

GENERAL NOTES

- CODE COMPLIANCE**
ALL WORK SHALL COMPLY WITH THE 2015 IBC, 2015 IRC, 2015 IMC, 2015 IFGC, 2015 NATIONAL FUEL GAS CODE, NFPA 54, 2015 LIQUEFIED PETROLEUM GAS CODE, NFPA 58, 2015 IFCC, 2015 UPC, 2015 WSEC, WAC 51-11, 2015 WAD, WAC 51-13, 2015 NEC, AND WITH ALL LOCAL CODES AND ORDINANCES.
- DIMENSIONS**
A. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.
B. UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE WALLS. FACE OF STONE VENEER LIES 6" +/- OUTSIDE THE FACE OF FRAMING. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
C. VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND APPLIANCES PRIOR TO COMMITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL TOLERANCES REQUIRED.
- DOCUMENT REVIEW/VERIFICATION:** CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK.
- ROUGH OPENINGS/BACKING:** VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BUCKS/BACKING FOR SURFACE-MOUNTED ITEMS.
- FURRING:** PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
- GRADES:** VERIFY ALL GRADES AND THEIR RELATIONSHIP TO THE BUILDING(S).
- FLOOR LINES:** "FLOOR LINE" REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.
- REPETITIVE FEATURES:** OFTEN DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- DOORS:** DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTERED BETWEEN WALLS AS SHOWN.
- WOOD ON CONCRETE:** WOOD MEMBERS IN CONTACT WITH CONCRETE AND/OR EXPOSED TO WEATHER, PROVIDE PRESSURE TREATED SILL PLATES.
- FRAMING:** INTERIOR FURRING & PARTITION WALLS TO BE 2x4 @ 16" O.C.
- VENTILATION:** VENT ALL BATHROOM FANS, LAUNDRY FANS, RANGE HOODS AND DRYERS TO OUTSIDE ATMOSPHERE. BATHROOM/UTILITY ROOM FANS SHALL BE VENTED DIRECTLY TO THE OUTSIDE THROUGH SMOOTH, RIGID, NON-CORROSIVE METAL, 24 GA. DUCTWORK. FLEX DUCTING IS NOT ALLOWED.
- FLUES:** FLUES TO BE LOCATED MINIMUM 2" FROM ALL COMBUSTIBLE MATERIALS.
- BASEMENT:** NO LPG PROPANE GAS APPLIANCES ARE ALLOWED IN THE BASEMENT.
- OTHER DOCUMENTATION:** REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND/OR LANDSCAPE DRAWINGS FOR ADDITIONAL DRAWINGS, NOTES, SCHEDULES AND SYMBOLS.
- PROTECTION:** PROTECT ALL EXISTING FINISHES & SURFACES. ANY DAMAGE TO BE REPAIRED @ NO ADDITIONAL EXPENSE TO OWNER.
- PERMITS:** SEPARATE ELECTRICAL, MECHANICAL AND PLUMBING PERMITS ARE REQUIRED IN ADDITION TO THE BASIC BUILDING PERMIT.
- ROOFING:** SHEET METAL ROOFING PER IRC TABLE 905.10.3(1) & LOCAL ROOFING STANDARDS.
- FIREPLACE:** PREFABRICATED GAS FIREPLACE SHALL BE PROVIDED WITH THE FOLLOWING:
A. PREFABRICATED FIREPLACE TO BEAR STAMP OF APPROVED TESTING LAB.
B. TIGHT FITTING GLASS OR METAL DOORS
C. OUTSIDE SOURCE OF COMBUSTION AIR DUCTED INTO THE FIREBOX, PER PREFAB. GAS FIREPLACE REQUIREMENTS. (6 SQ. INCHES MIN. W/OPERABLE OUTSIDE AIR DUCT DAMPER.)
D. TIGHT FITTING FLUE DAMPERS, OPERATED BY A READILY ACCESSIBLE MANUAL.
- GAS WATER HEATER:** GAS WATER HEATER SHALL BE STRAPPED TO PREVENT DISPLACEMENT IN AN EARTHQUAKE PER UMC 304.4.
- EXHAUST DUCTS:** PROVIDE BACKDRIFT DAMPERS AT ALL EXHAUST DUCTS.
- FURNACE ROOM:** PROVIDE COMBUSTION AIR OPENINGS INTO FURNACE RM. PER UMC 703.
- APPLIANCES:** CLEARANCES OF UL LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN UL LISTING.
- WATER FLOW:** SHOWER SHALL BE EQUIPPED WITH FLOW CONTROL DEVICE TO LIMIT WATER FLOW TO 2.5 GALLONS PER MINUTE.
- SMOKE DETECTORS:** S.D. THROUGHOUT NEW CONSTRUCTION PER 2006 IRC R313. TO BE MONITORED PER FIRE DEPT. REQUIREMENTS.

ENERGY NOTES

CODE(S): 2015 INTERNATIONAL BUILDING CODE - - - (IBC)
2015 INTERNATIONAL RESIDENTIAL CODE - - - (IRC)
2015 WASHINGTON ENERGY CODE - - - (WEC)

CLIMATIC ZONE: 4C - MARINE
SPACE HEAT TYPE: NATURAL GAS, FORCED AIR
INSULATION VALUES: PRESCRIPTIVE METHOD (ALL NEW AREA)
WALLS: R-21
FLAT ATTICS/CEILING: R-49/R-38
FLOORS: R-38
(OVER UNHEATED SPACES)
VAULTED CEILING: R-38
SLAB-ON-GRADE: R-10

DUCT INSULATION: THERMALLY INSULATE ALL PLENUMS, DUCTS AND ENCLOSURES IN ACCORDANCE WITH TABLE 406.2 OF THE 2015 WASHINGTON STATE ENERGY CODE.
a. ALL HEATING DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH A MIN. OF R-8. ALL SEAM JOINTS SHALL BE TAPED, SEALED AND FASTENED WITH THE MINIMUM OF FASTENERS PER 2015 WSEC.

LIGHTINGS: RECESSED LIGHTING FIXTURES INSTALLED IN BUILDING ENVELOPE SHALL COMPLY WITH WSEC PROVISIONS AND SHALL BE IC LISTED.

PIPE INSULATION: NON RECIRCULATING HOT AND COLD WATER PIPES LOCATED IN UNCONDITIONED SPACE SHALL BE INSULATED TO R-3 MIN.

WHOLE HOUSE VENTILATION: VENTILATION TO BE SUPPLIED BY FORCED AIR FURNACE
a. FAN SIZE TO BE DESIGNED BY MECHANICAL CONTRACTOR, TO MEET CURRENT WSEC.
R403.1.1 PROGRAMMABLE THERMOSTAT, WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL ALLOW FOR, AT A MINIMUM, A 5-2 PROGRAMMABLE SCHEDULE (WEEKDAYS/WEEKENDS) AND BE CAPABLE OF PROVIDING AT LEAST TWO PROGRAMMABLE SETBACK PERIODS PER DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55°F (13°C) OR UP TO 85°F (29°C). THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANUFACTURER WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70°F (21°C) AND A COOLING TEMPERATURE SET POINT NO LOWER THAN 78°F (26°C). THE THERMOSTAT AND/OR CONTROL SYSTEM SHALL HAVE AN ADJUSTABLE DEADBAND OF NOT LESS THAN 10°F. EXCEPTIONS:
1. SYSTEMS CONTROLLED BY AN OCCUPANT SENSOR THAT IS CAPABLE OF SHUTTING THE SYSTEM OFF WHEN NO OCCUPANT IS SENSED FOR A PERIOD OF UP TO 30 MINUTES.
2. SYSTEMS CONTROLLED SOLELY BY A MANUALLY OPERATED TIMER CAPABLE OF OPERATING THE SYSTEM FOR NO MORE THAN TWO HOURS.

EXTERIOR JOINTS/OPENINGS: SEAL, CAULK, GASKET OR WEATHERSTRIP TO LIMIT AIR LEAKAGE AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, OPENINGS AT PENETRATIONS OF UTILITY SERVICES AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE.

MOISTURE CONTROL: VAPOR RETARDER BONDED TO BATT INSULATION; INSTALL WITH STAPLES NOT MORE THAN 8 INCHES ON CENTER AND WITH A GAP BETWEEN AND OVER FRAMING NOT GREATER THAN 1/16 OF AN INCH; OR, VAPOR RETARDER OF ONE PERM PERM CUP RATING (4 MIL POLYETHYLENE)

ATTICS/CEILING: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE). INSTALL CONTINUOUSLY

CRACK SPACE: CONTINUOUS 6 MIL. POLYETHYLENE

VENTILATION: ATTICS WITH BATTS: BAFFLE VENT OPENINGS TO DEFLECT AIR ABOVE INSULATION SURFACE
ENCLOSED JOIST OR RAFTER SPACES: PROVIDE MINIMUM OF ONE INCH CLEAR VENTED AIR SPACE ABOVE INSULATION. TAPER OR COMPRESS INSULATION AT PERIMETER TO INSURE PROPER VENTILATION

HEATING & COOLING: FORCED AIR NATURAL GAS HEATING SYSTEM.

TEMP. CONTROL: FOR HEATING AND COOLING, THERMOSTAT SHALL BE CAPABLE OF BEING SET FROM 55-85 DEGREES FAHRENHEIT AND OF OPERATING THE HEATING/COOLING SYSTEM IN SEQUENCE. THERMOSTAT TO BE AUTOMATIC DAY/NIGHT SETBACK TYPE.

ENERGY CREDITS

EFFICIENT BUILDING ENVELOPE (1.5 Credit)
CREDIT OPTION 10 - VERTICAL FENESTRATION U = 0.28
- FLOOR - R-38
- PROVIDE R-10 INSULATION BELOW ENTIRE SLAB AREA

AIR LEAKAGE CONTROL & EFFICIENT VENTILATION (1.5 Credit)
CREDIT OPTION 2a - COMPLIANCE BASE ON R402.4.1.2; REDUCE THE TEST & WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1507.3 OF THE EFFICIENCY FAN (MAX 0.35 Watts/CFM) NOT INTERLOCKED WITH THE SURFACE FAN. VENTILATION SYSTEMS USING A FURNACE INCLUDING A ECM MOTOR ARE ALLOWED, PROVIDED THAT THEY ARE IN VENTILATION MODE ONLY.

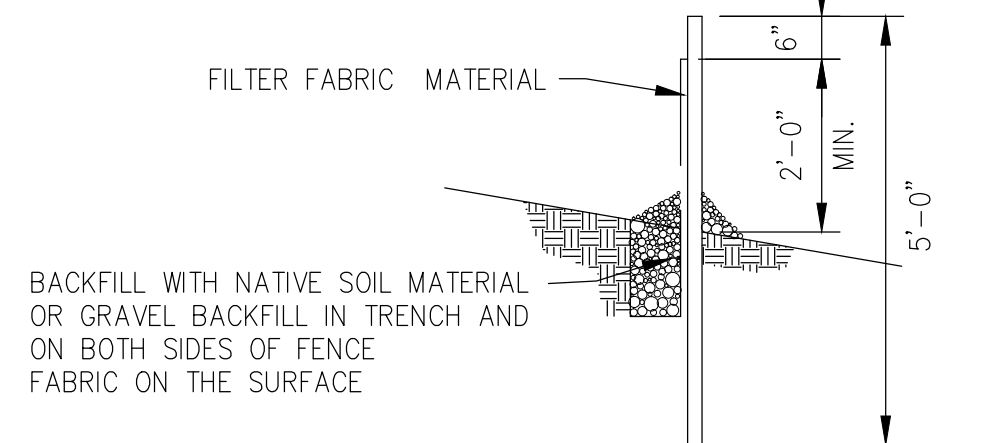
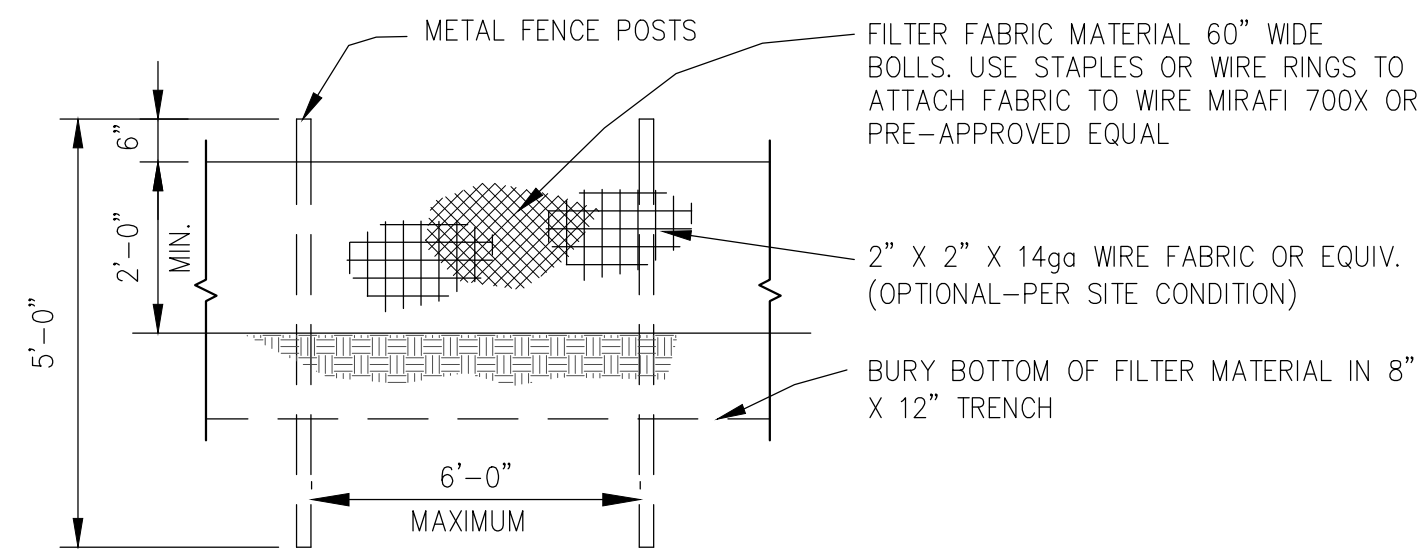
HIGH EFFICIENT HVAC EQUIPMENT (1.0 Credit)
CREDIT OPTION 3g - GAS, FURNACE WITH A MINIMUM 'AFUE' OF 94%. HEATING OPTION: 3a, 3b, 3c, OR 3d. WHEN A HOUSING UNIT HAS TWO PIECES OF EQUIPMENT, (IE, TWO FURNACES) BOTH MUST MEET THE STANDARD TO RECEIVE CREDIT. FURNACE(S) TO BE 'DIRECT-VENTED' PER IRC SECT. G2406.2.

HIGH EFFICIENT WATER HEATING (1.5 Credits)
CREDIT OPTION 5b - WATER HEATING SYSTEM SHALL BE GAS HEATED.
- WATER HEATER(S) SHALL BE MINIMUM 91% EFFICIENCY.

ENERGY CODE

-HEATING SYSTEM IS A NATURAL GAS FURNACE FORCED AIR SYSTEM.
-CONSTRUCTION SHALL ADHERE TO:

GLAZING RATIO	WINDOWS - 0.28 U-FACTOR
CLIMATE ZONE: 4C - MARINE	DOORS - 0.20 U-FACTOR
-PRESCRIPTIVE PATH	
MARINE IV	



NOTE: ANGLE SILT FENCE BACK UP THE SLOPE AT THE END OF RUN.

SILT FENCE DETAIL
SCALE: NTS

AVERAGE BUILDING ELEVATION [A.B.E.]

Mark	LENGTH	ELEVATION	CALCULATION
A	39.0'	+307.8'	12,004.2
B	5.16'	+309'	1,596.5
C	13.0'	+309'	4,017
D	22.16'	+310.5'	6,882.8
E	2.0'	+311'	622
F	33.0'	+311.5'	10,279.5
G	52.0'	+311.8'	16,213.6
H	12.33'	+310.5'	3,829.5
I	2.0'	+310'	620
J	37.66'	+308.5'	11,620.2
TOTAL	218.33		67,685.3

A.B.E = 310.1'

L = 31.48'
Δ = 90° 11' 39"
R = 20.0'

LOT COVERAGE

LOT AREA : 10,108 S.F.
@ 40% = 4043.2 S.F.
(MAX. GFA + COVERAGE)

MAIN FLOOR AREA : 1,918 S.F.
UPPER FLOOR AREA : 1,394 S.F.
GARAGE AREA : 708 S.F.

TOTAL G.F.A. : 4,020 S.F. or 39.7%

LOT COVERAGE :
STRUCTURE (including O.H.): 3,319 S.F.
DRIVEWAY AREA : 317 S.F.

TOTAL : 3,636 S.F. or 36%

HARDSCAPE AREA : 113 S.F.

72 nd PLACE S.E.

LEGAL DESCRIPTION

LOT 4 OF THE VACATED PORTION OF C.C. CALKIUS FIRST ADDITION TO EAST SEATTLE, STATE OF WASHINGTON.

PARKING

(3) COVERED (ENCLOSED) PARKING STALLS

APPLICANT CONTACT

RICHARD A. FISHER
(206) 484-9963

PLAT NOTE

NO PLAT RESTRICTIONS OR CONDITIONS FOR APPROVAL.

SITE NOTES

- PLACE COMPOST SOCKS, COMPOST BERMS, FILTER FABRIC FENCING, STRAW BAILS, STRAW WATTLES, OR OTHER APPROVED PERIMETER CONTROL BMP'S TO ELIMINATE CONSTRUCTION STORMWATER RUN-OFF.
- ELIMINATE UNCONTROLLED CONVEYANCE OF MUD & DIRT INTO THE RIGHT-OF-WAY (R.O.W.)
- COVER BARE SOILS WITH COMPOST BLANKETS, STRAW, MULCH, MATTING, OR OTHER APPROVED EQUAL TO CONTROL CONSTRUCTION STORMWATER RUN-OFF.
- COVER STOCKPILES OF BARE SLOPES WITH COMPOST BLANKETS, TARPS, MATTING OR OTHER APPROVED EQUAL TO CONTROL CONSTRUCTION STORMWATER RUN-OFF.
- MERCER ISLAND - MICC 19.02.030(F)(3)(d) ALL JAPANESE KNOTWEED, (POLYGONUM CUSPIDATUM), & REGULATED CLASS 'A', REGULATED CLASS 'B', REGULATED CLASS 'C' WEEDS, IDENTIFIED ON KING COUNTY NOXIOUS WEED LIST SHALL BE REMOVED FROM PROPERTY.

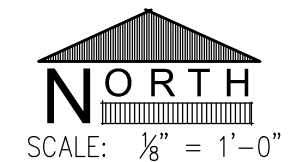
SITE PLAN

SITE INFORMATION

PARCEL No. 130030-1850
LOT AREA : 10,108 s.f.
ZONE : R8.4

SITE KEY

- PROPERTY LINE
- CONTINUOUS SILT FENCE
- SETBACK LINE
- SITE CONTOUR LINE
- PROPERTY CORNER MARK
- ELEVATION MARK
- LOW GARDEN FENCE
- DRIVEWAY SURFACE
- ROOF AREA
- AREA OF RECORDED EASEMENT
- NEW CONTOUR LINE
- ABANDONED CONTOUR LINE



RFA ARCHITECTS
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WOLF CREEK RANCH
WINTHROP, WASHINGTON 98862
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PROJECT NAME: PROJECT ADDRESS:
RKK CONSTRUCTION
Lot 4 - WALIA
3406 72nd Place, S.E.
Mercer Is., WA 98040

SET TITLE: PERMIT SET
SHEET TITLE: SITE PLAN

STAMP:
4884
RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT #: 19150
DATE: AUG 5, 2020
DRAWN BY: N.F.W.
REVISIONS:

Tag	Description

SHEET No.:
A1.0

PROPERTY Line

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RICHARD A FISHER ARCHITECTS
 1932 1ST AVE. SUITE 601
 SEATTLE, WASHINGTON 98101
 TEL.: (206) 441-0442
 FAX: (206) 441-9947
 EMAIL: RAFISHER@RICHARDAFISHER.COM
 WEB: RICHARDAFISHER.COM
WOLF CREEK RANCH
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RKK CONSTRUCTION
 Lot 4 - WALIA
 3406 72nd Place, S.E.
 Mercer Is., WA 98040

SET TITLE: PERMIT SET
 SHEET TITLE: MAIN FLOOR PLAN

STAMP:
 4884
 RICHARD A. FISHER
 STATE OF WASHINGTON

PROJECT #: 19150
 DATE: AUG 5, 2020
 DRAWN BY: N.F.W.
 REVISIONS:

Tag	Description

SHEET No.:
A2.0

TAG	DIMENSIONS (RO=WXHX)	TYPE	NOTES
1	3'-6" X 6'-8"	ENTRY	SOLID WD./SAFETY GLAZE / LOCKSET
2	(2) 2'-6" X 6'-8"	WOOD	FRENCH HUNG - INTERIOR
3	2'-6" X 6'-8"	WOOD	
4	2'-6" X 6'-8"	POCKET	
5	16'-0" X 8'-0"	GARAGE	'CARRAIGE STYLE'
6	8'-0" X 8'-0"	GARAGE	'CARRAIGE STYLE'
7	3'-0" X 6'-8"	SEPARTION	1-HOUR FIRE RATED w/ INTEGRAL SMOKE GASKETS
8	3'-0" X 6'-8"	WOOD	
9	2'-8" X 6'-8"	WOOD	
10	2'-6" X 6'-8"	GLASS/Exterior	SAFETY GLAZE / LOCK
11	(4) 2'-6" X 6'-8"	FOLDING/GLASS /Exterior	'Nano Door' SAFETY GLAZE / LOCK
12	2'-6" X 3'-0"	CRAWLSPACE ACCESS	FLR. HINGED - INSULATED PANEL
13	(2) 3'-0" X 6'-8"	GLASS/Exterior	SAFETY-GLAZE / LOCK / 'FRENCH HUNG'
14	22.5" X 4'-0"	ATTIC ACCESS	DROP DOWN LADDER

NOTES:
 1. 'S.G.' = SAFETY GLAZING.
 2. DOOR 'U-FACTOR' = 0.20
 3. WINDOW 'U-FACTOR' = 0.28

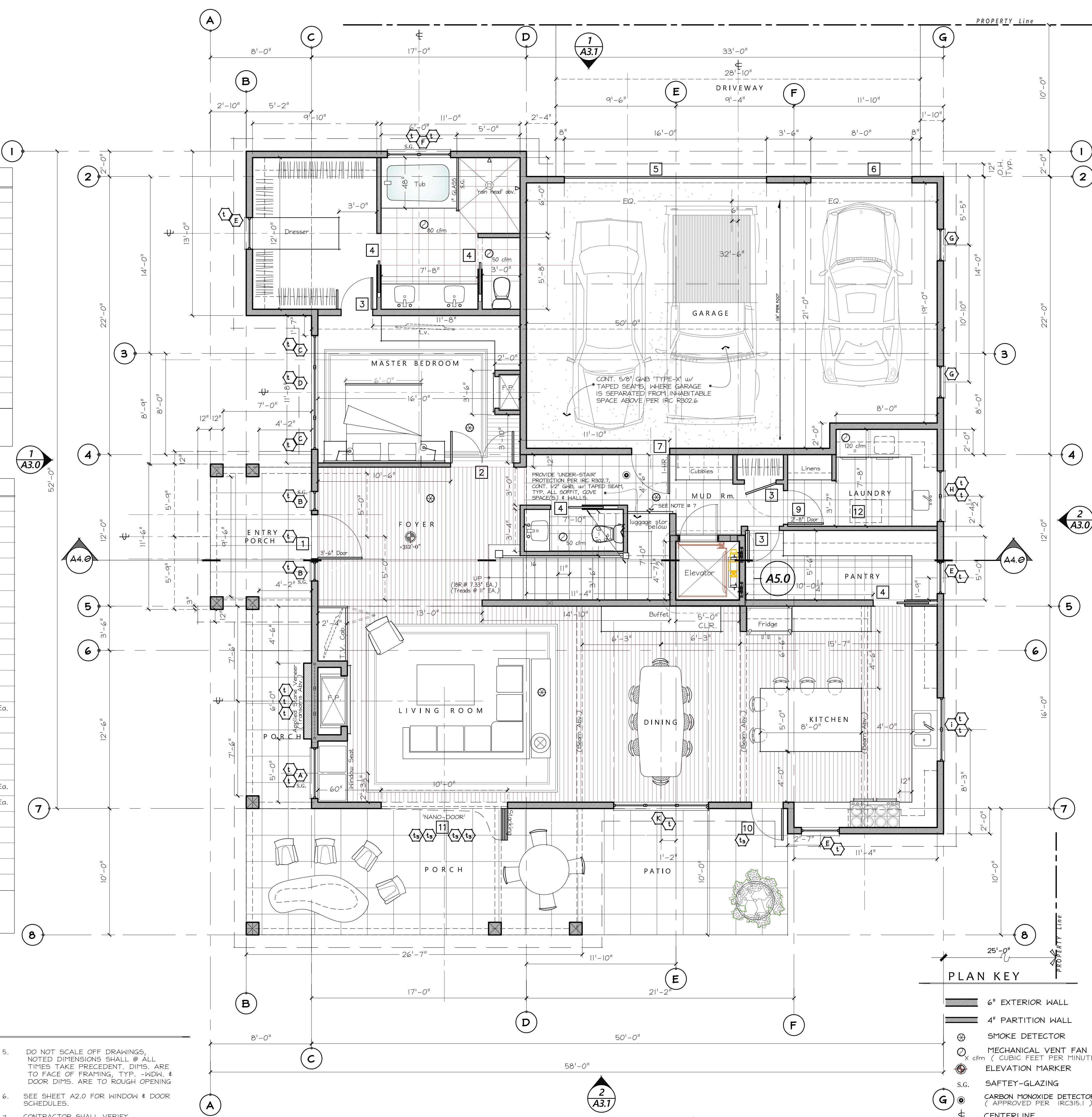
WINDOW SCHEDULE

ALPHA	DIMENSIONS (RO=WXHX)	TYPE	NOTES
A	(2) 2'-0" X 4'-6"	CSMNT/CSMNT	SAFETY GLAZE
B	1'-6" X 5'-0"	SIDELITE	(4) LITES Ea.
C	2'-6" X 4'-6"	CASEMENT	
D	4'-0" X 4'-6"	PICTURE	
E	2'-6" X 3'-6"	CASEMENT	(4) LITES
F	(2) 2'-6" X 4'-6"	CSMNT/CSMNT	SAFETY GLAZE - (4) LITES Ea.
G	2'-6" X 4'-0"	PICTURE	(4) LITES
H	(2) 2'-0" X 3'-6"	CASEMENT	(4) LITES Ea.
I	(2) 2'-6" X 3'-6"	CSMNT/CSMNT	
J	3'-0" X 2'-0"	PICTURE	
K	(3) 2'-6" X 4'-0"	PICTURE	
L	2'-0" X 3'-6"	CASEMENT	(4) LITES Ea.
M	3'-0" X 3'-6"	PICTURE	(4) LITES
N	(2) 3'-0" X 4'-6"	CSMNT/CSMNT	EGRESS / SAFETY GLAZE //(4) LITES Ea.
O	2'-0" X 3'-0"	PICTURE	(4) LITES
P	2'-0" X 2'-6"	PICTURE	
Q	2'-0" X 2'-6"	CASEMENT	
R	(2) 2'-6" X 2'-6"	CASEMENT	(4) LITES Ea.
S	(2) 2'-6" X 4'-0"	CSMNT/CSMNT	EGRESS / SAFETY GLAZE //(4) LITES Ea.
U	3'-0" X 4'-0"	CASEMENT	EGRESS / SAFETY GLAZE //(4) LITES Ea.
V	3'-0" X 4'-0"	PICTURE	(2) LITES
W	(2) 2'-0" X 3'-6"	CSMNT/CSMNT	(4) LITES Ea.
X	(2) 2'-6" X 2'-0"	CSMNT/CSMNT	(2) LITES Ea.
Y	3'-0" X 4'-6"	CASEMENT	
Z	Width Below X 1'-6"	TRANSOM	(1) LITE Ea.

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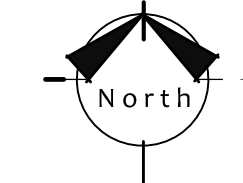
PLAN NOTES

- WHOLE HOUSE VENTILATION TO BE PROVIDED BY FORCED AIR FURNACE WITH DIRECT OUTSIDE AIR.
- SMOKE DETECTORS SHALL BE HARD-WIRED & PROVIDED IN EXISTING SPACES WITH BATTERY BACK-UP PER IRC 313 & INSTALLED PER IRC 314.2.2
- STAIR HANDRAILS TO CONFORM TO I.R.C. SECT. 311.5.6. w/ 36" ht. FROM TREAD NOSING, TYP.
- ALL OUTLETS @ COUNTER HEIGHT, (@BATHS, KITCHEN, LAUNDRY) SHALL BE G.F.C.I.
- DO NOT SCALE OFF DRAWINGS. NOTED DIMENSIONS SHALL @ ALL TIMES TAKE PRECEDENT. DIMS. ARE TO FACE OF FRAMING, TYP. -WDW. & DOOR DIMS. ARE TO ROUGH OPENING
- SEE SHEET A2.0 FOR WINDOW & DOOR SCHEDULES.
- CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS & RAILINGS SHALL BE CAPABLE OF RESISTING 200 LB. LOAD ON TOP RAIL ACTING IN ANY DIRECTION AS REQUIRED BY IRC TABLE R301.5.



PLAN KEY

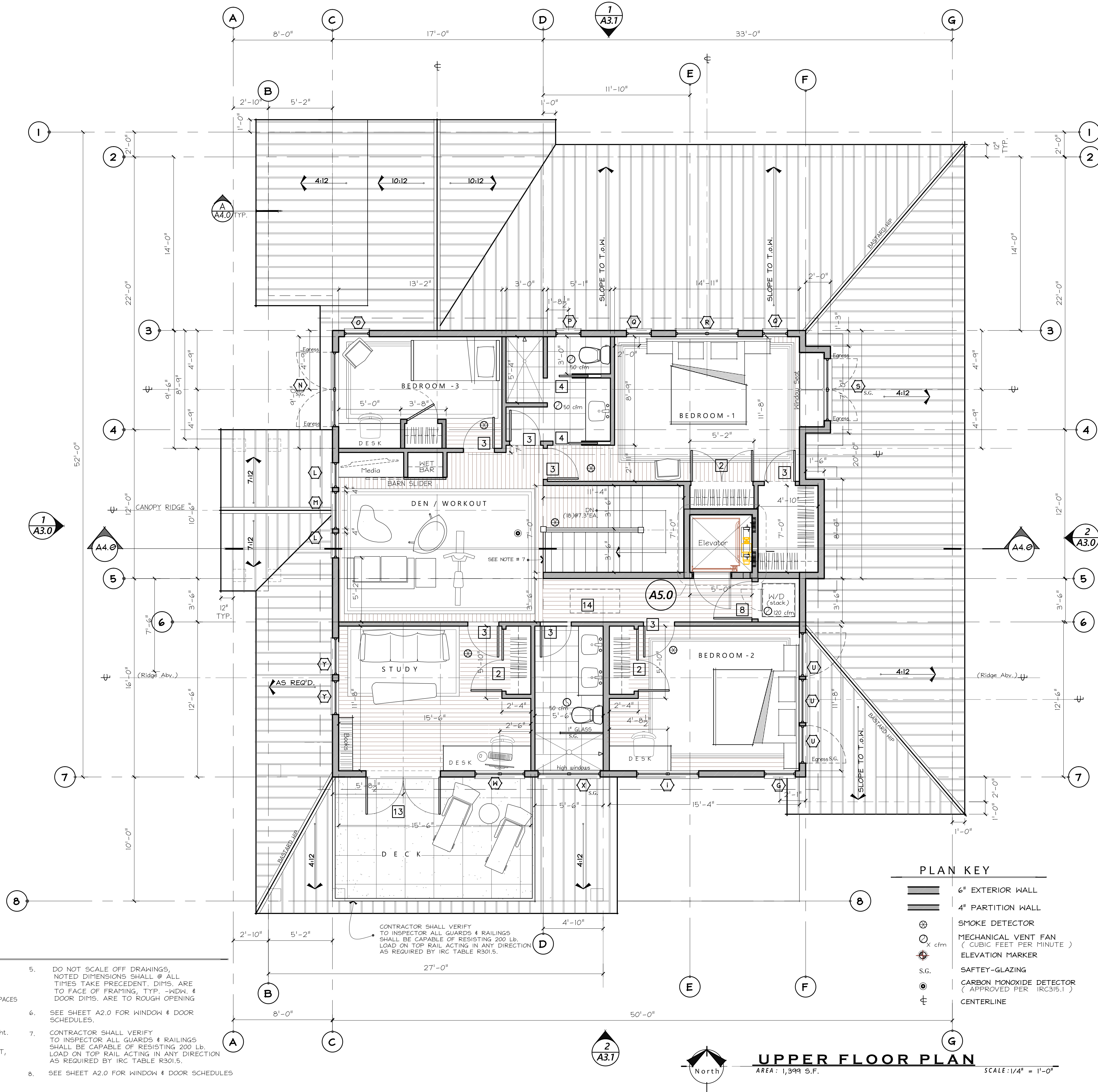
- 6" EXTERIOR WALL
- 4" PARTITION WALL
- SMOKE DETECTOR
- MECHANICAL VENT FAN (X cfm (CUBIC FEET PER MINUTE)
- ELEVATION MARKER
- S.G. SAFETY-GLAZING
- CARBON MONOXIDE DETECTOR (APPROVED PER IRC315.1)
- CENTERLINE



MAIN FLOOR PLAN

HOUSE AREA : 1,877.5 S.F.
GARAGE AREA : 719 S.F.

SCALE : 1/4" = 1'-0"



PROJECT NAME:	PROJECT ADDRESS:
RKK CONSTRUCTION	Lot 4 - WALIA
	3406 72nd Place, S.E.
	Mercer Is., WA 98040

SET TITLE:	PERMIT SET
SHEET TITLE:	ROOF PLAN

STAMP:

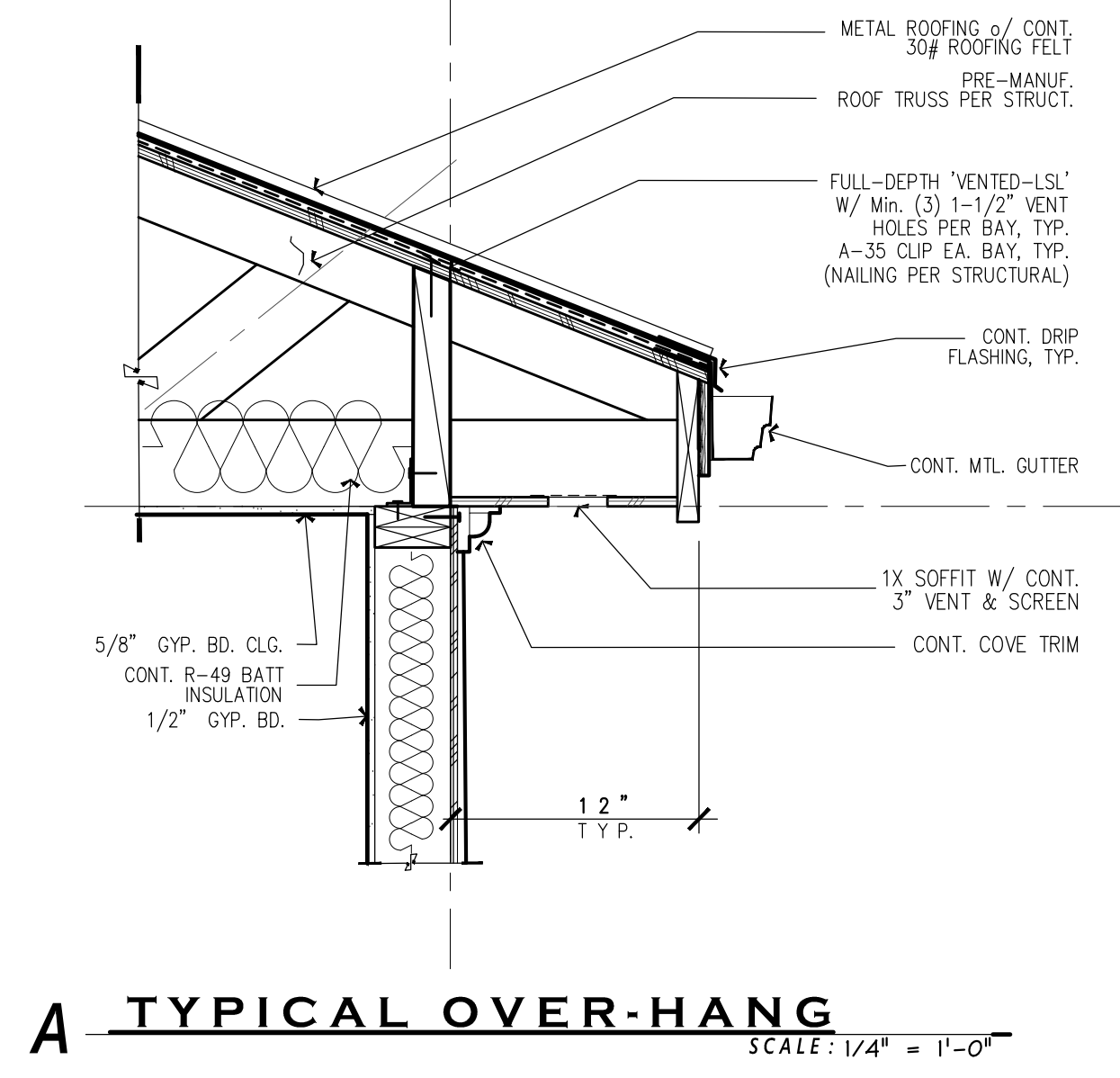
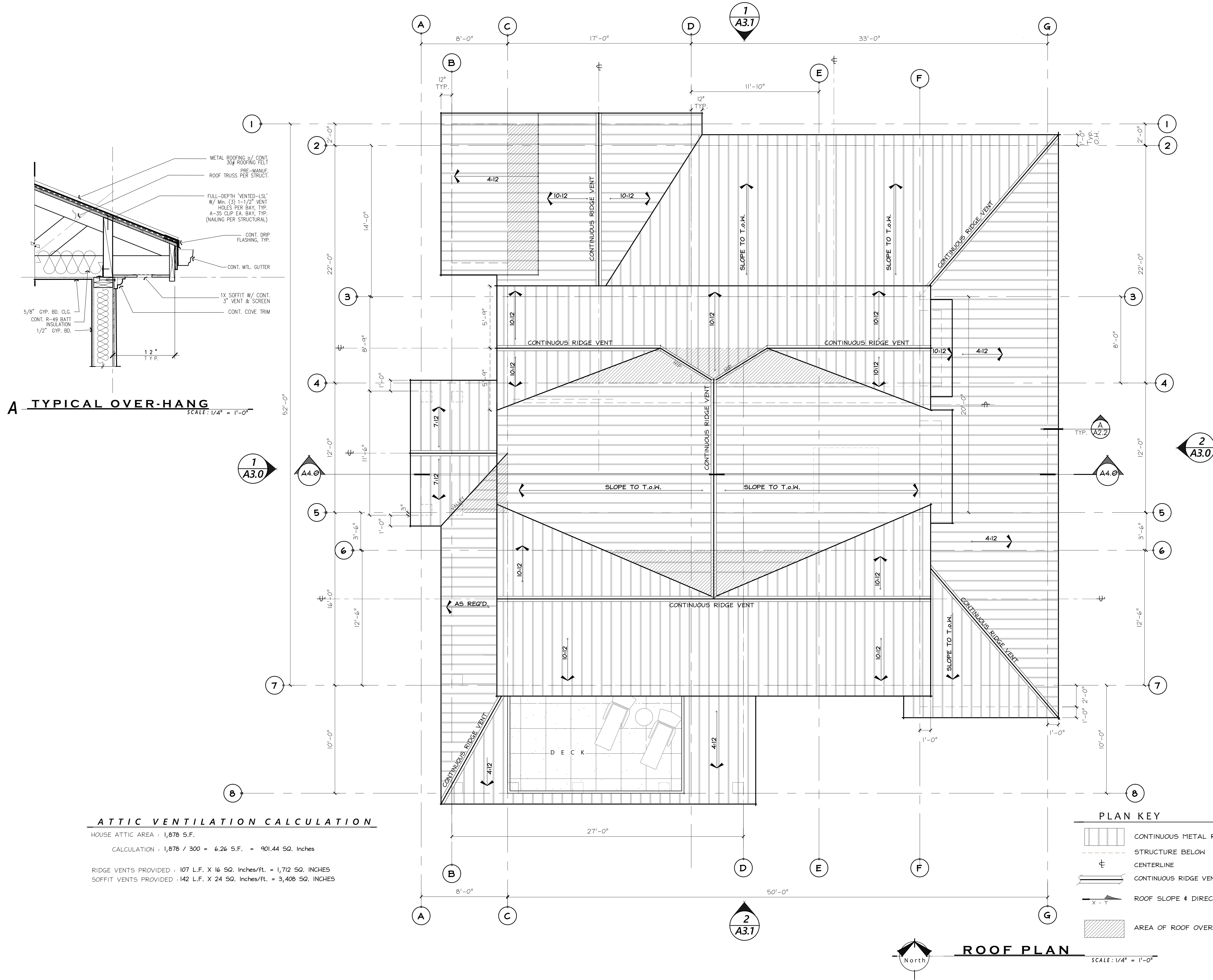
4884

RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT #:	19150
DATE:	AUG 5, 2020
DRAWN BY:	N. F. W.
REVISIONS:	
Tag	Description

SHEET No.:

A2.2



ATTIC VENTILATION CALCULATION

HOUSE ATTIC AREA : 1,878 S.F.

CALCULATION : 1,878 / 300 = 6.26 S.F. = 901.44 SQ. INCHES

RIDGE VENTS PROVIDED : 107 L.F. X 16 SQ. INCHES/FT. = 1,712 SQ. INCHES

SOFFIT VENTS PROVIDED : 142 L.F. X 24 SQ. INCHES/FT. = 3,408 SQ. INCHES

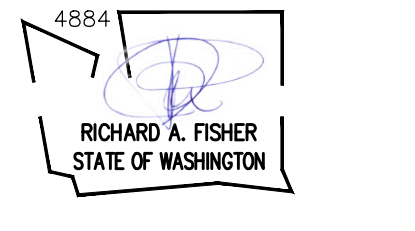
PLAN KEY

	CONTINUOUS METAL ROOF
	STRUCTURE BELOW
	CENTERLINE
	CONTINUOUS RIDGE VENT
	ROOF SLOPE & DIRECTION
	AREA OF ROOF OVER-FRAME

PROJECT NAME:	PROJECT ADDRESS:
RKK CONSTRUCTION	Lot 4 - WALIA
	3406 72nd Place, S.E.
	Merced Is., WA 98040

SET TITLE:	PERMIT SET
SHEET TITLE:	ELEVATIONS

STAMP:



RICHARD A. FISHER
STATE OF WASHINGTON

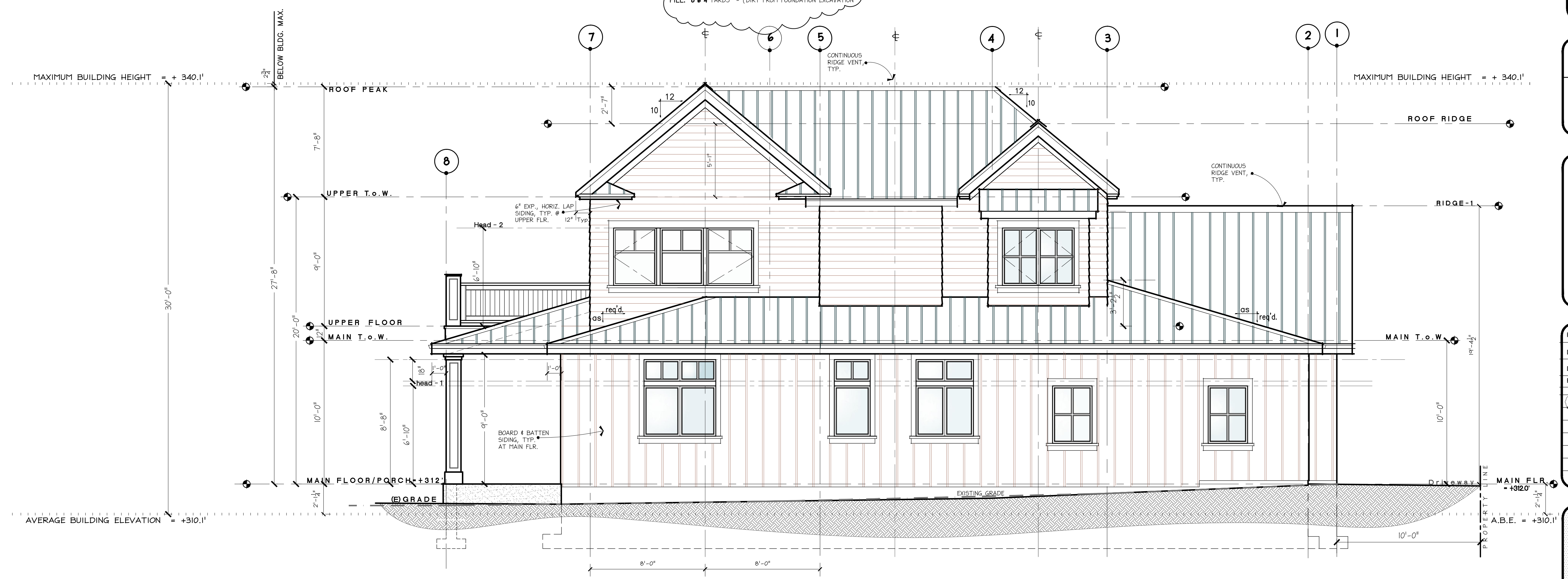
PROJECT #	19150
DATE	AUG 5, 2020
DRAWN	N.F.W.
REVISIONS	
M.I. BLDG. DEPT. REVIEW 9/20	

SHEET NO. **A3.0**

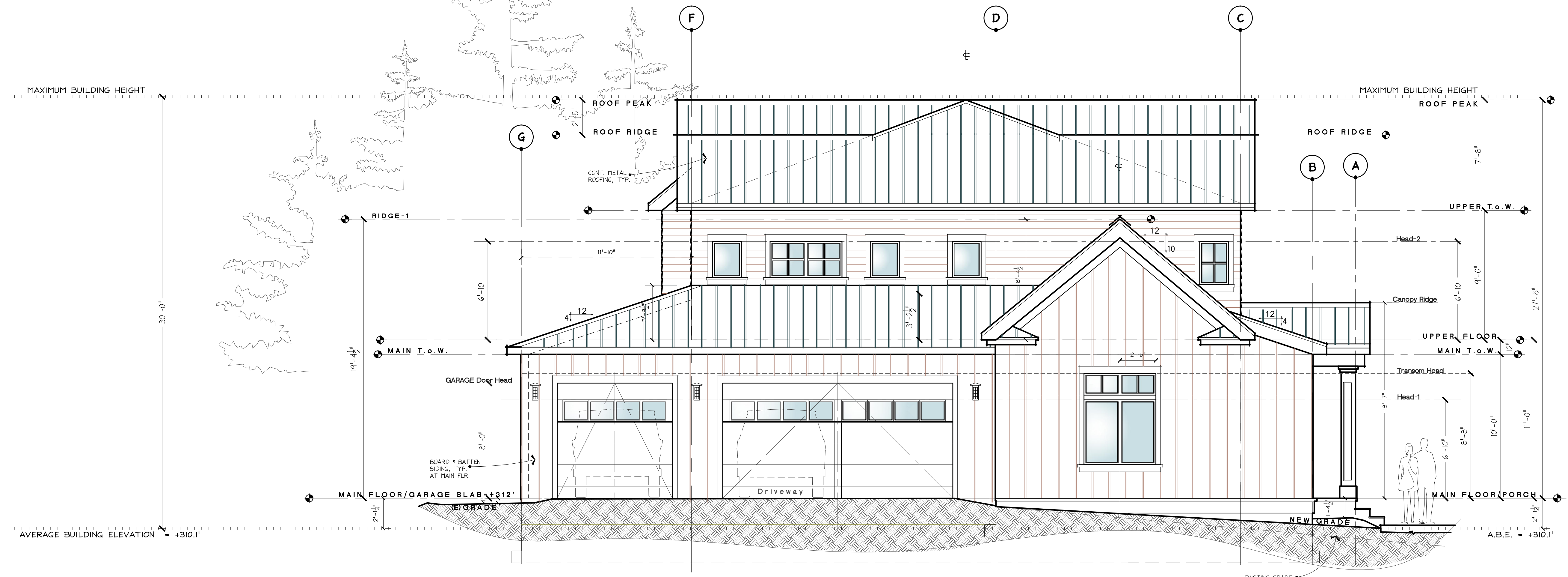


GRADING:
CUT: 0 YARDS
FILL: 6.4 YARDS - (DIRT FROM FOUNDATION EXCAVATION)

1 WEST ELEVATION SCALE: 1/4" = 1'-0"



2 EAST ELEVATION SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

RKK CONSTRUCTION
Lot 4 - WALIA
3406 72nd Place, S.E.
Mercer Is., WA 98040

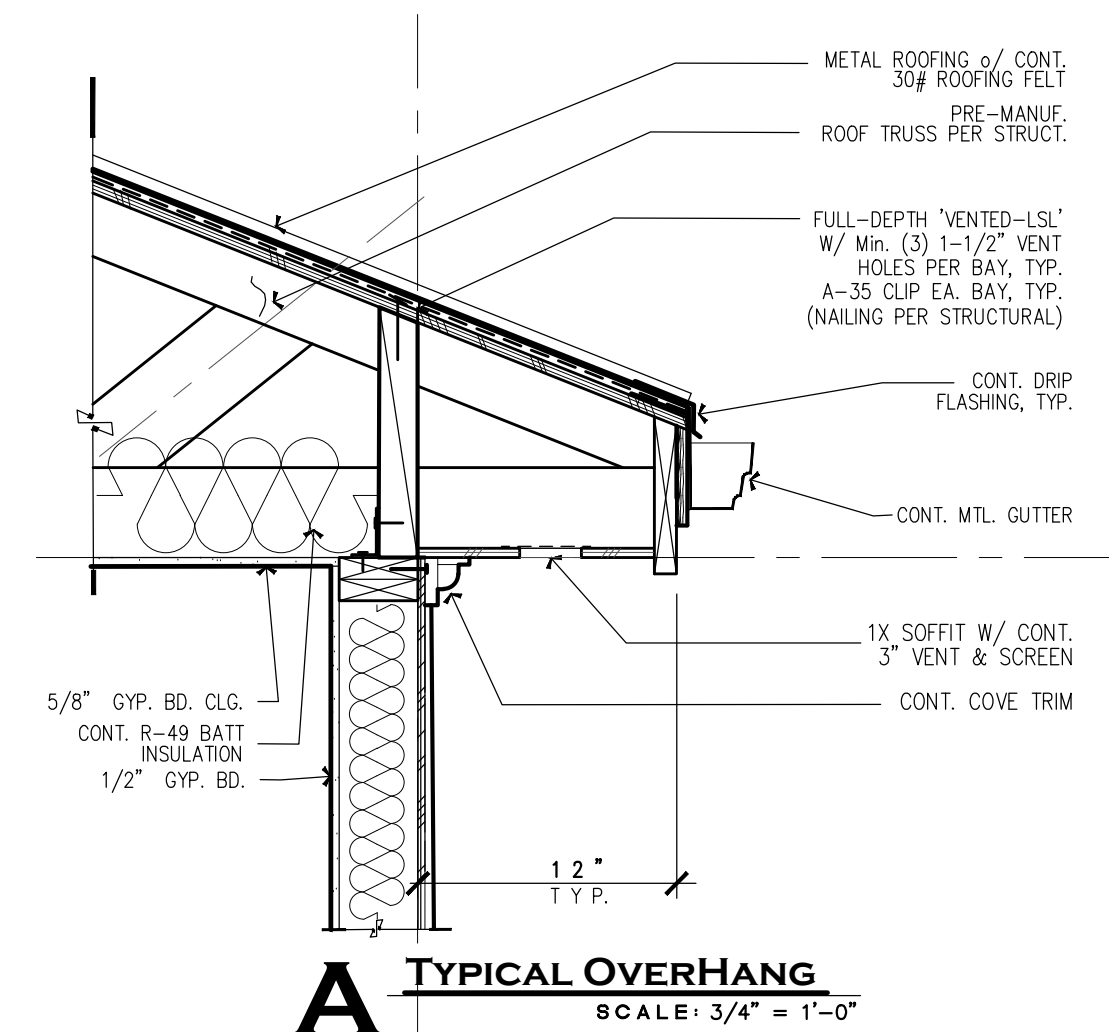
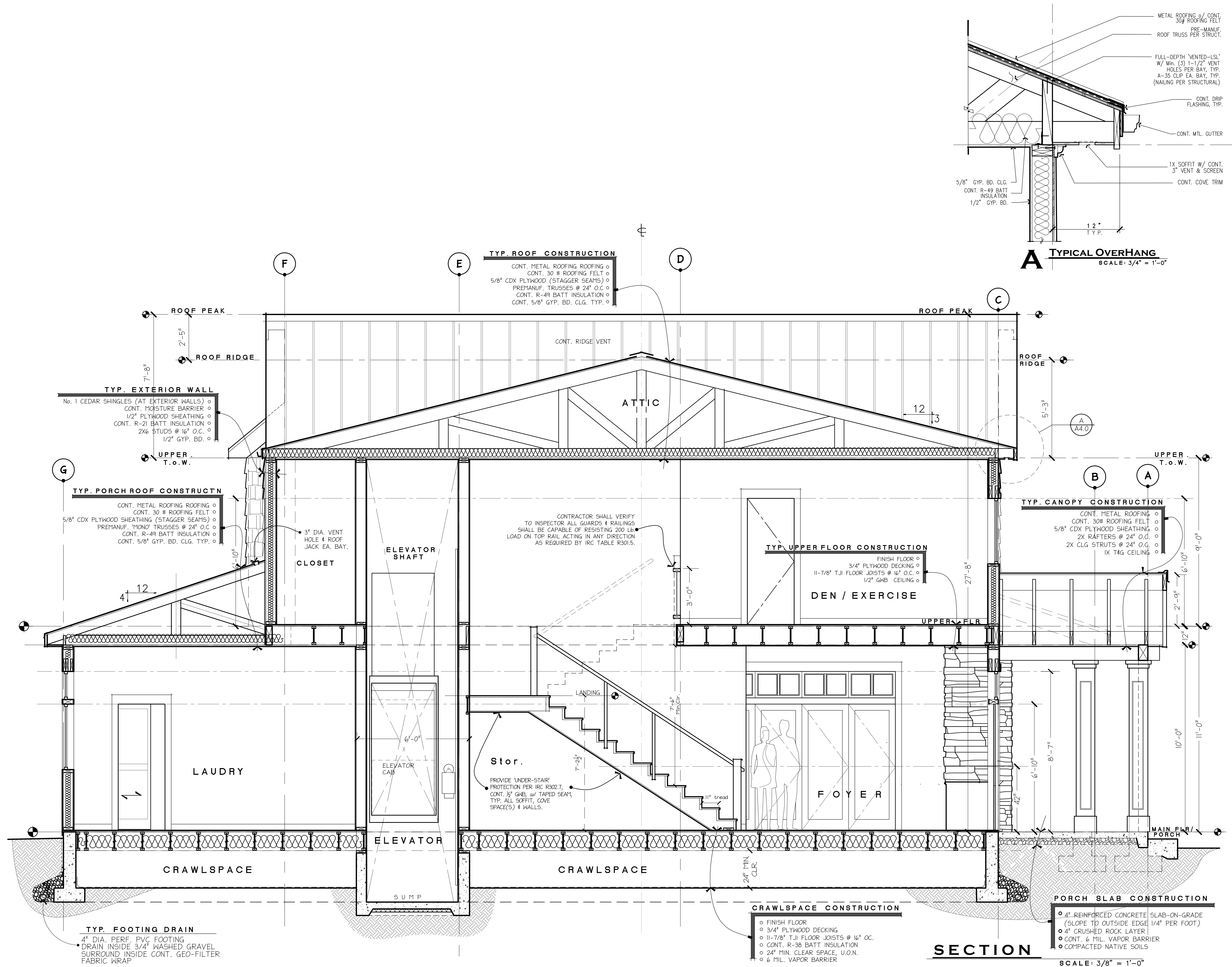
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SET TITLE: PERMIT SET
SHEET TITLE: ELEVATIONS

STAMP:
4884
RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT: 19150
DATE: AUG 5, 2020
DRAWN: N.F.W.
REVISIONS:

SHEET NO: **A3.1**



RFA ARCHITECTS
RICHARD A FISHER ARCHITECTS
 32 ST A.E. SUITE 600
 SEATTLE, WA 98101
 TEL: (206) 441-0442
 FAX: (206) 441-4447
 EMAIL: RAFISHER@RICHARDAFISHER.COM
 WEB: RICHARDAFISHER.COM
WOLF CREEK RANCH
 WINTROP, WA 98142
 TEL: (206) 441-6262

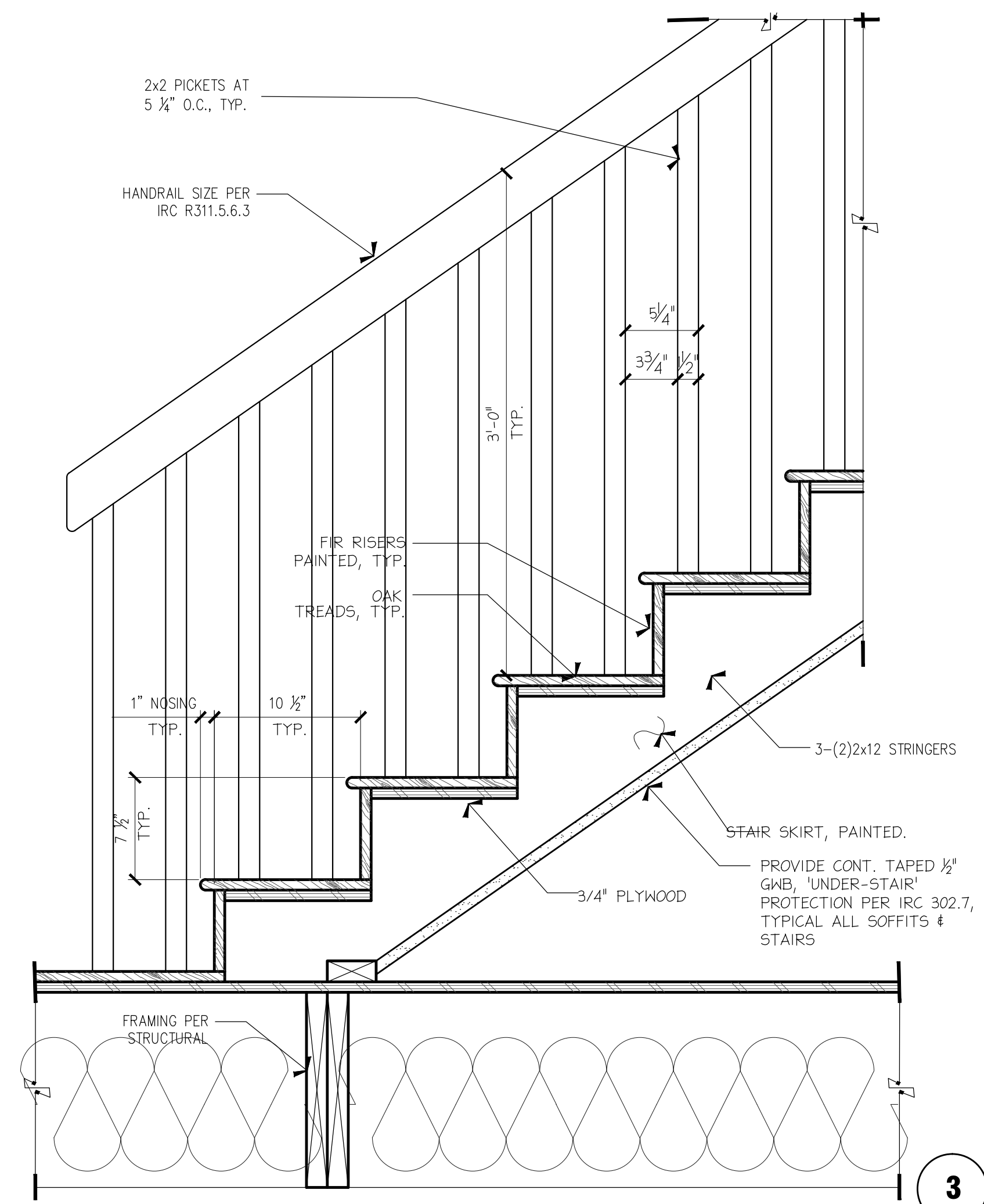
PROJECT NAME: **RKK CONSTRUCTION**
 PROJECT ADDRESS: **Lot 4 - WALIA
 3406 72nd Place, S.E.
 Mercer Is., WA 98040**

SET TITLE: **PERMIT SET**
 SHEET TITLE: **SECTION**

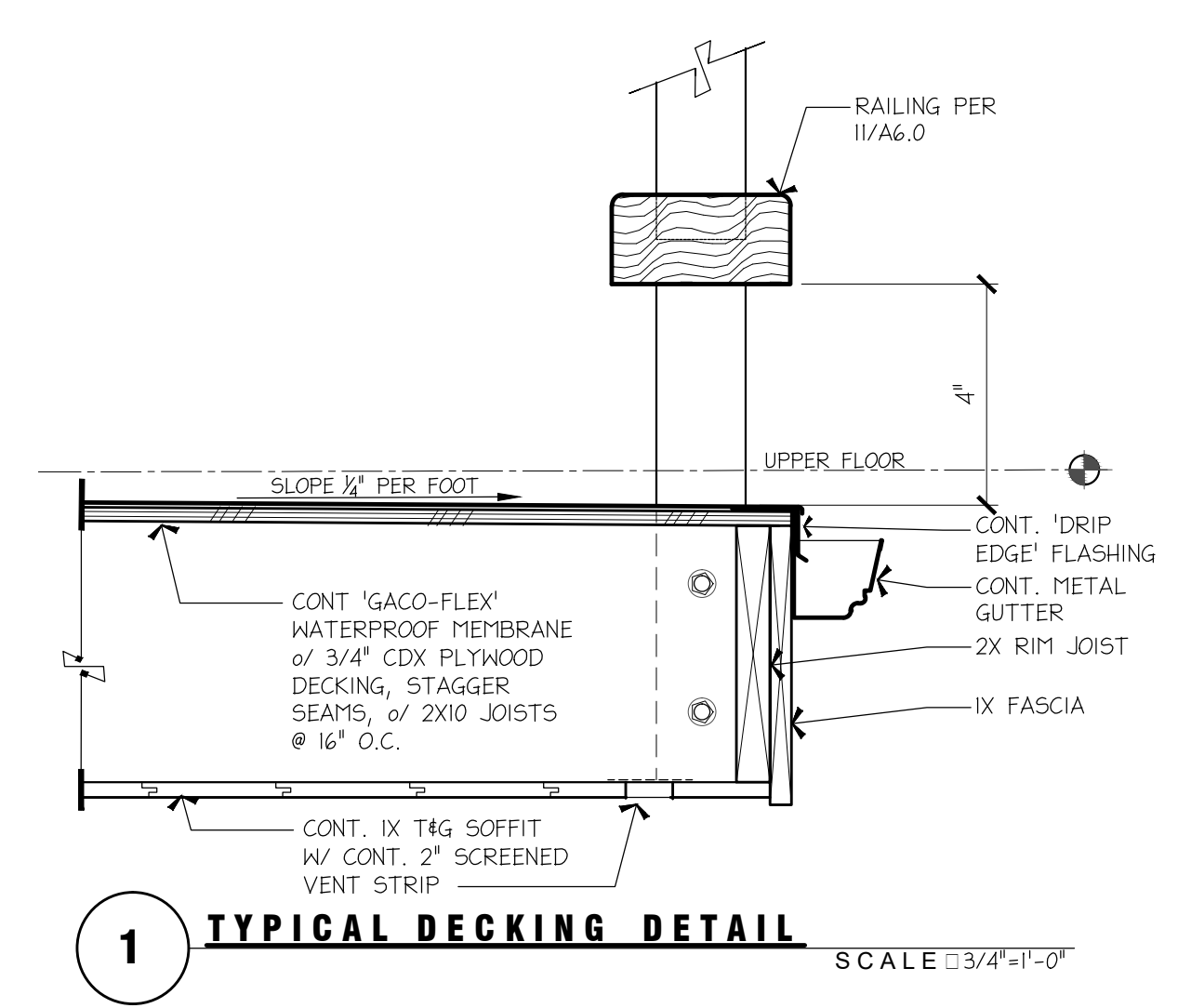
STAMP:
 4884
 RICHARD A. FISHER
 STATE OF WASHINGTON

PROJECT NO: **19150**
 DATE: **AUG 5, 2020**
 DRAWN BY: **N.F.W.**
 REVISIONS:

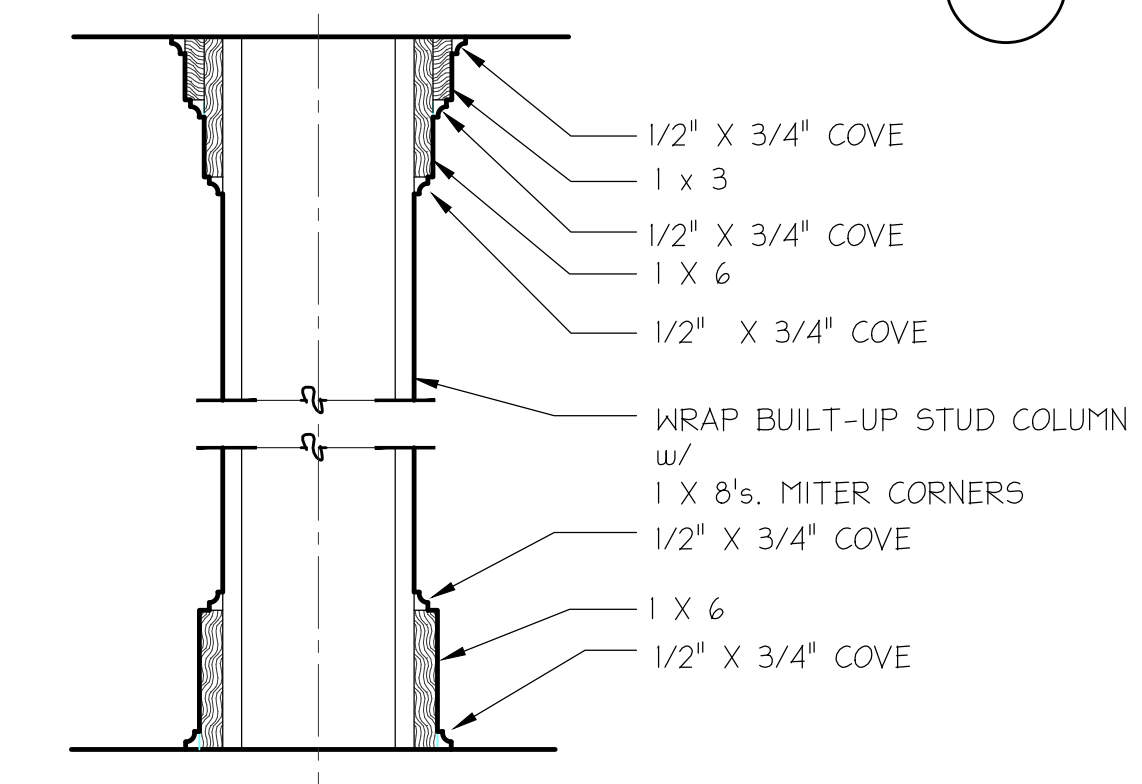
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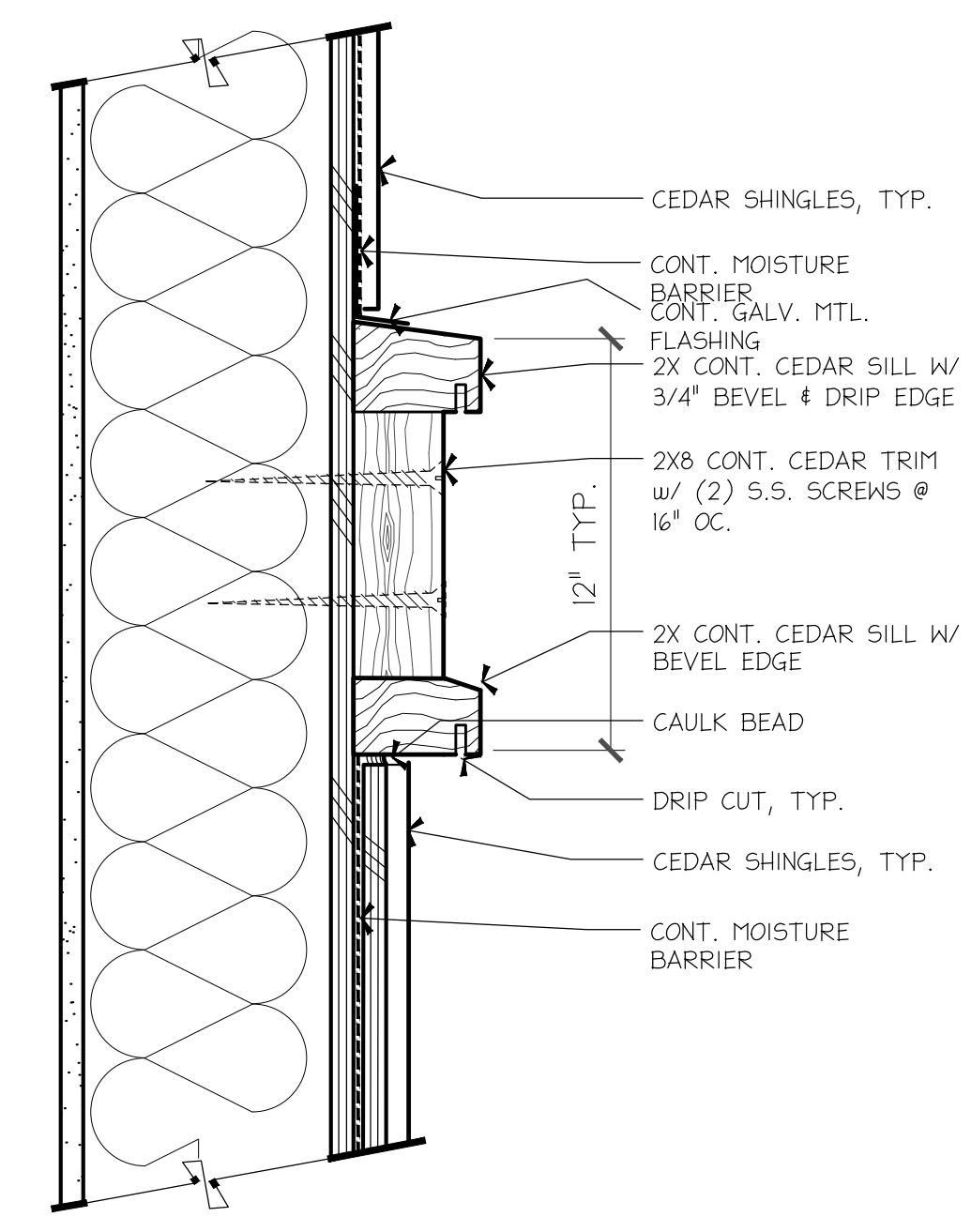
NOTE:
ALL COLUMN WOOD TO BE EXTERIOR GRADE.



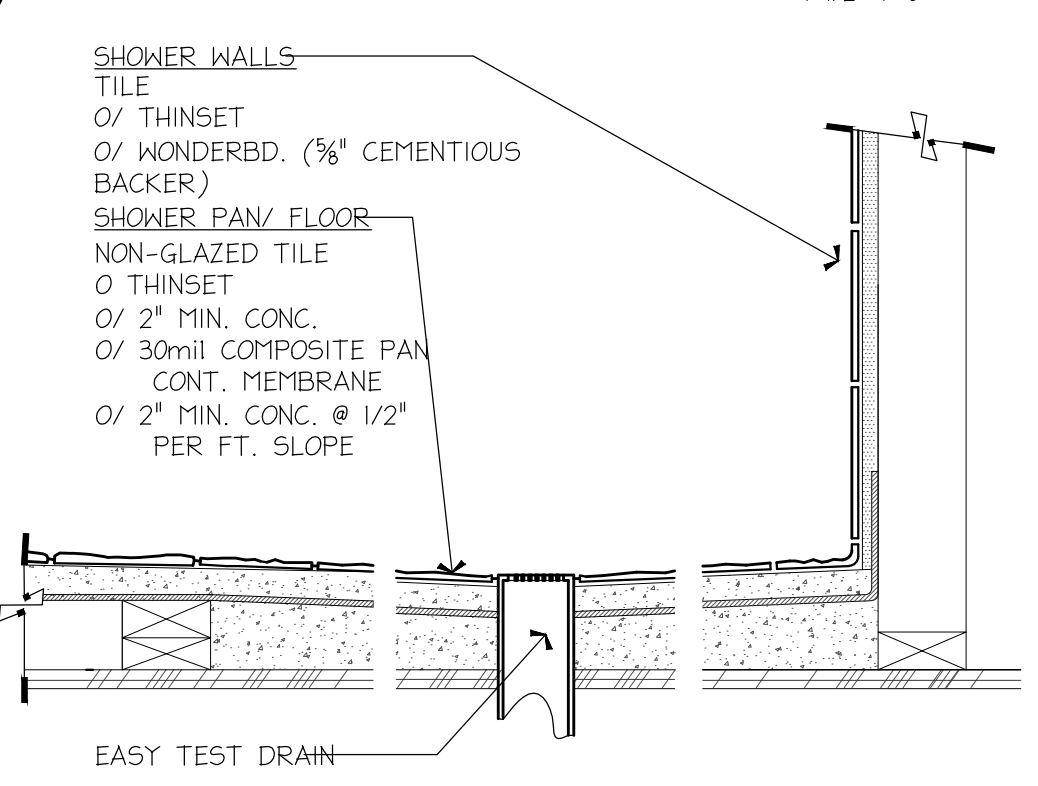
1 TYPICAL DECKING DETAIL SCALE 3/4"=1'-0"



3 TYPICAL BOX COLUMN TRIM SCALE 1/2"=1'-0"

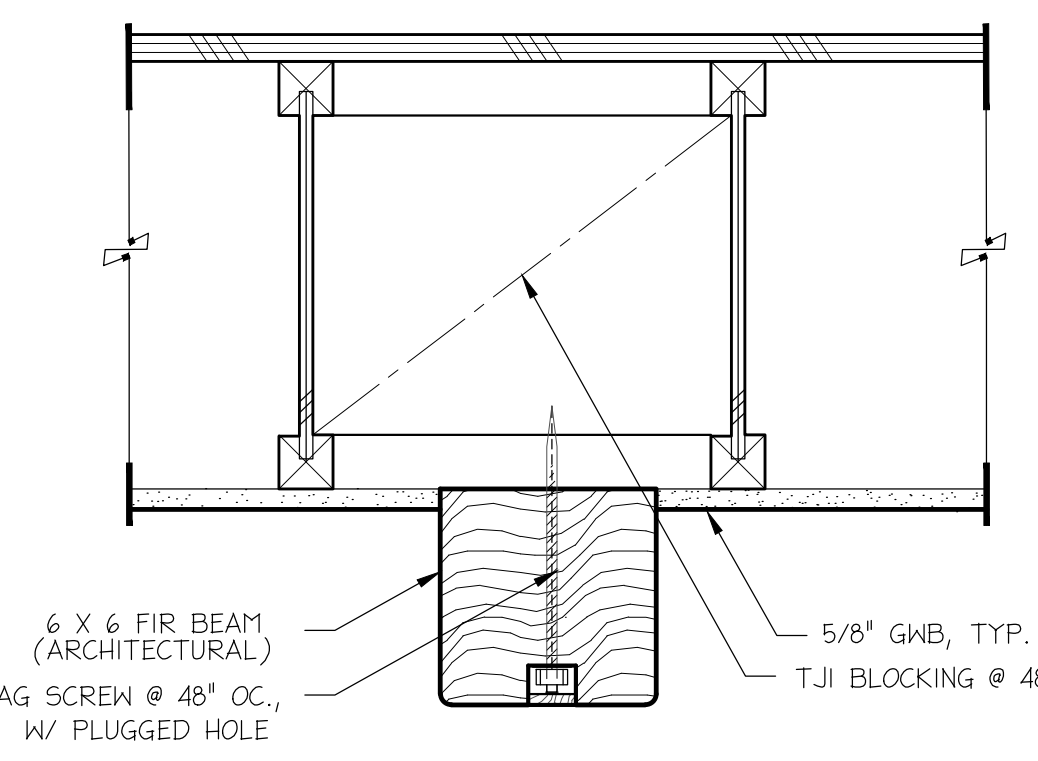


2 TYPICAL TRIM BAND DETAIL SCALE 3/4"=1'-0"



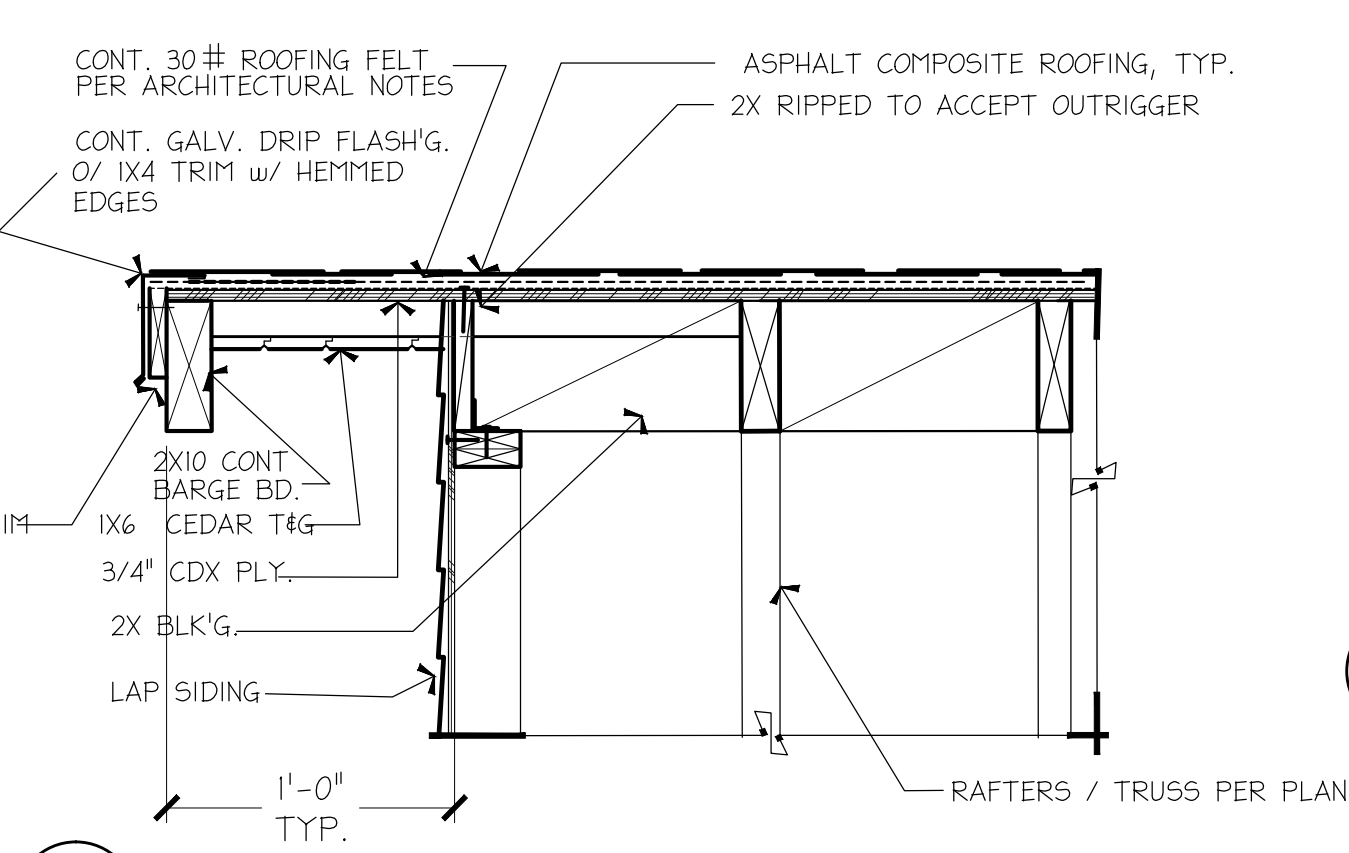
4 TYPICAL SHOWER PAN SCALE 1"=1'-0"

9 NOT USED SCALE

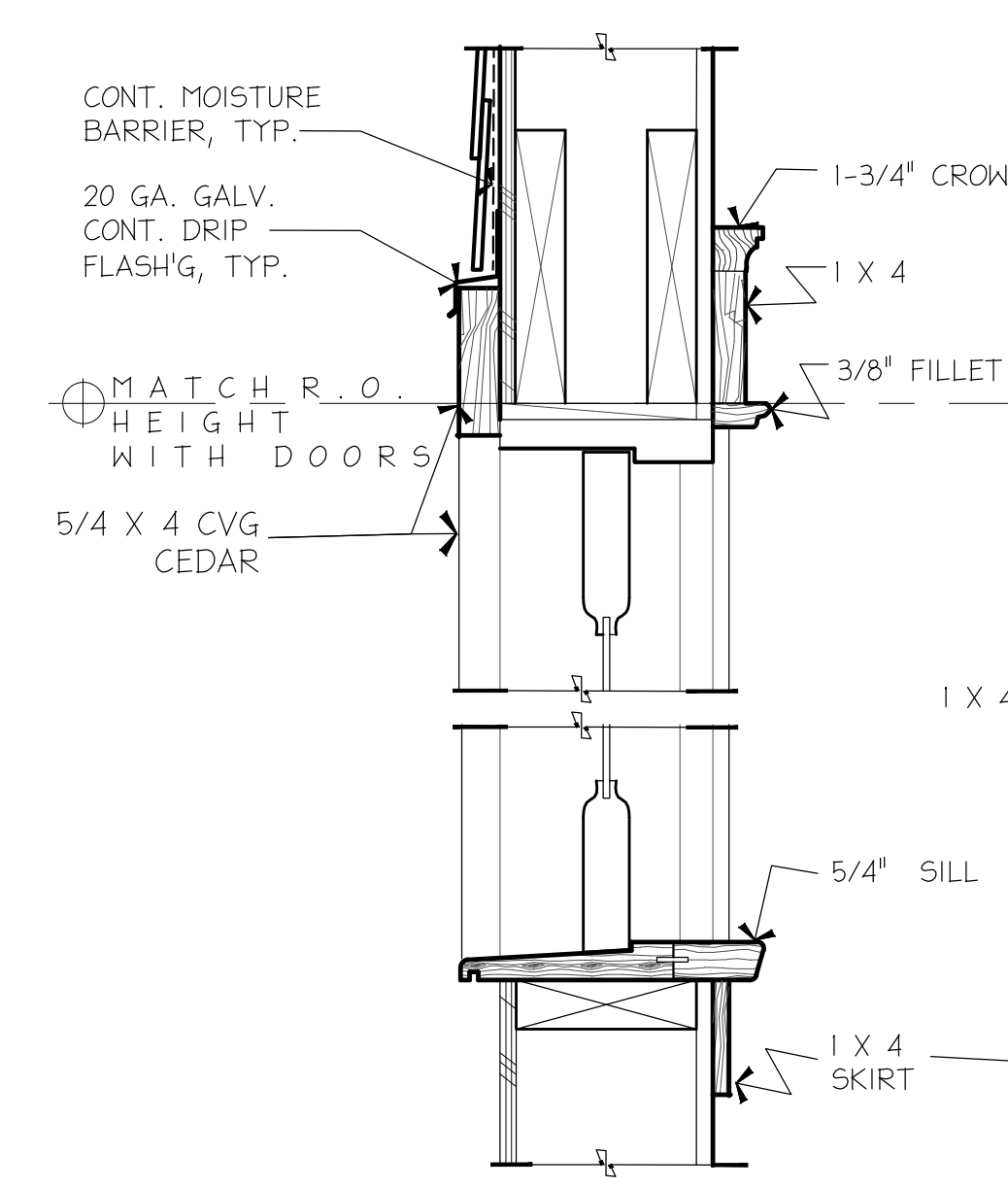


10 TYPICAL BOX COLUMN TRIM SCALE 3/4"=1'-0"

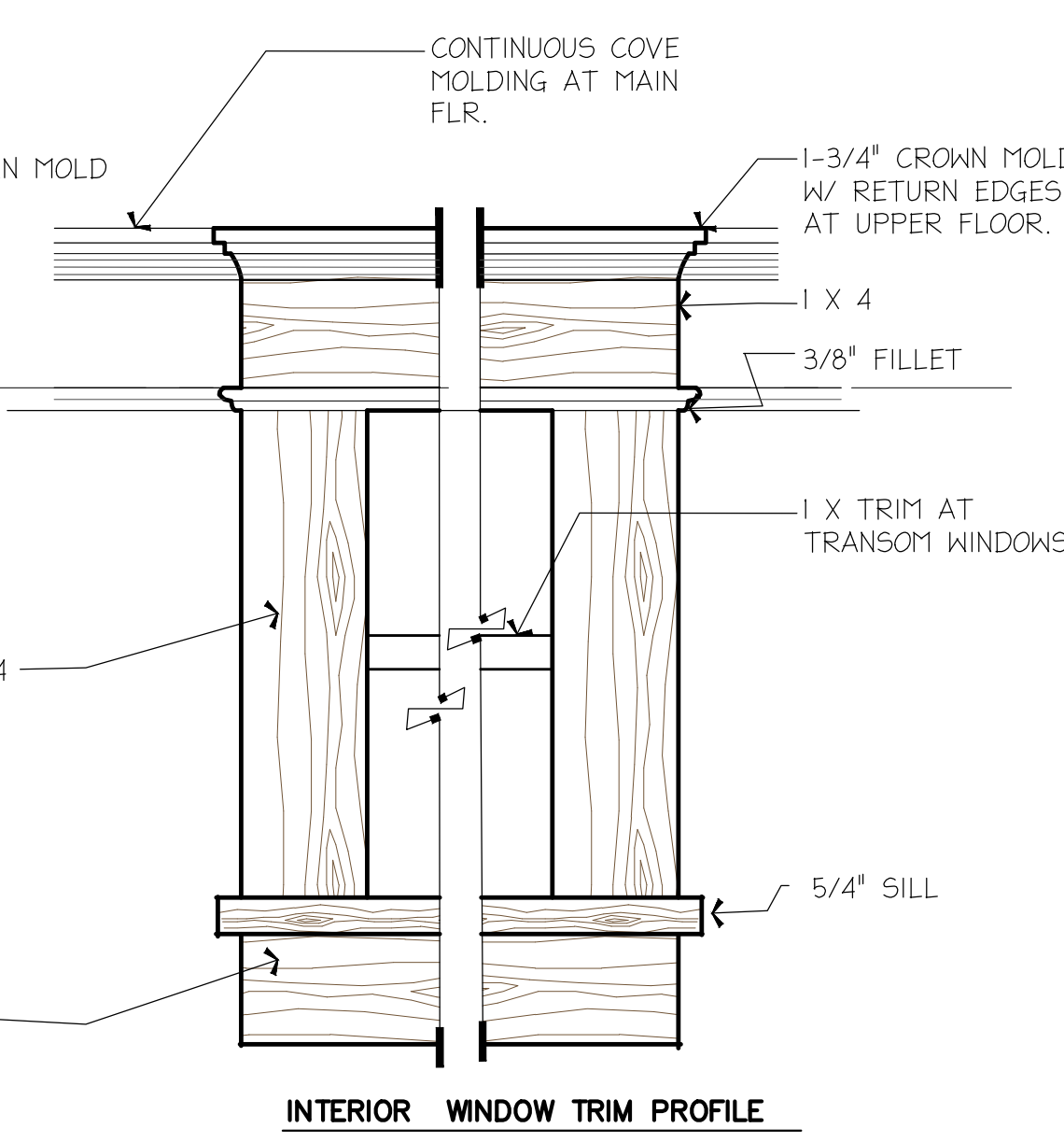
6 STAIR FRAMING DETAIL SCALE 1-1/2"=1'-0"



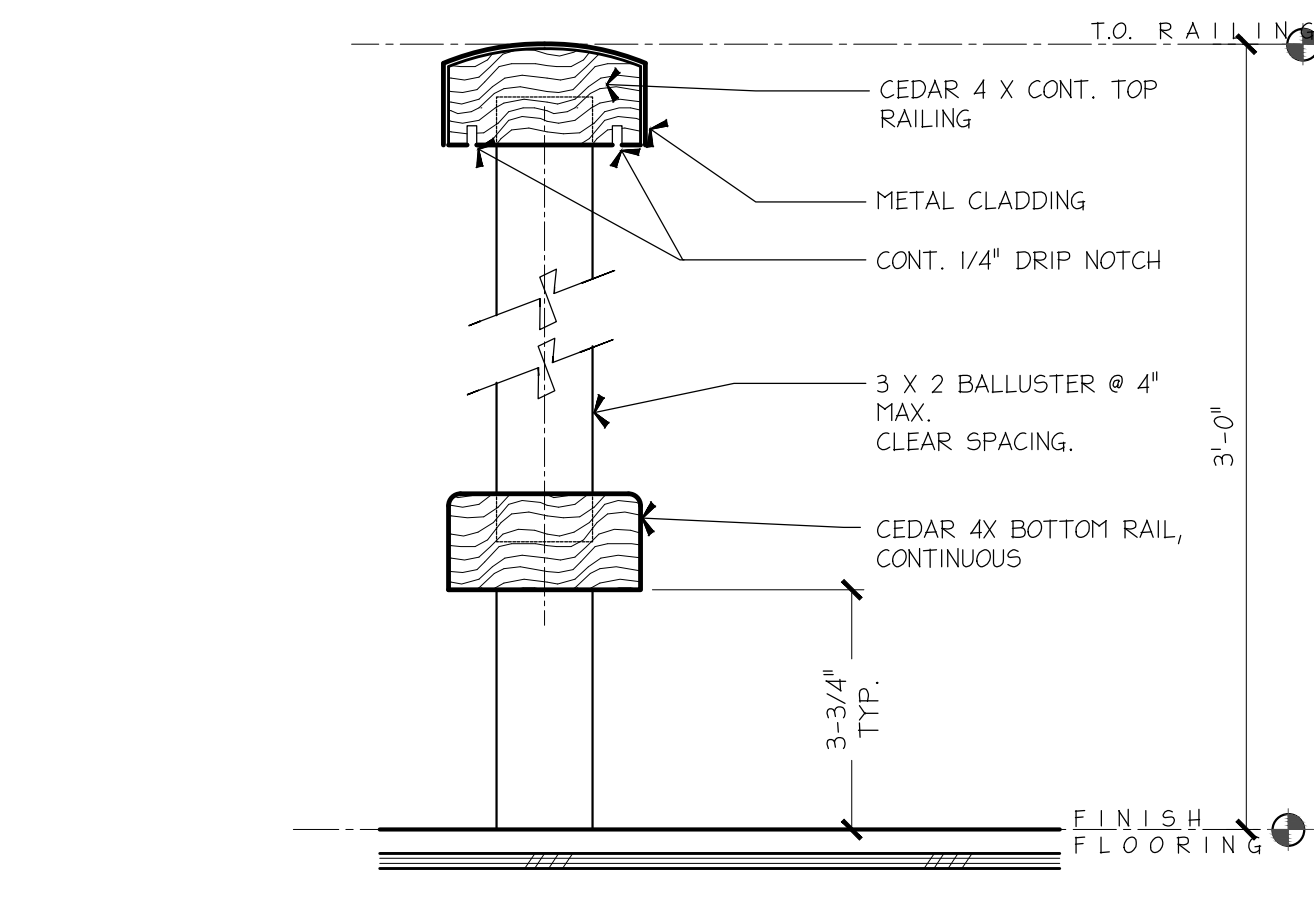
7 TYPICAL RAKE DETAIL SCALE 3/4"=1'-0"



5 TYPICAL WINDOW TRIM DETAIL SCALE 1-1/2"=1'-0"



INTERIOR WINDOW TRIM PROFILE



11 TYPICAL RAILING DETAIL SCALE 3/4"=1'-0"

8 NOT USED

RKK CONSTRUCTION
Lot 4 - WALIA
3406 72nd Place, S.E.
Mercer Is., WA 98040

SET TITLE: PERMIT SET
SHEET TITLE: ARCHITECTURAL DETAILS

STAMP:
4884
RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT: 19150
DATE: AUG 5, 2020
DRAWN: N.F.W.
REVISIONS:

SHEET NO: **A6.0**

GENERAL NOTES

1. STANDARD SPECIFICATIONS
 - (a) All work to be performed and materials to be used shall be in accordance with the WSDOT/APWA Standard Specifications and Standard Plans for Road, Bridge and Municipal Construction, as applicable and as modified below, and unless otherwise noted, shall be subject to inspection and approval by the City of Mercer Island.
 - (b) Local Amendments to the Standard Specifications, consisting of Standard Drawings and Special Technical Conditions are referenced in these notes. Copies of these documents are available at the office of the City Engineer, City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA 98040.
 - (c) These specifications shall be applicable for, but not limited to, public and private streets, driveways, parking lots, commercial and industrial developments, apartments, etc. Work in private developments shall conform to the same standards of workmanship and materials as are specified within the City right-of-way, except as indicated on the plans.
2. PERMITS
Prior to construction, and in addition to any other permits required, a City of Mercer Island "Street Use Permit" MUST be obtained for any and all work within the City right-of-way.
3. PLANS
It is a requirement of the City of Mercer Island Engineering Department, that an approved set of Construction Plans for all work be kept on the construction site at all times during the construction period.
4. INSPECTION
The Engineering Department Construction Inspector 236-5300, or 236-3587. (24-hr taped inspection line) shall be notified 24-hours prior to starting any type of construction including clearing, sanitary sewers, water mains, storm drains, curb and gutters, sidewalks, driveways, street grading and paving.

STORM DRAINAGE CONSTRUCTION

1. STORM DRAINAGE PIPE
Pipe shall be concrete, PVC, or ductile iron within the public right of way. Concrete pipe up to and including 24" diameter shall be unreinforced and shall conform to ASTM C-14, Table II, Extra Strength, rubber gasketed. Reinforced pipe shall conform to ASTM designation C-76 unless otherwise specified. Storm sewer detention pipe greater than 24" diameter shall be rubber gasketed, helical corrugated aluminum pipe. Bedding to be Class "C". Gauge of pipe will be as shown on the plans. Installation shall be in accordance with Section 7-04 of the Specifications and may be subject to exfiltration test. Corrugated polyethylene storm sewer pipe in accordance with WSDOT standard specification section 9-05.20 is also allowed.
2. OTHER MATERIALS
Other materials for Storm Drainage Construction require written approval of the City Engineer.
3. BACKFILL RESTRICTIONS
 - a) Bedding shall conform to Standard Plan B-11.
 - b) Minimum cover over storm drain shall be 18".
 - c) Trench backfill compacted to 95% of maximum density shall be required wherever trench excavation is made in paved roadway, sidewalk or any other area where minor settlement would be detrimental.
4. CATCH BASINS
 - a) Type 1, catch basin inlet shall conform to Section 7-05 of the Standard Specifications and as shown on Standard Plan B-1. The maximum distance to invert is 5'0" with a maximum pipe diameter up to 12" for concrete pipe, 15" for CMP. The sump is a minimum of 15".
 - b) Type 2, catch basin inlet shall conform to Section 7-05 of the Standard Specifications and as shown on Standard Plan B-1e. Maximum pipe diameter of 24" for concrete pipe, 30" for CMP; a minimum of 8" between holes. The sump is a minimum of 24".
5. INLETS
Curb inlets shall be approved by the City Engineer
6. GRATE COVERS
 - a) Covers for catch basins and inlets shall conform to Olympic Foundry Co. #SM50G or equal for slopes less than 3%. Where slopes exceed 3%, use Olympic Foundry Co. #SM50VG. Grates shall be ductile iron and have the letters "DUCT" cast in the cover.
 - b) Solid covers for manholes, where permitted, shall be 24" diameter, with "DRAIN" cast in cover in 2" letters, conforming to Olympic Foundry Co. MH43, Inland Foundry No. 835, or approved equal.
 - c) Drainage structures not within public right-of-way shall have locking lids.
7. FRAMES
Frames for catch basins and inlets shall be of cast iron or ductile iron conforming to Olympic Foundry Co. SM50 or equal. Vaned grates (SM50V) shall be installed where shown on the plans, except through-curb inlet frames which shall conform to Olympic Foundry Co. SM52 or equal.

SANITARY SEWER CONSTRUCTION

1. SANITARY SEWER PIPE
Shall be ASTM C-14 (Extra Strength), rubber-gasketed concrete pipe, ductile iron pipe, or PVC ASTM D 3034, SDR per Standard Specifications. Tees shall be installed in the main where required for side and/or lateral sewers.
2. SIDE SEWER PIPE
Shall be ASTM C-14 (Extra Strength), rubber gasketed concrete pipe, ductile iron pipe, or PVC ASTM D 3034, SDR 35. Minimum diameter shall be 6-inches.
3. SPECIAL CONDITIONS
Ductile iron pipe will be required in areas of unstable soils, or where ground slopes exceed 20%.

4. EXCAVATION AND BACKFILL
Trench backfill compacted to 95% of maximum density, shall be required wherever trench excavation is made in a paved roadway, sidewalk or any other area where minor settlement would be detrimental. Elsewhere, 85% density shall be achieved. Minimum cover shall be 4-feet.
5. SIDE AND/OR LATERAL SEWERS
Shall be constructed not less than 5-feet past the property line. The minimum depth at property line is 2'6". The minimum slope is 2%. Each service requires a tee for testing. The ends shall be marked with not less than a No. 9 wire and secured to a 2" x 4" stake stenciled "SEWER" and painted white. The depth of the side and/or lateral sewer below ground is to be marked on the stake.
6. MANHOLES
Shall be minimum 48" I.D. Type 1, as shown on the Standard Details. The manhole lid shall be WSDOT STND; PLAN B-25 or approved equal with "SEWER" cast on lid in 2" letters.
7. BEDDING
Shall be as shown on the plans, or on Standard Plan B-11. Bedding for PVC pipe shall be 6" below and 6" above pipe, compacted to 95%. Pipe zone bedding shall be as set forth in Section 9-03.12(3).
8. TESTING
Shall be done in the presence of and under the supervision of the City Engineer and/or his/her representative. The City has established the AIR TEST METHOD as the standard method for testing. The procedure as set forth in Section 7-17.3(2) of the Standard Specifications may be used for testing upon special request to the City Engineer.

CONTROL OF MATERIAL

The source of supply and a detailed list of each list of each of the materials furnished by the contractor shall be submitted to the City for approval prior to delivery. Only materials conforming to the requirements of the Standard Specifications and approved by the City shall be used in the work. Testing of materials may include tests of actual samples, manufacturer's certifications, approval of catalogue cuts, or field acceptance reports. Testing of materials for incorporation in private work shall be performed at other than City expense.

EROSION AND SEDIMENTATION CONTROL

1. The implementation of these erosion sedimentation control (ESC) plans and the construction, maintenance, replacement, and upgrading of these ESC facilities is the responsibility of the permit holder/contractor until all construction is approved.
2. The ESC facilities shown on this plan must be constructed in conjunction with all clearing and grading activities in such a manner as to insure that sediment-laden water does not enter the drainage system or violate applicable water standards, and must be completed prior to all other construction.
3. The ESC facilities shown on this plan are the minimum requirements for anticipated site conditions. During the construction period, these ESC facilities shall be upgraded (e.g. additional sumps, relocation of ditches and silt fences) as needed for unexpected storm events. Additionally more ESC facilities may be required to ensure complete siltation control. Therefore, during the course of construction it shall be the obligation and responsibility of the contractor to address any new conditions that may be created by his activities and to provide additional facilities over and above the minimum requirements as may be needed.
4. The ESC facilities shall be inspected daily during non-rainfall periods, every hour (daylight) during a rainfall event and at the end of every rainfall by the permit holder/contractor and maintained as necessary to ensure their continued functioning. In addition, temp. siltation ponds and all temp. siltation controls shall be maintained in a satisfactory condition until such time that clearing and or construction is completed, permanent drainage facilities are operational, and the potential for erosion has passed.
5. Any area stripped of vegetation, including roadway embankments where no further work is anticipated for a period of seven (7) days, shall be immediately stabilized with the approved ESC methods (e.g. seeding, mulching, netting, erosion blankets, etc.).
6. Any areas needing ESC measure, not requiring immediate attention, shall be addressed within seven (7) days.
7. The ESC facilities on inactive sites shall be inspected and maintained a minimum of once a month or within the 48 hours following a storm event.
8. At no time shall more than one foot of sediment be allowed to accumulate within a catch basin. All catch basins and conveyance lines shall be cleaned prior to paving. The cleaning operation shall not flush sediment laden water downstream system.
9. Stabilized construction entrances and wash pads shall be installed at the beginning of construction and maintained for the duration of the project. Additional requirements may be required by the inspector to insure that all paved areas are kept clean of silt from construction vehicles.
10. Where seeding for temporary erosion control is required, fast germinating grasses shall be applied at an appropriate rate. (e.g. annual or perennial rye applied at approximately 80 pounds per acre)
11. Where straw mulch for temporary erosion control is required, it shall be applied at a minimum thickness of three inches.
12. All work and materials shall be in accordance with the City of Mercer Island Standards and Specifications.
13. Erosion/sedimentation controls shall be constructed in accordance with the details in the Department of Ecology Stormwater Management Manual, unless approved by the City Engineer.
14. A copy of the approved erosion control plans must be on the jobsite whenever construction is in progress.
15. Temporary erosion/sedimentation controls shall be installed and operating prior to any grading or land clearing.
16. Wherever possible, maintain natural vegetation for silt control.
17. All cut and fill slopes 5:1 (5 feet horizontal to 1 foot vertical) or steeper that will be left exposed for more than 7 days shall be protected by jute matting, plastic sheeting, mulching, or other approved stabilization methods and provide adequate runoff conveyance to intercept runoff and convey it to an approved storm drain. Exceptions as modified per the construction moratorium October 1st through April 1st.

18. Off-site streets must be clean at all times. If dirt is deposited on the public street, the street shall be cleaned. All vehicles shall leave the site by way of the construction vehicle entrances and shall be cleaned of mud prior to exiting onto the street. Silt shall be cleaned from all catch basins when the bottom half becomes filled with silt.
19. Any catch basins collecting water from the site, whether they are on or off of the site, shall have their grates covered with filter fabric during construction.
20. Washed gravel backfill adjacent to the filter fabric fences shall be replaces and the fabric cleaned if clogged by silt. All interceptor swales shall be cleaned if silt accumulation exceeds one-quarter depth.
21. If any portion of the erosion/sedimentation control elements are damaged or not functioning, or if the clearing limit boundary becomes non-defined, it shall be repaired immediately.

WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.

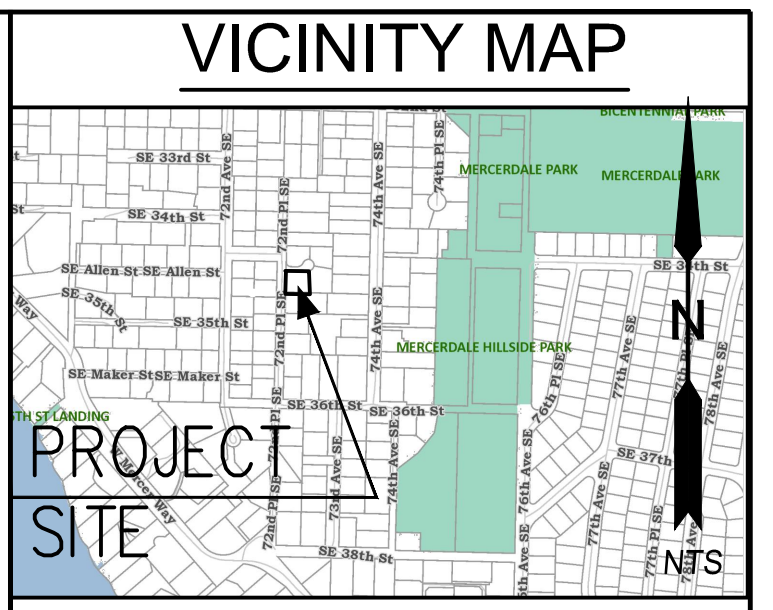
Installation of concrete driveways, trees, shrubs, irrigation, boulders, berms, walls, gates, and other improvements are NOT allowed in Public Right of Way without PRIOR approval, and an Encroachment Agreement and Right of Way permit from Senior Development Engineer.

CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1-800-424-5555.

REMEMBER: Erosion control is your *FIRST* inspection.

INDEX

SHEET 1	COVER SHEET
SHEET 2	DRAINAGE PLAN
SHEET 3	TESC PLAN
SHEET 4	TESC DETAILS
SHEET 5	TREE PLAN
SHEET 6	SOIL AMENDMENT PLAN



BASIS OF BEARINGS

PER REFERENCE 1, ACCEPTED BEARING OF N 88°49'48" W ALONG CENTERLINE OF SE 32ND ST BETWEEN FOUND MONUMENTS.

REFERENCES

- R1. MERCER ISLAND SHORT PLAT FILE NO. SUB0002-001, VOL. 139, PG. 238, RECORDS OF KING COUNTY, WASHINGTON.
- R2. RECORD OF SURVEY, VOL. 141, PG. 243. RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD 88 PER CITY OF MERCER ISLAND BENCHMARK #6457 2" BRASS CAP WITH "X" IN CONC MON, DOWN 1.0', 5" OFFSET MON INTX SE 32ND ST & 74TH AVE SE. ELEV=324.56'

BY	DATE	APPR	DRN	REVISION

CONTACT: RKK CONSTRUCTION 3056 70th Avenue S.E. MERCER ISLAND, WA 98040 TEL: 206-236-2920		
DRN	DSGN	CHKD

DARLA GUERRERO, P.E.

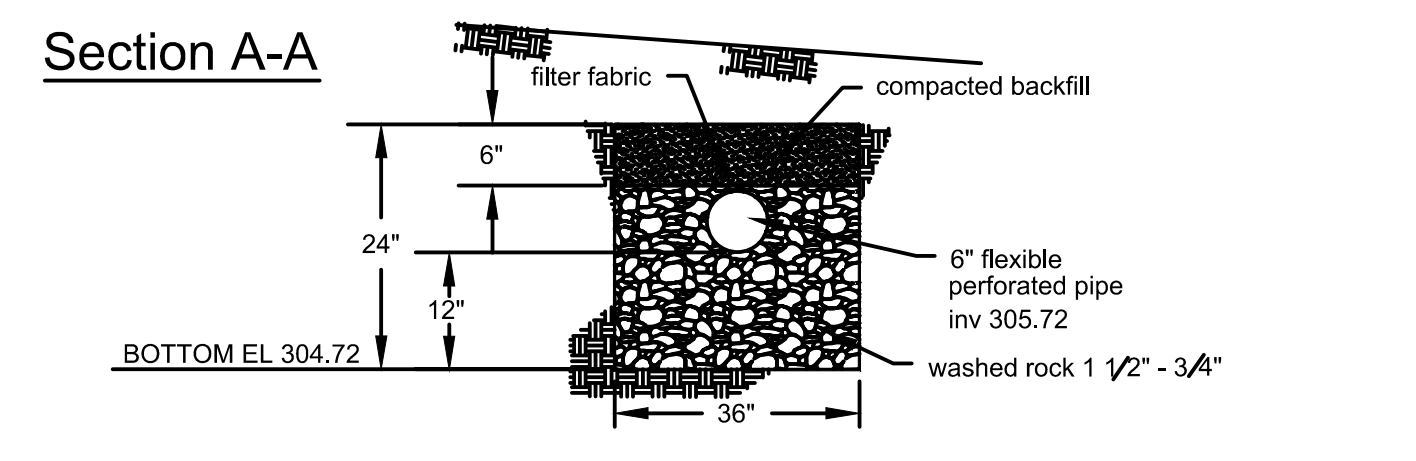
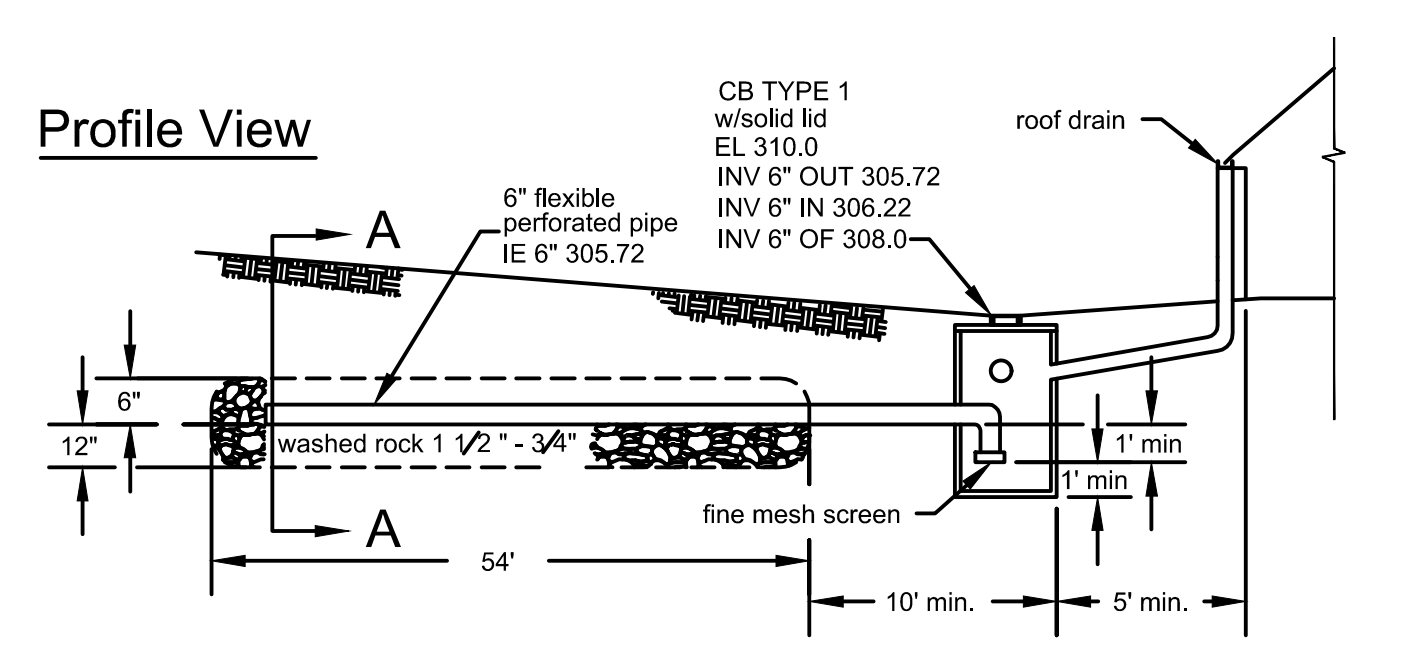
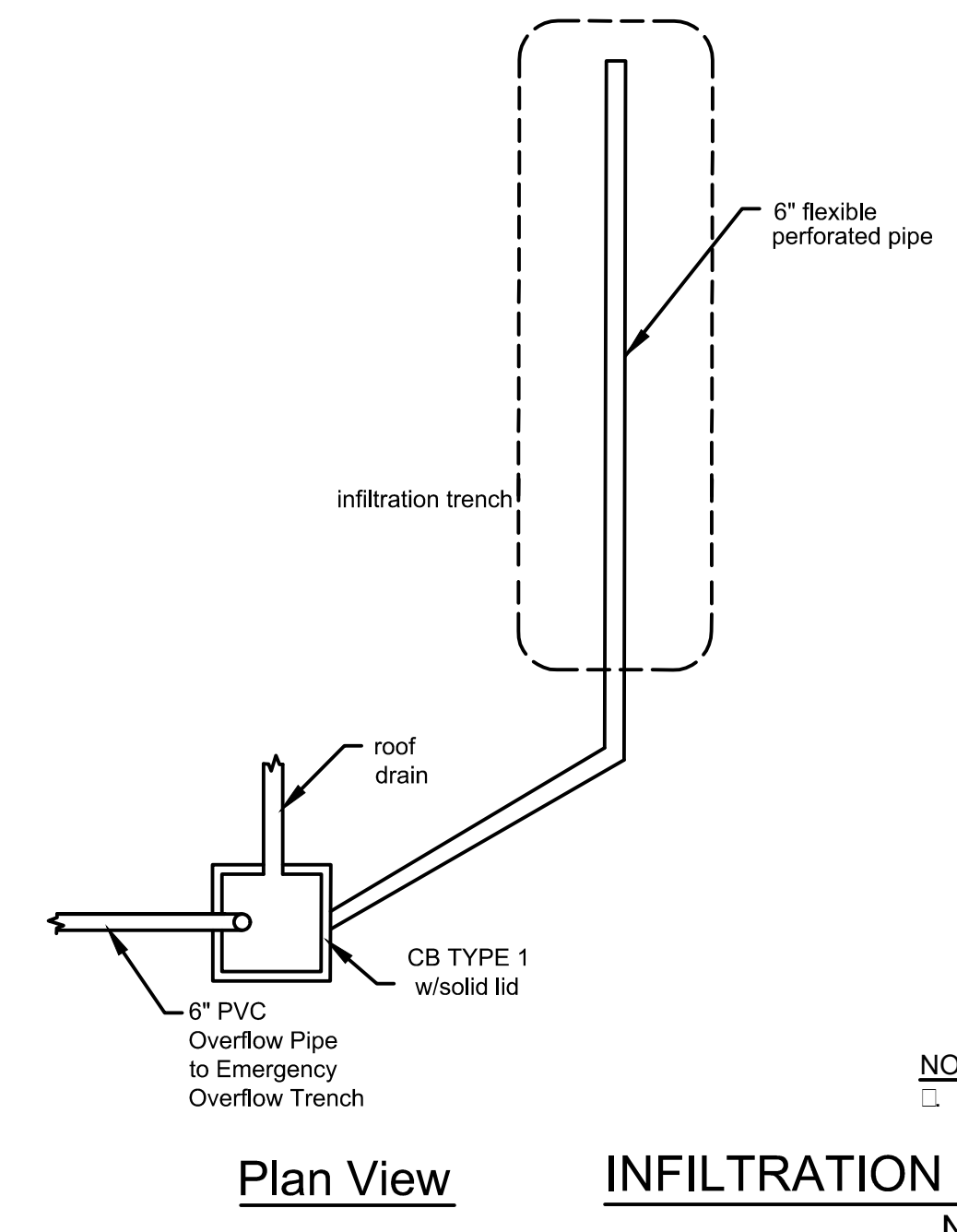
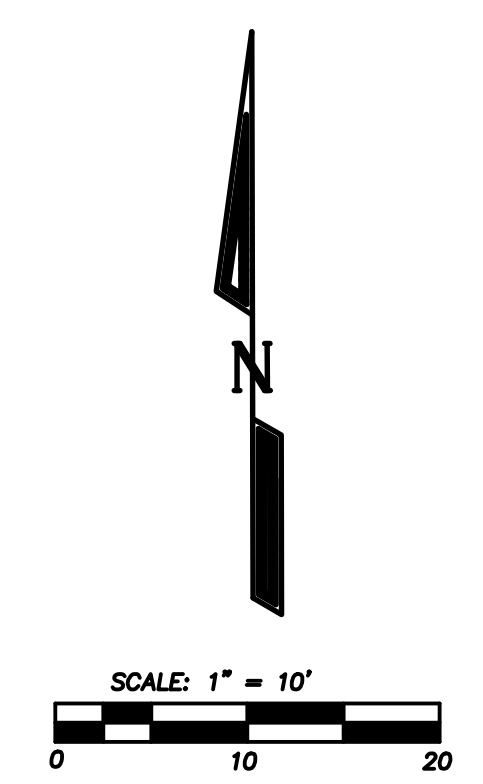
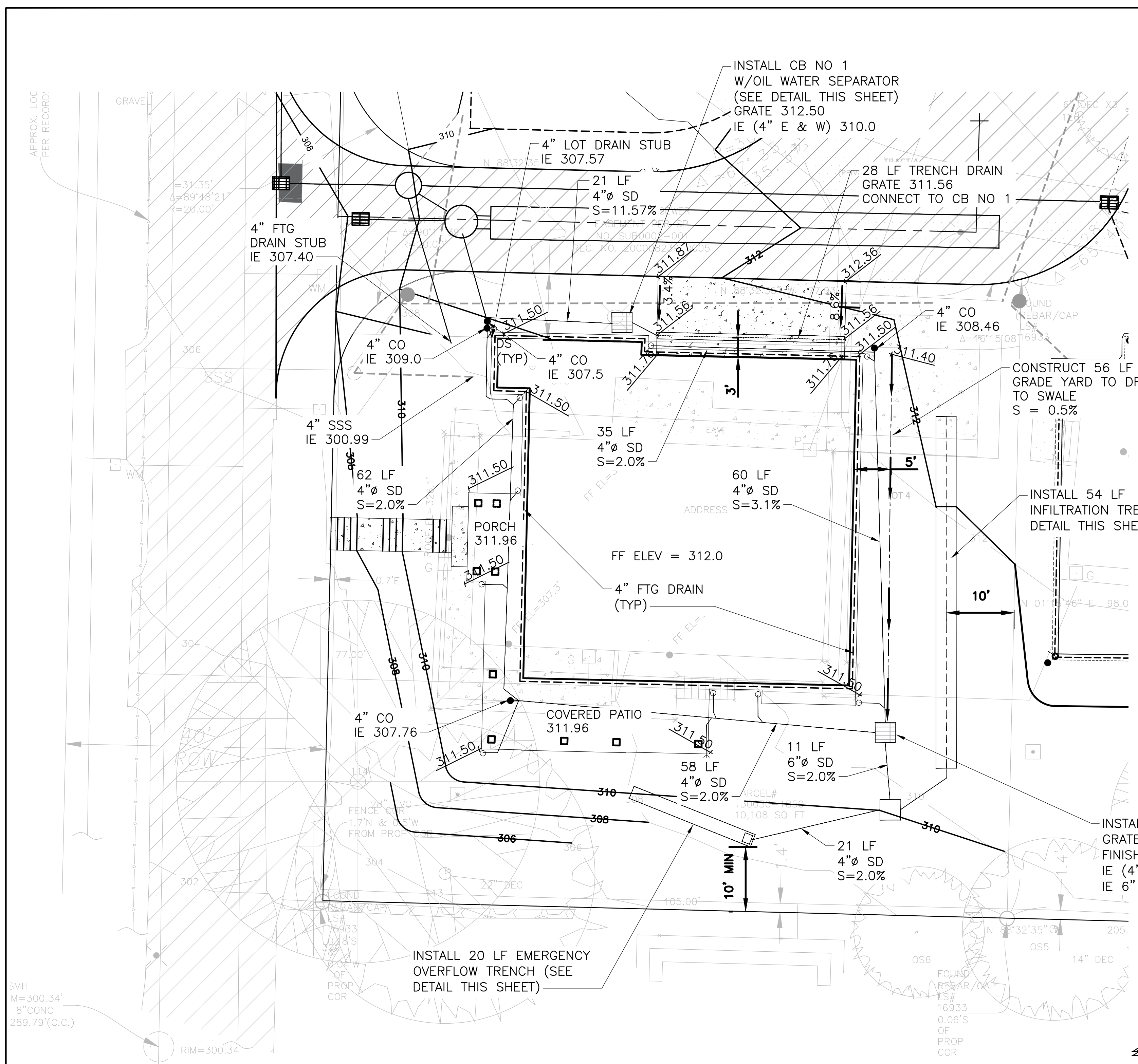
15020 S.E. 46TH STREET
BELLEVUE, WA 98006
TEL: 425-753-4307

COVER SHEET
PROPOSED RESIDENCE
3406 72nd PLACE S.E.
MERCER ISLAND, WA

DATE: AUGUST 2020 PROJECT: SCALE: NA

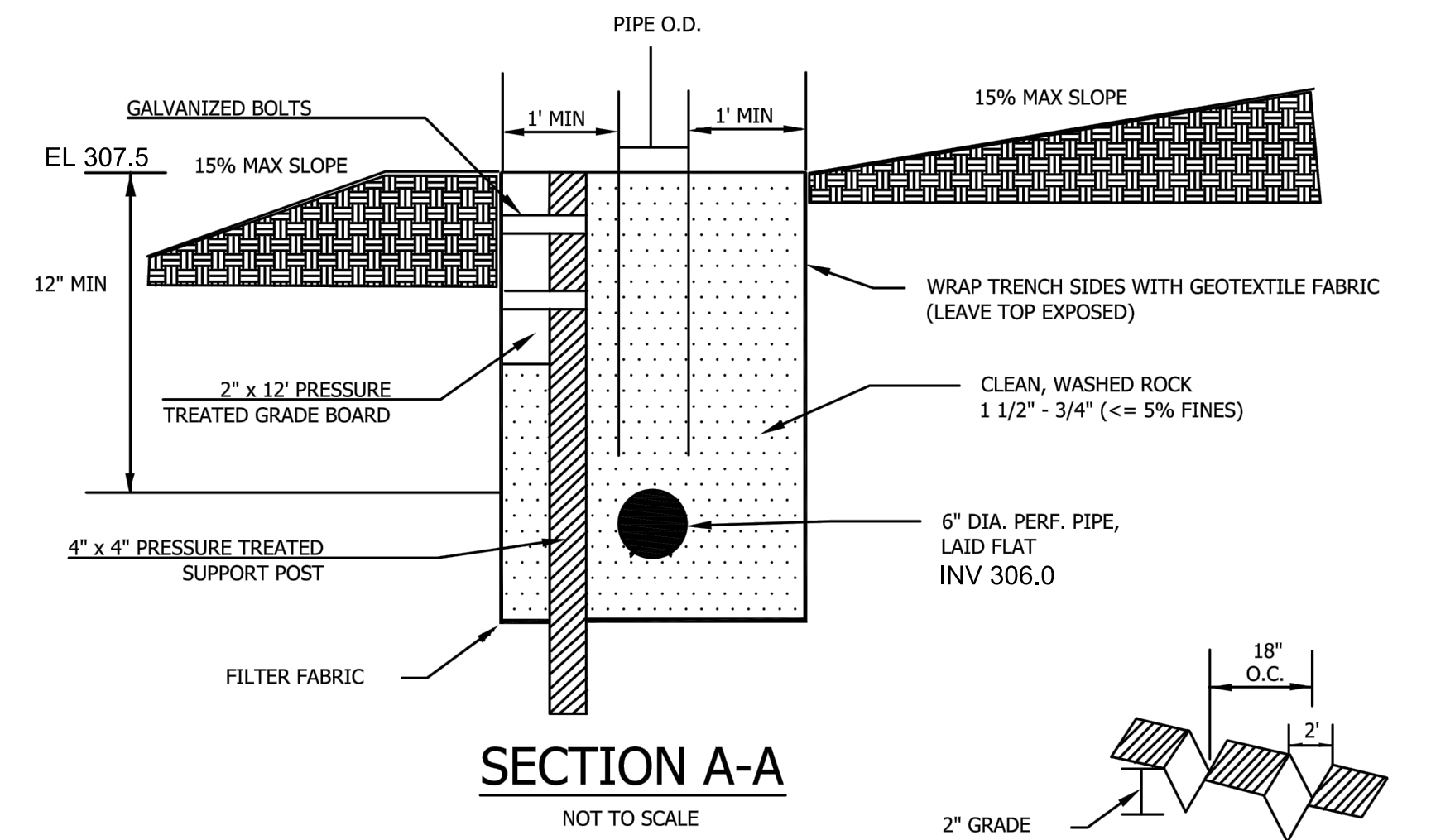
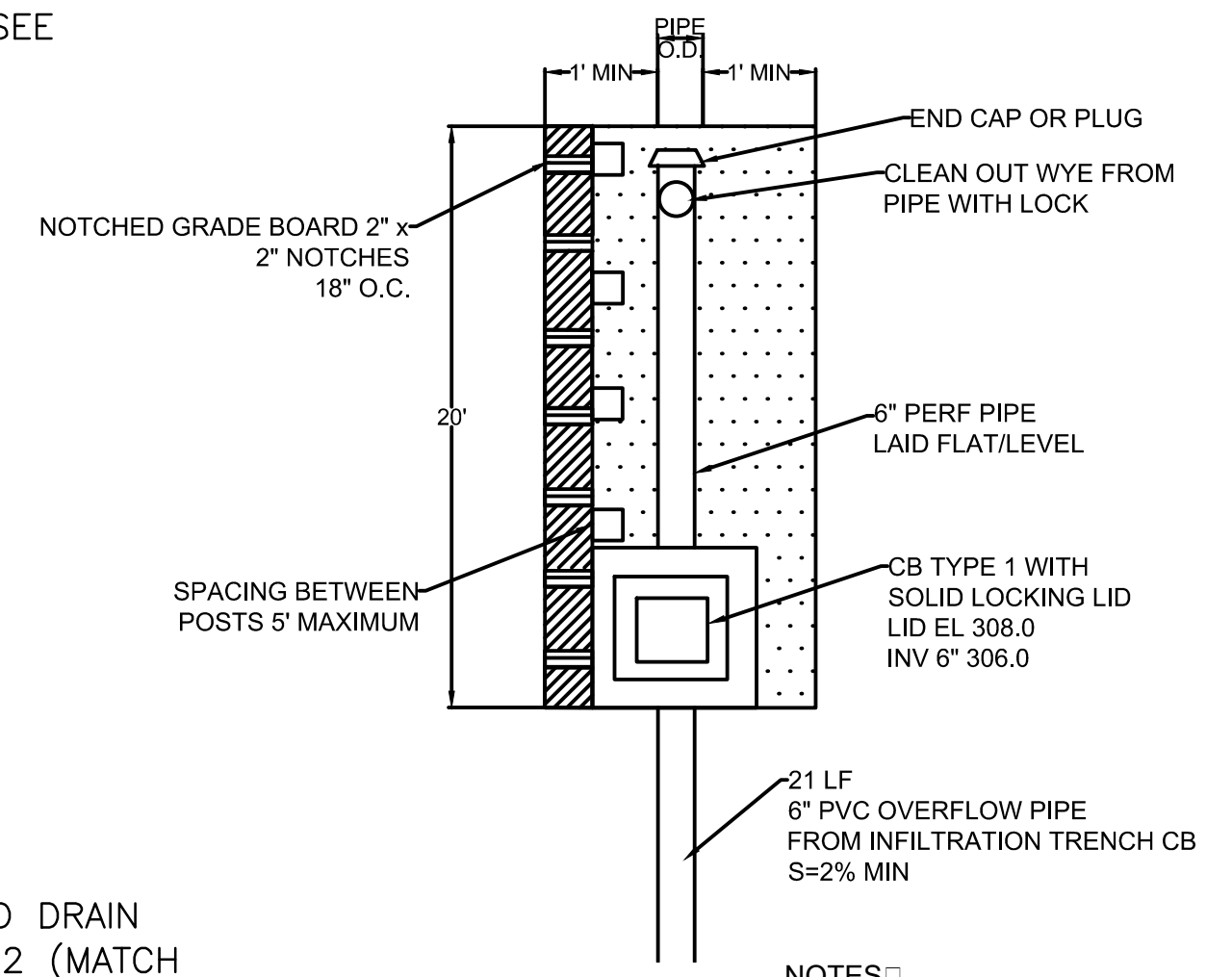
SHEET 1 OF 6

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.
Call before you Dig
1-800-424-5555
UNDERGROUND SERVICE USA



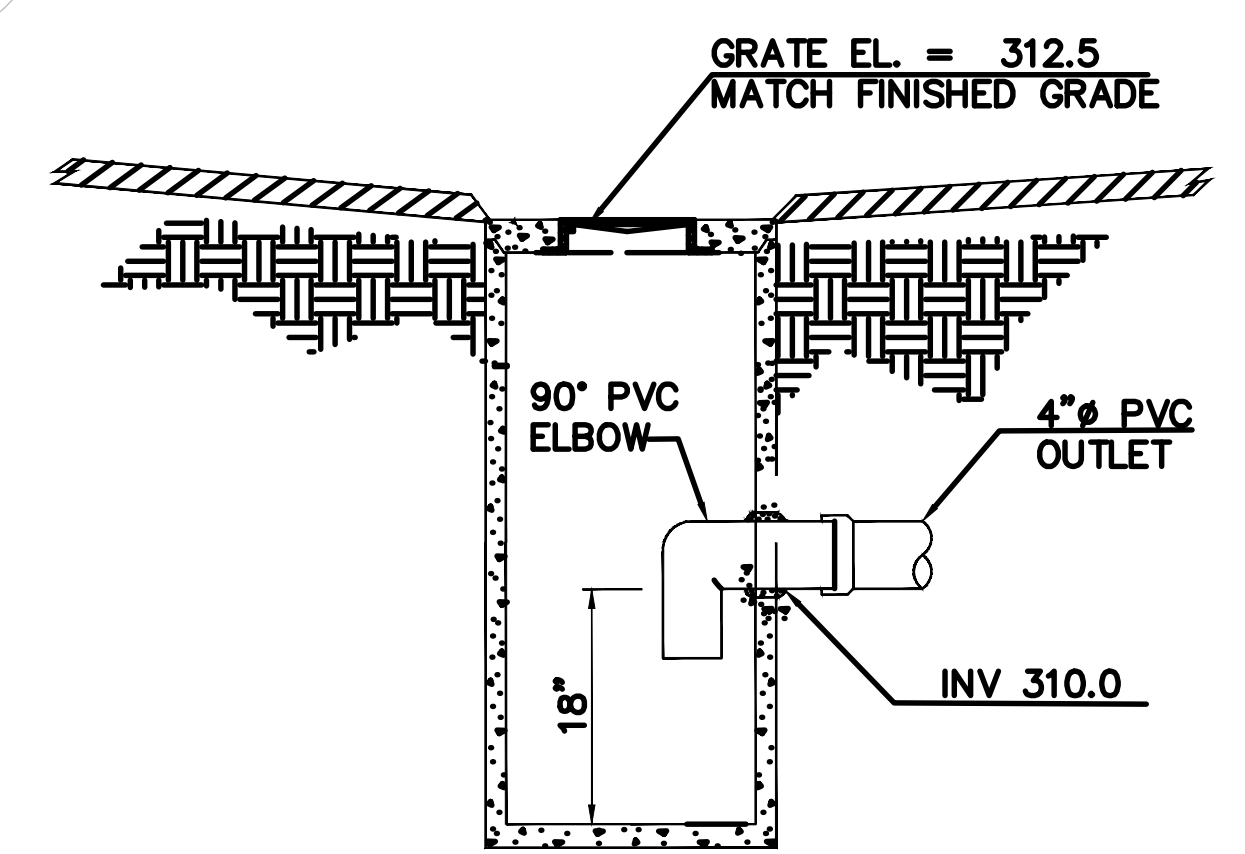
NOTES:
 1. MAINTAIN MINIMUM CLEARANCE FROM BUILDING FOUNDATION.

INFILTRATION TRENCH DETAIL
 NTS

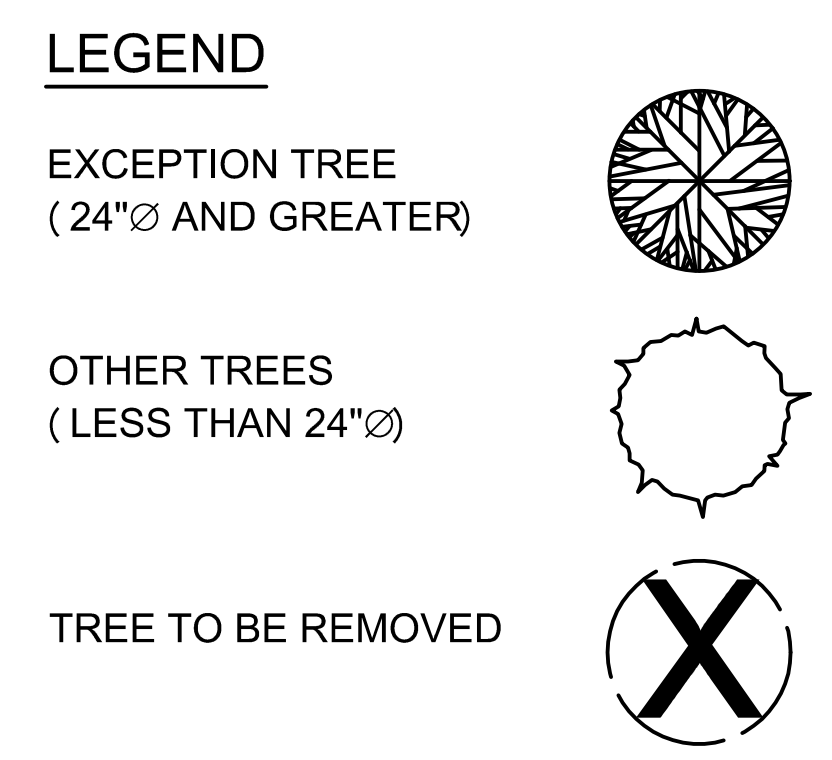


NOTES:
 1. MAINTAIN MINIMUM CLEARANCE FROM BUILDING FOUNDATION.
 2. THIS TRENCH SHALL BE CONSTRUCTED SO AS TO PREVENT POINT DISCHARGE AND EROSION.
 3. TRENCH AND GRADE BOARD MUST BE LEVEL ALONG TO FOLLOW CONTOURS OF SITE.
 4. SUPPORT POST SPACING AS REQUIRED BY SOIL CONDITIONS TO ENSURE GRADE BOARD REMAINS LEVEL.
 5. CLEAN AND CLEAN OUT MUST BE 6" ABOVE THE TOP OF THE DISPERSION TRENCH.

EMERGENCY OVERFLOW TRENCH DETAIL
 NTS



TYPICAL C.B. NO 1, 17" X 17"
 WITH OIL SEPARATOR ELBOW



NOTE: ALL ROOF DRAINAGE WILL BE COLLECTED AND TIGHTLINED TO THE STORM DRAIN SYSTEM.

Installation of concrete driveways, trees, shrubs, irrigation, boulders, berms, walls, gates, and other improvements are NOT allowed in Public Right of Way without PRIOR approval, and an Encroachment Agreement and Right of Way permit from Senior Development Engineer.

WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.

CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1-800-424-5555.

REMEMBER: Erosion control is your FIRST inspection.

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY!
Call before you Dig
 1-800-424-5555
 UNDERGROUND SERVICE ORGANIZATION

BY	DATE	APPR	DRN	REVISION

CONTACT: RKK CONSTRUCTION
 3056 70th Avenue S.E.
 MERCER ISLAND, WA 98040
 TEL: 206-236-2920

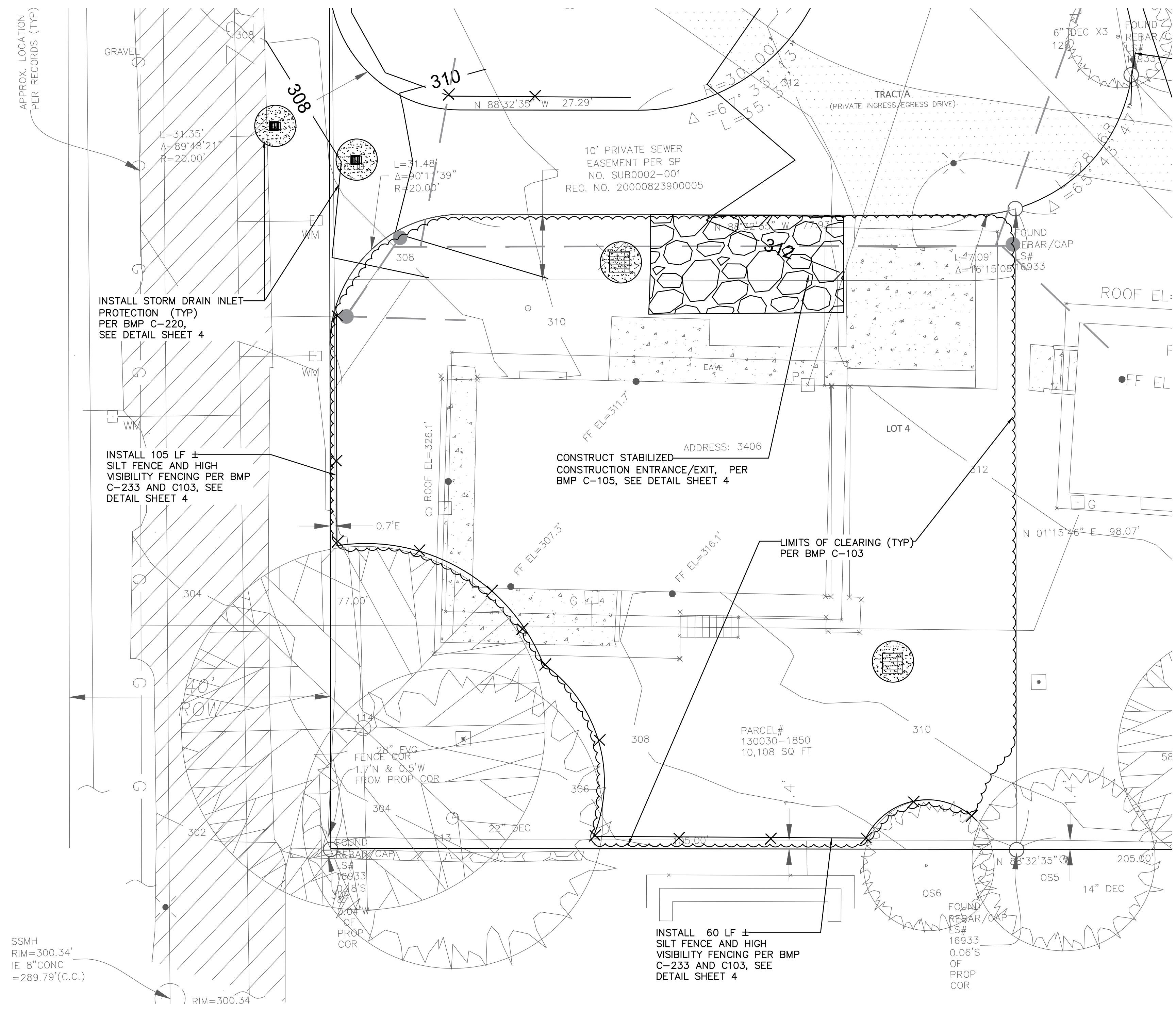
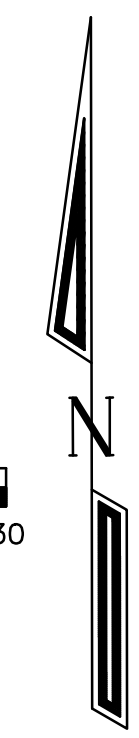
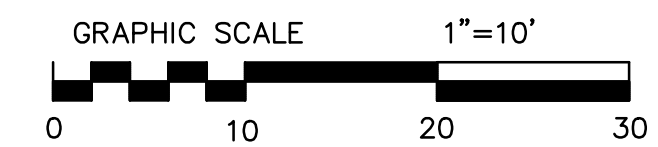
DRN DSGN CHKD

DARLA GUERRERO, P.E.

15020 S.E. 46TH STREET
 BELLEVUE, WA 98006
 TEL: 425-753-4307

DRAINAGE PLAN
PROPOSED RESIDENCE
 3406 72nd PLACE S.E.
 MERCER ISLAND, WA

DATE: AUGUST 2020 PROJECT: SCALE: 1" = 10'



WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.

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Call before you Dig
 1-800-424-5555
 UNDERGROUND SERVICE (USA)

BY	DATE	APPR	DRN	REVISION

CONTACT: RKK CONSTRUCTION
 3056 70th Avenue S.E.
 MERCER ISLAND, WA 98040
 TEL: 206-236-2920

DRN DSGN CHKD

DARLA GUERRERO, P.E.

15020 S.E. 46TH STREET
 BELLEVUE, WA 98006
 TEL: 425-753-4307

TESC PLAN
 PROPOSED RESIDENCE
 3406 72nd PLACE S.E.
 MERCER ISLAND, WA

DATE: AUGUST 2020 PROJECT: SCALE: 1"=10'

SHEET **3**
 OF **6**

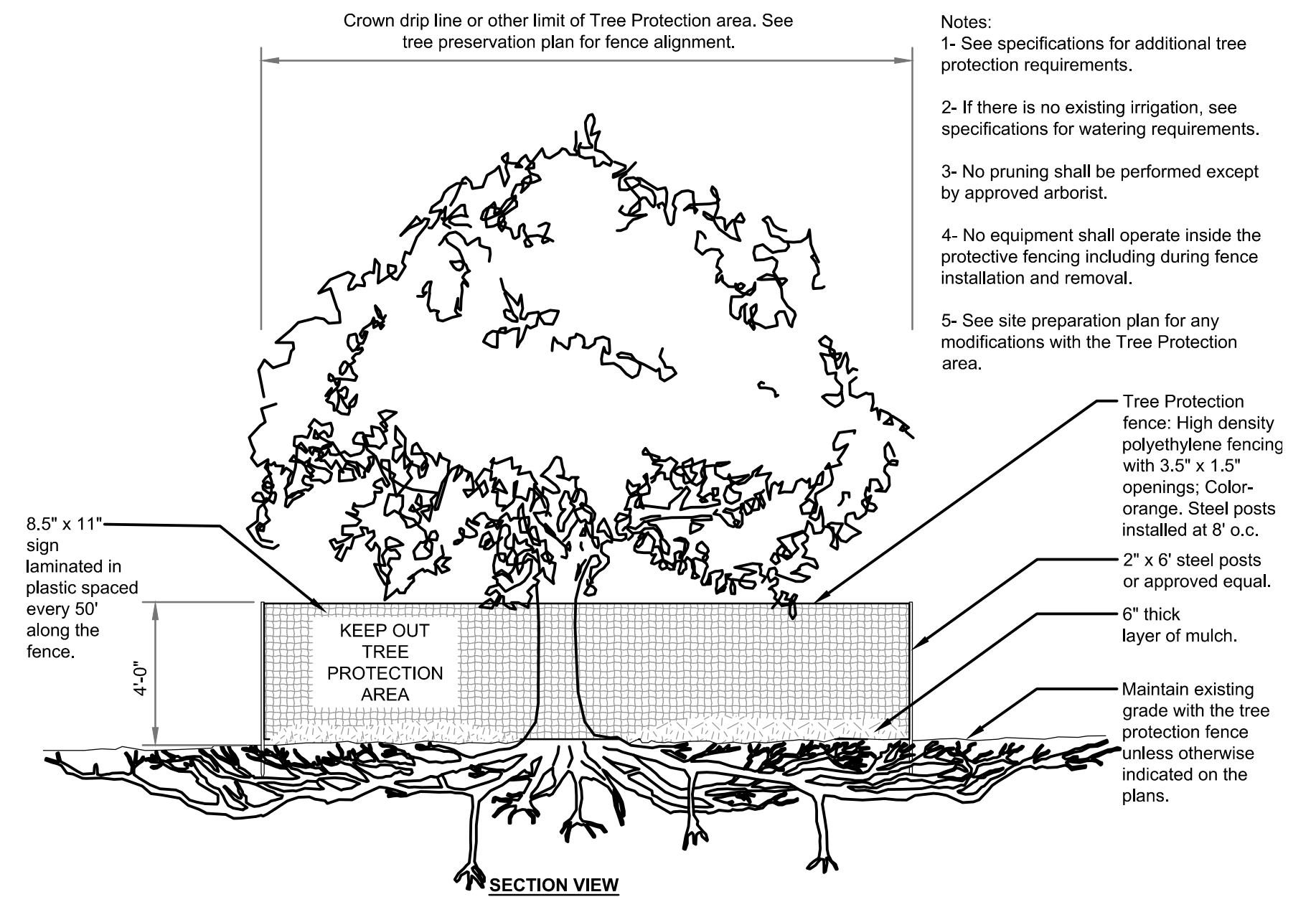
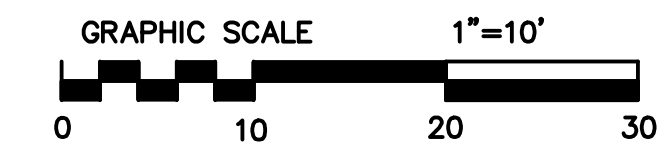


TREE PLAN
SCALE: 1" = 10'

EXCEPTIONAL TREE REMOVAL NOTE:

- TREE #124 IS AN EXCEPTIONAL TREE AND WILL BE REMOVED PER MICC 19.10.060.3.b - THE TREE WILL LIMIT THE CONSTRUCTIBLE GROSS FLOOR AREA TO LESS THAN 85% OF THE MAXIMUM FLOOR AREA. THE REPLACEMENT TREES ARE CALCULATED AS FOLLOWS:

1 (REMOVED EXCEPTIONAL TREE) x 6 (REPLACEMENT TREES) = 6
REPLACEMENT TREES WILL BE INSTALLED ON THE LOT.



TREE PROTECTION DETAIL
NTS

NOTES:

- EXCEPTIONAL TREES WILL REQUIRE CHAIN LINK FENCING.

LEGEND

- EXCEPTIONAL TREE (24"Ø AND GREATER)
- OTHER TREES (LESS THAN 24"Ø)
- TREE TO BE REMOVED
- TREE PROTECTION (LIMITS OF DISTURBANCE)

NOTES:

- ALL TREES NOT NEEDED TO BE REMOVED SHALL BE PROTECTED AND RETAINED.
- A MINIMUM OF 6" OF WOOD CHIPS ARE TO BE PLACED OVER THE ENTIRE PROTECTION AREA.
- EXCEPTIONAL TREES WILL NEED AIR EXCAVATION UNDER ARBORIST SUPERVISION TO DETERMINE FINAL LIMITS OF DISTURBANCE.

BY	DATE	APPR	DRN	REVISION

CONTACT: RKK CONSTRUCTION
3056 70th Avenue S.E.
MERCER ISLAND, WA 98040
TEL: 206-236-2920

DFN DSGN CHD

DARLA GUERRERO, P.E.

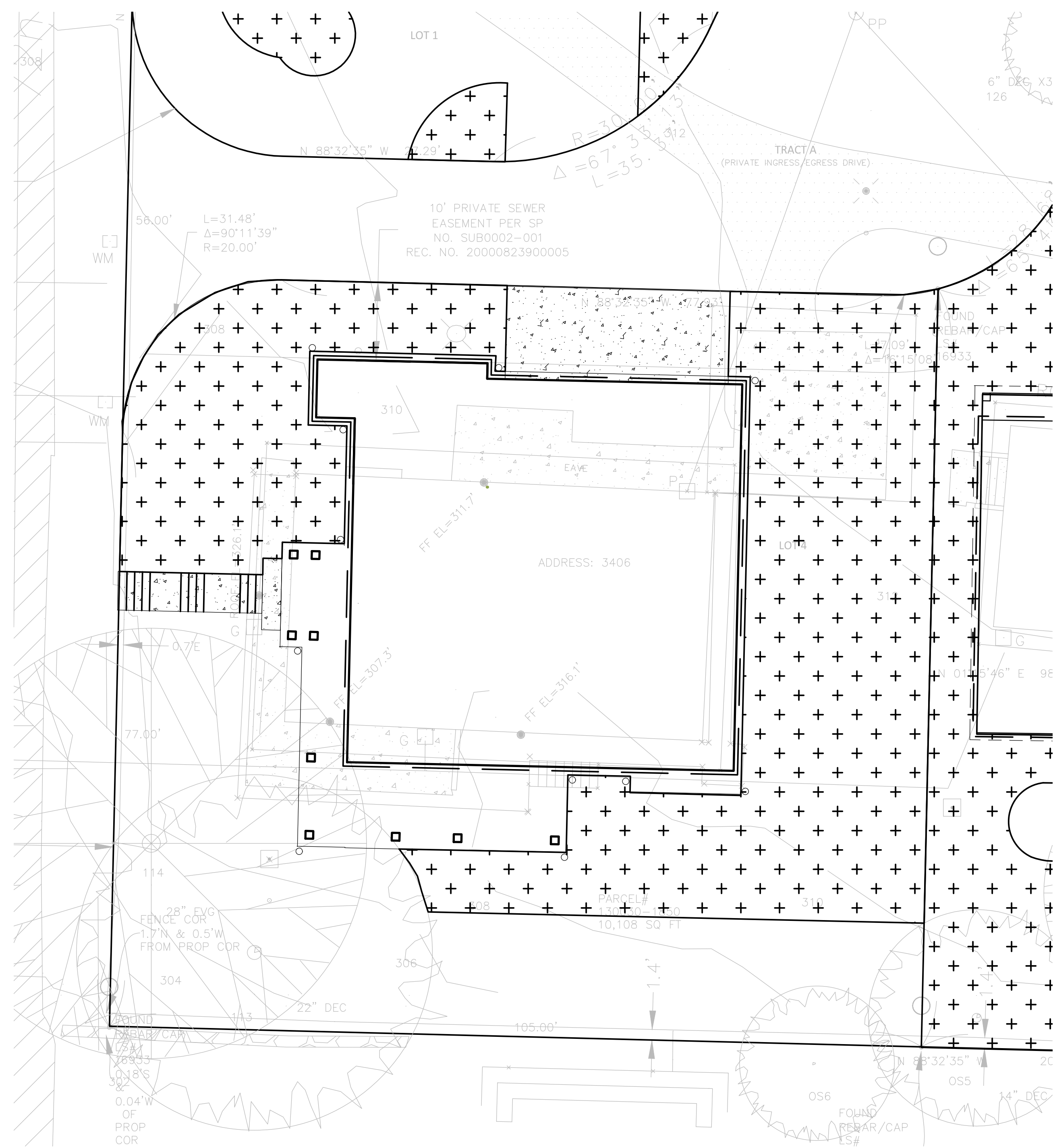
15020 S.E. 46TH STREET
BELLEVUE, WA 98006
TEL: 425-753-4307

TREE PLAN
PROPOSED RESIDENCES
3406 72nd PLACE S.E.
MERCER ISLAND, WA

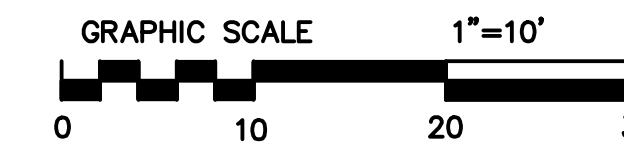
DATE: AUGUST 2020 PROJECT: SCALE: 1" = 10'

SHEET **5**
OF **6**

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.
Call before you Dig
1-800-424-5555
UNDERGROUND SERVICE (USA)



SOIL AMENDMENT PLAN
SCALE: 1" = 10'



NOTES:

- EXCAVATED SOIL MAY BE REUSED FOR SOIL AMENDMENT AND REDISTRIBUTED.
- WOOD CHIPS FROM TREE REMOVAL MAY BE USED TO COVER EXCAVATED AREAS DURING CONSTRUCTION, AND/OR POST CONSTRUCTION ON THE FOREST FLOOR (3" TO 4" THICK).
- THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

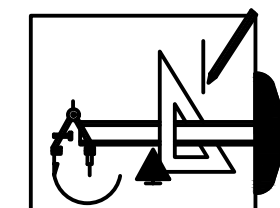
LEGEND	AREA
POST CONSTRUCTION SOIL AMENDMENT (8" LOOSE SOIL, 2" TO 4" MULCH)	2,800 SF
LAWN	3,865 SF

BY	DATE	APPR	DRN	REVISION

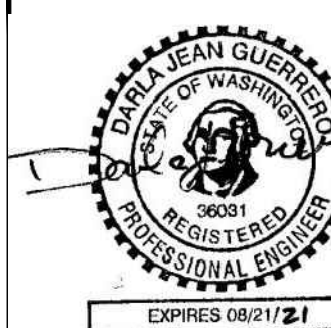
CONTACT: RKK CONSTRUCTION
3056 70th Avenue S.E.
MERCER ISLAND, WA 98040
TEL: 206-236-2920

DRN DSGN CHD

DARLA GUERRERO, P.E.



15020 S.E. 46TH STREET
BELLEVUE, WA 98006
TEL: 425-753-4307



SOIL AMENDMENT PLAN
PROPOSED RESIDENCE
3406 72nd PLACE S.E.
MERCER ISLAND, WA

DATE: AUGUST 2020 PROJECT: SCALE: 1" = 10'

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UNDERGROUND SERVICE (USA)

SHEET **6**
OF **6**

BUILDING CODE: 2015 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC), AND BY REFERENCE, THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED BY LOCAL JURISDICTION.
ROOF LIVE LOAD = 25 PSF SNOW (GROUND SNOW = 30 PSF)
ROOF DEAD LOAD = 15 PSF
FLOOR LIVE LOAD = 40 PSF (30 PSF AT SLEEPING AREAS)
FLOOR DEAD LOAD = 15 PSF
BALCONIES & DECKS = 60 PSF (LIVE LOAD) + 10 PSF (DEAD LOAD)
WIND SPEED (ULTIMATE / 3 SEC GUST) = 10 MPH (NOMINAL WIND SPEED = 85 MPH) FOR RISK CATEGORY II, EXPOSURE 'C', Kz1=1.65
SOIL SITE CLASS 'D', SEISMIC CATEGORY D/IV2, Ss=1.395, Sds=0.330
OCCUPANCY GROUP: R-3 CONSTRUCTION TYPE V-B

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO ARCHITECT AND/OR ENGINEER OF RECORD FOR RESOLUTION PRIOR TO COMMENCING WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. ARCHITECT AND/OR ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

DEFERRED SUBMITTAL ITEMS

THE FOLLOWING IS A LIST OF ITEMS THAT ARE NOT INCLUDED IN THIS PLAN AND SHOULD BE PROVIDED BY THE BUILDER AT TIME OF APPLICATION FOR PERMIT OR AS A DEFERRED SUBMITTAL ITEM:
 - ALTERNATIVE 1-JOIST-BEAM MANUFACTURER PLANS.
 - MANUFACTURED TRUSS DESIGNS AND LAYOUTS

GENERAL

FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING OF 1500 PSF. EXTERIOR FOOTINGS SHALL BEAR 12" (MINIMUM) BELOW FINISHED GRADE. ALL FOOTINGS TO BEAR ON FIRM AND UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS. BACKFILL TO BE THOROUGHLY COMPACTED.
 BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH 0.225"x3"x3" PLATE WASHERS. WOOD BEARING ON OR INSTALLED WITHIN 1" OF MASONRY OR CONCRETE TO BE PRESURE TREATED WITH AN APPROVED PRESERVATIVE.
 FOUNDATION SILL BOLTS (MIN. EMBED) TO BE 5/8" DIAMETER AT 6'-0" O.C. (4'-0" AT BUILDINGS OVER 2 STORIES) UNO. METAL FRAMING CONNECTORS TO BE MANUFACTURED BY SIMPSON STRONG-TIE OR USF STEEL CONNECTORS

CONCRETE

MINIMUM COMPRESSIVE STRENGTH OF CONCRETE:

TYPE OR LOCATIONS OF CONCRETE CONSTRUCTION	MINIMUM COMPRESSIVE STRENGTH (f'c) AT 28 DAYS	MODERATE WEATHERING POTENTIAL
BASEMENT WALLS, FOUNDATION FOOTINGS, BASEMENT SLABS, 4 INTERIOR SLABS ON GRADE (EXCEPT GARAGE) NOT EXPOSED TO THE WEATHER	2500 psi	
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS, PORCHES, STEPS, GARAGE & CARPORT SLABS, 4 OTHER CONCRETE WORK EXPOSED TO THE WEATHER	3,000 psi (6% air entrained +/- 1%)	

CONCRETE MIXTURE SHALL CONTAIN AT LEAST 5 1/2 BAGS OF CEMENT PER CUBIC YARD. CONCRETE "BATCH TICKET" SHALL BE AVAILABLE ON SITE FOR REVIEW BY BUILDING OFFICIAL. VERTICAL REINFORCING STEEL TO COMPLY WITH ASTM A615 GRADE 40 (GRADE 60 AT WALLS RETAINING MORE THAN 4FT OF SOIL)

CARPENTRY

GENERAL

ALL NAILING TO COMPLY WITH REQUIREMENTS OF IRC TABLE R602.3(1) AND/OR IBC TABLE 2304.10.1. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESURE TREATED. FIELD CUT ENDS, NOTCHES, AND DRILLED HOLES OF PRESURE TREATED LUMBER SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4. PER IRC 319.3, FASTENERS FOR PRESURE PRESERVATIVE AND FIRE RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.
 6" MIN. CLEARANCE BETWEEN WOOD AND EARTH.
 12" MIN. CLEARANCE BETWEEN FLOOR BEAMS AND EARTH.
 18" MIN. CLEARANCE BETWEEN FLOOR JOIST AND EARTH.

FASTENER DIMENSIONS

ALL NAILS SPECIFIED ON THIS PLAN SHALL BE OF THE DIAMETER AND LENGTH LISTED BELOW OR AS PER APPENDIX L OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (ND9).
 8d COMMON (0.131" DIA, 2-1/2" LENGTH), 8d BOX (0.131" DIA, 2-1/2" LONG), 10d COMMON (0.148" DIA, 3" LONG), 10d BOX (0.148" DIA, 3" LONG), 16d COMMON (0.162" DIA, 3-1/2" LONG), 16d SINKER (0.148" DIA, 3-1/4" LONG), 6d COOLER (0.086" DIA, 1-5/8" LONG), 6d COOLER (0.092" DIA, 1-7/8" LONG)

LUMBER GRADES

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF THE WESTERN PRODUCTS ASSOCIATION OR THE CHESTNUT LUMBER INSPECTION BUREAU. ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY AND SHALL HAVE THE FOLLOWING UNADJUSTED MINIMUM DESIGN PROPERTIES, UNLESS NOTED OTHERWISE.

JOISTS:	WOOD TYPE:
2X4 to 2X8	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
2X10 OR LARGER	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
BEAM	WOOD TYPE:
4X	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
6X OR LARGER	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
STUDS	WOOD TYPE:
2X4 & 2X6	DF-5TD - Fc=1700 psi, Fv=180 psi, Fc=850 psi, E=1400000 psi
2X8 OR LARGER	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
POSTS	WOOD TYPE:
4X4	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
4X6	DF-L #2 - Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000 psi
6X OR LARGER	DF-L #1 - Fc=1200 psi, Fv=170 psi, Fc=1000 psi, E=1600000 psi

GLUED-LAMINATED BEAM (GLB)

SHALL BE 24F-V4 FOR SINGLE SPANS & 24F-V8 FOR CONTINUOUS OR CANTILEVER SPANS WITH THE FOLLOWING MINIMUM PROPERTIES:
 Fc = 2,400 PSI, Fv = 165 PSI, Fc = 650 PSI (PERPENDICULAR), E = 1,800,000 PSI.

ENGINEERED WOOD BEAMS AND 1-JOIST

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR APPROVAL BY BUILDING OFFICIAL, DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST ICC EVALUATION REPORT.

BEAMS DESIGNATED AS "LSL" SHALL HAVE THE MINIMUM PROPERTIES:
 Fc = 2,325 PSI, Fv = 310 PSI, Fc = 800 PSI (PERPENDICULAR), E = 1,950,000 PSI.

BEAMS DESIGNATED AS "LVL" SHALL HAVE THE MINIMUM PROPERTIES:
 Fc = 2,600 PSI, Fv = 285 PSI, Fc = 750 PSI (PERPENDICULAR), E = 1,900,000 PSI.

BEAMS DESIGNATED AS "EBL" SHALL HAVE THE MINIMUM PROPERTIES:
 Fc = 2,900 PSI, Fv = 290 PSI, Fc = 750 PSI (PERPENDICULAR), E = 2,000,000 PSI.

CALCULATIONS SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS. DEFLECTION SHALL BE LIMITED AS FOLLOWS:
 FLOOR LIVE LOAD MAXIMUM = L/480, FLOOR TOTAL LOAD MAXIMUM = L/240.

PREFABRICATED WOOD TRUSSES

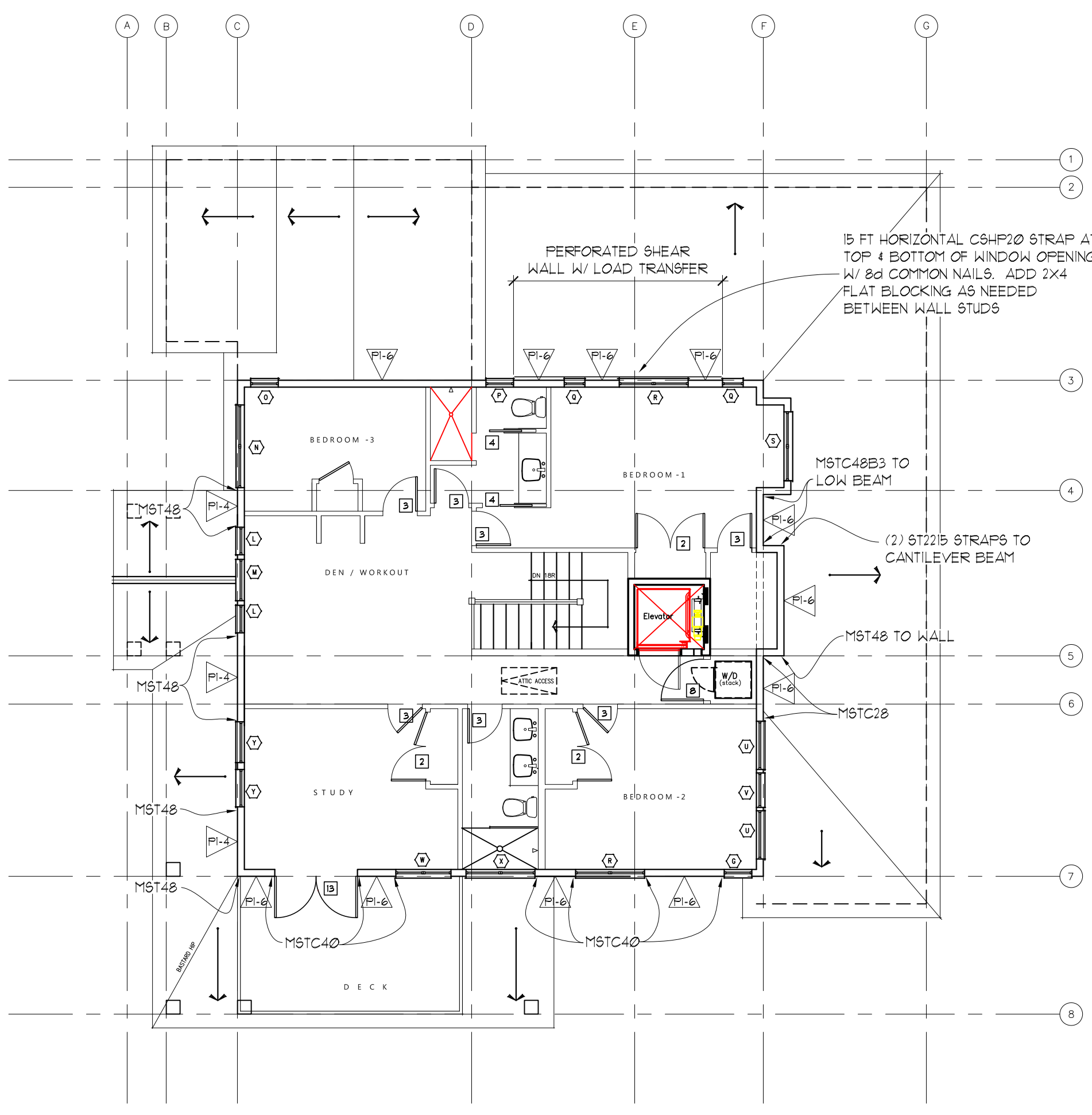
PRE-FABRICATED WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUS LIVE LOADS & IMPOSED DEAD LOADS AS STATED IN THE GENERAL NOTES. TRUSSES SHALL BE DESIGNED & STAMPED BY A REGISTERED DESIGN PROFESSIONAL AND FABRICATED ONLY FROM THOSE DESIGNS. NON-BEARING WALLS SHALL BE HELD AWAY FROM THE TRUSS BOTTOM CHORD W/ AN APPROVED FASTENER (SUCH AS SIMPSON STC) TO ENSURE THAT THE TRUSS BOTTOM CHORD DOES NOT BEAR ON THE WALL. ALL PERMANENT TRUSS MEMBER BRACING SHALL BE INSTALLED PER THE TRUSS DESIGN DRAWINGS.

ROOF/WALL/FLOOR SHEATHING

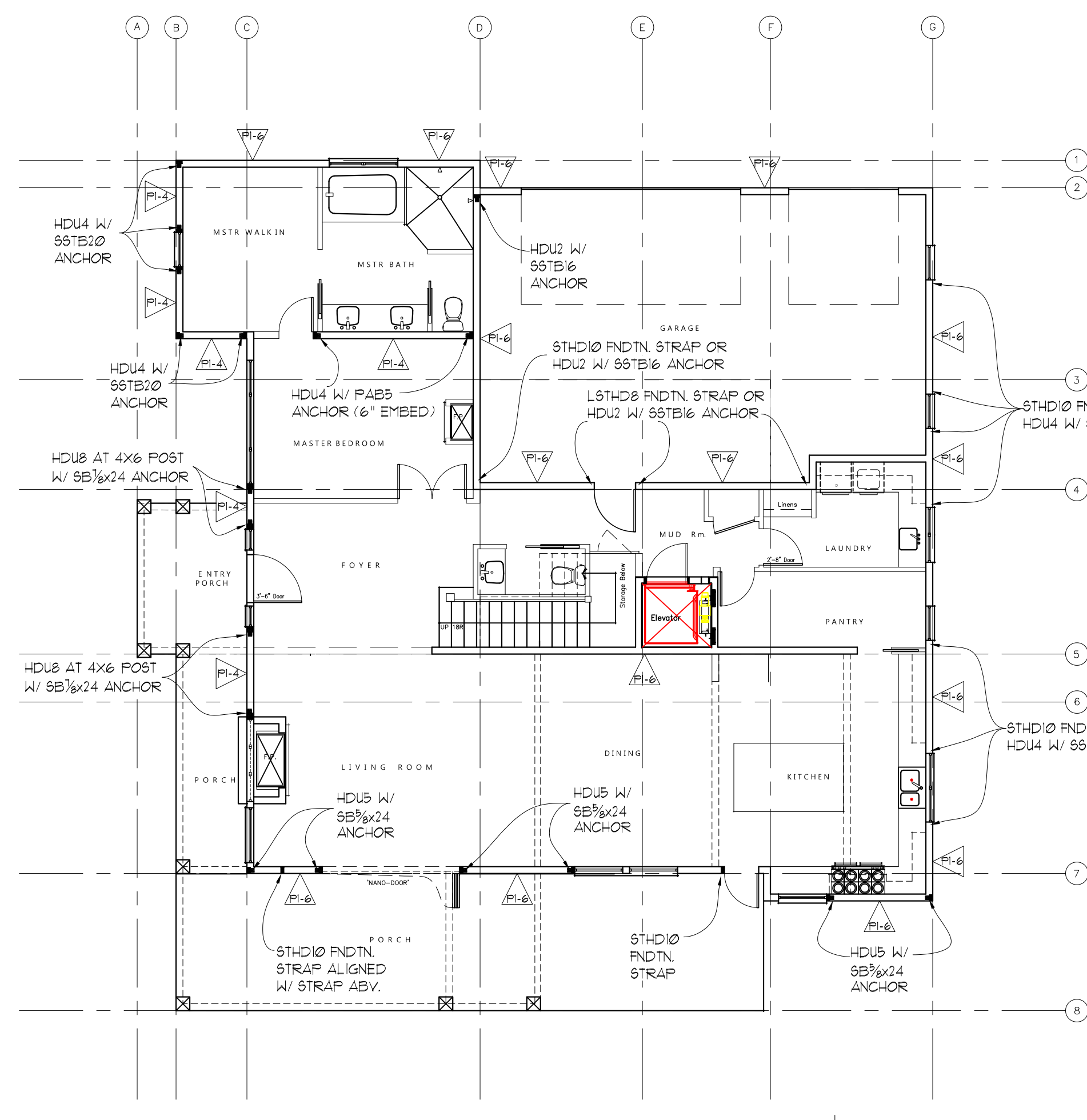
ROOF SHEATHING SHALL BE MINIMUM 5/8" SHEATHING W/ 3/4" SPAN INDEX UNO. WALL SHEATHING, INCLUDING GABLES, SHALL BE 5/8" SHEATHING W/ 3/4" SPAN INDEX MINIMUM UNO. FLOOR SHEATHING SHALL BE MINIMUM 5/8" 1/4" SHEATHING W/ 48" SPAN INDEX MINIMUM UNO. MINIMUM NAILING SHALL BE 8d COMMON NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. IN PANEL FIELD UNO. ON SHEAR WALL SCHEDULE. ROOF AND FLOOR SHEATHING SHALL BE LAID OUT W/ LONG DIMENSION PERPENDICULAR TO FRAMING MEMBERS W/ END LAPS STAGGERED. WALL SHEATHING, INCLUDING GABLES, SHALL BE FULLY BLOCKED & EDGE NAILED AT ALL UNSUPPORTED SHEATHING PANEL EDGES.

STAIR FRAMING

UNLESS NOTED OTHERWISE SPECIFIED, TYPICAL STAIR FRAMING SHALL CONSIST OF 2X12 STAIR STRINGERS SPACED AT NO MORE THAN 16" O.C. AND REINFORCED W/ 2X6 SCABS ATTACHED W/ 10d COMMON NAILS STAGGERED AT 8" O.C. STRINGERS SHALL BE SUPPORTED AT UPPER END BY BEARING ON TOP PLATE OF WALL OR APPROVED CONNECTOR TO FLOOR BEAM SUCH AS SIMPSON LRU OR LSC. LANDINGS SHALL CONSIST OF CONVENTIONAL PLATFORM FRAMING W/ MINIMUM 2X6 JOISTS @ 16" O.C.



UPPER FLOOR SHEAR WALL KEY PLAN
SCALE: 1/8"=1'-0"

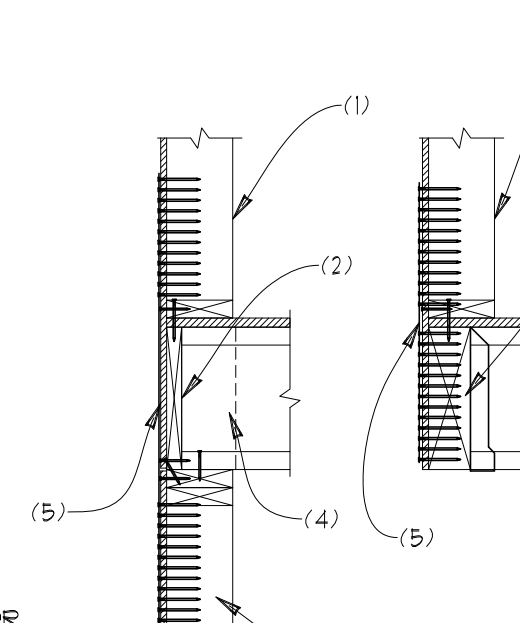


MAIN FLOOR SHEAR WALL KEY PLAN
SCALE: 1/8"=1'-0"

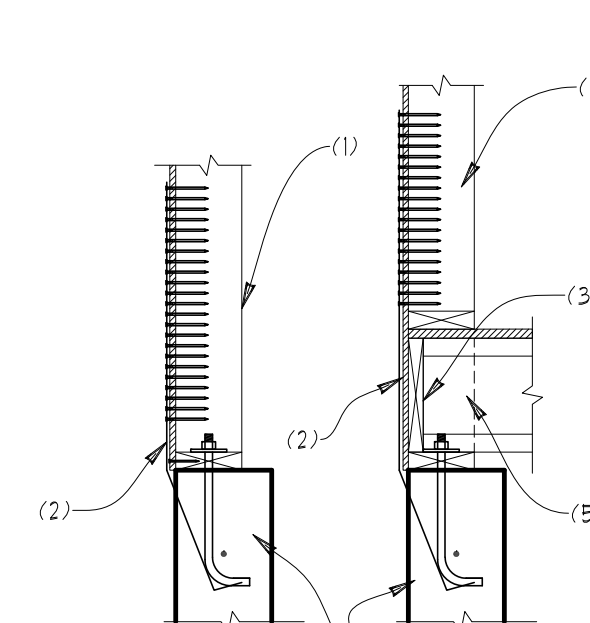
WALL MARK	SHEATHING THICKNESS	SIDES	SHEAR PANEL EDGE NAILING	FIELD NAILING	FRAMING @ ABUTTING PANEL EDGES	SOLE/BASE PLATE NAILING TO JOIST OR BLKGRM BELOW	ANCHOR BOLT DIA. & SPACING	SILL PLATE SIZE	POST AT ENDS OF SHEAR WALL / HOLDOWN UNO.
PI-6	1/4"	ONE	8d @ 6" O.C.	12" O.C.	2X	16d SINKER NAILS (0.148"x3/4") @ 6" O.C.	5/8" DIA. @ 48" O.C.	2X	(2) 2X POST (FACE NAIL W/ 10d (0.131"x3") NAILS @ 12" O.C. (STAGGER)
PI-4	1/4"	ONE	8d @ 4" O.C.	12" O.C.	2X	16d SINKER NAILS (0.148"x3/4") @ 4" O.C.	5/8" DIA. @ 36" O.C.	2X	(2) 2X POST (FACE NAIL W/ 10d (0.131"x3") NAILS @ 12" O.C. (STAGGER)

- FRAMING SHALL BE 2X HEM-FIR @ 16" O.C. MAX UNLESS NOTED OTHERWISE IN SCHEDULE.
- SHEATHING PANELS MAY BE LAYED VERTICAL OR HORIZONTAL. BLOCK ALL HORIZONTAL EDGES W/ 2X OR 3X BLOCKING PER SCHEDULE (UNO).
- ALL EXTERIOR WALLS NOT DESIGNATED AS SHEARWALLS SHALL RECEIVE APA RATED SHEATHING OR ALL VENEER PLYWOOD SIDING OF EQUIVALENT THICKNESS AT POINT OF FASTENING ON PANEL EDGES FULLY BLOCKED WITH MINIMUM NAILING OF 8d @ 6" O.C. EDGE, 12" O.C. FIELD.
- NAILING APPLIES TO ALL STUDS, TOP AND BOTTOM PLATES, AND BLOCKING. PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED.
- ANCHOR BOLT SPACING IS 6'-0" O.C. (4'-0" AT BUILDINGS OVER 2 STORIES) UNLESS NOTED OTHERWISE IN SCHEDULE. MINIMUM OF 2 ANCHOR BOLTS PER PIECE OF FOUNDATION PLATE. ANCHOR BOLTS SPACED NO GREATER THAN 12" AND NO LESS THAN 1 TIMES THE ANCHOR BOLT DIAMETER AT ENDS AND SPICES. PROVIDE 0.225"x3"x3" WASHERS AT ANCHOR BOLTS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE SHEATHED EDGE OF THE SILL PLATE ON WALLS W/ EDGE NAILING AT 4" O.C. OR TIGHTER. DO NOT RECESS BOLTS.
- ALL NAILS FOR SHEAR WALLS SHALL BE COMMON OR GALVANIZED BOX NAILS (UNO). ALL SPECIFIED NAILS SHALL HAVE THE FOLLOWING DIMENSIONS: 8d COMMON (0.131" DIA, 2 1/2" LONG); 8d BOX (0.131" DIA, 2 1/2" LONG); 10d COMMON (0.148" DIA, 3" LONG); 10d BOX (0.148" DIA, 3" LONG); 16d COMMON (0.162" DIA, 3 1/2" LONG); 16d SINKER (0.148" DIA, 3 1/4" LONG); 6d COOLER (0.086" DIA, 1 5/8" LONG); 6d COOLER (0.092" DIA, 1 7/8" LONG).

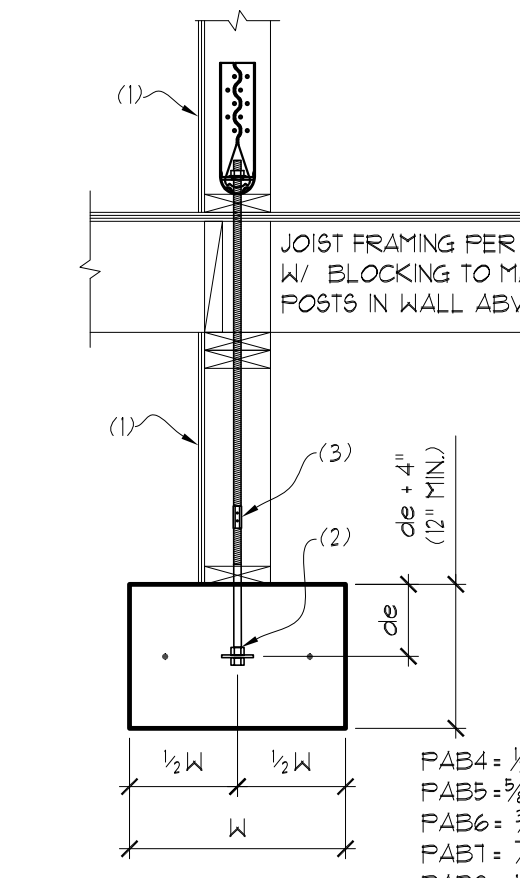
PERFORATED SHEAR WALLS: CONTINUE SHEAR WALL SHEATHING ABOVE AND BELOW ALL OPENINGS BETWEEN FULL HEIGHT WALL SEGMENTS WITH NAILING AS SHOWN IN SHEAR WALL SCHEDULE. ANY INCREASE TO HEIGHT OR WIDTH OF WINDOW OPENING MUST BE APPROVED BY ENGINEER OF RECORD.



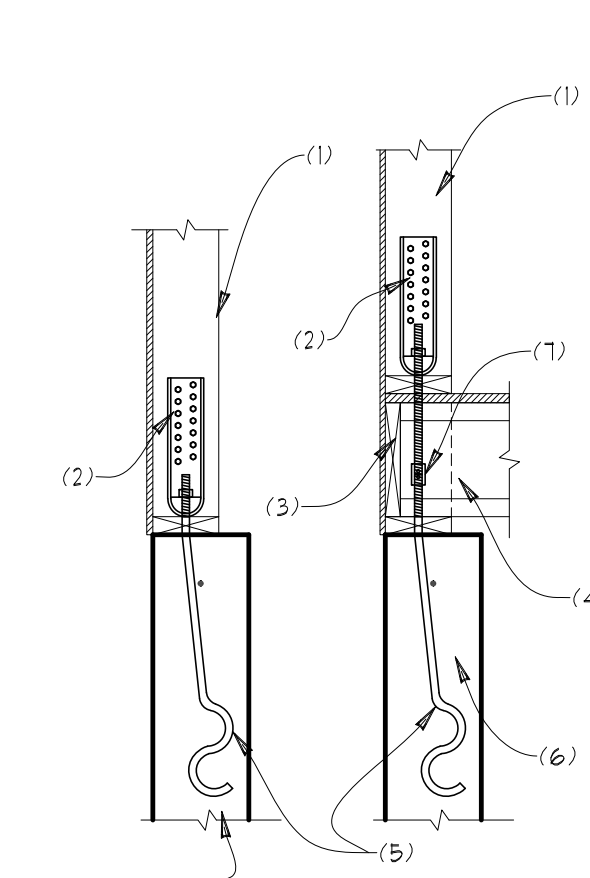
H1 TYPICAL STRAP TIE @ UPPER FLOORS
SCALE: 3/4"=1'



H2 TYPICAL STRAP TIE HOLDOWN
SCALE: 3/4"=1'



H3 TYPICAL FAB ANCHOR BOLT
SCALE: 3/4"=1'



H4 TYPICAL ANCHOR BOLT HOLDOWN
SCALE: 3/4"=1'

STRUCTURAL PLANS

LOT 4 - WALIA
3406 72nd PLACE SE
MERCER ISLAND, WA

Myers Engineering, LLC
 3206 50th Street Ct NW, Ste. 210-B
 Gig Harbor, WA 98335
 PH: 253-858-3248
 Email: myengineer@centurytel.net

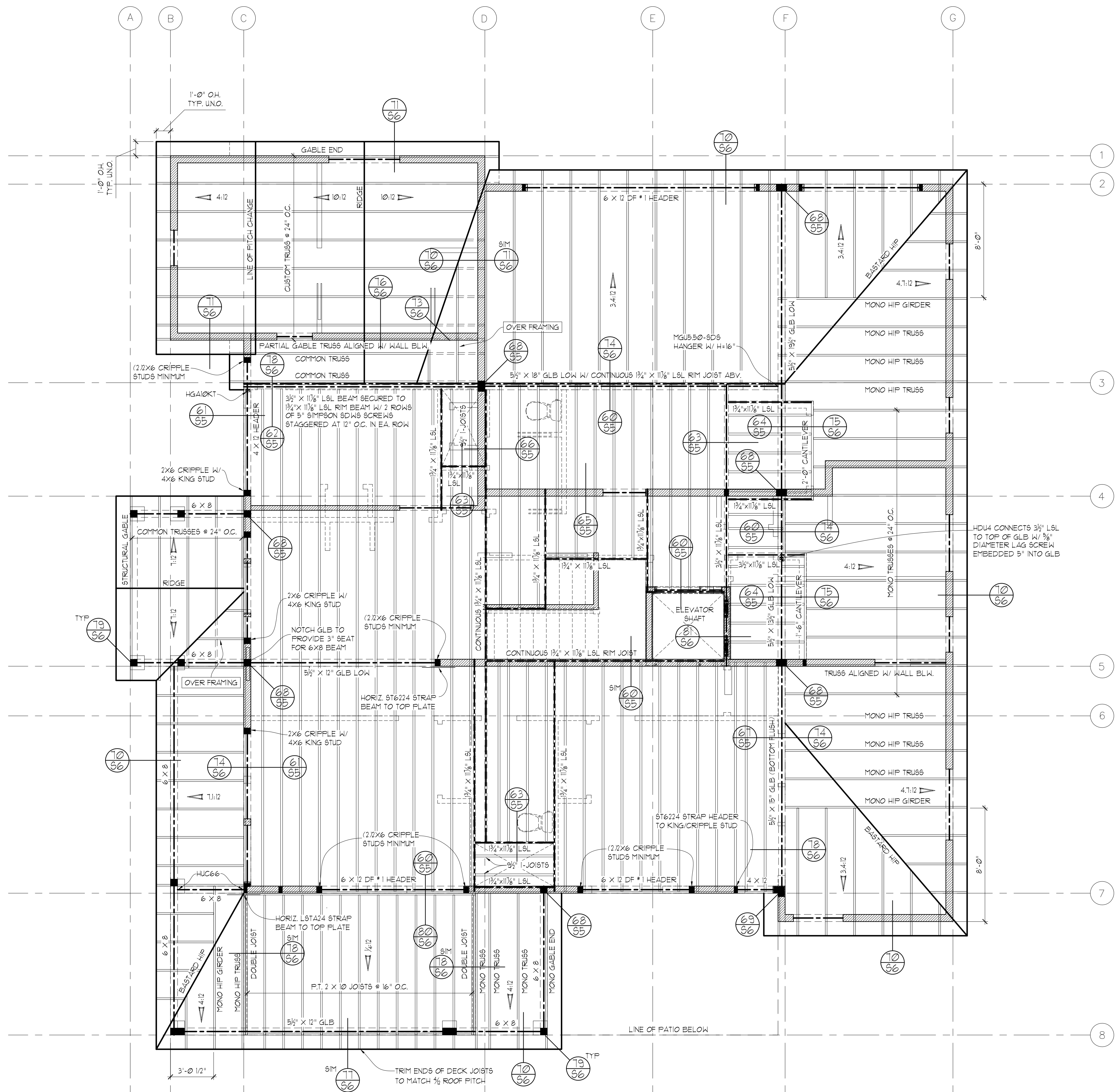


BUILDING DEPT. APPROVAL STAMPS:

REVISION DATE:	INITI:	PROJECT #:

DATE:	INITI:	PROJECT #:
8-3-2020	MM	2301

S1



DROPPED FRAMING FOR FLUSH ENTRY SHOWERS:
 PROVIDE 2X6 LEDGERS 4 BLOCKING AROUND
 PERIMETER TO ACCEPT EDGE NAILING. SECURE
 2X6 TO PERIMETER FRAMING W/ 10d COMMON
 NAILS (Ø148"x3") STAGGERED AT 6" O.C.

UPPER FLOOR JOISTS SHALL BE:
 1 1/8" TJI 110 SERIES I-JOISTS @ 16" O.C.
 UNLESS NOTED OTHERWISE (U.N.O.)

UPPER FLOOR FRAMING PLAN

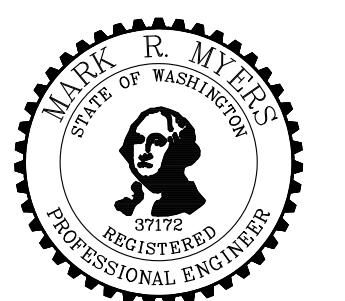
SCALE : 1/4" = 1'-0"

- SOFFIT, VENT, AND INSULATE ALL CANTILEVERED AREAS
- EXTERIOR WALLS TO BE 2X6 AT 16" O.C., U.N.O.
- ALL DOOR/WINDOW HEADERS AT THIS LEVEL TO BE 4X10 DF #2 AT BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- INTERIOR PARTITIONS TO BE 2X4 AT 16" O.C. (2X6 @ PLUMBING WALLS) U.N.O.
- PROVIDE SUPPLEMENTAL JOISTS/BLOCKING BELOW SHEAR WALLS AS INDICATED ON FRAMING PLAN
- HEADERS 8FT OR LONGER SHALL BE PROVIDED W/ (2) TRIMMER (JACK) STUDS AT EACH END U.N.O.
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS AND BEAMS AND PROVIDE MATCHING POSTS IN WALL BELOW
- IF AN ENGINEERED JOIST FLOOR FRAMING LAYOUT IS PROVIDED BY THE JOIST SUPPLIER, THAT JOIST LAYOUT SHALL SUPERCEDE THE JOIST LAYOUT INDICATED IN THE PLANS. PROVIDE I-JOIST LAYOUT AND SPECS ON SITE FOR INSPECTION.

STRUCTURAL PLANS

LOT 4 - WALIA
 3406 72nd PLACE SE
 MERCER ISLAND, WA

Myers Engineering, LLC
 3206 50th Street Ct NW, Ste. 210-B
 Gig Harbor, WA 98335
 PH: 253-858-3248
 Email: myengineer@centurytel.net

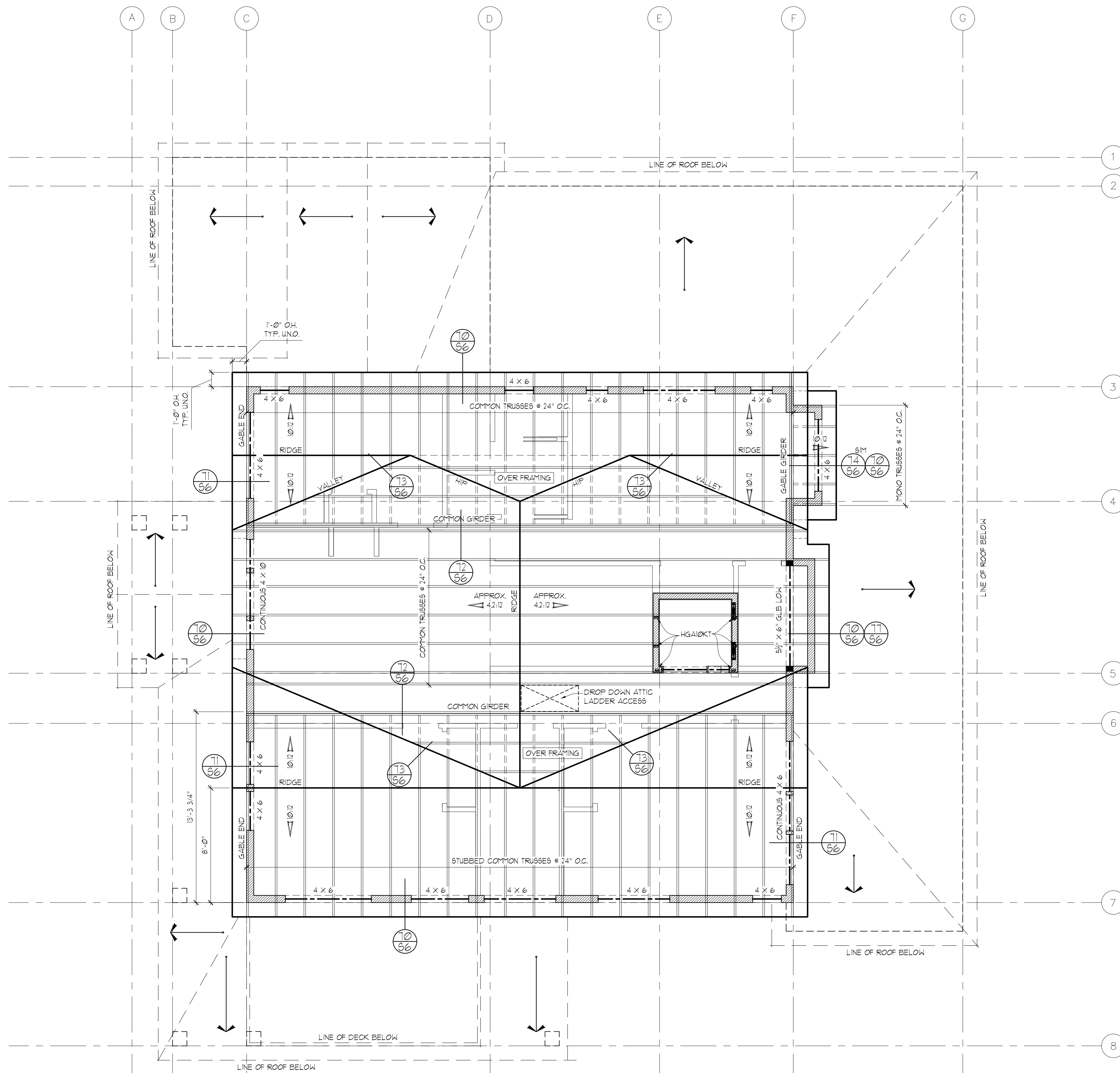


Digitally signed
 by Mark Myers PE
 Date: 2020.08.03
 14:02:41 -0700

BUILDING DEPT. APPROVAL STAMPS:

REVISION DATE: INIT: PROJECT #:

S3	DATE: 8-3-2020
	INIT: MM
	PROJECT #: 230



ROOF FRAMING PLAN

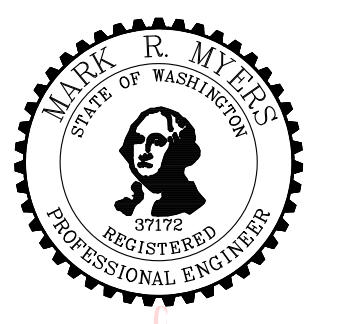
SCALE : 1/4" = 1'-0"

- PROVIDE VENTED BLOCKING AT REQUIRED TRUSS/RAFTER BAYS
- ALL MANUFACTURED TRUSSES:
 - * SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE FOR FRAMING INSPECTION
 - * SHALL NOT BE FIELD ALTERED WITHOUT ENGINEER'S APPROVAL
 - * SHALL BE INSTALLED AND BRACED TO MANUFACTURER'S SPECIFICATION
 - * SHALL CARRY MANUFACTURER'S STAMP ON EACH TRUSS
- ALL BEAMS AND HEADERS AT THIS LEVEL TO BE 4X10 DF #2 AT BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- HEADERS 8FT OR LONGER SHALL BE PROVIDED W/ (2) TRIMMER (JACK) STUDS AT EACH END U.N.O.
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS AND BEAMS AND PROVIDE MATCHING POSTS IN WALL BELOW

STRUCTURAL PLANS

LOT 4 - WALIA
3406 72nd PLACE SE
MERCER ISLAND, WA

Myers Engineering, LLC
3206 50th Street Ct NW, Ste. 210-B
Gig Harbor, WA 98335
PH: 253-858-3248
Email: myengineer@centurytel.net



Digitally signed
by Mark Myers, PE
Date: 2020.08.03
14:03:01 -0700

BUILDING DEPT. APPROVAL STAMPS:

REVISION DATE:	INIT:	PROJECT #:

S4	DATE: 8-3-2020
	INIT: MM
	PROJECT #: 2301

