

Civil Engineering

191 NE Tari Lane
Stevenson, WA 98648
(425) 881-5904

November 17, 2022

City of Mercer Island
Department of Public Works
Kevin Nguyen

**RE: 2205-178-SUB1-PLANS, 6454 East Mercer Way
Civil Plan Revisions per City Comments**

Dear Mr. Nguyen,

This letter accompanies revised civil plans in response to City comments of November 16, 2022. Each correction item is discussed below.

1. Arch. plan proposes a sewer backflow while civil plan calls out an existing one - which is it? Arch. site plan to remove side sewer info. A sewer backflow prevention valve is required if one does not exist.

According to the City sewer card (attached) there is an existing backflow preventer at the location shown on the plan. A note has been added to replace the preventer if directed by the City inspector. The preventer has been removed from the architectural plan.

2. This needs to be connected with a CB and located outside the tree drip line.

A CB has been added outside the dripline.

3. Storm video and aerial photo markup that was provided with storm videos indicates (2) roof drains in this area daylighting in the garden. Tightline these drains to the conveyance system.

The existing downspouts will become redundant when the existing roof is replaced in this area. However, we have added a call-out to connect any existing downspouts to the new storm drain.

4. Storm video ends approximately in this area - engineer must verify that the existing condition of the pipe from the point of connection to the drainage structure is feasible.

The video upstream of the sediment shows the pipe to be in adequate condition and it is reasonable to assume that it is also in adequate downstream to the drainage structure. To our knowledge the pipe system has been performing with no observed backup or flooding.

5. Aerial photo markup that was provided with storm video indicates that the existing pipe is 60% filled with sediment. Engineer to evaluate if mitigation is required and show on plan.

A call-out has been added that directs sediment to be removed from the pipe.

6. RPBA locations between arch. and civil do not match - arch. site plan to remove this info. The RPBA must be located on the 6454 E Mercer Way lot and within 50' of the western property line.

The RPBA has been removed from the architectural plan. The RPBA has been relocated to onsite within 50 feet of the west property line.

7. Please show easement recording number, pavement edge, and tree drip lines. Pavement edge and easement line types are currently the same, please differentiate. Does this ingress and egress easement allow utilities? Legal description on survey drawing only mentions ingress and egress. Provide the recorded easement documentation with highlighted language indicating rights to install utilities. The City will determine the new meter location once the above information is shown on the civil plans.

The surveyor has been unable to locate the recording number of the ingress/egress easement or a document for the utility easement. Pavement edge and tree driplines are shown on the plan and called out. Line types have been revised.

See Additional Note 8 concerning meter location.

Please call me if you have any questions.

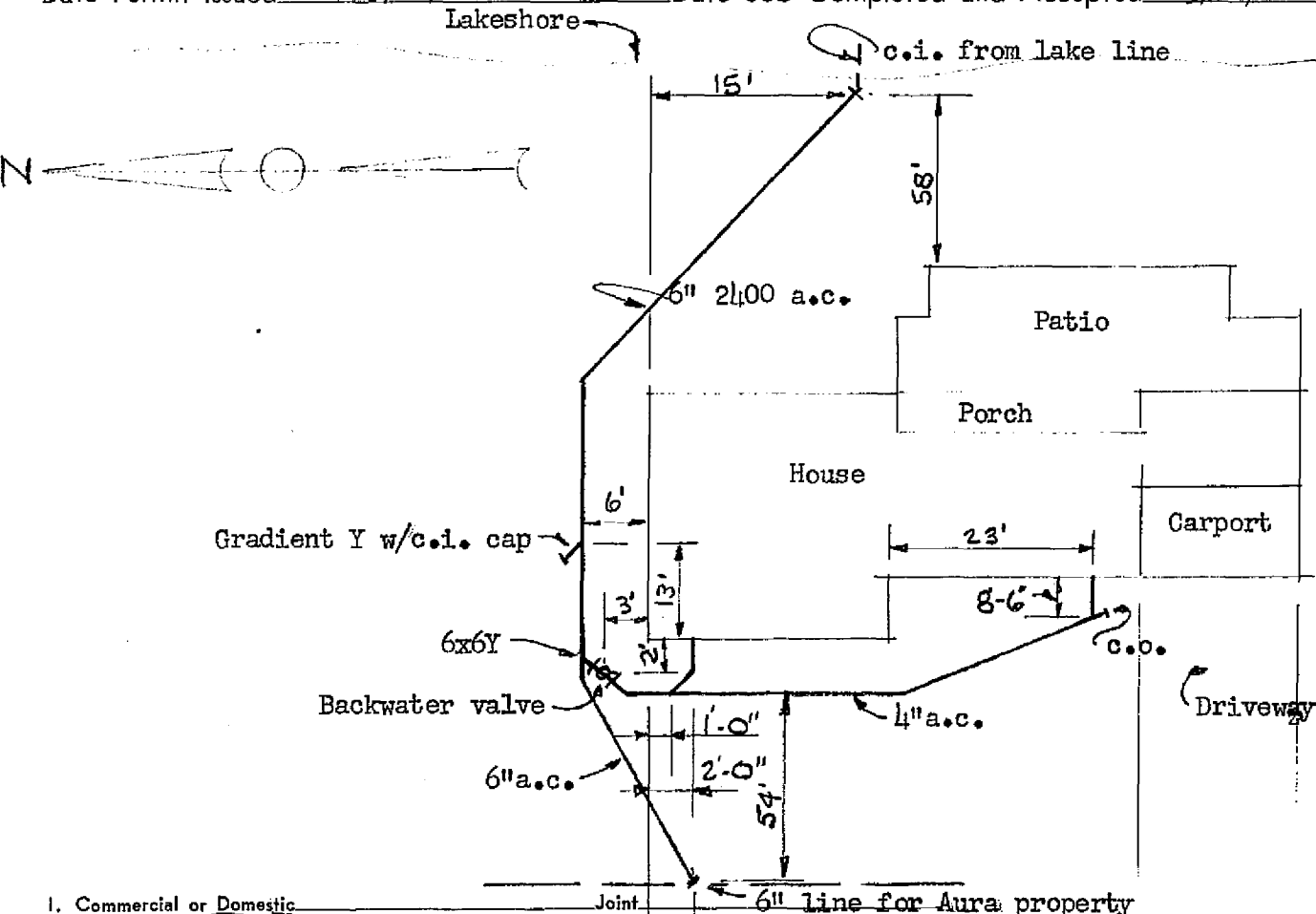
Very Truly Yours,

NICK BOSSOFF ENGINEERING



Nick Bossoff, P.E.
Civil Engineer

Owner West, R. T. Address 6151 East Mercer Way Contractor Geo. Paffile
 Date Permit Issued 3/16/66 Date Job Completed and Accepted 3/22/66 By Olson



1. Commercial or Domestic
2. Dist. from property line to sewer main 3'
3. Dist. from house bldg. line to property line _____
4. Min. grade from main to property line _____ From property line _____
5. Dist. of M. H. No. _____ to Wye _____
6. Depth of sewer main to wye _____
7. Basement _____ Basement connection _____
8. Depth of pipe at house connection _____
9. Type of pipe A.C. Size of pipe 4" & 6"
10. Remarks _____

COMMERCIAL ONLY

1. Name _____
2. Type _____
3. Frontage _____
4. No. of Floors _____
5. Remarks _____