
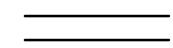
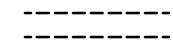
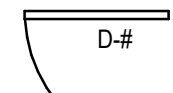




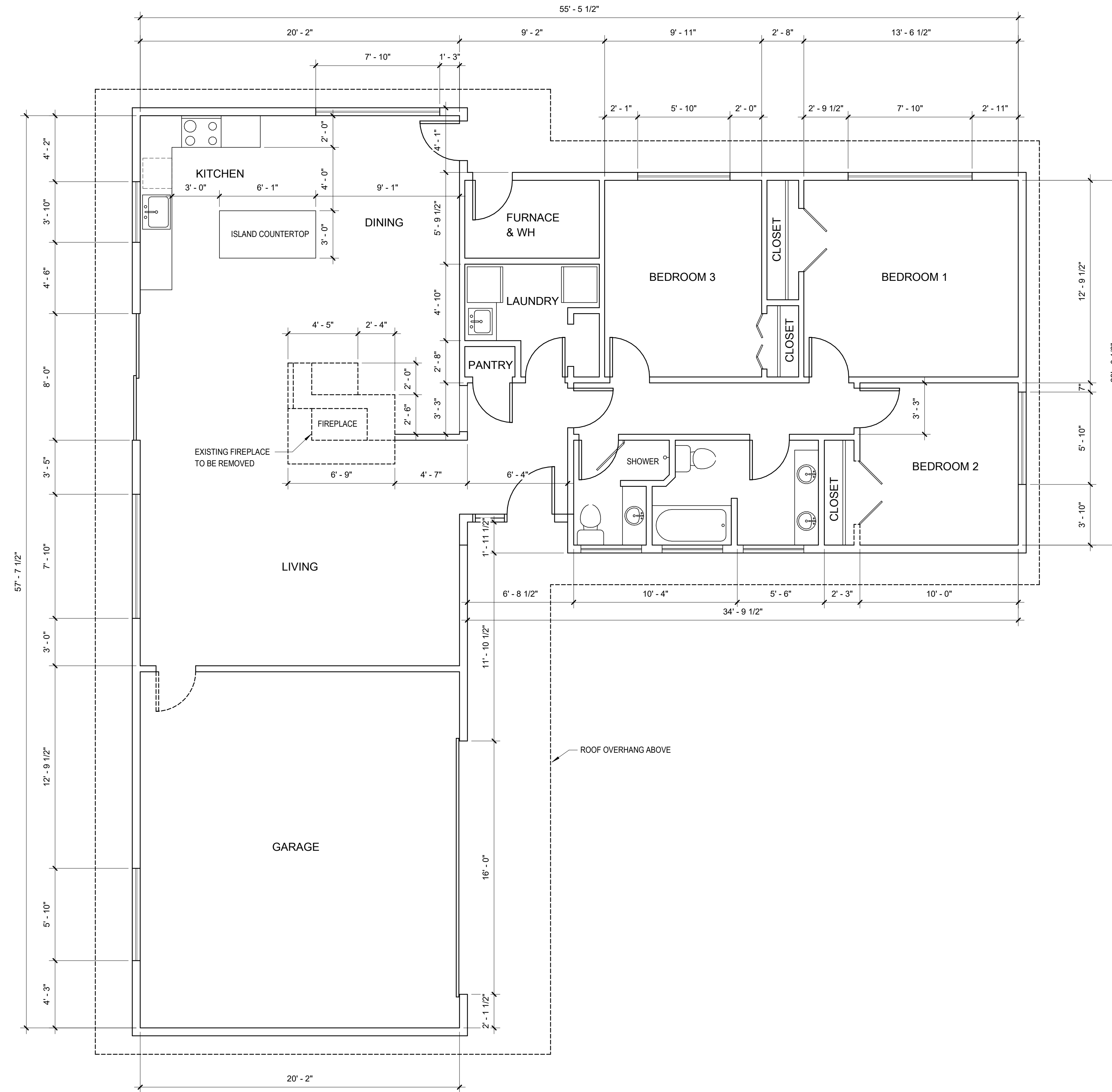
NOTE:
THE CONSTRUCTION DOCUMENTS REPRESENTED HEREIN ARE BASED ON NON-INVASIVE SITE OBSERVATION OF THE EXISTING STRUCTURAL CONDITIONS OF THE PROPOSED PROJECT. AS A RESULT, IN CERTAIN INSTANCES, DESIGN ASSUMPTIONS WERE USED TO FORMULATE THE COMPATIBILITY OF THE NEW CONSTRUCTION WITH THE EXISTING STRUCTURAL ELEMENTS. DURING THE COURSE OF CONSTRUCTION, IT IS POSSIBLE THAT CONDITIONS MAY BE ENCOUNTERED THAT DO NOT COINCIDE WITH THE DESIGN ASSUMPTIONS AND MAY REQUIRE FURTHER STRUCTURAL REVIEW TO DETERMINE ADEQUACY. THE BUILDER SHALL BE OBSERVANT OF THESE CONDITIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING FURTHER WITH THE WORK.

GENERAL NOTES

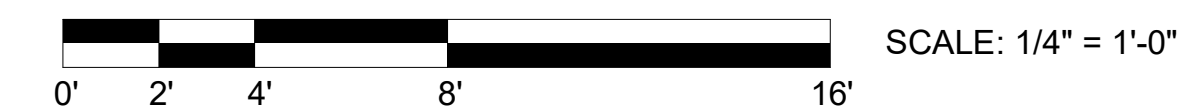
- VERIFY IN THE FIELD ALL DIMENSIONS OF EXISTING CONDITION
- CONSTRUCTION TO COMPLY WITH THE 2015 IRC
- NEW 2X6 EXTERIOR STUD WALLS @ 24" O.C. STACKED FRAMED
- NEW 2X4 INTERIOR STUD WALLS @ 16" O.C. UNLESS NOTED OTHERWISE
- BEARING AND HEADERS TO BE 6X8 #2 DF OR 4X10 #2 DF FURRED-OUT
- FIREBLOCK ALL PLUMBING PENETRATIONS
- PROVIDE SOLID BLOCKING OVER BEAMS & BEARING WALLS
- ALL HANGER TO BE SIMPSON OR EQUAL
- BEDROOMS TO HAVE AT LEAST ONE OPERABLE WINDOW NET CLEAR OPENING OF 5.7 SQ. FT. MIN. WITH A NET CLEAR OPENING HT. OF 24" MIN. AND NET CLEAR OPENING WIDTH OF 20" MIN. AND A FINISHED SILL HEIGHT OF NOT MORE THAN 44" ABOVE FINISH FLOOR.
- FIREPLACES AND STOVES MUST BE D.O.E. APPROVED AND BE TESTED, CERTIFIED & LABELED AS SUITABLE FOR USE DURING A FIRST STAGE BURN BAN
- ALL LUMBER EXPOSED TO WEATHER OR CONCRETE TO BE PRESSURE TREATED OR CEDAR

PLAN LEGEND

-  NEW CONSTRUCTION
-  EXISTING WALL TO REMAIN
-  EXISTING WALLS AND WINDOWS TO BE REMOVED AND OR MODIFIED
-  NEW DOOR
-  EXISTING DOOR
-  EXISTING DOOR TO BE REMOVED AND OR MODIFIED



1 EXISTING FLOOR PLAN
1/4" = 1'-0"



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DATE: **12/17/2016**

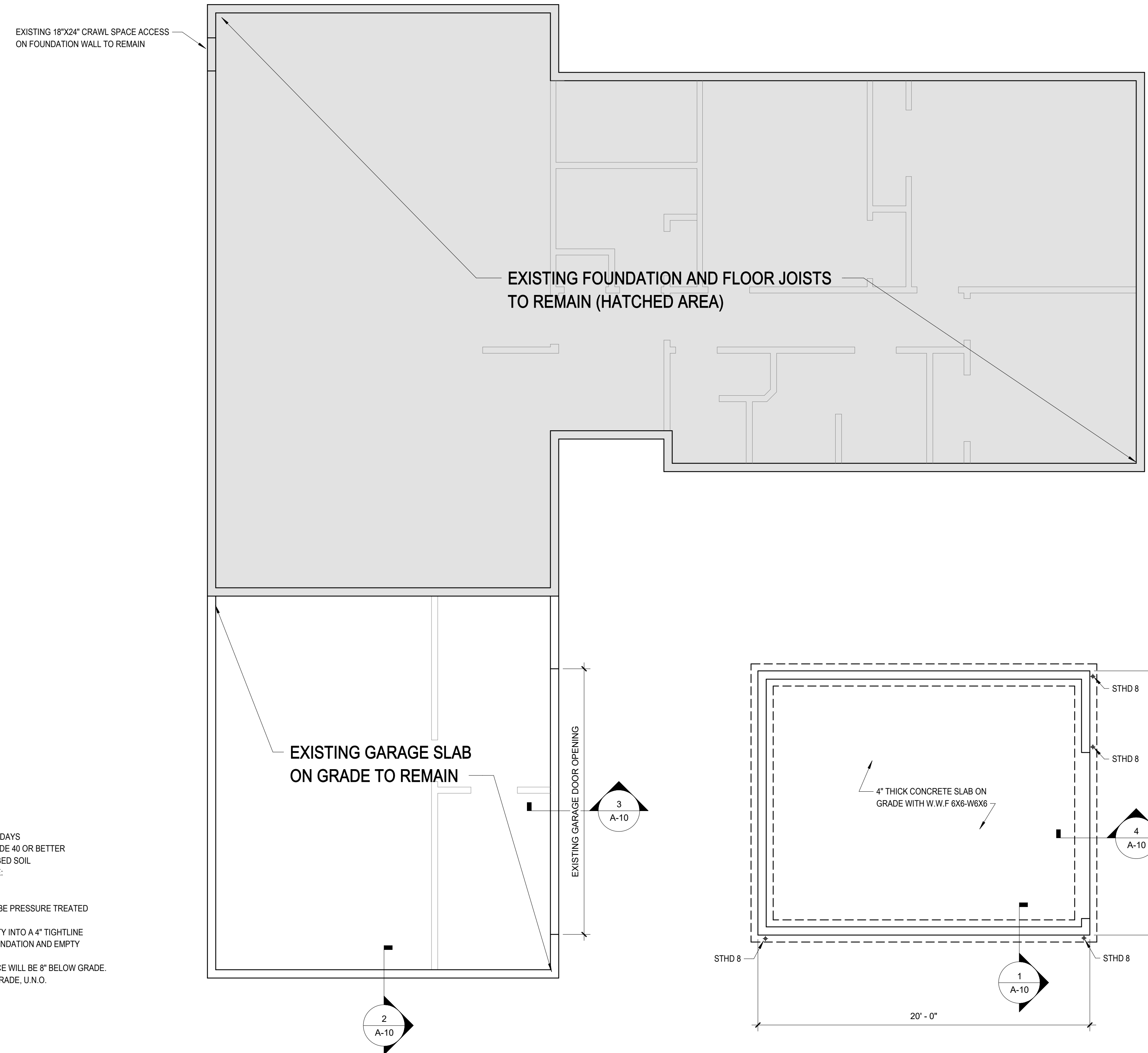
DWG.

EXISTING FLOOR PLAN

DWG.

A-2

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- FOUNDATION NOTES:**
- CONCRETE TO BE 5 SACK F_c=3,000 PSI @ 28 DAYS
 - REINFORCING STEEL TO BE ASTM A-615 GRADE 40 OR BETTER
 - FOOTINGS TO REST ON 1,500 PSI UNDISTURBED SOIL
 - MIN. CONCRETE COVERAGE OF STEEL TO BE:
 3" CLEAR @ BOTTOM OF FOOTINGS
 1 1/2" CLEAR @ SIDE OF WALLS
 - ALL LUMBER IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED
 - PROVIDE SOLID BLOCKING OVER SUPPORTS
 - ALL ROOF DRAIN DOWNSPOUTS SHALL EMPTY INTO A 4" TIGHTLINE THAT SHALL RUN THE PERIMETER OF THE FOUNDATION AND EMPTY IN AN APPROVED MANNER
 - FOOTINGS LOCATED INSIDE OF CRAWL SPACE WILL BE 8" BELOW GRADE. EXTERIOR FOOTINGS TO BE 18" MIN. BELOW GRADE, U.N.O.

1 FOUNDATION PLAN
 1/4" = 1'-0"

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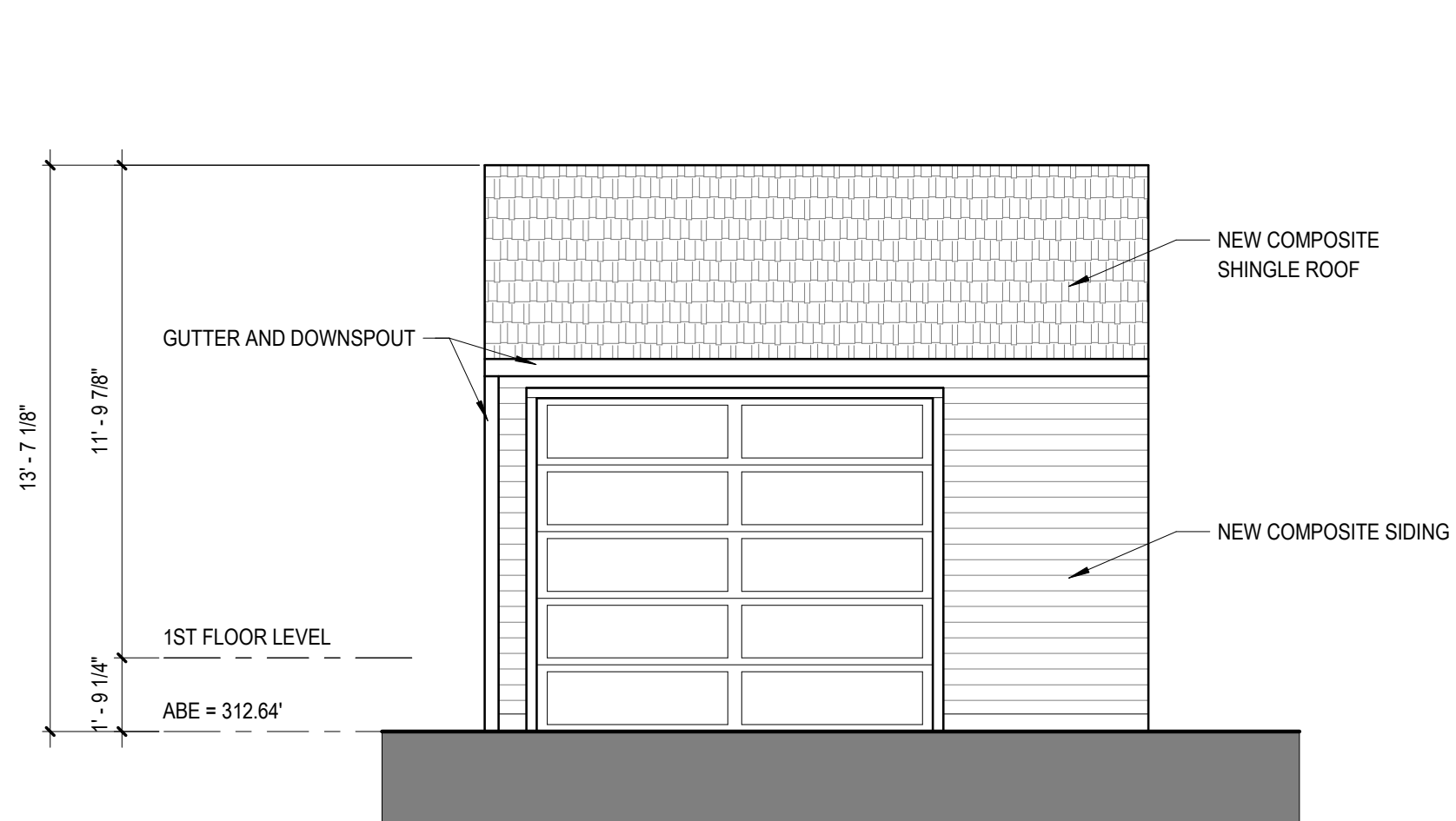
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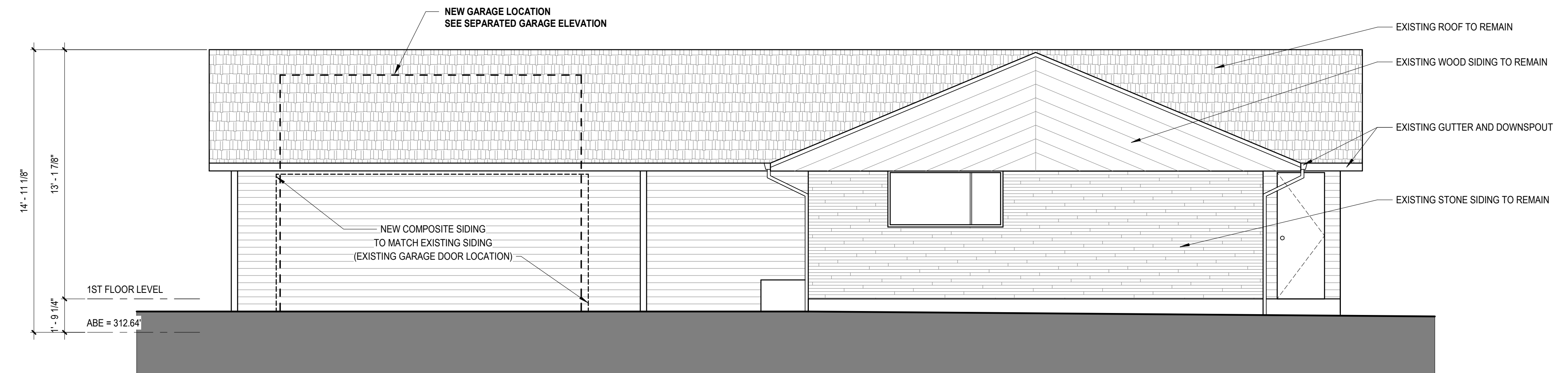
DATE: **3/15/2017**

DWG.
FOUNDATION PLAN

DWG.
A-4



GARAGE ELEVATION



HOUSE ELEVATION

2 BUILDING ELEVATION EAST - PROPOSED
1/4" = 1'-0"

WINDOW LEGEND

NEW WINDOW

EXISTING WINDOW

NOTE:
1. SEE SHEET A-1 FOR AVERAGE BUILDING ELEVATION CALCULATION.
2. SEE SHEET A-14 FOR WINDOW SCHEDULE



1 BUILDING ELEVATION EAST - EXISTING
1/4" = 1'-0"

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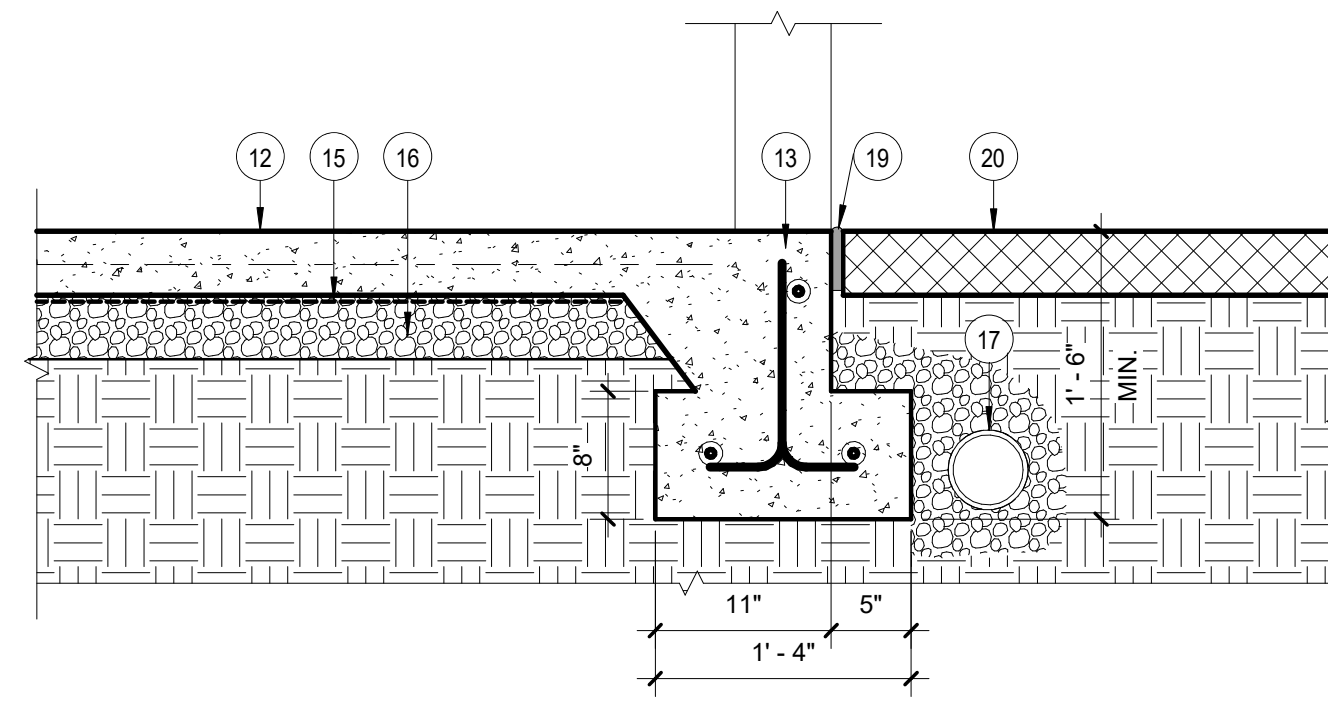
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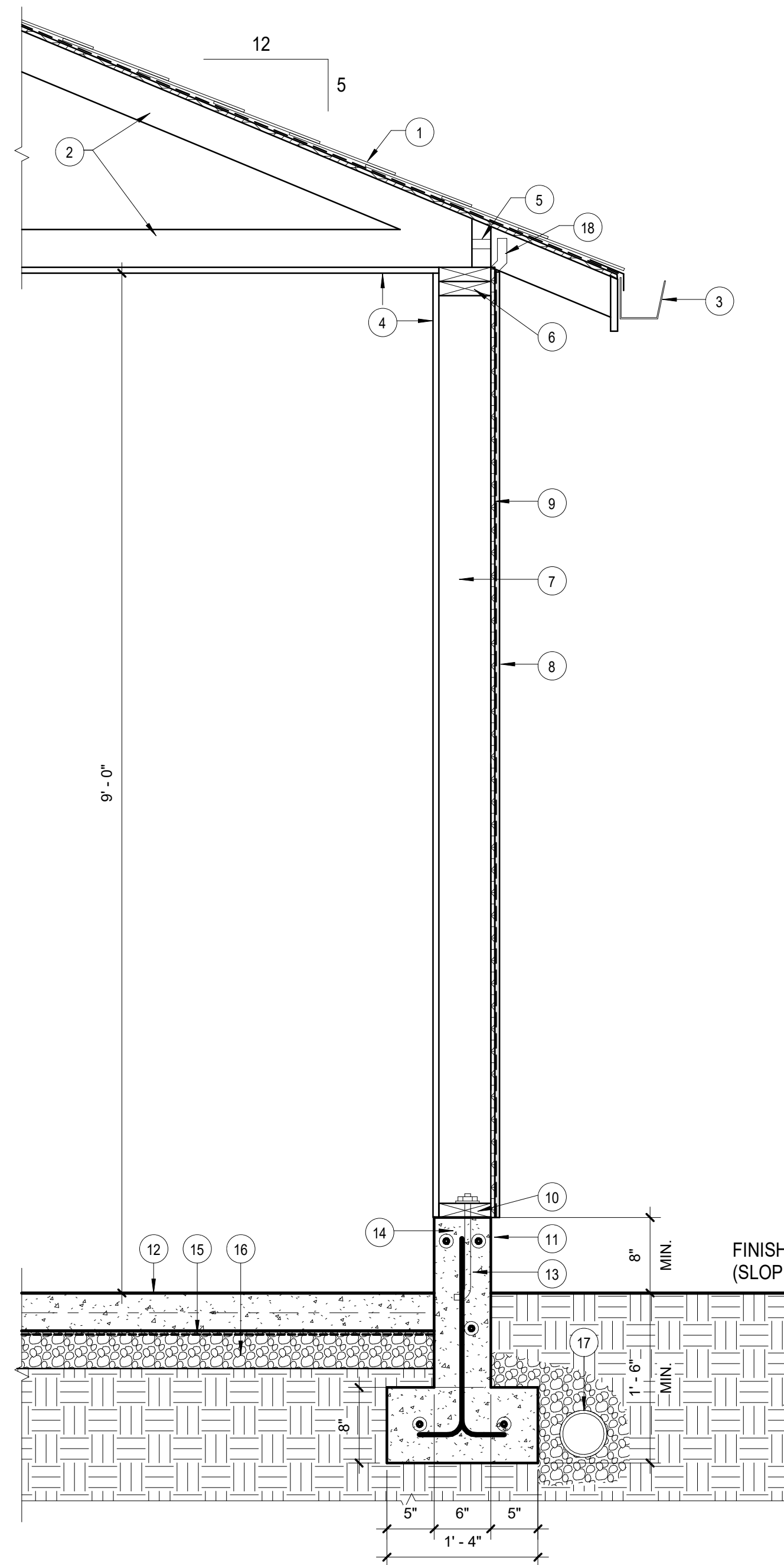
DWG. **BUILDING ELEVATIONS - EAST**

DWG. **A-7**



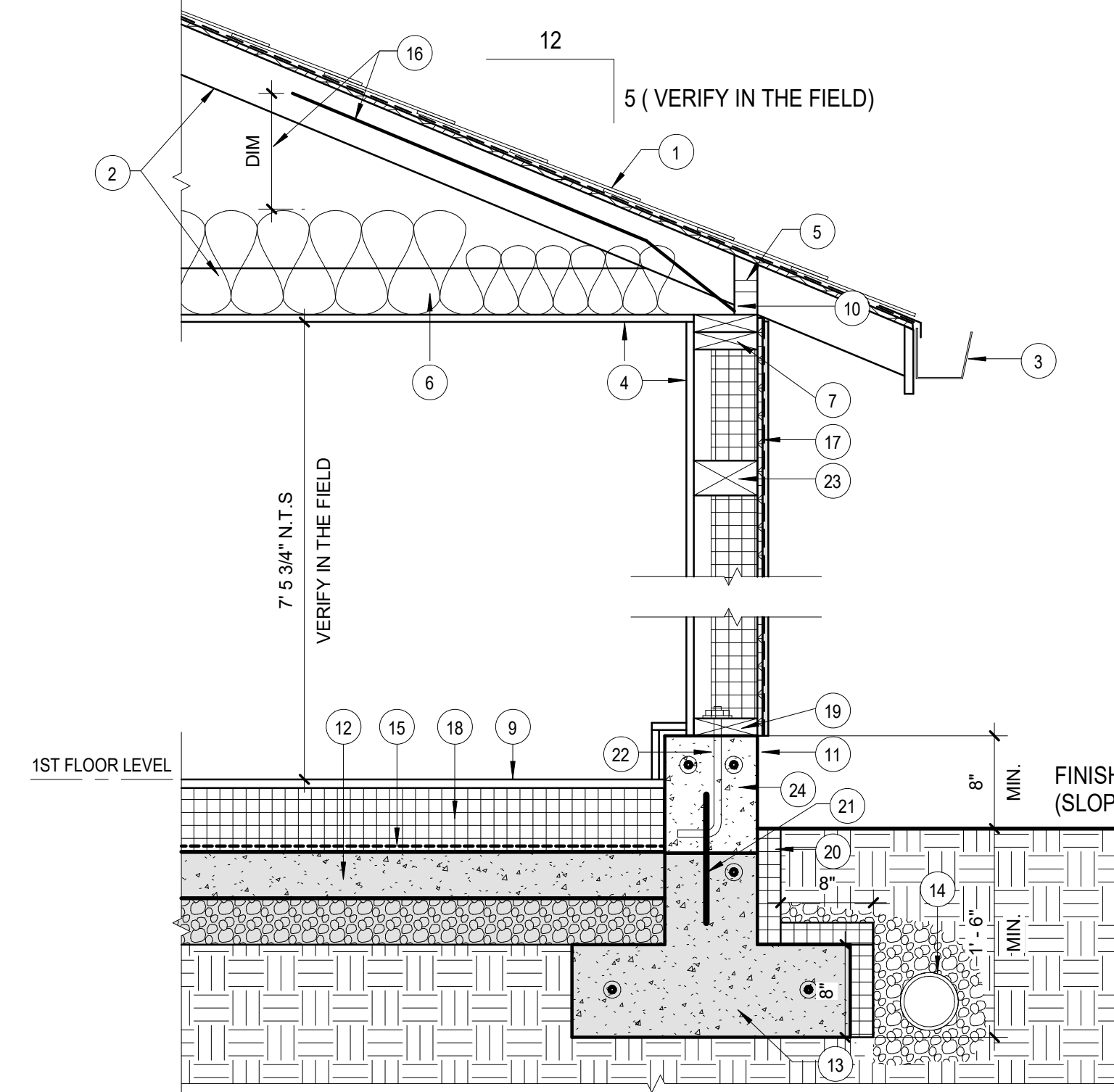
4 SECTION AT NEW GARAGE ENTRANCE
1" = 1'-0"

12. 4" CONCRETE SLAB ON GRADE WITH W.W. MESH. SLOPE TO DRAIN FROM WEST TO EAST. SEE PLAN.
13. THICKENED CONCRETE SLAB ON 16"x8" CONCRETE FOOTING. MINIMUM 18" BELOW FINISH GRADE. PROVIDE (1) #4 CONT. BAR IN WALL, (1) #4 VERTICAL BAR AT 12" O.C., (2) #4 HORIZONTAL BARS IN FOOTING. CONCRETE MIX: 5 SACKS, 3000 PSI MINIMUM. REBAR COVER: MINIMUM 3" AT BOTTOM AND TOP, 1 1/2" AT SIDES.
15. 6 MIL. BLACK VISQUEEN VAPOR BARRIER. LAP 12" MIN.
16. 4" COMPACTED WASHED GRAVEL LAYER.
17. 4" DIA. TIGHTLINE ROOF DRAIN W/ 3/4" WASHED DRAIN GRAVEL AND FILTER FABRIC.
19. FOAM FILLER.
20. EXISTING DRIVEWAY.



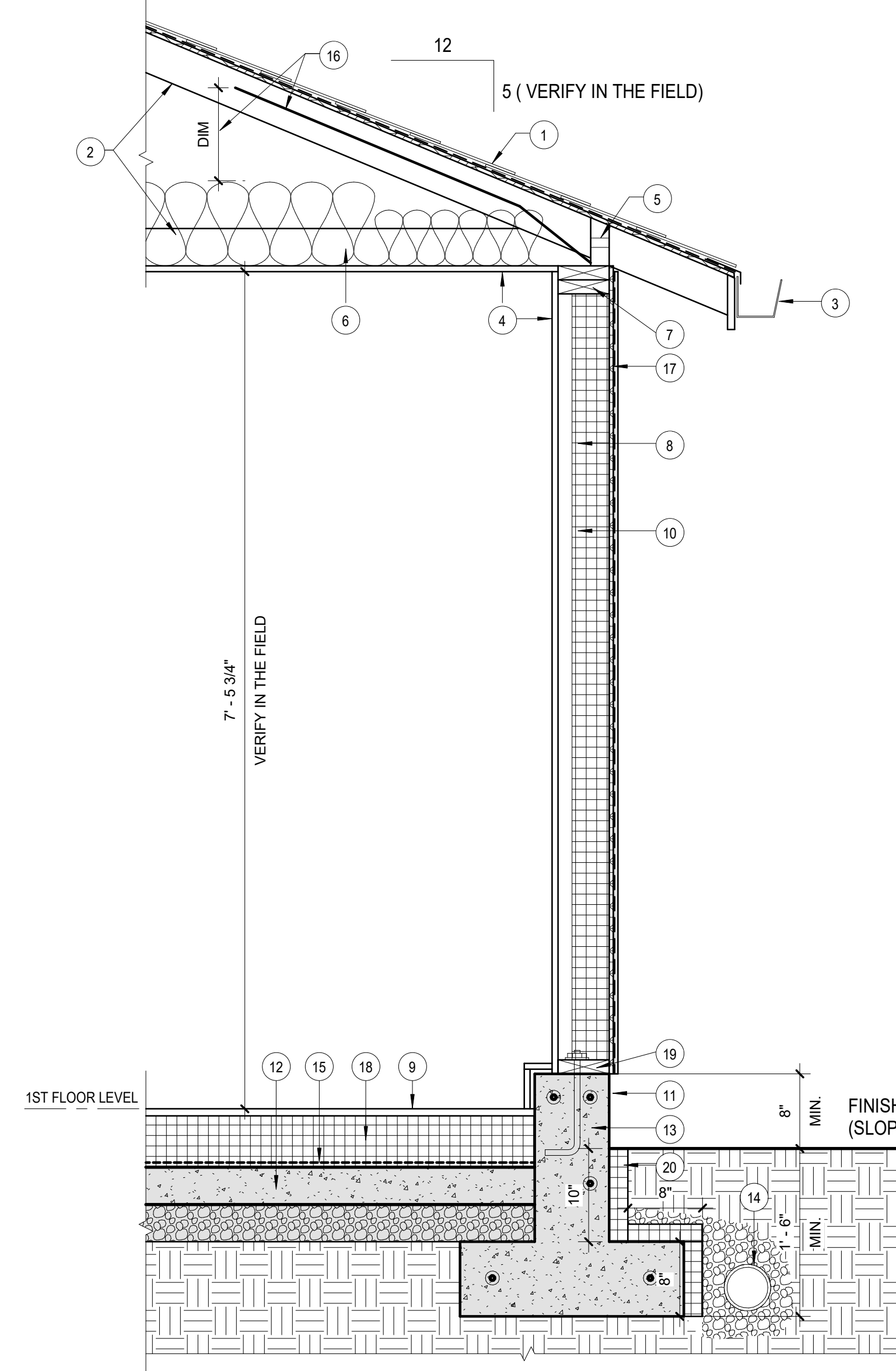
1 WALL SECTION AT NEW GARAGE
1" = 1'-0"

1. COMPOSITE ROOFING OVER #15 WATERPROOF BUILDING PAPER OVER 7/16" OSB STRUCTURAL 1 RATED SHEATHING.
 2. APPROVED TRUSSES @ 24" O.C. PER ROOF FRAMING PLAN.
 3. 26 GA. PRE-PAINTED METAL GUTTERS ON 1"x6" PRIMED AND PAINTED SPRUCE FASCIA BOARD.
 4. 1/2" GWB FINISH ON INTERIOR WALLS AND 5/8" GWB ON THE CEILING.
 5. SCREENED BLOCKING (TYPICAL).
 6. 2X6 TOP PLATES
 7. 2X6 STUDS @ 24" O.C. PROVIDE WALL BRACING PER IRC R602.10.3.
 8. COMPOSITE SIDING OVER HOUSEWRAP. SEE ELEVATIONS
 9. 1/2" CDX PLYWD OR 7/16" OSB SHEATHING. REFER TO SHEAR PANEL SCHEDULE FOR ADDITIONAL NAILING REQUIREMENTS.
 10. PRESSURE TREATED 2X6 SILL PLATE.
 11. 8" MIN. CLEAR TO DIRT.
 12. 4" CONCRETE SLAB ON GRADE WITH W.W. MESH. SLOPE TO DRAIN FROM WEST TO EAST. SEE PLAN.
 13. 6" THICK CONCRETE WALL ON 16"x8" THICK CONCRETE FOOTING. MINIMUM 18" BELOW FINISH GRADE. PROVIDE (2) #4 CONT. BARS IN FOOTING, (1) #4 VERTICAL BAR AT 18" O.C., (3) #4 HORIZONTAL BARS IN WALL - (1) AT SIDE AND (2) AT TOP, ONE EACH SIDE OF ANCHOR BOLT. CONCRETE MIX: 5 SACKS, 3000 PSI MINIMUM. REBAR COVER: MINIMUM 3" AT BOTTOM AND TOP, 1 1/2" AT SIDES.
 14. 5/8" DIA. ANCHOR BOLTS W/ 7" EMBEDMENT @ 4'-0" O.C. AND WITHIN 1'-0" OF PRESSURE TREATED 2X6 SILL ENDS, JOINTS, CORNERS, OPENINGS, ETC. USE 3"x3"x1/4" SQUARE PLATE WASHERS @ EACH BOLT
 15. 6 MIL. BLACK VISQUEEN VAPOR BARRIER. LAP 12" MIN.
 16. 4" COMPACTED WASHED GRAVEL LAYER.
 17. 4" DIA. TIGHTLINE ROOF DRAIN W/ 3/4" WASHED DRAIN GRAVEL AND FILTER FABRIC.
 18. TRUSS HOLDDOWN: SIMPSON H8 HURRICANE TIE-G90 GALVANIZED AT EACH TRUSS
- NOTE:
- 6X8 OR 4X10 DF NO. 2 HEADERS AT DOORS AND WINDOWS UNLESS NOTED OTHERWISE.



3 WALL SECTION AT EXISTING GARAGE DOOR OPENING INFILL
1" = 1'-0"

19. NEW PRESSURE TREATED 2X4 SILL PLATE.
 21. NEW #4 BAR, EMBED 6" INTO EXISTING FOOTING. STRONG-TIE SET-XP EPOXY
 22. NEW 5/8" DIA. ANCHOR BOLTS W/ 7" EMBEDMENT @ 4'-0" O.C. AND WITHIN 1'-0" OF PRESSURE TREATED 2X4 SILL ENDS, JOINTS, CORNERS, OPENINGS, ETC. USE 3"x3"x1/4" SQUARE PLATE WASHERS @ EACH BOLT
 23. EXISTING GARAGE DOOR HEADER
 24. NEW 8" THICK CONCRETE WALL ON EXISTING CONCRETE FOOTING. PROVIDE (1) #4 VERTICAL BAR AT 18" O.C., (2) #4 HORIZONTAL BARS IN WALL - (2) AT TOP, ONE EACH SIDE OF ANCHOR BOLT. CONCRETE MIX: 5 SACKS, 3000 PSI MINIMUM. REBAR COVER: MINIMUM 3" AT BOTTOM AND TOP, 1 1/2" AT SIDES.
- NOTE:
- SEE DETAIL 2/A-10 FOR OTHER NOTES
- NEW 6X8 OR 4X10 DF NO. 2 HEADERS AT DOORS AND WINDOWS UNLESS NOTED OTHERWISE.



2 WALL SECTION AT EXISTING GARAGE
1" = 1'-0"

1. EXISTING COMPOSITE ROOFING OVER OSB SHEATHING.
 2. EXISTING TRUSSES.
 3. EXISTING METAL GUTTERS ON FASCIA BOARD.
 4. NEW 1/2" GWB FINISH ON INTERIOR WALLS AND 5/8" GWB ON THE CEILING.
 5. EXISTING SCREENED BLOCKING (TYPICAL).
 6. NEW R-49 BATT INSULATION AT CEILINGS. INSURE 1" CONTINUOUS AIR SPACE OVER BATTS, VENTS EAVES, AND RIDGES.
 7. EXISTING 2X4 TOP PLATES
 8. EXISTING 2X4 STUDS
 9. NEW 3/4" UL GRADE T&G PLYWOOD.
 10. NEW R-21 RIGID INSULATION.
 11. 8" MIN. CLEAR TO DIRT.
 12. EXISTING CONCRETE SLAB ON GRADE (GRAY HATCHED).
 13. EXISTING CONCRETE FOUNDATION WALL ON CONCRETE FOOTING (GRAY HATCHED).
 14. EXISTING ROOF DRAIN.
 15. NEW 6 MIL. BLACK VISQUEEN VAPOR BARRIER. LAP 12" MIN.
 16. NEW WIND BAFFLE BETWEEN EACH TRUSS SPACE. (12" ABOVE BLOWN AND 6" ABOVE BATT)
 17. EXISTING WOOD SIDING.
 18. NEW PRESSURE TREATED 2X6 AT 16" O.C. W/ RIGID INSULATION IN BETWEEN, R-28 MINIMUM AT THE HIGHEST ELEVATION OF EXISTING SLAB, R-42 AT THE LOWEST. CUT 2X6 AND MATCH SLOPE OF EXISTING SLAB FOR LEVELING PLYWOOD FLOOR.
 19. EXISTING PRESSURE TREATED 2X4 SILL PLATE.
 20. NEW R-10 RIGID INSULATION, 24" IN LENGTH MINIMUM
- NOTE:
- NEW 6X8 OR 4X10 DF NO. 2 HEADERS AT DOORS AND WINDOWS UNLESS NOTED OTHERWISE.

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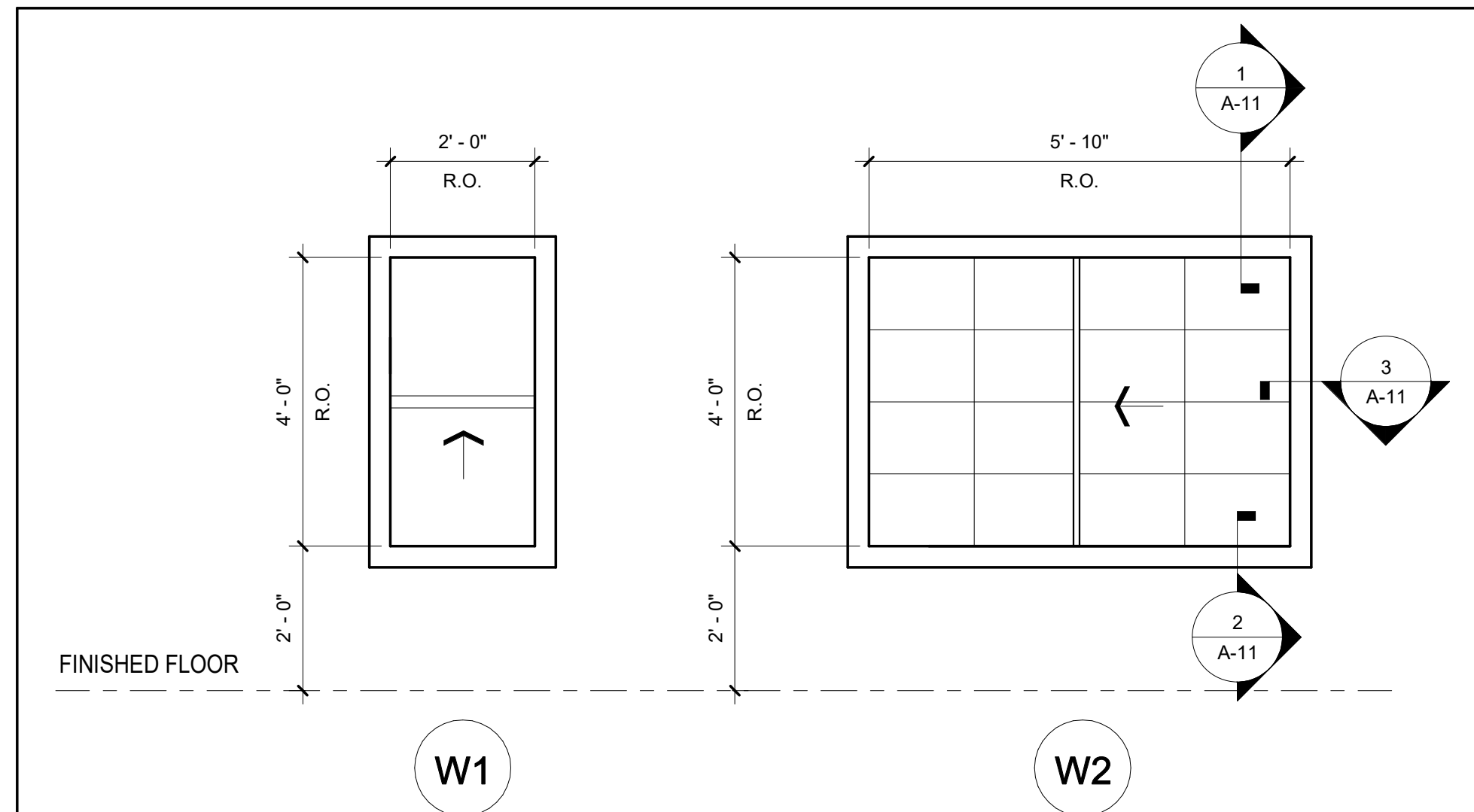
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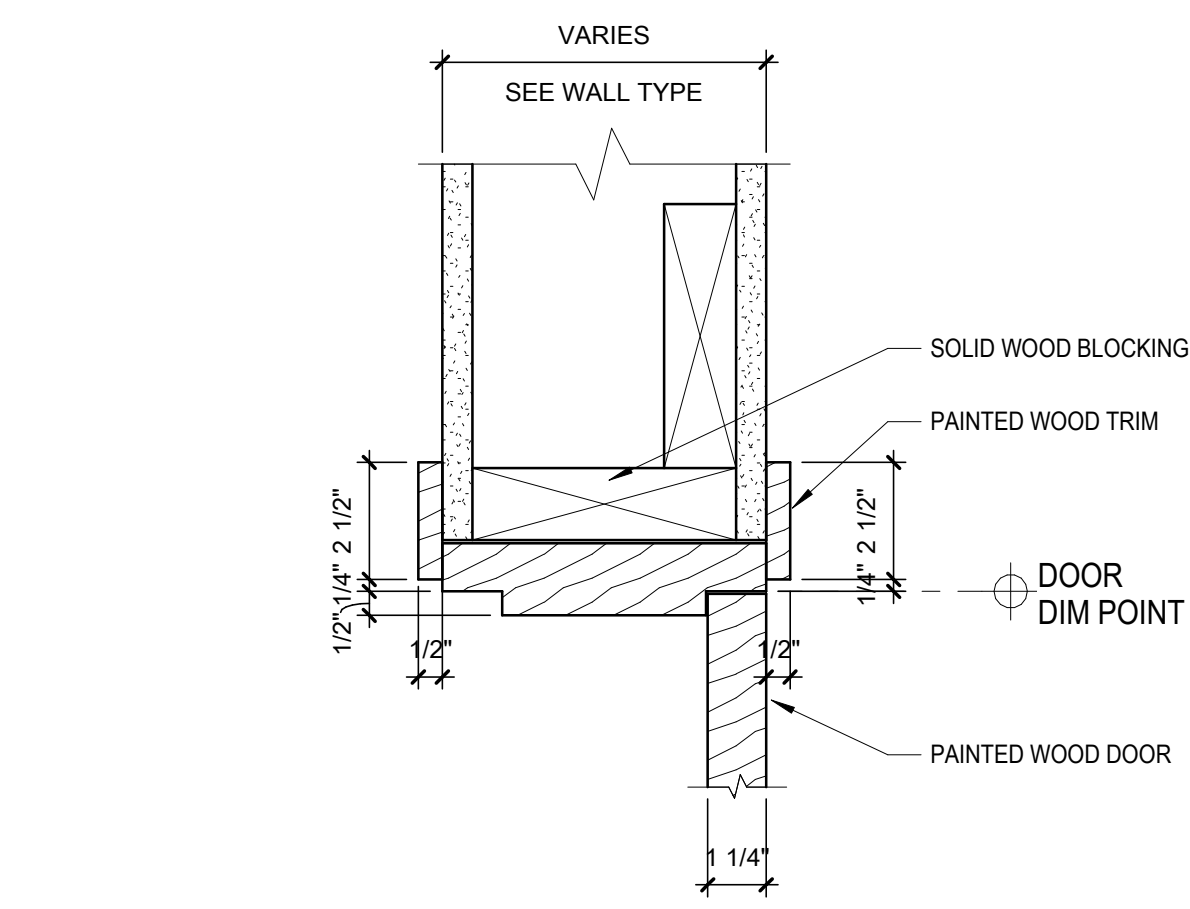
WALL SECTIONS

DWG. **A-10**

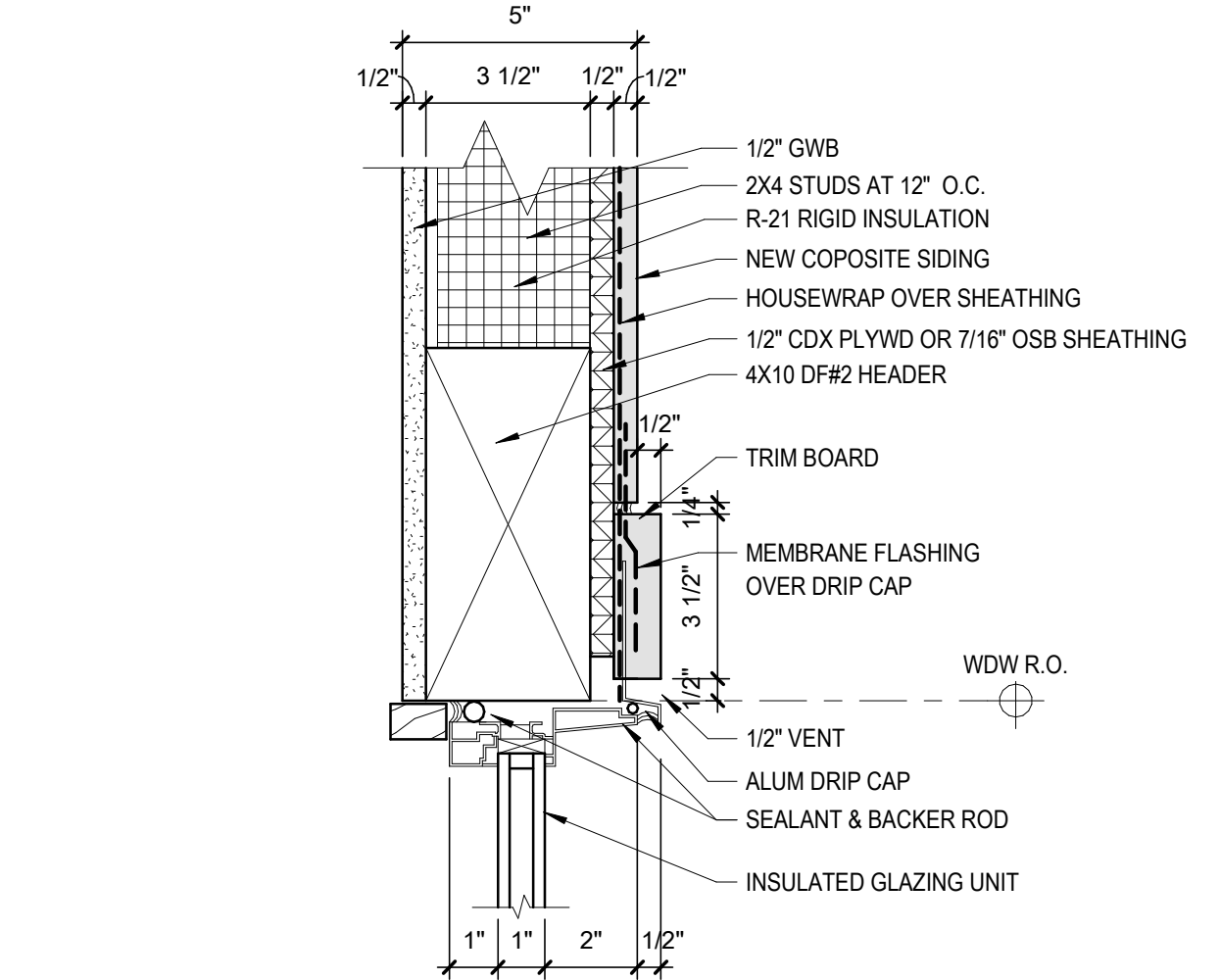
WINDOW SCHEDULE



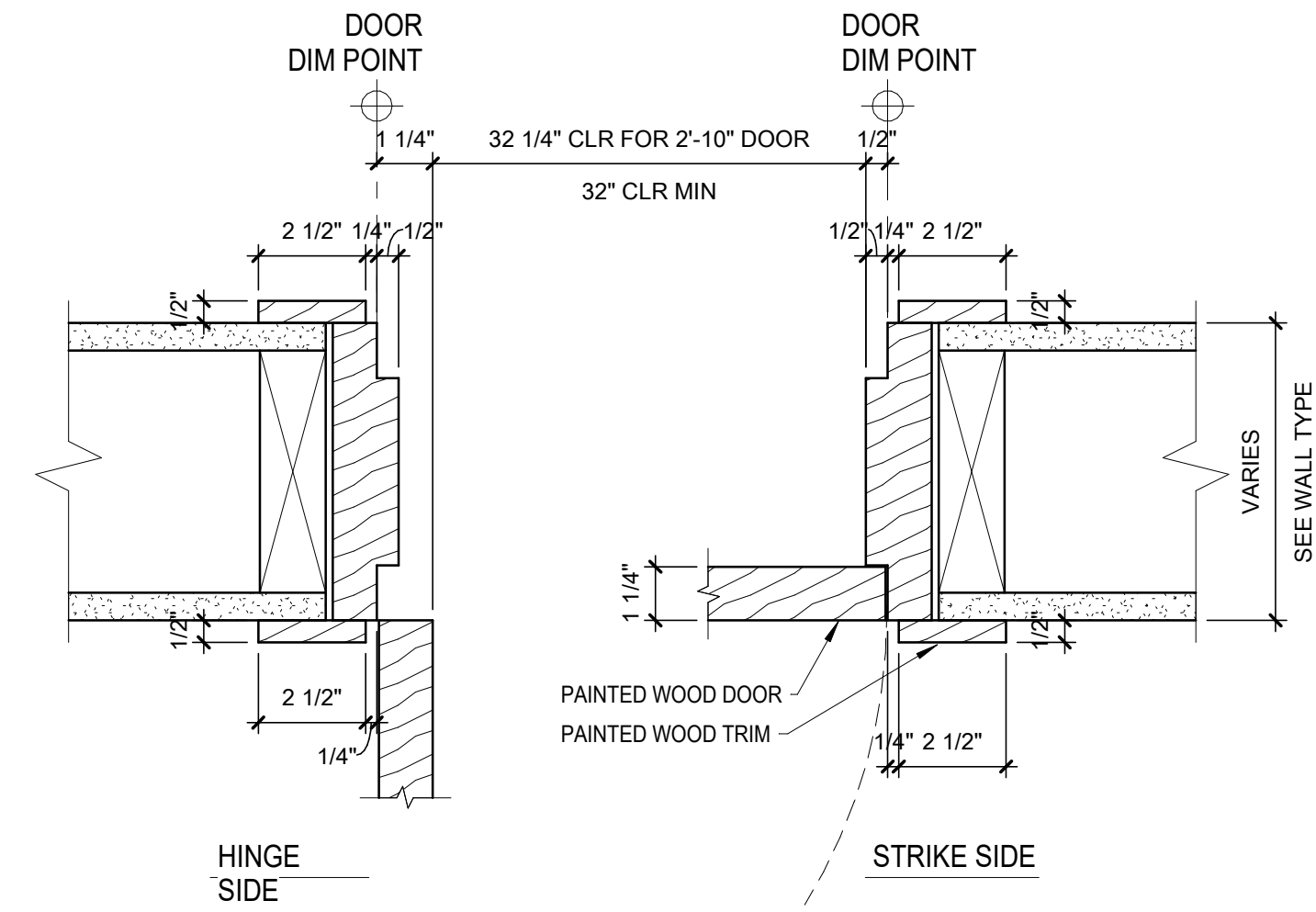
NOTE:
 1. VINYL FRAME WINDOWS, JELD-WEN V-4500 SERIES, INSULATED LOW-E CLEAR FLOAT, DOUBLE PANE, AIR FILLED, FRAME COLOR: WHITE, TARGET U-VALUE < 0.3 SEE 5, 6 & 7/ A-14 FOR WINDOW DETAILS
 2. TEMPERED GLASS REQUIREMENT: PER IRC R308.4.3 GLAZING IN WINDOWS, GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET, AND
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR, AND
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR, AND
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE



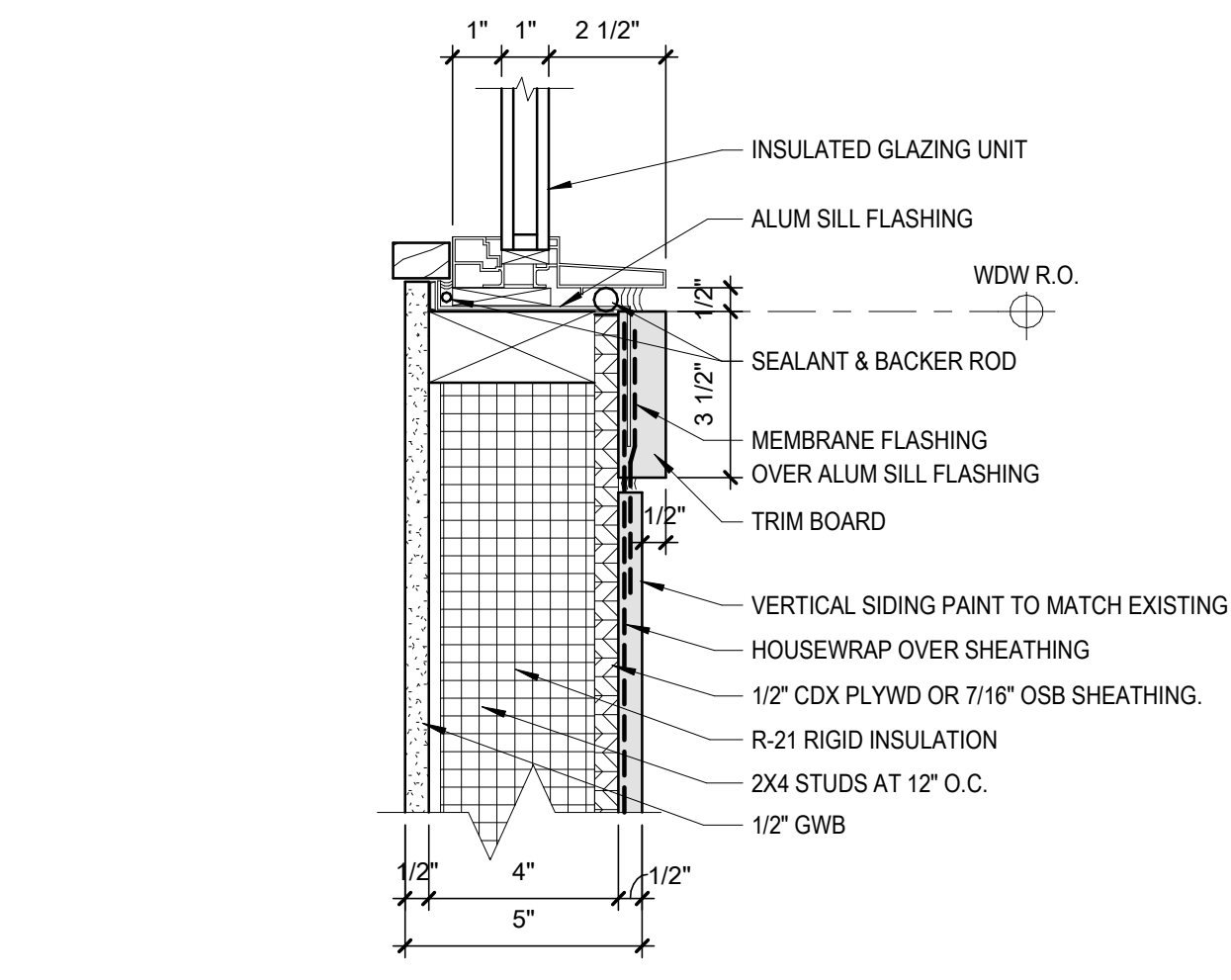
4 INTERIOR DOOR HEAD
 3" = 1'-0"



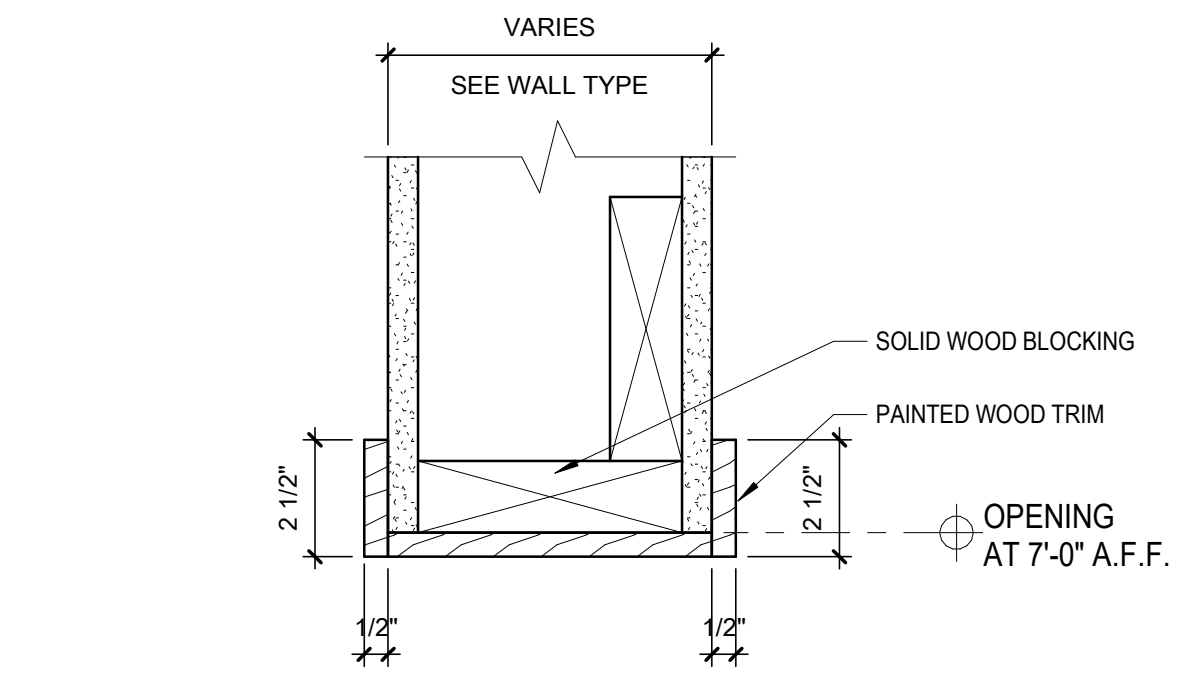
1 WDW HEAD AT EXTERIOR WALL
 3" = 1'-0"



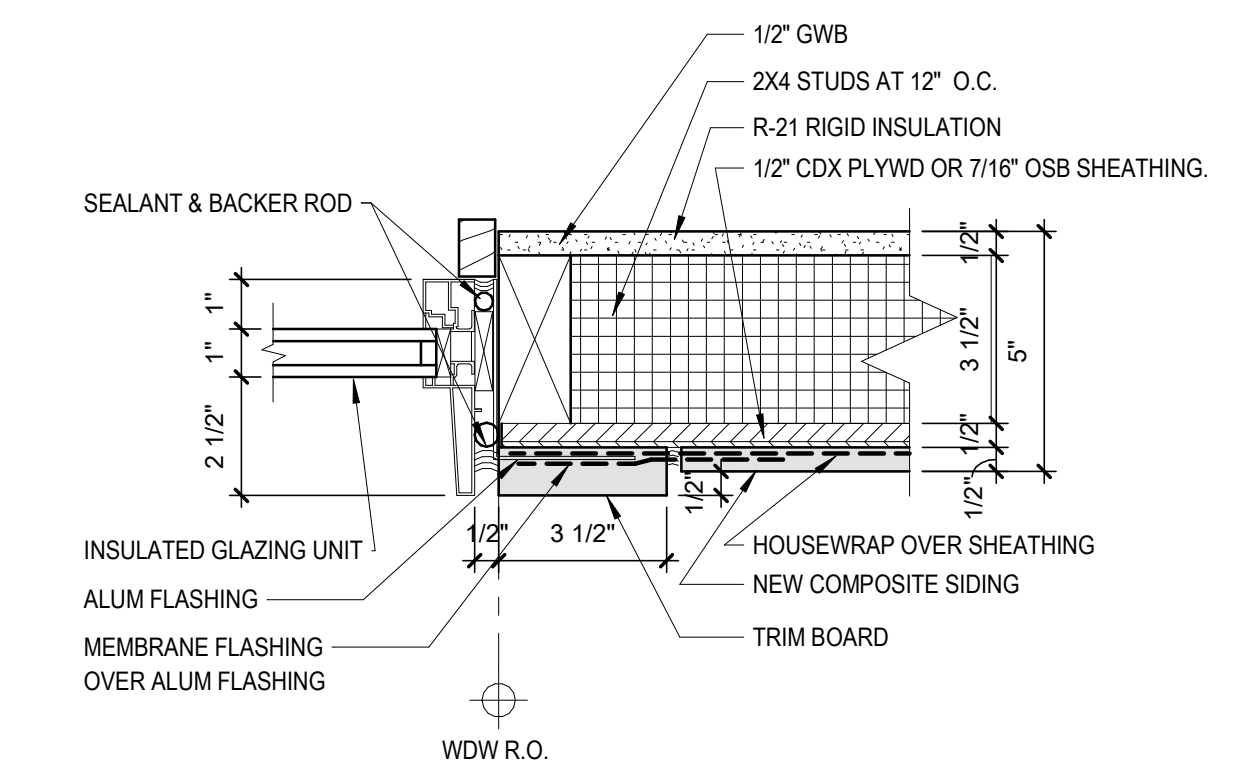
5 INTERIOR DOOR JAMB
 3" = 1'-0"



2 WDW SILL AT EXTERIOR WALL
 3" = 1'-0"



6 WALL OPENING HEAD & JAMB
 3" = 1'-0"



3 WDW JAMB AT EXTERIOR WALL
 3" = 1'-0"

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DWG. **DETAILS**

DWG. **A-11**