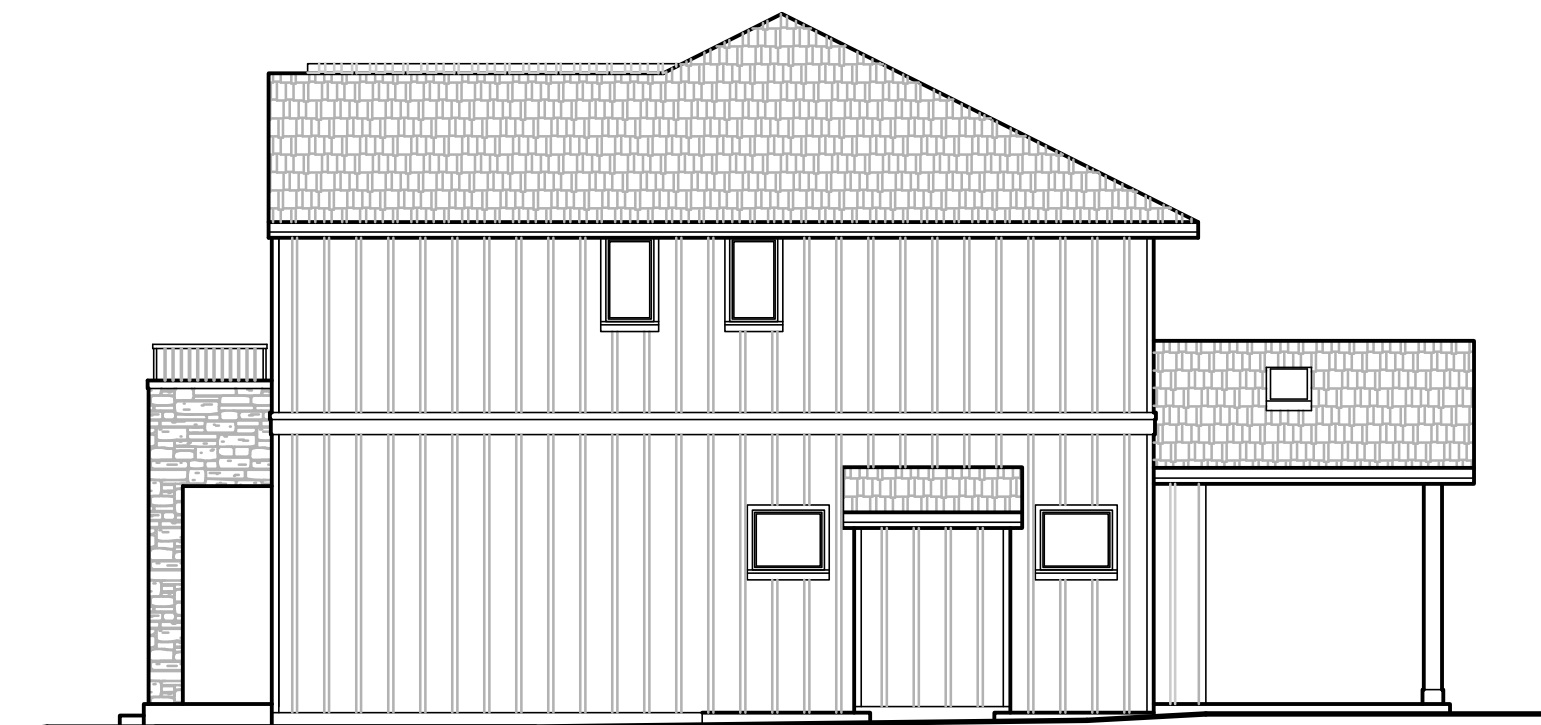


Side Elevation



Rear Elevation



Side Elevation



Jabooda Homes 61st Ave Residence

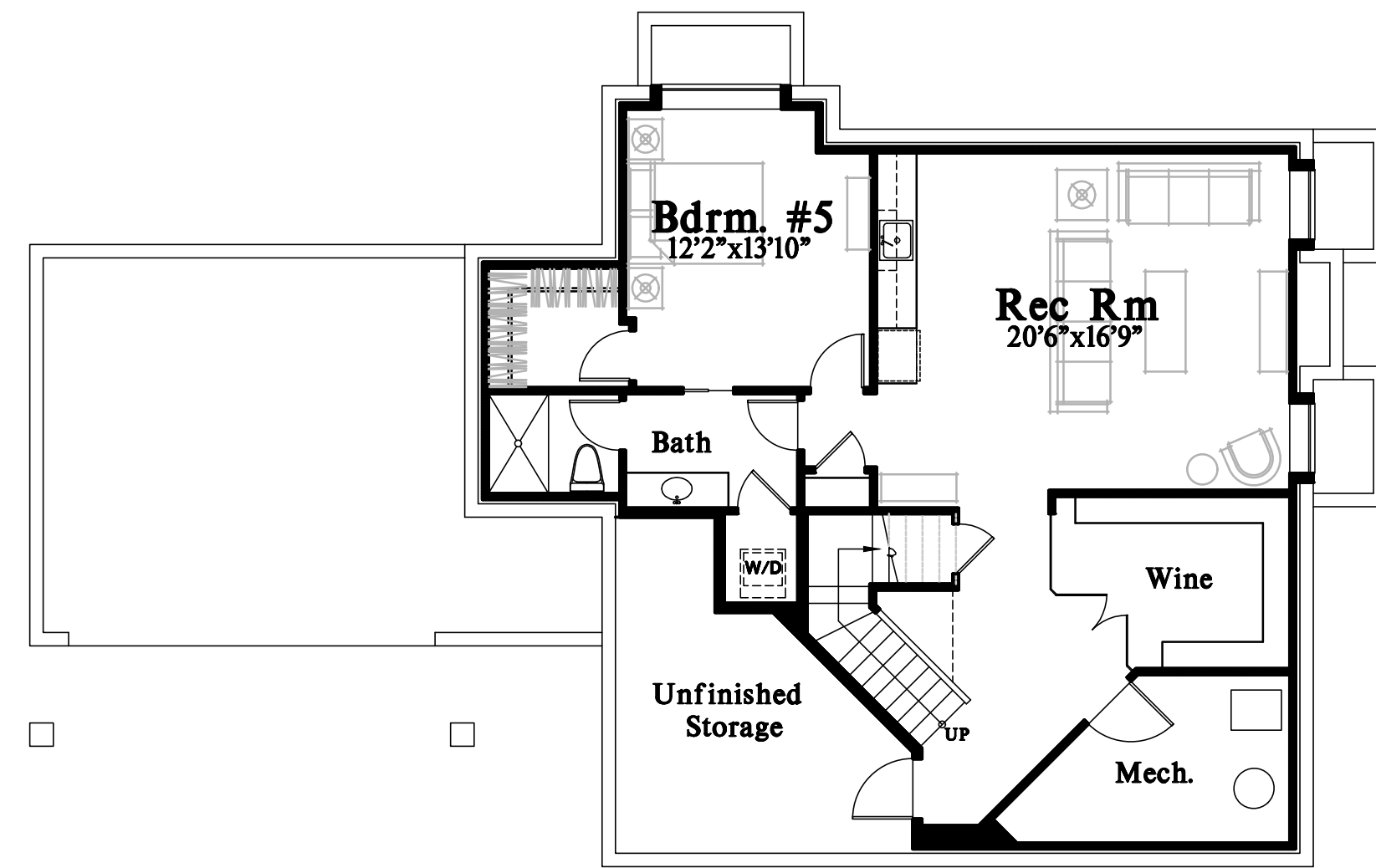
3038 61st Ave SE Mercer Island, Wa 98040

SQUARE FOOTAGE

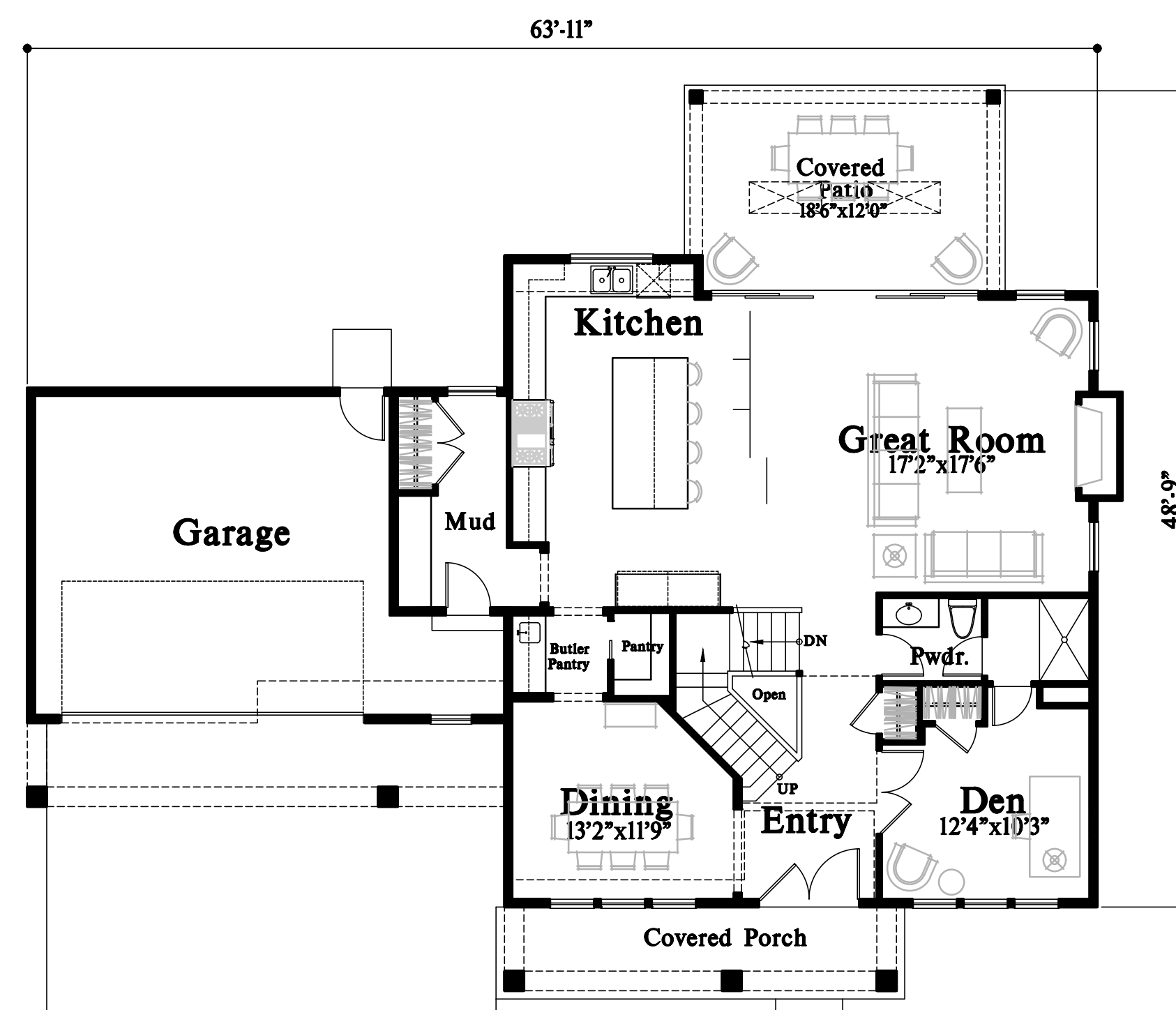
MAIN FLOOR	1410 SF
UPPER FLOOR	1650 SF
LOWER FLOOR	1141 SF
TOTAL	4201 SF
GARAGE	477 SF
STORAGE	177 SF
PORCH/PATIO	117/220 SF
BALCONY	267 SF

DRAWING INDEX

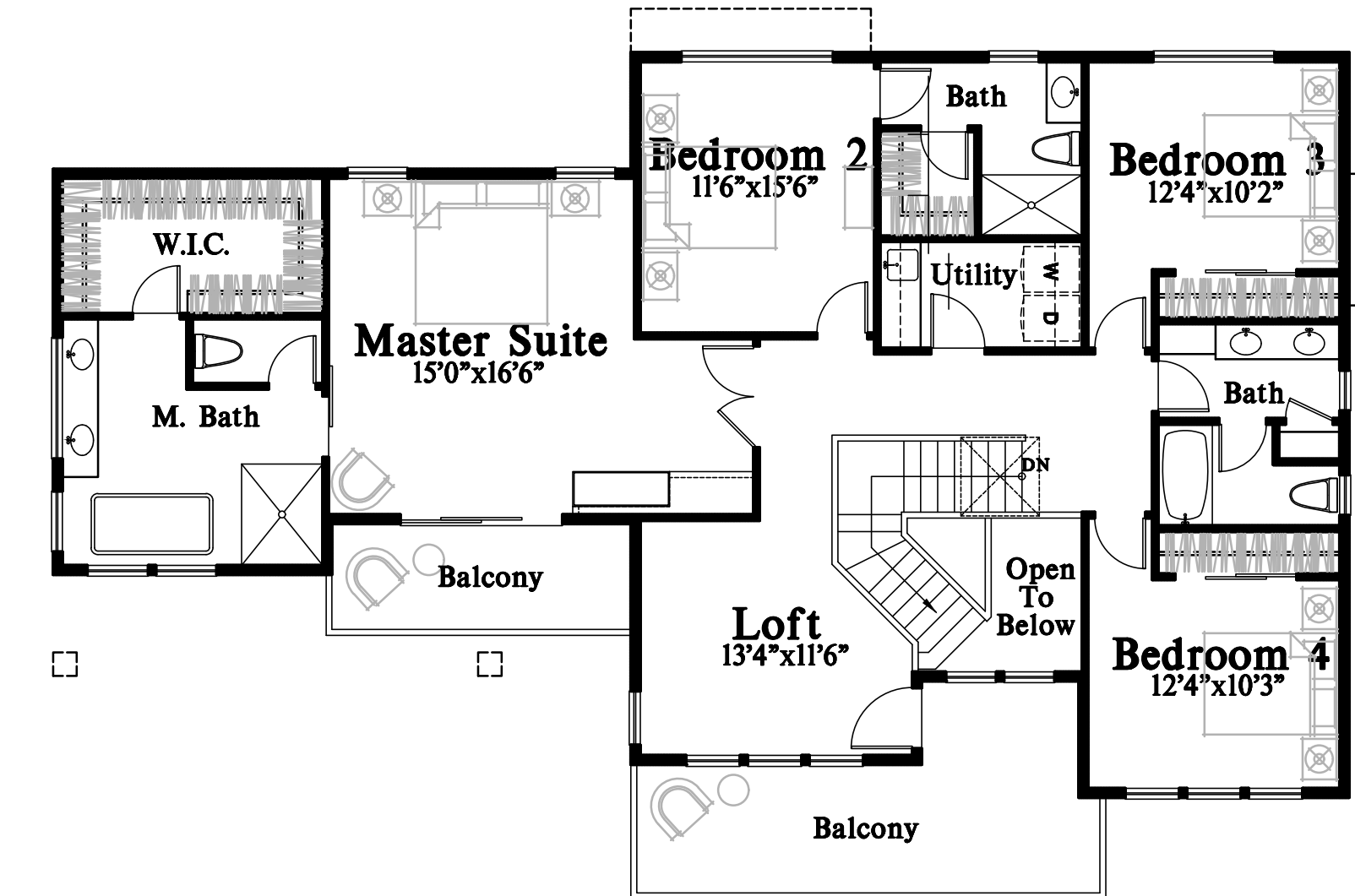
A1. CODE NOTES	D1. STANDARD DETAILS
A1.1. SITE PLAN	S1.0. GENERAL NOTES
C1. TESC PLAN	S2.0. FOUNDATION PLAN
C2. TESC DETAILS	S2.1. MAIN FLOOR FRAMING PLAN
C3. STORM WATER & UTILITY PLAN SURVEY	S2.2. UPPER FLOOR FRAMING PLAN
A2. LOWER FLOOR PLAN	S2.3. ROOF FRAMING PLAN
A3. MAIN FLOOR PLAN	
A4. UPPER FLOOR PLAN	
A5. ROOF PLAN	
A6. ELEVATIONS	
A7. ELEVATION & BUILDING SECTIONS	
S3.0. CONCRETE DETAILS	
S3.1. CONCRETE DETAILS	
S4.0. FRAMING DETAILS	
S4.1. FRAMING DETAILS	
S4.2. FRAMING DETAILS	
S4.3. FRAMING DETAILS	



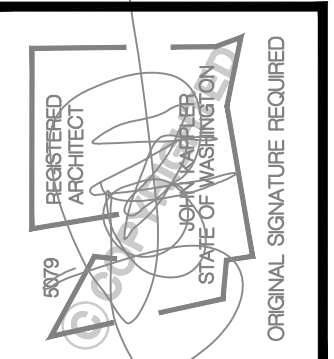
Lower Floor Plan



Main Floor Plan



Upper Floor Plan



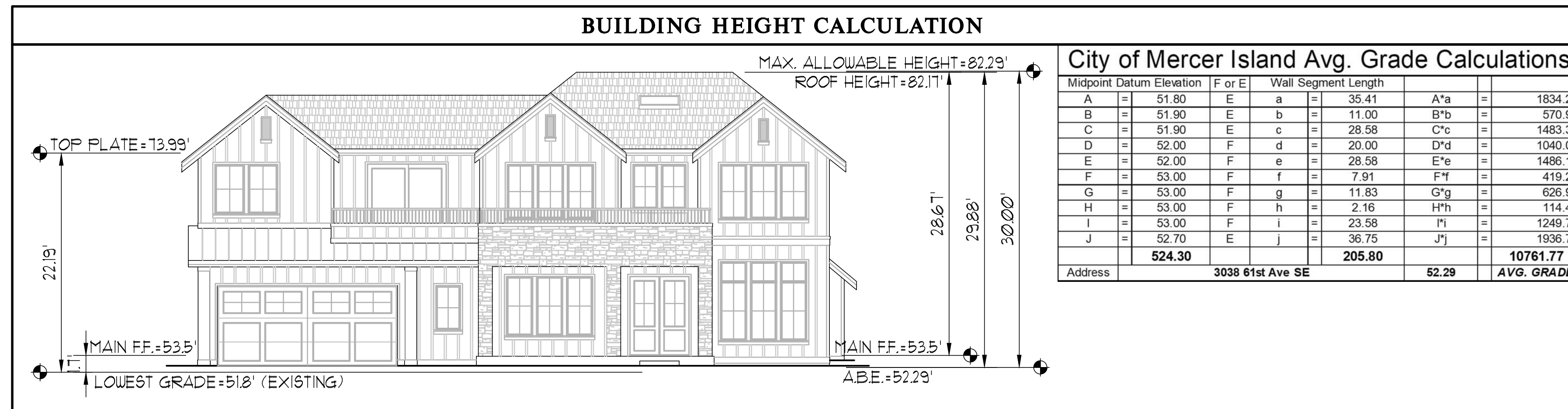
Date	By	Description
01/26/21	SM	PERMIT SET
05/19/21	SM	JURISDICTIONAL COMMENTS

Jabooda Homes
61st Ave Residence
3038 61st Ave SE Mercer Island, Wa 98040
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TITLE
JOB NO. : 2104821
STARTING NO. : 2104805

SHEET
COVER SHEET



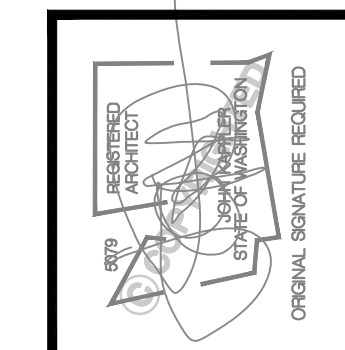
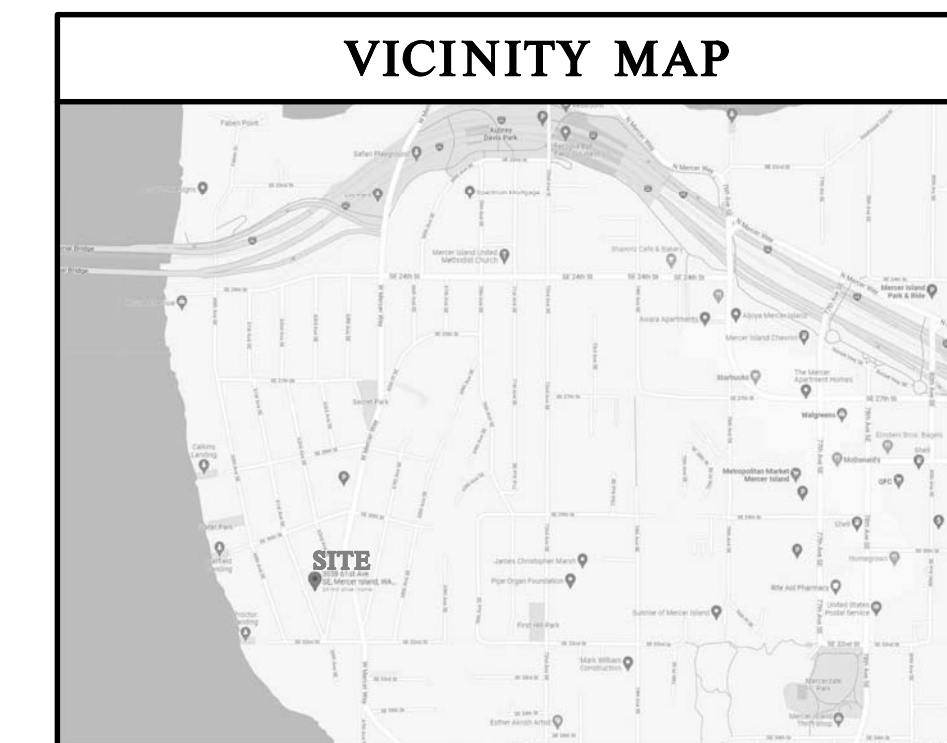
City of Mercer Island Avg. Grade Calculations

Midpoint	Datum Elevation	F or E	Wall Segment Length	A*a		
A	51.80	E	a	35.41		1834.24
B	51.90	E	b	11.00	B*b	570.90
C	51.90	E	c	28.58	C*c	1483.30
D	52.00	F	d	20.00	D*d	1040.00
E	52.00	F	e	28.58	E*e	1486.16
F	53.00	F	f	7.91	F*f	419.23
G	53.00	F	g	11.83	G*g	626.99
H	53.00	F	h	2.16	H*h	114.48
I	53.00	F	i	23.58	I*i	1249.74
J	52.70	E	j	36.75	J*j	1936.73
				524.30	205.80	10761.77
Address				3038 61st Ave SE	52.29	AVG. GRADE

City of Mercer Island GFA Calculations

Wall Length	Percentage	Finish or Existing	Result	
A	85.41	98.8%	E	64.8
b	17.41	98.8%	E	17.2
c	6.83	99.2%	E	6.8
d	13.58	100.0%	F	13.6
e	6.83	100.0%	F	6.8
F	7.91	100.0%	F	7.9
G	11.83	100.0%	F	11.8
H	2.16	100.0%	F	2.2
I	23.58	100.0%	F	23.6
J	36.75	99.8%	E	36.7
Total Average Result				1.0
Excluded Area				1310.30969

Lot Size =	9,000 SF	x 40% =	3,600 SF
Main Floor	1463	(1410+53) AREA >16'	
Garage	477		
Upper Floor	1651	(1713-62) STAIRS	
Lower Floor	8	(1318-1310) EXCLUDED	
Total G.F.A. =	3599		



Date	By	Description
07/25/22 SM	PERMIT SET	
05/07/22 SM	JURISDICTIONAL COMMENTS	

SITE INFO

STREET ADDRESSES:
3038 61st Ave SE, Mercer Island, WA 98040

PARCEL NUMBER:
217450-0395

LEGAL DESCRIPTION:
LOTS 7, 8, AND 9, BLOCK 3, EAST SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 3 OF PLATS, PAGES 22-23, IN KING COUNTY, WASHINGTON.

ZONING

ZONING: R-84
SINGLE FAMILY RESIDENTIAL SETBACKS.
FRONT YARD - 20'
REAR YARD - 25'
SIDE YARD - 15' COMBINED

LOT COVERAGE
40% - LOT SLOPE IS LESS THAN 15%

REQUIRED LANDSCAPE AREA
60% - LOT SLOPE IS LESS THAN 15%

HARDSCAPE COVERAGE
9%

ALLOWED GFA
40%

ALLOWABLE BUILDING HEIGHT
30' ABOVE AVERAGE BUILDING ELEVATION TO TOP OF STRUCTURE
30' ABOVE LOWEST GRADE TO TOP OF WALL

SITE CALCULATIONS

LOT AREA	9,000 SF	GROSS LOT AREA	
COVERAGE CALCULATION	9,000 SF	LOT AREA	
x 40%	3,600 SF	ALLOWABLE IMPERVIOUS COVERAGE	
2,300 SF	HOUSE ROOF (includes gutters)		
419 SF	COVERED PATIO & PORCH (includes gutters)		
693 SF	DRIVEWAY (excludes area under eaves)		
3,412 SF / 37.9%	TOTAL COVERAGE		
HARDSCAPE COVERAGE CALCULATION	9,000 SF	LOT AREA	
x 9%	810 SF	ALLOWABLE HARDSCAPE COVERAGE	
95 SF	FRONT WALK (excludes portion w/ eaves)		
46 SF	WINDOW WELLS (excludes portion w/ eaves)		
9 SF	STOOP & A/C PAD (excludes portion w/ eaves)		
150 SF / 1.7%	TOTAL HARDSCAPE COVERAGE		

LEGEND

— w — w —	DESIGNATES WATER
— s — s —	DESIGNATES SEWER
— sd — sd —	DESIGNATES STORM
— — — —	DESIGNATES EXISTING GRADE
— — — —	DESIGNATES FINISHED GRADE
— x — x —	DESIGNATES TREE DRIPLINE
— o — o —	DESIGNATES TREE FENCING
— — — —	DESIGNATES EXISTING WOOD FENCE
— — — —	EXISTING FENCE TO BE REMOVED

DEMO EXISTING STRUCTURES AND HARDSCAPE

SEE ADDITIONAL STORM & UTILITY PLAN

Jabooda Homes
61st Ave Residence
3038 61st Ave SE Mercer Island, WA 98040
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www.jaboodahomes.com

TITLE	
JOB NO.:	2104814
STARTING NO.:	
SHEET	

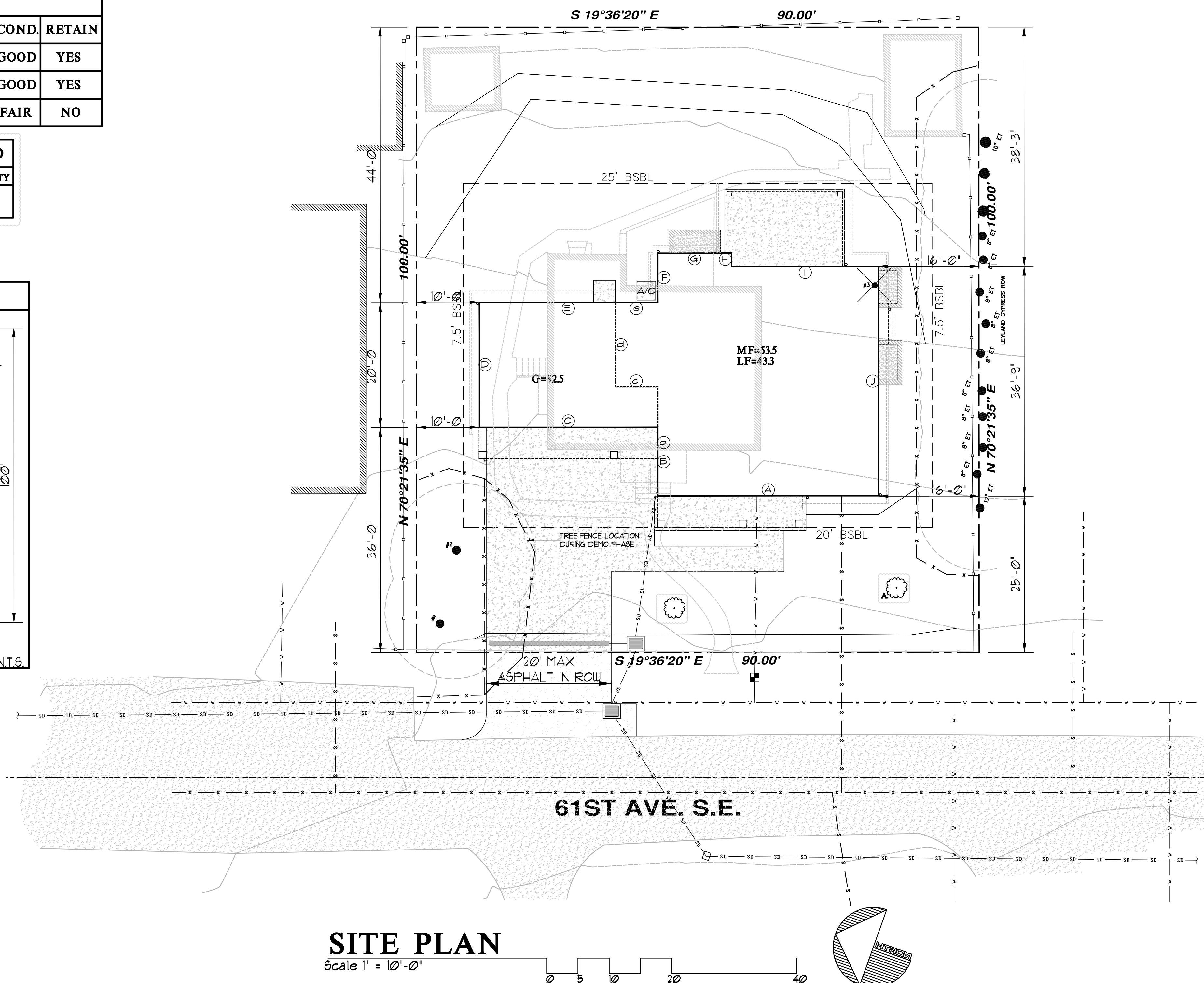
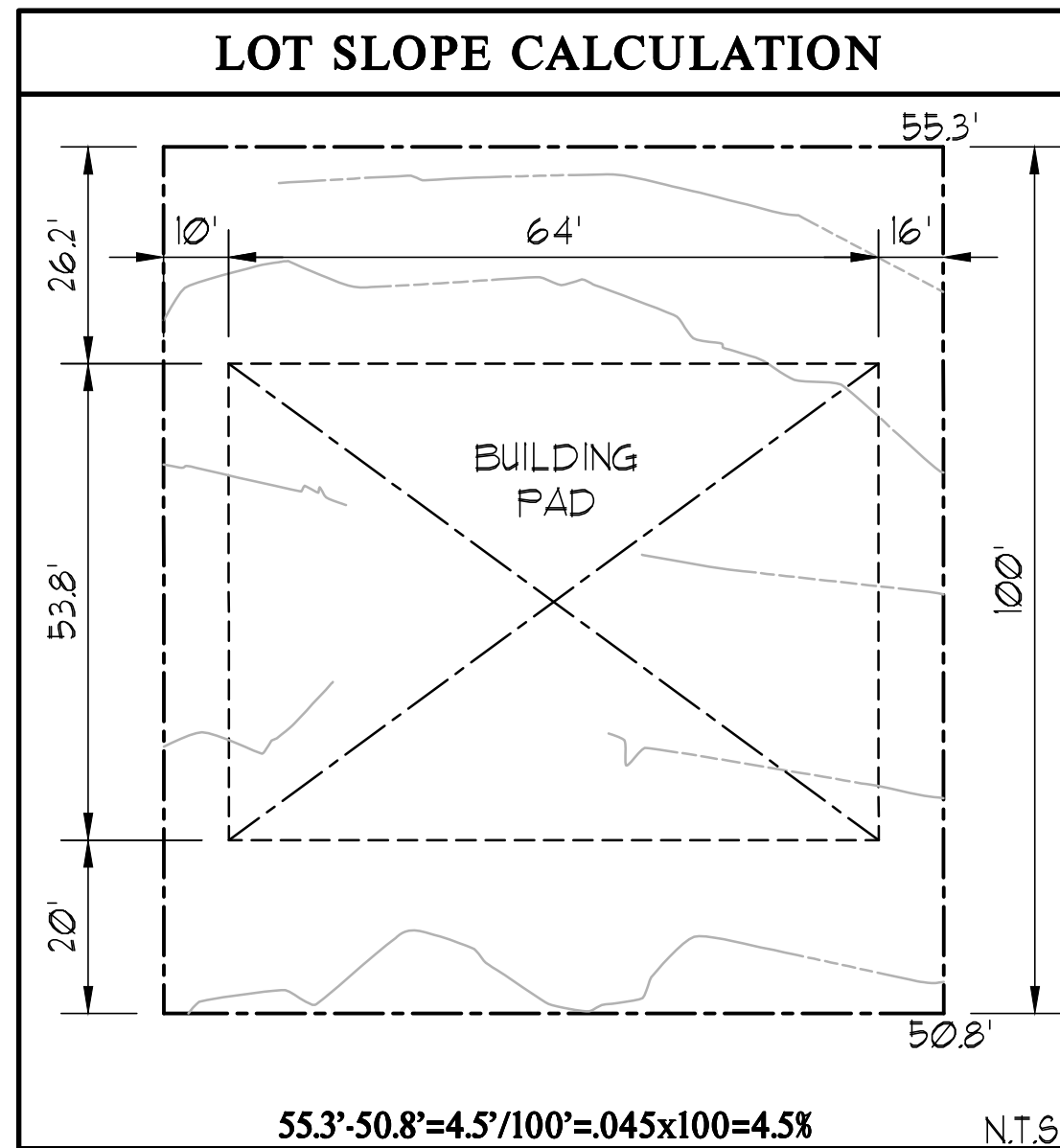
A1.1

TREE RETENTION SCHEDULE

#	TREE SPECIES	SCIENTIFIC NAME	DBH	COND.	RETAIN
1.	HONEY LOCUST CV	GLEDITSIA TRIACANTHOS	6,4(7)	GOOD	YES
2.	CORKSCREW WILLOW CV	SALIX MATSUDANA	7,7,4(1)	GOOD	YES
3.	PLUM	PRUNUS AMENCANA MARSH	7,7(10)	FAIR	NO

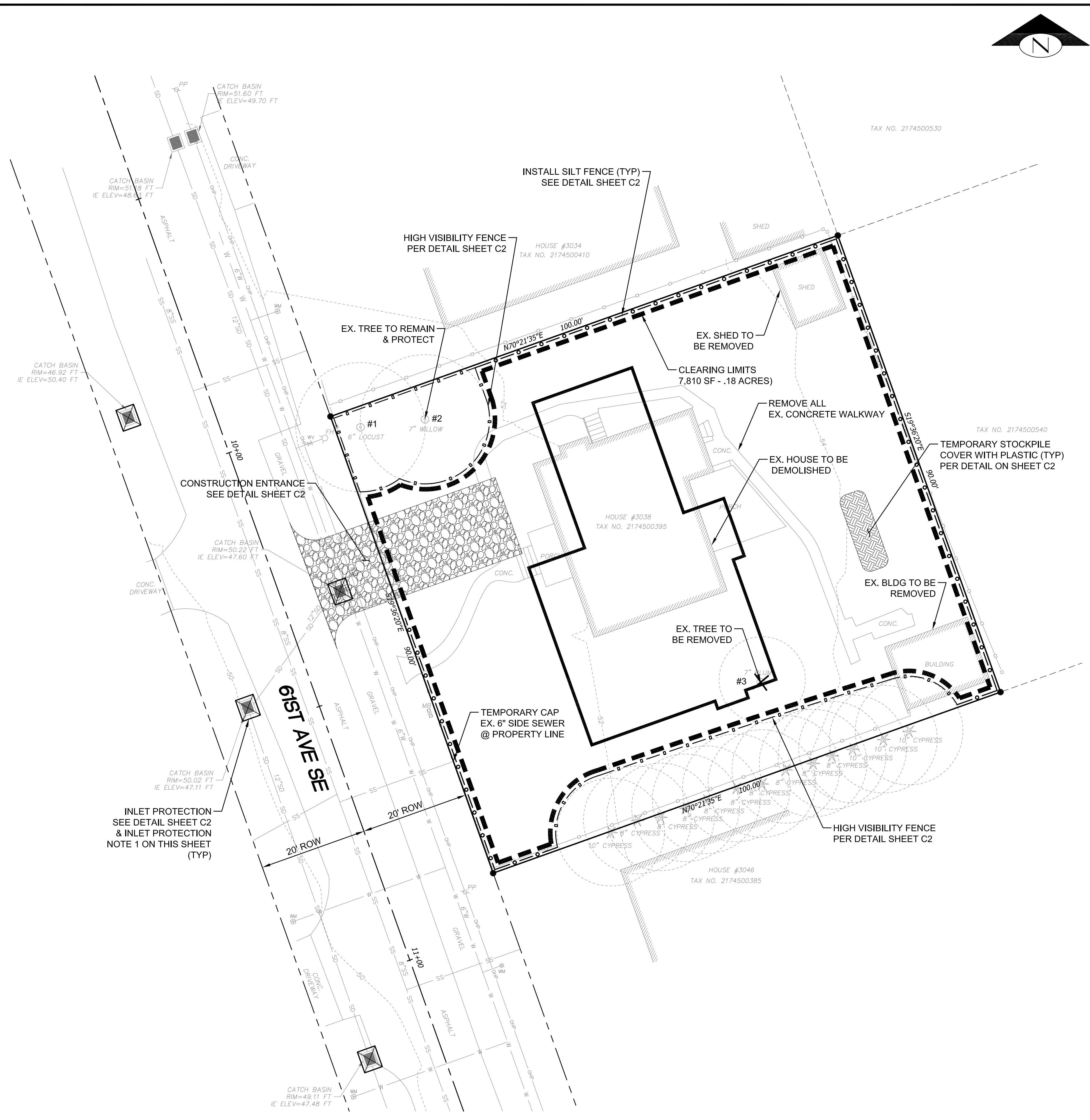
REPLACEMENT TREE LEGEND

DESIGNATION	SPECIES	QUANTITY
A.	DOUGLAS FIR (6' tall)	3



SITE PLAN
Scale 1" = 10'-0"

May 18, 2022 - 2:31pm Hon Pham L:\Working\21635 - 3038 61st Ave SE (Jabooda Homes)\CADD\Drawings\21635-PS-C1.dwg Layout Name: C1



TREE INVENTORY:

#1 - 6"	HONEY LOCUST (GLEDTISIA TRIACANTHOS)	REGULATED-YES
#2 - 7"	CORKSCREW WILLOW (SALIX MATSUDANA)	REGULATED-YES
#3 - 7"	PLUM (PRUNUS AMERICANA MARSH.)	REGULATED-NO

STABILIZE SOILS:

TEMPORARY COVER MEASURES SHALL BE PROVIDED WHEN NECESSARY TO PROTECT DISTURBED AREAS. THE INTENT OF THESE MEASURES IS TO PREVENT EROSION BY HAVING AS MUCH AREA AS POSSIBLE COVERED DURING ANY PERIOD OF PRECIPITATION. TOPSOIL LAYERS SHALL BE RETAINED AND PROTECTED TO THE MAXIMUM EXTENT FEASIBLE. ANY TOPSOIL THAT IS STOCKPILED ONSITE SHALL BE COVERED TO PREVENT EROSION AND SATURATION, AND SHALL BE REUSED IN LANDSCAPED AREAS UPON COMPLETION OF THE GROUND DISTURBING ACTIVITIES. TEMPORARY COVER SHALL BE INSTALLED IF AN AREA IS TO REMAIN UNWORKED FOR MORE THAN 7 DAYS DURING THE DRY SEASON (MAY 1 TO SEPTEMBER 30) OR FOR MORE THAN TWO CONSECUTIVE WORKING DAYS DURING THE WET SEASON (OCTOBER 1 TO APRIL 30). COVER METHODS INCLUDE THE USE OF SURFACE ROUGHENING, MULCH, EROSION CONTROL NETS AND BLANKETS, PLASTIC COVERING, SEEDING, AND SODDING. MULCH AND PLASTIC SHEETING ARE PRIMARILY INTENDED TO PROTECT DISTURBED AREAS FOR A SHORT PERIOD OF TIME, TYPICALLY DAYS TO A FEW MONTHS. SEEDING AND SODDING ARE MEASURES FOR AREAS THAT ARE TO REMAIN UNWORKED FOR MONTHS. EROSION NETS AND BLANKETS ARE TO BE USED IN CONJUNCTION WITH SEEDING STEEP SLOPES

GENERAL NOTE:

1. LAND CLEARING, GRADING, FILLING, AND FOUNDATION WORK ARE NOT PERMITTED BETWEEN OCTOBER 1ST AND APRIL 1ST. ANY WORK THAT IS PROPOSED DURING THE WET SEASON MUST SUBMIT A SEASONAL DEVELOPMENT LIMITATION WAIVER FOR APPROVAL BY THE BUILDING OFFICIAL

PROJECT ENGINEER'S CERTIFICATION:

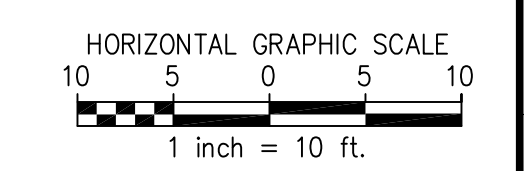
I HEREBY STATE THAT THIS CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN FOR JABOODA HOMES RESIDENCE HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND MEETS THE STANDARD OF CARE AND EXPERTISE WHICH IS USUAL AND CUSTOMARY IN THIS COMMUNITY OF PROFESSIONAL ENGINEERS. I UNDERSTAND THAT THE CITY OF MERCER ISLAND DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE SUFFICIENCY, SUITABILITY, OR PERFORMANCE OF CONSTRUCTION SWPPP Bmps PREPARED BY ME.

INLET PROTECTION NOTE:

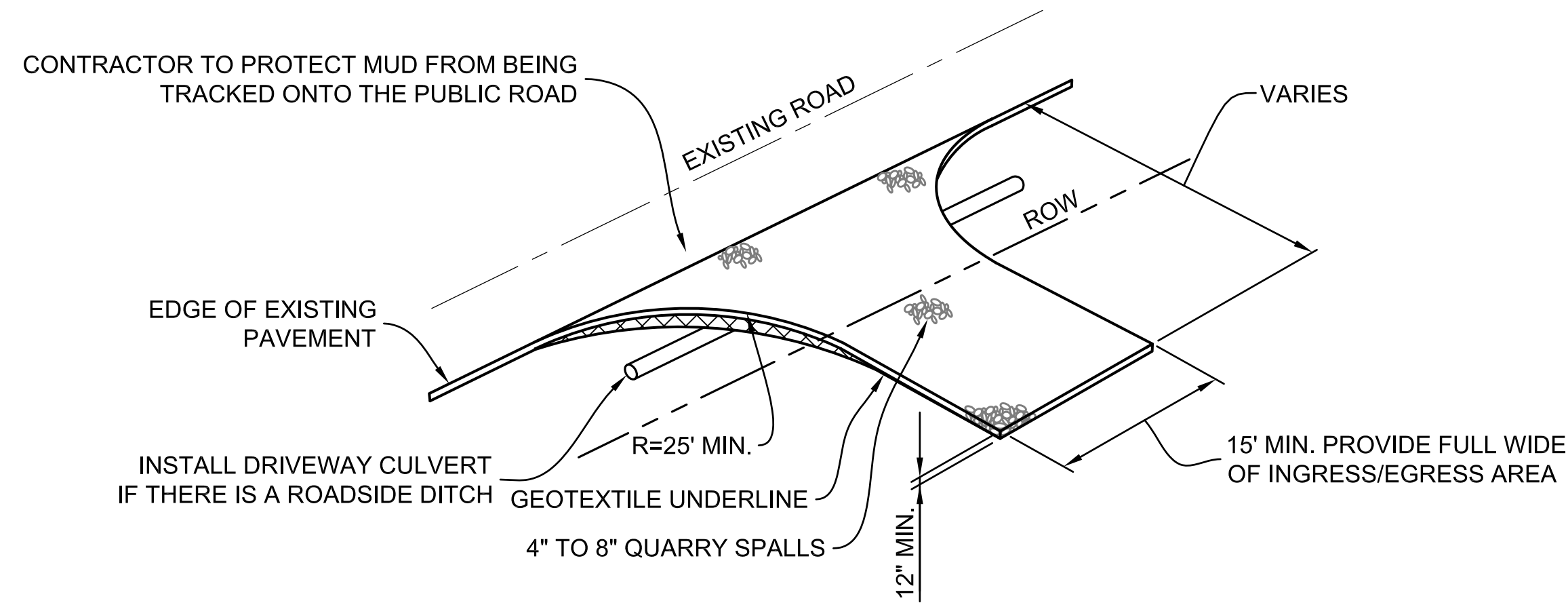
1. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL CATCH BASINS DOWNSTREAM WITHIN 50'

LEGEND

- PROPERTY LINE
- - - - - ADJACENT PROPERTY LINE
- RIGHT OF WAY LINE
- - - - - RIGHT OF WAY CENTERLINE
- ▭ PROPOSED STRUCTURE



REFERENCE SHEET NO.	C1	SHEET	1
		OF	3
		SHEETS	
JABOODA HOMES RESIDENCE 3038 61ST AVE SE MERCER ISLAND, WA 98040 TREE PROTECTION PLAN TESS PLAN			
PBC Land Development and Civil Engineering Consultants 5130 South 166th Lane Seattle, WA 98188 T (206) 229-6422			
ISSUE DATE	5-18-2022	DESIGNED BY:	L. PHAN
JOB NO.	R21635	DRAWN BY:	L. PHAN
NO.	DATE	CHECKED BY:	H.H. PHAN
		PROJ. MNGR:	H.H. PHAN
NO.	DATE	REVISION DESCRIPTION	



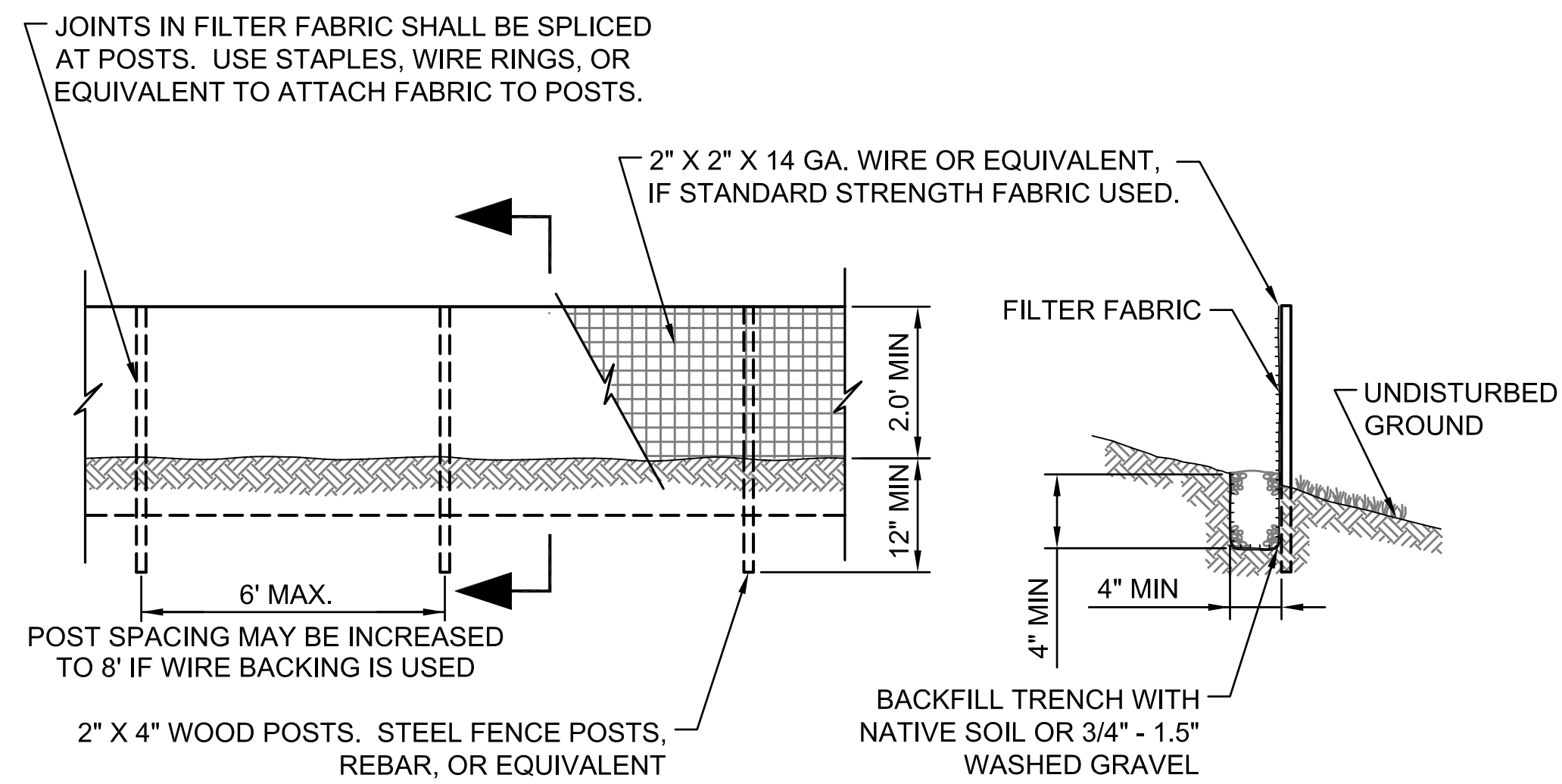
NOTES:

DRIVEWAYS SHALL BE PAVED TO THE EDGE OF RIGHT-OF-WAY PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO AVOID DAMAGING OF THE ROADWAY.

IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE ROAD.

CONSTRUCTION ENTRANCE DETAIL

SCALE: NONE

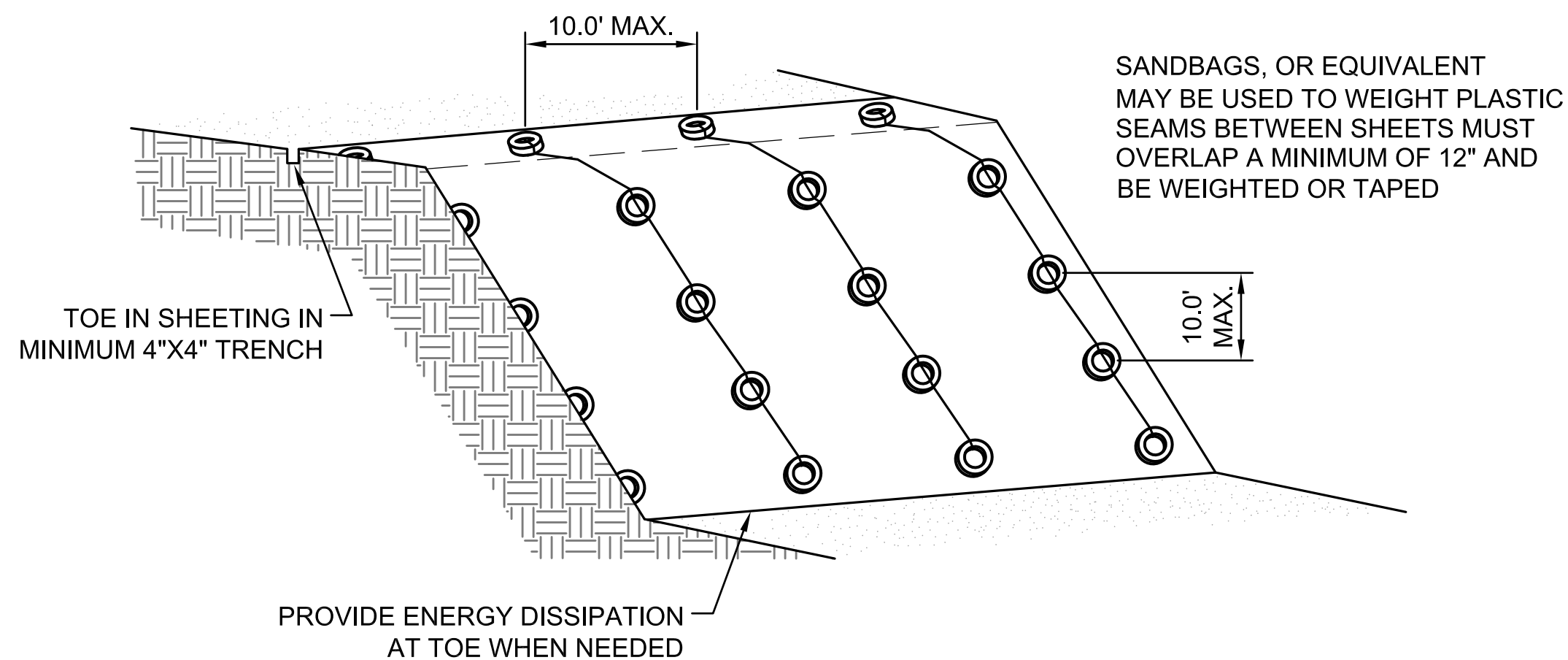


NOTES:

FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.

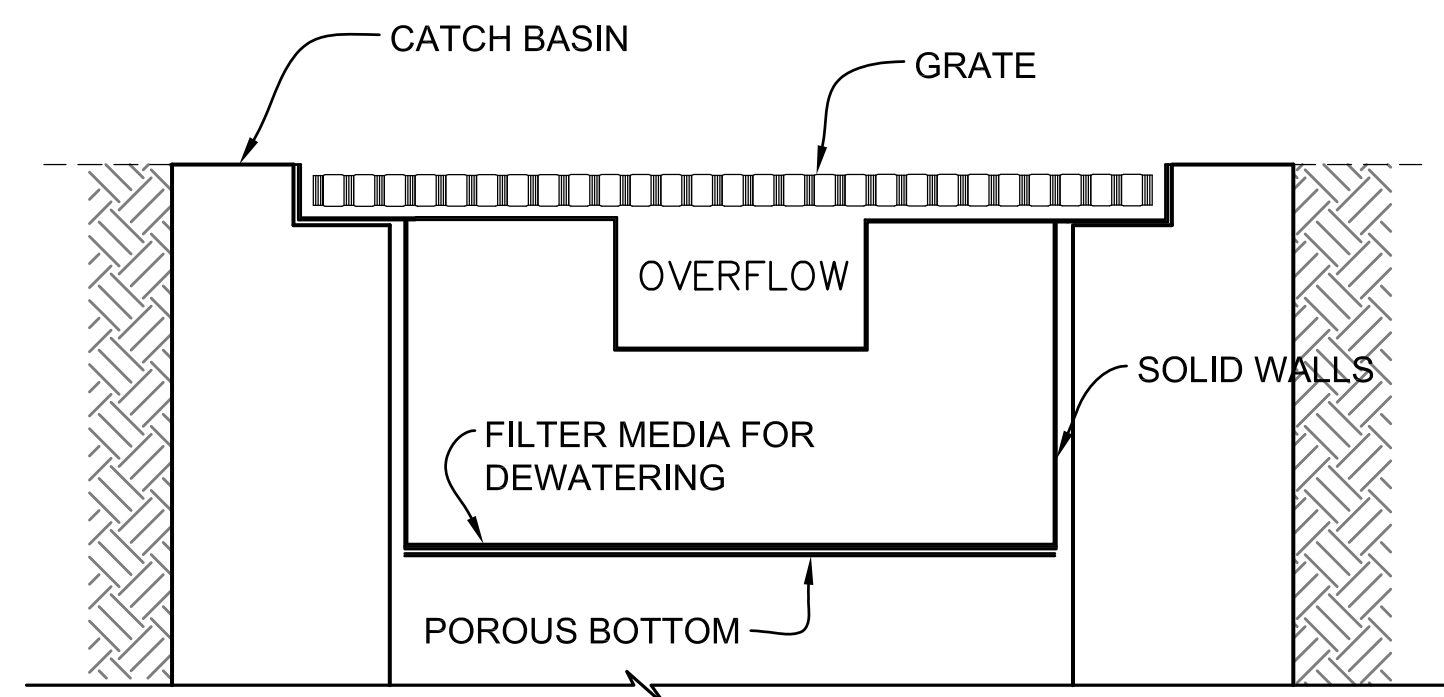
SILT FENCE DETAIL

SCALE: NONE



PLASTIC COVERING DETAIL

SCALE: NONE

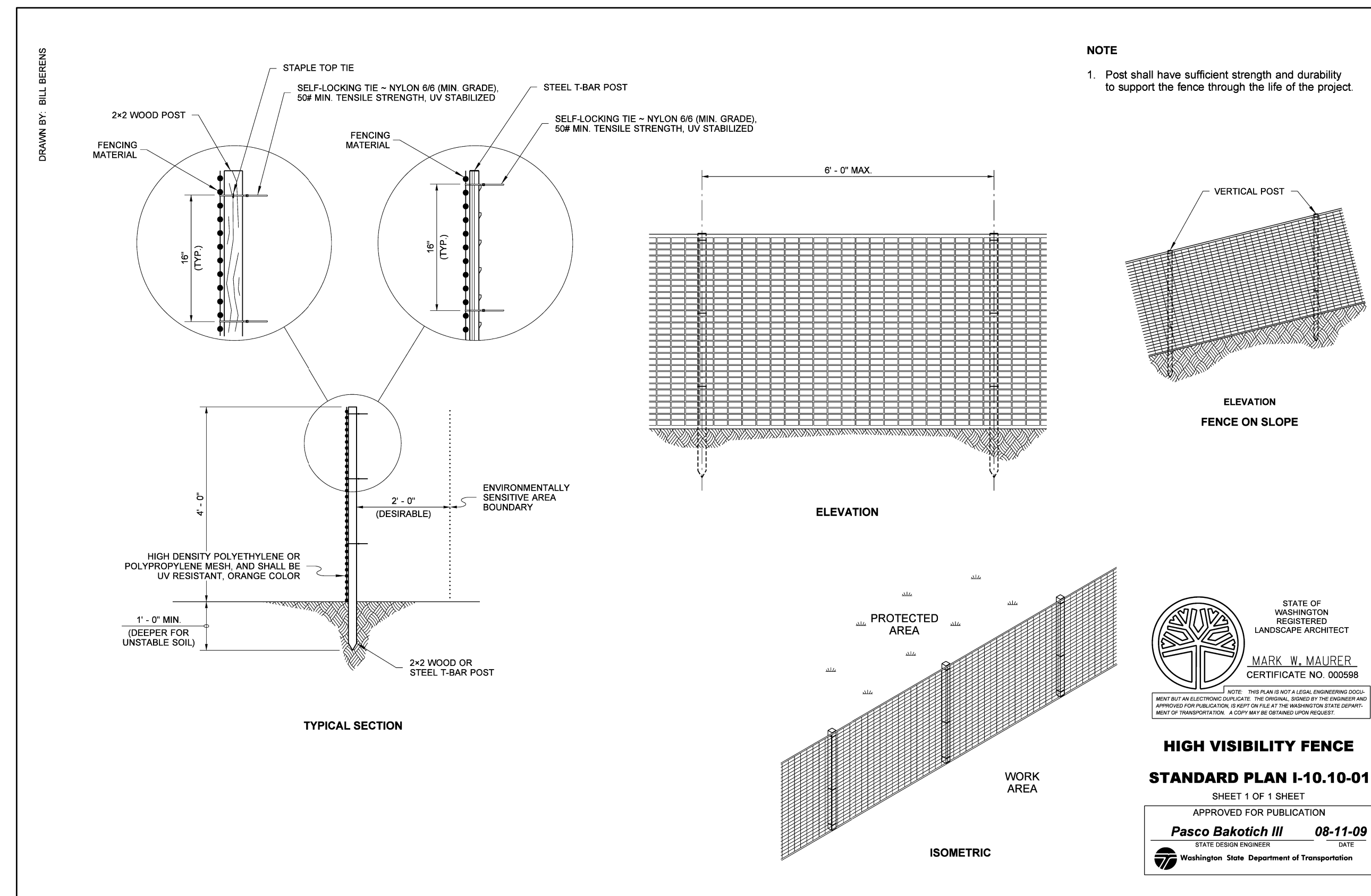


NOTES:

THIS DETAIL IS ONLY SCHEMATIC. ANY INSERT IS ALLOWED THAT HAS A MIN. 0.5 CUBIC FEET OF STORAGE WITH THE MEANS TO DEWATER THE STORED SEDIMENT, PROVIDE AN OVERFLOW, AND CAN BE EASILY MAINTAINED.

INLET PROTECTION DETAIL

SCALE: NONE



STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
MARK W. MAURER
CERTIFICATE NO. 000598

HIGH VISIBILITY FENCE
STANDARD PLAN I-10.10-01
SHEET 1 OF 1 SHEET
APPROVED FOR PUBLICATION
Pasco Bakotich III 08-11-09
STATE DESIGN ENGINEER DATE
Washington State Department of Transportation

REFERENCE SHEET NO. **Q2**
SHEET 2 OF 3 SHEETS

JABOODA HOMES RESIDENCE
3038 61ST AVE SE
MERCER ISLAND, WA 98040

TESC DETAILS



PBC
Land Development and Civil Engineering Consultants
5130 South 166th Lane
Seattle, WA 98188
T (206) 229-6422

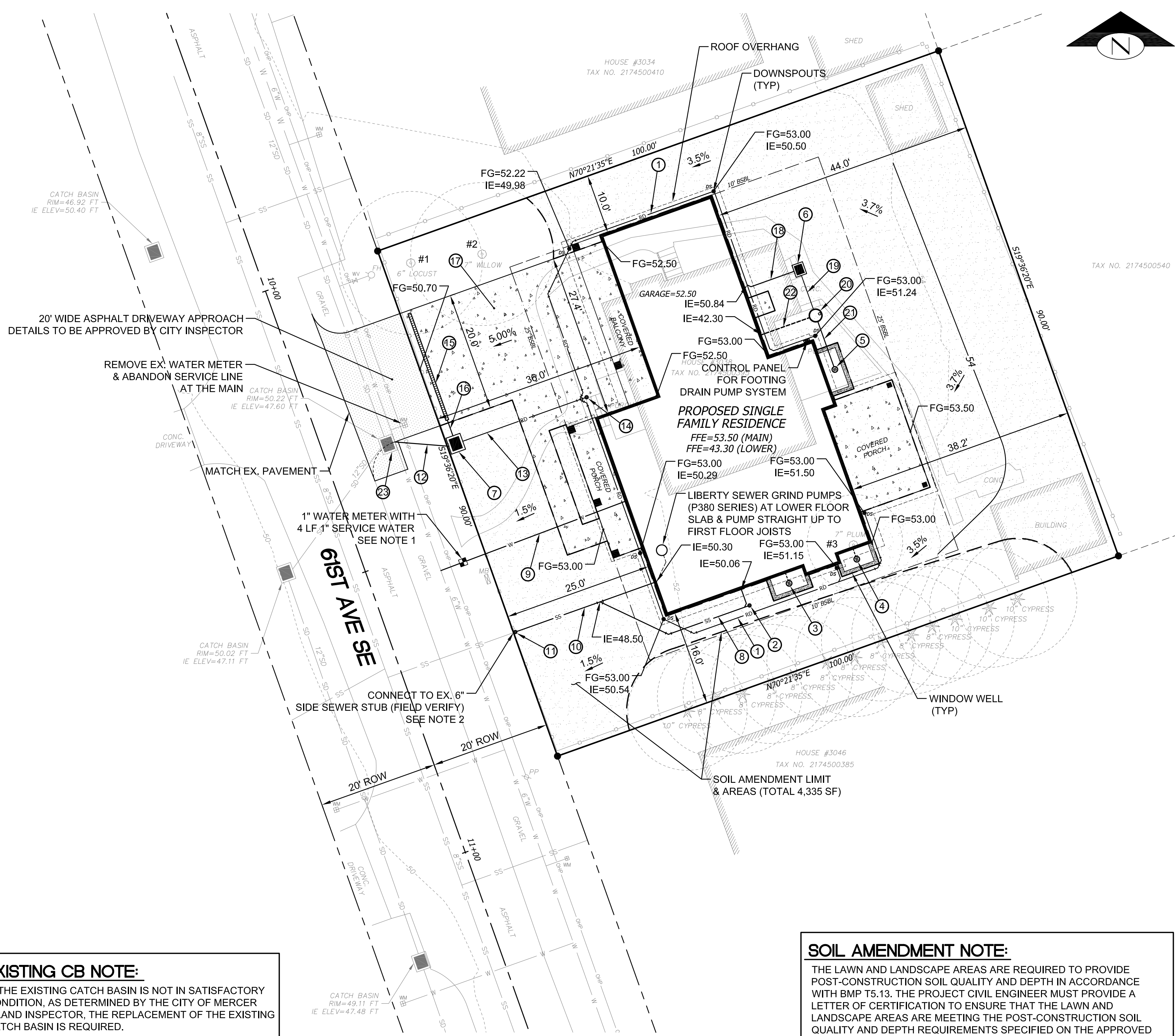
ISSUE DATE	5-18-2022
DESIGNED BY:	L. PHAN
DRAWN BY:	L. PHAN
CHECKED BY:	H.H. PHAN
PROJ. MGR:	H.H. PHAN

NO.	DATE	REVISION DESCRIPTION



May 18, 2022 - 2:33pm Han Pham L:\Working\21635 - 3038 61st Ave SE (Jabooda Homes)\CADD\Drawings\21635-PS-C2.dwg Layout: Name: C2

May 18, 2022 - 2:37pm Han Pham L:\Working\21635 - 3038 61st Ave SE (Jabooda Homes)\CAD\Drawings\21635-PS-C3.dwg Layout: Name: C3



EXISTING CB NOTE:
IF THE EXISTING CATCH BASIN IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING CATCH BASIN IS REQUIRED.

NOTES:

1. NEW WATER METER LOCATE 25' SOUTH OF EXISTING WATER METER AND 4' WEST OF PROPERTY LINE. CONTRACTOR TO FIELD VERIFY THE EXISTING STORM DRAIN LINE AND COORDINATE WITH CITY WATER DEPARTMENT DURING CONSTRUCTION.
2. THE TV INSPECTOR OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN ON 61ST AVE SE IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.

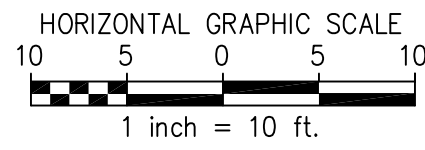
A BACKUP GENERATOR IS REQUIRED FOR THE FOOTING DRAIN PUMP SYSTEM

PRIVATE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY AND ALL CLAIMS FOR INJURIES AND DAMAGE DUE TO THE OPERATION OR NON-OPERATION OF THE PUMP SYSTEM

SOIL AMENDMENT NOTE:
THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.



Know what's below. Call before you dig.



LEGEND

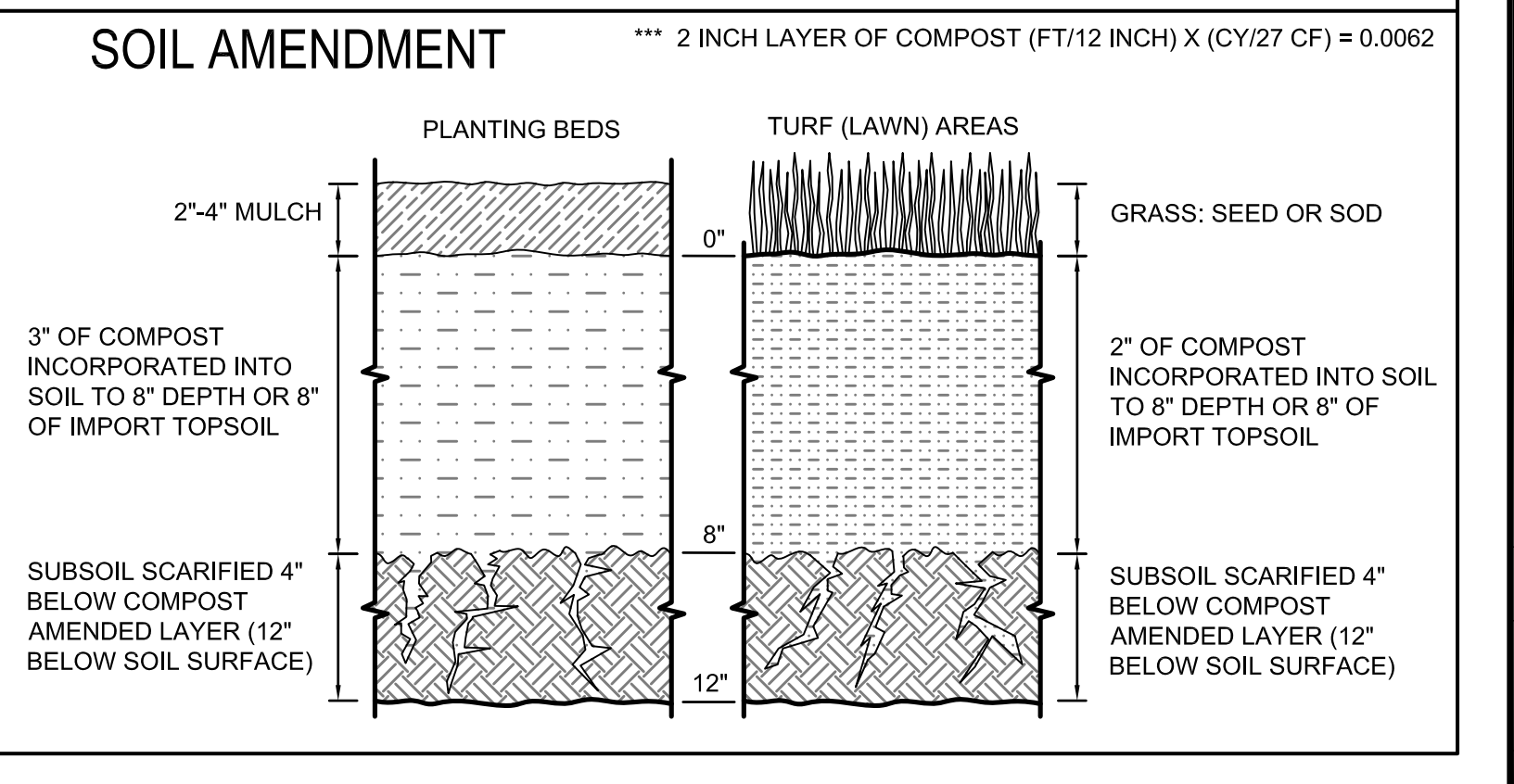
- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- RIGHT OF WAY LINE
- RIGHT OF WAY CENTERLINE
- - - OVERHANG / EAVE
- [Solid black box] PROPOSED STRUCTURE
- [Stippled box] SOIL AMENDMENT AREA
- [Patterned box] CEMENT CONCRETE PAVEMENT

CONSTRUCTION NOTES:

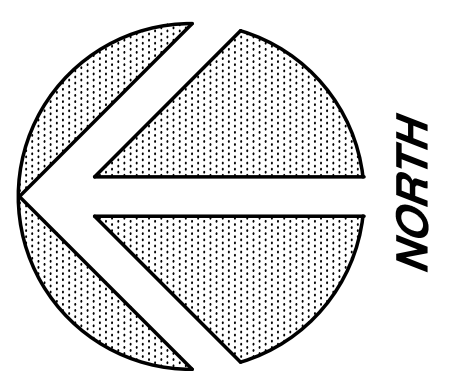
- 1 83 LF 4" SDR 35 PVC ROOF DRAIN @ 2.00%
- 2 4" SSCO #2 IE=50.00
- 3 AREA DRAIN #1 12" ROUND BASIN (HANDOR NYLOPLAST) WITH DOME GRATE RIM=50.50 IE (N)=48.50 WITH 4" SDR 35 PVC SD CONNECT TO FOOTING DRAIN
- 4 AREA DRAIN #2 12" ROUND BASIN (HANDOR NYLOPLAST) WITH DOME GRATE RIM=50.50 IE (N)=48.50 WITH 4" SDR 35 PVC SD CONNECT TO FOOTING DRAIN
- 5 AREA DRAIN #3 12" ROUND BASIN (HANDOR NYLOPLAST) WITH DOME GRATE RIM=46.50 IE (N)=44.50
- 6 CB #2-TYPE 40 WITH SOLID LID RIM=52.40 IE (S)=51.50 IE (W)=51.00
- 7 CB #1-TYPE 1 WITH SOLID LID & OIL SEPARATOR (RISER TEE) RIM=50.40 IE (NW)=47.90 IE (N)=48.00 IE (E)=48.10
- 8 30 LF 4" SDR 35 PVC GRAVITY SIDE SEWER @ 5.00%
- 9 28 LF 1 1/2" WATER SERVICE LINE (POLYETHYLENE PIPE SDR 7)
- 10 24 LF 4" SDR 35 PVC GRAVITY SIDE SEWER @ 20.00%
- 11 6" SSCO #1 IE=45.50 (FIELD VERIFY)
- 12 9 LF 6" DI SD @ 2.00%
- 13 22 LF 4" SDR 35 PVC ROOF DRAIN COLLECTOR @ 2.00%
- 14 4" SDCO #1 RIM=51.93 IE=48.54
- 15 19' LONG x 5" WIDE SLOTTED DRAIN (DURA) H2O RATED TRAFFIC LID RIM=50.25 IE=49.84
- 16 3 LF 4" DI SD @ 58.00%
- 17 4" CEMENT CONC. PAVEMENT
- 18 8 LF 4" SDR 35 PVC SD @ 2.00% CONNECT TO 4" ROOF DRAIN
- 19 6 LF 2" SDFM SCHEDULE 80
- 20 2' DIA. ROUND PVC PUMP BASIN WITH 0.5 HP SUBMERSIBLE MODEL PE51 PUMP (GOULDS WATER TECHNOLOGY) WITH CHECK VALVE IN PUMP BASIN RIM=52.40 IE (W)=42.13 IE (S)=42.23 IE (N)=43.23
- 21 8 LF 4" SDR 35 PVC @ 28.40%
- 22 9 LF 4" SOLID SDR 35 PVC FOOTING DRAIN COLLECTOR @ 2.00%
- 23 EX. CB (SEE EX. CB NOTE) EX. RIM=50.22 EX. IE (N, SW)=47.60 NEW IE (SE)=47.72

ESTIMATED COMPOST REQUIRED FOR SOIL AMENDMENT

3,475	(SQUARE FEET) X 0.0062 *** =	22	(CUBIC YARDS)
DISTURBED AREA REQUIRING AMENDMENT		REQUIRED COMPOST	

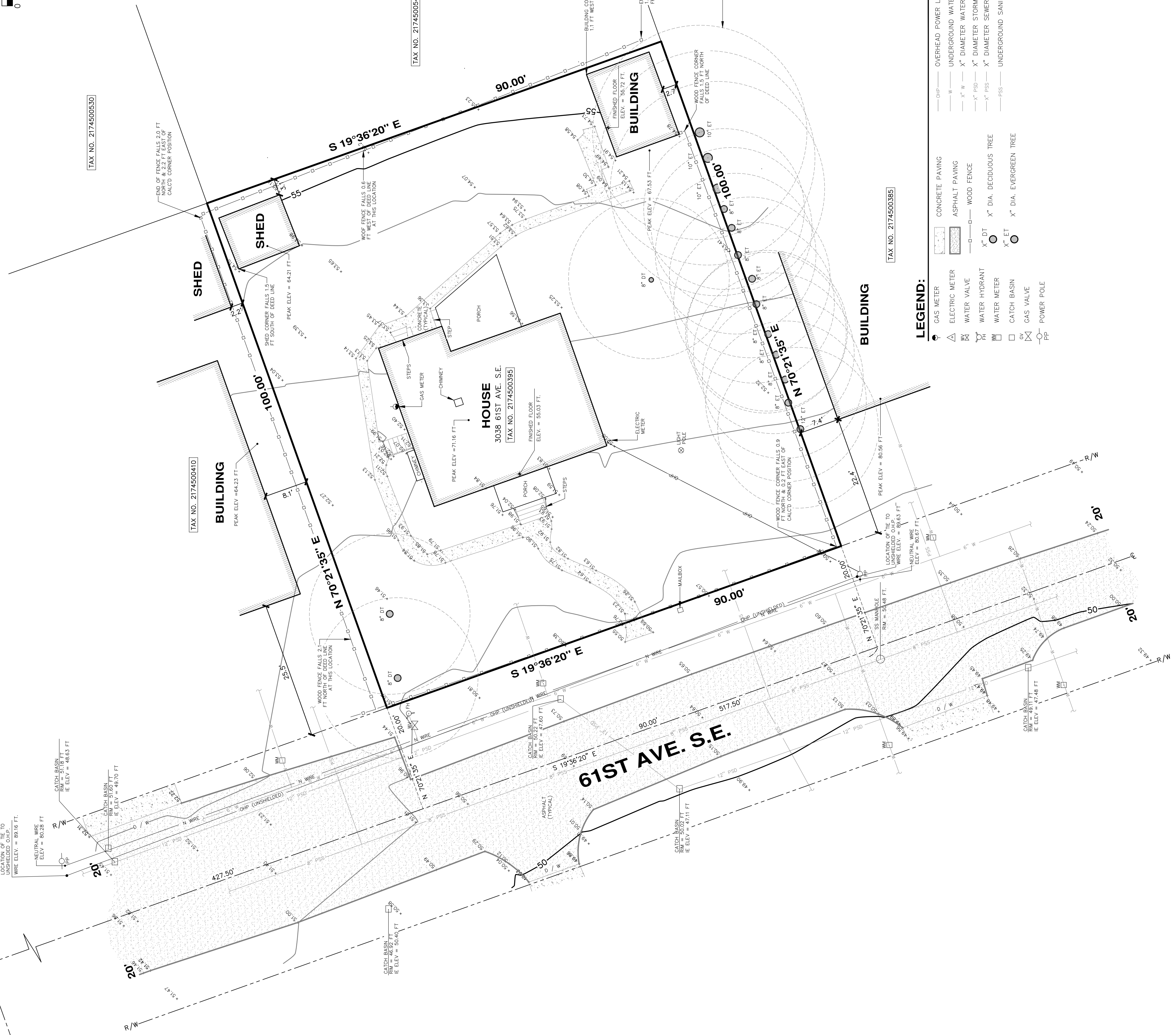


REFERENCE SHEET NO. C3	SHEET 3 OF 3 SHEETS
JABOODA HOMES RESIDENCE 3038 61ST AVE SE MERCER ISLAND, WA 98040 STORMWATER / UTILITY PLAN AND DETAILS	
PBC Land Development and Civil Engineering Consultants 5130 South 166th Lane Seattle, WA 98188 T (206) 229-6422	
JOB NO. R21635	ISSUE DATE 5-18-2022
DESIGNED BY: L. PHAN	DRAWN BY: L. PHAN
CHECKED BY: H.H. PHAN	PROJ. MGR: H.H. PHAN
NO.	REVISION DESCRIPTION
BY	DATE



S.E. 30TH ST.

FOUND PK NAIL "BH 55" ON AUGUST 4, 2021
AS PER VOL. 297 OF SURVEYS, PG. 246



TAX NO. 2174500395

LEGEND:

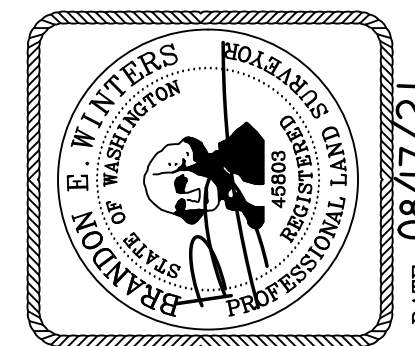
- GAS METER
- △ ELECTRIC METER
- ⊗ WATER VALVE
- ⊗ WATER HYDRANT
- ⊗ WATER METER
- CATCH BASIN
- ⊗ GAS VALVE
- ⊗ POWER POLE
- OVERHEAD POWER LINE
- UNDERGROUND WATER LINE
- " W — " DIAMETER WATER MAIN
- " FSD — " DIAMETER STORM MAIN
- " PSS — " DIAMETER SEWER MAIN
- " PSS — " UNDERGROUND SANITARY SIDE SEWER
- CONCRETE PAVING
- ▨ ASPHALT PAVING
- WOOD FENCE
- " DT — " DIA. DECIDUOUS TREE
- " ET — " DIA. EVERGREEN TREE

NOTES

1. THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 10 SECOND "TOTAL STATION" THEODOLITE SUPPLEMENTED WITH A 100 FT. STEEL TAPE. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-130-090.
2. CONTOUR INTERVAL = 1 FT.
3. VERTICAL DATUM = NAVD88, AS PER DIRECT OBSERVATIONS USING GPS EQUIPMENT ON AUGUST 4, 2021.
HORIZONTAL DATUM = NAD 83/11
4. PARCEL AREA = 9,000 SQ. FT.
5. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THEREFORE EASEMENTS AFFECTING THE PROPERTY, IF ANY, ARE NOT SHOWN HEREON.
6. UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS APPROXIMATE ONLY AND IS BASED UPON CITY OF MERCER ISLAND GIS AND ALSO AS PER TIES TO ABOVE GROUND STRUCTURES.
7. TAX PARCEL NO. 2174500395
8. TREE DIAMETERS AND DRIP LINES DISPLAYED HEREON ARE APPROXIMATE. FOR SPECIFIC GENUS AND DIAMETER, TREES SHOULD BE EVALUATED BY A CERTIFIED ARBORIST.

PROPERTY DESCRIPTION

LOTS 7, 8, AND 9, BLOCK 3, EAST SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 3 OF PLATS, PAGES 22-23, IN KING COUNTY, WASHINGTON.



DATE: 08/17/21

TOPOGRAPHIC SURVEY
3038 61ST AVE. S.E.
MERCER ISLAND

CHADWICK WINTERS
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

PROJECT #: 21-7212
DRAWING: 21-7212 TOPO.DWG
CLIENT: JABOODA HOMES INC.
DATE: 08/17/21
DRAWN BY: SYG

SYMBOLS AND LEGEND

FAN - DIRECT VENT TO OUTSIDE
 - BATHROOM/LAUNDRY 50 CFM MIN.
 - KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1003.6.

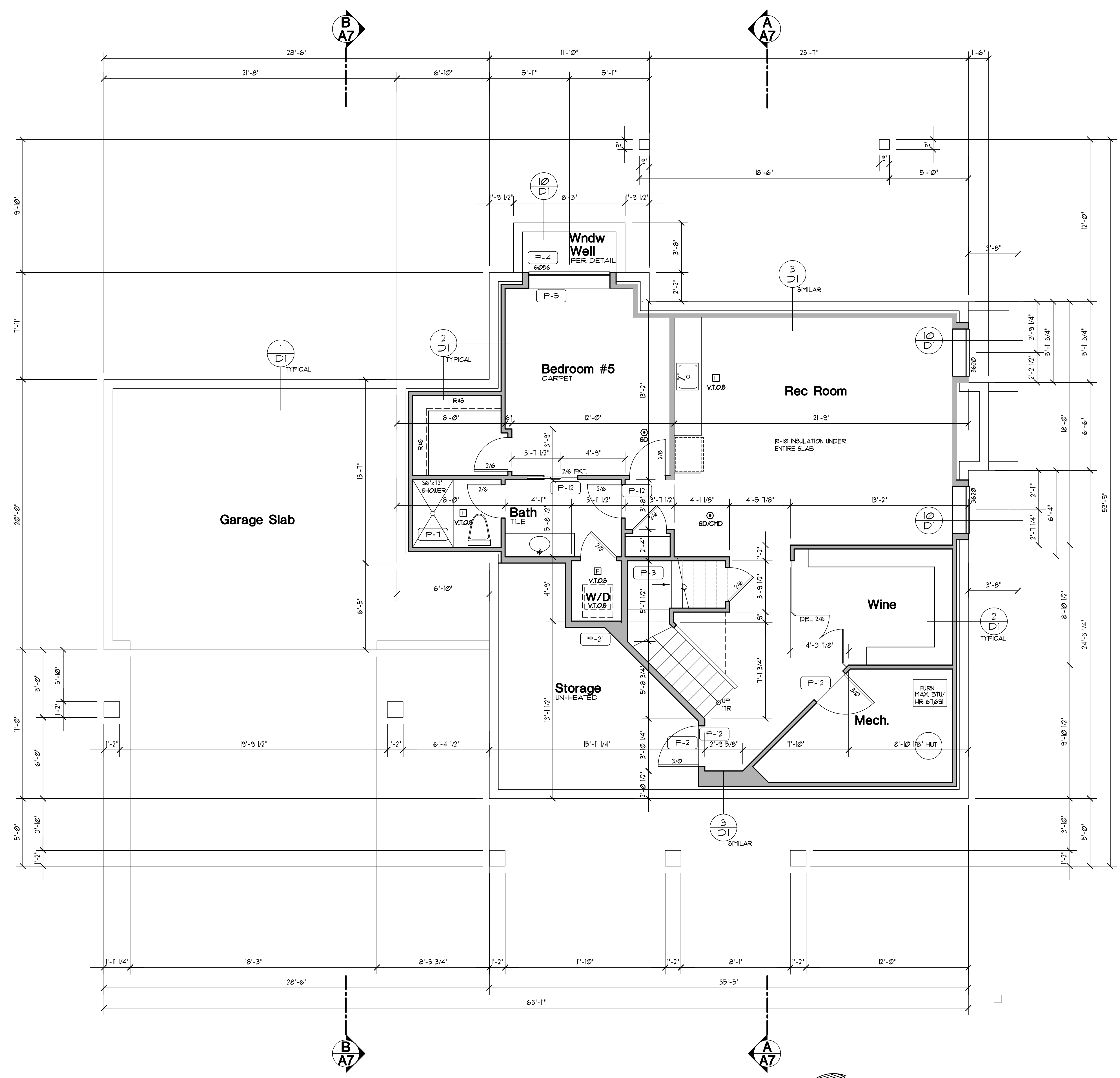
WHOLE-HOUSE FAN TO RUN CONTINUOUS 4 CONFORM TO IRC M1003.4. FAN SIZE PER PLAN. FAN RATE TO BE ADJUSTED BY A FACTOR OF 1.5 FOR A NON-BALANCED NON-DISTRIBUTED SYSTEM. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1003.4.1. FAN TO HAVE A SONE RATING OF 10 OR LESS MEASURED AT 21 INCHES WATER GAUGE.

100% SMOKE ALARM PER IRC R314 WITH BATTERY BACKUP INTERCONNECTED PER R314.4 & R315.5. USE A COMBINATION SMOKE/CARBON MONOXIDE ALARM WHEN NOTED.

MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM FOR UNITS. PER DIV. 15/16 SEE SHEET A1

FURN **WH**

A. PROVIDE 6" DIAMETER FRESH AIR INTAKE FROM OUTSIDE TO RETURN AIR FLENUM AT FURNACE WITH MOTORIZED FLOW DAMPERS.
B. PROVIDE THERMAL EXPANSION TANK AT WATER HEATER.
C. STRAP WATER HEATER TO FRAMING TOP AND BOTTOM.
D. PROVIDE PRESSURE RELIEF LINE PLUMBED TO OUTSIDE.



GENERAL PLAN NOTES

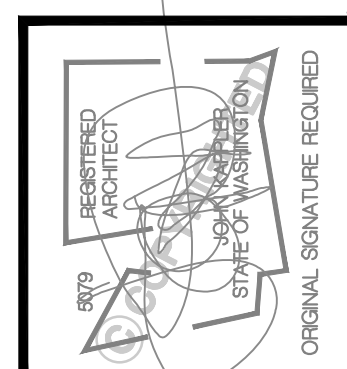
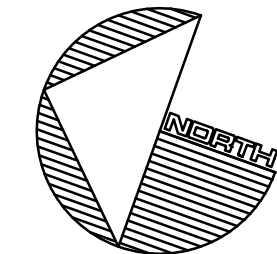
- SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
- ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1
- SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1
- SEE TYP. MATERIALS LIST ON SECTION SHEET
- SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

FLOOR PLAN KEY NOTES

- P-1** OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" Gypsum TO GARAGE SIDE OF RESIDENCE, ATTIC SPACES, AND TO ALL BEAMS AND POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 3/4" TYPE 'X' Gypsum TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL SEE DIV. 01002.6.4 SHEET A-1
- P-2** 1 1/2" MIN. SELF-CLOSING SOLID WOOD CORE HONEY-COMB CORE STEEL OR 20-MINUTE FIRE RATED DOOR SEE DIV. 01002.6.8 SHEET A-1
- P-3** STAIR ASSEMBLY NOTES; PER IRC SECTION R301.5
A. HEADROOM MIN. 6'-8" WIDTH MIN. 3'-0"
B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 7/8" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1 1/4" ON STAIRS WITH SOLID RISERS.
**C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE I CIRCULAR TO HAVE 1 1/2" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200 LBS ROUND POINT LOAD IN ANY DIRECTION PER IRC TABLE R301.5
D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER IRC SECTION R302.11.
E. COVER USABLE SPACE UNDER STAIR W/ 1/2" Gypsum PER IRC SECTION R302.1.
F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS.
G. PROVIDE STAIRWAY ILLUMINATION PER IRC SECTION R302.1.
SEE DIV. 01002.1 SHEET A-1.**
- P-4** SAFETY GLAZING PER IRC SECTION R308
A. WINDOWS WITHIN 18" OF FLOOR
B. WINDOWS WITHIN A 24" ARC OF DOORS
C. WINDOWS AT TUBS AND SHOWERS
D. GLAZING IN DOORS
E. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, 4 BOT. EDGE OF GLAZING IS LESS THAN 36" ABLV. LANDING/WALKING SURFACE SEE DIV. 02800 SHEET A-1
- P-5** EGRESS WINDOW PER IRC SECTION R310 SEE DIV. 02600 SHEET A-1
- P-6** IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1
- P-7** COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 12" ABOVE DRAIN INLETS. PER IRC SECTION 3012. SEE DIV. 02900 SHEET A-1
- P-8** (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.
- P-9** 7/8" MAX. RISER WITH 10" MIN. RUN. IF MORE THAN (3) RISERS HANDRAIL REQUIRED PER IRC SECTION R311.8. SEE DIV. 01002.1 SHEET A-1
- P-10** 18"x24" CRAWL SPACE ACCESS. INSULATE AND WEATHER STRIP. SEE DIV. 01002.1 SHEET A-1
- P-11** 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 01002.2 SHEET A-1
- P-12** FLOOR MATERIAL BREAK LINE
- P-13** WALL LINE ABOVE
- P-14** WALL LINE BELOW
- P-15** FIREPLACE ASSEMBLY NOTES:
A. DIRECT VENT GAS FIREPLACES. MUST BE LISTED, LABELED & INSTALLED PER MFG. SPECIFICATIONS, SHALL CONFORM TO IRC REQUIREMENTS. SEE DIV. 01002.12 SHEET A-1
B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO IRC REQUIREMENTS. SEE DIV. 01002.12 SHEET A-1
C. HEARTH SHALL CONFORM TO IRC REQUIREMENT SEE DIV. 01002.12
D. FIREBLOCK OPENINGS AROUND PENETRATIONS @ EACH FLOOR PER IRC SECTION R1003.13.
E. FIREPLACE MUST COMPLY WITH UL 121 TESTING
- P-16** SEE SITE PLAN FOR EXTENT OF WALKS & DRIVEWAYS
- P-17** 3" DIAMETER STEEL POST
- P-18** 36" GUARDRAIL PER IRC SECTION R302.4 TABLE R301.5 CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDS & RAILINGS ARE CAPABLE OF RESISTING 200 LBS LOAD ON TOP RAIL ACTING IN ANY DIRECTION.
- P-19** 'B' VENT FOR MECHANICAL. 1' CLEARANCE ALL SIDES PER IRC SECTION R302.11. SEE DIV. 15 SHEET A-1
- P-20** PROVIDE A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURE & HUMIDITY. INSTALL IN A CENTRAL LOCATION AND IN ACCORDANCE W/ THE MANF. INSTRUCTIONS. CONNECT TO AN ALARM OR SMOKE ALARM IN THE DUELLING IN A LOCATION THAT WILL PROVIDE OCCUPANT NOTIFICATION
- P-21** 2x6 STUDS W/ R-21 INSULATION MIN.

LOWER FLOOR PLAN

Scale: 1/4" = 1'-0"



Date	By	Description
01/26/21	SM	PERMIT SET
06/09/21	SM	JURISDICTIONAL COMMENTS

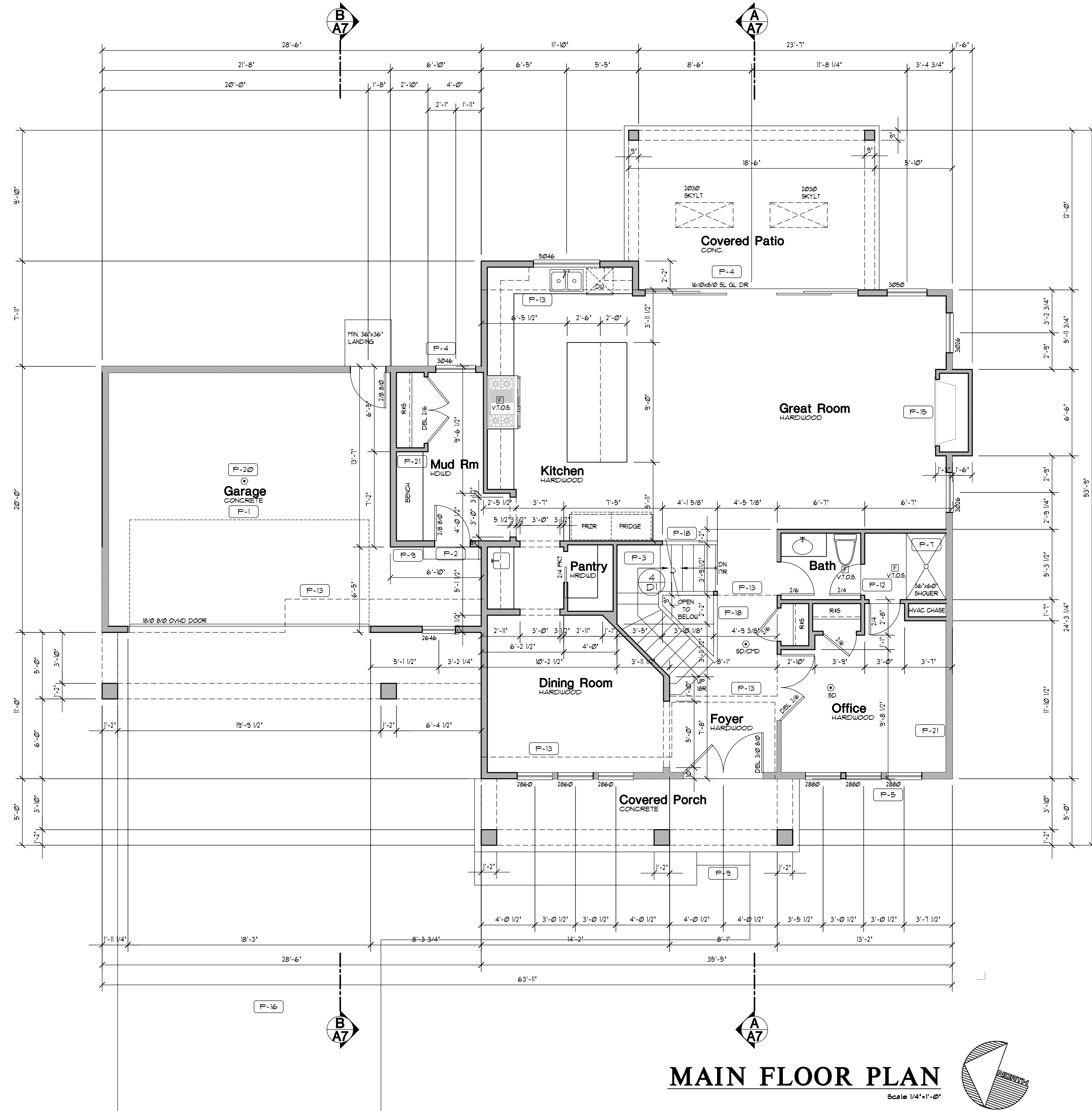
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 www.kapichonchaplana.com

TITLE
JOB NO.: 21048.21
STARTING NO.: 21048.05

SHEET
A2

SYMBOLS AND LEGEND	
F	FAN- DIRECT VENT TO OUTSIDE -BATHROOM/LAUNDRY 50 CFM MIN. -KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1005.6.
W	WHOLE-HOUSE FAN TO RUN CONTINUOUS 4 CONFORM TO IRC M1005.4. FAN SIZE PER PLAN. FAN RATE TO BE ADJUSTED BY A FACTOR OF 1.5 FOR A NON-BALANCED NON-DISTRIBUTED SYSTEM. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1005.4.1. FAN TO HAVE A SONE RATING OF 10 OR LESS MEASURED AT 21 INCHES WATER GAUGE.
SA	110V SMOKE ALARM PER IRC R314 WITH BATTERY BACKUP INTERCONNECTED PER R314.4 & R315.5. USE A COMBINATION SMOKE/CARBON MONOXIDE ALARM WHEN NOTED.
MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS FOR UNITS. PER DIV. 15/16 SEE SHEET A1.	
FURN	WH
A	PROVIDE 6" DIAMETER FRESH AIR INTAKE FROM OUTSIDE TO RETURN AIR FLENUM AT FURNACE WITH MOTORIZED FLOW DAMPERS.
B	PROVIDE THERMAL EXPANSION TANK AT WATER HEATER.
C	STRAP WATER HEATER TO FRAMING TOP AND BOTTOM.
D	PROVIDE PRESSURE RELIEF LINE PLUMBED TO OUTSIDE.



MAIN FLOOR PLAN

Scale 1/4"=1'-0"

GENERAL PLAN NOTES

- SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
- ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1
- SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1
- SEE TYP. MATERIALS LIST ON SECTION SHEET
- SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

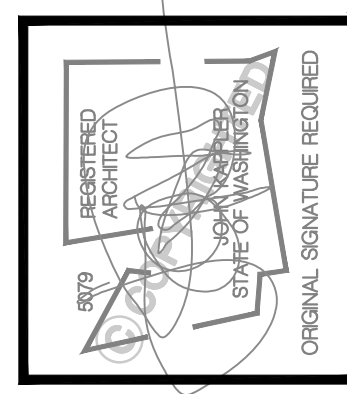
FLOOR PLAN KEY NOTES

- P-1** OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.I.B. TO GARAGE SIDE OF RESIDENCE, ATTIC SPACES, AND TO ALL BEAMS AND POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 3/4" TYPE 'X' G.I.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL SEE DIV. 01002.6 SHEET A-1
- P-2** 1 1/2" MIN. SELF-CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR SEE DIV. 01002.6 SHEET A-1
- P-3** STAIR ASSEMBLY NOTES: PER IRC SECTION R301.5
A. HEADROOM MIN. 6'-8", WIDTH MIN. 3'-0".
B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 3/4" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1 1/4" ON STAIRS WITH SOLID RISERS.
C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE I CIRCULAR TO HAVE 1 1/2" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200 LB ROUND POINT LOAD IN ANY DIRECTION PER IRC TABLE R301.5
D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER IRC SECTION R302.11
E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.I.B. PER IRC SECTION R302.1
F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS.
G. PROVIDE STAIRWAY ILLUMINATION PER IRC SECTION R302.1
SEE DIV. 01002.1 SHEET A-1
- P-4** SAFETY GLAZING PER IRC SECTION R308
A. WINDOWS WITHIN 18" OF FLOOR
B. WINDOWS WITHIN A 24" ARC OF DOORS
C. WINDOWS AT TUBS AND SHOWERS
D. GLAZING IN DOORS
E. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, 4 BOT. EDGE OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE SEE DIV. 02800 SHEET A-1
- P-5** EGRESS WINDOW PER IRC SECTION R310 SEE DIV. 02600 SHEET A-1
- P-6** IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1
- P-7** COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 12" ABOVE DRAIN INLETS. PER IRC SECTION 3012. SEE DIV. 02900 SHEET A-1
- P-8** (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.
- P-9** 3/4" MAX. RISER WITH 10" MIN. RUN, IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER IRC SECTION 718. SEE DIV. 01002.1 SHEET A-1
- P-10** 18"x24" CRAWL SPACE ACCESS, INSULATE AND WEATHER STRIP. SEE DIV. 01002.1 SHEET A-1
- P-11** 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 01002.2 SHEET A-1
- P-12** FLOOR MATERIAL BREAK LINE
- P-13** WALL LINE ABOVE
- P-14** WALL LINE BELOW
- P-15** FIREPLACE ASSEMBLY NOTES:
A. DIRECT VENT GAS FIREPLACES, MUST BE LISTED, LABELED & INSTALLED PER MFG. SPECIFICATIONS, SHALL CONFORM TO IRC REQUIREMENTS. SEE DIV. 01002.12 SHEET A-1
B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO IRC REQUIREMENTS. SEE DIV. 01002.12 SHEET A-1
C. HEARTH SHALL CONFORM TO IRC REQUIREMENT SEE DIV. 01002.12
D. FIREBLOCK OPENINGS AROUND PENETRATIONS @ EACH FLOOR PER IRC SECTION R1003.13
E. FIREPLACE MUST COMPLY WITH UL 121 TESTING
SEE SITE PLAN FOR EXTENT OF WALKS & DRIVEWAYS
- P-16** 3" DIAMETER STEEL POST
- P-17** 36" GUARDRAIL PER IRC SECTION R302.4 TABLE R301.5 CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDS & RAILINGS ARE CAPABLE OF RESISTING 200 LB LOAD ON TOP RAIL ACTING IN ANY DIRECTION.
- P-18** 1" VENT FOR MECHANICAL, 1" CLEARANCE ALL SIDES PER IRC SECTION R302.11. SEE DIV. 15 SHEET A-1
- P-20** PROVIDE A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES & HUMIDITY. INSTALL IN A CENTRAL LOCATION AND IN ACCORDANCE W/ THE MANF. INSTRUCTIONS. CONNECT TO AN ALARM OR SMOKE ALARM IN THE DUELLING IN A LOCATION THAT WILL PROVIDE OCCUPANT NOTIFICATION
- P-21** 2x6 STUDS W/ R-21 INSULATION MIN.

SQUARE FOOTAGE

MAIN FLOOR	1410 SF
UPPER FLOOR	1650 SF
LOWER FLOOR	1141 SF
TOTAL	4201 SF
GARAGE	477 SF
STORAGE	177 SF
PORCH/PATIO	117/220 SF
BALCONY	267 SF

SQUARE FOOTAGE IS MEASURED TO THE OUTSIDE FACE OF WALLS. STAIRS ARE COUNTED ONCE IN THE CALCULATIONS. OPEN TO BELOW SPACES AND GARAGES ARE NOT INCLUDED IN CALCULATIONS.



Date	By	Description
01/26/21	SM	PERMIT SET
05/19/21	SM	JURISDICTIONAL COMMENTS

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61st Ave Residence
 3038 61st Ave SE Mercer Island, Wa 98040
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TITLE
JOB NO.: 21048.21
STARTING NO.: 21048.05

SHEET
A3

SYMBOLS AND LEGEND

FAN - DIRECT VENT TO OUTSIDE
 -BATHROOMS/LAUNDRY 50 CFM MIN.
 -KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1503.6.

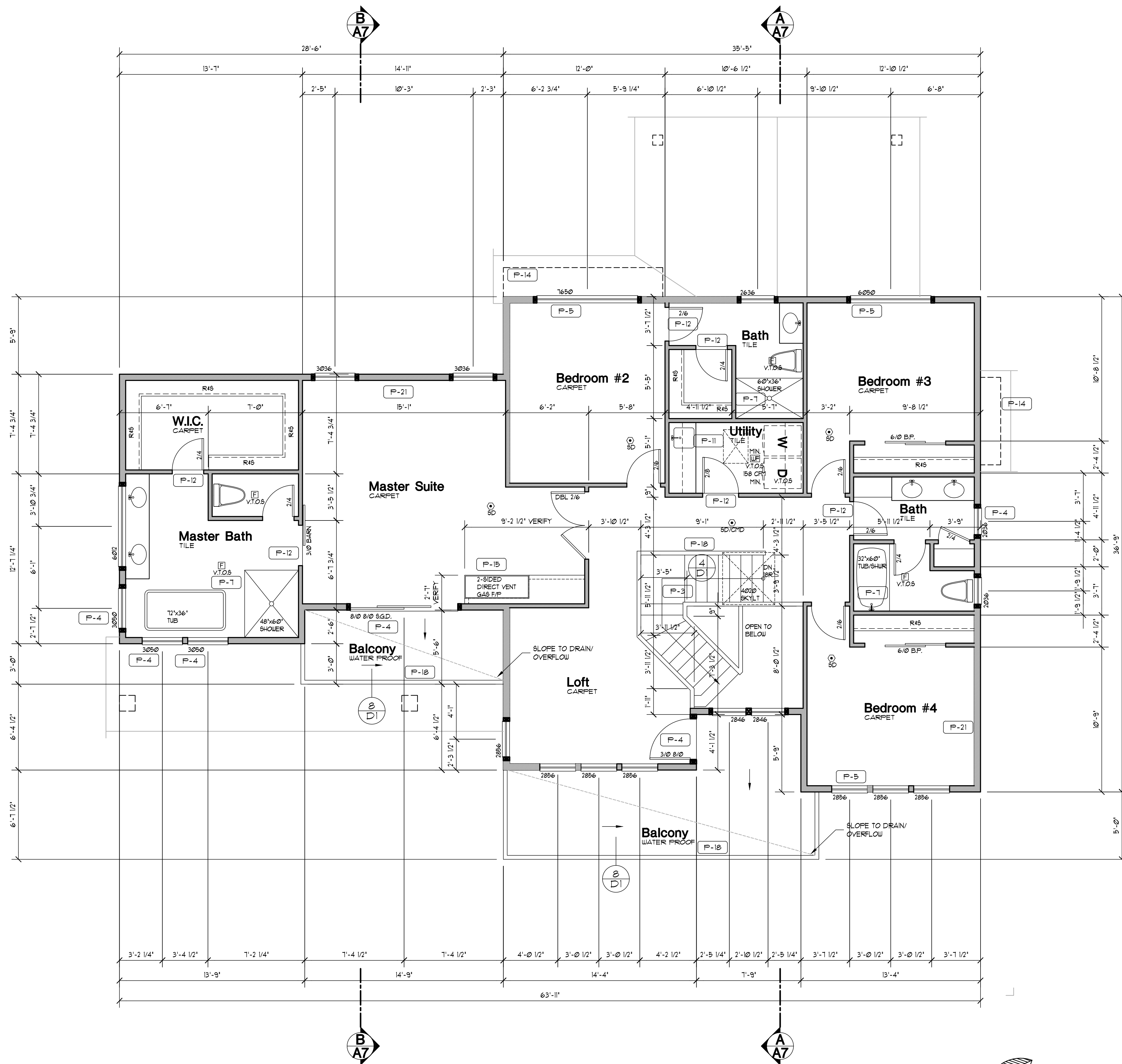
WHOLE-HOUSE FAN TO RUN CONTINUOUS 4 CONFORM TO IRC M1505.4. FAN SIZE PER PLAN. FAN RATE TO BE ADJUSTED BY A FACTOR OF 15 FOR A NON-BALANCED NON-DISTRIBUTED SYSTEM. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1505.4.1. FAN TO HAVE A SONE RATING OF 10 OR LESS MEASURED AT 21 INCHES WATER GAUGE.

110V SMOKE ALARM PER IRC R314 WITH BATTERY BACKUP INTERCONNECTED PER R314.4 & R315.5. USE A COMBINATION SMOKE/CARBON MONOXIDE ALARM WHEN NOTED.

MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM FOR UNITS. PER DIV. 15.16 SEE SHEET A1

FURN **WH**

A. PROVIDE 6" DIAMETER FRESH AIR INTAKE FROM OUTSIDE TO RETURN AIR FLENUM AT FURNACE WITH MOTORIZED FLOW DAMPERS.
 B. PROVIDE THERMAL EXPANSION TANK AT WATER HEATER.
 C. STRAP WATER HEATER TO FRAMING TOP AND BOTTOM.
 D. PROVIDE PRESSURE RELIEF LINE PLUMBED TO OUTSIDE.



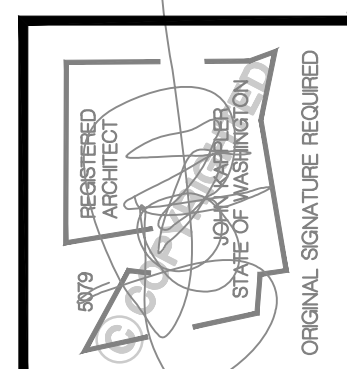
UPPER FLOOR PLAN
 Scale 1/4"=1'-0"

GENERAL PLAN NOTES

- SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
- ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1
- SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1
- SEE TYP. MATERIALS LIST ON SECTION SHEET
- SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

FLOOR PLAN KEY NOTES

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- P-2** 1 1/2" MIN. SELF-CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR SEE DIV. 01022.6 & SHEET A-1
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 C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE I CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200 POUND POINT LOAD IN ANY DIRECTION PER IRC TABLE R301.5
 D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER IRC SECTION R302.11
 E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.I.B. PER IRC SECTION R302.1
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 G. PROVIDE STAIRWAY ILLUMINATION PER IRC SECTION R302.1
 SEE DIV. 01022.1 SHEET A-1
- P-4** SAFETY GLAZING PER IRC SECTION R308
 A. WINDOWS WITHIN 18" OF FLOOR
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 D. GLAZING IN DOORS
 E. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, 4 BOT. EDGE OF GLAZING IS LESS THAN 36" ABOV. LANDING/WALKING SURFACE SEE DIV. 02800 SHEET A-1
- P-5** EGRESS WINDOW PER IRC SECTION R310 SEE DIV. 02600 SHEET A-1
- P-6** IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1
- P-7** COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 12" ABOVE DRAIN INLETS. PER IRC SECTION 3012. SEE DIV. 02950 SHEET A-1
- P-8** (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.
- P-9** 3/4" MAX. RISER WITH 10" MIN. RUN, IF MORE THAN (3) RISERS. HANDRAIL REQUIRED PER IRC SECTION R311.8. SEE DIV. 01022.1 SHEET A-1
- P-10** 18"x24" CRAWL SPACE ACCESS. INSULATE AND WEATHER STRIP. SEE DIV. 01022.1 SHEET A-1
- P-11** 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 01022.2 SHEET A-1
- P-12** FLOOR MATERIAL BREAK LINE
- P-13** WALL LINE ABOVE
- P-14** WALL LINE BELOW
- P-15** FIREPLACE ASSEMBLY NOTES:
 A. DIRECT VENT GAS FIREPLACES. MUST BE LISTED, LABELED & INSTALLED PER MFG. SPECIFICATIONS. SHALL CONFORM TO IRC REQUIREMENTS. SEE DIV. 01022.12 SHEET A-1
 B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO IRC REQUIREMENTS. SEE DIV. 01022.12 SHEET A-1
 C. HEARTH SHALL CONFORM TO IRC REQUIREMENT SEE DIV. 01022.12
 D. FIREBLOCK OPENINGS AROUND PENETRATIONS @ EACH FLOOR PER IRC SECTION R1003.13
 E. FIREPLACE MUST COMPLY WITH UL 121 TESTING
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- P-16** 3" DIAMETER STEEL POST
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- P-18** 'B' VENT FOR MECHANICAL. 1" CLEARANCE ALL SIDES PER IRC SECTION R302.11. SEE DIV. 15 SHEET A-1
- P-20** PROVIDE A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES & HUMIDITY. INSTALL IN A CENTRAL LOCATION AND IN ACCORDANCE W/ THE MANF. INSTRUCTIONS. CONNECT TO AN ALARM OR SMOKE ALARM IN THE DWELLING IN A LOCATION THAT WILL PROVIDE OCCUPANT NOTIFICATION
- P-21** 2x6 STUDS W/ R-21 INSULATION MIN.



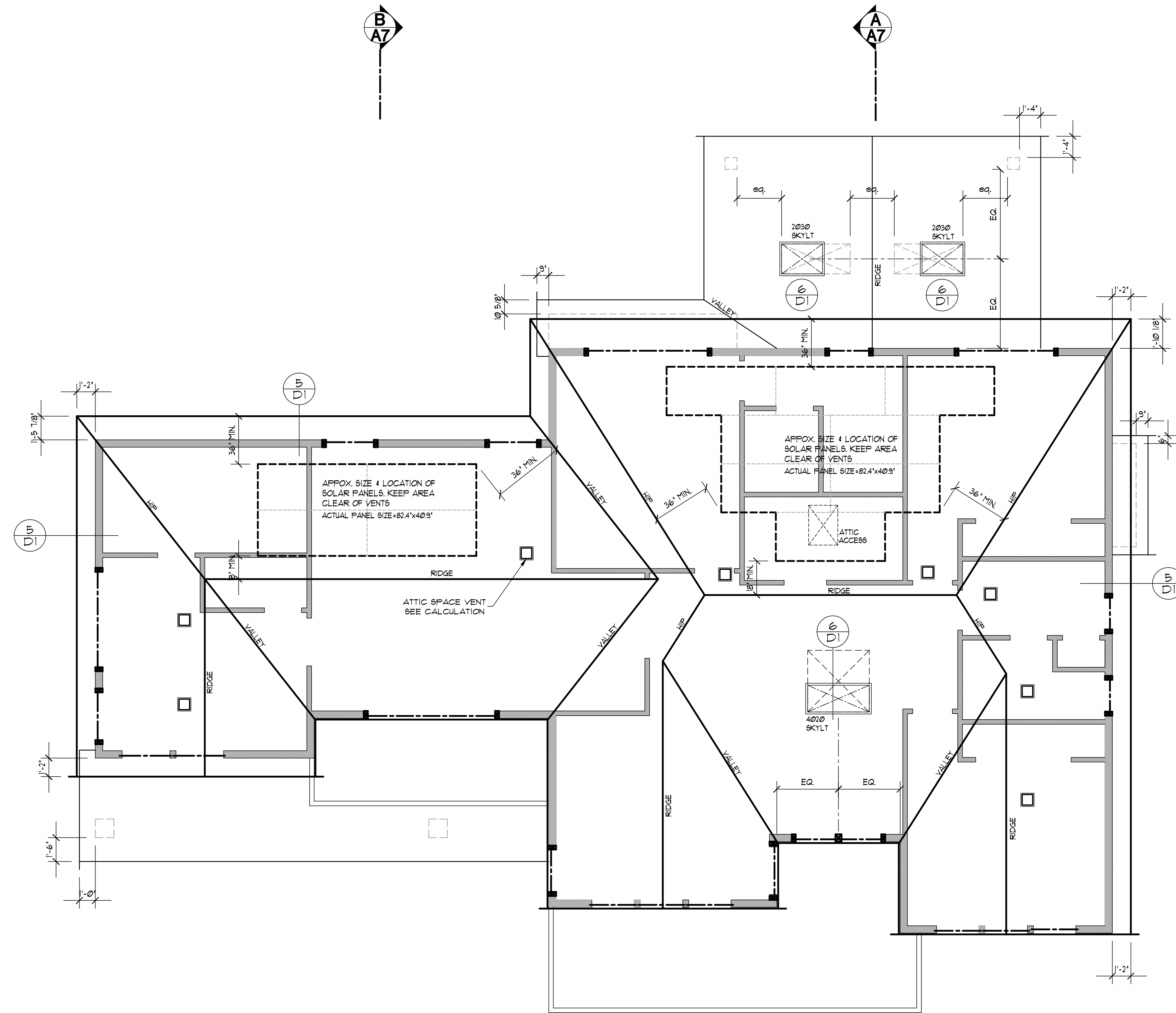
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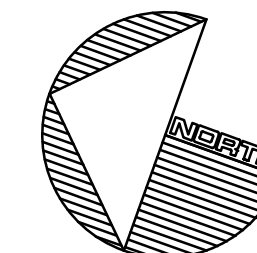
TITLE	
JOB NO.:	21048.21
STARTING NO.:	21048.05

SHEET
A4

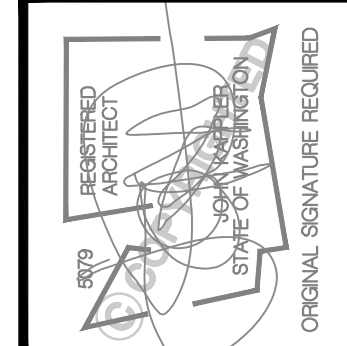


ROOF PLAN

SCALE 1/4" = 1'-0"



ROOF VENT CALCULATION	
TOTAL ROOF AREA	1769 SF/300 = 5.89 SF OF VENT AREA REQ.
40% MIN. AT 36' MAX BELOW RIDGE	= 235 SF MIN.
50% MAX. AT 36' MAX BELOW RIDGE	= 294 SF MAX.
8 ROOF JACKS AT 50 SQ. IN. EACH + (36' MAX. BELOW RIDGE)	400 SQ. IN. = 277 SF
127 LF. OF EAVE VENTS AT 3.3-SQ. IN./LF. +	419.1 SQ. IN. = 291 SF
1 ROOF JACKS AT 50 SQ. IN. EACH + (36' MAX. ABOVE EAVE)	50 SQ. IN. = 34 SF
TOTAL SF OF VENTILATION PROVIDED = 602 SF	



Date	By	Description
01/25/22	SM	PERMIT SET
05/19/22	SM	JURISDICTIONAL COMMENTS

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61st Ave Residence
 3038 61st Ave SE Mercer Island, Wa 98040
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A5

TYPICAL BUILDING MATERIALS

ROOF CONSTRUCTION

- ROOFING: (DIV. 7) SHINGLES (DIV. 01000.5)
- BUILDING PAPER: (DIV. 7) 30# BUILDING PAPER
- SHEATHING: (DIV. 6) 7/16" OSB OR EQUAL
- FRAMING: (DIV. 6) PER PLAN
- INSULATION: (DIV. 7) R-49 BLOWN-IN
- SOFFIT: (DIV. 7) PER SPECIFICATIONS
- GWB: (DIV. 9) 5/8" GWB
- SKYLIGHTS: (DIV. 8) LAMINATED GLAZING U=0.50 MAX.

EXTERIOR WALL CONSTRUCTION

- SIDING MATERIAL: (DIV. 7) WOOD SIDING (DIV. 0100.5)
- BUILDING WRAP: (DIV. 7) 15# BUILDING PAPER
- SHEATHING: (DIV. 6) 1/2" CDX PLYWOOD OR EQUAL
- FRAMING: (DIV. 6) 2 X 6 STUDS AT 16" OC
- INSULATION: (DIV. 7) R-21 BATT W/ INTEGRAL VAPOR BARRIER
- GWB: (DIV. 9) PROVIDE CLASS II VAPOR RETARDER IN MARINE ZONE 4
- DOORS: (DIV. 8) 1/2" GWB
- WINDOWS: (DIV. 8) U=0.28

FLOOR CONSTRUCTION

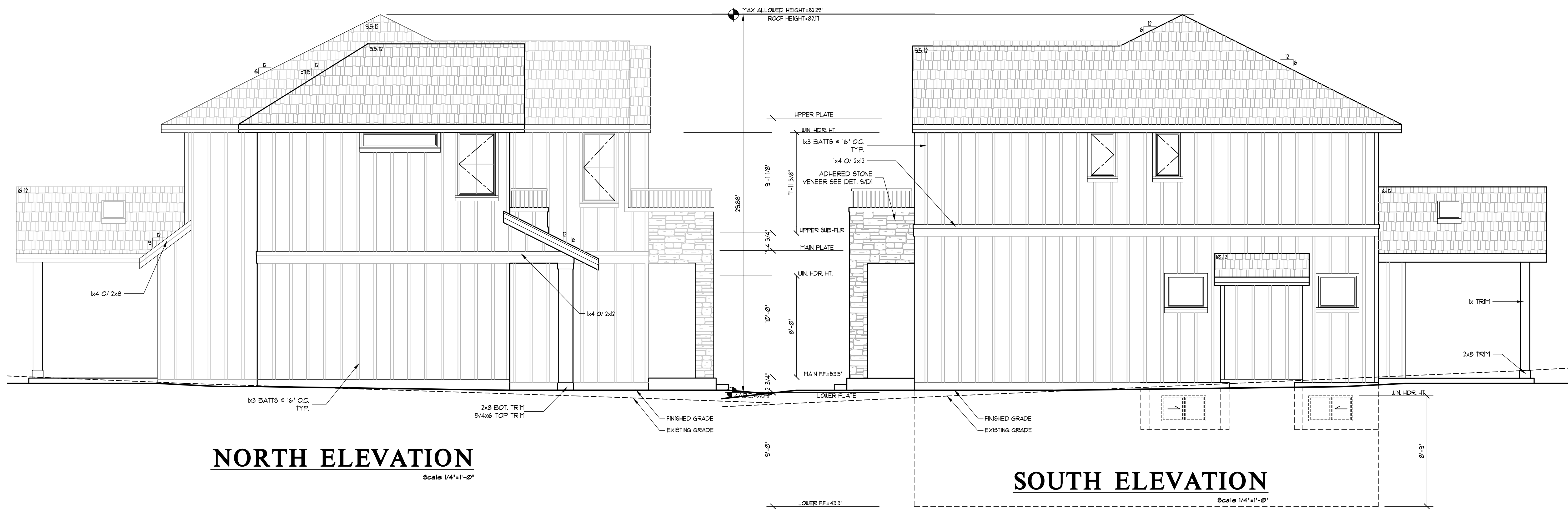
- FLOORING: (DIV. 9) FINISH PER PLANS (DIV. 0100.5)
- SUBFLOOR: (DIV. 6) 3/4" T&G (PLYWD, COMPLY, OR EQ.)
- FRAMING: (DIV. 6) PER PLANS
- INSULATION: (DIV. 7) R-38 BATT PER SPECIFICATIONS
- SOFFIT: (DIV. 7)

TRIM: (DIV. 6)

- WINDOW: (WITH NO BRICK MOLD) HEAD: 5/4x3
- CORNER BOARDS: JAMB: 5/4x3
- FASCIA: SILL: 2x4 WITH 2x3 STOOL
- INSIDE: 2x2
- OUTSIDE: 5/4x4 / 5/4x3
- 5/4x8 UNO

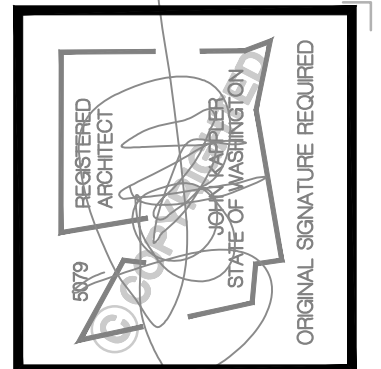


WEST ELEVATION
Scale 1/4"=1'-0"



NORTH ELEVATION
Scale 1/4"=1'-0"

SOUTH ELEVATION
Scale 1/4"=1'-0"



Date	By	Description
01/25/22	SM	PERMIT SET
05/09/22	SM	JURISDICTIONAL COMMENTS

Jabooda Homes
61st Ave Residence

3038 61st Ave SE Mercer Island, Wa 98040

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JOB NO.:	21048.21
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SHEET
A6

ENERGY CODE REQUIREMENTS

- THE BUILDER SHALL COMPLETE AND POST AN "INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION" WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BELOW-GRADE WALL, AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION; THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING; AND THE RESULTS FROM THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FLOW RATE TEST.
- A MINIMUM OF 90% PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.

ENERGY CREDITS

13 EFFICIENT BUILDING ENVELOPE 0.5 CREDIT
 VERTICAL FENESTRATION MIN U=28
 FLOOR R-38
 SLAB ON GRADE R-10 UNDER ENTIRE SLAB

21 AIR LEAKAGE CONTROL & EFFICIENT VENTILATION 5 CREDIT

Reduce the tested air leakage to 3.0 air changes per hour maximum at 50 Pascals
 And

All whole house ventilation requirements as determined by Section M1507.3 of the International Residential Code or Section 403.8 of the International Mechanical Code shall be met with a high efficiency fan(s) (maximum 0.35 watts/cfm), not interlocked with the furnace fan (if present). Ventilation systems using a furnace including an ECM motor are allowed, provided that they are controlled to operate at low speed in ventilation only mode.

31 HIGH EFFICIENCY HVAC 10 CREDIT

ENERGY STAR RATED (U.S. NORTH) GAS FURNACE WITH MINIMUM AFUE OF 93%

53 EFFICIENT WATER HEATING 10 CREDIT

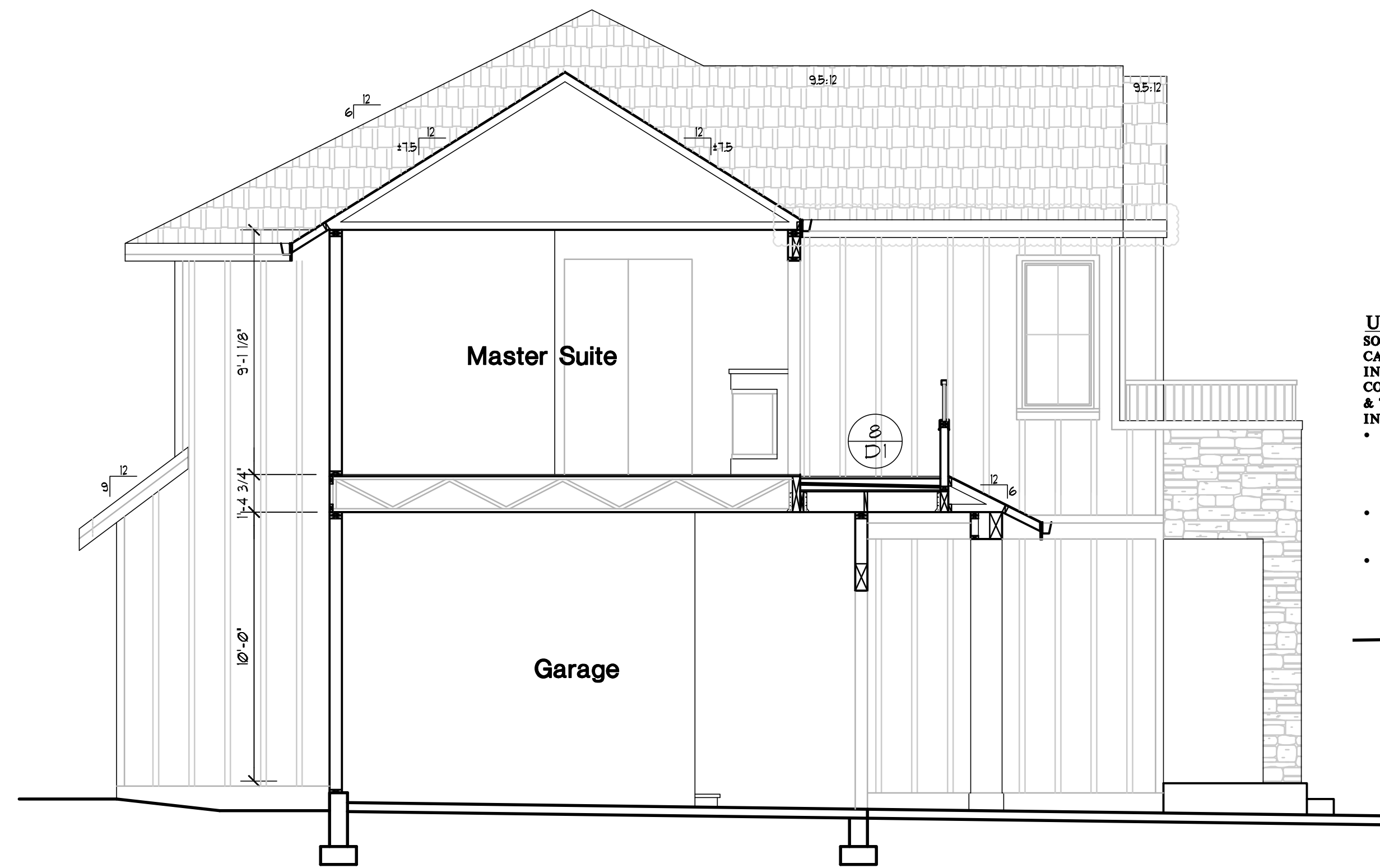
ENERGY STAR RATED GAS WATER HEATER WITH A MINIMUM UEF OF 0.91

61 RENEWABLE ELECTRIC ENERGY 3.0 CREDIT

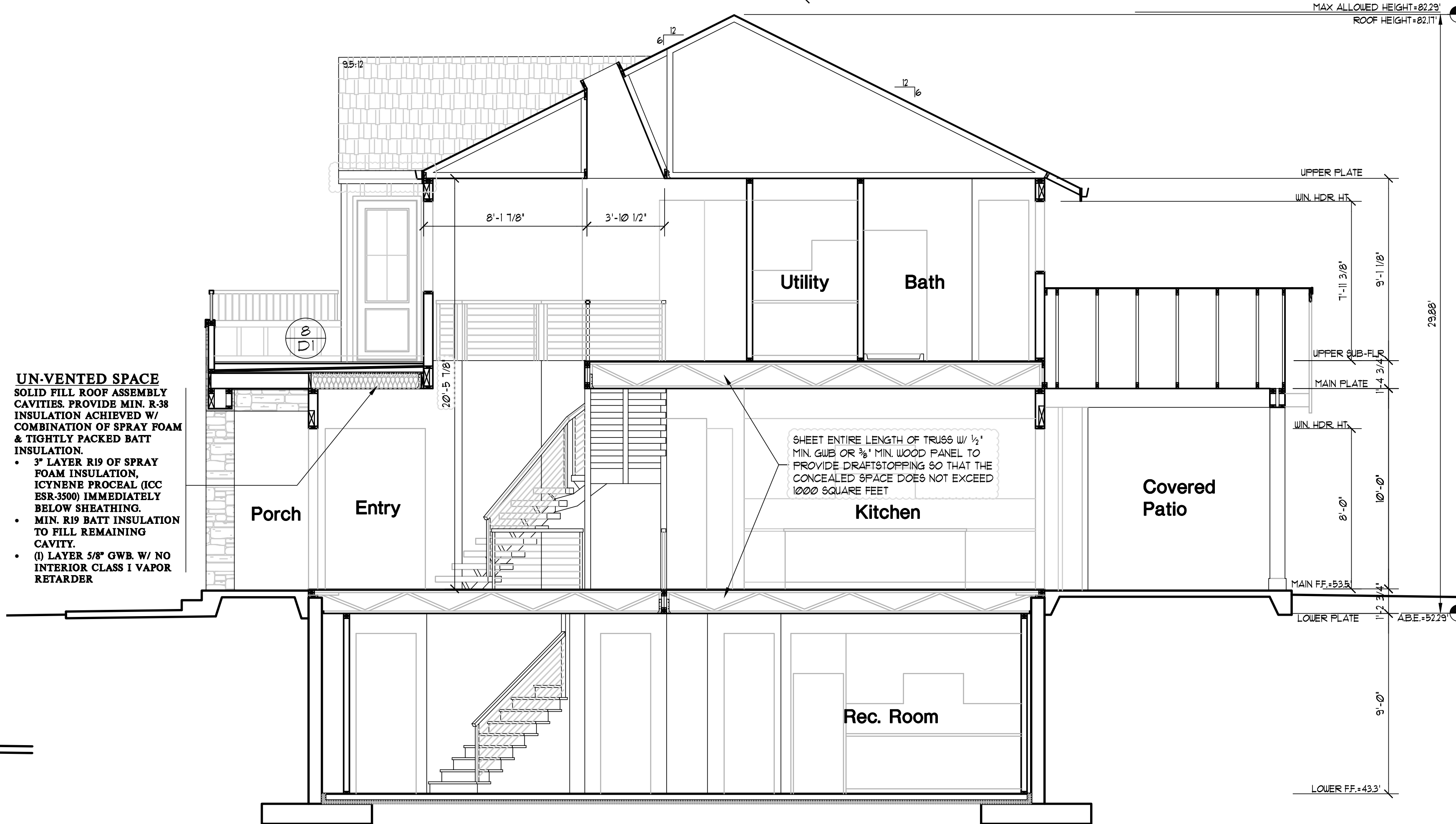
SOLAR PANELS WITH A MINIMUM OF 3600 kWh OF ELECTRICAL GENERATION PER HOUSING UNIT PROVIDED ANNUALLY



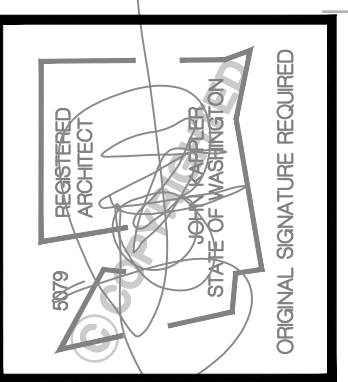
EAST ELEVATION
 Scale 1/4"=1'-0"



BUILDING SECTION B-B
 Scale 1/4"=1'-0"



BUILDING SECTION A-A
 Scale 1/4"=1'-0"



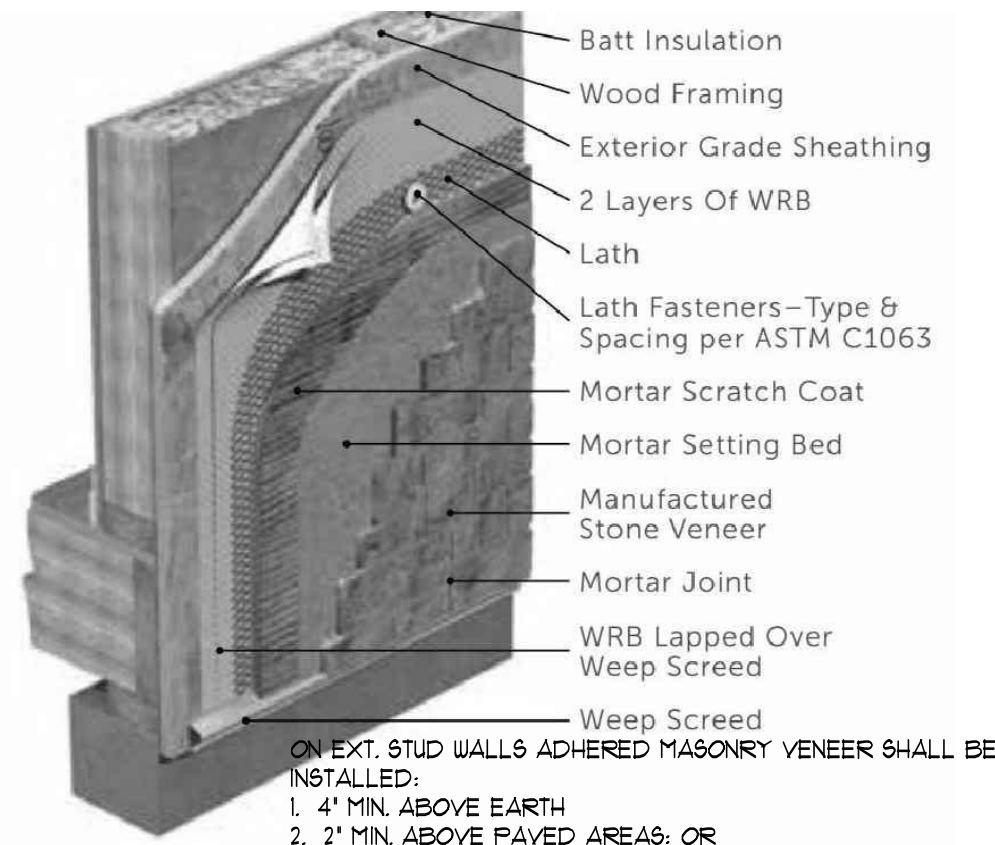
Date	By	Description
07/25/22	SM	PERMIT SET
05/09/22	SM	JURISDICTIONAL COMMENTS

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JOB NO.:	21048.21
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SHEET
A7



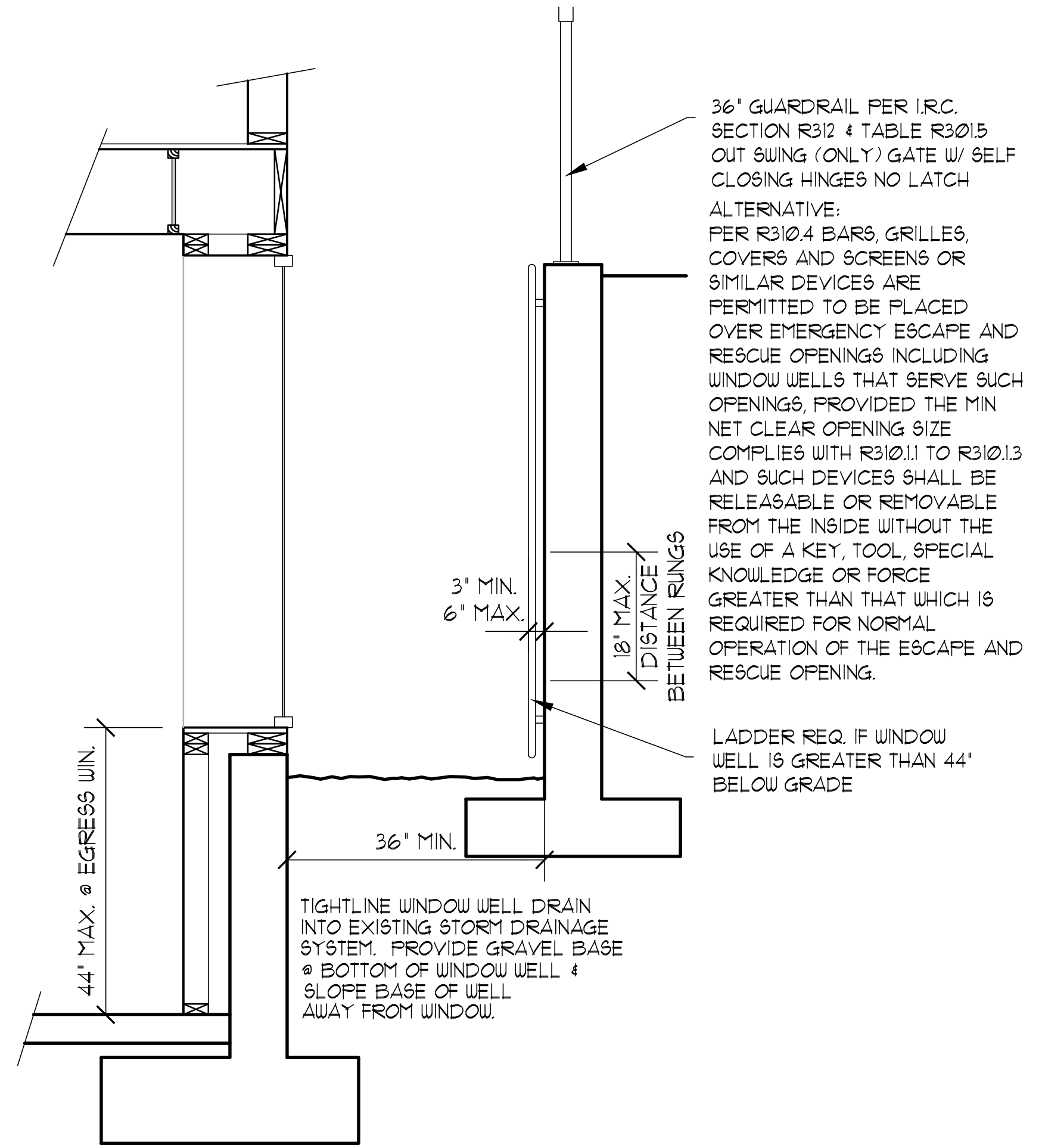
9 STONE VENEER DETAIL
N.T.S.

WINDOW WELL

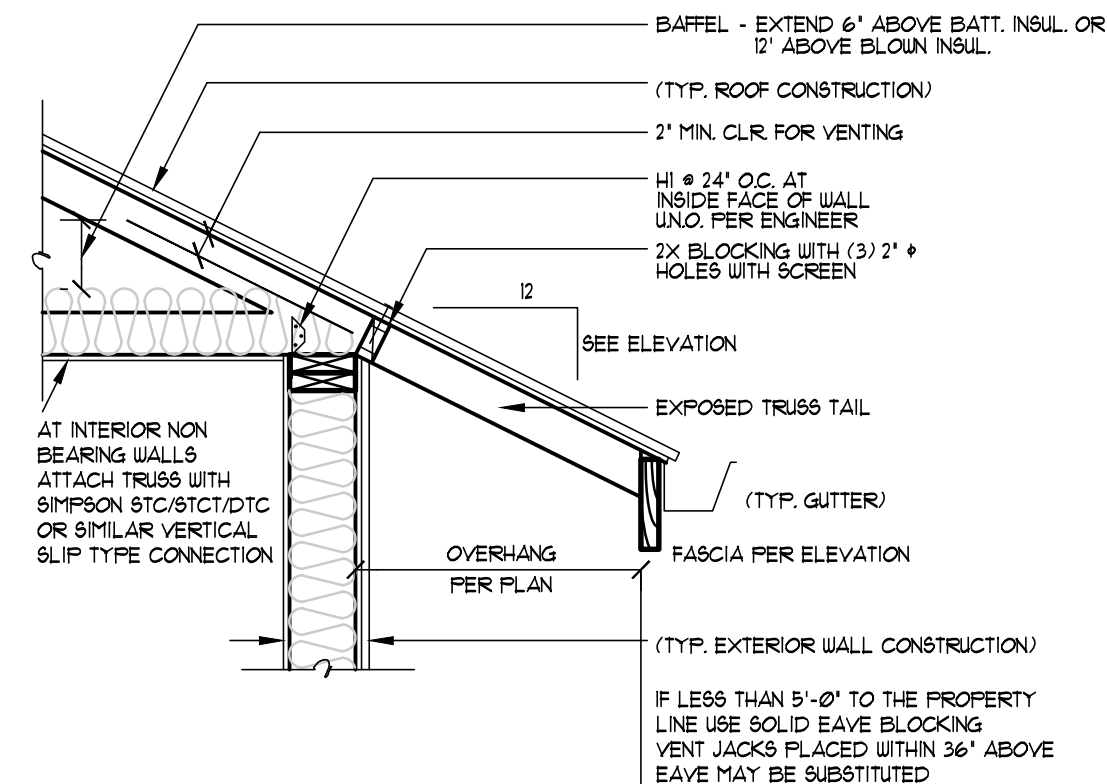
R310.2 Window wells. The minimum horizontal area of the window well shall be 9 square feet (0.9 m²), with a minimum horizontal projection and width of 36 inches (914 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened.

Exception: The ladder or steps required by Section R310.2.1 shall be permitted to encroach a maximum of 6 inches (152 mm) into the required dimensions of the window well.

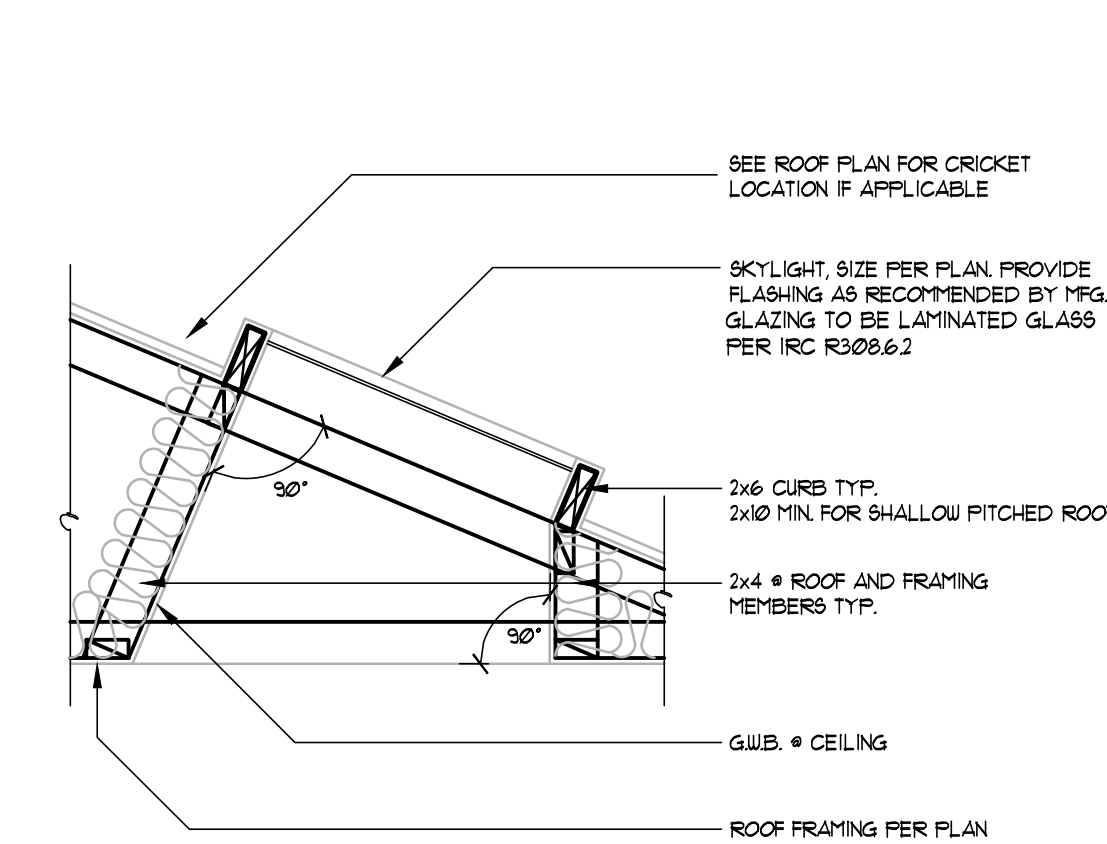
R310.2.1 Ladder and steps. Window wells with a vertical depth greater than 44 inches (1118 mm) shall be equipped with a permanently affixed ladder or steps usable with the window in the fully open position. Ladders or steps required by this section shall not be required to comply with Sections R311.7 and R311.8. Ladders or rungs shall have an inside width of at least 12 inches (305 mm), shall project at least 3 inches (76 mm) from the wall and shall be spaced not more than 18 inches (457 mm) on center vertically for the full height of the window well.



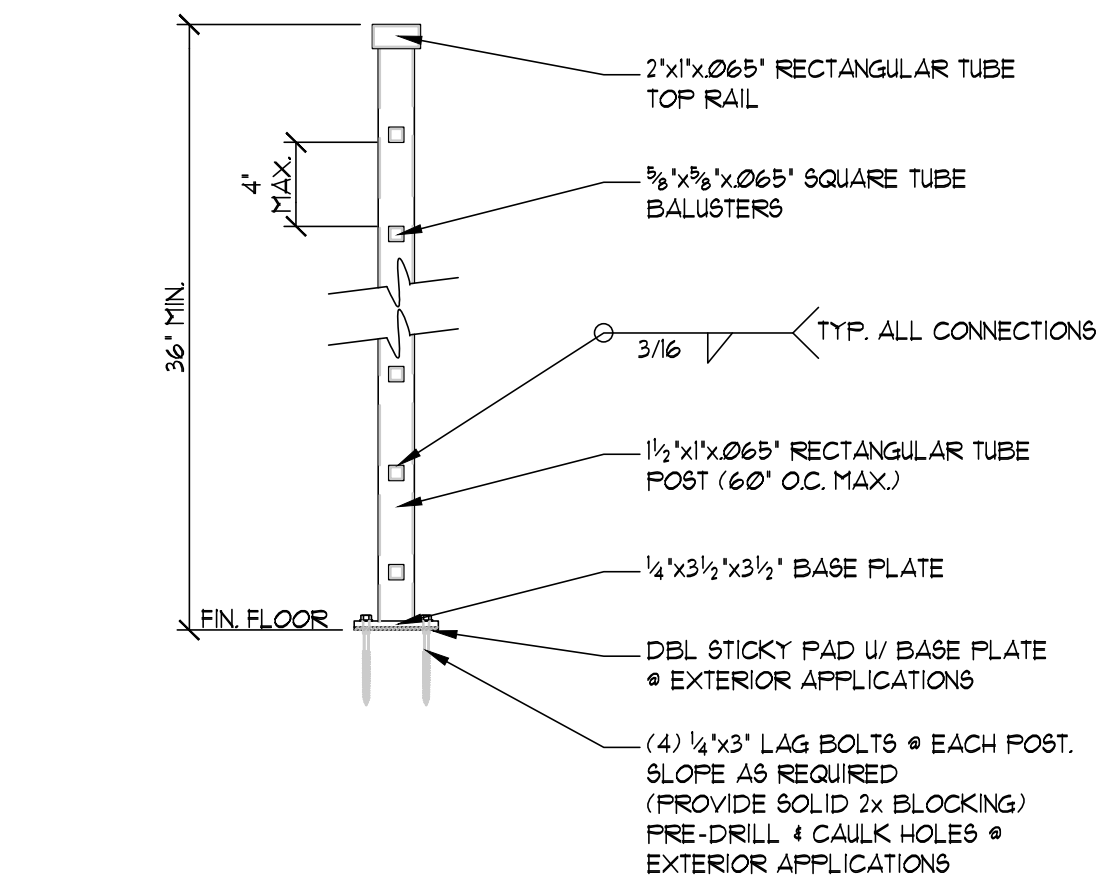
10 WINDOW WELL DETAIL
3/4"=1'-0"



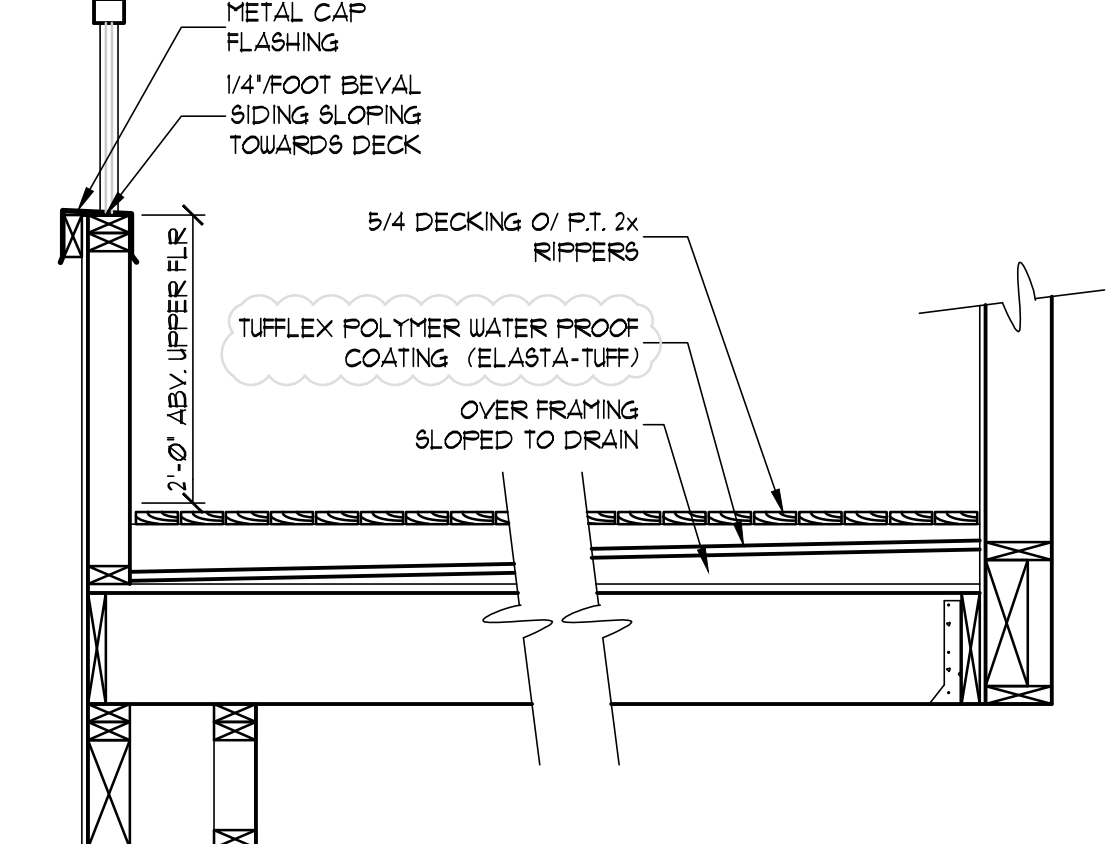
5 EAVE DETAIL
3/4"=1'-0"



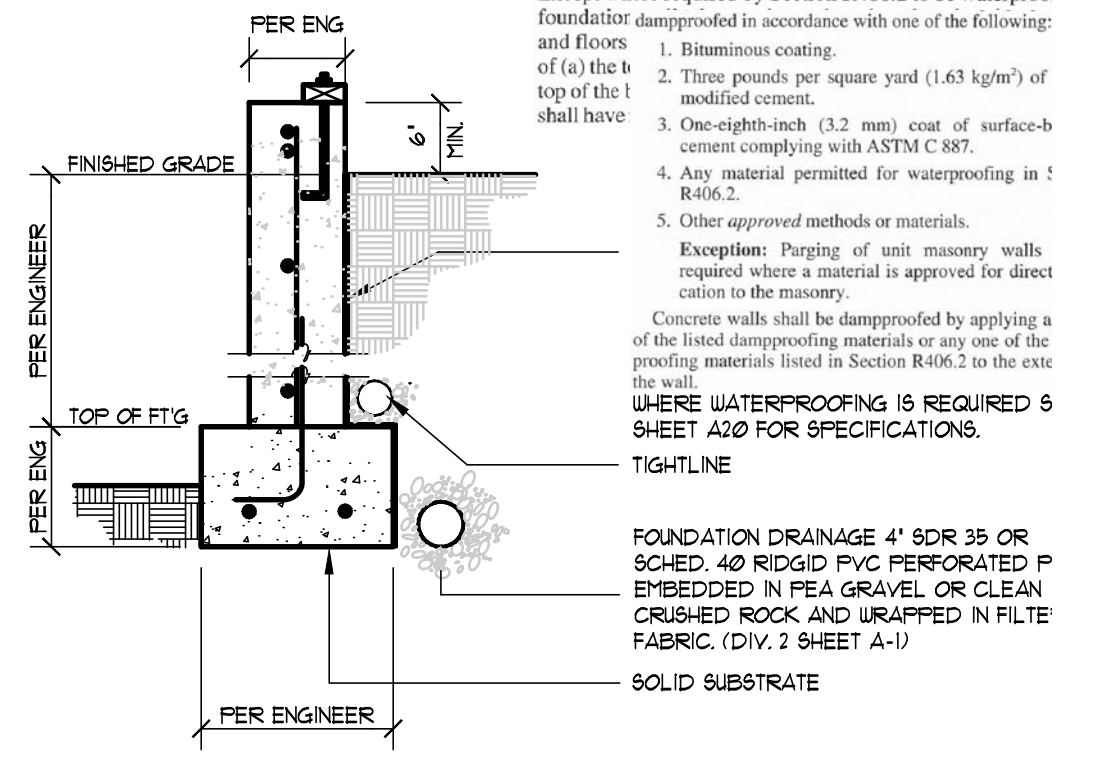
6 SKYLIGHT FLARE WELL DETAIL
3/4"=1'-0"



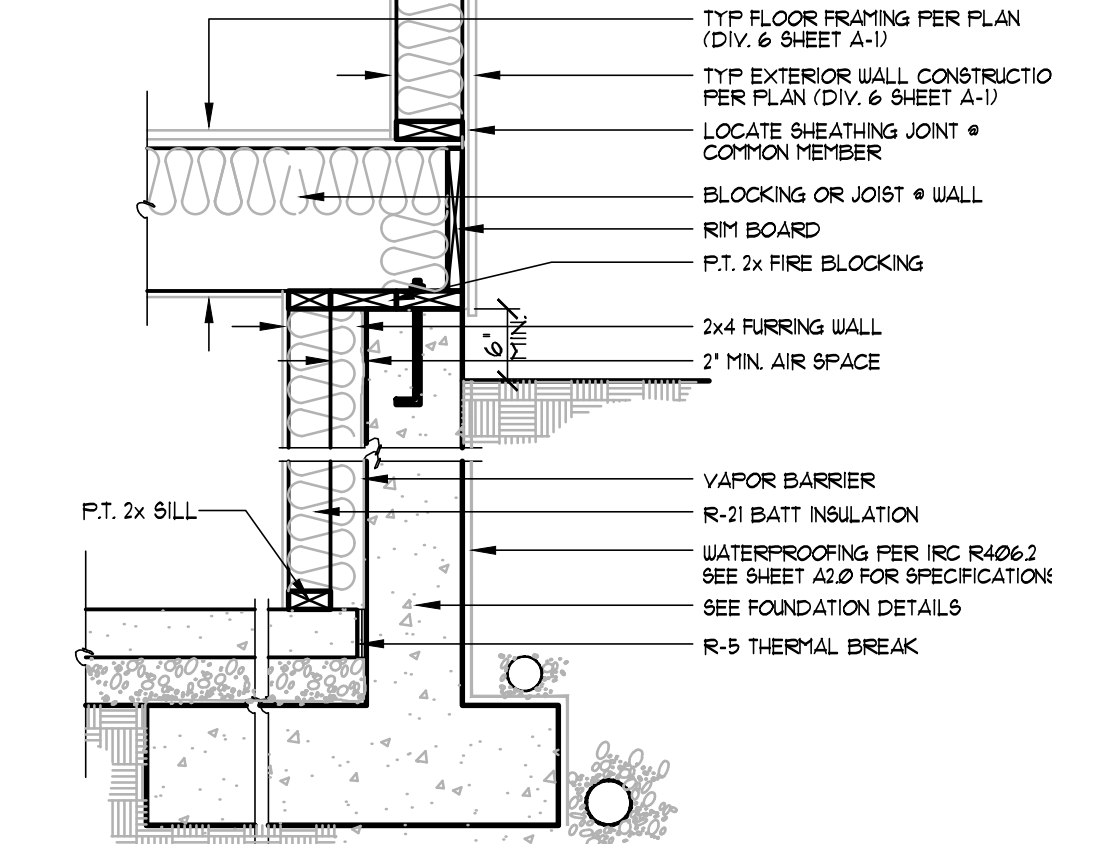
7 STANDARD RAIL DETAIL
1 1/2"=1'-0"



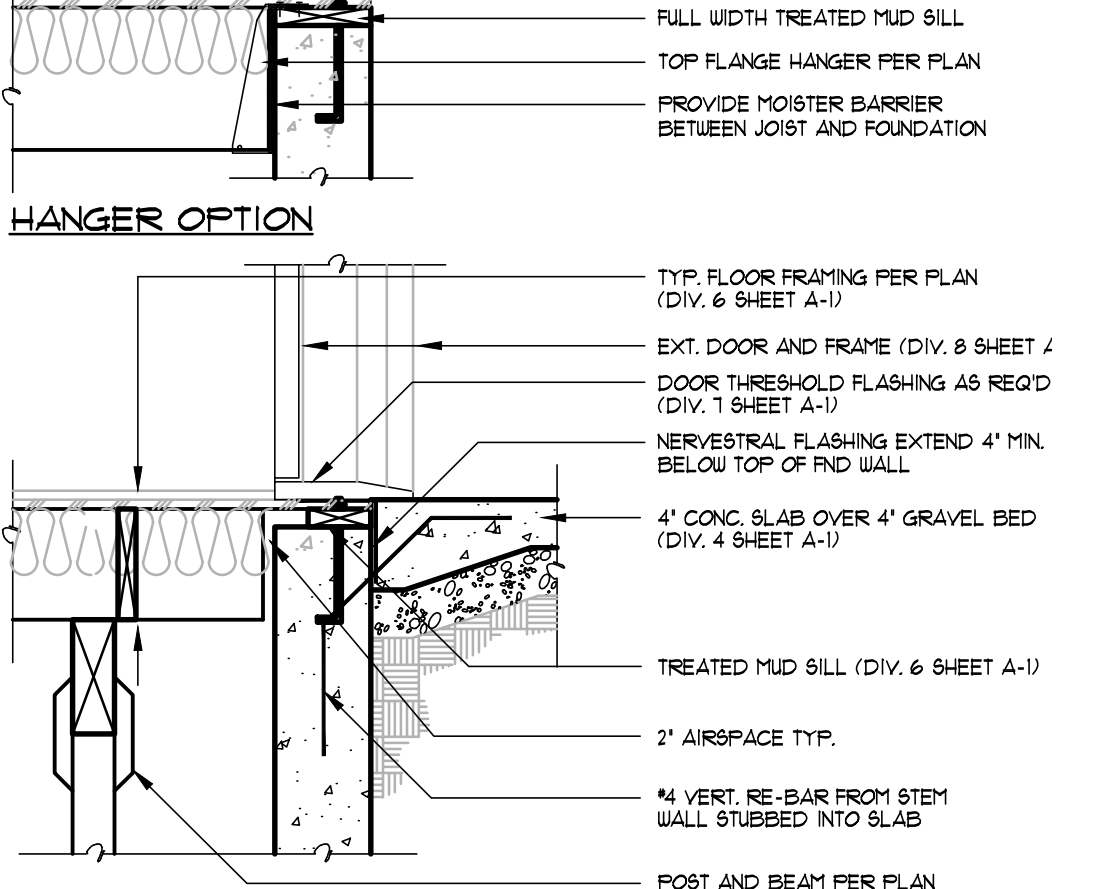
8 DECK FRAMING DETAIL
3/4"=1'-0"



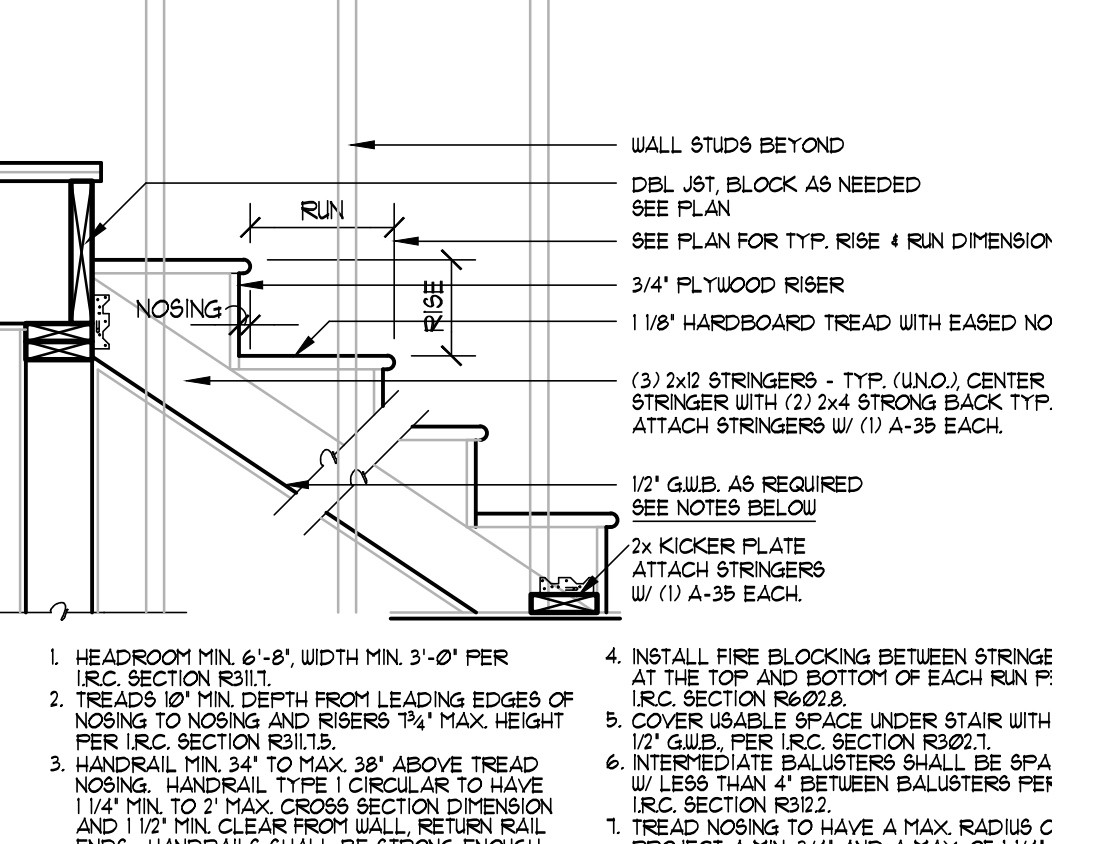
1 DAMP PROOFING DETAIL
3/4"=1'-0"



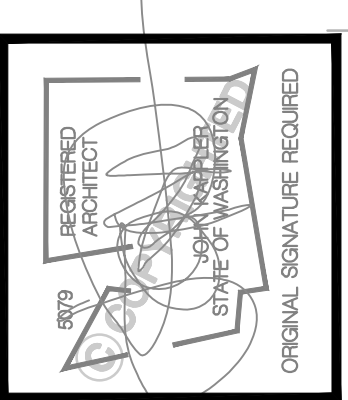
2 FURRING DETAIL (NON INSULATED FL
3/4"=1'-0"



3 EXT. DOOR THRESHOLD DETAIL
3/4"=1'-0"



4 STAIR SECTION DETAIL
3/4"=1'-0"



Date	By	Description
01/26/21	SM	PERMIT SET
05/19/21	SM	JURISDICTIONAL COMMENTS

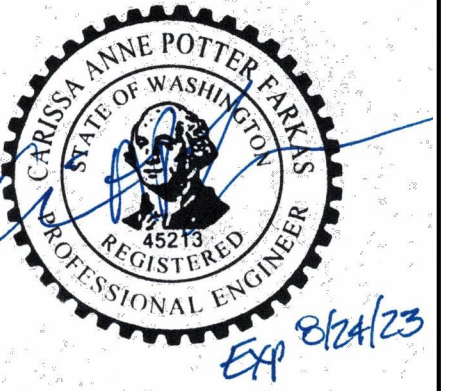
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TITLE
JOB NO.: 21048.21
STARTING NO.: 21048.05

SHEET
D1

ENGINEER'S SEAL



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Stated drawing scale is based on
22" x 34" sheet.

PROJECT TITLE

61ST AVENUE
RESIDENCE

ADDRESS

3038 61st Avenue SE.,
Mercer Island, WA
98040

No. Date Issue

12.21.21 Coordination

01.03.22 Coordination

01.24.22 Building Permit

⚠ 04.26.22 Correction

SHEET CONTENTS

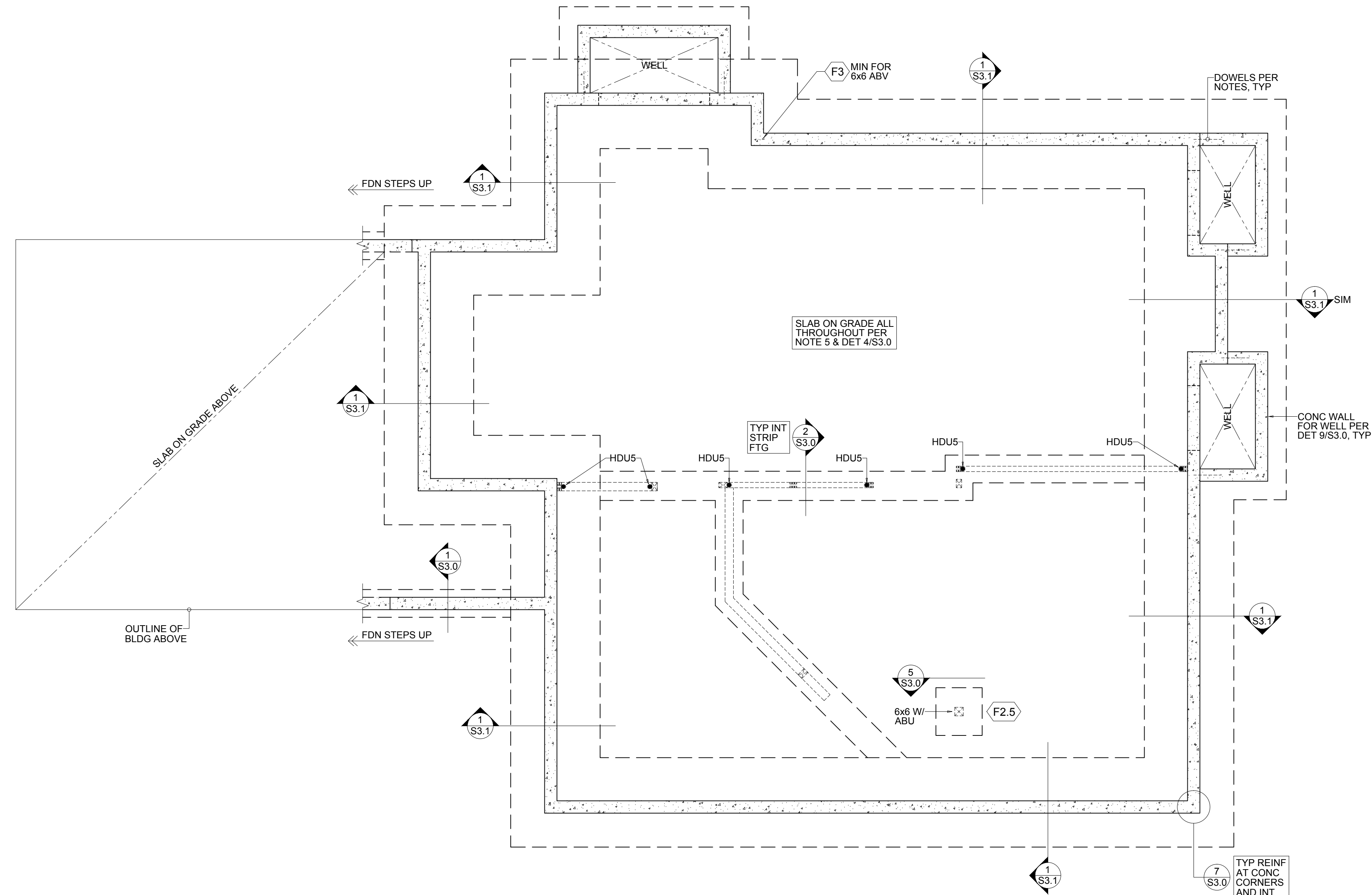
FOUNDATION PLAN

JOB NO. 2147

SHEET NO.

S2.0

DPD APPROVAL



PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- HDUXX / STDXX INDICATES VERTICAL HOLD-DOWN AT ENDS OF SHEAR WALL ABOVE. REFER TO PLAN, DETAILS AND MFR SPECS FOR INSTALLATION REQUIREMENTS.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE. THE BOTTOM OF ALL INTERIOR FOOTINGS SHALL BE 12" MINIMUM BELOW GRADE.
- STRIP FOOTINGS TO BE CENTERED UNDER BEARING WALLS AND CONCRETE WALLS, UNO ON PLAN. PAD FOOTINGS TO BE CENTERED UNDER POST.
- SLAB ON GRADE : 4" THK CONC SLAB OVER 10 MIL VAPOR BARRIER OVER INSULATION PER ARCH, ON 6" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL. REINFORCE WITH 6 x 6 W/1.4 x W/1.4 WWF.
- HDU5 INDICATES VERTICAL HOLD-DOWN AT ENDS OF SHEAR WALL ABOVE. REFER TO PLAN, DETAILS AND MFR SPECS FOR INSTALLATION REQUIREMENTS.
- FOR POSTS WITH ABU BASE AS NOTED ON PLAN, USE 5/8"Ø BOLTS EPOXY EMBED 4" MIN INTO EXISTING CONCRETE WALLS AND W/ (12) 16# INTO POST. INSTALL ABU BASE PER MFR REQ'TS. BEAR POST DIRECTLY ON ABU BASE. DO NOT BEAR ON SILL PLATES.
- FOR POSTS WITH CBSQ BASE AS NOTED ON PLAN, PROVIDE 1" THK NON-SHRINK GROUT. INSTALL CBSQ BASE PER MFR REQ'TS. BEAR POST DIRECTLY ON BASE. DO NOT BEAR ON SILL PLATES.
- FOR STEPPED FOUNDATIONS, SEE TYP DETAIL 6/S3.0. STEPPED DOWN FOOTINGS IF SHOWN ON PLAN ARE INDICATIVE ONLY. CONTRACTOR TO DETERMINE WHERE THEY ARE REQUIRED.
- F# INDICATES FOOTING TYPE. SEE FOOTING SCHEDULE FOR SIZE AND REINFORCING.
- PROVIDE #4 x 18" LG DOWELS AT COLD JOINTS. SPACING TO MATCH CONC WALL HORIZ REINFORCEMENT. DOWELS MAY BE EPOXY EMBED, 4" MIN. REFER TO ANCHORAGE NOTES ON S1.0 FOR MORE INFORMATION.
- FOR CONSTRUCTION JOINT IN CONC WALLS SEE DETAIL 9/S3.1. FOR CRACK CONTROL JOINT IN CONC WALLS SEE DETAIL 10/S3.1.
- ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALVANIZED OR STAINLESS STEEL PER STRUCTURAL NOTES. ALL WOOD MUST BE PROTECTED FROM MOISTURE PER ARCH.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

FOOTING SCHEDULE

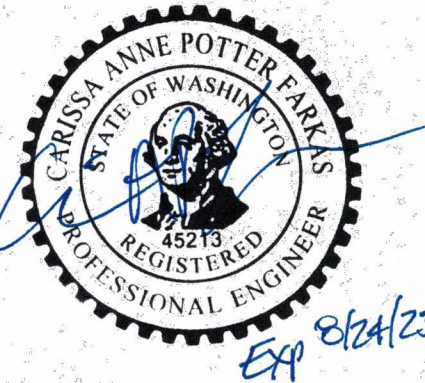
TYPE	SIZE	REINFORCEMENT
F2.5	2'-6"x2'-6"x10" DP	(4) #4 EA WAY, BOT
F3	3'-0"x3'-0"x12" DP	(5) #4 EA WAY, BOT

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



ENGINEER'S SEAL



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PROJECT TITLE

61ST AVENUE
RESIDENCE

ADDRESS

3038 61st Avenue SE.,
Mercer Island, WA
98040

No.	Date	Issue
12.21.21		Coordination
01.03.22		Coordination
01.24.22		Building Permit

SHEET CONTENTS

MAIN FLOOR
FRAMING PLAN

JOB NO. 2147

SHEET NO.

S2.1

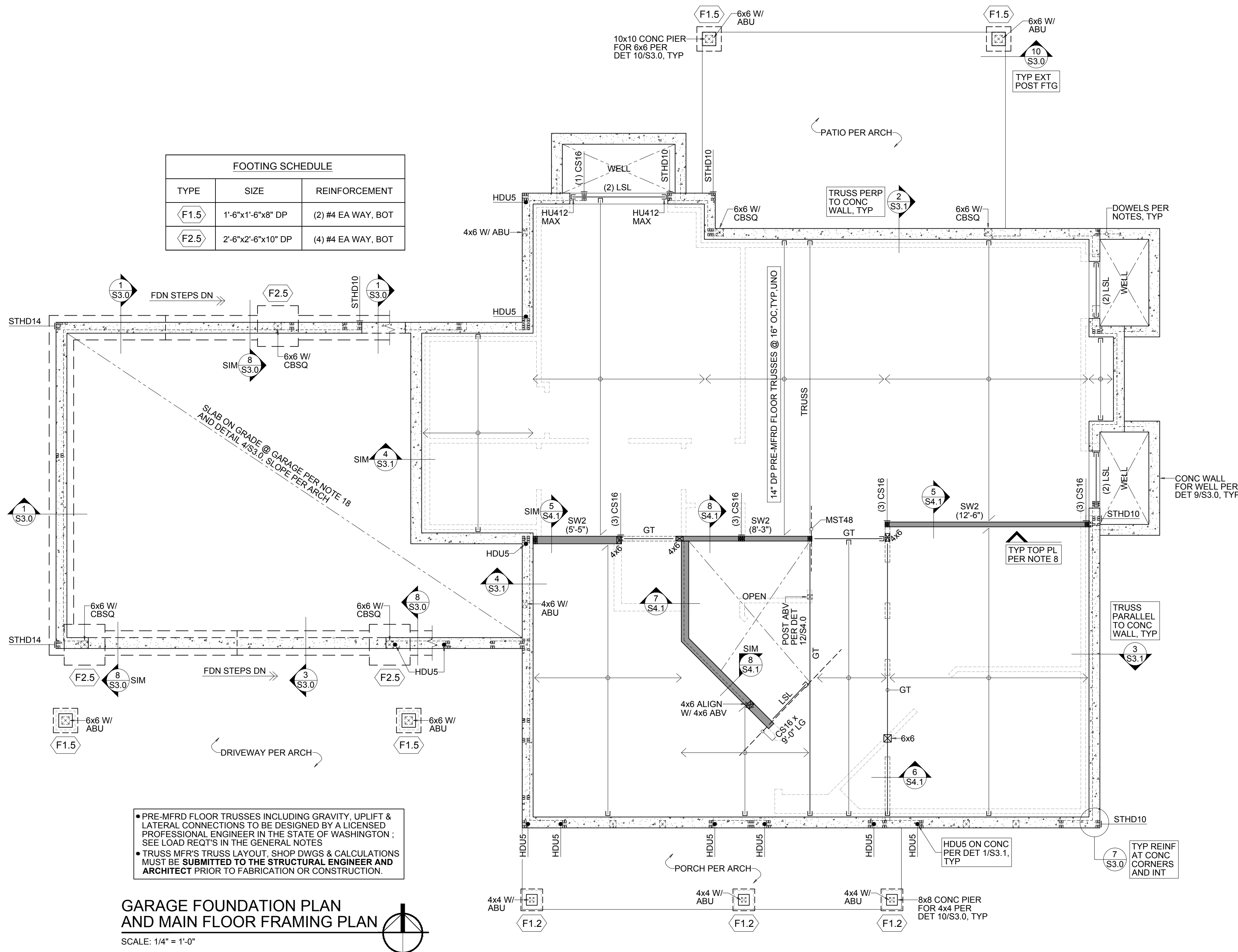
DPD APPROVAL

PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- FLOOR SHEATHING SHALL BE 3/4" THK TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). FACE GRAIN PERPENDICULAR TO SUPPORTS OVER FLOOR FRAMING. NAIL SHEATHING AT ALL FRAMED PANEL EDGES. GLUE AND NAIL AT ALL FRAMED PANEL EDGES WITH 8d @ 6" AND TO ALL INTERMEDIATE FRAMING @ 12". PROVIDE 1/8" CLEARANCE BETWEEN SHEATHING PANELS.
- FLOOR FRAMING SHALL BE 14" DEEP PREFABRICATED FLOOR TRUSSES @ 16" OC. UNO. TRUSS DESIGN AND CONNECTIONS TO BE PROVIDED BY MFR. SEE STRUCT NOTES FOR DESIGN REQ'TS.
- STAIR LANDING FRAMING SHALL BE 2x10 @ 16" OC. TYPICAL JOIST HANGERS TO BE SIMPSON LUS OR JB. PROVIDE (2) 2x12 MIN FOR STAIR STRINGERS SUPPORT. STRINGERS AND BEAM AT LANDING CONNECTION BY OTHERS.
- HEADERS OVER DOOR AND WINDOW OPENINGS. SHALL BE (2) 2x8 MINIMUM. UNO ON PLAN. PROVIDE (2) TRIMMER STUDS MIN. AT EACH END OF ALL OPENINGS WIDER THAN 4'-0". UNO ON PLAN. FOR OPENINGS LESS THAN 4'-0", PROVIDE (1) TRIMMER STUD. UNO ON PLAN. PROVIDE CS16x48" LG STRAP. SEE DETAIL 3/S4.0 FOR TYPICAL CONSTRUCTION.
- PROVIDE (2) STUDS MINIMUM AT EACH END OF ALL BEAMS, UNO ON PLAN. BEAR BEAM FULLY ON POSTS AND PROVIDE POSITIVE CONNECTION BY EITHER A35 OR L174 CLIPS ON EACH SIDE OF BEAM OR WITH A PCZ, OR LPCZ CAP. UNO ON PLAN. SOLID VERTICAL GRAIN BLOCKING FOR WOOD POSTS SHALL BE PROVIDED THROUGH FLOORS TO CONTINUOUS SUPPORT BELOW.
- SW# (X-X) INDICATES SHEAR WALL TYPE AND APPROXIMATE LENGTH. SEE DETAILS 1/S4.0 & 2/S4.0 FOR CONSTRUCTION REQ'TS.
- TOP PLATE CONSTRUCTION PER TYPICAL DETAIL 4/S4.0.
- STRUCTURAL MEMBERS SHOULD NOT BE SPLICED. PENETRATIONS AND NOTCHES THRU STRUCTURAL MEMBERS MUST BE APPROVED BY THE ENGINEER PRIOR TO DRILLING.
- INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12". NAIL ALL MULTI-JOIST / BEAMS TOGETHER WITH TWO ROWS OF 16d @ 12".
- LSL PER PLAN IS LSL 1 3/4" x 14" (1.5E). TYPICAL HANGERS ARE SIMPSON HU'S UNO ON PLAN.
- (X) CS16 INDICATES VERTICAL HOLD-DOWN STRAP AT END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QTY. SEE DETAILS 7/S4.0 AND 8/S4.0 FOR INSTALLATION REQUIREMENTS.
- HORIZONTAL STRAPS:
 - FASTEN STRAPS TO EACH MEMBER EQUALLY. PROVIDE BEAM OR BLKG (EA BAY) AS REQUIRED FOR NAILING. FASTEN BLKG TO JOISTS W/ (3) 16d AT EA END.
 - FOR CS16 HORIZONTAL STRAPS, FASTEN W/ 8d AT EVERY OTHER HOLE AT EACH MEMBER.
 - FOR MST HORIZONTAL STRAPS, FASTEN W/ 16d AT EVERY OTHER HOLE AT EACH MEMBER.
 - REFER TO PLAN FOR STRAP QUANTITY, TYPE & LENGTH.
- HDUS / STHDXX INDICATES VERTICAL HOLD-DOWN AT ENDS OF SHEAR WALL ABOVE. REFER TO PLAN, DETAILS AND MFR SPECS FOR INSTALLATION REQUIREMENTS.
- DRAG STRUT (DS) : PROVIDE PANEL EDGE NAILING OF 8d @ 4" ALONG FULL LENGTH OF MEMBER.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE. THE BOTTOM OF ALL INTERIOR FOOTINGS SHALL BE 12" MINIMUM BELOW GRADE.
- STRIP FOOTINGS TO BE CENTERED UNDER BEARING WALLS AND CONCRETE WALLS. PAD FOOTINGS TO BE CENTERED UNDER POST.
- SLAB ON GRADE : 4" THK CONC SLAB OVER 10 MIL VAPOR BARRIER ON 6" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL. REINFORCE WITH 6 x 6 W1.4 x W1.4 WWF.
- FOR POSTS WITH ABU BASE AS NOTED ON PLAN, USE 5/8"Ø BOLTS EPOXY EMBED 4" MIN INTO EXISTING CONCRETE WALLS AND W/ (12) 16d INTO POST. INSTALL ABU BASE PER MFR REQ'TS BEAR POST DIRECTLY ON ABU BASE. DO NOT BEAR ON SILL PLATES.
- FOR POSTS WITH CBSQ BASE AS NOTED ON PLAN, PROVIDE 1" THK NON-SHRINK GROUT. INSTALL CBSQ BASE PER MFR REQ'TS. BEAR POST DIRECTLY ON BASE. DO NOT BEAR ON SILL PLATES.
- FOR STEPPED FOUNDATIONS. SEE TYP DETAIL 6/S3.0. STEPPED DOWN FOOTINGS IF SHOWN ON PLAN ARE INDICATIVE ONLY. CONTRACTOR TO DETERMINE WHERE THEY ARE REQUIRED.
- (F#) INDICATES FOOTING TYPE. SEE FOOTING SCHEDULE FOR SIZE AND REINFORCING.
- SITE RETAINING WALL IF REQUIRED, TO BE PER TYPICAL DETAIL 9/S3.0. REFER TO ARCH OR GEOTECH FOR LOCATIONS.
- PROVIDE #4 x 18" LG DOWELS AT COLD JOINTS. SPACING TO MATCH CONC WALL HORIZ REINFORCEMENT. DOWELS MAY BE EPOXY EMBED, 4" MIN. REFER TO ANCHORAGE NOTES ON S1.0 FOR MORE INFORMATION
- FOR CONSTRUCTION JOINT IN CONC WALLS SEE DETAIL 11A/S3.0. FOR CRACK CONTROL JOINT IN CONC WALLS SEE DETAIL 11B/S3.0.
- PORCH, PATIO, WOOD STAIRS AND RAILINGS BY OTHERS.
- ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALVANIZED OR STAINLESS STEEL PER STRUCTURAL NOTES. ALL WOOD MUST BE PROTECTED FROM MOISTURE PER ARCH.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

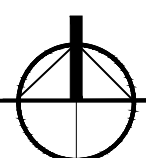
WOOD FRAME WALL SCHEDULE:	PLAN VIEW
ALL EXTERIOR WALLS	• 2x6 STUDS @ 16" OC
INTERIOR BEARING WALLS	• 2x4 STUDS @ 16" OC UNO ON ARCH DWGS
NON LOAD WALLS	• PER ARCH

FOOTING SCHEDULE		
TYPE	SIZE	REINFORCEMENT
(F1.5)	1'-6"x1'-6"x8" DP	(2) #4 EA WAY, BOT
(F2.5)	2'-6"x2'-6"x10" DP	(4) #4 EA WAY, BOT

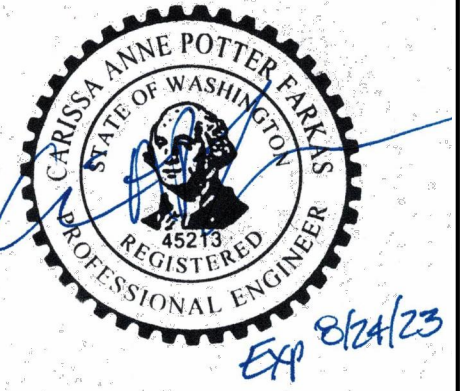


GARAGE FOUNDATION PLAN
AND MAIN FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



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Stated drawing scale is based on
22" x 34" sheet.

PROJECT TITLE

61ST AVENUE
RESIDENCE

ADDRESS

3038 61st Avenue SE.,
Mercer Island, WA
98040

No.	Date	Issue
12.21.21		Coordination
01.03.22		Coordination
01.24.22		Building Permit

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UPPER FLOOR
FRAMING PLAN

JOB NO. 2147

SHEET NO.

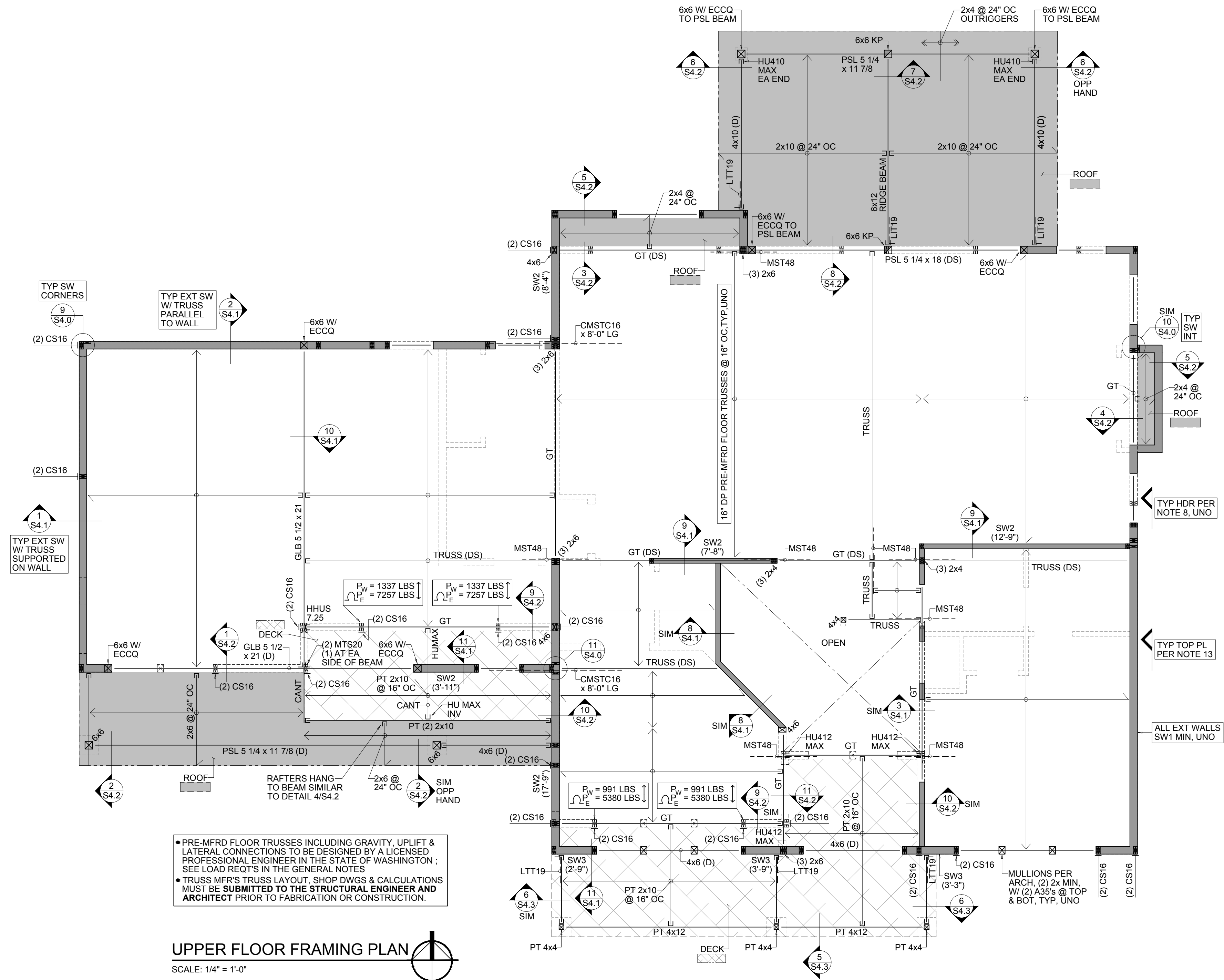
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DPD APPROVAL

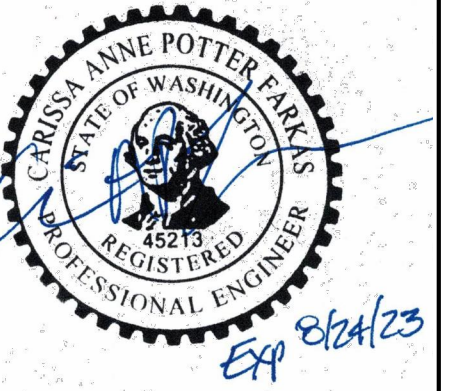
PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- ROOF RAFTERS PER PLAN. TYPICAL JOIST HANGERS TO BE SIMPSON LUS, LRUZ OR LSSR.
- ROOF SHEATHING SHALL BE 1/2" THK A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8d @ 6" AND TO ALL INTERMEDIATE FRAMING @ 12". PROVIDE 1/8" CLEARANCE BETWEEN SHEATHING PANELS.
- FLOOR AND DECK SHEATHING SHALL BE 3/4" THK TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER FLOOR FRAMING. NAIL SHEATHING AT ALL FRAMED PANEL EDGES. GLUE AND NAIL AT ALL FRAMED PANEL EDGES WITH 8d @ 6" AND TO ALL INTERMEDIATE FRAMING @ 12". PROVIDE 1/8" CLEARANCE BETWEEN SHEATHING PANELS.
- FLOOR FRAMING SHALL BE 16" DEEP PREFABRICATED FLOOR TRUSSES @ 16" OC, UNO. TRUSS DESIGN AND CONNECTIONS TO BE PROVIDED BY MFR. SEE STRUCT NOTES FOR DESIGN REQ'TS.
- DECK JOISTS SHALL BE 2x10 @ 16" OC. TYPICAL JOIST HANGERS TO BE SIMPSON LUS OR JB. HOLES AND PENETRATIONS MUST BE APPROVED BY THE ENGINEER PRIOR TO DRILLING.
- STAIR LANDING FRAMING SHALL BE 2x10 @ 16" OC. TYPICAL JOIST HANGERS TO BE SIMPSON LUS OR JB. PROVIDE (2) 2x12 MIN FOR STAIR STRINGERS SUPPORT. STRINGERS AND BEAM AT LANDING CONNECTION BY OTHERS.
- IF HEADERS OVER OPENINGS ARE WITHIN THE RIM SPACE, THE RIM SHALL ACT AS THE HEADER AND CONTINUOUS OVER OPENINGS AND MUST EXTEND BEYOND OPENINGS A MINIMUM OF 2'-0" EACH SIDE. JOISTS HANG TO RIM AT OPENINGS. PROVIDE (2) TRIMMER STUDS MIN. AT EACH END OF OPENINGS WIDER THAN 4'-0" UNO ON PLAN. FOR OPENINGS LESS THAN 4'-0", PROVIDE (1) TRIMMER STUD MINIMUM. PROVIDE HTS20 STRAPS WHERE TOP PLATES ARE REMOVED. REFER TO DETAIL 5/S4.0 AND DETAIL 6/S4.0 FOR TYPICAL CONSTRUCTION REQUIREMENTS. FOR DROPPED HEADERS, SEE NOTE 9.
- FOR DROPPED HEADERS OVER DOOR AND WINDOW OPENINGS, PROVIDE (2) 2x8 MINIMUM, UNO ON PLAN. PROVIDE (2) TRIMMER STUDS MIN. AT EACH END OF ALL OPENINGS WIDER THAN 4'-0", UNO ON PLAN. FOR OPENINGS LESS THAN 4'-0", PROVIDE (1) TRIMMER STUD, UNO ON PLAN. PROVIDE CS16x48" LG STRAP. SEE DETAIL 3/S4.0 FOR TYPICAL CONSTRUCTION FOR HEADERS WITHIN THE RIM SPACE, SEE NOTE 8.
- PROVIDE (2) STUDS MINIMUM AT EACH END OF ALL BEAMS, UNO ON PLAN. BEAR BEAM FULLY ON POSTS AND PROVIDE POSITIVE CONNECTION BY EITHER A35 OR LTP4 CLIPS ON EACH SIDE OF BEAM OR WITH A PCZ OR LPCZ CAP, UNO ON PLAN. SOLID VERTICAL GRAIN BLOCKING FOR WOOD POSTS SHALL BE PROVIDED THROUGH FLOORS TO CONTINUOUS SUPPORT BELOW.
- SW# (X'-X") INDICATES SHEAR WALL TYPE AND APPROXIMATE LENGTH. SEE DETAILS 1/S4.0 & 2/S4.0 FOR CONSTRUCTION REQ'TS.
- ALL EXTERIOR WALLS SHALL BE SW1 MINIMUM, UNO ON PLAN.
- TOP PLATE CONSTRUCTION PER TYPICAL DETAIL 4/S4.0.
- LENGTH OF BEAMS WHERE INDICATED ARE APPROXIMATE. CONTRACTOR TO VERIFY EXACT LENGTH.
- STRUCTURAL MEMBERS SHOULD NOT BE SPLICED. PENETRATIONS AND NOTCHES THRU STRUCTURAL MEMBERS MUST BE APPROVED BY THE ENGINEER PRIOR TO DRILLING.
- INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12" NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH TWO ROWS OF 16d @ 12".
- LSL PER PLAN IS LSL 1 3/4" x 16" (1.5E). TYPICAL HANGERS ARE SIMPSON HUS UNO ON PLAN.
- (X) CS16 INDICATES VERTICAL HOLD-DOWN STRAP AT END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QTY. SEE DETAILS 7/S4.0 AND 8/S4.0 FOR INSTALLATION REQUIREMENTS.
- HORIZONTAL STRAPS:
 - FASTEN STRAPS TO EACH MEMBER EQUALLY. PROVIDE BEAM OR BLKG (EA BAY) AS REQUIRED FOR NAILING. FASTEN BLKG TO JOISTS W/ (3) 16d AT EA END.
 - FOR CS16 HORIZONTAL STRAPS, FASTEN W/ 8d AT EVERY OTHER HOLE AT EACH MEMBER.
 - FOR HTS20 HORIZONTAL STRAPS, FASTEN W/ (12) 10d AT EACH MEMBER, (24) 10d TOTAL.
 - FOR MST HORIZONTAL STRAPS, FASTEN W/ 16d AT EVERY OTHER HOLE AT EACH MEMBER.
 - FOR CMSTC16 HORIZONTAL STRAPS, FASTEN W/ 12d AT EVERY OTHER HOLE AT EACH MEMBER.
 - REFER TO PLAN FOR STRAP QUANTITY, TYPE & LENGTH.
- BLOCKED FL DIAPHRAGM. PROVIDE 2x4 FLAT BLOCKING AT ALL UNFRAMED PANEL EDGES. NAIL SHEATHING TO BLKG W/ 8d @ 4".
- DRAG STRUT (DS) : PROVIDE PANEL EDGE NAILING OF 8d @ 4" ALONG FULL LENGTH OF MEMBER.
- STAIRS AND RAILINGS BY OTHERS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

WOOD FRAME WALL SCHEDULE:	PLAN VIEW
ALL EXTERIOR WALLS	• 2x6 STUDS @ 16" OC
INTERIOR BEARING WALLS	• 2x4 STUDS @ 16" OC UNO ON ARCH DWGS
NON LOAD WALLS	• PER ARCH



ENGINEER'S SEAL



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98040

No. Date Issue

12.21.21 Coordination

01.03.22 Coordination

01.24.22 Building Permit

05.19.22 Correction

SHEET CONTENTS

ROOF FRAMING PLAN

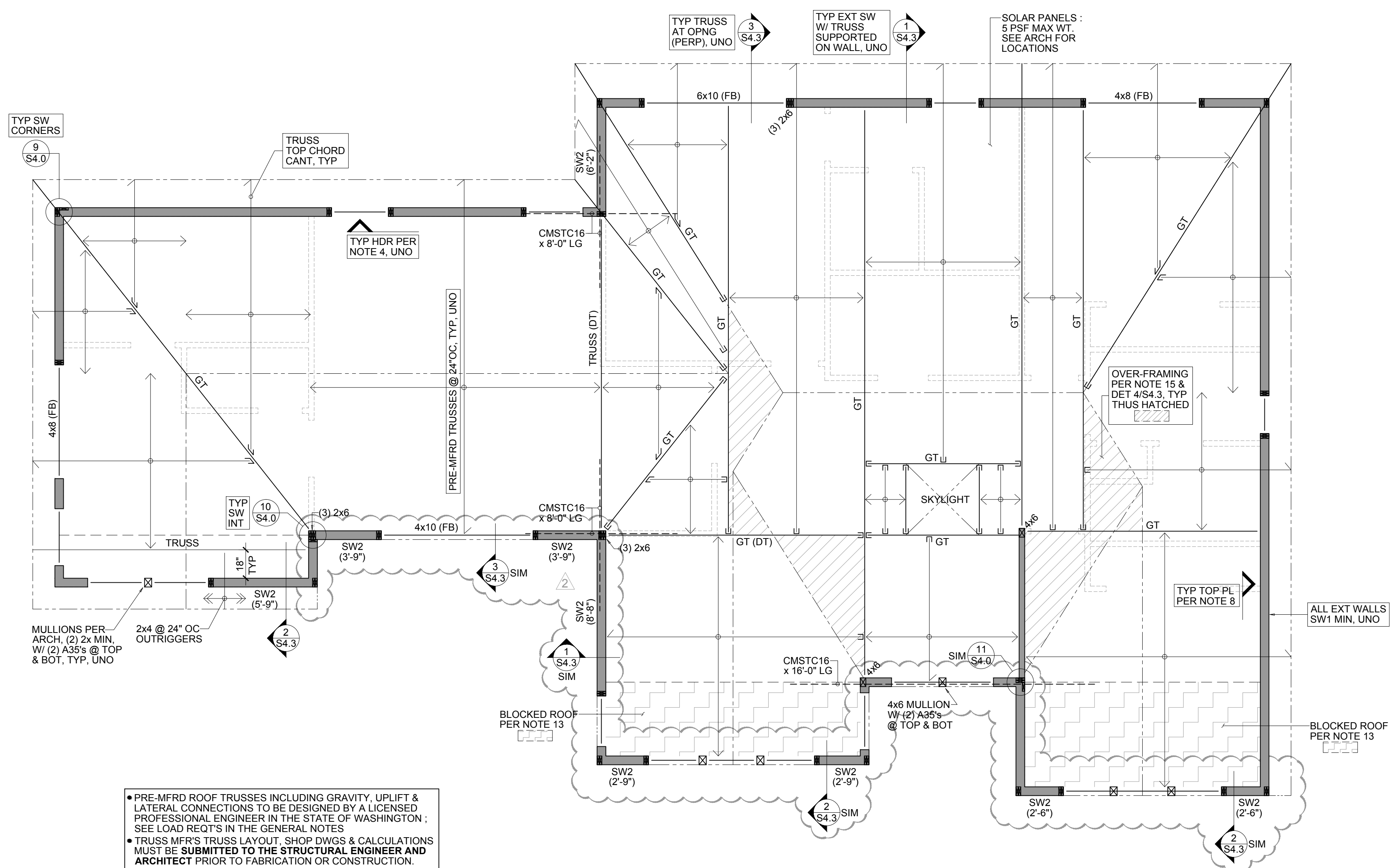
JOB NO.

2147

SHEET NO.

S2.3

DPD APPROVAL

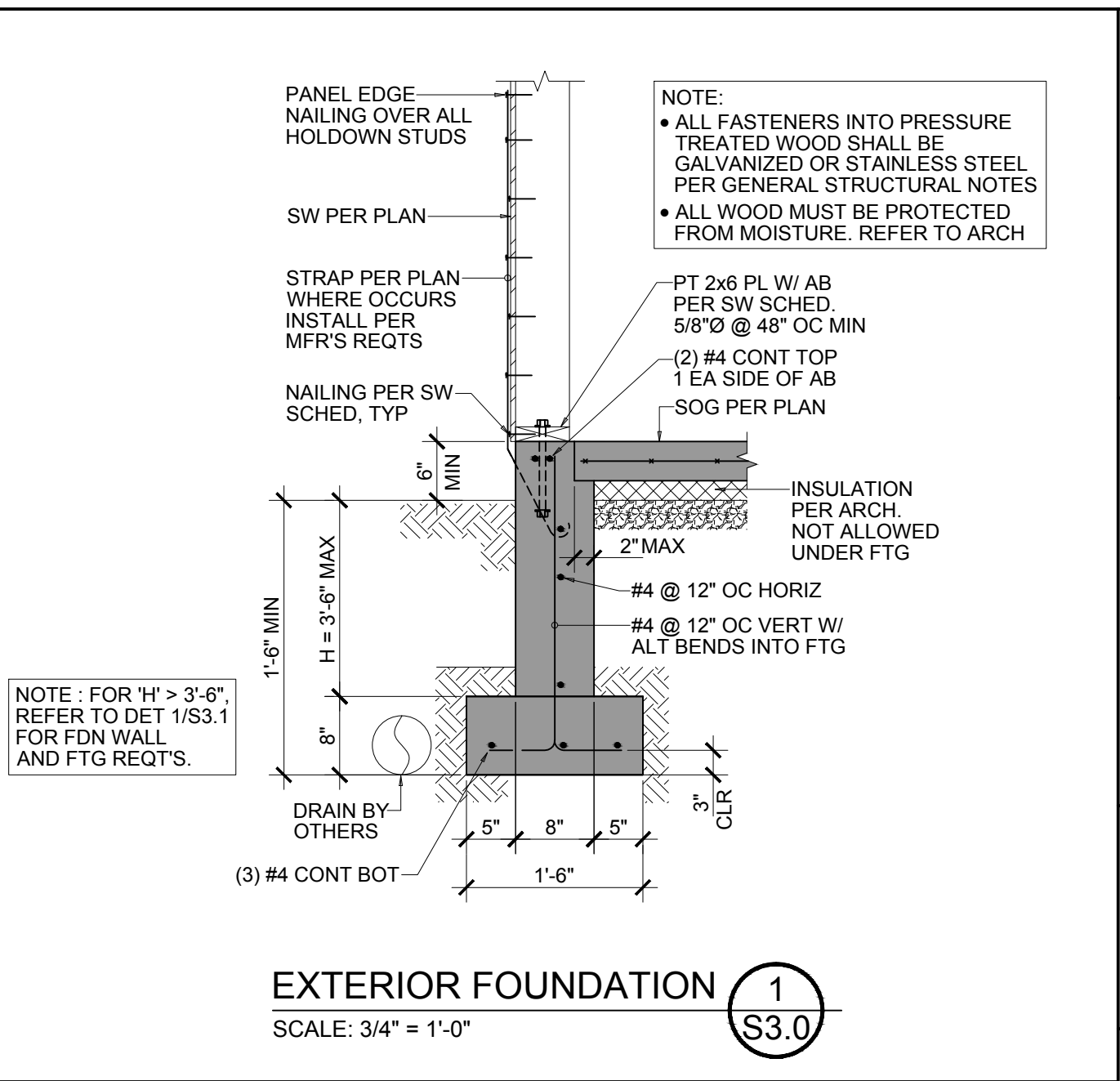
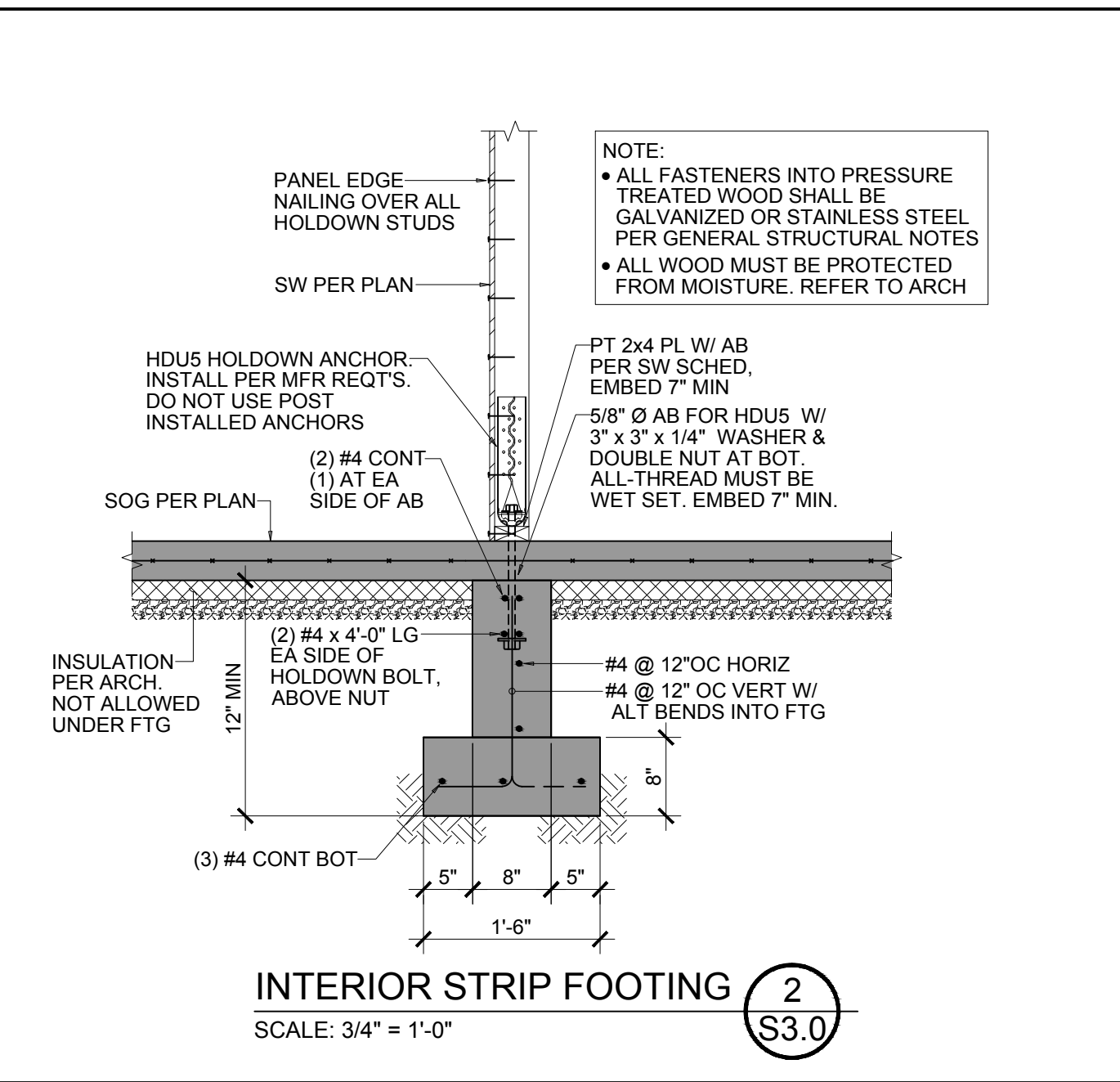
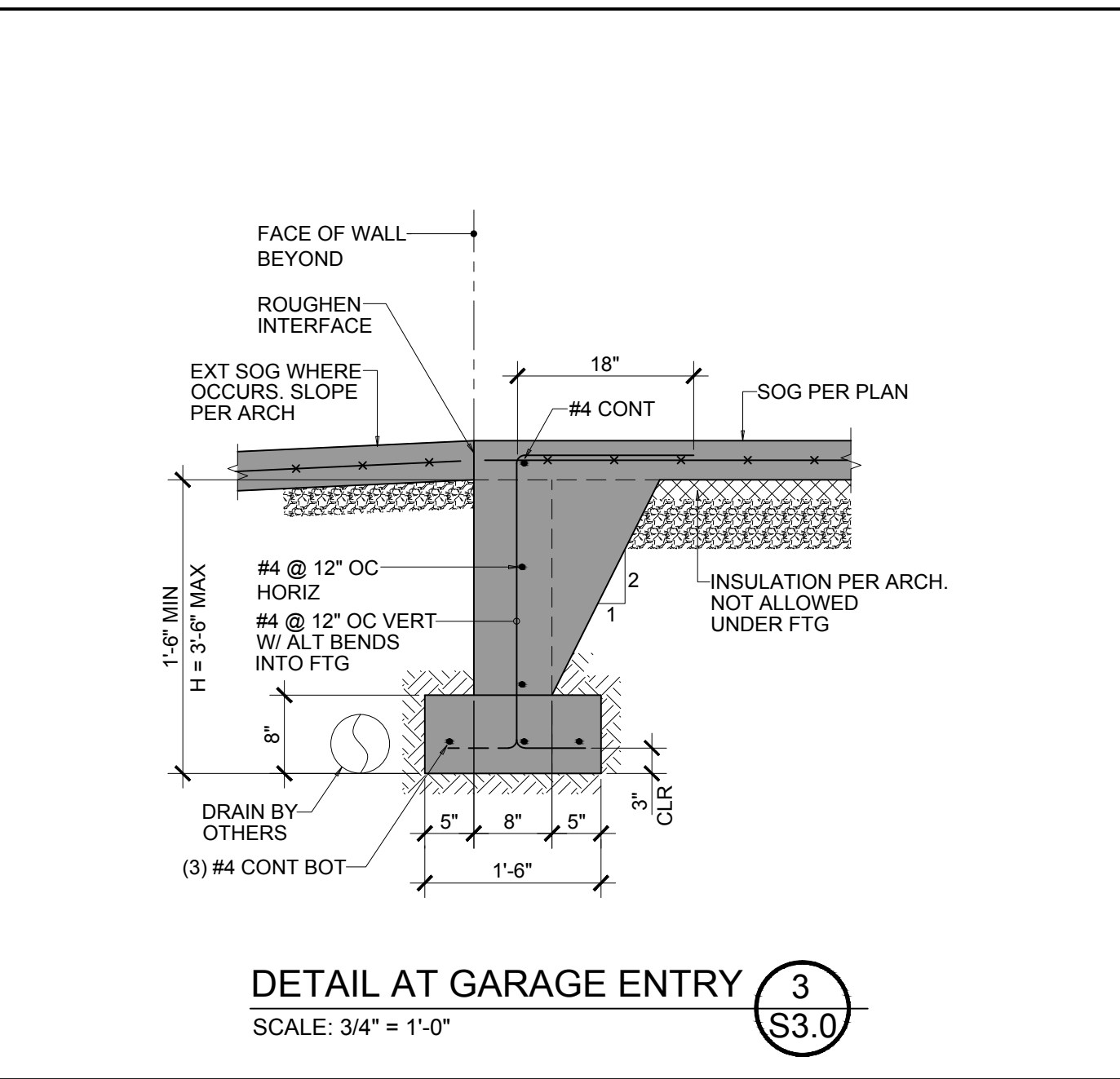
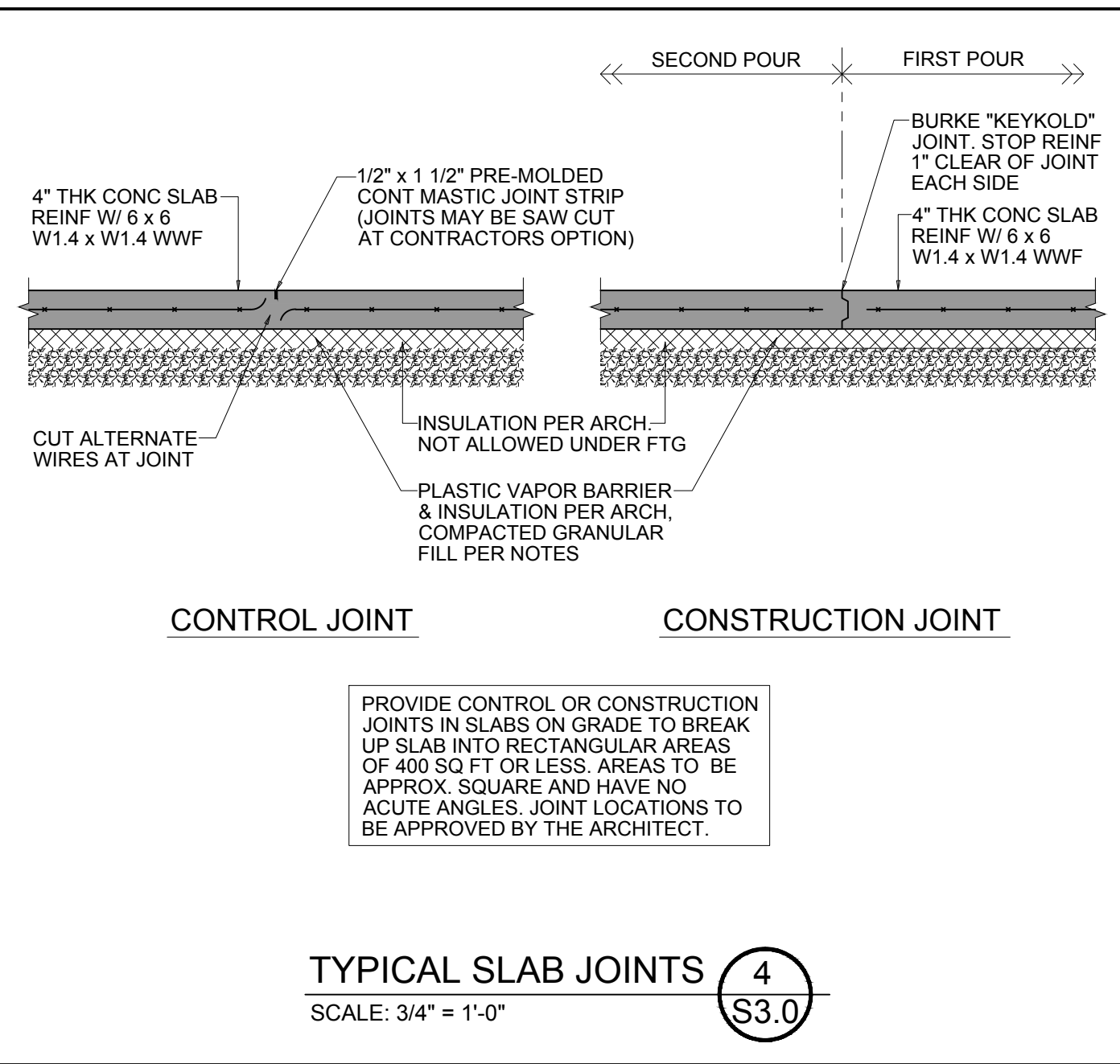


- PRE-MFRD ROOF TRUSSES INCLUDING GRAVITY, UPLIFT & LATERAL CONNECTIONS TO BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF WASHINGTON; SEE LOAD REQTS IN THE GENERAL NOTES
- TRUSS MFR'S TRUSS LAYOUT, SHOP DWGS & CALCULATIONS MUST BE SUBMITTED TO THE STRUCTURAL ENGINEER AND ARCHITECT PRIOR TO FABRICATION OR CONSTRUCTION.
- TRUSS PROFILE AND SLOPE PER ARCH, TYPICAL.

ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

- PLAN NOTES
1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 2. ROOF SHEATHING SHALL BE 1/2" THK A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8d @ 6" AND TO ALL INTERMEDIATE FRAMING @ 12". PROVIDE 1/8" CLEARANCE BETWEEN SHEATHING PANELS.
 3. ROOF FRAMING SHALL BE PREFABRICATED ROOF TRUSSES @ 24" OC, UNO ON PLAN. TRUSS DESIGN AND CONNECTIONS TO BE PROVIDED BY MFR. SEE STRUCT NOTES FOR DESIGN REQTS.
 4. HEADERS OVER DOOR AND WINDOW OPENINGS, SHALL BE (2) 2x8 MINIMUM, UNO ON PLAN. PROVIDE (2) TRIMMER STUDS MIN. AT EACH END OF ALL OPENINGS WIDER THAN 4'-0", UNO ON PLAN. FOR OPENINGS LESS THAN 4'-0", PROVIDE (1) TRIMMER STUD, UNO ON PLAN. PROVIDE CS16x48" LG STRAP. SEE DETAIL 3/S4.0 FOR TYPICAL CONSTRUCTION.
 5. PROVIDE (2) STUDS MINIMUM AT EACH END OF ALL BEAMS, UNO ON PLAN. BEAR BEAM FULLY ON POSTS AND PROVIDE POSITIVE CONNECTION BY EITHER A35 OR LTP4 CLIPS ON EACH SIDE OF BEAM OR WITH A PCZ, OR LPCZ CAP, UNO ON PLAN. SOLID VERTICAL GRAIN BLOCKING FOR WOOD POSTS SHALL BE PROVIDED THROUGH FLOORS TO CONTINUOUS SUPPORT BELOW.
 6. SW# (X'-X") INDICATES SHEAR WALL TYPE AND APPROXIMATE LENGTH. SEE DETAILS 1/S4.0 & 2/S4.0 FOR CONSTRUCTION REQTS.
 7. ALL EXTERIOR WALLS SHALL BE SW1 MINIMUM, UNO ON PLAN.
 8. TOP PLATE CONSTRUCTION PER TYPICAL DETAIL 4/S4.0.
 9. LENGTH OF BEAMS WHERE INDICATED ARE APPROXIMATE. CONTRACTOR TO VERIFY EXACT LENGTH.
 10. STRUCTURAL MEMBERS SHOULD NOT BE SPLICED. PENETRATIONS AND NOTCHES THRU STRUCTURAL MEMBERS MUST BE APPROVED BY THE ENGINEER PRIOR TO DRILLING.
 11. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12". NAIL ALL MULTI-JOIST / BEAMS TOGETHER WITH TWO ROWS OF 16d @ 12".
 12. HORIZONTAL STRAPS:
 - FASTEN STRAPS TO EACH MEMBER EQUALLY. PROVIDE BEAM OR BLKG (EA BAY) AS REQUIRED FOR NAILING. FASTEN BLKG TO JOISTS W/ (3) 16d AT EA END.
 - FOR CMSTC16 HORIZONTAL STRAPS, FASTEN W/ 12d AT EVERY OTHER HOLE AT EACH MEMBER.
 - REFER TO PLAN FOR STRAP QUANTITY, TYPE & LENGTH.
 13. BLOCKED ROOF DIAPHRAGM. PROVIDE 2x4 FLAT BLOCKING AT ALL UNFRAMED PANEL EDGES. NAIL SHEATHING TO BLKG W/ 8d @ 4".
 14. DRAG TRUSS (DT) - PROVIDE PANEL EDGE NAILING OF 8d @ 4" ALONG FULL LENGTH OF TOP CHORD.
 15. IN HATCHED ROOF AREA, OVERFRAMING TO BE 2x6'S @ 24 OC W/ VERT SUPPORTS TO TRUSSES BELOW AT NO MORE THAN 48" OC, TYP. REFER TO DETAIL 4/S4.3 FOR ADDITIONAL REQUIREMENTS.
 16. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

WOOD FRAME WALL SCHEDULE:	PLAN VIEW
ALL EXTERIOR WALLS	• 2x6 STUDS @ 16" OC
INTERIOR BEARING WALLS	• 2x4 STUDS @ 16" OC UNO ON ARCH DWGS
NON LOAD WALLS	• PER ARCH



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61ST AVENUE RESIDENCE

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98040

No.	Date	Issue
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01.24.22		Building Permit
⚠ 04.26.22		Correction

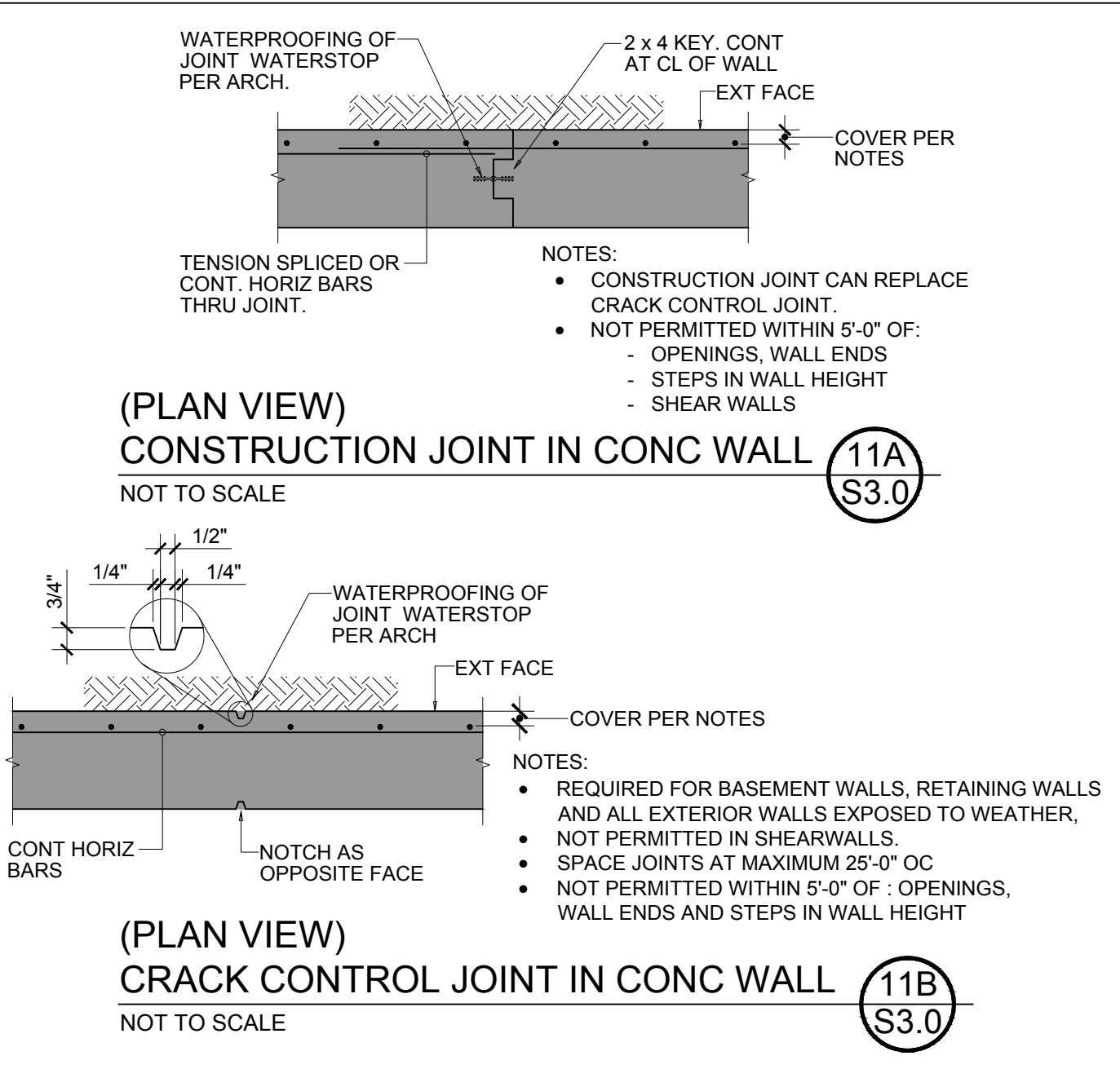
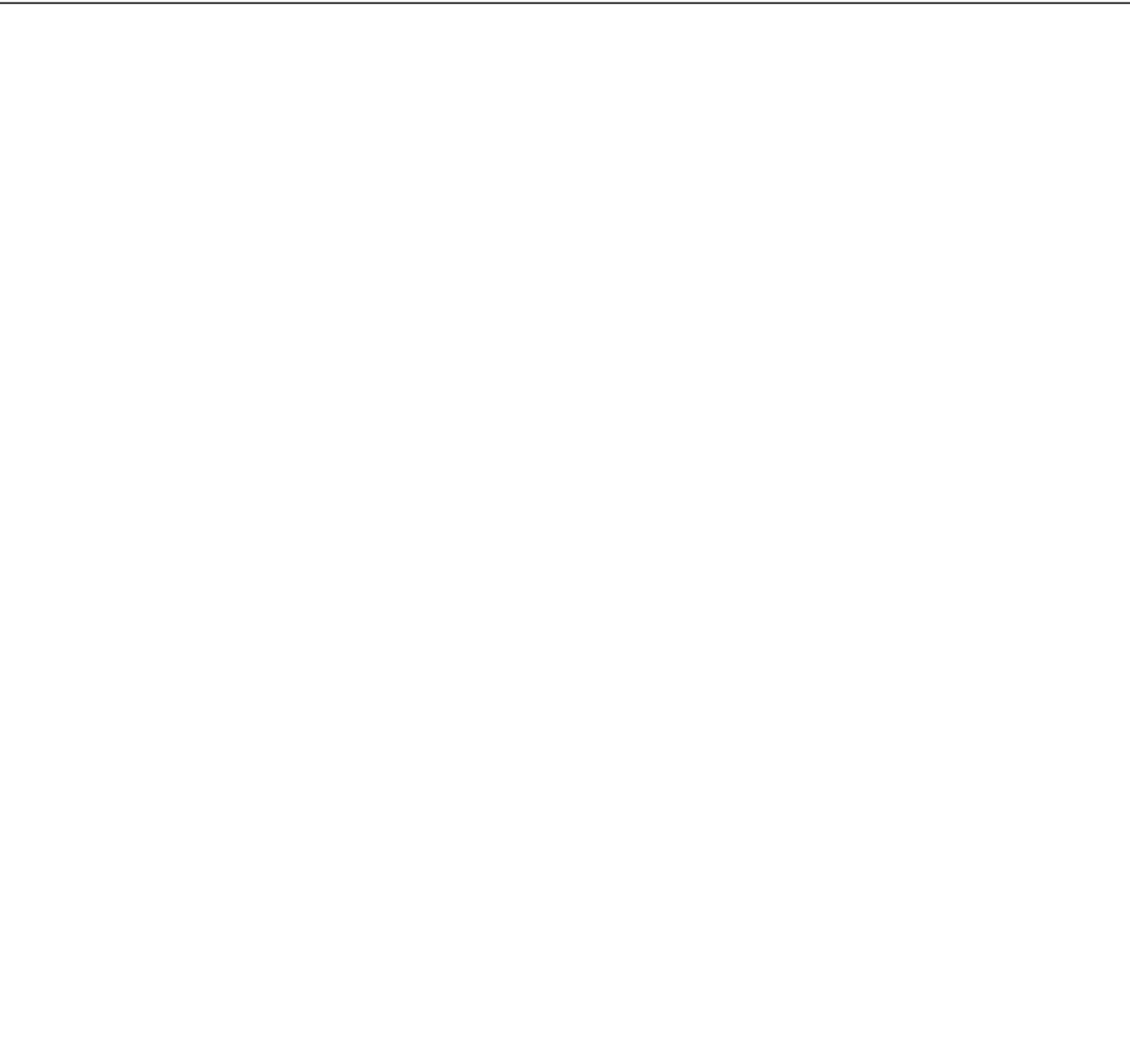
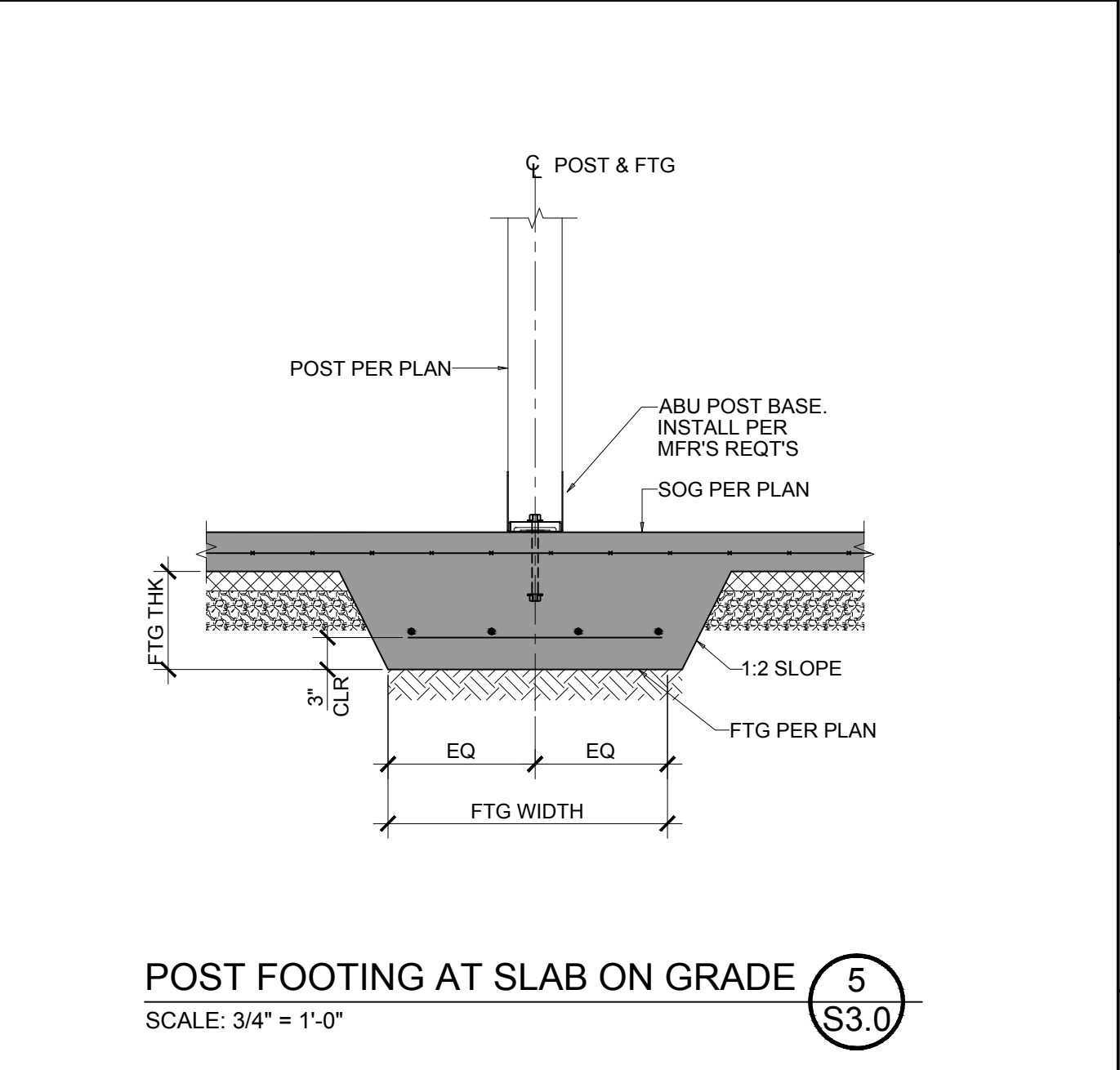
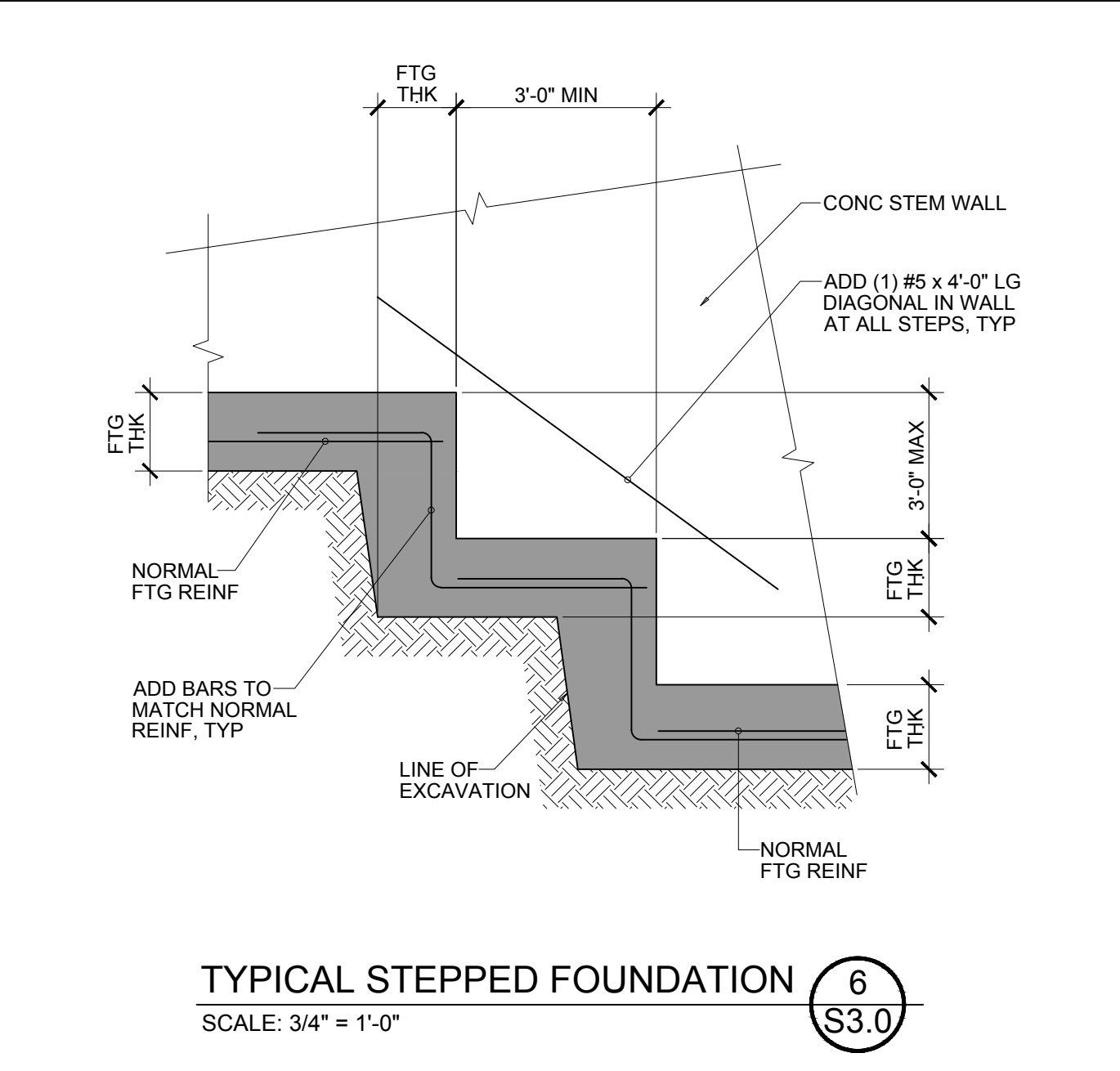
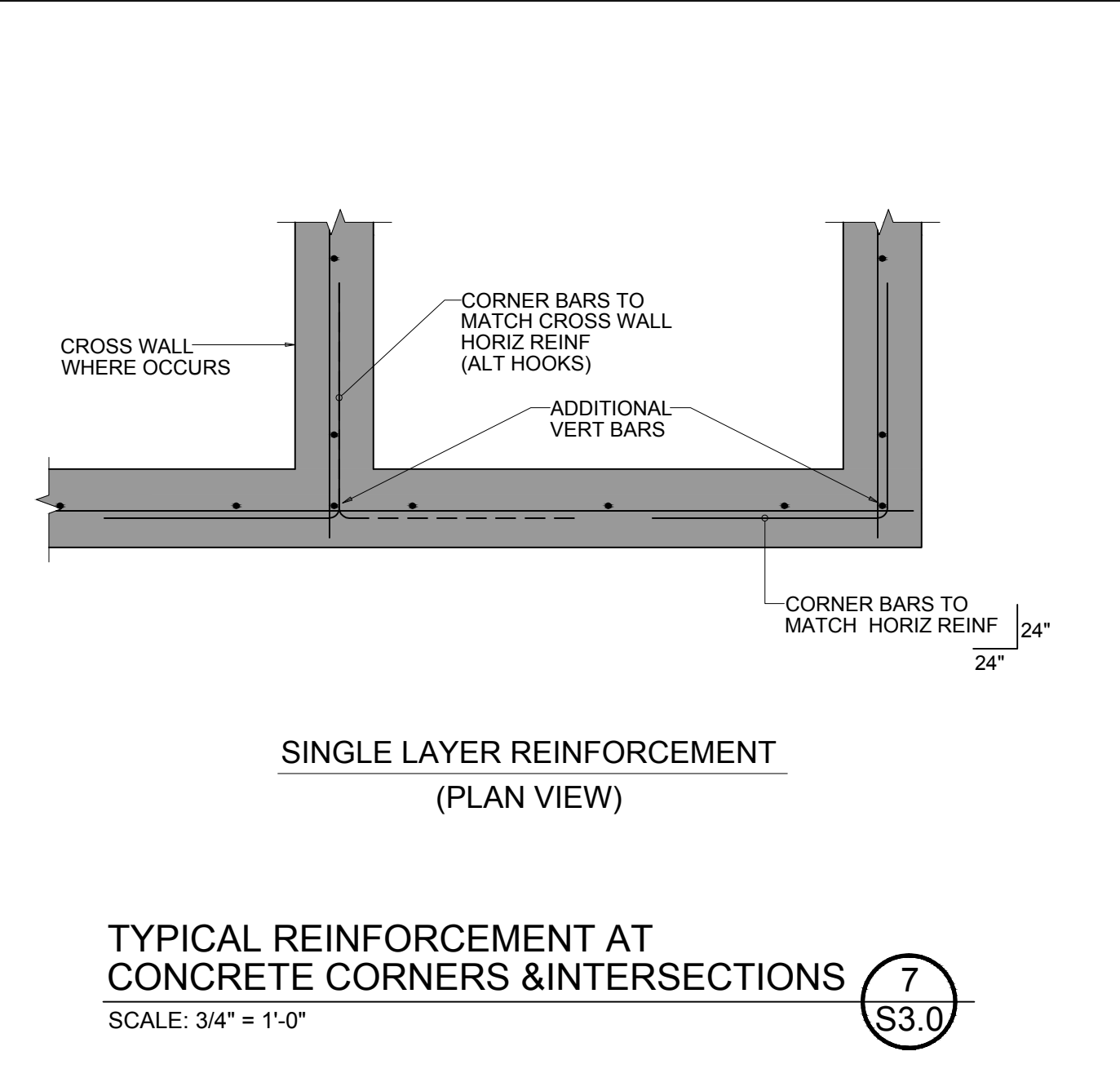
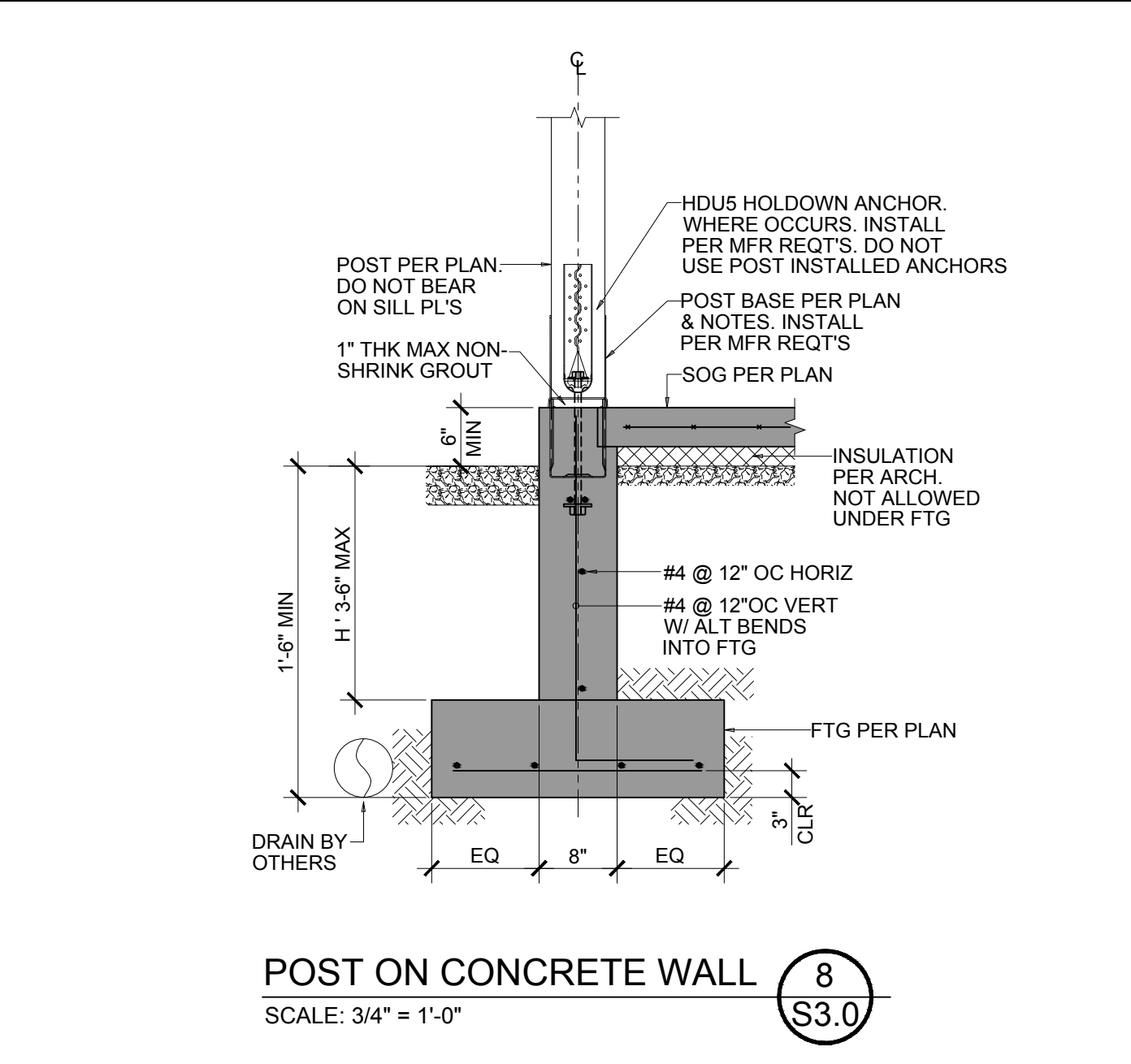
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CONCRETE DETAILS

JOB NO. 2147

SHEET NO. **S3.0**

DPD APPROVAL



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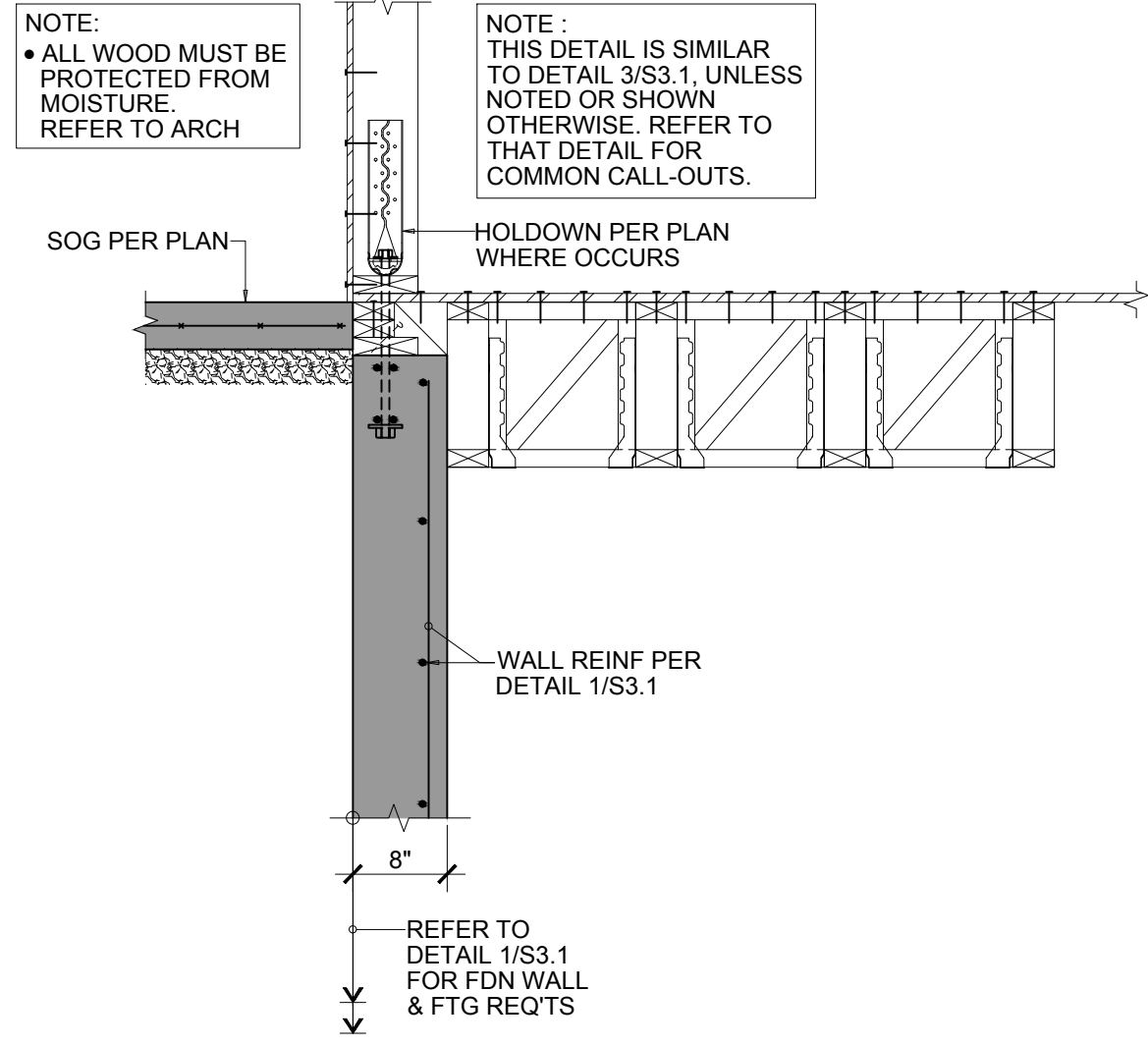
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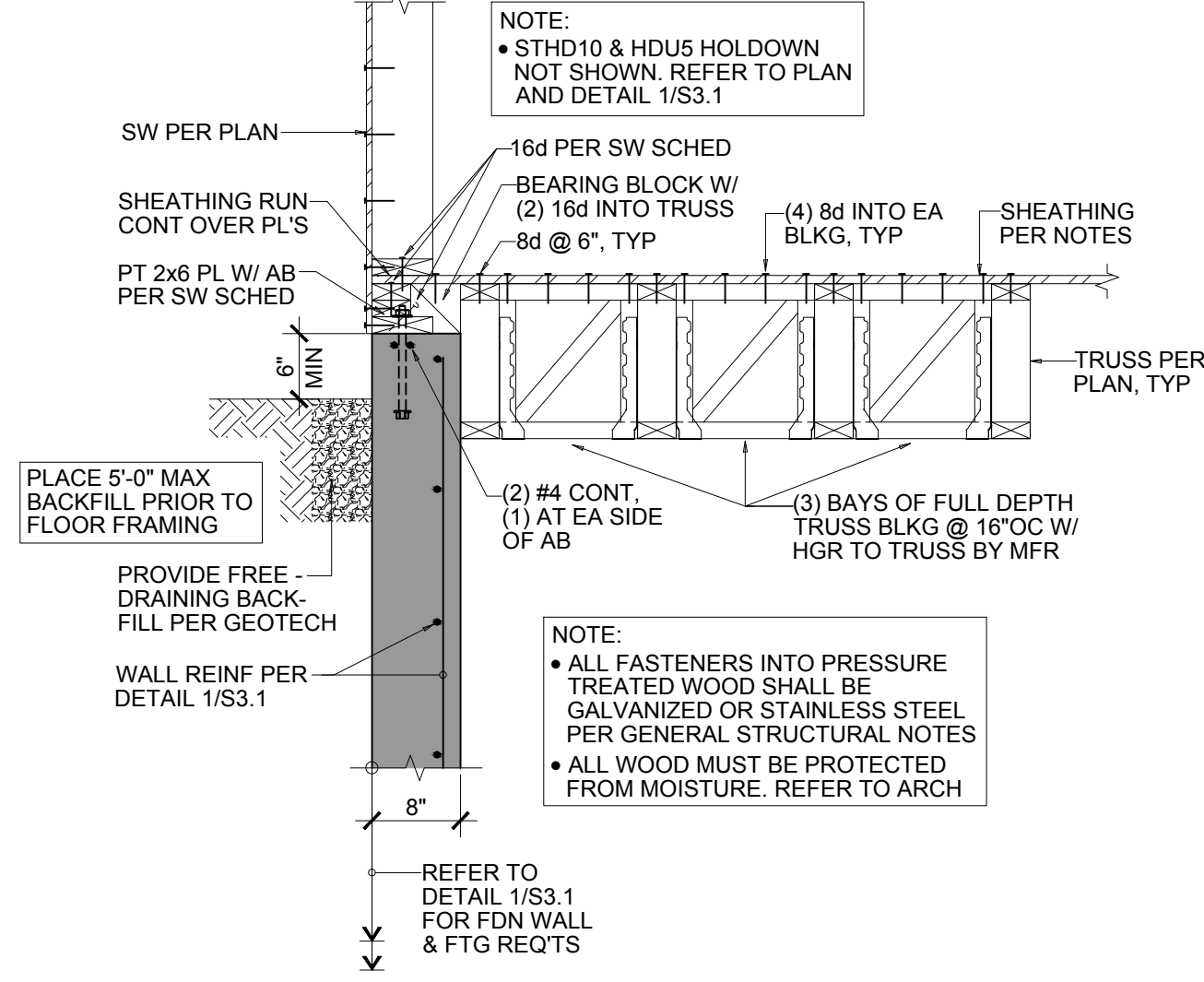
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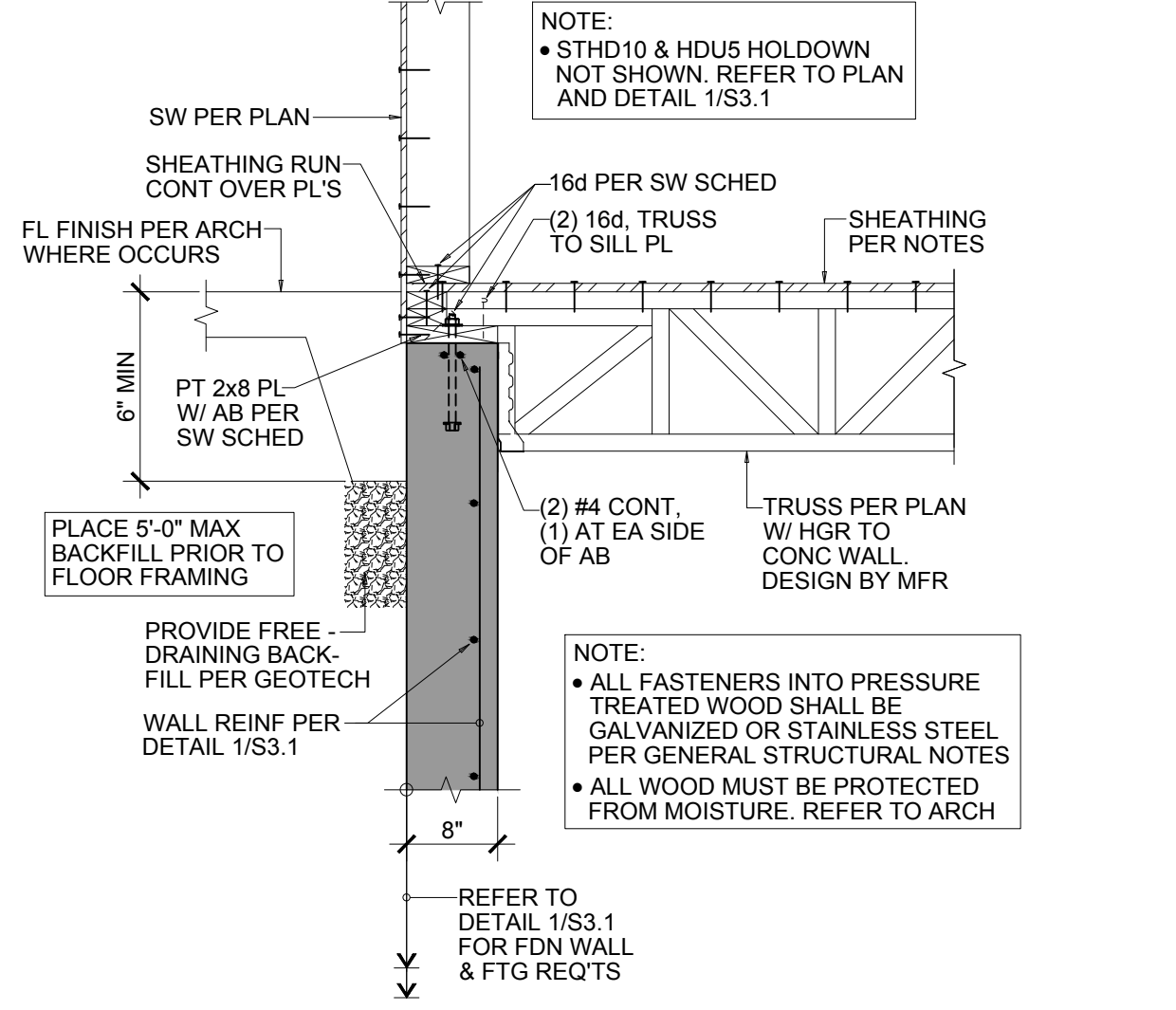
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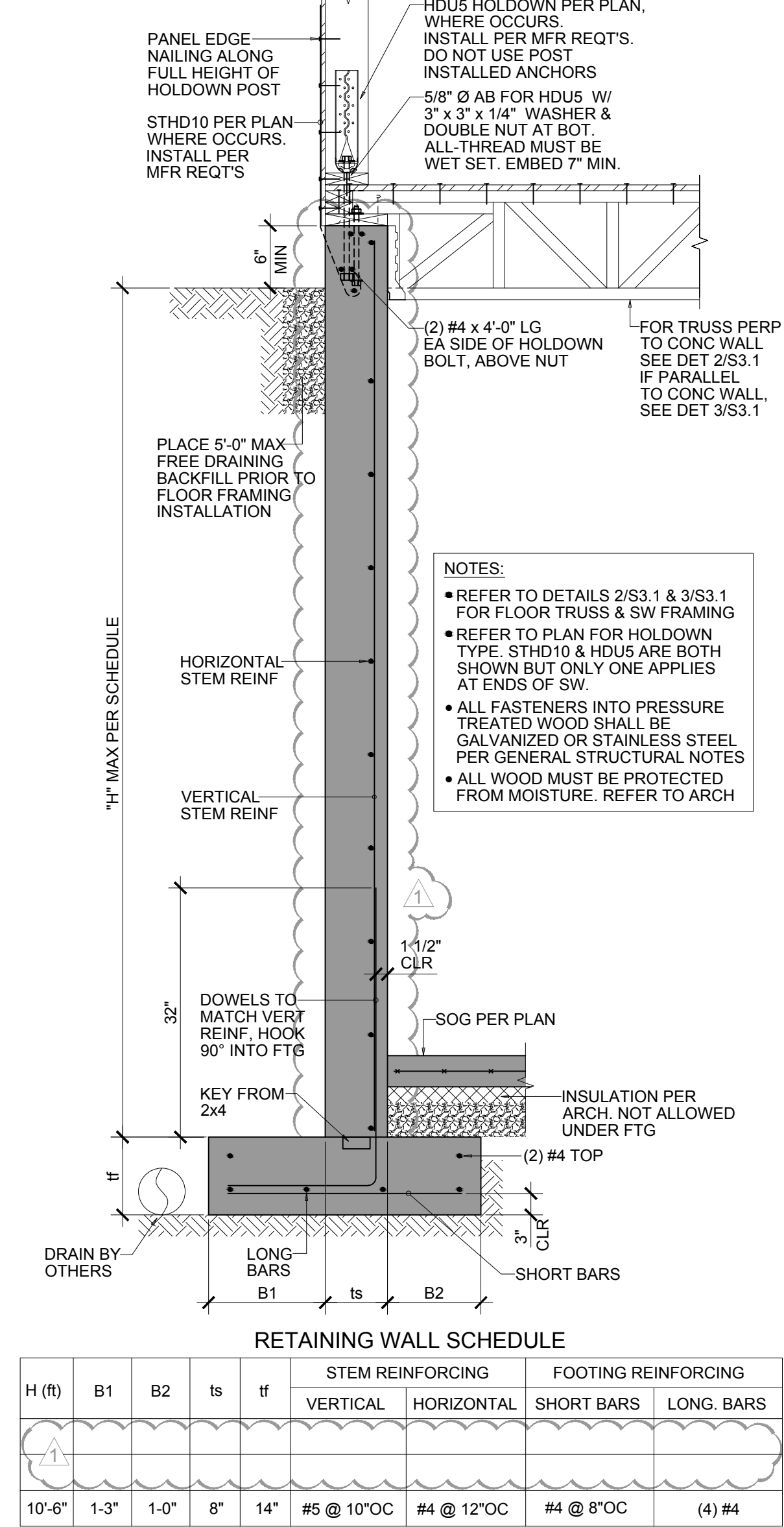
SECTION 4
SCALE: 3/4" = 1'-0" **S3.1**



TRUSS PARALLEL TO CONCRETE WALL 3
SCALE: 3/4" = 1'-0" **S3.1**



TRUSS PERPENDICULAR TO CONCRETE WALL 2
SCALE: 3/4" = 1'-0" **S3.1**



BASEMENT RETAINING WALL 1
SCALE: 3/4" = 1'-0" **S3.1**

RETAINING WALL SCHEDULE

H (ft)	B1	B2	ts	tf	STEM REINFORCING		FOOTING REINFORCING	
					VERTICAL	HORIZONTAL	SHORT BARS	LONG BARS
10'-6"	1-3"	1-0"	8"	14"	#5 @ 10"OC	#4 @ 12"OC	#4 @ 8"OC	(4) #4

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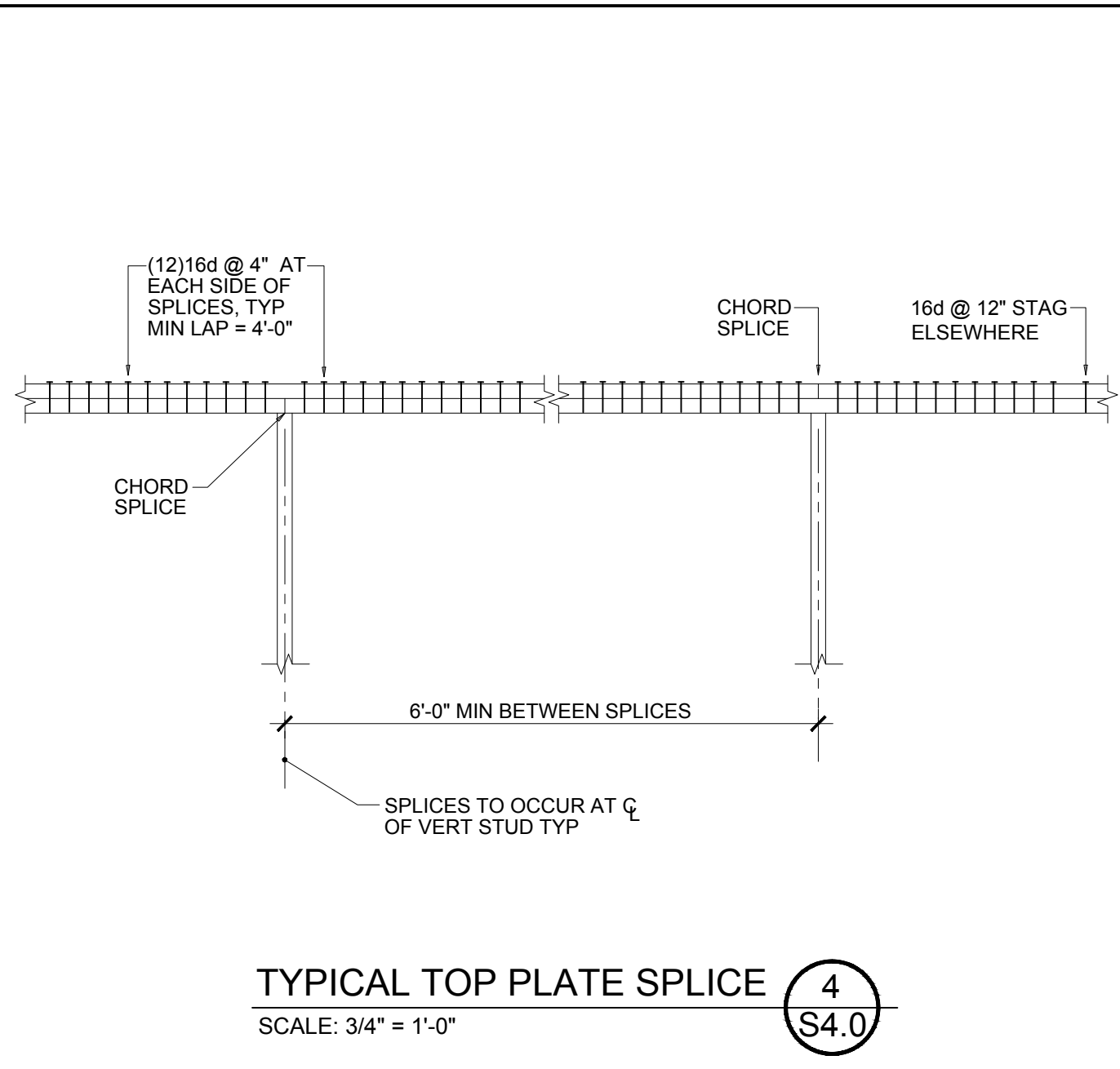
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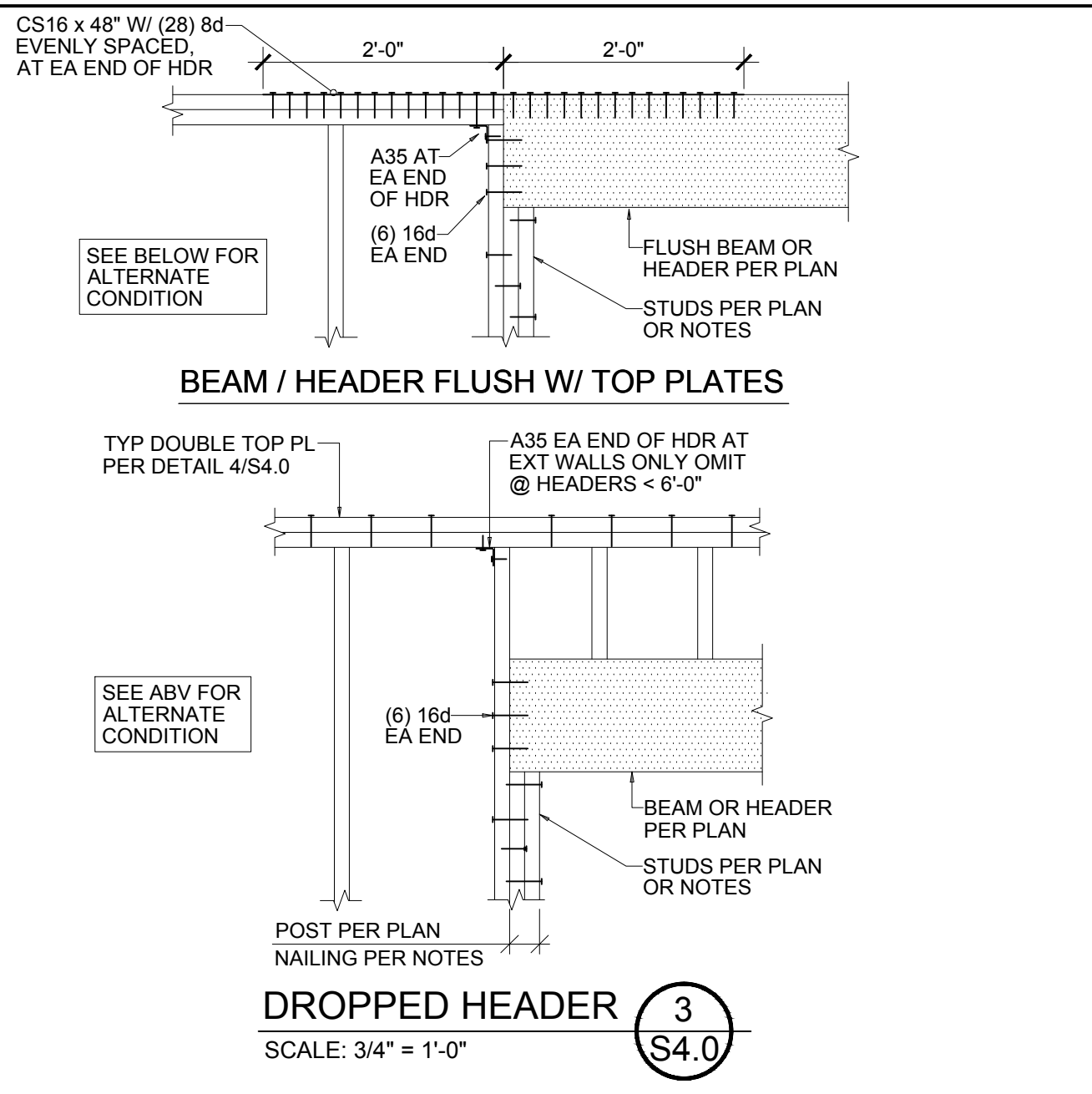
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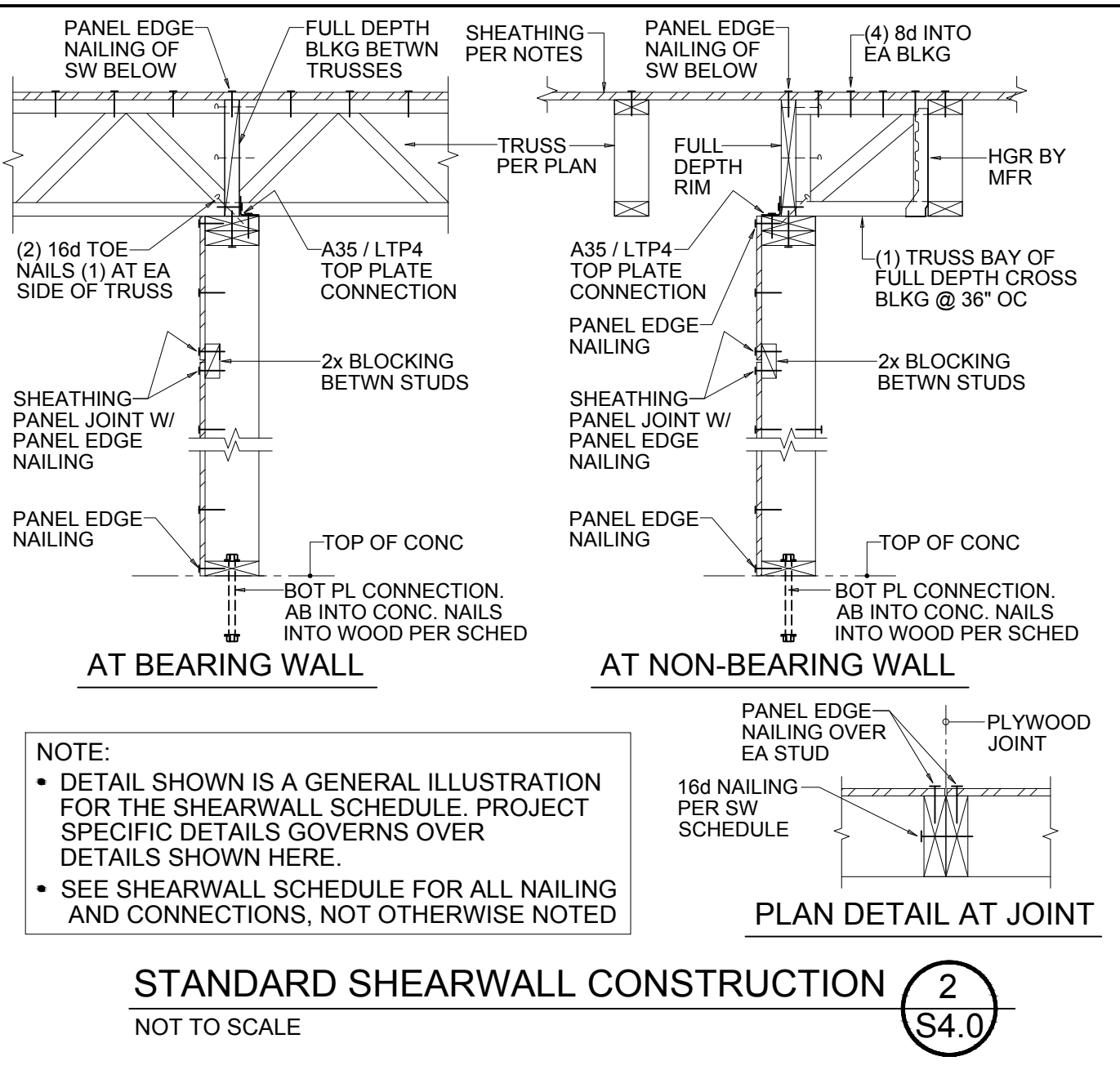
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TYPICAL TOP PLATE SPLICE 4
SCALE: 3/4" = 1'-0"



BEAM / HEADER FLUSH W/ TOP PLATES
DROPPED HEADER 3
SCALE: 3/4" = 1'-0"



STANDARD SHEARWALL CONSTRUCTION 2
NOT TO SCALE

SHEARWALL SCHEDULE

TYPE	SHEATHING	PANEL EDGE NAILING	TOP PLATE CONNECTION	BASE PLATE CONNECTION	
				AT WOOD	AT CONCRETE
SW1	1/2" PLYWOOD	8d @ 6"	A35 @ 24" OC	16d @ 6"	5/8"Ø AB @ 48" OC
SW2	1/2" PLYWOOD	8d @ 4"	A35 @ 16" OC	16d @ 4"	5/8"Ø AB @ 32" OC
SW3	1/2" PLYWOOD	8d @ 3"	A35 @ 12" OC	16d @ 3"	5/8"Ø AB @ 16" OC

NOTES:

- BLOCK PANEL EDGES WITH 2x LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12".
- 8d NAILS SHALL BE 0.131"Ø x 2 1/2" (COMMON) - 16d NAILS SHALL BE 0.135"Ø x 3 1/2" (BOX).
- EMBED ANCHOR BOLTS AT LEAST 7". EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" PLATE WASHERS. EDGE OF PLATE WASHER TO BE LOCATED 1/2" MAX FROM EDGE OF WALL SHEATHING. AT DOUBLE SIDED SW'S, STAGGER AB OR USE 4 1/2"x4 1/2"x1/4" THK WASHER CENTERED ON PLATE.
- 3x STUDS OR DOUBLE STUDS MIN, NAILED TOGETHER BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF SW'S.
- TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEAR WALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING.
- ALL EXTERIOR WALLS SHALL BE SW1, UNLESS NOTED OTHERWISE.
- LTP4's MAY BE SUBSTITUTED FOR A35's AT CONTRACTOR'S OPTION.

SHEARWALL SCHEDULE 1
NOT TO SCALE

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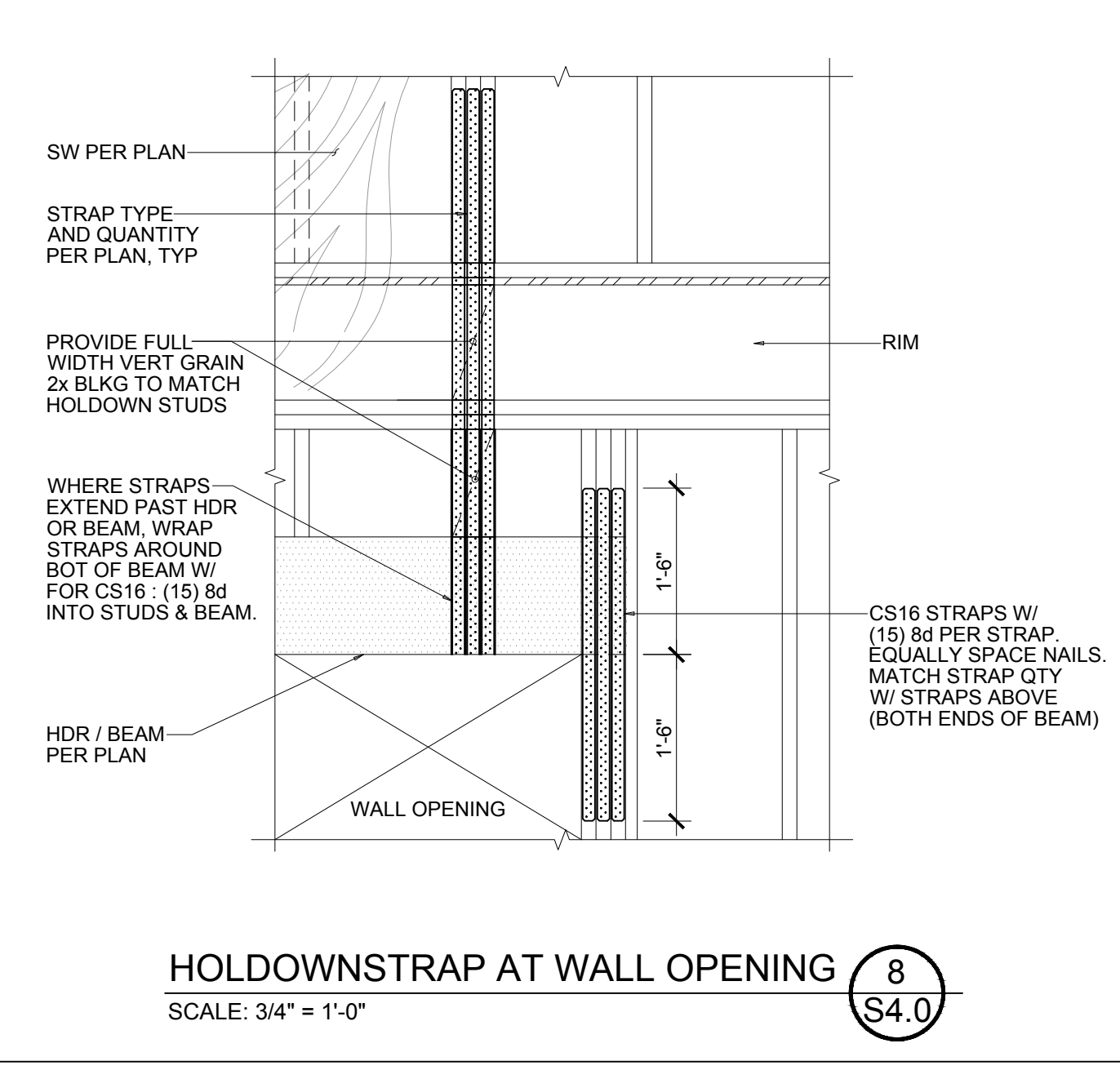
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FRAMING DETAILS

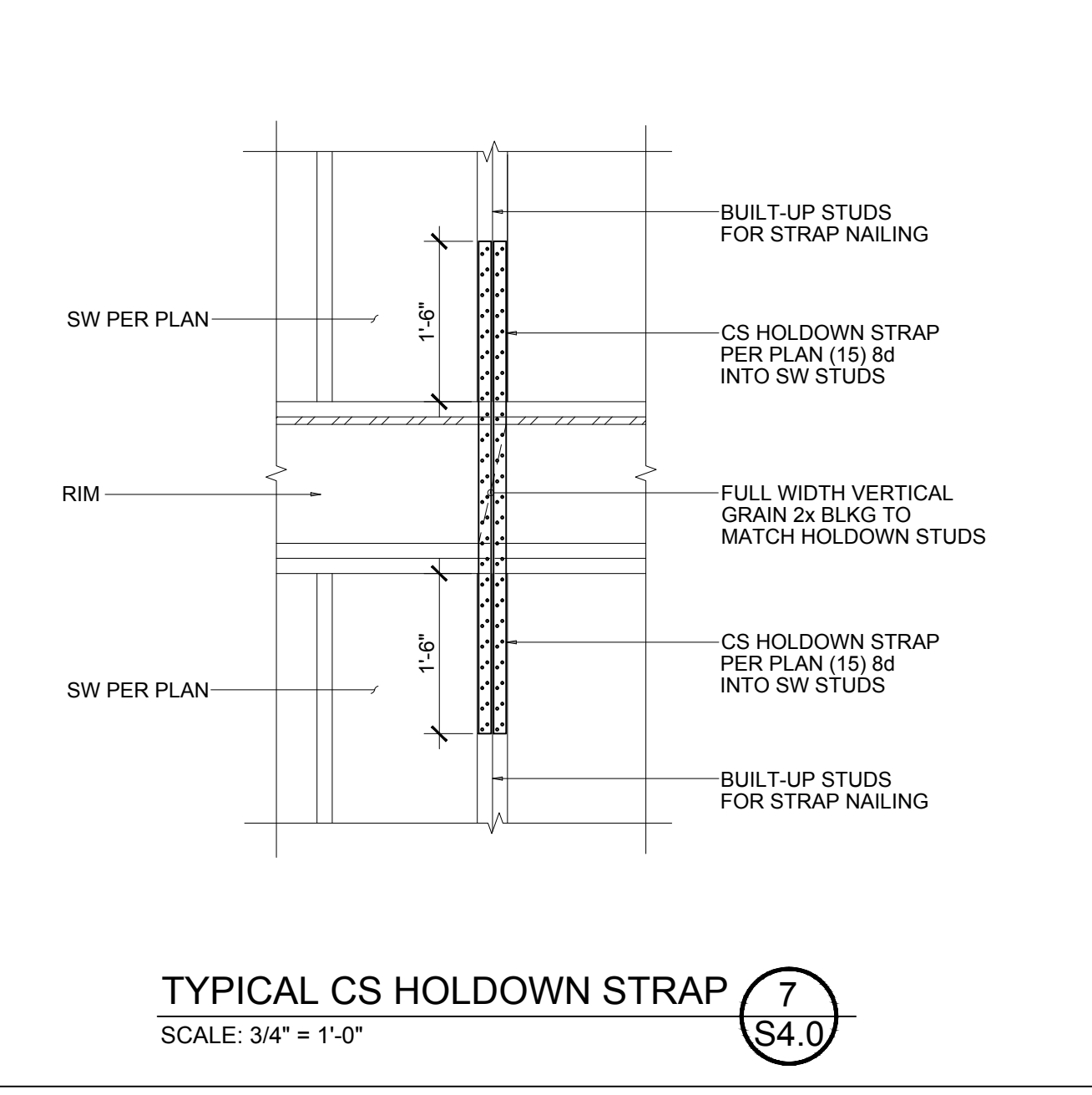
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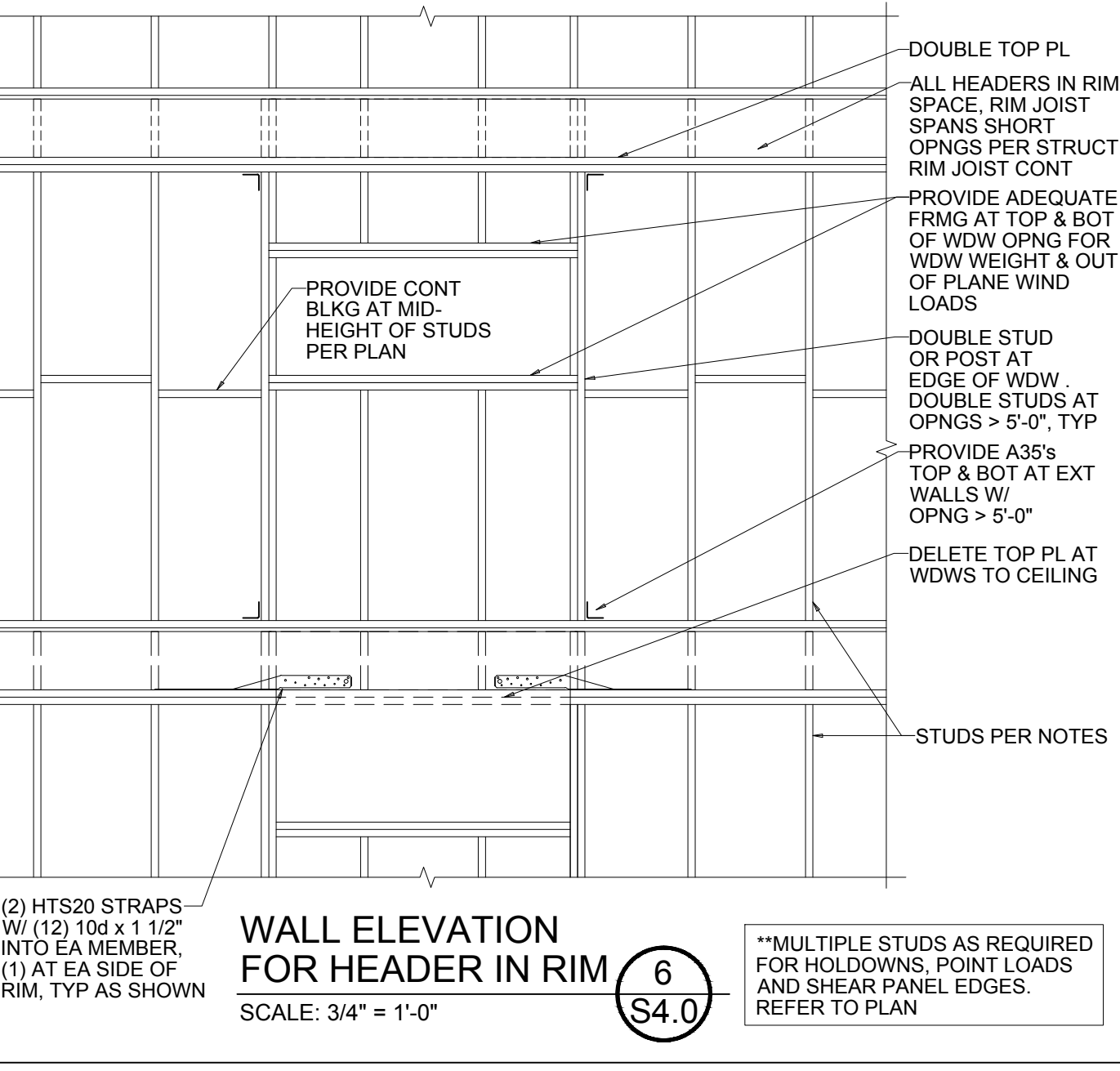
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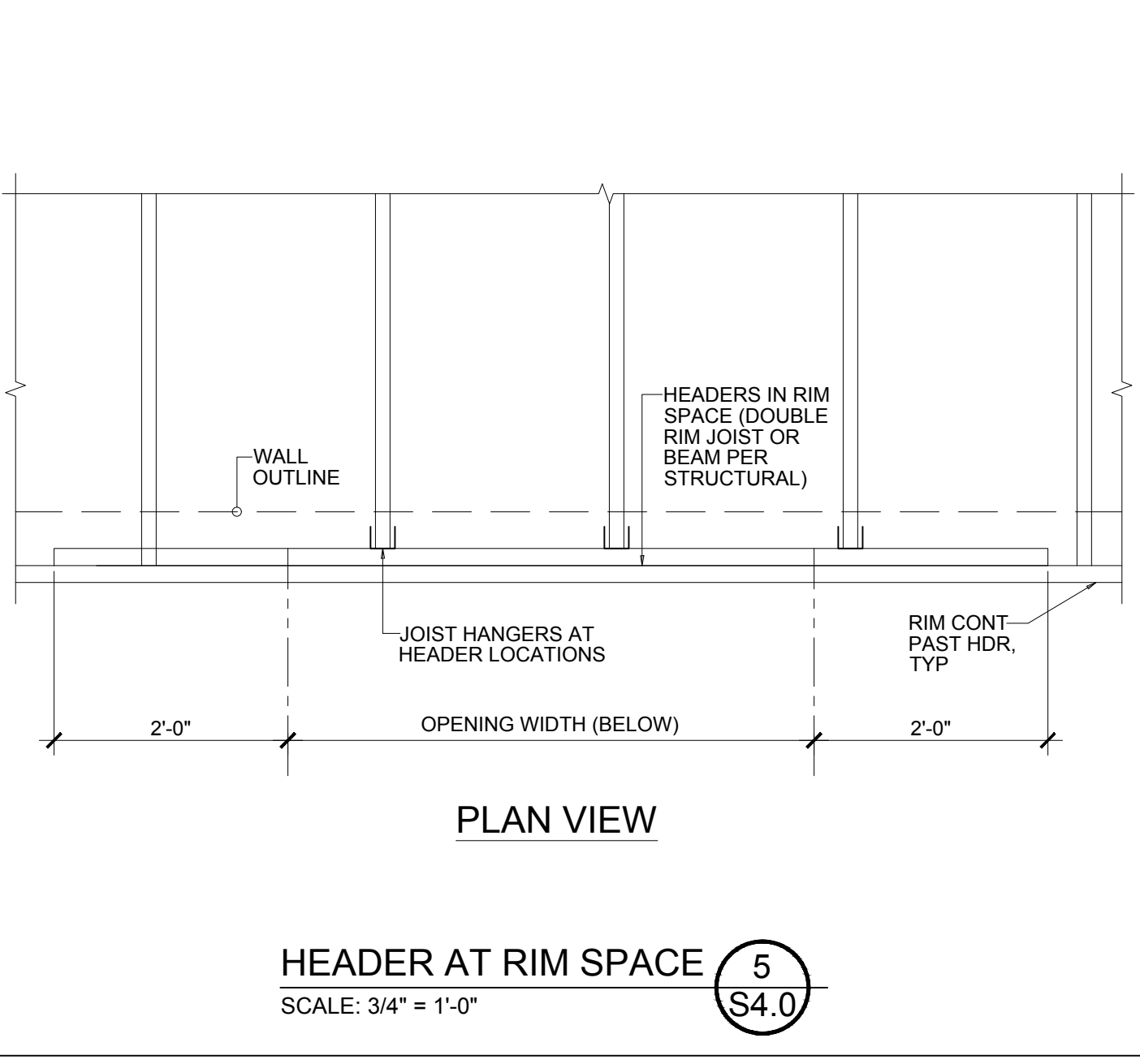
HOLDOWNSTRAP AT WALL OPENING 8
SCALE: 3/4" = 1'-0"



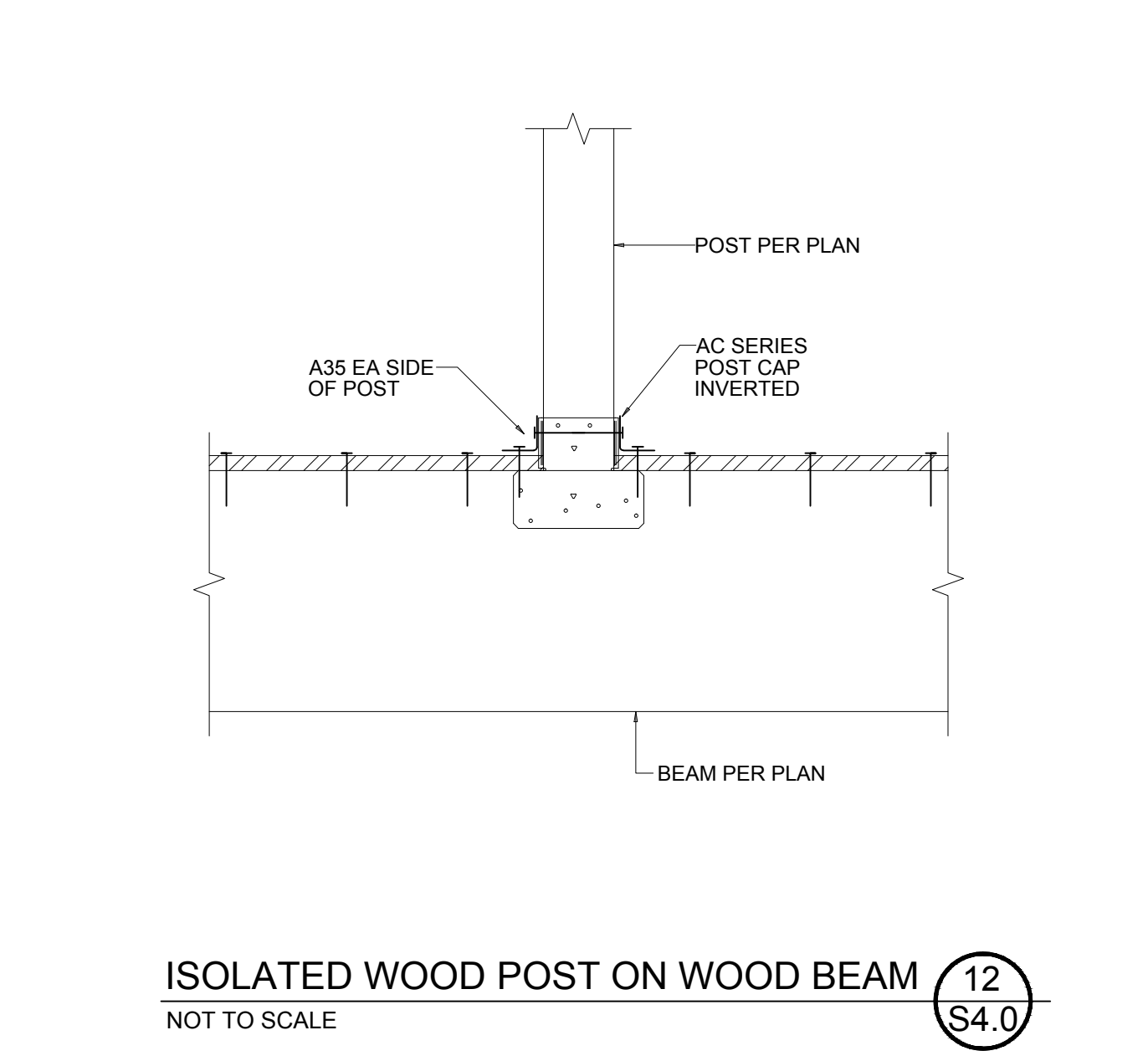
TYPICAL CS HOLDOWN STRAP 7
SCALE: 3/4" = 1'-0"



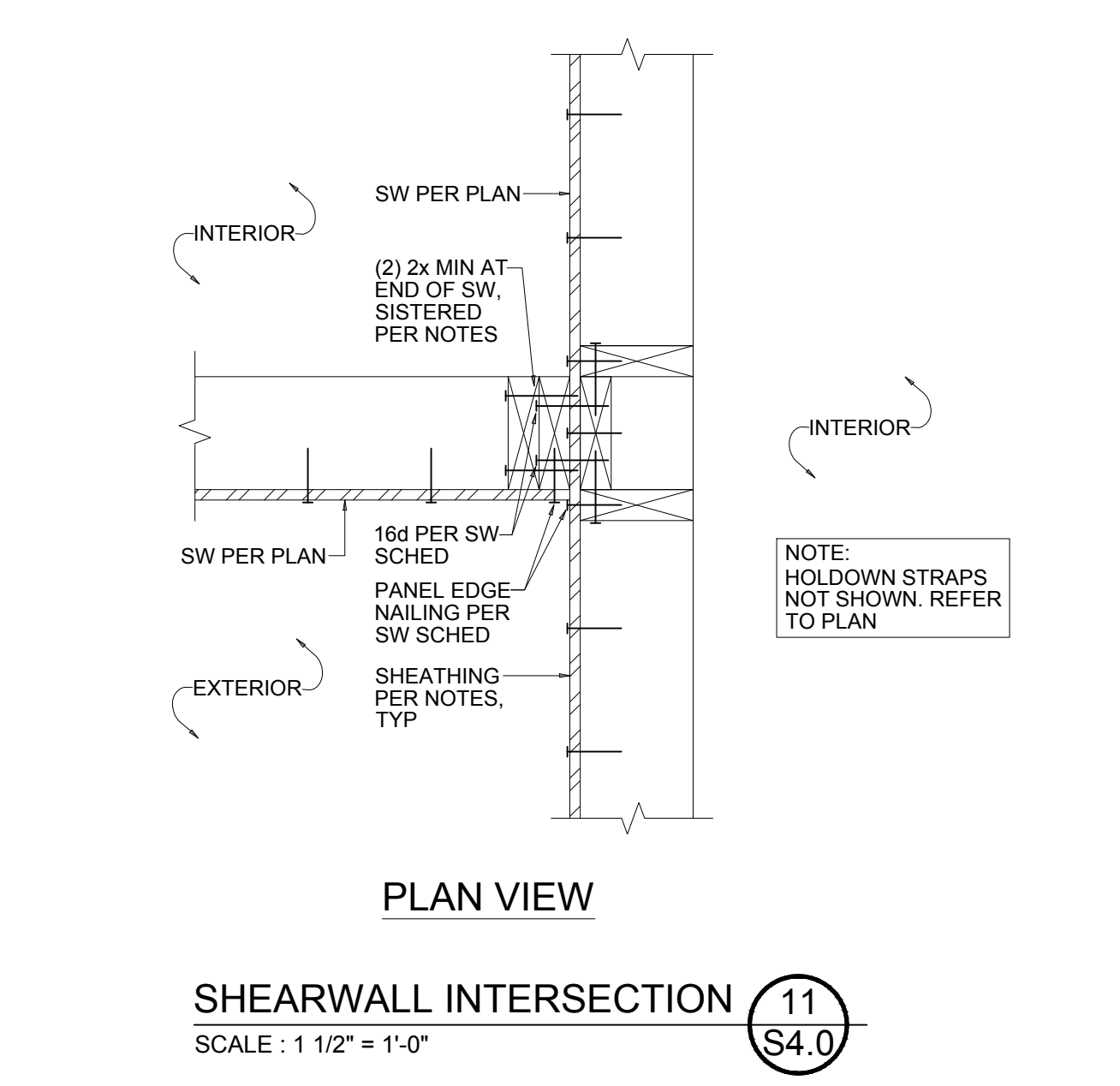
WALL ELEVATION FOR HEADER IN RIM 6
SCALE: 3/4" = 1'-0"



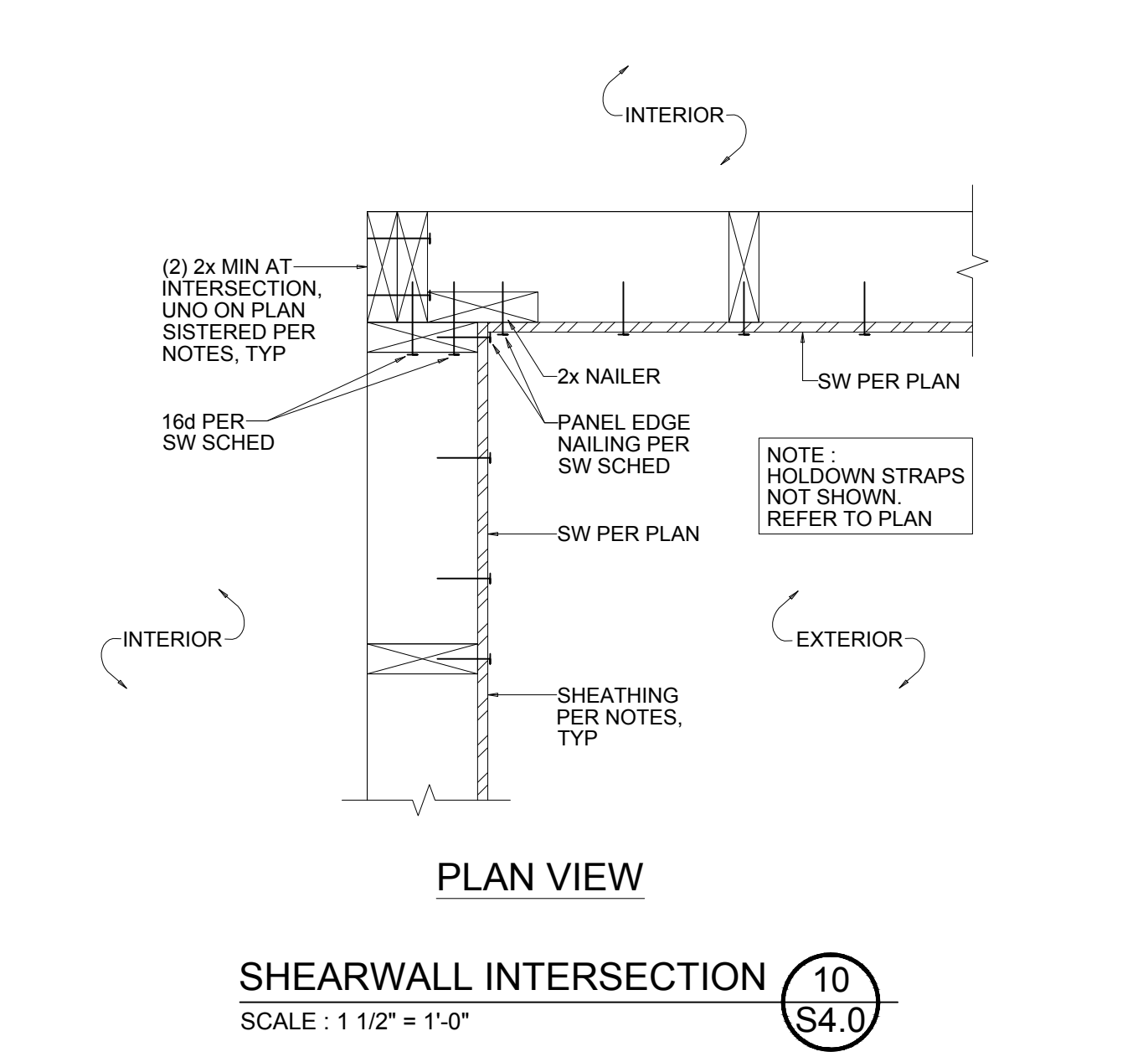
HEADER AT RIM SPACE 5
SCALE: 3/4" = 1'-0"



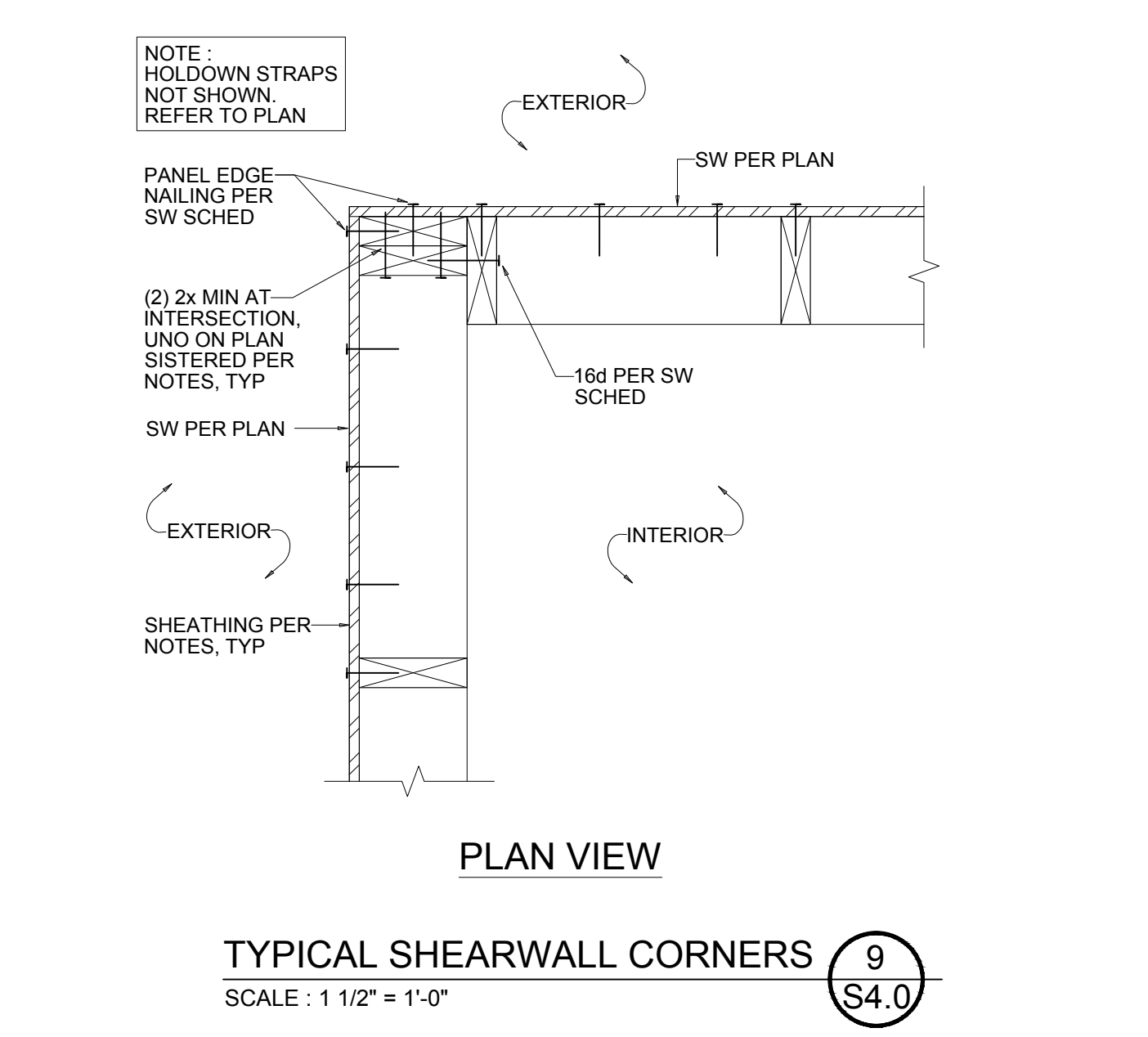
ISOLATED WOOD POST ON WOOD BEAM 12
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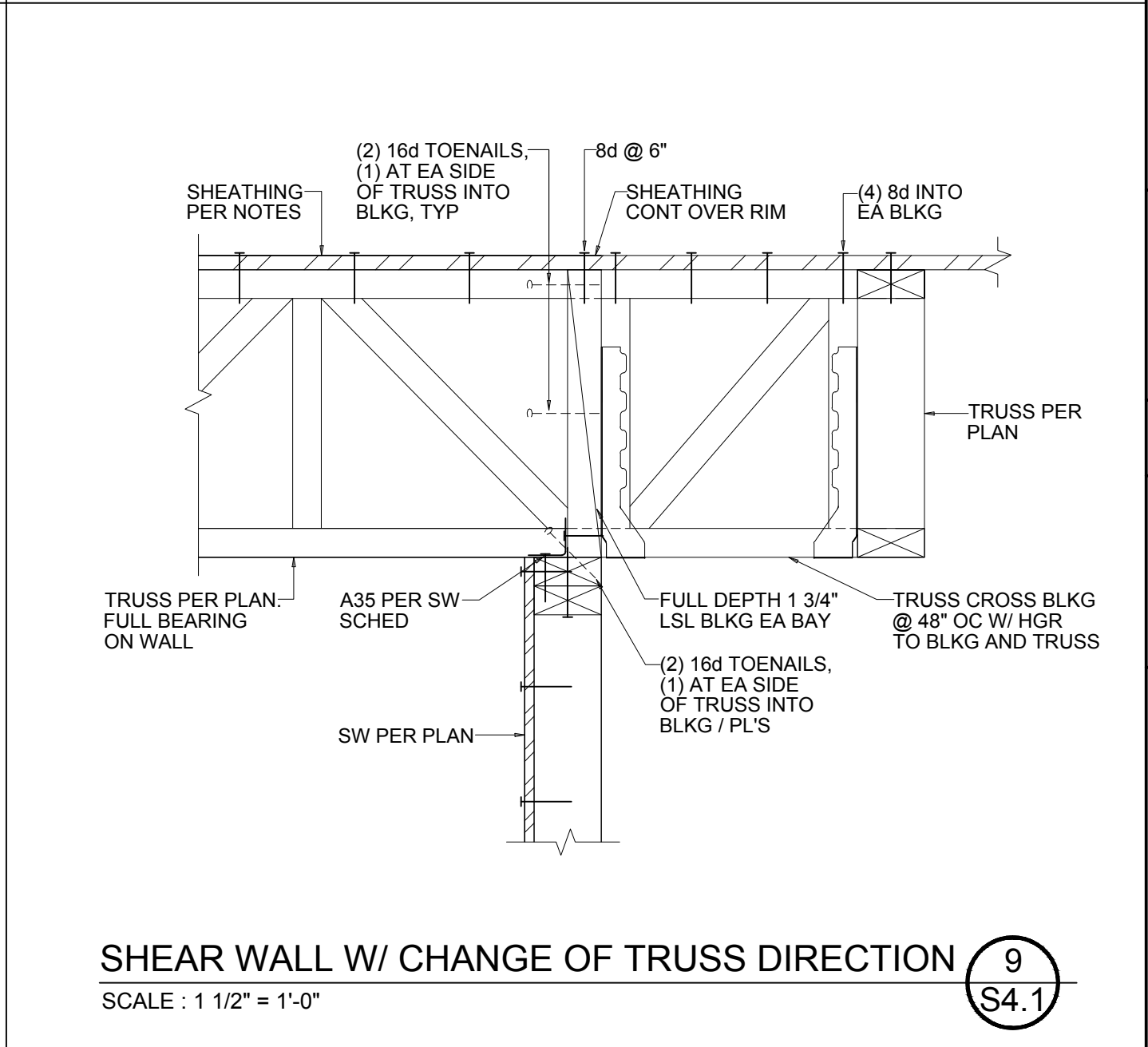
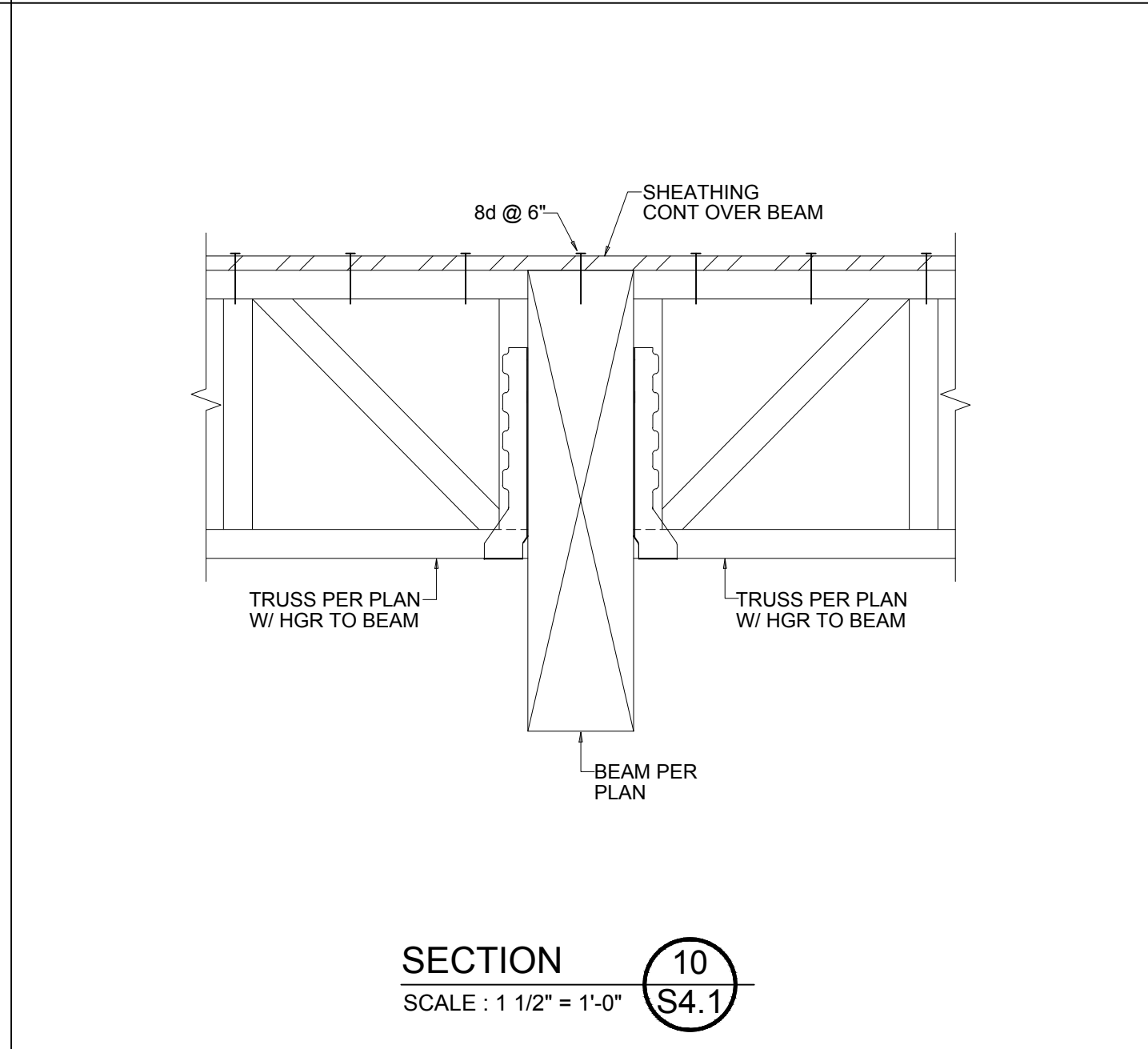
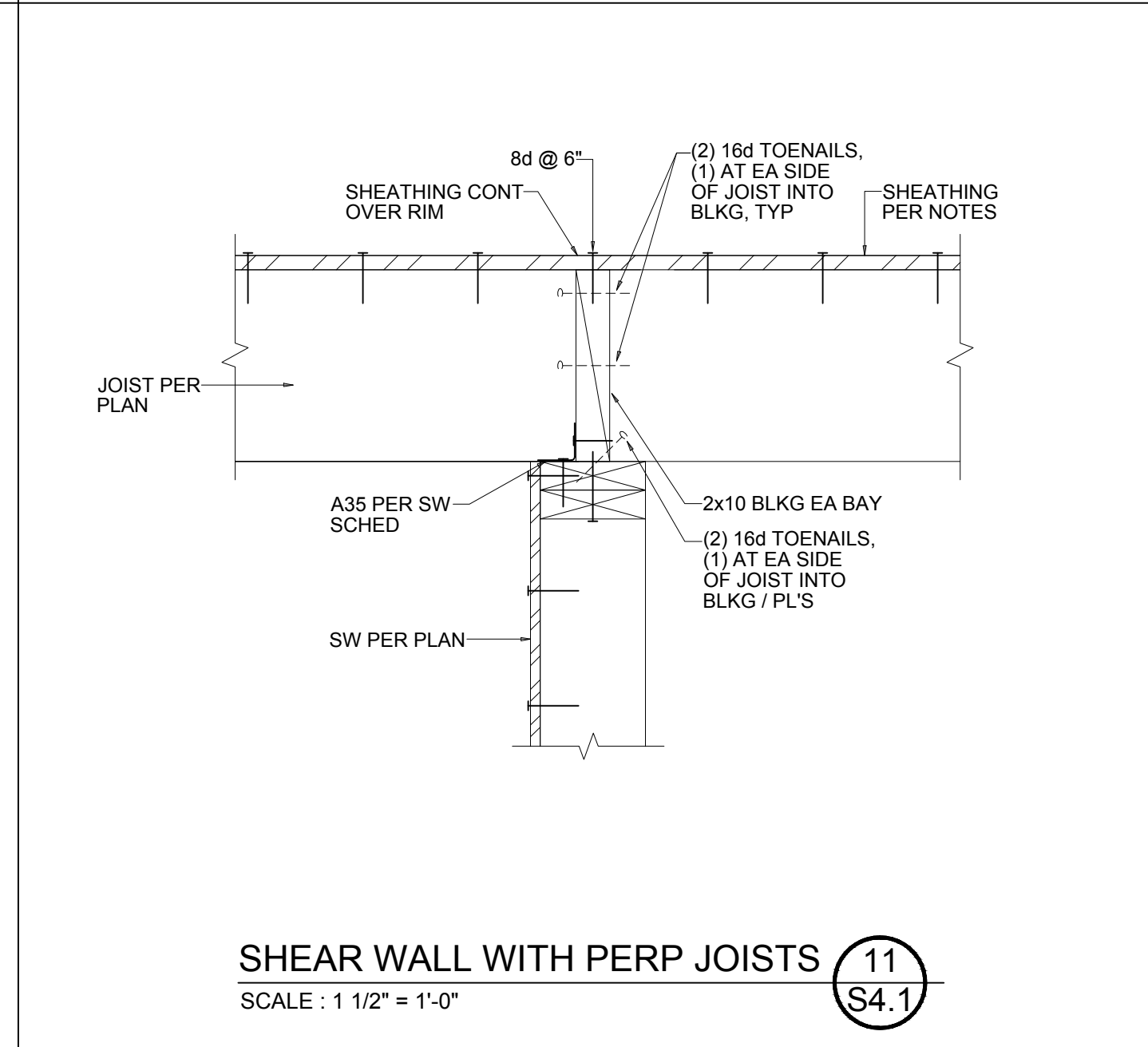
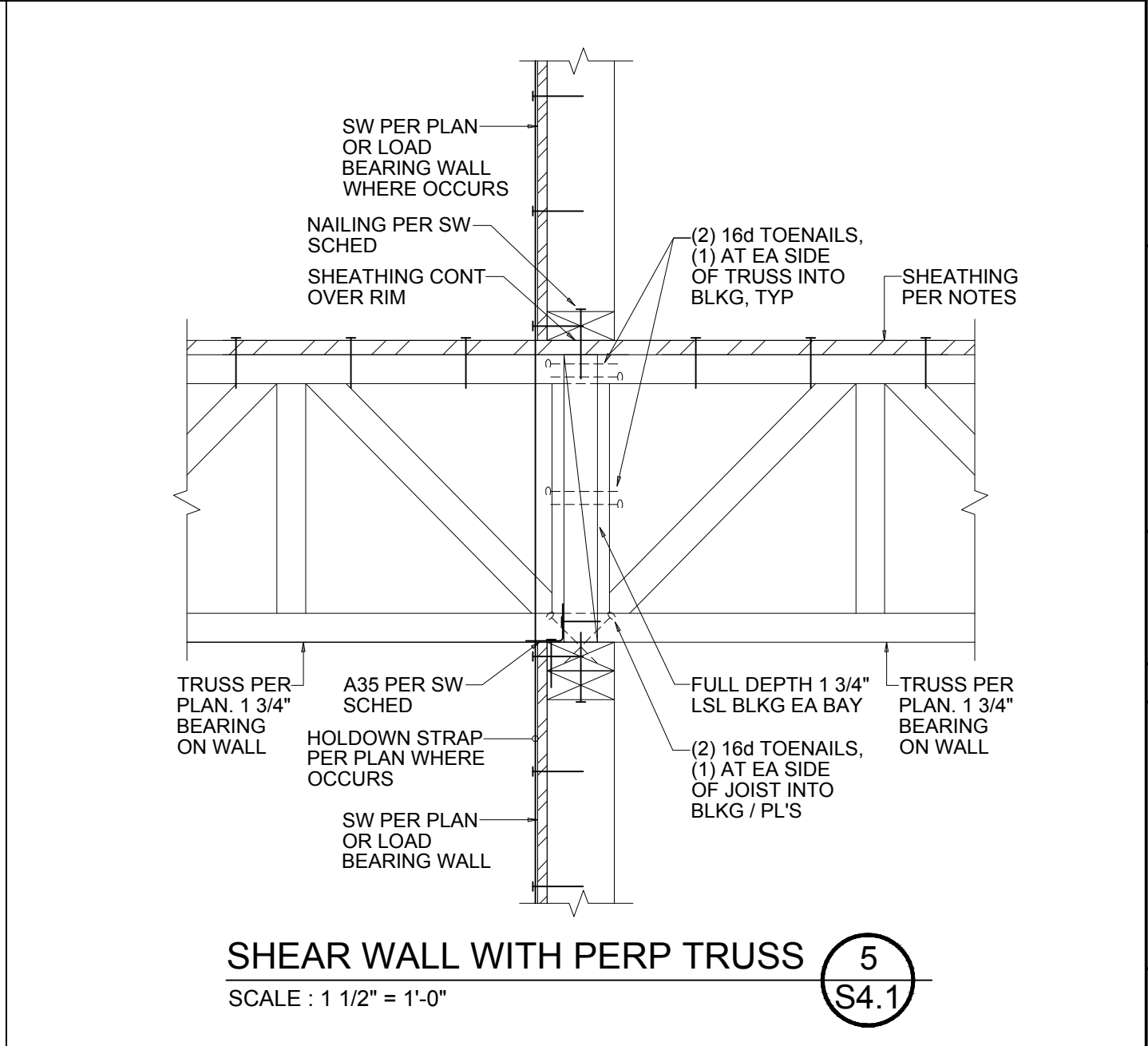
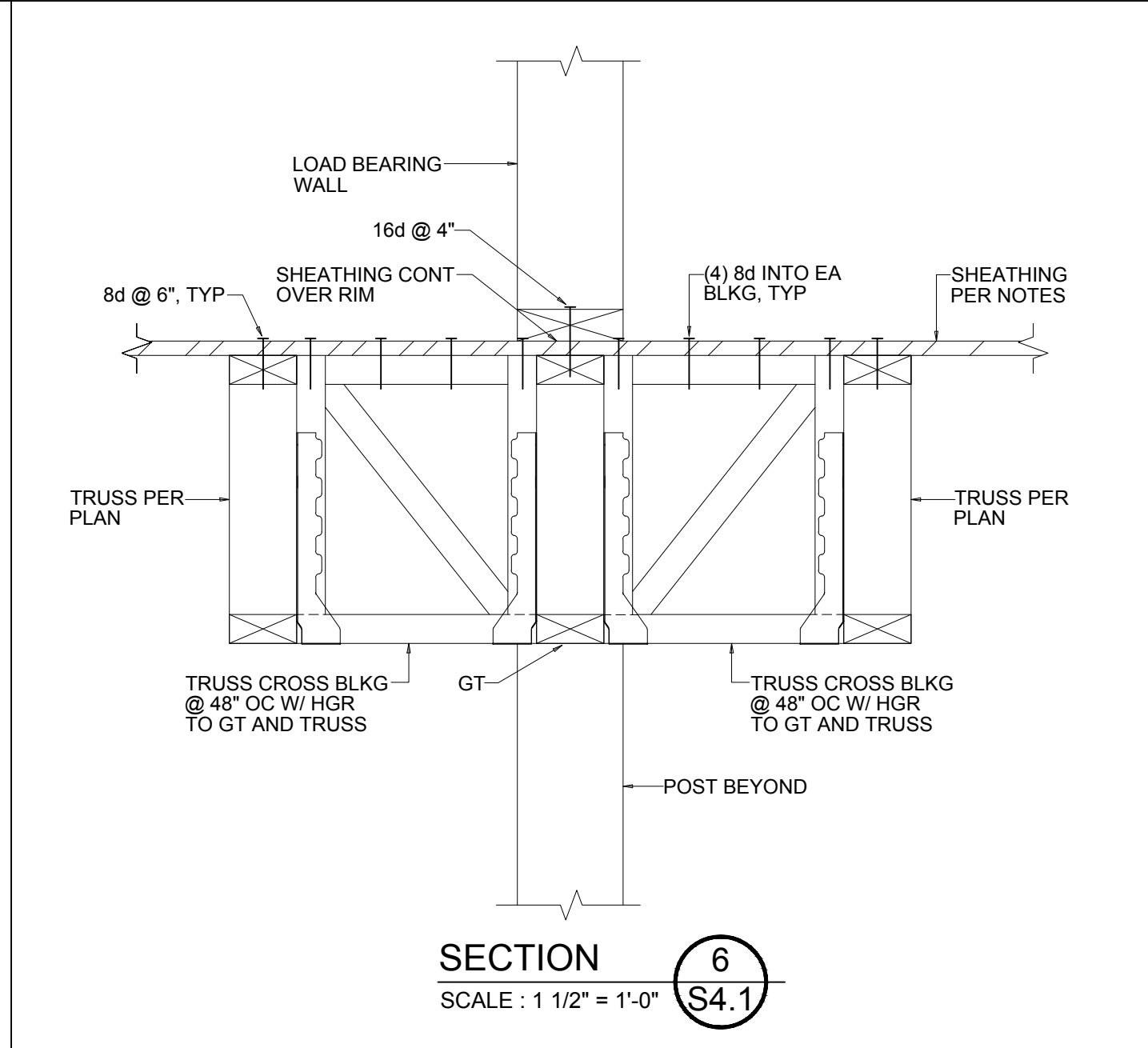
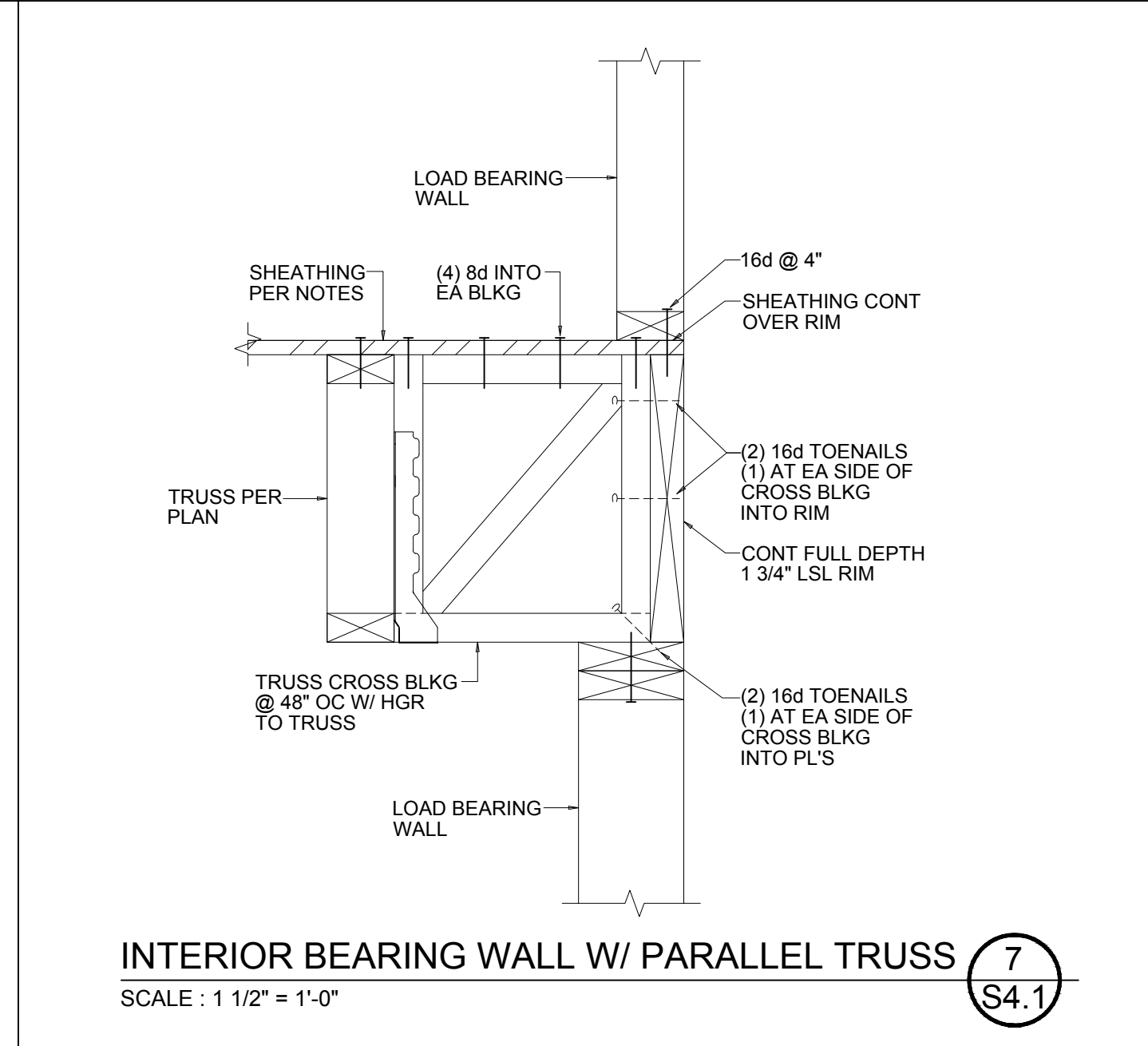
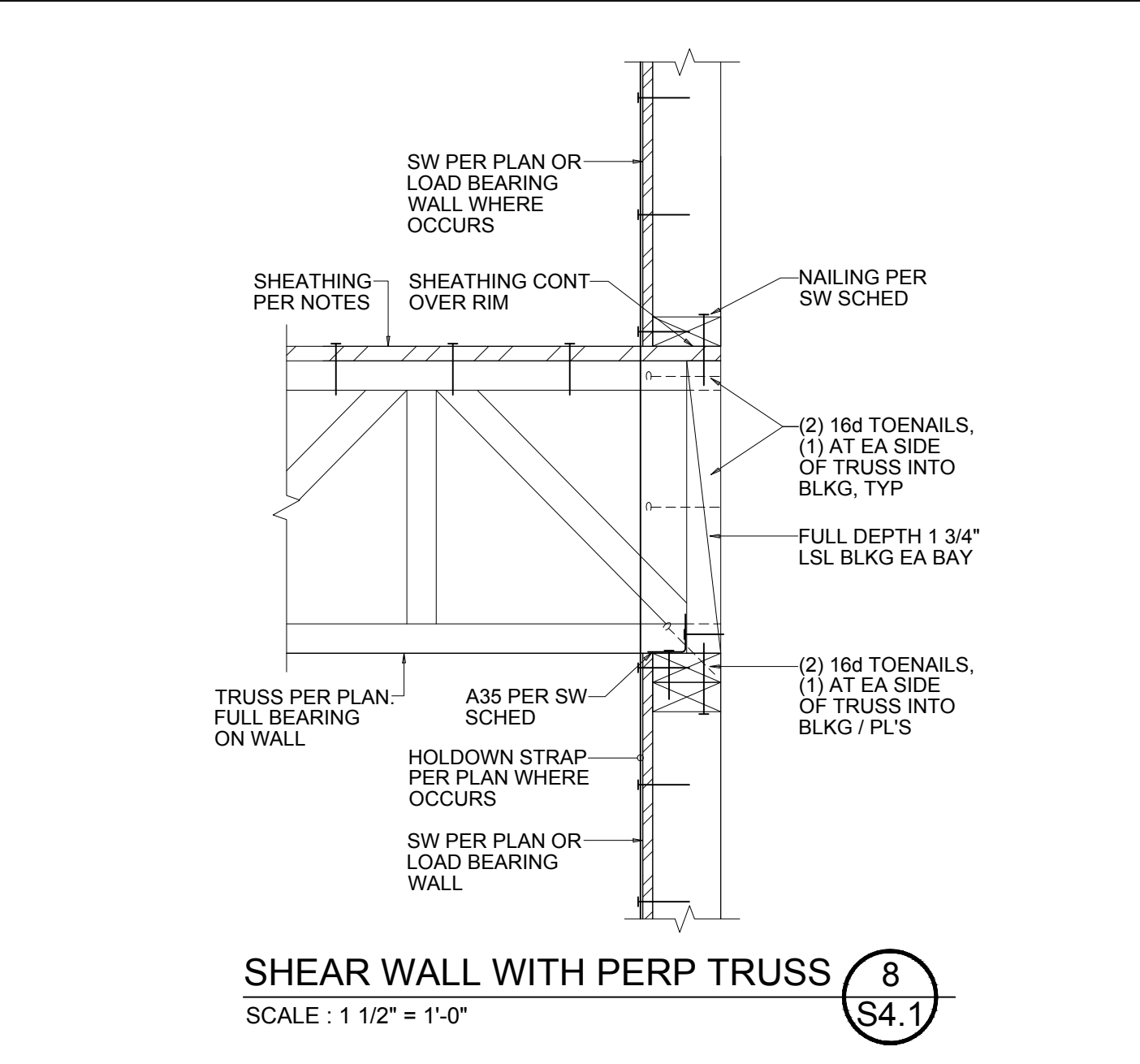
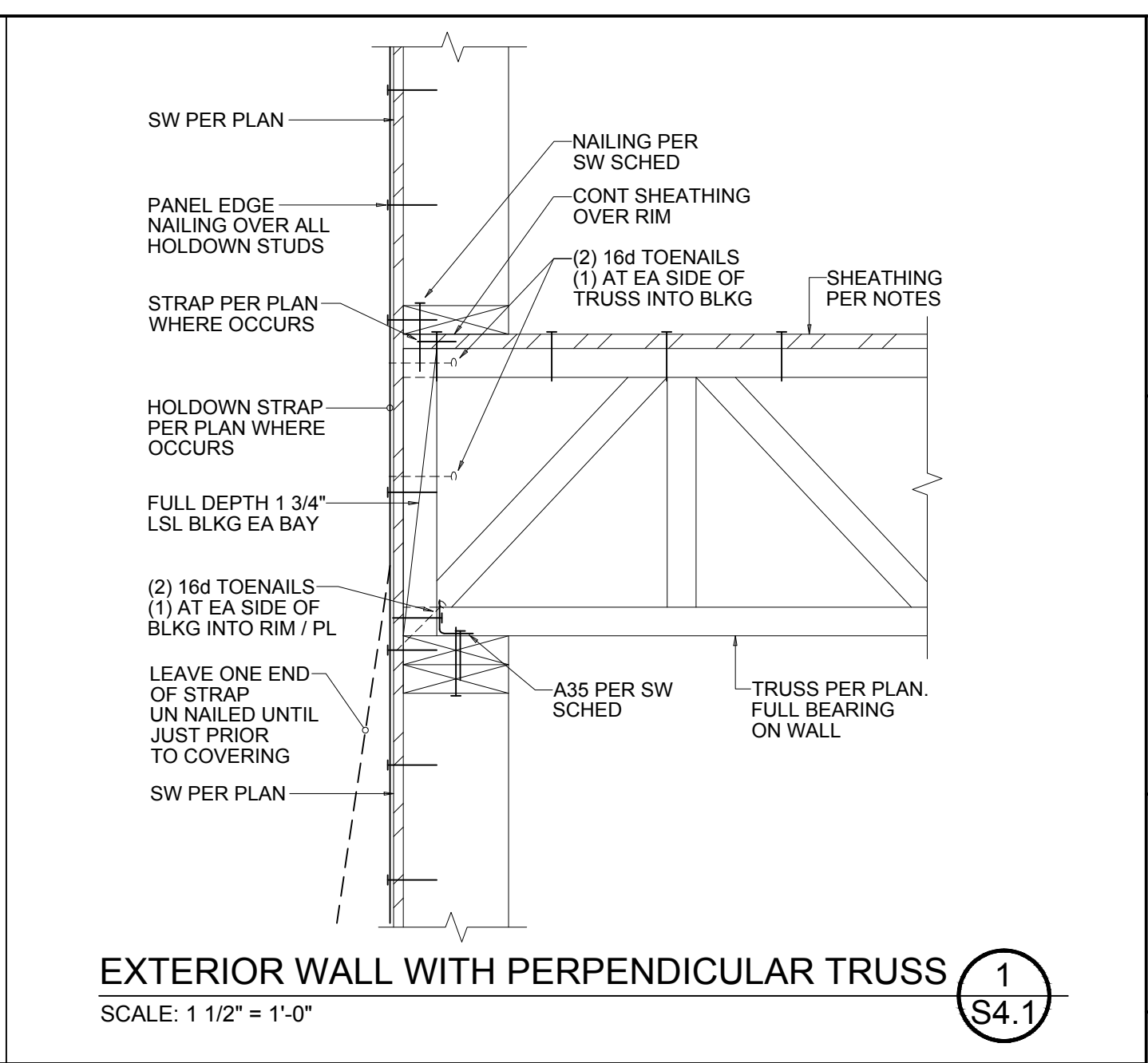
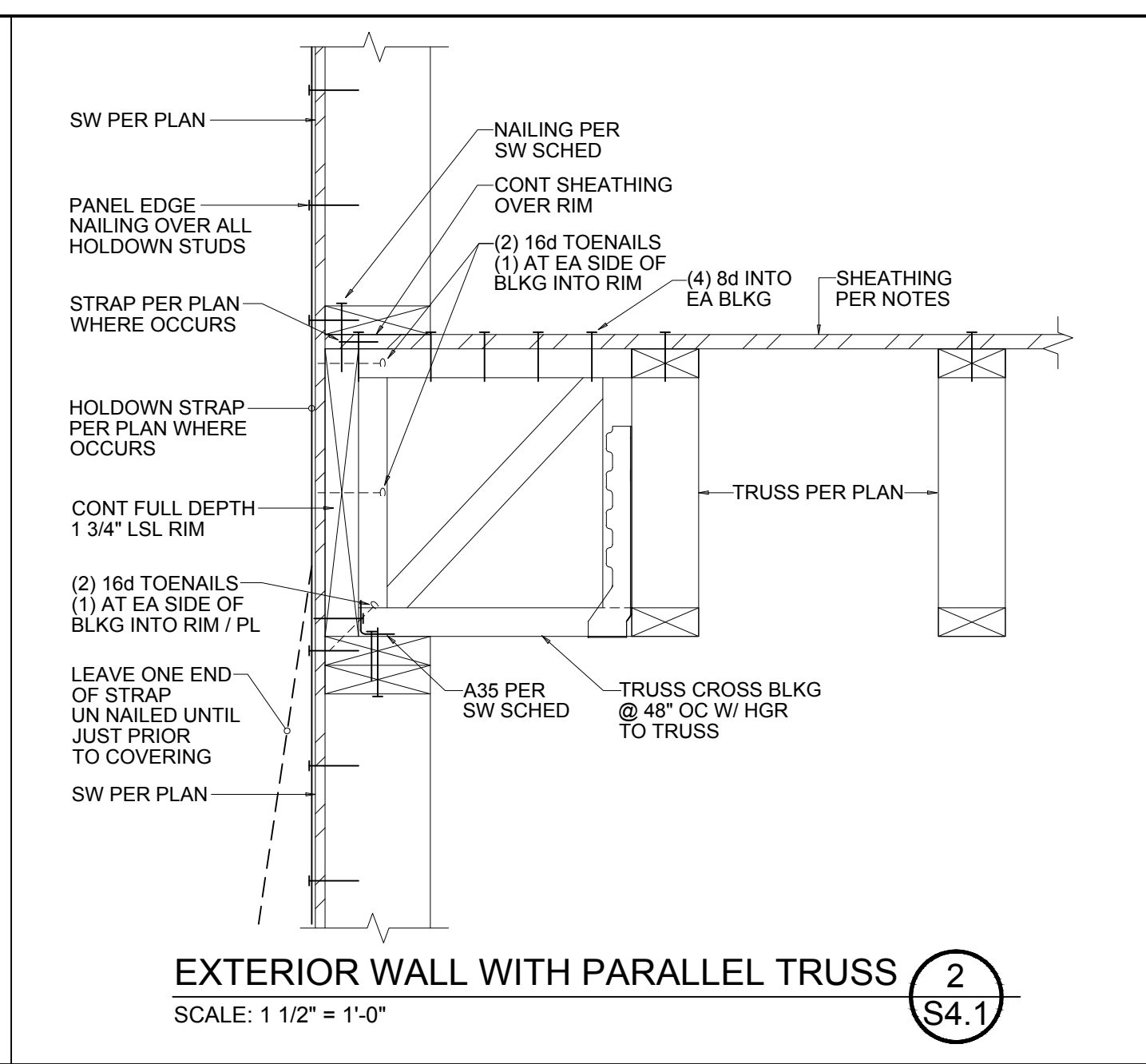
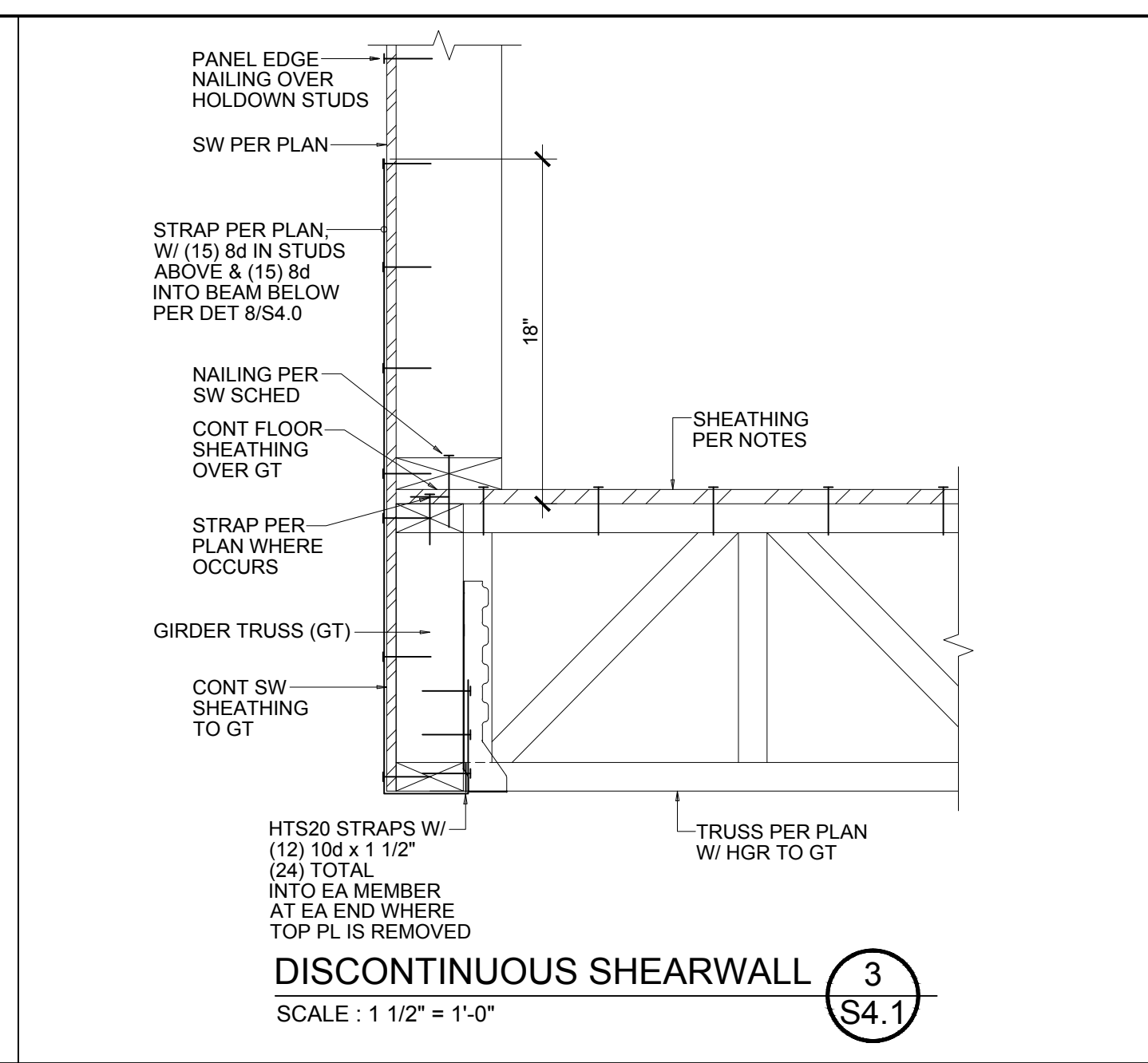
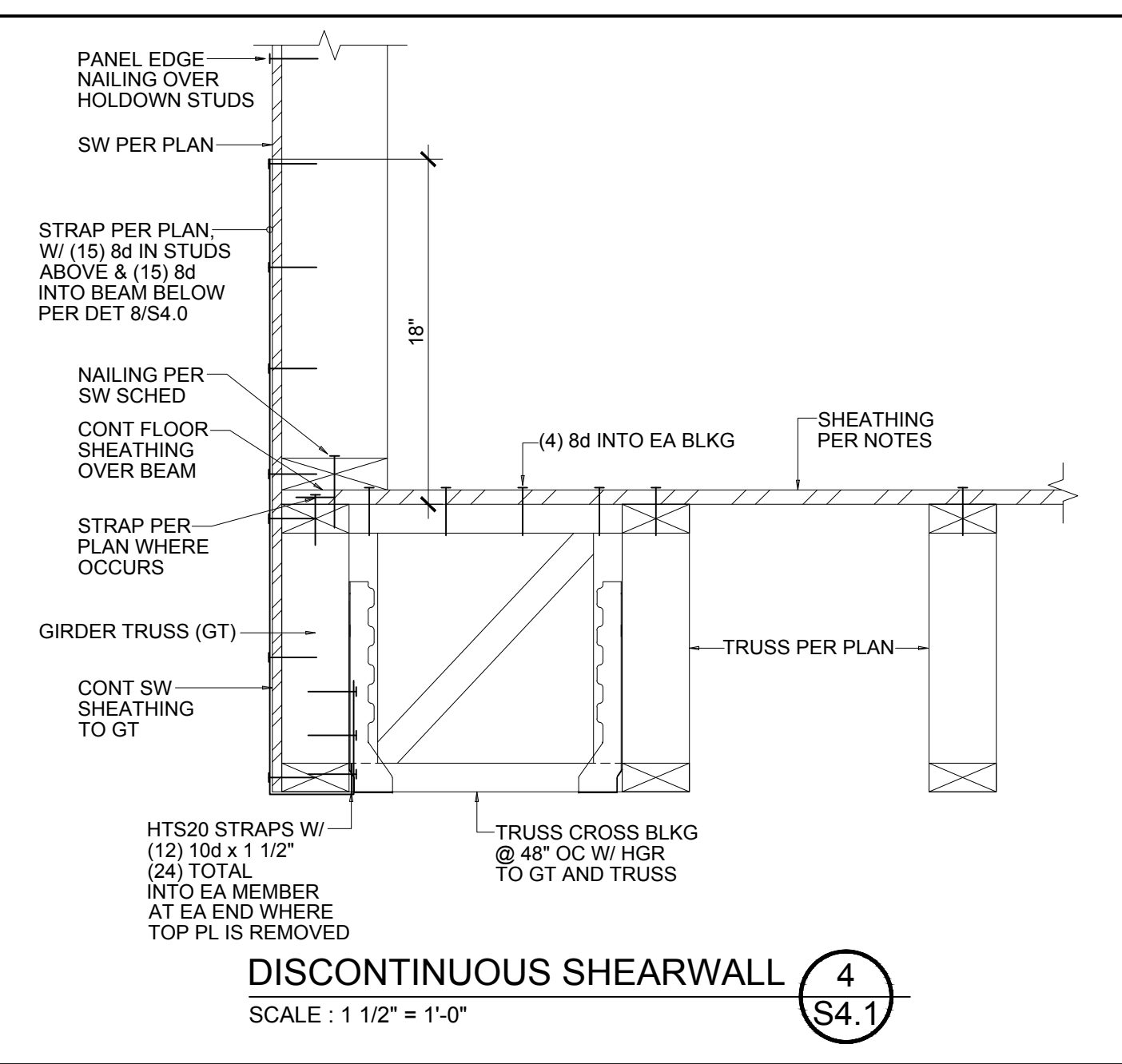
SHEARWALL INTERSECTION 11
SCALE: 1 1/2" = 1'-0"



SHEARWALL INTERSECTION 10
SCALE: 1 1/2" = 1'-0"



TYPICAL SHEARWALL CORNERS 9
SCALE: 1 1/2" = 1'-0"



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ENGINEER'S SEAL

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Stated drawing scale is based on 22" x 34" sheet.

PROJECT TITLE

**61ST AVENUE
RESIDENCE**

ADDRESS

3038 61st Avenue SE.,
Mercer Island, WA
98040

No.	Date	Issue
12.21.21		Coordination
01.03.22		Coordination
01.24.22		Building Permit

SHEET CONTENTS

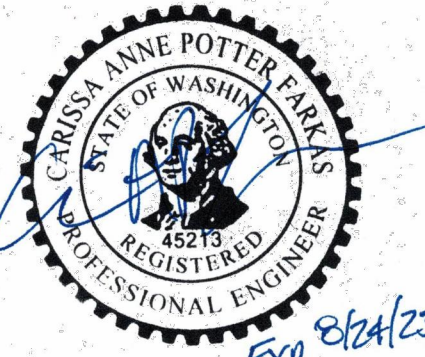
FRAMING DETAILS

JOB NO. 2147

SHEET NO. **S4.1**

DPD APPROVAL

ENGINEER'S SEAL



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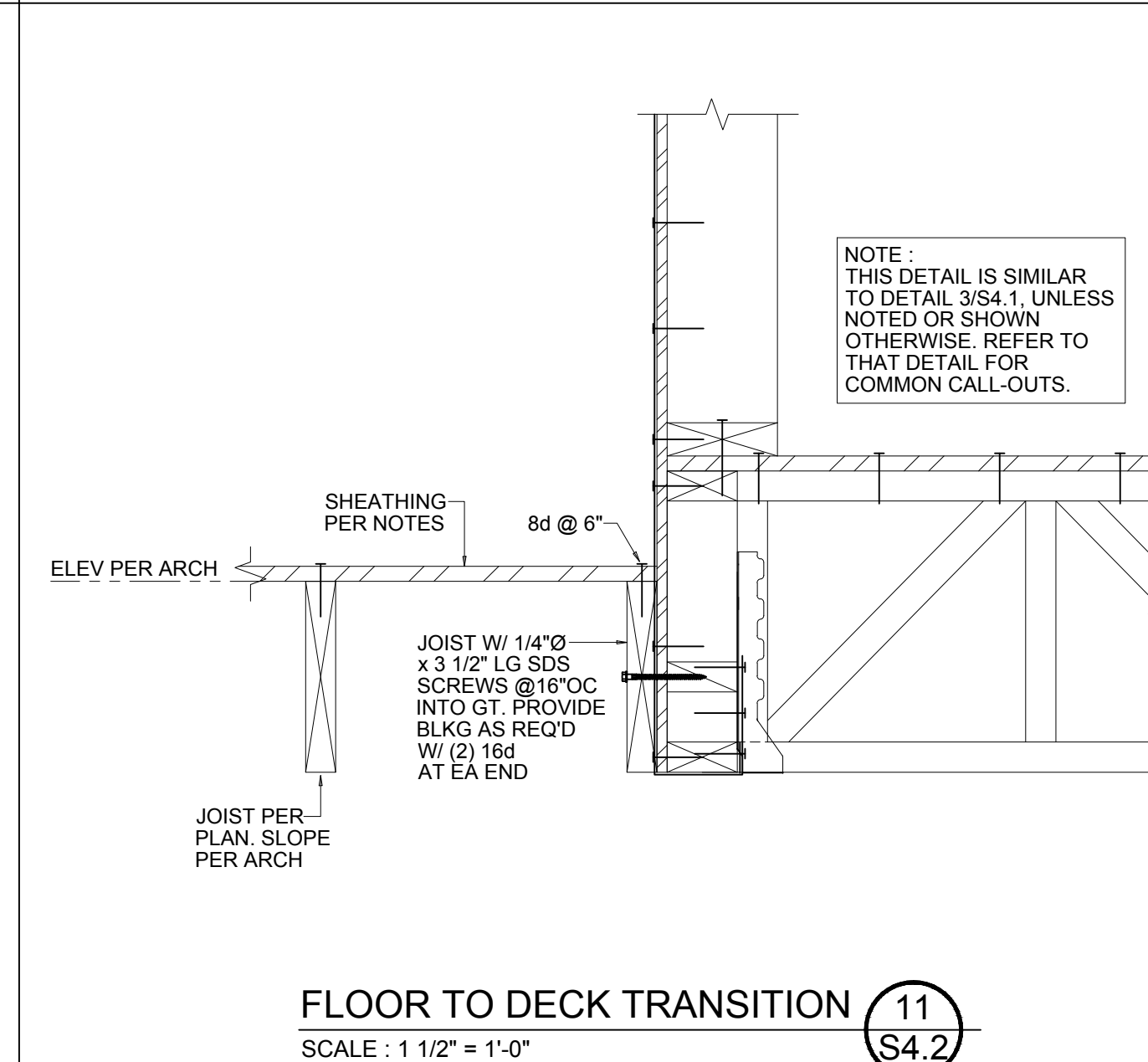
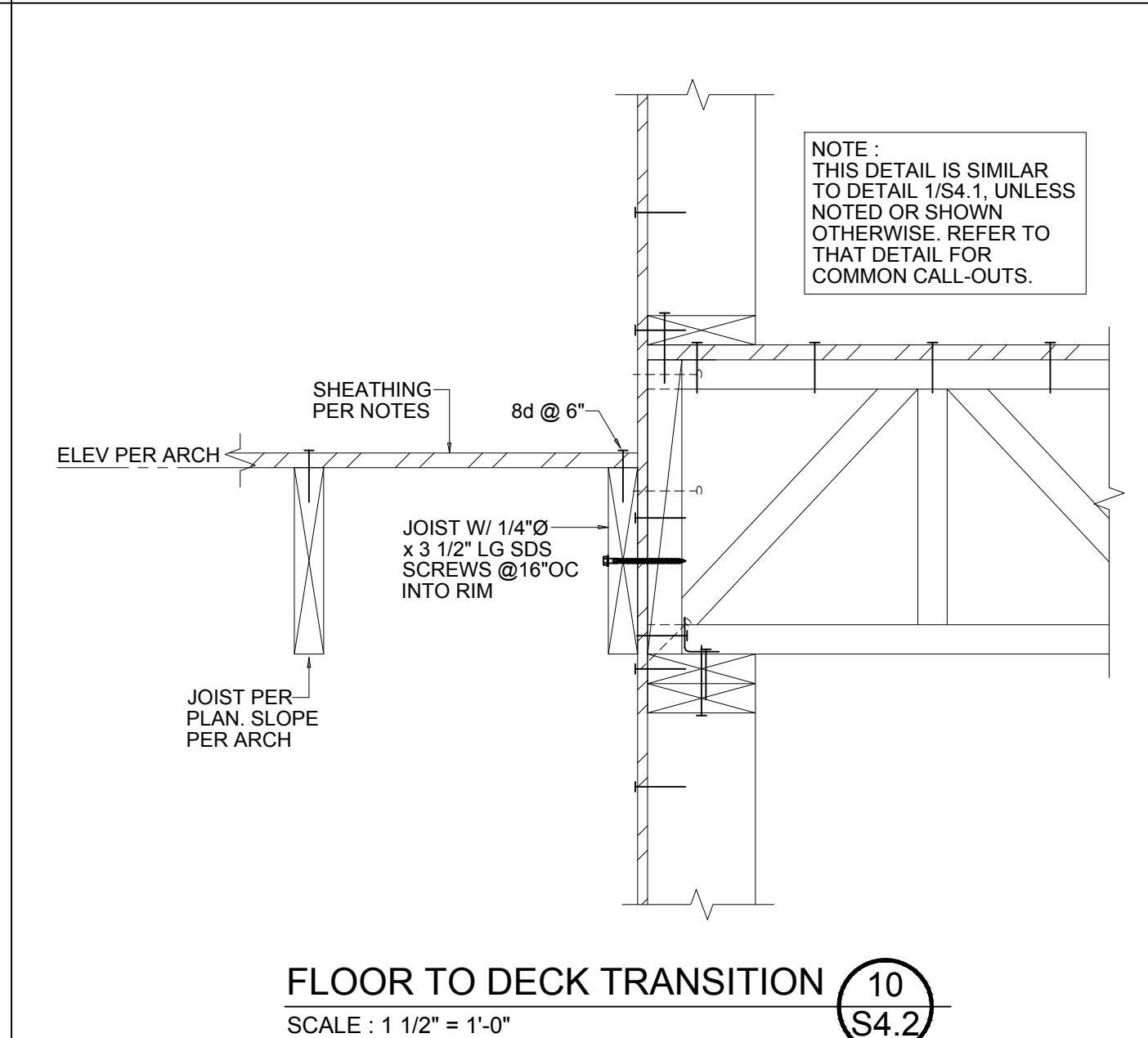
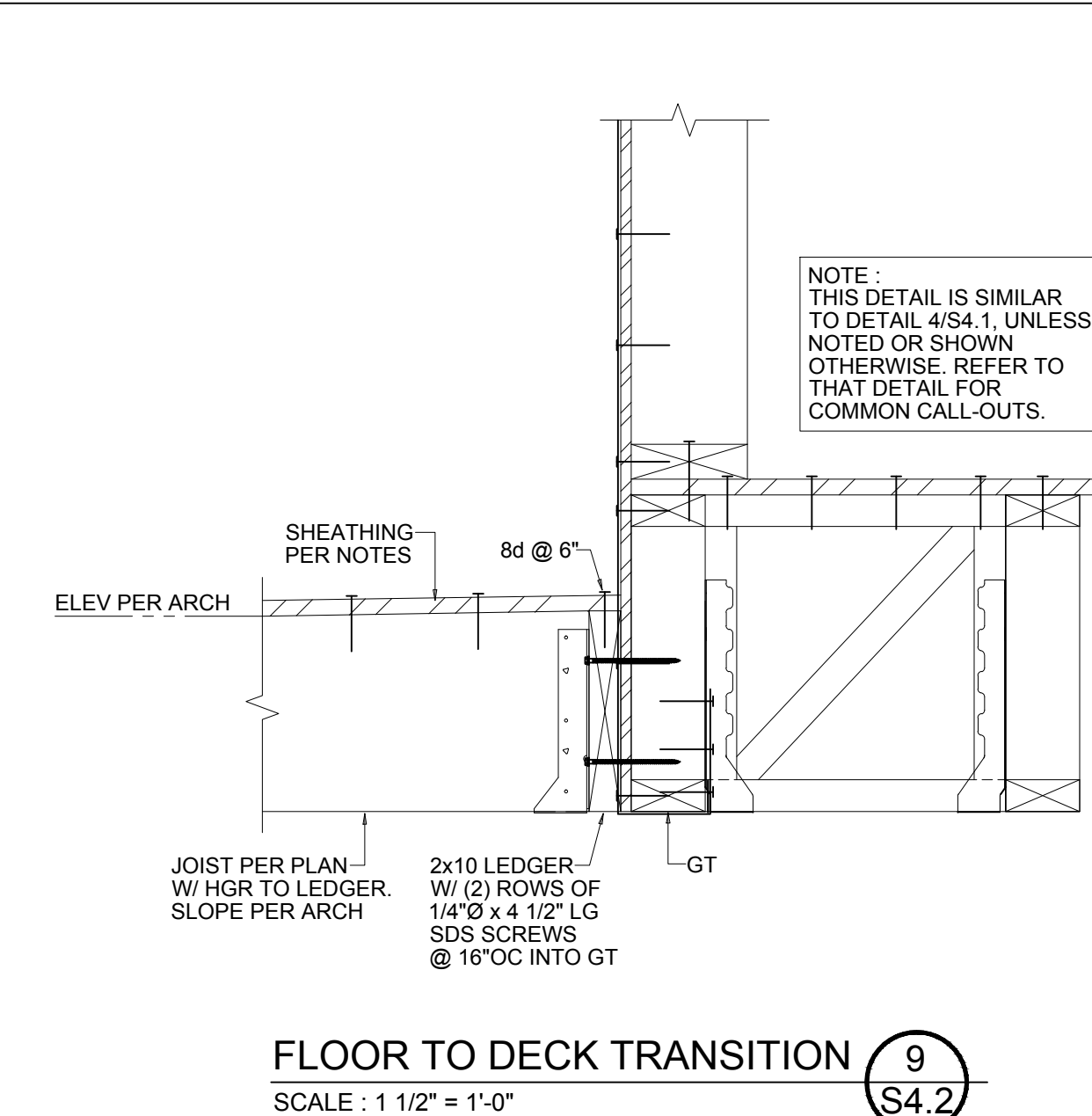
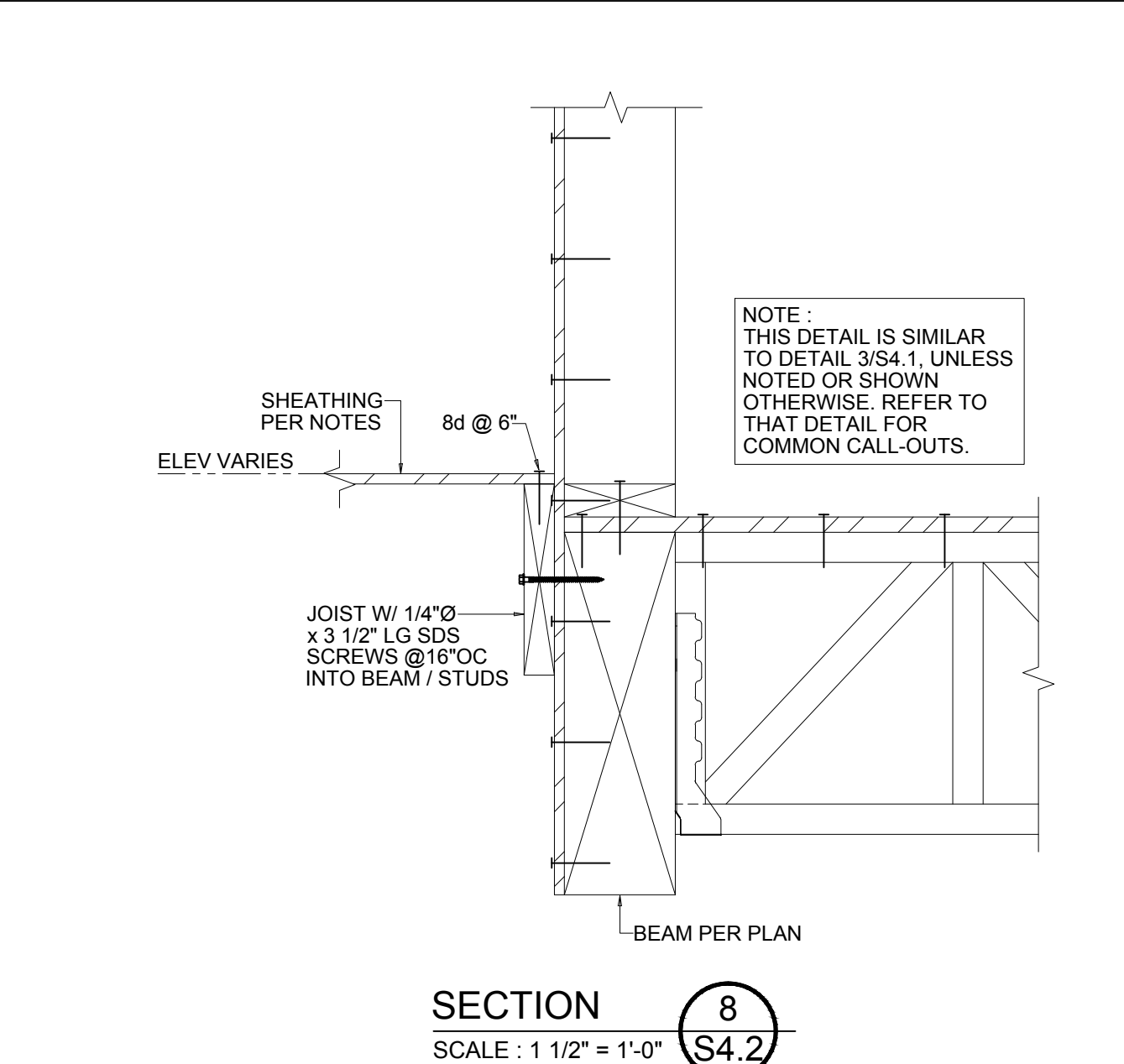
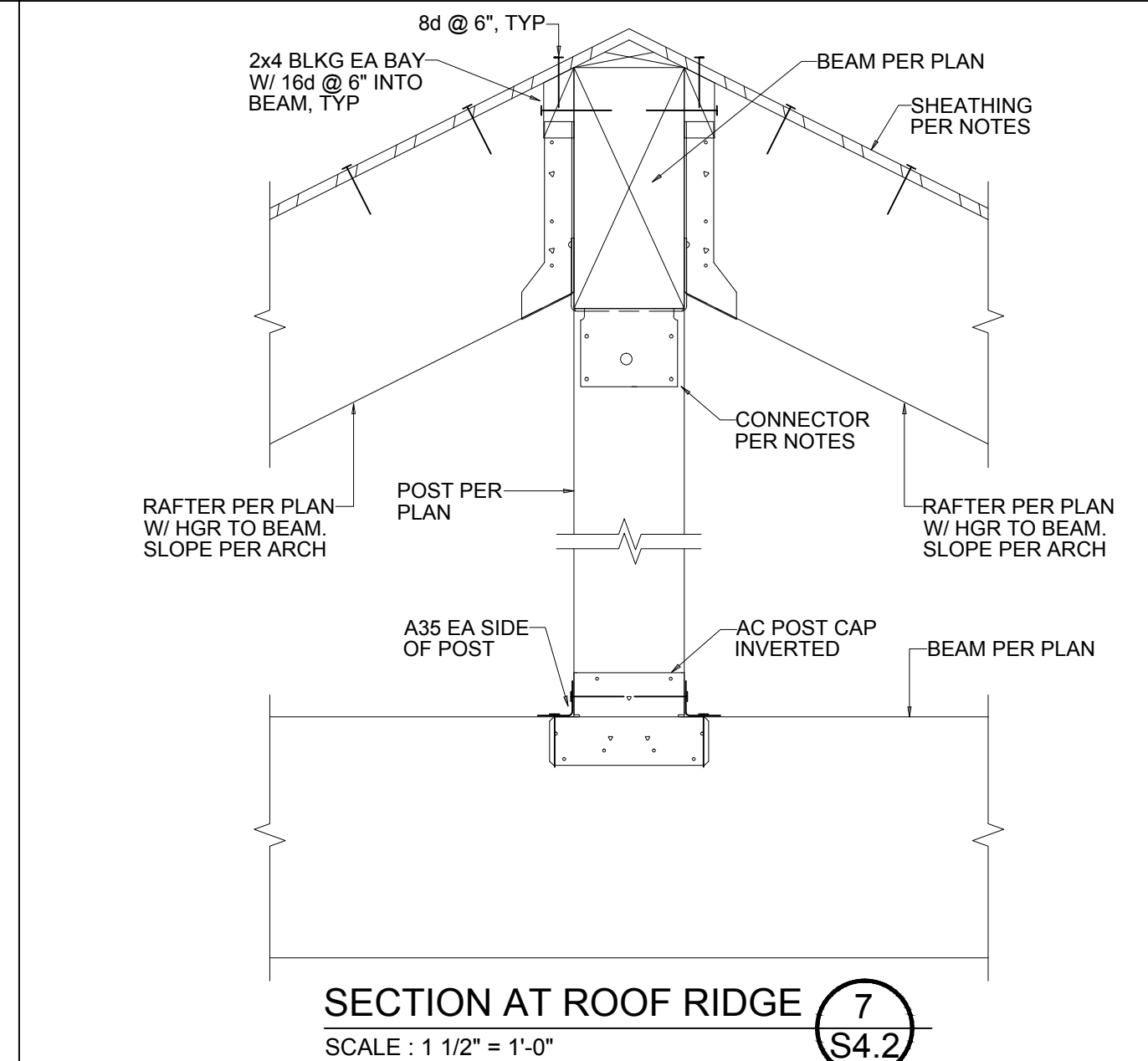
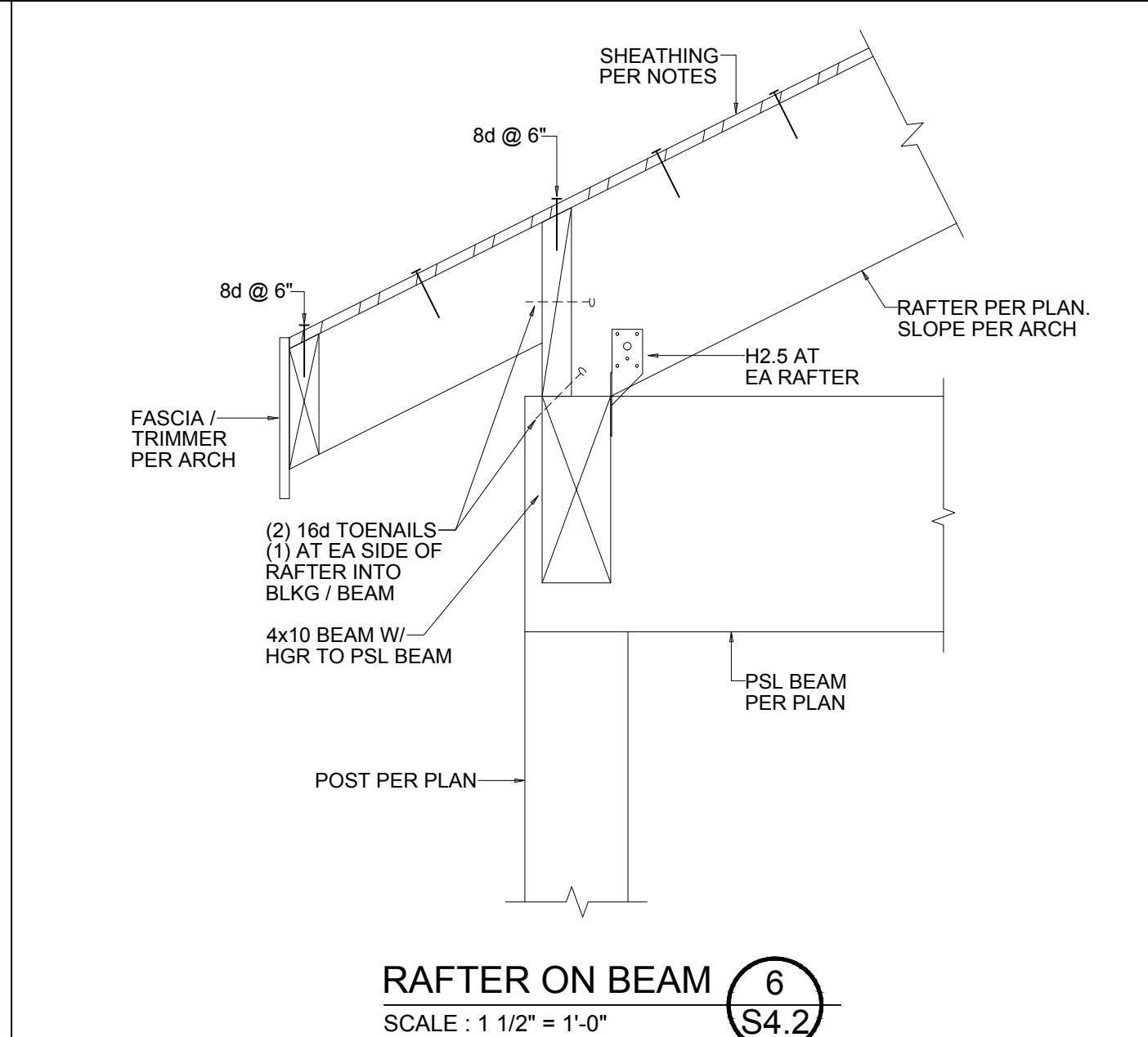
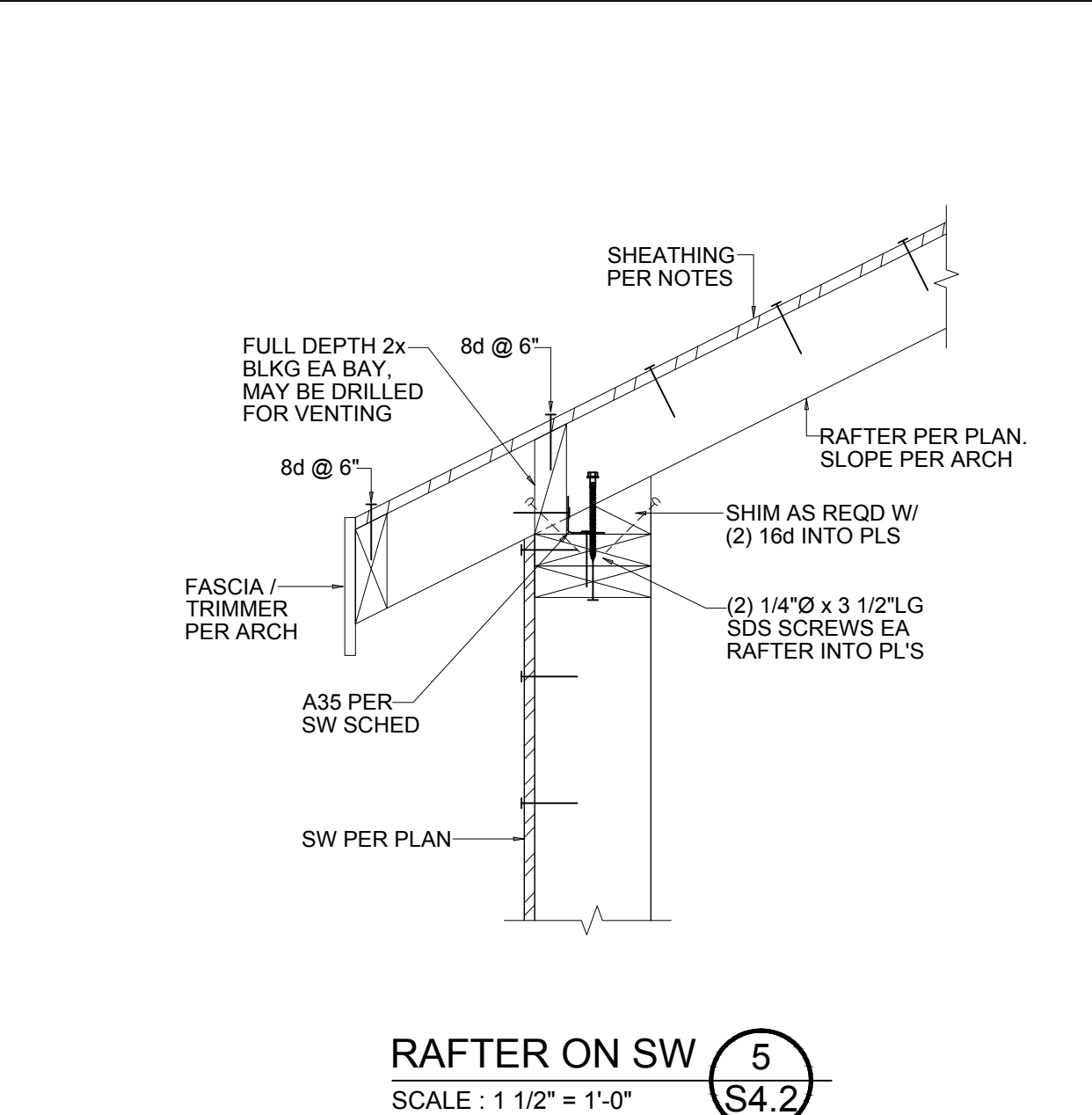
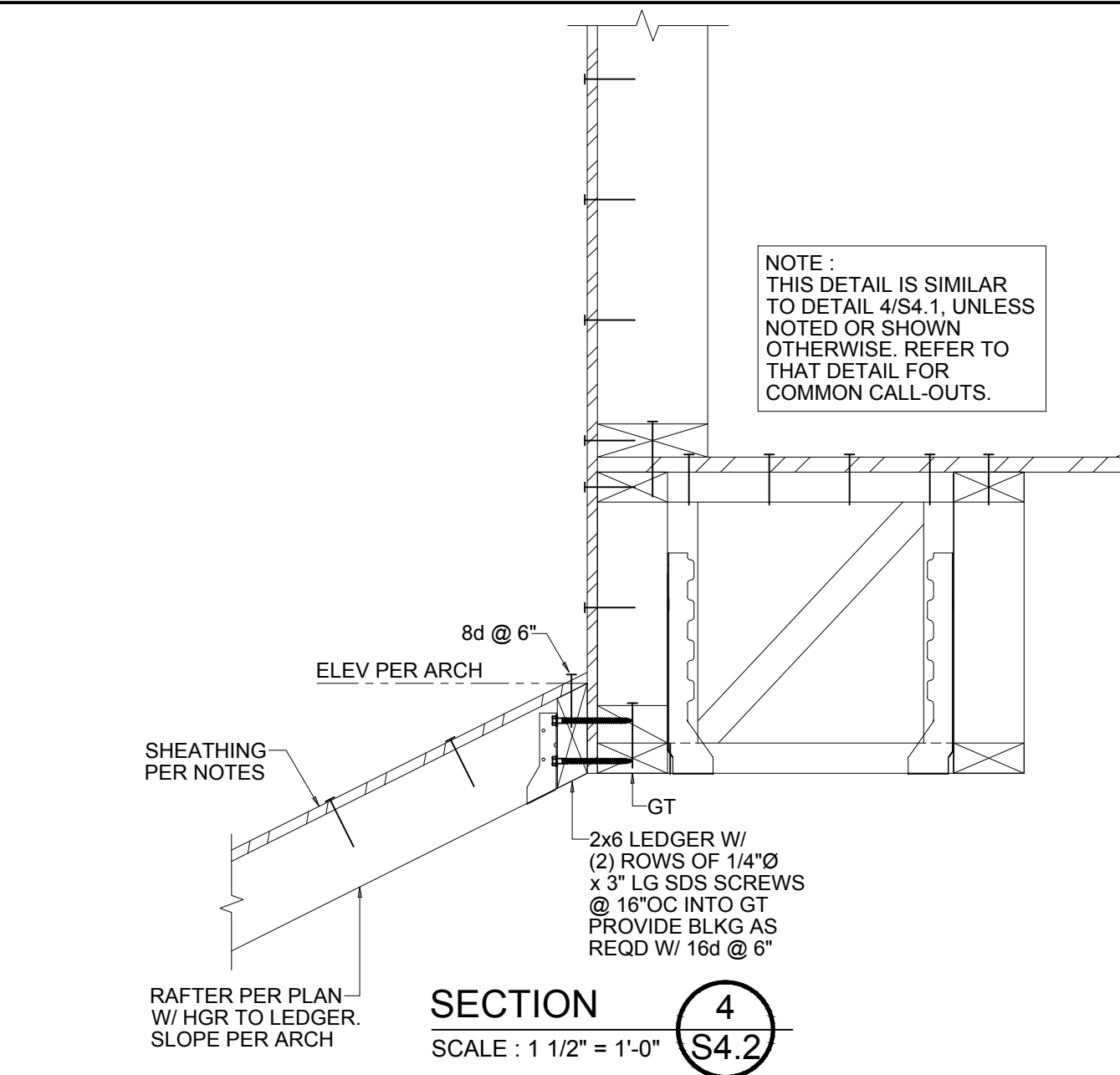
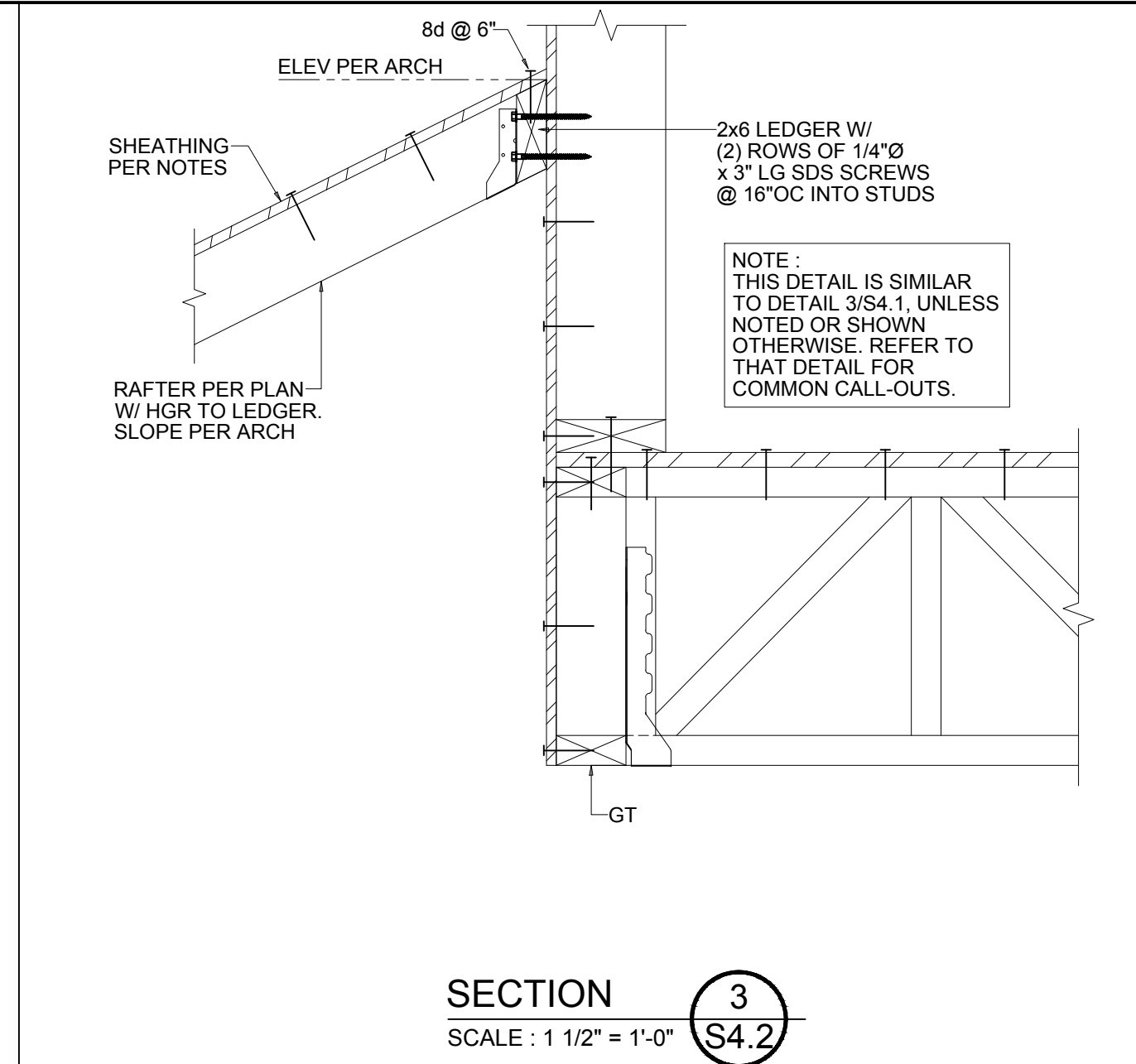
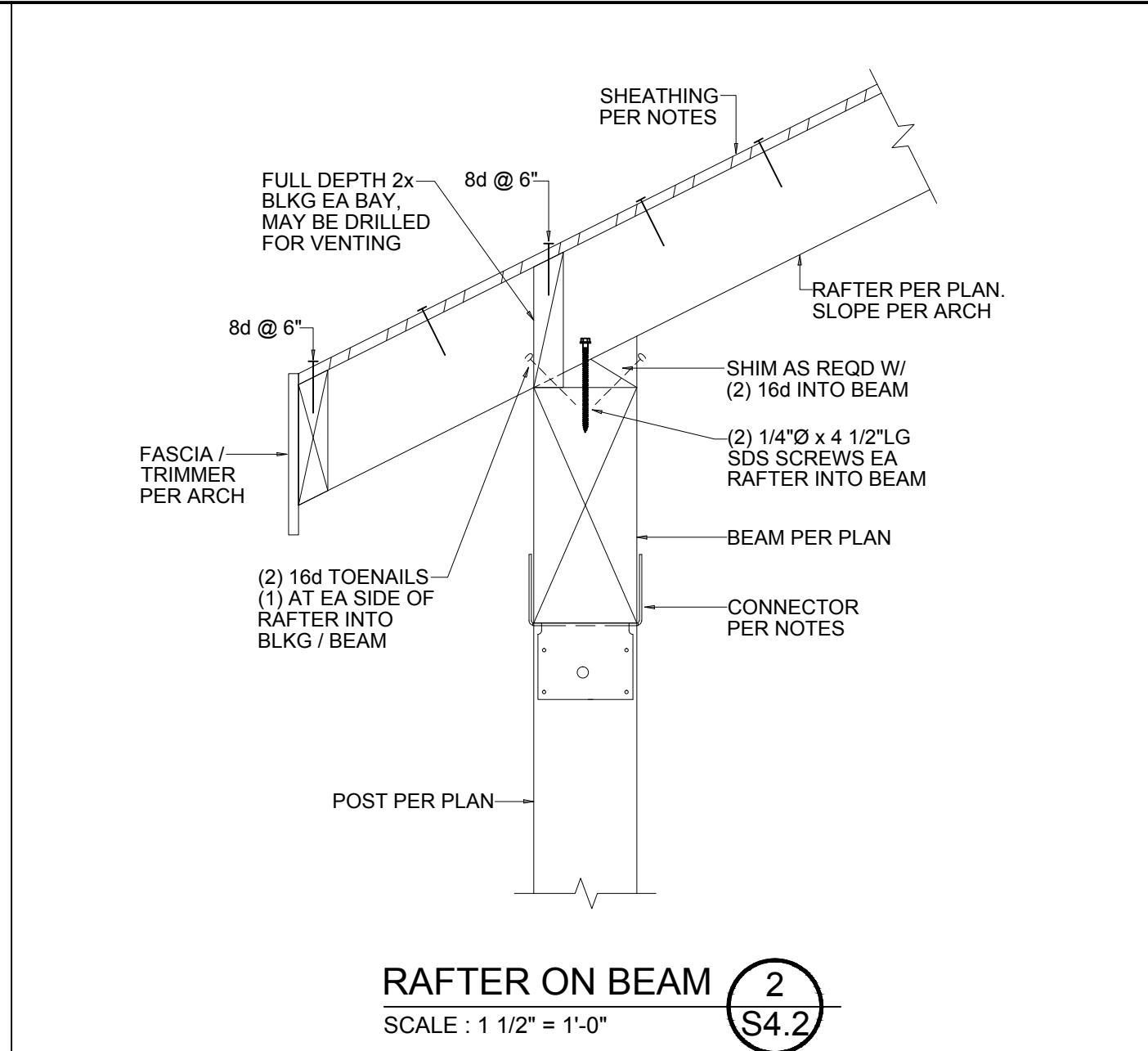
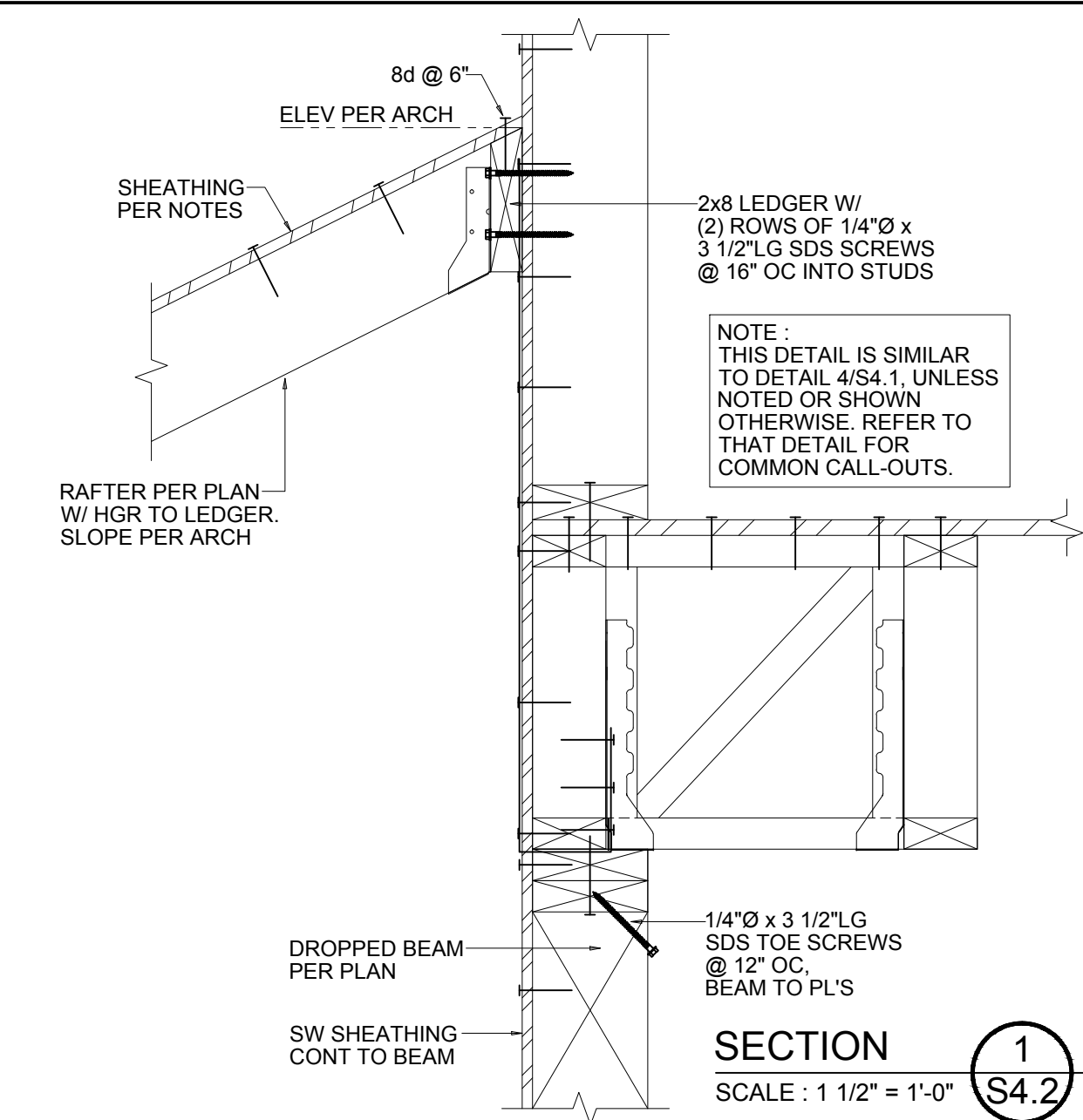
FRAMING DETAILS

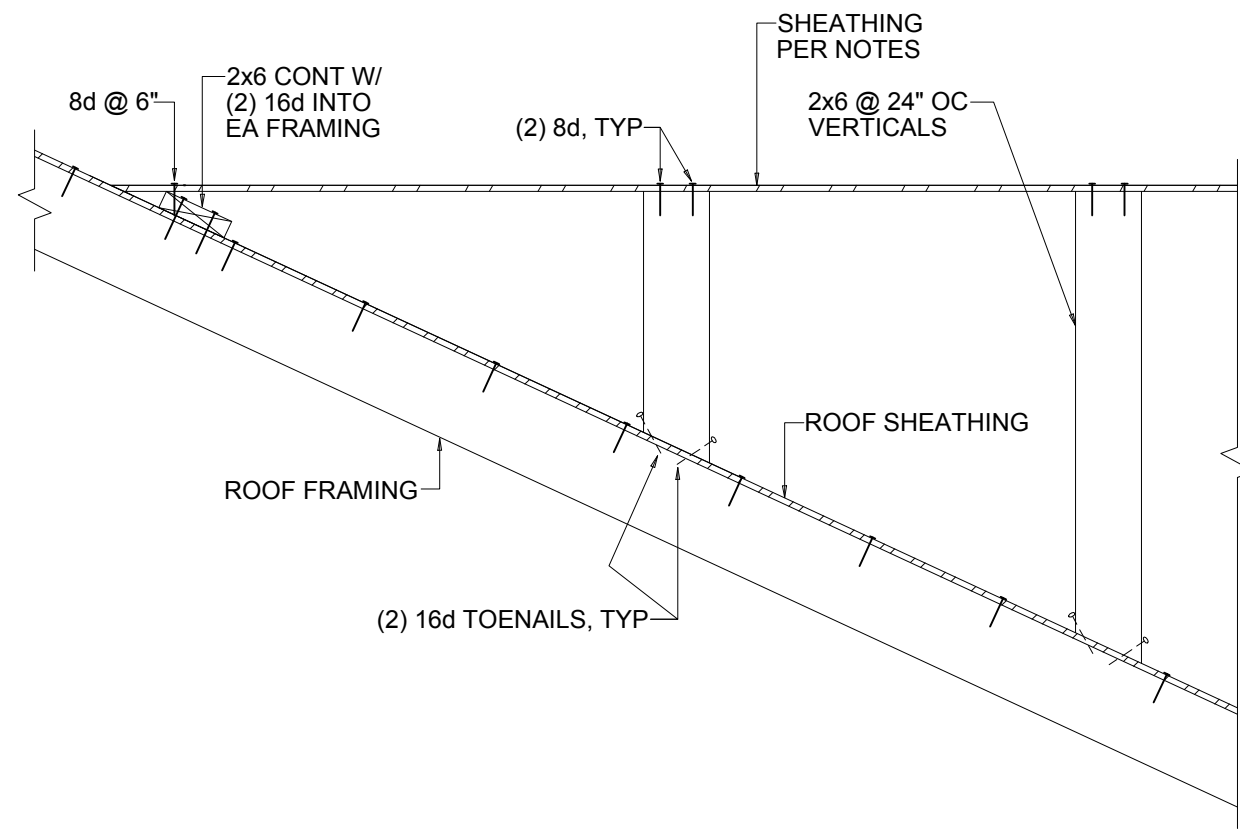
JOB NO. 2147

SHEET NO.

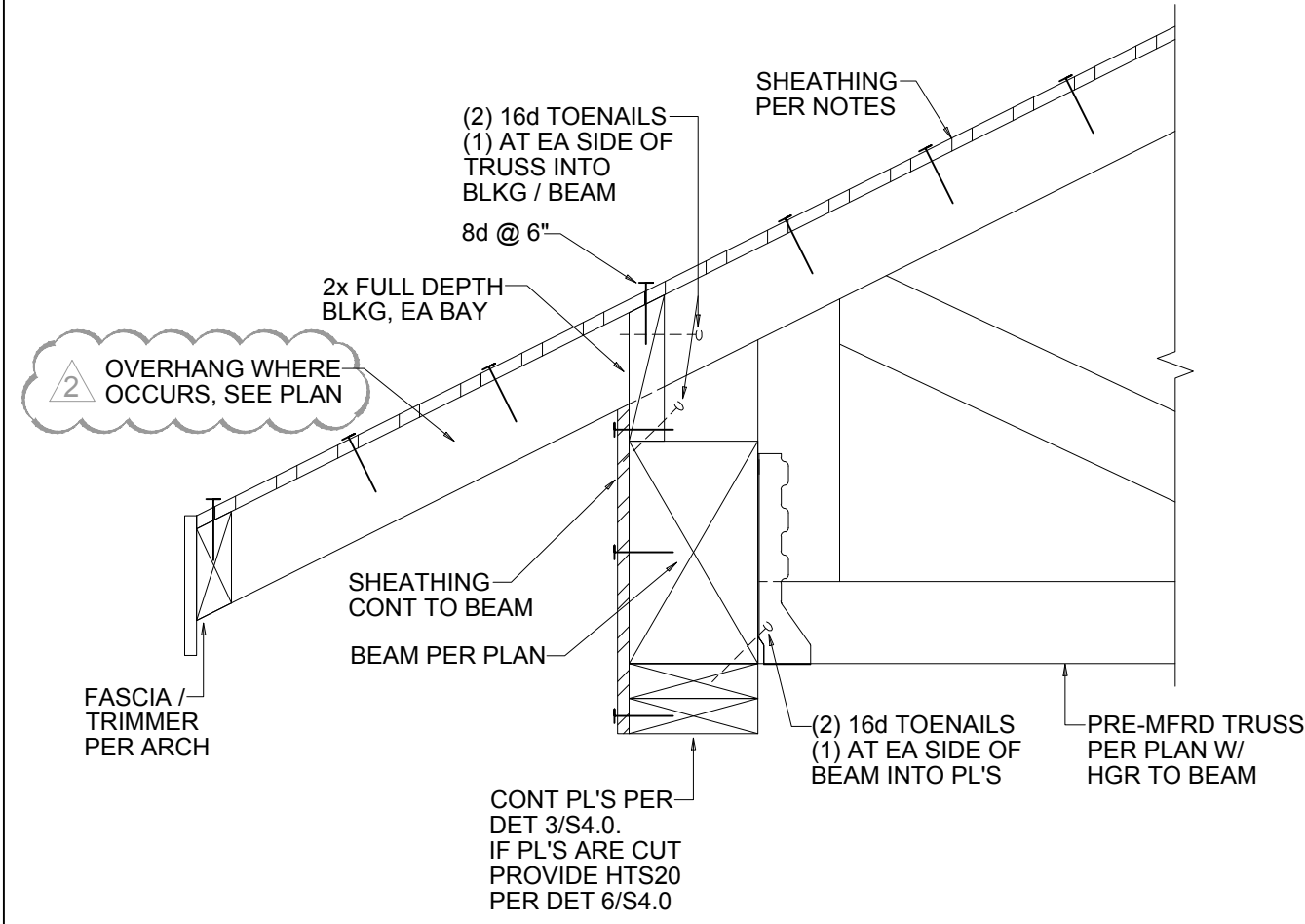
S4.2

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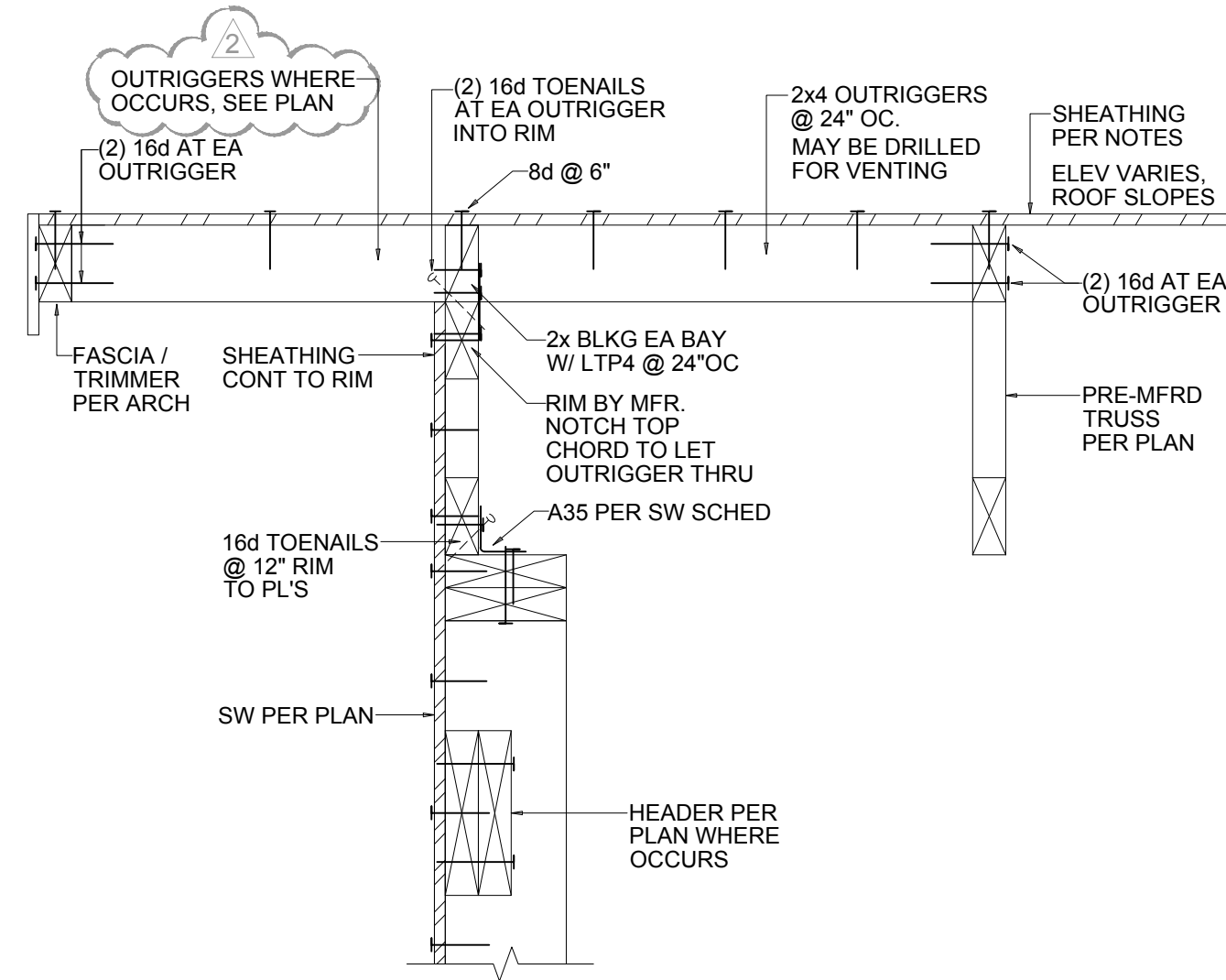




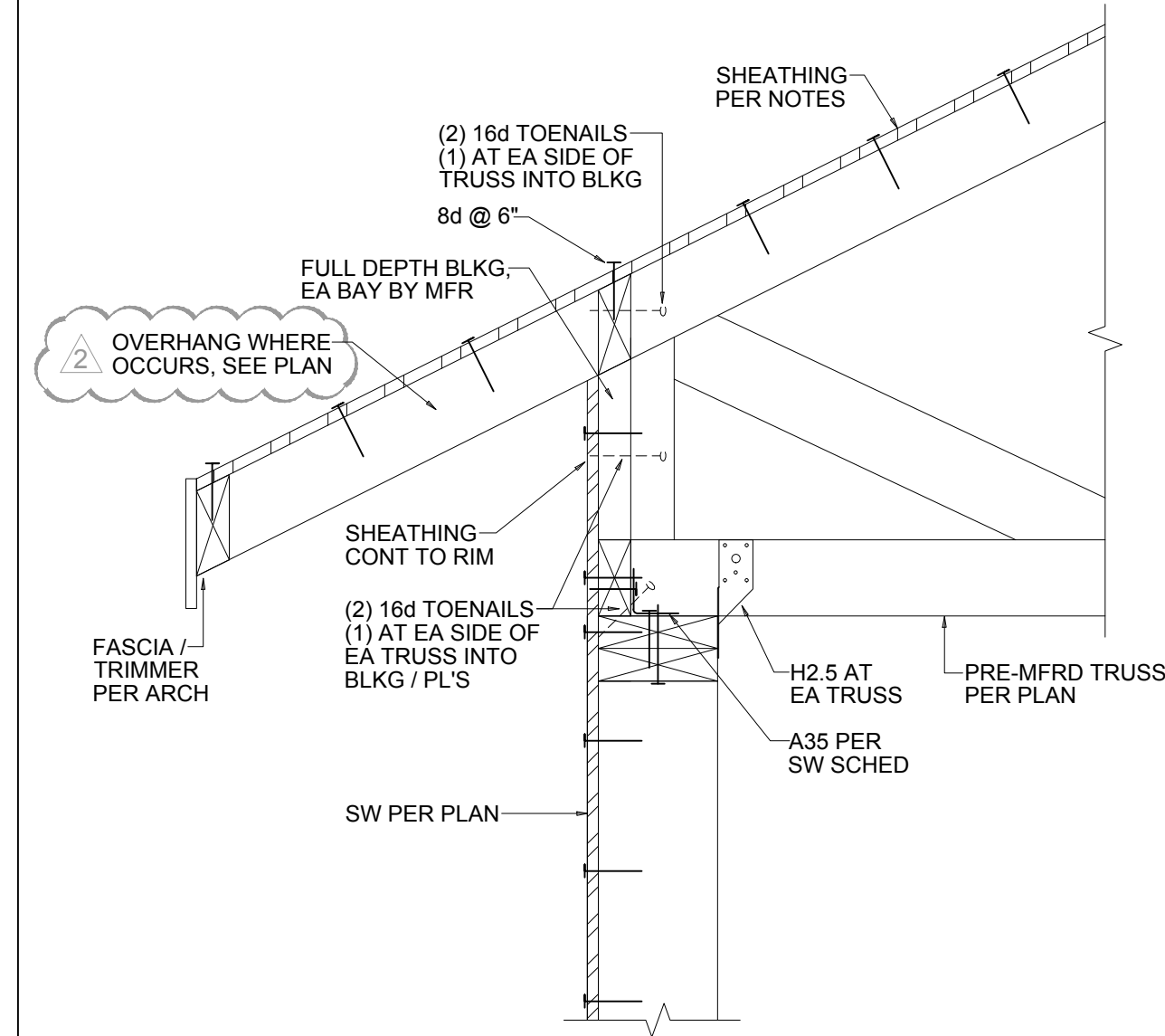
OVER FRAMING CONNECTION 4
NOT TO SCALE S4.3



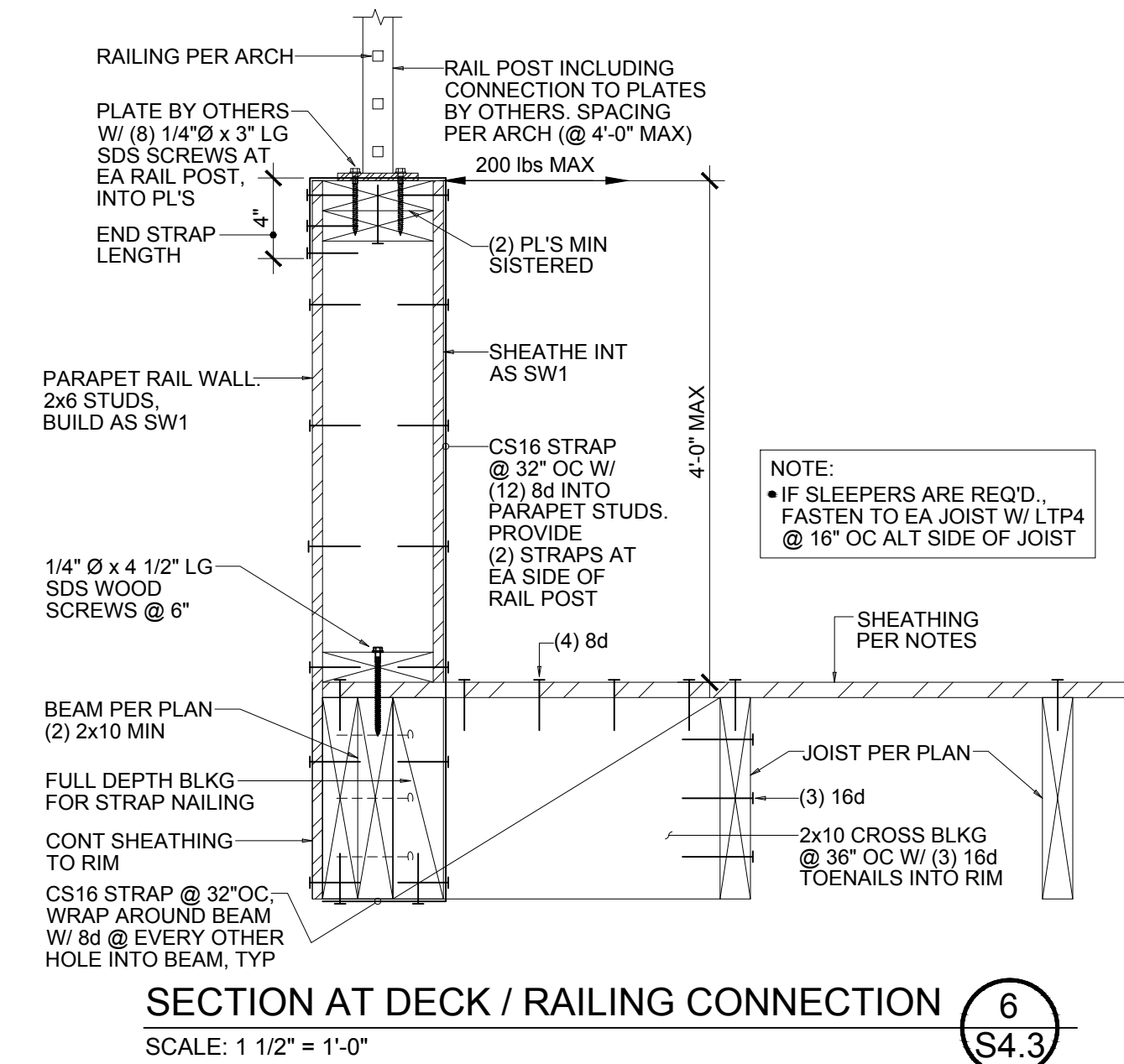
TRUSS ON BEAM 3
SCALE: 1 1/2" = 1'-0" S4.3



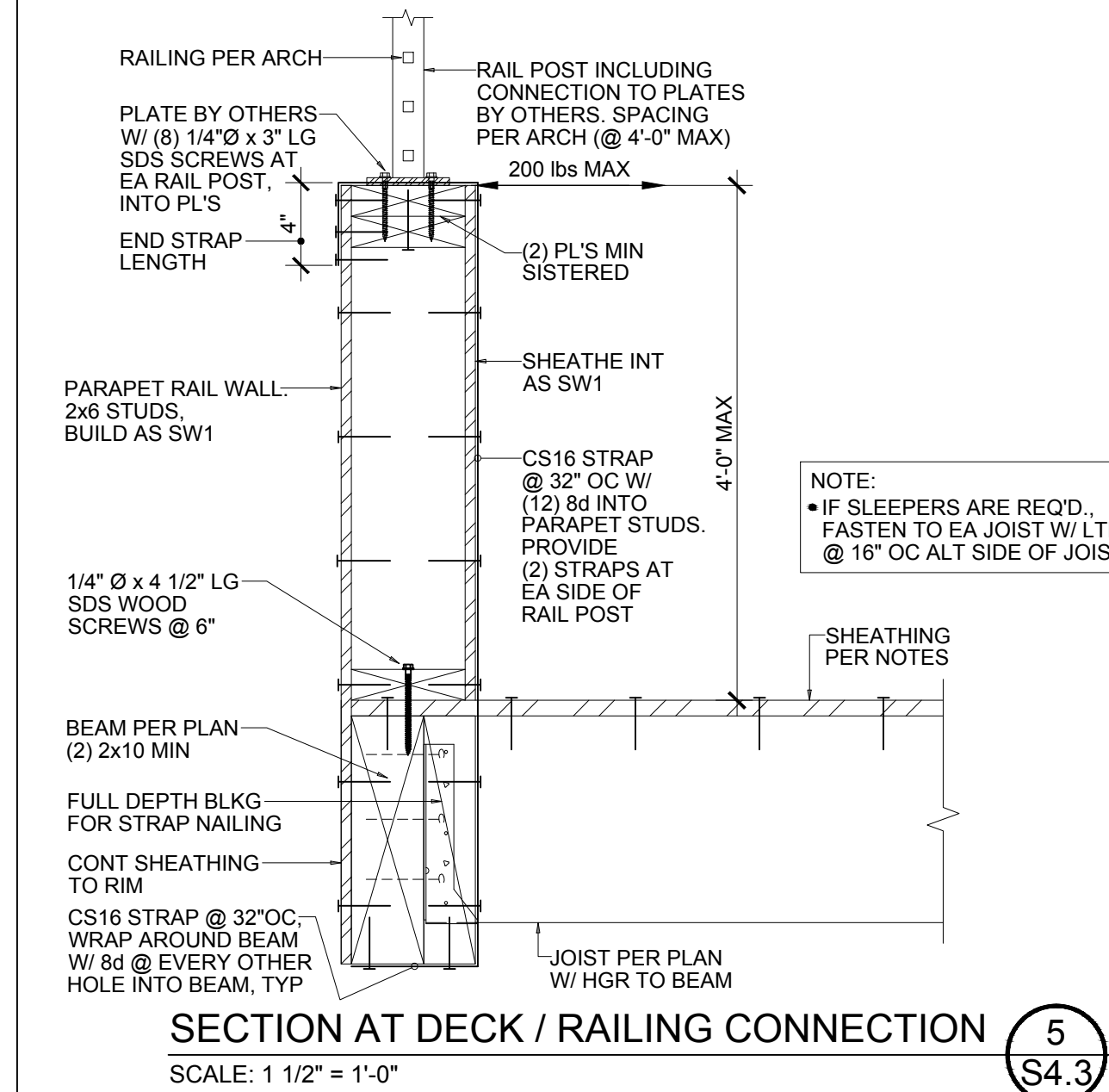
EXTERIOR WALL WITH PARALLEL TRUSS 2
SCALE: 1 1/2" = 1'-0" S4.3



EXTERIOR WALL W/ PERPENDICULAR TRUSS 1
SCALE: 1 1/2" = 1'-0" S4.3



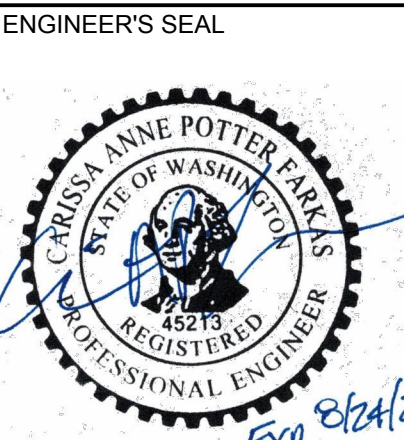
SECTION AT DECK / RAILING CONNECTION 6
SCALE: 1 1/2" = 1'-0" S4.3



SECTION AT DECK / RAILING CONNECTION 5
SCALE: 1 1/2" = 1'-0" S4.3

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01.24.22		Building Permit
05.19.22		Correction

SHEET CONTENTS

FRAMING DETAILS

JOB NO. 2147

SHEET NO.

S4.3

DPD APPROVAL