



	INSPECTION REOUESTS:	PROJECT ALERTS:	REQUIRED CONSTRUCTION INSPECTIONS:
CITY OF WIERCER ISLAND	online:	Construction of the project shall be from <i>approved plans only</i> . No deviation from the approved project plans is allowed without prior	It is the applicant's responsibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at
DEVELOPMENT SERVICES GROUP		approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition.	www.MyBuildingPermit.com or by calling the Inspection Hotline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel)
9611 SE 36TH STREET MERCER ISLAND, WA 98040 🛛 🔂	MyBuildingPermit.com	• Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including:	in advance of desired inspection. Be specific as to type of inspection.
PHONE: 206.275.7605 www.mercergov.org		• Site Considerations • ROW restrictions • Additional Fire Code Requirements	Inspector shall initial and date appropriate inspection <i>only</i> if approved. Note: <i>Items marked with an "*" require a separate permit.</i> It is the
ASH	(206) 275-7730	• Hours of Work • Drainage Requirements • Planning Requirements	applicants responsibility to apply for and obtain all City of Mercer Island permits.
MlePlan	(200) 273-7730	Construction Vehicle Parking Restrictions Sewer Requirements Noise Abatement Certification Access Read Requirements Water Service Requirements Tree Requirements	INSPECTIONS: (Listed in order of typical sequencing)
		Refer to "Preconstruction Meeting Checklist" provided at the preconstruction meeting for development related requirements.	Pre-construction Meeting to Review Conditions of Permit Approval.
NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUL	IBLIC DISCLOSURE AS REQUIRED BY RCW 42 56	Temporary site address with minimum 6" high numbers visible from the street must be installed.	O * Tree protection
CONTACT INFORMATION.	ADEIC DISCLOSORE AS REQUIRED BY RCW 42.50	Erosion control measures must be as shown on approved project drawings. All erosion control is to be in place and inspected	Erosion control
CONTACT INFORMATION:		prior to the start of any site work.	Sewer disconnect and cap. If applicable, separate side-sewer permit required
Applicant is to complete the following information.		A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information.	C * Right-of-way use or work / easement, material delivery, etc. If applicable,
Applicant Contact information <i>prior</i> to permit issuance:	Applicant Contact information <i>post</i> permit issuance:	TREE PROTECTION REQUIREMENTS:	separate ROW permit required
	Normal	Tree protection as shown on approved drawings shall be installed at tree dripling prior to start of any site work and	Land clearing, grading and demolition
a Name:	Name:	must remain in place throughout the project	Pilings / Shoring / Shorin
Address:	Address:	No trees shall be cut without a City of Mercer Island tree permit.	(property line): Geotechnical Engineer / Special Inspector
		Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection.	reports of inspections (pile and shoring installation, etc.)
Phone:	Phone:	For this project, trees are authorized to be removed and replaced with trees.	Footings, setbacks, UFER ground. If applicable, provide survey letter
		This project appears to be within a protected eagle nest area. Contact Federal Fish and Wildlife at (360) 534-9304 or visit their	(building height and setbacks); Special Inspector reports of inspections
Email:	Email:	website at http://www.fws.gov/pacific/eagle	(soil bearing capacity, compaction, earthwork, pile installation, etc.)
		FIRE PROTECTION REQUIREMENTS:	[] Foundation walls / concrete columns
REQUIRED SPECIAL INSPECTIONS / STRUCTU	JRAL OBSERVATIONS:	Separate Permits are required for ALL fire protection systems. For more information, see http://www.mercergov.org/Page.asp?NavID=2614	Example 2 Contract of the second footing drains
It is the Engineer of Record's responsibility to specify all required Sp	pecial Inspections or Structural Observation (check items below).	Eire Sprinkler	* Storm drainage, including (but not limited to):
The owner is responsible for hiring an approved private Special Insp	pector for the checked inspections noted below. All Special	NFPA 13D Fire Alarm per NFPA 72	• Connections to storm • Area drains
Inspectors (except Geotechnical) must be WABO certified.		Plus Monitored Sprinkler	main in ROW • Conveyance piping / cleanouts
When Special Inspection or Structural Observation is required, the rep	port shall be submitted to the City Building Inspector prior to the City	NFPA 13R Water Flow Alarm	Detention systems Storm drain in ROW
helow. Do not cover or conceal any work prior to the City inspection	nion to the special inspection or structural Observation indicated	□ NFPA 13 □ Other:	Infiltration systems Control structures / manholes
Below. Do not cover or concear any work prior to the City inspection		Approved Fire Code Alternatives:	Catch basins including Pump systems
STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (FOR).		□ FCA1 □ FCA3	oil-water separator tees • Retaining wall drainage
Engineer of Record: Compa	any: Phone:		· · · · · · · · · · · · · · · · · · ·
General Conformance to Construction Documents			Water as-built drawings
			Side sewer installation, including (but not limited to):
SOILS / GEOTECHNICAL:		WATER SUPPLY REQUIREIVIENTS:	Connections to side Back-flow valves
Special Inspector: Compa	any:Phone:	Fire sprinkler design calculations must be provided prior to determining water supply system requirements.	sewer main • Grinder pump systems
Erosion control measures	Subsurface drainage placement	Water Supply system upgrade required	Connections to existing Sewer manholes
Shoring installation and monitoring	U Verify fill material and compaction	City Installation.	side sewer
Observe and monitor excavation	Rockery installation Reise reset (drivers rile)	Applicant Installation.	Driveway / Access road
	Other:	(water main to meter)	Olderslab electrical / mechanical / plutibing
		\mathbf{O} Abandonment of existing service and meter required at main.	Underfloor framing
REINFORCED CONCRETE:		S Pressure reducing valve required if pressure exceeds 80 psi.	U Image: Structure of the struct
Special Inspector: Compa	any:Phone:	Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells	letter for lateral wood inspection.
Concrete strength	Retaining wall construction	or lake irrigation).	Nailing-Exterior wall and Shearwall. If applicable, provide Special
Reinforcing steel and concrete placement	Prestressed / Precast construction	Additional water supply requirements:	Inspection letter for lateral wood inspection.
Shotcrete placement	Other:	DRAINAGE REQUIREMENTS:	Comparison of the second
Other:	Other:	B D Direct discharge into the lake	Rough electric installation
STRUCTURAL STEEL: (AISC 360, Chapter N)		S On site detention system required.	Bough nlumbing installation (DWV, water)
Special Inspector: Compa	any:Phone:	O As-built Utility drawings required	S Rough mechanical
Fabrication and shop welds	Moment Frame construction	Full Size drawings required.	O Gas Piping
Structural steel erection, field welds and bolting	Other:		Comparison of the sprinkler / hydrostatic and flow (bucket) test
Other:	Other:		— G Framing and glazing. If applicable, provide Special Inspection letter for
STRUCTURAL MASONIRY.		Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is	O lateral wood inspection, welding epoxy anchors, etc.
Shocional Masonali.	anv: Phone:	lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties.	Masonry construction (fireplace / walls / veneer / etc.)
		Video tape of existing sewer required (see standard details)	Insulation installation
Mortal Strength	Wall papel and veneer installation	Other:	$\sum_{n=1}^{\infty} \sum_{i=1}^{n} \frac{1}{2} \frac{1}$
Other:	Other:	Note: When side sewer is to be connected to the lake line you will need to schedule three (3) days in advance with the City of	Miscellaneous
Other:	Other:	Mercer Island Maintenance Department at (206) 275-7800.	Code Alternative CA1:
		APPROVED CODE ALTERNATIVES.	Code Alternative CA2:
WOOD:		Code alternatives must be inspected. Refer to the inspection Checklist	Impact Fees Paid (If applicable)
Special Inspector / Engineer of Record:	anv: Phone:		
	Uigh strongth dianhragm construction	□ CA1: □ CA2:	 Final Inspection: Tree Restoration
Lateral resisting system construction			• Sprinkler • Sprinkler
			• Access Road • Fire Extinguishing System
OTHER SPECIAL INSPECTIONS:			Fire Code Alternatives (see below) Fire Alarm System
Special Inspector: Compa	any:Phone:	Surveyor shall verify points chosen for height coloristic and point weiffication shall be submitted when checked):	FCA1:
Epoxy grout installations	□ Stucco installation	Inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City	FCA2:
Expansion anchor installations Other part installations	Infiltration System Fytorior Insulation Sinish System (5153):	reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy	Final Inspection: Water supply protection, including (but not limited to) TW
Utner post installed anchors Alternative construction methods:	Exterior insulation Finish System (EIFS) installation Other:	Surveyor:	Waterfront property
Alternative construction materials:	Other:	Building height survey	• Fire / lawn sprinkler • Boiler
		Building setback survey	Final Inspection: Site and utility: includes landscape, utilities and ROW. Site
DEFERRED SUBIVITI TALS:		Impervious surface survey	restoration complete and as-built drawings ready for submittal.
The Applicant is required to select all deferred submittals / shop dra	awings for submittal to the City for review and approval prior to item	Other:	Final Inspection: Building, including electrical / mechanical / plumbing. If TB TB
Tabrication / construction.		MAXIMUM 40 PERCENT ALTERATION INSPECTION: MICC 19.01.050(D)(1)(b)(i)	applicable, provide closeout (summary) letters from Engineer, Special
Connector plate wood trusses	Post tension layout	A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than	Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS).
Ivietal joist / metal trusses Premapufactured structures (stairs, stal)	Li Exterior cladding	40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730.	90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO):
Precast concrete elements	Other:		Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.
Other:	Other:	GEOTECHNICAL INFORMATION:	
		Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1	
S ENERGY CODE COMPLIANCE INFORMATION:		without an approved Seasonal Development Limitation Waiver.	Approved Start Date End Date
Indicate where the following information is located in the drawing s	set. Alternatively, incorporate or include the Residential Energy Code	Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of	ADDITIONAL REQUIRED CITY INSPECTIONS
Prescriptive Compliance (RECPC) Form into the drawing set.		report and other geotechnical information must be kept on site at all times.	S Call the appropriate contact to arrange the inspection
Sheet:			Call the appropriate contact to an ange the inspection. 2 2 Described lages stics (a) Contact: Phone: Scheduling:
	Air Lookaga Tasting	Geotechnical Engineer Phone	
(include U-factors insulation and moisture control)	Provide air leakage test report verifying air leakage rate	Applies (Geologic Hazard area) Grading not permitted between October 1 through April 1	
Whole house ventilation: IRC Section M1507 WA Amended	does not to exceed 5 air changes ner hour	Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development	
(include ventilation option and duct sizing if applicable)	Duct Leakage Testing. WSEC R403.2.2	Limitation Waiver Permit.	
Energy Credit Information: WSEC Table 406.2	Postconstruction Test. WSEC R403.2.2.1		
(include specific, written requirements)	Rough-in Test. WSEC R403.2.2.3	Permit number Approved by Date	PLAN REVIEW APPROVALS:
B RECPC Form Information:		8	Not all review disciplines may be required to review the documents.
(if incorporated within drawing set)			□ Impact fees apply and are due <i>prior</i> to Final Inspection or on 2 ↓
2		2	P

	LAN	SCALE:	1" = 10'-0"		0.10		Ň	
Address of Proper	ty:	2906 74TH Promium Hou	AVE SE Mer	cer Island 98	040			\ \
Owner: Legal Description:		MC GILVRA	s Island AI R to pt on	DD POR WLY N LN 90 FT	' OF LN RNG FI E OF NW COR	RM PT 150 FT E PLat Block: 10 P	lat Lot: 1	
Parcel Number:		531510	-0836					
Zoning:	ł	<i>-</i> 9.0						
	LOT CO	VERAGE CA	LCULATION	S				
ALL AREA UNDER A R	OOF OVE	RHANG INCI	LUSIVE OF T	HE EXISTING				
HOUSE, NEW GARAGE	, AND NE	W ADDITION	N [IN SQ. FT.] as Sheet A-1 4.	3,771			
AREA OF C	ONCRETE	DRIVEWAY	[EXISTING T	O REMAIN];	2,119			
		ΤΟΤΑΙ	L LOT COVE	RAGE AREA:	5,890			
ТС	TAL SITE		C ASSESSOR	[IN SQ. FT.]:	16,560			
% OF LOT CO	/ERAGE =	LOT COVER	AGE AREA /	SITE AREA:	36%			
Al	LOWABLE	E LOT COVEI	RAGE PER SI	LOPE RULES:	40%			
1	HEREFOR	E ADDITION	I IS COMPLI	ANT				
	LOT S	LOPE CALC	ULATIONS					
	HIGHES		ON ON SITE	[IN FEET]:	301.8			
	LOWES	T ELEVATIO	ON ON SITE	[IN FEET]:	278.5			
		EVATION A	CROSS SITE	[IN FEET]:	23.3			
DISTAINCE BETWE	<u>s night</u>	SLOPE = DIF	FERENCE /	DISTANCE	104.4			
SLOPE ON SITE IS	< 15%, TH	IEREFORE 4	40% LOT CO	OVERAGE IS	ALLOWED			DRIP LI
HARDSCAPE			NEW					DASHE
CALCULATIONS	EXISTING	REMOVED	[ADDED]	TOTAL				TO BE 5' BEY
	316 218	-52 0	0	264 218			•	(REFER
UNCOVERED FAILUS	203		203	203			ш	
WALKWAY PATIO STAIRS	30	-203	0	30				
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WALKWAY PATIO STAIRS OTAL HARDSCAPE AREA SITE AREA	30 767 16	-203 0 -255 5560	0 203 HARDSCAPE:	30 715 4%			AVE S.	DRIP LI DASHE TREE P
WALKWAY PATIO STAIRS OTAL HARDSCAPE AREA SITE AREA	30 767 16	-203 0 -255 5560	0 203 HARDSCAPE: The Hadley Mercer Island	30 715 4%	tarbucks		H AVE S.	DRIP LI DASHE TREE P TO BE 5' BEY
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TIST AREA	30 767 16	-203 0 -255 5560	0 203 HARDSCAPE: The Hadley Mercer Island SE 27th St	30 715 4%	Starbucks		74TH AVE S.	DRIP LI DASHE TREE P TO BE 5' BEY (REFER
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TIST AREA	30 767 16	-203 0 -255 6560	0 203 HARDSCAPE: The Hadley Mercer Island SE 27th St	30 715 4%	Starbucks		74TH AVE S.	DRIP LI DASHE TREE P TO BE 5' BEY (REFER
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VALKWAY PATIO STAIRS OTAL HARDSCAPE AREA SITE AREA	30 767 16	-203 0 -255 6560	0 203 HARDSCAPE: The Hadley Mercer Island SE 27th St	30 715 4%	Starbucks JPS Store C Mu		74TH AVE S.	DRIP LI DASHE TREE P TO BE 5' BEY (REFER
VALKWAY PATIO STAIRS OTAL HARDSCAPE AREA SITE AREA	30 767 10	-203 0 -255 6560	0 203 HARDSCAPE: The Hadley Mercer Island SE 27th St	30 715 4%	Starbucks		74TH AVE S.	DRIP LI DASHE TREE P TO BE 5' BEY (REFER
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SF 32nd St

VICINITY MAP

SE 32nd St

A MA

											AVER	AGE BUILDING	G ELEVATION	[ABE] CALCU	LATIONS						
WALL SEGMENT ID	Α	В	C1	C2	C3	D	E	F	G	н	I	J	К	L	М	N	0	Р	Q	R	S
WALL LENGTH IN FEET	21.0	12.7	5.3	16.1	8.6	23.4	16.2	18.2	2.1	9.4	2.0	36.7	27.6	22.8	1.8	17.2	12.9	6.1	1.7	24.9	22.9
MIDPOINT ELEVATION	298.2	295.5	298.0	299.0	299.5	299.0	291.5	287.9	287.9	287.7	287.8	287.5	291.2	297.0	297.1	297.1	299.5	298.7	298.7	298.0	298.3
WEIGHTED SUM	6268.2	3752.9	1564.5	4816.9	2578.7	7002.6	4707.7	5234.0	601.7	2701.5	578.5	10548.4	8040.0	6762.7	534.8	5104.2	3875.5	1819.1	498.8	7426.2	6837.0
	REFER TO A-	1.3 TO SEE DI	MENSIONS O	F WALL SEGN	1ENTS															(ABE) AVERA	



BONUS RM.





(C) HAND RAIL DETAIL 1/4" = 1'-Ø"

T A B L CONTINUOUS WHOLE-	E M 1 5 0 HOUSE MECHA	7 . 3 . 3 (1) NICAL VENTIL	FAN ATION SYSTEI	EFFICA MAIRFLOWRA	A C Y TE REQUIREMENTS	
		NL	IMBER OF BEDRO	DOMS		
FLOOR AREA	Ø - 1	2 - 3	4 - 5	6 -1	MORE THAN T	
(square feet)		•	AIRFLOW IN CFM	1		
LESS THAN 1,500	30	45	60	75	90	
1,501 - 3,000	45	60	货	30	105	
3,001 - 4,500	60	75	(90)	105	120	
4,501 - 6,000	75	90	105	120	135	
6,001 - 7,500	90	105	12Ø	135	150	
MORE THAN 1,500	105	12Ø	135	150	165	

1/4"	=	l'-Ø"

GROSS FLOOR AREA CALCULATIONS								
Building Area	Existing Area	Removed Area	Addition Area	Total				
Upper Floor	0	0	0	0				
Main Floor	2628	0	135	2763				
Gross Basement	1338	0	0	1338				
Garage / Carport	386	-386	562	562				
Total Floor Area	4352	-386	697	4663				
Lot Area				16560				
Allowable Floor Area in R-9.6 Zoning 40%								
Proposed Gross Flo	oor Area		28%	4663				

— EXIST 2x6 @16 O.C. W/ SPRAY FOAM R-21 INSUL, TYP (MIN)

<u>GARAGE NOTE:</u>

GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ¹/₂" GYPSUM BOARD APPLIED ON THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN ¹/₂" TYPE X' GYPSUM BOARD OR EQUIVALENT WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ¹/₂" GYPSUM BOARD OR EQUIVALENT

INSULATION BAFFLE NOTE:

WHEN EAVE VENTS ARE INSTALLED, BAFFLING OF THE VENT OPENINGS SHALL BE PROVIDED SO AS TO DEFLECT THE INCOMING AIR ABOVE THE SURFACE OF THE INSULATION. BAFFLES SHALL BE RIGID MATERIAL, RESISTANT TO WIND DRIVEN MOISTURE. BAFFLES SHALL BE INSTALLED FROM THE TOP OF THE OUTSIDE OF THE EXTERIOR WALL, EXTENDING INWARD, TO A POINT 6" VERTICALLY ABOVE THE HEIGHT OF NON COMPRESSED INSULATION, AND 12" VERTICALLY ABOVE LOOSE FILL INSULATION

OPEN-BLOWN OR POURED LOOSE FILL INSULATION MAY BE USED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING IS NOT MORE THAN 3 FEET IN 12 AND THERE IS AT LEAST 30" OF CLEAR DISTANCE FROM THE TOP OF THE BOTTOM CHORD OF THE TRUSS OR CEILING JOIST TO THE UNDERSIDE OF THE SHEATHING AT THE ROOF RIDGE.

FIREBLOCKING NOTE:

PROVIDE 2"X FIREBLOCKING AT ALL CONCEALED SPACES OF STUD WALLS WAND PARTITIONS INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10'-0" INTERVALS BOTH VERTICAL AND HORIZONTAL

SHOWER NOTES

ALL SHOWER RECEPTORS SHALL BE TESTED FOR WATERTIGHTNESS BY FILLING WITH WATER TO THE LEVEL OF THE ROUGH THRESHOLD. THE TEST PLUG SHALL BE SO PLACED THAT BOTH UPPER AND UNDER SIDES OF THE SUB-PAN SHALL BE SUBJECTED TO THE TEST AT THE POINT WHERE IT IS CLAMPED TO THE DRAIN

WHEN GYPSUM IS USED AS A BASE FOR TILE WALL PANELS FOR TUB, SHOWER, OR WATER CLOSET COMPARIMENT WALLS WATER RESISTANT GYPSUM BACKING BOARD SHALL BE USED. WATER RESISTANT GYPSUM

BOARD SHALL NOT BE USED IN THE FOLLOWING AREAS OVER A VAPOR RETARDER IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY SUCH

AS SAUNAS, STEAM ROOMS, OR GANG SHOWER ROOMS. ON CEILINGS WHERE FRAME SPACING EXCEEDS 12" O.C.

EGRESS NOTES ALL WINDOWS LABELED AS EGRESS

ON PLAN MUST MEET THE MINUMUM REQUIREMENTS FOR EGRESS WINDOWS

EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING AREA OF 5.1 SQFT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" HEIGHT TIMES THE WIDTH SHALL NOT BE LESS THAN 5.1 SQFT.

ALL WINDOWS LABELED AS EGRESS ON PLAN SHALL HAVE AN OPENING HEIGHT OF NOT MORE THAN 44" ABOVE FINISHED FLOOR LEVELS PER IRC 310.1

<u>TEMPERED GLAZING NOTE</u>

WINDOWS LABELED 'TEMPERED' ON FLOOR PLAN SHALL COMPLY WITH 2015 IRC FOR MANUF, LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES AND SHALL BE VISIBLE IN THE FINAL INSTALLATION

AREAS REQUIRING SAFETY GLAZING SHALL BE NOTED ON THE FLOOR PLAN AND COMPLY WITH 2015 IRC RATINGS STATED ABOVE

3.5" SPRAY FOAM INSULATED WALL INFILL (2x6 FRAMING)

										STRUC	TURALLY MC	DIFIED EXTER	RIOR WALL LE	NGTH CALCUL	ATIONS						
WALL SEGMENT ID	Α	В	C1	C2	С3	D	E	F	G	н	I	J	К	L	М	N	0	Р	Q	R	S
WALL LENGTH IN FEET	21.02	12.7	5.25	16.11	8.61	23.42	16.15	18.18	2.09	9.39	2.01	36.69	27.61	22.77	1.8	17.18	12.94	6.09	1.67	24.92	22.92
STRUCTURALLY MODIFIED PORTION OF EXTERIOR WALLS IN FEET	0	7.79	5.25	16.11	5.34	6.65	0	0	0	0	0	6	0	0	0	0	0	6.09	1.67	24.92	22.92

	PS HOME DESIGNS
	CUSTOM HOMES REMODELS ADDITIONS 253 • 282 • 2277
MERCER	
EVIEWED FOR E COMPLIANCE June 7, 2022	S C A L E: 1/4" = 1'-0"
	BLDG DEPT: MERCER ISLAND CHECKED BY:
	PRINT DATE: 12.920 REVISIONS 12.920 PRELIMINARY PVS
	BUILDER APPROVAL:
	DATE DATE OUNER APPROVAL: DATE
	PLAN NUMBER
	PROJECT <u>PREMIUM HOMES</u> OF MERCER ISI
	REMODEL 2906 74th Ave SE Mercer Island
	W A S H I N G T O N 9 8 0 4 0 5 3 1 5 1 0 - 0 8 3 6
	SHEET TITLE: ROOF AREA DIAGRAM PLAN SHEET NUMBER: A - 1, 4

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		REQUI	RED? (Y/N)	MATERIAL / ACTIVITY
CODE: INTERNATIONAL BUILDING CODE	(IBC) 2018	Y	Ν	1704.2.5 Inspection of Fabricators Verify fabrication/quality control procedures
LOADINGS FLOOR LIVE LOAD DECK LIVE LOAD ROOF SNOW LOAD	40 PSF 60 PSF 25 PSF	Y	Ν	1705.1.1 Special Cases (work unusual in natu and systems, unusual design applications, ma requirements)
WIND CRITERIA BUILDING CLASSIFICATION		Y	N	1705.2 Steel Construction
ULTIMATE WIND SPEED WIND EXPOSURE	110 MPH B	Ŷ	N	N, paragraph 3.2 for compliance with construct 2 Material verification of structural steel
	1.6	Ý Y	N N	 Embedments (Verify diameter, grade, type, Verify member locations, braces, stiffeners,
SEISMIC CRITERIA SEISMIC RISK CATEGORY				comply with construction documents 5. Structural steel welding:
SPECTRAL RESPONSE COEFFIC SPECTRAL RESPONSE COEFFIC SEISMIC SITE CLASS	IENT, S1 0.50	Y	N	a. Inspection tasks Prior to Welding (Observe, tasks listed in AISC 360, Table N5.4-1)
SEISMIC DESIGN CATEGORY	D	Y	N	b. Inspection tasks During Welding (Observe, tasks listed in AISC 360, Table N5.4-1)
STRUCTURAL DESCRIPTIONS		Ţ	IN	tasks listed in AISC 360, Table N5.4-3)
		Y Y	N N	 1) Complete penetration groove welds 5/16" o 2) Complete penetration groove welds 5/16" o
		Ŷ Y	N N	 3) Thermally cut surfaces of access holes whe 4) Welded joints subject to fatigue when require
			Ν	5) Fabricator's NDT reports when fabricator pe 6. Structural steel bolting:
STRUCTURAL ENGINEER IN WRITING OF	ANY DISCREPANCIES HE MAY FIND BEFORE PF	COREDING WITH	N	a. Inspection tasks Prior to Bolting (Observe, or accordance with QA tasks listed in AISC 360,
STARTING WORK.		v	N	 b.Inspection tasks During Bolting (Observe the 1) Pre-tensioned and slip-critical joints c) Turn of aut with mastering manifesting
2. ALL OMISSIONS OR CONFLICTS I SHALL BE BROUGHT TO THE ATTENTION	BETWEEN THE VARIOUS ELEMENTS OF THE WO NOF THE ARCHITECT AND THE STRUCTURAL EN	RKING DRAWINGS Y IGINEER BEFORE Y	N N	 a) I urn-of-nut with matching markings b) Direct tension indicator c) Twist off two tension control holt
PROCEEDING WITH ANY WORK SO INVO	ILVED.	Ý Y	N	d) Turn-of-nut without matching markings
3. SPECIFIC NOTES AND DETAILS S DETAILS. WHERE THE NOTES, DRAWING	HALL TAKE PRECEDENCE OVER GENERAL NOT GS, AND/OR SPECIFICATIONS DIFFER, THE MOR!	ES AND TYPICAL	N	 2) Snug-tight joints c. Inspection tasks After Bolting (Perform task
		Y	Ν	tasks listed in AISC 360, Table N5.6-3) 7. Inspection of steel elements of composite c
THE SAME AS FOR SIMILAR WORK.	JWN FOR ANY PART OF THE WORK, THE CONST	RUCTION SHALL BE		with QA tasks listed in AISC 360, Table N6.1
5. WORKING DIMENSIONS SHALL N	IOT BE SCALED FROM PLANS, SECTIONS, OR DE	TAILS ON THESE		1705.2.2 Steel Construction Other Than Str 1. Material verification of cold-formed steel de
6. THE CONTRACTOR SHALL IMMEI	DIATELY NOTIFY THE ARCHITECT AND THE STRU	Y Y JCTURAL ENGINEER	N N	a. Identification markingsb. Manufacturer's certified test reports
OF ANY CONDITION THAT, IN HIS OPINIO DISTRESS TO THE STRUCTURE.	N, MIGHT ENDANGER THE STABILITY OF THE ST	RUCTURE OR CAUSE Y	N	2. Connection of cold-formed steel deck to sup a. Welding
7. THE CONTRACTOR SHALL SUPE	RVISE AND DIRECT HIS WORK AND HE SHALL BI		N	 D. Other lasteners (in accordance with AISC . 1) Verify fasteners are in conformance with ap 2) Verify fastener installation is in conformance.
RESPONSIBLE FOR CONSTRUCTION ME. PROVIDE ADEQUATE SHORING AND BRA	ANS, METHODS, TECHNIQUES, SEQUENCES ANI ACING OF ALL STRUCTURAL MEMBERS DURING	O PROCEDURES. CONSTRUCTION.		recommendations 3. Reinforcing steel
	JES PRIOR TO INSTALLATION.		N N	a. Verification of weldability of steel other than b. Reinforcing steel resisting flexural and axial
NOTES OR THE STRUCTURAL DRAWING	S.	BY THESE GENERAL Y	N	boundary elements of special concrete structu c. Shear reinforcement
9. ALL CONSTRUCTION SHALL BE D AS GOOD PRACTICE BY THE CONSTRUCT	OONE WITH MATERIALS, METHODS, AND WORKN TION INDUSTRY AND IN CONFORMANCE WITH 1	IANSHIP ACCEPTED	N	d. Other reinforcing steel4. Cold-formed steel trusses spanning 60 feet
PREVAILING CODE EDITION OF THE "INT THEREIN.	ERNATIONAL BUILDING CODE" (IBC) AND STAND	ARDS REFERENCED	IN	a. Verify temporary and permanent restraint/bit truss submittal package
10. PIPES, DUCTS, SLEEVES, OPENII	NGS, POCKETS, CHASES, BLOCK-OUTS, ETC., SI	HALL NOT BE PLACED	N	1705.3 Concrete Construction
IN SLABS, FOUNDATIONS, ETC., NOR SH. SPECIFICALLY DETAILED ON THESE STR	ALL ANY STRUCTURAL MEMBER BE CUT FOR SU RUCTURAL DRAWINGS.	JCH ITEMS, UNLESS Y Y	N N	 Inspection of prestressing steel installation Inspection of anchors cast in concrete when
11. ALTERNATE ASSEMBLIES AND M	IATERIALS WILL BE CONSIDERED FOR REVIEW.	ENGINEER MAY	Ν	1908.5 or where strength design is used 4. Inspection of anchors and reinforcing steel
FOUNDATION				reports including verification of anchor type, an procedures, anchor spacing, edge distances,
1. STRUCTURAL DESIGN COMPLIES	S WITH SOILS REPORT PRODUCED BY:	Ŷ	N	tightening torque 5. Verify use of approved design mix
N.A.		Ý	N	 6. Fresh concrete sampling, penorm slump ar concrete 7. Inspection of concrete and shotcrete placer
FOOTING BEARING PRESSURE:	1500 PSF (ASSUMED)	Ý	N	 8. Inspection for maintenance of specified curi 9. Inspection of prestressed concrete:
	RETAINING WALLS N.A.	Y Y	N N	 a. Application of prestressing force b. Grouting of bonded prestressing tendons in
CONSIDERATIONS ARE TO BE IN	ACCORDANCE WITH SAID SOILS REPORT.	L Y	N	10. Erection of precast concrete members a. Inspect in accordance with construction door
		Y Y	N N	b. Perform inspections of welding and bolting in 11. Verification of in-situ concrete strength, pri
		Y Y	N N	and prior to removal of shores and forms from12. Inspection of formwork for shape, lines, log13. Concrete strength testing and verification of
DIMENSIONAL LUMBER, ANCHOR BOLT A	AND NAILING SPECIFICATIONS			Notes:
1. MEET REQUIREMENTS OF PS 20-70 AN	ND NATIONAL GRADING RULES FOR SOFTWOOD			1. The inspection and testing agent(s) shall be not by the Contractor or Subcontractor whose
DIMENSIONAL LUMBER. BEAR STAMP O	F WWPA.			the Special Inspector(s) and/or testing agencie
	DES TO BE:			 The list of Special Inspectors may be subm
WALL STODS, 2X, 3X	F STOD GRADE F STANDARD GRADE U.N.O F #2			3. Special Insepctions as required by Section
JOISTS, 2 X 8 AND UP D BEAMS, HEADERS, 6X D	F #2 F #2 F #2			approved in accordance with IBC Section 170
BEAMS, HEADERS, 4X D POSTS, 4X, 6X D	F #2, WWPA GRADING F #2 U.N.O			4. Observe on a random basis, operations nee these tasks for each welded joint, bolted conn
LUMBER NOT NOTED HERE D	F #2 U.N.O			5. NDT of welds completed in an approved fal
3. PROVIDE STANDARD CUT WASHERS F WOOD.	FOR BOLT HEADS AND NUTS BEARING AGAINST			when approved by the AHJ. Refer to AISC 300
4. ALL SILLS OR PLATES RESTING ON CO OR RESTING ON FOUNDATIONS SHALL E	ONCRETE OR MASONRY THAT IS IN CONTACT WIND SERVICE AND A MASONRY THAT IS IN CONTACT WIND BE PRESSURE-TREATED DOUGLAS FIR/ HEMFIR	ITH CONCRET IN	E AND REINF	ORCING
ACCORDANCE TO WITH AWPA U1 (PLAN STANDARDS. ALL BEARING WALL PLATE	T/SHOP TREATMENT) AND M4 (FIELD TREATMEN ES SHALL HAVE 5/8" Ø x10" J-BOLTS PLACED AT	NT) 1. CC EX	NCRETE SHA	ALL CONFORM TO THE INDICATED REFERE DIFIED BELOW:
MAXIMUM OF 9" FROM THE END OF A PL SHEARWALL SCHEDULE (MAXIMUM 4'-0"	ATE AND SPACED AT INTERVALS SHOWN ON TH OC SPACING). PROVIDE BP PLATE WASHER AT	IE ALL AC		IDARD SPECIFICATIONS FOR STRUCTURAL
SECTION OF SILL FOR NON-SHEARWAL	L, PLACE ANCHORS AT 48".	AC AC	305R - "HOT -305R - "HOT	WEATHER CONCRETING"
5. BOLTS IN WOOD SHALL NOT BE LESS DIAMETERS FROM THE EDGE OF THE MI	THAN 7 DIAMETERS FROM THE END AND 4 EMBER	AC		E FOR MEASURING, MIXING, TRANSPORTI
6. NAILS: COMMON WIRE NAILS. NAILIN	G IN ACCORDANCE WITH IBC TABLE 2304.9.1.	2. <u>CC</u>	NCRETE MIX	SPECIFICATIONS
7. PRESSURE TREATED WOOD: ALL NAI	LS INTO PT WOOD SHALL BE HOT DIPPED	LC	CATION	COMP. SRENGTH W/C RATIO AI
GALVANIZED PER ASTM A153 OR STAINL WITH PT WOOD SHALL BE HOT DIPPED (.ESS STEEL. ALL METAL CONNECTORS IN CONT GALVANIZED AND MEET ASTM A653 CLASS G185	ACT (1.85 FC	OTING	2500 PSI (MIN. OF 5.5 SACKS OF CEI
CONNECTORS MEET THIS REQUIREMEN	TE 304 / 310 STAINLESS STEEL SIMPSON Z-MAX	SL	AB ON GRAD	E 2500 PSI (MIN. OF 5.5 SACKS OF CEI
HANGERS)	L (L.O. TIOT DIFFED NAILS WITH HUT DIPPED	FC	UNDATION V	ALL 2500 PSI (MIN. OF 5.5 SACKS OF CEN
8. ALL LUMBER WITH A LEAST DIMENSIO DRY" AND SHALL HAVE A MOISTURE CO	N OF 2" (NOMINAL) SHALL BE STAMPED "SURFA NTENT WHEN SURFACED AND WHEN INSTALLF!	CE- TC D OF	PPING	N.A.
NO MORE THAN 19 PERCENT. LUMBER	WITH A LEAST DIMENSION OF 4" (NOMINAL) OR E-GREEN" AND AIR-DRIED TO A MOISTURE	a.	TOTAL / ± 1% AN	AIR CONTENT IS SPECIFIED IN THE TABLE A ID SHALL BE MEASURED AT THE POINT OF
CONTENT OF NOT MORE THAN 19 PERC STRUCTURE.	ENT PRIOR TO ITS USE IN FRAMING THE		IF APPL ADMIXT	ICABLE). ALL CONCRETE EXPOSED TO THE URE TO ENTRAIN AIR - 5% TOTAL AIR REQU
9. NOTCHING AND BORING OF BEAMS AI	ND JOISTS IS NOT ALLOWED WITHOUT PRIOR		TO FRE	EZING AND THAWING DURING CONSTRUC

APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.

3. PROVIDE GRADE 60 KSI (A615) FOR CONCRETE STEEL REINFOR

	EXTENT	REQUIRED? ((Y/N) N	IATERIAL / ACTIVITY		EXTENT	b2 engineers
	Periodic		1	705.4 Masonry Construction A) Level A, B and C Quality Assurance:			info@b2engineers.com
ture, including but not limited to alternative materials		Y N Y N	N 1 (N 1	. Verify compliance with approved submittals B) Level B Quality Assurance: Verification of fm and fAAC prior to construction		Periodic	425-318-7047 (O)
		Y N	(N 1	C) Level C Quality Assurance: . Verification of f'm and f'AAC prior to construction and for every 5,000 SF during construction		Periodic	425-316-0031 (C)
reports and certificates as listed in AISC 360, chapter	Each submittal	Y N	N 2 9 N 3	rout other than self-consolidating grout, as delivered to the project site Norman Verify placement of masonry units	and	Periodic	
iction documents)	Periodic	Y N	(N 1	D) Levels B and C Quality Assurance: . Verification of Slump Flow and Visual Stability Index (VSI) of self-consolidating grout as delive	ered to	Continuous	
e, length, embedment. See 1705.3 for anchors) s, and application of joint details at each connection	Periodic	Y N Y N	t N 2 N 3	ne project 2. Verify compliance with approved submittals 3. Verify proportions of site-mixed mortar, grout and prestressing grout for bonded tendons		Periodic Periodic	
e, or perform for each welded joint or member, the QA	Observe or Perform as noted (4)	Y N	N 4	. Verify grade, type, and size of reinforcement and anchor bolts, and prestressing tendons and inchorages		Periodic	
e, or perform for each welded joint or member, the QA	Observe (4)	Y N Y N	N 5 N 6	 b. Verify construction of mortar joints b. Verify placement of reinforcement, connectors, and prestressing tendons and anchorages 		Periodic Level B - Periodic Level C - Continuous	
or perform for each welded joint or member, the QA	Observe or Perform as noted (4)	Y N	N 7	. Verify grout space prior to grouting		Level B - Periodic Level C - Continuous	
ints: see Commentary or greater in risk category III or IV	Periodic	Y N Y N Y N	N 8 N 9	 Verify placement of grout and prestressing grout for bonded tendons Verify size and location of structural masonry elements Verify type, size, and location of anchors, including details of anchorage of masonry to struct 	tural	Continuous Periodic Level B - Periodic	
nen material t > 2" Jired by AISC 360, Appendix 3, Table A-3.1	Periodic Periodic	Y N	r N 1	nembers, frames, or other construction. 1. Verify welding of reinforcement (see 1705.2.2)	lurai	Level C - Continuous Continuous	
performs NDT	Each submittal (5)	Y N	N 1	2. Verify preparation, construction, and protestion of masonry during cold weather (temperature 00F) or hot weather (temperature above 90oF)	e below	Periodic	
or perform tasks for each bolted connection, in , Table N5.6-1) ne QA tasks listed in AISC 360. Table N5.6-2)	Observe of Perform as noted (4) Observe (4)	Y N Y N	N 1 N 1	 Verify application and measurement of prestressing force Verify placement of AAC masonry units and construction of thin-bed mortar joints (first 5000 AAC masonry)) SF of	Continuous Continuous	SR OF WASHING
	Periodic	Y N	N 1 5	5. Verify placement of AAC masonry units and construction of thin-bed mortar joints (after the fi j000 SF of AAC masonry)	first	Level B - Periodic Level C - Continuous	
	Periodic Periodic Continuous	Y N Y N	N 1 N 1	 Verify properties of thin-bed mortar for AAC masonry (first 5000 SF of AAC masonry) Verify properties of thin-bed mortar forAAC masonry (after the first 5000 SF of AAC masonry) 	у)	Continuous Level B - Periodic Level C - Continuous	Pro 43789 14 45
	Continuous Periodic	Y N	N 1	8. Prepare grout and mortar specimens		Level C - Continuous REVIEWED FOR Level C - Continuous CODE COMPLIANCE	FSSIONAL ENGIN
ks for each bolted connection in accordance with QA	Perform (4)	Y N	N 1	9. Observe preparation of prisms		Level B - Periodic Level C - Continuous June 7, 2022	
construction prior to concrete placement in accordance	Observe or Perform as noted (4)	Y N	1 N 1	705.5 Wood Construction . Inspection of the fabrication process of wood structural elements and assemblies in accordan Section 1704.2.5	nce with	Periodic	
t ructural Steel eck:		Y N	N 2	2. For high-load diaphragms, verify grade and thickness of structural panel sheathing agree with approved building plans	ı	Periodic	
	Periodic Each submittal	Y N	N 3 s	. For high-load diaphragms, verify nominal size of framing members at adjoining panel edges, r taple diameter and length, number of fastener lines, and that spacing between fasteners in eac	nail or ch line	Periodic	
upporting structure:	Periodic	Y N	a N 4 r	and at edge margins agree with approved building plans . Metal-plate-connected wood trusses spanning 60 feet or greater: verify temporary and permai estraint/bracing are installed in accordance with the approved truss submittal package	anent	Periodic	
pproved submittal ce with approved submittal and manufacturer's	Periodic Periodic		1	705.6 Soils			2906 74TH AVE
n ASTM A706	Periodic	Y N Y N	1 N 2	. Verify materials below shallow foundations are adequate to achieve the design bearing capac 2. Verify excavations are extended to proper depth and have reached proper material.	city.	Periodic	SE REMODEL
al forces in intermediate and special moment frames, tural walls and shear reinforcement	Continuous	Y N Y N Y N	N 4	 Verify use of proper materials, densities, and lift thicknesses during placement and compactio controlled fill 	on of	Periodic Continuous	
	Continuous Periodic	Y N	5 N	5. Prior to placement of controlled fill, observe subgrade and verify that site has been prepared p	properly	Periodic	
et or greater bracing are installed in accordance with the approved	Periodic	Y N	1 1 N 2	705.7 Driven Deep Foundations . Verify element materials, sizes and lengths comply with requirements ? Determine capacities of test elements and conduct additional load tests, as required		Continuous	
		Y N Y N	N 3	 Betermine suparticles of test elements and conduct deditional read tests, do required Observe driving operations and maintain complete and accurate records for each element Verify placement locations and plumbness, confirm type and size of hammer, record number of 	of blows	Continuous Continuous	
see 1705.2.2 for welding)	Periodic. Periodic Continuous	Y N	N p e	per foot of penetration, determine required penetrations to achieve design capacity, record tip ar elevations and document any damage to foundation element is For stool elements, perform additional inspections per Section 1705.2	nd butt	Continuous	2906 74TH AVE SE,
l post-installed in hardened concrete: Per research	Periodic or as required by the research report issued by an	Y N Y N	N 6 N 1	 For steel elements, perform additional inspections per Section 1705.2 For concrete elements and concrete-filled elements, perform additional inspections per Section 705.3 	on	See Section 1705.2 See Section 1705.3	MERCER ISLAND, WA
anchor dimensions, hole dimensions, hole cleaning , concrete minimum thickness, anchor embedment and	approved source	Y N	7 N p	Y. For specialty elements, perform additional inspections as determined by the registered design professional in responsible charge	n	In accordance with construction documents	98040
and air content tests and determine temperature of	Periodic Continuous	Y N	٤ ١ 1	705.8 Cast-in-Place Deep Foundations		In accordance with construction documents	
ement for proper application techniques	Continuous	Y N	1 N 2	.Observe drilling operations and maintain complete and accurate records for each element 2. Verify placement locations and plumbness, confirm element diameters, bell diameters (if appli	licable),	Continuous	
ring temperature and techniques	Periodic	Y N		engths, embedment into bedrock (if applicable) and adequate end-bearing strata capacity. Reco concrete or grout volumes	ord	Continuous	
in the seismic-force-resisting system	Continuous	Y N Y N	N 4	Perform additional inspections and tests in accordance with the construction documents		See Section 1705.3 In accordance with construction documents	
ocuments I in accordance with Section 1705.2	In accordance with construction documents In accordance with Section 1705.2 Periodic	Y N	1 1	705.9 Helical Pile Foundations . Verify installation equipment, pile dimensions, tip elevations, final depth, final installation torque there determined	ue and	Continuous	
m beams and structural slabs pocation and dimensions	Periodic	Y N	2 N	2. Perform additional inspections and tests in accordance with the construction documents		In accordance with construction documents	
of compliance with construction documents	Periodic	V N	1	705.10.1 Structural Wood Special Inspections For Wind Resistance . Inspection of field gluing operations of elements of the main windforce-resisting system		Continuous	
e engaged by the Owner or the Owner's Agent and		Y N	N 2 N r	Inspection of nailing, bolting, anchoring and other fastening of components within the main wir esisting system	indforce-	Periodic	
e work is to be inspected or tested. Any conflict of icial prior to commencing work. The qualifications of			1	705.10.2 Cold-formed Steel Special Inspections For Wind Resistance Inspection during welding operations of elements of the main windforce-resisting system.			
ies may be subject to the approval of the Building		Y N Y N	N 2 N r	l.Inspections for screw attachment, bolting, anchoring and other fastening of components within nain windforce-resisting system	n the	Periodic Periodic	
nilled as a separate document, il noted so above.			1	705.10.3 Wind-resisting Components . Roof cladding			ISSUE DATE 03-16-22
1704.2.5 are not required where the fabricator is 04.2.5.2		Y N Y N	N 2	2. Wall cladding		Periodic Periodic	
eed not be delayed pending these inspections. Perform nection, or steel element.		Y N	1 N I	705.11.1 Structural Steel Special Inspections for Seismic Resistance nspection of structural steel in accordance with AISC 341		In accordance with AISC 341	
abricator's shop may be performed by that fabricator		V N	1	705.11.2 Structural Wood Special Inspections for Seismic Resistance . Inspection of field gluing operations of elements of the seismic-force resisting system		Continuous	
60, N7.		Y N Y N	N 2 N r	 Inspection of nailing, bolting, anchoring and other fastening of components within the seismic- esisting system 	-force-	Periodic	ENGINEER BB
			1 F	705.11.3 Cold-formed Steel Light-Frame Construction Special Inspections for Seismic Resistance			REVISION SCHEDULE
ENCE CODES AND STANDARDS		Y N Y N	N 1	. Inspection during welding operations of elements of the seismic-force-resisting system 2. Inspections for screw attachment, bolting, anchoring and other fastening of components withir	in the	Periodic Periodic	NO. DATE DESCRIPTION
AL CONCRETE" FURAL CONCRETE"			່ ຮ	eismic-force-resisting system			
	STRUCTURAL AND MISCELLANEOUS STEEL	SHALL BE HOT DI		I VANIZED OR EPOXY PAINTED PER ARCHITECT			
ING AND PLACING CONCRETE"	REQUIREMENTS. ALL CUT, REPAIRED AND EX PAINT PER ASTM A780. COLOR TO MATCH EX	XPOSED SURFAC (ISTING.	CE SHALL	BE PAINTED WITH (2) COAT OF 95% ZINC RICH			
	STEEL SHALL CONFORM TO THE FOLLOWING	G STANDARDS:					
	WIDE FLANGE COLUMNS / BEAMS: STEEL PIPE:	ASTM A300, GR ASTM 572 GR50 SCHEDULE 40, 0	, CONFORI	MING TO ASTM A53, TYPE E OR S, GRADE B (Fy = 35 KSI.)			
MENT PER CUBIC YARD OF CONCRETE)	ALL OTHER STEEL: BOLTS:	ASTM A36 (Fy = ASTM A307 (WC	= 36 KSI) (OOD/STEE	DR ASTM A992 EL CONN)		DRAWING LIST	
EMENT PER CUBIC YARD OF CONCRETE)	BOLTS: ANCHOR BOLTS: ANCHOR BOLTS:	ASTM A325/A490 ASTM A307 (WC	90 WITH LO OOD FRAM A325 (STE	JCK WASHERS (STEEL/STEEL AND STEEL/CONC CONN) /ING) FL FRAMING)	SHEI NUME	EI BER SHEET NAME ISSUE DATE	
	ALL SLIP CRITICAL CONNECTIONS SH	IALL BE ASTM A3	325 BOLTS	AND SHALL BE ENGINEER-APPROVED, SELF-LOAD	S-0	GENERAL NOTES AND 03-16-22 SPECIFICATIONS	GENERAL NOTES
ABOVE. AIR CONTENT TOLERANCE SHALL BE F PLACEMENT. (AFTER PUMPING	INDICATING TYPES, AND SHALL BE INSTALLE	D IN STRICT ACC	CORDANC	E WITH MANUFACTURER'S RECOMMENDATIONS.	S-1	BASEMENT/ FOUNDATION PLAN 03-16-22	AND
IE WEATHER SHALL HAVE AN APPROVED QUIRED. CONCRETE THAT CAN BE SUBJECTED	CONFORM TO THE AWS CODES D1.1 1/4" CONTINUOUS FILLET MINIMUM INCREAS	AND D1.3, AND U SE WELD SIZE TO	USE ONLY O AWS MI	CERTIFIED WELDERS. WELDS NOT SPECIFIED ARE TO BE NIMUM SIZES, BASED ON PLATE THICKNESS. USE DRY E70 ELECTRODES. ALL	S-2 S-3	MAIN FLOOR FRAMING PLAN03-16-22ROOF FRAMING PLAN03-16-22	SPECIFICATIONS
RCING	WELDING SHALL CONFORM TO THE AWS CO SPECIFIED SHALL BE 1/4" CONTINUOUS FILLE	DES, AND SHALL ET MINIMUM. USE	L BE BY CI SE DRY E7	ERTIFIED WELDERS. WELDS NOT	S-4	FRAMING DETAILS03-16-22	$\bigcirc \bigcirc$
					Grand	total: 5	5-0
							Copyright b2 Structural Engineers 2008

STEEL	SHALL CONFORM TO THE FOLLOWING	S STANDARDS:
	TUBE COLUMNS:	ASTM A500, GRADE B (Fy = 46 KSI)
	WIDE FLANGE COLUMNS / BEAMS:	ASTM 572 GR50
	STEEL PIPE:	SCHEDULE 40, CONFORMING TO ASTM A53, TYPE E OR S, GRADE B (Fy = 35 KSI.)
	ALL OTHER STEEL:	ASTM A36 (Fy = 36 KSI) OR ASTM A992
	BOLTS:	ASTM A307 (WOOD/STEEL CONN)
	BOLTS:	ASTM A325/A490 WITH LOCK WASHERS (STEEL/STEEL AND STEEL/CONC CONN)
	ANCHOR BOLTS:	ASTM A307 (WOOD FRAMING)
	ANCHOR BOLTS:	ASTM A325 (STEEL FRAMING)

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REVIEWED FOR CODE COMPLIANCE June 7, 2022

IMPORTANT NOTES ON FIELD VERIFICATIONS AND TEMPORARY SHORING:

 CONTRACTOR SHALL REVIEW STRUCTURAL DRAWINGS AND FIELD VERIFY ALL RELATED EXISTING FRAMING & DIMENSIONS PRIOR TO ANY FIELD WORK. NOTIFY THE ENGINEER/OWNER ANY DISCREPANCIES FOUND IN THE FIELD. STRUCTURAL DRAWINGS MAY NOT CORRECTLY REFLECT ALL EXISTING FRAMING DUE TO LIMITED ACCESS TO THE SITE AND EXISTING DRAWINGS.
 CONTRACTOR SHALL FIELD VERIFY AND NOTIFY THE ENGINEER/OWNER OF EXISTING

MECHANICAL DUCTS, PLUMBING PIPES, ELECTRICAL WIRES THAT MAY INTERFERE WITH STRUCTURAL WORKS FOR COST CONSIDERATIONS PRIOR TO ANY FIELD WORK. 3. CONTRACTOR IS SOLELY RESPONSIBLE IN PROVIDING PROPER TEMPORARY SHORING PRIOR TO REMOVING ANY STRUCTURAL ELEMENTS. PLEASE CALL ENGINEER FOR QUESTIONS

IMPORTANT NOTES ON FOUNDATION AND FRAMING:

 ALL FOOTINGS SHALL BEAR ON SUITABLE SOIL SUCH AS MIN. OF MEDIUM DENSE NATIVE SOIL OR COMPACTED STRUCTURAL FILL (NO SOFT OR ORGANIC MATERIALS). GEOTECHNICAL ENGINEER MAY BE REQUIRED TO ASSESS EXISTING SOIL CONDITIONS.
 FOR FRAMING LUMBER TYPES AND GRADES, AND CONCRETE MIX REQUIREMENTS PLEASE SEE S-0

3. FOR PLYWOOD/OSB SHEARWALL SCHEDULE, PLEASE SEE S-4

4. FOR COMMON HEADER FRAMING DETAIL AND HEADER SIZE, SEE S-4
5. PROVIDE (2) 2X6 OR (3) 2X4 STUD POSTS AT EACH END OF BEAMS, UNLESS NOTED OTHERWISE ON PLAN
6. SLAB ON GRADE SHALL BE MIN. 4" THICK WITH #3 AT 18" EACH WAY (AT MID-DEPTH)

ON 6" COMPACTED CRUSHED ROCK. PROVIDE 1" SAWCUT JOINT AT 15 FT MAX. SPACING (EACH WAY) 7. FLOOR SHEATHING SHALL BE 3/4" PLYWOOD OR OSB WITH 10d AT 6" NAILING AT

EDGES AND AT 12" AT FIELD 8. ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR OSB WITH 8d AT 6" NAILING AT EDGES AND AT 8" AT FIELD

IMPORTANT NOTES ON TRUSS AND FLOOR FRAMING DESIGN/SHOP DRAWINGS:

 TRUSS FRAMING LAYOUT SHOWN IS GENERAL CONCEPT ONLY. CONTRACTOR/ TRUSS SUPPLIER MUST SUBMIT TRUSS SHOP DRAWINGS INCLUDING TRUSS TEMPORARY/ PERMANENT BRACING PLANS FOR ENGINEER'S REVIEW
 TRUSS FRAMING PROFILE/ LAYOUT SHOULD CONFORM TO BOTH STRUCTURAL AND ARCHITECTURAL DRAWINGS. ANY DEVIATIONS SHALL BE APPROVED BY ENGINEER/ ARCHITECT PRIOR TO TRUSS DESIGN WORK.
 TRUSS DEFLECTION CRITERIAS:

FLOOR/DECK TOTAL LOAD = L/480ROOF TOTAL LOAD = L/240FLOOR/DECK LIVE LOAD = L/600ROOF SNOW LOAD = L/300** MAXIMUM TOTAL LOAD DEFLECTION SHOULD NOT EXCEED 1.0" IN ALL CASES4. FLOOR/ROOF FRAMING LAYOUT AND CONNECTORS (SUCH AS LUMBER PACKAGE BY
SUPPLIERS) MUST BE SUBMITTED FOR ENGINEER'S REVIEW PRIOR TO CONSTRUCTION

SS24	SIMPSON WSW STRONG WALL (24" WIDE)	(P ▼	CONTINOUS POST
SW6	PLYWOOD SHEARWAL L	(P) ∀	POST STOPS BELOW THIS FLOOR
A	SHEARWALL HOLDOWN	P	POST STARTS AT THIS FLOOR

\bigcap	LEGEND AND NOTES
\bigcirc	1/4" = 1'-0"

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REVIEWED FOR CODE COMPLIANCE June 7, 2022	BOR OF WASHINGTON BOR OF WASHINGTON BOR OF WASHINGTON BOR OF WASHINGTON BOR OF WASHINGTON BOR OF WASHINGTON A3789 A3789 A3789 BOR OF WASHINGTON
	2906 74TH AVE SE REMODEL
	2906 74TH AVE SE, MERCER ISLAND, WA 98040
	DRAWING INFO ISSUE DATE 03-16-22 ISSUED FOR PERMIT PROJECT NO.20242 ENGINEER BB REVISION SCHEDULE NO. DATE DESCRIPTION 1 03/16/22 Revision 1
	MAIN FLOOR FRAMING PLAN
	S-Z Copyright b2 Structural Engineers 2008

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REVIEWED FOR CODE COMPLIANCE June 7, 2022	BASE OF WASHING P BOR OF WASHING P ASTER BOR OF WASHING P ASTER ASTER BOR OF WASHING P ASTER ASTER BASE ASTER ASTE
	2906 74TH AVE SE REMODEL
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	DRAWING INFO ISSUE DATE 03-16-22 ISSUED FOR PERMIT PROJECT NO.20242 ENGINEER BB REVISION SCHEDULE <u>NO. DATE DESCRIPTION</u> 1 03/16/22 Revision 1
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(SEISMIC/WIND)	
496 PLF/ 696 PLF	
'36 PLF/ 1032 PLF	
060 PLF/ 1344 PLF	
232 PLF/ 1724 PLF	
172 PLF/ 2064 PLF	
920 PLF/ 2688 PLF	
464 PLF/ 3448 PLF	

LEVEL	OPENING	HEADER
ALL	4 FT MAX.	4X8 DF #2 U.N.O.
ALL	6 FT MAX.	4X10 DF #2 U.N.O.

1 TRIMMER AND 2 KING STUD NAILED TOGETHER OR POST PER PLAN

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	FRAMING DETAILS S-4
	FRAMING DETAILS S-4 Copyright b2 Structural Engineers 2008

REVIEV

June

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