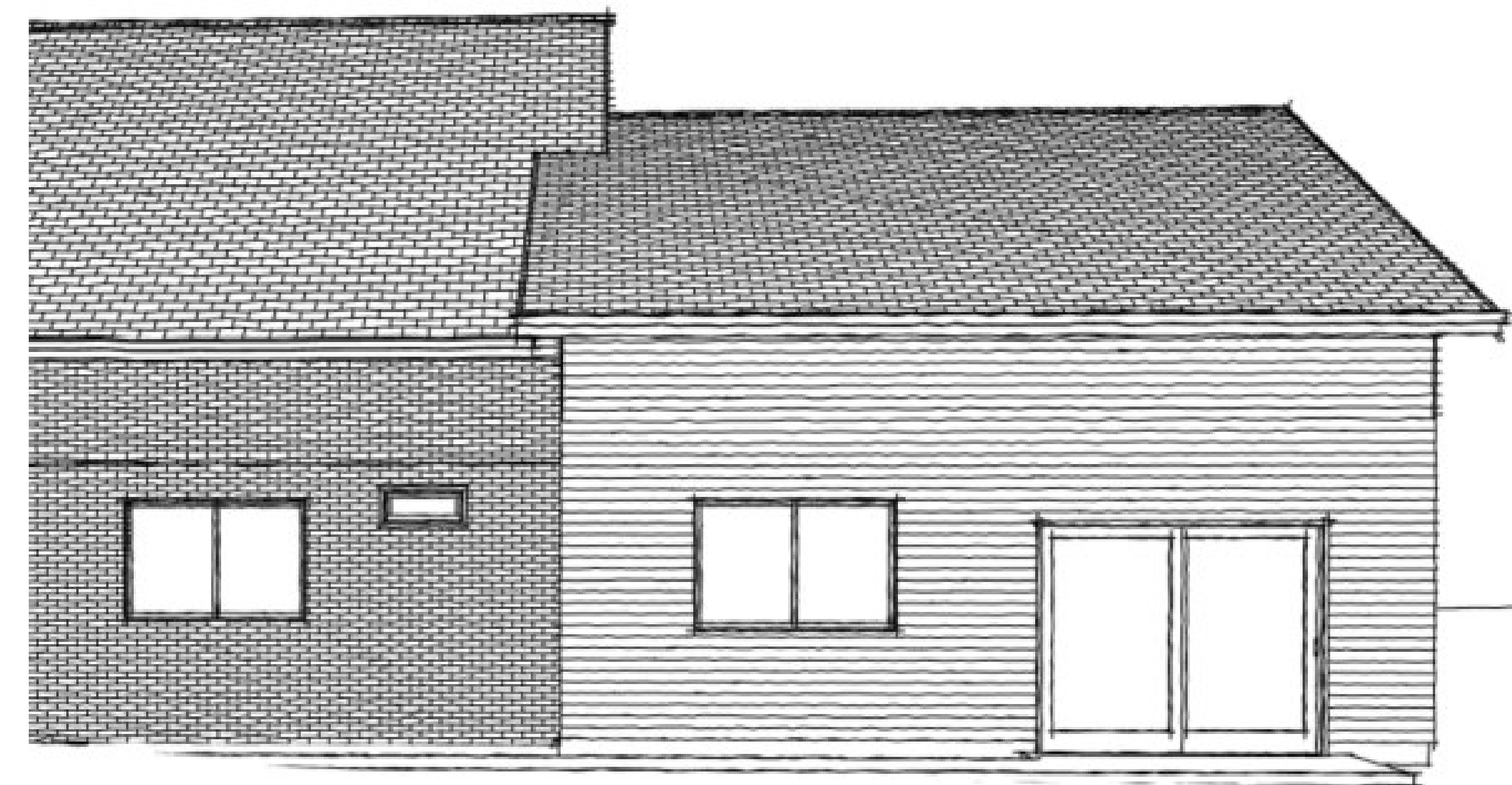
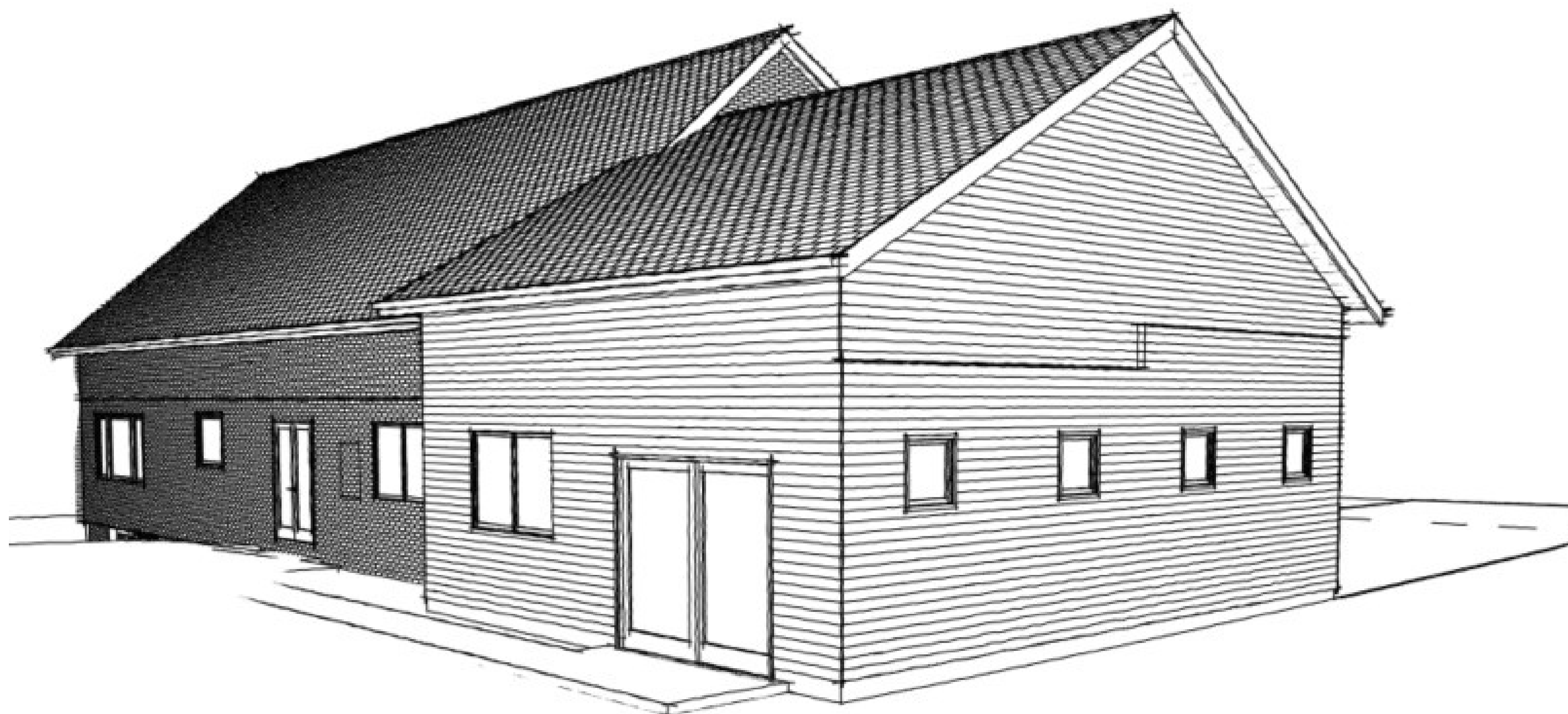


MALONE REMODELING PROJECT
 New Garage Build, Remodel Bonus Room, Bath,
 Laundry, Pantry, Fireplace & Basement

SHEET INDEX

1	COVER SHEET
2	C-1 SMALL SITE CSWPP PLAN
3	C-2 FLOW CONTROL BMP PLAN
4	C-3 SITE & APPROACH & DRAINAGE PLAN
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7	A-2 PROPOSED FLOOR PLANS & FENESTRATION SCHEDULES
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10	A-5 EXTERIOR ELEVATION 3 & SECTION 1
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12	S1.0 STRUCTURAL SHEETS
13	S2.1 STRUCTURAL SHEETS
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15	S4.1 STRUCTURAL SHEETS
16	I-1 PROPOSED ELECTRICAL PLANS
17	I-2 BASEMENT NKBA PLAN & INTERIOR ELEVATION
18	I-3 BATH NKBA PLAN & INTERIOR ELEVATIONS
19	I-4 LAUNDRY NKBA PLAN & INTERIOR ELEVATIONS
20	I-5 MUDROOM NKBA PLAN & INTERIOR ELEVATIONS
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THESE PLANS ARE DESIGNED TO MEET THE 2019 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE w/2019 WASHINGTON AMENDMENTS (51-51 WAC) AND THE 2019 INTERNATIONAL BUILDING CODE w/ 2019 WASHINGTON AMENDMENTS (51-50 WAC) AND ANY OTHER CODES, AMENDMENTS, AND SUPPLEMENTS CURRENTLY IN EFFECT.

NOTE: THIS DRAWING IS BASED ON CURRENT KNOWN SITE CONDITIONS AND IS INTENDED TO BE USED AS A PROPOSED LAYOUT ONLY. ACTUAL SITE CONDITIONS AT THE TIME OF INSTALLATION MAY VARY AND MAY ALTER FINAL DIMENSIONS AND LAYOUT. DO NOT SCALE DRAWINGS FOR DIMENSIONS. ALL DIMENSIONS CITED ON DRAWINGS ARE TO BE USED IN THE FIELD. MISSING AND/OR INCORRECT DIMENSIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR PROJECT MANAGER.

Neil Kelly
 Design/Build Remodeling
 5859 Conner Ave SE
 Bellevue, WA 98006
 206.343.2822
 OR CCB# 001663 / WA L&E NEILKCI 18702

DRAWN: _____
 REVISION: _____
 REVISION: _____
 REVISION: _____
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HOMEOWNER APPROVAL
 SEE DECLARATION ON PAGE 01

INITIAL	DATE
INITIAL	DATE

Remodeling Project for:
Nicholaus Malone
 4214 86th Ave SE
 Mercer Island, WA 98040
 Design Consultant: Jamie Ormugeresky
 Project Manager: Tony Lopez

COVER SHEET

6/8/2022

APPLICATION: NICHOLAS MALONE
4214 86TH AVE SE
MERCER ISLAND, WA 98040

PARCEL NUMBER: 36225-00010
LEGAL DESCRIPTION: ISLAND CREST ADD
FLAT BLOCK: 1
FLAT LOT: 2
SECTION/TOWNSHIP: NW-18-24-5

LOT COVERAGE CALCULATIONS

LOT AREA (SF): 14,280 SF
EXISTING STRUCTURE ROOF AREA: 1,320 SF
EXISTING DRIVEWAY: 2,507 SF
NEW GARAGE ROOF AREA: 819 SF
TOTAL: 4,646 SF
PERCENTAGE: 32.54%

CITY OF MERCER ISLAND R-9.6 REQUIREMENT:
THIS PROPERTY LOT SLOPE LESS THAN 15%, WHICH IS 40% MAX LOT

IMPERVIOUS CALCULATIONS - PROPOSED

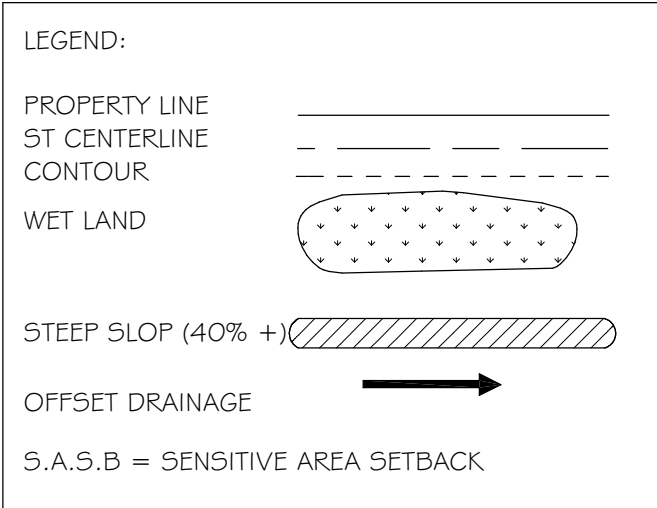
LOT AREA (SF): 14,280 SF
MAIN STRUCTURE ROOF AREA: 1,320 SF
NEW GARAGE: 735 SF
EXISTING PATIO, WALKWAY AREA: 436 SF
EXISTING DRIVEWAY: 2,507 SF

TOTAL: 4,998 SF

PERCENTAGE: 35%

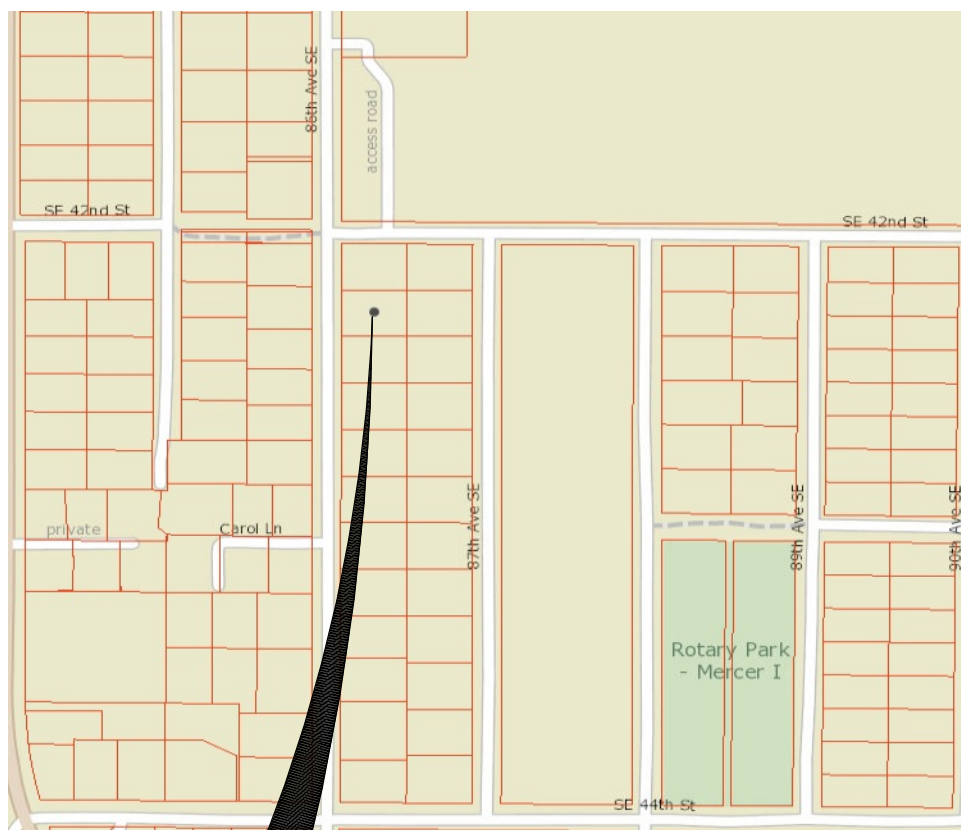
CITY OF MERCER ISLAND R-9.6 REQUIREMENT:
THE PROPERTY LOT SLOPE LESS THAN 15%, WHICH IS 35% MAX LOT COVERAGE

MIN BLDG. SETBACK FROM STREET: 20 FT
MIN GARAGE SETBACK FROM STREET: 20 FT
MIN SIDE YARD SETBACK 10 FT AND 5 FT
MIN REAR YARD SETBACK 25 FT

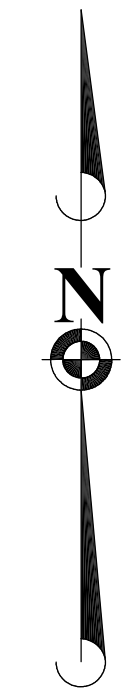
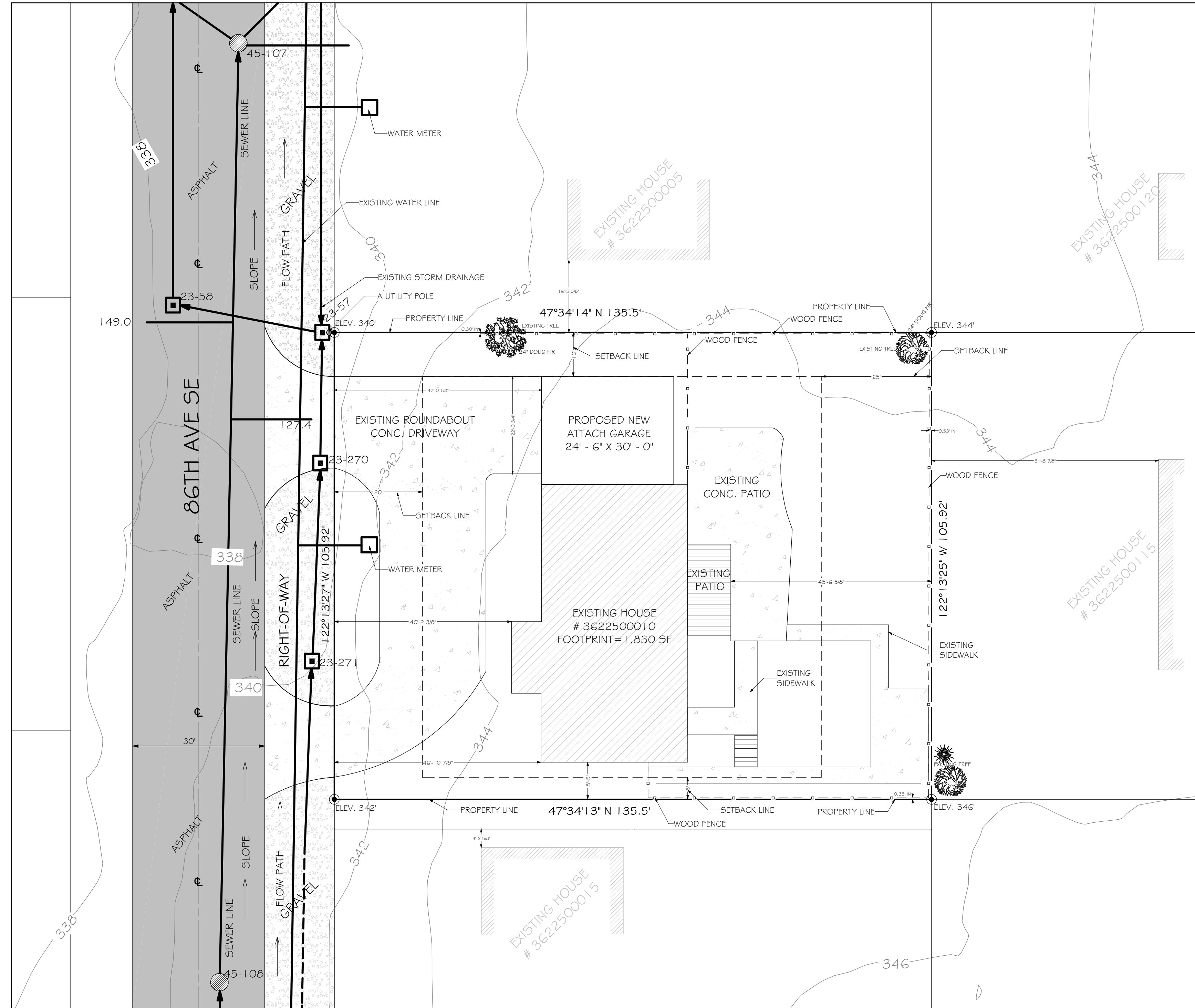


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SITE VICINITY MAP



GENERAL NOTES:

- 1 THIS IS A TOPOGRAPHIC SURVEY ONLY. BASE ON TABLE INFORMATION FROM CITY OF MERCER ISLAND COMMUNITY PLANNING & DEVELOPMENT VM-206.275.7730. FOR THIS LOT THE TOPOGRAPHIC SURVEY LIMITED TO INFORMATION NECESSARY TO DETERMINE LOT SLOPE TYPICALLY REQUIRED UNLESS PROJECT MEETS THE LOWER COVERAGE LIMIT. THE SLOPE OF THE LOT WITHIN 2% OF THE THRESHOLD FOR DETERMINING LOT COVERAGE IS LESS THAN 15% NO MORE THAN 40% OF ALLOWED LOT COVERAGE.
- 2 THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE DATE BELOW AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- 3 UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATION, AND UTILITIES LOCATED BY CITY OF MERCER ISLAND GIS PORTAL, WHICH ARE INDICATED AVAILABLE UTILITIES UNDERGROUND FOR THIS PROPERTY. ACTUAL LOCATION OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- 4 ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.
- 5 CONTOURS SHOWN ARE BASED ON A FIELD SURVEY.
- 6 TREE IDENTIFICATION WAS PERFORMED BY SURVEY FIELD PERSONNEL AND SHOULD BE CONSIDERED A BEST GUESS. AN ARBORIST SHOULD BE RELIED UPON FOR MORE ACCURATE AND DETAILED IDENTIFICATION OF TREE SPECIES AND HEALTH.

ELEVATION SHOWN ON THIS DRAWING ARE BASE ON THE NORTH AMERICAN VERTICAL DATUM, AND WERE ESTABLISHED USING GPS.
2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR ± FOR THIS PROJECT.

LOT SLOPE CALCULATIONS:

LOT AREA (SF):	14,280 SF
HIGHEST ELEVATION POINT OF LOT:	345 FEET
LOWEST ELEVATION POINT OF LOT:	342 FEET
ELEVATION DIFFERENCE:	6 FEET
HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS:	136 FEET
LOT SLOPE*	4.421 %

TOPOGRAPHIC SURVEY

SCALE: 1" = 15' - 0"

AVERAGE BUILDING ELEVATION BENCH MARK

Neil Kelly
Design/Build Remodeling
804 North Alberta Street, Portland, OR 97217 (503) 288-7461
OR CCB# 001663 / WA L&# NEILKCI 18782

Revision Table	
Date	Revised By
3/16/2022	SOURABH MENG

Remodeling Project For:
NICHOLAS MALONE
4214 86TH AVE SE
MERCER ISLAND, WA 98040
Designer/Consultant: Jamie Smugersky
Project Manager: Jamie Herbert

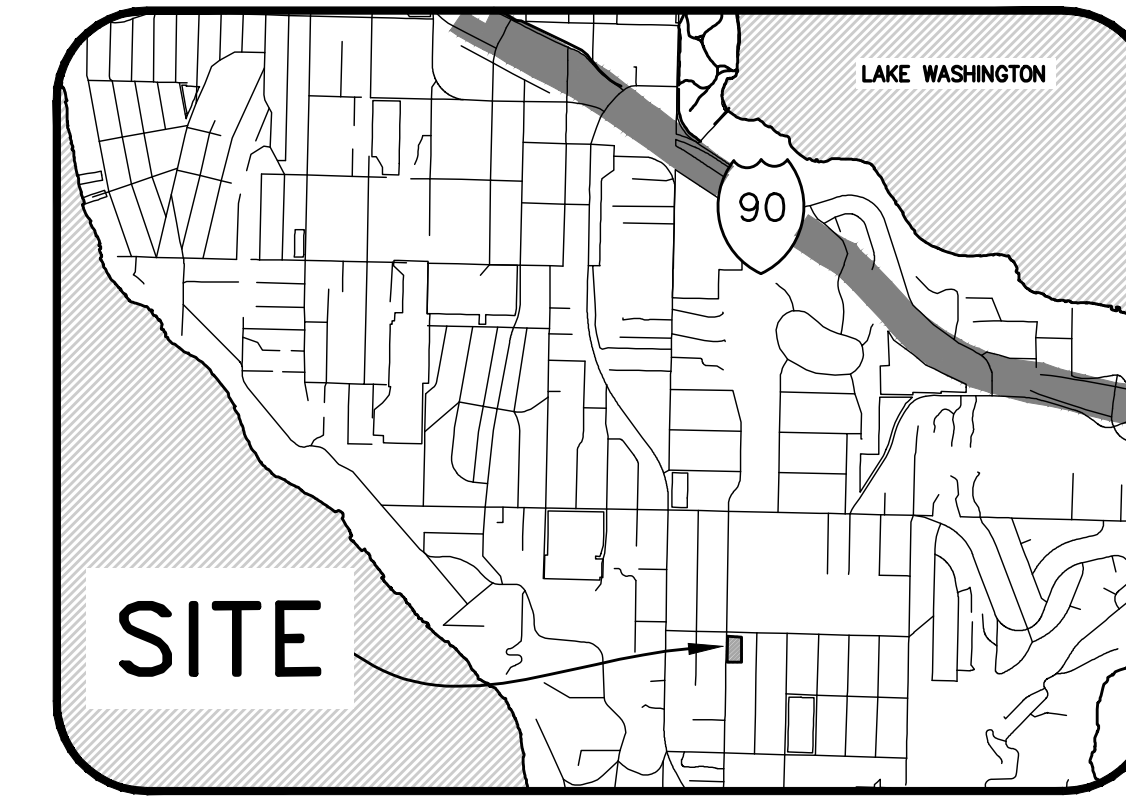
SHEET
Topographic Survey

C - 1

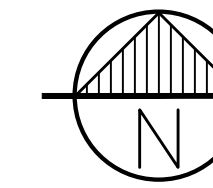
3/16/2022

MALONE RESIDENCE

4214 86TH AVE SE, MERCER ISLAND, WA 98040

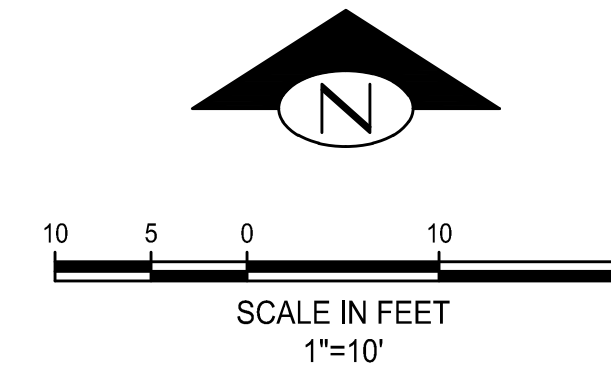


SITE

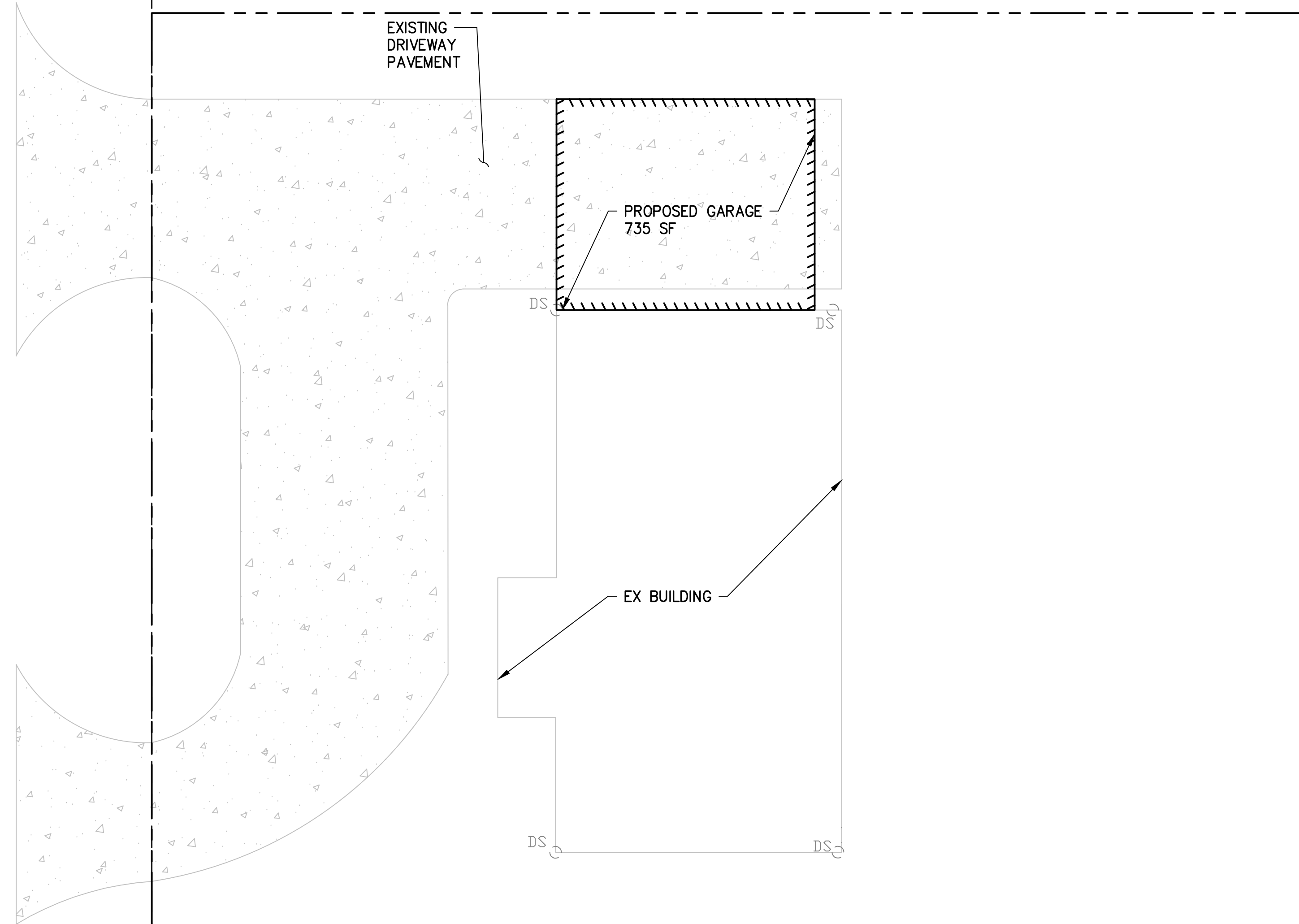


VICINITY MAP

NO SCALE



86TH AVE SE



SHEET INDEX:

- C1.0 COVER SHEET AND NOTES
- C2.0 TESC PLAN AND DETAILS
- C3.0 DRAINAGE AND UTILITY PLAN

PROJECT CONTACTS

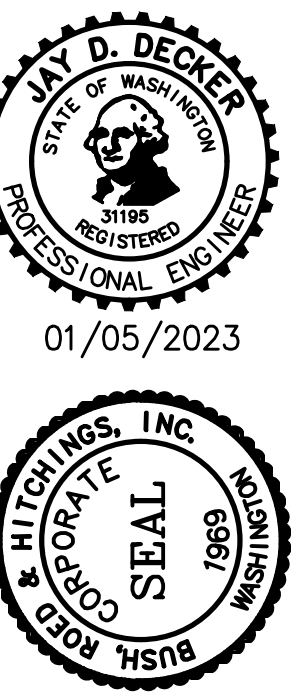
OWNER:
NICHOLAS MALONE
4214 86TH AVE SE
MERCER ISLAND, WA 98040

ENGINEER:
BUSH ROED & HITCHINGS
15400 SE 30TH PL STE 100
BELLEVUE, WA 98007
CONTACT: JAY DECKER, P.E.
jayd@brhinc.com
PH: (206) 323-4144

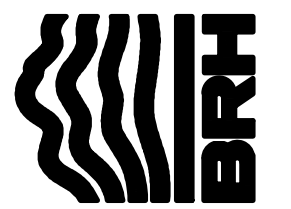
ARCHITECT:
NEIL KELLY
5959 CORSON AVE S, STE B
SEATTLE, WA 98108
PH: (206) 343-2822

BRH ENGINEERING GENERAL NOTES:

1. EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS AND/OR PRIVATE RECORDS AS SUPPLIED BY THE PROJECT OWNER AND/OR DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS ASSOCIATED WITH THE PARTICULAR UTILITY. NEITHER THE OWNER NOR THE ENGINEER GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND ASSUME NO RESPONSIBILITY FOR IMPROPER LOCATIONS OR FAILURE TO SHOW UTILITY LOCATIONS ON THE CONSTRUCTION PLANS. OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
2. IF CHANGED CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PROMPTLY OF (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOSE INDICATED IN THE PLANS, OR (2) PREEXISTING UNKNOWN SUBSURFACE CONDITIONS, OF AN UNUSUAL NATURE, DIFFERING MATERIALLY FROM THOSE ORDINARILY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN WORK OF THE CHARACTER PROVIDED FOR IN THE CONTRACT. THE CONTRACTOR AND/OR THE OWNER SHALL MAKE NO CLAIMS TO THE ENGINEER FOR RECOMPENSATION FOR EXTRA WORK RESULTING FROM CHANGED CONDITIONS UNLESS THE ENGINEER HAS APPROVED THE WORK IN WRITING. (WSDOT SECTION 1-04.7).
3. THE CONTRACTOR SHALL CALL THE UTILITIES UNDERGROUND LOCATION CENTER FOR FIELD LOCATION OF ALL UTILITIES AND SHALL NOT BEGIN EXCAVATION UNTIL ALL KNOWN UNDERGROUND FACILITIES IN THE VICINITY OF THE PROPOSED WORK HAVE BEEN LOCATED AND MARKED. IF THE UTILITY IS NOT A SUBSCRIBER OF THE UNDERGROUND LOCATION CENTER THEN THE CONTRACTOR SHALL GIVE INDIVIDUAL NOTICE TO THAT UTILITY. (WSDOT SECTION 1-07.17 APWA SUPPLEMENT).
4. THE CONTRACTOR SHALL TAKE REASONABLE PRECAUTIONS AND EXERCISE SOUND ENGINEERING AND CONSTRUCTION PRACTICES IN CONDUCTING THE WORK. THE CONTRACTOR SHALL PROTECT EXISTING PUBLIC AND PRIVATE UTILITIES FROM DAMAGE DURING CONSTRUCTION. IF EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ENGINEER. THE CONTRACTOR SHALL RESTORE THE UTILITY TO ITS EXISTING CONDITION. (WSDOT SECTION 1-07.17 APWA SUPPLEMENT). THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION FOR DESIGNS SHOWN ON THESE PLANS.
5. WHERE THE PLANS CALL FOR UTILITIES TO BE RELOCATED BY OTHERS, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY AND COORDINATE HIS WORK SO AS TO AVOID CONFLICTS.
6. ALL EXCAVATION, TRENCHING, SUBGRADE PREPARATION, FILL PLACEMENT AND COMPACTION AND ALL SOIL WORK IN GENERAL SHALL BE CONDUCTED IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PROJECT SOIL ENGINEER AND THE CURRENT GEOTECHNICAL ENGINEERING REPORT.
7. ENGINEERING DESIGN AND APPROVAL FOR STRUCTURES SUCH AS WALLS AND VAULTS MUST BE PREPARED BY THE APPROPRIATE PROFESSIONAL ENGINEER AND IS NOT A PART OF THESE PLANS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING PROFESSIONAL LAND SURVEYOR TO REFERENCE EXISTING MONUMENTS ON OR ADJOINING SITE PREVIOUS TO DEMOLITION OR CONSTRUCTION AND TO BE RE-ESTABLISH SAID POINTS AT PROJECT COMPLETION. THIS RE-ESTABLISHMENT SHALL BE DOCUMENTED BY RECORD OF SURVEY OR CORNER RECORD AS DESCRIBED IN W.A.C. 332-120.



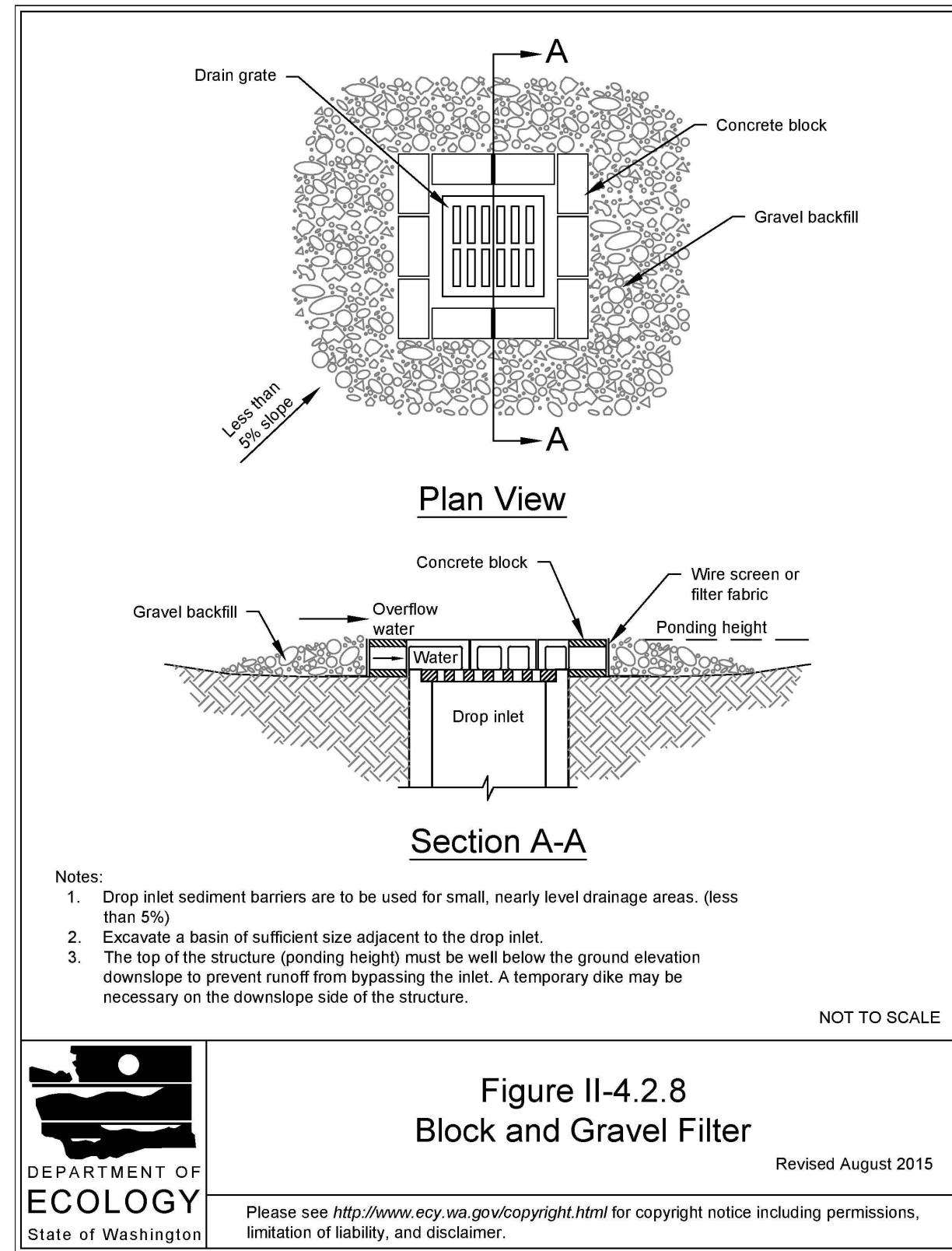
BUSH, ROED & HITCHINGS, INC.
LAND SURVEYORS & CIVIL ENGINEERS
15400 SE 30TH PL, STE 100
BELLEVUE, Washington 98007
info@brhinc.com
(206) 323-4144
1-800-935-0508
WWW.BRHINC.COM



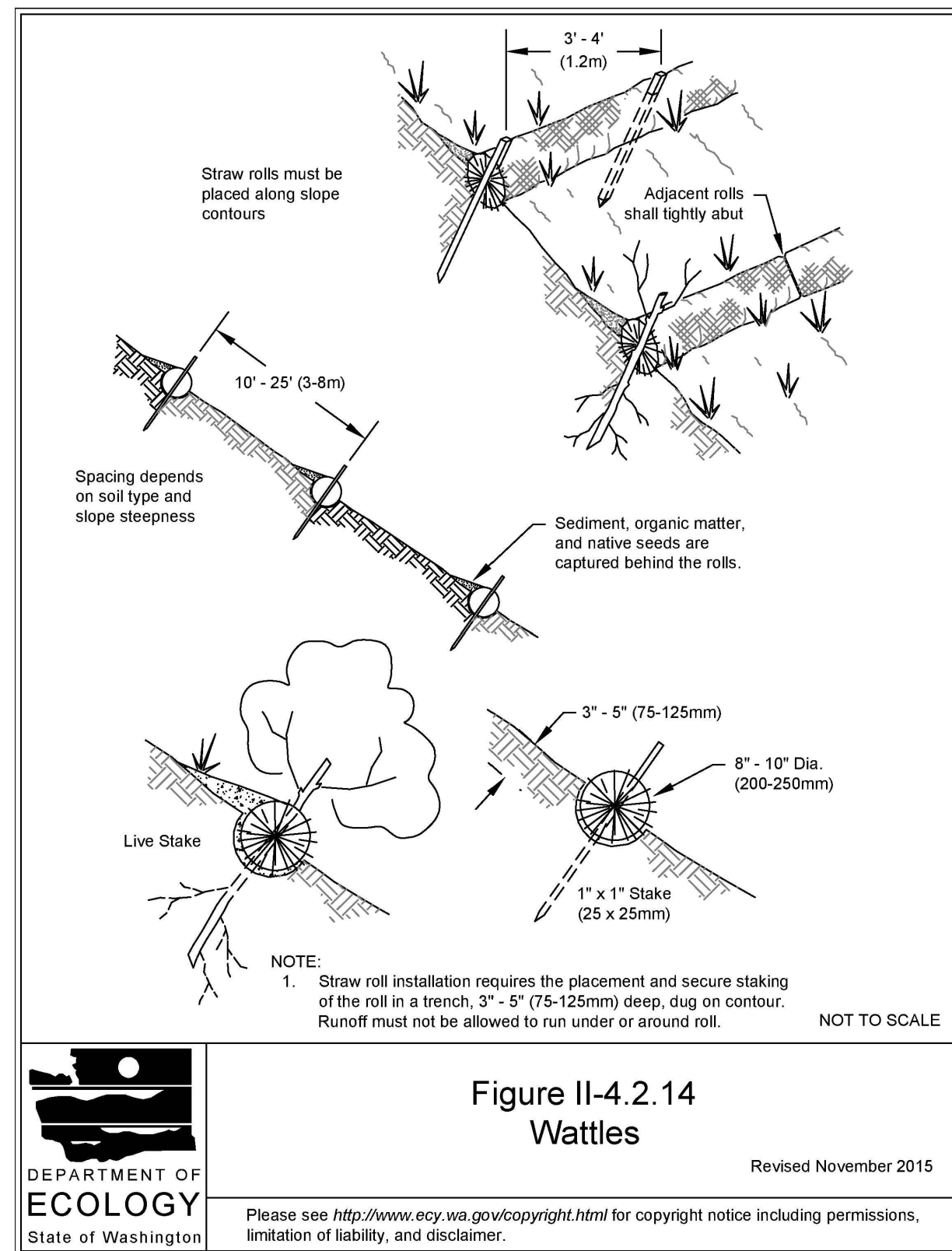
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COVER AND NOTES
MALONE RESIDENCE
MERCER ISLAND KING WA

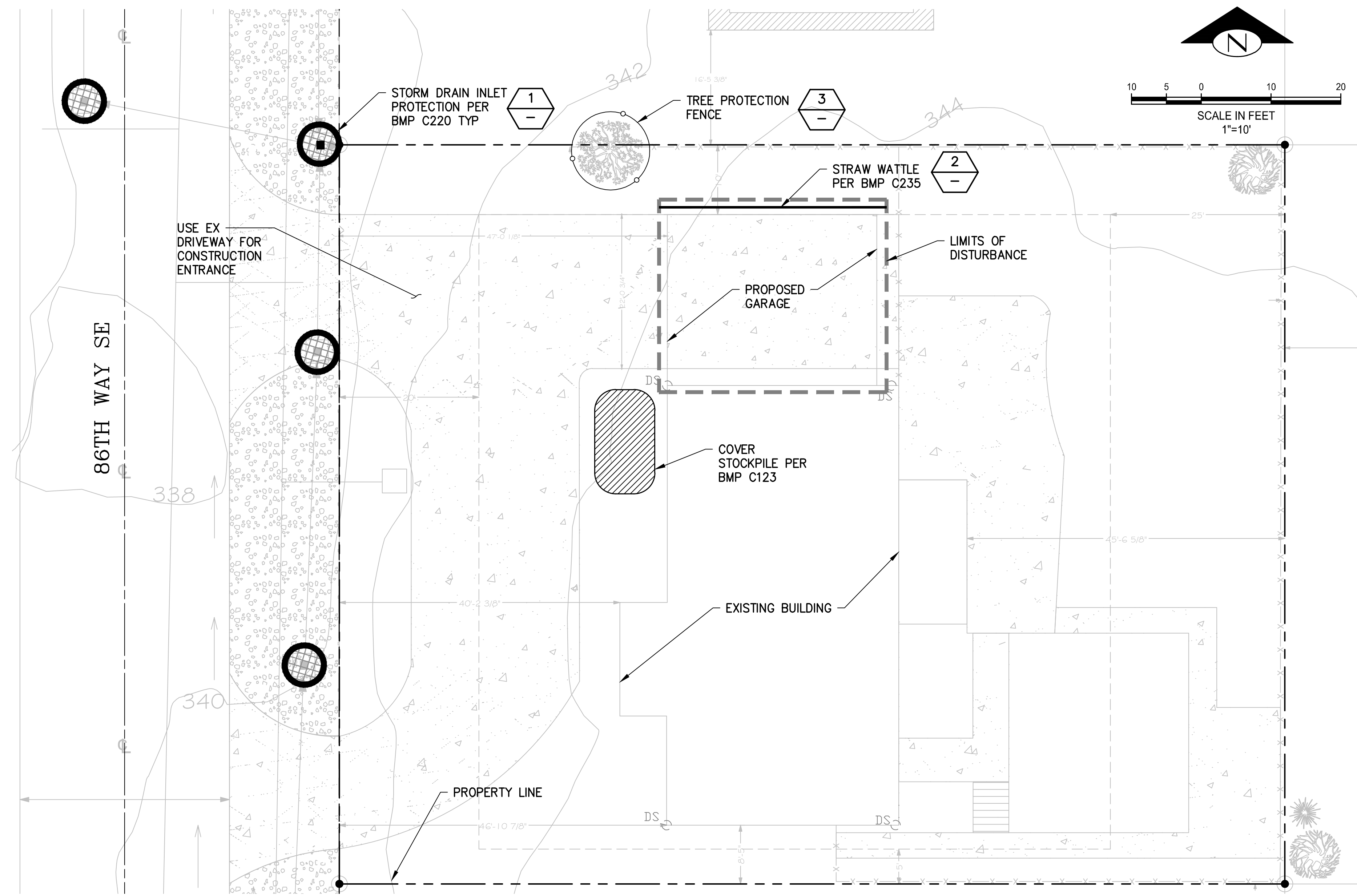
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scale	date
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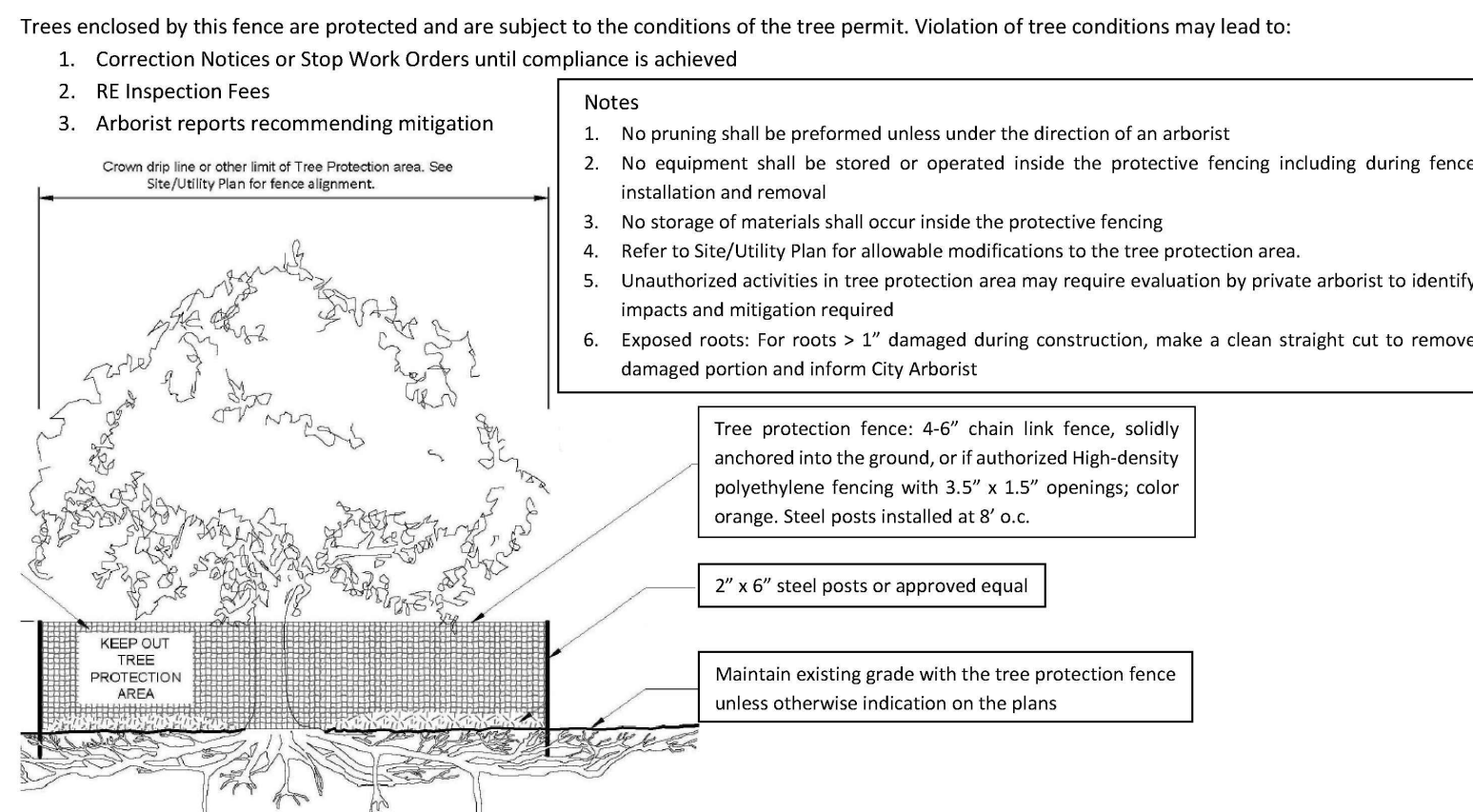
STORM DRAIN INLET PROTECTION
NOT TO SCALE



STRAW WATTLES
NOT TO SCALE



TREE PROTECTION AREA (TPZ)
KEEP OUT!
DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA



Any Work in the protected area must be with the permission of the City Arborist john.kenney@mercergov.org

TREE PROTECTION FENCING
NOT TO SCALE

GENERAL EROSION CONTROL PLAN NOTES:

1. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

W. D. DECKER
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
01/05/2023

BUSH, ROED & HITCHINGS, INC.
LAND SURVEYORS & CIVIL ENGINEERS
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BELLEVUE, Washington 98007
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1-800-935-0508
WWW.BRHINC.COM

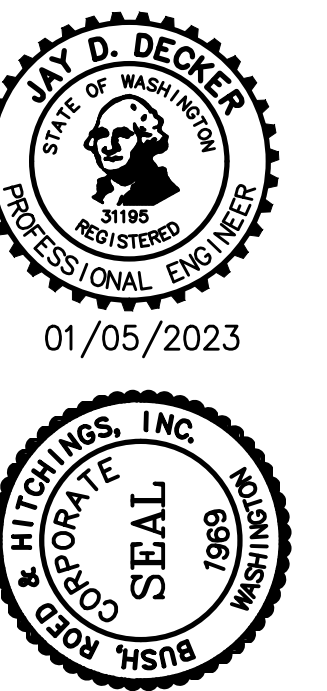
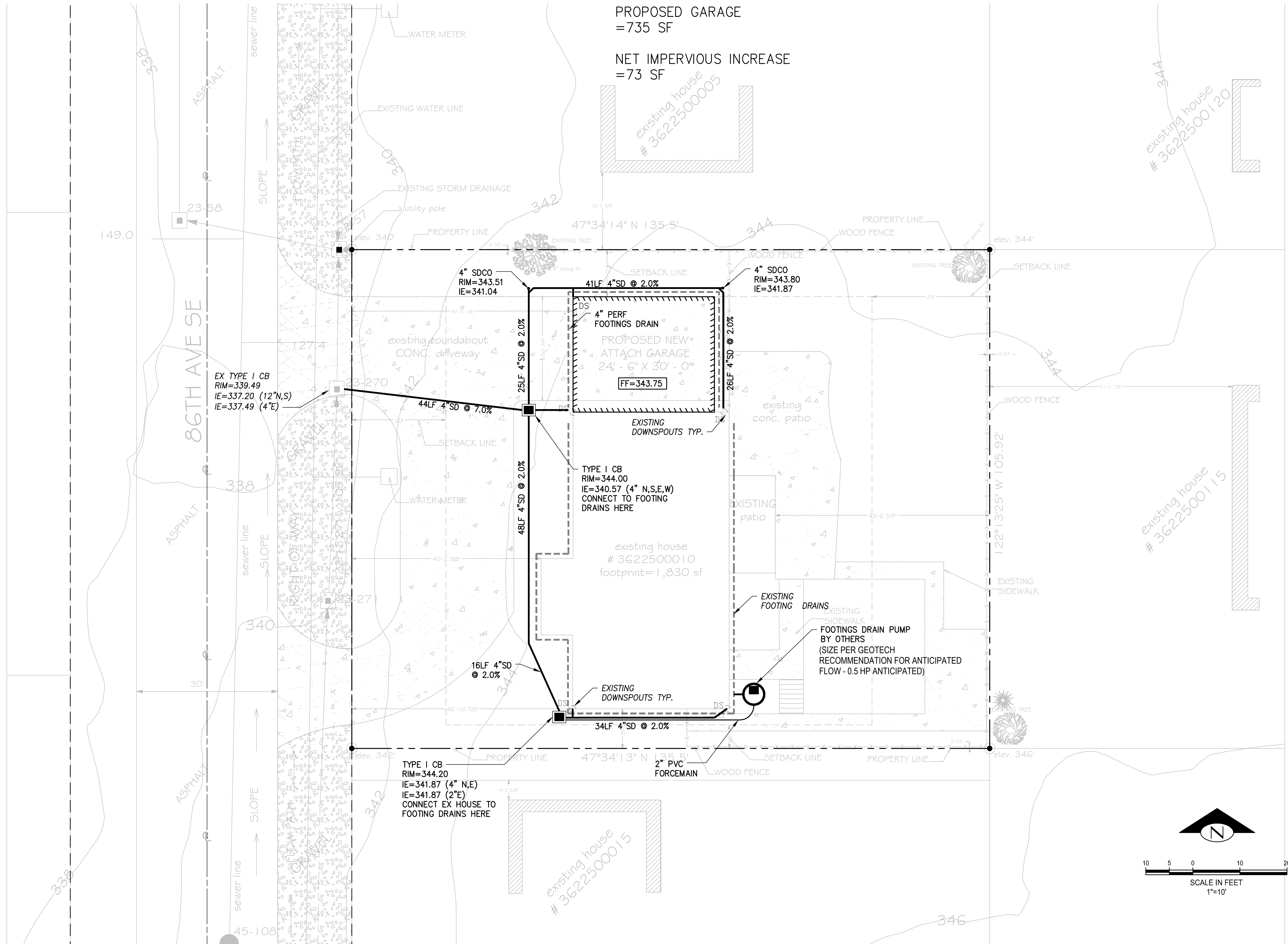
TESC PLAN AND DETAILS
MALONE RESIDENCE

WA
KING
MERCER ISLAND

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scale	date
AS SHOWN	01/05/23
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	2022245
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NOTES:
 EX UTILITIES AND CONTOURS SHOWN FROM CITY OF MERCER ISLAND GIS. VERIFY ALL LOCATIONS AND ELEVATIONS PRIOR TO ANY CONSTRUCTION.

HARD SURFACE CALCS
 EXISTING PAVEMENT UNDERNEATH NEW GARAGE =662 SF
 PROPOSED GARAGE =735 SF
 NET IMPERVIOUS INCREASE =73 SF



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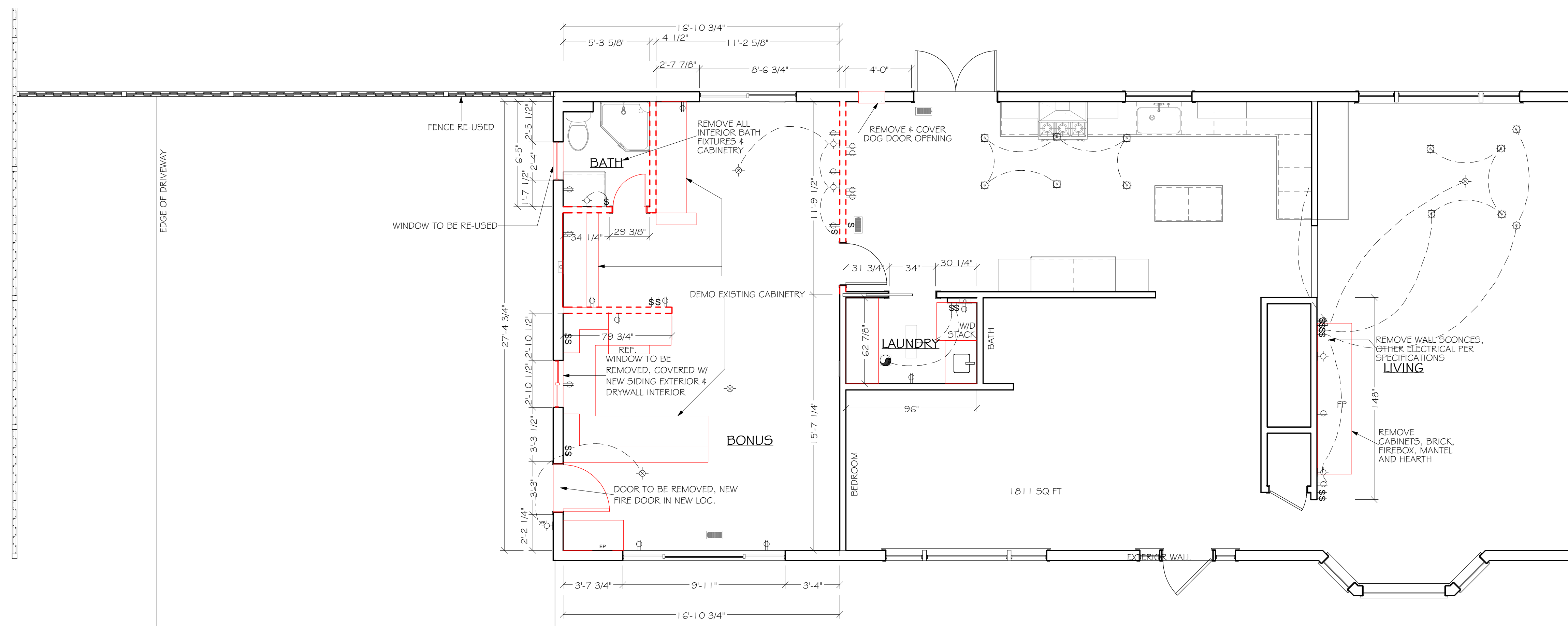
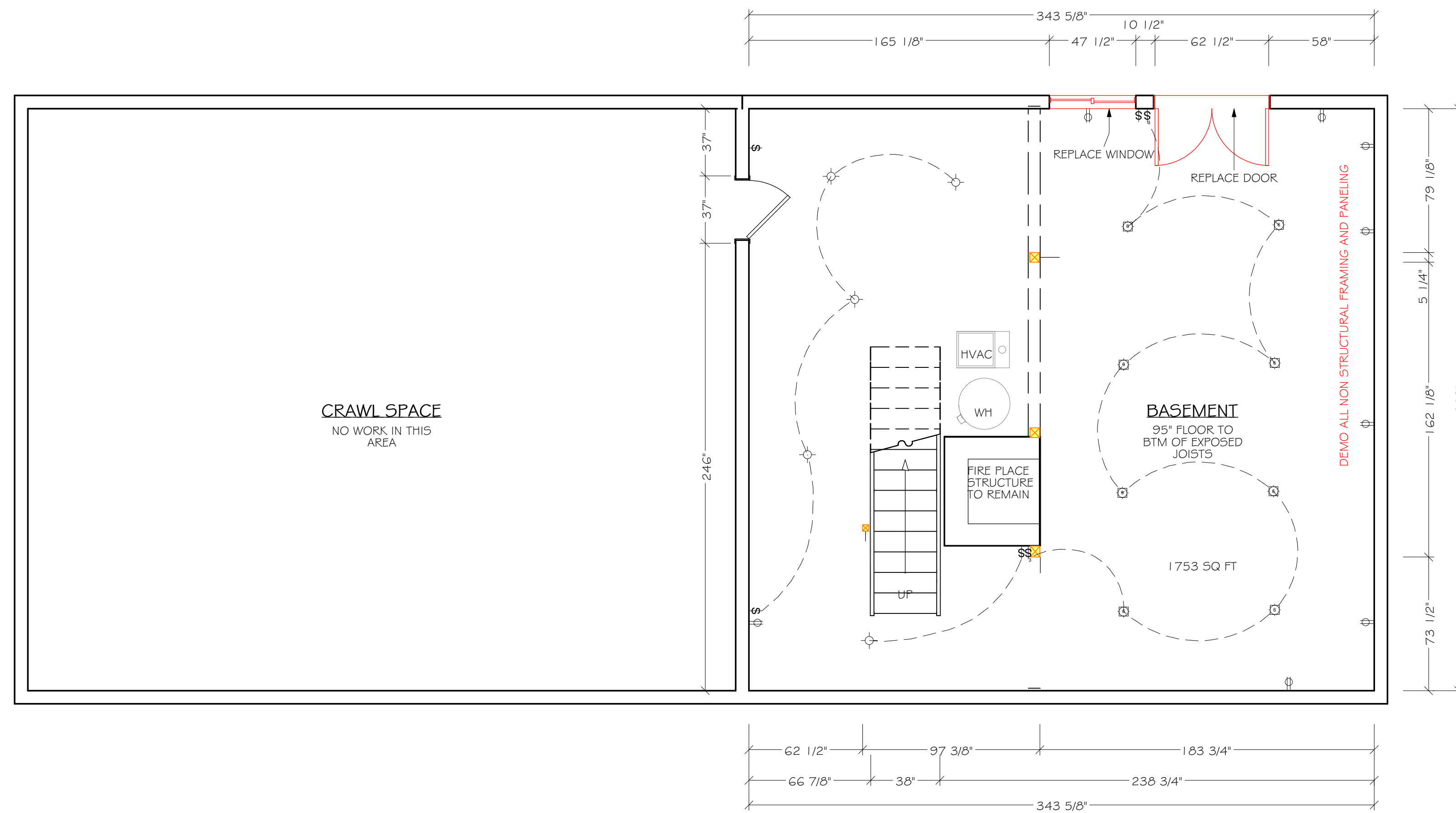


NO.	REVISION	DATE

TESC PLAN AND DETAILS
MALONE RESIDENCE
 MERCER ISLAND KING WA

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scale	date
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job no.	2022245
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24"x36" 1/5/2023 U:\CSD\2022\2022245\ENGINEERING\0-PLAN SHEETS\1-ON SITE PLANS\03 DRAINAGE AND UTILITY.DWG



Neil Kelly
Design/Build Remodeling
3859 Conner Ave SE, Everett, WA 98108
206.343.2825
OR CCB# 001663 / WA L&P NEILKCI 18702

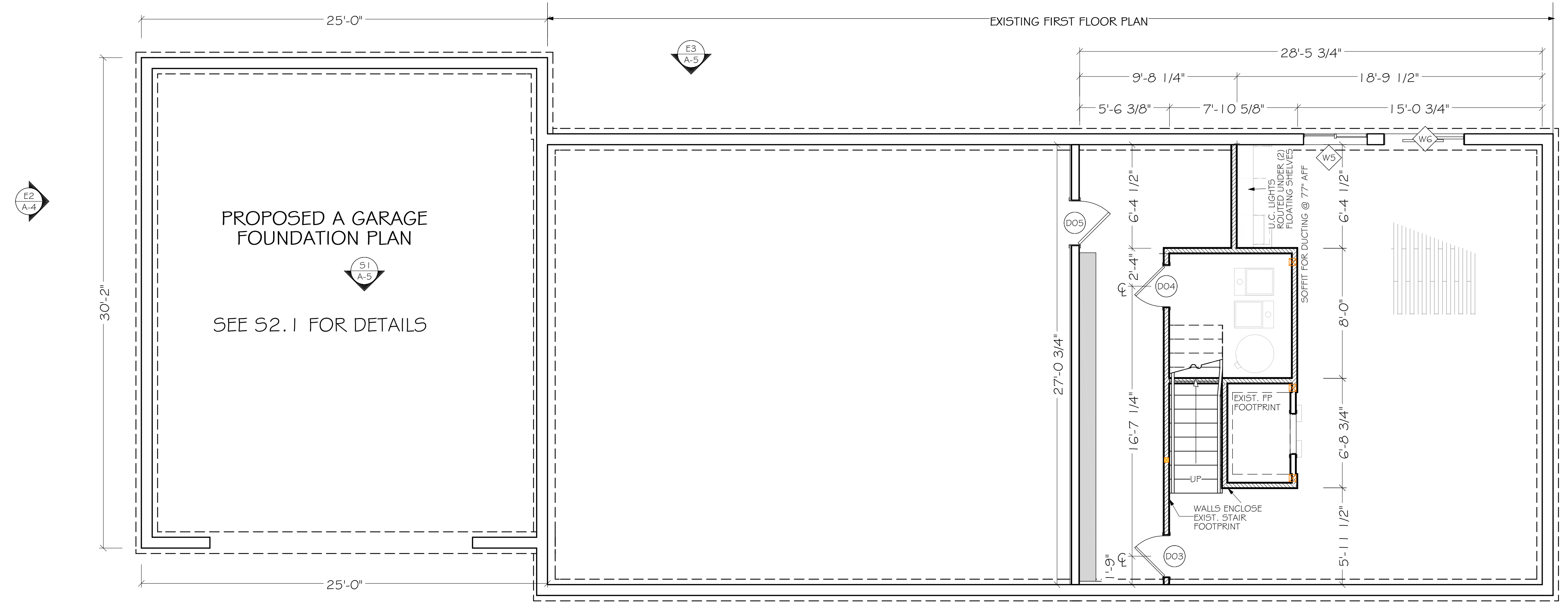
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REVISION: _____
REVISION: _____

HOMEOWNER APPROVAL
SEE DECLARATION ON PAGE 01

INITIAL: _____ DATE: _____
INITIAL: _____ DATE: _____

Remodeling Project for:
Nicholaus Malone
4214 86th Ave SE
Mercer Island, WA 98040
Design Consultant: Jamie Ormugeresky
Project Manager: Tony Lopez

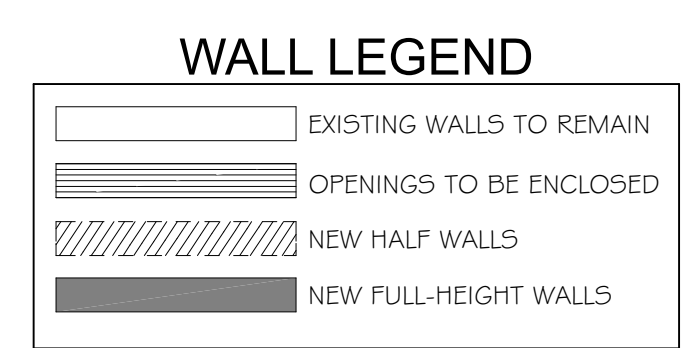
A-1
AS-BUILT FLOOR PLANS
SCALE: 1/4" = 1'-0"
6/8/2022



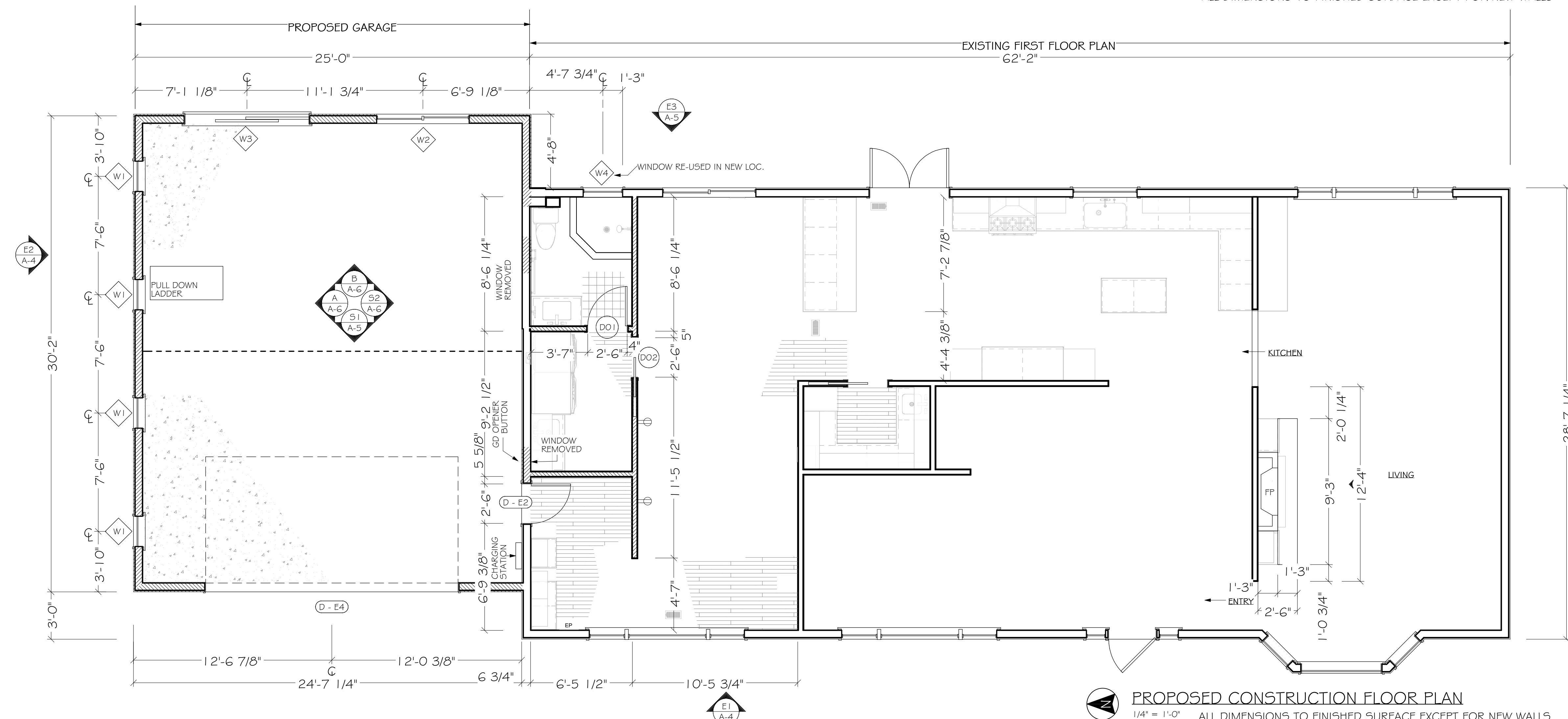
WINDOWS SCHEDULE			
NUMBER	R/O	DESCRIPTION	COMMENTS
W1	24"X24"	FIXED GLASS	
W2	71 3/8"X47"	RIGHT SLIDING	
W3	26"X80"	EXT. SLIDER-GLASS PANEL	
W4	51"X70"	SINGLE CASEMENT-HR	WINDOW RE-USED IN NEW LOC.
W5	48"X24"	LEFT SLIDING	
W6	60"X72"	EXT. SLIDER-GLASS PANEL	

INTERIOR DOOR SCHEDULE			
NUMBER	SIZE	R/O	DESCRIPTION
D01	26G8 R IN	32"X82 1/2"	HINGED-DOOR P03
D02	26G8 R	62"X82 1/2"	POCKET DOOR P03
D03	26G8 L IN	32"X82 1/2"	HINGED-DOOR P03
D04	26G8 R IN	32"X82 1/2"	HINGED-DOOR P03
D05	26G8 R IN	34"X82 1/2"	HINGED-DOOR P03

EXTERIOR DOOR SCHEDULE			
NUMBER	SIZE	R/O	DESCRIPTION
D - E2	26G8 L FX	32"X83"	EXT. HINGED-DOOR P03
D - E4	16080	194"X99"	GARAGE-GARAGE DOOR CHD07



BASEMENT CONSTRUCTION FLOOR PLAN
 1/4" = 1'-0" ALL DIMENSIONS TO FINISHED SURFACE EXCEPT FOR NEW WALLS



PROPOSED CONSTRUCTION FLOOR PLAN
 1/4" = 1'-0" ALL DIMENSIONS TO FINISHED SURFACE EXCEPT FOR NEW WALLS

Neil Kelly
 Design/Build Remodeling
 5899 Conner Ave SE
 Mercer Island, WA 98040
 206.343.2822
 OR CCB# 001663 / WA L&F NELLKCI 18702

DRAWN: []
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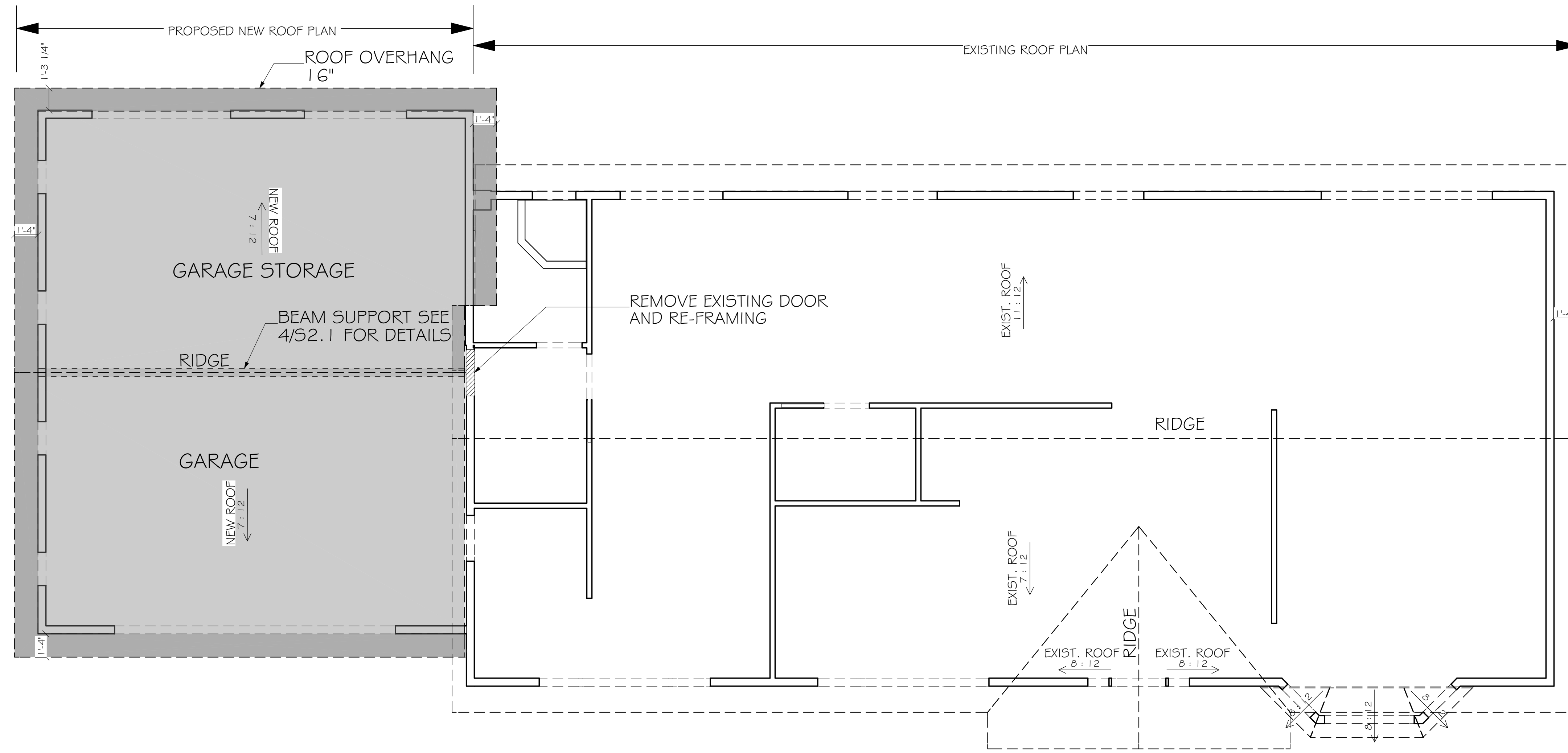
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Remodeling Project for:
Nicholaus Malone
 4214 86th Ave SE
 Mercer Island, WA 98040
 Design Consultant: Jamie Ormugueresky
 Project Manager: Tony Lopez

A - 2
 PROPOSED FLOOR PLANS
 # PENETRATION
 SCHEDULES

SCALE: 1/4" = 1'-0"

6/8/2022



PROPOSED ROOF PLAN
1/4" = 1'-0"

Neil Kelly
Design/Build Remodeling
3599 Conner Ave SE
Bellevue, WA 98008
206.343.2822
OR CCB# 001663 / WA L&P NEILKCI 18702

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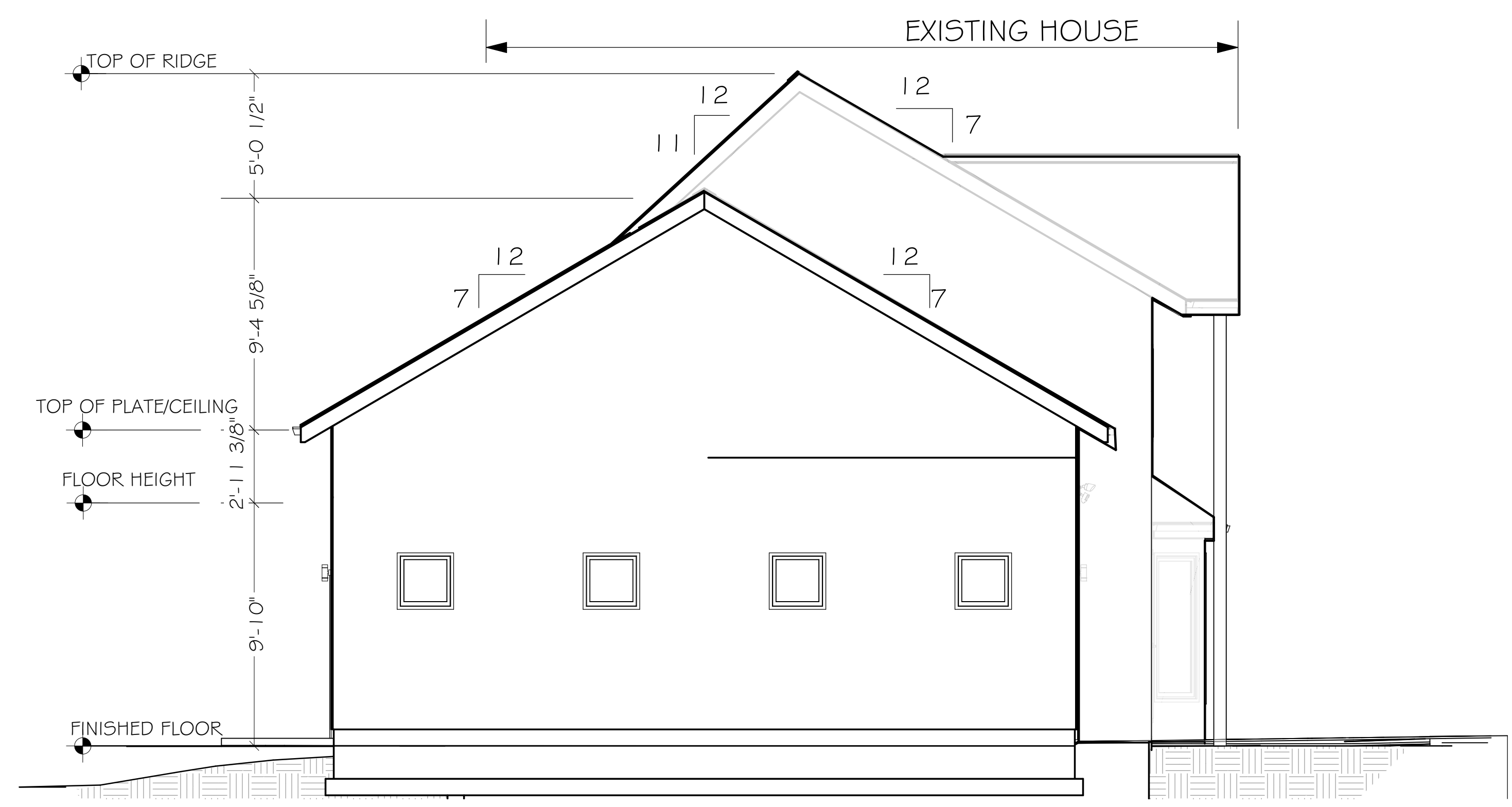
Remodeling Project for:
Nicholaus Malone
4214 86th Ave SE
Mercer Island, WA 98040
Design Consultant: Jamie Ormugeresky
Project Manager: Tony Lopez

A-3
PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"
6/8/2022



E1 FRONT ELEVATION VIEW
1/4" = 1'-0"



E2 LEFT ELEVATION
1/4" = 1'-0"

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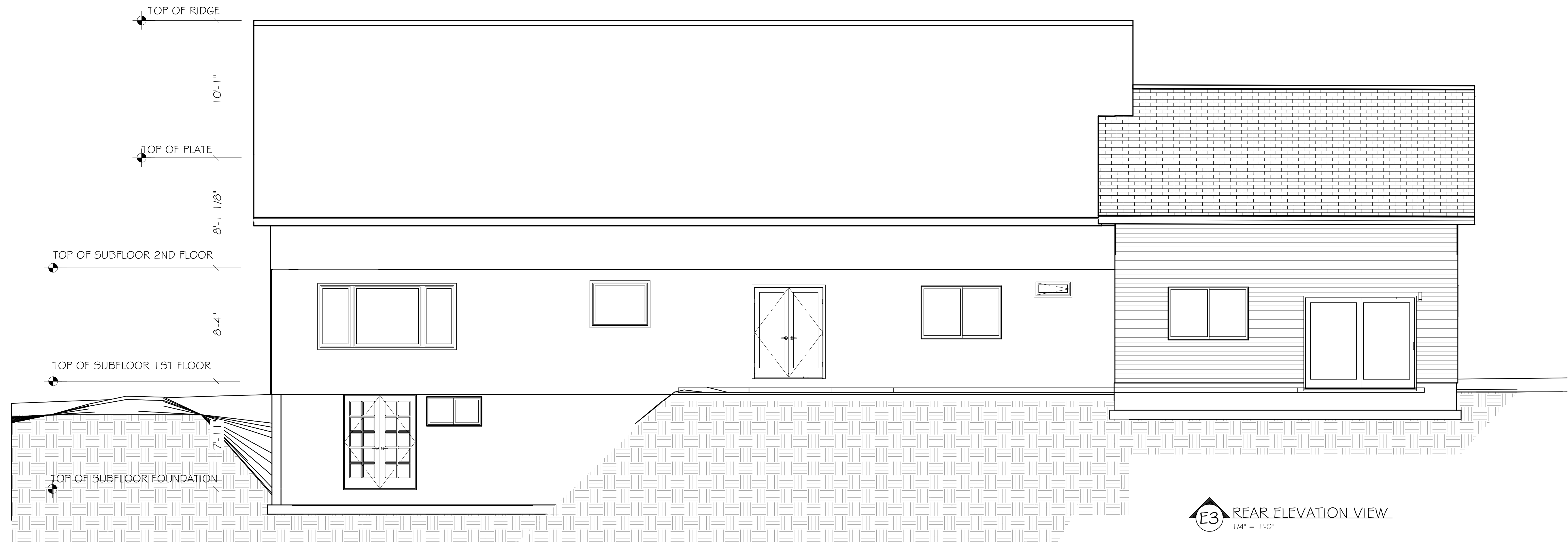
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Remodeling Project for:
Nicholaus Malone
4214 86th Ave SE
Mercer Island, WA 98040
Design Consultant: Jamie Ormugeresky
Project Manager: Tony Lopez

A-4
EXTERIOR ELEVATIONS 1
& 2

SCALE: 1/4" = 1'-0"

6/8/2022



E3 REAR ELEVATION VIEW
1/4" = 1'-0"



S1 SECTION I
1/4" = 1'-0"

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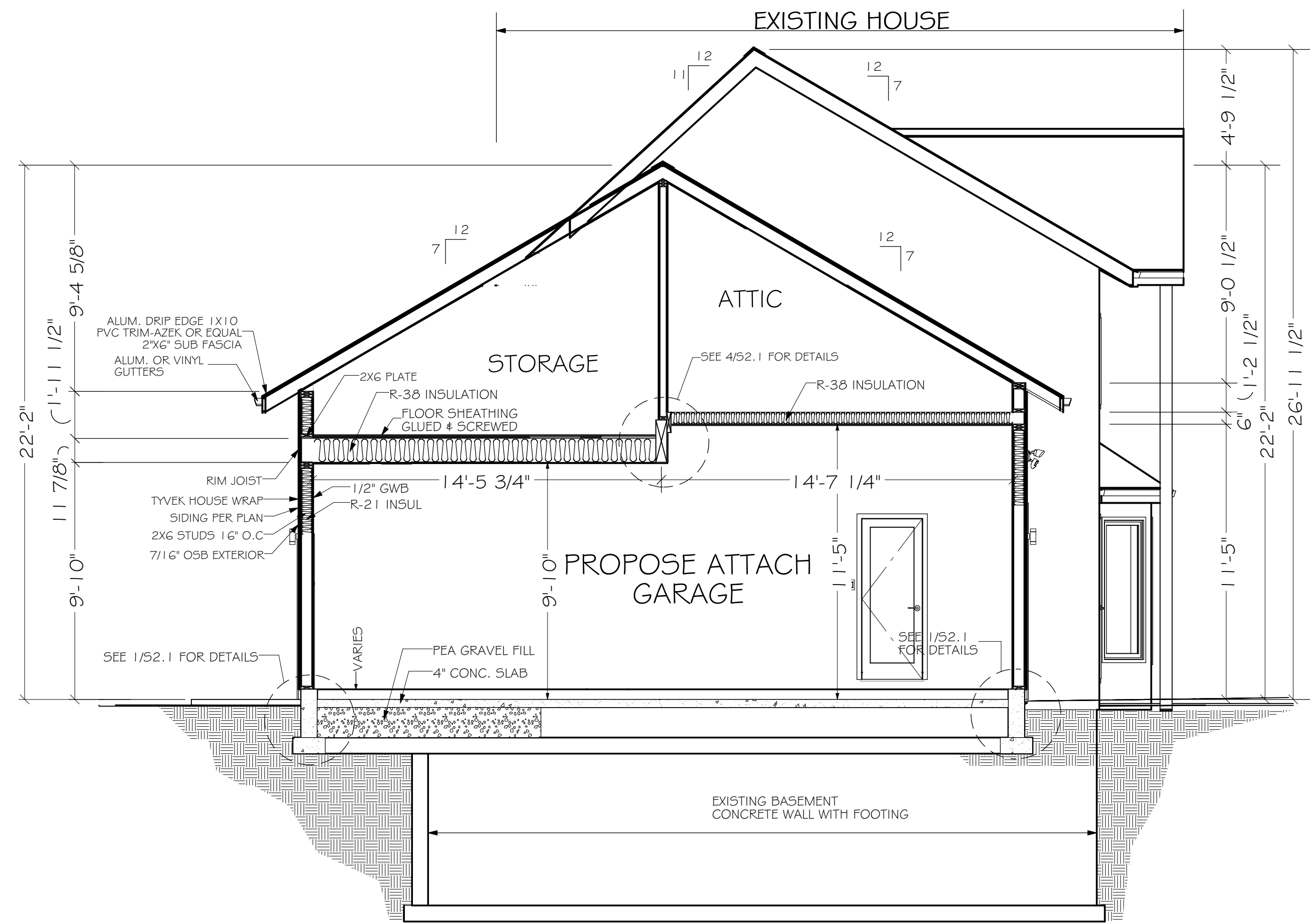
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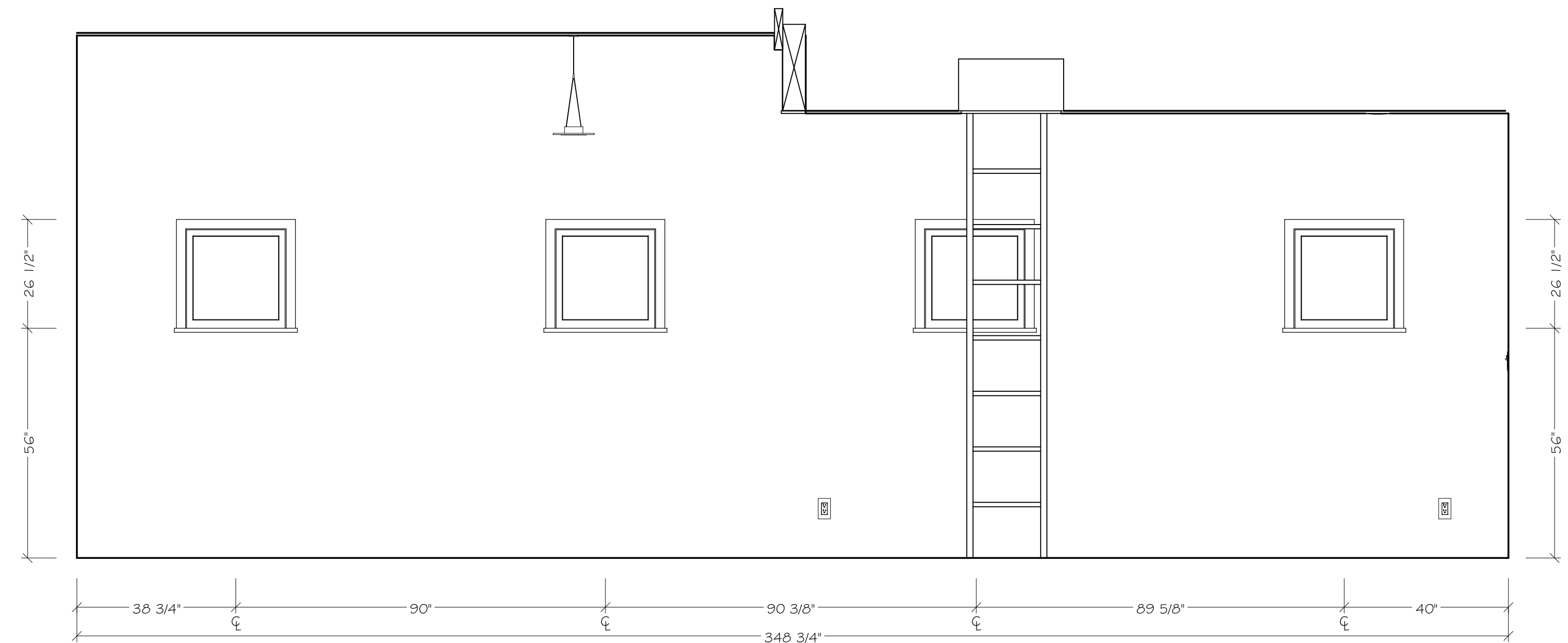
Remodeling Project for:
Nicholaus Malone
4214 86th Ave SE
Mercer Island, WA 98040
Design Consultant: Jamie Ormugeresky
Project Manager: Tony Lopez

A-5
EXTERIOR ELEVATION 3 4
SECTION I

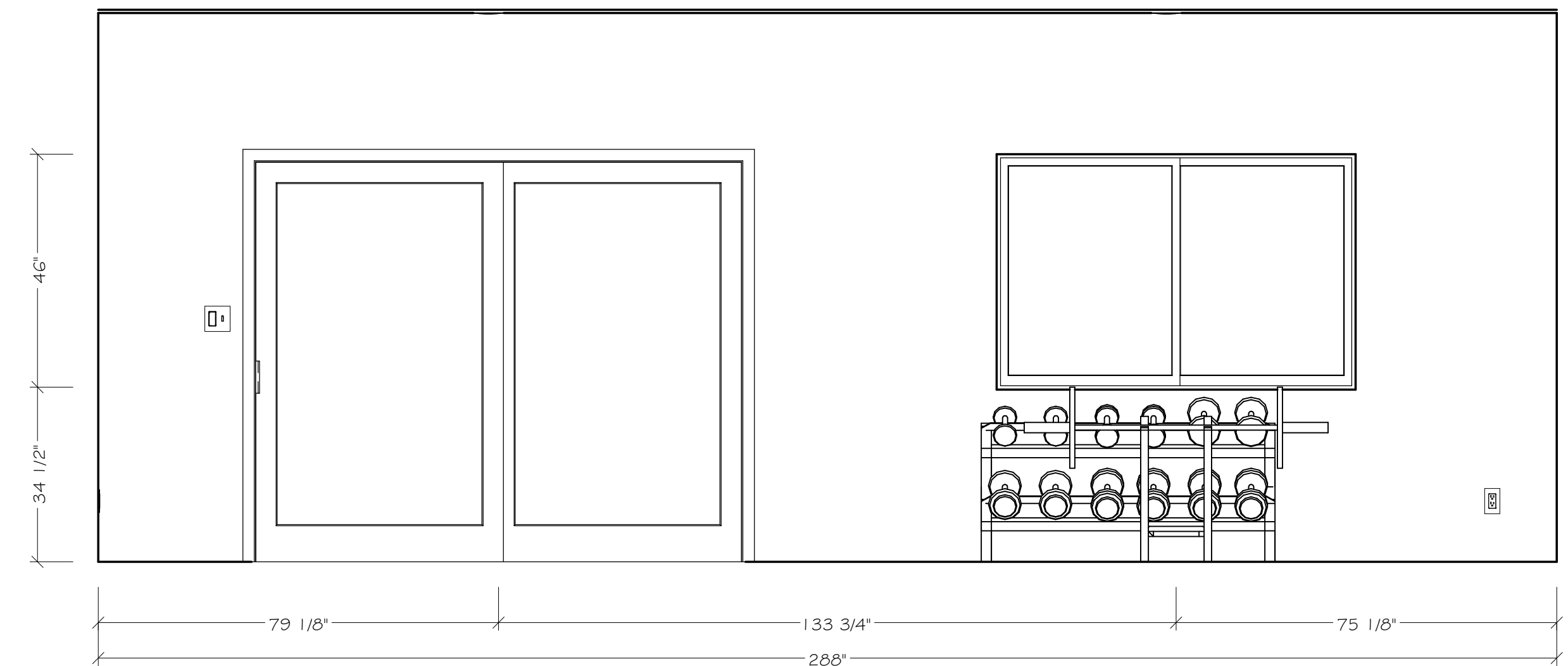
SCALE: 1/4" = 1'-0"
6/8/2022



SECTION 2
1/4" = 1'-0"



ELEVATION A
1/2" = 1'-0"



ELEVATION B
1/2" = 1'-0"

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HOMEOWNER APPROVAL
SEE DECLARATION ON PAGE 01

INITIAL	DATE
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Remodeling Project for:
Nicholaus Malone
4214 86th Ave SE
Mercer Island, WA 98040
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GENERAL STRUCTURAL NOTES

DESIGN LOADS

ALL DESIGN SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AS ADOPTED BY THE PROJECT JURISDICTION. DESIGN BY ASD UNO.

VERTICAL LOADS: IN ADDITION TO THE STRUCTURE DEAD LOADS (19 PSF FLOOR, 12 PSF ROOFS), THE FOLLOWING LIVE LOADS WERE USED FOR DESIGN.

Table with 2 columns: Load Type and Value. Includes Ground Snow (25 PSF), Roof Snow Load (25 POUNDS PER SQUARE FOOT (PSF)*), Floor Live Load (40 PSF), Stairs and Exit Corridors (100 PSF), Decks and Balconies (60 PSF LIVE LOAD).

ROOF SNOW LOADS: ROOF SNOW LOAD IS CALCULATED IN ACCORDANCE WITH CHAPTER 7 OF ASCE 7 AND PER IBC SECTION 1808. MINIMUM DESIGN ROOF SNOW LOAD IS 25 PSF. PG = 25 PSF, IS = 1.0, PF = 25 PSF, CE = 0.9, CT = 1.0.

FOUNDATION DESIGN: FOUNDATIONS ARE DESIGNED IN ACCORDANCE WITH REQUIREMENTS OF IBC, CHAPTER 18, TABLE 1806.2 MINIMUMS. FOUNDATION SYSTEM COMPOSED OF CONVENTIONAL CONCRETE SPREAD AND STRIP FOOTINGS. ALLOWABLE BEARING = 1,500 PSF. LATERAL BEARING = 100 PSF/FT, COF = 0.25. FPASSIVE = 250 PCF, FACTIVE = 35 PCF, FAT REST = 50 PCF.

WIND LOADS: WIND LOADS ARE CALCULATED ACCORDING TO CHAPTER 28 PART 2 OF ASCE 7. RISK CATEGORY = II, EXPOSURE CATEGORY = B, V = 98 MPH, KZT = 1.00, 16 PSF USD, 10 PSF ASD MIN.

SEISMIC DESIGN CRITERIA: SITE CLASS D IE=1.0 SS=1.419 S1=0.493 SDS=1.135 SD1=NA R = 6.5 SHEAR WALL OMEGA = 3

GENERAL NOTES: STRUCTURAL DRAWINGS INDICATE THE BUILDING IN ITS FINAL, CONSTRUCTED CONDITION. TEMPORARY SHORING AND ERECTION METHODS PRIOR TO FINAL COMPLETION ARE THE RESPONSIBILITY OF THE CONTRACTOR.

STRUCTURAL DRAWINGS INDICATE A PORTION OF THE COMPLETED PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR INCORPORATING AND COORDINATING THE REQUIREMENTS OF THE OTHER TRADES.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE STRUCTURAL DRAWINGS AND THE EXISTING CONDITIONS FOR RESOLUTION PRIOR TO PROCEEDING.

STRUCTURAL DRAWINGS SHOW TYPICAL CONDITIONS. WHERE NO DETAIL IS SPECIFICALLY INDICATED, CONSTRUCTION SHALL BE IN ACCORDANCE WITH SIMILAR CONSTRUCTION ON THE PROJECT.

SPECIAL INSPECTION: NONE REQUIRED
STRUCTURAL OBSERVATION: NONE REQUIRED

CONCRETE: CONCRETE CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 19 OF THE IBC AND WITH ACI 318. UNLESS NOTED OTHERWISE ON THE DRAWINGS, ALL CONCRETE SHALL BE 3,000 PSI, 5 1/2 MIN SACK, 4" MAXIMUM SLUMP, 0.50 W/C RATIO, 3/4" MAXIMUM AGGREGATE SIZE WITH UNIFORM GRADATION. EXTERIOR CONCRETE SHALL BE AIR ENTRAINING, 5% PLUS OR MINUS 1% AIR.

REINFORCING STEEL: ALL REINFORCING SHALL COMPLY WITH ASTM A615, GRADE 60 FOR DEFORMED BARS AND ASTM A185 FOR SMOOTH WELDED WIRE FABRIC (WWF) UNO.

REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315). LAP ALL REINFORCING BARS AS DETAILED ON THE DRAWINGS. MINIMUM LAP LENGTH SHALL BE 40D UNO.

REINFORCING STEEL SHALL HAVE THE FOLLOWING MINIMUM COVER: BARS EXPOSED TO EARTH OR WEATHER - 3"
MAIN REINFORCING BARS - 1 1/2"
TIES AND STIRRUPS - 1"

EPOXY ADHESIVE SHALL CONFORM TO ASTM C881 AND SHALL BE A TWO COMPONENT LIQUID EPOXY WITH NON-SAG CONSISTENCY AND A LONG POT LIFE. EPOXY SHALL BE SUITABLE FOR USE ON DRY OR DAMP SURFACES WITH MINIMUM SHEAR STRENGTH 5000 PSI AND MINIMUM TENSILE STRENGTH OF 4000 PSI. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

STRUCTURAL STEEL CONSTRUCTION SHALL BE IN CONFORMANCE WITH AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND THE CODE OF STANDARD PRACTICE.

STRUCTURAL STEEL SHAPES AND PLATES SHALL COMPLY WITH ASTM A572 GRADE 50 OR ASTM A992 GRADE 50. HOLLOW STRUCTURAL SECTIONS (HSS) SECTIONS SHALL COMPLY WITH ASTM A500, GRADE B.

TYPICAL BOLTS SHALL CONFORM TO ASTM A307. HIGH STRENGTH BOLTS (HSB) SHALL CONFORM TO ASTM A325-N UNO.

WELDING SHALL CONFORM TO AWS CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION. WELDS SHALL BE MADE WITH E70XX ELECTRODES AND SHALL BE 1/4" MINIMUM FILLET WELDS UNO.

TIMBER CONSTRUCTION REQUIREMENTS: SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. LUMBER SHALL BE 16% MAXIMUM MOISTURE CONTENT AT THE TIME OF INSTALLATION AND SHALL CONFORM TO THE SPECIES AND GRADES NOTED BELOW.

ALL LUMBER IN CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWP A U1 (SHOP OR PLANT TREATMENT) AND M4 (FIELD TREATMENT) STANDARDS.

FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE OR APPROVED EQUAL AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS WHICH WILL BE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE G90 GALVANIZED OR STAINLESS STEEL. ALL NAIL HOLES SHALL BE FILLED WITH STRUCTURAL FASTENERS UNO ON THE DRAWINGS AND FASTENERS SHALL BE INSTALLED FOLLOWING ALL MANUFACTURER'S REQUIREMENTS. IF MANUFACTURER PROVIDES MULTIPLE FASTENER POSSIBILITIES, THE FASTENERS WHICH ACHIEVE THE HIGHEST LOAD RATING SHALL BE UTILIZED UNO.

ALL FRAMING NAILS SHALL BE OF THE SIZE AND NUMBER INDICATED ON THE DRAWINGS AND SHALL CONFORM TO ASTM F1667 "STANDARD SPECIFICATION OF DRIVEN FASTENERS: NAILS, SPIKES AND STAPLES" AND NER-272 "POWER DRIVEN STAPLES AND NAILS FOR USE IN ALL TYPES OF BUILDING CONSTRUCTION." NAILS SHALL BE IDENTIFIED BY LABELS ATTACHED TO THEIR CONTAINERS THAT SHOW THE MANUFACTURER'S NAME AND NES REPORT NUMBER, NAIL SHANK DIAMETER AND LENGTH. NAILING NOT SHOWN SHALL BE AS INDICATED IN IRC TABLE R602.3(1) AND/OR IBC TABLE 2304.10.1 OR NER-272. THE FOLLOWING NAIL SIZES SHALL BE USED:

Table with 3 columns: Nail Type, Shank Diameter, Minimum Penetration. Lists sizes for 6D, 8D, 10D, 12D, 16D.

BOLTS AND LAG SCREWS SHALL CONFORM TO ANSI/ASTM STANDARD B18.2.1-1981. ALL BOLTS AND LAG SCREWS SHALL HAVE CUT THREADS.

CUTTING AND NOTCHING OF JOISTS AND STUDS SHALL CONFORM TO IBC SECTIONS 2320.8.2, 2308.9.1 AND 2308.10.4.

WOOD STRUCTURAL PANELS: WOOD STRUCTURAL PANELS SHALL CONFORM TO THE REQUIREMENTS OF "US PRODUCT STANDARD PS.1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD", "US PRODUCT STANDARD PS.2 PERFORMANCE STANDARDS FOR WOOD-BASED STRUCTURAL USE PANELS", OR "APA PER-108 PERFORMANCE STANDARDS" UNO. UNO. PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. APA 24/OTYP ROOF AND WALLS UNO, APA 24 TYP FLOOR UNO.

WOOD STRUCTURAL PANEL INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.

ALL ROOF AND FLOOR SHEATHING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS UNO ON DRAWINGS. ROOF SHEATHING SHALL BE BLOCKED, TONGUE AND GROOVE OR SHALL HAVE PLY-CLIPS. FLOOR SHEATHING SHALL BE TONGUE AND GROOVE AND SHALL BE GLUED AND NAILED UNO. T&G JOINTS SHALL ALSO BE GLUED.

SHEAR WALL SHEATHING SHALL BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY AND ALL PANELS EDGES SHALL BE BLOCKED WITH 2X FRAMING.

MINIMUM NAILING FOR ALL STRUCTURAL SHEATHING SHALL BE 10D AT 6" OC AT PANEL EDGES AND 10D AT 12" OC IN THE FIELD. NAILS SHALL BE "COMMON" EXCEPT ROOF SHEATHING SHALL BE NAILED WITH RING SHANK NAILS.

GLUED LAMINATED MEMBERS: GLUED LAMINATED MEMBER (GLB) SHALL BE FABRICATED IN CONFORMANCE WITH ANSI STANDARD A190.1, AMERICAN NATIONAL STANDARD FOR GLUED LAMINATED TIMBER OR OTHER CODE APPROVED DESIGN, MANUFACTURING AND/OR QUALITY ASSURANCE PROCEDURES. EACH MEMBER SHALL BEAR AND A1C OR APA-EWS IDENTIFICATION MARK. ENDS SHALL BE FINISHED IMMEDIATELY IN THE SHOP OR IMMEDIATELY UPON FIELD TRIMMING. BEAMS SHALL BE WESTERN SPECIES INDUSTRIAL (HIDDEN) OR ARCHITECTURAL (EXPOSED) APPEARANCE CLASSIFICATION AND SHALL BE 24F-V4 FOR SIMPLE SPANS AND 24F-V8 FOR MULTIPLE SPAN OR CONTINUOUS MEMBERS. FB SHALL BE 2,400 PSI, E SHALL BE 1,800,000 PSI AND FV SHALL BE 300 PSI.

GLB HANGERS SHALL BE SIMPSON GLT UNO. ADHESIVE SHALL BE WET USE EXTERIOR WATERPROOF GLUE. FLIED NOTCHING OR BORING OF GLB IS NOT ALLOWED UNLESS APPROVED IN WRITING BY STRUCTURAL ENGINEER OF RECORD (SER).

ENGINEERED COMPOSITE LUMBER: ENGINEERED COMPOSITE LUMBER SHALL BE AS MANUFACTURED BY WEYERHAUSER TRUS JOIST ENGINEERED WOOD PRODUCTS OR APPROVED EQUAL. TIMBERSTRAND LSL LUMBER SHALL BE 1.5E FOR BEAMS AND HEADERS, AND 1.3E FOR POSTS AND COLUMNS. MICROLAM LVL LUMBER SHALL BE 2.0E. PARALLAM PSL LUMBER SHALL BE 2.2E FOR BEAMS AND HEADERS, 1.8E FOR POSTS AND COLUMNS.

CONCRETE MASONRY: CONCRETE MASONRY UNITS (CMU) SHALL COMPLY WITH ASTM C90. LINEAL SHRINKAGE FOR UNITS SHALL NOT EXCEED 0.065%. ASSEMBLIES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1500 PSI. ALL CMU CONSTRUCTION SHALL BE REINFORCED AS SHOWN ON PLANS OR AS NOTED BELOW.

MORTAR: ALL MORTAR SHALL BE TYPE S WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 1800 PSI AND SHALL CONFORM TO IBC CHAPTER 21 REQUIREMENTS.

MASONRY GROUT: GROUT SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000 PSI AND SHALL CONFORM TO IBC CHAPTER 21 REQUIREMENTS. GROUT SHALL CONSIST OF A MIXTURE OF CEMENTITIOUS MATERIALS, AGGREGATE AND WATER. WATER SHALL BE SUFFICIENT TO ALLOW THE GROUT TO FLOW WITHOUT SEGREGATION. ALL CUM SHALL BE FULLY GROUTED.

MASONRY REINFORCING STEEL: REINFORCING FOR CMU SHALL CONFORM TO IBC CHAPTER 21. DEFORMED BARS SHALL BE GRADE 60 AND SHALL BE FIRMLY TIED INTO POSITION PRIOR TO PLACEMENT OF GROUT IN ACCORDANCE WITH ACI 530. MINIMUM CMU WALL REINFORCEMENT FOR 8" CMU SHALL BE #5 BARS AT 24" OC EACH WAY. MINIMUM CMU WALL REINFORCEMENT FOR 12" CMU SHALL BE #5 EACH FACE, EACH WAY AT 32" OC. ALL MASONRY WALLS SHALL HAVE (2) #5 CONTINUOUS HORIZONTAL ALL ROOF LINES, FLOOR LINES AND TOP OF WALLS. IN ADDITION, PROVIDE (2) #5 TRIM BARS EACH SIDE, TOP AND BOTTOM OF ALL OPENINGS. VERTICAL TRIM BARS SHALL EXTEND FULL HEIGHT OF THE WALL. HORIZONTAL TRIM BARS SHALL EXTEND 24" MINIMUM BEYOND OPENING. AT CORNERS AND INTERSECTIONS, PROVIDE CORNER BARS THAT LAP 24" MINIMUM EACH WAY WITH TYPICAL HORIZONTAL REINFORCEMENT. IN ADDITION, PROVIDE ADDITIONAL (2) #5 VERTICAL TRIM BARS. PROVIDE FOOTING DOWELS TO MATCH ALL VERTICAL WALL REINFORCEMENT. FOOTING DOWELS SHALL BE HOOKED INTO FOUNDATION WITH A STANDARD 90 DEGREE HOOK 3" CLEAR OF BOTTOM AND SHALL LAP 40 DIAMETERS MINIMUM WITH WALL REINFORCEMENT.

CONCRETE PENETRATIONS: WHERE PIPES OR CONDUITS PENETRATE CONCRETE WALLS OR FOOTINGS, PROVIDE OVERSIZE SLEEVE. ALL PENETRATIONS SHALL BE WITHIN THE MIDDLE 1/3 OF FOOTING OR WALL DEPTH. DO NOT CORE OPENINGS WITHOUT WRITTEN PERMISSION FROM ENGINEER. WHERE PIPES OR CONDUITS OCCUR WITHIN 12" OF BOTTOM OF FOOTING, THICKEN FOOTING TO EXTEND 6" MINIMUM BELOW TO PROVIDE 3" MINIMUM COVER BELOW PIPE OR CONDUIT WHERE PIPES AND FOOTINGS ARE PARALLEL TO FOOTINGS, LOCATE FOOTINGS TO FALL ABOVE 2H : 1V LINE EXTENDING FROM BOTTOM OF FOOTING

ABBREVIATIONS

Table of abbreviations including AB (Anchor Bolt), ACI (American Concrete Institute), AESS (Architecturally Exposed Structural Steel), AISC (American Institute of Steel Construction), ALT (Alternate or Alternating), ALUM (Aluminum), ARCH'L (Architectural), ASCE (American Society of Civil Engineers), ASTM (American Society for Testing and Materials), AWS (American Welding Society), BLDG (Building), BOC (Bottom of Concrete), BOF (Bottom of Framing), BOP (Bottom of Plywood / Sheathing), BOT (Bottom), BLOCK OUT (Block Out), CG (Center of Gravity), CIP (Cast in Place), C.J. (Control Joint), CJ (Construction Joint), CL (Centerline), CLR (Clear), CMU (Concrete Masonry Unit), CONC (Concrete), CONN (Connection), CONT (Complete Penetration), DBL (Double), DET (Detail), DIA (Diameter), DL (Dead Load), DWG (Draw), EA (Each), EACH END (Each End), EF (Each Face), EL (Elevation), EMBED (Embedment), EQ (Equal), EX OR (Existing), EXP (Expansion), EXT (Exterior), EW (Each Way), FDN (Foundation), FF (Finished Floor), FIG (Figure), FLR (Floor), FP (Full Penetration), FT (Foot), FTG (Footing), GA (Gauge), GALV (Galvanized), GB (Grade Beam), GLB (GLU-LAM BEAM), HDR (Header), HOR (Horizontal), HSB (High Strength Bolt), HSS (Hollow Structural Steel), IBC (Intern'l Building Code), (LATEST EDITION UNO), ICBO (International Conference of Building Officials), ID (Inside Diameter), IF (Inside Face), IN (Inch), INT (Interior), JT (Joint), KIPS (Kilo (1000) Pounds), KSF (Kips per Square Foot), KSI (Kips per Square Inch), LB (Pound), LBS (Pounds), LL (Live Load), LLH (Long Leg Horizontal), LVL (Long Leg Vertical), LOC (Location), LONG (Longitude or Longitudinal), LVF (Low Velocity Fastener), MAX (Maximum), MECH (Mechanical), MFR (Manufacturer), MIN (Minimum), MISC (Miscellaneous), NF (Near Face), NIC (Not in Contract), NIP (Not a Part), NOM (Nominal), NO OR # (Number), NTS (Not to Scale), ON (On Center), OD (Outside Diameter), OF (Outside Face), OPNG (Opening), OP (Opposite), OWP (Open Web Joist), PART (Partition), PC (Precast), PCF (Pounds per Cubic Foot), PERIM (Perimeter), PERP (Perpendicular), PL (Plate), PSF (Pounds per Square Foot), PSI (Pounds per Square Inch), PSL (2.2E Parallam PSL), P.T. (Post-Tensioned), PT (Pressure Treated), RET (Return), REIN (Reinforcement), REQ'D (Required), SCHED (Schedule), SCLIP (Slab Critical Section), SC (Sheet), SIM (Similar), SOG (Slab on Grade), SPEC (Specification), SQ (Square), SS (Stainless Steel), STD (Standard), STRUCT (Structural), SYM (Symmetrica), THRU (Through), TO (Top of), TOC (Top of Concrete), TOD (Top of Deck), TOF (Top of Framing), TOP (Top of Plywood), TOS (Top of Steel), T&G (Tongue and Groove), TJ (Truss Joist), TYP (Typical), UNO (Unless Noted Otherwise), VERT (Vertical), W/ (With), WF (Wide Flange), W/O (Without), WP (Work Point), WWF (Welded Wire Fabirc).

Table with 5 columns: MARK, SHEATHING, EDGE NAILING, SHEAR TRANS NAILING, ANCHOR BOLTS. Includes rows for MK1, MK2, MK3, MK4, MK5, MK6 with dimensions and spacing requirements.

NOTES: 1. PANELS MAY BE INSTALLED HORIZONTALLY OR VERTICALLY. MINIMUM PANEL DIMENSION SHALL BE 32". ALL PANEL EDGES SHALL BE BLOCKED. 2. ALL SHEAR PANELS REQUIRE NAILS SPACED AT 12" MAX OC AT ALL INTERMEDIATE SUPPORTS. 3. SHEAR WALL MK1 & MK2 REQUIRE 2X MIN FRAMING AT 16" MAX OC AND PT 2X SILL PLATES. 4. SHEAR WALL MK3 & MK4 REQUIRE 2X MIN FRAMING IN FIELD AT 16" MAX OC WITH 3X MEMBERS AT ABUTTING PANEL JOINTS AND PT 2X SILL PLATES. 5. SHEAR WALL MK5 & MK6 SHALL HAVE PANEL JOINTS STAGGERED ON OPPOSITE SIDES OF THE WALL AND 3X MIN FRAMING AT ALL PANEL JOINTS AND PT 3X SILL PLATES. 6. ANCHOR BOLTS SHALL BE ASTM A307 WITH 8" MIN EMBEDMENT. ALL ANCHOR BOLTS SHALL HAVE 1/4" X 3" X3" PLATE WASHERS AND SHALL BE CENTERED 2" MAX FROM SHEATHED SIDE OF WALL. 7. ALL NAILS TO BE HOT DIP GALVANIZED 8D COMMON OR 10D COMMON AS NOTED. 8. PROVIDE DBL KING STUD CONNECTED WITH 16D @ 4" OC OR 4X AT EA END EA SHEAR WALL UNO

1 SHEAR WALL SCHEDULE SCALE: NOT APPLICABLE

NOTES: 1. MK1 INDICATES PLYWOOD SHEAR WALL. SEE 1/S1.0 FOR INFORMATION. REQUIREMENTS FOR SHEAR WALLS SHOWN APPLY TO WALLS ABOVE LEVEL INDICATED. FOR REQUIREMENTS BELOW LEVEL INDICATED, SEE PLAN BELOW. SHEAR WALL REQ'TS APLY FULL LENGTH OF WALLS. EXT WALLS TO MEET MARK 1 REQUIREMENTS IN ALL LOCATIONS UNLESS HEAVIER SHEAR WALL REQUIREMENTS ARE INDICATED. 2. FTG4 INDICATES PAD FOOTING. SEE 4/55.1 FOR DETAILS. 3. MK1 INDICATES 4X4 POST TYP UNO. POSTS SHALL HAVE CB BASES AND CCQ OR ECCQ CAPS AS APPROPRIATE UNO. POSTS IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. 4. MK4 INDICATES 4X6 POST TYP UNO. POSTS SHALL HAVE CB BASES AND CCQ OR ECCQ CAPS AS APPROPRIATE UNO. POSTS IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. 5. MK6 DFF#1 POST TYP UNO. POSTS SHALL HAVE CB BASES AND CCQ OR ECCQ CAPS AS APPROPRIATE UNO. POSTS IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. 6. SEE 5/55.1 FOR WALL FRAMING DETAILS, TYP HEADER SIZES AND OTHER STANDARD FRAMING REQUIREMENTS 7. FRAMING PLANS SHOW INFORMATION BASED ON A PLANE CUT IMMEDIATELY ABOVE THE RELATIVE LEVEL LOOKING DOWNWARD. THEREFORE, ELEMENTS SHOWN ARE TYPICALLY BELOW THE LEVEL. FOR INSTANCE, HEADERS SHOWN ON ROOF PLAN OCCUR ABOVE THIRD FLOOR WALL OPENINGS.

2 TYPICAL FRAMING PLAN NOTES SCALE: NOT APPLICABLE

SPECIAL INSPECTION REQUIREMENTS

Table with 5 columns: SPECIAL INSPECTION ITEM, CONTINUOUS, PERIODIC, NOT APPLICABLE, COMMENTS. Lists items like SOILS, CONCRETE MIX DESIGNS, REINFORCEMENT PLACEMENT, STRUCTURAL STEEL, MASONRY, and TIMBER.

NOTES: 1. SPECIAL INSPECTION SHALL BE PERFORMED IN ACCORDANCE IN INTERNATIONA BUILDING CODE (IBC) CHAPTER 17 REQUIREMENTS. 2. ITEMS MARKED WITH AND "X" SHALL BE INSPECTED BY A CERTIFIED INSPECTOR IN ACCORDANCE WITH IBC CHAPTER 17 REQUIREMENTS. 3. CONTINUOUS INSPECTION MEANS THAT THE CERTIFIED INSPECTOR IS ON SITE AT ALL TIMES WHEN THE PARTICULAR ACTIVITY IS OCCURRING. 4. PERIODIC INSPECTION MEANS THA THE INSPECTOR IS ON SITE AT INTERVALS AS NEEDED TO VERIFY THAT THE WORK CONFORMS WITH PROJECT REQUIREMENTS.



11/23/21 FOR JURISDICTION REVIEW

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CLIENT: NEIL KELLY DESIGN/BUILD 5959 CORSON AVE S, SUITE B SEATTLE, WA 98108

PROJECT NAME / ADDRESS: NICHOLAS MALONE 4214 86TH AVE SE MERCER ISLAND, WA 98040

Project Number: 21133

Date: NOV 2021

Scale: NOT APPL.

Sheet: S1.0



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5959 CORSON AVE S, SUITE B
SEATTLE, WA 98108

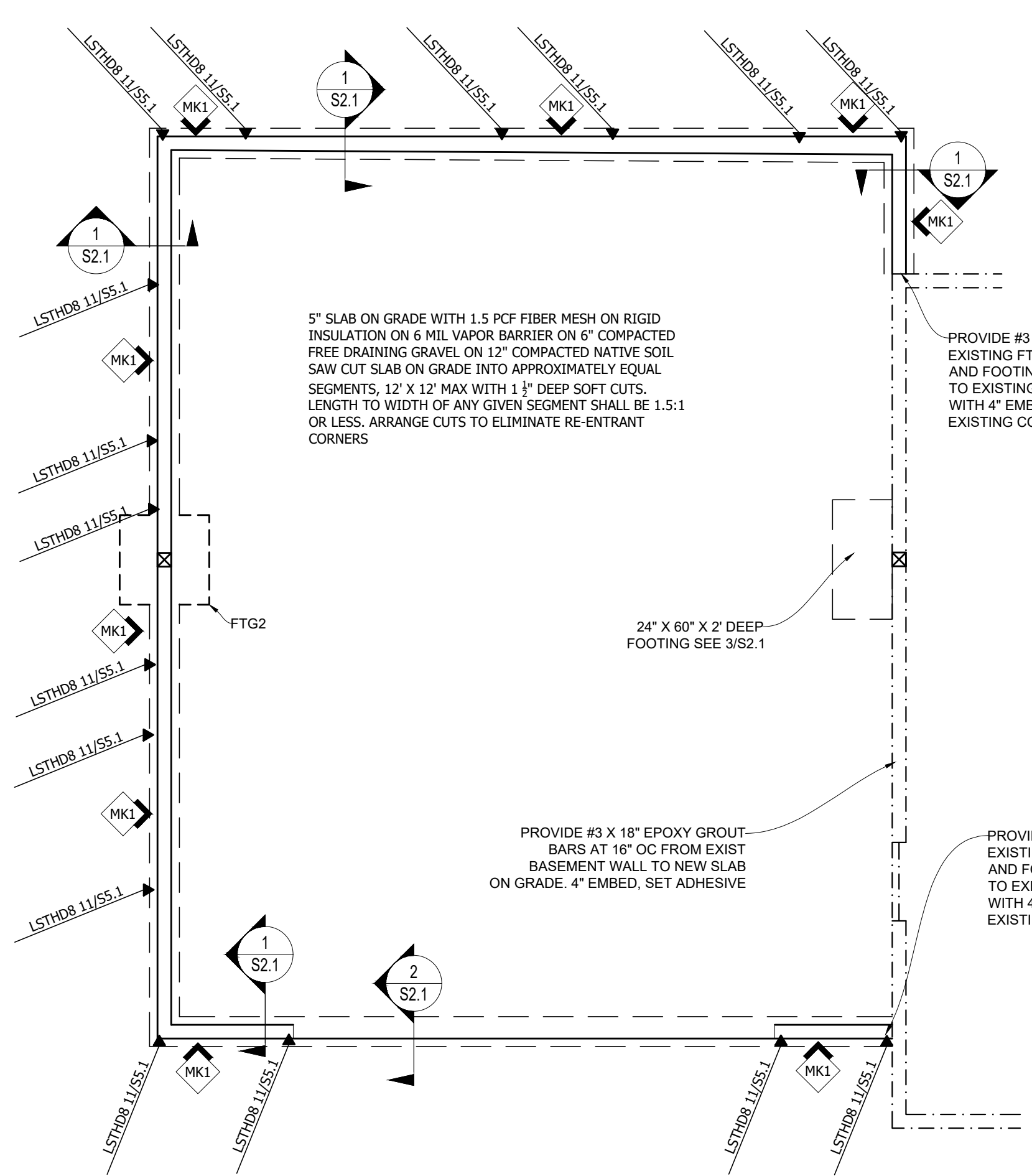
PROJECT NAME / ADDRESS:
NICHOLAS MALONE
4214 86TH AVE SE
MERCER ISLAND, WA 98040

Project Number:
21133

Date:
NOV 2021

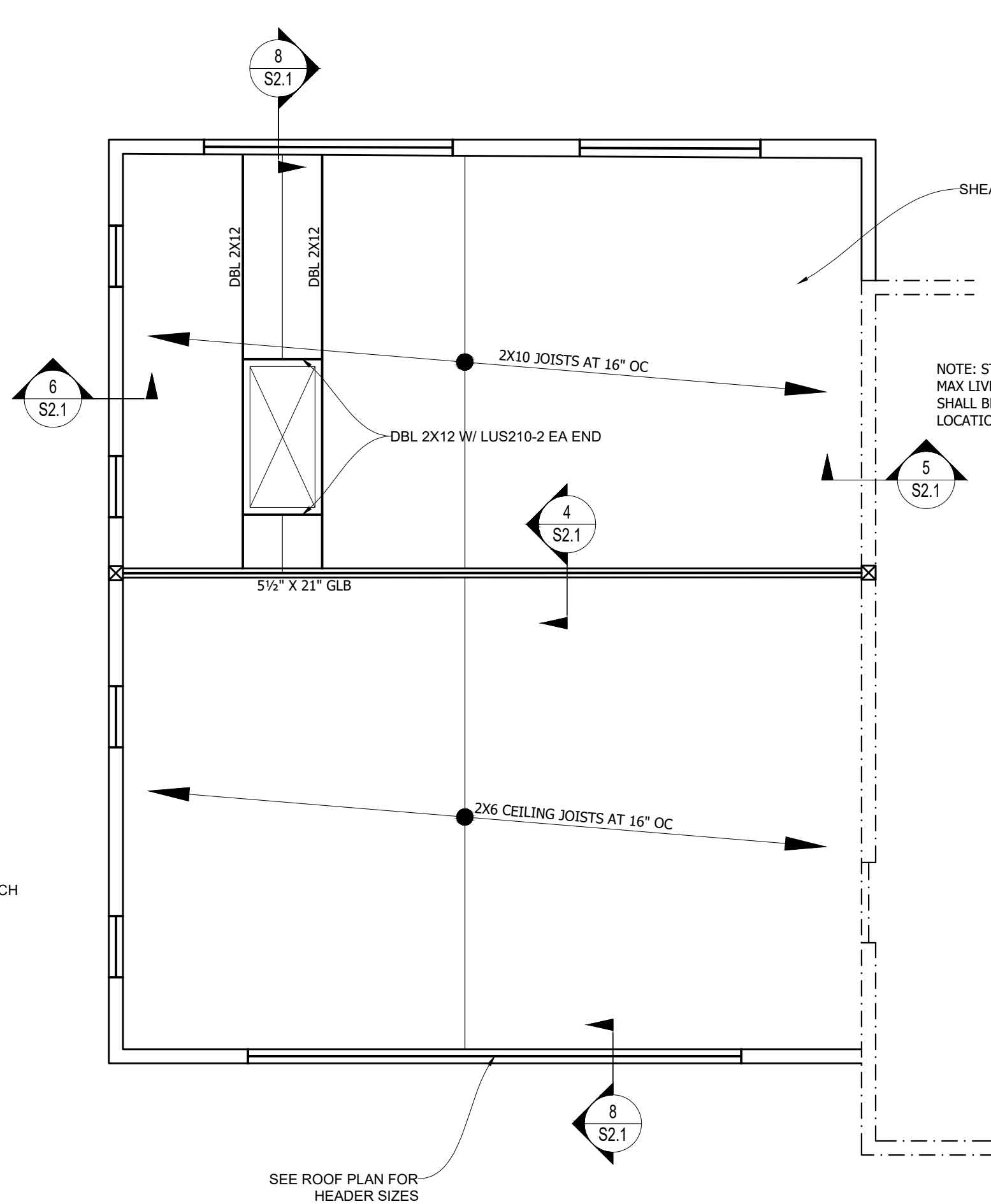
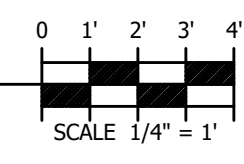
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S2.1



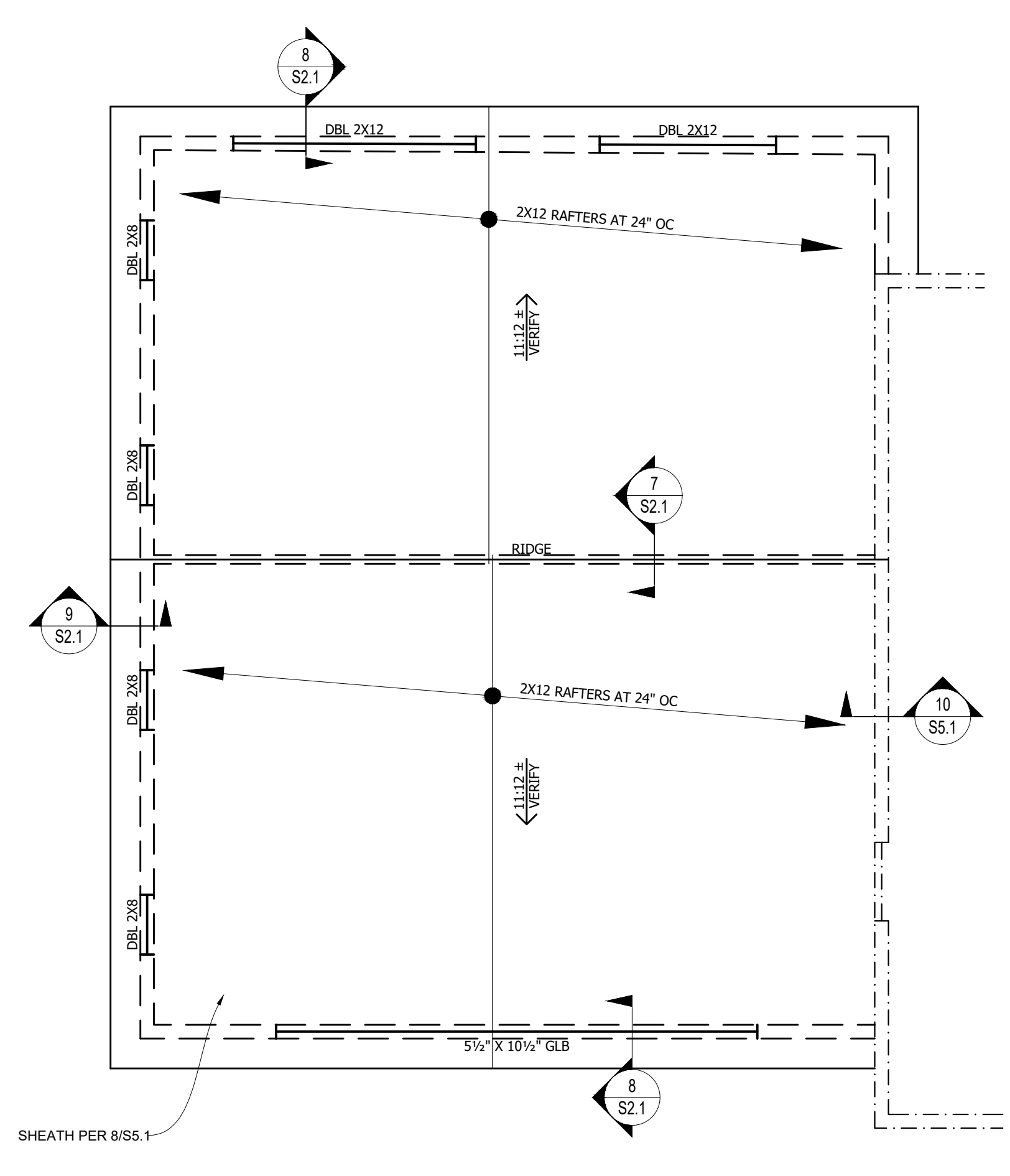
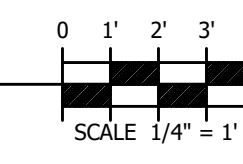
FOUNDATION PLAN

SEE 2/S1.0 FOR TYP FRAMING NOTES



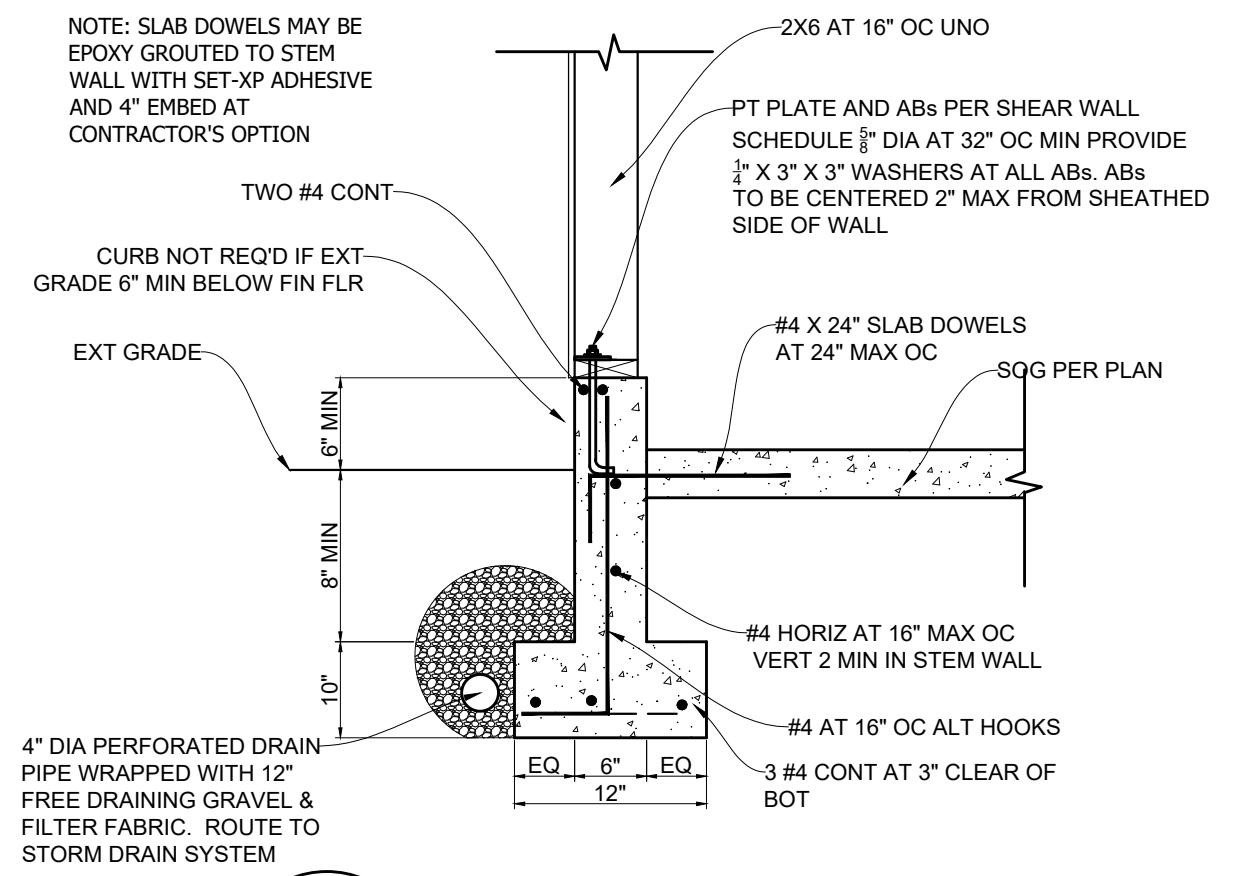
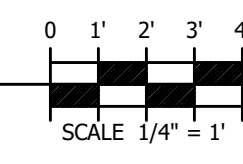
STORAGE LOFT FRAMING PLAN

SEE 2/S1.0 FOR TYP FRAMING NOTES

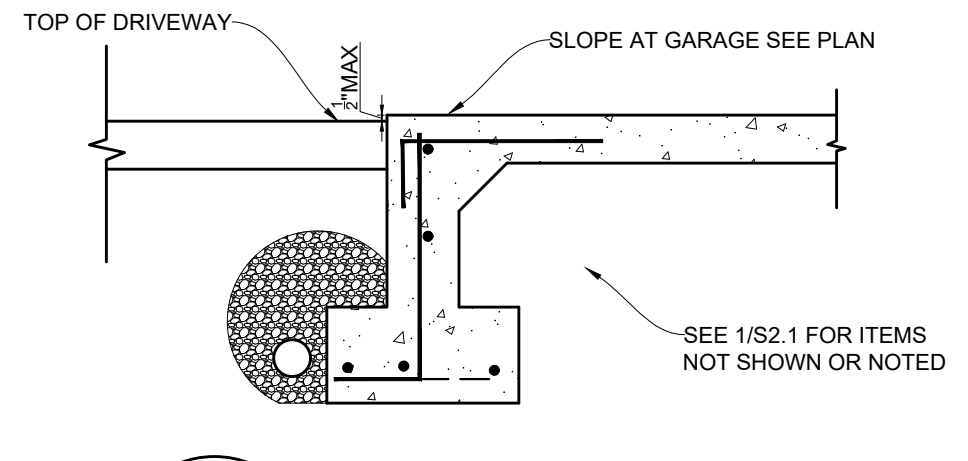


ROOF FRAMING PLAN

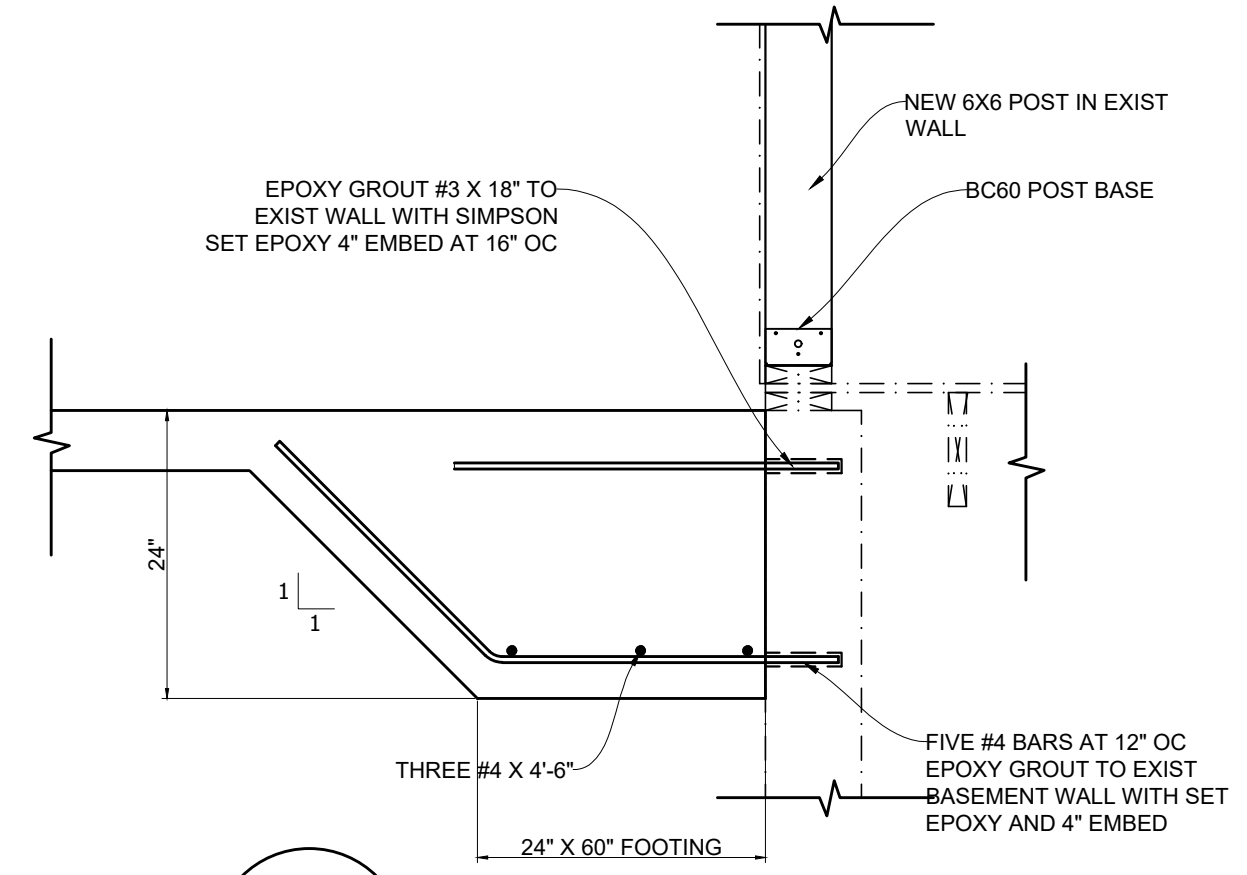
SEE 2/S1.0 FOR TYP FRAMING NOTES



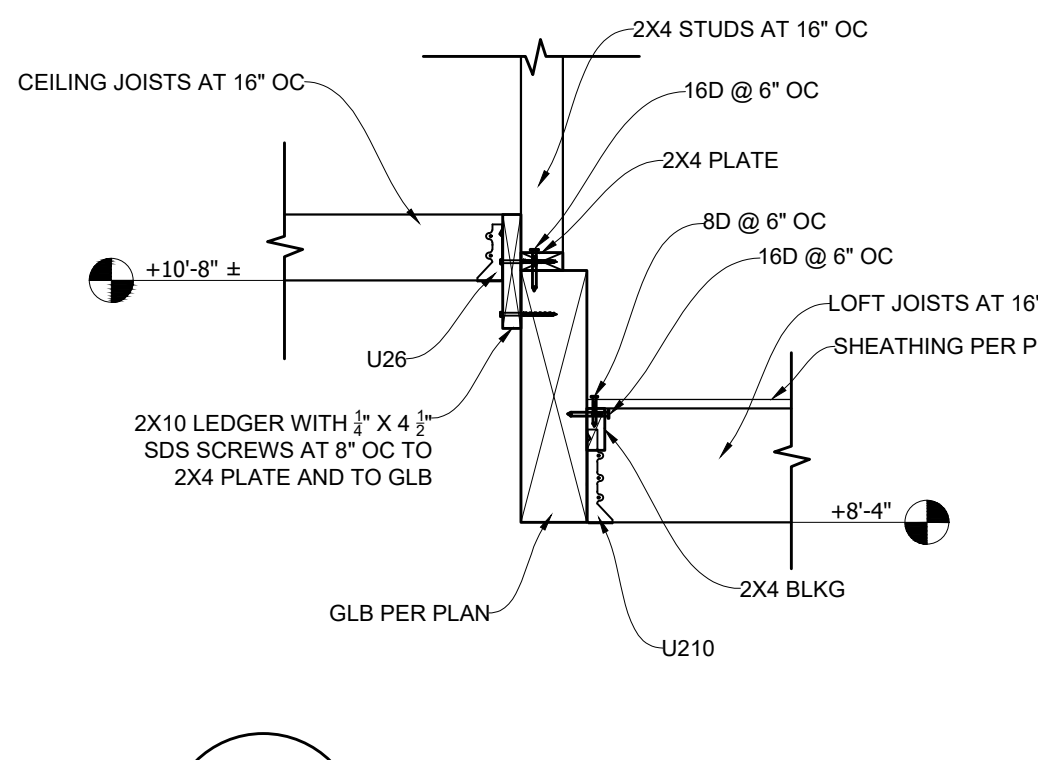
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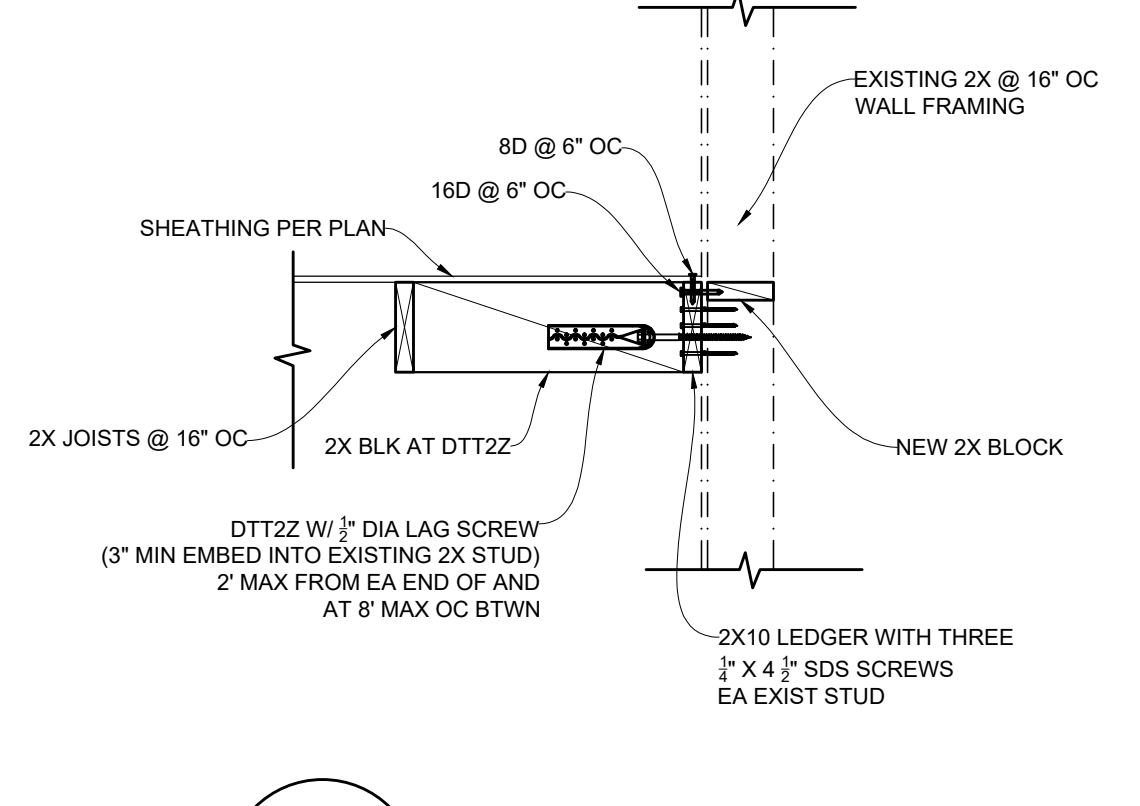
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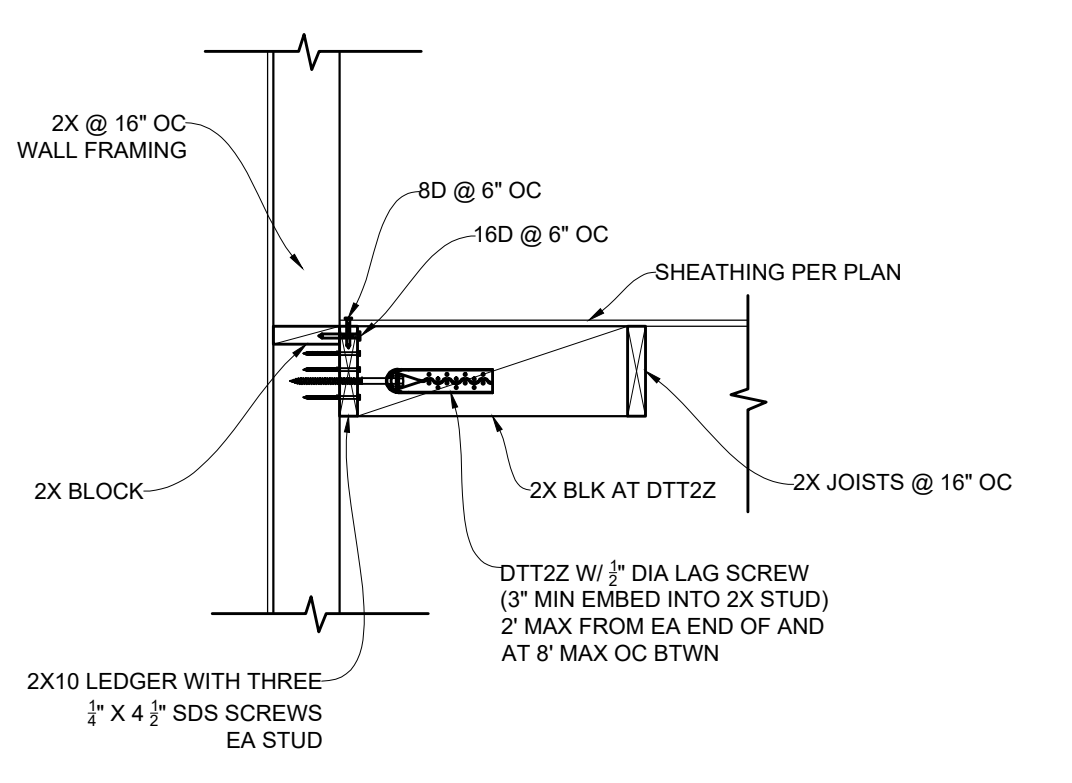
3 DETAIL
SCALE: 3/4\"/>



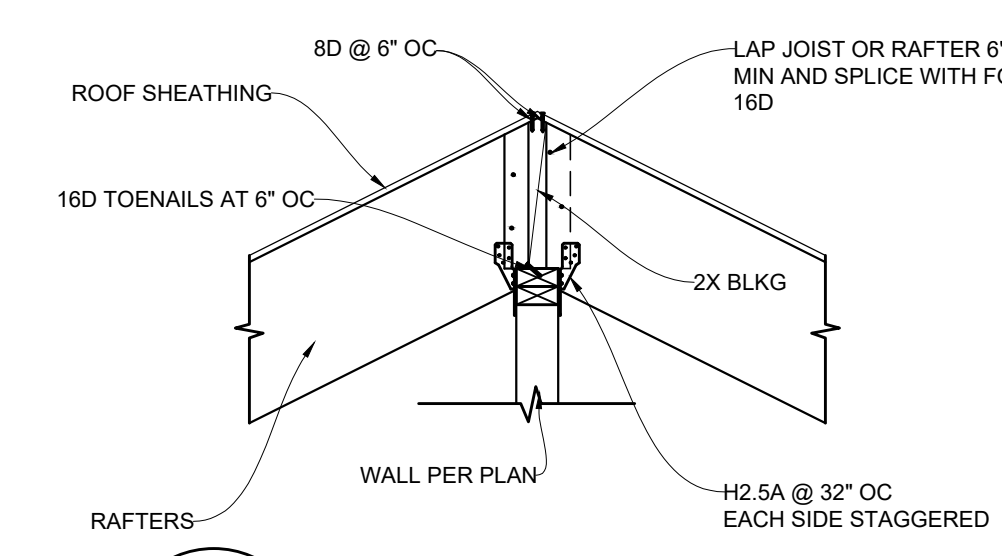
4 DETAIL
SCALE: 3/4\"/>



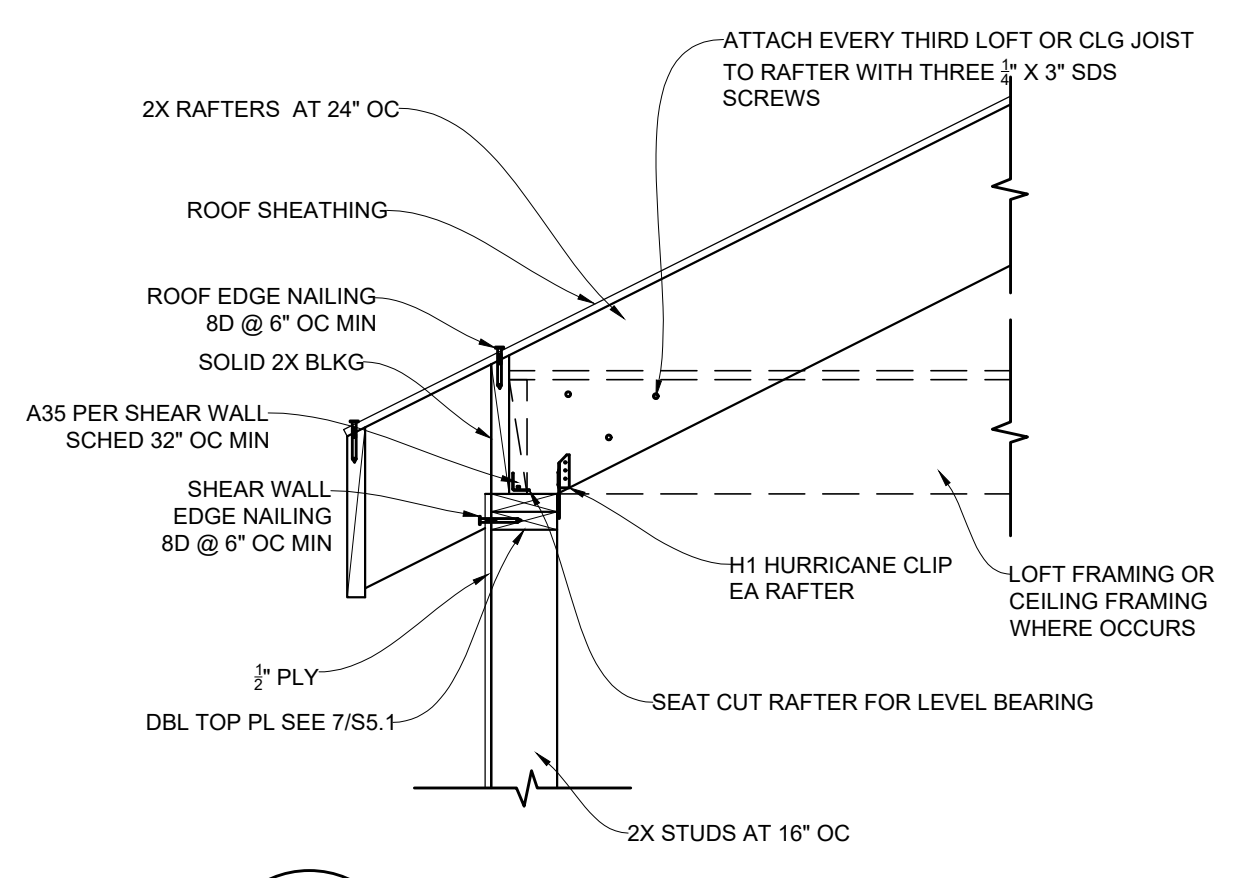
5 DETAIL
SCALE: 3/4\"/>



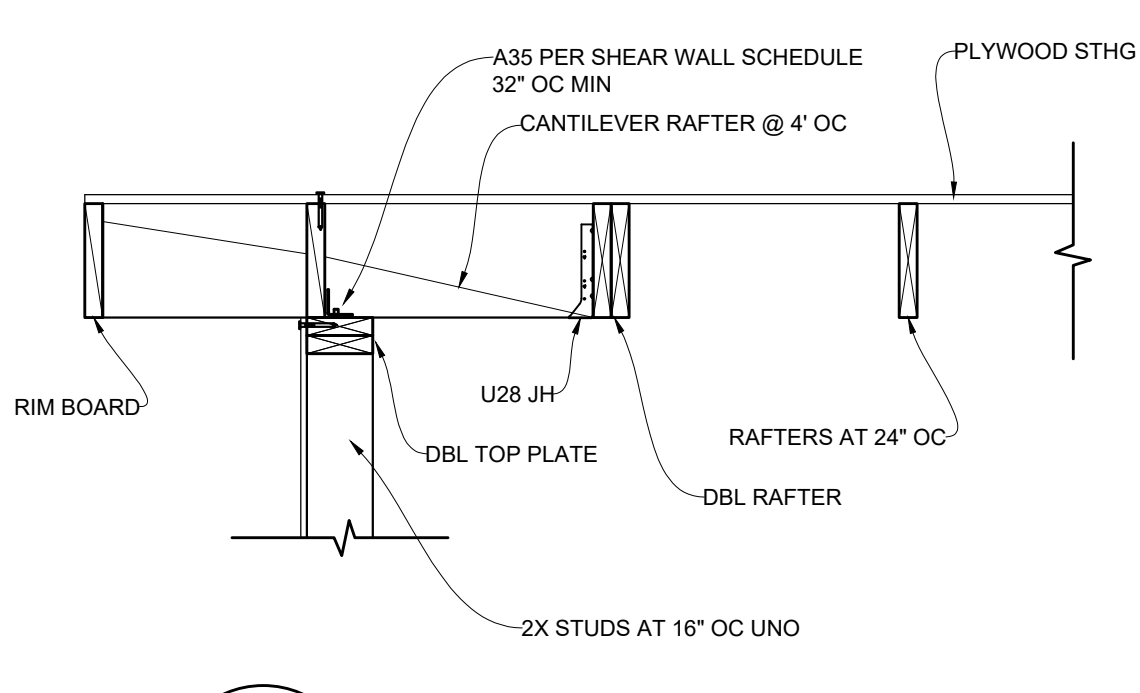
6 DETAIL
SCALE: 3/4\"/>



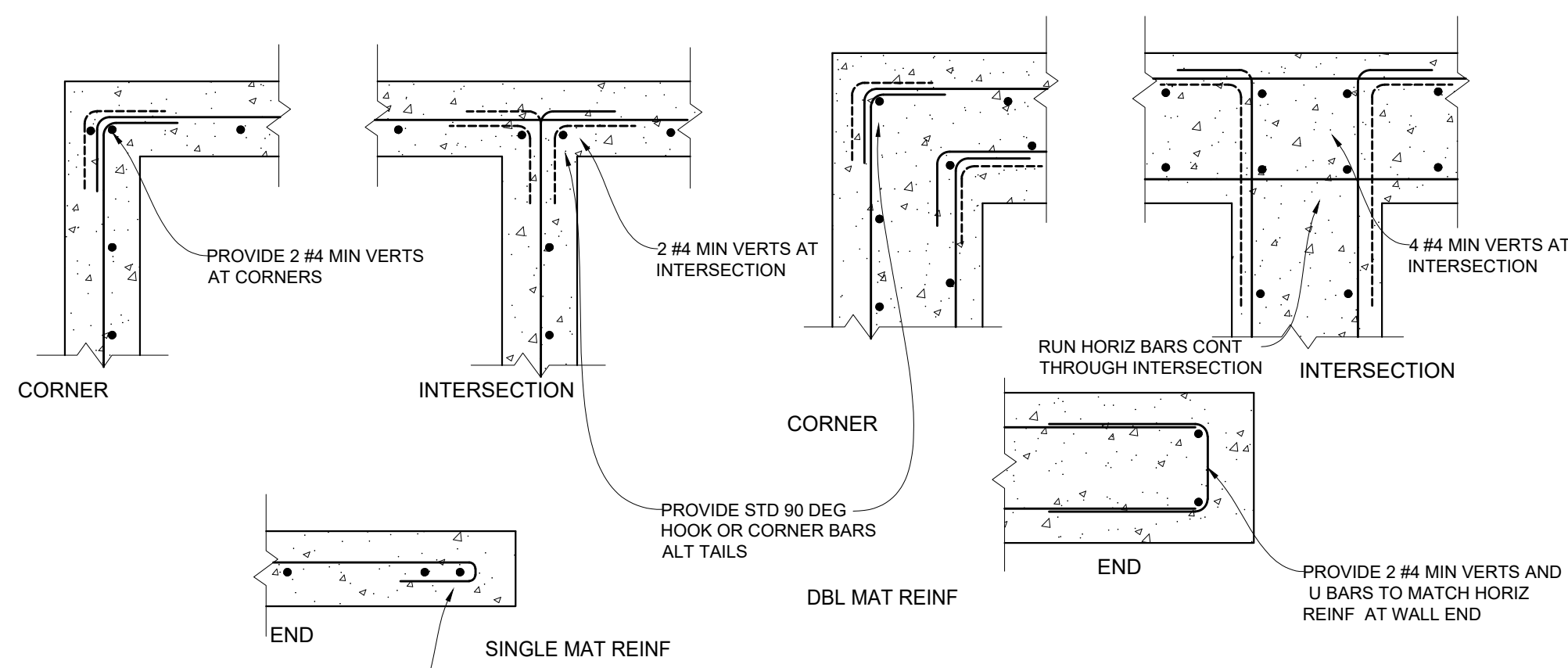
7 RAFTER TO WALL
SCALE: 3/4\"/>



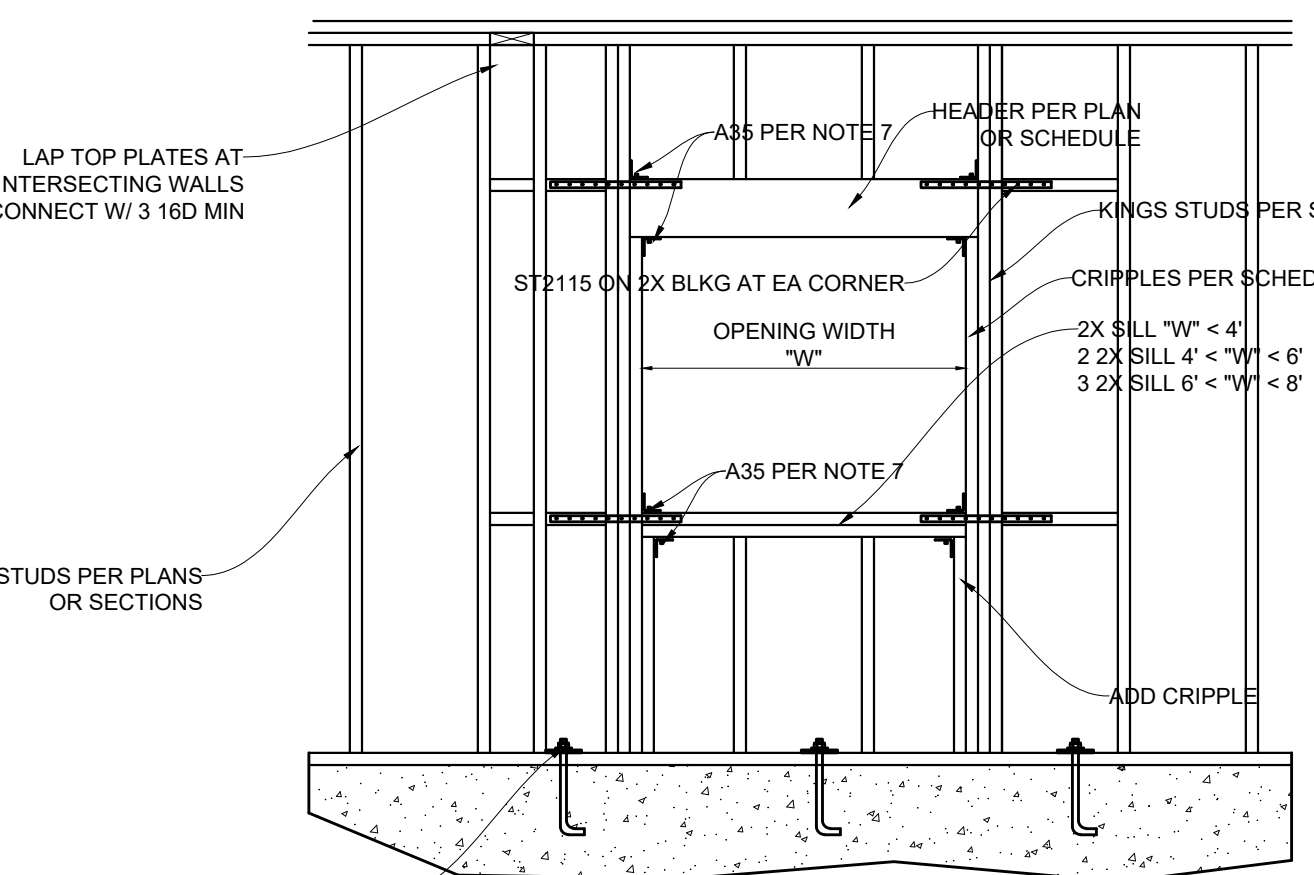
8 RAFTER BEARING
SCALE: 3/4\"/>



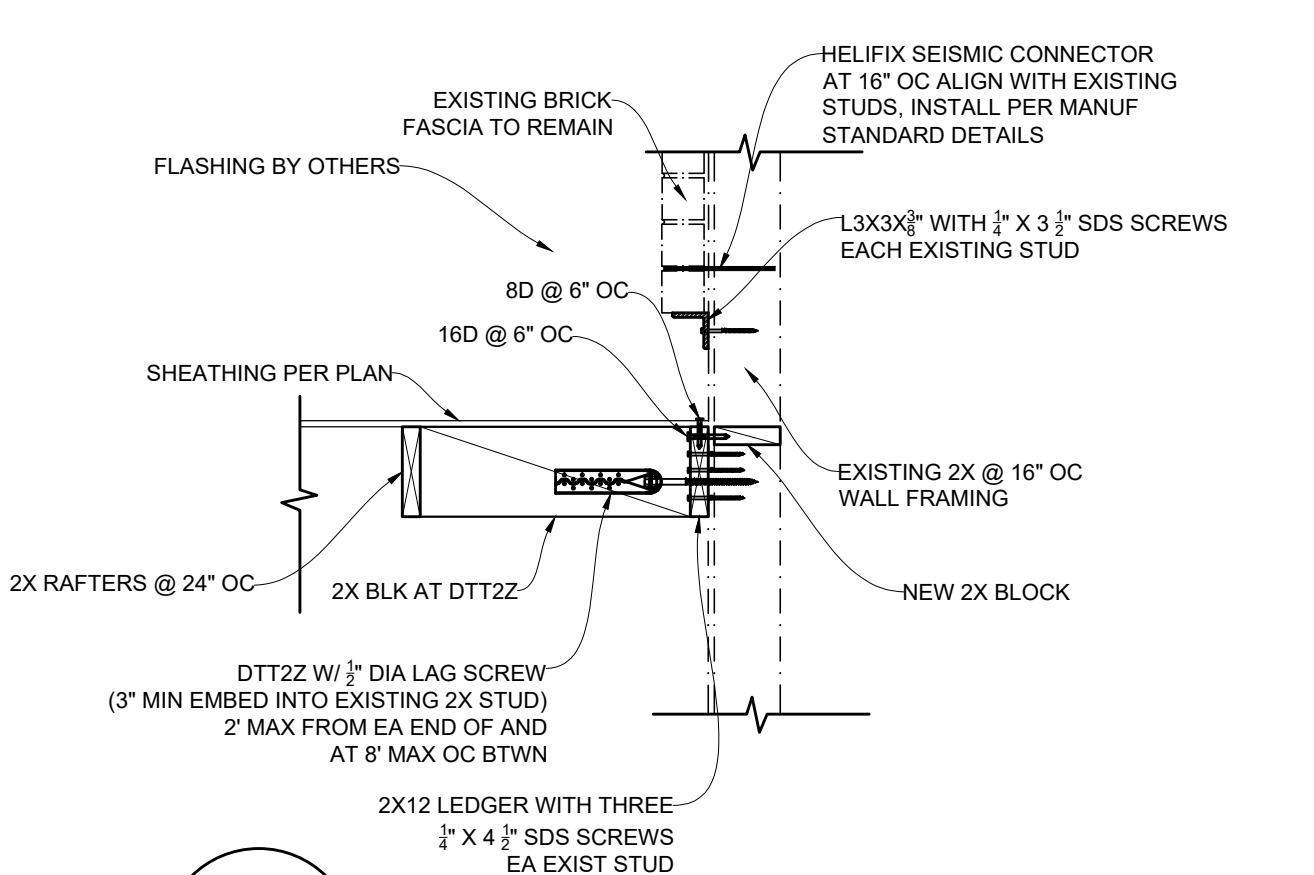
9 ROOF JOIST PARALLEL
SCALE: 3/4\"/>



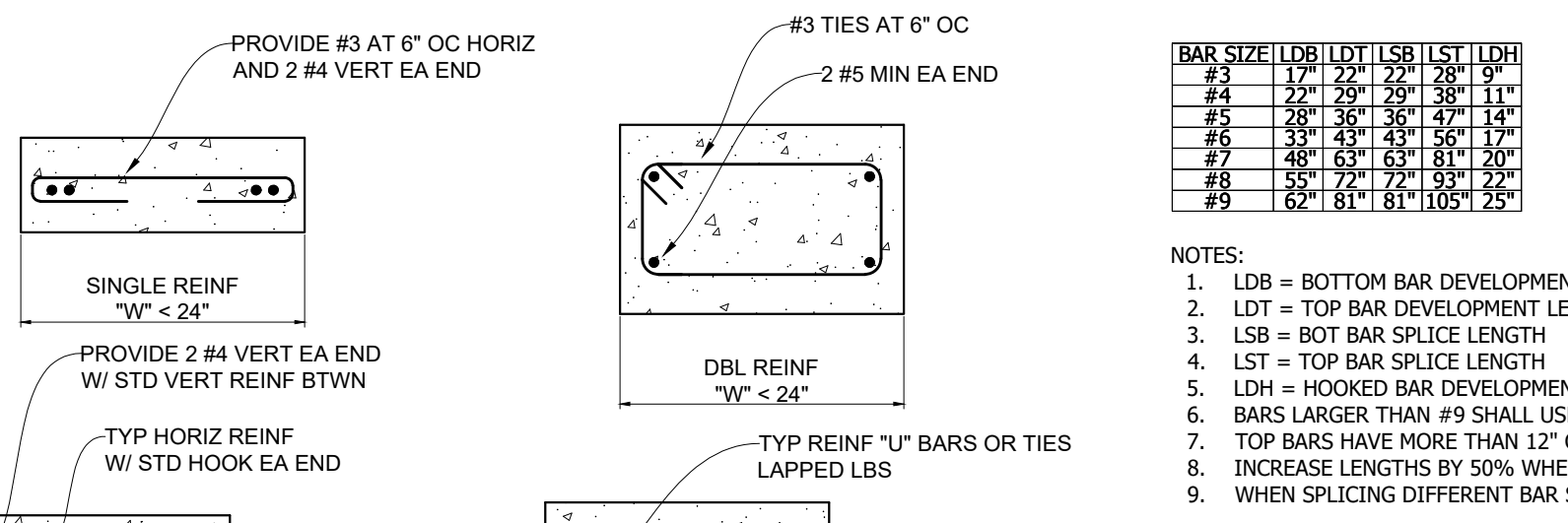
1 TYP CONC WALL REIN
S5.1 SCALE: 3/4" = 1'-0"



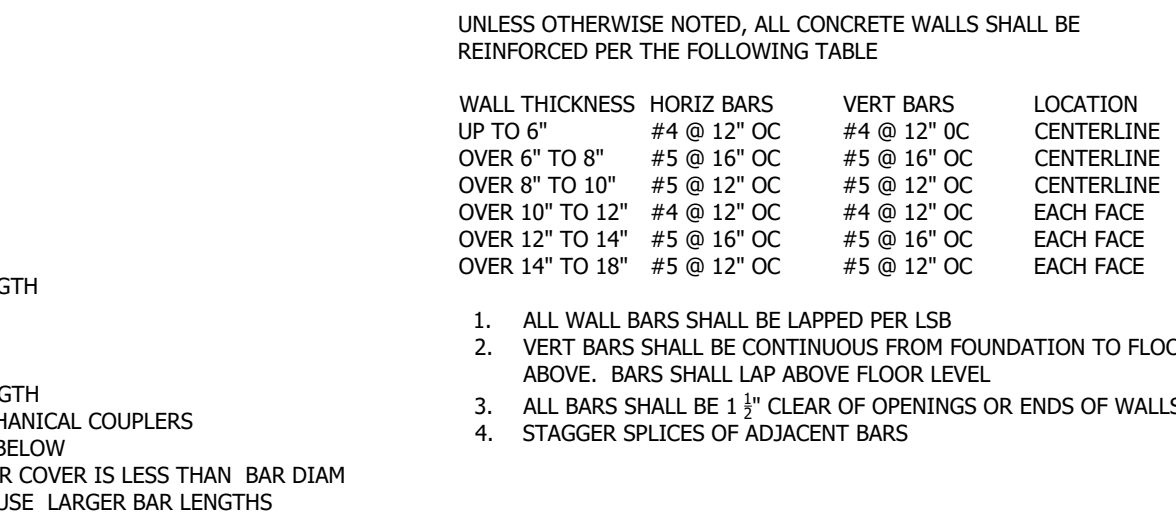
5 TYP WOOD WALL FRAMING
S5.1



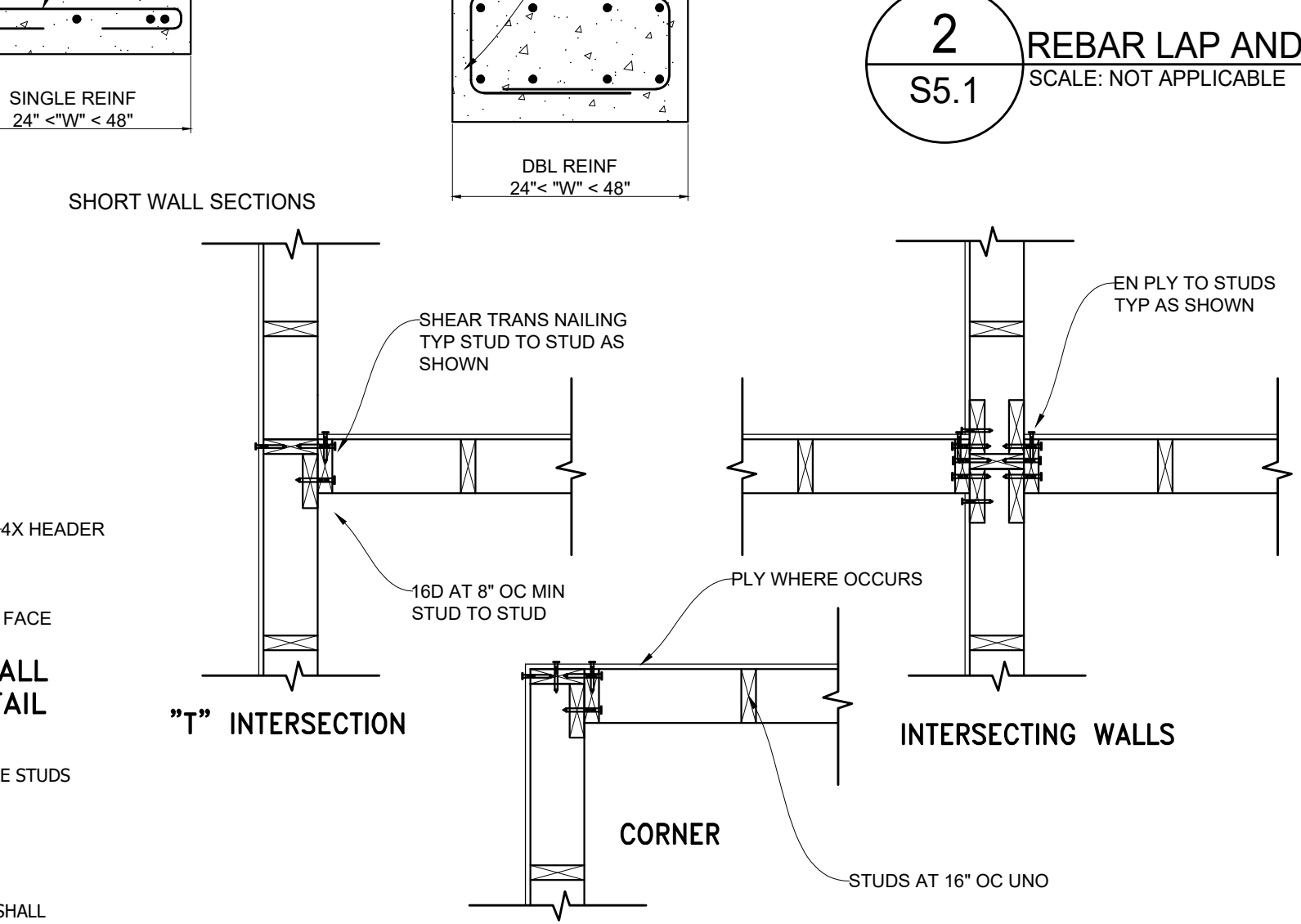
11 FOUNDATION HOLD DOWN
S5.1 SCALE: 3/4" = 1'-0"



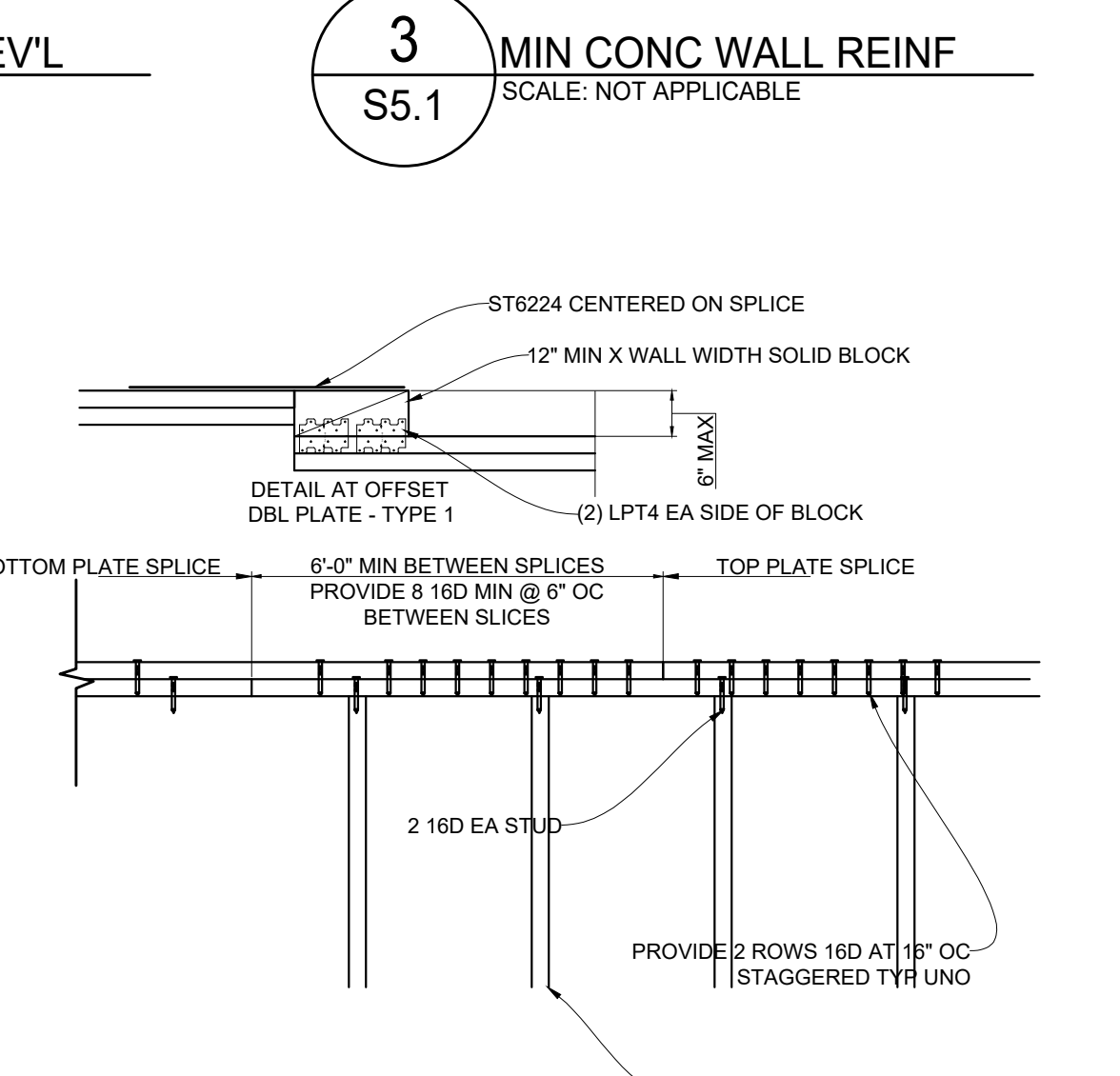
2 REBAR LAP AND DEV'L
S5.1 SCALE: NOT APPLICABLE



3 MIN CONC WALL REIN
S5.1 SCALE: NOT APPLICABLE



6 TYP WOOD WALL FRAMING
S5.1 SCALE: 3/4" = 1'-0"



7 TYP DOUBLE TOP PLATE SPLICE
S5.1 SCALE: 3/4" = 1'-0"

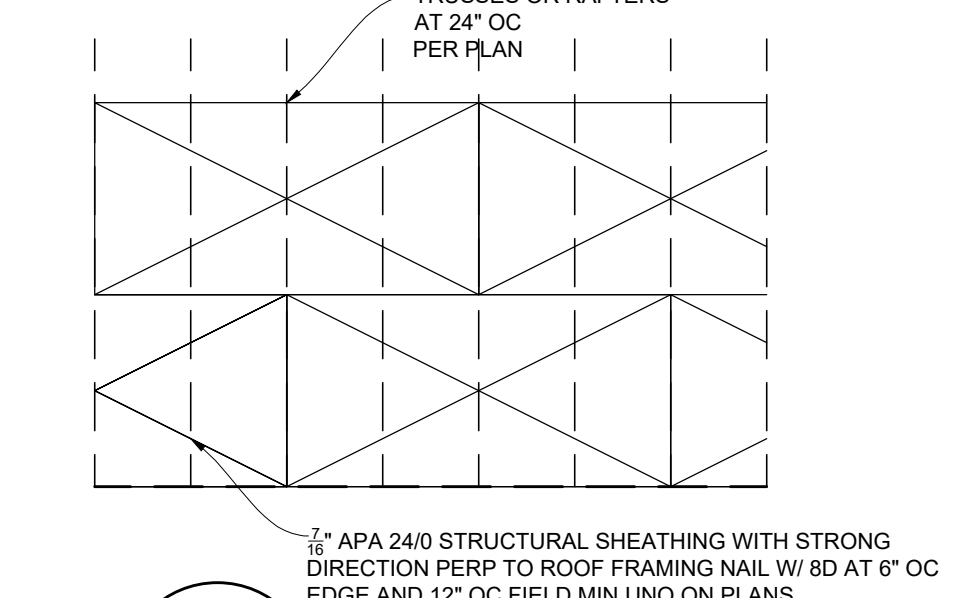
FOOTING SCHEDULE

MARK	SIZE	REINFORCEMENT
FTG1	2' X 2' X 10"	(3) #4 BARS EACH WAY
FTG2	3' X 3' X 12"	(4) #4 BARS EACH WAY
FTG3	4' X 4' X 12"	(5) #4 BARS EACH WAY
FTG4	4' X 4' X 24"	(5) #5 BARS EACH WAY TOP AND BOTTOM
FTG5	5' X 5' X 12"	(6) #5 BARS EACH WAY
FTG6	6' X 6' X 24"	(7) #6 BARS EACH WAY TOP AND BOTTOM
FTG7	16" DIA X 18" EMBED	W/ (4) #3 VERT AND #3 TIES AT 6" OC

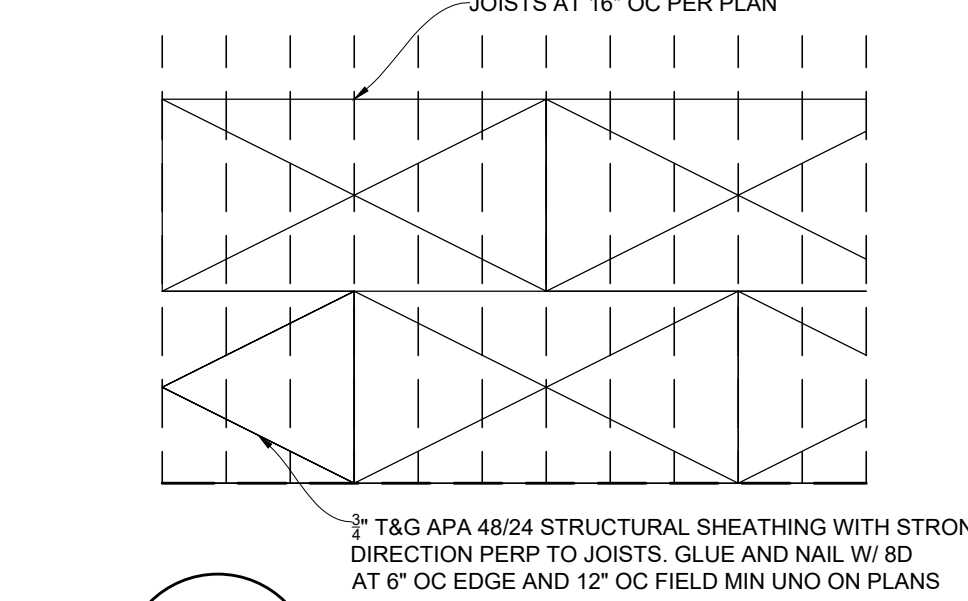
NOTES:

- SPREAD FOOTINGS SHALL BE CENTERED UNDER WALL OR POST AS APPLICABLE. EXTERIOR FOOTINGS SHALL BE BASED 18" MINIMUM BELOW LOWEST ADJACENT GRADE.
- FOUNDATION CONCRETE SHALL BE 3000 PSI, 3/4" MAX AGGREGATE, NORMAL WEIGHT, 4" MAX SLUMP, 0.5 MAX W/C RATIO.
- BOTTOM REINFORCEMENT SHALL BE 3" CLEAR OF BOTTOM OF FOOTING. TOP REINFORCEMENT SHALL BE 2" CLEAR OF TOP.
- BOTTOM OF PAD FTGS SHALL BE FLUSH WITH BOTTOM OF ADJACENT WALL FTGS

4 FOOTING SCHEDULE
S5.1 SCALE: NOT APPLICABLE



8 TYP ROOF SHEATHING
S5.1 SCALE: 3/4" = 1'-0"



9 TYP FLOOR SHEATHING
S5.1 SCALE: 3/4" = 1'-0"

10 DETAIL
S5.1 SCALE: 3/4" = 1'-0"



11/23/21 FOR JURISDICTION REVIEW

ENGINEER:
PB STRUCTURES PLLC
PO BOX 354
MAPLE VALLEY, WA 98038
425.691.0443

CLIENT:
NEIL KELLY DESIGN/BUILD
5959 CORSON AVE S, SUITE B
SEATTLE, WA 98108

PROJECT NAME / ADDRESS:
NICHOLAS MALONE
4214 86TH AVE SE
MERCER ISLAND, WA 98040

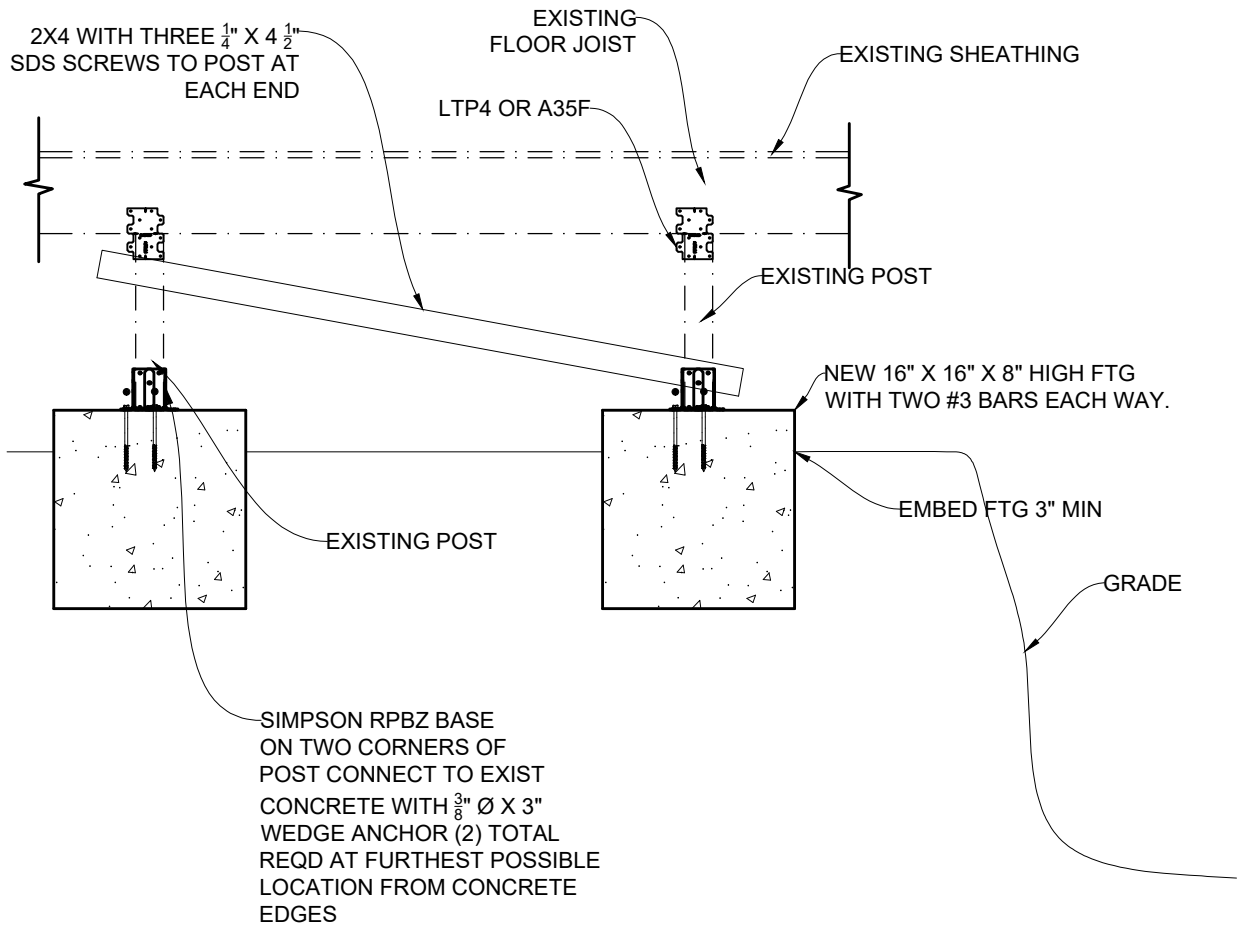
Project Number:
21133

Date:
NOV 2021

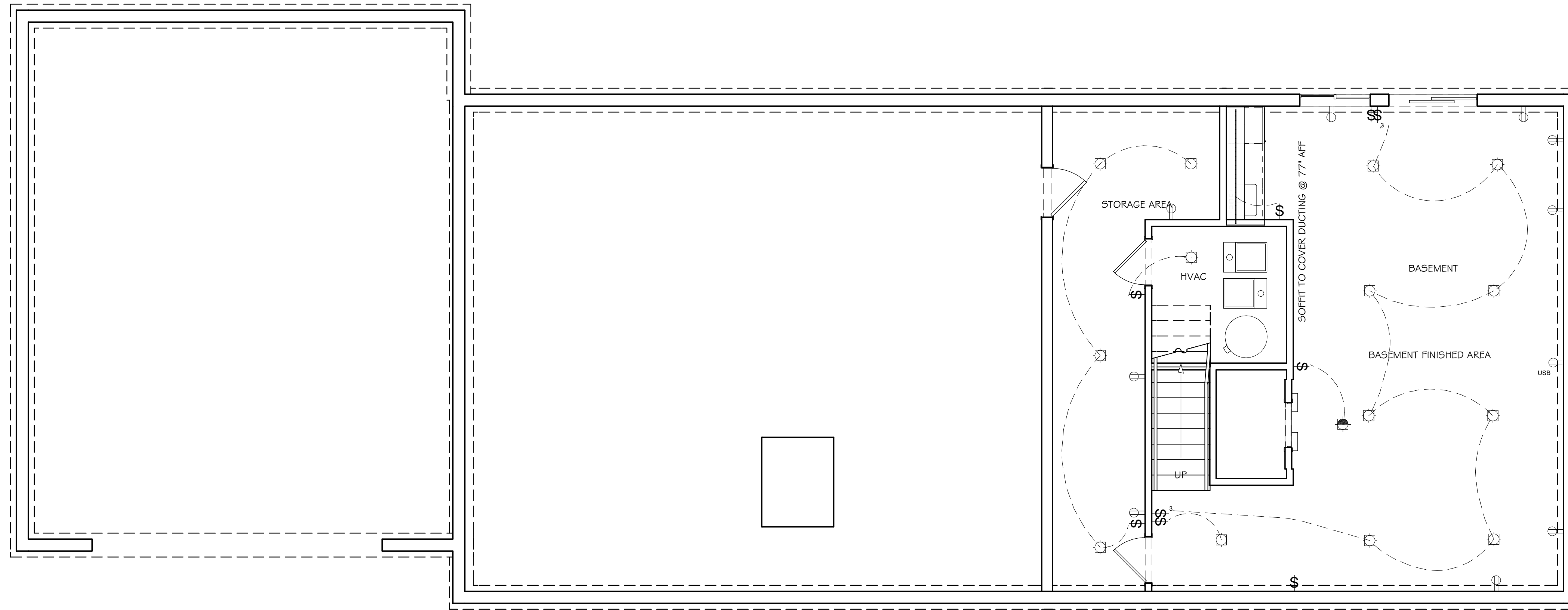
Scale:
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Sheet:
S5.1

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PROJECT NAME: MALONE 4214 86TH AVE SE MERCER ISLAND, WA 98040		PROJECT NUMBER: 21133
		DATE: 01/24/2021
ENGINEER: PB STRUCTURES PLLC PO BOX 354 MAPLE VALLEY, WA 98038		SCALE: 1/2" = 1' 0"
		TITLE: SK1



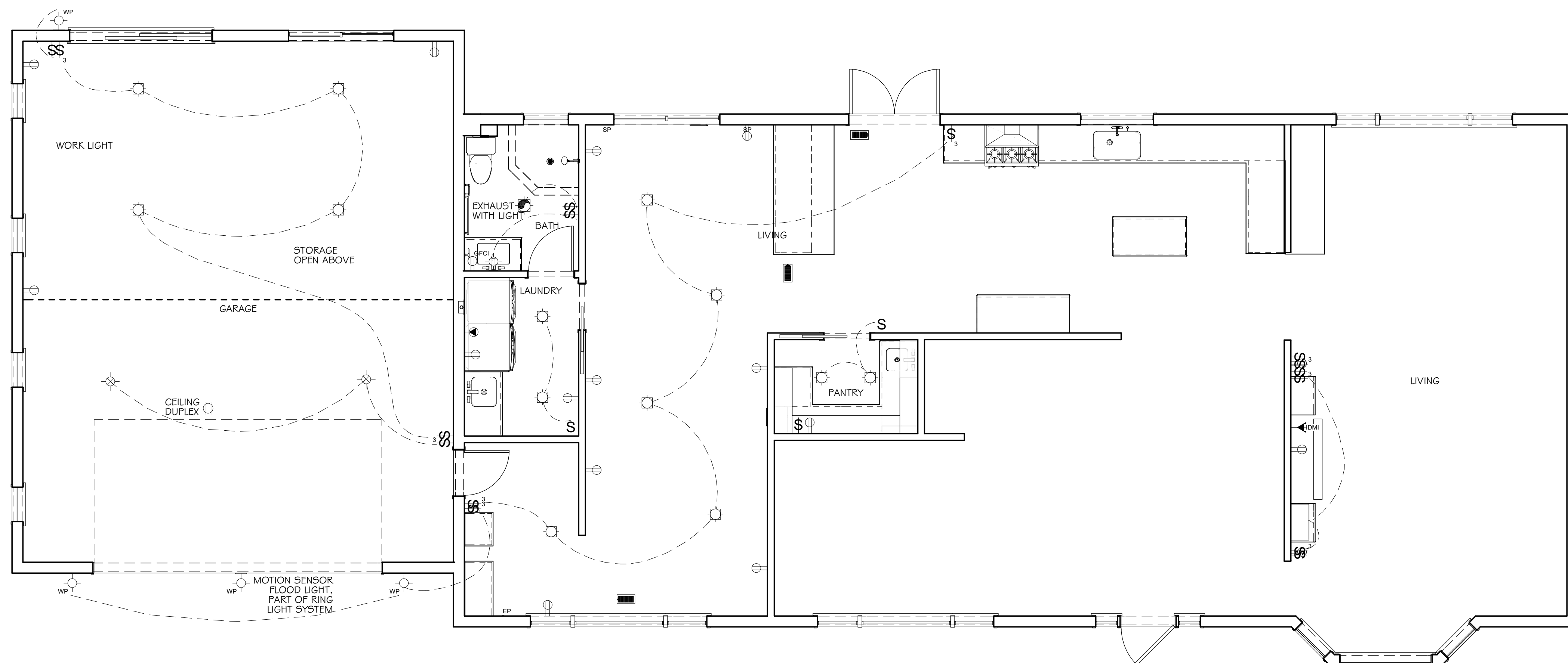
ELECTRICAL LEGEND	
	SWITCH
LOV DUPLX symbol"/>	1/2" LOV DUPLX
	DEDICATED APPLIANCE OUTLET
	CEILING PENDANT CHANDELIER
	RECESSED CEILING LIGHT
	WALL-MOUNTED LIGHT
	TELEPHONE JACK
	UNDER CABINET LIGHTING

ELECTRICAL NOTES	
3	3-WAY SWITCH
DM	DIMMER SWITCH
GFCL	GROUND FAULT CIRCUIT INTERRUPTER
T	TIMER SWITCH
WP	WEATHERPROOF

WALL LEGEND	
	EXISTING WALLS TO REMAIN
	OPENINGS TO BE ENCLOSED
	NEW HALF WALLS
	NEW FULL-HEIGHT WALLS

GENERAL NOTES	
E	EXISTING
N	NEW
RL	RELOCATE
RP	REPLACE

BASEMENT ELECTRICAL PLAN
1/4" = 1'-0"



PROPOSED ELECTRICAL PLAN
1/4" = 1'-0"

Neil Kelly
Design/Build Remodeling
3559 Conner Ave SE, Bellevue, WA 98008
206.343.2828
OR CCB# 001663 / WA L&E NEILKCI 18702

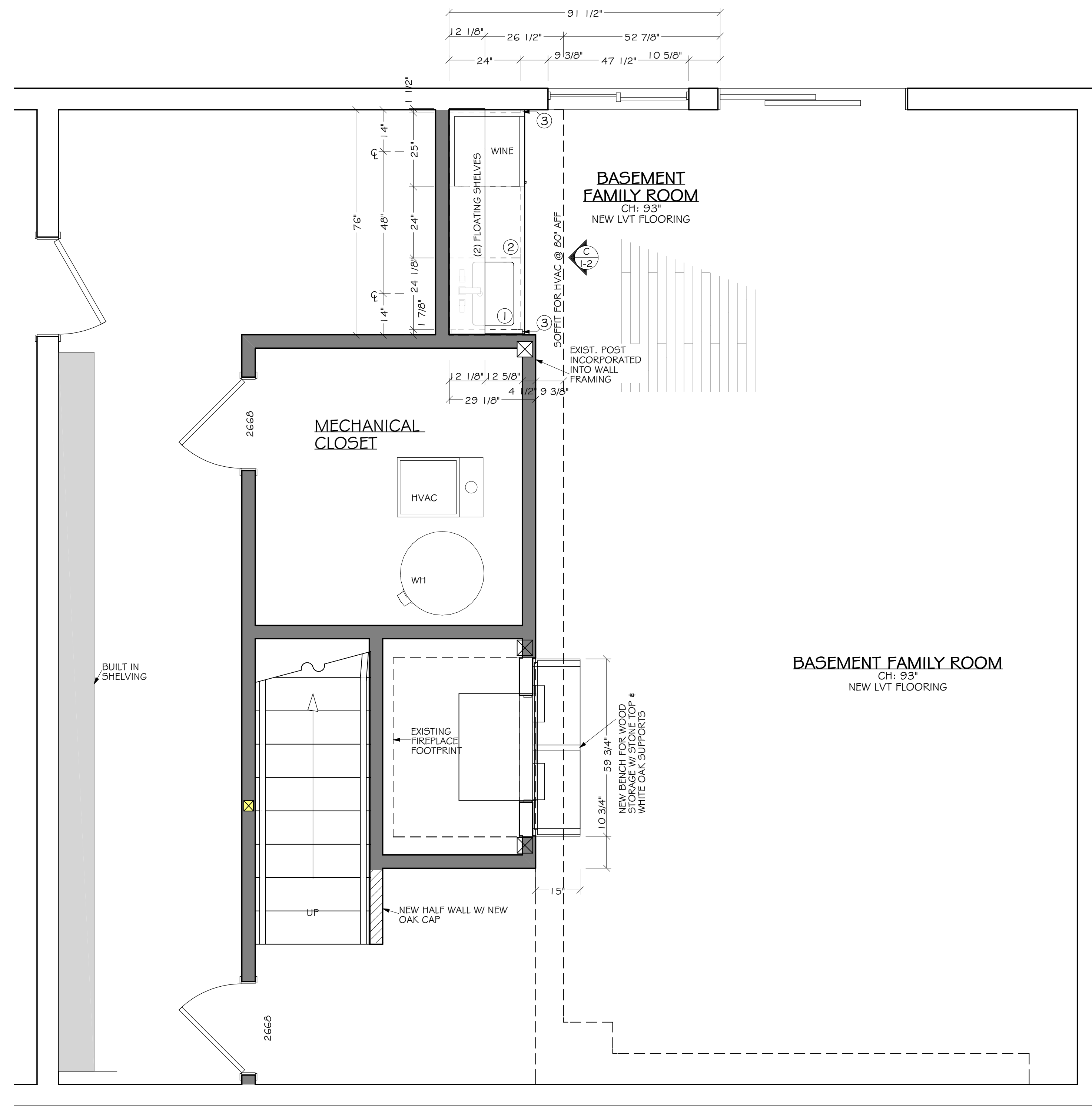
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HOMEOWNER APPROVAL
SEE DECLARATIONS ON PAGE 01

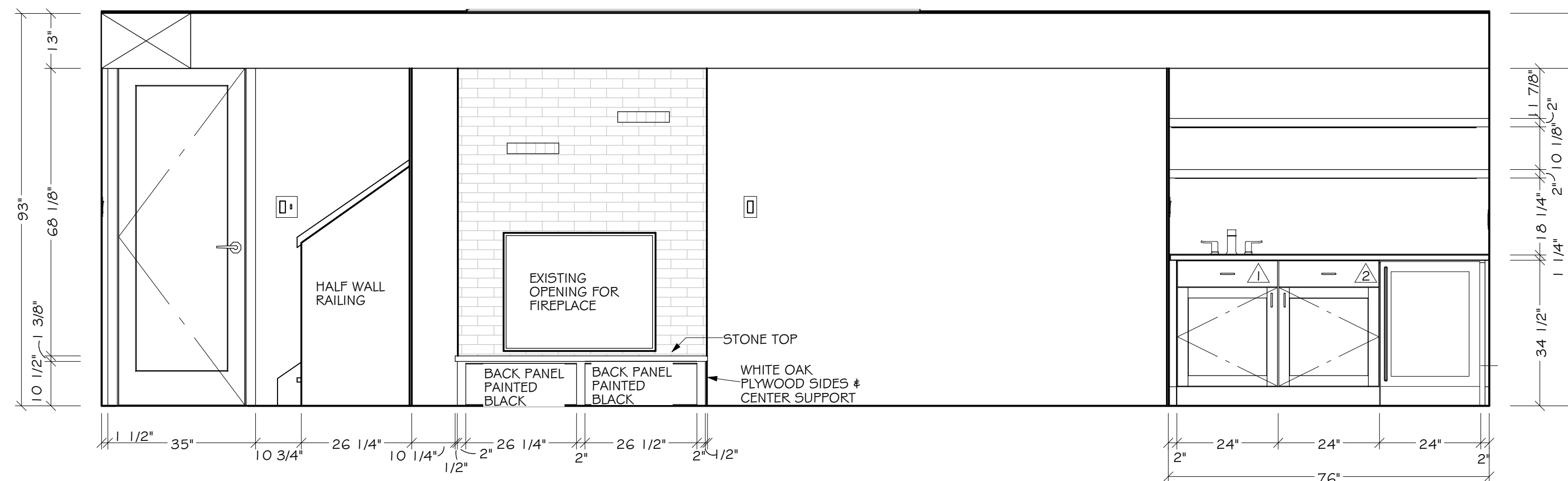
INITIAL DATE
INITIAL DATE

Remodeling Project for:
Nicholaus Malone
4214 86th Ave SE
Mercer Island, WA 98040
Design Consultant: Jamie Ormugeresky
Project Manager: Tony Lopez

I-1
PROPOSED ELECTRICAL PLANS
SCALE: 1/4" = 1'-0"
6/8/2022



BAR CABINET PLAN
1/2" = 1'-0"



ELEVATION C: BAR
1/2" = 1'-0"

CABINET LEGEND
REFERENCE CABINET ORDER FOR DETAILS

#	= SG1: KITCHEN-BAR
#	= SG2: BATH-LAUNDRY & HALL BATH
#	= SG3: OTHER-MUDROOM
#	= SG4: OTHER-PANTRY

CABINET NOTES
Decor SG1 - FP440, Cherry, Charcoal

- ④ (1) Toe Kick
- ⑤ (1) Touch Up Kit

WALL LEGEND

[Line]	EXISTING WALLS TO REMAIN
[Dashed Line]	OPENINGS TO BE ENCLOSED
[Hatched Box]	NEW HALF WALLS
[Solid Box]	NEW FULL-HEIGHT WALLS

Neil Kelly
Design/Build Remodeling
3559 Conner Ave SE
Burien, WA 98148
OR CCB# 001663 / WALL & F NEILKCI 18702

DRAWN: []
REVISED: []
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HOMEOWNER APPROVAL
SEE DECLARATION ON PAGE 01

INITIAL	DATE

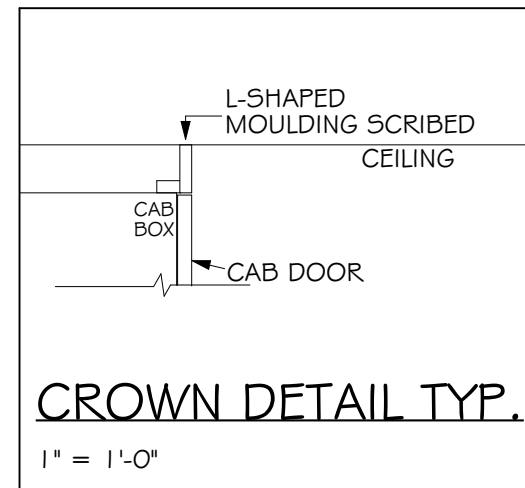
Remodeling Project for:
Nicholaus Malone
4214 06th Ave SE
Mercer Island, WA 98040
Design Consultant: Jamie Strumgeresky
Project Manager: Tony Lopez

CABINET LEGEND
REFERENCE CABINET ORDER FOR DETAILS

- # = SG1: KITCHEN-BAR
- # = SG2: BATH-LAUNDRY & HALL BATH
- # = SG3: OTHER-MUDROOM
- # = SG4: OTHER-PANTRY

CABINET NOTES
Decor SG2- FP440, Maple, Polar White

10	(1) Crown Molding
11	(1) Touch Up Kit
12	(1) Toe Kick

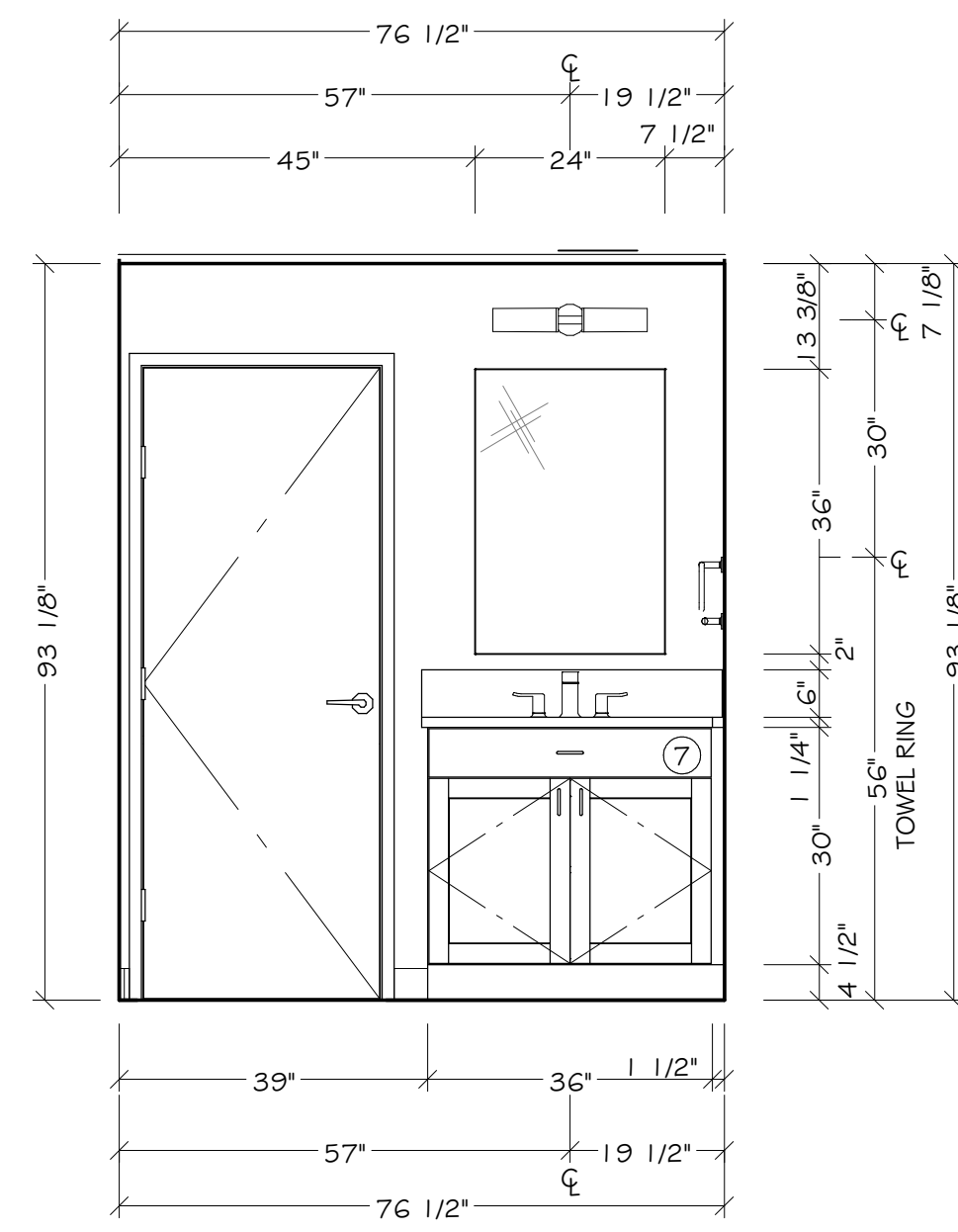


WALL LEGEND

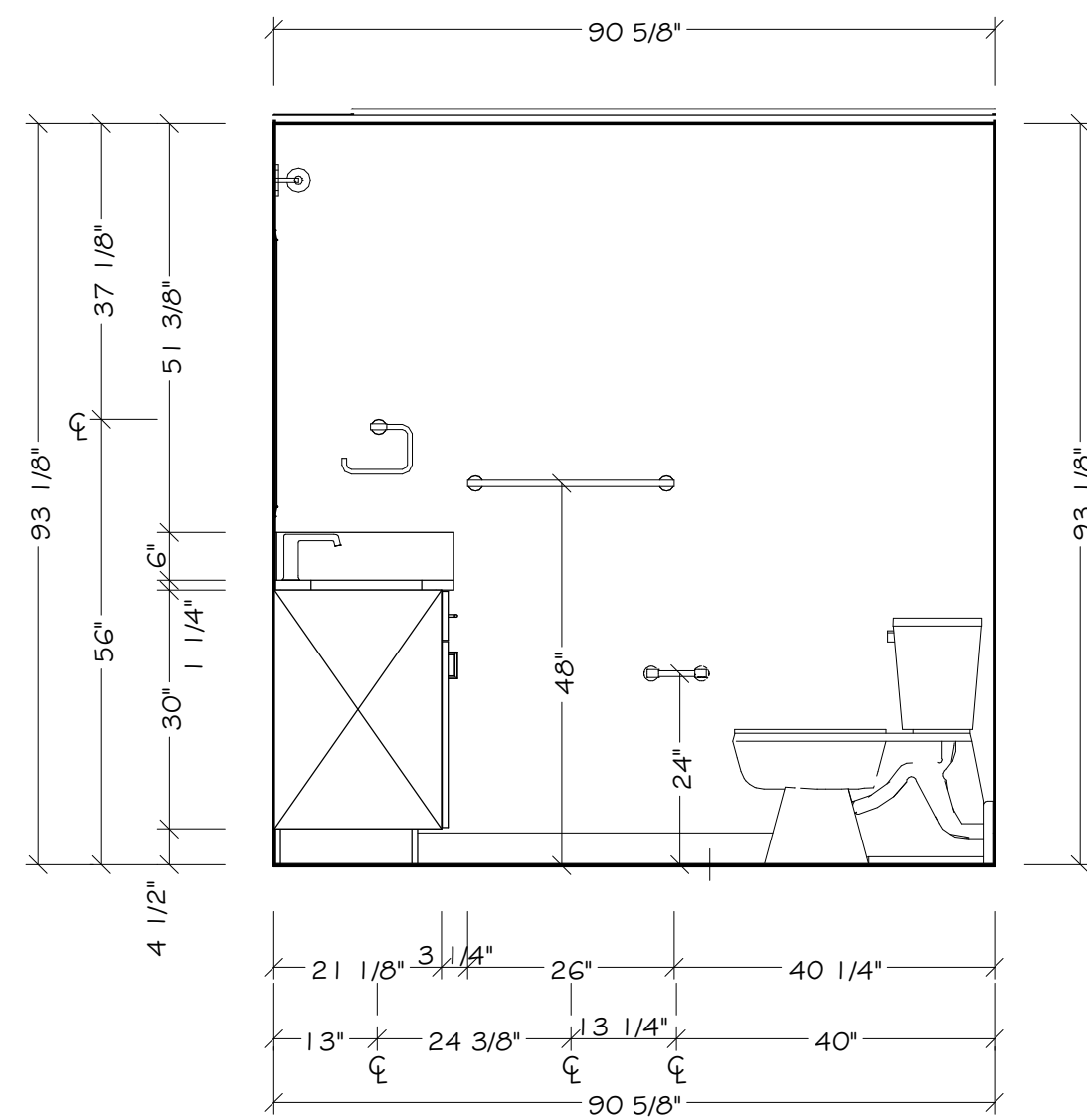
- [Solid Line] EXISTING WALLS TO REMAIN
- [Hatched] OPENINGS TO BE ENCLOSED
- [Diagonal Lines] NEW HALF WALLS
- [Dark Grey] NEW FULL-HEIGHT WALLS

GENERAL NOTES

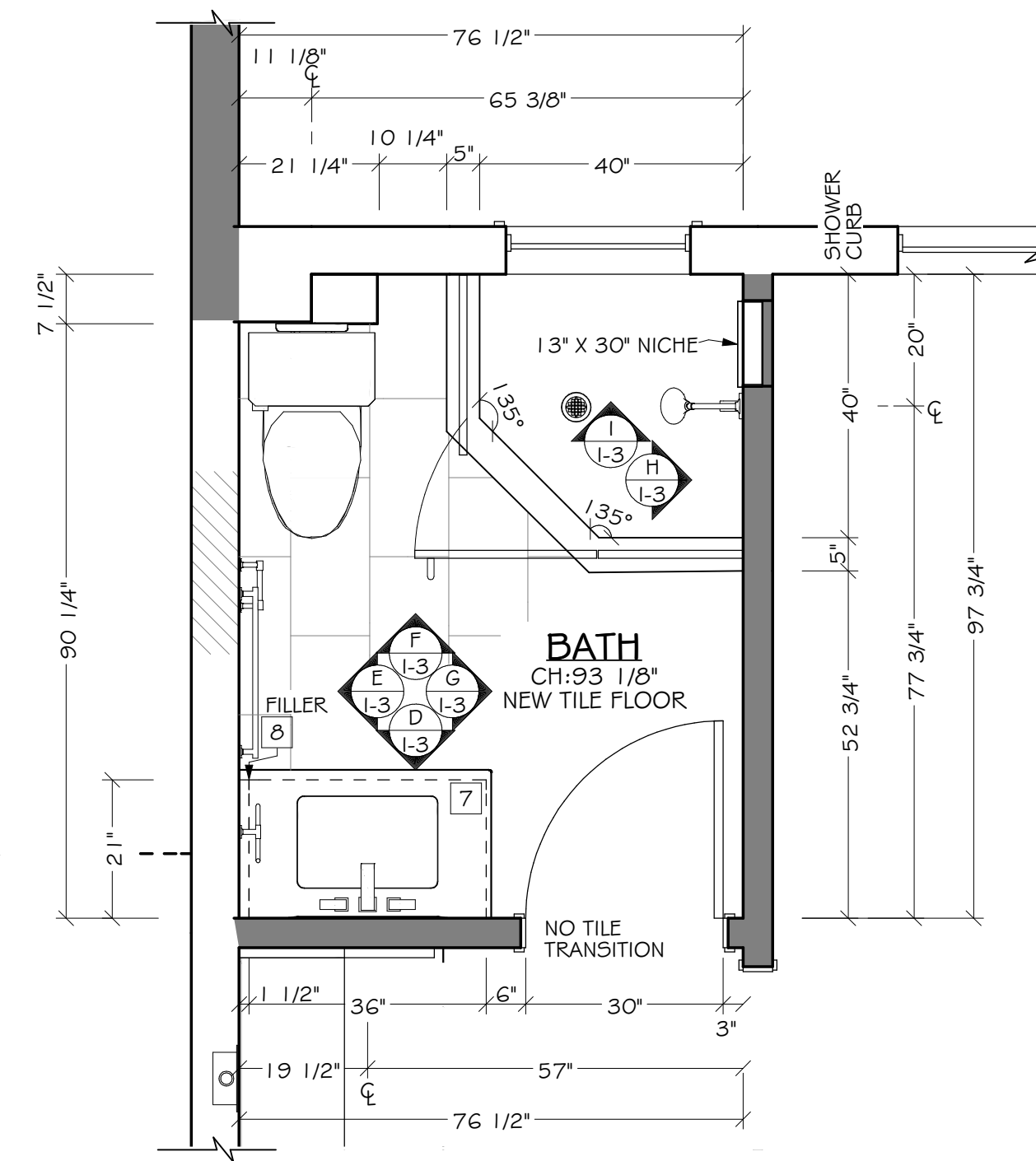
E	EXISTING
N	NEW
RL	RELOCATE
RP	REPLACE



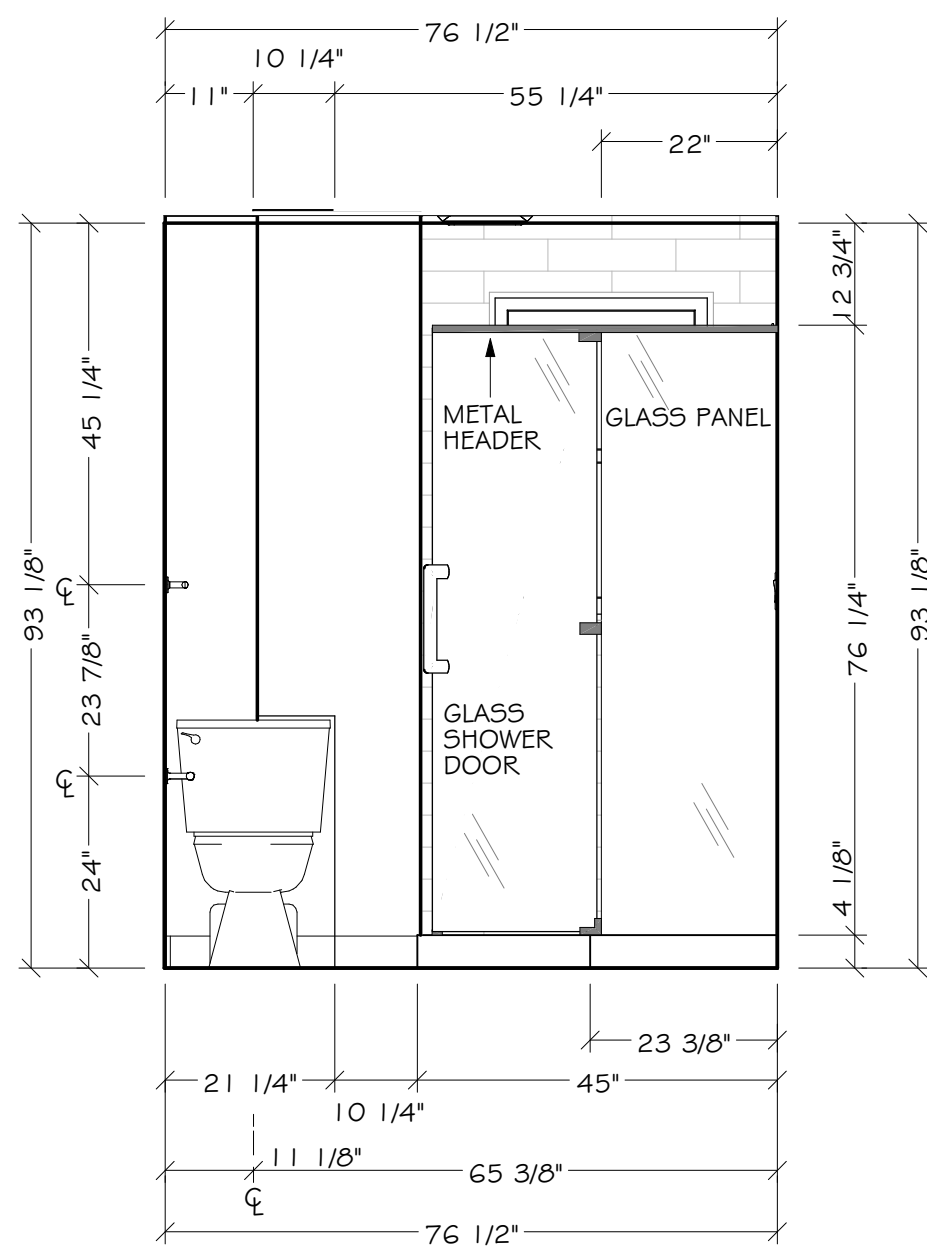
D ELEVATION D: BATH
1/2" = 1'-0"



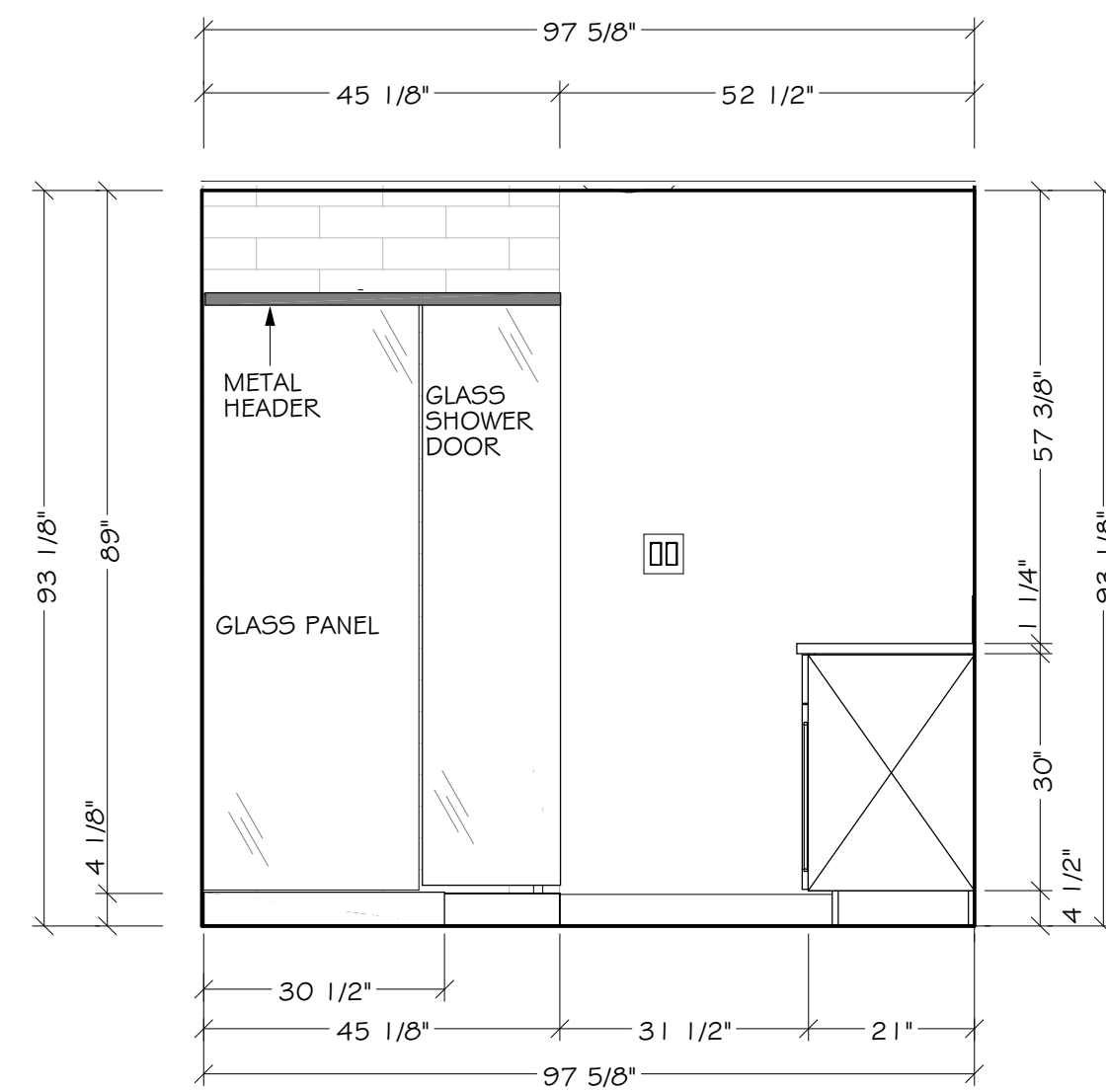
E ELEVATION E: BATH
1/2" = 1'-0"



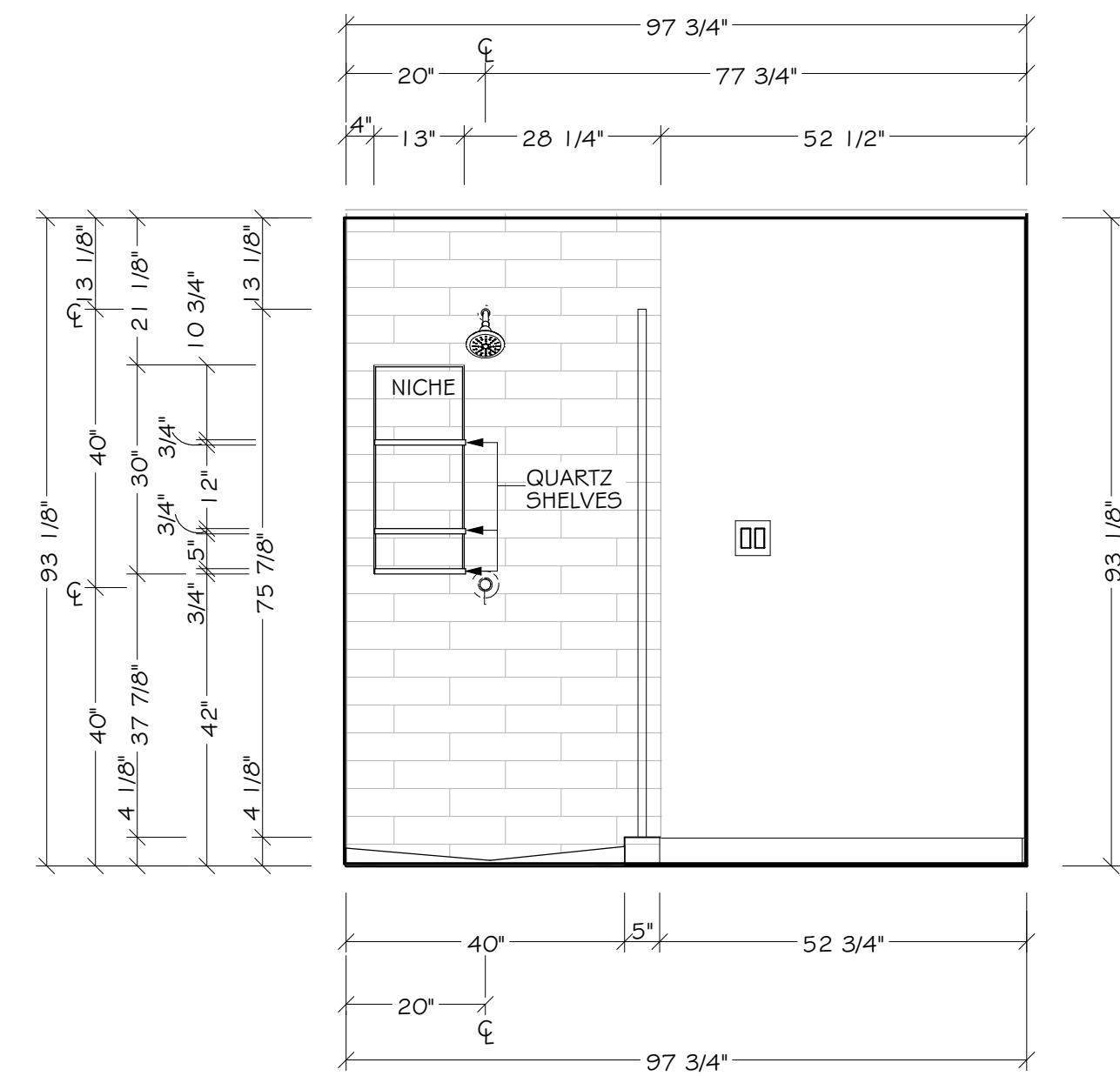
BATH FLOOR PLAN
1/2" = 1'-0"



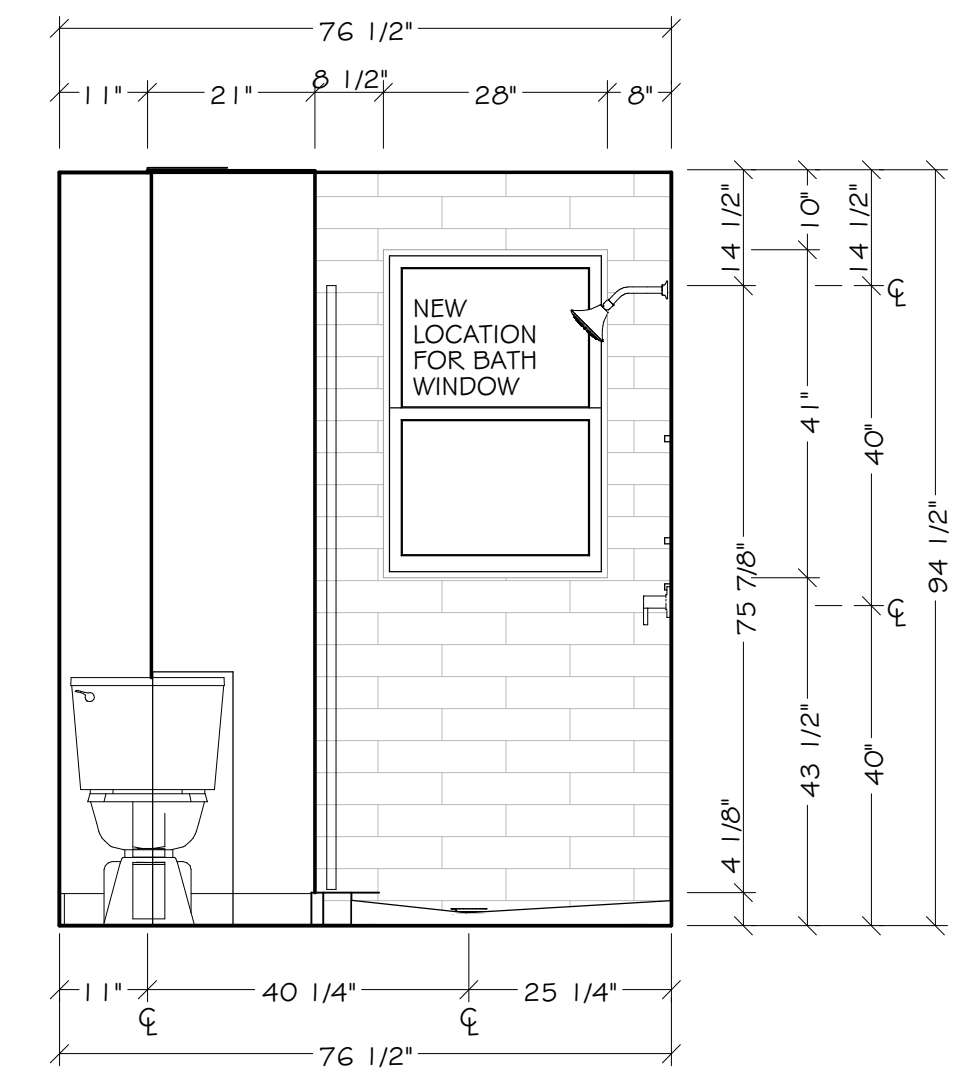
F ELEVATION F: BATH
1/2" = 1'-0"



G ELEVATION G: BATH
1/2" = 1'-0"



H ELEVATION H: BATH
1/2" = 1'-0"



I ELEVATION I: BATH
1/2" = 1'-0"

Neil Kelly
Design/Build Remodeling
599 Corbett Ave SE
Seattle, WA 98108
OR CCB# 001663 / WA L&F NEILKCI 18702

DRAWN: [REVISOR]
REVISOR: [REVISOR]
REVISOR: [REVISOR]
REVISOR: [REVISOR]
REVISOR: [REVISOR]
REVISOR: [REVISOR]
REVISOR: [REVISOR]
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HOMEOWNER APPROVAL
SEE DECLARATIONS ON PAGE 01

INITIAL DATE
INITIAL DATE

Remodeling Project for:
Nicholaus Malone
4214 66th Ave SE
Mercer Island, WA 98040
Design Consultant: Jamie Strungeresky
Project Manager: Tony Lopez

I-3
BATH NKBA PLAN &
INTERIOR ELEVATIONS

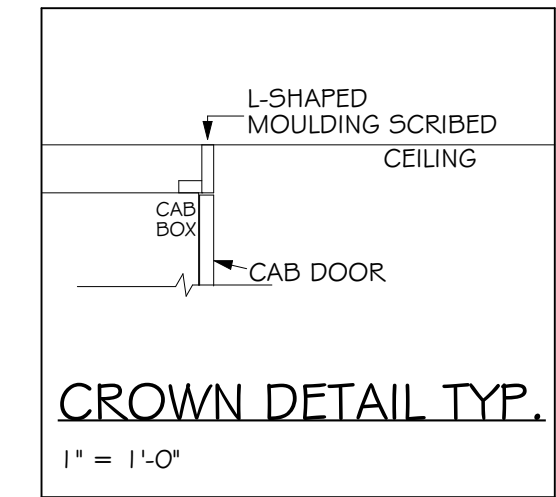
SCALE: 1/2" = 1'-0"

6/8/2022

CABINET LEGEND REFERENCE CABINET ORDER FOR DETAILS	
#	SG1: KITCHEN-BAR
#	SG2: BATH-LAUNDRY & HALL BATH
#	SG3: OTHER-MUDROOM
#	SG4: OTHER-PANTRY

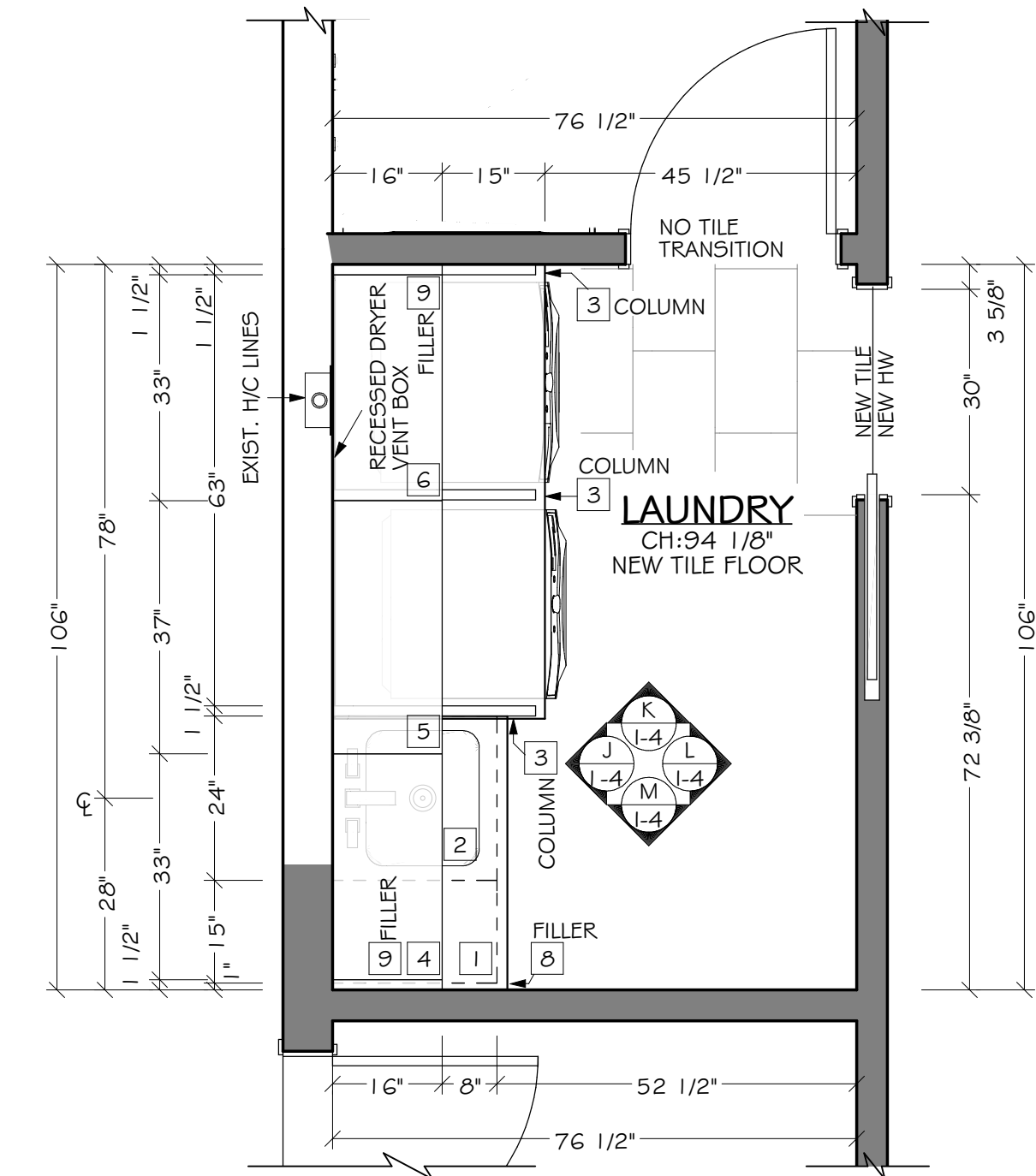
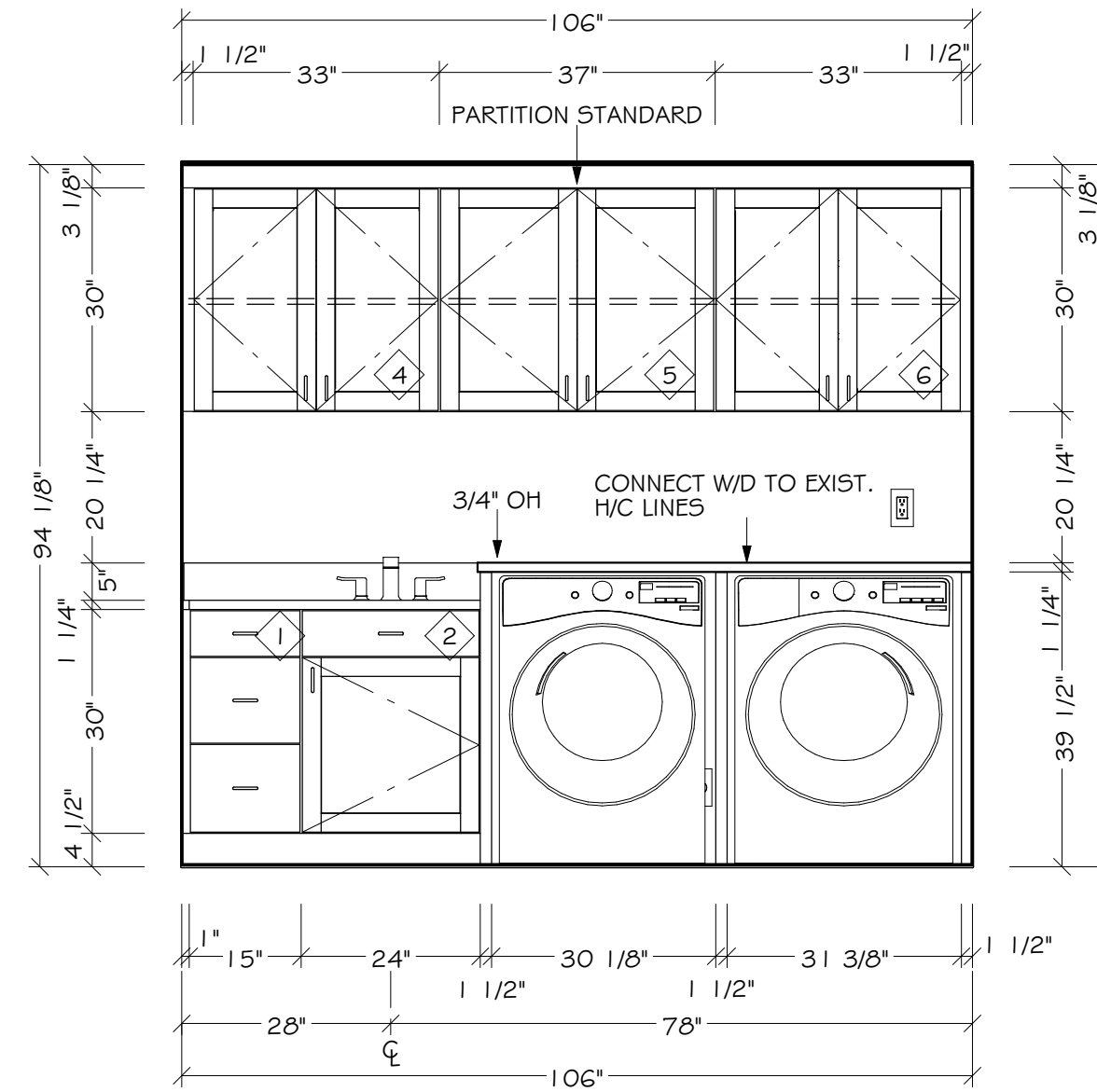
CABINET NOTES
Decor SG2- FP440, Maple, Polar White

10	(1) Crown Molding
11	(1) Touch Up Kit
12	(1) Toe Kick



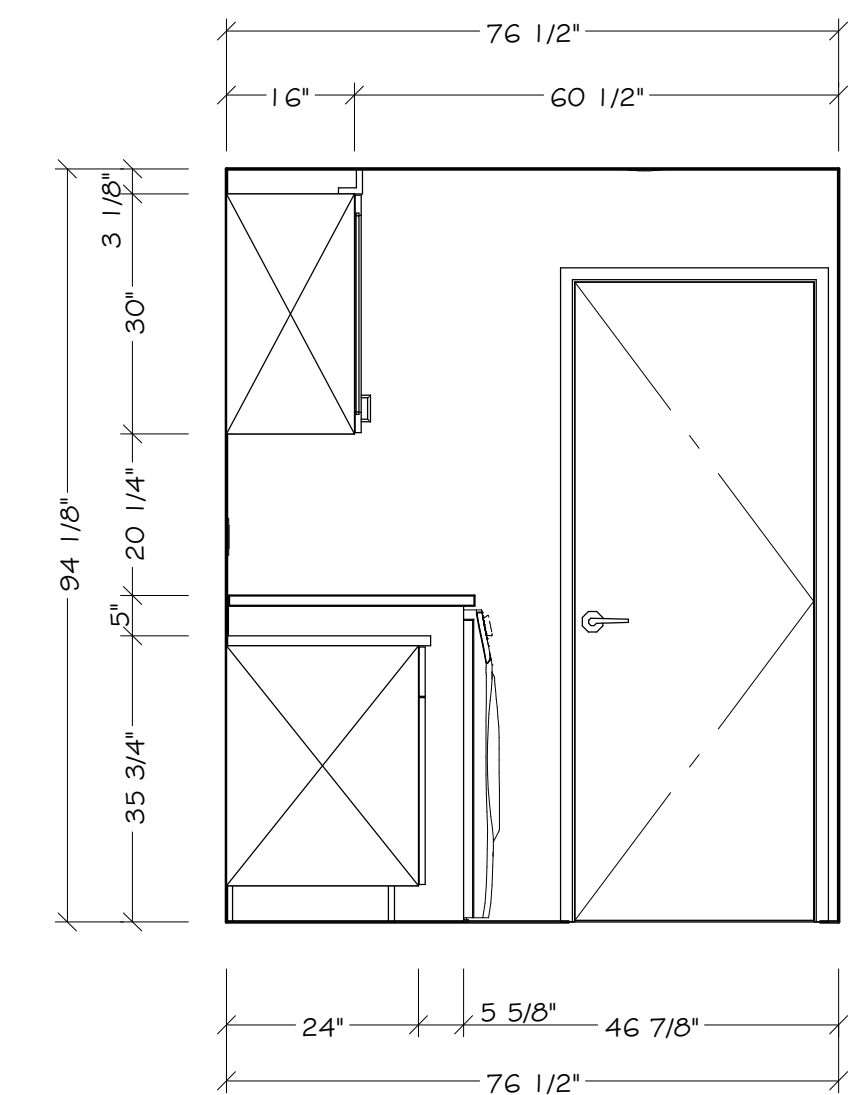
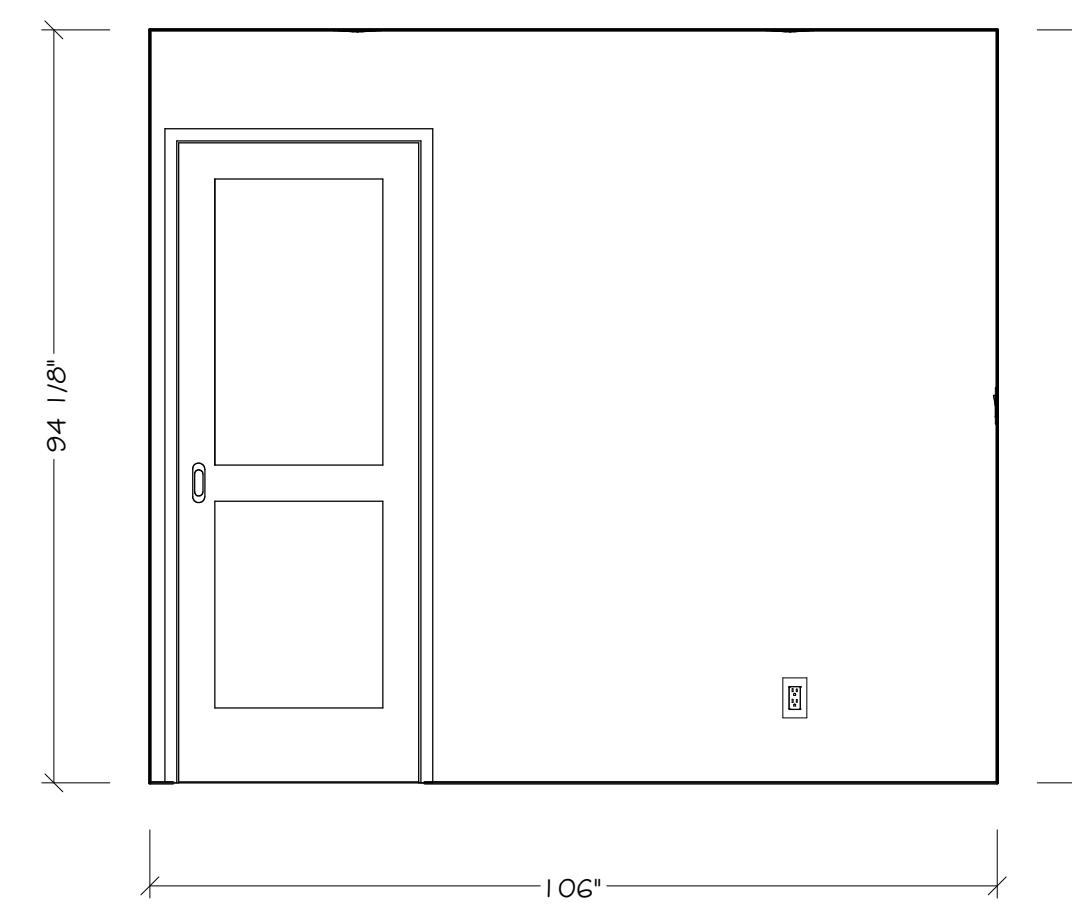
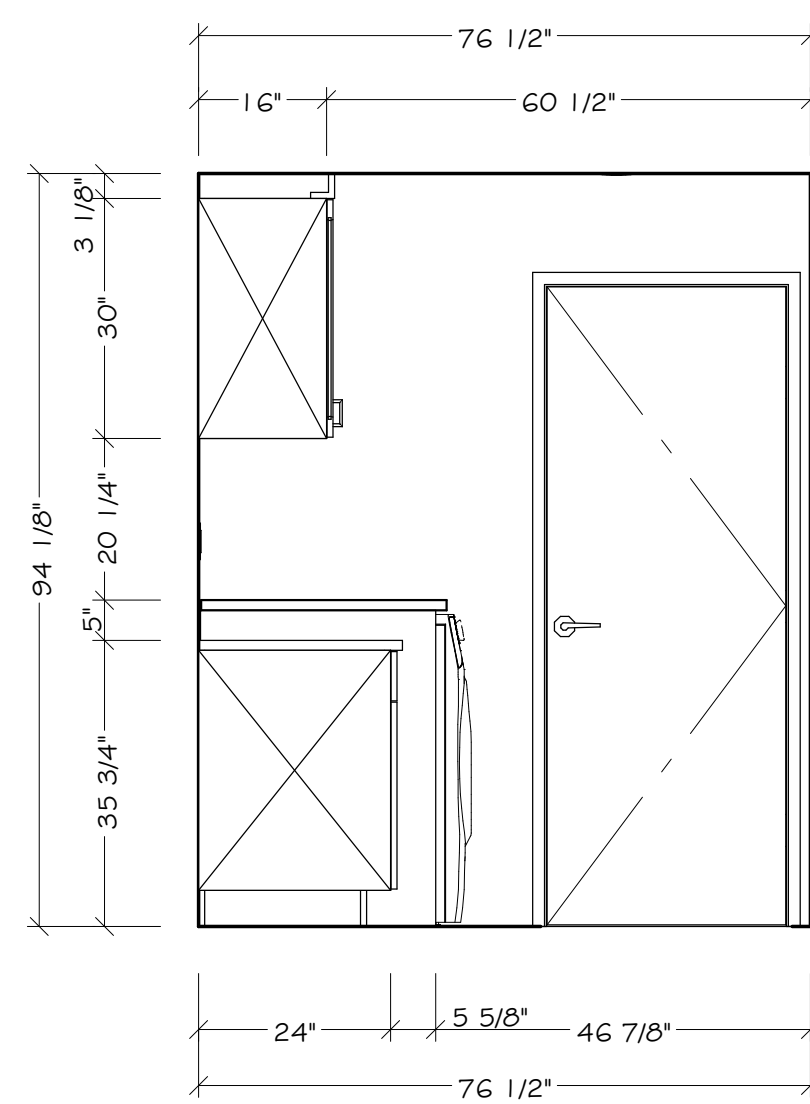
WALL LEGEND	
[Pattern]	EXISTING WALLS TO REMAIN
[Pattern]	OPENINGS TO BE ENCLOSED
[Pattern]	NEW HALF WALLS
[Pattern]	NEW FULL-HEIGHT WALLS

GENERAL NOTES	
E	EXISTING
N	NEW
RL	RELOCATE
RP	REPLACE



ELEVATION J: LAUNDRY
1/2" = 1'-0"

LAUNDRY FLOOR PLAN
1/2" = 1'-0"



ELEVATION K: LAUNDRY
1/2" = 1'-0"

ELEVATION L: LAUNDRY
1/2" = 1'-0"

ELEVATION M: LAUNDRY
1/2" = 1'-0"

Neil Kelly
Design/Build Remodeling
599 Corbett Ave SE, Suite WA 98108
Seattle, WA 98108
OR CCB# 001663 / WA L&P NEILKCI 18702

DRAWN: [REVISOR]
REVISOR:
REVISOR:
REVISOR:
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REVISOR:
REVISOR:

HOMEOWNER APPROVAL
SEE DECLARATIONS ON PAGE 01

INITIAL	DATE
INITIAL	DATE

Remodeling Project for:
Nicholaus Malone
421 4 06th Ave SE
Mercer Island, WA 98040
Design Consultant: Jamie Strumgeresky
Project Manager: Tony Lopez

I-4
LAUNDRY NKBA PLAN 4
INTERIOR ELEVATIONS

SCALE: 1/2" = 1'-0"

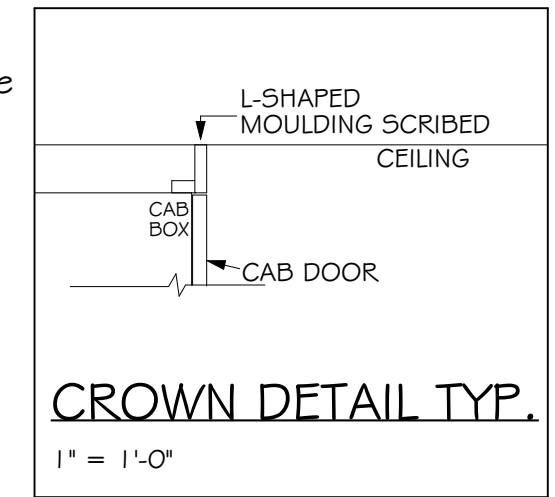
6/8/2022

CABINET LEGEND
REFERENCE CABINET ORDER FOR DETAILS

= SG1: KITCHEN-BAR
= SG2: BATH-LAUNDRY & HALL BATH
= SG3: OTHER-MUDROOM
= SG4: OTHER-PANTRY

CABINET NOTES
Decor SG3- FP440, Cherry, DC-Cherokee

(1) Crown Molding
(1) Touch Up Kit

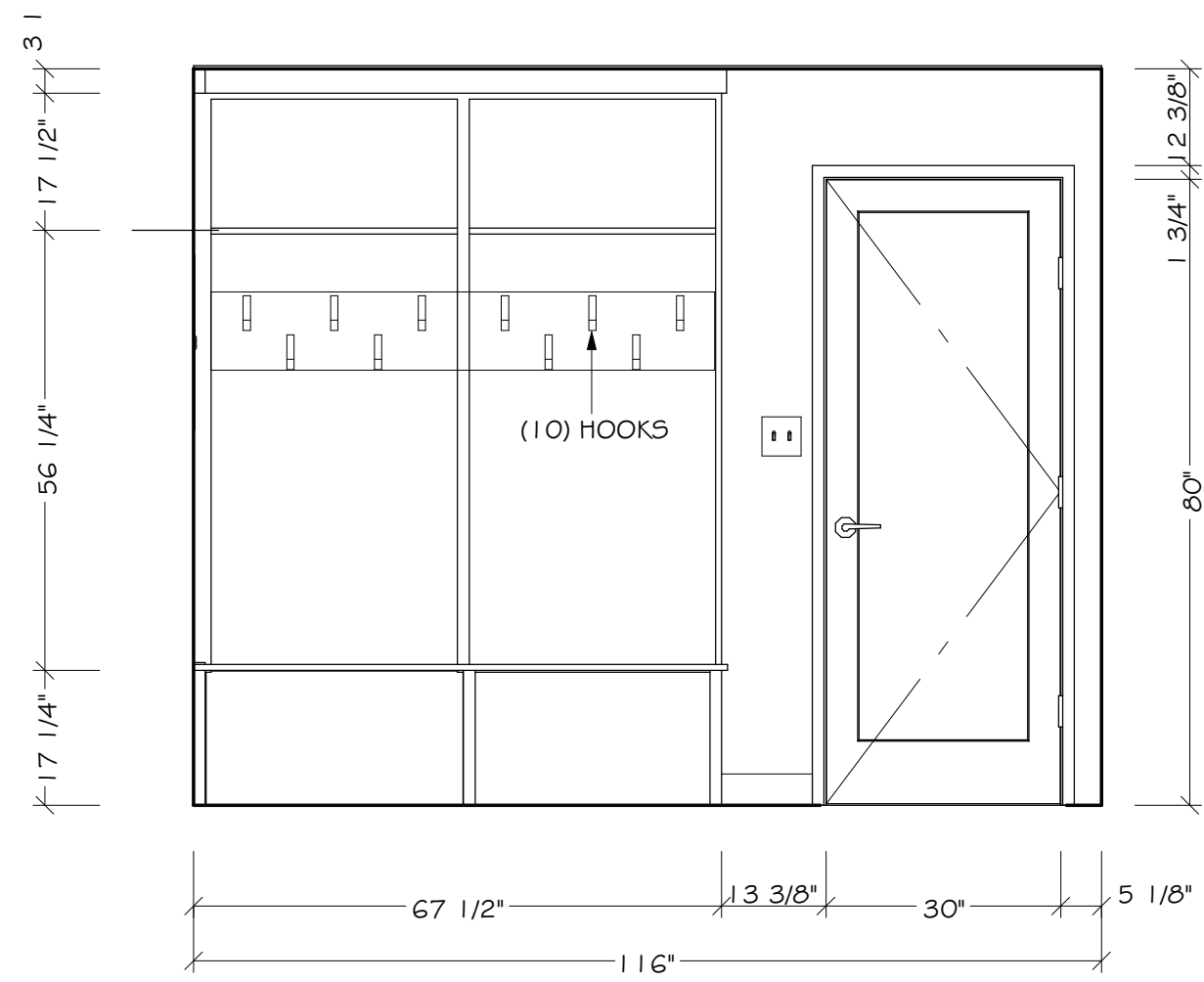


WALL LEGEND

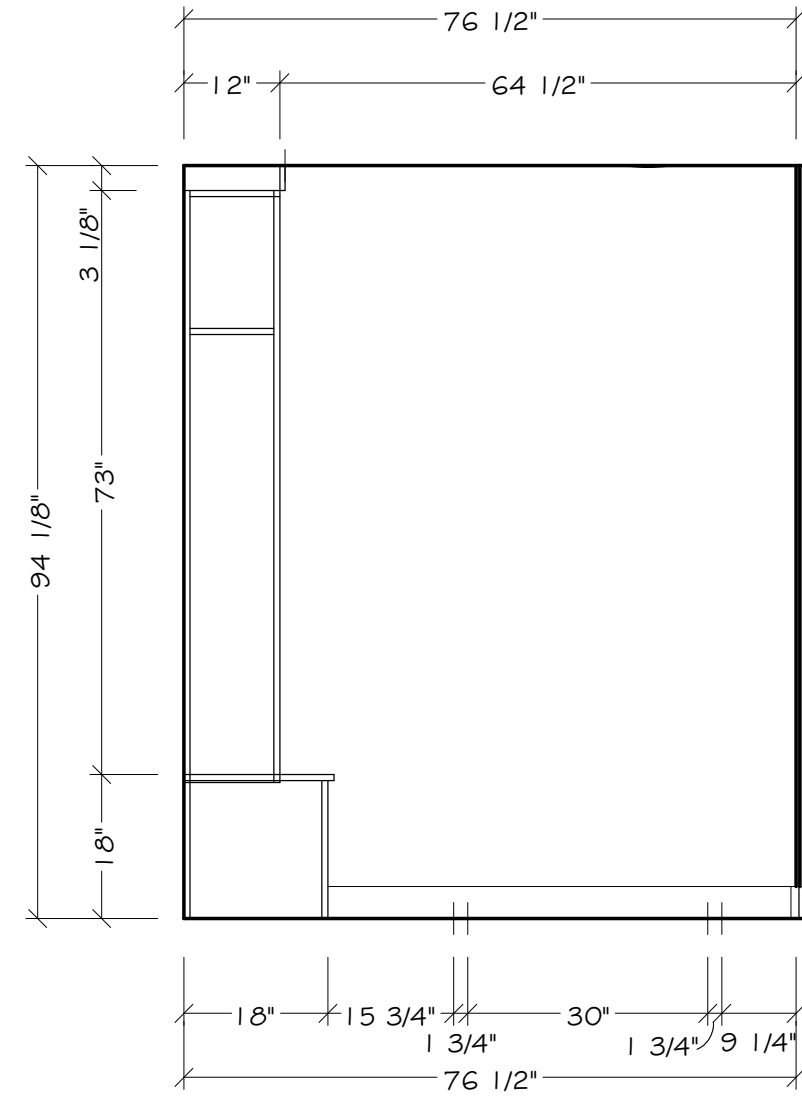
EXISTING WALLS TO REMAIN
OPENINGS TO BE ENCLOSED
NEW HALF WALLS
NEW FULL-HEIGHT WALLS

GENERAL NOTES

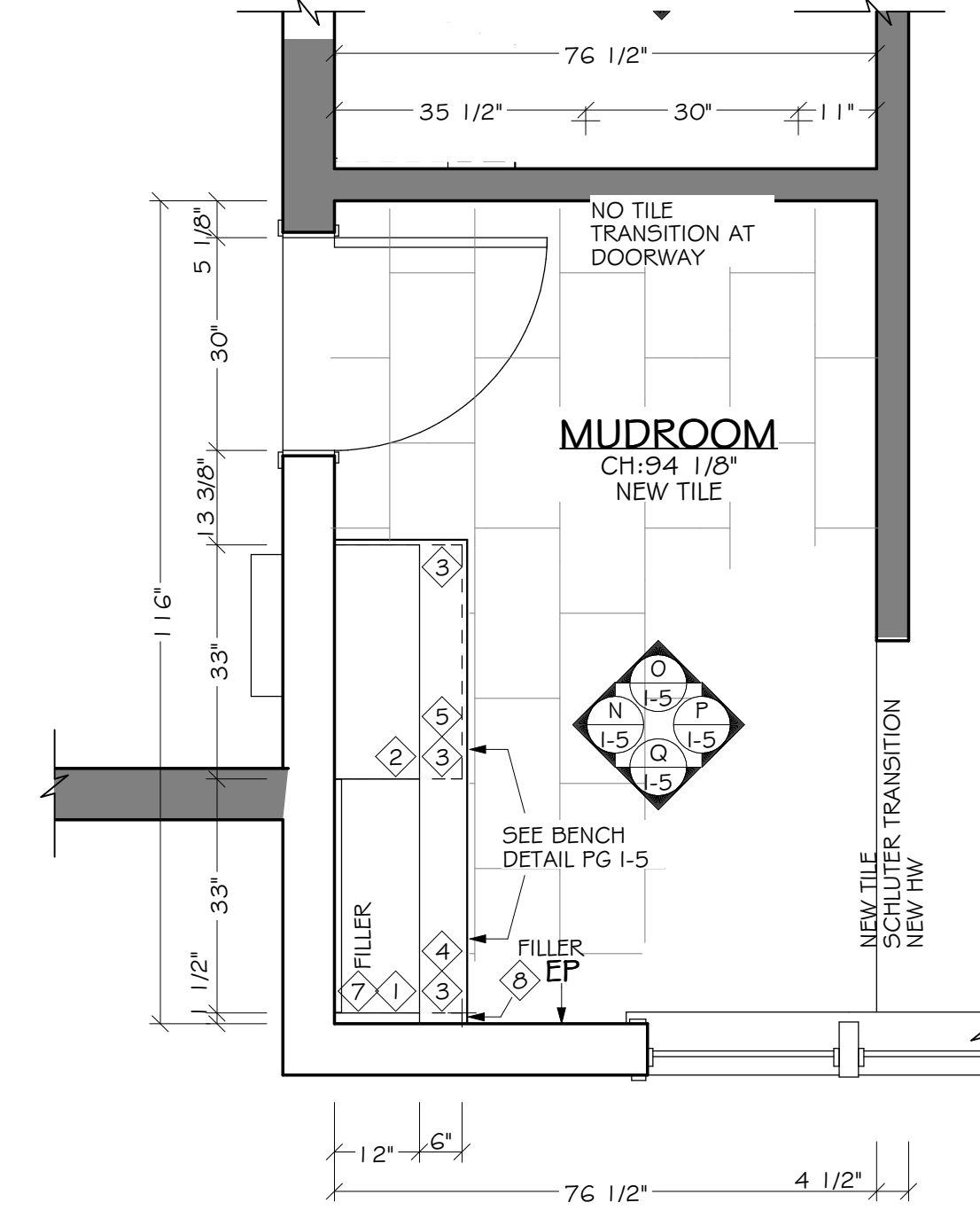
E EXISTING
N NEW
RL RELOCATE
RP REPLACE



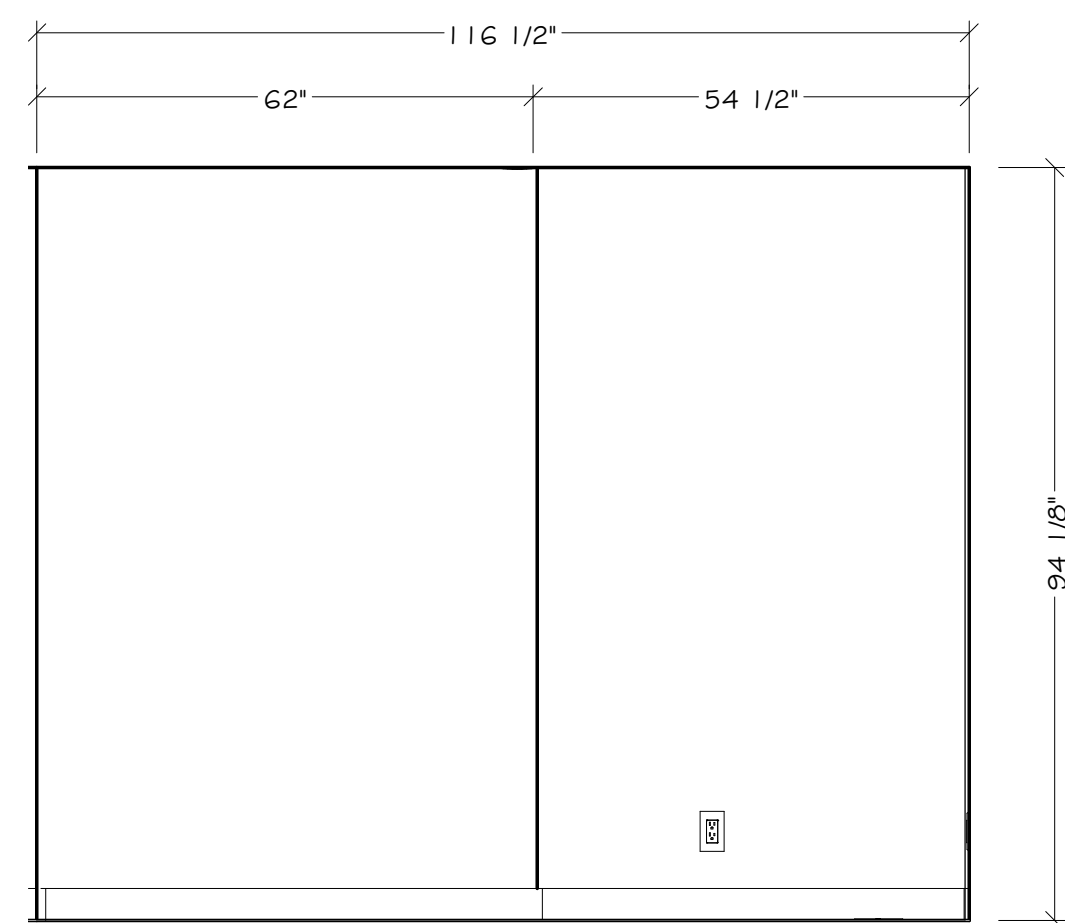
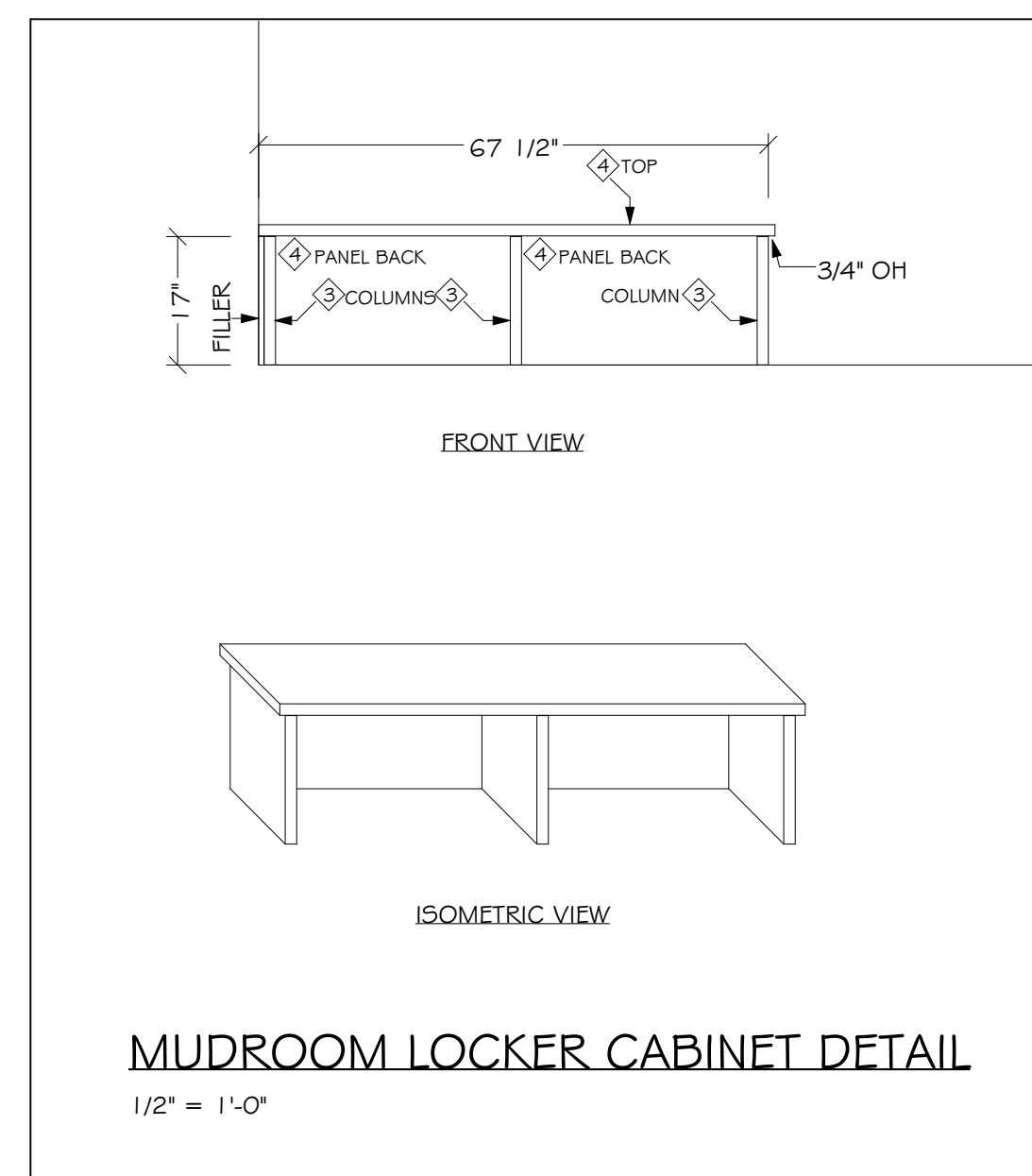
ELEVATION N: MUDROOM
1/2" = 1'-0"



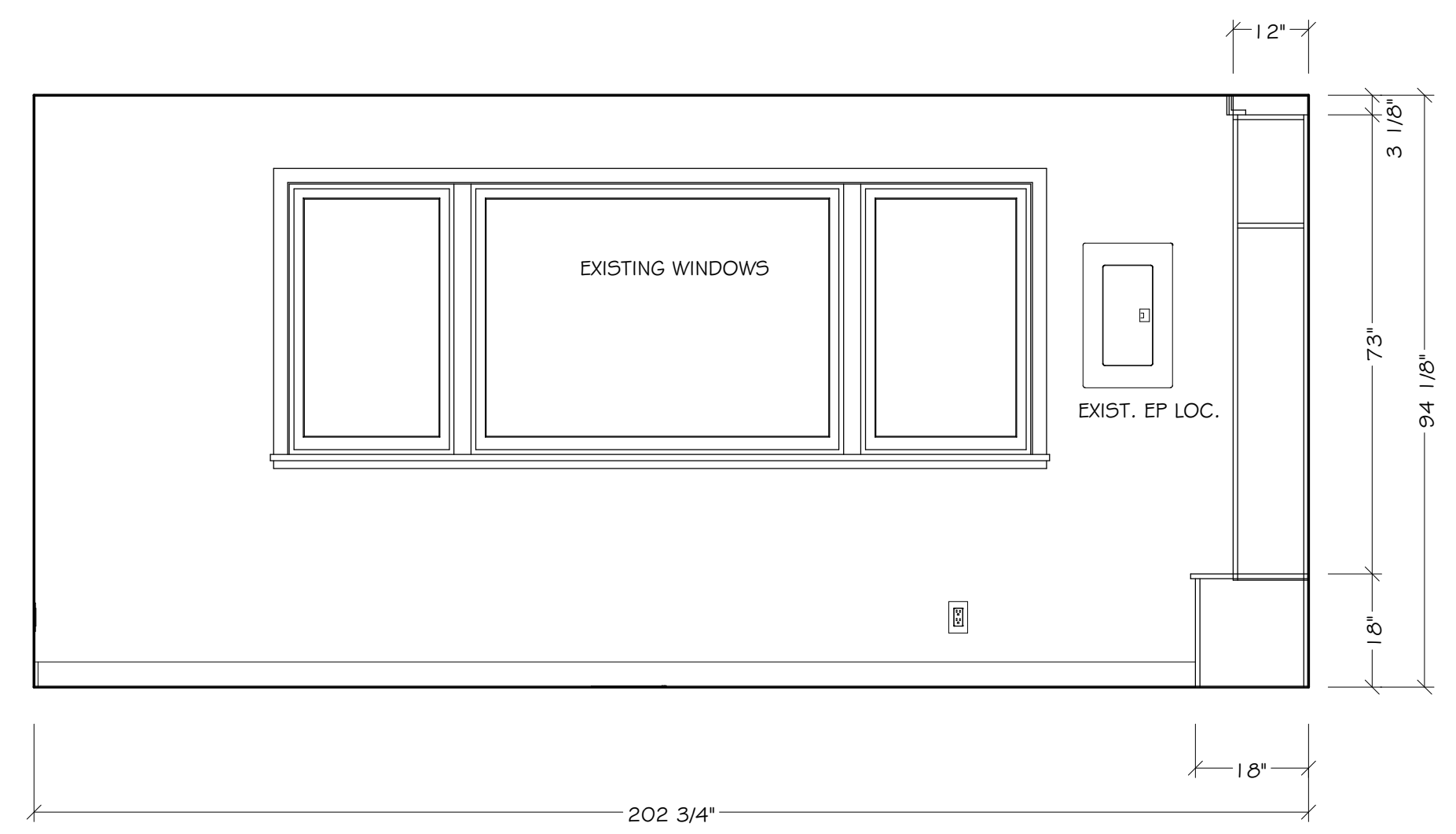
ELEVATION O: MUDROOM
1/2" = 1'-0"



MUDROOM FLOOR PLAN
1/2" = 1'-0"



ELEVATION P: MUDROOM
1/2" = 1'-0"



ELEVATION Q: MUDROOM
1/2" = 1'-0"

Neil Kelly
Design/Build Remodeling
5859 Cornish Ave SE, Everett, WA 98203
206.343.2823
OR CCB# 001663 / WALL & F NEILKCI 18702

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HOMEOWNER APPROVAL
SEE DECLARATIONS ON PAGE 01

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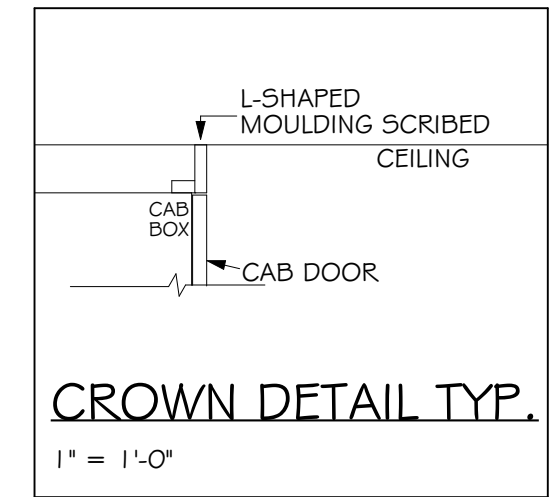
Remodeling Project for:
Nicholaus Malone
4214 66th Ave SE
Mercer Island, WA 98040
Design Consultant: Jamie Struengeresky
Project Manager: Tony Lopez

CABINET LEGEND
REFERENCE CABINET ORDER FOR DETAILS

- ⊙ = SG1: KITCHEN-BAR
- # = SG2: BATH-LAUNDRY & HALL BATH
- ◇ = SG3: OTHER-MUDROOM
- ⊕ = SG4: OTHER-PANTRY

CABINET NOTES
Decor SG4 - FP440, Maple, Polar White

- ⊙ (1) Crown Molding
- ⊙ (1) Toe Kick
- ⊙ (1) Touch Up Kit

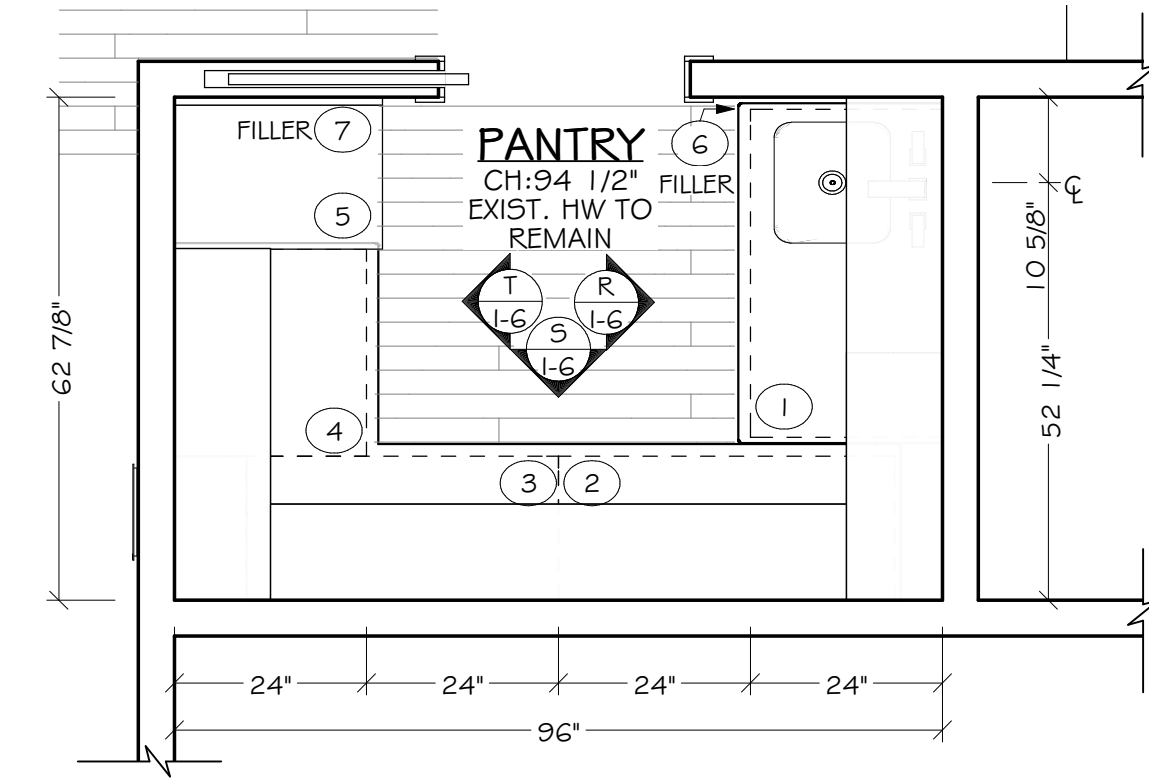
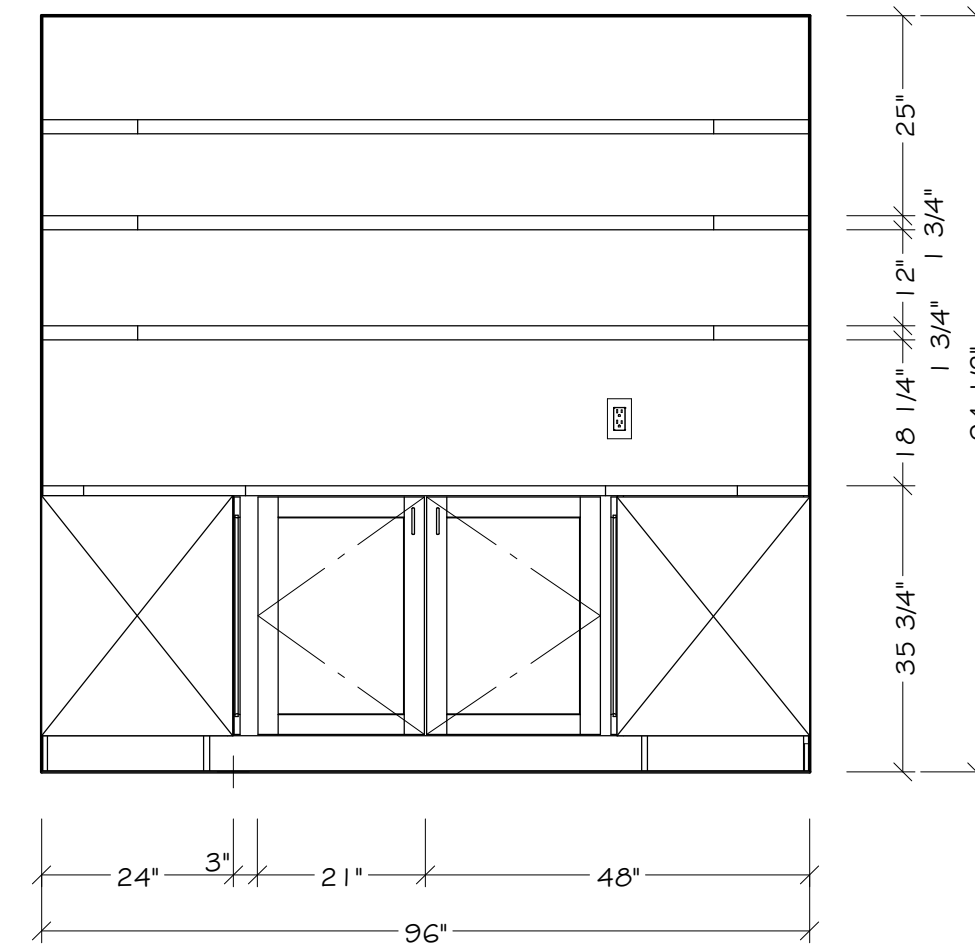
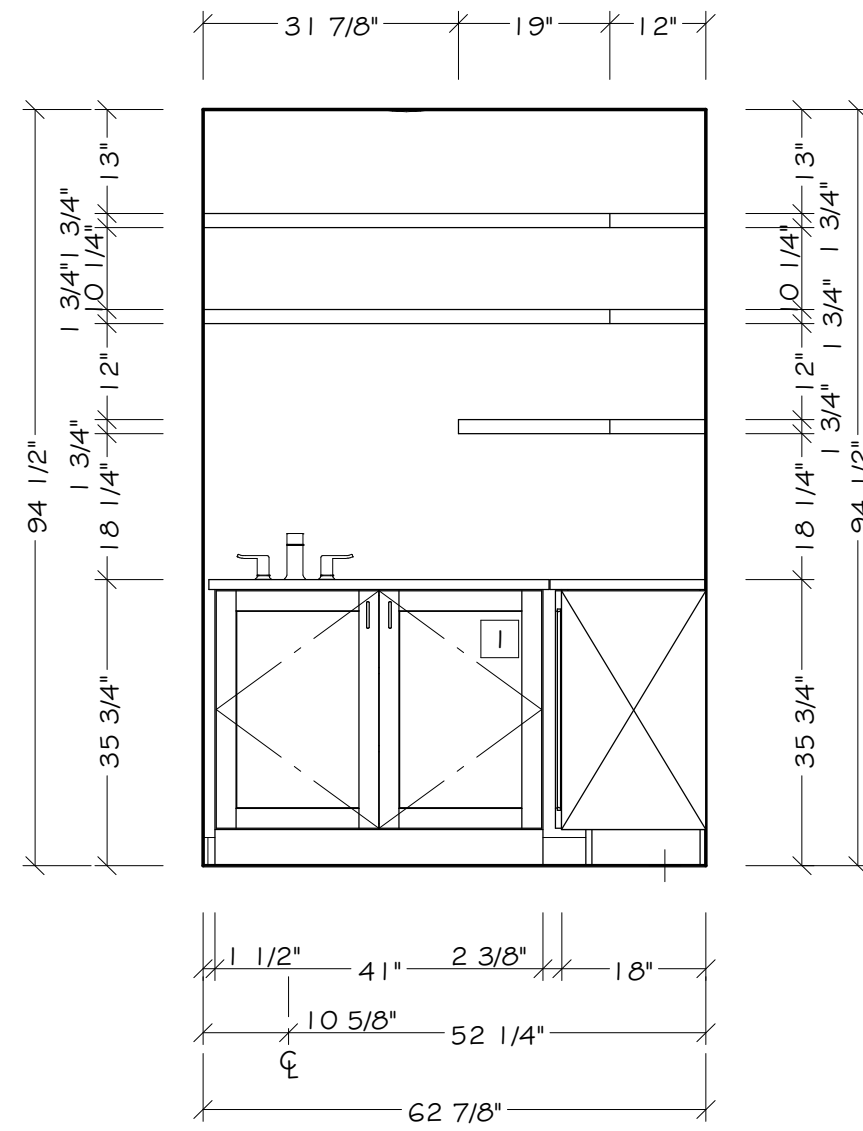


WALL LEGEND

- [Solid Line] EXISTING WALLS TO REMAIN
- [Dashed Line] OPENINGS TO BE ENCLOSED
- [Hatched] NEW HALF WALLS
- [Solid Grey] NEW FULL-HEIGHT WALLS

GENERAL NOTES

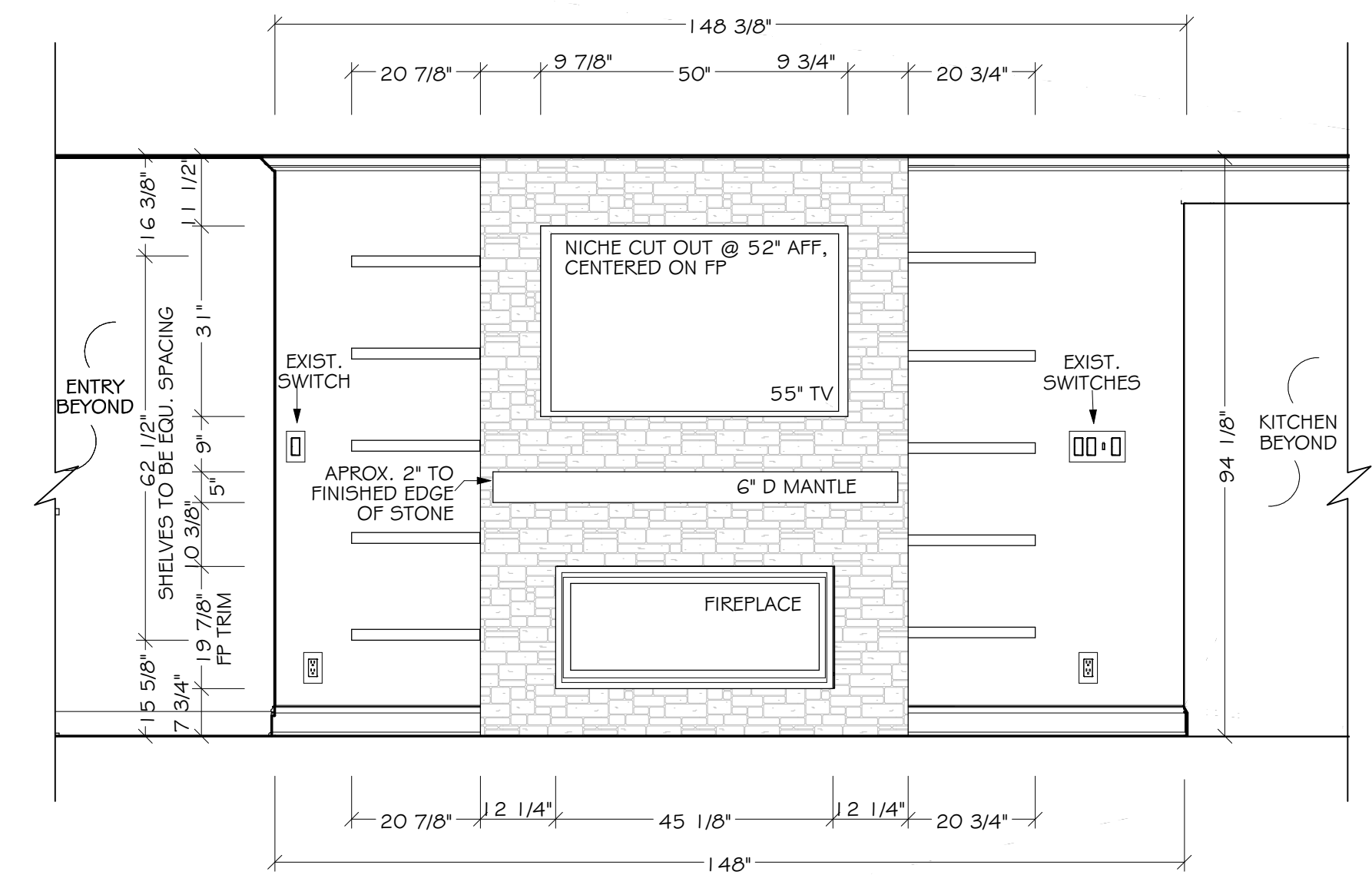
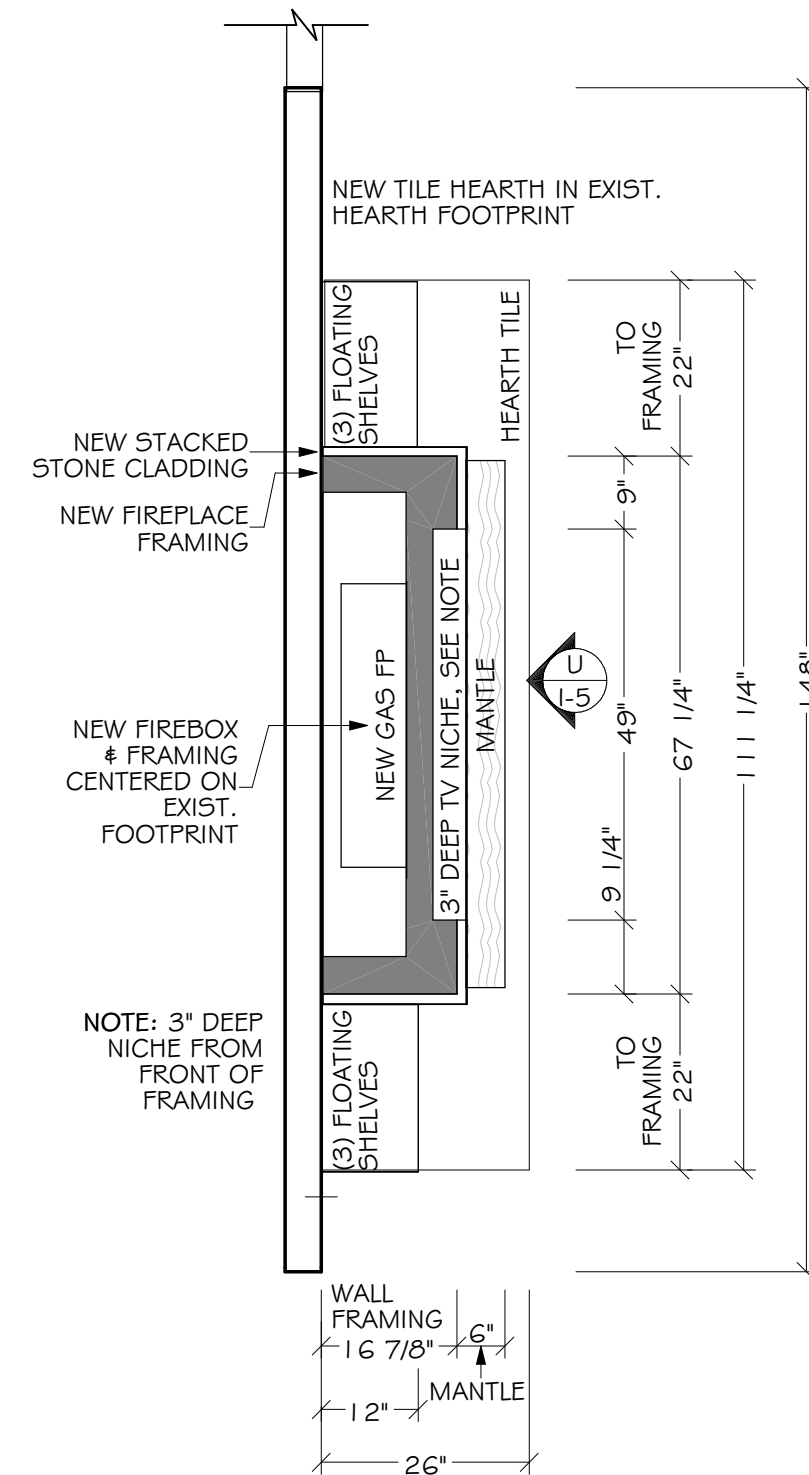
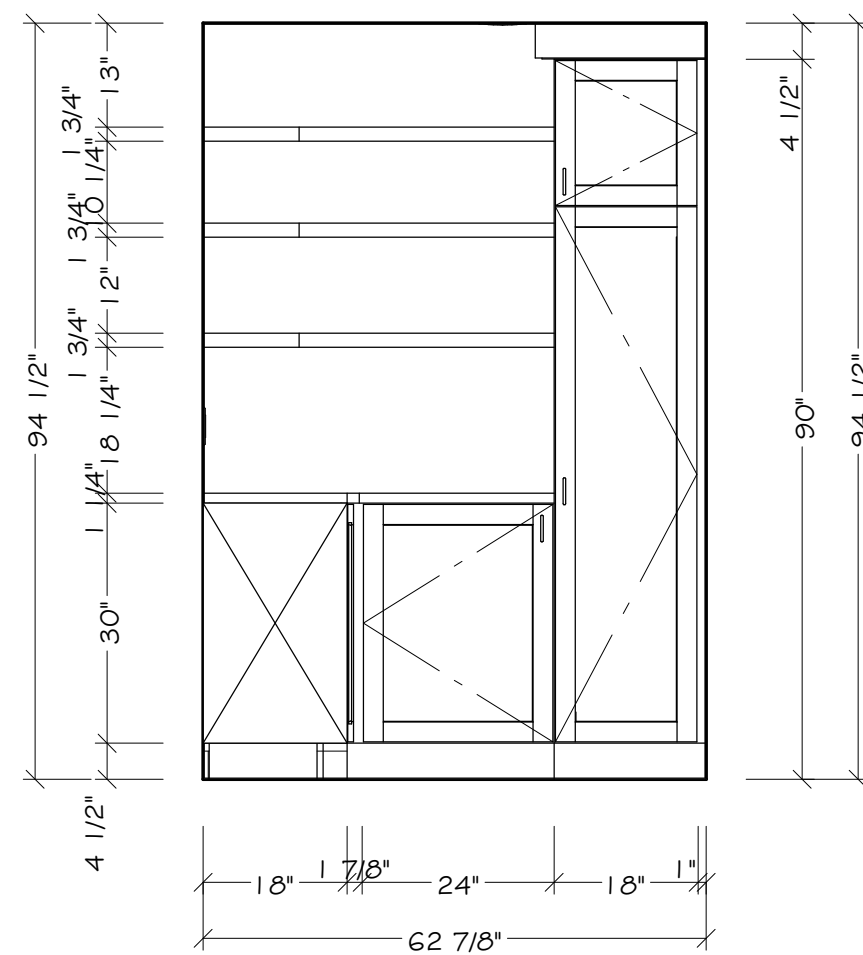
- E EXISTING
- N NEW
- RL RELOCATE
- RP REPLACE



R ELEVATION R: PANTRY
1/2" = 1'-0"

S ELEVATION S: PANTRY
1/2" = 1'-0"

PANTRY FLOOR PLAN
1/2" = 1'-0"



T ELEVATION T: PANTRY
1/2" = 1'-0"

FIREPLACE FLOOR PLAN
1/2" = 1'-0"

U ELEVATION U: FIREPLACE
1/2" = 1'-0"

Neil Kelly
Design/Build Remodeling
3559 Cornish Ave SE
Seattle, WA 98108
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