

WINDOW SCHEDULE

	DIMENSIONS (R.O. x W x H)	TYPE	NOTES
A	1'-0" X 6'-0"	SIDELITE	SAFETY GLAZE / (2) LITES Ea.
B	2'-6" X 5'-0"	CASEMENT	SAFETY GLAZE
C	4'-0" X 6'-0"	CASEMENT	SAFETY GLAZE
D	(2) 2'-6" X 6'-0"	CSMNT/CSMNT	SAFETY GLAZE
E	(2) 2'-6" X 4'-0"	CASEMENT	(4) LITES
F	(2) 3'-0" X 4'-6"	CSMNT/CSMNT	
G	(2) 3'-0" X 4'-6"	CSMNT/CSMNT	(4) LITES
H	3'-0" X 4'-6"	CASEMENT	(4) LITES
I	3'-0" X 3'-0"	CASEMENT	
J	2'-6" X 3'-0"	CASEMENT	SAFETY GLAZE / (4) LITES Ea.
K	2'-6" X 4'-0"	CASEMENT	SAFETY GLAZE / (4) LITES Ea.
L	3'-0" X 4'-6"	CASEMENT	(2) LITES
M	(2) 2'-6" X 4'-6"	CSMNT/CSMNT	
N	(2) 2'-6" X 3'-6"	CSMNT/CSMNT	
O	(2) 2'-0" X 3'-6"	CSMNT/CSMNT	SAFETY GLAZE / (4) LITES Ea.
P	3'-0" X 6'-0"	PICTURE	SAFETY GLAZE / (8) LITES Ea.
Q	2'-6" X 4'-6"	CASEMENT	

NOTES:
1. 'S.G.' = SAFETY GLAZING.
2. WINDOW 'U-FACTOR' = 0.28
3. WINDOW 'U-FACTOR' = 0.28
4. DOOR 'U-FACTOR' = 0.20

DOOR SCHEDULE

TAG	DIMENSIONS (R.O. x W x H)	TYPE	NOTES
1	3'-0" X 8'-0"	ENTRY	SOLID WD./SAFETY GLAZE / LOCKSET
2	8'-0" X 8'-0"	GARAGE	'CARRAIGE STYLE'
3	16'-0" X 8'-0"	GARAGE	'CARRAIGE STYLE'
4	3'-0" X 8'-0"	HALF-GLASS	SAFETY GLAZE
5	3'-0" X 6'-8"	SEPARATION	1-HOUR FIRE RATED w/ INTEGRAL SMOKE GASKETS
6	2'-6" X 6'-8"	POCKET	SLIDER HARDWARE
7	3'-0" X 6'-8"	STND. WOOD	
8	(2) 2'-6" X 6'-8"	STND. WOOD	
9	2'-6" X 6'-8"	STND. WOOD	
10	(4) 2'-6" X 8'-0"	FOLDING	'Nano Door' - SAFETY GLAZE / ENTIRE ASSEMBLY MUST MEET U-VALUE = 0.30 or better
11	(3) 3'-0" X 6'-8"	HALF-GLASS	SAFETY GLAZE
12	3'-0" X 6'-8"	HALF-GLASS	SAFETY GLAZE
13	3'-0" X 6'-8"	SOLID WOOD	LOUVERED MECH. DOOR - SEE PLAN NOTE #8
14	(2) 3'-0" X 8'-0"	GLASS	EXT. FRENCH HUNG /SAFETY GLAZE / LOCK
15	(2) 2'-0" X 6'-8"	STND. WOOD	
16	22.5" X 4'-0"	ATTIC ACCESS	DROP DOWN LADDER (PER IRC R807.1)
17	2'-6" X 3'-0"	CRANKSPACE ACCESS	HINGED - INSULATED PANEL

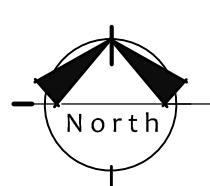
NOTES:
1. 'S.G.' = SAFETY GLAZING.
2. DOOR 'U-FACTOR' = 0.20
3. WINDOW 'U-FACTOR' = 0.28
4. OWNER OPTION-1 : All interior doors on the main floor may be 8'-0" tall.

PLAN NOTES

- WHOLE HOUSE VENTILATION TO BE PROVIDED BY FORCED AIR FURNACE WITH DIRECT OUTSIDE AIR.
- SMOKE DETECTORS SHALL BE HARD-WIRED & PROVIDED IN EXISTING SPACES w/ BATTERY BACK-UP PER IRC 313 & INSTALLED PER IRC 314.2.2
- STAIR HANDRAILS TO CONFORM TO I.R.C. SECT. 311.5.6 w/ 36" ht. FROM TREAD NOSING, TYP.
- ALL OUTLETS @ COUNTER HEIGHT, (BATHS, KITCHEN, LAUNDRY) SHALL BE G.F.C.I.
- DO NOT SCALE OFF DRAWINGS, NOTED DIMENSIONS SHALL @ ALL TIMES TAKE PRECEDENT. DIMS. ARE TO FACE OF FRAMING, TYP. -WDN. & DOOR DIMS. ARE TO ROUGH OPENING
- SEE SHEET A2.1 FOR WINDOW SCHEDULE.
- CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS & RAILINGS SHALL BE CAPABLE OF RESISTING 200 LB. LOAD ON TOP RAIL ACTING IN ANY DIRECTION AS REQUIRED BY IRC TABLE R301.5.
- MECHANICAL RM. DOOR: PER IRC SECTION 303.3 ALL COMBUSTIBLE AIR MUST BE TAKEN FROM OUTDOORS IN ACCORDANCE WITH IRC CHAPTER 7. MECHANICAL RM. DOORS SHALL BE SOLID CORE WITH EXTERIOR WEATHER STIPPIING & APPROVED SELF-CLOSING DEVICE.
- SEE STRUCTURAL FOUNDATION PLAN FOR CRANKSPACE VENTING

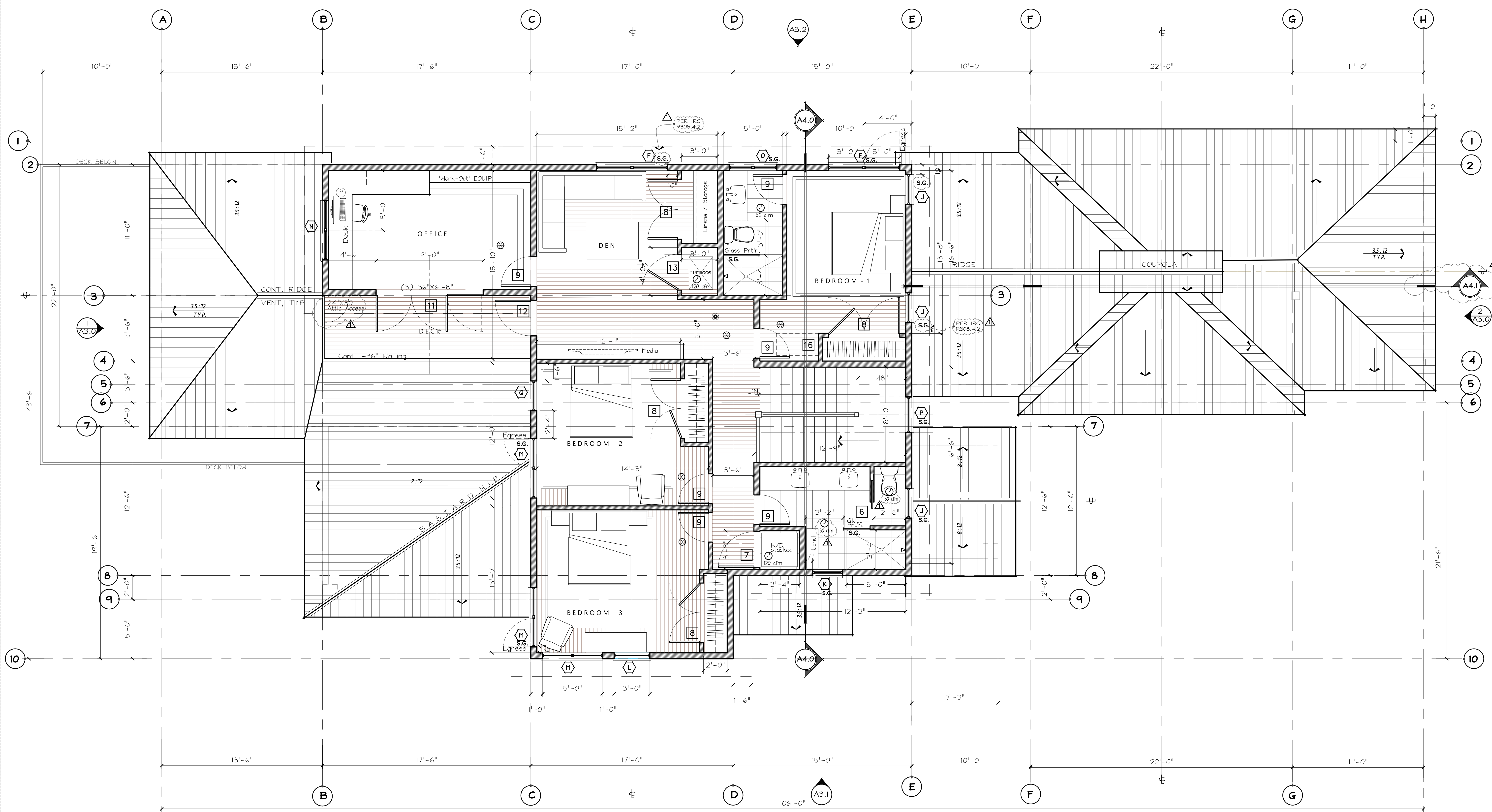
PLAN KEY

- 6" EXTERIOR WALL
- 4" PARTITION WALL
- SMOKE DETECTOR
- MECHANICAL VENT FAN (CUBIC FEET PER MINUTE)
- ELEVATION MARKER
- SAFETY-GLAZING
- CARBON MONOXIDE DETECTOR (APPROVED PER IRC315.1)
- CENTERLINE
- SETBACK LINE
- DRIVEWAY SURFACE



MAIN FLOOR PLAN

MAIN FLOOR AREA: 2,120 S.F.
GARAGE AREA: 705 S.F.
SCALE: 1/4" = 1'-0"

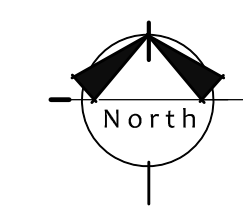


PLAN NOTES

- WHOLE HOUSE VENTILATION TO BE PROVIDED BY FORCED AIR FURNACE WITH DIRECT OUTSIDE AIR.
- SMOKE DETECTORS SHALL BE HARD-WIRED & PROVIDED IN EXISTING SPACES W/ BATTERY BACK-UP PER IRC 313 & INSTALLED PER IRC 314.2.2
- STAIR HANDRAILS TO CONFORM TO I.R.C. SECT. 311.5.6. w/ 36" ht. FROM TREAD NOSING, TYP.
- ALL OUTLETS @ COUNTER HEIGHT, (@BATHS, KITCHEN, LAUNDRY) SHALL BE G.F.C.I.
- DO NOT SCALE OFF DRAWINGS. NOTED DIMENSIONS SHALL @ ALL TIMES TAKE PRECEDENT. DIMS. ARE TO FACE OF FRAMING, TYP. -WDW. & DOOR DIMS. ARE TO ROUGH OPENING
- SEE SHEET A2.1 FOR WINDOW SCHEDULE.

PLAN KEY

- 6" EXTERIOR WALL
- 4" PARTITION WALL
- SMOKE DETECTOR
- MECHANICAL VENT FAN (CUBIC FEET PER MINUTE) (PER IRC M1507.4)
- ELEVATION MARKER
- SAFETY-GLAZING
- CARBON MONOXIDE DETECTOR (APPROVED PER IRC315.1)
- CENTERLINE



UPPER FLR./ LOW ROOF PLAN
AREA: 1,415 S.F.

SCALE: 1/4" = 1'-0"

PROJECT NAME:	PROJECT ADDRESS:
MARBELLA	7311 W. Mercer Way
RESIDENCE	-Mercer Is., WA 98040

SET TITLE:	PERMIT SET
SHEET TITLE:	ROOF PLAN

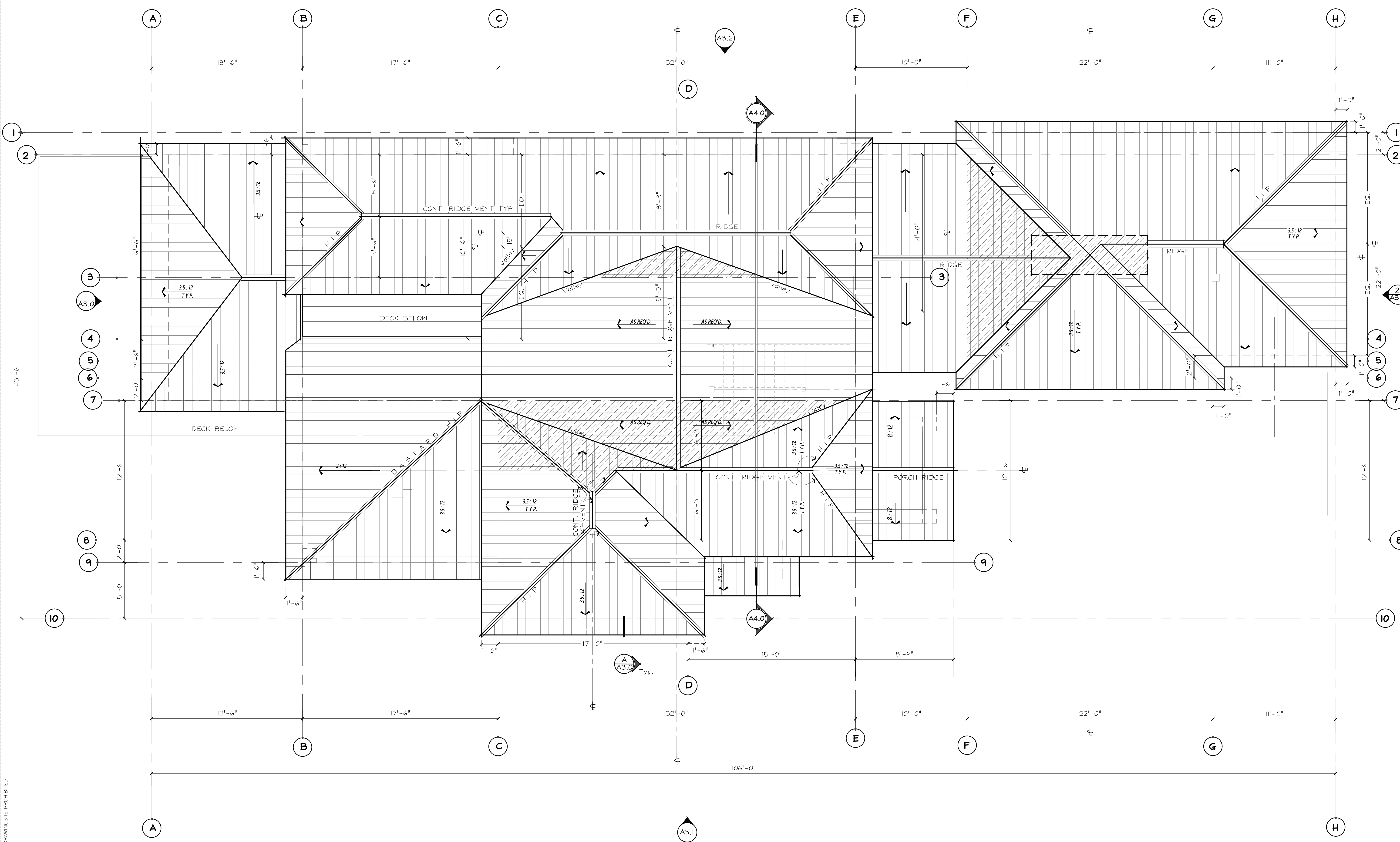
STAMP:

PROJECT #: 20010
DATE: SEPT. 23, 2020
DRAWN BY: N.F.W.
REVISIONS:

Tag	Description

SHEET No.:

A2.2



ROOF PLAN SCALE: 1/4" = 1'-0"

NOTES:
1. ALL ROOF PITCHES = 3 1/2 : 12
2. TYPICAL OVERHANG AT GARAGE : 12"
TYPICAL OVERHANG AT UPPER FLOORS : 18"

ATTIC VENTING CALCULATION

HOUSE ATTIC AREA = 2,120 S.F.

CALCULATION

$2120 / 300 = 7.07$ sq.ft. or 1,018 sq.in. REQUIRED VENTING

RIDGE VENTS PROVIDED = 134 Linear Feet X 16 sq.in. = 2,144 sq.in.
SOFFIT VENTS PROVIDED = 218 Linear Feet X 24 sq.in./ft. = 5,232 sq.in.

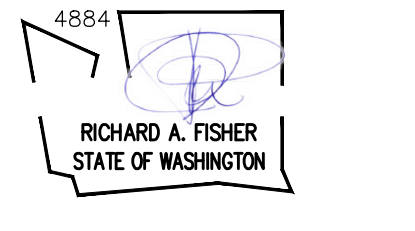
PLAN KEY

- STRUCTURE BELOW
- AREA OF METAL ROOFING
- AREA OF ROOF OVER-FRAME
- CONTINUOUS RIDGE VENT

PROJECT NAME:	PROJECT ADDRESS:
MARBELLA	7311 W. Mercer Way
RESIDENCE	-Mercer Is., WA 98040

SET TITLE:	PERMIT SET
SHEET TITLE:	EXTERIOR ELEVATION

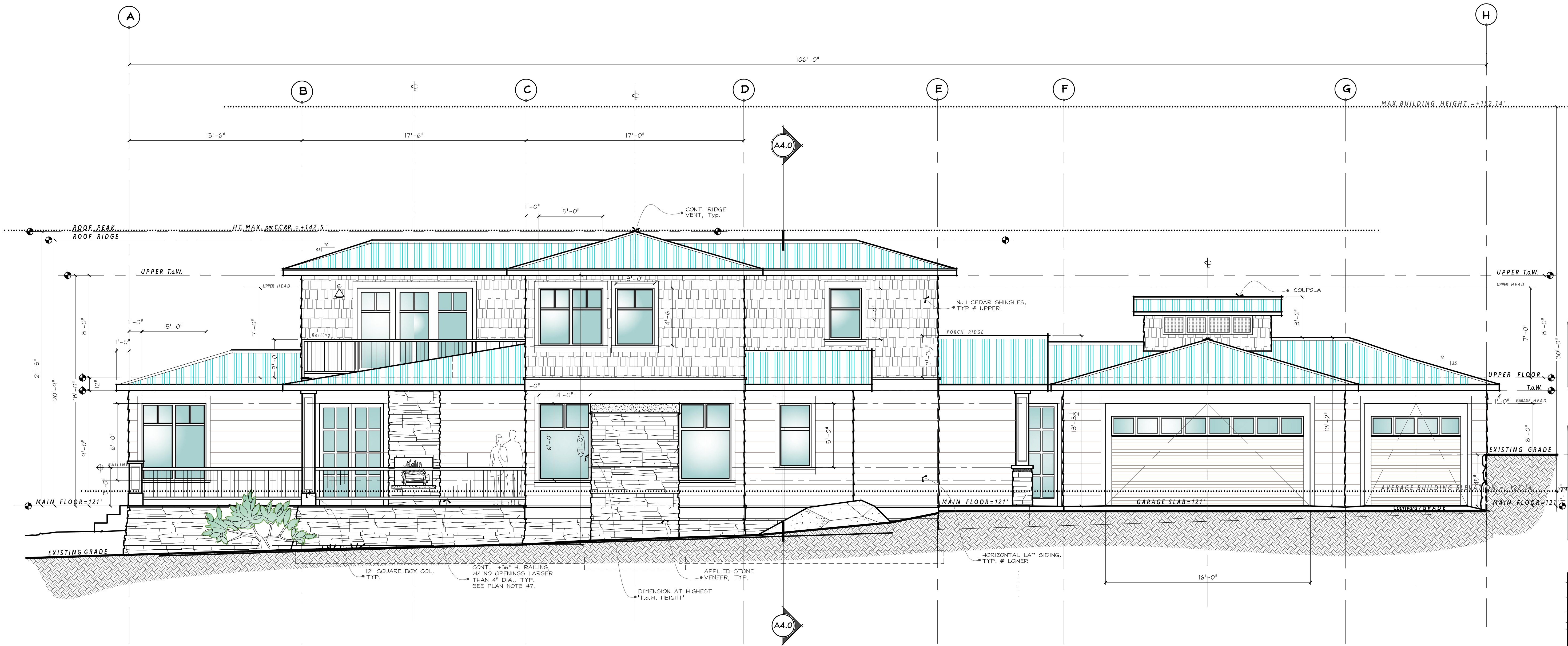
STAMP:



RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT #:	2010
DATE:	SEPT. 23, 2020
DRAWN BY:	N. F. W.
REVISIONS:	
Tag	Description

SHEET No.:	A3.1
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SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

PROJECT NAME:	PROJECT ADDRESS:
MARBELLA	7311 W. Mercer Way
RESIDENCE	-Mercer Is., WA 98040

SET TITLE:	PERMIT SET
SHEET TITLE:	EXTERIOR ELEVATION

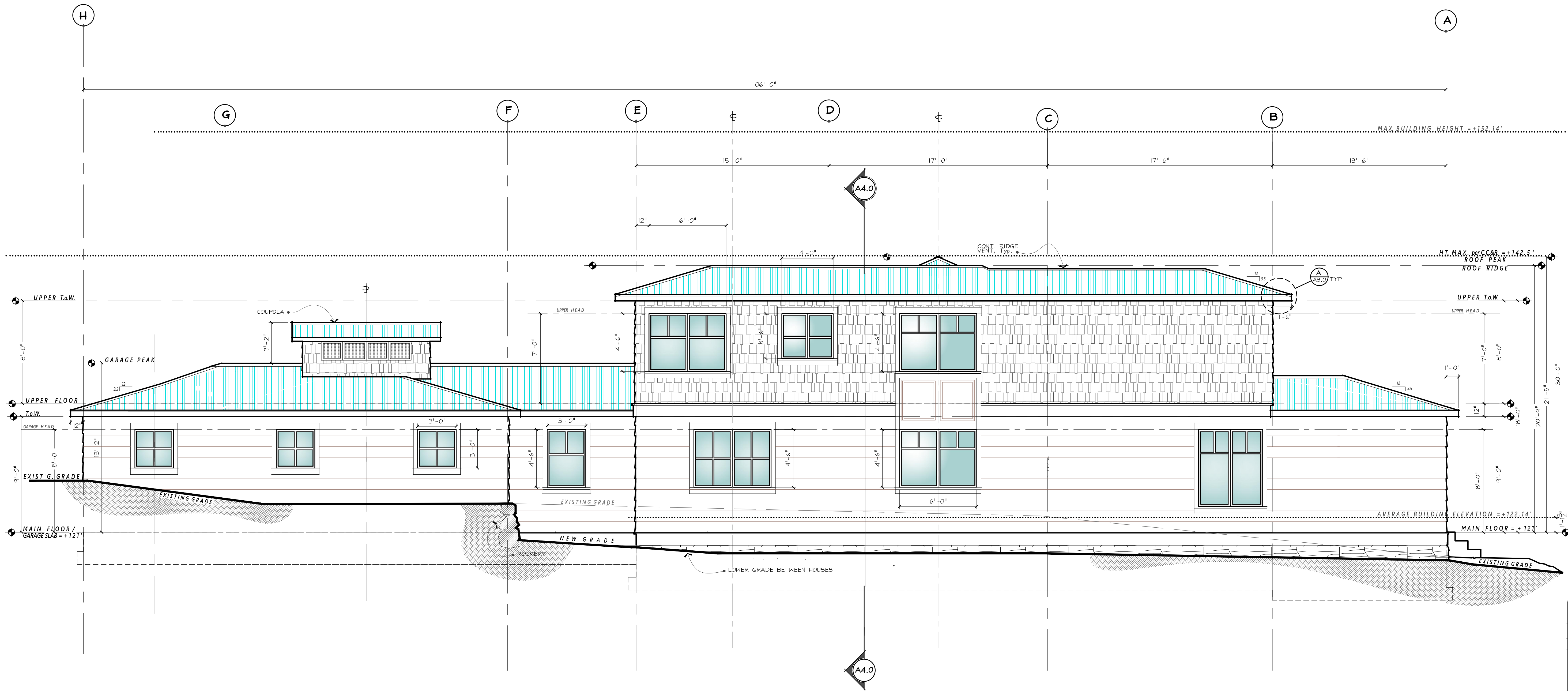
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4884

RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT #:	2010
DATE:	SEPT. 23, 2020
DRAWN BY:	N. F. W.
REVISIONS:	
Tag	Description

SHEET No.:	A3.2
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NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT NAME: PROJECT ADDRESS:
MARBELLA
RESIDENCE
7311 W. Mercer Way
Mercer Is., WA 98040

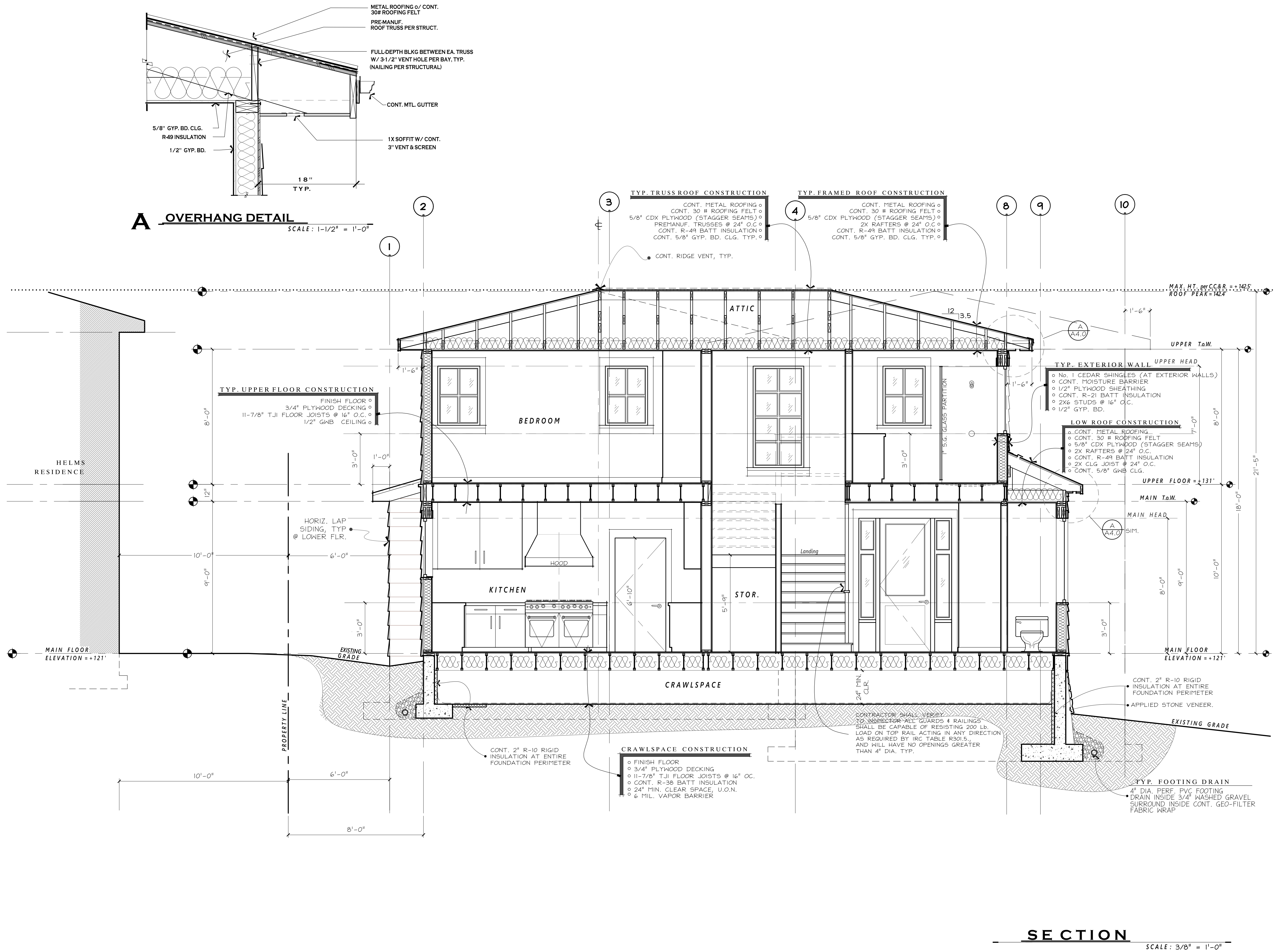
SET TITLE: PERMIT SET
SHEET TITLE: BUILDING SECTION

STAMP:
4884
RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT #: 2010
DATE: SEPT. 23, 2020
DRAWN BY: N. F. W.
REVISIONS:

Tag	Description

SHEET No.:
A4.0



SECTION

SCALE: 3/8" = 1'-0"

PROJECT NAME: PROJECT ADDRESS:

MARBELLA
RESIDENCE

7311 W. Mercer Way
Mercer Is., WA 98040

SET TITLE: PERMIT SET

SHEET TITLE: BUILDING SECTION

STAMP:

4884

RICHARD A FISHER
STATE OF WASHINGTON

PROJECT #: 2010

DATE: SEPT. 23, 2020

DRAWN BY: N. F. W.

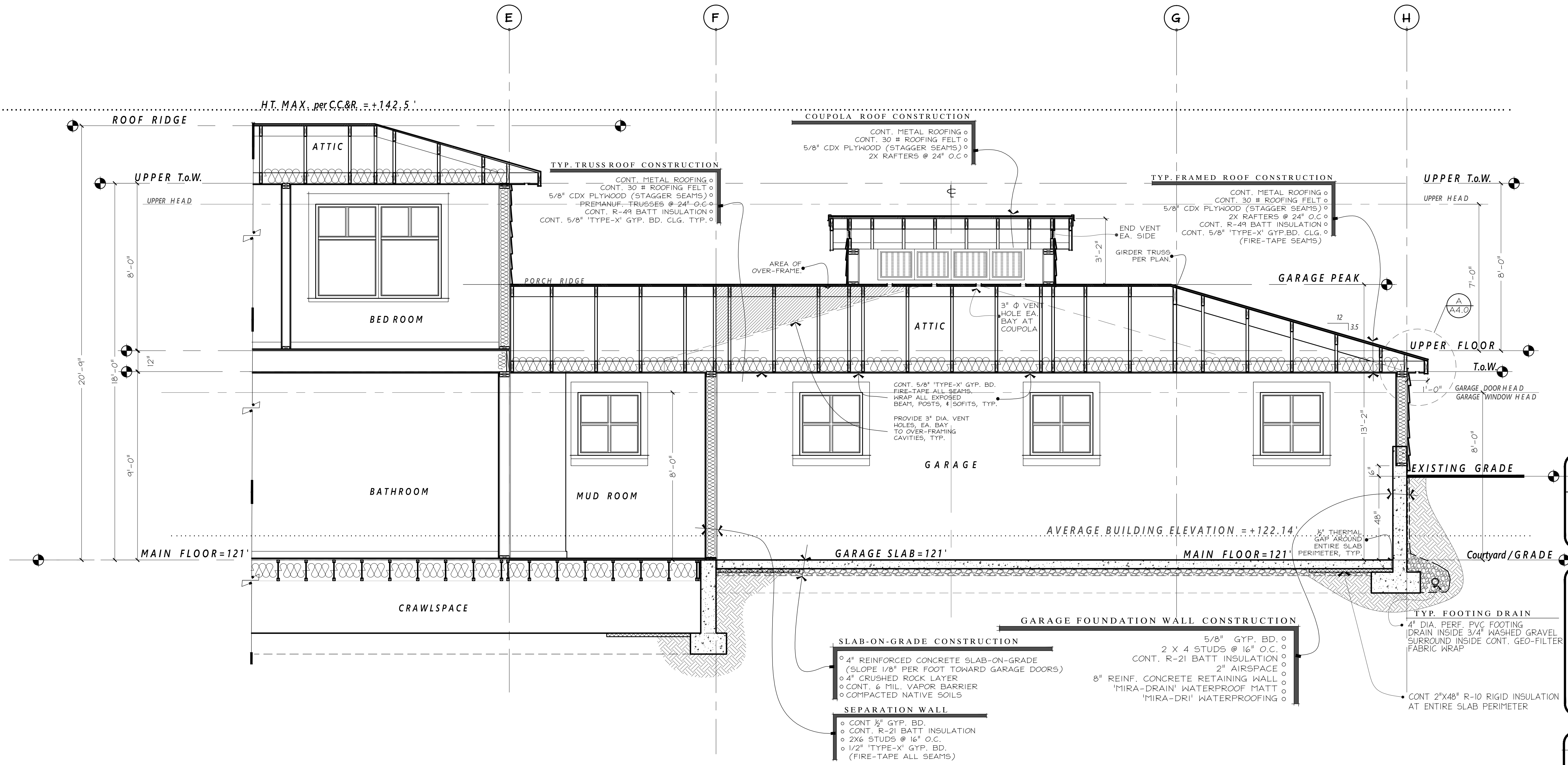
REVISIONS:

Tag	Description
△	M.I. BLDG. DEPT. REVIEW 12/20

SHEET No.:

△

A4.1



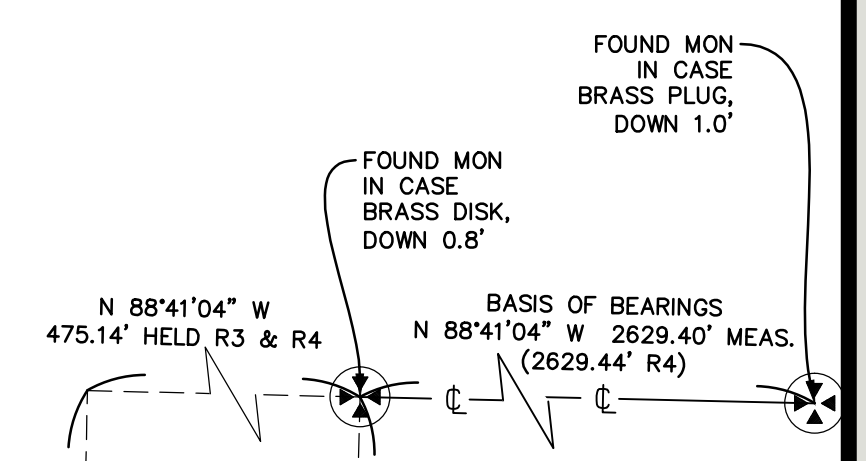
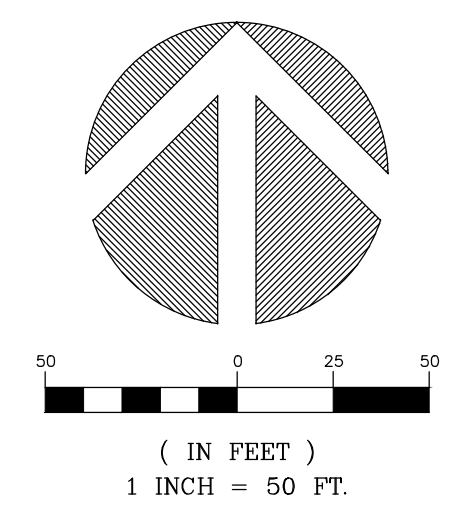
SECTION
SCALE: 3/8" = 1'-0"

LEGAL DESCRIPTION

(PER QUIT CLAIM DEED RECORDING #20090107000338) EXHIBIT B
PARCEL A:
LOT 6, VILLA MARBELLA, ACCORDING TO THE PLAT RECORDED IN VOLUME 112 OF PLATS, PAGES 23 THROUGH 25, IN KING COUNTY, WASHINGTON; TOGETHER WITH AN UNDIVIDED ONE-SEVENTH INTEREST IN TRACT A OF SAID PLAT; TOGETHER WITH AN UNDIVIDED ONE-SEVENTH INTEREST IN TRACT B OF SAID PLAT; TOGETHER WITH AN UNDIVIDED ONE-SIXTH INTEREST IN TRACT C OF SAID PLAT, AND TOGETHER WITH AN UNDIVIDED INTEREST IN SECOND CLASS SHORELANDS ADJOINING SAID TRACT C.
PARCEL B:
AN EASEMENT FOR INGRESS AND EGRESS ESTABLISHED UNDER KING COUNTY RECORDING NO. 7903130959, AND DESCRIBED AS FOLLOWS: THAT PORTION OF THE EAST 923.57 FEET OF THE NORTH 13,00 FEET OF THE SOUTH 114.00 FEET OF THE NORTH 945.50 FEET OF GOVERNMENT LOT 4, SECTION 25, TOWNSHIP 24 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON, LYING WEST OF WEST MERCER WAY; THAT PORTION OF THE EAST 1,218.57 FEET OF THE NORTH 25.00 FEET OF THE SOUTH 114.00 FEET OF THE NORTH 945.50 FEET OF GOVERNMENT LOT 4, SECTION 25, TOWNSHIP 24 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON; EXCEPT THE EAST 1,133.57 FEET THEREOF; THAT PORTION OF THE EAST 1,368.57 FEET OF THE NORTH 5.00 FEET OF THE SOUTH 114.00 FEET OF THE NORTH 945.50 FEET OF GOVERNMENT LOT 4, SECTION 25, TOWNSHIP 24 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON; EXCEPT THE EAST 1,263.57 FEET THEREOF.

TOPOGRAPHIC & BOUNDARY SURVEY

STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



LEGEND

MONUMENT IN CASE (FOUND)	OIL FILL CAP
AREA DRAIN	POST
ASPHALT SURFACE	WATER BLOWOFF
BOLLARD	POWER METER
BUILDING	POWER (OVERHEAD)
CLEANOUT	REBAR AS NOTED (FOUND)
CONCRETE SURFACE	REBAR & CAP (SET)
RETAINING WALL	ROCKERY
EASEMENT AREA	SEWER LINE
DECK	SEWER MANHOLE
FENCE LINE (WOOD)	STORM DRAIN LINE
GAS LINE	TREE (AS NOTED)
GRAVEL SURFACE	WATER LINE
HEDGE FOLIAGE LINE	HAND RAIL FENCE
INLET (TYPE 1)	WATER METER
IRON PIPE (FOUND)	WATER VALVE
AC UNIT	HOSE BIB RISER

VICINITY MAP N.T.S.



TOPOGRAPHIC & BOUNDARY SURVEY

LEGEND

	MONUMENT IN CASE (FOUND)		OIL FILL CAP
	AREA DRAIN		POST
	ASPHALT SURFACE		WATER BLOWOFF
	BOLLARD		POWER METER
	BUILDING		POWER (OVERHEAD)
	CLEANOUT		REBAR AS NOTED (FOUND)
	CONCRETE SURFACE		REBAR & CAP (SET)
	RETAINING WALL		ROCKERY
	EASEMENT AREA		SEWER LINE
	DECK		SEWER MANHOLE
	FENCE LINE (WOOD)		STORM DRAIN LINE
	GAS LINE		TREE (AS NOTED)
	GRAVEL SURFACE		WATER LINE
	HEDGE FOLIAGE LINE		HAND RAIL FENCE
	INLET (TYPE 1)		WATER METER
	IRON PIPE (FOUND)		WATER VALVE
	AC UNIT		HOSE BIB RISER

BASIS OF BEARINGS

A BEARING OF N 88°41'04" W BETWEEN FOUND MONUMENTS ON CENTERLINE OF 72ND ST PER R3 & R4.

VERTICAL DATUM

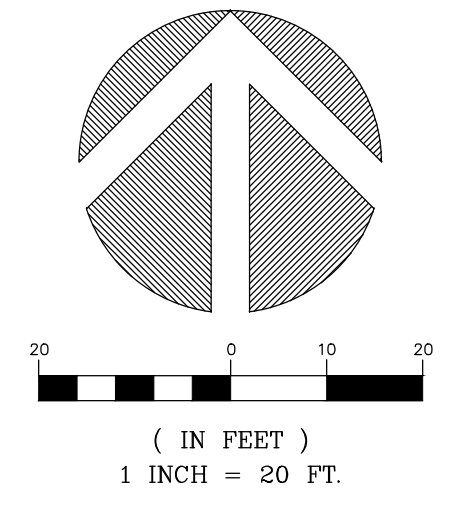
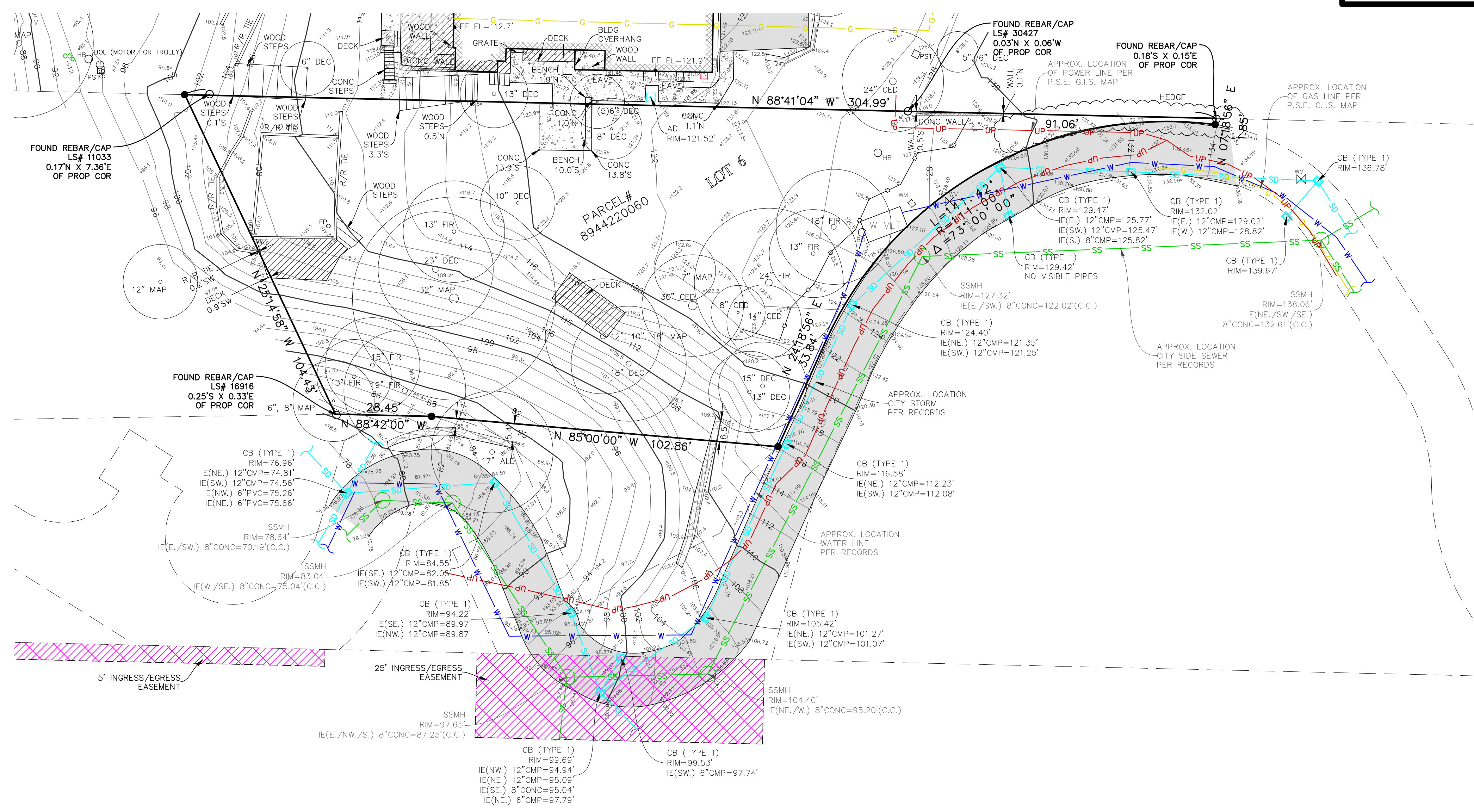
NAVD88 PER CITY OF MERCER ISLAND BENCHMARK 3185 FOUND "3 1/2" BRASS CAP IN CONC (DN 1.0') STAMPED "WA COUNTY SURVEY MON W/ CHISLED " 50FT E. OF INTX SE 72ND ST & W. MERCER WAY. ELEVATION ON CAP = 175.374'

REFERENCES

- R1. UNRECORDED PLAT OF SUNDOWN ESTATES & ASSOCIATED SURVEYS BY E.A. LAWVER CIRCA 1957.
- R2. VILLA MARBELLA, VOL. 112, PGS. 23-25, RECORDS OF KING COUNTY, WASHINGTON.
- R3. WILLIAMS SHORT PLAT, VOL. 79, PGS. 172, 172A & 172B, RECORDS OF KING COUNTY, WASHINGTON.
- R4. RECORD OF SURVEY, VOL. 139, PG. 91, RECORDS OF KING COUNTY, WASHINGTON.

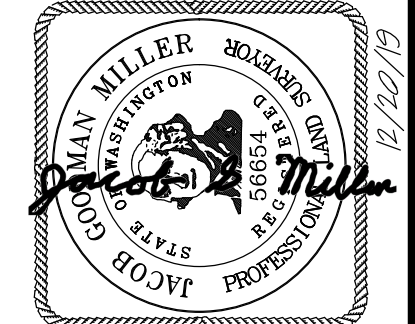
SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN SEPTEMBER OF 2019. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 894422-0060.
5. SUBJECT PROPERTY UPLAND AREA PER THIS SURVEY IS 17,944 SF (0.41 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.



TOPOGRAPHIC & BOUNDARY SURVEY
NE 1/4 OF NW1/4 SEC 25, TWP. 24N., RGE 04E., W.M.
PARCEL NO. 894422-0060

7275 MERCER LLC
W MERCER WAY
MERCER ISLAND, WA 98040



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER:	191480
DATE:	09/27/2019
DRAFTED BY:	RSN
CHECKED BY:	JGM
SCALE:	1" = 20'
REVISION HISTORY	
12/20/19	SEPARATE DRAWING
SHEET NUMBER	
2 OF 2	

measure success

LEGAL DESCRIPTION SOURCE: SURVEY
 (PER QUIT CLAIM DEED RECORDING #20090107000338)
 EXHIBIT B

PARCEL A:
 LOT 6, VILLA MARBELLA, ACCORDING TO THE PLAT RECORDED IN VOLUME 112 OF PLATS, PAGES 23 THROUGH 25, IN KING COUNTY, WASHINGTON; TOGETHER WITH AN UNDIVIDED ONE-SEVENTH INTEREST IN TRACT A OF SAID PLAT; TOGETHER WITH AN UNDIVIDED ONE-SEVENTH INTEREST IN TRACT B OF SAID PLAT; TOGETHER WITH AN UNDIVIDED ONE-SIXTH INTEREST IN TRACT C OF SAID PLAT, AND TOGETHER WITH AN UNDIVIDED INTEREST IN SECOND CLASS SHORELANDS ADJOINING SAID TRACT C.

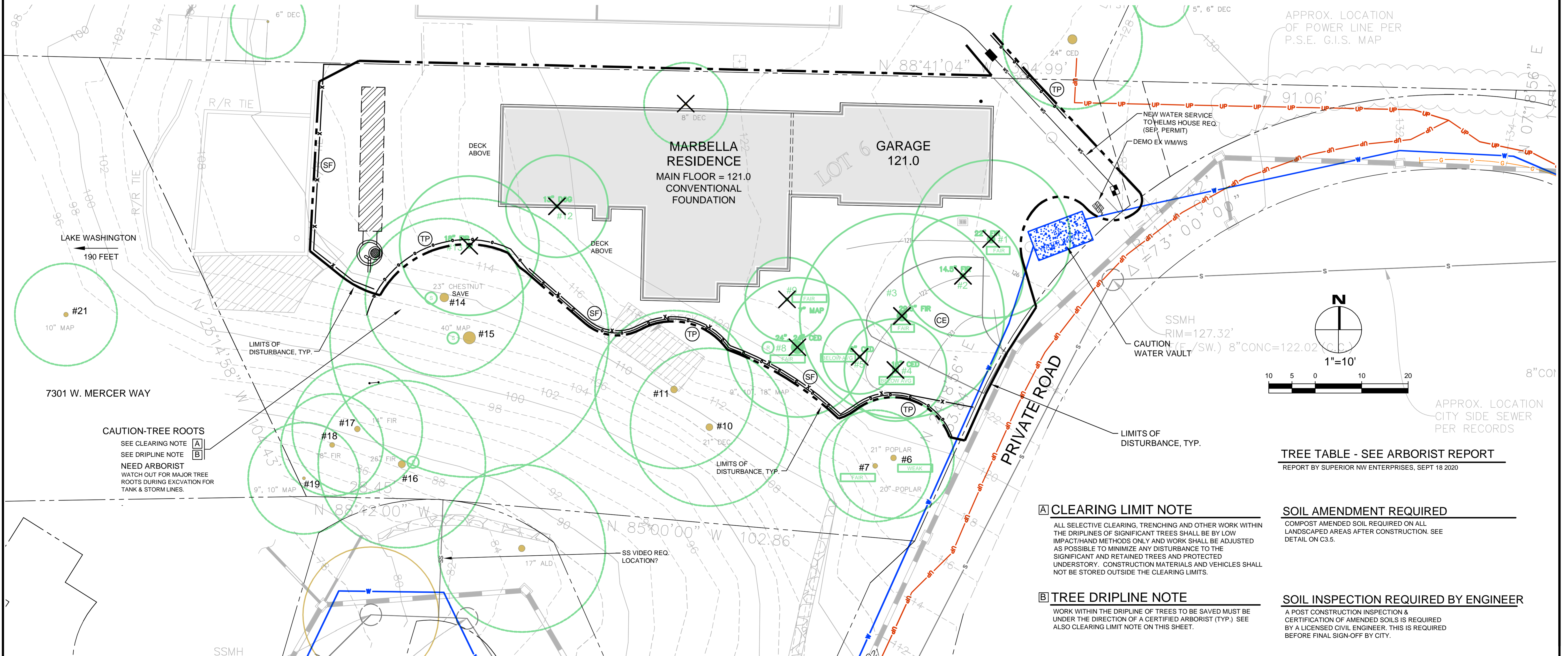
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EROSION CONTROL NOTES
 SHEET C1.2

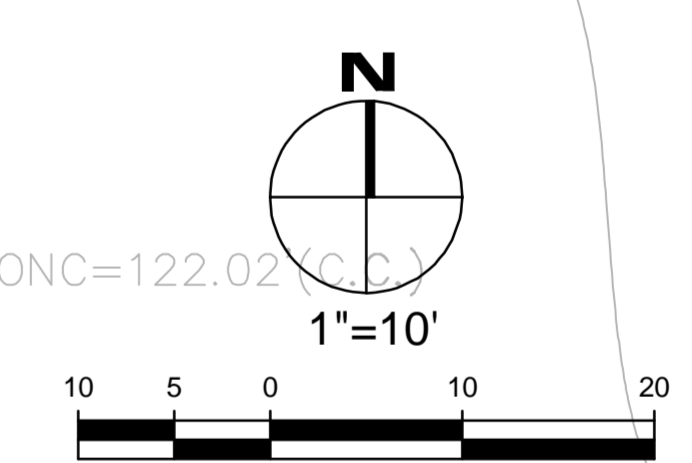
EROSION CONTROL DETAILS
 SHEET C1.2

EROSION CONTROL LEGEND

- FILTER FABRIC FENCE (SILT FENCE) (SF)
 - STABILIZED CONSTRUCTION ENTRANCE (CE)
 - CATCH BASIN INLET PROTECTION (IP)
 - INTERCEPTOR SWALE SEE COR DWG 504, TYPE A TEMPORARY SWALE (IS)
 - TREE PROTECTION FENCING (TP)
 - STOCKPILE (ST)
 - STRAW WATTLES (SW)
 - PLASTIC COVERING (PC)
 - COMPOST SOCK (CS)
 - COMPOST BERM (CB)
- USE AS NEEDED
 COVER EXPOSED AREAS WITHIN MERCER ISLAND TIME LIMIT
 SEDIMENT CONTROL OPTION RECOMMENDED IN LIEU OF SILT FENCE
 SEDIMENT CONTROL OPTION RECOMMENDED IN LIEU OF SILT FENCE



APPROX. LOCATION OF POWER LINE PER P.S.E. G.I.S. MAP



APPROX. LOCATION CITY SIDE SEWER PER RECORDS

TREE TABLE - SEE ARBORIST REPORT
 REPORT BY SUPERIOR NW ENTERPRISES, SEPT 18 2020

SOIL AMENDMENT REQUIRED
 COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

SOIL INSPECTION REQUIRED BY ENGINEER
 A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

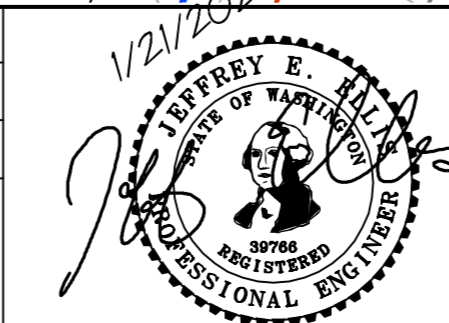
[A] CLEARING LIMIT NOTE
 ALL SELECTIVE CLEARING, TRENCHING AND OTHER WORK WITHIN THE DRIPLINES OF SIGNIFICANT TREES SHALL BE BY LOW IMPACT/HAND METHODS ONLY AND WORK SHALL BE ADJUSTED AS POSSIBLE TO MINIMIZE ANY DISTURBANCE TO THE SIGNIFICANT AND RETAINED TREES AND PROTECTED UNDERSTORY. CONSTRUCTION MATERIALS AND VEHICLES SHALL NOT BE STORED OUTSIDE THE CLEARING LIMITS.

[B] TREE DRIPLINE NOTE
 WORK WITHIN THE DRIPLINE OF TREES TO BE SAVED MUST BE UNDER THE DIRECTION OF A CERTIFIED ARBORIST (TYP.) SEE ALSO CLEARING LIMIT NOTE ON THIS SHEET.

NO.	DATE	BY	REVISIONS

APPLICANT:
 MASON HELMS
 JASON KOEHLER

DATE: JANUARY 2021
 JOB#: 1896-2
 DRAFTED: CH DESIGN: DE
 DIGITAL SIGNATURE



CIVIL ENGINEERING SOLUTIONS
 102 NW CANAL STREET SEATTLE, WA 98107
 PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

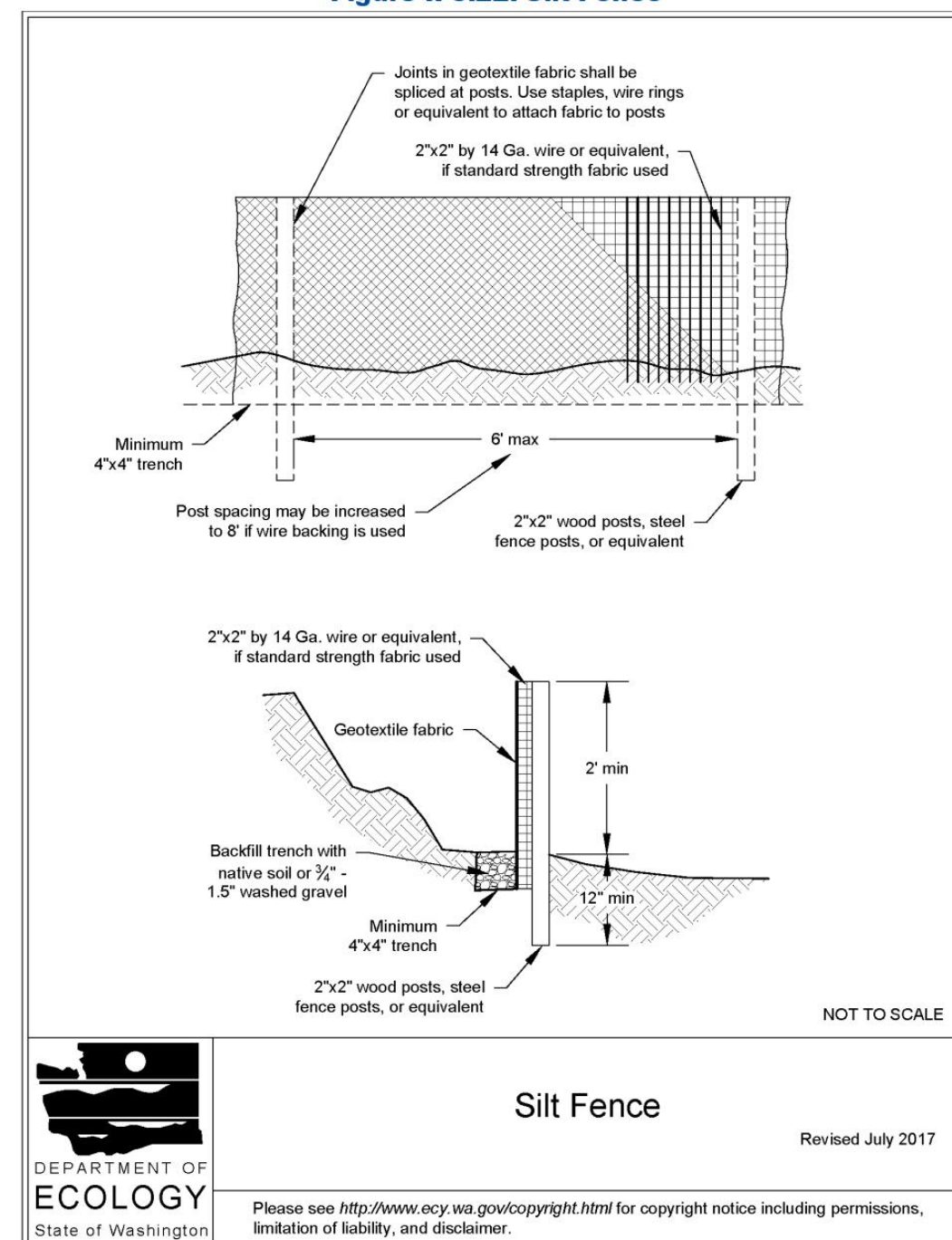
EROSION CONTROL PLAN
 MARBELLA RESIDENCE
 7311 W. MERCER WAY, MERCER ISLAND, WA 98040

DRAWING NO:
C1.0
 APN 894422-0060

SILT FENCE DETAIL

DOE

Figure II-3.22: Silt Fence



Silt Fence

Revised July 2017

2019 Stormwater Management Manual for Western Washington
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RECOMMENDED CONSTRUCTION SEQUENCE

A DETAILED CONSTRUCTION SEQUENCE IS NEEDED TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE APPLIED AT THE APPROPRIATE TIMES. A RECOMMENDED CONSTRUCTION SEQUENCE IS PROVIDED BELOW:

- HOLD AN ONSITE PRE-CONSTRUCTION MEETING.
- POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).
- FLAG OR FENCE CLEARING LIMITS.
- INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
- GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
- INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- CONSTRUCT SEDIMENT PONDS AND TRAPS.
- GRADE AND STABILIZE CONSTRUCTION ROADS.
- CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
- MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- RELOCATE SURFACE WATER CONTROLS OR TESC MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE TESC IS ALWAYS IN ACCORDANCE WITH CITY OF MERCER ISLAND TESC REQUIREMENTS.
- COVER ALL AREAS THAT WILL BE UN-WORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) OR TWO DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
- STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
- SEED, SOD, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPS IF APPROPRIATE.

EROSION CONTROL NOTES

- D.8.2 STANDARD ESC PLAN NOTES
THE STANDARD ESC PLAN NOTES MUST BE INCLUDED ON ALL ESC PLANS. AT THE APPLICANT'S DISCRETION, NOTES THAT IN NO WAY APPLY TO THE PROJECT MAY BE OMITTED; HOWEVER, THE REMAINING NOTES MUST NOT BE RENUMBERED. FOR EXAMPLE, IF ESC NOTE #3 WERE OMITTED, THE REMAINING NOTES SHOULD BE NUMBERED 1, 2, 4, 5, 6, ETC.
- APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
 - THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
 - THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (SWDM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
 - STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.
 - THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
 - THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION ETC.) AS DIRECTED BY CITY OF MERCER ISLAND.
 - THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.
 - ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
 - ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
 - THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH DURING THE DRY SEASON, BI-MONTHLY DURING THE WET SEASON, OR WITHIN TWENTY FOUR (24) HOURS FOLLOWING A STORM EVENT.
 - AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
 - ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
 - COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL.
 - PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.

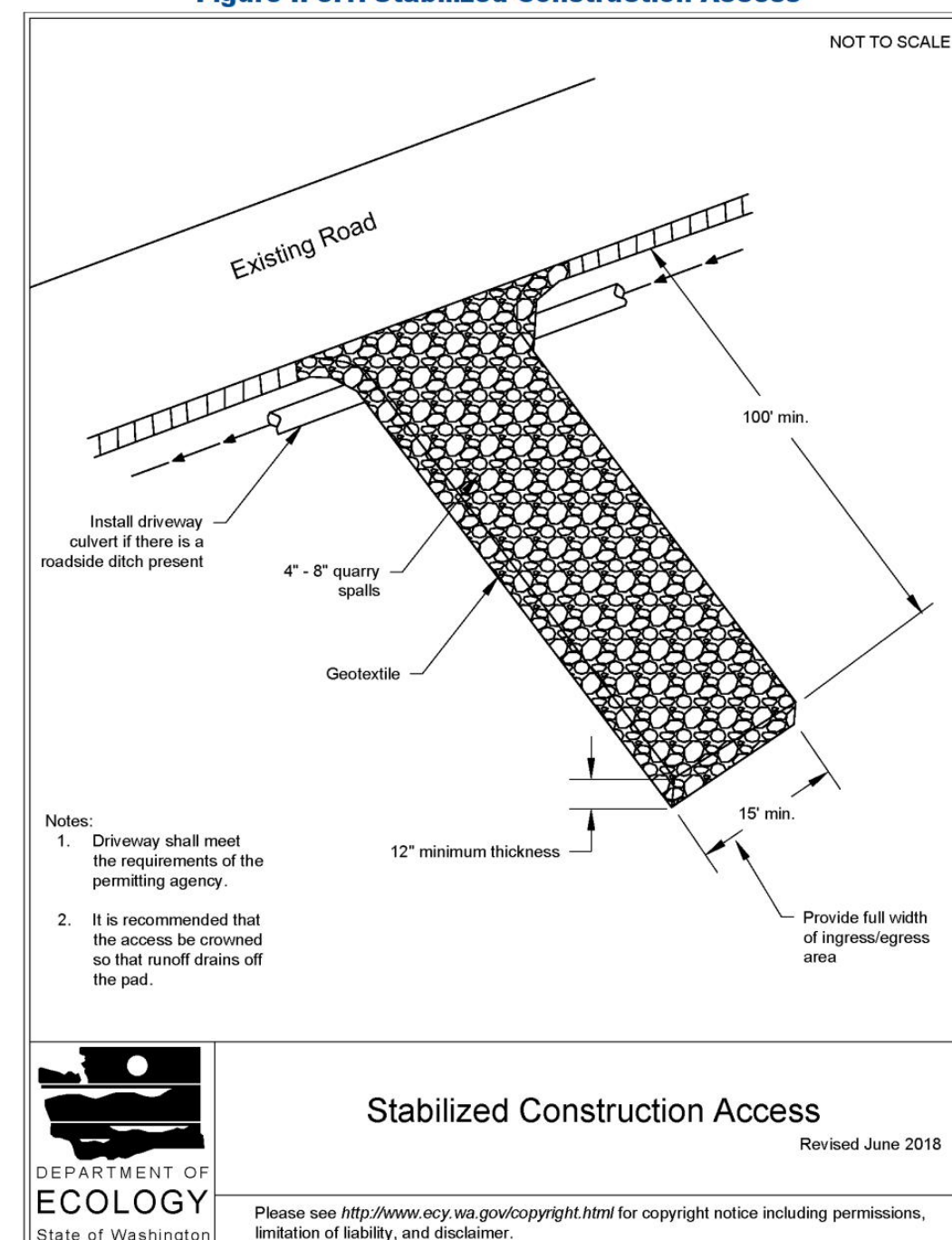
CITY NOTES

- ANY CHANGES TO THE APPROVED PLANS REQUIRES CITY APPROVAL THROUGH A REVISION.
- APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND UTILITIES CAUSED FROM THIS CONSTRUCTION.
- CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL STORM DRAIN CATCH BASINS/INLETS DOWNSLOPE AND WITHIN 500 FEET OF THE CONSTRUCTION AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY THE MANUFACTURER FOR USE AT CONSTRUCTION SITES AND APPROVED BY THE CITY INSPECTOR. CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUENTLY, ESPECIALLY AFTER STORM EVENTS. IF THE FILTER BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED.
- CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES.
- AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL 'ONE CALL' AT 1.800.424.5555
- DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL MUST BE IMPORTED
- EROSION CONTROL: ALL "LAND DISTURBING ACTIVITY" IS SUBJECT TO PROVISIONS OF MERCER ISLAND ORDINANCE 95C-118 "STORM WATER MANAGEMENT." SPECIFIC ITEMS TO BE FOLLOWED AT YOUR SITE:
- PROTECT ADJACENT PROPERTIES FROM ANY INCREASED RUNOFF OR SEDIMENTATION DUE TO THE CONSTRUCTION PROJECT THROUGH THE USE OF APPROPRIATE "BEST MANAGEMENT PRACTICES" (BMP) EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT TRAPS, SEDIMENT PONDS, FILTER FABRIC FENCES, VEGETATIVE BUFFER STRIPS OR BIOENGINEERED SWALES.
- CONSTRUCTION ACCESS TO THE SITE SHOULD BE LIMITED TO ONE ROUTE. STABILIZE ENTRANCE WITH QUARRY SPALLS TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE STORM DRAINS.
- PREVENT SEDIMENT, CONSTRUCTION DEBRIS, PAINTS, SOLVENTS, ETC., OR OTHER TYPES OF POLLUTION FROM ENTERING PUBLIC STORM DRAINS. KEEP ALL POLLUTION ON YOUR SITE.
- ALL EXPOSED SOILS SHALL REMAIN DENUDED FOR NO LONGER THAN SEVEN (7) DAYS AND SHALL BE STABILIZED WITH MULCH, HAY, OR THE APPROPRIATE GROUND COVER. ALL EXPOSED SOILS SHALL BE COVERED IMMEDIATELY DURING ANY RAIN EVENT.
- INSTALLATION OF CONCRETE DRIVEWAYS, TREES, SHRUBS, IRRIGATION, BOLLERS, BERMS, WALLS, GATES, AND OTHER IMPROVEMENTS ARE NOT ALLOWED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL, AND AN ENCROACHMENT AGREEMENT AND RIGHT OF WAY PERMIT FROM THE SENIOR DEVELOPMENT ENGINEER.
- OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAINAGE RUNOFF FROM EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIBLE MANNER. CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, DRY WELLS, LEVEL SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY BE NECESSARY TO MINIMIZE DRAINAGE IMPACT TO YOUR NEIGHBORS. CONSTRUCTION OF MINIMUM DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON THIS PLAN DOES NOT IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTREAM DRAINAGE.
- POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
- REMEMBER: EROSION CONTROL IS YOUR FIRST INSPECTION.
- ROOF DRAINS MUST BE CONNECTED TO THE STORM DRAIN SYSTEM AND INSPECTED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY BACKFILLING OF PIPE.
- SILENT FENCE: CLEAN AND PROVIDE REGULAR MAINTENANCE OF THE SILT FENCE. THE FENCE IS TO REMAIN VERTICAL AND IS TO FUNCTION PROPERLY THROUGHOUT THE TERM OF THE PROJECT.
- WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.
- REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE DETERMINED BY MERCER ISLAND WATER DEPARTMENT.
- THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED. ALTERNATELY, A PRESSURE TEST OF THE SIDE SEWER, FROM SEWER MAIN TO POINT OF CONNECTION, MAY BE SUBSTITUTED FOR THE VIDEO INSPECTION.
- NEWLY INSTALLED SIDE SEWER REQUIRES A 4 P.S.I. AIR TEST OR PROVIDE 10' OF HYDROSTATIC HEAD TEST.
- POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
- THE LIMITS AND EXTENDS OF THE PAVEMENT IN THE PUBLIC RIGHT OF WAY SHALL BE DETERMINED BY THE CITY ENGINEER PRIOR TO FINALIZE THE PROJECT.

CONSTRUCTION ENTRANCE

DOE

Figure II-3.1: Stabilized Construction Access



Stabilized Construction Access

Revised June 2018

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DENUDED AREAS REQUIREMENTS

- APRIL 1 TO SEPT 30
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF CONSTRUCTION. PLEASE READ ALL CITY TESC NOTES ON SHEET C1.2.
- OCT 1 TO MARCH 31
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. IF AN EROSION PROBLEM ALREADY EXISTS ON THE SITE, OTHER COVER PROTECTION AND EROSION CONTROL WILL BE REQUIRED.

NO.	DATE	BY	REVISIONS

APPLICANT:
MASON HELMS
JASON KOEHLER



DATE: September 8, 2020
JOB# 1896-2
DRAFTED: SS DESIGN: DE
DIGITAL SIGNATURE



CIVIL ENGINEERING SOLUTIONS
102 NW CANAL STREET SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

TESC & CITY NOTES
TESC DETAILS
MARBELLA RESIDENCE
7311 W. MERCER WAY, MERCER ISLAND, WA 98040

DRAWING NO:
C1.2
APN 894422-0060

SANITARY SEWER IMPROVEMENTS

- 1 -
- 2 - 6" SDR 35 PVC SANITARY SEWER(SS) @ MIN 1.0 %.
- 3 - BACKWATER VALVE ASSEMBLY INSTALLED TO EXISTING SIDE SEWER. SEE DETAIL S-26. VALVE ELEVATION MIN. 2- FEET ABOVE HIGH WATER ELEVATION.
- 4 -
- 7 - LOCATE AND VIDEO CONDITION OF EXISTING SANITARY SIDE SEWER. REPLACE LINE IF FOUND DEFECTIVE AS DETERMINED BY CITY INSPECTOR.

WATER IMPROVEMENTS

- 10 -
- 11 - PRIVATE WATER SERVICE FROM METER TO HOUSE. SEE PLAN FOR SIZE. CONFIRM ADEQUATE TO MEET FIRE FLOW REQUIREMENTS. HDPE WATER (ASTM D2239). RECOMMENDED DEPTH=36".
- 13 - REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) REQUIRED. PROVIDE FROST PROTECTION IN ACCORDANCE WITH UPC (UNIFORM PLUMBING CODE)
- 14 -

STORM DRAIN STRUCTURES

- 30 -
- 31 -
- 32 -
- 33 -
- 34 -
- 35 -
- 36 -
- 39 -
- 40 - TYPE 40 CATCH BASIN OR EQUAL. FOR WQ, ADD WATER QUALITY TEE TO EXITING PIPE (OR DOWNTURNED ELBOW).
- 41 - 54" ID TYPE 2 MH CONTROL STRUCTURE WITH SOLID LID. SEE ALL DETAILS AND PROFILE C4.0.
- 43 -
- 46 -
- 47 - DETENTION PIPE: ALUMINIZED CMP @ 0.5 % GRADE. SEE PLAN FOR SIZE AND CONFIGURATION. SEE PROFILE, NOTES, AND DETAILS ON C4.0.

STORM BMP's

COMPOSTED AMENDED SOIL IS REQUIRED FOR DISTURBED AREAS. SEE DETAIL ON C3.5.

STORM BMP'S ARE NOT PROPOSED FOR PROJECT. SEE STORM REPORT.

DETENTION IS NOT PROPOSED DUE TO THE PROXIMITY OF THIS LOT TO LAKE WASHINGTON (LESS THAN 1/4 MILE WITH NO CAPACITY CONSTRAINTS).

STORM DRAIN

- 20 - 4" STORM DRAIN (3034 PVC) @ MIN 2 % GRADE
- 21 - 4" FOUNDATION DRAIN (3034 PVC) @ MIN 1 % GRADE
- 22 - 6" STORM DRAIN (3034 PVC) @ MIN 2 % GRADE
- 23 -
- 24 -
- 25 -
- 26 - 6" SURFACE MOUNTED PIPE AFTER DAYLIGHTING FROM CATCH BASIN SEE CITY OF SEATTLE SURFACE MOUNT DETAIL ON SHEET C3.5. HILL HUGGERS ANOTHER OPTION. PIN DOWN PIPE MIN 30" INTERVALS. CONSULT ENGINEER OR CITY INSPECTOR FOR ALTERNATIVE PIPE ANCHOR.
- 28 -
- 29 -

PRIVATE PVC STORM STRUCTURES

- 100 -
- 101 -
- 102 -
- 103 - 24" NYLOPLAST PVC AREA DRAIN (OR EQUAL). H20 RATED GRATE IN DRIVEWAY LOCATIONS.
- 104 -
- 105 -
- 106 -

SURVEYOR

TOPOGRAPHIC & BOUNDARY SURVEY BY:
TERRANE
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
PHONE 425.458.4488

VERTICAL DATUM

NAVD 88 PER CITY OF MERCER ISLAND BENCHMARK 3185
SEE SURVEY

IMPERVIOUS AREA TABLE

SEE DETENTION SHEET C4.0

LEGAL DESCRIPTION

SEE SHEET C1.0

SOILS

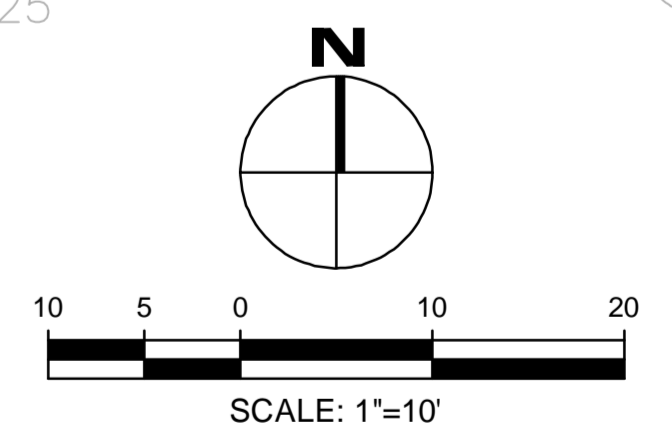
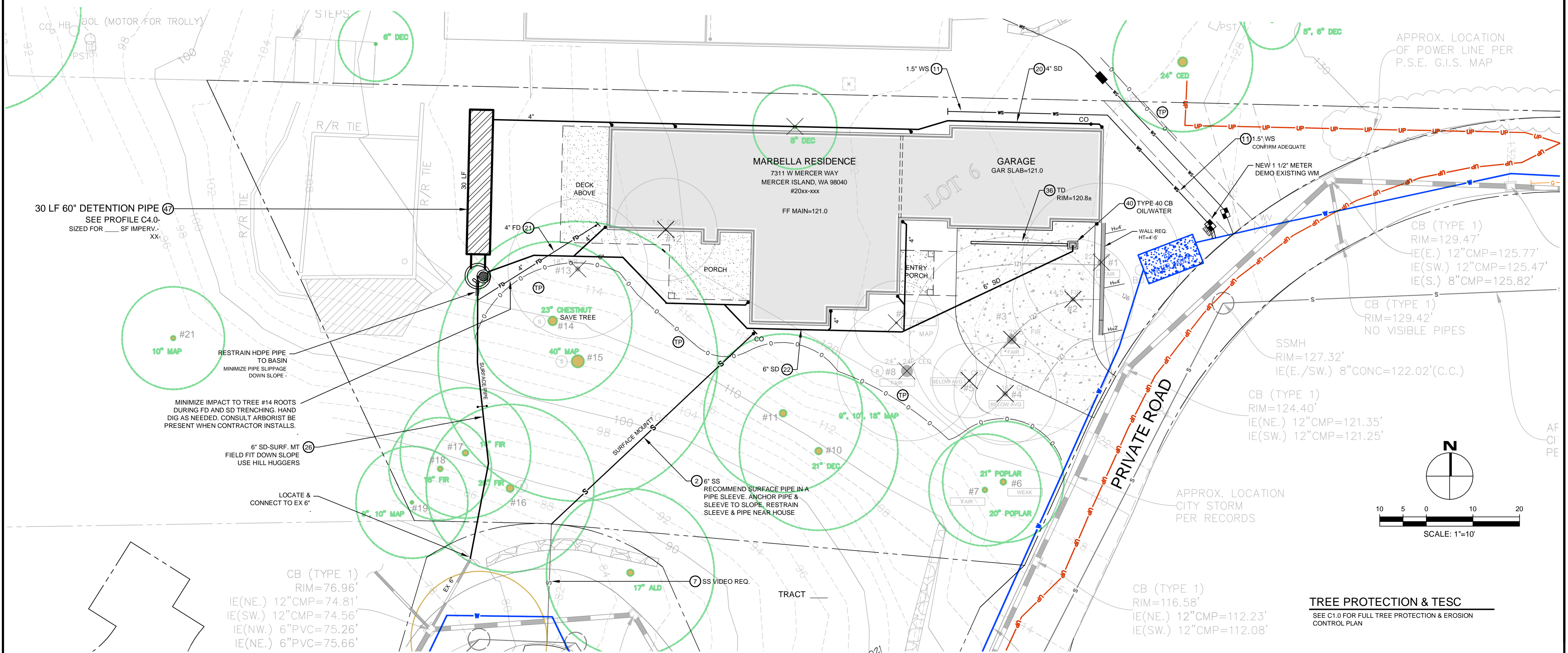
SITE IS IN AN AREA MAPPED "INFILTRATING LID FACILITIES ARE NOT PERMITTED" ON THE "LOW IMPACT DEVELOPMENT INFILTRATION FEASIBILITY ON MERCER ISLAND" MAP.
INFILTRATION IS NOT PROPOSED.

SOIL AMENDMENT REQUIRED

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

SOIL INSPECTION REQUIRED

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

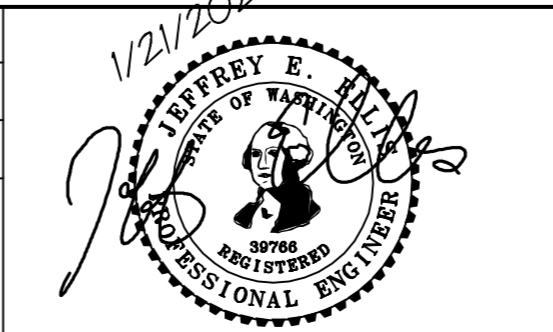


TREE PROTECTION & TESC
SEE C1.0 FOR FULL TREE PROTECTION & EROSION CONTROL PLAN

NO.	DATE	BY	REVISIONS

APPLICANT:
MASON HELMS
JASON KOEHLER

DATE: JANUARY 2021
JOB#: 1896-2
DRAFTED: SS DESIGN: SS
DIGITAL SIGNATURE



CIVIL ENGINEERING SOLUTIONS

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PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

DRAINAGE & TREE PLAN

MARBELLA RESIDENCE
7311 W. MERCER WAY, MERCER ISLAND, WA 98040

DRAWING NO:
C2.0
APN 894422-0060

MERCER ISLAND DETENTION "TABLE 1"

Table 1
ON-SITE DETENTION DESIGN FOR PROJECTS BETWEEN 500 SF AND 9,500 SF NEW PLUS REPLACED IMPERVIOUS SURFACE AREA

New and Replaced Impervious Surface Area (sf)	Detention Pipe Diameter (in)	Detention Pipe Length (ft)		Lowest Orifice Diameter (in) ⁽¹⁾		Distance from Outlet Invert to Second Orifice (ft)		Second Orifice Diameter (in)	
		B soils	C soils	B soils	C soils	B soils	C soils	B soils	C soils
500 to 1,000 sf	36"	30	22	0.5	0.5	2.2	2.0	0.5	0.8
	48"	18	11	0.5	0.5	3.3	3.2	0.9	0.8
	60"	11	7	0.5	0.5	4.2	3.4	0.5	0.6
1,001 to 2,000 sf	36"	66	43	0.5	0.5	2.2	2.3	0.9	1.4
	48"	34	23	0.5	0.5	3.2	3.3	0.9	1.2
	60"	22	14	0.5	0.5	4.3	3.6	0.9	0.9
2,001 to 3,000 sf	36"	90	66	0.5	0.5	2.2	2.4	0.9	1.9
	48"	48	36	0.5	0.5	3.1	2.8	0.9	1.5
	60"	30	20	0.5	0.5	4.2	3.7	0.9	1.1
3,001 to 4,000 sf	36"	120	78	0.5	0.5	2.4	2.2	1.4	1.6
	48"	62	42	0.5	0.5	2.8	2.9	0.8	1.3
	60"	42	26	0.5	0.5	3.8	3.9	0.9	1.3
4,001 to 5,000 sf	36"	134	91	0.5	0.5	2.8	2.2	1.7	1.5
	48"	73	49	0.5	0.5	3.6	2.9	1.6	1.5
	60"	46	31	0.5	0.5	4.6	3.2	1.6	1.3
5,001 to 6,000 sf	36"	162	109	0.5	0.5	2.7	2.2	1.8	1.8
	48"	90	59	0.5	0.5	3.5	2.9	1.7	1.5
	60"	54	37	0.5	0.5	4.6	3.6	1.6	1.4
6,001 to 7,000 sf	36"	192	128	0.5	0.5	2.7	2.2	1.9	1.8
	48"	102	68	0.5	0.5	3.7	2.9	1.9	1.6
	60"	64	43	0.5	0.5	4.6	3.6	1.8	1.5
7,001 to 8,000 sf	36"	216	146	0.5	0.5	2.8	2.2	2.0	1.9
	48"	119	79	0.5	0.5	3.8	2.9	2.2	1.7
	60"	73	49	0.5	0.5	4.5	3.6	2.0	1.6
8,001 to 8,500 sf ⁽¹⁾	36"	228	155	0.5	0.5	2.8	2.2	2.1	1.9
	48"	124	84	0.5	0.5	3.7	2.9	1.9	1.8
	60"	77	53	0.5	0.5	4.6	3.6	2.0	1.6
8,501 to 9,000 sf	36"	NA ⁽²⁾	164	0.5	0.5	NA ⁽²⁾	2.2	NA ⁽²⁾	1.9
	48"	NA ⁽²⁾	89	0.5	0.5	NA ⁽²⁾	2.9	NA ⁽²⁾	1.9
	60"	NA ⁽²⁾	55	0.5	0.5	NA ⁽²⁾	3.6	NA ⁽²⁾	1.7
9,001 to 9,500 sf ⁽²⁾	36"	NA ⁽²⁾	174	0.5	0.5	NA ⁽²⁾	2.2	NA ⁽²⁾	2.1
	48"	NA ⁽²⁾	94	0.5	0.5	NA ⁽²⁾	2.9	NA ⁽²⁾	2.0
	60"	NA ⁽²⁾	58	0.5	0.5	NA ⁽²⁾	3.7	NA ⁽²⁾	1.7

Notes:

- Minimum Requirement #7 (Flow Control) is required when the 100-year flow frequency causes a 0.15 cubic feet per second increase (when modeled in WWHM with a 15-minute timestep). Breakpoints shown in this table are based on a flat slope (0-5%). The 100-year flow frequency will need to be evaluated on a site-specific basis for projects on moderate (5-15%) or steep (> 15%) slopes.
- Soil type to be determined by geotechnical analysis or soil map.
- Sizing includes a Volume Correction Factor of 120%.
- Upper bound contributing area used for sizing.

⁽¹⁾ On Type B soils, new plus replaced impervious surface areas exceeding 8,500 sf trigger Minimum Requirement #7 (Flow Control)

⁽²⁾ On Type C soils, new plus replaced impervious surface areas exceeding 9,500 sf trigger Minimum Requirement #7 (Flow Control)

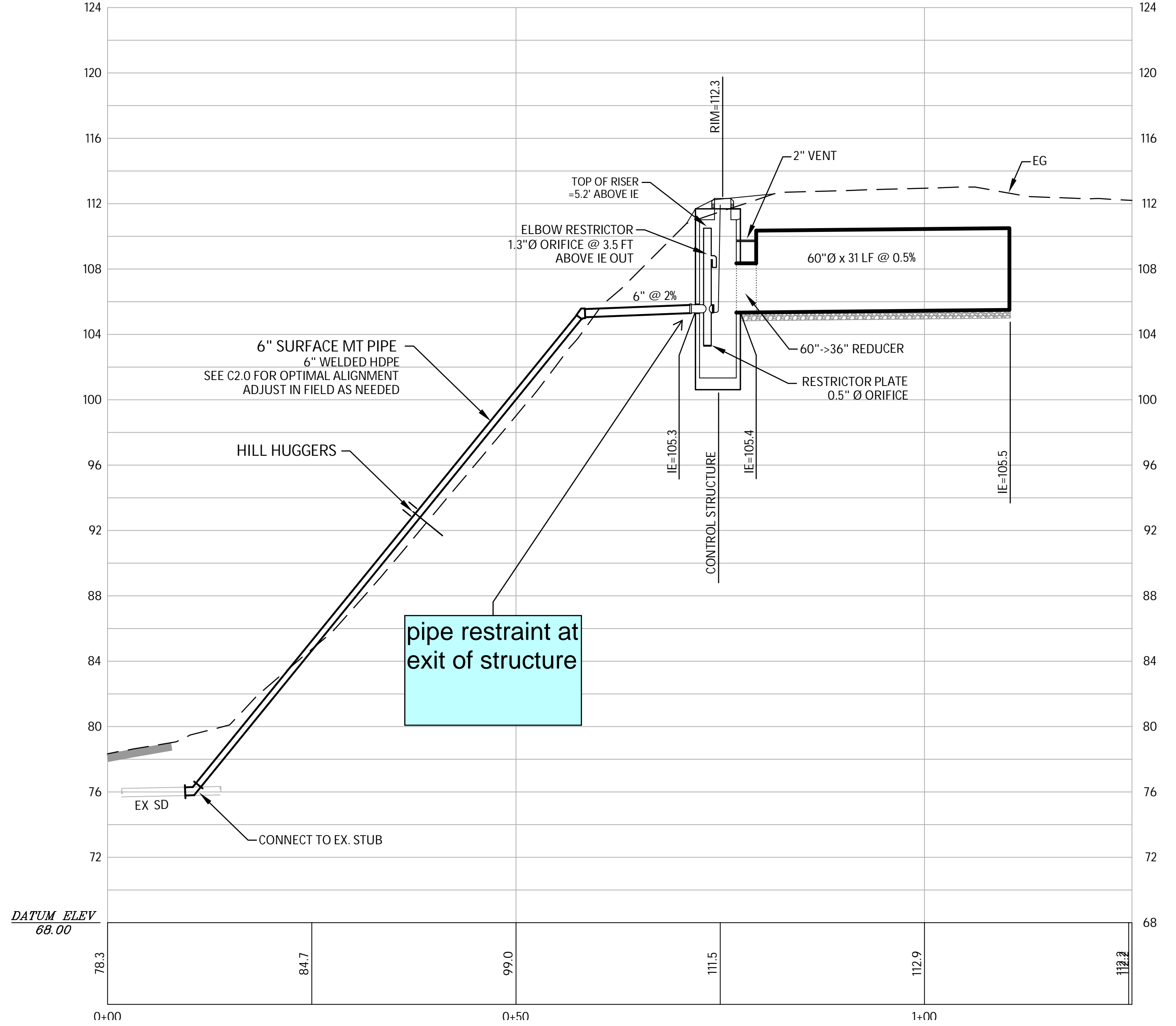
⁽³⁾ Minimum orifice diameter = 0.5 inches

in = inch
ft = feet
sf = square feet

Basis of Sizing Assumptions:
Sized per MRRS in the Stormwater Management Manual for Puget Sound Basin (1992 Ecology Manual)
SBUH, Type 1A, 24-hour hydrograph
2-year, 24-hour storm = 2 in; 10-year, 24-hour storm = 3 in; 100-year, 24-hour storm = 4 in
Predeveloped = second growth forest (CN = 72 for Type B soils, CN = 81 for Type C soils)
Developed = impervious (CN = 98)
0.5 foot of sediment storage in detention pipe
Overland slope = 5%

DETENTION PROFILE

SCALE: HORIZONTAL 1"=10', VERTICAL 1"=5'



MERCER ISLAND DETENTION DETAIL

ATTACHMENT 1
CITY OF MERCER ISLAND
ON-SITE DETENTION SYSTEM WORKSHEET
(FOR NEW PLUS REPLACED IMPERVIOUS AREA OF 9,500 SF OR LESS)

OWNER: MASON HELMS ADDRESS: 7311 W. MERCER WAY PREPARED BY: DUFFY ELLIS, P.E.
PERMIT #: _____ MERCER ISLAND, WA 98040 PHONE: 206.930.0342
NEW PLUS REPLACED IMPERVIOUS SURFACE AREA (SQ FT): 4,929 DETENTION PIPE DIA (INCH): 60" DIA DETENTION PIPE LENGTH (FT): 31 LF ORIFICE #1 DIA (INCH): _____ INCH ELEV. _____
SOIL TYPE: Type C per Geologic Map of Mercer Island PIPE MATERIAL: CMP OR HDPE DATE: SEPT. 2020
*SEE TABLE 1, THIS SHEET

CONTROL STRUCTURE NOTES:

- USE A MINIMUM OF A 5/8 IN. DIA. TYPE 2 CATCH BASIN. THE ACTUAL SIZE IS DEPENDENT ON CONNECTING PIPE MATERIAL AND DIAMETER.
- OUTLET PIPE: MIN. 4 INCH.
- FRAME MATERIAL: CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
- FRAME AND LADDER OR STEPS OFFSET 50.
- CLEANOUT GATE IS VISIBLE FROM TOP:
A. CLEAN-UP SPACE IS CLEAR OF RISER AND CLEANOUT GATE.
B. FRAME IS CLEAR OF CURB.
- IF METAL OUTLET PIPE CONNECTS TO CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
- PROVIDE AT LEAST ONE 3 X 0.690 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MINIMUM 3'-0" VERTICAL SPACING).
- THE SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 208 AND ASTM B 275, DESIGNATION 3033A, OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. A RECESSED RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MOUNTING SURFACES OF THE LE AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.
- THE UPPER CATCH BASIN IS REQUIRED IF THE LENGTH OF THE DETENTION PIPE IS GREATER THAN 50 FT.

ON-SITE DETENTION SYSTEM NOTES:

- CALL DEVELOPMENT SERVICES (206-275-7600) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
- RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
- PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 8.02 OF THE MOST CURRENT SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION. LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING: LINED CORRUGATED POLYETHYLENE PIPE (LCP), ALUMINUM PIPE, CORRUGATED STEEL PIPE, AND PIPE ARCH (MEETS ASHRAE DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
- FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.

IMPERVIOUS TABLE

Impervious Area Spreadsheet

Marbella Residence - 7311 W Mercer Way, Mercer Island, WA 98040

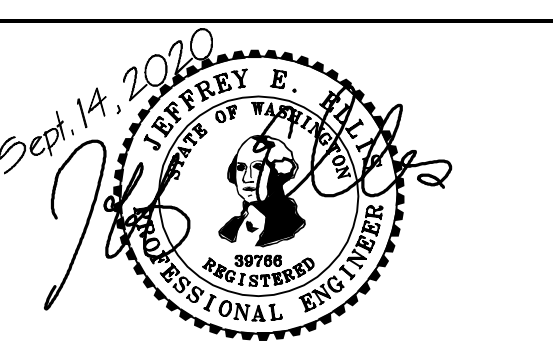
Gross Site area	17,944 sf
	0.412 acres
Existing Impervious Area to be demolished	0 sf
total existing, to be demolished =	0 sf
Proposed Impervious Area (on-site) (new + replaced)	
Roof	3,586 sf
Exposed back porch	233 sf
New on-site driveway	1,109 sf
total on-site (new + replaced) proposed =	4,929 sf
total new + replaced impervious =	4,929 sf
total new impervious =	4,929 sf
total proposed lawn/landscape =	13,015 sf

NO.	DATE	BY	REVISIONS

APPLICANT:
MASON HELMS
JASON KOEHLER

811
Know what's below.
Call before you dig.

DATE: September 14, 2020
JOB#: 1896-2
DRAFTED: SS DESIGN: SS
DIGITAL SIGNATURE



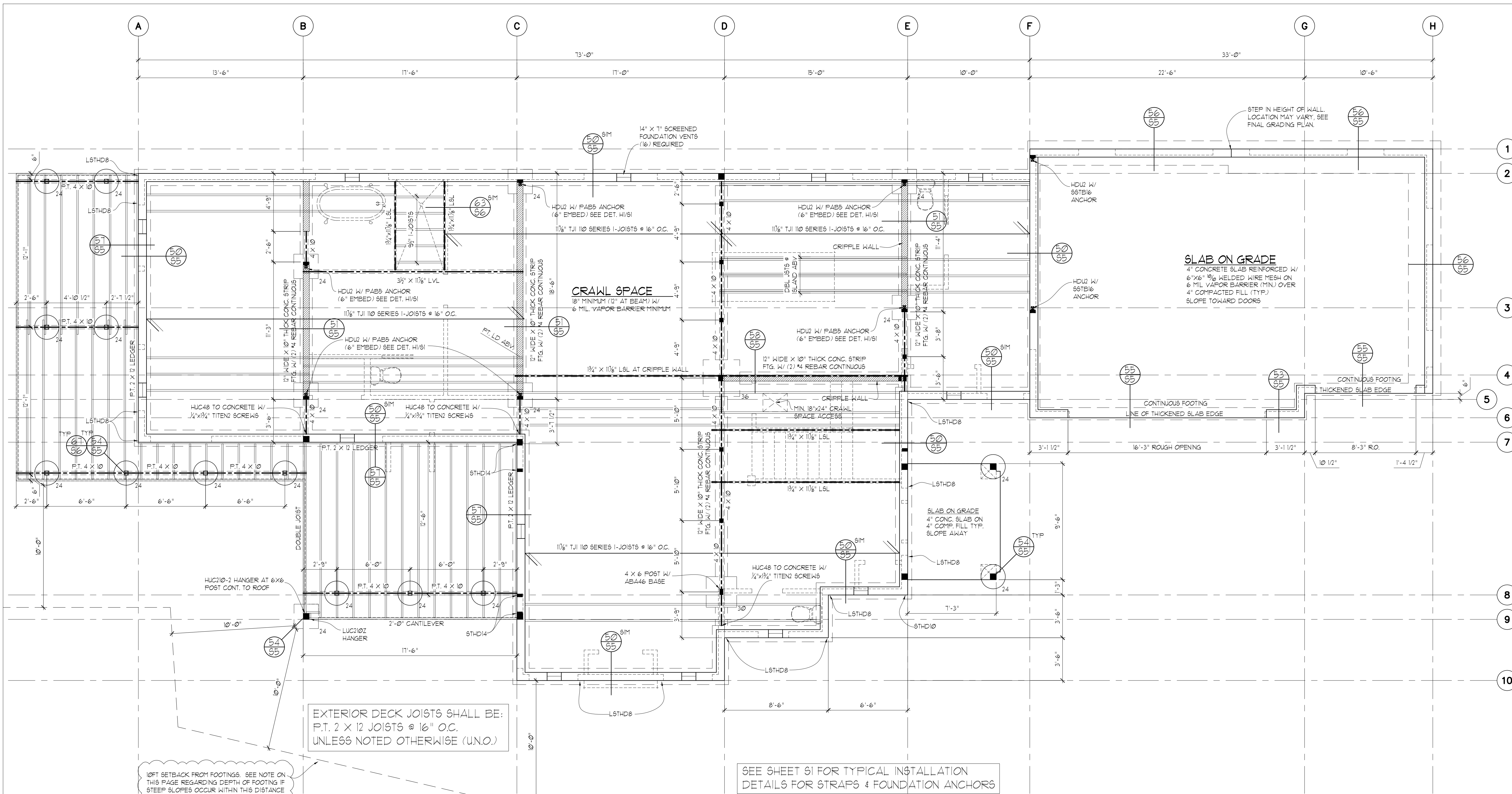
CIVIL ENGINEERING SOLUTIONS

102 NW CANAL STREET SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

DETENTION PROFILE AND DETAIL

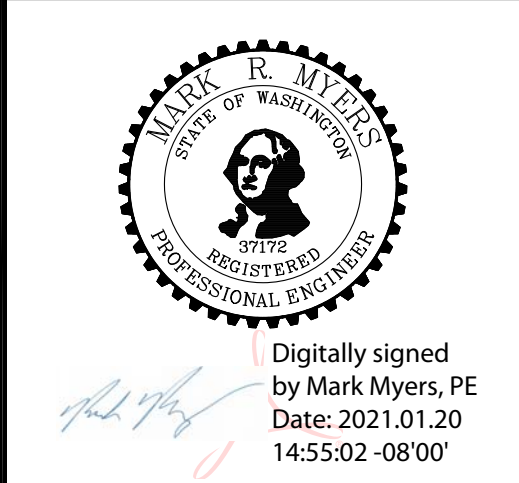
MARBELLA RESIDENCE
7311 W. MERCER WAY, MERCER ISLAND, WA 98040

DRAWING NO:
C4.0
APN 894422-0060



STRUCTURAL PLANS
MARBELLA RESIDENCE
7311 W. MERCER WAY
MERCER ISLAND, WA

Myers Engineering, LLC
 3206 50th Street Ct NW, Ste. 210-B
 Gig Harbor, WA 98335
 PH: 253-858-3248
 Email: myengineer@centurytel.net



BUILDING DEPT. APPROVAL STAMPS:

FOUNDATION/FLOOR FRAMING PLAN

- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
- SOFFIT, VENT, AND INSULATE ALL CANTILEVERED AREAS
- PROVIDE SOLID BLOCKING OVER SUPPORTS
- ALL FOOTINGS TO REST ON UNDISTURBED SOIL
- PROVIDE SUPPLEMENTAL JOISTS/BLOCKING BELOW SHEAR WALLS AS INDICATED ON FRAMING PLAN
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS AND BEAMS
- PROVIDE COPY OF CONCRETE "BATCH TICKET" ON SITE FOR REVIEW BY BUILDING OFFICIAL
- IF AN ENGINEERED JOIST FLOOR FRAMING LAYOUT IS PROVIDED BY THE JOIST SUPPLIER, THAT JOIST LAYOUT SHALL SUPERCEDE THE JOIST LAYOUT INDICATED IN THE PLANS. PROVIDE I-JOIST LAYOUT AND SPECS ON SITE FOR INSPECTION.

SCALE : 1/4" = 1'-0"

FOOTING SCHEDULE

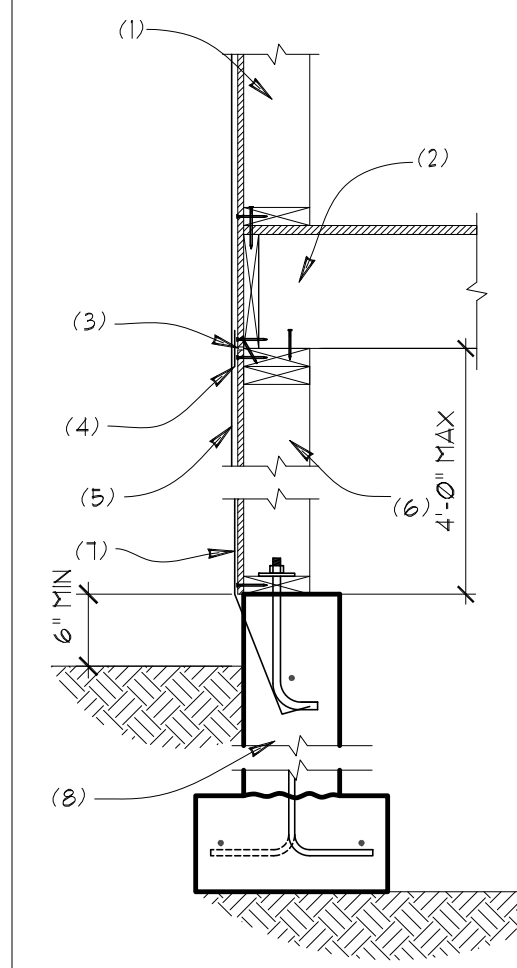
NOTE: USE MIN. 6" WIDE POST BELOW BEAM SPLICES ABOVE P.T. 4 X 4 POSTS BELOW 4 X BEAMS U.N.O. USE P.T. 6 X 6 POST BELOW 6 X BEAMS U.N.O.

24	P.T. POST ON 24" DIA. X 10" THICK PLAIN CONC. FOOTING
24	P.T. POST ON 24" X 24" X 10" THICK CONC. FOOTING W/ 2- # 4 BARS EACH WAY
30	P.T. POST ON 30" X 30" X 12" THICK CONC. FOOTING W/ 3- # 5 BARS EACH WAY
36	P.T. POST ON 36" X 36" X 12" THICK CONC. FOOTING W/ 3- # 5 BARS EACH WAY
42	P.T. POST ON 42" X 42" X 12" THICK CONC. FOOTING W/ 4- # 5 BARS EACH WAY

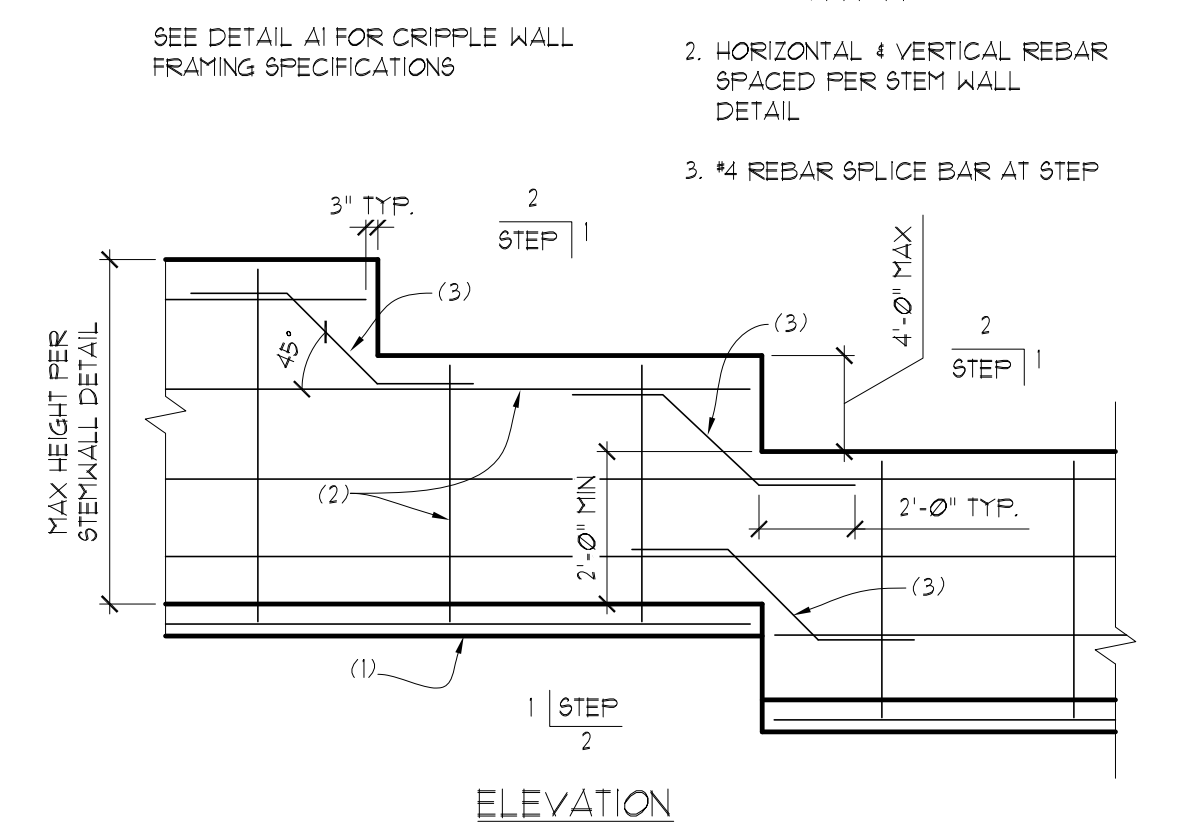
FOOTING SIZES BASED ON 1500 PSF SOIL BEARING CAPACITY

BOTTOM OF ALL FOUNDATION FOOTINGS SHALL BE SET AT SUCH A DEPTH AS TO PROVIDE 10FT HORIZONTAL CLEARANCE BETWEEN THE FOOTING AND THE FACE OF STEEP SLOPES (OVER 30FT IN HEIGHT & EXCEEDING 40% GRADIENT) SEE PLATE 1 OF ES-6947.04 PREPARED BY EARTH SOLUTIONS NW LLC & DATED 1-12-21 FOR ILLUSTRATION.

SUITABILITY OF SUBGRADE CONDITIONS & DEPTH OF EXCAVATIONS TO MEET SPECIFIED BEARING CAPACITIES AND FOOTING EMBEDMENT DEPTHS SHALL BE REVIEWED AND APPROVED BY GEOTECHNICAL ENGINEER OF RECORD PRIOR TO CONCRETE PLACEMENT



A1 CRIPPLE WALL FOR SLOPED LOTS
 SCALE: 3/4" = 1'

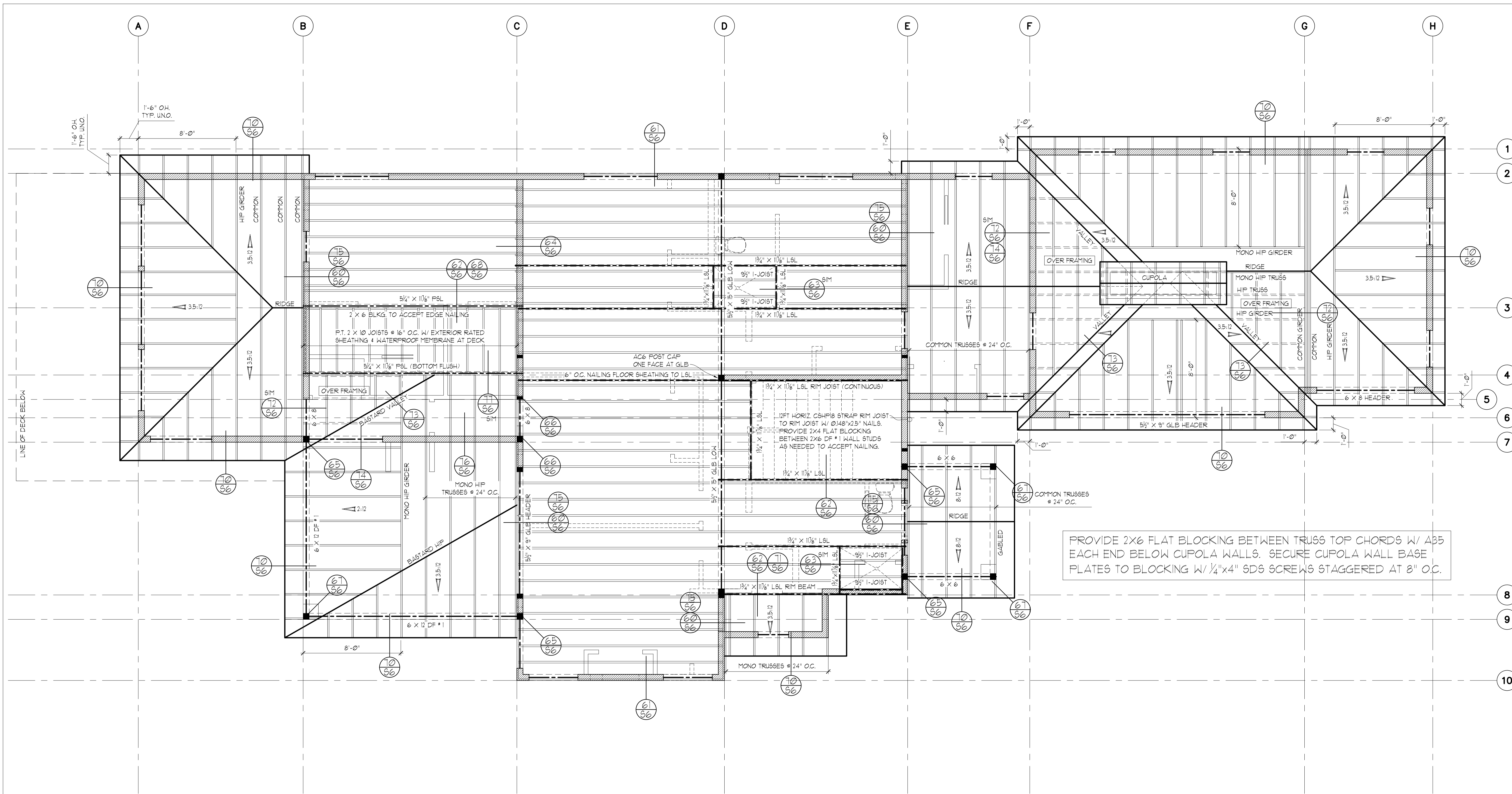


A2 STEPPED FOOTING AT SLOPED LOT
 SCALE: NTS

10FT SETBACK FROM FOOTINGS. SEE NOTE ON THIS PAGE REGARDING DEPTH OF FOOTING IF STEEP SLOPES OCCUR WITHIN THIS DISTANCE

EXTERIOR DECK JOISTS SHALL BE: P.T. 2 X 12 JOISTS @ 16" O.C. UNLESS NOTED OTHERWISE (U.N.O.)

SEE SHEET S1 FOR TYPICAL INSTALLATION DETAILS FOR STRAPS & FOUNDATION ANCHORS



UPPER FLOOR JOISTS SHALL BE:
 1 1/8" TJI 110 SERIES I-JOISTS @ 16" O.C.
 UNLESS NOTED OTHERWISE (U.N.O.)

DROPPED FRAMING FOR FLUSH ENTRY SHOWERS:
 PROVIDE 2X6 LEDGERS & BLOCKING AROUND PERIMETER TO ACCEPT EDGE NAILING. SECURE 2X6 TO PERIMETER FRAMING W/ 10d COMMON NAILS (0.148"x3") STAGGERED AT 6" O.C.

UPPER FLOOR FRAMING PLAN

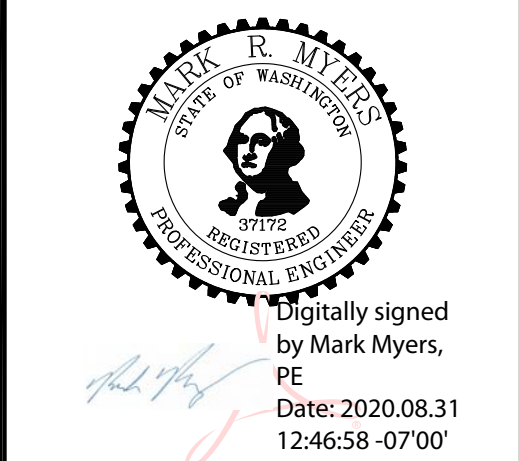
SCALE : 1/4" = 1'-0"

- SOFFIT, VENT, AND INSULATE ALL CANTILEVERED AREAS
- EXTERIOR WALLS TO BE 2X6 AT 16" O.C., U.N.O.
- ALL DOOR/WINDOW HEADERS AT THIS LEVEL TO BE 4X10 DF #2 AT BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- INTERIOR PARTITIONS TO BE 2X4 AT 16" O.C. (2X6 @ PLUMBING WALLS) U.N.O.
- PROVIDE SUPPLEMENTAL JOISTS/BLOCKING BELOW SHEAR WALLS AS INDICATED ON FRAMING PLAN
- HEADERS 8FT OR LONGER SHALL BE PROVIDED W/ (2) TRIMMER (JACK) STUDS AT EACH END U.N.O.
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS AND BEAMS AND PROVIDE MATCHING POSTS IN WALL BELOW
- IF AN ENGINEERED JOIST FLOOR FRAMING LAYOUT IS PROVIDED BY THE JOIST SUPPLIER, THAT JOIST LAYOUT SHALL SUPERCEDE THE JOIST LAYOUT INDICATED IN THE PLANS. PROVIDE I-JOIST LAYOUT AND SPECS ON SITE FOR INSPECTION.

STRUCTURAL PLANS

MARBELLA RESIDENCE
 7311 W. MERCER WAY
 MERCER ISLAND, WA

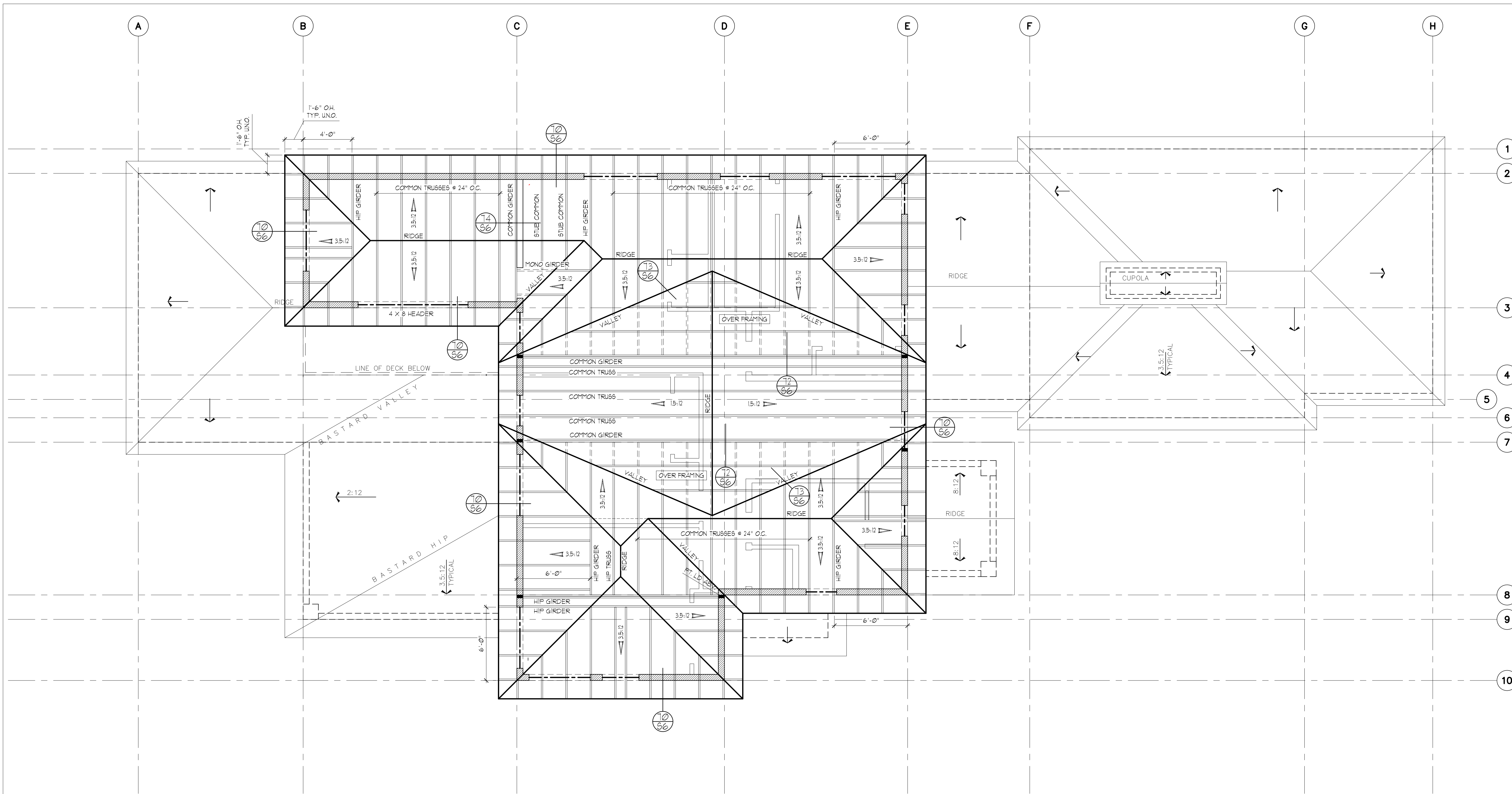
Myers Engineering, LLC
 3206 50th Street Ct NW, Ste. 210-B
 Gig Harbor, WA 98335
 PH: 253-858-3248
 Email: myengineer@centurytel.net



BUILDING DEPT. APPROVAL STAMPS:

REVISION DATE:	INIT:	PROJECT #:

S3	DATE: 8-31-2020
	INIT: MM
	PROJECT #: 2302



ROOF FRAMING PLAN

SCALE : 1/4" = 1'-0"

- PROVIDE VENTED BLOCKING AT REQUIRED TRUSS/RAFTER BAYS
- ALL MANUFACTURED TRUSSES:
 - * SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE FOR FRAMING INSPECTION
 - * SHALL NOT BE FIELD ALTERED WITHOUT ENGINEER'S APPROVAL
 - * SHALL BE INSTALLED AND BRACED TO MANUFACTURER'S SPECIFICATION
 - * SHALL CARRY MANUFACTURER'S STAMP ON EACH TRUSS
- ALL BEAMS AND HEADERS AT THIS LEVEL TO BE 4X8 DF #2 AT BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- HEADERS 8FT OR LONGER SHALL BE PROVIDED W/ (2) TRIMMER (JACK) STUDS AT EACH END U.N.O.
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS AND BEAMS AND PROVIDE MATCHING POSTS IN WALL BELOW

STRUCTURAL PLANS

MARBELLA RESIDENCE
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MERCER ISLAND, WA

Myers Engineering, LLC
3206 50th Street Ct NW, Ste. 210-B
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Email: myengineer@centurytel.net



Digitally signed
by Mark Myers, PE
Date: 2020.08.31
12:46:33 -0700

BUILDING DEPT. APPROVAL STAMPS:

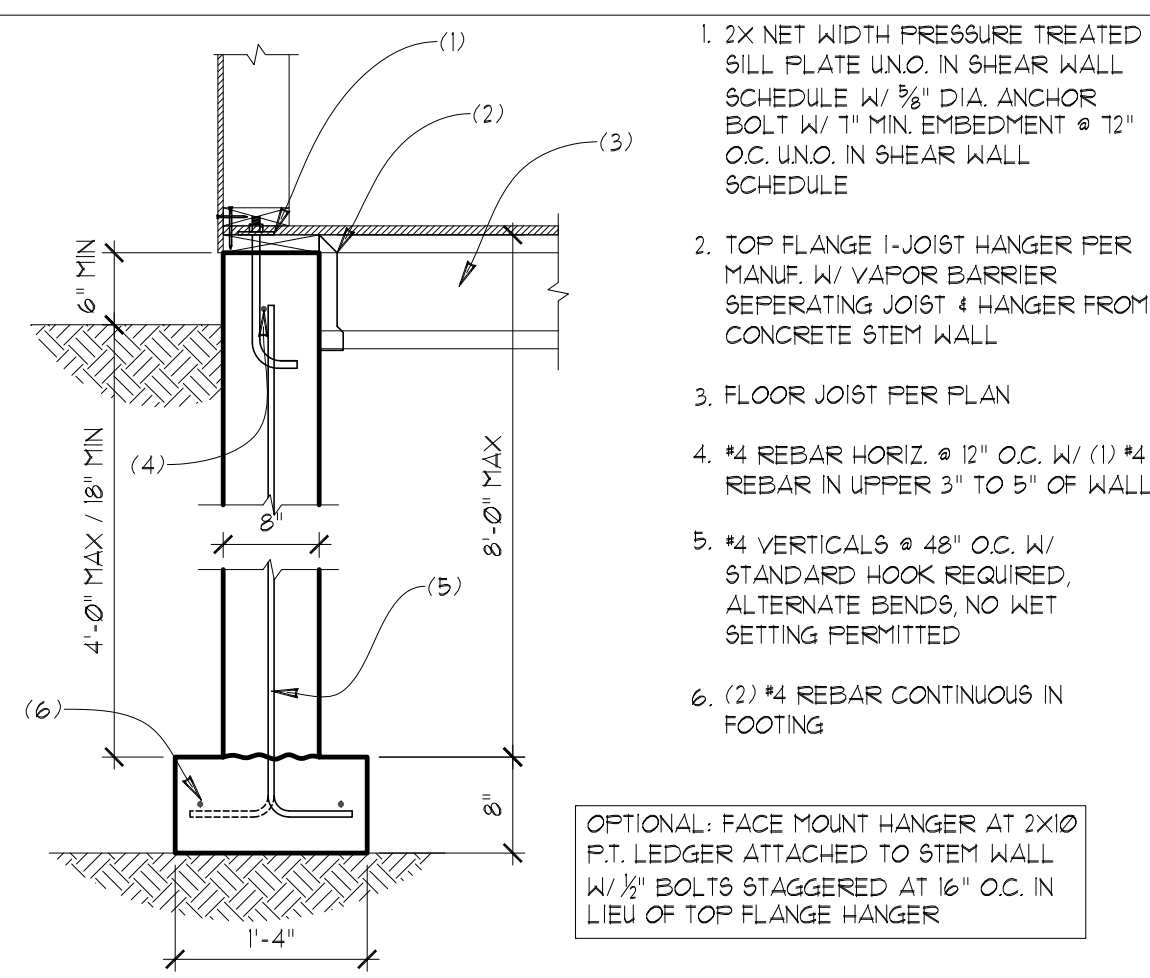
REVISION DATE:	INITI:	PROJECT #:

S4

DATE:
8-31-2020

INIT:
MM

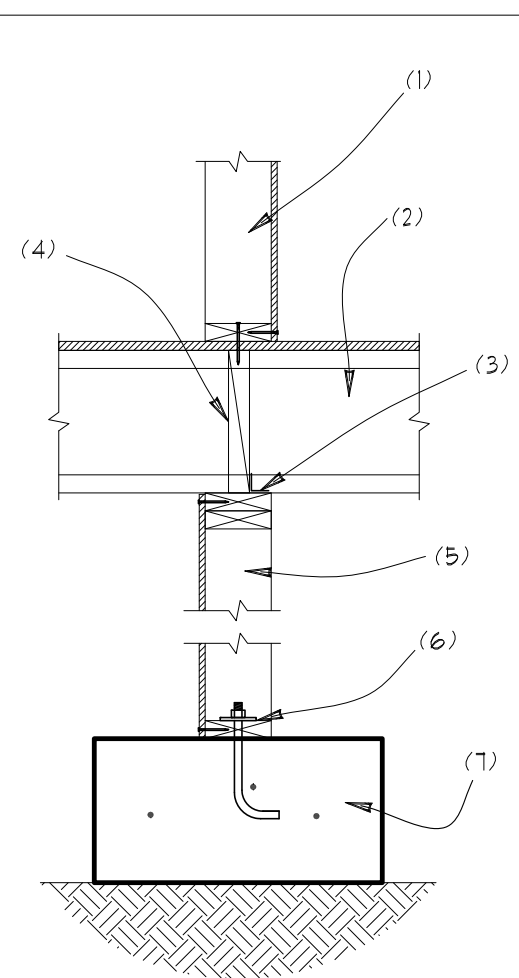
PROJECT #:
2302



50 8" STEM WALL AT DROPPED JOISTS
SCALE: 3/4"=1'

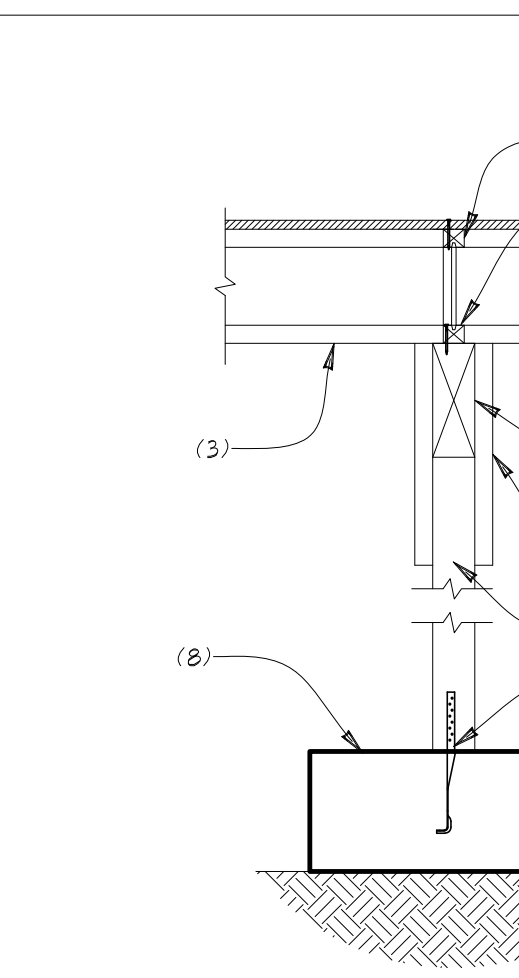
- 2x NET WIDTH PRESSURE TREATED SILL PLATE UNO. IN SHEAR WALL SCHEDULE W/ 3/8" DIA. ANCHOR BOLT W/ 1" MIN. EMBEDMENT @ 12" O.C. UNO. IN SHEAR WALL SCHEDULE
- TOP FLANGE I-JOIST HANGER PER MANUF. W/ VAPOR BARRIER SEPARATING JOIST + HANGER FROM CONCRETE STEM WALL
- FLOOR JOIST PER PLAN
- #4 REBAR HORIZ. @ 12" O.C. W/ (1) #4 REBAR IN UPPER 3" TO 5" OF WALL
- #4 VERTICALS @ 48" O.C. W/ STANDARD HOOK REQUIRED. ALTERNATE BENDS, NO WET SETTING PERMITTED
- (2) #4 REBAR CONTINUOUS IN FOOTING

OPTIONAL: FACE MOUNT HANGER AT 2x10 P.T. LEDGER ATTACHED TO STEM WALL W/ 1/2" BOLTS STAGGERED AT 16" O.C. IN LIEU OF TOP FLANGE HANGER



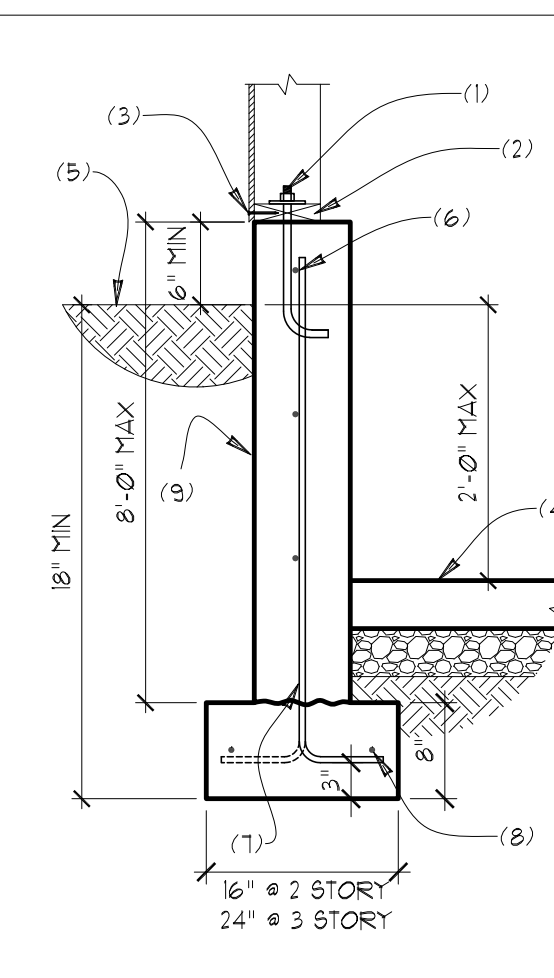
51 CRIPPLE WALL BEARING WALL
SCALE: 3/4"=1'

- SHEAR WALL W/ NAILING PER SHEAR WALL SCHEDULE
- JOIST PER PLAN
- SIMPSON A35 @ 16" O.C.
- L&L BLOCKING TO MATCH JOISTS
- CRIPPLE WALL W/ STUDS @ 16" O.C. SHEATHED + NAILED PER SCHEDULE FOR SHEAR WALL ABOVE
- PRESSURE TREATED SILL PLATE
- FOOTING PER PLAN W/ 3/8" DIA. ANCHOR BOLTS PER SHEAR WALL SCHEDULE



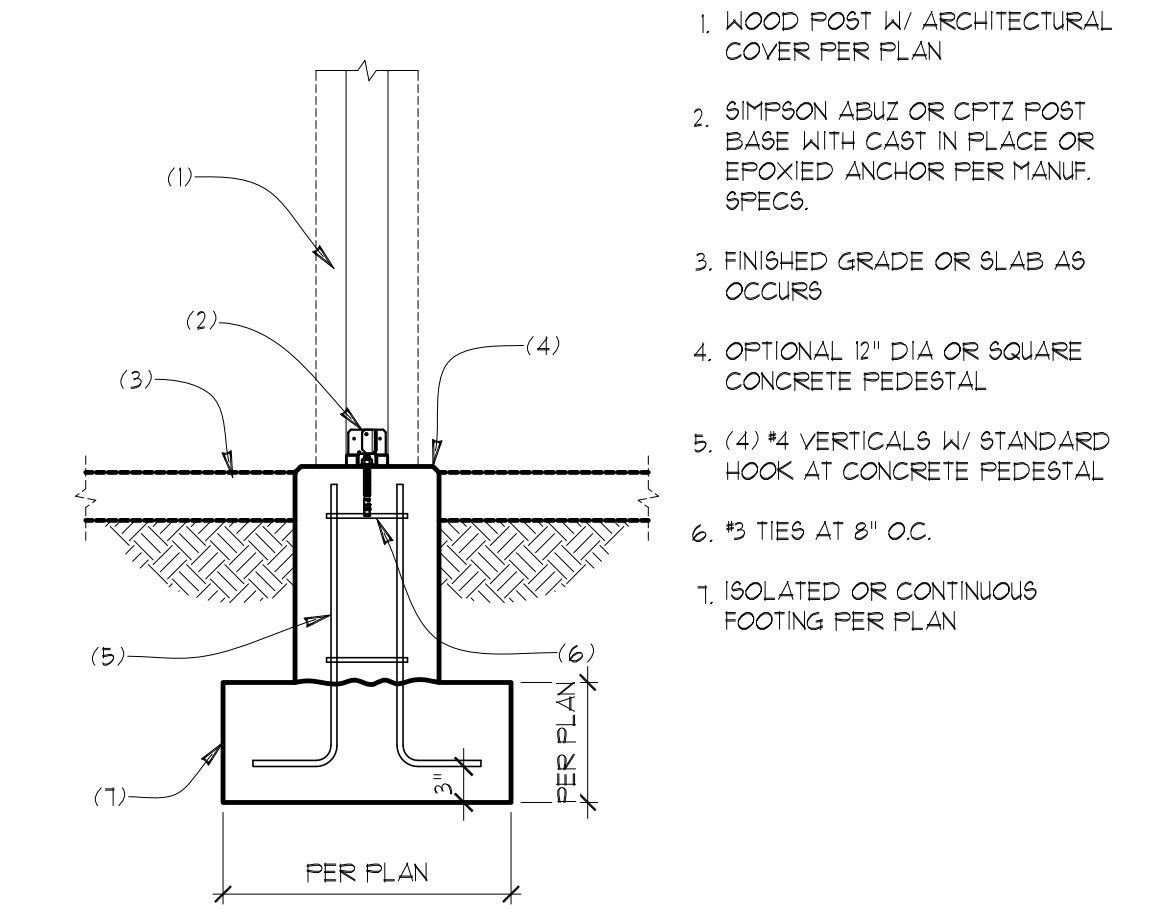
52 INTERIOR FOOTING @ BEAM LINE
SCALE: 3/4"=1'

- I-JOIST BLOCKING REQUIRED AT BEARING OR SHEAR WALLS ABOVE OR WHEN JOISTS ARE NOT CONTINUOUS AT BEAM
- SECURE BLOCKING TO BEAM W/ 8d NAILS @ 6" O.C.
- I-JOIST PER PLAN
- BEAM PER PLAN
- 2x OR SHEATHING CLEATS BOTH SIDES TO SECURE BEAM TO POST (2) 10d NAILS PER CLEAT PER MEMBER
- 4x OR 6x TREATED POST (4x6 MIN AT BEAM SPLICE)
- SIMPSON MAB15 ANCHOR W/ 10dX1/2" COMMON NAILS (Ø1/4"x15") TO POST
- ISOLATED OR CONTINUOUS SPREAD FOOTING PER PLAN



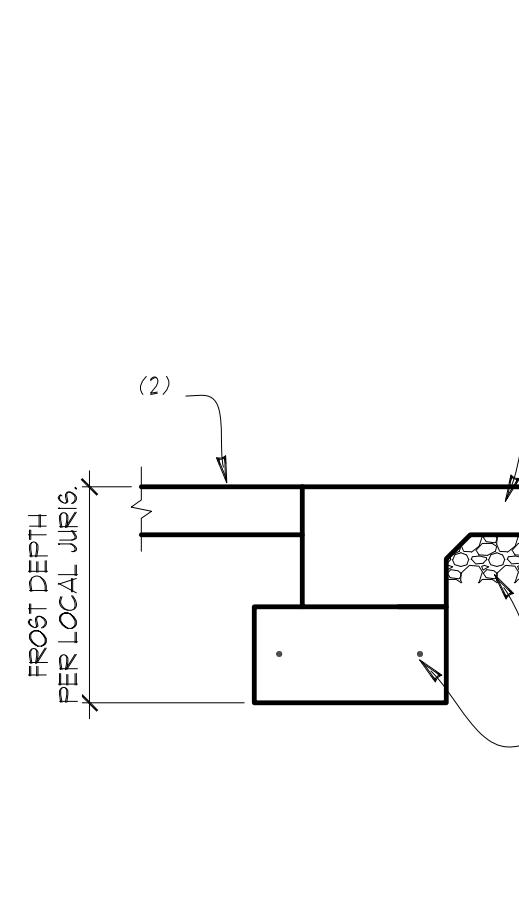
53 8" STEM WALL AT SLAB ON GRADE
SCALE: 3/4"=1'

- 3/8" DIA. ANCHOR BOLT @ 12" O.C. UNO. IN SHEAR WALL SCHEDULE W/ 1" MIN. EMBEDMENT
- 2x PRESSURE TREATED SILL PLATE UNO. IN SHEAR WALL SCHEDULE
- SHEAR WALL EDGE NAILING PER SHEAR WALL SCHEDULE
- 4" CONCRETE SLAB OVER 4" COMPACT FILL
- FINISH GRADE OR SLAB AS OCCURS
- #4 HORIZ. REBAR @ 12" O.C. W/ (1) #4 REBAR IN UPPER 3" TO 5" OF WALL
- #4 VERTICALS @ 18" O.C. W/ STANDARD HOOK REQUIRED. ALTERNATE BENDS, NO WET SETTING PERMITTED
- (2) #4 REBAR CONTINUOUS IN FOOTING
- INSTALL DAMPPROOFING OR WATERPROOFING PER IRC R406 WHERE INTERIOR SLAB IS BELOW EXTERIOR GRADE



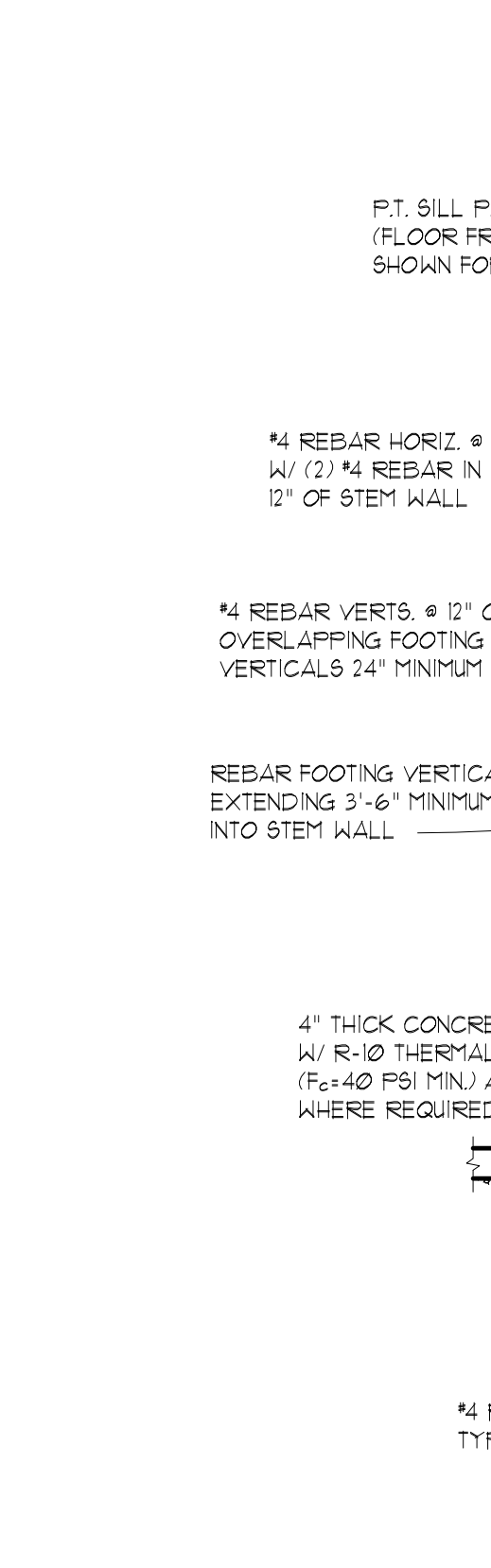
54 FOOTING AT WOOD COLUMN
SCALE: 3/4"=1'

- WOOD POST W/ ARCHITECTURAL COVER PER PLAN
- SIMPSON ABUZ OR OPTZ POST BASE WITH CAST IN PLACE OR EPOXYED ANCHOR PER MANUF. SPECS.
- FINISHED GRADE OR SLAB AS OCCURS
- OPTIONAL 12" DIA OR SQUARE CONCRETE PEDESTAL
- (4) #4 VERTICALS W/ STANDARD HOOK AT CONCRETE PEDESTAL
- #3 TIES AT 8" O.C.
- ISOLATED OR CONTINUOUS FOOTING PER PLAN



55 THICKENED SLAB EDGE AT GARAGE
SCALE: 3/4"=1'

- 4" CONCRETE SLAB PER PLAN W/ THICKENED EDGE AT DOOR OPENING
- FINISH GRADE OR SLAB AS OCCURS
- (2) #4 REBAR IN CONTINUOUS FOOTING
- 4" COMPACTED GRANULAR FILL



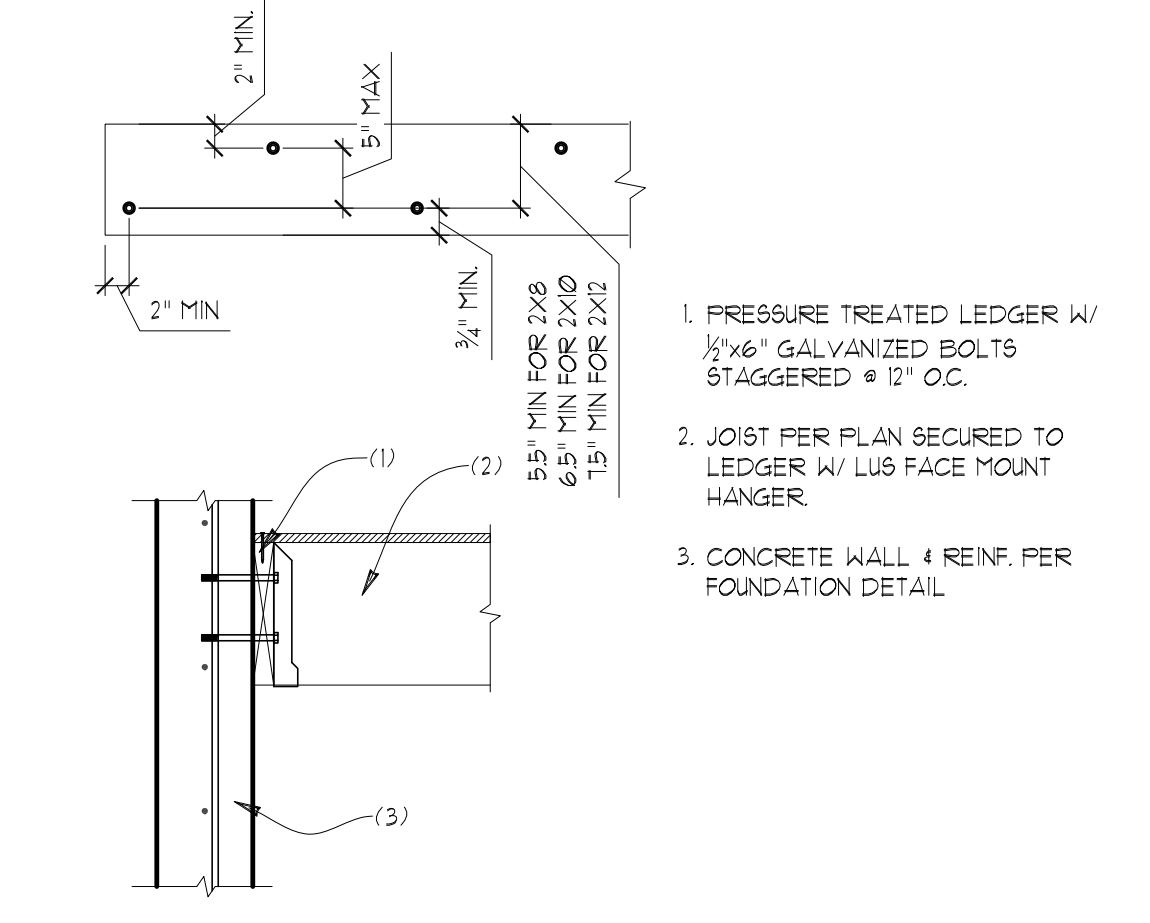
56 CANTILEVER RETAINING WALL
SCALE: 1/2"=1'

- 2x SHEAR WALL W/ NAILING PER SHEAR WALL SCHEDULE
- JOIST PER PLAN
- SIMPSON A35 @ 12" O.C.
- 2x4 FLAT BLOCKING AT 24" O.C.
- 2x6 CRIPPLE WALL W/ STUDS @ 16" O.C. SHEATHED + NAILED W/ 8d NAILS @ 4" O.C. EDGE + 12" O.C. FIELD
- 2x6 PRESSURE TREATED SILL PLATE
- FOOTING PER PLAN W/ 3/8" DIA. ANCHOR BOLTS PER SHEAR WALL SCHEDULE

DESIGN CRITERIA:
1500 PSF ALLOWABLE SOIL BEARING PRESSURE
35 PCF ACTIVE EARTH PRESSURE
300 PCF PASSIVE EARTH PRESSURE
0.35 COEFFICIENT OF FRICTION

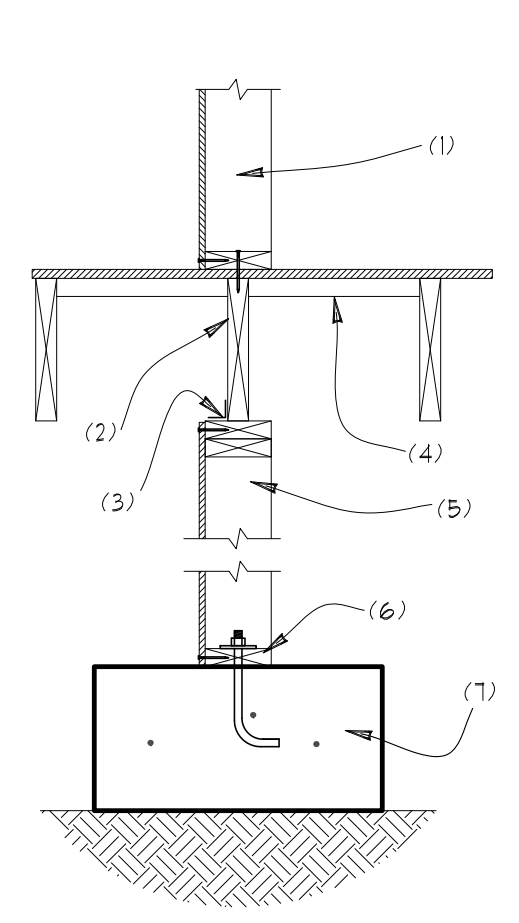
BACKFILL FOUNDATION WALLS WITH 18" OF PROPERLY COMPACTED GRANULAR FILL CONTAINING LESS THAN 5% FINES TO WITHIN 12" OF FINAL GRADE (COMPACT TO 92% OF MAX DRY DENSITY PER MODIFIED PROCTOR METHOD)
INSTALL 4" DIA. PERFORATED SMOOTH PVC FOOTING DRAINS ALONG THE BASE OF THE DRAINAGE ZONE BEHIND THE WALL TO DIRECT ANY ACCUMULATED WATER TO AN APPROPRIATE DISCHARGE. A NONWOVEN GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE DRAINAGE MATERIAL AND THE REMAINING WALL BACKFILL. FILTER FABRIC SHALL EXTEND OVER THE TOP OF THE DRAINAGE MATERIAL.

RETAINED HEIGHT	FOOTING WIDTH	FOOTING VERTICALS	FOOTING REBAR	FOOTING THICKNESS
3'-0"	2'-0"	#4 REBAR @ 10" O.C.	N/A	10"
5'-0"	2'-8"	#4 REBAR @ 10" O.C.	N/A	10"
7'-0"	3'-8"	#4 REBAR @ 6" O.C.	#4 REBAR @ 9" O.C.	10"



57 LEDGER AT CONCRETE WALL
SCALE: 3/4"=1'

- PRESSURE TREATED LEDGER W/ 1/2"x6" GALVANIZED BOLTS STAGGERED @ 12" O.C.
- JOIST PER PLAN SECURED TO LEDGER W/ LUS FACE MOUNT HANGER
- CONCRETE WALL + REINF. PER FOUNDATION DETAIL



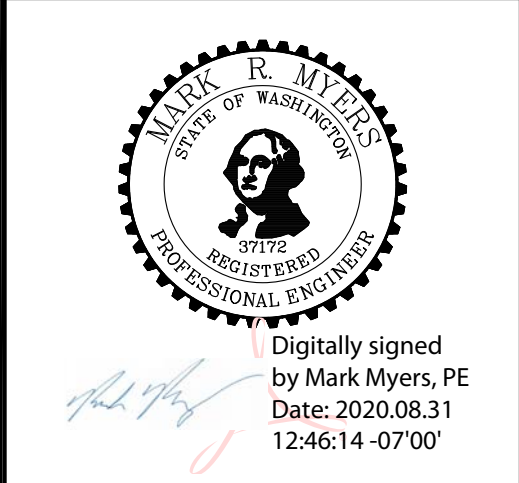
58 CRIPPLE WALL BELOW SHEAR WALL
SCALE: 3/4"=1'

- 2x SHEAR WALL W/ NAILING PER SHEAR WALL SCHEDULE
- JOIST PER PLAN
- SIMPSON A35 @ 12" O.C.
- 2x4 FLAT BLOCKING AT 24" O.C.
- 2x6 CRIPPLE WALL W/ STUDS @ 16" O.C. SHEATHED + NAILED W/ 8d NAILS @ 4" O.C. EDGE + 12" O.C. FIELD
- 2x6 PRESSURE TREATED SILL PLATE
- FOOTING PER PLAN W/ 3/8" DIA. ANCHOR BOLTS PER SHEAR WALL SCHEDULE

STRUCTURAL PLANS

MARBELLA RESIDENCE
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MERCER ISLAND, WA

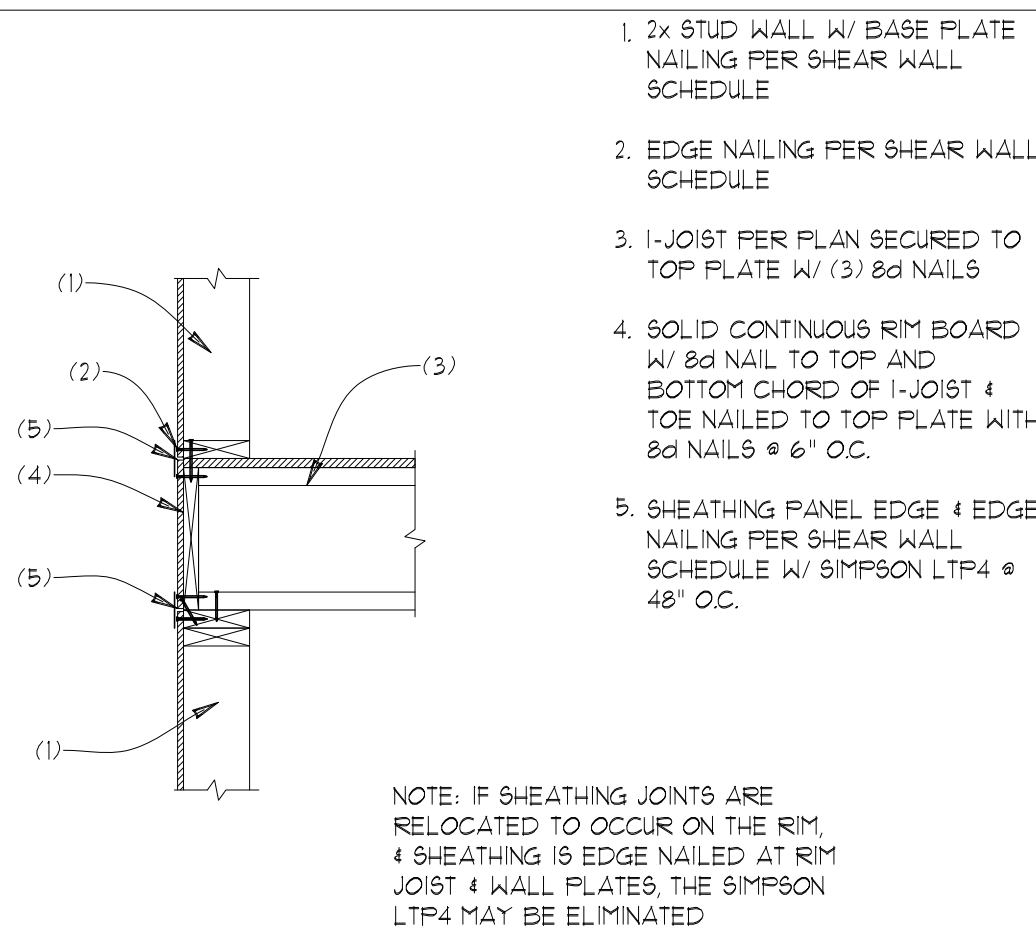
Myers Engineering, LLC
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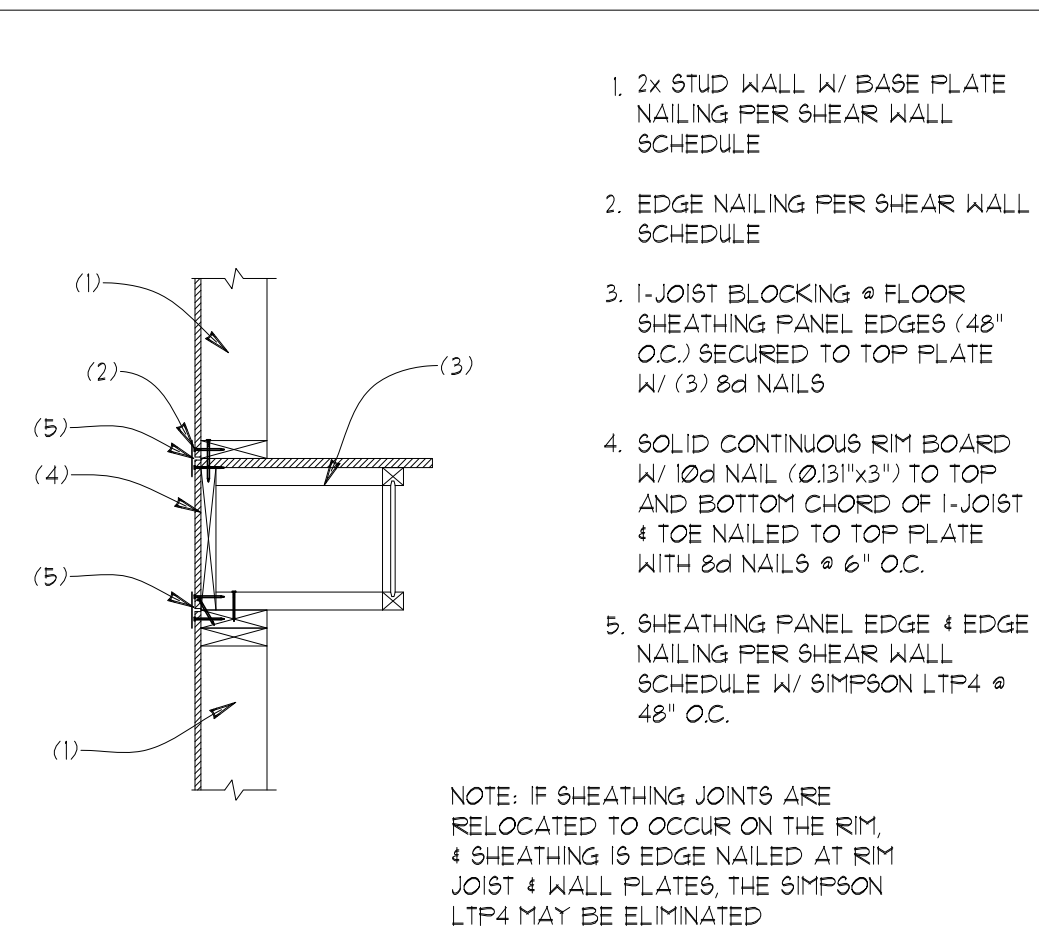
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REVISION DATE:	INIT:	PROJECT #:

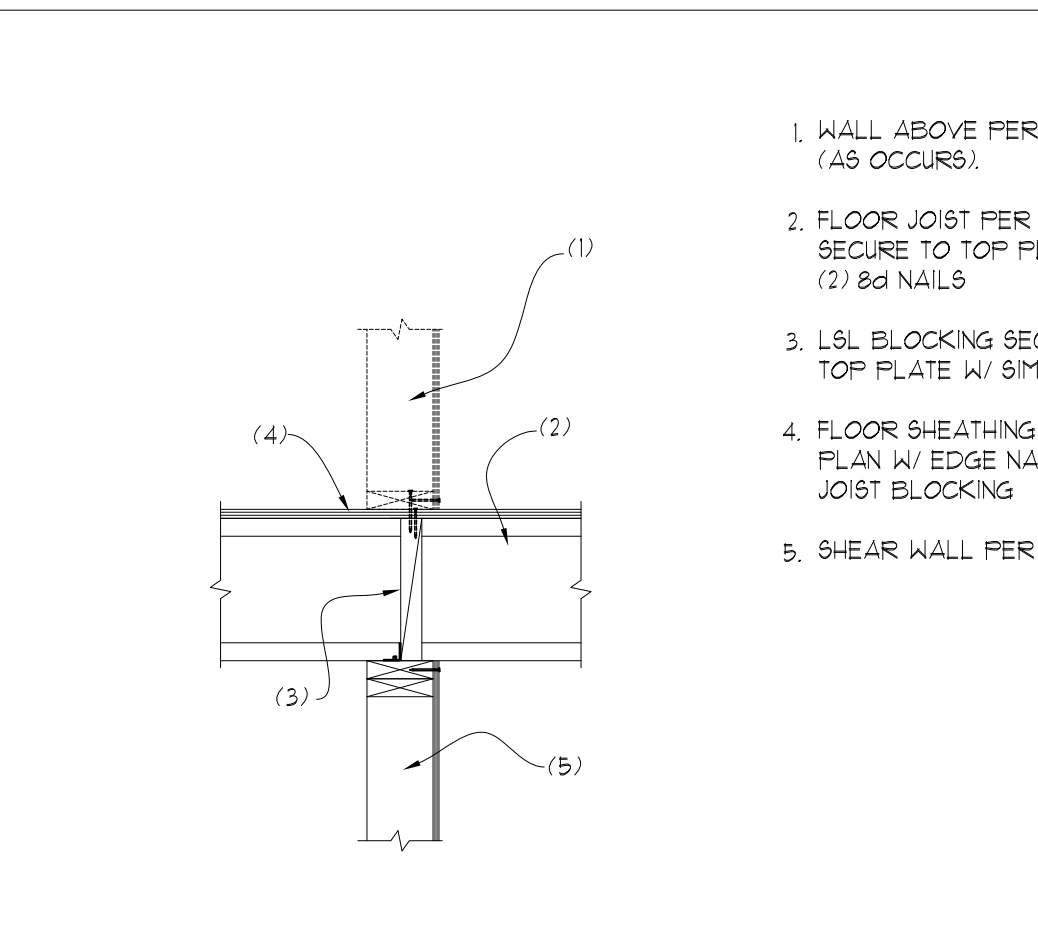
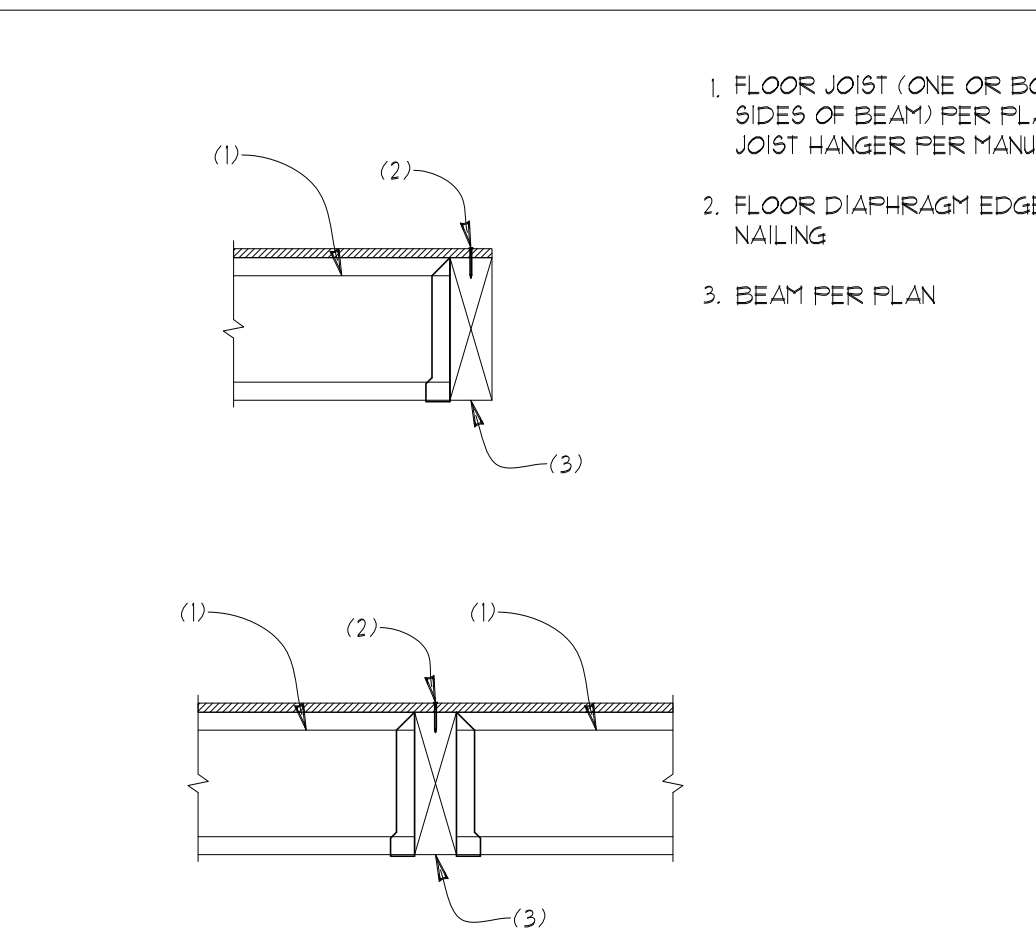
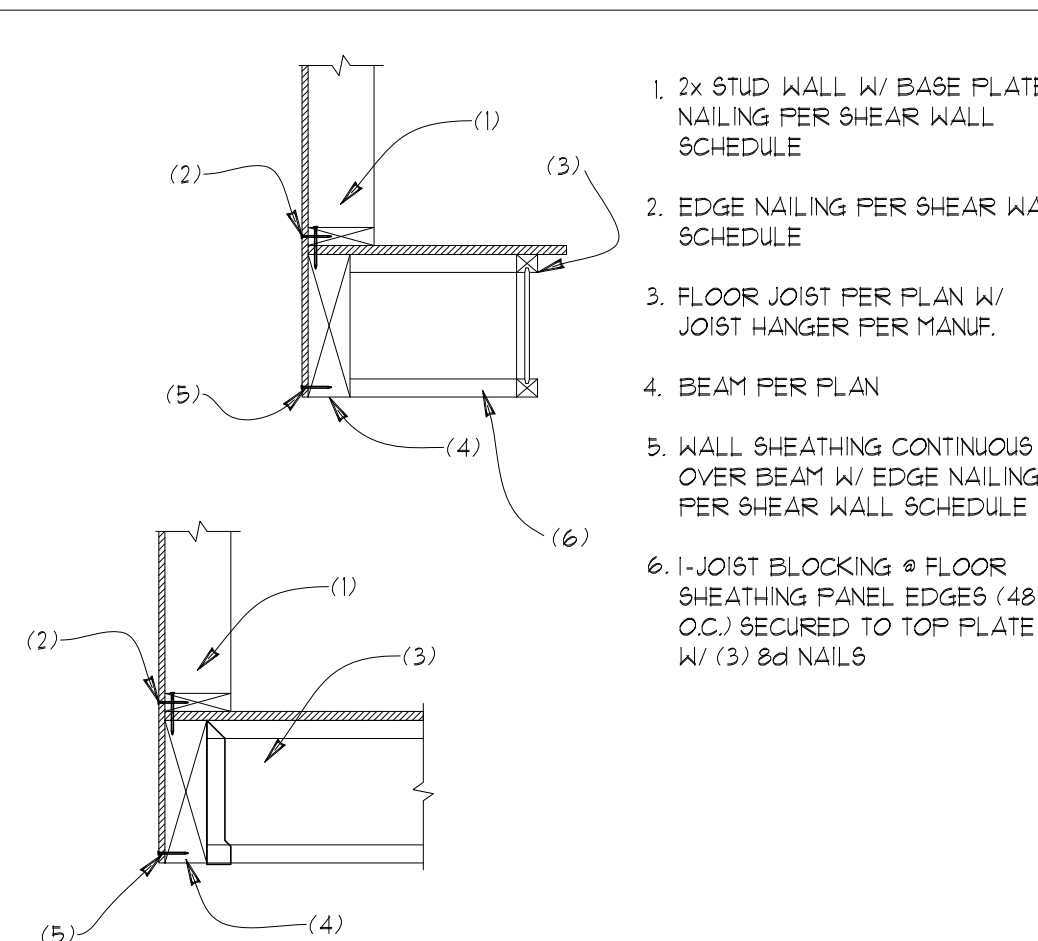
S5
DATE: 8-31-2020
INIT: MM
PROJECT #: 2302



NOTE: IF SHEATHING JOINTS ARE RELOCATED TO OCCUR ON THE RIM, SHEATHING IS EDGE NAILED AT RIM JOIST & WALL PLATES, THE SIMPSON LTP4 MAY BE ELIMINATED.



NOTE: IF SHEATHING JOINTS ARE RELOCATED TO OCCUR ON THE RIM, SHEATHING IS EDGE NAILED AT RIM JOIST & WALL PLATES, THE SIMPSON LTP4 MAY BE ELIMINATED.



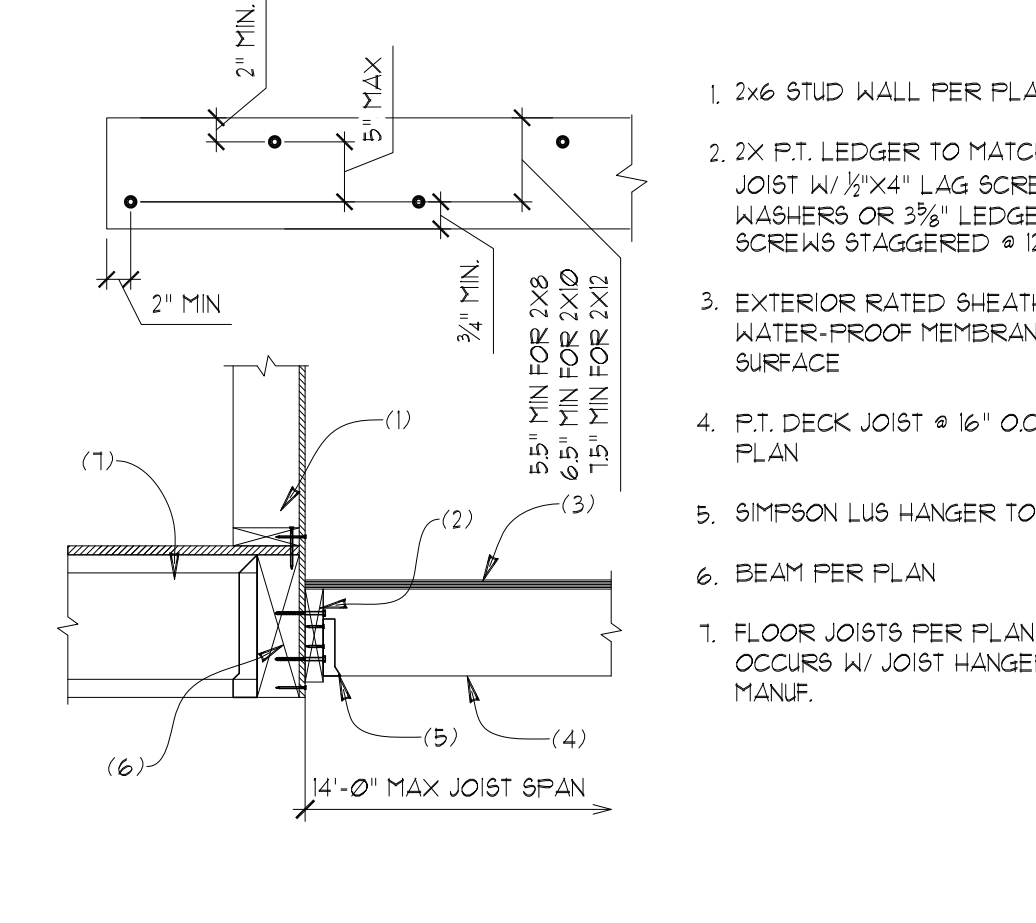
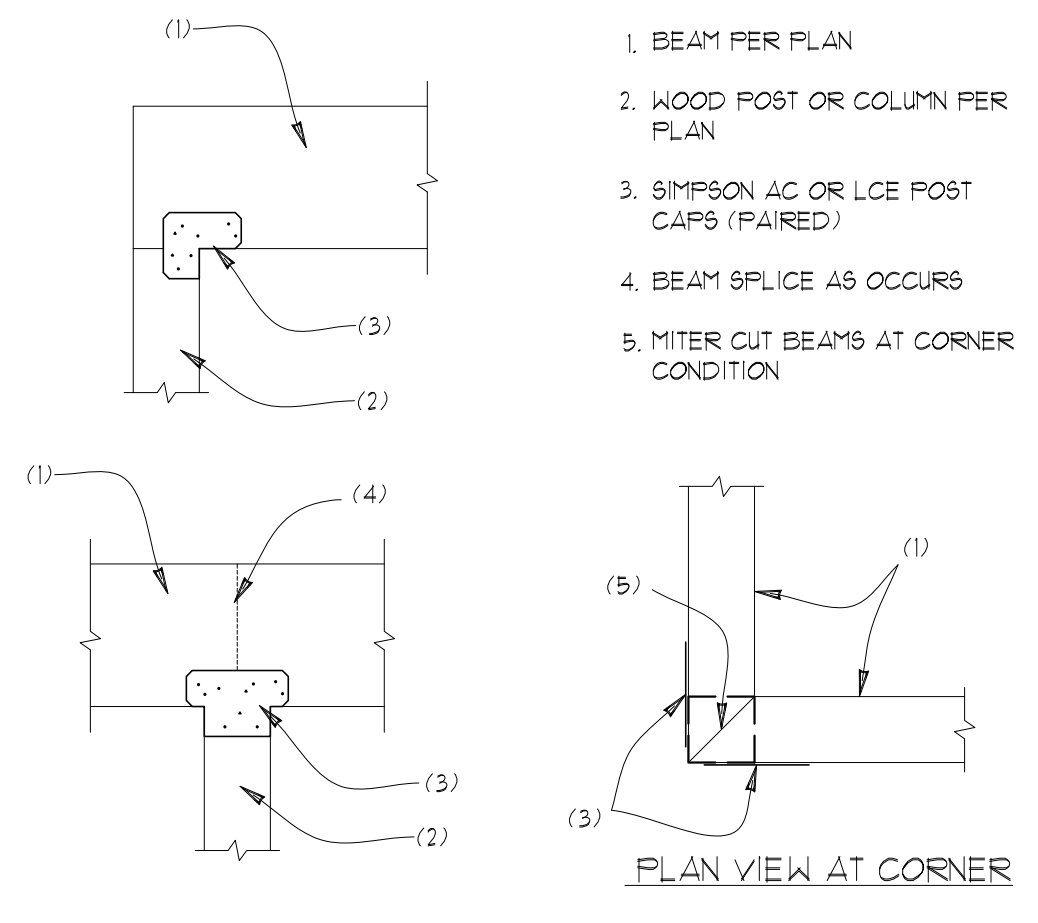
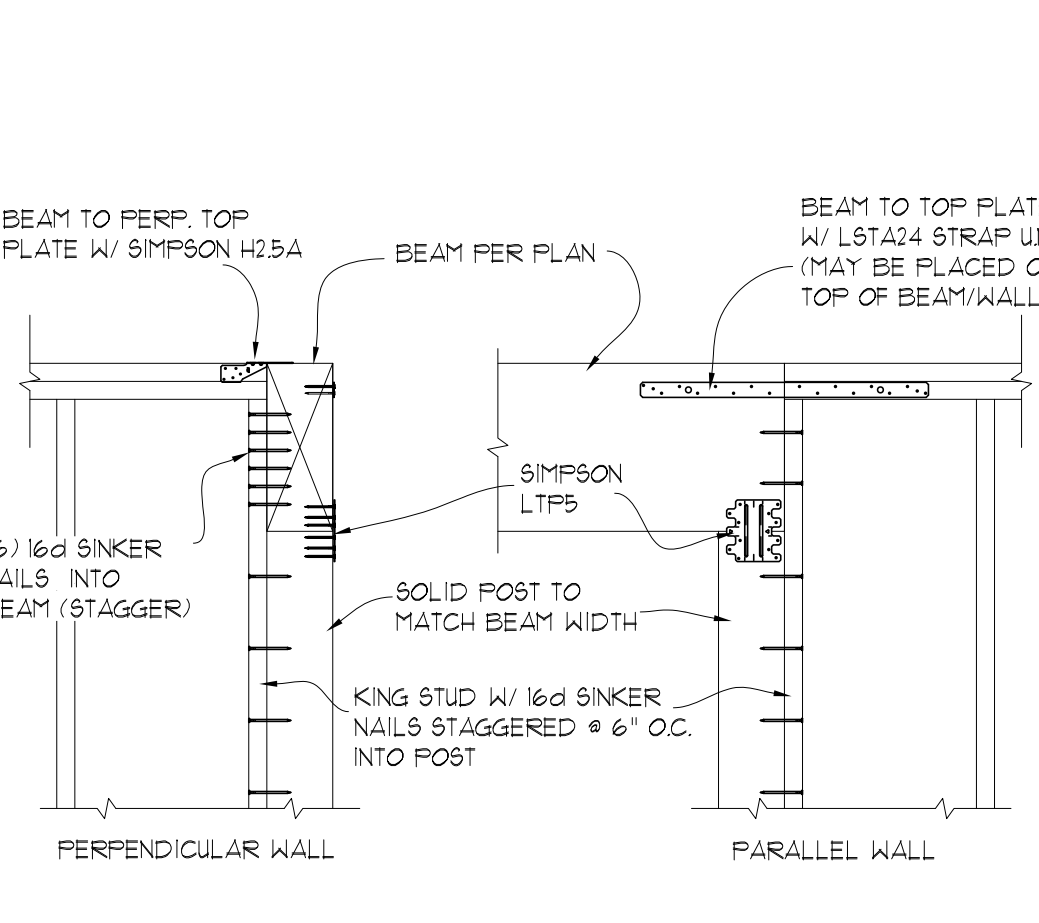
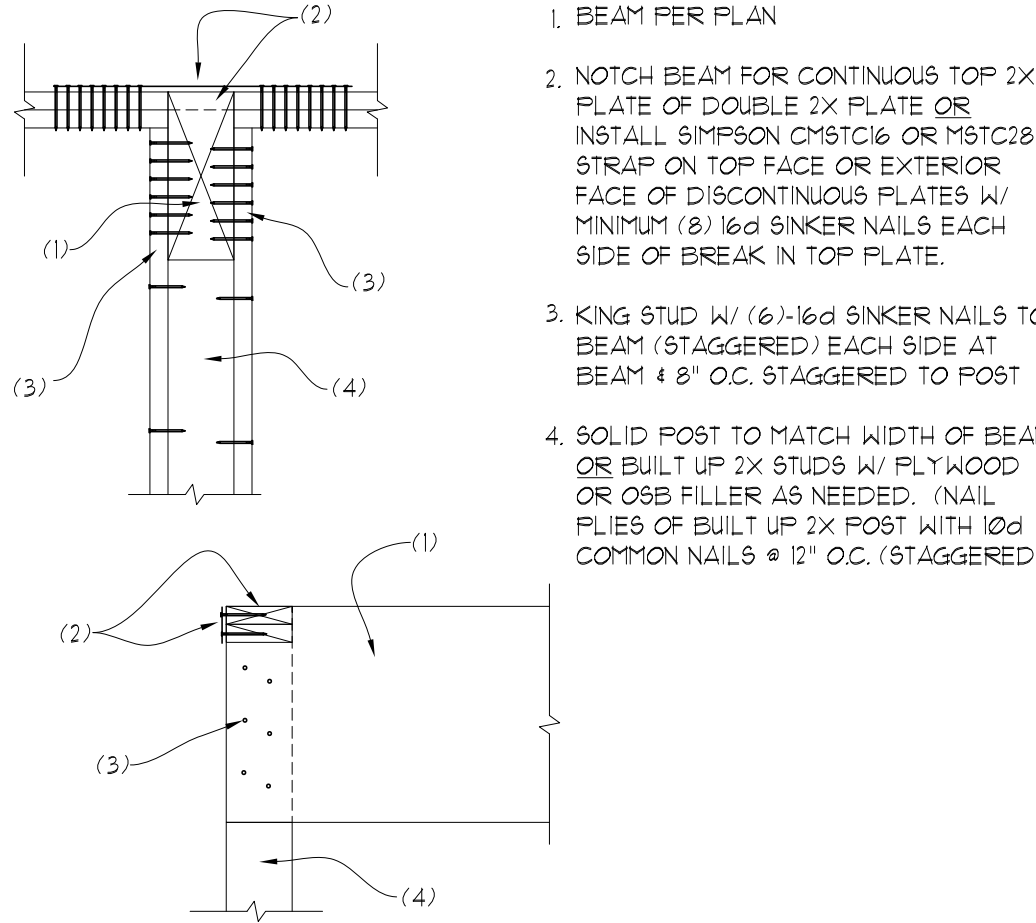
60 FLOOR JOIST BEARING AT STUD WALL
SCALE: 3/4"=1'

61 FLOOR JOIST PARALLEL TO STUD WALL
SCALE: 3/4"=1'

62 FLOOR JOIST AT BEAM
SCALE: 3/4"=1'

63 FLOOR JOIST AT BEAM
SCALE: 3/4"=1'

64 FLOOR JOIST AT INT. SHEAR WALL
SCALE: 3/4"=1'

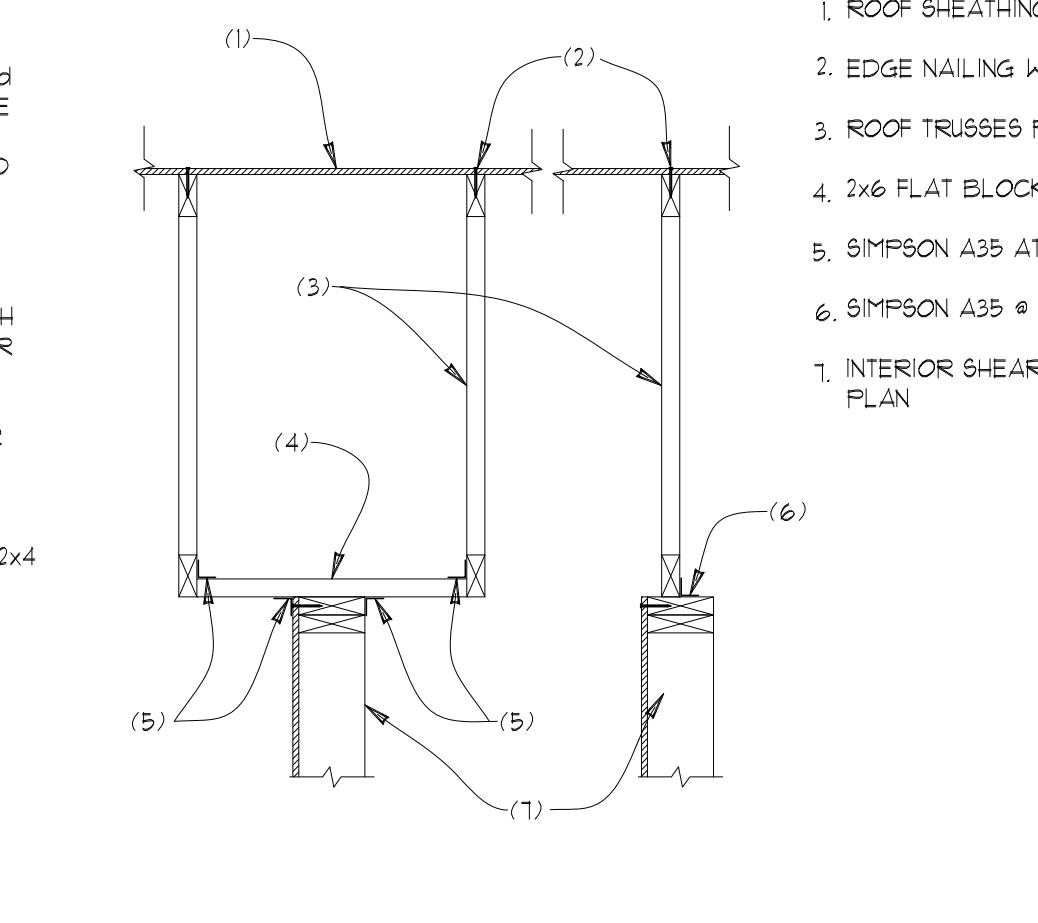
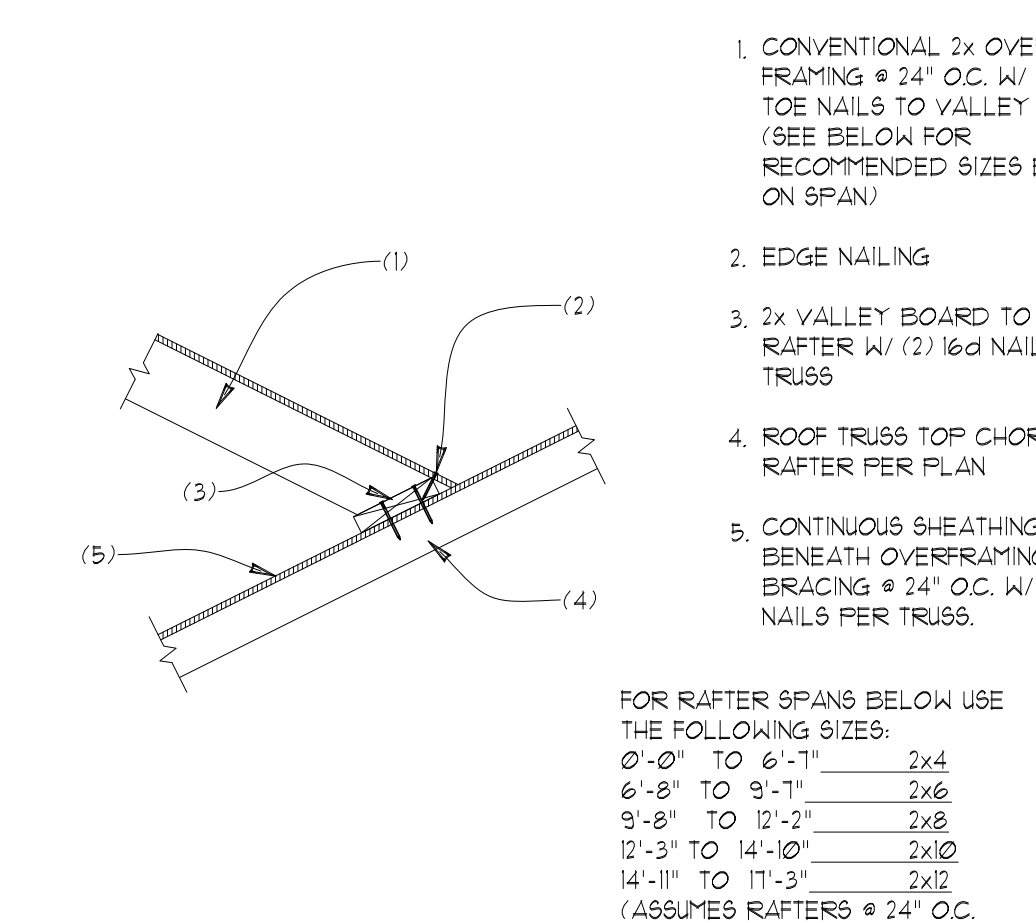
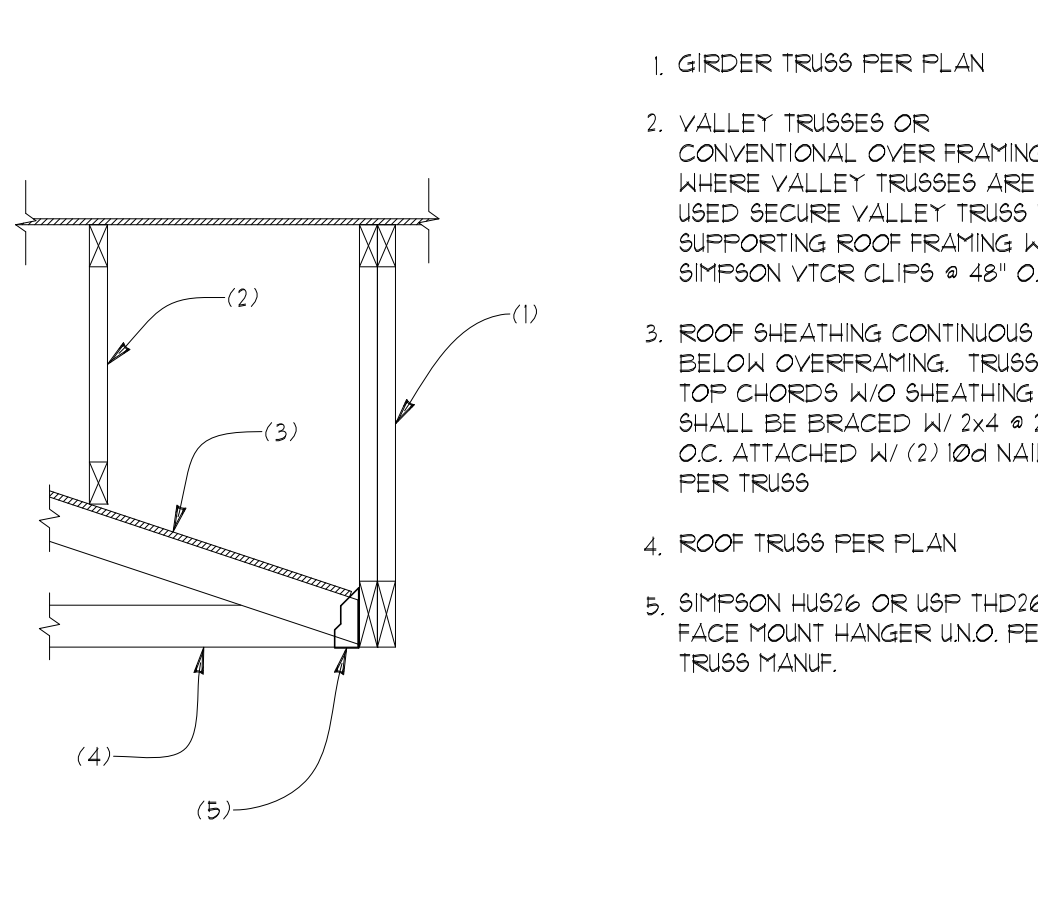
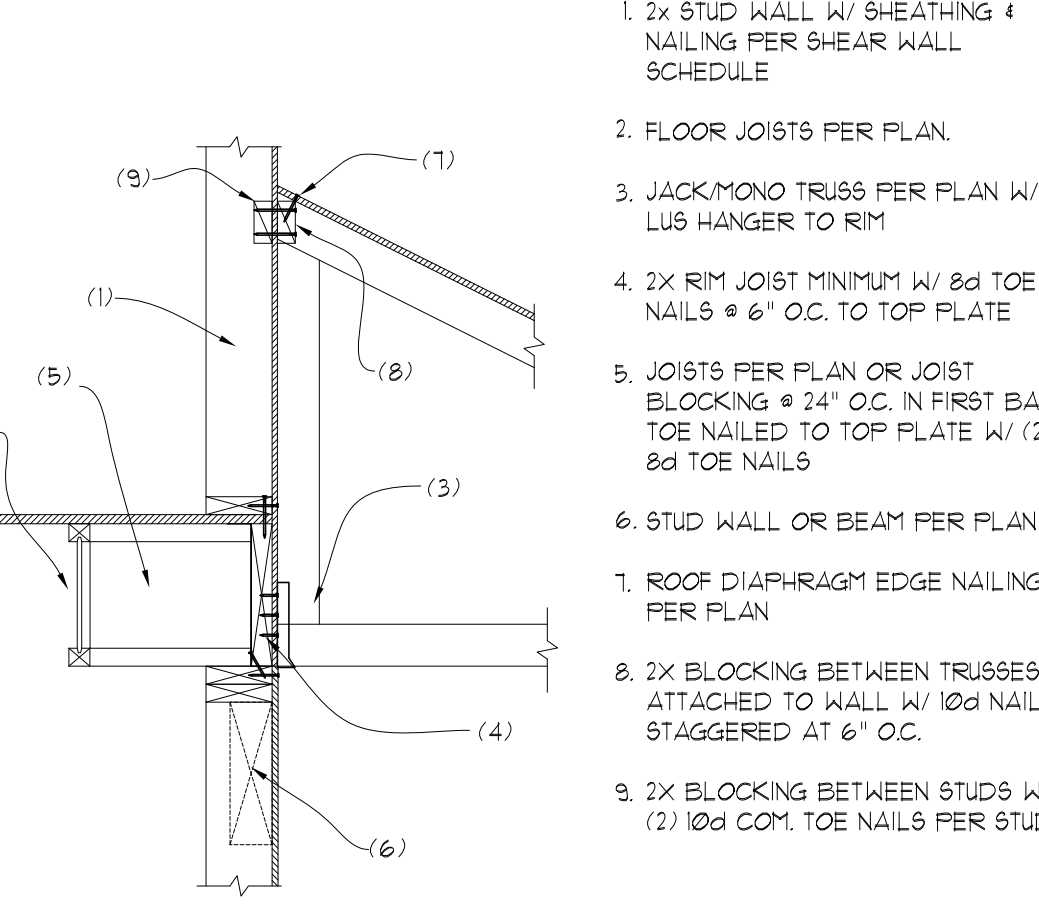
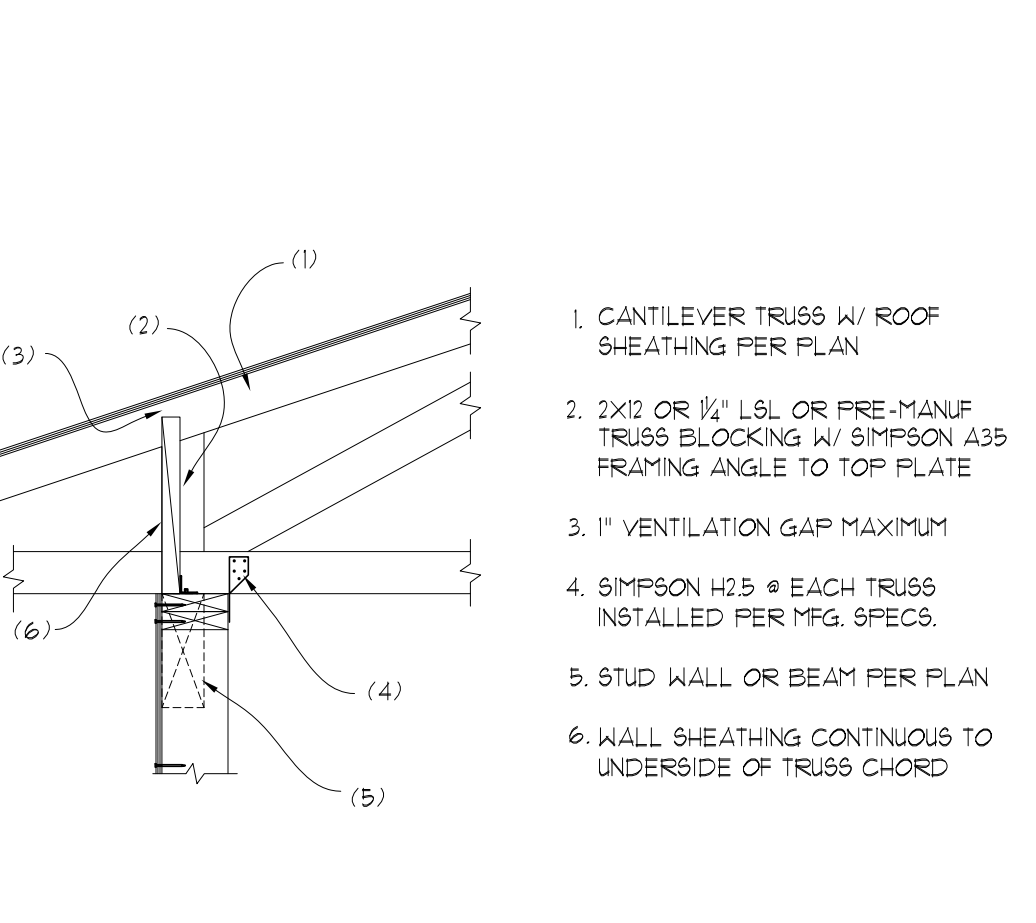


65 BEAM POCKET AT WALL
SCALE: 3/4"=1'

66 BEAM POCKET AT CORNER
SCALE: 3/4"=1'

67 WOOD BEAM AT WOOD POST
SCALE: 3/4"=1'

68 DECK LEDGER AT BEAM
SCALE: 3/4"=1'



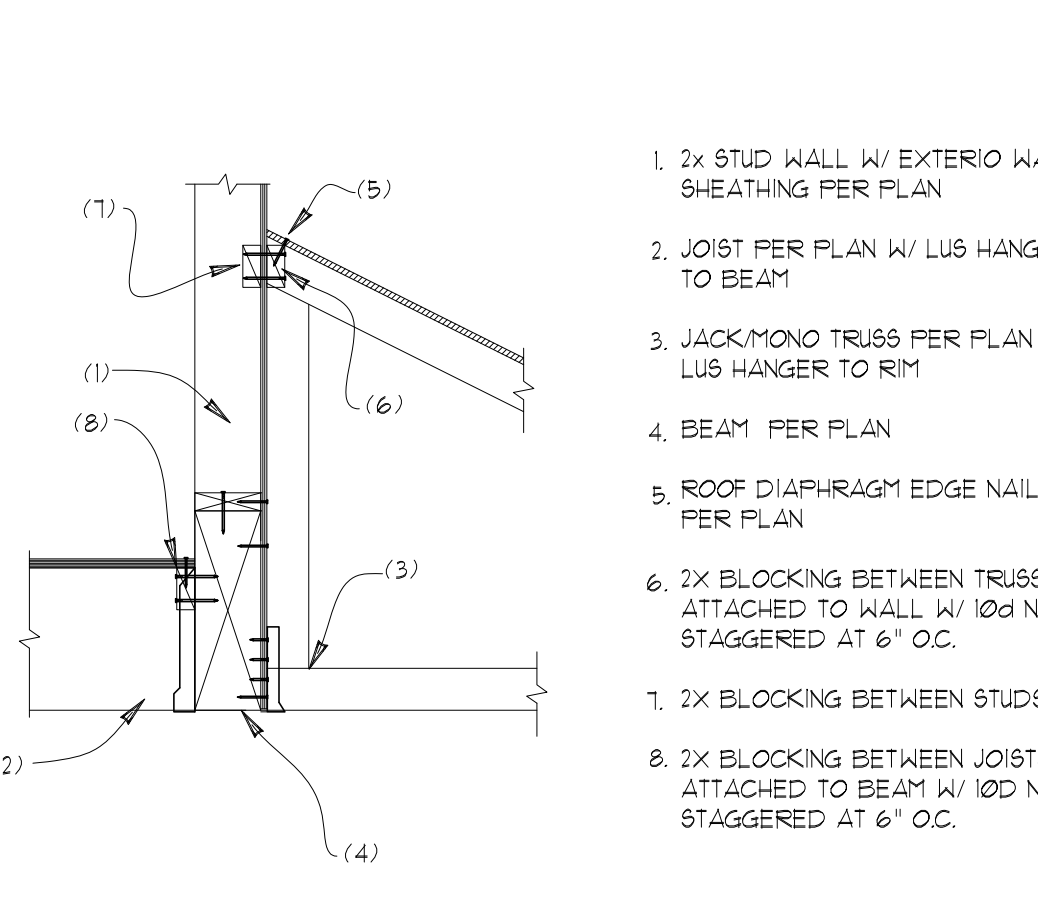
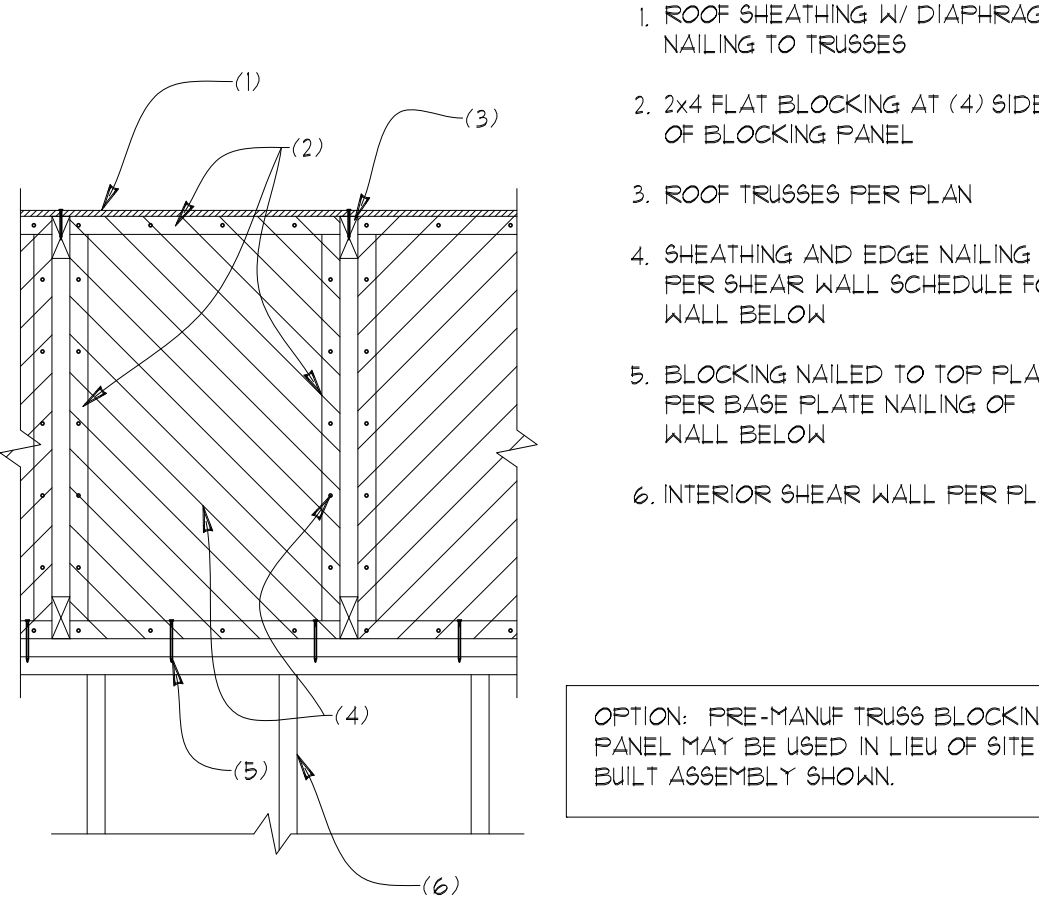
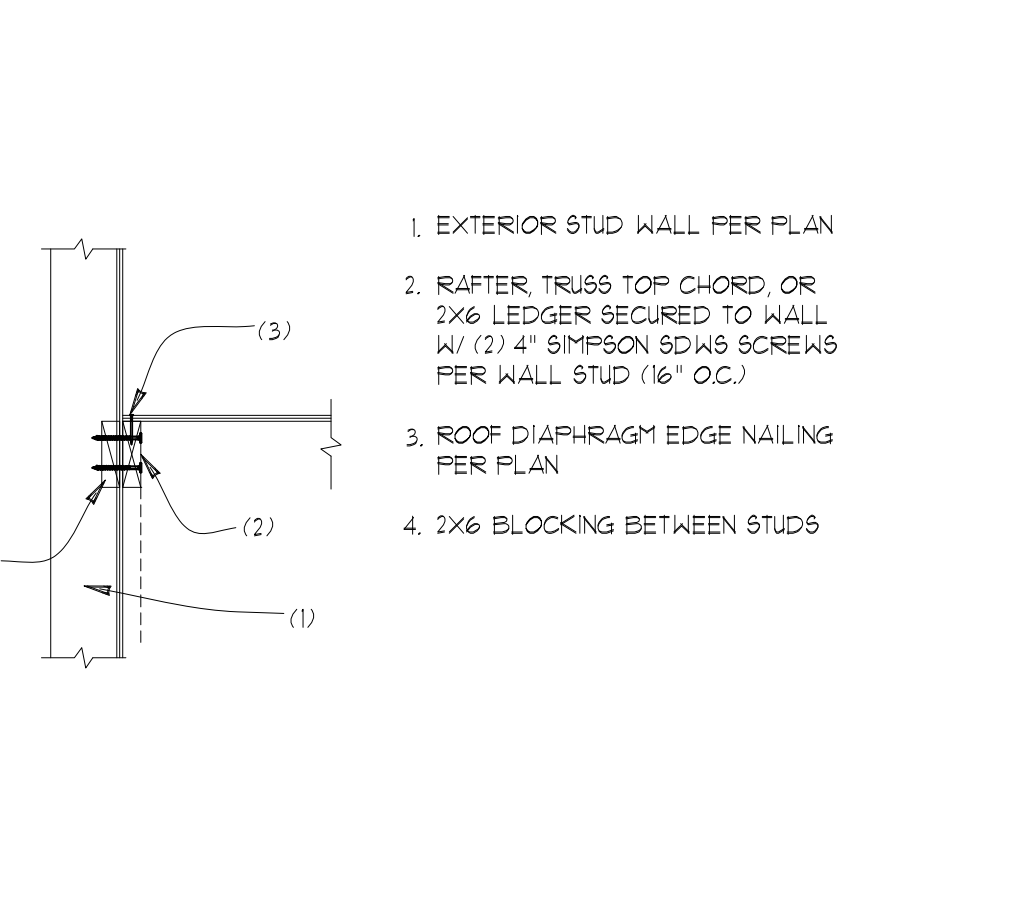
69 CANTILEVER HEEL OPTION AT BEARING
SCALE: 3/4"=1'

70 MONO/JACK TRUSS TO RIM
SCALE: 3/4"=1'

71 GIRDER TRUSS AT OVERFRAMING
SCALE: 3/4"=1'

72 VALLEY FRAMING
SCALE: 3/4"=1'

73 ROOF SHEAR TRANSFER @ INT. WALL
SCALE: 3/4"=1'



74 ROOF DIAPHRAGM TO WALL
SCALE: 3/4"=1'

75 SHEAR BLOCKING @ INT. SHEAR WALL
SCALE: 3/4"=1'

76 MONO TRUSS TO WALL AT BEAM
SCALE: 3/4"=1'

77 MONO TRUSS TO WALL AT BEAM
SCALE: 3/4"=1'

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BUILDING DEPT. APPROVAL STAMP:

REVISION DATE:	INIT:	PROJECT #:

S6
DATE: 8-31-2020
INIT: MM
PROJECT #: 1309