

ABBREVIATIONS

Table of abbreviations including AT CENTERLINE, G.B. GALVANIZED, GA. GAGE, SPECIFICATION, etc.

ELECTRICAL NOTES

- 1. FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM AND FIXTURE LAMPS AS REQUIRED.
2. ARCHITECTURAL DRAWINGS DETERMINE LOCATION AND TYPE (ARCHITECT TO VERIFY W/ ENGINEER) OF ALL OUTLETS AND TAKE PRECEDENCE OVER ALL OTHERS, UON. ELECTRICAL ENGINEER'S POWER PLAN SHALL GOVERN THE WIRING LAYOUT, PANEL LOCATIONS, AND INSTALLATION IN COMPLIANCE WITH ALL LAWS APPLICABLE AND ENFORCED BY GOVERNING AUTHORITIES.

DEMOLITION NOTES

- 1. UON, ALL EXTERIOR WINDOWS AND SKYLIGHTS TO BE REPLACED PER GLAZING SCHEDULE.
2. ALL REMOVED EXTERIOR STONE TO BE SALVAGED FOR POSSIBLE REUSE.
3. ASBESTOS & HAZARDOUS MATERIALS: FEDERAL, STATE & LOCAL REGULATIONS REQUIRE THAT ALL ASBESTOS & OTHER HAZARDOUS MATERIALS IN A BUILDING BE REMOVED PRIOR TO STARTING THE DEMOLITION WORK. CONTRACTOR TO OBTAIN REQUIRED CERTIFICATION THAT THERE ARE NO HAZARDOUS MATERIALS PRESENT IN THE STRUCTURE.

GENERAL NOTES

- 1. DO NOT SCALE DRAWINGS.
2. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE WASHINGTON STATE BUILDING CODE, THE WASHINGTON STATE ENERGY CODE, AND OTHER APPLICABLE CODES, RULES AND REGULATIONS OF JURISDICTIONS HAVING AUTHORITY.
3. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, CODE REGULATIONS, OR RULES OF JURISDICTIONS HAVING AUTHORITY.

DIMENSION NOTES

- 1. DO NOT SCALE DRAWINGS: WRITTEN DIMENSIONS GOVERN. ALL PARTITION WALLS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.
2. ALL DIMENSIONS ARE TO FACE OF FRAMING FOR NEW CONSTRUCTION AND FINISHED FACE OF EXISTING CONSTRUCTION, UNLESS OTHERWISE NOTED. CONTACT ARCHITECT FOR CLARIFICATIONS IF REQUIRED.

FINISH NOTES

- 1. PROVIDE PAINT APPLICATION APPROPRIATE TO THE SUBSTRATE TO WHICH IT IS TO BE APPLIED.
2. ALL EXPOSED GWB SURFACES ARE TO RECEIVE NEW PAINT FINISH U.O.N. PREP ALL SURFACES AS REQUIRED FOR NEW PAINT FINISH. PROVIDE ONE PRIME COAT PLUS TWO FINISH COATS
3. CHANGES IN FLOOR MATERIALS THAT OCCUR AT THE FRAMED DOOR OPENINGS SHALL OCCUR AT THE CENTERLINE OF THE DOOR IN THE CLOSED POSITION.

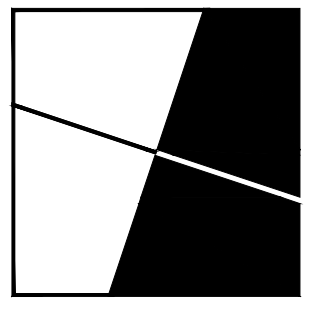
REFLECTED CEILING NOTES:

- 1. COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS.
2. FURNISH AND INSTALL ALL ASSOCIATED TRIM AND SEISMIC BRACING AS REQUIRED.
3. PROVIDE CEILING ACCESS AS REQUIRED FOR EQUIPMENT AND SYSTEM MAINTENANCE, AND MATCH ADJACENT CEILING FINISH UON.

ENERGY CODE NOTES:

- 1. ALL NEW CONSTRUCTION TO COMPLY WITH ALTERATION REQUIREMENTS IN WSEC 2018 RESIDENTIAL SECTIONS.
2. SEE FLOOR PLAN NOTES FOR MINIMUM R-VALUES AND MAXIMUM U-FACTORS.
3. SEE DOOR AND WINDOW SCHEDULES FOR GLAZING SPECS.
4. SEE T1.0 FOR WHOLE HOUSE VENTILATION REQUIREMENTS
5. WINDOWS, SKYLIGHTS, AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT, PER 2018 WSEC SECTION R402.4.3

Table titled 'All Climate Zones (Table R402.1.1)' with columns for R-Value, U-Factor, and U-Factor. Includes footnotes for R-values, U-factors, and SHGC.



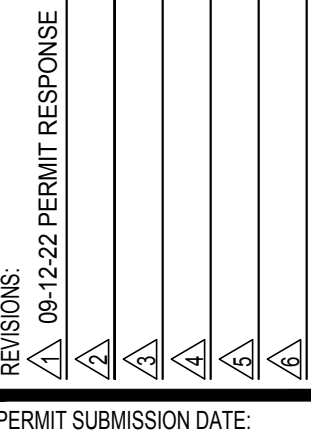
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NGUYEN RESIDENCE
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GENERAL NOTES
ABBREVIATIONS
SYMBOLS



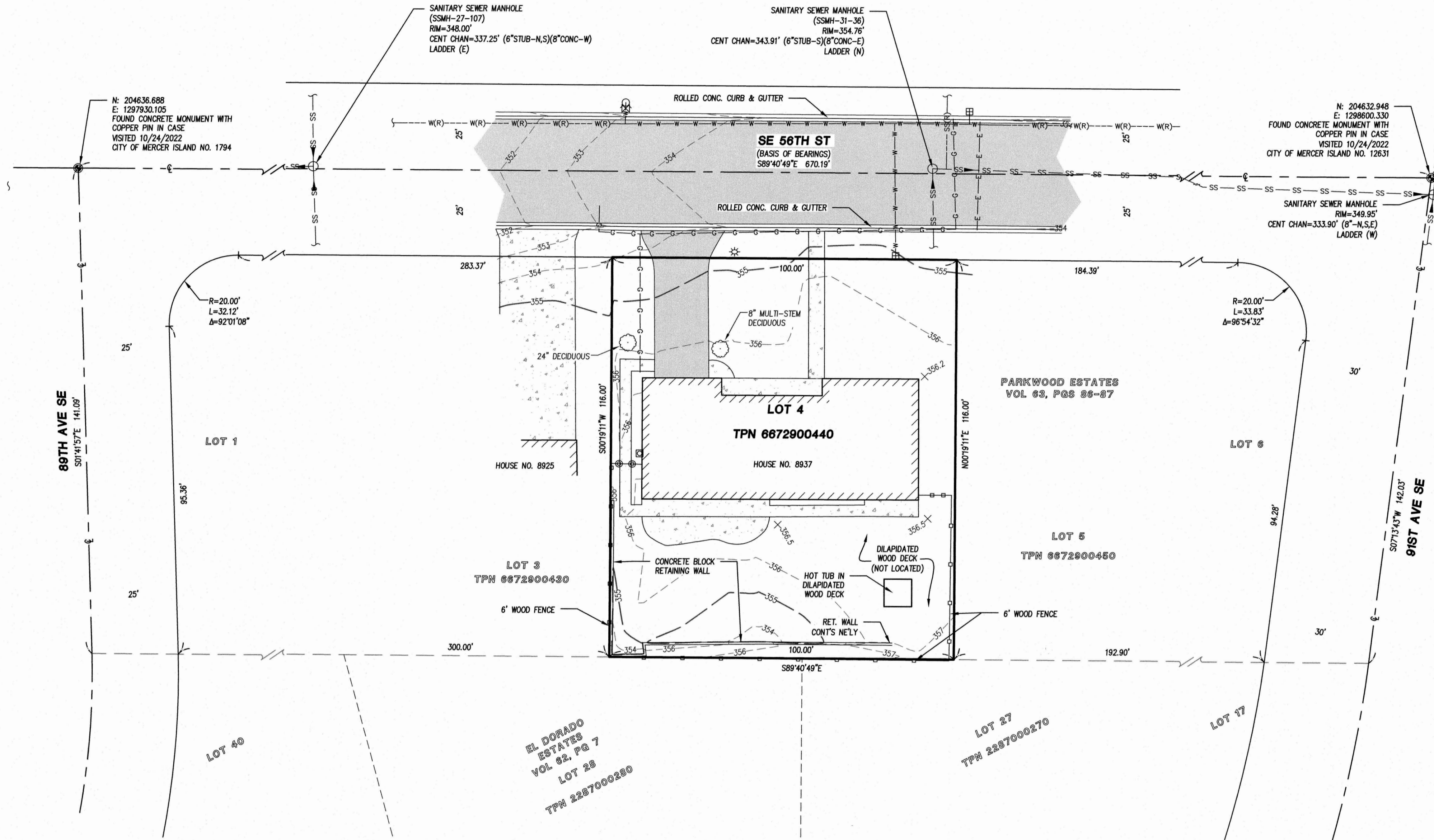
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PLOT DATE: 9/12/2022
SHEET NUMBER:

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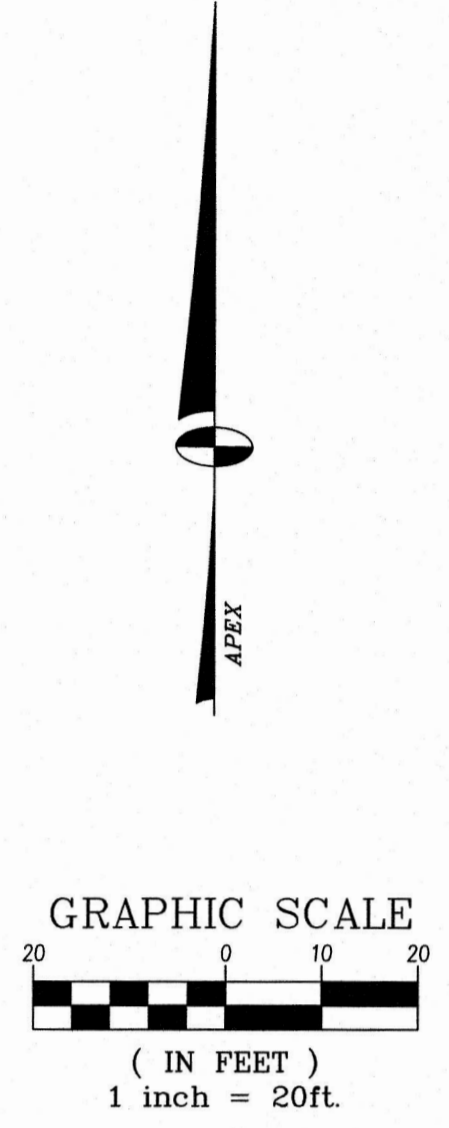
MERCER ISLAND TOPO

TOPOGRAPHIC SURVEY

A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M.
KING COUNTY, WASHINGTON



LEGEND	
⊙	FOUND MONUMENT AS NOTED
(C)	CALCULATED
(P)	PLAT
TPN	TAX PARCEL NUMBER
---	BOUNDARY LINE
---	RIGHT OF WAY LINE
---	ROAD CENTERLINE
---	FLAT LINE
⊙	GATE POST
---	WOOD FENCE (AS NOTED)
---	MINOR CONTOUR
---	MAJOR CONTOUR
x 0.0'	SPOT ELEVATION
○	SANITARY SEWER MANHOLE
---	CENT CHAN CENTER OF CHANNEL
---	STUB SEWER STUB OUT
CONC	CONCRETE
SS-SS-SS	BURIED SANITARY SEWER LINE
SS(R)-SS(R)	RECORD SANITARY SEWER LINE
○	DECIDUOUS TREE (DIAMETER AS NOTED)
ASPH	ASPHALT SURFACE
CONC	CONCRETE SURFACE
⊙	GROUND LIGHT
⊙	GAS METER
⊙	FIRE HYDRANT
⊙	WATER METER
-E-E-E-E	BURIED POWER LINE
-G-G-G-G	BURIED GAS LINE
-W-W-W-W	BURIED WATER LINE
-(R)-(R)	RECORD WATER LINE



LEGAL DESCRIPTION
(PER QUIT CLAIM DEED, REC. NO. 2021070701338)
LOT 4, BLOCK 4, PARKWOOD ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 63 OF PLATS, PAGES 86 AND 87, IN KING COUNTY, WASHINGTON.

BASIS OF BEARINGS
HELD SOUTH 89°40'49" EAST ALONG THE CENTERLINE OF SOUTHEAST 56TH STREET, AS SHOWN HEREON.

HORIZONTAL DATUM
WASHINGTON STATE PLANE COORDINATE SYSTEM, NORTH ZONE (NAD 83/91) BASED ON CITY OF MERCER ISLAND MONUMENT NUMBERS 1794 AND 12631.

VERTICAL DATUM
NAVD 88 BASED ON CITY OF MERCER ISLAND MONUMENT NUMBER 1794 LOCATED AT THE INTERSECTION OF 89TH AVE SE AND SE 56TH ST WITH A PUBLISHED ELEVATION OF 329.45'

SURVEY NOTES

- DATA FOR THIS SURVEY WAS GATHERED BY FIELD TRAVERSE UTILIZING ELECTRONIC DATA COLLECTION, AND MEETS OR EXCEEDS ACCURACY REQUIREMENTS CONTAINED IN W.A.C. 332.130.090. ALL MEASURING INSTRUMENTS EMPLOYED IN THIS SURVEY HAVE BEEN MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THIS MAP GRAPHICALLY REPRESENTS CONDITIONS AND FEATURES EXISTING AT THE TIME OF THIS SURVEY ONLY, WHICH WAS PERFORMED DURING OCTOBER, 2022.
- THE CERTIFICATION OF THIS SURVEY AND MAP IS EXCLUSIVE TO THE NAMED CLIENT WHO REQUESTED THIS SURVEY. IT WAS SPECIFICALLY DESIGNED TO MEET THEIR STATED NEED(S). THAT CERTIFICATION DOES NOT EXTEND TO ANY OTHER PARTIES OR FOR ANY ALTERNATIVE USE OF THIS MAP WITHOUT THE EXPRESS RE-CERTIFICATION BY THE SURVEYOR NAMING THOSE PARTIES.
- THE PURPOSE OF THIS SURVEY IS TO PROVIDE A TOPOGRAPHIC MAP OF THE EXISTING CONDITIONS WITHIN TAX PARCEL NO. 6672900440 FOR PLANNING, DESIGN AND CONSTRUCTION.
- UTILITIES OTHER THAN SHOWN MAY EXIST ON THE SITE. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. THE SURVEYOR DOES CERTIFY THAT THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY INFORMATION.
- KING COUNTY PARCEL NO. 6672900440
- PARCEL AREA: 11,600± SQ.FT. (0.27 ACRES)
- ALL DISTANCES AND DIMENSIONS SHOWN ARE U.S. SURVEY FEET GROUND MEASUREMENTS.
- CONTOUR INTERVALS ARE 1-FOOT AND ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY UTILIZING ELECTRONIC DATA COLLECTION.
- THE PROPERTY AND PUBLIC RIGHT-OF-WAY LINES SHOWN HEREON ARE BASED ON THE PLAT OF PARKWOOD ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 63 OF PLATS, PAGES 86 AND 87, IN KING COUNTY, WASHINGTON.
- WE HAVE USED GRAPHIC SYMBOLS TO REPRESENT SOME FEATURES ON THIS MAP, SUCH AS UTILITIES, TREES AND FENCES. THE DEFAULT SIZE OF THOSE SYMBOLS MAY NOT REFLECT THE TRUE SIZE OF THE FEATURE THAT WAS MAPPED.

REFERENCES

- PARKWOOD ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 63 OF PLATS, PAGES 86 AND 87, IN KING COUNTY, WASHINGTON.

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC SURVEY MADE BY ME OR UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE REPRESENTS THE TOPOGRAPHIC FEATURES AS THEY EXIST ON THE GROUND AS OF 10/24/2022.

Kurt Parcher Oct. 31, 2022
KURT A. PARCHER, P.L.S. NO. 49286 DATE

REV NO	REVISION DESCRIPTION	DATE BY

Apex Engineering
2601 South 35th Street, Suite 200
Tacoma, Washington 98409-7279
(253) 473-4494 FAX: (253) 473-0599

TITLE
MERCER ISLAND TOPO
TOPOGRAPHIC SURVEY
8837 SE 56TH ST
MERCER ISLAND, WA 98040

CLIENT
EMERALD CITY CONSTRUCTION
ATTN: DMITRY LEBED
2571 - 152ND AVE NE
REDMOND, WA 98052

DATE SEALED 10/31/2022

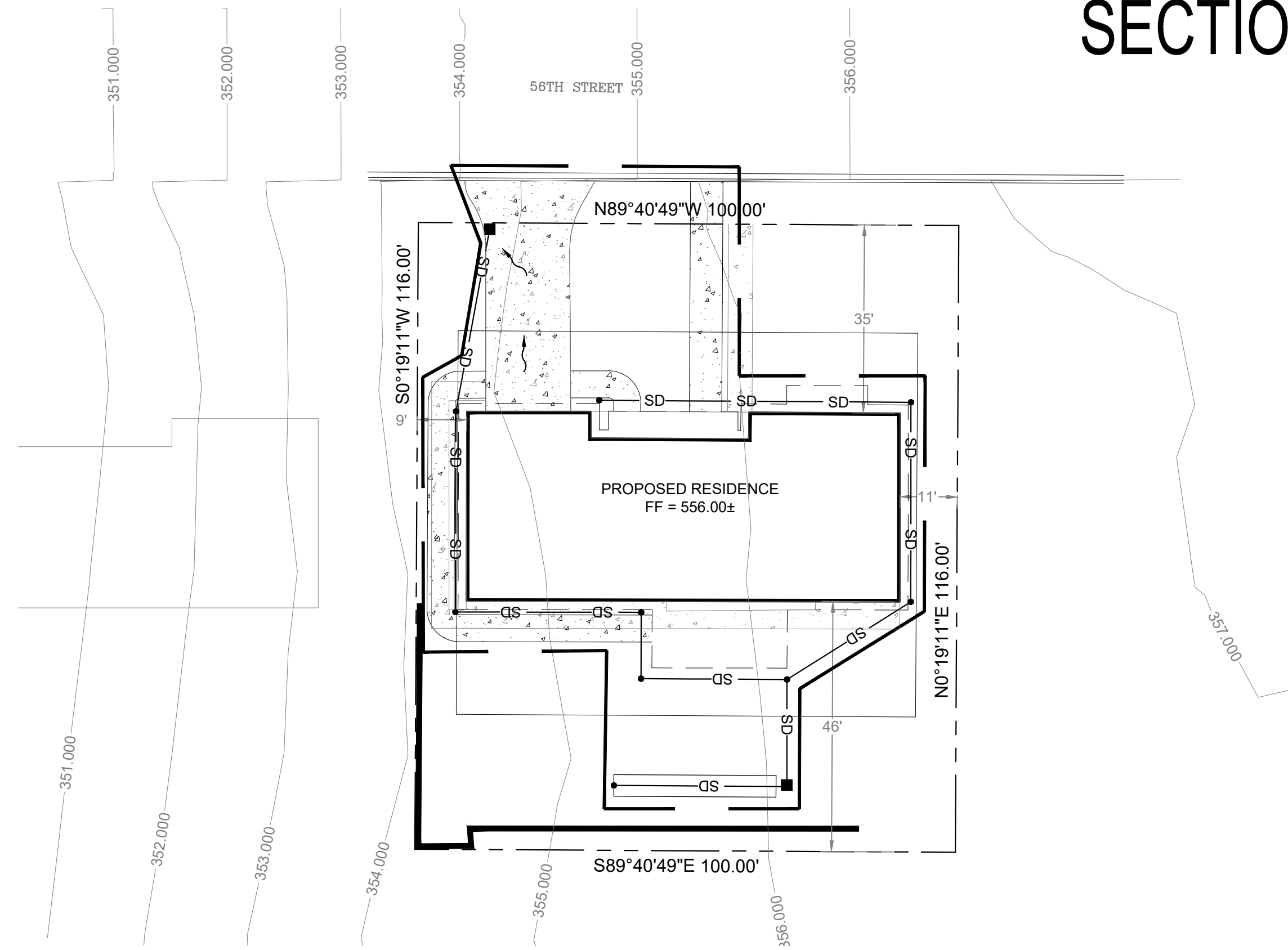


PROJECT MANAGER
KURT PARCHER

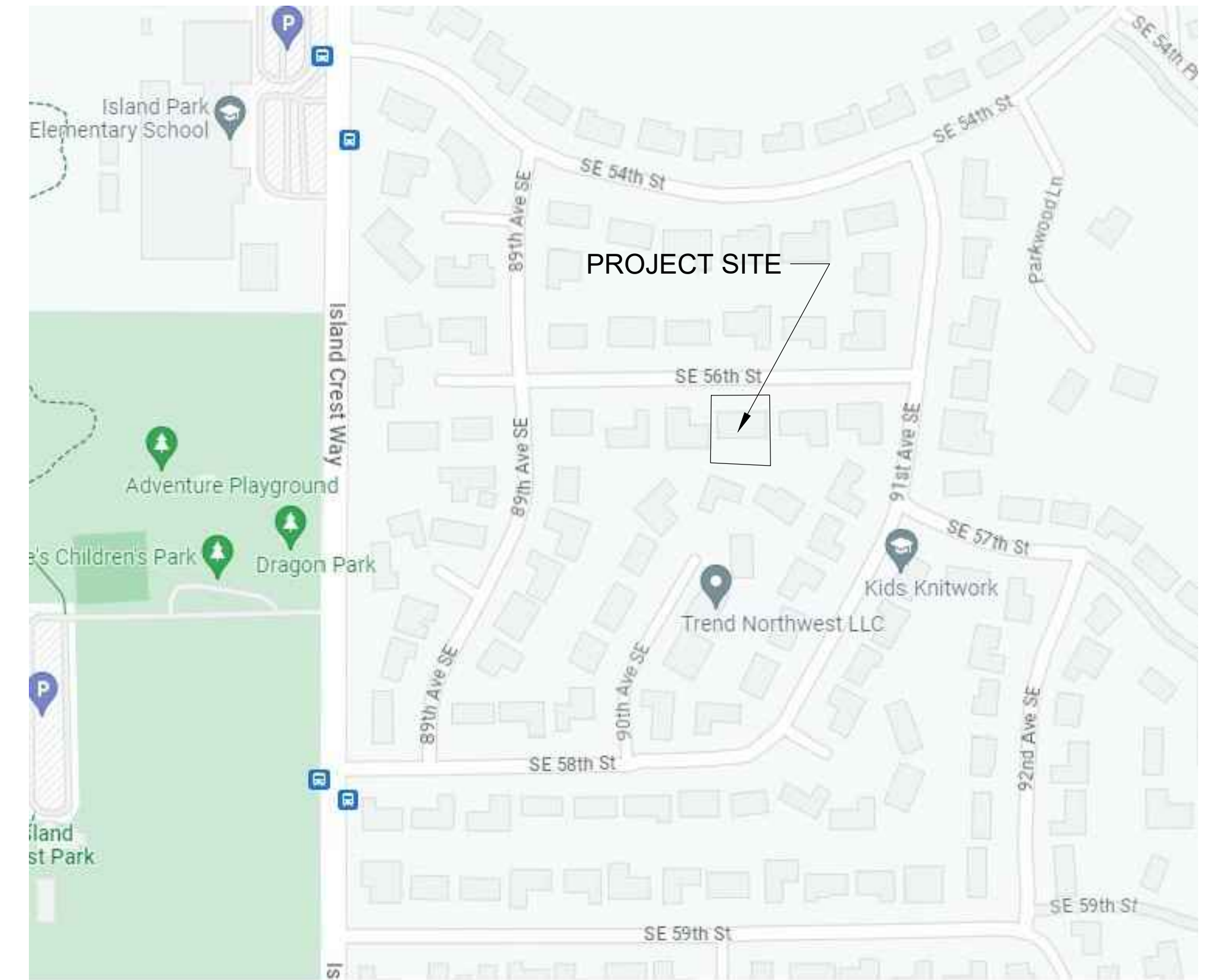
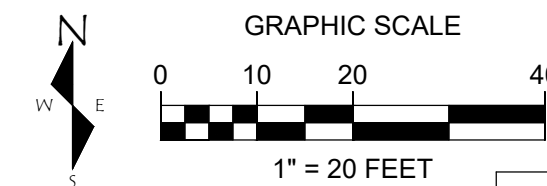
DESIGN
DRAWN WEL
CHECKED KAP
SEC 19 T 24N R 5E
DWG NO 36466-SV
DATE 10/26/2022
SCALE 1"=20'

SHEET 1 OF 1
PROJ NO 36466
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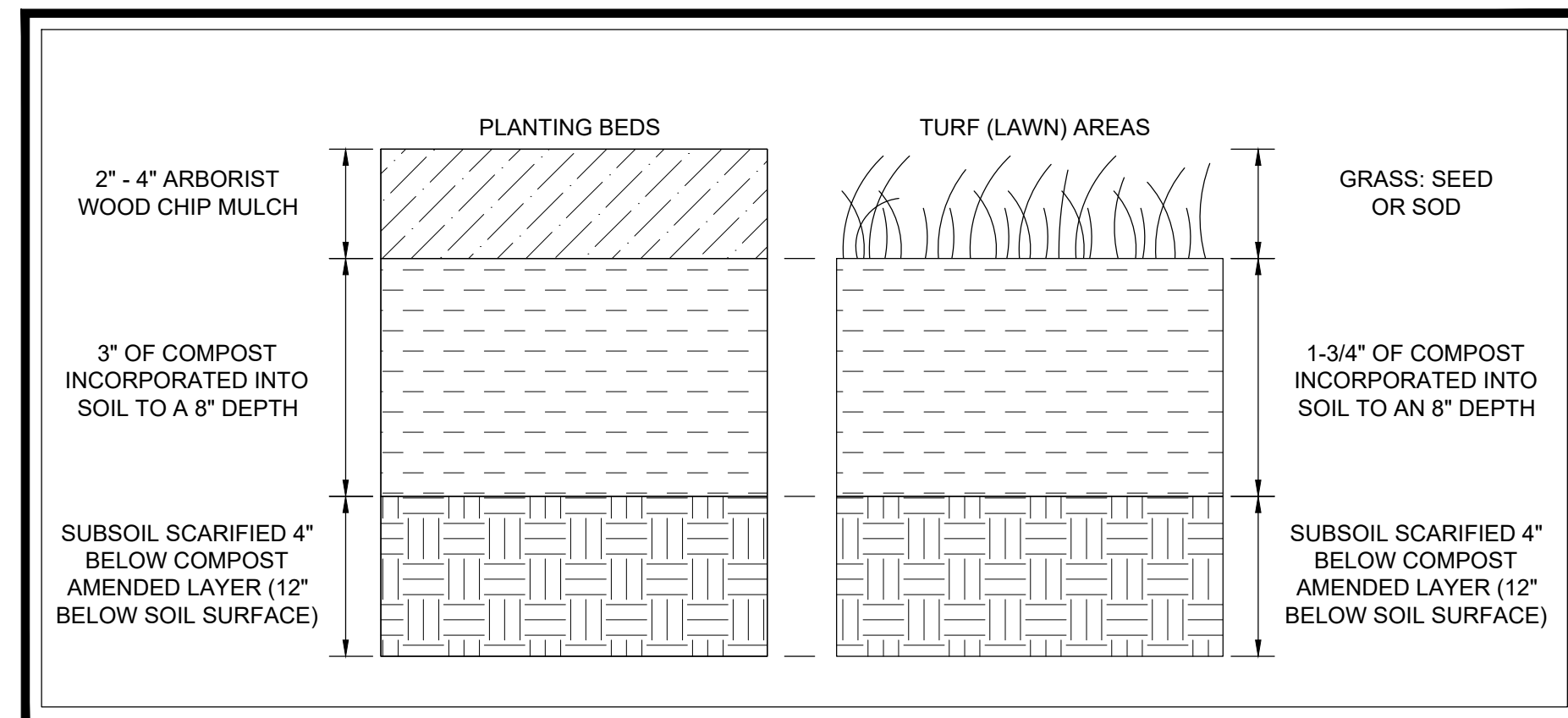
SECTION 19 TOWNSHIP 24N RANGE 5E



OVERALL SITE MAP



VICINITY MAP



1. RETAIN AND PROTECT UNDISTURBED SOIL:

- LEAVE UNDISTURBED VEGETATION AND SOIL, AND PROTECT FROM COMPACTION BY FENCING AND KEEPING MATERIALS STORAGE AND EQUIPMENT OFF THESE AREAS DURING CONSTRUCTION
- FOR ALL AREAS WHERE SOIL OR VEGETATION ARE DISTURBED, USE OPTION 2, 3, OR 4.

2. AMMEND SOIL:

- SOIL AMMENDMENTS SHALL BE APPLIED TO ALL AREAS WICH ARE BEING SET ASIDE AS NON-BUILDABLE AREAS (OPEN SPACE OR NATURAL RESOURCE PROTECTION AREAS) AND ARE IN NEED OF REHABILITATION BECAUSE OF PAST LAND USE DISTURBANCES SUCH AS CLEARING AND INTRUSION OF INVASIVE SPECIES. THE PURPOSE IS TO ENHANCE AND ACCELERATE THE REHABILITATION OF THE SOIL STRUCTURE. THE APPLICATION WILL BE NON-DESTRUCTIVE TO THE EXISTING VEGETATION THAT IS RETAINED BY TAKING CARE TO TAPER DEPTHS OF SOIL AMMENDMENT NEAR THE SURFACE ROOTS.
- AMMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES TO MEET THE SOIL QUALITY GUIDELINES BASED ON ENGINEERING TESTS OR THE SOIL AND AMMENDMENT. (REFER TO THE BUILDING SOIL MANUAL [STENN ET AL. 2012] OR WEB SITE WWW.BUILDINGSOIL.ORG, FOR CUSTOM CALCULATION METHODS.)

3. STOCKPILE SOIL:

- STOCKPILE EXISTING TOPSOIL DURING GRADING AND REPLACE IT PRIOR TO PLANTING. AMMEND STOCKPILED TOPSOIL IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS EITHER AT THE DEFAULT "PRE-APPROVED" RATE OR AT THE CUSTOM CALCULATED RATE (REFER TO THE BUILDING SOIL MANUAL [STEN ET AL. 2012] OR WEB SITE WWW.BUILDINGSOIL.ORG, FOR CUSTOM CALCULATION METHOD). SCARIFY SUBSOIL AND MULCH PLANTING BEDS, AS DESCRIBED UNDER THE SOIL AMMENDMENT HEADING BELOW.

4. IMPORT SOIL*

- IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS. IMPORTED SOILS SHOULD CONTAIN EXCESSIVE CLAY OR SILT FINES (MORE THAN 5 PERCENT PASSING THE US #200 SIEVE) BECAUSE THAT COULD RESTRICT STORMWATER INFILTRATION. USE IMPORTED TOPSOIL THAT MEETS DEFAULT "PRE-APPROVED" RATES.
- SCARIFY SUBSOIL AND MULCH PLANTING BEDS, AS DESCRIBED UNDER THE SOIL AMMENDMENT HEADING BELOW.

NOTE: MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE.

SOIL AMMENDMENT NOTES

PROJECT IMPERVIOUS AREAS	
PROPOSED ROOF AREA	3,447 SQFT
PROPOSED DRIVEWAY AREA	706 SQFT
PROPOSED HARD SURFACES	772 SQFT
TOTAL IMPERVIOUS	4,925 SQFT
TOTAL AREA OF DISTURBANCE	7,731 SQFT
TOTAL SITE AREA	11,600 SQFT
PERCENT IMPERVIOUS	42.45%

SHEET INDEX	
C1.0	COVER SHEET
C2.0	TEMPORARY EROSION AND SEDIMENT CONTROL PLAN
C3.0	GRADING AND STORM DRAINAGE PLAN
C3.1	STORM DRAINAGE DETAILS AND NOTES

TOPOGRAPHIC NOTE

EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION ARE OBTAINED FROM KING COUNTY GIS DATA.

AUTOCAD FILE

AN AUTOCAD FILE IS AVAILABLE FOR RELEASE TO ASSIST IN SITE LAYOUT. CONTACT SITEPRO ENGINEERING FOR RELEASE OF FILES. CONTACT: NICK RHEAUME, P.E. PHONE: (253) 300-5522

UTILITY NOTE

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. SITEPRO ENGINEERING ASSUMES NO LIABILITY FOR THE LOCATION OF UNDERGROUND UTILITIES.

OWNER/APPLICANT

TUAN NGUYEN
8937 SE 56TH ST
MERCER ISLAND, WA 98040
EMAIL: tuan2001@gmail.com

CIVIL ENGINEER

SITEPRO ENGINEERING
6306 123RD AVE. E.
PUYALLUP, WA 98372
PHONE: (253) 300-5522
CONTACT: NICK RHEAUME, P.E.
EMAIL: nick@siteproeng.com

PARCEL DATA

PARCEL NUMBER - 6672900440
LOT SIZE - 0.27 ACRES
ZONING - R-9.6
COMMUNITY PLAN - N/A
URBAN GROWTH - URBAN
SETBACKS

FRONT - 20'
REAR - 25'
SIDE - 8.5'

SITE ADDRESS

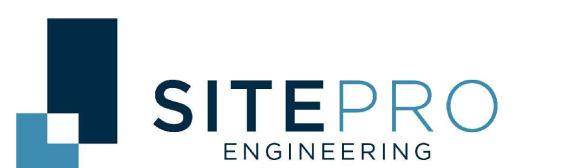
8937 SE 56TH STREET.
MERCER ISLAND, WA 98040

VERTICAL DATUM

NAVD88.

BASIS OF BEARING

WSDOT GP27016-69



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Puyallup, WA 98372
253-300-5522

PROJECT:
NGUYEN RESIDENCE

PROJECT ADDRESS:
8937 SE 56TH STREET
MERCER ISLAND, WA 98040

DRAWING TITLE:
COVER SHEET

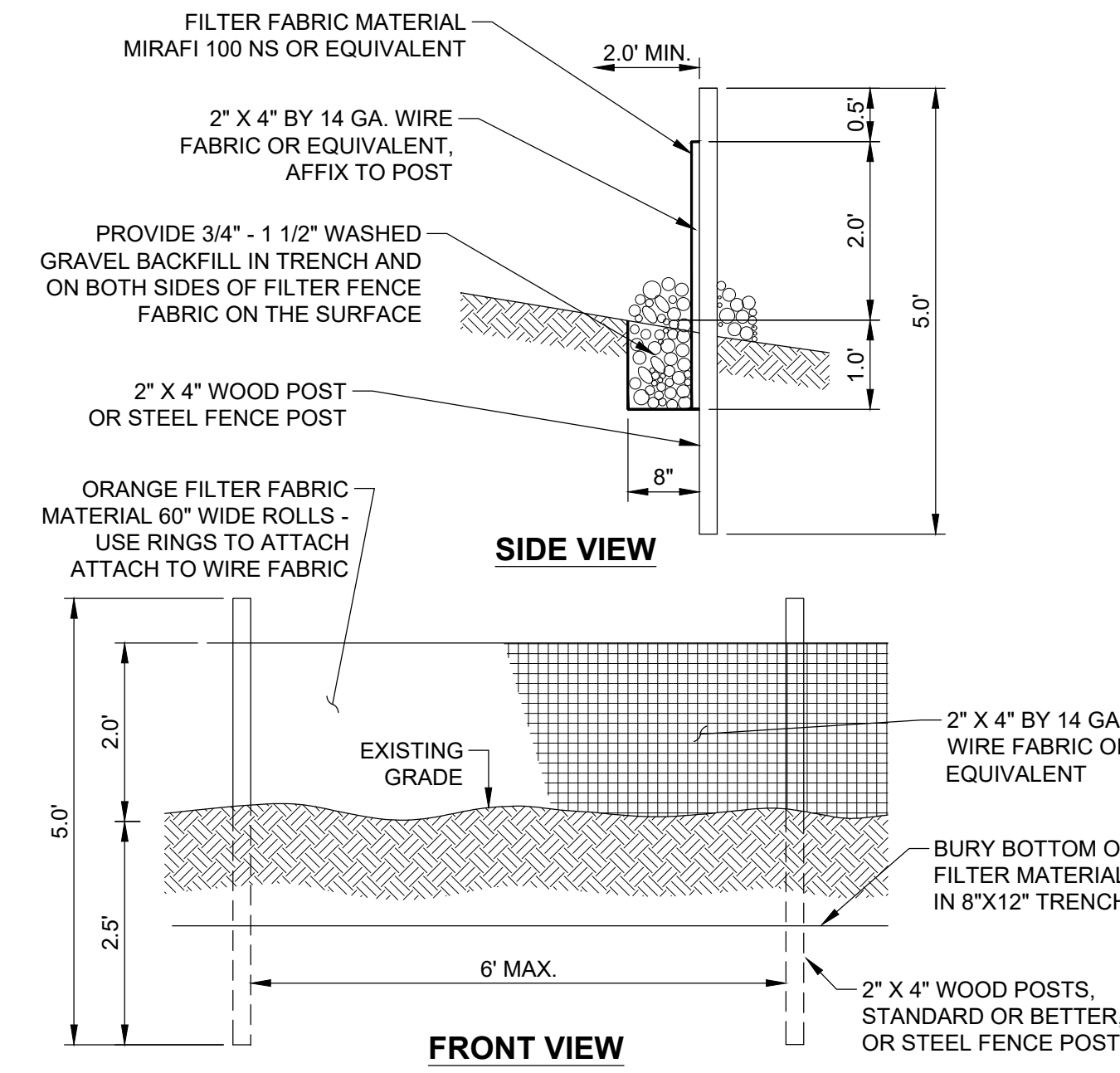
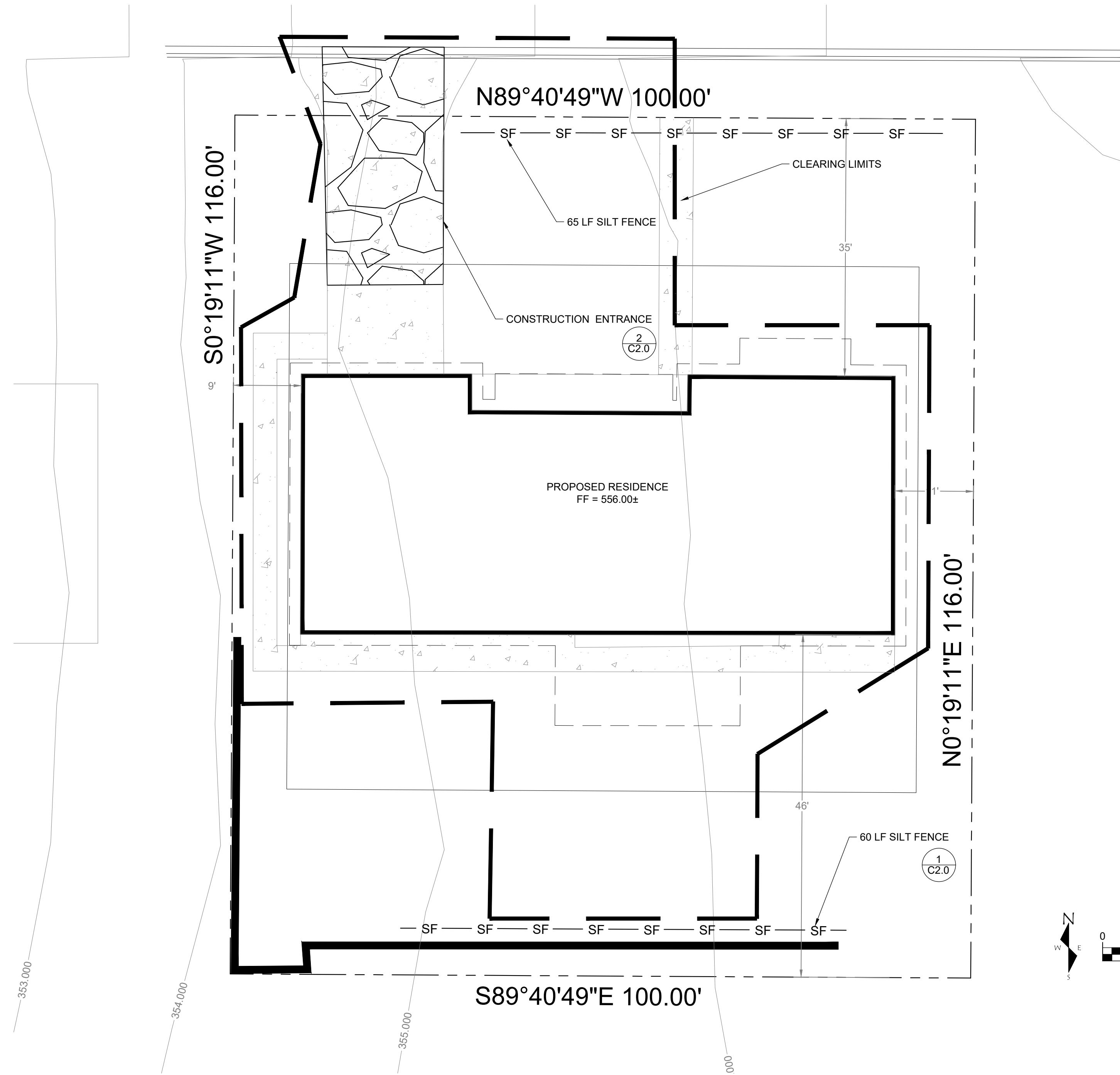
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Know what's below.
Call before you dig.

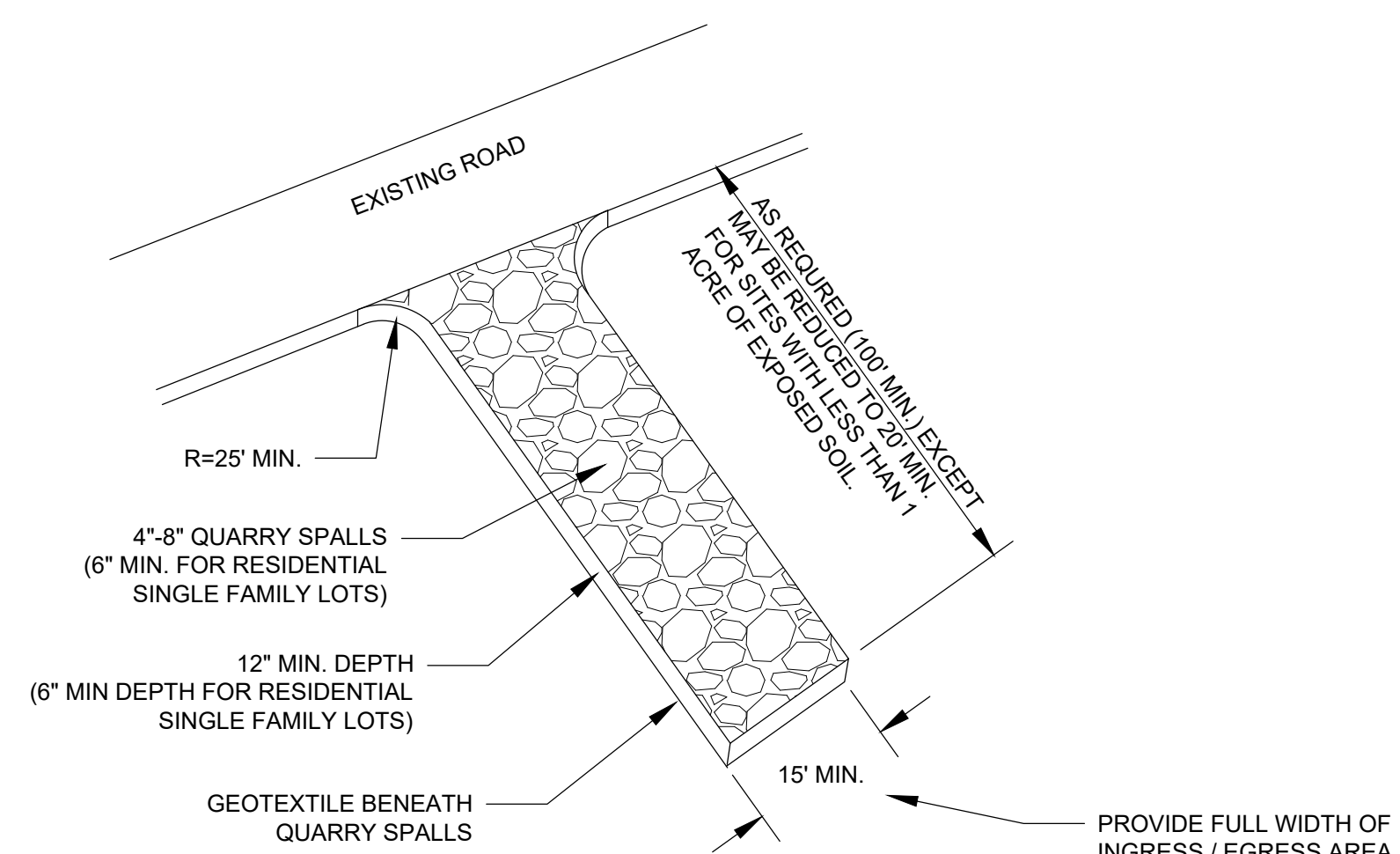
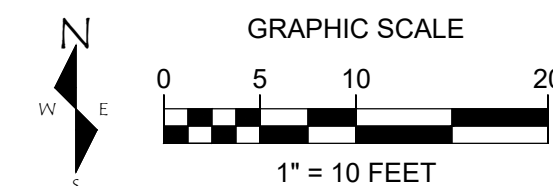
SECTION 19 TOWNSHIP 24N RANGE 5E

EROSION CONTROL LEGEND	
CONSTRUCTION LIMITS	---
SILT FENCE	— SF — SF —
CONSTRUCTION ENTRANCE	



- NOTES:**
1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM SIX-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST.
 2. THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS (WHERE FEASIBLE). THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF SIX FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 30").
 3. A TRENCH SHALL BE EXCAVATED, ROUGHLY EIGHT INCHES WIDE AND TWELVE INCHES DEEP, UPSLOPE AND ADJACENT TO THE WOOD POST TO ALLOW THE FILTER FABRIC TO BE BURIED.
 4. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST ONE INCH LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF FOUR INCHES AND SHALL NOT EXTEND MORE THAN THIRTY SIX INCHES ABOVE THE ORIGINAL GROUND SURFACE.
 5. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND TWENTY INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN THIRTY SIX INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
 6. WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF STANDARD NOTE (S) APPLYING.
 7. THE TRENCH SHALL BE BACKFILL WITH 3/4 INCH MINIMUM DIAMETER WASHED GRAVEL.
 8. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
 9. FILTER FABRIC FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 10. DO NOT DRIVE OVER OR FILL OVER FILTER FABRIC FENCE.

1
SILT FENCE
NTS



- MAINTENANCE STANDARDS**
1. QUARRY SPALLS (OR HOG FUEL) SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE SPECIFICATIONS.
 2. IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE MEASURES TO KEEP THE STREETS FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE STREET SWEEPING, AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH. IF WASHING IS USED, IT SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK, AND WASH WATER SHALL DRAIN TO A SEDIMENT TRAP OR POND.
 3. ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON-SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH THE STREETS, THE CONSTRUCTION OF A SMALL SUMP SHALL BE CONSIDERED. THE SEDIMENT WOULD THEN BE WASHED INTO THE SUMP.
 4. ANY QUARRY SPALLS THAT ARE LOOSENED FROM THE PAD AND END UP ON THE ROADWAY SHALL BE REMOVED IMMEDIATELY.
 5. IF VEHICLES ARE ENTERING OR EXITING THE SITE AT POINTS OTHER THAN THE CONSTRUCTION ENTRANCE(S), FENCING SHALL BE INSTALLED TO CONTROL TRAFFIC.

2
CONSTRUCTION ENTRANCE
NTS

STANDARD TESC NOTES:

1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
2. THE IMPLEMENTATION OF THESE EROSION AND SEDIMENT CONTROL PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
8. AT NO TIME SHALL MORE THAN 1 FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE INFILTRATION SYSTEM.
9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.



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Puyallup, WA 98372
253-300-5522

PROJECT:
NGUYEN RESIDENCE

PROJECT ADDRESS:
8937 SE 56TH STREET
MERCER ISLAND, WA 98040

DRAWING TITLE:
TESC PLAN

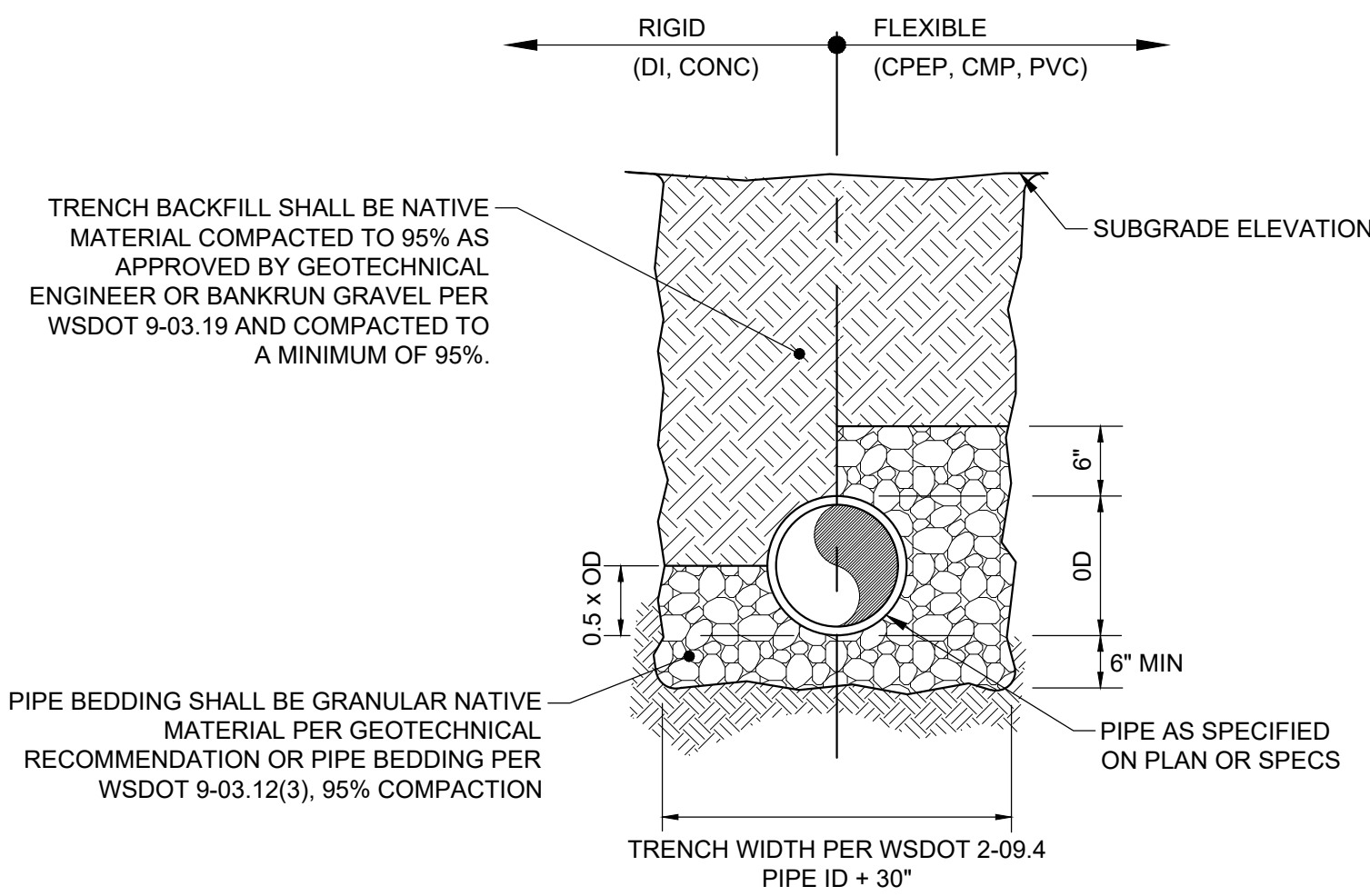
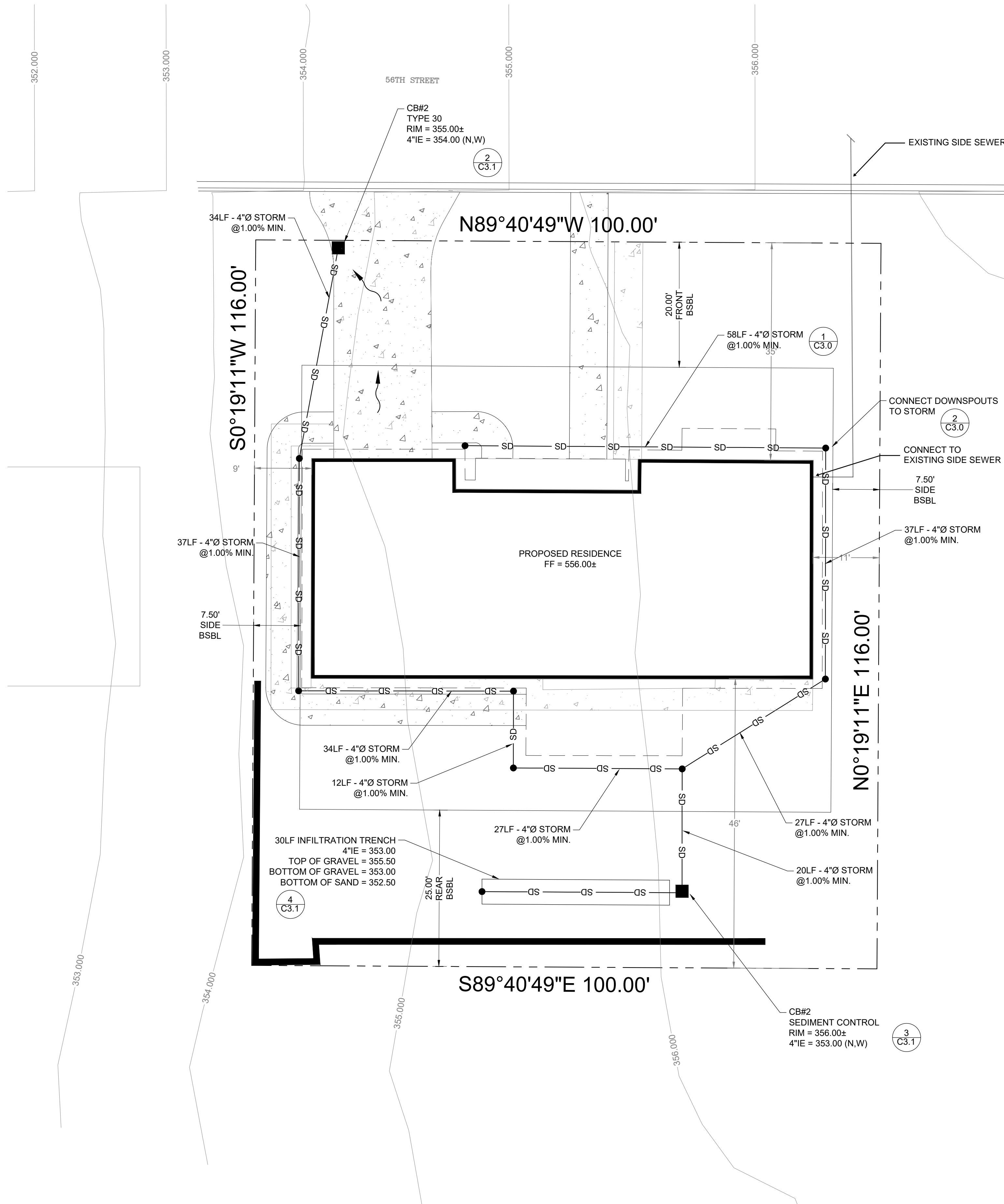
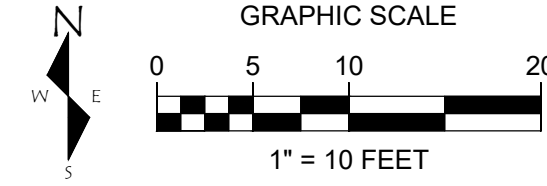
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C2.0



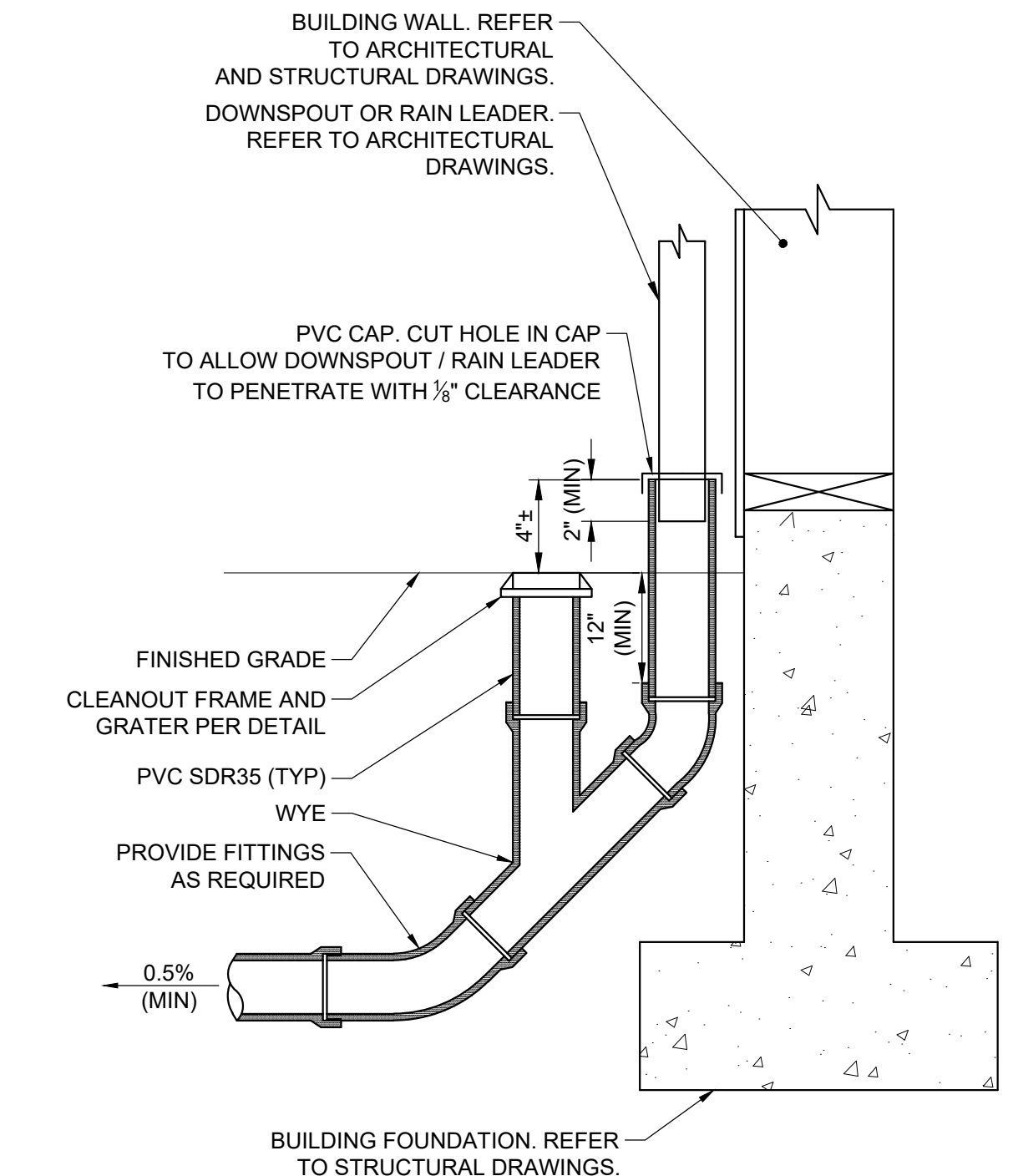
Know what's below.
Call before you dig.

SECTION 19 TOWNSHIP 24N RANGE 5E

STORM DRAINAGE LEGEND	
CATCH BASIN	■
STORM PIPE	—SD—SD—
DOWNSPOUT CONNECTION	•

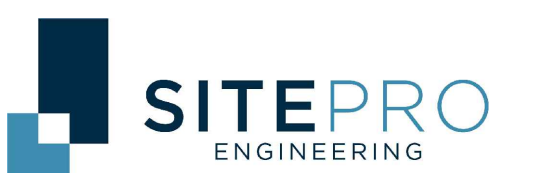


1 PIPE BEDDING AND BACKFILL
NTS



2 DOWNSPOUT CONNECTION
NTS

- STORM DRAINAGE NOTES**
1. CONNECT ALL DOWNSPOUTS TO STORM WITH 6"Ø PIPE AT 1.00% MIN. SEE DETAIL 3 SHEET C3.1.
 2. CATCH BASINS LOCATED WITHIN DRIVABLE SURFACES SHALL HAVE A MINIMUM TRAFFIC RATING OF H-20.



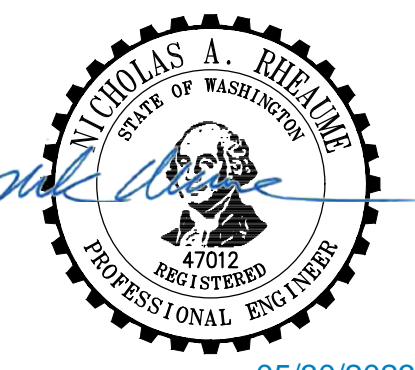
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6306 123rd Ave E.
Puyallup, WA 98372
253-300-5522

PROJECT:
NGUYEN RESIDENCE

PROJECT ADDRESS:
8937 SE 56TH STREET
MERCER ISLAND, WA 98040

DRAWING TITLE:
STORM DRAINAGE PLAN

SHEET NUMBER:
C3.0

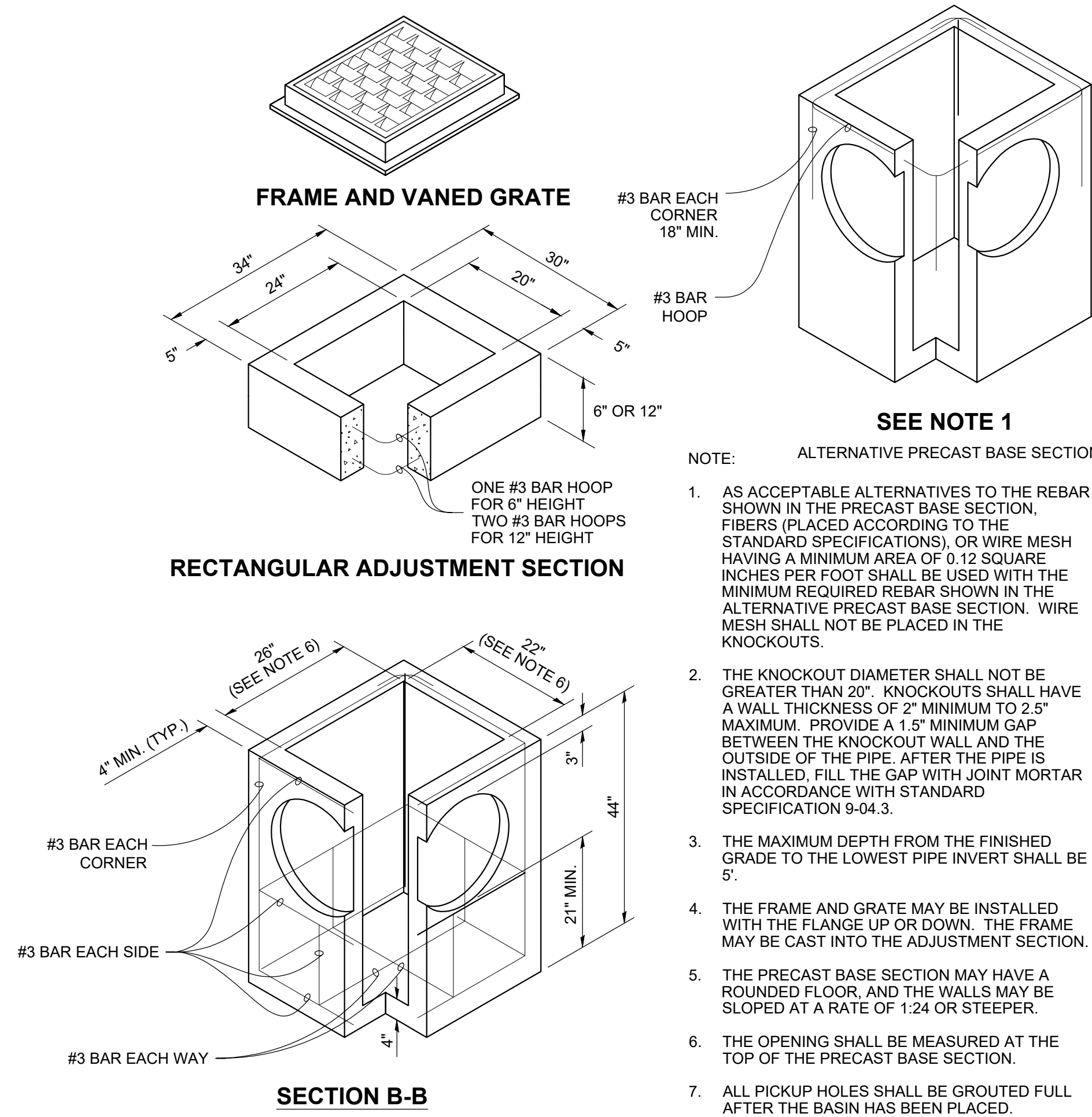


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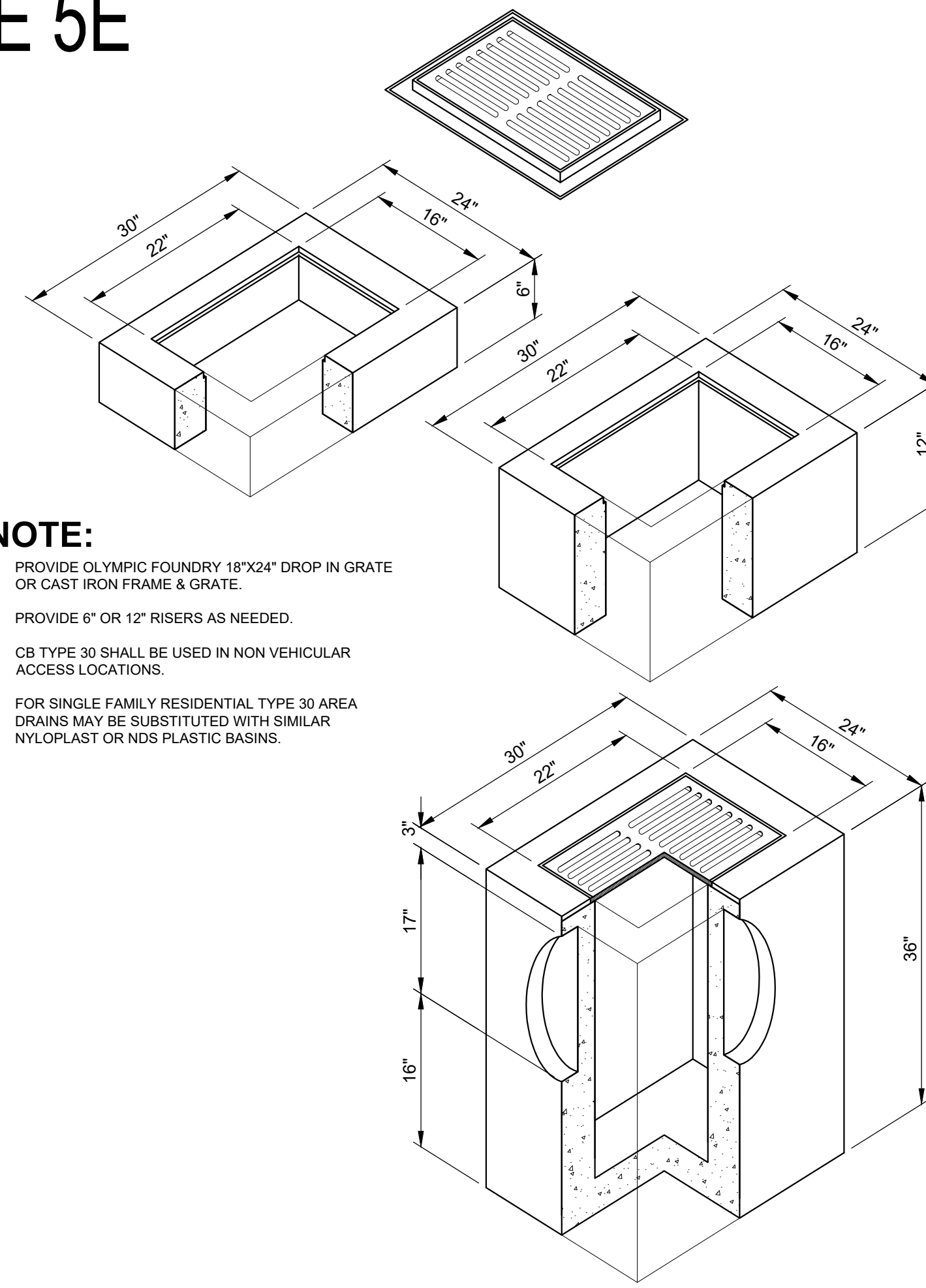
SECTION 19 TOWNSHIP 24N RANGE 5E



- NOTE:** ALTERNATIVE PRECAST BASE SECTION
- AS ACCEPTABLE ALTERNATIVES TO THE REBAR SHOWN IN THE PRECAST BASE SECTION, FIBERS (PLACED ACCORDING TO THE STANDARD SPECIFICATIONS), OR WIRE MESH HAVING A MINIMUM AREA OF 0.12 SQUARE INCHES PER FOOT SHALL BE USED WITH THE MINIMUM REQUIRED REBAR SHOWN IN THE ALTERNATIVE PRECAST BASE SECTION. WIRE MESH SHALL NOT BE PLACED IN THE KNOCKOUTS.
 - THE KNOCKOUT DIAMETER SHALL NOT BE GREATER THAN 20". KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MINIMUM TO 2.5" MAXIMUM. PROVIDE A 1.5" MINIMUM GAP BETWEEN THE KNOCKOUT WALL AND THE OUTSIDE OF THE PIPE. AFTER THE PIPE IS INSTALLED, FILL THE GAP WITH JOINT MORTAR IN ACCORDANCE WITH STANDARD SPECIFICATION 9-04.3.
 - THE MAXIMUM DEPTH FROM THE FINISHED GRADE TO THE LOWEST PIPE INVERT SHALL BE 5".
 - THE FRAME AND GRATE MAY BE INSTALLED WITH THE FLANGE UP OR DOWN. THE FRAME MAY BE CAST INTO THE ADJUSTMENT SECTION.
 - THE PRECAST BASE SECTION MAY HAVE A ROUNDED FLOOR, AND THE WALLS MAY BE SLOPED AT A RATE OF 1:24 OR STEEPER.
 - THE OPENING SHALL BE MEASURED AT THE TOP OF THE PRECAST BASE SECTION.
 - ALL PICKUP HOLES SHALL BE GROUTED FULL AFTER THE BASIN HAS BEEN PLACED.

PIPE ALLOWANCES	
PIPE MATERIAL	MAXIMUM INSIDE DIAMETER
REINFORCED OR PLAIN CONCRETE	12"
ALL METAL PIPE	15"
CPSSP* (STD. SPEC. 9-05.20)	12"
SOLID WALL PVC (STD. SPEC. 9-05.12(1))	15"
PROFILE WALL PVC (STD. SPEC. 9-05.12(2))	15"

* CORRUGATED POLYETHYLENE STORM SEWER PIPE

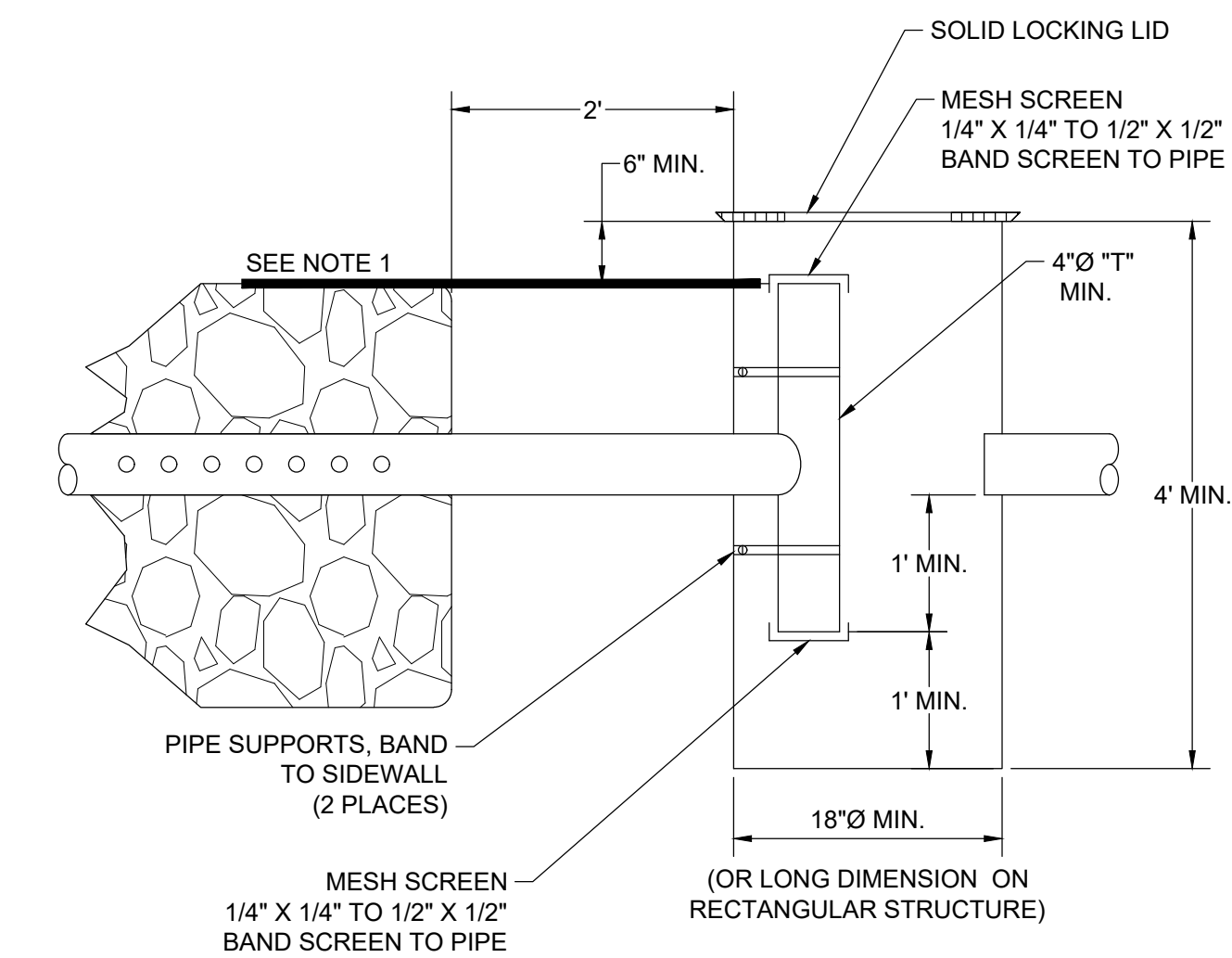


- NOTE:**
- PROVIDE OLYMPIC FOUNDRY 18"x24" DROP IN GRATE OR CAST IRON FRAME & GRATE.
 - PROVIDE 6" OR 12" RISERS AS NEEDED.
 - CB TYPE 30 SHALL BE USED IN NON VEHICULAR ACCESS LOCATIONS.
 - FOR SINGLE FAMILY RESIDENTIAL TYPE 30 AREA DRAINS MAY BE SUBSTITUTED WITH SIMILAR NYLOPLAST OR NDS PLASTIC BASINS.

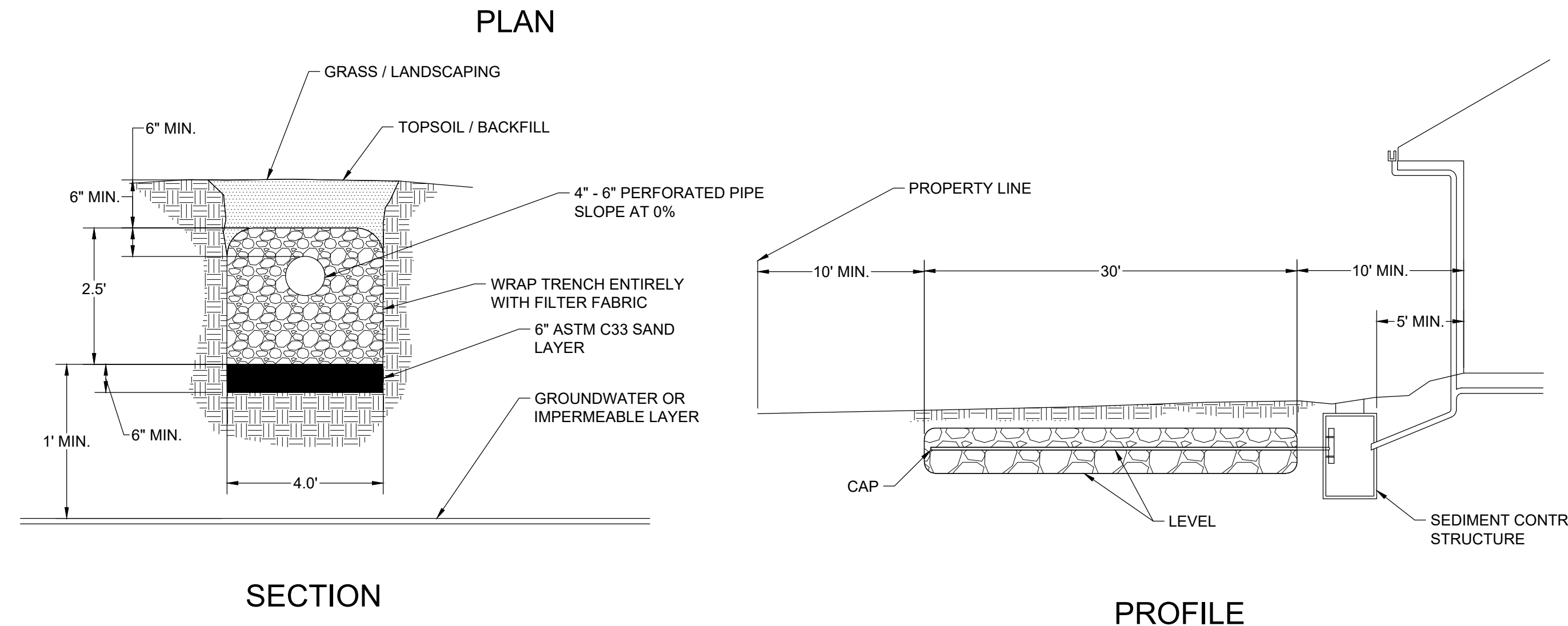
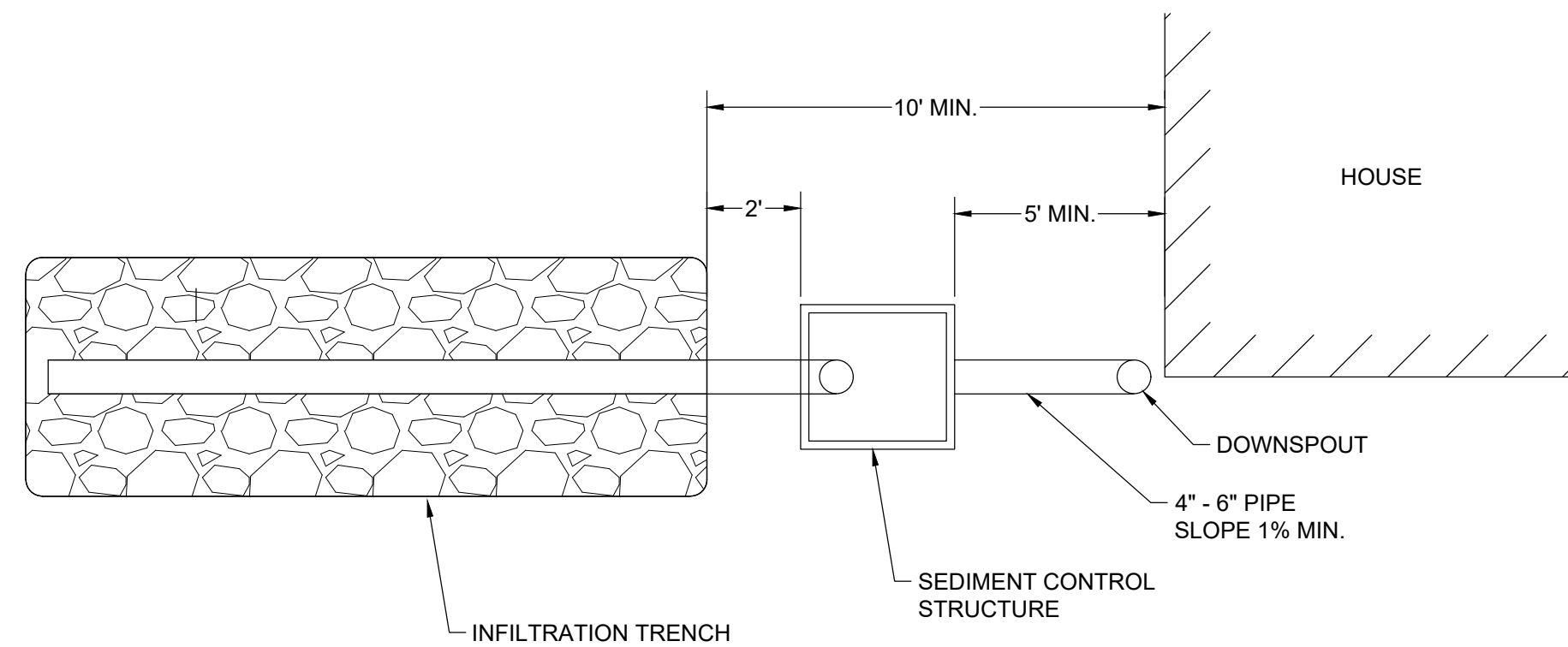
1 CATCH BASIN TYPE 1
NTS

2 CATCH BASIN TYPE 30
NTS

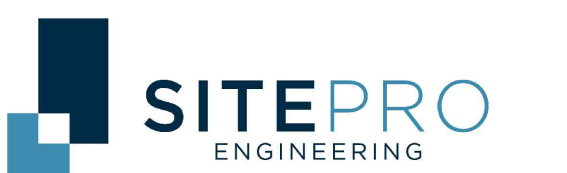
- NOTES:**
- SET THE TOP OF THE TEE RISER AT OR ABOVE THE TOP ELEVATION OF THE TRENCH DRAIN ROCK AND BELOW THE CONNECTION POINT OF THE ROOF TIGHTLINE AT THE FOUNDATION.
 - SET THE TOP OF THE THE INLET PIPE AT THE SAME ELEVATION AS THE OUTLET PIPE.
 - INSTALL SOLID LOCKING LID AT OR ABOVE EXPECTED FINAL GRADE ELEVATION TO ALLOW HOMEOWNER ACCESS FOR MAINTENANCE.
 - STRUCTURE MUST HAVE SOLID BOTTOM.



3 SEDIMENT CONTROL STRUCTURE
NTS



4 INFILTRATION TRENCH
NTS



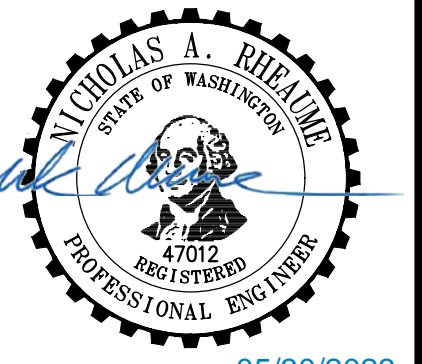
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PROJECT:
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MERCER ISLAND, WA 98040

DRAWING TITLE:
DETAILS AND NOTES

SHEET NUMBER:
C3.1



Know what's below.
Call before you dig.

FLOOR PLAN LEGEND

- EXISTING WALLS
- NEW WALLS
- EXHAUST FAN; 50 CFM MIN. FOR BATHROOM AND LAUNDRY; 100 CFM MIN. FOR KITCHEN; COORDINATE SPECS W/ WHOLE-HOUSE VENTILATION REQUIREMENTS (SEE T1.0); MIN. AIR INTAKE OPENINGS = 4 IN² PER ROOM
- HARDWIRED SMOKE DETECTOR W/ BATTERY BACKUP
- HARDWIRED CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP
- EGRESS WINDOW
- TEMPERED GLAZING

WALL PARTITION TYPES

- TYPICAL EXTERIOR WALL
EXTERIOR WALL FINISH OF (2) LAYERS 5/8" BLDG. PAPER OF 1/2" CDX PLYWOOD OF 2x6 WOOD STUDS AT 16" O.C. w/ 1/2" GWB AT INTERIOR. PROVIDE R-21 PLUS R-4 CI BATT INSUL.
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2" AIRSPACE. 2x4 P.T. WOOD STUDS @ 16" O.C. w/ 1/2" GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT INSULATION.

DEMOLITION NOTES

- ASBESTOS & HAZARDOUS MATERIALS: FEDERAL, STATE & LOCAL REGULATIONS REQUIRE THAT ALL ASBESTOS & OTHER HAZARDOUS MATERIALS IN A BUILDING BE REMOVED PRIOR TO STARTING THE DEMOLITION WORK. CONTRACTOR TO OBTAIN REQUIRED CERTIFICATION THAT THERE ARE NO HAZARDOUS MATERIALS PRESENT IN THE STRUCTURE.
- UON ALL DEBRIS RESULTING FROM DEMOLITION WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR & SHALL BE REMOVED & DISPOSED OF IN A LEGAL MANNER OFF OF THE PROJECT PROPERTY.
- SEE MEP (UNDER SEPARATE PERMIT), FIRE PROTECTION (UNDER SEPARATE PERMIT), ELECTRICAL (UNDER SEPARATE PERMIT) & COMMUNICATION (UNDER SEPARATE PERMIT) DOCUMENTS FOR DEMOLITION RELATED TO THOSE TRADES.
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- REFER TO SHEETS T1.0 & T1.1 FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, & SCHEDULES.
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- ALL DOORS TO BE 4" FROM ADJACENT WALL TO INT. F.O. FINISHED JAMB, UON. DIMENSIONS LOCATING DOORS ARE TO FINISHED OPENING, UON.
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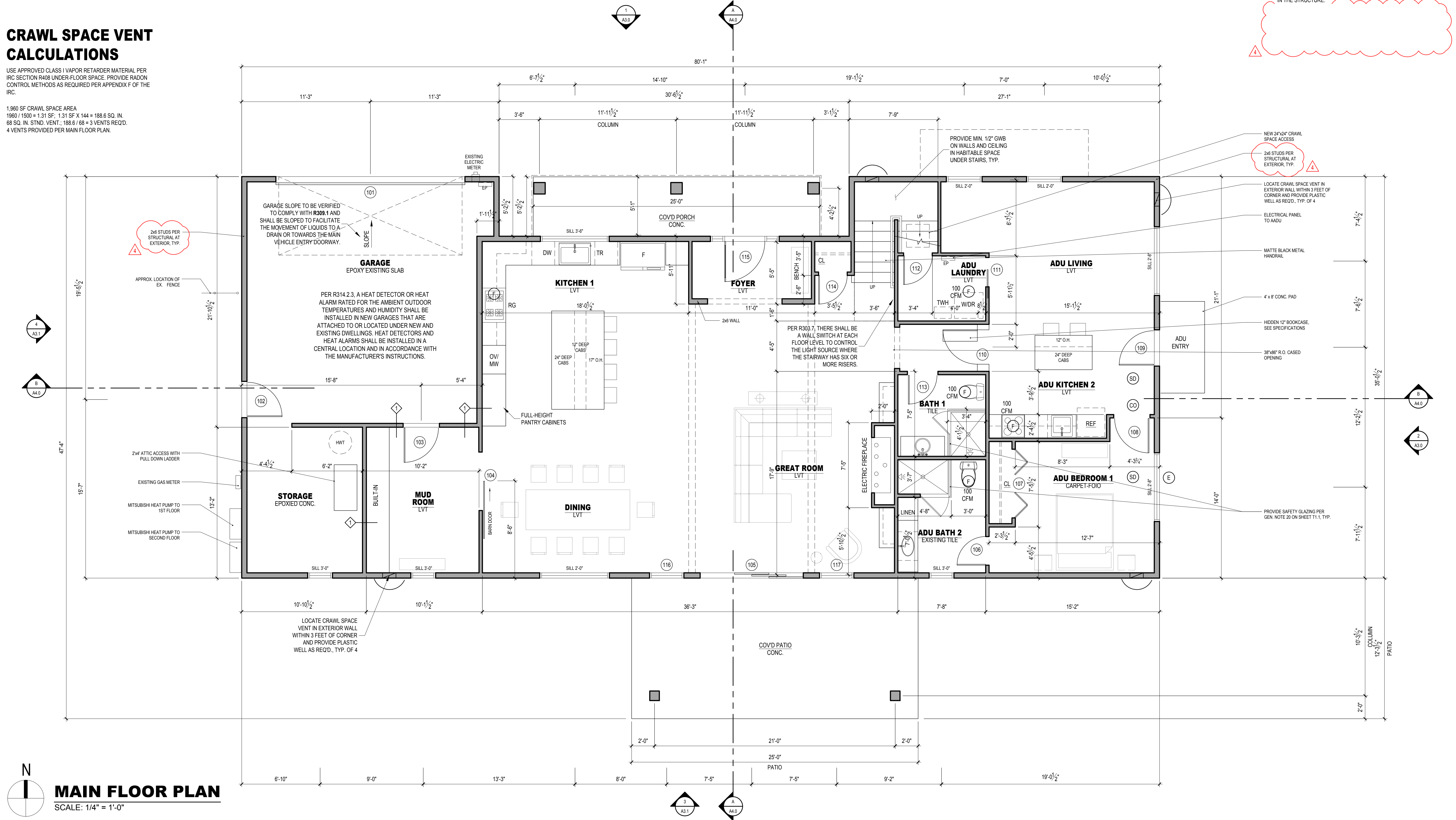
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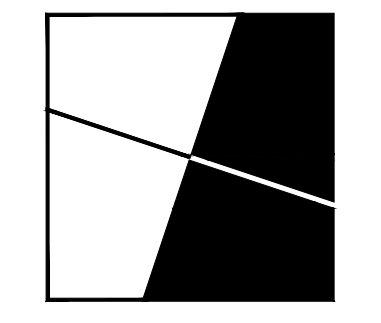
CRAWL SPACE VENT CALCULATIONS

USE APPROVED CLASS I VAPOR RETARDER MATERIAL PER IRC SECTION R408 UNDER-FLOOR SPACE. PROVIDE RADON CONTROL METHODS AS REQUIRED PER APPENDIX F OF THE IRC.

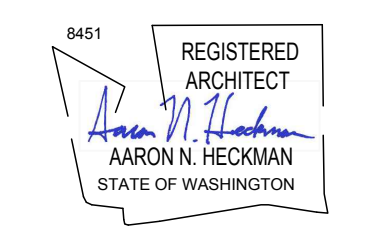
1,960 SF CRAWL SPACE AREA
 1960 / 1500 = 1.31 SF. 1.31 SF X 144 = 188.6 SQ. IN.
 68 SQ. IN. STND. VENT. / 188.6 / 68 = 3 VENTS REQD.
 4 VENTS PROVIDED PER MAIN FLOOR PLAN.



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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 501 ROY ST. STE 232C
 SEATTLE, WA 98109
 aheckman@gmail.com
 (206) 478-6850
 HECKMANarchitects.com



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 8937 SE 56TH STREET
 MERCER ISLAND, WA 98040

MAIN FLOOR PLAN

REVISIONS:	DATE	DESCRIPTION
1	09/12/22	PERMIT RESPONSE
2	10/10/22	PERMIT RESPONSE
3	11/02/22	PERMIT RESPONSE
4	04/07/23	PERMIT REVISIONS

PERMIT SUBMISSION DATE: 04/25/2022
 PLOT DATE: 4/7/2023
 SHEET NUMBER:

A2.0
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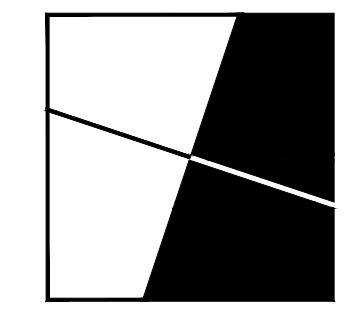
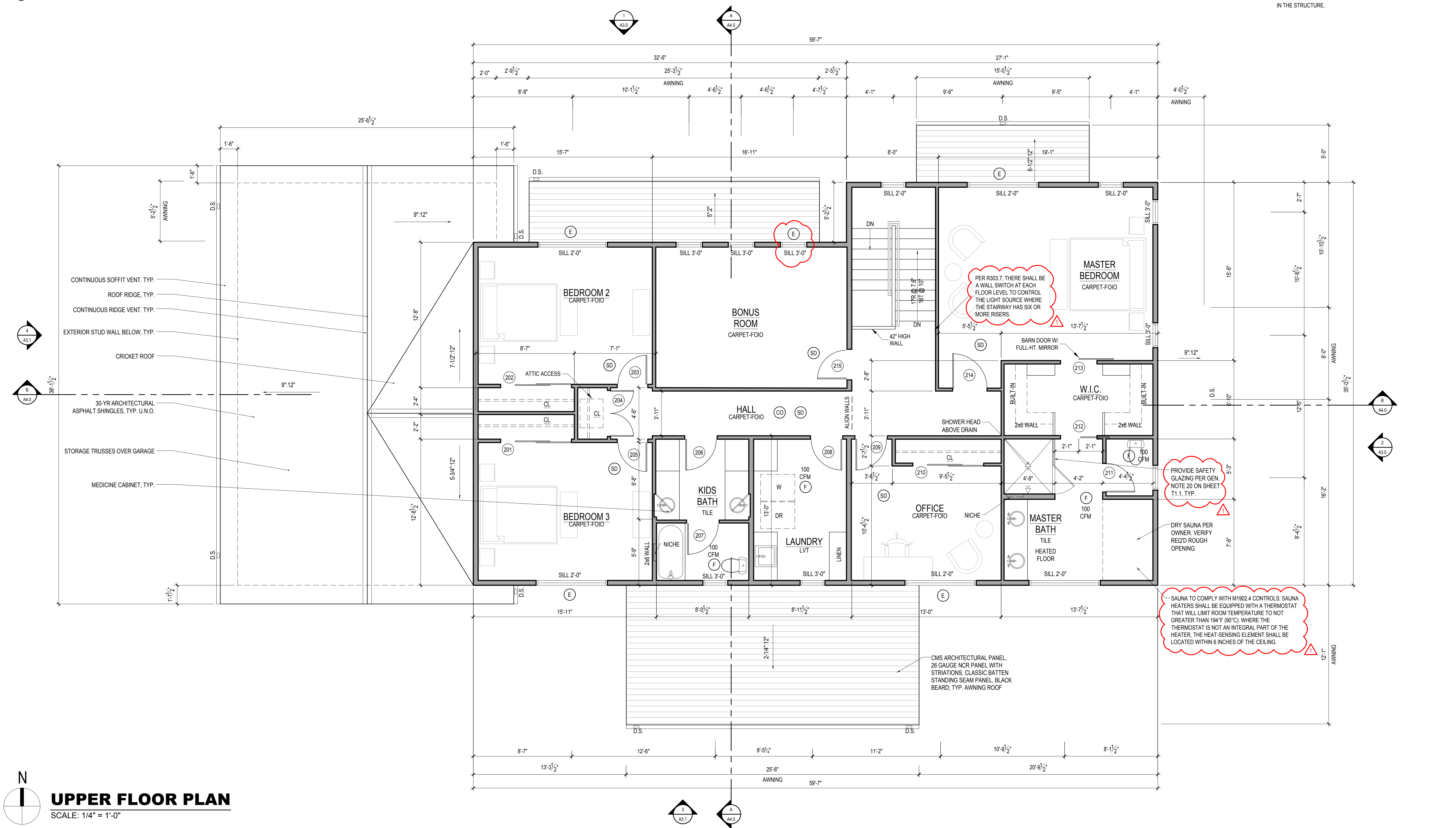
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DEMOLITION NOTES

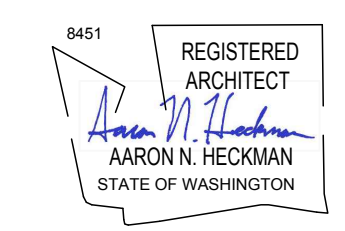
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- DEMO ALL FLOORING FINISHES IN AREAS OF WORK UON, PATCH & PREPARE EXISTING FLOORS IN AREAS TO RECEIVE NEW FLOORING TO PROVIDE FOR CONTINUOUS "LEVEL" SURFACE FOR NEW FLOORING.
- DO NOT REMOVE ANY BEARING WALLS, COLUMNS OR OTHER STRUCTURAL MEMBERS NOT DESIGNATED IN STRUCTURAL DOCUMENTS. NOTIFY ARCHITECT IMMEDIATELY IF AREAS OF DEMO UNCOVER ANY EXISTING STRUCTURAL COMPONENTS NOT PREVIOUSLY IDENTIFIED.
- PRIOR TO REMOVAL OF ANY STRUCTURAL COMPONENTS, THE CONTRACTOR SHALL PROVIDE SHORING AS REQUIRED TO TEMPORARILY SUPPORT ALL LOADS UNTIL NEW FRAMING IS INSTALLED AS DOCUMENTED AND SPECIFIED. IF THE CONTRACTOR FINDS THE EXISTING CONDITIONS TO BE OTHER THAN DOCUMENTED OR IN CONFLICT WITH THE DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION. PROCEEDING WITHOUT NOTIFICATION INDICATES FULL ACCEPTANCE OF CONDITIONS AND RESPONSIBILITY IF WORK IS NOT IN CONFORMANCE WITH CONTRACT DOCUMENTS.

FLOOR PLAN NOTES:

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- ALL DIMENSIONS TO F.O. FRAMING UON.
- FIN INDICATES DIMENSION TO FINISH.
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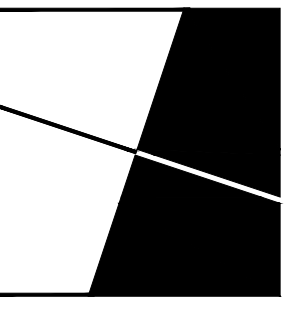
UPPER FLOOR PLAN

UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS:	DATE	DESCRIPTION
1	09-12-22	PERMIT RESPONSE
2		
3		
4		
5		

PERMIT SUBMISSION DATE: 04/25/2022
PLOT DATE: 9/12/2022
SHEET NUMBER:

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ROOF PLAN

REVISIONS:	DATE	DESCRIPTION
1	09/12/22	PERMIT RESPONSE
2		
3		
4		
5		

PERMIT SUBMISSION DATE:
04/25/2022

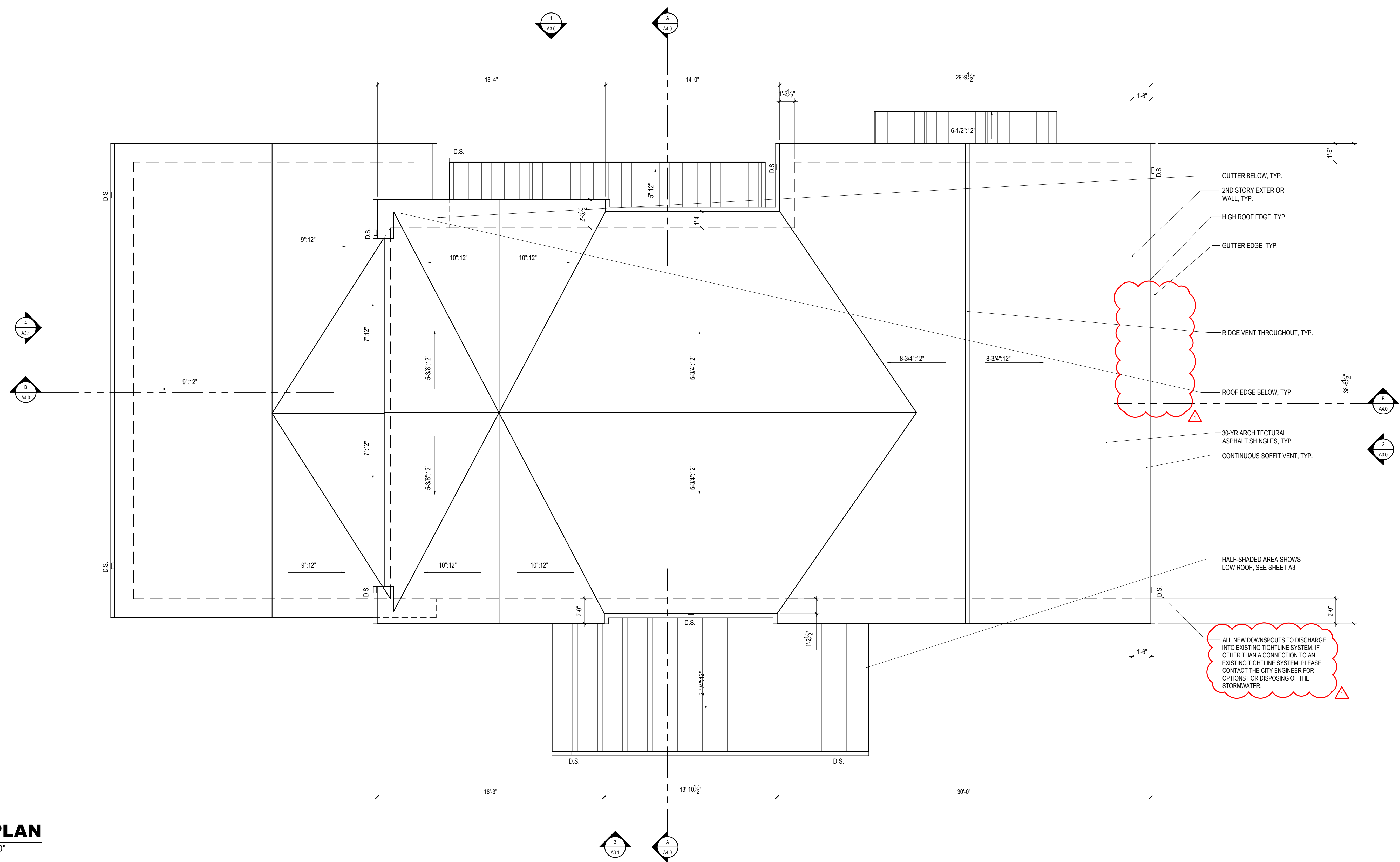
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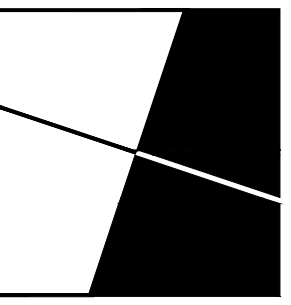
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ROOF VENT CALCULATIONS										
CODE REQUIREMENT			CALCULATIONS							ACTUAL
DESCRIPTION	SF AREA	REQ. VENTING PER SF AREA		VENT TYPE		VENT L.F.	TOTAL VENT AREA SQ. IN.	SF CONVERT. 1/144	80% EFF FACTOR	
		150	300	RIDGE	SOFFIT					
UPPER ROOF	1914	12.76		18 SQ. IN./FT. 1.5" VENT	12 SQ. IN./FT. CONTINUOUS	74	1332	9.25	7.40	
						108	1296	9.00	7.20	
LOWER ROOF	732	4.88		18 SQ. IN./FT. 1.5" VENT	12 SQ. IN./FT. CONTINUOUS	46	828	5.75	4.60	
						36	432	3.00	2.40	



ROOF PLAN
SCALE: 1/4" = 1'-0"



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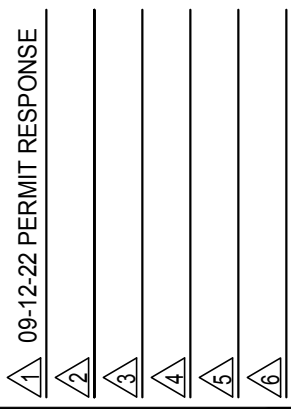
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DOOR AND WINDOW SCHEDULES



PERMIT SUBMISSION DATE:
04/25/2022

PLOT DATE:
9/12/2022

SHEET NUMBER:

A2.3

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WINDOW SCHEDULE

WINDOW MARK	DESCRIPTION	R.O. SIZE		TEMP.	QTY.	TOTAL AREA (SF)	U-VALUE (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
A	FIXED	2'-6"	2'-6"	-	2	-	0.20	LOW E/ CLEAR	-
B	CASEMENT	1'-6"	5'-0"	-	2	-	0.20	LOW E/ CLEAR	-
C	CASEMENT	5'-6"	5'-0"	-	6	-	0.20	LOW E/ CLEAR	EGRESS
D	CASEMENT	1'-6"	3'-6"	-	11	-	0.20	LOW E/ CLEAR	-
E	CASEMENT	2'-6"	5'-0"	-	2	-	0.20	LOW E/ CLEAR	-
F	CASEMENT	5'-6"	4'-0"	-	1	-	0.20	LOW E/ CLEAR	-
G	FIXED	1'-9"	3'-6"	-	1	-	0.20	LOW E/ CLEAR	-
H	SLIDING	5'-6"	3'-6"	-	2	-	0.20	LOW E/ CLEAR	-

ABBREVIATIONS:

ALUM ALUMINUM
 MC METAL CLAD
 PRE-FIN PRE-FINISHED
 PNT PAINTED
 SCW SOLID CORE WOOD
 WD WOOD

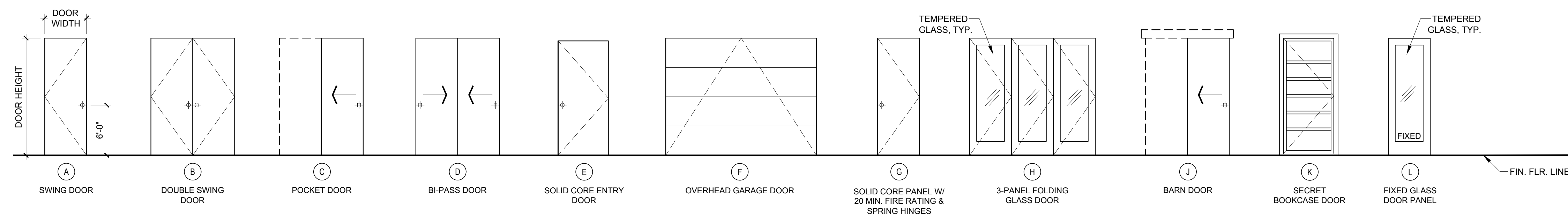
DOOR SCHEDULE

DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	DOOR FIN.	DOOR THK.	U-VAL. (MIN.)	DOOR HDWR.	REMARKS
MAIN FLOOR									
101	GARAGE	16'-0"	8'-0"	F	PNT.	-	-	-	PROVIDE ELECTRIC OPENER
102	GARAGE	3'-0"	7'-0"	E	PNT.	1-3/4"	-	-	-
103	MUD	3'-0"	8'-0"	G	PNT.	1-3/4"	-	-	20 MINUTE DOOR W/ SPRING HINGES
104	MUD	5'-0"	8'-0"	J	PNT.	1-3/4"	-	-	-
105	GREAT ROOM	9'-0"	8'-0"	H	-	-	0.20	-	-
106	BATH 2	2'-6"	8'-0"	A	PNT.	1-3/4"	-	-	-
107	BEDROOM 1 CLOSET	6'-0"	8'-0"	D	PNT.	1-3/4"	-	-	-
108	BEDROOM 1 CLOSET	3'-0"	8'-0"	A	PNT.	1-3/4"	-	-	-
109	KITCHEN 2	3'-0"	8'-0"	E	PNT.	1-3/4"	-	-	-
110	KITCHEN 2	3'-0"	8'-0"	K	PNT.	1-3/4"	-	-	VERIFY FRM'G REQ'MS W/ DOOR MANUF.
111	UTILITY/LAUNDRY	2'-6"	8'-0"	C	PNT.	1-3/4"	-	-	-
112	UTILITY/LAUNDRY	2'-6"	8'-0"	A	PNT.	1-3/4"	-	-	-
113	BATH 1	2'-6"	8'-0"	A	PNT.	1-3/4"	-	-	-
114	COAT CLOSET	2'-6"	8'-0"	A	PNT.	1-3/4"	-	-	-
115	FOYER	3'-0"	8'-0"	E	PNT.	1-3/4"	-	-	PROVIDE (2) 15" WIDE SIDELITES
116	GREAT ROOM	3'-0"	8'-0"	L	-	-	0.20	-	-
117	GREAT ROOM	3'-0"	8'-0"	L	-	-	0.20	-	-
UPPER FLOOR									
201	BEDROOM 3 CLOSET	6'-0"	7'-0"	D	PNT.	1-3/4"	-	-	-
202	BEDROOM 2 CLOSET	6'-0"	7'-0"	D	PNT.	1-3/4"	-	-	-
203	BEDROOM 2	2'-8"	7'-0"	A	PNT.	1-3/4"	-	-	-
204	HALL CLOSET	PR 2'-0"	7'-0"	B	PNT.	1-3/4"	-	-	-
205	BEDROOM 3	2'-8"	7'-0"	A	PNT.	1-3/4"	-	-	-
206	KID'S BATH	2'-6"	7'-0"	A	PNT.	1-3/4"	-	-	-
207	KID'S BATH	2'-6"	7'-0"	A	PNT.	1-3/4"	-	-	-
208	LAUNDRY	3'-0"	7'-0"	A	PNT.	1-3/4"	-	-	-
209	OFFICE	2'-8"	7'-0"	A	PNT.	1-3/4"	-	-	-
210	OFFICE CLOSET	6'-0"	7'-0"	D	PNT.	1-3/4"	-	-	-
211	M BATH TOILET	2'-6"	7'-0"	A	PNT.	1-3/4"	-	-	-
212	M BATH	3'-0"	7'-0"	C	PNT.	1-3/4"	-	-	-
213	M CLOSET	3'-0"	7'-0"	J	PNT.	1-3/4"	-	-	-
214	M BEDROOM	3'-0"	7'-0"	A	PNT.	1-3/4"	-	-	-
215	BONUS	3'-0"	7'-0"	A	PNT.	1-3/4"	-	-	-

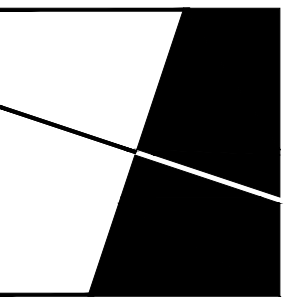
SCHEDULE NOTES:

- CONTRACTOR TO VERIFY ALL GLAZING SIZING, AND DOOR DIMENSIONS IN FIELD PRIOR TO ROUGH FRAMING & ORDERING OF GLAZING/WINDOW/DOOR MATERIALS. REVIEW SIZES AND ANY DISCREPANCIES W/ ARCHITECT.
- ALL GLAZING TO BE "LOW E", INSULATED GLASS UNLESS NOTED OTHERWISE.
- ALL OPERABLE WINDOWS TO HAVE SCREENS.
- GLAZING INDOORS AND/OR WITHIN 24" OF A DOOR TO BE TEMPERED. SEE EXTERIOR ELEVATION FOR TEMP. GLASS LOCATION & EGRESS WINDOWS.
- 2018 WSEC & VIAQ RESIDENTIAL PRESCRIPTIVE OPTION 3 ADOPTED. GLAZING AREA INDICATED UNLIMITED. SEE ENERGY NOTE ON SHEET T1.0 FOR DETAILS.
- ALL NEW FENESTRATION ARE TO BE NFRC CERTIFIED.
- ALL WINDOW AND DOOR HEADERS ARE TO BE INSULATED WITH A MINIMUM OF R-10 INSULATION.

DOOR TYPES



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EXTERIOR ELEVATIONS

REVISIONS:	09-12-22 PERMIT RESPONSE
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

PERMIT SUBMISSION DATE:
04/25/2022

PLOT DATE:
9/12/2022

SHEET NUMBER:

A3.0

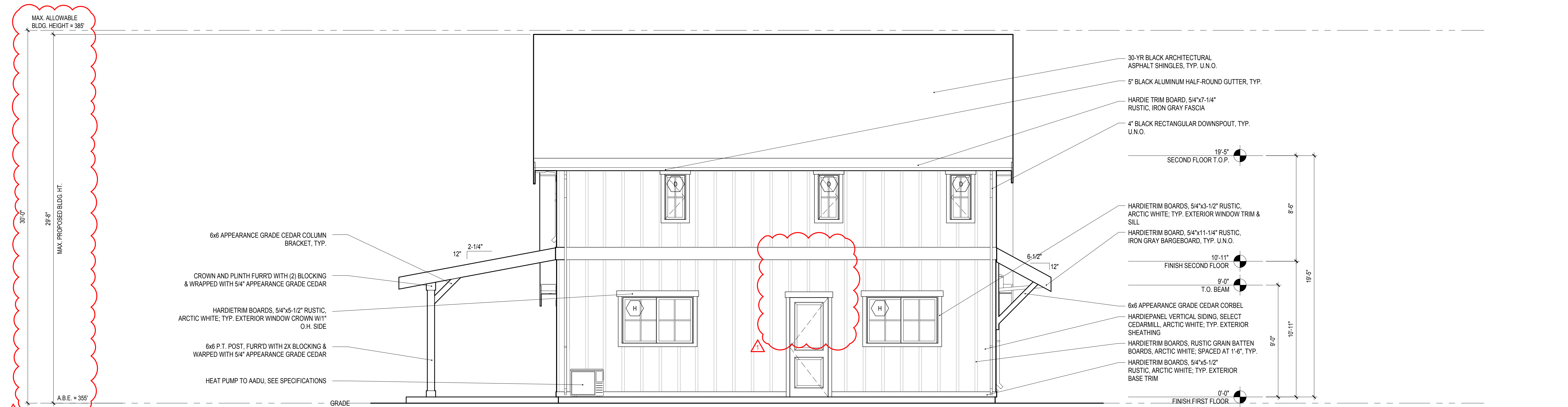
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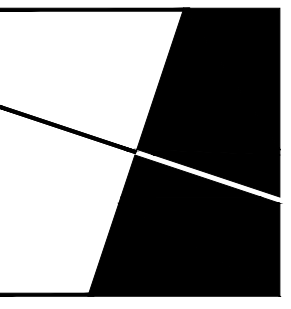
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

- TEMPERED GLAZING
- EGRESS WINDOW
- REPAIR AREA AT EX. WALL
- OPENING AND FINISH TO MATCH EXISTING



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



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EXTERIOR ELEVATIONS

REVISIONS:	09-12-22 PERMIT RESPONSE
1	
2	
3	
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5	
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9	
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PERMIT SUBMISSION DATE:
04/25/2022

PLOT DATE:
9/12/2022

SHEET NUMBER:

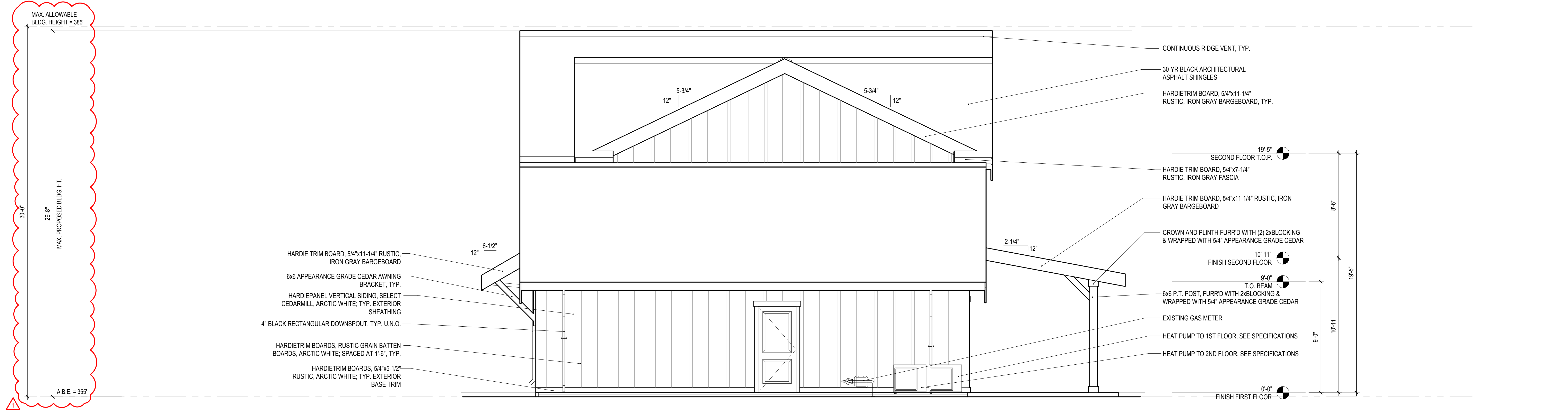
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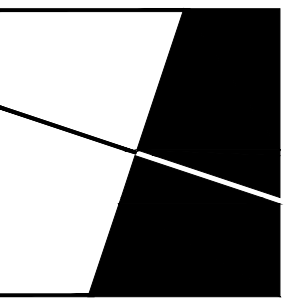


3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

- ELEVATION LEGEND**
- (T) TEMPERED GLAZING
 - (E) EGRESS WINDOW
 - REPAIR AREA AT EX. WALL (CREWING AND FINISH TO MATCH EXISTING)
 - MAX. ALLOWABLE BLDG. HEIGHT = 385'



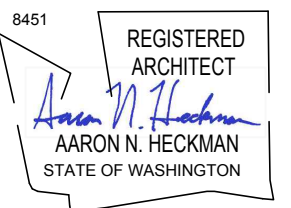
4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



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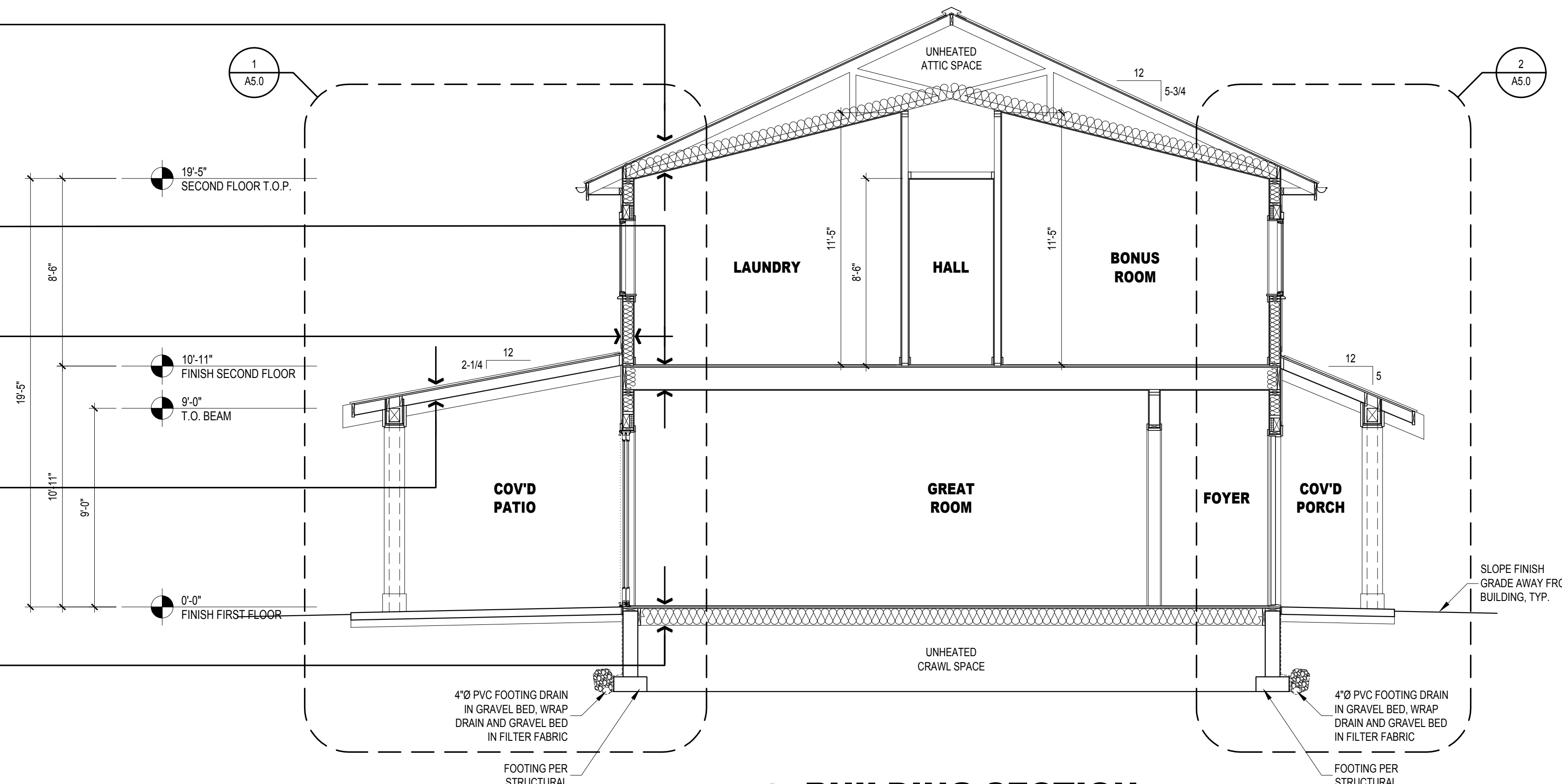
TYP. SLOPED ROOF CONSTR.
ROOFING PER ELEVATIONS of
UNDERLAYMENT PER IRC R905.1.1 of
3/4" CDX PLYWOOD SHEATHING of
ROOF FRAMING PER STRUCTURAL of
1/2" PAINTED GWB CEILING w/
R-49 CRAFT FACED BATT INSULATION

TYP. FLOOR CONSTRUCTION
INTERIOR FINISH FLOOR MATERIAL of
3/4" CDX PLYWOOD SHEATHING of
FLOOR JOIST PER STRUCTURAL of
1/2" PAINTED GWB CEILING

TYP. EXTERIOR WALL CONSTRUCTION
WALL FINISH PER ELEVATIONS of
WATER-RESISTIVE BARRIER of
1/2" CDX PLYWOOD SHEATHING of
2x6 STUDS @ 16" O.C. U.O.N. of
1/2" PAINTED TYPE 'X' GWB w/
R-21 CRAFT FACED BATT INSULATION

SLOPED ROOF CONSTRUCTION OVER EXTERIOR
ROOFING PER ELEVATIONS of
UNDERLAYMENT PER IRC R905.1.1 of
5/8" CDX PLYWOOD SHEATHING of
ROOF FRAMING PER STRUCTURAL of
EXTERIOR SOFFIT CEILING

TYP. FLOOR CONSTRUCTION OVER CRAWL SPACE
INTERIOR FINISH FLOOR MATERIAL of
3/4" CDX PLYWOOD SHEATHING of
FLOOR JOIST PER STRUCTURAL of
R-38 CRAFT FACED BATT INSULATION



A BUILDING SECTION
SCALE: 1/4" = 1'-0"

TYP. SLOPED ROOF CONSTR.
ROOFING PER ELEVATIONS of
UNDERLAYMENT PER IRC R905.1.1 of
5/8" CDX PLYWOOD SHEATHING of
ROOF FRAMING PER STRUCTURAL of
1/2" PAINTED GWB CEILING w/
R-49 CRAFT FACED BATT INSULATION

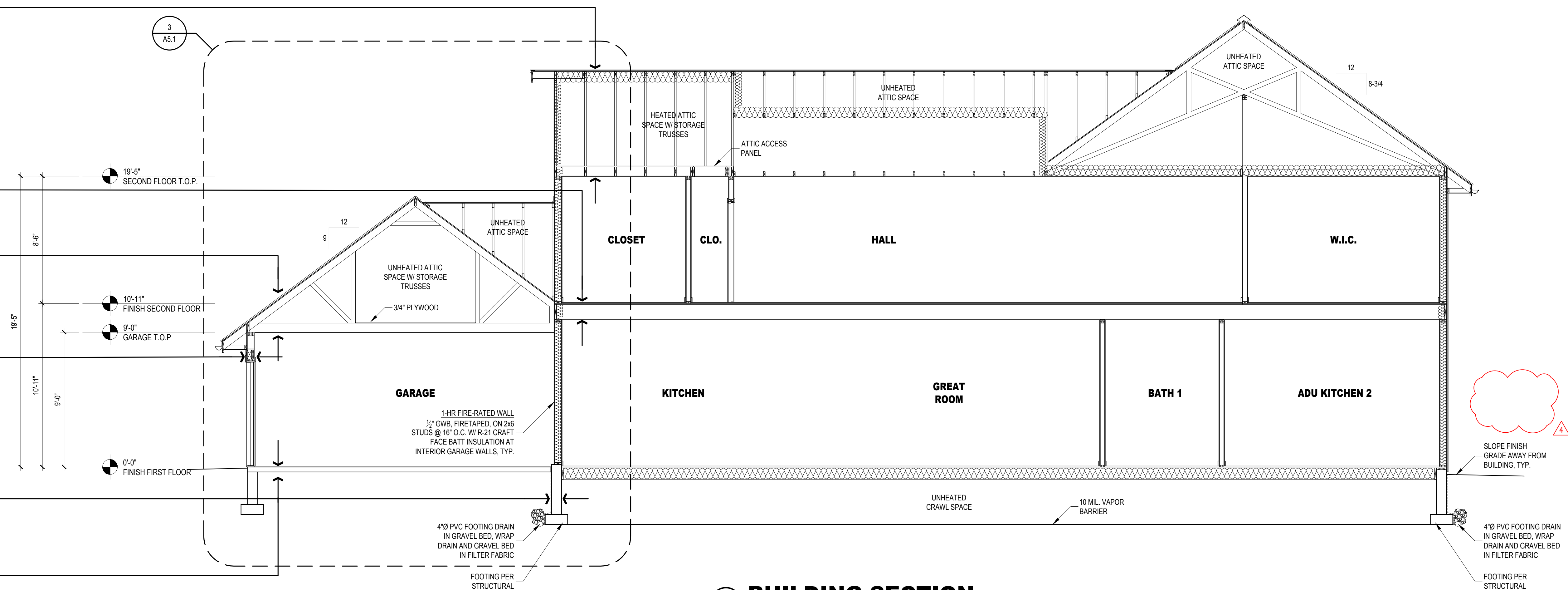
TYP. FLOOR CONSTRUCTION
INTERIOR FINISH FLOOR MATERIAL of
3/4" CDX PLYWOOD SHEATHING of
FLOOR JOIST PER STRUCTURAL of
1/2" PAINTED GWB CEILING

TYP. ROOF OVER GARAGE
WATERPROOF MEMBRANE TO MATCH EX. @
ROOF SLOPE TO MATCH EX. of
30# BUILDING PAPER of
5/8" CDX PLYWOOD SHEATHING of
ROOF FRAMING PER STRUCTURAL of
1/2" PAINTED GWB CEILING of
2x CEILING JOISTS PER STRUCT.

TYP. GARAGE WALL CONSTRUCTION
WALL SIDING PER ELEVATIONS of
WATER-RESISTIVE BARRIER of
1/2" CDX PLYWOOD SHEATHING of
2x6 STUDS @ 16" O.C. U.O.N. of
1/2" PAINTED GWB

CRAWL SPACE WALL CONSTRUCTION
APPROVED DRAINAGE FABRIC of
DAMP-PROOFING MEMBRANE of
CONCRETE WALL PER STRUCTURAL

TYP. GARAGE FLOOR SLAB CONSTRUCTION
4" REINFORCED CONCRETE SLAB of
6 MIL. VAPOR BARRIER of
4" COMPACTED FILL of
EXISTING UNDISTURBED SOIL



B BUILDING SECTION
SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

REVISIONS:	09/12/22	PERMIT RESPONSE
	10/10/22	PERMIT RESPONSE
	11/02/22	PERMIT RESPONSE
	04/07/23	PERMIT REVISIONS

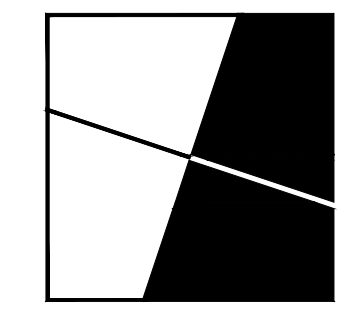
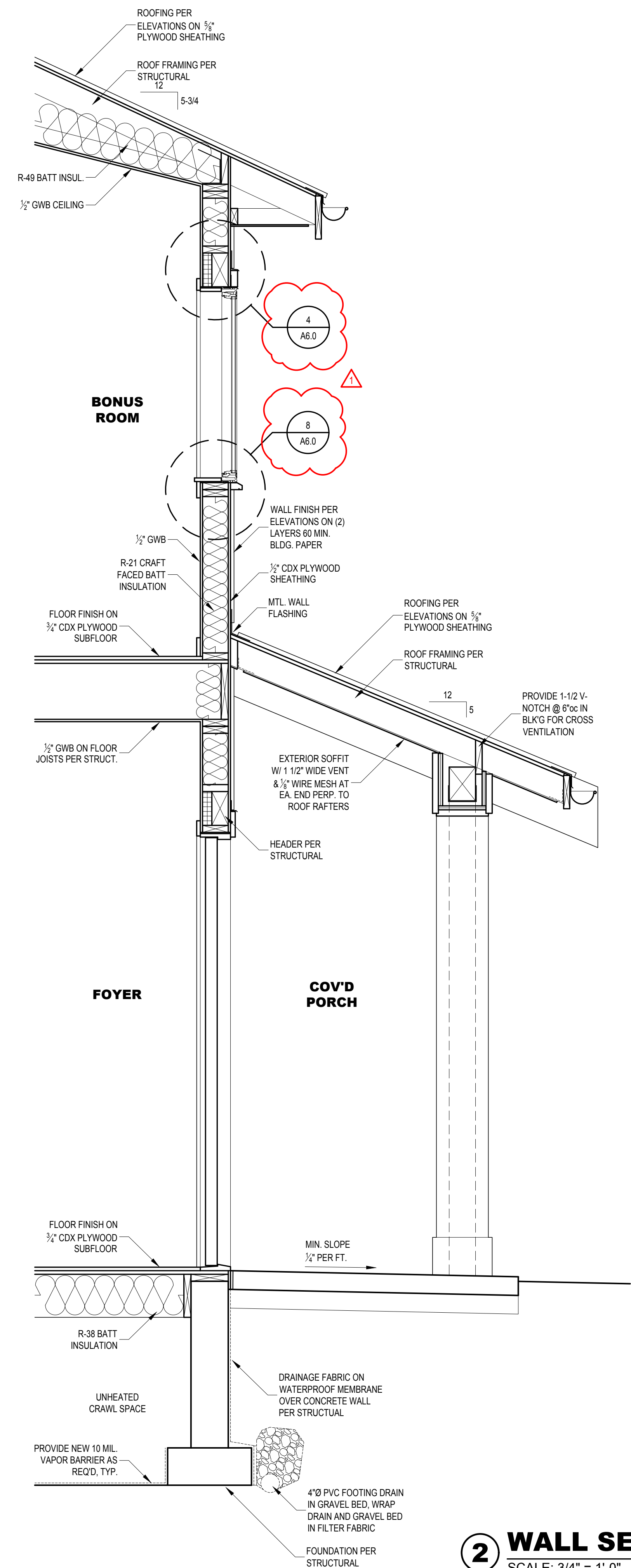
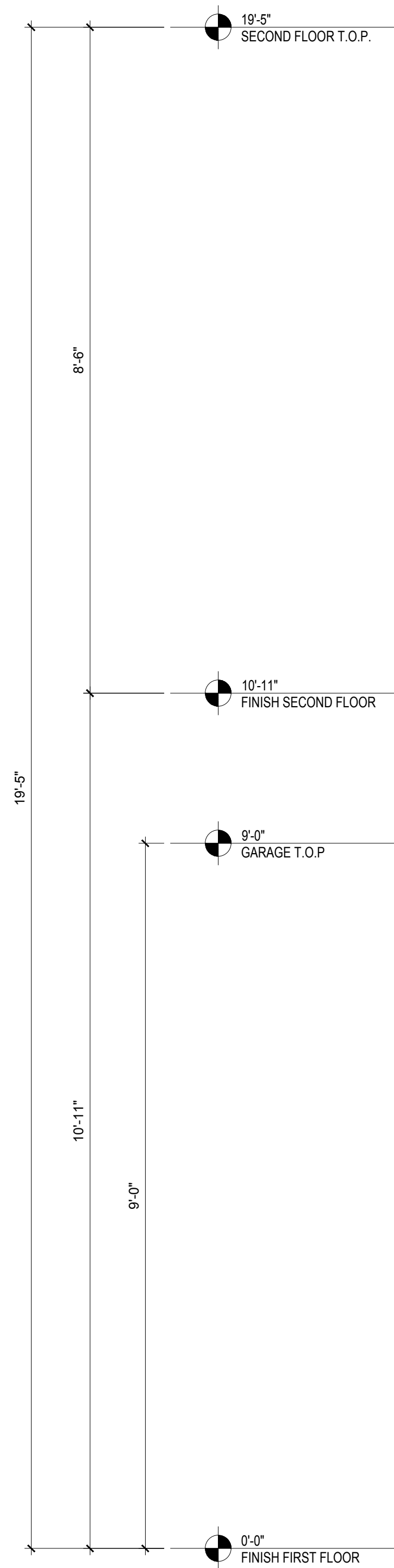
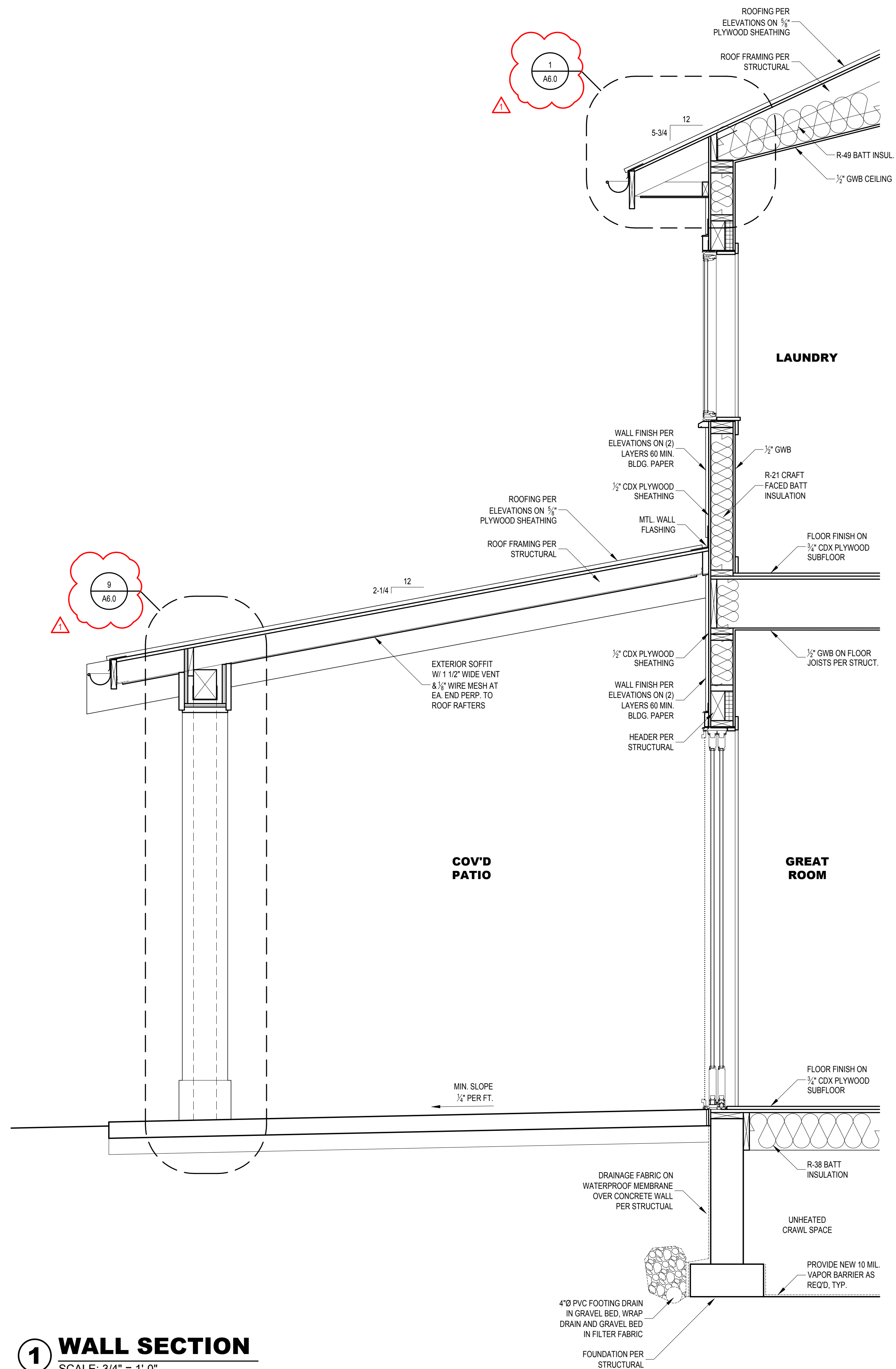
PERMIT SUBMISSION DATE:
04/25/2022

PLOT DATE:
4/7/2023

SHEET NUMBER:

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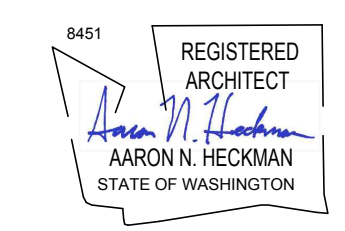
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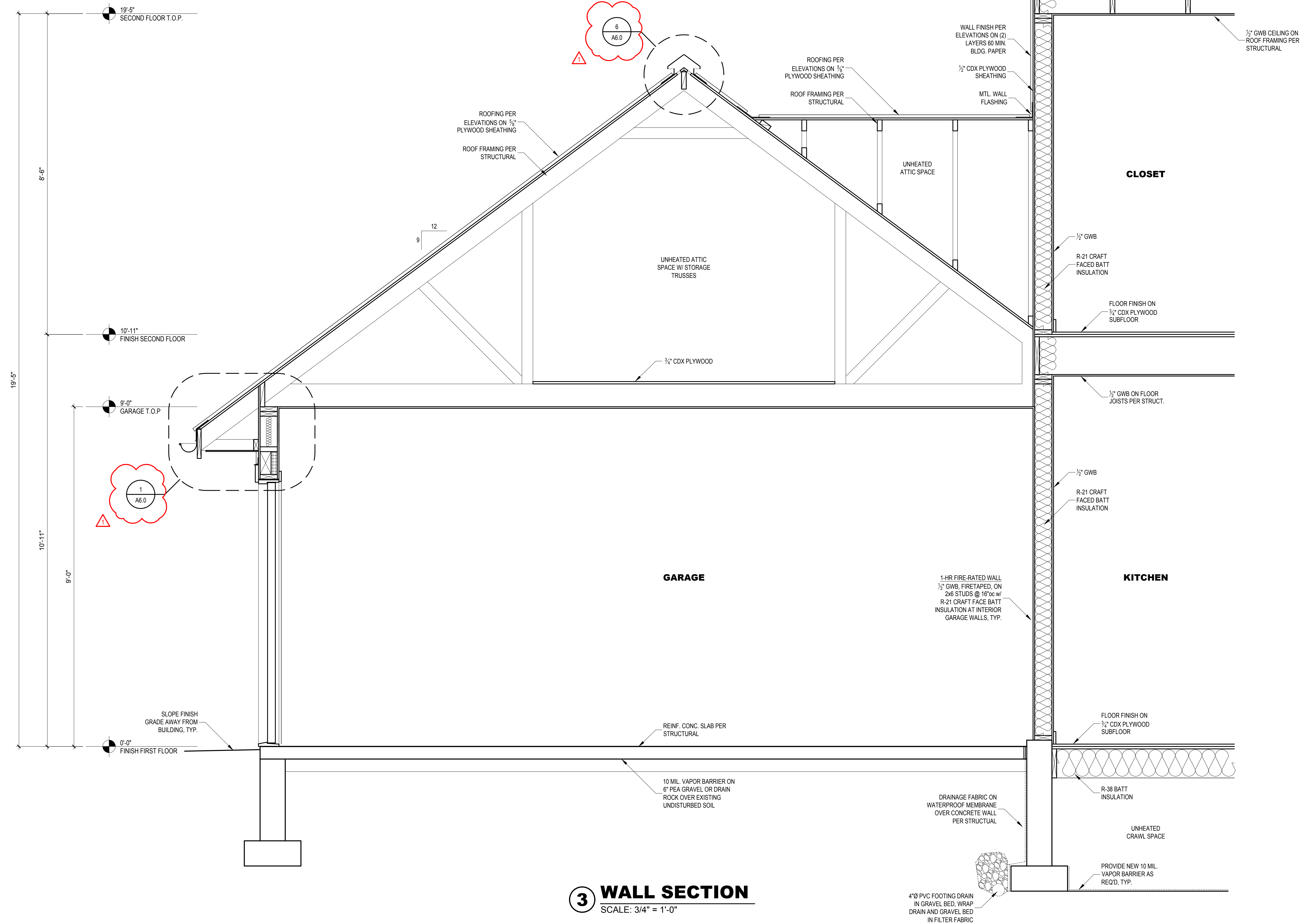
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WALL SECTIONS

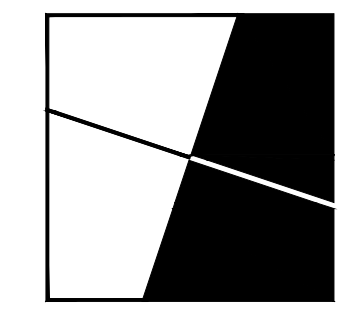
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PERMIT SUBMISSION DATE:	04/25/2022
PLOT DATE:	9/12/2022
SHEET NUMBER:	

A5.0

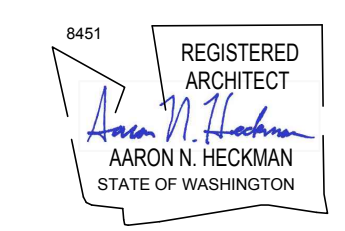
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3 WALL SECTION
SCALE: 3/4" = 1'-0"



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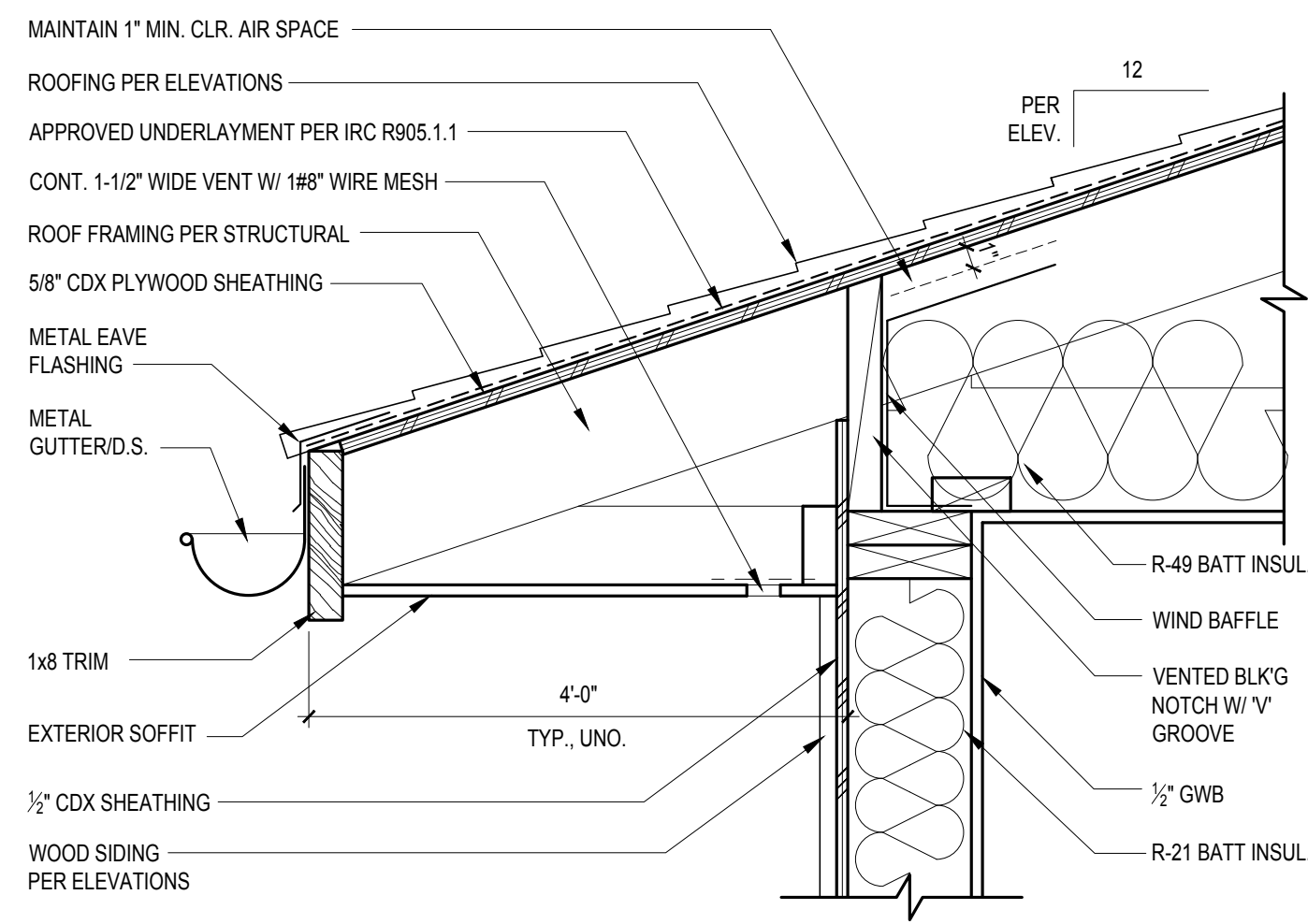
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WALL SECTIONS

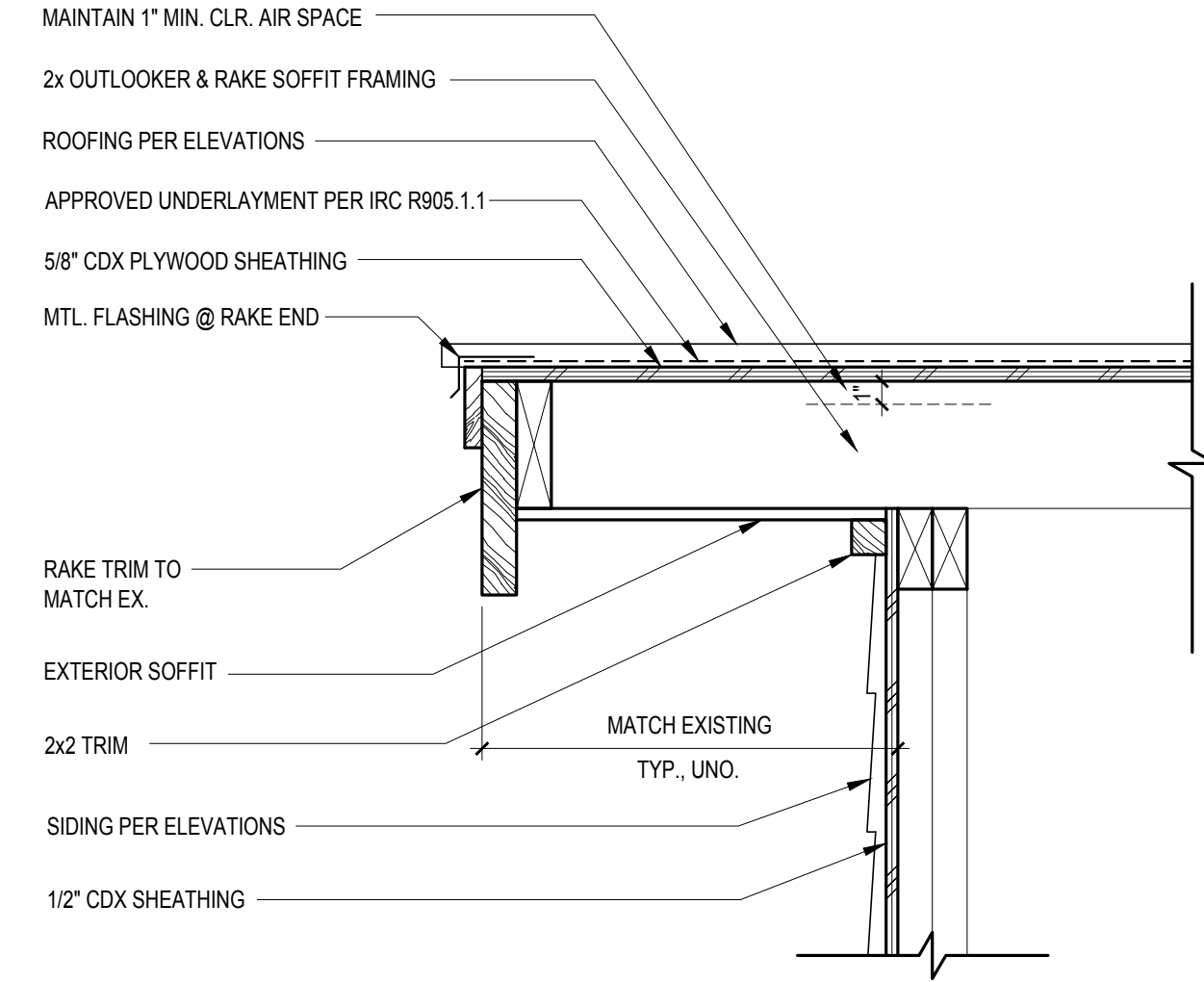
REVISIONS:	DATE	DESCRIPTION
1	09/12/22	PERMIT RESPONSE
2		
3		
4		
5		

PERMIT SUBMISSION DATE: 04/25/2022
PLOT DATE: 9/12/2022
SHEET NUMBER:

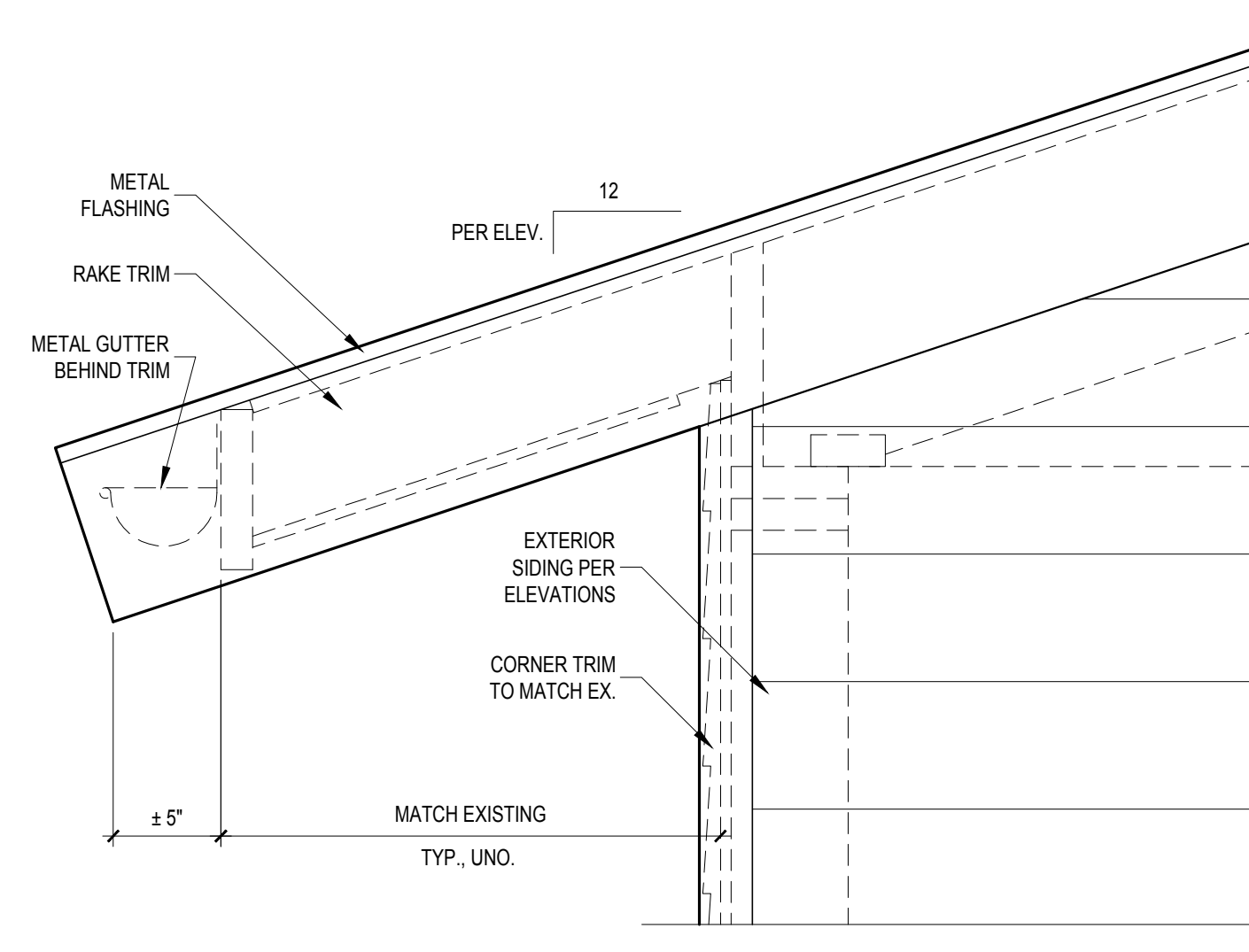
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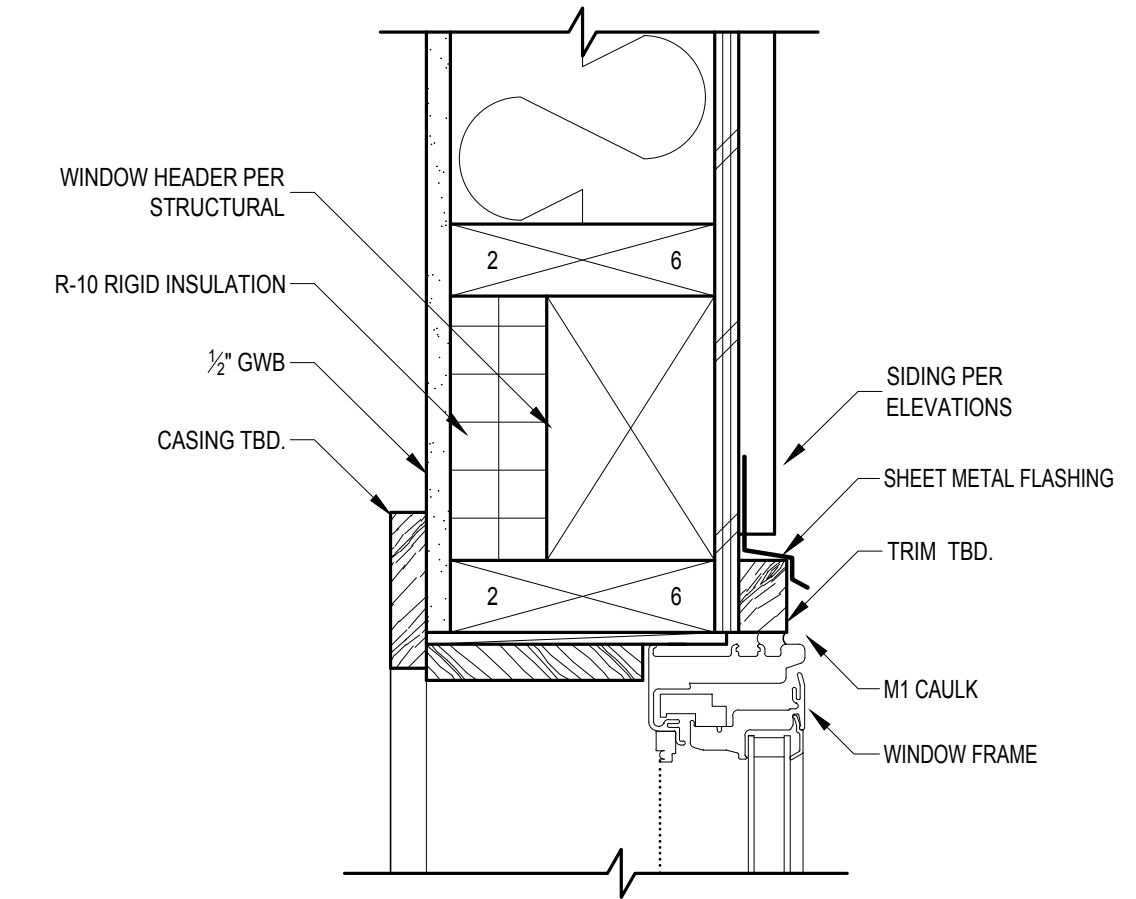
1 TYPICAL ROOF EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



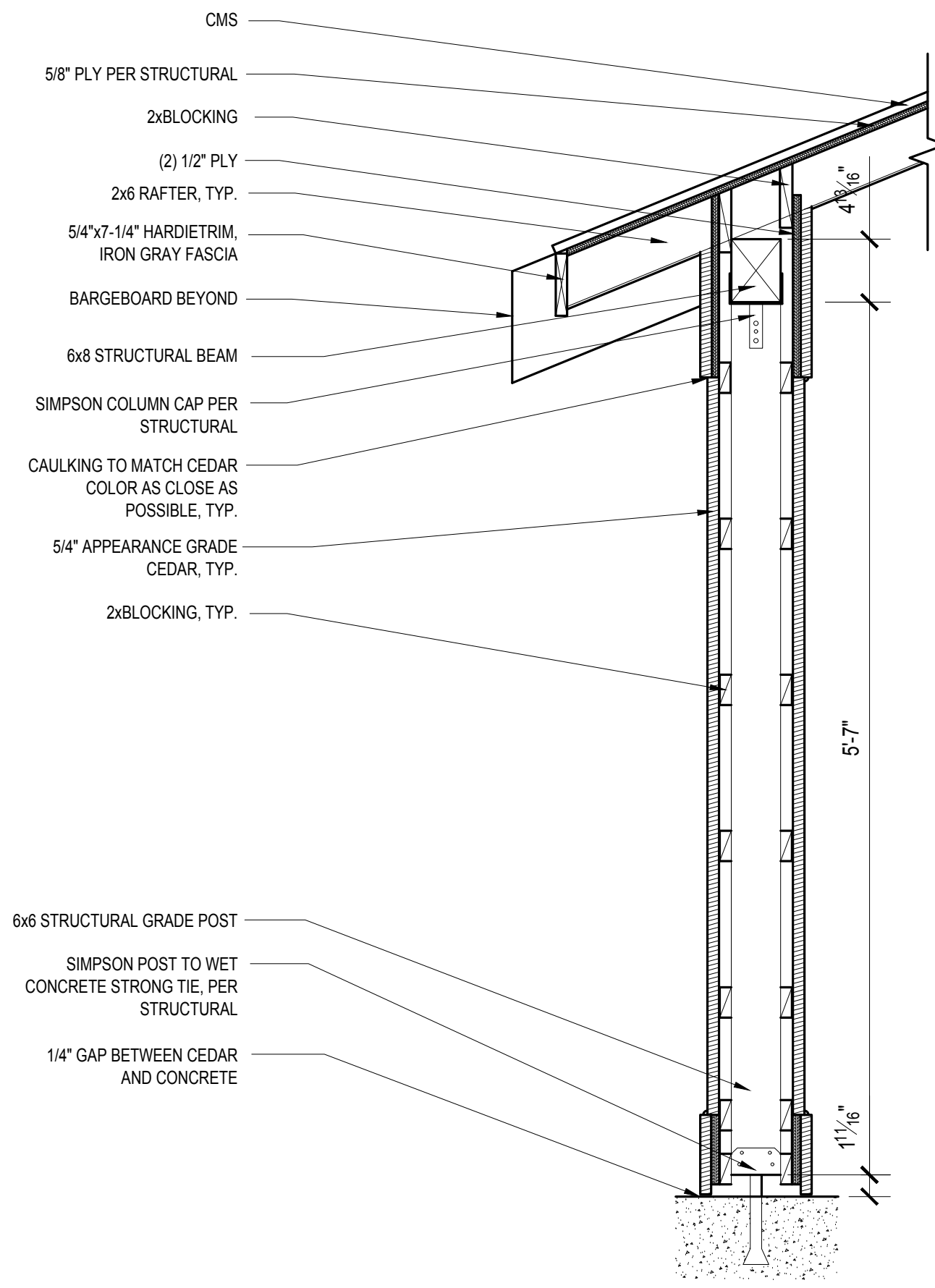
2 TYPICAL ROOF RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



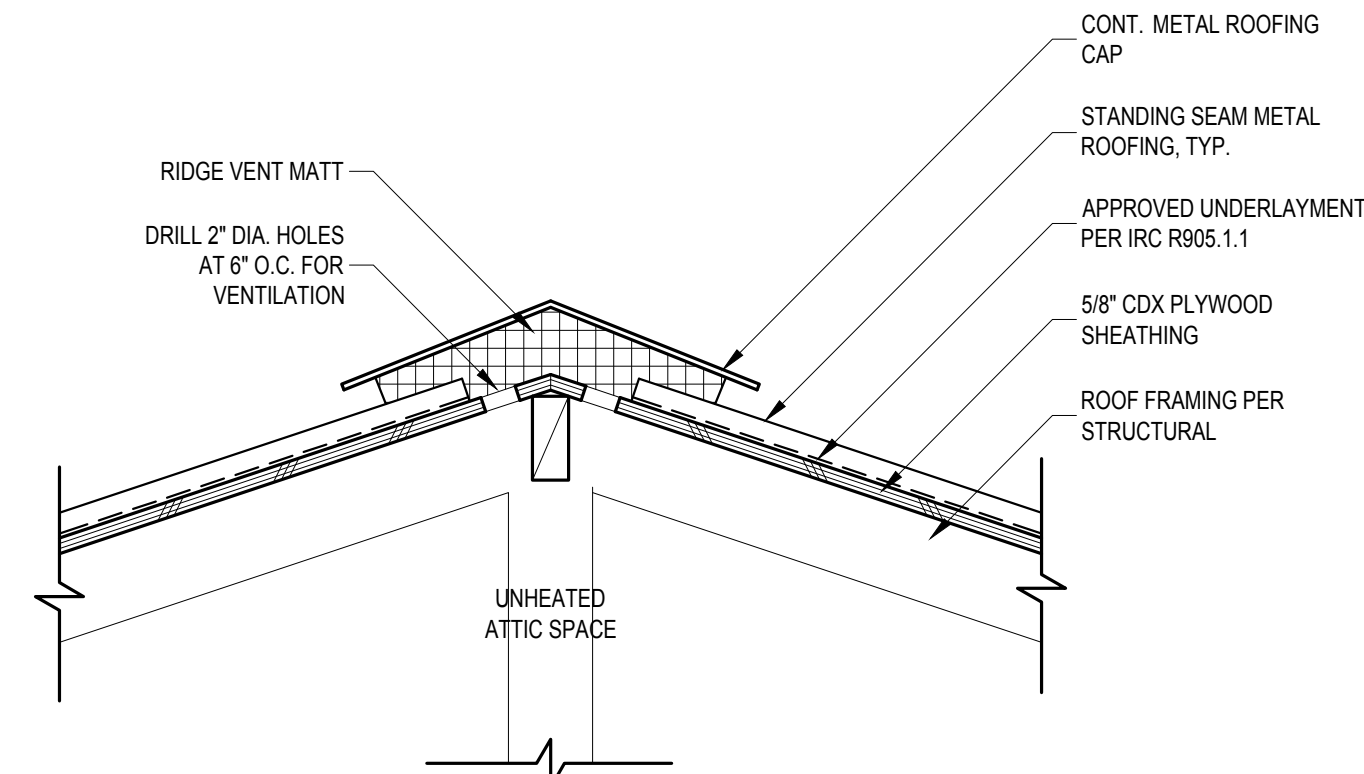
3 TYPICAL ELEVATION AT ROOF RAKE
SCALE: 1 1/2" = 1'-0"



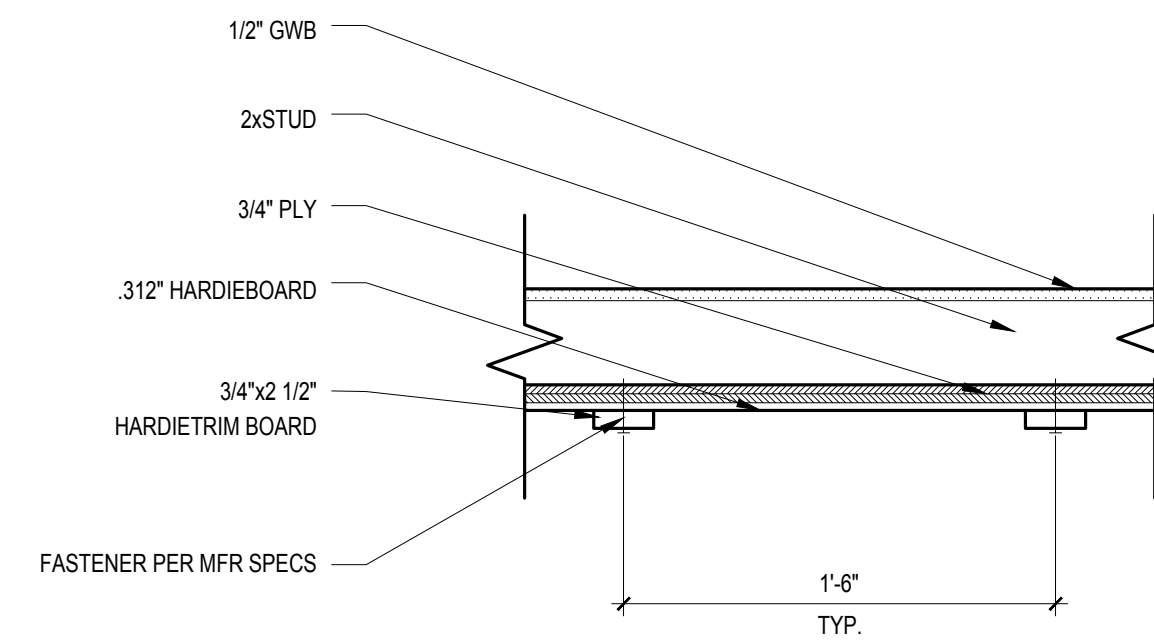
4 TYPICAL WINDOW HEAD DETAIL
SCALE: 3" = 1'-0" SIM. AT JAMB



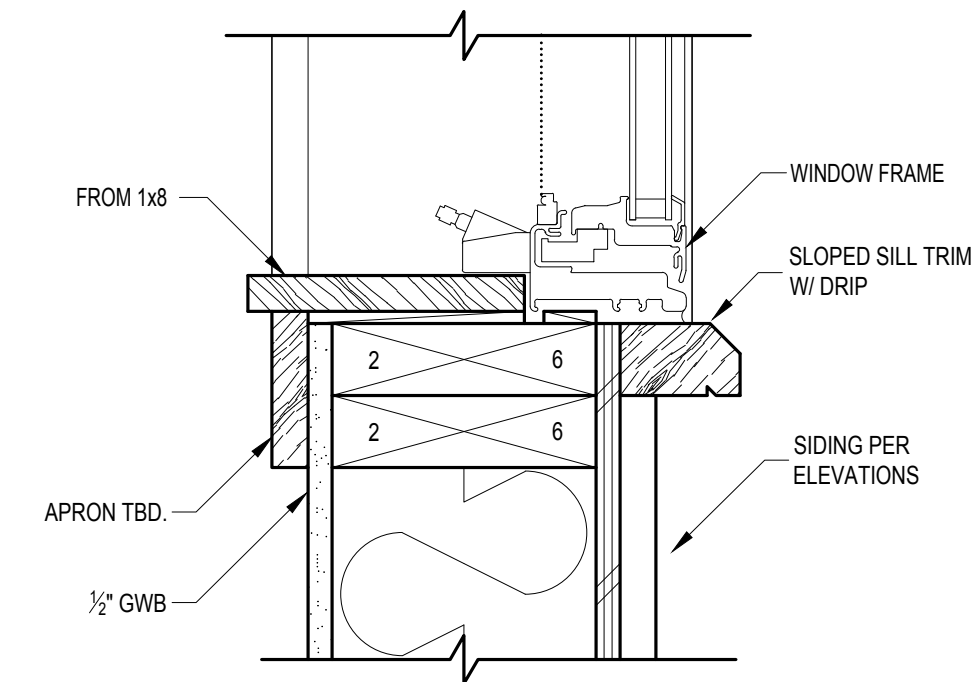
9 TYPICAL COLUMN SECTION DETAIL
SCALE: 1 1/2" = 1'-0"



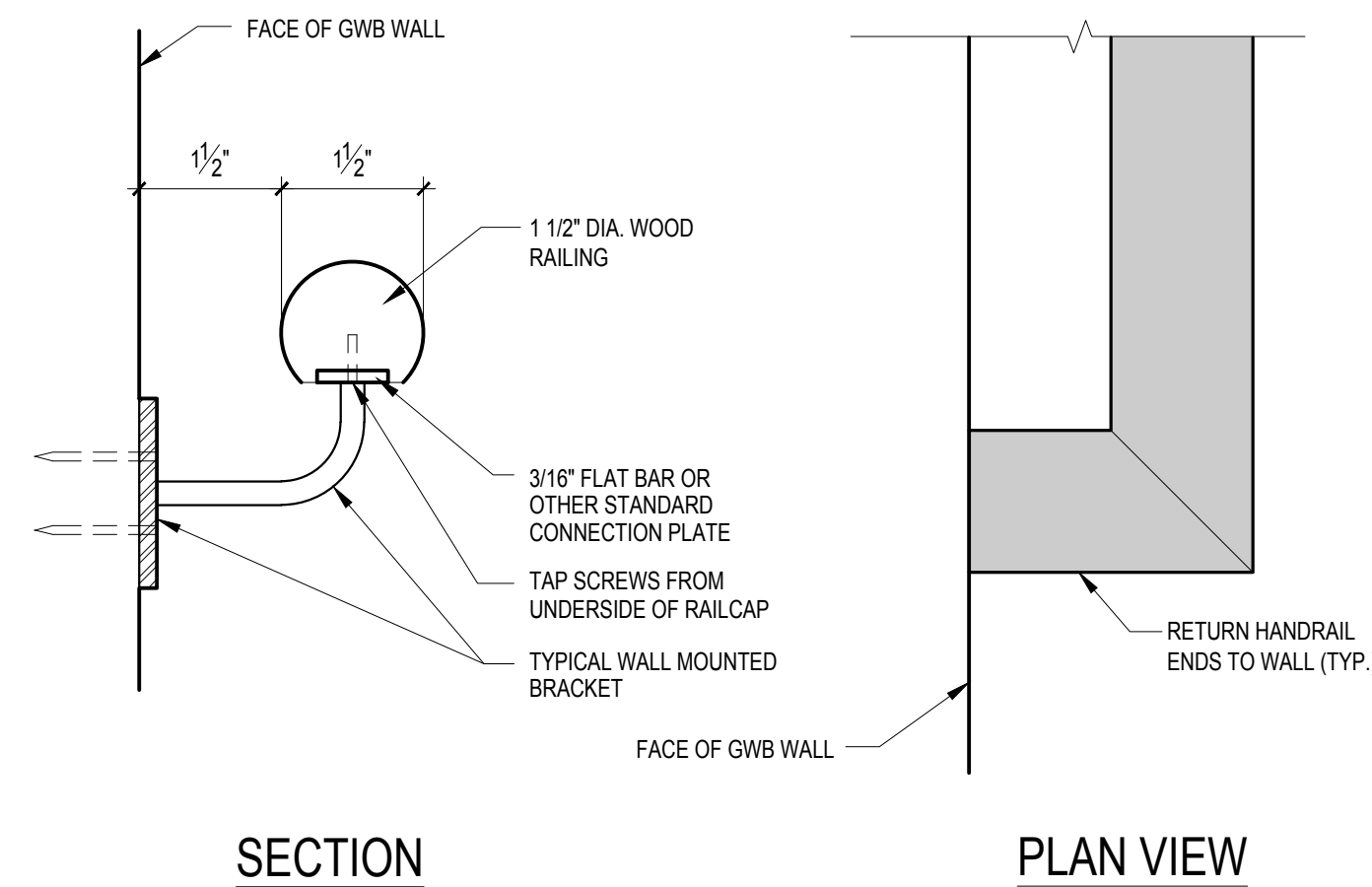
6 TYPICAL ROOF RIDGE VENT DETAIL
SCALE: 1 1/2" = 1'-0"



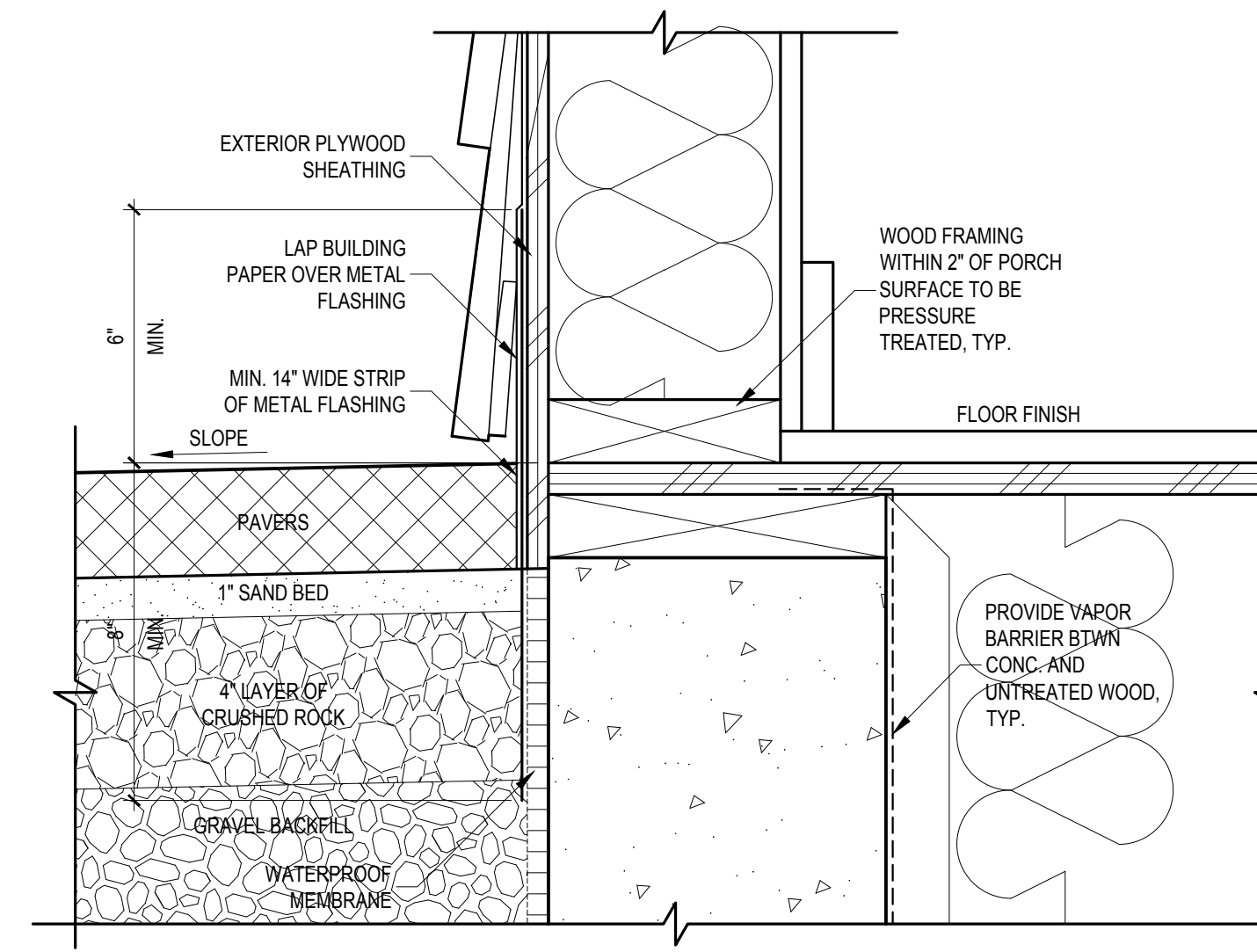
7 BOARD AND BATTEN DETAIL
SCALE: 1 1/2" = 1'-0"



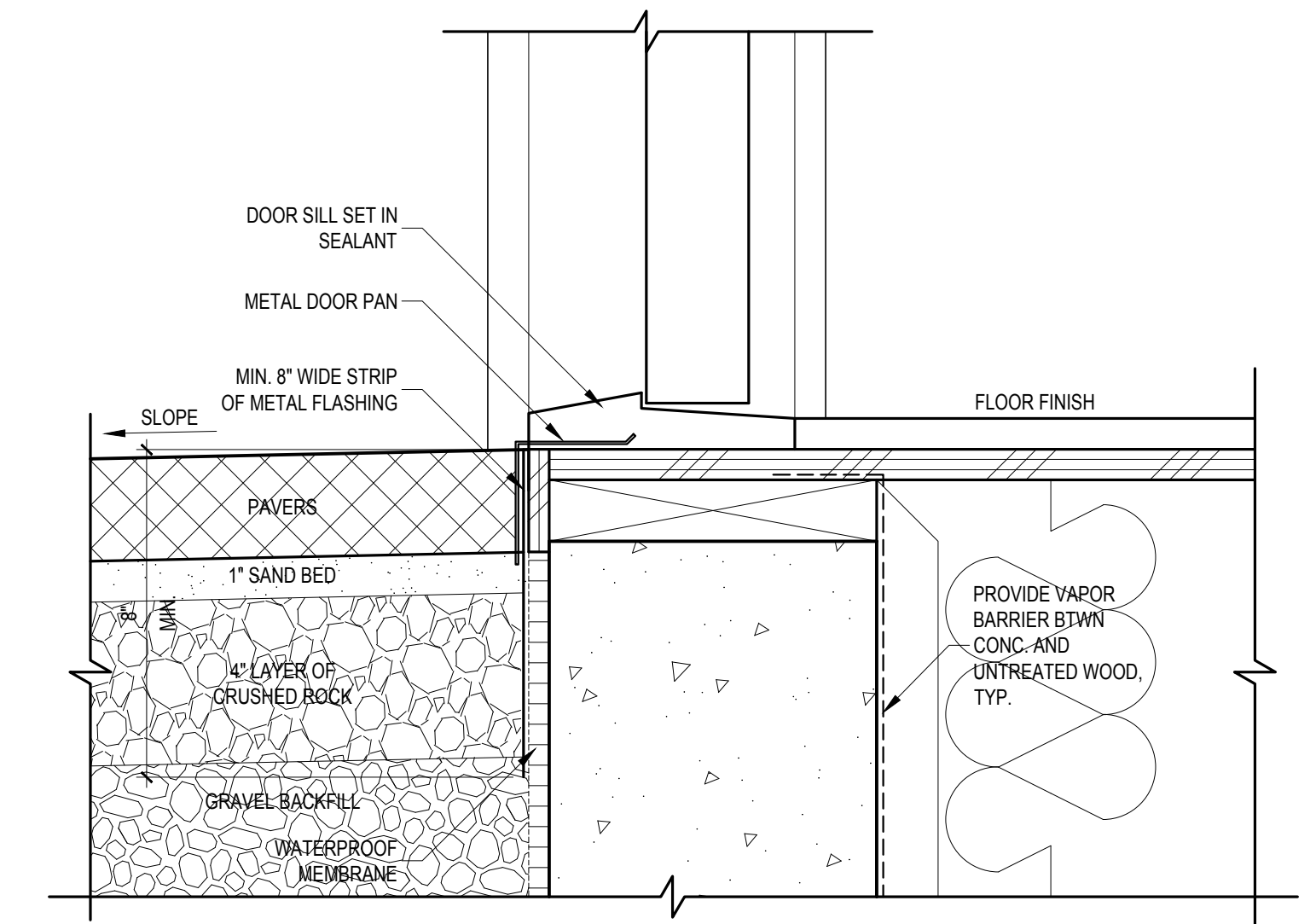
8 TYPICAL WINDOW SILL DETAIL
SCALE: 3" = 1'-0"



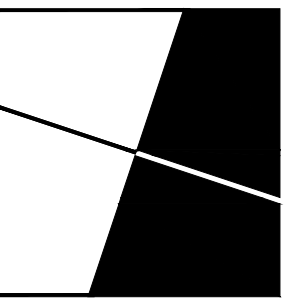
10 HANDRAIL DETAIL
SCALE: 6" = 1'-0"



11 FLASHING DETAIL AT FLUSH GRADE
SCALE: 6" = 1'-0"



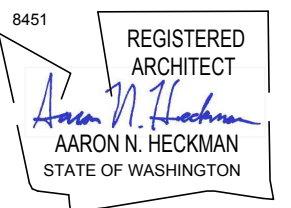
12 FLASHING DETAIL AT EXT. DOOR
SCALE: 6" = 1'-0"



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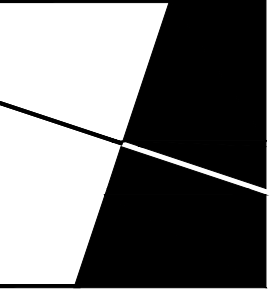
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ARCHITECTURAL DETAILS

REVISIONS:	09-12-22 PERMIT RESPONSE
PERMIT SUBMISSION DATE:	04/25/2022
PLOT DATE:	9/12/2022
SHEET NUMBER:	

A6.0

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GENERAL STRUCTURAL NOTES

Table with 2 columns: REVISIONS and PERMIT SUBMISSION DATE. Includes rows for 09/09/21 PERMIT RESPONSE, 04/25/2022, and 5/4/2022.

PLOT DATE: 5/4/2022 SHEET NUMBER: S1.0

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Roof Over Framing Note, Note OF:

The new roof area shown hatched consists of new roof framing constructed over the existing roof framing below. The over built framing shall be constructed in such a way as to distribute the roof loads from the new framing uniformly to the existing roof structure...

The new cripple walls and roof rafters (spanning 2 feet, perpendicular to the cripple walls) may be constructed using 2x4 lumber, stud grade at minimum. The new plates shall be nailed to each existing rafter with (2) 16d nails minimum.

A new 2x_ plate shall be constructed along the new valley lines, and nailed to each existing rafter, along its entire length, with (2) 16d nails per existing rafter.

If desired, an alternate method for distributing the loads may be submitted to the structural engineer of record, for review and approval prior to construction.

Hold Down Notes

Convention for showing shear walls and hold downs: Shear walls are shown on the framing plan for the floor above. (For example, first floor shear walls will be shown on the second floor framing plan, and the shear walls for the topmost floor will be shown on the roof framing plan.)

Hold downs for each floor must be continuously connected to hold downs on the floor below (or to other intermediate wood framing where so indicated), until they are finally connected to the concrete foundation.

Hold downs shall be installed so as to be as far apart as is reasonable. Hold downs may be located on either the near side or the far side of the post or double stud to which they are attached. In no case shall a hold down bolt be located farther than 6" from the end of the shear wall, except with prior written approval of the engineer.

Where multiple studs are called out at a hold down, nail studs together with (2) 16d nails at 8" o.c. or 1/4" x 3" Simpson SDS Screws at 12" o.c.

Where a hold down post lands on a rim joist, provide full depth vertically oriented blocking under the post.

Strap Hold Downs:

Provide a vertically oriented strap hold down consisting of one or two of the Simpson vertical strap ties listed below, connecting the end stud or post of the shear wall indicated to new or existing studs in the wall framing below, or to a wood beam supporting the shear wall, where applicable.

CS16 denotes a Simpson CS16 strap, with a minim end length of 14", and (13) 8d nails each end.

CMSTC16 denotes a Simpson CMSTC16 strap, with a minim end length of 25", and (29) 16d sinker nails each end.

CMST14 denotes a Simpson CMST14 strap, with a minim end length of 34", and (38) 10d nails each end.

CMST12 denotes a Simpson CMST12 strap, with a minim end length of 44", and (49) 10d nails each end.

Rod Hold Downs:

HDUx denotes a Simpson HDU(2,4,5,8, or 11)-SDS2.5 hold down. For hold down bolts at existing concrete foundations, use the following bolts:

For HDU2,4,5: 5/8" diameter A307 threaded steel rod may be used, which shall be epoxy grouted into a 3/4" diameter hole with a minimum embedment of 10". See Retrofit HDU Typical Detail.

For hold downs at new concrete foundations, provide the following bolts.

For HDU2,4,5: Simpson SB5/8x24 may be used, installed per the most recent edition of the Simpson Strong-Tie Literature.

For HDU8: Simpson SB7/8x24 may be used, installed per the most recent edition of the Simpson Strong-Tie Literature.

Where the hold down is too high off of the concrete foundation to adequately connect to the specified anchor, a 7/8" diameter threaded rod and ASTM A194-2H coupler connecting to the specified anchor may be used.

Special Note:

All holes for hold down bolts which are installed into existing foundations must be inspected during the installation of the hold down. Either the building inspector, the structural engineer of record, or the special inspection agency must perform the inspection and approve it before the bolts may be epoxy grouted into the holes.

For drilled holes into existing concrete, no less than 2" must be provided between the edge of the hole and the face of concrete. The Engineer of Record or Special Inspector must witness the installation of hold down bolts, including cleaning the holes with compressed air and a wire brush before the anchor is installed.

The contractor must verify that the existing foundation stem wall is uncracked and continuous, and is sound and in good condition, within 5 feet of any retrofitted shear wall or hold down, in any direction, except with prior written approval of the engineer.

Any existing cracks located within 10' of any hold down must be completely filled with an appropriate epoxy based concrete repair product. The product to be used shall be approved in writing by the engineer prior to filling the cracks.

Contact the engineer of record prior to proceeding if any of these requirements are not met, or if the installation of the hold downs results in any visible damage to the existing foundation.

Manufactured Trusses:

Manufactured trusses specified on the plans are prefabricated products manufactured by a truss manufacturer. The contractor shall submit shop drawings and stamped structural design calculations for review. The manufacturer's installation instructions shall be available on the job site at the time of inspection.

The truss live loading shall be per IRC Section 301.5 and Table 301.5, especially noting footnotes b and g.

The truss design shall be per IRC Sections 502.11.1 and 802.10.2, especially indicating the truss design and manufacturing shall be per ANSI/TPI 1.

The truss temporary and permanent bracing shall be per IRC Sections 502.11.2 and 802.10.3 as well as the Truss Plate Institute's Building Component Safety Information.

Truss alterations shall not occur unless the approval of a design professional as indicated in IRC Sections 502.11.3 and 802.10.4.

Manufactured Joists:

"TJI" Joists specified on the plans are prefabricated products manufactured by the Weyerhaeuser Corporation. The contractor shall submit shop drawings and stamped structural design calculations for review. Joist design and shop drawings shall include location and weight of all equipment being supported by these joists.

Provide solid blocking between TJI joists at 8' o.c. along the span.

Blocking shall be solid engineered lumber to match the joist depth. TJI blocking is not permitted. See the TJI-9001 Installation Guide for connection and framing requirements.

Metal Framing Connectors:

Unless otherwise noted: Metal framing connectors shall be manufactured by the Simpson company, or approved equal. Unless noted otherwise, use U-series joist hangers to match joist size (e.g., U210 for 2x10 joist). Provide H1 or H2.5 hurricane ties, or other connectors with similar capacity, at every roof joist or truss, and H6 or H7 at ends of roof beams and girder trusses.

Bearing Walls:

All walls supported by continuous concrete footings shall be connected to the foundation per 2018 IRC section 403.1.6. 1/2" diameter anchor bolts shall be provided at 4' o.c., or two per wall segment, minimum. Anchor bolts shall penetrate 7" into the concrete foundation.

Connection of New Foundation to Existing, Note NF:

At each location where the new concrete foundation abuts the existing foundation, connect the new to the existing using minimum (3) #4 by 18" long rebar dowels, epoxy grouted into 5/8" diameter by 5" deep holes drilled into the existing foundation. Each dowel shall be no closer than 3" to any edge or corner of concrete.

Connect the engineer (prior to construction) for evaluation and approval of the existing foundation system, if there are any significant cracks in the existing foundation within 6 feet of the new foundation, or if there is any indication that the existing foundation is in poor condition, including visible rock pockets, non-uniform concrete, spalling, noticeable settlement of the existing footing, or other distress.

Note "TSW" (Truss Connection to Shear Wall)

At parallel walls, one typical roof truss shall be located directly over the indicated shear wall, and the bottom chord of that roof truss shall be connected to the top plate of the shear wall below with Simpson A35 connectors per the shear wall schedule. The truss top chord shall receive roof diaphragm edge nailing from the roof sheathing.

Both ends of the indicated trusses shall be connected to a double stud in the shear wall below, using a Simpson H6 or H7 connector. Provide two rows of shear wall edge nailing through the shear wall plywood sheathing into the double studs.

Truss spacing may need to be adjusted, or additional trusses provided, to assure that a truss is located over each indicated shear wall.

At perpendicular walls, frame shear wall segments between the trusses. See TSW "Truss Shear Wall" Details for more information.

Drag Strut Note "DS"

Provide a continuous horizontal connection between the indicated beams, walls, and blocking, using the following method.

Connect the beams, blocking, rim joist, or top plates in the line specified, using a horizontal Simpson CMSTC16 strap or alternate strap specified on the plans. Individual members must be connected together, with the strap extending 3" onto each member.

The strap may be installed either on top of the plywood floor diaphragm, or connecting a beam or joist, as applicable and feasible.

Beams or joists may be connected to a wall top plate by (8) A35s.

Where no parallel members occur below the strap, provide 3-1/2" wide by 5-1/2" deep (minimum) solid wood blocking in the floor or roof framing, below the strap, for nailing. The blocking should be attached to the perpendicular joists with Simpson A34 framing anchors at both ends of each block.

Straps may be installed on top of a ridge, but not on the bottom.

Refer to the latest edition of the Simpson Catalog for required nailing and other requirements.

Refer to the Drag Strut Typical Detail provided with these plans.

Structural Notes:

Applicable Codes and Standards:

2018 International Building Code (IBC) and other applicable local building codes. ASCE/SEI 7-16 - "Minimum Design Loads for Buildings and Other Structures" 2018 NDS for wood structures. American Wood Preservers Bureau - AWPB Standards for Pressure Treated Material. American Concrete Institute - ACI 315, ACI 318, ACI 301, ACI 307.

Structural design shall be in accordance with the latest edition of above codes and standards. Contractor shall comply with the latest edition of all applicable codes and standards.

Design Loads:

Table with 2 columns: Load type and Value. Live load: roof 25 psf (snow), floors 40 psf (60 psf decks); Dead load: solar panels 4 psf

Wind load: Basic wind speed 110 mph, exposure B, KzT=1.38 Building Category: Enclosed, Wind Important Factor Iw = 1.0 Refer to calculation page L1 for design wind forces. Internal pressure 5 psf, Components and cladding design per 1609.6.4.4.1

Seismic loading per IBC Section 1613, Site Class D.

The basic structural type is a bearing wall system with light framed walls with shear panels. Rw = 6.5 (wood structural panels), soil type D. Seismic importance factor I.0, Seismic Use Group I Design and Analysis by Simplified Design Procedure Peak Ground Accelerations (PGA) based on USGS Hazards Program, by lat/long. PGA 1 sec = .503 PGA .2 sec = 1.451 Seismic base shear = 0.149 * Dead Load

Foundations:

Soil parameters (assumed): Vertical allowable soil pressure: 1,500 psf All soil conditions are to be field verified during construction. Footings shall bear on firm natural soils or on structural fill placed over firm natural soils, and inspected in place. Footings shall extend 18 inches minimum below adjacent exterior finished grade and shall extend 12 inches minimum below existing interior grade unless otherwise noted on plans.

Drainage behind the concrete walls shall be provided conforming to the construction details.

Cast in Place Concrete:

Concrete shall attain a minimum compressive strength of 2,500 psi at 28 days (5-1/2 sack mix). An alternate mix provided by the concrete supplier and pre-approved by the building department is acceptable. Reinforcing steel shall conform to ASTM A-615, Grade 60 (Fy=60,000 psi) for all bars. Provide all wall and footing horizontal bars with 2'-0" x 2'-0" corner bars of the same size at all corners and wall intersections. Minimum lap splice 48 bar diameters.

Table with 2 columns: Protection description and Value. Concrete protection for reinforcement shall be: 1.5" (#5 & smaller) 2" (#6 & larger); Concrete exposed to earth or weather 3"; Concrete cast against earth Slabs 0.75"

Bolts:

Anchor bolts shall conform to F1554. All other bolts shall conform to ASTM A307. Minimum anchor bolt size and spacing shall be 1/2" diameter bolts @ 6" o.c. Shear wall anchor bolts per the shear wall schedule. For cast-in-place anchors, provide 7" minimum embedment into the new concrete foundation. For retrofitted anchors, provide 5" minimum embedment into the existing concrete foundation.

Wood Framing Specifications:

All sill plates and other wood framing which is in contact with concrete or masonry must be preservative-treated in accordance with AWPA U1 and M4 standards. For anchor bolts connecting wood sill plates to concrete or masonry, provide galvanized steel washers and nuts on top of the sill, minimum washer size 3" x 3" x 1/4" thick.

Where toenails are used for stud wall construction, a minimum of (2) toenails at top and bottom of each stud shall be provided. Toenails shall be 16d nails driven at approximately a 45 degree angle, with a minimum of 1-1/2" of the nail shank shall be embedded in both the stud and the plate. End nails driven through the plate and into the stud end grain are not permitted.

Wherever joists bear on a wall or beam, either a continuous rim joist or solid wood blocking must be provided. Blocking shall be connected to the joists with A35 angles at each end. Individual blocks may be omitted to allow for ducting or other openings. Consult with the engineer of record if more than 25% of the blocking is omitted.

Where LVLs are specified with a thickness greater than 1-3/4", the beam may be built up out of multiple 1-3/4" LVL beams connected per truss-joist TJ-9000 specifier's guide.

Unless noted otherwise, the following grades and species shall be used for structural lumber:

Table with 2 columns: Lumber specification and Notes. 2x joists Hem-Fir #2; 2x, 3x, and 4x studs DF/L standard for plywood or WSP shear walls; 4x and 6x beams DF-L #2; Microllam LVL lumber LVL 1.9E, Fb = 2600 psi, Fv = 285 psi (minimums); Parallam lumber 2.2 WS, Fb = 2900 psi, Fv = 290 psi (minimums); Glu-lam lumber 24F-V4 for simple span beams, 24F-V8 for cantilever beams

All framing connections shall be per Table 2304.10.1 of the IBC, unless otherwise noted.

Preservative-Treated Wood and Fasteners:

All wood in contact with concrete or masonry shall be preservative-treated, in accordance with AWPA U1 and M4 standards.

All fasteners installed in preservative-treated wood shall be hotdipped zinc-coated galvanized with a minimum coating weight complying with ASTM A 153.

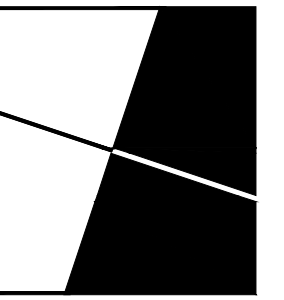
Fasteners other than nails and timber rivets are permitted to be mechanically deposited zinc-coated with coating weights complying with ASTM B 695, Class 55 minimum. Plain carbon steel fasteners in wood preservative-treated with SBX/DOT or zinc borate are not required to be galvanized.

Plywood Thickness, Grade, and Nailing:

Install plywood sheets with face grain perpendicular to framing. Stagger joints in adjacent sheets. If not otherwise noted, use nailing schedule, Table 2304.6.1 of the IBC.



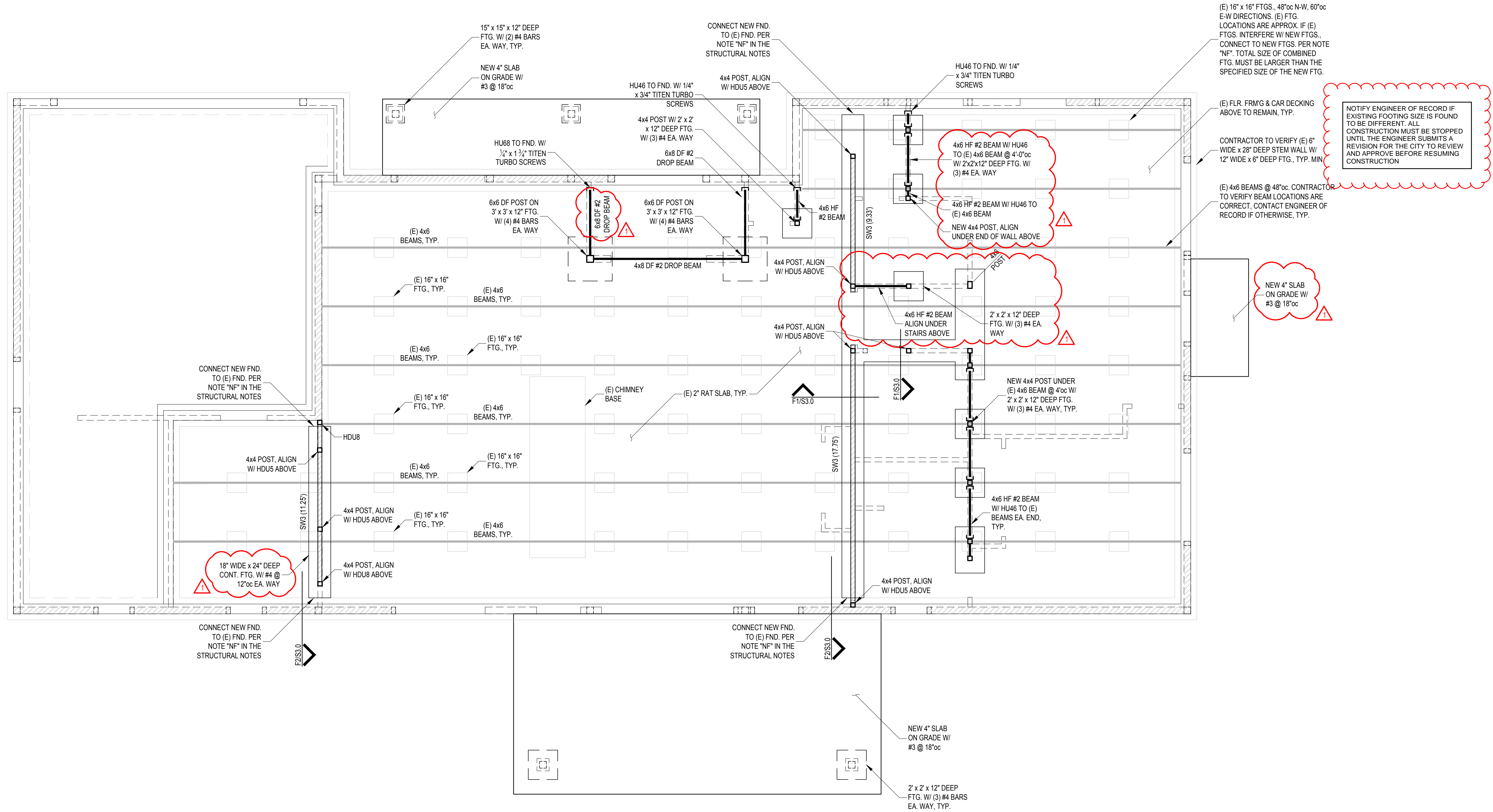
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NOTIFY ENGINEER OF RECORD IF EXISTING FOOTING SIZE IS FOUND TO BE DIFFERENT. ALL CONSTRUCTION MUST BE STOPPED UNTIL THE ENGINEER SUBMITS A REVISION FOR THE CITY TO REVIEW AND APPROVE BEFORE RESUMING CONSTRUCTION

18\"/>

FOUNDATION AND MAIN FLOOR FRAMING PLAN
SCALE: 1/4\"/>

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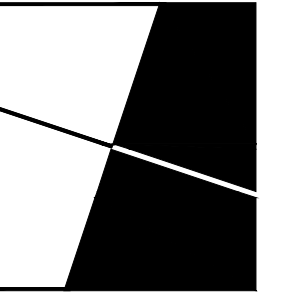
FOUNDATION AND MAIN FLOOR FRAMING PLAN

REVISIONS:	DATE	RESPONSE
△	09-09-22	PERMIT RESPONSE
△	04/25/2022	PERMIT SUBMISSION DATE:
△	3/7/2022	LOT DATE:
△		SHEET NUMBER:

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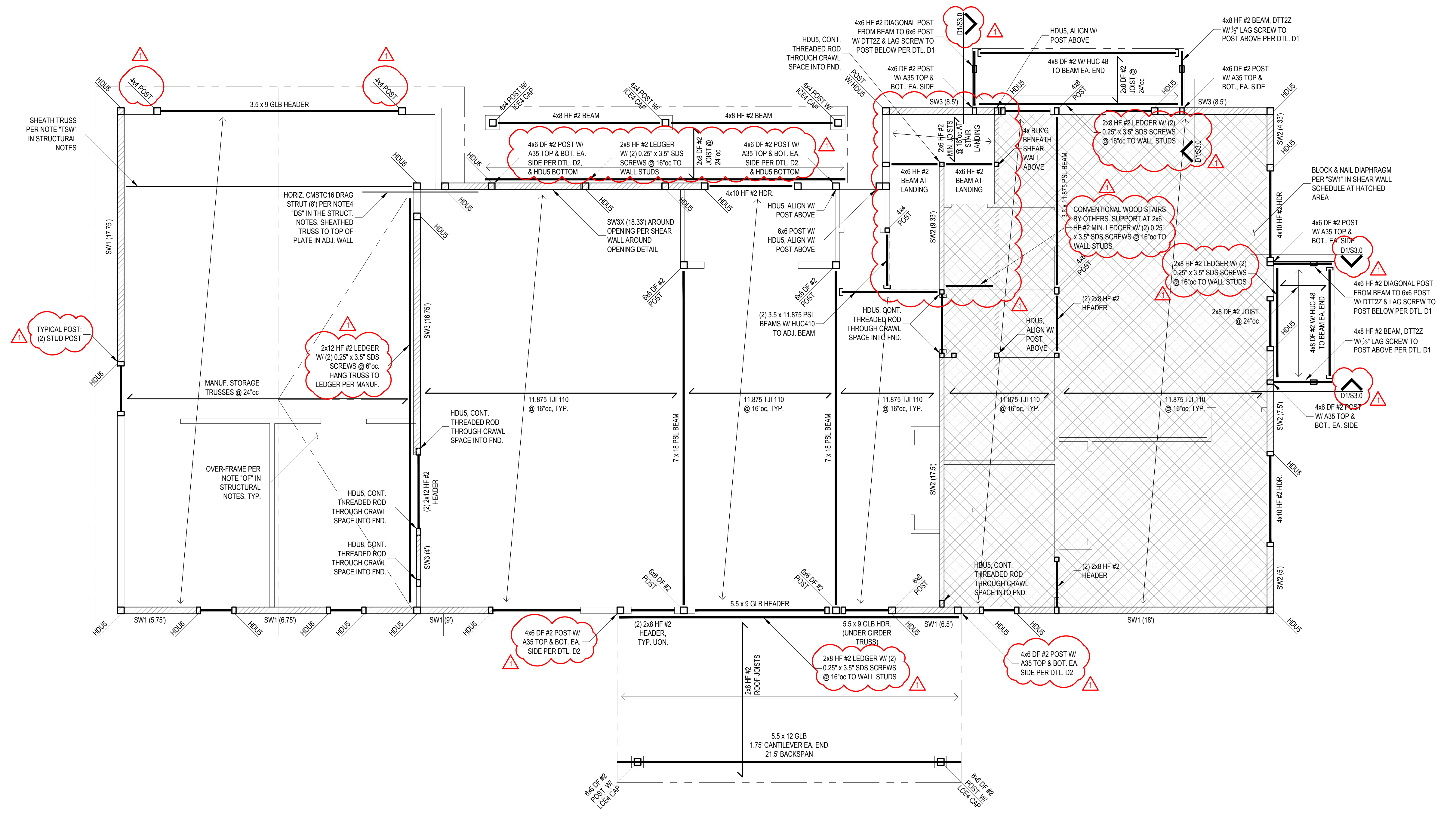
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UPPER FLOOR & LOWER
ROOF FRAMING PLAN



UPPER FLOOR AND LOWER ROOF FRAMING PLAN

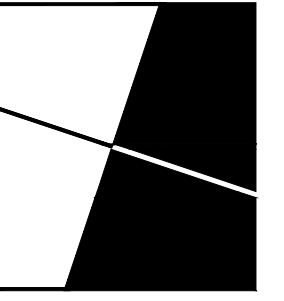
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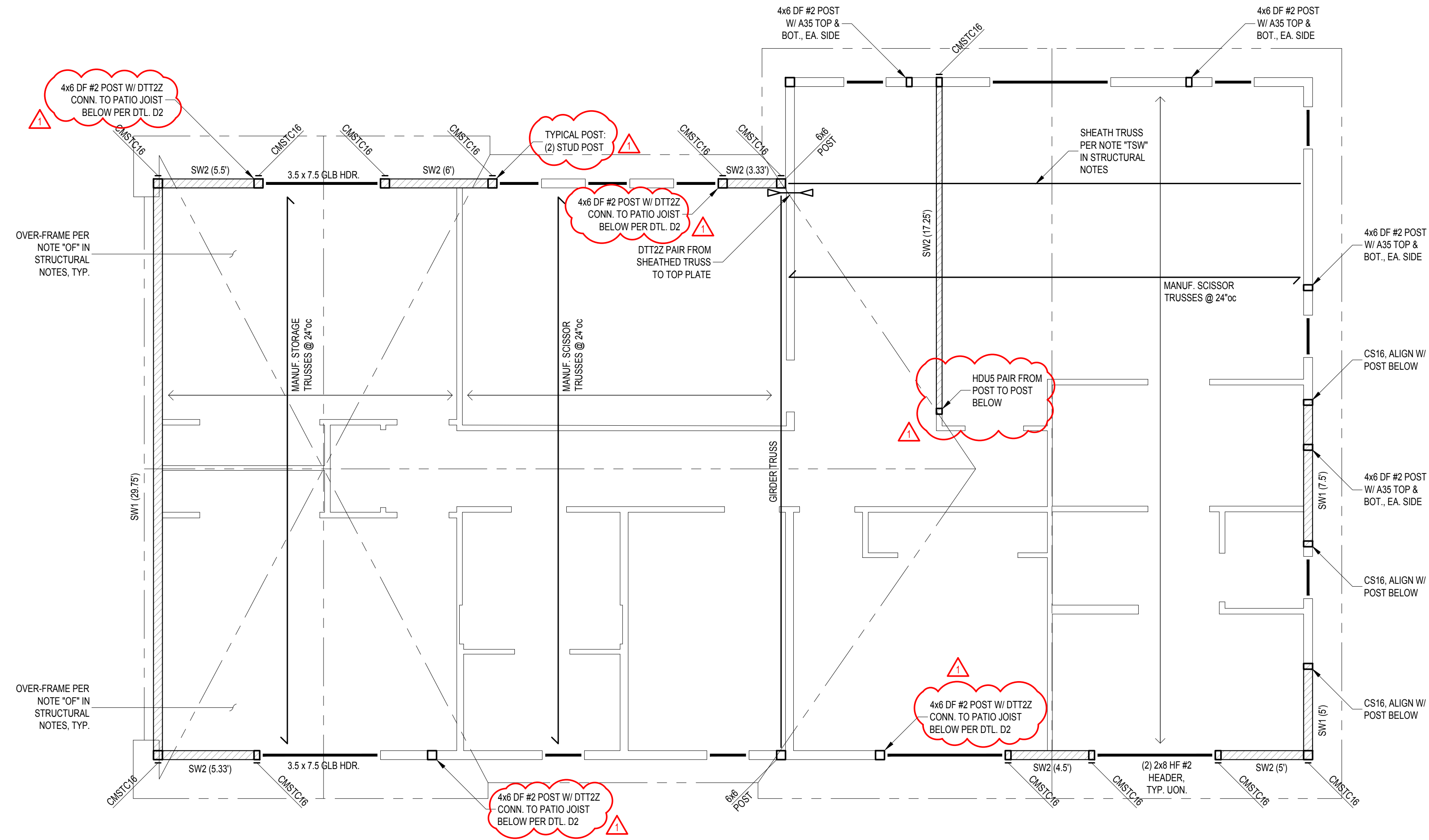
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**UPPER ROOF
FRAMING PLAN**



UPPER ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

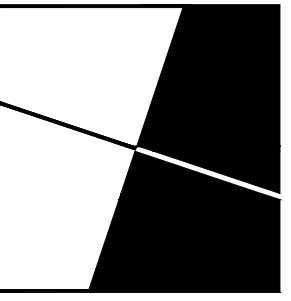
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SHEAR WALL SCHEDULE (Lumber for shear walls is HF#2 or better, unless otherwise noted.)

Type	Material	Edge Nailing	Field Nailing	A.B. Size/Spacing	Plate Nailing	Plates	A35 Spacing	Shear Capacity
SW0	15/32" WSP one side, unblocked	8d @ 6"	8d @ 12"	1/2"Ø @ 72"	(2) 16d @ 12"	2x_	24"	100 plf
SW1	15/32" WSP one side	8d @ 6"	8d @ 12"	1/2"Ø @ 48"	(2) 16d @ 9"	2x_	24"	230 plf
SW2	15/32" WSP one side	8d @ 4"	8d @ 12"	1/2"Ø @ 32"	(2) 16d @ 6"	2x_	16"	350 plf
SW3	15/32" WSP one side	10d @ 3"	10d @ 12"	5/8"Ø @ 24"	(2) 16d @ 4"	3x_	12"	550 plf
SW3X	15/32" WSP one side	10d @ 2"	10d @ 12"	5/8"Ø @ 24"	5/8"Ø x 8" Lag @ 24"	3x_	9"	710 plf

For shear wall callouts on the Structural Framing Plans: SW-x (y) denotes a shear wall type "x" with a minimum length of "y" feet. See Exterior Shear Wall Typical Detail.

For SW3 and greater: studs, plates, and blocking where two WSP panels abut shall have a minimum 3" nominal thickness. Double 2x_ members may be used for studs if the members are connected by plate nailing. Note 10d nails at WSP panel edges.

- "WSP" refers to "Wood Structural Panel", either plywood or other wood materials.
- Provide double stud minimum at both ends of all shear walls.
- At the roof or top level of any shear wall, "A35 spacing", and all other relevant connector specifications, apply to assemblies at both the top and bottom of the shear wall. At lower levels, apply to the bottom of the wall only.
- Provide floor diaphragm edge nailing per diaphragm schedule through floor plywood into blocking, parallel joist framing, or top plates (whichever applies) of all shear walls.
- Where shear wall edge nails are spaced closer than 3" o.c., or spaced 3" o.c. with 10d nails, foundation sill plates and all framing members receiving edge nailing from abutting panels shall not be less than a single 3x_ member.
- Where panels are applied on the same face of a wall and nail spacing is less than 6 inches o.c. on either side, panel joints shall be offset horizontally and vertically to fall on different framing members, or all framing supporting panel edges shall consist of 3 inch nominal or thicker members and the position of nails on each side shall be staggered vertically.
- Provide 4x_ or double 2x_ framing where A35 angles are used on both sides of one piece of wood.
- Where a shear wall terminates above the foundation level (no shear wall below), provide minimum 4x_ blocking or double joist framing (as applicable) below the shear wall. Plate nailing per this schedule shall be nailed into this blocking at the bottom of the shear wall.
- Shear wall nails shall be placed no closer than 3/8" from a panel edge or perpendicular face of stud.
- Maximum spacing between nails shall not exceed 12".
- Shear wall nailing shall be common or galvanized box nails, unless lag screws are noted. Galvanized nails shall be hot dipped or tumbled.

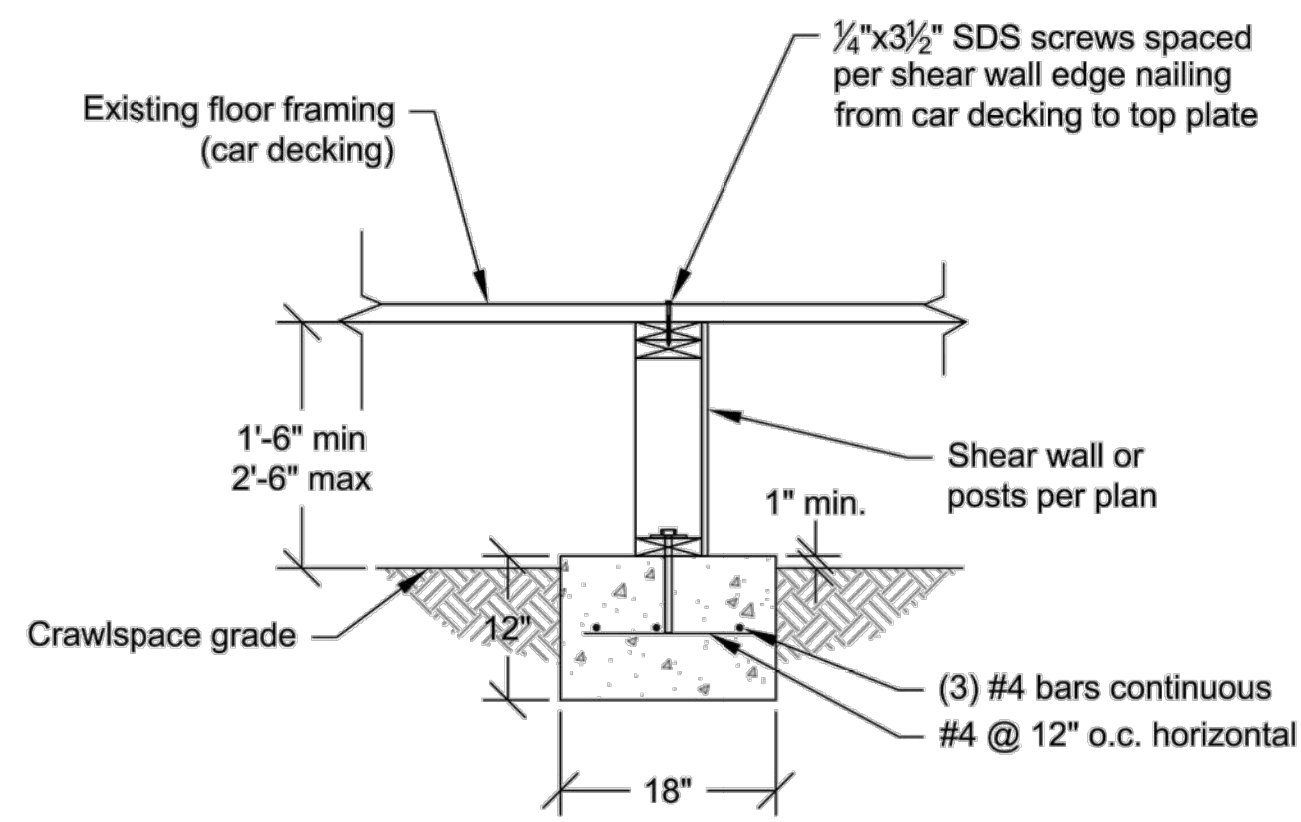
- Where hold downs are specified, the shear wall bolt shall be located within 6 inches of the end of the shear wall, unless otherwise approved by the engineer of record. Minimum end studs shall be as specified in the most recent Simpson catalog.
- Shear wall edge nailing through shear wall sheathing shall be provided into all studs attached to a hold down.
- Retrofit anchor bolts shall have a minimum embedment of 5" into the concrete foundation.
- Cast in place anchor bolts shall have a minimum embedment of 7" into the concrete foundation.
- For SW3 and greater, foundation anchor bolt plate washers shall extend to within 1/2" of the edge of the sheathing.
- Plate nails shall be nailed into a solid wood rim joist.
- 2x_ plates may be substituted for 3x_ plates if panels are nailed with edge nailing directly to the rim joist.
- Where 3x_ plates are used, (2) 20d common nails must be used instead of (2) 16d common nails to connect studs to the bottom plate.
- For SW3 and greater at existing walls, Retrofit High Strength Shear Wall Typical Detail may be used.
- Where Roof ventilation is required over a shear wall, see roof ventilation detail.

Diaphragm Schedule

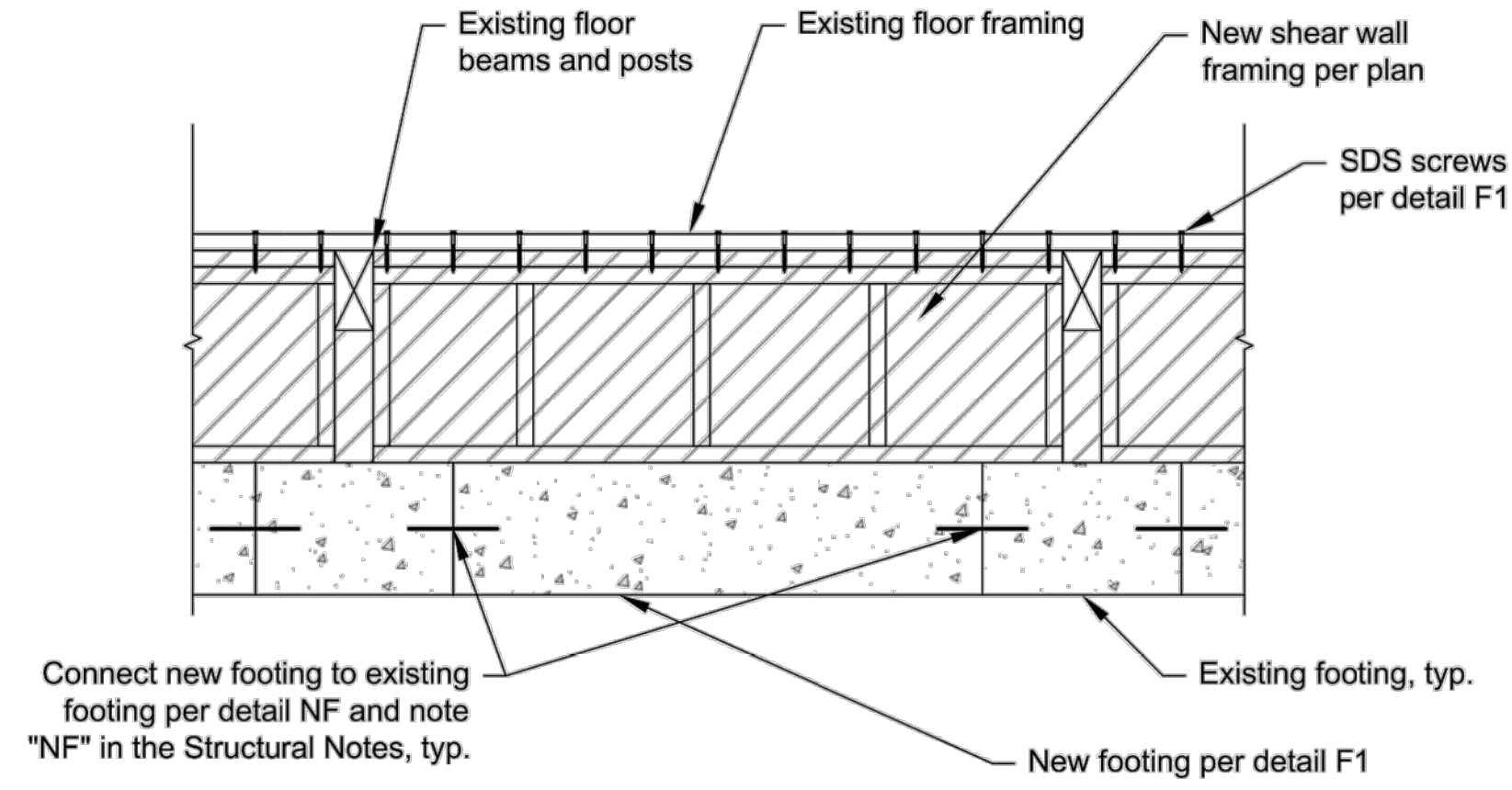
(Lumber for diaphragm construction is HF#2 or better, unless otherwise noted.)

Type	Material	Edge Nailing	Field Nailing	Edge Blocking	Remarks
Roof	15/32" CDX 24/0	8d @ 6" o.c.	8d @ 12" o.c.	no	Minimum Standard
Floor	23/32" CDX 48/24	8d @ 6" o.c.	8d @ 12" o.c.	no	Minimum Standard

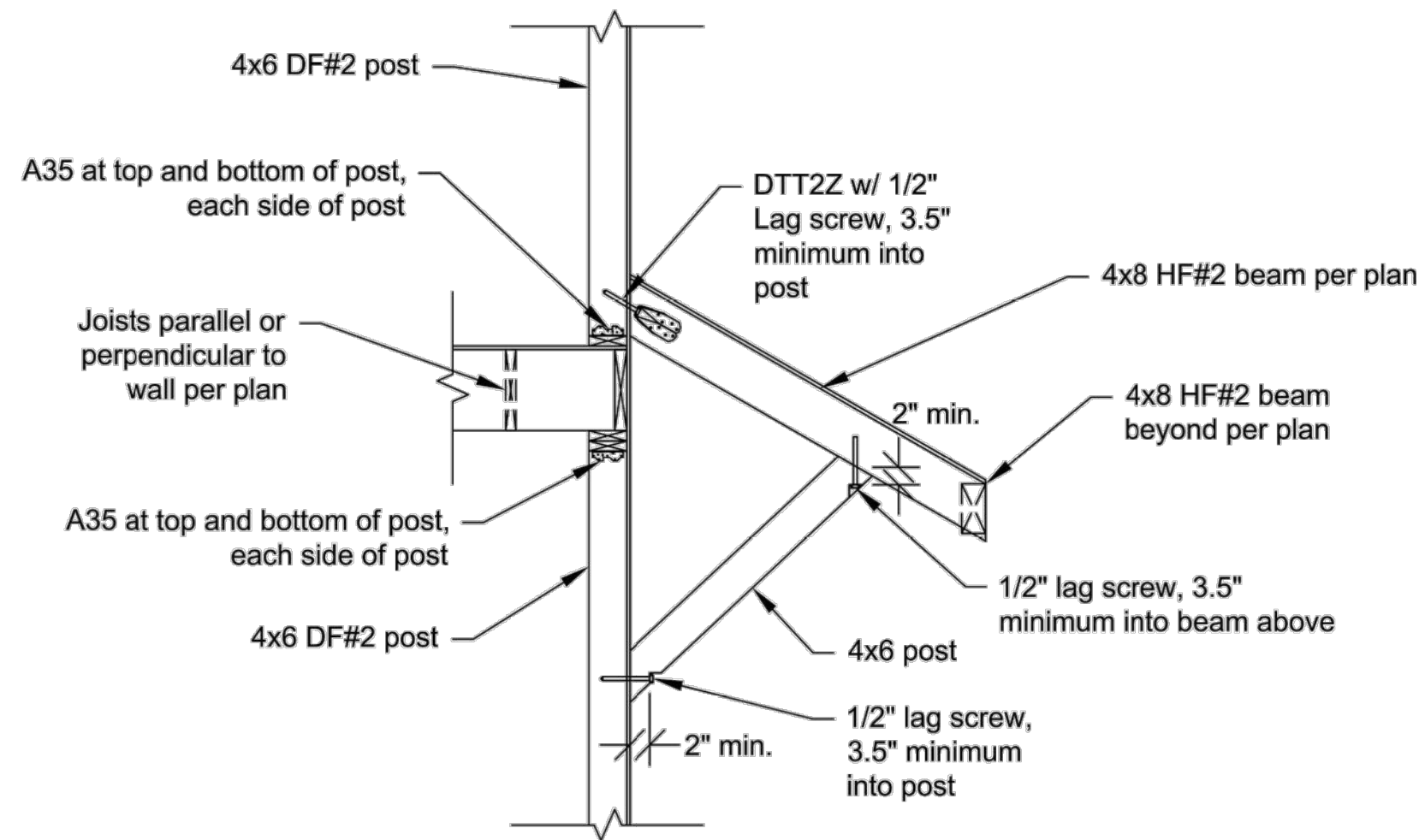
- "WSP" refers to "Wood Structural Panel", either plywood or other wood materials.
- Rim joists at exterior walls shall be continuous for tension. At rim joist splice locations, provide (2) CS16 horizontal straps, minimum 24"
- Where roof or floor framing is cantilevered over an exterior wall below, provide solid blocking with Diaphragm edge nailing between joists.
- This is the minimum required diaphragm construction. Where otherwise noted on the plans, additional blocking or nailing may be required.



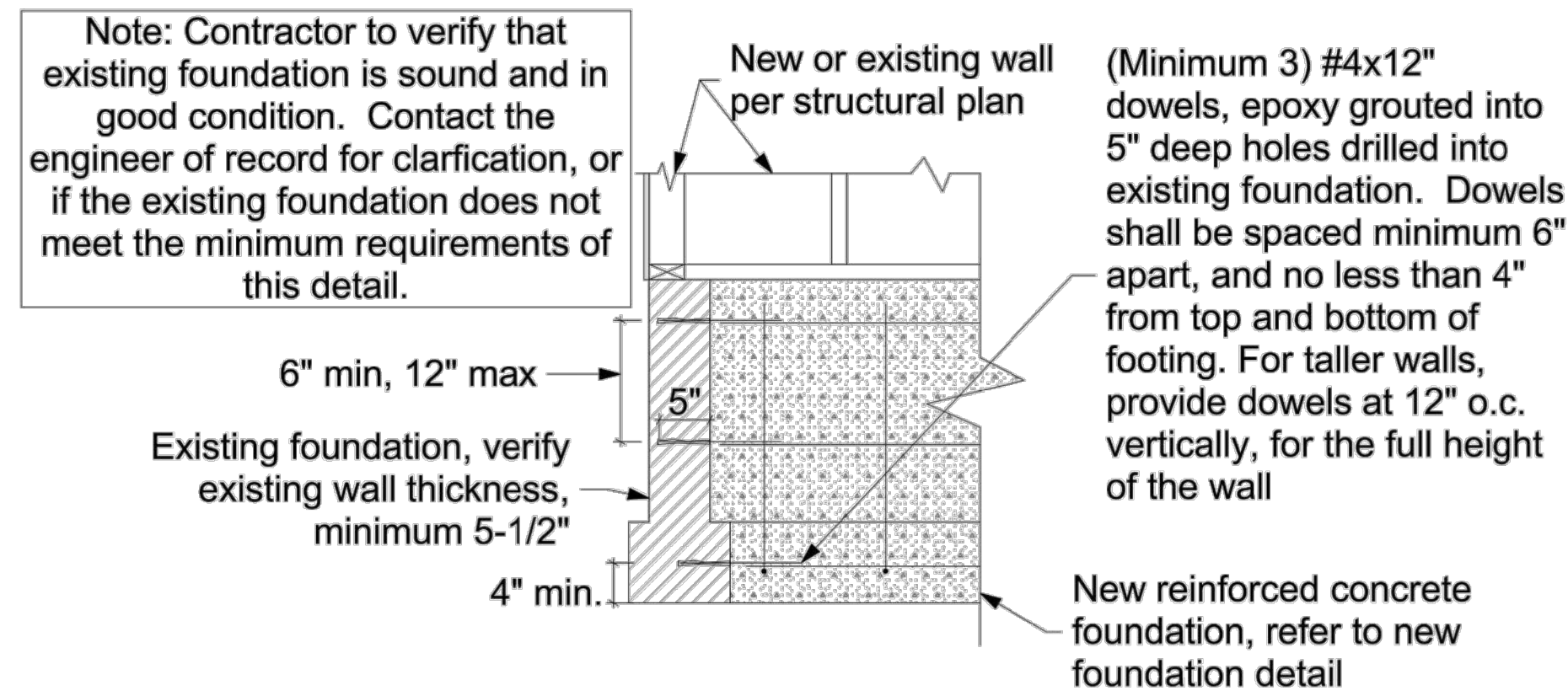
F1 Interior Footing Crawl Space Detail
Scale: 3/4" = 1'-0"



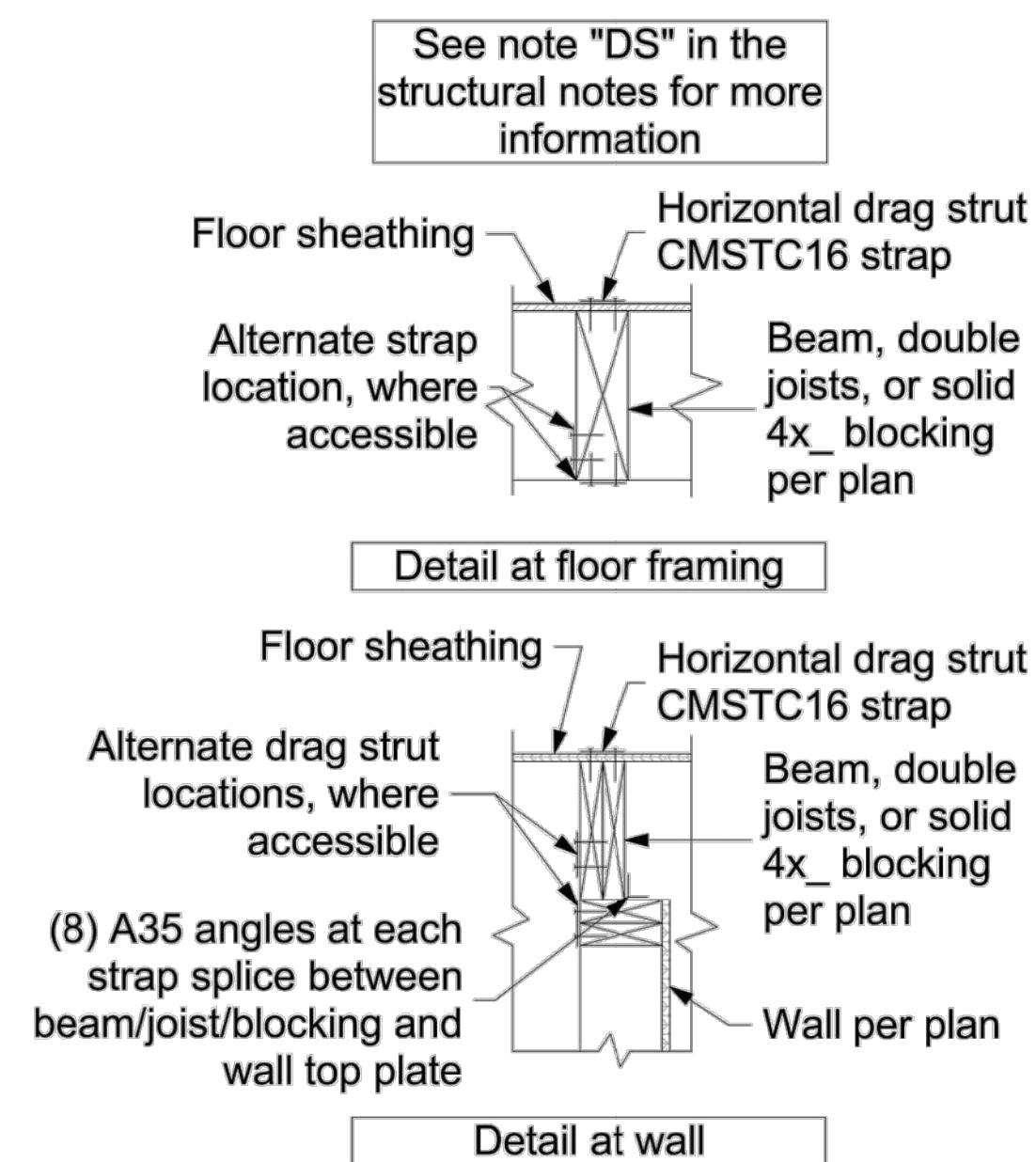
F2 New Grade Beam @ Existing Crawl Space Footing Detail
Scale: 3/4" = 1'-0"



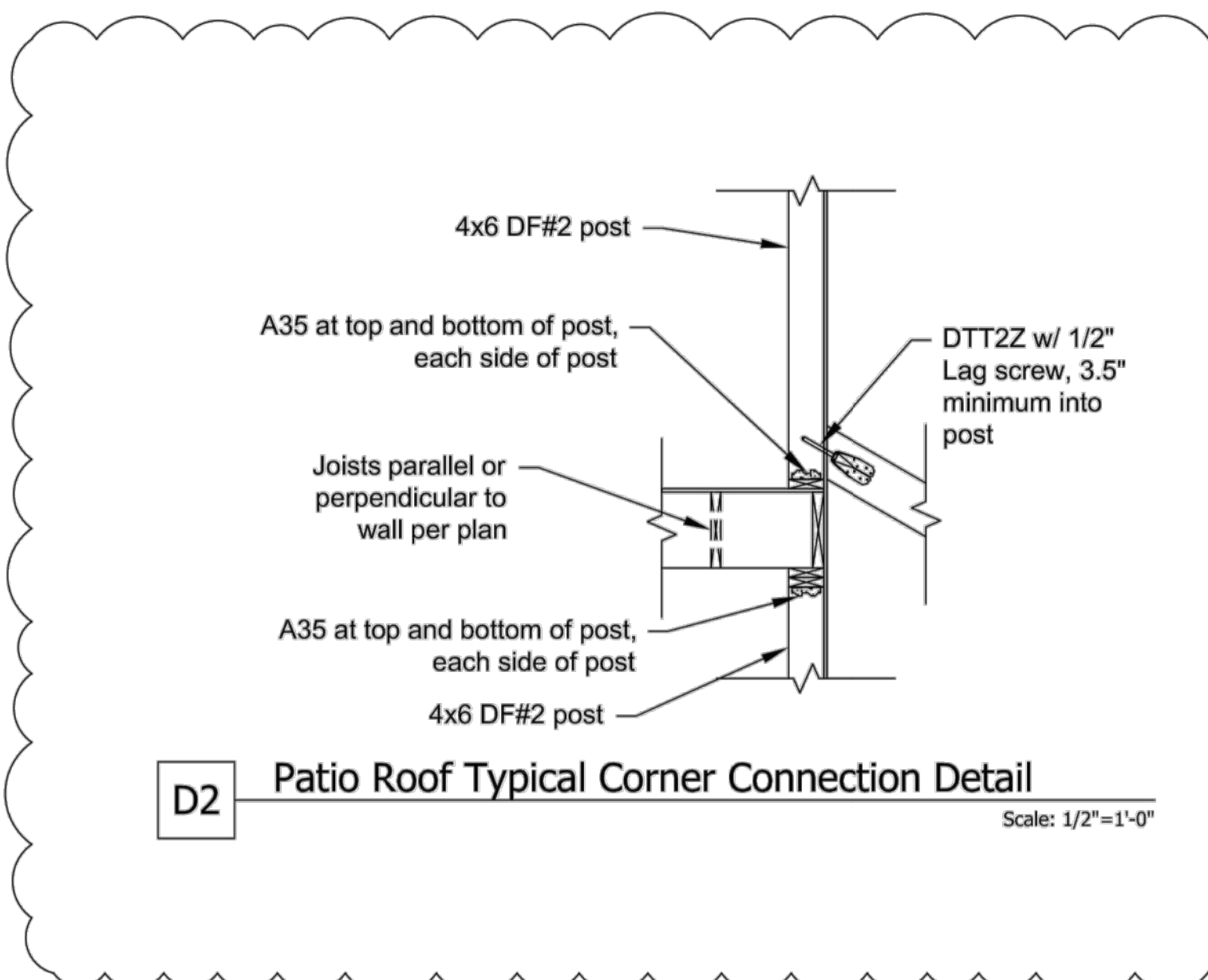
D1 Awning Beam Connection Detail
Scale: 1/2" = 1'-0"



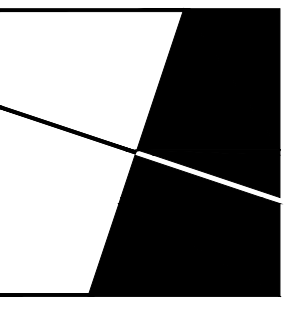
NF New Foundation to Existing Detail
3/4" = 1'-0"



Drag Strut Typical Detail
1" = 1'-0"



D2 Patio Roof Typical Corner Connection Detail
Scale: 1/2" = 1'-0"



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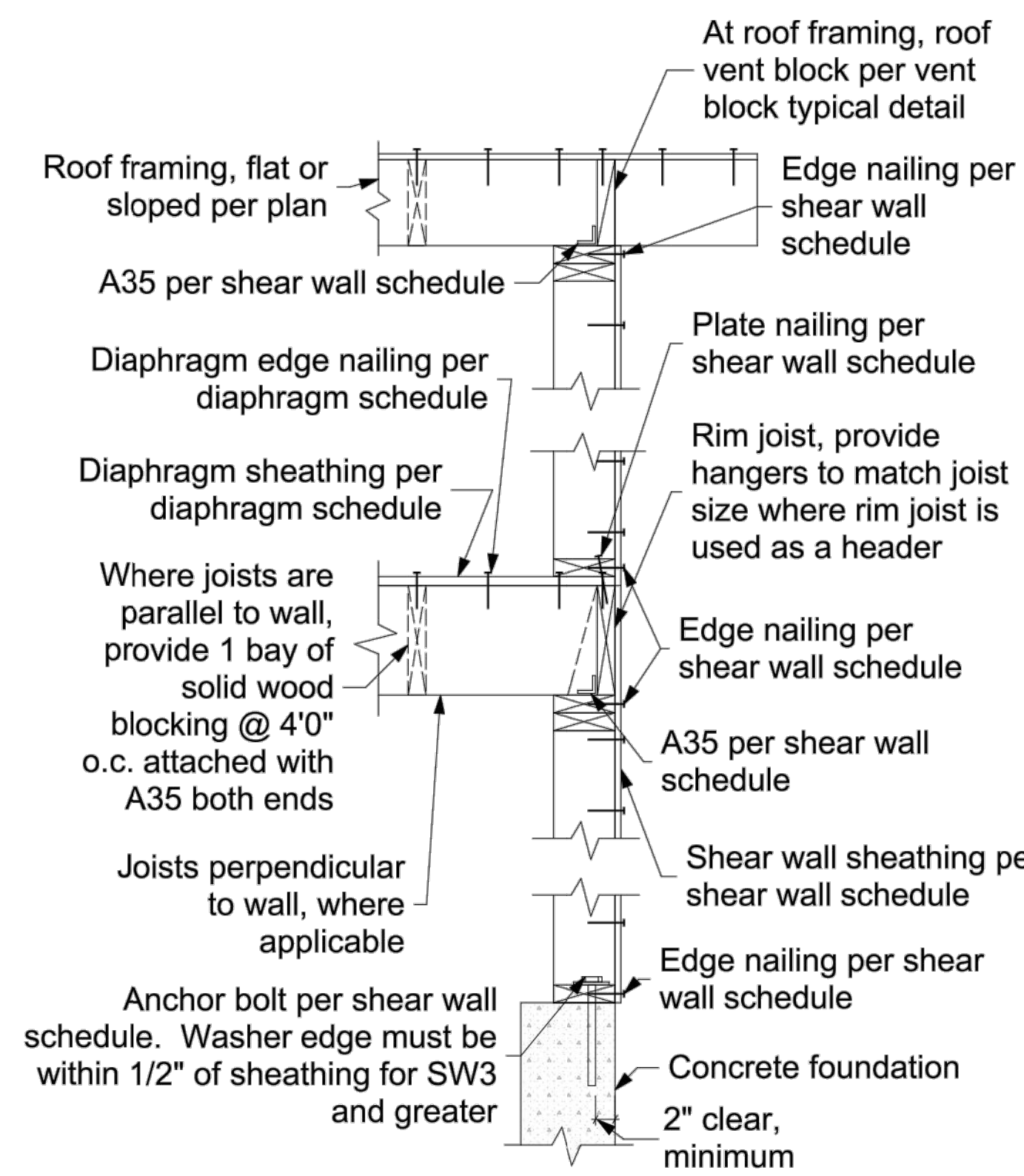
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2	PLOT DATE: 4/20/2022
3	SHEET NUMBER:

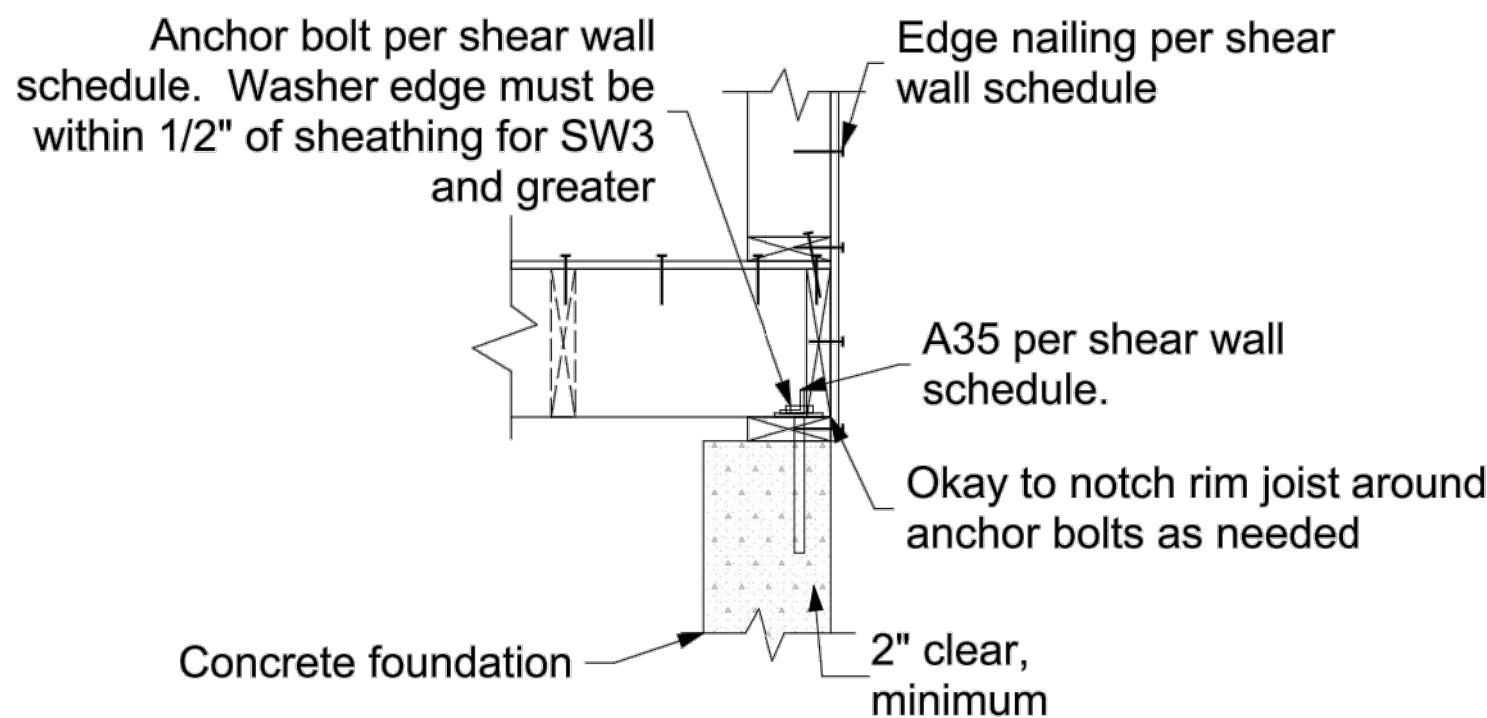
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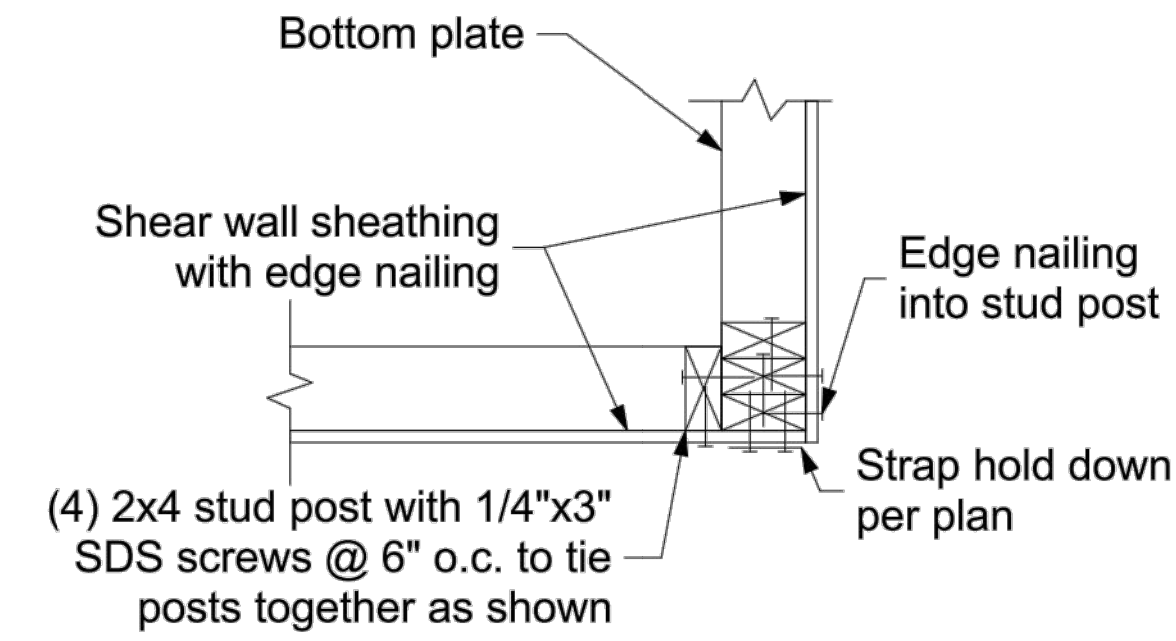


Exterior Shear Wall Framing Typical Detail

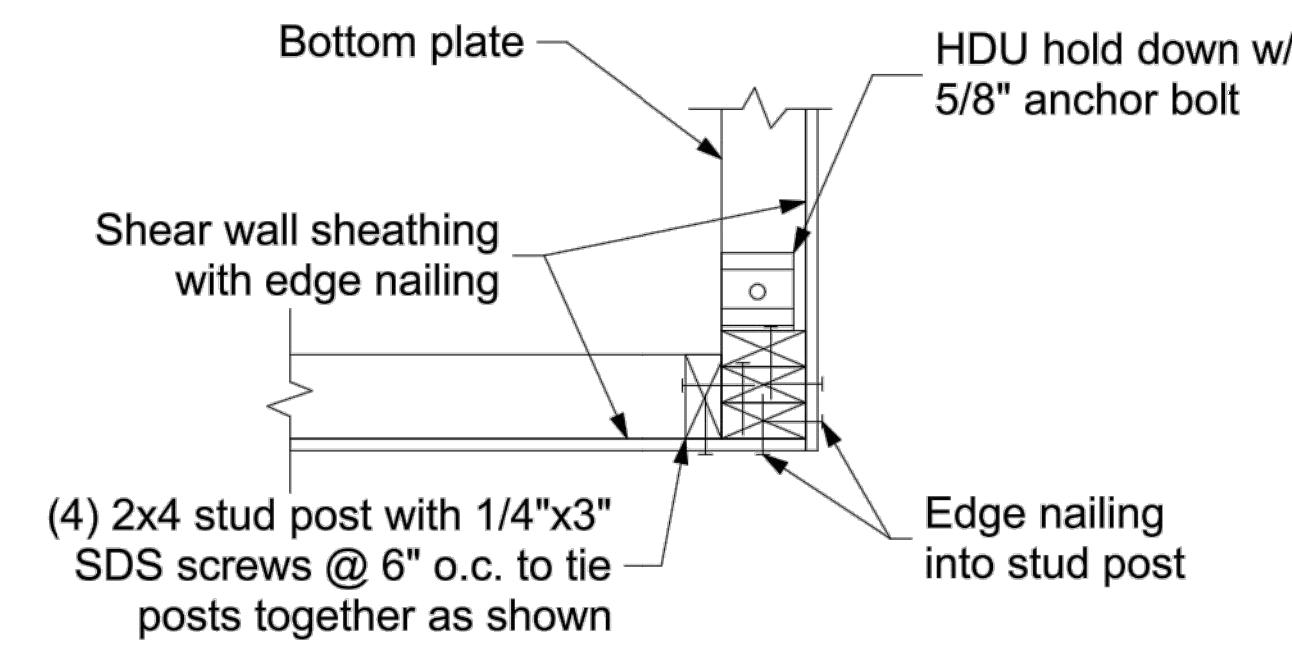
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Alternate Condition



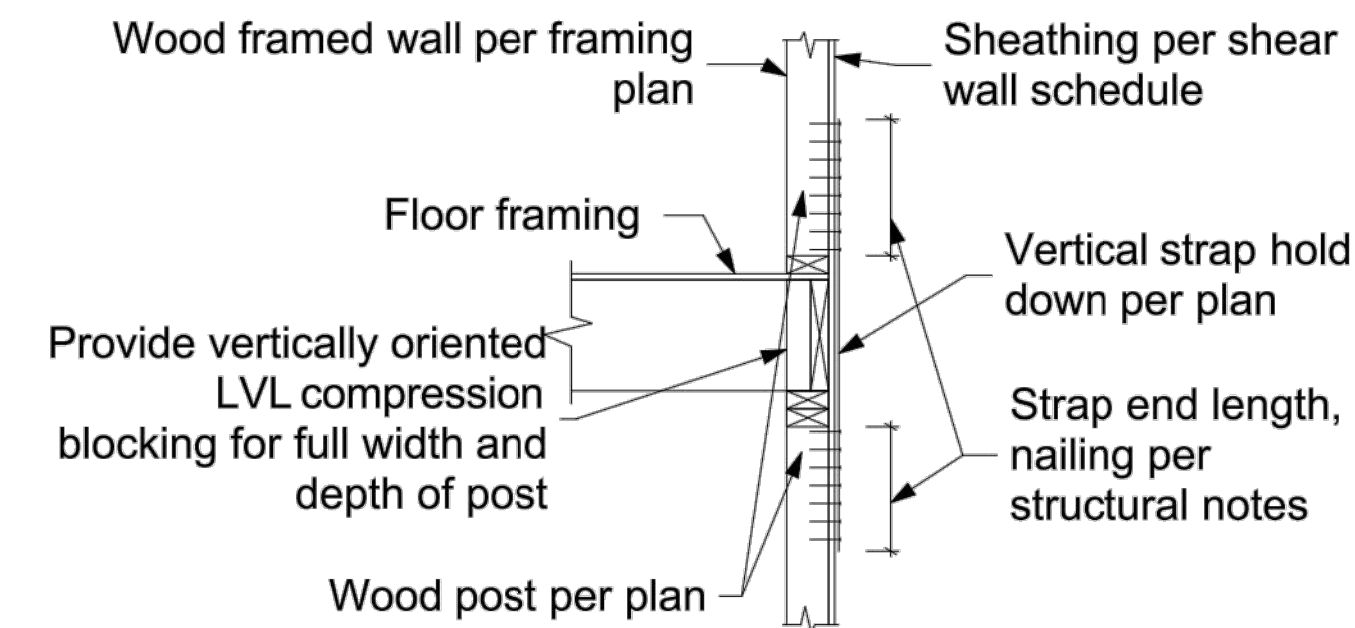
Strap Hold Down Configuration



HDU Configuration

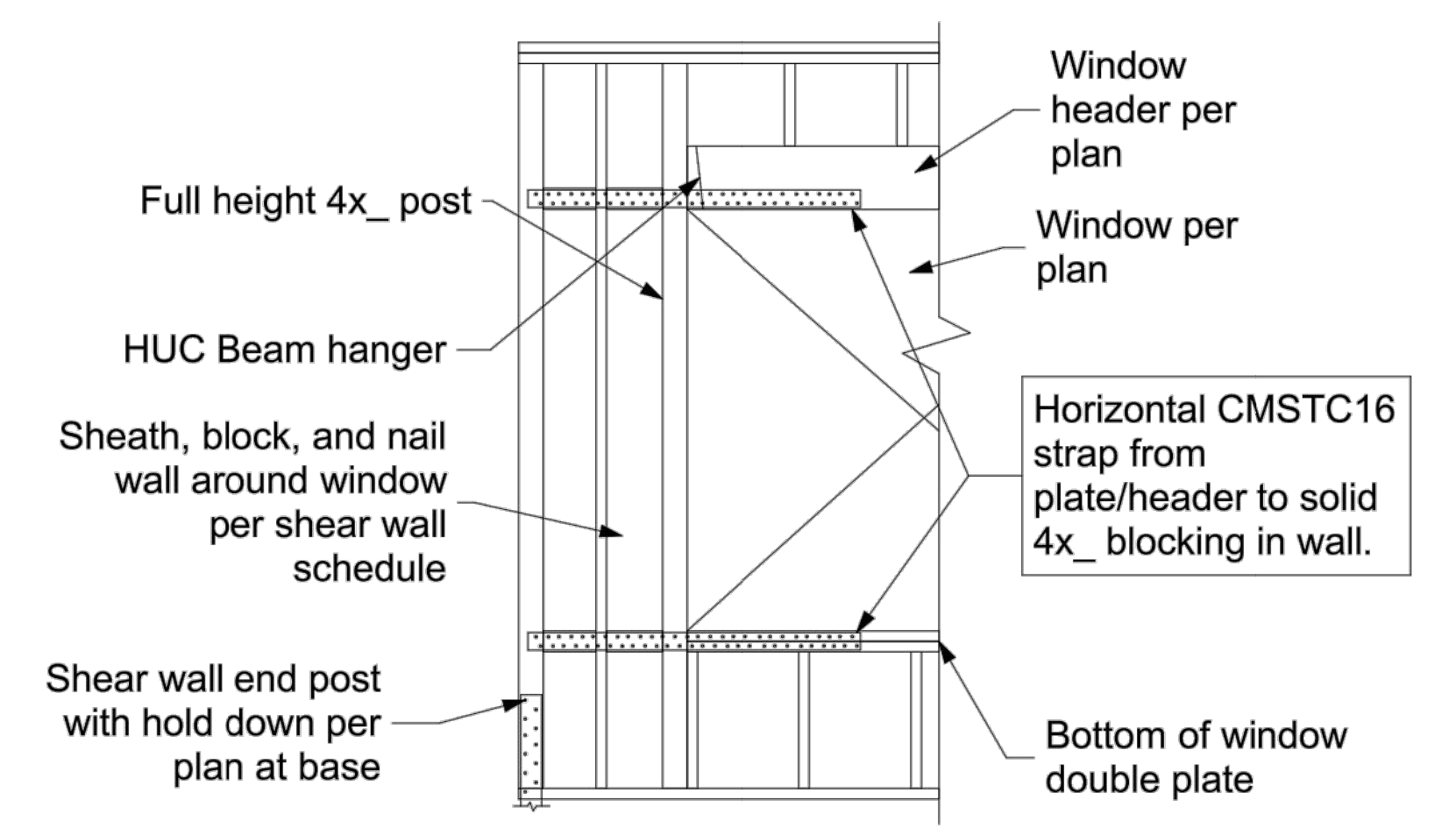
Corner Hold Down Detail

1 1/2" = 1'-0"



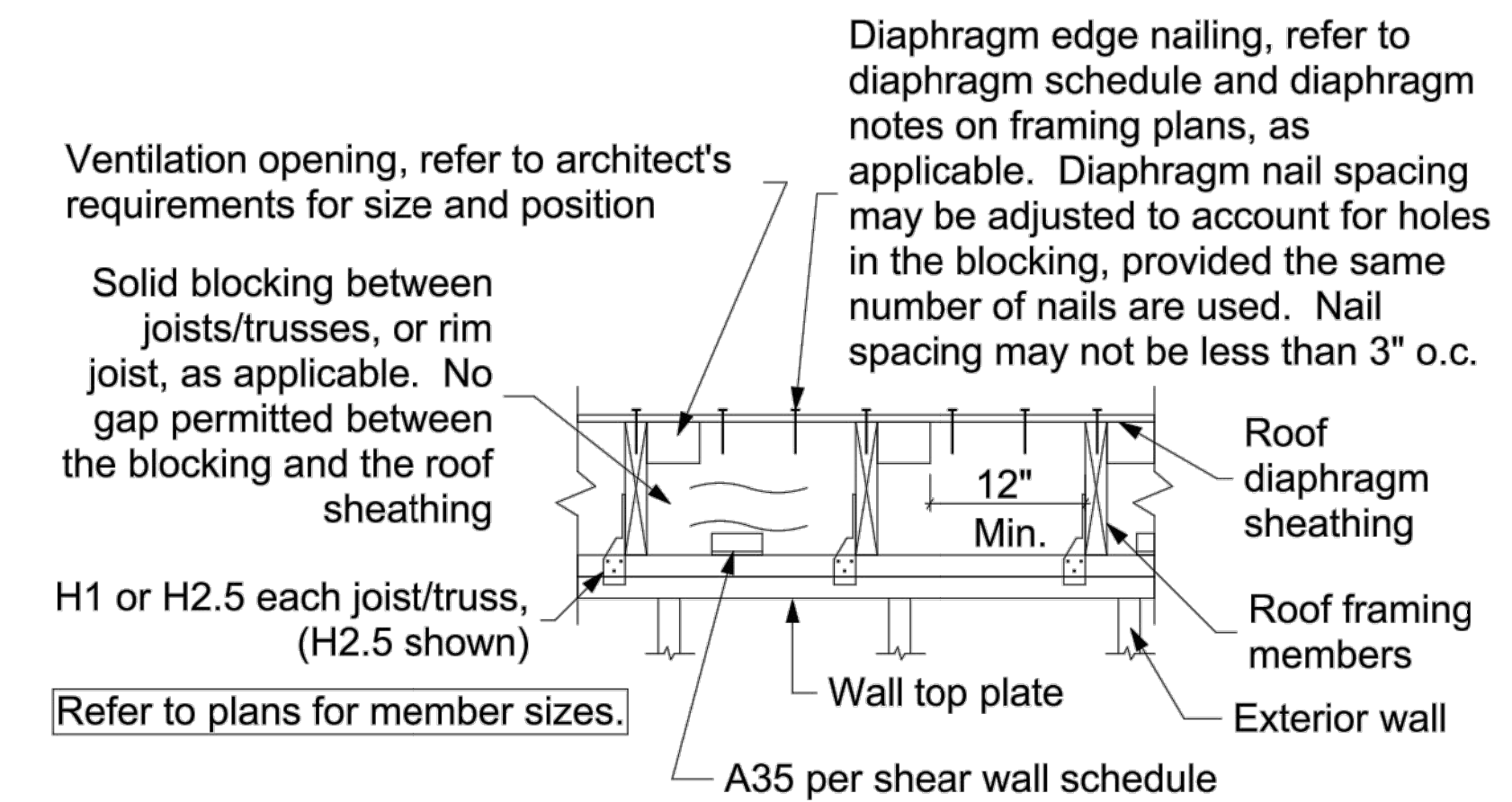
Strap Hold Down Detail

3/4" = 1'-0"



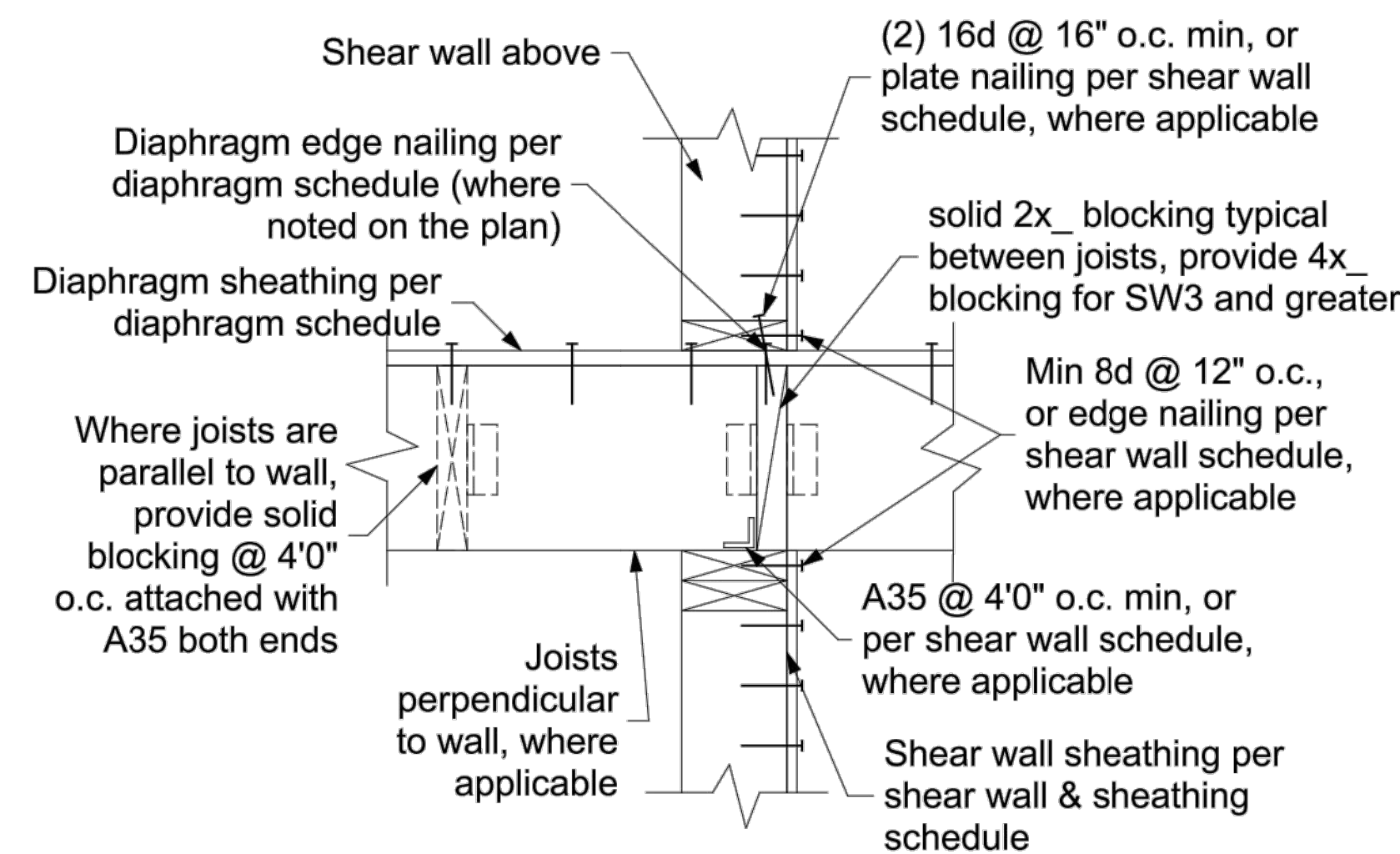
Shear Wall At Opening Detail

1/2" = 1'-0"



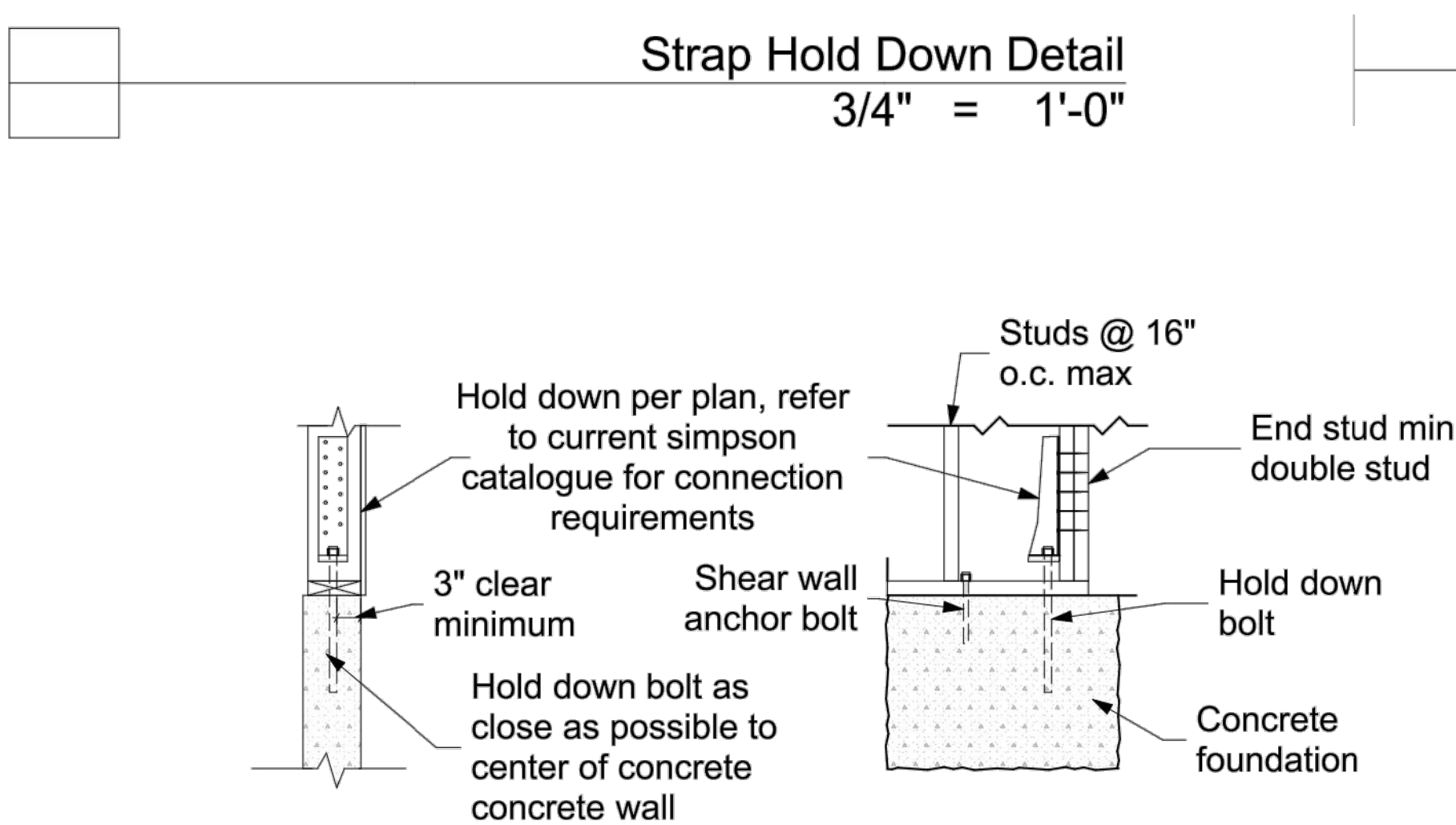
Roof Ventilation Typical Detail

1" = 1'-0"



Interior Shear Wall Standard Detail

1 1/2" = 1'-0"



Retrofit HDU Hold Down Typical Detail

3/4" = 1'-0"

