

CITY OF MERCER ISLAND

DEVELOPMENT SERVICES GROUP

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercergov.org



INSPECTION REQUESTS:

online:



voicemail: (206) 275-7730

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:

Applicant is to complete the following information.

Applicant Contact information prior to permit issuance: Name, Address, Phone, Email
Applicant Contact information post permit issuance: Name, Address, Phone, Email

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR): Engineer of Record, Company, Phone, General Conformance to Construction Documents, Other

SOILS / GEOTECHNICAL: Special Inspector, Company, Phone, Erosion control measures, Shoring installation and monitoring, Observe and monitor excavation, Verification of soil bearing, Other

REINFORCED CONCRETE: Special Inspector, Company, Phone, Concrete strength, Reinforcing steel and concrete placement, Shotcrete placement, Other

STRUCTURAL STEEL: Special Inspector, Company, Phone, Fabrication and shop welds, Structural steel erection, field welds and bolting, Other

STRUCTURAL MASONRY: Special Inspector, Company, Phone, Mortar strength, Masonry unit strength, Other

WOOD: Special Inspector / Engineer of Record, Company, Phone, Lateral resisting system construction, High strength diaphragm construction, Other

OTHER SPECIAL INSPECTIONS: Special Inspector, Company, Phone, Epoxy grout installations, Expansion anchor installations, Other post installed anchors, Alternative construction methods, Alternative construction materials, Other

DEFERRED SUBMITTALS:

The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

Connector plate wood trusses, Metal joist / metal trusses, Premanufactured structures (stairs, etc.), Precast concrete elements, Other, Post tension layout, Exterior cladding, Window wall / curtain wall construction, Other

ENERGY CODE COMPLIANCE INFORMATION:

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

Sheet: Building envelope, Whole house ventilation, Energy Credit Information, RECPC Form Information, Air Leakage Testing, Duct Leakage Testing, Postconstruction Test, Rough-in Test

TO BE COMPLETED BY DSG

PROJECT ALERTS: Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition.

TREE PROTECTION REQUIREMENTS: Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.

FIRE PROTECTION REQUIREMENTS: Separate Permits are required for ALL fire protection systems. Fire Sprinkler, Monitored Household Fire Alarm per NFPA 72, Monitored Sprinkler, Water Flow Alarm, Other

WATER SUPPLY REQUIREMENTS: Fire sprinkler design calculations must be provided prior to determining water supply system requirements. City Installation, Applicant Installation, Required Service Line Size, Required Supply Line Size, Required Meter Size

DRAINAGE REQUIREMENTS: On site detention system required, Direct discharge into the lake, On site infiltration system required, No Storm Water permit required, As-built Utility drawings required, Connection to public storm drainage conveyance system req'd, Full Size drawings required, Other

SIDE SEWER REQUIREMENTS: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties. Video tape of existing sewer required (see standard details), New connection, Connect to existing, Disconnect permit required, Reconnect permit required, Other

APPROVED CODE ALTERNATIVES: Code alternatives must be inspected. Refer to the Inspection Checklist. CA1, CA2

SURVEY REQUIREMENTS (The following survey information must be submitted when checked): Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy.

MAXIMUM 40 PERCENT ALTERATION INSPECTION: A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730. Civil / Drainage, LUP / Setback requirements

GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times. Geotechnical Engineer, Phone

SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1. Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.

Permit number, Approved by, Date

TO BE COMPLETED BY DSG

TO BE COMPLETED BY DSG

REQUIRED CONSTRUCTION INSPECTIONS: It is the applicant's responsibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at www.MyBuildingPermit.com or by calling the Inspection Hotline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel) in advance of desired inspection. Be specific as to type of inspection.

TO BE COMPLETED BY DSG

Final Inspection: Tree Restoration, Final Inspection: Fire protection, including (but not limited to): Sprinkler, Access Road, Fire Code Alternatives (see below), FCA1, FCA2, FCA3, FCA4, Final Inspection: Water supply protection, including (but not limited to): backflow devices for: Waterfront property, Well water on property, Fire / lawn sprinkler, Boiler, Final Inspection: Site and utility: includes landscape, utilities and ROW. Site restoration complete and as-built drawings ready for submittal. Final Inspection: Building, including electrical / mechanical / plumbing. If applicable, provide closeout (summary) letters from Engineer, Special Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS).

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO): Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.

Approved, Start Date, End Date

ADDITIONAL REQUIRED CITY INSPECTIONS: Call the appropriate contact to arrange the inspection. Required Inspection(s), Contact, Phone, Scheduling

IMPACT FEES: If applicable. Impact fees apply and are due prior to Final Inspection or on Date, whichever occurs first. PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents.

Building, Planning, Engineering, Tree, Fire

TO BE COMPLETED BY DSG

TO BE COMPLETED BY APPLICANT

TO BE COMPLETED BY APPLICANT



CERTIFICATE OF OCCUPANCY Issued after all required inspections have been performed and approved.

PROJECT NAME: PROJECT ADDRESS:

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCE

PERMIT NUMBER

Date

Approved

Date

Approved

BASIC SITE PLAN

SCALE: 1" = 10'-0"

Address of Property: 2906 74TH AVE SE Mercer Island 98040
 Owner: Premium Homes of Mercer Island
 Legal Description: MC GILVRAS ISLAND ADD POR WLY OF LN RNG FRM PT 150 FT E OF SW COR TO PT ON N LN 90 FT E OF NW COR Plat Block: 10 Plat Lot: 1
 Parcel Number: 5 3 1 5 1 0 - 0 8 3 6
 Zoning: R-9.6

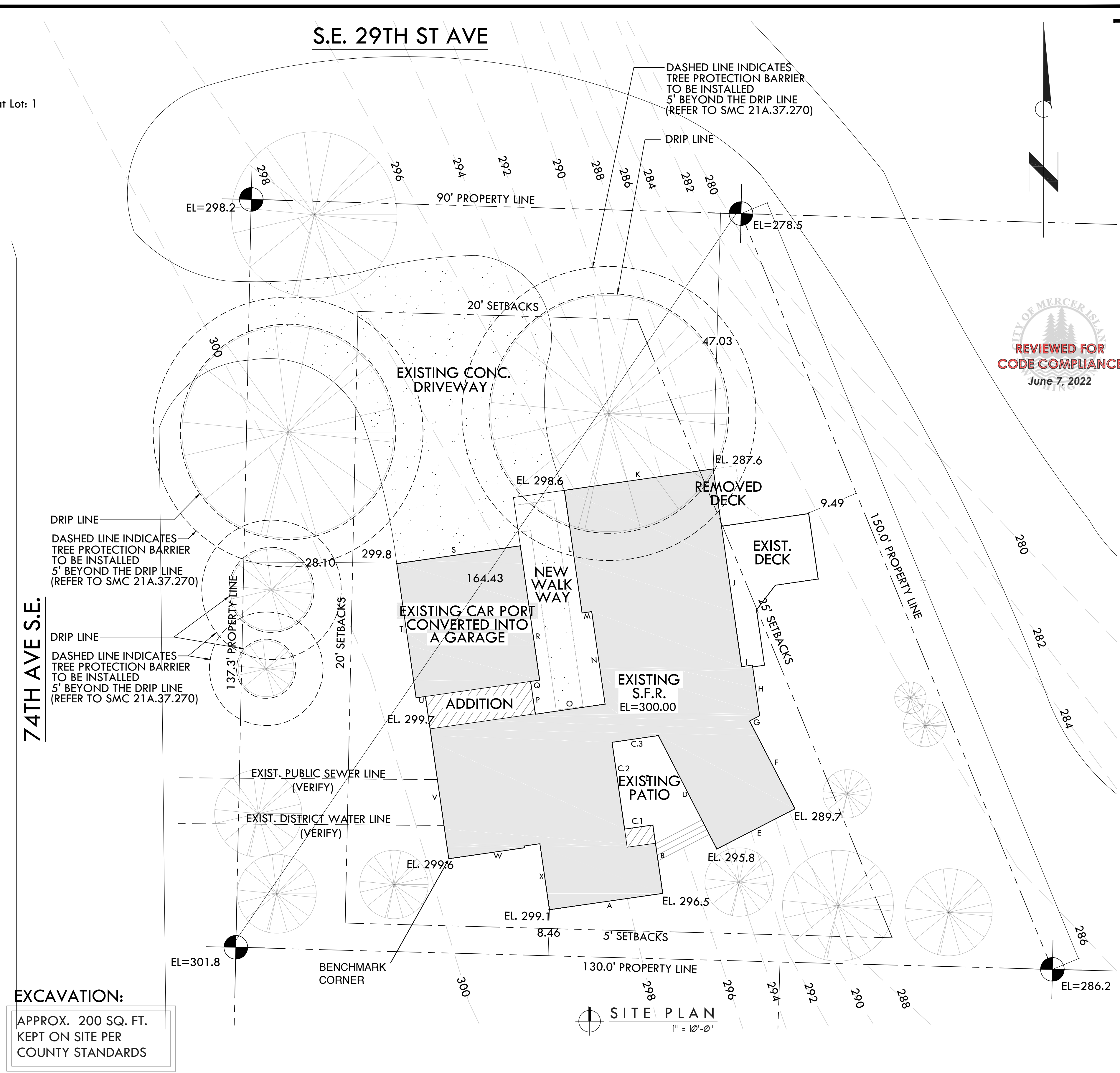
LOT COVERAGE CALCULATIONS	
ALL AREA UNDER A ROOF OVERHANG INCLUSIVE OF THE EXISTING HOUSE, NEW GARAGE, AND NEW ADDITION [IN SQ. FT.]	as 3,771
measured on Sheet A-1.4:	
AREA OF CONCRETE DRIVEWAY [EXISTING TO REMAIN]:	2,119
TOTAL LOT COVERAGE AREA:	5,890
TOTAL SITE AREA PER KC ASSESSOR [IN SQ. FT.]:	16,560
% OF LOT COVERAGE = LOT COVERAGE AREA / SITE AREA:	36%
ALLOWABLE LOT COVERAGE PER SLOPE RULES:	40%
THEREFORE ADDITION IS COMPLIANT	

LOT SLOPE CALCULATIONS	
HIGHEST ELEVATION ON SITE [IN FEET]:	301.8
LOWEST ELEVATION ON SITE [IN FEET]:	278.5
DIFFERENCE IN ELEVATION ACROSS SITE [IN FEET]:	23.3
DISTANCE BETWEEN HIGHEST & LOWEST POINTS [IN FEET]:	164.4
SLOPE = DIFFERENCE / DISTANCE	14.2%
SLOPE ON SITE IS < 15%, THEREFORE 40% LOT COVERAGE IS ALLOWED	

HARDSCAPE CALCULATIONS	EXISTING	REMOVED	NEW [ADDED]	TOTAL
UNCOVERED DECKS	316	-52	0	264
UNCOVERED PATIOS	218	0	0	218
WALKWAY	203	-203	203	203
PATIO STAIRS	30	0	0	30
TOTAL HARDSCAPE AREA	767	-255	203	715
SITE AREA	16560		HARDSCAPE:	4%



VICINITY MAP



EXCAVATION:
 APPROX. 200 SQ. FT.
 KEPT ON SITE PER
 COUNTY STANDARDS



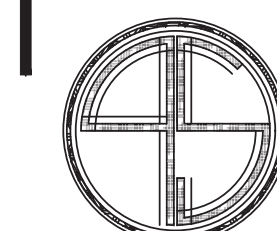
PS HOME DESIGNS
 CUSTOM HOMES
 REMODELS
 ADDITIONS
 253-282-2277
 PAVEL2TRAVEL@GMAIL.COM

SCALE:
 1" = 10'-0"
 ENGINEERING:
 BLDG DEPT:
 MERCER ISLAND
 CHECKED BY:
 PRINT DATE:
 4/1/22
 REVISIONS
 122120 AS-BUILTS FVS
 122220 SITE PLAN FVS
 4/1/22 Corrections FVS
 BUILDER APPROVAL:
 DATE
 OWNER APPROVAL:
 DATE

PLAN NUMBER
 PROJECT
 PREMIUM HOMES
 OF MERCER ISLAND
 2906 74TH AVE SE
 Mercer Island
 WASHINGTON

AVERAGE BUILDING ELEVATION [ABE] CALCULATIONS																												
WALL SEGMENT ID	A	B	C1	C2	C3	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	TOTALS	
WALL LENGTH IN FEET	21.0	12.7	5.3	16.1	8.6	23.4	16.2	18.2	2.1	9.4	2.0	36.7	27.6	22.8	1.8	17.2	12.9	6.1	1.7	24.9	22.9	24.9	1.8	30.1	17.3	12.2	395.8	
MIDPOINT ELEVATION	298.2	295.5	298.0	299.0	299.5	299.0	291.5	287.9	287.9	287.7	287.8	287.5	291.2	297.0	297.1	297.1	299.5	298.7	298.7	298.0	298.3	299.4	299.7	299.7	299.5	299.0	7692.4	
WEIGHTED SUM	6268.2	3752.9	1564.5	4816.9	2578.7	7002.6	4707.7	5234.0	601.7	2701.5	578.5	10548.4	8040.0	6762.7	534.8	5104.2	3875.5	1819.1	498.8	7426.2	6837.0	7461.0	524.5	9021.0	5181.4	3659.8	117101.4	
REFER TO A-1.3 TO SEE DIMENSIONS OF WALL SEGMENTS																											(ABE) AVERAGE BUILDING ELEVATION [aka average height of grade at building perimeter]	295.8

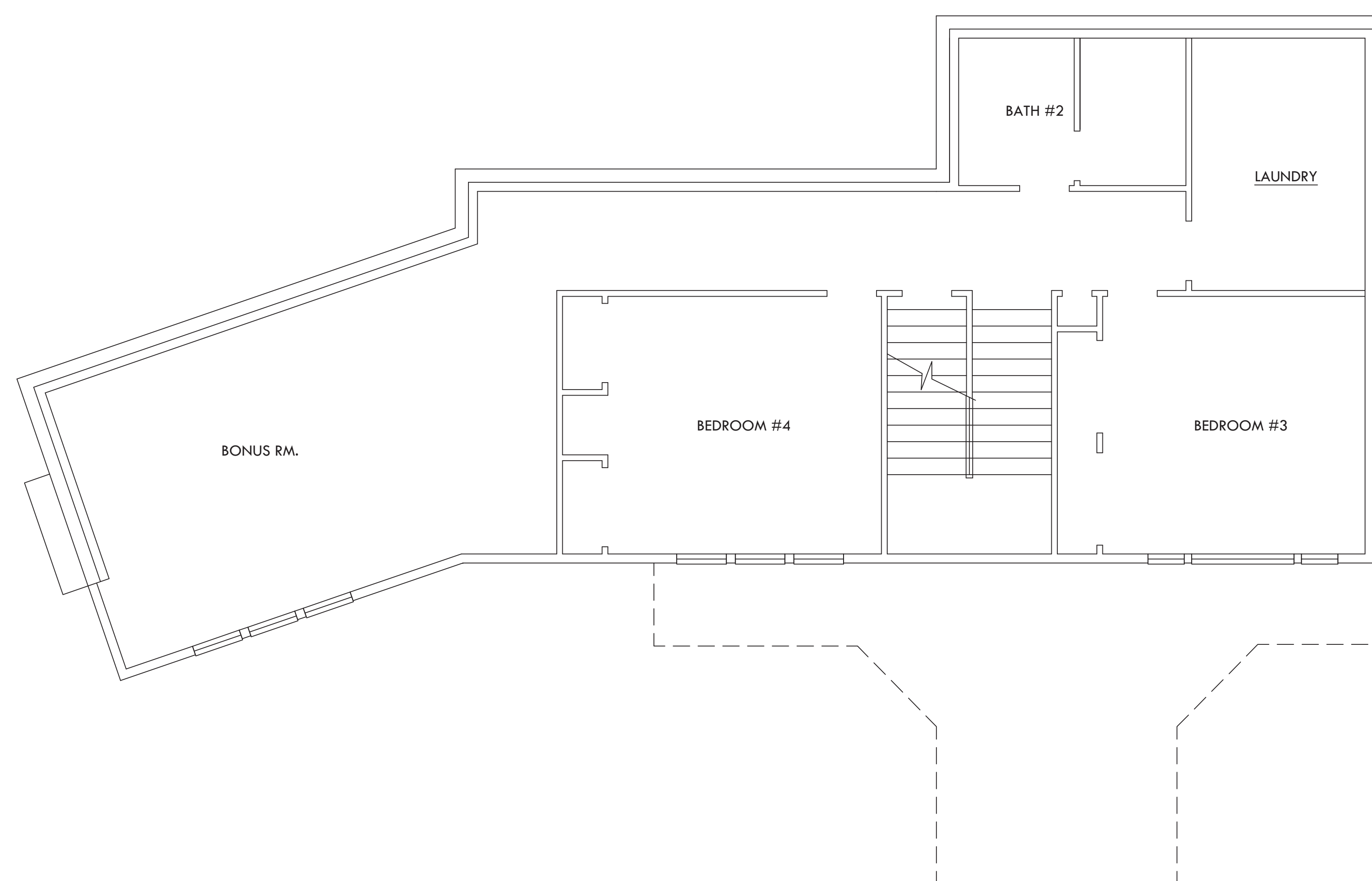
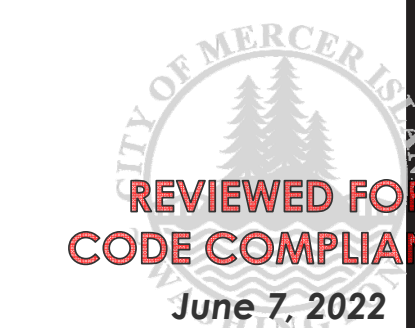
531510-0836
 SHEET TITLE:
 SITE PLAN
 SHEET NUMBER:
 C-1.0



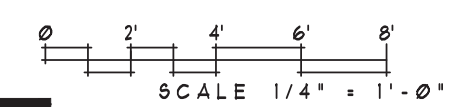
PS HOME
DESIGNS

CUSTOM HOMES
REMODELS
ADDITIONS
253-282-2277

PAVEL2TRAVEL@GMAIL.COM

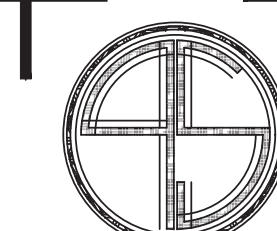


1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"
ENGINEERING:
BLDG DEPT: MERCER ISLAND
CHECKED BY:
PRINT DATE: 12.31.20
REVISIONS
12.31.20 PRELIMINARY PVS
4.11.22 Corrections JK
BUILDER APPROVAL: _____ DATE
OWNER APPROVAL: _____ DATE

PLAN NUMBER
PROJECT
PREMIUM HOMES OF MERCER ISL REMODEL
2906 74th Ave SE Mercer Island WASHINGTON 98040
531510-0836
SHEET TITLE:
SHEET NUMBER
A-0.1



PS HOME
DESIGNS

CUSTOM HOMES
REMODELS
ADDITIONS
253-282-2277

PAVEL2TRAVEL@GMAIL.COM



1 **FIRST**
EXISTING ~~BASEMENT~~ FLOOR PLAN
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"
ENGINEERING:
BLDG DEPT: MERCER ISLAND
CHECKED BY:
PRINT DATE: 12.3.20
REVISIONS
12.3.20 PRELIMINARY PVS
4.11.22 Corrections JK
BUILDER APPROVAL: _____ DATE
OWNER APPROVAL: _____ DATE

PLAN NUMBER
PROJECT
PREMIUM HOMES OF MERCER ISL REMODEL
2906 7th Ave SE Mercer Island WASHINGTON 98040
531510-0836
SHEET TITLE:
SHEET NUMBER
A-0.2

INSULATION BAFFLE NOTE:

WHEN EAVE VENTS ARE INSTALLED, BAFFLING OF THE VENT OPENINGS SHALL BE PROVIDED SO AS TO DEFLECT THE INCOMING AIR ABOVE THE SURFACE OF THE INSULATION. BAFFLES SHALL BE RIGID MATERIAL, RESISTANT TO WIND DRIVEN MOISTURE. BAFFLES SHALL BE INSTALLED FROM THE TOP OF THE OUTSIDE OF THE EXTERIOR WALL, EXTENDING INWARD TO A POINT 6" VERTICALLY ABOVE THE HEIGHT OF NON COMPRESSED INSULATION AND 1" VERTICALLY ABOVE LOOSE FILL INSULATION.

OPEN-BLOWN OR POURED LOOSE FILL INSULATION MAY BE USED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING IS NOT MORE THAN 3 FEET IN 12 AND THERE IS AT LEAST 30" OF CLEAR DISTANCE FROM THE TOP OF THE BOTTOM CHORD OF THE TRUSS OR CEILING JOIST TO THE UNDERSIDE OF THE SHEATHING AT THE ROOF RIDGE.

FIREBLOCKING NOTE:

PROVIDE 2" FIREBLOCKING AT ALL CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING BURRED SPACES AT THE CEILING AND FLOOR LEVELS AND AT 10'-0" INTERVALS BOTH VERTICAL AND HORIZONTAL.

SHOWER NOTES

ALL SHOWER RECEPTORS SHALL BE TESTED FOR WATER-TIGHTNESS BY FILLING WITH WATER TO THE LEVEL OF THE ROUGH THRESHOLD. THE TEST PLUG SHALL BE SO PLACED THAT BOTH UPPER AND UNDER SIDES OF THE SUB-PAN SHALL BE SUBJECTED TO THE TEST AT THE POINT WHERE IT IS CLAMPED TO THE DRAIN.

WHEN GYPSUM IS USED AS A BASE FOR TILE WALL PANELS FOR THE SHOWER OR WATER CLOSET COMPARTMENT WALLS WATER RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING AREAS OVER A VAPOUR RETARDER:

IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY SUCH AS SAUNAS, STEAM ROOMS, OR GANG SHOWER ROOMS, ON CEILINGS WHERE FRAME SPACING EXCEEDS 17'-0".

EGRESS NOTES

ALL WINDOWS LABELED AS EGRESS ON PLAN MUST MEET THE MINIMUM REQUIREMENTS FOR EGRESS WINDOWS.

EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING AREA OF 5.7 SQFT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". HEIGHT TIMES THE WIDTH SHALL NOT BE LESS THAN 5.7 SQFT.

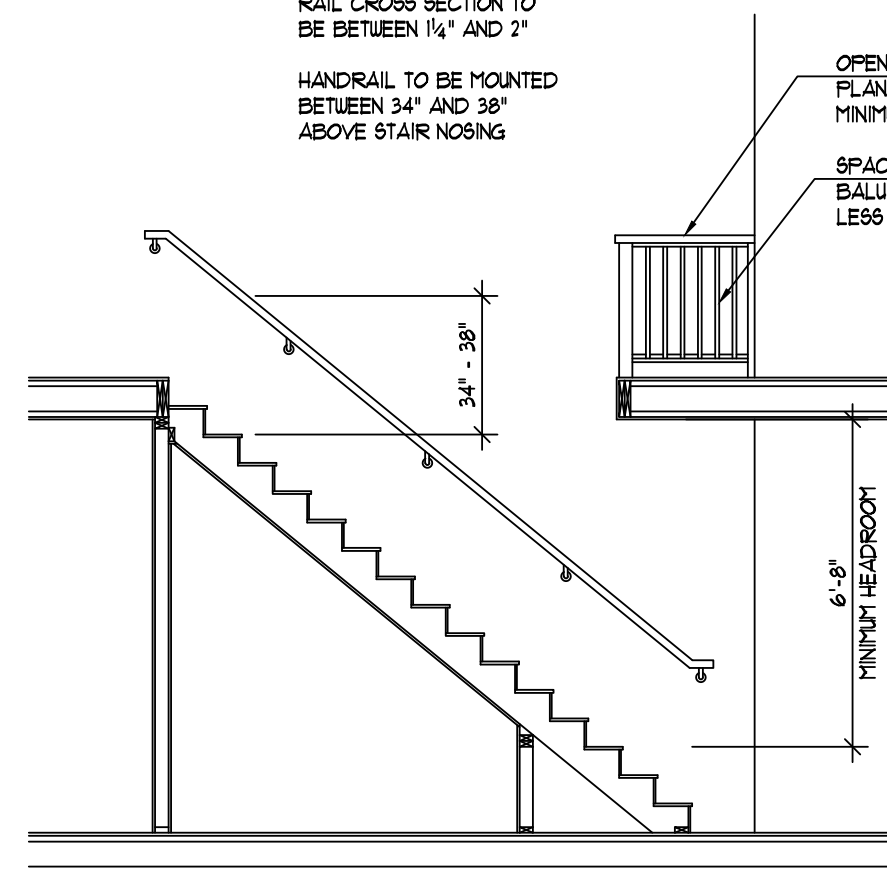
ALL WINDOWS LABELED AS EGRESS ON PLAN SHALL HAVE AN OPENING HEIGHT OF NOT MORE THAN 44" ABOVE FINISHED FLOOR LEVELS PER IRC 310.

HANDRAIL TO BE CONTINUOUS AT ALL STAIRS W/ MORE THAN 4" RISERS. RAIL TO RETURN TO WALL AT EACH END.

RAIL CROSS SECTION TO BE BETWEEN 1 1/4" AND 2".

HANDRAIL TO BE MOUNTED BETWEEN 34" AND 38" ABOVE STAIR NOSING.

OPEN RAIL SYSTEM PER PLAN TO BE 36" TALL MINIMUM. SPACING BETWEEN BALUSTERS TO BE LESS THAN 4".



C HAND RAIL DETAIL
1/4" = 1'-0"

TABLE M1507.3.3(1) FAN EFFICACY
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DUELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0 - 1	2 - 3	4 - 5	6 - 7	MORE THAN 7
LESS THAN 1500	30	45	60	75	90
1501 - 3000	45	60	75	90	105
3001 - 4500	60	75	90	105	120
4501 - 6000	75	90	105	120	135
6001 - 7500	90	105	120	135	150
MORE THAN 7500	105	120	135	150	165

WTR HTR NOTES:

IN SEISMIC ZONES D1, WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER THIRD AND LOWER THIRD OF ITS VERTICAL DIMENSION.

APPLIANCES CAPABLE OF PRODUCING A SPARK OR FLAME LOCATED IN A GARAGE SHALL BE INSTALLED WITH THE PILOT AND BURNERS OR HEATING ELEMENTS AT LEAST 18" ABOVE THE FLOOR SURFACE.

NATURAL GAS FIRED FURNACE AND WTR HTR TO VENT TO OUTSIDE.

WTR HTR TO HAVE PRESSURE RELIEF VALVE TO DRAIN BY GRAVITY TO OUTSIDE.

IN ADDITION TO REQUIRED PRESSURE RELIEF VALVE, AN APPROVED AND LISTED EXPANSION TANK SHALL BE INSTALLED PER THE MANUF. SPECIFICATIONS.

SMOKE DETECTOR CODE COMPLIANCE
REVIEWED FOR
MAY 7, 2022

ALL SMOKE DETECTORS SHOWN ON THE PLAN WITH SYMBOL AT RIGHT TO BE INSTALLED PER 2018 IRC SECTION R314. REFER TO FULL CODE FOR ALL REQUIREMENTS.

ALL DETECTORS TO BE LABELED IN ACCORDANCE WITH UL 211.

ALL DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH BATTERY BACKUP WHEN THE PRIMARY POWER IS INTERRUPTED.

WHERE MULTIPLE DETECTORS ARE SHOWN ON THE PLAN, THE DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE ENTIRE STRUCTURE.

R314.3 LOCATION

- SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. IN EACH SLEEPING ROOM.
 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 3. ON EACH ADDITIONAL STORY OF THE DUELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACE AND UNHABITABLE ATTICS. IN DUELLINGS OR DUELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW UPPER LEVEL.
 4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM CONTAINS A BATHUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3.
 5. IN NAPPING AREAS IN A FAMILY HOME CHILD CARE.

R314.3.1 ALTERATIONS, REPAIRS, & ADDITION

WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DUELLINGS, THE INDIVIDUAL DUELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS AS REQUIRED FOR NEW DUELLINGS.

CARBON MONOXIDE ALARMS

ALL CARBON MONOXIDE DETECTORS SHOWN ON THE PLAN WITH SYMBOL TO THE RIGHT SHALL BE INSTALLED PER 2018 IRC SECTION R315. REFER TO FULL CODE FOR ALL REQUIREMENTS.

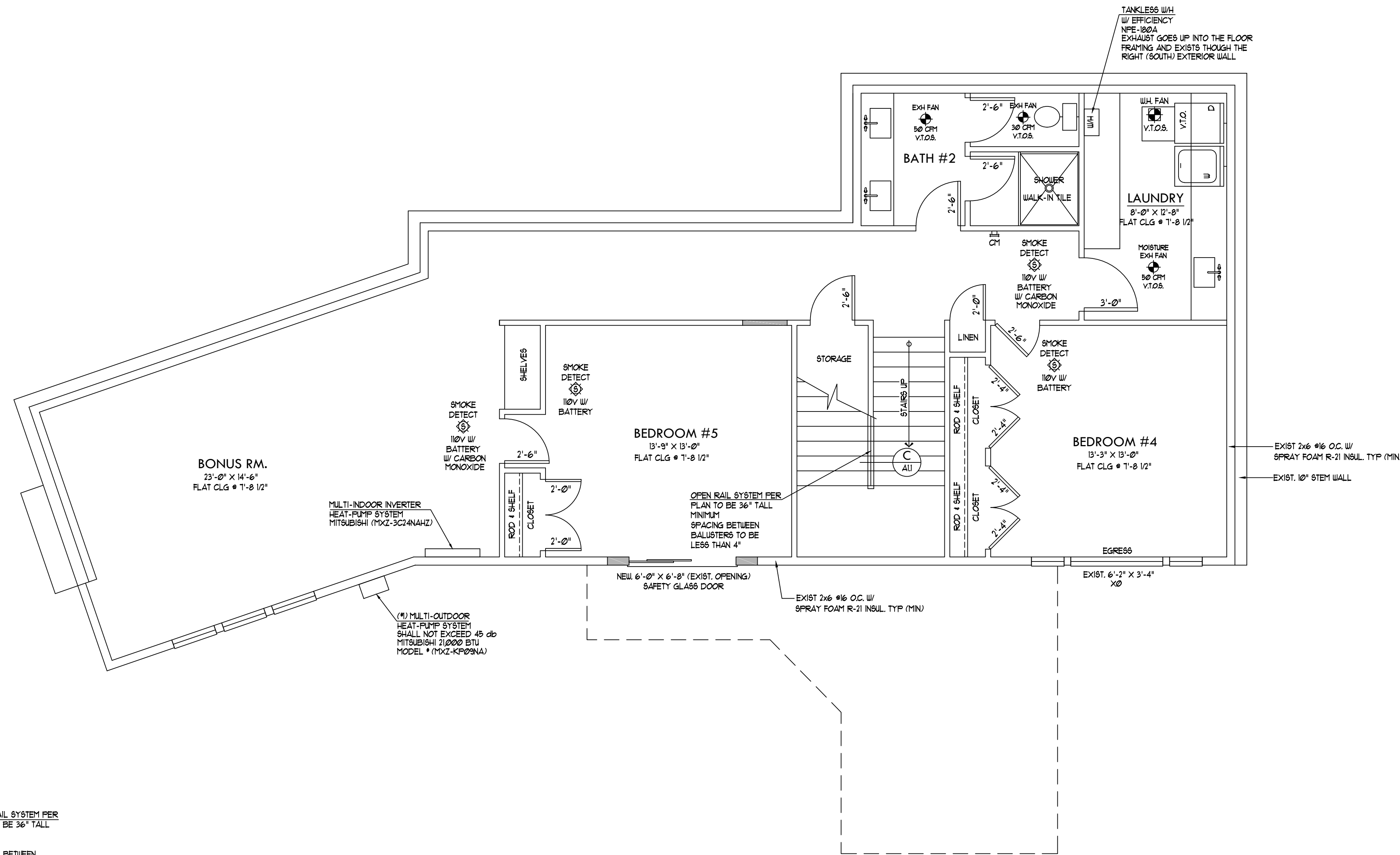
ALL DETECTORS TO BE LABELED IN ACCORDANCE WITH UL 1054 FOR SINGLE STATION ALARMS.

R315.2.2 ALTERATIONS, REPAIRS, AND ADDITIONS

EXISTING DUELLING SHALL BE EQUIPPED WITH CARBON MONOXIDE ALARMS IN ACCORDANCE WITH SECTION R315.2.1. AN INSPECTION WILL OCCUR WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED.

R315.3 LOCATION

CARBON MONOXIDE ALARMS IN DUELLING UNITS SHALL BE INSTALLED ON EACH LEVEL OF THE DUELLING UNIT AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.



PROPOSED LOWER FLOOR
1/4" = 1'-0"

GROSS FLOOR AREA CALCULATIONS

Building Area	Existing Area	Removed Area	Addition Area	Total
Upper Floor	0	0	0	0
Main Floor	2628	0	135	2763
Gross Basement	1338	0	0	1338
Garage / Carport	386	-386	562	562
Total Floor Area	4352	-386	697	4663
Lot Area				16560
Allowable Floor Area in R-9.6 Zoning			40%	6624
Proposed Gross Floor Area			28%	4663

SCALE 1/4" = 1'-0"



CUSTOM HOMES
REMODELS
ADDITIONS
253-282-2277

PAVEL2TRAVEL@GMAIL.COM

SCALE:
1/4" = 1'-0"

ENGINEERING:

BLDG DEPT:
MERCER ISLAND

CHECKED BY:

PRINT DATE:
12.9.20

REVISIONS

12.9.20 PRELIMINARY PV6

BUILDER APPROVAL:

DATE

DATE

OWNER APPROVAL:

DATE

DATE

PLAN NUMBER

2038

PROJECT

PREMIUM HOMES

OF MERCER ISL

REMODEL

2906 74th Ave SE

Mercer Island

WASHINGTON

98040

531510-0836

SHEET TITLE:

PROPOSED

MAIN FLOOR PLAN

SHEET NUMBER:

A-1.1

GARAGE NOTE:

GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED ON THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 1/2" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.

INSULATION Baffle NOTE:

WHEN EAVE VENTS ARE INSTALLED, BAFFLING OF THE VENT OPENINGS SHALL BE PROVIDED SO AS TO DEFLECT THE RISING AIR ABOVE THE SURFACE OF THE INSULATION. BAFFLING SHALL BE RIGID MATERIAL, RESISTANT TO WIND DRIVEN MOISTURE. BAFFLING SHALL BE INSTALLED FROM THE TOP OF THE OUTSIDE OF THE EXTERIOR WALL, EXTENDING INWARD, TO A POINT 6" VERTICALLY ABOVE THE HEIGHT OF NON COMPRESSED INSULATION AND 12" VERTICALLY ABOVE LOOSE FILL INSULATION.

OPEN-BLOWN OR POURED LOOSE FILL INSULATION MAY BE USED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING IS NOT MORE THAN 3 FEET IN 12, AND THERE IS AT LEAST 30" OF CLEAR DISTANCE FROM THE TOP OF THE BOTTOM CHORD OF THE TRUSS OR CEILING JOIST TO THE UNDERSIDE OF THE SHEATHING AT THE ROOF RIDGE.

FIREBLOCKING NOTE:

PROVIDE 2"x FIREBLOCKING AT ALL CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING RURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10'-0" INTERVALS BOTH VERTICAL AND HORIZONTAL.

SHOWER NOTES

ALL SHOWER RECEPTORS SHALL BE TESTED FOR WATER TIGHTNESS BY FILLING WITH WATER TO THE LEVEL OF THE ROUGH THRESHOLD. THE TEST PLUG SHALL BE SO PLACED THAT BOTH UPPER AND UNDER SIDES OF THE SUB-PAN SHALL BE SUBJECTED TO THE TEST AT THE POINT WHERE IT IS CLAMPED TO THE DRAIN.

WHEN GYPSUM IS USED AS A BASE FOR TILE WALL PANELS FOR TUB, SHOWER, OR WATER CLOSET COMPARTMENT WALLS WATER RESISTANT GYPSUM BACKING BOARD SHALL BE USED. WATER RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING AREAS OVER A VAPOR RETARDER:

IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY SUCH AS SAUNAS, STEAM ROOMS, OR GANG SHOWER ROOMS ON CEILING WHERE FRAME SPACING EXCEEDS 12" O.C.

EGRESS NOTES

ALL WINDOWS LABELED AS EGRESS ON PLAN MUST MEET THE MINIMUM REQUIREMENTS FOR EGRESS WINDOWS.

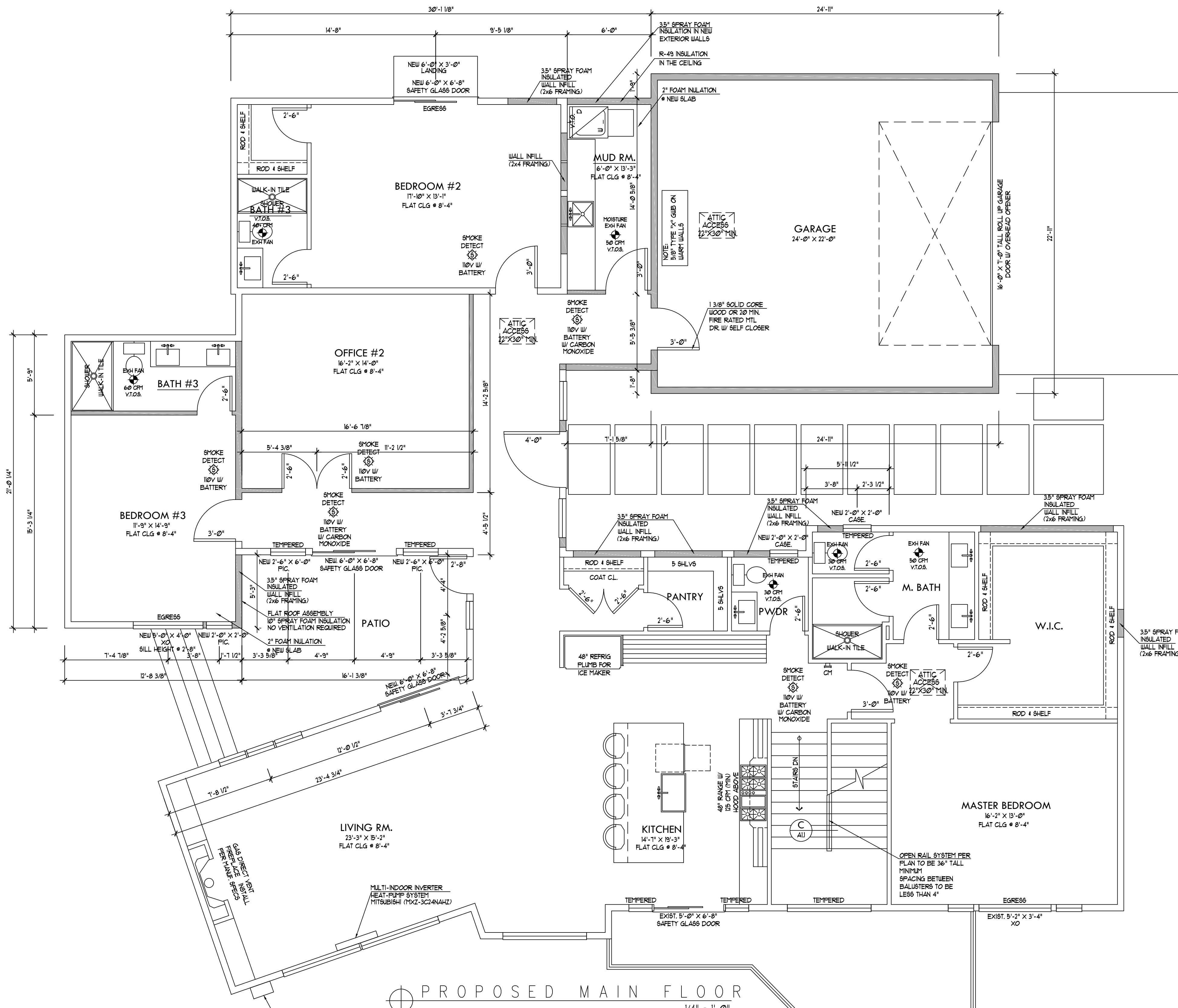
EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING AREA OF 5.7 SQFT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" HEIGHT TIMES THE WIDTH SHALL NOT BE LESS THAN 5.7 SQFT.

ALL WINDOWS LABELED AS EGRESS ON PLAN SHALL HAVE AN OPENING HEIGHT OF NOT MORE THAN 44" ABOVE FINISHED FLOOR LEVELS PER IRC 3101.

TEMPERED GLAZING NOTE

WINDOWS LABELED 'TEMPERED' ON FLOOR PLAN SHALL COMPLY WITH 2015 IRC FOR MANUF. LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLES AND SHALL BE VISIBLE IN THE FINAL INSTALLATION.

AREAS REQUIRING SAFETY GLAZING SHALL BE NOTED ON THE FLOOR PLAN AND COMPLY WITH 2015 IRC RATINGS STATED ABOVE.



PROPOSED MAIN FLOOR
1/4" = 1'-0"

GROSS FLOOR AREA CALCULATIONS				
Building Area	Existing Area	Removed Area	Addition Area	Total
Upper Floor	0	0	0	0
Main Floor	2628	0	135	2763
Gross Basement	1338	0	0	1338
Garage / Carport	386	-386	562	562
Total Floor Area	4352	-386	697	4663
Lot Area				16560
Allowable Floor Area in R-9.6 Zoning			40%	6624
Proposed Gross Floor Area			28%	4663

WTR HTR NOTES:

IN SEISMIC ZONES D1, WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER THIRD AND LOWER THIRD OF ITS VERTICAL DIMENSION.

APPLIANCES CAPABLE OF PRODUCING A SPARK OR FLAME LOCATED IN A GARAGE SHALL BE INSTALLED WITH THE PILOT AND BURNERS OR HEATING ELEMENTS AT LEAST 18" ABOVE THE FLOOR SURFACE.

NATURAL GAS FIRED FURNACE AND WTR HTR TO VENT TO OUTSIDE.

WTR HTR TO HAVE PRESSURE RELIEF VALVE TO DRAIN BY GRAVITY TO OUTSIDE.

IN ADDITION TO REQUIRED PRESSURE RELIEF VALVE, AN APPROVED AND LISTED EXPANSION TANK SHALL BE INSTALLED PER THE MANUF. SPECIFICATIONS.

SMOKE DETECTOR CODE COMPLIANCE

ALL SMOKE DETECTORS SHOWN ON THE PLAN WITH SYMBOL AT RIGHT TO BE INSTALLED PER 2015 IRC SECTION R314 REFER TO FULL CODE FOR ALL REQUIREMENTS.

ALL DETECTORS TO BE LABELED IN ACCORDANCE WITH UL 217.

ALL DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH BATTERY BACKUP WHEN THE PRIMARY POWER IS INTERRUPTED.

WHERE MULTIPLE DETECTORS ARE SHOWN ON THE PLAN THE DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE ENTIRE SFR STRUCTURE.

R314.3 LOCATION

- SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - IN EACH SLEEPING ROOM.
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACE AND UNHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW UPPER LEVEL.
 - SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3.
 - IN MAPPING AREAS IN A FAMILY HOME CHILD CARE.

R314.3.1 ALTERATIONS, REPAIRS, & ADDITION

WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS AS REQUIRED FOR NEW DWELLINGS.

CARBON MONOXIDE ALARMS

ALL CARBON MONOXIDE DETECTORS SHOWN ON THE PLAN WITH SYMBOL AT RIGHT SHALL BE INSTALLED PER 2015 IRC SECTION R315 REFER TO FULL CODE FOR ALL REQUIREMENTS.

R315.2.2 ALTERATIONS, REPAIRS, AND ADDITIONS

EXISTING DWELLING SHALL BE EQUIPPED WITH CARBON MONOXIDE ALARMS IN ACCORDANCE WITH SECTION R315.2.1. AN INSPECTION WILL OCCUR WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED.

R315.3 LOCATION

CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED ON EACH LEVEL OF THE DWELLING UNIT AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.

PS HOME DESIGNS

CUSTOM HOMES
REMODELS
ADDITIONS
253-282-2277

PAVEL2TRAVEL@GMAIL.COM

SCALE:
1/4" = 1'-0"

ENGINEERING:
BLDG DEPT:
MERCER ISLAND
CHECKED BY:

PRINT DATE:
12.9.20

REVISIONS

12.9.20 PRELIMINARY PV6
4.3.22 CORRECTIONS PV6

BUILDER APPROVAL:
DATE

OWNER APPROVAL:
DATE

PLAN NUMBER

PROJECT

PREMIUM HOMES OF MERCER ISL
REMODEL

2906 74th Ave SE
Mercer Island
WASHINGTON
98040

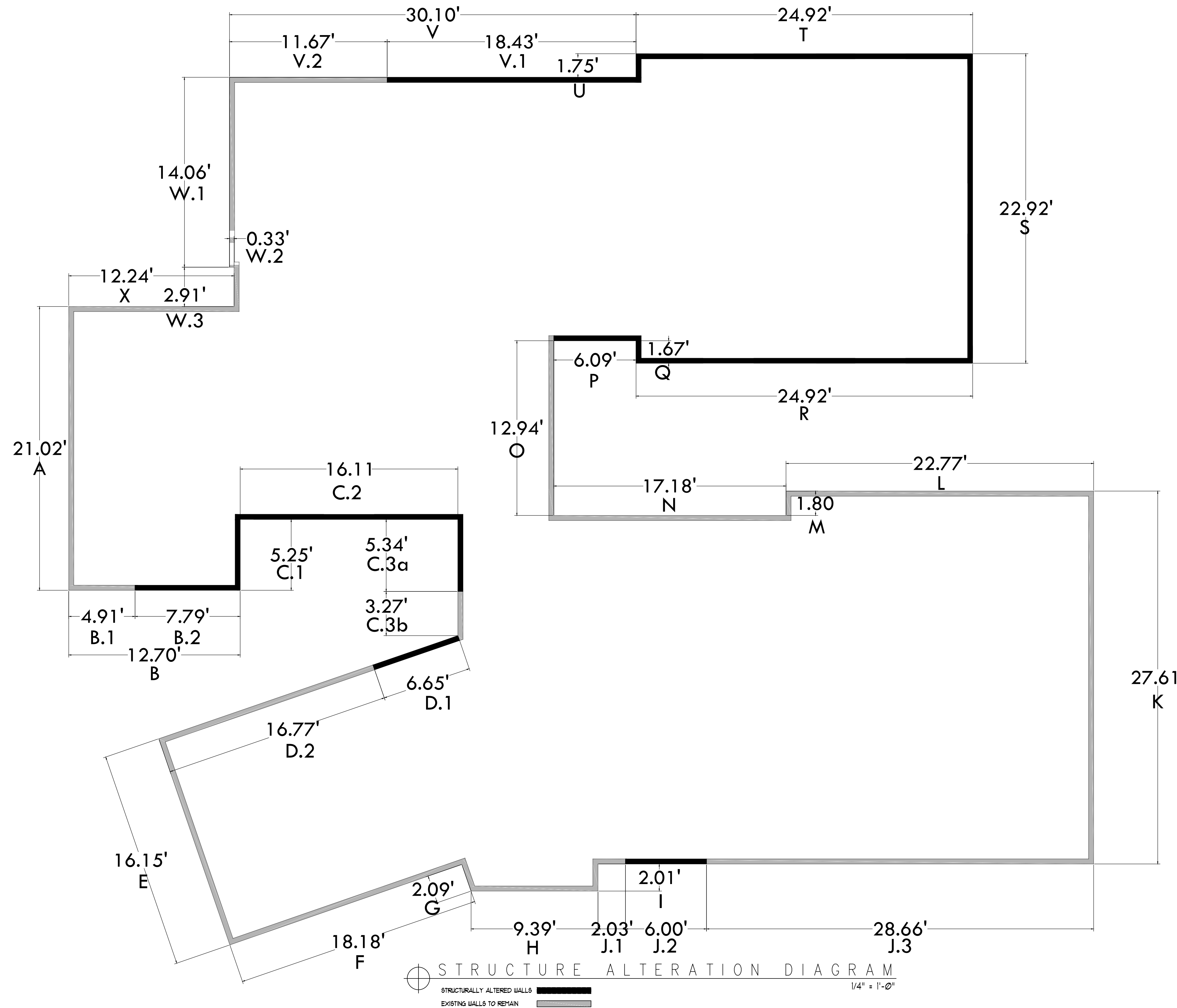
531510-0836

SHEET TITLE:
PROPOSED
LOWER FLOOR PLAN

SHEET NUMBER:
A-1.2



CUSTOM HOMES
REMODELS
ADDITIONS
253-282-2277
PAVEL2TRAVEL@GMAIL.COM



SCALE:
1" = 10'-0"

ENGINEERING:

BLDG DEPT:
MERCER ISLAND

CHECKED BY:

PRINT DATE:
4/11/22

REVISIONS

122120	AS-BUILTS	PVS
122220	SITE PLAN	PVS
4/11/22	CORRECTIONS	PVS

BUILDER APPROVAL:

DATE

DATE

OWNER APPROVAL:

DATE

DATE

PLAN NUMBER

PROJECT

PREMIUM HOMES
OF MERCER ISLAND

2906 74TH AVE SE
Mercer Island
WASHINGTON

531510-0836

SHEET TITLE:

STRUCTURE
ALTERATION DIAGRAM

SHEET NUMBER:

A-1.3

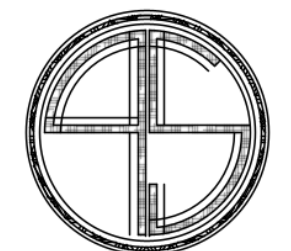
STRUCTURE ALTERATION DIAGRAM
1/4" = 1'-0"

STRUCTURALLY ALTERED WALLS
EXISTING WALLS TO REMAIN

STRUCTURALLY MODIFIED EXTERIOR WALL LENGTH CALCULATIONS

WALL SEGMENT ID	A	B	C1	C2	C3	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	TOTALS
WALL LENGTH IN FEET	21.02	12.7	5.25	16.11	8.61	23.42	16.15	18.18	2.09	9.39	2.01	36.69	27.61	22.77	1.8	17.18	12.94	6.09	1.67	24.92	22.92	24.92	1.75	30.1	17.3	12.24	395.83
STRUCTURALLY MODIFIED PORTION OF EXTERIOR WALLS IN FEET	0	7.79	5.25	16.11	5.34	6.65	0	0	0	0	0	6	0	0	0	0	0	6.09	1.67	24.92	22.92	24.92	1.75	18.43	0	0	147.84

RATIO OF MODIFIED EXTERIOR WALLS TO ALL EXTERIOR WALLS: 37%



PS HOME
DESIGNS

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REMODELS
ADDITIONS
253-282-2277

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SCALE:

1/4" = 1'-0"

ENGINEERING:

BLDG DEPT:
MERCER ISLAND

CHECKED BY:

PRINT DATE:
12.9.20

REVISIONS

12.9.20 PRELIMINARY FVS

BUILDER APPROVAL:

DATE

DATE

OWNER APPROVAL:

DATE

DATE

PLAN NUMBER

PROJECT

PREMIUM HOMES
OF MERCER ISL
REMODEL

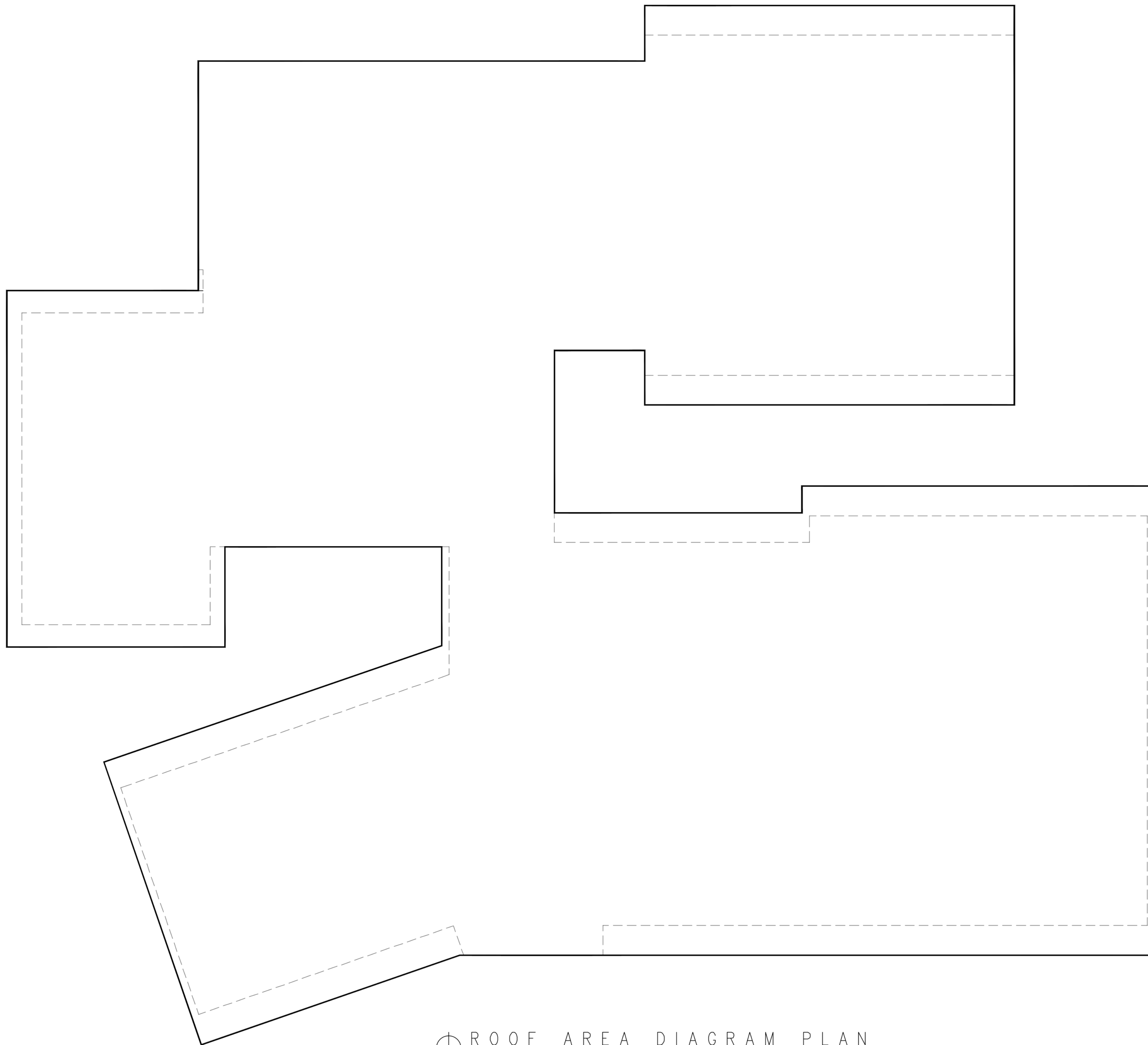
2906 74th Ave SE
Mercer Island
WASHINGTON
98040

531510-0836

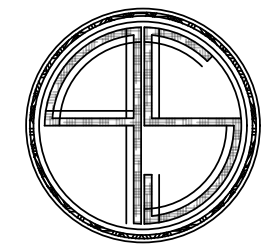
SHEET TITLE:
ROOF AREA
DIAGRAM PLAN

SHEET NUMBER:

A-1.4



ROOF AREA DIAGRAM PLAN
BUILDING AREA (WITH ADDITION): 33348 SQ. FT.
ROOF AREA (WITH ADDITION): 31701 SQ. FT.
1/4" = 1'-0"



PS HOME
DESIGNS

CUSTOM HOMES
REMODELS
ADDITIONS

253-282-2277

PAVEL2TRAVEL@GMAIL.COM

WALL FLASHING NOTE:

- APPROVED CORROSION RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS AS APPLICABLE.
- AT THE TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF EXCEPT THAT SELF FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1 1/2" OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING. JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL.
 - AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
 - UNDER AND AT THE ENDS OF MASONRY, METAL OR WOOD COPINGS AND SILLS.
 - CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
 - AT WALL AND ROOF INTERSECTIONS.
 - AT BUILT-IN GUTTERS.



SCALE:

1/4" = 1'-0"

ENGINEERING:

BLDG DEPT:
MERCER ISLAND

CHECKED BY:

PRINT DATE:
4.11.22

REVISIONS

12.20	FREELIMINARY	FV5
4.22	CORRECTIONS	FV5
4.122	CORRECTIONS	FV5

BUILDER APPROVAL:

DATE

DATE

OWNER APPROVAL:

DATE

DATE

PLAN NUMBER

PROJECT

PREMIUM HOMES
OF MERCER ISL
REMODEL

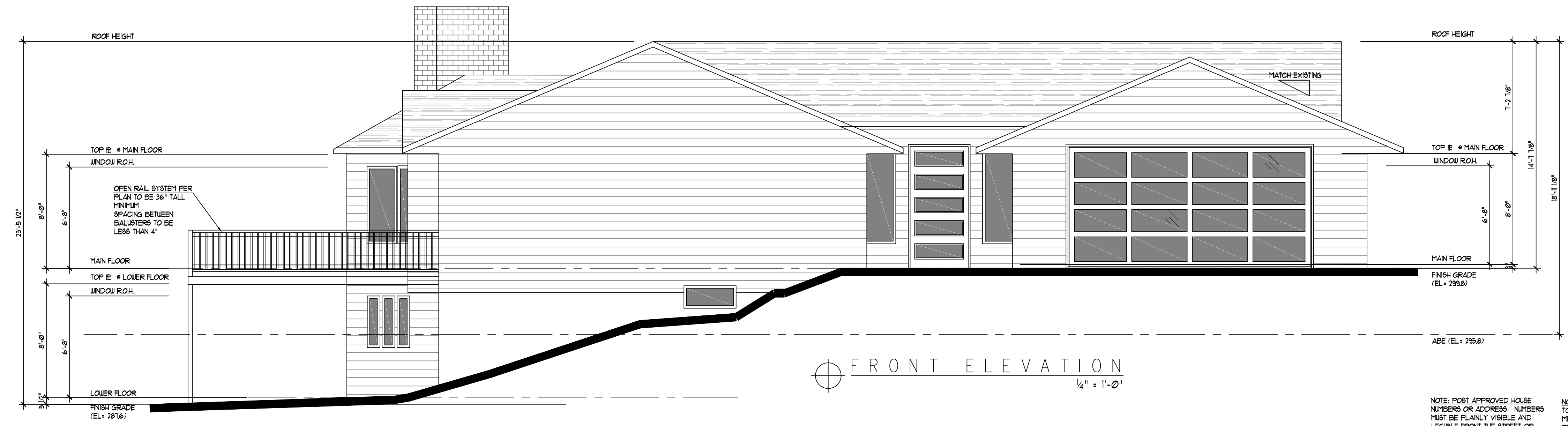
2906 74th Ave SE
Mercer Island
WASHINGTON
98040

531510-0836

SHEET TITLE:
PROPOSED
LOWER FLOOR PLAN

SHEET NUMBER

A-2.1



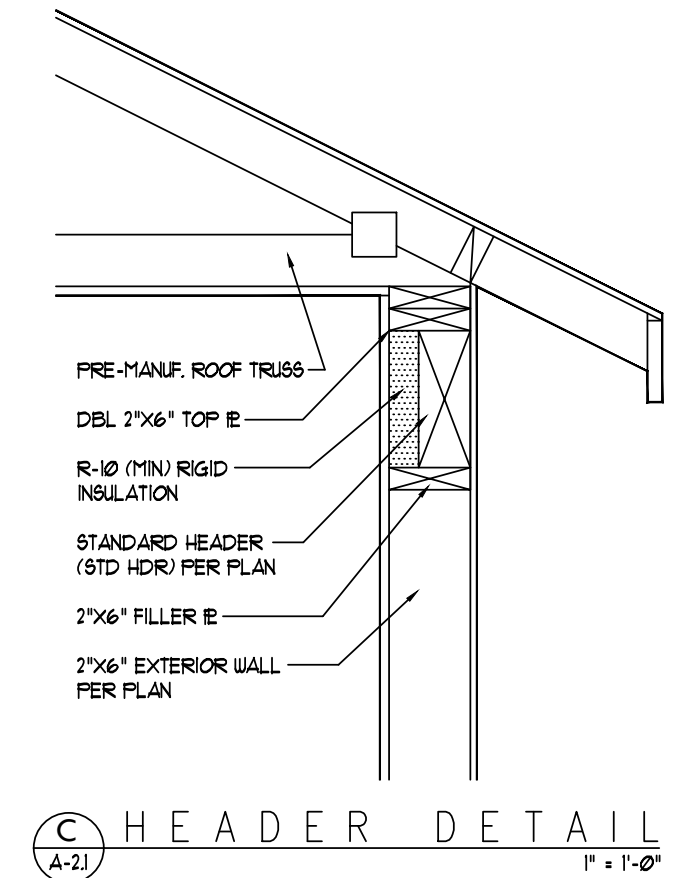
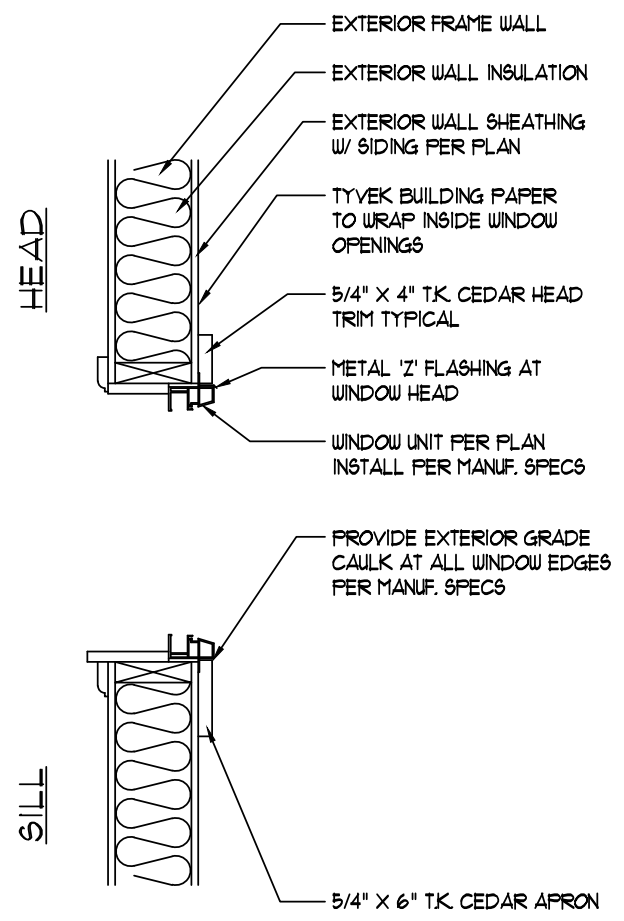
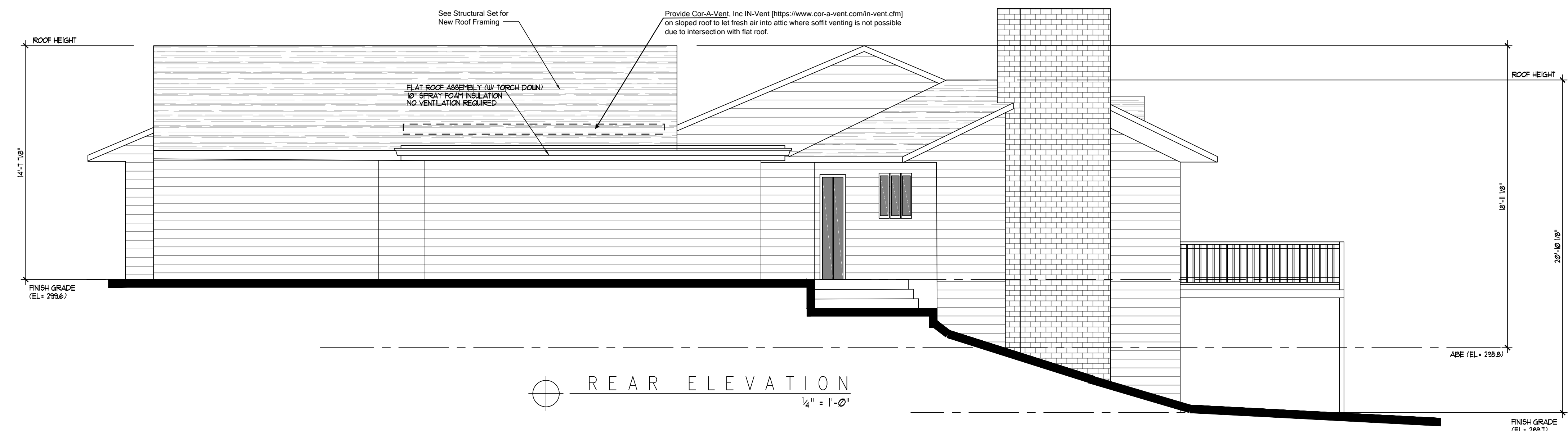
NOTE: POST APPROVED HOUSE NUMBERS OR ADDRESS NUMBERS MUST BE PLACED VISIBLY AND LEGIBLY FRONT THE STREET OR ROAD FRONTING THE DWELLING

NOTE: ALL EXTERIOR STEPS TO HAVE MAXIMUM RISE OF 3/4" AND MINIMUM TREAD WIDTH OF 10". PROVIDE APPROVED RAILINGS FOR ALL DECKS/PORCHES EXCEEDING 30" ABOVE FINISHED GRADE

SITE DRAINAGE NOTE:

SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION (REFER TO SITE PLAN) SO AS TO NOT CREATE A HAZARD.

LOTS SHALL BE GRADED SO AS TO DRAIN WATER AWAY FROM FOUNDATION WALLS. GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'-0" WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PREVENT 6" OF FALL WITHIN 10'-0". DRAINS OR SWALES SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM STRUCTURE.



C HEADER DETAIL 1" = 1'-0"

NOTE: POST APPROVED HOUSE NUMBERS OR ADDRESS NUMBERS MUST BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE DWELLING

NOTE: ALL EXTERIOR STEPS TO HAVE MAXIMUM RISE OF 1/4" AND MINIMUM TREAD WIDTH OF 10" PROVIDE APPROVED RAILING FOR ALL DECKS/PORCHES EXCEEDING 30" ABOVE FINISHED GRADE

SITE DRAINAGE NOTE:

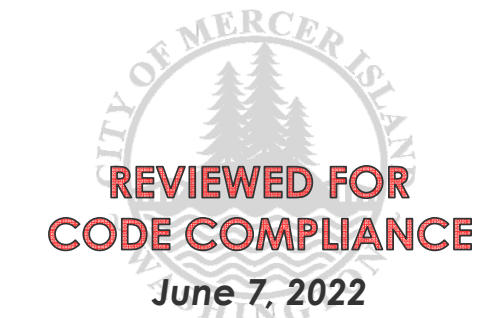
SURFACE DRAINAGE SHALL BE DIVERTED TO A STORY SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION (REFER TO SITE PLAN) SO AS TO NOT CREATE A HAZARD

LOTS SHALL BE GRADED SO AS TO DRAIN WATER AWAY FROM FOUNDATION WALLS GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'-0" WHERE LOT LINES WALLS SLOPES OR OTHER PHYSICAL BARRIER PROHIBIT 6" OF FALL WITHIN 10'-0" DRAINS OR SWALES SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM STRUCTURE

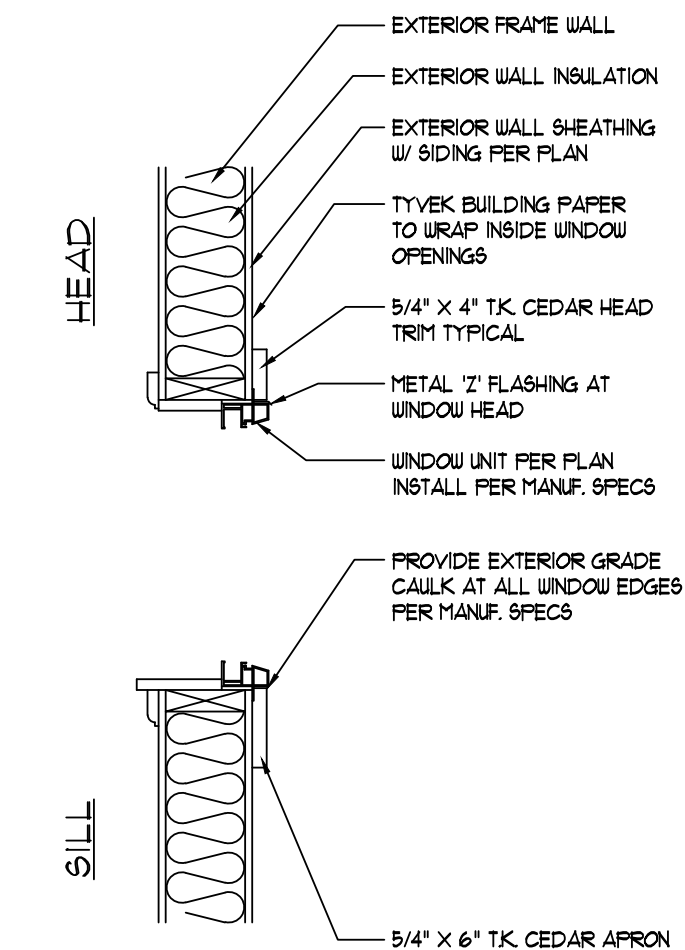
WALL FLASHING NOTE:

APPROVED CORROSION RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL BE EXTENDED TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTRERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS AS APPLICABLE:

- A. AT THE TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF EXCEPT THAT SELF FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1 1/2" OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING. JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL.
- B. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
- C. UNDER AND AT THE ENDS OF MASONRY, METAL OR WOOD COPINGS AND SILLS
- D. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM
- E. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION
- F. AT WALL AND ROOF INTERSECTIONS
- G. AT BUILT-IN GUTTERS



LEFT ELEVATION
1/4" = 1'-0"

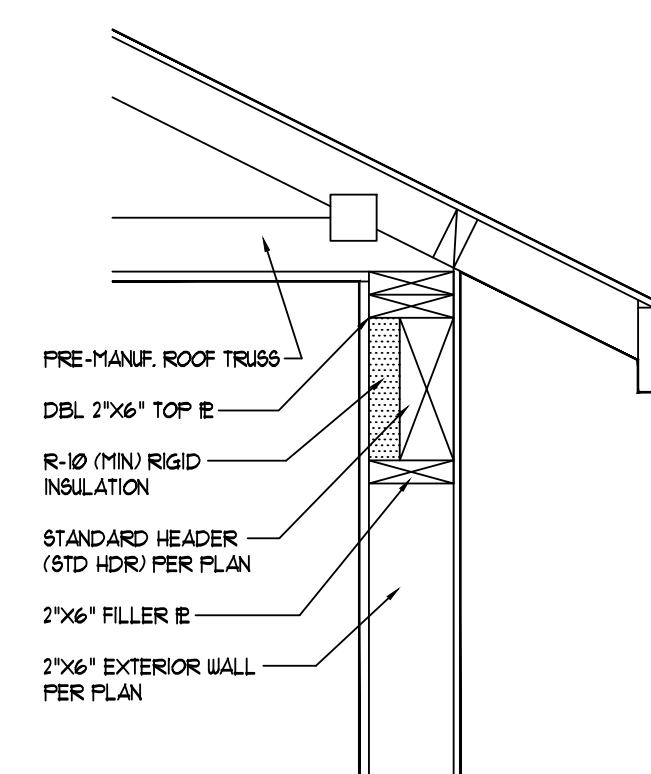


B WINDOW TRIM DETAILS
A-22 N.T.S.

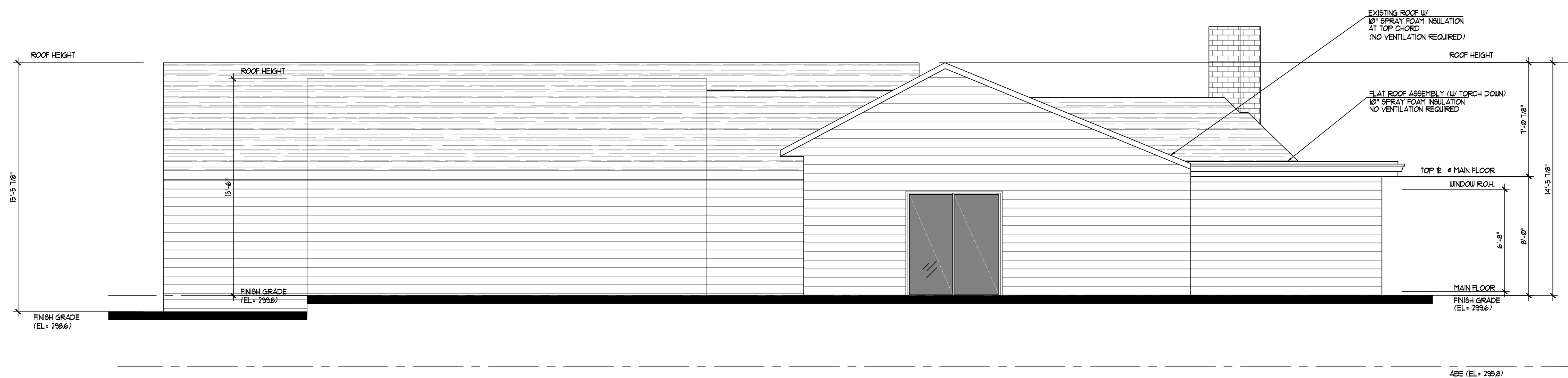
SITE DRAINAGE NOTE:

SURFACE DRAINAGE SHALL BE DIVERTED TO A STORY SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION (REFER TO SITE PLAN) SO AS TO NOT CREATE A HAZARD

LOTS SHALL BE GRADED SO AS TO DRAIN WATER AWAY FROM FOUNDATION WALLS GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'-0" WHERE LOT LINES WALLS SLOPES OR OTHER PHYSICAL BARRIER PROHIBIT 6" OF FALL WITHIN 10'-0" DRAINS OR SWALES SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM STRUCTURE



C HEADER DETAIL
A-22 1" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"



CUSTOM HOMES
REMODELS
ADDITIONS
253-282-2277

PAVEL2TRAVEL@GMAIL.COM

SCALE:
1/4" = 1'-0"

ENGINEERING:

BLDG DEPT:
MERCER ISLAND

CHECKED BY:

PRINT DATE:
4/1/22

REVISIONS

12.920 PRELIMINARY FV6
4.322 CORRECTIONS FV6
4.122 CORRECTIONS FV6

BUILDER APPROVAL:

DATE

DATE

OWNER APPROVAL:

DATE

DATE

PLAN NUMBER

PROJECT

PREMIUM HOMES
OF MERCER ISL
REMODEL

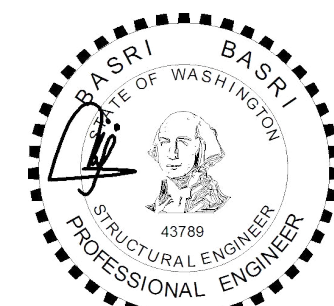
2906 74th Ave SE
Mercer Island
WASHINGTON
98040

531510-0836

SHEET TITLE:
PROPOSED
LOWER FLOOR PLAN

SHEET NUMBER

A-2.2



REQUIRED? (Y/N)	MATERIAL / ACTIVITY	EXTENT	REQUIRED? (Y/N)	MATERIAL / ACTIVITY	EXTENT
Y	1704.2.5 Inspection of Fabricators	Periodic	Y	1705.4 Masonry Construction	Periodic
Y	1705.1.1 Special Cases	Each submittal	Y	1705.5 Wood Construction	Periodic
Y	1705.2 Steel Construction	Periodic	Y	1705.6 Soils	Periodic
Y	1705.3 Concrete Construction	Periodic	Y	1705.7 Driven Deep Foundations	Continuous
Y	1705.4 Masonry Construction	Periodic	Y	1705.8 Cast-in-Place Deep Foundations	Continuous
Y	1705.5 Wood Construction	Periodic	Y	1705.9 Helical Pile Foundations	Continuous
Y	1705.6 Soils	Periodic	Y	1705.10.1 Structural Wood Special Inspections For Wind Resistance	Continuous
Y	1705.7 Driven Deep Foundations	Periodic	Y	1705.10.2 Cold-formed Steel Special Inspections For Wind Resistance	Periodic
Y	1705.8 Cast-in-Place Deep Foundations	Periodic	Y	1705.10.3 Wind-resisting Components	Periodic
Y	1705.9 Helical Pile Foundations	Periodic	Y	1705.11.1 Structural Steel Special Inspections For Seismic Resistance	In accordance with AISC 341
Y	1705.10.1 Structural Wood Special Inspections For Wind Resistance	Periodic	Y	1705.11.2 Structural Wood Special Inspections For Seismic Resistance	Continuous
Y	1705.10.2 Cold-formed Steel Special Inspections For Wind Resistance	Periodic	Y	1705.11.3 Cold-formed Steel Light-Frame Construction Special Inspections For Seismic Resistance	Periodic
Y	1705.10.3 Wind-resisting Components	Periodic	Y	CONCRETE AND REINFORCING	Periodic
Y	1705.11.1 Structural Steel Special Inspections For Seismic Resistance	In accordance with AISC 341	Y	CONCRETE SHALL CONFORM TO THE INDICATED REFERENCE CODES AND STANDARDS EXCEPT AS MODIFIED BELOW:	STRUCTURAL AND MISCELLANEOUS STEEL
Y	1705.11.2 Structural Wood Special Inspections For Seismic Resistance	Continuous	Y	ACI-301 - "STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE"	STEEL MEMBERS, HARDWARE, FASTENERS SHALL BE HOT DIPPED GALVANIZED OR EPOXY PAINTED PER ARCHITECT REQUIREMENTS. ALL CUT, REPAIRED AND EXPOSED SURFACE SHALL BE PAINTED WITH (2) COAT OF 95% ZINC RICH PAINT PER ASTM A780. COLOR TO MATCH EXISTING.
Y	1705.11.3 Cold-formed Steel Light-Frame Construction Special Inspections For Seismic Resistance	Periodic	Y	ACI-318 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"	STEEL SHALL CONFORM TO THE FOLLOWING STANDARDS:
			Y	ACI-305R - "HOT WEATHER CONCRETING"	TUBE COLUMNS: ASTM A500, GRADE B (Fy = 46 KSI)
			Y	ACI-306R - "COLD WEATHER CONCRETING"	WIDE FLANGE COLUMNS / BEAMS: ASTM 572 GR50
			Y	ACI-304 - "GUIDE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE"	STEEL PIPE: SCHEDULE 40, CONFORMING TO ASTM A53, TYPE E OR S, GRADE B (Fy = 35 KSI)
					ALL OTHER STEEL: ALL OTHER STEEL: ASTM A307 (WOOD/STEEL CONN)
					BOLTS: ASTM A325/A490 WITH LOCK WASHERS (STEEL/STEEL AND STEEL/CONC CONN)
					BOLTS: ASTM A307 (WOOD FRAMING)
					ANCHOR BOLTS: ASTM A325 (STEEL FRAMING)
					ANCHOR BOLTS: ASTM A325 (STEEL FRAMING)
					ALL SLIP CRITICAL CONNECTIONS SHALL BE ASTM A325 BOLTS AND SHALL BE ENGINEER-APPROVED, SELF-LOAD INDICATING TYPES, AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
					STRUCTURAL STEEL WELDING
					CONFORM TO THE AWS CODES D1.1 AND D1.3, AND USE ONLY CERTIFIED WELDERS. WELDS NOT SPECIFIED ARE TO BE 1/4" CONTINUOUS FILLET MINIMUM. INCREASE WELD SIZE TO AWS MINIMUM SIZES, BASED ON PLATE THICKNESS. USE DRY E70 ELECTRODES. ALL WELDING SHALL CONFORM TO THE AWS CODES, AND SHALL BE BY CERTIFIED WELDERS. WELDS NOT SPECIFIED SHALL BE 1/4" CONTINUOUS FILLET MINIMUM. USE DRY E70 ELECTRODES.

2906 74TH AVE SE REMODEL

2906 74TH AVE SE, MERCER ISLAND, WA 98040

DRAWING INFO

ISSUE DATE 03-16-22

ISSUED FOR PERMIT

PROJECT NO. 20242

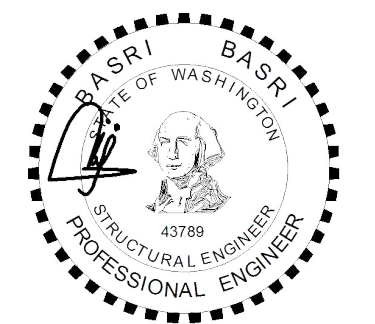
ENGINEER BB

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

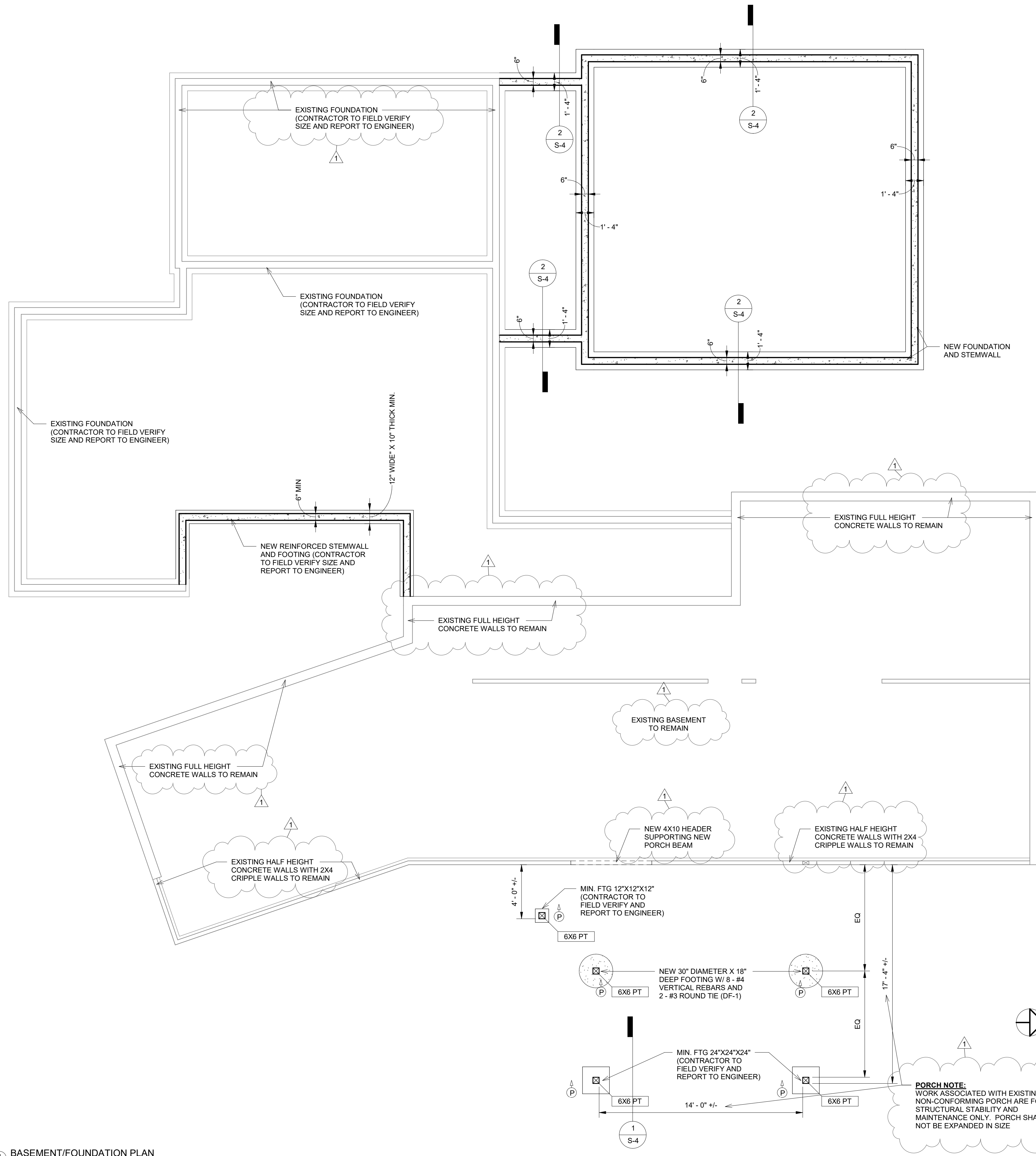
GENERAL NOTES AND SPECIFICATIONS

SHEET NUMBER	SHEET NAME	ISSUE DATE
S-0	GENERAL NOTES AND SPECIFICATIONS	03-16-22
S-1	BASEMENT/ FOUNDATION PLAN	03-16-22
S-2	MAIN FLOOR FRAMING PLAN	03-16-22
S-3	ROOF FRAMING PLAN	03-16-22
S-4	FRAMING DETAILS	03-16-22
Grand total: 5		



2906 74TH AVE
 SE REMODEL

2906 74TH AVE SE,
 MERCER ISLAND, WA
 98040



IMPORTANT NOTES ON FIELD VERIFICATIONS AND TEMPORARY SHORING:

1. CONTRACTOR SHALL REVIEW STRUCTURAL DRAWINGS AND FIELD VERIFY ALL RELATED EXISTING FRAMING & DIMENSIONS PRIOR TO ANY FIELD WORK. NOTIFY THE ENGINEER/OWNER ANY DISCREPANCIES FOUND IN THE FIELD. STRUCTURAL DRAWINGS MAY NOT CORRECTLY REFLECT ALL EXISTING FRAMING DUE TO LIMITED ACCESS TO THE SITE AND EXISTING DRAWINGS.
2. CONTRACTOR SHALL FIELD VERIFY AND NOTIFY THE ENGINEER/OWNER OF EXISTING MECHANICAL DUCTS, PLUMBING PIPES, ELECTRICAL WIRES THAT MAY INTERFERE WITH STRUCTURAL WORKS FOR COST CONSIDERATIONS PRIOR TO ANY FIELD WORK.
3. CONTRACTOR IS SOLELY RESPONSIBLE IN PROVIDING PROPER TEMPORARY SHORING PRIOR TO REMOVING ANY STRUCTURAL ELEMENTS. PLEASE CALL ENGINEER FOR QUESTIONS

IMPORTANT NOTES ON FOUNDATION AND FRAMING:

1. ALL FOOTINGS SHALL BEAR ON SUITABLE SOIL SUCH AS MIN. OF MEDIUM DENSE NATIVE SOIL OR COMPACTED STRUCTURAL FILL (NO SOFT OR ORGANIC MATERIALS). GEOTECHNICAL ENGINEER MAY BE REQUIRED TO ASSESS EXISTING SOIL CONDITIONS.
2. FOR FRAMING LUMBER TYPES AND GRADES, AND CONCRETE MIX REQUIREMENTS PLEASE SEE S-0
3. FOR PLYWOOD/OSB SHEARWALL SCHEDULE, PLEASE SEE S-4
4. FOR COMMON HEADER FRAMING DETAIL AND HEADER SIZE, SEE S-4
5. PROVIDE (2) 2X6 OR (3) 2X4 STUD POSTS AT EACH END OF BEAMS, UNLESS NOTED OTHERWISE ON PLAN
6. SLAB ON GRADE SHALL BE MIN. 4" THICK WITH #3 AT 18" EACH WAY (AT MID-DEPTH) ON 6" COMPACTED CRUSHED ROCK. PROVIDE 1" SAWCUT JOINT AT 15 FT MAX. SPACING (EACH WAY)
7. FLOOR SHEATHING SHALL BE 3/4" PLYWOOD OR OSB WITH 10d AT 6" NAILING AT EDGES AND AT 12" AT FIELD
8. ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR OSB WITH 8d AT 6" NAILING AT EDGES AND AT 6" AT FIELD

IMPORTANT NOTES ON TRUSS AND FLOOR FRAMING DESIGN/SHOP DRAWINGS:

1. TRUSS FRAMING LAYOUT SHOWN IS GENERAL CONCEPT ONLY. CONTRACTOR/TRUSS SUPPLIER MUST SUBMIT TRUSS SHOP DRAWINGS INCLUDING TRUSS TEMPORARY/ PERMANENT BRACING PLANS FOR ENGINEER'S REVIEW
2. TRUSS FRAMING PROFILE/ LAYOUT SHOULD CONFORM TO BOTH STRUCTURAL AND ARCHITECTURAL DRAWINGS. ANY DEVIATIONS SHALL BE APPROVED BY ENGINEER/ ARCHITECT PRIOR TO TRUSS DESIGN WORK.
3. TRUSS DEFLECTION CRITERIA:
 FLOOR/DECK TOTAL LOAD = L/480 ROOF TOTAL LOAD = L/240
 FLOOR/DECK LIVE LOAD = L/600 ROOF SNOW LOAD = L/300
 ** MAXIMUM TOTAL LOAD DEFLECTION SHOULD NOT EXCEED 1/8" IN ALL CASES
4. FLOOR/ROOF FRAMING LAYOUT AND CONNECTORS (SUCH AS LUMBER PACKAGE BY SUPPLIERS) MUST BE SUBMITTED FOR ENGINEER'S REVIEW PRIOR TO CONSTRUCTION

FRAMING SYMBOLS:

	SIMPSON W/SW STRONG WALL (24" WIDE)		CONTINUOUS POST
	PLYWOOD SHEARWALL		POST STOPS BELOW THIS FLOOR
	SHEARWALL HOLD-DOWN		POST STARTS AT THIS FLOOR

LEGEND AND NOTES
 1/4" = 1'-0"

DRAWING INFO

ISSUE DATE 03-16-22

ISSUED FOR PERMIT

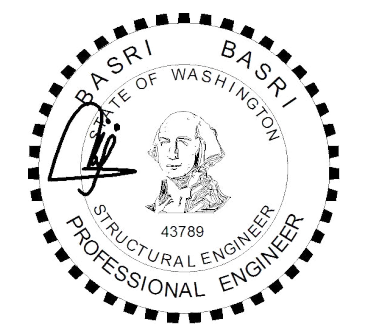
PROJECT NO. 20242

ENGINEER BB

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	03/16/22	Revision 1

**BASEMENT/
 FOUNDATION
 PLAN
 S-1**



2906 74TH AVE
 SE REMODEL

2906 74TH AVE SE,
 MERCER ISLAND, WA
 98040

DRAWING INFO

ISSUE DATE 03-16-22

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PROJECT NO. 20242

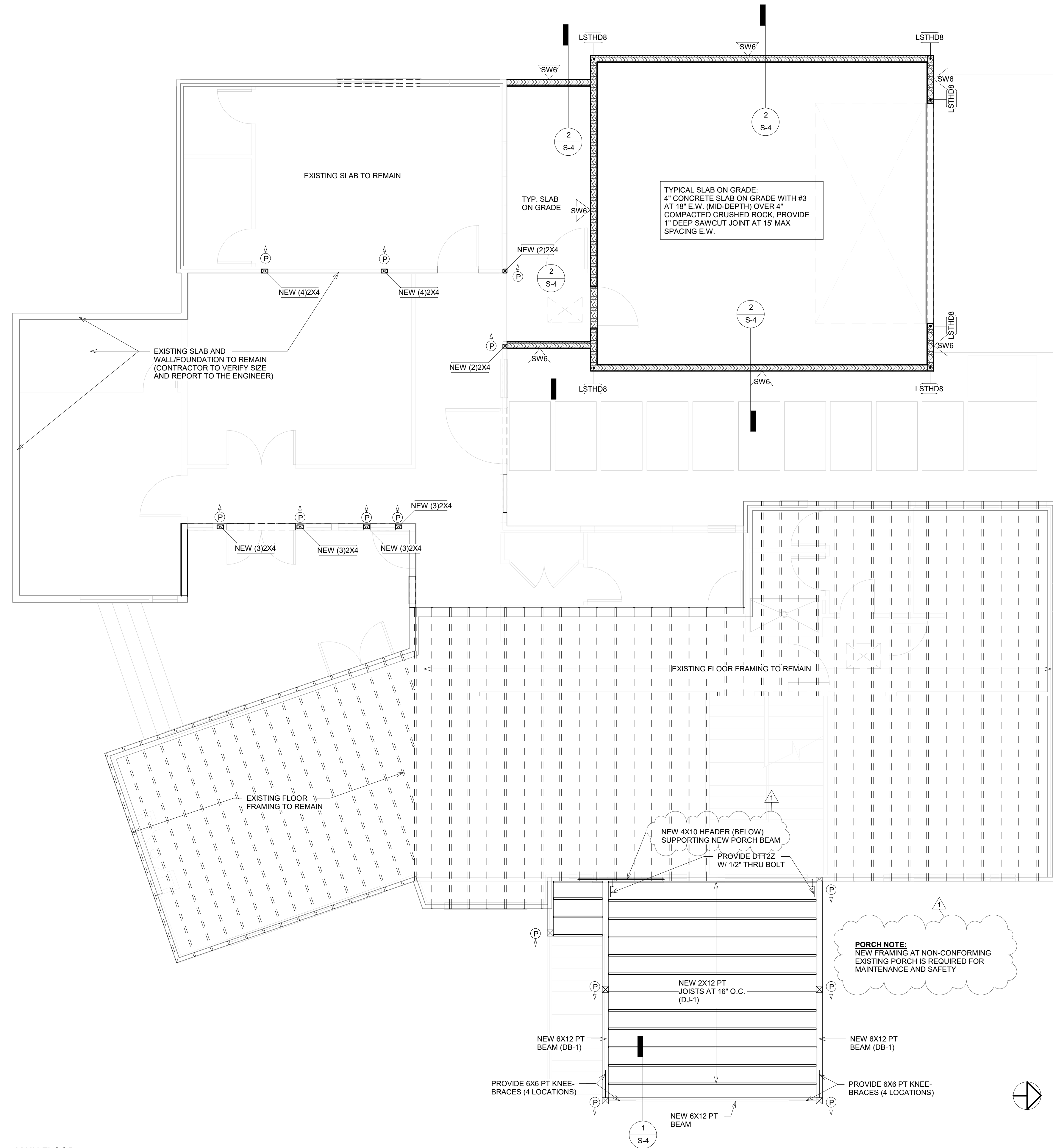
ENGINEER BB

REVISION SCHEDULE

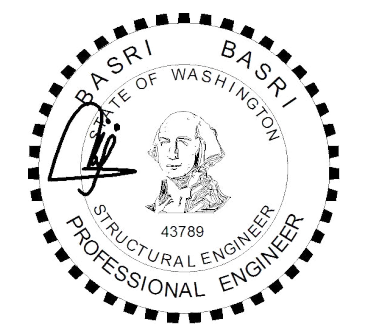
NO.	DATE	DESCRIPTION
1	03/16/22	Revision 1

MAIN FLOOR
 FRAMING PLAN

S-2



1 MAIN FLOOR
 1/4" = 1'-0"



2906 74TH AVE
 SE REMODEL

2906 74TH AVE SE,
 MERCER ISLAND, WA
 98040

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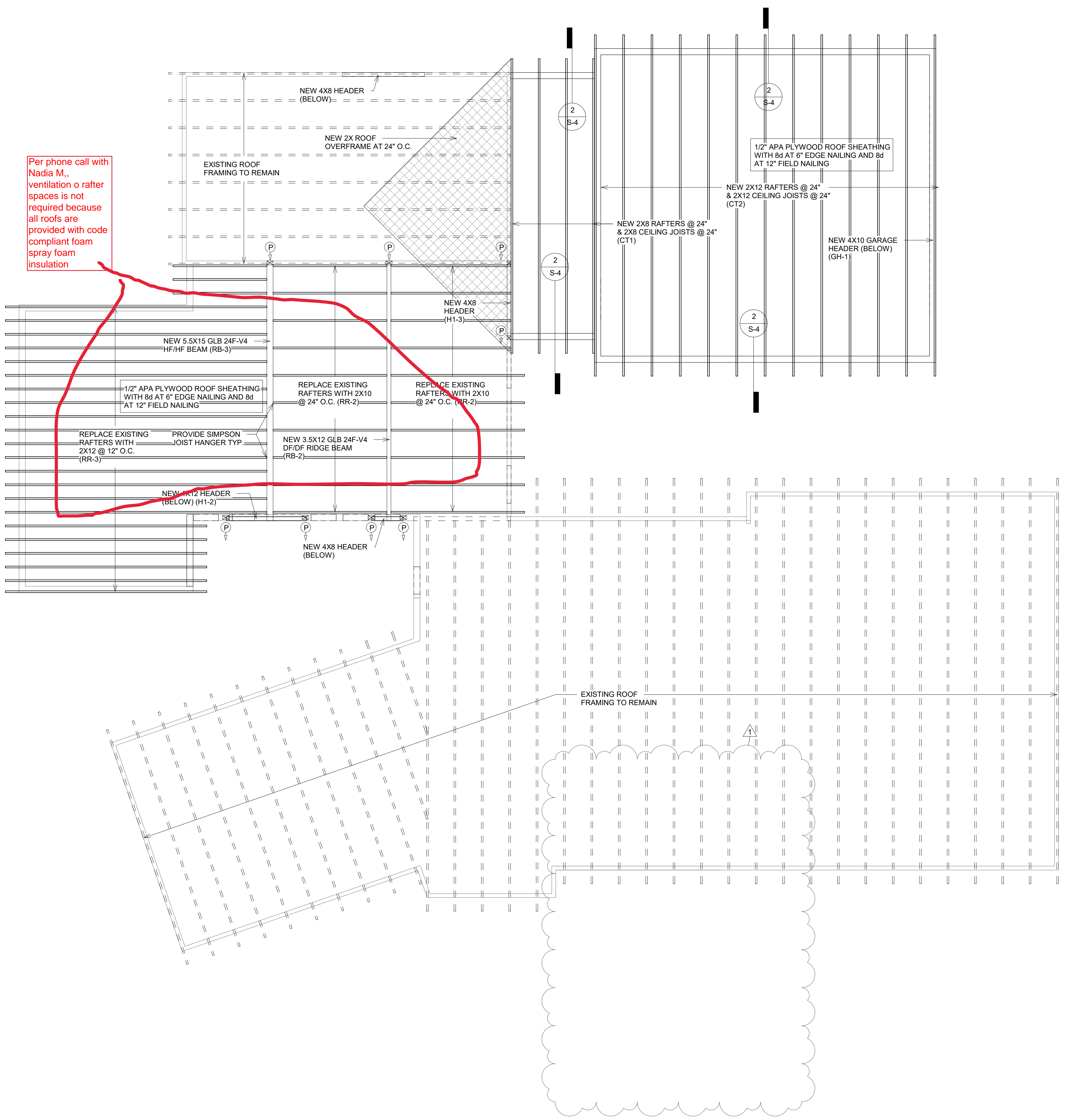
ENGINEER BB

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	03/16/22	Revision 1

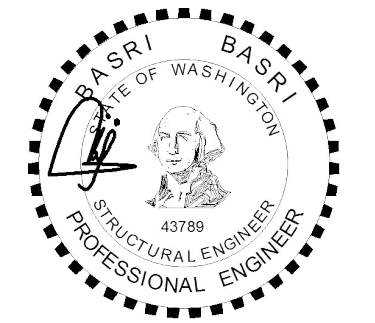
ROOF FRAMING
 PLAN

S-3



Per phone call with Nadia M., ventilation or rafter spaces is not required because all roofs are provided with code compliant foam spray foam insulation

1 ROOF PLAN
 1/4" = 1'-0"



REVIEWED FOR
CODE COMPLIANCE
 June 7, 2022

2906 74TH AVE
 SE REMODEL

2906 74TH AVE SE,
 MERCER ISLAND, WA
 98040

DRAWING INFO

ISSUE DATE 03-16-22

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PROJECT NO. 20242

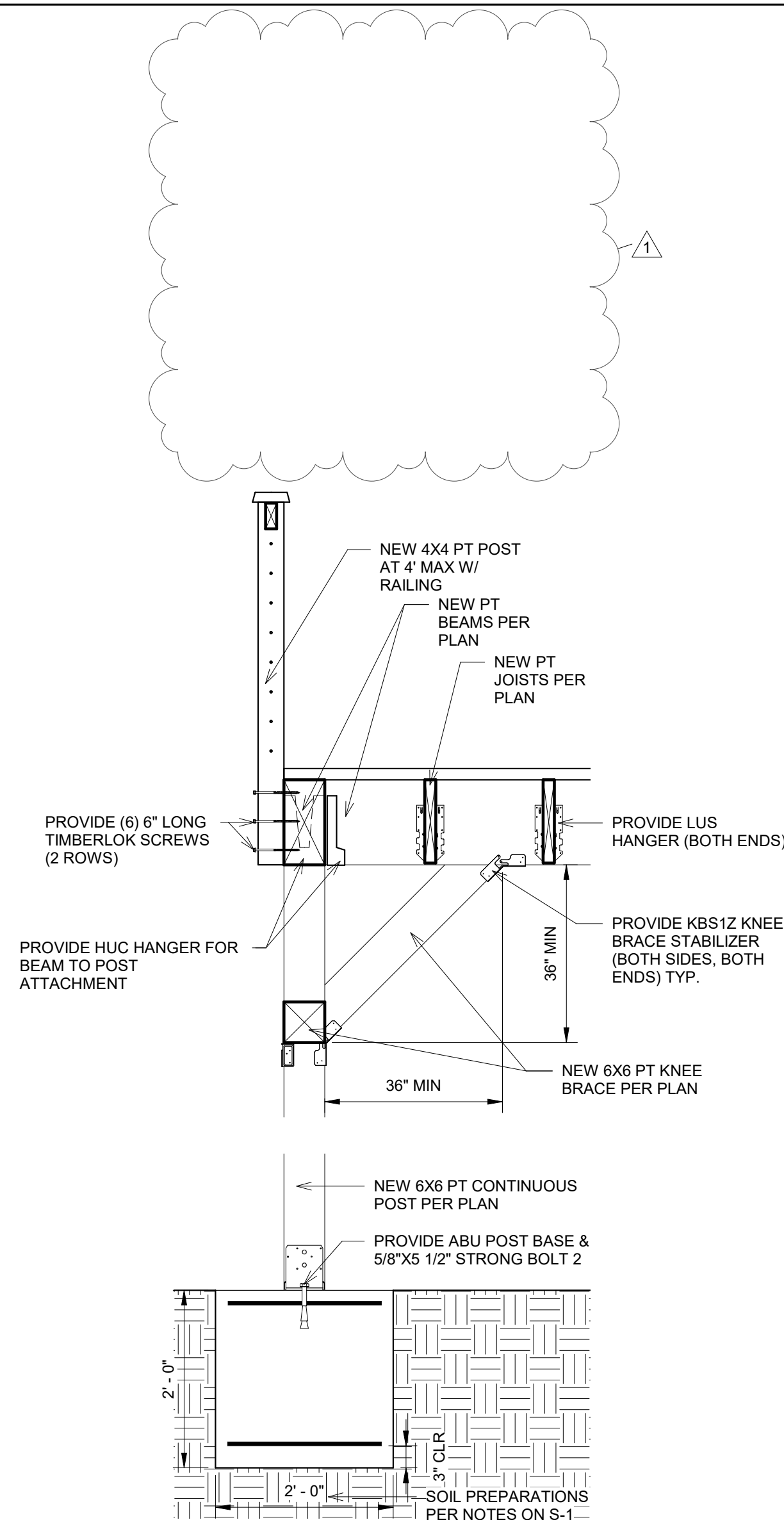
ENGINEER BB

REVISION SCHEDULE

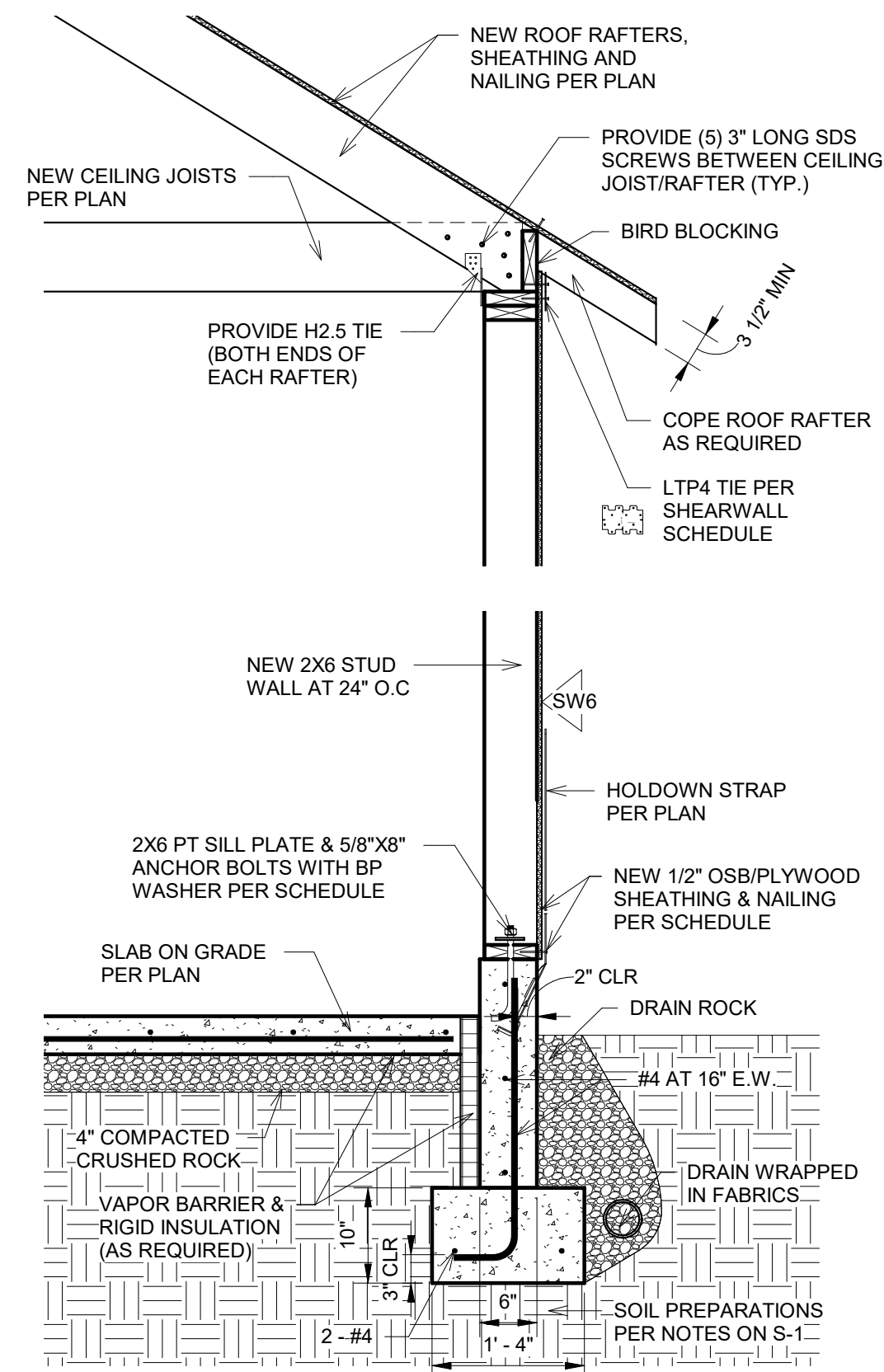
NO.	DATE	DESCRIPTION
1	03/16/22	Revision 1

FRAMING
 DETAILS

S-4



1 Detail 1
 3/4" = 1'-0"

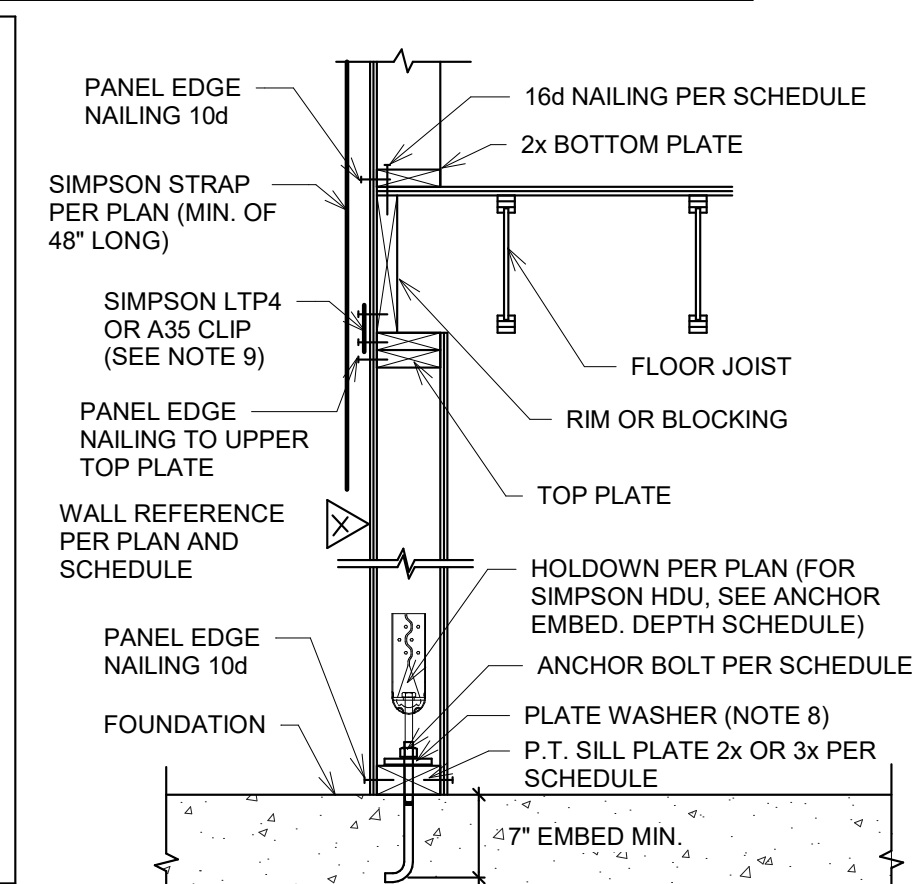


2 Detail 2
 3/4" = 1'-0"

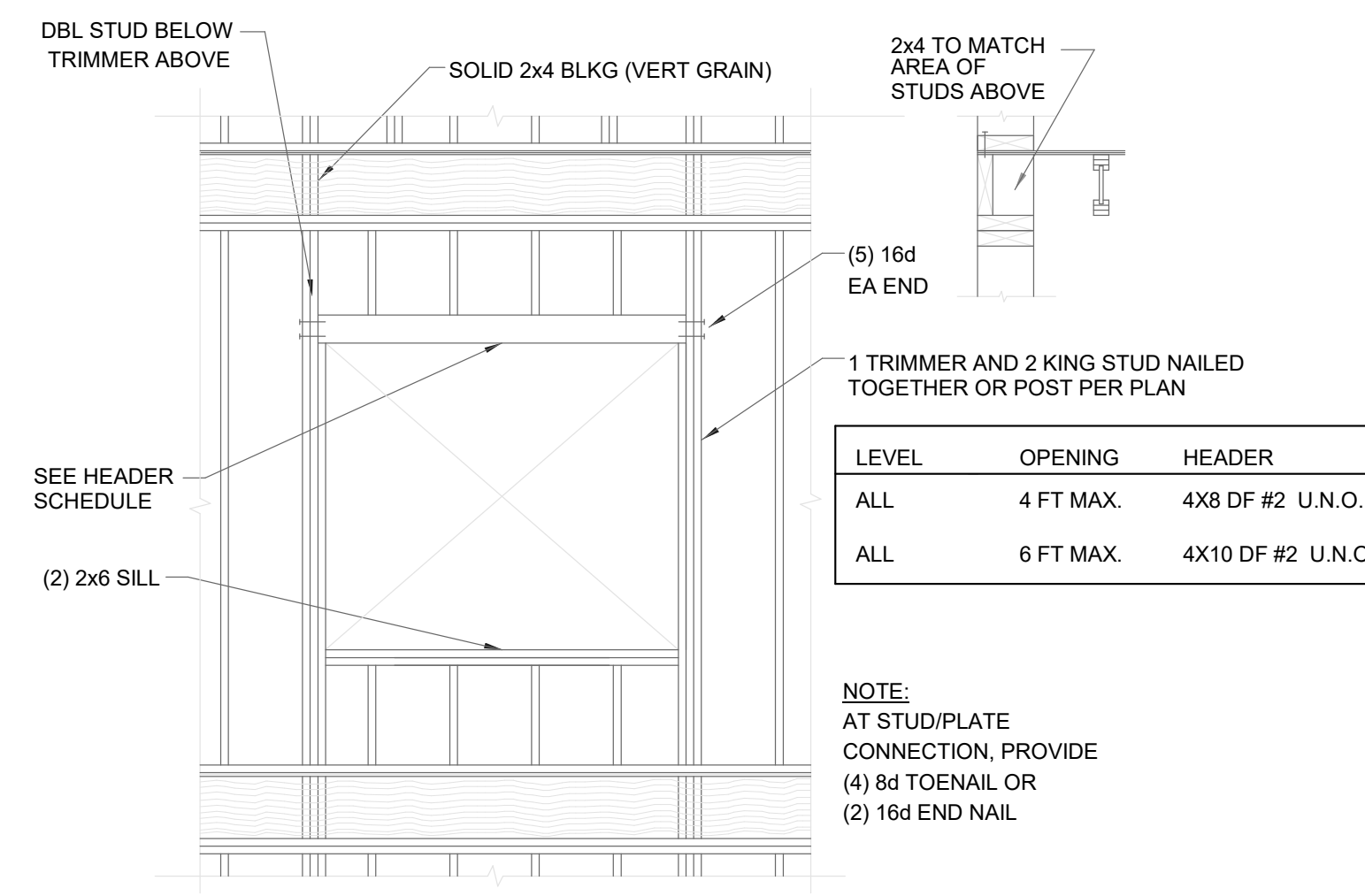
TYPE	PLYWOOD OR OSB SHEATHING (NOTE 7)	PANEL EDGE NAILING (NOTE 4)	PANEL EDGE STUDS AND BLKG	ANCHOR BOLTS AT SILL PLATE (NOTE 8)	TOP/SILL PLATE TO BLOCKING/ RIM (NOTE 9)	BOTTOM PLATE TO BLOCKING/ RIM (NOTE 4)	CAPACITY (LRFD) (SEISMIC/WIND)
SW6	15/32" PLY/OSB ONE SIDE	10d COM AT 6"	2x	5/8" AT 36" O.C.-2x	SIMPSON LTP4 AT 24" O.C.	16d COM AT 6" O.C.-NARROW	496 PLF/ 696 PLF
SW4	15/32" PLY/OSB ONE SIDE	10d COM AT 4"	2x (SEE NOTE 5)	5/8" AT 24" O.C.-2x	SIMPSON LTP4 AT 16" O.C.	16d COM AT 4" O.C.-NARROW	736 PLF/ 1032 PLF
SW3	15/32" PLY/OSB ONE SIDE	10d COM AT 3"	3x	5/8" AT 18" O.C.-2x	SIMPSON LTP4 AT 12" O.C.	16d COM AT 3" O.C.-WIDE	960 PLF/ 1344 PLF
SW2	15/32" PLY/OSB ONE SIDE	10d COM AT 2"	3x	5/8" AT 12" O.C.-2x	SIMPSON LTP4 AT 8" O.C.	16d COM AT 2" O.C.-WIDE	1232 PLF/ 1724 PLF
SW44	15/32" PLY/OSB TWO SIDES	10d COM AT 4"	2x	5/8" AT 18" O.C.-3x	SIMPSON LTP4 AT 16" O.C. B.S.	(2) 16d COM AT 4" O.C.-WIDE	1472 PLF/ 2064 PLF
SW33	15/32" PLY/OSB TWO SIDES	10d COM AT 3"	3x	5/8" AT 16" O.C.-3x	SIMPSON LTP4 AT 12" O.C. B.S.	(2) 16d COM AT 3" O.C.-WIDE	1920 PLF/ 2688 PLF
SW22	15/32" PLY/OSB TWO SIDES	10d COM AT 2"	3x	5/8" AT 12" O.C.-3x	SIMPSON LTP4 AT 8" O.C. B.S.	(2) 16d COM AT 2" O.C.-WIDE	2464 PLF/ 3448 PLF

- SHEARWALL SCHEDULE NOTES:**
- ALL PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING AT WALLS
 - NAIL SHEATHING TO INTERMEDIATE SUPPORTS/ FIELD NAILING 10d AT 12" O.C.
 - ALL NAILS INTO 3x MEMBERS SHALL BE STAGGERED.
 (2)x STUDS MAY BE USED IN LIEU OF 3x STUDS AT PANEL JOINTS.
 NAIL STUDS TOGETHER W/2 ROWS 16d COMMON AT 6" O.C. AT SINGLE SIDE SHEATHING AND NAIL WITH 2 ROWS OF 16d COMMON AT 3" O.C. AT DOUBLE SHEATHED WALLS.
 - COM DENOTES COMMON NAILS. MIN. NAIL PENETRATION INTO PLATE, RIM OR BLOCKING SHALL BE 1 5/8". STAGGER BOTTOM PLATE NAILING
 - FOR SHEARWALL SW4, ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL BE 3x OR (2) 2x NAILED TOGETHER WITH 16d AT 6"
 - WHERE SHEATHING IS APPLIED TO BOTH SIDES OF WALL, OFFSET PANEL EDGES TO FALL ON DIFFERENT STUDS.
 - PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF WALLS NOTED ON PLAN. PROVIDE HOLD-DOWNS PER PLAN AT EACH END OF WALL. UNO. PROVIDE (2) 2x STUDS AT ENDS OF ALL SHEARWALL. FACE NAIL MULTIPLE STUDS WITH 16d AT 12" PROVIDE PANEL EDGE NAILING IN EACH HOLD-DOWN STUD AT END OF WALL.
 - ALL FOUNDATION SILL PLATES SHALL BE PT MEMBERS AND THE ANCHOR BOLTS SHALL HAVE MIN. OF 7" EMBEDMENT WITH 1/4" x 3" x 3" PLATE WASHER OR SIMPSON'S B/P/ BPS PLATE. END OF WALL ANCHOR BOLTS SHALL BE LOCATED MAX 12" AND MIN 5" FROM END OF THE PLATE.
 - WHERE NOTED IN DETAILS, USE SIMPSON A35 IN LIEU OF LTP4 PLATES SPACE AT 2/3 OF LTP4 SPACING.
- | SIMPSON HOLD-DOWN | SIMPSON ANCHOR BOLTS* | SIMPSON EPOXY ALL THREAD ANCHORS* |
|-------------------|---|-----------------------------------|
| HDU2 | SSTB16 (5/8" ANCHOR WITH 12 5/8" MIN. EMBED.) | 5/8" (12" EMBED WITH SET-XP) |
| HDU4 | SB 5/8X 24 (5/8" ANCHOR WITH 18" MIN. EMBED.) | 5/8" (14" EMBED WITH SET-XP) |
| HDU5 | SB 5/8X 24 (5/8" ANCHOR WITH 18" MIN. EMBED.) | 5/8" (16" EMBED WITH SET-XP) |
| HDU8 | SB 7/8X 24 (7/8" ANCHOR WITH 18" MIN. EMBED.) | |
| HDU11 | SB 1X 30 (1" ANCHOR WITH 24" MIN. EMBED.) | |
| HDU14 | SB 1X 30 (1" ANCHOR WITH 24" MIN. EMBED.) | |
- * ALL ANCHORS SHALL BE 2.5" MIN. FROM EDGE OF CONCRETE WALL

A SHEARWALL SCHEDULE
 3/4" = 1'-0"



B TYP. WALL OPENING FRAMING
 3/4" = 1'-0"



B TYP. WALL OPENING FRAMING
 3/4" = 1'-0"