

GENERAL NOTES

- CODE COMPLIANCE**
ALL WORK SHALL COMPLY WITH THE 2015 IBC, 2015 IRC, 2015 IMC, 2015 IFGC, 2015 NATIONAL FUEL GAS CODE, NFPA 54, 2015 LIQUEFIED PETROLEUM GAS CODE, NFPA 58, 2015 IFCC, 2015 UPC, 2015 WSEC, WAC 51-11, 2015 WAD, WAC 51-13, 2015 NEC, AND WITH ALL LOCAL CODES AND ORDINANCES.
- DIMENSIONS**
A. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.
B. UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE WALLS. FACE OF STONE VENEER LIES 6" +/- OUTSIDE THE FACE OF FRAMING. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
C. VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND APPLIANCES PRIOR TO COMMITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL TOLERANCES REQUIRED.
- DOCUMENT REVIEW/VERIFICATION**: CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK.
- ROUGH OPENINGS/BACKING**: VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BUCKS/BACKING FOR SURFACE-MOUNTED ITEMS.
- FURRING**: PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
- GRADES**: VERIFY ALL GRADES AND THEIR RELATIONSHIP TO THE BUILDING(S).
- FLOOR LINES**: "FLOOR LINE" REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.
- REPETITIVE FEATURES**: OFTEN DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- DOORS**: DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTERED BETWEEN WALLS AS SHOWN.
- WOOD ON CONCRETE**: WOOD MEMBERS IN CONTACT WITH CONCRETE AND/OR EXPOSED TO WEATHER, PROVIDE PRESSURE TREATED SILL PLATES.
- FRAMING**: INTERIOR FURRING & PARTITION WALLS TO BE 2x4 @ 16" O.C.
- VENTILATION**: VENT ALL BATHROOM FANS, LAUNDRY FANS, RANGE HOODS AND DRYERS TO OUTSIDE ATMOSPHERE. BATHROOM/UTILITY ROOM FANS SHALL BE VENTED DIRECTLY TO THE OUTSIDE THROUGH SMOOTH, RIGID, NON-CORROSIVE METAL, 24 GA. DUCTWORK. FLEX DUCTING IS NOT ALLOWED.
- FLUES**: FLUES TO BE LOCATED MINIMUM 2" FROM ALL COMBUSTIBLE MATERIALS.
- BASEMENT**: NO LPG PROPANE GAS APPLIANCES ARE ALLOWED IN THE BASEMENT.
- OTHER DOCUMENTATION**: REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND/OR LANDSCAPE DRAWINGS FOR ADDITIONAL DRAWINGS, NOTES, SCHEDULES AND SYMBOLS.
- PROTECTION**: PROTECT ALL EXISTING FINISHES & SURFACES. ANY DAMAGE TO BE REPAIRED @ NO ADDITIONAL EXPENSE TO OWNER.
- PERMITS**: SEPARATE ELECTRICAL, MECHANICAL AND PLUMBING PERMITS ARE REQUIRED IN ADDITION TO THE BASIC BUILDING PERMIT.
- ROOFING**: SHEET METAL ROOFING PER IRC TABLE 905.10.3(1) & LOCAL ROOFING STANDARDS.
- FIREPLACE**: PREFABRICATED GAS FIREPLACE SHALL BE PROVIDED WITH THE FOLLOWING:
A. PREFABRICATED FIREPLACE TO BEAR STAMP OF APPROVED TESTING LAB.
B. TIGHT FITTING GLASS OR METAL DOORS
C. OUTSIDE SOURCE OF COMBUSTION AIR DUCTED INTO THE FIREBOX, PER PREFAB. GAS FIREPLACE REQUIREMENTS. (6 SQ. INCHES MIN. W/OPERABLE OUTSIDE AIR DUCT DAMPER.)
D. TIGHT FITTING FLUE DAMPERS, OPERATED BY A READILY ACCESSIBLE MANUAL.
- GAS WATER HEATER**: GAS WATER HEATER SHALL BE STRAPPED TO PREVENT DISPLACEMENT IN AN EARTHQUAKE PER UMC 304.4.
- EXHAUST DUCTS**: PROVIDE BACKDRIFT DAMPERS AT ALL EXHAUST DUCTS.
- FURNACE ROOM**: PROVIDE COMBUSTION AIR OPENINGS INTO FURNACE RM. PER UMC 703.
- APPLIANCES**: CLEARANCES OF UL LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN UL LISTING.
- WATER FLOW**: SHOWER SHALL BE EQUIPPED WITH FLOW CONTROL DEVICE TO LIMIT WATER FLOW TO 2.5 GALLONS PER MINUTE.
- SMOKE DETECTORS**: S.D. THROUGHOUT NEW CONSTRUCTION PER 2006 IRC R313. TO BE MONITORED PER FIRE DEPT. REQUIREMENTS.

ENERGY NOTES

CODE(S): 2015 INTERNATIONAL BUILDING CODE - - - (IBC)
2015 INTERNATIONAL RESIDENTIAL CODE - - - (IRC)
2015 WASHINGTON ENERGY CODE - - - (WEC)

CLIMATIC ZONE: 4C - MARINE
SPACE HEAT TYPE: NATURAL GAS, FORCED AIR
INSULATION VALUES: PRESCRIPTIVE METHOD (ALL NEW AREA)
WALLS: R-21
FLAT ATTICS/CEILING: R-49/R-38
FLOORS: R-38
(OVER UNHEATED SPACES)
VAULTED CEILING: R-38
SLAB-ON-GRADE: R-10

DUCT INSULATION: THERMALLY INSULATE ALL PLENUMS, DUCTS AND ENCLOSURES IN ACCORDANCE WITH TABLE 406.2 OF THE 2015 WASHINGTON STATE ENERGY CODE.
a. ALL HEATING DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH A MIN. OF R-8. ALL SEAM JOINTS SHALL BE TAPED, SEALED AND FASTENED WITH THE MINIMUM OF FASTENERS PER 2015 WSEC.

LIGHTING: RECESSED LIGHTING FIXTURES INSTALLED IN BUILDING ENVELOPE SHALL COMPLY WITH WSEC PROVISIONS AND SHALL BE IC LISTED.

PIPE INSULATION: NON RECIRCULATING HOT AND COLD WATER PIPES LOCATED IN UNCONDITIONED SPACE SHALL BE INSULATED TO R-3 MIN.

WHOLE HOUSE VENTILATION: VENTILATION TO BE SUPPLIED BY FORCED AIR FURNACE
a. FAN SIZE TO BE DESIGNED BY MECHANICAL CONTRACTOR, TO MEET CURRENT WSEC.
R403.1.1 PROGRAMMABLE THERMOSTAT, WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL ALLOW FOR, AT A MINIMUM, A 5-2 PROGRAMMABLE SCHEDULE (WEEKDAYS/WEEKENDS) AND BE CAPABLE OF PROVIDING AT LEAST TWO PROGRAMMABLE SETBACK PERIODS PER DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55°F (13°C) OR UP TO 85°F (29°C). THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANUFACTURER WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70°F (21°C) AND A COOLING TEMPERATURE SET POINT NO LOWER THAN 78°F (26°C). THE THERMOSTAT AND/OR CONTROL SYSTEM SHALL HAVE AN ADJUSTABLE DEADBAND OF NOT LESS THAN 10°F. EXCEPTIONS:
1. SYSTEMS CONTROLLED BY AN OCCUPANT SENSOR THAT IS CAPABLE OF SHUTTING THE SYSTEM OFF WHEN NO OCCUPANT IS SENSED FOR A PERIOD OF UP TO 30 MINUTES.
2. SYSTEMS CONTROLLED SOLELY BY A MANUALLY OPERATED TIMER CAPABLE OF OPERATING THE SYSTEM FOR NO MORE THAN TWO HOURS.

EXTERIOR JOINTS/OPENINGS: SEAL, CAULK, GASKET OR WEATHERSTRIP TO LIMIT AIR LEAKAGE AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, OPENINGS AT PENETRATIONS OF UTILITY SERVICES AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE.

MOISTURE CONTROL: VAPOR RETARDER BONDED TO BATT INSULATION; INSTALL WITH STAPLES NOT MORE THAN 8 INCHES ON CENTER AND WITH A GAP BETWEEN AND OVER FRAMING NOT GREATER THAN 1/16 OF AN INCH; OR, VAPOR RETARDER OF ONE PERM PERM CUP RATING (4 MIL POLYETHYLENE)

ATTICS/CEILING: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE). INSTALL CONTINUOUSLY

CRACK SPACE: CONTINUOUS 6 MIL. POLYETHYLENE

VENTILATION: ATTICS WITH BATTS: BAFFLE VENT OPENINGS TO DEFLECT AIR ABOVE INSULATION SURFACE
ENCLOSED JOIST OR RAFTER SPACES: PROVIDE MINIMUM OF ONE INCH CLEAR VENTED AIR SPACE ABOVE INSULATION. TAPER OR COMPRESS INSULATION AT PERIMETER TO INSURE PROPER VENTILATION

HEATING & COOLING: FORCED AIR NATURAL GAS HEATING SYSTEM.

TEMP. CONTROL: FOR HEATING AND COOLING, THERMOSTAT SHALL BE CAPABLE OF BEING SET FROM 55-85 DEGREES FAHRENHEIT AND OF OPERATING THE HEATING/COOLING SYSTEM IN SEQUENCE. THERMOSTAT TO BE AUTOMATIC DAY/NIGHT SETBACK TYPE.

ENERGY CREDITS

EFFICIENT BUILDING ENVELOPE (1.5 Credit)
CREDIT OPTION 10 - VERTICAL FENESTRATION U = 0.28
- FLOOR - R-38
- PROVIDE R-10 INSULATION BELOW ENTIRE SLAB AREA

AIR LEAKAGE CONTROL & EFFICIENT VENTILATION (1.5 Credit)
CREDIT OPTION 2a - COMPLIANCE BASE ON R402.4.1.2; REDUCE THE TEST & WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1507.3 OF THE EFFICIENCY FAN (MAX 0.35 Watts/CFM) NOT INTERLOCKED WITH THE SURFACE FAN. VENTILATION SYSTEMS USING A FURNACE INCLUDING A ECM MOTOR ARE ALLOWED, PROVIDED THAT THEY ARE IN VENTILATION MODE ONLY.

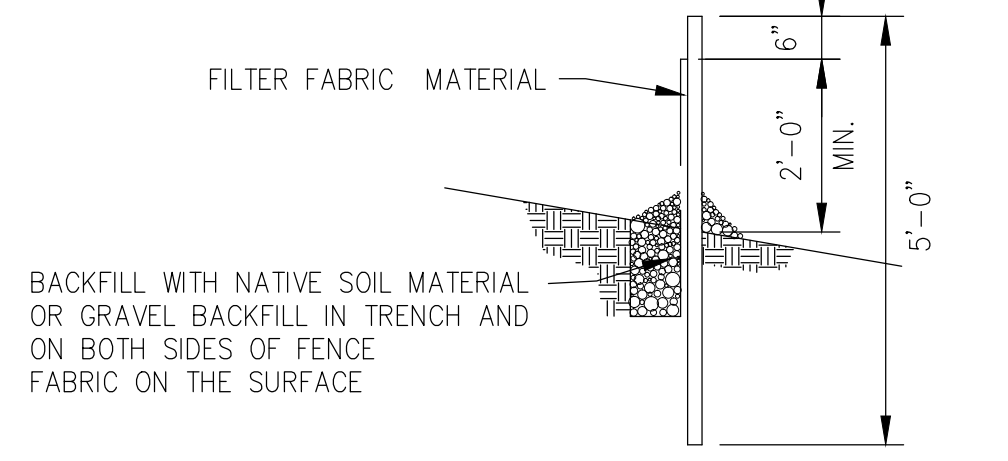
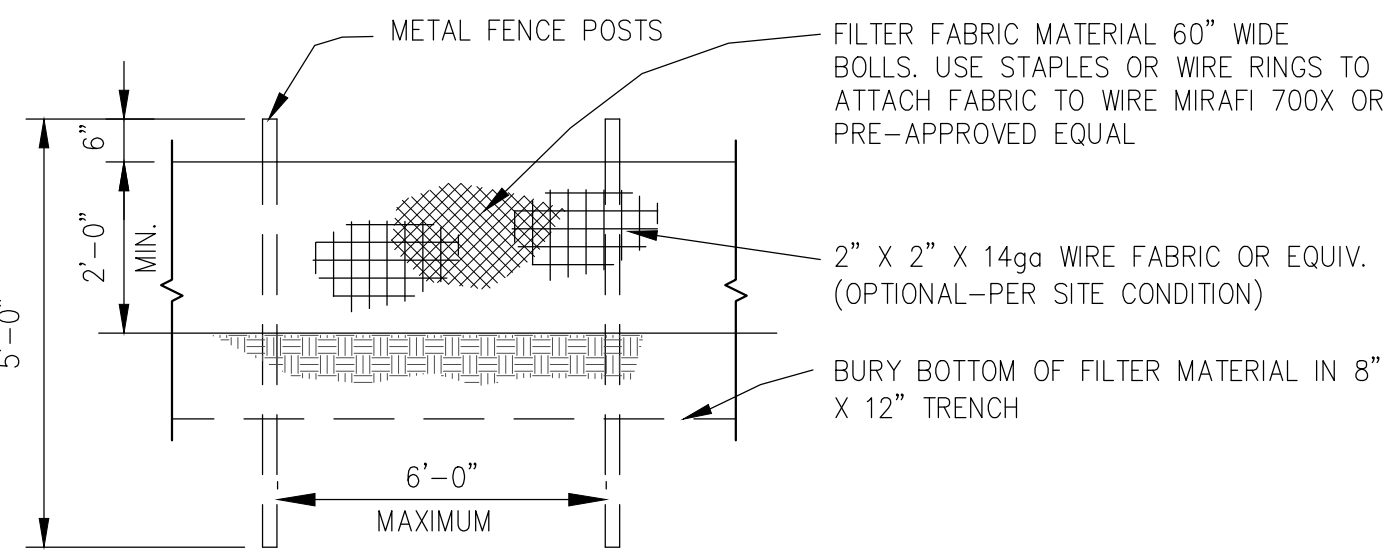
HIGH EFFICIENT HVAC EQUIPMENT (1.0 Credit)
CREDIT OPTION 3g - GAS, FURNACE WITH A MINIMUM 'AFUE' OF 94%. HEATING OPTION: 3a, 3b, 3c, OR 3d. WHEN A HOUSING UNIT HAS TWO PIECES OF EQUIPMENT, (IE, TWO FURNACES) BOTH MUST MEET THE STANDARD TO RECEIVE CREDIT. FURNACE(S) TO BE 'DIRECT-VENTED' PER IRC SECT. G2406.2.

HIGH EFFICIENT WATER HEATING (1.5 Credits)
CREDIT OPTION 5b - WATER HEATING SYSTEM SHALL BE GAS HEATED.
- WATER HEATER(S) SHALL BE MINIMUM 91% EFFICIENCY.

ENERGY CODE

-HEATING SYSTEM IS A NATURAL GAS FURNACE FORCED AIR SYSTEM.
-CONSTRUCTION SHALL ADHERE TO:

GLAZING RATIO	WINDOWS - 0.28 U-FACTOR
CLIMATE ZONE: 4C - MARINE	DOORS - 0.20 U-FACTOR
-PRESCRIPTIVE PATH	
MARINE IV	



NOTE: ANGLE SILT FENCE BACK UP THE SLOPE AT THE END OF RUN.

SILT FENCE DETAIL
SCALE: NTS

AVERAGE BUILDING ELEVATION [A.B.E.]

Mark	LENGTH	ELEVATION	CALCULATION
A	39.0'	+307.8'	12,004.2
B	5.16'	+309'	1,596.5
C	13.0'	+309'	4,017
D	22.16'	+310.5'	6,882.8
E	2.0'	+311'	622
F	33.0'	+311.5'	10,279.5
G	52.0'	+311.8'	16,213.6
H	12.33'	+310.5'	3,829.5
I	2.0'	+310'	620
J	37.66'	+308.5'	11,620.2
TOTAL	218.33		67,685.3

A.B.E = 310.1'

L = 31.48'
Δ = 90° 11' 39"
R = 20.0'

LOT COVERAGE

LOT AREA : 10,108 S.F.
@ 40% = 4043.2 S.F.
(MAX. GFA + COVERAGE)

MAIN FLOOR AREA : 1,918 S.F.
UPPER FLOOR AREA : 1,394 S.F.
GARAGE AREA : 708 S.F.

TOTAL G.F.A. : 4,020 S.F. or 39.7%

LOT COVERAGE :
STRUCTURE (including O.H.): 3,319 S.F.
DRIVEWAY AREA : 317 S.F.

TOTAL : 3,636 S.F. or 36%

HARDSCAPE AREA : 113 S.F.

72 nd PLACE S.E.

LEGAL DESCRIPTION

LOT 4 OF THE VACATED PORTION OF C.C. CALKIUS FIRST ADDITION TO EAST SEATTLE, STATE OF WASHINGTON.

PARKING

(3) COVERED (ENCLOSED) PARKING STALLS

APPLICANT CONTACT

RICHARD A. FISHER
(206) 484-9963

PLAT NOTE

NO PLAT RESTRICTIONS OR CONDITIONS FOR APPROVAL.

SITE NOTES

- PLACE COMPOST SOCKS, COMPOST BERMS, FILTER FABRIC FENCING, STRAW BAILS, STRAW WATTLES, OR OTHER APPROVED PERIMETER CONTROL BMP'S TO ELIMINATE CONSTRUCTION STORMWATER RUN-OFF.
- ELIMINATE UNCONTROLLED CONVEYANCE OF MUD & DIRT INTO THE RIGHT-OF-WAY (R.O.W.)
- COVER BARE SOILS WITH COMPOST BLANKETS, STRAW, MULCH, MATTING, OR OTHER APPROVED EQUAL TO CONTROL CONSTRUCTION STORMWATER RUN-OFF.
- COVER STOCKPILES OF BARE SLOPES WITH COMPOST BLANKETS, TARPS, MATTING OR OTHER APPROVED EQUAL TO CONTROL CONSTRUCTION STORMWATER RUN-OFF.
- MERCER ISLAND - MICC 19.02.030(F)(3)(d) ALL JAPANESE KNOTWEED, (POLYGONUM CUSPIDATUM), & REGULATED CLASS 'A', REGULATED CLASS 'B', REGULATED CLASS 'C' WEEDS, IDENTIFIED ON KING COUNTY NOXIOUS WEED LIST SHALL BE REMOVED FROM PROPERTY.

SITE PLAN

SITE INFORMATION

PARCEL No. 130030-1850
LOT AREA : 10,108 s.f.
ZONE : R8.4

SITE KEY

- PROPERTY LINE
- CONTINUOUS SILT FENCE
- SETBACK LINE
- SITE CONTOUR LINE
- PROPERTY CORNER MARK
- ELEVATION MARK
- LOW GARDEN FENCE
- DRIVEWAY SURFACE
- ROOF AREA
- AREA OF RECORDED EASEMENT
- NEW CONTOUR LINE
- ABANDONED CONTOUR LINE



RFA ARCHITECTS
RICHARD A. FISHER ARCHITECTS
1932 1ST AVE. SUITE 601
SEATTLE, WASHINGTON 98101
TEL: (206) 441-0442
FAX: (206) 441-9947
EMAIL: R.FISHER@RICHARDAFISHER.COM
WEB: RICHARDAFISHER.COM
WOLF CREEK RANCH
WINTHROP, WASHINGTON 98862
TEL: (509) 996-2689

PROJECT NAME: PROJECT ADDRESS:
RKK CONSTRUCTION
Lot 4 - WALIA
3406 72nd Place, S.E.
Mercer Is., WA 98040

SET TITLE: PERMIT SET
SHEET TITLE: SITE PLAN

STAMP:
4884
RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT #: 19150
DATE: AUG 5, 2020
DRAWN BY: N.F.W.
REVISIONS:

Tag	Description

SHEET No.:
A1.0

PROPERTY Line

RFA ARCHITECTS
RICHARD A FISHER ARCHITECTS
 1932 1ST AVE. SUITE 601
 SEATTLE, WASHINGTON 98101
 TEL.: (206) 441-0442
 FAX: (206) 441-9947
 EMAIL: RAFISHER@RICHARDAFISHER.COM
 WEB: RICHARDAFISHER.COM
WOLF CREEK RANCH
 WINTHROP, WASHINGTON 98862
 TEL.: (509) 996-2689

RKK CONSTRUCTION
 Lot 4 - WALIA
 3406 72nd Place, S.E.
 Mercer Is., WA 98040

PROJECT NAME: PROJECT ADDRESS:

SET TITLE: PERMIT SET
 SHEET TITLE: MAIN FLOOR PLAN

STAMP:
 4884
 RICHARD A. FISHER
 STATE OF WASHINGTON

PROJECT #: 19150
 DATE: AUG 5, 2020
 DRAWN BY: N.F.W.
 REVISIONS:

Tag	Description

SHEET No.:
A2.0

TAG	DIMENSIONS (RO=WXHX)	TYPE	NOTES
1	3'-6" X 6'-8"	ENTRY	SOLID WD./SAFETY GLAZE / LOCKSET
2	(2) 2'-6" X 6'-8"	WOOD	FRENCH HUNG - INTERIOR
3	2'-6" X 6'-8"	WOOD	
4	2'-6" X 6'-8"	POCKET	
5	16'-0" X 8'-0"	GARAGE	'CARRAIGE STYLE'
6	8'-0" X 8'-0"	GARAGE	'CARRAIGE STYLE'
7	3'-0" X 6'-8"	SEPARTION	1-HOUR FIRE RATED w/ INTEGRAL SMOKE GASKETS
8	3'-0" X 6'-8"	WOOD	
9	2'-8" X 6'-8"	WOOD	
10	2'-6" X 6'-8"	GLASS/Exterior	SAFETY GLAZE / LOCK
11	(4) 2'-6" X 6'-8"	FOLDING/GLASS /Exterior	'Nano Door' SAFETY GLAZE / LOCK
12	2'-6" X 3'-0"	CRAWLSPACE ACCESS	FLR. HINGED - INSULATED PANEL
13	(2) 3'-0" X 6'-8"	GLASS/Exterior	SAFETY-GLAZE / LOCK / 'FRENCH HUNG'
14	22.5" X 4'-0"	ATTIC ACCESS	DROP DOWN LADDER

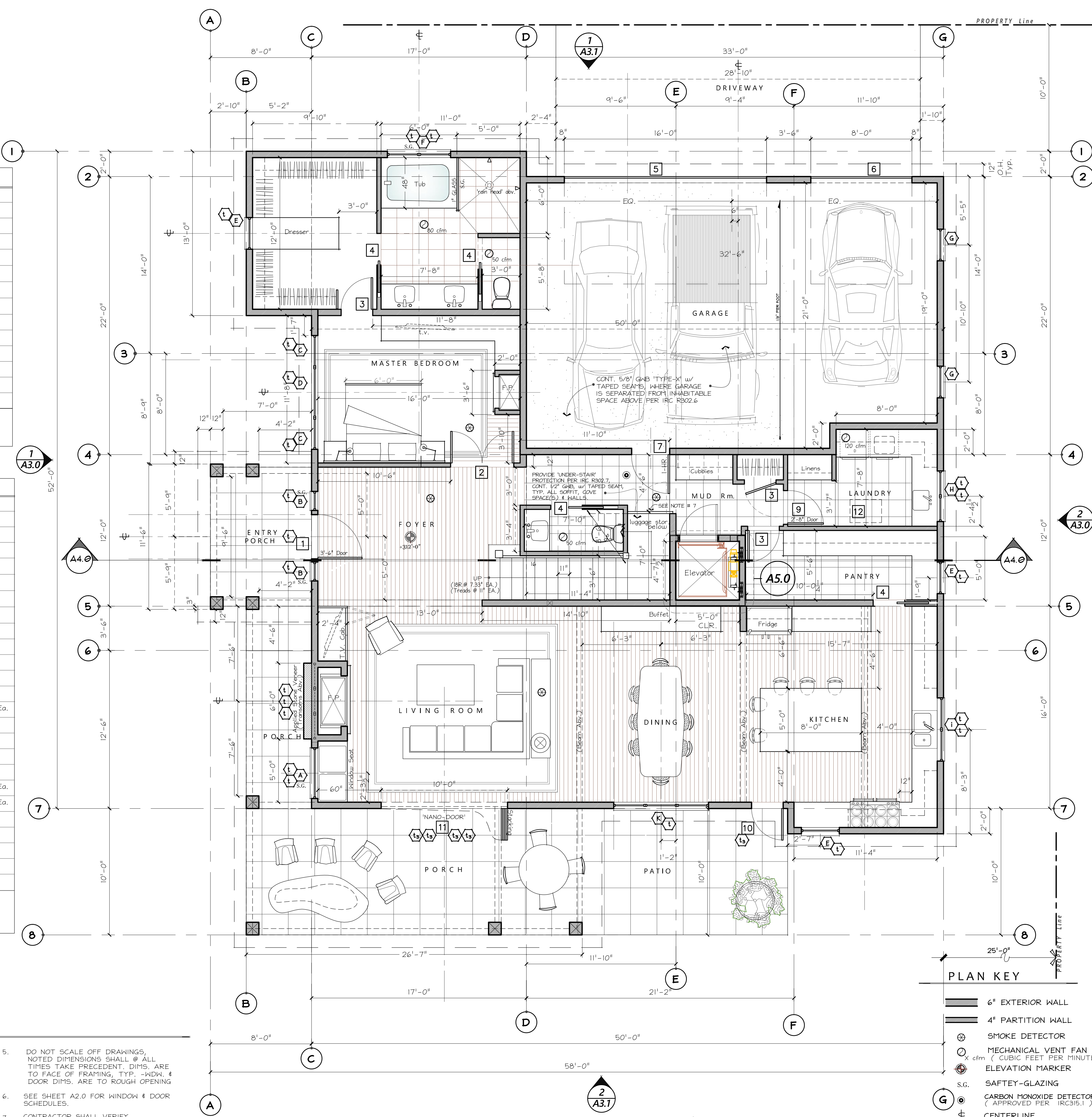
NOTES:
 1. 'S.G.' = SAFETY GLAZING.
 2. DOOR 'U-FACTOR' = 0.20
 3. WINDOW 'U-FACTOR' = 0.28

ALPHA	DIMENSIONS (RO=WXHX)	TYPE	NOTES
A	(2) 2'-0" X 4'-6"	CSMNT/CSMNT	SAFETY GLAZE
B	1'-6" X 5'-0"	SIDELITE	(4) LITES Ea.
C	2'-6" X 4'-6"	CASEMENT	
D	4'-0" X 4'-6"	PICTURE	
E	2'-6" X 3'-6"	CASEMENT	(4) LITES
F	(2) 2'-6" X 4'-6"	CSMNT/CSMNT	SAFETY GLAZE - (4) LITES Ea.
G	2'-6" X 4'-0"	PICTURE	(4) LITES
H	(2) 2'-0" X 3'-6"	CASEMENT	(4) LITES Ea.
I	(2) 2'-6" X 3'-6"	CSMNT/CSMNT	
J	3'-0" X 2'-0"	PICTURE	
K	(3) 2'-6" X 4'-0"	PICTURE	
L	2'-0" X 3'-6"	CASEMENT	(4) LITES Ea.
M	3'-0" X 3'-6"	PICTURE	(4) LITES
N	(2) 3'-0" X 4'-6"	CSMNT/CSMNT	EGRESS / SAFETY GLAZE //(4) LITES Ea.
O	2'-0" X 3'-0"	PICTURE	(4) LITES
P	2'-0" X 2'-6"	PICTURE	
Q	2'-0" X 2'-6"	CASEMENT	
R	(2) 2'-6" X 2'-6"	CASEMENT	(4) LITES Ea.
S	(2) 2'-6" X 4'-0"	CSMNT/CSMNT	EGRESS / SAFETY GLAZE //(4) LITES Ea.
U	3'-0" X 4'-0"	CASEMENT	EGRESS / SAFETY GLAZE //(4) LITES Ea.
V	3'-0" X 4'-0"	PICTURE	(2) LITES
W	(2) 2'-0" X 3'-6"	CSMNT/CSMNT	(4) LITES Ea.
X	(2) 2'-6" X 2'-0"	CSMNT/CSMNT	(2) LITES Ea.
Y	3'-0" X 4'-6"	CASEMENT	
Z	Width Below X 1'-6"	TRANSOM	(1) LITE Ea.

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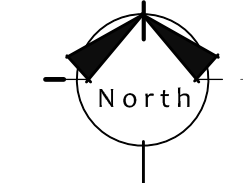
PLAN NOTES

- WHOLE HOUSE VENTILATION TO BE PROVIDED BY FORCED AIR FURNACE WITH DIRECT OUTSIDE AIR.
- SMOKE DETECTORS SHALL BE HARD-WIRED & PROVIDED IN EXISTING SPACES WITH BATTERY BACK-UP PER IRC 313 & INSTALLED PER IRC 314.2.2
- STAIR HANDRAILS TO CONFORM TO I.R.C. SECT. 311.5.6. w/ 36" ht. FROM TREAD NOSING, TYP.
- ALL OUTLETS @ COUNTER HEIGHT, (@BATHS, KITCHEN, LAUNDRY) SHALL BE G.F.C.I.
- DO NOT SCALE OFF DRAWINGS, NOTED DIMENSIONS SHALL @ ALL TIMES TAKE PRECEDENT. DIMS. ARE TO FACE OF FRAMING, TYP. -WDW. & DOOR DIMS. ARE TO ROUGH OPENING
- SEE SHEET A2.0 FOR WINDOW & DOOR SCHEDULES.
- CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS & RAILINGS SHALL BE CAPABLE OF RESISTING 200 LB. LOAD ON TOP RAIL ACTING IN ANY DIRECTION AS REQUIRED BY IRC TABLE R301.5.



PLAN KEY

- 6" EXTERIOR WALL
- 4" PARTITION WALL
- SMOKE DETECTOR
- MECHANICAL VENT FAN (CFM)
- ELEVATION MARKER
- S.G. SAFETY-GLAZING
- CARBON MONOXIDE DETECTOR (APPROVED PER IRC315.1)
- CENTERLINE



MAIN FLOOR PLAN

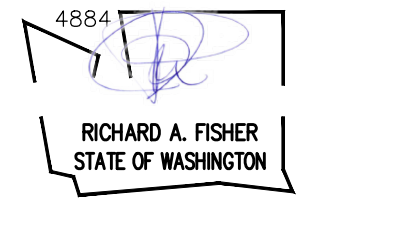
HOUSE AREA: 1,877.5 S.F.
GARAGE AREA: 719 S.F.

SCALE: 1/4" = 1'-0"

PROJECT NAME:	PROJECT ADDRESS:
RKK CONSTRUCTION	
Lot 4 - WALIA 3406 72nd Place, S.E. Mercer Is., WA 98040	

SET TITLE:	PERMIT SET
SHEET TITLE:	UPPER FLOOR PLAN

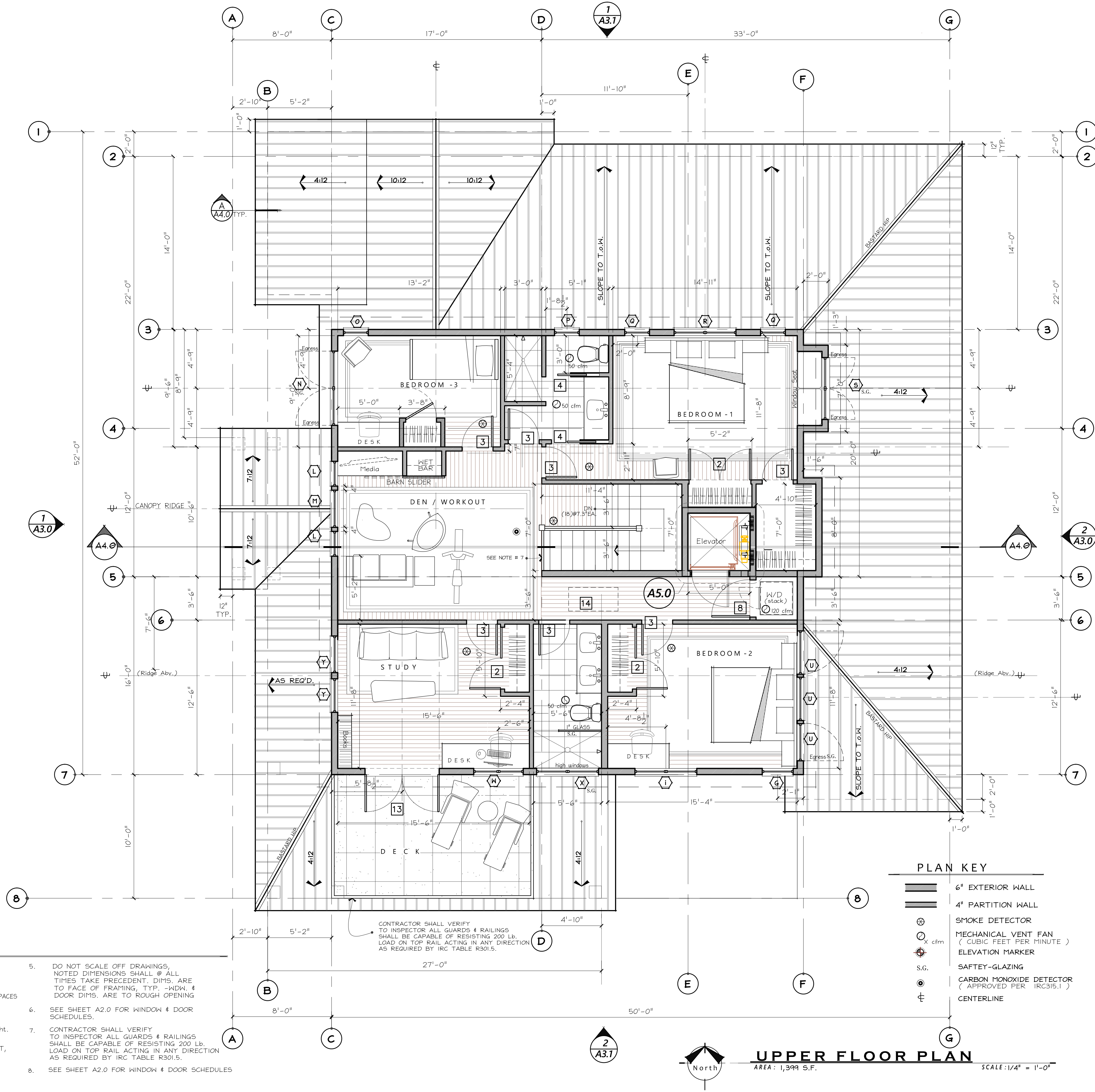
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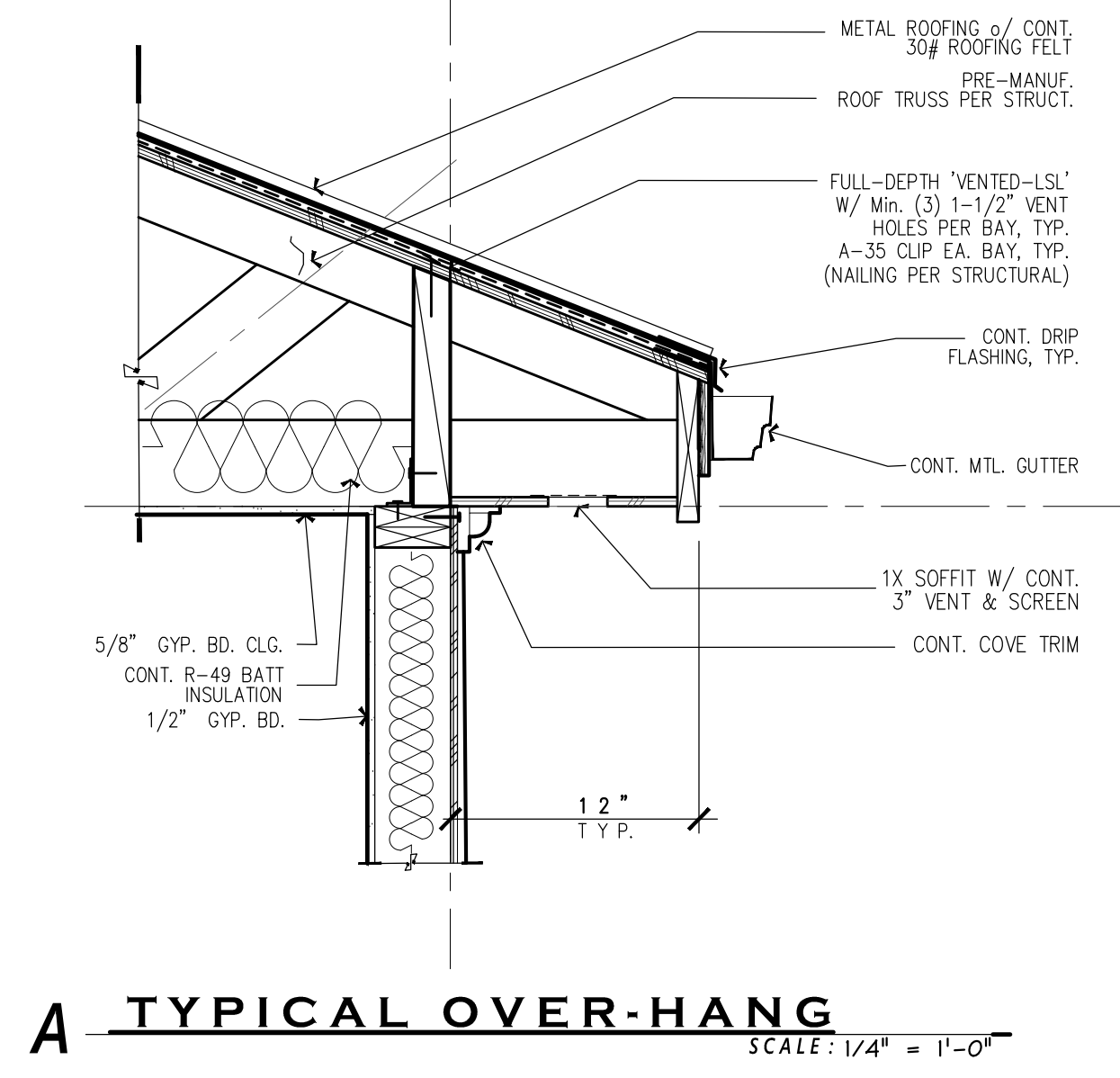
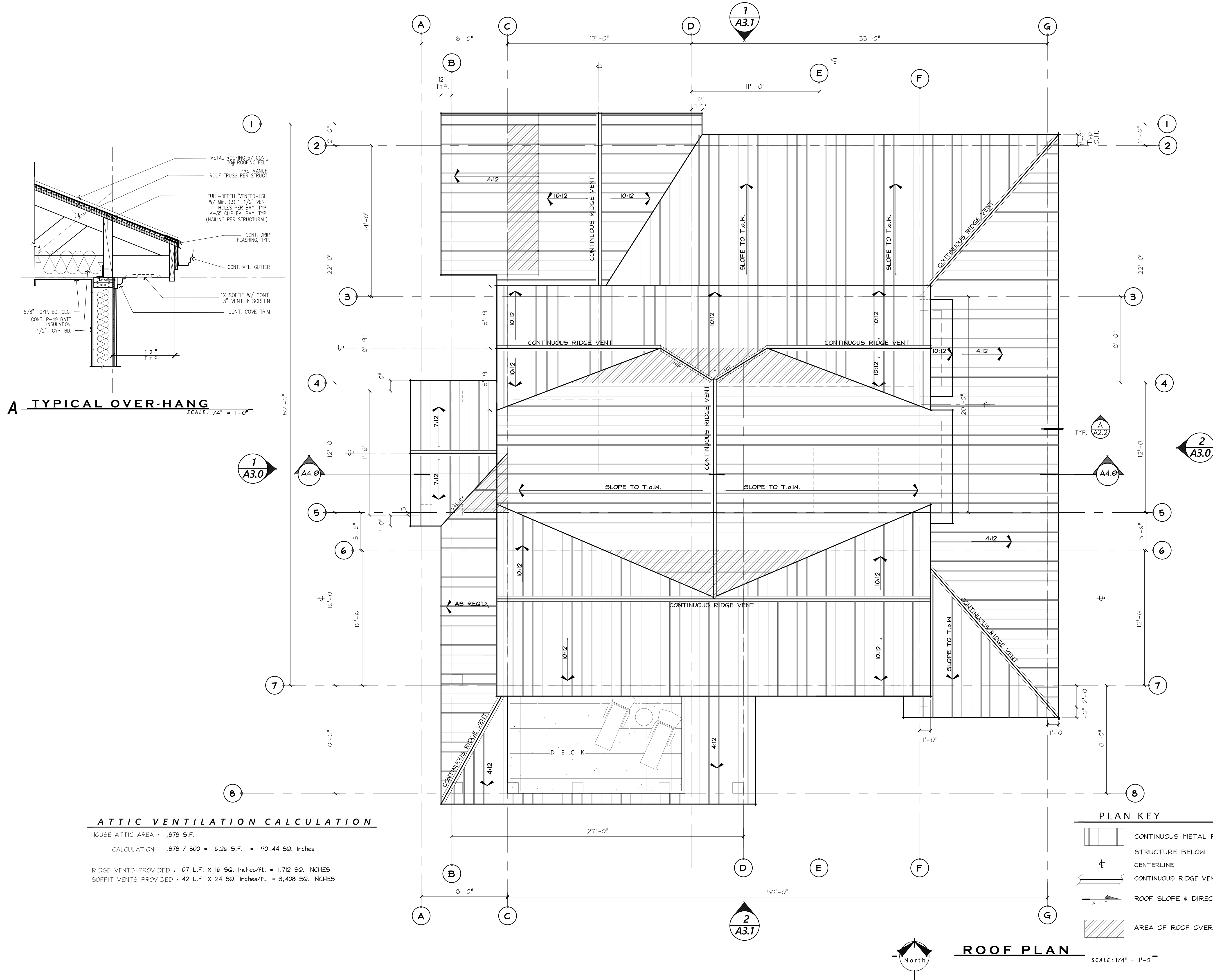
PROJECT #:	19150
DATE:	AUG 5, 2020
DRAWN BY:	N.F.W.
REVISIONS:	
Tag	Description

SHEET No.:

A2.1



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 - SEE SHEET A2.0 FOR WINDOW & DOOR SCHEDULES



ATTIC VENTILATION CALCULATION
HOUSE ATTIC AREA : 1,878 S.F.
CALCULATION : 1,878 / 300 = 6.26 S.F. = 901.44 SQ. INCHES
RIDGE VENTS PROVIDED : 107 L.F. X 16 SQ. INCHES/FT. = 1,712 SQ. INCHES
SOFFIT VENTS PROVIDED : 142 L.F. X 24 SQ. INCHES/FT. = 3,408 SQ. INCHES

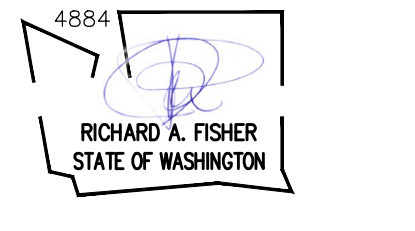
PLAN KEY

	CONTINUOUS METAL ROOF
	STRUCTURE BELOW
	CENTERLINE
	CONTINUOUS RIDGE VENT
	ROOF SLOPE & DIRECTION
	AREA OF ROOF OVER-FRAME

PROJECT NAME:	PROJECT ADDRESS:
RKK CONSTRUCTION	Lot 4 - WALIA
	3406 72nd Place, S.E.
	Merced Is., WA 98040

SET TITLE:	PERMIT SET
SHEET TITLE:	ELEVATIONS

STAMP:



RICHARD A. FISHER
STATE OF WASHINGTON

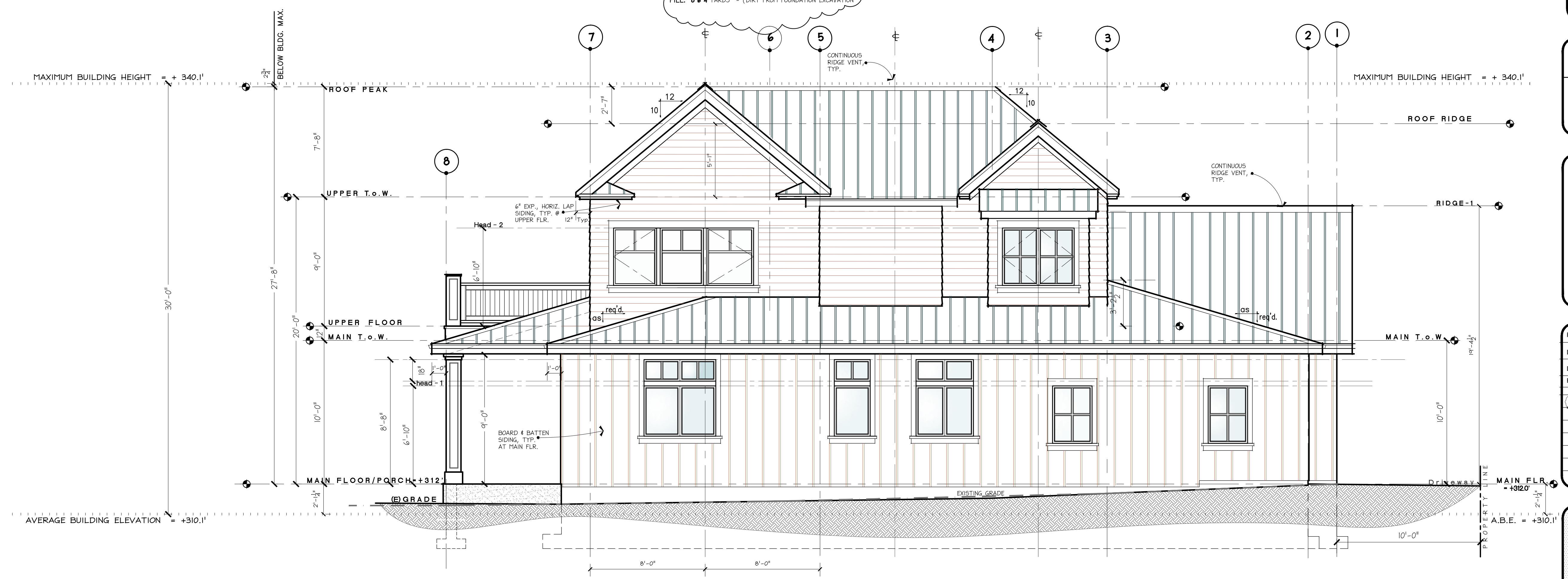
PROJECT #	19150
DATE	AUG 5, 2020
DRAWN BY	N.F.W.
REVISIONS	
M.I. BLDG. DEPT. REVIEW 9/20	

SHEET NO. **A3.0**

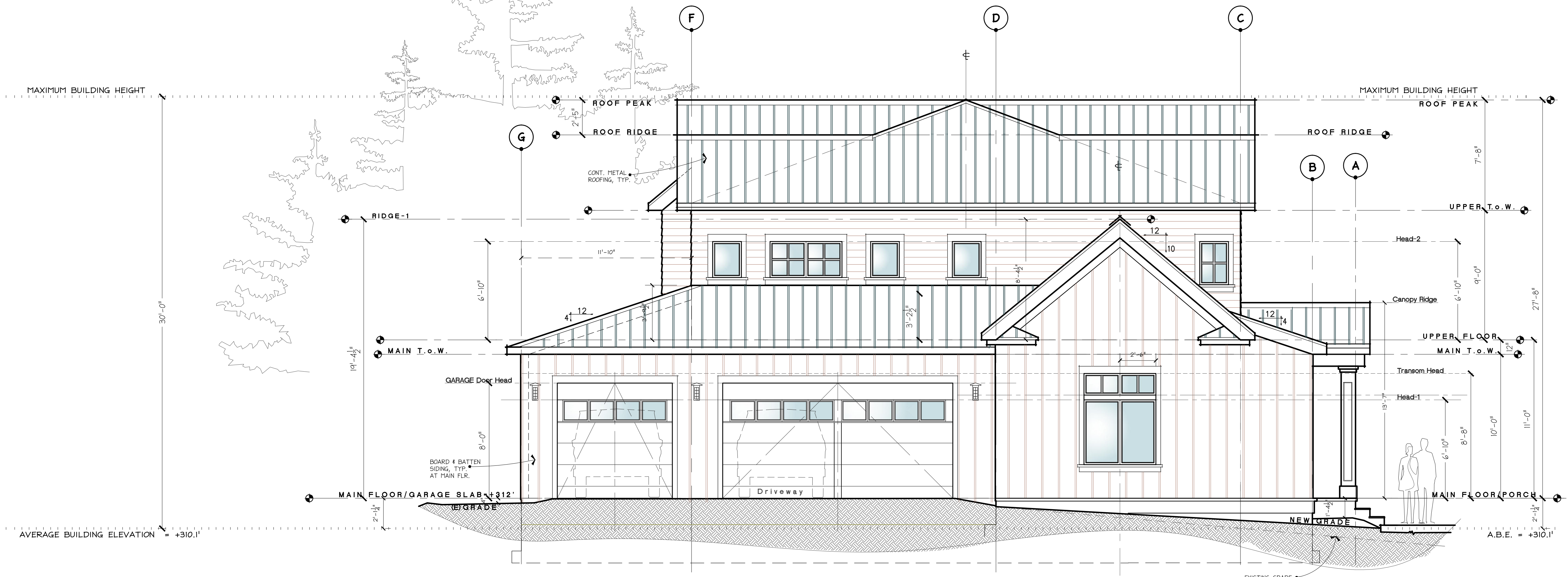


GRADING:
CUT: 0 YARDS
FILL: 6.4 YARDS - (DIRT FROM FOUNDATION EXCAVATION)

1 WEST ELEVATION SCALE: 1/4" = 1'-0"



2 EAST ELEVATION SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

RKK CONSTRUCTION
Lot 4 - WALIA
3406 72nd Place, S.E.
Mercer Is., WA 98040

PROJECT NAME: PROJECT ADDRESS:

SET TITLE:	PERMIT SET
SHEET TITLE:	ELEVATIONS

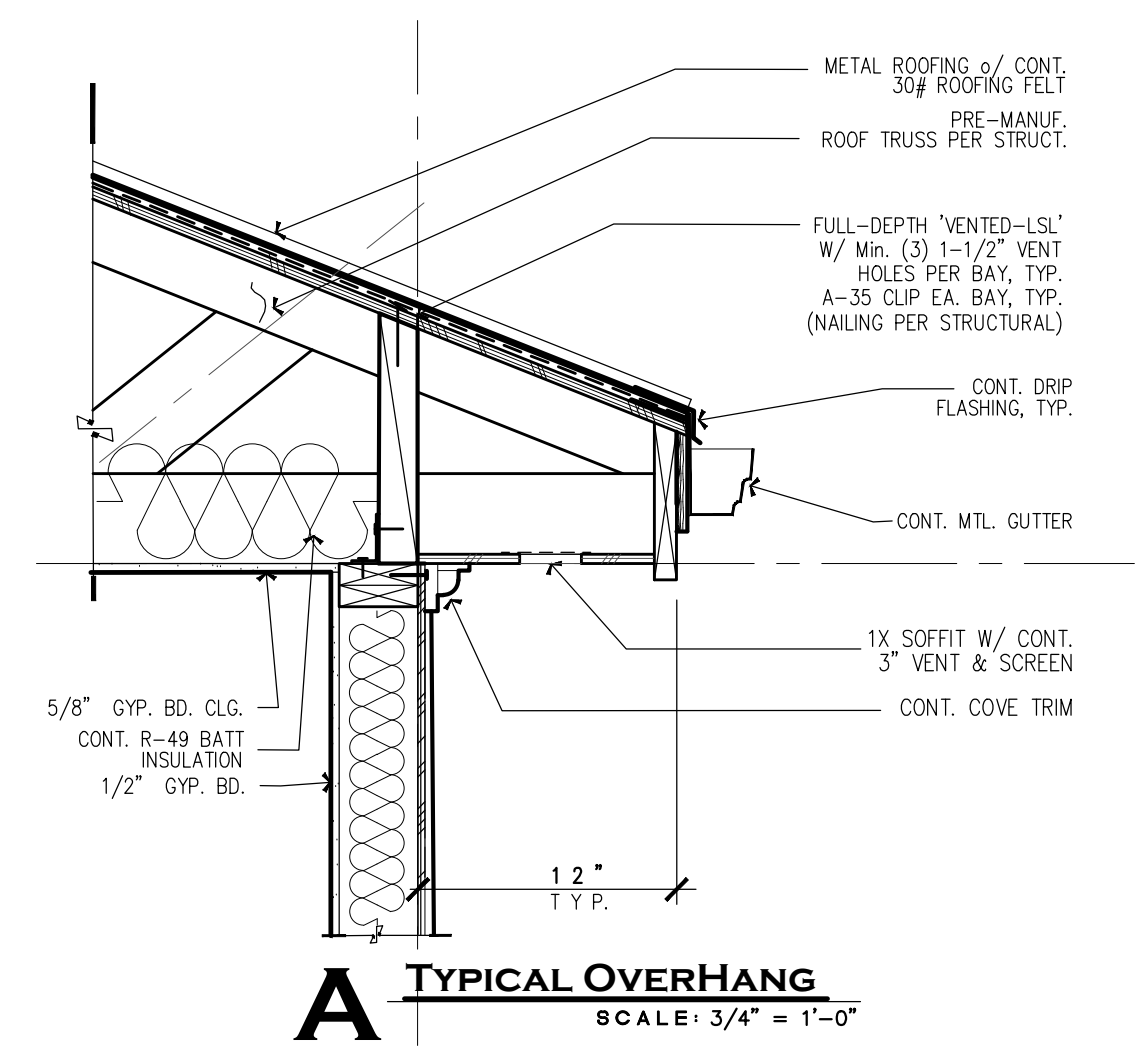
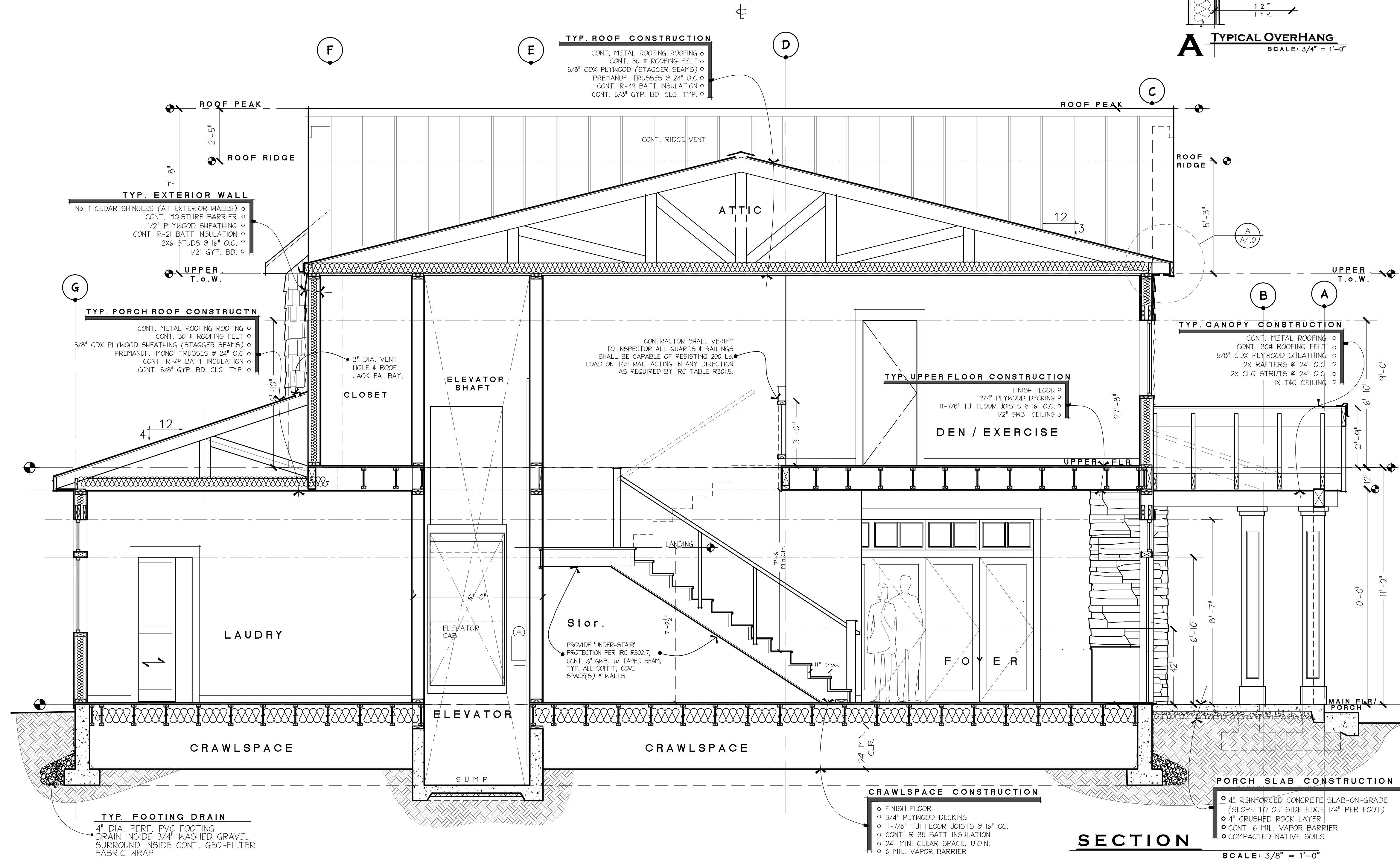
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4884
RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT: 19150
DATE: AUG 5, 2020
DRAWN: N.F.W.
REVISIONS:

1	08/05/20	
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SHEET NO: **A3.1**



RFA ARCHITECTS
RICHARD A FISHER ARCHITECTS
 32 ST A.E. SUITE 600
 SEATTLE, WA 98101
 TEL: (206) 441-0442
 FAX: (206) 441-0447
 EMAIL: RAFISHER@RICHARDAFISHER.COM
 WEB: RICHARDAFISHER.COM
WOLF CREEK RANCH
 WINTROP, WA 98142
 TEL: (206) 441-0626

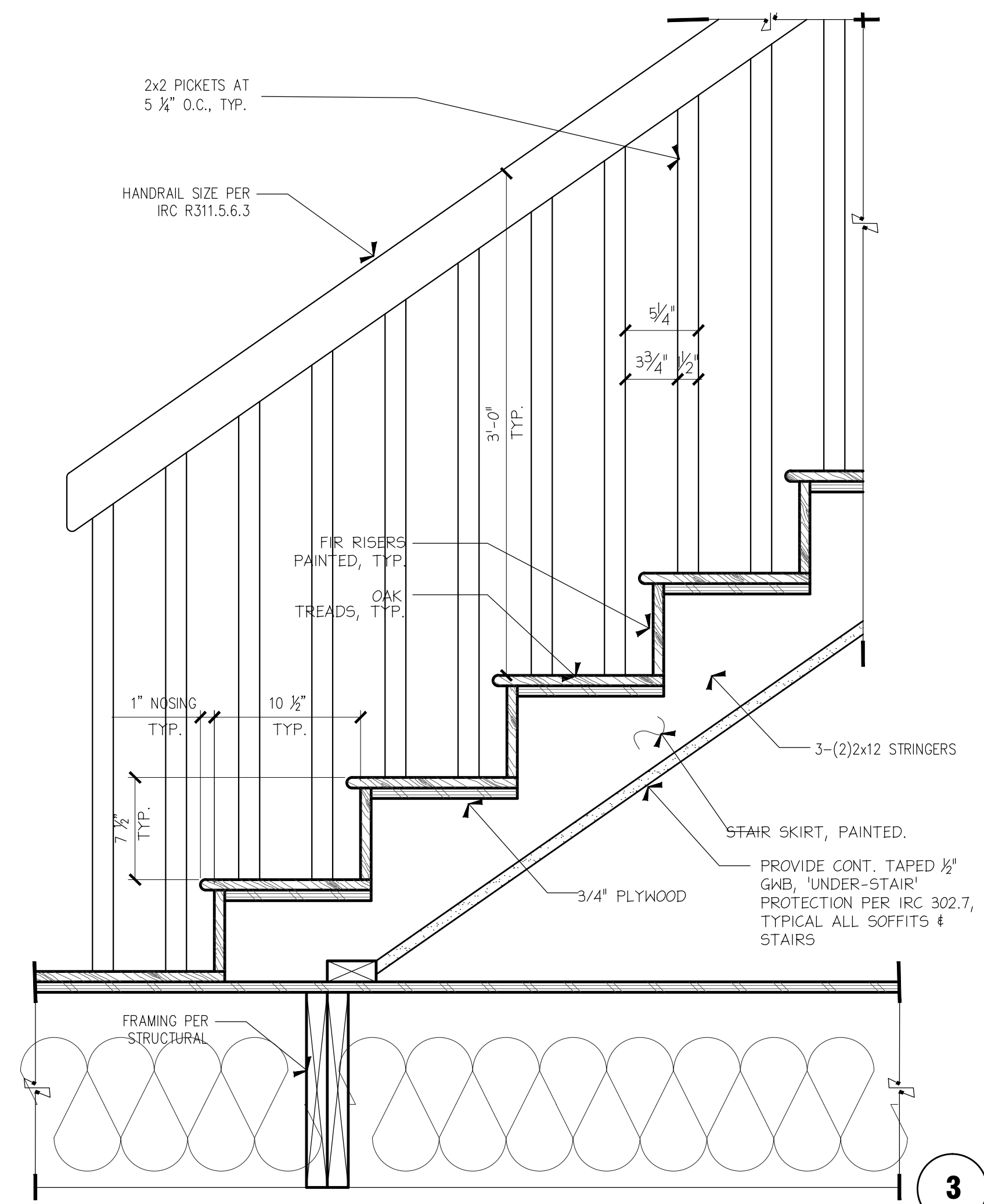
PROJECT NAME: **RKK CONSTRUCTION**
 PROJECT ADDRESS: **Lot 4 - WALIA
 3406 72nd Place, S.E.
 Mercer Is., WA 98040**

SET TITLE: **PERMIT SET**
 SHEET TITLE: **SECTION**

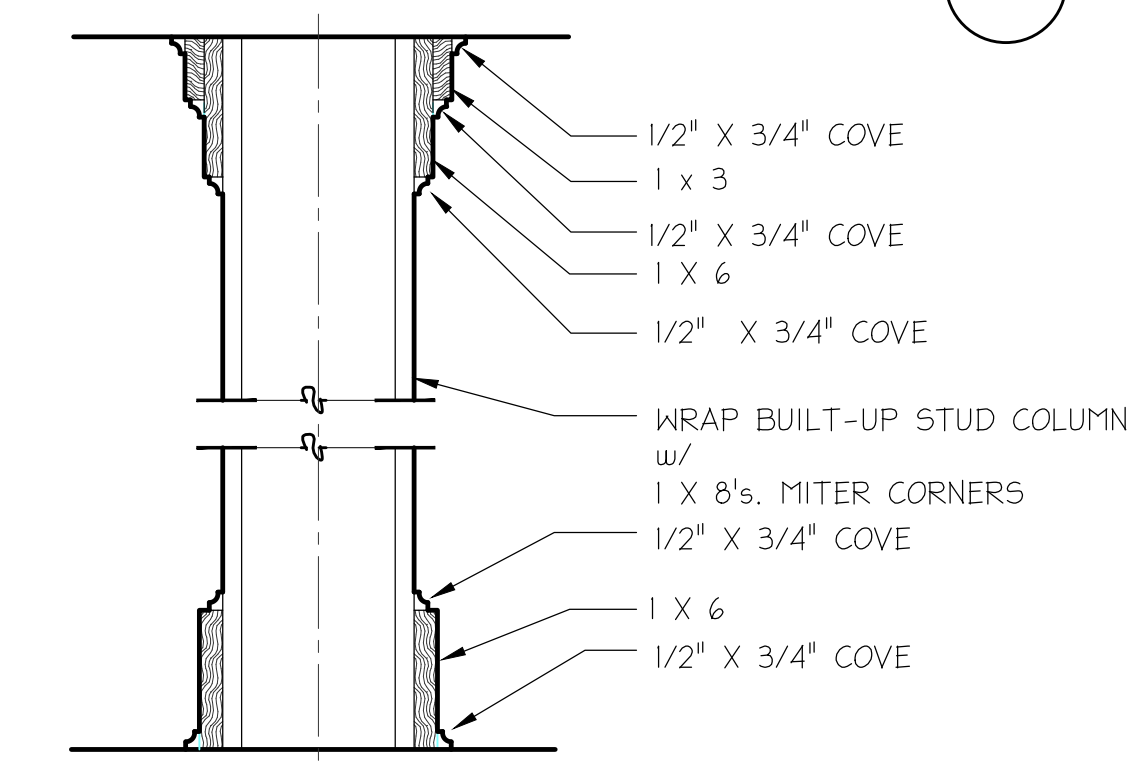
STAMP:
 4884
 RICHARD A. FISHER
 STATE OF WASHINGTON

PROJECT NO: **19150**
 DATE: **AUG 5, 2020**
 DRAWN BY: **N.F.W.**
 REVISIONS:

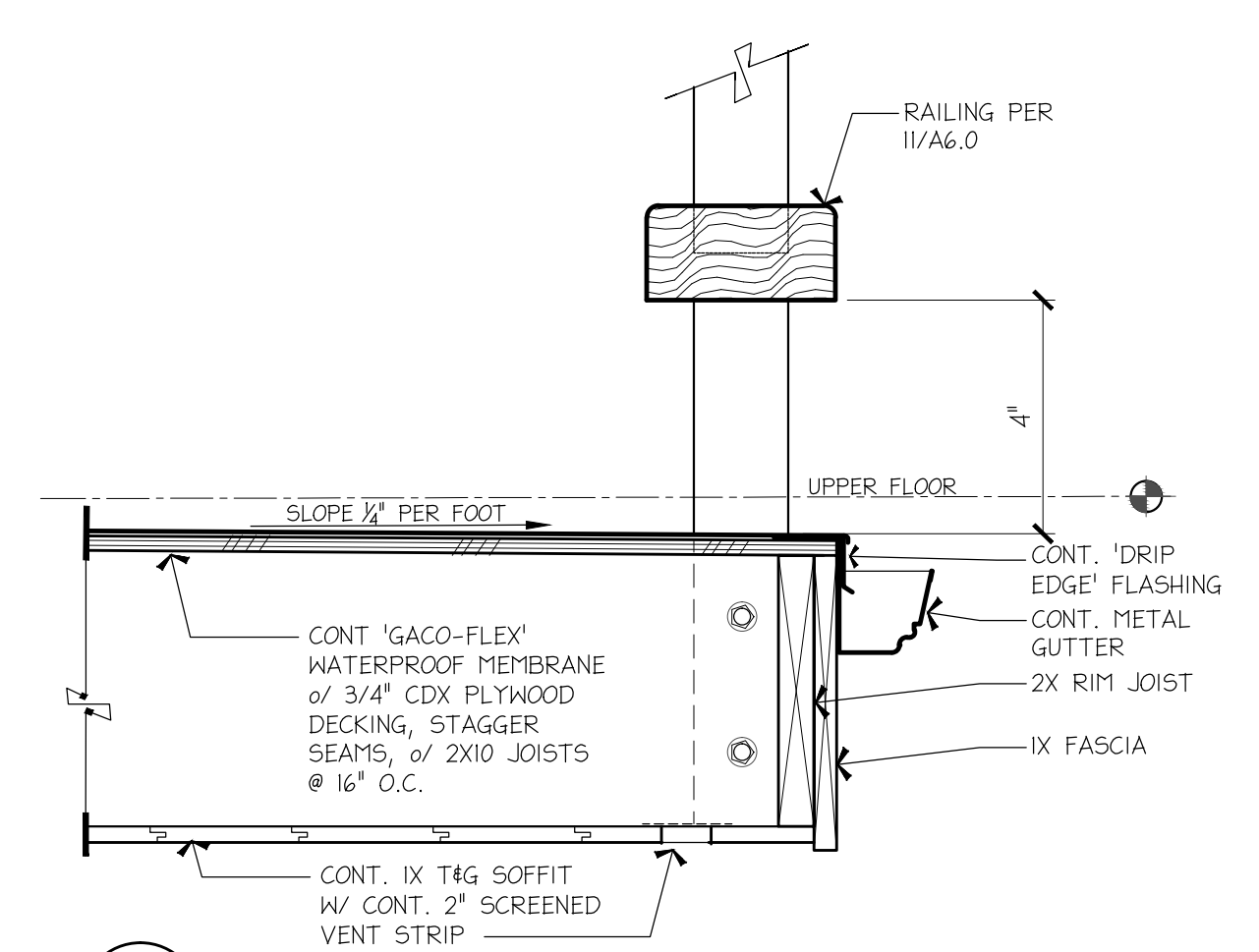
SHEET NO: **A4.0**



NOTE:
ALL COLUMN WOOD TO BE EXTERIOR GRADE.

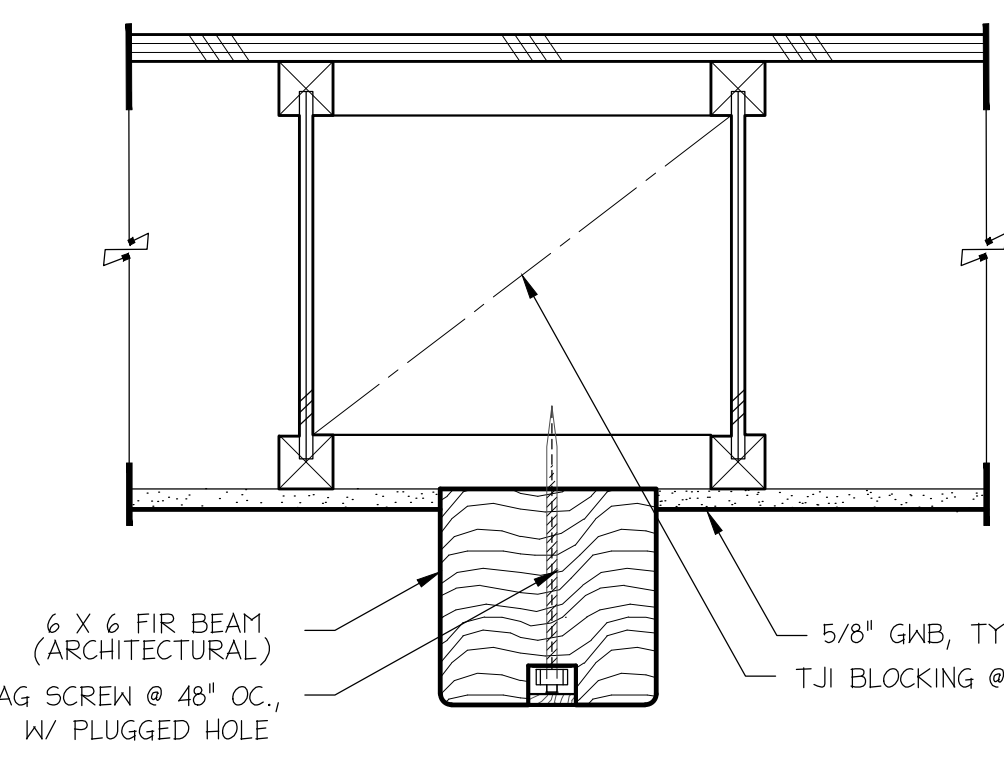


3 TYPICAL BOX COLUMN TRIM SCALE 1/2" = 1'-0"



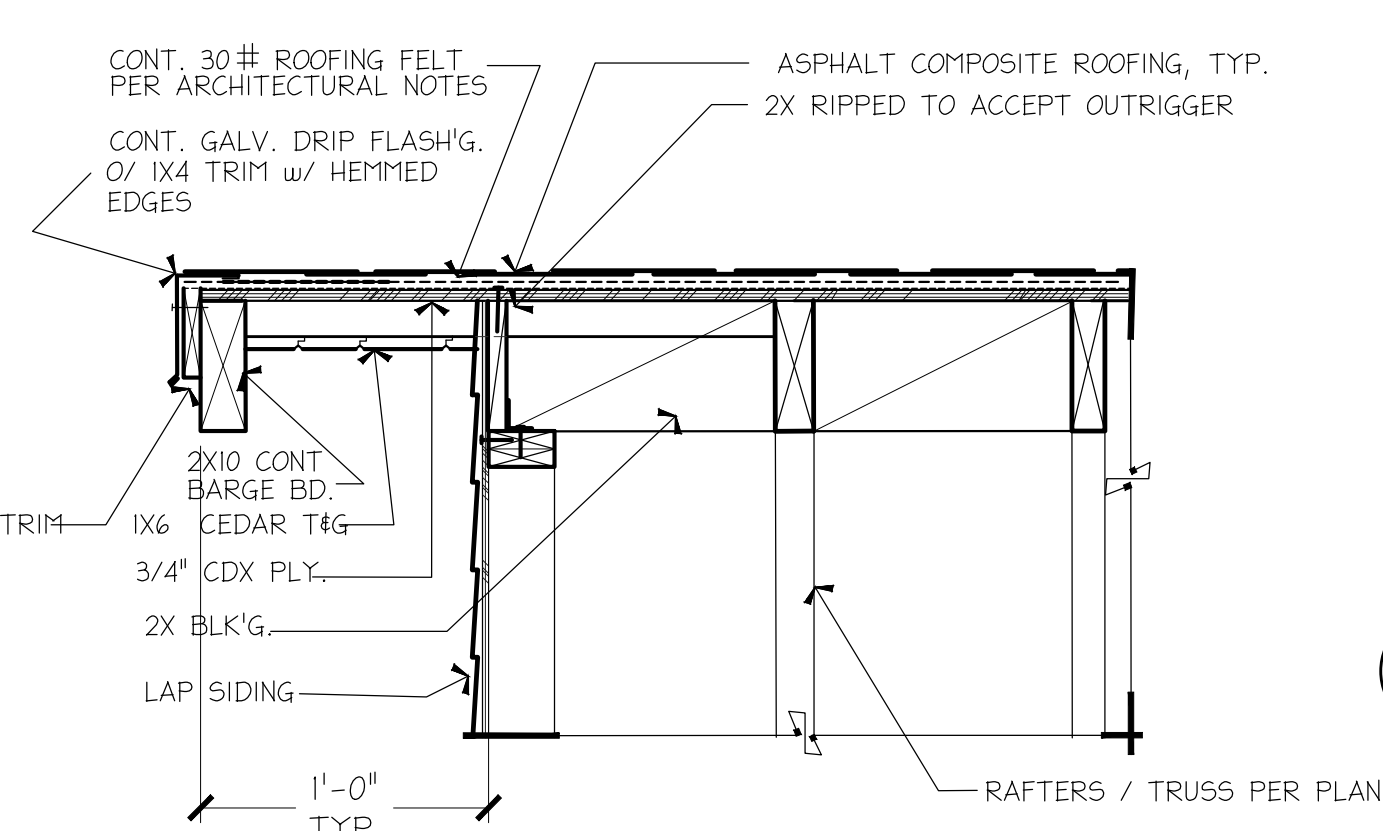
1 TYPICAL DECKING DETAIL SCALE 3/4" = 1'-0"

9 NOT USED SCALE 1/2" = 1'-0"

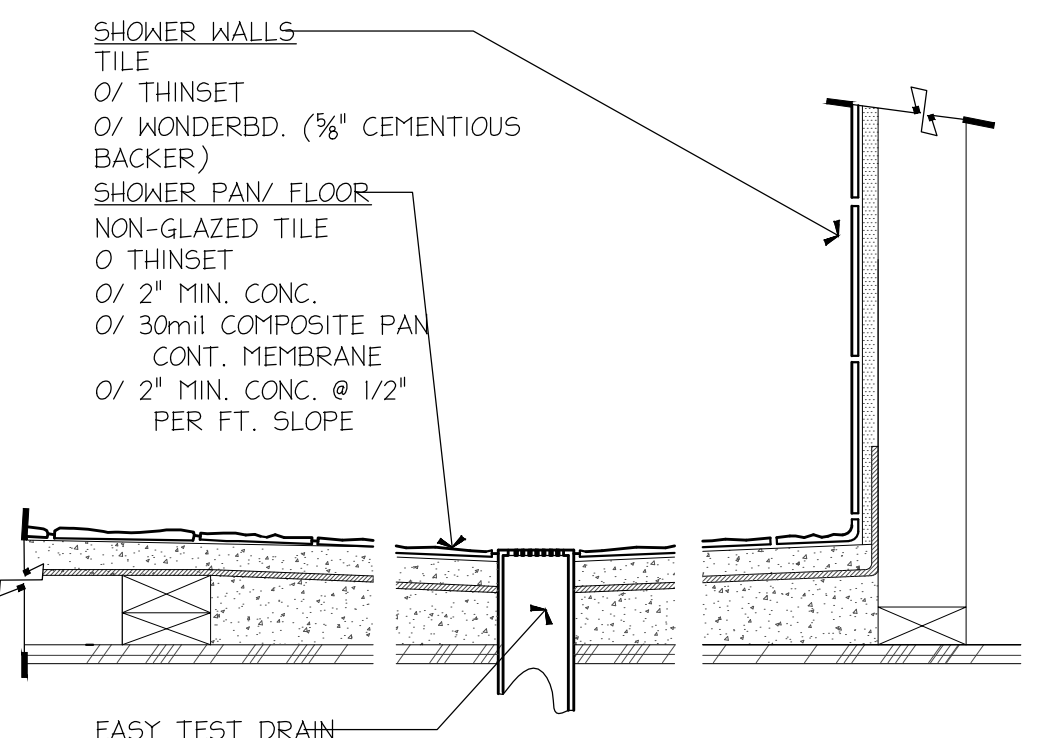


10 TYPICAL BOX COLUMN TRIM SCALE 3/4" = 1'-0"

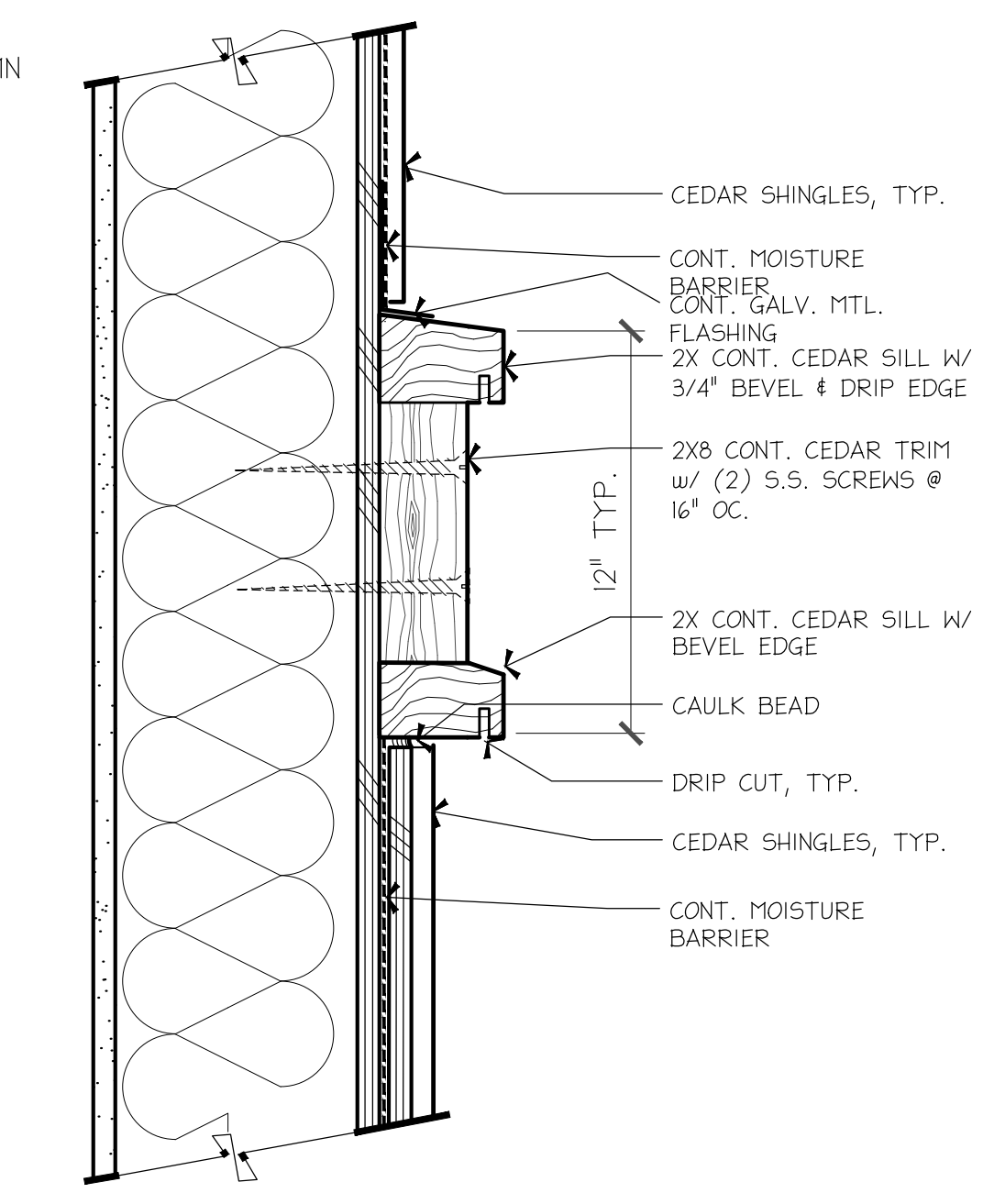
6 STAIR FRAMING DETAIL SCALE 1/2" = 1'-0"



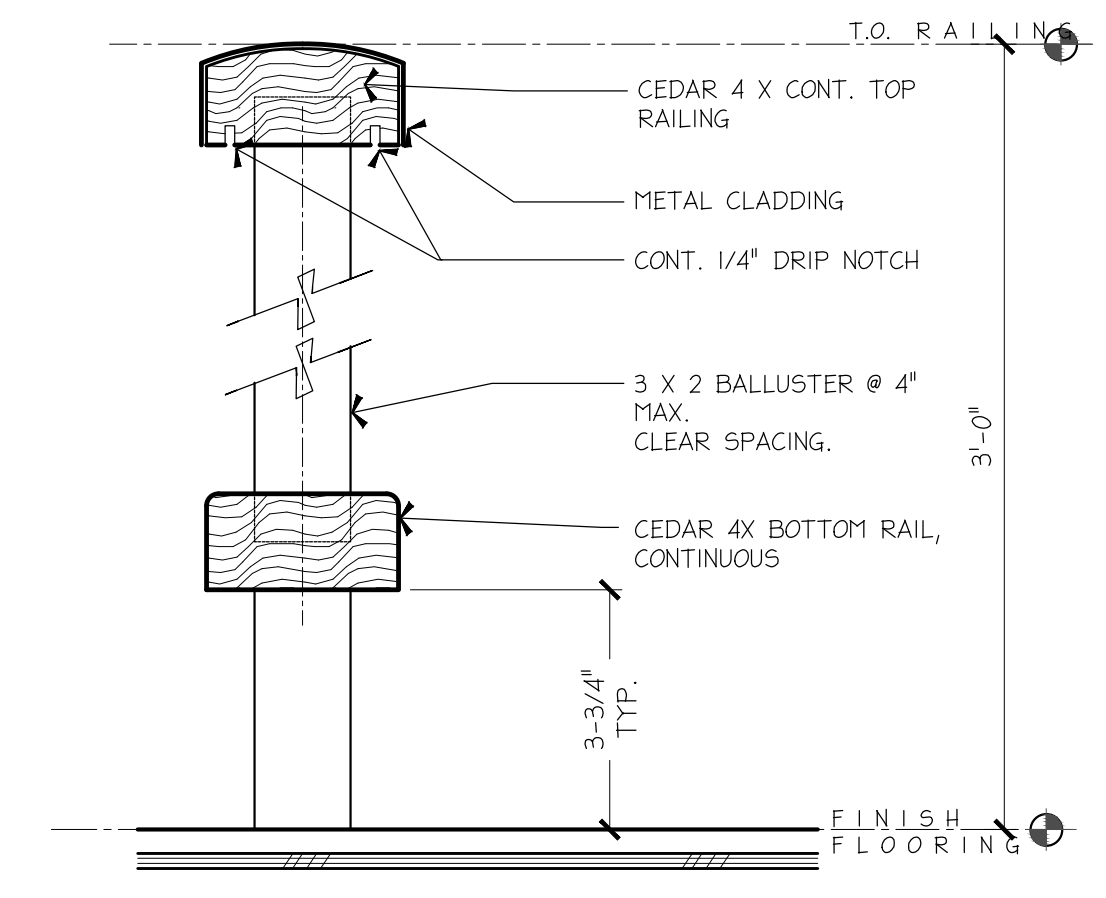
7 TYPICAL RAKE DETAIL SCALE 3/4" = 1'-0"



4 TYPICAL SHOWER PAN SCALE 1" = 1'-0"

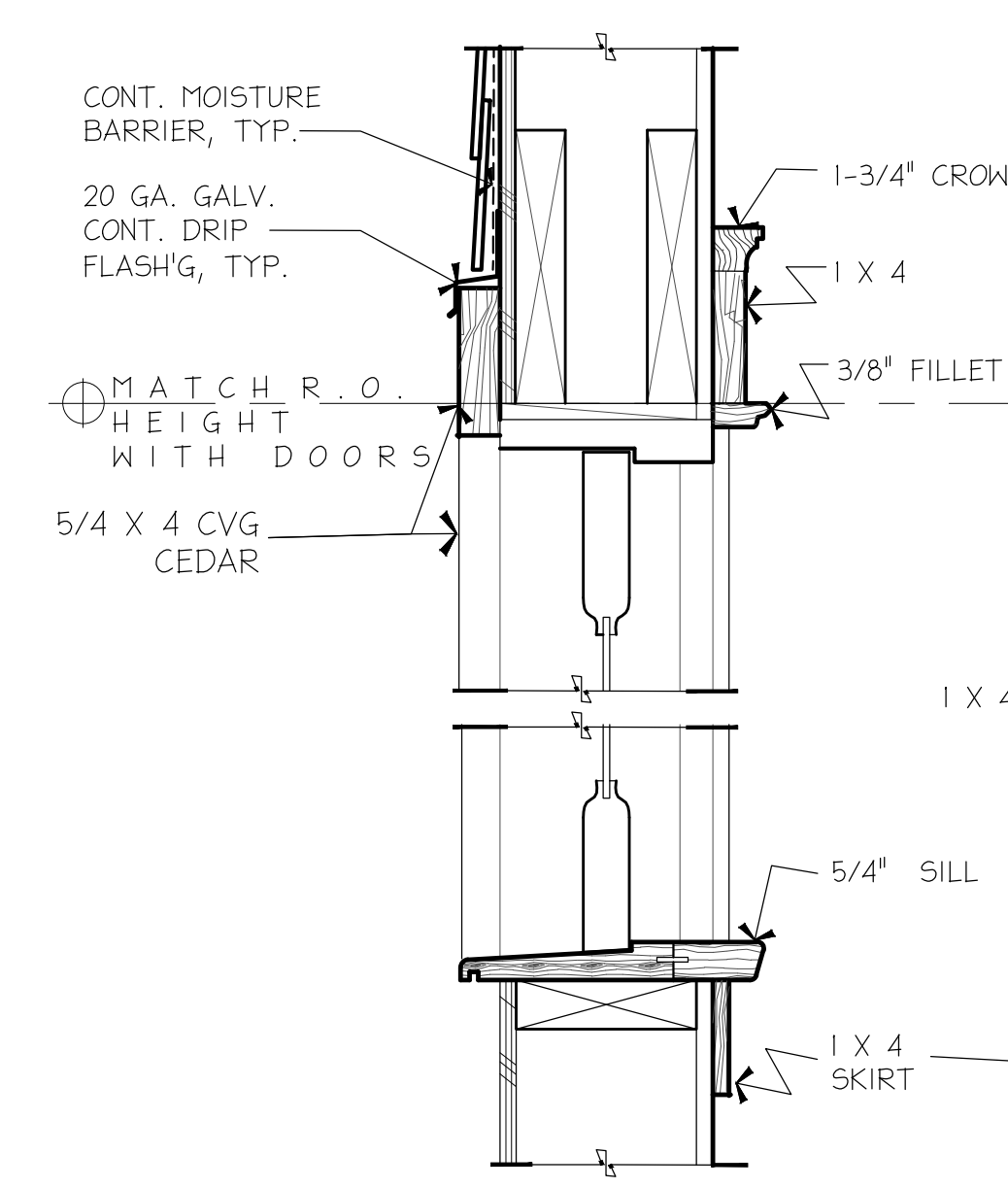


2 TYPICAL TRIM BAND DETAIL SCALE 3/4" = 1'-0"



11 TYPICAL RAILING DETAIL SCALE 3/4" = 1'-0"

8 NOT USED



5 TYPICAL WINDOW TRIM DETAIL SCALE 1/2" = 1'-0"

RKK CONSTRUCTION
Lot 4 - WALIA
3406 72nd Place, S.E.
Mercer Is., WA 98040

SET TITLE: PERMIT SET
SHEET TITLE: ARCHITECTURAL DETAILS

STAMP:
4884
RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT: 19150
DATE: AUG 5, 2020
DRAWN: N.F.W.
REVISIONS:

SHEET NO: **A6.0**

GENERAL NOTES

- STANDARD SPECIFICATIONS
 - All work shall conform to the Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island.
 - Unless otherwise specified, all work shall conform to the Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.
 - Unless otherwise specified, all work shall conform to the Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.

2. PERMITS
Prior to construction, and in addition to any other permits required, a City of Mercer Island "Street Use Permit" MUST be obtained for any and all work within the City right-of-way.

3. PLANS
If any portion of the work is to be done within the City of Mercer Island, the contractor shall obtain all necessary permits from the City of Mercer Island.

4. INSPECTION
The Contractor shall provide access to the project site at all times for inspection by the City of Mercer Island, the Washington State Department of Transportation, and the Washington State Department of Ecology.

STORM DRAINAGE CONSTRUCTION

STORM DRAINAGE PIPE
PVC pipe shall be used for all storm drainage pipe. Pipe shall be 24" diameter and shall conform to ASTM C-14, Table II, Extra Strength, rubber gasketed. Rubber gasket shall be ASTM D-2000, Class C-76. Helical corrugated aluminum pipe. Bedding to be Class "C". Gauge of pipe will be as shown on the plans. Inlet manholes shall be 24" diameter and shall conform to Section 7-04 of the Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.

2. OTHER MATERIALS
Other materials for storm drainage construction shall conform to the Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.

3. MANHOLE RESTRICTIONS

- Manhole covers shall be 24" diameter.
- Minimum cover over storm drain shall be 18".
- Trunk manholes shall be 48" diameter. Each service requires a tee for testing. The ends shall be marked with not less than a No. 9 wire and secured to a 2" x 4" stake stenciled "SEWER" and painted white. The stake shall be 2" x 4" and shall be secured to the manhole cover with not less than a No. 9 wire and secured to a 2" x 4" stake stenciled "SEWER" and painted white.

4. CATCUTS

- Unless otherwise specified, all work shall conform to the Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.
- Unless otherwise specified, all work shall conform to the Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.

INLETS
Covers shall be 24" diameter.

6. MANHOLE COVERS

- Covers shall be 24" diameter and shall conform to the Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.
- Grates shall be ductile iron and have the letters "DUCT" cast in the cover. Solid covers for manholes, where permitted, shall be 24" diameter, with "DRAIN" cast in cover in 2" letters, conforming to Olympic Foundry Co. MH43, Inland Foundry No. 835, or approved equal.
- Drainage covers shall be 24" diameter and shall conform to the Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.

7. FRAMES
Frames shall be 24" diameter and shall conform to the Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.

SANITARY SEWER CONSTRUCTION

SANITARY SEWER PIPE
Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.

2. SIDE SEWER PIPE
Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.

3. SPECIAL CONDITIONS
Unless otherwise specified, all work shall conform to the Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.

4. EDUCATION AND TRAINING
Training shall be provided for all workers on the project site.

5. SIDE AND/OR LATERAL SEWERS
Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.

6. MANHOLES
Shall be minimum 48" I.D. Type 1, as shown on the Standard Details. The manhole lid shall be WSDOT STND; PLAN B-25 or approved equal with "SEWER" cast on lid in 2" letters.

7. BEDDING
Shall be as shown on the plans, or on Standard Plan B-11. Bedding for PVC pipe shall be 6" below and 6" above pipe, compacted to 95%. Pipe zone bedding shall be as set forth in Section 9-03.12(3).

8. TESTING
Standard Specifications for Road and Bridge Construction, Standard Specifications for Road and Bridge Maintenance, and Standard Specifications for Construction of Sewerage and Sanitation Systems, as published by the Washington State Department of Transportation, and the City of Mercer Island, 3600 SE 36th Street, Mercer Island, WA 98040.

CONTROL OF MATERIAL

The contractor shall be responsible for the control of all materials used in the project. All materials shall be stored in a secure location and shall be protected from theft and damage. The contractor shall be responsible for the control of all materials used in the project.

EROSION AND SEDIMENTATION CONTROL

1. The contractor shall be responsible for the control of all materials used in the project. All materials shall be stored in a secure location and shall be protected from theft and damage. The contractor shall be responsible for the control of all materials used in the project.

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WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.

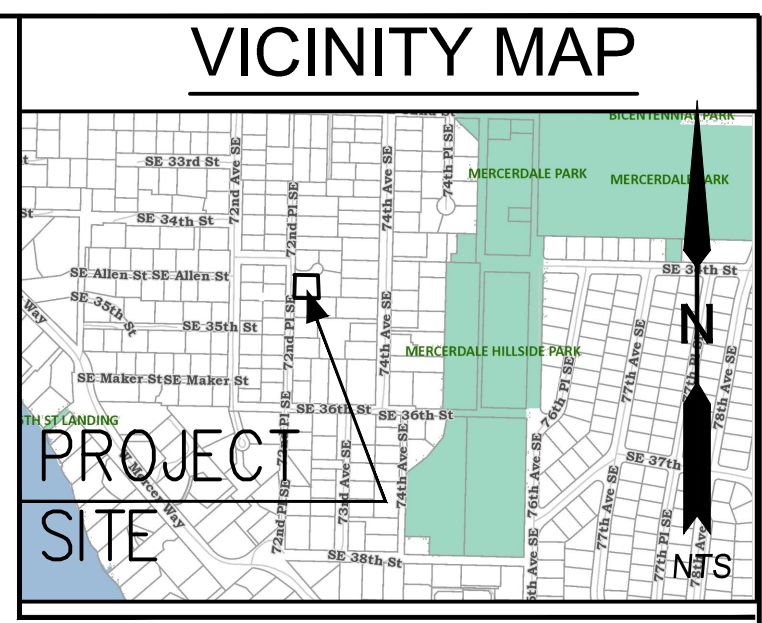
Installation of concrete driveways, trees, shrubs, irrigation, boulders, berms, walls, gates, and other improvements are NOT allowed in Public Right of Way without PRIOR approval, and an Encroachment Agreement and Right of Way permit from Senior Development Engineer.

CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1-800-424-5555.

REMEMBER: Erosion control is your *FIRST* inspection.

INDEX

SHEET 1	COVER SHEET
SHEET 2	DRAINAGE PLAN
SHEET 3	TESC PLAN
SHEET 4	TESC DETAILS
SHEET 5	TREE PLAN
SHEET 6	SOIL AMENDMENT PLAN



BASIS OF BEARINGS
PER REFERENCE 1, ACCEPTED BEARING OF N 88°49'48" W ALONG CENTERLINE OF SE 32ND ST BETWEEN FOUND MONUMENTS.

REFERENCES
R1. MERCER ISLAND SHORT PLAT FILE NO. SUB0002-001, VOL. 139, PG. 238, RECORDS OF KING COUNTY, WASHINGTON.
R2. RECORD OF SURVEY, VOL. 141, PG. 243, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM
NAVD 88 PER CITY OF MERCER ISLAND BENCHMARK #6457 2" BRASS CAP WITH "X" IN CONC MON, DOWN 1.0', 5" OFFSET MON INTX SE 32ND ST & 74TH AVE SE. ELEV=324.56'

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY!
Call before you Dig
1-800-424-5555
UNDERGROUND SERVICE USA

BY	DATE	APPR	DRN	REVISION

CONTACT: RKK CONSTRUCTION
3056 70th Avenue S.E.
MERCER ISLAND, WA 98040
TEL: 206-236-2920

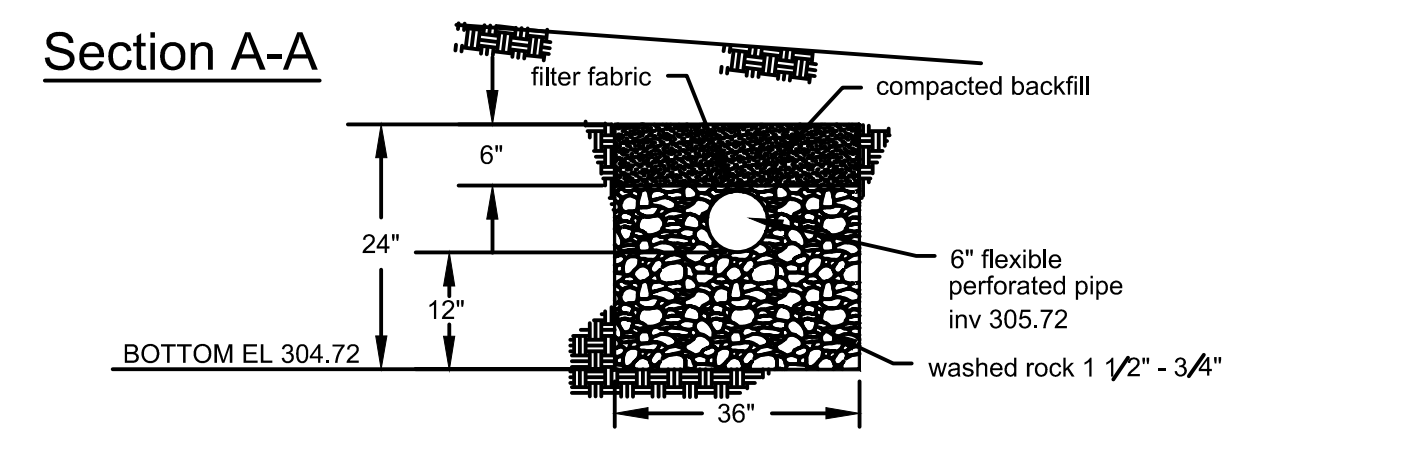
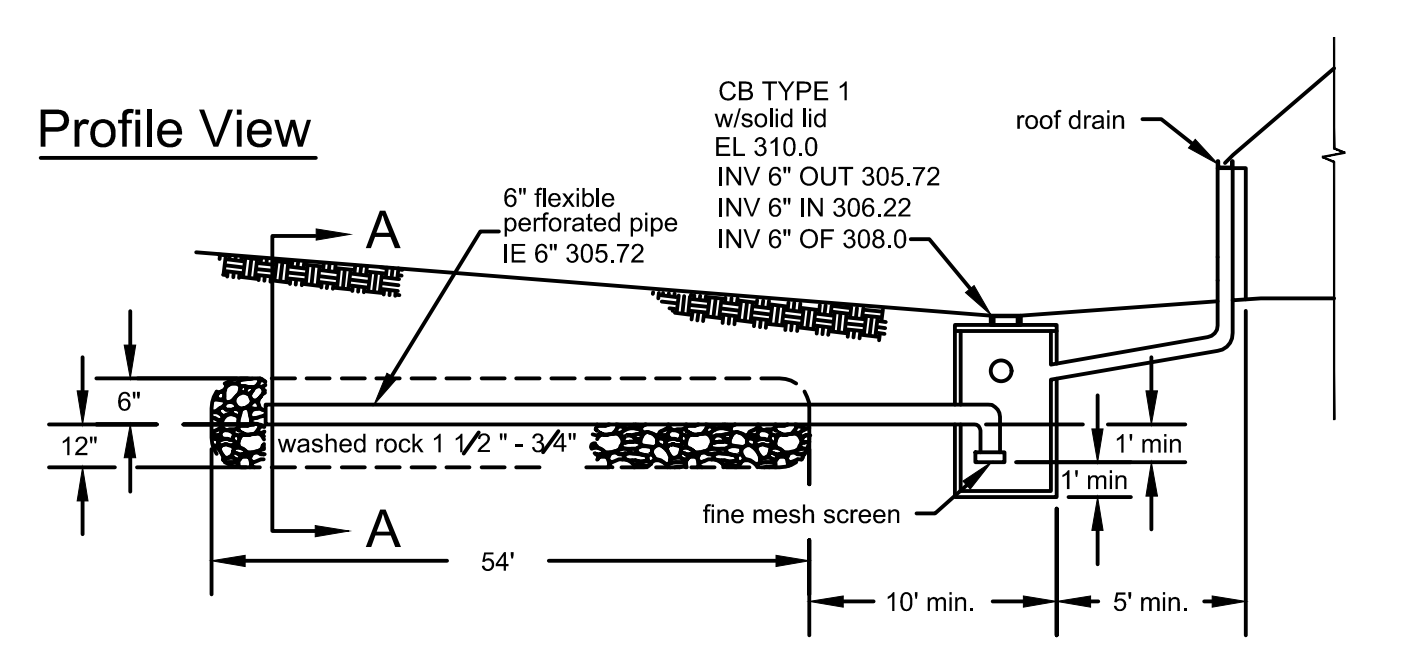
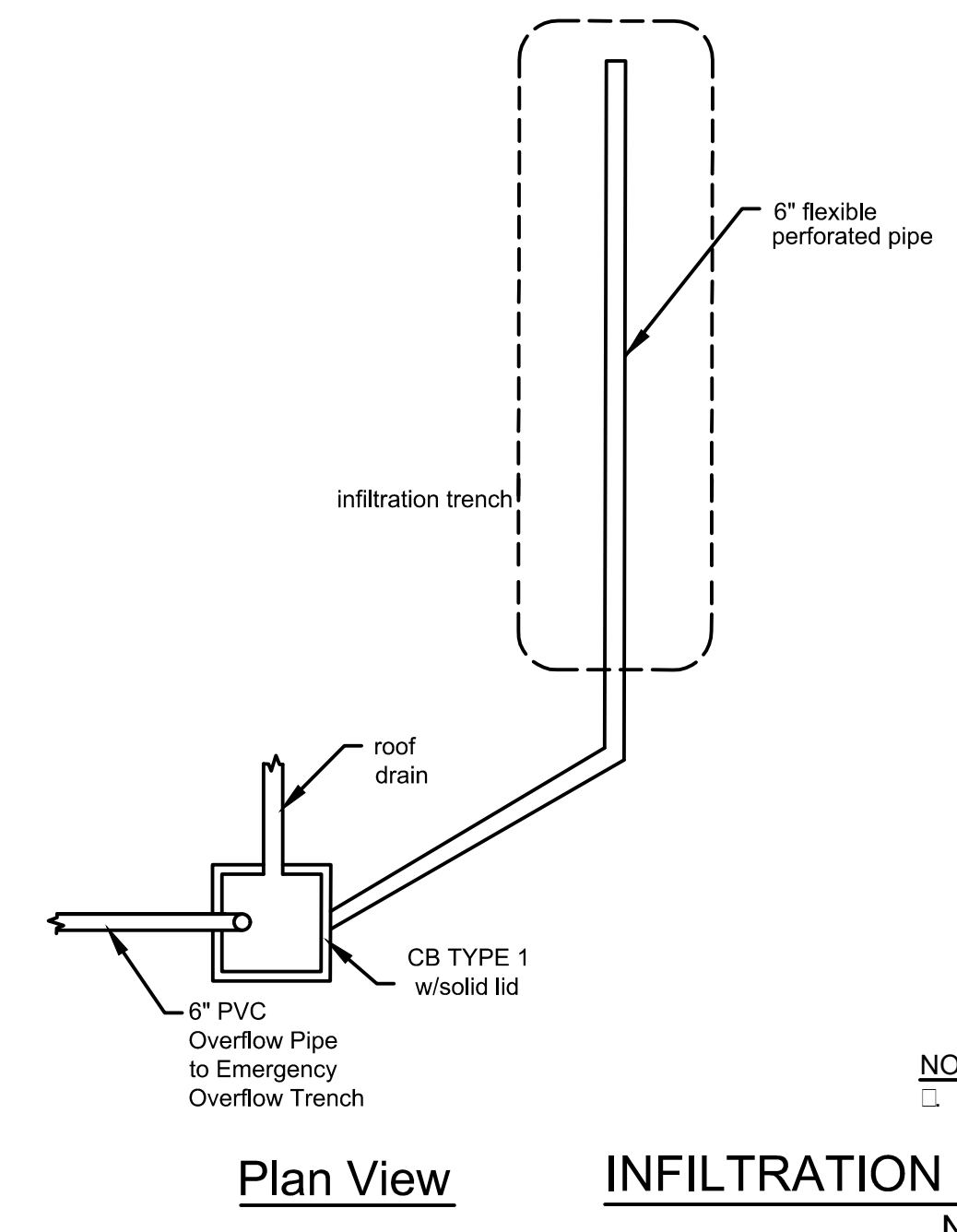
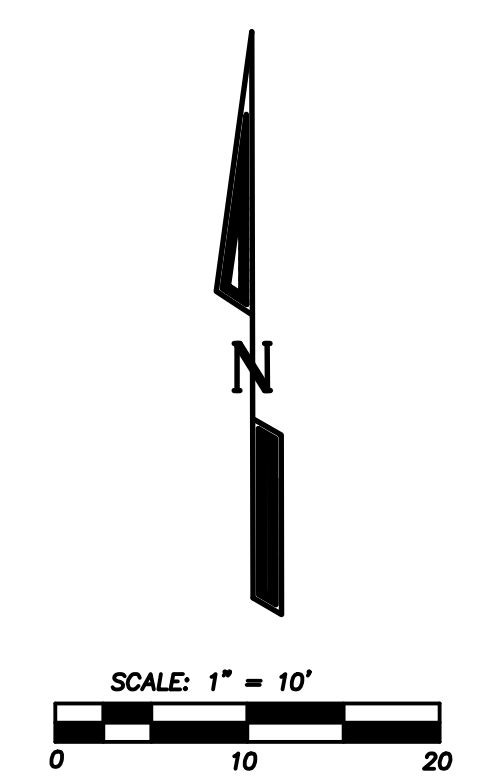
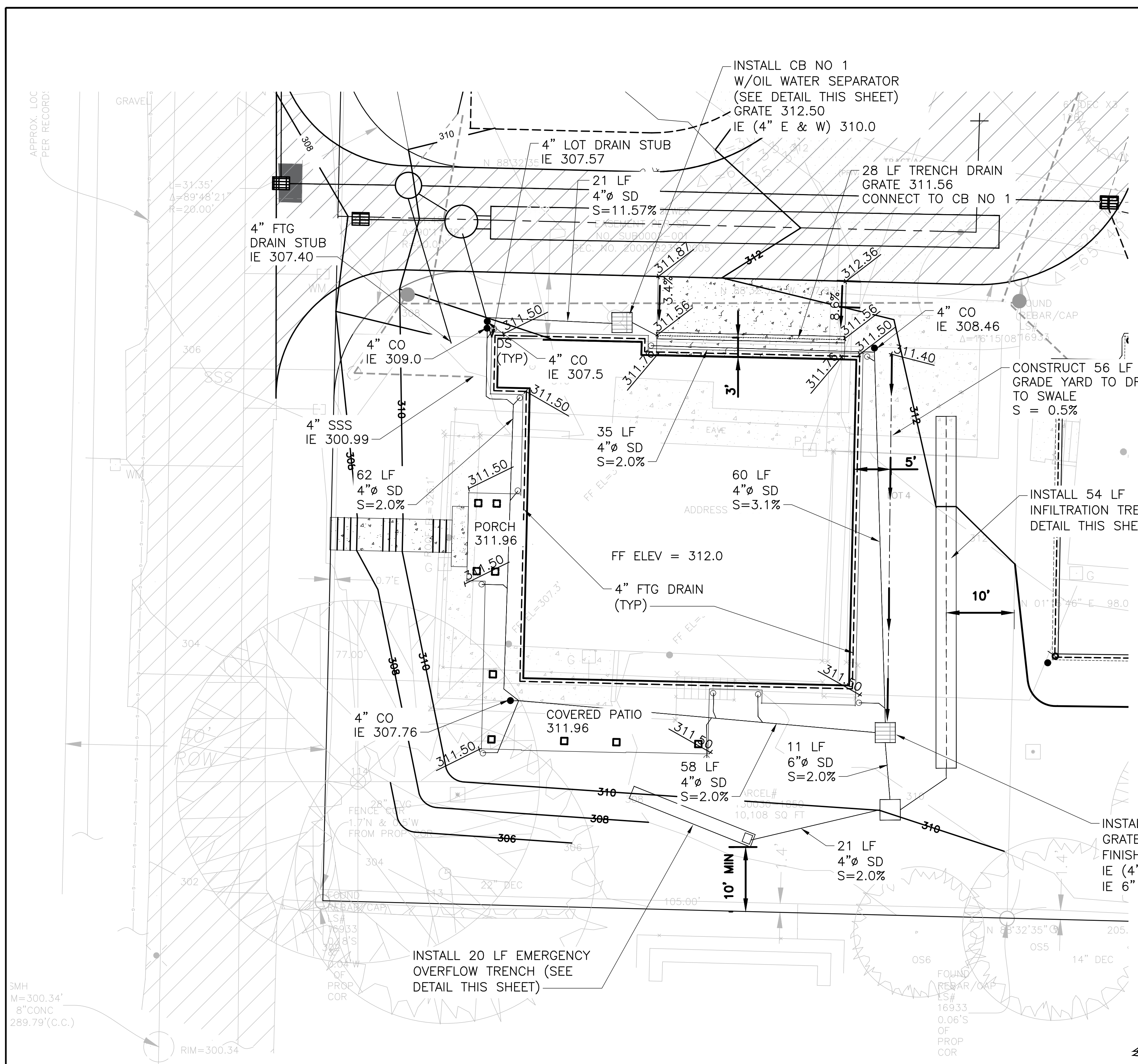
DARLA GUERRERO, P.E.

15020 S.E. 46TH STREET
BELLEVUE, WA 98006
TEL: 425-753-4307

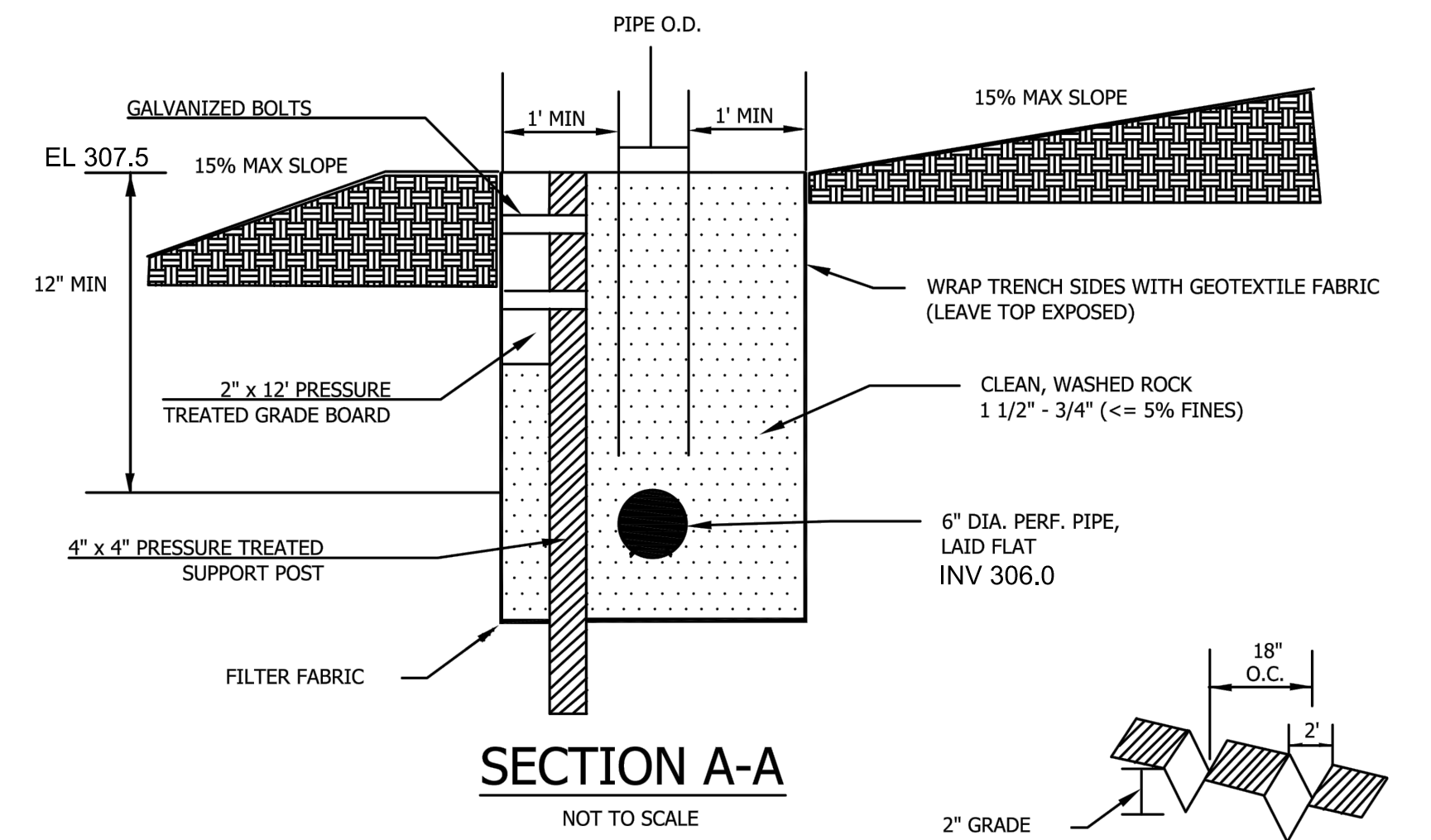
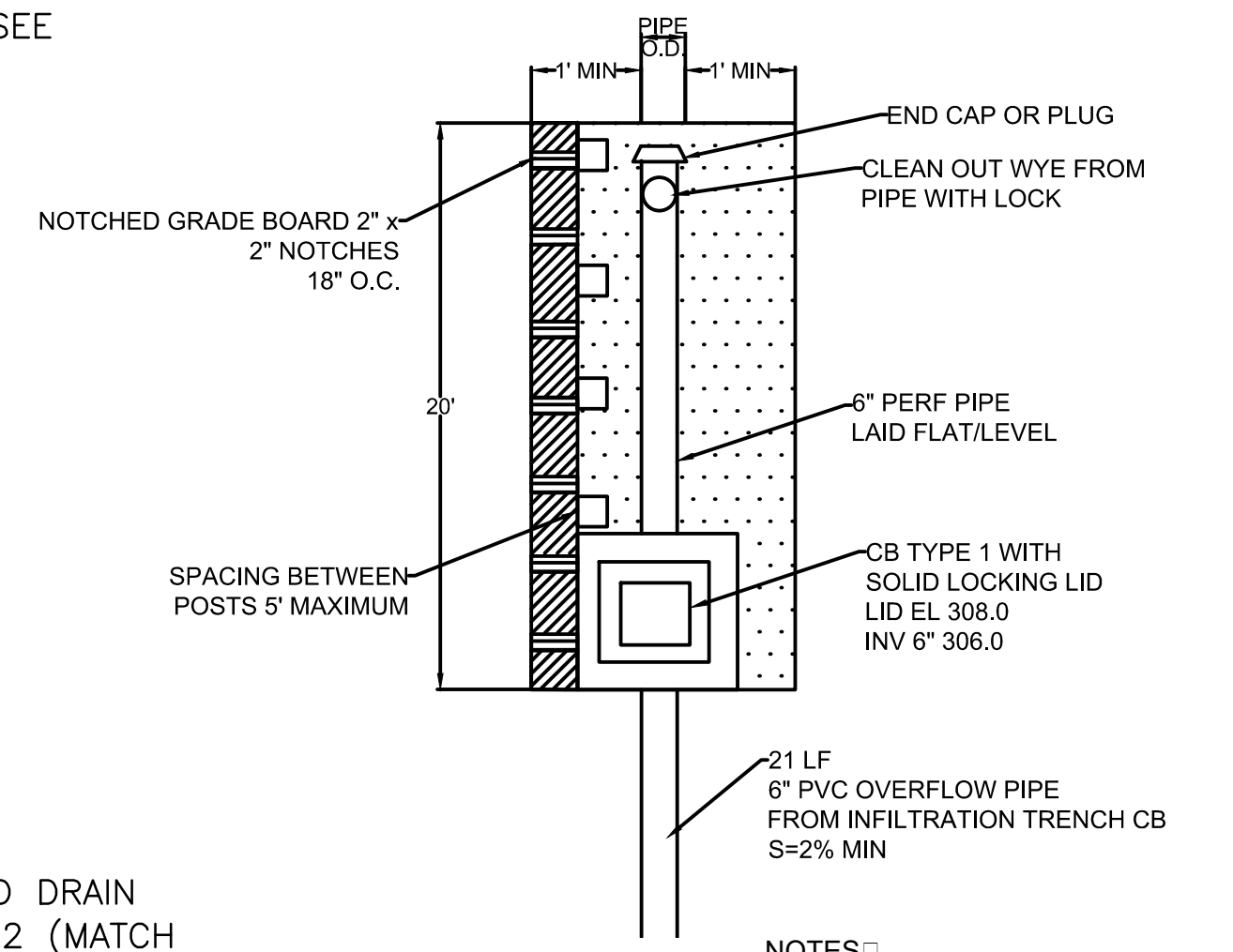
COVER SHEET
PROPOSED RESIDENCE
3406 72nd PLACE S.E.
MERCER ISLAND, WA

DATE: AUGUST 2020 PROJECT: SCALE: NA

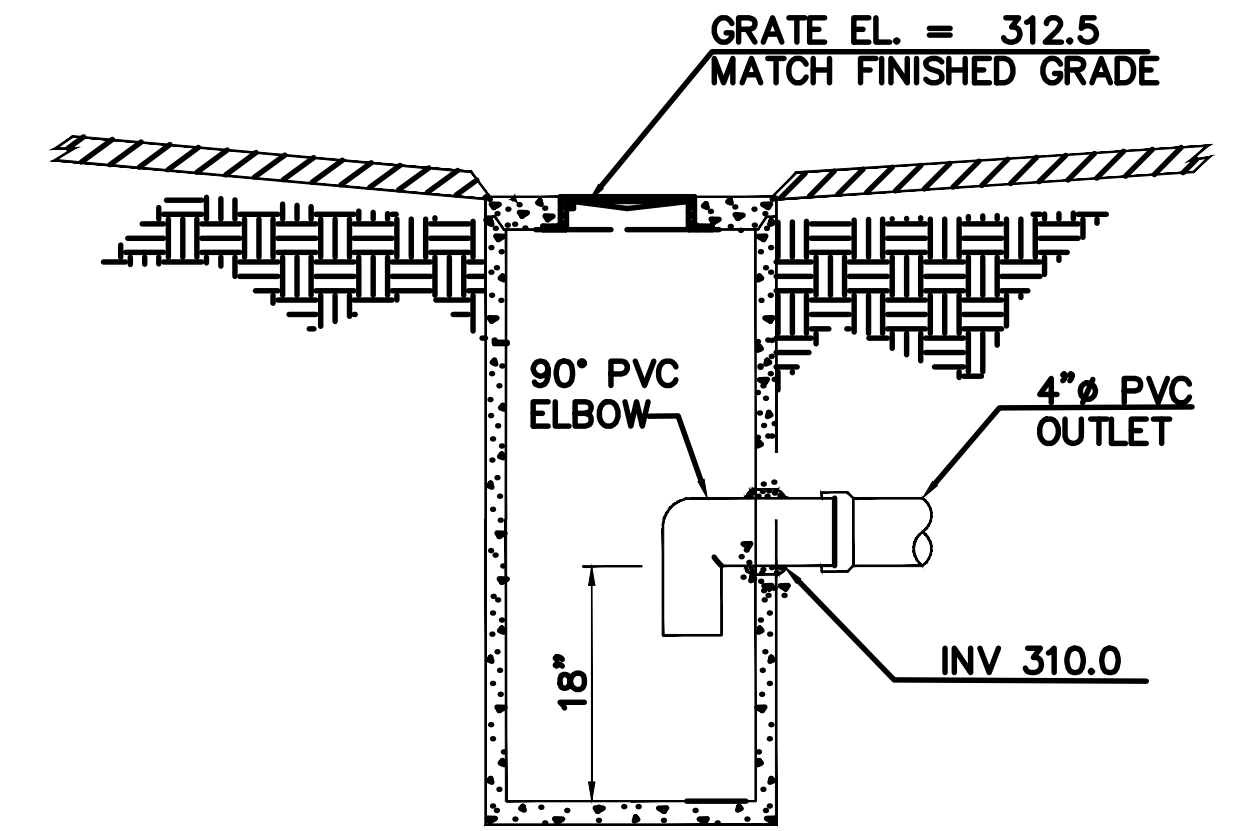
SHEET 1 OF 6



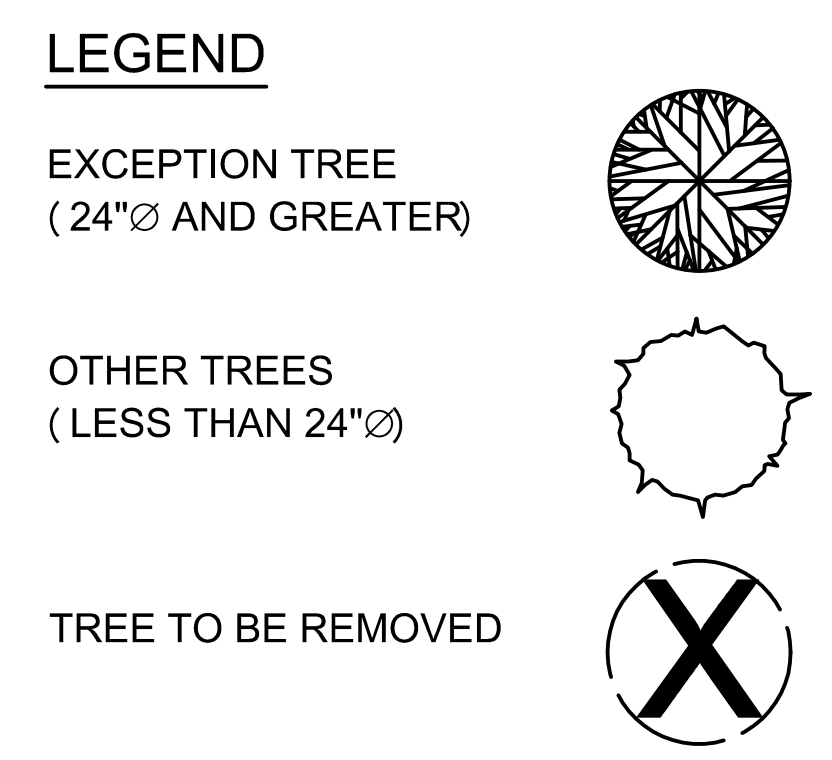
NOTES:
 1. MAINTAIN MINIMUM CLEARANCE FROM BUILDING FOUNDATION.



NOTES:
 1. MAINTAIN MINIMUM CLEARANCE FROM BUILDING FOUNDATION.
 2. THIS TRENCH SHALL BE CONSTRUCTED SO AS TO PREVENT POINT DISCHARGE AND EROSION.
 3. TRENCH AND GRADE BOARD MUST BE LEVEL ALONG TO FOLLOW CONTOURS OF SITE.
 4. SUPPORT POST SPACING AS REQUIRED BY SOIL CONDITIONS TO ENSURE GRADE BOARD REMAINS LEVEL.
 5. CLEAN AND CLEAN OUT MUST BE ABOVE THE TOP OF THE DISPERSION TRENCH.



TYPICAL C.B. NO 1, 17" X 17" WITH OIL SEPARATOR ELBOW



NOTE: ALL ROOF DRAINAGE WILL BE COLLECTED AND TIGHTLINED TO THE STORM DRAIN SYSTEM.

WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.

Installation of concrete driveways, trees, shrubs, irrigation, boulders, berms, walls, gates, and other improvements are NOT allowed in Public Right of Way without PRIOR approval, and an Encroachment Agreement and Right of Way permit from Senior Development Engineer.

CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1-800-424-5555.

REMEMBER: Erosion control is your FIRST inspection.

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BY	DATE	APPR	DRN	REVISION

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 3056 70th Avenue S.E.
 MERCER ISLAND, WA 98040
 TEL: 206-236-2920

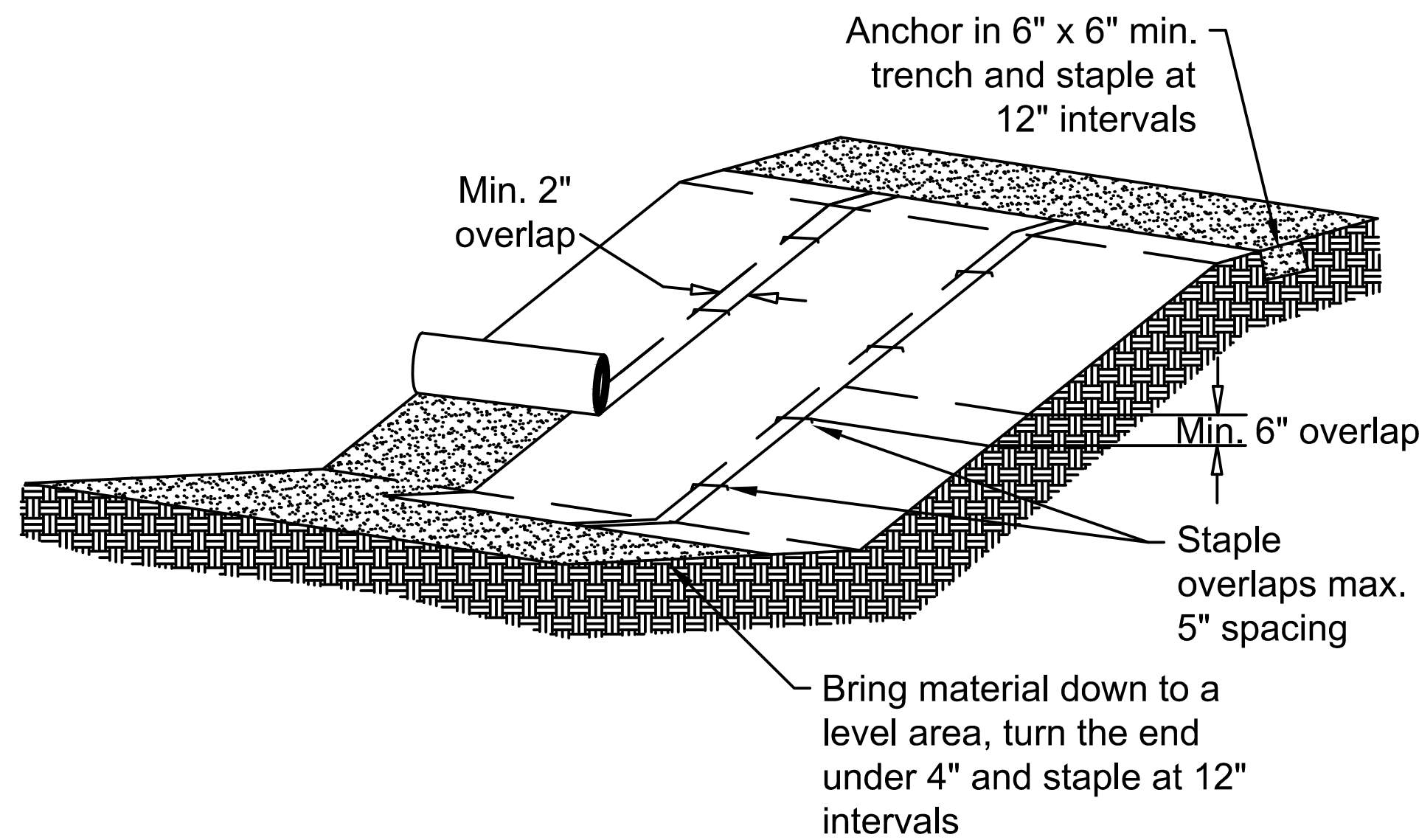
DRN DSGN CHKD

DARLA GUERRERO, P.E.

15020 S.E. 46TH STREET
 BELLEVUE, WA 98006
 TEL: 425-753-4307

DRAINAGE PLAN
 PROPOSED RESIDENCE
 3406 72nd PLACE S.E.
 MERCER ISLAND, WA

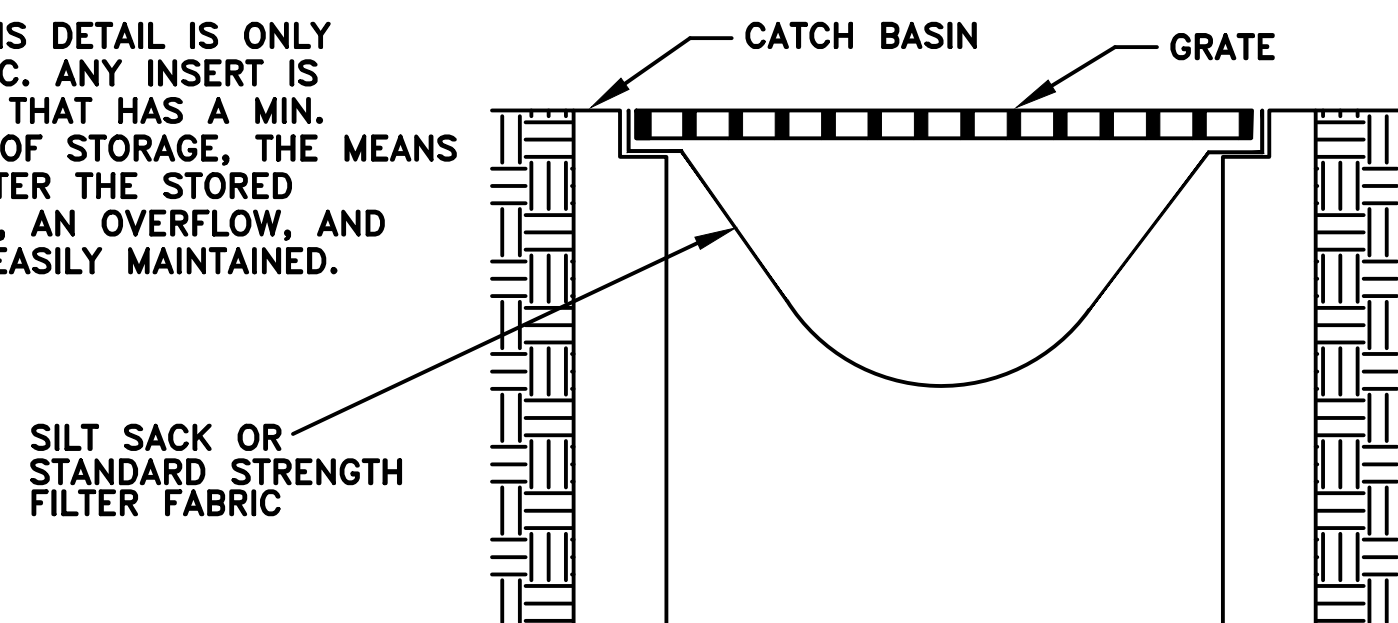
DATE: AUGUST 2020 PROJECT: SCALE: 1" = 10'



- Notes:
1. Slope surface shall be smooth before placement for proper soil contact.
 2. Stapling pattern as per manufacturer's recommendations.
 3. Do not stretch blankets/mattings tight - allow the rolls to mold to any irregularities.
 4. For slopes less than 3H:1V, rolls may be placed in horizontal strips.
 5. If there is a berm at the top of the slope, anchor upslope of the berm.
 6. Lime, fertilize, and seed before installation. Planting of shrubs, trees, etc. should occur after installation.

PLASTIC COVERING DETAIL
PER BMP C-123
NTS

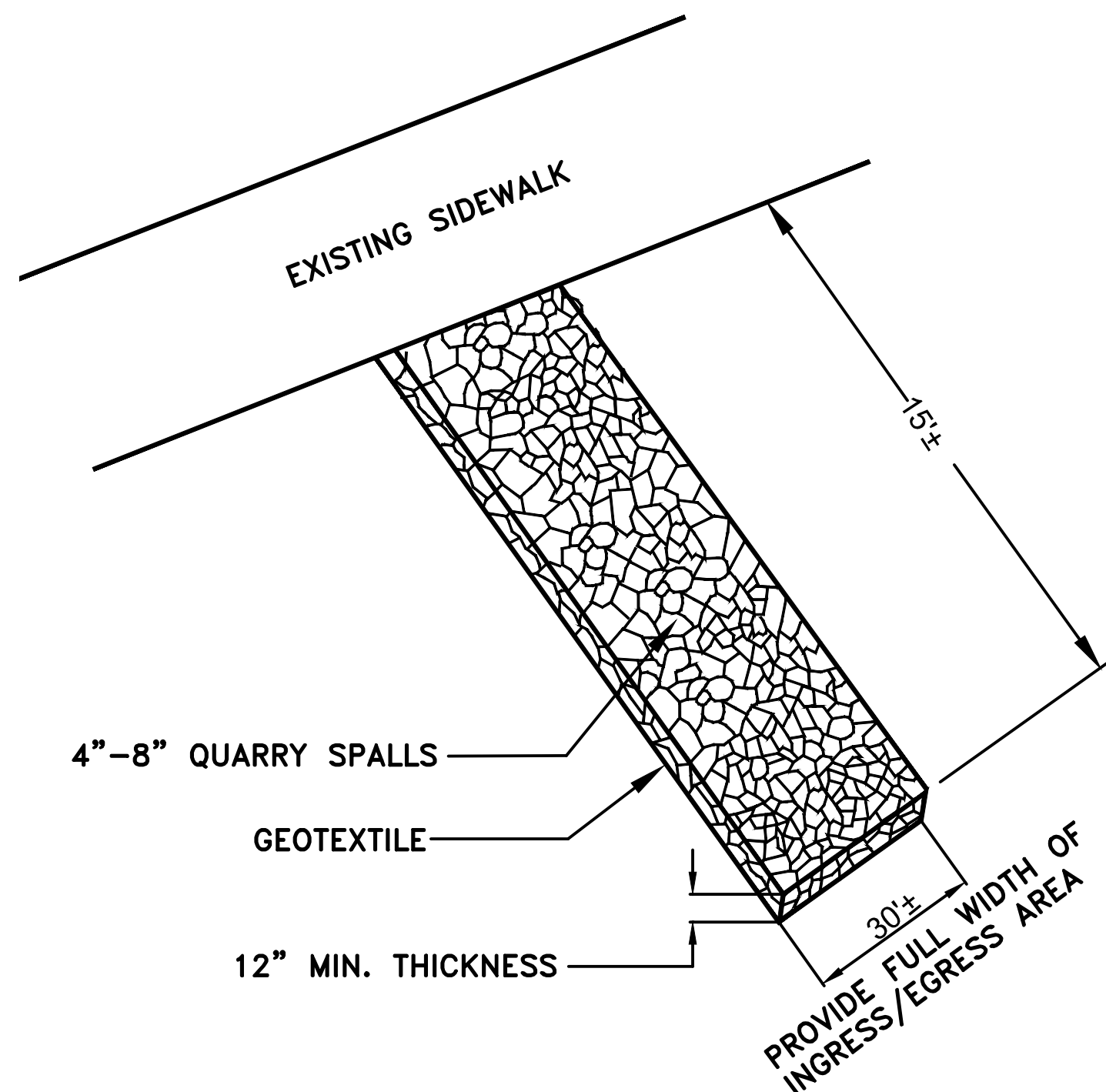
NOTE: THIS DETAIL IS ONLY SCHEMATIC. ANY INSERT IS ALLOWED THAT HAS A MIN. 0.5 C.F. OF STORAGE, THE MEANS TO DEWATER THE STORED SEDIMENT, AN OVERFLOW, AND CAN BE EASILY MAINTAINED.



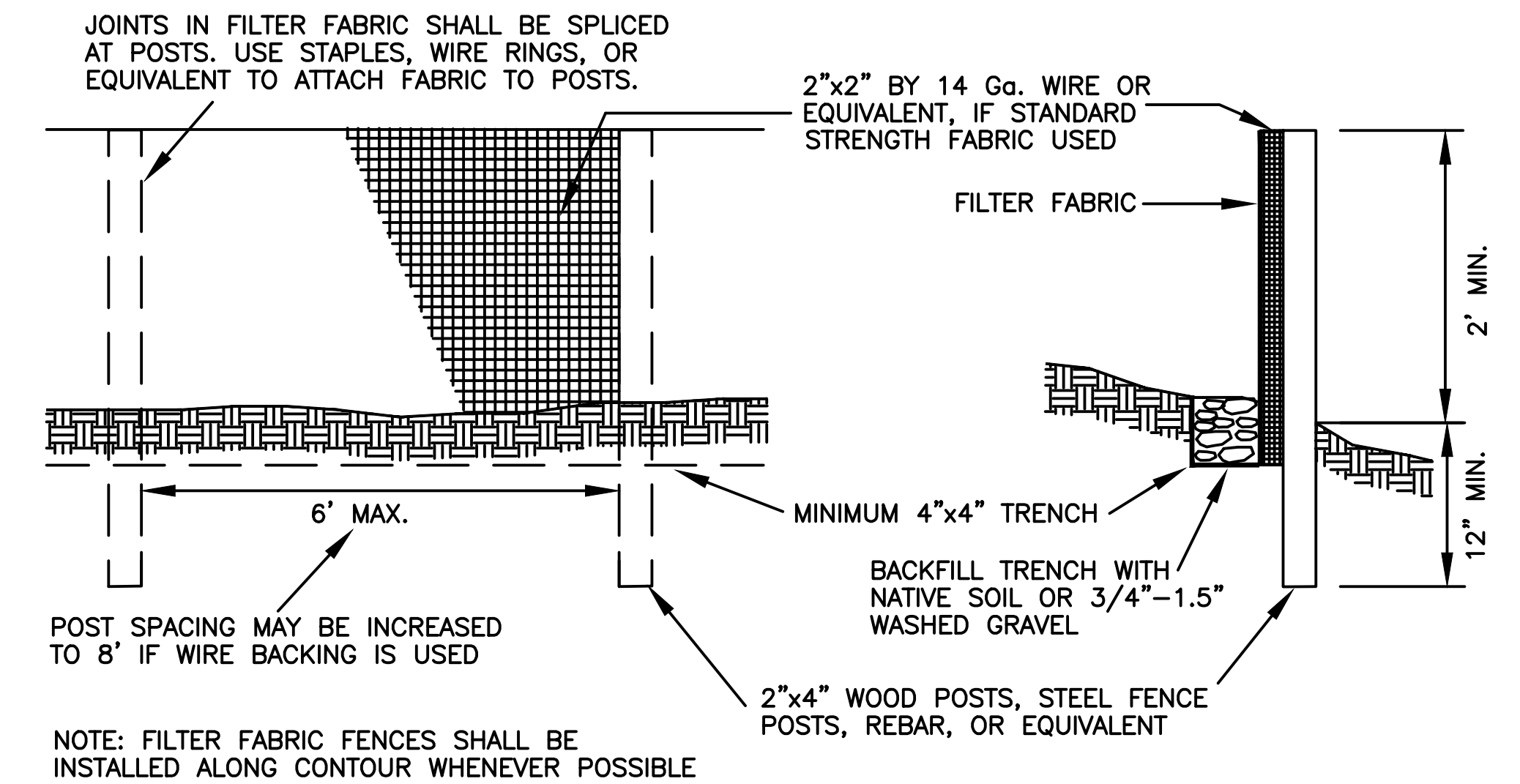
STORM DRAIN INLET PROTECTION DETAIL
PER BMP C-220
NTS

- Maintenance Standards:
- Catch basin filters should be inspected frequently, especially after storm events. If the insert becomes clogged, it should be cleaned or replaced.
 - For systems using stone filters: If the stone filter becomes clogged with sediment, the stones must be pulled away from the inlet and cleaned or replaced. Since cleaning of gravel at a construction site may be difficult, an alternative approach would be to use the clogged stone as fill and put fresh stone around the inlet.
 - Do not wash sediment into storm drains while cleaning. Spread all excavated material evenly over the surrounding land area or stockpile and stabilize as appropriate.

- NOTE:
1. The ESC facilities shown on this plan are the minimum requirements for anticipated site conditions. During the construction period, these ESC facilities shall be upgraded (e.g. additional sumps, relocation of ditches and silt fences) as needed for unexpected storm events. Additionally more ESC facilities may be required to ensure complete siltation control. Therefore, during the course of construction it shall be the obligation and responsibility of the contractor to address any new conditions that may be created by his activities and to provide additional facilities over and above the minimum requirements as may be needed.



STABILIZED CONSTRUCTION
ENTRANCE/EXIT DETAIL PER BMP C-105
NTS



Design and Installation Specifications

1. The geotextile used must meet the standards listed below. A copy of the manufacturer's fabric specifications must be available on site. AOS (ASTM D4751) 30-100 sieve size (0.60-0.15 mm) for slit film 50-100 sieve size (0.30-0.15 mm) for other fabrics Water Permittivity (ASTM D4491) 0.02 sec-1 minimum Grab Tensile Strength (ASTM D4632) 180 lbs. min. for extra strength fabric 100 lbs. min. for standard strength fabric Grab Tensile Elongation (ASTM D4632) 30% max. Ultraviolet resistance (ASTM D4355) 70% min.
2. Standard strength fabric requires wire backing to increase the strength of the fence. Wire backing or closer post spacing may be required for extra strength fabric if field performance warrants a stronger fence.
3. Where the fence is installed, the slope shall be no steeper than 2H:1V.

Maintenance Standards

1. Any damage shall be repaired immediately.
2. If concentrated flows are evident uphill of the fence, they must be intercepted and conveyed to a sediment trap or pond.
3. It is important to check the uphill side of the fence for signs of the fence clogging and acting as a barrier to flow and then causing channelization of flows parallel to the fence. If this occurs, replace the fence or remove the trapped sediment.
4. Sediment must be removed when the sediment is 6 inches high.
5. If the filter fabric (geotextile) has deteriorated due to ultraviolet breakdown, it shall be replaced.

SILT FENCE DETAIL PER BMP C-233
NTS

WORK IN PUBLIC RIGHT OF WAY
REQUIRES A RIGHT-OF-WAY USE
PERMIT.

Installation of concrete driveways, trees, shrubs, irrigation, boulders, berms, walls, gates, and other improvements are NOT allowed in Public Right of Way without PRIOR approval, and an Encroachment Agreement and Right of Way permit from Senior Development Engineer.

REMEMBER: Erosion control is your **FIRST** inspection.

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.
Call before you Dig
1-800-424-5555
UNDERGROUND SERVICE (USA)

CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1-800-424-5555.

BY	DATE	APPR	DRN	REVISION

CONTACT: RKK CONSTRUCTION
3056 70th Avenue S.E.
MERCER ISLAND, WA 98040
TEL: 206-236-2920

DRN DSGN CHKD

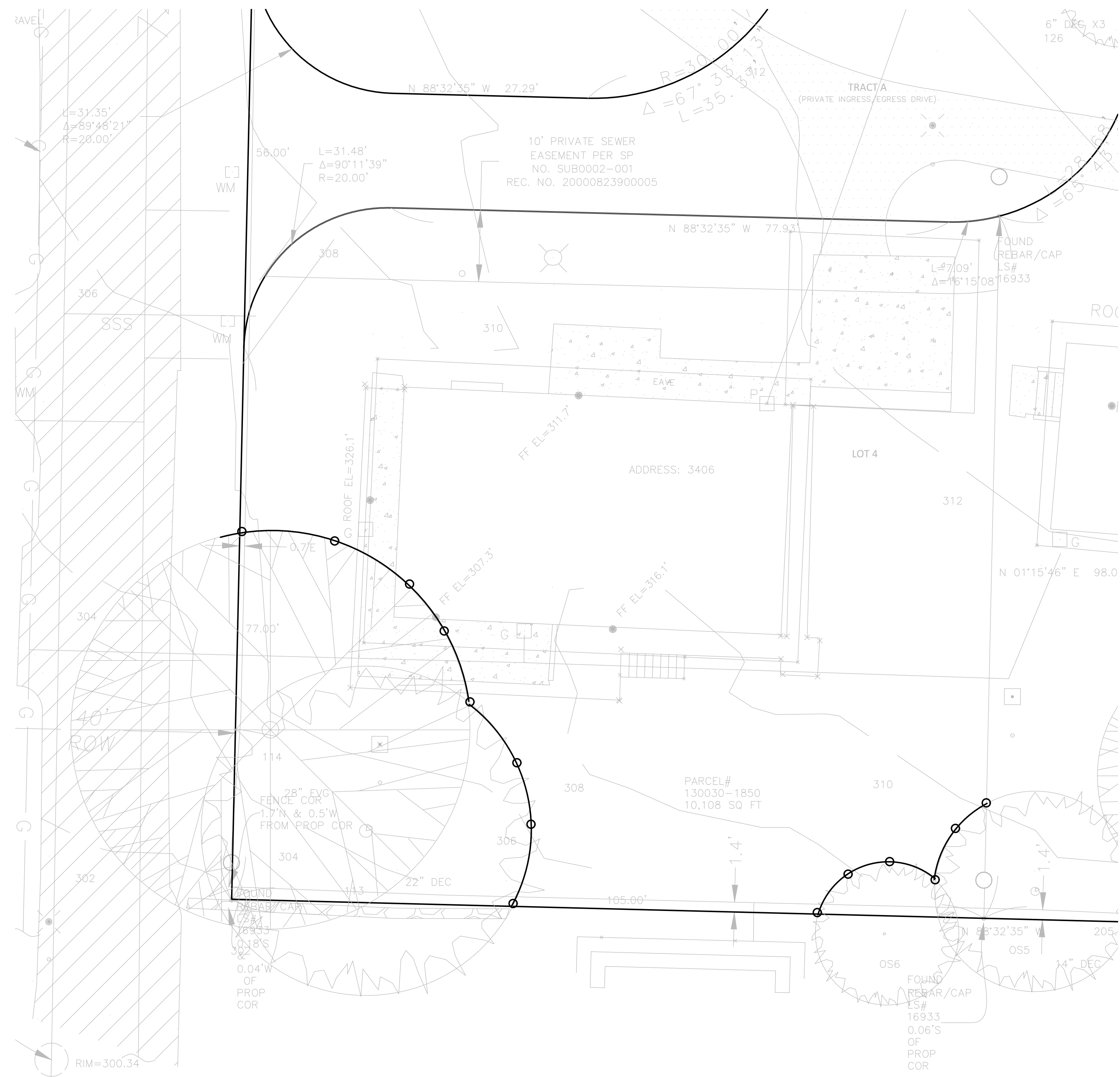
DARLA GUERRERO, P.E.

15020 S.E. 46TH STREET
BELLEVUE, WA 98006
TEL: 425-753-4307

TESC PLAN NOTES AND DETAILS
PROPOSED RESIDENCES
3406 72nd PLACE S.E.
MERCER ISLAND, WA

DATE: AUGUST 2020 PROJECT: SCALE: NTS

SHEET **4** OF **6**

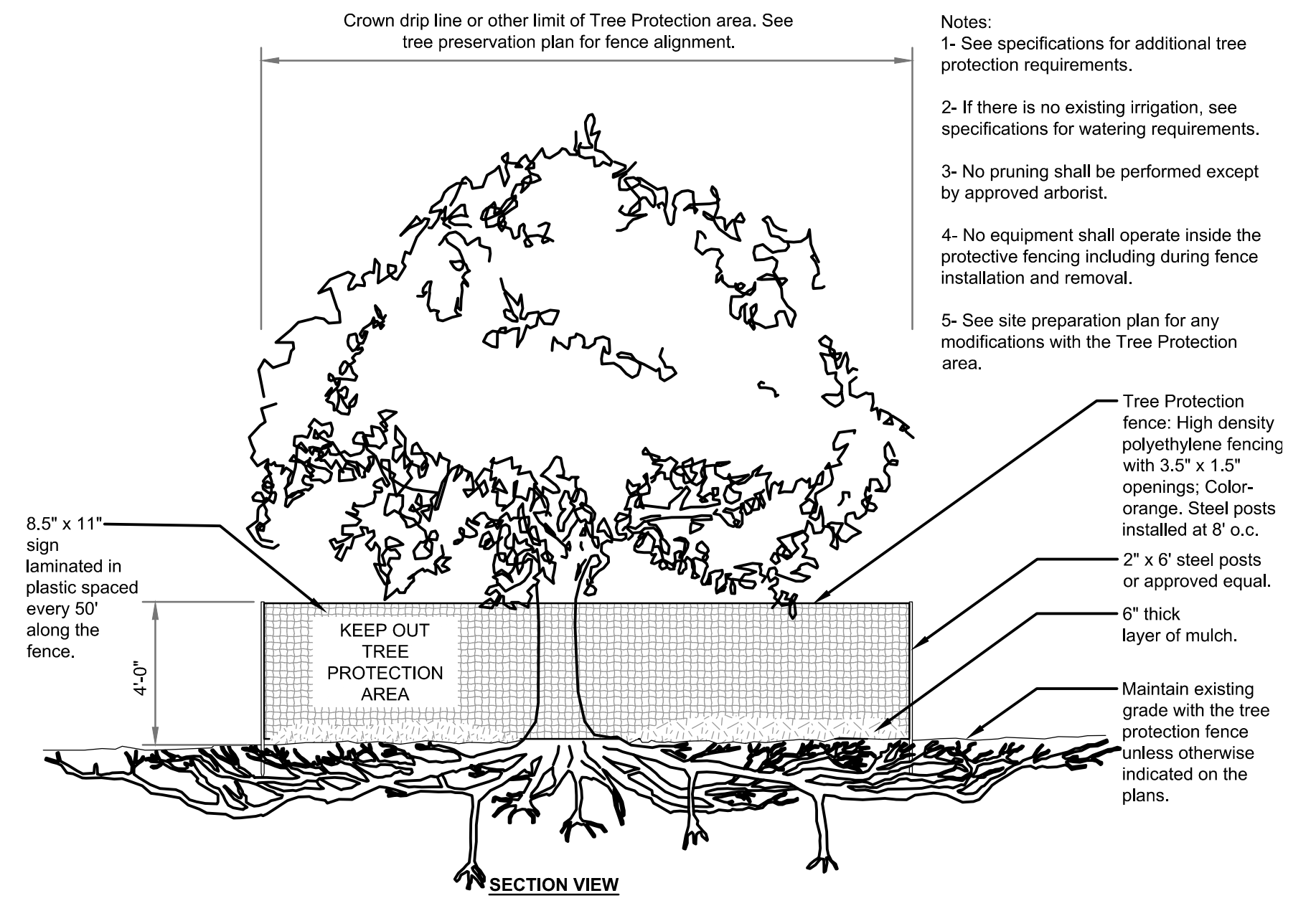
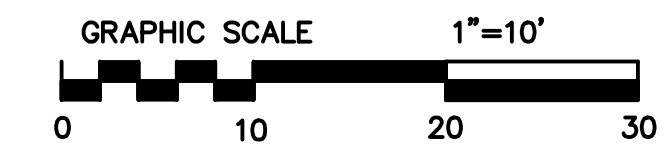


TREE PLAN
SCALE: 1" = 10'

EXCEPTIONAL TREE REMOVAL NOTE:

- TREE #124 IS AN EXCEPTIONAL TREE AND WILL BE REMOVED PER MICC 19.10.060.3.b - THE TREE WILL LIMIT THE CONSTRUCTIBLE GROSS FLOOR AREA TO LESS THAN 85% OF THE MAXIMUM FLOOR AREA. THE REPLACEMENT TREES ARE CALCULATED AS FOLLOWS:

1 (REMOVED EXCEPTIONAL TREE) x 6 (REPLACEMENT TREES) = 6
REPLACEMENT TREES WILL BE INSTALLED ON THE LOT.



TREE PROTECTION DETAIL
NTS

NOTES:

- EXCEPTIONAL TREES WILL REQUIRE CHAIN LINK FENCING.

LEGEND

- EXCEPTION TREE (24"Ø AND GREATER)
- OTHER TREES (LESS THAN 24"Ø)
- TREE TO BE REMOVED
- TREE PROTECTION (LIMITS OF DISTURBANCE)

NOTES:

- ALL TREES NOT NEEDED TO BE REMOVED SHALL BE PROTECTED AND RETAINED.
- A MINIMUM OF 6" OF WOOD CHIPS ARE TO BE PLACED OVER THE ENTIRE PROTECTION AREA.
- EXCEPTIONAL TREES WILL NEED AIR EXCAVATION UNDER ARBORIST SUPERVISION TO DETERMINE FINAL LIMITS OF DISTURBANCE.

BY	DATE	APPR	DRN	REVISION

CONTACT: RKK CONSTRUCTION
3056 70th Avenue S.E.
MERCER ISLAND, WA 98040
TEL: 206-236-2920

DFN DSGN CHD

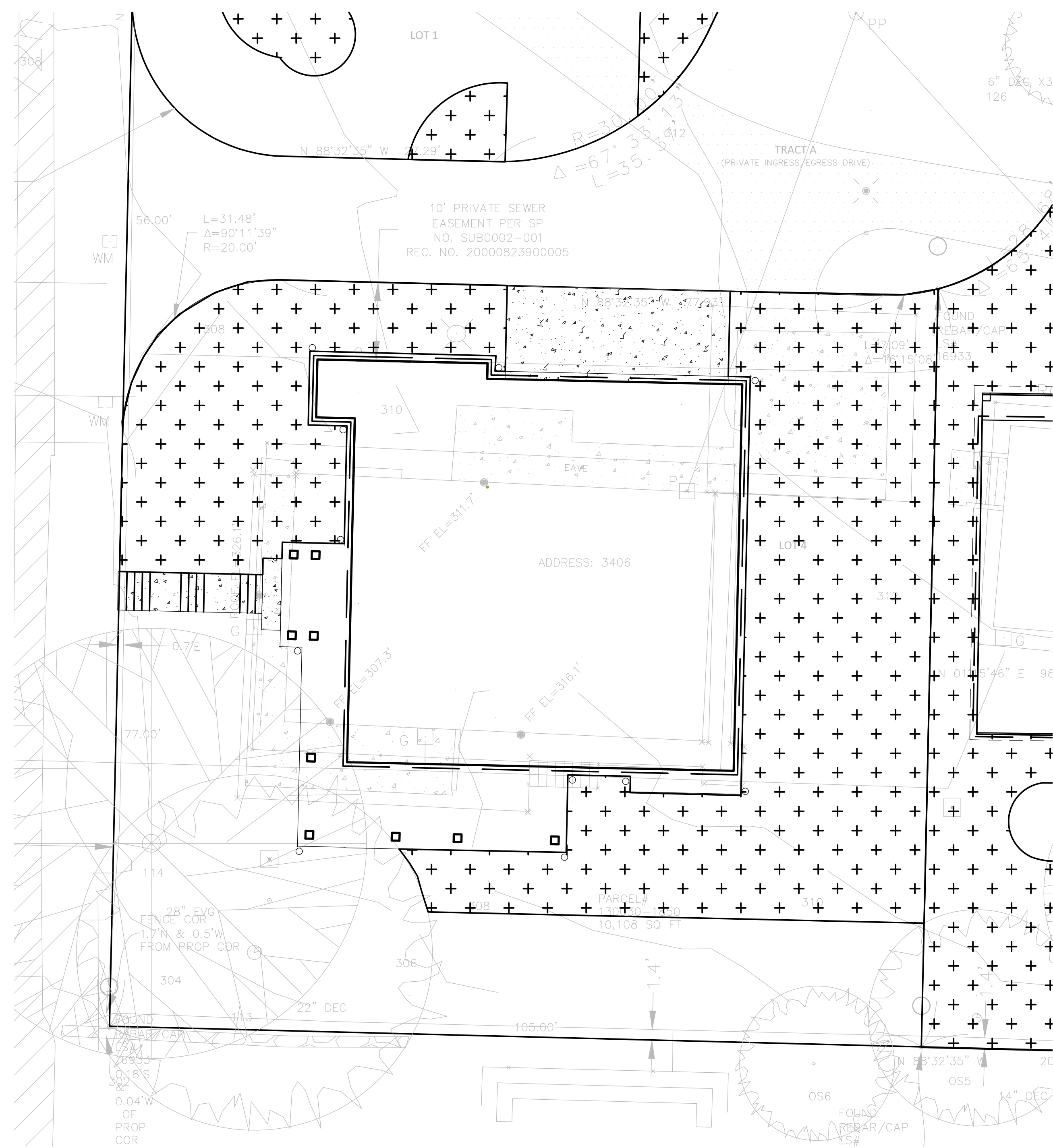
DARLA GUERRERO, P.E.

15020 S.E. 46TH STREET
BELLEVUE, WA 98006
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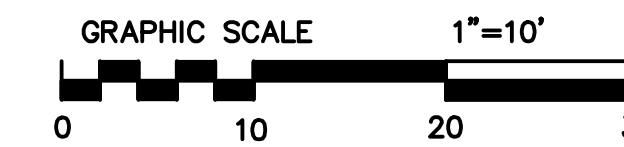
TREE PLAN
PROPOSED RESIDENCES
3406 72nd PLACE S.E.
MERCER ISLAND, WA

DATE: AUGUST 2020 PROJECT: SCALE: 1" = 10'

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.
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1-800-424-5555
UNDERGROUND SERVICE (USA)



SOIL AMENDMENT PLAN
SCALE: 1" = 10'



NOTES:

- EXCAVATED SOIL MAY BE REUSED FOR SOIL AMENDMENT AND REDISTRIBUTED.
- WOOD CHIPS FROM TREE REMOVAL MAY BE USED TO COVER EXCAVATED AREAS DURING CONSTRUCTION, AND/OR POST CONSTRUCTION ON THE FOREST FLOOR (3" TO 4" THICK).
- THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

LEGEND	AREA
POST CONSTRUCTION SOIL AMENDMENT (8" LOOSE SOIL, 2" TO 4" MULCH)	2,800 SF
LAWN	3,865 SF

BY	DATE	APPR	DRN	REVISION

CONTACT: RKK CONSTRUCTION
3056 70th Avenue S.E.
MERCER ISLAND, WA 98040
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DRN DSGN CHD

DARLA GUERRERO, P.E.

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SOIL AMENDMENT PLAN
PROPOSED RESIDENCE
3406 72nd PLACE S.E.
MERCER ISLAND, WA

DATE: AUGUST 2020 PROJECT: SCALE: 1" = 10'

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UNDERGROUND SERVICE (USA)

BUILDING CODE: 2015 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC), AND BY REFERENCE, THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED BY LOCAL JURISDICTION.
ROOF LIVE LOAD = 25 PSF SNOW (GROUND SNOW = 30 PSF)
ROOF DEAD LOAD = 15 PSF
FLOOR LIVE LOAD = 40 PSF (30 PSF AT SLEEPING AREAS)
FLOOR DEAD LOAD = 15 PSF
BALCONIES & DECKS = 60 PSF (LIVE LOAD) + 10 PSF (DEAD LOAD)
WIND SPEED (ULTIMATE / 3 SEC GUST) = 10 MPH (NOMINAL WIND SPEED = 85 MPH) FOR RISK CATEGORY II, EXPOSURE 'C', Kz1=1.65
SOIL SITE CLASS 'D', SEISMIC CATEGORY D/IV2, Ss=1.395, Sds=0.330
OCCUPANCY GROUP: R-3 CONSTRUCTION TYPE V-B

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO ARCHITECT AND/OR ENGINEER OF RECORD FOR RESOLUTION PRIOR TO COMMENCING WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. ARCHITECT AND/OR ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

DEFERRED SUBMITTAL ITEMS

THE FOLLOWING IS A LIST OF ITEMS THAT ARE NOT INCLUDED IN THIS PLAN AND SHOULD BE PROVIDED BY THE BUILDER AT TIME OF APPLICATION FOR PERMIT OR AS A DEFERRED SUBMITTAL ITEM:
 - ALTERNATIVE 1-JOIST-BEAM MANUFACTURER PLANS.
 - MANUFACTURED TRUSS DESIGNS AND LAYOUTS

GENERAL

FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING OF 1500 PSF. EXTERIOR FOOTINGS SHALL BEAR 12" (MINIMUM) BELOW FINISHED GRADE. ALL FOOTINGS TO BEAR ON FIRM AND UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS. BACKFILL TO BE THOROUGHLY COMPACTED.
 BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH 0.225"x3"x3" PLATE WASHERS. WOOD BEARING ON OR INSTALLED WITHIN 1" OF MASONRY OR CONCRETE TO BE PRESURE TREATED WITH AN APPROVED PRESERVATIVE.
 FOUNDATION SILL BOLTS (MIN. EMBED) TO BE 5/8" DIAMETER AT 6'-0" O.C. (4'-0" AT BUILDINGS OVER 2 STORIES) UNO. METAL FRAMING CONNECTORS TO BE MANUFACTURED BY SIMPSON STRONG-TIE OR USF STEEL CONNECTORS

CONCRETE

MINIMUM COMPRESSIVE STRENGTH OF CONCRETE:

TYPE OR LOCATIONS OF CONCRETE CONSTRUCTION	MINIMUM COMPRESSIVE STRENGTH (f'c) AT 28 DAYS	MODERATE WEATHERING POTENTIAL
BASEMENT WALLS, FOUNDATION FOOTINGS, BASEMENT SLABS, 4 INTERIOR SLABS ON GRADE (EXCEPT GARAGE) NOT EXPOSED TO THE WEATHER	2500 psi	
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS, PORCHES, STEPS, GARAGE & CARPORT SLABS, 4 OTHER CONCRETE WORK EXPOSED TO THE WEATHER	3,000 psi (6% air entrained +/- 1%)	

CONCRETE MIXTURE SHALL CONTAIN AT LEAST 5 1/2 BAGS OF CEMENT PER CUBIC YARD. CONCRETE "BATCH TICKET" SHALL BE AVAILABLE ON SITE FOR REVIEW BY BUILDING OFFICIAL. VERTICAL REINFORCING STEEL TO COMPLY WITH ASTM A615 GRADE 40 (GRADE 60 AT WALLS RETAINING MORE THAN 4FT OF SOIL)

CARPENTRY

GENERAL

ALL NAILING TO COMPLY WITH REQUIREMENTS OF IRC TABLE R602.3(1) AND/OR IBC TABLE 2304.10.1. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESURE TREATED. FIELD CUT ENDS, NOTCHES, AND DRILLED HOLES OF PRESURE TREATED LUMBER SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4. PER IRC 319.3, FASTENERS FOR PRESURE PRESERVATIVE AND FIRE RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.
 6" MIN. CLEARANCE BETWEEN WOOD AND EARTH.
 12" MIN. CLEARANCE BETWEEN FLOOR BEAMS AND EARTH.
 18" MIN. CLEARANCE BETWEEN FLOOR JOIST AND EARTH.

FASTENER DIMENSIONS

ALL NAILS SPECIFIED ON THIS PLAN SHALL BE OF THE DIAMETER AND LENGTH LISTED BELOW OR AS PER APPENDIX L OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (ND9).
 8d COMMON (0.131" DIA., 2-1/2" LONG), 8d BOX (0.131" DIA., 2-1/2" LONG), 10d COMMON (0.148" DIA., 3" LONG), 10d BOX (0.148" DIA., 3" LONG), 16d COMMON (0.162" DIA., 3-1/2" LONG), 16d SINKER (0.148" DIA., 3-1/4" LONG), 6d COOLER (0.086" DIA., 1-5/8" LONG), 6d COOLER (0.092" DIA., 1-7/8" LONG)

LUMBER GRADES

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF THE WESTERN PRODUCTS ASSOCIATION OR THE CHESTNUT LUMBER INSPECTION BUREAU. ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY AND SHALL HAVE THE FOLLOWING UNADJUSTED MINIMUM DESIGN PROPERTIES, UNLESS NOTED OTHERWISE.

JOISTS:	WOOD TYPE:
2X4 to 2X8	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
2X10 OR LARGER	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
BEAM	WOOD TYPE:
4X	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
6X OR LARGER	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
STUDS	WOOD TYPE:
2X4 & 2X6	DF-5TD - Fc=1700 psi, Fv=180 psi, Fc=850 psi, E=1400000 psi
2X8 OR LARGER	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
POSTS	WOOD TYPE:
4X4	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
4X6	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
6X OR LARGER	DF-L #1 - Fc=1200 psi, Fv=170 psi, Fc=1000 psi, E=1600000 psi

GLUED-LAMINATED BEAM (GLB)

SHALL BE 24F-V4 FOR SINGLE SPANS & 24F-V8 FOR CONTINUOUS OR CANTILEVER SPANS WITH THE FOLLOWING MINIMUM PROPERTIES:
 Fc = 2,400 PSI, Fv = 165 PSI, Fc = 650 PSI (PERPENDICULAR), E = 1,800,000 PSI.

ENGINEERED WOOD BEAMS AND I-JOIST

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR APPROVAL BY BUILDING OFFICIAL, DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST ICC EVALUATION REPORT.

BEAMS DESIGNATED AS "LSL" SHALL HAVE THE MINIMUM PROPERTIES:
 Fc = 2,325 PSI, Fv = 310 PSI, Fc = 800 PSI (PERPENDICULAR), E = 1,950,000 PSI.

BEAMS DESIGNATED AS "LVL" SHALL HAVE THE MINIMUM PROPERTIES:
 Fc = 2,600 PSI, Fv = 285 PSI, Fc = 750 PSI (PERPENDICULAR), E = 1,900,000 PSI.

BEAMS DESIGNATED AS "EBL" SHALL HAVE THE MINIMUM PROPERTIES:
 Fc = 2,900 PSI, Fv = 290 PSI, Fc = 750 PSI (PERPENDICULAR), E = 2,000,000 PSI.

CALCULATIONS SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS. DEFLECTION SHALL BE LIMITED AS FOLLOWS:
 FLOOR LIVE LOAD MAXIMUM = L/480, FLOOR TOTAL LOAD MAXIMUM = L/240.

PREFABRICATED WOOD TRUSSES

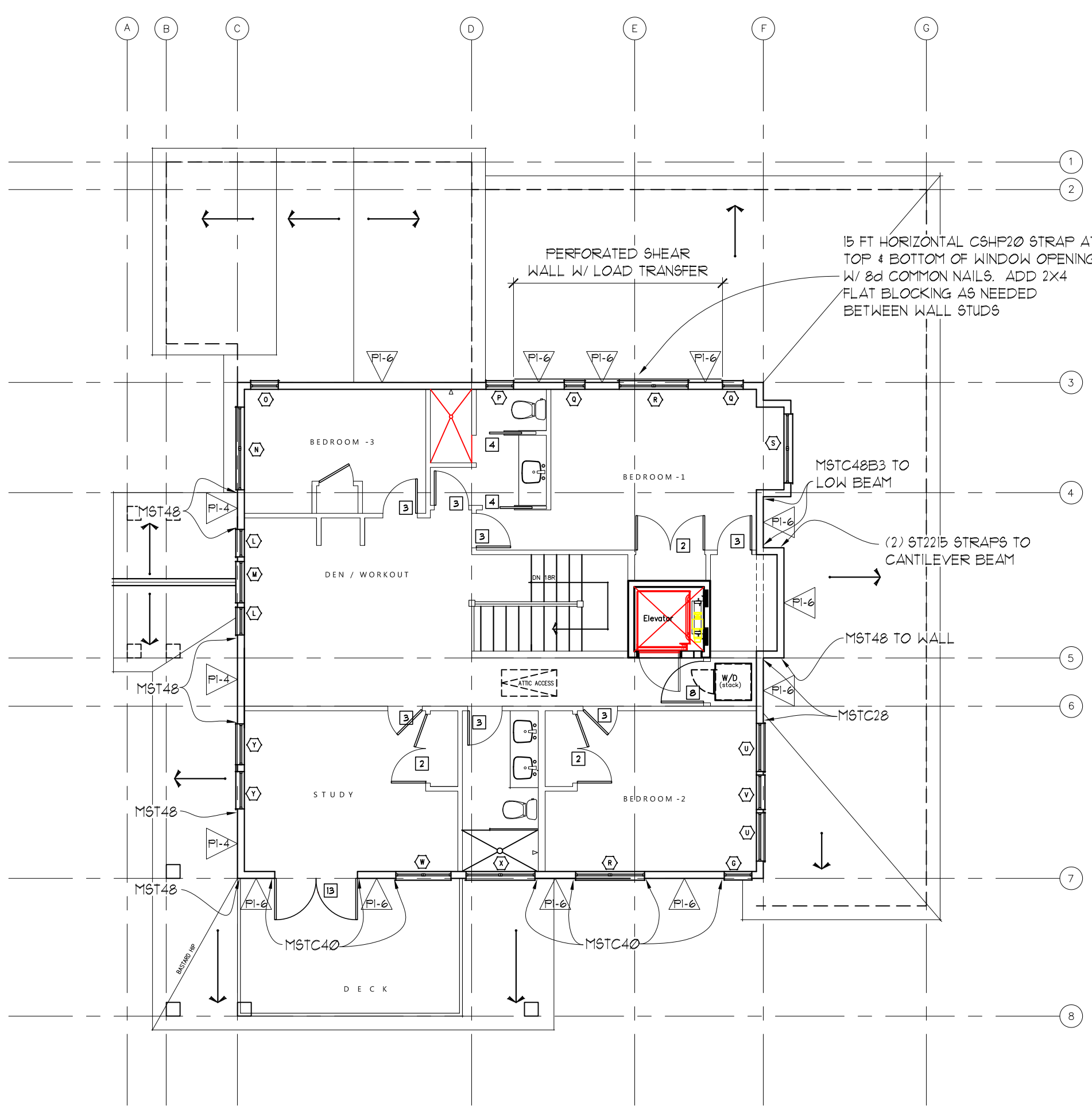
PRE-FABRICATED WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUS LIVE LOADS & IMPOSED DEAD LOADS AS STATED IN THE GENERAL NOTES. TRUSSES SHALL BE DESIGNED & STAMPED BY A REGISTERED DESIGN PROFESSIONAL AND FABRICATED ONLY FROM THOSE DESIGNS. NON-BEARING WALLS SHALL BE HELD AWAY FROM THE TRUSS BOTTOM CHORD W/ AN APPROVED FASTENER (SUCH AS SIMPSON STC) TO ENSURE THAT THE TRUSS BOTTOM CHORD DOES NOT BEAR ON THE WALL. ALL PERMANENT TRUSS MEMBER BRACING SHALL BE INSTALLED PER THE TRUSS DESIGN DRAWINGS.

ROOF/WALL/FLOOR SHEATHING

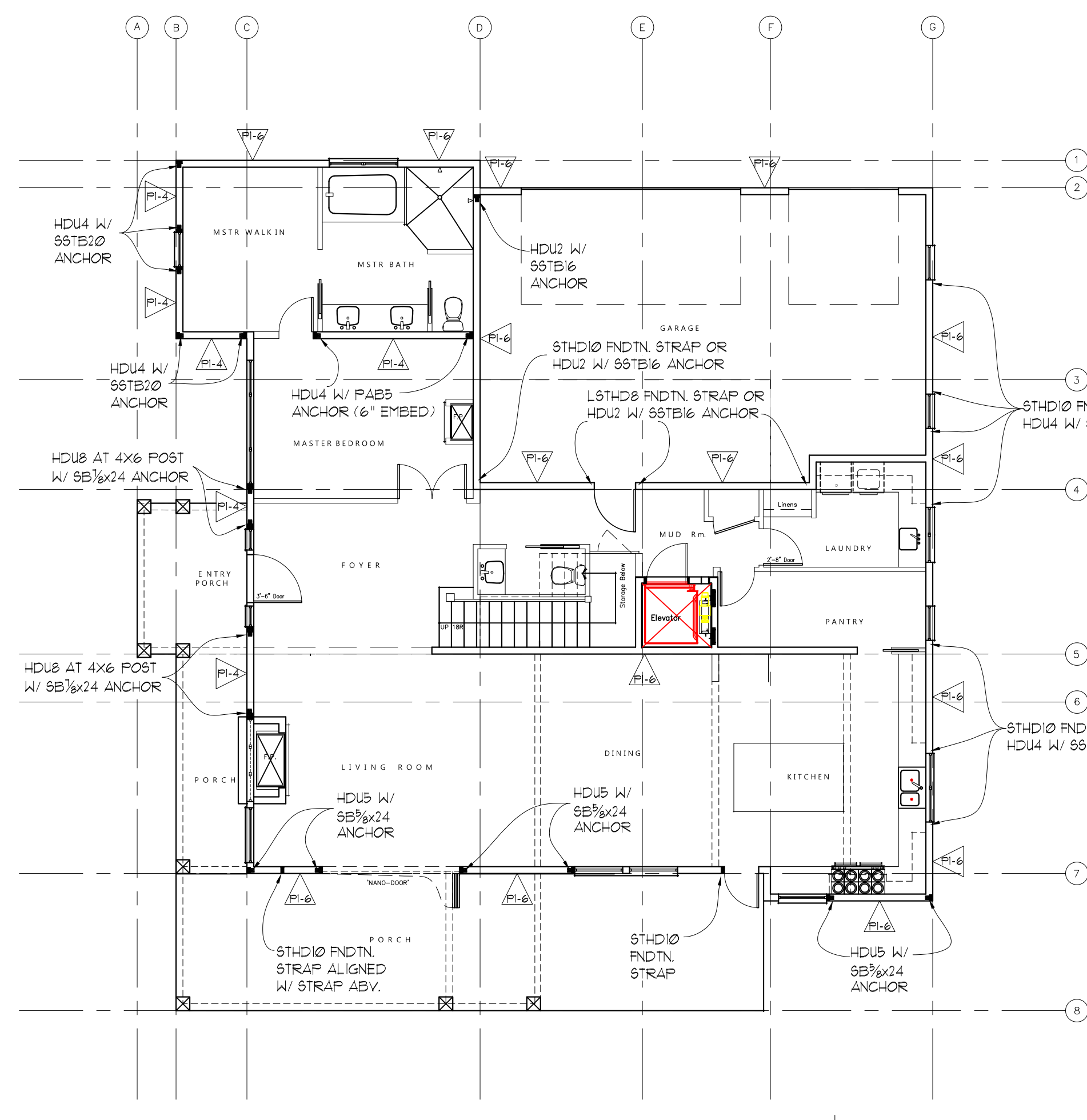
ROOF SHEATHING SHALL BE MINIMUM 3/4" SHEATHING W/ 2/3" SPAN INDEX UNO. WALL SHEATHING, INCLUDING GABLES, SHALL BE 3/8" SHEATHING W/ 2/3" SPAN INDEX MINIMUM UNO. FLOOR SHEATHING SHALL BE MINIMUM 3/4" SHEATHING W/ 4/8" SPAN INDEX MINIMUM UNO. MINIMUM NAILING SHALL BE 8d COMMON NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. IN PANEL FIELD UNO. ON SHEAR WALL SCHEDULE. ROOF AND FLOOR SHEATHING SHALL BE LAID OUT W/ LONG DIMENSION PERPENDICULAR TO FRAMING MEMBERS W/ END LAPS STAGGERED. WALL SHEATHING, INCLUDING GABLES, SHALL BE FULLY BLOCKED & EDGE NAILED AT ALL UNSUPPORTED SHEATHING PANEL EDGES.

STAIR FRAMING

UNLESS NOTED OTHERWISE SPECIFIED, TYPICAL STAIR FRAMING SHALL CONSIST OF 2X12 STAIR STRINGERS SPACED AT NO MORE THAN 16" O.C. AND REINFORCED W/ 2X6 SCABS ATTACHED W/ 10d COMMON NAILS STAGGERED AT 8" O.C. STRINGERS SHALL BE SUPPORTED AT UPPER END BY BEARING ON TOP PLATE OF WALL OR APPROVED CONNECTOR TO FLOOR BEAM SUCH AS SIMPSON LRU OR LSC. LANDINGS SHALL CONSIST OF CONVENTIONAL PLATFORM FRAMING W/ MINIMUM 2X6 JOISTS @ 16" O.C.



UPPER FLOOR SHEAR WALL KEY PLAN
SCALE: 1/8"=1'-0"



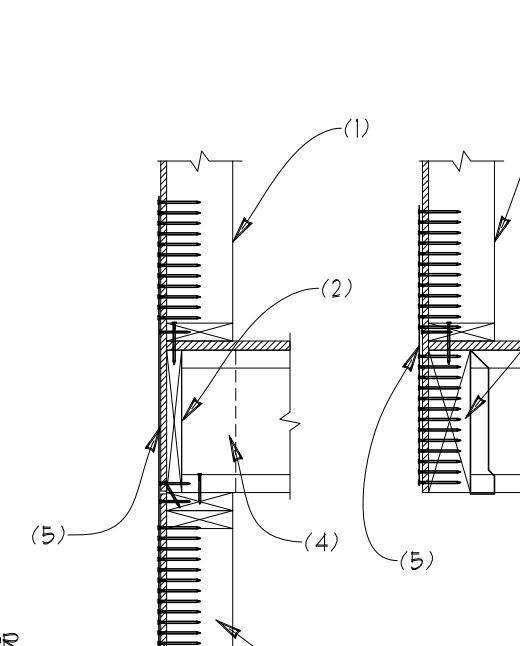
MAIN FLOOR SHEAR WALL KEY PLAN
SCALE: 1/8"=1'-0"

WALL MARK	SHEATHING THICKNESS	SIDES	SHEAR PANEL EDGE NAILING	FIELD NAILING	FRAMING @ ABUTTING PANEL EDGES	SOLE/BASE PLATE NAILING TO JOIST OR BLKGRM BELOW	ANCHOR BOLT DIA. & SPACING	SILL PLATE SIZE	POST AT ENDS OF SHEAR WALL / HOLDOWN UNO.
PI-6	1/16"	ONE	8d @ 6" O.C.	12" O.C.	2X	16d SINKER NAILS (0.148"x3 1/2") @ 6" O.C.	5/8" DIA. @ 48" O.C.	2X	(2) 2X POST (FACE NAIL W/ 10d (0.131"x3") NAILS @ 12" O.C. (STAGGER)
PI-4	1/16"	ONE	8d @ 4" O.C.	12" O.C.	2X	16d SINKER NAILS (0.148"x3 1/2") @ 4" O.C.	5/8" DIA. @ 36" O.C.	2X	(2) 2X POST (FACE NAIL W/ 10d (0.131"x3") NAILS @ 12" O.C. (STAGGER)

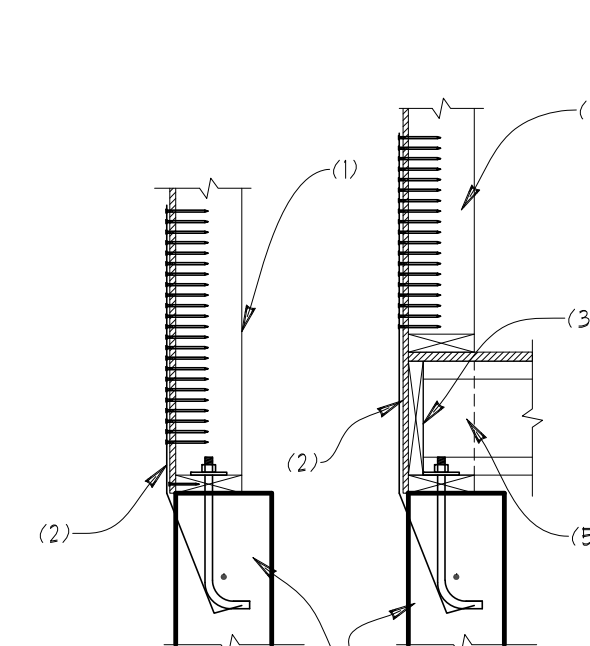
- FRAMING SHALL BE 2X HEM-FIR @ 16" O.C. MAX UNLESS NOTED OTHERWISE IN SCHEDULE.
- SHEATHING PANELS MAY BE LAYED VERTICAL OR HORIZONTAL. BLOCK ALL HORIZONTAL EDGES W/ 2X OR 3X BLOCKING PER SCHEDULE (UNO).
- ALL EXTERIOR WALLS NOT DESIGNATED AS SHEARWALLS SHALL RECEIVE APA RATED SHEATHING OR ALL VENEER PLYWOOD SIDING OF EQUIVALENT THICKNESS AT POINT OF FASTENING ON PANEL EDGES FULLY BLOCKED WITH MINIMUM NAILING OF 8d @ 6" O.C. EDGE, 12" O.C. FIELD.
- NAILING APPLIES TO ALL STUDS, TOP AND BOTTOM PLATES, AND BLOCKING. PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED.
- ANCHOR BOLT SPACING IS 6'-0" O.C. (4'-0" AT BUILDINGS OVER 2 STORIES) UNLESS NOTED OTHERWISE IN SCHEDULE. MINIMUM OF 2 ANCHOR BOLTS PER PIECE OF FOUNDATION PLATE. ANCHOR BOLTS SPACED NO GREATER THAN 12" AND NO LESS THAN 1 TIMES THE ANCHOR BOLT DIAMETER AT ENDS AND SPICES. PROVIDE 0.225"x3"x3" WASHERS AT ANCHOR BOLTS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE SHEATHED EDGE OF THE SILL PLATE ON WALLS W/ EDGE NAILING AT 4" O.C. OR TIGHTER. DO NOT RECESS BOLTS.
- ALL NAILS FOR SHEAR WALLS SHALL BE COMMON OR GALVANIZED BOX NAILS (UNO). ALL SPECIFIED NAILS SHALL HAVE THE FOLLOWING DIMENSIONS: 8d COMMON (0.131" DIA., 2 1/2" LONG); 8d BOX (0.131" DIA., 2 1/2" LONG); 10d COMMON (0.148" DIA., 3" LONG); 10d BOX (0.148" DIA., 3" LONG); 16d COMMON (0.162" DIA., 3 1/2" LONG); 16d SINKER (0.148" DIA., 3 1/4" LONG); 6d COOLER (0.086" DIA., 1 5/8" LONG); 6d COOLER (0.092" DIA., 1 7/8" LONG).

- 1 1/2" No. 6 DRY WALL SCREWS (TYPE W OR S) MAY BE SUBSTITUTED FOR NAILS LISTED AS 5d COOLER, OR 6d COOLER FOR GYPSUM WALL BOARD SHEARWALLS.
- IN LIEU OF 3X VERTICALS AND BLOCKING AT PANEL EDGES, 2-2X5 W/ 10d (0.131"x3") FACE NAILS STAGGERED AT THE SAME SPACING AS PANEL EDGE NAILING MAY BE SUBSTITUTED. PLYWOOD EDGES TO BE CENTERED BETWEEN THE 2-2X MEMBERS (THIS ALTERNATIVE DOES NOT APPLY TO FOUNDATION SILL PLATES OR TO WALLS WITH 8d EDGE NAILING AT 2" O.C. OR 10d EDGE NAILING AT 3" O.C. OR 2" O.C. OR WALLS SHEATHED ON BOTH SIDES).
- HOLDDOWNS AND STRAPS OF EQUIVALENT UPLIFT CAPACITY WITH CURRENT ICC EVALUATION REPORT OR SIMILAR MAY BE SUBSTITUTED FOR THOSE LISTED IN THE SHEARWALL SCHEDULE WITH PRIOR APPROVAL OF BUILDING OFFICIAL OR ENGINEER OF RECORD.
- SQUASH BLOCKS IN FLOOR JOIST CAVITY ARE REQUIRED AT ENDS OF SHEAR WALLS WHERE FULL BEARING IS NOT PROVIDED BY THE FRAMING BELOW.
- SIMPSON MASAP MUDSILL ANCHORS, MAY BE SUBSTITUTED (1) FOR (1) AT 2X SILL PLATES FOR THE 3/8" DIA. SILL PLATE ANCHOR BOLTS SPECIFIED.

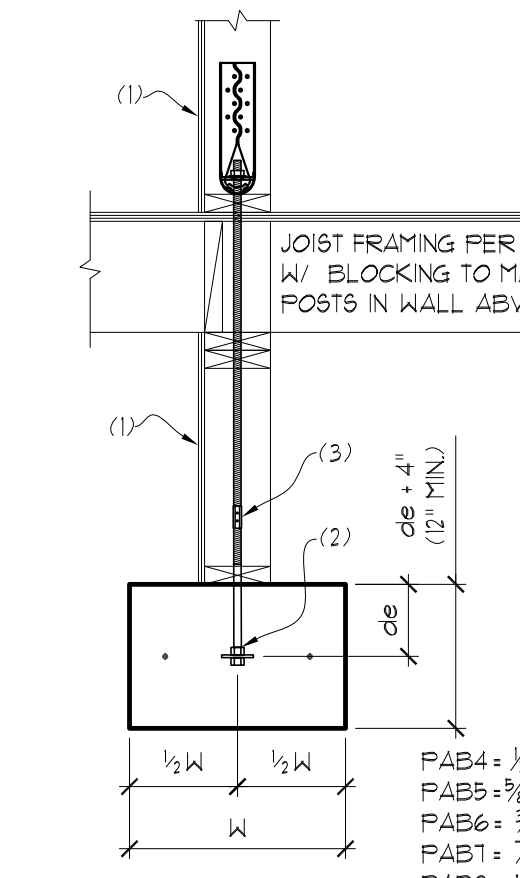
PERFORATED SHEAR WALLS: CONTINUE SHEAR WALL SHEATHING ABOVE AND BELOW ALL OPENINGS BETWEEN FULL HEIGHT WALL SEGMENTS WITH NAILING AS SHOWN IN SHEAR WALL SCHEDULE. ANY INCREASE TO HEIGHT OR WIDTH OF WINDOW OPENING MUST BE APPROVED BY ENGINEER OF RECORD.



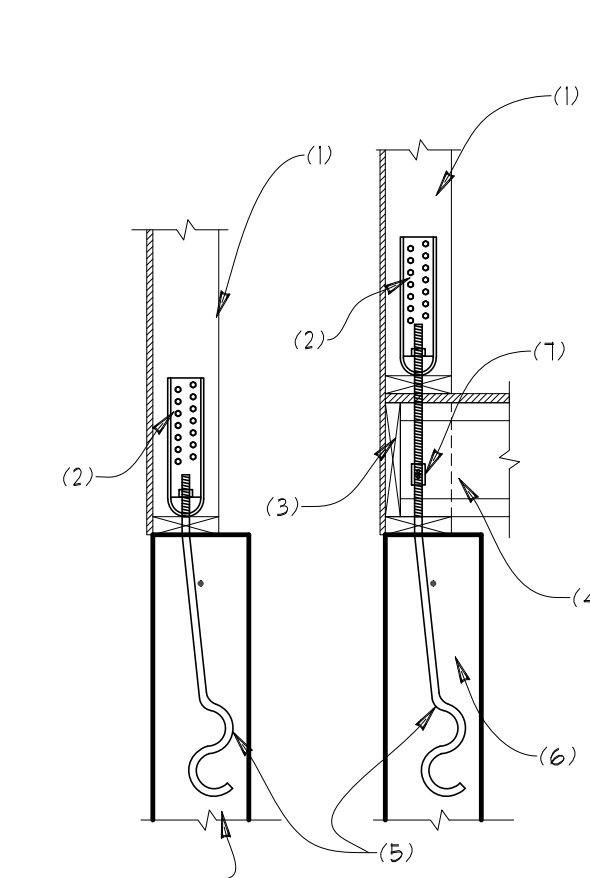
H1 TYPICAL STRAP TIE @ UPPER FLOORS
SCALE: 3/4"=1'



H2 TYPICAL STRAP TIE HOLDOWN
SCALE: 3/4"=1'



H3 TYPICAL FAB ANCHOR BOLT
SCALE: 3/4"=1'



H4 TYPICAL ANCHOR BOLT HOLDOWN
SCALE: 3/4"=1'

STRUCTURAL PLANS
LOT 4 - WALIA
3406 72nd PLACE SE
MERCER ISLAND, WA

Myers Engineering, LLC
 3206 50th Street Ct NW, Ste. 210-B
 Gig Harbor, WA 98335
 PH: 253-858-3248
 Email: myengineer@centurytel.net

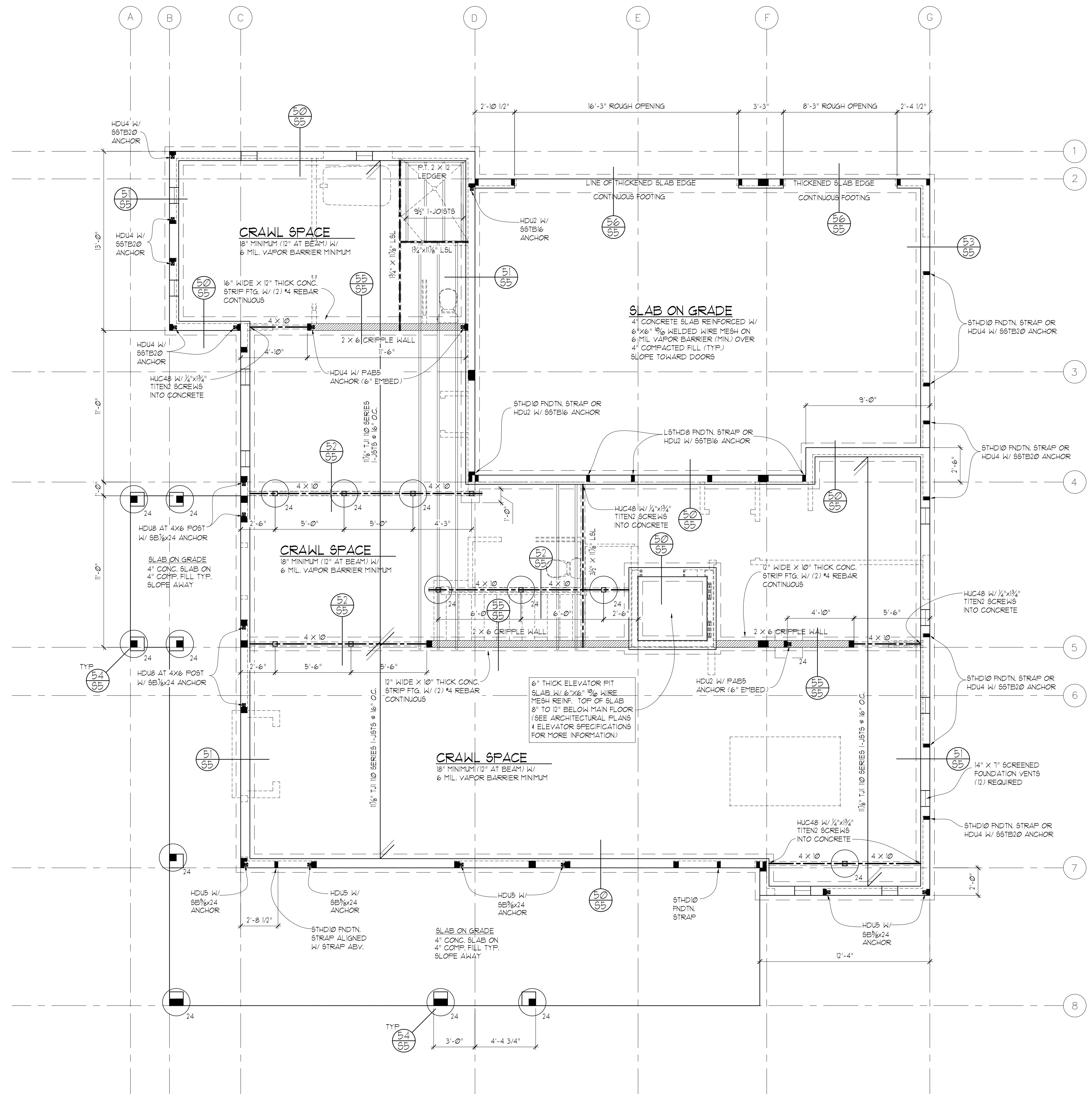


BUILDING DEPT. APPROVAL STAMPS:

REVISION DATE:	INITI:	PROJECT #:

DATE:	INITI:	PROJECT #:
8-3-2020	MM	2301

S1



SEE SHEET S1 FOR TYPICAL INSTALLATION
DETAILS FOR STRAPS & FOUNDATION ANCHORS

FOUNDATION/FLOOR FRAMING PLAN

- SCALE : 1/4" = 1'-0"
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
 - SOFFIT, VENT, AND INSULATE ALL CANTILEVERED AREAS
 - PROVIDE SOLID BLOCKING OVER SUPPORTS
 - ALL FOOTINGS TO REST ON UNDISTURBED SOIL
 - PROVIDE SUPPLEMENTAL JOISTS/BLOCKING BELOW SHEAR WALLS AS INDICATED ON FRAMING PLAN
 - PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
 - PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS AND BEAMS
 - PROVIDE COPY OF CONCRETE "BATCH TICKET" ON SITE FOR REVIEW BY BUILDING OFFICIAL
 - IF AN ENGINEERED JOIST FLOOR FRAMING LAYOUT IS PROVIDED BY THE JOIST SUPPLIER, THAT JOIST LAYOUT SHALL SUPERCEDE THE JOIST LAYOUT INDICATED IN THE PLANS. PROVIDE I-JOIST LAYOUT AND SPECS ON SITE FOR INSPECTION.

FOOTING SCHEDULE

NOTE: USE MIN. 6" WIDE POST BELOW BEAM SPLICES
USE P.T. 4 X 4 POSTS BELOW 4 X BEAMS U.N.O.
USE P.T. 6 X 6 POST BELOW 6 X BEAMS U.N.O.

24	P.T. POST ON 24" DIA. X 10" THICK PLAIN CONC. FOOTING
24	P.T. POST ON 24" X 24" X 10" THICK CONC. FOOTING W/ 2- # 4 BARS EACH WAY
30	P.T. POST ON 30" X 30" X 12" THICK CONC. FOOTING W/ 3- # 5 BARS EACH WAY
36	P.T. POST ON 36" X 36" X 12" THICK CONC. FOOTING W/ 3- # 5 BARS EACH WAY
42	P.T. POST ON 42" X 42" X 12" THICK CONC. FOOTING W/ 4- # 5 BARS EACH WAY

FOOTING SIZES BASED ON 1500 PSF SOIL BEARING CAPACITY

STRUCTURAL PLANS

LOT 4 - WALIA
3406 72nd PLACE SE
MERCER ISLAND, WA

Myers Engineering, LLC
3206 50th Street Ct NW, Ste. 210-B
Gig Harbor, WA 98335
PH: 253-858-3248
Email: myengineer@centurytel.net

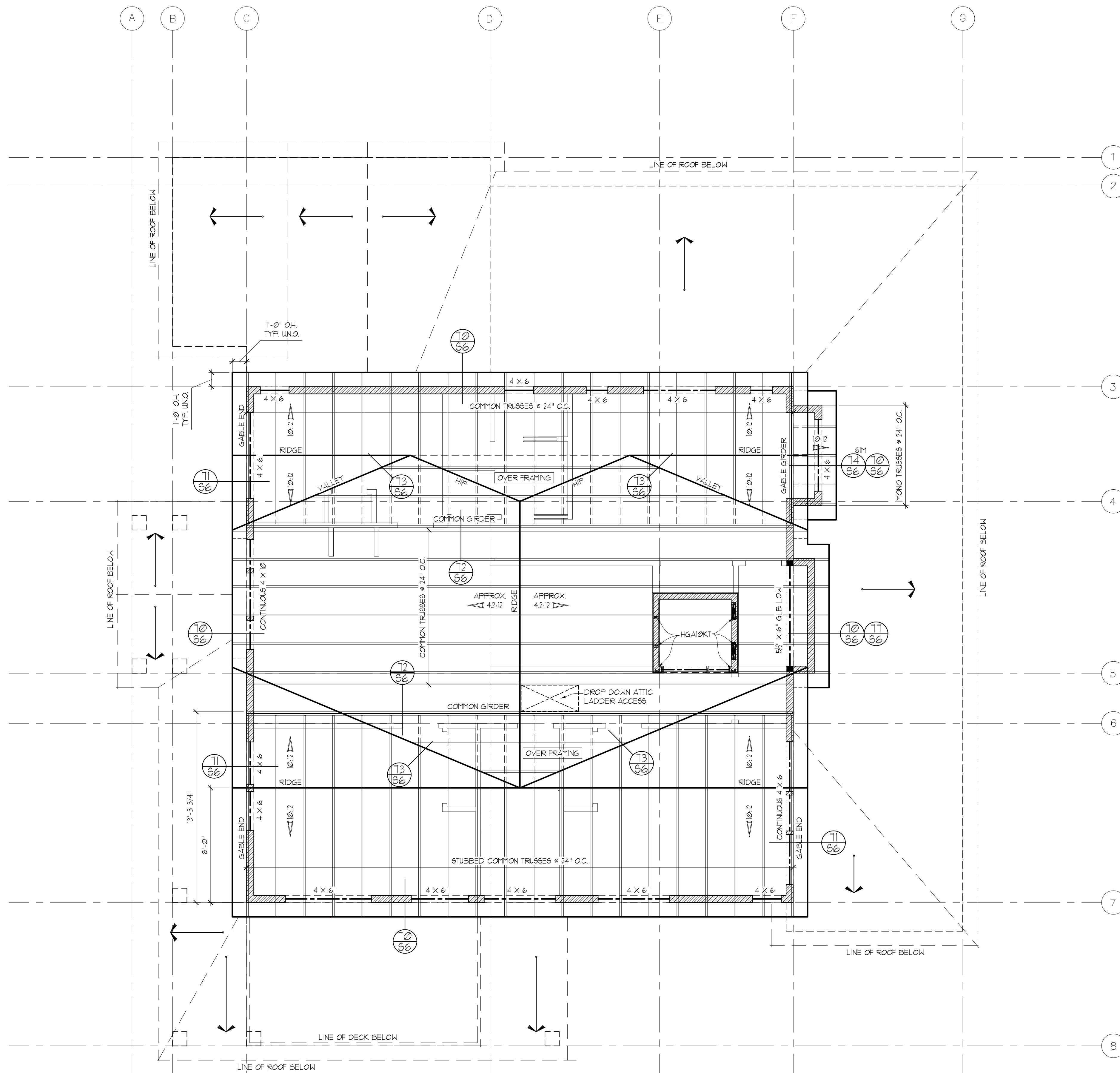


Digitally signed by Mark Myers, PE
Date: 2020.08.03 14:02:22 -0700

BUILDING DEPT. APPROVAL STAMP:

REVISION DATE: INIT: PROJECT #:

S2
DATE: 8-3-2020
INIT: MM
PROJECT #: 2301



ROOF FRAMING PLAN

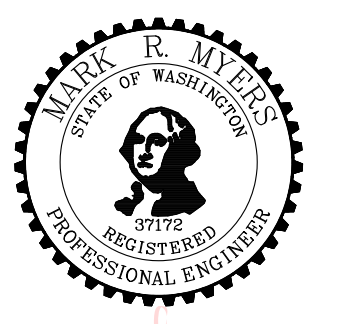
SCALE : 1/4" = 1'-0"

- PROVIDE VENTED BLOCKING AT REQUIRED TRUSS/RAFTER BAYS
- ALL MANUFACTURED TRUSSES:
 - * SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE FOR FRAMING INSPECTION
 - * SHALL NOT BE FIELD ALTERED WITHOUT ENGINEER'S APPROVAL
 - * SHALL BE INSTALLED AND BRACED TO MANUFACTURER'S SPECIFICATION
 - * SHALL CARRY MANUFACTURER'S STAMP ON EACH TRUSS
- ALL BEAMS AND HEADERS AT THIS LEVEL TO BE 4X10 DF #2 AT BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- HEADERS 8FT OR LONGER SHALL BE PROVIDED W/ (2) TRIMMER (JACK) STUDS AT EACH END U.N.O.
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS AND BEAMS AND PROVIDE MATCHING POSTS IN WALL BELOW

STRUCTURAL PLANS

LOT 4 - WALIA
 3406 72nd PLACE SE
 MERCER ISLAND, WA

Myers Engineering, LLC
 3206 50th Street Ct NW, Ste. 210-B
 Gig Harbor, WA 98335
 PH: 253-858-3248
 Email: myengineer@centurytel.net



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 by Mark Myers, PE
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BUILDING DEPT. APPROVAL STAMPS:

REVISION DATE:	INIT:	PROJECT #:

S4	DATE: 8-3-2020
	INIT: MM
	PROJECT #: 2301

