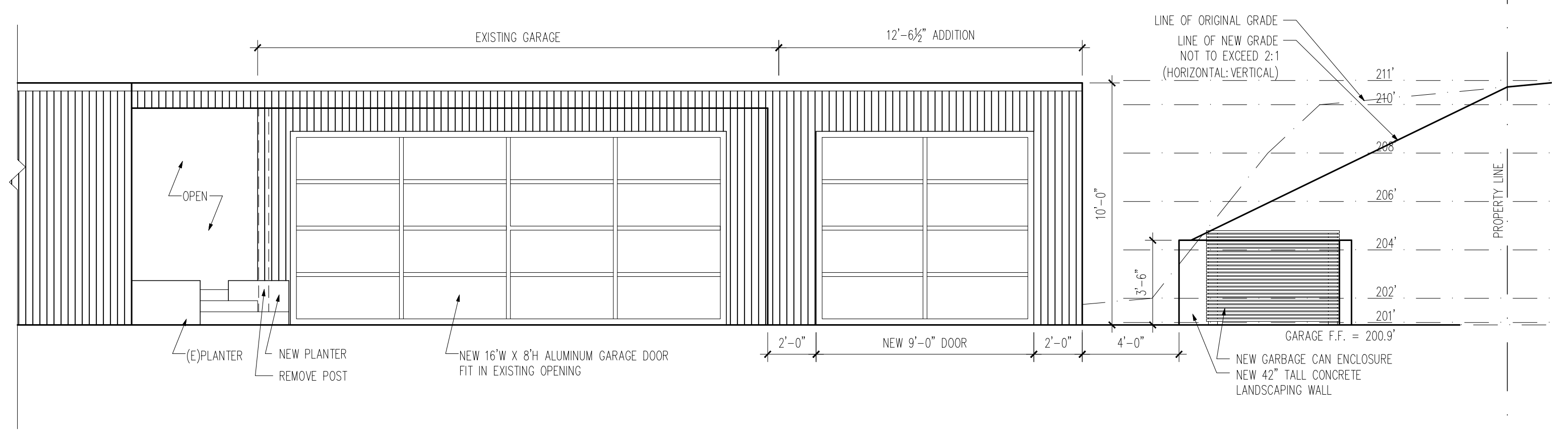
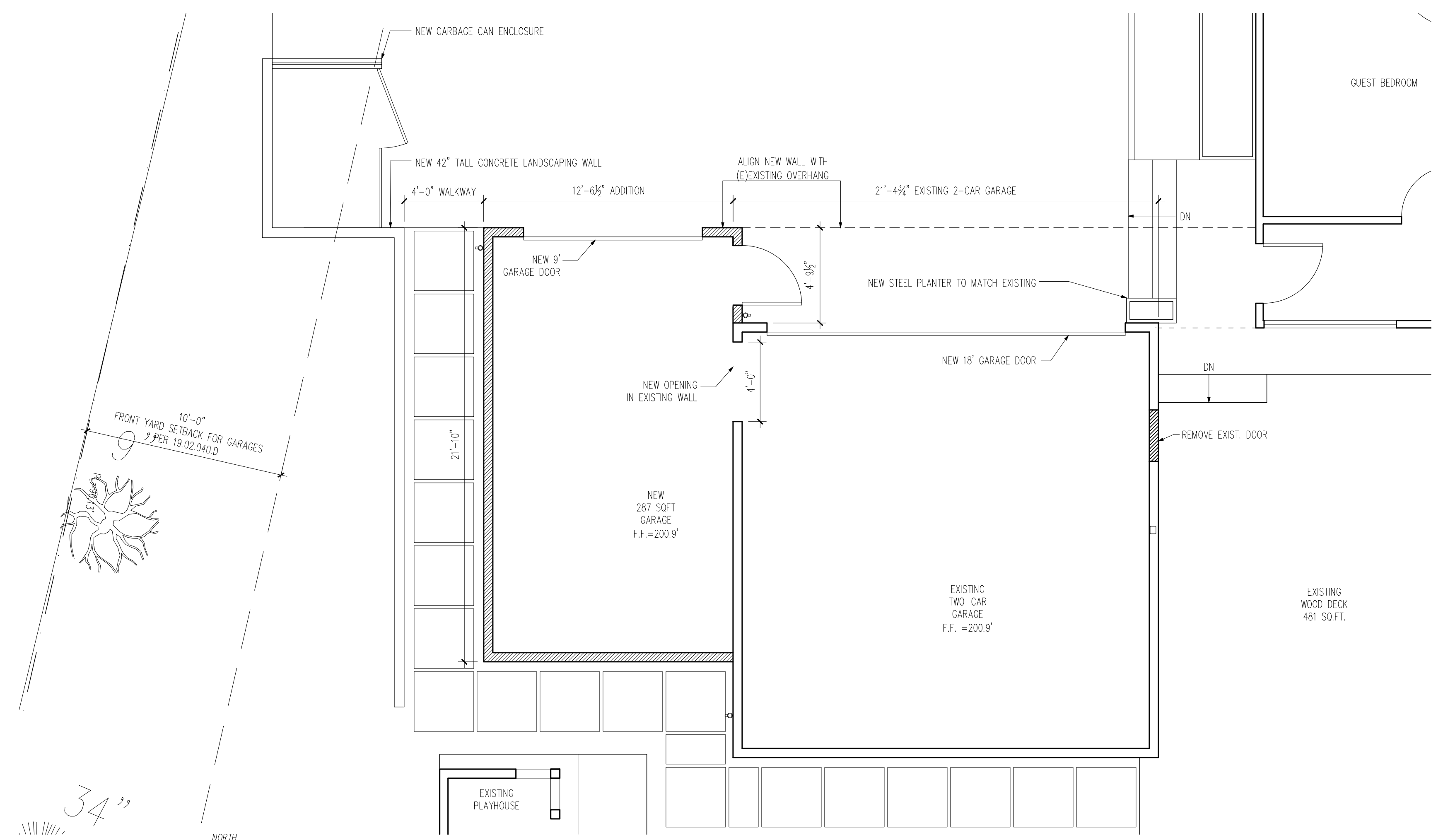


1 Site / Roof Plan
Scale: 1/8" = 1'-0"



3 Garage - North Elevation
Scale: 1/4" = 1'-0"



2 Garage - Floor Plan
Scale: 1/4" = 1'-0"

PROJECT INFORMATION

PROJECT OWNER:
JAYMEE AND SHELLY JOHNSON
4907 E MERCER WAY
MERCER ISLAND WA 98040

PROPERTY ADDRESS:
SAME

PARCEL NUMBER:
216200-0240

LOT SIZE:
24,212 SQ.FT.

LEGAL DESCRIPTION:
EAST MERCER HIGHLANDS ADD LOTS 24 & 25 LESS POR LY NLY & WLY OF LN BEG AT MOST WLY COR OF 25TH N 70-45-14 E ALG NLY LN 17.63 FT TO TPOB OF LN TH S 02-44-11 W 6.49 FT TO NON WITH LN 10 FT NLY & PLT SWLY LN OF 25 TH S 49-54-27 E 86.10 FT TH S 86-45-48 E 80.82 FT TH N 88-17-02 E 32.38 FT TH N 30-36-32 W 71.43 FT TO W MON OF E MERCER WAY & TERM SD LN TOW POR LOT 23 ELY OF LN BEG 18 FT W OF NE COR TH S 09-26-31 E TO SE COR

PROJECT TEAM:
ARCHITECTURE:
SHELLY JOHNSON
4907 E MERCER WAY
MERCER ISLAND, WA 98040
TEL: 206-465-7221

STRUCTURAL ENGINEER:
NICHOLAS CARTER
BYKONEN CARTER QUINN
2033 SIXTH AVE #995
SEATTLE, WA 98121
TEL 206-264-7784

GEOTECH:
ROB WARD
GEOTECH CONSULTANTS, INC.
2401 10TH AVE E
SEATTLE, WA 98102
TEL: (425) 747-5618

GENERAL CONTRACTOR:
DYNA CONTRACTING
1537 NW BALLARD WAY 1537 NW
SEATTLE, WA 98107
TEL: (206) 297-6369

BUILDING CODES:
2018 INTERNATIONAL RESIDENTIAL CODE
WASHINGTON STATE ENERGY CODE

LOT SLOPE CALCULATIONS:
HIGHEST POINT OF LOT = 209'
LOWEST POINT OF LOT = 155'
ELEVATION DIFFERENCE = 54'
HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS: 153'-4"
LOT SLOPE = (54/153.3) X 100 = 35%

LOT COVERAGE:
PER 19.02.020.F.3.0 ALLOWABLE LOT COVERAGE FOR LOT WITH 35% SLOPE = 30%

GROSS LOT AREA: 22,167 SQ.FT.
ALLOWABLE COVERAGE = 30% = 6,650

MAIN STRUCTURE ROOF AREA: 1813 SQ.FT.
EXISTING GARAGE: 571 SQ.FT.
EXISTING DRIVEWAY: 3170 SQ.FT.
COVERED PLAYHOUSE: 84 SQ.FT.
PROPOSED GARAGE ADDITION: 276 SQ.FT.

TOTAL: 5914 SQ.FT. OK

HARDSCAPE CALCULATIONS:
GROSS LOT AREA: 22167 SF
NET LOT AREA: 22617 SF
ALLOWED HARDSCAPE AREA : 9% OF LOT AREA = 1995 SF
TOTAL EXISTING HARDSCAPE AREA = 956 SF = 1039 ADD'L ALLOWED

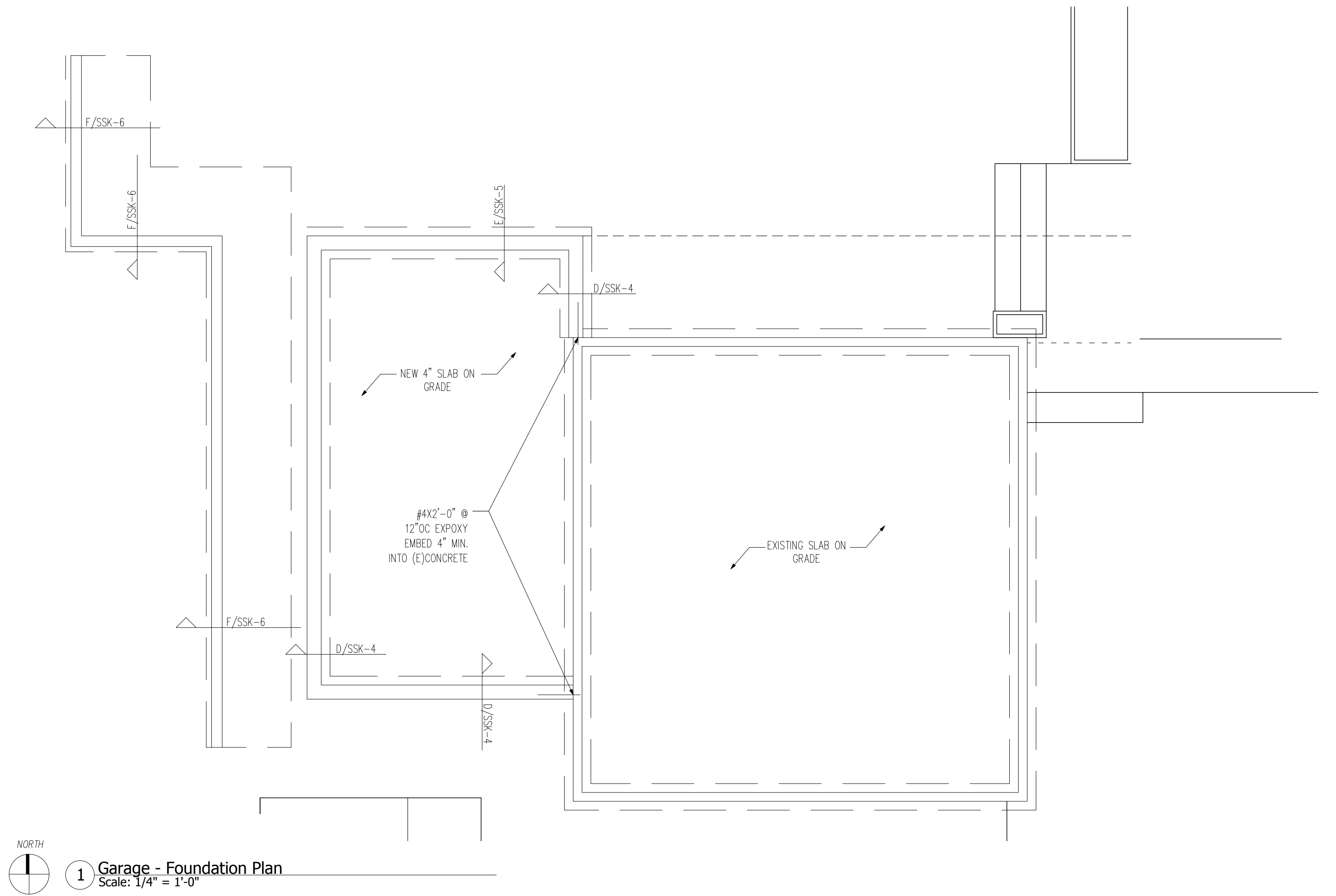
PROPOSED HARDSCAPE:
WALKWAY AROUND GARAGE = 180
NEW RETAINING WALL WEST SIDE OF GARAGE ADDITION = 25 SF
TOTAL NEW HARDSCAPE = 205 SF = OK

GROSS FLOOR AREA CALCULATIONS:
EXISTING AREA:
BASEMENT = 1170 SF
MAIN/FIRST FLOOR = 1330
UPPER FLOOR = 750
GARAGE = 571
PLAYHOUSE = 84
TOTAL = 3821

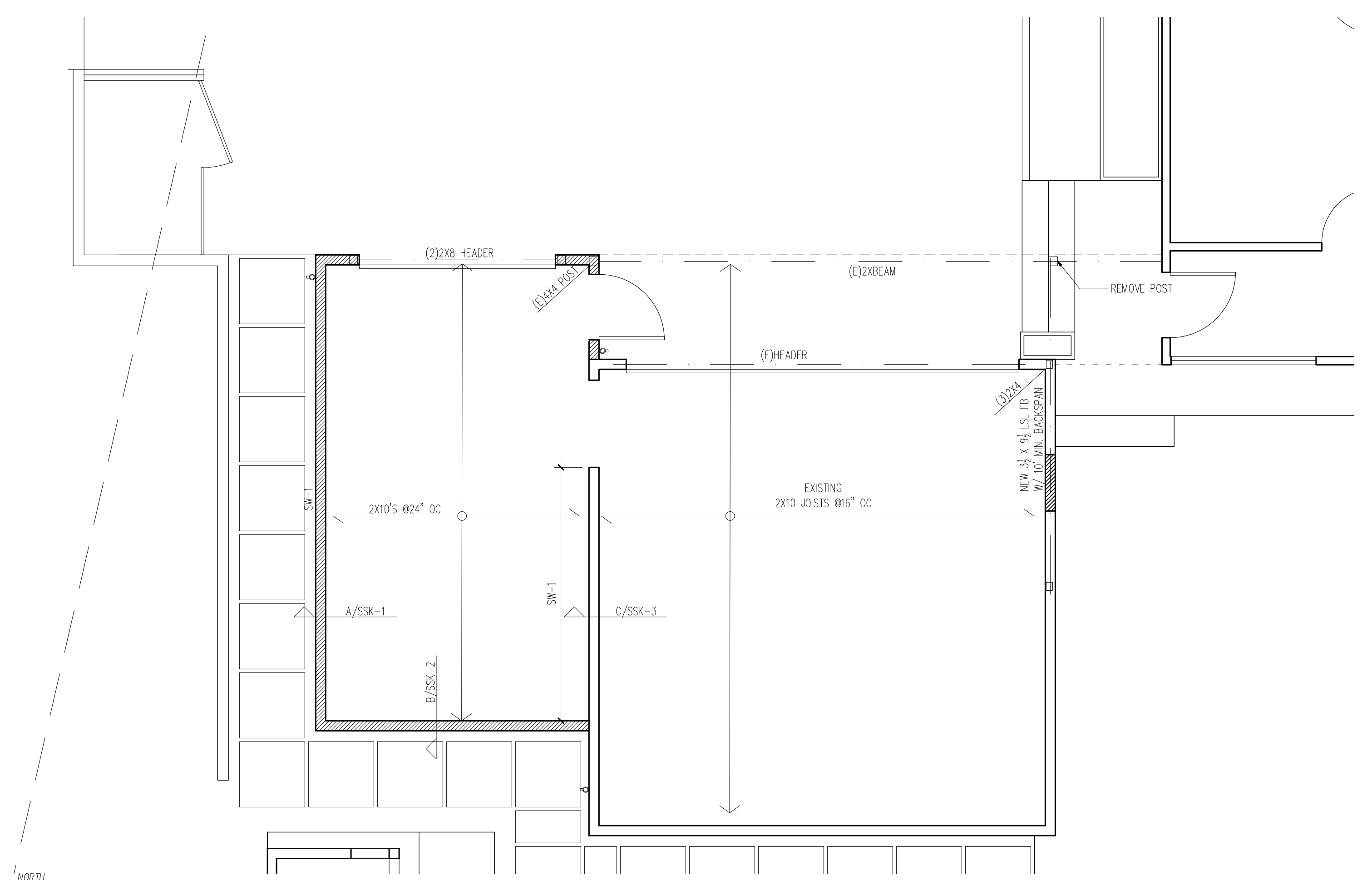
ALLOWED GFA FOR R-15 = 8,867 SF
(12,000SF OR 40% OF LOT (8,867) WHICHEVER IS LESS)

PROPOSED NEW AREA:
GARAGE = 276
TOTAL = 276 SF + 3821 SF = 4097 SF = OK

DRAWING INDEX:
A1 PROJECT INFORMATION, SITE/ROOF PLAN, FLOOR PLAN, ELEVATION
A2 STRUCTURAL PLANS
SURVEY



1 Garage - Foundation Plan
Scale: 1/4" = 1'-0"



2 Garage - Roof Framing Plan
Scale: 1/4" = 1'-0"