# NGUYEN RESIDENCE

# 8937 SE 56TH STREET MERCER ISLAND, WA 98040

# **DEVELOPMENT STANDARDS**

FRONT - 20 FT. REAR - 25 FT. SIDE - 5.61 FT. MIN. / 17 FT. TOTAL (17% LOT GROSS FLOOR AREA: 40% LOT AREA MAX. BLDG. HEIGHT: 30 FT. ABOVE A.B.E. TO RIDGE

30 FT, FACADE HT, FROM DOWNHILL SIDE OF MAX. LOT COVERAGE: 40% LOT AREA FOR LOT SLOPE LESS THAN 15% LANDSCAPE AREA: 60% LOT AREA

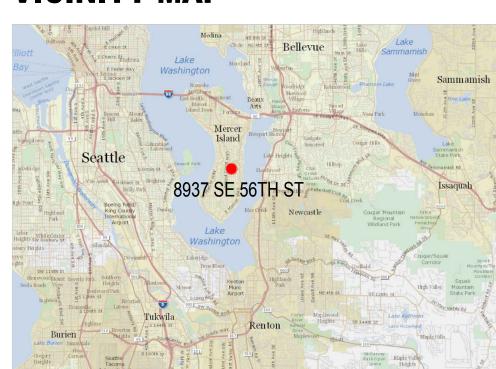
# TREE LEGEND

TREE TO BE REMOVED

ARBORIST REPORT

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# **VICINITY MAP**



# **BUILDING AREA**

FIRST FLOOR: 2648 SF (GARAGE: 595 SF) SECOND FLOOR: 1813 SF

2648 + 1813 = 4461 SF

# **GROSS FLOOR AREA**

ALLOWABLE: 40% OF 11600 = 4640 SF FIRST FLOOR: 2648 SF (GARAGE: 595 SF, ADU: 739 SF) SECOND FLOOR: 1813 SF

# **LOT COVERAGE**

ALLOWABLE LOT COVERAGE: 11600 x 40% = 4640 SF

2053 + 595 + 476 + 507 = 3631 SF OR 31.3%

# **LOT SLOPE**

1' / 153' (HORIZ, DIST, BTWN, HIGHEST & LOWEST ELEV.) = 0.0065

LOT SLOPE IS 0.65%, SO 40% LOT COVERAGE IS ALLOWED.

LOT AREA: 11600 SF BUILDING FOOTPRINT: HOUSE: 2053 SF GARAGE: 595 SF COVERED PATIO/PORCH: 476 SF

PROPOSED LOT COVERAGE

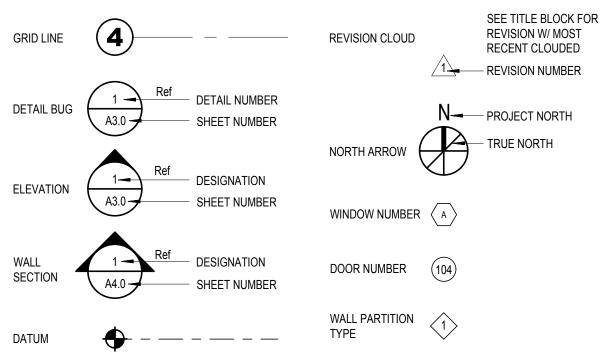
2648 + 1813 = 4461 SF OR 38.5%

DRIVEWAY: 507 SF

<b>AVERAGE BU</b>	JILDING ELEVAT	TION	
	Wall Length	Elevation Pt.	Wall Length X Elev. Pt.
Α	26.5	355	9407.5
В	5.25	355	1863.75
С	30.5	355	10827.5
D	5.25	355	1863.75
E	27	355	9585
_	•	0.55	10.105

_	86797.5 244.5	= 355	Average Building Elevation	
		244.5	2840	86797.5
	Н	35	355	12425
	G	80	355	28400
	F	35	355	12425
	E	27	355	9585
	D	5.25	355	1863.75
	С	30.5	355	10827.5
	В	5.25	355	1863.75
	^	20.5	] 333	3407.3

# **SYMBOL LEGEND**



# **INDEX OF DRAWINGS**

T1.0 COVER SHEET, SITE PLAN, PROJECT INFORMATION T1.1 GENERAL NOTES, ABBREVIATIONS, SYMBOLS

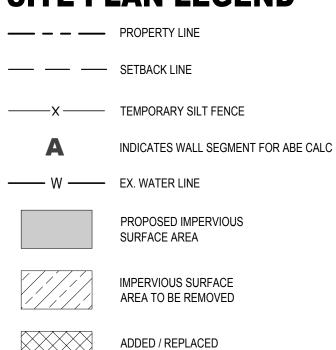
C1.0 CIVIL COVER SHEET C2.0 TESC PLAN C3.0 STORM DRAINAGE PLAN C3.1 CIVIL DETAILS AND NOTES

- A2.0 MAIN FLOOR PLAN AND NOTES A2.1 UPPER FLOOR PLAN AND NOTES A2.2 ROOF PLAN A2.3 DOOR & WINDOW SCHEDULES
- A3.0 EXTERIOR ELEVATIONS A3.1 EXTERIOR ELEVATIONS A4.0 BUILDING SECTIONS A5.0 WALL SECTIONS A5.1 WALL SECTION

A6.0 ARCHITECTURAL DETAILS

- \$1.0 GENERAL STRUCTURAL NOTES S2.0 FOUNDATION AND MAIN FLOOR FRAMING PLAN S2.1 UPPER FLOOR AND LOWER ROOF FRAMING PLAN
- S2.2 UPPER ROOF FRAMING PLAN S3.0 STRUCTURAL DETAILS
- S3.1 STRUCTURAL DETAILS

# **SITE PLAN LEGEND**



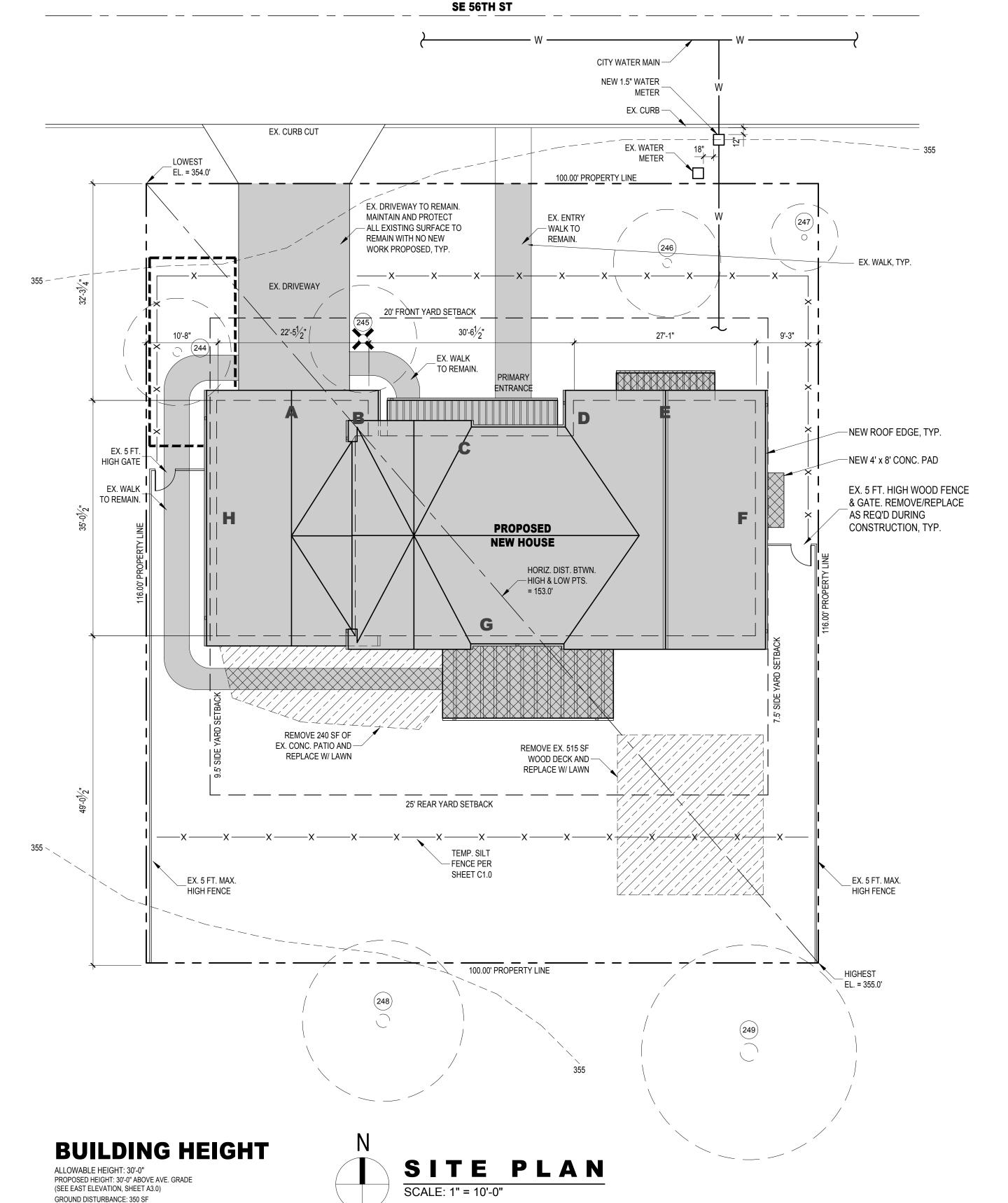
IMPERVIOUS SURFACE AREA

# **HARDSCAPE**

EXISTING HARDSCAPE AREA:	
DECKS	515 SF
WALKS, PATIOS	1288 SF
TOTAL EXISTING AREA	1803 SF
EXISTING HARDSCAPE TO REMAIN:	
DECKS	0 SF
WALKS, PATIOS	946 SF
TOTAL REMAINING EXISTING AREA	946 SF
EXISTING HARDSCAPE TO BE REMOVED:	
DECKS	515 SF
WALKS, PATIOS	342 SF
TOTAL REMOVED EXISTING AREA	857 SF
NEW / REPLACE HARDSCAPE AREA:	
DECKS	0 SF
WALKS, PATIOS	100 SF
TOTAL NEW / REPLACE AREA	100 SF
TOTAL PROPOSED HARDSCAPE AREA	1046 SF

# IMPEDVIOUS SUDEACE

IMPERVIOUS SUR	FACE
EXISTING IMPERVIOUS SURFACE AREA:	
HOUSE & ROOF	3175 SF
DECKS	515 SF
DRIVEWAY, WALKS, PATIOS	1285 SF
TOTAL EXISTING AREA	4875 SF
EXISTING IMPERVIOUS SURFACE TO REMAIN:	
HOUSE & ROOF	3175 SF
DECKS	0 SF
DRIVEWAY, WALKS, PATIOS	945 SF
TOTAL REMAINING EXISTING AREA	4120 SF
EXISTING IMPERVIOUS SURFACE TO BE REMOVED:	
HOUSE & ROOF	0 SF
DECKS	515 SF
DRIVEWAY, WALKS, PATIOS	240 SF
TOTAL REMOVED EXISTING AREA	755 SF
NEW / REPLACE IMPERVIOUS SURFACE AREA:	
HOUSE & ROOF	330 SF
DECKS	0 SF
DRIVEWAY, WALKS, PATIOS	100 SF
TOTAL NEW / REPLACE AREA	430 SF
TOTAL PROPOSED IMPERVIOUS SURFACE AREA	4550 SF



# PROJECT INFORMATION

PROJECT ADDRESS 8937 SE 56TH STREET MERCER ISLAND, WA 98040

**JURISDICTION** MERCER ISLAND

PARCEL NUMBER 667290-0440

LEGAL DESCRIPTION PARKWOOD ESTATES ADD PLAT BLOCK: 4 PLAT LOT: 4

SITE AREA 11,600 SF

ZONING R-9.6

# PROJECT DESCRIPTION

DEMOLISH AN EXISTING ONE-STORY STRUCTURE WITH ATTACHED TWO-CAR GARAGE DOWN TO THE EXTERIOR PERIMETER WALLS, GARAGE SLAB, FOUNDATION, MAIN FLOOR FRAMING, AND SHEATHING. CONSTRUCT A NEW TWO-STORY SINGLE-FAMILY RESIDENCE ON THE EXISTING FOOTPRINT WITH 4 BEDROOMS, 3 BATHS, BONUS, LAUNDRY, MUD, KITCHEN, GREAT ROOM, COVERED FRONT PORCH & REAR PATIO, PLUS AN ATTACHED ADU WITH KITCHEN, LIVING, BEDROOM, AND BATH.

TRADES UNDER SEPARATE PERMIT -MECHANICAL -ELECTRICAL -FIRE SPRINKLERS (NFPA 13R)

# **BUILDING CODE INFO**

**CODE EDITION:** 2018 IRC, 2018 WSEC RESIDENTIAL

CONSTRUCTION TYPE: VB NON-RATED

OCCUPANCY GROUP: R-3 (HOUSE & ADU) / U (GARAGE)

FIRE SPRINKLERS: NFPA 13R REQUIRED (SEPARATE PERMIT)

# WHOLE HOUSE VENTILATION:

IMC TABLE 403.4.2 REQUIREMENTS: FOR FLOOR AREAS BETWEEN 3,501 - 4,000 SF AND 4 BEDROOMS, 80 CFM. PROVIDE INTERMITTENT OPERATION PER IMC TABLE 403.4.6.5 AND OPERATE AT LEAST ONE HOUR OUT OF EVERY FOUR WITH A MINIMUM OF SIX CYCLES PER DAY. 50% RUNTIME PERCENTAGE FACTOR = 2. 80 x 2 = 160 CFM REQUIRED TO RUN 12 HOURS PER DAY MINIMUM.

OUTDOOR AIR INTAKE TO BE MECHANICAL AIR INTAKES AND BE NOT LESS THAN : FEET BELOW CONTAMINANT SOURSES WHERE SUCH SOURCES ARE LOCATED A CRAWL SPACE.

TUAN NGUYEN

MERCER ISLAND, WA 98040

HECKMAN ARCHITECTS

SEATTLE, WA 98109

STRUCTURAL: CONSULTING STRUCTURAL

SEATTLE, WA 98115 P 206.527.1288 **CONTACT: EVAN APOLIS** 

**GENERAL** EMERALD CITY CONSTRUCTION

CONTRACTOR: 14028 BEL-RED RD, STE 100

AND DRYER (VENTLESS WITH MIN. CEF OF 5.2)

P 425.495.3188 CONTACT: DMITRY LEBED

# **2018 WSEC TABLE 406.2**

MEDIUM DWELLING UNIT:	6.0 CREDITS REQUIRED
HEAT PUMP HEATING OPTION	1.0 CREDITS
1.2 - VERTICAL FENESTRATION U = 0.20	1.0 CREDITS
3.5 - AIR-SOURCED, CENTRALLY DUCTED HEAT PU WITH MINIMUM HSPF OF 11.0.	JMP 1.5 CREDITS
4.2 - HVAC EQUIPMENT AND DUCT SYSTEM INSTAI SHALL COMPLY WITH SECTION R403.3.7.	LLATION 1.0 CREDITS
5.3 - ENERGY STAR GAS OR PROPANE WATER HEA WITH MINIMUM UEF OF 0.91.	ATER 1.0 CREDITS

7.1 - ALL NEW ENERGY STAR RATED APPLIANCES: 0.5 CREDITS DISHWASHER, REFRIGERATOR, WASHING MACHINE,

6.0 CREDITS

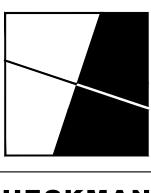
www . HECKMANarchitects . com

PERMIT SUBMISSION DATE:

04/25/2022

PLOT DATE: 6/2/2023

SHEET NUMBER:



**HECKMAN** architects

SEATTLE, WA 98109 Anheckman@gmail.com (206)478-6850

501 ROY ST, STE 232C

HECKMANarchitects.com



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WITHIN 10 FEET OF THE OPENING. INTAKE OPENINGS SHALL NOT BE LOCATED IN

# PROJECT DIRECTORY

8937 SE 56TH STREET

P 206.898.6438

501 ROY ST, SUITE 232C

P 206.478.6850 CONTACT: AARON HECKMAN

**ENGINEERING SERVICES** 

6311 17TH AVE NE

BELLEVUE, WA 98007

# **ADDDEVIATIONS**

SPEC SPECIFICATION SQUARE

S.STL STAINLESS STEEL

STRUCT'L STRUCTURAL

TREAD

TOWEL BAR

TELEPHONE

TEMPERED

TEXTURE(D)

THICK(NESS)

TOOLED JOINT

TELEVISION

T.O.C. TOP OF CONCRETE

UON UNLESS OTHERWISE NOTED

VINYL COMPOSITION TILE VERIFY IN FIELD

TONGUE AND GROOVE

S.S.D SEE STRUCTURAL DRAWINGS

S.S. SERVICE SINK

STD. STANDARD STL STEEL

SUSP. SUSPENDED

TERR TERRAZZO

THRESH. THRESHOLD

TKBD. TACKBOARD

T.O.B. TOP OF BRICK

TYPICAL

T.O.S. TOP OF STL.

UNFIN. UNFINISHED

VNR. VENEER

VRFY VERIFY

VERT. VERTICAL

VEST. VESTIBULE

V.G. VISION GRILLE

WITH

WOOD

W.H. WATER HEATER

WP('G) WATERPROOF(ING)

W.W.F. WELDED WIRE FABRIC

w/O WITHOUT

WSCT. WAINSCOT

WT. WEIGHT

V.W.C. VINYL WALL COVERING

WATER/AIR BARRIER WATER CLOSET

WRB WATER RESISTANT BARRIER

WEST, WIDE

VARNISH

STOR. STORAGE

TEMP

TEX.

T&G

THK

T.JT.

TYP

VAR

VCT

WD

AB	BREVIATIO	NS	
Ł	TERLINE	GA. GALV.	GAGE GALVANIZED
P PRO		G.B. GEN.	GRAB BAR GENERAL
	PENDICULAR IND OR NUMBER	GL. GND.	GLASS, GLAZING GROUND
Ø DIAN		GR. GWB	GRADE, GRADING GYPSUM WALL BOARD
,	HOR BOLT	GYP. GFRC.	GYPSUM
A/C AIR	CONDITIONING		
ACOUS.	ACCESSIBLE ACOUSTICAL	H.B. H.C.	HOSE BIBB HOLLOW CORE
A.D.	ACOUSTIC TILE REA DRAIN		HEAD HARDBOARD
ADD. ADJ	ADDENDUM ADJACENT	HDR HDWD	HEADER HARDWOOD
ADJUS	ADJACENT ADJUSTABLE ABOVE FINISH FLOOR	HDWR HM	
AGGR.	AGGREGATE	HORIZ	HORIZONTAL
AL., ALUN	ALTERNATE // ALUMINUM	HR HT	HOUR HEIGHT
	ANODIZED APPROXIMATE	HTG HVAC	HEATING HEATING/VENTILATING/
ARCH	ARCHITECT ARCHITECTURAL	HW	AIR CONDITIONING HOT WATER HEATER
ASPH	ASPHALT AUDIO/VISUAL	I.D.	INSIDE DIAMETER
BRD, B		INCL. INSUL	
	BETWEEN BUILDING	INT	INTERIOR
BLK. B	LOCK	INV.	INVERT
BLKG BM	BLOCKING BEAM	JAN. JST	JANITOR JOIST
B.M. BOT	BENCH MARK BOTTOM	JT	JOINT
-	BEARING BRONZE	KIT.	KITCHEN KNOCKOUT
BSMT	BASEMENT	KPL.	KICKPLATE
	BUILT UP ROOF	LAM.	LAMINATE(D)
CAB. C.B.	CABINET CATCH BASIN	LAV.	LAVATORY
CMNT CFR	CATCH BASIN CEMENT CERAMIC	L.H. L. L.L.	LEFT HAND LENGTH, LONG LIVE LOAD
C.G.	CORNER GUARD	LT.	LIGHT
C.I. C	CHAMFER AST IRON CAST IN DIACE (CONCRETE)	LTL. LVR.	LOUVER
C.I.P. CIRC.	CAST-IN-PLACE(CONCRETE) CIRCLE CONTROL JOINT	MARB.	MARBLE
CLG, CLN	IG CEILING	MAX	MASONRY MAXIMUM
	CLEAR(ANCE) CONCRETE MASONRY UNIT		MEDICINE CABINET MECHANIC(AL)
CNTR	COUNTER		
COL	COUNTER LEAN OUT COLUMN	MEZZ.	MEDIUM MEMBRANE MEZZANINE
	CONCRETE CONNECTION		MANUFACTURE(R) MINERAL FIBER BD.
CONT	CONSTRUCTION CONTINUOUS	MH. MIN	MANHOLE MINIMUM
CONTR.	CONTRACTOR	MISC	MINIMUM MISCELLANEOUS MOUNTED METAL
•	CORRIDOR CARPET	MTL	METAL
CSMT	COURSING CASEMENT		MULLION
C.T. CTR.	CERAMIC TILE CENTER	N. N.I.C.	NORTH NOT IN CONTRACT
CSK. CU FT	CENTER COUNTER SINK CUBIC FOOT	NO. NOM.	NORTH NOT IN CONTRACT NUMBER NOMINAL
CU YD	CUBIC YARD	N.T.S.	NOT TO SCALE
D/B DEMO	DESIGN BUILD DEMOLITION	O.A.	OVERALL ON CENTER
	DOUBLE DEAD LOAD	O.D.	OUTSIDE DIAMETER OVERFLOW ROOF DRAIN
DETL	DETAIL	OH.	OVERHEAD
D.F. D.H.	DRINKING FOUNTAIN DOUBLE HUNG	OPNG OPP	
DIAG DIAM.	DIAGONAL DIAMETER	O.T.S.	OPEN TO STRUCTURE
DIAM. DIM DIV.	DIMENSION DIVISION		PASSENGER PANIC BAR
DN	DOWN	P.BD.	PARTICLE BOARD
DPR.	DAMPPROOFING DISPENSER	PERF.	PRECAST CONCRETE PERFORATE(D)
DR DS	DOOR DOWNSPOUT DRAIN TILE	Pl	PERIMETER PLATE
D.T. DWG	DOWNSPOUT DRAIN TILE DRAWING	P.L. P I AM	PROPERTY LINE PLASTIC LAMINATE
	DRAWER	PLAS.	PLASTER
(E)	EXISTING	PNL	PLYWOOD PANEL
E. EA	EACH EACH	P.O. PR.	PURCHASE ORDER PAIR
E.I.F.S.	EXTERIOR INSULATED FINISH SYSTEM	P.S.I.	POUNDS PER SQ. INCH
FLEV	EXPANSION JOINT ELEVATION	PT P.T.	PRESSURE TREATED
ELEC('L)	ELECTRIC(AL)	PD.	PLANTER DRAIN PARTITION
ENCL.	ENCLOSE(URE) ENGINEER	PVMT	PAVEMENT PAPER TOWEL DISPENSER
EQ	EQUAL		
EQUIP ESC.	EQUIPMENT ESCALATOR	Q.T.	QUARRY TILE
EST. EXCAV.	ESTIMATE EXCAVATE	R. R.A.	RISER RETURN AIR
EXH.	EXHAUST EXISTING	RAD. R.T.	RADIUS
EXP.	EXPANSION	R.D.	ROOF DRAIN
FBOIC	EXTERIOR FURNISHED BY OWNER	REFL.	REFERENCE REFLECTED
FBOIO	EXTERIOR FURNISHED BY OWNER INSTALLED BY CONTRACTOR FURNISHED BY OWNER INSTALLED BY OWNER	REG.	REFRIGERATOR REGISTER
FCB	FIBER CEMENT BOARD	REQ'D.	REQUIRED
F.D. FDN FOU	FLOOR DRAIN NDATION	REV R.H.	REVISION RIGHT HAND
F.E. F.E.C.	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET	RM RO	ROOM ROUGH OPENING
F.F.	FACTORY FINISH FINISH(ED)	R.O.W.	RIGHT OF WAY
	FLOOR(ING)	RCP	REFLECTED CLNG PLAN
FLUOR.	FLASHING FLUORESCENT	SAM S.	SELF ADHERED MEMBRANE SOUTH
F.O.S. F.O.C.	FACE OF STUDS FACE OF CONCRETE	S.C. S.C.D	SOLID CORE SEE CIVIL DRAWINGS
	FACE OF FINISH	SCHD'L S.D.	
F.O.M.	FACE OF MASONRY	SLNT	SEALANT
FP. FT	FIREPROOF FOOT, FEET	SECT. SF	SECTION SQUARE FEET
FTG F.T.V.	FOOTING FIXED SECURITY TELEVISION	SH. SHT.	SHELF SHEET
FURR FUT.	FURRED, FURRING FUTURE	SHTG SIM	SHEATHING SIMILAR
F.R.G. FV	FIBERGLASS REINF. GYPSUM FIELD VERIFY	SL. S.L.D	SLOPE SEE LANDSCAPE DRAWING
F.W.C.	FABRIC WALLCOVERING	SP	STAND PIPE

# **ELECTRICAL NOTES**

- 1. FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM AND FIXTURE LAMPS AS REQUIRED.
- ARCHITECTURAL DRAWINGS DETERMINE LOCATION AND TYPE (ARCHITECT TO VERIFY W/ ENGINEER) OF ALL OUTLETS AND TAKE PRECEDENCE OVER ALL OTHERS, UON, ELECTRICAL ENGINEER'S POWER PLAN SHALL GOVERN THE WIRING LAYOUT, PANEL LOCATIONS, AND INSTALLATION IN COMPLIANCE WITH ALL LAWS APPLICABLE AND ENFORCED BY GOVERNING AUTHORITIES.
- 3. OUTLETS SHOWN BACK TO BACK ON PARTITION WALLS SHALL BE OFFSET 1'-0" MAXIMUM, OR MOUNTED AT DIFFERENT HEIGHTS IF INDICATED.
- 4. FURNITURE, IF SHOWN, IS FOR REFERENCE ONLY AND IS NOT IN CONTRACT,
- 5. COORDINATE ALL WORK RELATED TO EQUIPMENT WITH MANUFACTURER'S
- 6. ALL FLOOR SLAB PENETRATIONS FOR CONDUIT OR PLUMBING LINES SHALL BE FULLY PACKED & SEALED IN ACCORDANCE WITH THE APPLICABLE
- 7. UPON COMPLETION OF OUTLET LAYOUT, NOTIFY THE ARCHITECT. ARCHITECT SHALL SITE VERIFY ALL OUTLET LOCATIONS PRIOR TO COMMENCEMENT OF CORING OR OUTLET INSTALLATION.

BUILDING AND FIRE CODES.

RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS.

- 8. FURNISH AND INSTALL ONLY UNDERWRITERS LABORATORIES, INC. (UL) LABELED DEVICES THROUGHOUT.
- 9. INSTALL WALL MOUNTED OUTLETS 18 INCHES ABOVE FINISHED FLOOR, U.O.N. HEIGHTS SHALL BE DETERMINED FROM FINISHED FLOOR TO THE CENTERLINE OF COVERPLATE, INSTALLED VERTICALLY, GROUNDING POLE AT BOTTOM, UON.
- 10. MAINTAIN A 4-INCH HORIZONTAL CLEARANCE IN ALL DIRECTIONS, MIN. FROM EDGE OF COVERPLATE, FOR WALL MOUNTED OUTLETS, OR FROM EDGE OF MONUMENT FOR FLOOR MOUNTED OUTLETS, WHEN ADJACENT TO A WALL, COLUMN, OR SIMILAR ELEMENTS, UON.
- 11. INDICATED DIMENSIONS ARE TO THE CENTER OF THE COVERPLATE OR MONUMENT; CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER, UON.; GANG COVERPLATES SHALL BE ONE-PIECE TYPE,
- 12. ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION OF WALLCOVERINGS & CARPET SPECIFIED.
- 13. "H" INDICATES THAT AN OUTLET SHALL BE MOUNTED HORIZONTALLY.
- 14. ALL SWITCHES AND DIMMERS SHALL BE LOCATED 46" ABOVE FINISHED FLOOR TO CENTER OF SWITCH UON. MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND FINISHED WITH ONE COVER PLATE UON.
- 15. RECEPTACLE SPACING SHALL BE A MAXIMUM OF 12'-0"
- ALL REQUIRED SMOKE ALARMS IN THE ADU AND IN PRIMARY RESIDENCE ARE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ANY ONE ALARM WILL ACTIVATE ALL OTHER ALARMS IN THE STRUCTURE.

# **DIMENSION NOTES**

- 1. DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.
- 2. ALL DIMENSIONS ARE TO FACE OF FRAMING FOR NEW CONSTRUCTION AND FINISHED FACE OF EXISTING CONSTRUCTION, UNLESS OTHERWISE NOTED. CONTACT ARCHITECT FOR CLARIFICATIONS IF REQUIRED.
- 3. DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE ACCURATELY MAINTAINED, AND SHALL NOT VARY MORE THAN ± 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT.
- 4. DIMENSIONS MARKED ± MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION, UON.
- 5. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION LAYOUT, NOTIFY ARCHITECT. VERIFICATION OF THE LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION.
- 6. REFER TO REFLECTED CEILING PLANS FOR SOFFITS, CEILING HEIGHTS AND PLENUM BARRIER LOCATIONS.
- 7. DIMENSIONS LOCATING DOORS ARE TO THE INSIDE EDGE OF JAMB, UON.
- 8. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME

# **ENERGY CODE NOTES:**

- 1. ALL NEW CONSTRUCTION TO COMPLY WITH ALTERATION REQUIREMENTS IN WSEC 2018 RESIDENTIAL SECTIONS.
- 2. SEE FLOOR PLAN NOTES FOR MINIMUM R-VALUES AND MAXIMUM U-FACTORS.
- 3. SEE DOOR AND WINDOW SCHEDULES FOR GLAZING SPECS.
- 4. SEE T1.0 FOR WHOLE HOUSE VENTILATION REQUIREMENTS

**SECTION R402.4.3** 

Wood Frame Wall

WINDOWS, SKYLIGHTS, AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT, PER 2018 WSEC

<b>~~~~</b>	<b>~~~</b>	~~~~
	All Climate Zones (Table R402.1.1)	
	R-Value <sup>a</sup>	U-Factor <sup>a</sup>
Fenestration U-Factor <sup>b</sup>	n/a	0.30
Skylight U-Factor <sup>b</sup>	n/a	0.50
Glazed Fenestration SHGC b,e	n/a	n/a
Ceiling <sup>e</sup>	49 j	0.026

- Below Grade Wall 10/15/21 int + TB Slab d,f R-Value & Depth R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity that is less than the label or design thickness of the insulation, the compressed R-value of the insulation from Appendix Table A101.4 shall not be less than the R-value specified in the table.
- The fenestration U-factor column excludes skylights. "10/15/21 +5TB" means R-10 continuous insulation on the exterior of the wall, or R-15 continuous insulation on the interior of the wall, or R-21 cavity insulation plus a thermal break between the slab and the basement wall at
- the interior of the basement wall. "10/15/21 +5TB" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the wall. "5TB" means R-5 thermal break between floor slab and basement wall. R-10 continuous insulation is required under heated slab on grade floors. See Section R402.2.9.1.
- For single rafter- or joist-vaulted ceilings, the insulation may be reduced to R-38 if the full insulation depth extends over the top plate of the exterior wall.
- R-7.5 continuous insulation installed over an existing slab is deemed to be equivalent to the required perimeter slab insulation when applied to existing slabs complying with Section R503.1.1. If foam plastic is used, it shall
- For log structures developed in compliance with Standard ICC 400, log walls shall meet the requirements for climate zone 5 of ICC 400. Int. (intermediate framing) denotes framing and insulation as described in Section A103.2.2 including standard framing 16 inches on center, 78% of the wall cavity insulated and headers insulated with a minimum of R-10

meet the requirements for thermal barriers protecting foam plastics.

# **DEMOLITION NOTES**

- 1. UON, ALL EXTERIOR WINDOWS AND SKYLIGHTS TO BE REPLACED PER GLAZING SCHEDULE
- 2. ALL REMOVED EXTERIOR STONE TO BE SALVAGED FOR POSSIBLE REUSE.
- 3. ASBESTOS & HAZARDOUS MATERIALS: FEDERAL, STATE & LOCAL REGULATIONS REQUIRE THAT ALL ASBESTOS & OTHER HAZARDOUS MATERIALS IN A BUILDING BE REMOVED PRIOR TO STARTING THE DEMOLITION WORK. CONTRACTOR TO OBTAIN REQUIRED CERTIFICATION THAT THERE ARE NO HAZARDOUS MATERIALS PRESENT IN THE STRUCTURE.
- 4. UON, ALL DEBRIS RESULTING FROM DEMOLITION WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR & SHALL BE REMOVED & DISPOSED OF IN A LEGAL MANNER OFF OF THE PROJECT PROPERTY.
- 5. SEE MEP (UNDER SEPARATE PERMIT), FIRE PROTECTION (UNDER SEPARATE PERMIT), ELECTRICAL (UNDER SEPARATE PERMIT) & COMMUNICATION (UNDER SEPARATE PERMIT) DOCUMENTS FOR DEMOLITION RELATED TO THOSE
- THE CONTRACTOR SHALL PROTECT THE EXISTING BUILDING & IMPROVEMENTS WITHIN THE AREAS OF OPERATION & TAKE CARE TO PROTECT THE NEIGHBORING SPACES WHERE EXISTS. THE CONTRACTOR SHALL ASSUME ALL FINANCIAL RESPONSIBILITY FOR THE IMMEDIATE RESTORATION, REPAIR, OR REPLACEMENT OF DAMAGED ITEMS OR AREAS TO RESTORE THEM TO MATCH EXISTING CONDITIONS
- 7. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO ADEQUATELY SECURE THE PREMISES AND/OR STORED MATERIALS FROM TRESPASSING, THEFT & VANDALISM.
- 8. DEMO ALL FLOORING FINISHES IN AREAS OF WORK UON; PATCH & PREPARE EXISTING FLOORS IN AREAS TO RECEIVE NEW FLOORING TO PROVIDE FOR CONTINUOUS "LEVEL" SURFACE FOR NEW FLOORING.
- 9. DO NOT REMOVE ANY BEARING WALLS, COLUMNS OR OTHER STRUCTURAL MEMBERS NOT DESIGNATED IN STRUCTURAL DOCUMENTS. NOTIFY ARCHITECT IMMEDIATELY IF AREAS OF DEMO UNCOVER ANY EXISTING STRUCTURAL COMPONENTS NOT PREVIOUSLY IDENTIFIED.
- 10. REMOVE ALL WALLCOVERING INCLUDING GWB ON WALLS TO REMAIN.
- 11. PRIOR TO REMOVAL OF ANY STRUCTURAL COMPONENTS, THE CONTRACTOR SHALL PROVIDE SHORING AS REQUIRED TO TEMPORARILY SUPPORT ALL LOADS UNTIL NEW FRAMING IS INSTALLED AS DOCUMENTED AND SPECIFIED. IF THE CONTRACTOR FINDS THE EXISTING CONDITIONS TO BE OTHER THAN DOCUMENTED OR IN CONFLICT WITH THE DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION. PROCEEDING WITHOUT NOTIFICATION INDICATES FULL ACCEPTANCE OF CONDITIONS AND RESPONSIBILITY IF WORK IS NOT IN CONFORMANCE WITH CONTRACT DOCUMENTS.
- 12. ALL EXISTING ELECTRICAL OUTLETS, SWITCHES AND FACE PLATES TO BE REPLACED PER SEPARATE PERMIT.

# **FINISH NOTES**

- PROVIDE PAINT APPLICATION APPROPRIATE TO THE SUBSTRATE TO WHICH IT IS TO BE APPLIED.
- 2. ALL EXPOSED GWB SURFACES ARE TO RECEIVE NEW PAINT FINISH U.O.N. PREP ALL SURFACES AS REQUIRED FOR NEW PAINT FINISH. PROVIDE ONE PRIME COAT PLUS TWO FINISH COATS
- 3. CHANGES IN FLOOR MATERIALS THAT OCCUR AT FRAMED DOOR OPENINGS SHALL OCCUR AT THE CENTERLINE OF THE DOOR IN THE CLOSED POSITION.
- 4. CARPET INSTALLATION TO MEET THE GUIDELINES OF THE CARPET AND RUG INSTITUTE-CRI CARPET INSTALLATION STANDARD-CURRENT EDITION.
- PROVIDE FINISHED SCRIBE STRIPS AND FINISHED MILLWORK EDGES TO CREATE A FINISHED REVEAL CONDITION WHERE MILLWORK COUNTERS. CABINETS, ETC. "ABUT" ADJACENT PARTITION CONSTRUCTION. ALL EXPOSED REVEAL SURFACES AND EDGES TO HAVE SAME FINISH AS THE CASEWORK ITEM THEY "ABUT".

# **REFLECTED CEILING NOTES:**

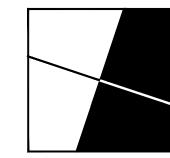
- COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM. ETC.. NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS.
- 2. FURNISH AND INSTALL ALL ASSOCIATED TRIM AND SEISMIC BRACING AS
- 3. PROVIDE CEILING ACCESS AS REQUIRED FOR EQUIPMENT AND SYSTEM MAINTENANCE, AND MATCH ADJACENT CEILING FINISH UON.
- 4. ALL SOFFITS AND CEILING HEIGHTS ARE DIMENSIONED FROM TOP OF FINISHED FLOOR TO BOTTOM OF FINISHED GYPSUM BOARD OR CEILING TILE AND SHALL ALLOW FOR THICKNESS OF ALL FLOOR FINISHES.
- 5. THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING HEIGHTS, LIGHT TYPES, LIGHT FIXTURES, AND ASSOCIATED ITEMS.
- 6. ALL SPECIFIC INFORMATION CONCERNING INSTALLATION FOR VARIOUS ABOVE-CEILING ELEMENTS ARE TO BE DESIGN BUILD, DOCUMENTATION BY OTHERS - PERMITTED SEPARATELY.
- 7. NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH DUCTS, STRUCTURES, HVAC, AND/OR (E)CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECT'S LOCATION & ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO FRAMING.
- 8. SUBMIT GRILLE, THERMOSTAT, AND OTHER FIXTURE AND ELEMENT LAYOUTS TO THE ARCHITECT FOR REVIEW AT LEAST 2 WEEKS PRIOR TO INSTALLATION.
- SEE CEILING NOTES ON PLANS FOR ADDITIONAL PROJECT-SPECIFIC INFORMATION.

# **GENERAL NOTES**

- DO NOT SCALE DRAWINGS.
- 2. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE WASHINGTON STATE BUILDING CODE, THE WASHINGTON STATE ENERGY CODE, AND OTHER APPLICABLE CODES, RULES AND REGULATIONS OF JURISDICTIONS
- 3. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, CODE REGULATIONS, OR RULES OF JURISDICTIONS HAVING AUTHORITY.

6. DESIGN-BUILD SERVICES SUCH AS ELECTRICAL, PLUMBING AND MECHANICAL SHALL BE CONDUCTED UNDER SEPARATE PERMITS, FILED AND SECURED BY THE GENERAL CONTRACTOR OR DESIGN-BUILD SUB-CONTRACTOR.

- 4. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER- PROVIDED INFORMATION AND SITE CONDITIONS, INCLUDING TAKING FIELD MEASUREMENTS AS
- 5. THE CONTRACTOR SHALL PAY FOR AND SECURE ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, WITH THE EXCEPTION OF THE GENERAL BUILDING PERMIT
- AND SPECIAL INSPECTIONS REQUIRING A PROFESSIONAL INSPECTION AND TESTING SERVICE.
- 7. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW BY THE ARCHITECT AND STRUCTURAL ENGINEER OF RECORD.
- 8. THE CONTRACTOR SHALL ASSUME THAT THE SAME FINISH MATERIAL SHALL BE USED FOR ALL SURROUNDING, ABUTTING, AND ADJOINING SURFACES FOR AREAS AND ITEMS NOTED ON THE DRAWINGS, UNLESS OTHERWISE NOTED. AT NO TIME
- SHALL THE CONTRACTOR CONSIDER, BID, OR INSTALL A DIFFERENT MATERIAL OR MATERIAL OF LESSER QUALITY OR TYPE THAN THAT WHICH IS INDICATED ON THE DRAWINGS OR SPECIFICATIONS. QUESTIONS RELATING TO THE SPECIFIC MATERIALS TO BE USED SHALL BE DIRECTED TO THE ARCHITECT PRIOR TO THE BIDDING AND/OR CONSTRUCTION OF WORK IN QUESTION. 9. SITE DRAINAGE SHALL CONFORM TO ALL LOCAL CODES, REGULATIONS, AND ORDINANCES. ALL ROOF DRAINS, FOUNDATIONS DRAINS, AND SITE DRAINAGE SYSTEM SHALL BE TIGHT-LINED UNDERGROUND TO THE PUBLIC STORM WATER SYSTEM, AN
- APPROVED STORM WATER RETENTION SYSTEM, OR TO OTHER LOCATION(S) AS MAY BE INDICATED ON THE DRAWINGS. DO NOT CONNECT THE ROOF DRAINS AND SITE DRAINAGE SYSTEM TO THE FOUNDATION WALL OR RETAINING WALL PERIMETER FOOTING DRAINS. ALL SITE HARDSCAPE SURFACES SHALL HAVE A MINIMUM SLOPE OF 1/4" PER FOOT TO DRAINAGE SYSTEMS, UNLESS OTHERWISE NOTED ON THE PLANS. 10. PROVIDE A MIN. 4" DIA ROUND RIGID PERFORATED PERIMETER FOOTING DRAIN IN GRAVEL FILL WITH UNWOVEN FILTER FABRIC WRAP AT THE EXTERIOR FACE OF ALL FOUNDATION WALL FOOTINGS PER IRC SECTION R405.1. LOCATE THE BOTTOM OF
- THE DRAIN PIPE AT THE LOWEST POINT OF THE WALL FOOTING. TIGHT LINE ALL OF THE PERIMETER DRAINS TO AN APPROVED DISCHARGE, WHEN STORM SEWERS ARE NOT AVAILABLE. DO NOT CONNECT THE ROOF DRAINS AND SITE DRAINAGE SYSTEM TO THE FOUNDATION WALL OR RETAINING WALL PERIMETER FOOTING DRAINS.
- 11. PROVIDE A 6" LAYER OF PEA GRAVEL UNDER ALL INTERIOR CONCRETE SLAB-ON-GRADE FLOORS. PROVIDE A MIN. 6 MIL VAPOR BARRIER ON TOP OF THE PEA GRAVEL FILL. PROVIDE A 2" THICK MOISTENED SAND FILL BED OVER THE VAPOR BARRIER AND UNDER THE CONCRETE SLAB. PROVIDE A 6" LAYER OF PEA GRAVEL OR COMPACTED GRAVEL FILL UNDER ALL EXTERIOR CONCRETE SLABS.
- 12. APPROVED GRAVEL FILL CONSISTS OF WASHED, CLEAN, FREE-DRAINING GRAVEL RANGING FROM 1/4" TO 3/4" IN SIZE.
- 13. PER IRC SECTION R602.8, PROVIDE FIRE BLOCKING AT ALL PLUMBING PENETRATIONS AND AT 10'-0" OC INTERVALS (HORIZONTALLY AND VERTICALLY) IN ALL WALLS. PROVIDE FIRE STOPS BETWEEN ALL INTERCONNECTIONS OF CONCEALED HORIZONTAL AND VERTICAL SPACES. PROVIDE FIRE STOPS IN ALL OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES, AND SIMILAR OPENINGS WHICH AFFORD PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIALS. FIRE BLOCK CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF A RUN, AND BETWEEN STUDS ALONG, AND IN LINE WITH, THE RUN OF STAIRS (IF THE WALLS UNDER THE STAIRS ARE UNFINISHED). FIRE BLOCK AT ALL OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES, FOR FACTORY-BUILT CHIMNEYS. WHERE WOOD SLEEPERS ARE USED FOR LAYING WOOD FLOORING ON FIRE-RESISTIVE FLOORS, THE SPACE BETWEEN THE FLOOR SLAB AND THE UNDERSIDE OF THE WOOD FLOORING SHALL BE FILLED WITH NON COMBUSTIBLE MATERIAL AND FIRE-BLOCKED SO THAT THERE WILL BE NO SPACES GREATER THAN 100 SQUARE FEET. SUCH SPACES SHALL BE FILLED SOLIDLY UNDER ALL PERMANENT PARTITIONS SO THAT THERE WILL BE COMMUNICATION UNDER THE FLOOR BETWEEN ADJOINING ROOMS.
- 14. PROVIDE A FIRE SEPARATION BETWEEN THE HABITABLE SPACES OF THE HOUSE AND THE GARAGE. SUCH SEPARATION AT WALLS SHALL CONSIST OF ONE LAYER OF 5/8" THICK TYPE 'X' GWB, TAPED AND FINISHED, ON THE GARAGE SIDE OF THE COMMON WALL, AND SHALL EXTEND FROM THE TOP OF THE GARAGE CONCRETE SLAB OR FOUNDATION WALL TO THE BOTTOM OF THE PROTECTED CEILING ASSEMBLY, OR TO THE BOTTOM OF ROOF SHEATHING, UNLESS OTHERWISE NOTED ON THE DRAWINGS. NAIL GWB TO THE STUDS (SPACED AT 16" OC), WITH 6d COATED NAILS, 1 7/8" LONG, .0195" SHANK, 1/4" HEADS, SPACED AT 7" O.C.. STAGGER PANEL JOINTS. ASSEMBLY SHALL MEET GYPSUM ASSOCIATION REQUIREMENT #WP 3605. PROTECTED CEILING ASSEMBLY SHALL CONSIST OF (2) LAYERS OF 1/2" THICK TYPE X GWB APPLIED PERPENDICULAR TO THE FLOOR JOISTS ABOVE WITH ALL JOINTS BETWEEN LAYERS OFFSET 2'-0". ATTACH BASE LAYER WITH 1 1/4" TYPE "S" DRYWALL SCREWS AT 2'-0" O.C., AND FACE LAYER WITH 1 7/8" TYPE "S" DRYWALL SCREWS AT 1'-0" O.C.. IN ADDITION, 1 1/2" TYPE "G" DRYWALL SCREWS SPACED AT 1'-0" O.C. SHALL BE PLACED 3" BACK FROM EACH SIDE OF FACE LAYER END JOINT. TRUSS FRAMING SHALL HAVE A MINIMUM OF 20 GA CONNECTOR PLATES WITH A SAFETY FACTOR OF 4. ASSEMBLY SHALL MEET ALL GYPSUM ASSOCIATION REQ'S.
- 15. ALL UNDER-FLOOR AREAS WITHIN THE FOUNDATION PERIMETER SHALL BE ACCESSIBLE BY AN UNOBSTRUCTED MINIMUM CLEAR OPENING OF 18" x 24", PER IRC SECTION R408.3.
- 16. UNCONDITIONED UNDER-FLOOR AREAS SHALL BE VENTILATED BY AN APPROVED MECHANICAL MEANS. OR BY OPENINGS IN THE EXTERIOR FOUNDATION WALLS. SUCH OPENINGS SHALL HAVE A NET UNIT AREA OF NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA. OPENINGS SHALL HAVE AN APPROVED INSECT SCREEN, AND SHALL BE LOCATED AS CLOSE TO CORNERS AS IS PRACTICAL, AND SHALL PROVIDE CROSS-VENTILATION OF THE SPACE. THE REQUIRED AREA OF SUCH OPENINGS SHALL BE APPROXIMATELY EQUALLY DISTRIBUTED ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES PER IRC SECTION R408.2.
- 17. PROVIDE A MINIMUM 22"x30" UNOBSTRUCTED ACCESS PANEL TO ALL ROOF ATTIC AREAS WITH A NET CLEAR HEIGHT OF 30" OR GREATER FROM THE TOP OF THE CEILING JOISTS TO THE BOTTOM OF THE RAFTERS PER IRC SECTION R807.1.\
- 18. PROVIDE ATTIC VENTILATION OF 1/150 OF ATTIC AREA IF ALL VENTILATION IS LOCATED IN THE SOFFIT, OR 1/300 IF HALF OF THE REQUIRED VENTILATION IS LOCATED AT THE SOFFIT AND HALF IS LOCATED A MINIMUM OF 3'-0" ABOVE THE SOFFIT VENTILATION, OR WHERE THERE IS A CONTINUOUS PVA OR POLY FILM VAPOR BARRIER AT THE CEILING, PER IRC SECTION 806.2. SEE PLANS FOR ACTUAL CALCULATIONS AND REQUIREMENTS.
- 19. APPLICATION AND INSTALLATION OF ALL INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH ALL STATE OF WASHINGTON THERMAL INSULATION STANDARDS.
- 20. WHEN HVAC OR WATER HEATERS ARE PLACED IN AN AREA SUSCEPTIBLE TO MOISTURE, INCLUDING BUT NOT LIMITED TO A GARAGE, ALL PILOT LIGHTS, BURNERS, SWITCHES, OR HEATING ELEMENTS SHALL BE LOCATED A MINIMUM OF 18" ABOVE THE FLOOR OR SLAB. PROVIDE SEISMIC ANCHOR STRAPS TO THE WALL FOR ALL WATER HEATERS.
- 21. GUARDRAILS SHALL BE PLACED AT ALL UNENCLOSED FLOOR AREAS AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS, RAMPS, BALCONIES, DECKS OR PORCHES WHICH ARE MORE THAN 30" ABOVE GRADE OR FLOOR BELOW. THE TOP OF GUARDRAILS SHALL NOT BE LESS THAN 36" IN HEIGHT ABOVE THE FINISHED WALKING SURFACE. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SPACED SUCH THAT A 4" DIAMETER SPHERE CAN NOT PASS THROUGH. THE TRIANGULAR OPENINGS FORMED BY THE STAIR RISER/TREAD AND THE BOTTOM FLEMENT OF A GUARDRAIL AT THE OPEN SIDE OF THE STAIR MAY BE OF A SIZE SUCH THAT A 6" DIAMETER SPHERE CAN NOT PASS. THROUGH, PER IRC SECTION 312.2. CONTRACTOR SHALL DEMONSTRATE TO BUILDING INSPECTOR THAT RAIL IS CAPABLE OF WITHSTANDING 200LB FORCE IN ANY DIRECTION AT THE TOP RAIL
- 22. PER IRC SECTION R311.5.6, ONE HANDRAIL SHALL BE PROVIDED AT EVERY STAIRWAY HAVING FOUR OR MORE RISERS. PROVIDE TWO HANDRAILS WHERE INDICATED ON THE PLANS. HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE STAIRS. TOP HANDRAILS SHALL BE PLACED AT 36" ABOVE THE NOSING OF THE TREADS. BUT NOT LESS THEN 34" OR MORE THAN 38". HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS SECTION DIMENSION, SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS, AND SHALL TERMINATE INTO WALLS OR NEWEL POSTS. HANDRAILS ADJACENT TO WALLS SHALL HAVE A MINIMUM CLEARANCE OF 1 1/2" BETWEEN THE HANDRAIL AND WALI
- 23. THE ROOFING INSTALLER MUST BE APPROVED BY THE ROOFING PRODUCT MANUFACTURER AND THE ARCHITECT. INSTALL ROOFING ONLY WHEN SATISFACTORY CONDITIONS PREVAIL. APPLY NO ROOFING WHEN MOISTURE IN ANY FORM IS PRESENT. INSTALL ALL ROOFING STRICTLY PER MANUFACTURER'S INSTRUCTIONS. RECOMMENDATIONS. AND SPECIFICATIONS. FLASH AND COUNTER-FLASH ALL ROOF PENETRATIONS. ROOFING SHALL CONFORM TO IRC SECTION R905.
- 24. PROVIDE A MINIMUM 26 GA GALVANIZED STEEL FLASHING AND COUNTER-FLASHING AT ALL ROOF PENETRATIONS AND INTERSECTIONS OF ROOF PLANES TO VERTICAL SURFACES AND AT PARAPET CAPS, UNLESS OTHERWISE NOTED ON PLANS AND SPECIFICATIONS. PROVIDE SHEET METAL DRIP CAPS AND FLASHING AT ALL HORIZONTAL INTERRUPTIONS OF SIDING, CHANGES FROM ONE SIDING MATERIAL TO ANOTHER, AND OVER ALL DOOR AND WINDOW HEADS NOT PROTECTED BY AN OVERHANG WITHIN 6" OF THE HEAD, UNLESS OTHERWISE NOTED ON PLANS AND SPECIFICATIONS.
- 25. PER IRC SECTION R310, EGRESS SHALL BE PROVIDED FROM EACH SLEEPING ROOM. EGRESS WINDOWS SHALL BE PROVIDED WHERE DOORS WHICH EXIT DIRECTLY TO THE EXTERIOR FROM THE SLEEPING ROOM ARE NOT PROVIDED. EGRESS WINDOW UNITS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24", AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". THE FINISHED SILL HEIGHT SHALL BE NO MORE THAN 44" ABOVE THE FLOOR.
- 26. VENT ALL CLOTHES DRYERS, EXHAUST FANS, AND COOKTOP/RANGE HOODS TO THE EXTERIOR OF THE BUILDING PER IRC SECTION M1501 M1506. EXHAUST TERMINATIONS SHALL EXIT THE STRUCTURE WITH CLEARANCES MEETING SRC M1506.3: NOT LESS THAN 3 FEET FROM PROPERTY LINES, 3 FEET FROM OPERABLE OPENINGS INTO THE BUILDINGS AND 10 FEET FROM MECHANICAL INTAKES.
- 27. TILE OR OTHER NON-ABSORBENT SURFACE MATERIAL FOR SHOWERS SHALL EXTEND A MINIMUM OF 72" ABOVE THE DRAIN INLET AND HAVE A WATER-RESISTANT BACKING PER IRC SECTION R307.2
- 28. ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD.
- 29. ALL NEW GLAZING SHALL BE IN COMPLIANCE WITH IRC SECTION R308 AND WASHINGTON STATE SAFETY GLASS LAW.
- 30. PER IRC R308.4, GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS, OR SHATTER-RESISTANT PLASTIC. THE FOLLOWING AREAS SHALL BE CONSIDERED SPECIFIC HAZARD AREAS: GLAZING IN SWINGING DOORS EXCEPT JALOUSIES; GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD DOOR ASSEMBLIES; GLAZING IN STORM DOORS; GLAZING IN ALL UNFRAMED SWINGING DOORS; GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS - OR ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE; GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR AND THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET AND THE EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR AND THERE IS ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING; GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT ABOVE A WALKING SURFACE; GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS, WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE AND IS WITHIN 60" HORIZONTALLY OF THE WATER'S EDGE; GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" HORIZONTALLY OF THE WALKING SURFACE; GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM
- 31. PER IRC SECTION R308.6.2, GLAZING IN ALL FACTORY-BUILT SKYLIGHTS SHALL BE EITHER LAMINATED GLASS WITH A .015" POLYVINYL BUTYRAL INTERLAYER, (FOR GLASS PANELS 16 SQ FT OR LESS IN AREA LOCATED SUCH THAT THE HIGHEST POINT OF THE GLASS IS NOT MORE THAN 12" ABOVE THE WALKING SURFACE), TEMPERED GLASS, HEAT-STRENGTHENED GLASS, WIRED GLASS, OR APPROVED PLASTIC. LOCATIONS IN EXCESS OF 12' FROM WALKING SURFACE THE LAMINATED GLASS INTERLAYER SHALL BE 0.030 INCHES THICK.
- 32. ALL NEW EXTERIOR WALL GLAZING SHALL BE DOUBLE-PANED, AND SHALL COMPLY WITH THE 2018 WASHINGTON STATE ENERGY CODE.
- 33. INSTALL ALL FACTORY-BUILT FIREPLACES, STOVES, AND RELATED ASSEMBLIES PER IRC SECTION R1004. DO NOT ALTER STRUCTURAL FRAMING TO ACCOMMODATE THESE INSTALLATIONS WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT. AND THE STRUCTURAL ENGINEER OF RECORD. PROVIDE MANUFACTURER-RECOMMENDED CLEARANCES FROM THE FIREPLACE TO ALL COMBUSTIBLES. ANCHOR ALL METAL CHIMNEYS AT EACH FLOOR AND ROOF WITH (2) 1 1/2" x 1/8" METAL STRAPS LOOPED AROUND THE OUTSIDE OF THE CHIMNEY INSTALLATION AND NAILED WITH NOT LESS THAN (6) 8d NAILS PER STRAP AT EACH JOIST. PROVIDE A NON-COMBUSTIBLE HEARTH AND FIREPLACE SURROUND FOR ALL FACTORY-BUILT FIREPLACES PER THESE DRAWINGS AND SPECIFICATIONS. AT NO TIME SHALL THE HEARTH OR SURROUND BE LESS THAN THAT WHICH IS REQUIRED BY THE MANUFACTURER OR CODE.
- 34. PROVIDE A MECHANICAL VENTILATION SYSTEM CAPABLE OF TWO AIR CHANGES PER HOUR, WITH A MINIMUM OF 15 CUBIC FEET PER MINUTE OF OUTSIDE AIR PER OCCUPANT, AT EACH HABITABLE ROOM NOT PROVIDED WITH AN OPERABLE EXTERIOR OPENING EQUAL TO BUT NOT LESS THAN 1/20TH OF THE FLOOR AREA OF THAT ROOM. BATHROOMS, WATER CLOSETS, AND LAUNDRY ROOMS SHALL BE PROVIDED WITH A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR. SUCH SYSTEM SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE BUILDING. DISCHARGE OF THIS SYSTEM SHALL BE AT LEAST THREE FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE
- 35. EXTERIOR WOOD-FRAMED TRELLISES AND OTHER WOOD-FRAMED STRUCTURES EXPOSED TO WEATHER SHALL BE CONSTRUCTED OF CEDAR, REDWOOD, OR PRESSURE-TREATED (P.T.) LUMBER. P.T. LUMBER SHALL CONFORM TO CURRENT AMERICAN WOOD PRESERVERS INSTITUTE STANDARDS. THIS INCLUDES ALL PLYWOOD, TRUSSES, SAWN MEMBERS, GLUE-LAMINATED MEMBERS, ETC., UNLESS OTHERWISE NOTED. ALL NAILS AND CONNECTORS SHALL BE GALVANIZED METAL, EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS. CUT ENDS OF P.T. MEMBERS SHALL BE PAINTED WITH APPROPRIATE PRESERVATIVE.
- 36. WOOD IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED, (P.T.), INCLUDING ALL SILL PLATES, POSTS ON FOOTINGS, ETC. PAINT CUT ENDS OF P.T. MEMBERS WITH APPROPRIATE PRESERVATIVE.
- 37. ALL DOORS SHALL CONFORM TO THE MOST CURRENT EDITION OF THE ARCHITECTURAL WOODWORK INSTITUTE (AWI) QUALITY STANDARDS. DOOR HARDWARE SHALL CONFORM TO THE DOOR AND HARDWARE INSTITUTE (DHI) STANDARDS. UNLESS
- 38. ALL FLASHING AND SHEET METAL WORK SHALL CONFORM WITH THE MOST CURRENT EDITION OF THE SHEET METAL AND AIR CONDITIONING NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL, UNLESS OTHERWISE NOTED.
- 39. PLUMBING RISERS AND VENTS ARE NOT SHOWN ON THESE DRAWINGS. COORDINATE LOCATION OF ALL SUCH ITEMS EXPOSED TO VIEW, (E.G. PLUMBING VENTS THROUGH ROOF), WITH ARCHITECT.
- 40. THE CONTRACTOR IS TO PROVIDE A WHOLE HOUSE VENTILATION FAN (PANASONIC WHISPER COMFORT FV-04VE1 OR EQUAL). THE SYSTEM IS TO COMPLY WITH 2018 IRC SECTION M1507, MECHANICAL VENTILATION, WITH MIN. 30 CFM TIMED TO RUN PER TABLE M1507.3.3(2) OF THE 2018 IRC. SEE BUILDING CODE INFO ON SHEET T1.0 FOR MORE INFO.
- 41. PROVIDE COMPLIANCE PER: R302.5: OPENINGS AND PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTIONS R302.5.1 THROUGH R302.5.3.
- 42. DEVELOPMENT PROPOSALS FOR A NEW SINGLE-FAMILY HOME SHALL REMOVE JAPANESE KNOTWEED (POLYGONUM CUSPIDATUM) AND REGULATED CLASS B, AND REGULATED CLASS C WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED, FROM REQUIRED LANDSCAPING AREAS ESTABLISHED PURSUANT TO SUBSECTION (F)(3)(A) OF THIS SECTION, NEW LANDSCAPING ASSOCIATED WITH NEW SINGLE-FAMILY HOME SHALL NOT INCORPORATE ANY WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED. PROVIDED, THAT REMOVAL SHALL NOT BE REQUIRED IF THE REMOVAL WILL RESULT IN INCREASED SLOPE INSTABILITY OR RISK OF LANDSLIDE OR EROSION.



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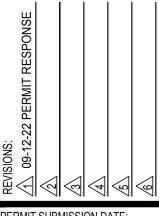
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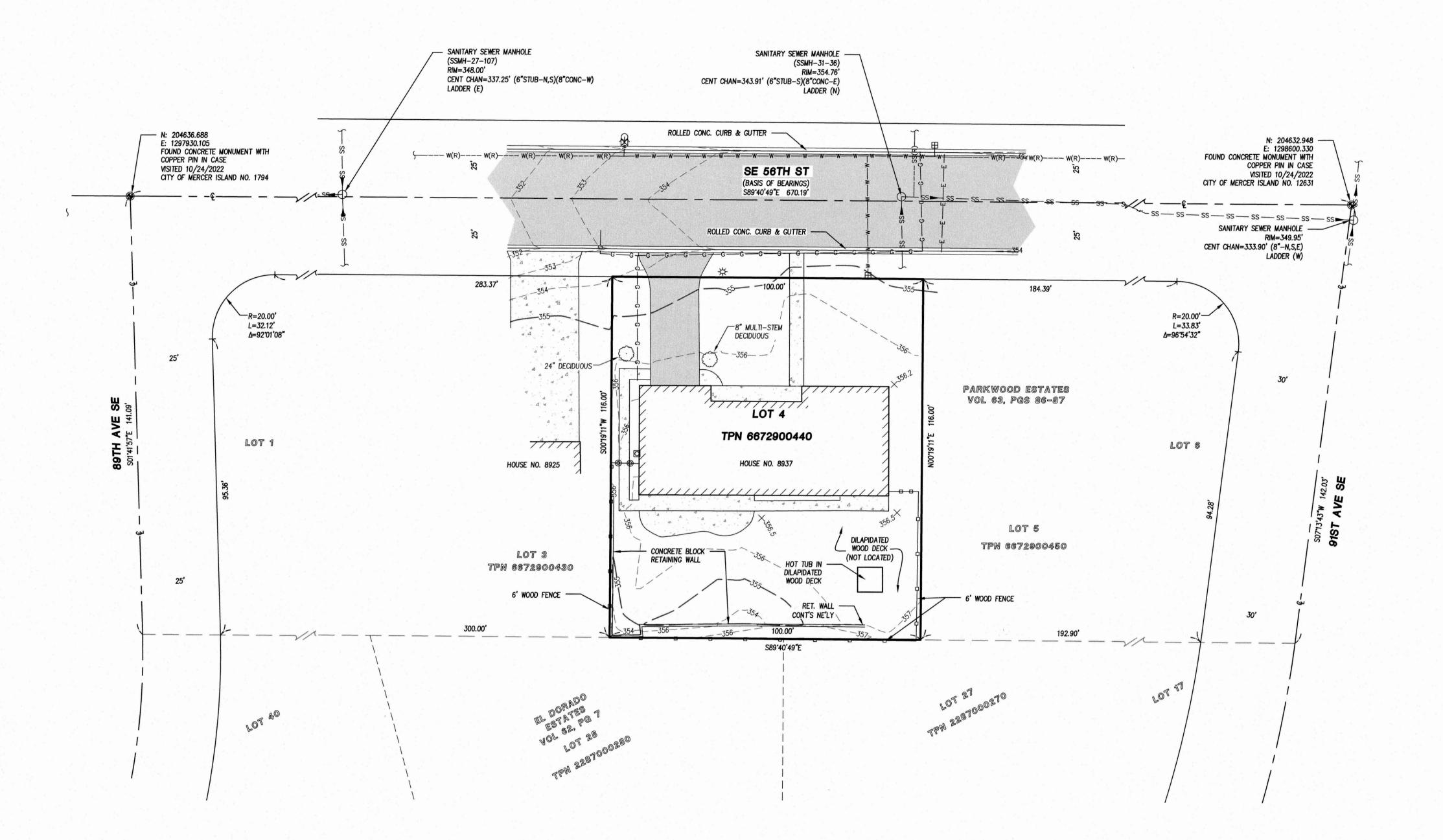
PERMIT SUBMISSION DATE: 04/25/2022

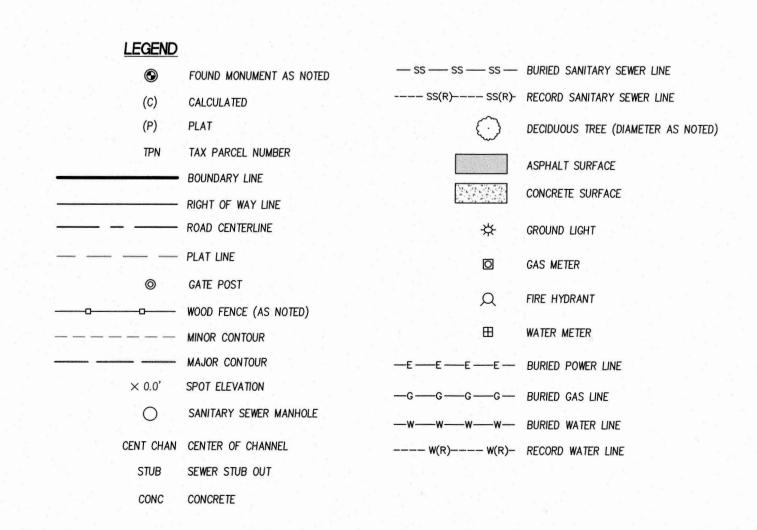
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# MERCER ISLAND TOPO

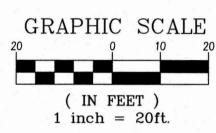
# TOPOGRAPHIC SURVEY

A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. KING COUNTY, WASHINGTON









# LEGAL DESCRIPTION

(PER QUIT CLAIM DEED, REC. NO. 2021070701338)

LOT 4, BLOCK 4, PARKWOOD ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 63 OF PLATS, PAGES 86 AND 87, IN KING COUNTY, WASHINGTON.

# BASIS OF BEARINGS

HELD SOUTH 89'40'49" EAST ALONG THE CENTERLINE OF SOUTHEAST 56TH STREET, AS SHOWN HEREON.

# HORIZONTAL DATUM

WASHINGTON STATE PLANE COORDINATE SYSTEM, NORTH ZONE (NAD 83/91) BASED ON CITY OF MERCER ISLAND MONUMENT NUMBERS 1794 AND 12631.

# VERTICAL DATUM

NAVD 88 BASED ON CITY OF MERCER ISLAND MONUMENT NUMBER 1794 LOCATED AT THE INTERSECTION OF 89TH AVE SE AND SE 56TH ST WITH A PUBLISHED ELEVATION OF 329.45'

# SURVEY NOTES

- 1. DATA FOR THIS SURVEY WAS GATHERED BY FIELD TRAVERSE UTILIZING ELECTRONIC DATA COLLECTION, AND MEETS OR EXCEEDS ACCURACY REQUIREMENTS CONTAINED IN W.A.C. 332.130.090. ALL MEASURING INSTRUMENTS EMPLOYED IN THIS SURVEY HAVE BEEN MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S
- 2. THIS MAP GRAPHICALLY REPRESENTS CONDITIONS AND FEATURES EXISTING AT THE TIME OF THIS SURVEY ONLY, WHICH WAS PERFORMED DURING OCTOBER, 2022.
- 3. THE CERTIFICATION OF THIS SURVEY AND MAP IS EXCLUSIVE TO THE NAMED CLIENT WHO REQUESTED THIS SURVEY. IT WAS SPECIFICALLY DESIGNED TO MEET THEIR STATED NEED(S). THAT CERTIFICATION DOES NOT EXTEND TO ANY OTHER PARTIES OR FOR ANY ALTERNATIVE USE OF THIS MAP WITHOUT THE EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING THOSE PARTIES.
- 4. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A TOPOGRAPHIC MAP OF THE EXISTING CONDITIONS WITHIN TAX PARCEL NO. 6672900440 FOR PLANNING, DESIGN AND CONSTRUCTION.
- UTILITIES OTHER THAN SHOWN MAY EXIST ON THE SITE. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. THE SURVEYOR DOES CERTIFY THAT THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY INFORMATION.
- 6. KING COUNTY PARCEL NO. 6672900440
- PARCEL AREA: 11,600± SQ.FT. (0.27 ACRES)
- ALL DISTANCES AND DIMENSIONS SHOWN ARE U.S. SURVEY FEET GROUND MEASUREMENTS.
- 9. CONTOUR INTERVALS ARE 1-FOOT AND ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY UTILIZING ELECTRONIC DATA COLLECTION.
- 10. THE PROPERTY AND PUBLIC RIGHT-OF-WAY LINES SHOWN HEREON ARE BASED ON THE PLAT OF PARKWOOD ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 63 OF PLATS, PAGES 86 AND 87, IN KING COUNTY, WASHINGTON.
- 11. WE HAVE USED GRAPHIC SYMBOLS TO REPRESENT SOME FEATURES ON THIS MAP, SUCH AS UTILITIES, TREES AND FENCES. THE DEFAULT SIZE OF THOSE SYMBOLS MAY NOT REFLECT THE TRUE SIZE OF THE FEATURE

# REFERENCES

1. PARKWOOD ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 63 OF PLATS, PAGES 86 AND 87, IN KING COUNTY, WASHINGTON.

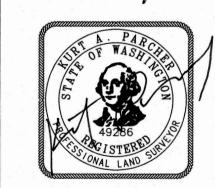
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC SURVEY MADE BY ME OR UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE REPRESENTS THE TOPOGRAPHIC FEATURES AS THEY EXIST ON THE GROUND AS OF 10/24/2022.

RCHER. P.L.S. NO. 49286 Oct. 31, 7-072



DATE SEALED 10/31/2000



PROJECT MANAGER **KURT PARCHER** 

DESIGN DRAWN WEL CHECKED KAP SEC 19 T 24N R 5E

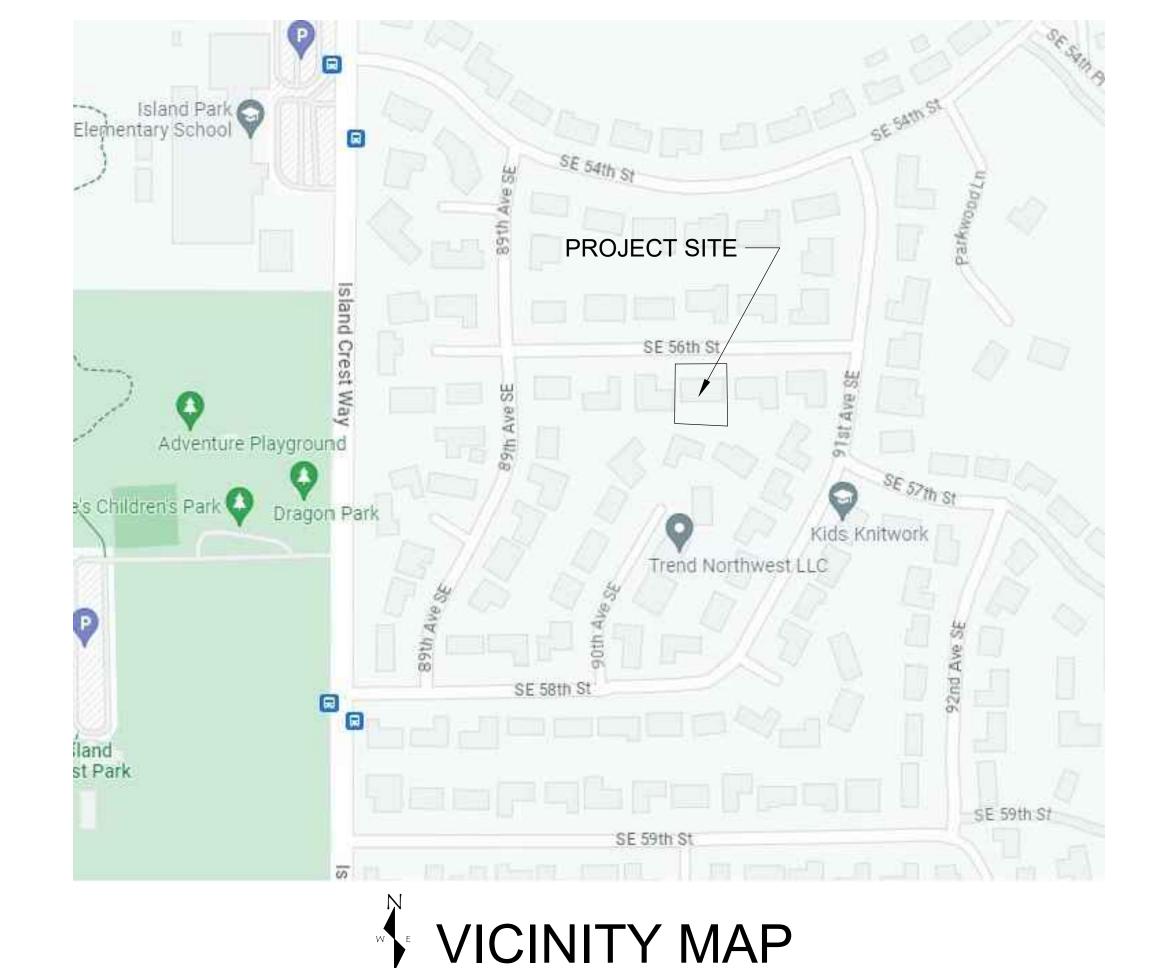
DWG NO 36466-SV

DATE 10/26/2022

SCALE 1'-20' SHEET 1 OF 1 

@ APEX ENGINEERING LLC 20:

# SECTION 19 TOWNSHIP 24N RANGE 5E ^ N89°40'49"W\100<mark>0</mark>00' PROPOSED RESIDENCE S89°40'49"E 100.00'



# PLANTING BEDS 2" - 4" ARBORIST GRASS: SEED WOOD CHIP MULCH OR SOD 1-3/4" OF COMPOST **INCORPORATED INTO** SOIL TO AN 8" DEPTH

**OVERALL SITE MAP** 

3" OF COMPOST INCORPORATED INTO SOIL TO A 8" DEPTH SUBSOIL SCARIFIED 4" SUBSOIL SCARIFIED 4" BELOW COMPOST BELOW COMPOST AMENDED LAYER (12" AMENDED LAYER (12" **BELOW SOIL SURFACE) BELOW SOIL SURFACE)** 

# 1. RETAIN AND PROTECT UNDISTURBED SOIL:

- LEAVE UNDISTURBED VEGETATION AND SOIL, AND PROTECT FROM COMPACTION BY FENCING AND KEEPING MATERIALS
- STORAGE AND EQUIPMENT OFF THESE AREAS DURING CONSTRUCTION
- FOR ALL AREAS WHERE SOIL OR VEGETATION ARE DISTURBED, USE OPTION 2,3, OR 4.

# 2. AMMEND SOIL:

- SOIL AMENDMENTS SHALL BE APPLIED TO ALL AREAS WICH ARE BEING SET ASIDE AS NON-BUILDABLE AREAS (OPEN SPACE OR NATURAL RESOURCE PROTECTION AREAS) AND ARE IN NEED OF REHABILITATION BECAUSE OF PAST LAND USE DISTURBANCES SUCH AS CLEARING AND INTRUSION OF INVASIVE SPECIES. THE PURPOSE IS TO ENHANCE AND ACCELERATE THE REHABILITATION OF THE SOIL STRUCTURE. THE APPLICATION WILL BE NON-DESTRUCTIVE TO THE EXISTING VEGETATION THAT IS RETAINED BY TAKING CARE TO TAPER DEPTHS OF SOIL AMENDMENT NEAR THE SURFACE ROOTS.
- AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES TO MEET THE SOIL QUALITY GUIDELINES BASED ON ENGINEERING TESTS OR THE SOIL AND AMENDMENT, (REFER TO THE BUILDING SOIL MANUAL [STENN ET AL. 2012] OR WEB SITE WWW.BUILDINGSOIL.ORG, FOR CUSTOM CALCULATION

# 3. STOCKPILE SOIL:

 STOCKPILE EXISTING TOPSOIL DURING GRADING AND REPLACE IT PRIOR TO PLANTING. AMEND STOCKPILED TOPSOIL IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS EITHER AT THE DEFAULT "PRE-APPROVED" RATE OR AT THE CUSTOM CALCULATED RATE (REFER TO THE BUILDING SOIL MANUAL [STEN ET AL. 2012] OR WEB SITE WWW.BUILDINGSOIL.ORG, FOR CUSTOM CALCULATION METHOD). SCARIFY SUBSOIL AND MULCH PLANTING BEDS, AS DESCRIBED UNDER THE SOIL AMMENDMENT HEADING BELOW.

# 4. IMPORT SOIL"

- IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS. IMPORTED SOILS SHOULD CONTAIN EXCESSIVE CLAY OR SILT FINES (MORE THAN 5 PERCENT PASSING THE US #200 SIEVE) BECAUSE THAT COULD
- RESTRICT STORMWATER INFILTRATION. USE IMPORTED TOPSOIL THAT MEETS DEFAULT "PRE-APPROVED" RATES. • SCARIFY SUBSOIL AND MULCH PLANTING BEDS, AS DESCRIBED UNDER THE SOIL AMENDMENT HEADING BELOW.

NOTE: MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE.

PROJECT IMPERVIO	US AREAS
PROPOSED ROOF AREA	3,447 SQFT
PROPOSED DRIVEWAY AREA	706 SQFT
PROPOSED HARD SURFACES	772 SQFT
TOTAL IMPERVIOUS	4,925 SQFT
TOTAL AREA OF DISTURBANCE	7,731 SQFT
TOTAL SITE AREA	11,600 SQFT
PERCENT IMPERVIOUS	42.45%

**TOPOGRAPHIC NOTE** 

OBTAINED FROM KING COUNTY GIS DATA.

**AUTOCAD FILE** 

CONTACT: NICK RHEAUME, P.E.

**UTILITY NOTE** 

PHONE: (253) 300-5522

EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION ARE

AN AUTOCAD FILE IS AVAILABLE FOR RELEASE TO ASSIST IN SITE

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE

FOR THE LOCATION OF UNDERGROUND UTILITIES.

APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED

BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. SITEPRO ENGINEERING ASSUMES NO LIABILITY

LAYOUT. CONTACT SITEPRO ENGINEERING FOR RELEASE OF FILES.

# C3.1 STORM DRAINAGE DETAILS AND NOTES OWNER/APPLICANT

TUAN NGUYEN 8937 SE 56TH ST MERCER ISLAND, WA 98040 EMAIL: tuan2001@gmail.com

# **CIVIL ENGINEER**

SITEPRO ENGINEERING 6306 123RD AVE. E. PUYALLUP, WA 98372 PHONE: (253) 300-5522 CONTACT: NICK RHEAUME, P.E. EMAIL: nick@siteproeng.com

# **PARCEL DATA**

PARCEL NUMBER - 6672900440 LOT SIZE - 0.27 ACRES ZONING - R-9.6 COMMUNITY PLAN - N/A **URBAN GROWTH - URBAN** SETBACKS FRONT - 20' REAR - 25'

MERCER ISLAND, WA 98040

C1.0 COVER SHEET

SITE ADDRESS 8937 SE 56TH STREET.

**VERTICAL DATUM** 

**BASIS OF BEARING** WSDOT GP27016-69

SHEET INDEX

C2.0 TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

C3.0 GRADING AND STORM DRAINAGE PLAN



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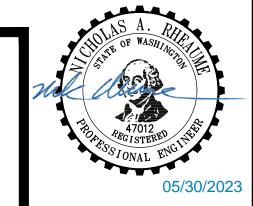
PROJECT: NGUYEN RESIDENCE

PROJECT ADDRESS:

8937 SE 56TH STREET MERCER ISLAND, WA 98040

**DRAWING TITLE:** 

**COVER SHEET** 

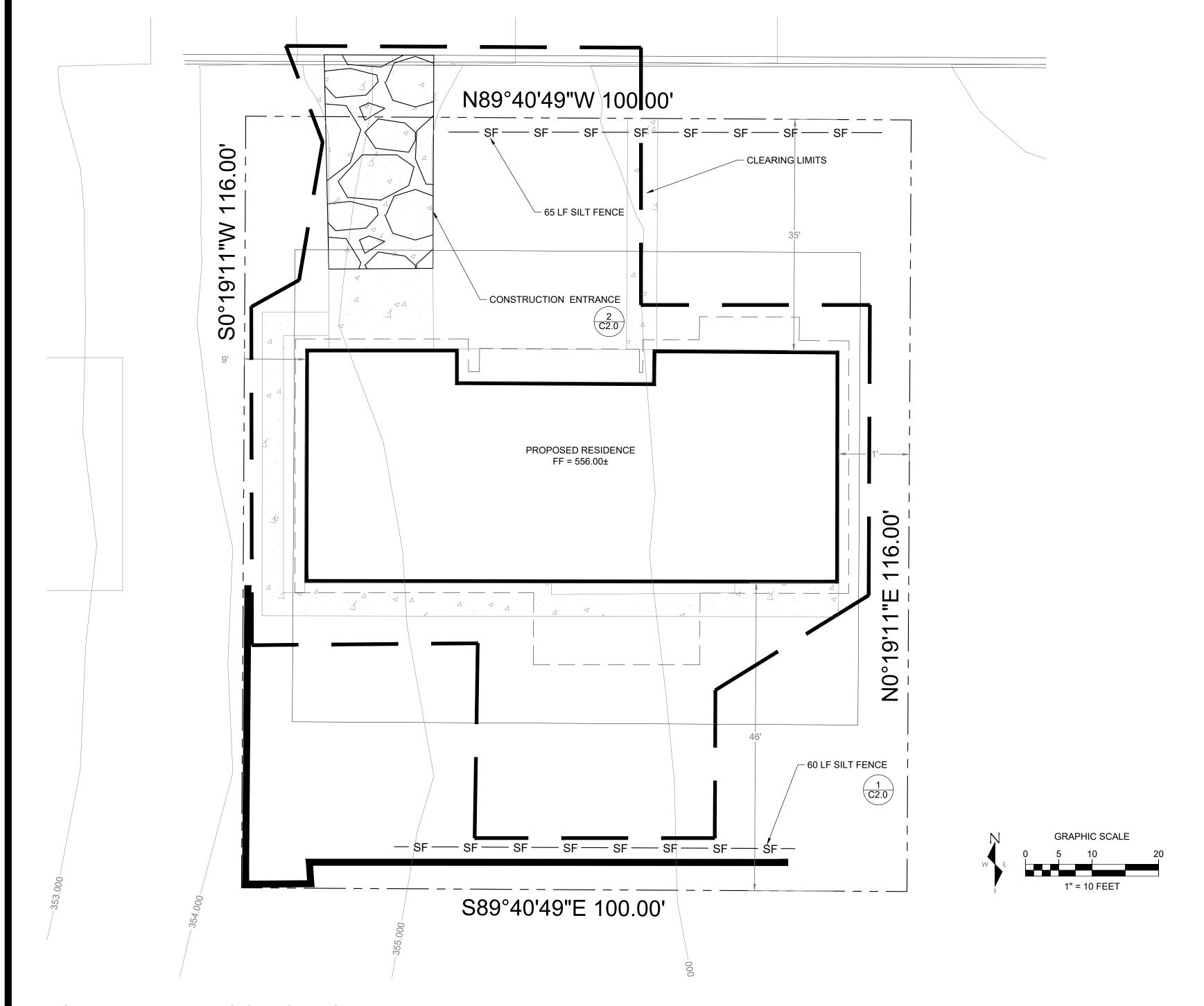






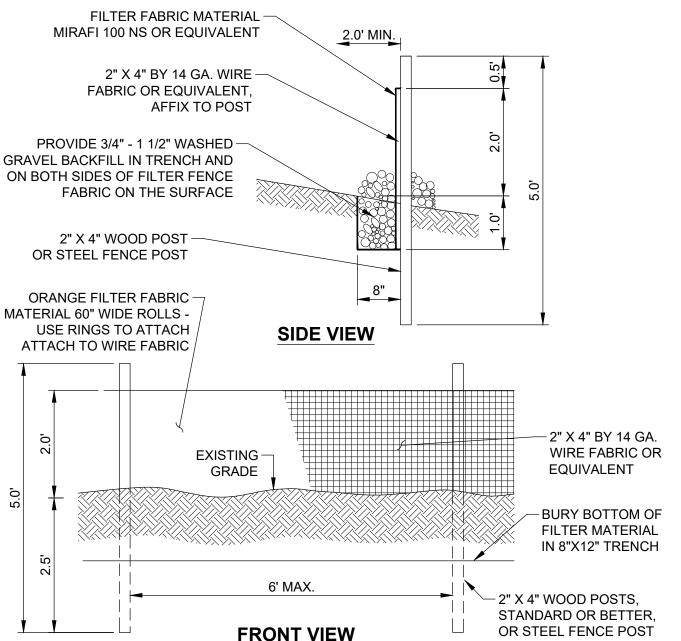
# EROSION CONTROL LEGEND CONSTRUCTION LIMITS SILT FENCE CONSTRUCTION ENTRANCE

# SECTION 19 TOWNSHIP 24N RANGE 5E



# STANDARD TESC NOTES:

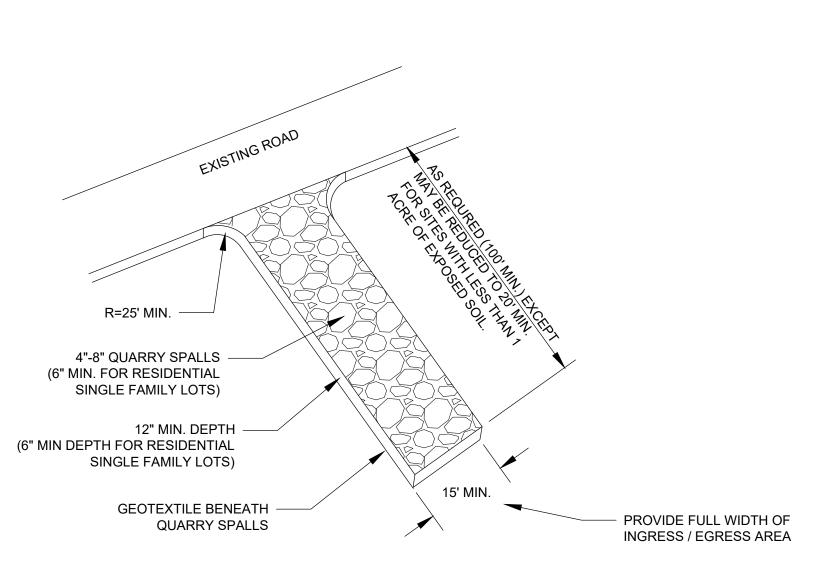
- 1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- 2. THE IMPLEMENTATION OF THESE EROSION AND SEDIMENT CONTROL PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- 3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- 4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- 5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- 6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- 7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
- 8. AT NO TIME SHALL MORE THAN 1 FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE INFILTRATION SYSTEM.
- 9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.
  ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.



# **NOTES:**

- 1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM SIX-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST.
- 2. THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS (WHERE FEASIBLE). THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF SIX FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 30")
- 3. A TRENCH SHALL BE EXCAVATED, ROUGHLY EIGHT INCHES WIDE AND TWELVE INCHES DEEP, UPSLOPE AND ADJACENT TO THE WOOD POST TO ALLOW THE FILTER FABRIC TO BE BURIED.
- 4. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST ONE INCH LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF FOUR INCHES AND SHALL NOT EXTEND MORE THAN THIRTY SIX INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 5. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND TWENTY INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN THIRTY SIX INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- 6. WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF STANDARD NOTE (S) APPLYING.
- 7. THE TRENCH SHALL BE BACKFILL WITH 3/4 INCH MINIMUM DIAMETER WASHED GRAVEL
- 3. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
- 9. FILTER FABRIC FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- 10. DO NOT DRIVE OVER OR FILL OVER FILTER FABRIC FENCE.





# MAINTENANCE STANDARDS

- 1. QUARRY SPALLS (OR HOG FUEL) SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE
- 2. IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE MEASURES TO KEEP THE STREETS FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE STREET SWEEPING, AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH. IF WASHING IS USED, IT SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK, AND WASH WATER SHALL DRAIN TO A SEDIMENT TRAP OR POND.
- 3. ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON-SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH THE STREETS, THE CONSTRUCTION OF A SMALL SUMP SHALL BE CONSIDERED. THE SEDIMENT WOULD THEN BE WASHED INTO THE SUMP.
- 4. ANY QUARRY SPALLS THAT ARE LOOSENED FROM THE PAD AND END UP ON THE ROADWAY SHALL BE REMOVED IMMEDIATELY.
- 5. IF VEHICLES ARE ENTERING OR EXITING THE SITE AT POINTS OTHER THAN THE CONSTRUCTION ENTRANCE(S), FENCING SHALL BE INSTALLED TO CONTROL TRAFFIC.





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NGUYEN RESIDENCE

PROJECT ADDRESS:

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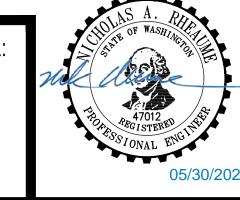
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PROJECT:

TESC PLAN

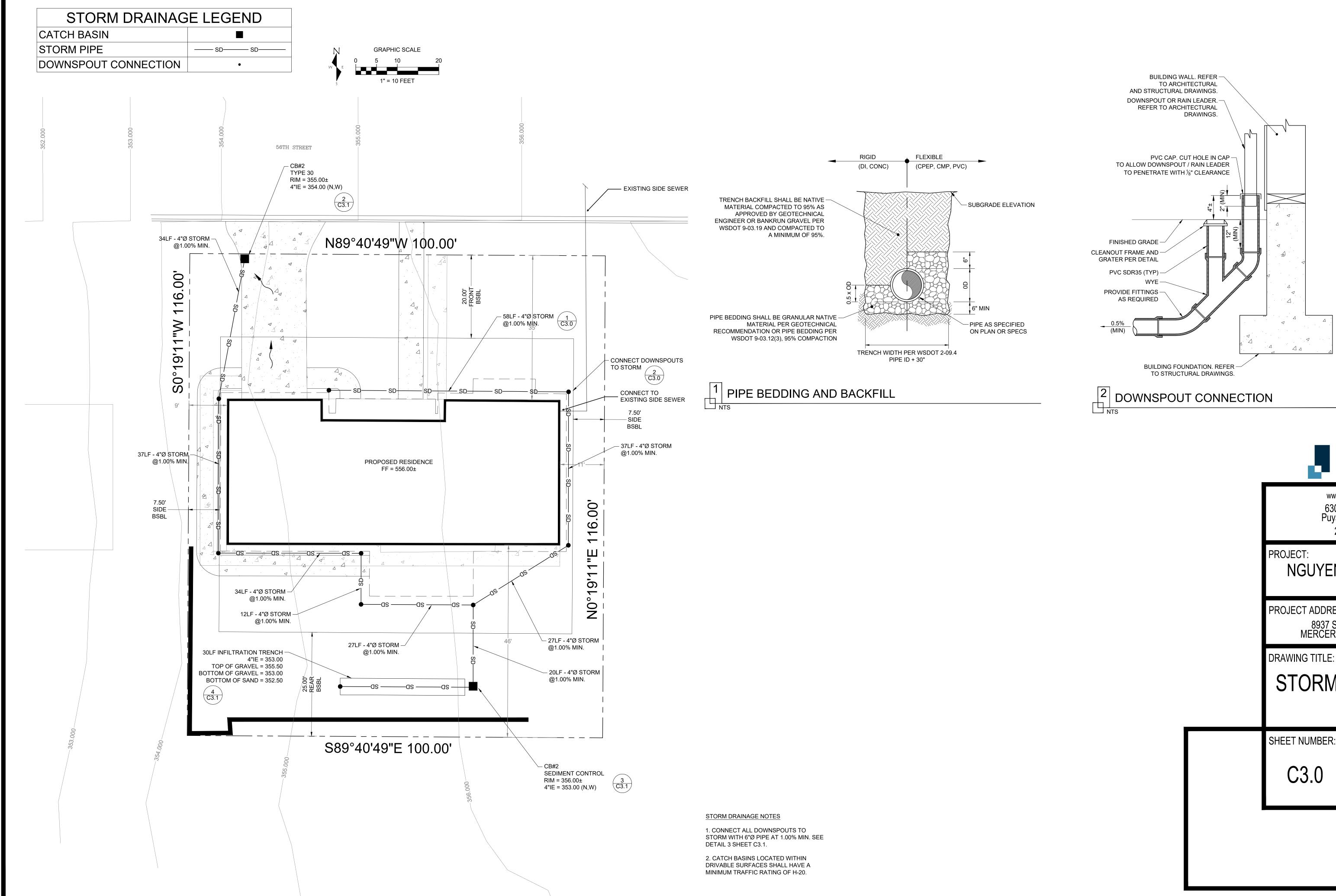
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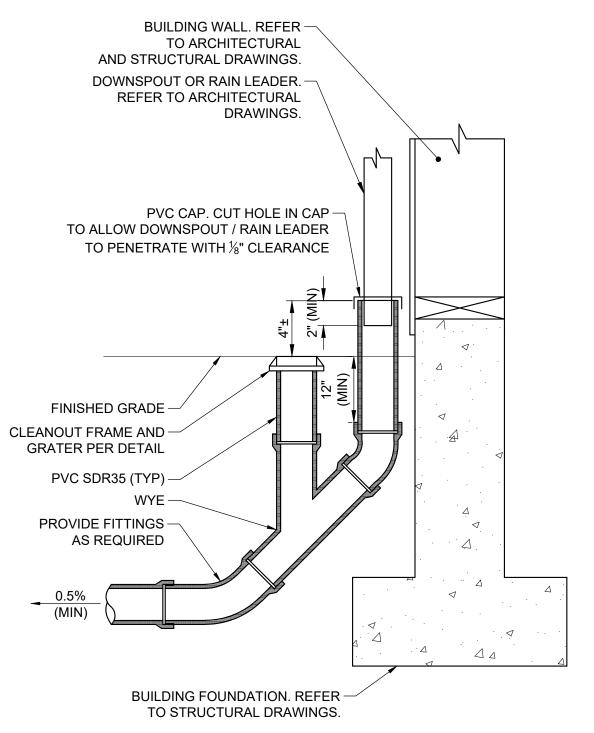
C2.





# SECTION 19 TOWNSHIP 24N RANGE 5E







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NGUYEN RESIDENCE

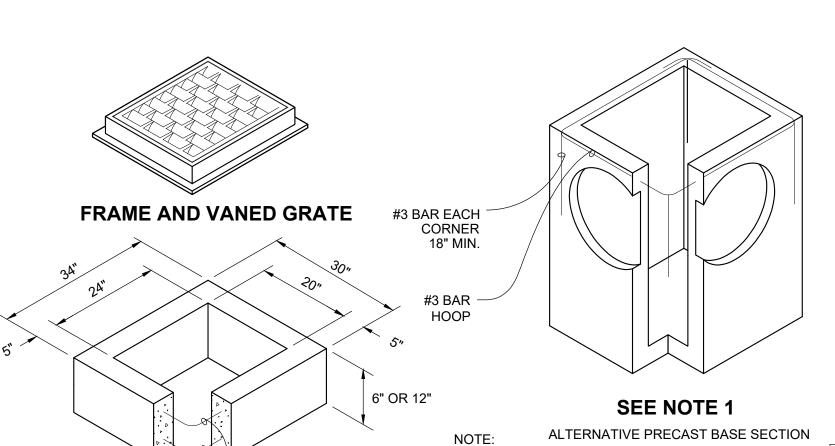
PROJECT ADDRESS:

8937 SE 56TH STREET MERCER ISLAND, WA 98040

STORM DRAINAGE PLAN







FOR 6" HEIGHT TWO #3 BAR HOOPS FOR 12" HEIGHT

RECTANGULAR ADJUSTMENT SECTION

ONE #3 BAR HOOP

SHOWN IN THE PRECAST BASE SECTION, FIBERS (PLACED ACCORDING TO THE STANDARD SPECIFICATIONS), OR WIRE MESH HAVING A MINIMUM AREA OF 0.12 SQUARE INCHES PER FOOT SHALL BE USED WITH THE MINIMUM REQUIRED REBAR SHOWN IN THE ALTERNATIVE PRECAST BASE SECTION. WIRE MESH SHALL NOT BE PLACED IN THE

1. AS ACCEPTABLE ALTERNATIVES TO THE REBAR

2. THE KNOCKOUT DIAMETER SHALL NOT BE GREATER THAN 20". KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MINIMUM TO 2.5" MAXIMUM. PROVIDE A 1.5" MINIMUM GAP BETWEEN THE KNOCKOUT WALL AND THE OUTSIDE OF THE PIPE. AFTER THE PIPE IS INSTALLED, FILL THE GAP WITH JOINT MORTAR IN ACCORDANCE WITH STANDARD SPECIFICATION 9-04.3.

THE MAXIMUM DEPTH FROM THE FINISHED GRADE TO THE LOWEST PIPE INVERT SHALL BE

4. THE FRAME AND GRATE MAY BE INSTALLED WITH THE FLANGE UP OR DOWN. THE FRAME MAY BE CAST INTO THE ADJUSTMENT SECTION.

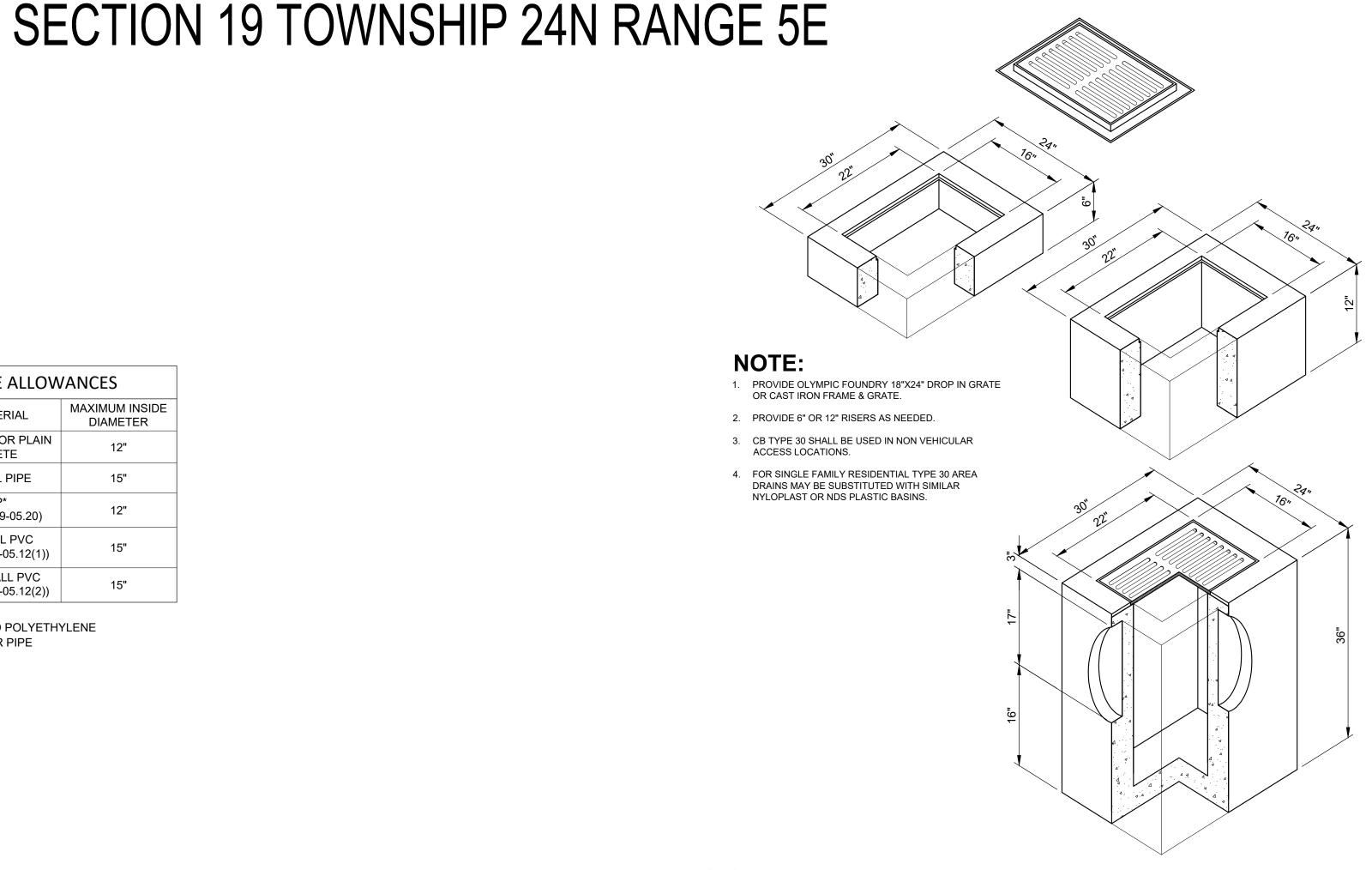
THE PRECAST BASE SECTION MAY HAVE A ROUNDED FLOOR, AND THE WALLS MAY BE SLOPED AT A RATE OF 1:24 OR STEEPER.

6. THE OPENING SHALL BE MEASURED AT THE TOP OF THE PRECAST BASE SECTION.

7. ALL PICKUP HOLES SHALL BE GROUTED FULL AFTER THE BASIN HAS BEEN PLACED.

PIPE ALLOW	/ANCES
PIPE MATERIAL	MAXIMUM INSIDE DIAMETER
REINFORCED OR PLAIN CONCRETE	12"
ALL METAL PIPE	15"
CPSSP* (STD. SPEC. 9-05.20)	12"
SOLID WALL PVC (STD. SPEC. 9-05.12(1))	15"
PROFILE WALL PVC (STD. SPEC. 9-05.12(2))	15"

CORRUGATED POLYETHYLENE STORM SEWER PIPE



**CATCH BASIN TYPE 30** 

**PROFILE** 

# **CATCH BASIN TYPE 1**

#3 BAR EACH WAY -

#3 BAR EACH

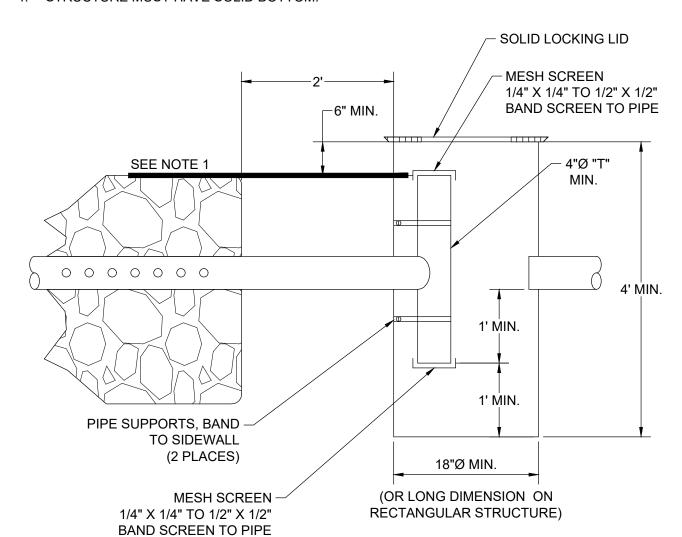
#3 BAR EACH SIDE

CORNER

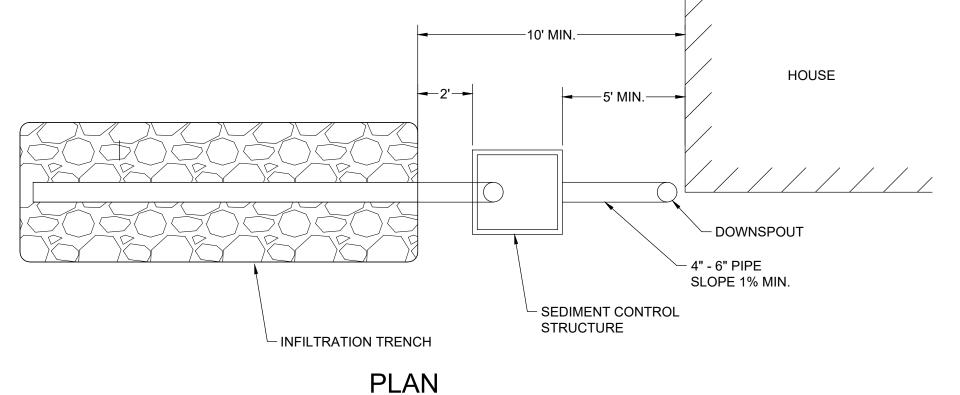
- 1. SET THE TOP OF THE TEE RISER AT OR ABOVE THE TOP ELEVATION OF THE TRENCH DRAIN ROCK AND BELOW THE CONNECTION POINT OF THE ROOF TIGHTLINE AT THE FOUNDATION.
- 2. SET THE TOP OF THE THE INLET PIPE AT THE SAME ELEVATION AS THE OUTLET

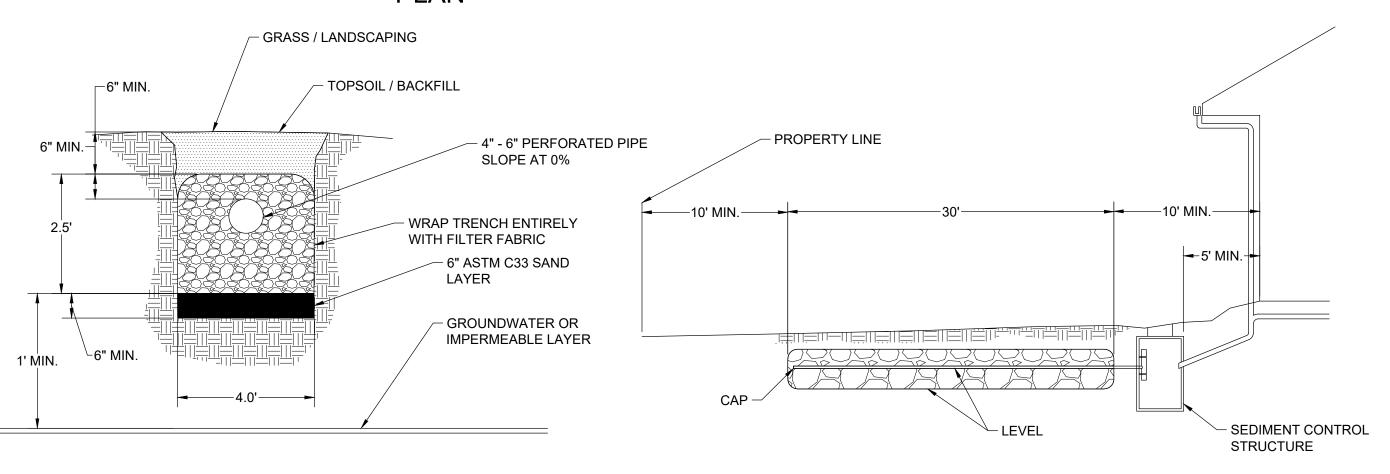
**SECTION B-B** 

- INSTALL SOLID LOCKING LID AT OR ABOVE EXPECTED FINAL GRADE ELEVATION
- TO ALLOW HOMEOWNER ACCESS FOR MAINTENANCE. 4. STRUCTURE MUST HAVE SOLID BOTTOM.



SEDIMENT CONTROL STRUCTURE





INFILTRATION TRENCH

SECTION



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PROJECT: NGUYEN RESIDENCE

PROJECT ADDRESS:

8937 SE 56TH STREET MERCER ISLAND, WA 98040

**DRAWING TITLE:** 

DETAILS AND NOTES





**HECKMAN** architects

501 ROY ST, STE 232C SEATTLE, WA 98109

Anheckman@gmail.com (206)478-6850 HECKMANarchitects.com

REGISTERED ARCHITECT Hara / Heckman AARON N. HECKMAN STATE OF WASHINGTON

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98040

0

04/25/2022 PLOT DATE:

4/7/2023 SHEET NUMBER:

NEW WALLS

EXHAUST FAN; 50 CFM MIN. FOR BATHROOM AND LAUNDRY, 100 CFM MIN. FOR KITCHEN; COORDINATE SPECS W/ WHOLE HOUSE VENTILATION REQUIREMENTS (SEE T1.0); MIN. AIR INTAKE OPENINGS = 4 IN<sup>2</sup> PER ROOM

HARDWIRED SMOKE DETECTOR W/ BATTERY BACKUP

CONTINUOUS SOFFIT VENT. TYP.

CONTINUOUS RIDGE VENT. TYP.

EXTERIOR STUD WALL BELOW, TYP.

ROOF RIDGE, TYP.

CRICKET ROOF

30-YR ARCHITECTURAL

MEDICINE CABINET, TYP.

**UPPER FLOOR PLAN** 

SCALE: 1/4" = 1'-0"

ASPHALT SHINGLES, TYP. U.N.O.

STORAGE TRUSSES OVER GARAGE

HARDWIRED CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP

EGRESS WINDOW

TEMPERED GLAZING

**WALL PARTITION TYPES** 

STUDS AT 16" O.C. w/ 1/2"

GWB AT INTERIOR. PROVIDE

R-21 PLUS R-4 CI BATT INSUL

TYPICAL INTERIOR PARTITION

WALLBOARD EACH SIDE.

TYPICAL FURRED WALL

9":12"

U.N.O. ALL INTERIOR WALL SHALL BE 2x4

WOOD STUDS @ 16" O.C. w/ 1/2" GYPSUM

2" AIRSPACE, 2x4 P.T. WOOD STUDS @

16" O.C. w/ 1/2" GYPSUM WALLBOARD AT

 $25'-6\frac{1}{2}"$ 

9":12"

INTERIOR. PROVIDE R-21 BATT

TYPICAL EXTERIOR WALL EXTERIOR WALL FINISH o/ (2) LAYERS 60# BLDG. PAPER o/ 1/2" CDX PLYWOOD o/ 2x6 WOOD

FIN

SOUND PROOF WALL 2x6 SILL & TOP PLATES AND STAGGERED 2x4 VERTICAL STUDS @ 8"oc w/ INTER-WOVEN SOUNDS BATTS w/ GYPSUM WALLBOARD EACH SIDE.

2'-0" 2'-91/2"

8'-8"

8'-7"

8'-7"

 $13'-3\frac{1}{2}"$ 

ATTIC ACCESS -

15'-7"

SILL 2'-0"

BEDROOM 2 CARPET-FOIO

BEDROOM 3
CARPET-FOIO

SILL 2'-0"

E

15'-11"

7'-1"

203

SD

**DEMOLITION NOTES** 

1. ASBESTOS & HAZARDOUS MATERIALS: FEDERAL, STATE & LOCAL REGULATIONS REQUIRE THAT ALL ASBESTOS & OTHER HAZARDOUS MATERIALS IN A BUILDING BE REMOVED PRIOR TO STARTING THE DEMOLITION WORK. CONTRACTOR TO OBTAIN REQUIRED CERTIFICATION THAT THERE ARE NO HAZARDOUS MATERIALS

2. UON, ALL DEBRIS RESULTING FROM DEMOLITION WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR & SHALL BE REMOVED & DISPOSED OF IN A LEGAL MANNER OFF OF THE PROJECT 3. SEE MEP (UNDER SEPARATE PERMIT), FIRE PROTECTION (UNDER

SEPARATE PERMIT). ELECTRICAL (UNDER SEPARATE PERMIT) & COMMUNICATION (UNDER SEPARATE PERMIT) DOCUMENTS FOR DEMOLITION RELATED TO THOSE TRADES.

IMPROVEMENTS WITHIN THE AREAS OF OPERATION & TAKE CARE TO PROTECT THE NEIGHBORING SPACES WHERE EXISTS. THE CONTRACTOR SHALL ASSUME ALL FINANCIAL RESPONSIBILITY FOR THE IMMEDIATE RESTORATION, REPAIR, OR REPLACEMENT OF DAMAGED ITEMS OR AREAS TO RESTORE THEM TO MATCH EXISTING

6. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO ADEQUATELY SECURE THE PREMISES AND/OR STORED MATERIALS FROM

7. DEMO ALL FLOORING FINISHES IN AREAS OF WORK UON; PATCH & PREPARE EXISTING FLOORS IN AREAS TO RECEIVE NEW FLOORING TO PROVIDE FOR CONTINUOUS "LEVEL" SURFACE FOR NEW

8. DO NOT REMOVE ANY BEARING WALLS, COLUMNS OR OTHER STRUCTURAL MEMBERS NOT DESIGNATED IN STRUCTURAL UNCOVER ANY EXISTING STRUCTURAL COMPONENTS NOT PREVIOUSLY IDENTIFIED.

CONTRACTOR SHALL PROVIDE SHORING AS REQUIRED TO TEMPORARILY SUPPORT ALL LOADS UNTIL NEW FRAMING IS INSTALLED AS DOCUMENTED AND SPECIFIED. IF THE CONTRACTOR OR IN CONFLICT WITH THE DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION. PROCEEDING WITHOUT NOTIFICATION INDICATES FULL ACCEPTANCE OF CONDITIONS AND DOCUMENTS.

ALL DIMENSIONS TO F.O. FRAMING UON.

REFER TO SHEETS T1.0 & T1.1 FOR ADDITIONAL NOTES, LEGENDS,

PATCH/REPAIR, PRIME & PAINT ALL EXISTING GWB WALLS TO REMAIN. PARTITIONS THAT ARE NOT DIMENSIONED ARE TO BE LOCATED FLUSH & SQUARE WITH THE EXISTING PARTITION.

CENTERED ON COLUMNS ARE CENTERED ON COLUMNS. "ALIGN" MEANS TO ACCURATELY LOCATE THE FINISHED FACES IN THE SAME PLANE.

JAMB, UON. DIMENSIONS LOCATING DOORS ARE TO FINISHED OPENING, UON.

SILL 2'-0"

MASTER **BEDROOM** 

CARPET-FOIO

W.I.C. CARPET-FOIO

F

CFM

 $13'-7\frac{1}{2}"$ 

 $8'-1\frac{1}{2}"$ 

—2x6 ₩ALL

13. ALL HANDRAILS TO BE 1 1/4" -2" DIA., LOCATED 1 1/2" MIN. FROM ADJACENT WALL ON AT LEAST ONE SIDE OF STAIRS AND SHALL

14. ALL HANDRAILS TO BE 34 - 38" HIGH ABV. STAIR NOSE.

15. ALL GUARDRAILS TO BE 36" HIGH WITH CABLE RAILS INSTALLED AND TENSIONED TO ALLOW A 4" MAX. CLEAR SPACE BETWEEN RAILS. 16. ALL TREADS TO HAVE 1" NOSING.

17. WHERE EXISTING FRAMING REMAINS AND THE FRAMING CAVITY IS EXPOSED DURING CONSTRUCTION, THE CAVITY MUST BE FILLED WITH INSULATION: MIN R-15 FOR 2x4 FRAMED WALLS, MIN R-21 FOR

2x6 FRAMED WALLS. 18. FOR NEW FRAMED ABOVE-GRADE WALLS, INSTALL MIN. INSULATION

OF R-21 STUD CAVITY INSULATION + R-10 AT HEADERS. 19 FOR NEW BELOW-GRADE WALLS, INSTALL MIN. INSULATION OF R-10 CONTINUOUS ON OUTSIDE OF WALL OR R-15 CONTINOUS ON INSIDE OF WALL OR R-21 STUD CAVITY INSULATION + R-10 AT HEADERS + THERMAL BREAK BETWEEN SLAB AND BELOW-GRADE WALL OR R-13 STUD CAVITY INSULATION + R-5 CONTINUOUS INSULATION ON INSIDE

OR OUTSIDE OF WALL. 20. FOR NEW WINDOWS AND GLAZED DOORS, PROVIDE MAX. U-FACTOR INDICATED ON SCHEDULES. . ALL REQUIRED SMOKE ALARMS IN THE ADU AND IN PRIMARY RESIDENCE ARE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ANY ONE ALARM WILL ACTIVATE ALL OTHER ALARMS IN THE STRUCTURE.

A3.0

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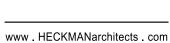
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1HR. FIRE RATED WALL 1/2" THK GWB o/ 2x6 WD STUDS @ 16" O.C. PANELS NAILED 7" O.C.-1 7/8" CEM CTD NAILS- JOINTS EXP OR FIN - PERIM CAULKED- UL DES U305 & U314- JOINTS

PRESENT IN THE STRUCTURE.

4. THE CONTRACTOR SHALL PROTECT THE EXISTING BUILDING &

32'-6"

 $25'-3\frac{1}{2}"$ 

AWNING

SILL 3'-0"

BATH

TILE

NICHE

12'-6"

59'-7"

2'-5<sup>1</sup>/2"

4'-1"

8'-0"

<del>(3)(3)</del>

42" HIGH

 $4'-7\frac{1}{2}"$ 

SILL 3'-0"

SD

LAUNDRY

8'-11<sup>1</sup>/2"

25'-6"

AWNING

SILL 3'-0"

 $4'-6\frac{1}{2}"$ 

16'-11"

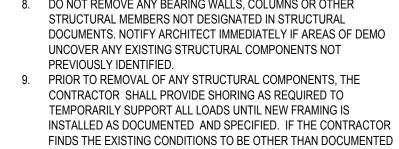
**BONUS** 

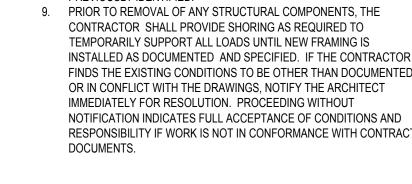
ROOM

CARPET-FOIO

HALL CO SD

FINDS THE EXISTING CONDITIONS TO BE OTHER THAN DOCUMENTED RESPONSIBILITY IF WORK IS NOT IN CONFORMANCE WITH CONTRACT







SYMBOLS, ABBREVIATIONS, & SCHEDULES.

WALLS THAT APPEAR TO ALIGN DO ALIGN. WALLS THAT APPEAR

NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR

CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION LAYOUT, NOTIFY ARCHITECT. ALLOW TIME IN THE SCHEDULE FOR VERIFICATION OF THE LAYOUT BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION.

10. ALL DOORS TO BE 4" FROM ADJACENT WALL TO INT. F.O. FINISHED

11. ALL WORK SHALL BE ERECTED & INSTALLED PLUMB, LEVEL, SQUARE

12. ALL INTERIOR WALLS NOT LABELED WITH WALL TAG ARE INFILL WALLS TO MATCH EXISTING PARTITION.

 $4'-0\frac{1}{2}"$ 

AWNING

9":12"

PROVIDE SAFETY GLAZING PER GEN.

NOTE 20 ON SHEET

-DRY SAUNA PER OWNER. VERIFY

REQ'D ROUGH

-SAUNA TO COMPLY WITH M1902.4 CONTROLS: SAUNA HEATERS SHALL BE EQUIPPED WITH A THERMOSTAT

THAT WILL LIMIT ROOM TEMPERATURE TO NOT GREATER THAN 194°F (90°C). WHERE THE THERMOSTAT IS NOT AN INTEGRAL PART OF THE HEATER, THE HEAT-SENSING ELEMENT SHALL BE LOCATED WITHIN 6 INCHES OF THE CEILING.

OPENING

T1.1, TYP.

9'-6"

27'-1"

 $15'-0\frac{1}{2}"$ 

AWNING

E

SILL 2'-0"

PER R303.7, THERE SHALL BE

A WALL SWITCH AT EACH

FLOOR LEVEL TO CONTROL

MORE RISERS.

SHOWER HEAD -

NICHE -

—CMS ARCHITECTURAL PANEL, 26 GAUGE NCR PANEL WITH STRIATIONS, CLASSIC BATTEN STANDING SEAM PANEL, BLACK BEARD; TYP. AWNING ROOF

10'-9<sup>1</sup>/2"

 $20'-9\frac{1}{2}"$ 

ABOVE DRAIN

========

OFFICE CARPET-FOIO

\$ILL 2'-0"

E

11'-2"

THE LIGHT SOURCE WHERE THE STAIRWAY HAS SIX OR

> BARN DOOR W/ FULL-HT. MIRROR

2x6 WALL

MASTER

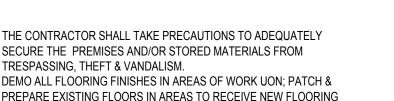
TILE

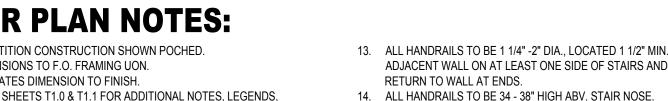
HEATED **FLOOR** 

SILL 2'-0"

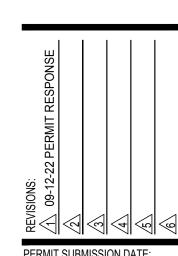
9'-5"

19'-1"





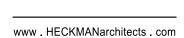
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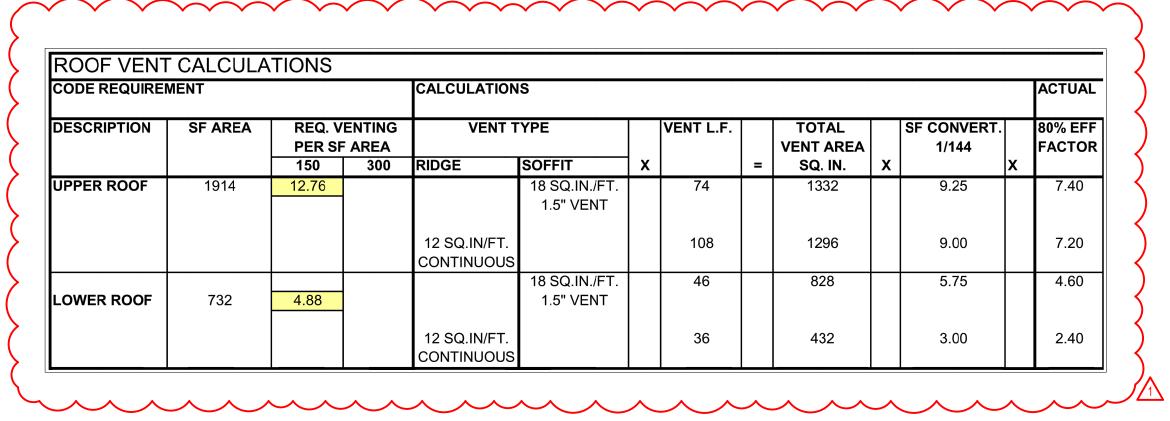


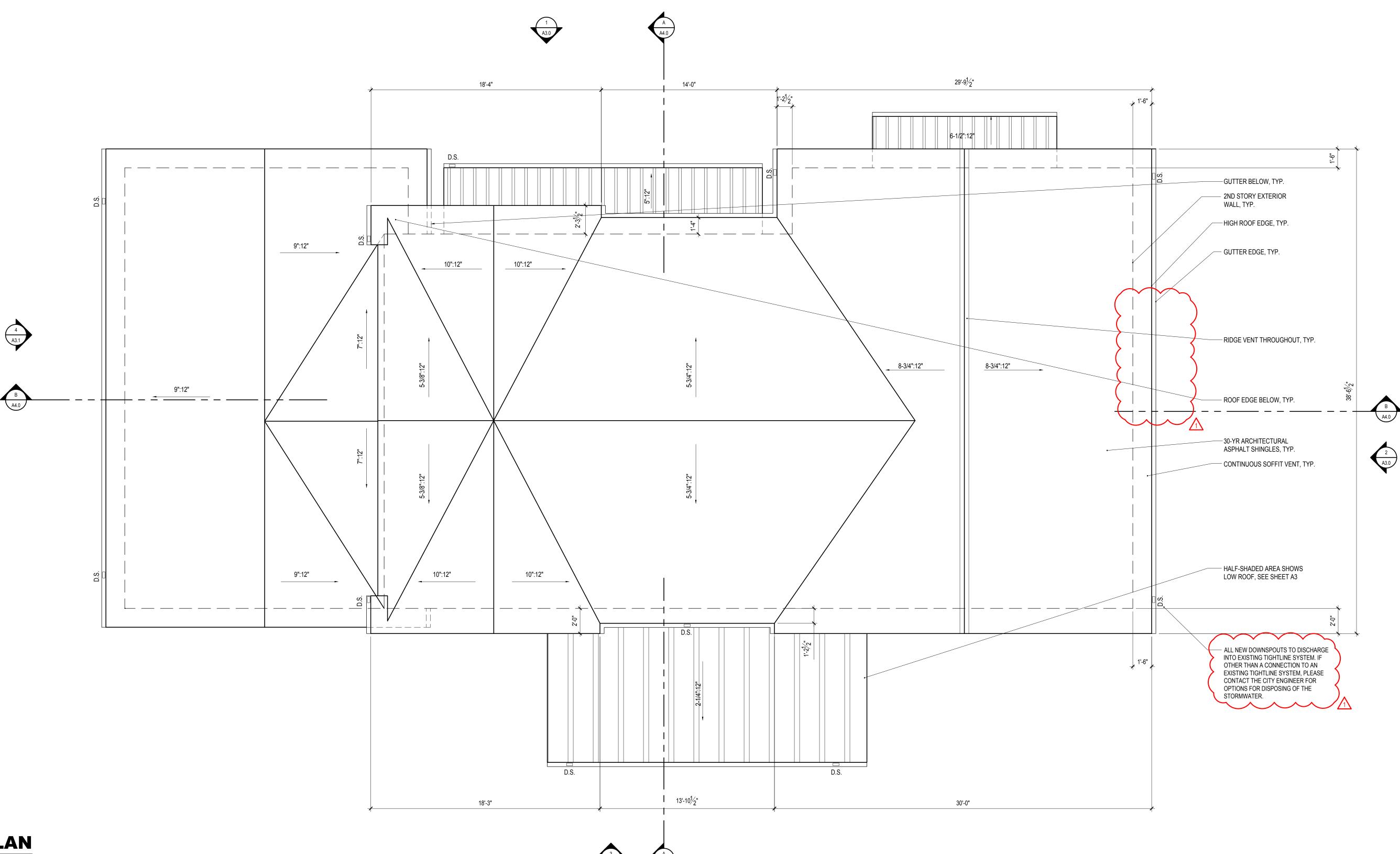
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# **WINDOW SCHEDULE**

WINDOW	DESCRIPTION	R.O.	SIZE	TEMP.	QTY.	TOTAL	U-VALUE	GLAZING	REMARKS & NOTES
MARK		WIDTH	HEIGHT			AREA (SF)	(MIN.)		
Α	FIXED	2'-6"	2'-6"	-	2	-	0.20	LOW E/ CLEAR	
В	CASEMENT	1'-6"	5'-0"	-	2	-	0.20	LOW E/ CLEAR	
С	CASEMENT	5'-6"	5'-0"	-	6	-	0.20	LOW E/ CLEAR	EGRESS
D	CASEMENT	1'-6"	3'-6"	-	11	-	0.20	LOW E/ CLEAR	
Е	CASEMENT	2'-6"	5'-0"	-	2	-	0.20	LOW E/ CLEAR	
F	CASEMENT	5'-6"	4'-0"	-	1	-	0.20	LOW E/ CLEAR	
G	FIXED	1'-9"	3'-6"	-	1	-	0.20	LOW E/ CLEAR	
Н	SLIDING	5'-6"	3'-6"	-	2	-	0.20	LOW E/ CLEAR	

# **ABBREVIATIONS:**

ALUMINUM METAL CLAD PRE-FIN PRE-FINISHED PAINTED SOLID CORE WOOD WOOD SCW WD

# **DOOR SCHEDULE**

	LOCATION	SIZE	SIZE	DOOR	DOOR	DOOR	U-VAL.	DOOR	REMARKS
NO.		WIDTH	HEIGHT	TYPE	FIN.	THK.	(MIN.)	HDWR.	
MA	AIN FLOOR								
101	GARAGE	16'-0"	8'-0"	F	PNT.	-	-	1	PROVIDE ELECTRIC OPENER
102	GARAGE	3'-0"	7'-0"	Е	PNT.	1-3/4"	-	-	
103	MUD	3'-0"	8'-0"	G	PNT.	1-3/4"	-	1	20 MINUTE DOOR W/ SPRING HINGES
104	MUD	5'-0"	8'-0"	J	PNT.	1-3/4"	-	-	
105	GREAT ROOM	9'-0"	8'-0"	Н	-	-	0.20	-	
106	BATH 2	2'-6"	8'-0"	Α	PNT.	1-3/4"	-	-	
107	BEDROOM 1 CLOSET	6'-0"	8'-0"	D	PNT.	1-3/4"	-		
108	BEDROOM 1	3'-0"	8'-0"	Α	PNT.	1-3/4"	-		
109	KITCHEN 2	3'-0"	8'-0"	Е	PNT.	1-3/4"	-		
110	KITCHEN 2	3'-0"	8'-0"	K	PNT.	1-3/4"	-	-	VERIFY FRM'G REQ'MTS W/ DOOR MAN
111	UTILITY/LAUNDRY	2'-6"	8'-0"	С	PNT.	1-3/4"	-	-	
112	UTILITY/LAUNDRY	2'-6"	8'-0"	Α	PNT.	1-3/4"	-	-	
113	BATH 1	2'-6"	8'-0"	Α	PNT.	1-3/4"	-	-	
114	COAT CLOSET	2'-6"	8'-0"	Α	PNT.	1-3/4"	-	-	
115	FOYER	3'-0"	8'-0"	E	PNT.	1-3/4"	-		PROVIDE (2) 15" WIDE SIDELITES
116	GREAT ROOM	3'-0"	8'-0"	L	-	_	0.20		
117	GREAT ROOM	3'-0"	8'-0"	L	_	-	0.20	-	
UF	PER FLOOR				•				
UF	PPER FLOOR		1						
		6'-0"	7'-0"	D	PNT	1-3/4"		_	
201	BEDROOM 3 CLOSET	6'-0" 6'-0"	7'-0" 7'-0"	D D	PNT.	1-3/4"	-	-	
201 202	BEDROOM 3 CLOSET BEDROOM 2 CLOSET	6'-0"	7'-0"	D	PNT.	1-3/4"	- -	- -	
201 202 203	BEDROOM 3 CLOSET BEDROOM 2 CLOSET BEDROOM 2	6'-0" 2'-8"	7'-0" 7'-0"	D A	PNT. PNT.	1-3/4" 1-3/4"	-	-	
201 202 203 204	BEDROOM 3 CLOSET BEDROOM 2 CLOSET BEDROOM 2 HALL CLOSET	6'-0" 2'-8" PR 2'-0"	7'-0" 7'-0" 7'-0"	D A B	PNT. PNT. PNT.	1-3/4" 1-3/4" 1-3/4"		-	
201 202 203 204 205	BEDROOM 3 CLOSET BEDROOM 2 CLOSET BEDROOM 2 HALL CLOSET BEDROOM 3	6'-0" 2'-8" PR 2'-0" 2'-8"	7'-0" 7'-0" 7'-0" 7'-0"	D A B A	PNT. PNT. PNT. PNT.	1-3/4" 1-3/4" 1-3/4" 1-3/4"		- - -	
201 202 203 204 205 206	BEDROOM 3 CLOSET BEDROOM 2 CLOSET BEDROOM 2 HALL CLOSET BEDROOM 3 KID'S BATH	6'-0" 2'-8" PR 2'-0" 2'-8" 2'-6"	7'-0" 7'-0" 7'-0" 7'-0" 7'-0"	D A B A	PNT. PNT. PNT. PNT. PNT.	1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4"			
201 202 203 204 205 206 207	BEDROOM 3 CLOSET BEDROOM 2 CLOSET BEDROOM 2 HALL CLOSET BEDROOM 3 KID'S BATH KID'S BATH	6'-0" 2'-8" PR 2'-0" 2'-8" 2'-6" 2'-6"	7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0"	D A B A A	PNT. PNT. PNT. PNT. PNT. PNT. PNT.	1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4"	-	- - - -	
201 202 203 204 205 206 207 208	BEDROOM 3 CLOSET BEDROOM 2 CLOSET BEDROOM 2 HALL CLOSET BEDROOM 3 KID'S BATH KID'S BATH LAUNDRY	6'-0" 2'-8" PR 2'-0" 2'-8" 2'-6" 2'-6" 3'-0"	7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0"	D A B A A A	PNT. PNT. PNT. PNT. PNT. PNT. PNT. PNT.	1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4"	-	- - - - -	
201 202 203 204 205 206 207 208 209	BEDROOM 3 CLOSET BEDROOM 2 CLOSET BEDROOM 2 HALL CLOSET BEDROOM 3 KID'S BATH KID'S BATH LAUNDRY OFFICE	6'-0" 2'-8" PR 2'-0" 2'-8" 2'-6" 2'-6" 3'-0" 2'-8"	7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0"	D A B A A A A A	PNT. PNT. PNT. PNT. PNT. PNT. PNT. PNT.	1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4"			
201 202 203 204 205 206 207 208 209 210	BEDROOM 3 CLOSET BEDROOM 2 CLOSET BEDROOM 2 HALL CLOSET BEDROOM 3 KID'S BATH KID'S BATH LAUNDRY OFFICE OFFICE CLOSET	6'-0" 2'-8" PR 2'-0" 2'-8" 2'-6" 2'-6" 3'-0" 2'-8" 6'-0"	7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0"	D A B A A A A A D	PNT. PNT. PNT. PNT. PNT. PNT. PNT. PNT.	1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4"	-	- - - - - - - -	
201 202 203 204 205 206 207 208 209 210 211	BEDROOM 3 CLOSET BEDROOM 2 CLOSET BEDROOM 2 HALL CLOSET BEDROOM 3 KID'S BATH KID'S BATH LAUNDRY OFFICE OFFICE CLOSET M BATH TOILET	6'-0" 2'-8" PR 2'-0" 2'-8" 2'-6" 2'-6" 3'-0" 2'-8" 6'-0" 2'-6"	7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0"	D A B A A A A D A	PNT. PNT. PNT. PNT. PNT. PNT. PNT. PNT.	1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4"		- - - - - - - - -	
201 202 203 204 205 206 207 208 209 210 211 212	BEDROOM 3 CLOSET BEDROOM 2 CLOSET BEDROOM 2 HALL CLOSET BEDROOM 3 KID'S BATH KID'S BATH LAUNDRY OFFICE OFFICE CLOSET M BATH TOILET M BATH	6'-0" 2'-8" PR 2'-0" 2'-6" 2'-6" 3'-0" 2'-8" 6'-0" 2'-6"	7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0"	D A B A A A A D A C	PNT. PNT. PNT. PNT. PNT. PNT. PNT. PNT.	1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4"		- - - - - - - - -	
201 202 203 204 205 206 207 208 209 210 211	BEDROOM 3 CLOSET BEDROOM 2 CLOSET BEDROOM 2 HALL CLOSET BEDROOM 3 KID'S BATH KID'S BATH LAUNDRY OFFICE OFFICE CLOSET M BATH TOILET	6'-0" 2'-8" PR 2'-0" 2'-8" 2'-6" 2'-6" 3'-0" 2'-8" 6'-0" 2'-6"	7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0"	D A B A A A A D A	PNT. PNT. PNT. PNT. PNT. PNT. PNT. PNT.	1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4" 1-3/4"		- - - - - - - - -	

# **SCHEDULE NOTES:**

1.) CONTRACTOR TO VERIFY ALL GLAZING SIZING, AND DOOR DIMENSIONS IN FIELD PRIOR TO ROUGH FRAMING & ORDERING OF GLAZING/WINDOW/DOOR MATERIALS. REVIEW SIZES AND ANY DISCREPANCIES W/ ARCHITECT.

2.) ALL GLAZING TO BE "LOW E", INSULATED GLASS UNLESS NOTED OTHERWISE.

3.) ALL OPERABLE WINDOWS TO HAVE SCREENS.

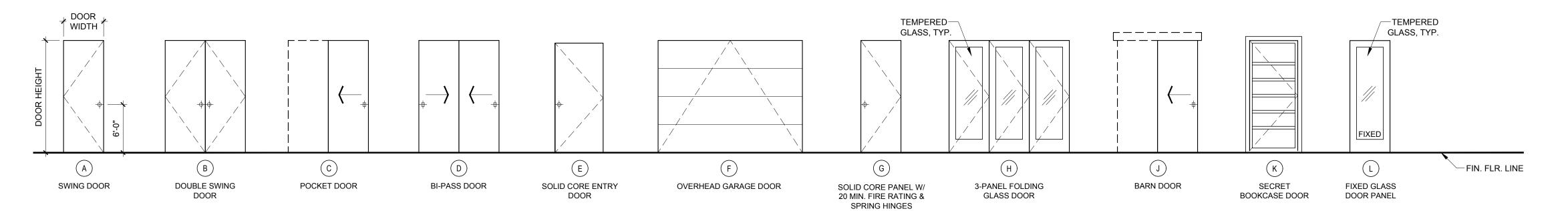
4.) GLAZING INDOORS AND/OR WITHIN 24" OF A DOOR TO BE TEMPERED. SEE EXTERIOR ELEVATION FOR TEMP. GLASS LOCATION & EGRESS WINDOWS.

5.) 2018 WSEC & VIAQ RESIDENTIAL PRESCRIPTIVE OPTION 3 ADOPTED. GLAZING AREA INDICATED UNLIMITED. SEE ENERGY NOTE ON SHEET T1.0 FOR DETAILS.

6.) ALL NEW FENESTRATION ARE TO BE NFRC CERTIFIED.

7.) ALL WINDOW AND DOOR HEADERS ARE TO BE INSULATED WITH A MINIMUM OF R-10 INSULATION.

# **DOOR TYPES**



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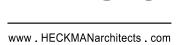
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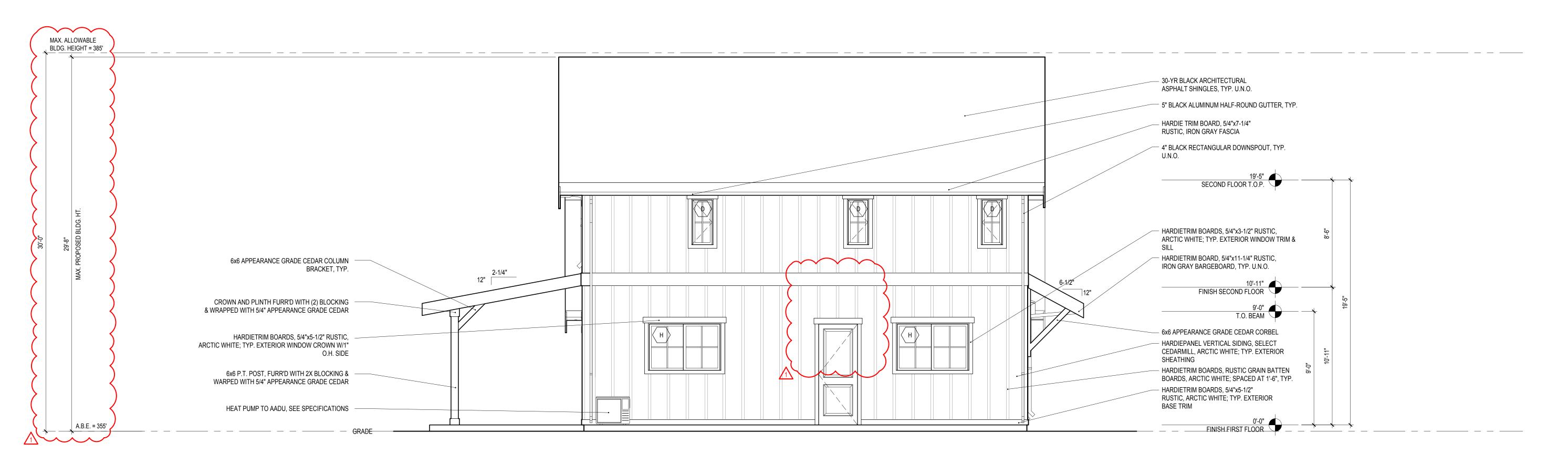
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# **ELEVATION LEGEND**

- TEMPERED GLAZING
- E EGRESS WINDOW
- REPAIR AREA AT EX. WALL MAX. APPENANCE BENEFILE GAT = 385'
  MATCH EXISTING



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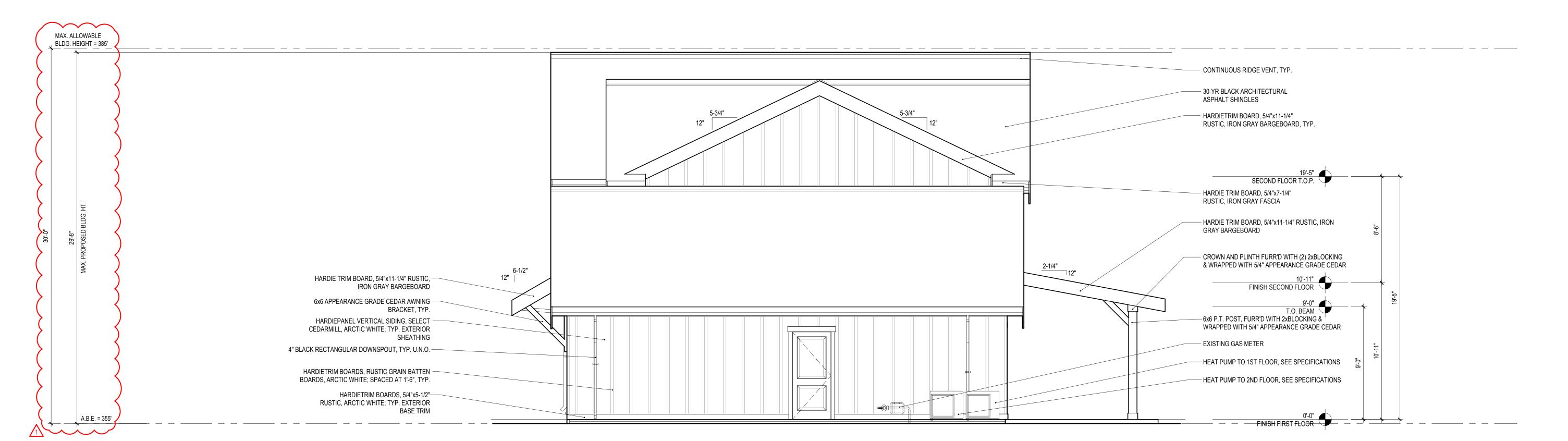


**ELEVATION LEGEND** 

TEMPERED GLAZING

E EGRESS WINDOW

REPAIR AREA AT EX. WALL MAX. APPENANCE BENEFILE OF T = 385'
MATCH EXISTING



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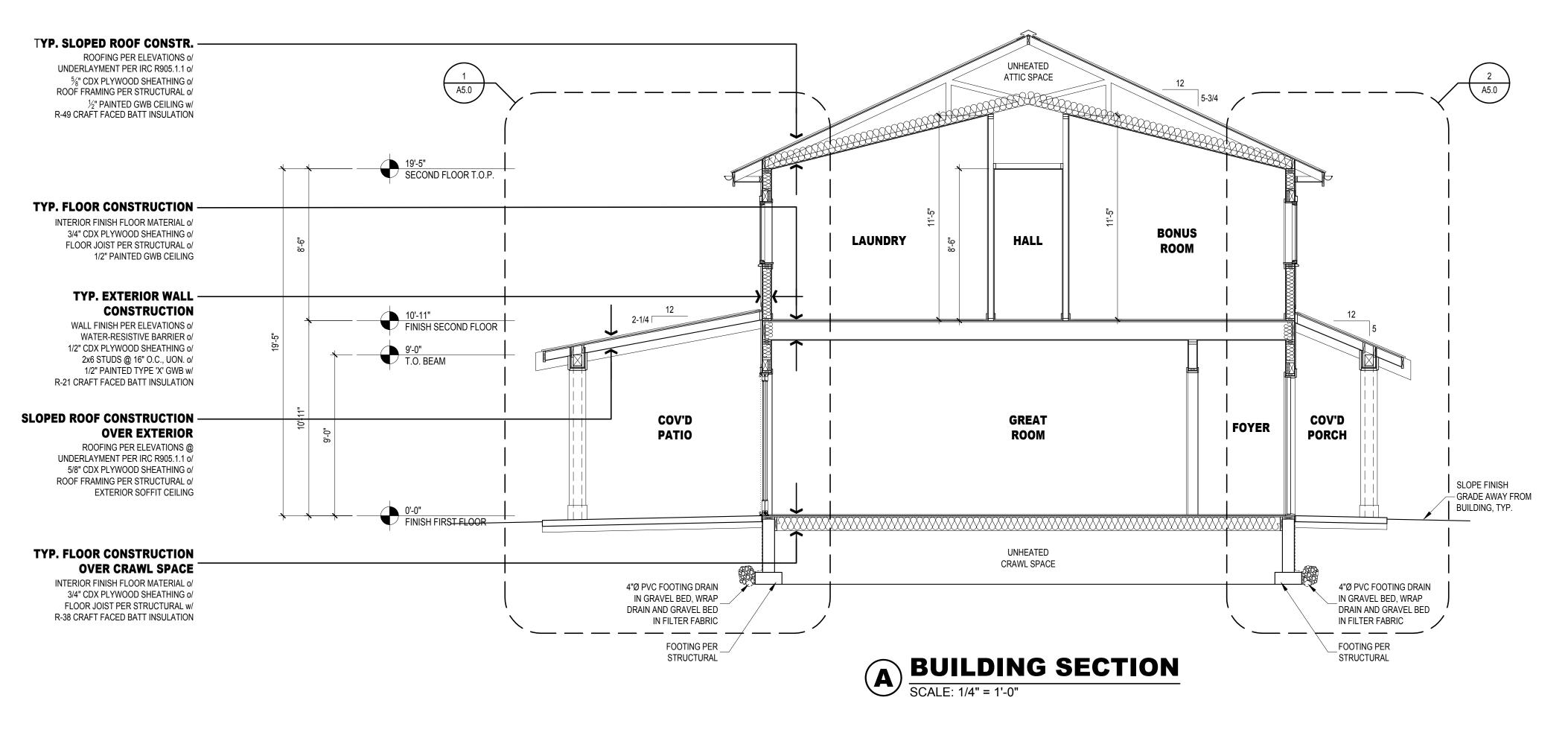
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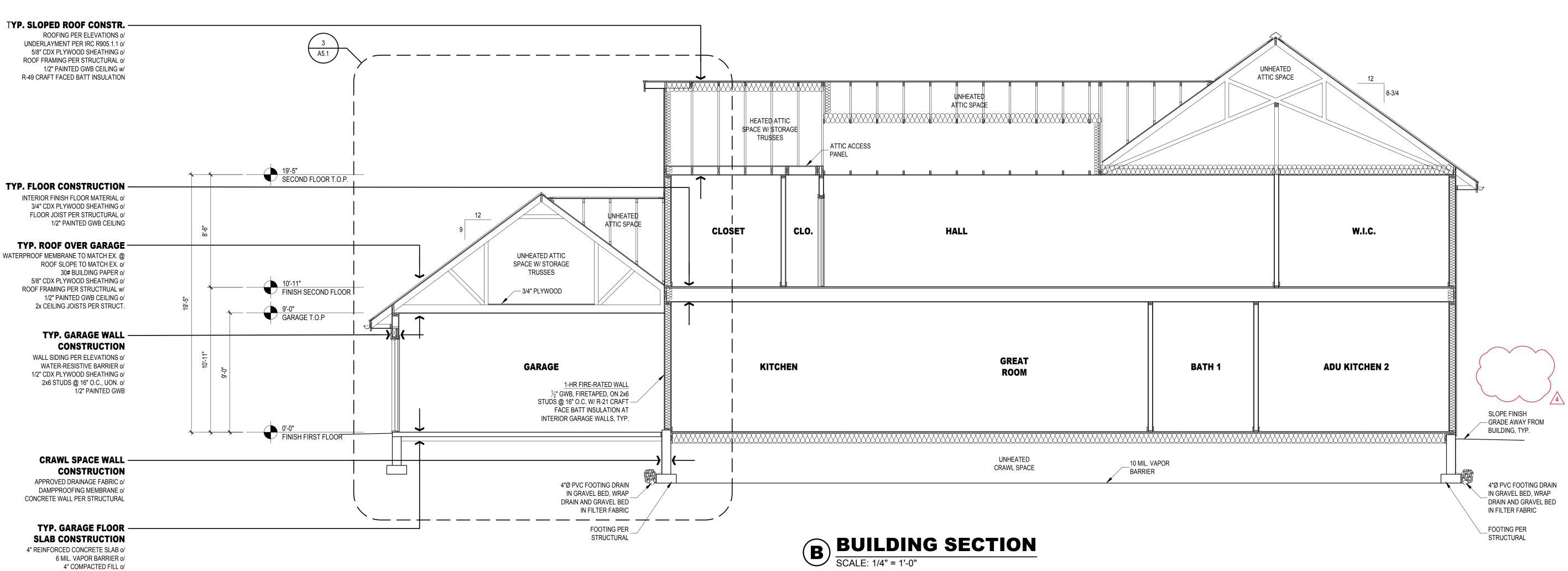
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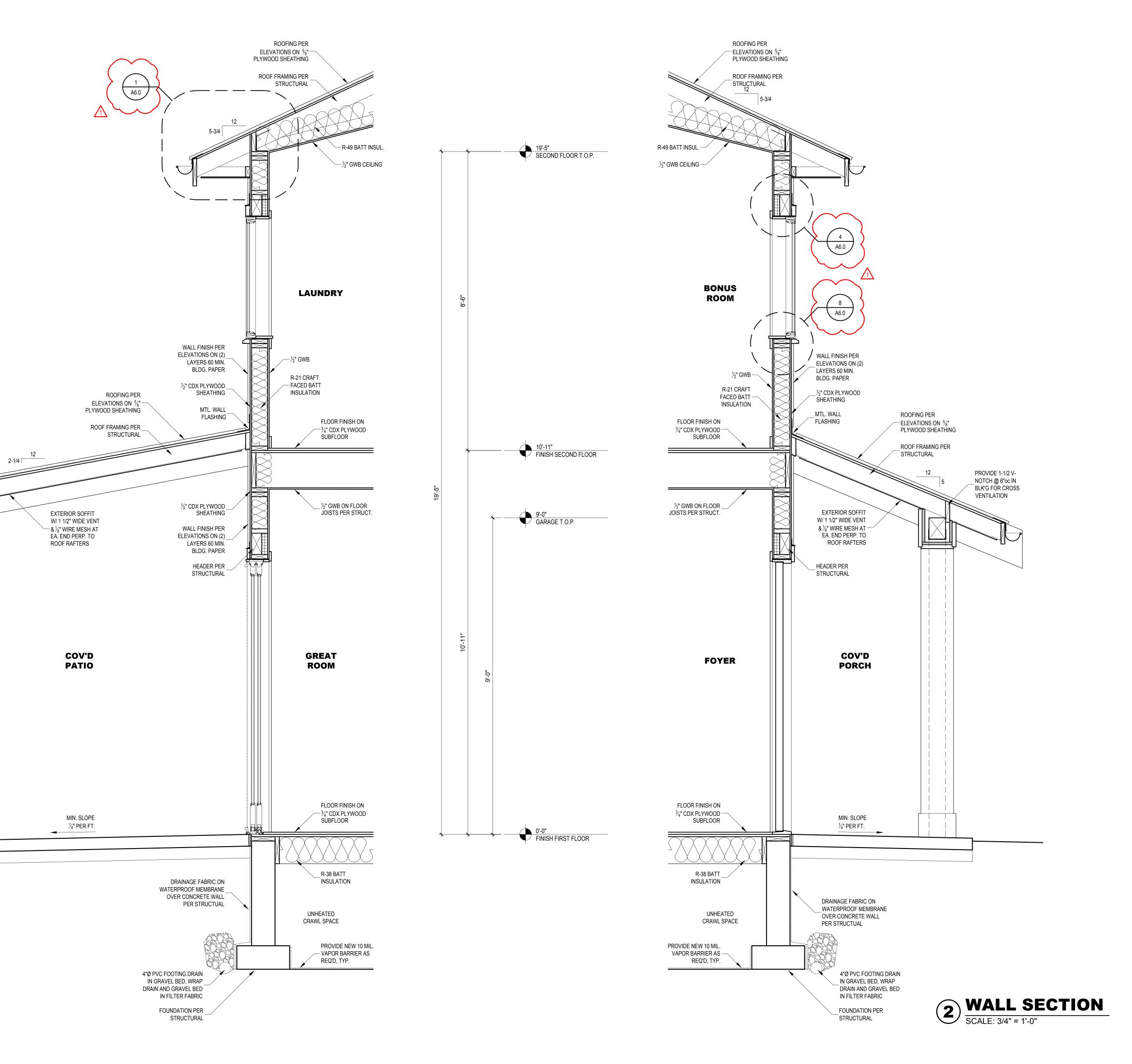




4" REINFORCED CONCRETE SLAB o/

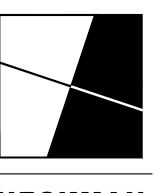
6 MIL. VAPOR BARRIER o/ 4" COMPACTED FILL o/ EXISTING UNDISTURBED SOIL





WALL SECTION

SCALE: 3/4" = 1'-0"



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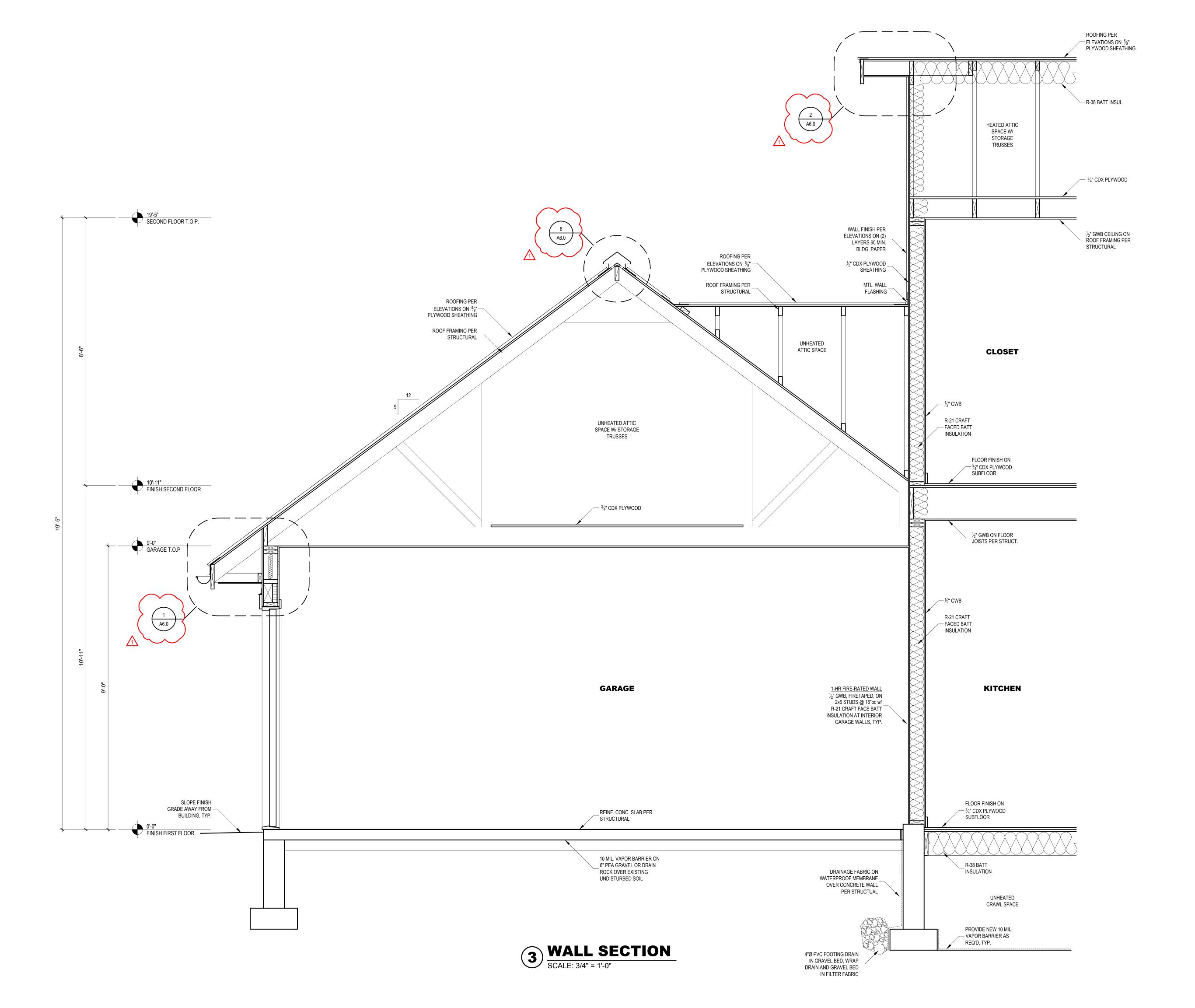
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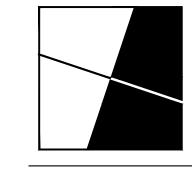
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**A5.0** 





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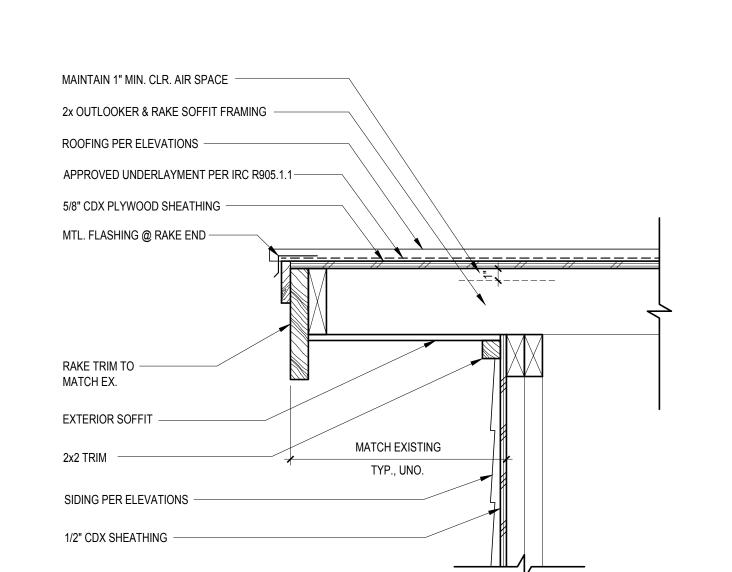
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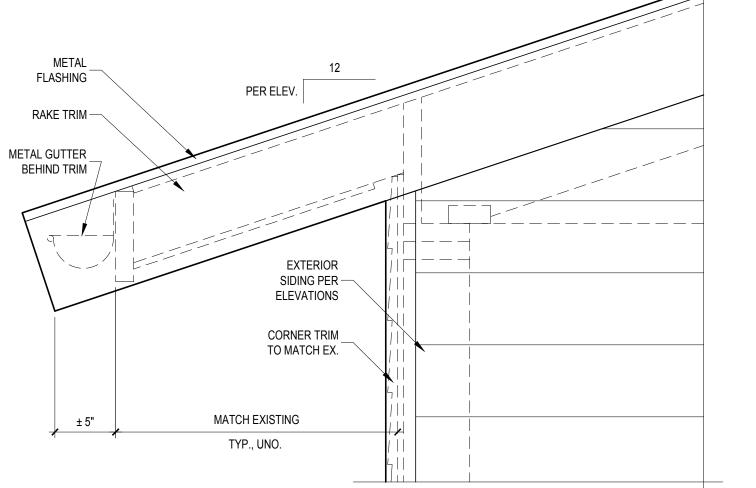
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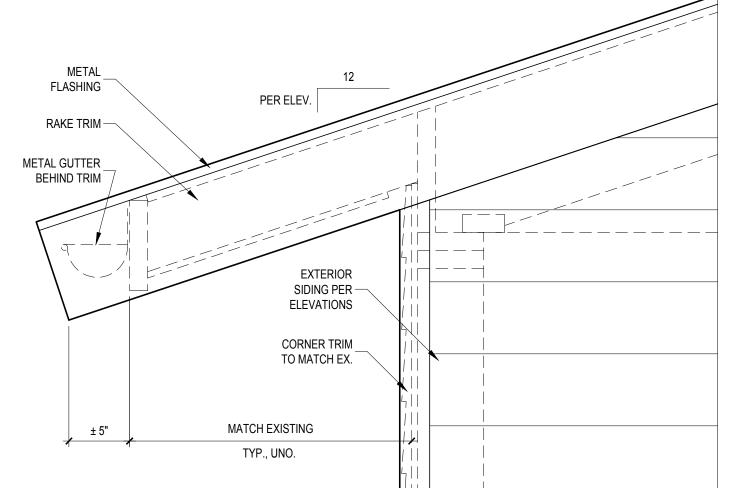
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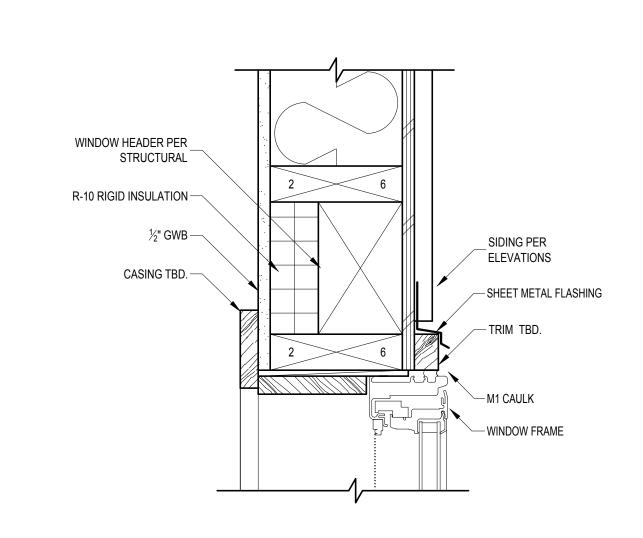
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# ARCHITECT AARON N. HECKMAN STATE OF WASHINGTON

# 1 TYPICAL ROOF EAVE DETAIL SCALE: 1 1/2" = 1'-0"

TYP., UNO.

MAINTAIN 1" MIN. CLR. AIR SPACE

ROOF FRAMING PER STRUCTURAL

5/8" CDX PLYWOOD SHEATHING -

METAL EAVE

GUTTER/D.S.

EXTERIOR SOFFIT

½" CDX SHEATHING

WOOD SIDING -

PER ELEVATIONS

5/8" PLY PER STRUCTURAL

2xBLOCKING

(2) 1/2" PLY

2x6 RAFTER, TYP.

5/4"x7-1/4" HARDIETRIM,

BARGEBOARD BEYOND

6x8 STRUCTURAL BEAM

STRUCTURAL

CEDAR, TYP.

2xBLOCKING, TYP.

SIMPSON COLUMN CAP PER

CAULKING TO MATCH CEDAR COLOR AS CLOSE AS POSSIBLE, TYP.

5/4" APPEARANCE GRADE

6x6 STRUCTURAL GRADE POST -

CONCRETE STRONG TIE, PER

1/4" GAP BETWEEN CEDAR

SIMPSON POST TO WET

STRUCTURAL

AND CONCRETE

IRON GRAY FASCIA

FLASHING

METAL

APPROVED UNDERLAYMENT PER IRC R905.1.1

CONT. 1-1/2" WIDE VENT W/ 1#8" WIRE MESH -

ROOFING PER ELEVATIONS



- R-49 BATT INSUL.

WIND BAFFLE

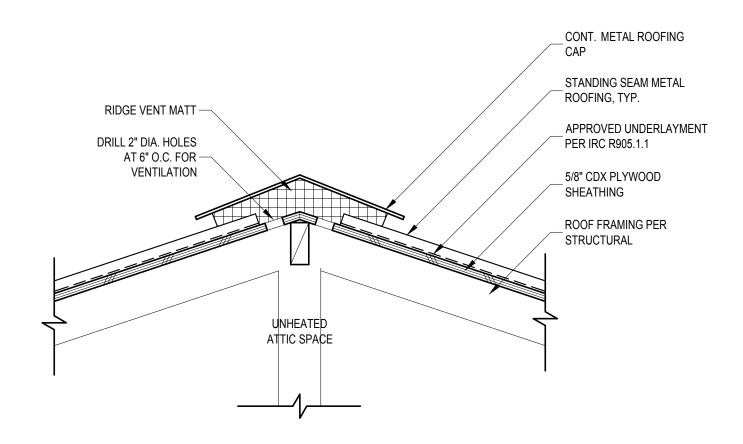
VENTED BLK'G

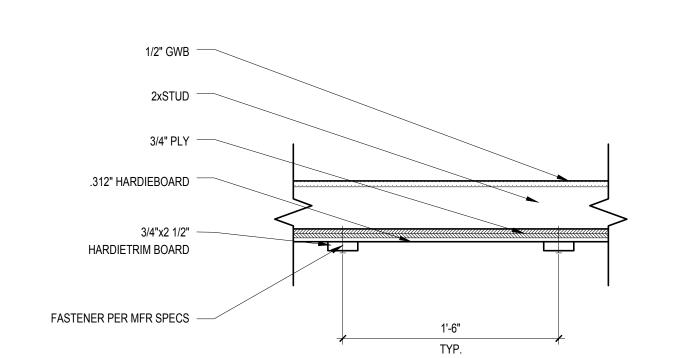
- R-21 BATT INSUL.

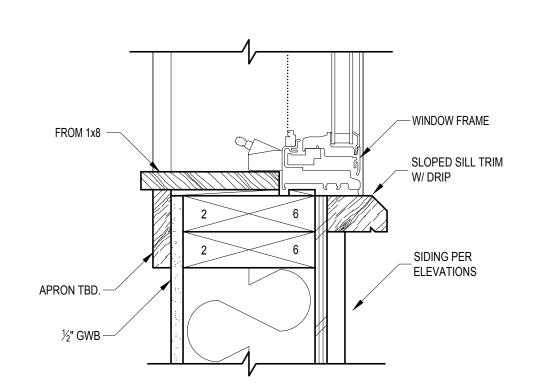
NOTCH W/ 'V'

**GROOVE** 

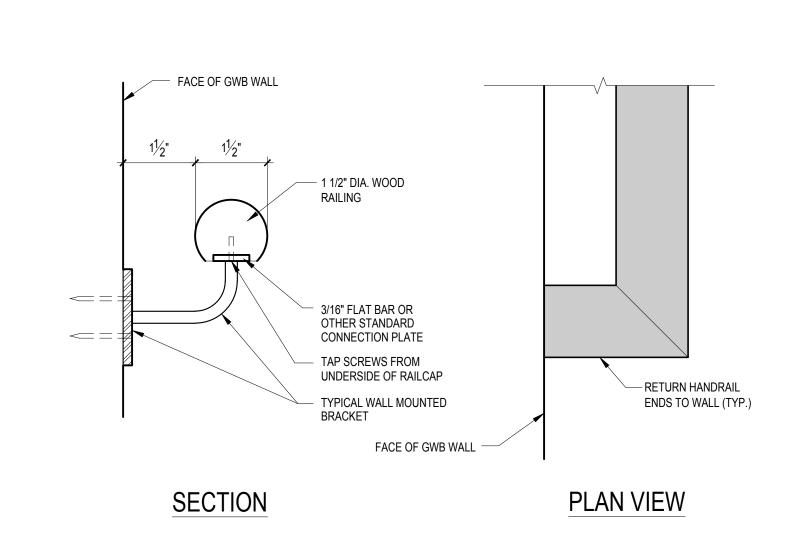
# 3 TYPICAL ELEVATION AT ROOF RAKE SCALE: 1 1/2" = 1'-0" TYPICAL WINDOW HEAD DETAIL SCALE: 3" = 1'-0" SIM. AT JAMB



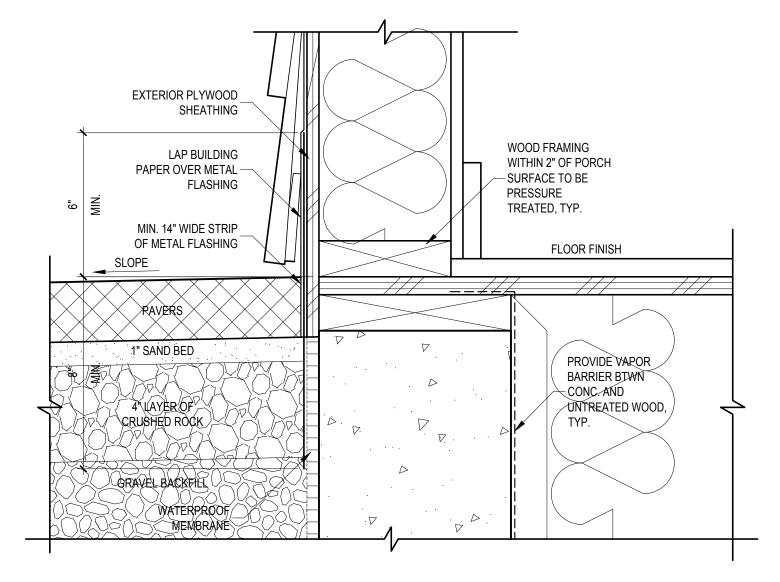




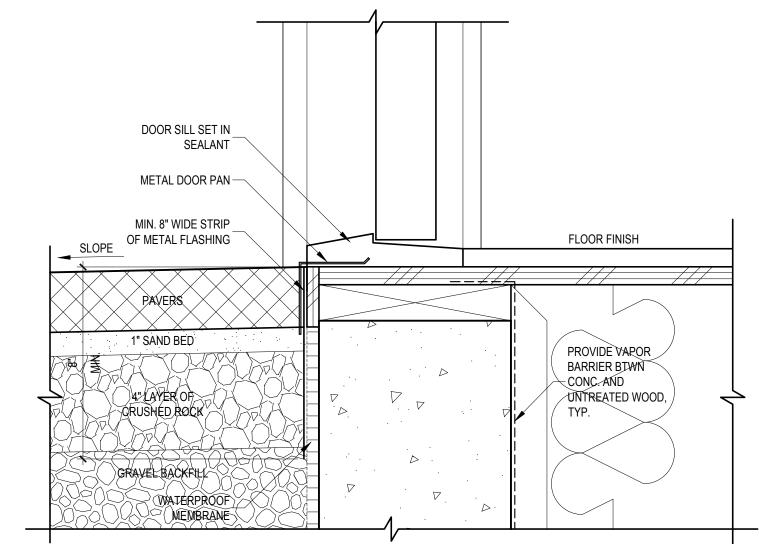
# 6 TYPICAL ROOF RIDGE VENT DETAIL SCALE: 1 1/2" = 1'-0"



# 7 BOARD AND BATTEN DETAIL SCALE: 1 1/2" = 1'-0"



# 8 TYPICAL WINDOW SILL DETAIL SCALE: 3" = 1'-0"











## **Applicable Codes and Standards:**

2018 International Building Code (IBC) and other applicable local building codes. ASCE/SEI 7-16 - "Minimum Design Loads for Buildings and Other Structures" 2018 NDS for wood structures.

American Wood Preservers Bureau - AWPB Standards for Pressure Treated Material.

American Concrete Institute - ACI 315, ACI 318, ACI 301, ACI 307.

Structural design shall be in accordance with the latest edition of above codes and standards. Contractor shall comply with the latest edition of all applicable codes and standards.

## **Design Loads:**

25 psf (snow) Live load: 40 psf (60 psf decks) Dead load: solar panels

Wind load: Basic wind speed 110 mph, exposure B, KzT=1.38

> **Building Category: Enclosed, Wind Important Factor Iw = 1.0** Refer to calculation page L1 for design wind forces.

Internal pressure 5 psf, Components and cladding design per 1609.6.4.4.1

# Seismic loading per IBC Section 1613, Site Class D.

The basic structural type is a bearing wall system with light framed walls with shear panels. Rw = 6.5(wood structural panels), soil type D. Seismic importance factor 1.0, Seismic Use Group I

Design and Analysis by Simplified Design Procedure

Peak Ground Accelerations (PGA) based on USGS Hazards Program, by lat/long. PGA 1  $\sec = .503$  PGA .2  $\sec = 1.451$ 

Seismic base shear = 0.149 \* Dead Load

## Foundations:

Soil parameters (assumed): Vertical allowable soil pressure: 1,500 psf

All soil conditions are to be field verified during construction. Footings shall bear on firm natural soils or on structural fill placed over firm natural soils, and inspected in place. Footings shall extend 18 inches minimum below adjacent exterior finished grade and shall extend 12 inches minimum below existing interior grade unless otherwise noted on plans. Structural fill shall be placed in 12-inch maximum horizontal lifts (loose thickness) and compacted to 90 percent of maximum dry density in accordance with ASTM D-1557. Imported structural fill shall be granular material containing no more than 5 percent fines, passing no. 200 sieve. Structural fill in place shall be tested by a licensed soil engineer or approved by the building inspector.

Drainage behind the concrete walls shall be provided conforming to the construction details.

## **Cast in Place Concrete:**

Concrete shall attain a minimum compressive strength of 2,500 psi at 28 days (5-1/2 sack mix). An alternate mix provided by the concrete supplier and pre-approved by the building department is acceptable. Reinforcing steel shall conform to ASTM A-615, Grade 60 (Fy=60,000 psi) for all bars. Provide all wall and footing horizontal bars with 2'-0" x 2'-0" corner bars of the same size at all corners and wall intersections. Minimum lap splice 48 bar diameters.

Concrete protection for reinforcement shall be:

Concrete exposed to earth or weather 1.5" (#5 & smaller) 2" (#6 & larger) Concrete cast against earth

0.75"

Anchor bolts shall conform to F1554. All other bolts shall conform to ASTM A307.

Minimum anchor bolt size and spacing shall be  $\frac{1}{2}$  diameter bolts @ 6' o.c. Shear wall anchor bolts per the

For cast-in-place anchors, provide 7" minimum embedment into the new concrete foundation. For retrofitted anchors, provide 5" minimum embedment into the existing concrete foundation. Epoxy grout

Provide 3"x3" square x 0.229" thick bolt washers where anchor bolts connect the sill plate to the concrete

foundation.

# **Wood Framing Specifications:**

All sill plates and other wood framing which is in contact with concrete or masonry must be preservativetreated in accordance with AWPA U1 and M4 standards. For anchor bolts connecting wood sill plates to concrete or masonry, provide galvanized steel washers and nuts on top of the sill, minimum washer size 3" x 3" x 1/4" thick.

Where toenails are used for stud wall construction, a minimum of (2) toenails at top and bottom of each stud shall be provided. Toenails shall be 16d nails driven at approximately a 45 degree angle, with a minimum of 1-1/2" of the nail shank shall be embedded in both the stud and the plate. End nails driven through the plate and into the stud end grain are not permitted. Simpson A34 clips at top and bottom of each stud are permitted where correct toenailing is not provided.

Wherever joists bear on a wall or beam, either a continuous rim joist or solid wood blocking must be provided. Blocking shall be connected to the joists with A35 angles at each end. Individual blocks may be omitted to allow for ducting or other openings. Consult with the engineer of record if more than 25% of the blocking is omitted.

Where LVLs are specified with a thickness greater than 1-3/4", the beam may be built up out of multiple 1-3/4" LVL beams connected per truss-joist TJ-9000 specifier's guide.

Unless noted otherwise, the following grades and species shall be used for structural lumber:

2x, 3x, and 4x studs DF/L standard for plywood or WSP shear walls

Hem-Fir standard for other walls

4x and 6x beams DF-L #2

LVL 1.9E, Fb = 2600 psi, Fv = 285 psi (minimums) Microllam LVL lumber Parallam lumber 2.2 WS, Fb = 2900 psi, Fv = 290 psi (minimums)

Glu-lam lumber 24F-V4 for simple span beams, 24F-V8 for cantilever beams

All framing connections shall be per Table 2304.10.1 of the IBC, unless otherwise noted.

# **Preservative-Treated Wood and Fasteners:**

All wood in contact with concrete or masonry shall be preservative-treated, in accordance with AWPA U1 and M4 standards.

All fasteners installed in preservative-treated wood shall be hotdipped zinc-coated galvanized with a minimum coating weight complying with ASTM A 153.

Fasteners other than nails and timber rivets are permitted to be mechanically deposited zinc-coated with coating weights complying with ASTM B 695, Class 55 minimum. Plain carbon steel fasteners in wood preservated-treated with SBX/DOT or zinc borate are not required to be galvanized.

# Plywood Thickness, Grade, and Nailing:

Install plywood sheets with face grain perpendicular to framing. Stagger joints in adjacent sheets. If not otherwise noted, use nailing schedule, Table 2304.6.1 of the IBC.

# **Manufactured Trusses:**

Manufactured trusses specified on the plans are prefabricated products manufactured by a truss manufacturer. The contractor shall submit shop drawings and stamped structural design calculations for review. The manufacturer's installation instructions shall be available on the job site at the time of inspection. Truss design and shop drawings shall include location and weight of all equipment being supported by these trusses.

The truss live loading shall be per IRC Section 301.5 and Table 301.5, especially noting footnotes b and g.

The truss design shall be per IRC Sections 502.11.1 and 802.10.2, especially indicating the truss design and manufacturing shall be per ANSI/TPI 1.

The truss temporary and permanent bracing shall be per IRC Sections 502.11.2 and 802.10.3 as well as the Truss Plate Institute's Building Component Safety Information.

Truss alterations shall not occur unless the approval of a designprofessional as indicated in IRC Sections 502.11.3 and 802.10.4.

# **Manufactured Joists:**

"TJI" Joists specified on the plans are prefabricated products manufactured by the Weyerhaeuser Corporation. The contractor shall submit shop drawings and stamped structural design calculations for review. Joist design and shop drawings shall include location and weight of all equipment being supported by these joists. The manufacturer's installation instructions shall be available on the job site at the time of inspection. Other suppliers may be used, upon approval by the engineer of record.

Provide solid blocking between TJI joists at 8' o.c. along the span.

Blocking shall be solid engineered lumber to match the joist depth. TJI blocking is not permitted. See the TJ-9001 Installation Guide for connection and framing requirements.

# **Metal Framing Connectors:**

<u>Unless otherwise noted:</u> Metal framing connectors shall be manufactured by the Simpson company, or approved equal. Unless noted otherwise, use U-series joist hangers to match joist size (e.g., U210 for 2x10 joist). Provide H1 or H2.5 hurricane ties, or other connectors with similar capacity, at every roof joist or truss, and H6 or H7 at ends of roof beams and girder trusses. Where supported by wood posts, wood beams shall be connected to the tops of the posts using Simpson AC, PCZ or EPCZ post caps, and to the bottoms of the posts bearing on wood framing using Simpson AC connectors or A35 clips. Where supported by perpendicular beams, wood beams shall be connected by HU-series face mount beam hangers. Provide Simpson AB or PB post bases to connect posts to concrete foundations. Unless otherwise specified, the maximum number of nails or screws should always be installed on any connector.

## **Bearing Walls:**

All walls supported by continuous concrete footings shall be connected to the foundation per 2018 IRC section 403.1.6. 1/2" diameter anchor bolts shall be provided at 4' o.c., or two per wall segment, minimum. Anchor bolts shall penetrate 7" into the concrete foundation.

# Connection of New Foundation to Existing, Note NF:

At each location where the new concrete foundation abuts the existing foundation, connect the new to the existing using minimum (3) #4 by 18" long rebar dowels, epoxy grouted into 5/8" diameter by 5" deep holes drilled into the existing foundation. Each dowel shall be no closer than 3" to any edge or corner of concrete. Minimum spacing between dowels shall be 6". For concrete wall intersections longer than 3'-0" in any direction, additional dowels shall be located at 12" o.c. for the full height or length of the new

Contact the engineer (prior to construction) for evaluation and approval of the existing foundation system, if there are any significant cracks in the existing foundation within 6 feet of the new foundation, or if there is any indication that the existing foundation is in poor condition, including visible rock pockets, non-uniform concrete, spalling, noticeable settlement of the existing footing, or other distress.

# Note "TSW" (Truss Connection to Shear Wall)

At parallel walls, one typical roof truss shall be located directly over the indicated shear wall, and the bottom chord of that roof truss shall be connected to the top plate of the shear wall below with Simpson A35 connectors per the shear wall schedule. The truss top chord shall receive roof diaphragm edge nailing from the roof sheathing.

Both ends of the indicated trusses shall be connected to a double stud in the shear wall below, using a Simpson H6 or H7 connector. Provide two rows of shear wall edge nailing through the shear wall plywood sheathing into the double studs.

Truss spacing may need to be adjusted, or additional trusses provided, to assure that a truss is located over each indicated shear wall.

At perpendicular walls, frame shear wall segments between the trusses. See TSW "Truss Shear Wall" Details for more information.

# **Drag Strut Note "DS"**

Provide a continuous horizontal connection between the indicated beams, walls, and blocking, using the following method.

Connect the beams, blocking, rim joist, or top plates in the line specified, using a horizontal Simpson CMSTC16 strap or alternate strap specified on the plans. Individual members must be connected together, with the strap extending 3' onto each member. Where blocking is used, the strap must be continuous across all blocking members. The strap must be nailed using 16d sinkers, with a nailing pattern per the Simpson specifications.

The strap may be installed either on top of the plywood floor diaphragm, or connecting a beam or joist, as applicable and feasible.

Beams or joists may be connected to a wall top plate by (8) A35s.

Where no parallel members occur below the strap, provide 3-1/2" wide by 5-1/2" deep (minimum) solid wood blocking in the floor or roof framing, below the strap, for nailing. The blocking should be attached to the perpendicular joists with Simpson A34 framing anchors at both ends of each block.

Straps may be installed on top of a ridge, but not on the bottom.

Refer to the latest edition of the Simpson Catalog for required nailing and other requirements.

Refer to the Drag Strut Typical Detail provided with these plans.

# **Roof Over Framing Note, Note OF:**

The new roof area shown hatched consists of new roof framing constructed over the existing roof framing below. The over built framing shall be constructed in such a way as to distribute the roof loads from the new framing uniformly to the existing roof structure (for example, no new concentrated loads, such as from a beam, shall be added to the existing roof structure). This equal distribution may be accomplished by constructing the new overbuild roof using framed 2x4 cripple walls spaced at 2 feet on center, located on top of and perpendicular to the existing roof sheathing supported by the existing roof framing. No sheathing is required for these cripple walls.

The new cripple walls and roof rafters (spanning 2 feet, perpendicular to the cripple walls) may be constructed using 2x4 lumber, stud grade at minimum. The new plates shall be nailed to each existing rafter with (2) 16d nails minimum. New roof sheathing shall be per the diaphragm schedule.

A new 2x\_ plate shall be constructed along the new valley lines, and nailed to each existing rafter, along its entire length, with (2) 16d nails per existing rafter.

If desired, an alternate method for distributing the loads may be submitted to the structural engineer of record, for review and approval prior to construction.

# **Hold Down Notes**

Convention for showing shear walls and hold downs: Shear walls are shown on the framing plan for the floor above. (For example, first floor shear walls will be shown on the second floor framing plan, and the shear walls for the topmost floor will be shown on the roof framing plan.) Hold downs are located at the bottom of that shear wall, and connect the end of the shear wall to wall framing or a structural beam located in the floor below the shear wall. Contact the engineer of record for clarification if needed.

Hold downs for each floor must be continuously connected to hold downs on the floor below (or to other intermediate wood framing where so indicated), until they are finally connected to the concrete

Hold downs shall be installed so as to be as far apart as is reasonable. Hold downs may be located on either the near side or the far side of the post or double stud to which they are attached. In no case shall a hold down bolt be located farther than 6" from the end of the shear wall, except with prior written approval of the engineer. Refer to the latest edition of the Simpson Catalog for details.

Where multiple studs are called out at a hold down, nail studs together with (2) 16d nails at 8" o.c. or 1/4" x 3" Simpson SDS Screws at 12" o.c.

Where a hold down post lands on a rim joist, provide full depth vertically oriented blocking under the

Provide a vertically oriented strap hold down consisting of one or two of the Simpson vertical strap ties listed below, connecting the end stud or post of the shear wall indicated to new or existing studs in the wall framing below, or to a wood beam supporting the shear wall, where applicable. Straps shall be installed so that the minimum end length is provided to both connected posts or studs. Where a strap is connected to a beam below, the strap shall be wrapped around the beam until the minimum end length is reached. See Strap Hold Down Typical Detail.

denotes a Simpson CS16 strap, with a minim end length of 14", and (13) 8d nails each end.

denotes a Simpson CMSTC16 strap, with a minim end length of 25", and (29) 16d sinker nails each end.

denotes a Simpson CMST14 strap, with a minim end length of 34", and (38) 10d nails each

CMST12 denotes a Simpson CMST12 strap, with a minim end length of 44", and (49) 10d nails each

# Rod Hold Downs:

**HDUx** denotes a Simpson HDU(2,4,5,8,or 11)-SDS2.5 hold down. For hold down bolts at existing concrete foundations, use the following bolts:

> For HDU2,4,5: 5/8" diameter A307 threaded steel rod may be used, which shall be epoxy grouted into a 3/4" diameter hole with a minimum embedment of 10". See Retrofit HDU Typical Detail.

For hold downs at new concrete foundations, provide the following bolts.

For HDU2,4,5: Simpson SB5/8x24 may be used, installed per the most recent edition of the Simpson Strong-Tie Literature.

For HDU8: Simpson SB7/8x24 may be used, installed per the most recent edition of the Simpson Strong-Tie Literature.

Where the hold down is too high off of the concrete foundation to adequately connect to the specified anchor, A 7/8" diameter threaded rod and ASTM A194-2H coupler connecting to the specified anchor may be used.

All holes for hold down bolts which are installed into existing foundations must be inspected during the installation of the hold down. Either the building inspector, the structural engineer of record, or the special inspection agency must perform the inspection and approve it before the bolts may be epoxy grouted into the holes. The epoxy grout used must be Simpson SET-XP unless otherwise noted by the engineer of record.

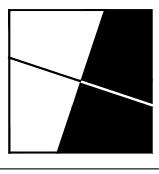
For drilled holes into existing concrete, no less than 2" must be provided between the edge of the hole and the face of concrete. The Engineer of Record or Special Inspector must witness the installation of hold down bolts, including cleaning the holes with compressed air and a wire brush before the anchor is installed. The hole shall be filled with enough epoxy that when the anchor is inserted, the epoxy rises to the top of the concrete. Care shall be taken that no air bubbles persist in the epoxy.

The contractor must verify that the existing foundation stem wall is uncracked and continuous, and is sound and in good condition, within 5 feet of any retrofitted shear wall or hold down, in any direction, except with prior written approval of the engineer. The existing concrete foundation stem wall shall be at least 6" thick and 2'-6" in height. The concrete shall be of good quality, hard and uniform, with appropriate aggregate type, size and distribution, and with no visible rock pockets or other similar

Any existing cracks located within 10' of any hold down must be completely filled with an appropriate epoxy based concrete repair product. The product to be used shall be approved in writing by the engineer prior to filling the cracks.

Contact the engineer of record prior to proceeding if any of these requirements are not met, or if the installation of the hold downs results in any visible damage to the existing foundation.

> CONSULTING STRUCTURAL ENGINEERING, INC. 206-527-1288



HECKMAN architects

501 ROY ST. STE 232C SEATTLE, WA 98109

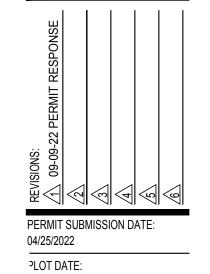
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PLOT DATE: 9/4/2022 SHEET NUMBER:



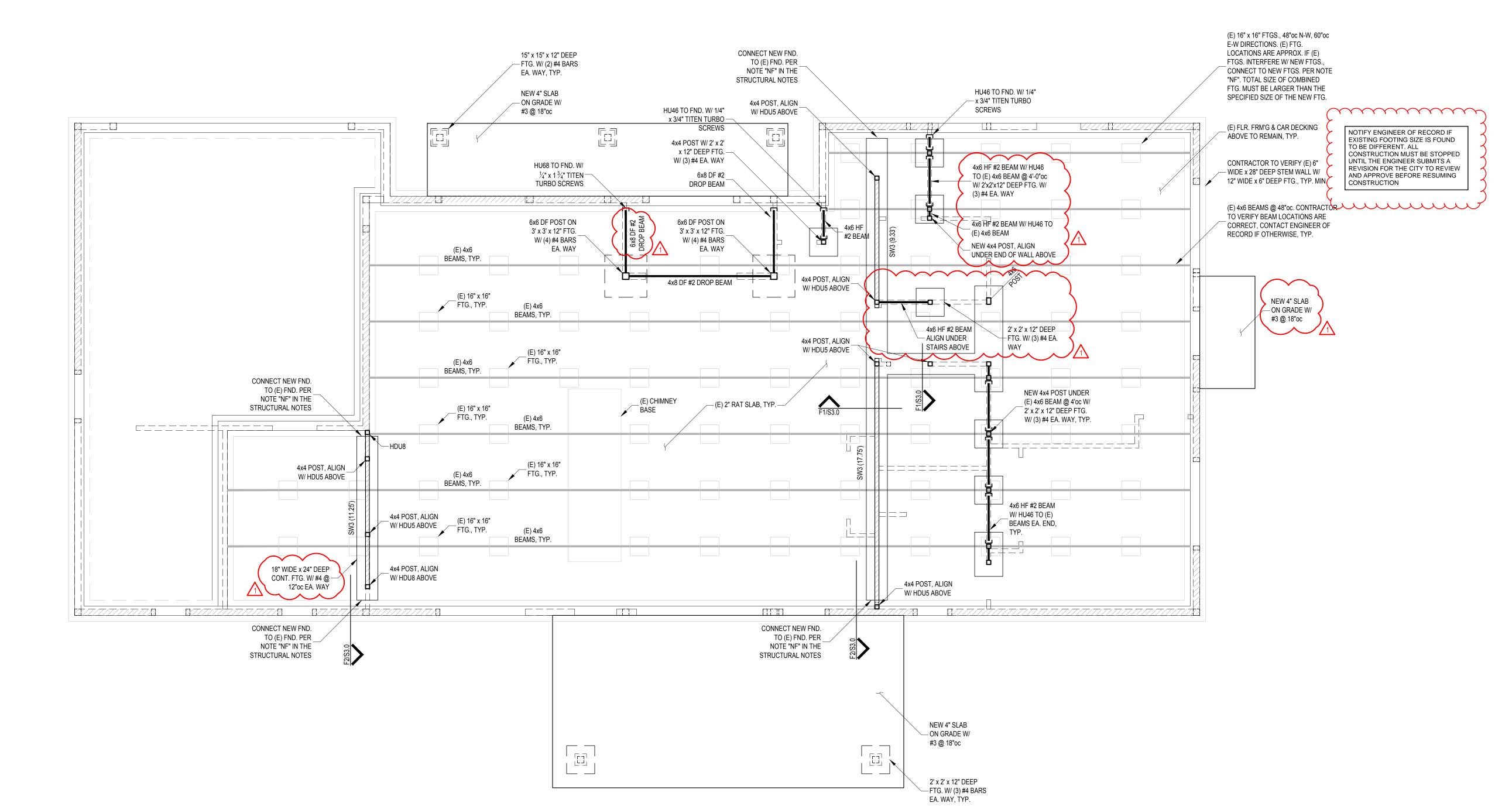
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6311 17th Avenue NE - Seattle, WA 98115

SHEET NUMBER:

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# FOUNDATION AND MAIN FLOOR FRAMING PLAN

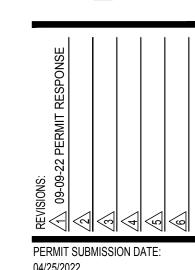
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# ER FLOOR & LOWER F FRAMING PLAN



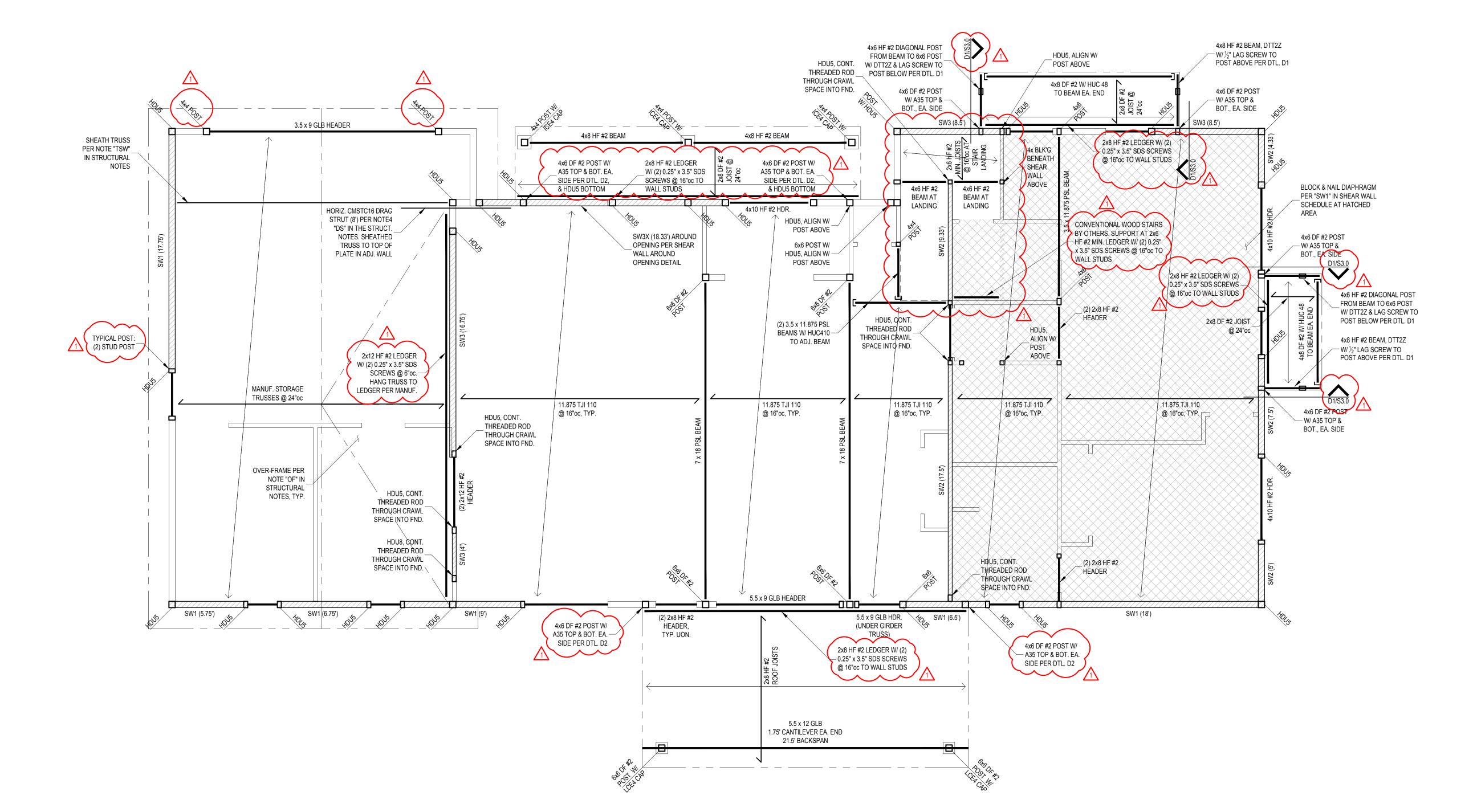
04/25/2022 PLOT DATE: 3/4/2022

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SHEET NUMBER:

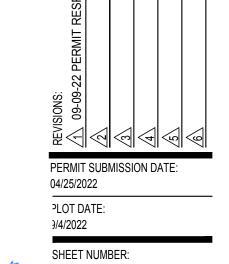
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SCALE: 1/4" = 1'-0"

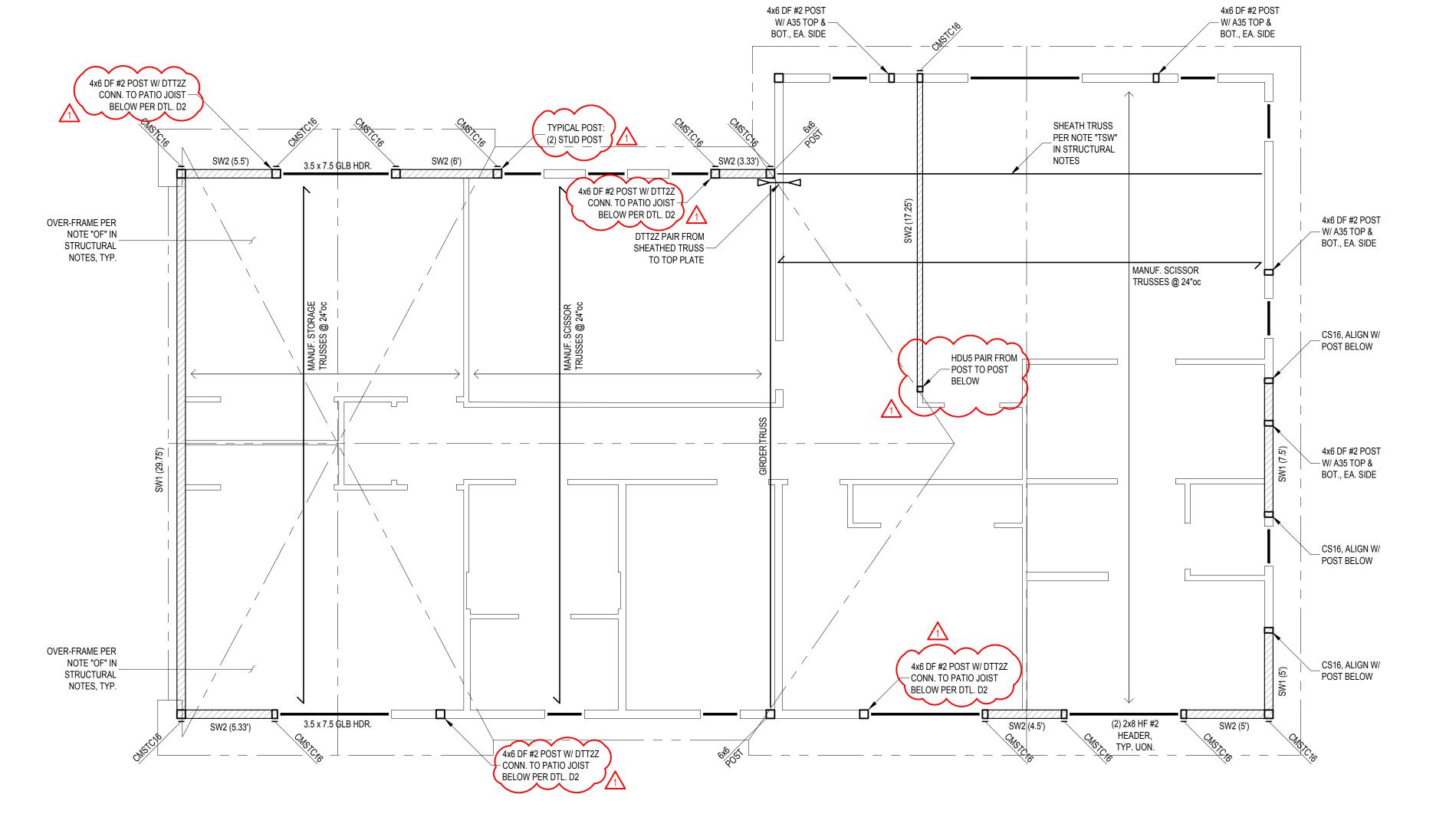






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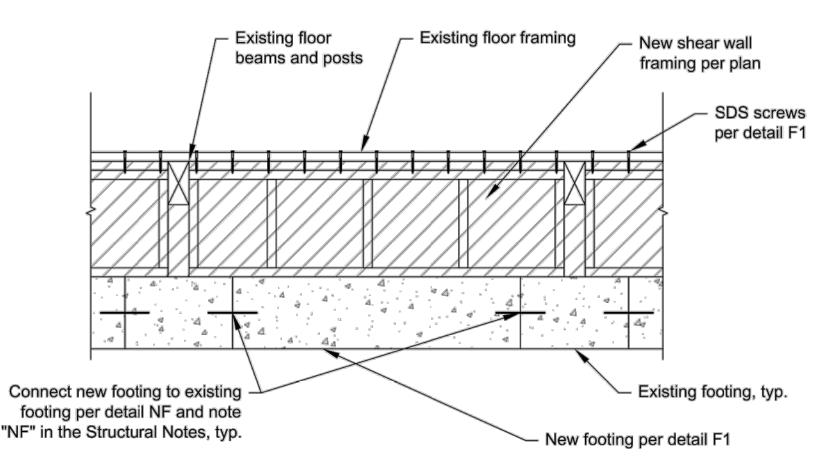




**UPPER ROOF FRAMING PLAN** 

SCALE: 1/4" = 1'-0"

Interior Footing Crawl Space Detail



F2 New Grade Beam @ Existing Crawl Space Footing Detail

4x6 DF#2 post A35 at top and bottom of post, -- DTT2Z w/ 1/2" each side of post Lag screw, 3.5" minimum into 4x8 HF#2 beam per plan Joists parallel or perpendicular to wall per plan 4x8 HF#2 beam beyond per plan A35 at top and bottom of post, each side of post 1/2" lag screw, 3.5" minimum into beam above 4x6 DF#2 post - 4x6 post 1/2" lag screw, 3.5" minimum into post

Scale: 3/4"=1'-0"

Note: Contractor to verify that New or existing wall (Minimum 3) #4x12" existing foundation is sound and in \per structural plan dowels, epoxy grouted into good condition. Contact the 5" deep holes drilled into engineer of record for clarfication, or existing foundation. Dowels if the existing foundation does not shall be spaced minimum 6" meet the minimum requirements of apart, and no less than 4" this detail. from top and bottom of footing. For taller walls, 6" min, 12" max —▶ provide dowels at 12" o.c. vertically, for the full height Existing foundation, verify existing wall thickness, of the wall minimum 5-1/2" New reinforced concrete foundation, refer to new

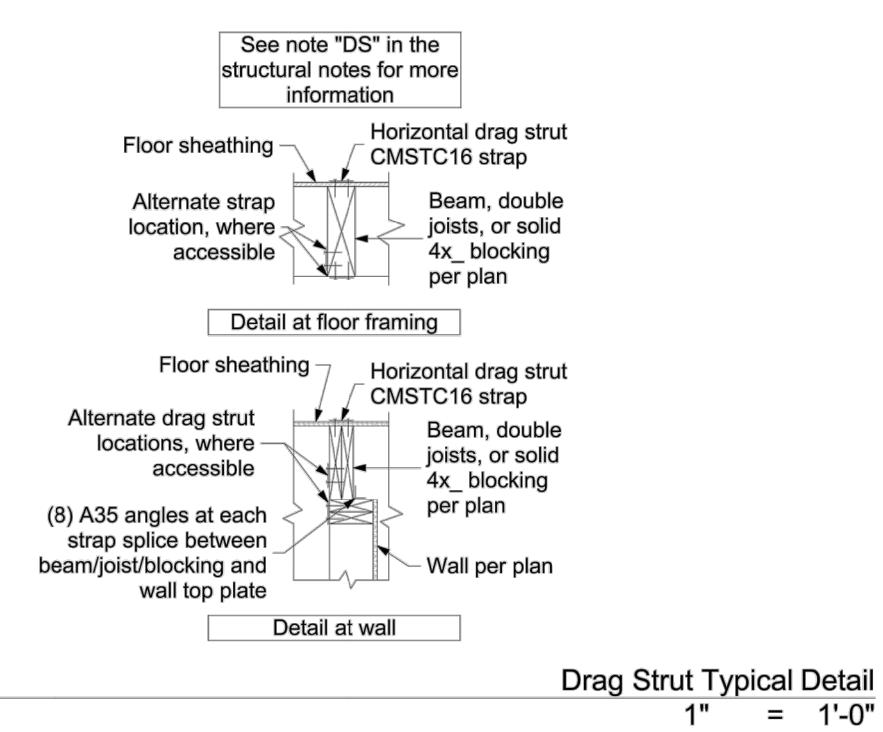
Awning Beam Connection Detail

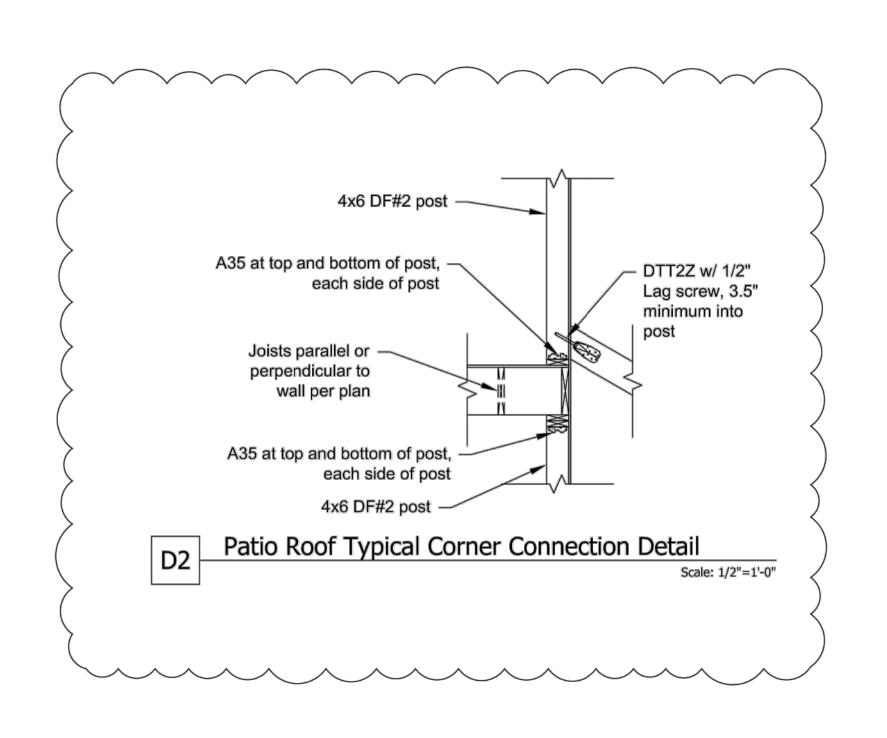
NF

Scale: 1/2"=1'-0"

New Foundation to Existing Detail

foundation detail





# SHEAR WALL SCHEDULE

(Lumber for shear walls is HF#2 or better, unless otherwise noted.)

		Edge		A.B.			A35	Shear
Type	Material	Nailing	Field Nailing	Size/Spacing	Plate Nailing	Plates	Spacing	Capacity
SW0	15/32" WSP one side, unblocked	8d @ 6"	8d @ 12"	1/2"Ø @ 72"	(2) 16d @ 12"	2x_	24"	100 plf
SW1	15/32" WSP one side	8d @ 6"	8d @ 12"	1/2"Ø @ 48"	(2) 16d @ 9"	2x_	24"	230 plf
SW2	15/32" WSP one side	8d @ 4"	8d @ 12"	1/2"Ø @ 32"	(2) 16d @ 6"	2x_	16"	350 plf
SW3	15/32" WSP	10d @ 3"	10d @ 12"	5/8"Ø @ 24"	(2) 16d @ 4"	3x_	12"	550 plf
	one side			$\overline{}$				<b>\</b>
SW3X	15/32" WSP	10d @ 2"	10d @ 12"	5/8"Ø @ 24"	5/8"Ø x 8"	3x_	9"	710 plf
	one side				Lag @ 24"			

For shear wall callouts on the Structural Framing Plans: SW x (y') denotes a shear wall type "x" with a minimum length of "y" feet. See Exterior Shear Wall Typical Detail.

• For SW3 and greater: studs, plates, and blocking where two WSP panels abut shall have a minimum 3" nominal thickness. Double 2x\_members may be used for studs if the members are connected by plate nailing. Note 10d nails at WSP panel edges.

• "WSP" refers to "Wood Structural Panel", either plywood or other wood materials.

Provide double stud minimum at both ends of all shear walls.

• At the roof or top level of any shear wall, "A35 spacing", and all other relevant connector specifications, apply to assemblies at both the top and bottom of the shear wall. At lower levels, apply to the bottom of the wall only.

 Provide floor diaphragm edge nailing per diaphragm schedule through floor plywood into blocking, parallel joist framing, or top plates (whichever applies) of all shear walls.

• Where shear wall edge nails are spaced closer than 3" o.c., or spaced 3" o.c. with 10d nails, foundation sill plates and all framing members receiving edge nailing from abutting panels shall not be less than a single 3x\_member.

• Where panels are applied on the same face of a wall and nail spacing is less than 6 inches o.c. on either side, panel joints shall be offset horizontally and vertically to fall on different framing members, or all framing supporting panel edges shall consist of 3 inch nominal or thicker members and the position of nails on each side shall be staggered vertically.

• Provide 4x\_ or double 2x\_ framing where A35 angles are used on both sides of one piece of wood.

• Where a shear wall terminates above the foundation level (no shear wall below), provide minimum 4x\_ blocking or double joist framing (as applicable) below the shear wall."&" Plate nailing per this schedule shall be nailed into this blocking at the bottom of the shear wall.

• Shear wall nails shall be placed no closer than 3/8" from a panel edge or perpendicular face of stud.

• Maximum spacing between nails shall not exceed 12".
• Shear wall nailing shall be common or galvanized box nails, unless lag screws are noted. Galvanized nails shall be hot dipped or tumbled.

• Where hold downs are specified, the shear wall bolt shall be located within 6 inches of the end of the shear wall, unless otherwise approved by the engineer of record. Minimum end studs shall be as specified in the most recent Simpson catalog.

• Shear wall edge nailing through shear wall sheathing shall be provided into all studs attached to a hold down.

•Retrofit anchor bolts shall have a minimum embedment of 5" into the concrete foundation.

Cast in place anchor bolts shall have a minimum embedment of 7" into the concrete foundation.
For SW3 and greater, foundation anchor bolt plate washers shall extend to within 1/2" of the edge of the sheathing.

• Plate nails shall be nailed into a solid wood rim joist.

Prate hans shall be haned into a solid wood him joist.

• 2x\_plates may be substited for 3x\_plates if panels are nailed with edge nailing directly to the rim joist.

Where 3x\_plates are used, (2) 20d common nails must be used instead of (2) 16d common nails to connect study to the bottom plate.
For SW3 and greater at existing walls, Retrofit High Strength Shear Wall Typical Detail may be used.

For Sw3 and greater at existing walls, Retrofft High Strength Shear wall Typical Detail may be used.
Where Roof ventilation is required over a shear wall, see roof ventilation detail.

# Diaphragm Schedule (Lumber for diaphragm construction is HF#2 or better, unless otherwise noted.)

Type	Material	<b>Edge Nailing</b>	Field Nailing	<b>Edge Blocking</b>	Remarks
Roof	15/32" CDX 24/0	8d @ 6" o.c.	8d @ 12" o.c.	no	Minimum Standard
Floor	23/32" CDX 48/24	8d @ 6" o.c.	8d @ 12" o.c.	no	Minimum Standard

• "WSP" refers to "Wood Structural Panel", either plywood or other wood materials.

"WSP" refers to "Wood Structural Panel", either plywood or other wood materials.
Rim joists at exterior walls shall be continuous for tension. At rim joist splice locations, provide (2) CS16 horizontal straps, minimum 24"
Where roof or floor framing is cantilevered over an exterior wall below, provide solid blocking with Diaphragm edge nailing between joists.

• This is the minimum required diaphragm construction. Where otherwise noted on the plans, additional blocking or nailing may be required.

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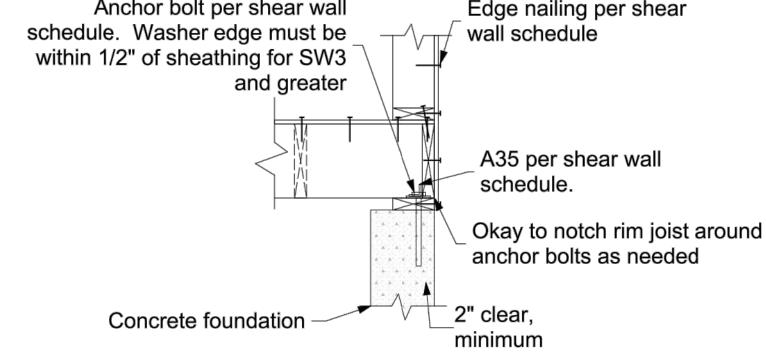
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PERMIT SUBMISSION DATE: 04/25/2022

PLOT DATE: 9/4/2022 SHEET NUMBER:

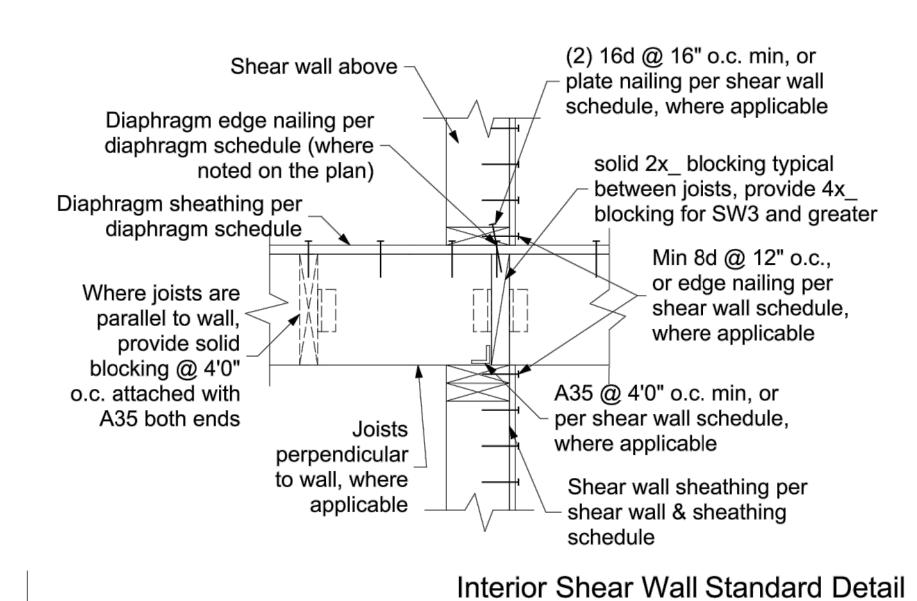
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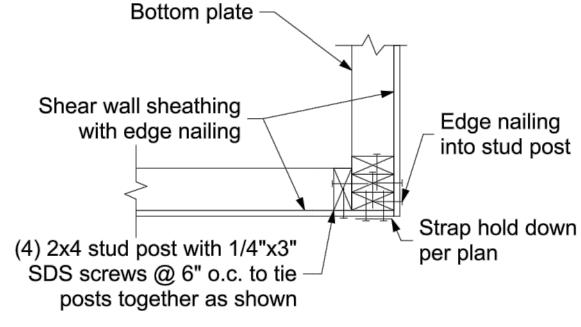
Alternate Condition

Exterior Shear Wall Framing Typical Detail

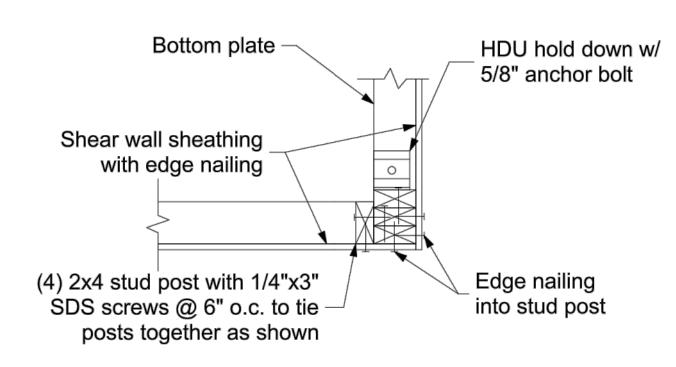
1" = 1'-0"



1 1/2"= 1'-0"

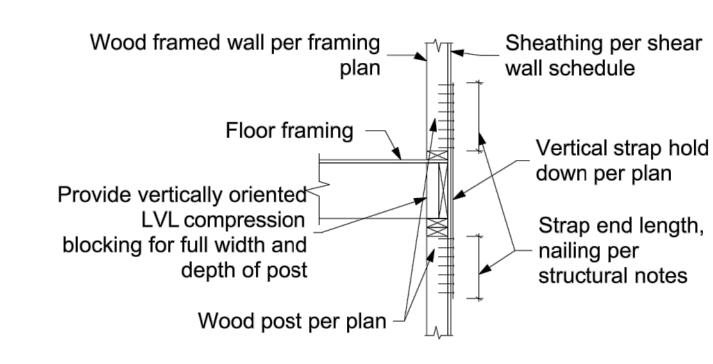


# Strap Hold Down Configuration

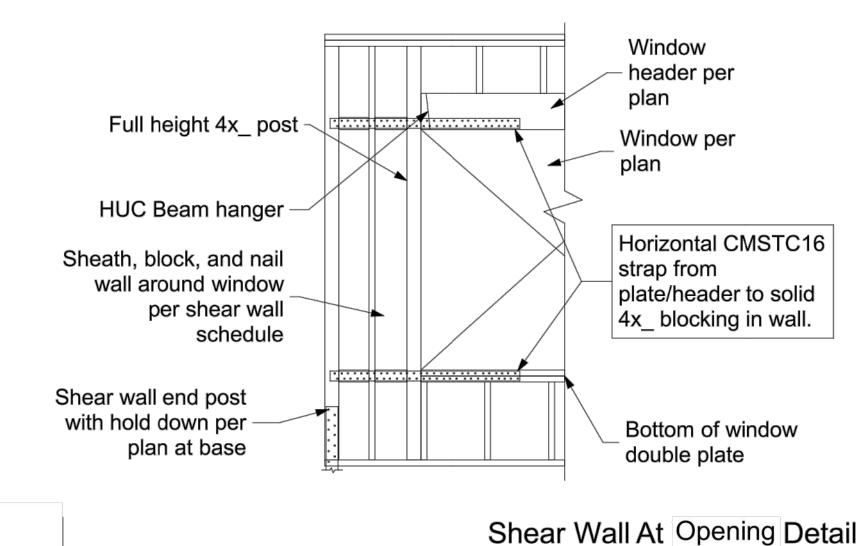


# **HDU Configuration**

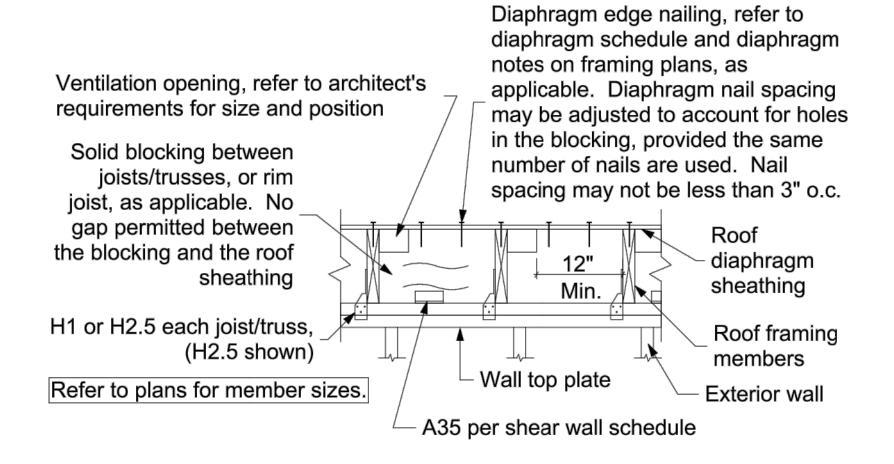
Corner Hold Down Detail 1 1/2"= 1'-0"



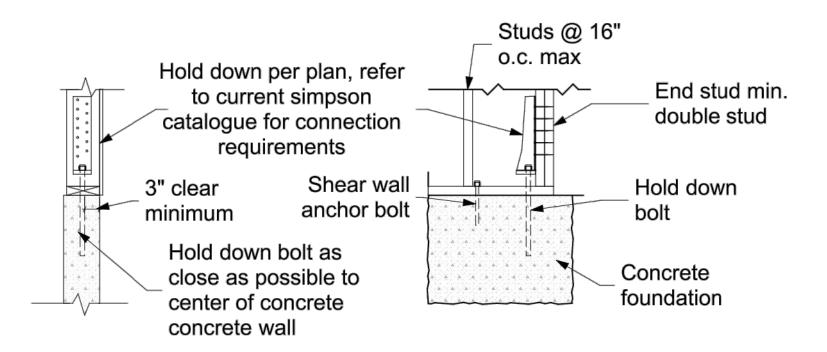
Strap Hold Down Detail 3/4" = 1'-0"



1/2" = 1'-0"



Roof Ventilation Typical Detail
1" = 1'-0"



Retrofit HDU Hold Down Typical Detail 3/4" = 1'-0"





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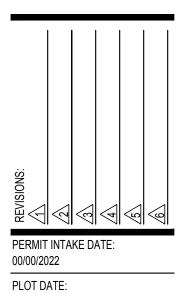
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> STRUCTURAL Details



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