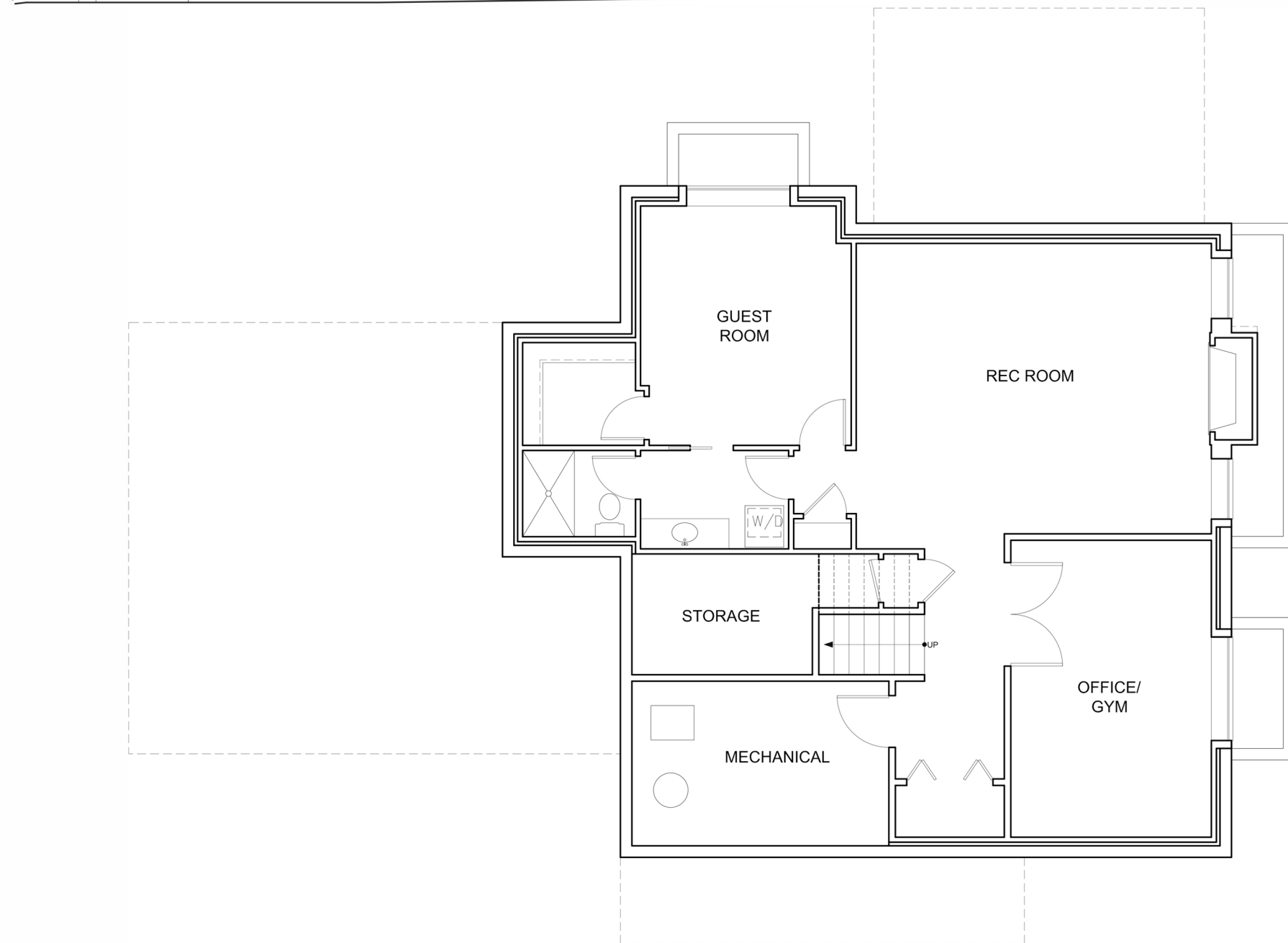


Side Elevation



Rear Elevation



Lower Floor Plan

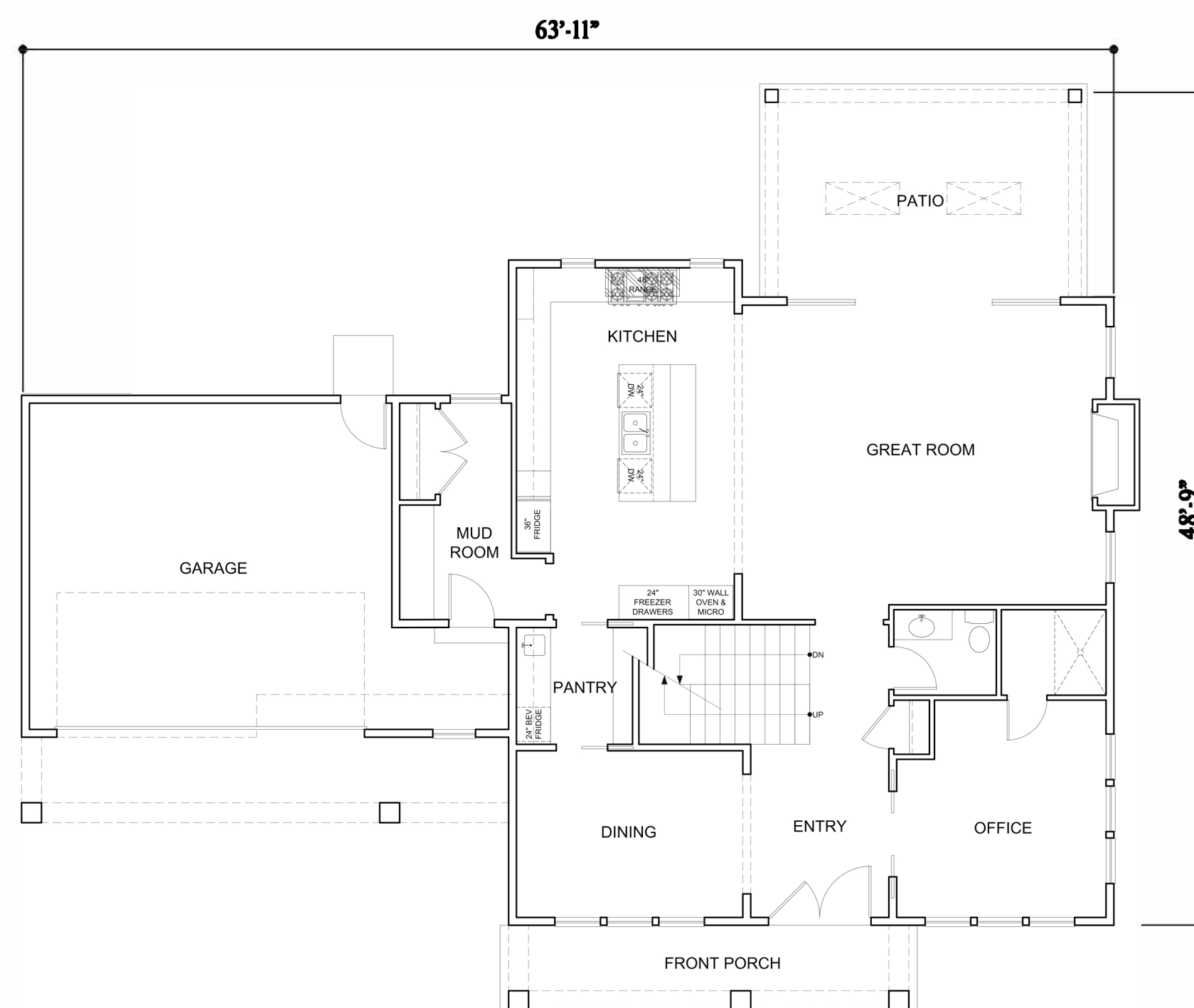


61st Ave Residence

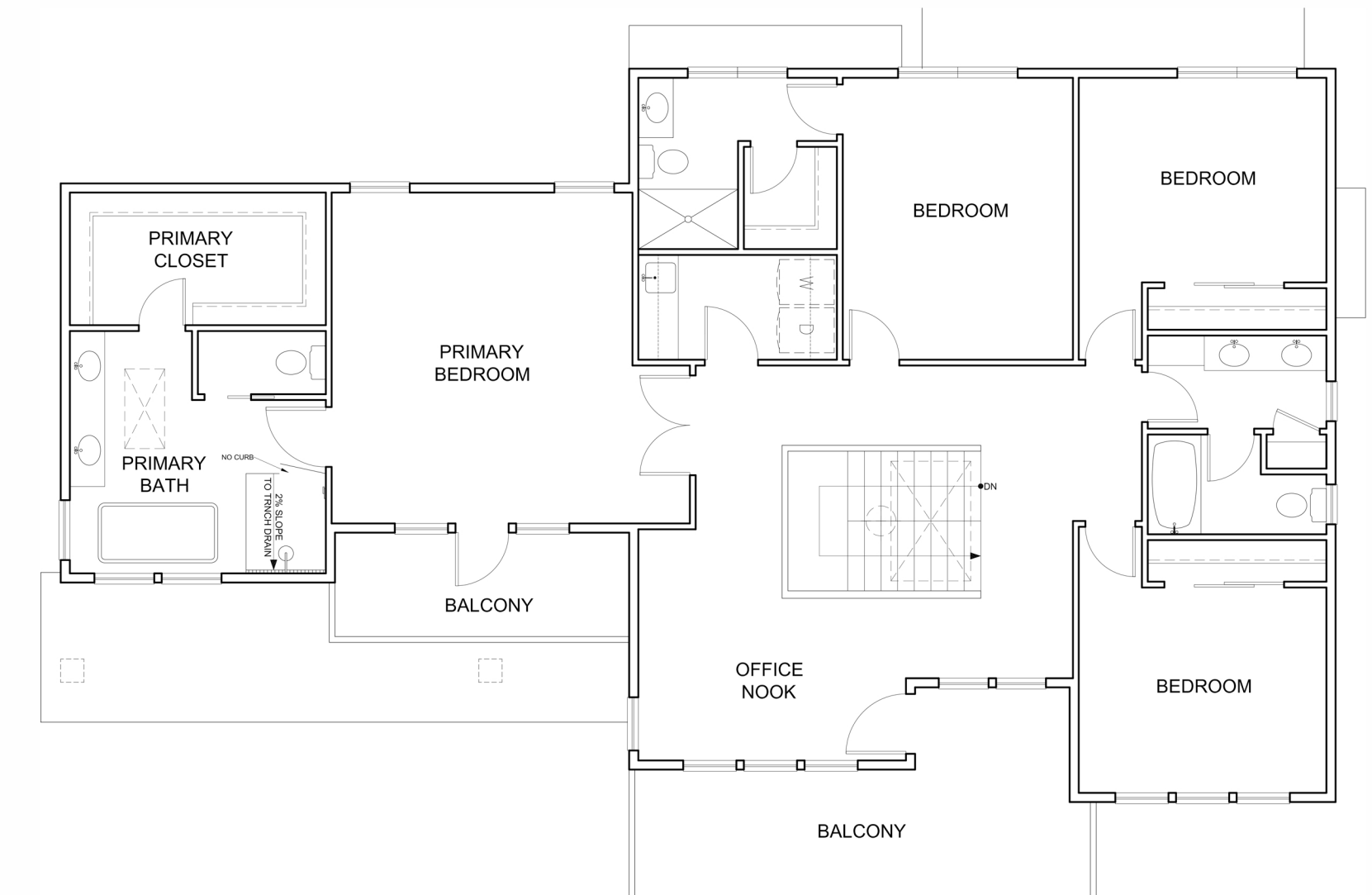
Permit 2201-244

3038 61st Ave SE Mercer Island, Wa 98040

NFPA 13R FIRE SPRINKLER SYSTEM TO BE INSTALLED
NFPA 72 "CHAPTER 29" FIRE ALARM SYSTEM REQUIRED



Main Floor Plan



Upper Floor Plan

SQUARE FOOTAGE

MAIN FLOOR	1410 SF
UPPER FLOOR	1650 SF
LOWER FLOOR	1141 SF
TOTAL	4201 SF
GARAGE	477 SF
STORAGE	177 SF
PORCH/PATIO	117/220 SF
BALCONY	267 SF

DRAWING INDEX

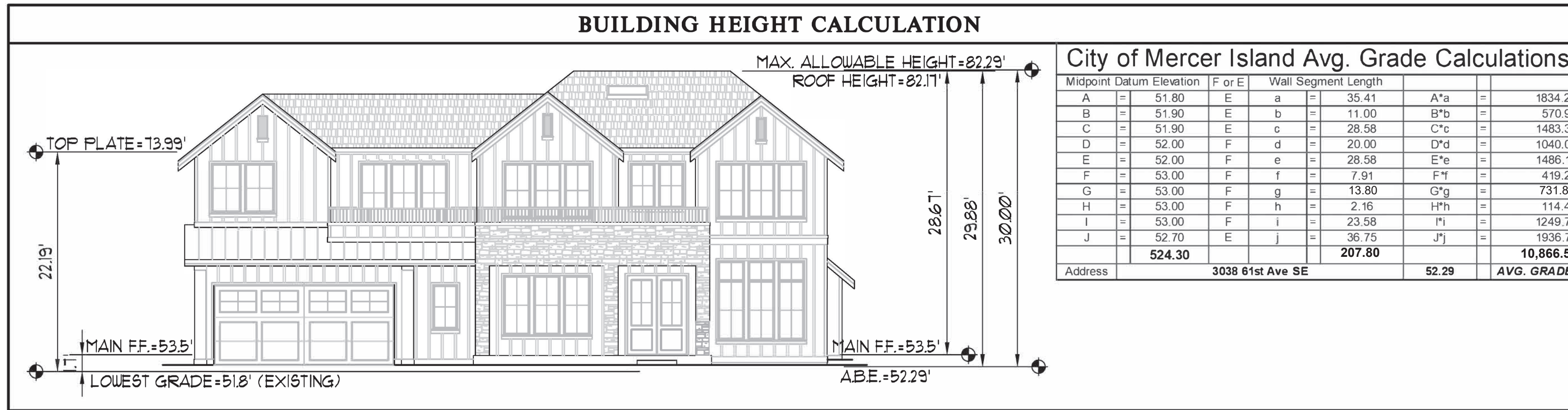
A1. CODE NOTES	D1. STANDARD DETAILS
A1.1. SITE PLAN	S1.0. GENERAL NOTES
C1. TESC PLAN	S2.0. FOUNDATION PLAN
C2. TESC DETAILS	S2.1. MAIN FLOOR FRAMING PLAN
C3. STORM WATER & UTILITY PLASURVEY	S2.2. UPPER FLOOR FRAMING PLAN
A2. LOWER FLOOR PLAN	S2.3. ROOF FRAMING PLAN
A3. MAIN FLOOR PLAN	
A4. UPPER FLOOR PLAN	
A5. ROOF PLAN	
A6. ELEVATIONS	
A7. ELEVATION & BUILDING SECTIONS	
S3.0. CONCRETE DETAILS	
S3.1. CONCRETE DETAILS	
S4.0. FRAMING DETAILS	
S4.1. FRAMING DETAILS	
S4.2. FRAMING DETAILS	
S4.3. FRAMING DETAILS	

Date	By	Description
01/25/22	SM	PERMIT SET
05/19/22	SM	JURISDICTIONAL COMMENTS
04/29/23	CEM	PERMIT REVISION

61st Ave Residence
3038 61st Ave SE Mercer Island, WA 98040

CHRISTINA MERKELBACH DESIGN
206-920-8502
3444 5 Mt Baker Blvd Seattle, WA 98144
christinamerb@christinamerb.com

SHEET
COVER SHEET

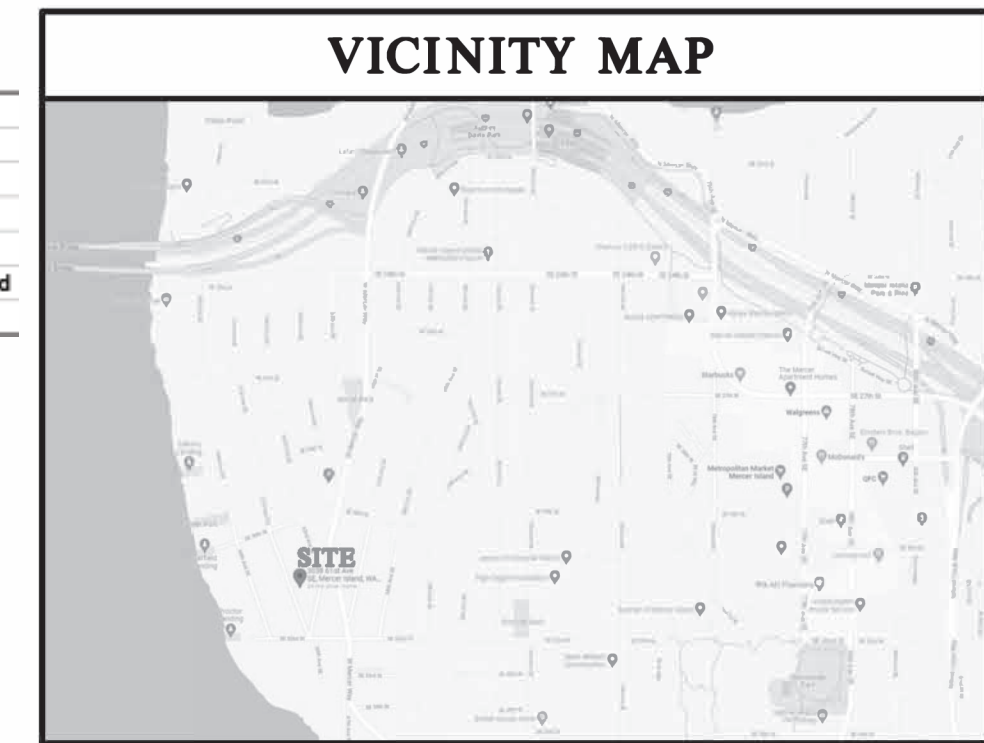


City of Mercer Island Avg. Grade Calculations

Midpoint Datum Elevation	F or E	Wall Segment Length	A*a	
A	51.80	E a	35.41	1834.24
B	51.90	E b	11.00	570.90
C	51.90	E c	28.58	1483.30
D	52.00	F d	20.00	1040.00
E	52.00	F e	28.58	1486.16
F	53.00	F f	7.91	419.23
G	53.00	F g	13.80	731.80
H	53.00	F h	2.16	114.48
I	53.00	F i	23.58	1249.74
J	52.70	E j	36.75	1936.73
			207.80	10,866.58
Address			3038 61st Ave SE	52.29
				AVG. GRADE

City of Mercer Island GFA Calculations

Lower Level Area Calculation				Lot size =	9000 SF	x 40% =	3600 SF
Wall Length	Percentage	Finish or Existing	Result				
A	65.41	98.8%	E	64.6	Main Floor	1414	
b	17.41	98.8%	E	17.2	Garage	477	
c	6.83	99.2%	E	6.8	Upper Floor	1670	(1747 - 68) stairs excluded
d	13.58	100.0%	F	13.6	Lower Floor	8	(1318-1310) below grade excluded
e	6.83	100.0%	F	6.8			
F	7.91	100.0%	F	7.9			
G	11.83	100.0%	F	11.8			
H	2.16	100.0%	F	2.2			
I	23.58	100.0%	F	23.6			
J	36.75	99.8%	E	36.7			
			192.29				
Total Average Result			1.0				
Excluded Area							
1318			0.9941652				
1310			30969				



SITE INFO

STREET ADDRESSES:
3038 61st Ave SE, Mercer Island, WA 98040

PARCEL NUMBER:
217450-0395

LEGAL DESCRIPTION:
LOTS 7, 8, AND 9, BLOCK 3, EAST SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 3 OF PLATS, PAGES 22-23, IN KING COUNTY, WASHINGTON.

ZONING

ZONING: R-84
SINGLE FAMILY RESIDENTIAL SETBACKS:
FRONT YARD - 20'
REAR YARD - 25'
SIDE YARD - 15' COMBINED

LOT COVERAGE:
40% - LOT SLOPE IS LESS THAN 15%

REQUIRED LANDSCAPE AREA:
60% - LOT SLOPE IS LESS THAN 15%

HARDSCAPE COVERAGE:
9%

ALLOWED GFA:
40%

ALLOWABLE BUILDING HEIGHT:
30' ABOVE AVERAGE BUILDING ELEVATION TO TOP OF STRUCTURE
30' ABOVE LOWEST GRADE TO TOP OF WALL

SITE CALCULATIONS

LOT AREA	
9,000 SF	GROSS LOT AREA
9,000 SF	LOT AREA
x 40%	ALLOWABLE IMPERVIOUS COVERAGE
3,600 SF	
2,300 SF	HOUSE ROOF (includes gutters)
419 SF	COVERED PATIO & PORCH (includes gutters)
693 SF	DRIVEWAY (excludes area under eaves)
3,412 SF / 37.9%	TOTAL COVERAGE
HARDSCAPE COVERAGE CALCULATION	
9,000 SF	LOT AREA
x .9%	
810 SF	ALLOWABLE HARDSCAPE COVERAGE
95 SF	FRONT WALK (excludes portion u/ eaves)
46 SF	WINDOW WELLS (excludes portion u/ eaves)
9 SF	STOOP & A/C PAD (excludes portion u/ eaves)
150 SF / 1.7%	TOTAL HARDSCAPE COVERAGE

LEGEND

- WATER --- DESIGNATES WATER
- SEWER --- DESIGNATES SEWER
- STORM --- DESIGNATES STORM
- EXISTING GRADE --- DESIGNATES EXISTING GRADE
- FINISHED GRADE --- DESIGNATES FINISHED GRADE
- TREE DRIFLINE --- DESIGNATES TREE DRIFLINE
- FENCING --- DESIGNATES TREE FENCING
- EXISTING WOOD FENCE --- DESIGNATES EXISTING WOOD FENCE
- TO BE REMOVED --- EXISTING FENCE TO BE REMOVED

DEMO EXISTING STRUCTURES AND HARDSCAPE

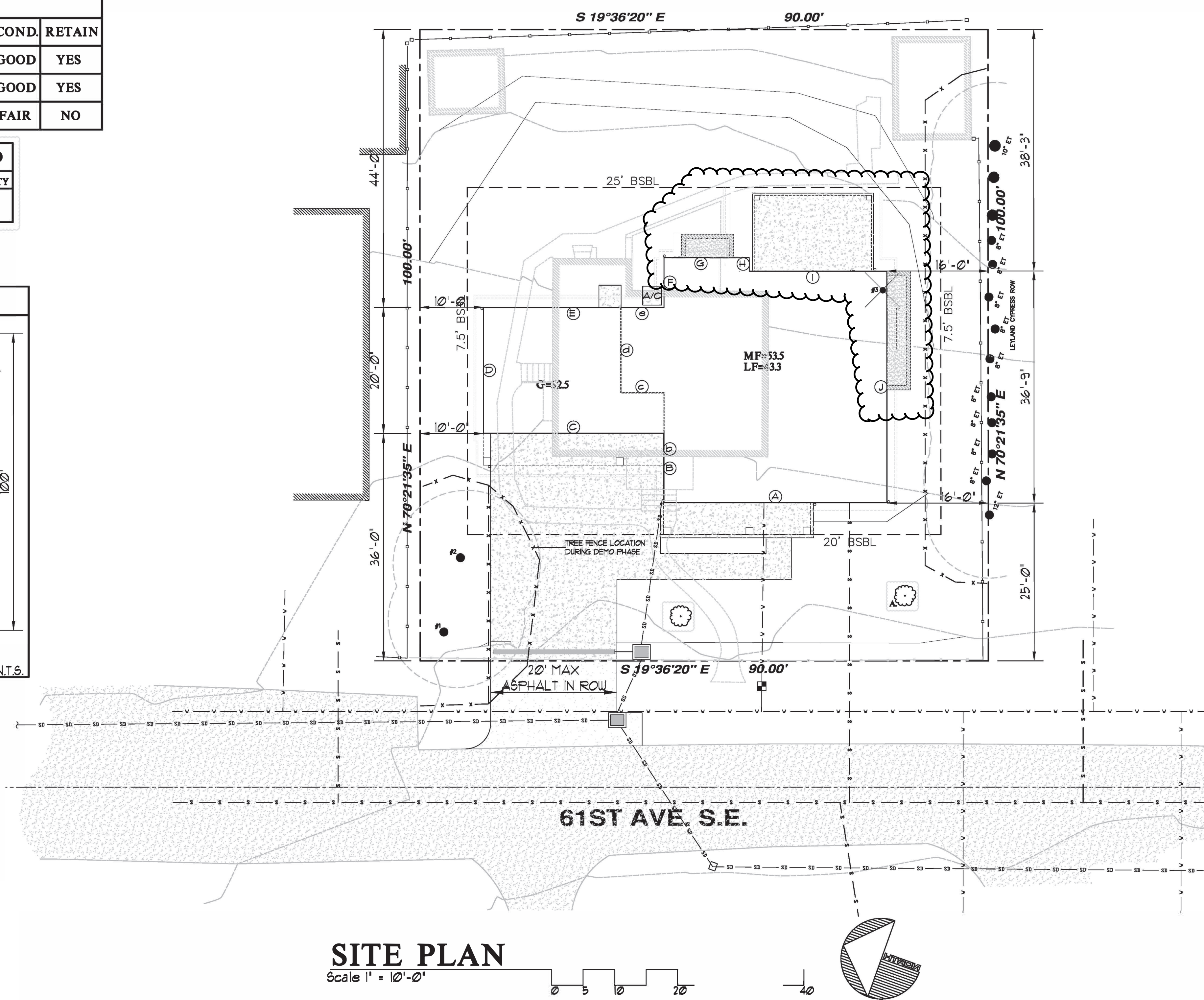
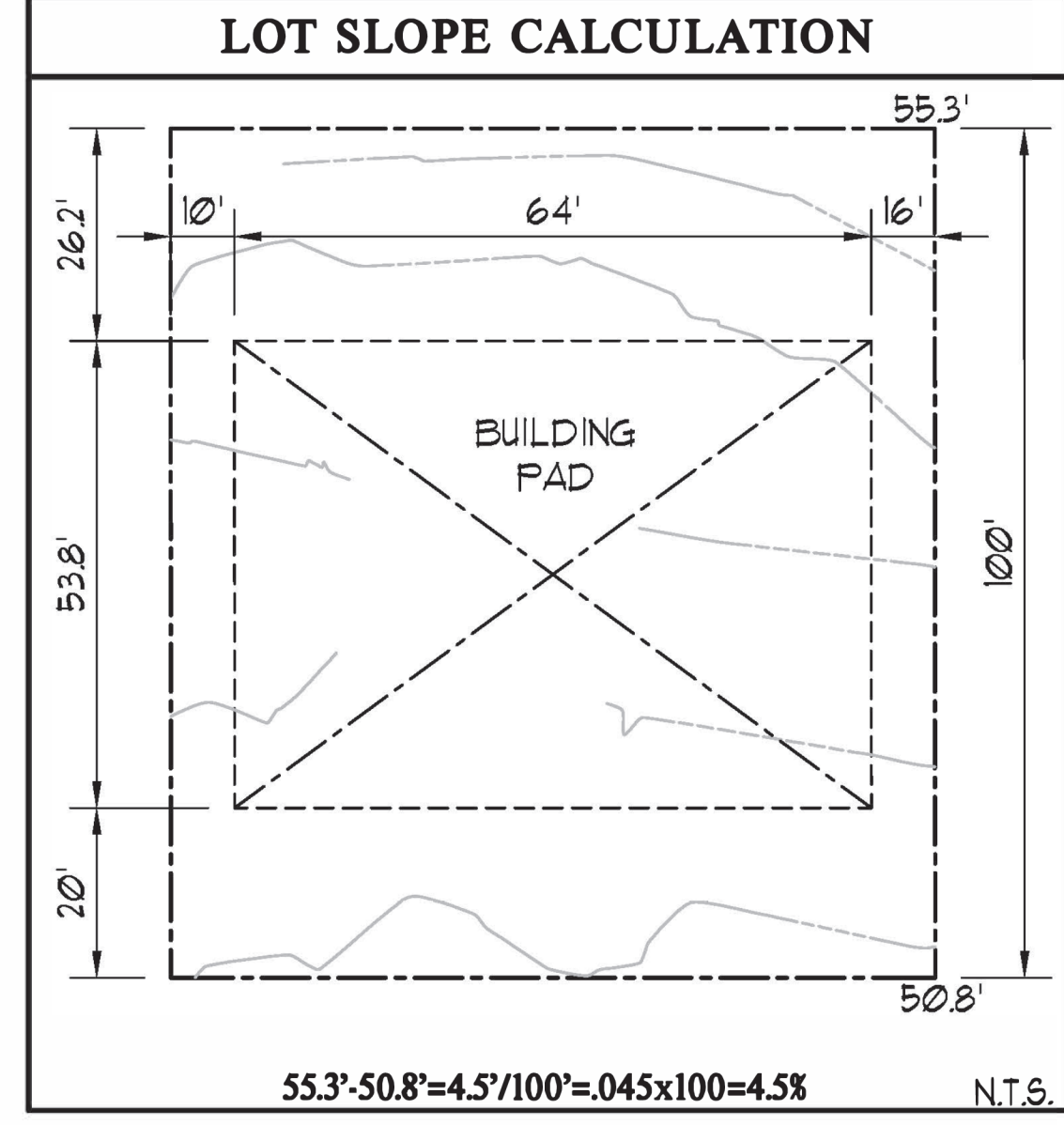
SEE ADDITIONAL STORM & UTILITY PLAN

TREE RETENTION SCHEDULE

#	TREE SPECIES	SCIENTIFIC NAME	DBH	COND.	RETAIN
1.	HONEY LOCUST CV	GLEDITSIA TRIACANTHOS	6,4(7)	GOOD	YES
2.	CORKSCREW WILLOW CV	SALIX MATSUDANA	7,7,4(11)	GOOD	YES
3.	PLUM	PRUNUS AMENCANA MARSH	7,7(10)	FAIR	NO

REPLACEMENT TREE LEGEND

DESIGNATION	SPECIES	QUANTITY
A	DOUGLAS FIR (6' tall)	3



Date	By	Description
07/25/22	SM	PERMIT SET
07/25/22	SM	FINAL COMMENTS
04/28/23	CEAT	PERMIT REVISION

61st Ave Residence

3038 61st Ave SE Mercer Island, WA 98040

CHRISTINA MERKELBACH DESIGN

206-920-8502

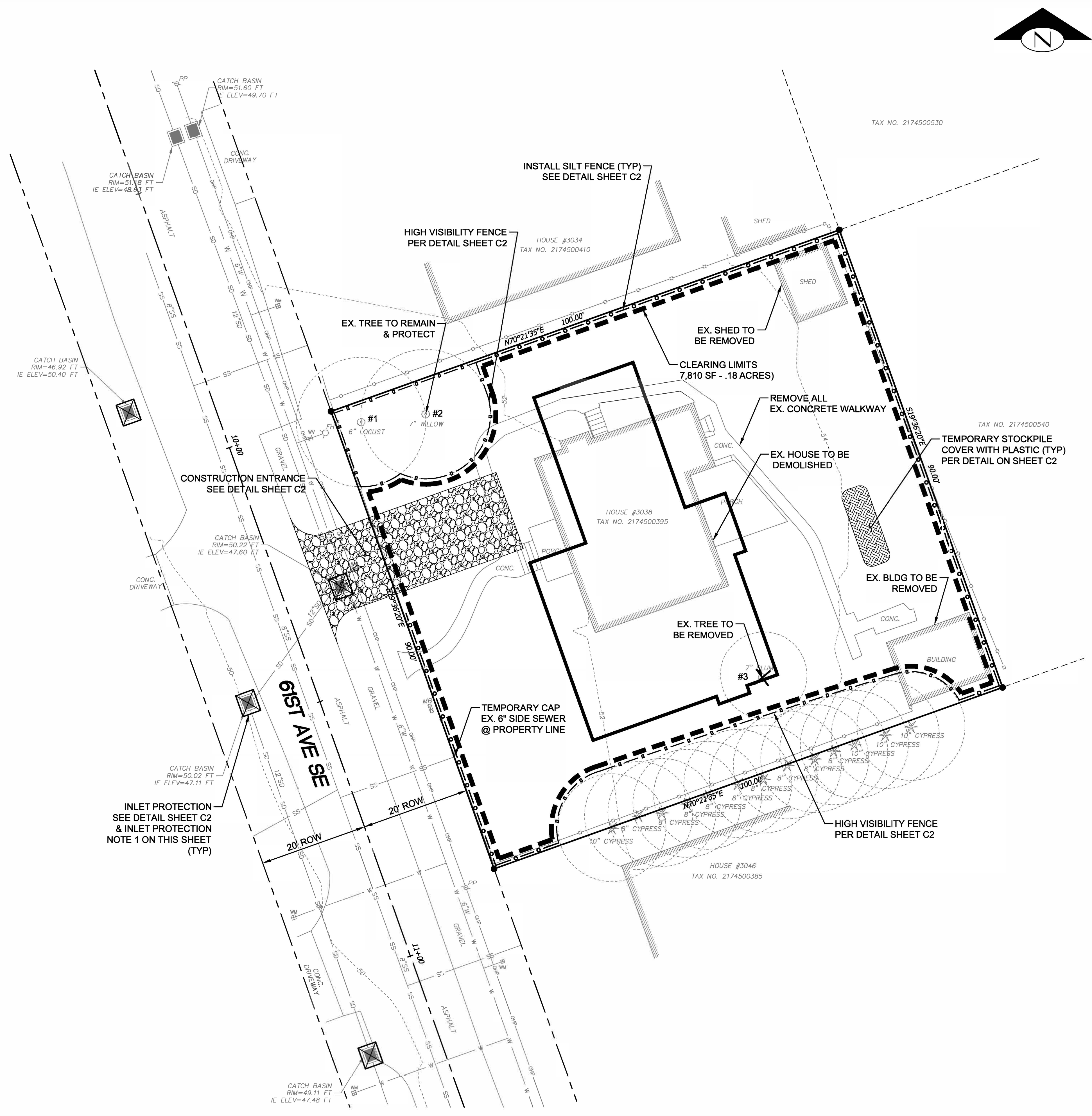
3444 S Mt Baker Blvd
Seattle, WA 98144

christinamerkb@christinamerkb.com

SHEET

A1.1

May 18, 2022 2:31pm Han Pham L:\Working\21635 - 3038 61st Ave SE (Jabooda Homes)\CADD\Drawings\21635-PS-C1.dwg Layout Name: C1



TREE INVENTORY:

#1 - 6"	HONEY LOCUST (GLEDITSIA TRIACANTHOS)	REGULATED-YES
#2 - 7"	CORKSCREW WILLOW (SALIX MATSUDANA)	REGULATED-YES
#3 - 7"	PLUM (PRUNUS AMERICANA MARSH.)	REGULATED-NO

STABILIZE SOILS:

TEMPORARY COVER MEASURES SHALL BE PROVIDED WHEN NECESSARY TO PROTECT DISTURBED AREAS. THE INTENT OF THESE MEASURES IS TO PREVENT EROSION BY HAVING AS MUCH AREA AS POSSIBLE COVERED DURING ANY PERIOD OF PRECIPITATION. TOPSOIL LAYERS SHALL BE RETAINED AND PROTECTED TO THE MAXIMUM EXTENT FEASIBLE. ANY TOPSOIL THAT IS STOCKPILED ONSITE SHALL BE COVERED TO PREVENT EROSION AND SATURATION, AND SHALL BE REUSED IN LANDSCAPED AREAS UPON COMPLETION OF THE GROUND DISTURBING ACTIVITIES. TEMPORARY COVER SHALL BE INSTALLED IF AN AREA IS TO REMAIN UNWORKED FOR MORE THAN 7 DAYS DURING THE DRY SEASON (MAY 1 TO SEPTEMBER 30) OR FOR MORE THAN TWO CONSECUTIVE WORKING DAYS DURING THE WET SEASON (OCTOBER 1 TO APRIL 30). COVER METHODS INCLUDE THE USE OF SURFACE ROUGHENING, MULCH, EROSION CONTROL NETS AND BLANKETS, PLASTIC COVERING, SEEDING, AND SODDING. MULCH AND PLASTIC SHEETING ARE PRIMARILY INTENDED TO PROTECT DISTURBED AREAS FOR A SHORT PERIOD OF TIME, TYPICALLY DAYS TO A FEW MONTHS. SEEDING AND SODDING ARE MEASURES FOR AREAS THAT ARE TO REMAIN UNWORKED FOR MONTHS. EROSION NETS AND BLANKETS ARE TO BE USED IN CONJUNCTION WITH SEEDING STEEP SLOPES

GENERAL NOTE:

1. LAND CLEARING, GRADING, FILLING, AND FOUNDATION WORK ARE NOT PERMITTED BETWEEN OCTOBER 1ST AND APRIL 1ST. ANY WORK THAT IS PROPOSED DURING THE WET SEASON MUST SUBMIT A SEASONAL DEVELOPMENT LIMITATION WAIVER FOR APPROVAL BY THE BUILDING OFFICIAL

PROJECT ENGINEER'S CERTIFICATION:

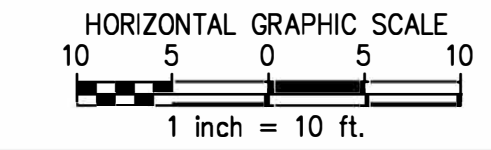
I HEREBY STATE THAT THIS CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN FOR JABOODA HOMES RESIDENCE HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND MEETS THE STANDARD OF CARE AND EXPERTISE WHICH IS USUAL AND CUSTOMARY IN THIS COMMUNITY OF PROFESSIONAL ENGINEERS. I UNDERSTAND THAT THE CITY OF MERCER ISLAND DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE SUFFICIENCY, SUITABILITY, OR PERFORMANCE OF CONSTRUCTION SWPPP Bmps PREPARED BY ME.

INLET PROTECTION NOTE:

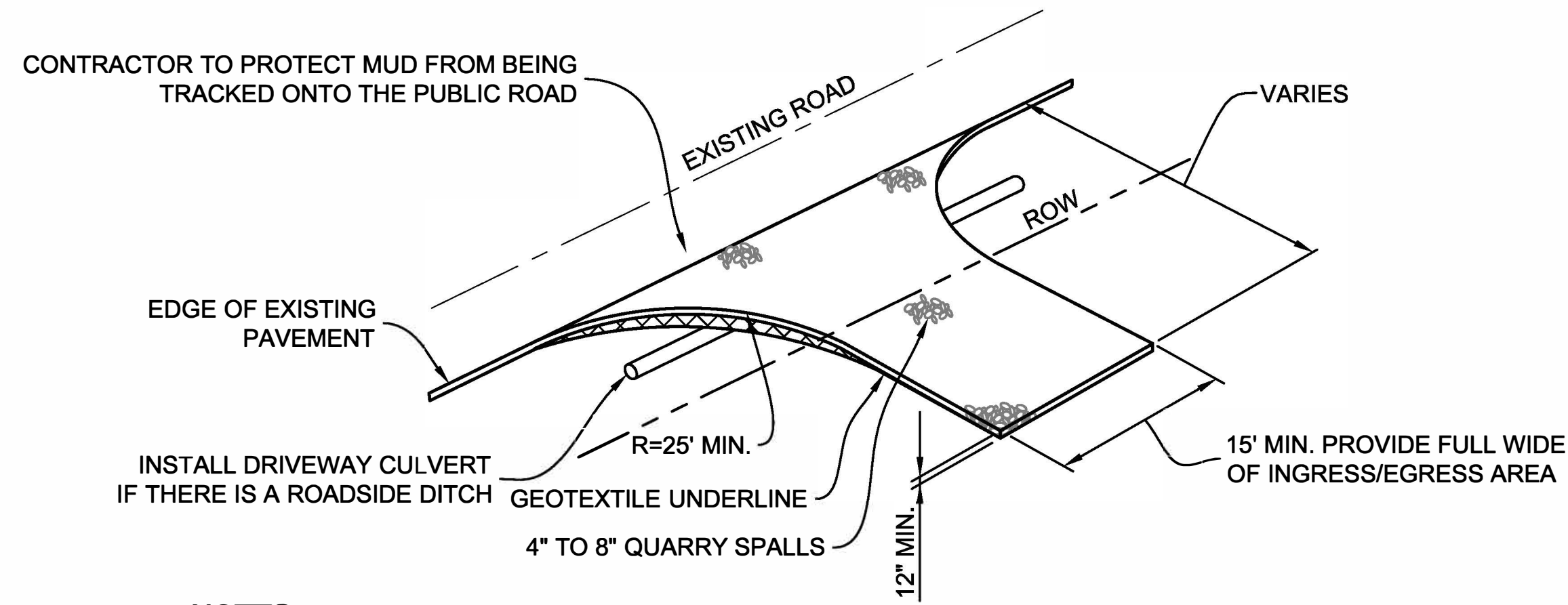
1. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL CATCH BASINS DOWNSTREAM WITHIN 50'

LEGEND

- PROPERTY LINE
- - - - - ADJACENT PROPERTY LINE
- - - - - RIGHT OF WAY LINE
- - - - - RIGHT OF WAY CENTERLINE
- ▭ PROPOSED STRUCTURE



REFERENCE SHEET NO.	C1	SHEET	1
		OF	3
		SHEETS	
JABOODA HOMES RESIDENCE 3038 61ST AVE SE MERCER ISLAND, WA 98040 TREE PROTECTION PLAN TESS PLAN			
PBC Land Development and Civil Engineering Consultants 5130 South 166th Lane Seattle, WA 98188 T (206) 229-6422			
ISSUE DATE	5-18-2022	DESIGNED BY:	L. PHAN
JOB NO.	R21635	DRAWN BY:	L. PHAN
REVISION DESCRIPTION		CHECKED BY:	H.H. PHAN
BY		PROJ. MNGR:	H.H. PHAN
DATE			



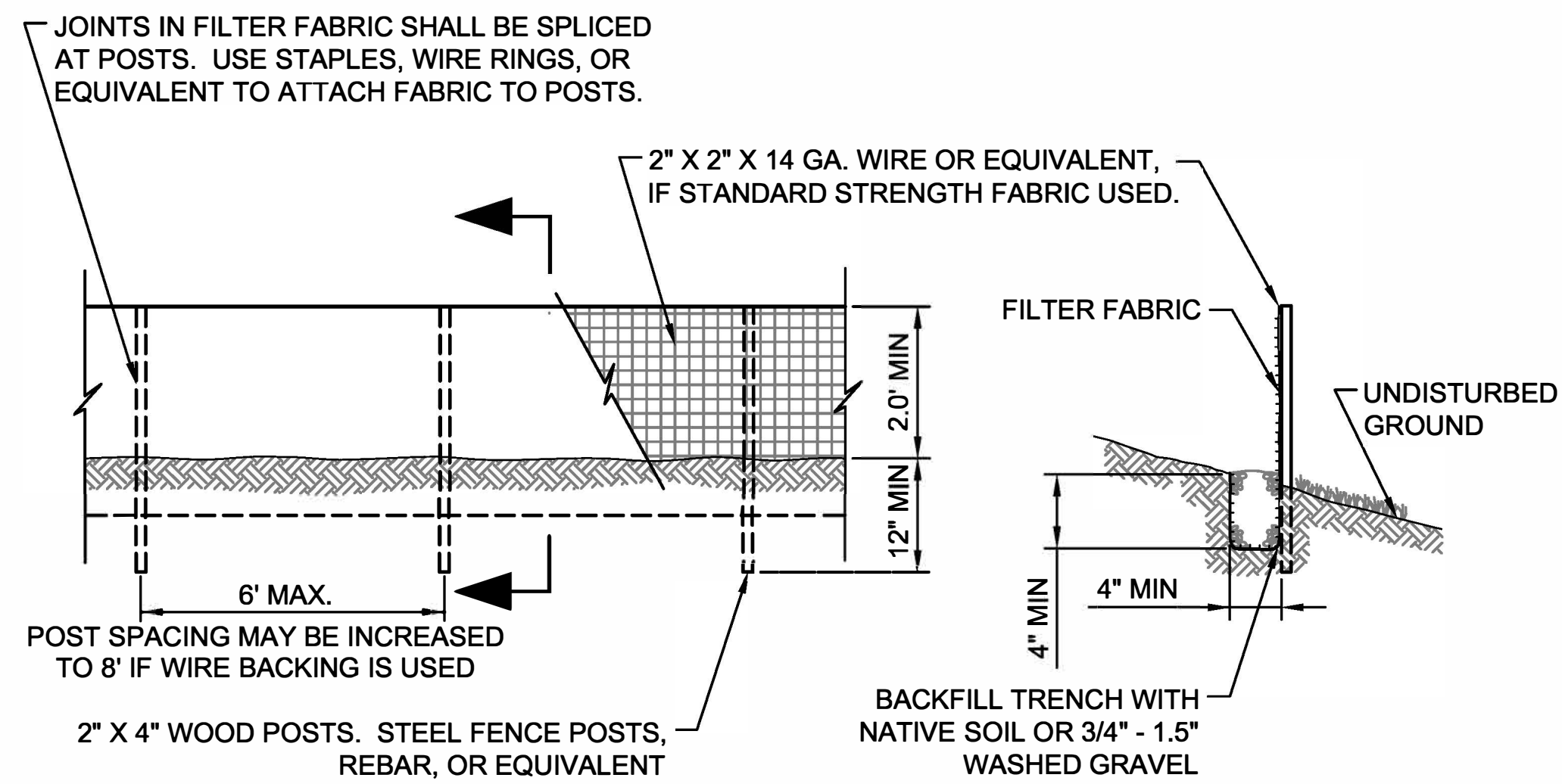
NOTES:

DRIVEWAYS SHALL BE PAVED TO THE EDGE OF RIGHT-OF-WAY PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO AVOID DAMAGING OF THE ROADWAY.

IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE ROAD.

CONSTRUCTION ENTRANCE DETAIL

SCALE: NONE

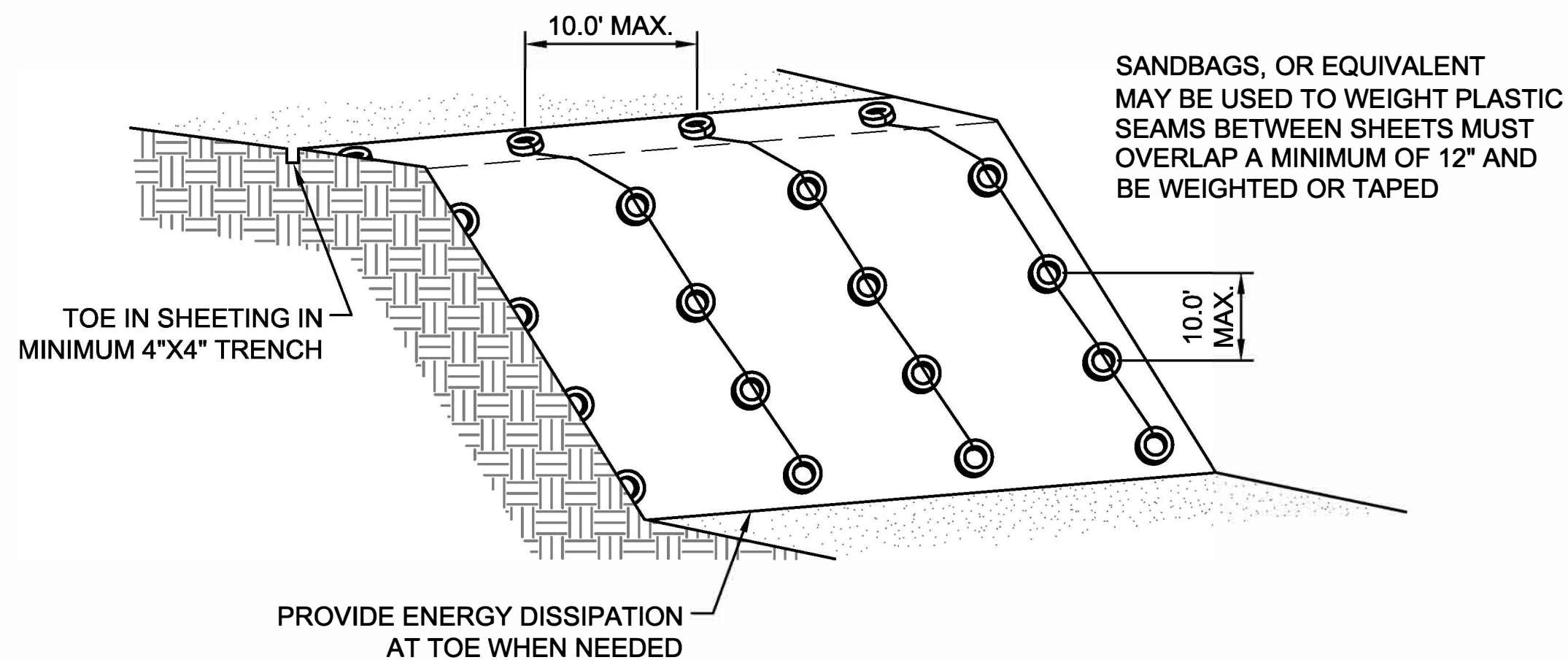


NOTES:

FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.

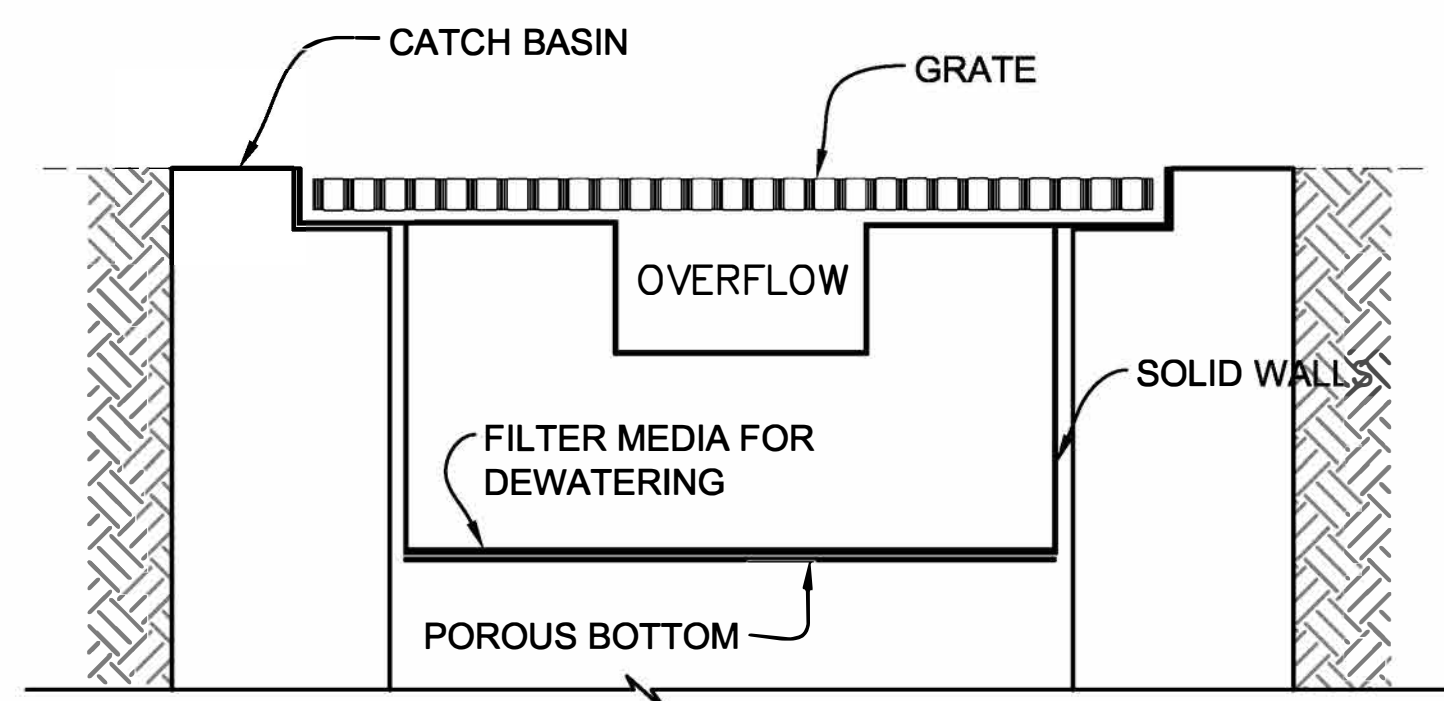
SILT FENCE DETAIL

SCALE: NONE



PLASTIC COVERING DETAIL

SCALE: NONE

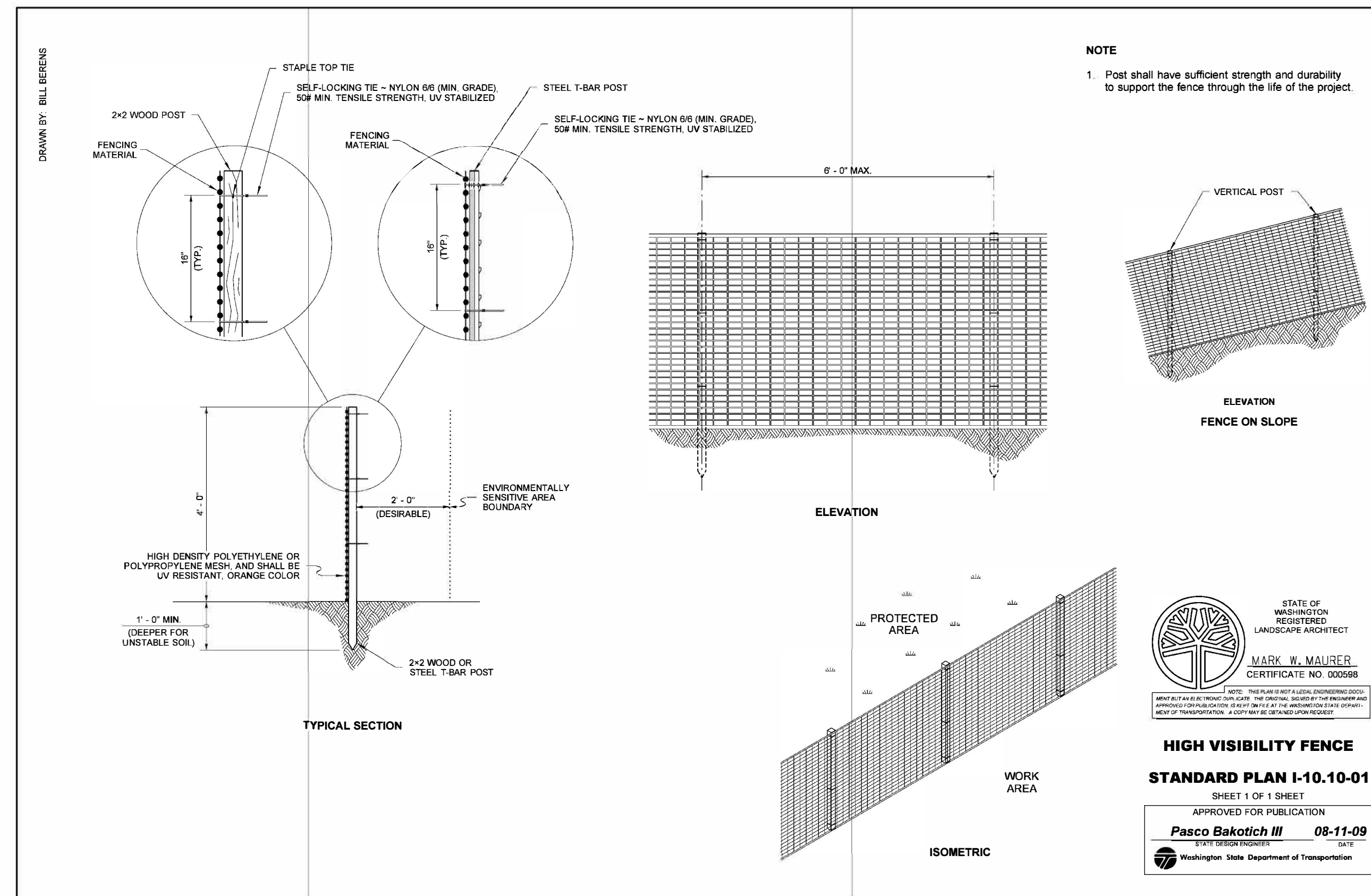


NOTES:

THIS DETAIL IS ONLY SCHEMATIC. ANY INSERT IS ALLOWED THAT HAS A MIN. 0.5 CUBIC FEET OF STORAGE WITH THE MEANS TO DEWATER THE STORED SEDIMENT, PROVIDE AN OVERFLOW, AND CAN BE EASILY MAINTAINED.

INLET PROTECTION DETAIL

SCALE: NONE



NOTE

1. Post shall have sufficient strength and durability to support the fence through the life of the project.



HIGH VISIBILITY FENCE

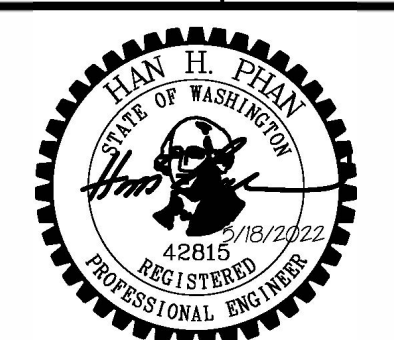
STANDARD PLAN 1-10.10-01
SHEET 1 OF 1 SHEET

APPROVED FOR PUBLICATION
Pasco Bakotich III 08-11-09
DATE
Washington State Department of Transportation

REFERENCE SHEET NO. **Q2**
SHEET 2 OF 3 SHEETS

JABOODA HOMES RESIDENCE
3038 61ST AVE SE
MERCER ISLAND, WA 98040

TESC DETAILS



PBC
Land Development and Civil Engineering Consultants
5130 South 166th Lane
Seattle, WA 98188
T (206) 229-6422

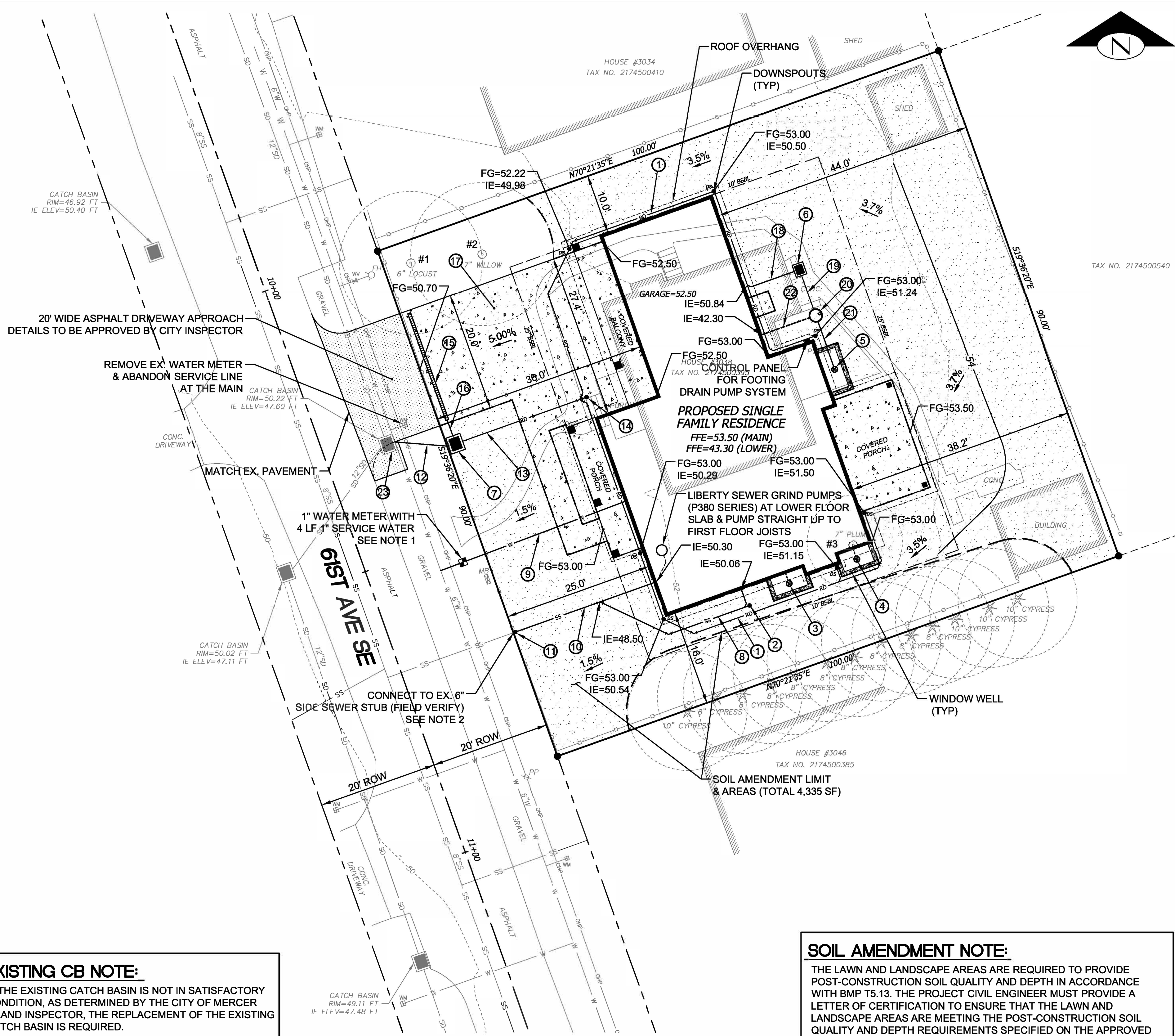
ISSUE DATE	5-18-2022
DESIGNED BY:	L. PHAN
DRAWN BY:	L. PHAN
CHECKED BY:	H. H. PHAN
PROJ. MGR:	H. H. PHAN

NO.	DATE	BY	REVISION DESCRIPTION



May 18, 2022 - 2:33pm Han Phan L:\Working\R21635 - 3038 61st Ave SE (Jabooda Homes)\CADD\Drawings\R21635-PS-C2.dwg Layout Name: C2

May 18, 2022 - 2:37pm Han Pham L:\Working\R21635 - 3038 61st Ave SE (Jabooda Homes)\CAD\Drawings\R21635-P5-C3.dwg Layout Name: C3



EXISTING CB NOTE:
IF THE EXISTING CATCH BASIN IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING CATCH BASIN IS REQUIRED.

NOTES:

- NEW WATER METER LOCATE 25' SOUTH OF EXISTING WATER METER AND 4' WEST OF PROPERTY LINE. CONTRACTOR TO FIELD VERIFY THE EXISTING STORM DRAIN LINE AND COORDINATE WITH CITY WATER DEPARTMENT DURING CONSTRUCTION.
- THE TV INSPECTOR OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN ON 61ST AVE SE IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.

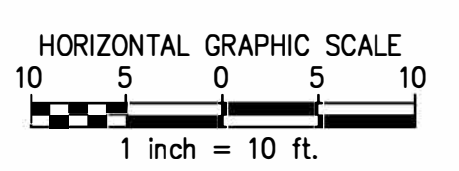
A BACKUP GENERATOR IS REQUIRED FOR THE FOOTING DRAIN PUMP SYSTEM

PRIVATE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY AND ALL CLAIMS FOR INJURIES AND DAMAGE DUE TO THE OPERATION OR NON-OPERATION OF THE PUMP SYSTEM

SOIL AMENDMENT NOTE:
THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.



Know what's below. Call before you dig.



LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- RIGHT OF WAY LINE
- RIGHT OF WAY CENTERLINE
- - - OVERHANG / EAVE
- [Solid black box] PROPOSED STRUCTURE
- [Stippled box] SOIL AMENDMENT AREA
- [Dotted box] CEMENT CONCRETE PAVEMENT

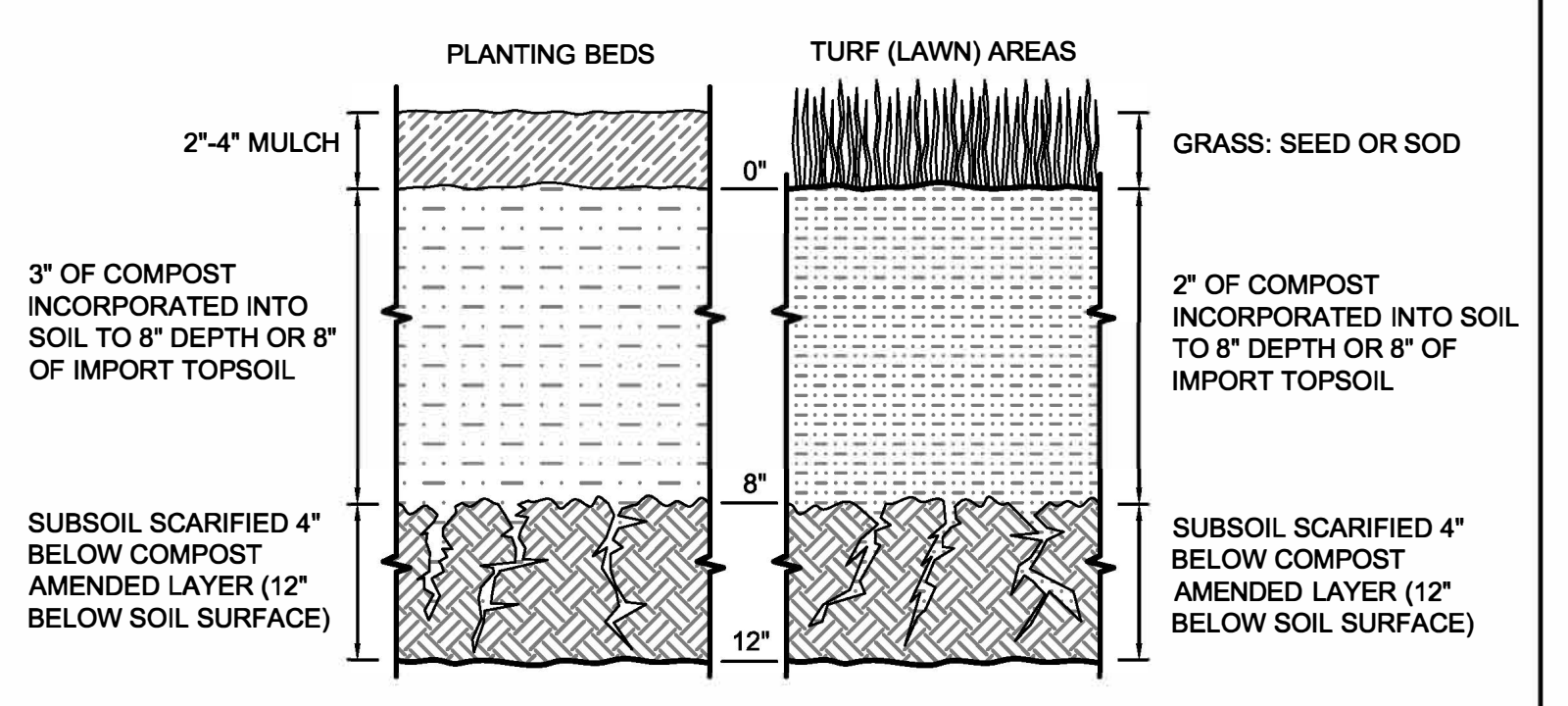
CONSTRUCTION NOTES:

- 83 LF 4" SDR 35 PVC ROOF DRAIN @ 2.00%
- 4" SSC0 #2 IE=50.00
- AREA DRAIN #1 12" ROUND BASIN (HANDOR NYLOPLAST) WITH DOME GRATE RIM=50.50 IE (N)=48.50 WITH 4" SDR 35 PVC SD CONNECT TO FOOTING DRAIN
- AREA DRAIN #2 12" ROUND BASIN (HANDOR NYLOPLAST) WITH DOME GRATE RIM=50.50 IE (N)=48.50 WITH 4" SDR 35 PVC SD CONNECT TO FOOTING DRAIN
- AREA DRAIN #3 12" ROUND BASIN (HANDOR NYLOPLAST) WITH DOME GRATE RIM=46.50 IE (N)=44.50
- CB #2-TYPE 40 WITH SOLID LID RIM=52.40 IE (S)=51.50 IE (W)=51.00
- CB #1-TYPE 1 WITH SOLID LID & OIL SEPARATOR (RISER TEE) RIM=50.40 IE (NW)=47.90 IE (N)=48.00 IE (E)=48.10
- 30 LF 4" SDR 35 PVC GRAVITY SIDE SEWER @ 5.00%
- 28 LF 1 1/2" WATER SERVICE LINE (POLYETHYLENE PIPE SDR 7)
- 24 LF 4" SDR 35 PVC GRAVITY SIDE SEWER @ 20.00%
- 8" SSC0 #1 IE=45.50 (FIELD VERIFY)
- 9 LF 6" DI SD @ 2.00%
- 22 LF 4" SDR 35 PVC ROOF DRAIN COLLECTOR @ 2.00%
- 4" SDCO #1 RIM=51.93 IE=48.54
- 19' LONG x 5" WIDE SLOTTED DRAIN (DURA) H2O RATED TRAFFIC LID RIM=50.25 IE=49.84
- 3 LF 4" DI SD @ 58.00%
- 4" CEMENT CONC. PAVEMENT
- 8 LF 4" SDR 35 PVC SD @ 2.00% CONNECT TO 4" ROOF DRAIN
- 6 LF 2" SDFM SCHEDULE 80
- 2" DIA. ROUND PVC PUMP BASIN WITH 0.5 HP SUBMERSIBLE MODEL PE51 PUMP (GOULDS WATER TECHNOLOGY) WITH CHECK VALVE IN PUMP BASIN RIM=52.40 IE (W)=42.13 IE (S)=42.23 IE (N)=43.23
- 8 LF 4" SDR 35 PVC @ 28.40%
- 9 LF 4" SOLID SDR 35 PVC FOOTING DRAIN COLLECTOR @ 2.00%
- EX. CB (SEE EX. CB NOTE) EX. RIM=50.22 EX. IE (N, SW)=47.60 NEW IE (SE)=47.72

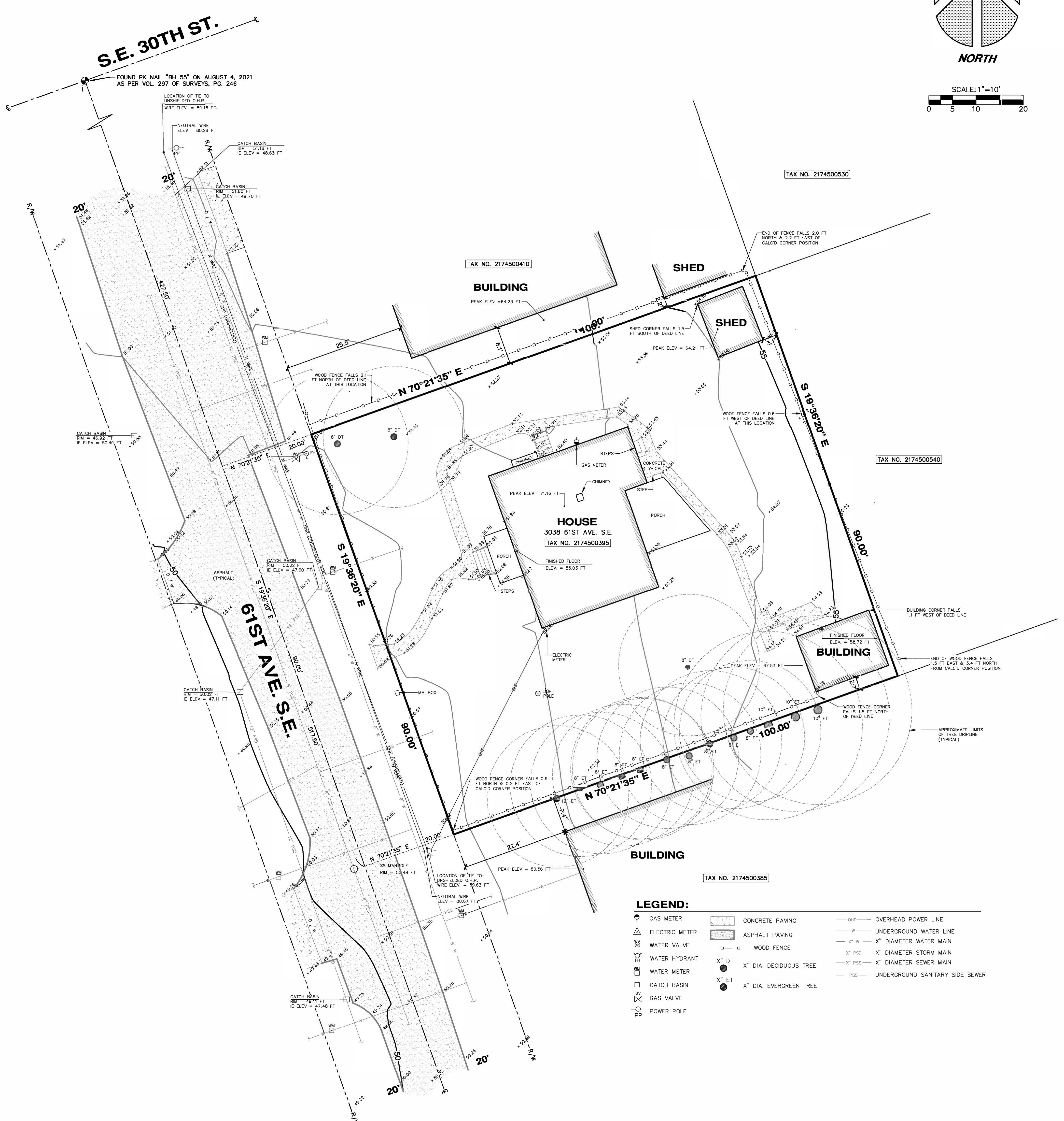
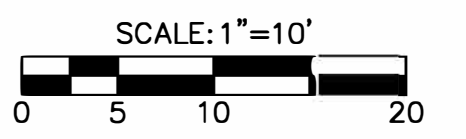
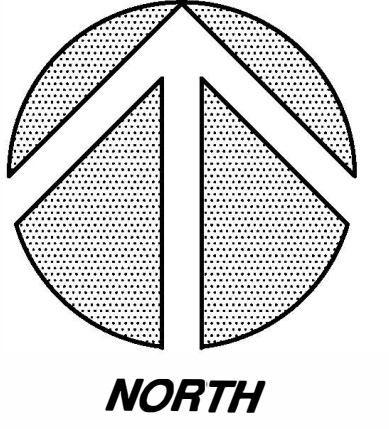
ESTIMATED COMPOST REQUIRED FOR SOIL AMENDMENT

3,475 (SQUARE FEET) X 0.0062 *** = 22 (CUBIC YARDS)
DISTURBED AREA REQUIRING AMENDMENT REQUIRED COMPOST

SOIL AMENDMENT *** 2 INCH LAYER OF COMPOST (FT/12 INCH) X (CY/27 CF) = 0.0062



REFERENCE SHEET NO.	3	SHEET	3
		OF	3
		SHEETS	
JABOODA HOMES RESIDENCE 3038 61ST AVE SE MERCER ISLAND, WA 98040 STORMWATER / UTILITY PLAN AND DETAILS			
PBC Land Development and Civil Engineering Consultants 5130 South 166th Lane Seattle, WA 98148 T (206) 229-6422			
ISSUE DATE	5-18-2022	DESIGNED BY:	L. PHAN
JOB NO.	R21635	DRAWN BY:	L. PHAN
		CHECKED BY:	H. H. PHAN
		PROJ. MGR:	H. H. PHAN
NO.	DATE	BY	REVISION DESCRIPTION



LEGEND:

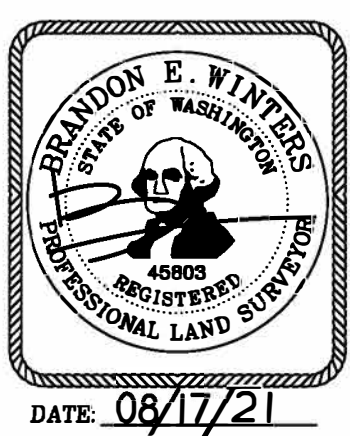
- | | | | | | |
|--|----------------|--|-----------------|--|---------------------------------|
| | GAS METER | | CONCRETE PAVING | | OVERHEAD POWER LINE |
| | ELECTRIC METER | | ASPHALT PAVING | | UNDERGROUND WATER LINE |
| | WATER VALVE | | WOOD FENCE | | X" DIAMETER WATER MAIN |
| | WATER HYDRANT | | X" DT | | X" DIAMETER STORM MAIN |
| | WATER METER | | X" ET | | X" DIAMETER SEWER MAIN |
| | CATCH BASIN | | | | UNDERGROUND SANITARY SIDE SEWER |
| | GAS VALVE | | | | |
| | POWER POLE | | | | |

NOTES

- THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 10 SECOND "TOTAL STATION" THEODOLITE SUPPLEMENTED WITH A 100 FT. STEEL TAPE. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-130-090.
- CONTOUR INTERVAL = 1 FT.
- VERTICAL DATUM = NAVD'88, AS PER DIRECT OBSERVATIONS USING GPS EQUIPMENT ON AUGUST 4, 2021.
HORIZONTAL DATUM = NAD 83/11
- PARCEL AREA = 9,000 SQ. FT.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THEREFORE EASEMENTS AFFECTING THE PROPERTY, IF ANY, ARE NOT SHOWN HEREON.
- UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS APPROXIMATE ONLY AND IS BASED UPON CITY OF MERCER ISLAND GIS AND ALSO AS PER TIES TO ABOVE GROUND STRUCTURES.
- TAX PARCEL NO. 2174500385
- TREE DIAMETERS AND DRIPLINES DISPLAYED HEREON ARE APPROXIMATE. FOR SPECIFIC GENUS AND DIAMETER, TREES SHOULD BE EVALUATED BY A CERTIFIED ARBORIST.

PROPERTY DESCRIPTION

LOTS 7, 8, AND 9, BLOCK 3, EAST SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 3 OF PLATS, PAGES 22-23, IN KING COUNTY, WASHINGTON.

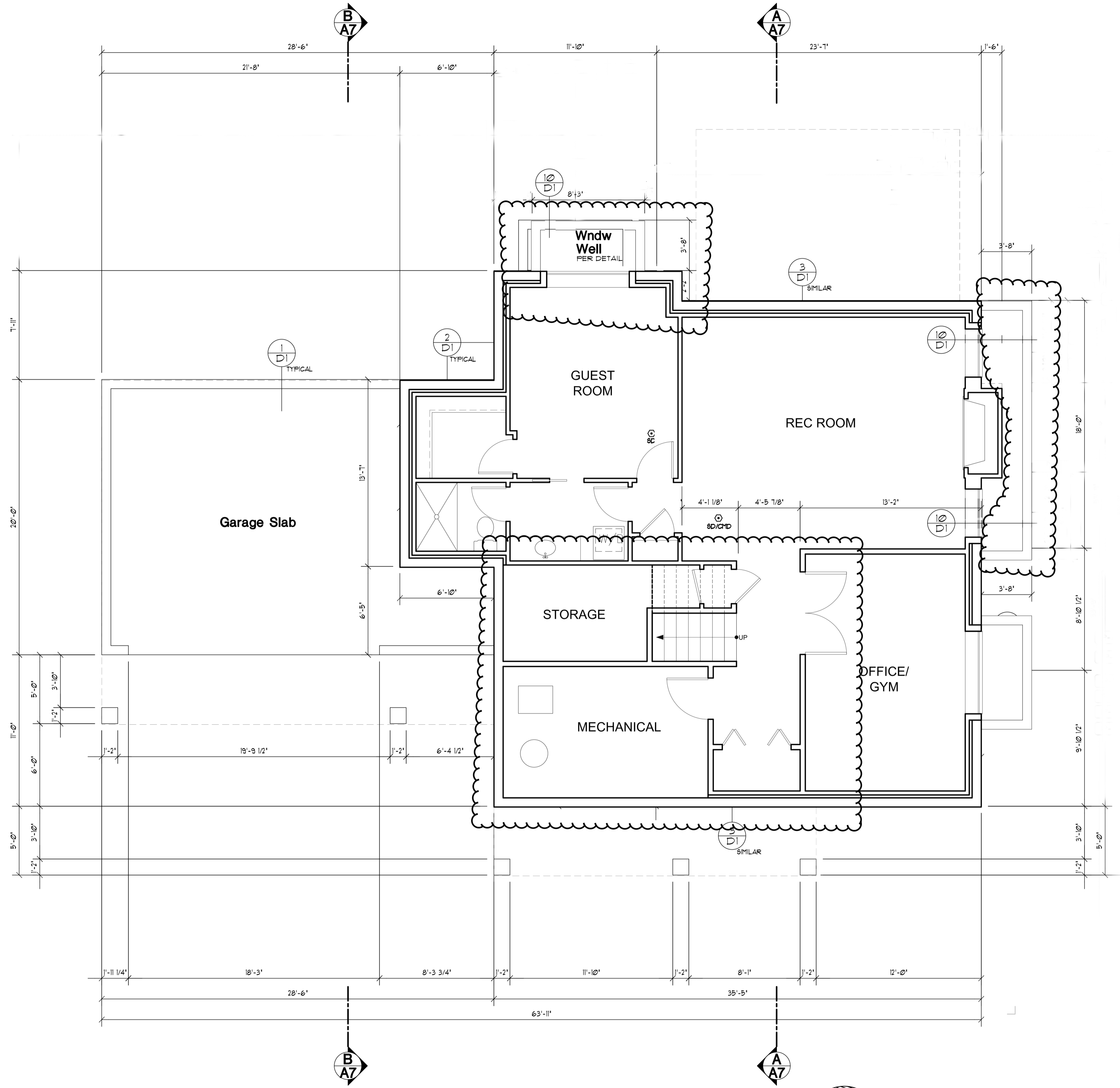


TOPOGRAPHIC SURVEY
3038 61ST AVE. S.E.
MERCER ISLAND

CHADWICK WINTERS
 LAND SURVEYING AND MAPPING
 1422 N.W. 85TH ST., SEATTLE, WA 98117
 PHONE: 206.297.0996
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 WEB: WWW.CHADWICKWINTERS.COM

PROJECT #: 21-7212
 DRAWING: 21-7212 TOPO.DWG
 CLIENT: JABODA HOMES INC.
 DATE: 08/17/21
 DRAWN BY: SYG

- SYMBOLS AND LEGEND**
- (F) FAN - DIRECT VENT TO OUTSIDE
 - BATHROOM/LAUNDRY 50 CFM MIN.
 - KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM, IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1503.6.
 - (WH) WHOLE-HOUSE FAN TO RUN CONTINUOUS & CONFORM TO IRC, M1505.4. FAN SIZE PER PLAN. FAN RATE TO BE ADJUSTED BY A FACTOR OF 1.5 FOR A NON-BALANCED NON-DISTRIBUTED SYSTEM. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1505.4.1. FAN TO HAVE A SONE RATING OF 10 OR LESS MEASURED AT 0.1 INCHES WATER GAUGE.
 - (S) 100V SMOKE ALARM PER IRC R314 WITH BATTERY BACKUP INTERCONNECTED PER R314.4 & R315.5. USE A COMBINATION SMOKE/CARBON MONOXIDE ALARM WHEN NOTED.
- MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM FOR UNITS: PER DIV. 15.16 SEE SHEET A1
- FURN (FH) (WH)
- A. PROVIDE 6" DIAMETER FRESH AIR INTAKE FROM OUTSIDE TO RETURN AIR FLENUM AT FURNACE WITH MOTORIZED FLOW DAMPERS.
 - B. PROVIDE THERMAL EXPANSION TANK AT WATER HEATER.
 - C. STRAP WATER HEATER TO FRAMING.
 - D. PROVIDE PRESSURE RELIEF LINE PLUMBED TO OUTSIDE.



LOWER FLOOR PLAN
Scale 1/4" = 1'-0"

GENERAL PLAN NOTES

1. SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
2. ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1
3. SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 9 SHEET A
4. SEE TYP. MATERIALS LIST ON SECTION SHEET
5. SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

FLOOR PLAN KEY NOTES

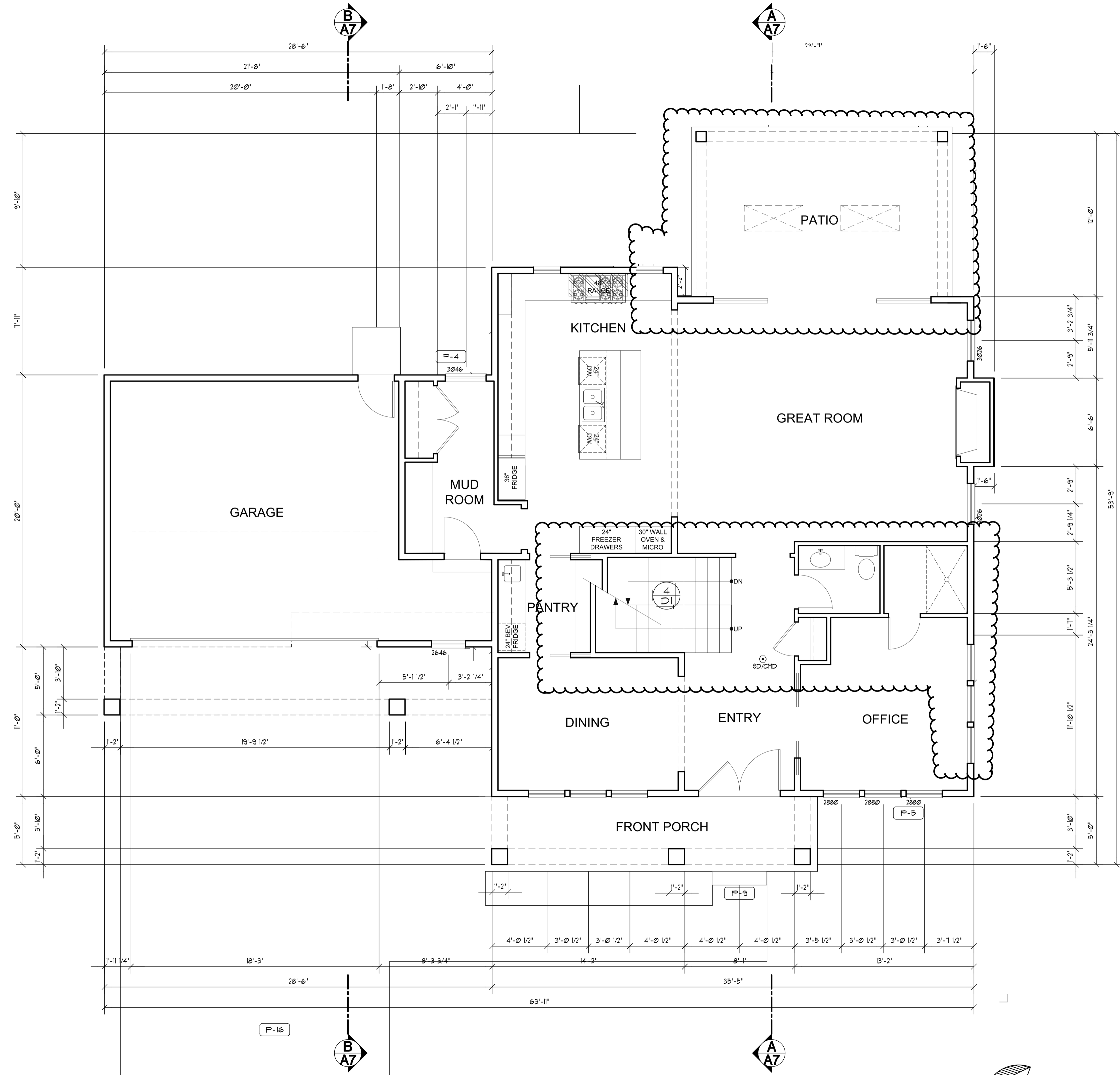
- (P-1) OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.I.B. TO GARAGE SIDE OF RESIDENCE, ATTIC SPACES, AND TO ALL BEAMS AND ROOF'S SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 3/4" TYPE 'X' G.I.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL SEE DIV. 01002.6.A. SHEET A-1.
- (P-2) 3/8" MIN. SELF-CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR SEE DIV. 01002.6.B. SHEET A-1
- (P-3) STAIR ASSEMBLY NOTES: PER I.R.C. SECTION R313
 - A. HEADROOM MIN. 6'-8", WIDTH MIN. 3'-0".
 - B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 7 1/2" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1 1/4" ON STAIRS WITH SOLID RISERS.
 - C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE 1 CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL, RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200 POUND POINT LOAD IN ANY DIRECTION PER I.R.C. TABLE R301.5
 - D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER I.R.C. SECTION R302.1.
 - E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.I.B. PER I.R.C. SECTION R302.1.
 - F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS.
 - G. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. SECTION R303.1.
- (P-4) SAFETY GLAZING PER I.R.C. SECTION R308
 - A. WINDOWS WITHIN 18" OF FLOOR
 - B. WINDOWS WITHIN A 24" ARC OF DOORS
 - C. WINDOWS AT TUBS AND SHOWERS
 - D. GLAZING IN DOORS
 - E. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, & BOT. EDGES OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE SEE DIV. 02800 SHEET A-1
- (P-5) EGRESS WINDOW PER I.R.C. SECTION R310 SEE DIV. 02600 SHEET A-1
- (P-6) IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1
- (P-7) COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 1" ABOVE DRAIN INLETS, PER I.R.C. SECTION 3012. SEE DIV. 02350 SHEET A-1
- (P-8) (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.
- (P-9) 7/8" MAX. RISER WITH 10" MIN. RUN, IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.R.C. SECTION R311.8. SEE DIV. 01002.1 SHEET A-1
- (P-10) 18"x24" CRAWL SPACE ACCESS, INSULATE AND WEATHER STRIP. SEE DIV. 01002.1 SHEET A-1
- (P-11) 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 01002.2 SHEET A-1
- (P-12) FLOOR MATERIAL BREAK LINE
- (P-13) WALL LINE ABOVE
- (P-14) WALL LINE BELOW
- (P-15) FIREPLACE ASSEMBLY NOTES:
 - A. DIRECT VENT GAS FIREPLACES MUST BE LISTED, LABELED & INSTALLED PER MFG. SPECIFICATIONS. SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01002.12 SHEET A-1
 - B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01002.12 SHEET A-1
 - C. HEARTH SHALL CONFORM TO I.R.C. REQUIREMENT SEE DIV. 01002.12
 - D. FIREBLOCK OPENINGS AROUND PENETRATIONS @ EACH FLOOR PER I.R.C. SECTION R1003.19.
 - E. FIREPLACE MUST COMPLY WITH UL 121 TESTING
- (P-16) SEE SITE PLAN FOR EXTENT OF WALKS & DRIVEWAYS
- (P-17) 3" DIAMETER STEEL POST
- (P-18) 36" GUARDRAIL PER I.R.C. SECTION R312 & TABLE R301.5 CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDS & RAILINGS ARE CAPABLE OF RESISTING 200lb LOAD ON TOP RAIL ACTING IN ANY DIRECTION.
- (P-19) 'B' VENT FOR MECHANICAL. 1" CLEARANCE ALL SIDES PER I.R.C. SECTION R302.11. SEE DIV. 15 SHEET A-1
- (P-20) PROVIDE A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES & HUMIDITY. INSTALL IN A CENTRAL LOCATION AND IN ACCORDANCE W/ THE MANF. INSTRUCTIONS. CONNECT TO AN ALARM OR SMOKE ALARM IN THE DWELLING IN A LOCATION THAT WILL PROVIDE OCCUPANT NOTIFICATION.
- (P-21) 2x6 STUDS W/ R-21 INSULATION MIN.

Date	By	Description
09/28/23	SV	PERMIT SET
09/28/23	SV	PERMISSIONAL COMMENTS
09/28/23	SV	PERMIT REVISION
09/28/23	CEM	PERMIT REVISION

61st Ave Residence
3038 61st Ave SE Mercer Island, WA 98040

CHRISTINA MERKELBACH DESIGN
206-920-8502
3444 5 Mt Baker Blvd Seattle, WA 98144
christinamerk@christinamerk.com

SYMBOLS AND LEGEND	
F	FAN- DIRECT VENT TO OUTSIDE -BATHROOMS/LAUNDRY 50 CFM MIN. -KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1503.6.
WF	WHOLE-HOUSE FAN TO RUN CONTINUOUS 4 CONFORM TO IRC, M1503.4. FAN SIZE PER PLAN. FAN RATE TO BE ADJUSTED BY A FACTOR OF 1.5 FOR A NON-BALANCED NON-DISTRIBUTED SYSTEM. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1503.4.1. FAN TO HAVE A SONE RATING OF 1.0 OR LESS MEASURED AT 21 INCHES WATER GAUGE.
⊙	110V SMOKE ALARM PER IRC, R314 WITH BATTERY BACKUP INTERCONNECTED PER R314.4 & R315.5. USE A COMBINATION SMOKE/CARBON MONOXIDE ALARM WHEN NOTED.
MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS FOR UNITS: PER DIV. 15.16 SEE SHEET A1	
FURN	(Symbol)
UW	(Symbol)
A	PROVIDE 6" DIAMETER FRESH AIR INTAKE FROM OUTSIDE TO RETURN AIR FLENUM AT FURNACE WITH MOTORIZED FLOW DAMPERS.
B	PROVIDE THERMAL EXPANSION TANK AT WATER HEATER.
C	STRAP WATER HEATER TO FRAMING TOP AND BOTTOM.
D	PROVIDE PRESSURE RELIEF LINE PLUMBED TO OUTSIDE.



MAIN FLOOR PLAN

Scale 1/4"=1'-0"

GENERAL PLAN NOTES

- SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
- ENERGY AND AIR QUALITY INFORMATION SEE DIV. 17 SHEET A-1
- SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 9 SHEET A-1
- SEE TYP. MATERIALS LIST ON SECTION SHEET
- SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

FLOOR PLAN KEY NOTES

- P-1 OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.W.B. TO GARAGE SIDE OF RESIDENCE, ATTIC SPACES, AND TO ALL BEAMS AND POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 3/4" TYPE 'X' G.W.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL SEE DIV. 01002.6.A, SHEET A-1.
- P-2 3/4" MIN. SELF-CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 1/2" MINUTE FIRE RATED DOOR SEE DIV. 01002.6.B, SHEET A-1
- P-3 STAIR ASSEMBLY NOTES: PER I.R.C. SECTION R311.5
A. HEADROOM MIN. 6'-8", WIDTH MIN. 3'-0".
B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT. RISERS 7 1/4" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1 1/4" ON STAIRS WITH SOLID RISERS.
C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE 1 CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL, RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200 LB POINT LOAD IN ANY DIRECTION PER I.R.C. TABLE R310.5
D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER I.R.C. SECTION R302.1.
E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.W.B. PER I.R.C. SECTION R302.1.
F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS.
G. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. SECTION R303.1.
SEE DIV. 01002.1 SHEET A-1.
- P-4 SAFETY GLAZING PER I.R.C. SECTION R308
A. WINDOWS WITHIN 18" OF FLOOR
B. WINDOWS WITHIN A 24" ARC OF DOORS
C. WINDOWS AT TUBS AND SHOWERS
D. GLAZING IN DOORS
E. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, & BOT. EDGE OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE SEE DIV. 02800 SHEET A-1
- P-5 EGRESS WINDOW PER I.R.C. SECTION R310 SEE DIV. 02800 SHEET A-1
- P-6 IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1
- P-7 COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 1" ABOVE DRAIN INLETS, PER I.R.C. SECTION 307.2. SEE DIV. 02250 SHEET A-1
- P-8 (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.
- P-9 1 3/4" MAX. RISER WITH 10" MIN. RUN, IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.R.C. SECTION R311.8. SEE DIV. 01002.1 SHEET A-1
- P-10 18"x24" CRAWL SPACE ACCESS, INSULATE AND WEATHER STRIP. SEE DIV. 01002.1 SHEET A-1
- P-11 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 01002.2 SHEET A-1
- P-12 FLOOR MATERIAL BREAK LINE
- P-13 WALL LINE ABOVE
- P-14 WALL LINE BELOW
- P-15 FIREPLACE ASSEMBLY NOTES:
A. DIRECT VENT GAS FIREPLACES, MUST BE LISTED, LABELED & INSTALLED PER MFG. SPECIFICATIONS, SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01002.12 SHEET A-1
B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01002.12 SHEET A-1
C. HEARTH SHALL CONFORM TO I.R.C. REQUIREMENT SEE DIV. 01002.12
D. FIREBLOCK OPENINGS AROUND PENETRATIONS @ EACH FLOOR PER I.R.C. SECTION R303.19.
E. FIREPLACE MUST COMPLY WITH UL 127 TESTING
- P-16 SEE SITE PLAN FOR EXTENT OF WALKS & DRIVEWAYS
- P-17 3" DIAMETER STEEL POST
- P-18 36" GUARDRAIL PER I.R.C. SECTION R312 & TABLE R310.5. CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDS & RAILINGS ARE CAPABLE OF RESISTING 200 LB LOAD ON TOP RAIL ACTING IN ANY DIRECTION.
- P-19 1" VENT FOR MECHANICAL. 1" CLEARANCE ALL SIDES PER I.R.C. SECTION R302.1. SEE DIV. 15 SHEET A-1
- P-20 PROVIDE A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES & HUMIDITY. INSTALL IN A CENTRAL LOCATION AND IN ACCORDANCE W/ THE MANF. INSTRUCTIONS. CONNECT TO AN ALARM OR SMOKE ALARM IN THE DUELLING IN A LOCATION THAT WILL PROVIDE OCCUPANT NOTIFICATION.
- P-21 2x6 STUDS W/ R-21 INSULATION MIN.

SQUARE FOOTAGE

MAIN FLOOR	1410 SF
UPPER FLOOR	1650 SF
LOWER FLOOR	1141 SF
TOTAL	4201 SF
GARAGE	477 SF
STORAGE	177 SF
PORCH/PATIO	117/220 SF
BALCONY	267 SF

SQUARE FOOTAGE IS MEASURED TO THE OUTSIDE FACE OF WALLS. STAIRS ARE COUNTED ONCE IN THE CALCULATIONS. OPEN TO BELOW SPACES AND GARAGES ARE NOT INCLUDED IN CALCULATIONS.

Date	By	Description
05/09/22	SM	PERMIT SET
05/10/22	SM	PERMIT REVISION
05/23/22	CEM	PERMIT REVISION

61st Ave Residence
3038 61st Ave SE Mercer Island, WA 98040

CHRISTINA MERKELBACH DESIGN

206-920-8502

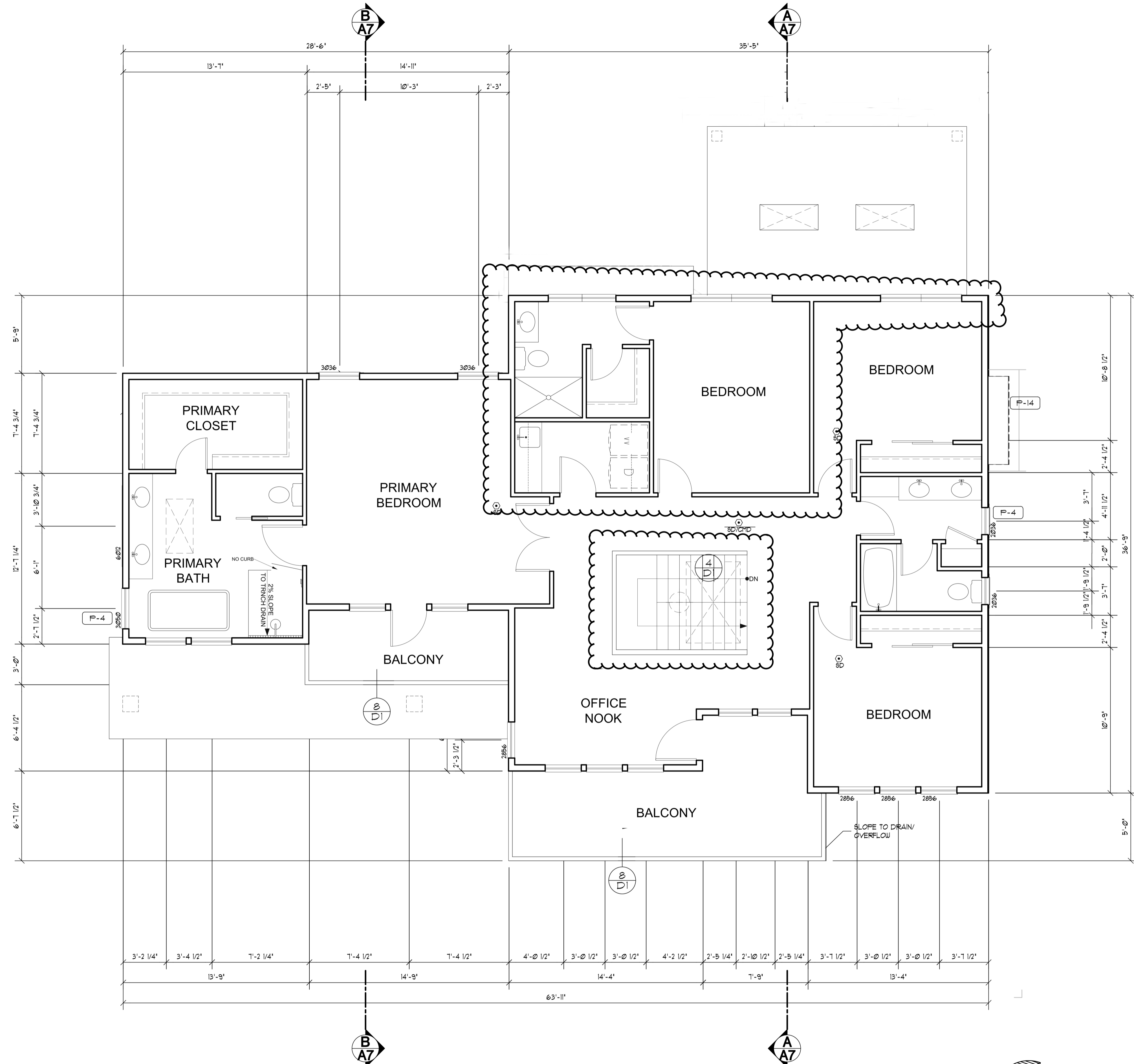
3444 5 Mt Baker Blvd Seattle, WA 98144

christinamerkh@christinamerkh.com

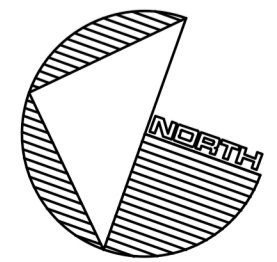
SHEET

A3

SYMBOLS AND LEGEND	
F	FAN - DIRECT VENT TO OUTSIDE -BATHROOMS/LAUNDRY 50 CFM MIN. -KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1503.6.
WF	WHOLE-HOUSE FAN TO RUN CONTINUOUS & CONFORM TO IRC, M1503.4. FAN SIZE PER PLAN. FAN RATE TO BE ADJUSTED BY A FACTOR OF 1.5 FOR A NON-BALANCED NON-DISTRIBUTED SYSTEM. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1503.4.1. FAN TO HAVE A SONE RATING OF 1.0 OR LESS MEASURED AT 21 INCHES WATER GAUGE.
SA	110V SMOKE ALARM PER IRC, R314 WITH BATTERY BACKUP INTERCONNECTED PER R314.4 & R315.5. USE A COMBINATION SMOKE/CARBON MONOXIDE ALARM WHEN NOTED.
MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS FOR UNITS: PER DIV. 15.16 SEE SHEET A1	
FURN	FURN
UH	UH
A	PROVIDE 6" DIAMETER FRESH AIR INTAKE FROM OUTSIDE TO RETURN AIR FLENUM AT FURNACE WITH MOTORIZED FLOW DAMPERS.
B	PROVIDE THERMAL EXPANSION TANK AT WATER HEATER.
C	STRAP WATER HEATER TO FRAMING.
D	PROVIDE PRESSURE RELIEF LINE PLUMBED TO OUTSIDE.



UPPER FLOOR PLAN
Scale 1/4"=1'-0"



GENERAL PLAN NOTES

- SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
- ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1
- SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 9 SHEET A
- SEE TYP. MATERIALS LIST ON SECTION SHEET
- SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

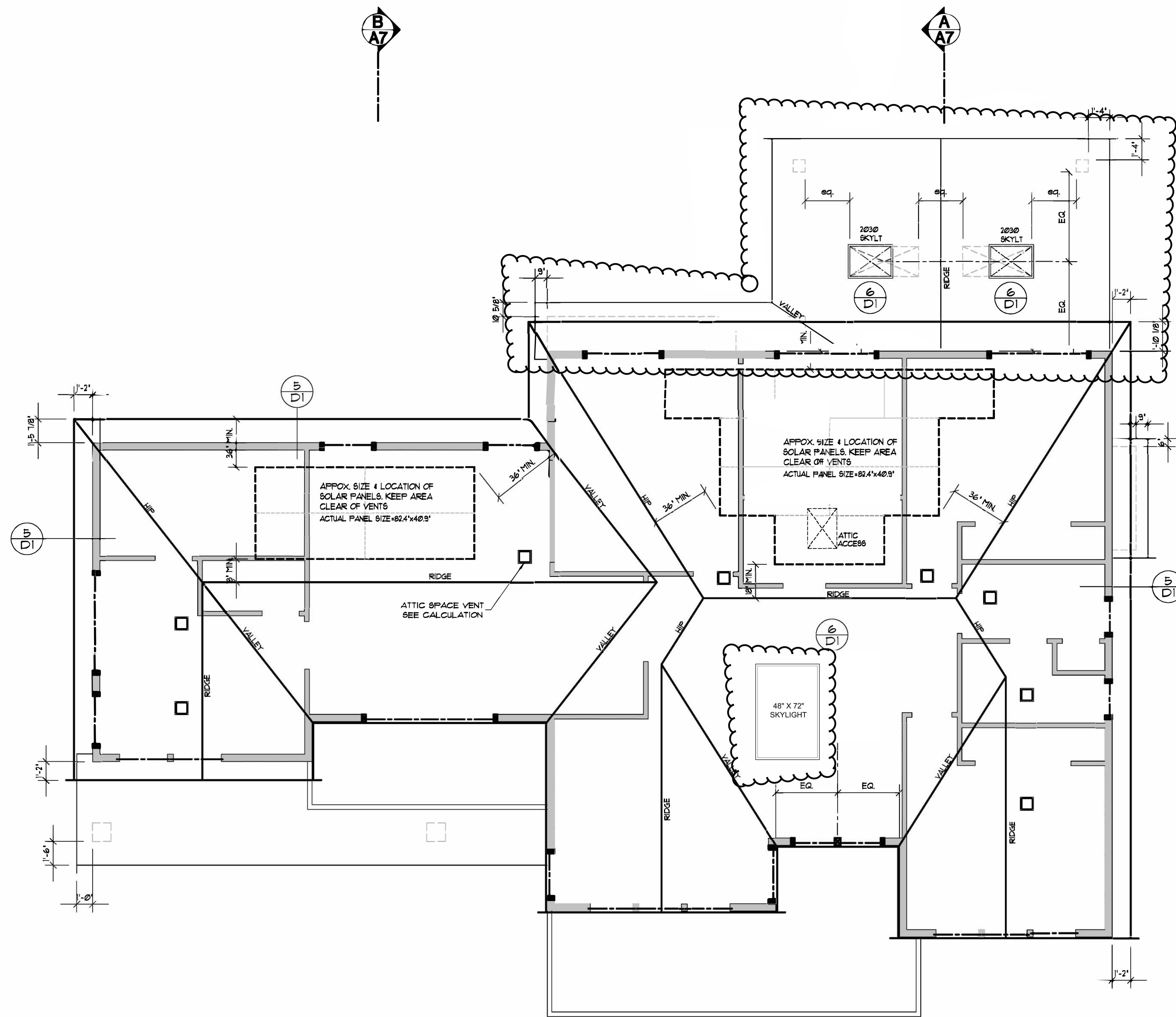
FLOOR PLAN KEY NOTES

- P-1 OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.W.B. TO GARAGE SIDE OF RESIDENCE, ATTIC SPACES, AND TO ALL BEAMS AND POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 3/4" TYPE 'X' G.W.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL SEE DIV. 01002.6.A, SHEET A-1.
- P-2 3/4" MIN. SELF-CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR SEE DIV. 01002.6.B, SHEET A-1
- P-3 STAIR ASSEMBLY NOTES: PER I.R.C. SECTION R311.5
A. HEADROOM MIN. 6'-8", WIDTH MIN. 3'-0".
B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT. RISERS 7 1/2" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1 1/4" ON STAIRS WITH SOLID RISERS.
C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE 1 CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200 LB POINT LOAD IN ANY DIRECTION PER I.R.C. TABLE R301.5
D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER I.R.C. SECTION R302.1.
E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.W.B. PER I.R.C. SECTION R302.1.
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B. WINDOWS WITHIN A 24" ARC OF DOORS
C. WINDOWS AT TUBS AND SHOWERS
D. GLAZING IN DOORS
E. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING. # BOT. EDGE OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE SEE DIV. 02800 SHEET A-1
- P-5 EGRESS WINDOW PER I.R.C. SECTION R310 SEE DIV. 02800 SHEET A-1
- P-6 IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1
- P-7 COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 1"1/2" ABOVE DRAIN INLETS. PER I.R.C. SECTION 307.2. SEE DIV. 02250 SHEET A-1
- P-8 (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.
- P-9 1 1/4" MAX. RISER WITH 10" MIN. RUN. IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.R.C. SECTION R311.8. SEE DIV. 01002.1 SHEET A-1
- P-10 18"x24" CRAWL SPACE ACCESS. INSULATE AND WEATHER STRIP. SEE DIV. 01002.1 SHEET A-1
- P-11 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 01002.2 SHEET A-1
- P-12 FLOOR MATERIAL BREAK LINE
- P-13 WALL LINE ABOVE
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D. FIREBLOCK OPENINGS AROUND PENETRATIONS @ EACH FLOOR PER I.R.C. SECTION R1003.19.
E. FIREPLACE MUST COMPLY WITH UL 127 TESTING
- P-16 SEE SITE PLAN FOR EXTENT OF WALKS & DRIVEWAYS
- P-17 3" DIAMETER STEEL POST
- P-18 36" GUARDRAIL PER I.R.C. SECTION R312 & TABLE R301.5. CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDS & RAILINGS ARE CAPABLE OF RESISTING 200 LB LOAD ON TOP RAIL ACTING IN ANY DIRECTION.
- P-19 'B' VENT FOR MECHANICAL. 1" CLEARANCE ALL SIDES PER I.R.C. SECTION R302.1. SEE DIV. 15 SHEET A-1
- P-20 PROVIDE A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES & HUMIDITY. INSTALL IN A CENTRAL LOCATION AND IN ACCORDANCE W/ THE MANF. INSTRUCTIONS. CONNECT TO AN ALARM OR SMOKE ALARM IN THE DWELLING IN A LOCATION THAT WILL PROVIDE OCCUPANT NOTIFICATION.
- P-21 2x6 STUDS W/ R-21 INSULATION MIN.

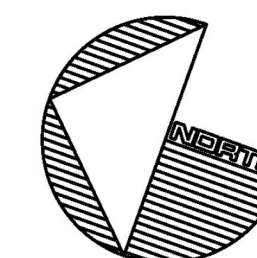
Date	By	Description
01/05/2021	SM	PERMIT SET
05/19/2021	SM	JURISDICTIONAL COMMENTS
04/28/2023	CEM	PERMIT REVISION

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christinamerk@christinamerk.com



ROOF PLAN
SCALE 1/4"=1'-0"



ROOF VENT CALCULATION	
TOTAL ROOF AREA	1769 SF/300 = 5.89 SF OF VENT AREA REQ.
40% MIN. AT 36' MAX BELOW RIDGE	= 235 SF MIN.
50% MAX. AT 36' MAX BELOW RIDGE	= 294 SF MAX.
8 ROOF JACKS AT 50 SQ. IN. EACH+ (36' MAX. BELOW RIDGE)	400 SQ. IN. = 277 SF
127 LF. OF EAVE VENTS AT 3.3" SQ. IN./LF.	418.1 SQ. IN. = 291 SF
1 ROOF JACKS AT 50 SQ. IN. EACH+ (36' MAX. ABOVE EAVE)	50 SQ. IN. = 34 SF
TOTAL SF OF VENTILATION PROVIDED = 602 SF	

TITLE	
JOB NO.:	2104814
STARTING NO.:	

Date	By	Description
01/25/22	SM	PERMIT SET
05/19/22	SM	JURISDICTIONAL COMMENTS

Jabooda Homes
61st Ave Residence
3038 61st Ave SE Mercer Island, WA 98040
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ARCHITECTURAL INNOVATIONS, P.S.
Forward Thinking Design Solutions For Your Environment
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TITLE	
JOB NO.:	2104814
STARTING NO.:	

SHEET
A5

TYPICAL BUILDING MATERIALS

ROOF CONSTRUCTION

- ROOFING: (DIV. 7) SHINGLES (DIV. 01000.5)
- BUILDING PAPER: (DIV. 7) 30# BUILDING PAPER
- SHEATHING: (DIV. 6) 7/16" O.S.B. OR EQUAL
- FRAMING: (DIV. 6) PER PLAN
- INSULATION: (DIV. 7) R-49 BLOWN-IN
- SOFFIT: (DIV. 7) PER SPECIFICATIONS
- GWB: (DIV. 9) 5/8" GWB
- SKYLIGHTS: (DIV. 8) LAMINATED GLAZING U=0.50 MAX.

EXTERIOR WALL CONSTRUCTION

- SIDING MATERIAL: (DIV. 7) WOOD SIDING (DIV. 01000.5)
- BUILDING WRAP: (DIV. 7) 15# BUILDING PAPER
- SHEATHING: (DIV. 6) 1/2" CDX PLYWOOD OR EQUAL
- FRAMING: (DIV. 6) 2 X 6 STUDS AT 16" OC
- INSULATION: (DIV. 7) R-21 BATT W/ INTEGRAL VAPOR BARRIER
- GWB: (DIV. 9) PROVIDE CLASS II VAPOR RETARDER IN MARINE ZONE 4
- DOORS: (DIV. 8) 1/2" GWB
- WINDOWS: (DIV. 8) U=0.28

FLOOR CONSTRUCTION

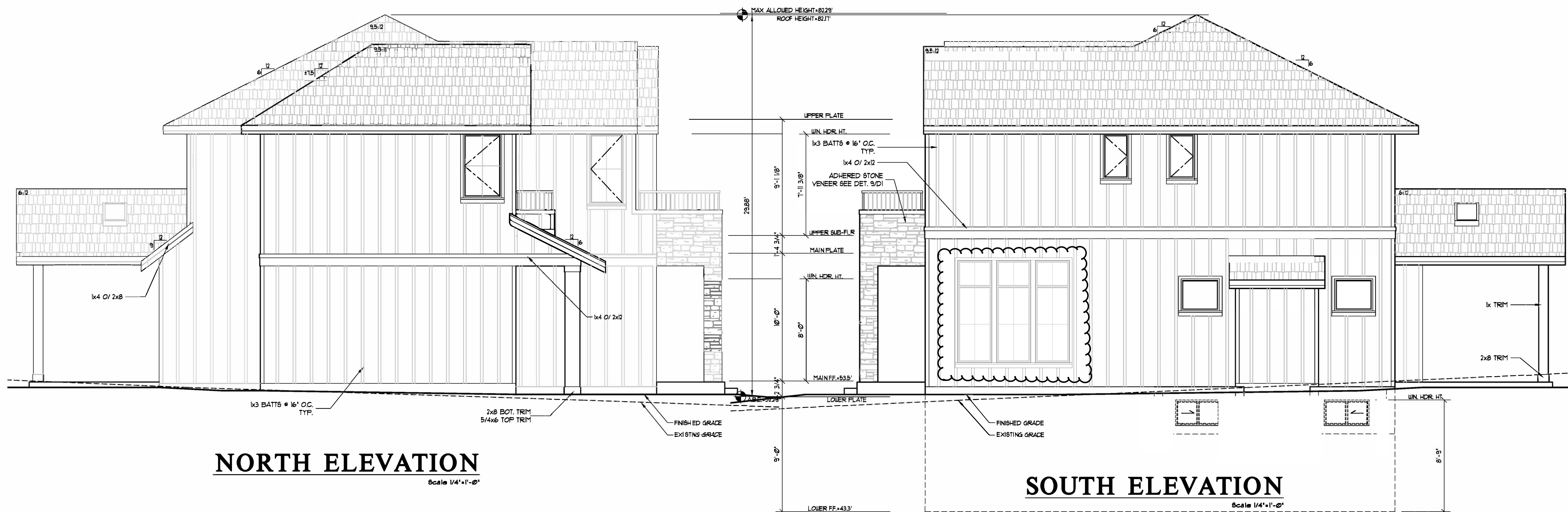
- FLOORING: (DIV. 9) FINISH PER PLANS (DIV. 01000.5)
- SUBFLOOR: (DIV. 6) 3/4" T&G (PLYWD, COMPLY, OR EQ.)
- FRAMING: (DIV. 6) PER PLANS
- INSULATION: (DIV. 7) R-38 BATT
- SOFFIT: (DIV. 7) PER SPECIFICATIONS

TRIM: (DIV. 6)

- WINDOW: (WITH NO BRICK MOLD) HEAD: 5/4x3
- CORNER BOARDS: JAMB: 5/4x3
- FASCIA: INSIDE: 2x2
- OUTSIDE: 5/4x4 / 5/4x3
- 5/4x8 UNO



WEST ELEVATION
Scale 1/4"=1'-0"



NORTH ELEVATION
Scale 1/4"=1'-0"

SOUTH ELEVATION
Scale 1/4"=1'-0"

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Date	By	Description
07/25/22	SM	PERMIT SET
08/29/22	SM	JURISDICTIONAL COMMENTS
04/28/23	CEM	PERMIT REVISION

61st Ave Residence
3038 61st ave SE Mercer Island, WA 98040

CHRISTINA MERKELBACH DESIGN
206-920-8502
3444 5 Mt Baker Blvd
Seattle, WA 98144
christinamerk@christinamerk.com

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SHEET
A6

ENERGY CODE REQUIREMENTS

- THE BUILDER SHALL COMPLETE AND POST AN "INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION" WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BELOW-GRADE WALL, AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION; THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING; AND THE RESULTS FROM THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FLOW RATE TEST.
- A MINIMUM OF 90% PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.

ENERGY CREDITS

13 EFFICIENT BUILDING ENVELOPE 0.5 CREDIT
 VERTICAL FENESTRATION MIN U=28
 FLOOR R-38
 SLAB ON GRADE R-10 UNDER ENTIRE SLAB

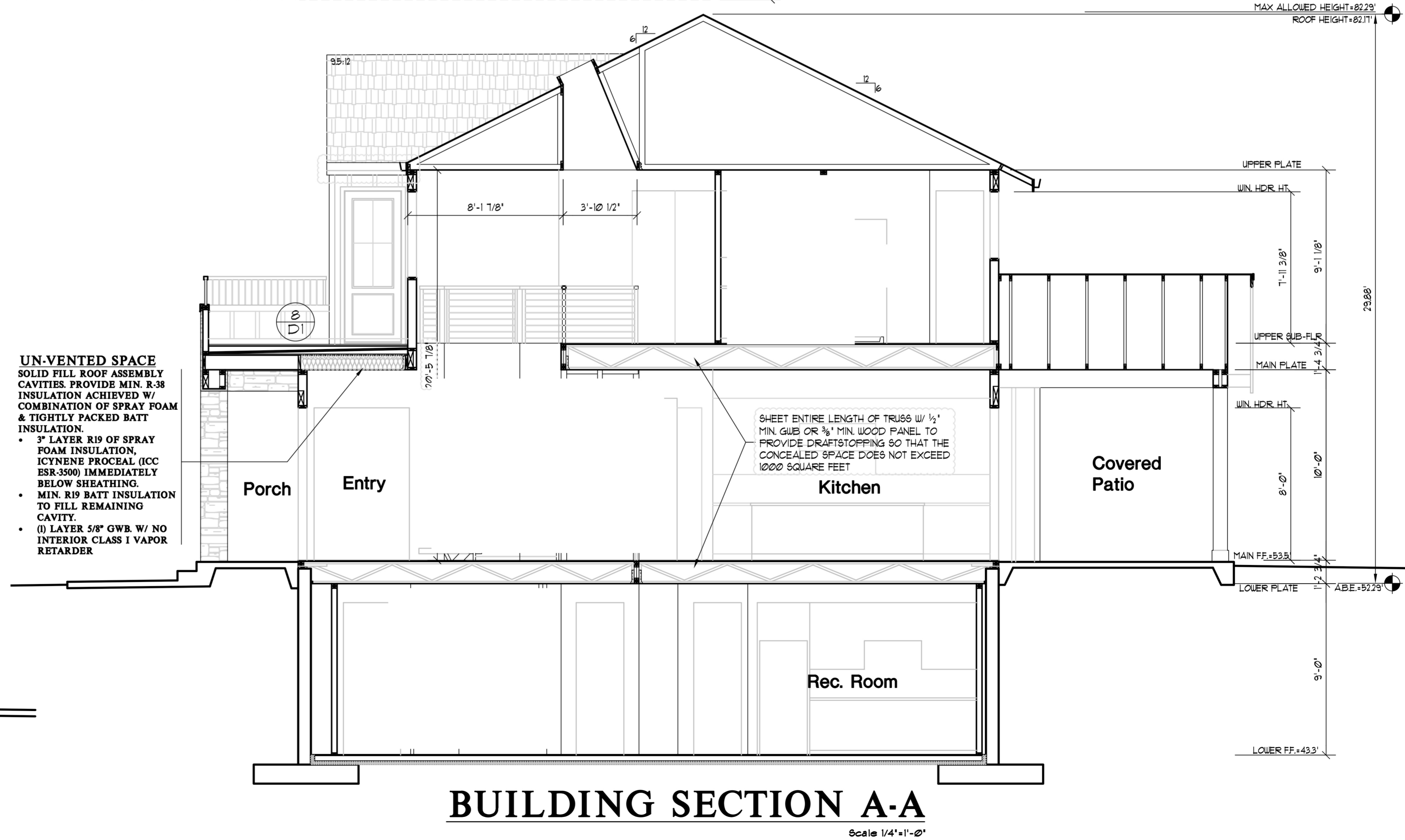
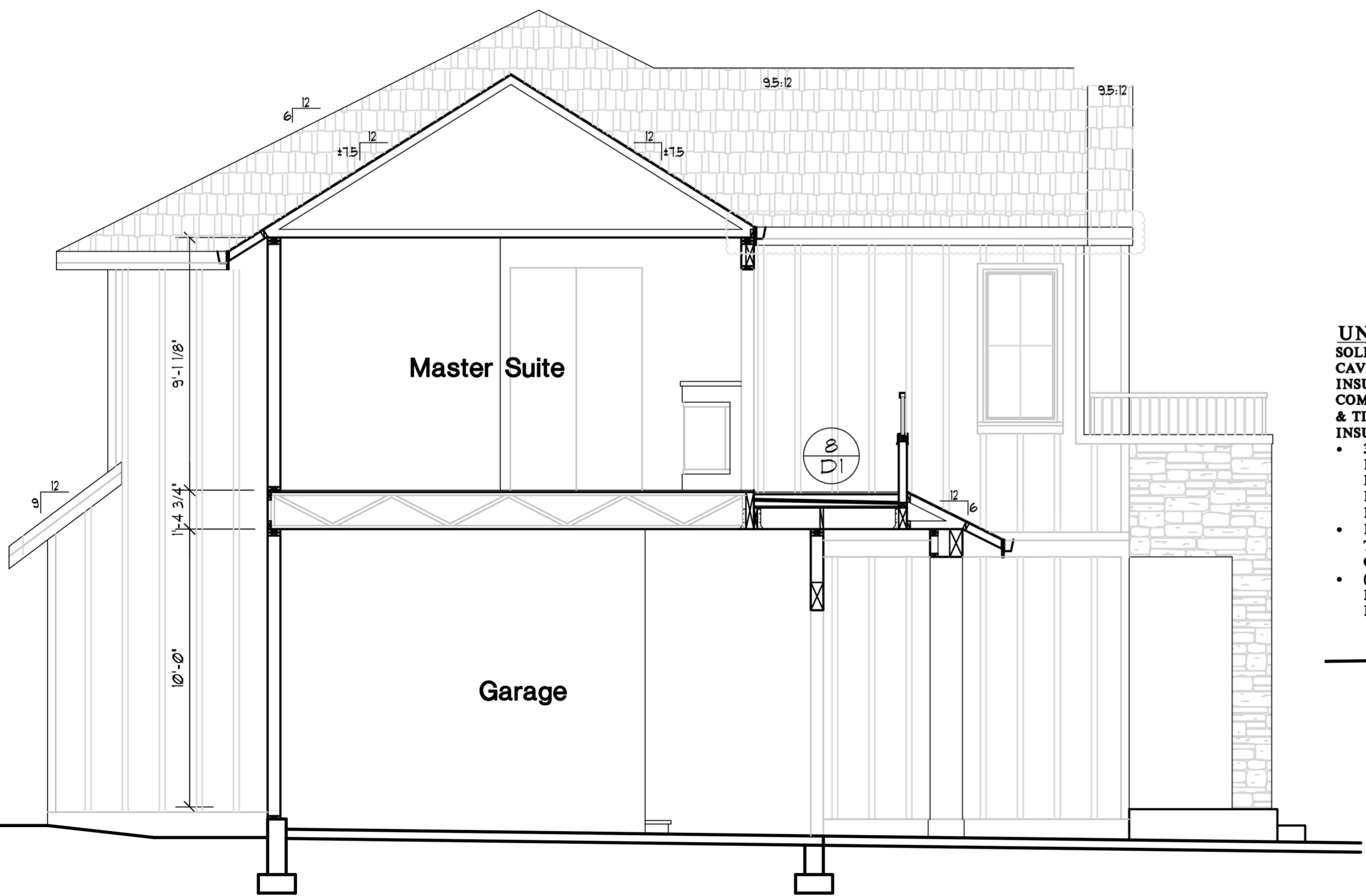
21 AIR LEAKAGE CONTROL & EFFICIENT VENTILATION 5 CREDIT
 Reduce the tested air leakage to 3.0 air changes per hour maximum at 50 Pascals

And
 All whole house ventilation requirements as determined by Section M1507.3 of the International Residential Code or Section 403.8 of the International Mechanical Code shall be met with a high efficiency fan(s) (maximum 0.35 watts/cfm), not interlocked with the furnace fan (if present). Ventilation systems using a furnace including an ECM motor are allowed, provided that they are controlled to operate at low speed in ventilation only mode.

31 HIGH EFFICIENCY HVAC 1.0 CREDIT
 ENERGY STAR RATED (U.S. NORTH) GAS FURNACE WITH MINIMUM AFUE OF 95%

53 EFFICIENT WATER HEATING 1.0 CREDIT
 ENERGY STAR RATED GAS WATER HEATER WITH A MINIMUM UEF OF 0.91

61 RENEWABLE ELECTRIC ENERGY 3.0 CREDIT
 SOLAR PANELS WITH A MINIMUM OF 3600 kWh OF ELECTRICAL GENERATION PER HOUSING UNIT PROVIDED ANNUALLY



Date	By	Description
01/25/23	SM	PERMIT SET
05/19/23	SM	PERMISSIONAL COMMENTS
04/28/23	CEM	PERMIT REVISION

Date	By	Description
01/25/23	SM	PERMIT SET
05/19/23	SM	PERMISSIONAL COMMENTS
04/28/23	CEM	PERMIT REVISION

61st Ave Residence
 3038 61st Ave SE Mercer Island, WA 98040

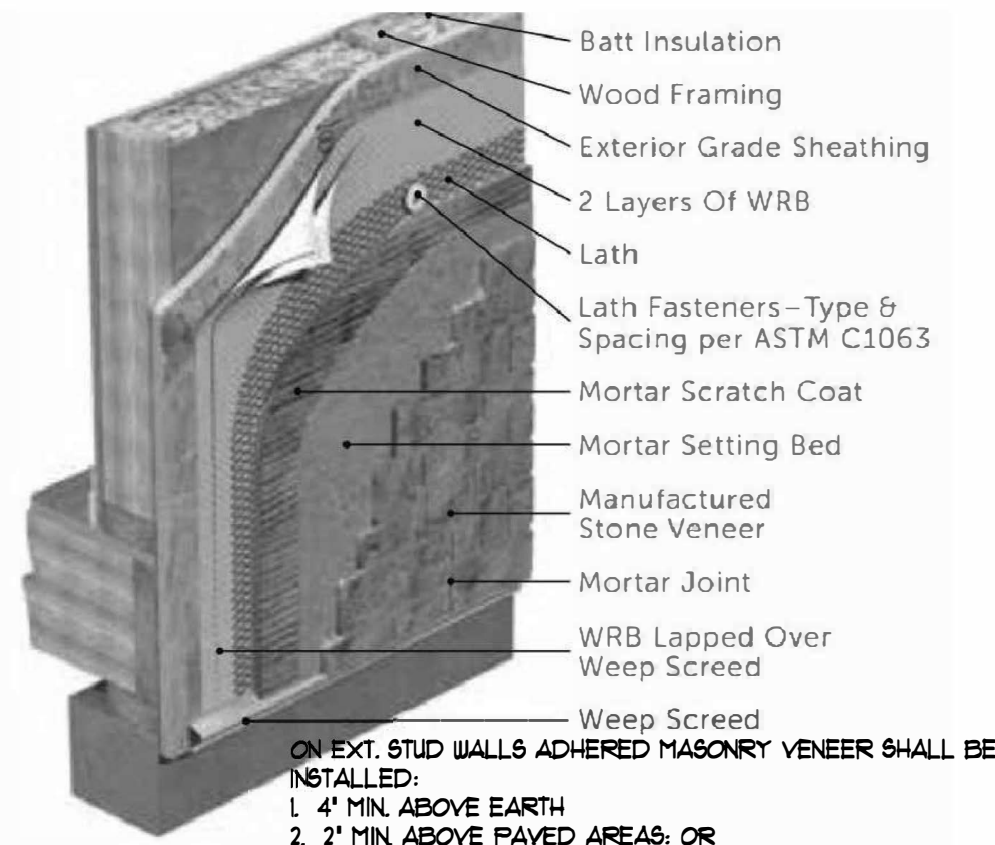
CHRISTINA MERKELBACH DESIGN

206-920-8502

3444 5 Mt Baber Blvd
 Seattle, WA 98144

christinamerk@christinamerk.com

SHEET
A7



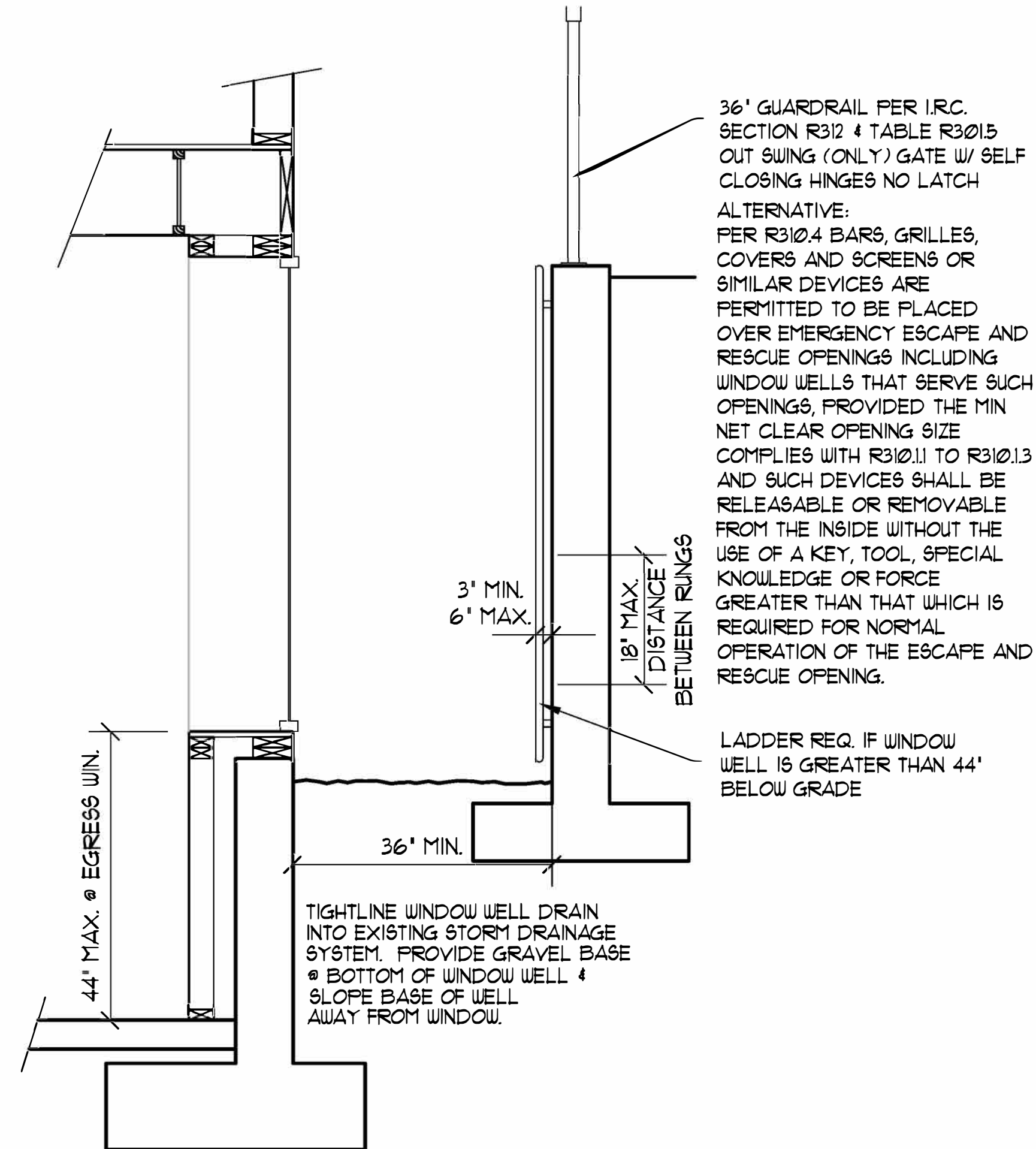
9 STONE VENEER DETAIL
N.T.S.

WINDOW WELL

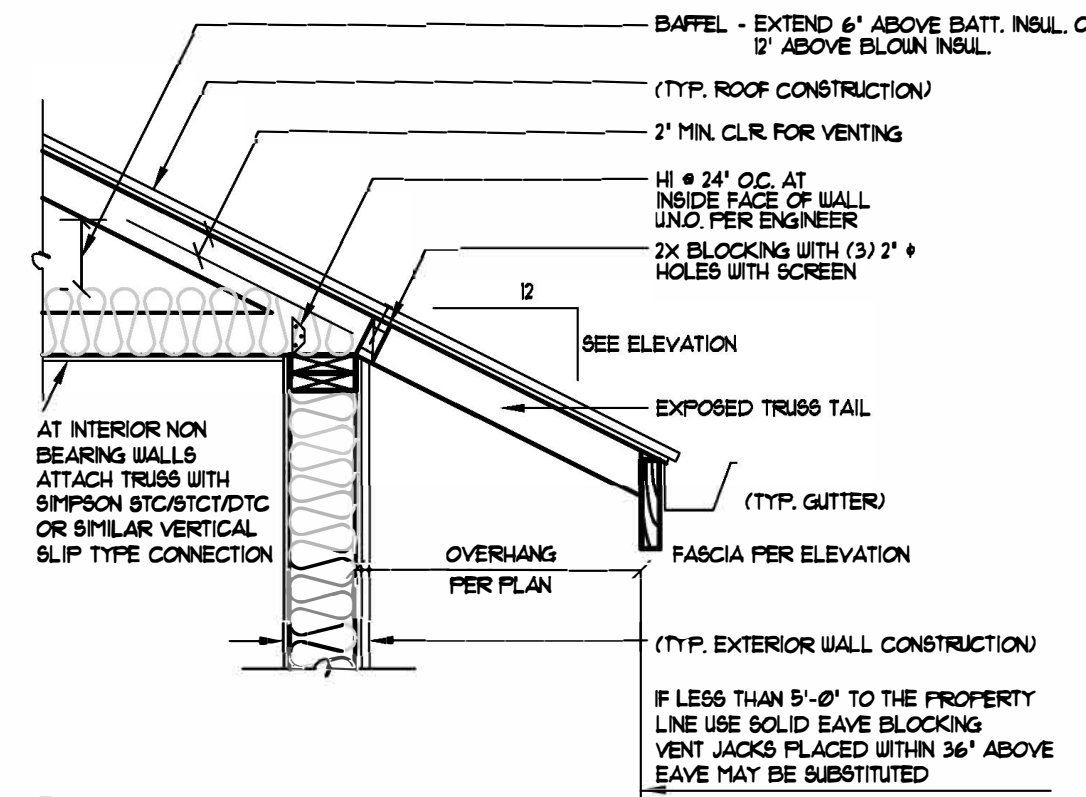
R310.2 Window wells. The minimum horizontal area of the window well shall be 9 square feet (0.9 m²), with a minimum horizontal projection and width of 36 inches (914 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened.

Exception: The ladder or steps required by Section R310.2.1 shall be permitted to encroach a maximum of 6 inches (152 mm) into the required dimensions of the window well.

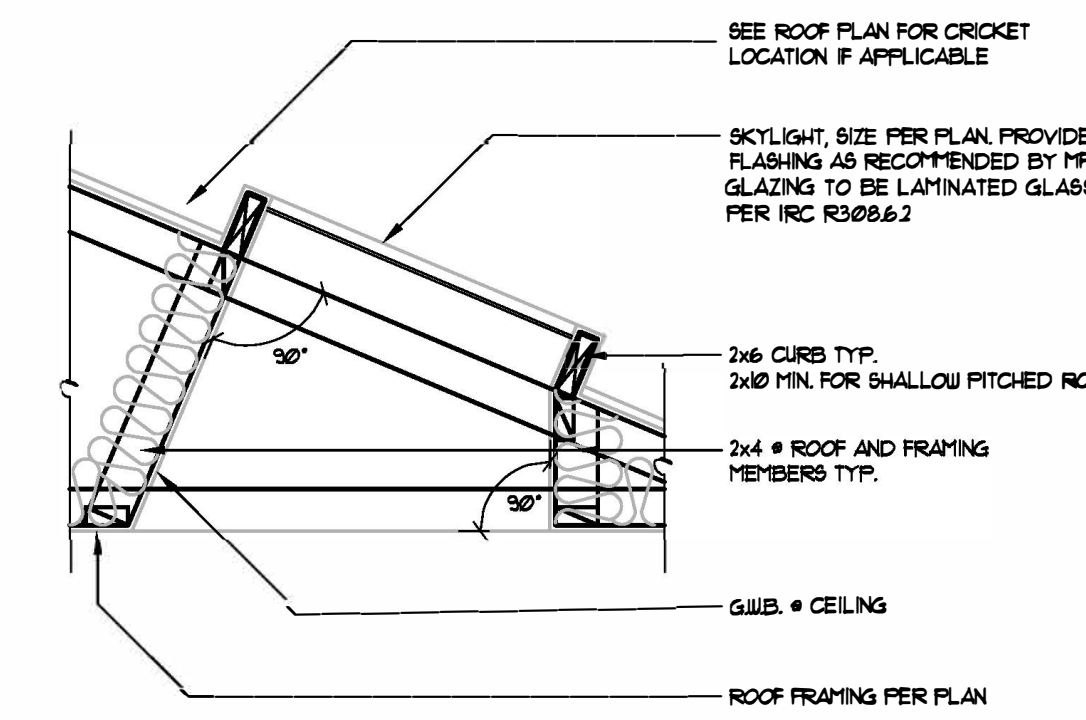
R310.2.1 Ladder and steps. Window wells with a vertical depth greater than 44 inches (1118 mm) shall be equipped with a permanently affixed ladder or steps usable with the window in the fully open position. Ladders or steps required by this section shall not be required to comply with Sections R311.7 and R311.8. Ladders or rungs shall have an inside width of at least 12 inches (305 mm), shall project at least 3 inches (76 mm) from the wall and shall be spaced not more than 18 inches (457 mm) on center vertically for the full height of the window well.



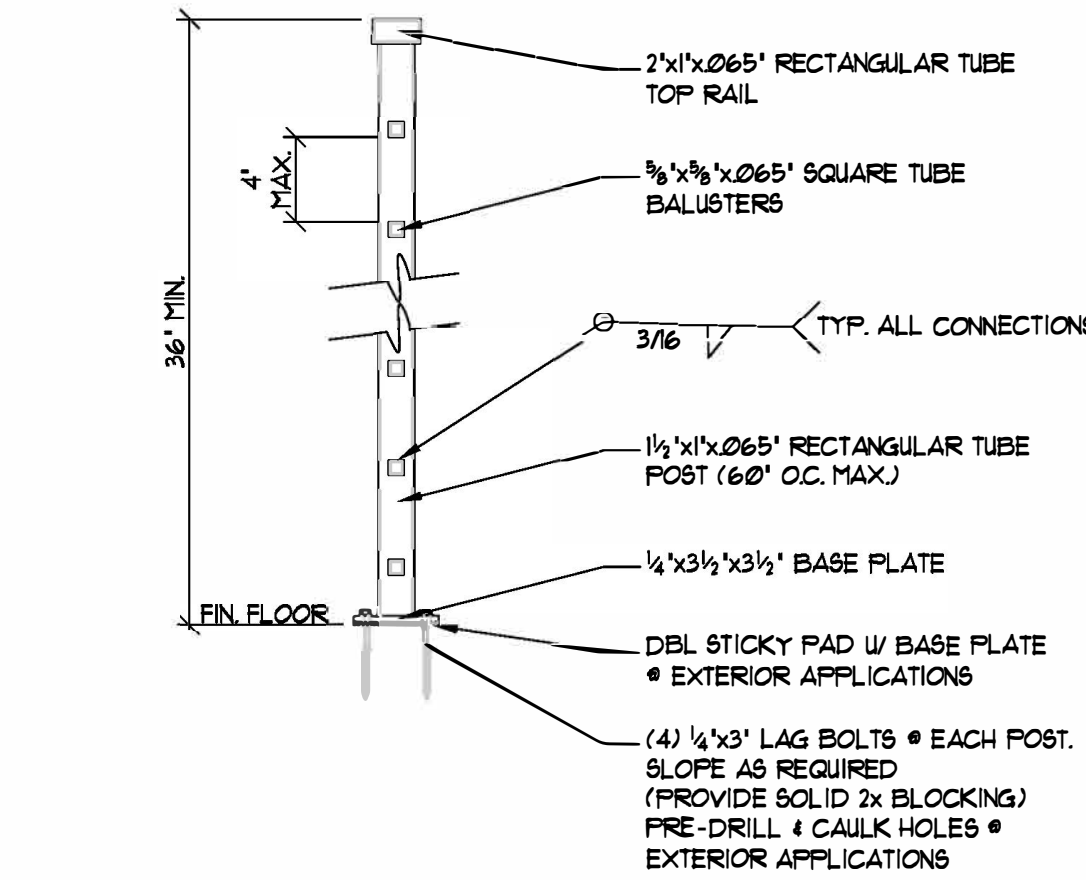
10 WINDOW WELL DETAIL
3/4"=1'-0"



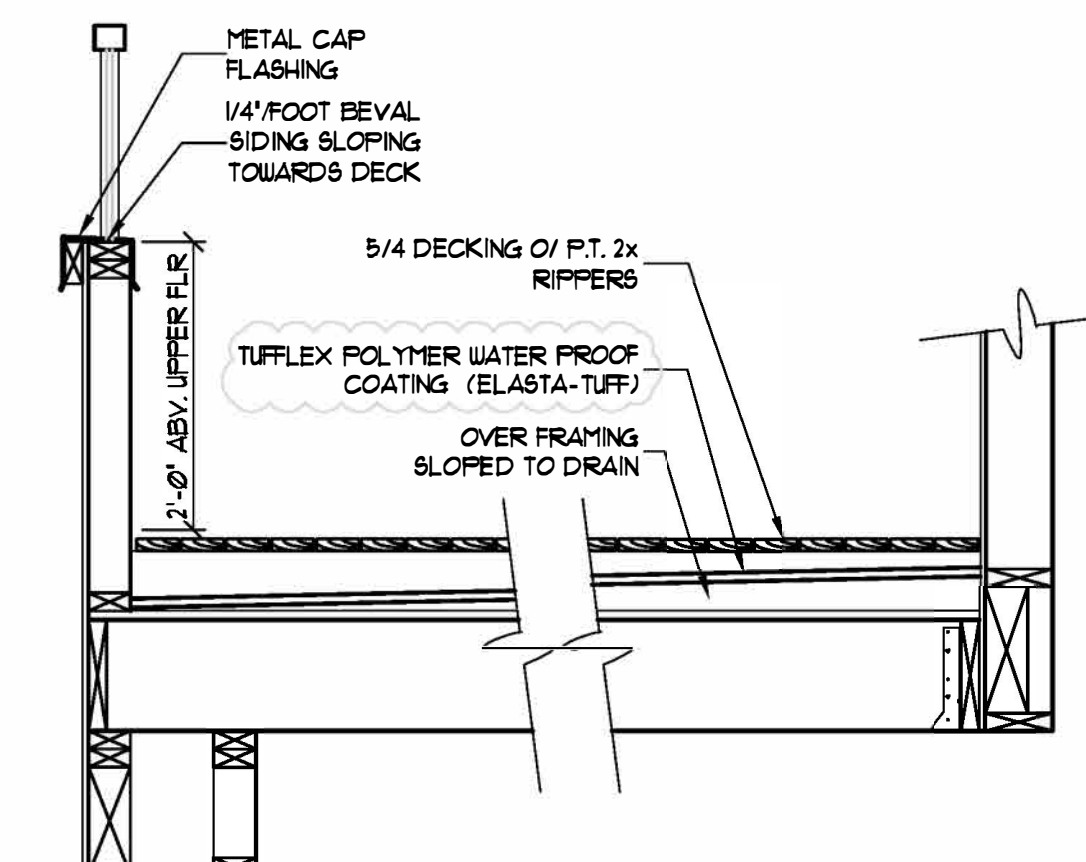
5 EAVE DETAIL
3/4"=1'-0"



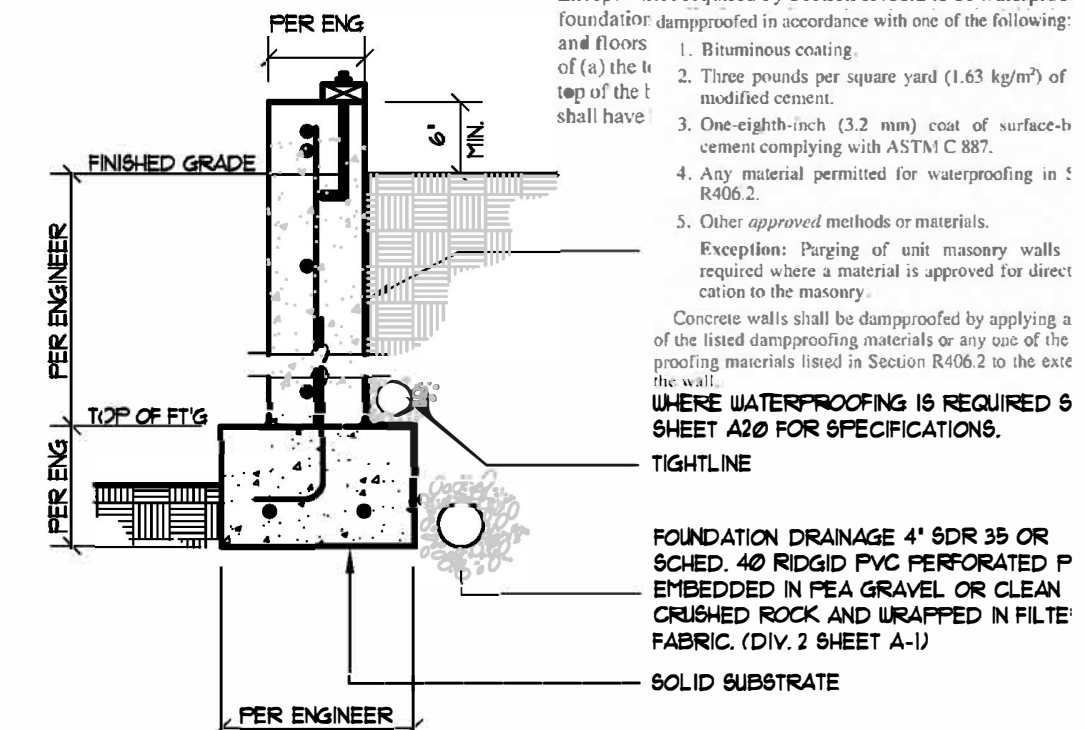
6 SKYLIGHT FLARE WELL DETAIL
3/4"=1'-0"



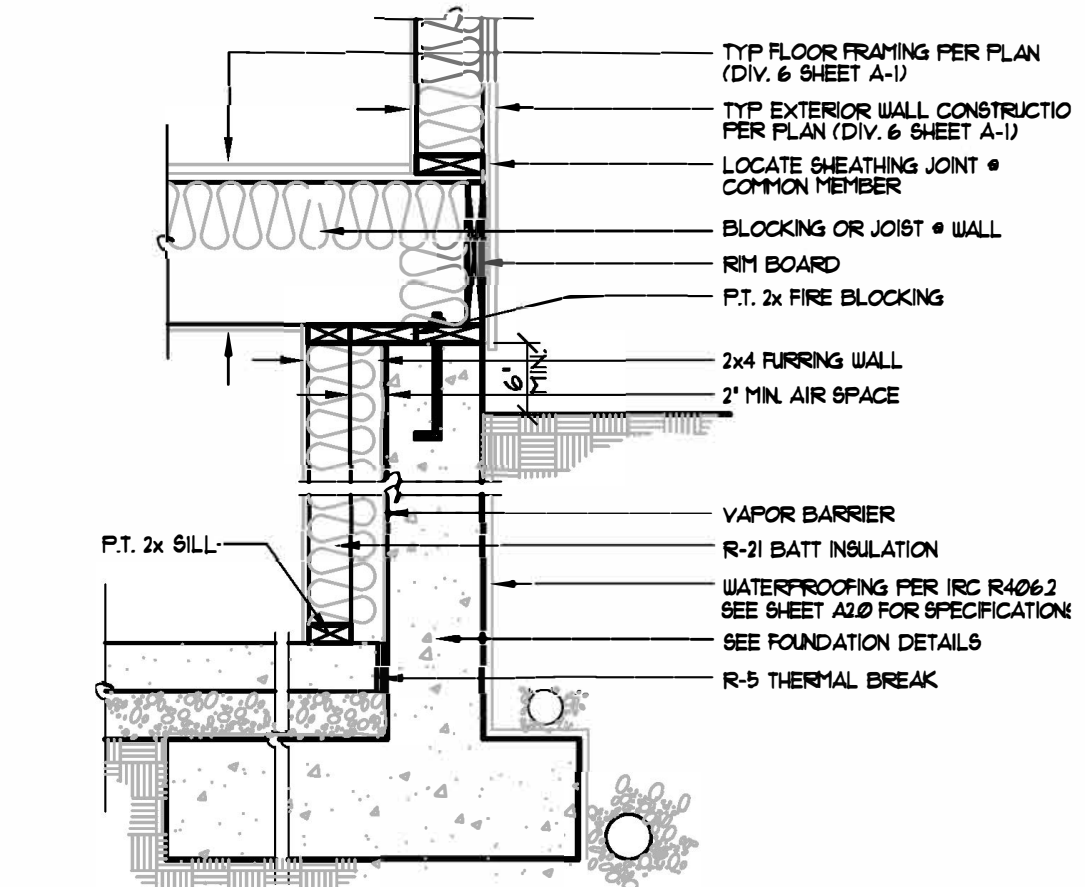
7 STANDARD RAIL DETAIL
1 1/2"=1'-0"



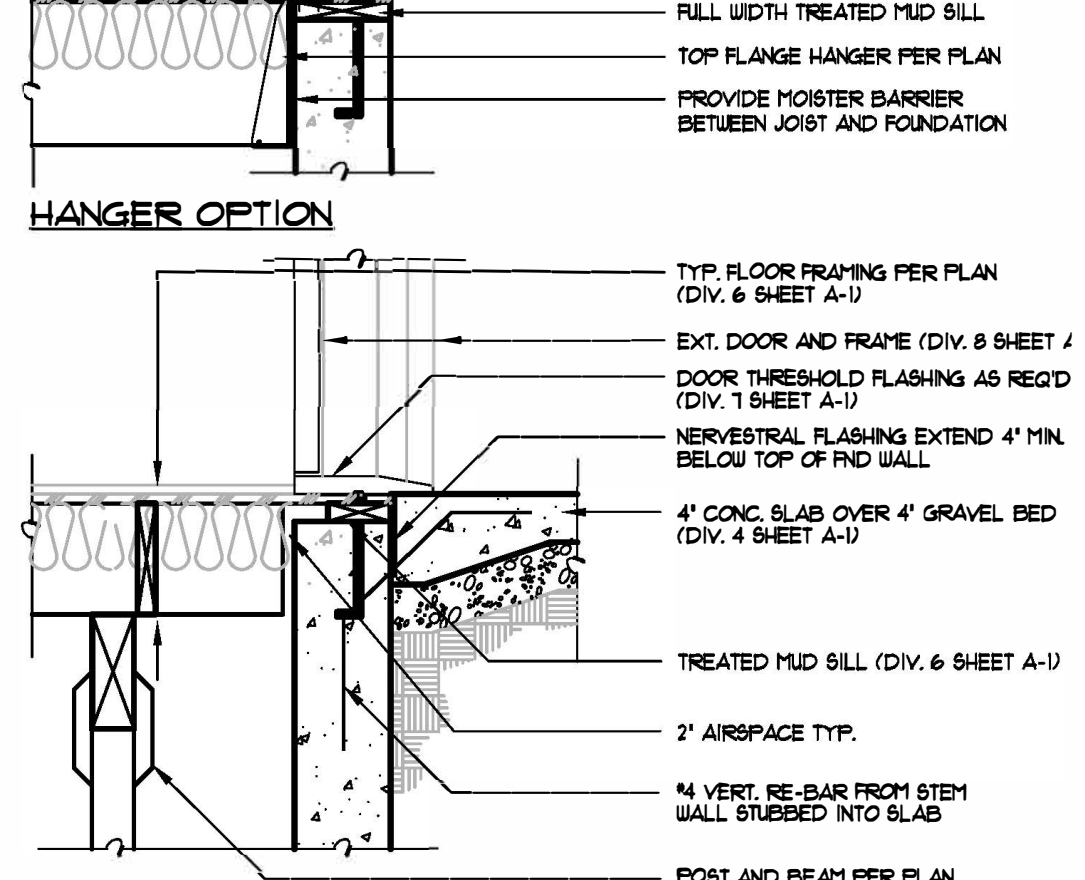
8 DECK FRAMING DETAIL
3/4"=1'-0"



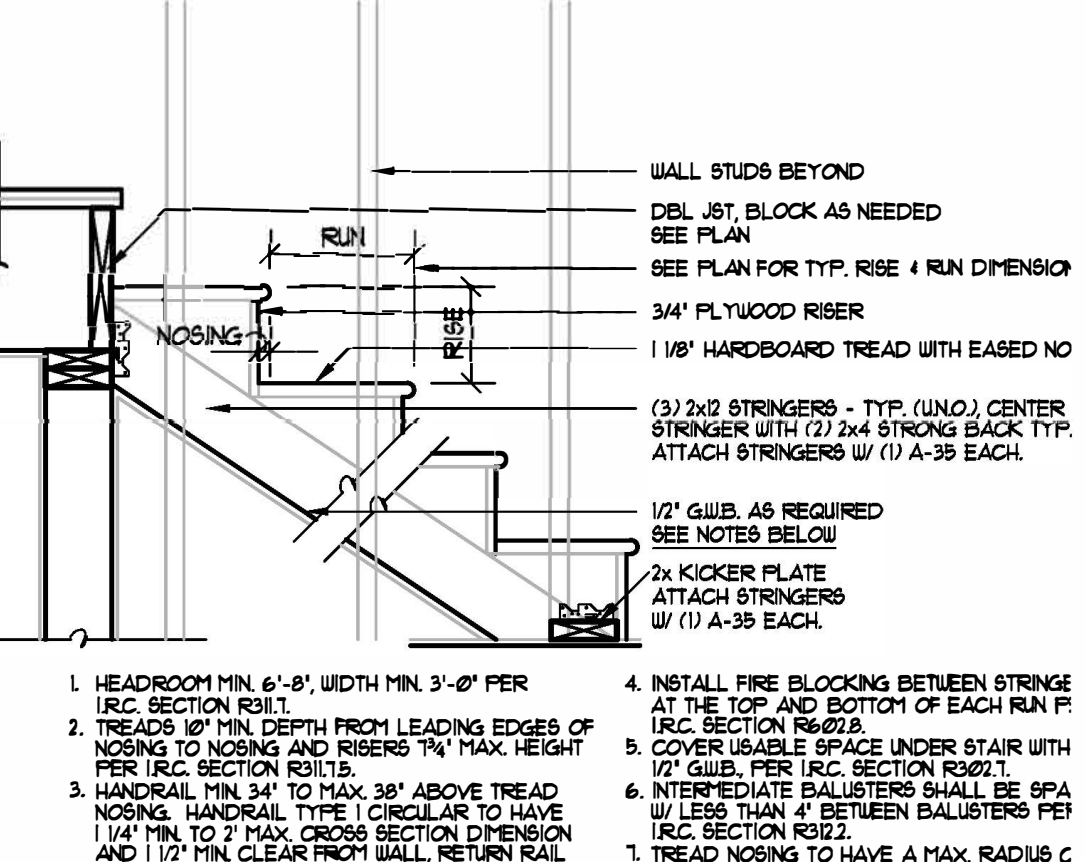
1 DAMP PROOFING DETAIL
3/4"=1'-0"



2 FURRING DETAIL (NON INSULATED FL)
3/4"=1'-0"

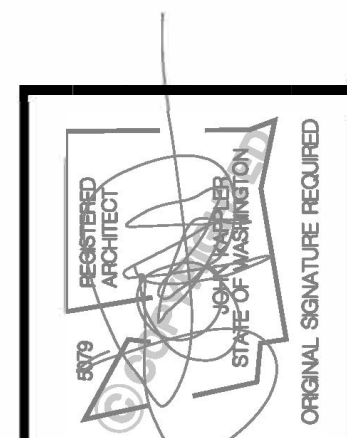


3 EXT. DOOR THRESHOLD DETAIL
3/4"=1'-0"



4 STAIR SECTION DETAIL
3/4"=1'-0"

R406.1 Concrete and masonry foundation dampproof/ Except where required by Section R406.2, to be waterproof foundation: dampproofed in accordance with one of the following: 1. Bituminous coating. 2. Three pounds per square yard (1.63 kg/m²) of modified cement. 3. One-eighth-inch (3.2 mm) coat of surface-applied cement complying with ASTM C 887. 4. Any material permitted for waterproofing in 1 R406.2. 5. Other approved methods or materials. Exception: Fining of cast masonry walls required where a material is approved for direct contact to the masonry. Concrete walls shall be dampproofed by applying a of the listed dampproofing materials or any one of the products materials listed in Section R406.2 to the face of the wall. **WHERE WATERPROOFING IS REQUIRED 5 SHEET A210 FOR SPECIFICATIONS. TIGHTLINE.** FOUNDATION DRAINAGE 4" SDR 35 OR SCHED. 40 RIGID PVC PERFORATED P EMBEDDED IN PEA GRAVEL OR CLEAN CRUSHED ROCK AND UNRAFFED IN FILTE FABRIC. (DIV. 2 SHEET A-1) SOLID SUBSTRATE



Date	By	Description
01/26/22	SM	PERMIT SET
05/19/22	SM	JURISDICTIONAL COMMENTS

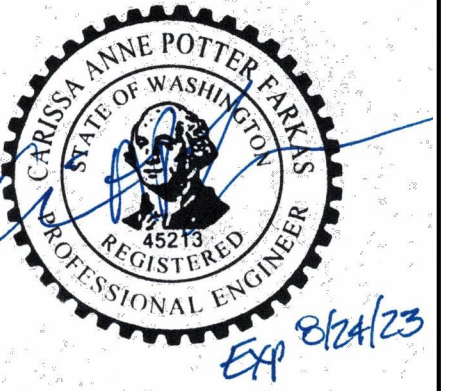
Jabooda Homes
61st Ave Residence
Mercer Island, Wa 98040
3038 61st Ave SE
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TITLE
JOB NO.: 210421
STARTING NO.: 2104203

SHEET
D1

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These drawings were prepared for the
"3038 61st Ave. SE, New Residence
Project" in Mercer Island, WA. They are
not intended for use on any other project.

PROJECT TITLE

61ST AVENUE
RESIDENCE

ADDRESS

3038 61st Avenue SE.,
Mercer Island, WA
98040

No.	Date	Issue
	12.21.21	Coordination
	01.03.22	Coordination
	01.24.22	Building Permit
⚠	04.26.22	Correction
	04.24.23	Coordination
⚠	04.26.23	Revision

SHEET CONTENTS

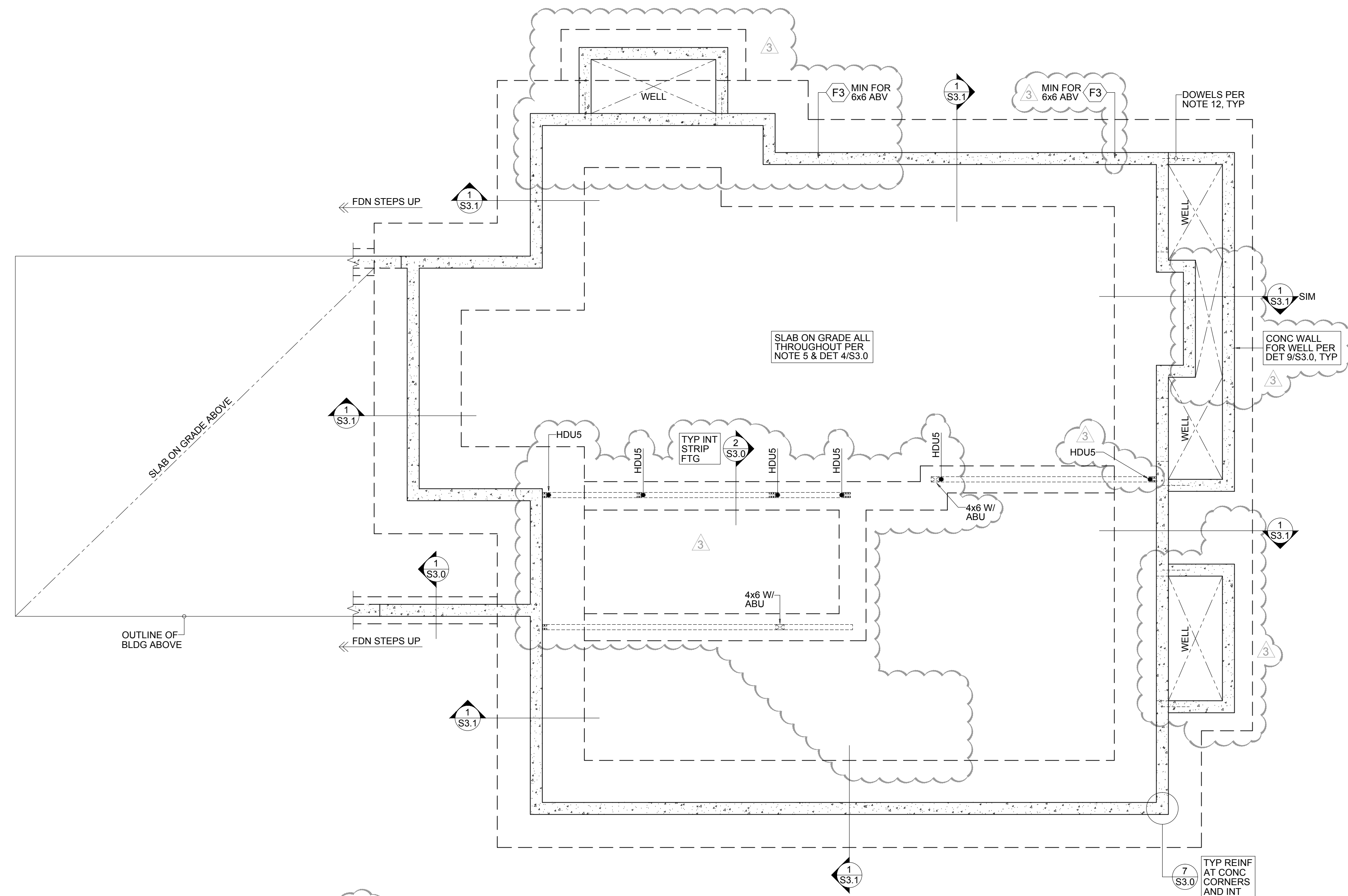
FOUNDATION PLAN

JOB NO. 2147

SHEET NO.

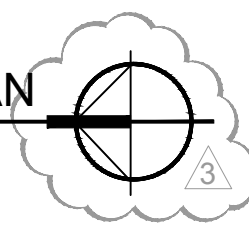
S2.0

DPD APPROVAL



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



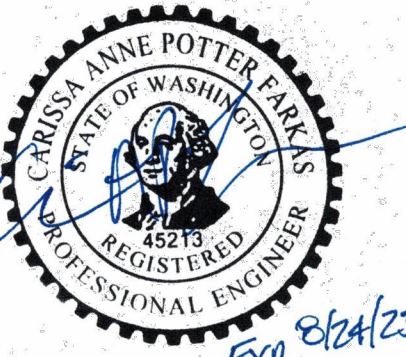
PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- HDUXX / STDXX INDICATES VERTICAL HOLD-DOWN AT ENDS OF SHEAR WALL ABOVE. REFER TO PLAN, DETAILS AND MFR SPECS FOR INSTALLATION REQUIREMENTS.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE. THE BOTTOM OF ALL INTERIOR FOOTINGS SHALL BE 12" MINIMUM BELOW GRADE.
- STRIP FOOTINGS TO BE CENTERED UNDER BEARING WALLS AND CONCRETE WALLS, UNO ON PLAN. PAD FOOTINGS TO BE CENTERED UNDER POST.
- SLAB ON GRADE : 4" THK CONC SLAB OVER 10 MIL VAPOR BARRIER OVER INSULATION PER ARCH, ON 6" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL. REINFORCE WITH 6 x 6 W/1.4 x W1.4 WWF.
- HDU5 INDICATES VERTICAL HOLD-DOWN AT ENDS OF SHEAR WALL ABOVE. REFER TO PLAN, DETAILS AND MFR SPECS FOR INSTALLATION REQUIREMENTS.
- FOR POSTS WITH ABU BASE AS NOTED ON PLAN, USE 5/8" BOLT EPOXY EMBED 4" MIN INTO CONCRETE WALL AND W/ (12) 16d INTO POST. BEAR POST DIRECTLY ON ABU BASE. DO NOT BEAR ON SILL PLATES. PACK ABU BASE SOLID WITH NON-SHRINK GROUT. REFER TO MFR FOR OTHER INSTALLATION REQUIREMENTS.
- FOR STEPPED FOUNDATIONS. SEE TYP DETAIL 6/S3.0. STEPPED DOWN FOOTINGS IF SHOWN ON PLAN ARE INDICATIVE ONLY. CONTRACTOR TO DETERMINE WHERE THEY ARE REQUIRED.
- ⚠ INDICATES FOOTING TYPE. SEE FOOTING SCHEDULE FOR SIZE AND REINFORCING.
- PROVIDE #4 x 18" LG DOWELS AT COLD JOINTS. SPACING TO MATCH CONC WALL HORIZ REINFORCEMENT. DOWELS MAY BE EPOXY EMBED, 4" MIN. REFER TO ANCHORAGE NOTES ON S1.0 FOR MORE INFORMATION
- FOR CONSTRUCTION JOINT IN CONC WALLS SEE DETAIL 9/S3.1. FOR CRACK CONTROL JOINT IN CONC WALLS SEE DETAIL 10/S3.1.
- ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALVANIZED OR STAINLESS STEEL PER STRUCTURAL NOTES. ALL WOOD MUST BE PROTECTED FROM MOISTURE PER ARCH.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

FOOTING SCHEDULE

TYPE	SIZE	REINFORCEMENT
⚠		
F3	3'-0"x3'-0"x12" DP	(5) #4 EA WAY, BOT

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PROJECT TITLE

61ST AVENUE
RESIDENCE

ADDRESS

3038 61st Avenue SE.,
Mercer Island, WA
98040

No.	Date	Issue
12.21.21		Coordination
01.03.22		Coordination
01.24.22		Building Permit
04.24.23		Coordination
04.26.23		Revision

SHEET CONTENTS

MAIN FLOOR
FRAMING PLAN

JOB NO. 2147

SHEET NO.

S2.1

DPD APPROVAL

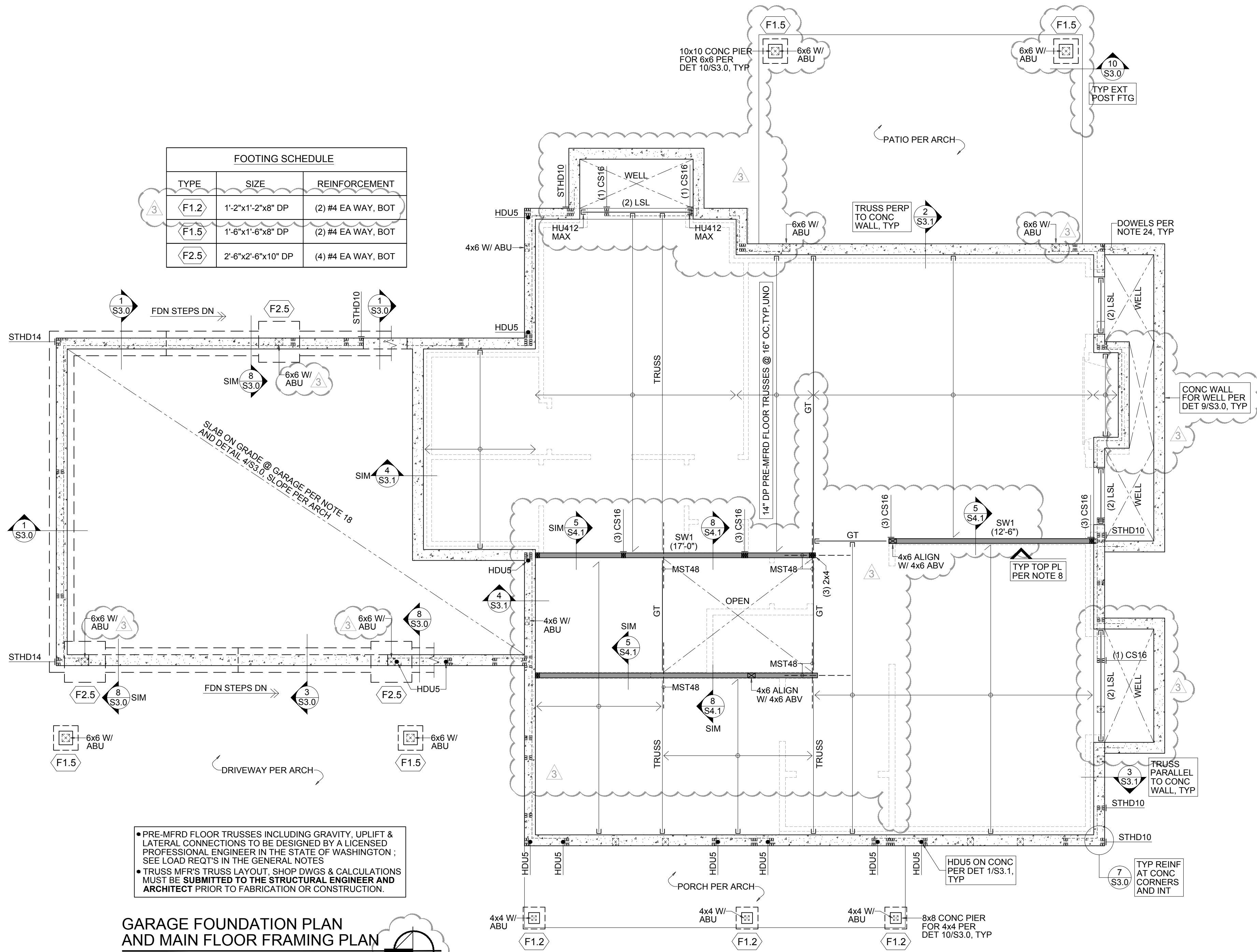
PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- FLOOR SHEATHING SHALL BE 3/4" THK TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). FACE GRAIN PERPENDICULAR TO SUPPORTS OVER FLOOR FRAMING. NAIL SHEATHING AT ALL FRAMED PANEL EDGES. GLUE AND NAIL AT ALL FRAMED PANEL EDGES WITH 8d @ 6" AND TO ALL INTERMEDIATE FRAMING @ 12". PROVIDE 1/8" CLEARANCE BETWEEN SHEATHING PANELS.
- FLOOR FRAMING SHALL BE 14" DEEP PREFABRICATED FLOOR TRUSSES @ 16" OC. UNO. TRUSS DESIGN AND CONNECTIONS TO BE PROVIDED BY MFR. SEE STRUCT NOTES FOR DESIGN REQ'TS.
- STAIR LANDING FRAMING SHALL BE 2x10 @ 16" OC. TYPICAL JOIST HANGERS TO BE SIMPSON LUS OR JB. PROVIDE (2) 2x12 MIN FOR STAIR STRINGERS SUPPORT. STRINGERS AND BEAM AT LANDING CONNECTION BY OTHERS.
- HEADERS OVER DOOR AND WINDOW OPENINGS. SHALL BE (2) 2x8 MINIMUM. UNO ON PLAN. PROVIDE (2) TRIMMER STUDS MIN. AT EACH END OF ALL OPENINGS WIDER THAN 4'-0". UNO ON PLAN. FOR OPENINGS LESS THAN 4'-0", PROVIDE (1) TRIMMER STUD. UNO ON PLAN. PROVIDE CS16x48" LG STRAP. SEE DETAIL 3/S4.0 FOR TYPICAL CONSTRUCTION.
- PROVIDE (2) STUDS MINIMUM AT EACH END OF ALL BEAMS, UNO ON PLAN. BEAR BEAM FULLY ON POSTS AND PROVIDE POSITIVE CONNECTION BY EITHER A305 OR L174 CLIPS ON EACH SIDE OF BEAM OR WITH A PCZ, OR LPCZ CAP. UNO ON PLAN. SOLID VERTICAL GRAIN BLOCKING FOR WOOD POSTS SHALL BE PROVIDED THROUGH FLOORS TO CONTINUOUS SUPPORT BELOW.
- SW# (X'-X") INDICATES SHEAR WALL TYPE AND APPROXIMATE LENGTH. SEE DETAILS 1/S4.0 & 2/S4.0 FOR CONSTRUCTION REQ'TS.
- TOP PLATE CONSTRUCTION PER TYPICAL DETAIL 4/S4.0.
- STRUCTURAL MEMBERS SHOULD NOT BE SPLICED. PENETRATIONS AND NOTCHES THRU STRUCTURAL MEMBERS MUST BE APPROVED BY THE ENGINEER PRIOR TO DRILLING.
- INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12". NAIL ALL MULTI-JOIST / BEAMS TOGETHER WITH TWO ROWS OF 16d @ 12".
- LSL PER PLAN IS LSL 1 3/4" x 14" (1.5E). TYPICAL HANGERS ARE SIMPSON HU'S UNO ON PLAN.
- (X) CS16 INDICATES VERTICAL HOLD-DOWN STRAP AT END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QTY. SEE DETAILS 7/S4.0 AND 8/S4.0 FOR INSTALLATION REQUIREMENTS.
- HORIZONTAL STRAPS:
 - FASTEN STRAPS TO EACH MEMBER EQUALLY. PROVIDE BEAM OR BLKG (EA BAY) AS REQUIRED FOR NAILING. FASTEN BLKG TO JOISTS W/ (3) 16d AT EA END.
 - FOR CS16 HORIZONTAL STRAPS, FASTEN W/ 8d AT EVERY OTHER HOLE AT EACH MEMBER.
 - FOR MST HORIZONTAL STRAPS, FASTEN W/ 16d AT EVERY OTHER HOLE AT EACH MEMBER.
 - REFER TO PLAN FOR STRAP QUANTITY, TYPE & LENGTH.
- HDUS / STHDXX INDICATES VERTICAL HOLD-DOWN AT ENDS OF SHEAR WALL ABOVE. REFER TO PLAN, DETAILS AND MFR SPECS FOR INSTALLATION REQUIREMENTS.
- DRAG STRUT (DS) : PROVIDE PANEL EDGE NAILING OF 8d @ 4" ALONG FULL LENGTH OF MEMBER.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE. THE BOTTOM OF ALL INTERIOR FOOTINGS SHALL BE 12" MINIMUM BELOW GRADE.
- STRIP FOOTINGS TO BE CENTERED UNDER BEARING WALLS AND CONCRETE WALLS. PAD FOOTINGS TO BE CENTERED UNDER POST.
- SLAB ON GRADE : 4" THK CONC SLAB OVER 10 MIL VAPOR BARRIER ON 6" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL. REINFORCE WITH 6 x 6 W/ 14 x W/ 14 WWF.
- FOR POSTS WITH ABU BASE AS NOTED ON PLAN, USE 5/8" Ø BOLT EPOXY EMBED 4" MIN INTO CONCRETE WALL AND W/ (12) 16d INTO POST. BEAR POST DIRECTLY ON ABU BASE. DO NOT BEAR ON SILL PLATES. PACK ABU BASE SOLID WITH NON-SHRINK GROUT. REFER TO MFR FOR OTHER INSTALLATION REQUIREMENTS.
- FOR STEPPED FOUNDATIONS, SEE TYP DETAIL 6/S3.0. STEPPED DOWN FOOTINGS IF SHOWN ON PLAN ARE INDICATIVE ONLY. CONTRACTOR TO DETERMINE WHERE THEY ARE REQUIRED.
- (F#) INDICATES FOOTING TYPE. SEE FOOTING SCHEDULE FOR SIZE AND REINFORCING.
- SITE RETAINING WALL IF REQUIRED, TO BE PER TYPICAL DETAIL 9/S3.0. REFER TO ARCH OR GEOTECH FOR LOCATIONS.
- PROVIDE #4 x 18" LG DOWELS AT COLD JOINTS. SPACING TO MATCH CONC WALL HORIZ REINFORCEMENT. DOWELS MAY BE EPOXY EMBED, 4" MIN. REFER TO ANCHORAGE NOTES ON S1.0 FOR MORE INFORMATION
- FOR CONSTRUCTION JOINT IN CONC WALLS SEE DETAIL 11A/S3.0. FOR CRACK CONTROL JOINT IN CONC WALLS SEE DETAIL 11B/S3.0.
- PORCH, PATIO, WOOD STAIRS AND RAILINGS BY OTHERS.
- ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALVANIZED OR STAINLESS STEEL PER STRUCTURAL NOTES. ALL WOOD MUST BE PROTECTED FROM MOISTURE PER ARCH.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

WOOD FRAME WALL SCHEDULE:

	PLAN VIEW
ALL EXTERIOR WALLS	• 2x6 STUDS @ 16" OC
INTERIOR BEARING WALLS	• 2x4 STUDS @ 16" OC UNO ON ARCH DWGS
NON LOAD WALLS	• PER ARCH

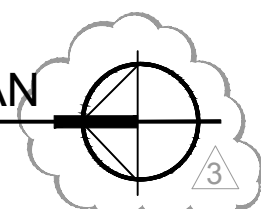
FOOTING SCHEDULE		
TYPE	SIZE	REINFORCEMENT
F1.2	1'-2"x1'-2"x8" DP	(2) #4 EA WAY, BOT
F1.5	1'-6"x1'-6"x8" DP	(2) #4 EA WAY, BOT
F2.5	2'-6"x2'-6"x10" DP	(4) #4 EA WAY, BOT



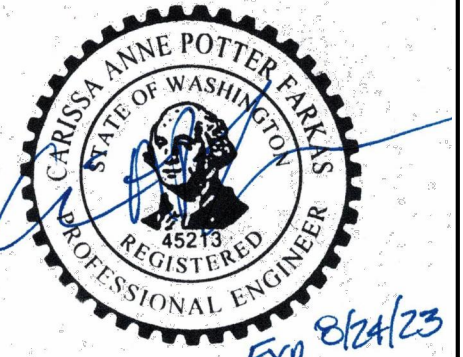
• PRE-MFRD FLOOR TRUSSES INCLUDING GRAVITY, UPLIFT & LATERAL CONNECTIONS TO BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF WASHINGTON. SEE LOAD REQ'TS IN THE GENERAL NOTES
• TRUSS MFR'S TRUSS LAYOUT, SHOP DWGS & CALCULATIONS MUST BE SUBMITTED TO THE STRUCTURAL ENGINEER AND ARCHITECT PRIOR TO FABRICATION OR CONSTRUCTION.

GARAGE FOUNDATION PLAN
AND MAIN FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



ENGINEER'S SEAL



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04.24.23		Coordination
04.26.23		Revision

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UPPER FLOOR
FRAMING PLAN

JOB NO. 2147

SHEET NO.

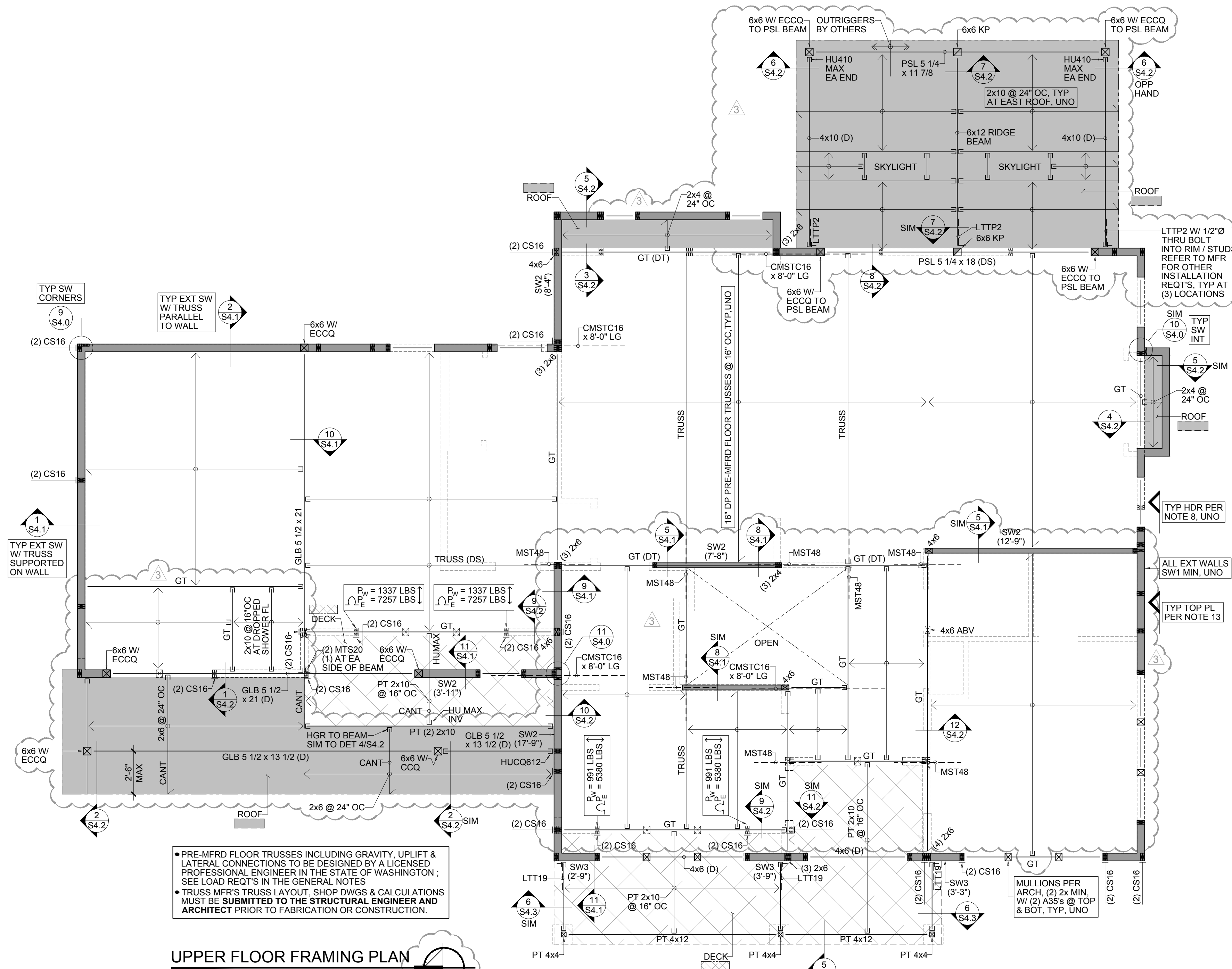
S2.2

DPD APPROVAL

PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- ROOF RAFTERS PER PLAN. TYPICAL JOIST HANGERS TO BE SIMPSON LUS, LRUZ OR LSSR.
- ROOF SHEATHING SHALL BE 1/2" THK A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8d @ 6" AND TO ALL INTERMEDIATE FRAMING @ 12". PROVIDE 1/8" CLEARANCE BETWEEN SHEATHING PANELS.
- FLOOR AND DECK SHEATHING SHALL BE 3/4" THK TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER FLOOR FRAMING. NAIL SHEATHING AT ALL FRAMED PANEL EDGES. GLUE AND NAIL AT ALL FRAMED PANEL EDGES WITH 8d @ 6" AND TO ALL INTERMEDIATE FRAMING @ 12". PROVIDE 1/8" CLEARANCE BETWEEN SHEATHING PANELS.
- FLOOR FRAMING SHALL BE 16" DEEP PREFABRICATED FLOOR TRUSSES @ 16" OC, UNO. TRUSS DESIGN AND CONNECTIONS TO BE PROVIDED BY MFR. SEE STRUCT NOTES FOR DESIGN REQ'TS.
- DECK JOISTS SHALL BE 2x10 @ 16" OC. TYPICAL JOIST HANGERS TO BE SIMPSON LUS OR JB. HOLES AND PENETRATIONS MUST BE APPROVED BY THE ENGINEER PRIOR TO DRILLING.
- STAIR LANDING FRAMING SHALL BE 2x10 @ 16" OC. TYPICAL JOIST HANGERS TO BE SIMPSON LUS OR JB. PROVIDE (2) 2x12 MIN FOR STAIR STRINGERS SUPPORT. STRINGERS AND BEAM AT LANDING CONNECTION BY OTHERS.
- IF HEADERS OVER OPENINGS ARE WITHIN THE RIM SPACE, THE RIM SHALL ACT AS THE HEADER AND CONTINUOUS OVER OPENINGS AND MUST EXTEND BEYOND OPENINGS A MINIMUM OF 2'-0" EACH SIDE. JOISTS HANG TO RIM AT OPENINGS. PROVIDE (2) TRIMMER STUDS MIN. AT EACH END OF OPENINGS WIDER THAN 4'-0" UNO ON PLAN. FOR OPENINGS LESS THAN 4'-0", PROVIDE (1) TRIMMER STUD MINIMUM. PROVIDE HTS20 STRAPS WHERE TOP PLATES ARE REMOVED. REFER TO DETAIL 5/S4.0 AND DETAIL 6/S4.0 FOR TYPICAL CONSTRUCTION REQUIREMENTS. FOR DROPPED HEADERS, SEE NOTE 9.
- FOR DROPPED HEADERS OVER DOOR AND WINDOW OPENINGS, PROVIDE (2) 2x8 MINIMUM. UNO ON PLAN. PROVIDE (2) TRIMMER STUDS MIN. AT EACH END OF ALL OPENINGS WIDER THAN 4'-0", UNO ON PLAN. FOR OPENINGS LESS THAN 4'-0", PROVIDE (1) TRIMMER STUD. UNO ON PLAN. PROVIDE CS16x48" LG STRAP. SEE DETAIL 3/S4.0 FOR TYPICAL CONSTRUCTION FOR HEADERS WITHIN THE RIM SPACE, SEE NOTE 8.
- PROVIDE (2) STUDS MINIMUM AT EACH END OF ALL BEAMS. UNO ON PLAN. BEAR BEAM FULLY ON POSTS AND PROVIDE POSITIVE CONNECTION BY EITHER A35 OR LTP4 CLIPS ON EACH SIDE OF BEAM OR WITH A PCZ OR LPCZ CAP. UNO ON PLAN. SOLID VERTICAL GRAIN BLOCKING FOR WOOD POSTS SHALL BE PROVIDED THROUGH FLOORS TO CONTINUOUS SUPPORT BELOW.
- SW# (X'-X") INDICATES SHEAR WALL TYPE AND APPROXIMATE LENGTH. SEE DETAILS 1/S4.0 & 2/S4.0 FOR CONSTRUCTION REQ'TS.
- ALL EXTERIOR WALLS SHALL BE SW1 MINIMUM, UNO ON PLAN.
- TOP PLATE CONSTRUCTION PER TYPICAL DETAIL 4/S4.0.
- LENGTH OF BEAMS WHERE INDICATED ARE APPROXIMATE. CONTRACTOR TO VERIFY EXACT LENGTH.
- STRUCTURAL MEMBERS SHOULD NOT BE SPLICED. PENETRATIONS AND NOTCHES THRU STRUCTURAL MEMBERS MUST BE APPROVED BY THE ENGINEER PRIOR TO DRILLING.
- INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12". NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH TWO ROWS OF 16d @ 12".
- LSL PER PLAN IS LSL 1 3/4" x 16" (1.5E). TYPICAL HANGERS ARE SIMPSON HUS UNO ON PLAN.
- (X) CS16 INDICATES VERTICAL HOLD-DOWN STRAP AT END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QTY. SEE DETAILS 7/S4.0 AND 8/S4.0 FOR INSTALLATION REQUIREMENTS.
- HORIZONTAL STRAPS:
 - FASTEN STRAPS TO EACH MEMBER EQUALLY. PROVIDE BEAM OR BLKG (EA BAY) AS REQUIRED FOR NAILING. FASTEN BLKG TO JOISTS W/ (3) 16d AT EA END.
 - FOR CS16 HORIZONTAL STRAPS, FASTEN W/ 8d AT EVERY OTHER HOLE AT EACH MEMBER.
 - FOR HTS20 HORIZONTAL STRAPS, FASTEN W/ (12) 10d AT EACH MEMBER. (24) 10d TOTAL.
 - FOR MST HORIZONTAL STRAPS, FASTEN W/ 16d AT EVERY OTHER HOLE AT EACH MEMBER.
 - FOR CMSTC16 HORIZONTAL STRAPS, FASTEN W/ 12d AT EVERY OTHER HOLE AT EACH MEMBER.
 - REFER TO PLAN FOR STRAP QUANTITY, TYPE & LENGTH.
- BLOCKED FL DIAPHRAGM. PROVIDE 2x4 FLAT BLOCKING AT ALL UNFRAMED PANEL EDGES. NAIL SHEATHING TO BLKG W/ 8d @ 4".
- DRAG TRUSS (DT) : PROVIDE PANEL EDGE NAILING OF 8d @ 4" ALONG FULL LENGTH OF TOP CHORD. TRUSS MFR : DESIGN TRUSS FOR IN PLANE SHEAR OF 200 PLF FOR WIND AND 150 PLF FOR SEISMIC (MAX).
- DRAG STRUT (DS) : PROVIDE PANEL EDGE NAILING OF 8d @ 4" ALONG FULL LENGTH OF MEMBER.
- STAIRS AND RAILINGS BY OTHERS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

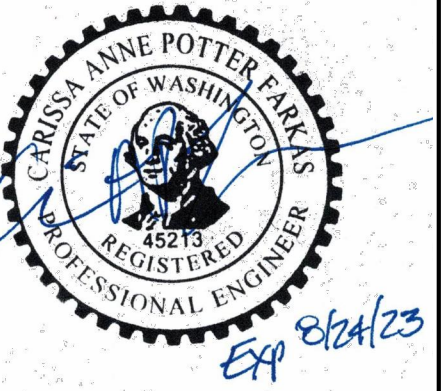
WOOD FRAME WALL SCHEDULE:	PLAN VIEW
ALL EXTERIOR WALLS	• 2x6 STUDS @ 16" OC
INTERIOR BEARING WALLS	• 2x4 STUDS @ 16" OC UNO ON ARCH DWGS
NON LOAD WALLS	• PER ARCH



• PRE-MFRD FLOOR TRUSSES INCLUDING GRAVITY, UPLIFT & LATERAL CONNECTIONS TO BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF WASHINGTON : SEE LOAD REQ'TS IN THE GENERAL NOTES
• TRUSS MFR'S TRUSS LAYOUT, SHOP DWGS & CALCULATIONS MUST BE SUBMITTED TO THE STRUCTURAL ENGINEER AND ARCHITECT PRIOR TO FABRICATION OR CONSTRUCTION.

UPPER FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

ENGINEER'S SEAL



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PROJECT TITLE

61ST AVENUE
RESIDENCE

ADDRESS

3038 61st Avenue SE.,
Mercer Island, WA
98040

No.	Date	Issue
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	01.24.22	Building Permit
	05.19.22	Correction
	04.24.23	Coordination
	04.26.23	Revision

SHEET CONTENTS

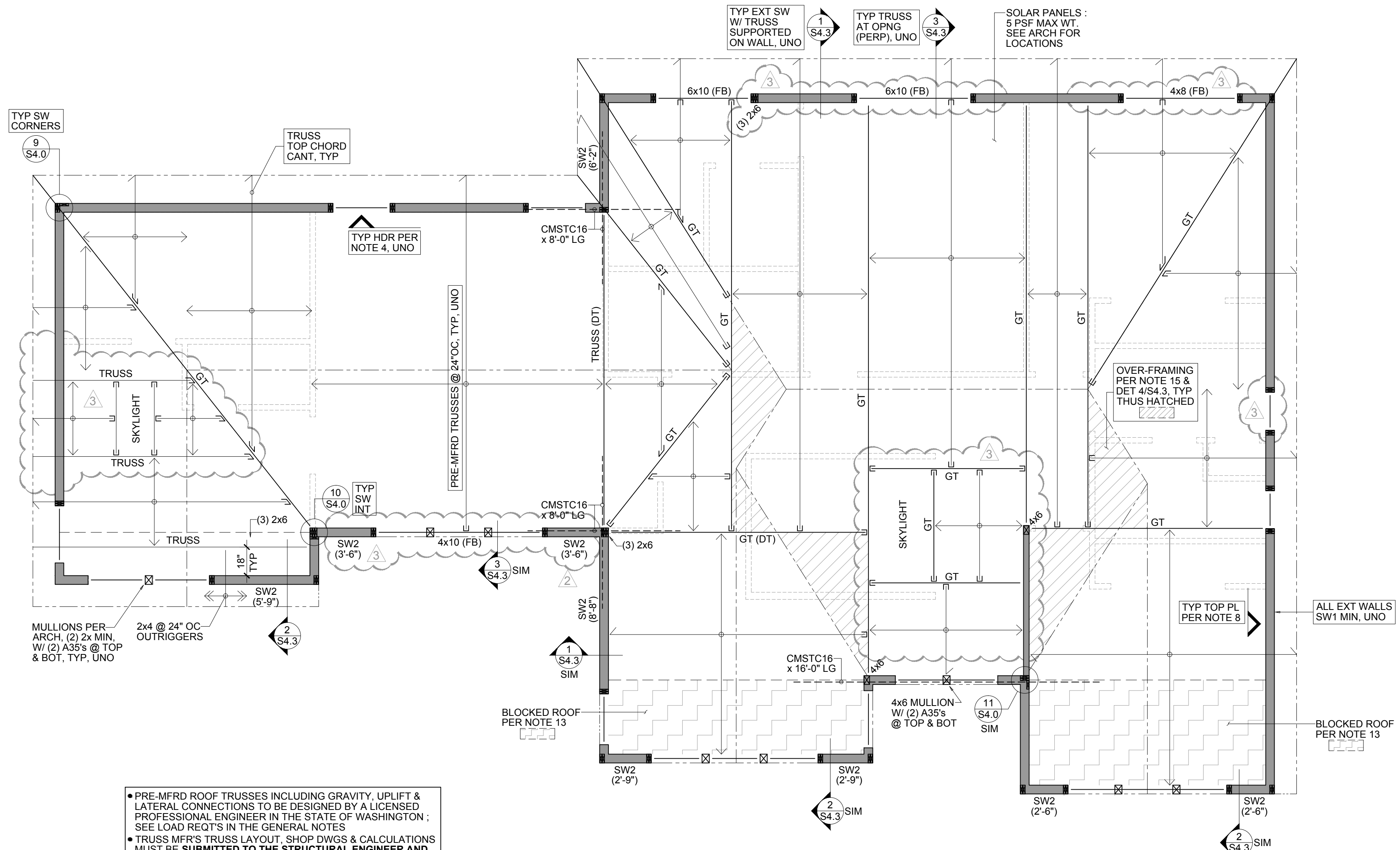
ROOF FRAMING PLAN

JOB NO. 2147

SHEET NO.

S2.3

DPD APPROVAL

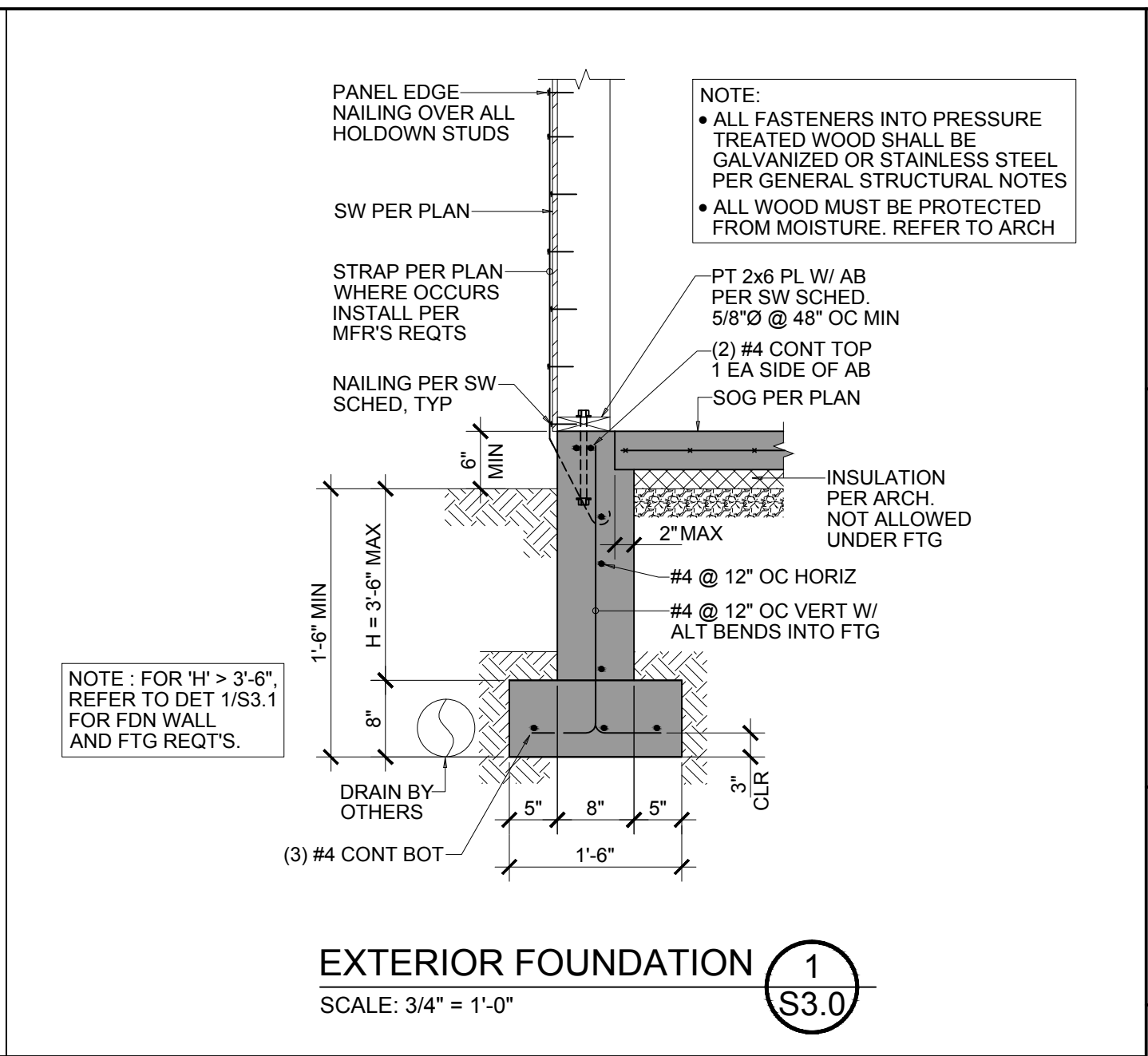
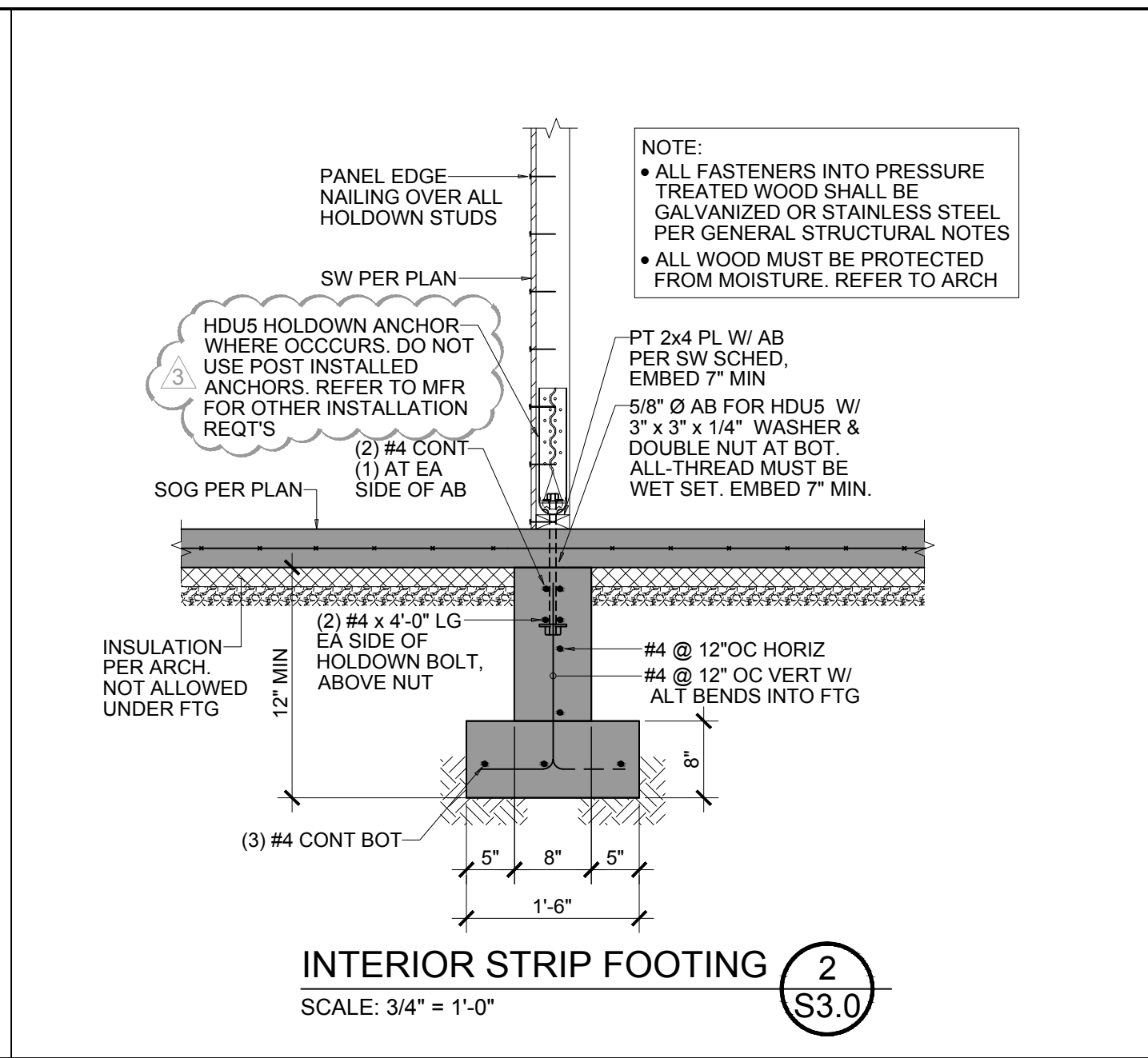
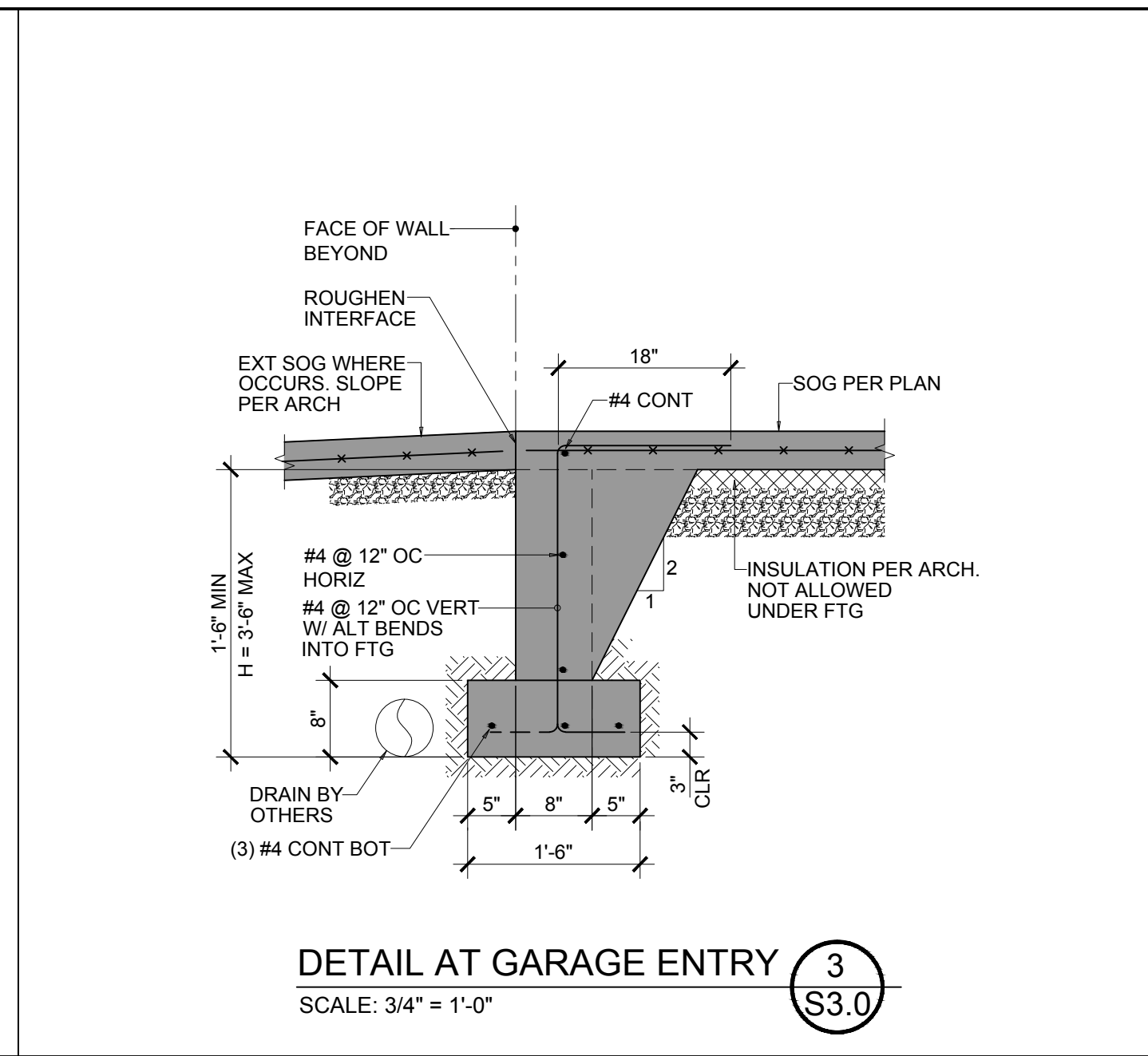
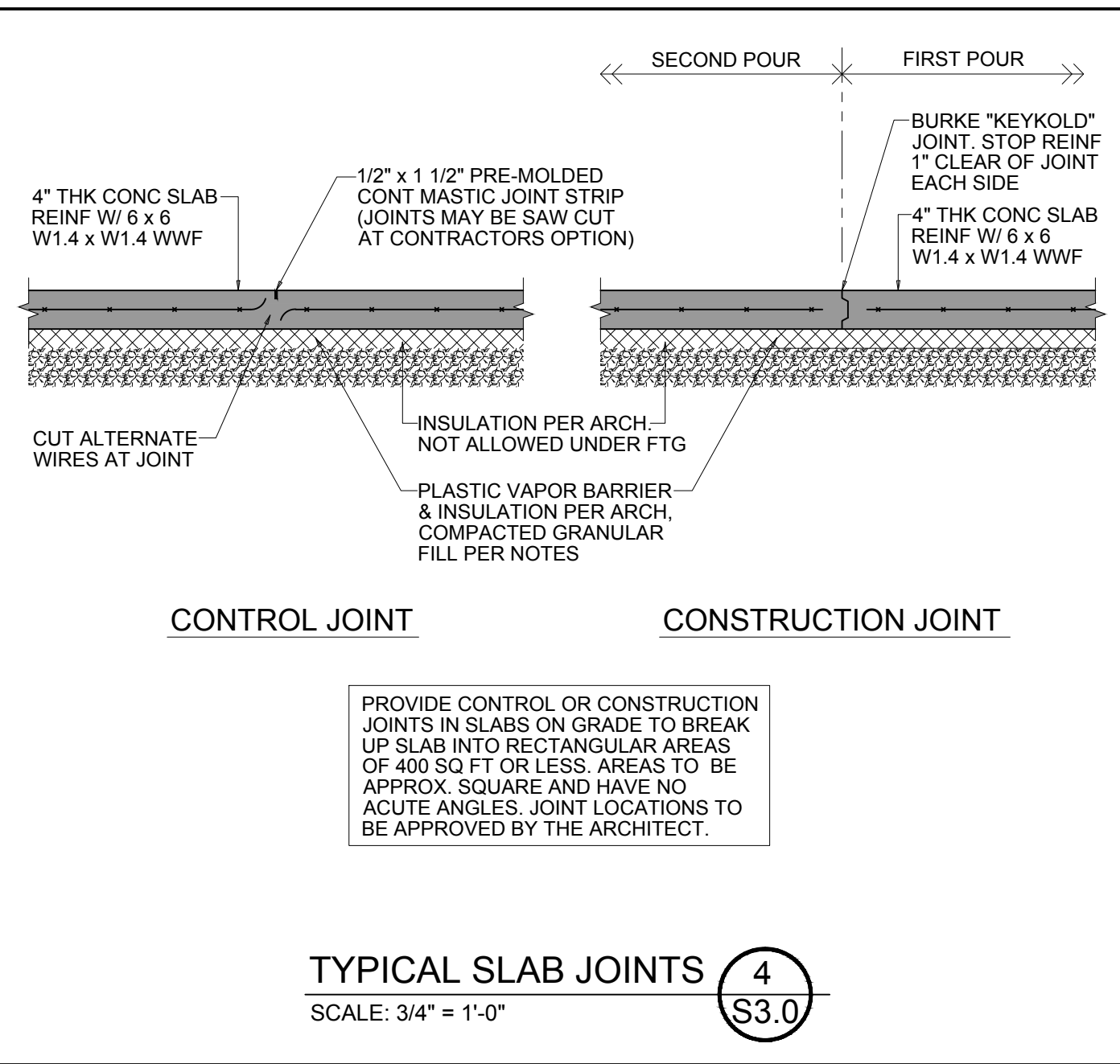


- PRE-MFRD ROOF TRUSSES INCLUDING GRAVITY, UPLIFT & LATERAL CONNECTIONS TO BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF WASHINGTON; SEE LOAD REQTS IN THE GENERAL NOTES
- TRUSS MFR'S TRUSS LAYOUT, SHOP DWGS & CALCULATIONS MUST BE SUBMITTED TO THE STRUCTURAL ENGINEER AND ARCHITECT PRIOR TO FABRICATION OR CONSTRUCTION.
- TRUSS PROFILE AND SLOPE PER ARCH, TYPICAL.

ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

- PLAN NOTES**
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 - ROOF SHEATHING SHALL BE 1/2" THK A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8d @ 6" AND TO ALL INTERMEDIATE FRAMING @ 12". PROVIDE 1/8" CLEARANCE BETWEEN SHEATHING PANELS.
 - ROOF FRAMING SHALL BE PREFABRICATED ROOF TRUSSES @ 24" OC. UNO ON PLAN. TRUSS DESIGN AND CONNECTIONS TO BE PROVIDED BY MFR. SEE STRUCT NOTES FOR DESIGN REQTS.
 - HEADERS OVER DOOR AND WINDOW OPENINGS, SHALL BE (2) 2x8 MINIMUM, UNO ON PLAN. PROVIDE (2) TRIMMER STUDS MIN. AT EACH END OF ALL OPENINGS WIDER THAN 4'-0". UNO ON PLAN. FOR OPENINGS LESS THAN 4'-0", PROVIDE (1) TRIMMER STUD, UNO ON PLAN. PROVIDE CS16x48" LG STRAP. SEE DETAIL 4/S4.0 FOR TYPICAL CONSTRUCTION.
 - PROVIDE (2) STUDS MINIMUM AT EACH END OF ALL BEAMS, UNO ON PLAN. BEAR BEAM FULLY ON POSTS AND PROVIDE POSITIVE CONNECTION BY EITHER A35 OR LTP4 CLIPS ON EACH SIDE OF BEAM OR WITH A PCZ, OR LPCZ CAP, UNO ON PLAN. SOLID VERTICAL GRAIN BLOCKING FOR WOOD POSTS SHALL BE PROVIDED THROUGH FLOORS TO CONTINUOUS SUPPORT BELOW.
 - SW# (X'-X") INDICATES SHEAR WALL TYPE AND APPROXIMATE LENGTH. SEE DETAILS 1/S4.0 & 2/S4.0 FOR CONSTRUCTION REQTS.
 - ALL EXTERIOR WALLS SHALL BE SW1 MINIMUM, UNO ON PLAN.
 - TOP PLATE CONSTRUCTION PER TYPICAL DETAIL 4/S4.0.
 - LENGTH OF BEAMS WHERE INDICATED ARE APPROXIMATE. CONTRACTOR TO VERIFY EXACT LENGTH.
 - STRUCTURAL MEMBERS SHOULD NOT BE SPLICED. PENETRATIONS AND NOTCHES THRU STRUCTURAL MEMBERS MUST BE APPROVED BY THE ENGINEER PRIOR TO DRILLING.
 - INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12". NAIL ALL MULTI-JOIST / BEAMS TOGETHER WITH TWO ROWS OF 16d @ 12".
 - HORIZONTAL STRAPS:
 - FASTEN STRAPS TO EACH MEMBER EQUALLY. PROVIDE BEAM OR BLKG (EA BAY) AS REQUIRED FOR NAILING. FASTEN BLKG TO JOISTS W/ (3) 16d AT EA END.
 - FOR CMSTC16 HORIZONTAL STRAPS, FASTEN W/ 12d AT EVERY OTHER HOLE AT EACH MEMBER.
 - REFER TO PLAN FOR STRAP QUANTITY, TYPE & LENGTH.
 - BLOCKED ROOF DIAPHRAGM. PROVIDE 2x4 FLAT BLOCKING AT ALL UNFRAMED PANEL EDGES. NAIL SHEATHING TO BLKG W/ 8d @ 4".
 - DRAG TRUSS (DT) - PROVIDE PANEL EDGE NAILING OF 8d @ 4" ALONG FULL LENGTH OF TOP CHORD. TRUSS MFR. DESIGN TRUSS FOR IN PLANE SHEAR OF 200 PLF FOR WIND AND 150 PLF FOR SEISMIC (MAX).
 - IN HATCHED ROOF AREA, OVERFRAMING TO BE 2x6'S @ 24 OC W/ VERT SUPPORTS TO TRUSSES BELOW AT NO MORE THAN 48" OC. TYP. REFER TO DETAIL 4/S4.3 FOR ADDITIONAL REQUIREMENTS.
 - REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

WOOD FRAME WALL SCHEDULE:	PLAN VIEW
ALL EXTERIOR WALLS	• 2x6 STUDS @ 16" OC
INTERIOR BEARING WALLS	• 2x4 STUDS @ 16" OC UNO ON ARCH DWGS
NON LOAD WALLS	• PER ARCH



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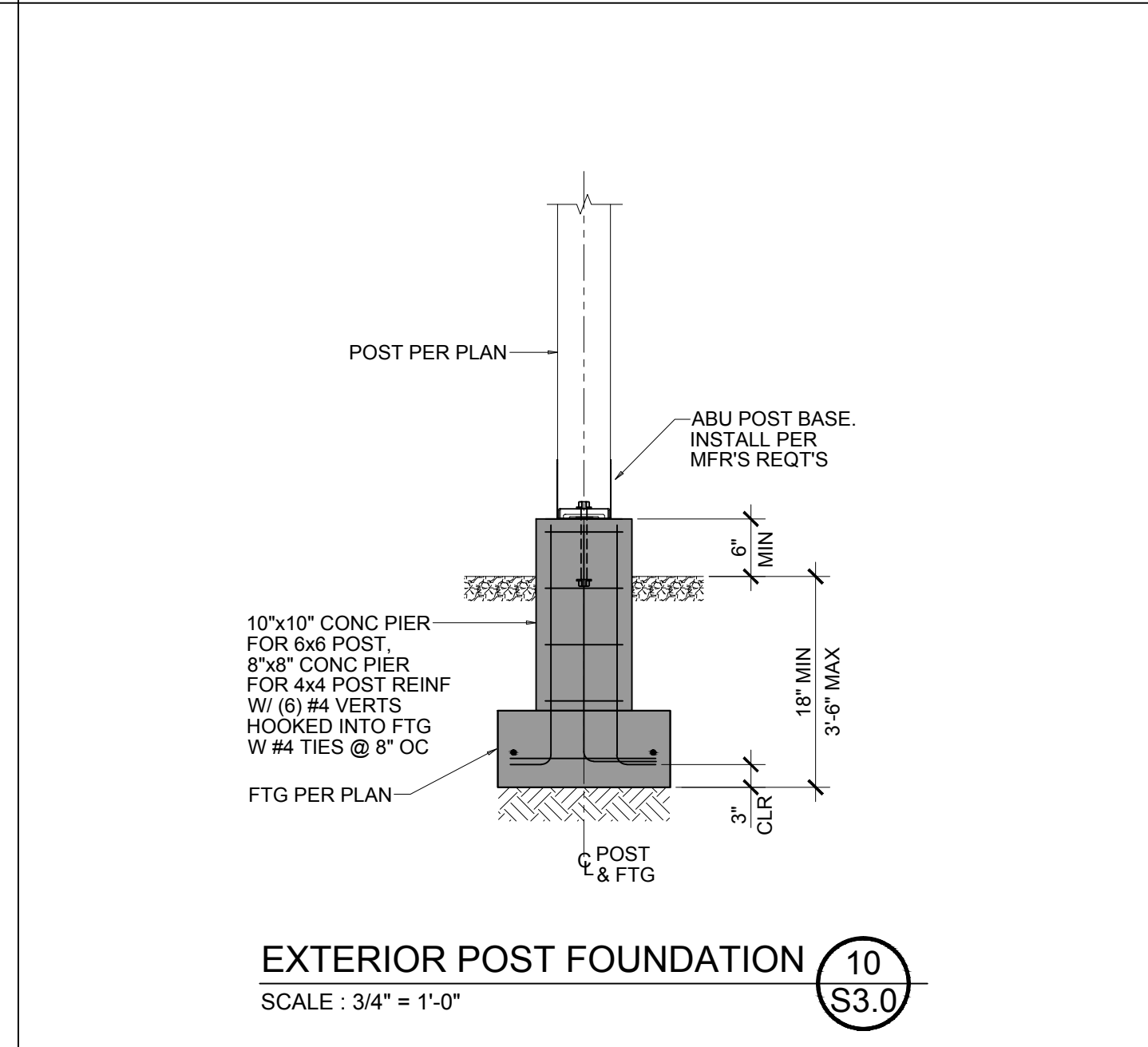
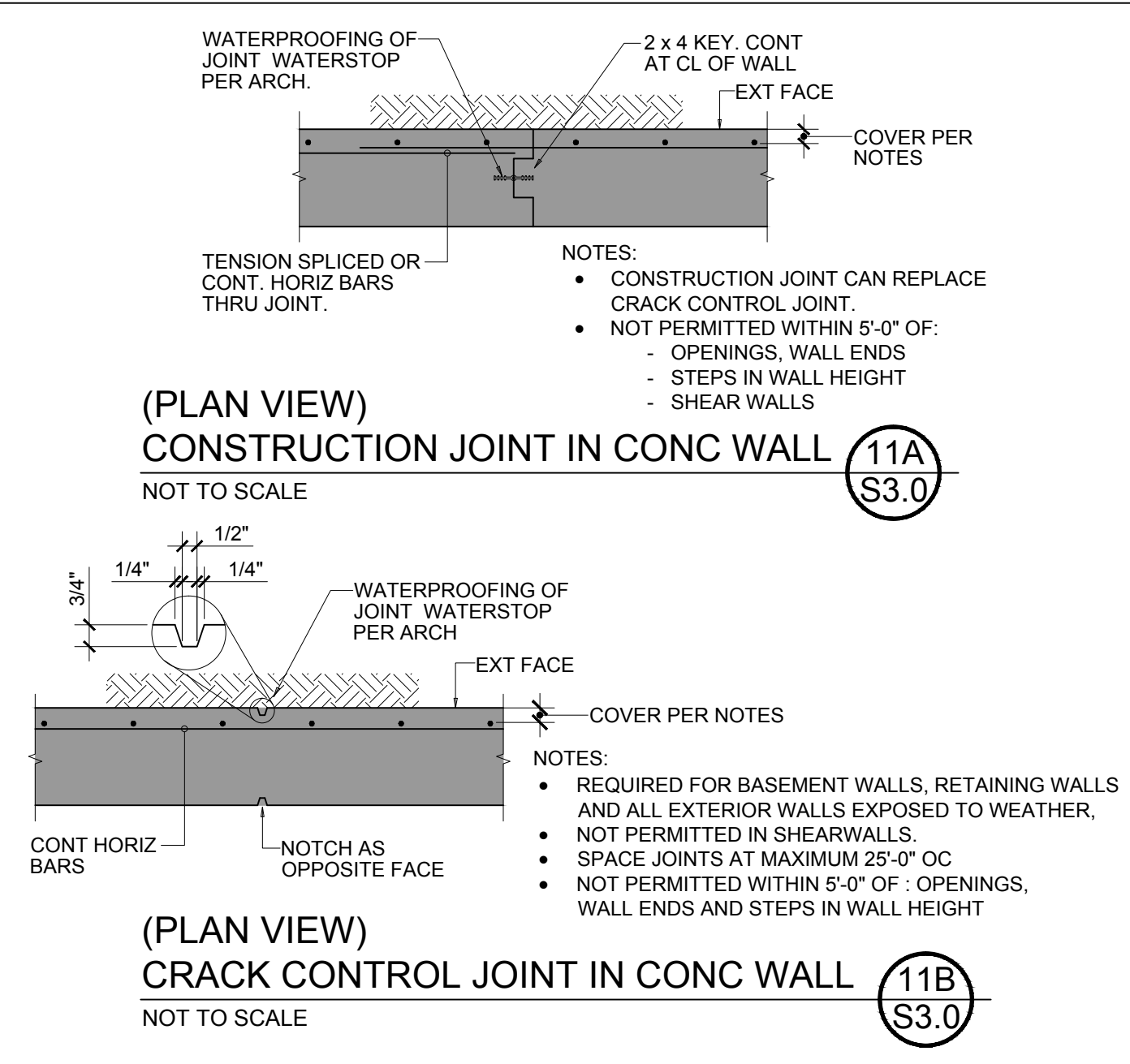
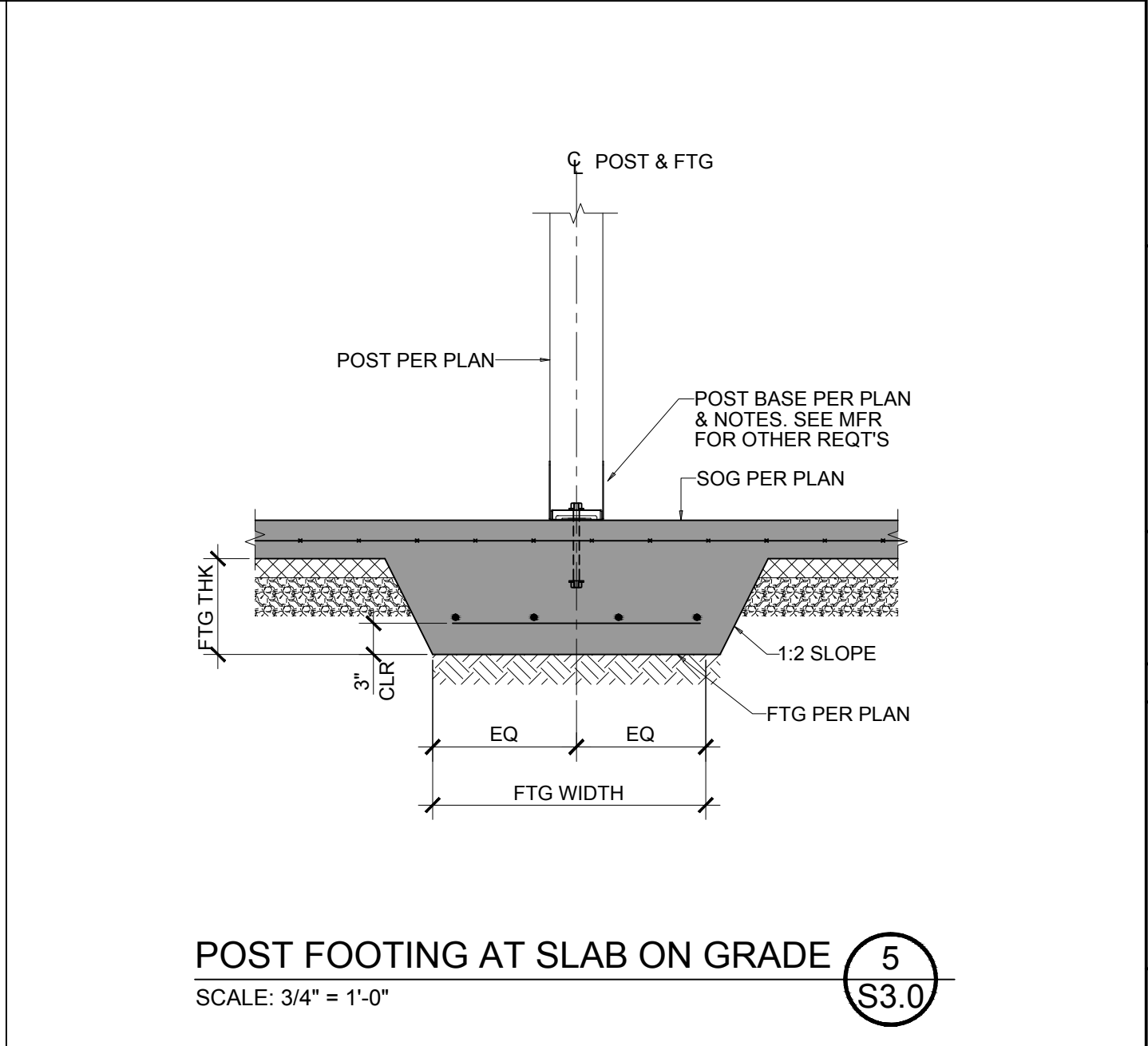
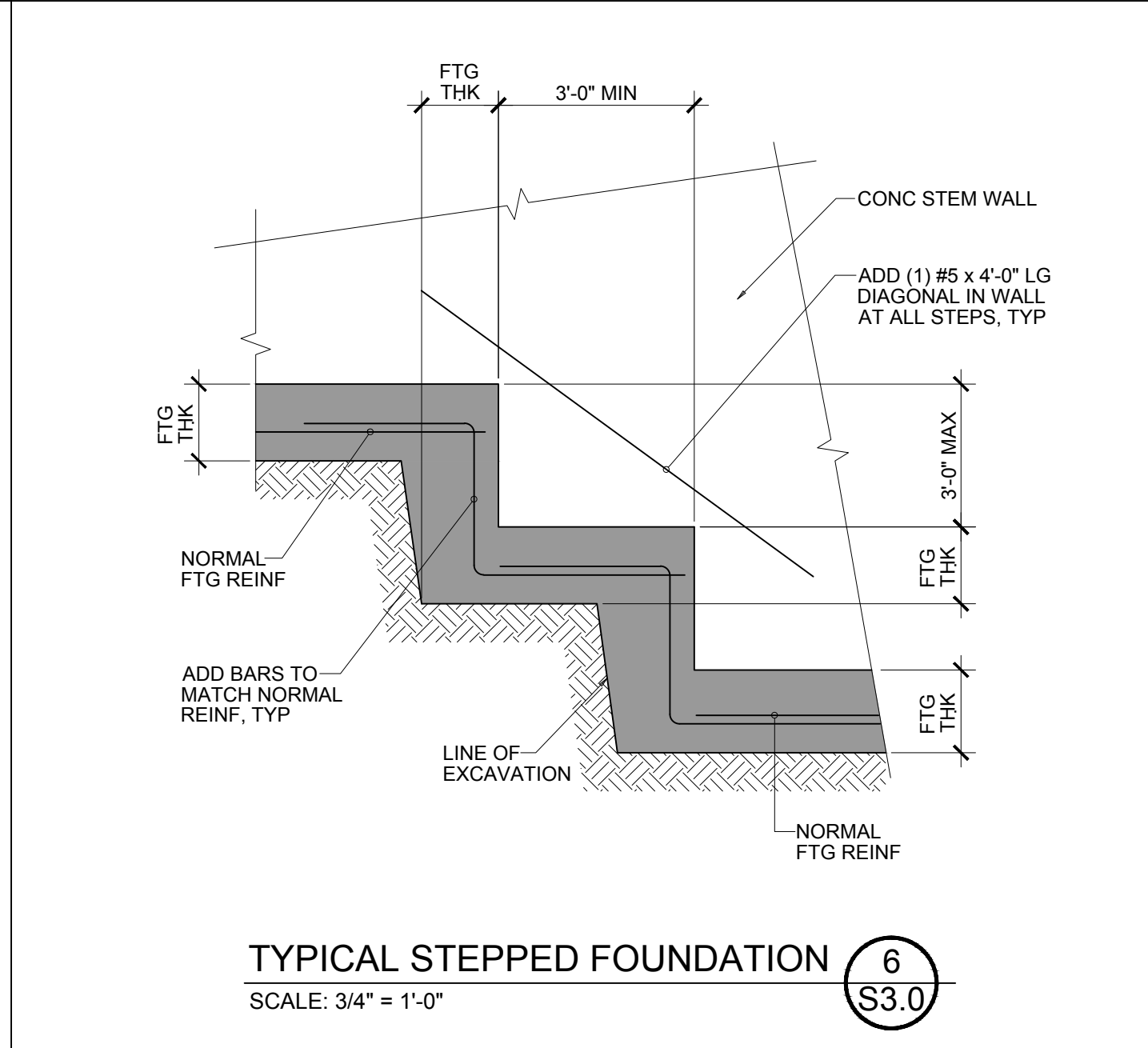
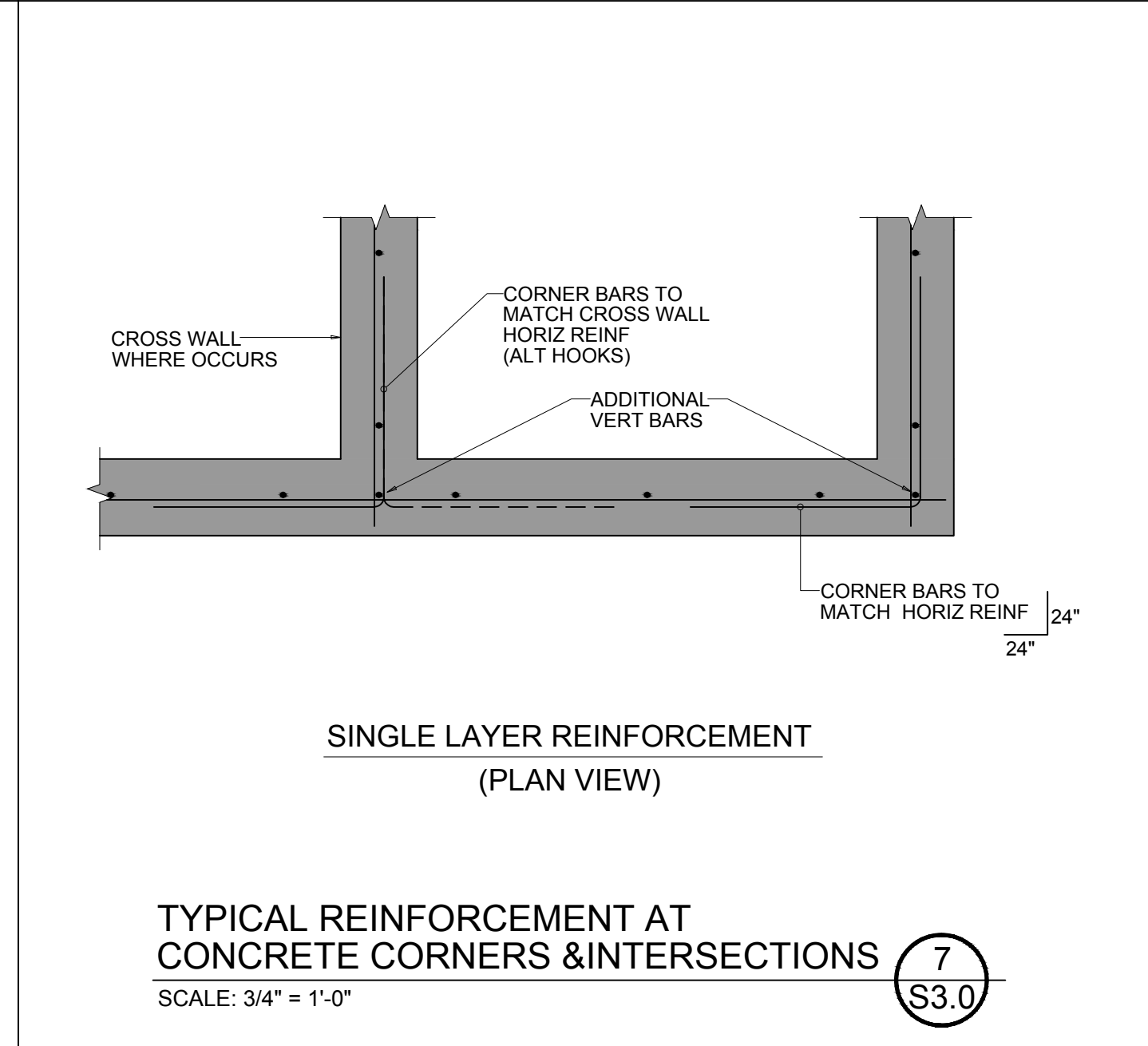
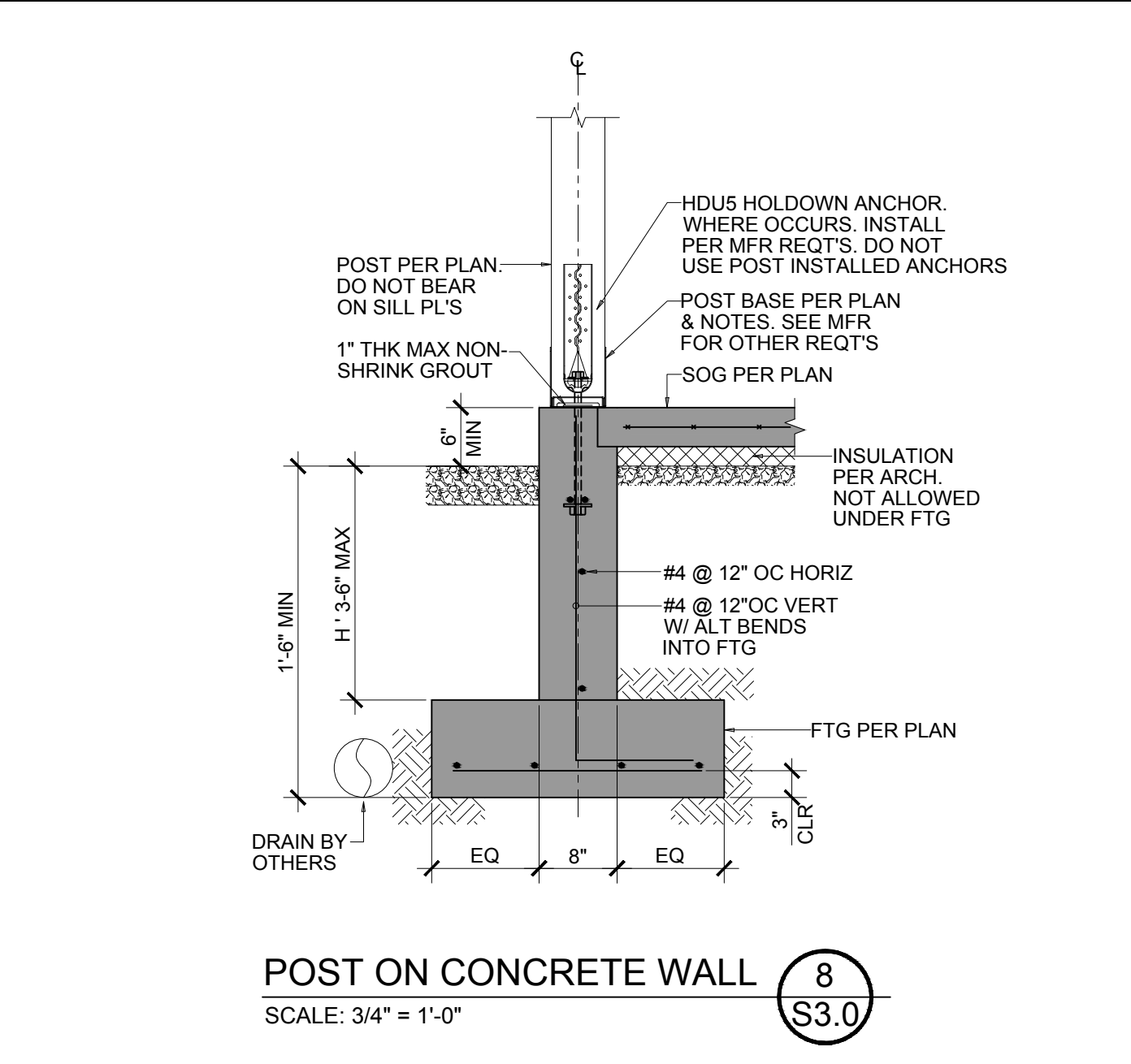
ENGINEER'S SEAL
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STATE OF WASHINGTON
REGISTERED
PROFESSIONAL ENGINEER
15218
Exp 02/21/23

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PROJECT TITLE
61ST AVENUE RESIDENCE

ADDRESS
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	04.26.22	Correction
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SITE RETAINING WALL (9)
NOT TO SCALE (S3.0)

Labels: FREE - DRAINING BACK FILL PER NOTES, STEM HORIZ, STEM VERT, DOWELS, IF REQ'D, TO MATCH VERT REINF, HOOK 90° INTO FTG, 1 1/2" CLR, 1'-6" MIN, 1 1/2" CLR, SHORT, LONG, B2, ts, B1, (2) #4 CONT, DRAIN BY OTHERS.

H (ft)	B1	ts	B2	tf	STEM REINFORCING		FTG. REINFORCING	
					VERTICAL	HORIZONTAL	LONG	SHORT
<4'-0"	5"	8"	5"	8"	#4 @ 12"OC	#4 @ 12"OC	(3) #4	#4 @ 12"OC
4'-0"	9"	8"	1'-0"	10"	#4 @ 12"OC	#4 @ 12"OC	(3) #4	#4 @ 12"OC
5'-0"	9"	8"	2'-0"	10"	#4 @ 10"OC	#4 @ 10"OC	(4) #4	#4 @ 10"OC
6'-0"	9"	8"	2'-6"	10"	#4 @ 10"OC	#4 @ 10"OC	(6) #4	#4 @ 10"OC
7'-0"	12"	8"	3'-6"	10"	#5 @ 8"OC	#4 @ 10"OC	(7) #4	#4 @ 10"OC

• WEEPHOLES IF REQ'D BY OTHERS. DO NOT CUT THRU REINFORCEMENT

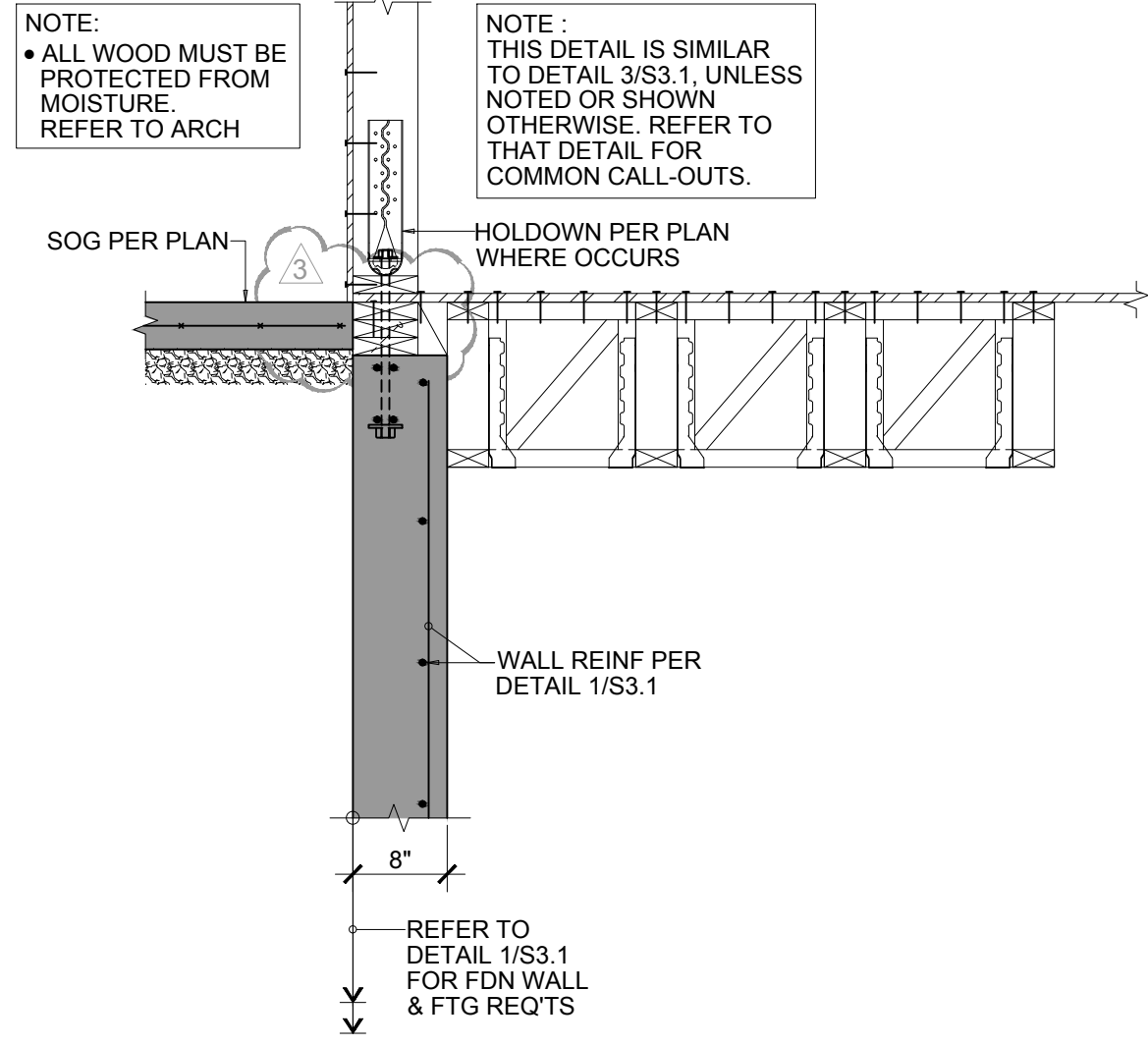
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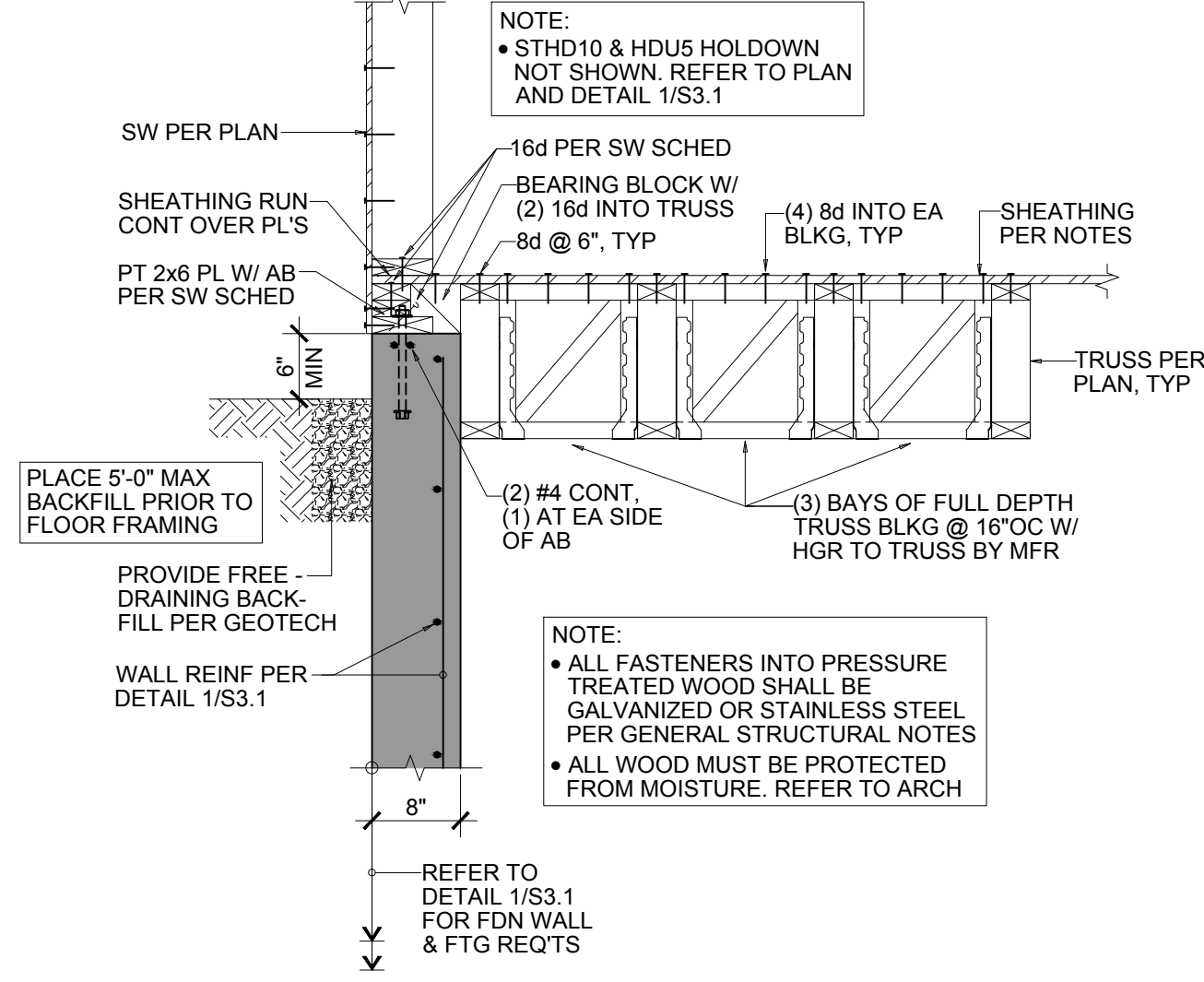
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DPD APPROVAL

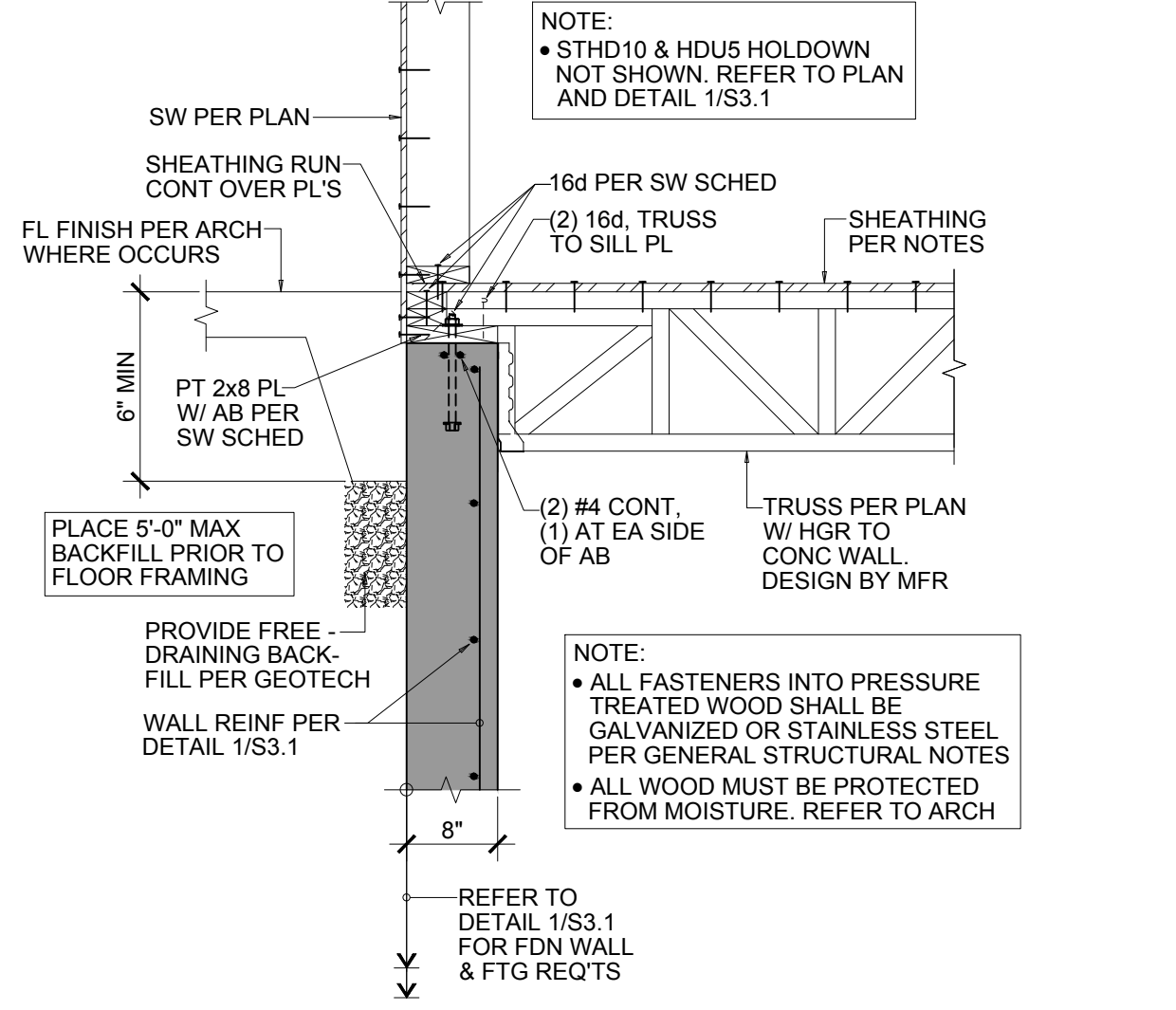
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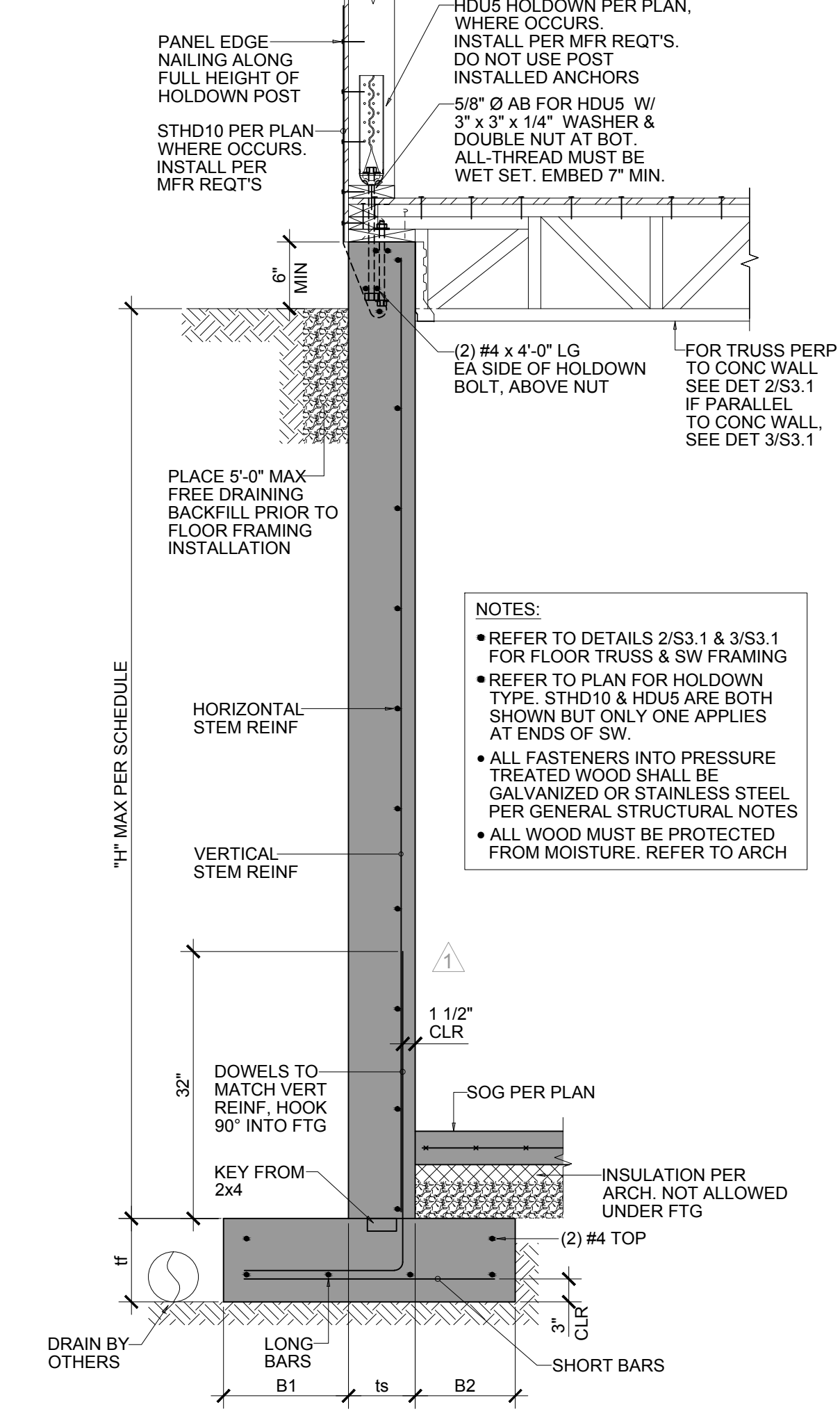
SECTION 4
SCALE: 3/4" = 1'-0"
S3.1



TRUSS PARALLEL TO CONCRETE WALL 3
SCALE: 3/4" = 1'-0"
S3.1



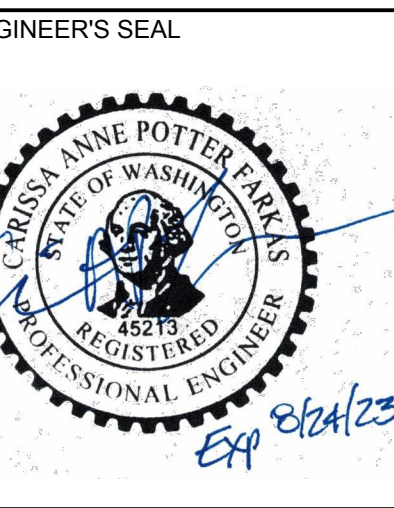
TRUSS PERPENDICULAR TO CONCRETE WALL 2
SCALE: 3/4" = 1'-0"
S3.1



RETAINING WALL SCHEDULE

H (ft)	STEM REINFORCING				FOOTING REINFORCING			
	B1	B2	ts	tf	VERTICAL	HORIZONTAL	SHORT BARS	LONG BARS
10'-6"	1-3"	1-0"	8"	14"	#5 @ 10"OC	#4 @ 12"OC	#4 @ 8"OC	(4) #4

BASEMENT RETAINING WALL 1
SCALE: 3/4" = 1'-0"
S3.1



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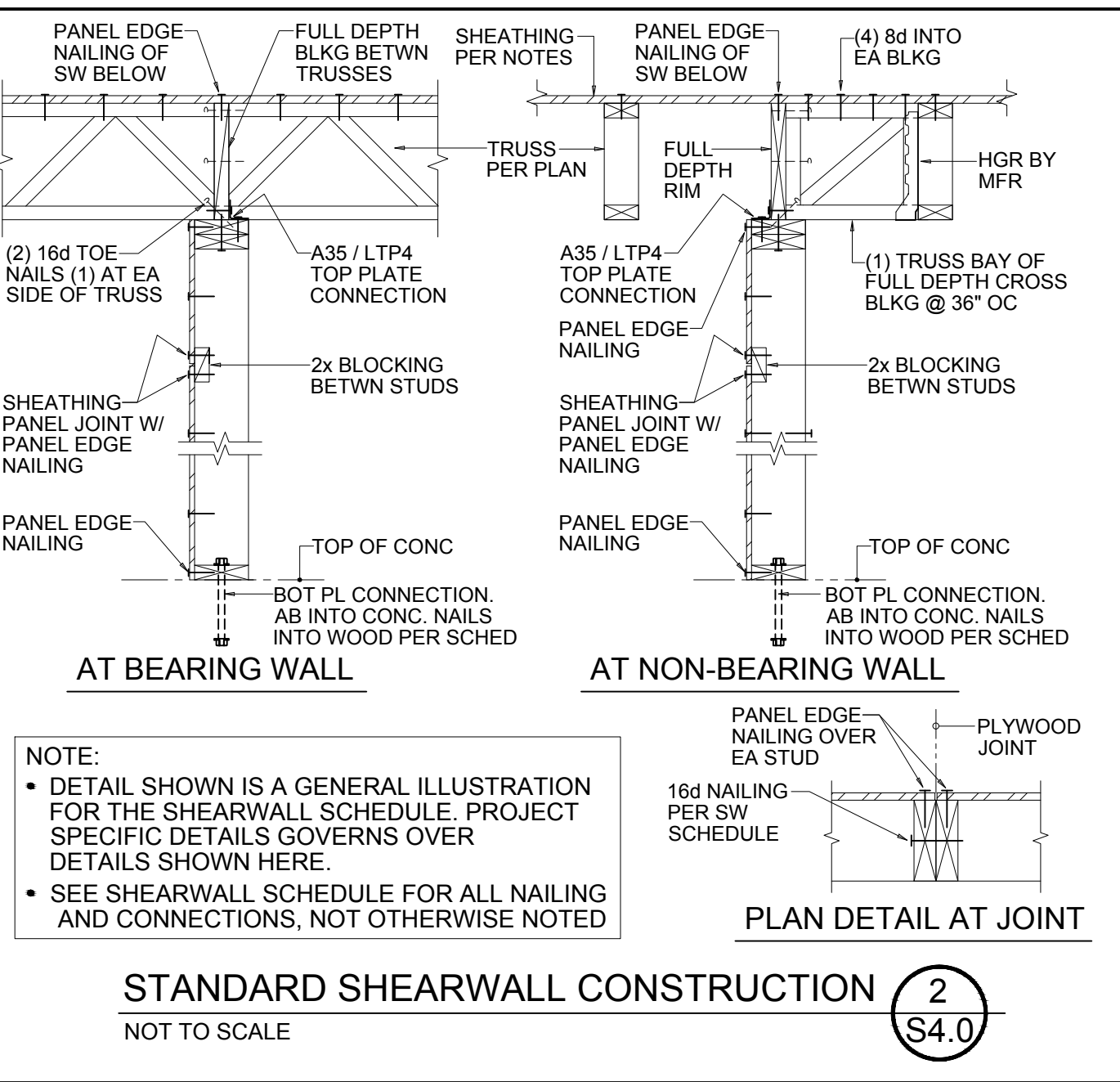
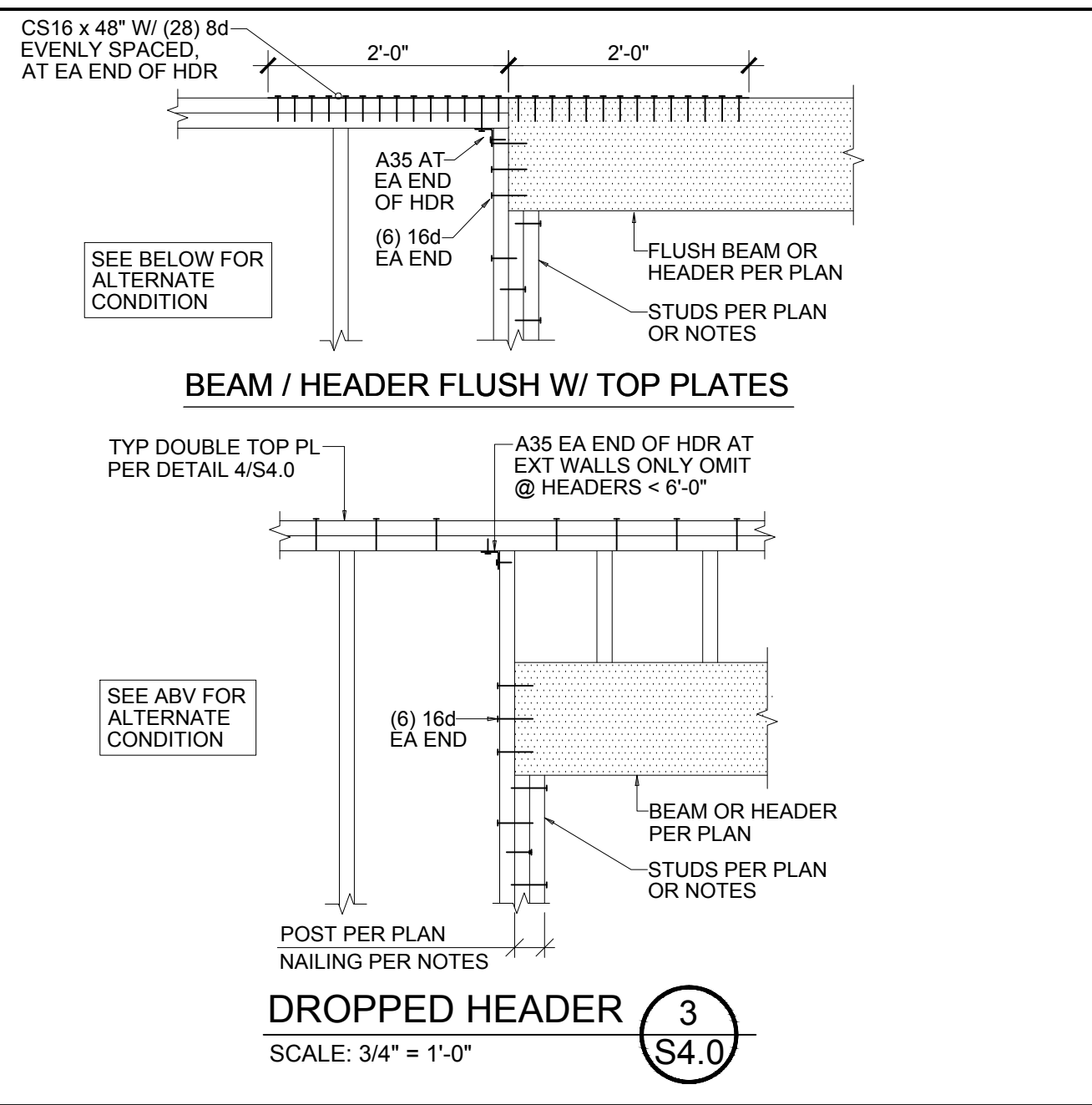
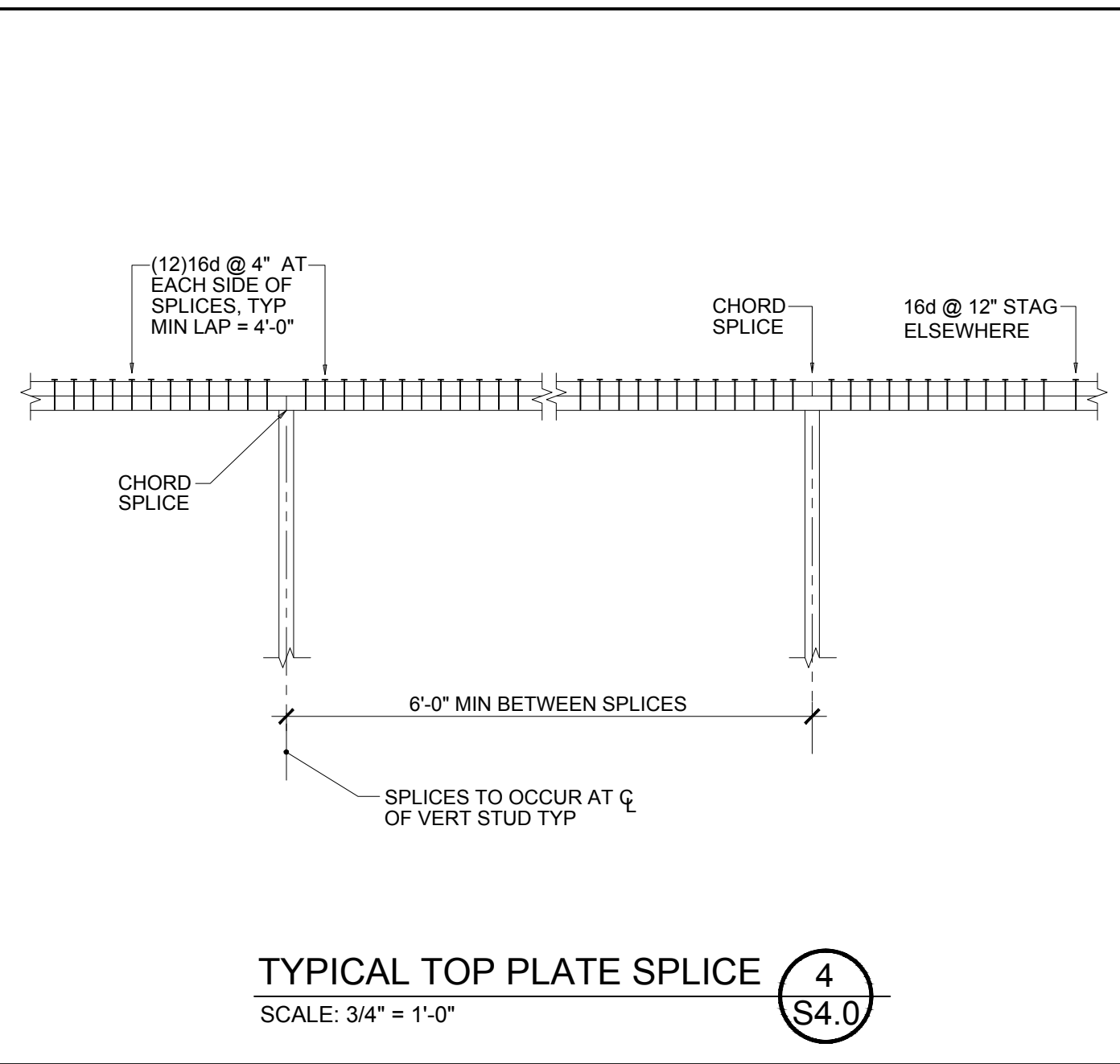
CONCRETE DETAILS

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SHEET NO.

S3.1

DPD APPROVAL



SHEARWALL SCHEDULE

TYPE	SHEATHING	PANEL EDGE NAILING	TOP PLATE CONNECTION	BASE PLATE CONNECTION	
				AT WOOD	AT CONCRETE
SW1	1/2" PLYWOOD	8d @ 6"	A35 @ 24" OC	16d @ 6"	5/8"Ø AB @ 48" OC
SW2	1/2" PLYWOOD	8d @ 4"	A35 @ 16" OC	16d @ 4"	5/8"Ø AB @ 32" OC
SW3	1/2" PLYWOOD	8d @ 3"	A35 @ 12" OC	16d @ 3"	5/8"Ø AB @ 16" OC

NOTES:

- BLOCK PANEL EDGES WITH 2x LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12".
- 8d NAILS SHALL BE 0.131"Ø x 2 1/2" (COMMON) - 16d NAILS SHALL BE 0.135"Ø x 3 1/2" (BOX).
- EMBED ANCHOR BOLTS AT LEAST 7". EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" PLATE WASHERS. EDGE OF PLATE WASHER TO BE LOCATED 1/2" MAX FROM EDGE OF WALL SHEATHING. AT DOUBLE SIDED SW'S, STAGGER AB OR USE 4 1/2"x4 1/2"x1/4" THK WASHER CENTERED ON PLATE.
- 3x STUDS OR DOUBLE STUDS MIN, NAILED TOGETHER BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF SW'S.
- TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEAR WALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING.
- ALL EXTERIOR WALLS SHALL BE SW1, UNLESS NOTED OTHERWISE.
- LTP4's MAY BE SUBSTITUTED FOR A35's AT CONTRACTOR'S OPTION.

SHEARWALL SCHEDULE 1
SCALE: NOT TO SCALE

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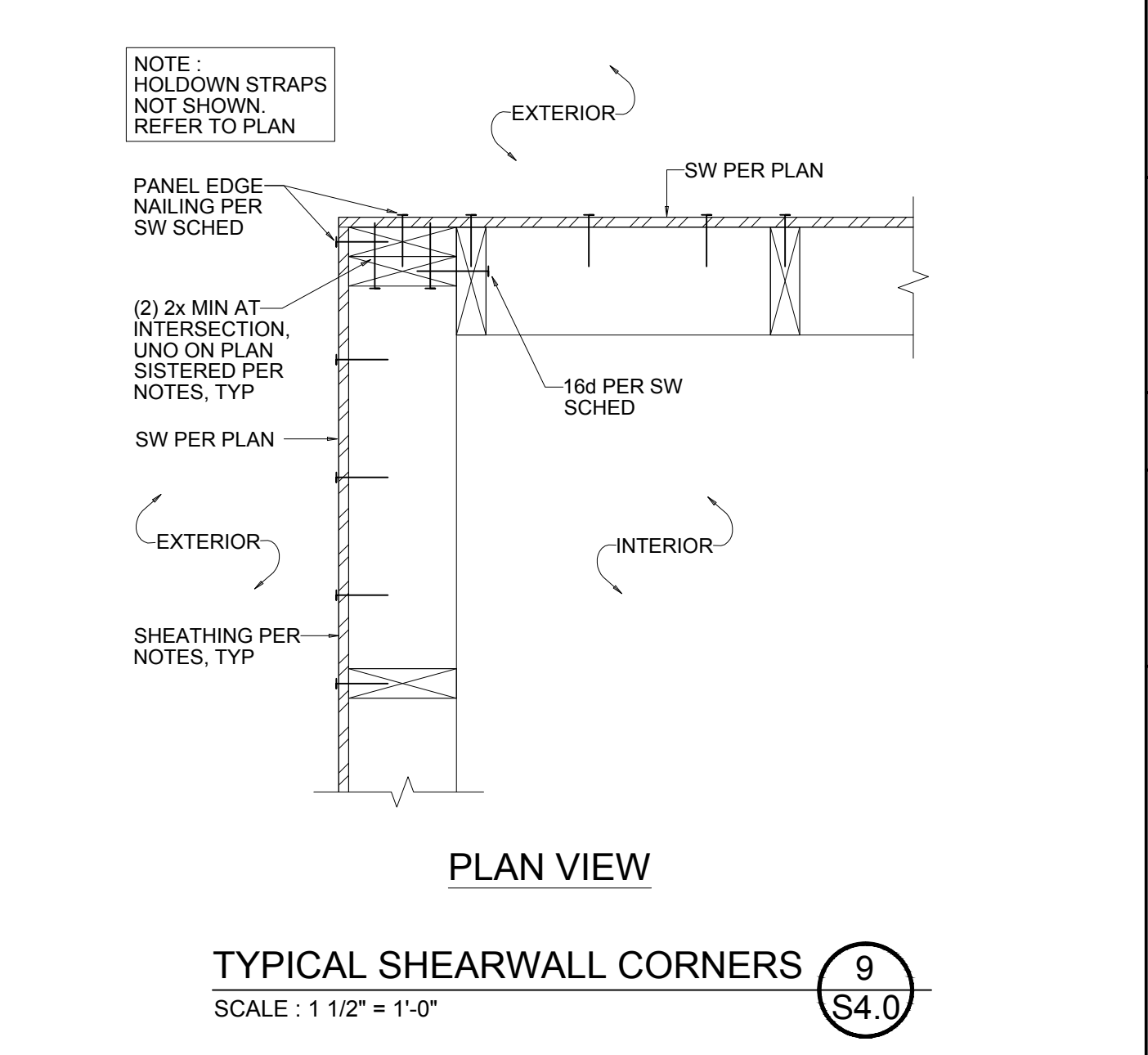
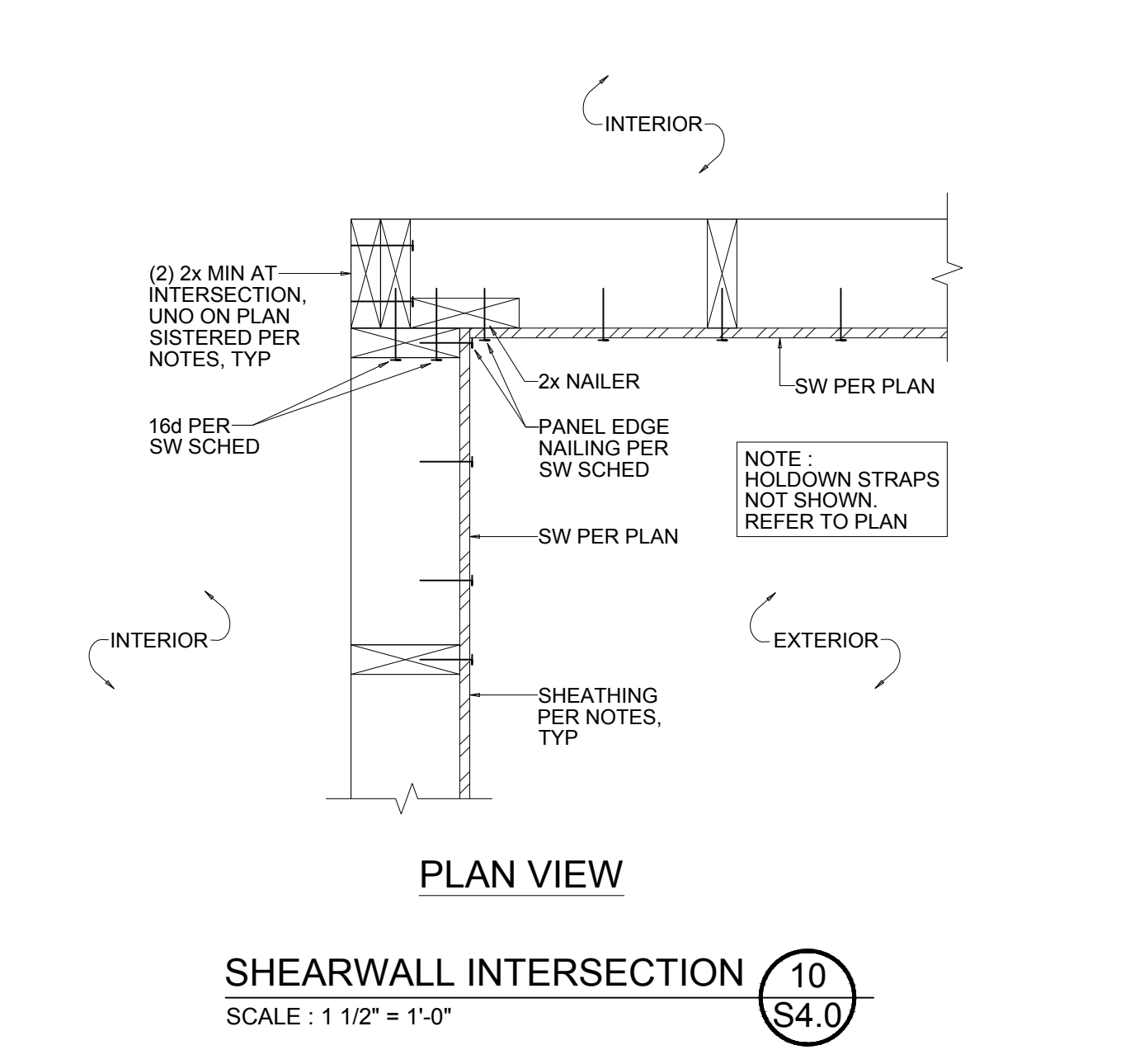
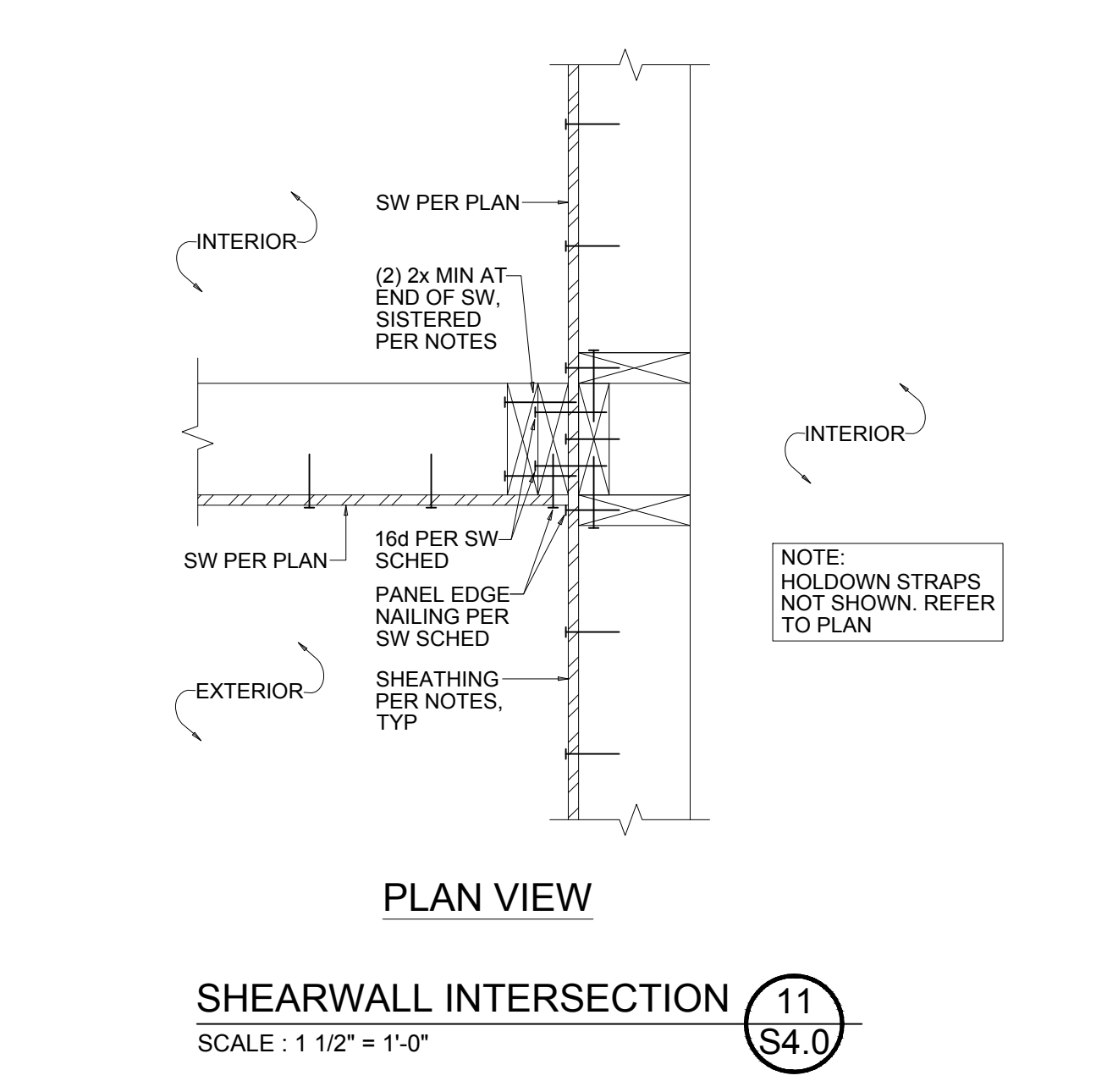
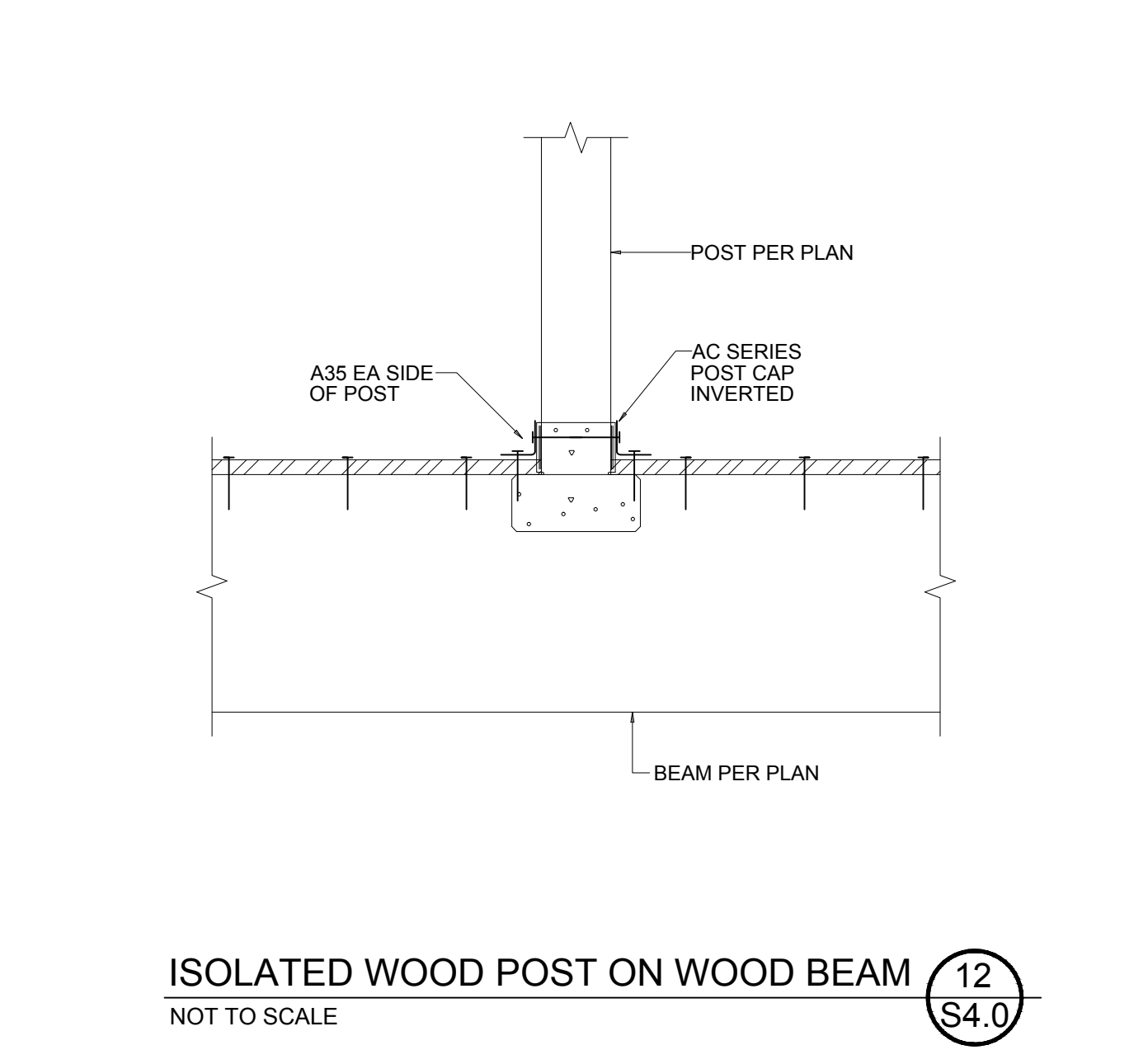
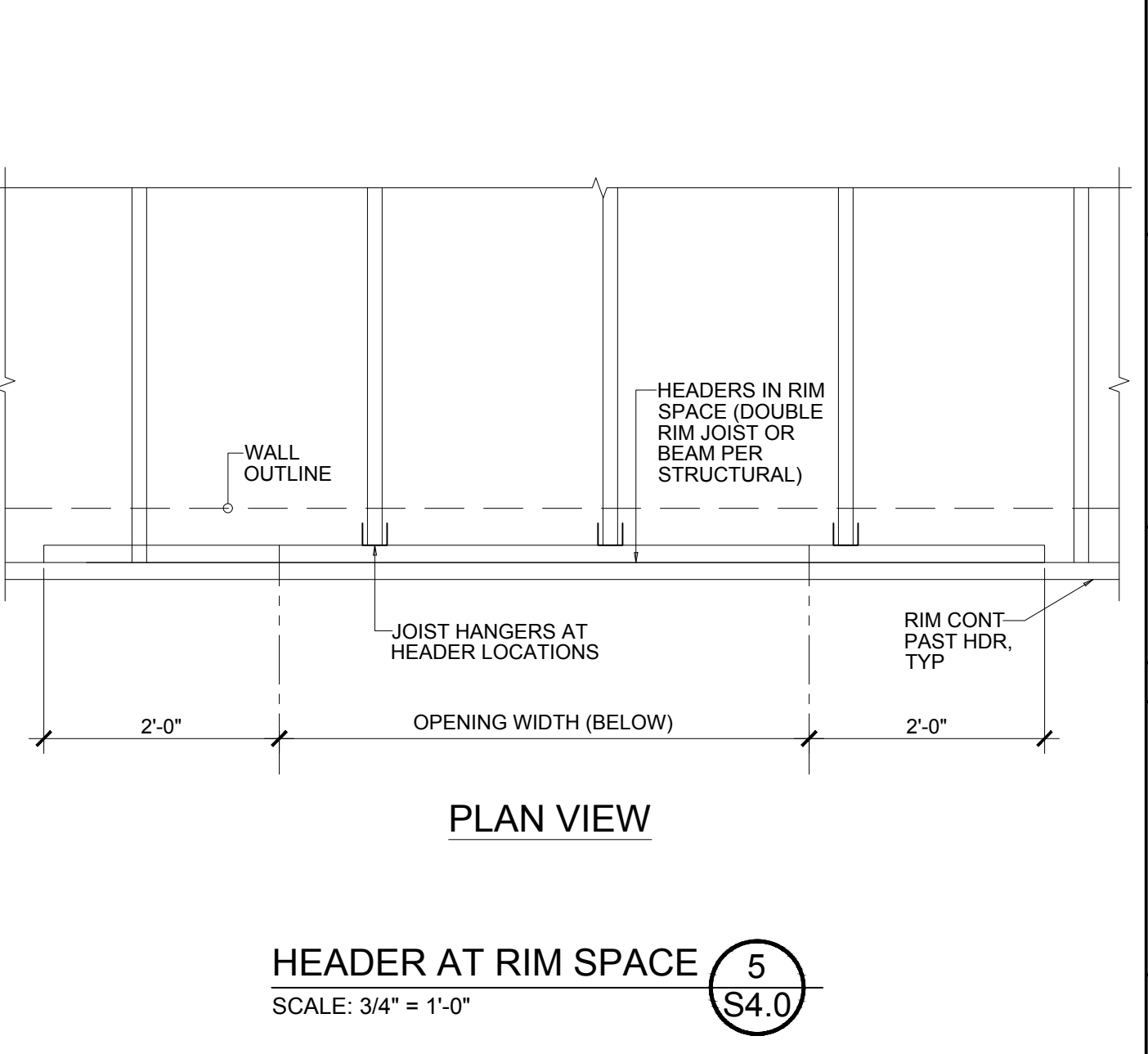
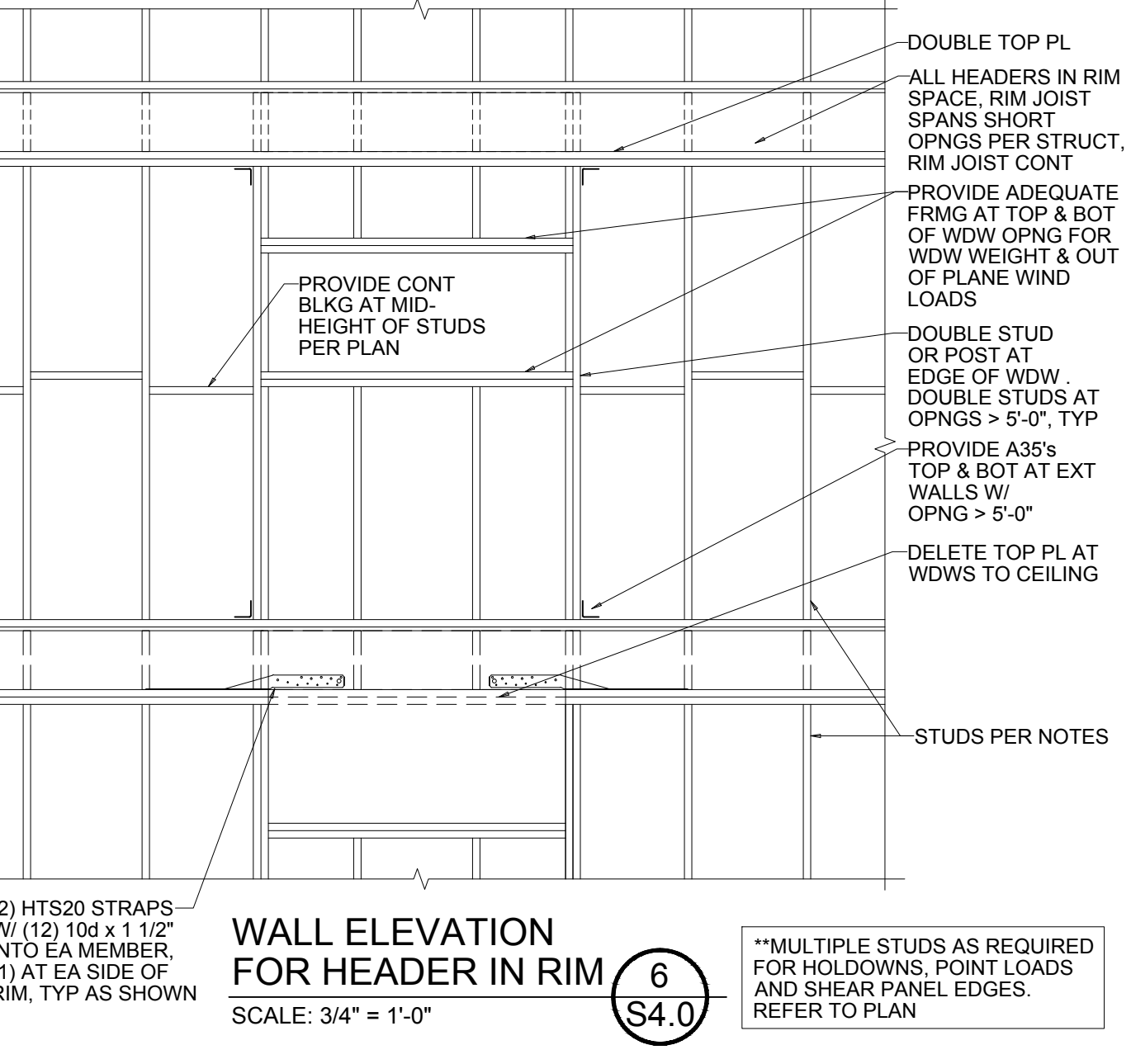
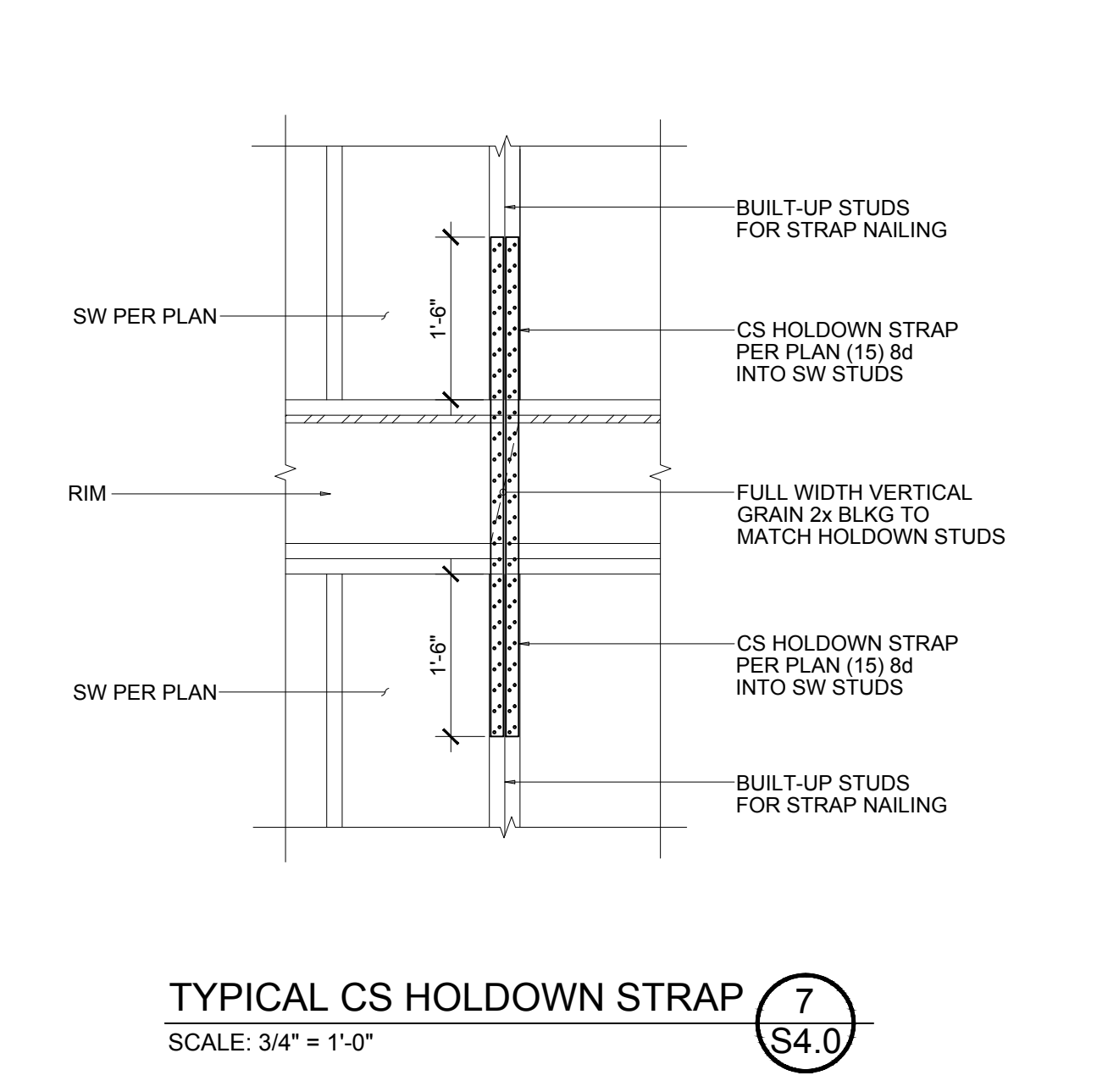
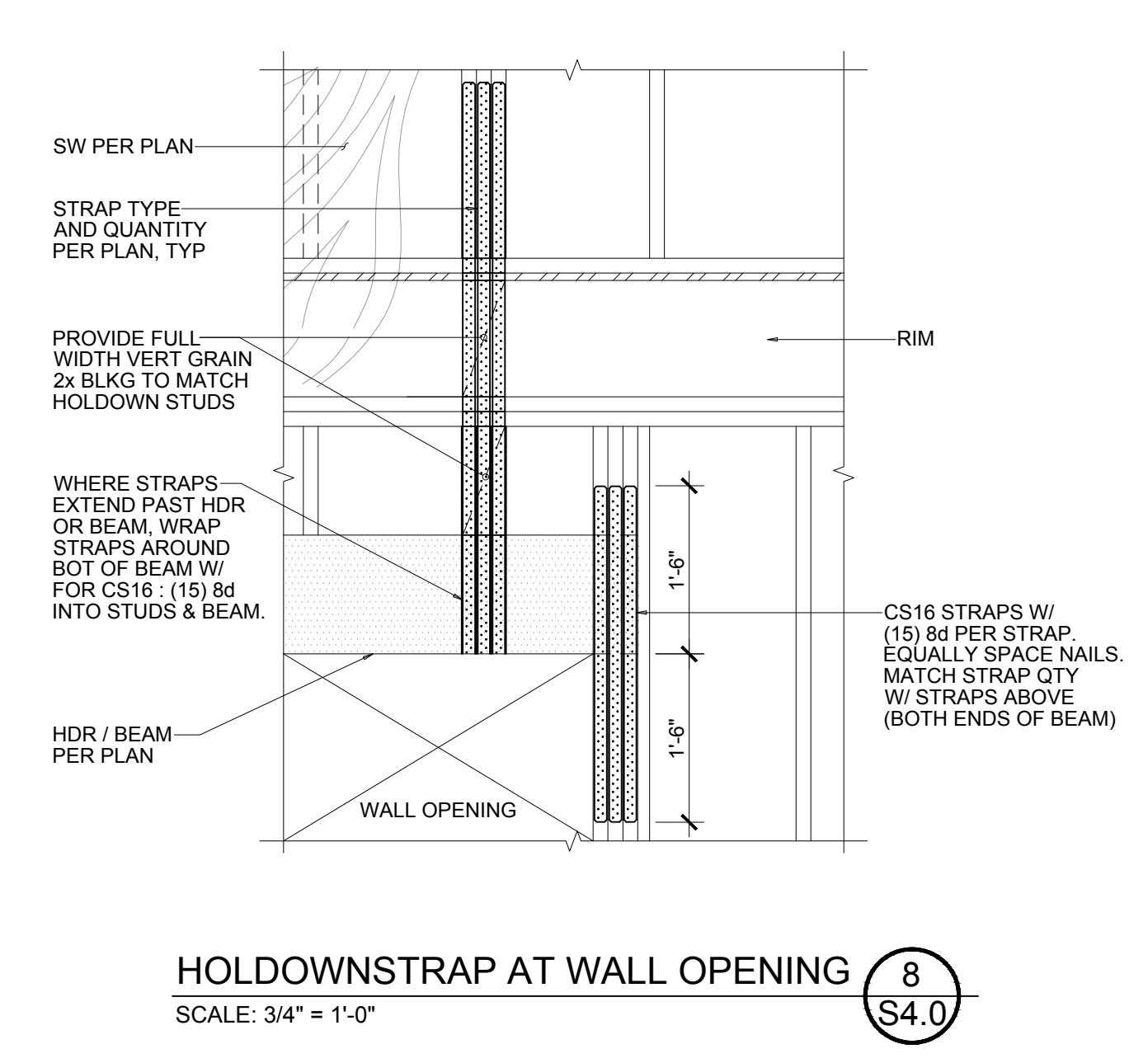
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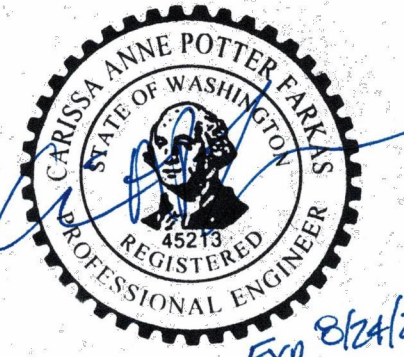
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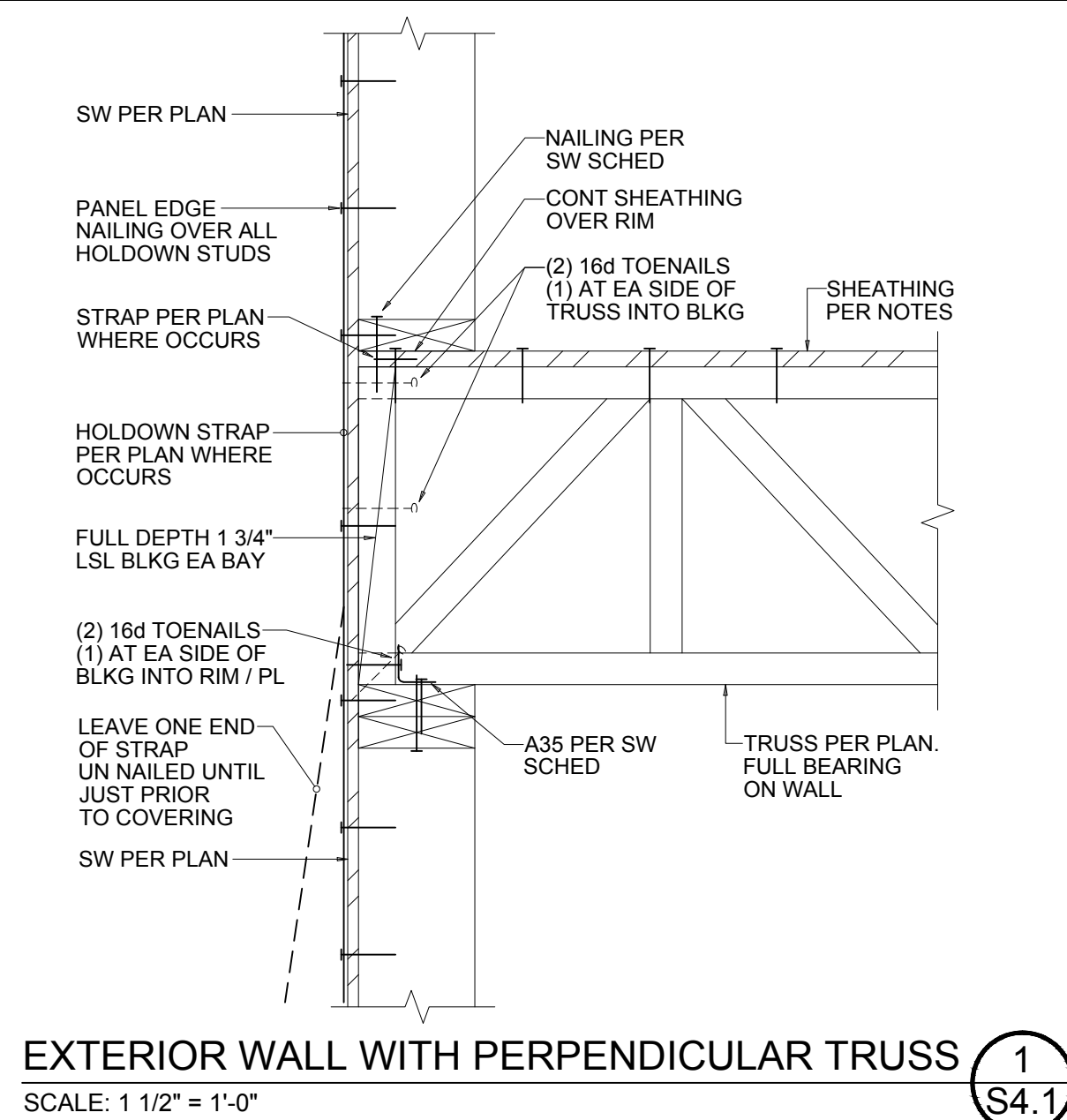
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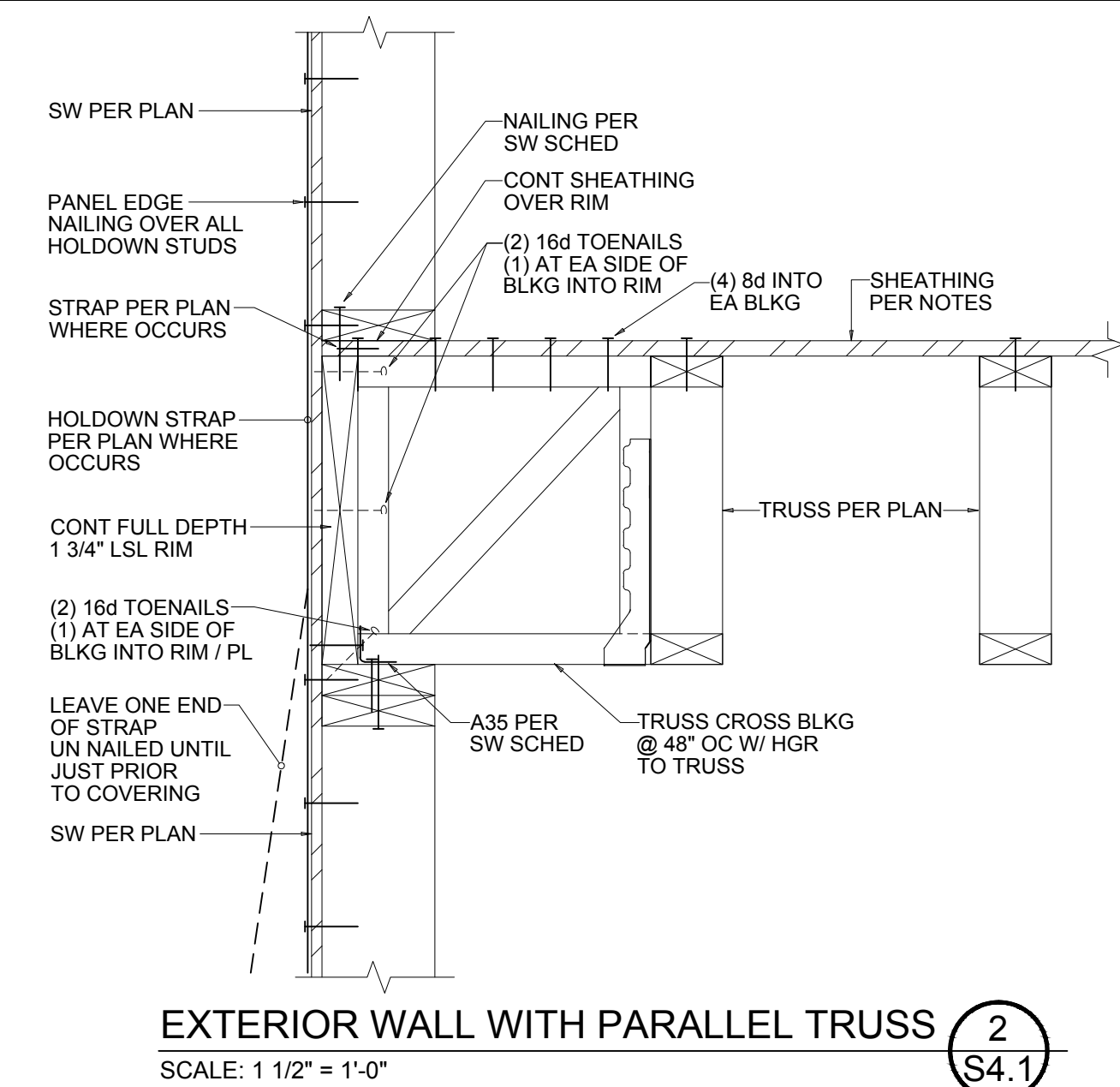
22" x 34" Sheet



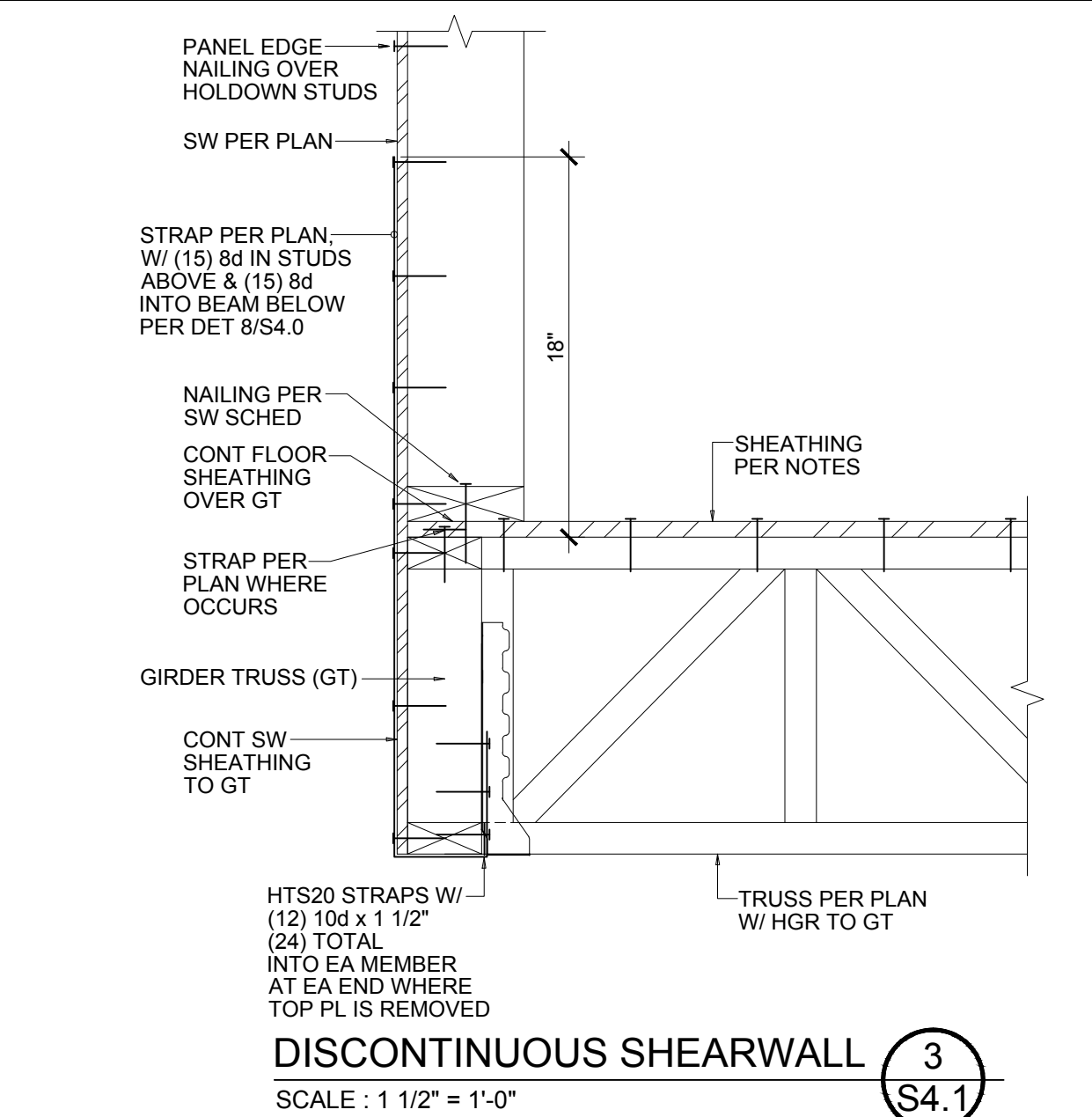
No.	Date	Issue
	12.21.21	Coordination
	01.03.22	Coordination
	01.24.22	Building Permit
	04.24.23	Coordination
3	04.26.23	Revision



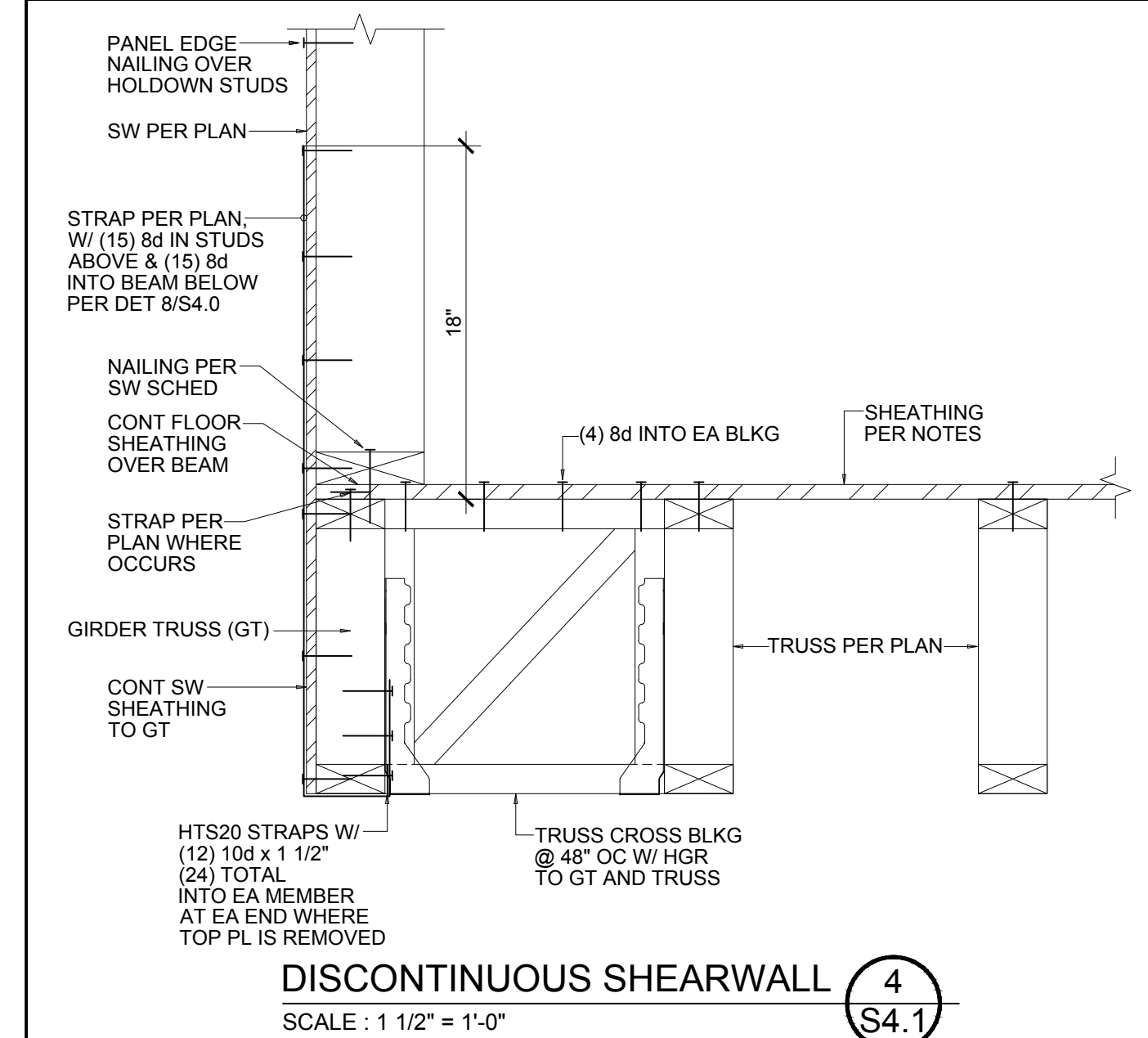
EXTERIOR WALL WITH PERPENDICULAR TRUSS 1
SCALE: 1 1/2" = 1'-0" (S4.1)



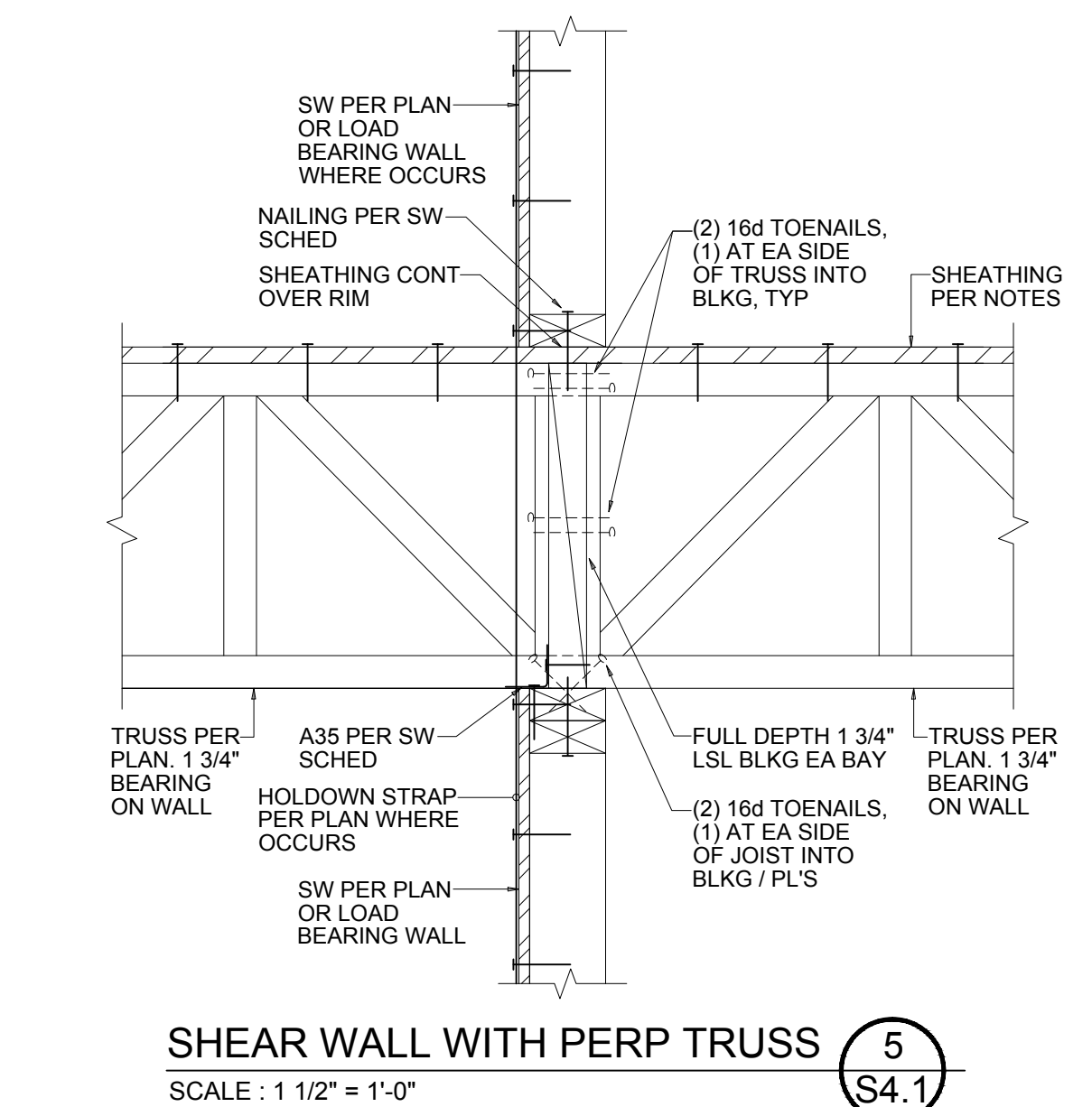
EXTERIOR WALL WITH PARALLEL TRUSS 2
SCALE: 1 1/2" = 1'-0" (S4.1)



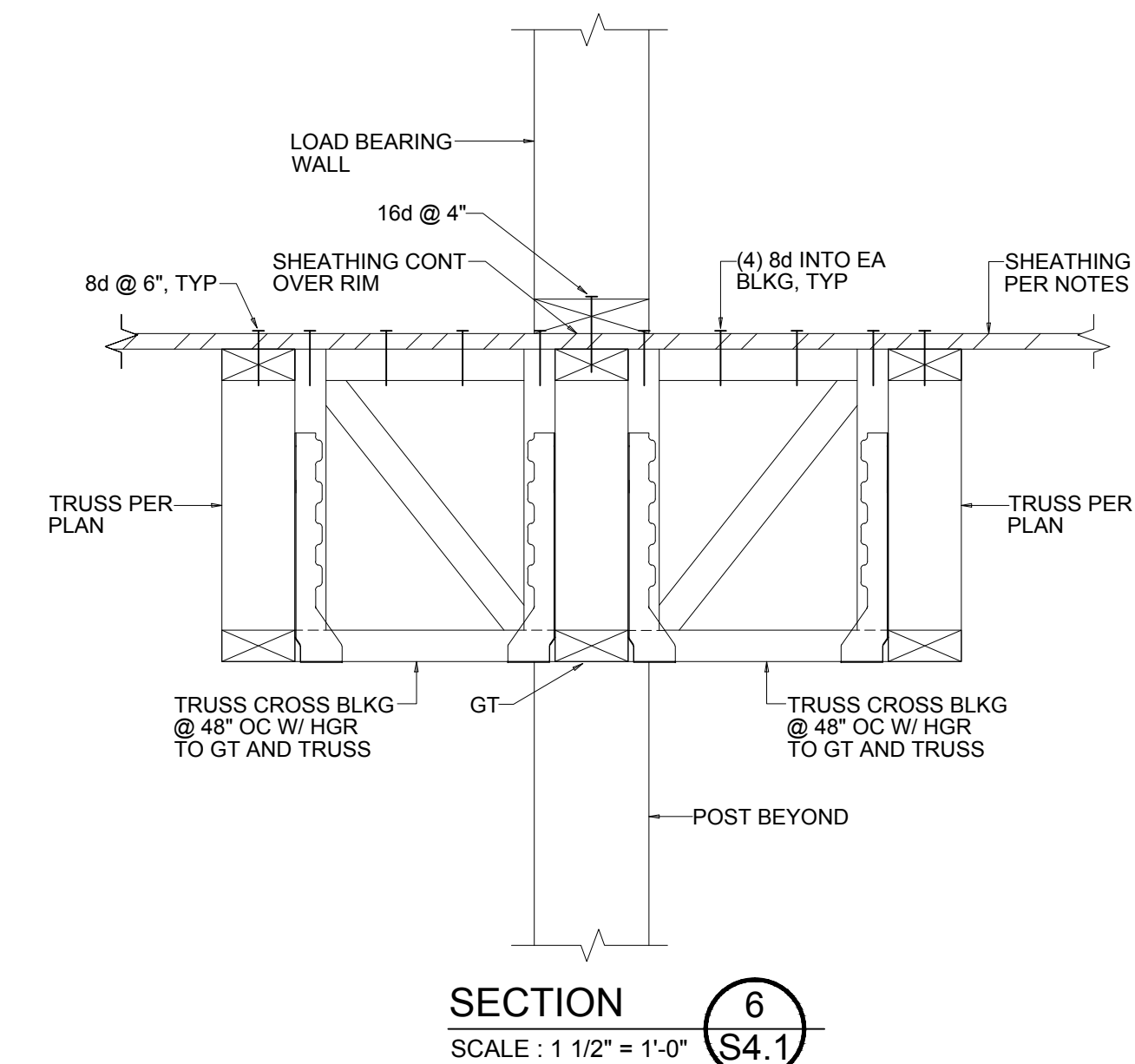
DISCONTINUOUS SHEARWALL 3
SCALE: 1 1/2" = 1'-0" (S4.1)



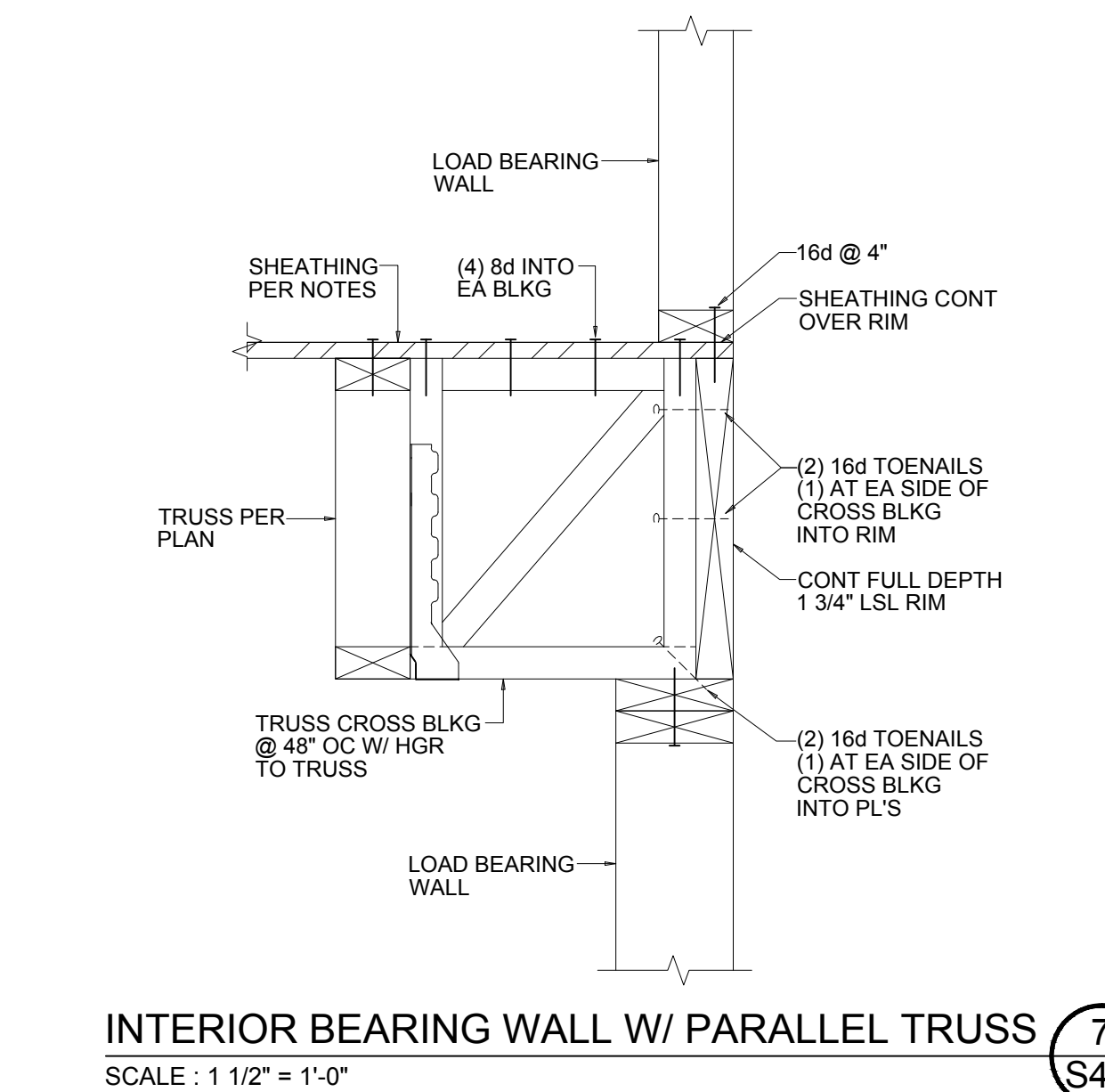
DISCONTINUOUS SHEARWALL 4
SCALE: 1 1/2" = 1'-0" (S4.1)



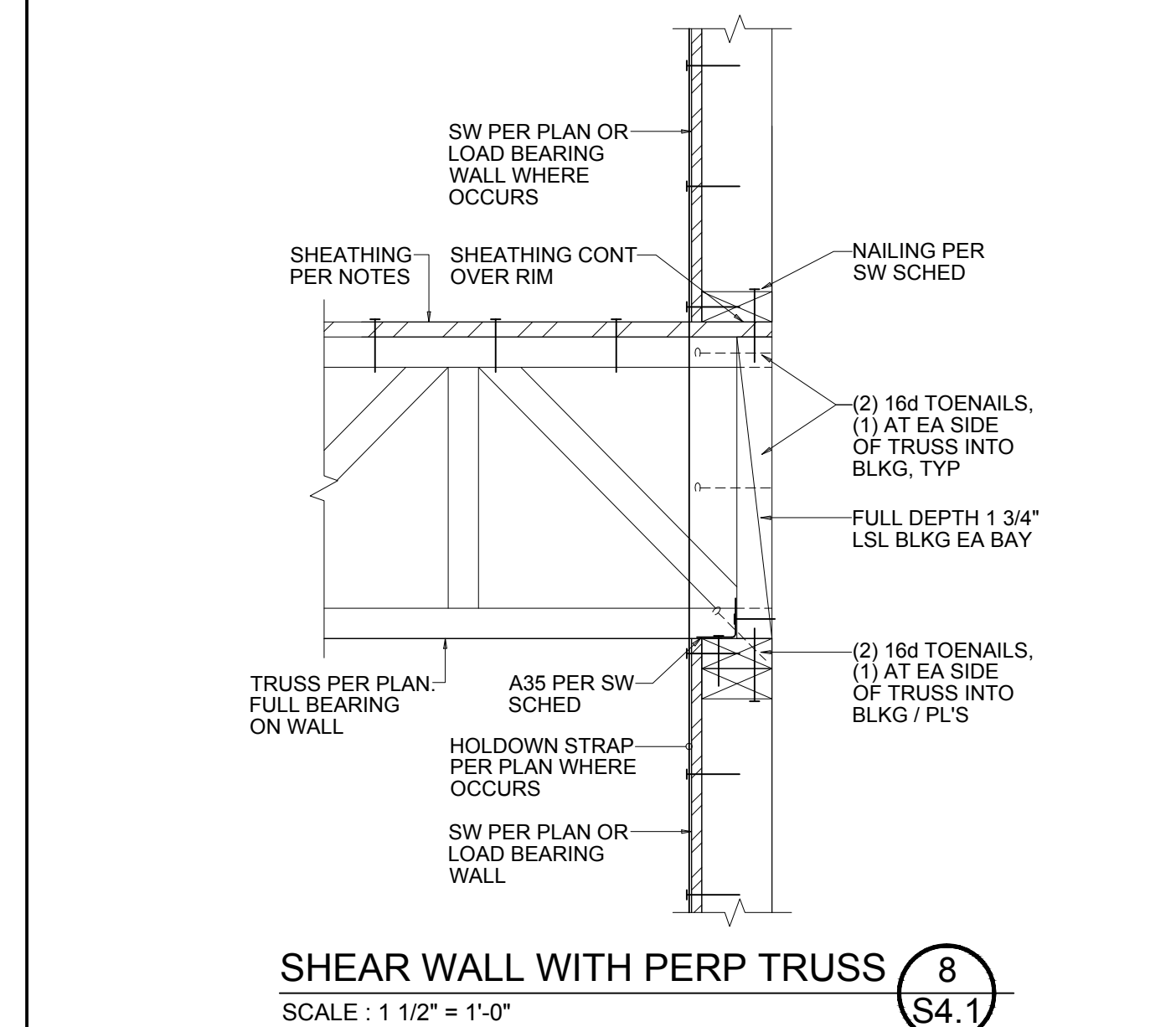
SHEAR WALL WITH PERP TRUSS 5
SCALE: 1 1/2" = 1'-0" (S4.1)



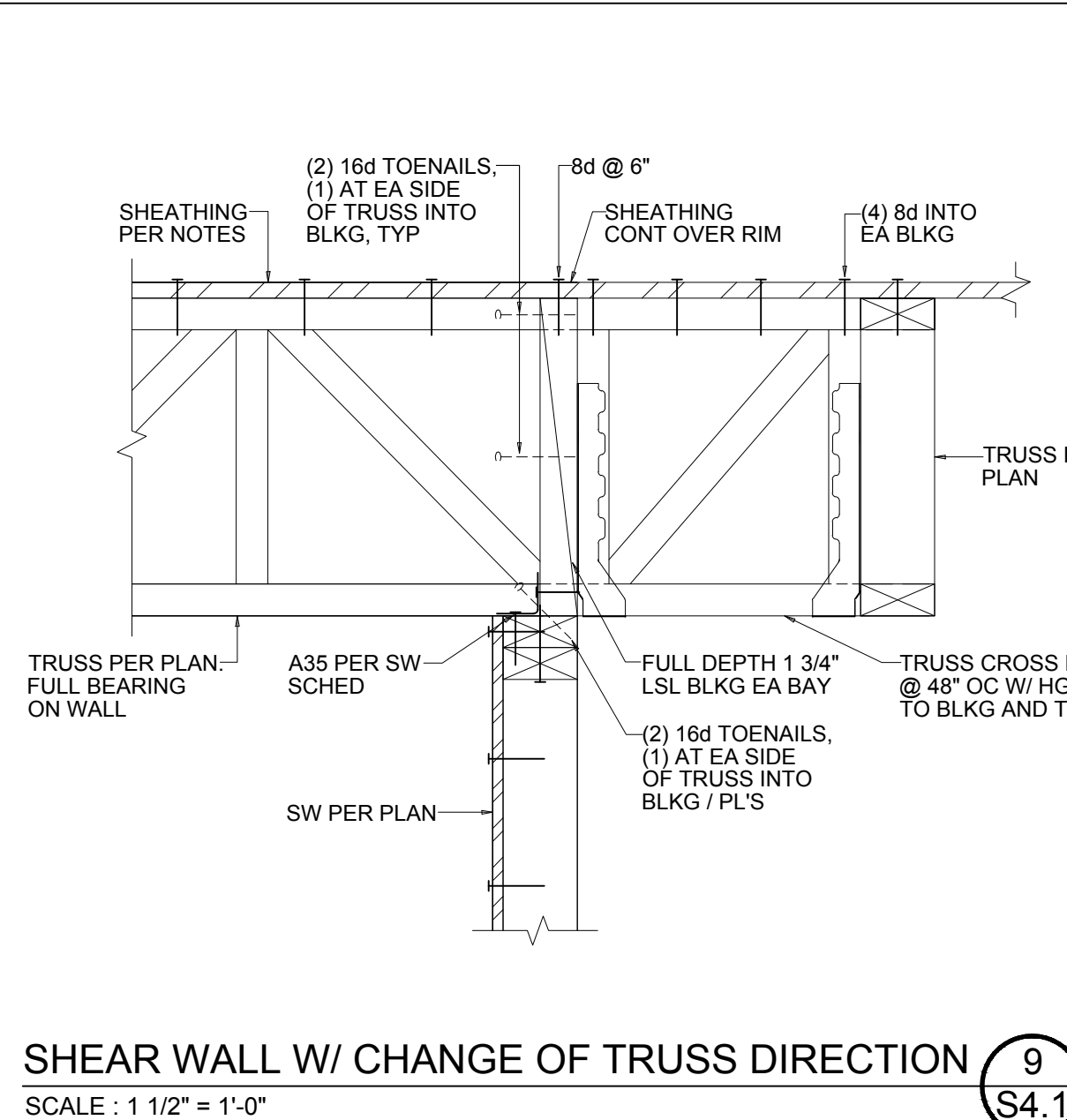
SECTION 6
SCALE: 1 1/2" = 1'-0" (S4.1)



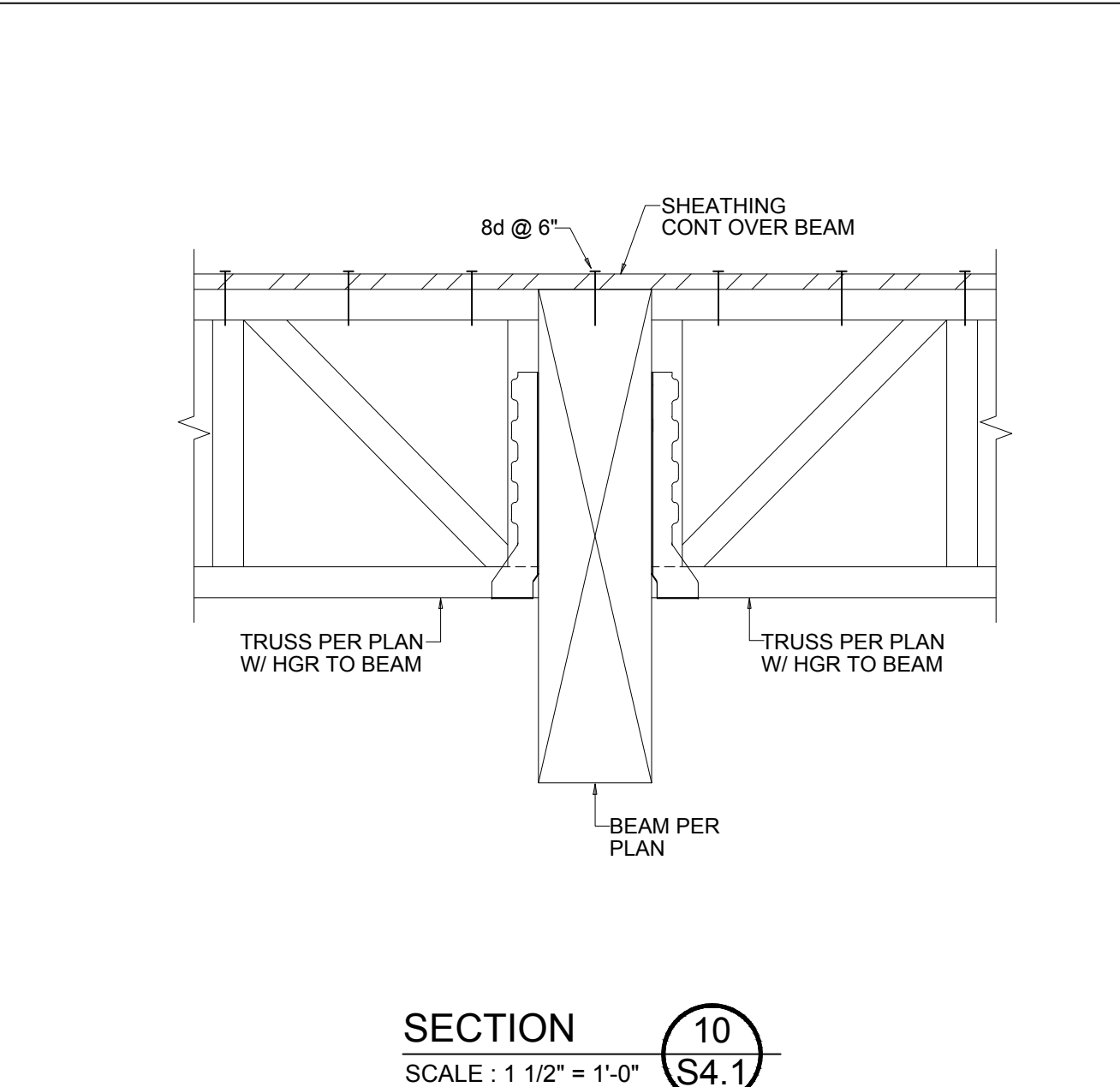
INTERIOR BEARING WALL W/ PARALLEL TRUSS 7
SCALE: 1 1/2" = 1'-0" (S4.1)



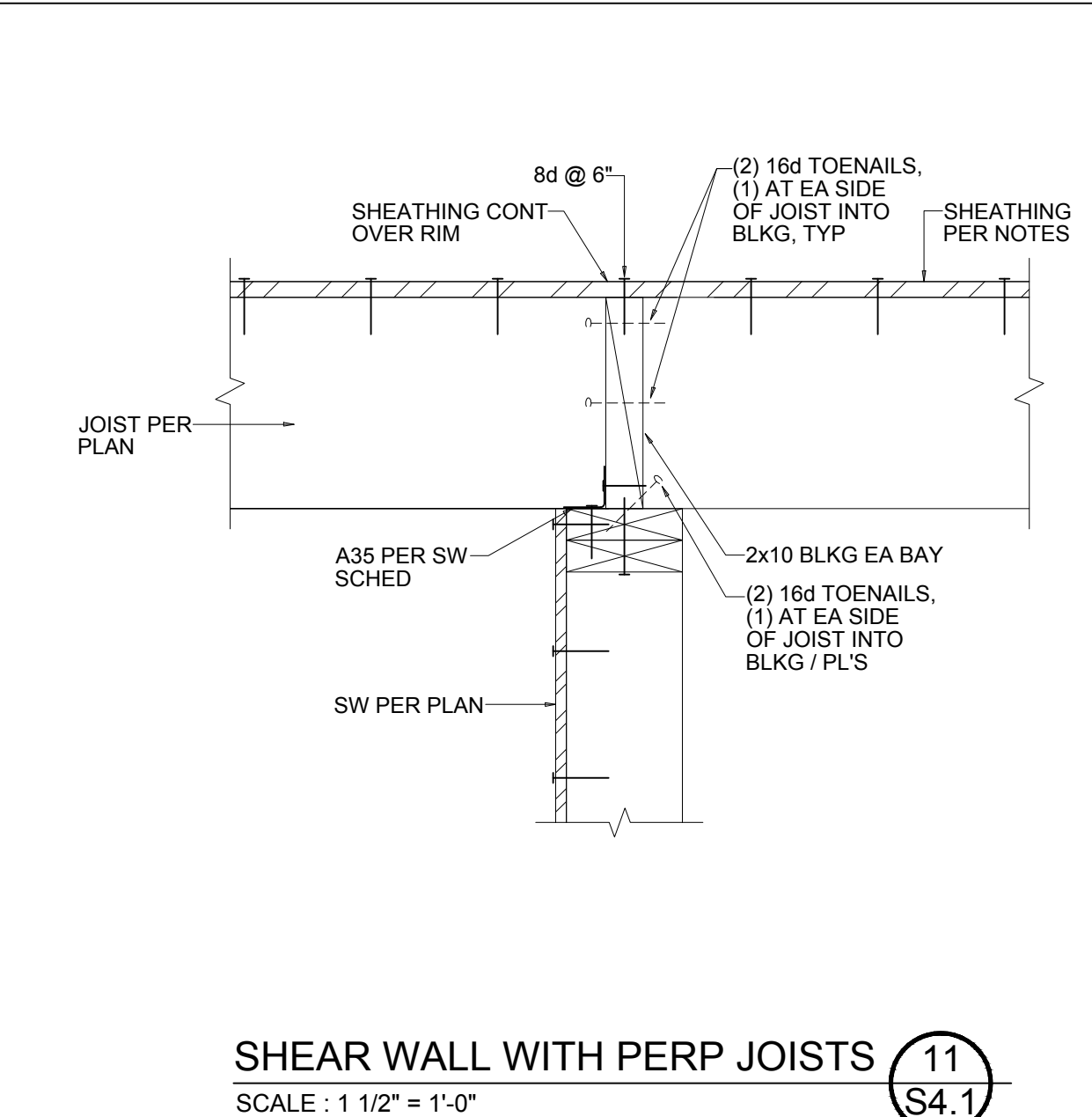
SHEAR WALL WITH PERP TRUSS 8
SCALE: 1 1/2" = 1'-0" (S4.1)



SHEAR WALL W/ CHANGE OF TRUSS DIRECTION 9
SCALE: 1 1/2" = 1'-0" (S4.1)

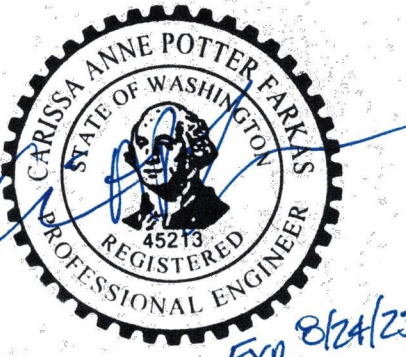


SECTION 10
SCALE: 1 1/2" = 1'-0" (S4.1)



SHEAR WALL WITH PERP JOISTS 11
SCALE: 1 1/2" = 1'-0" (S4.1)

ENGINEER'S SEAL



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"3038 61st Ave. SE, New Residence
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PROJECT TITLE

61ST AVENUE
RESIDENCE

ADDRESS

3038 61st Avenue SE.,
Mercer Island, WA
98040

No.	Date	Issue
	12.21.21	Coordination
	01.03.22	Coordination
	01.24.22	Building Permit
	04.24.23	Coordination
3	04.26.23	Revision

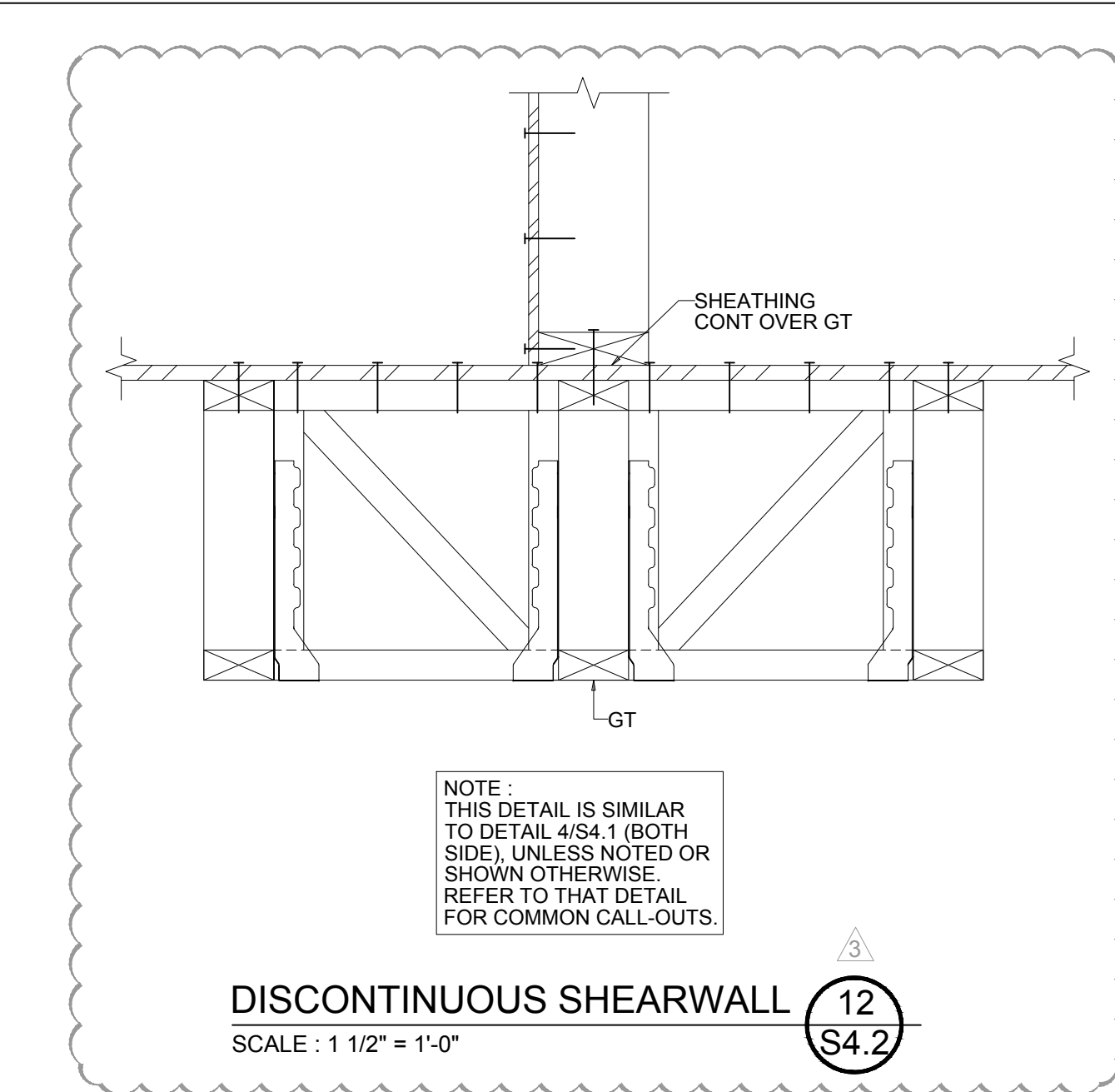
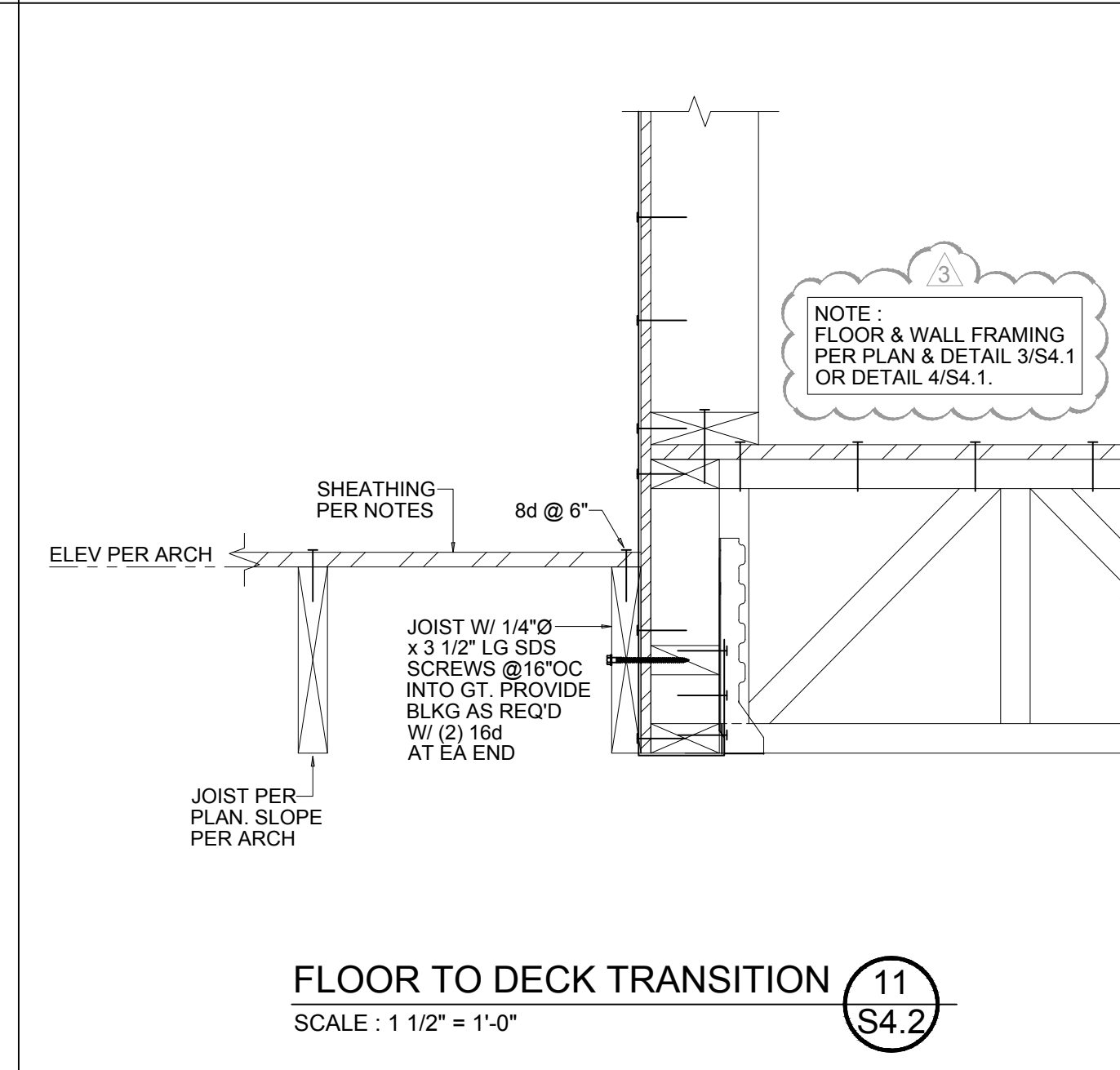
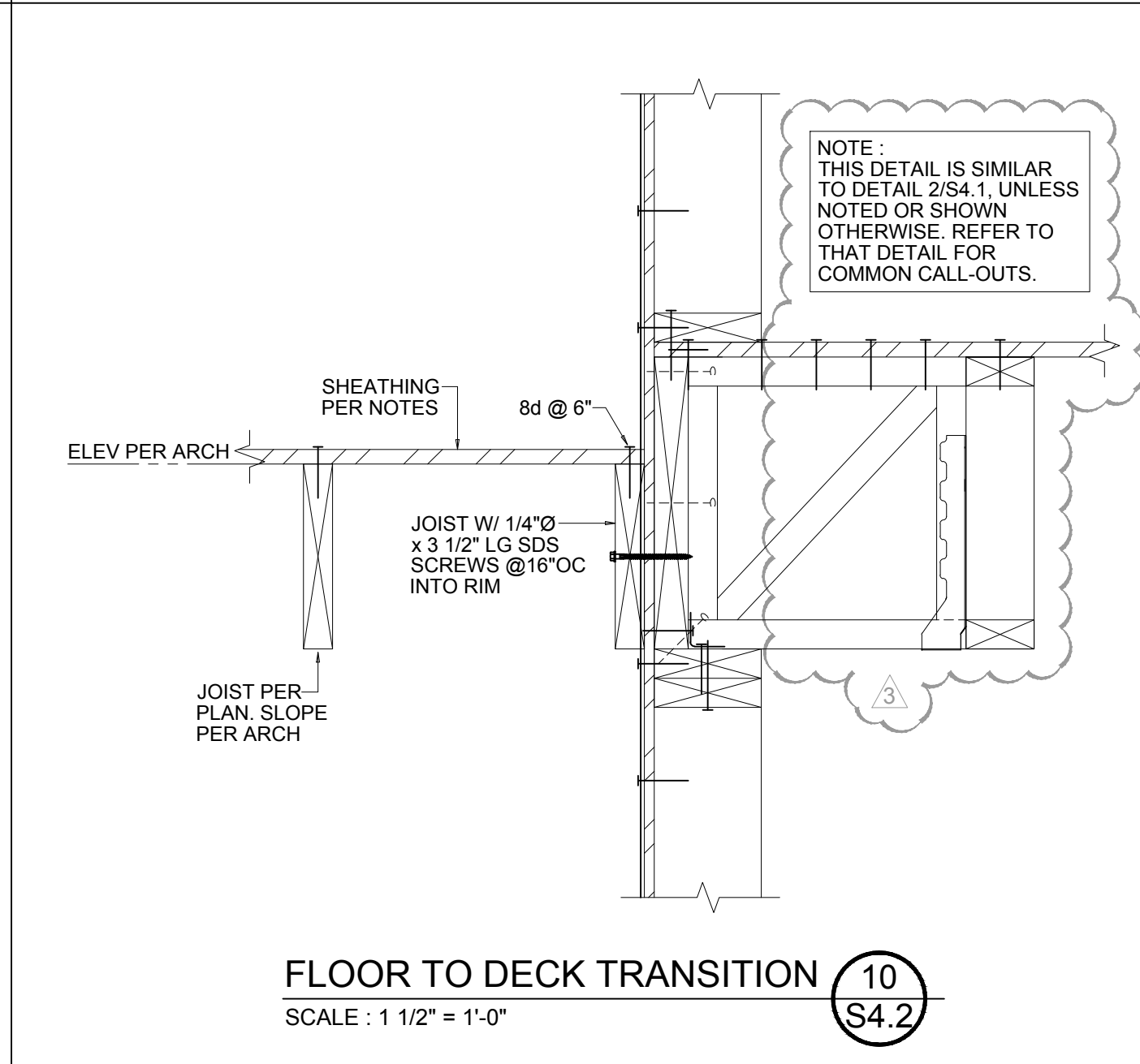
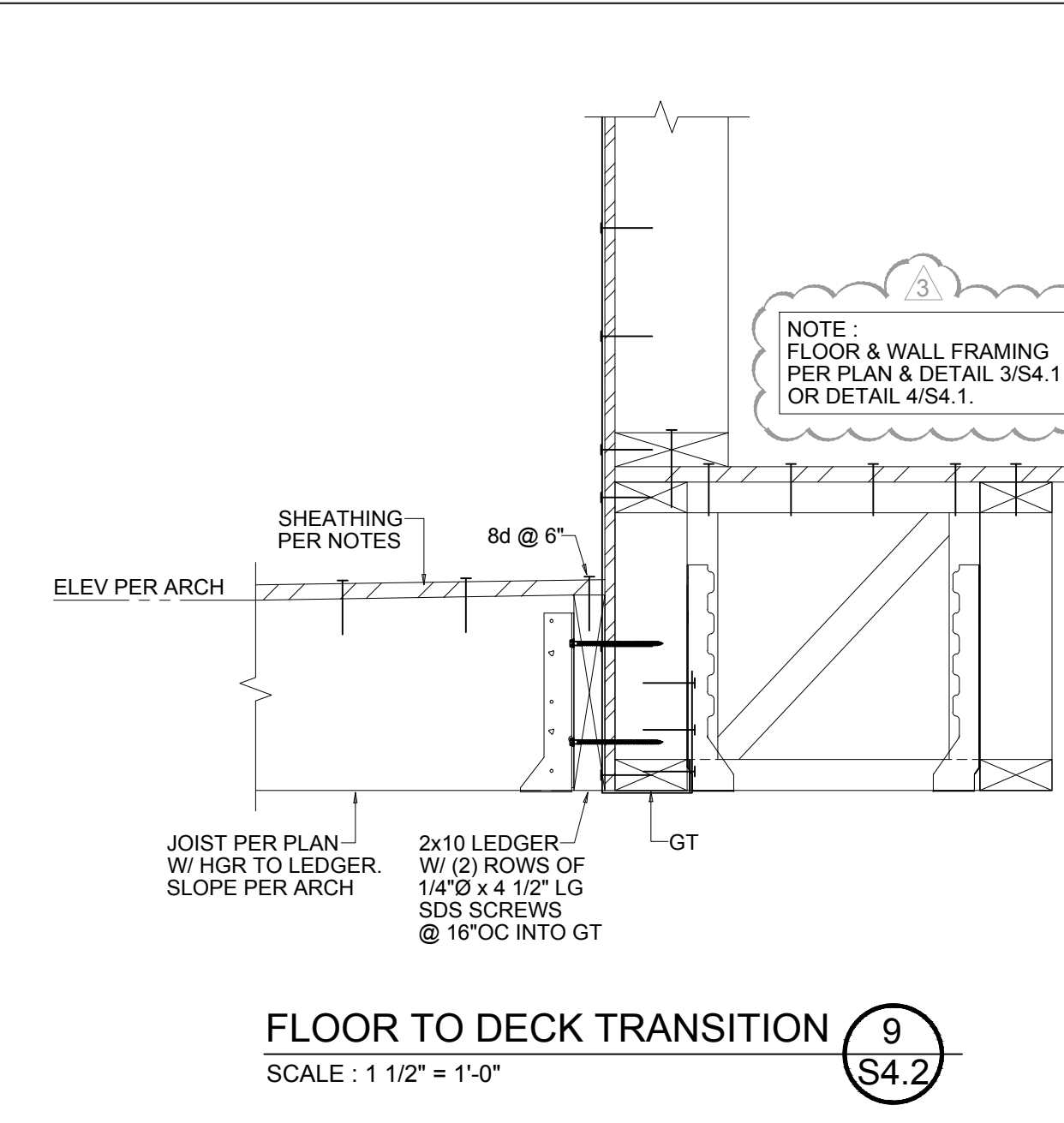
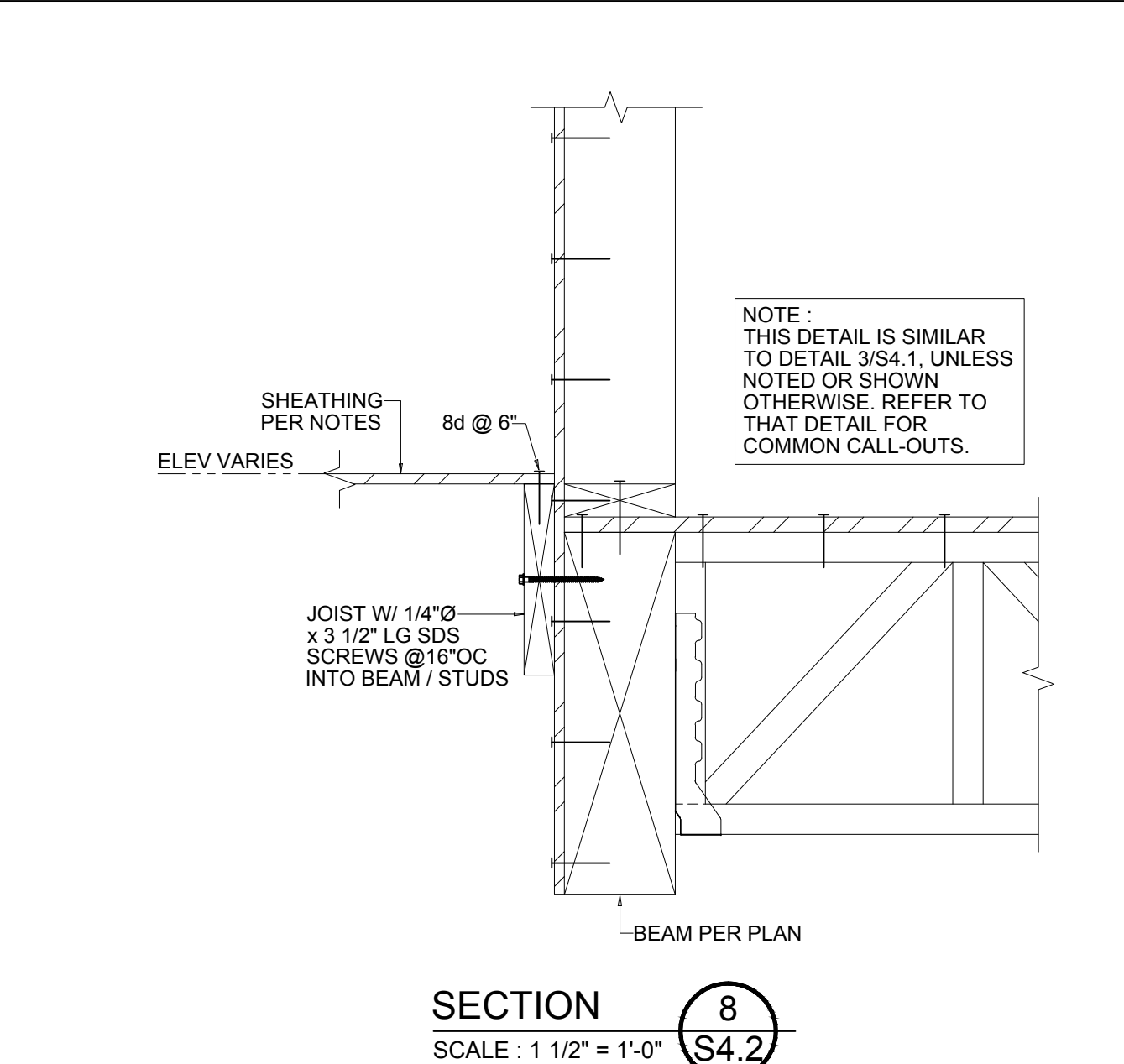
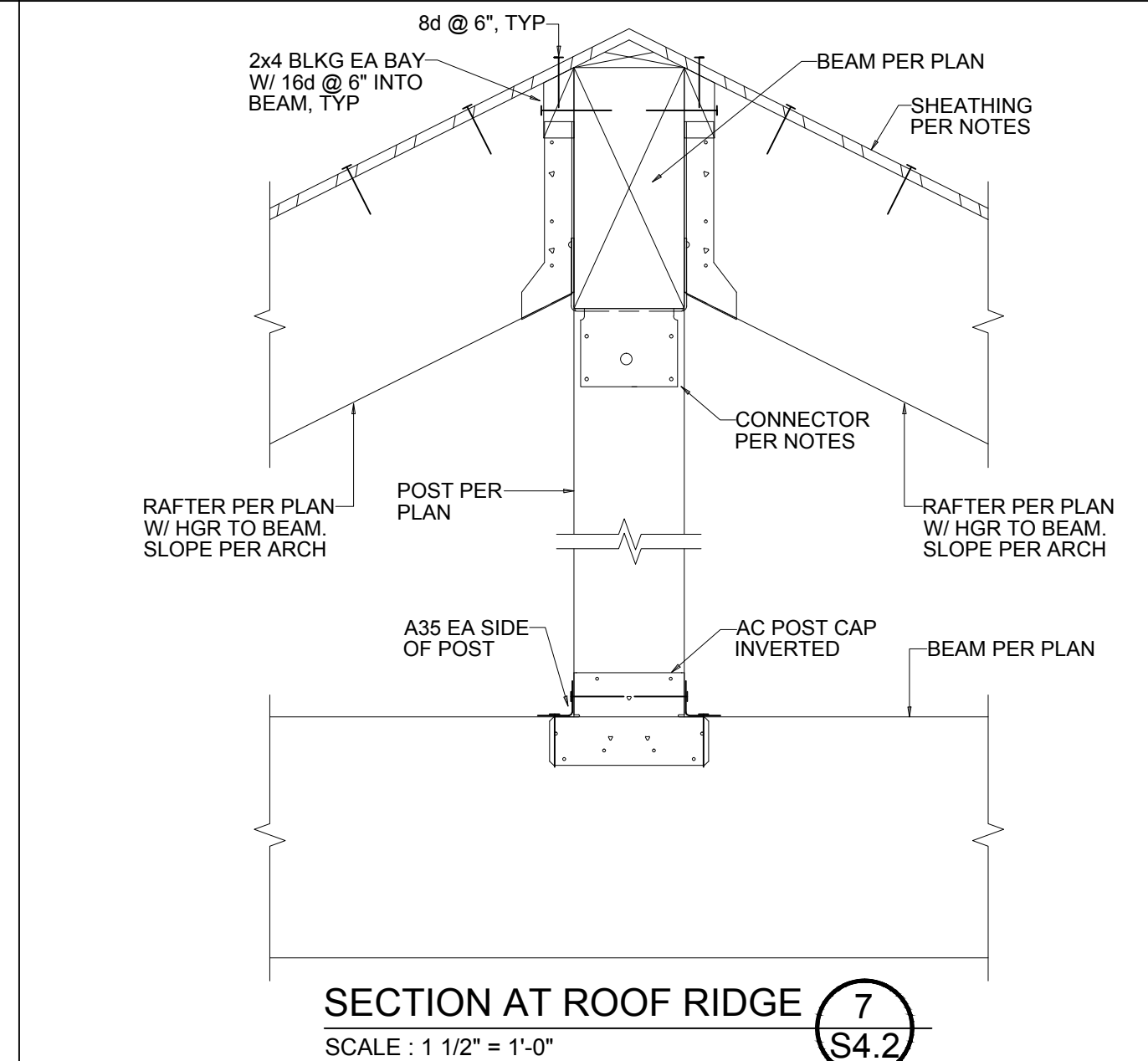
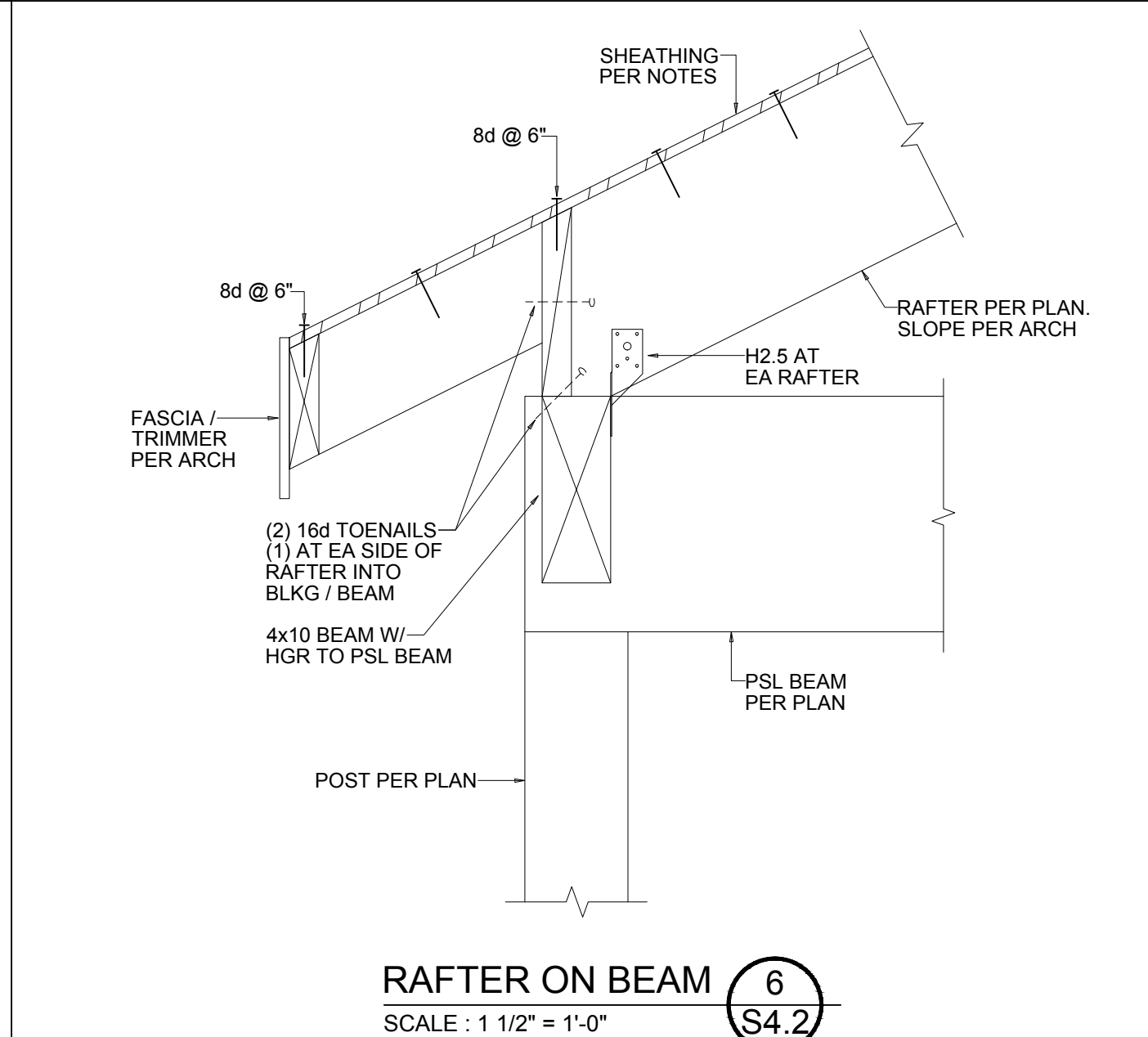
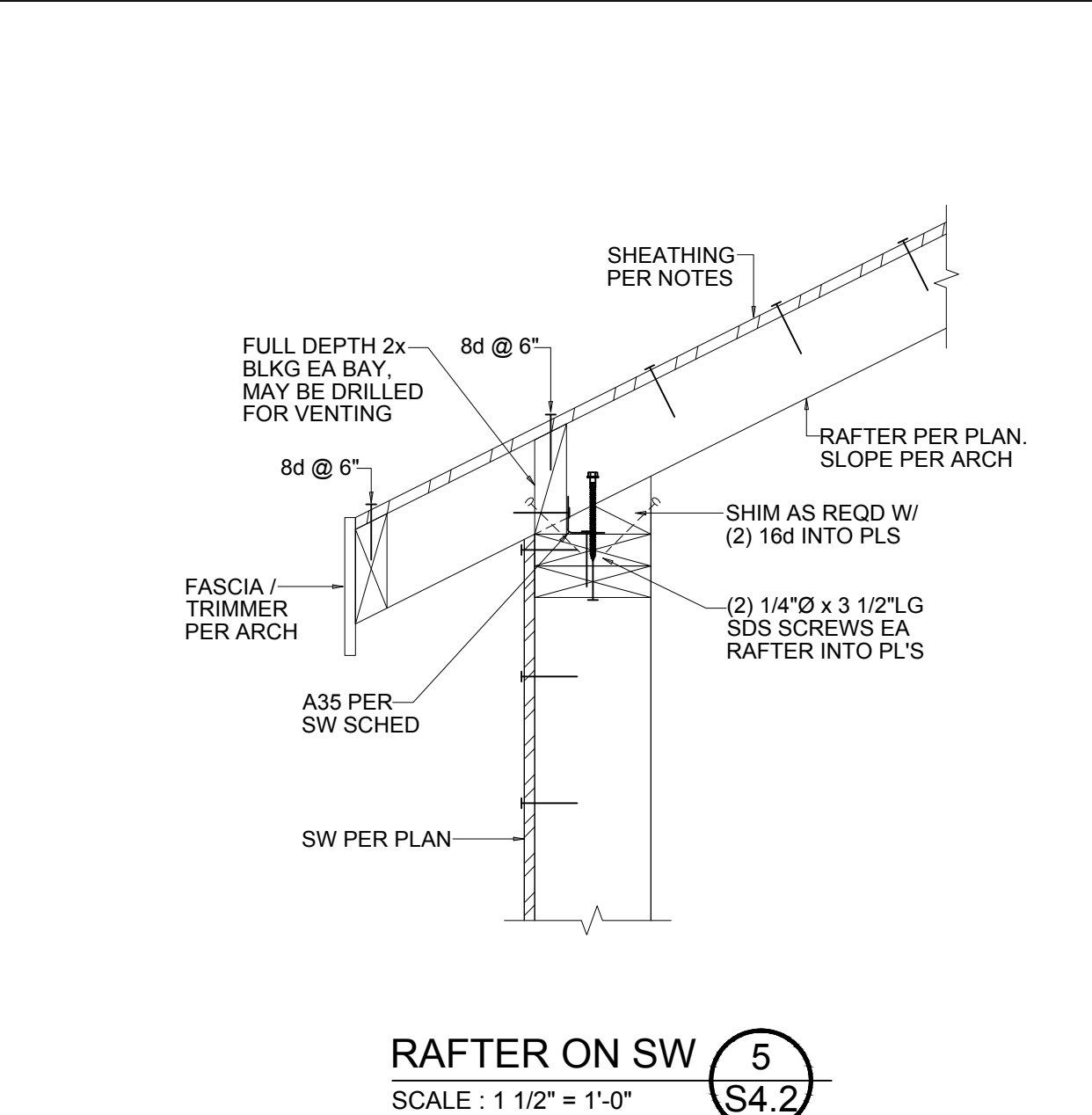
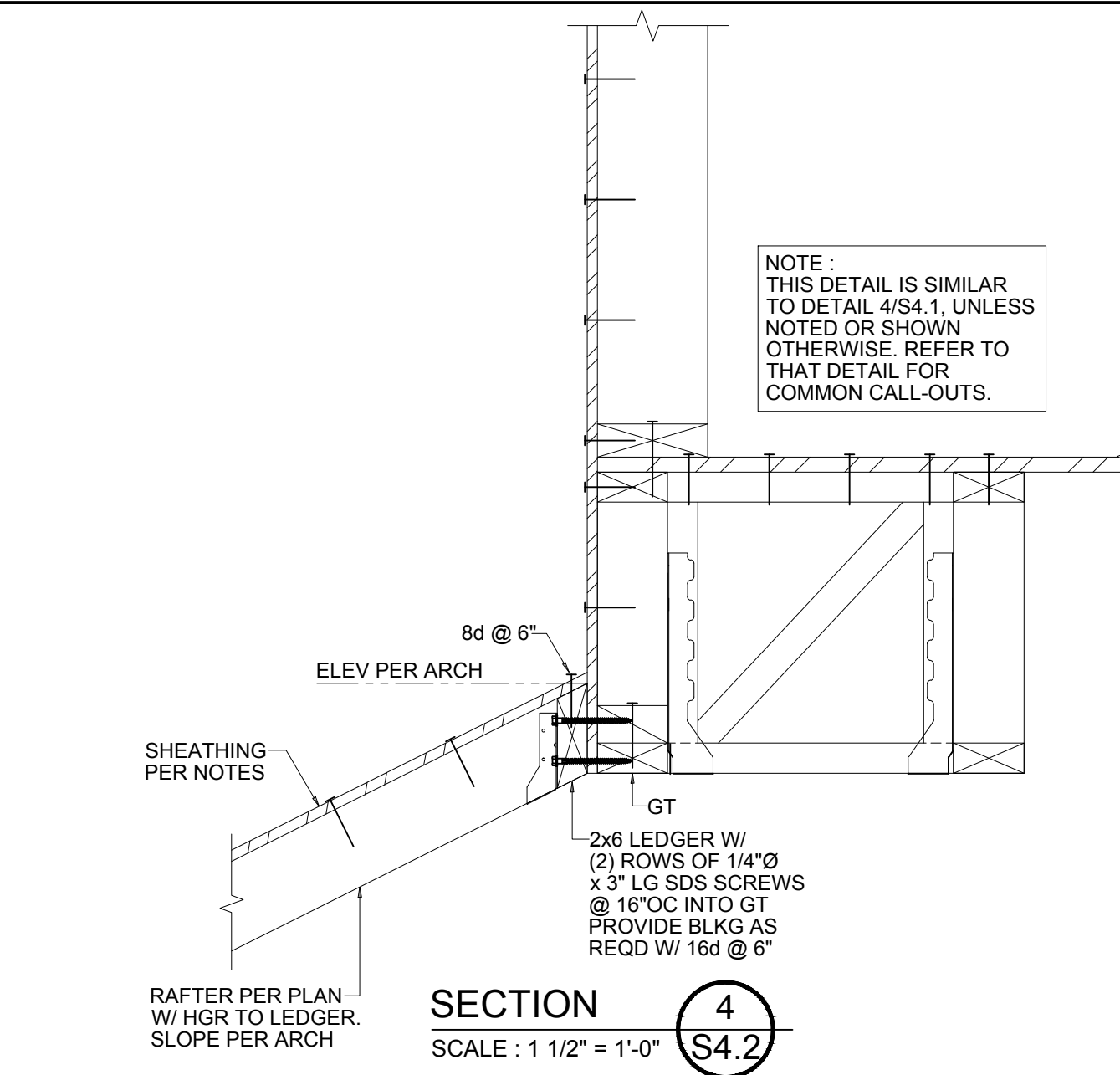
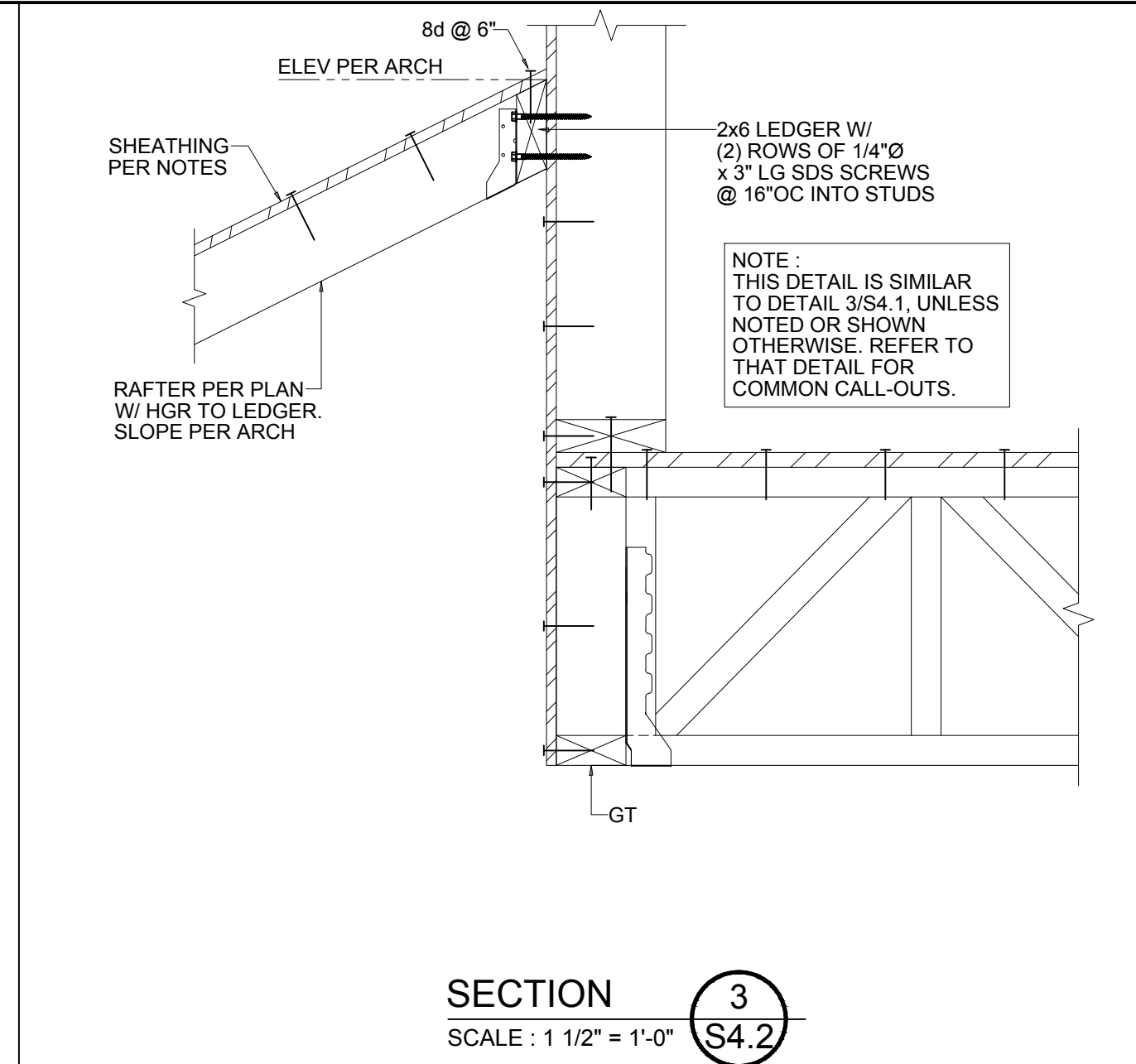
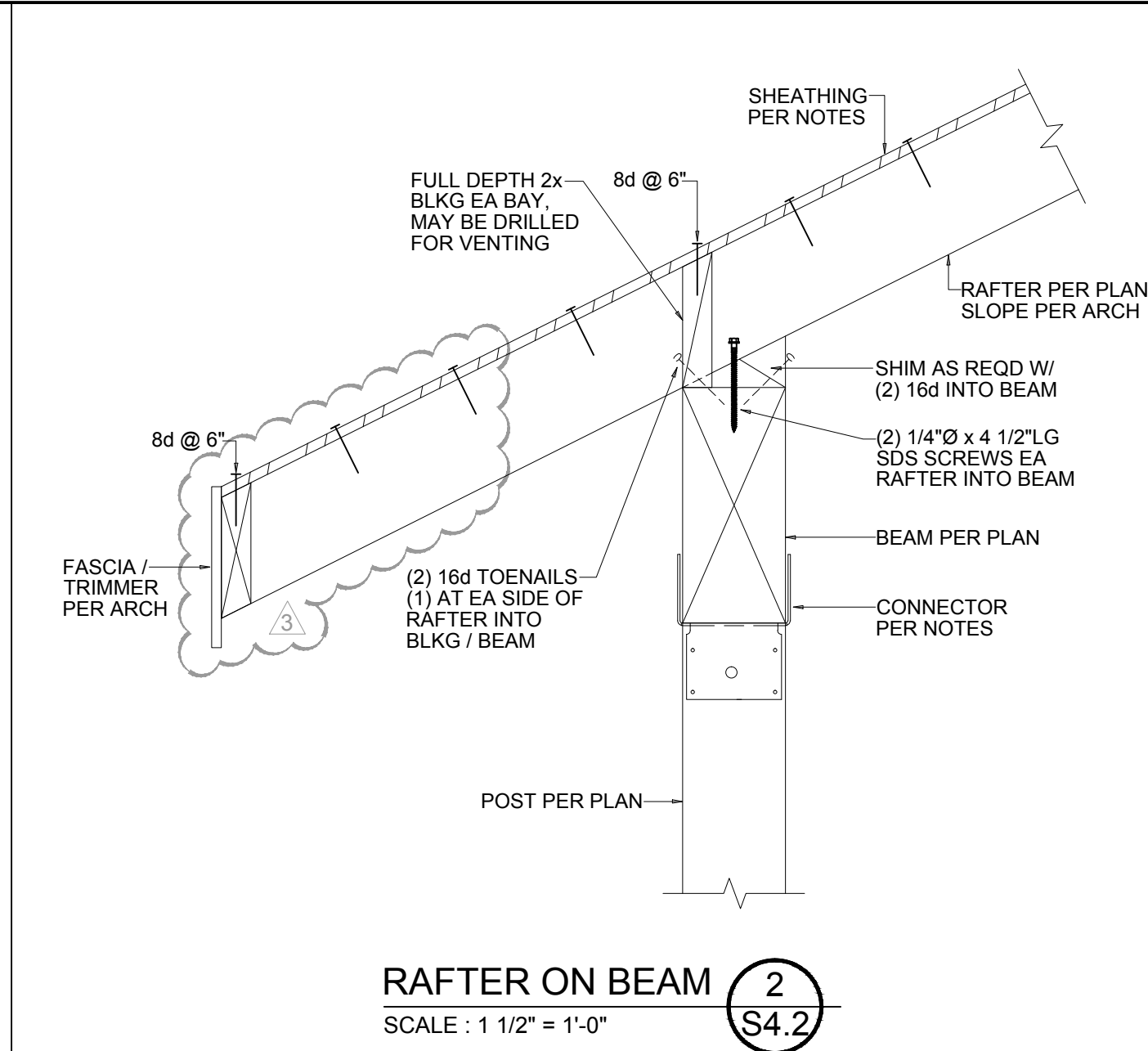
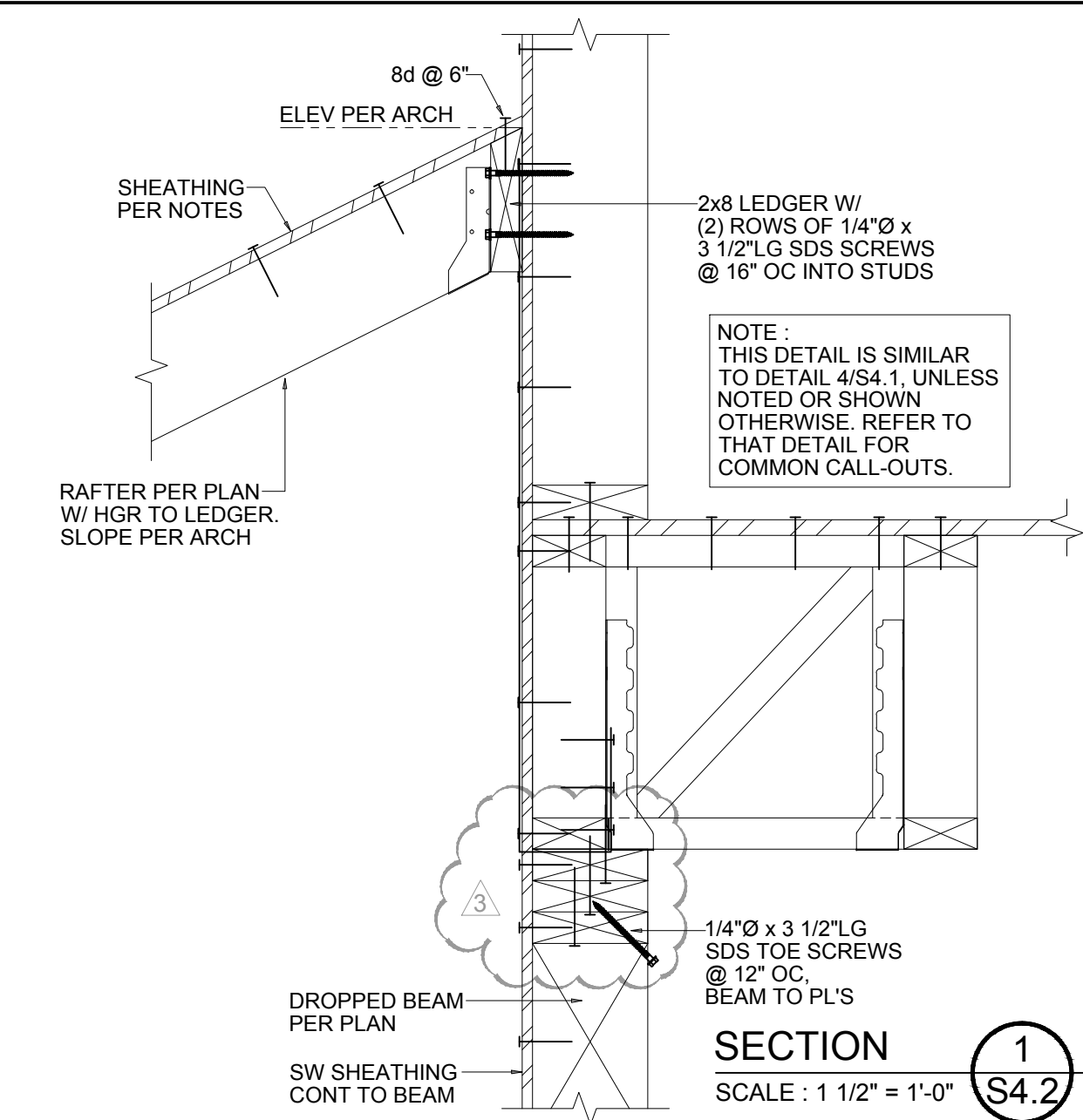
SHEET CONTENTS

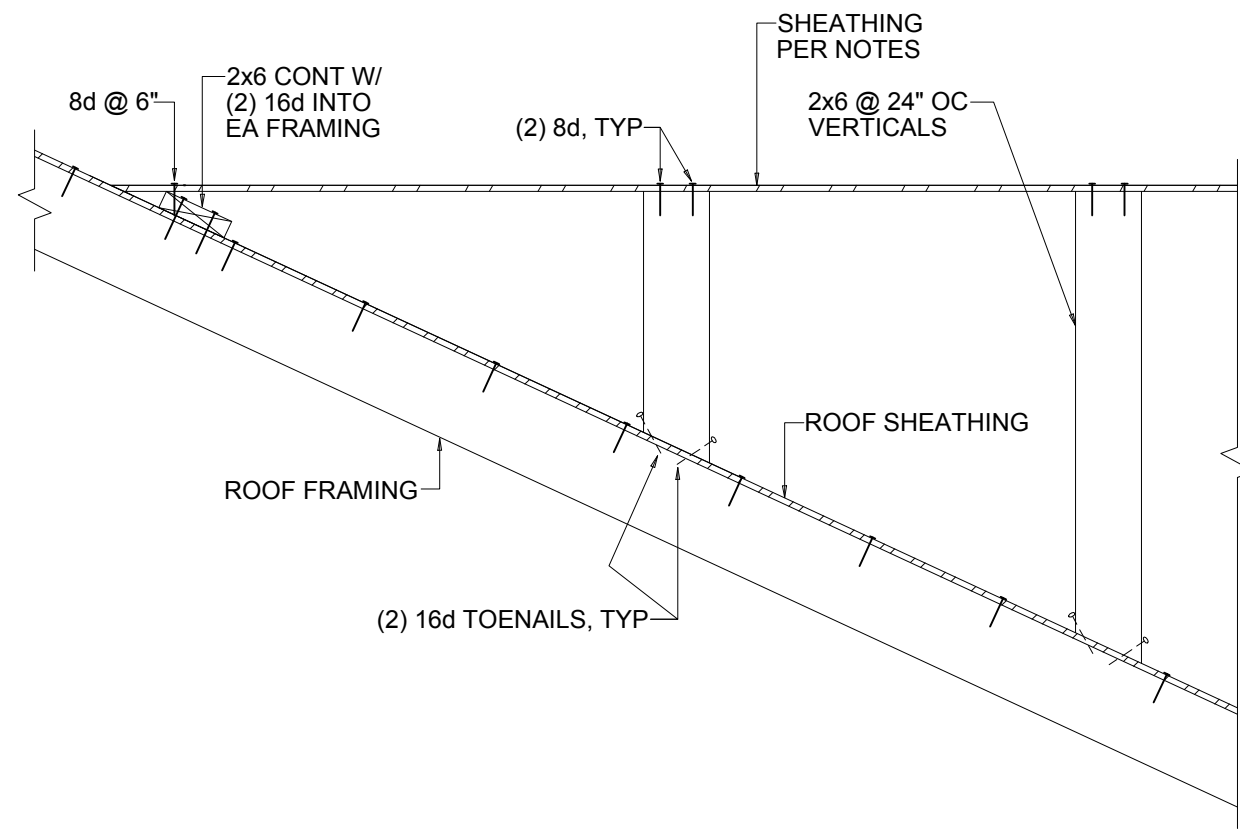
FRAMING DETAILS

JOB NO. 2147

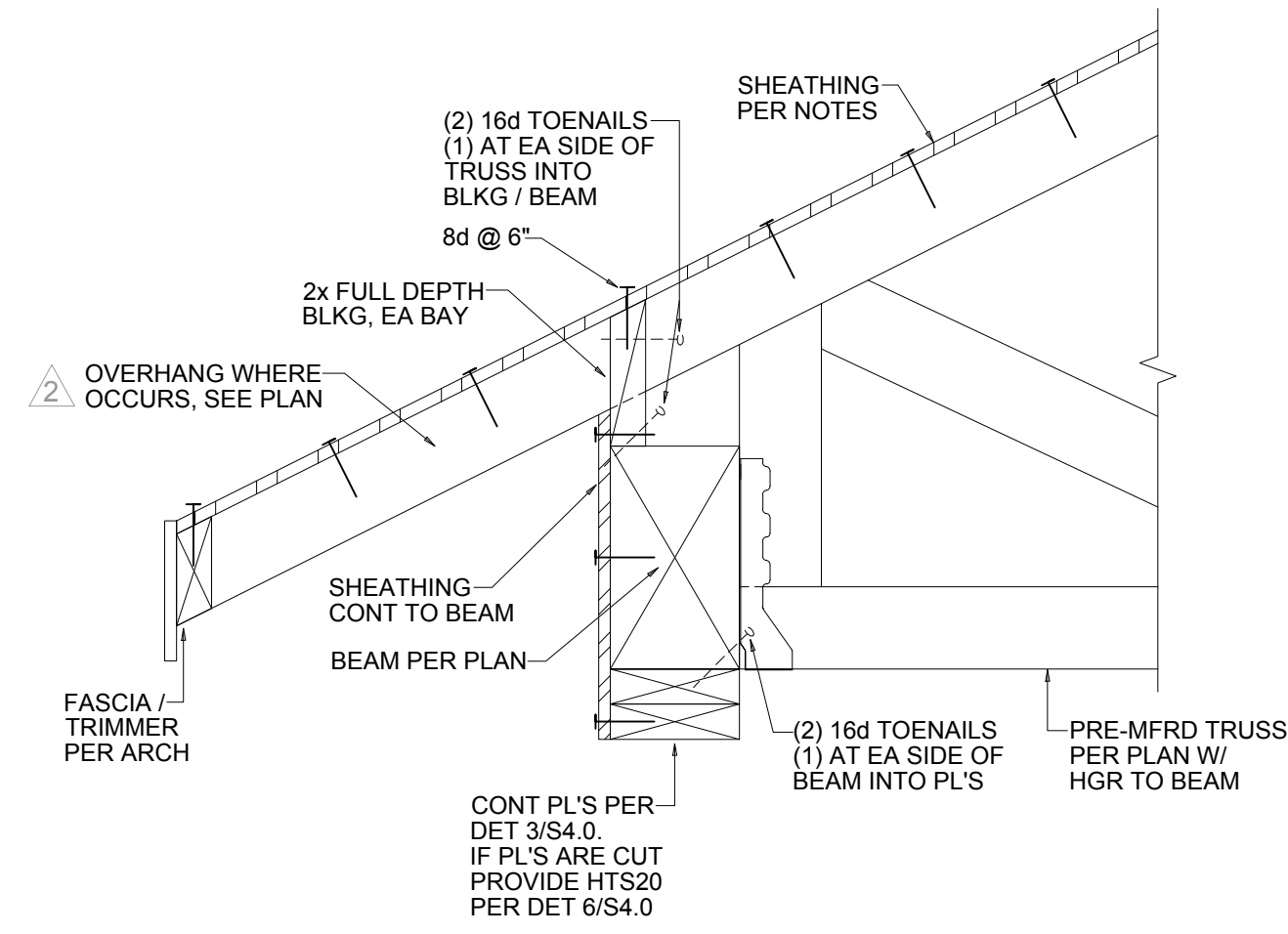
SHEET NO. S4.2

DPD APPROVAL

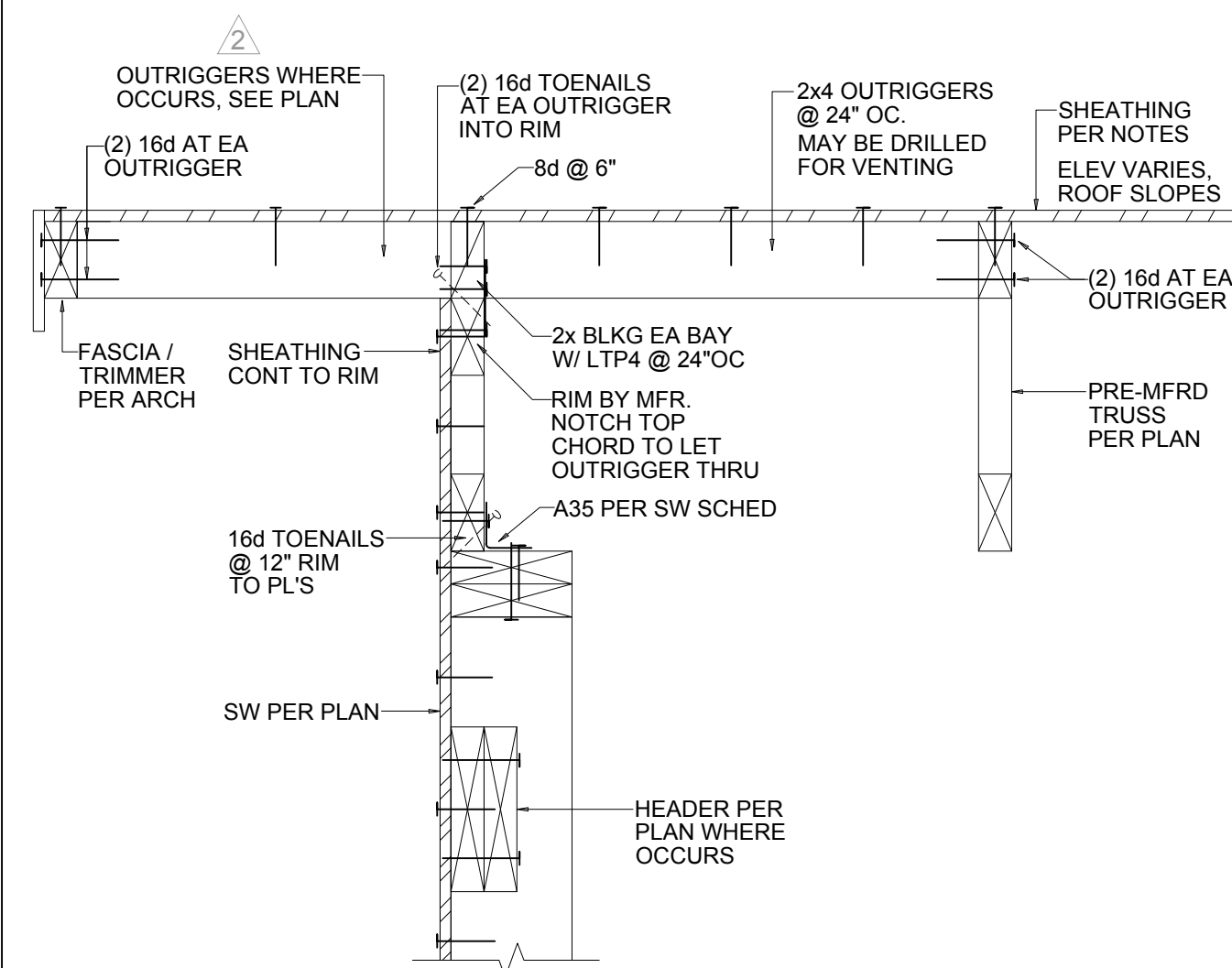




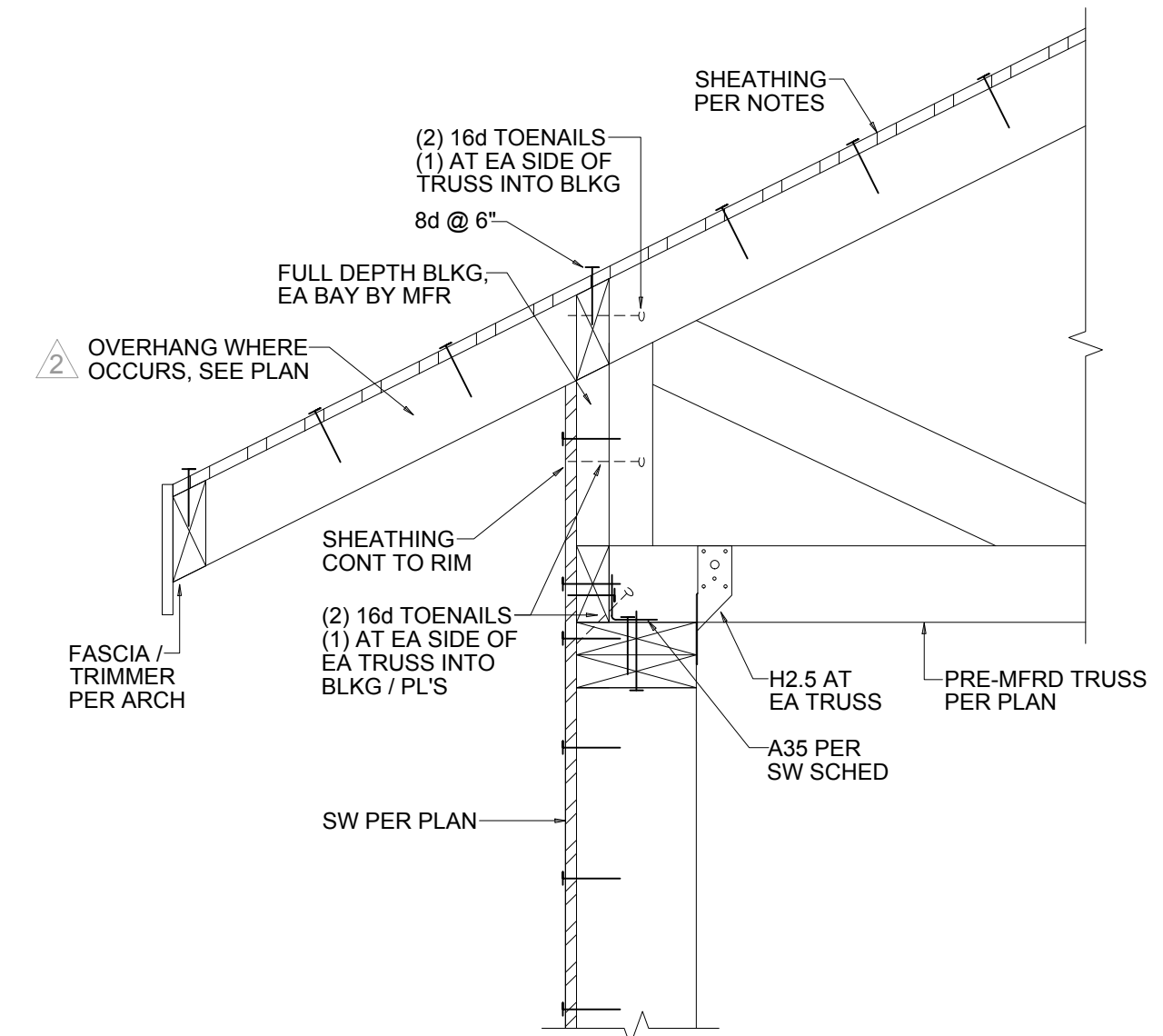
OVER FRAMING CONNECTION **4**
NOT TO SCALE **S4.3**



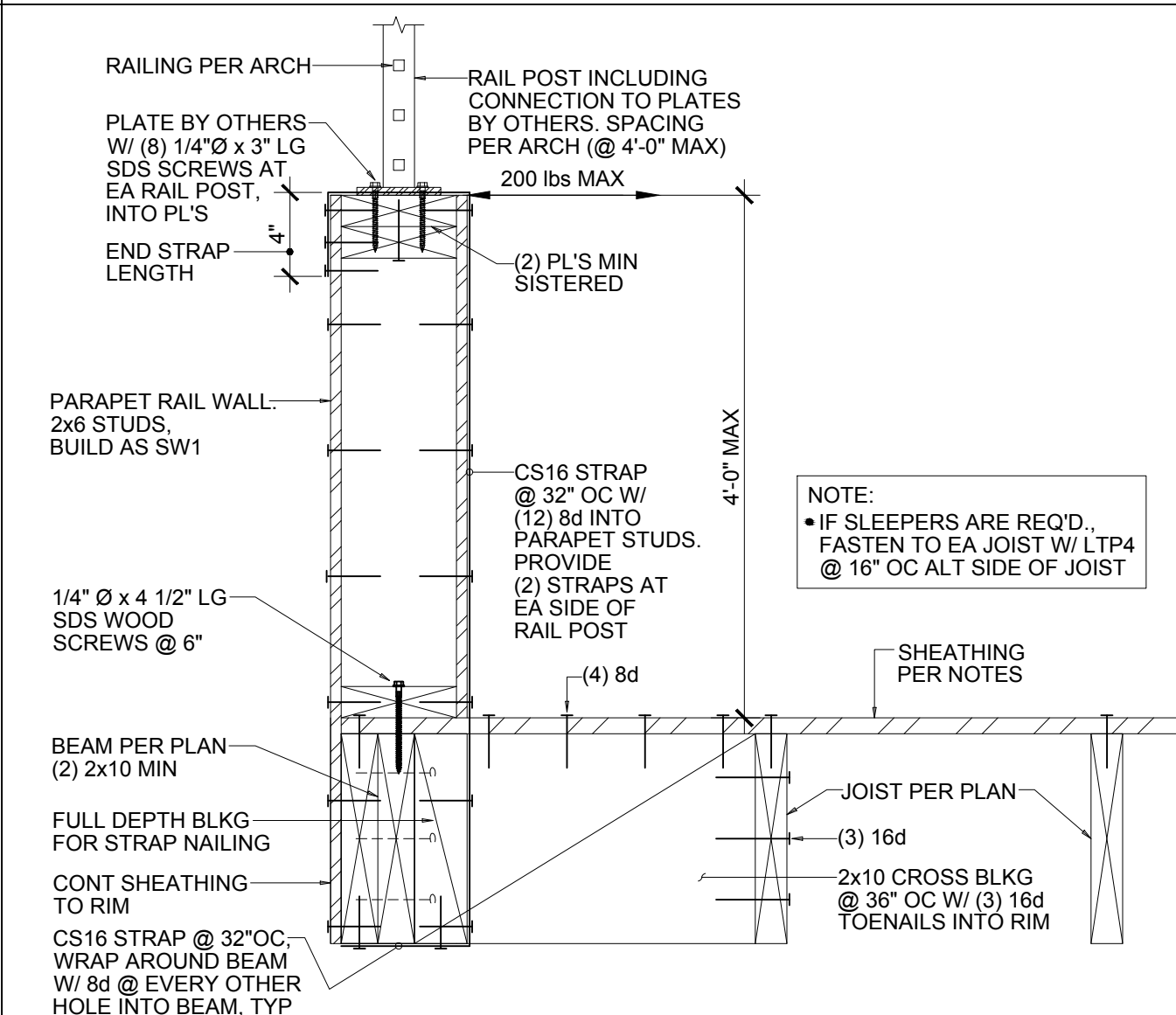
TRUSS ON BEAM **3**
SCALE: 1 1/2" = 1'-0" **S4.3**



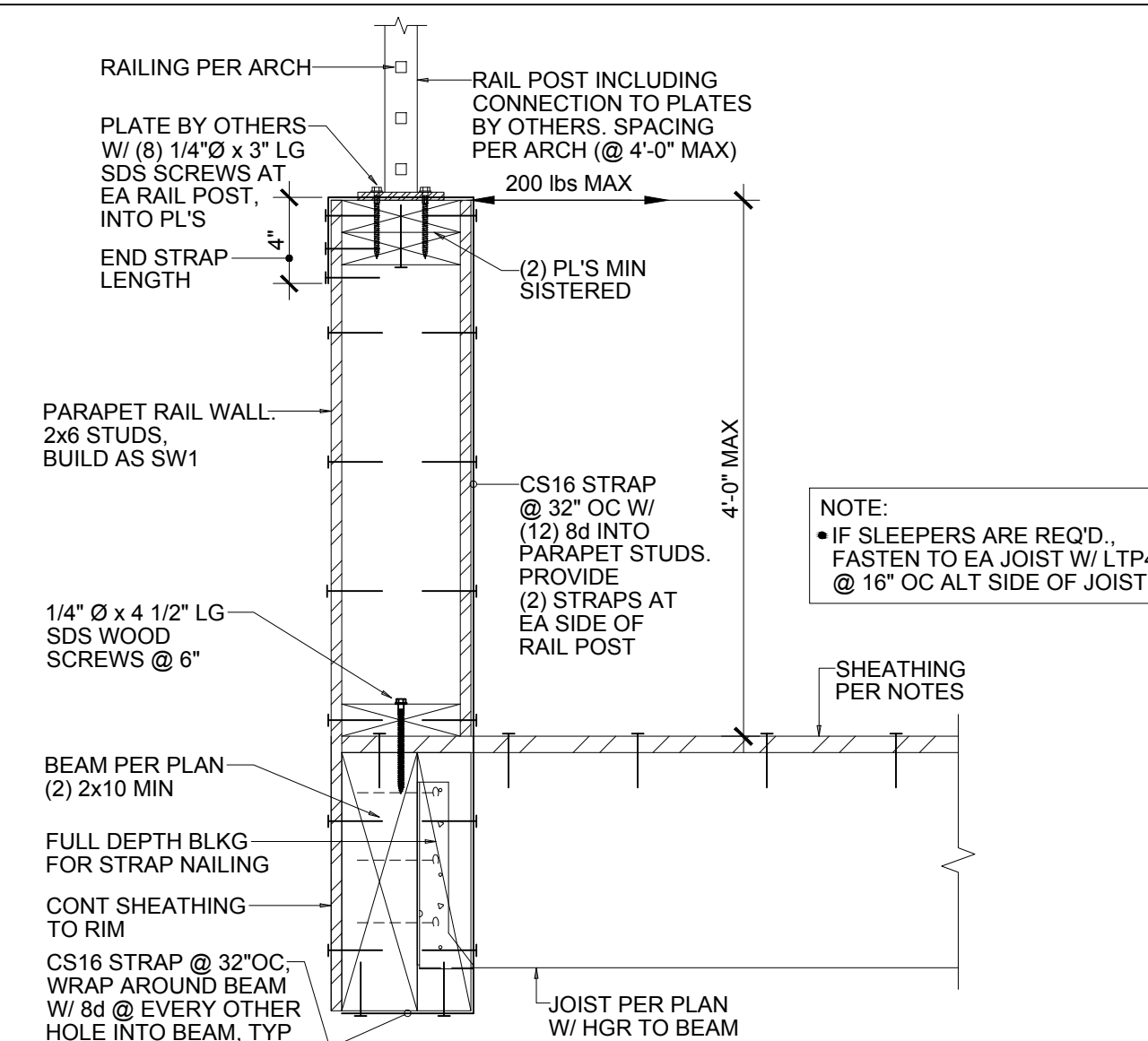
EXTERIOR WALL WITH PARALLEL TRUSS **2**
SCALE: 1 1/2" = 1'-0" **S4.3**



EXTERIOR WALL W/ PERPENDICULAR TRUSS **1**
SCALE: 1 1/2" = 1'-0" **S4.3**



SECTION AT DECK / RAILING CONNECTION **6**
SCALE: 1 1/2" = 1'-0" **S4.3**

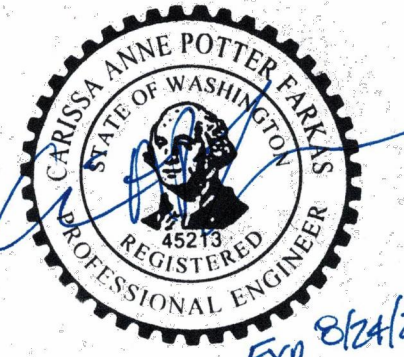


SECTION AT DECK / RAILING CONNECTION **5**
SCALE: 1 1/2" = 1'-0" **S4.3**

cfse

CARRISA FARKAS
STRUCTURAL
ENGINEERING, PLLC
206.6833197

ENGINEER'S SEAL



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61ST AVENUE
RESIDENCE

ADDRESS

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△	05.19.22	Correction
	04.24.23	Coordination
△	04.26.23	Revision

SHEET CONTENTS

FRAMING DETAILS

JOB NO. 2147

SHEET NO.

S4.3

DPD APPROVAL