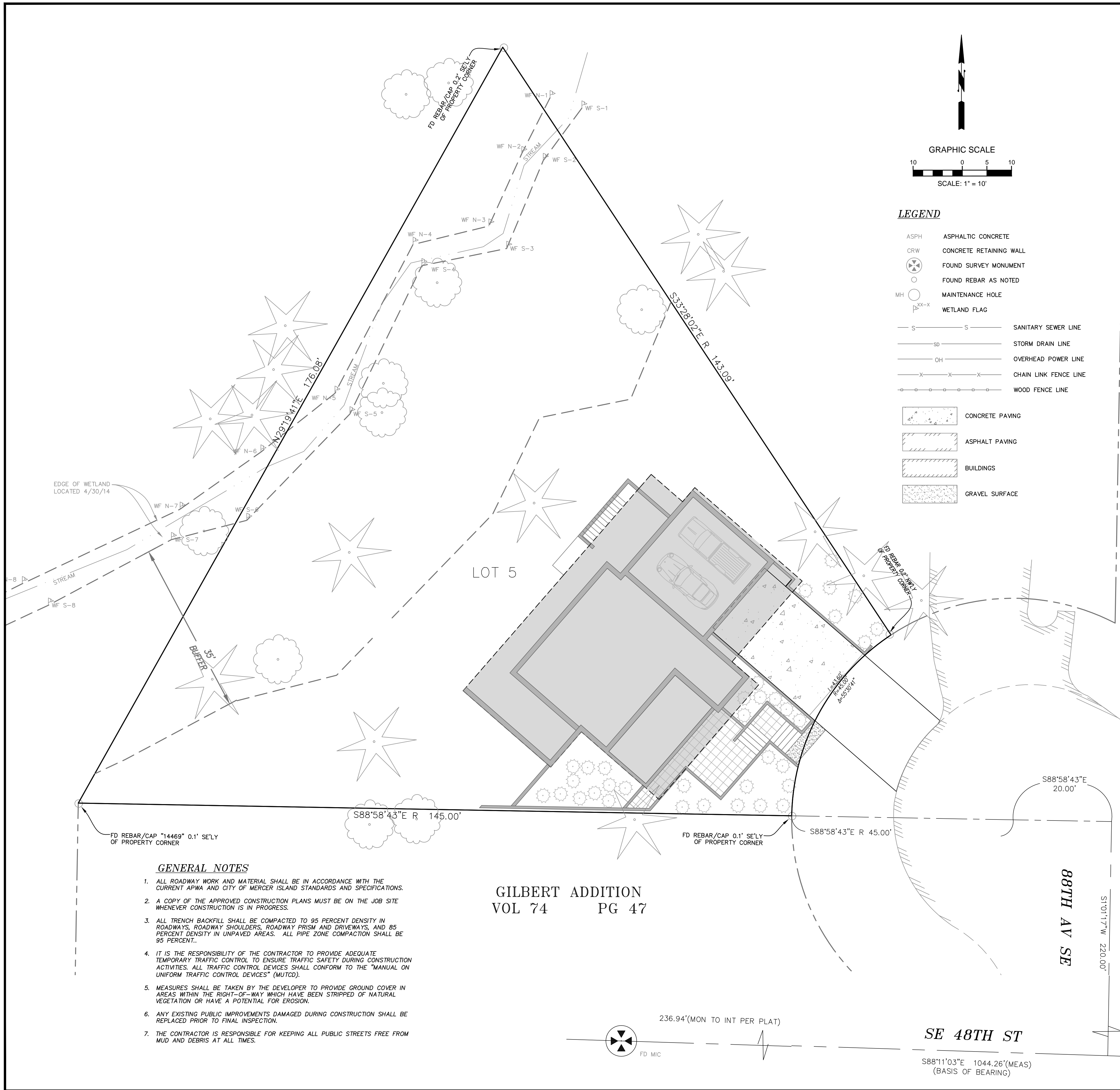
SE 48TH ST

GeoDimensions
GeoDimensions, Inc., 10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425-458-4488 support@geodimensions.net www.geodimensions.net

NO.	REVISION	DATE
4	ADDED UTILITIES AND INVERT INFO	5/12/15
3	LOCATED UTILITIES THROUGH THE LOT SITE BENCHMARK NOTE (TLE)	5/12/15
2	WETLAND FLAG AS ADJACENT HOUSES & WALL LOCATED (TLE)	5/12/15
1	ADDED MAX. SLOPE (TLE)	5/17/14

TOPOGRAPHIC SURVEY
SW 1/4, SW 1/4 OF SEC 18, TWP 24N, RGE 5E, WM
ZHANG
275700-0050-00
MERCER ISLAND
WASHINGTON

JOB NO.:	13994
DATE:	10/17/2013
DRAFTED BY:	CJC
CHECKED BY:	EJG
SCALE:	1" = 10'
1 OF 1	



LEGEND

ASPH	ASPHALTIC CONCRETE
CRW	CONCRETE RETAINING WALL
⊗	FOUND SURVEY MONUMENT
○	FOUND REBAR AS NOTED
MH	MAINTENANCE HOLE
⊗-x	WETLAND FLAG
-S-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-OH-	OVERHEAD POWER LINE
-X-X-	CHAIN LINK FENCE LINE
-O-O-	WOOD FENCE LINE
[Pattern]	CONCRETE PAVING
[Pattern]	ASPHALT PAVING
[Pattern]	BUILDINGS
[Pattern]	GRAVEL SURFACE



VICINITY MAP
NOT TO SCALE

PROJECT DATA

PROPERTY ADDRESS: VICINITY OF 88TH AVENUE SE AND SE 48TH STREET
 MERCER ISLAND, WASHINGTON 98040
 TAX LOT NUMBER: 275700-0050
 SITE AREA: 13,746 SF (0.31 ACRES)
 ZONING: R-9.6 = RESIDENTIAL 9.6

PROJECT TEAM

OWNER: VIEWCREST CAPITAL LLC
 11900 NE 1ST STREET, SUITE 300
 BELLEVUE, WA 98005
 (425) 449-4160
 CONTACT: ANDREW PARK

ARCHITECT: STUDIO 19 ARCHITECTS
 207-1/2 FIRST AVE. SOUTH, STE 300
 SEATTLE, WA 98104
 (206) 466-1225

CIVIL ENGINEER: LITCHFIELD ENGINEERING
 12840 81ST AVE NE
 KIRKLAND, WA 98034
 (425) 821-5038
 CONTACT: KEITH LITCHFIELD, PE

GEOTECHNICAL: THE RILEY GROUP
 17522 BOTHELL WAY NE
 BOTHELL, WA 98034
 (425) 415-0551
 CONTACT: RICKY WANG, PHD, PE

SURVEYOR: GEODIMENSIONS, INC.
 10801 MAIN STREET, SUITE 102
 BELLEVUE, WA 98004
 (425) 458-4488
 CONTACT: EDWIN J. GREEN, PLS

LEGAL DESCRIPTION

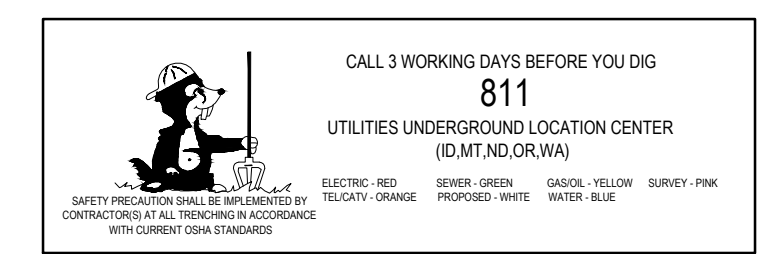
LOT 5, GILBERT ADDITION, AS PER PLAT RECORDED IN VOLUME 74 OF PLATS, PAGE 47, RECORDS OF KING COUNTY.
 SITUATE IN THE CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON.
 REFERENCE: LEGAL DESCRIPTION BASED ON DEED FURNISHED BY RIDDELL WILLIAMS, RECORDED IN KING COUNTY UNDER INSTRUMENT NUMBER 20110926000363, DATED SEPTEMBER 26, 2011.

BASIS OF BEARING

CENTERLINE OF SOUTHEAST 48TH STREET BEARS SOUTH 88°11'03" EAST PER PLAT

VERTICAL DATUM

NAVD88 PER GPS



SHEET INDEX

- COVER SHEET
- TESC PLAN
- SITE IMPROVEMENT PLAN
- DRAINAGE PROFILE & DETAILS
- CONSOLIDATED TREE & SITE IMPROVEMENT PLAN

APPROVED: _____ Date _____
 CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP

GENERAL NOTES

- ALL ROADWAY WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH THE CURRENT APWA AND CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
- A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY PRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTION SHALL BE 95 PERCENT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY TRAFFIC CONTROL TO ENSURE TRAFFIC SAFETY DURING CONSTRUCTION ACTIVITIES. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
- MEASURES SHALL BE TAKEN BY THE DEVELOPER TO PROVIDE GROUND COVER IN AREAS WITHIN THE RIGHT-OF-WAY WHICH HAVE BEEN STRIPPED OF NATURAL VEGETATION OR HAVE A POTENTIAL FOR EROSION.
- ANY EXISTING PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PRIOR TO FINAL INSPECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL PUBLIC STREETS FREE FROM MUD AND DEBRIS AT ALL TIMES.

GILBERT ADDITION
 VOL 74 PG 47

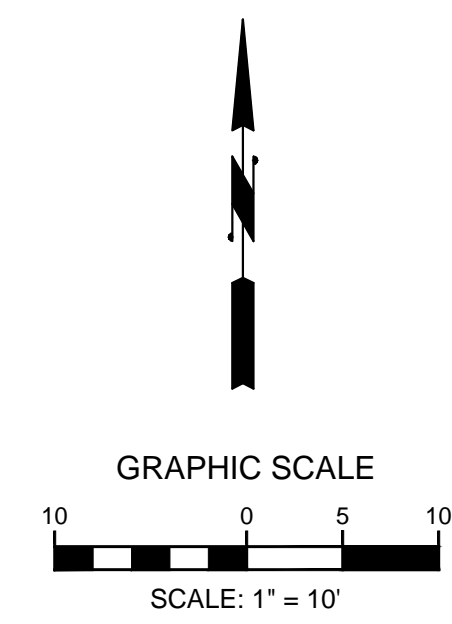
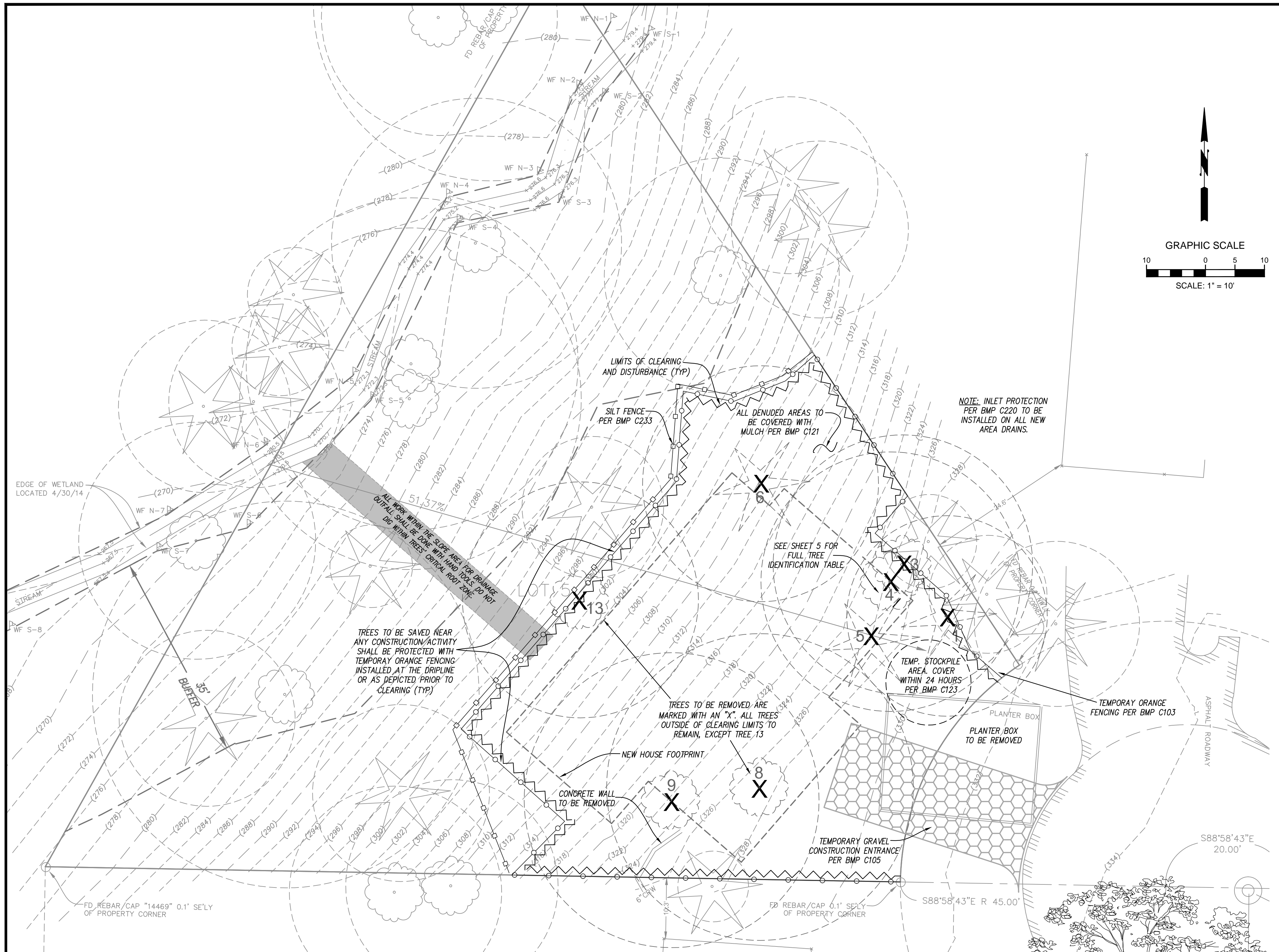
DATE	NOTES
2-12-15	SUBMITTED TO CLIENT
3-09-15	ALTERED/ADDED LANDSCAPE WALLS
5-27-15	PER CITY OF MERCER ISLAND COMMENTS
6-29-15	PER CITY OF MERCER ISLAND COMMENTS
2-27-20	PER CITY OF MERCER ISLAND COMMENTS

COVER SHEET
HOUSE 88 (470X 88TH AVE SE)

VIEWCREST CAPITAL LLC
 11900 NE 1ST STREET, SUITE 300
 BELLEVUE, WA 98005

SHEET
1 of 5

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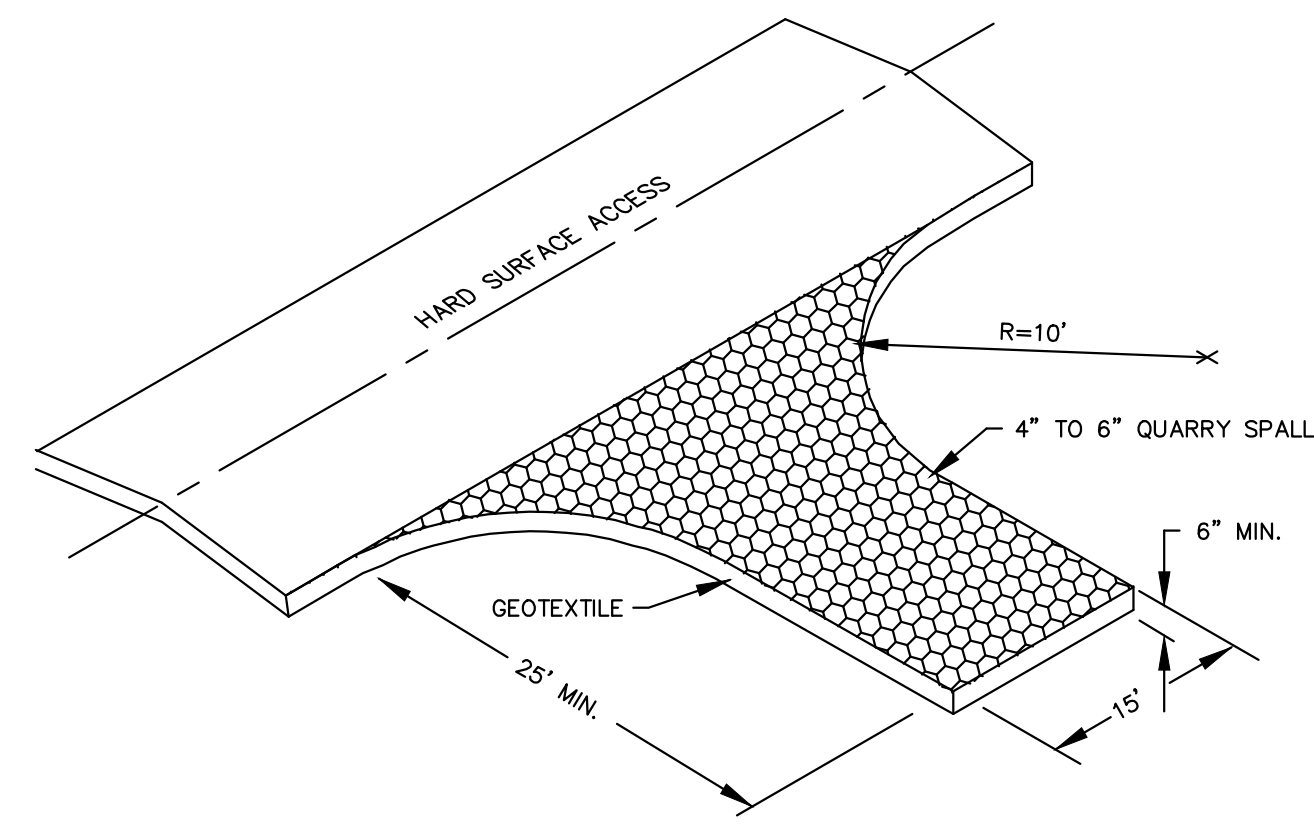


EROSION/SEDIMENTATION CONTROL NOTES

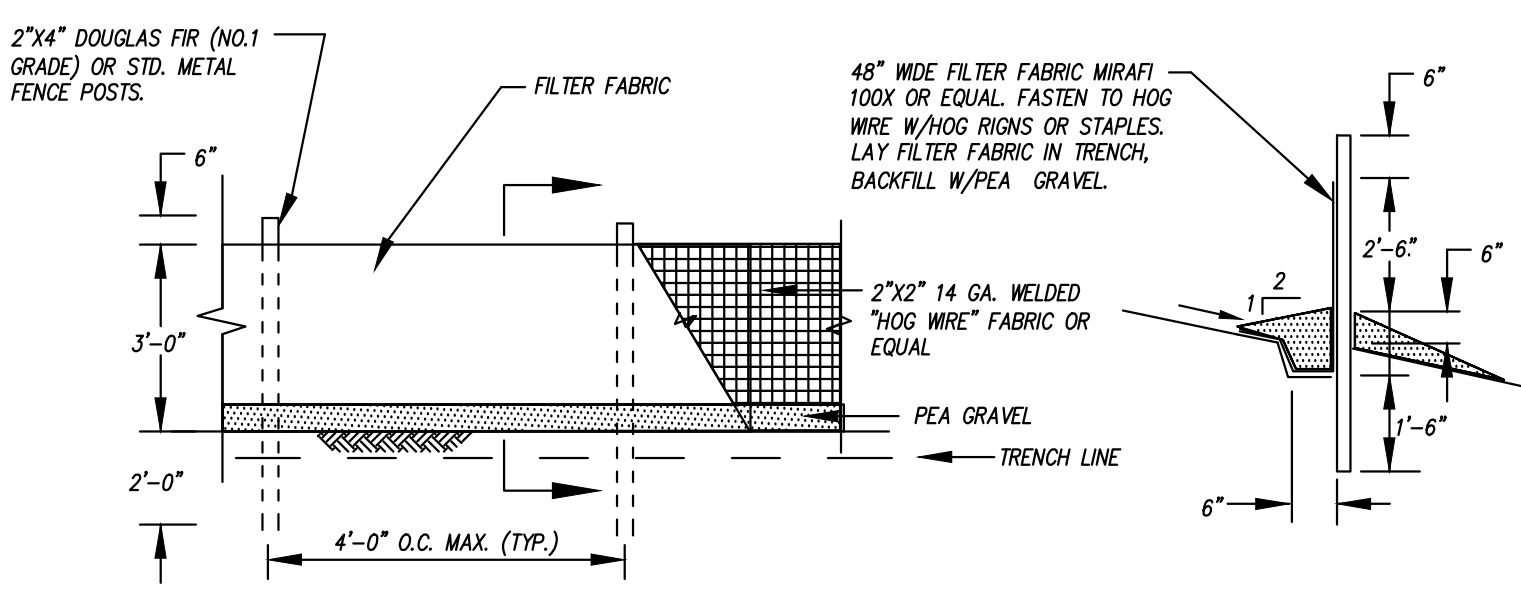
- PRIOR TO BEGINNING EARTH DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRADING, ALL CLEARING LIMITS, EASEMENTS, SETBACKS, TREES AND DRAINAGE COURSES SHALL BE CLEARLY DEFINED AND MARKED IN THE FIELD TO PREVENT DAMAGE AND OFF-SITE IMPACTS.
- CONSTRUCTION VEHICLE ACCESS AND EXIT SHALL BE LIMITED TO ONE ROUTE IF POSSIBLE. ACCESS POINTS SHALL BE STABILIZED WITH QUARRY SPALLS OR CRUSHED ROCK TO MINIMIZE THE TRACKING OF SEDIMENTS ONTO PUBLIC STREETS. WHEEL WASH OR TIRE BATHS SHALL BE LOCATED ON-SITE. IF SEDIMENT IS TRANSPORTED ONTO A ROAD SURFACE, THE PAVEMENT SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE PAVEMENT BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING WILL ONLY BE ALLOWED AFTER SEDIMENT IS REMOVED IN THIS MANNER. PAVEMENT WASHING SHALL NOT OCCUR UNTIL ALL STORM DRAIN INLETS, LOCATED DOWNSTREAM OF THE WASHING AREA, HAVE BEEN PROTECTED BY PLACEMENT OF A FILTER CLOTH UNDER THE INLET GRATE.
- PROPERTIES AND WATERWAYS DOWNSTREAM FROM THE DEVELOPMENT SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY, AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM THE PROJECT SITE.
- PRIOR TO LEAVING THE SITE, STORMWATER RUNOFF SHALL PASS THROUGH APPROVED SEDIMENT BARRIERS OR FILTERS, DIKES, OR ANY OTHER APPROVED FACILITY INTENDED TO TRAP SEDIMENT. THESE SEDIMENT CONTROLLING MEASURES SHALL BE CONSTRUCTED AS THE FIRST STEP IN GRADING. THESE FACILITIES SHALL BE FUNCTIONAL BEFORE ANY OTHER LAND DISTURBING ACTIVITY TAKES PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS SHALL BE SEEDED AND MULCHED ACCORDING TO THE TIMING INDICATED UNDER ITEM 5.
- ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY THE PLACEMENT OF SOD OR OTHER VEGETATION, PLASTIC COVERING, MULCHING, APPLICATION OF BASE ROCK WITHIN AREAS TO BE PAVED, OR SOME OTHER APPROVED MEANS, TO PROTECT THE SOIL FROM THE EROSION FORCES OF RAINDROP IMPACT AND FLOWING WATER. FROM OCTOBER 1 THROUGH APRIL 30, NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. FROM MAY 1 THROUGH SEPTEMBER 30, NO SOIL SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS. THIS CONDITION APPLIES TO ALL SOILS ON SITE, WHETHER AT FINAL GRADE OR NOT. THE SOIL STABILIZATION MEASURES SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, ESTIMATED DURATION OF USE, AND THE POTENTIAL WATER QUALITY IMPACTS THAT THE STABILIZATION MEASURES MAY HAVE ON THE DOWNSTREAM WATERS. SOIL STOCKPILES SHALL BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING MEASURES.
- CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. CONSIDER SOIL TYPE AND ITS POTENTIAL FOR EROSION. REDUCE SLOPE RUNOFF VELOCITIES BY (1) REDUCING THE LENGTH OF CONTINUOUS SLOPES BY USING TERRACING AND DIVERSIONS, (2) REDUCING THE GRADE OF THE SLOPE, AND (3) ROUGHEN SLOPE SURFACE. CONTAIN DOWNSLOPE COLLECTED WATER IN PIPES OR PROTECTED CHANNELS.
- ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR TREATED TO REMOVE SEDIMENTS.
- ALL TEMPORARY ON-SITE CONVEYANCE CHANNELS SHALL BE DESIGNED, CONSTRUCTED AND STABILIZED TO PREVENT EROSION. STABILIZATION, INCLUDING ARMORING MATERIAL, ADEQUATE TO PREVENT EROSION AT ALL DISCHARGE POINTS, ADJACENT STREAM BANKS, SLOPES AND DOWNSTREAM REACHES, SHALL BE PROVIDED.
- ALL POLLUTANTS, INCLUDING WASTE MATERIALS AND DEMOLITION DEBRIS, THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM DRAIN DOWN, SOLVENT AND DE-GREASING CLEANING OPERATIONS AND OTHER ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF, MUST BE CONDUCTED UNDER COVER AND ON IMPERVIOUS SURFACES. THESE SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILLAGE INCIDENT. WHEEL WASH, OR TIRE BATH WASTEWATER, SHALL NOT BE DISCHARGED TO THE STORM DRAIN, OR ON-SITE STORMWATER TREATMENT SYSTEM.
- ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.

CONSTRUCTION SEQUENCE:

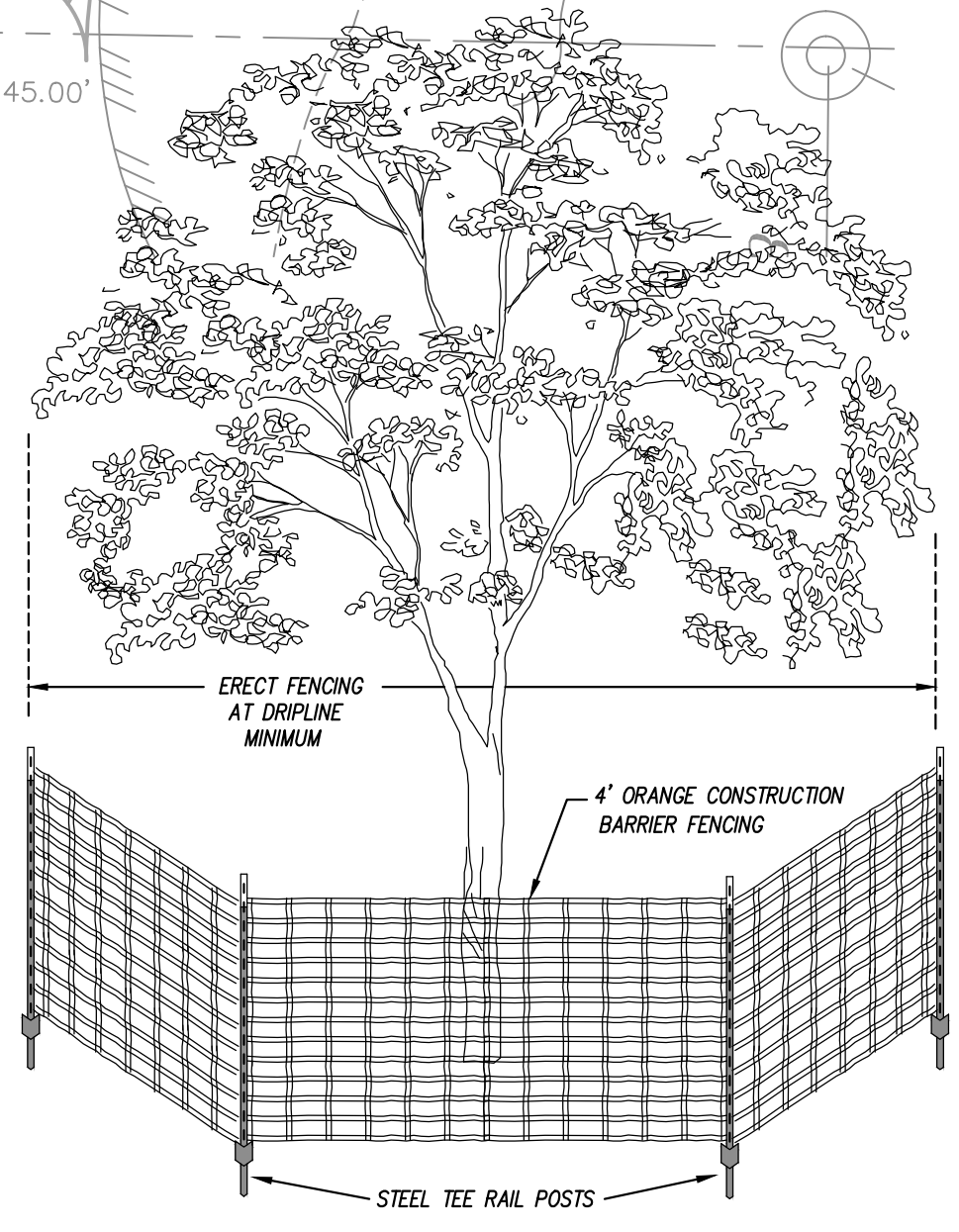
- ATTEND PRE-CONSTRUCTION MEETING
- FLAG CLEARING LIMITS
- INSTALL ORANGE TREE BARRIER FENCING
- INSPECTION BY CITY OF MERCER ISLAND INSPECTOR
- EROSION CONTROL DEVICES AND RESOURCES TO COVER ALL SOIL, IN CASE OF EROSION RISK, ARE TO BE ON THE SITE AT ALL TIMES
- CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
- CLEAR AND GRUB WITHIN CLEARING LIMITS
- SITE GRADING
- INSTALL UNDERGROUND UTILITIES
- TEMPORARY COVER OR APPLY PERMANENT VEGETATION, WHICH EVER IS APPROPRIATE
- FINISH GRADE
- APPLY PERMANENT VEGETATION AND MULCH ALL DISTURBED AREAS
- CLEAN-UP THE SITE. TEMPORARY EROSION CONTROL DEVICES MAY BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THEY ARE NO LONGER NECESSARY



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
N.T.S.



FILTER FABRIC FENCING
N.T.S.



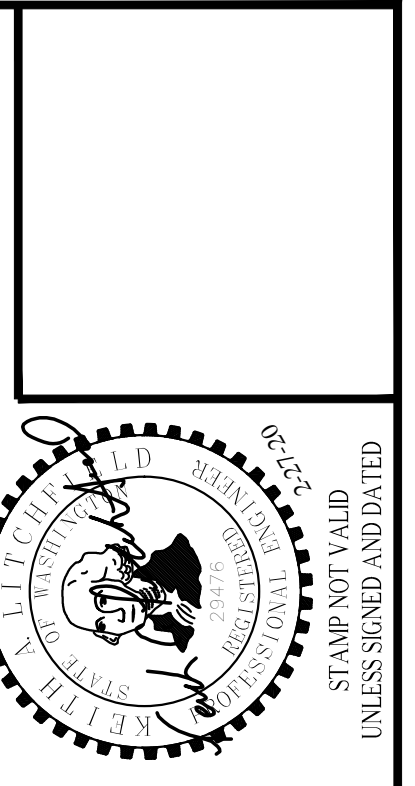
TREE PROTECTION DETAIL
N.T.S.

CALL 3 WORKING DAYS BEFORE YOU DIG
811
UTILITIES UNDERGROUND LOCATION CENTER
(ED.MT.ND.OR.WA)

SAFETY: PROTECT ALL UTILITIES. CONTRACTORS AT ALL TRENCHING OPERATIONS MUST FOLLOW THESE GUIDELINES:

ELECTRIC: RED
GAS: YELLOW
TELEPHONE: BLACK
CABLE TV: BLUE
SEWER: GREEN
WATER: WHITE
STEEL: SILVER

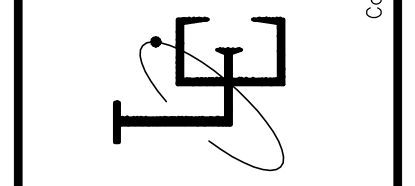
APPROVED: _____
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date _____



DATE	NOTES
2-12-15	SUBMITTED TO CLIENT
5-27-15	PER CITY OF MERCER ISLAND COMMENTS
6-29-15	PER CITY OF MERCER ISLAND COMMENTS
2-27-20	PER CITY OF MERCER ISLAND COMMENTS

LITCHFIELD ENGINEERING

12840 81ST AVENUE NE
Kirkland, WA 98034
Tel: (425) 821-5088 Fax: (425) 821-5729



T.E.S.C. PLAN
HOUSE 88 (470X 88TH AVE SE)

VIEWCREST CAPITAL, LLC
11900 NE 1ST STREET, SUITE 300
BELLEVUE, WA 98005

GRADING NOTES:

1. ALL CUT MATERIAL GENERATED DURING THE PROJECT THAT IS NOT ACCEPTABLE FOR USE AS COMPACTED FILL MATERIAL AT ANOTHER LOCATION ON-SITE MUST BE HAULED TO AN APPROVED LOCATION OFF-SITE.
2. THE ON-SITE TOPOGRAPHICAL MAPPING WAS PROVIDED BY GED DIMENSIONS, INC.
3. ALL TEMPORARY OR PERMANENT SLOPES SHALL NOT EXCEED 2H:1V UNLESS APPROVED BY A GEOTECHNICAL ENGINEER.
4. FILL MATERIAL PLACED UNDER BUILDING FOUNDATIONS OR PAVEMENT SHALL BE CRUSHED BASE ROCK OR COMPACTED STRUCTURAL FILL IN ACCORDANCE TO WSDOT STANDARD SPECIFICATIONS.
5. ROCKERY AND/OR RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT REQUIRES A BUILDING PERMIT.
6. IT WILL BE THE PERMITEE'S RESPONSIBILITY TO SUCCESSFULLY CAP AND ABANDON ALL EXISTING UTILITIES WITHIN THE DEVELOPMENT IN ACCORDANCE TO THE GOVERNING UTILITY AGENCY.

ARCHITECTURAL, STRUCTURAL & GEOTECHNICAL NOTES

1. THESE PLANS ARE APPROVED FOR STANDARD ROAD AND DRAINAGE IMPROVEMENTS ONLY. PLANS FOR STRUCTURES SUCH AS RETAINING WALLS REQUIRE A SEPARATE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
2. SPECIAL INSPECTIONS FOR GEOTECHNICAL AND/OR STRUCTURAL ASPECTS OF THE PROJECT MAY BE REQUIRED DURING VARIOUS STAGES OF THE PROJECT. CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION AND OBTAINING INSPECTIONS WHEN AND WHERE NECESSARY.
3. SEE ARCHITECTURAL PLANS FOR BUILDING SECTIONS AND ALL LOCATIONAL/DIMENSIONAL ASPECTS OF BUILDINGS.
4. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ALL BUILDING AND RETAINING WALL DETAILS.
5. COORDINATE ALL SITE CIVIL CONSTRUCTION WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL/PLUMBING AND LANDSCAPE PLANS AND IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
6. PRIOR TO CONSTRUCTION THE EARTHWORK/GENERAL CONTRACTOR TO BE COMPLETELY FAMILIAR WITH THE GEOTECHNICAL REPORT AND RECOMMENDATIONS. PLEASE REVIEW RILEY GROUP'S REPORT DATED JULY 31, 2014. CONTACT RICKY WANG, PHD., PE ON ANY QUESTIONS OR CONCERNS REGARDING HIS RECOMMENDATIONS.

SITE IMPROVEMENT NOTES

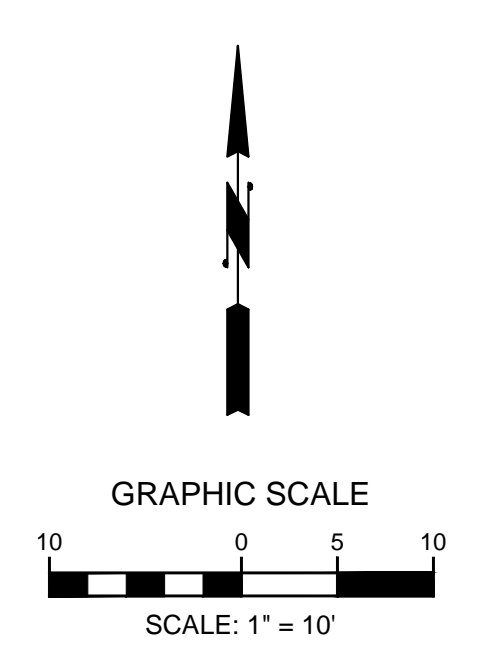
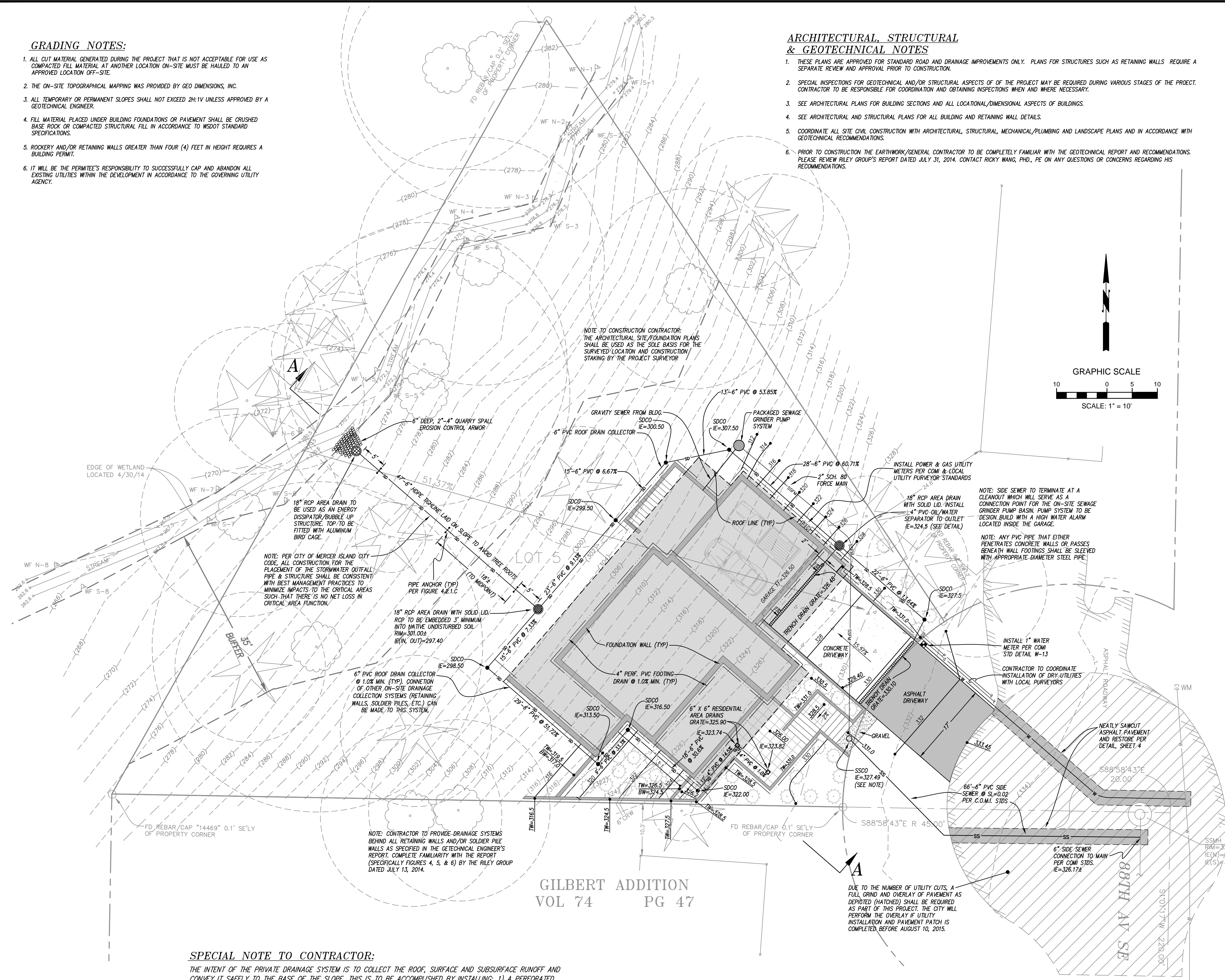
1. PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
2. THESE PLANS ARE APPROVED FOR GRADING, DRAINAGE, AND UTILITY IMPROVEMENTS ONLY. PLANS FOR STRUCTURES REQUIRE A SEPARATE REVIEW AND APPROVAL.
3. RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT REQUIRE A SEPARATE BUILDING PERMIT.
4. FILL MATERIAL PLACED UNDER BUILDING FOUNDATIONS OR PAVEMENT SHALL BE CRUSHED SHALE ROCK OR COMPACTED STRUCTURAL FILL IN ACCORDANCE WITH CITY AND WSDOT STANDARD SPECIFICATIONS.
5. ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, SHALL HAVE SOLID LOCKING LIDS.
6. THIS PLAN DOES NOT SHOW THE LOCATION OF ALL EXISTING UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES PRIOR TO EXCAVATION.
7. THE CONTRACTOR SHALL EXPOSE ALL EXISTING PIPING THAT WILL BE CONNECTED TO WITH NEW PIPING. DEPTH, LOCATION, AND CONDITION SHALL BE RELAYED TO THE ENGINEER IF CONDITIONS VARY SIGNIFICANTLY FROM WHAT IS DETAILED OR ANTICIPATED.
8. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO DETAILS AND SPECIFICATIONS OF CITY STANDARDS. ALL CONSTRUCTION DEBRIS GENERATED DURING CONSTRUCTION TO BE REMOVED & DISPOSED OF AT AN APPROVED LOCATION OFF-SITE.
9. ALL CUT MATERIAL GENERATED DURING THE PROJECT THAT IS NOT ACCEPTABLE FOR USE AS COMPACTED FILL MATERIAL AT ANOTHER LOCATION ON-SITE MUST BE HAULED TO AN APPROVED LOCATION OFF-SITE.

DRAINAGE GENERAL NOTES

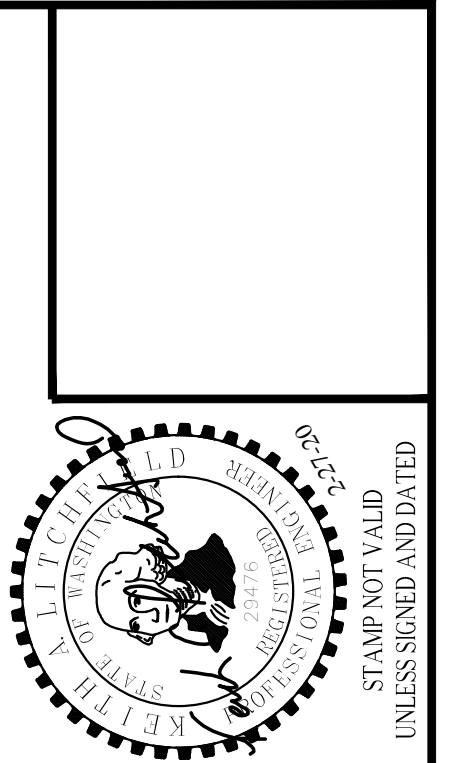
1. BEFORE ANY CONSTRUCTION MAY OCCUR, THE CONTRACTOR SHALL HAVE PLANS WHICH HAVE BEEN SIGNED AND APPROVED BY THE CITY OF MERCER ISLAND PUBLIC WORKS DEPARTMENT, OBTAINED ALL CITY, COUNTY, STATE, FEDERAL AND OTHER REQUIRED PERMITS, AND HAVE POSTED ALL REQUIRED BONDS.
2. ALL STORM DRAINAGE IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MERCER ISLAND PUBLIC WORKS PRE-APPROVED PLANS AND POLICIES AND THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, PREPARED BY WSDOT AND THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA).
3. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE WRITTEN APPROVAL. ALL CHANGES SHALL BE SUBMITTED TO THE CITY.
4. A COPY OF THE APPROVED STORM WATER PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
5. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SIMILARLY STABILIZED TO THE SATISFACTION OF THE CITY OF MERCER ISLAND DEPARTMENT OF PUBLIC WORKS FOR THE PREVENTION OF ON-SITE EROSION AFTER THE COMPLETION OF CONSTRUCTION.
6. MINIMUM COVER OVER STORM DRAINAGE PIPES IN ROW OR VEHICULAR PATH SHALL BE 18 INCHES, UNLESS OTHER DESIGN IS APPROVED.
7. CONSTRUCTION OF DEWATERING (GROUNDWATER) SYSTEMS SHALL BE IN ACCORDANCE WITH THE APWA STANDARD SPECIFICATIONS.
8. ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY PRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTION SHALL BE 95 PERCENT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, CONFINED SPACE PROTECTION, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACT.
10. APPROXIMATE LOCATIONS OF EXISTING UTILITIES HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING UTILITY LOCATIONS WHETHER OR NOT THESE UTILITIES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXERCISE ALL CARE TO AVOID DAMAGE TO ANY UTILITY. IF CONFLICTS WITH EXISTING UTILITIES ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY CONSTRUCTION INSPECTOR AND ANY CHANGES REQUIRED SHALL BE APPROVED BY THE DEVELOPMENT ENGINEER PRIOR TO COMMENCEMENT OF RELATED CONSTRUCTION ON THE PROJECT.
11. THE UNDERGROUND UTILITY LOCATION SERVICE SHALL BE CONTACTED FOR FIELD LOCATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE OWNER OR HIS REPRESENTATIVE SHALL BE CONTACTED IF A UTILITY CONFLICT EXISTS. FOR UTILITY LOCATION IN KING COUNTY, CALL 811. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT UTILITY LOCATES ARE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
12. OPEN CUT ROAD CROSSINGS FOR UTILITY TRENCHES ON EXISTING TRAVELED ROADWAY SHALL BE BACKFILLED ONLY WITH 5/8" MINUS CRUSHED ROCK AND MECHANICALLY COMPACTED (UNLESS OTHERWISE APPROVED BY THE CITY). CUTS INTO THE EXISTING ASPHALT SHALL BE HEAT LINE CUT WITH SAW OR JACKHAMMER IN A CONTINUOUS LINE. A TEMPORARY COLD MIX PATCH MUST BE PLACED IMMEDIATELY AFTER BACKFILL AND COMPACTION. A PERMANENT HOT MIX PATCH SHALL BE PLACED WITHIN 30 DAYS AND SHALL BE A MINIMUM OF 1" THICKER THAN THE ORIGINAL ASPHALT WITH A MINIMUM THICKNESS OF 2".
13. ALL DAMAGES INCURRED TO PUBLIC AND/OR PRIVATE PROPERTY BY THE CONTRACTOR DURING THE COURSE OF CONSTRUCTION SHALL BE PROMPTLY REPAIRED TO THE SATISFACTION OF THE CITY CONSTRUCTION INSPECTOR BEFORE PROJECT APPROVAL AND/OR THE RELEASE OF THE PROJECT'S PERFORMANCE BOND.
14. GROUT ALL SEAMS AND OPENINGS IN ALL INLETS, CATCH BASINS, AND MANHOLES.

SPECIAL NOTE TO CONTRACTOR:

THE INTENT OF THE PRIVATE DRAINAGE SYSTEM IS TO COLLECT THE ROOF, SURFACE AND SUBSURFACE RUNOFF AND CONVEY IT SAFELY TO THE BASE OF THE SLOPE. THIS IS TO BE ACCOMPLISHED BY INSTALLING: 1) A PERFORATED FOOTING DRAIN; 2) A TIGHTLINE ROOF DRAIN CONVEYANCE SYSTEM; 3) A TIGHTLINE STORM DRAINAGE/SITE COLLECTOR AND CONVEYANCE SYSTEM; AND 4) A BASEMENT SLAB UNDERDRAIN SYSTEM. THE FOUR SYSTEMS ARE TO BE CONNECTED TO THE PROPOSED AREA DRAIN AND BE CONVEYED VIA A 6" WELDED HOPE PIPE TO THE BASE OF THE SLOPE FOR DISCHARGE THROUGH AN ENERGY DISSIPATOR. ADDITIONAL AREA DRAINS OTHER THAN THOSE SHOWN TO CONTROL SURFACE WATER MAY BE REQUIRED PENDING FINAL SITE GRADING. GRADING CONTRACTOR TO LOCATE AS NECESSARY AND CONNECT TO THE SITE COLLECTOR SYSTEM. UNDER NO CIRCUMSTANCES SHALL SITE DRAINAGE BE CONNECTED TO THE FOOTING DRAINS. AREA/LANDSCAPE DRAIN RIMS SHALL BE ADJUSTED TO MATCH FINISH SITE GRADES. DRAINAGE SYSTEM CLEANOUTS SHALL BE PROVIDED WHERE REQUIRED BY CITY; WITH EXCEPTION TO THE AT-GRADE HOPE TIGHTLINE, MINIMUM PIPE COVER SHALL BE 18"; AND DRAINAGE PIPE SHALL BE SDR 35 PVC MEETING ASTM D3034.



GILBERT ADDITION
VOL 74 PG 47



LITCHFIELD ENGINEERING
12840 81ST AVENUE NE
Kirkland, WA 98034
Tel: (425) 821-5088 Fax: (425) 821-5729

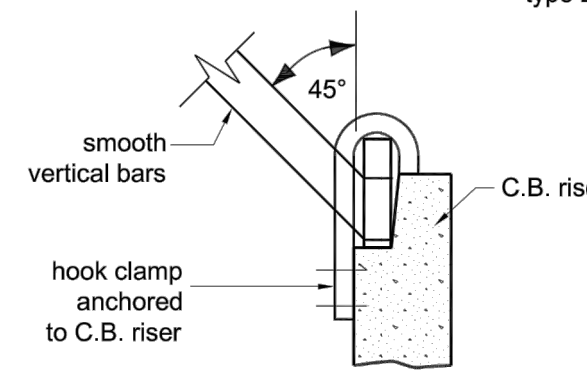
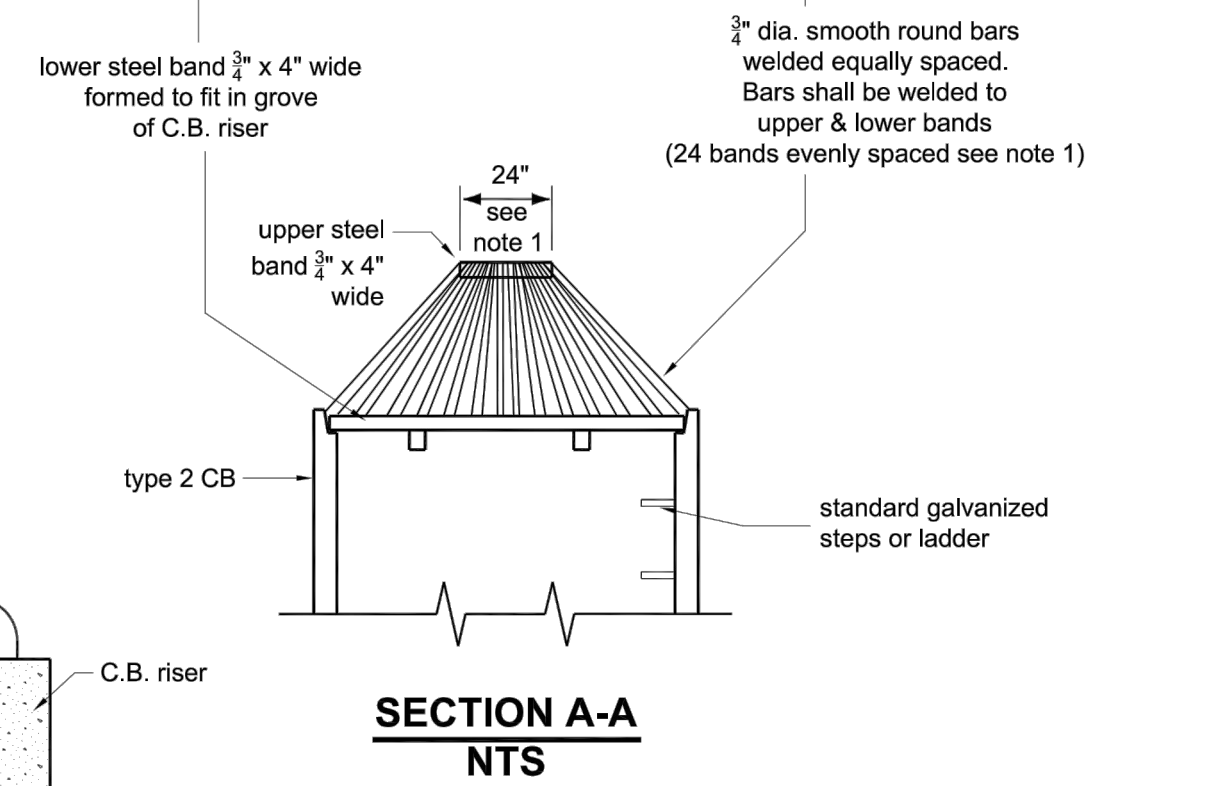
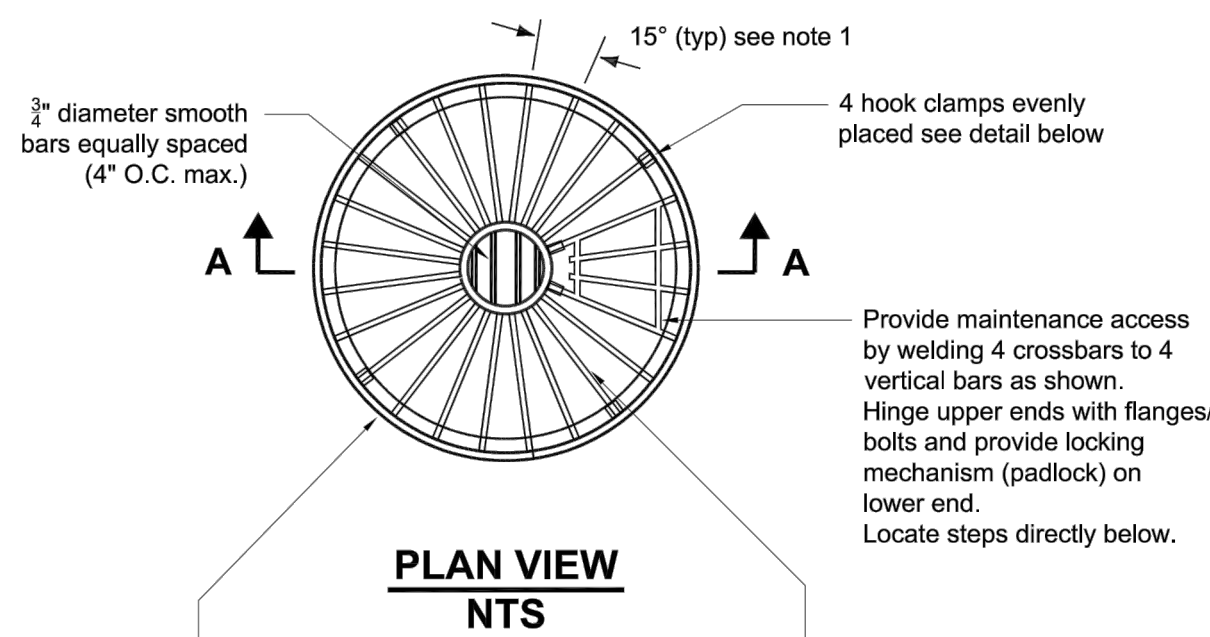
SITE IMPROVEMENT PLAN
HOUSE 88 (470X 88TH AVE SE)

VIEWCREST CAPITAL, LLC
11900 NE 1ST STREET, SUITE 300
BELLEVUE, WA 98005

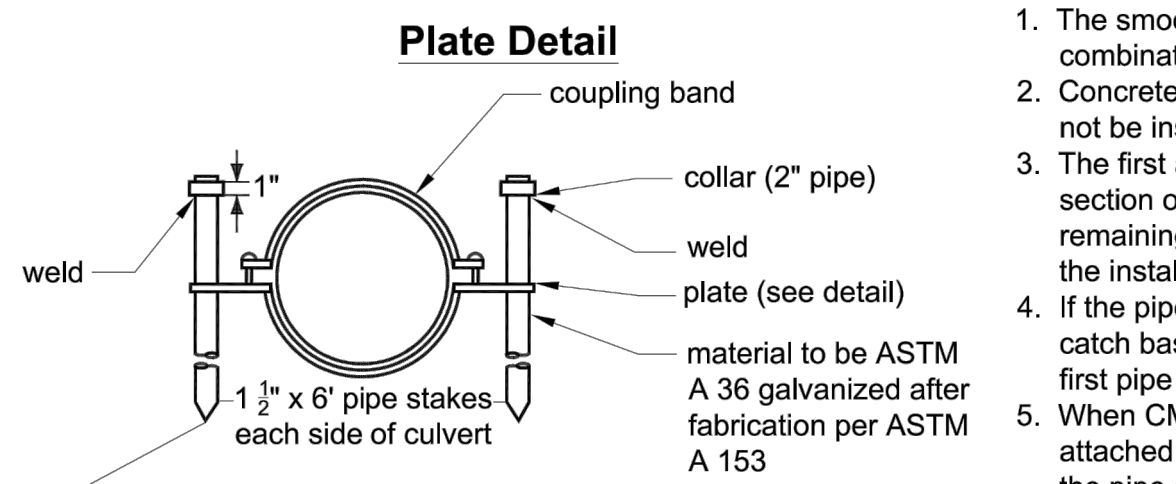
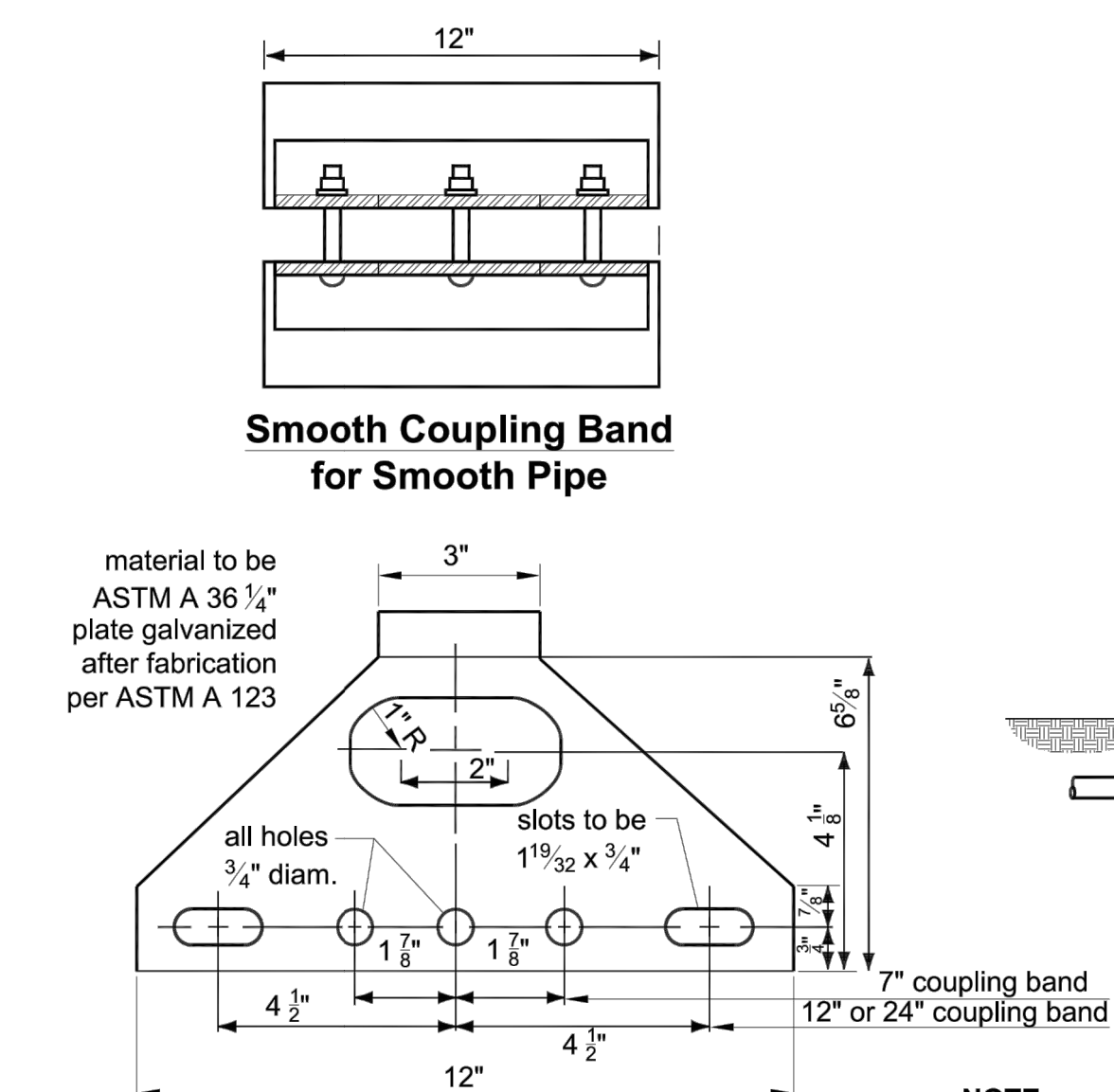
APPROVED: CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date

SHEET
3 of 5

JOB No.

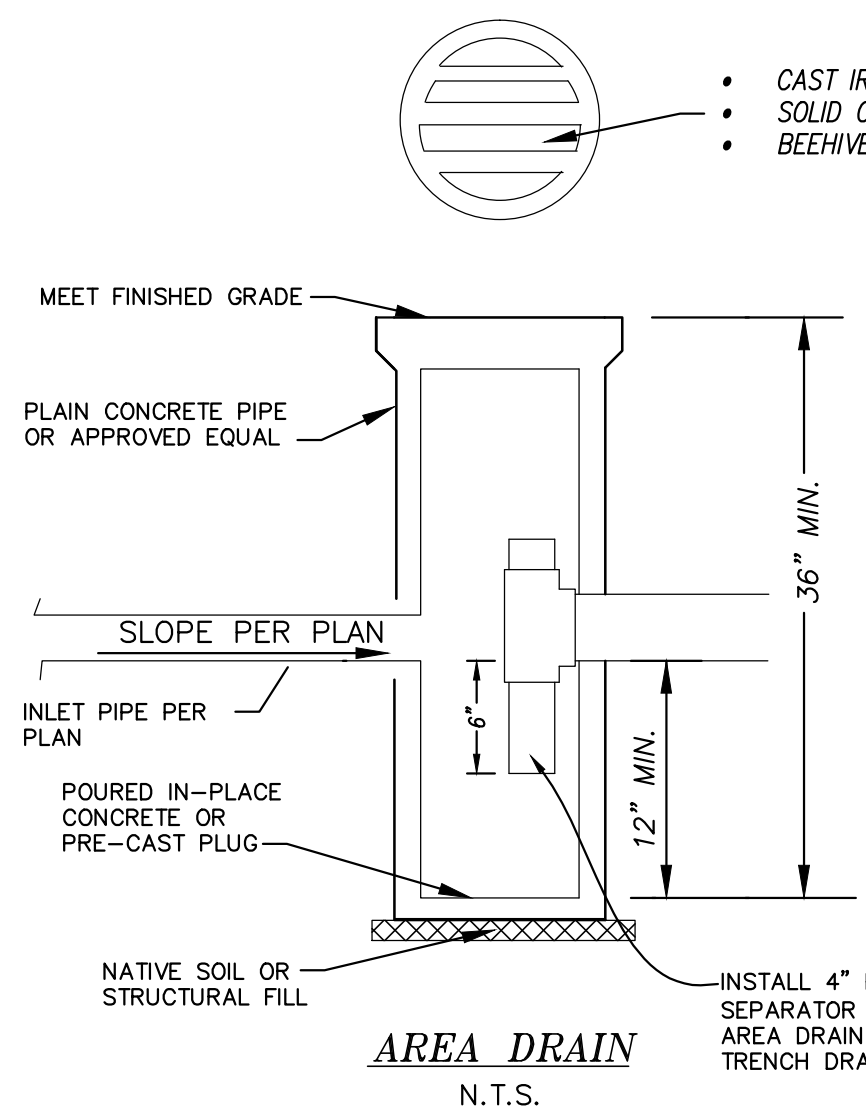


- NOTES:**
1. Dimensions are for illustration on 54" diameter CB. For different diameter CB's adjust to maintain 45° angle on "vertical" bars and 7" o.c. maximum spacing of bars around lower steel band.
 2. Metal parts must be corrosion resistant; steel bars must be galvanized.
 3. This debris barrier is also recommended for use on the inlet to roadway cross-culverts with high potential for debris collection (except on type 2 streams).
 4. This debris barrier is for use outside of road right-of-way only. For debris cages within road right-of-way, see KCRS Drawing No. 7-028.



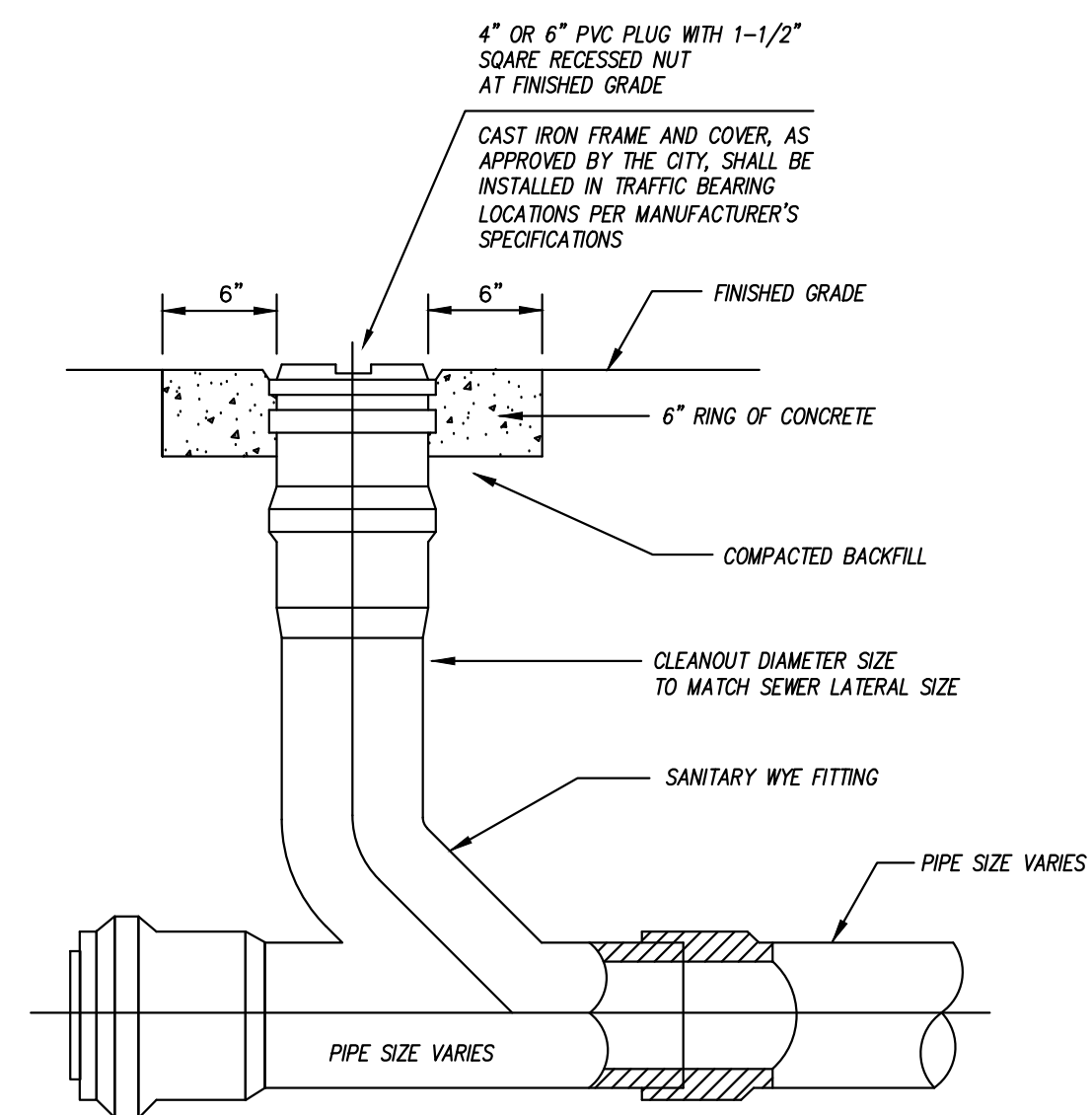
- NOTE:**
1. The smooth coupling band shall be used in combination with concrete pipe.
 2. Concrete pipe without ball and spigot shall not be installed on grades in excess of 20%.
 3. The first anchor shall be installed on the first section of the lower end of the pipe and remaining anchors evenly spaced throughout the installation.
 4. If the pipe being installed has a manhole or catch basin on the lower end of the pipe, the first pipe anchor may be eliminated.
 5. When CMP is used, the anchors may be attached to the coupling bands used to join the pipe as long as the specified spacing is not exceeded.
 6. All pipe anchors shall be securely installed before backfilling around the pipe.

BIRD CAGE DETAIL
N.T.S.

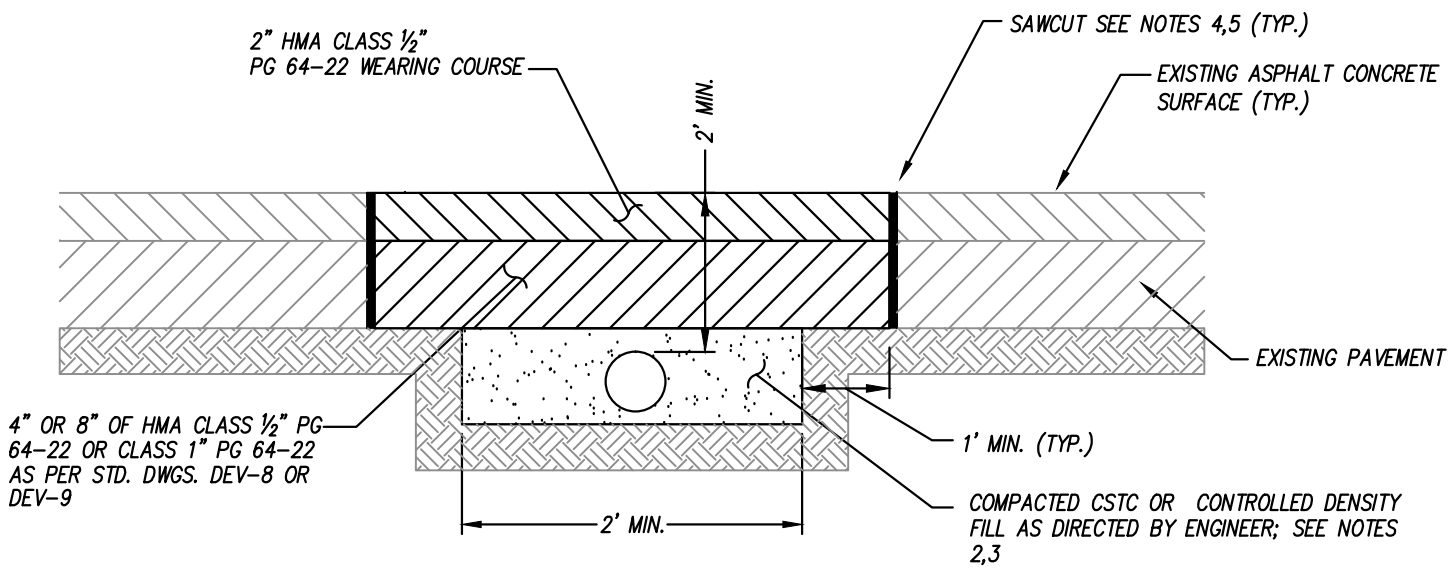
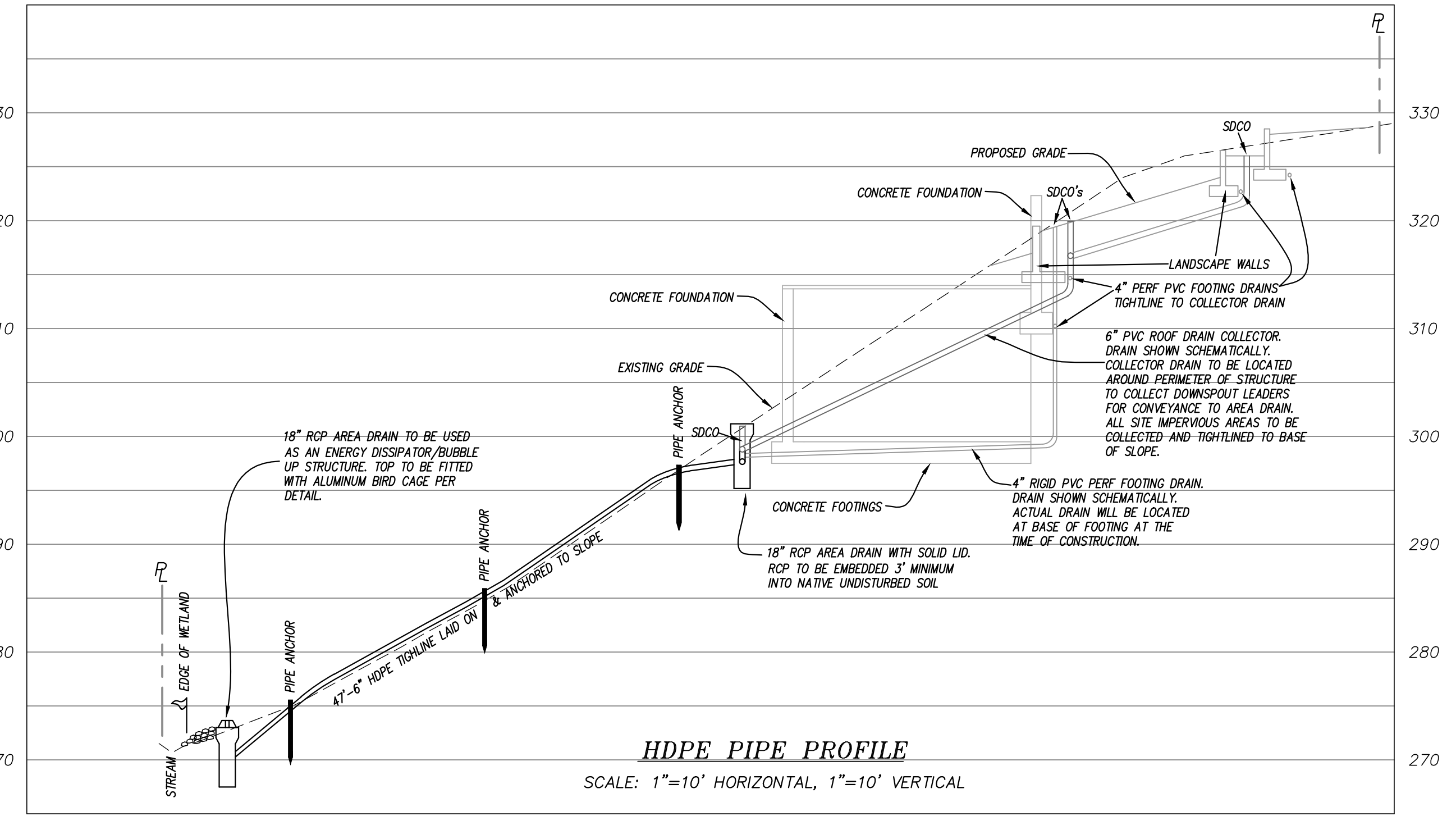


1. AREA DRAIN TO BE 18" (MIN) DIAM. AND LOCATED AT THE LOW POINTS
2. BACKFILL WILL BE COMPACTED USING NATIVE OR SELECTED MATERIAL
3. CONNECTION TO DRAIN TO BE MOTORED AND MADE FLUSH WITH INSIDE WALL
4. AREA DRAINS LOCATED IN PAVED/PARKING AREAS TO BE FITTED WITH A TURNED DOWN ELBOW FOR OIL/WATER SEPARATION.

PIPE ANCHOR DETAILS
N.T.S.

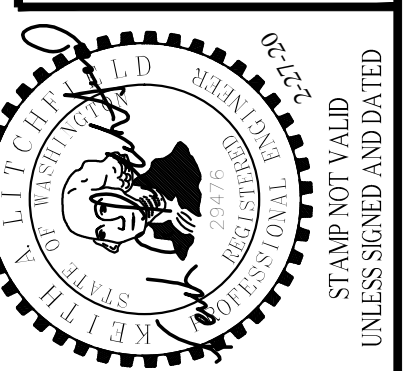


CLEANOUT
N.T.S.



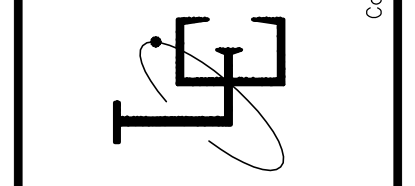
- NOTES**
1. ASPHALT CONCRETE MIX SHALL BE HMA CLASS 1/2" OR CLASS 1" PG 64-22.
 2. ALL TRENCH BACKFILL SHALL BE CSTC OR CONTROLLED DENSITY FILL.
 3. CONTROLLED DENSITY FILL SHALL MEET WSDOT STANDARDS AS STATED IN 2-09.3(E) OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION MANUAL M41-10, CURRENT EDITION.
 4. ALL SAW CUTS SHALL BE VERTICAL AND IN STRAIGHT LINES UNLESS OTHERWISE DIRECTED BY ENGINEER.
 5. TACK ASPHALT FACES OF SAW CUTS AND SEAL SAW CUTS WITH PG 64-22 OIL.
 6. HOT MIX ASPHALT SHALL BE A MINIMUM OF 6 INCHES THICK

ASPHALT PAVEMENT SAWCUT & RESTORATION
N.T.S.



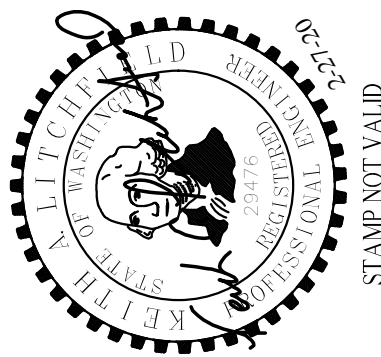
DATE	BY	FOR	REVISIONS
2-12-15	KAL	CLIENT	SUBMITTED TO CLIENT
5-27-15	KAL	CITY OF MERCER ISLAND	PER CITY OF MERCER ISLAND COMMENTS
6-29-15	KAL	CITY OF MERCER ISLAND	PER CITY OF MERCER ISLAND COMMENTS
2-27-20	KAL	CITY OF MERCER ISLAND	PER CITY OF MERCER ISLAND COMMENTS

LITCHFIELD ENGINEERING
12840 81ST AVENUE NE
Kirkland, WA 98034
Tel: (425) 821-5088 Fax: (425) 821-5729

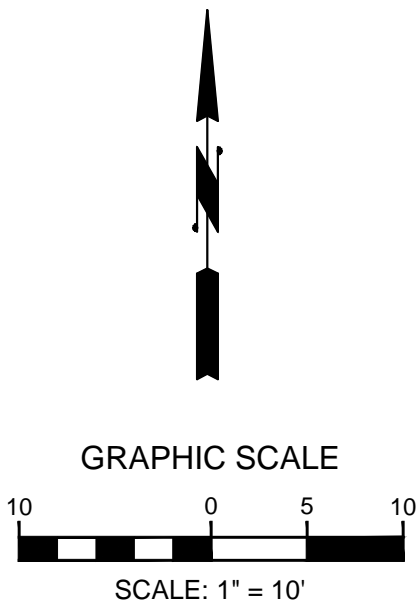
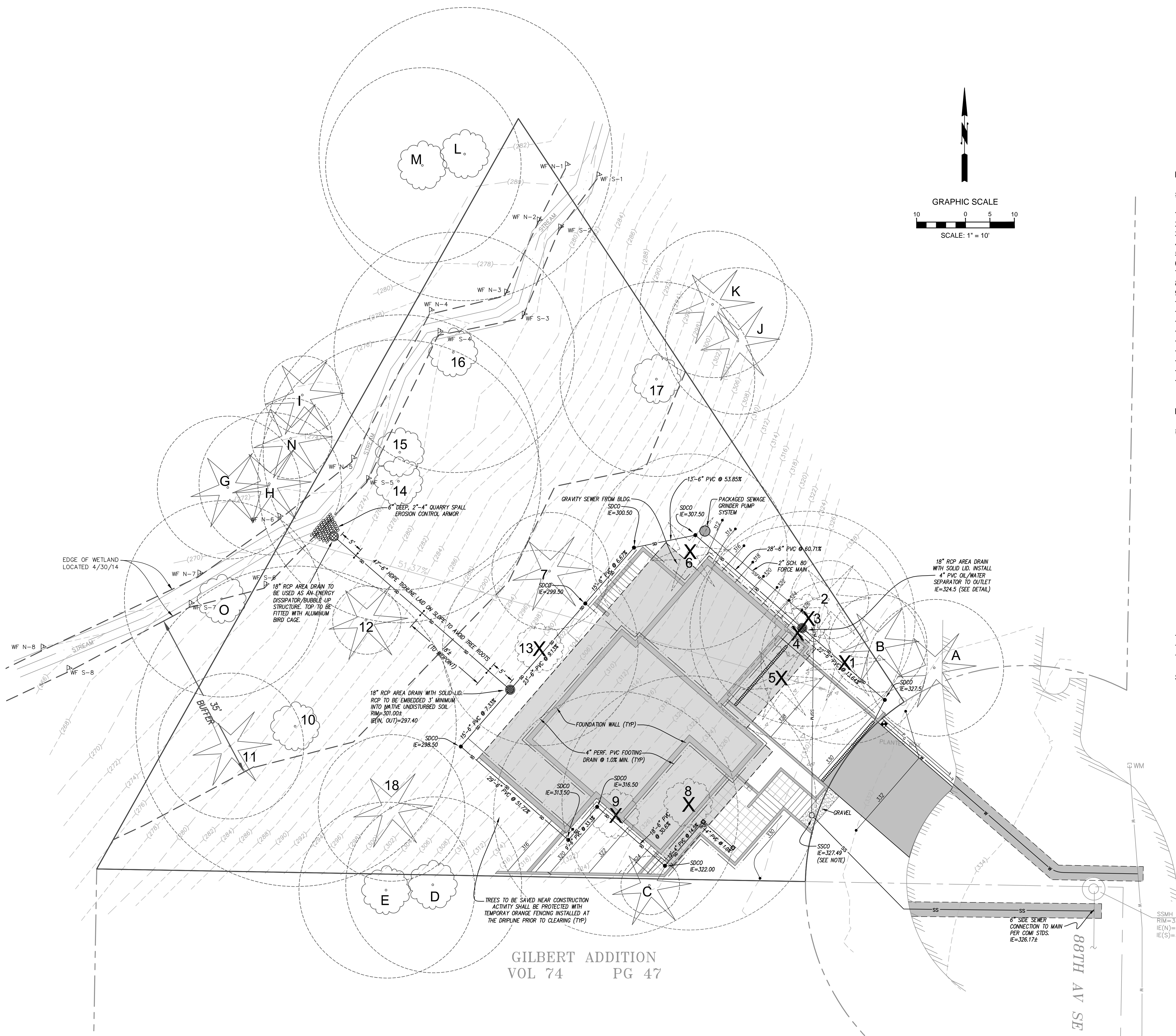


DRAINAGE PROFILE & DETAILS
HOUSE 88 (470X 88TH AVE SE)
VIEWCREST CAPITAL, LLC
11900 NE 1ST STREET, SUITE 300
BELLEVUE, WA 98005

APPROVED: _____
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date



STAMP NOT VALID UNLESS SIGNED AND DATED



EXISTING ONSITE TREES

#	SPECIES	DBH	DRIP LINE	REMOVE/RETAIN
1.	DOUGLAS FIR	12"	17'	REMOVE
2.	WESTERN RED CEDAR	8"	8'	RETAIN
3.	BIGLEAF MAPLE	21"	22' (TO NE)	REMOVE
4.	BIGLEAF MAPLE	18", 26"	22' (TO SW)	REMOVE
5.	WESTERN RED CEDAR	10"	10'	REMOVE
6.	DOUGLAS FIR	20"	20'	REMOVE
7.	WESTERN HEMLOCK	25"	15'	RETAIN
8.	BIGLEAF MAPLE	27"	26'	REMOVE
9.	BIGLEAF MAPLE	40"	25'	REMOVE
10.	BIGLEAF MAPLE	41"	40'	RETAIN
11.	WESTERN RED CEDAR	14"	14'	RETAIN
12.	WESTERN HEMLOCK	8"	10'	RETAIN
13.	RED ALDER	27"	20'	REMOVE
14.	BIGLEAF MAPLE	22"	30' (SW)	REMOVE
15.	BIGLEAF MAPLE	34"	30'	RETAIN
16.	BIGLEAF MAPLE	23"	25'	RETAIN
17.	BIGLEAF MAPLE	14, 6, 6, 4	20'	RETAIN
18.	DOUGLAS FIR	30"	15'	RETAIN

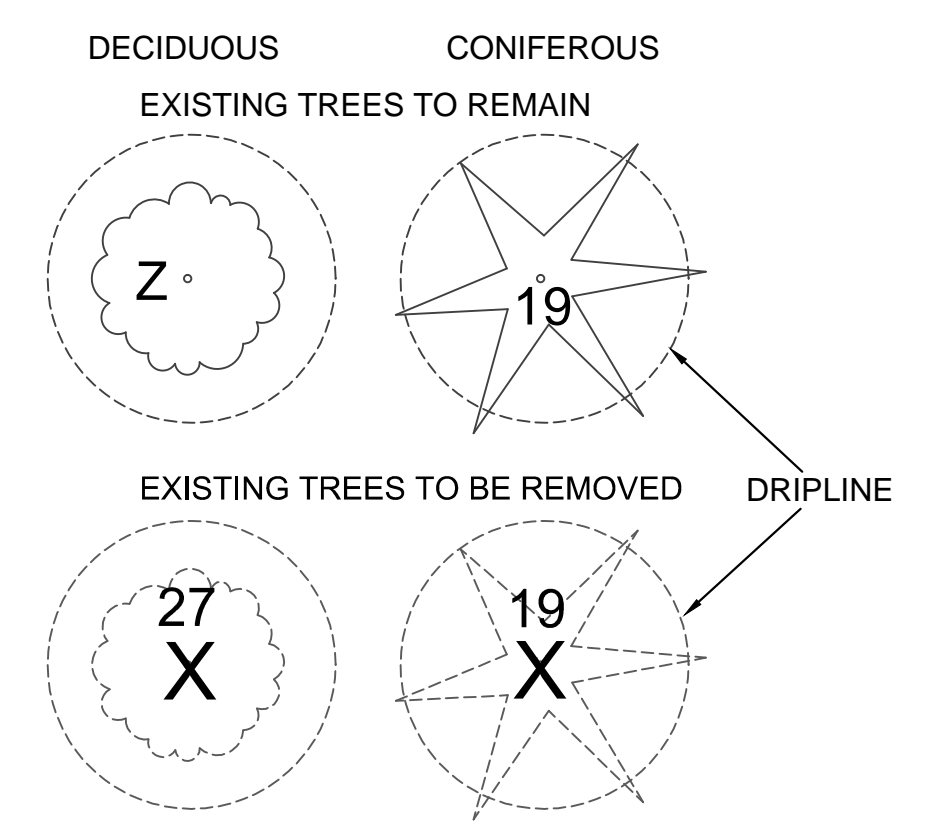
EXISTING OFF SITE TREES

#	SPECIES	DBH	DRIP LINE	REMOVE/RETAIN
A.	DOUGLAS FIR	16"	14'	RETAIN
B.	DEODAR CEDAR	9"	10'	RETAIN
C.	LEYLAND CYPRESS	12"	6'	RETAIN
D.	BIGLEAF MAPLE	14"	18'	RETAIN
E.	BIGLEAF MAPLE	18", 10"	18'	RETAIN
F.	NOT USED			
G.	WESTERN HEMLOCK	38"	15'	RETAIN
H.	WESTERN HEMLOCK	26"	15'	RETAIN
I.	WESTERN HEMLOCK	10"	12'	RETAIN
J.	WESTERN RED CEDAR	24"	15'	RETAIN
K.	DOUGLAS FIR	8"	15'	RETAIN
L.	BIGLEAF MAPLE	48"	30'	RETAIN
M.	BIGLEAF MAPLE	18"	20'	RETAIN
N.	WESTERN HEMLOCK	7"	10'	RETAIN
O.	BIGLEAF MAPLE	27", 33"	20'	RETAIN

TOTAL ON SITE TREES TO BE REMOVED : 9
 TOTAL ON SITE TREES TO REMAIN : 9
 TOTAL OFF SITE TREES TO BE REMOVED : 0

SEE ARBORIST REPORT FOR MORE INFORMATION.

LEGEND



GILBERT ADDITION
VOL 74 PG 47

LITCHFIELD ENGINEERING
12840 81ST AVENUE NE
Kirkland, WA 98034
Tel: 425.821.5038 Fax: 425.821.5729

CONSOLIDATED TREE & SITE IMPROVEMENT PLAN
HOUSE 88 (470X 88TH AVE SE)

VIEWCREST CAPITAL LLC
11900 NE 1ST STREET, SUITE 300
BELLEVUE, WA 98005

APPROVED: _____
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date _____

SHEET
5 of 5

JOB No.

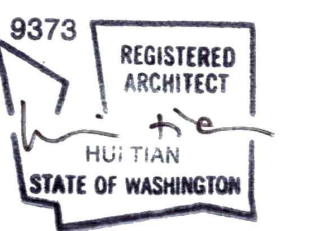
SITE KEY NOTES

- 1 COURT YARD W/ PERMEABLE PAVERS. SEE DETAIL A5/A1.01
- 2 STEPS W/ PERMEABLE PAVERS
- 3 SCORED CONC. DRIVEWAY @ 20% SLOPE MAX.
- 4 CONCRETE PLANTER. SEE RETAINING WALL DETAILS ON 6&10/S3.2

SITE NOTES

- DEMOLITION NOTES:**
 1. DEMOLISH EXISTING RAISED PLANTER BED AND ALL TREES IDENTIFIED AS "TO BE REMOVED" ON SHEET A1.02.
- DESIGN AND CONSTRUCTION CRITERIA FOR PAVER BLOCKS:**
1. GENERAL: INSTALLATION MUST BE IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS AND SPECIFICATIONS.
 2. SUB-GRADE: COMPACT THE SUB-GRADE TO THE MINIMUM NECESSARY FOR STRUCTURAL STABILITY. USE STATIC, DUAL WHEEL, SMALL MECHANICAL ROLLERS OR PLATE VIBRATION MACHINES FOR COMPACTION. DO NOT ALLOW HEAVY COMPACTION DUE TO HEAVY EQUIPMENT OPERATION.
 3. GEO-TEXTILE: GEO-TEXTILE FABRIC SHALL BE PLACED BENEATH THE RESERVOIR LAYER IN AREAS WHERE SOIL REMAINS SATURATED PART OF THE YEAR, WHERE THERE IS SOIL FREEZE AND THAW, OR OVER CLAY AND MOIST SILTY SUB-GRADE SOILS. THE GEO-TEXTILE FABRIC SHOULD PASS WATER AT A GREATER RATE THAN THE SUB-GRADE SOILS.
 4. UNDER-DRAIN: PROVIDE AN UNDER-DRAIN PIPE WHEN SUB-GRADE SOILS ARE POORLY DRAINING OR SOILS REMAIN SATURATED PART OF THE YEAR.
 5. AGGREGATE MATERIALS (STONE FILL, LEVELING COURSE, AND BASE / SUB-BASE RESERVOIR LAYER): USED CRUSHED AGGREGATE. CLEAN AND WASHED. NO FINES. "OPEN GRADED" ROCK CONTAINING ONLY A SMALL PERCENTAGE OF AGGREGATE IN THE SMALL RANGE. DO NOT USE ROUND ROCK.
 - STONE FILL / LEVELING COURSE - ASTM NO. 8 CRUSHED AGGREGATE. MINIMUM 1" TO 2" THICKNESS.
 - RESERVOIR COURSE - ASTM NO. 57 CRUSHED AGGREGATE. MINIMUM 6" TO 12" THICKNESS DEPENDING ON PERMEABILITY OF THE SUB-GRADE SOILS
 6. LIMITATIONS: THE DESIGN SHALL HAVE NO SURFACE DRAINAGE ON TO THE PAVERS FROM OTHER SURFACES. IF SURFACE DRAINAGE COMES FROM MINOR OR INCIDENTAL PERVIOUS AREAS, THOSE AREAS MUST BE FULLY STABILIZED. SLOPE ADJACENT IMPERVIOUS SURFACES AWAY FROM THE PERMEABLE PAVEMENT TO THE MAXIMUM EXTENT PRACTICABLE. MAXIMUM INSTALLED SLOPE IS GENERALLY 5%.
 7. PROTECTION: AFTER WORK IS COMPLETE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING WORK FROM SEDIMENT DEPOSITION AND DAMAGE DUE TO SUBSEQUENT CONSTRUCTION ACTIVITY ON THE SITE.
 8. IMPROPER INSTALLATION: MAY RESULT IN LOSS OF IMPERVIOUS SURFACE EXEMPTION OR MAY REQUIRE RE-CONSTRUCTION OF THE PAVING SYSTEM.
 9. INSPECTIONS: THE CONTRACTOR SHALL CALL FOR INSPECTION OF THE SUB-GRADE PREPARATION PRIOR TO PLACEMENT OF BASE MATERIAL AND FOR A SUBSEQUENT INSPECTION OF THE BASE MATERIAL PLACEMENT PRIOR TO INSTALLATION OF BLOCKS.
 10. MAINTENANCE: HOMEOWNERS MUST ADEQUATELY MAINTAIN THEIR PERMEABLE BLOCK PAVEMENTS. OVER TIME, THE SPACE BETWEEN PAVERS WILL TEND TO CLOG. CONDUCT PERIODIC VISUAL INSPECTIONS TO DETERMINE IF SURFACES ARE CLOGGED WITH VEGETATION OR FINE GRAIN SOILS. CLOGGED SURFACES SHOULD BE CORRECTED IMMEDIATELY. SURFACES SHOULD BE SWEEPED WITH A HIGH EFFICIENCY OR VACUUM SWEEPER TWICE PER YEAR; PREFERABLY ONCE IN THE AUTUMN AFTER LEAF FALL, AND AGAIN IN EARLY SPRING. AS LONG AS ANNUAL INFILTRATION RATE TESTING DEMONSTRATES THAT A RATE OF 5 INCHES PER HOUR OR GREATER IS BEING MAINTAINED, THE SWEEPING FREQUENCY CAN BE REDUCED TO ONCE PER YEAR.
 11. ADDITIONAL REQUIREMENTS: INCLUDE THE FOLLOWING:
 - GAP BETWEEN PAVERS SHALL BE FILLED WITH STONE FILL (ASTM NO. 8) OR OTHER FREE DRAINING MATERIAL.
 - GAP CANNOT BE PLANTED IF USING TOPSOIL OR OTHER PLANTING MEDIA THAT IMPEDES THE FREE FLOW OF WATER BETWEEN THE PAVERS UNLESS APPROVED BY THE CITY ENGINEER.
 - PAVERS SHALL BE UNDERLAIN BY AT LEAST 6" RESERVOIR COURSE (ASTM NO. 57) AND 2" LEVELING COURSE STONE FILL (ASTM NO. 8) IN ACCORDANCE WITH THE CITY OF MERCER ISLAND TYPICAL CROSS SECTION FOR PERVIOUS CONCRETE BLOCK OR "PAVER" SYSTEMS

PROFESSIONAL SEAL:



PROJECT:

VIEWCREST CAPITAL
 11900 NE 1st ST, SUITE 300
 BELLEVUE, WA 98005
 CONTACT: ANDY PARK
 TEL: 425-591-7690
 EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
 MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW

CITY OF MERCER ISLAND #1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

SITE PLAN

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

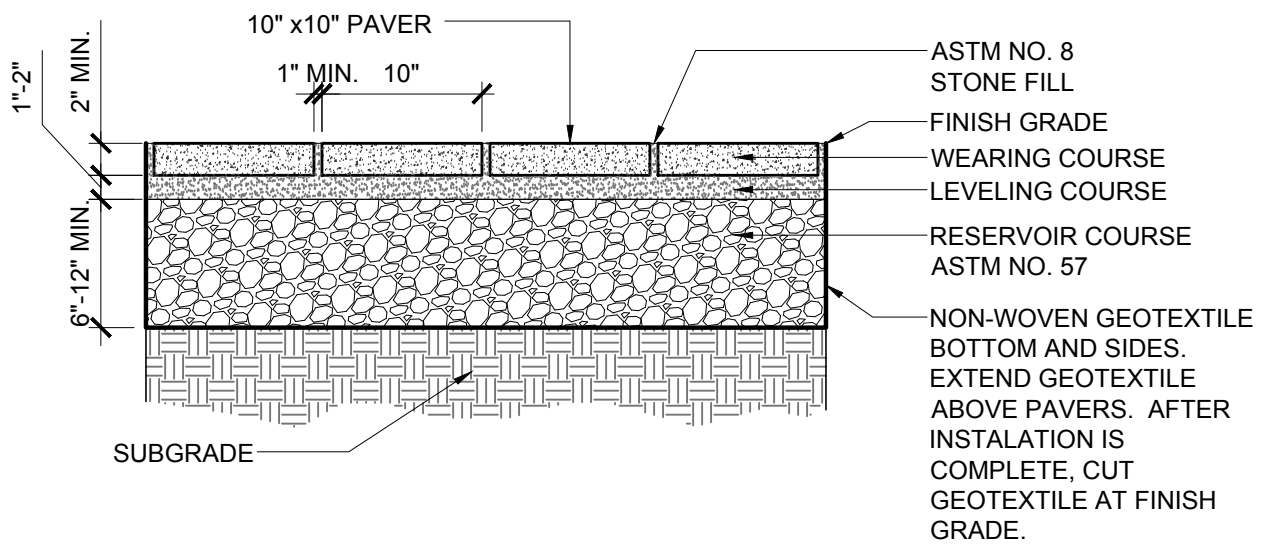
SHEET NUMBER: A-1.01

LOT COVERAGE CALCULATION

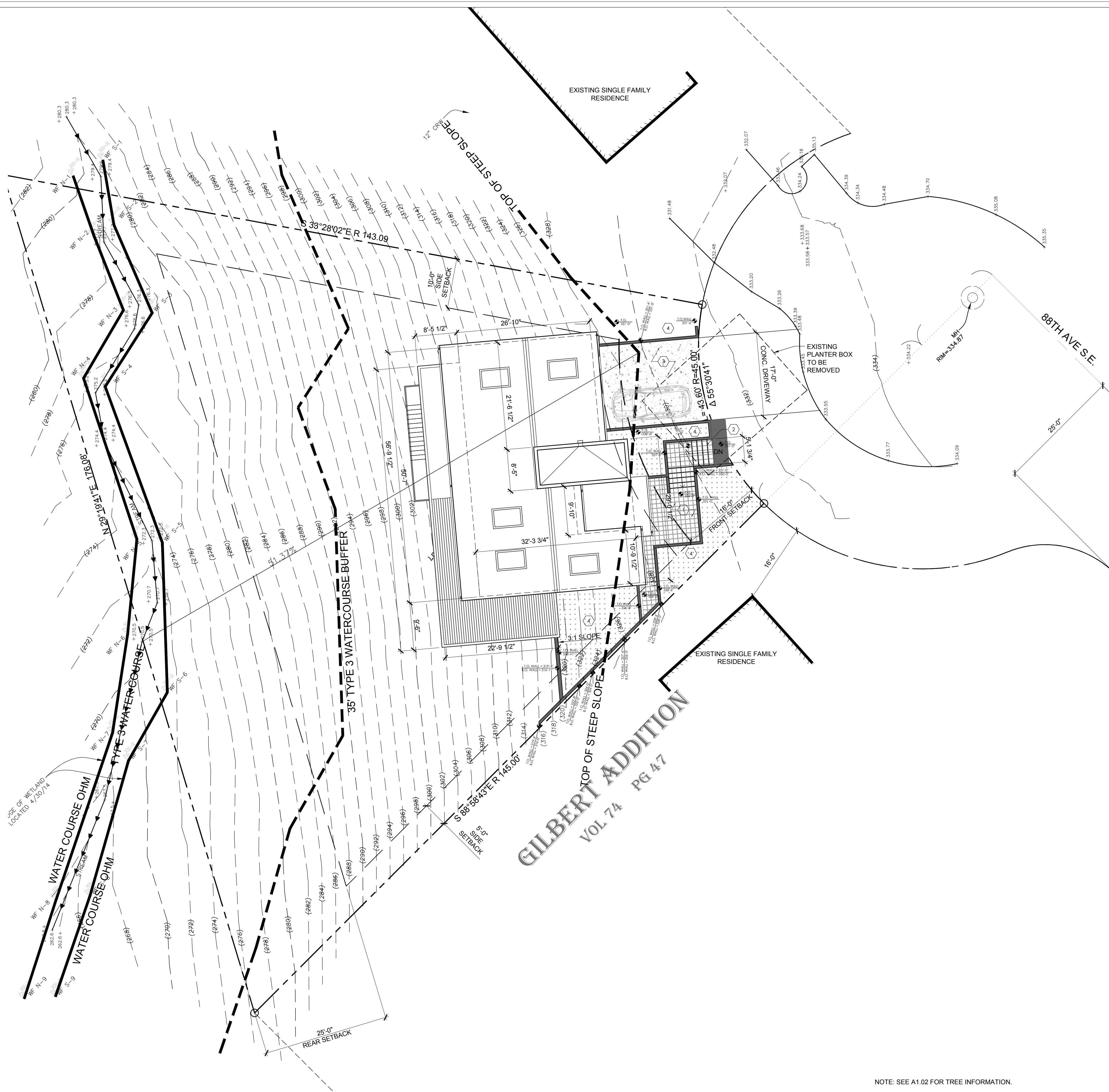
NET LOT AREA:	13,746 SF
MAIN STRUCTURE ROOF AREA:	2,276.59 SF
ACCESSORY BUILDING ROOF AREA:	0 SF
PROPOSED DRIVEWAY:	443.68 SF
TOTAL EXISTING IMPERVIOUS SURFACE:	0 SF
TOTAL REMOVED:	0 SF
TOTAL NEW IMPERVIOUS SURFACE:	2,720.27 SF
TOTAL LOT COVERAGE:	2,720.27 SF
% OF LOT COVERAGE:	2,720.27 / 13,746 = 19.78%
MAXIMUM ALLOWED:	20%

HARDSCAPE CALCULATION

NET LOT AREA:	13,746 SF
UNCOVERED DECK:	70 SF
WALKWAYS:	286.12 SF
RETAINING WALLS:	95.19 SF
TOTAL HARDSCAPE COVERAGE:	451.31 SF
% OF HARDSCAPE COVERAGE:	451.31 / 13,746 = 3%
MAXIMUM ALLOWED:	9%



A5 PERVIOUS CONCRETE PAVER DETAIL
 1" = 1'-0"

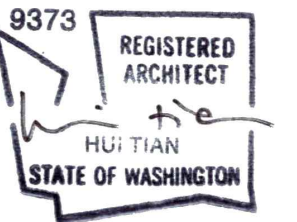


NOTE: SEE A1.02 FOR TREE INFORMATION.



A1 SITE PLAN
 1" = 10'-0"

PROFESSIONAL SEAL:



PROJECT:

VIEWCREST CAPITAL
 11900 NE 1st ST, SUITE 300
 BELLEVUE, WA 98005
 CONTACT: ANDY PARK
 TEL: 425-591-7690
 EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
 MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
 CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
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2	06/01/2015	PERMIT CORRECTIONS
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4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

TREE PLAN

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER:

A-1.02

TREE PLAN KEY NOTES

- ① TREE PROTECTION FENCING AT DRIP LINE

TREE INVENTORY (SEE ARBORIST REPORT)

EXISTING ONSITE TREES

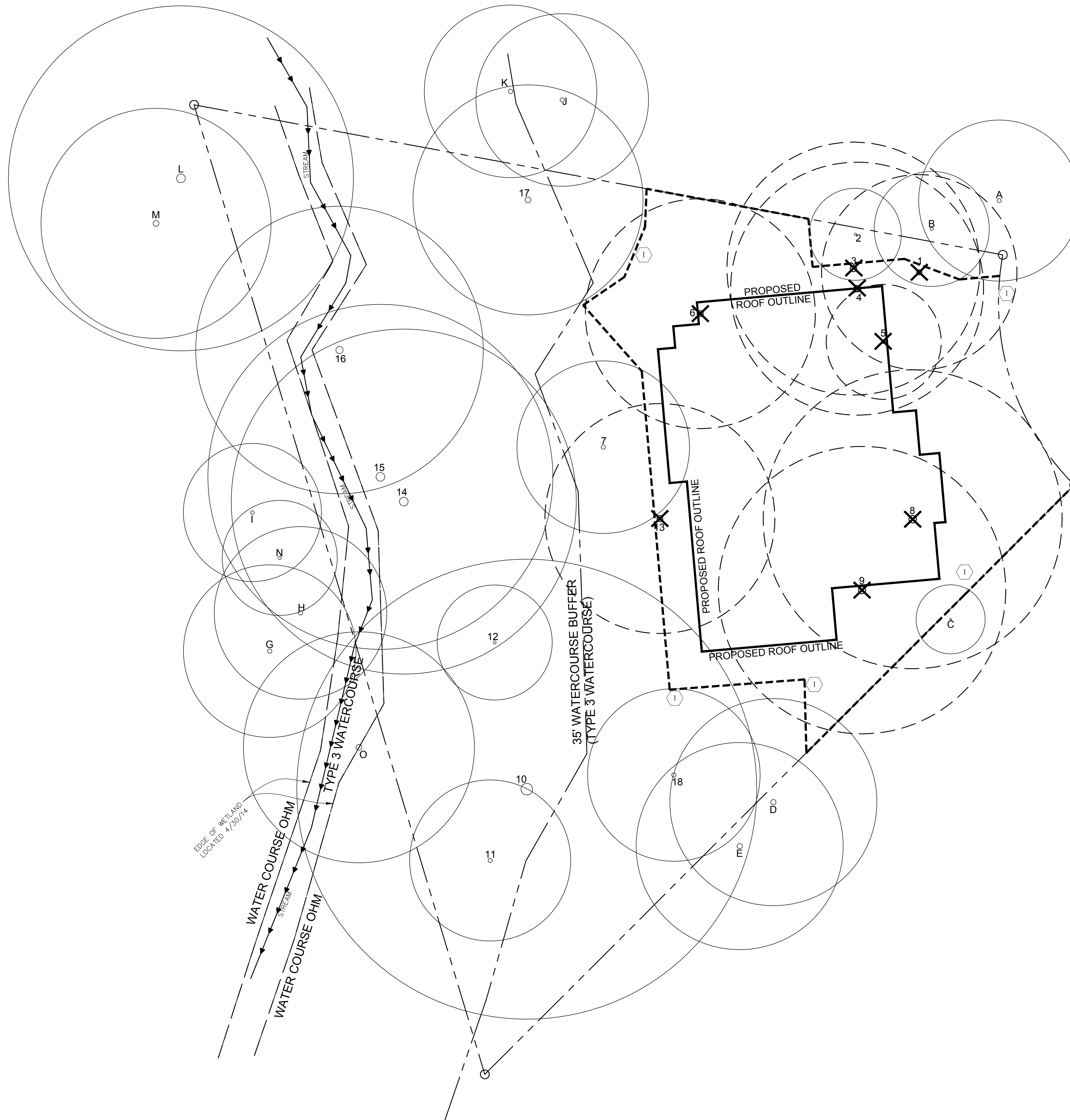
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3.	BIGLEAF MAPLE	21"	22' (TO NE)	REMOVE
4.	BIGLEAF MAPLE	18", 26"	22' (TO SW)	REMOVE
5.	WESTERN RED CEDAR	10"	10'	REMOVE
6.	DOUGLAS FIR	20"	20'	REMOVE
7.	WESTERN HEMLOCK	25"	15'	RETAIN
8.	BIGLEAF MAPLE	27"	26'	REMOVE
9.	BIGLEAF MAPLE	40"	25'	REMOVE
10.	BIGLEAF MAPLE	41"	40'	RETAIN
11.	WESTERN RED CEDAR	14"	14'	RETAIN
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EXISTING OFF SITE TREES

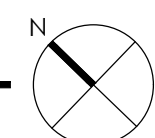
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E.	BIGLEAF MAPLE	18", 10"	18'	RETAIN
F.	NOT USED			
G.	WESTERN HEMLOCK	38"	15'	RETAIN
H.	WESTERN HEMLOCK	26"	15'	RETAIN
I.	WESTERN HEMLOCK	10"	12'	RETAIN
J.	WESTERN RED CEDAR	24"	15'	RETAIN
K.	DOUGLAS FIR	8"	15'	RETAIN
L.	BIGLEAF MAPLE	48"	30'	RETAIN
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TOTAL ON SITE TREES TO BE REMOVED : 9
 TOTAL ON SITE TREES TO REMAIN : 9
 TOTAL OFF SITE TREES TO BE REMOVED : 0

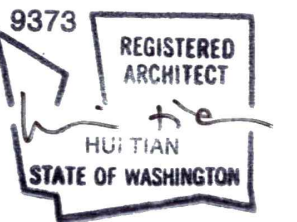
SEE ARBORIST REPORT FOR MORE INFORMATION.



A1 TREE PLAN
 1" = 10'-0"



PROFESSIONAL SEAL:



PROJECT:

VIEWCREST CAPITAL
 11900 NE 1st ST, SUITE 300
 BELLEVUE, WA 98005
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 TEL: 425-591-7690
 EMAIL: APARK@VIEWCRESTCAPITAL.COM

HOUSE 88

4703 88TH AVE SE
 MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
 CITY OF MERCER ISLAND #1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

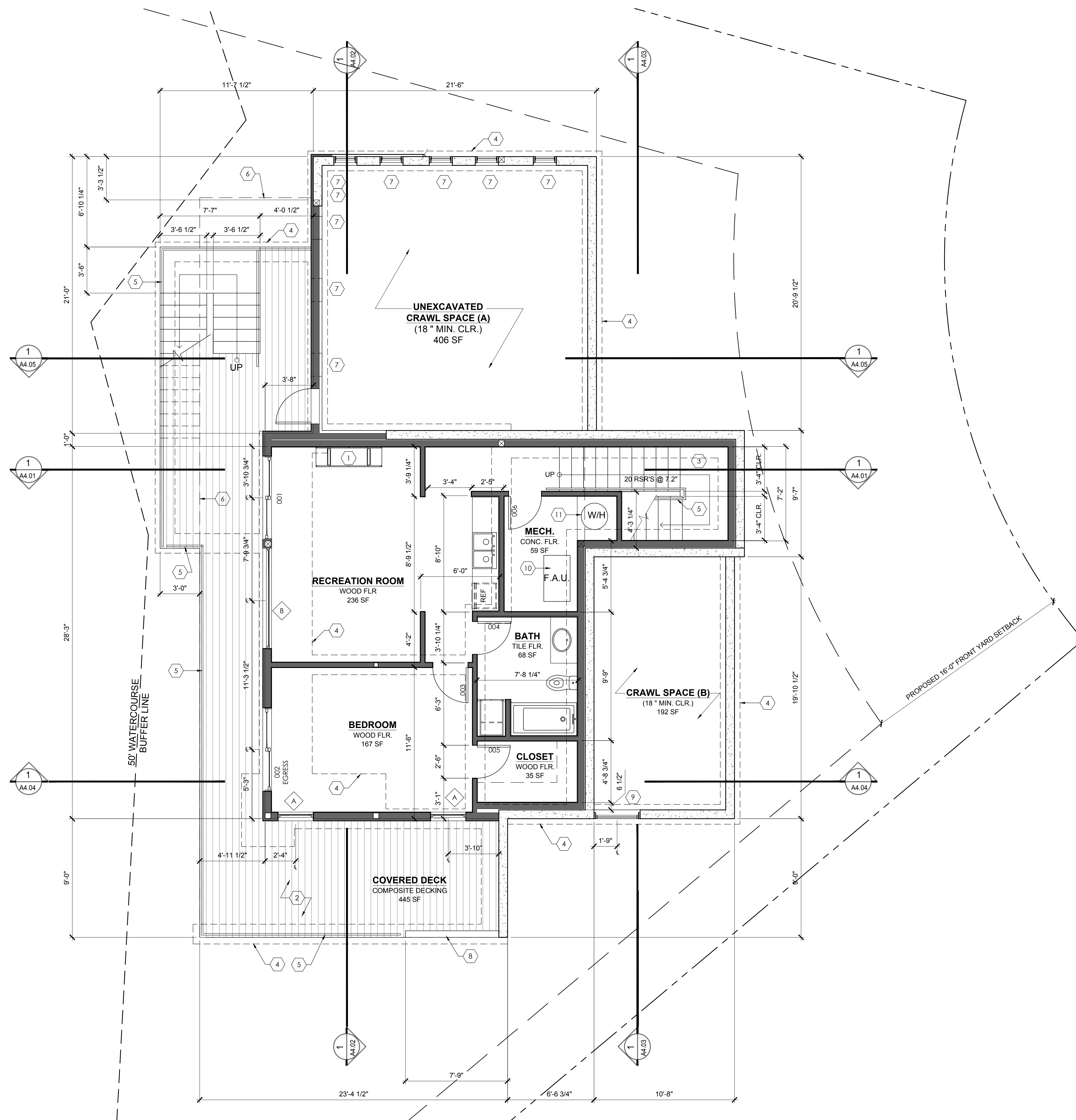
SHEET TITLE:

BASEMENT FLOOR PLAN

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER:

A-2.01



KEY NOTES

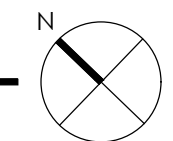
- 1 DIRECT VENT GAS FIREPLACE
- 2 COVERED WOOD DECK
- 3 CLOSED TREAD WOOD STAIR. 11" MIN. TREAD WIDTH & 7.75" MIN. RISER HEIGHT.
- 4 CONC. FOOTING BELOW
- 5 CABLE RAIL @ 36" AFF. CABLE SPACING AT 3" MAX. OC.
- 6 FLOOR ABOVE
- 7 CRAWL SPACE VENT OPENING SEE CRAWL SPACE VENTILATION CALCULATIONS ON THIS SHEET
- 8 PARTIAL HEIGHT CONCRETE WALL @ 36" ABOVE FINISH DECK.
- 9 32"x20" CRAWL SPACE VENTING AND ACCESS
- 10 FURNACE / FORCED AIR UNIT W/ INTEGRATED WHOLE HOUSE VENTILATION SYSTEM. SEE VENTILATION NOTES ON G0.02
- 11 WATER HEATER

CRAWL SPACE VENTILATION

CRAWL SPACE AREA:
 SPACE A = 406 SF = 58,443 SQ. IN.
 REQUIRED VENTING @ 1/80" = 1,167 SQ. IN.
 PROVIDED VENTING (9) VENTS @ 144 SQ. IN. = 1,296 SQ. IN.

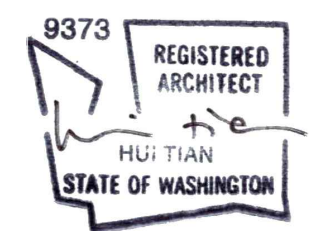
CRAWL SPACE B = 192 SF = 27,660 SQ. IN.
 REQUIRED VENTING @ 1/80" = 553 SQ. IN.
 PROVIDED VENTING (1) VENT @ 36" x 24" = 864 SQ. IN.

A1 BASEMENT FLOOR PLAN
 1/4" = 1'-0"



- KEY NOTES**
- 1 DIRECT VENT GAS FIREPLACE
 - 2 WOOD DECK
 - 3 OPEN TREAD WOOD STAIR
 - 4 BENCH / SHELVING/ CABINETS FOR BOOKS, TV & OTHER MEDIA EQUIPMENT.
 - 5 CABLE RAIL @ 36" AFF. CABLE SPACING AT 3" MAX. OC.
 - 6 AREA DRAIN
 - 7 1 HR FIRE SEPARATION BETWEEN GARAGE AND RESIDENCE. PROVIDE 5/8" GWB ON BOTH SIDES OF WALLS SEPARATING GARAGE FROM RESIDENCE AND (2) LAYERS OF 5/8" TYPE X GWB AT GARAGE CEILING. DOORS IN SEPARATION WALL ASSEMBLY TO BE MIN. 1-3/8" THICK, 20 MIN. FIRE RATED, SOLID CORE, WOOD DOORS WITH SELF CLOSING HARDWARE. SEE SECTIONS ON SHEETS A4.02 AND A4.05.

PROFESSIONAL SEAL: _____



PROJECT: _____

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CITY OF MERCER ISLAND #:1503-086

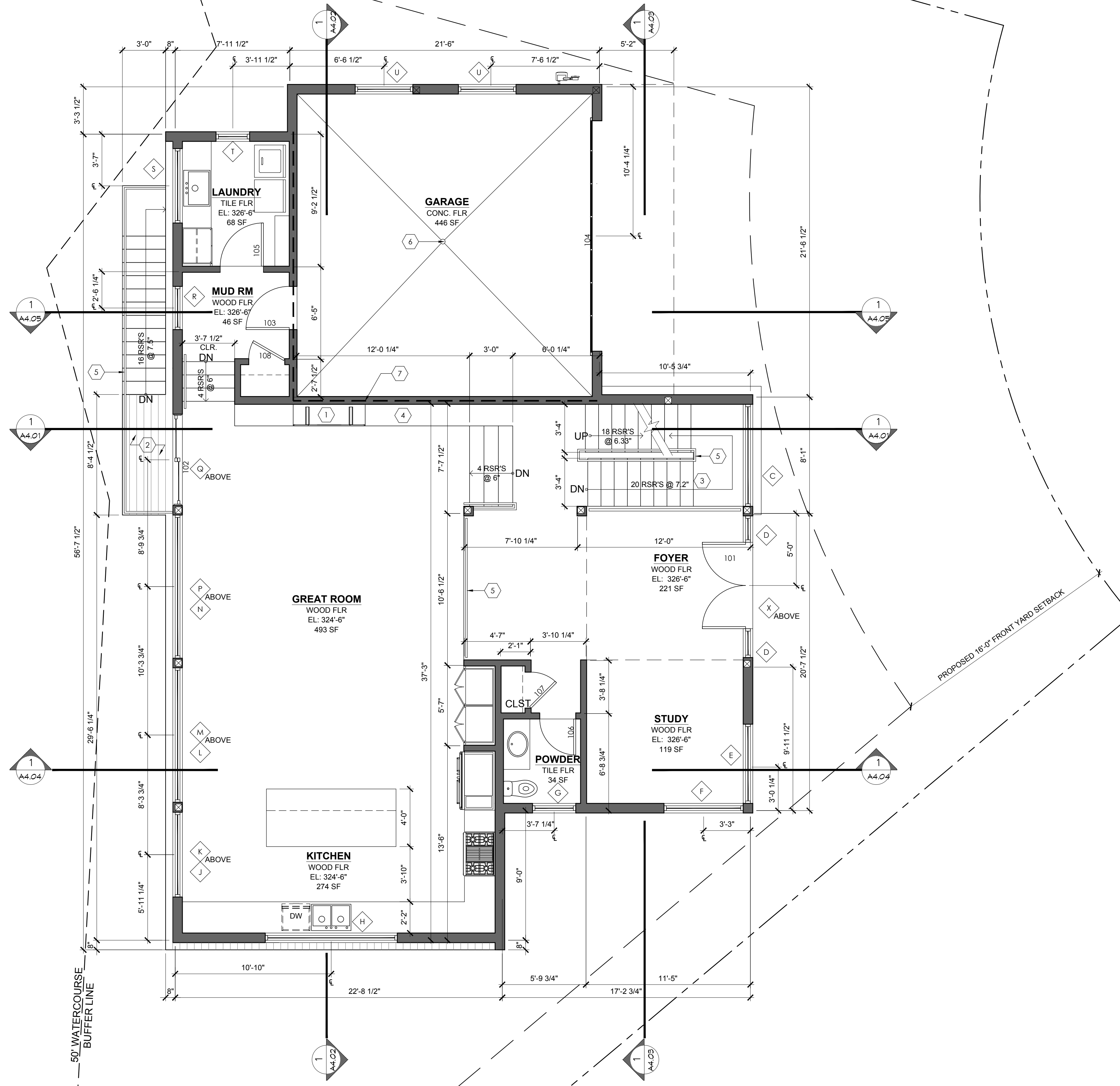
SHEET ISSUE:

MARK	DATE	DESCRIPTION
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3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

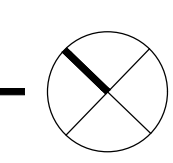
SHEET TITLE:
GROUND FLOOR PLAN

DATE ISSUED: 01/14/2020
PROJECT NO.: 20140218

SHEET NUMBER:
A-2.02

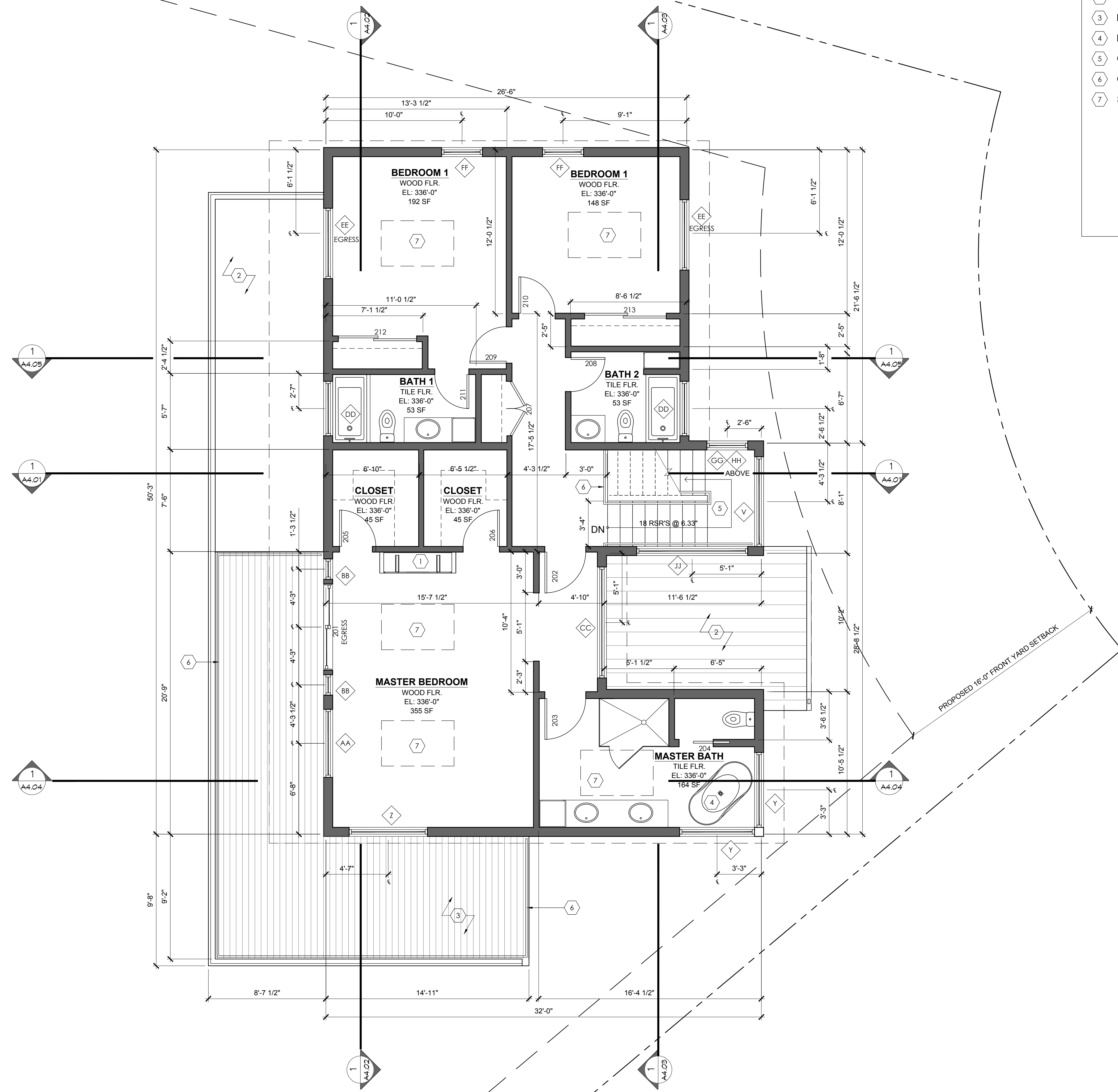


A1 GROUND FLOOR PLAN
1/4" = 1'-0"

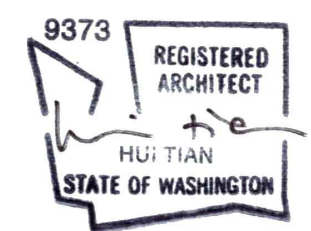


N

- KEY NOTES**
- ① DIRECT VENT GAS FIREPLACE
 - ② CORRUGATED METAL ROOF
 - ③ ROOF DECK OVER PVC WRB
 - ④ FREE STANDING BATHTUB
 - ⑤ OPEN TREAD WOOD STAIR
 - ⑥ CABLE RAIL @ 36" AFF. CABLES @ 3" MAX. OC.
 - ⑦ SKY LIGHT ABOVE



PROFESSIONAL SEAL: _____



PROJECT: _____

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 CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

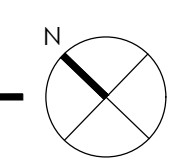
MARK	DATE	DESCRIPTION
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4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:
 SECOND FLOOR PLAN

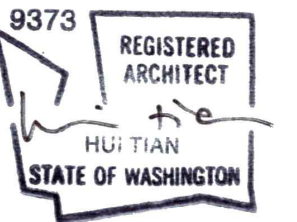
DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER:
 A-2.03

A1 SECOND FLOOR PLAN
 1/4" = 1'-0"



PROFESSIONAL SEAL: _____



PROJECT: _____
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MUNICIPALITY REVIEW
 CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

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4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

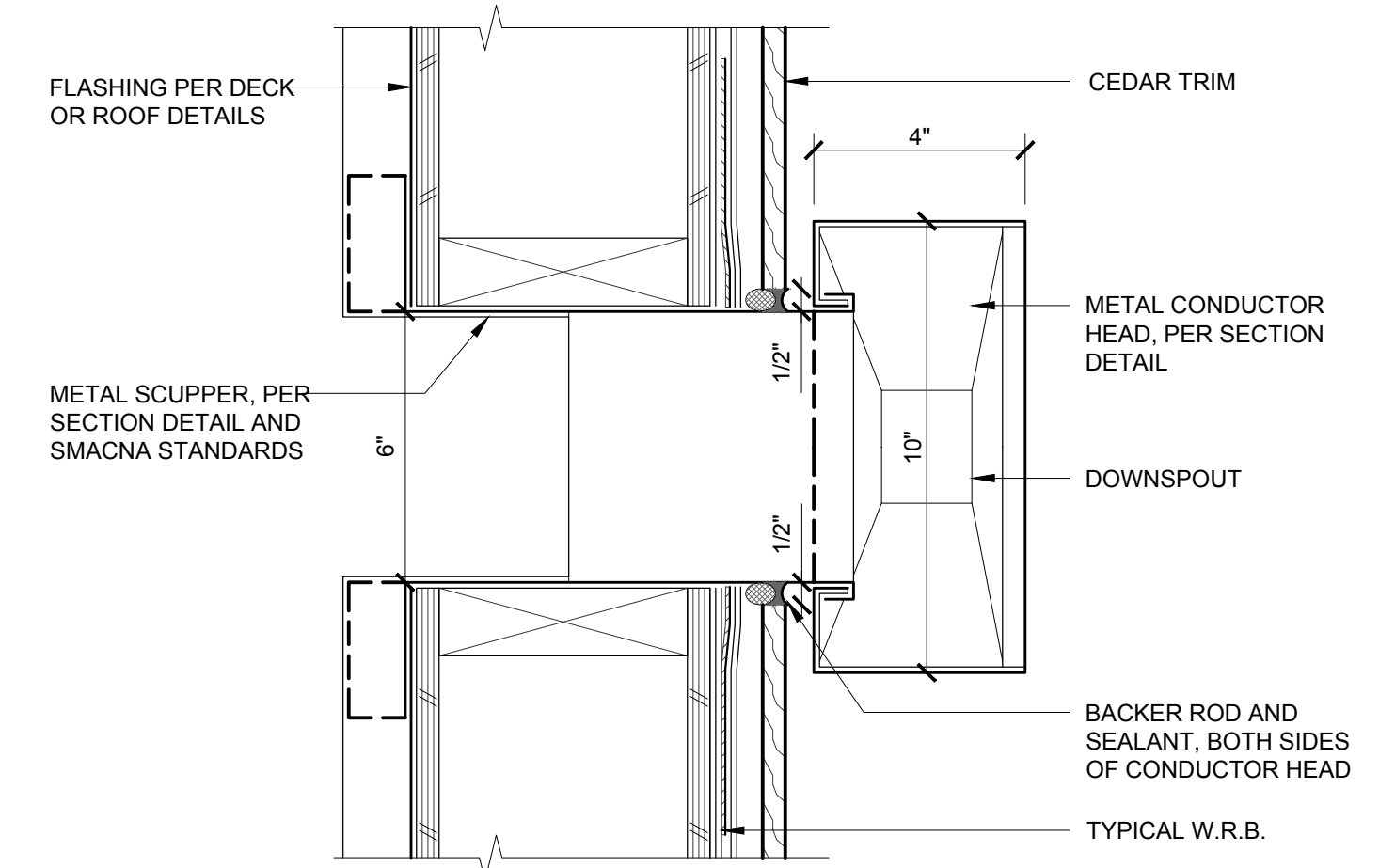
SHEET TITLE:
 ROOF PLAN

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

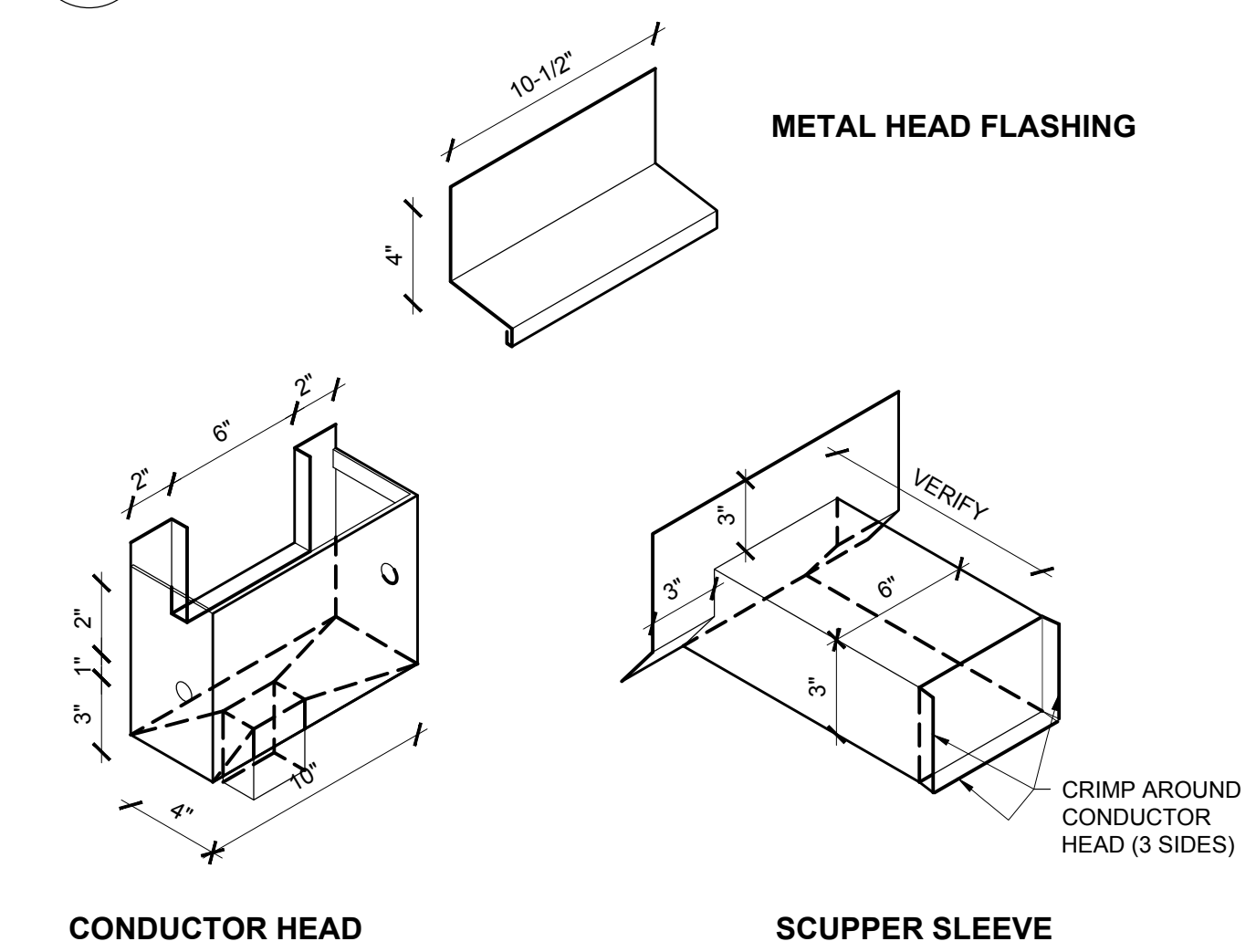
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 A-2.04

KEY NOTES

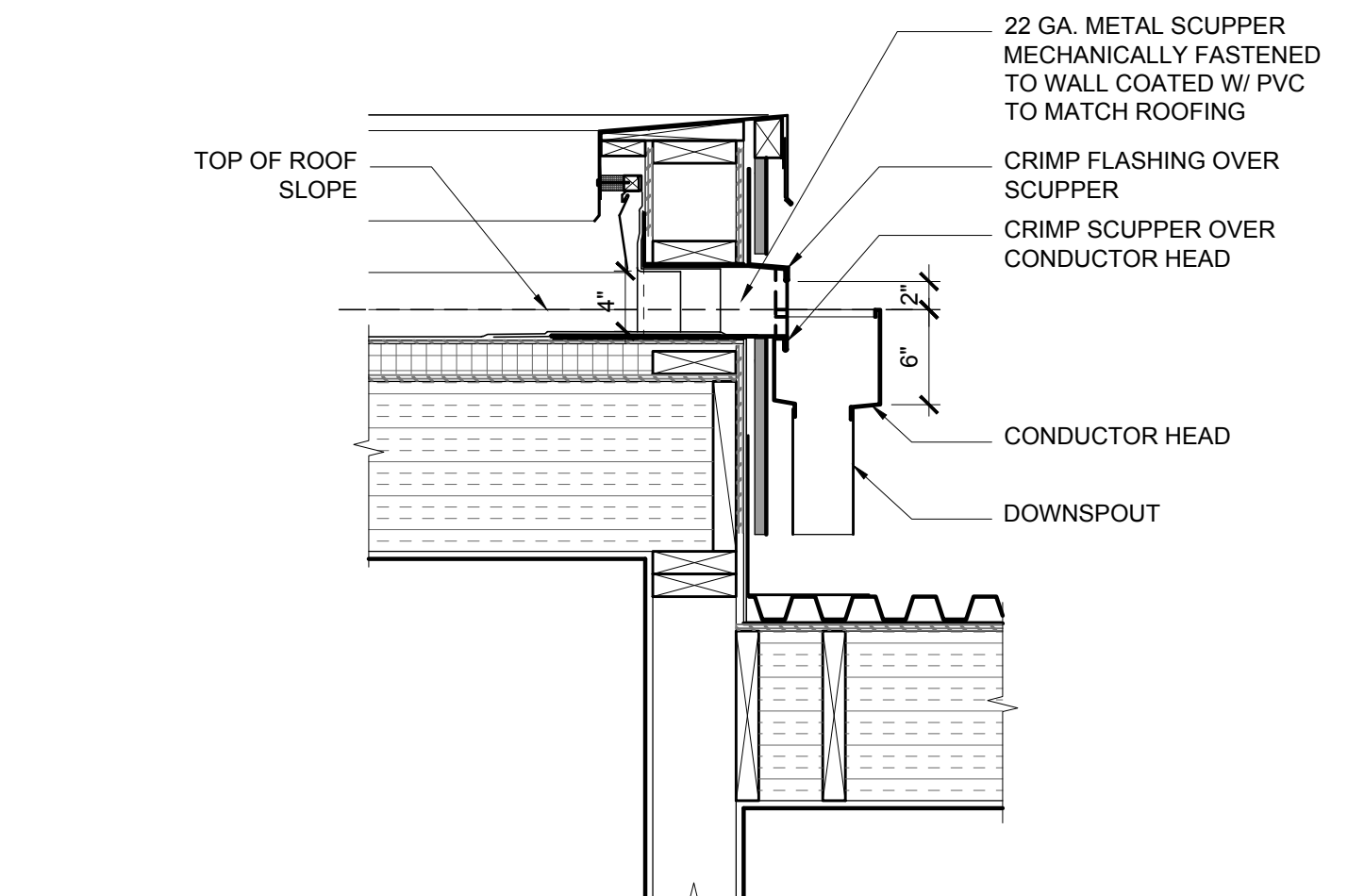
- 1 CORRUGATED METAL ROOF
- 2 PVC PARAPET ROOF
- 3 METAL GUTTER
- 4 ROOF DECK OVER PVC WRB
- 5 SCUPPER W/ INTEGRATED OVERFLOW & DOWN SPOUT. SEE DETAIL A5, B5 AND C5 ON A2.04.



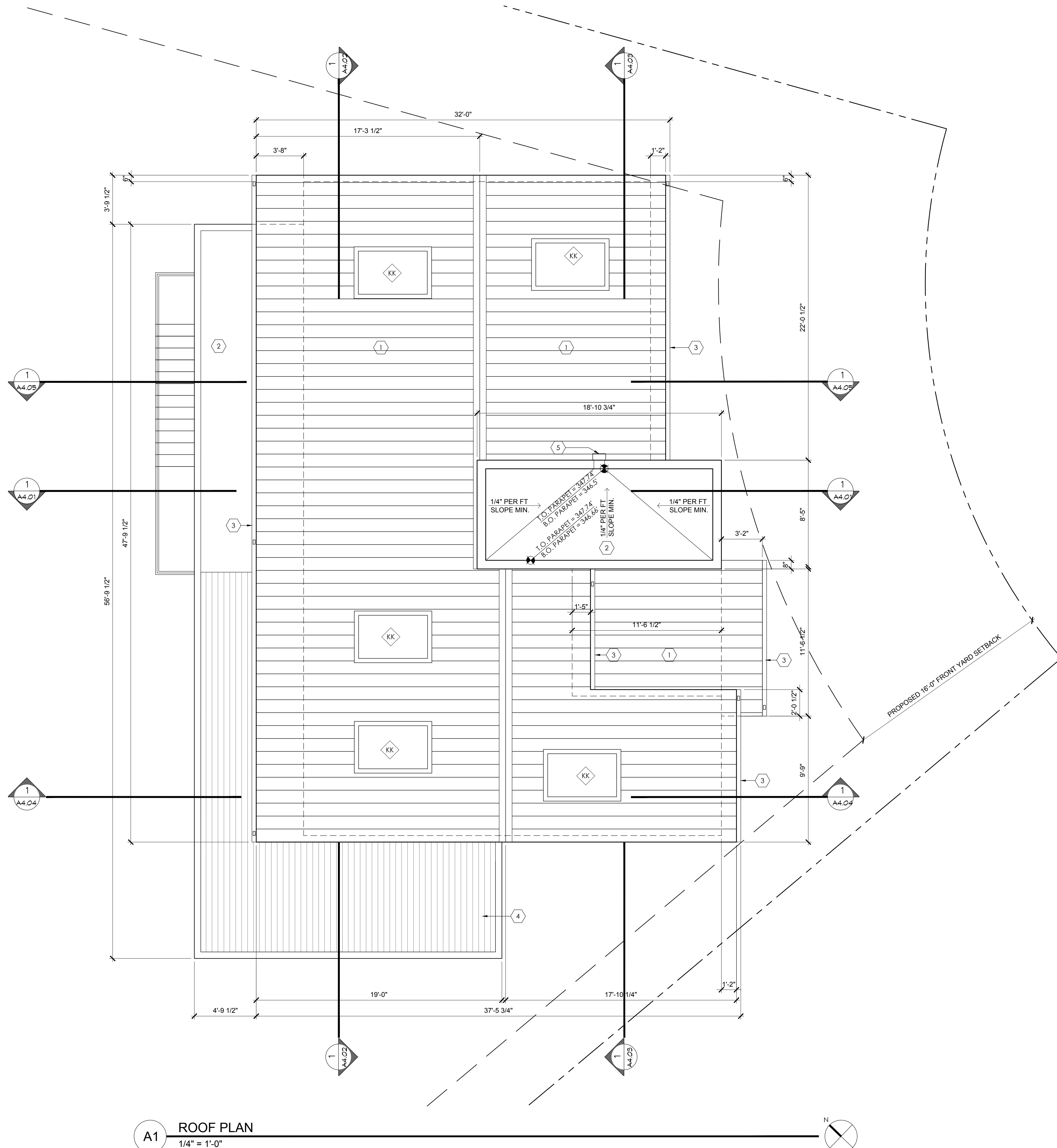
C5 ROOF SCUPPER PLAN ENLARGED PLAN
 1" = 1'-0"



B5 ROOF SCUPPER FLASHING
 1" = 1'-0"

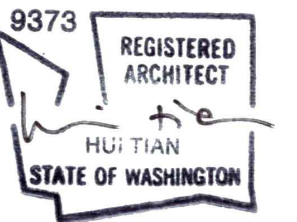


A5 SCUPPER SECTION DETAIL
 1" = 1'-0"



A1 ROOF PLAN
 1/4" = 1'-0"

PROFESSIONAL SEAL: _____



PROJECT: _____

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MUNICIPALITY REVIEW
 CITY OF MERCER ISLAND #: 1503-086

SHEET ISSUE: _____

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4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE: _____

BASEMENT
 REFLECTED CEILING PLAN

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER: _____

A-2.05

KEY NOTES

- 2" X 17'-0" CONTINUOUS STRIP VENT @ ECLOSED FLOOR CAVITY OVER NON-CONDITIONED / EXTERIOR SPACE. SEE REQUIRED VENTING CALCULATIONS ON THIS SHEET.
- 2" X 6'-0" CONTINUOUS STRIP VENT @ ECLOSED FLOOR CAVITY OVER NON-CONDITIONED / EXTERIOR SPACE. SEE REQUIRED VENTING CALCULATIONS ON THIS SHEET.
- 2" X 28'-0" CONTINUOUS STRIP VENT @ ECLOSED FLOOR CAVITY OVER NON-CONDITIONED / EXTERIOR SPACE. SEE REQUIRED VENTING CALCULATIONS ON THIS SHEET.
- 2" X 7'-0" CONTINUOUS STRIP VENT @ ECLOSED FLOOR CAVITY OVER NON-CONDITIONED / EXTERIOR SPACE. SEE REQUIRED VENTING CALCULATIONS ON THIS SHEET.

REQUIRED SOFFIT VENTILATION

REQUIRED VENTILATION: 1 SQ IN. PER 150 SQ IN. OF SOFFIT AREA.
 SOFFIT AREA: 490 SF = 70560 SQ. IN.
 70560 SQ. IN. / 150 SQ. IN. = **470 SQ. IN. OF VENTILATION REQUIRED**

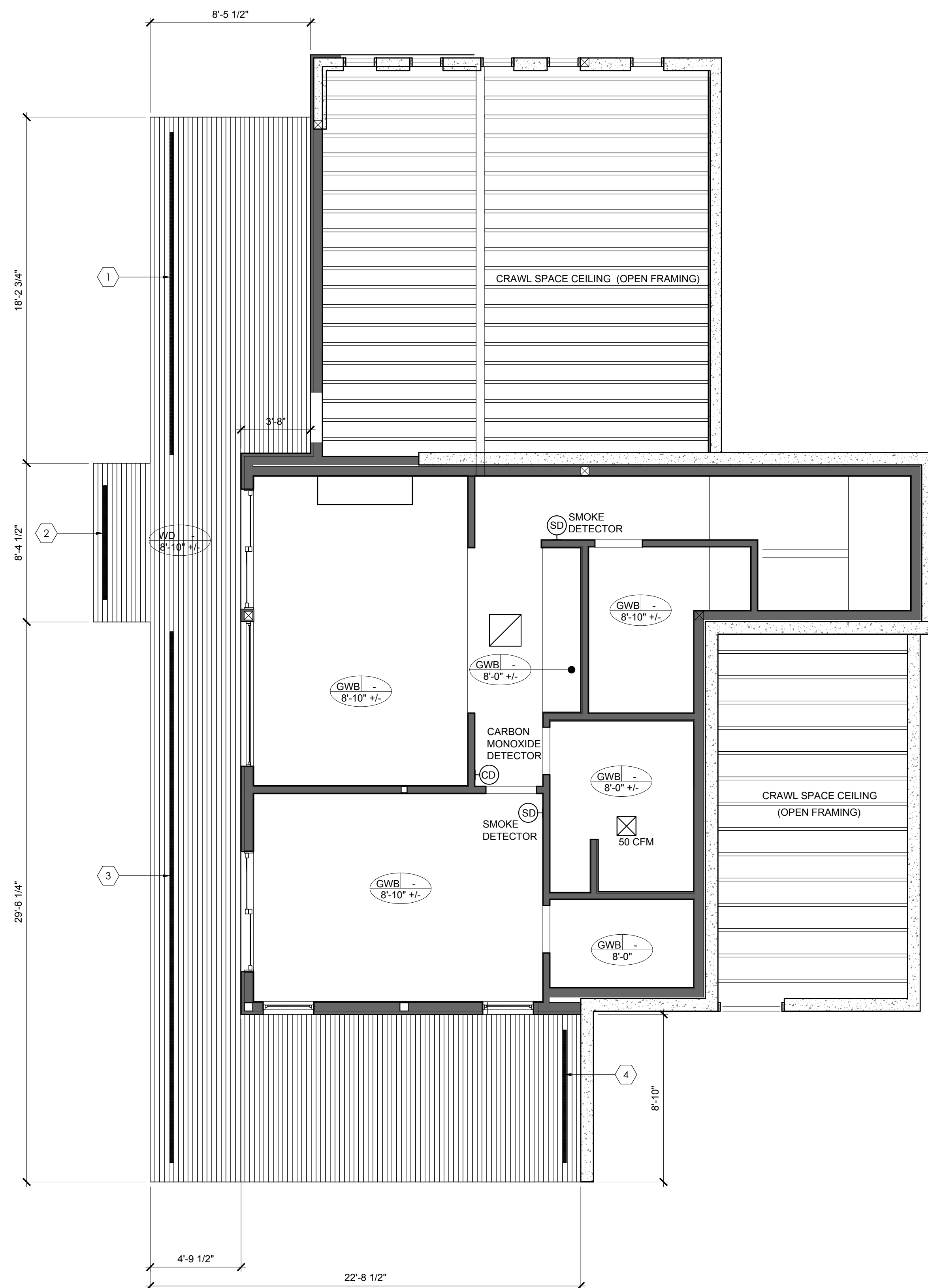
VENTING METHOD:
 2" CONTINUOUS LINEAR STRIP VENTS (18 SQ. IN. OF VENTILATION PER LINEAR FOOT).

REQUIRED LINEAR FEET OF STRIP VENTING:
 470 SQ. IN. / 18 SQ. IN. = 26 LINEAR FEET OF CONTINUOUS LINEAR STRIP VENT REQUIRED.

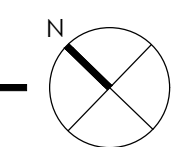
PROVIDED VENTING:

VENTSTRIP 1 = 17 LINEAR FEET = 306 SQ. INCHES
 VENTSTRIP 2 = 6 LINEAR FEET = 108 SQ. INCHES
 VENTSTRIP 3 = 28 LINEAR FEET = 504 SQ. INCHES
 VENTSTRIP 4 = 7 LINEAR FEET = 126 SQ. INCHES

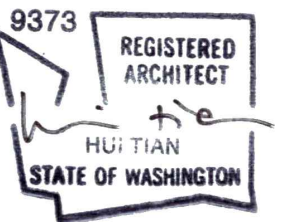
TOTAL VENTING PROVIDED = 58 LINEAR FEET = 870 SQ IN.



A1 BASEMENT REFLECTED CEILING PLAN
 1/4" = 1'-0"



PROFESSIONAL SEAL: _____



PROJECT: _____

VIEWCREST CAPITAL
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HOUSE 88

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MUNICIPALITY REVIEW
 CITY OF MERCER ISLAND #:1503-086

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1	02/10/2015	BUILDING PERMIT SUBMITTAL
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4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

GROUND FLOOR
 REFLECTED CEILING PLAN

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER: _____

A-2.06

KEY NOTES

- 1 2" X 3'-0" CONTINUOUS STRIP VENT @ ECLOSED FLOOR CAVITY OVER NON-CONDITIONED / EXTERIOR SPACE. SEE REQUIRED VENTING CALCULATIONS ON THIS SHEET.
- 2 2" X 10'-0" CONTINUOUS STRIP VENT @ ECLOSED FLOOR CAVITY OVER NON-CONDITIONED / EXTERIOR SPACE. SEE REQUIRED VENTING CALCULATIONS ON THIS SHEET.

REQUIRED SOFFIT VENTILATION

REQUIRED VENTILATION: 1 SQ. IN. PER 150 SQ. IN. OF SOFFIT AREA.

SOFFIT AREA 1:
 SOFFIT AREA: 90 SF = 12960 SQ. IN.
 12960 SQ. IN. / 150 SQ. IN. = **87 SQ. IN. OF VENTILATION REQUIRED**

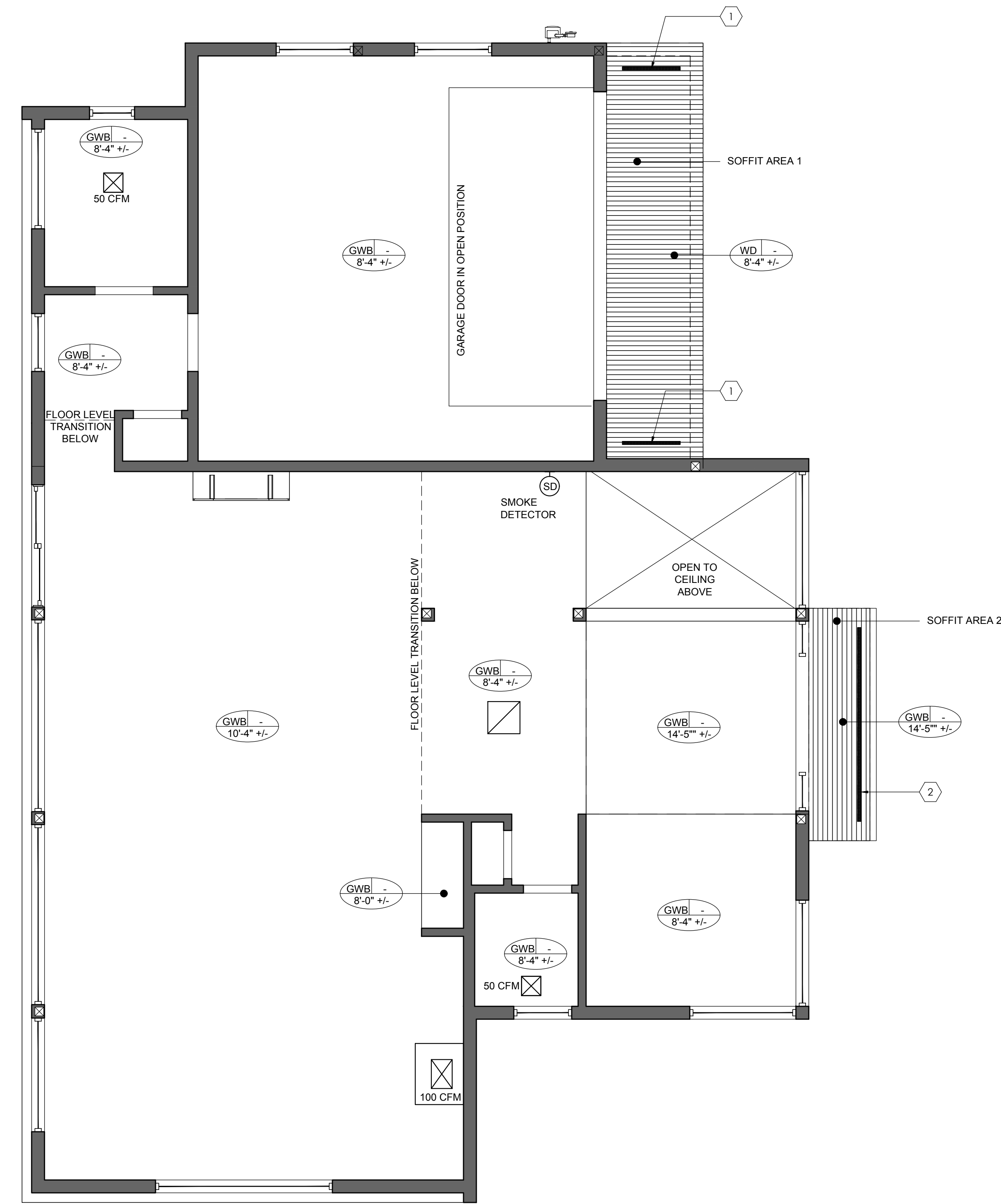
VENTING METHOD:
 2" CONTINUOUS LINEAR STRIP VENTS (18 SQ. IN. OF VENTILATION PER LINEAR FOOT).
REQUIRED LINEAR FEET OF STRIP VENTING:
 87 SQ. IN. / 18 SQ. IN. = 5 LINEAR FEET OF CONTINUOUS LINEAR STRIP VENT REQUIRED.

PROVIDED VENTING:
 VENTSTRIP 1(x2) = 6 LINEAR FEET = 108 SQ. INCHES
TOTAL VENTING PROVIDED = 6 LINEAR FEET = 108 SQ IN.

SOFFIT AREA 2:
 SOFFIT AREA: 38 SF = 5472 SQ. IN.
 5472 SQ. IN. / 150 SQ. IN. = **37 SQ. IN. OF VENTILATION REQUIRED**

VENTING METHOD:
 2" CONTINUOUS LINEAR STRIP VENTS (18 SQ. IN. OF VENTILATION PER LINEAR FOOT).
REQUIRED LINEAR FEET OF STRIP VENTING:
 37 SQ. IN. / 18 SQ. IN. = 2 LINEAR FEET OF CONTINUOUS LINEAR STRIP VENT REQUIRED.

PROVIDED VENTING:
 VENTSTRIP 2 = 10 LINEAR FEET = 180 SQ. INCHES
TOTAL VENTING PROVIDED = 10 LINEAR FEET = 180 SQ IN.



A1 GROUND FLOOR REFLECTED CEILING PLAN
 1/4" = 1'-0"

PROFESSIONAL SEAL: _____



PROJECT: _____

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HOUSE 88

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 MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
 CITY OF MERCER ISLAND #:1503-086

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4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

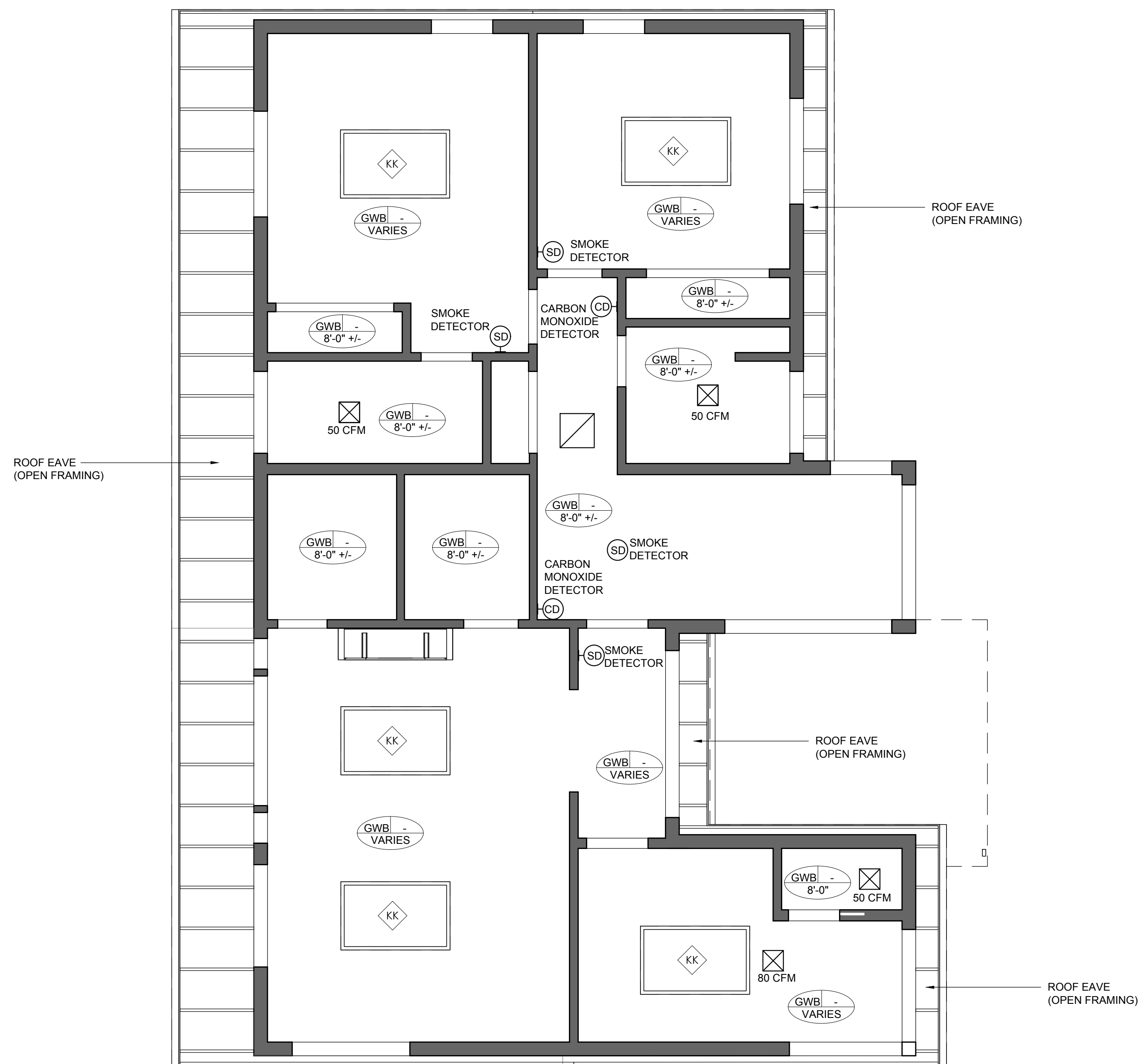
SHEET TITLE: _____

SECOND FLOOR
 REFLECTED CEILING PLAN

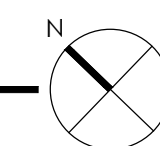
DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER: _____

A-2.07

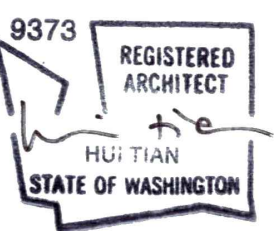


A1 SECOND FLOOR REFLECTED CEILING PLAN
 1/4" = 1'-0"



- KEY NOTES**
- ① SHIP-LAP WOOD SIDING
 - ② HARDIE REVEAL 1.0 PANELS
 - ③ 36" TALL CABLE GUARDRAIL @ 36" AFF. CABLES @ 3" MAX. OC.
 - ④ CRAWL SPACE ACCESS
 - ⑤ SKYLITE
 - ⑥ CONCRETE RETAINING WALL PROTECTING CUT. AGGREGATE HEIGHT OF RETAINING WALLS IN IN REQUIRED YARD LIMITED TO 144" MAX. PER M.I. 19.02.050 (D)(4). SEE DETAILS 6 & 10 ON SHEET S3.2 FOR MORE INFORMATION.

PROFESSIONAL SEAL: _____



PROJECT: _____

VIEWCREST CAPITAL
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 CITY OF MERCER ISLAND #1503-086

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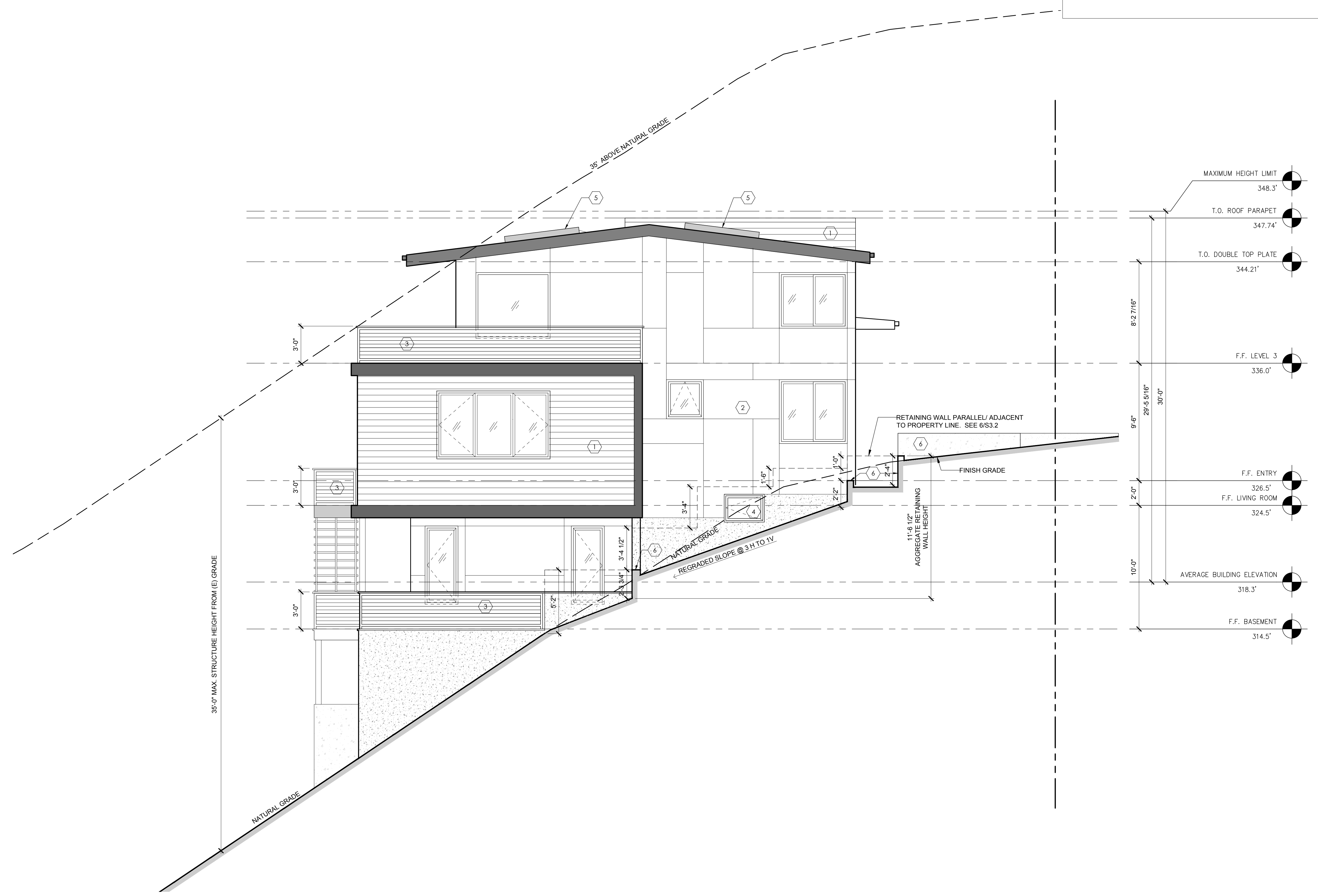
MARK	DATE	DESCRIPTION
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3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

SOUTH BUILDING ELEVATION

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

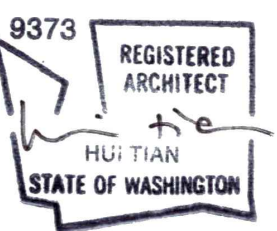
SHEET NUMBER: **A-3.01**



A1 SOUTH BUILDING ELEVATION
 1/4" = 1'-0"

- KEY NOTES**
- ① SHIP-LAP WOOD SIDING
 - ② HARDIE REVEAL 1.0 PANELS
 - ③ 36" TALL CABLE GUARDRAIL @ 36" AFF. CABLES @ 3" MAX. OC.
 - ④ CRAWL SPACE VENT
 - ⑤ SKYLITE
 - ⑥ CONCRETE RETAINING WALL PROTECTING FILL. AGGREGATE HEIGHT OF RETAINING WALLS PROTECTING FILL IN REQUIRED YARD LIMITED TO 72" MAX. RETAINING WALLS IN REQUIRED YARD AND WITHIN 20' OF IMPROVED STREET LIMITED TO 42" MAX. PER M.I. 19.02.050 (D)(5). SEE DETAILS 6 & 10 ON SHEET S3.2 FOR MORE INFORMATION

PROFESSIONAL SEAL:



PROJECT:

VIEWCREST CAPITAL
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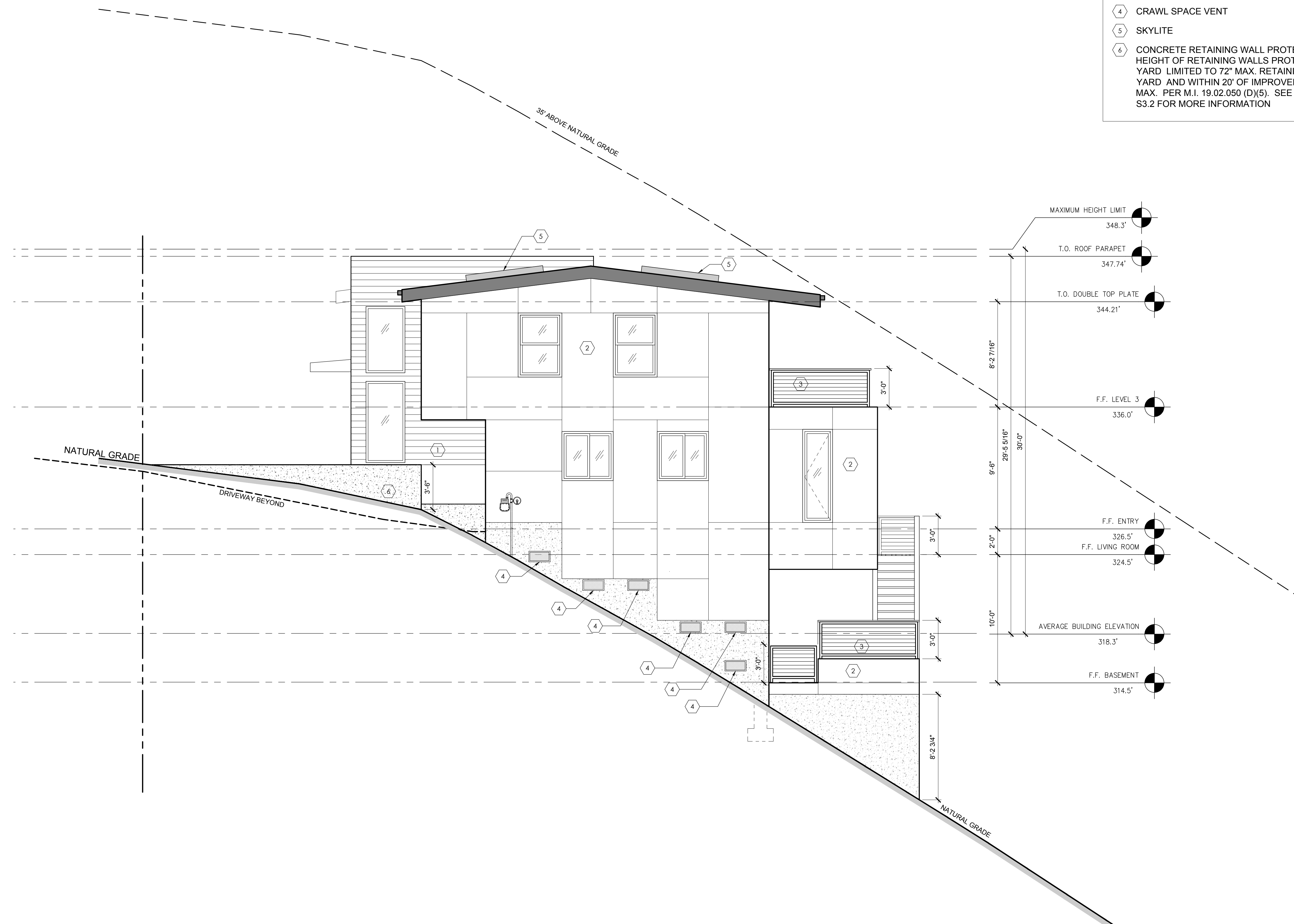
SHEET TITLE:

NORTH BUILDING ELEVATION

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER:

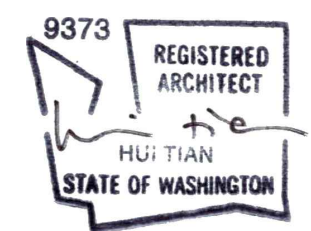
A-3.02



A1 NORTH BUILDING ELEVATION
 1/4" = 1'-0"

- KEY NOTES**
- ① SHIP-LAP WOOD SIDING
 - ② HARDIE REVEAL 1.0 CEMENTITIOUS PANELS
 - ③ 36" TALL CABLE GUARDRAIL @ 36" AFF. CABLES @ 3" MAX. OC.
 - ④ STANDING SEAM METAL ROOF. 1:12 SLOPE
 - ⑤ RETAINING WALL. SEE 6 & 10 / S3.2 FOR MORE INFORMATION

PROFESSIONAL SEAL: _____



PROJECT: _____

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5	01/14/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

WEST BUILDING ELEVATION

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

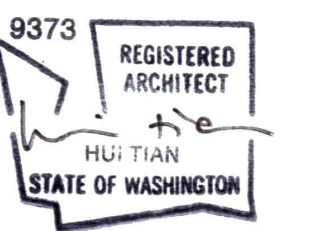
SHEET NUMBER: **A-3.03**



A1 WEST BUILDING ELEVATION
 1/4" = 1'-0"

- KEY NOTES**
- ① SHIP-LAP WOOD SIDING
 - ② HARDIE REVEAL 1.0 PANELS
 - ③ 36" TALL CABLE GUARDRAIL @ 36" AFF. CABLES @ 3" MAX. OC.
 - ④ SKYLITE

PROFESSIONAL SEAL: _____



PROJECT: _____

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MUNICIPALITY REVIEW
 CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

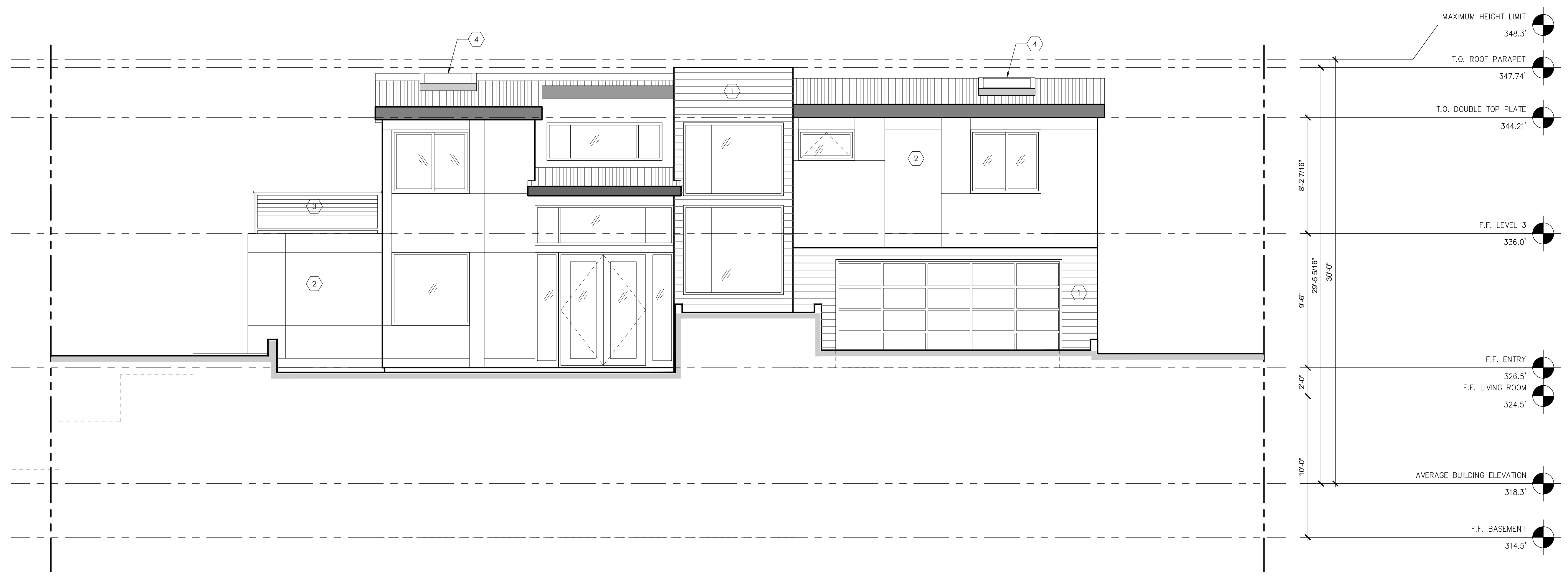
MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

EAST BUILDING ELEVATION

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER: **A-3.04**

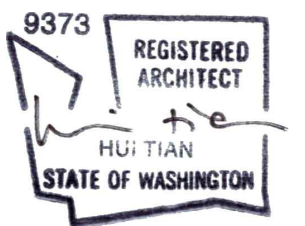


A1 EAST BUILDING ELEVATION
 1/4" = 1'-0"

KEY NOTES

- 1 SPRAY-IN CLOSED CELL INSULATION (R-49 MIN.) @ ROOF. NO VENTILATION REQUIRED.
- 2 MIN. 2" TAPERED RIGID INSULATION (MIN R-10)
- 3 EXTERIOR WALL BATT INSULATION (R-21 MIN.)
- 4 MIN. R-30 BATT INSULATION @ FLOOR OVER UNCONDITIONED / EXTERIOR SPACE. PROVIDE REQUIRED VENTING PER REFLECTED CEILING PLANS.
- 5 MIN. 2" RIGID INSULATION UNDER ENTIRE BASEMENT SLAB (MIN. R-10)
- 6 AUGER CAST PILE PER STRUCTURAL WHERE OCCURS
- 7 SHORING PER STRUCTURAL WHERE OCCURS
- 8 36" TALL CABLE GUARDRAIL. CABLES @ 3" MAX. OC.
- 9 PERMEABLE PAVERS PER DETAIL A5/A1.01.
- 10 PERMEABLE PAVERS @ STAIR TREADS PER DETAIL A5/A1.01.
- 11 STEEL PLATE RISERS.

PROFESSIONAL SEAL:



PROJECT:

VIEWCREST CAPITAL
 11900 NE 1st ST, SUITE 300
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HOUSE 88

4703 88TH AVE SE
 MERCER ISLAND, WA 98040

MUNICIPALITY REVIEW
 CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

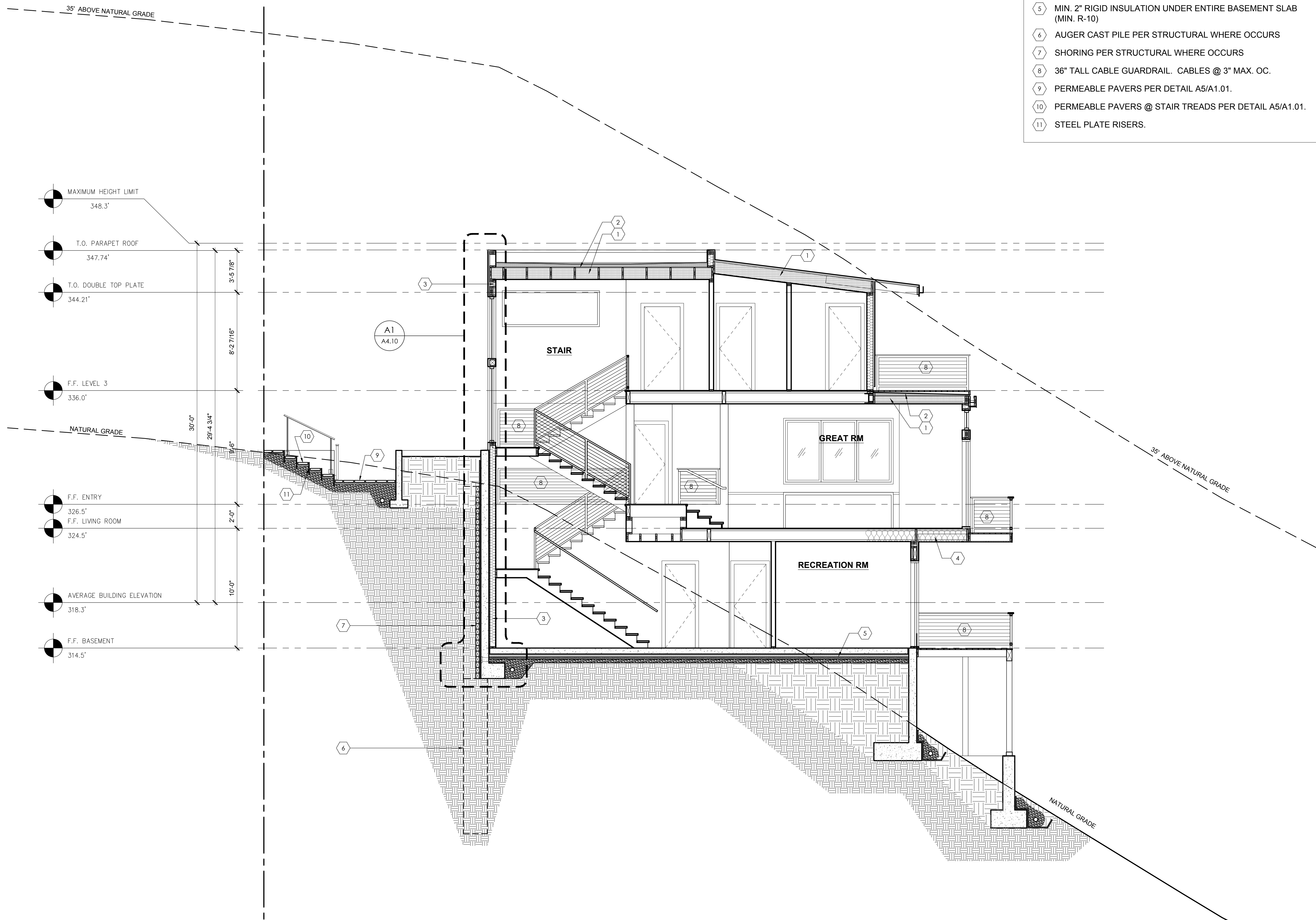
SHEET TITLE:

EAST - WEST BUILDING SECTION

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER:

A-4.01



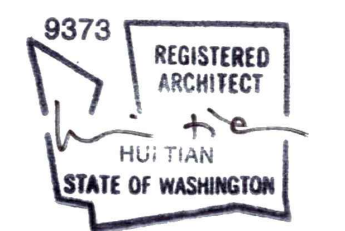
- MAXIMUM HEIGHT LIMIT 348.3'
- T.O. PARAPET ROOF 347.74'
- T.O. DOUBLE TOP PLATE 344.21'
- F.F. LEVEL 3 336.0'
- NATURAL GRADE
- F.F. ENTRY 326.5'
- F.F. LIVING ROOM 324.5'
- AVERAGE BUILDING ELEVATION 318.3'
- F.F. BASEMENT 314.5'

A1 EAST - WEST BUILDING SECTION
 1/4" = 1'-0"

KEY NOTES

- ① SPRAY-IN CLOSED CELL INSULATION (R-49 MIN.) @ ROOF. NO VENTILATION REQUIRED.
- ② MIN. 2" TAPERED RIGID INSULATION (MIN R-10)
- ③ EXTERIOR WALL BATT INSULATION (R-21 MIN.)
- ④ MIN. R-30 BATT INSULATION @ FLOOR OVER UNCONDITIONED / EXTERIOR SPACE. PROVIDE REQUIRED VENTING PER REFLECTED CEILING PLANS.
- ⑤ MIN. 2" RIGID INSULATION UNDER ENTIRE BASEMENT SLAB (MIN. R-10)
- ⑥ 1 HR FIRE SEPARATION BETWEEN GARAGE AND RESIDENCE. PROVIDE 5/8" GWB ON BOTH SIDES OF WALLS SEPARATING GARAGE FROM RESIDENCE. SEE A2.02.
- ⑦ 1 HR FIRE SEPARATION BETWEEN GARAGE AND RESIDENCE. PROVIDE (2) LAYERS OF 5/8" TYPE X GWB AT GARAGE CEILING. SEE A 2.02.
- ⑧ 36" TALL CABLE GUARDRAIL. CABLES @ 3" MAX. OC.

PROFESSIONAL SEAL:



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 CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

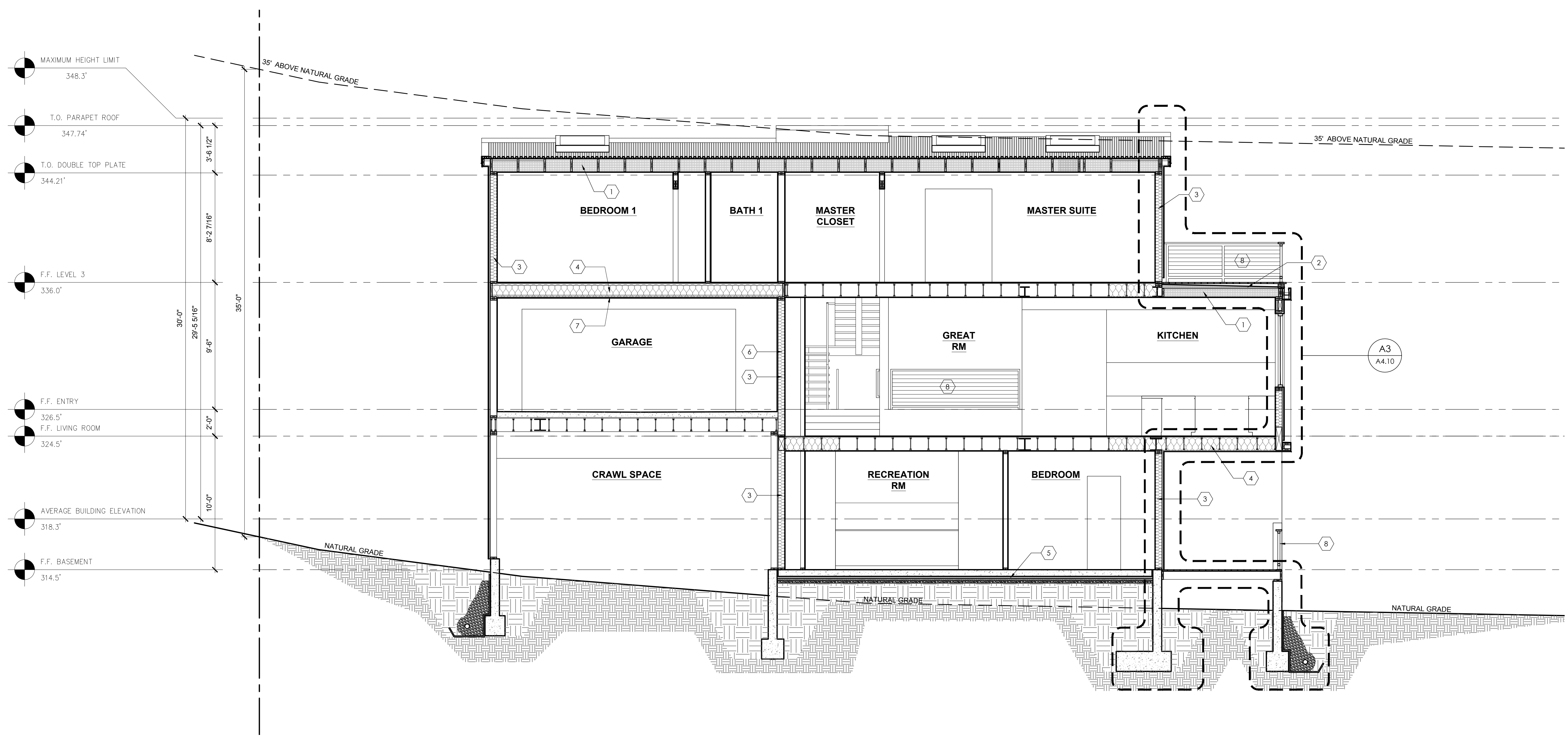
MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

NORTH - SOUTH BUILDING SECTION

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER: A-4.02

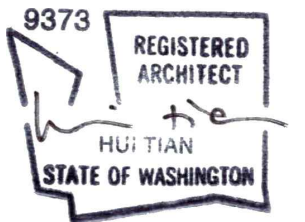


A1 NORTH - SOUTH BUILDING SECTION
 1/4" = 1'-0"

KEY NOTES

- ① SPRAY-IN CLOSED CELL INSULATION (R-49 MIN.) @ ROOF. NO VENTILATION REQUIRED.
- ② MIN. 2" TAPERED RIGID INSULATION (MIN R-10)
- ③ EXTERIOR WALL BATT INSULATION (R-21 MIN.)
- ④ MIN. R-30 BATT INSULATION @ FLOOR OVER UNCONDITIONED / EXTERIOR SPACE. PROVIDE REQUIRED VENTING PER REFLECTED CEILING PLANS.
- ⑤ NOT USED
- ⑥ AUGER CAST PILE PER STRUCTURAL WHERE OCCURS
- ⑦ SHORING PER STRUCTURAL WHERE OCCURS
- ⑧ 36" TALL CABLE GUARDRAIL. CABLES @ 3" MAX. OC.

PROFESSIONAL SEAL: _____



PROJECT: _____

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SHEET ISSUE:

MARK	DATE	DESCRIPTION
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4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

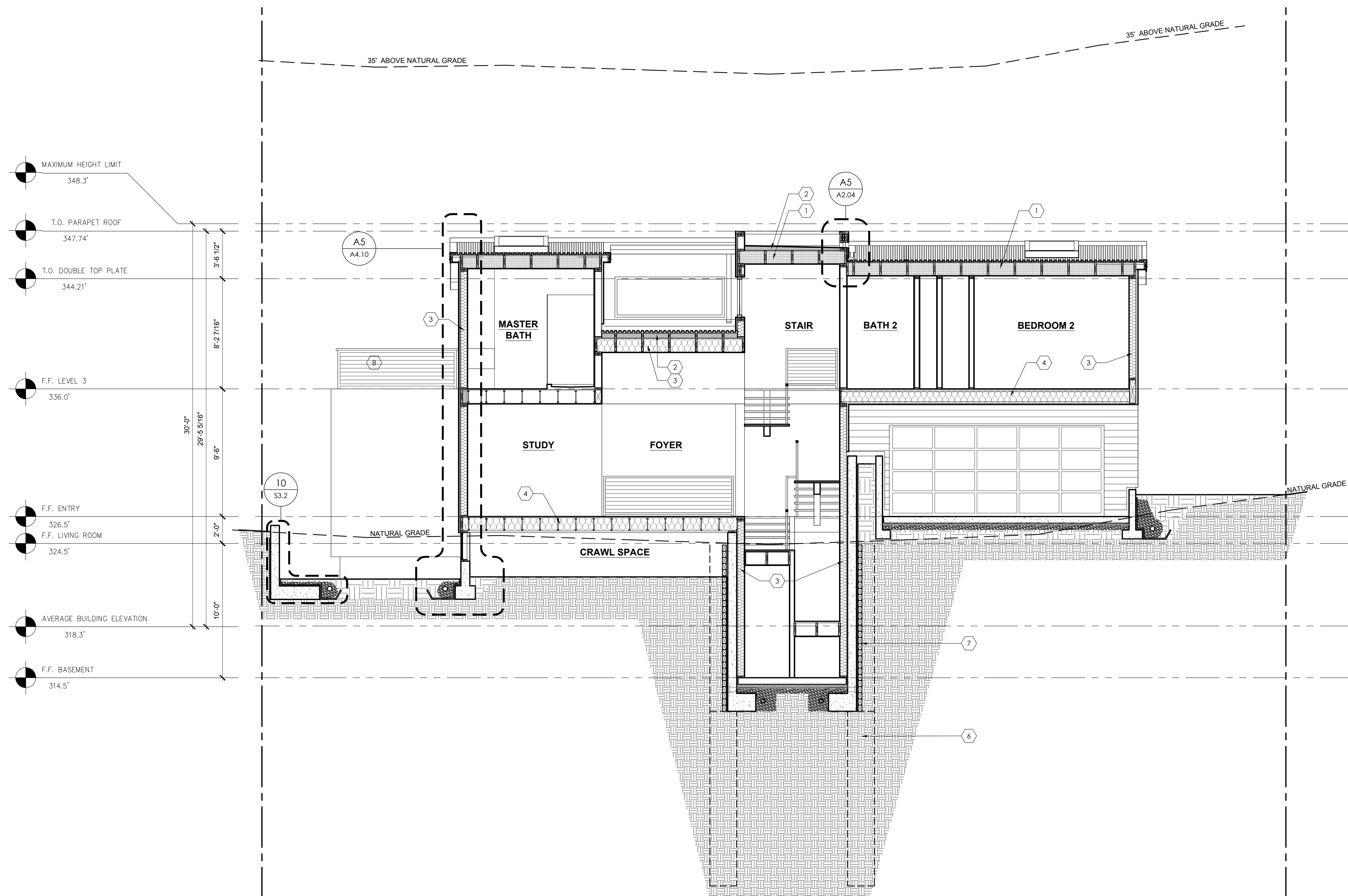
SHEET TITLE:

SOUTH - NORTH BUILDING SECTION

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER: _____

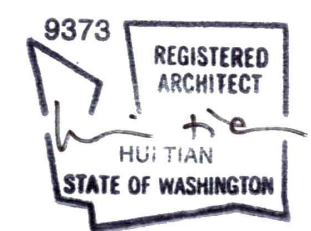
A-4.03



A1 SOUTH - NORTH BUILDING SECTION
 1/4" = 1'-0"

- KEY NOTES**
- 1 SPRAY-IN CLOSED CELL INSULATION (R-49 MIN.) @ ROOF. NO VENTILATION REQUIRED.
 - 2 MIN. 2" TAPERED RIGID INSULATION (MIN R-10)
 - 3 EXTERIOR WALL BATT INSULATION (R-21 MIN.)
 - 4 MIN. R-30 BATT INSULATION @ FLOOR OVER UNCONDITIONED / EXTERIOR SPACE. PROVIDE REQUIRED VENTING PER REFLECTED CEILING PLANS.
 - 5 MIN. 2" RIGID INSULATION UNDER ENTIRE BASEMENT SLAB (MIN. R-10)
 - 6 AUGER CAST PILE PER STRUCTURAL WHERE OCCURS
 - 7 SHORING PER STRUCTURAL WHERE OCCURS
 - 8 36" TALL CABLE GUARDRAIL. CABLES @ 3" MAX. OC.

PROFESSIONAL SEAL: _____



PROJECT: _____

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MUNICIPALITY REVIEW
 CITY OF MERCER ISLAND #1503-086

SHEET ISSUE:

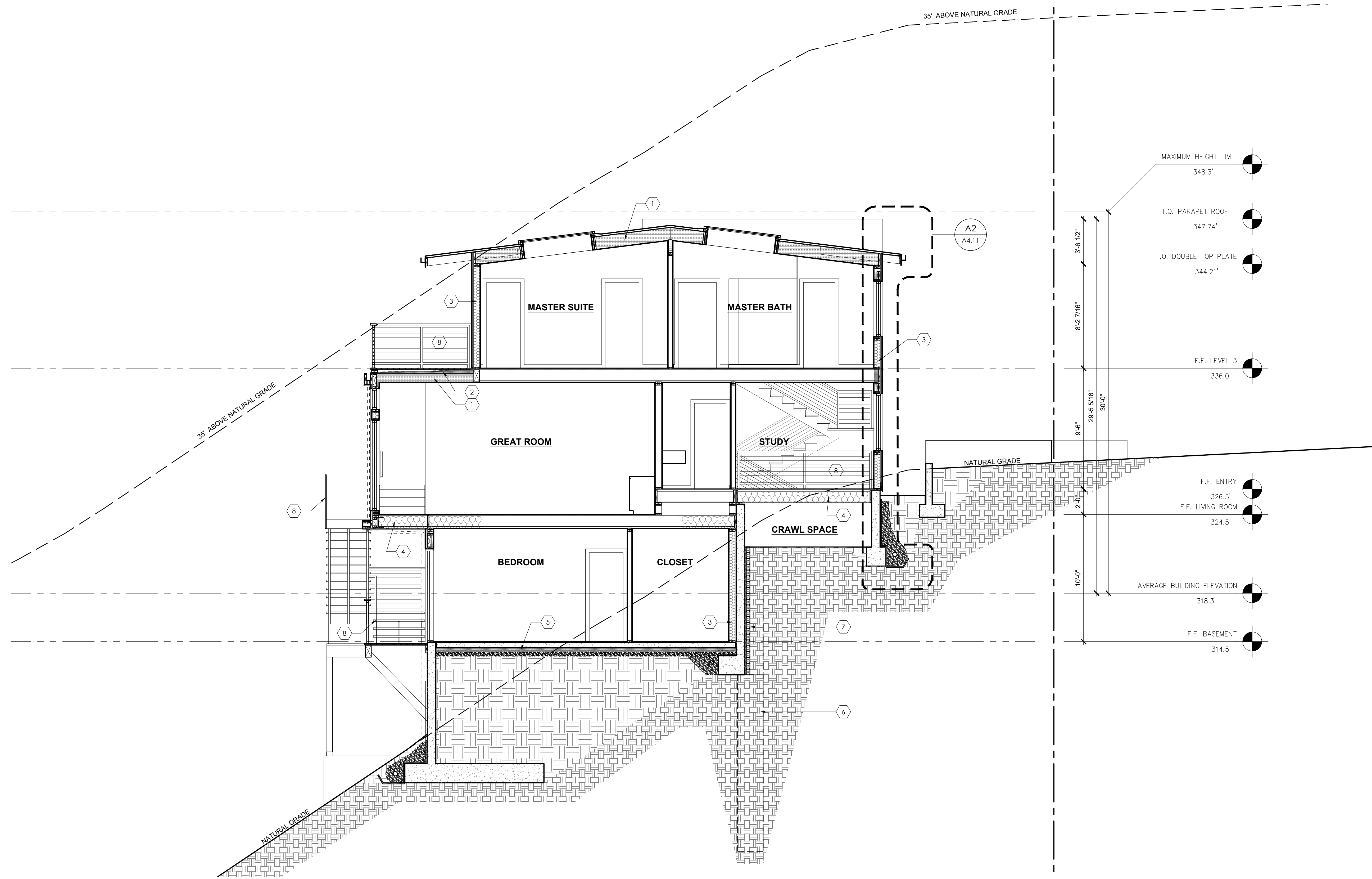
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4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

WEST - EAST BUILDING SECTION

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER: _____

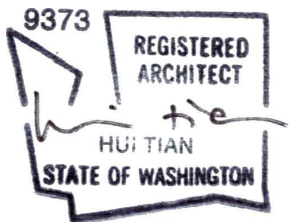


A1 WEST - EAST BUILDING SECTION
 1/4" = 1'-0"

KEY NOTES

- 1 SPRAY-IN CLOSED CELL INSULATION (R-49 MIN.) @ ROOF. NO VENTILATION REQUIRED.
- 2 MIN. 2" TAPERED RIGID INSULATION (MIN R-10)
- 3 EXTERIOR WALL BATT INSULATION (R-21 MIN.)
- 4 MIN. R-30 BATT INSULATION @ FLOOR OVER UNCONDITIONED / EXTERIOR SPACE. PROVIDE REQUIRED VENTING PER REFLECTED CEILING PLANS.
- 5 NOT USED ON THIS SHEET
- 6 1 HR FIRE SEPARATION BETWEEN GARAGE AND RESIDENCE. PROVIDE 5/8" GWB ON BOTH SIDES OF WALLS SEPARATING GARAGE FROM RESIDENCE. SEE A2.02 AND DOOR SCHEDULE ON A7.02.
- 7 1 HR FIRE SEPARATION BETWEEN GARAGE AND RESIDENCE. PROVIDE (2) LAYERS OF 5/8" TYPE X GWB AT GARAGE CEILING. SEE A 2.02.
- 8 36" TALL CABLE GUARDRAIL. CABLES @ 3" MAX. OC.
- 9 FLOOR DRAIN
- 10 STRIP DRAIN

PROFESSIONAL SEAL: _____



PROJECT: _____

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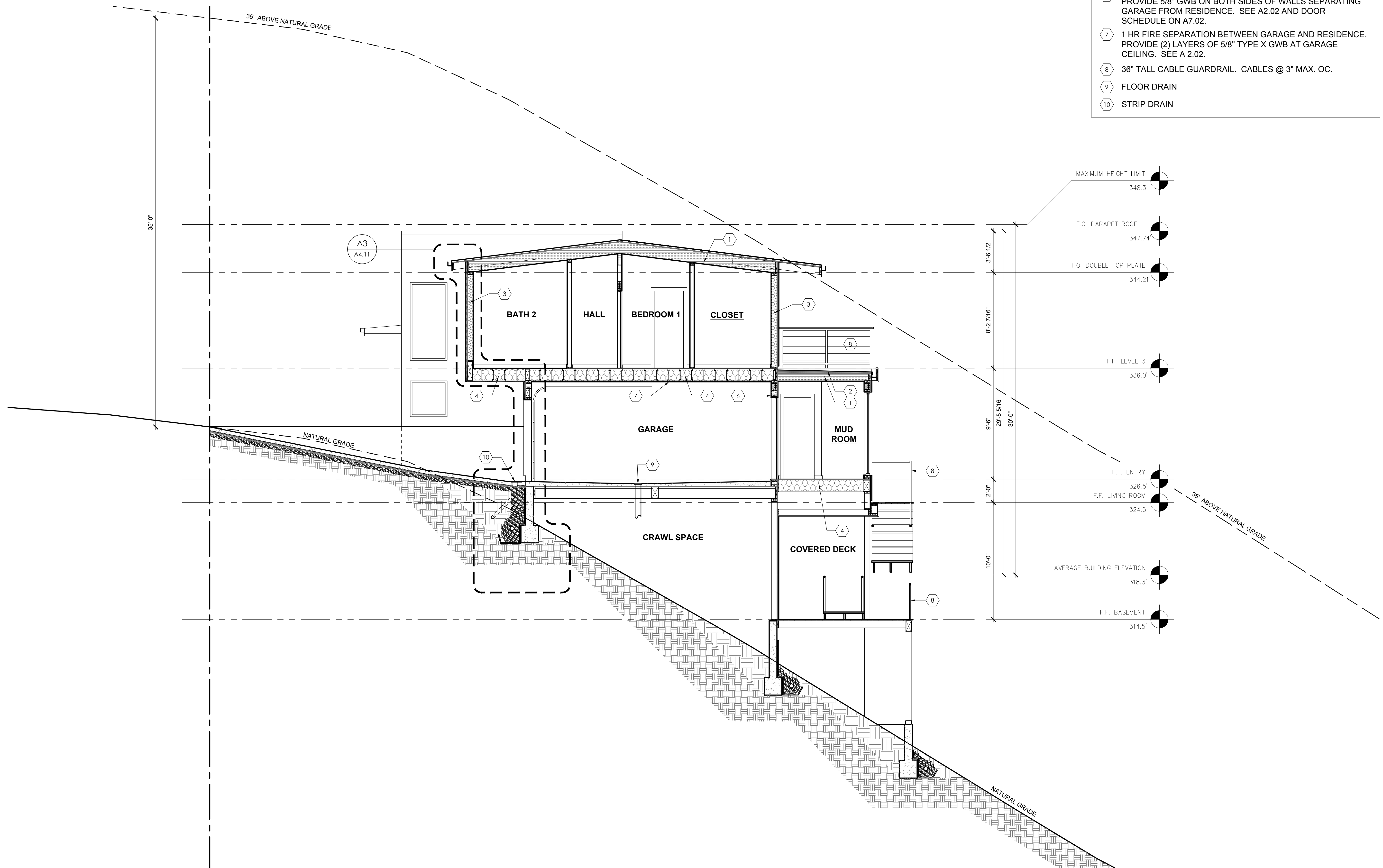
SHEET TITLE:

EAST - WEST BUILDING SECTION

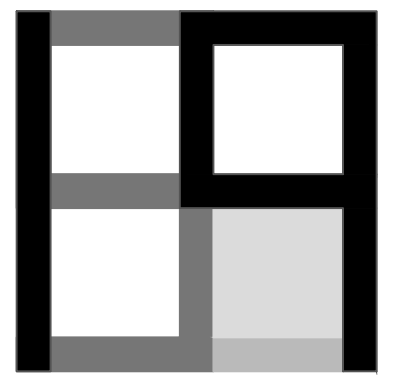
DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER:

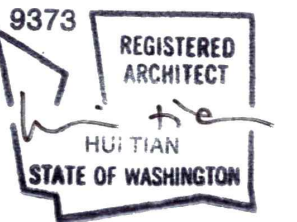
A-4.05



A1 EAST - WEST BUILDING SECTION
 1/4" = 1'-0"



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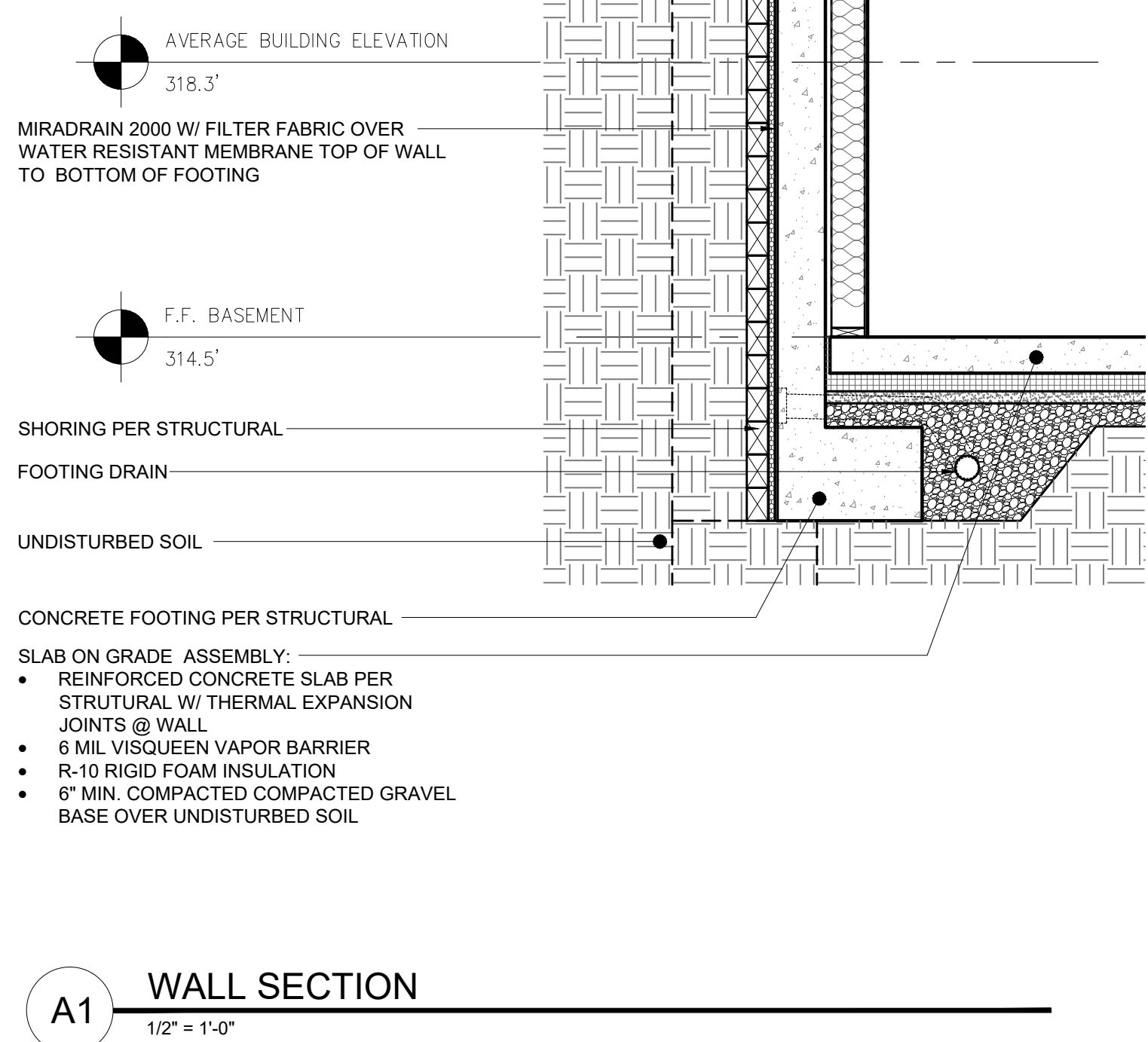
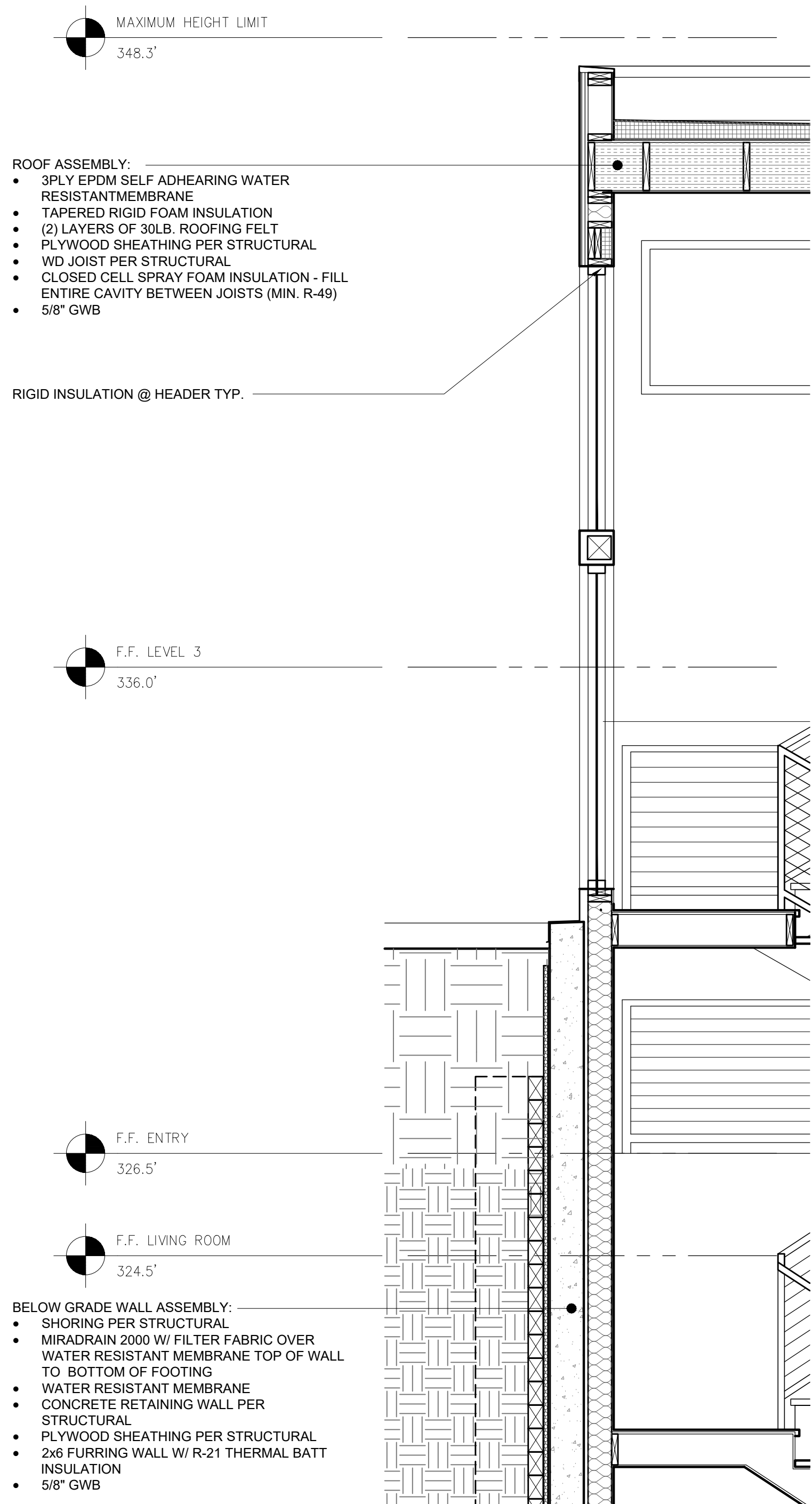
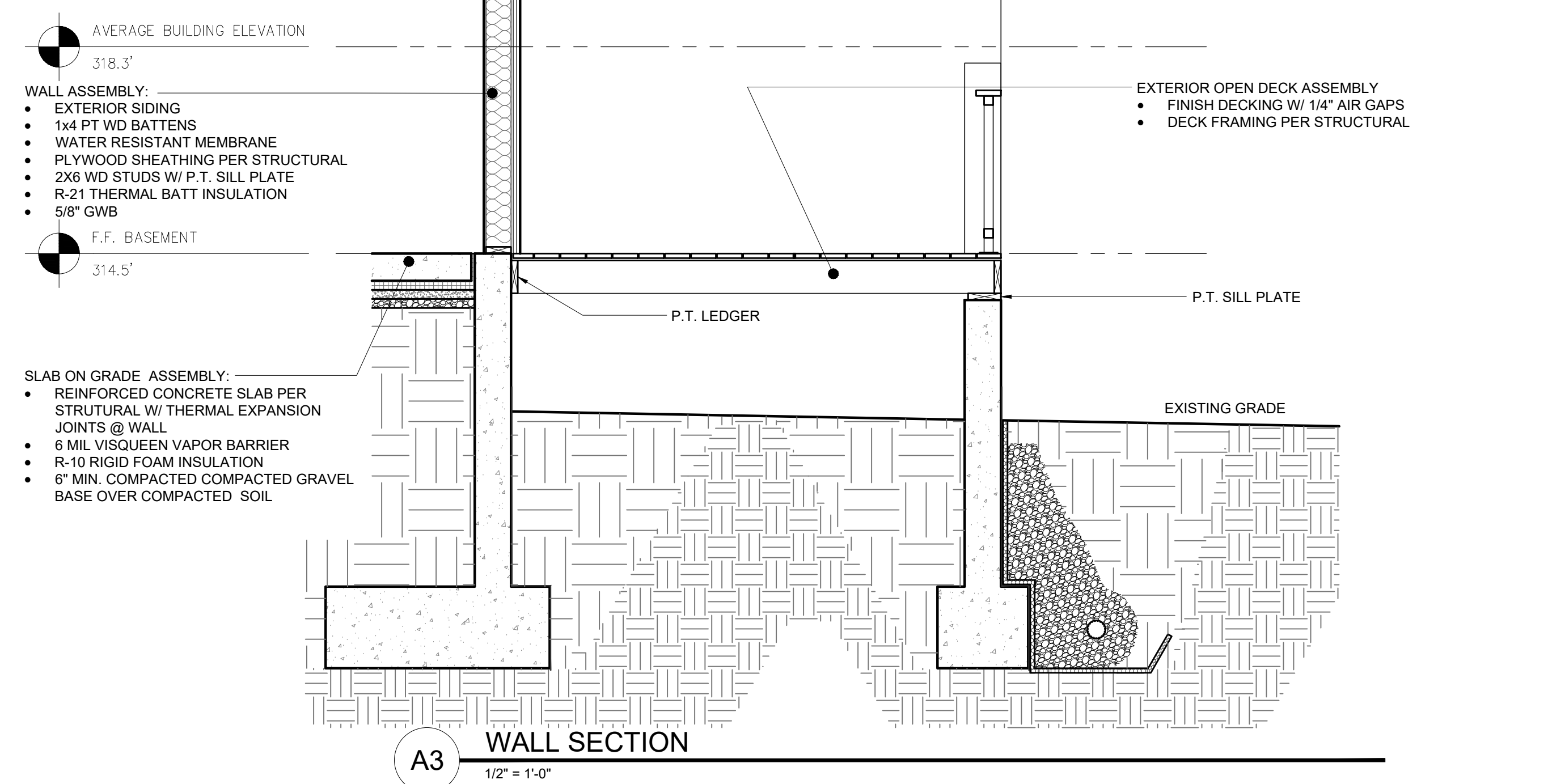
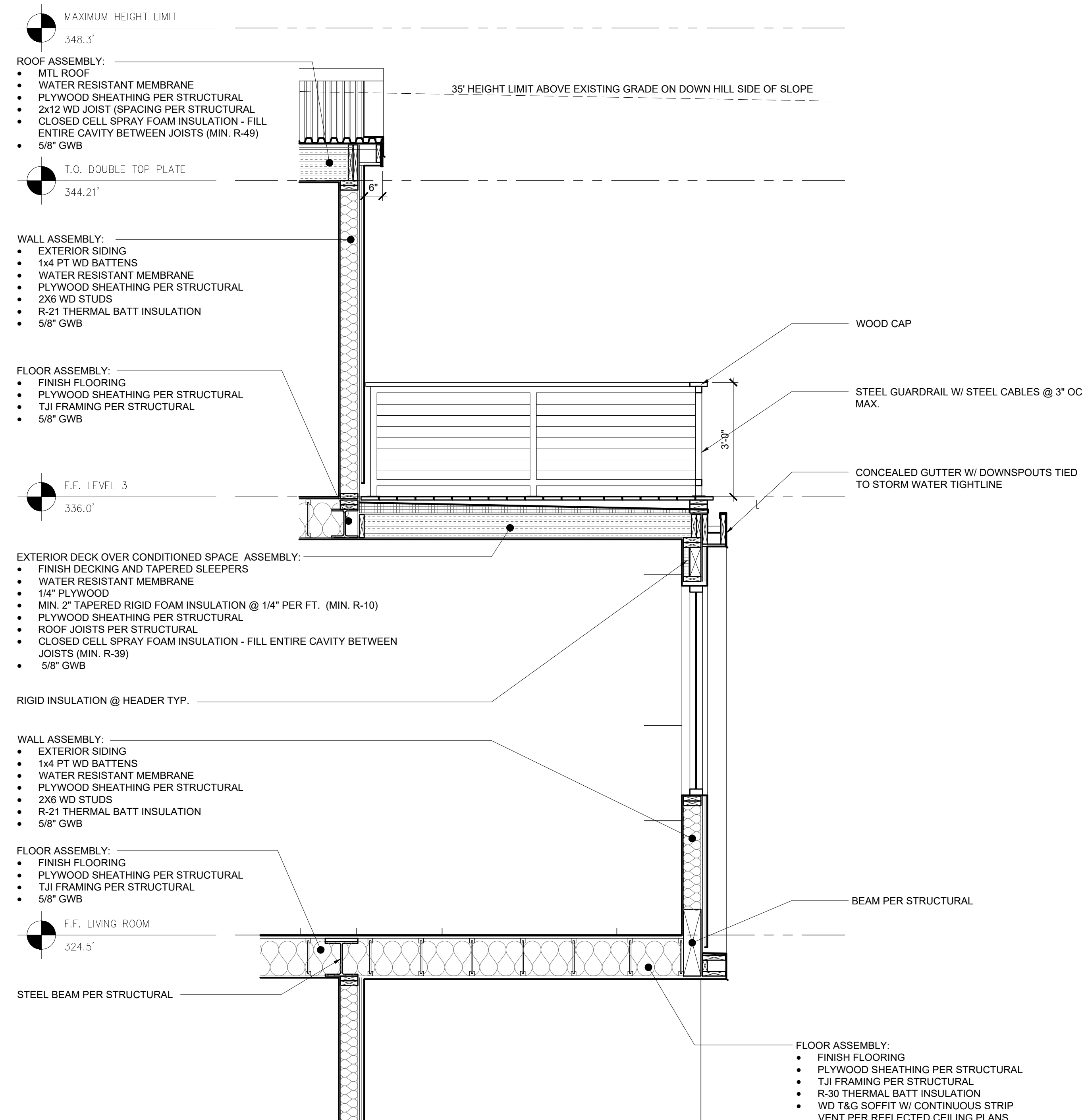
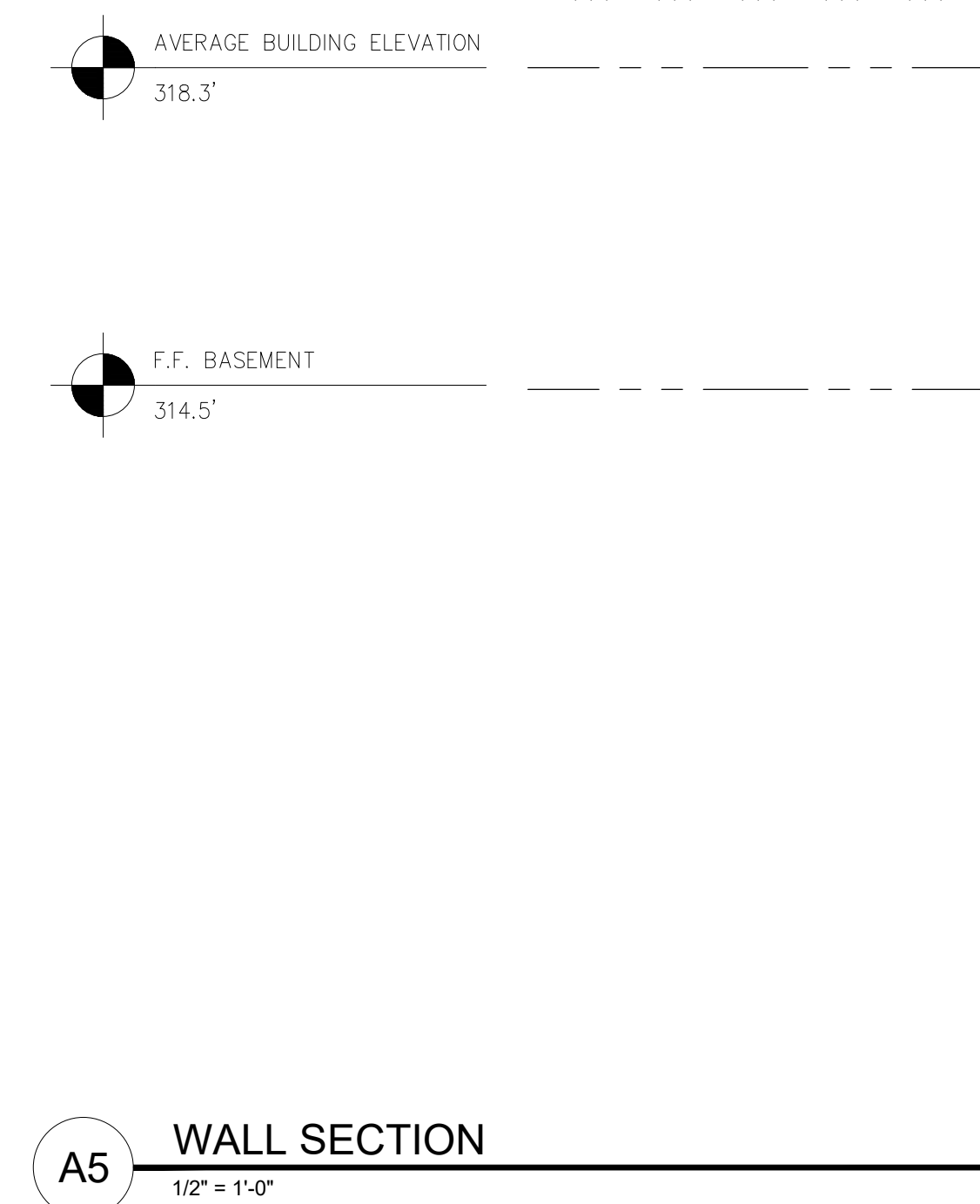
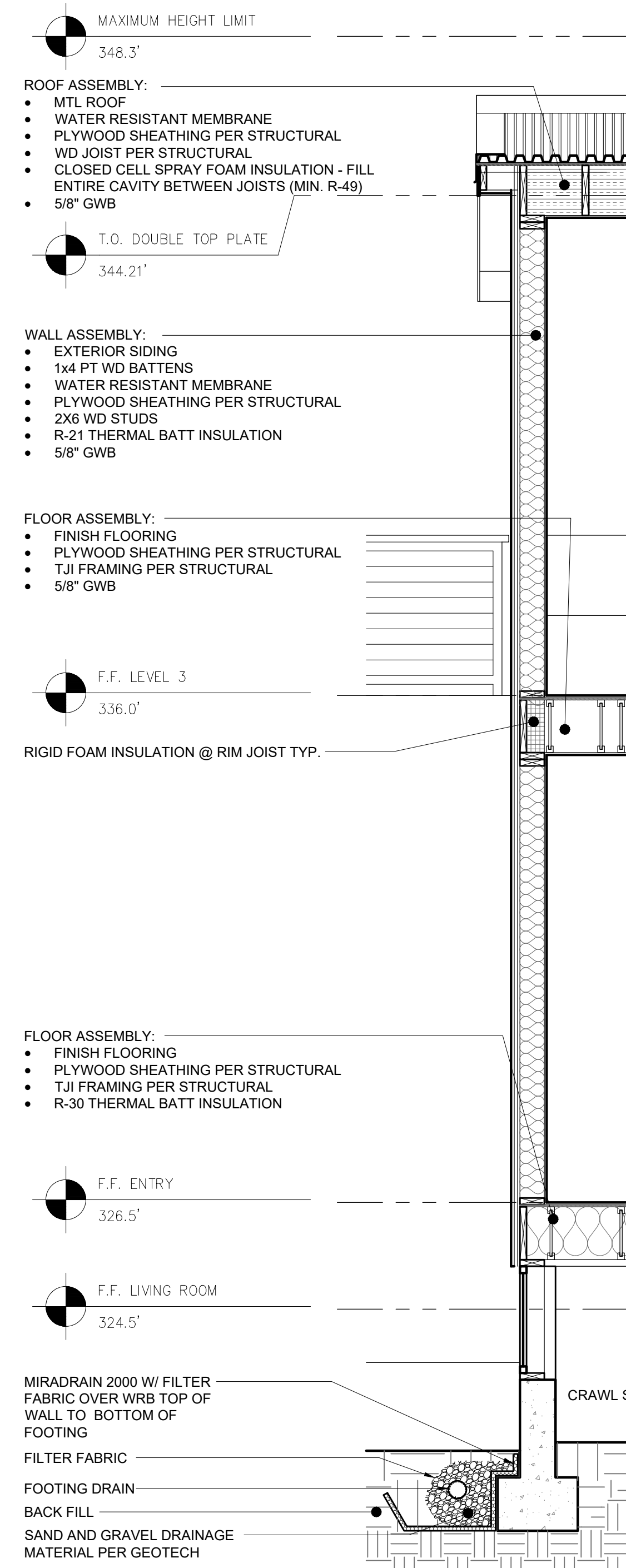
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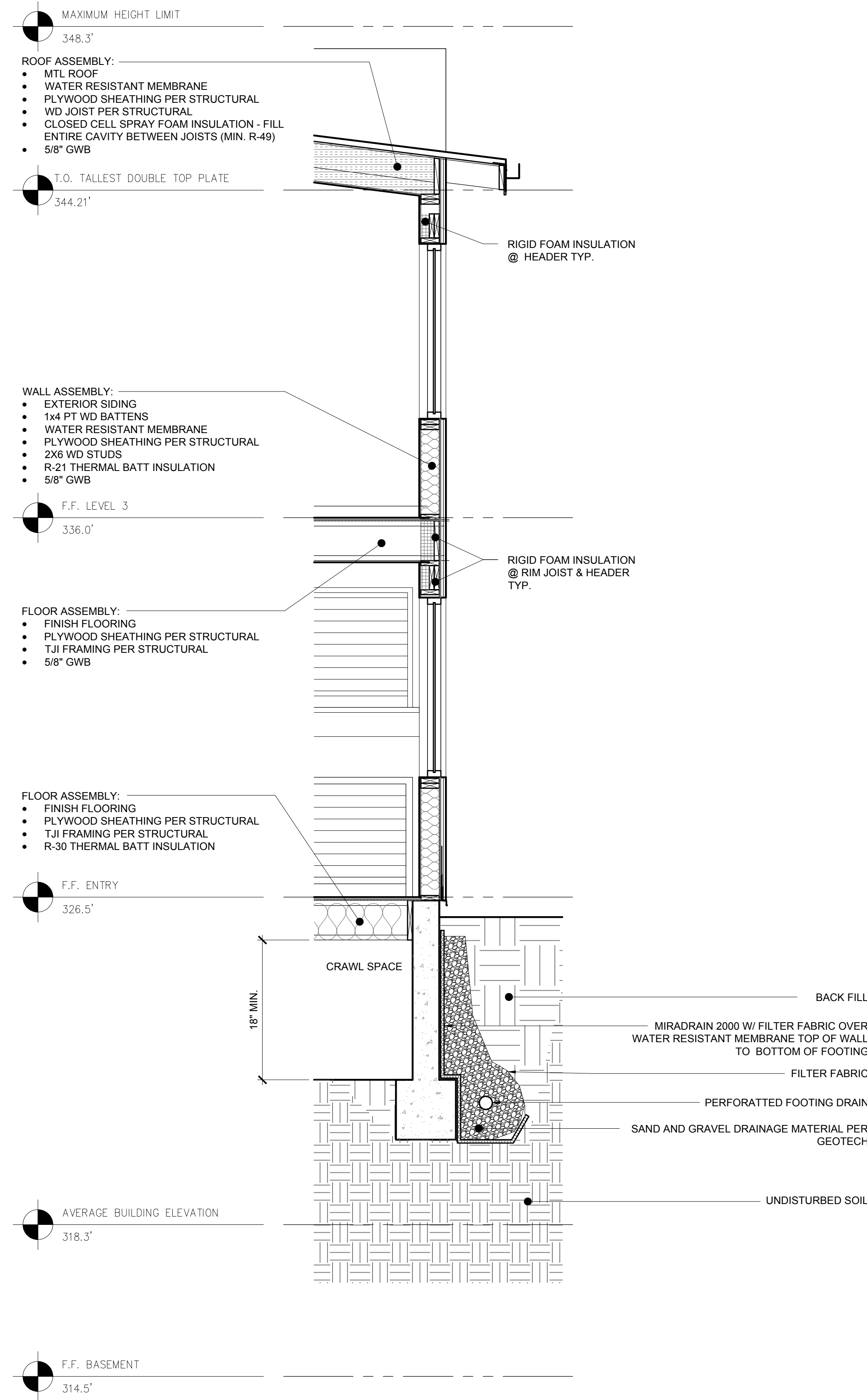
WALL SECTIONS

DATE ISSUED: 01/14/2020
PROJECT NO.: 20140218

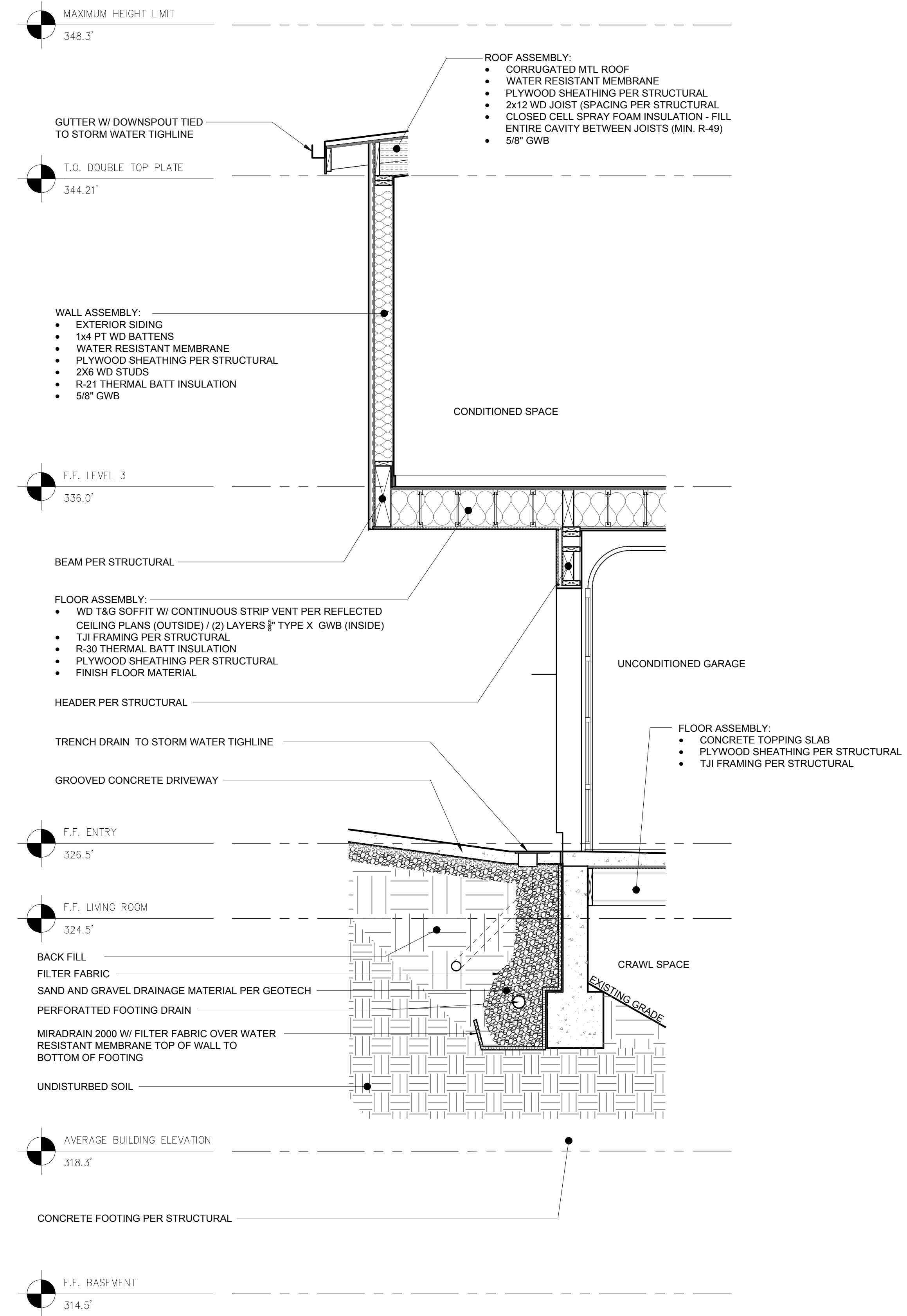
SHEET NUMBER:

A-4.10



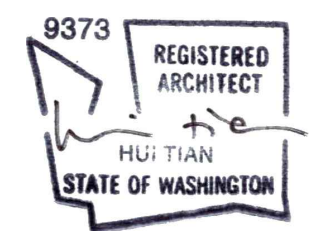


A2 BUILDING SECTION
1/2" = 1'-0"



A3 BUILDING SECTION
1/2" = 1'-0"

PROFESSIONAL SEAL:



PROJECT:

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SHEET TITLE:

WALL SECTIONS

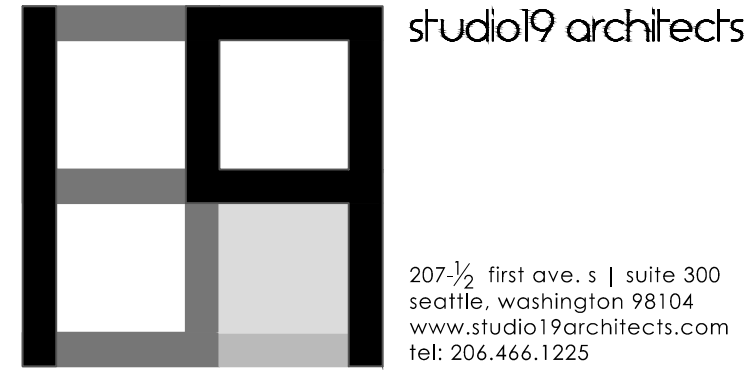
DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER: **A-4.11**

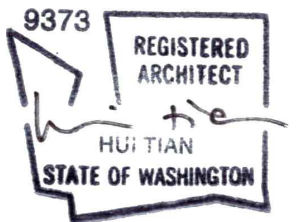
WINDOW SCHEDULE											
ID	WINDOWS				FRAME			ENERGY		REMARKS	
	SIZE		SILL HEIGHT	TYPE	MANUFACTURER	TYPE	CONFIG	FIN	U-VALUE		SHGC
	W	H									
A	2'-8"	6'-4"	2'-0"	CASEMENT	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
B	8'-4"	5'-4"	2'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
C	7'-0"	6'-4"	0'-5"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
D	1'-10"	8'-0"	0'-2"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
E	5'-6"	5'-2"	3'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
F	5'-6"	5'-2"	3'-0"	HORIZ. SLIDER	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
G	3'-2"	3'-2"	5'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
H	9'-2"	5'-6"	3'-8"	CASEMENT / FIXED / CASEMENT	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
J	5'-10"	7'-0"	0'-4"	FIXED / FIXED / AWNING / FIXED / AWNING	SIERRA PACIFIC	AL CLD	-	-	.28 / .31	.37 / .31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING. OPERABLE PORTIONS LESS THAN 24" AFF AND MORE THAN 6'-0" AFG. HARDWARE LIMITING OPENING RANGE TO PREVENT PASSAGE OF A 4" DIA. SPHERE REQUIRED.
K	5'-10"	2'-0"	8'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
L	10'-4 1/2"	7'-0"	0'-4"	AWNING / FIXED / AWNING / FIXED / AWNING / FIXED / AWNING	SIERRA PACIFIC	AL CLD	-	-	.28 / .31	.37 / .31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING. OPERABLE PORTIONS LESS THAN 24" AFF AND MORE THAN 6'-0" AFG. HARDWARE LIMITING OPENING RANGE TO PREVENT PASSAGE OF A 4" DIA. SPHERE REQUIRED.
M	10'-4 1/2"	2'-0"	8'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
N	9'-11"	7'-0"	0'-4"	AWNING / FIXED / AWNING / FIXED / AWNING / FIXED / AWNING	SIERRA PACIFIC	AL CLD	-	-	.28 / .31	.37 / .31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING. OPERABLE PORTIONS LESS THAN 24" AFF AND MORE THAN 6'-0" AFG. HARDWARE LIMITING OPENING RANGE TO PREVENT PASSAGE OF A 4" DIA. SPHERE REQUIRED.
P	9'-11"	2'-0"	8'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
Q	6'-4"	2'-0"	8'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
R	3'-0"	7'-8"	0'-4"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
S	5'-2"	4'-6"	3'-6"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
T	2'-4"	7'-8"	0'-4"	CASEMENT	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING. OPERABLE PORTIONS LESS THAN 24" AFF AND MORE THAN 6'-0" AFG. HARDWARE LIMITING OPENING RANGE TO PREVENT PASSAGE OF A 4" DIA. SPHERE REQUIRED.
U	4'-0"	3'-10"	3'-8"	HORIZ. SLIDER	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
V	7'-0"	5'-2"	7'-5"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
W	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
X	9'-10"	2'-10"	8'-8"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
Y	5'-6"	4'-6"	2'-10"	HORIZ. SLIDER	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
Z	6'-0"	5'-4"	2'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
AA	5'-0"	2'-2"	5'-0"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
BB	1'-6"	6'-10"	0'-4"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
CC	8'-0"	2'-8"	5'-2"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
DD	4'-0"	2'-2"	5'-2"	AWNING	SIERRA PACIFIC	AL CLD	-	-	.31	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
EE	5'-0"	4'-6"	2'-10"	HORIZ. SLIDER	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
FF	3'-0"	5'-0"	2'-4"	DBL HUNG	SIERRA PACIFIC	AL CLD	-	-	.30	.31	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
GG	3'-0"	6'-4"	0'-5"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
HH	3'-0"	5'-2"	7'-5"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
JJ	8'-0"	2'-8"	5'-2"	FIXED	SIERRA PACIFIC	AL CLD	-	-	.28	.37	LOW - E COATING, DBL GLAZED, ARGON FILLED
KK	6'-0"	4'-0"	----	SKYLITE	TBD	-	-	-	.50	-	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING

GENERAL NOTES

- ALL WINDOW DIMENSIONS ARE NOMINAL. REFER TO MANUFACTURERS RECOMMENDATIONS FOR R.O. DIMENSIONS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD & NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FABRICATION.
- ALL GLASS IN A DOOR OR WITHIN 24" OF A DOOR, OR WITHIN 18" OF FLOOR OR WITHIN 60" OF TUB FLOOR OR ANY OTHER HAZARDOUS AREA PER CODE TO BE TEMPERED SAFETY GLASS. PROVIDE SAFETY GLAZING WHERE REQUIRED PER APPLICABLE CODE REQUIREMENTS. PROVIDE SAFETY GLAZING WHEN NOTES CONFLICT WITH CODE REQUIREMENTS.
- DOORS & CASED OPENINGS LOCATED NEAR WALL INTERSECTIONS SHALL BE LOCATED SO THAT THE EDGE OF THE FINISHED OPENING IS 3" FROM FACE OF NEARBY WALL UNLESS NOTED OTHERWISE.
- ALL WINDOWS TO BE DOUBLE-GLAZED WITH A MINIMUM U-VALUE OF 0.35 OR BETTER.
- SEE EXTERIOR ELEVATIONS FOR INFORMATION ON OPENING DIRECTION OF OPERABLE UNITS.
- ALL DOORS TO BE 1 1/2" THICK, WHERE APPLICABLE, UNLESS NOTED OTHERWISE.
- PROVIDE SAFETY GLAZING WHERE REQUIRED PER APPLICABLE CODE REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL CALLOUTS. PROVIDE SAFETY GLAZING WHEN NOTES CONFLICT WITH CODE REQUIREMENTS.
- ALL DOORS TO HAVE LEVER HANDLES PER ACCESSIBILITY CODE REQUIREMENTS, UNLESS NOTED OTHERWISE.
- 1" UNDERCUT IS FROM FINISHED FLOOR (I.E. TOP OF CARPET).
- WALL CORRIDOR DOORS SHALL BE 20 MINUTE RATED & COMPLY WITH IBC SEC 715.3.3, 715.3.5 & NFPA 80.
- ALL EXTERIOR LEVEL HANDLES SHALL BE CLUTCHED.
- FURNISH SMOKE SEALS AS REQUIRED BY CODE.
- DOORS AND CASED OPENINGS LOCATED NEARBY WALL INTERSECTIONS SHALL BE LOCATED SO THAT THE EDGE OF THE FINISHED OPENING IS 6" FROM FACE OF NEARBY WALL. UNLESS NOTED OTHERWISE ALL OTHER DOORS AND CASED OPENINGS SHALL BE CENTERED BETWEEN ADJACENT WALL INTERSECTIONS.



PROFESSIONAL SEAL: _____



PROJECT: _____

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MUNICIPALITY REVIEW
CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
3	07/01/2015	PERMIT CORRECTIONS
4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

WINDOW SCHEDULE & DETAILS

DATE ISSUED: 01/14/2020
PROJECT NO.: 20140218

SHEET NUMBER: _____

A-7.01



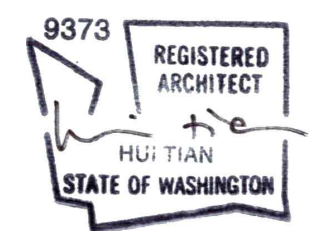
DOOR SCHEDULE

NO	LOCATION	HDWE	DOOR						FRAME			DETAILS			REMARKS
			SIZE		FIRE RTG (MIN)	TYPE	CONFIG	FIN	TYPE	CONFIG	FIN	HEAD	JAMB(S)	SILL	
			W	H											
001	ENTRY - BASEMENT REC. RM		6'-4"	7'-0"	-	AL/GL	A	-	AL	-	-				LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
002	ENTRY - BASEMENT BEDROOM		6'-4"	7'-0"	-	AL/GL	A	P-1	WD-2	1	P-1	TBD	TBD	TBD	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
003	BASEMENT BEDROOM		2'-8"	7'-0"	-	HC	C	P-1	WD-2	1	P-1	TBD	TBD	TBD	
004	BASEMENT BATHROOM		2'-6"	7'-0"	-	SC	-	P-1	WD-2	1	P-1	TBD	TBD	TBD	
005	BASEMENT BEDROOM CLOSET		2'-6"	7'-0"	-	HC	SEE REMARKS	P-1	WD-2	1	P-1				
006	BASEMENT MECHANICAL ROOM		2'-6"	6'-8"	20 MIN	SC	B	P-1	WD-2	1	P-1	TBD	TBD	TBD	
007	BASEMENT CRAWL SPACE		2'-6"	6'-8"		SC	B	P-1	WD-2	1	P-1				
101	ENTRY - FOYER		PR 3'-0"	7'-10"	-	AL/GL	F	WD-1	-	-	-	TBD	TBD	TBD	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
102	ENTRY - LIVING ROOM		6'-4"	7'-0"	-	AL/GL	D	P-	HM	1	P-	TBD	TBD	TBD	LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
103	ENTRY - GARAGE / MUD ROOM	SELF CLSNG	3'-0"	7'-0"	20 MIN	SC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	MIN. 1-3/8" THICK SOLID WD DOOR W/ SELF CLOSING DEVICE, FIRE GASKET
104	GARAGE DOOR		16'-0"	7'-6"	-	AL/GL	E	-	HM	1	P-	TBD	TBD	TBD	
105	MUD ROOM / LAUNDRY		3'-0"	7'-0"	-	SC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	
106	POWDER ROOM		2'-6"	7'-0"	-	HC	SEE REMARKS	-	AL	-	-				
107	FOYER CLOSET		2'-6"	7'-0"	-	HC	SEE REMARKS	-	AL	-	-				
108	MUD ROOM CLOSET		2'-6"	7'-0"	-	HC	SEE REMARKS	-	AL	-	-				
201	ENTRY - MASTER BEDROOM		6'-4"	7'-0"	-	AL/GL	SEE REMARKS	-	AL	-	-				LOW - E COATING, DBL GLAZED, ARGON FILLED, SAFETY GLAZING
202	MASTER SUITE		3'-0"	7'-0"	-	SC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	
203	MASTER SUITE BATHROOM		3'-0"	7'-0"	-	SC	C	WD-1	-	-	-	TBD	TBD	TBD	
204	MASTER SUITE WATER CLOSET		2'-6"	7'-0"	-	HC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	SLIDING POCKET DOOR WITHIN GWB WALL & W/ DOOR FRAME
205	MASTER SUITE CLOSET		2'-8"	7'-0"	-	HC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	
206	MASTER SUITE CLOSET		2'-8"	7'-0"	-	HC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	
207	LINEN CLOSET		PR 2'-0"	7'-0"	-	HC	C	WD-1	-	-	-	TBD	TBD	TBD	
208	GUEST BATHROOM		2'-6"	7'-0"	-	HC	SEE REMARKS	-	AL	-	-				
209	BEDROOM 1		2'-8"	7'-0"	-	SC	A	-	WD-2	1	P-	TBD	TBD	TBD	
210	BEDROOM 2		2'-8"	7'-0"	-	SC	C	WD-1	-	-	-	TBD	TBD	TBD	
211	BATHROOM 1		2'-6"	7'-0"	-	HC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	
212	BEDROOM 1 CLOSET		PR 3'-0"	7'-0"	-	HC	C	WD-1	-	-	-	TBD	TBD	TBD	BI-PASS DOOR W/ DOOR FRAME
213	BEDROOM 2 CLOSET		PR 3'-0"	7'-0"	-	HC	A	WD-1	WD-2	1	P-	TBD	TBD	TBD	BI-PASS DOOR W/ DOOR FRAME

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CITY OF MERCER ISLAND #:1503-086

SHEET ISSUE:

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1	02/10/2015	BUILDING PERMIT SUBMITTAL
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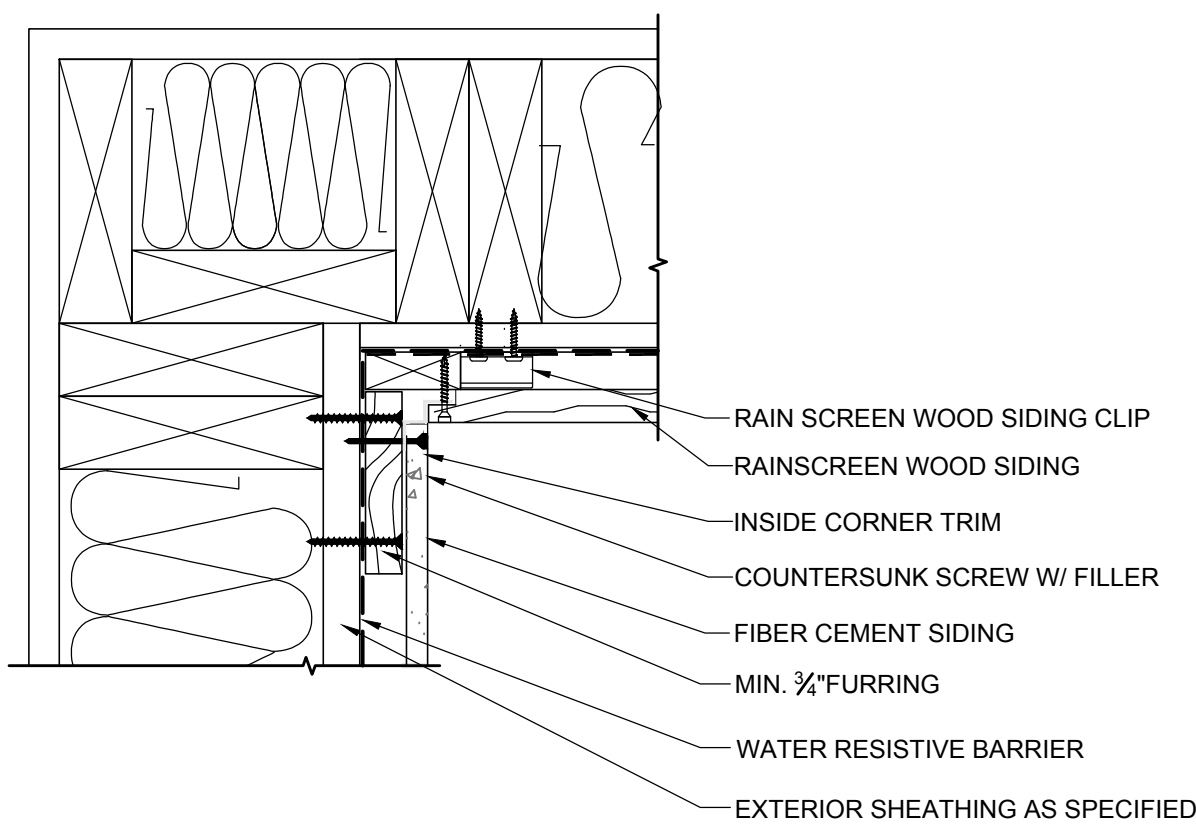
SHEET TITLE:

DOOR SCHEDULE & DETAILS

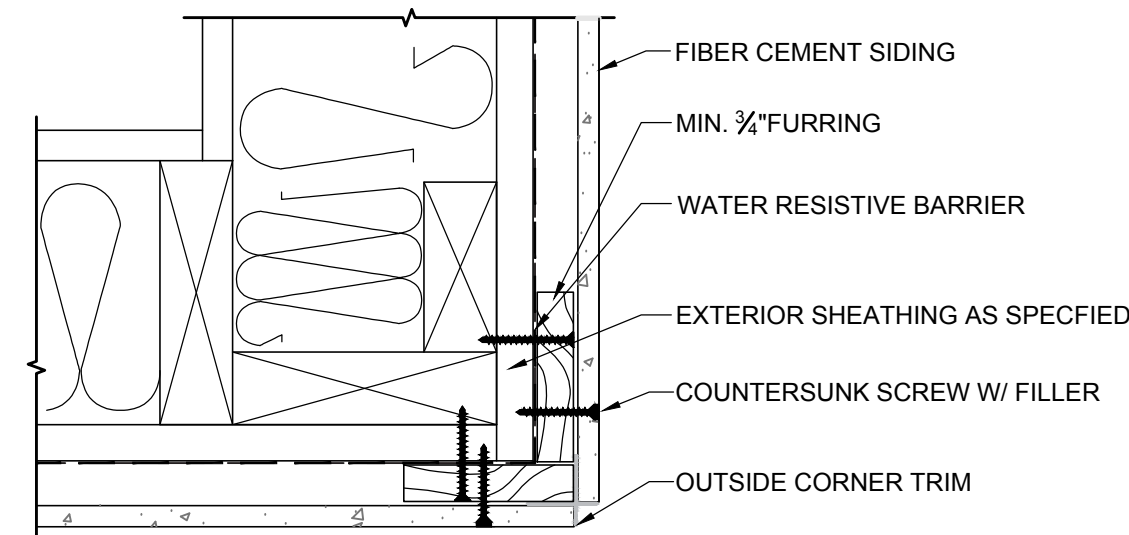
DATE ISSUED: 01/14/2020
PROJECT NO.: 20140218

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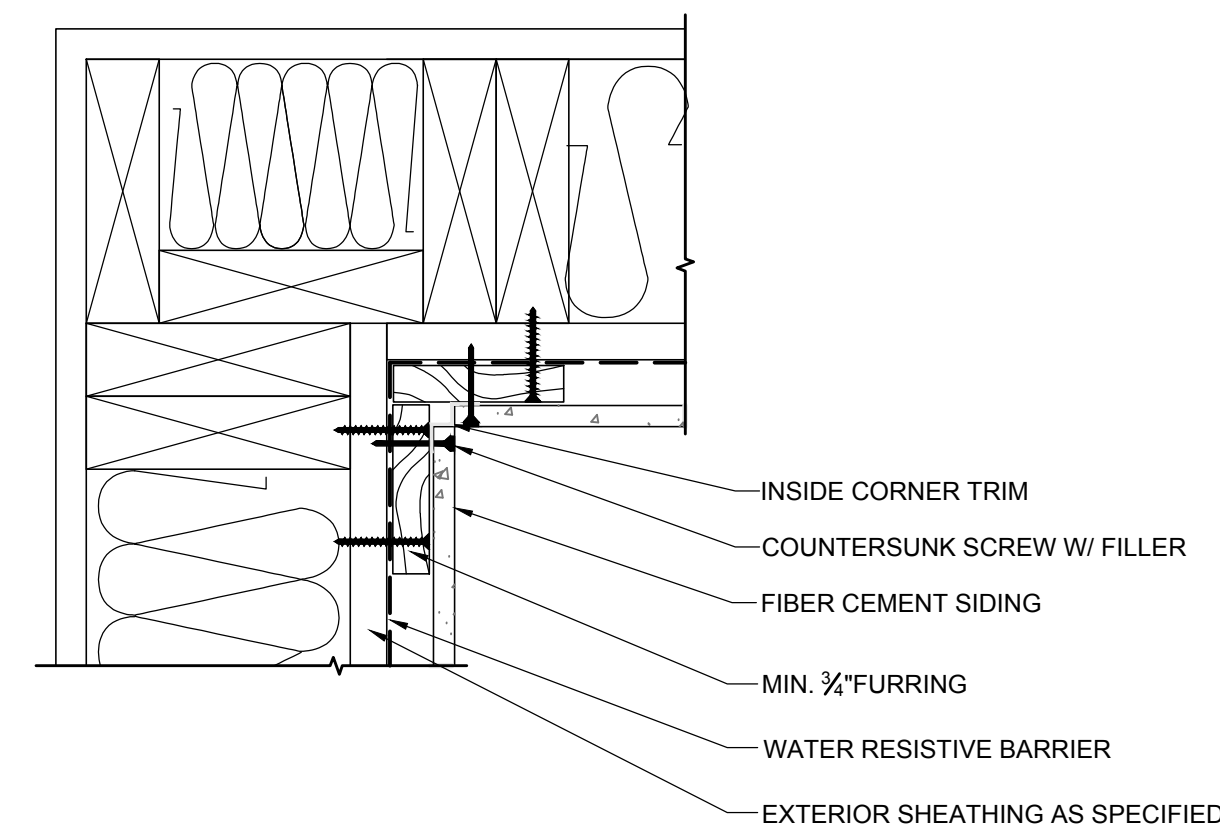
A-7.02



XX **INSIDE CORNER - CEMENT BOARD TO WOOD**
 SCALE: 3" = 1'-0"

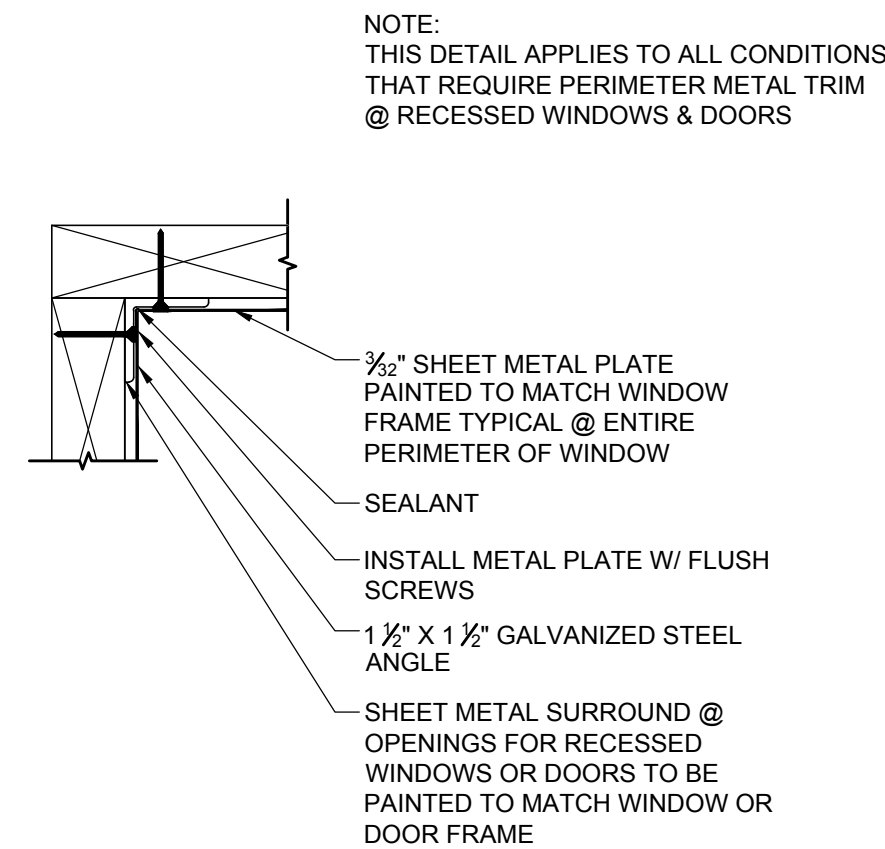


XX **PLAN DETAIL @ OUTSIDE CORNER TRIM**
 SCALE: 3" = 1'-0"



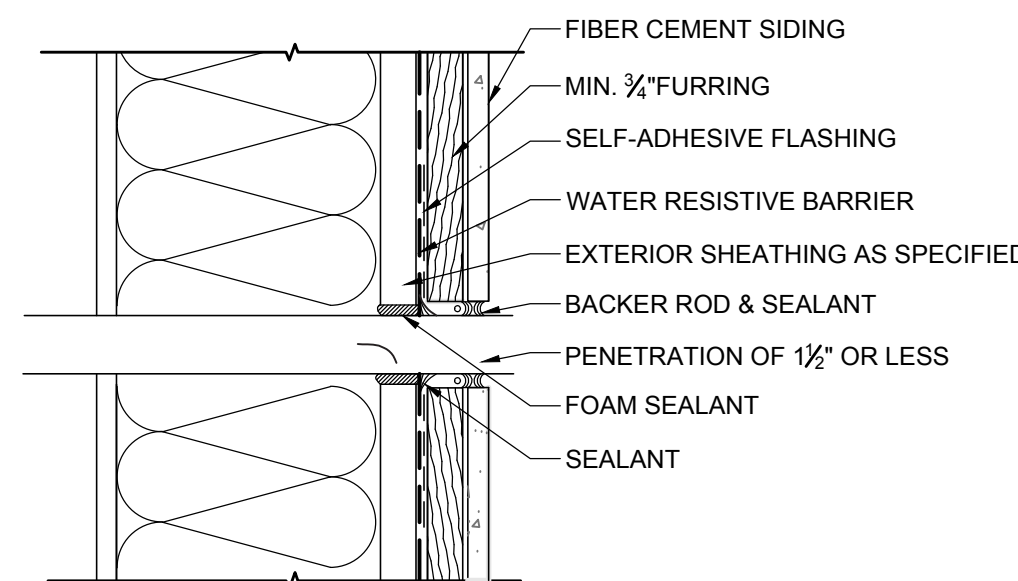
XX **PLAN DETAIL @ INSIDE CORNER TRIM**
 SCALE: 3" = 1'-0"

- NOTES:
 1. THESE DETAILS APPLY TO INSTALLATION OF CEMENT BOARD SIDING, THIN BRICK VENEER & WOOD SIDING ONLY.
 2. REFER TO ARCHITECTURAL DRAWINGS FOR INFORMATION ON WALL CONSTRUCTION.
 3. REFER TO BUILDING ELEVATIONS FOR LOCATION OF JOINTS ON FIBER CEMENT PANELS & THIN BRICK.

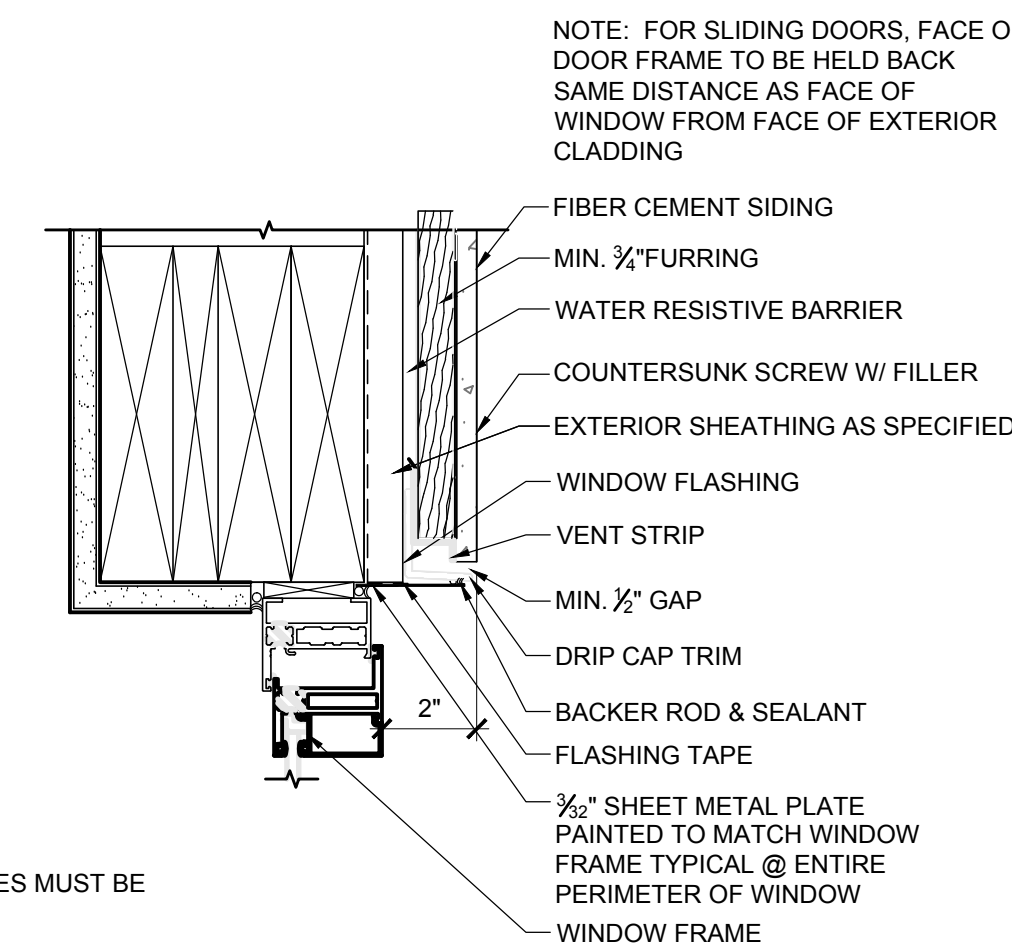


XX **INSIDE CORNER @ WINDOW METAL SURROUND**
 SCALE: 3" = 1'-0"

NOTE: EXTERNAL BLOCKING IS RECOMMENDED WHEN PENETRATION OCCURS AFTER THE INSTALLATION OF PANEL.

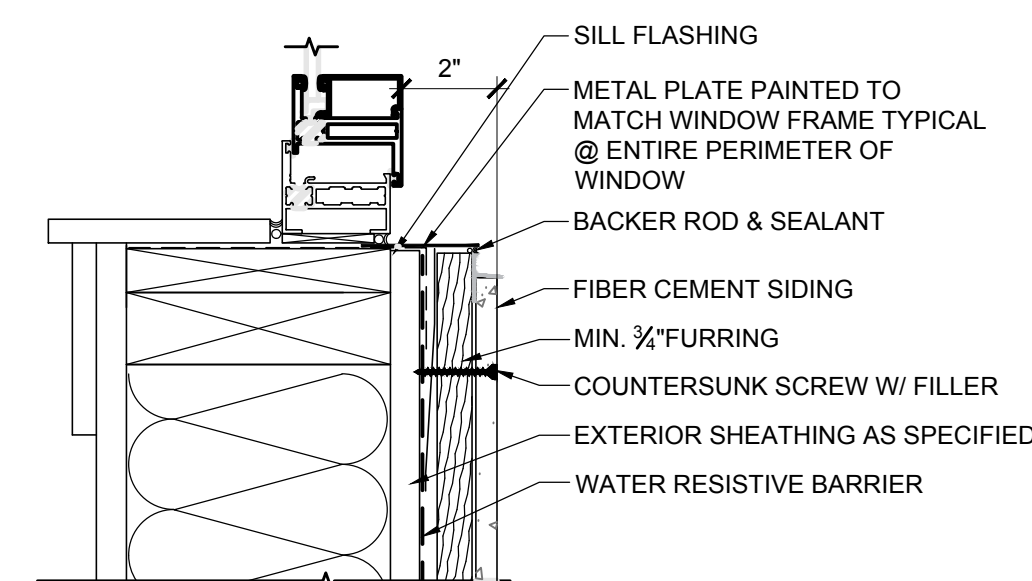


XX **DETAIL FOR HOLE 1 1/2" OR LESS**
 SCALE: 3" = 1'-0"

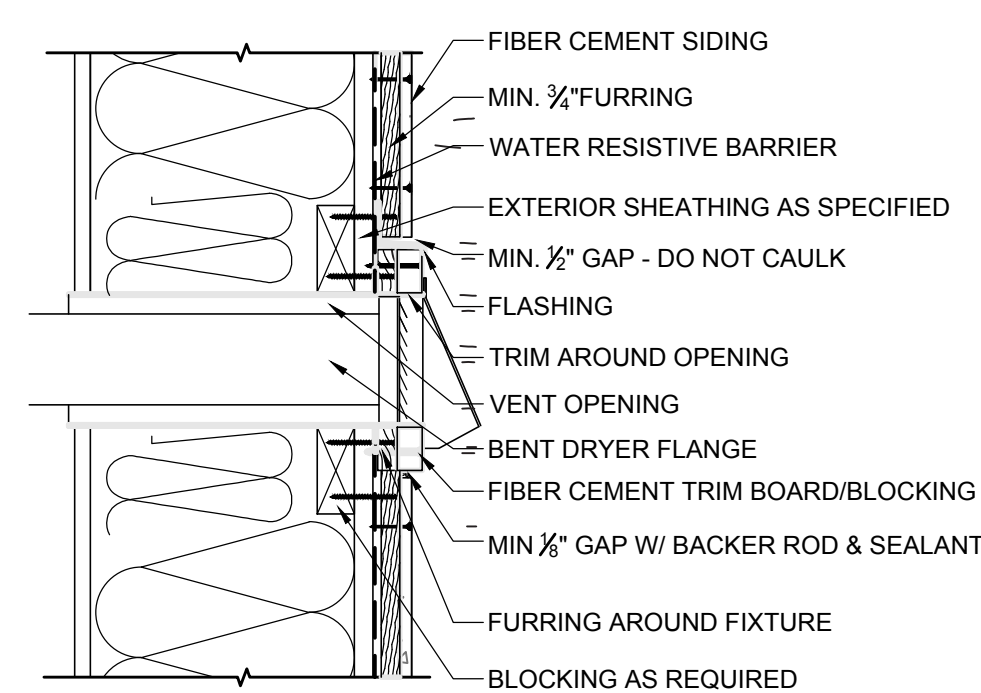


XX **WINDOW HEAD @ SIDING - DOOR HEAD SIM.**
 SCALE: 3" = 1'-0"

NOTE: FOR SLIDING DOORS, FACE OF DOOR FRAME TO BE HELD BACK SAME DISTANCE AS FACE OF WINDOW FROM FACE OF EXTERIOR CLADDING

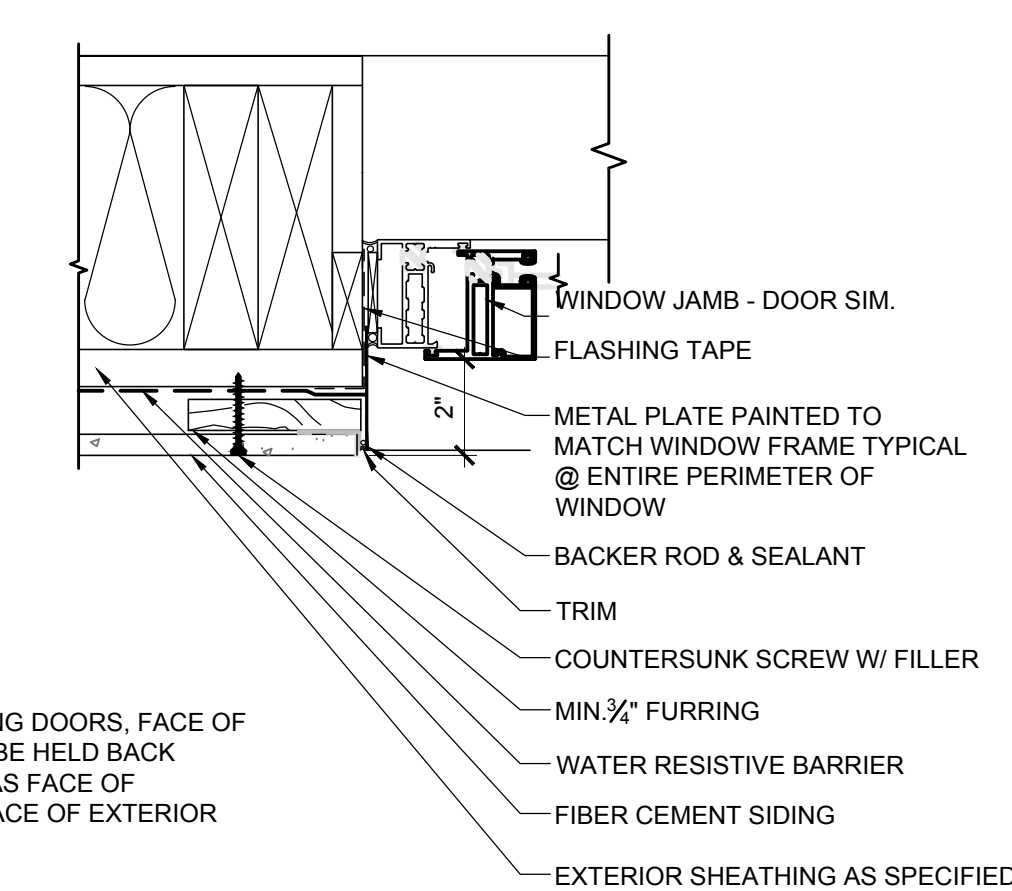


XX **WINDOW SILL @ SIDING**
 SCALE: 3" = 1'-0"

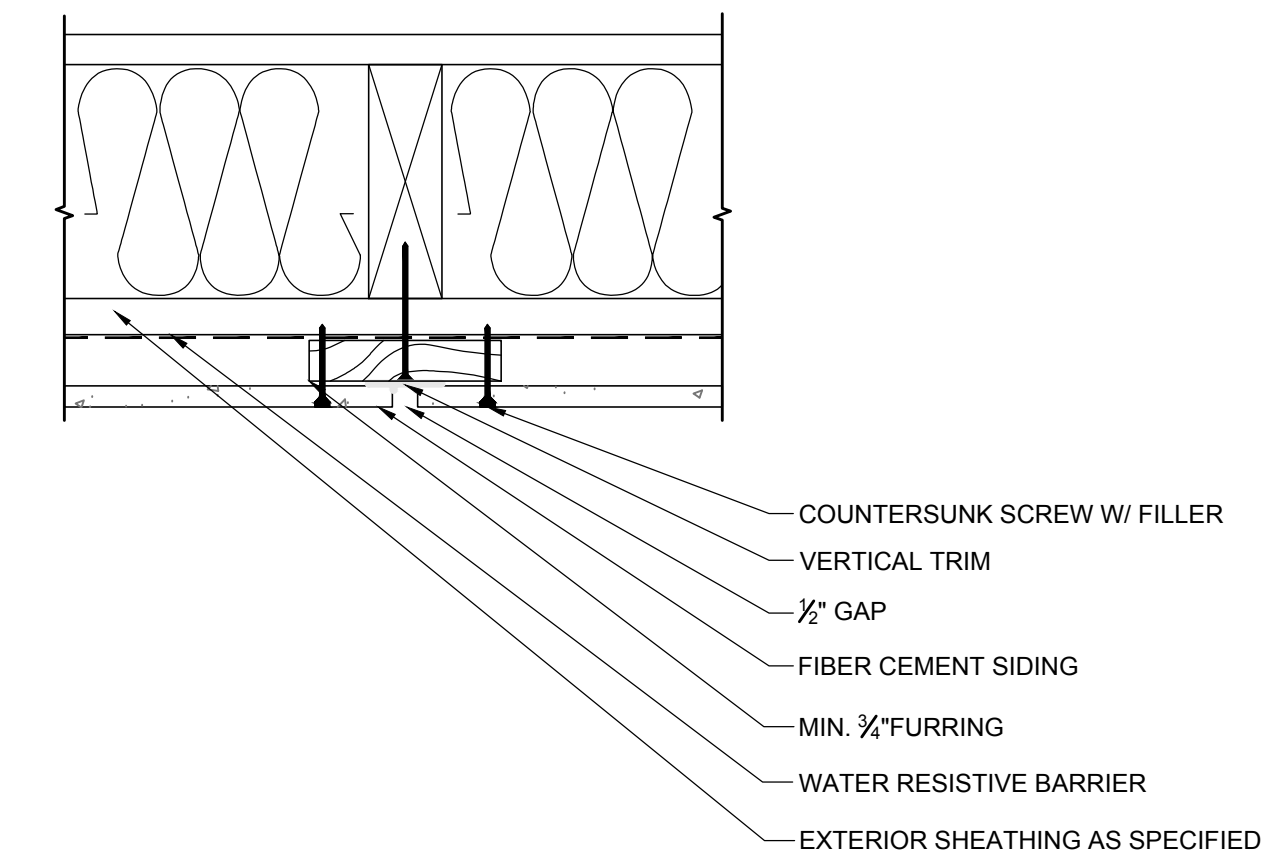


- NOTE:
 1. CAULK 3 SIDES BUT NOT TOP. J-CHANNEL TRIM IS OPTIONAL
 2. EXTERNAL BLOCKING IS RECOMMENDED WHEN PENETRATION OCCURS AFTER THE INSTALLATION OF PANEL.
 3. IF PENETRATION OCCURS BEFORE THE INSTALLATION OF PANEL, USE HORIZONTAL EDGE TRIM ON SILL & VERTICAL F-TRIM ON SIDES

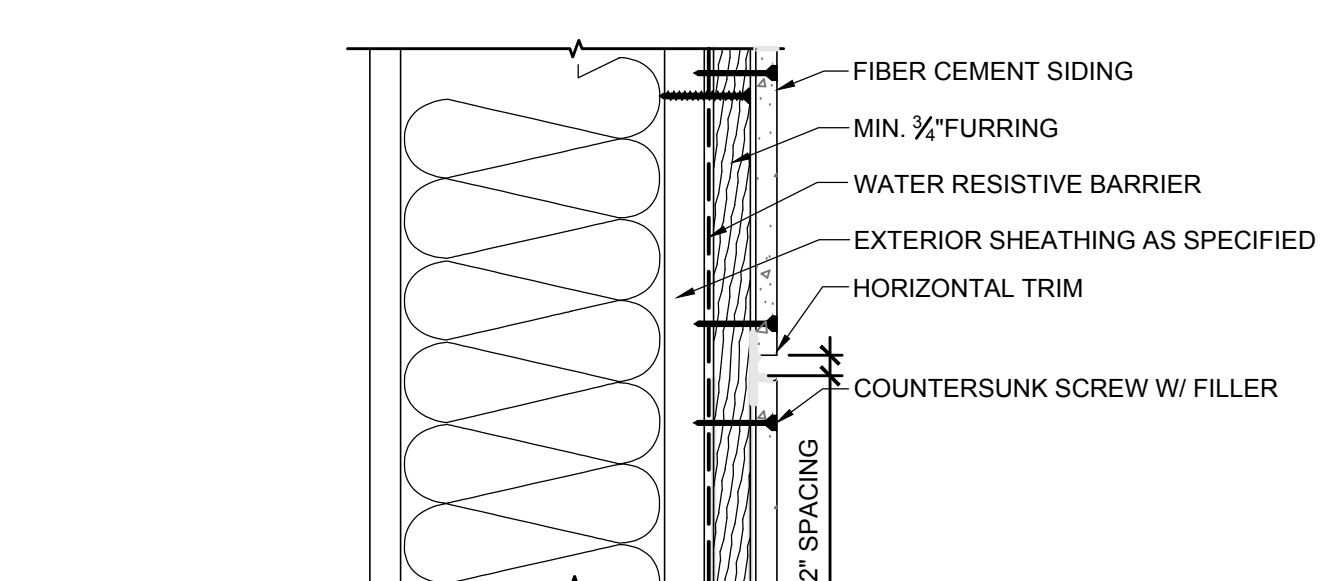
XX **PENETRATION DETAIL**
 SCALE: 3" = 1'-0"



XX **WINDOW JAMB @ SIDING - DOOR JAMB SIM.**
 SCALE: 3" = 1'-0"

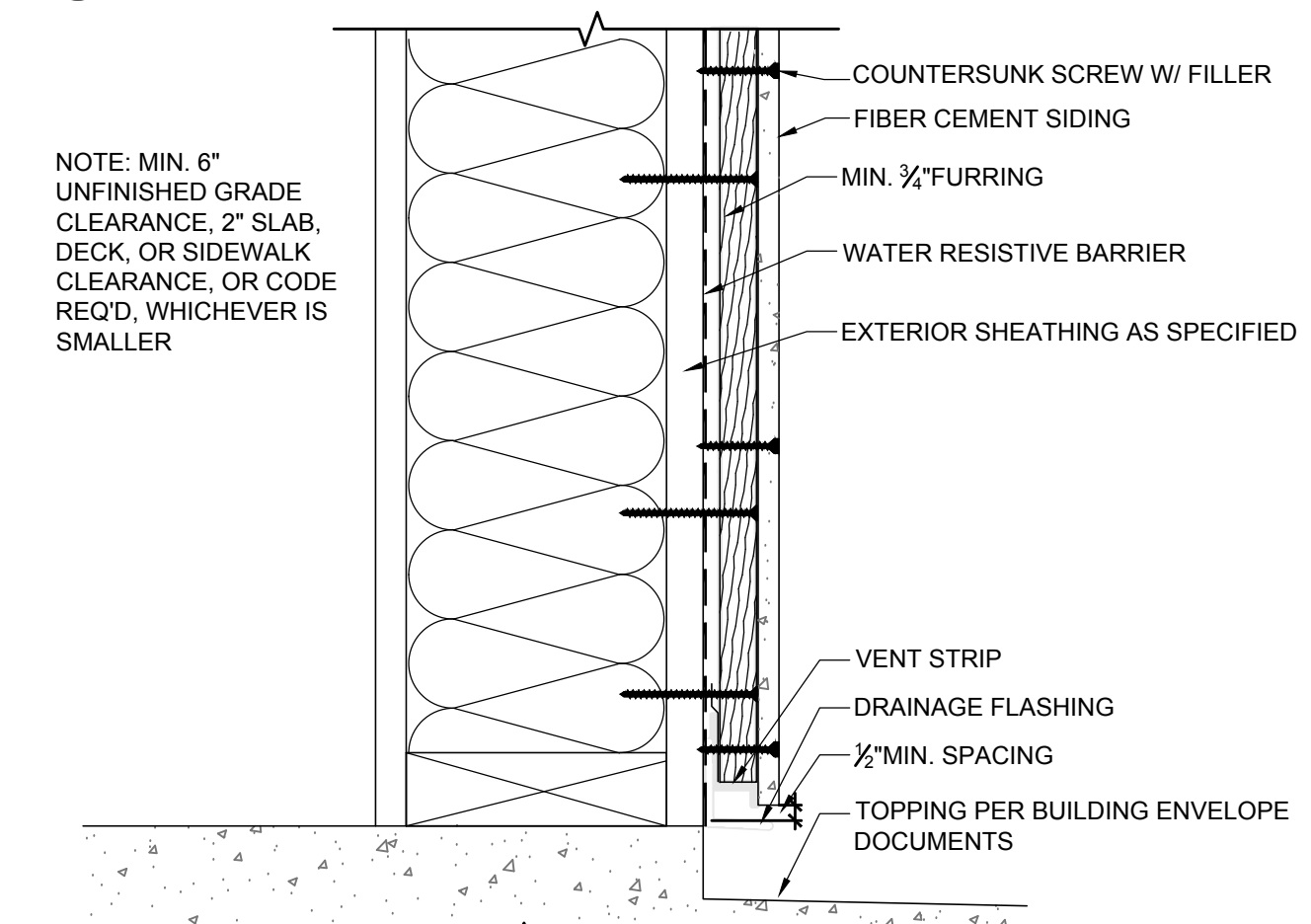


XX **PANEL SECTION W/ VERTICAL TRIM**
 SCALE: 3" = 1'-0"



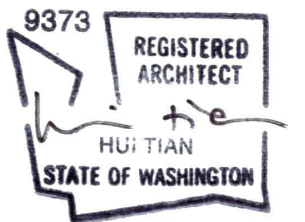
XX **PANEL SECTION W/ HORIZONTAL TRIM**
 SCALE: 3" = 1'-0"

NOTE: MIN. 6" UNFINISHED GRADE CLEARANCE, 2" SLAB, DECK, OR SIDEWALK CLEARANCE, OR CODE REQ'D, WHICHEVER IS SMALLER



XX **FOUNDATION DETAIL**
 SCALE: 3" = 1'-0"

PROFESSIONAL SEAL:



PROJECT:

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 CITY OF MERCER ISLAND #1503-086

SHEET ISSUE:

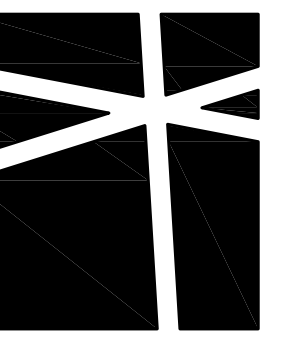
MARK	DATE	DESCRIPTION
1	02/10/2015	BUILDING PERMIT SUBMITTAL
2	06/01/2015	PERMIT CORRECTIONS
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4	07/12/2015	100% PERMIT DOCUMENTS
5	01/14/2020	PERMIT REVISION SUBMITTAL

SHEET TITLE:

EXTERIOR DETAILS - CLADDING

DATE ISSUED: 01/14/2020
 PROJECT NO.: 20140218

SHEET NUMBER: A-8.01



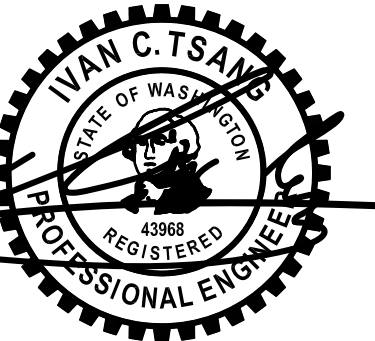
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206.789.6042 F

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ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T



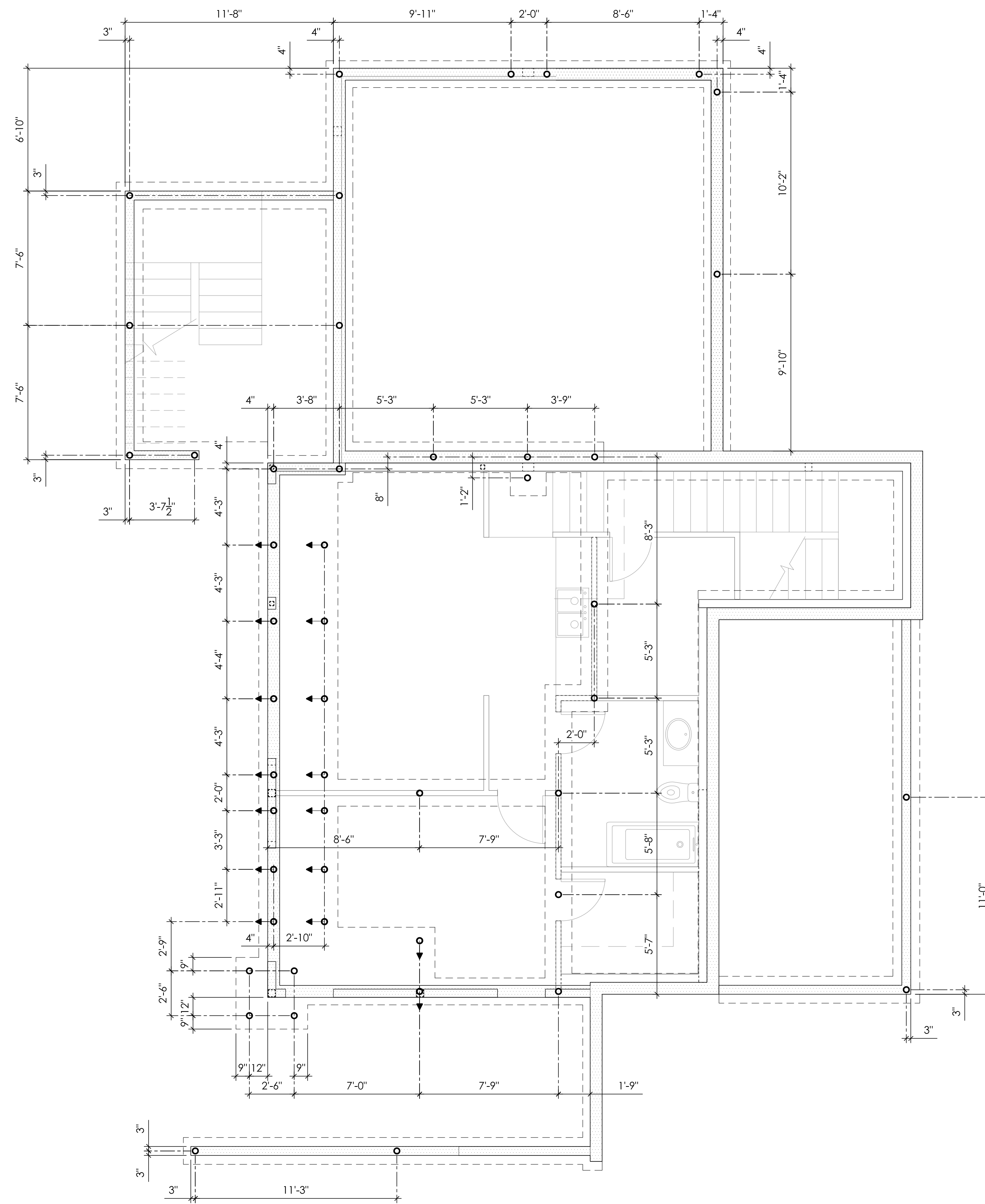
PRINCIPAL ENGINEER SKH WAI
DRAWN BY RAP
PROJECT NO. 0285.2014.01.01

PERMIT SET
2.5.15
REV DESCRIPTION DATE

PIN PILE PLAN

SCALE - 1/4" = 1'-0"

S2.0A



PLAN NOTES

1. REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SOILS REPORT FOR ADDITIONAL PILE INSTALLATION REQUIREMENTS.
3. CONTRACTOR TO VERIFY ALL ELEVATIONS AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS, SURVEY DRAWINGS, AND EXISTING SITE CONDITIONS.
4. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- CONCRETE FOOTING ABOVE
- CONCRETE WALL ABOVE
- STRUCTURAL WALL ABOVE
- 4"Ø STANDARD WEIGHT PILE (10-TON CAPACITY) REFER TO 10/S3.0 FOR EMBEDMENT INTO FOOTING
- 4"Ø BATTERED PIPE PILE (1H: 5V) IN DIRECTION OF ARROW

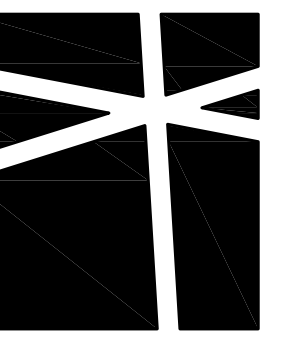
PILE SPECIFICATIONS

1. 4" DIAMETER STANDARD WEIGHT PIPE PILES SHALL BE DRIVEN TO REFUSAL WITH A HYDRAULIC HAMMER AS DEFINED BY THE SOILS ENGINEER. THE DRIVING CRITERIA WILL BE DETERMINED BASED ON THE ACTUAL HAMMER SIZE SELECTED BY THE CONTRACTOR AND THE STATIC LOAD TEST PROGRAM.
2. GEOTECHNICAL SPECIAL INSPECTOR SHALL BE CONTINUOUSLY PRESENT DURING PIPE PILE INSTALLATION.
3. STEEL PIPE SHALL CONFORM TO ASTM A53, GRADE A OR B, Fy = 35 KSI. PILES SHALL BE DRIVEN IN NOMINAL SECTIONS AND CONNECTED WITH COMPRESSION FITTED SLEEVE COUPLERS. PIPE JOINTS ARE NOT ALLOWED TO BE WELDED TOGETHER.
4. PIPE PILES NEED TO BE PLACED WITHIN 3" OF SPECIFIED LOCATION. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO DRIVING PILES.

PIN PILE PLAN

BASEMENT AND GROUND FLOOR WALLS SHOWN DASHED



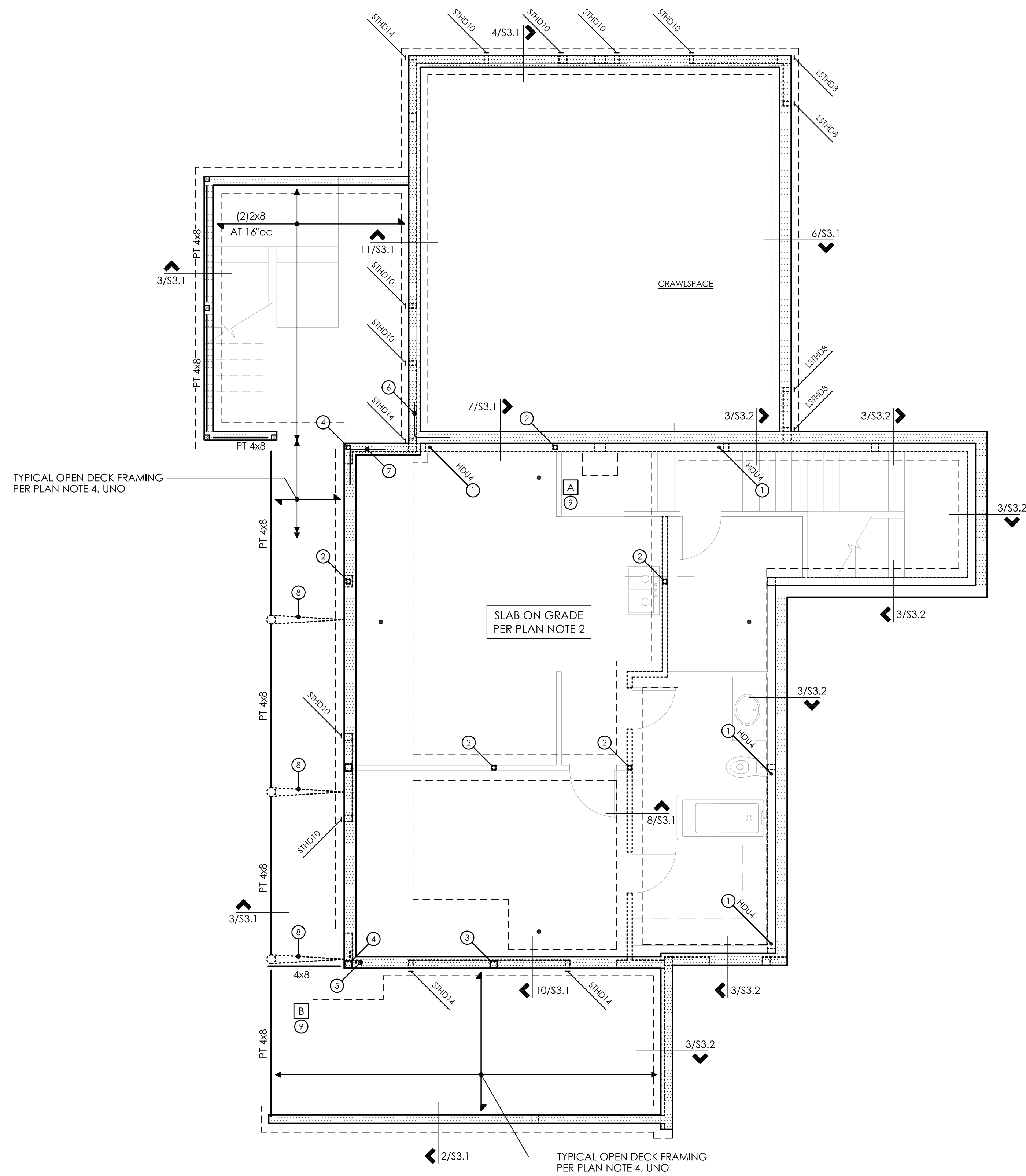


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MERCER ISLAND, WA 98104



TYPICAL OPEN DECK FRAMING
PER PLAN NOTE 4, UNO

SLAB ON GRADE
PER PLAN NOTE 2

TYPICAL OPEN DECK FRAMING
PER PLAN NOTE 4, UNO

PLAN NOTES

1. BOTTOM OF ALL FOOTINGS SHALL BE 18" MINIMUM BELOW LOWEST ADJACENT GRADE, UNO.
2. SLAB ON GRADE SHALL BE 4" MINIMUM THICKNESS. REINFORCE WITH #3 AT 18"oc EACH WAY CENTERED IN SLAB. PROVIDE RIGID INSULATION AT INTERIOR SPACES AND VAPOR BARRIER BELOW SLAB PER ARCHITECTURAL DRAWINGS OVER 4" MINIMUM FREE DRAINING GRAVEL OVER FIRM NATIVE SOILS OR STRUCTURAL FILL PER SOILS ENGINEER.
3. REFER TO SHEET S3.0 FOR TYPICAL FOUNDATION AND CONCRETE DETAILS.
4. TYPICAL OPEN DECK FRAMING CONSISTS OF DECKING PER ARCHITECTURAL DRAWINGS OVER PT 2x8's AT 16"oc, UNO.
5. REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
6. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- CONCRETE WALL BELOW
- STRUCTURAL WALL ABOVE
- SPAN AND EXTENTS

FOOTNOTES

1. ALIGN w/ CS16 ABOVE
2. BASE PLATE PER 4/S3.2
3. BASE PLATE PER 8/S3.2
4. BASE PLATE PER 12/S3.2
5. PROVIDE (4) #6 VERT FULL HEIGHT SPACED AT 3"oc AT CORNER
6. PROVIDE CORNER BARS PER 4/S3.0 TYP
7. PROVIDE ADDL REINF PER 2/S3.0 AT RETAINING WALL CORNERS TYP
8. KNEE BRACE PER 2/S3.2
9. CENTER FOOTING UNDER POST ABOVE

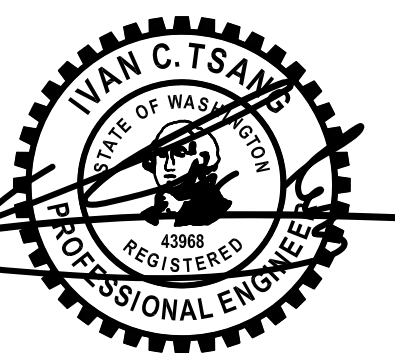
FOUNDATION PLAN

BASEMENT AND GROUND FLOOR WALLS SHOWN DASHED

FOOTING SCHEDULE

MARK	SIZE	REINFORCING
A	2'-0" x 3'-0" x 12" DP	(3) #4 BOT LONGIT
B	4'-0" SQ x 14" DP	(8) #4 EW TOP AND BOT

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PRINCIPAL ENGINEER Iwan C. Tsang
DRAWN SKH WAI
PROJECT NO 0285.2014.01.01
DATE

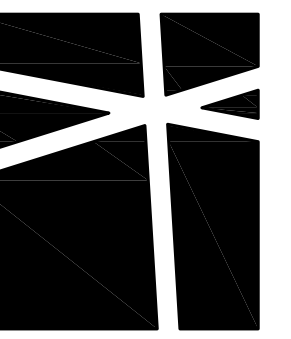
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REV DESCRIPTION DATE

**FOUNDATION
PLAN**

SCALE - 1/4" = 1'-0"

S2.0B

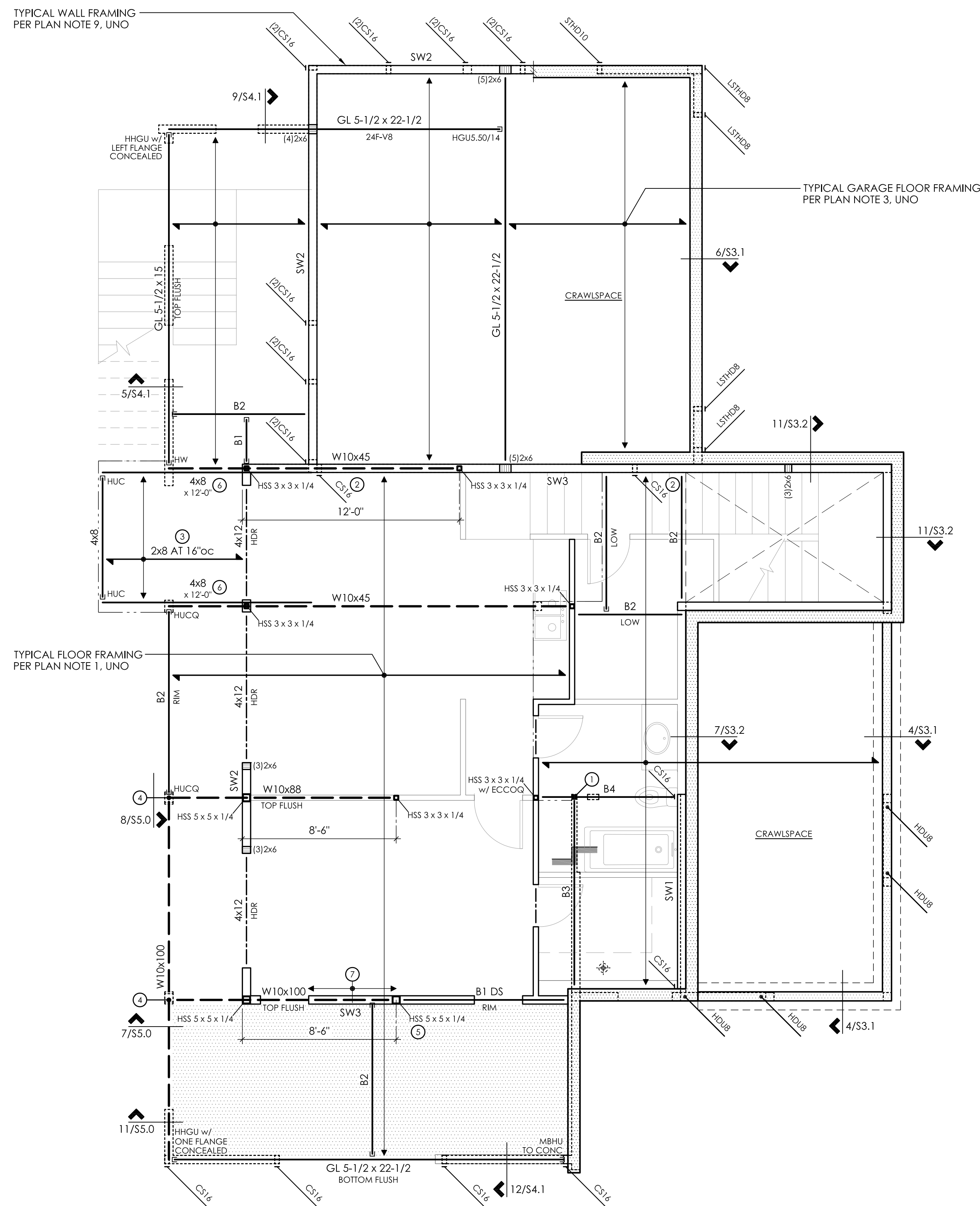


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PLAN NOTES

- TYPICAL FLOOR FRAMING CONSISTS OF 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 11-7/8" TJI 230's AT 16"oc. UNO. PROVIDE DBL JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH.
- TYPICAL WATER PROOF DECK FRAMING CONSISTS OF 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 2x8's AT 16"oc. UNO. JOISTS CAN BE TAPERED TO A MIN DEPTH OF 7-1/4".
- TYPICAL GARAGE FLOOR FRAMING CONSISTS OF 3-1/2" MINIMUM CONCRETE TOPPING (6-1/4" MAX) OVER 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 11-7/8" TJI 230's AT 16"oc.
- GLUE AND NAIL FLOOR SHEATHING w/ 8d AT 6"oc AT FRAMED PANEL EDGES AND OVER SHEAR-WALLS AND AT 12"oc IN FIELD. UNO.
- "SW" INDICATES SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE ON 4/S4.0 FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS ARE SW1. UNO.
- ALL HEADERS SHALL BE (2)2x8. UNO. REFER TO DETAIL 8/S4.0 FOR ADDITIONAL REQUIREMENTS.
- PROVIDE (2) BEARING (TRIMMER) STUDS AT EACH END OF ALL HDRS AND BEAMS 6'-0" IN LENGTH AND OVER. UNO.
- WHERE POSTS OCCUR, PROVIDE SOLID VERTICAL GRAIN BLOCKING THRU FLOOR TO MATCHING MATCHING SUPPORTS BELOW. UNO.
- TYPICAL WALL FRAMING CONSISTS OF 2x6's AT 16"oc AT EXTERIOR WALLS AND 2x4's or 2x6's AT 16"oc AT INTERIOR WALLS PER ARCH DRAWINGS. UNO.
- REFER TO SHEET S4.0 FOR TYPICAL WOOD FRAMING DETAILS.
- REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
- DO NOT SCALE DRAWINGS. REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- CONCRETE WALL BELOW
- STRUCTURAL WALL BELOW
- STRUCTURAL WALL ABOVE
- HEADER/BEAM BELOW FRAMING - TYP
- SPAN AND EXTENTS
- PLUMBING PENETRATION ABOVE
- HORIZ CS16 x 3'-0" - BEAM TO BEAM
- STEP PER ARCH
- BLOCK DIAPHRAGM - PROVIDE FLAT 2x4 BLKG w/ 8d AT 4"oc AT ALL PANEL EDGES AND 8d AT 12"oc IN THE FIELD

FOOTNOTES

- BASE PLATE FOR HSS ABOVE PER DETAIL 12/S5.0 - PLATE TO BEAR DIRECTLY ON BEAM. NOTCH PLYWOOD AS REQUIRED
- ALIGN w/ CS16 ABOVE
- PROVIDE WEB FILLER AT TJ's AND SISTER 2x8 TO TJI w/ (4)10d AT 12"oc
- POST ABOVE TO BEAR DIRECTLY ON STEEL BEAM - PROVIDE HGA10 FROM POST TO SILL PLATE
- PROVIDE 1" THICK BEARING PLATE TOP AND BOTTOM
- SISTER 4x8 TO W10x45 WEB w/ 5/8"Ø WTS AT 12"oc
- PROVIDE 1/4"Ø SDS x 4-1/2" LONG AT 6"oc FROM BOTTOM FLANGE TO TOP PLATE

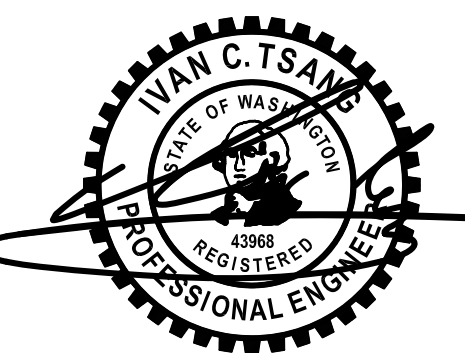
GROUND FLOOR FRAMING PLAN

GROUND FLOOR WALLS SHOWN DASHED
BASEMENT FLOOR WALLS SHOWN SOLID

FLUSH BEAM SCHEDULE

MARK	SIZE	BRG STUDS	HANGER
B1	LSL 1-3/4 x 11-7/8	2	HUS1.81/10
B2	LSL 3-1/2 x 11-7/8	2	HHUS410
B3	PSL 5-1/4 x 11-7/8	3	HGUS5.50/10
B4	PSL 7 x 11-7/8	4	HGUS7.25/10

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PRINCIPAL ENGINEER
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0285.2014.01.01

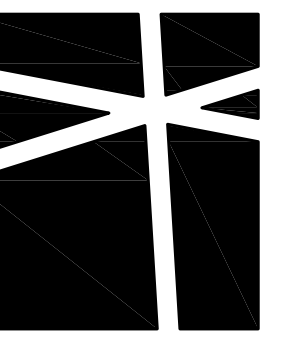
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**GROUND FLOOR
FRAMING PLAN**

SCALE - 1/4" = 1'-0"

S2.1



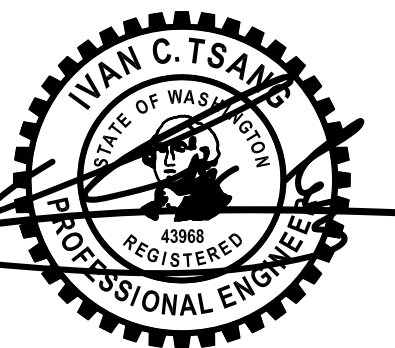
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PRINCIPAL ENGINEER: IVAN C. TSANG
DRAWN: SKH WAI
PROJECT NO: 0285.2014.01.01

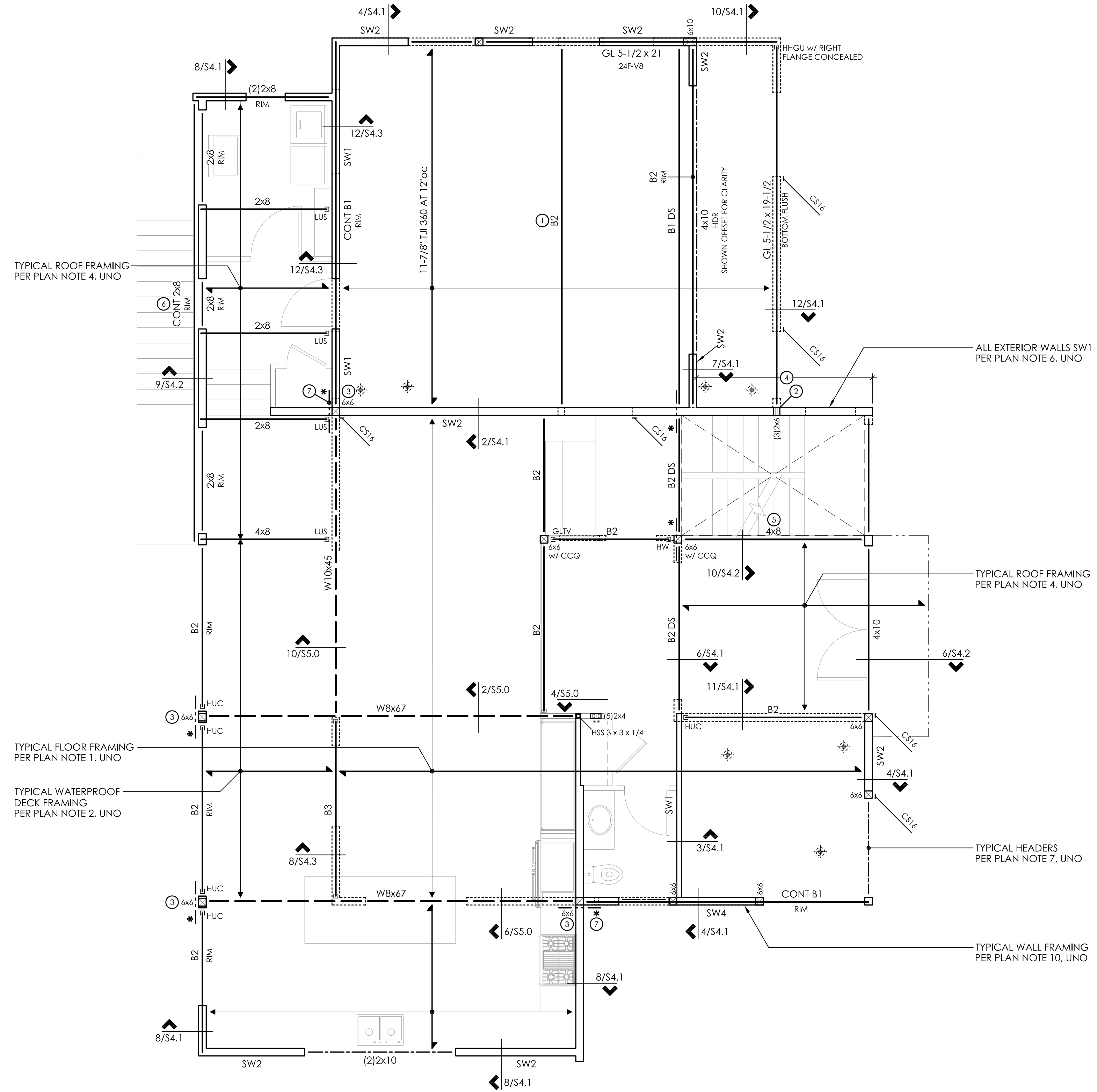
PERMIT SET
2.5.15

REV DESCRIPTION DATE

**SECOND FLOOR
FRAMING PLAN**

SCALE - 1/4" = 1'-0"

S2.2



PLAN NOTES

- TYPICAL FLOOR FRAMING CONSISTS OF 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 11-7/8" TJI 230's AT 16"oc. UNO. PROVIDE DBL JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH.
- TYPICAL WATER PROOF DECK FRAMING CONSISTS OF 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 2x8's AT 16"oc. UNO.
- GLUE AND NAIL FLOOR SHEATHING w/ 8d AT 6"oc AT FRAMED PANEL EDGES AND OVER SHEARWALLS AND AT 12"oc IN FIELD. UNO.
- TYPICAL ROOF FRAMING CONSISTS OF 7/16" or 1/2" APA RATED SHEATHING (SPAN RATING 32/16) OVER 2x8's AT 24"oc. UNO. PROVIDE H2.5A CLIPS EACH END OF ALL RAFTERS, AND H2.5A EACH SIDE OF MULTIPLE RAFTERS. UNO.
- NAIL ROOF SHEATHING w/ 8d AT 6"oc AT FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12"oc IN THE FIELD. UNO.
- "SW" INDICATES SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE ON 4/S4.0 FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS ARE SW1. UNO.
- ALL HEADERS SHALL BE (2)2x8. UNO. REFER TO DETAIL 8/S4.0 FOR ADDITIONAL REQUIREMENTS.
- PROVIDE (2)BEARING (TRIMMER) STUDS AT EACH END OF ALL HDRS AND BEAMS 6'-0" IN LENGTH AND OVER. UNO.
- WHERE POSTS OCCUR, PROVIDE SOLID VERTICAL GRAIN BLOCKING THRU FLOOR TO MATCHING MATCHING SUPPORTS BELOW. UNO.
- TYPICAL WALL FRAMING CONSISTS OF 2x6's AT 16"oc AT EXTERIOR WALLS AND 2x4's or 2x6's AT 16"oc AT INTERIOR WALLS PER ARCH DRAWINGS. UNO.
- REFER TO SHEET S4.0 FOR TYPICAL WOOD FRAMING DETAILS.
- REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
- DO NOT SCALE DRAWINGS. REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- STRUCTURAL WALL BELOW
- STRUCTURAL WALL ABOVE
- HEADER/BEAM BELOW FRAMING - TYP
- SPAN AND EXTENTS
- PLUMBING PENETRATION ABOVE
- HORIZ CS16 x 3'-0" - BEAM TO BEAM

FOOTNOTES

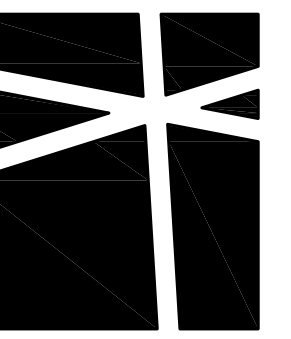
- ALIGN w/ BEDROOM WALL ABOVE
- POCKET BEAM INTO WALL
- CONNECT STEEL BEAM TO WOOD POST PER DETAIL 3/S5.0
- BALLOON FRAME WALL w/ 2x6 AT 12"oc FROM FIRST FLOOR TO ROOF
- INSTALL 4x8 AT LOW ROOF ELEVATION
- NAIL CONTINUOUS RIM TO RAFTERS w/ (4)10d EACH RAFTER
- INSTALL CS16 STRAP FROM WEB FILLER TO RIM

SECOND FLOOR FRAMING PLAN

SECOND FLOOR WALLS SHOWN DASHED
GROUND FLOOR WALLS SHOWN SOLID

FLUSH BEAM SCHEDULE

MARK	SIZE	BRG STUDS	HANGER
B1	LSL 1-3/4 x 11-7/8	2	HUS1.81/10
B2	LSL 3-1/2 x 11-7/8	2	HHUS410
B3	PSL 5-1/4 x 11-7/8	3	HGUS5.50/10
B4	PSL 7 x 11-7/8	4	HGUS7.25/10



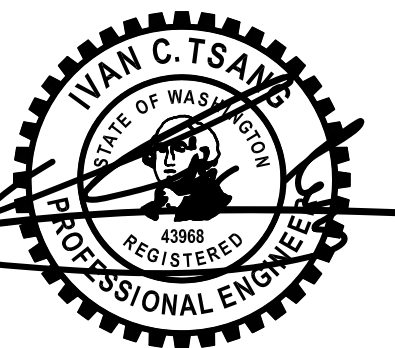
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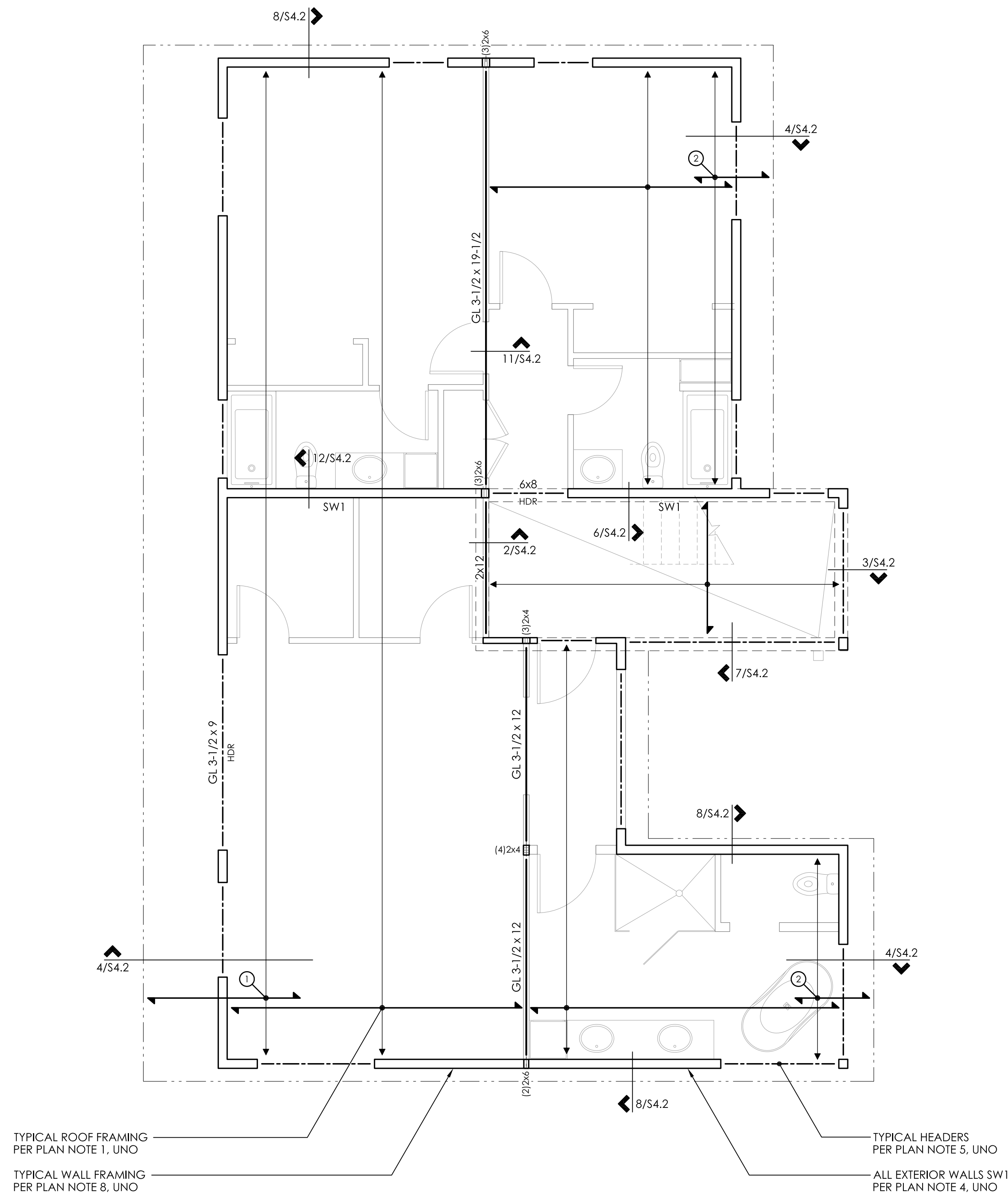
PRINCIPAL ENGINEER SKH WAI
DRAWN RAP
PROJECT NO 0285.2014.01.01

PERMIT SET
2.5.15
REV DESCRIPTION DATE

ROOF FRAMING PLAN

SCALE - 1/4" = 1'-0"

S2.3



PLAN NOTES

1. TYPICAL ROOF FRAMING CONSISTS OF 7/16" or 1/2" APA RATED SHEATHING (SPAN RATING 32/16) OVER 2x12's AT 24"oc, UNO. PROVIDE H2.5A CLIPS EACH END OF ALL RAFTERS, H2.5A EACH SIDE OF MULTIPLE RAFTERS, UNO.
2. TYPICAL CRICKET ROOF FRAMING CONSISTS OF 5/8" T&G APA RATED SHEATHING (SPAN RATING 40/20) OVER 2x SLEEPERS AT 24"oc. TOENAIL SLEEPERS w/ (2)10d AT 24"oc OVER TYPICAL ROOF FRAMING. PROVIDE VENTING HOLES BELOW CRICKET ROOF FRAMING AS REQUIRED.
3. NAIL ROOF SHEATHING w/ 8d AT 6" oc AT FRAMED PANEL EDGES AND OVER SHEARWALLS. AND AT 12"oc IN FIELD, UNO.
4. "SW_" INDICATES SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE ON 4/S4.0 FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS ARE SW1, UNO.
5. ALL HEADERS SHALL BE (2)2x8, UNO. REFER TO DETAIL 8/S4.0 FOR ADDITIONAL REQUIREMENTS.
6. PROVIDE (2)BEARING (TRIMMER) STUDS AT EACH END OF ALL HDRS AND BEAMS 6'-0" IN LENGTH AND OVER, UNO.
7. WHERE POSTS OCCUR. PROVIDE SOLID VERTICAL GRAIN BLOCKING THRU FLOOR TO MATCHING MATCHING SUPPORTS BELOW, UNO.
8. TYPICAL WALL FRAMING CONSISTS OF 2x6's AT 16"oc AT EXTERIOR WALLS AND 2x4's or 2x6's AT 16"oc AT INTERIOR WALLS PER ARCH DRAWINGS, UNO.
9. REFER TO SHEET S4.0 FOR TYPICAL WOOD FRAMING DETAILS.
10. REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
11. DO NOT SCALE DRAWINGS. REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- STRUCTURAL WALL BELOW
- HEADER/BEAM BELOW FRAMING - TYP
- SPAN AND EXTENTS
- DIRECTION OF SLOPE

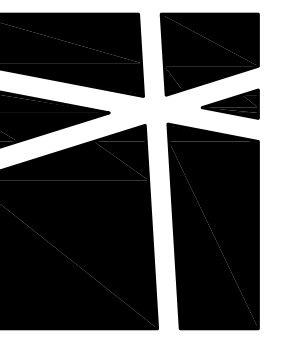
FOOTNOTES

- ① 2x8 x 8'-0" AT 24"oc - SISTER TO RAFTER w/ (3)10d AT 12"oc
- ② 2x8 x 4'-0" AT 24"oc - SISTER TO RAFTER w/ (3)10d AT 12"oc

ROOF FRAMING PLAN

SECOND FLOOR WALLS SHOWN SOLID





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PRINCIPAL ENGINEER: IVAN C. TSANG
DRAWN: SKH WAI
PROJECT NO: 0285.2014.01.01
DATE: RAP

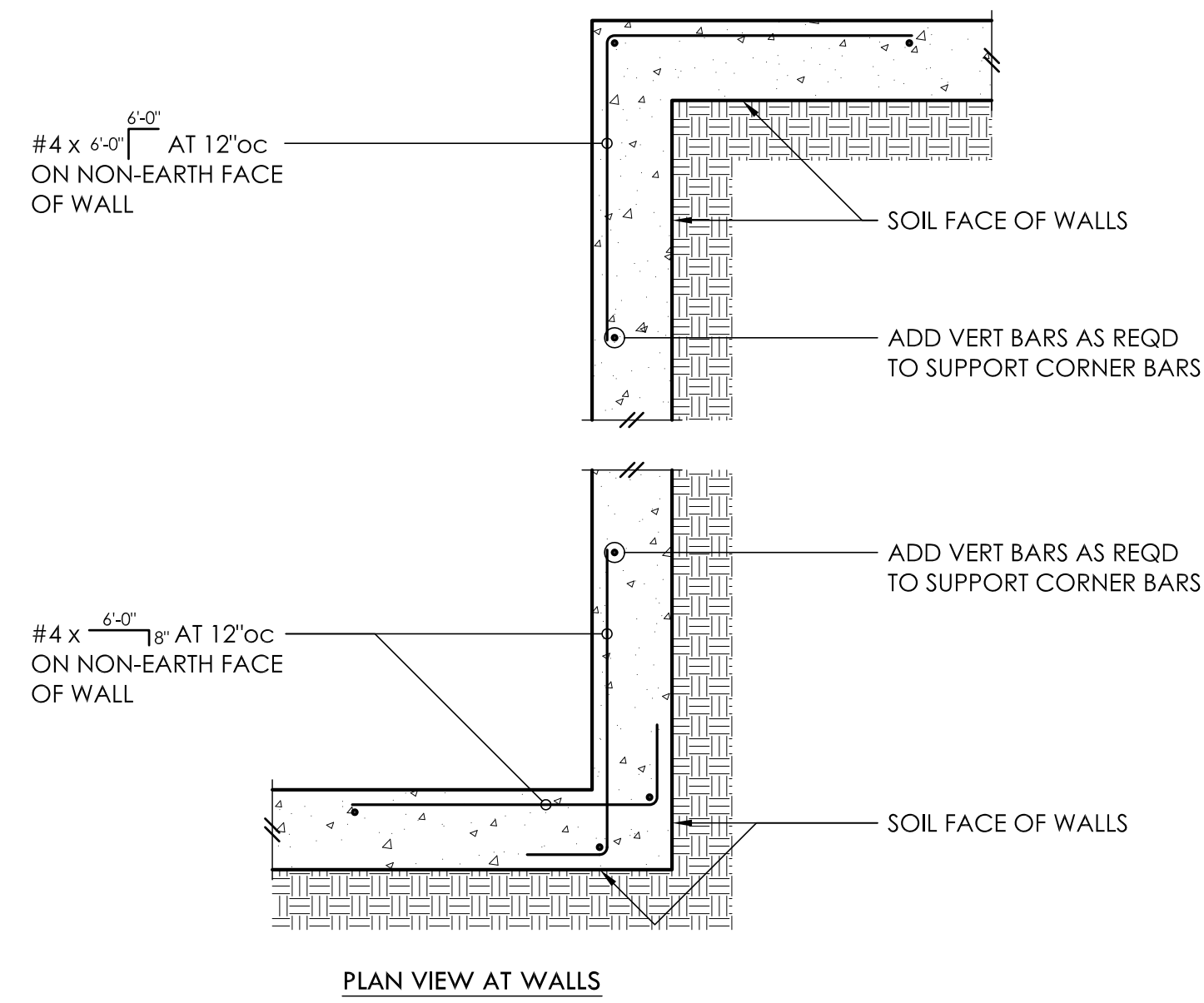
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REV DESCRIPTION DATE

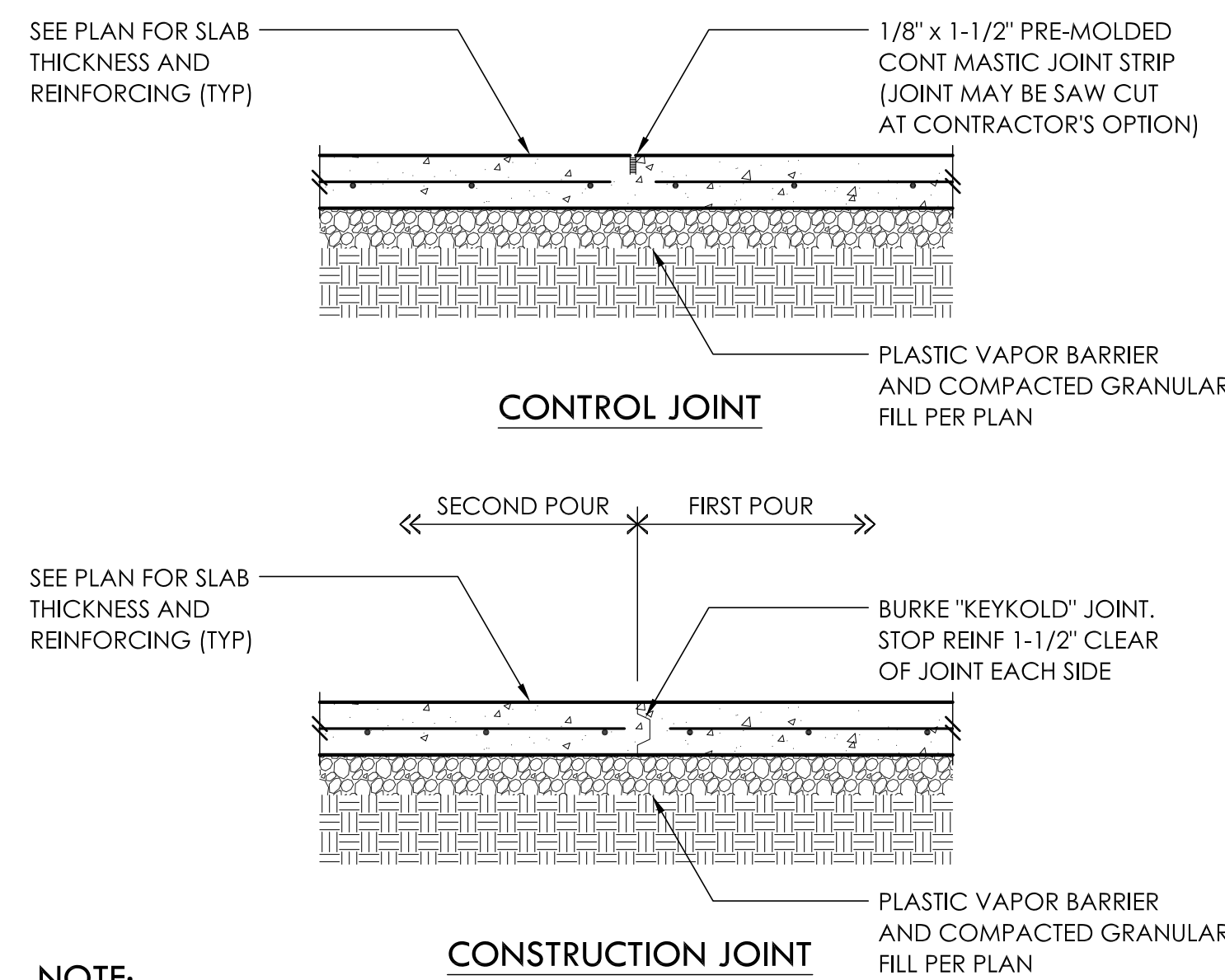
TYPICAL
CONCRETE
DETAILS

SCALE - 3/4" = 1'-0"

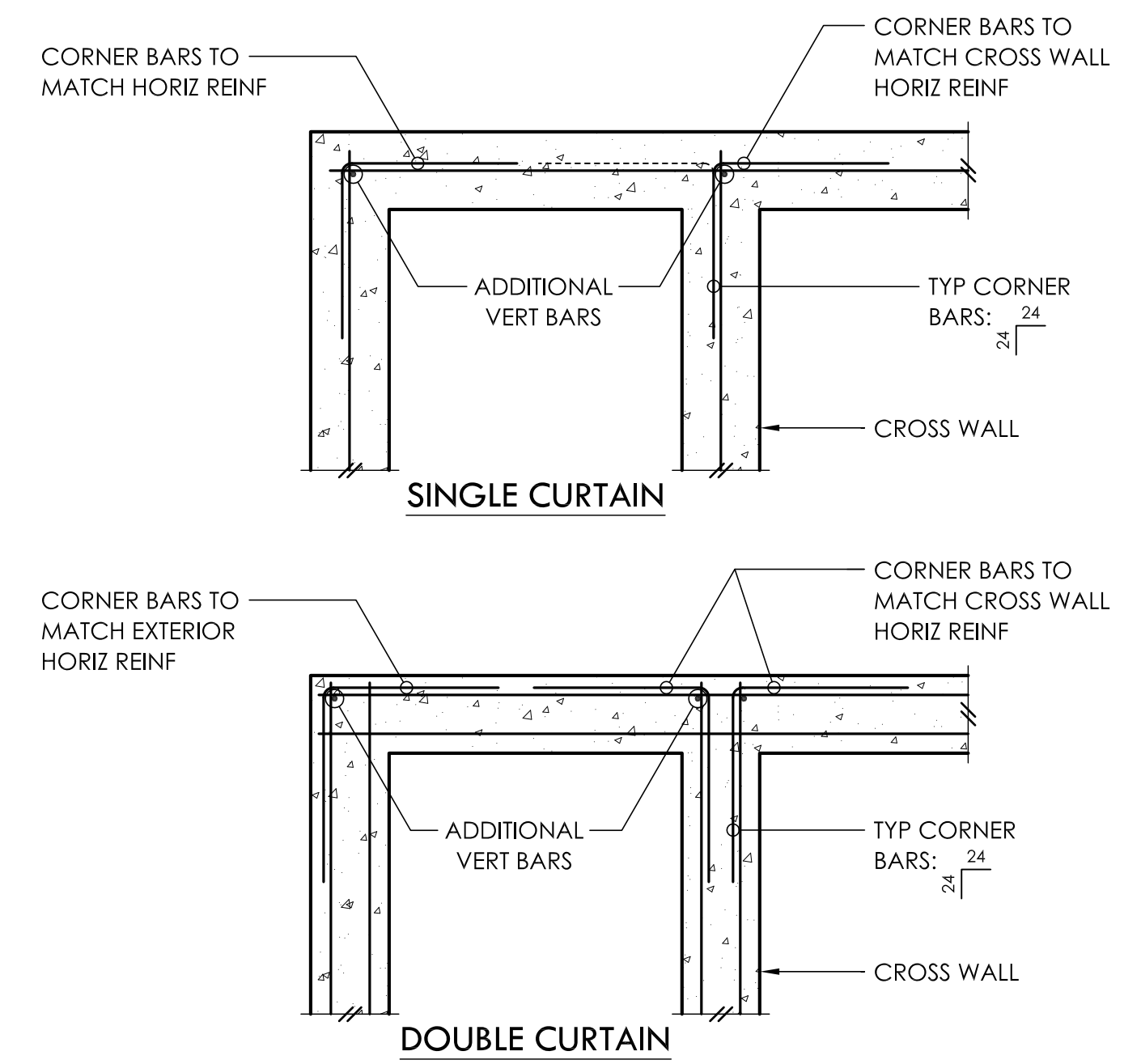
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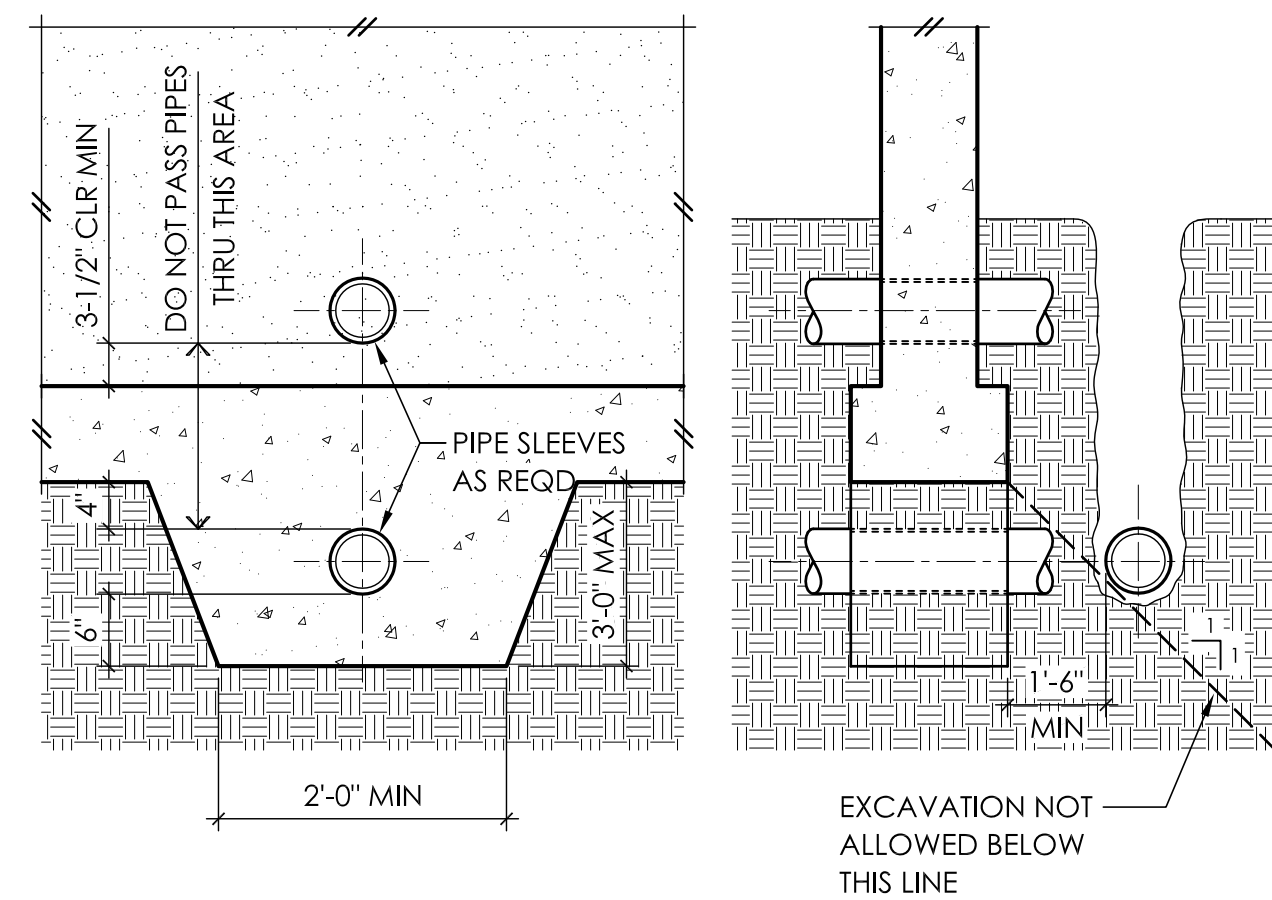
1 **ADDITIONAL REINFORCEMENT AT RETAINING WALLS** 2



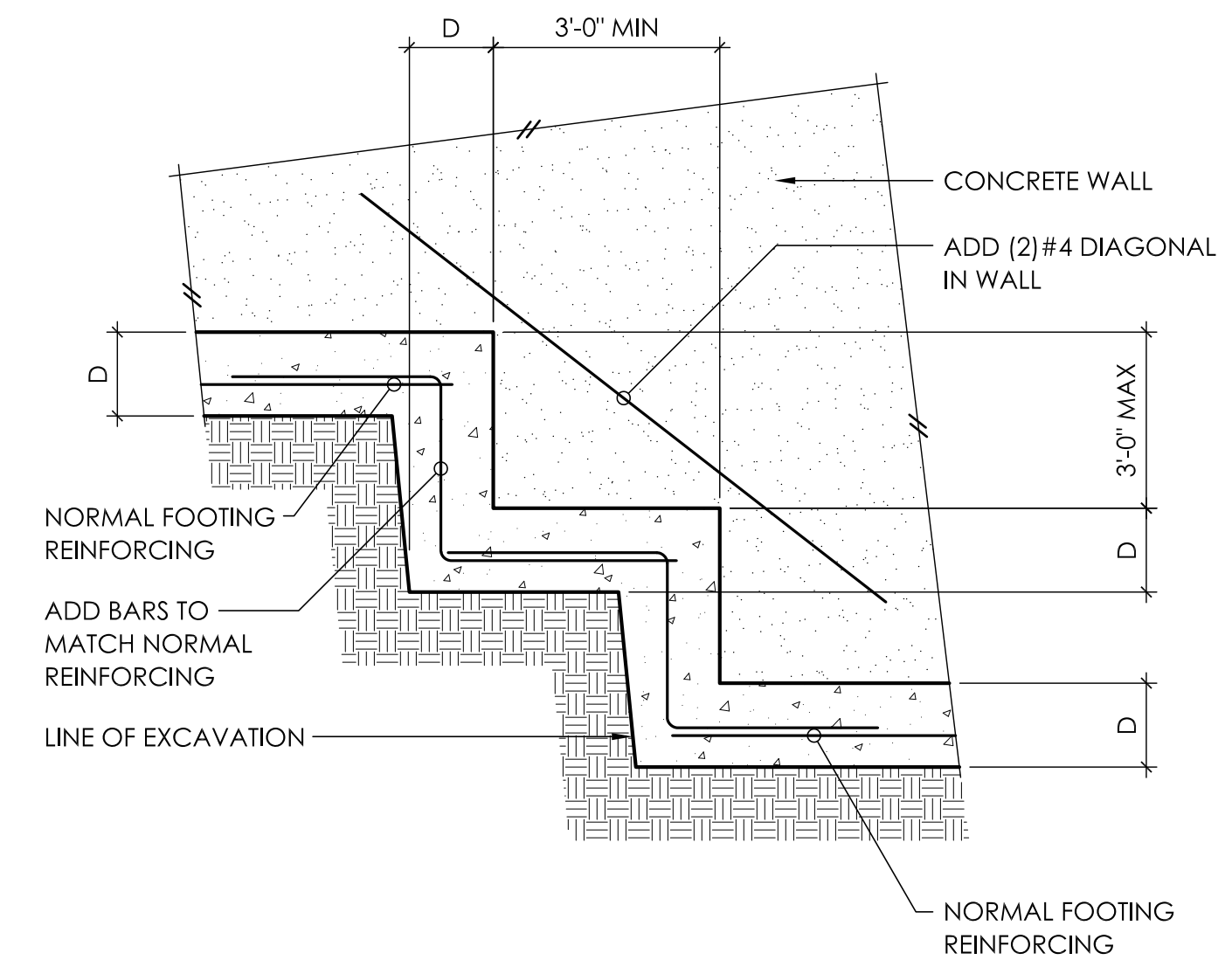
3 **TYPICAL SLAB JOINTS**



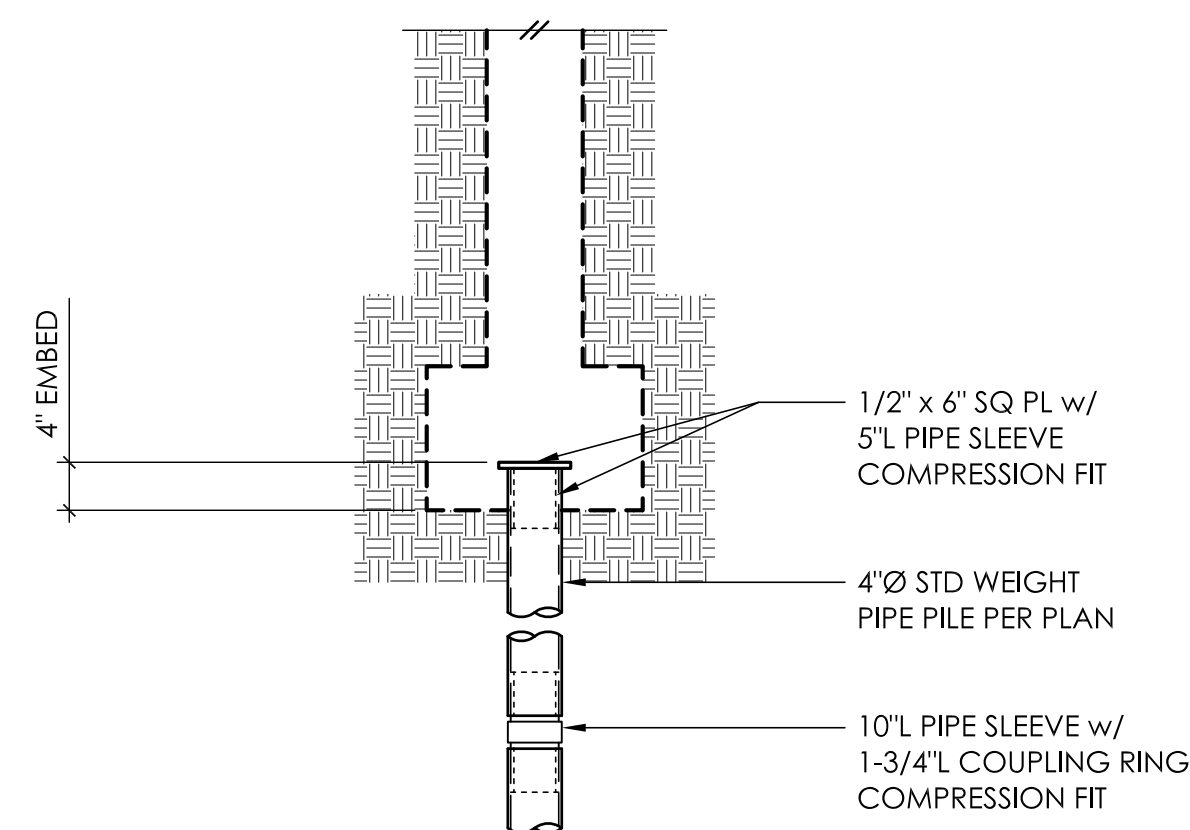
4 **TYP CORNER BARS AT CONCRETE WALLS AND FTGS**



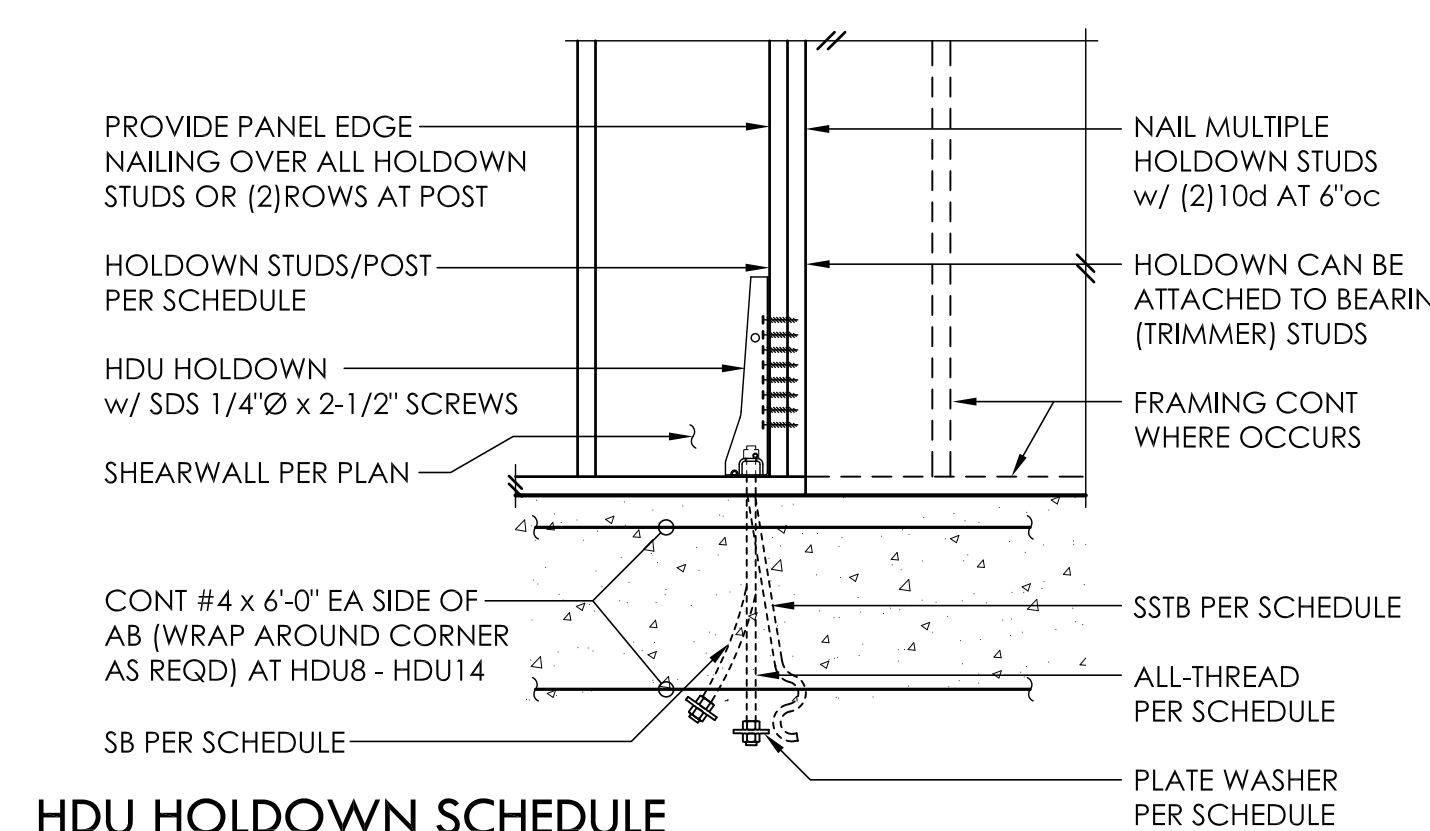
5 **PIPE AND TRENCH LOCATIONS** 6



8 **TYPICAL STEPPED FOOTING**



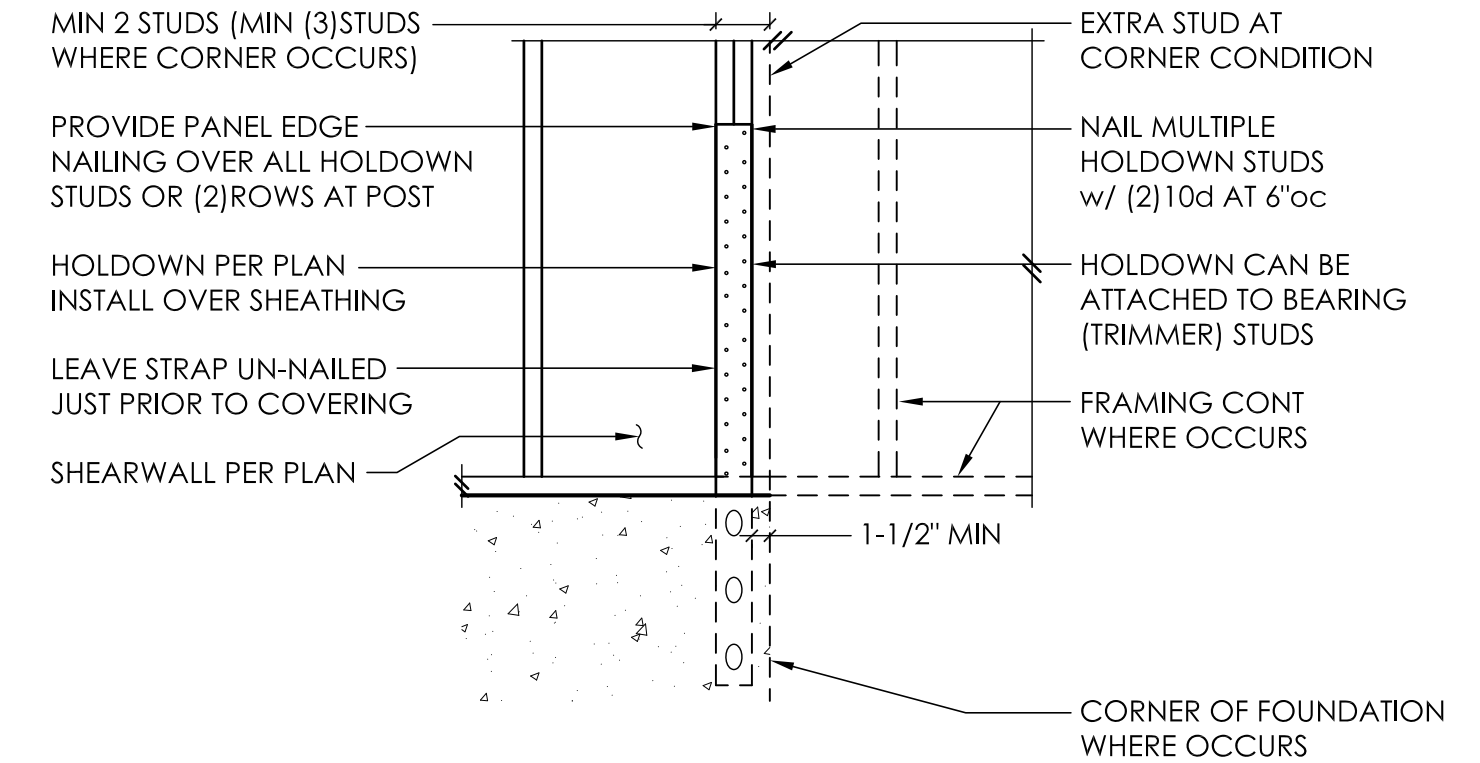
9 **4" PILES TYPICAL PIPE PILE** 10



HDU HOLDOWN SCHEDULE

PLAN MARK	STEMWALL AB	EMBED	FOOTING ALL-THREAD	ANCHOR WASHER	BOLT ①	EMBED	HD POST ②
HDU2	5/8"Ø - SSTB16(L)	12-5/8"	5/8"Ø	1-1/2"SQ x 3/8	9"		(2)2x4 (2)2x6
HDU4	5/8"Ø - SB5/8 x 24	18"	5/8"Ø	1-1/2"SQ x 3/8	9"		(2)2x4 (2)2x6
HDU5	5/8"Ø - SB5/8 x 24	18"	5/8"Ø	1-1/2"SQ x 3/8	9"		(2)2x4 (2)2x6
HDU8	7/8"Ø - SB7/8 x 24	18"	7/8"Ø	2-1/4"SQ x 3/8	12"	4x6	6x6
HDU11	1"Ø - SB1 x 30 ③	24"	1"Ø	2-1/2"SQ x 3/8	12"	4x8	6x6
HDU14	1"Ø - SB1 x 30 ③	24"	1"Ø	2-1/2"SQ x 3/8	12"	4x12	6x8

- ① A307 ALL-THREAD w/ PLATE WASHER PER SCHEDULE AND DOUBLE NUT BOTTOM OR EQUIVALENT SIMPSON PAB
- ② MINIMUM SIZE OF POST UNO ON FRAMING PLANS
- ③ REQUIRES MINIMUM 8" THICK CONCRETE WALL

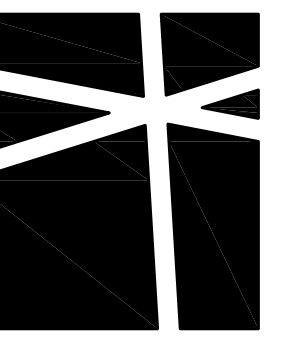


LSTHD/STHD HOLDOWN SCHEDULE

PLAN MARK	NAILS ①	HD POST ②
LSTHD8(RJ)	(20)16d SINKERS	DBL STUD
STHD10(RJ)	(28)16d SINKERS	DBL STUD
STHD14(RJ)	(30)16d SINKERS	DBL STUD

- ① 16d SINKERS = 0.148"Ø x 3-1/4"
- ② MINIMUM SIZE OF POST UNO ON FRAMING PLANS

11 **TYPICAL CONCRETE DETAILS** 12



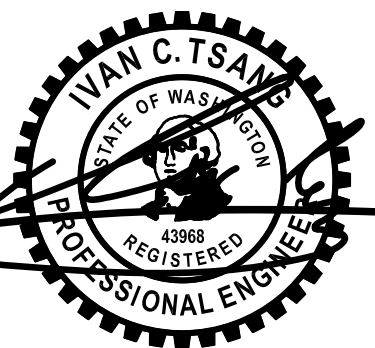
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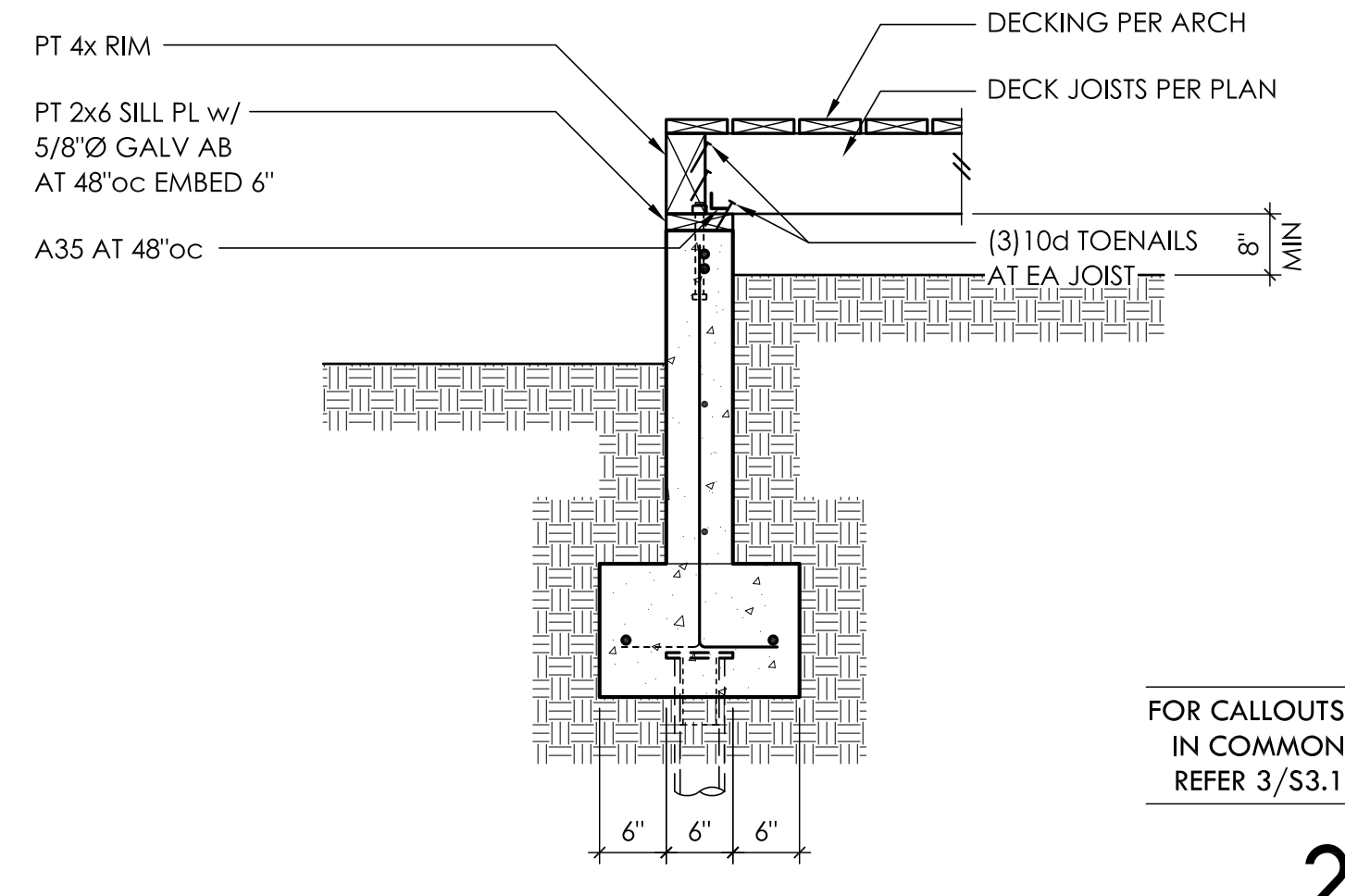
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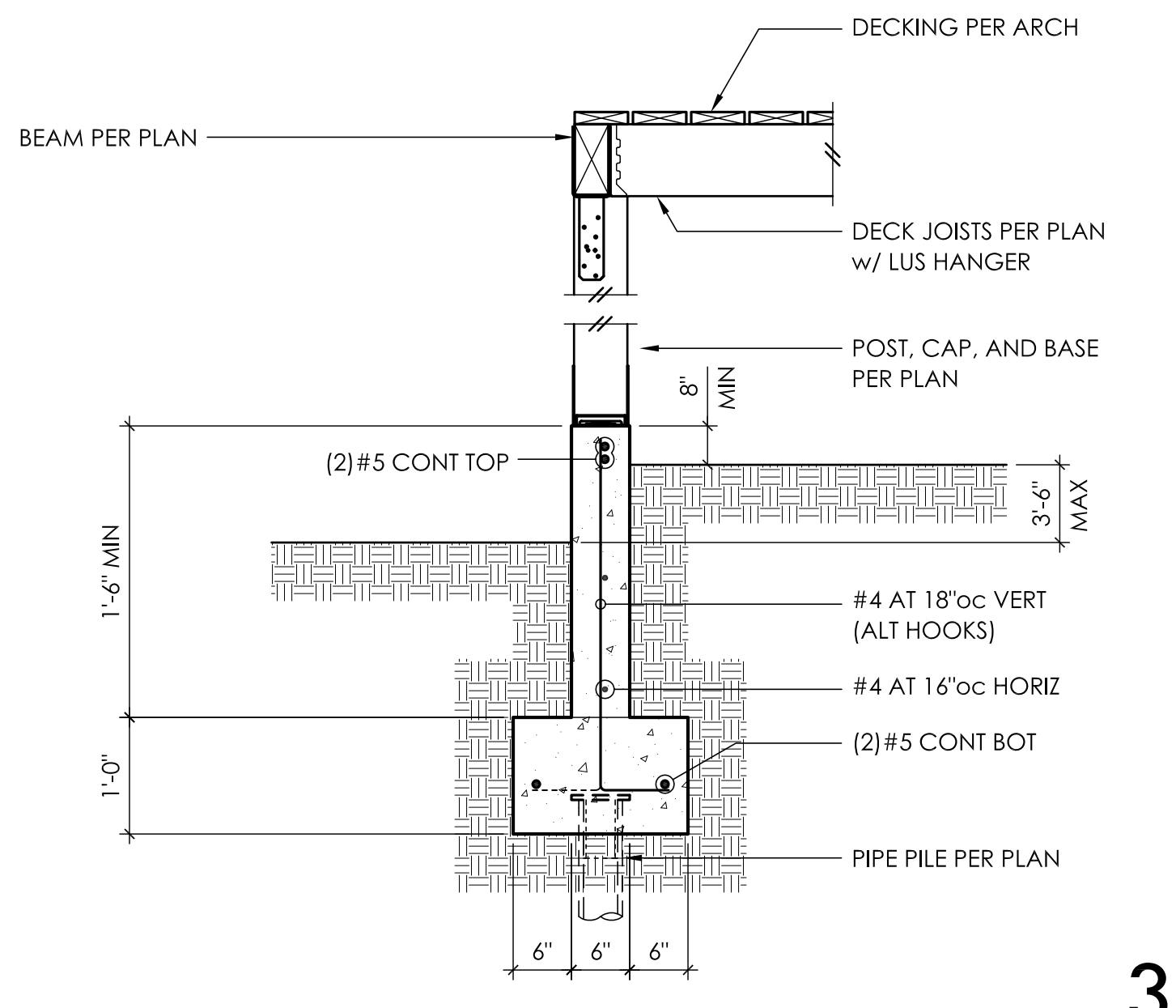
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DETAILS

SCALE - 3/4" = 1'-0"

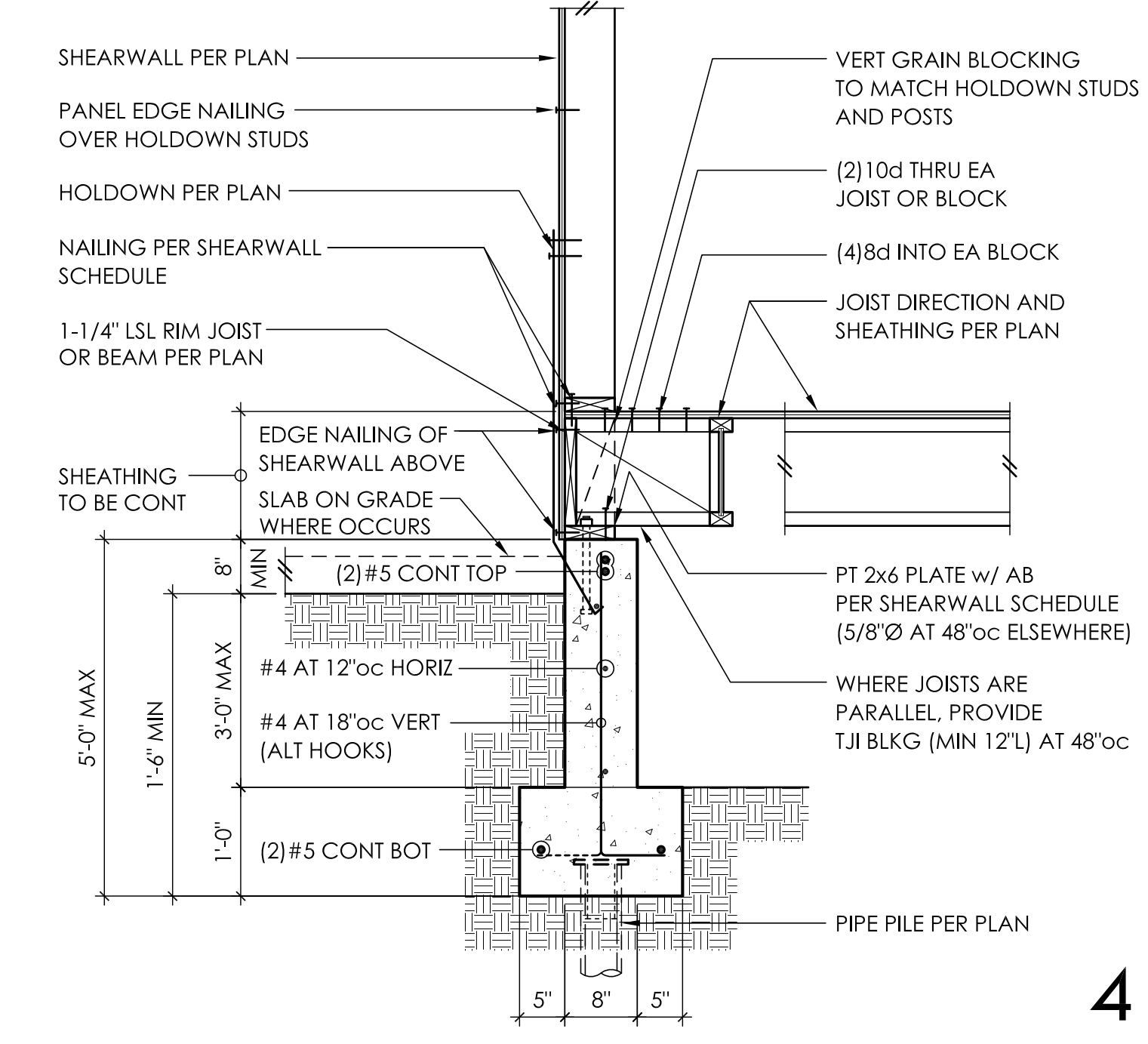
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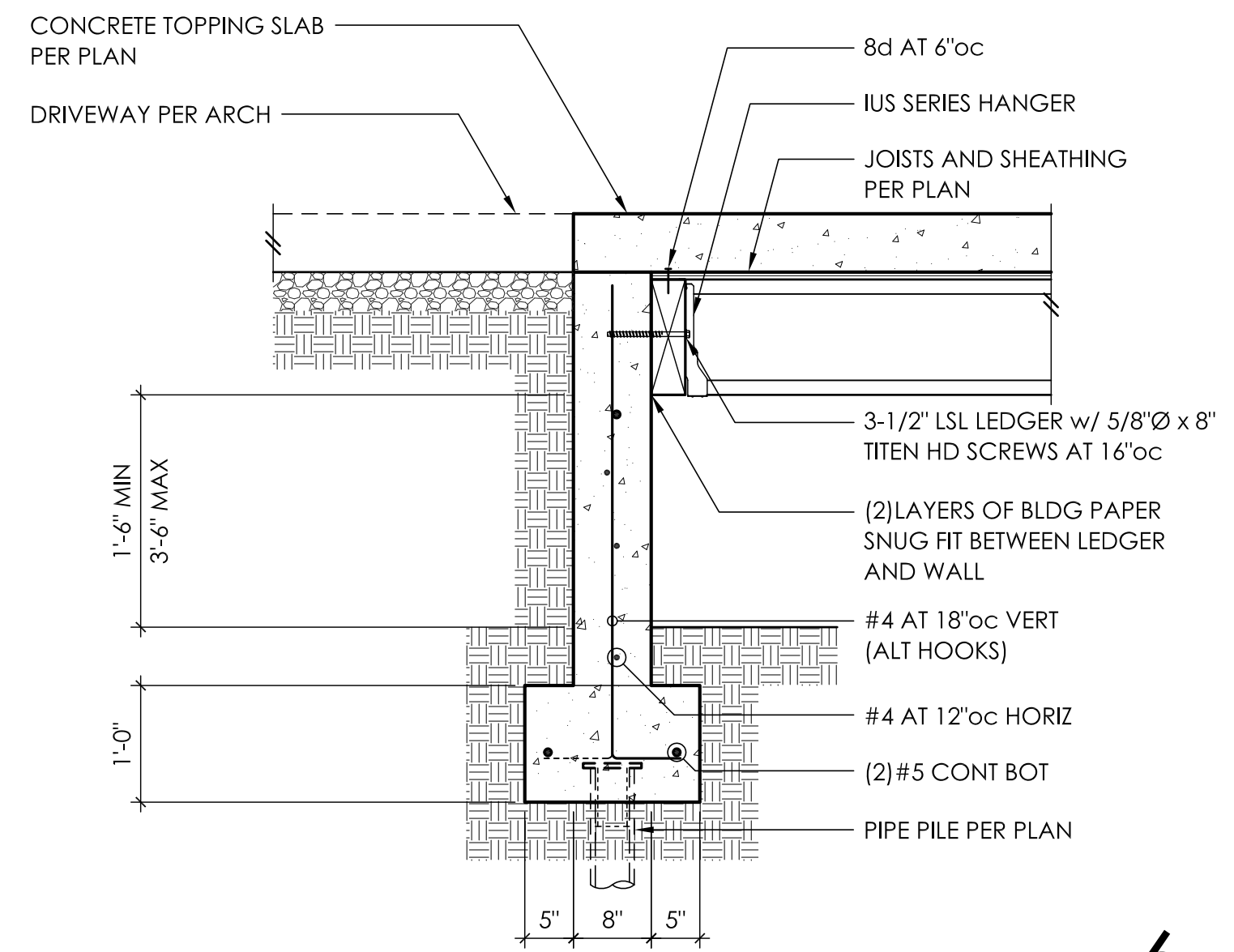
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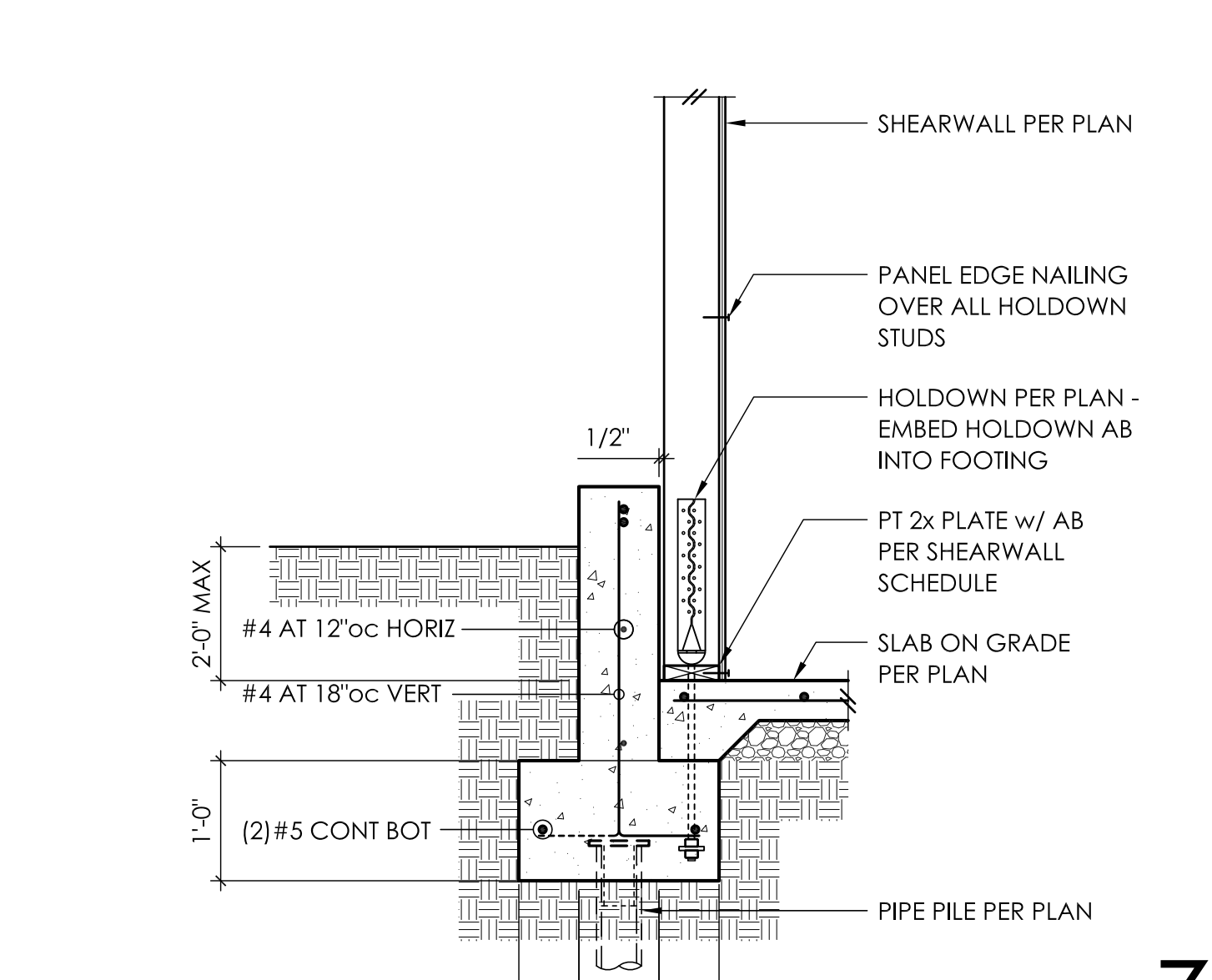
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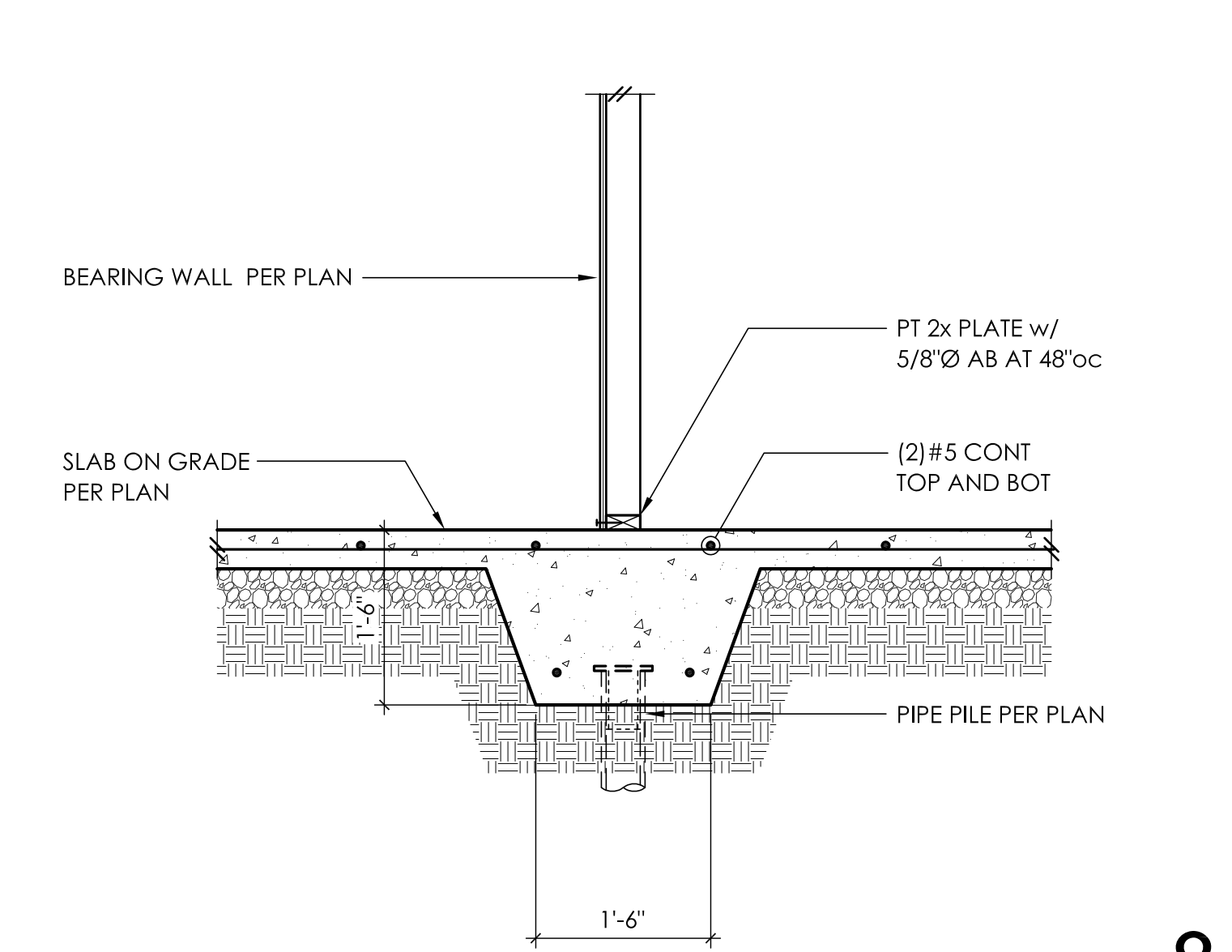
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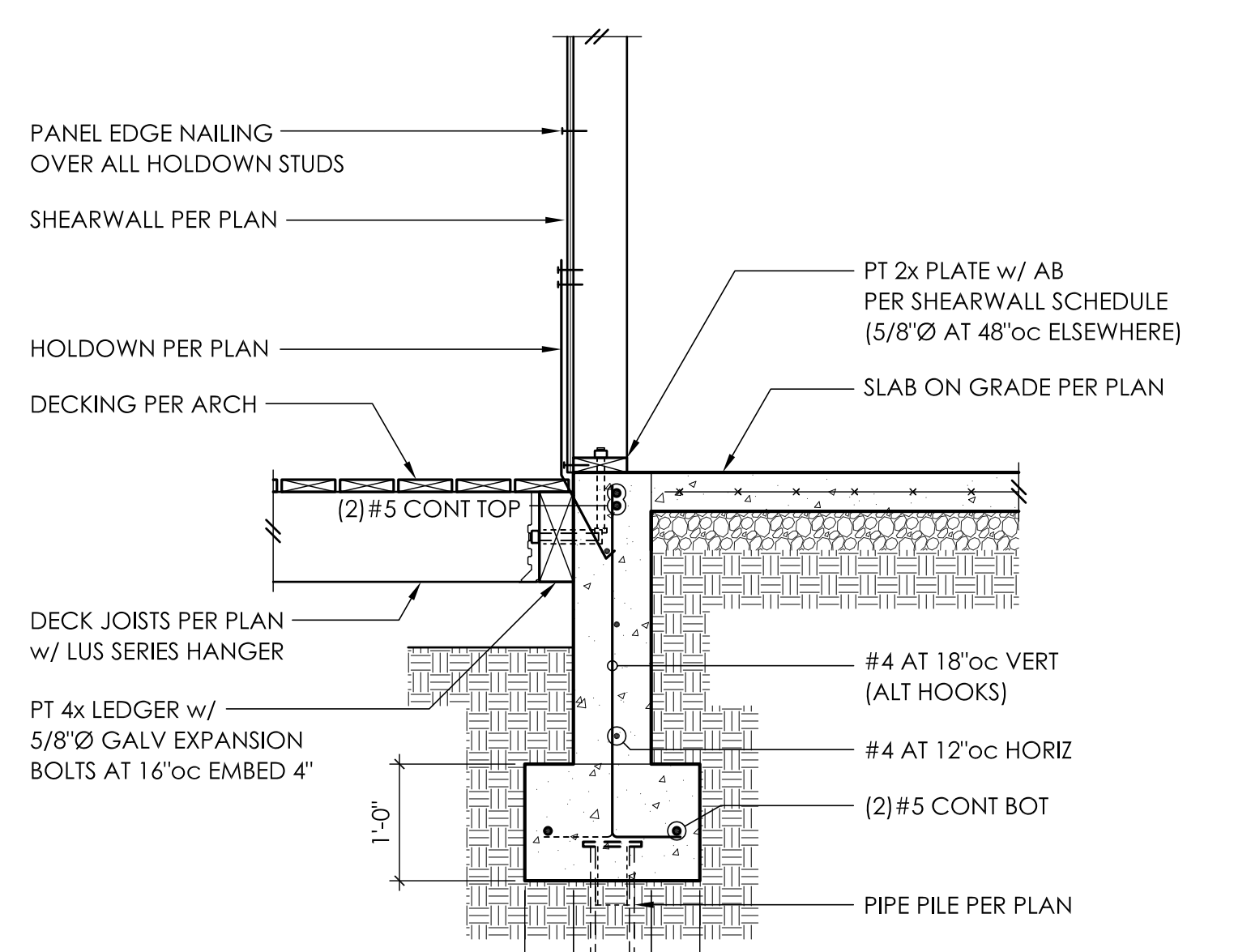
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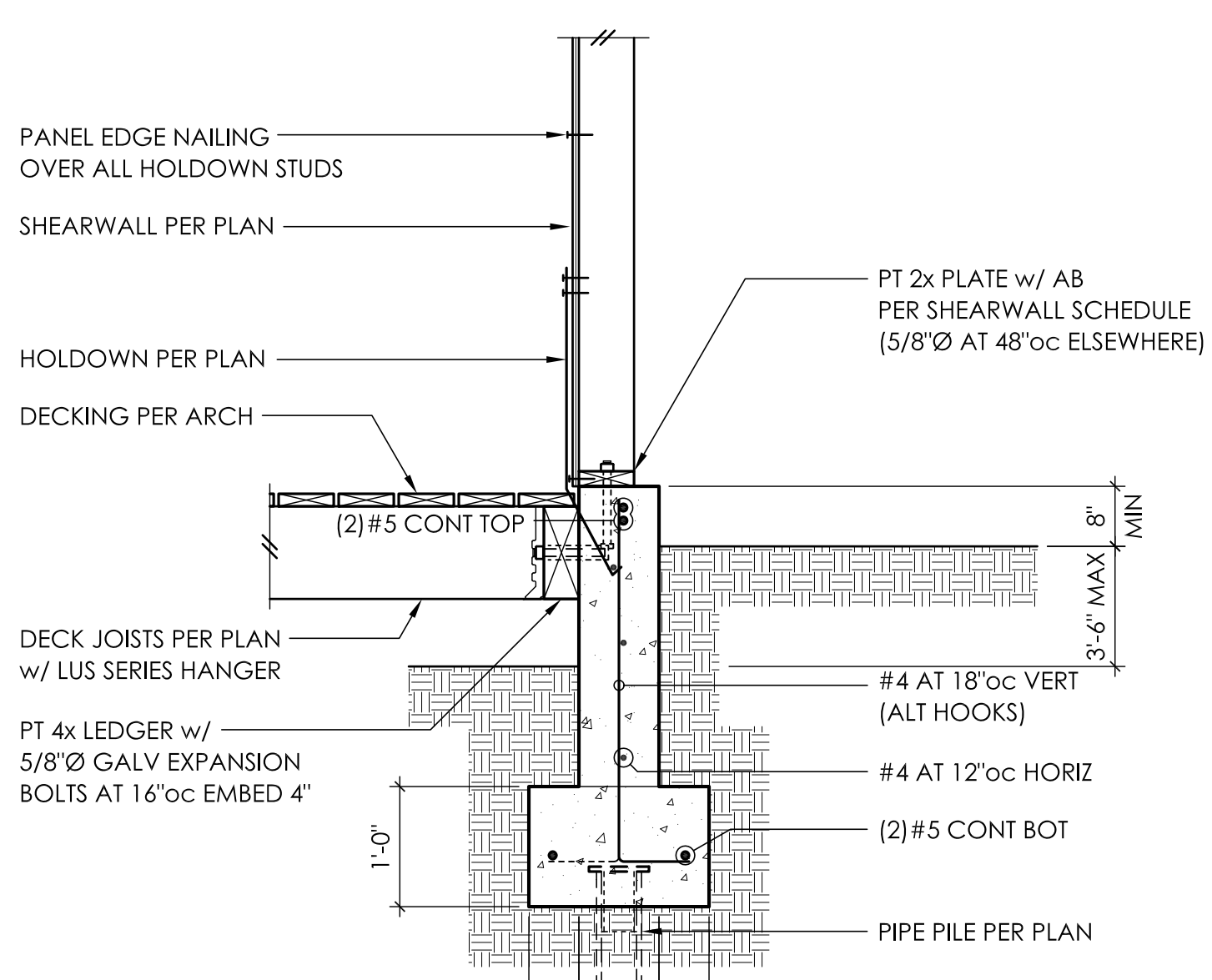
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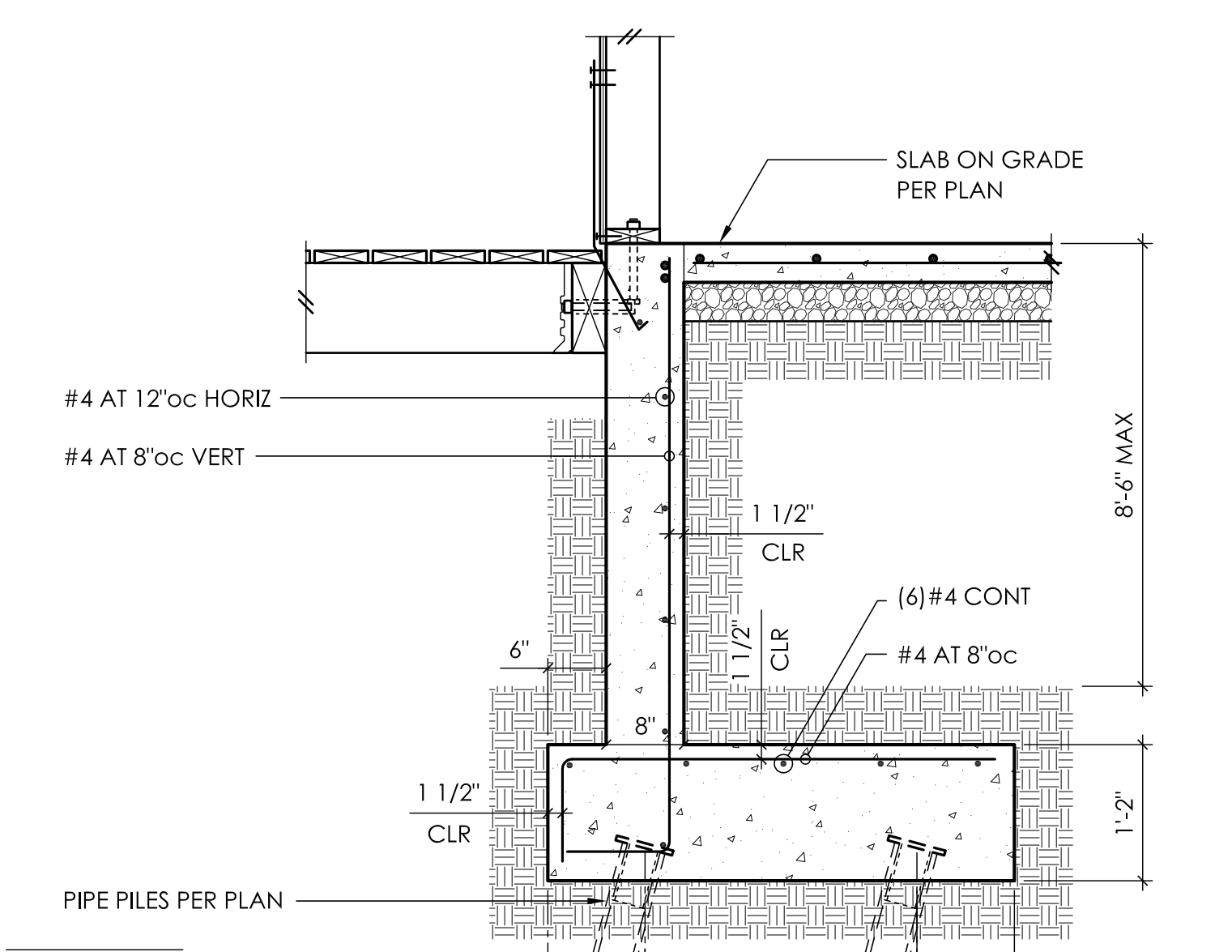
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8



9



10

FOR CALLOUTS IN COMMON REFER 3/S3.1

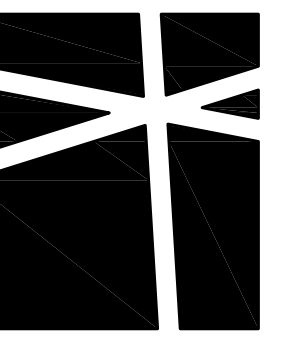
FOR CALLOUTS IN COMMON REFER 10/S3.1

FOR CALLOUTS IN COMMON REFER 10/S3.1

TOP OF PILE TOP OF PILE

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Prepared By: ian
Checked By: ian
Date: 04/04/2015 - 5:34pm



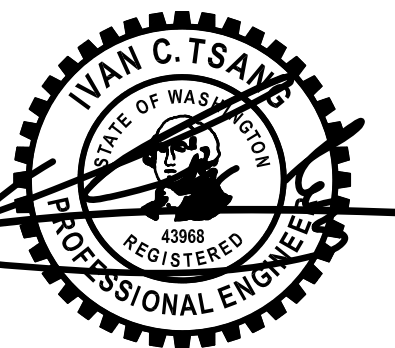
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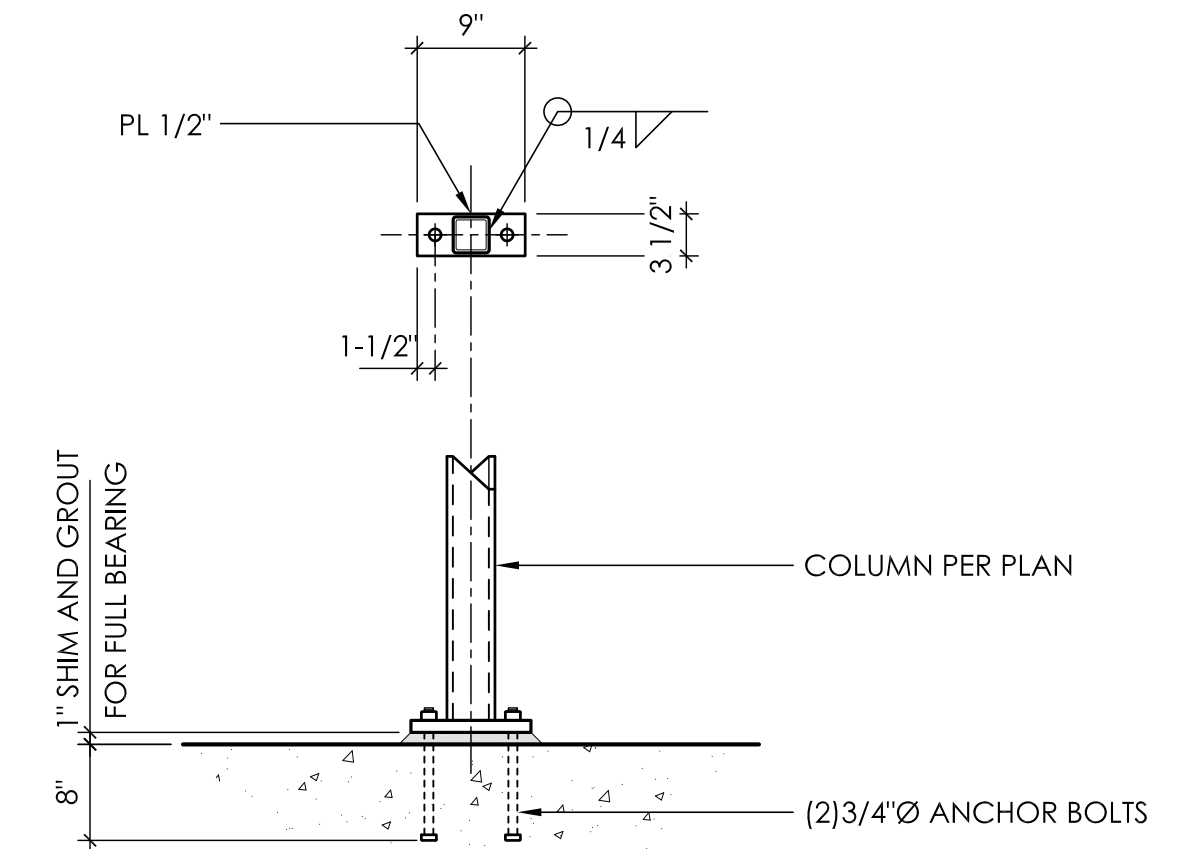
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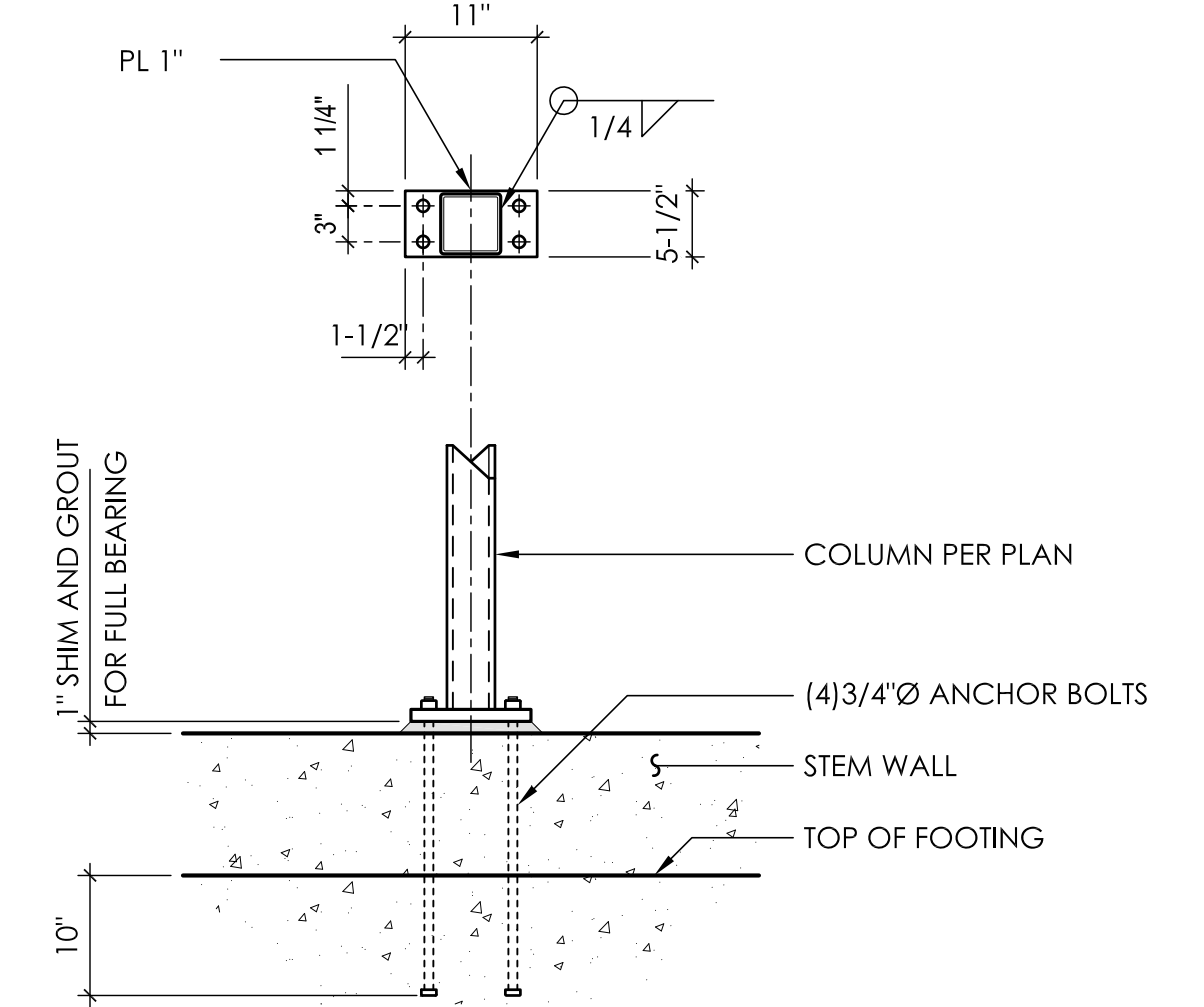
**CONCRETE
DETAILS**

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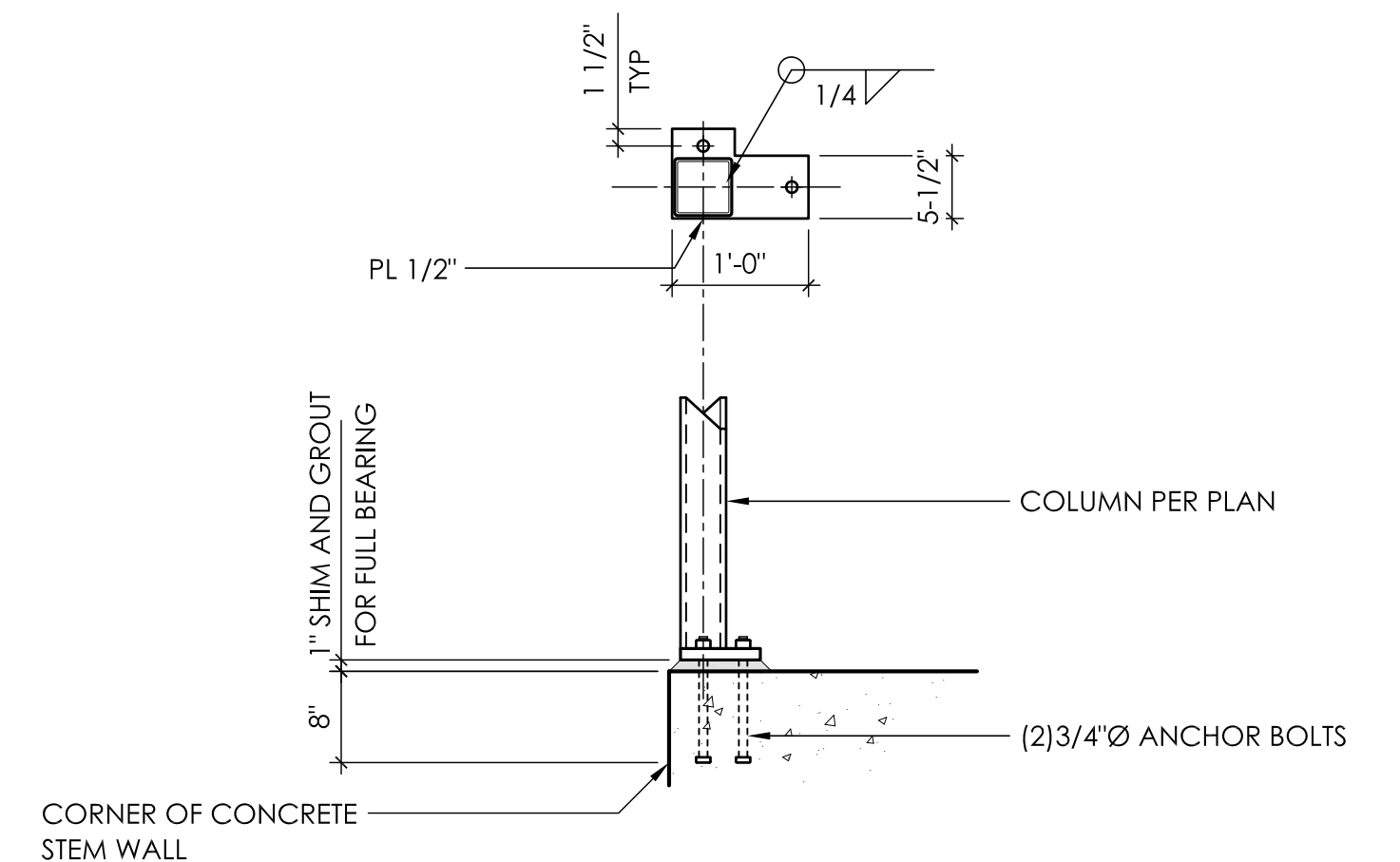
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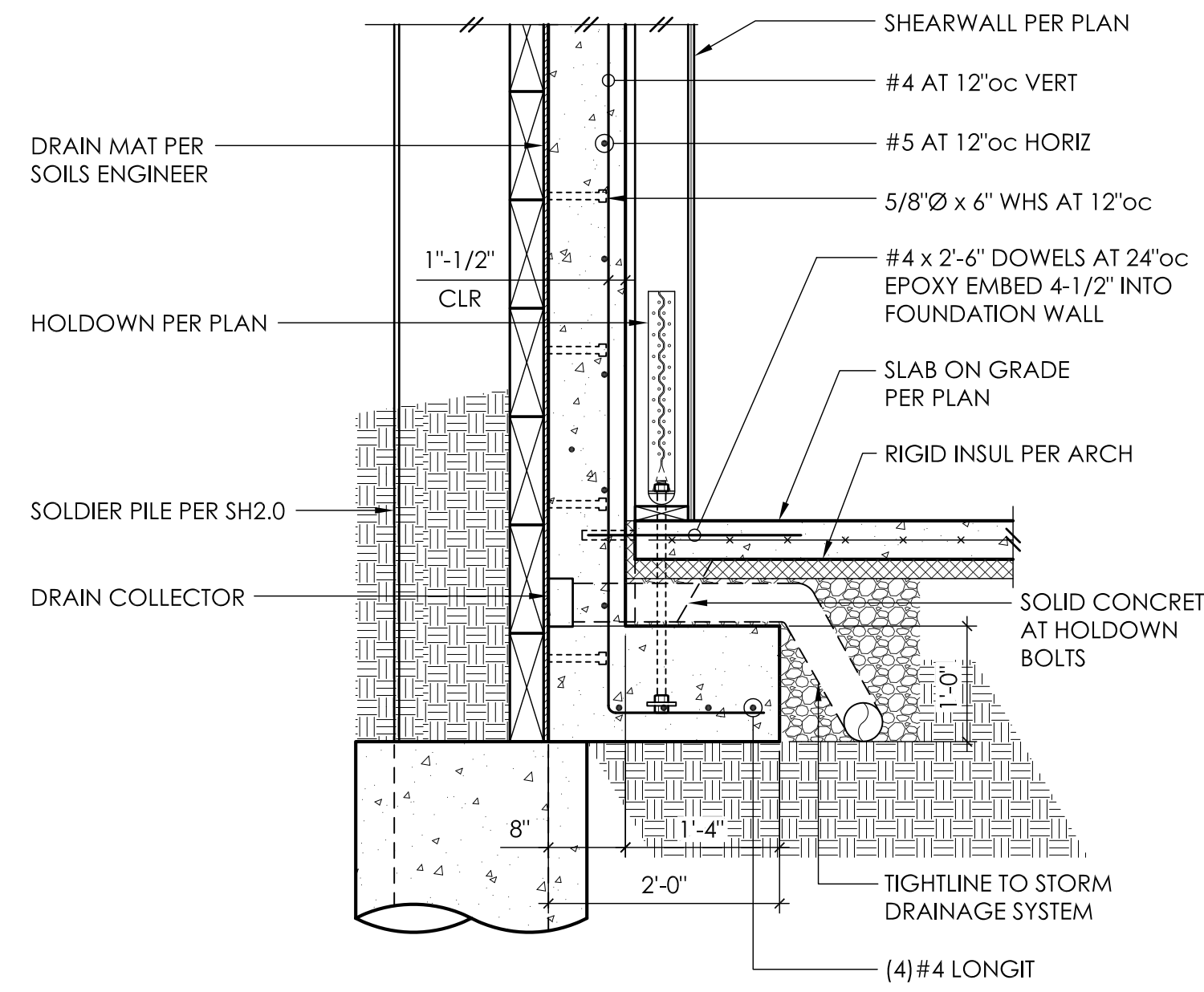
BASEPLATE - HSS COLUMN 4



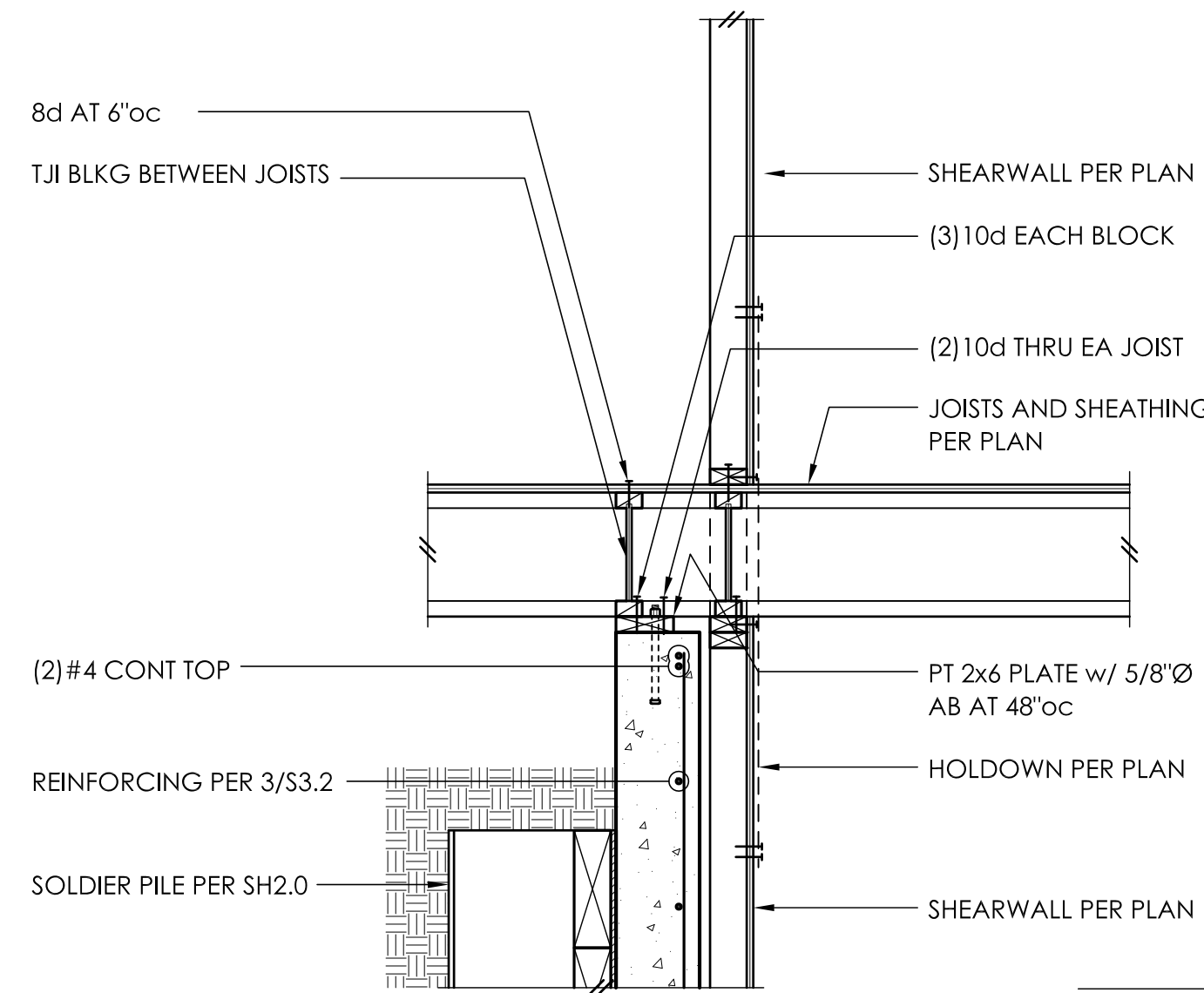
BASEPLATE - HSS COLUMN 8



CORNER OF CONCRETE STEM WALL
BASEPLATE - HSS COLUMN 12

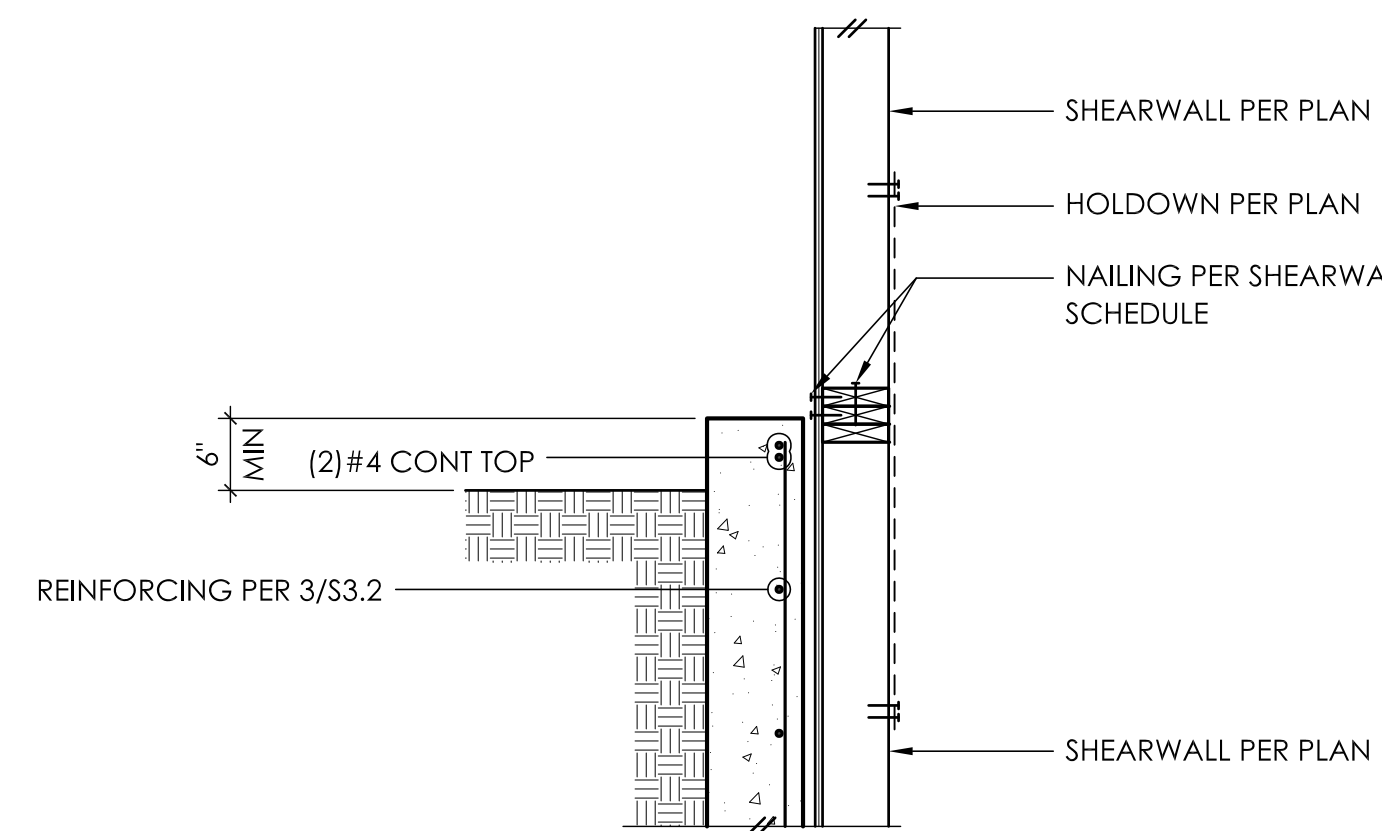


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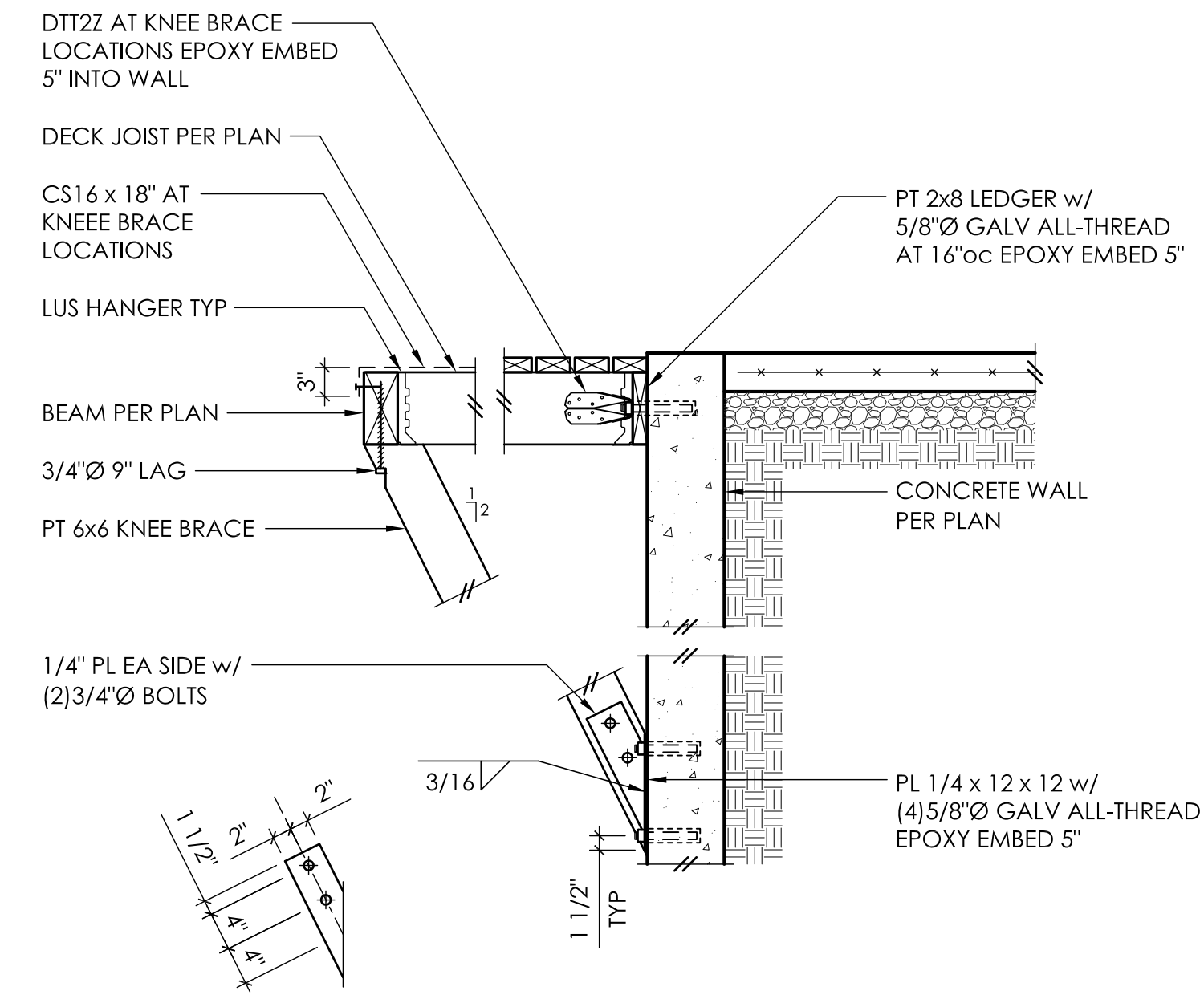


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REFER 2/S4.1

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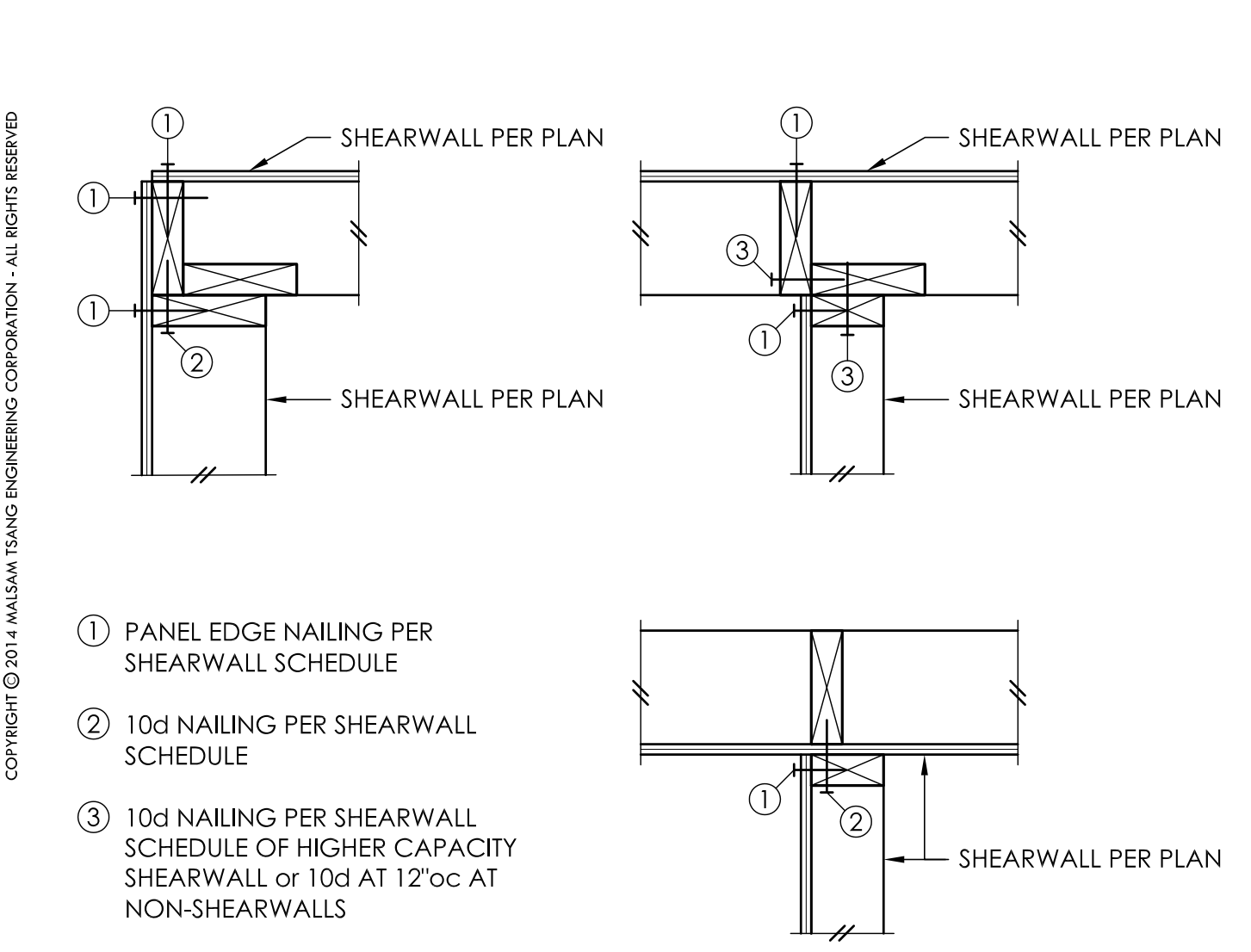
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PLATE DETAIL

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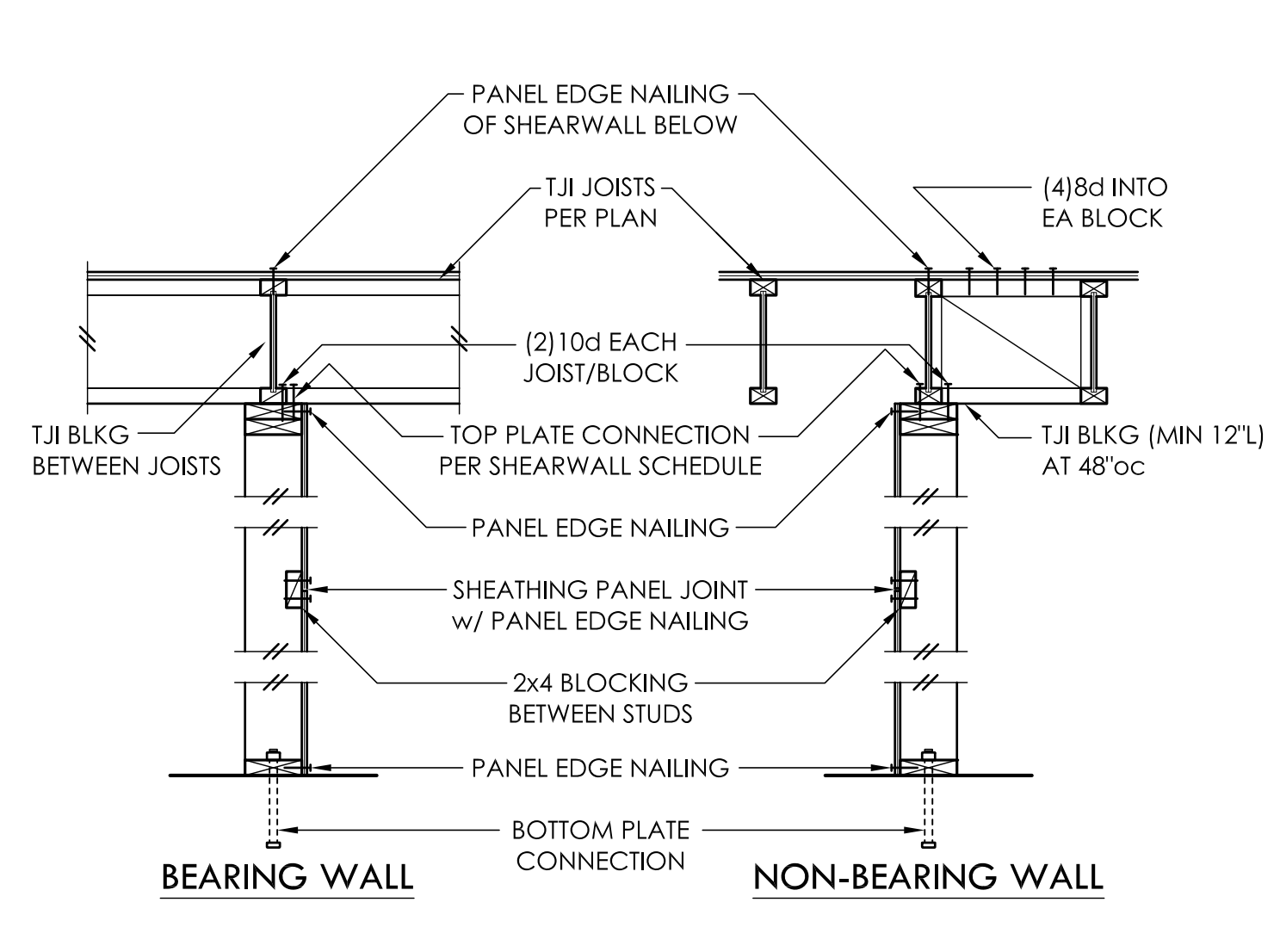
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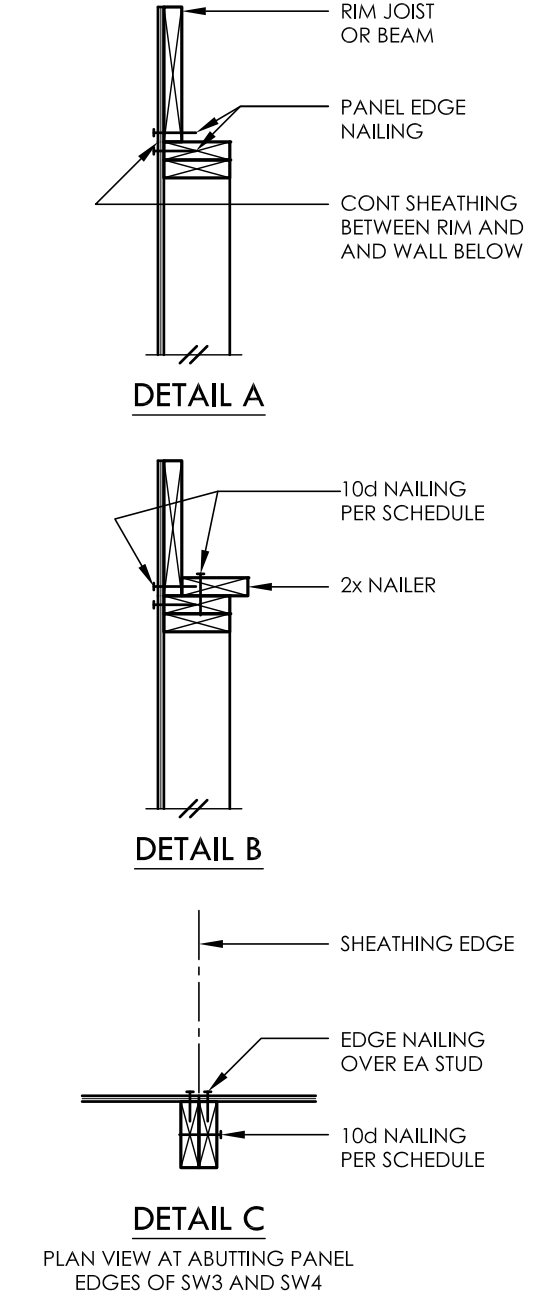
- ① PANEL EDGE NAILING PER SHEARWALL SCHEDULE
- ② 10d NAILING PER SHEARWALL SCHEDULE
- ③ 10d NAILING PER SHEARWALL SCHEDULE OF HIGHER CAPACITY SHEARWALL or 10d AT 12"oc AT NON-SHEARWALLS

SCALE: 1-1/2" = 1'-0"
TYPICAL SHEARWALL INTERSECTIONS 1



NOTE:
SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, UNO

TYPICAL SHEARWALL CONSTRUCTION 3

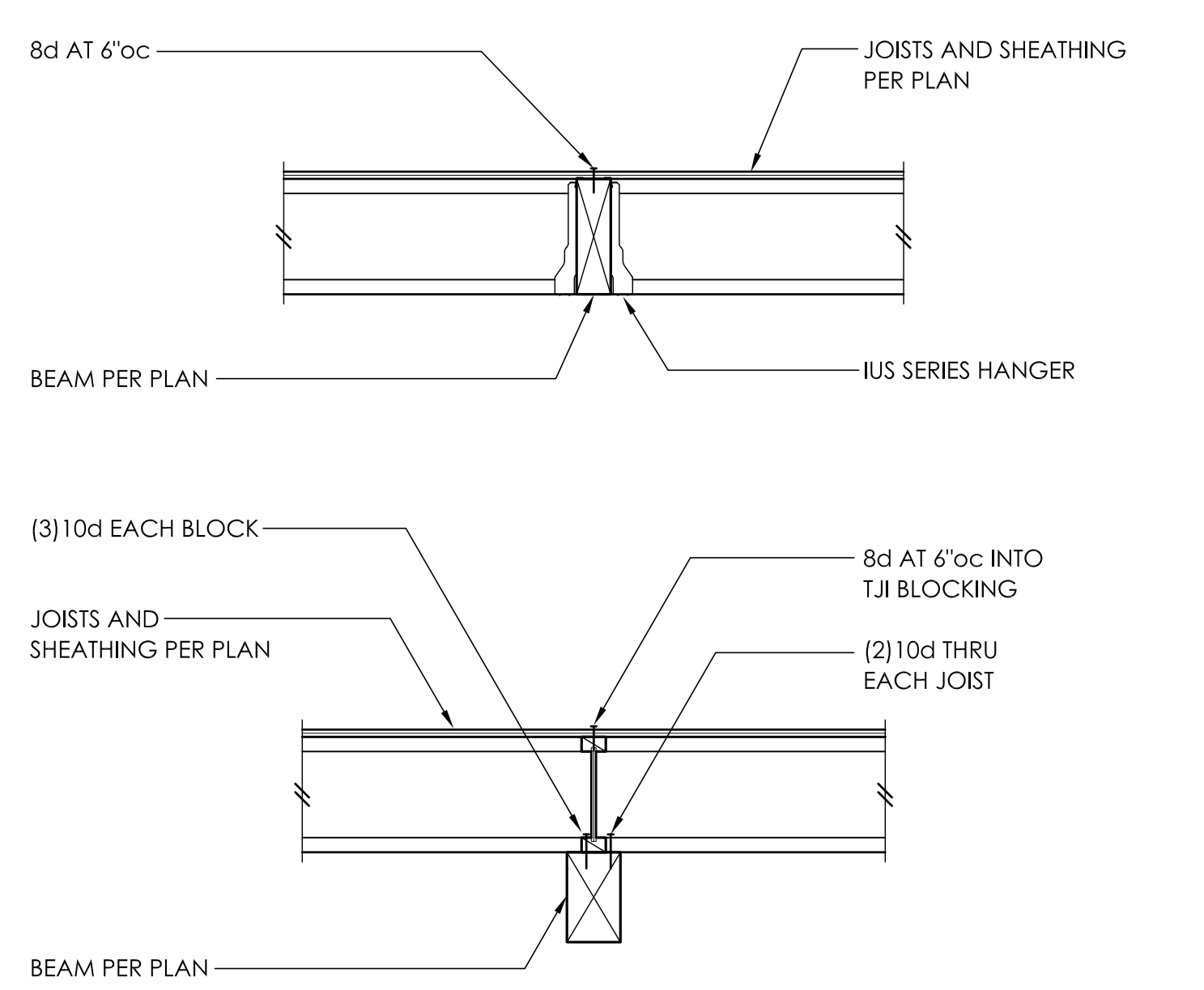


SHEARWALL SCHEDULE ①②③④⑤⑥⑦

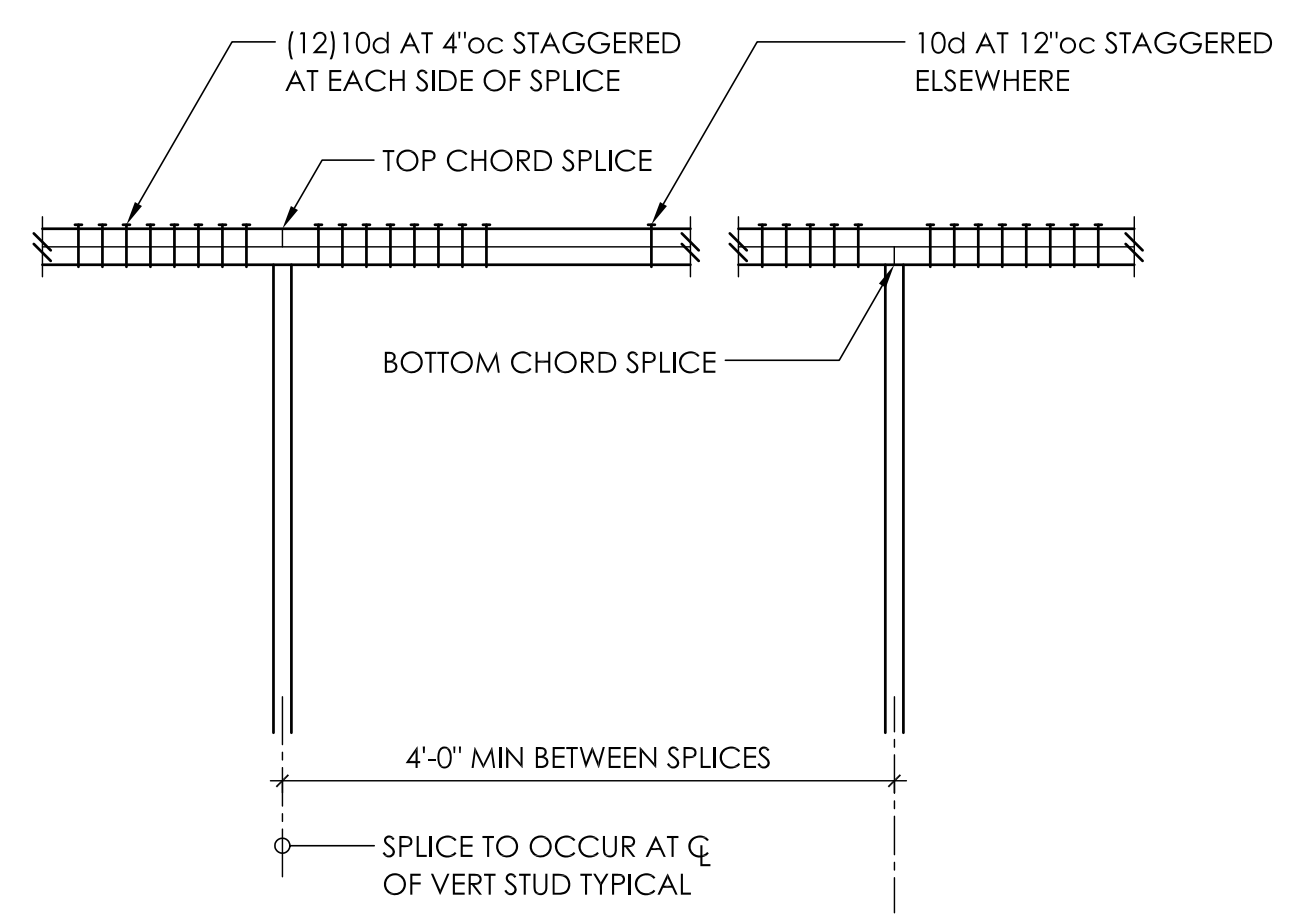
MARK	SHEATHING	PANEL EDGE NAILING	TOP PLATE CONNECTION		BASE PLATE CONNECTION	
			TJI	RIM/BEAM③④	AT WOOD	AT CONCRETE
SW1	1/2" PLY or 7/16" OSB	8d AT 6"oc	10d AT 6"oc	A35 AT 30"oc	12d AT 6"oc	5/8"Ø AB AT 48"oc
SW2	1/2" PLY or 7/16" OSB	8d AT 4"oc	10d AT 4"oc	A35 AT 18"oc	12d AT 4"oc	5/8"Ø AB AT 42"oc
SW3④	1/2" PLY or 7/16" OSB	8d AT 3"oc	(2)ROWS 10d AT 6"oc	A35 AT 16"oc	(2)ROWS 12d AT 6"oc	5/8"Ø AB AT 36"oc
SW4④	1/2" PLY or 7/16" OSB	8d AT 2"oc	(2)ROWS 10d AT 4"oc	A35 AT 12"oc	(2)ROWS 12d AT 4"oc	5/8"Ø AB AT 24"oc

- ① BLOCK PANEL EDGES WITH 2x4 LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d AT 12"oc.
- ② 8d NAILS SHALL BE 0.131"Ø x 2-1/2", 10d NAILS SHALL BE 0.131"Ø x 3", AND 12d NAILS SHALL BE 0.131"Ø x 3-1/4".
- ③ EMBED ANCHOR BOLTS AT LEAST 7". ALL BOLTS SHALL HAVE 3" x 3" x 0.229" PLATE WASHERS. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING.
- ④ 3x STUDS OR DBL STUDS NAILED TOGETHER w/ 10d NAILING IS REQD AT ABUTTING PANEL EDGES OF SW3 AND SW4. REFER TO DETAIL C. WHERE 3x STUDS ARE USED, STAGGER NAILS AT ADJOINING PANEL EDGES.
- ⑤ TWO STUDS MINIMUM OR POST PER PLAN ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING.
- ⑥ ALL EXTERIOR WALLS SHALL BE SW1, UNLESS NOTED OTHERWISE.
- ⑦ NAILS SHALL NOT BE SPACED LESS THAN 3/8" FROM EDGES OF SHEATHING. SHEATHING NAILS SHALL BE DRIVEN SO THEIR HEADS ARE FLUSH WITH SHEATHING (NOT COUNTERSUNK).
- ⑧ LTP4's INSTALLED OVER SHEATHING WITH 8d (0.131"Ø x 2-1/2") NAILS MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- ⑨ A35's OR LTP4's MAY BE ELIMINATED PER DETAIL A OR DETAIL B.

4

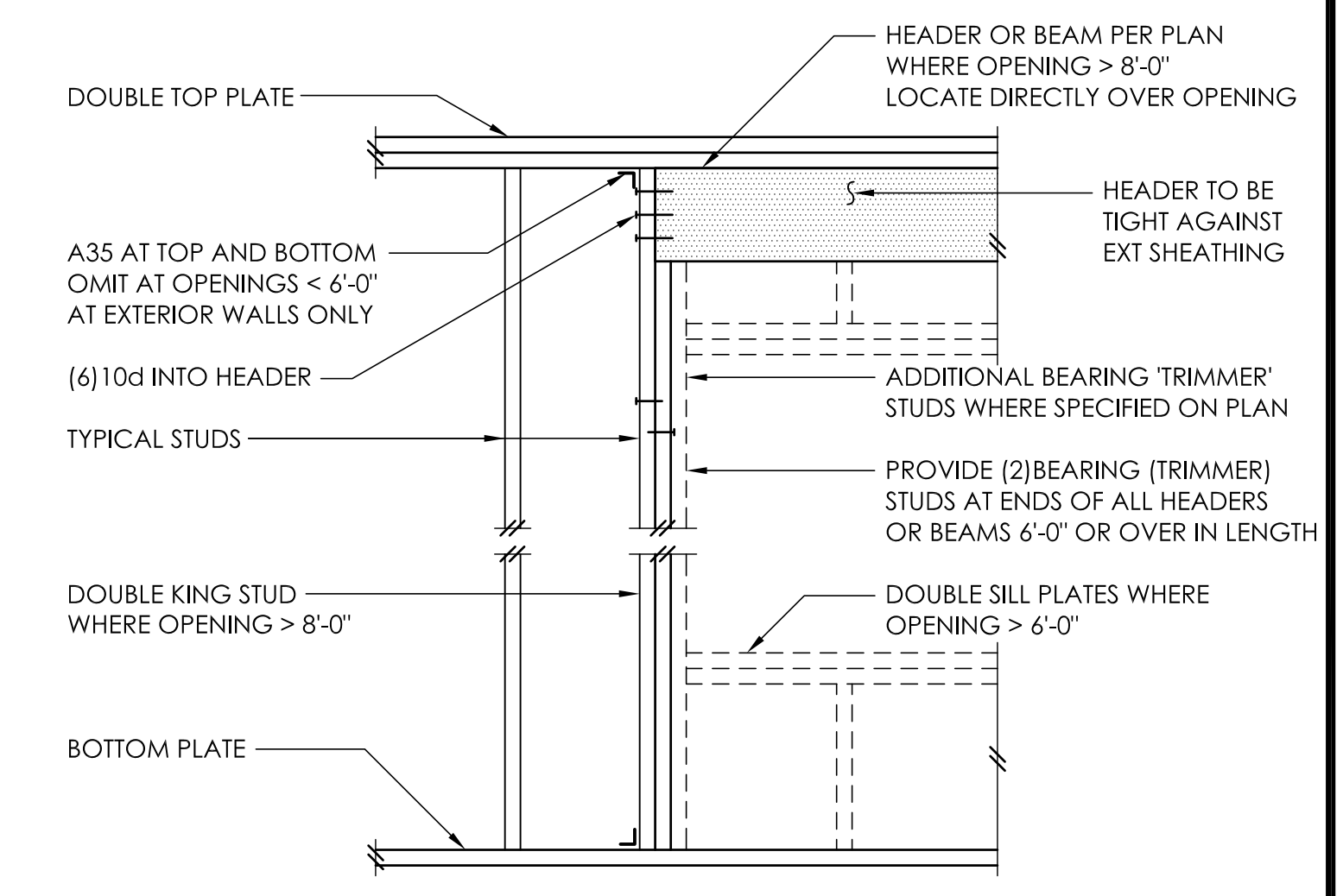


TYPICAL FLUSH AND DROPPED BEAM 5 6

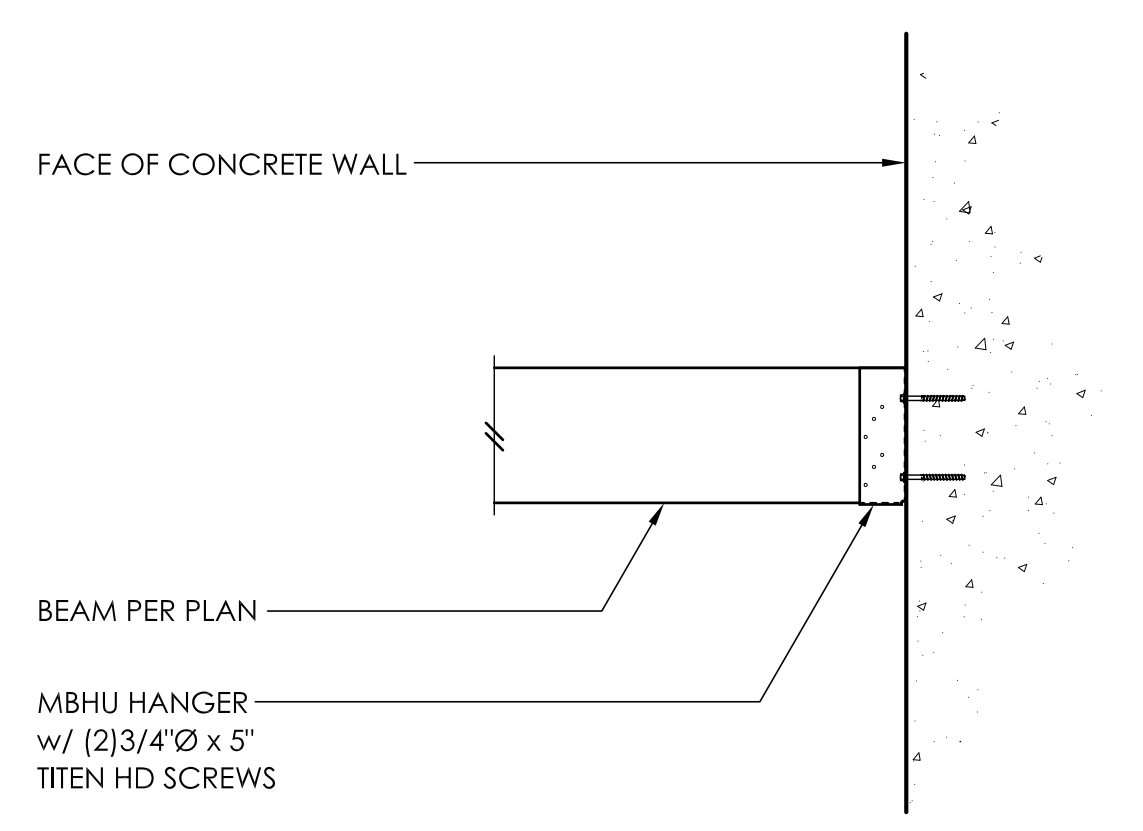


- NOTE:
- 1. NAILING AT TOP PLATE SPLICES MAY BE ELIMINATED w/ CS16 x 30"
 - 2. WHERE VERTICAL PENETRATIONS THRU PLATE EXCEED 1" FOR A 4x WALL OR 3" FOR A 6x WALL - PROVIDE CS16 x 30" AT TOP PLATE
 - 3. MINIMUM EDGE DISTANCE FOR VERTICAL PENETRATIONS THRU TOP PLATE IS 1-1/4"

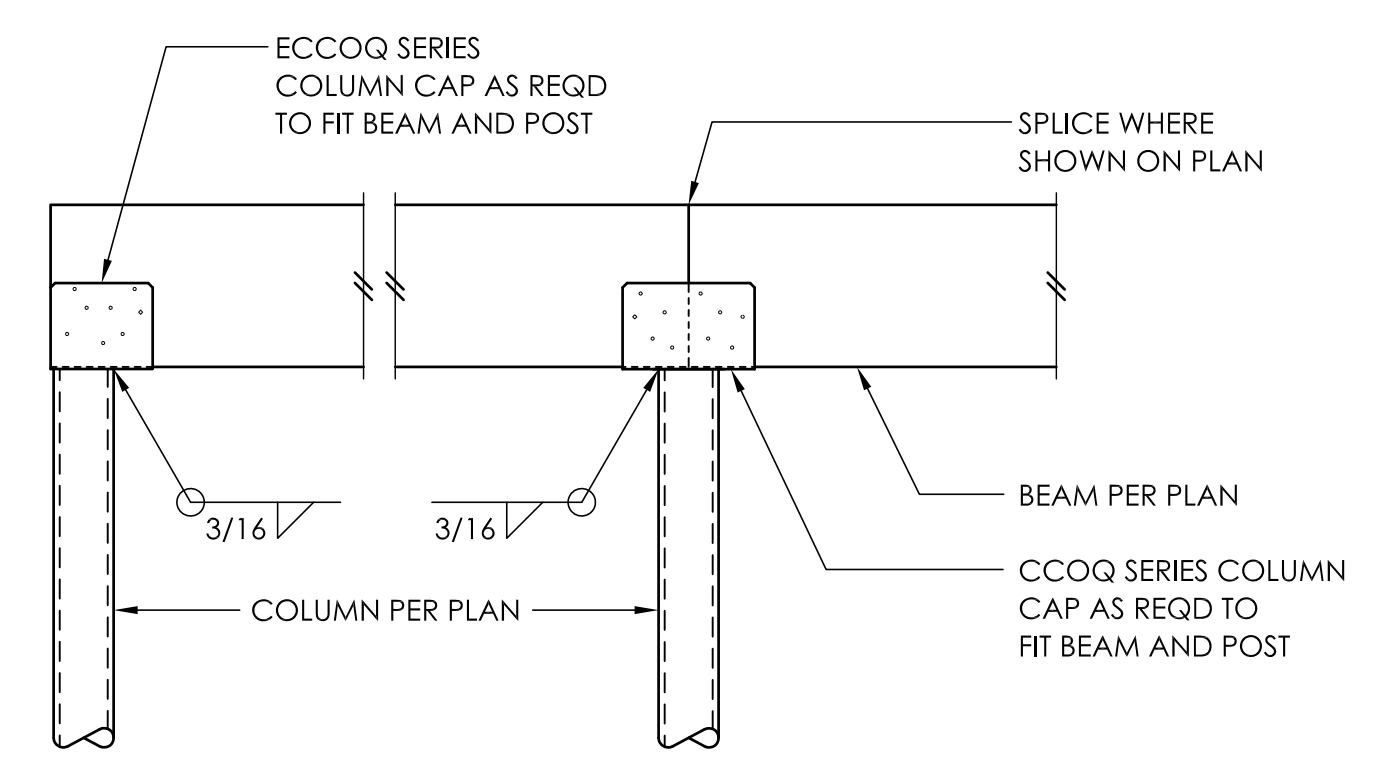
TYPICAL TOP PLATE SPLICE AT SHEARWALLS 7



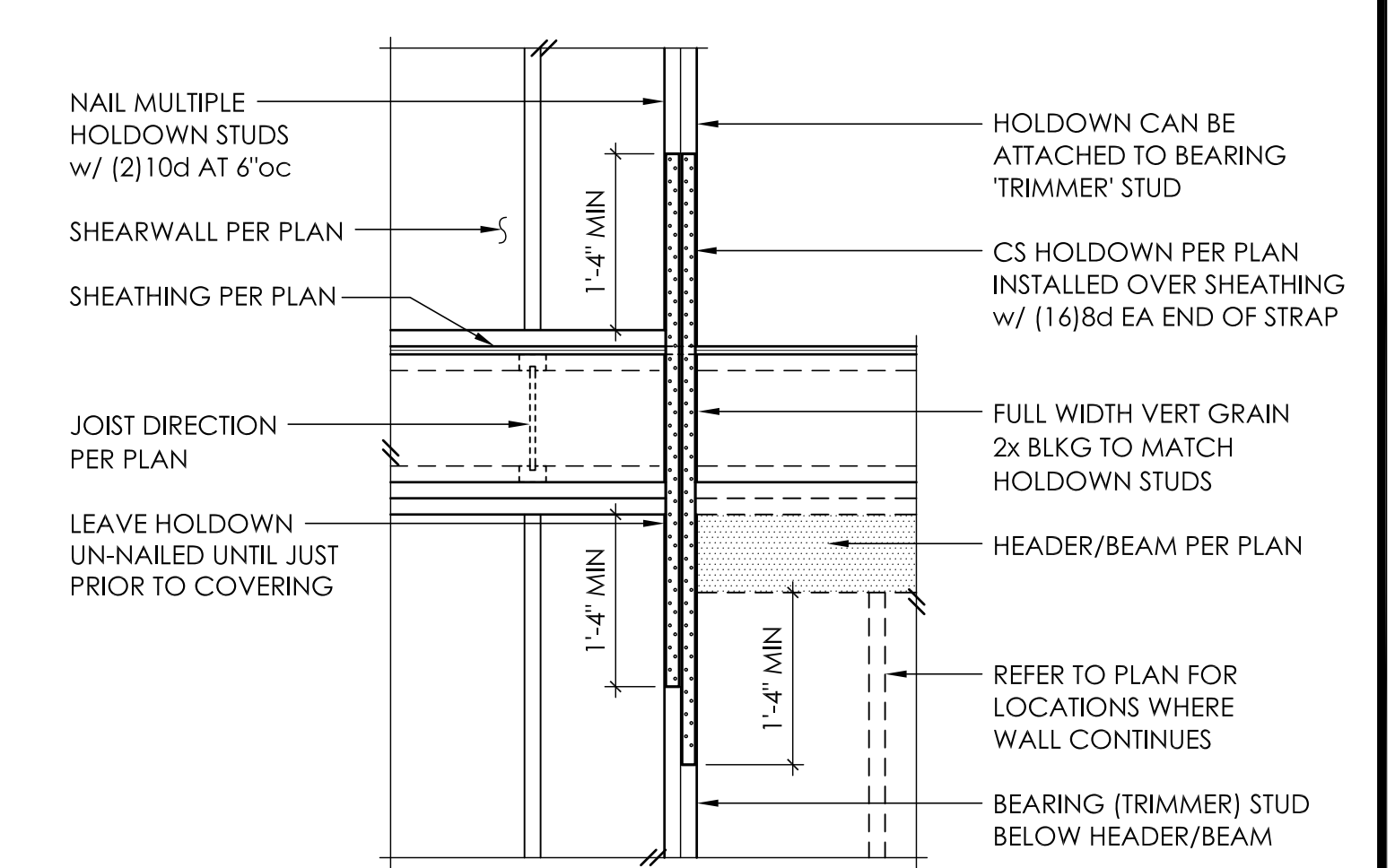
TYPICAL HEADER SUPPORT 8



9



TYPICAL CCOQ / ECCOQ COLUMN CAP 10



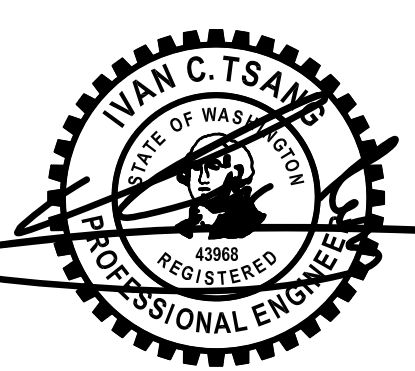
TYPICAL CS16 HOLDOWN 11



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ENGINEER SKH WAI
DRAWN RAP
PROJECT NO 0285.2014.01.01

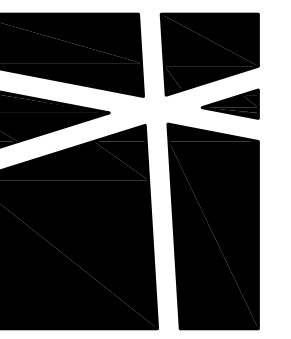
PERMIT SET 2.5.15
REV DESCRIPTION DATE

TYPICAL WOOD FRAMING DETAILS

SCALE - 3/4" = 1'-0"

S4.0

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Printed Date: 04/04/2015 - 5:34pm



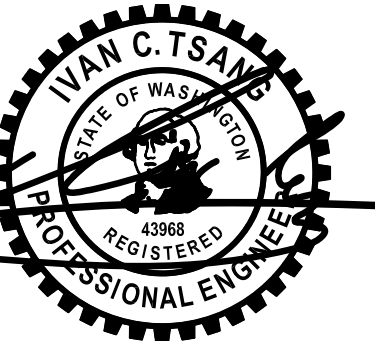
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DRAWN: SKH WAI
PROJECT NO: 0285.2014.01.01

PERMIT SET
2.5.15

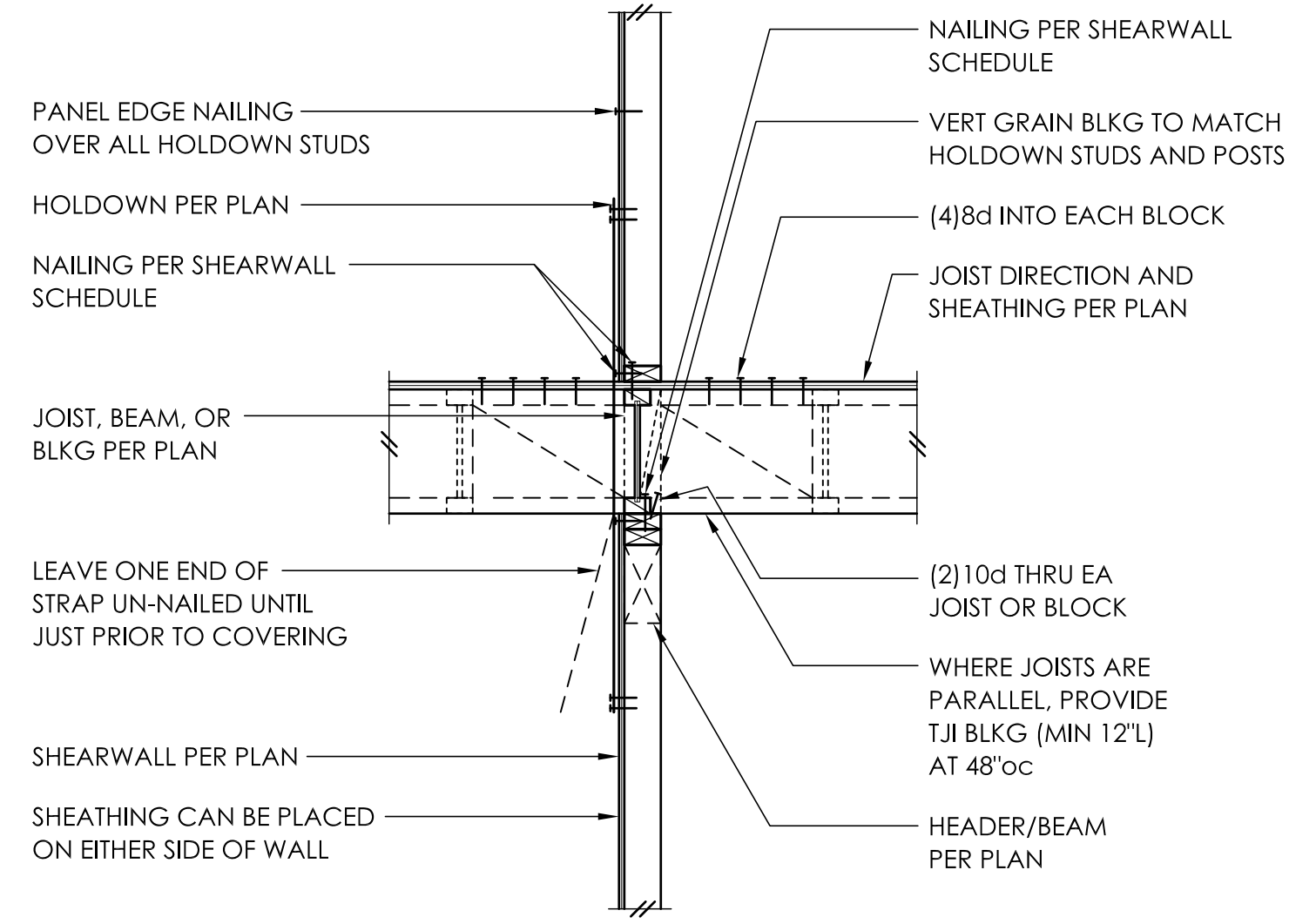
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**WOOD FRAMING
DETAILS**

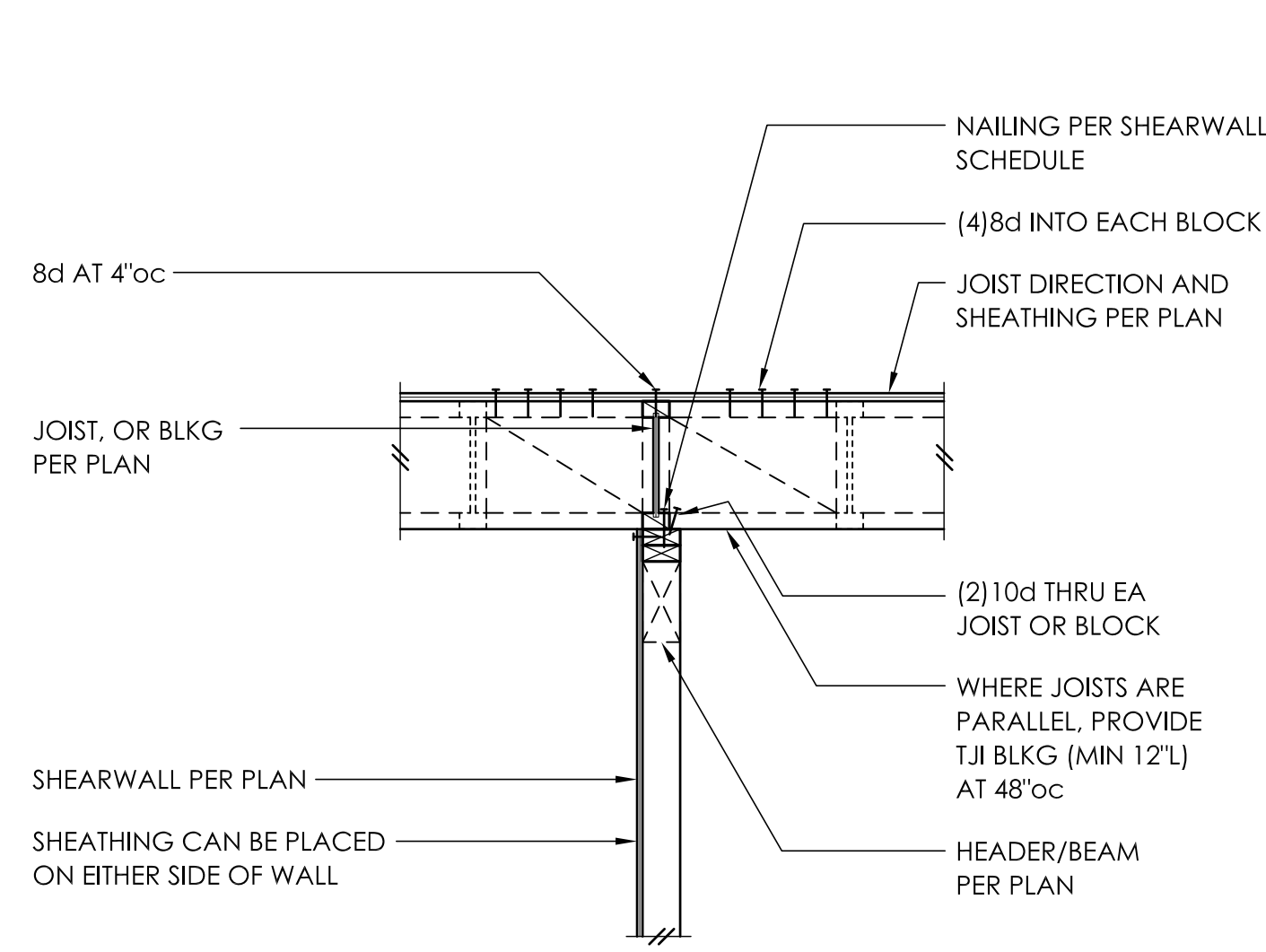
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S4.1

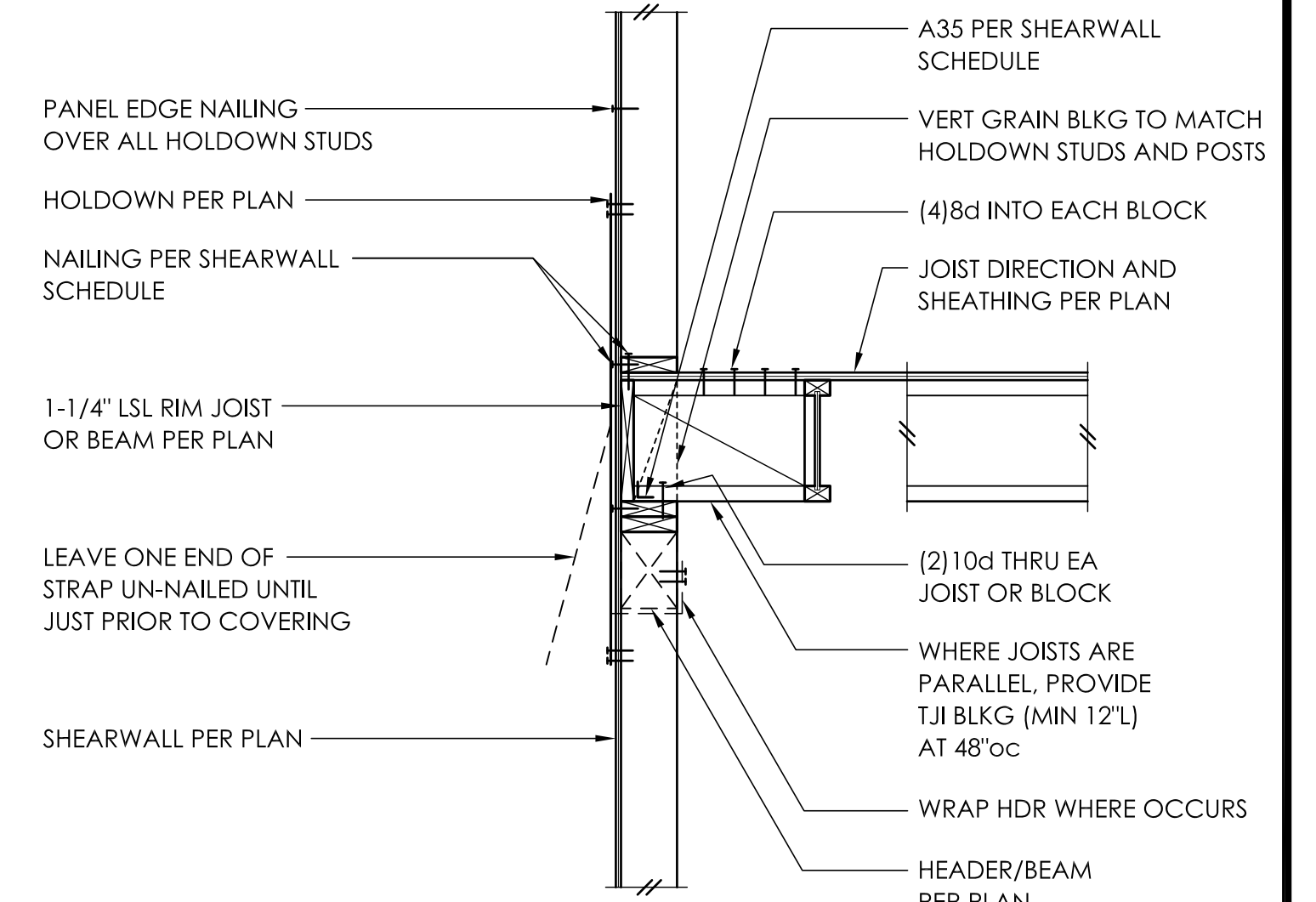
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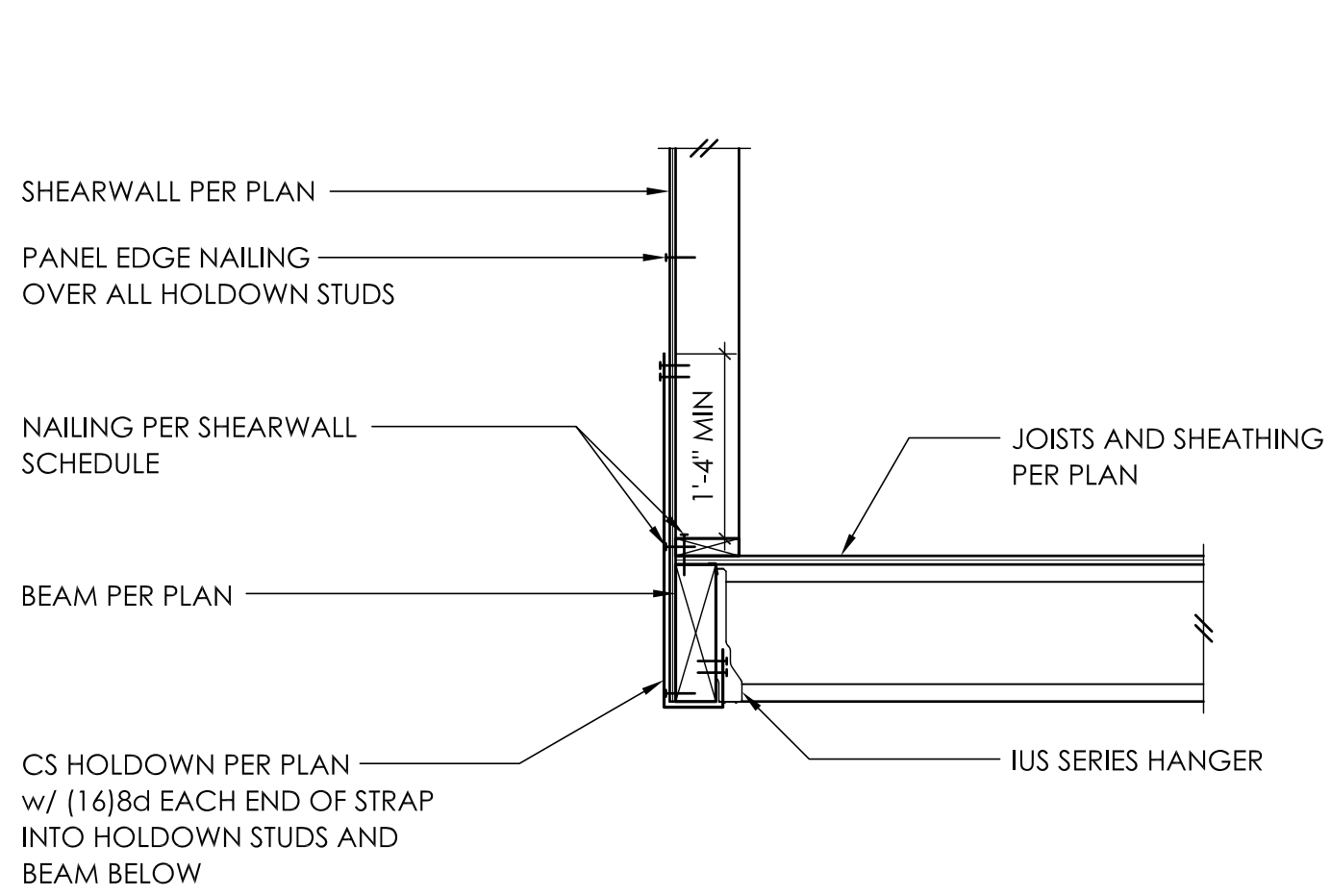
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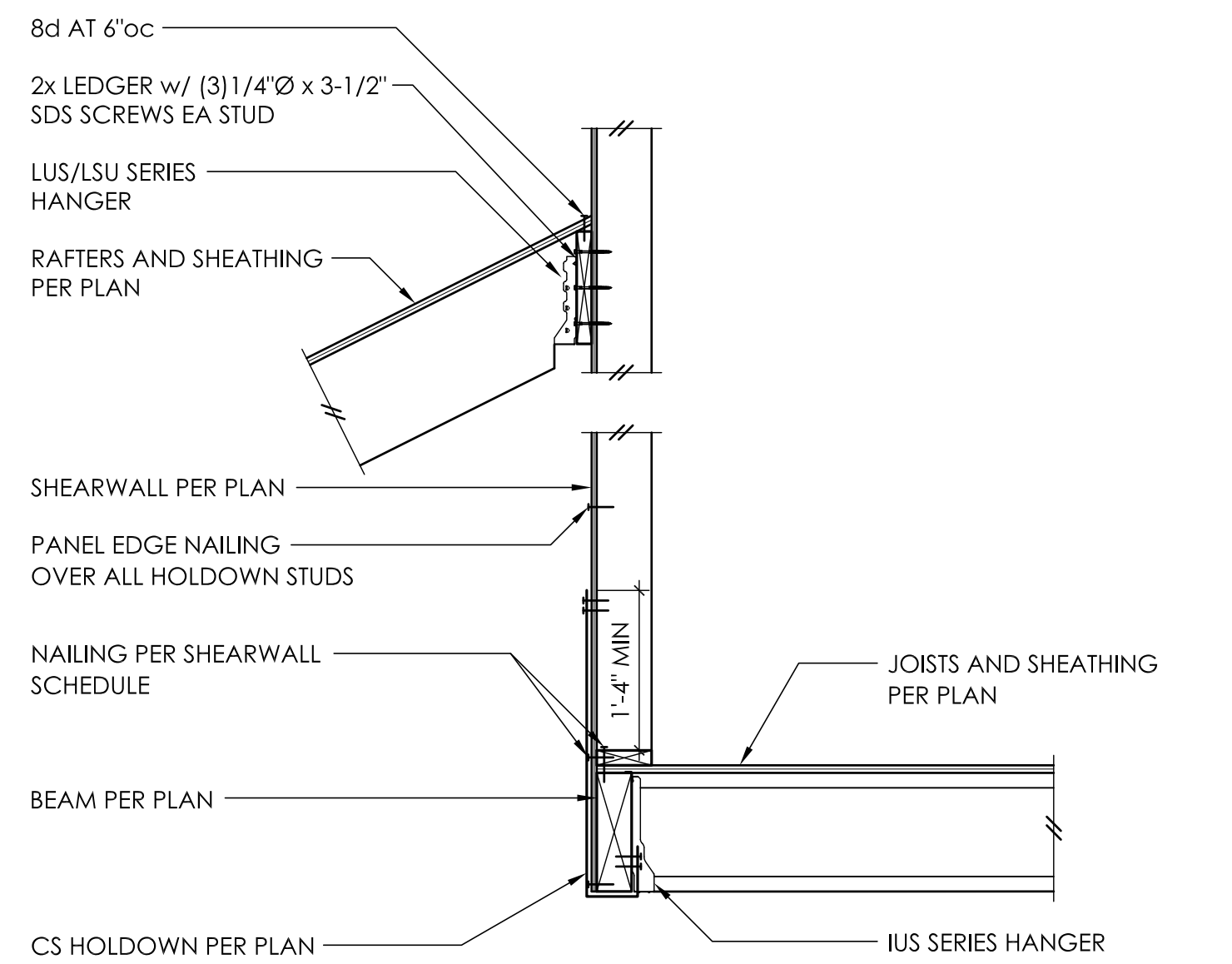
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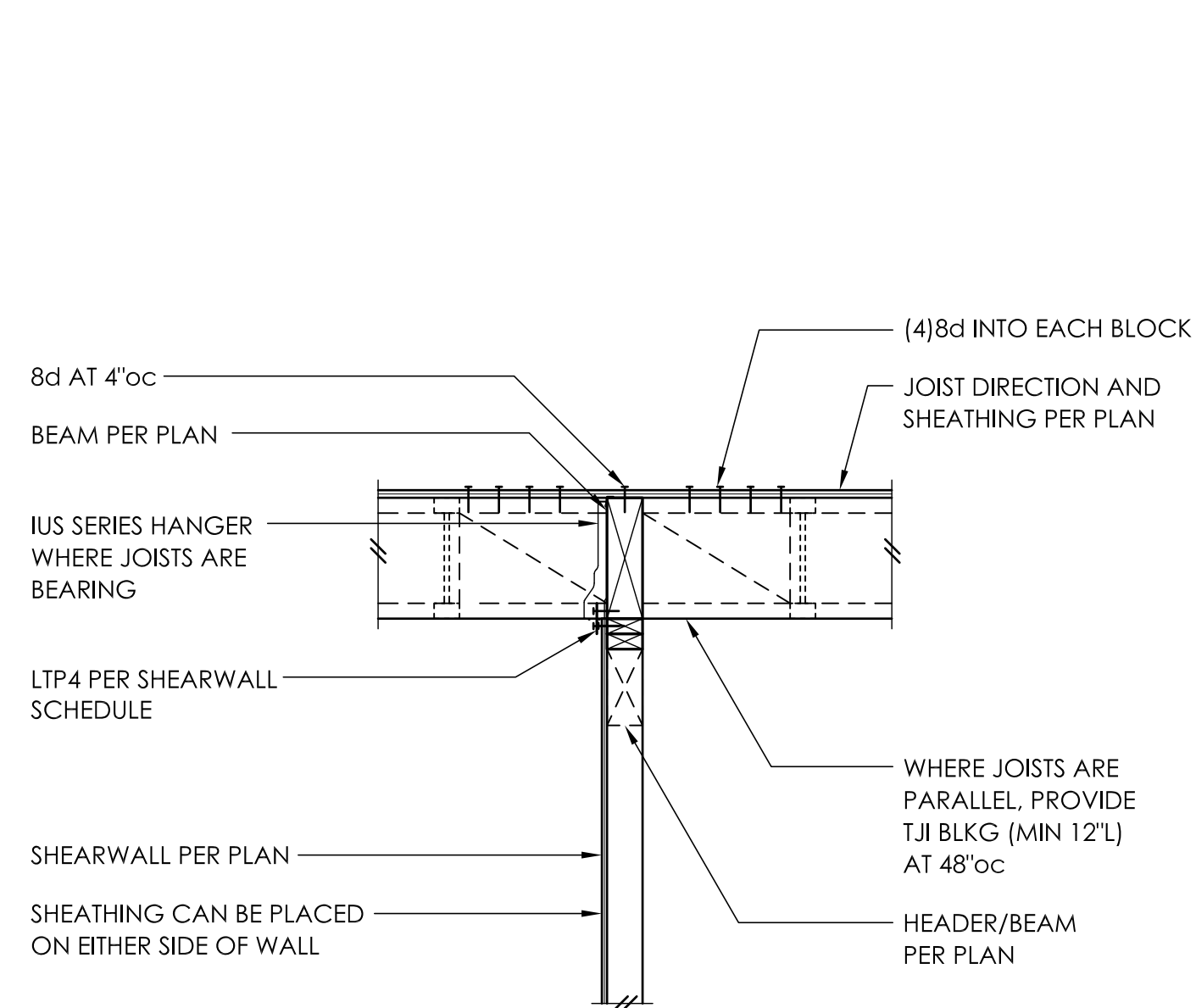
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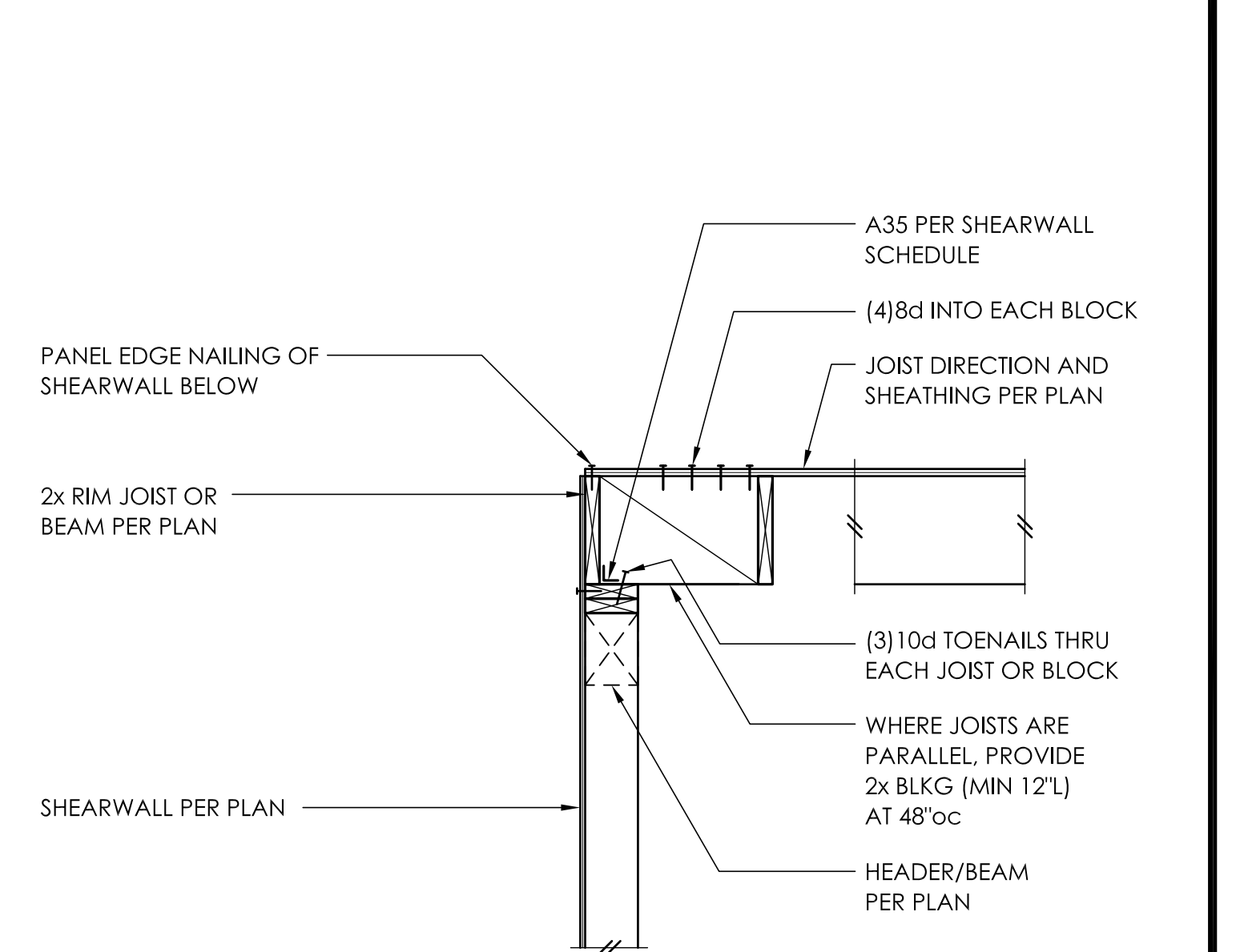
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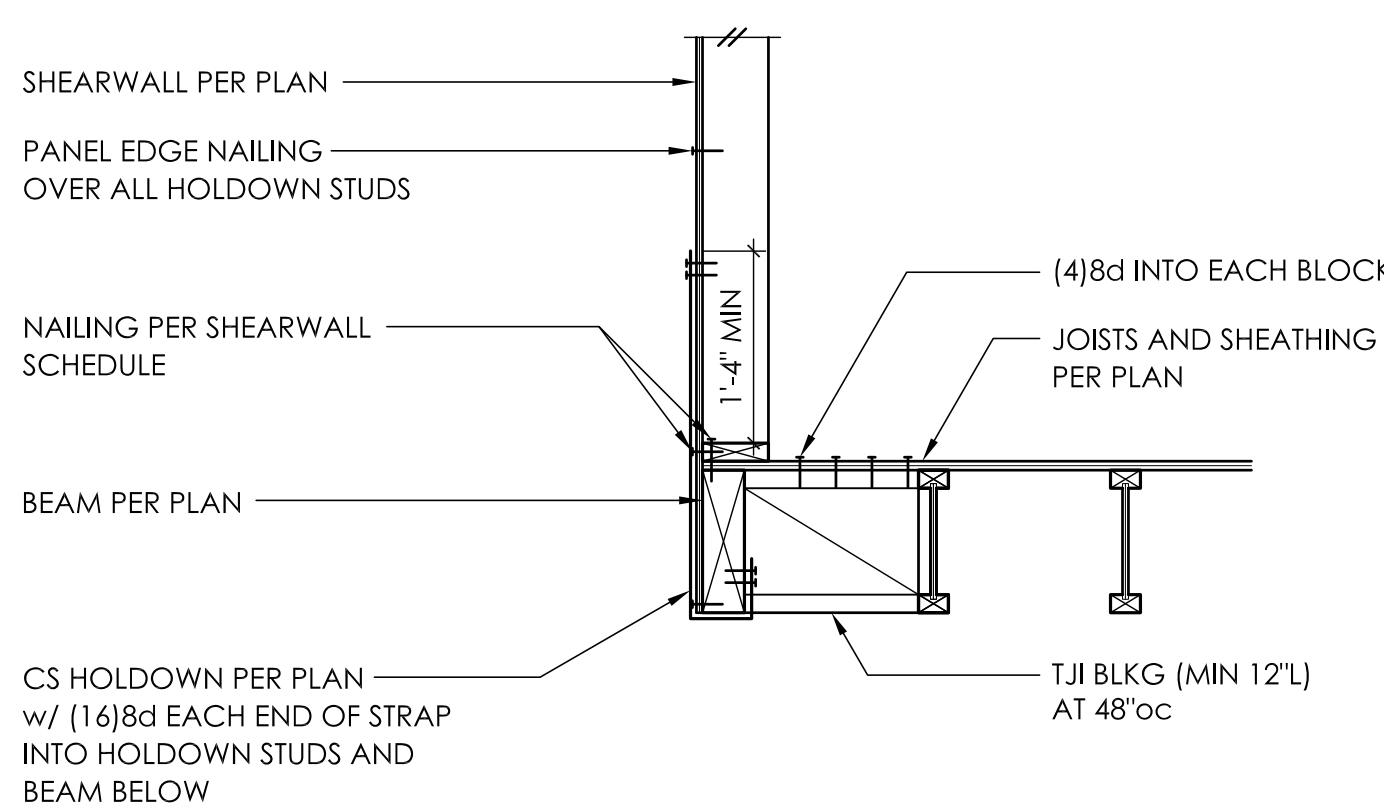
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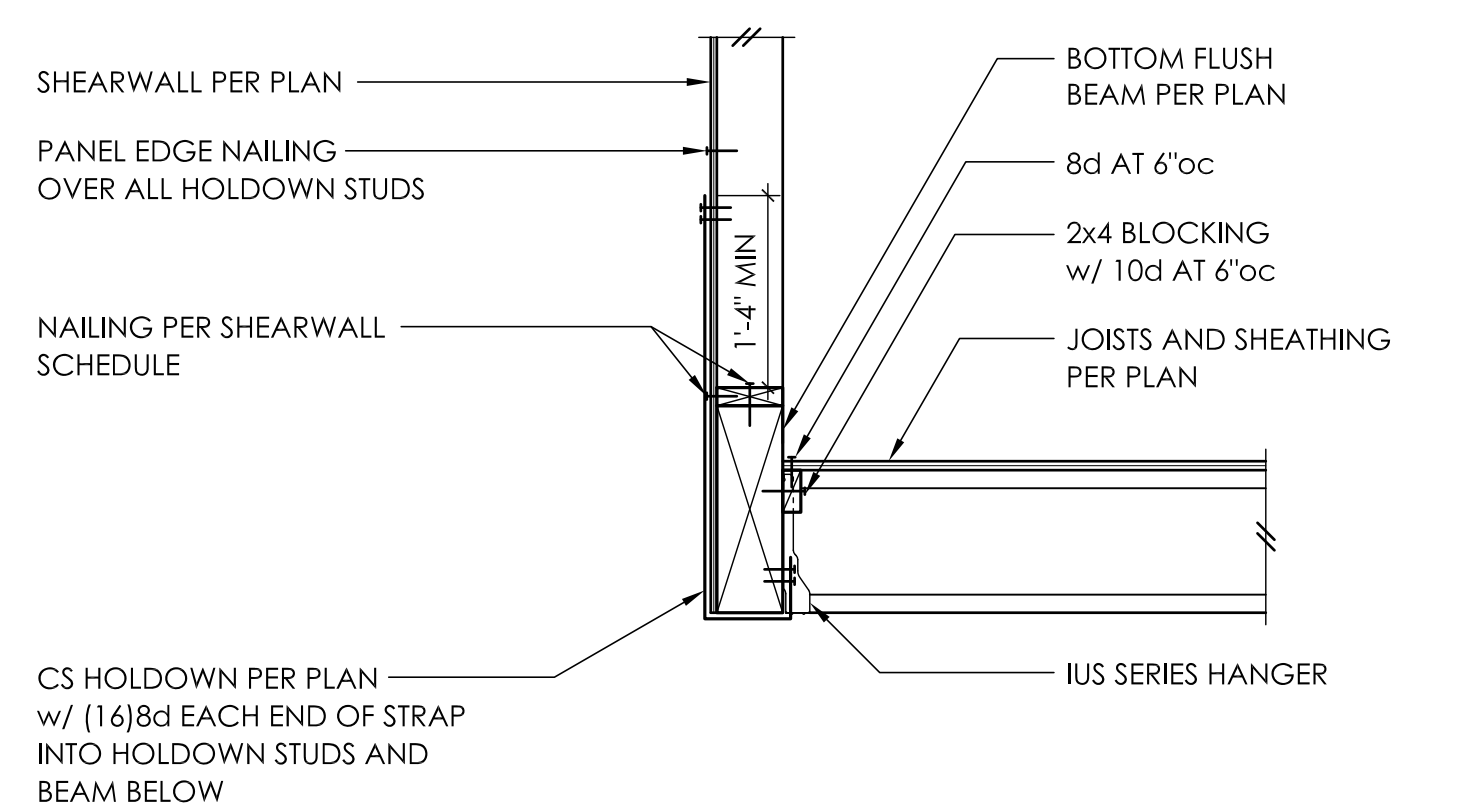
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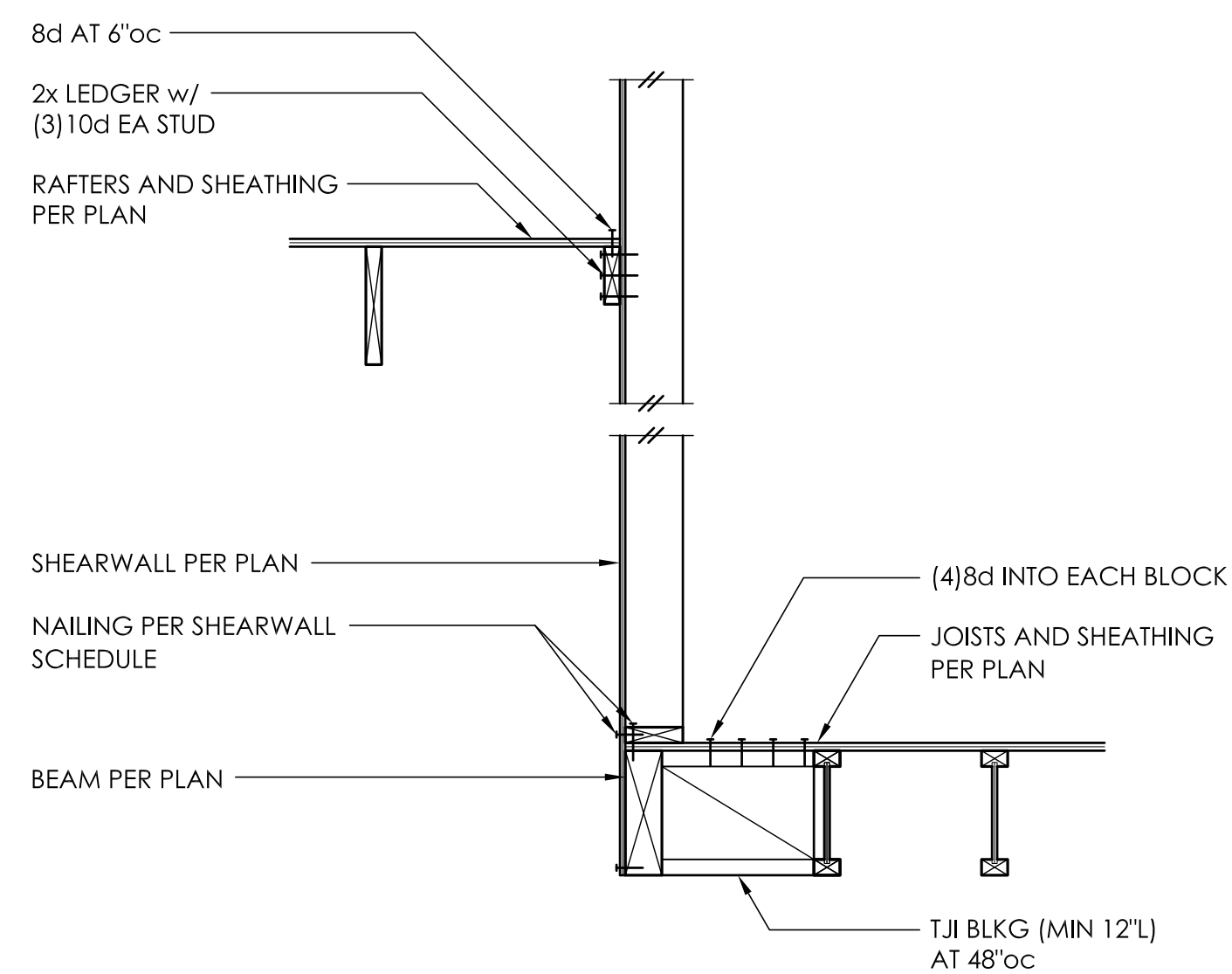
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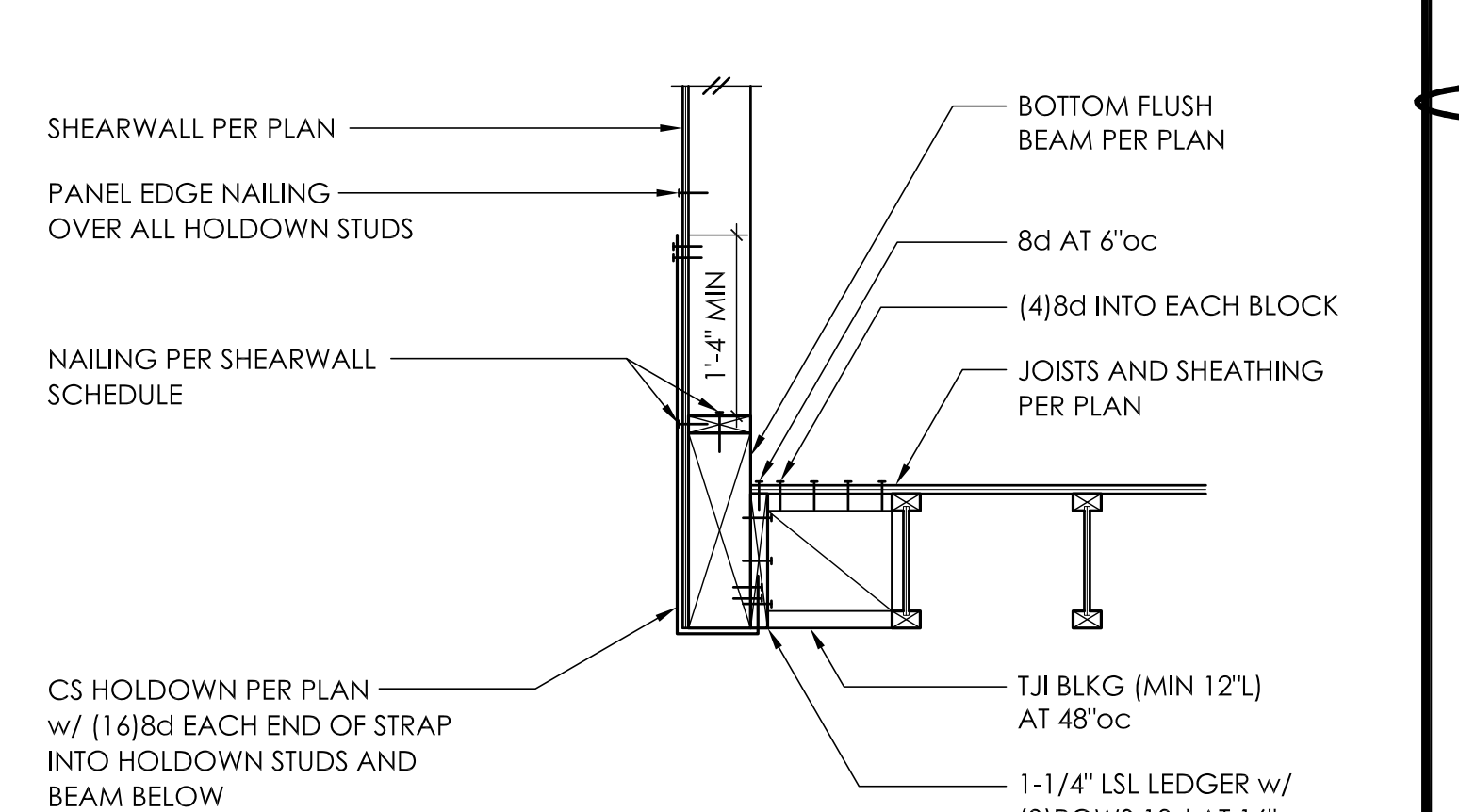
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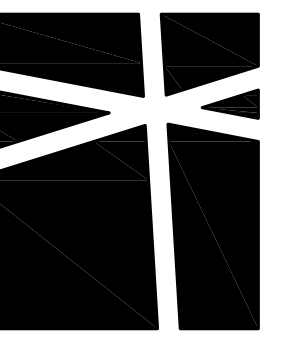


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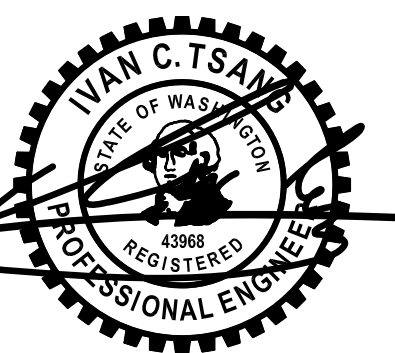
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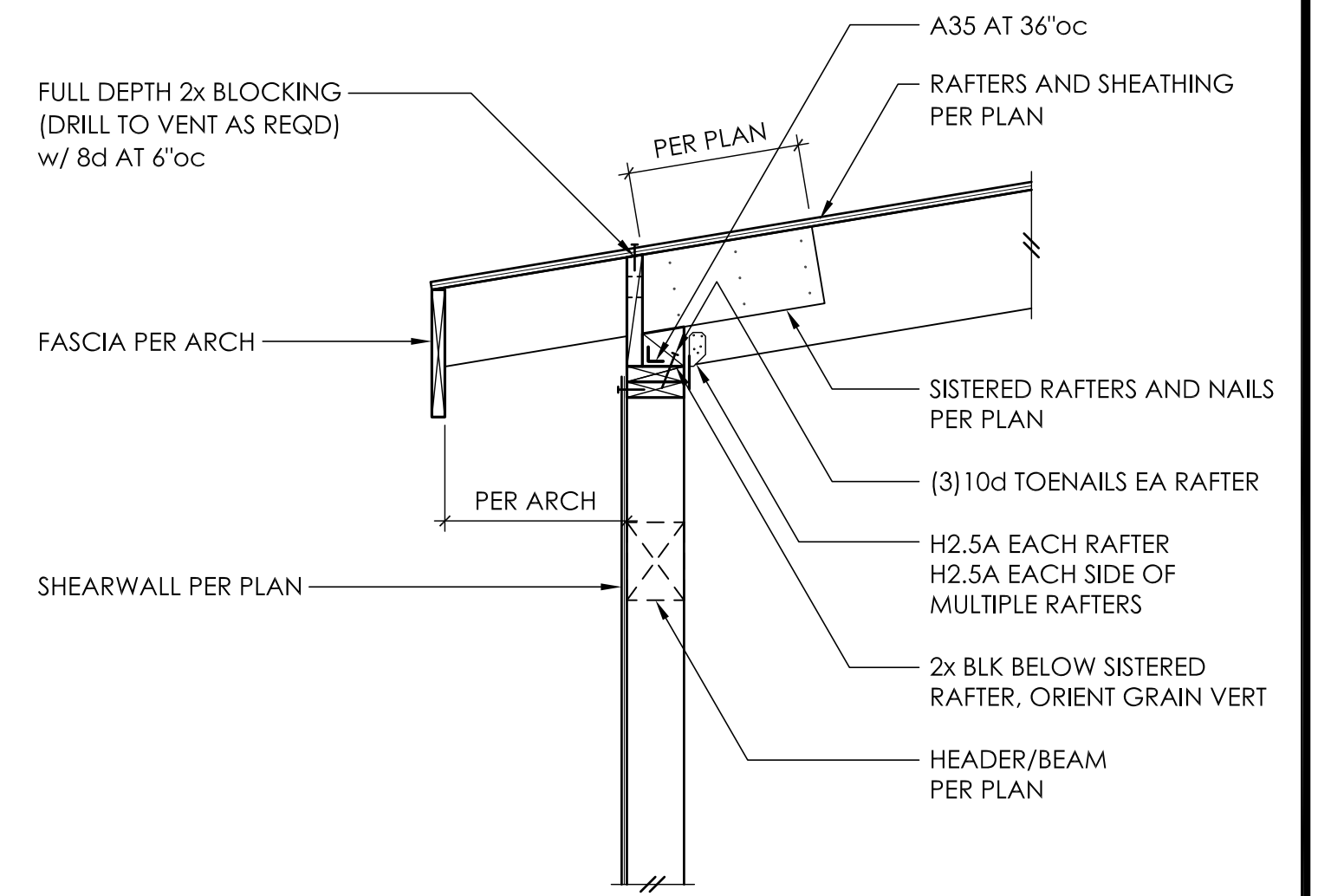
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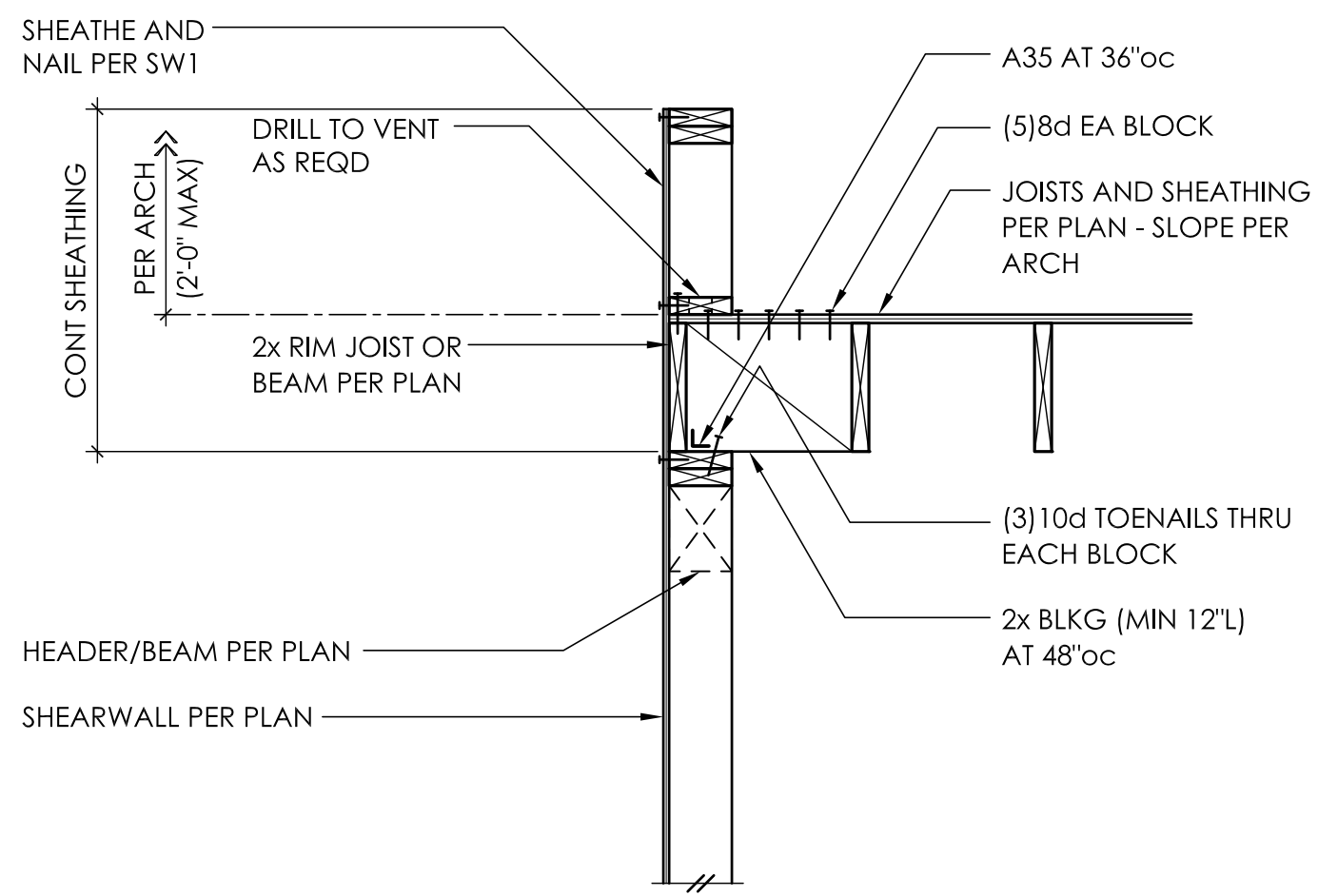
**WOOD FRAMING
DETAILS**

SCALE - 3/4" = 1'-0"

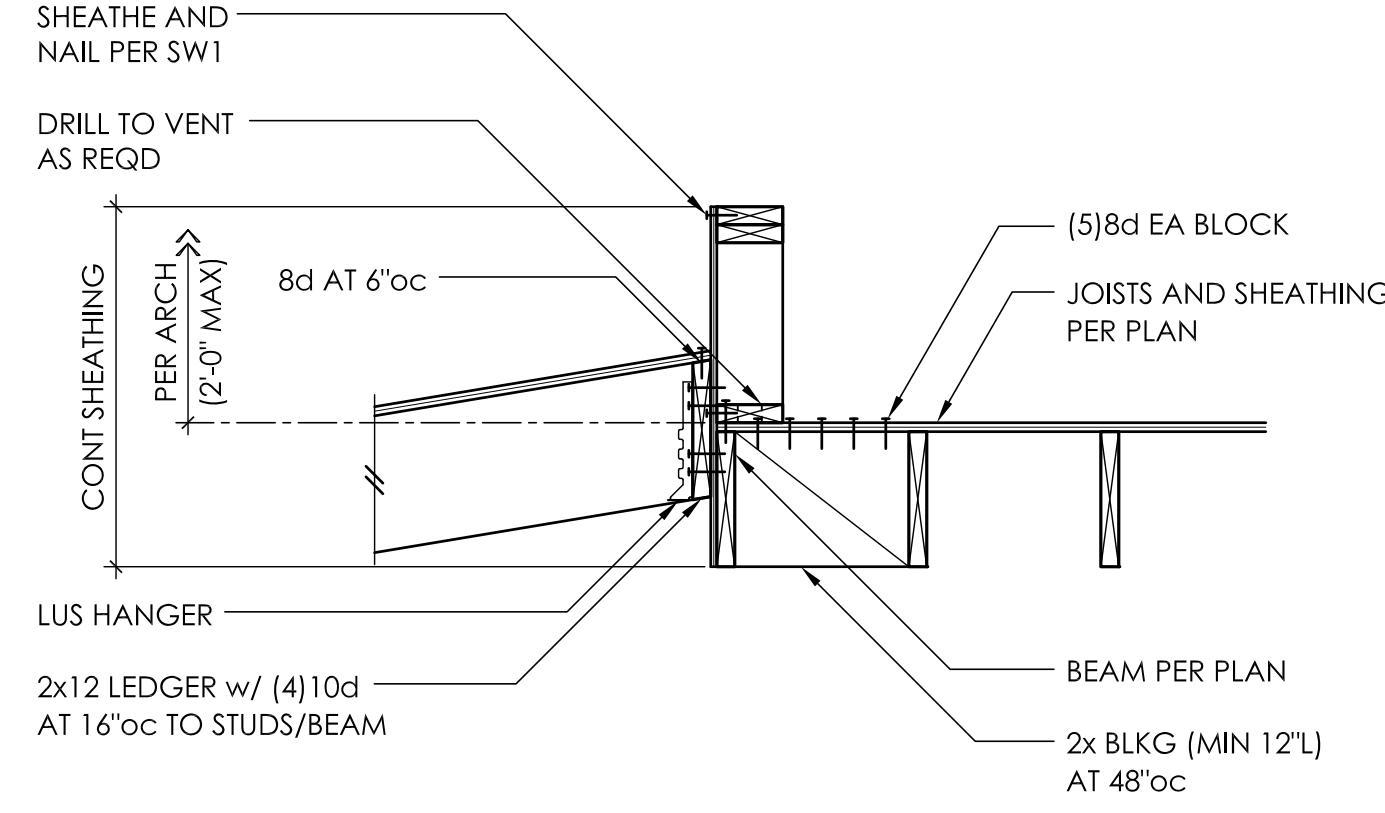
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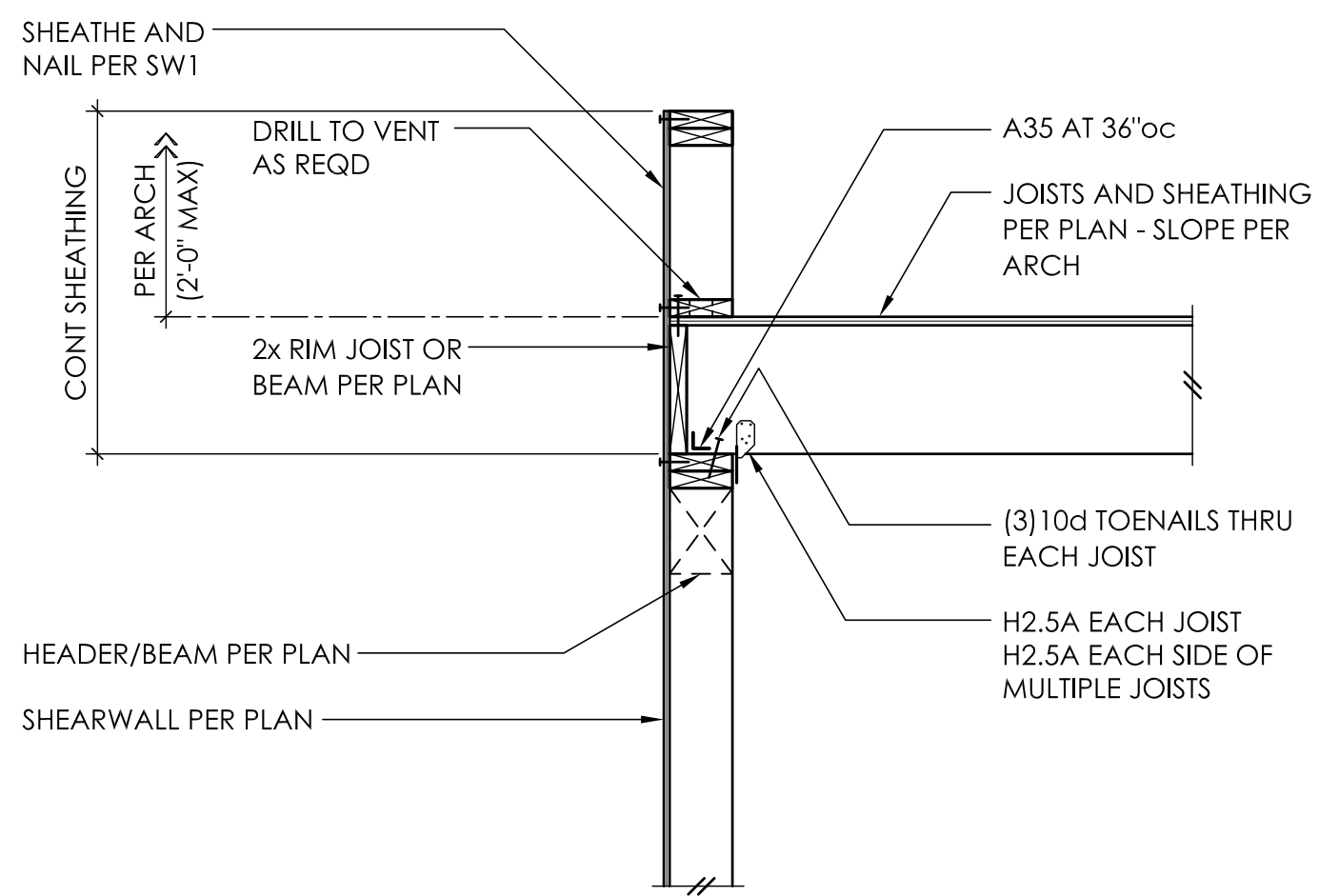
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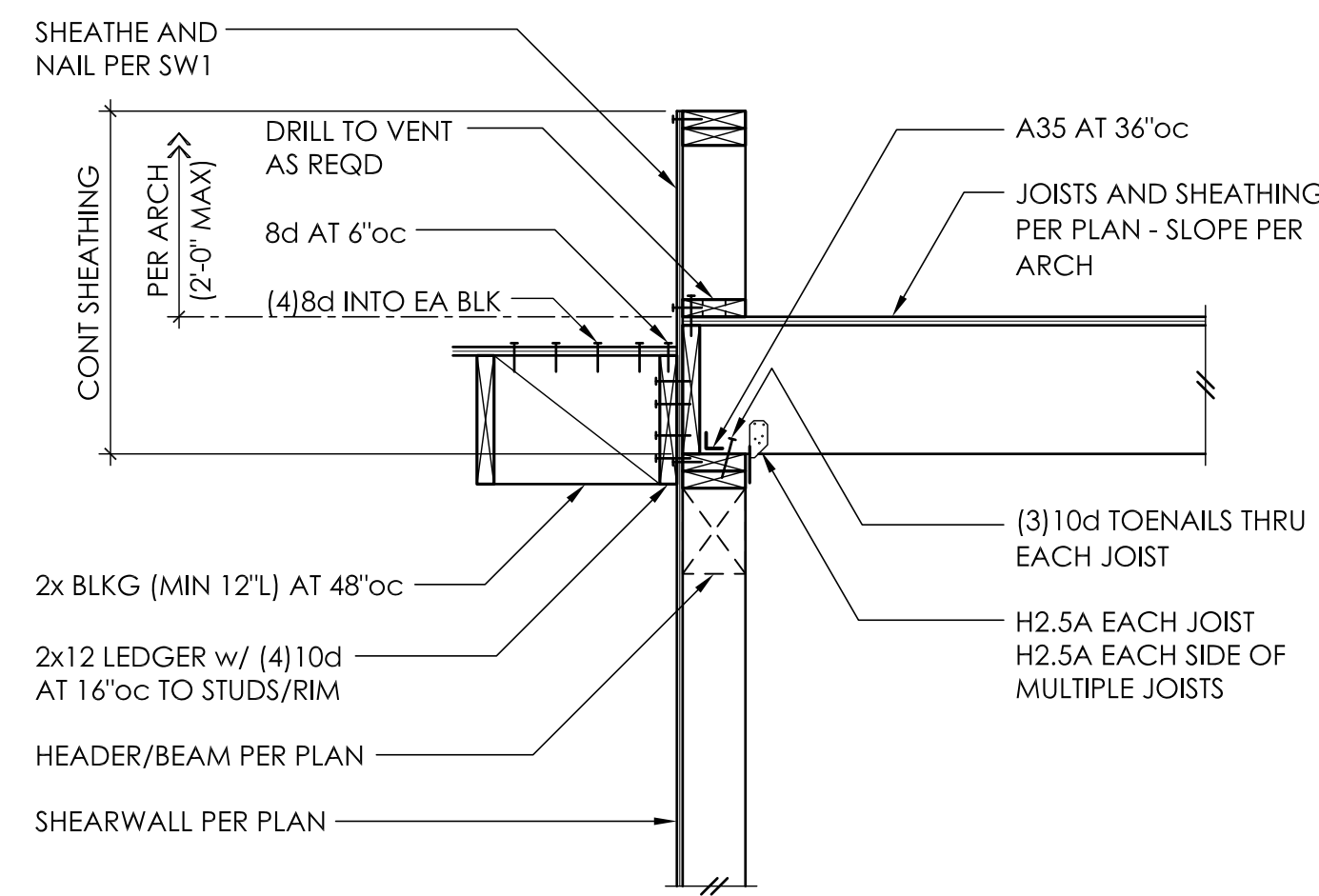
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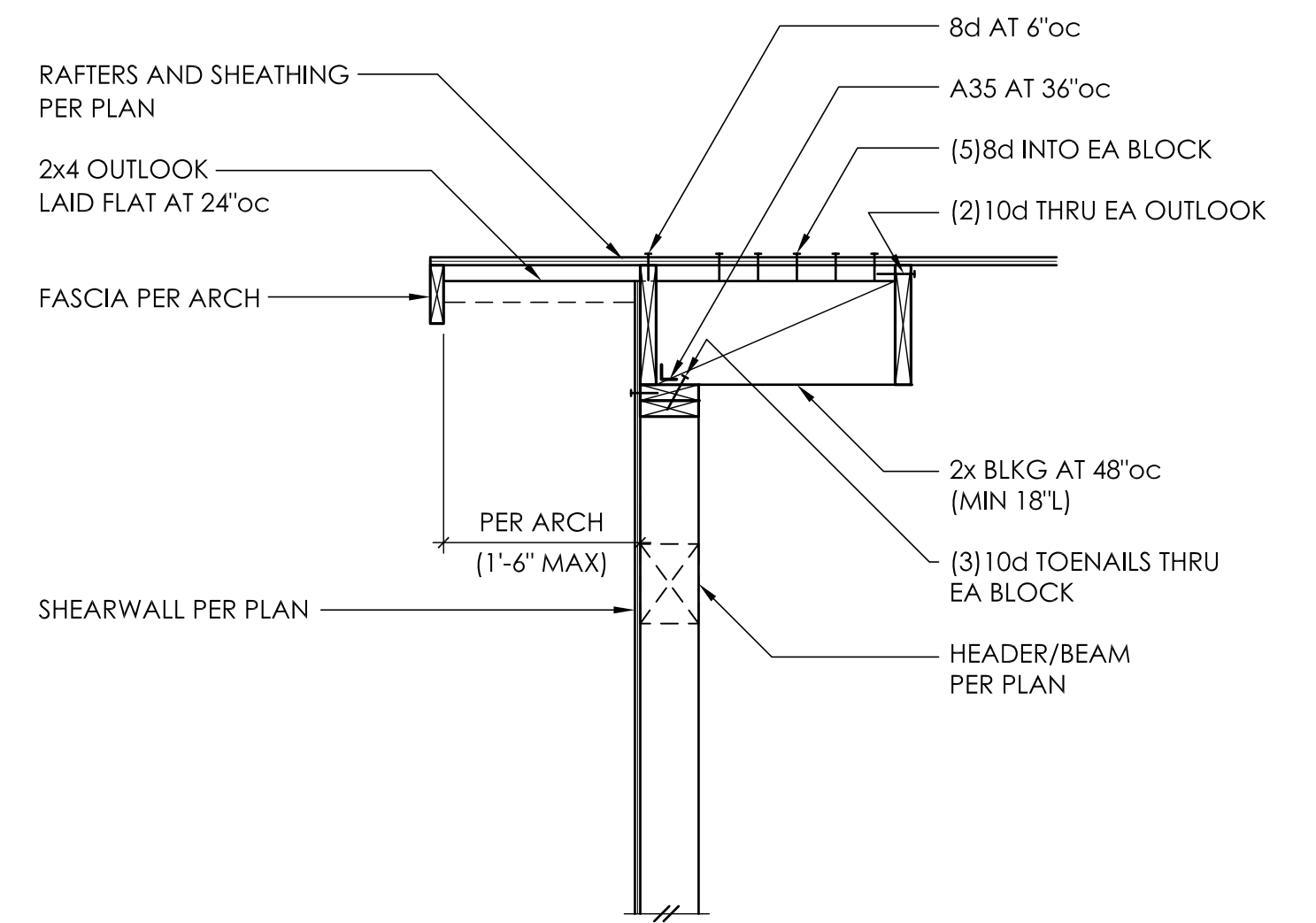
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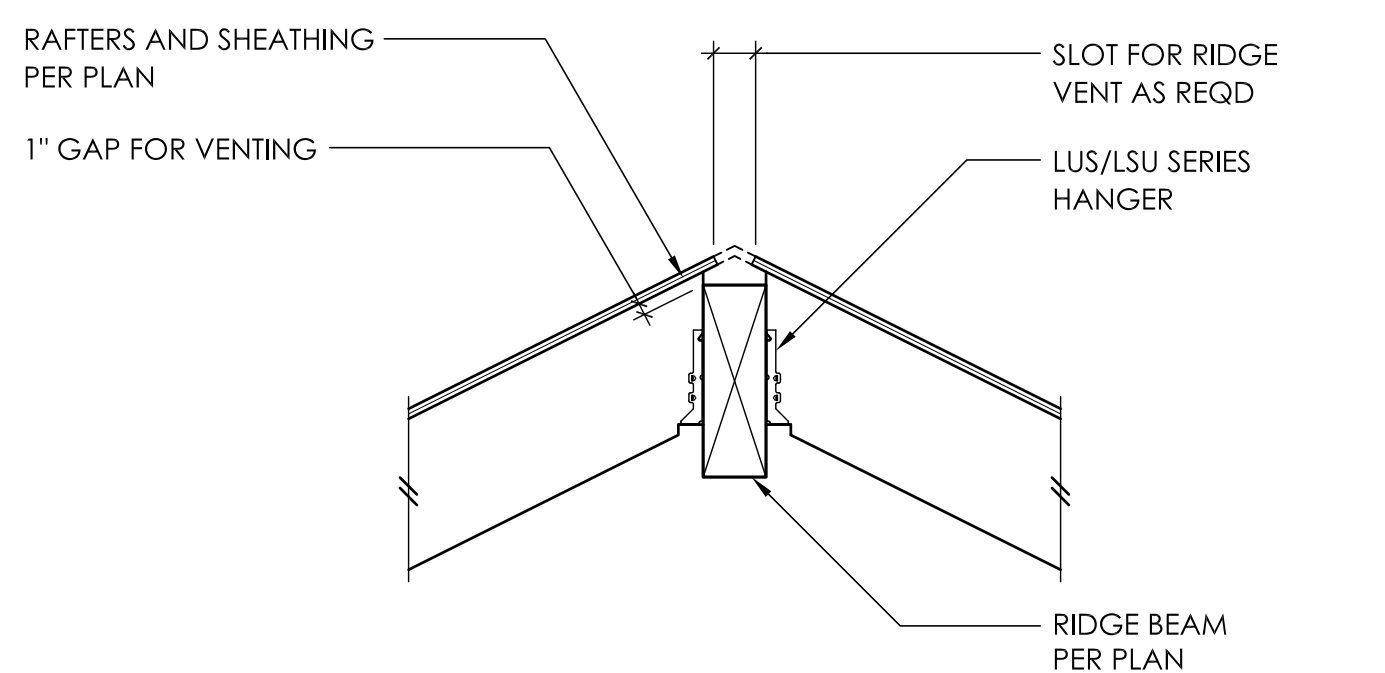
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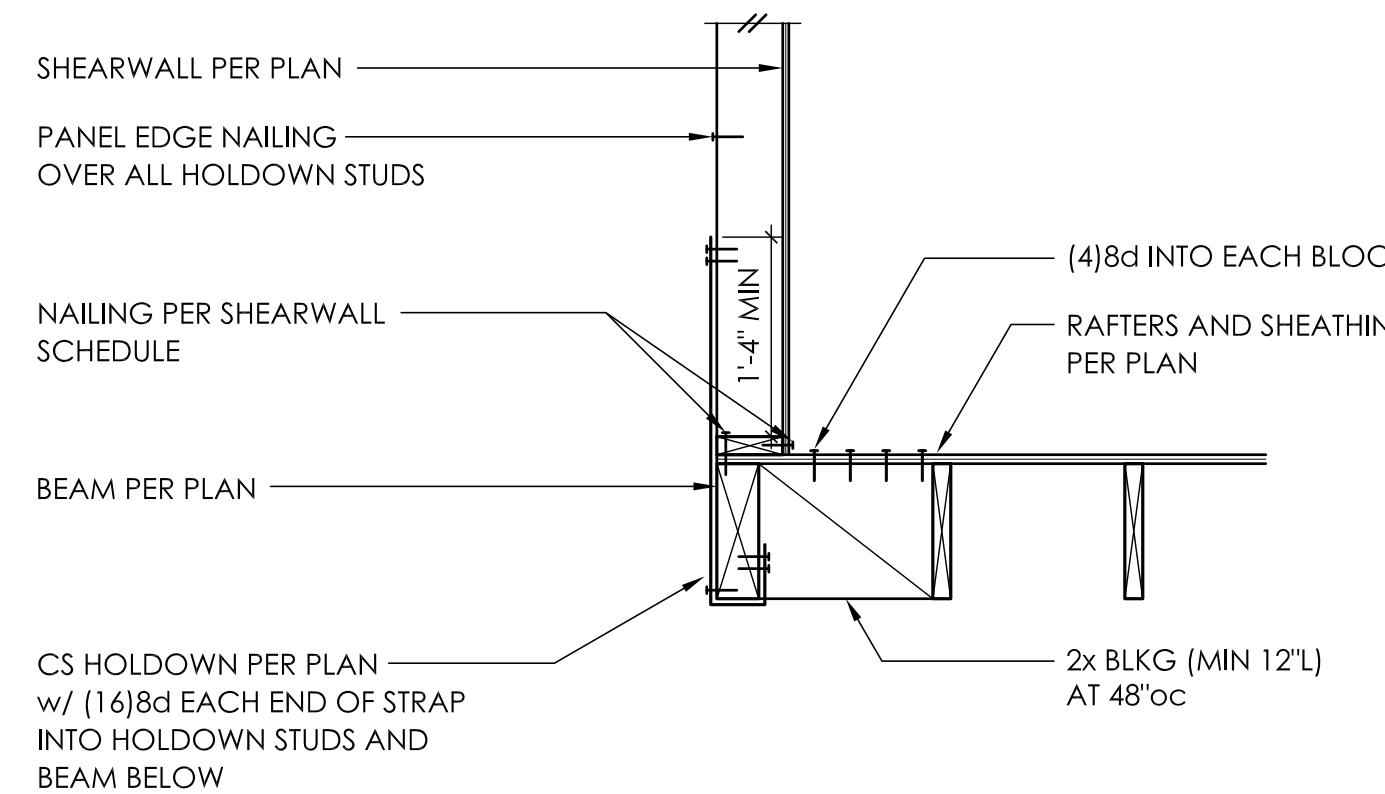
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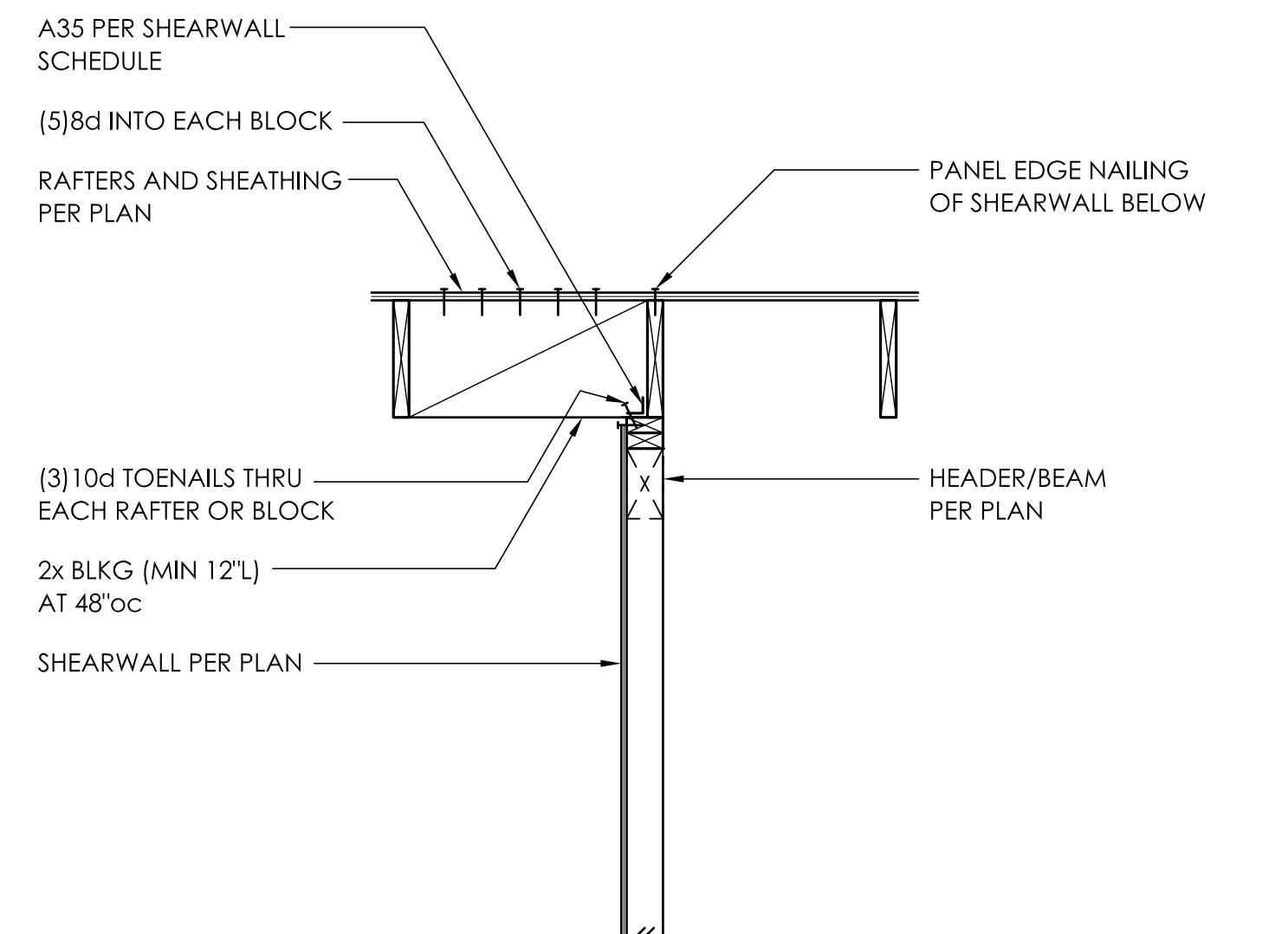
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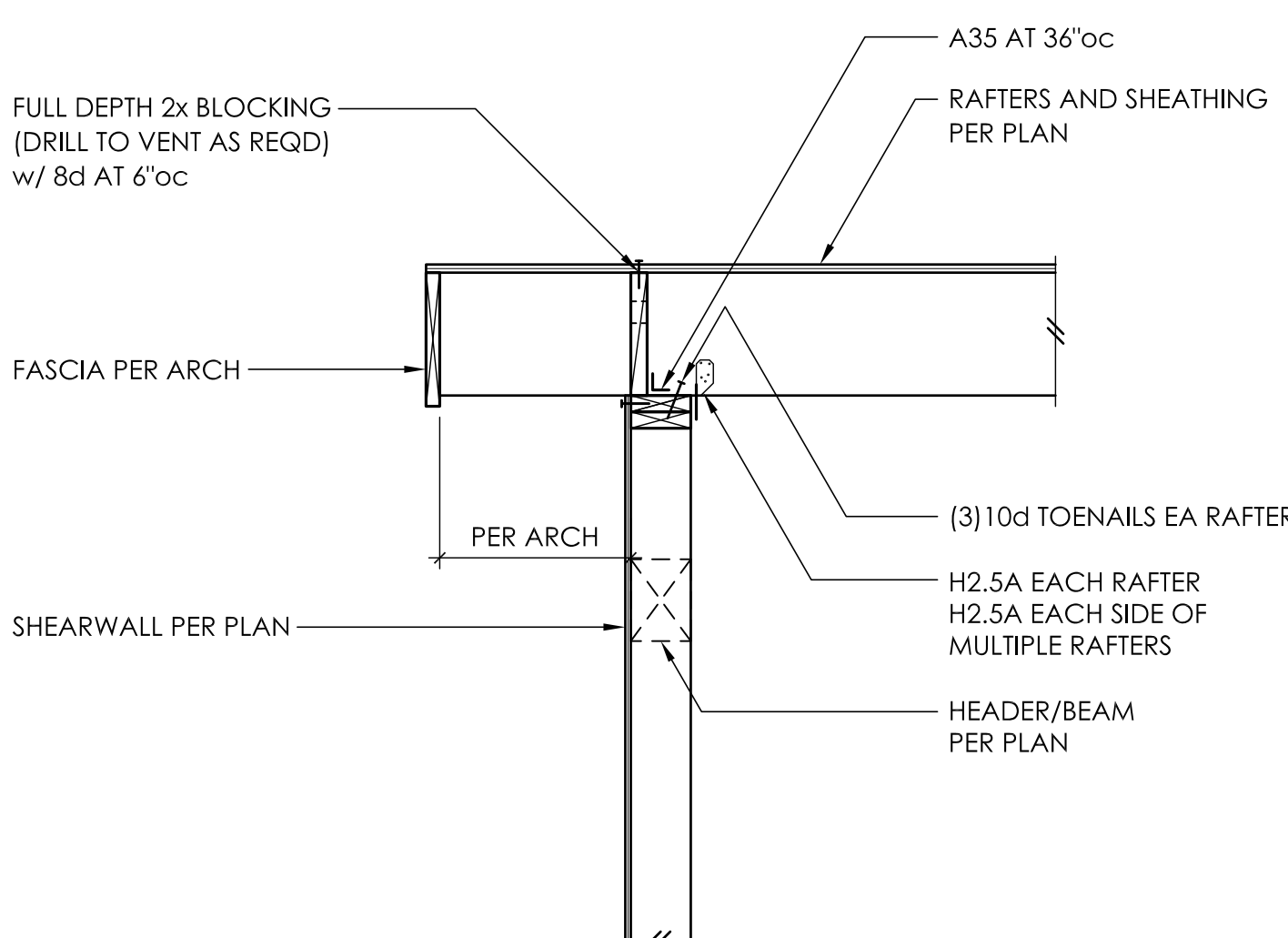
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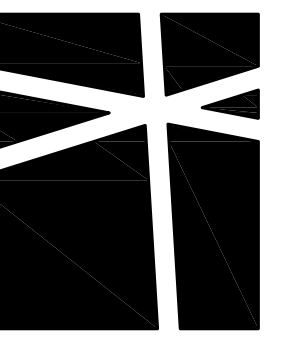
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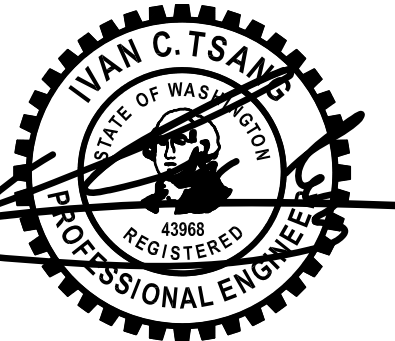
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**WOOD FRAMING
DETAILS**

SCALE - 3/4" = 1'-0"

S4.3

1

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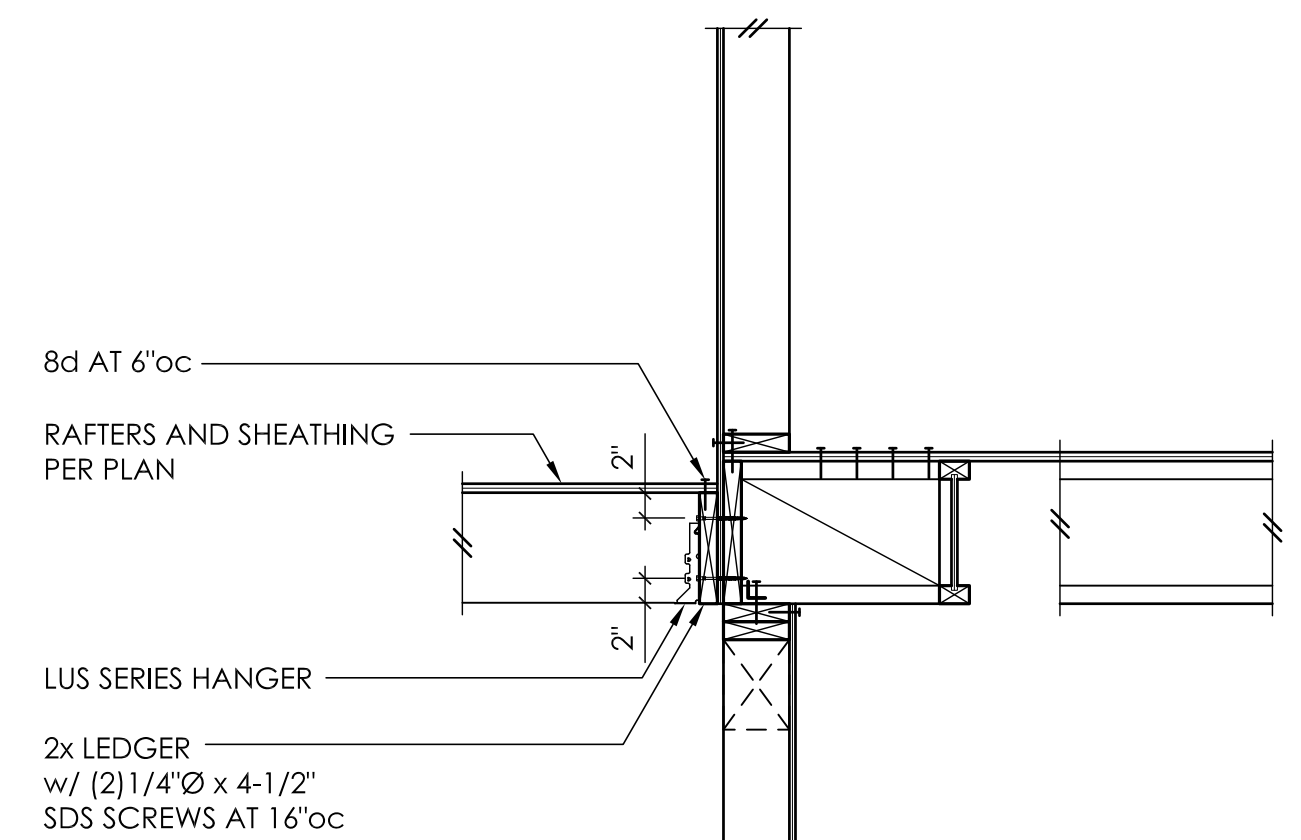
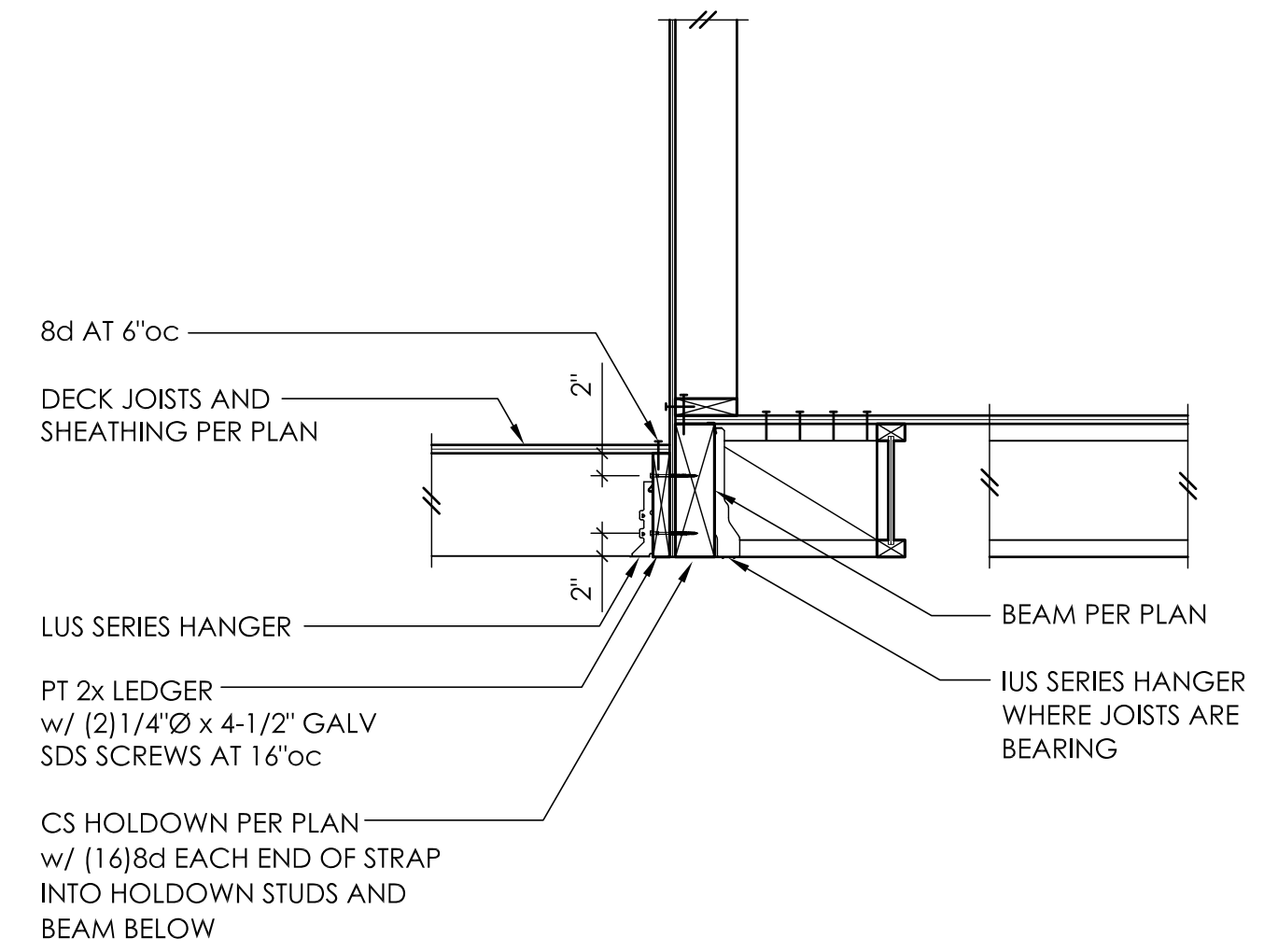
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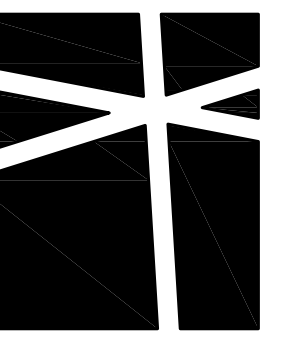
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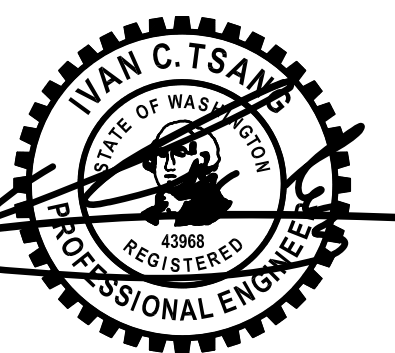
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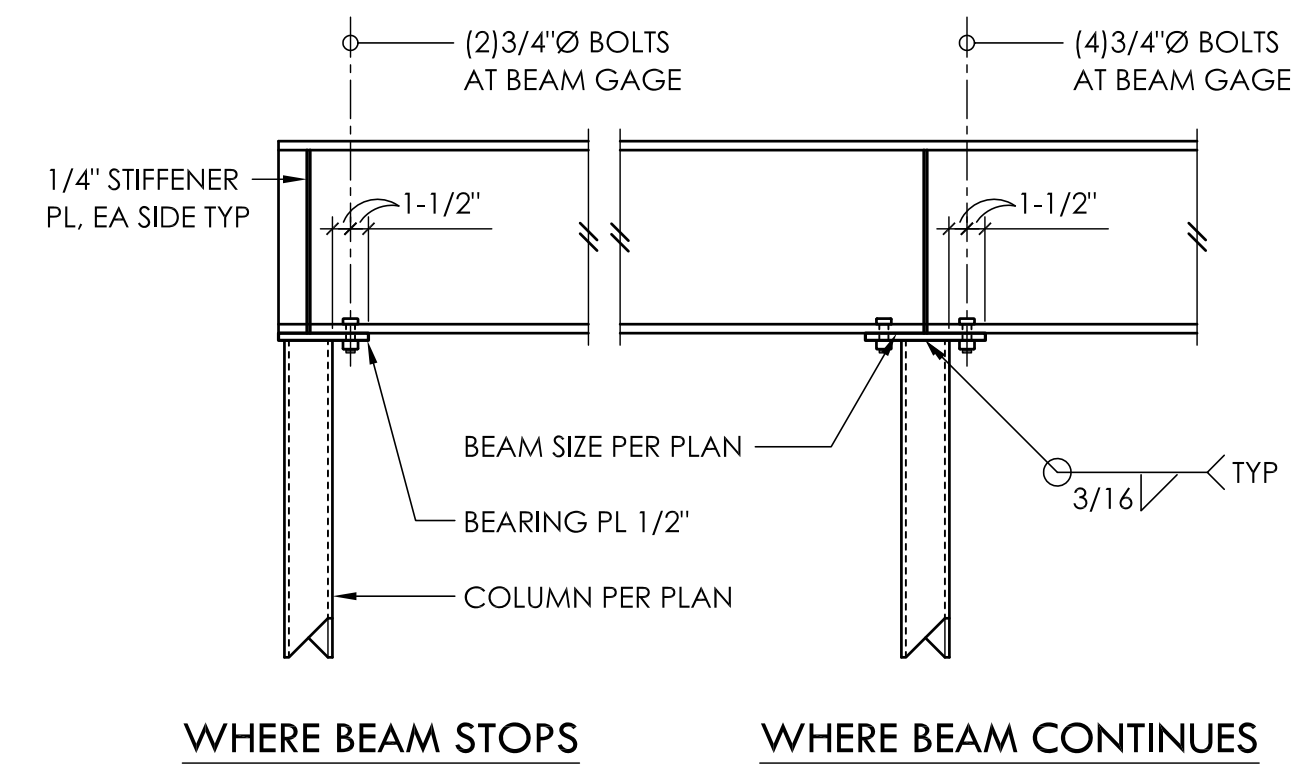
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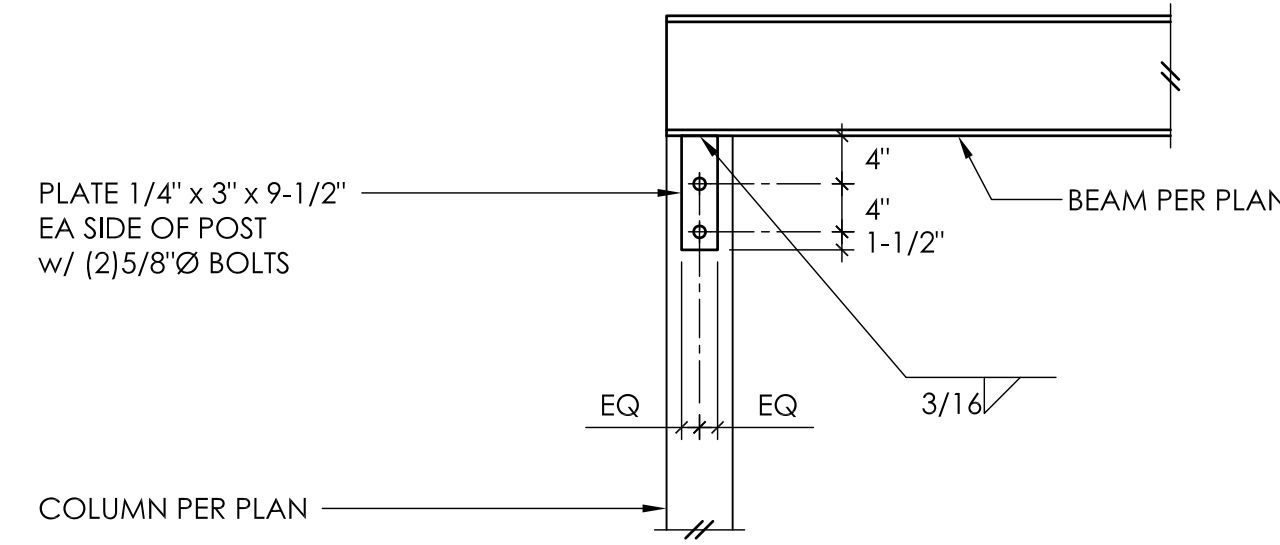
STEEL FRAMING DETAILS

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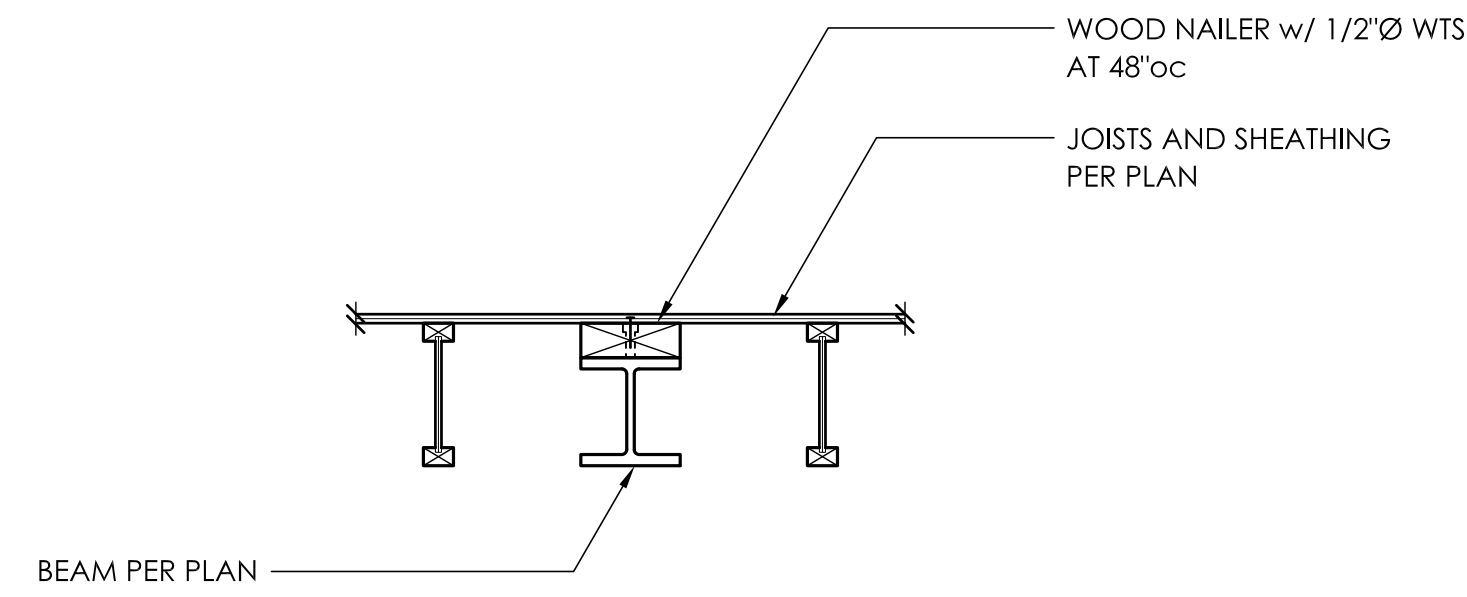
S5.0



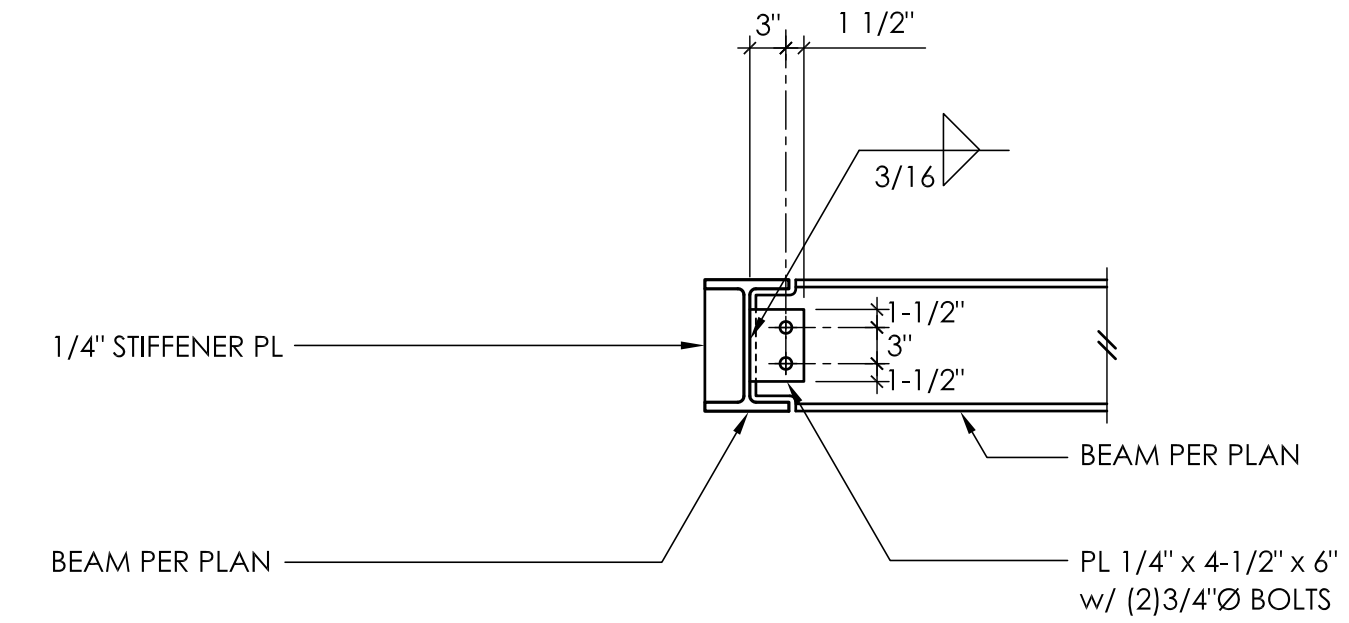
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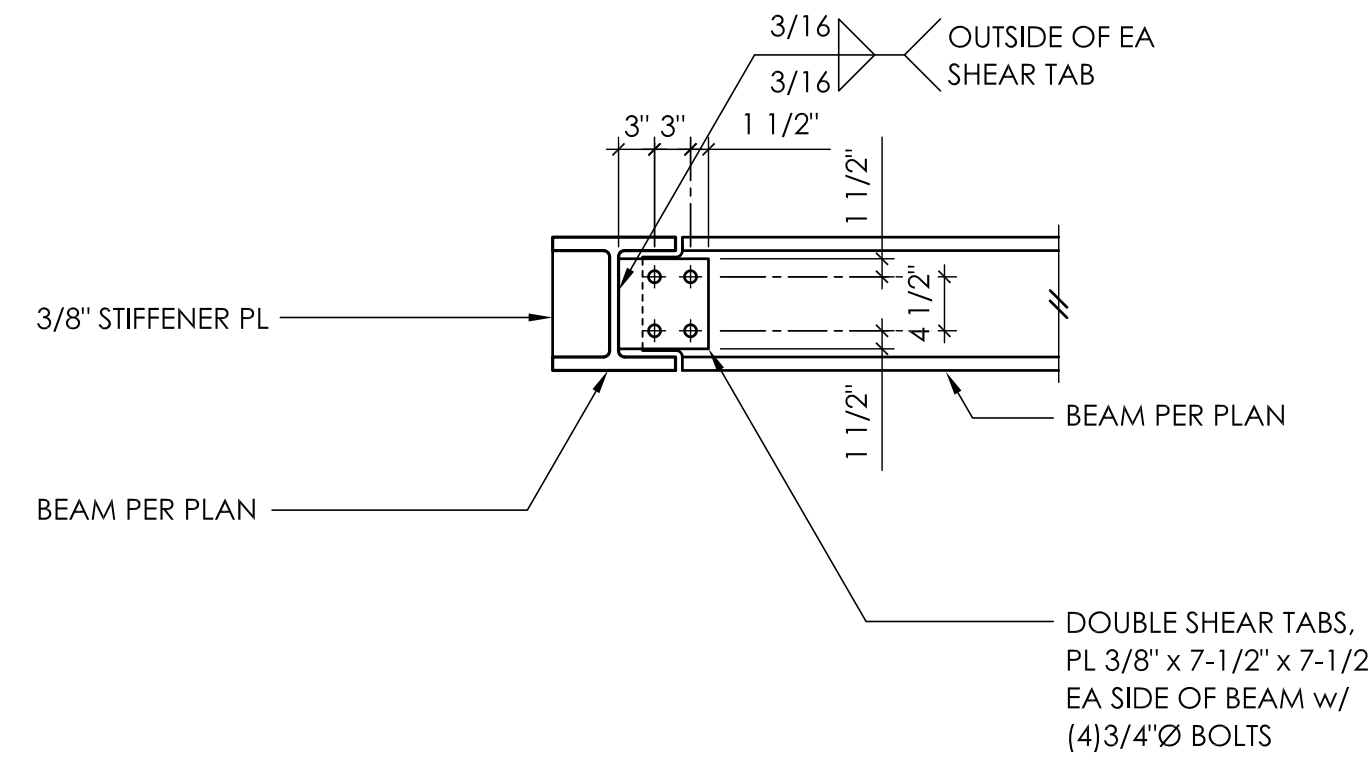
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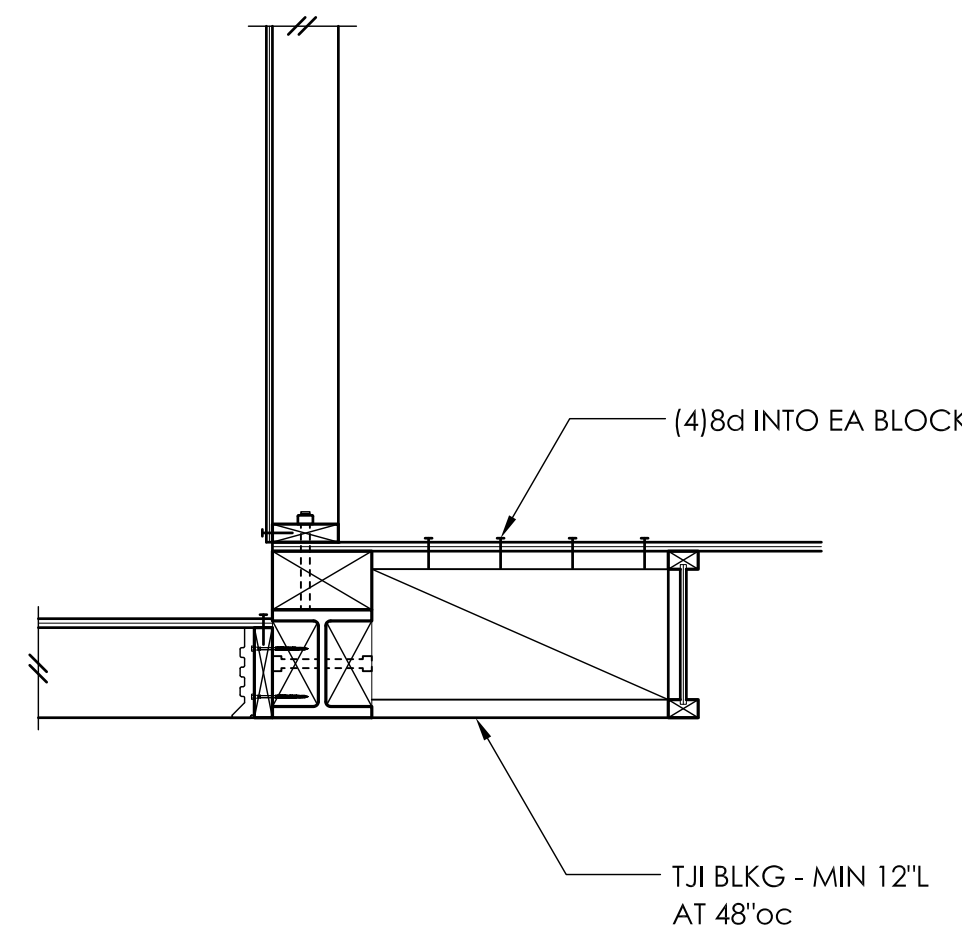
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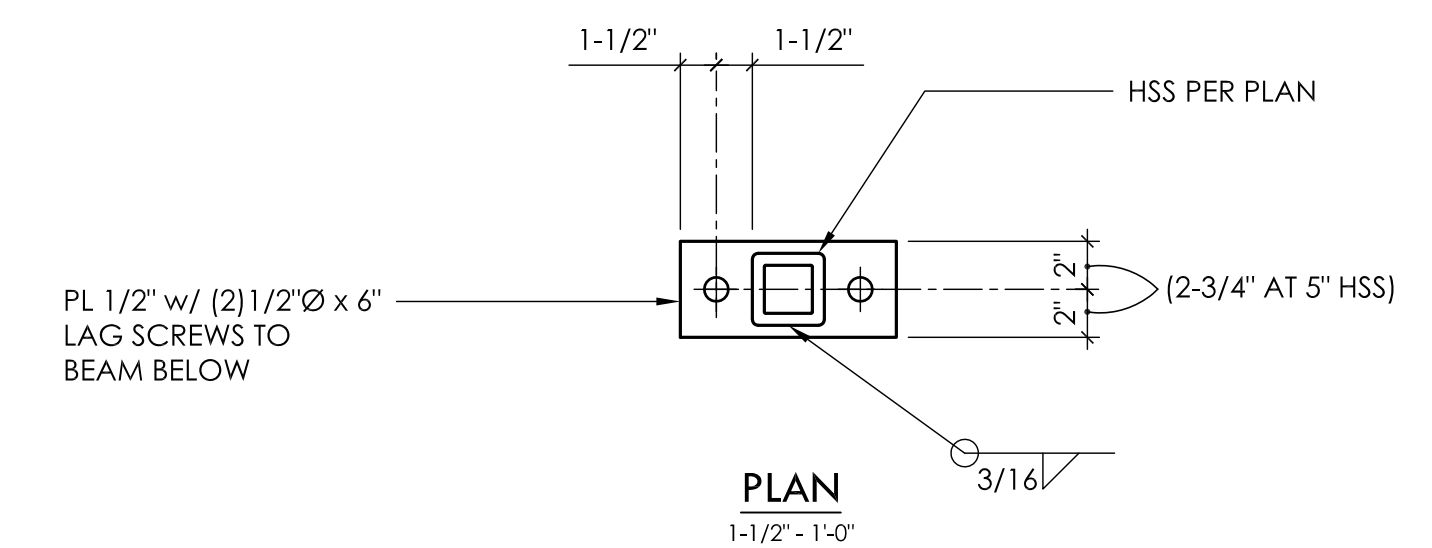
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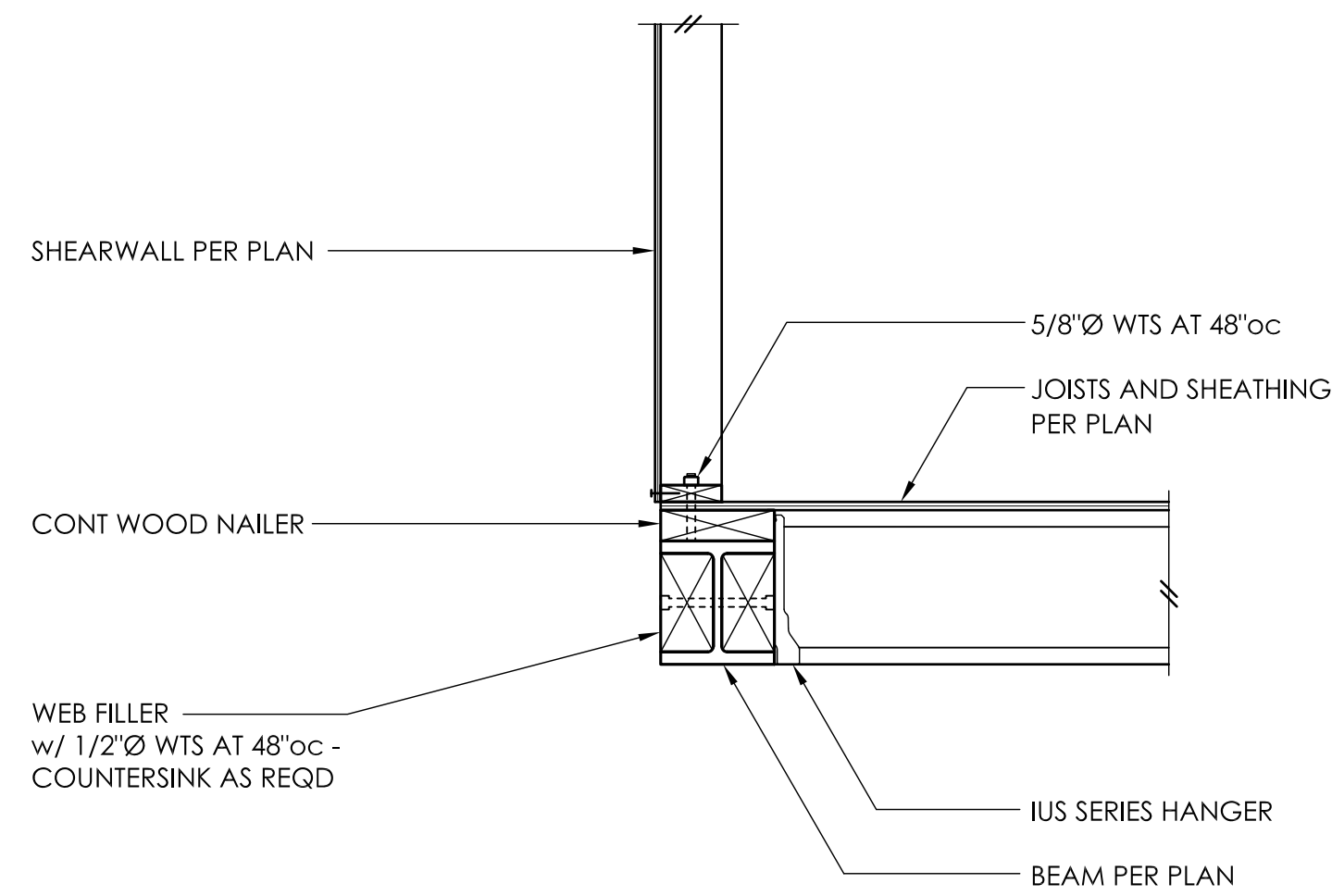
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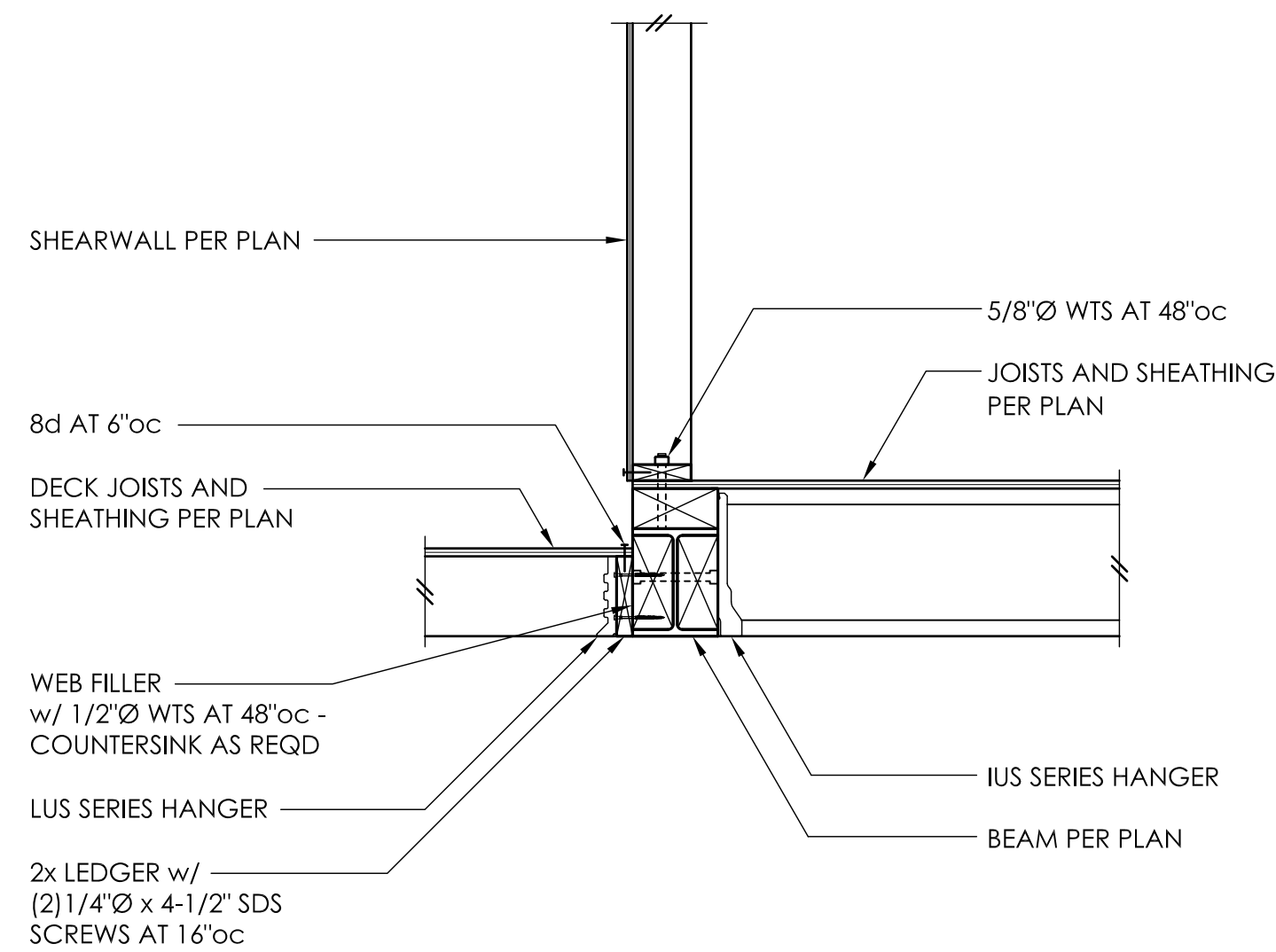
TYPICAL BEAM TO BEAM CONNECTION 8



12



10



9

SHORING PILE SCHEDULE

PILE MARK	AUGER DIA	PILE SIZE	BOT OF PILE ELEV	BOT OF EXCAV	TOP OF PILE ELEV	MAX HEIGHT 'H'	MIN DEPTH 'D'	TYPE	LOADING DIAGRAM	DETAIL
P1	24"	W16x31	300'	312'	320'	8'-0"	12'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P2	24"	W16x31	300'	312'	324'	12'-0"	12'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P3	24"	W16x57	298'	313'	324'	12'-0"	15'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P4	24"	W16x57	298'	313'	324'	12'-0"	15'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P5	24"	W16x57	298'	313'	324'	12'-0"	15'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P6	24"	W16x57	298'	313'	324'	12'-0"	15'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P7	24"	W16x57	298'	313'	324'	12'-0"	15'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P8	24"	W16x57	298'	313'	324'	12'-0"	15'-0"	CANTILEVER	2/SH1.0	4/SH3.0
P9	24"	W16x57	298'	313'	325'	12'-0"	15'-0"	CANTILEVER	4/SH1.0	4/SH3.0
P10	24"	W16x45	299'	313'	325'	12'-0"	14'-0"	CANTILEVER	4/SH1.0	4/SH3.0
P11	24"	W16x45	299'	313'	325'	12'-0"	14'-0"	CANTILEVER	4/SH1.0	4/SH3.0
P12	24"	W16x45	299'	313'	325'	12'-0"	14'-0"	CANTILEVER	4/SH1.0	4/SH3.0
P13	24"	W16x31	303'	313'	320'	7'-0"	10'-0"	CANTILEVER	4/SH1.0	4/SH3.0
P14	24"	W16x31	303'	313'	319'	7'-0"	10'-0"	CANTILEVER	4/SH1.0	4/SH3.0

SHORING NOTES

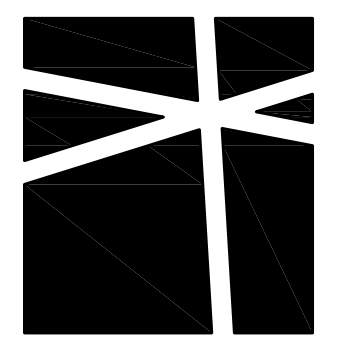
1. REFER TO GENERAL SHORING NOTES SHEET SH1.0 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SOILS REPORT FOR ADDITIONAL SHORING INSTALLATION REQUIREMENTS.
3. REFER TO SHEET SH3.0 FOR TYPICAL SHORING DETAILS.
4. CONTRACTOR TO VERIFY ALL ELEVATIONS AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS, SURVEY DRAWINGS, AND EXISTING SITE CONDITIONS.
5. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- DRILLED PILE
- PILE MARK
- BOTTOM OF EXCAVATION
- TOP OF WALL
- FINISH FLOOR
- CRAWLSPACE
- 0.0' TEMPORARY GRADING SPOT ELEVATION
- SLOPING EXCAVATION - 1.5H:1V PER GEOTECHNICAL ENGINEER



SHORING PLAN



MALSAM TSANG
STRUCTURAL
ENGINEERING

122 S JACKSON ST
SUITE 210
SEATTLE, WA
98104
206.789.6038 T
206.789.6042 F

HOUSE 88
88TH AVE SE
MERCER ISLAND, WA 98104

ARCHITECT
STUDIO 19 ARCHITECTS
207-1/2 1ST AVE S SUITE 300
SEATTLE, WA 98104
206.466.1225 T



PRINCIPAL ENGINEER SKH WAI
DRAWN RAP
PROJECT NO 0285.2014.01.01

PERMIT SET
X.X.XX
REV DESCRIPTION DATE

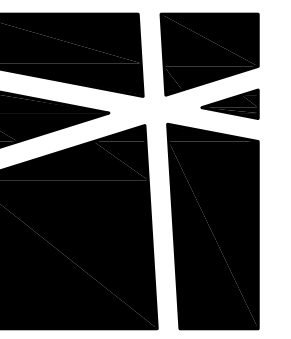
SHORING PLAN

SCALE - 1/4" = 1'-0"

SH2.0

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Printed by: skh
Plot Date: 04/04/2015 - 5:33pm



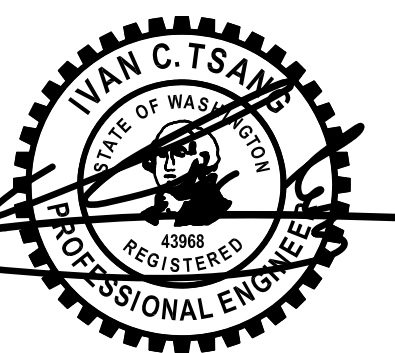
MALSAM TSANG STRUCTURAL ENGINEERING

122 S JACKSON ST SUITE 210 SEATTLE, WA 98104

206.789.6038 T 206.789.6042 F

HOUSE 88 88TH AVE SE MERCER ISLAND, WA 98104

ARCHITECT STUDIO 19 ARCHITECTS 207-1/2 1ST AVE S SUITE 300 SEATTLE, WA 98104 206.466.1225 T



PRINCIPAL ENGINEER SKH WAI DRAWN RAP PROJECT NO 0285.2014.01.01

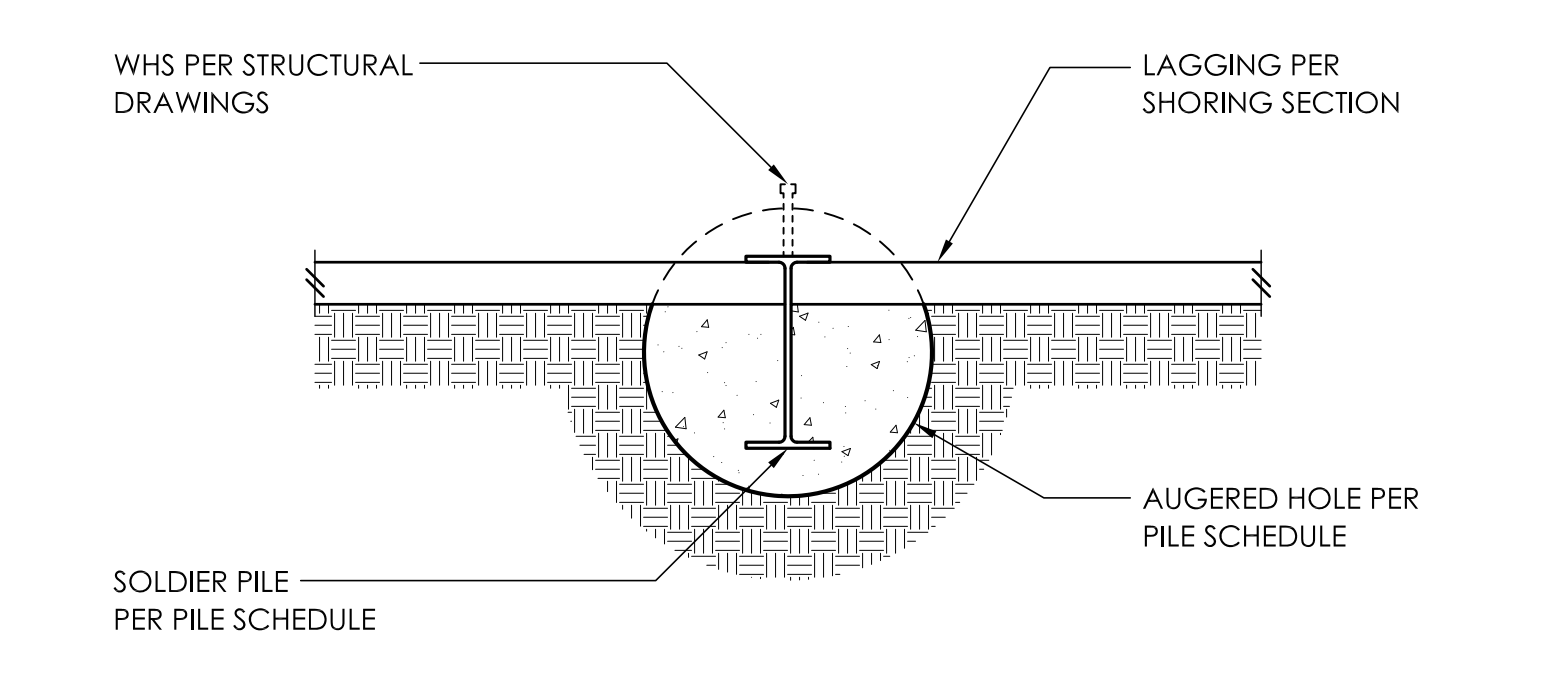
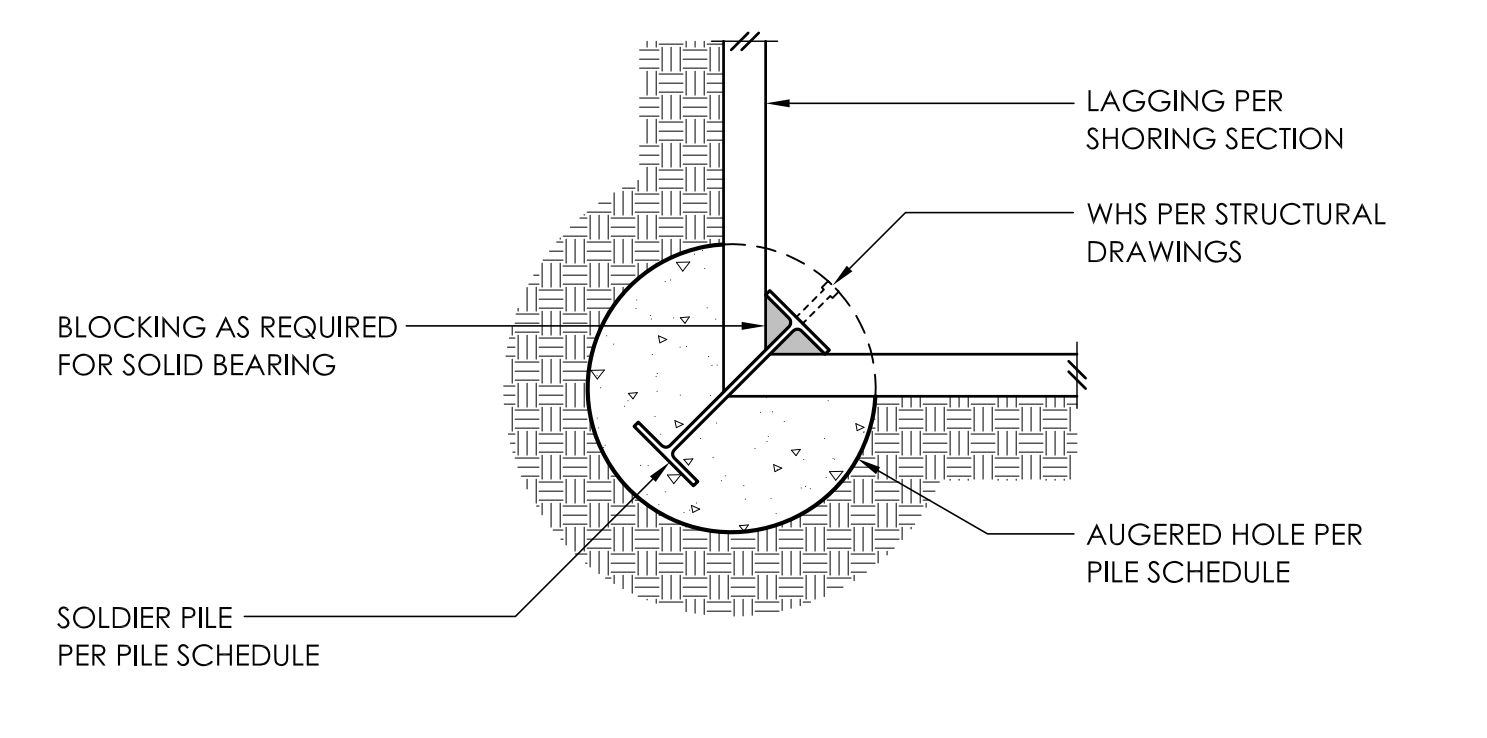
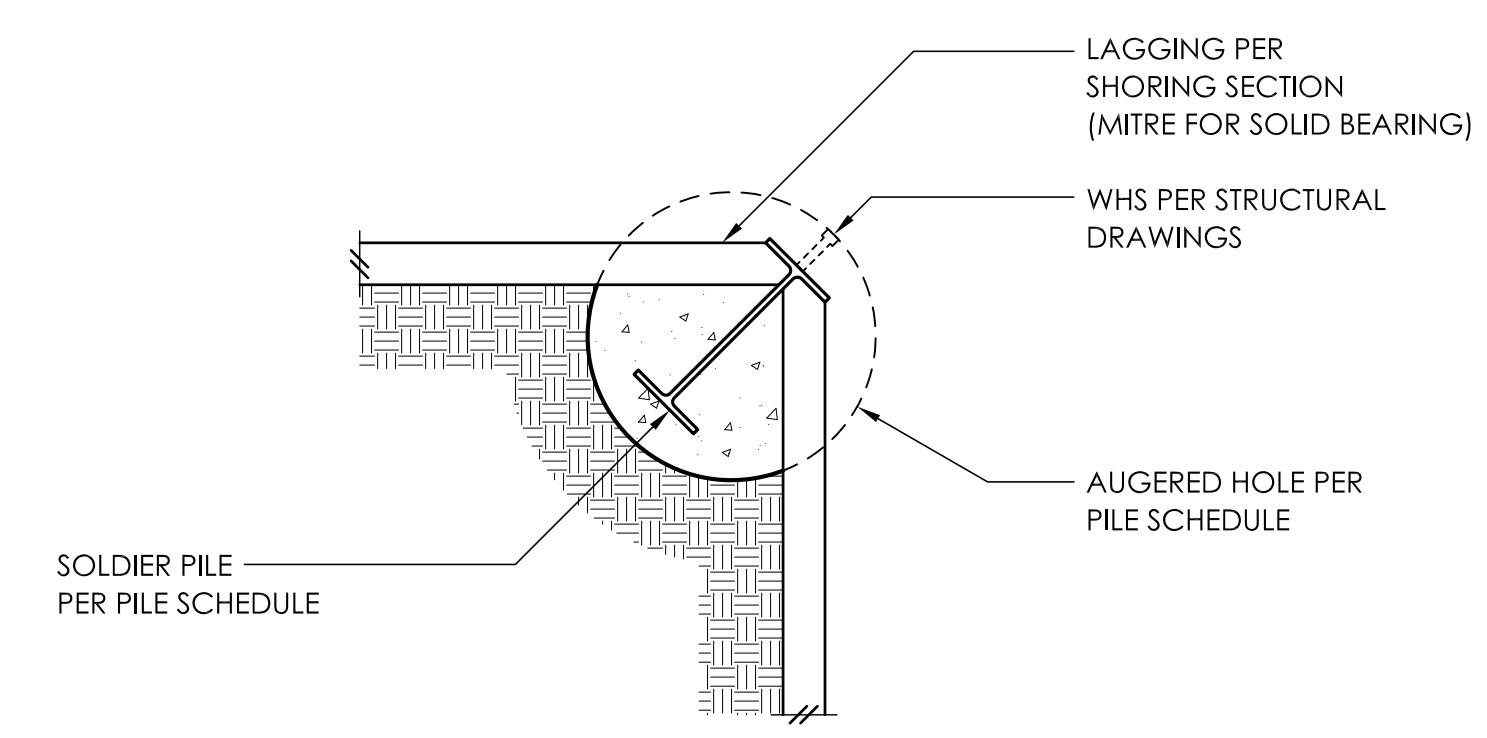
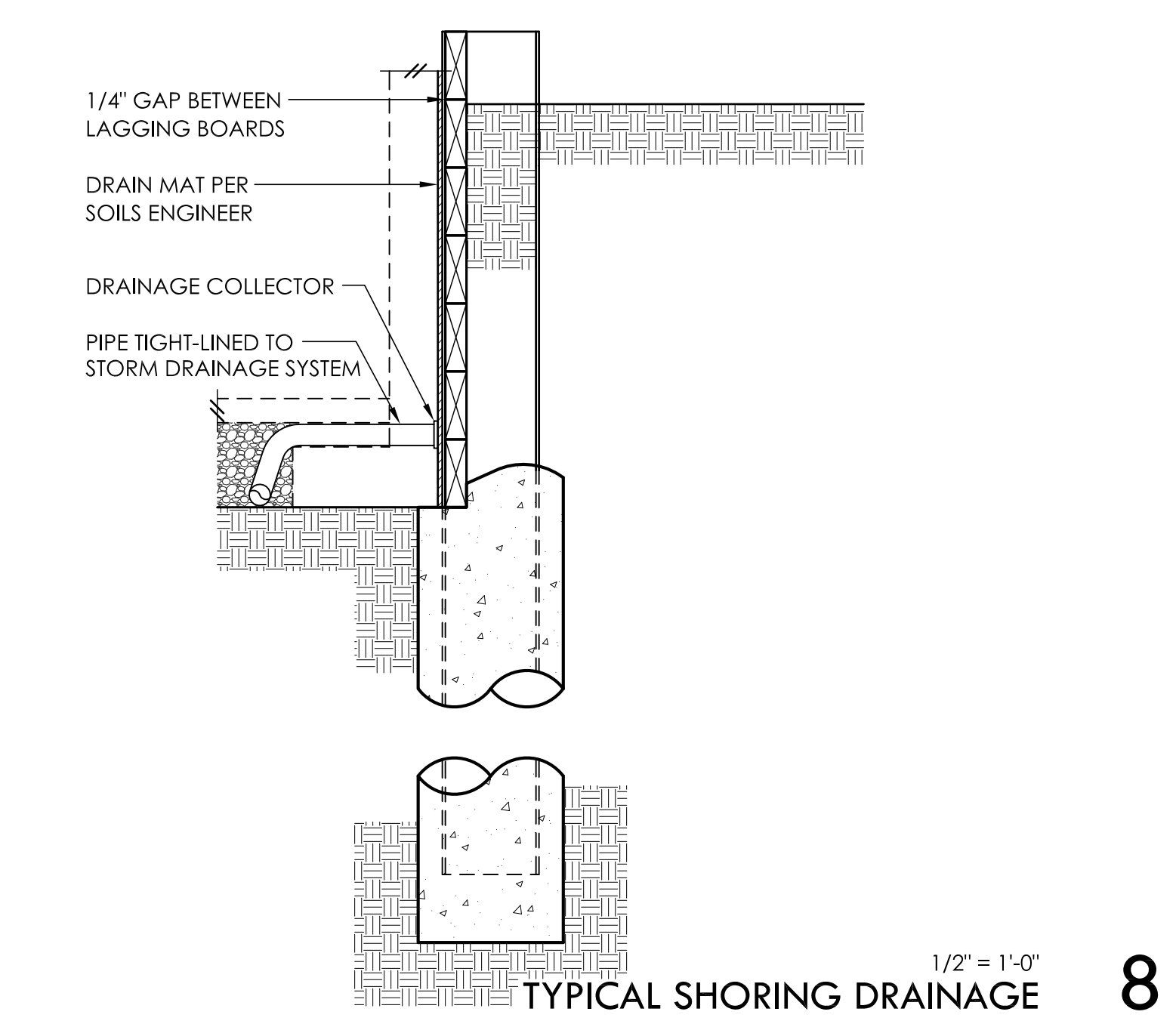
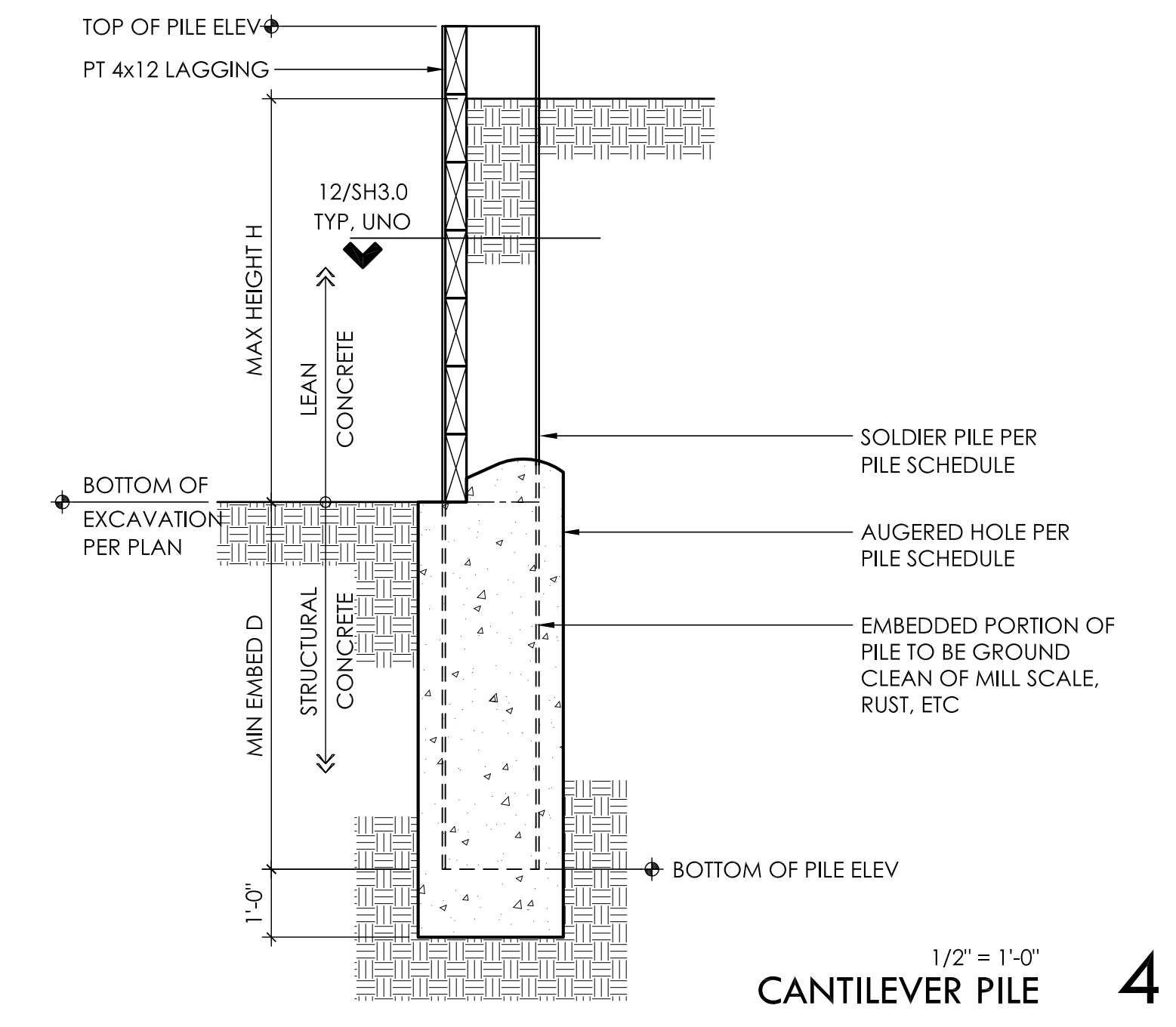
PERMIT SET 2.5.15

REV DESCRIPTION DATE

SHORING DETAILS

SCALE - 3/4" = 1'-0"

SH3.0



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Printed Date: 04/04/2015 - 5:34pm

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