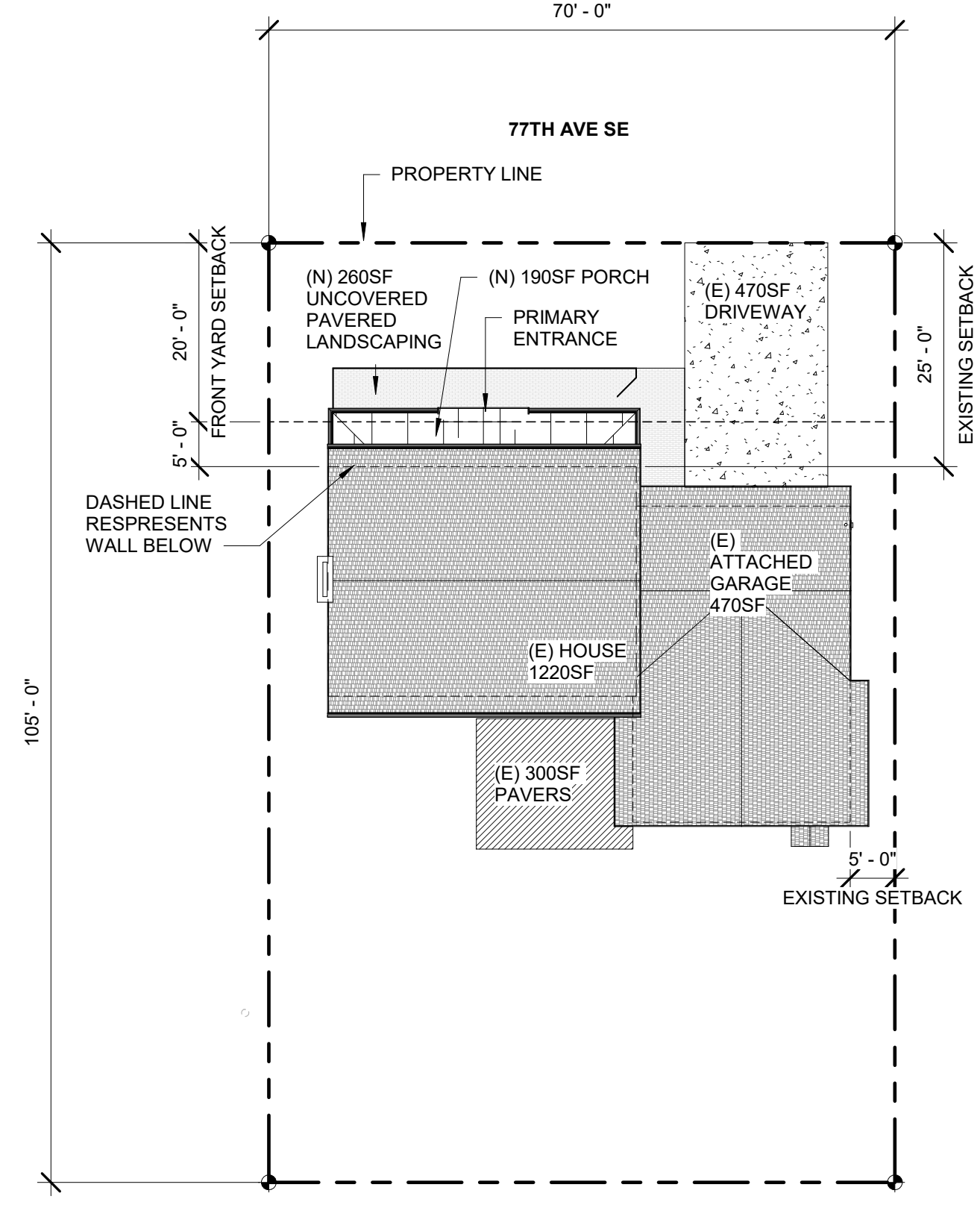


SITE PLAN



PROJECT SUMMARY

LEGAL DESCRIPTION:
 MERCERDALE ADD
 Plat Block: 4
 Plat Lot: 14

PARCEL: 545880-0295

DESCRIPTION: FRONT PORCH ADDITION

JURISDICTION: MERCER ISLAND

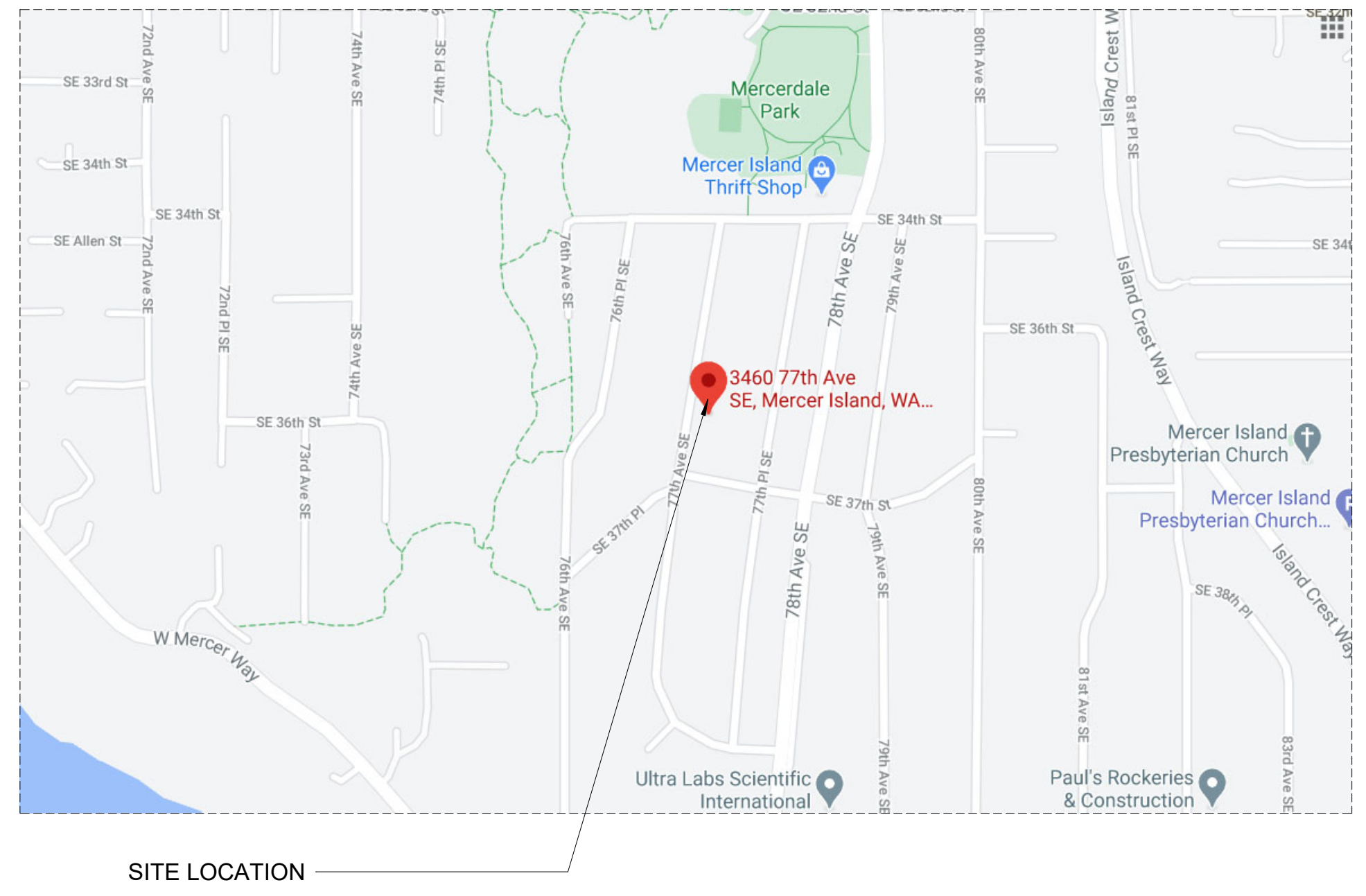
ZONING: R-8.4

AREA OF WORK:
 FRONT PORCH ADDITION ONLY

LOT COVERAGE:
 LOT AREA: 7,350SF X 40% (LESS THAN 15% SLOPE) = 2,940SF ALLOWED
 (E) 1,220SF HOUSE + (E) 470SF ATTACHED GARAGE + (E) 470SF DRIVEWAY = 2,140SF EXISTING
 2,140SF EXISTING + 190SF NEW PROPOSED FRONT ADDITION = 2,330SF PROPOSED
 2,940SF ALLOWED > 2,330SF PROPOSED

HARDSCAPE COVERAGE
 LOT AREA: 7,350SF X 9% = 661.5 SF ALLOWED
 (E) 300SF BACKDECK PAVERED AREA + (N) 260SF NEW FRONT YARD PAVERED LANDSCAPING = 560SF
 661.5SF ALLOWED > 560SF PROPOSED

VICINITY MAP



SYMBOLS LEGEND

- GRID TAG: A (LETTERS HORIZONTAL, NUMBERS VERTICAL)
- DOOR TAG: A101 (DOOR NUMBER)
- WINDOW TAG: 1t (WINDOW TYPE)
- REVISION TAG: 1 (REVISION NUMBER)
- NORTH ARROWS: PROJECT NORTH
- ELEVATION TAG: 1 (ELEVATION NUMBER), A101 (SHEET NUMBER)
- BUILDING SECTION TAG: 1 SIM (SECTION NUMBER), A101 (SHEET NUMBER)
- WALL SECTION TAG: 1 SIM (SECTION NUMBER), A101 (SHEET NUMBER)
- DETAIL TAG: 1 SIM (DETAIL NUMBER), A101 (SHEET NUMBER)
- CEILING TAG: 10'-0" (CEILING HEIGHT)
- TITLE LINE: 01 VIEW NAME (DRAWING SCALE: 1/8" = 1'-0", DRAWING NUMBER)



EILEEN BENNHOF AND TODD ISCOVITZ'S FRONT PORCH ADDITION

3460 77TH AVENUE SE MERCER ISLAND, WA 98040

PERMIT SET
MARCH 11, 2021

DRAWING INDEX

- ARCHITECTURAL**
- G0.1 COVER SHEET
 - A1.1 EXISTING FOUNDATION PLAN
 - A1.2 EXISTING FIRST FLOOR PLAN
 - A1.3 EXISTING SECOND FLOOR PLAN
 - A1.4 EXISTING ROOF PLAN
 - A2.1 PROPOSED FOUNDATION PLAN
 - A2.2 PROPOSED FIRST FLOOR PLAN
 - A2.3 PROPOSED SECOND FLOOR PLAN
 - A2.4 PROPOSED ROOF PLAN
 - A3.1 EXISTING BUILDING ELEVATIONS
 - A4.1 PROPOSED BUILDING ELEVATIONS
 - A4.2 PROPOSED BUILDING ELEVATIONS, CONT.
 - A5.0 BUILDING SECTION
 - A6.1 BUILDING SECTION
 - A7.1 SCHEDULES

PROJECT TEAM

OWNER: EILEEN BENNHOF AND TODD ISCOVITZ
 3460 77TH AVENUE SE
 MERCER ISLAND, WA 98040

ARCHITECT: CHAD KOONTZ
 4419 51ST AVE SW
 SEATTLE, WA 98116
 206-979-4948

CONTRACTOR: TBD

SUMMARY OF WORK

DEMO EXISTING FRONT DECK. BUILD NEW FRONT PORCH WITH ROOF STRUCTURE ABOVE

BY SEPARATE PERMIT

ELECTRICAL
 PLUMBING
 HVAC

THE BENNOVITZ

3460 77TH AVENUE SE MERCER ISLAND

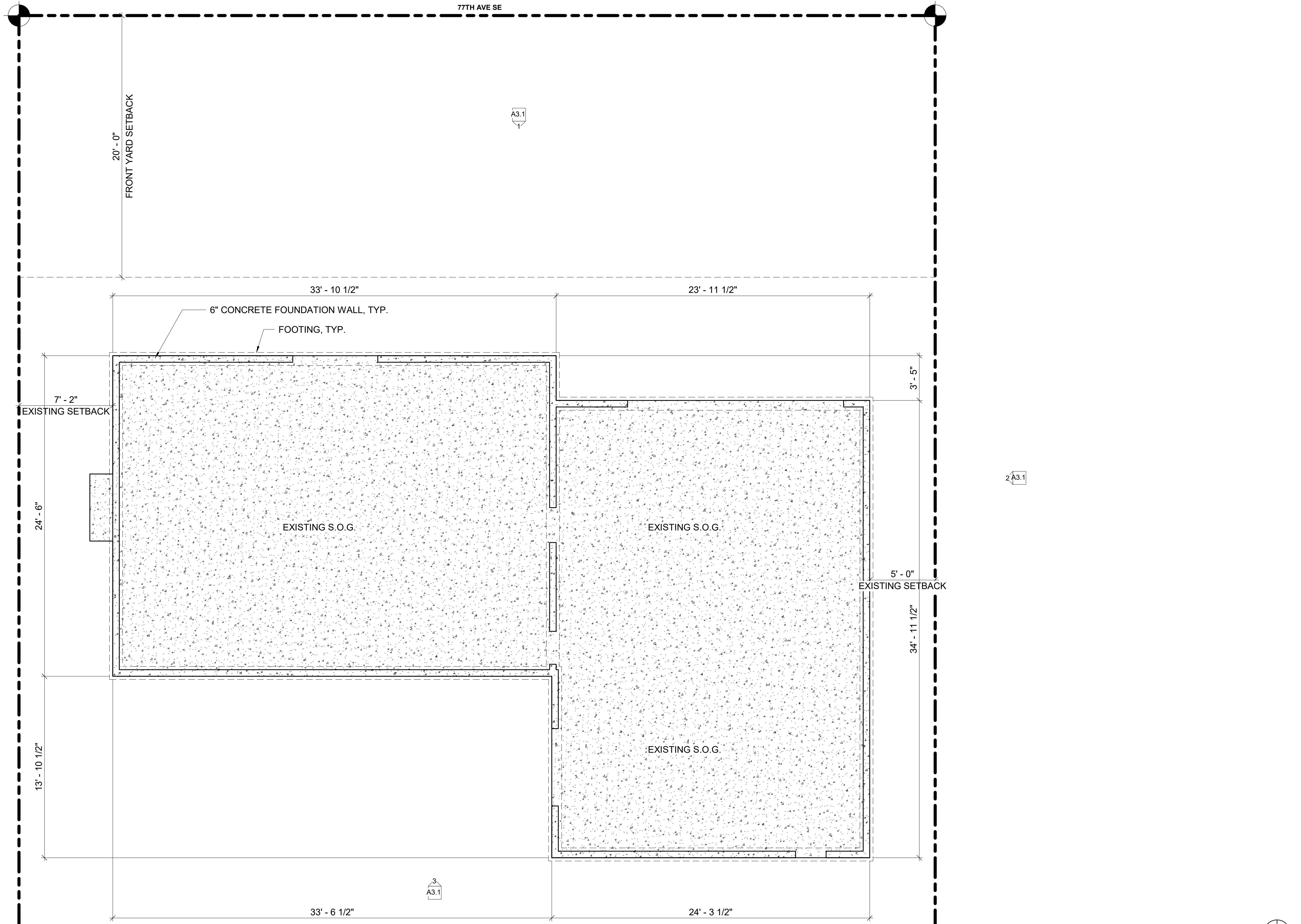
STAMP

REVISION	DATE	REASON FOR ISSUE

COVER SHEET

PERMIT SET

DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER G0.1
SCALE As indicated	



1 EXISTING FOUNDATION PLAN
1/4" = 1'-0"

HOUSE VENTILATION		
2012 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1507. INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1507.3 TABLE 1507.3.3(1) & TABLE 1507.3.3(2), PROVIDE CONTROLS PER 1503.2. COMPLY WITH WSEC R403.5.		
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DRYER VENT PER (TABLE M1502.4.4.1) VENTED TO OUTSIDE		
*ALL FANS TO VENT TO OUTSIDE		

SYMBOL LEGEND	
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	DOORS
	WINDOWS
	EXISTING WALL
	NEW WALL
	DEMOLISH (E) WALL

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STAMP

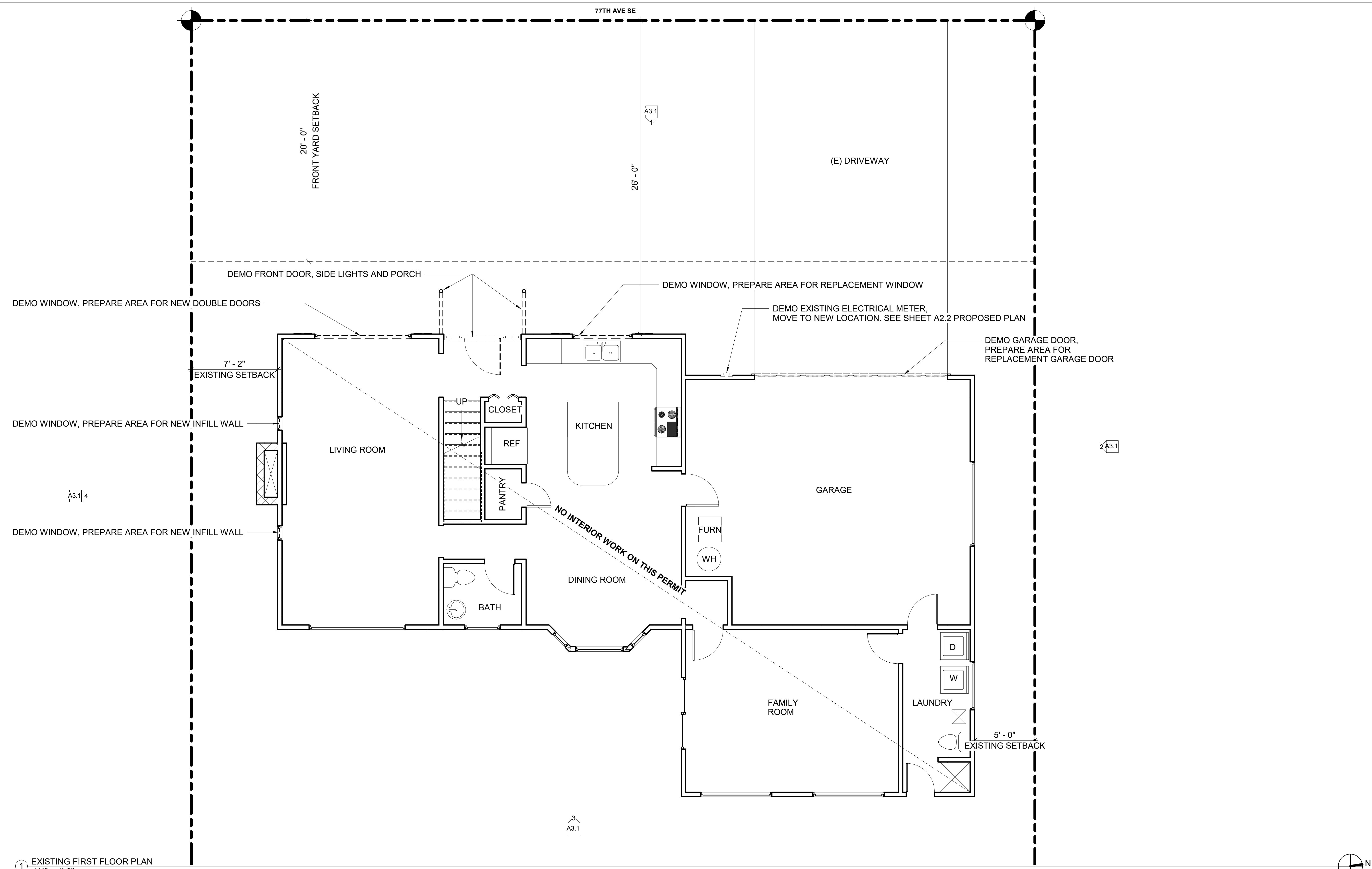
THE BENNOVITZ
3460 77TH AVENUE SE MERCER ISLAND

REVISION	DATE	REASON FOR ISSUE

EXISTING FOUNDATION PLAN

PERMIT SET

DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER A1.1
SCALE 1/4" = 1'-0"	



1 EXISTING FIRST FLOOR PLAN
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SYMBOL LEGEND	
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	DOORS
	WINDOWS
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STAMP

THE BENNOVITZ

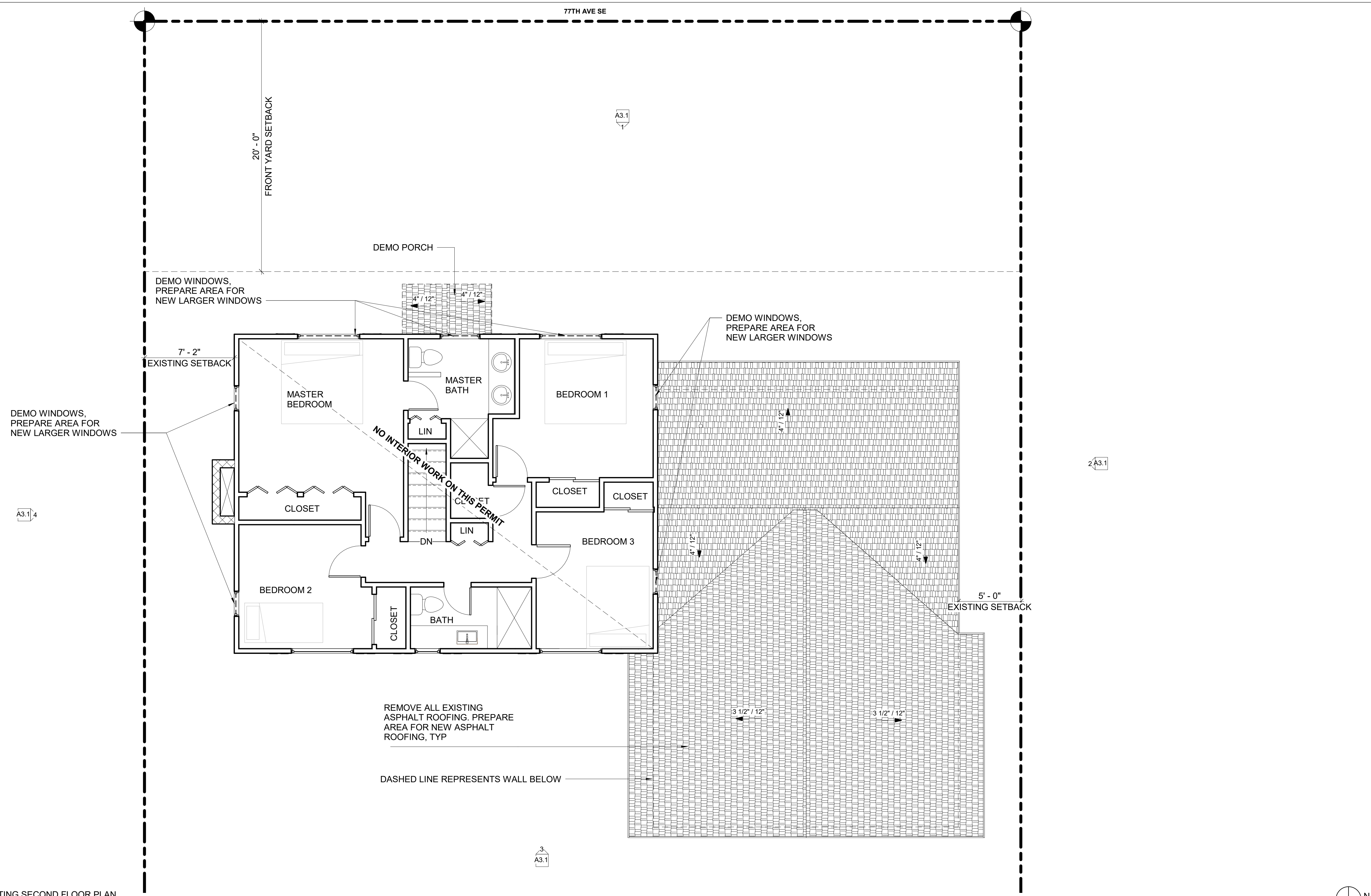
3460 77TH AVENUE SE MERCER ISLAND

REVISION	DATE	REASON FOR ISSUE

EXISTING FIRST FLOOR PLAN

PERMIT SET

DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER A1.2
SCALE 1/4" = 1'-0"	



1 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"

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SYMBOL LEGEND	
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	CARBON MONOXIDE DETECTOR
	DOORS
	WINDOWS
	EXISTING WALL
	NEW WALL
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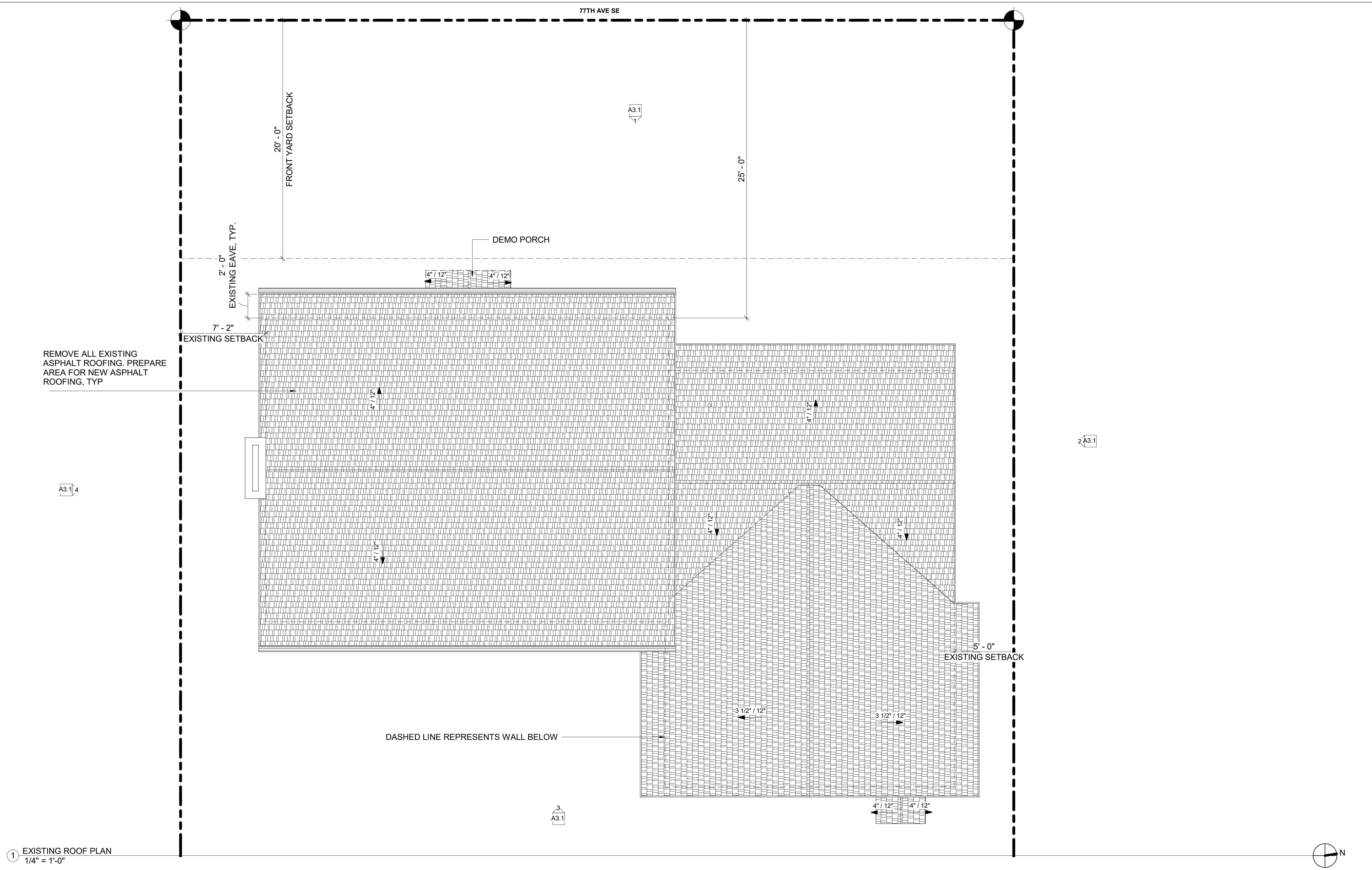
THE BENNOVITZ
3460 77TH AVENUE SE MERCER ISLAND

REVISION	DATE	REASON FOR ISSUE

EXISTING SECOND FLOOR PLAN

PERMIT SET

DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER A1.3
SCALE 1/4" = 1'-0"	



1 EXISTING ROOF PLAN
1/4" = 1'-0"

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SYMBOL LEGEND	
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	DOORS
	WINDOWS
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STAMP

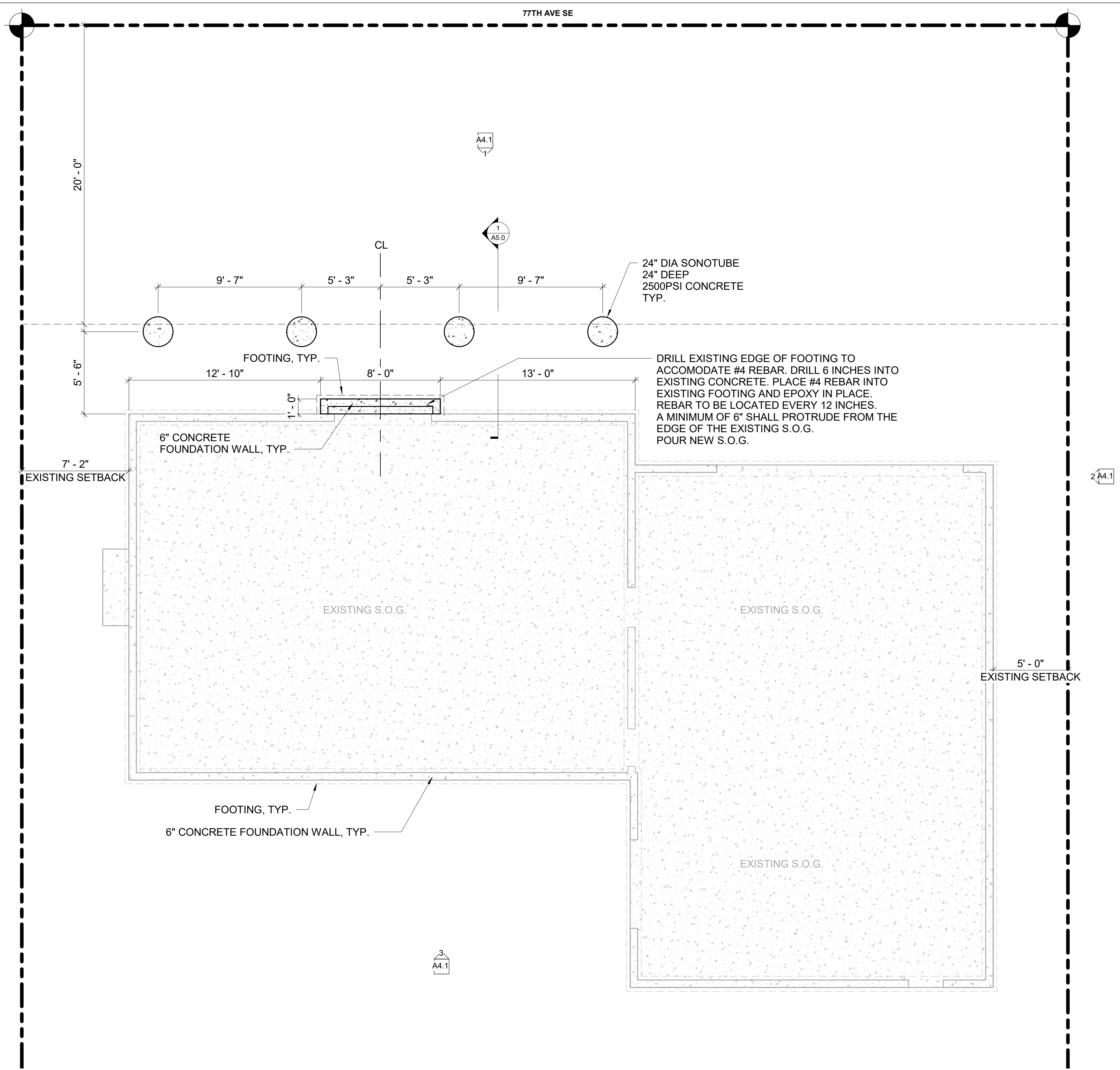
THE BENNOVITZ
3460 77TH AVENUE SE MERCER ISLAND

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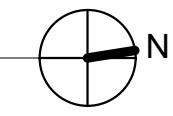
EXISTING ROOF PLAN

PERMIT SET

DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER A1.4
SCALE 1/4" = 1'-0"	



1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"



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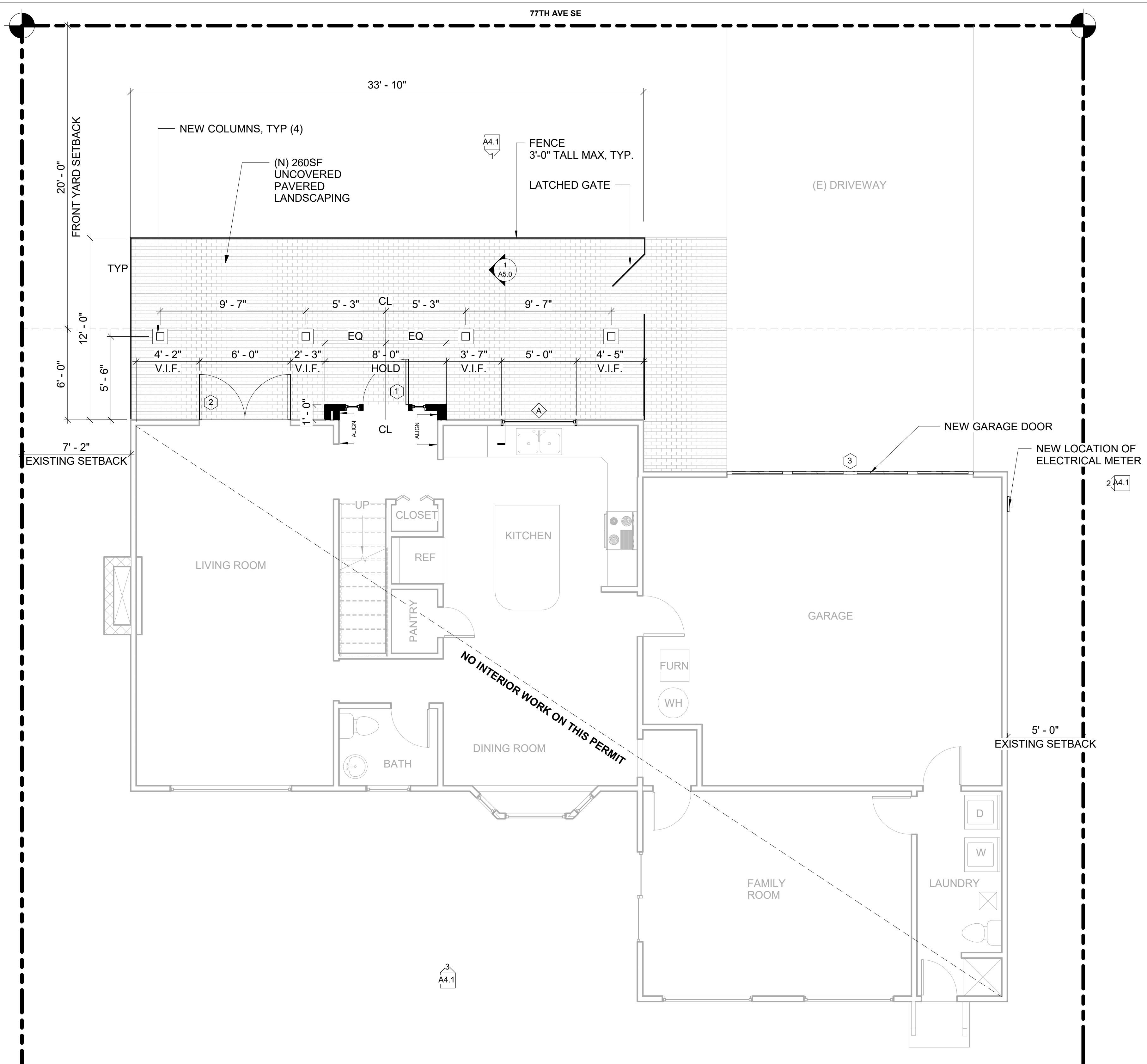
THE BENNOVITZ
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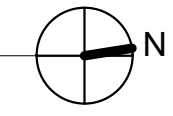
PROPOSED FOUNDATION PLAN

PERMIT SET

DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER A2.1
SCALE 1/4" = 1'-0"	



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



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STAMP

THE BENNOVITZ

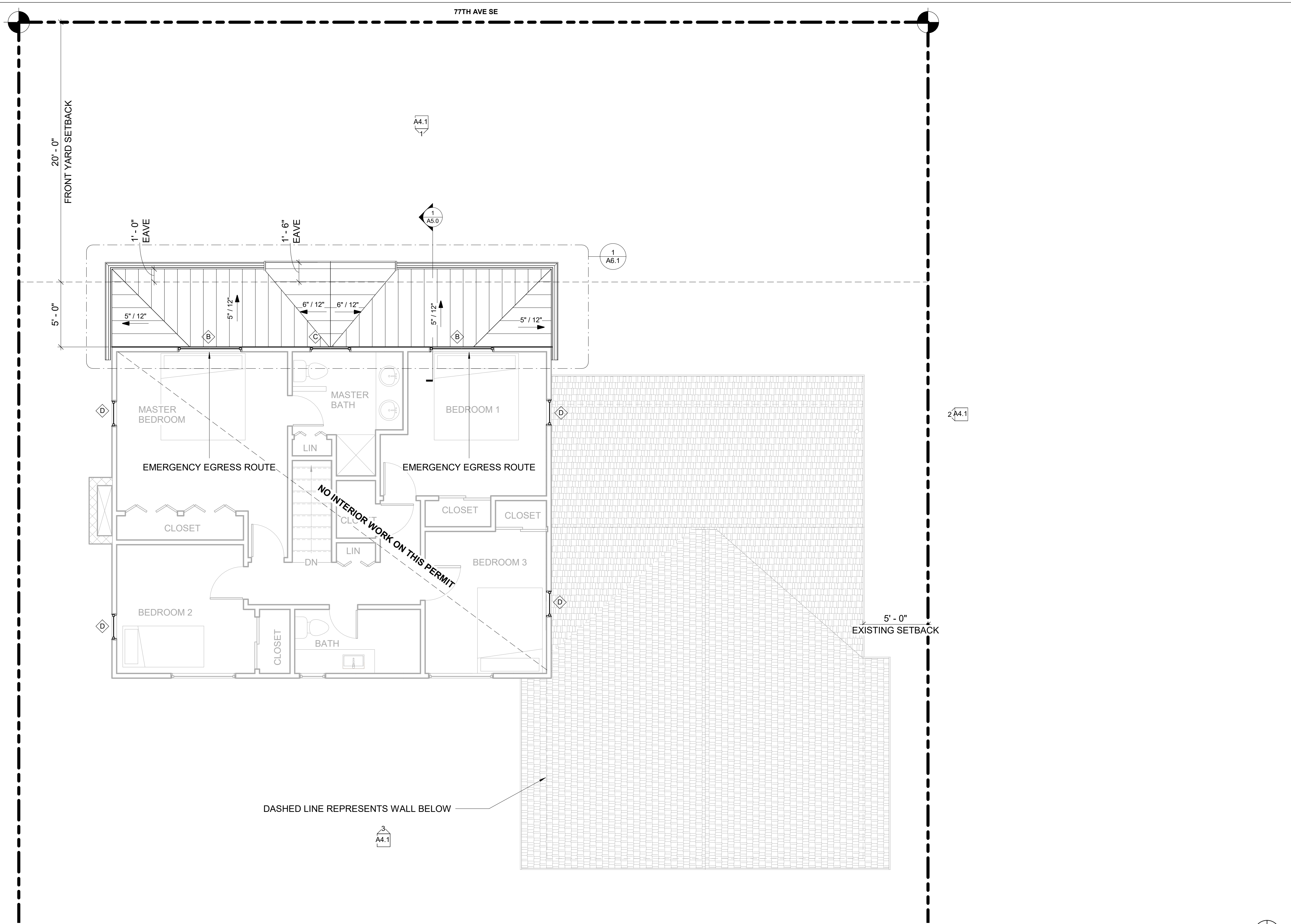
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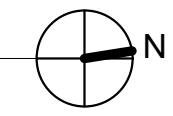
PROPOSED FIRST FLOOR PLAN

PERMIT SET

DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER A2.2
SCALE 1/4" = 1'-0"	



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



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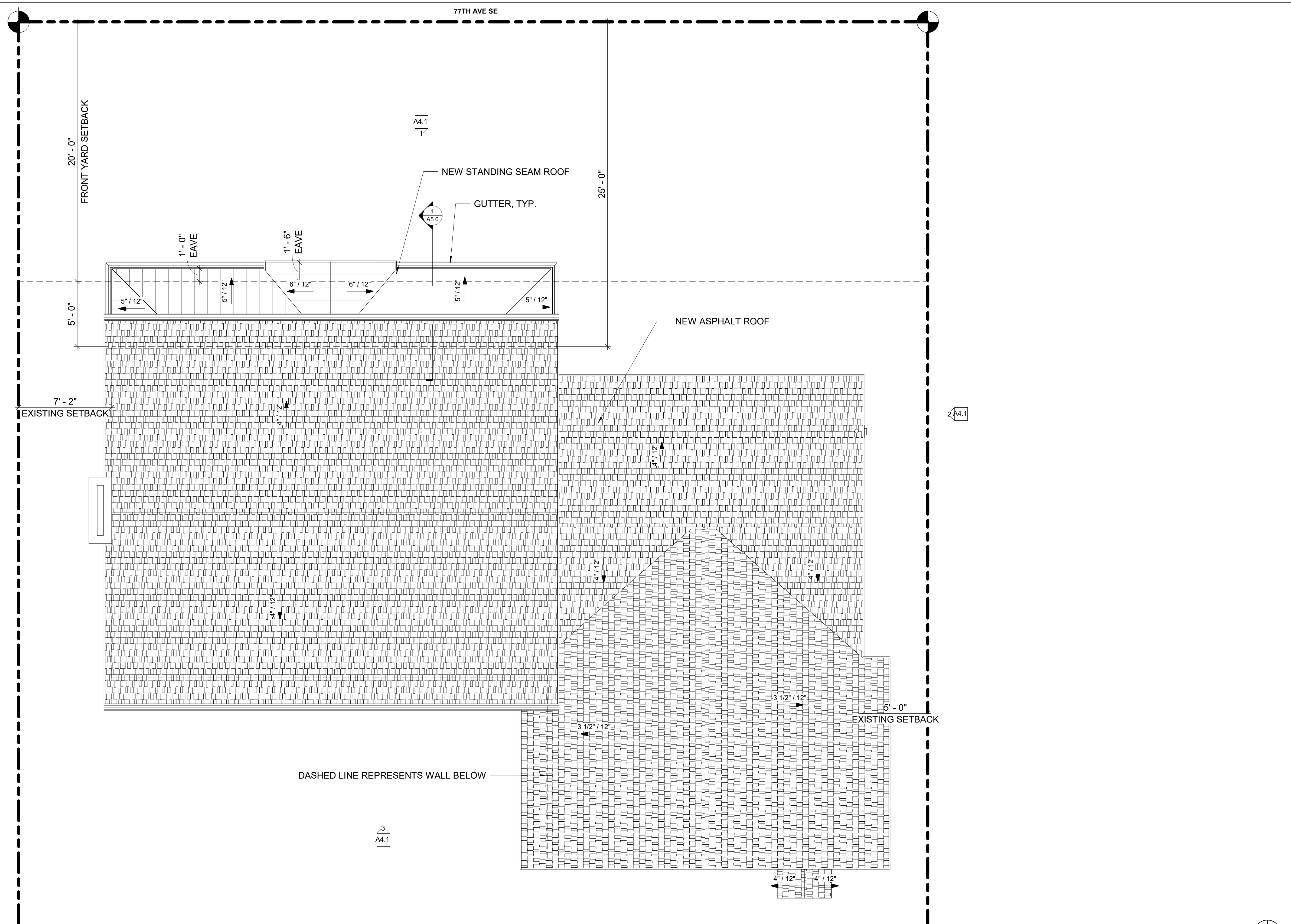
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3460 77TH AVENUE SE MERCER ISLAND

REVISION	DATE	REASON FOR ISSUE

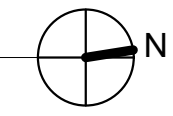
PROPOSED SECOND FLOOR PLAN

PERMIT SET

DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER A2.3
SCALE 1/4" = 1'-0"	



1 PROPOSED ROOF PLAN
1/4" = 1'-0"



HOUSE VENTILATION		
2012 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1507. INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1507.3 TABLE 1507.3.3(1) & TABLE 1507.3.3(2). PROVIDE CONTROLS PER 1503.2. COMPLY WITH WSEC R403.5.		
SYMBOL	LOCATION	MINIMUM FAN REQUIREMENTS
	Bath & Powder	Min. 50 cfm (INTERMITTENT) @ .025" WG (TABLE M1507.3)
	Kitchen	Min. 100 cfm (INTERMITTENT) @ .025" WG (TABLE M1507.3) (Range hood or down draft exhaust fan rated at min. 100 cfm at 0.10" wg may be used for exhaust fan requirement.)
	Laundry Room	Min. 180 cfm (INTERMITTENT) @ .025" WG - to function and be labeled as whole house fan (4-5 BEDROOMS 3001< 4500 SF.) TO OPERATE 50% OF EVERY FOUR HOUR PERIOD
DRYER VENT PER (TABLE M1502.4.4.1) VENTED TO OUTSIDE		
*ALL FANS TO VENT TO OUTSIDE		

SYMBOL LEGEND	
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	DOORS
	WINDOWS
	EXISTING WALL
	NEW WALL
	DEMOLISH (E) WALL

- FLOOR PLAN NOTES**
- CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
 - PROVIDE SOLID BLOCKING OVER SUPPORTS.
 - PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
 - WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES, NOT ROUGH OPENING DIMENSIONS.
 - DOOR JAMB 4.5" U.N.O.
 - ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
 - EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
 - SMOKE & CARBON MONOXIDE DETECTORS
*SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
*SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
*SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
*SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24"
 - ALL DOORS STANDARD DIMENSION 4 1/2" FROM HINGE JAMB TO ADJACENT FRAMING UNLESS OTHERWISE NOTED.
 - NEW FLOORING, PAINT, TRIM, WINDOWS THROUGHOUT PROJECT

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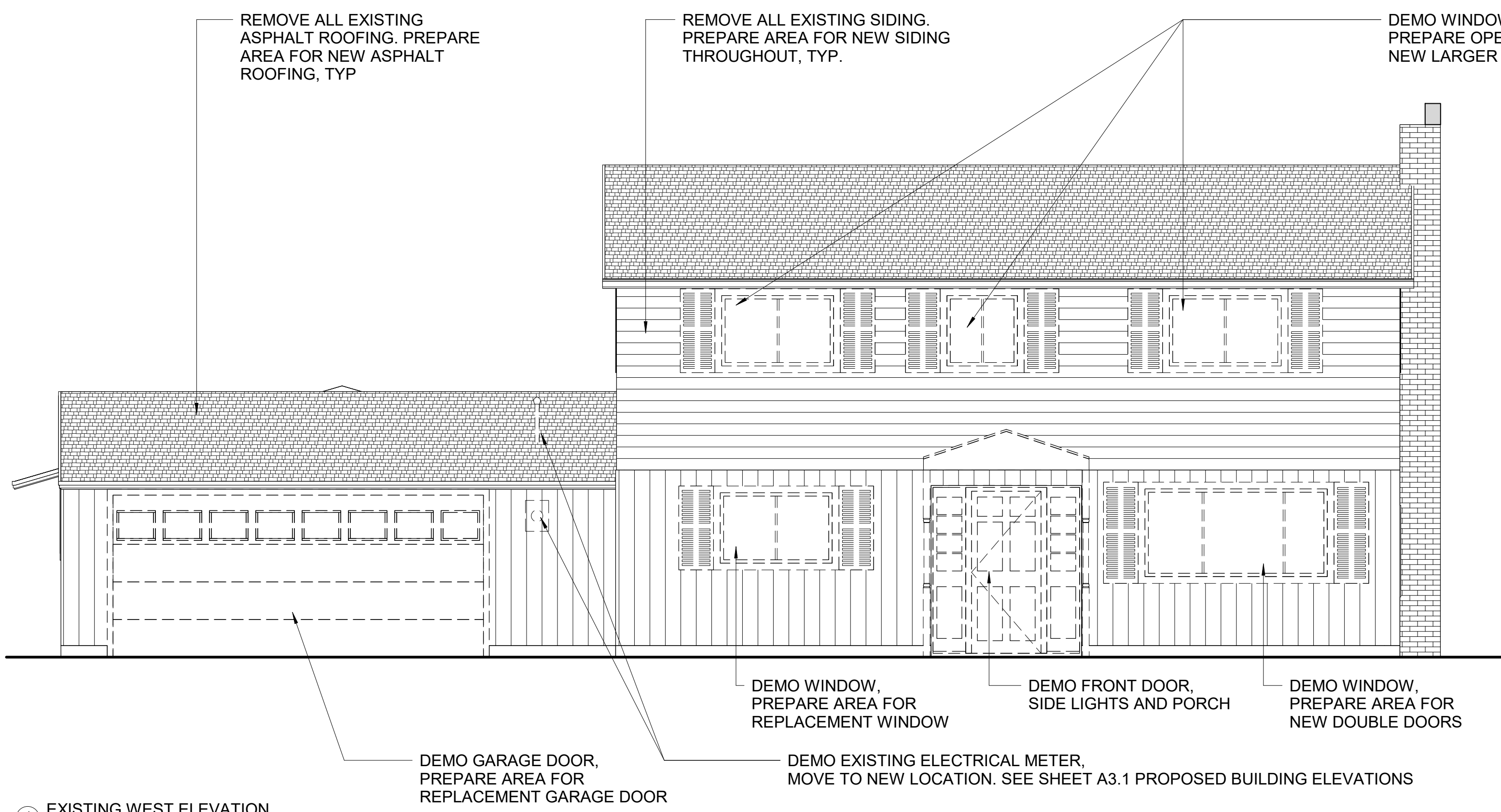
THE BENNOVITZ
3460 77TH AVENUE SE MERCER ISLAND

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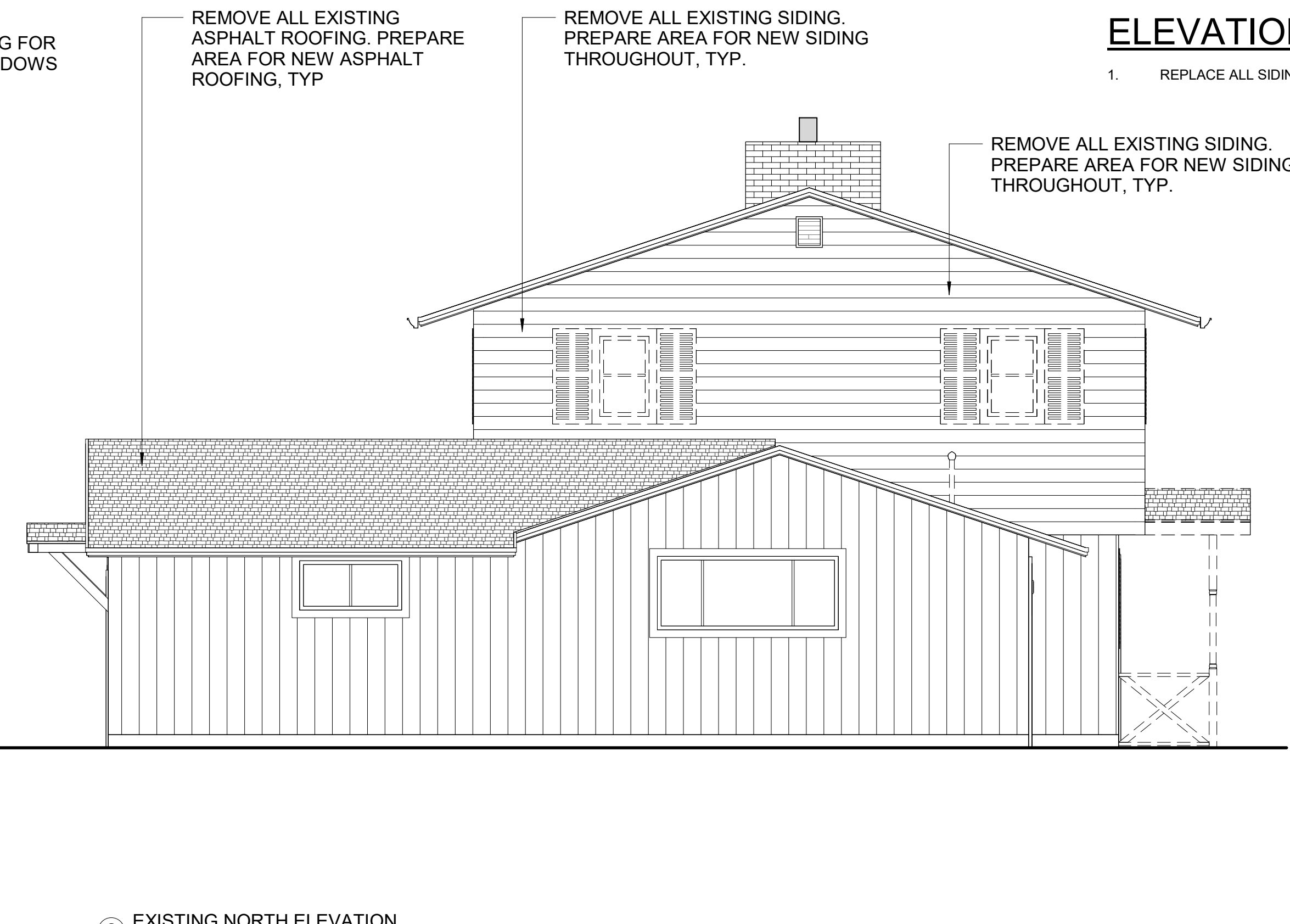
PROPOSED ROOF PLAN

PERMIT SET

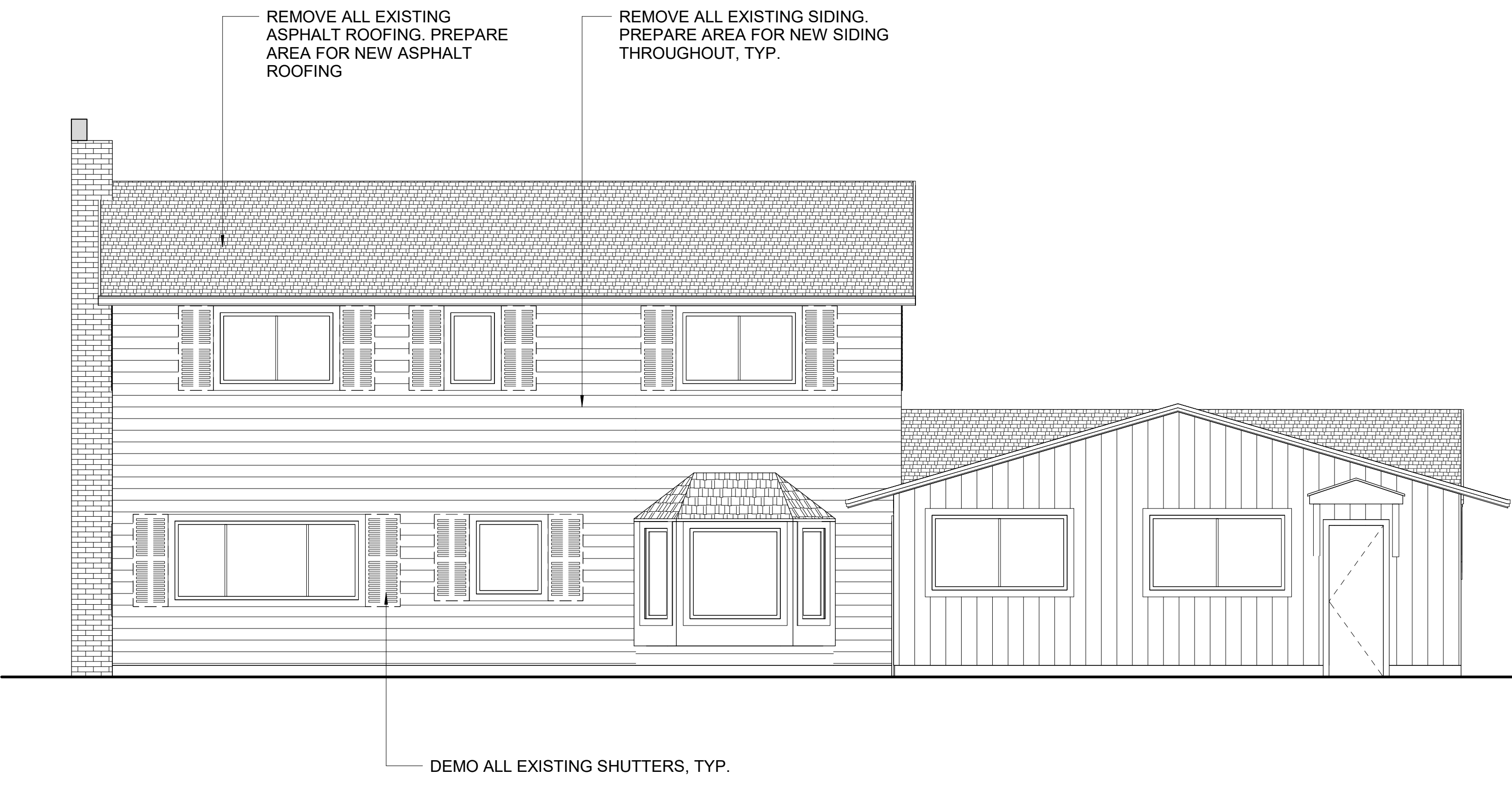
DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER A2.4
SCALE 1/4" = 1'-0"	



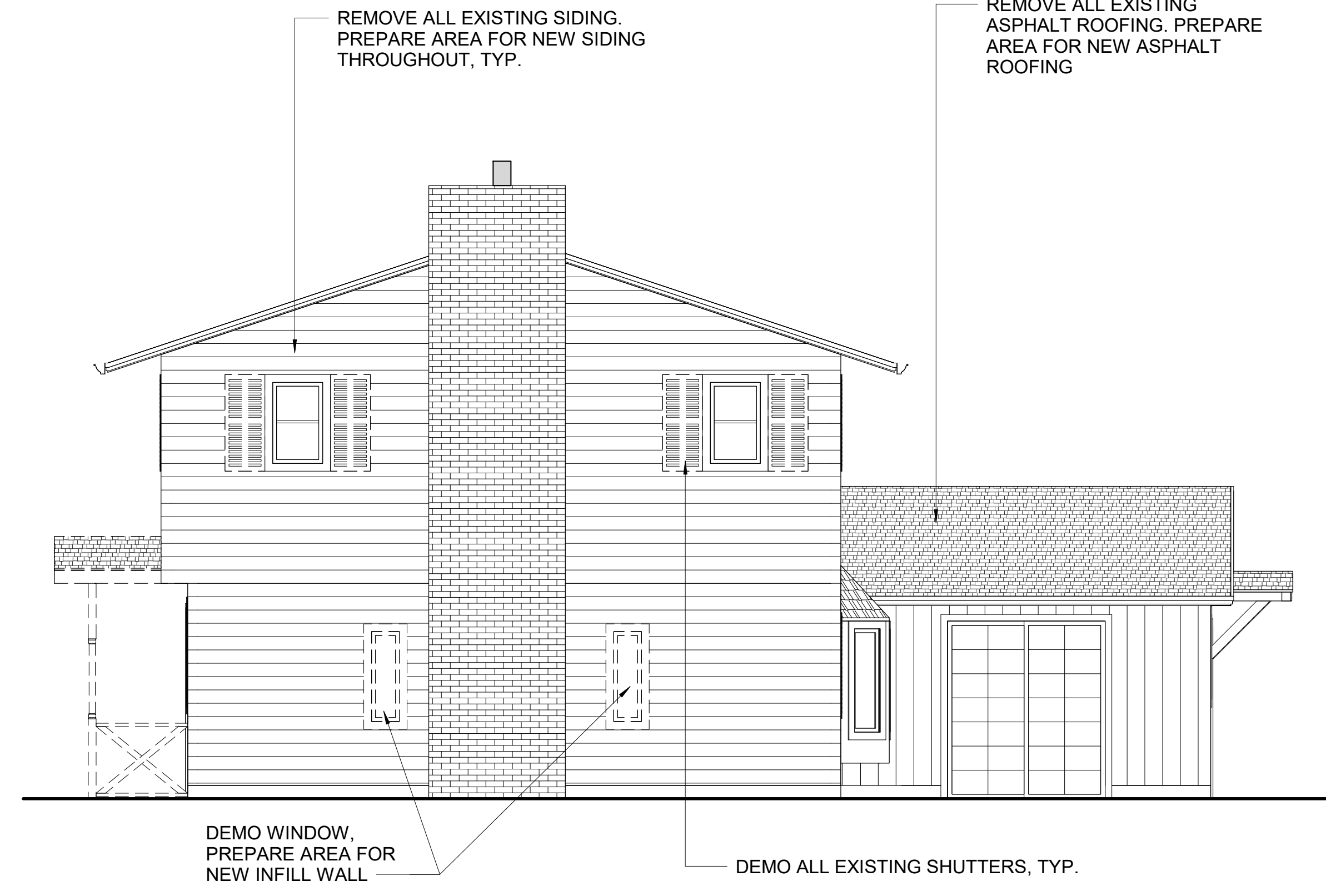
1 EXISTING WEST ELEVATION
1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
1/4" = 1'-0"



3 EXISTING EAST ELEVATION
1/4" = 1'-0"



4 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

ELEVATION NOTES:

- 1. REPLACE ALL SIDING

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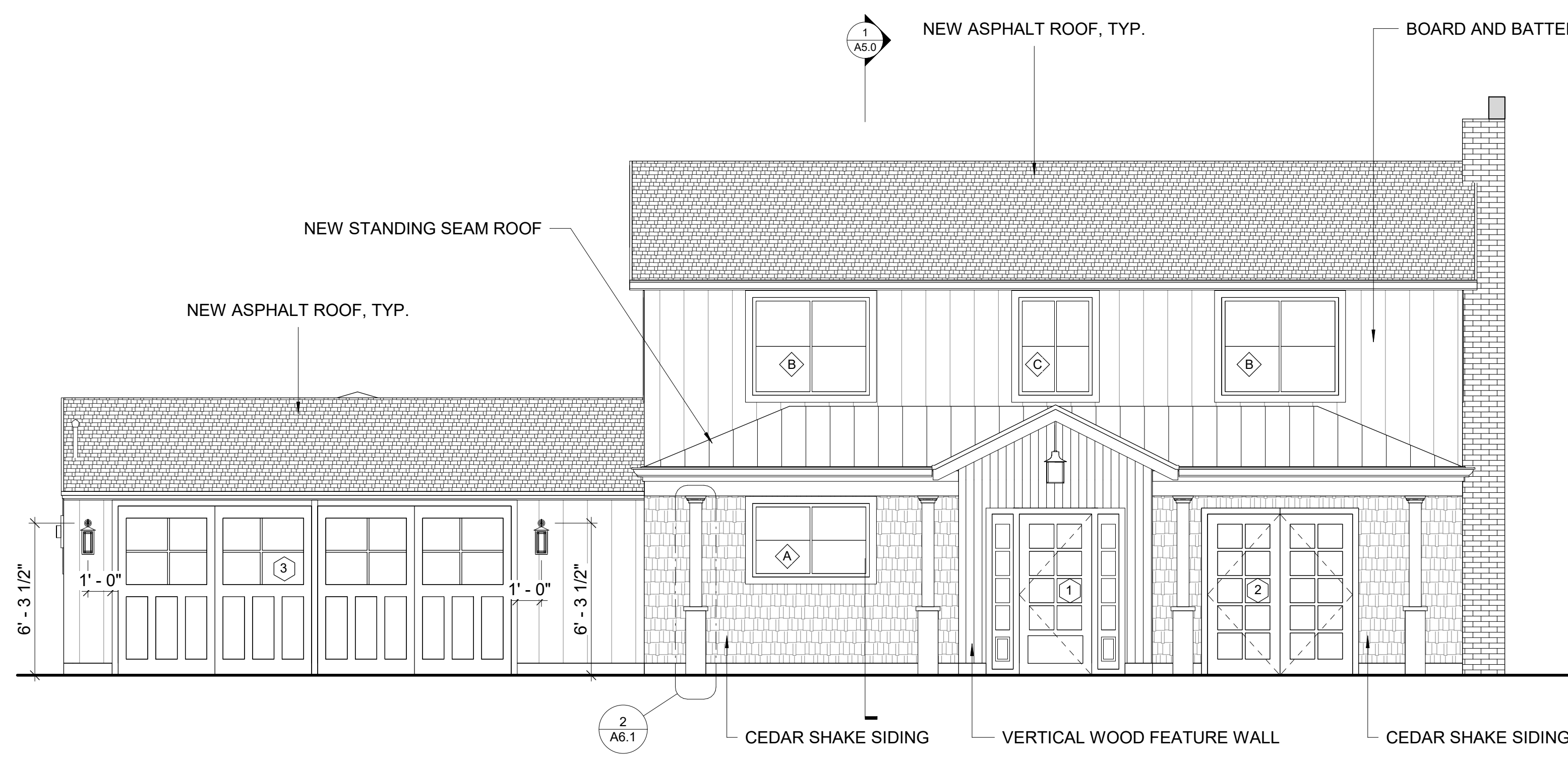
3460 77TH AVENUE SE MERCER ISLAND

REVISION	DATE	REASON FOR ISSUE

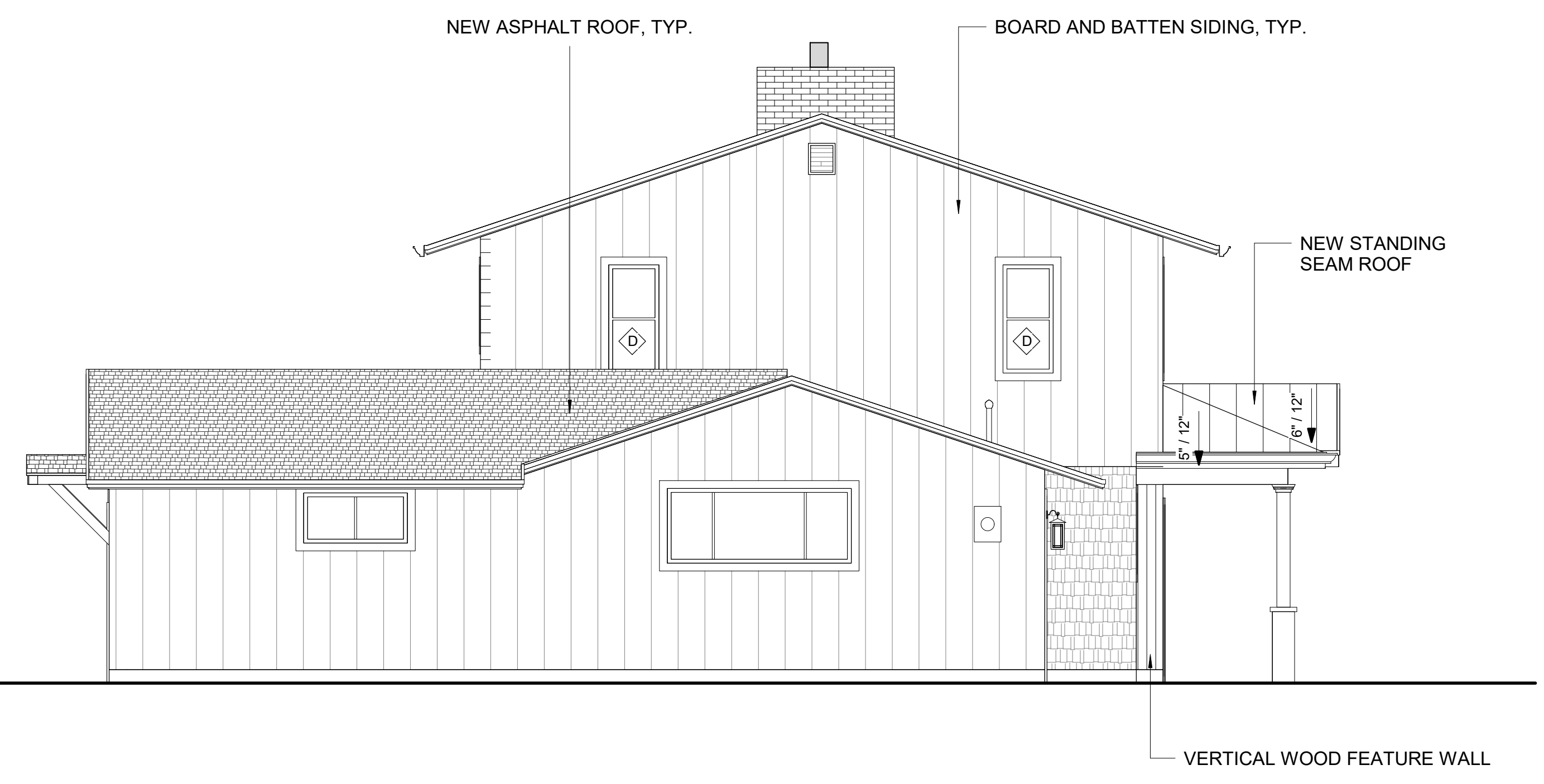
EXISTING BUILDING ELEVATIONS

PERMIT SET

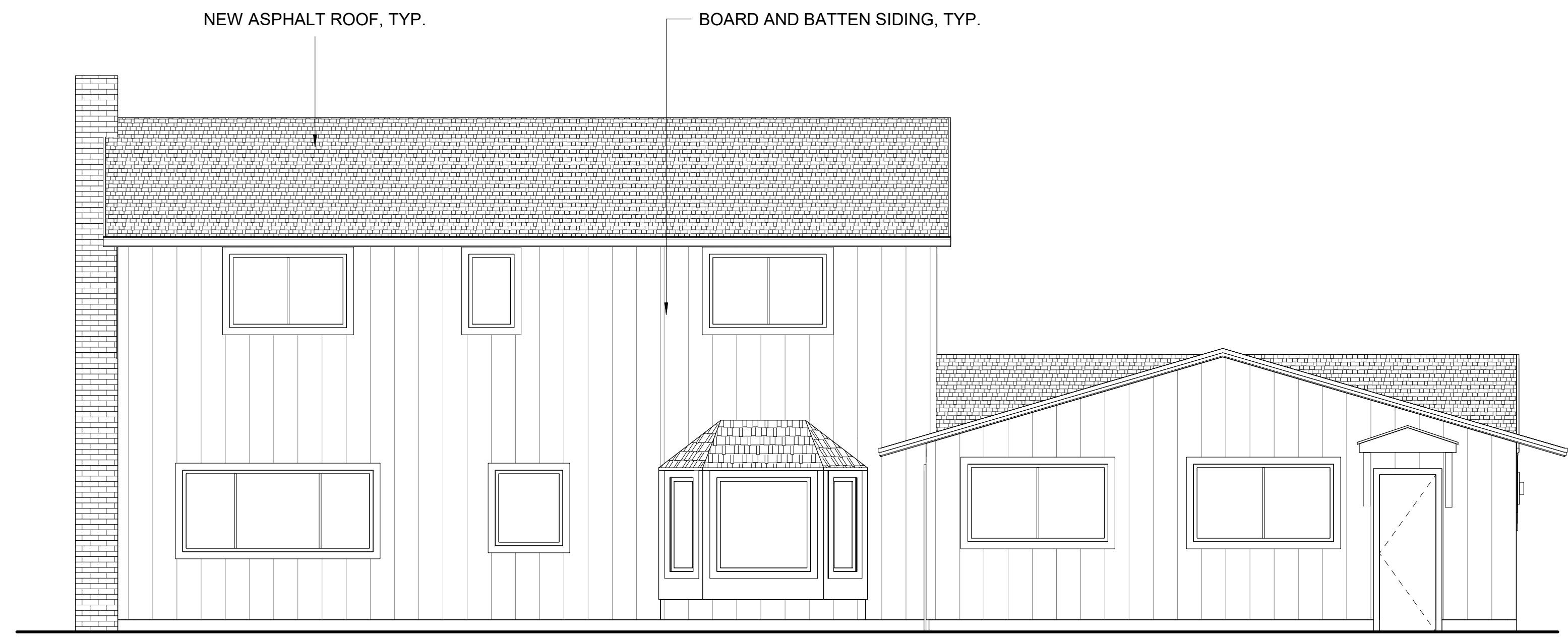
DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER
SCALE 1/4" = 1'-0"	A3.1



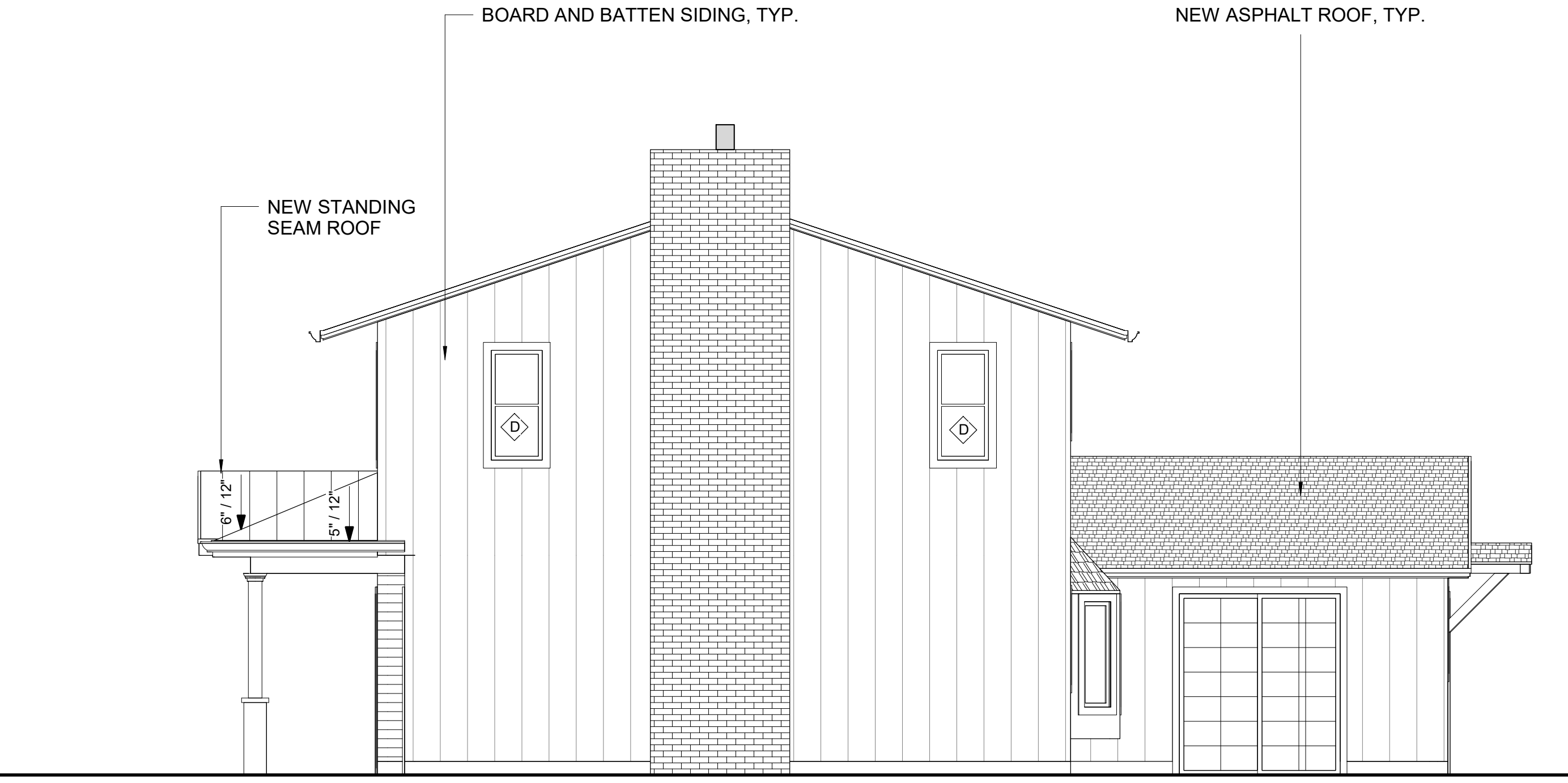
1 PROPOSED NORTH ELEVATION FACADE
1/4" = 1'-0"



2 PROPOSED EAST ELEVATION FACADE
1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION FACADE
1/4" = 1'-0"



4 PROPOSED WEST ELEVATION FACADE
1/4" = 1'-0"

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REVISION	DATE	REASON FOR ISSUE

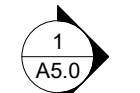
PROPOSED BUILDING ELEVATIONS

PERMIT SET

DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER A4.1
SCALE 1/4" = 1'-0"	

ALIGN
WINDOWS/
DOORS,
TYP.

CL

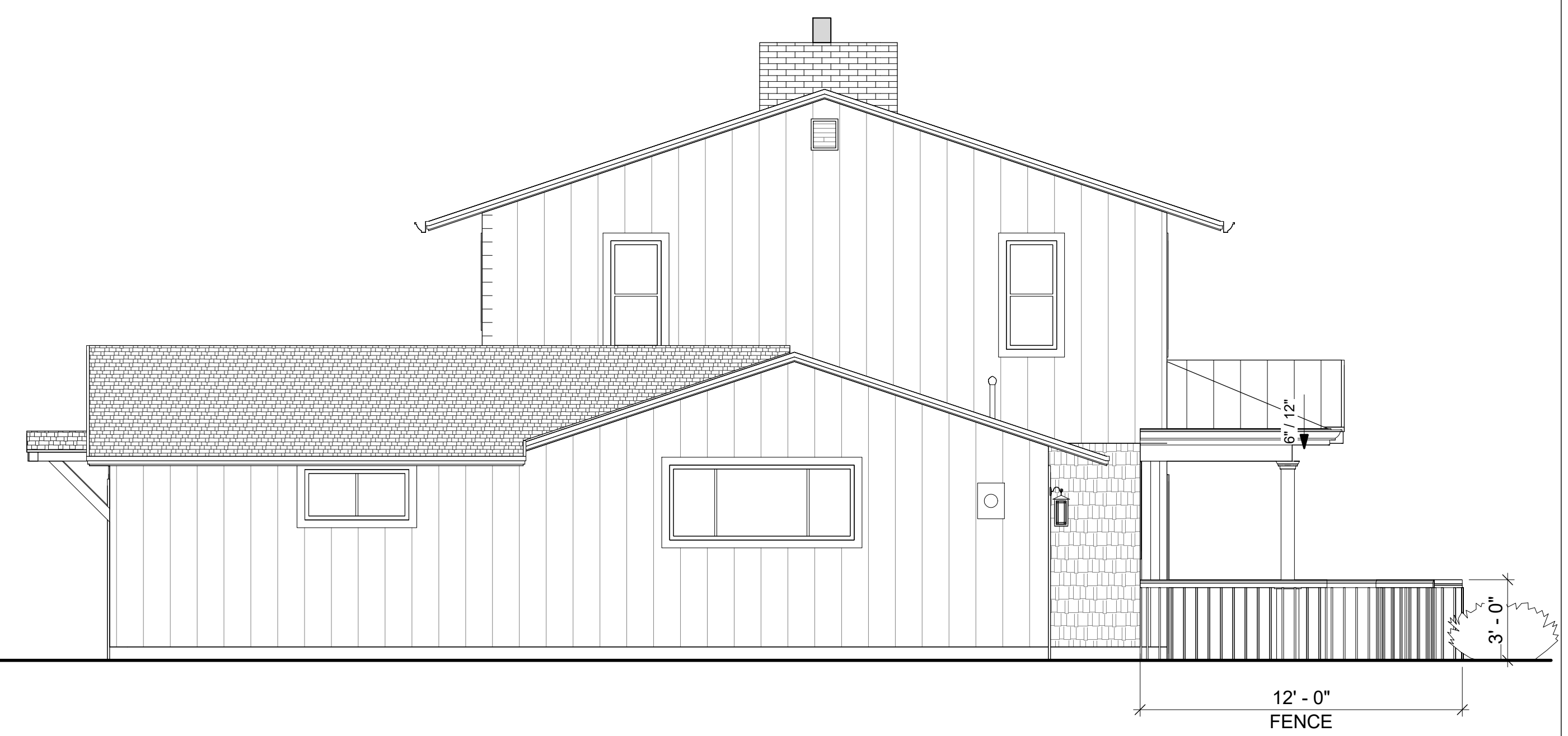
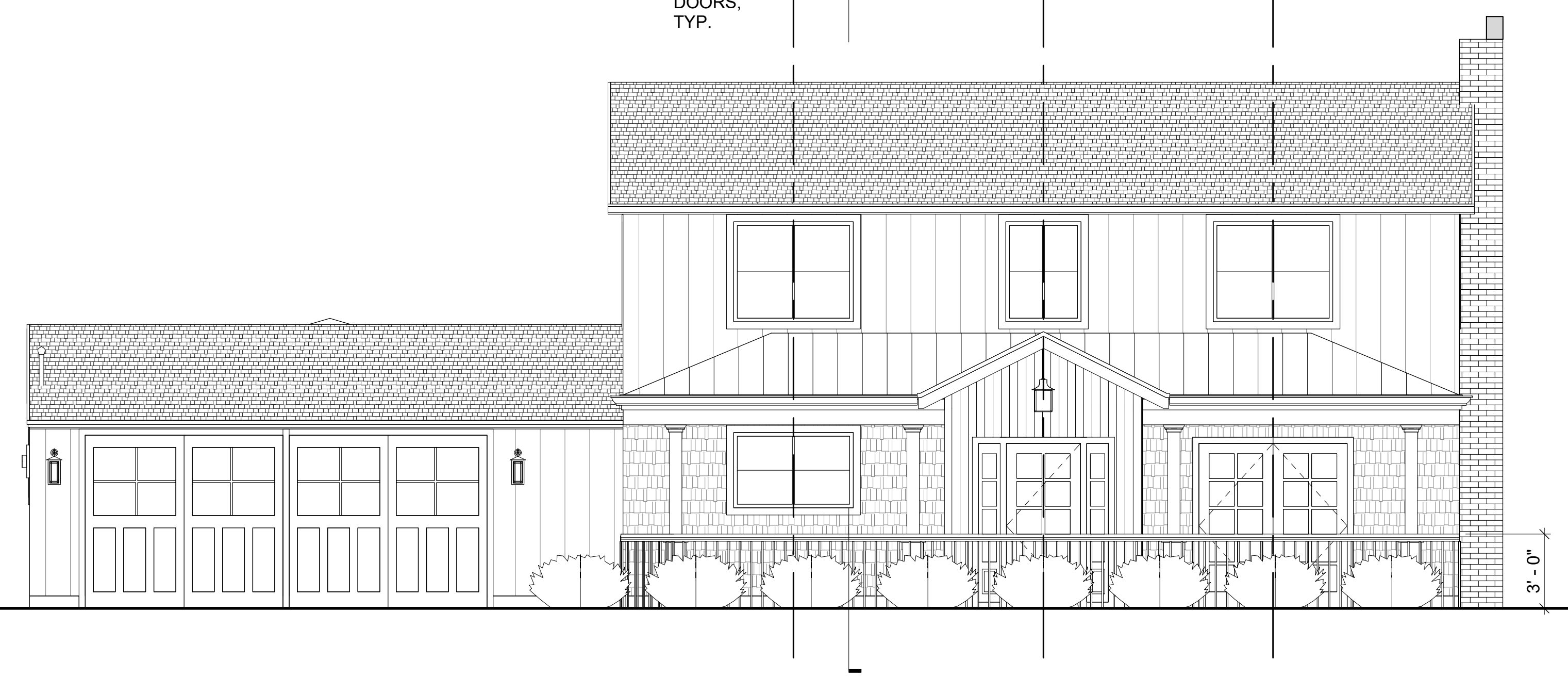


CL

CL

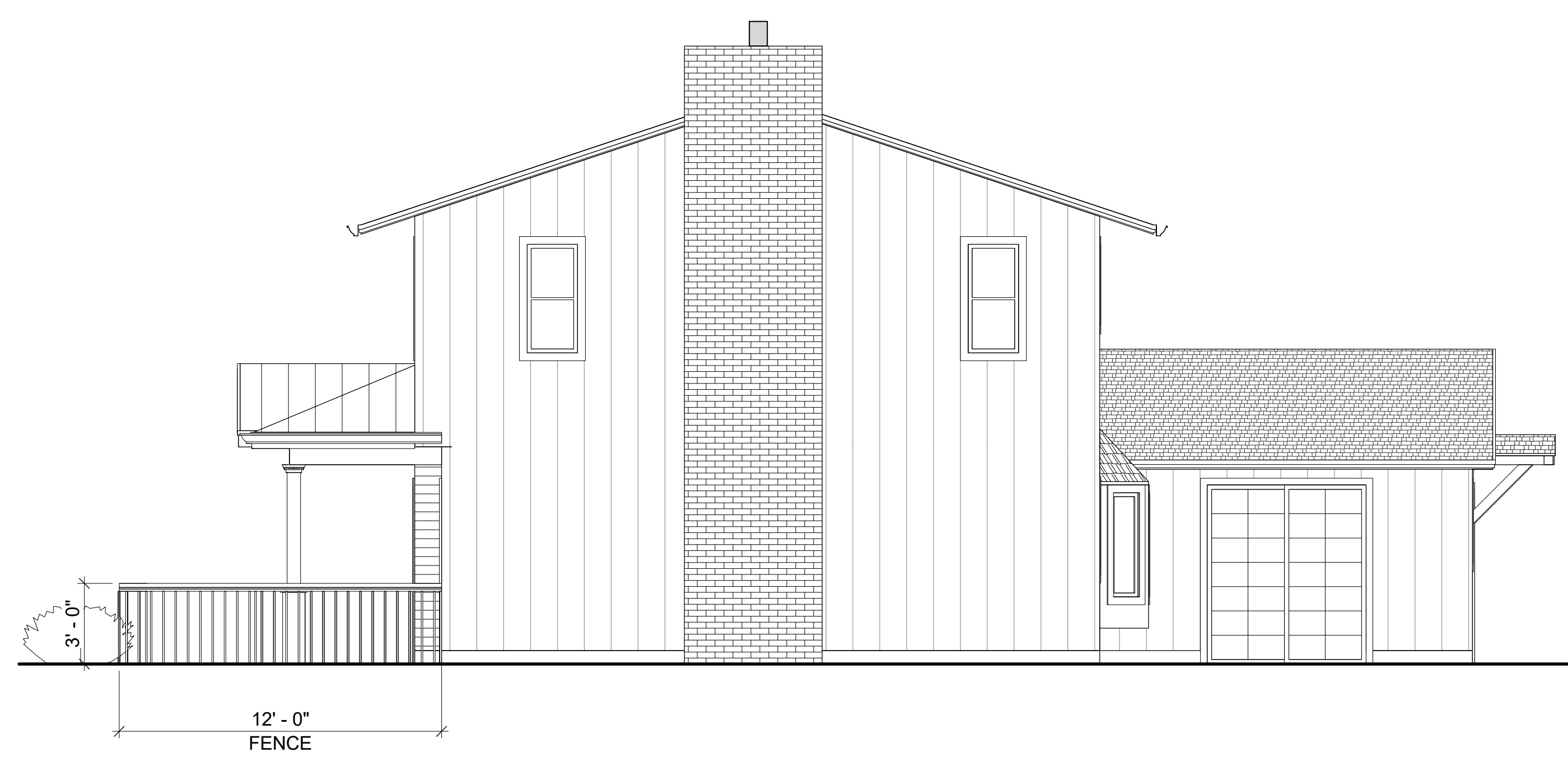
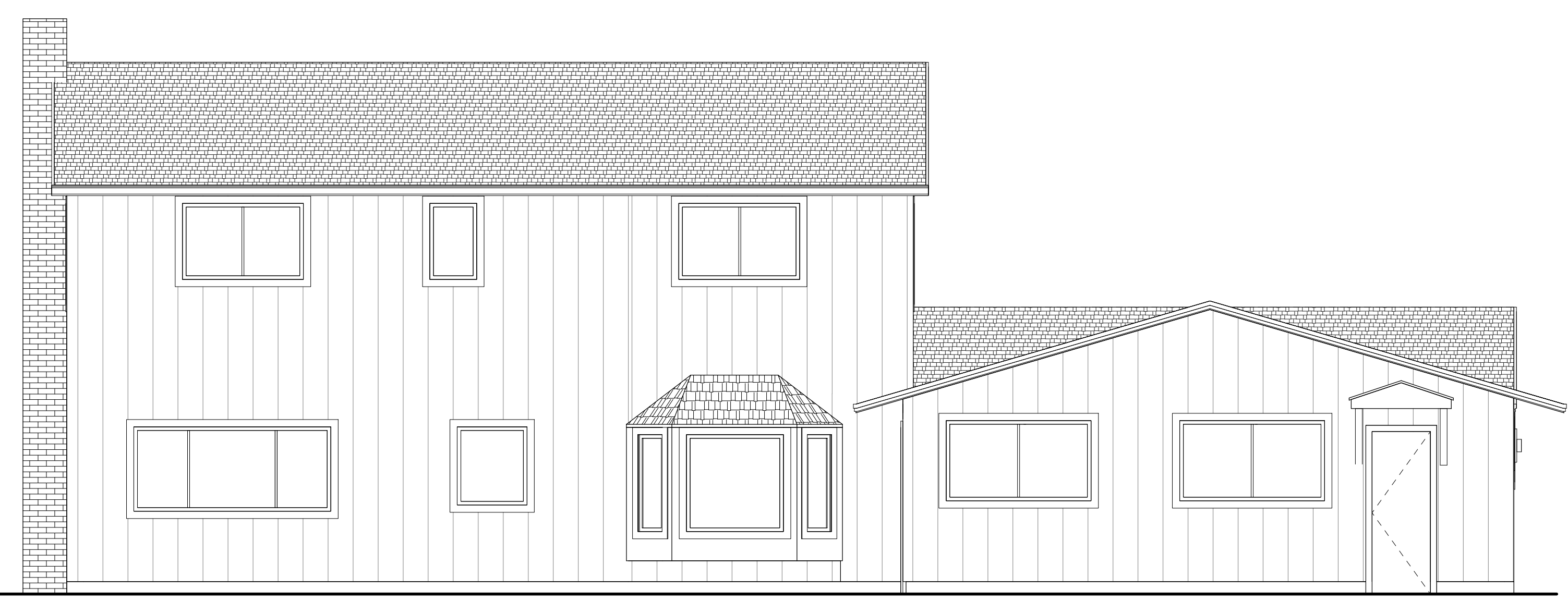
ELEVATION NOTES:

1.



① PROPOSED NORTH ELEVATION
1/4" = 1'-0"

② PROPOSED EAST ELEVATION
1/4" = 1'-0"



③ PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

④ PROPOSED WEST ELEVATION
1/4" = 1'-0"

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3460 77TH AVENUE SE MERCER ISLAND

REVISION | DATE | REASON FOR ISSUE

REVISION	DATE	REASON FOR ISSUE

PROPOSED
BUILDING
ELEVATIONS, CONT.

PERMIT SET

DATE
3/11/21

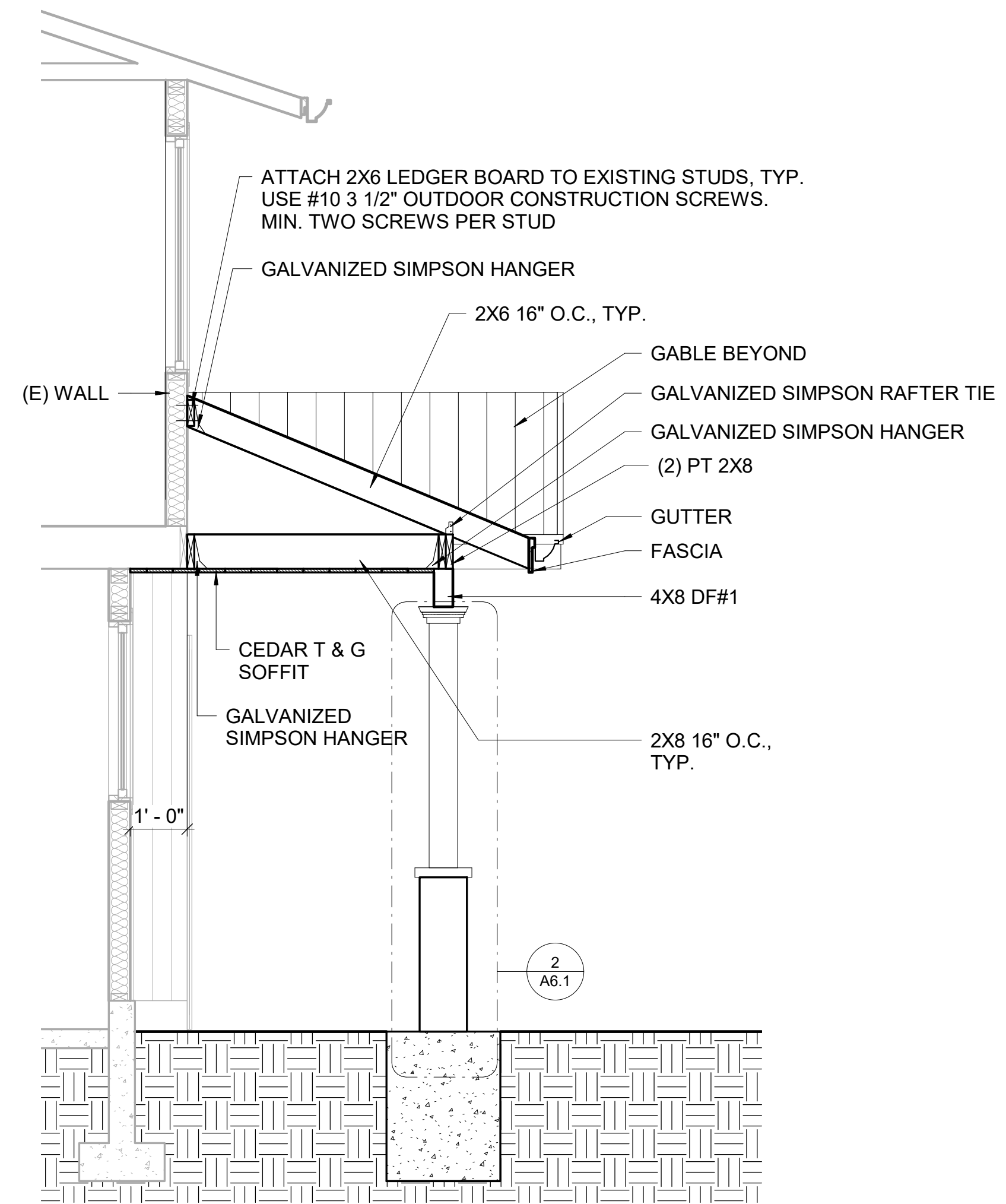
REVISION

PROJECT
NUMBER

SHEET NUMBER

SCALE
1/4" = 1'-0"

A4.2



1 SECTION AT PORCH ADDITION
1/2" = 1'-0"

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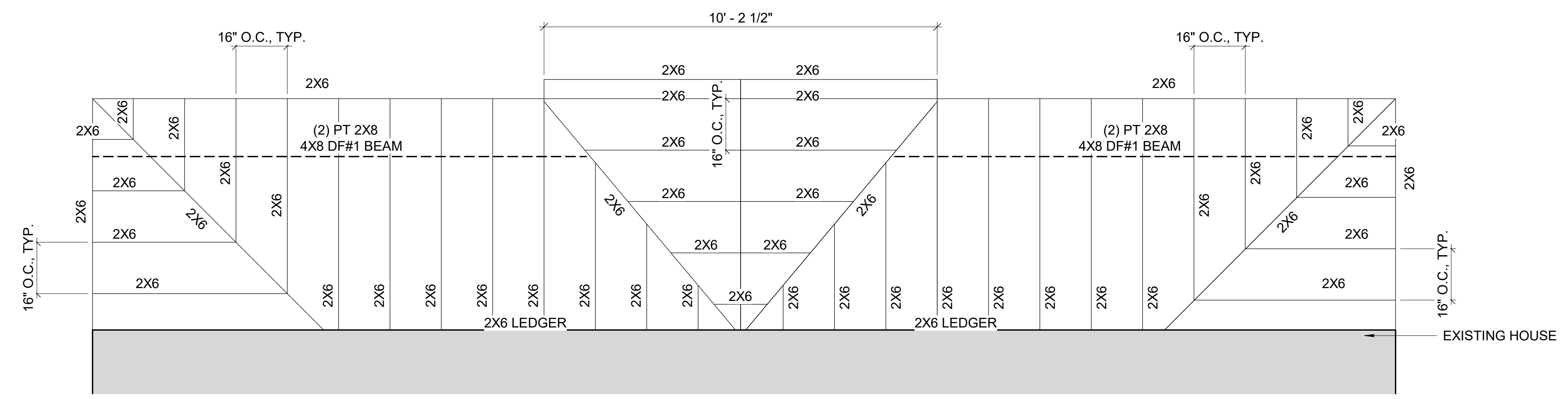
3460 77TH AVENUE SE MERCER ISLAND

REVISION	DATE	REASON FOR ISSUE

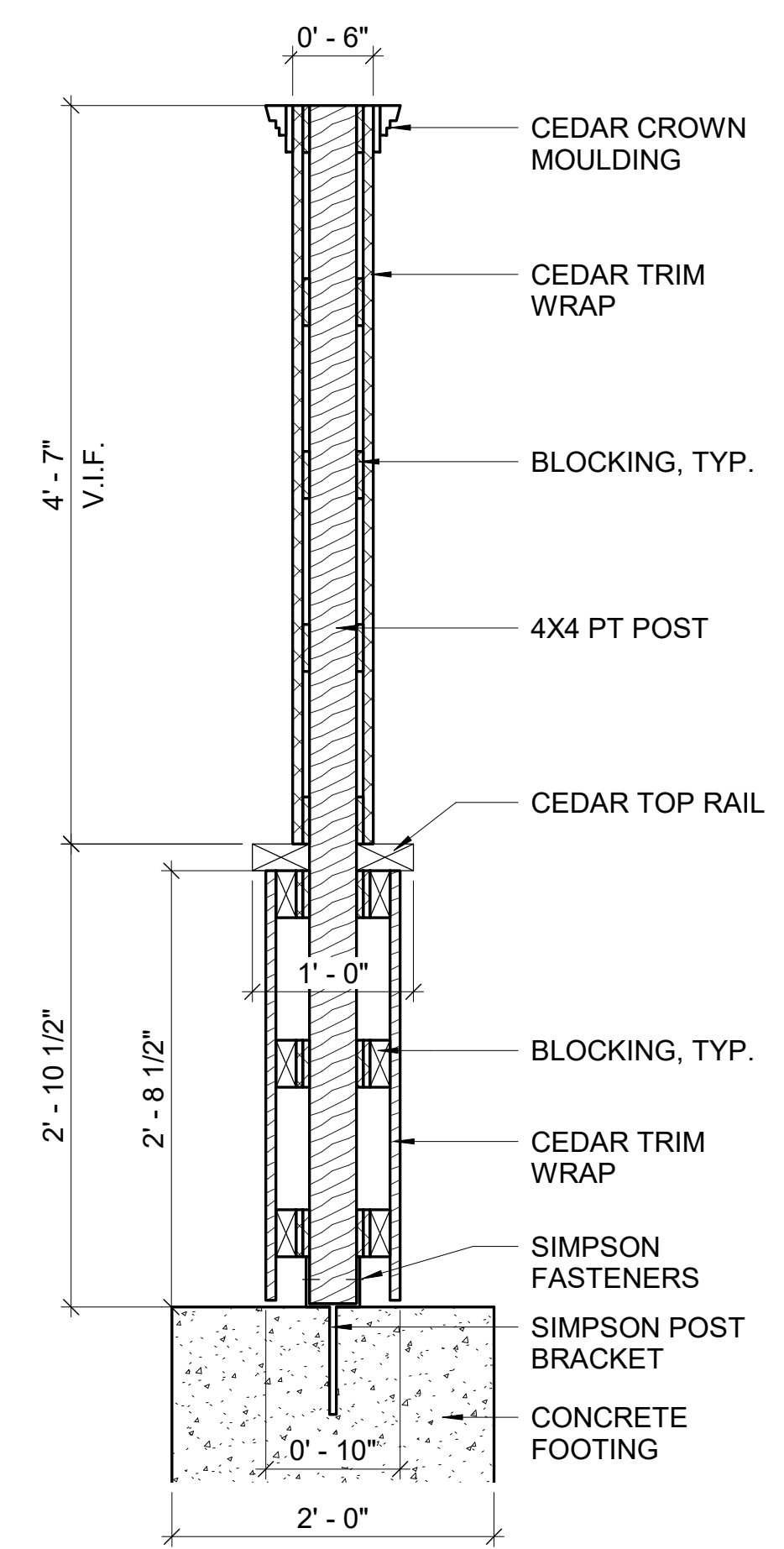
BUILDING SECTION

PERMIT SET

DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER
SCALE 1/2" = 1'-0"	A5.0



1 PORCH ROOF FRAMING
1/2" = 1'-0"



2 COLUMN DETAIL
1" = 1'-0"

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3460 77TH AVENUE SE MERCER ISLAND

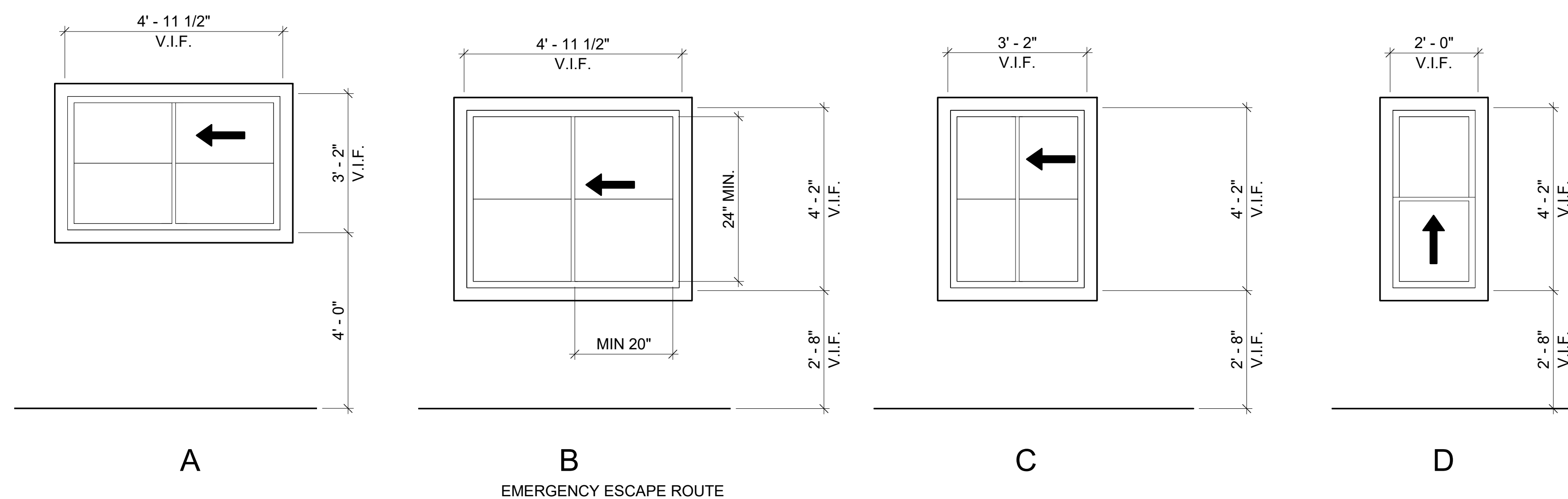
REVISION	DATE	REASON FOR ISSUE

DETAILS

PERMIT SET

DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER
SCALE As indicated	A6.1

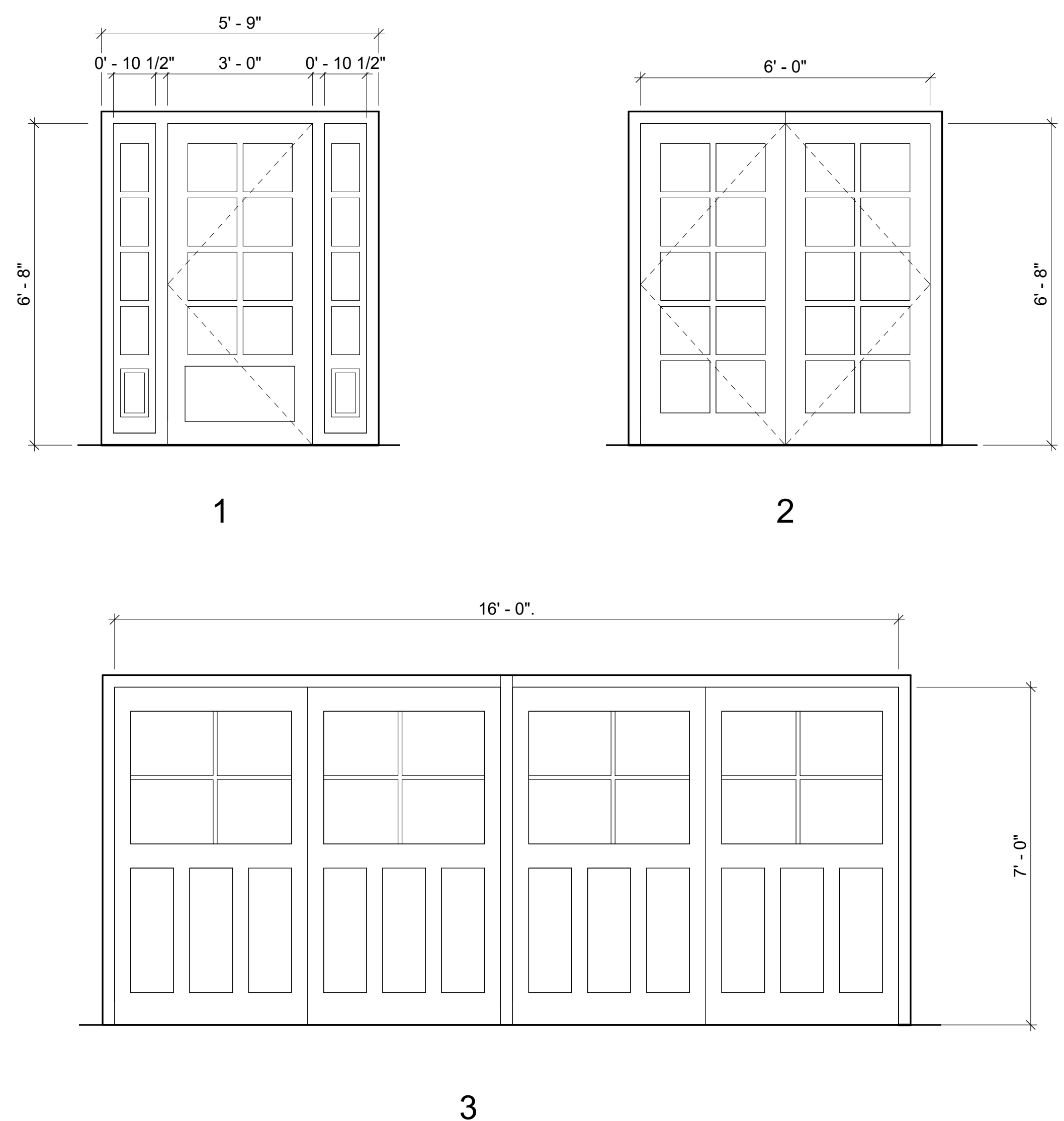
WINDOW TYPES



WINDOW SCHEDULE

NO.	QTY	WIDTH	HEIGHT	NOTES
A	1	4'-11 1/2"	3'-2"	SLIDER
B	2	4'-11 1/2"	4'-2"	SLIDER EGRESS WINDOW
C	1	3'-2"	4'-2"	SLIDER BATHROOM WINDOW (FROSTED GLASS)
D	4	2'-0"	4'-2"	SINGLE HUNG WINDOW

EXTERIOR DOOR TYPES



EXTERIOR DOOR SCHEDULE

NO.	QTY	WIDTH	HEIGHT	NOTES
1	1	3'-0"	6'-8"	SOLID CORE EXTERIOR DOOR WITH SIDELIGHTS (SAFETY GLASS)
2	1	6'-0"	6'-8"	DOUBLE SOLID CORE EXTERIOR DOOR (SAFETY GLASS)
3	1	16'-0"	7'-0"	GARAGE DOOR

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REVISION	DATE	REASON FOR ISSUE

SCHEDULES

PERMIT SET

DATE 3/11/21	REVISION
PROJECT NUMBER	SHEET NUMBER A7.1
SCALE 1/2" = 1'-0"	