

VICINITY MAP

PROJECT DATA

SITE ADDRESS: 4027 93RD AVE SE, MERCER ISLAND, WA 98040 PARCEL: 003100-0095 PROPERTY OWNER: SAM CHUNG PHONE NUMBER: 415-202-3226 EMAIL: KATECHUNGHOMES@GMAIL.COM APPLICANT:STEVE JOO PHONE NUMBER:206-306-6738 EMAIL:STEVE.JOO@HOTMAIL.COM

LOT SIZE: 8,575 SQ. FT.

LEGAL DESCRIPTION: ACERSON PARK ADD 19 LESS N 28 FT & 42 FT OF 20 PLat Block: A Plat Lot: 19-20

LOT ZONING: R-8.4 MAXIMUM LOT COVERAGE(BUILDING AND DRIVING SURFACES): 40% (LOT SLOPE LESS THAN 15%) MAXIMUM GROSS FLOOR AREA: 40% MAXIMUM BUILDING HEIGHT: 30 FEET

HVAC, PLUMBING, ELECTRICAL ARE UNDER SEPARATE PERMITS

GROSS FLOOR AREA

LOT AREA	8,575 SQ. FT.
EXISTING FINISHED AREA	1,630 SQ. FT.
EXISTING GARAGE AREA CONVERGED TO LIVING AREA	480 SQ. FT.
PROPOSED ADDITION (DETACHTED GARAGE)	318 SQ. FT.
NEW GROSS FLOOR AREA	2,428 SQ. FT.
2,428 / 8,575 X 100 = 28.3%	

LOT COVERAGE

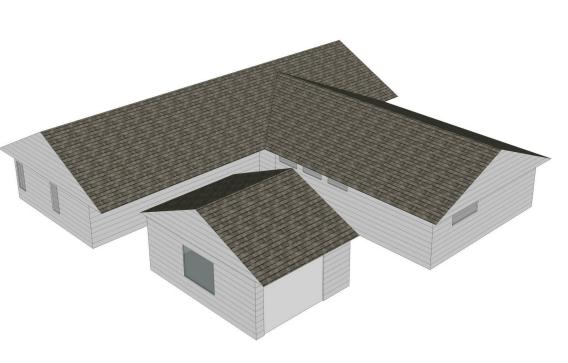
EXISTING (HOUSE BUILT IN YEAR 1954)					
ALL ROOVES(INCLUDING EAVES)	2,619 SQ. FT.				
DRIVEWAY(ASPHALT)	893 SQ. FT.				
PATIO(CONCRETE)	291 SQ. FT.				
TOTAL 3,803 SQ. FT.					
3,803 / 8,575 X 100 = 44.35% (HOUSE BUILT IN YEAR 1954)					

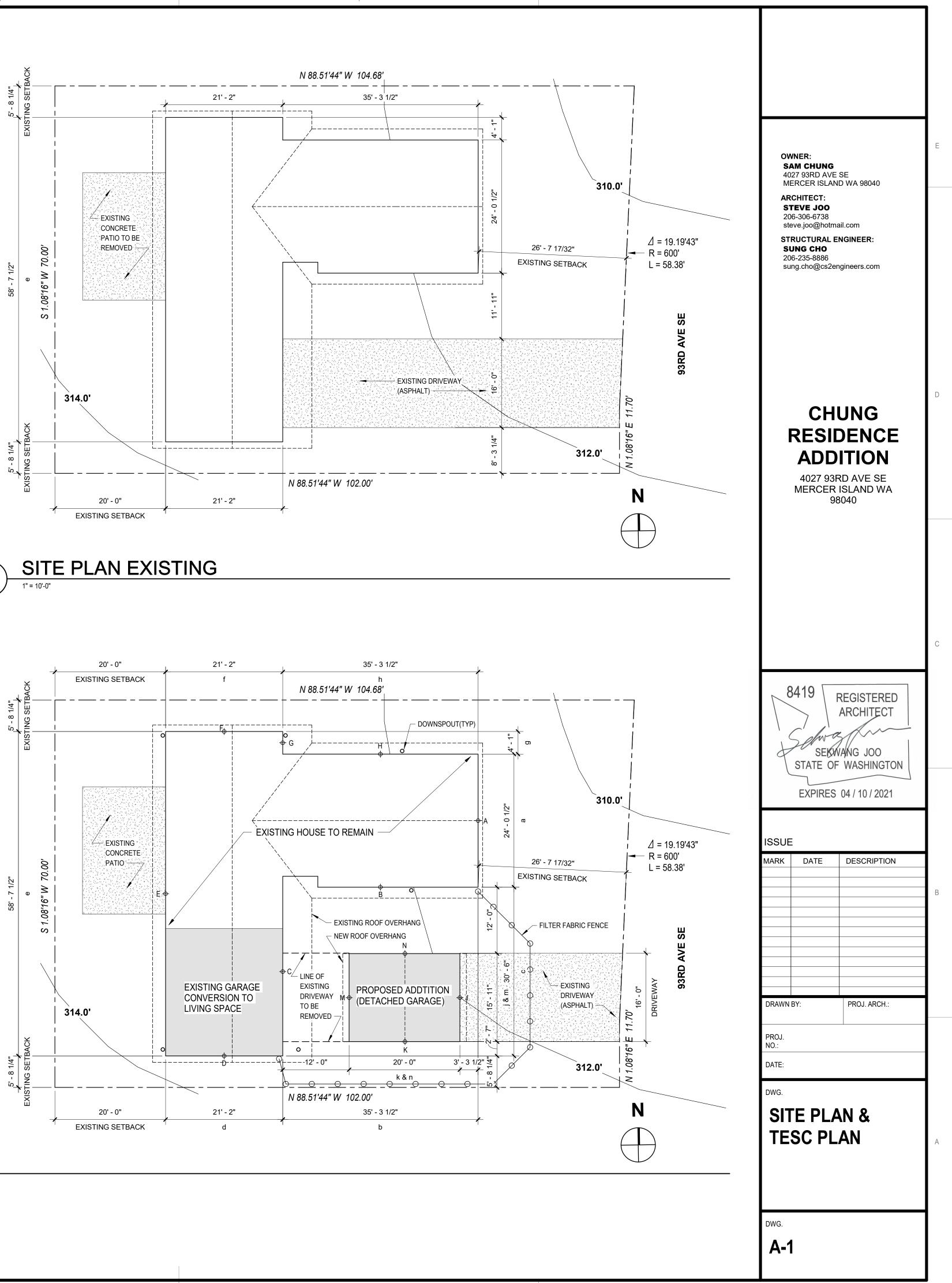
PROPOSED	
ALL ROOVES(INCLUDING EAVES)	2,619 SQ. FT.
DRIVEWAY(ASPHALT)	465 SQ. FT.
DETACHED GARAGE ROOF WITHIN EXISTING DRIVEWAY FOOTPRINT	356 SQ. FT.
PATIO(CONCRETE)	291 SQ. FT.
TOTAL	3,731 SQ. FT.
3,731 / 8,575 X 100 = 43.51%	

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EXISTING HOUSE





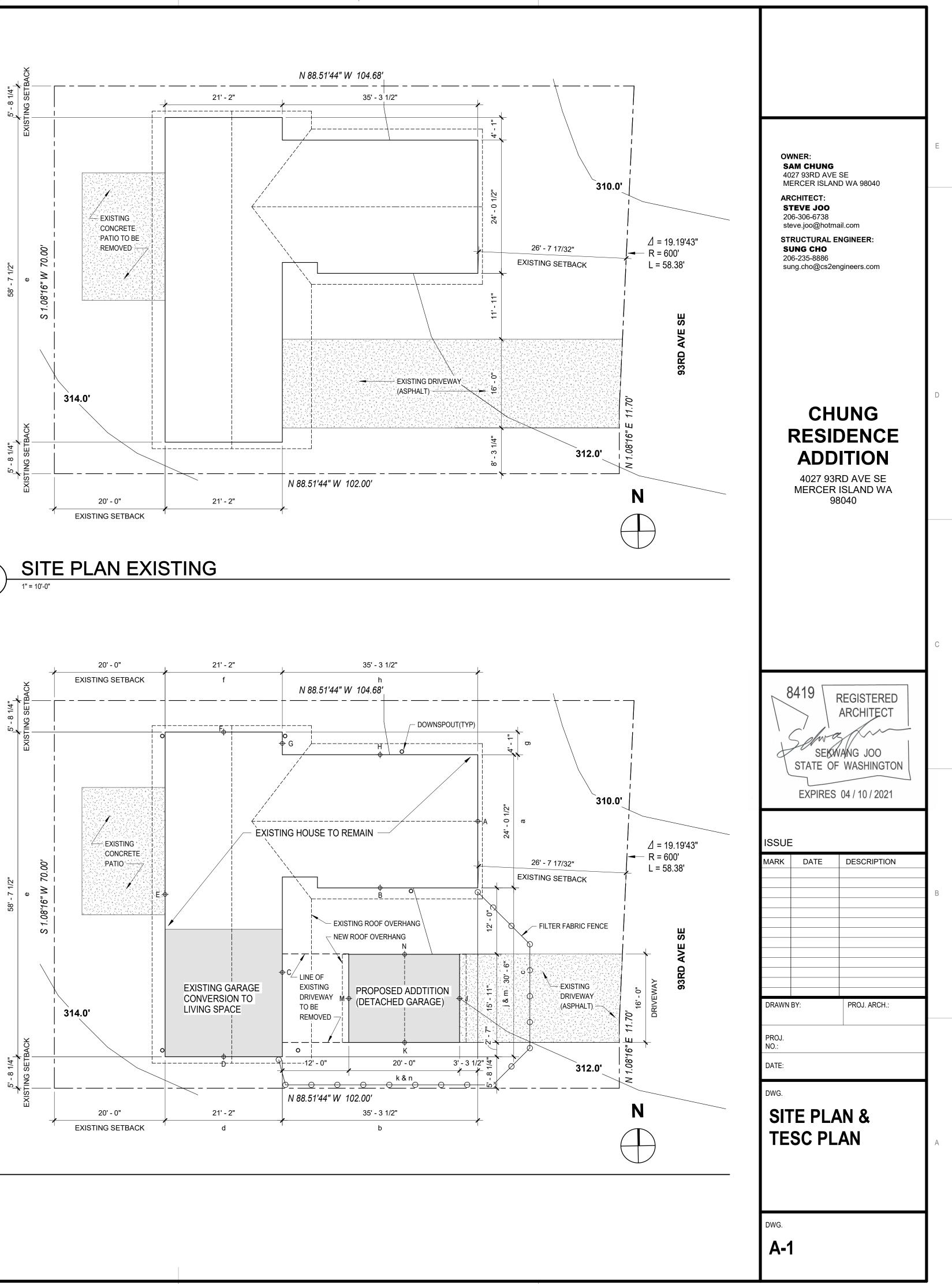
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PROPOSED ADDITION

LINETYPE LEGEND				
PROPERTY LINE				
—— <u>O</u> ——	FILTER FABRIC FENCE			
<u> </u>	EXISTING GRADE LINE			

AVERAGE BUILDING ELEVATION (ABE)					
MIDPOINT ELEVATION	WALL SEGMENT LENGTH				
A = 311.5 feet	a = 24.04 feet				
B = 312.4 feet	b = 35.29 feet				
C = 313.0 feet	c = 30.50 feet				
D = 313.6 feet	d = 21.16 feet				
E = 313.3 feet	e = 58.63 feet				
F = 312.7 feet	f = 21.16 feet				
G = 312.5 feet	g = 4.08 feet				
H = 312.2 feet	h = 35.29 feet				
J = 312.0 feet	j = 15.99 feet				
K = 312.5 feet	k = 20.00 feet				
M = 312.7 feet	m = 15.99 feet				
N = 312.3 feet	n = 20.00 feet				
ABE =((311.5)(24.04)+(312.4)(35.29)+(313.0)(30.50)+ (313.6)(21.16)+(313.3)(58.63)+(312.7)(21.16)+ (312.5)(4.08)+(312.2)(35.29))+(312.0)(15.99)+ (312.5)(20.00)+(312.7)(15.99)+(312.3)(20.00) / (24.04+35.29+30.50+21.16+58.63+21.16+4.08+ 35.29+15.99+20.00+15.99+20.00) = 94,458.33 / 302.13 = 312.64 feet					



SITE PLAN PROPOSED

NOTE:

THE CONSTRUCTION DOCUMENTS REPRESENTED HEREIN ARE BASED ON NON-INVASIVE SITE OBSERVATION OF THE EXISTING STRUCTURAL CONDITIONS OF THE PROPOSED PROJECT. AS A RESULT, IN CERTAIN INSTANCES, DESIGN ASSUMPTIONS WERE USED TO FORMULATE THE COMPATIBILITY OF THE NEW CONSTRUCTION WITH THE EXISTING STRUCTURAL ELEMENTS. DURING THE COURSE OF CONSTRUCTION, IT IS POSSIBLE THAT CONDITIONS MAY BE ENCOUNTERED THAT DO NOT COINCIDE WITH THE DESIGN ASSUMPTIONS AND MAY REQUIRE FURTHER STRUCTURAL REVIEW TO DETERMINE ADEQUACY. THE BUILDER SHALL BE OBSERVANT OF THESE CONDITIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING FURTHER WITH THE WORK.

GENERAL NOTES

TRESTED OR CEDAR

- VERIFY IN THE FIELD ALL DIMENSIONS OF EXISTING CONDITION

- CONSTRUCTION TO COMPLY WITH THE 2015 IRC

- NEW 2X6 EXTERIOR STUD WALLS @ 24" O.C. STACKED FRAMED - NEW 2X4 INTERIOR STUD WALLS @ 16" O.C. UNLESS NOTED OTHERWISE - BEARING AND HEADERS TO BE 6X8 #2 DF OR 4X10 #2 DF FURRED-OUT

- FIREBLOCK ALL PLUMBING PENETRATIONS - PROVIDE SOLID BLOCKING OVER BEAMS & BEARING WALLS

- ALL HANGER TO BE SIMPSON OR EQUAL

- BEDROOMS TO HAVE AT LEAST ONE OPERABLE WINDOW NET CLEAR OPENING OF 5.7 SQ. FT. MIN. WITH A NET CLEAR OPENING HT. OF 24" MIN. AND NET CLEAR OPENING WIDTH OF 20" MIN. AND A FINISHED SILL HEIGHT

OF NOT MORE THAN 44" ABOVE FINISH FLOOR. - FIREPLACES AND STOVES MUST BE D.O.E. APPROVED AND BE TESTED, CERTIFIED & LABELED AS SUITABLE FOR USE DURING A FIRST STAGE BURN

BAN - ALL LUMBER EXPOSED TO WEATHER OR CONCRETE TO BE PRESSURE

<u>PLAN LEGEND</u>						
	NEW CONSTRUCTION					
	EXISTING WALL TO REMAIN					
	EXISTING WALLS AND WINDOWS TO BE REMOVED AND OR MODIFIED					

NEW DOOR

D-#

EXISTING DOOR

t=====3

EXISTING DOOR TO BE REMOVED AND OR MODIFIED

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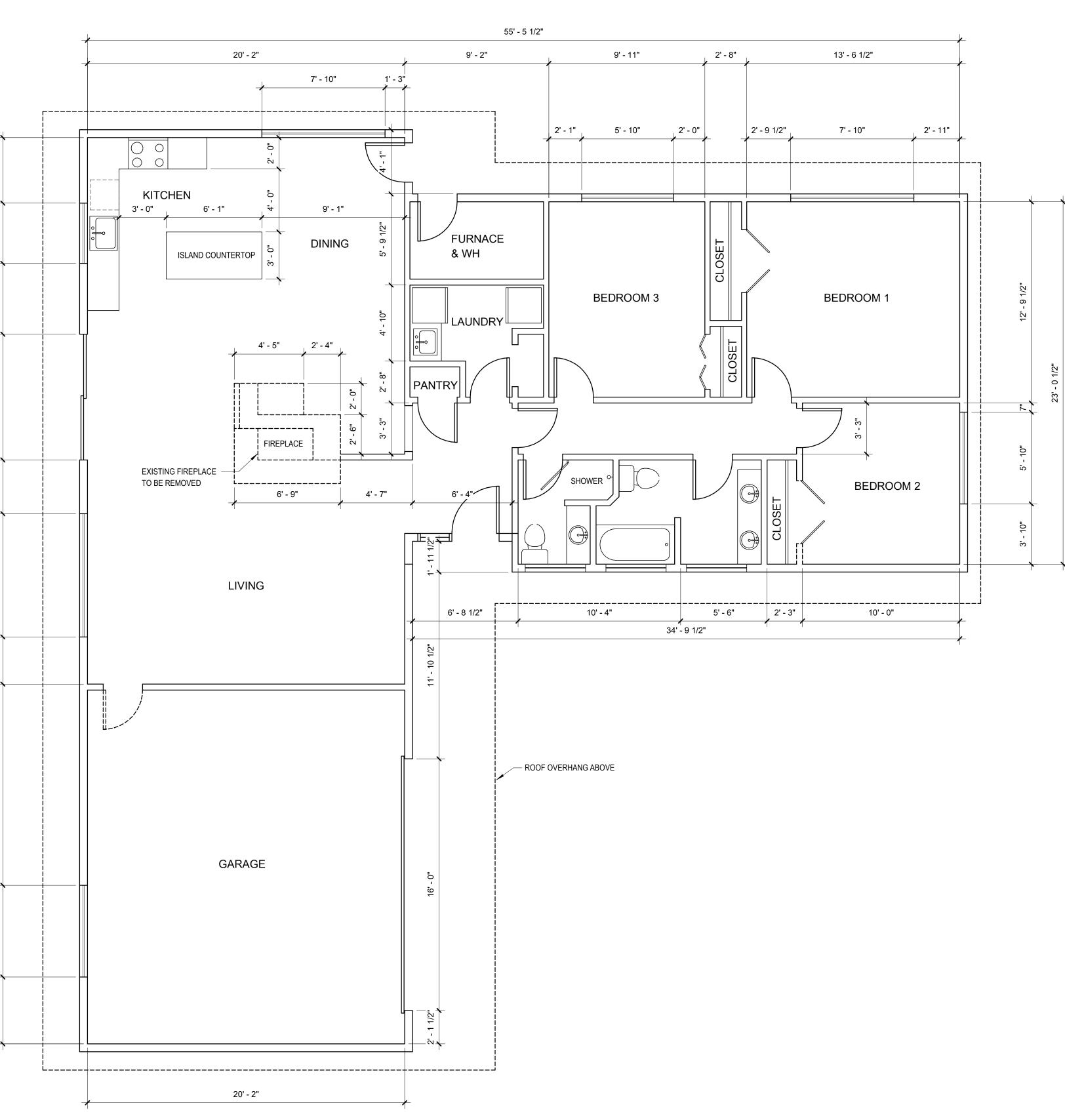
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EXISTING FLOOR PLAN 1/4" = 1'-0"

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0' 2' 4' 8'



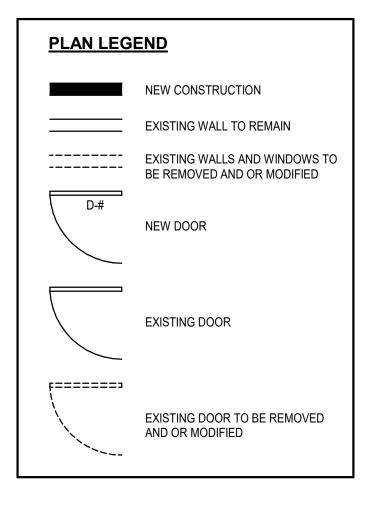
OWNER: SAM CHUNG 4027 93RD AVE SE MERCER ISLAND WA 98040 ARCHITECT: **STEVE JOO** 206-306-6738 steve.joo@hotmail.com STRUCTURAL ENGINEER: SUNG CHO 206-235-8886 sung.cho@cs2engineers.com CHUNG RESIDENCE ADDITION 4027 93RD AVE SE MERCER ISLAND WA 98040 8419 REGISTERED ARCHITECT SEKWANG JOO STATE OF WASHINGTON EXPIRES 04 / 10 / 2021 ISSUE MARK DATE DESCRIPTION DRAWN BY: PROJ. ARCH.: PROJ. NO.: 12/17/2016 DATE: DWG. **EXISTING FLOOR** PLAN DWG. **A-2**

GENERAL NOTES

- VERIFY IN THE FIELD ALL DIMENSIONS OF EXISTING CONDITION
- CONSTRUCTION TO COMPLY WITH THE 2015 IRC - NEW 2X6 EXTERIOR STUD WALLS @ 24" O.C. STACKED FRAMED
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- ALL LUMBER EXPOSED TO WEATHER OR CONCRETE TO BE PRESSURE TRESTED OR CEDAR



SQUARE FOOTAGE

	EXISTING			PROPOSED		
	LIVING AREA GARAGE SUBTOTAL			LIVING AREA	GARAGE	SUBTOTAL
1ST FLOOR	1,630	480	2,110	2,110	318	2,428

SHEAR WALL SCHEDULE

MARK	SHEATHING COMMON	STUDS AT ABUTTING PANEL	PANEL EDGE NAILING			2X BOTTOM PLATE ATTACHMENT	SILL PLATE A	TTACHMENT
		EDGES*	**/****	SOLID RIM	TJI RIM	BOTTOM PLATE TO RIM JOIST BELOW**	ANCHOR BOLT TO CONCRETE ***	SILL PLATE AT FOUND.
SW1	7/16" OSB ONE SIDE	2X	8d @ 6" O.C.	A35 @ 24" O.C.	16d @ 6" O.C.	16d @ 6" O.C.	5/8" DIA. @ 48" O.C.	2X
SW2	7/16" OSB ONE SIDE	2X	8d @ 4" O.C.	A35 @ 15" O.C.	16d @ 4" O.C.	16d @ 4" O.C.	5/8" DIA. @ 32" O.C.	2X

* INTERMEDIATE FRAMING TO BE 2x STUDS. TWO 2x STUDS MAY BE USED IN PLACE OF 3x STUDS; NAIL TOGETHER WITH BOTTOM PLATE ATTACHMENT NAILING.

** 8d NAILS SHALL BE 0.131" DIA X 2 1/2" (COMMON). 16d NAILS SHALL BE 0.135" DIA X 3 1/2" (BOX). *** USE ANCHOR BOLT WITH 7" MIN. EMBED OR EXPANSION BOLTS WITH 4" EMBED. AT ALL ANCHOR BOLTS USE 3"X3"X1/4" PLATE WASHERS (SIMPSON BP5/8-3 OR EQUAL)

**** TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF SHEARWALLS. END STUD SHALL RECEIVE PANEL EDGE NAILING.

WSEC - ENERGY EFFICIENCY CREDITS

SELECTED OPTIONS	DESCRIPTION	CREDIT
EFFICIENT BUILDING ENVELOPE 1a:	VERTICAL PENESTRATION U=0.28, FLOOR R=38	0.5
HIGH EFFICIENCY HVAC EQUIPMENT 3a:	GAS FURNACE W/ MINIMUM AFUE OF 94%	1.0
EFFICIENT WATER HEATING 5a:	KITCHEN SINK FAUCET AND SHOWERHEAD AT 1.75 GPM OR LESS	0.5
EFFICIENT WATER HEATING 5c:	GAS WATER HEATER W/ MINIMUM EF 0.91	1.5

WHOLE HOUSE FAN

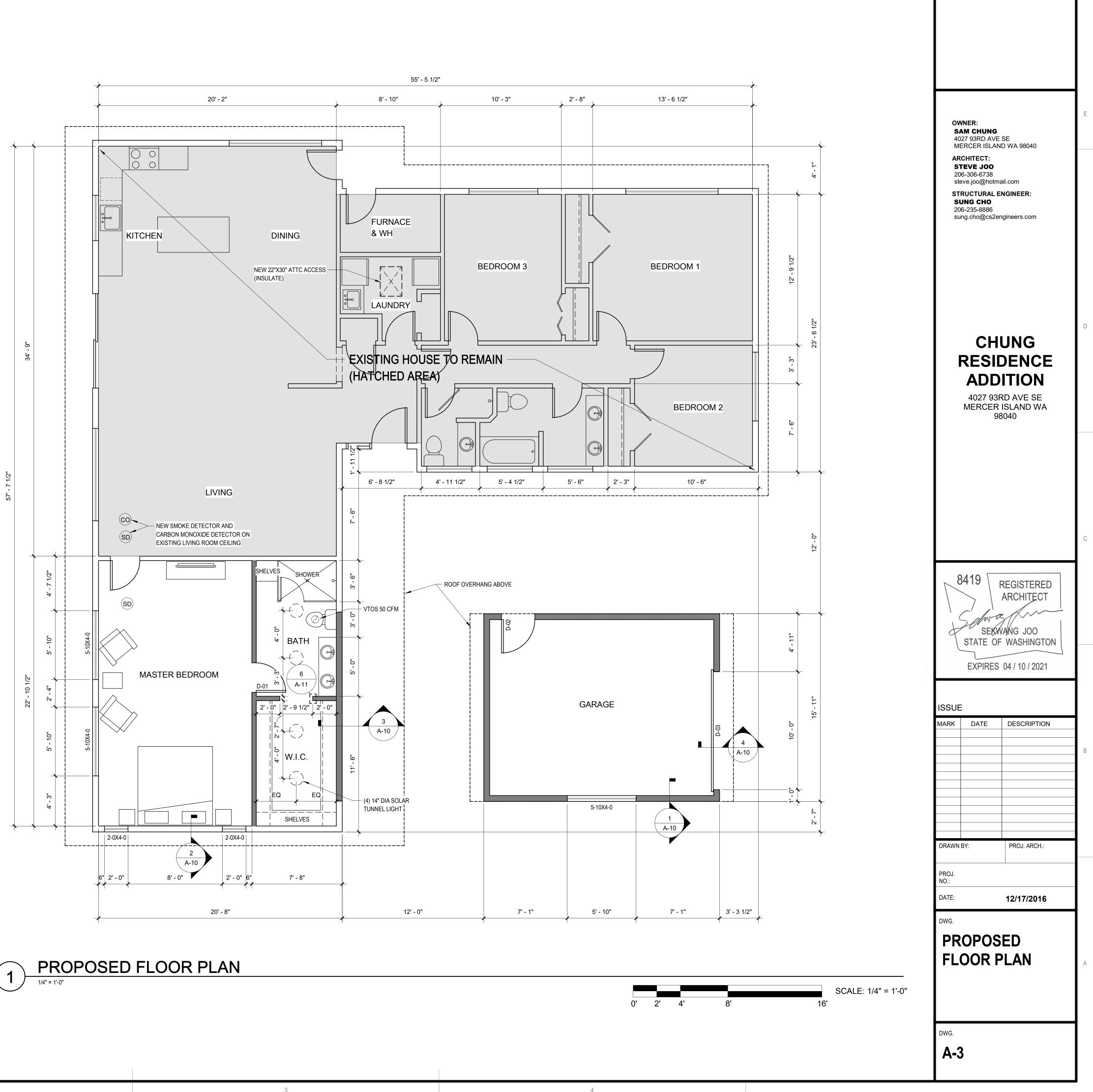
BATHROOM (3)	.25 w.g.	50 CFM		
LAUNDRY	.25 w.g.	50 CFM		
KITCHEN	.10 w.g.	100 CFM		
BEDROOM (4)	.25 w.g.	50 CFM		
75 CFM W.H.F. PROVIDED AND INSTALL A 24 HOUR TIMER TO CONTROL EXHAUST FA				

DOOR SCHEDULE

DOOR	TYPE	S	IZE	MATERIAL	DETAIL		U-VALUE
NUMBER		WIDTH	HEIGHT		HEAD	JAMB	
D-01	SWING / SINGLE / PANEL	2'-6"	6'-8"	WOOD	4/A-14	5/A-14	
D-02	SWING / SINGLE / PANEL	2'-10"	6'-8"	WOOD			
D-03	OVERHEAD GARAGE DOOR	10'-0"	7'-0"	STEEL			

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<u>8</u> 20 5/18/20: C:\User EXISTING 18"X24" CRAWL SPACE ACCESS — ON FOUNDATION WALL TO REMAIN

FOUNDATION NOTES:

1

-. CONCRETE TO BE 5 SACK F'c=3,000 PSI @ 28 DAYS

-. REINFORCING STEEL TO BE ASTM A-615 GRADE 40 OR BETTER

-. FOOTINGS TO REST ON 1,500 PSI UNDISTURBED SOIL -. MIN. CONCRETE COVERAGE OF STEEL TO BE:

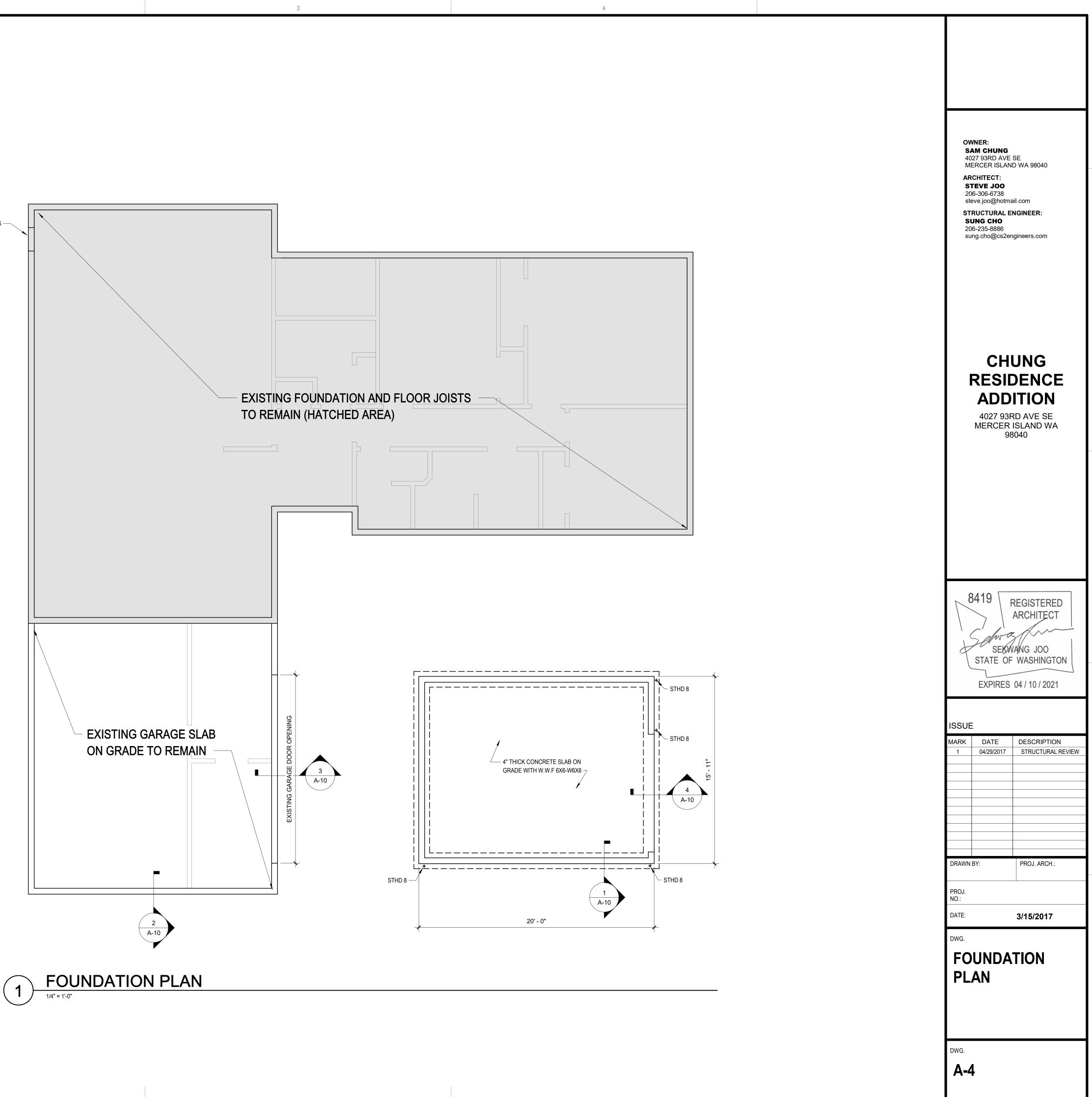
3" CLEAR @ BOTTOM OF FOOTINGS 1 1/2" CLEAR @ SIDE OF WALLS

-. ALL LUMBER IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED

-. PROVIDE SOLID BLOCKING OVER SUPPORTS

-. ALL ROOF DRAIN DOWNSPOUTS SHALL EMPTY INTO A 4" TIGHTLINE THAT SHALL RUN THE PERIMETER OF THE FUUNDATION AND EMPTY IN AN APPROVED MANNER

-. FOOTINGS LOCATED INSIDE OF CRAWL SPACE WILL BE 8" BELOW GRADE. EXTERIOR FOOTINGS TO BE 18" MIN. BELOW GRADE, U.N.O.





1) ROOF FRAMING PLAN

2

GENERAL NOTES:

- VERIFY IN THE FIELD ALL DIMENSIONS FOR EXISTING CONDITION
 ALL HEADERS TO BE 6X8 DF#2 OR 4X10 DF#2 UNLESS NOTED OTHERWISE.
 ALL LUMBER EXPOSED TO WEATHER TO BE PRESSURE TREATED OR CEDAR.
 SKYLIGHTS IN HEATED ENVELOP TO BE INSULATED PER WSEC.
 MIN. 22"X30" ATTIC ACCESS W/ 36" MIN. HEAD ROOM. INSULATE AND WEATHERSTRIP.
 FIREBLOCK ALL VOIDS.
- TRUSS NOTES:
- SHALL HAVE MANUFACTURER'S STAMP.
- SHALL BE INSTALLED AND BRACED PER MANUFACTURER'S INSTRUCTIONS.
 WILL NOT BE FIELD ALTERED WITHOUT BUILDING DEPARTMENT APPROVAL OF THE ENGINEERING CALCULATIONS.
 SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE.

TRUSS HOLDDOWN:

SIMPSON H8 HURRICANE TIE-G90 GALVANIZED AT EACH TRUSS

ROOF NOTES:

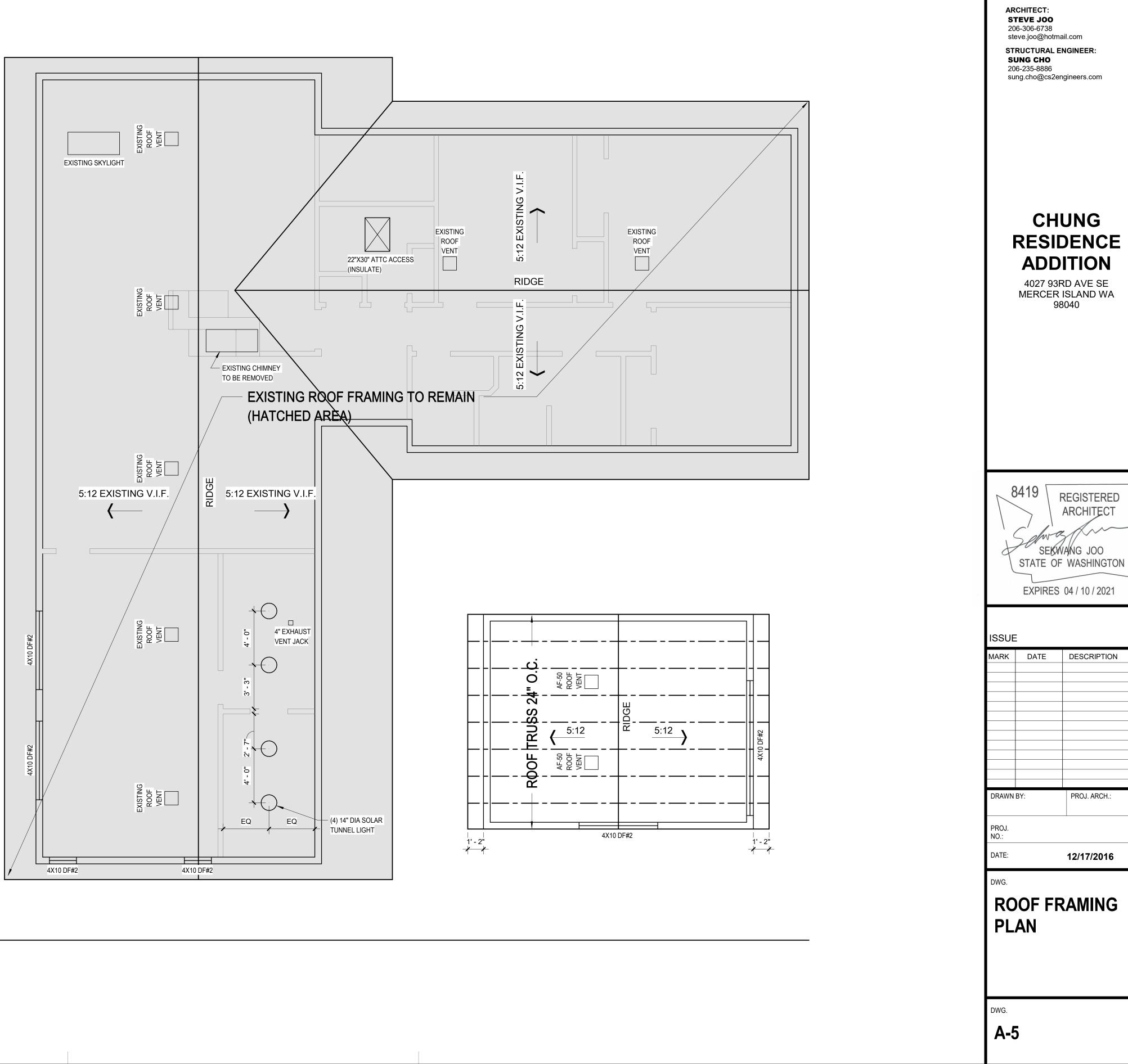
MATERIAL: COMP ROOFING PITCH: 5:12 OVERHANG: SEE DIMENSIONS ON PLAN FASCIA: 1"X6" PRIMED AND PAINTED SPRUCE FASCIA BOARD, 1"X8" PRIMED AND PAINTED SPRUCE FASCIA BOARD AT GABLE

ATTIC VENTILATION: EXISTING HOUSE:

EXITING ATTIC VENTS TO REMAIN.

NEW GARAGE:

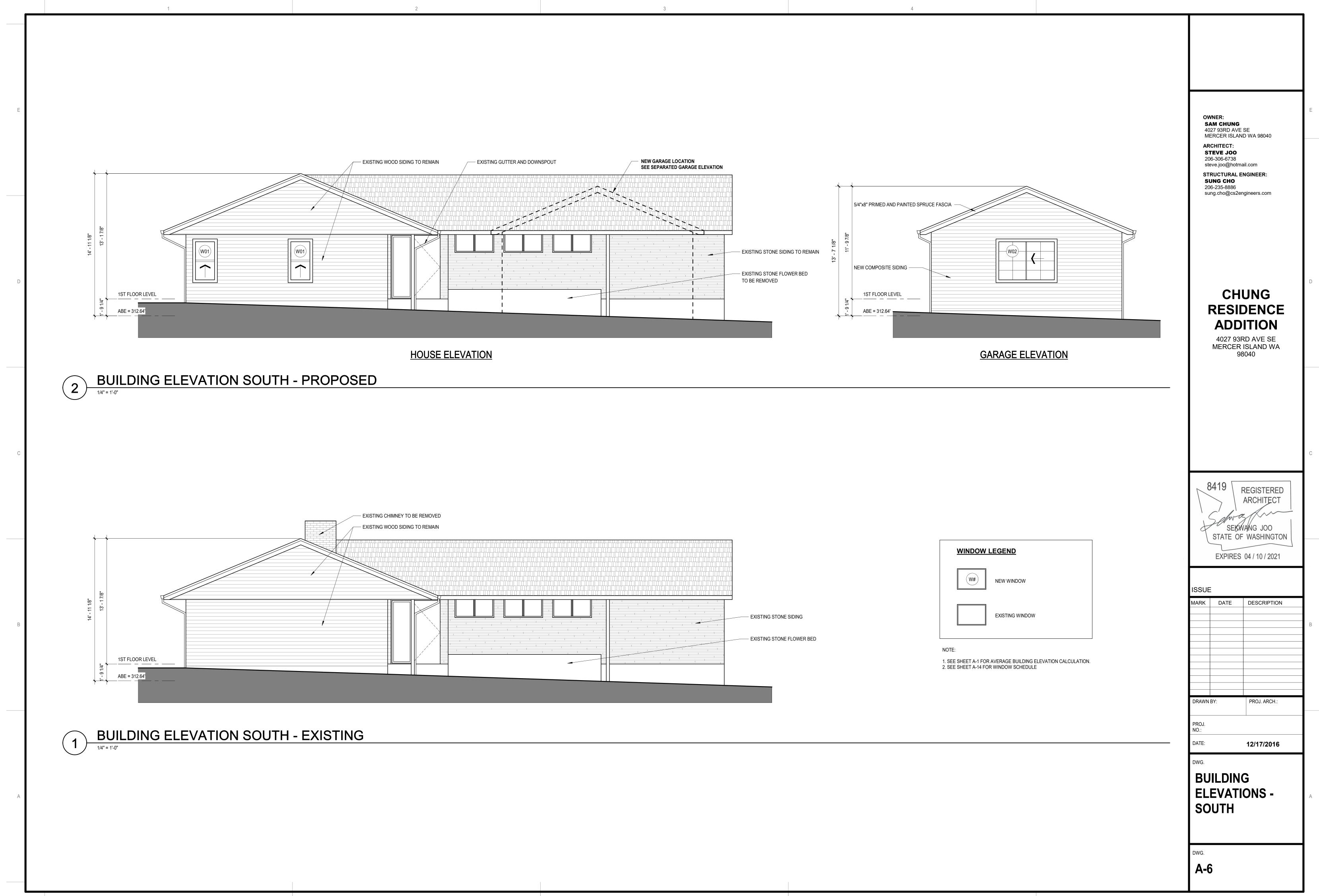
356 SQ. FT.(ATTIC SPACE) X 144/300 = 170.88 SQ. IN.(REQUIRED NET AREA) PROVIDE (10) 7.85 SQ. IN. VENT BLOCKS = 78.5 SQ. IN. PROVIDE (2) AF-50 ROOF JACKS = 100 SQ. IN. IRC SECTION R806.2



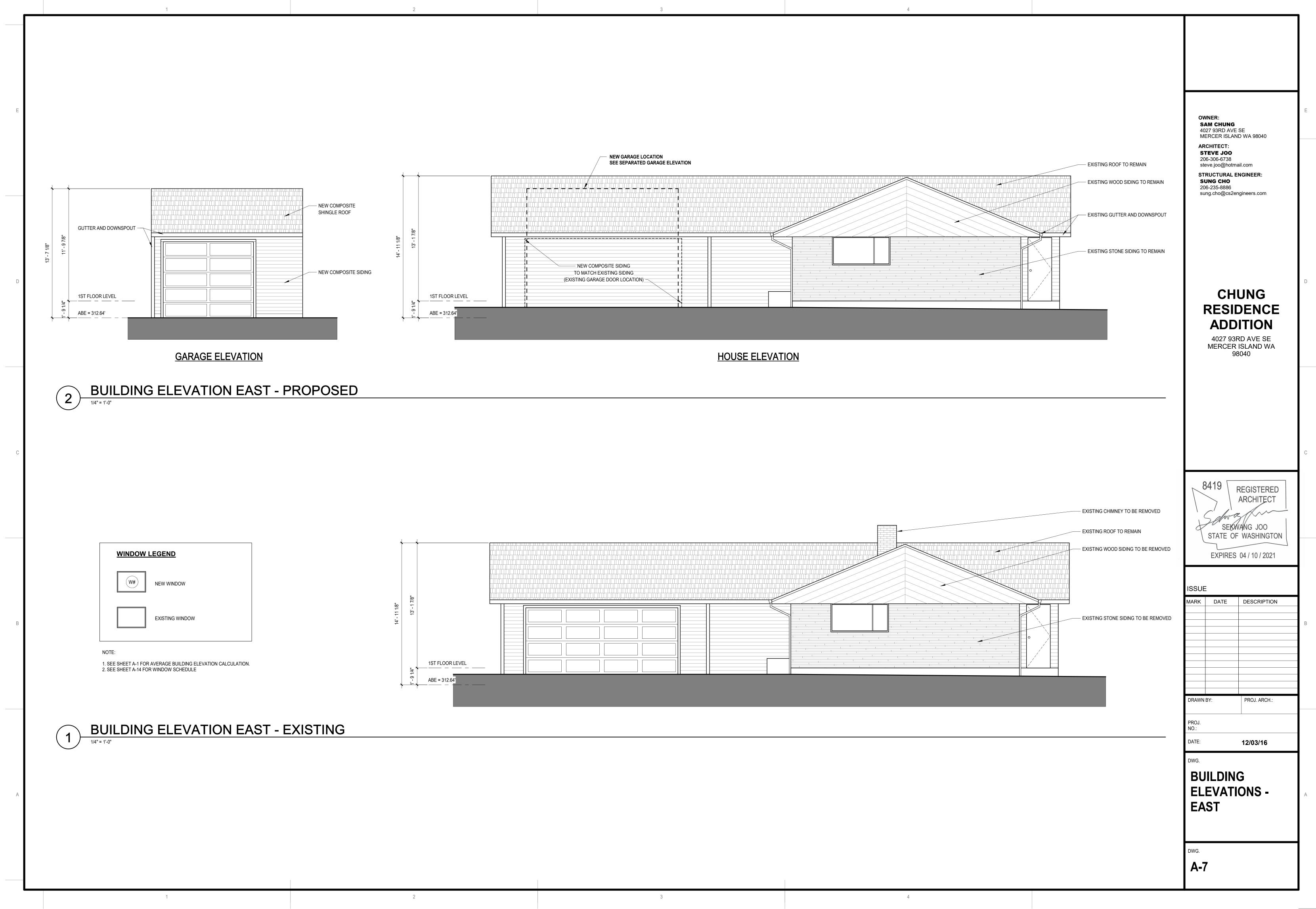
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OWNER: SAM CHUNG 4027 93RD AVE SE MERCER ISLAND WA 98040

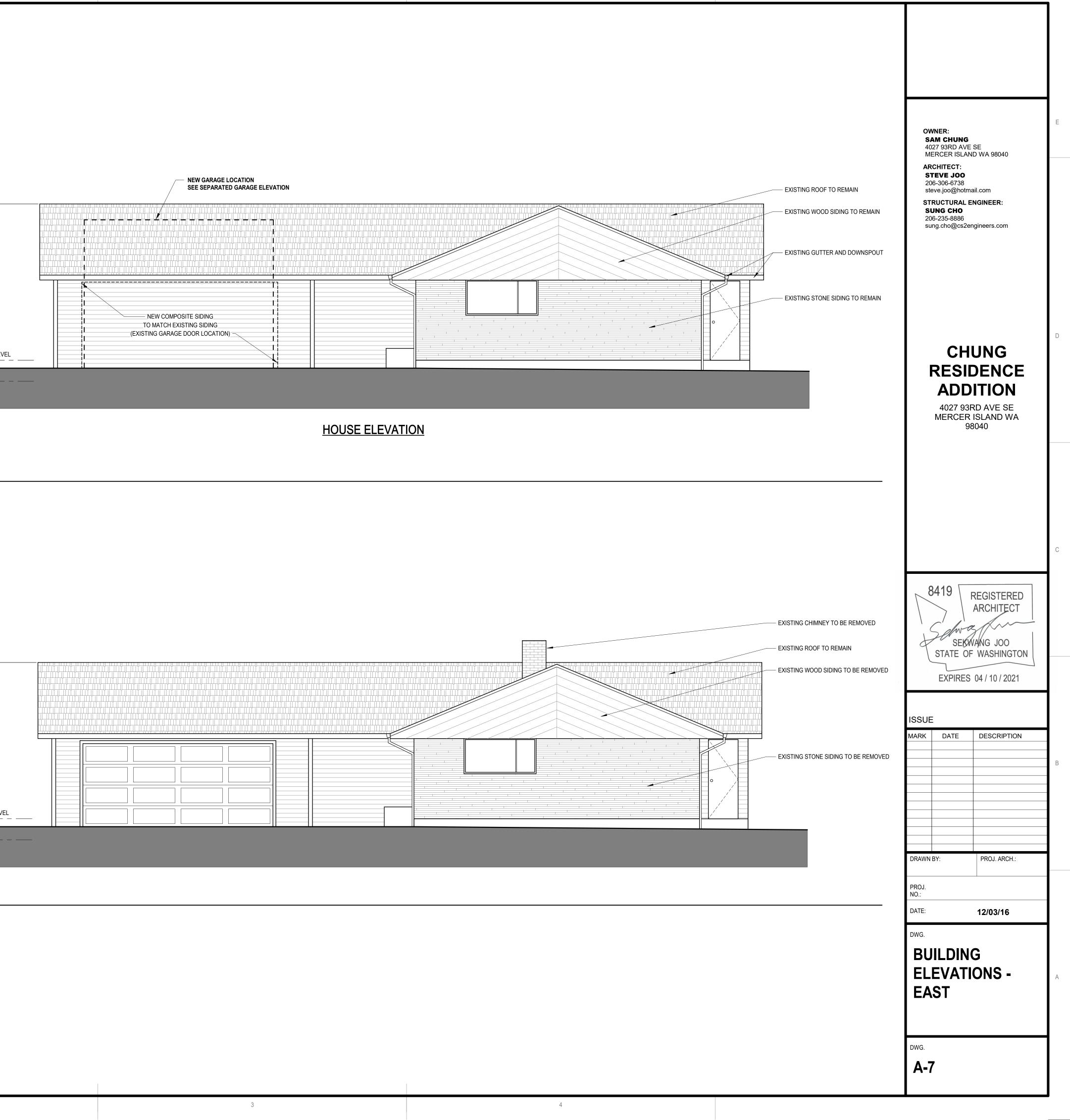
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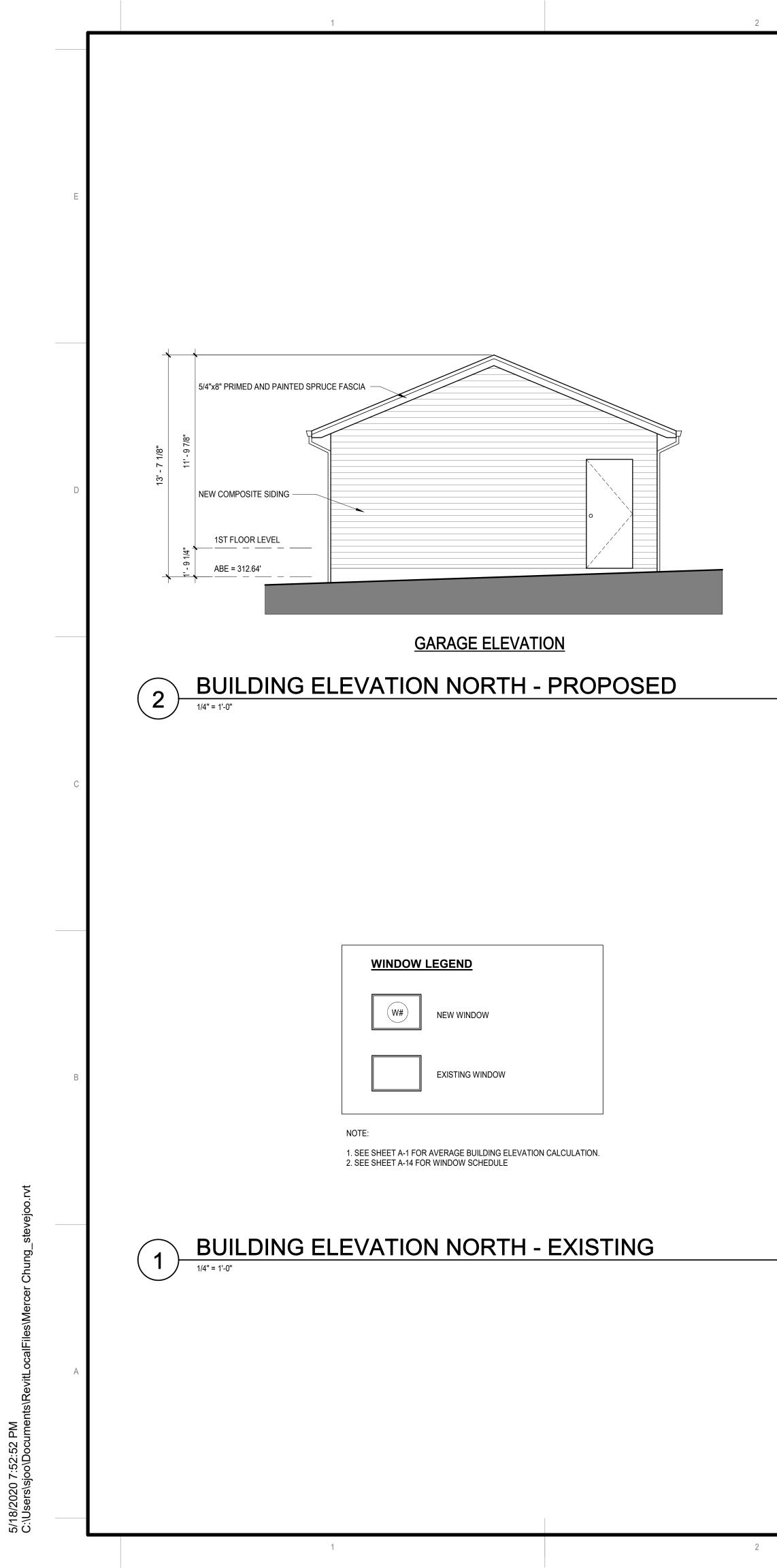


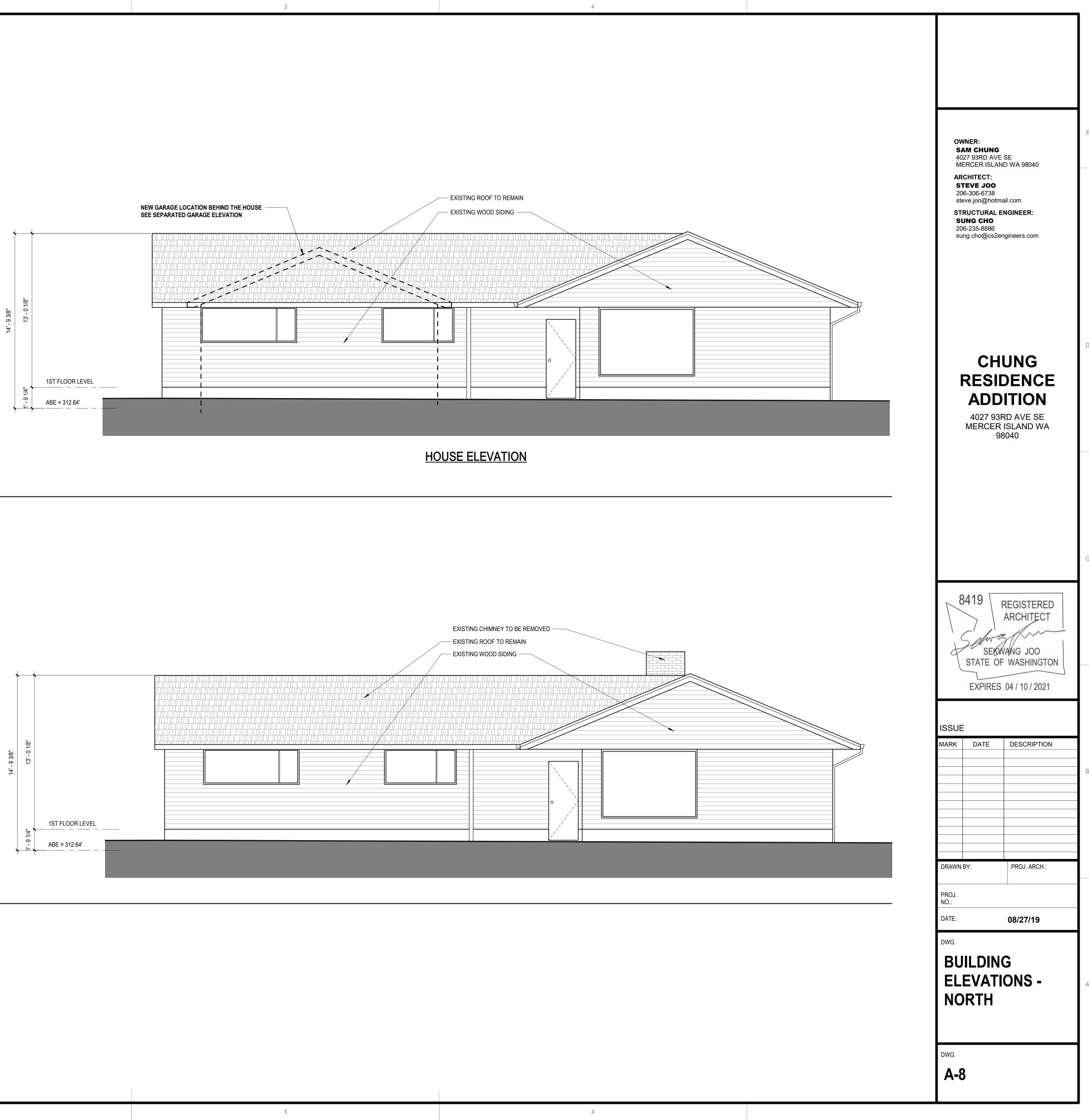
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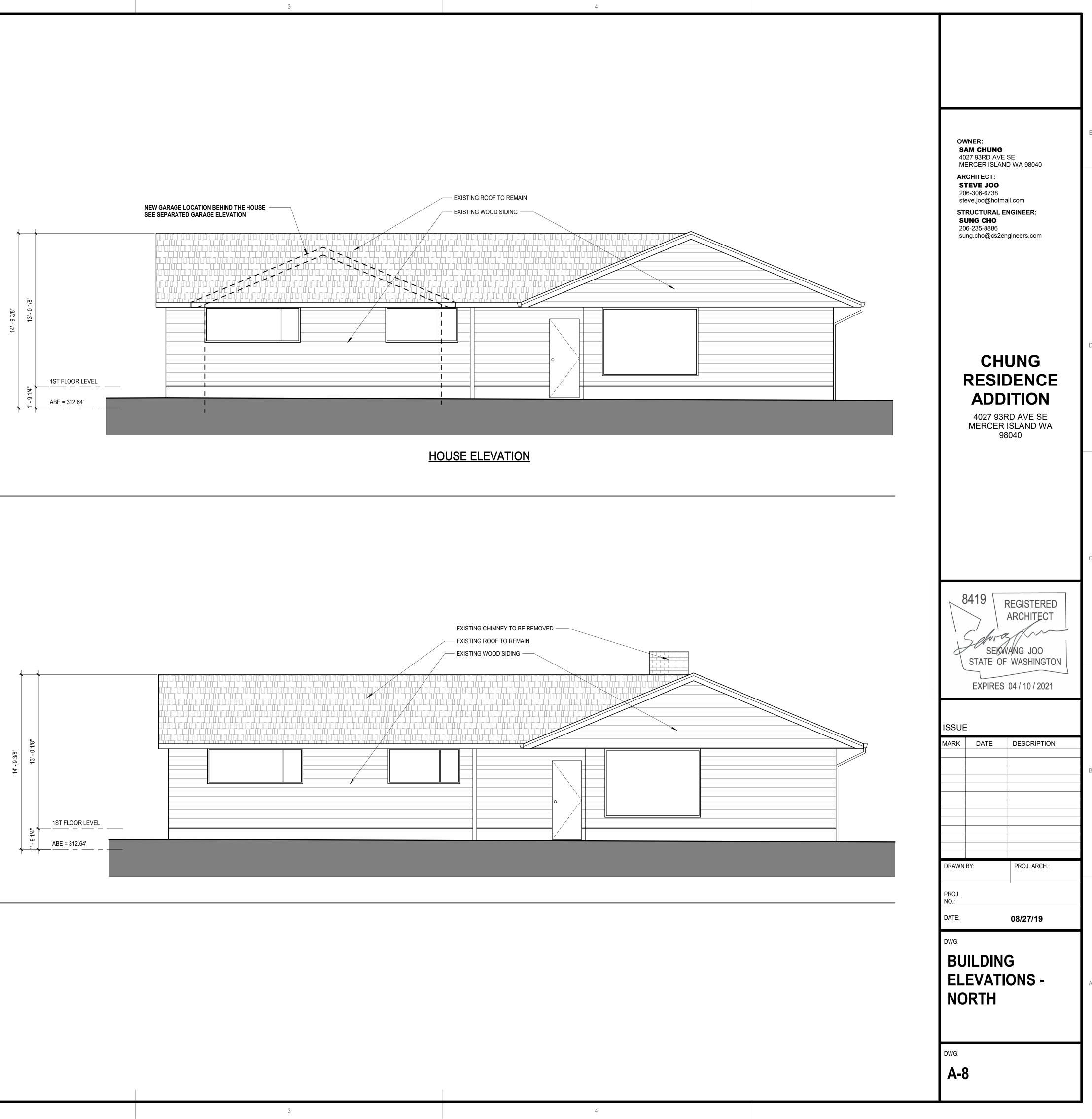


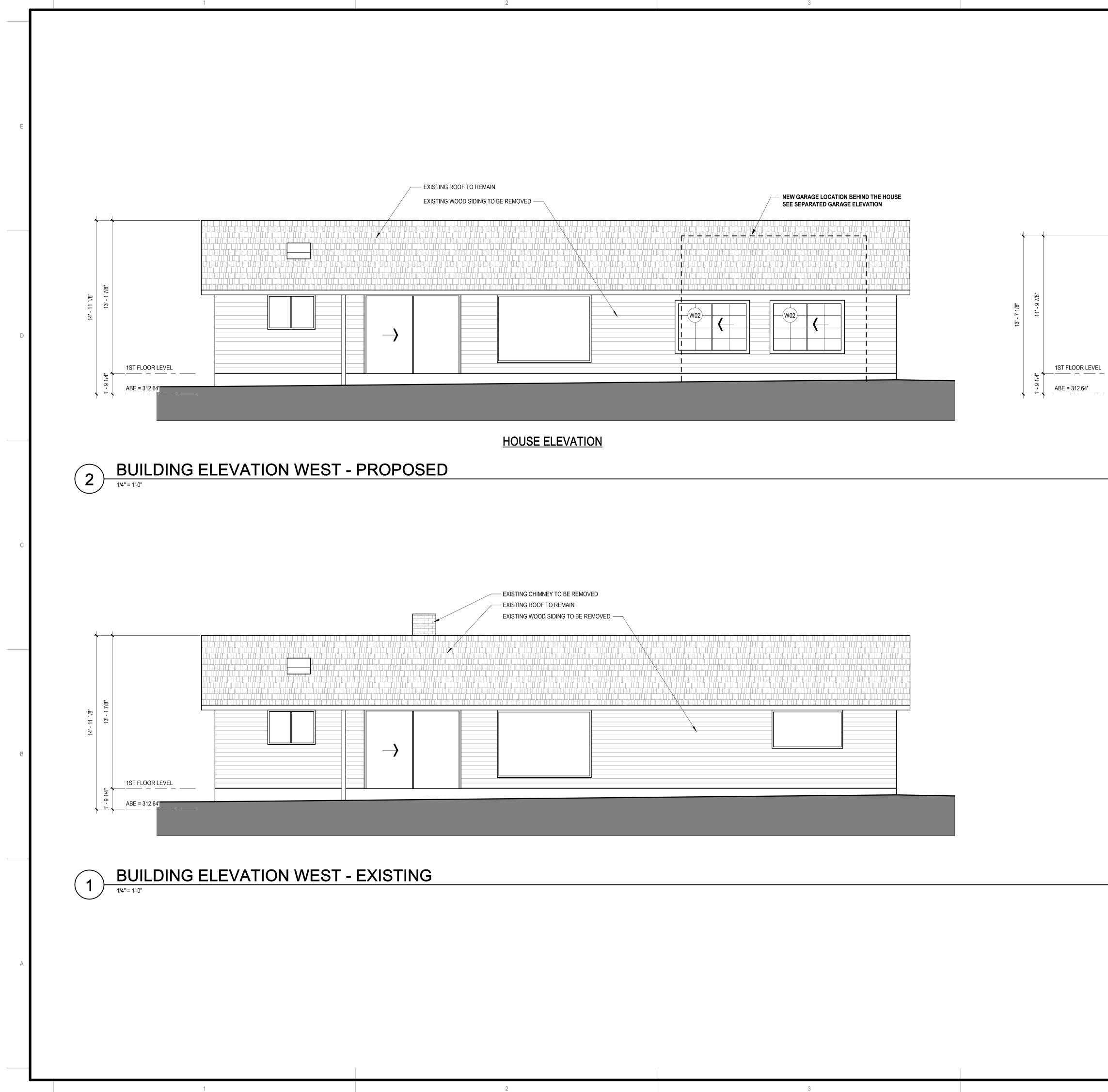
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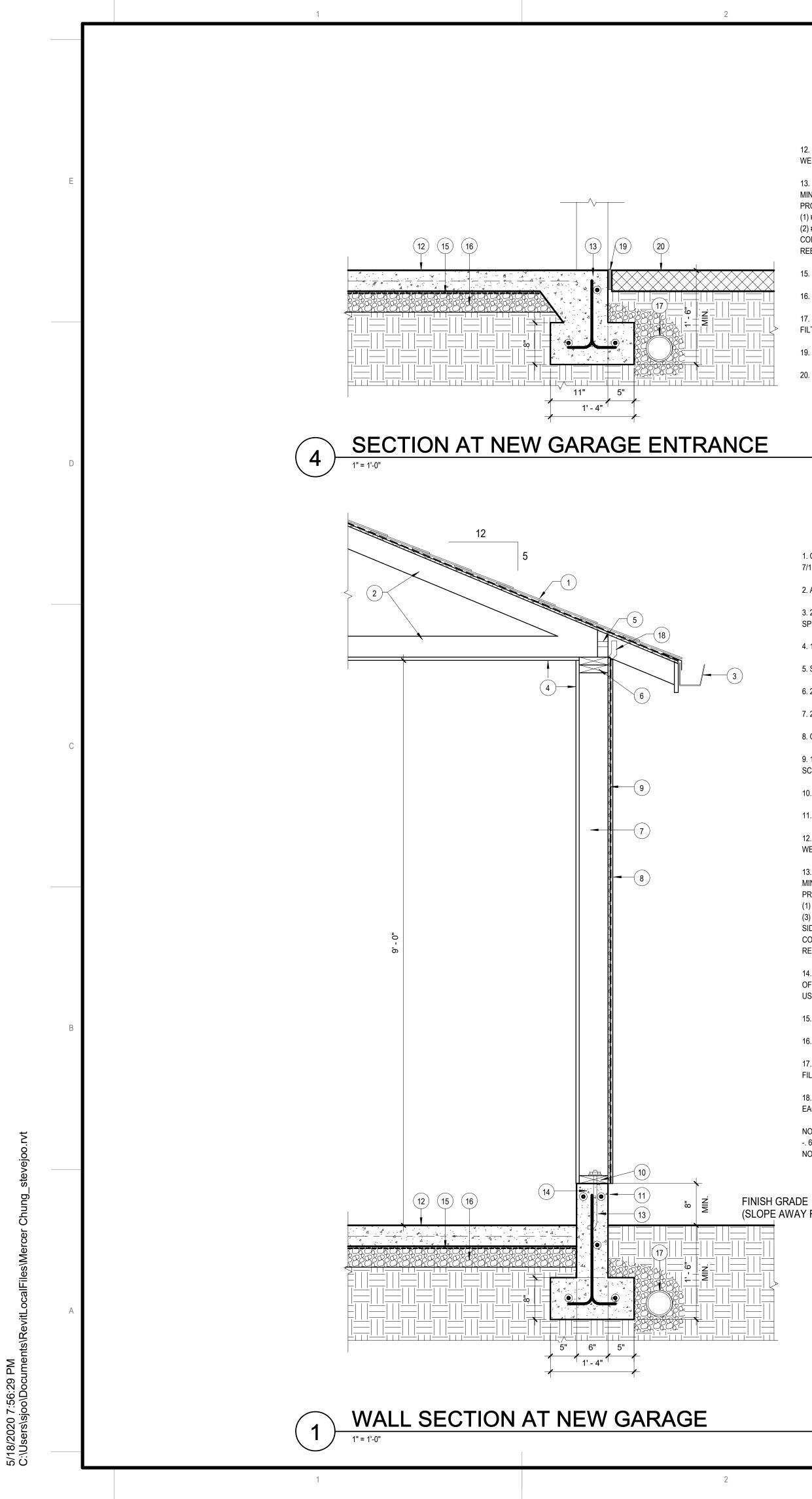






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NEW COMPOSITE SHINGLE ROOF GUTTER AND DOWNSPOUT	S 40 AF S 21 51 S 22 51 51 20	RCHITECT: TEVE JOO 06-306-6738 teve.joo@hotn RUCTURAL UNG CHO 06-235-8886	E SE ND WA 98040 nail.com	E
EARAGE ELEVATION	CHUNG BESIDENCE BADDITION4027 93RD AVE SE MERCER ISLAND WA 98040			
WINDOW LEGEND	N H	SEK	REGISTERED ARCHITECT WANG JOO F WASHINGTON	С
W# NEW WINDOW EXISTING WINDOW EXISTING WINDOW NOTE: 1. SEE SHEET A-1 FOR AVERAGE BUILDING ELEVATION CALCULATION. 2. SEE SHEET A-14 FOR WINDOW SCHEDULE	ISSUI MARK		S 04 / 10 / 2021	E
	EL	JILDIN	PROJ. ARCH.: 08/27/19	Α
4	dwg.	9		



12. 4" CONCRETE SLAB ON GRADE WITH W.W. MESH. SLOPE TO DRAIN FROM WEST TO EAST. SEE PLAN.

13. THICKENED CONCRETE SLAB ON 16""X8" CONCRETE FOOTING. MINIMUM 18" BELOW FINISH GRADE. PROVIDE (1) #4 CONT. BAR IN WALL, (1) #4 VERTICAL BAR AT 12" O.C., (2) #4 HORIZONTAL BARS IN FOOTING

CONCRETE MIX: 5 SACKS, 3000 PSI MINIMUM. REBAR COVER: MINIMUM 3" AT BOTTOM AND TOP, 1 1/2" AT SIDES.

15. 6 MIL. BLACK VISQUEEN VAPOR BARRIER. LAP 12" MIN.

16. 4" COMPACTED WASHED GRAVEL LAYER.

17. 4" DIA. TIGHTLINE ROOF DRAIN W/ 3/4" WASHED DRAIN GRAVEL AND FILTER FABRIC.

19. FOAM FILLER.

20. EXISTING DRIVEWAY.

1. COMPOSITE ROOFING OVER #15 WATERPROOF BUILDING PAPER OVER 7/16" OSB STRUCTURAL 1 RATED SHEATHING ..

2. APPROVED TRUSSES @ 24" O.C. PER ROOF FRAMING PLAN.

3. 26 GA. PRE-PAINTED METAL GUTTERS ON 1"X6" PRIMED AND PAINTED SPRUCE FASCIA BOARD.

4. 1/2" GWB FINISH ON INTERIOR WALLS AND 5/8" GWB ON THE CEILING.

5. SCREENED BLOCKING (TYPICAL).

6. 2X6 TOP PLATES

7. 2X6 STUDS @ 24" O.C. PROVIDE WALL BRACING PER IRC R602.10.3.

8. COMPOSITE SIDING OVER HOUSEWRAP. SEE ELEVATIONS

9. 1/2" CDX PLYWD OR 7/16" OSB SHEATHING. REFER TO SHEAR PANEL SCHEDULE FOR ADDITIONAL NAILING REQUIREMENTS.

10. PRESSURE TREATED 2X6 SILL PLATE.

11. 8" MIN. CLEAR TO DIRT.

12. 4" CONCRETE SLAB ON GRADE WITH W.W. MESH. SLOPE TO DRAIN FROM WEST TO EAST. SEE PLAN.

13. 6" THICK CONCRETE WALL ON 16""X8" THICK CONCRETE FOOTING. MINIMUM 18" BELOW FINISH GRADE. PROVIDE (2) #4 CONT. BARS IN FOOTING,

(1) #4 VERTICAL BAR AT 18" O.C., (3) #4 HORIZONTAL BARS IN WALL - (1) AT SIDE AND (2) AT TOP, ONE EACH

SIDE OF ANCHOR BOLT

CONCRETE MIX: 5 SACKS, 3000 PSI MINIMUM. REBAR COVER: MINIMUM 3" AT BOTTOM AND TOP, 1 1/2" AT SIDES.

14. 5/8" DIA. ANCHOR BOLTS W/ 7" EMBEDMENT @ 4'-0" O.C. AND WITHIN 1'-0" OF PRESSURE TREATED 2X6 SILL ENDS, JOINTS, CORNERS, OPENINGS, ETC. USE 3"X3"X1/4" SQUARE PLATE WASHERS @ EACH BOLT

15. 6 MIL. BLACK VISQUEEN VAPOR BARRIER. LAP 12" MIN.

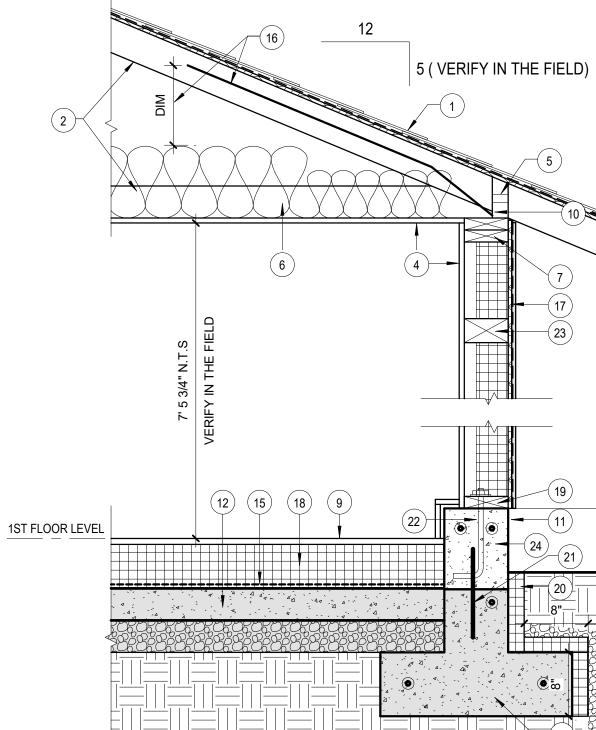
16. 4" COMPACTED WASHED GRAVEL LAYER.

17. 4" DIA. TIGHTLINE ROOF DRAIN W/ 3/4" WASHED DRAIN GRAVEL AND FILTER FABRIC.

18. TRUSS HOLDDOWN: SIMPSON H8 HURRICANE TIE-G90 GALVANIZED AT EACH TRUSS

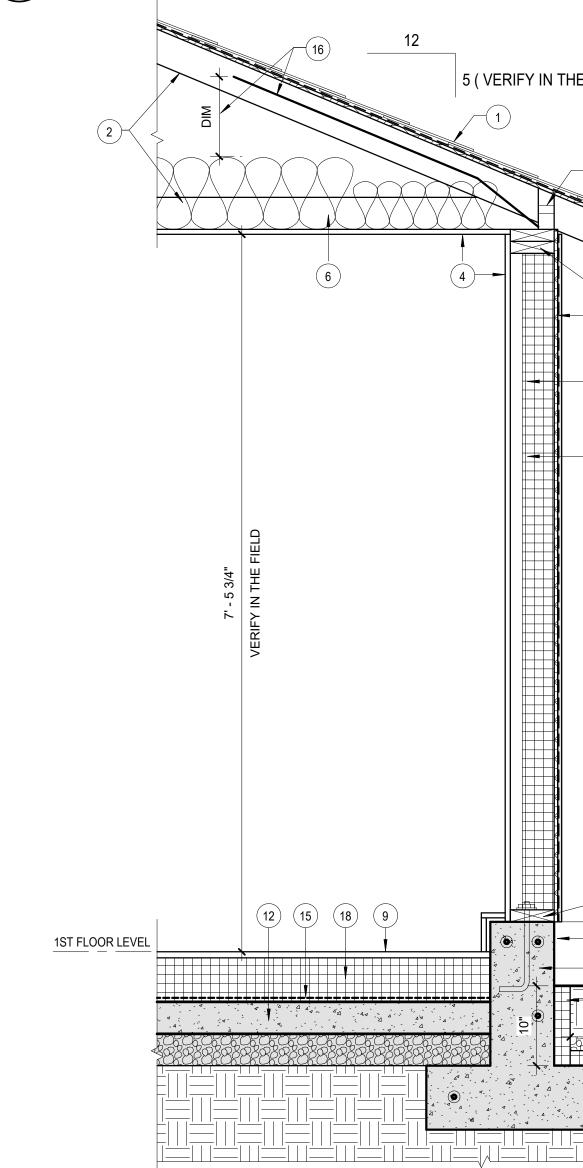
NOTE: -. 6X8 OR 4X10 DF NO. 2 HEADERS AT DOORS AND WINDOWS UNLESS NOTED OTHERWISE.

(SLOPE AWAY FROM FOUNDATION)





1" = 1'-0"



WALL SECTION AT EXISTING G 2 1" = 1'-0"

	22. NEW 5/8" DIA. ANCHOR BOLTS W/ 7" EMBEDMENT @ 4'-0" O.C. AND WITHIN 1'-0" OF PRESSURE TREATED 2X4 SILL ENDS, JOINTS, CORNERS, OPENINGS, ETC.			
	USE 3"X3"X1/4" SQUARE PLATE WASHERS @ EACH BOLT	0\	WNER:	
	23. EXISTING GARAGE DOOR HEADER	-	AM CHUNG	SE
(17)	24. NEW 8" THICK CONCRETE WALL ON EXISTING CONCRETE FOOTING.			ID WA 98040
(23)	PROVIDE (1) #4 VERTICAL BAR AT 18" O.C.,	S	RCHITECT: TEVE JOO	
	(2) #4 HORIZONTAL BARS IN WALL - (2) AT TOP, ONE EACH SIDE OF ANCHOR BOLT		06-306-6738 eve.joo@hotm	ail.com
	CONCRETE MIX: 5 SACKS, 3000 PSI MINIMUM. REBAR COVER: MINIMUM 3" AT BOTTOM AND TOP, 1 1/2" AT SIDES.		RUCTURAL E UNG CHO	NGINEER:
			06-235-8886 ung.cho@cs2e	ngineers.com
19	NOTE: SEE DETAIL 2/A-10 FOR OTHER NOTES NEW 6X8 OR 4X10 DF NO. 2 HEADERS AT DOORS AND WINDOWS UNLESS NOTED OTHERWISE.		Û Û	
	H GRADE PE AWAY FROM FOUNDATION)			
			CH	UNG
			RESI	DENCE
				ITION
GARAGE DOOF	2			RD AVE SE
			MERCER	ISLAND WA
			98	3040
	1. EXISTING COMPOSITE ROOFING OVER OSB SHEATHING.			
HE FIELD)	2. EXISTING TRUSSES.			
	3. EXISTING METAL GUTTERS ON FASCIA BOARD.			
\sim	4. NEW 1/2" GWB FINISH ON INTERIOR WALLS AND 5/8" GWB ON THE CEILING.			
<u>(5)</u>	5. EXISTING SCREENED BLOCKING (TYPICAL).			
	6. NEW R-49 BATT INSULATION AT CEILINGS. INSURE 1" CONTINUOUS AIR SPACE OVER BATTS, VENTS EAVES, AND RIDGES.			
	7. EXISTING 2X4 TOP PLATES		8419 \	
	8. EXISTING 2X4 STUDS		5419	REGISTERED
(17)	9. NEW 3/4" UL GRADE T&G PLYWOOD.		\sum	ARCHITECT
\frown	10. NEW R-21 RIGID INSULATION.		Solwa	z
(8)	11. 8" MIN. CLEAR TO DIRT.	Ŧ		VANG JOO WASHINGTON
	12. EXISTING CONCRETE SLAB ON GRADE (GRAY HATCHED).			WASHINGTON
	13. EXISTING CONCRETE FOUNDATION WALL ON CONCRETE FOOTING (GRAY HATCHED).		EXPIRES	04 / 10 / 2021
	14. EXISTING ROOF DRAIN.			
	15. NEW 6 MIL. BLACK VISQUEEN VAPOR BARRIER. LAP 12" MIN.	ISSU		1
	16. NEW WIND BAFFLE BETWEEN EACH TRUSS SPACE. (12" ABOVE BLOWN AND 6" ABOVE BATT)	MARK	DATE 04/29/2017	DESCRIPTION STRUCTURAL REVIEW
	17. EXISTING WOOD SIDING.			
	18. NEW PRESSURE TREATED 2X6 AT 16" O.C. W/ RIGID INSULATION IN BETWEEN, R-28 MINIMUM AT THE HIGHEST ELEVATION OF EXISTING SLAB, R-42 AT THE LOWEST. CUT 2X6 AND MATCH SLOPE OF EXISTING SLAB FOR			
	19. EXISTING PRESSURE TREATED 2X4 SILL PLATE.			
	20. NEW R-10 REGID INSULATION, 24" IN LENGTH MINIMUM	DRAWN	BY.	PROJ. ARCH.:
	NOTE: NEW 6X8 OR 4X10 DF NO. 2 HEADERS AT DOORS AND WINDOWS UNLESS	DIAWN		
	NOTED OTHERWISE.	PROJ.		
19		NO.:		
	H GRADE	DATE:		12/17/2016
	PE AWAY FROM FOUNDATION)	DWG.		
		WALL SECTIONS		
		DWG.		
GARAGE			10	
		A-′	IU	

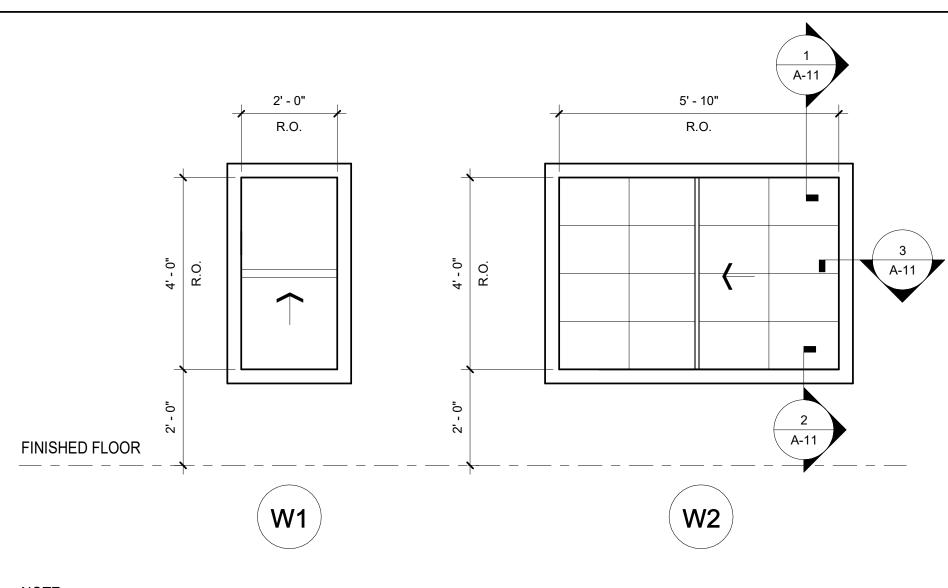
(5)

19. NEW PRESSURE TREATED 2X4 SILL PLATE.

EPOXY

21. NEW #4 BAR. EMBED 6" INTO EXISTING FOOTING. STRONG-TIE SET-XP

WINDOW SCHEDULE



NOTE:

1. VINYL FRAME WINDOWS, JELD-WEN V-4500 SERIES, INSULATED LOW-E CLEAR FLOAT, DOUBLE PANE, AIR FILLED, FRAME COLOR: WHITE, TARGET U-VALUE < 0.3 SEE 5, 6 & 7/ A-14 FOR WINDOW DETAILS

2. TEMPERED GLASS REQUIREMENT: PER IRC R308.4.3 GLAZING IN WINDOWS, GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. -. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET, AND

-. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR, AND -. THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR, AND

-. ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE



