

GENERAL NOTES

THESE DRAWINGS ARE THE PROPERTY OF H2D, LLC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY THE ARCHITECT AND MUST BEAR THE NAME OF THE ARCHITECT. © COPYRIGHT 2022 BY H2D, LLC. THESE DRAWINGS ARE PROTECTED BY FEDERAL AND STATE COPYRIGHT LAWS.

- 1. CODES/REGULATIONS: CONSTRUCTION TO CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC), WASHINGTON STATE LAWS AND REGULATIONS... 2. CONTRACTOR'S RESPONSIBILITY: PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBER SIZES... 3. SOILS: FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 2,000 PSF OR PER GEOTECHNICAL REPORT... 4. ATTIC REQUIREMENTS: APPLY ROOFING IN ACCORDANCE WITH IRC CHAPTER 9... 5. VENTILATION: VENT FANS SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING... 6. GLAZING: TO BE IN COMPLIANCE WITH IRC SEC R308 AND WASHINGTON STATE SAFETY GLASS LAW...

- 7. ENERGY: ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO IRC REQUIREMENTS AND THE WASHINGTON STATE ENERGY CODE... 8. STAIRS: MINIMUM HEADROOM 6'-8"; MINIMUM TREAD 10"; MAXIMUM RISER 7'-3 1/4"... 9. INSULATION: INSULATION TO MEET THE CURRENT WASHINGTON STATE ENERGY CODE REQTS FOR TABLE R402.1.1, TABLE R402.1.3 AND SECTION R402... 10. GARAGE SEPARATION: REQUIRES 1/2" GWB ON THE GARAGE SIDE... 11. VAPOR BARRIERS: AN APPROVED VAPOR BARRIER SHALL BE INSTALLED AT EXTERIOR WALLS AND AT ALL ROOF DECKS... 12. FIRE SAFETY: SMOKE ALARMS/DETECTORS (S.D.); SMOKE ALARMS/DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS... 13. CERTIFICATE & TESTING: A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR WITHIN THREE FEET OF THE ELECTRICAL DISTRIBUTION PANEL... 14. LIGHTING EQUIPMENT: NOT LESS THAN 30 PERCENT OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS...

PROJECT INFORMATION
PROJECT OWNER: CARLA AND JOHN MONAHAN
PROJECT ARCHITECT: HEIDI HELGESON
STRUCTURAL ENGINEER: DENNIS TITUS, PE, SE
GEOTECHNICAL ENGINEER: JOHNNY C. CHEN, PE
PROJECT DESCRIPTION: 2ND STORY ADDITION OF 793 SF. WITH ASSOCIATED REMODEL TO EXISTING HOME INCLUDING STRUCTURAL UPGRADES NECESSARY FOR NEW ADDITION...
LAND USE CODE COMPLIANCE STATISTICS: REFERENCE TO 02 SHEET
ENERGY CREDIT INFORMATION: ENERGY CREDIT FROM WASHINGTON STATE ENERGY CODE TABLE 406.3
SEASONAL DEVELOPMENT WAIVER: IF ANY LAND CLEARING, GRADING, FILLING OR FOUNDATION WORK WITHIN A LANDSLIDE HAZARD AREA IS PROPOSED TO OCCUR BETWEEN OCTOBER 1 AND APRIL 1, A SEASONAL DEVELOPMENT WAIVER SHALL BE APPLIED FOR AND APPROVED BY THE CODE OFFICIAL.

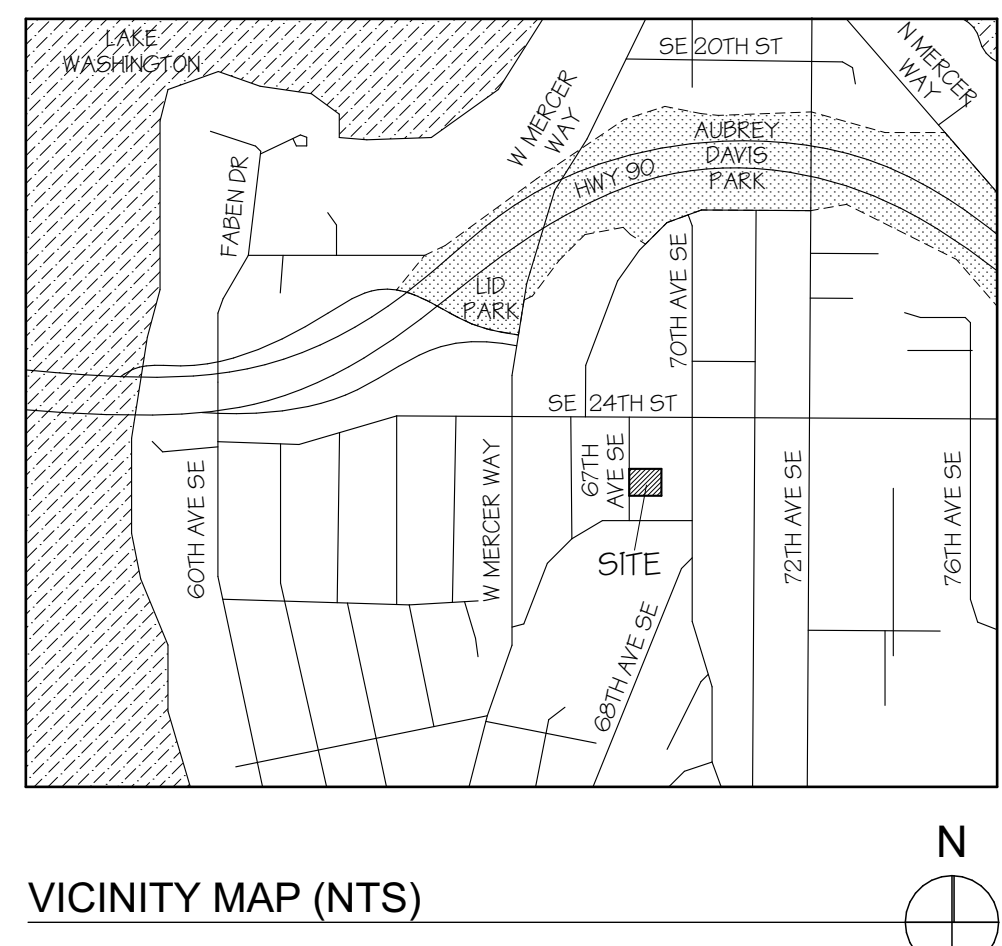
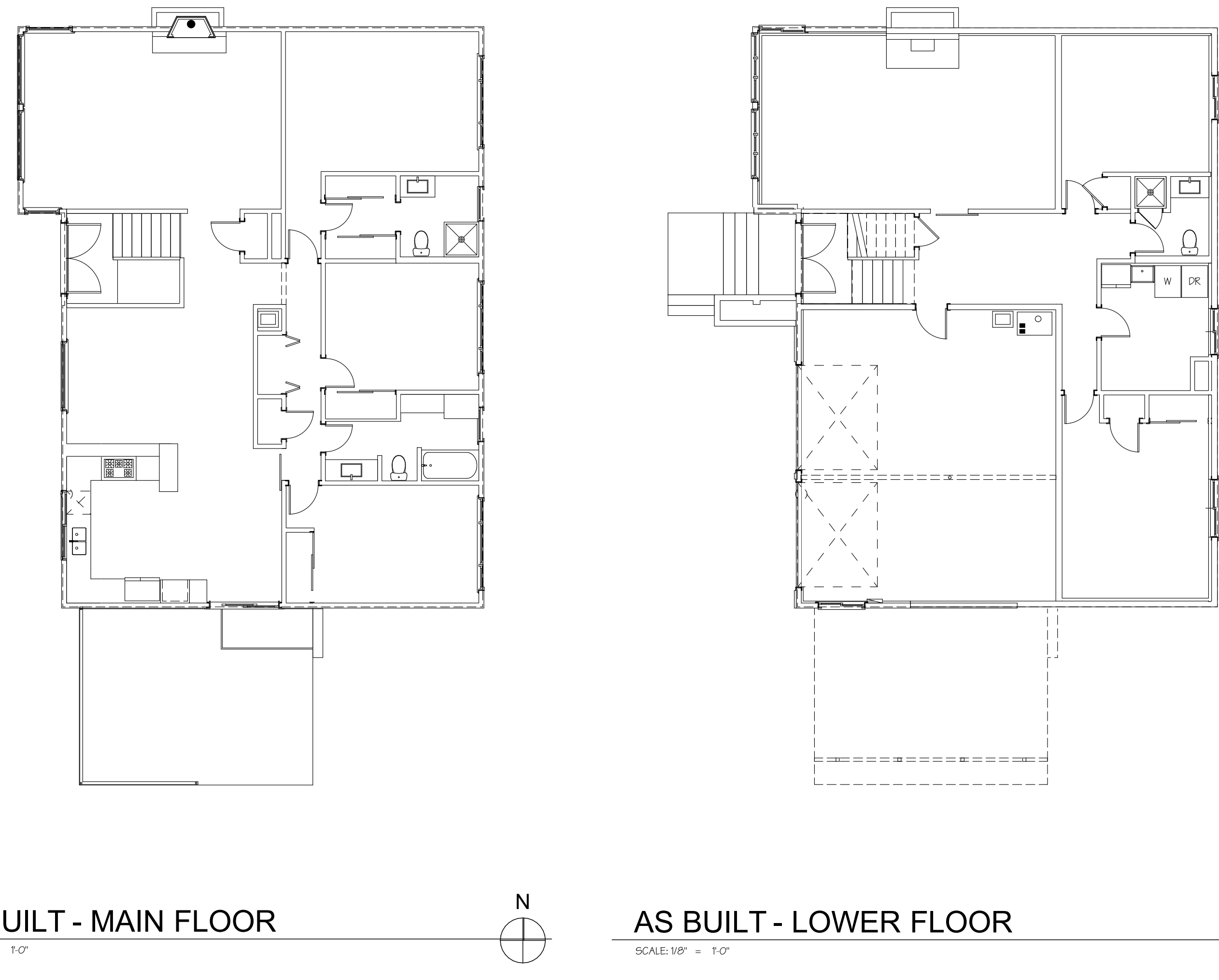


Table with 3 columns: LOCATION, R-VALUE, U-FACTOR. Rows include Fenestration U-factor, Skylight U-factor, Glazed Fenestration SHGC, Ceiling, Wood Frame Wall, Mass Wall R-Value, Floor, Below Grade Wall, and Slab R-Value and Depth.

SHEET INDEX table listing sheet numbers and titles such as O1 PROJECT INFORMATION, O2 SITE PLAN, SURVEY, A10 LOWER AND MAIN FLOOR DEMOLITION PLANS, etc.

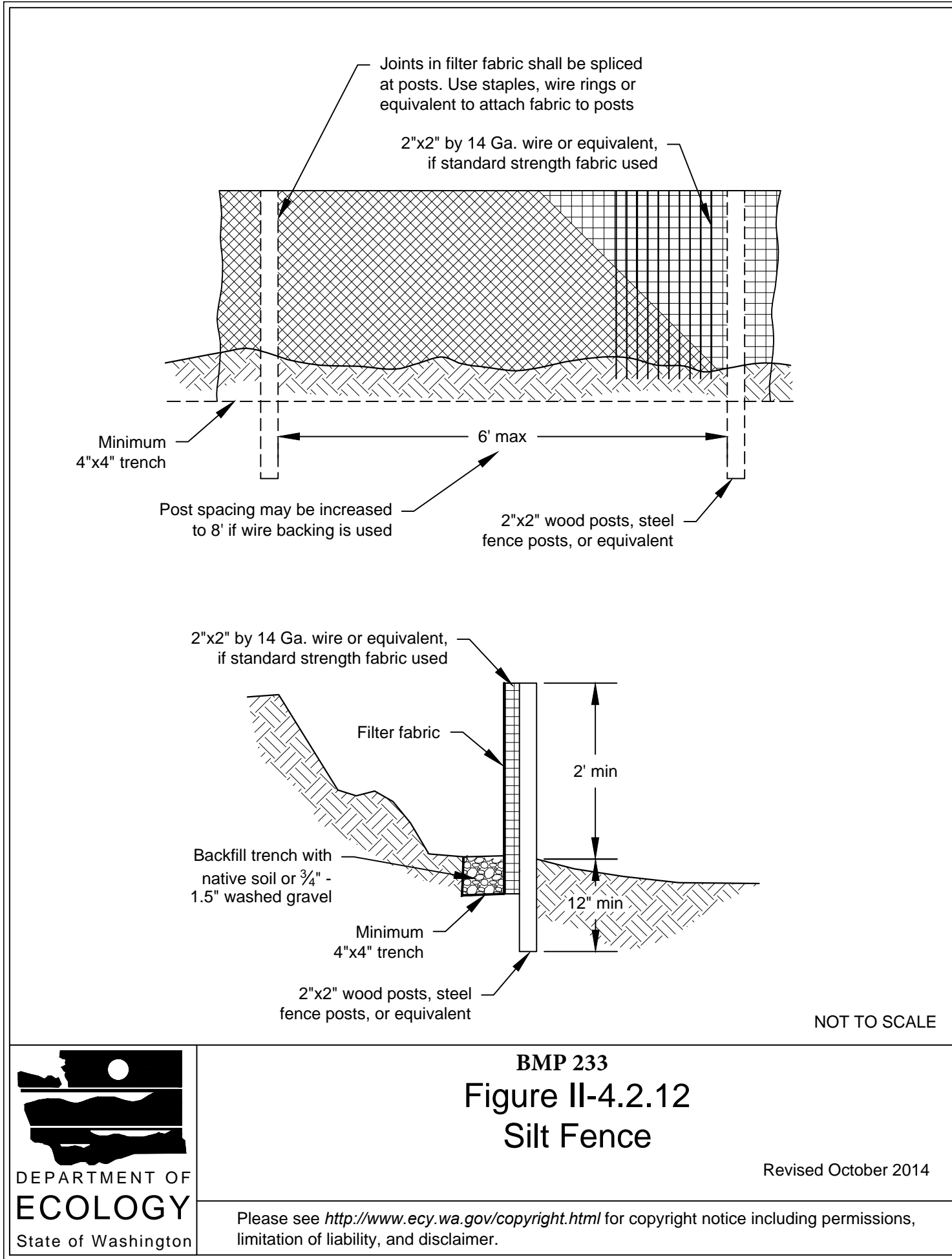
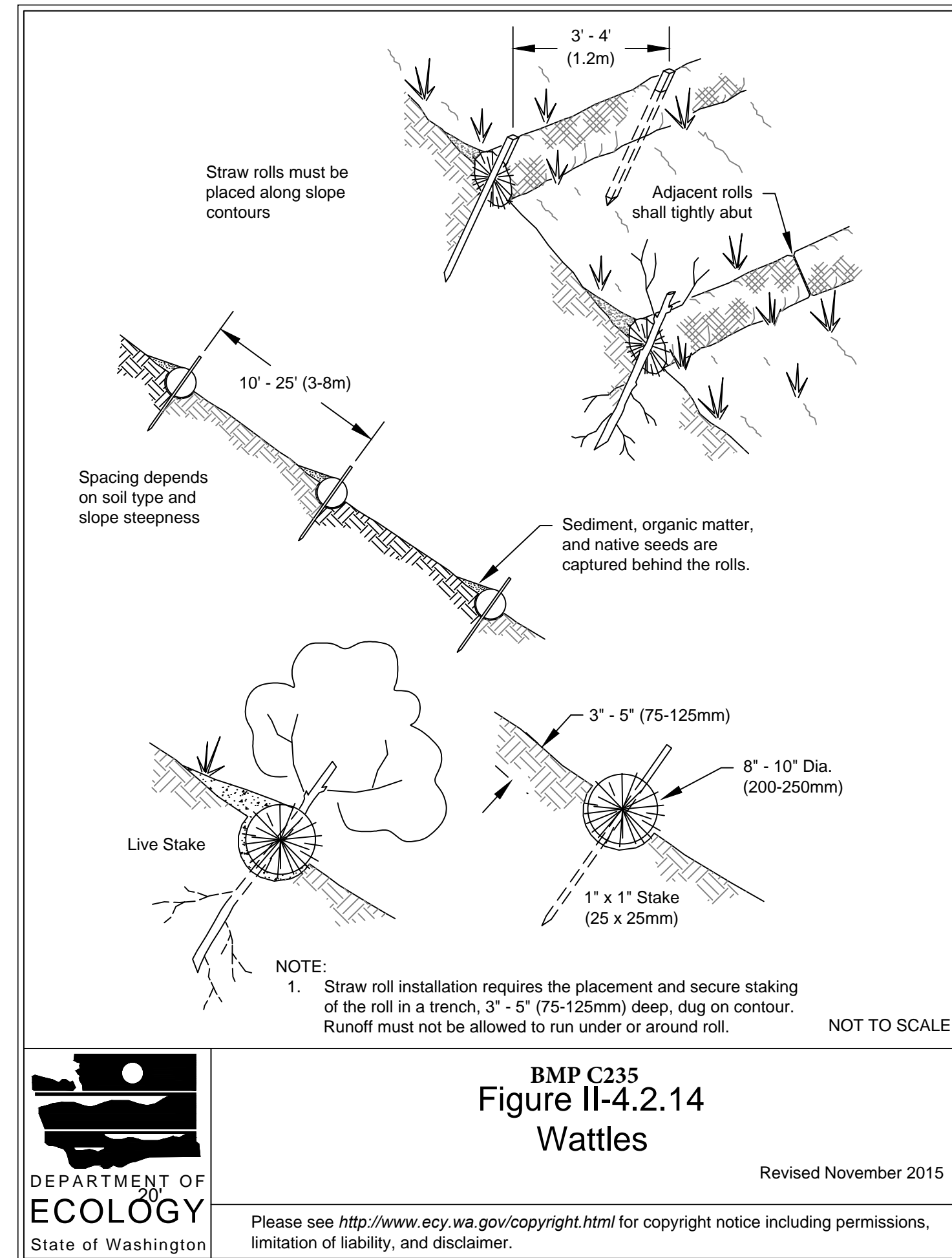
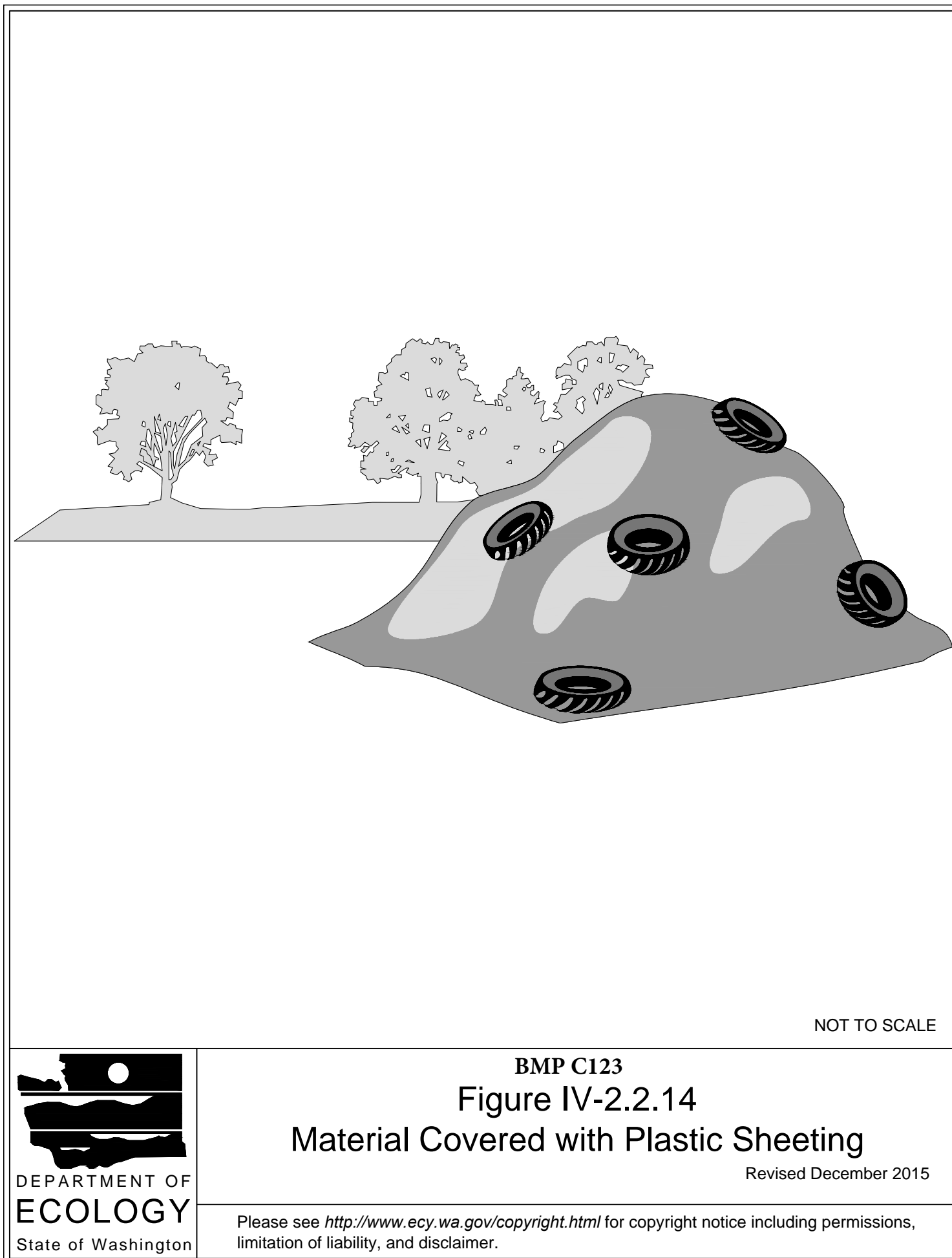
MONAHAN RESIDENCE
2424 67TH AVE SE
MERCER ISLAND WA 98040
9716 REGISTERED ARCHITECT
HEIDI M. HELGESON
STATE OF WASHINGTON



H 2 D
ARCHITECTURE
DESIGN
23020 EDMONDS WAY, #113
EDMONDS, WA 98020
P. 206.542.3734
www.h2darchitects.com

DATE: 9/08/22
REV 1: 1/25/2023

PERMIT SET
PROJECT INFORMATION, VICINITY MAP, GENERAL NOTES, AS-BUILT PLANS



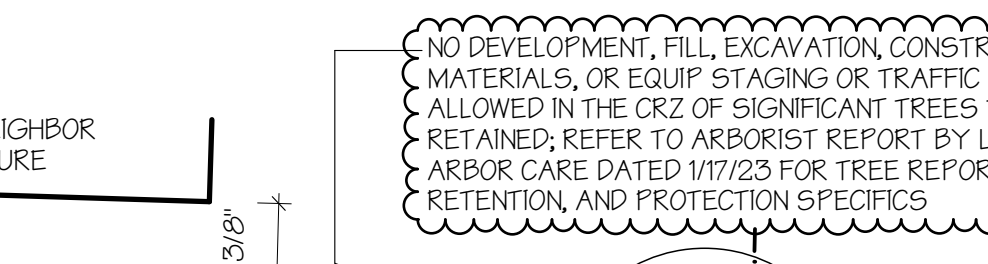
AVERAGE BUILDING ELEVATION CALCULATION

MIDPOINT ELEVATION	WALL LENGTH	ELEVATION X LENGTH
A= 214.76'	LENGTH = 40'-11 7/8"	8610.55 SF
B= 216.67'	LENGTH = 49'-11 7/8"	10831.24 SF
C= 214.37'	LENGTH = 36'-4"	7788.78 SF
D= 209.73'	LENGTH = 34'	7130.82 SF
E= 212.58'	LENGTH = 3'-9 1/8"	799.39 SF
F= 212.73'	LENGTH = 16'-1"	3421.41 SF
38,582.17 SF / 180'-3 1/8" = 214.04'		
AVERAGE BUILDING ELEV. = 214.04'		30' HEIGHT LIMIT = 244.04'

BASEMENT FLOOR AREA EXCLUSION CALCULATION

WALL**	LENGTH	% BELOW GRADE	LENGTH X % BELOW GRADE
N WALL (A)	40'-11 7/8"	65%	26' 0 3/4"
E WALL (B)	49'-11 3/4"	90%	44'-11 3/4"
S WALL (C)	36'-4"	60%	21' 9 5/8"
W WALL (D)	34'	0%	0'
S WALL (E)	3'-9 1/8"	37%	1'-4 3/4"
W WALL (F)	16'-1"	40.7%	6'-6 1/2"
TOTAL	180'-3"	NA	100'-9 3/8"
100'-9 3/8" / 100.8' * 180'-3" [180.3] = 55.9%			
TOTAL BASEMENT FLOOR AREA X 55.9% = 1870.8 SF * 55.9% = 1045.8 SF			

EXEMPT BASEMENT (LOWER FLOOR) AREA = 1045.8 SF



LAND USE CODE COMPLIANCE STATISTICS

ZONE: R8.4
CRITICAL AREA: POTENTIAL LANDSLIDE AND EROSION HAZARD

EXISTING LOT COVERAGE: LOT AREA: 8856 SF
EXISTING HOUSE (INCL ROOF OVERHANG): 2330 SF
EXISTING UNCOVERED DECK - NOT INCL: 728.4 SF
EXISTING DRIVEWAY (NOT INCL ROOF O.H. AREA): 3058.4 SF
EXISTING LOT COVERAGE: 6096.8 SF
ALLOWED LOT COVERAGE: 8856 SF X 35%** = 3,099.6 SF..OK

PROPOSED LOT COVERAGE: EXISTING HOUSE (INCL ROOF OVERHANG): 2330 SF
(CUT BACK EXISTING EAVE) 717 SF
NEW ADDITION 513 SF
EXISTING DRIVEWAY (NOT INCL ROOF O.H. AREA): 728.4 SF
PROPOSED LOT COVERAGE: 3038 SF
ALLOWED LOT COVERAGE: 8856 SF X 35%** = 3,099.6 SF..OK

REQD SETBACKS: FRONT: 20'
REAR SETBACK: 25'
SIDE SETBACK: SUM OF 15, MIN 5'

LANDSCAPE AREA: PROPOSED LANDSCAPE AREA: 5818 SF (65.7%)
REQD LANDSCAPE AREA: 8856 SF X 60% = 5313.6 SF..OK

EXISTING HARDSCAPE: EXISTING WALKWAY/STAIRS: 77.8 SF
EXISTING DECK: 2677.5 SF
TOTAL EXISTING HARDSCAPE: 3455.3 SF
ALLOWED HARDSCAPE: 8856 SF X 9% = 797.04 SF..OK

PROPOSED HARDSCAPE: EXISTING WALKWAY/STAIRS: 77.8 SF
EXISTING DECK: 2677.5 SF
NEW DECK STEP: 2.9 SF
TOTAL PROPOSED HARDSCAPE: 3458.2 SF
ALLOWED HARDSCAPE: 8856 SF X 9% = 797.04 SF..OK

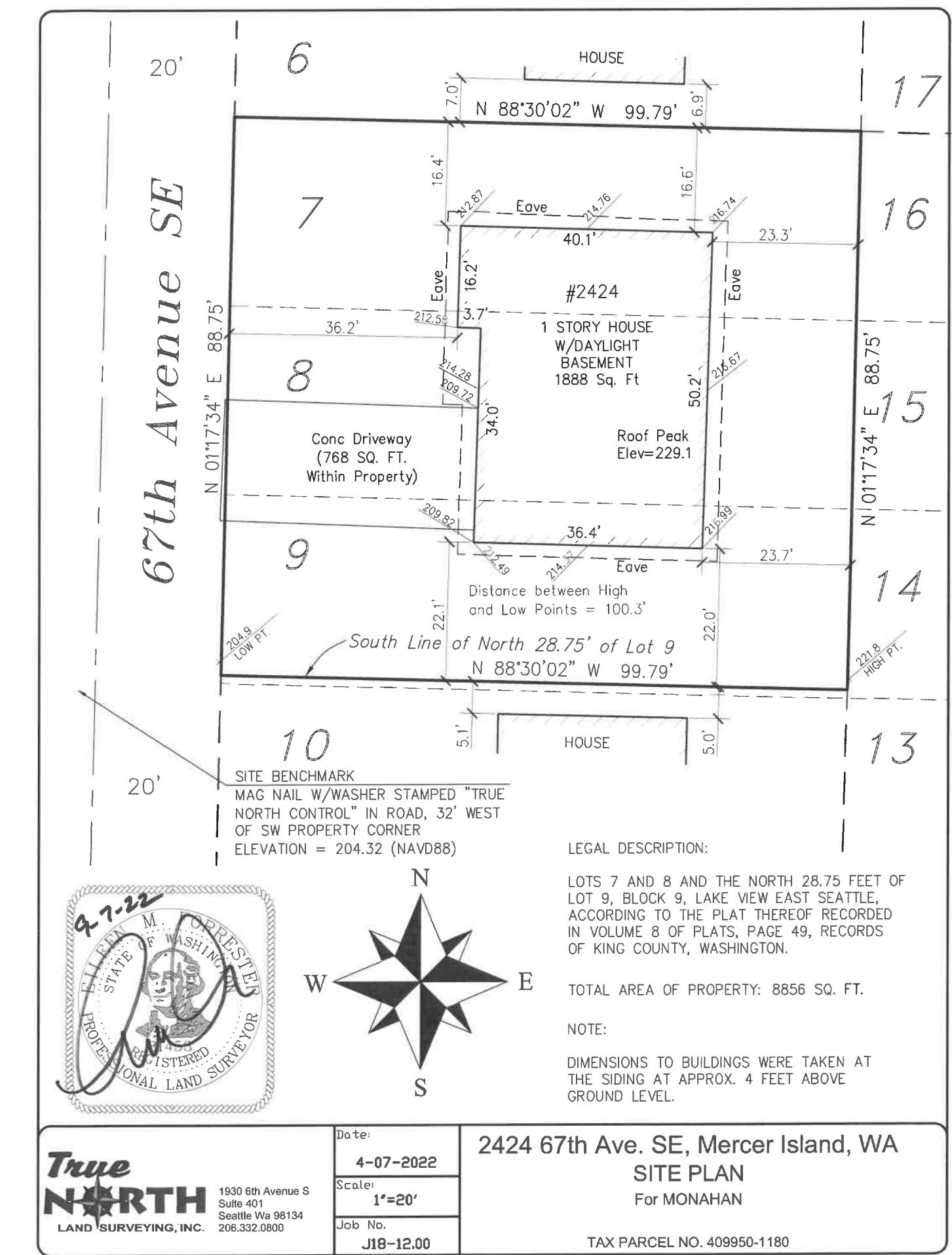
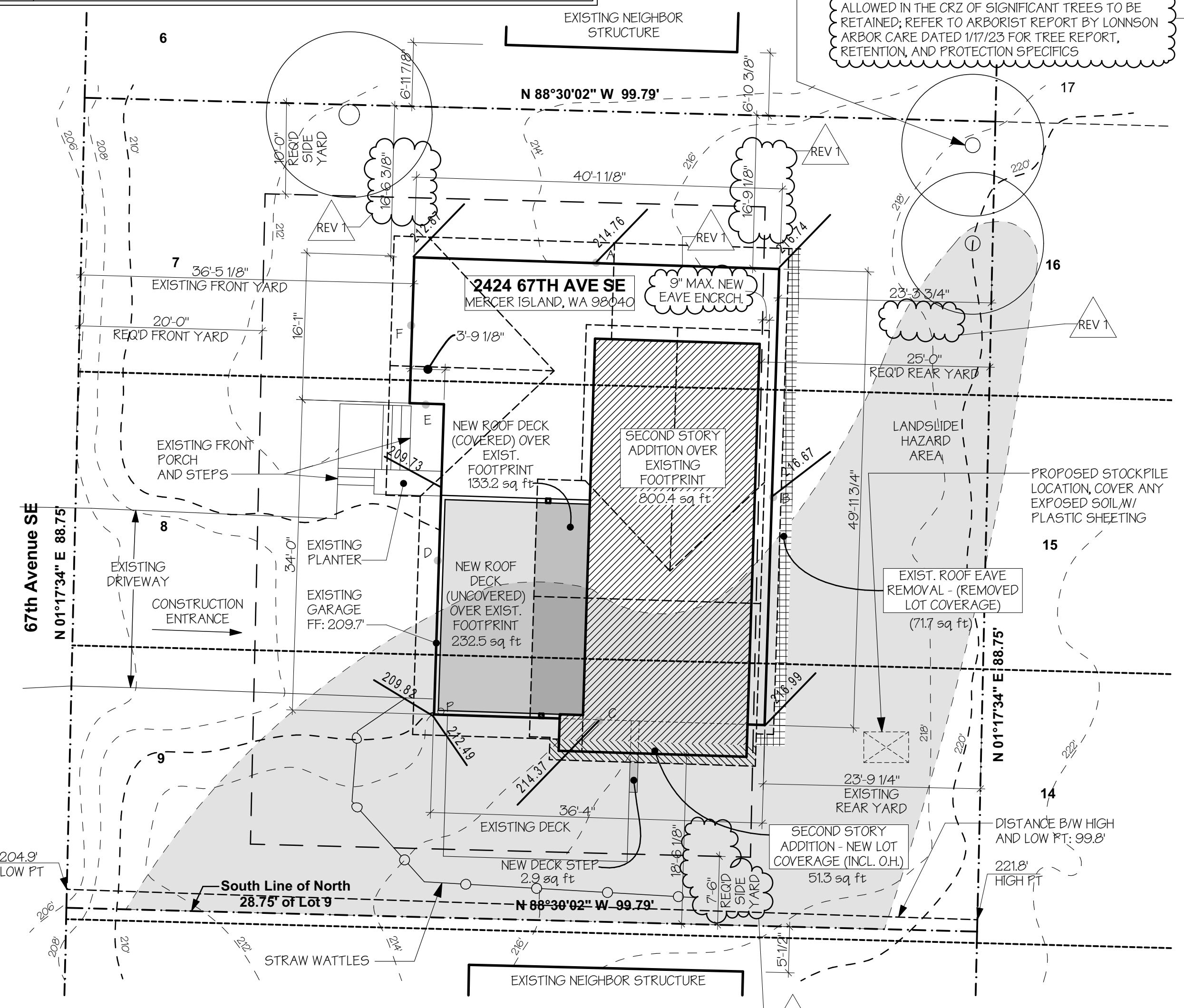
PARKING: 2 REQUIRED PARKING SPACES FOR HOUSES UNDER 3,000 SF

BUILDING HEIGHT INFORMATION: BUILDING HEIGHT LIMIT = 30'
REFER TO SHEET A2.0 AND A2.1 FOR DETAILED HEIGHT INFORMATION

EXISTING GROSS FLOOR AREA: EXISTING LOWER FLOOR - INCL EXIST. GARAGE & STAIR: 1870.8 SF
EXEMPT LOWER FLOOR AREA - BELOW GRADE: (1045.8 SF)
EXISTING MAIN FLOOR - NOT INCL STAIR: 1752.0 SF
TOTAL EXISTING GROSS FLOOR AREA: 2617.0 SF
ALLOWED FLOOR AREA: 8856 SF X 40% = 3542.4 SF..OK

PROPOSED GROSS FLOOR AREA: EXISTING LOWER FLOOR: 1870.8 SF
EXEMPT LOWER FLOOR AREA - BELOW GRADE: (1045.8 SF)
EXISTING MAIN FLOOR - NOT INCL NEW STAIR: 1752.0 SF
NEW MAIN FLOOR ADDITION - SINGLE STORY: 9.0 SF
MAIN FLOOR ADDITION #2 FOR DBL HEIGHT: 24.5 SF
PROPOSED UPPER FLOOR - INCL NEW STAIR: 793.4 SF
PROPOSED COVERED DECK: 107.8 SF
TOTAL PROPOSED GROSS FLOOR AREA: 2668.0 SF
ALLOWED FLOOR AREA: 8856 SF X 40% = 3542.4 SF..OK

**GFA MEASURED FROM OUTSIDE OF EXTERIOR WALLS



MONAHAN RESIDENCE
2424 67TH AVE SE
MERCER ISLAND WA 98040

9716 REGISTERED ARCHITECT
Heidi Michelle Heigeson
HEIDI MICHELLE HEIGESON
STATE OF WASHINGTON

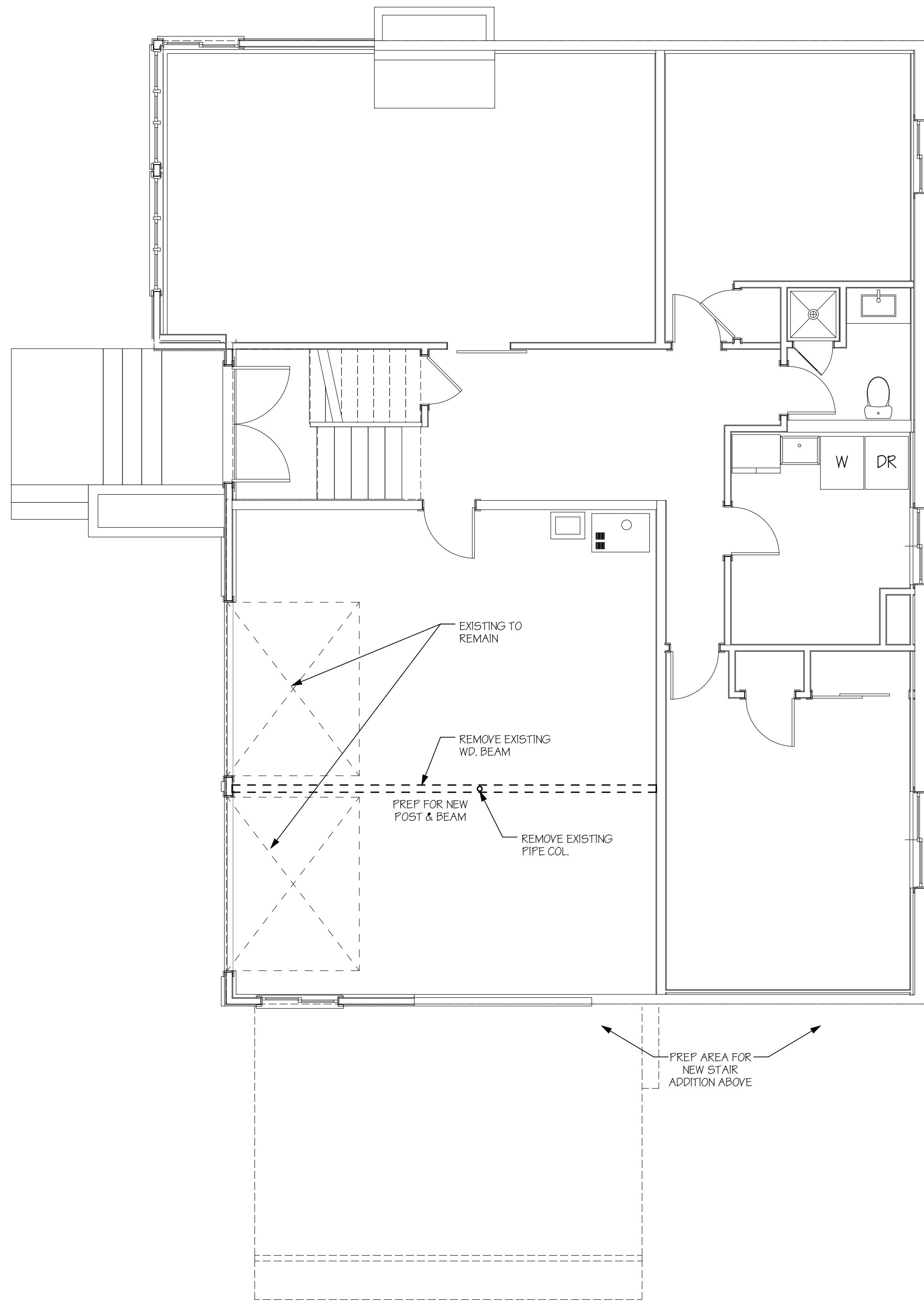
H2D ARCHITECTURE + DESIGN

23020 EDMONDS WAY, #113
EDMONDS, WA 98020
P. 206 . 542 . 3734
www.h2darchitects.com

DATE: 9/08/22
REV 1: 1/25/2023

PERMIT SET

SITE PLAN, SURVEY, LAND USE CODE COMPLIANCE STATS

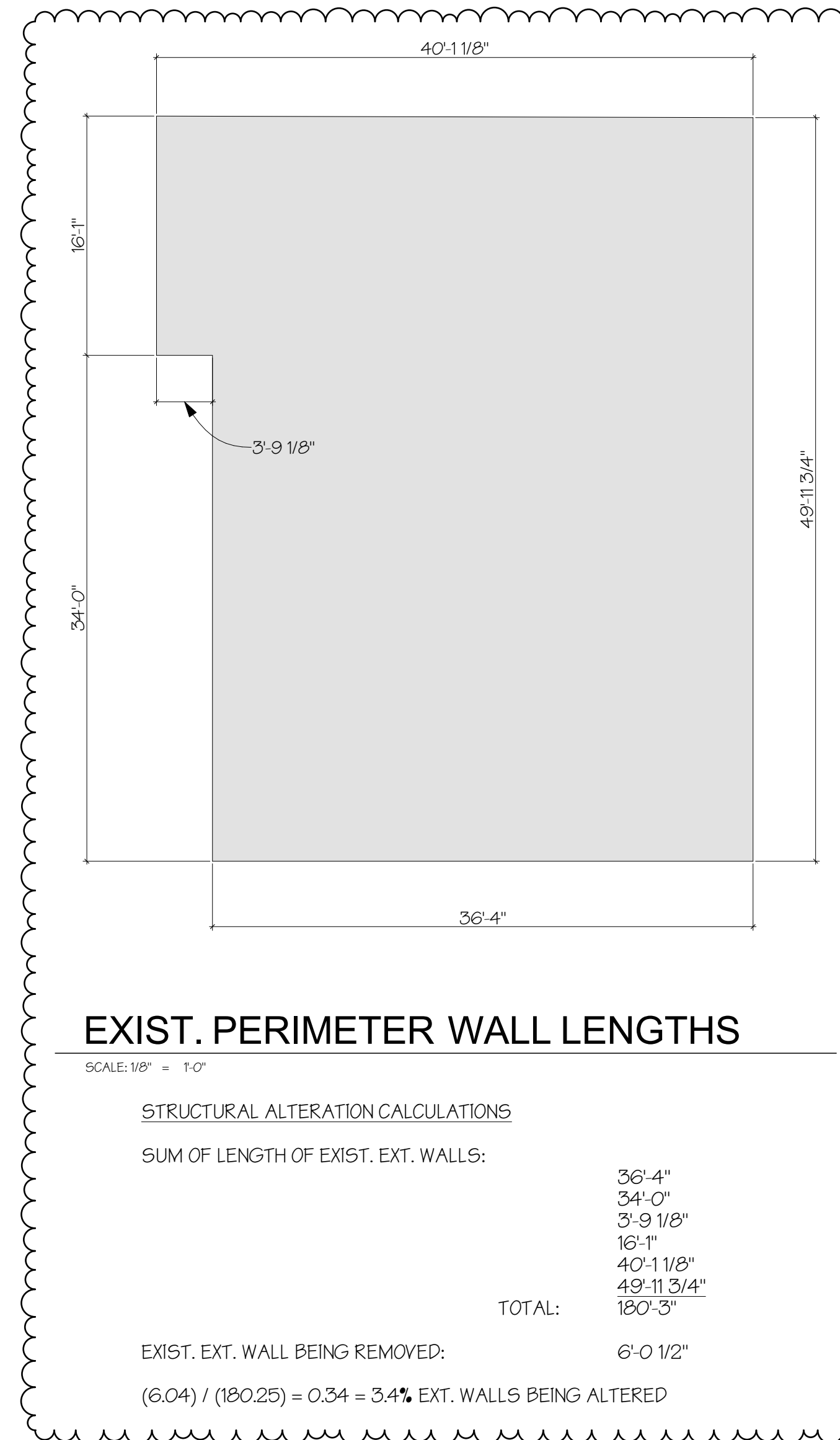


LOWER FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

EXISTING WALLS
 DEMO WALLS

NOTES:
 1. VERIFY SALVAGE ITEMS WITH OWNER PRIOR TO DEMOLITION.
 2. ALL SHORING TO BE THE RESPONSIBILITY OF THE BUILDER.
 CONTACT THE STRUCTURAL ENGINEER WITH QUESTIONS.

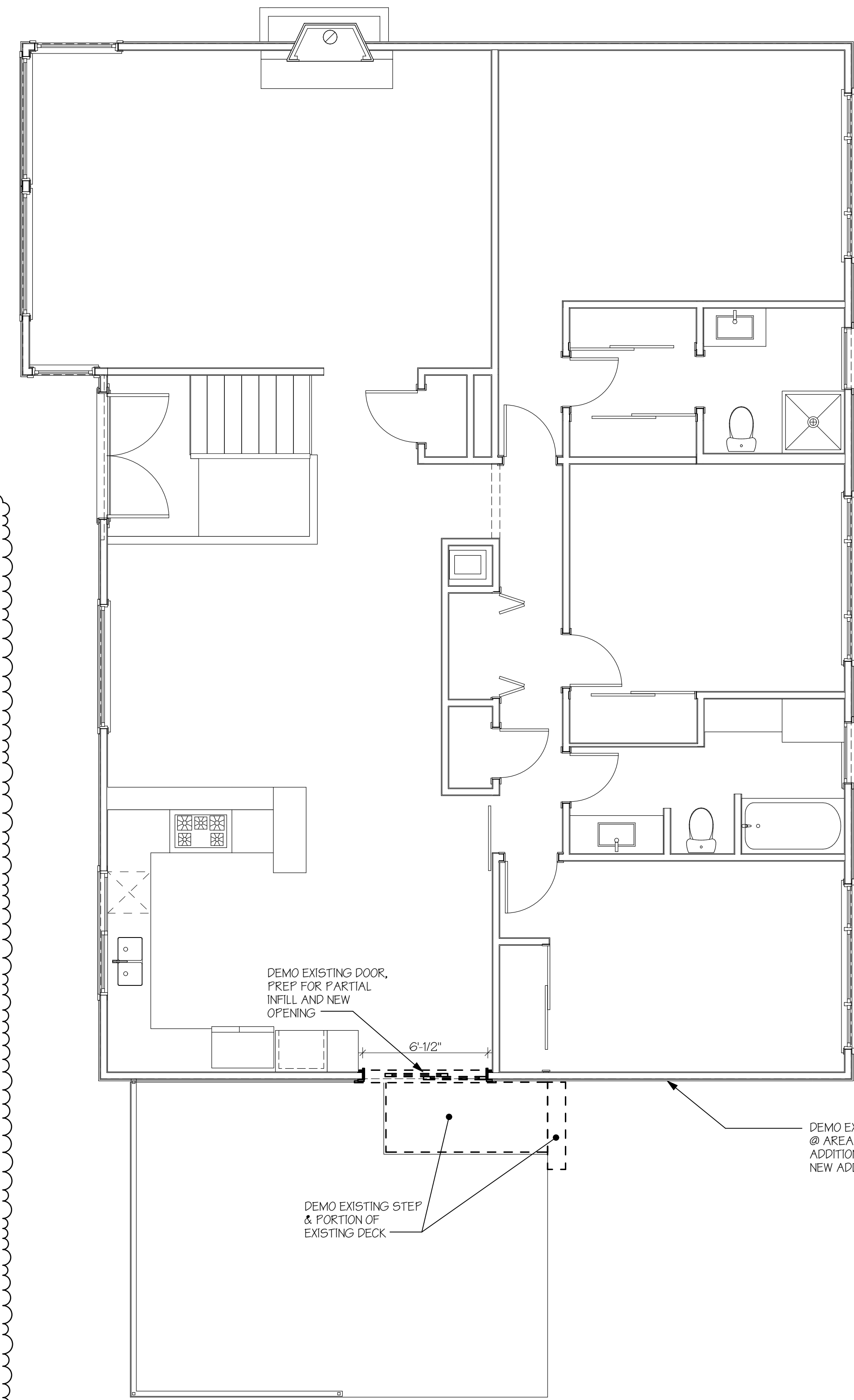


MAIN FLOOR DEMOLITION PLAN

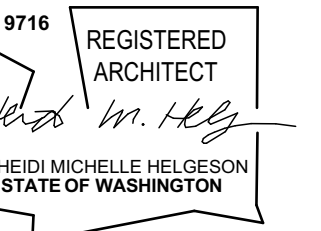
SCALE: 1/4" = 1'-0"

EXISTING WALLS
 DEMO WALLS

NOTES:
 1. VERIFY SALVAGE ITEMS WITH OWNER PRIOR TO DEMOLITION.
 2. ALL SHORING TO BE THE RESPONSIBILITY OF THE BUILDER.
 CONTACT THE STRUCTURAL ENGINEER WITH QUESTIONS.
 3. DEMO SIDING TO PREP FOR NEW SHEAR WALLS PER STRUCTURAL.



MONAHAN RESIDENCE
 2424 67TH AVE SE
 MERCER ISLAND WA 98040



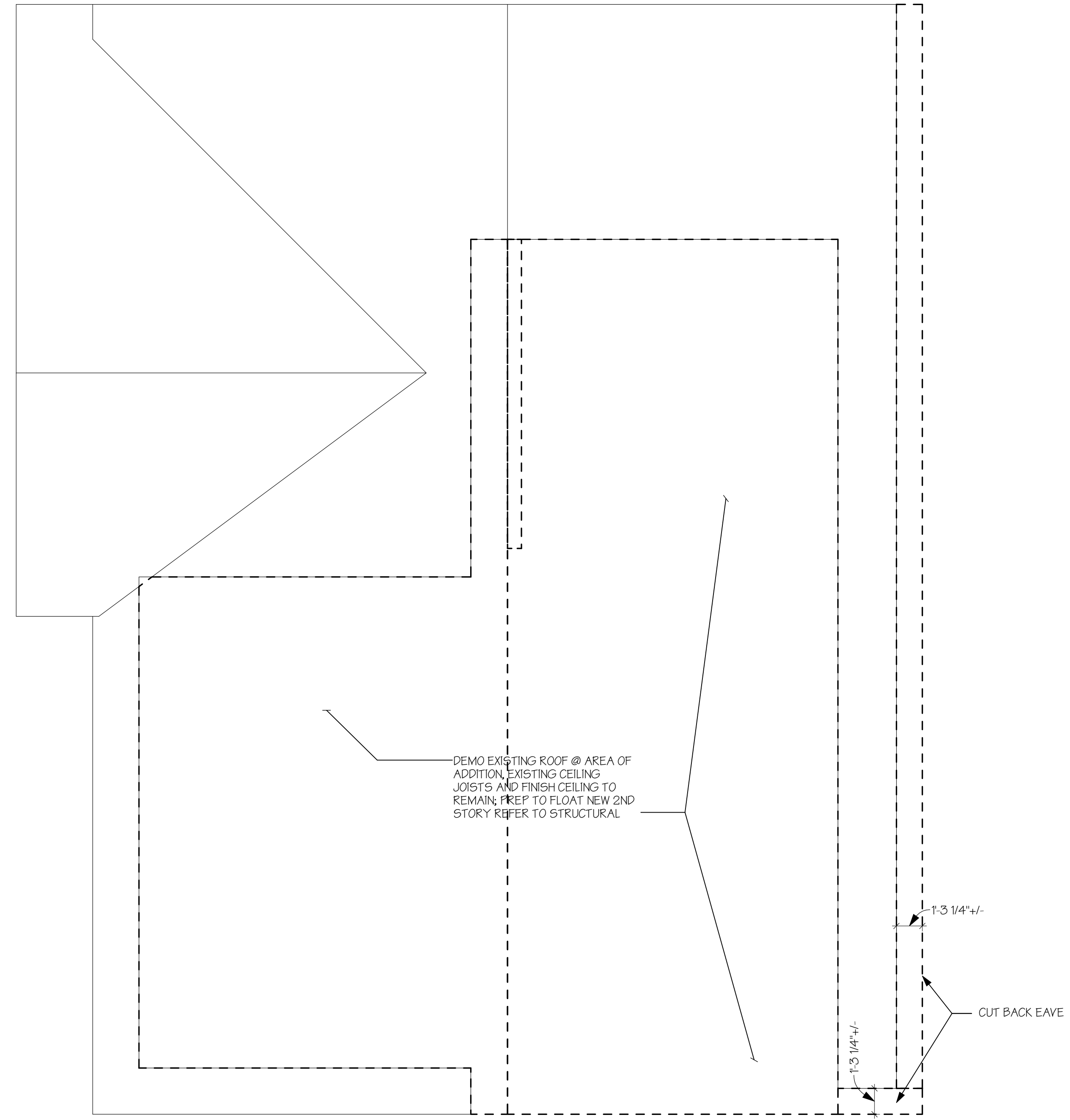
H 2 D
 ARCHITECTURE
 +
 DESIGN

23020 EDMONDS WAY, #113
 EDMONDS, WA 98020
 P. 206.542.3734
 www.h2darchitects.com

DATE: 9/08/22
 REV 1: 1/25/2023

PERMIT SET

LOWER AND MAIN FLOOR
 DEMOLITION PLAN

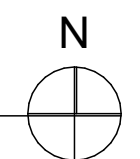


ROOF DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

 EXISTING WALLS
 DEMO WALLS

NOTES:
 1. VERIFY SALVAGE ITEMS WITH OWNER PRIOR TO DEMOLITION.
 2. ALL SHORING TO BE THE RESPONSIBILITY OF THE BUILDER.
 CONTACT THE STRUCTURAL ENGINEER WITH QUESTIONS.



MONAHAN RESIDENCE
 2424 67TH AVE SE
 MERCER ISLAND WA 98040



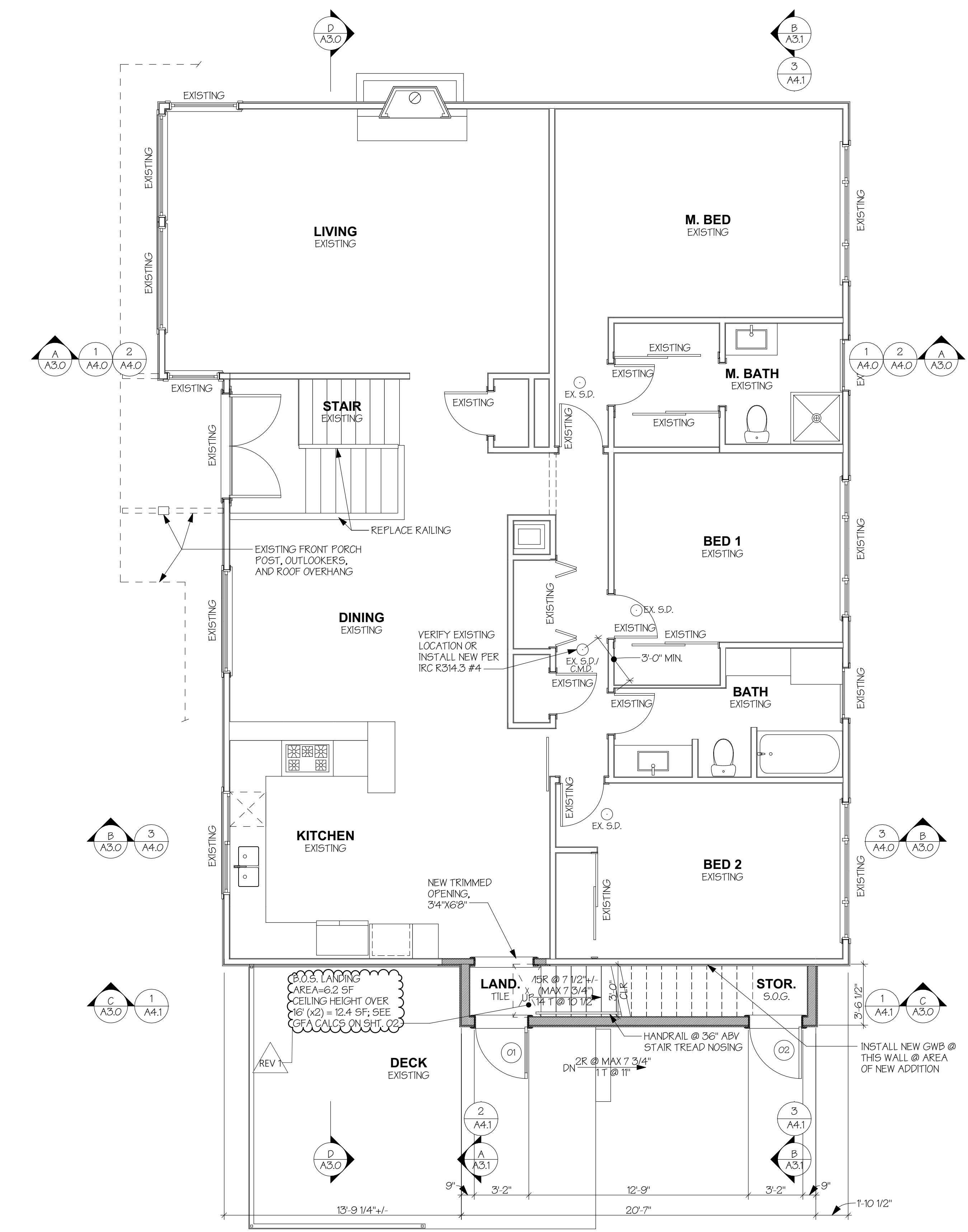
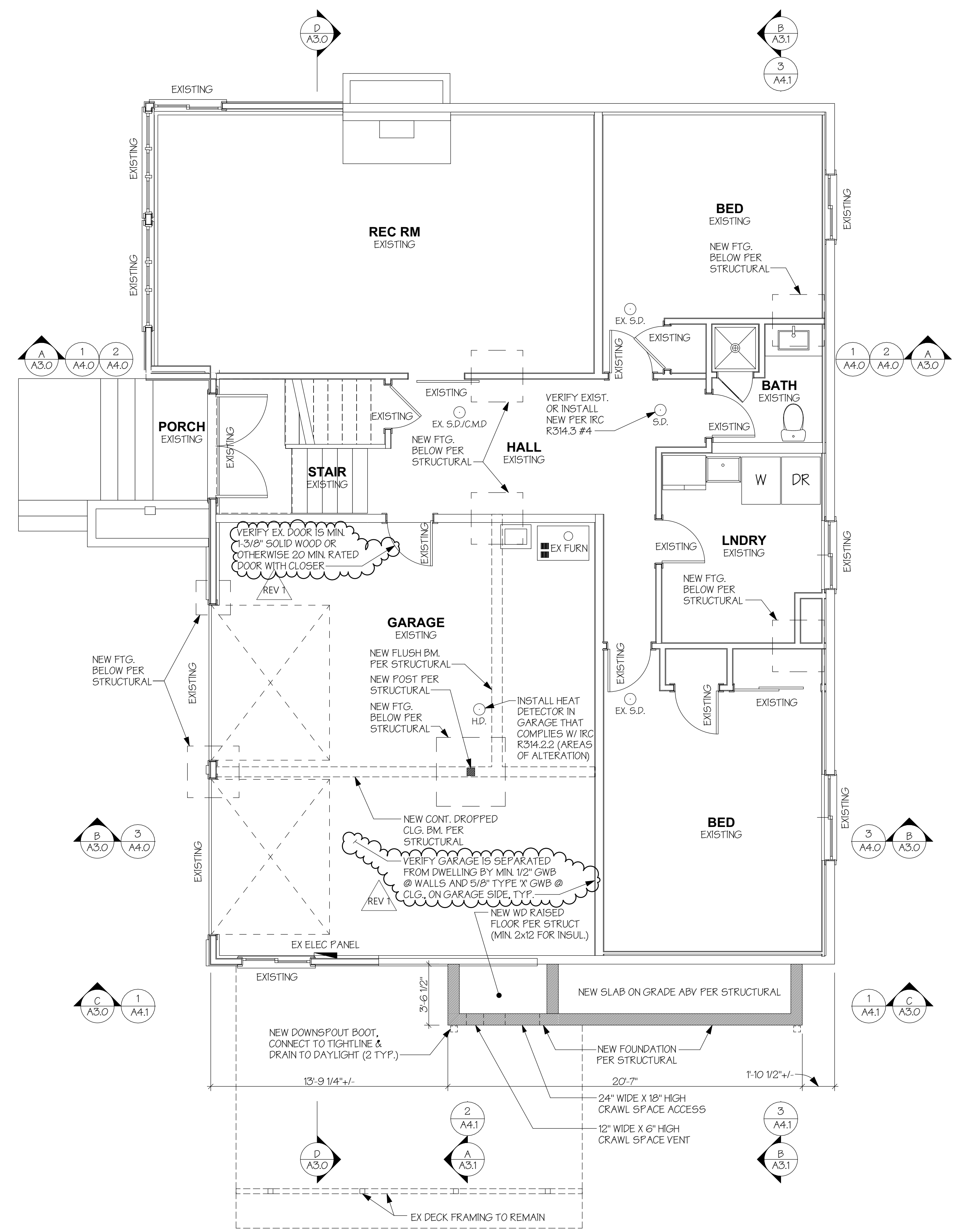
H 2 D
 ARCHITECTURE
 +
 DESIGN

23020 EDMONDS WAY, #113
 EDMONDS, WA 98020
 P. 206.542.3734
 www.h2darchitects.com

DATE: 9/08/22
 REV 1: 1/25/2023

PERMIT SET

ROOF DEMOLITION PLAN



LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING WALLS
NEW WALLS

NOTES:
1. ALL DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNO.
2. ALL DOOR AND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING SIZES, UNO.
3. SEE ATTACHED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORMATION.
4. INSTALL SMOKE DETECTORS (S.D.) AT LOCATIONS SHOWN OR VERIFY EXISTING SMOKE DETECTORS, HARDWIRE AND INTERCONNECT DETECTORS TO POWER SUPPLY AND PROVIDE BATTERY BACKUP AS REQUIRED.
5. INSTALL CARBON MONOXIDE ALARMS (C.M.D.) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, THE ALARM AND SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH IRC R315.3 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, OR VERIFY EXISTING.
6. SMOKE DETECTORS (S.D.) AND CARBON MONOXIDE ALARMS (C.M.D.) TO BE INSTALLED 3'-0" MINIMUM FROM BATHROOM DOORS.

CRAWLSPACE VENTILATION REQUIREMENTS

CRAWLSPACE: PER WAC 51-51-0408 SECTION R408, MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 300 SQUARE FEET OF UNDER-FLOOR AREA. A GROUND COVER OF 10 MIL BLACK POLYETHYLENE OR APPROVED EQUAL SHALL BE LAID OVER THE GROUND WITHIN CRAWL SPACES. THE GROUND COVER SHALL BE OVERLAPPED TWELVE (12) INCHES MINIMUM AT THE JOINTS AND SHALL EXTEND TO THE FOUNDATION WALL. ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS UNLESS NOTED OTHERWISE.

TOTAL CRAWLSPACE AREA @ NEW STAIR LANDING = 20.36 SF
REQUIRED VENTILATION AREA = 9.8 SF

(QTY 1) 6" X 12" VENTS = 72 S.I. VENTILATION AREA PROVIDED

MAIN FLOOR PLAN

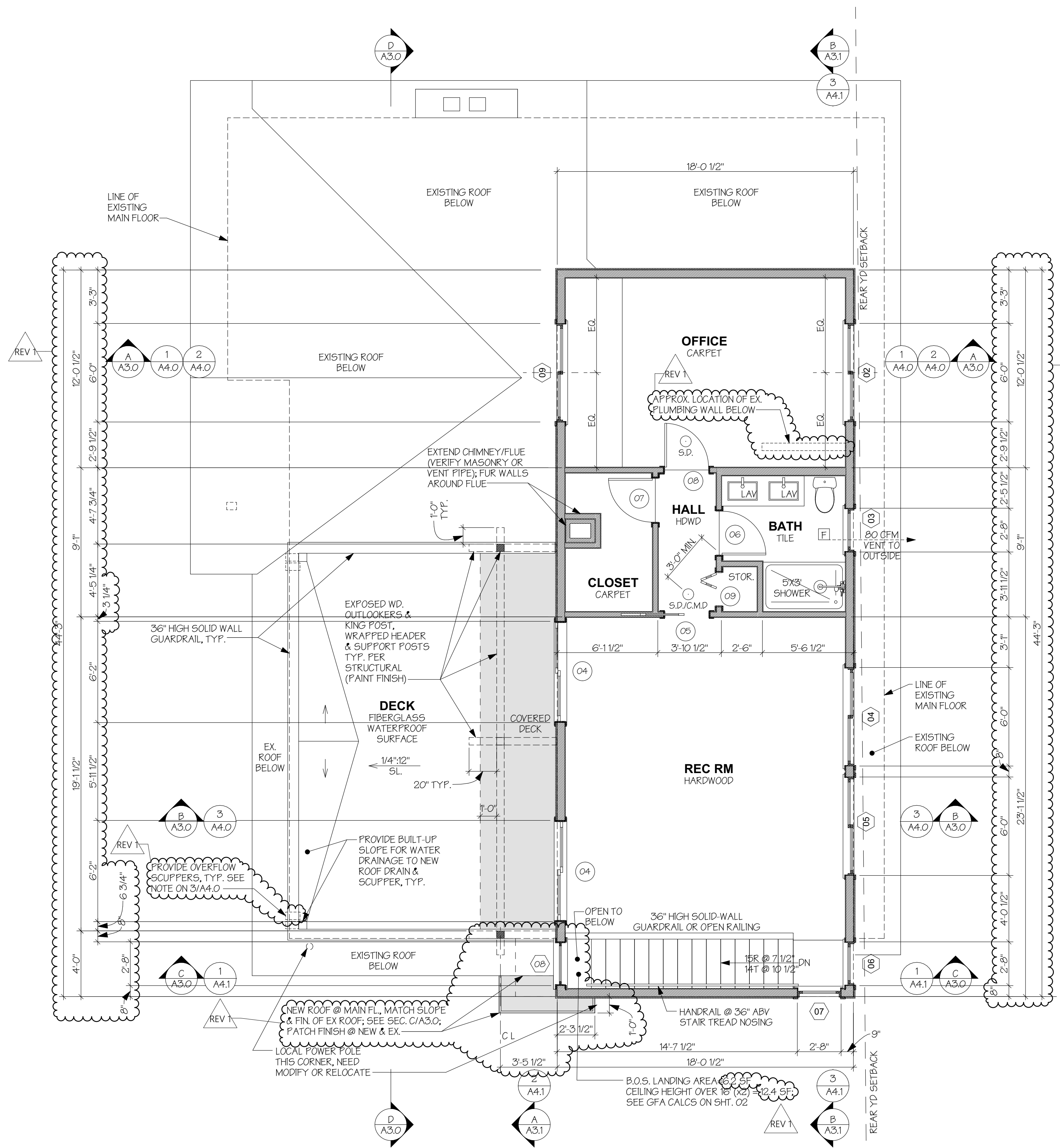
SCALE: 1/4" = 1'-0"

EXISTING WALLS
NEW WALLS

NOTES:
1. ALL DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNO.
2. ALL DOOR AND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING SIZES, UNO.
3. SEE ATTACHED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORMATION.
4. INSTALL SMOKE DETECTORS (S.D.) OR VERIFY EXISTING AT LOCATIONS SHOWN, HARDWIRE AND INTERCONNECT DETECTORS TO POWER SUPPLY AND PROVIDE BATTERY BACKUP AS REQUIRED.
5. INSTALL CARBON MONOXIDE ALARMS (C.M.D.) OR VERIFY EXISTING OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, THE ALARM AND SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH IRC R315.3 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. SMOKE DETECTORS (S.D.) AND CARBON MONOXIDE ALARMS (C.M.D.) TO BE INSTALLED 3'-0" MINIMUM FROM BATHROOM DOORS.

GROSS FLOOR AREA (MEASURED FROM OUTSIDE OF EXTERIOR WALLS)

EXISTING LOWER FLOOR:	1870.8 SF
(EXEMPT LOWER FLOOR - BELOW GRADE)	(1045.8 SF)
EXISTING MAIN FLOOR AREA (NOT INCL STAIR):	1792.0 SF
MAIN FLOOR ADDITION (SINGLE STORY):	9.0 SF
MAIN FLOOR ADDITION (1.5 DBL HEIGHT):	12.4 SF
NEW UPPER FLOOR (INCL STAIR):	793.4 SF
NEW COVERED DECK:	107.8 SF
PROPOSED FLOOR AREA:	4609.5 SF - 1045.8 SF = 3539.6 SF
ALLOWED FLOOR AREA:	8866 SF X 40% = 3542.4 SF



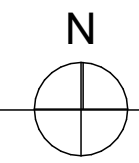
UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING WALLS
NEW WALLS

NOTES:

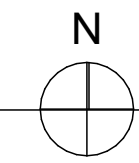
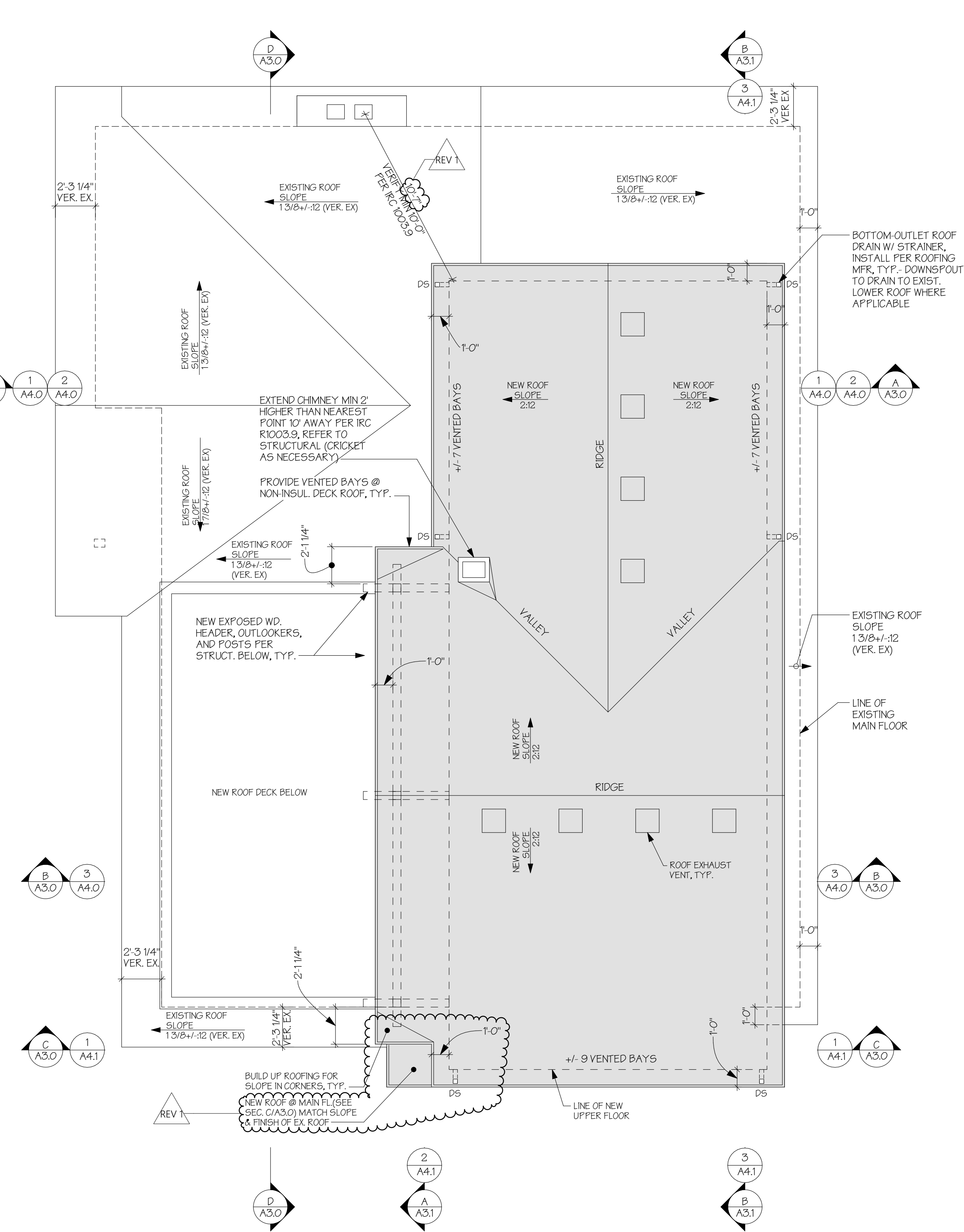
1. ALL DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNO.
2. ALL DOOR AND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING SIZES, UNO.
3. SEE ATTACHED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORMATION.
4. INSTALL SMOKE DETECTORS (S.D.) AT LOCATIONS SHOWN. HARDWIRE AND INTERCONNECT DETECTORS TO POWER SUPPLY AND PROVIDE BATTERY BACKUP AS REQUIRED.
5. INSTALL CARBON MONOXIDE ALARMS (C.M.D.) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. THE ALARM AND SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH IRC R315.3 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. SMOKE DETECTORS (S.D.) AND CARBON MONOXIDE ALARMS (C.M.D.) TO BE INSTALLED 3'-0" MINIMUM FROM BATHROOM DOORS.
7. ALL GAS FIREPLACE HEATERS RATED TO ANSI Z21.88 SHALL BE LISTED AND LABELED WITH A FIREPLACE EFFICIENCY (FE) RATING OF 50 PERCENT OR GREATER IN ACCORDANCE WITH CSA P.4.1. VENTED GAS FIREPLACES (DECORATIVE APPLIANCES) CERTIFIED TO ANSI Z21.50 SHALL BE LISTED AND LABELED, INCLUDING THEIR FE RATINGS, IN ACCORDANCE WITH CSA P.4.1.



ROOF PLAN

SCALE: 1/4" = 1'-0"

EXISTING ROOF
NEW ROOF



VENTILATION REQUIREMENTS @ ATTIC

ATTIC VENTILATION NOTES:

TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3' ABOVE THE EAVE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY THE EAVE VENTS.

NEW TOTAL ATTIC AREA = 207.3 SF / 150
REQUIRED VENTILATION = 538 SF OR 774.72 S.I.

EAVE INTAKE VENTING:
COR-A-VENT S-400 STRIP VENT = 10 S.I. PER LINEAR FOOT (18.75 S.I. PER BAY)
MIN. 22 VENTED BAYS = 412.5 S.I. OF VENTILATED AREA PROVIDED

RIDGE EXHAUST VENTING:
ROOF LOUVER 16" SQ. (VERIFY MIN. 2:12 LOW-SLOPE APPROPRIATE) = 50 S.I. NFA EA.
QTY PROVIDED: 8 = 400 S.I. PROVIDED (MIN. 362.22 S.I. REQUIRED FOR BALANCE)

MONAHAN RESIDENCE
2424 67TH AVE SE
MERCER ISLAND WA 98040

9716 REGISTERED ARCHITECT
H2D
HEIDI MICHELLE HELGESSON
STATE OF WASHINGTON



H 2 D
ARCHITECTURE
DESIGN

23020 EDMONDS WAY, #113
EDMONDS, WA 98020
P. 206.542.3734
www.h2darchitects.com

DATE: 9/08/22
REV 1: 1/25/2023

PERMIT SET

UPPER FLOOR AND ROOF PLAN

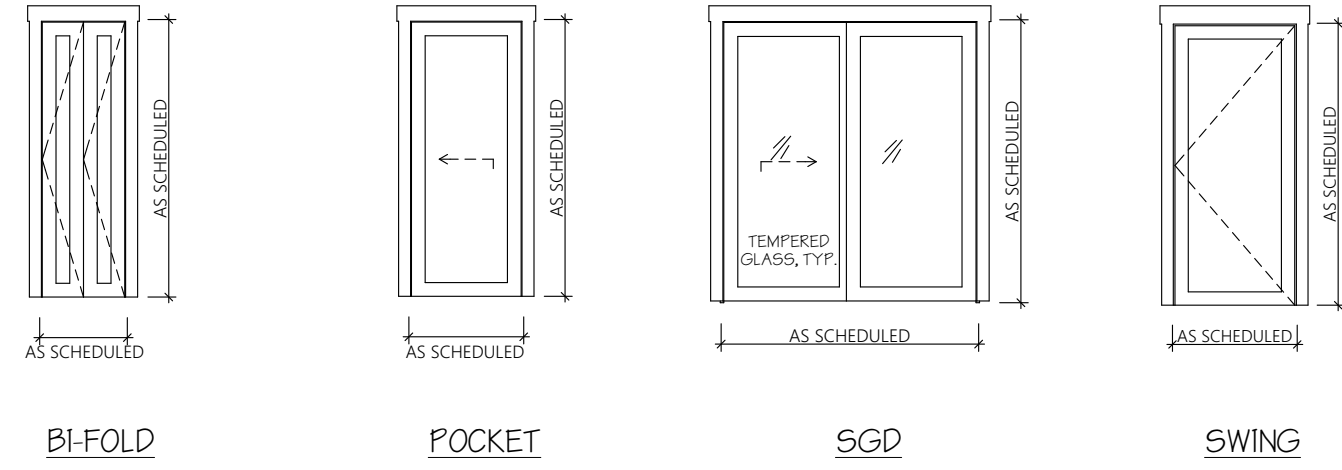
A1.3

DOOR SCHEDULE										
	ID	R.O. DIMENSIONS *SEE NOTE 1		DOOR LEAF DIMENSIONS		TYPE	THICK	AREA (SF)	NOTES	U-VAL
		WIDTH	HEIGHT	W	HT					
FOUNDATION - T.O. FOOTING										
	06	2'-10"	6'-10 1/2"	2'-8"	6'-8"	SWING	0'-1 3/8"	0.00		
EX MAIN FLOOR										
	01	3'-2"	6'-10 1/2"	3'-0"	6'-8"	SWING	0'-1 3/4"	20.00	TEMPERED	0.28
	02	3'-2"	6'-10 1/2"	3'-0"	6'-8"	SWING	0'-1 3/4"	20.00		
NEW UPPER FLOOR										
	04	6'-2"	6'-10 1/2"	6'-0"	6'-8"	SGD	0'-1 3/4"	20.00	TEMPERED	0.28
	05	2'-10"	6'-10 1/2"	2'-8"	6'-8"	POCKET	0'-1 3/8"	0.00	VER R.O. W/ SELECTED POCKET DR MFR	
	06	2'-10"	6'-10 1/2"	2'-8"	6'-8"	SWING	0'-1 3/8"	0.00		
	07	2'-10"	6'-10 1/2"	2'-8"	6'-8"	SWING	0'-1 3/8"	0.00		
TOTAL EXTERIOR DOOR AREA		2'-10"	6'-10 1/2"	2'-8"	6'-8"	SWING	0'-1 3/8"	0.00		
	09	2'-2"	6'-10 1/2"	2'-0"	6'-8"	BI-FOLD	0'-1 3/8"	0.00		

MANUFACTURER: INTERIOR: SIMPSON OR EQUAL, SOLID CORE DOOR, PANEL TO MATCH EXISTING TO BE SELECTED
EXTERIOR: TO BE SELECTED

EXTERIOR DOORS TO BE NFRC 100 LABELED AND CERTIFIED BY THE MANUFACTURER.

- NOTES:
1. VERIFY ROUGH OPENING SIZES WITH SELECTED MANUFACTURER REQUIREMENTS
2. SEE ELEVATIONS FOR CONFIGURATION
3. VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO CONSTRUCTION
4. CONTACT ARCHITECT IMMEDIATELY WITH QUESTIONS

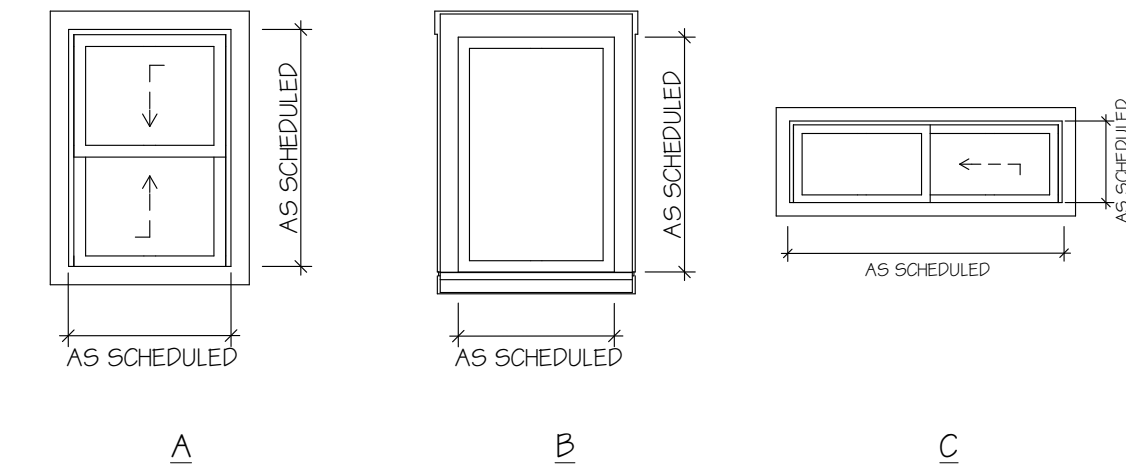


WINDOW SCHEDULE										
	ID	ROUGH OPENING *SEE NOTE 1		ROUGH HEAD FROM SUBFLR.	TYPE	OPER	AREA (SF)	NOTES	U-VAL	
		WIDTH	HEIGHT							
FOUNDATION - T.O. FOOTING										
	08	2'-8"	4'-0"	-93'-1 1/2"	B	FIXED	10.70		0.30	
NEW UPPER FLOOR										
	02	6'-0"	2'-0"	6'-10 1/2"	C	H.S.	12.00		0.30	
	03	2'-8"	4'-0"	6'-10 1/2"	A	D.H.	10.70	TEMPERED; TRANSLUCENT	0.30	
	04	6'-0"	2'-0"	6'-10 1/2"	C	H.S.	12.00		0.30	
	05	6'-0"	2'-0"	6'-10 1/2"	C	H.S.	12.00		0.30	
	06	2'-8"	4'-0"	6'-10 1/2"	A	D.H.	10.70	TEMPERED	0.30	
	07	2'-8"	4'-0"	6'-10 1/2"	A	D.H.	10.70	TEMPERED	0.30	
TOTAL EXTERIOR WINDOW AREA		6'-0"	4'-0"	6'-10 1/2"	B	FIXED	10.70		0.30	
NFRC 100 LABELED AND CERTIFIED BY THE MANUFACTURER		6'-0"	4'-0"	6'-10 1/2"	C	H.S.	24.00	EGRESS	0.30	

MANUFACTURER: TO BE SELECTED; MATCH EXISTING
SERIES: VERIFY TO MATCH EXISTING

- NOTES:
1. VERIFY ROUGH OPENING SIZES WITH SELECTED MANUFACTURER REQUIREMENTS
2. SEE ELEVATIONS FOR CONFIGURATION
3. VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO CONSTRUCTION
4. VERIFY EXISTING ROUGH OPENINGS WHERE WINDOWS ARE BEING REPLACED IN THE EXISTING OPENINGS PRIOR TO ORDERING THE WINDOWS
5. CONTACT ARCHITECT IMMEDIATELY WITH QUESTIONS
6. TRANSLUCENT GLASS TO BE SATIN ETCH. PROVIDE GLASS SAMPLE TO OWNER/ARCH FOR APPROVAL PRIOR TO ORDERING
7. ALL WINDOWS IN SHOWERS TO BE VINYL, FIBERGLASS OR RATED FOR USE IN WET LOCATION. VERIFY CONFIGURATION OF SHOWER WINDOWS WITH OWNER PRIOR TO ORDERING.

KEY
A = AWNING
C = CASEMENT
H.S. = HORIZONTAL SLIDER
P = PICTURE
SH = SINGLE HUNG
DH = DOUBLE HUNG
H = HOPPER
FIXED = FIXED



MONAHAN RESIDENCE
2424 67TH AVE SE
MERCER ISLAND WA 98040



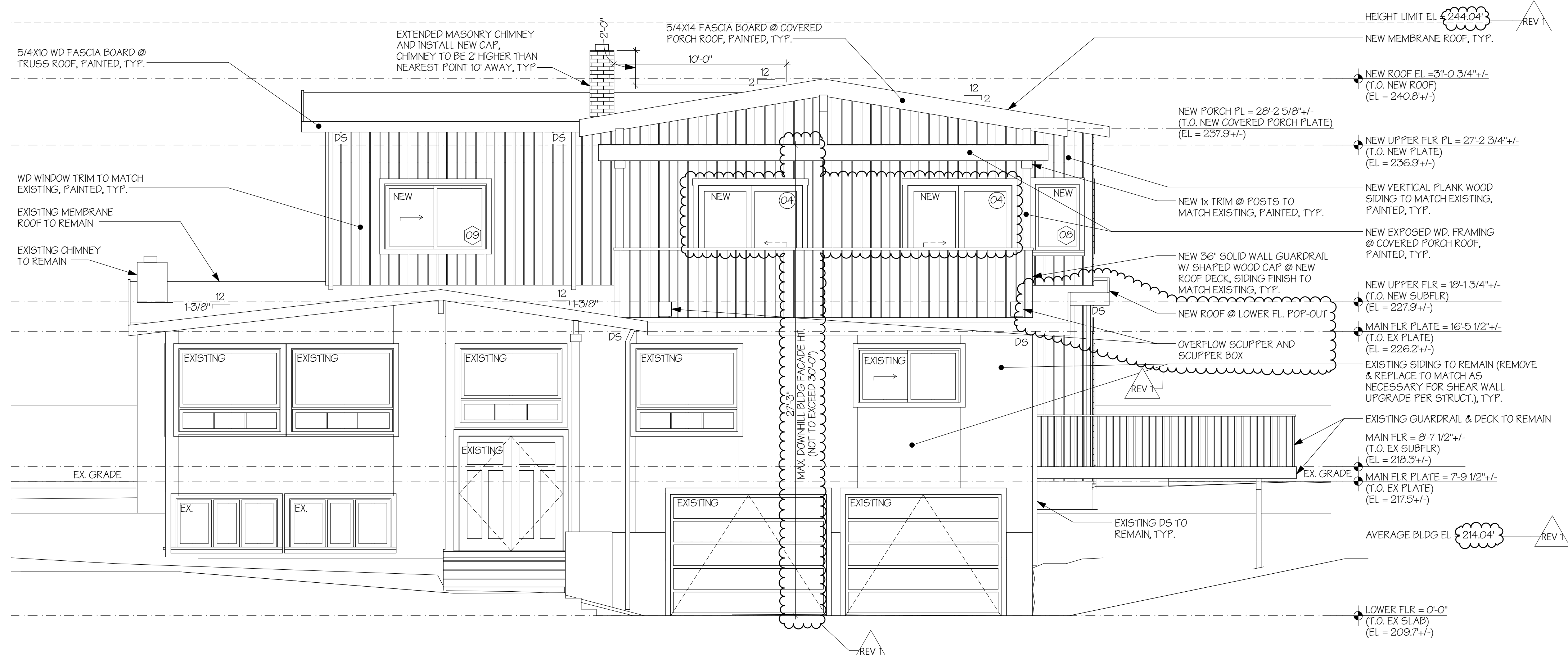
H 2 D
ARCHITECTURE
+
DESIGN
23020 EDMONDS WAY, #113
EDMONDS, WA 98020
P. 206.542.3734
www.h2darchitects.com

DATE: 9/08/22
REV 1: 1/25/2023

PERMIT SET

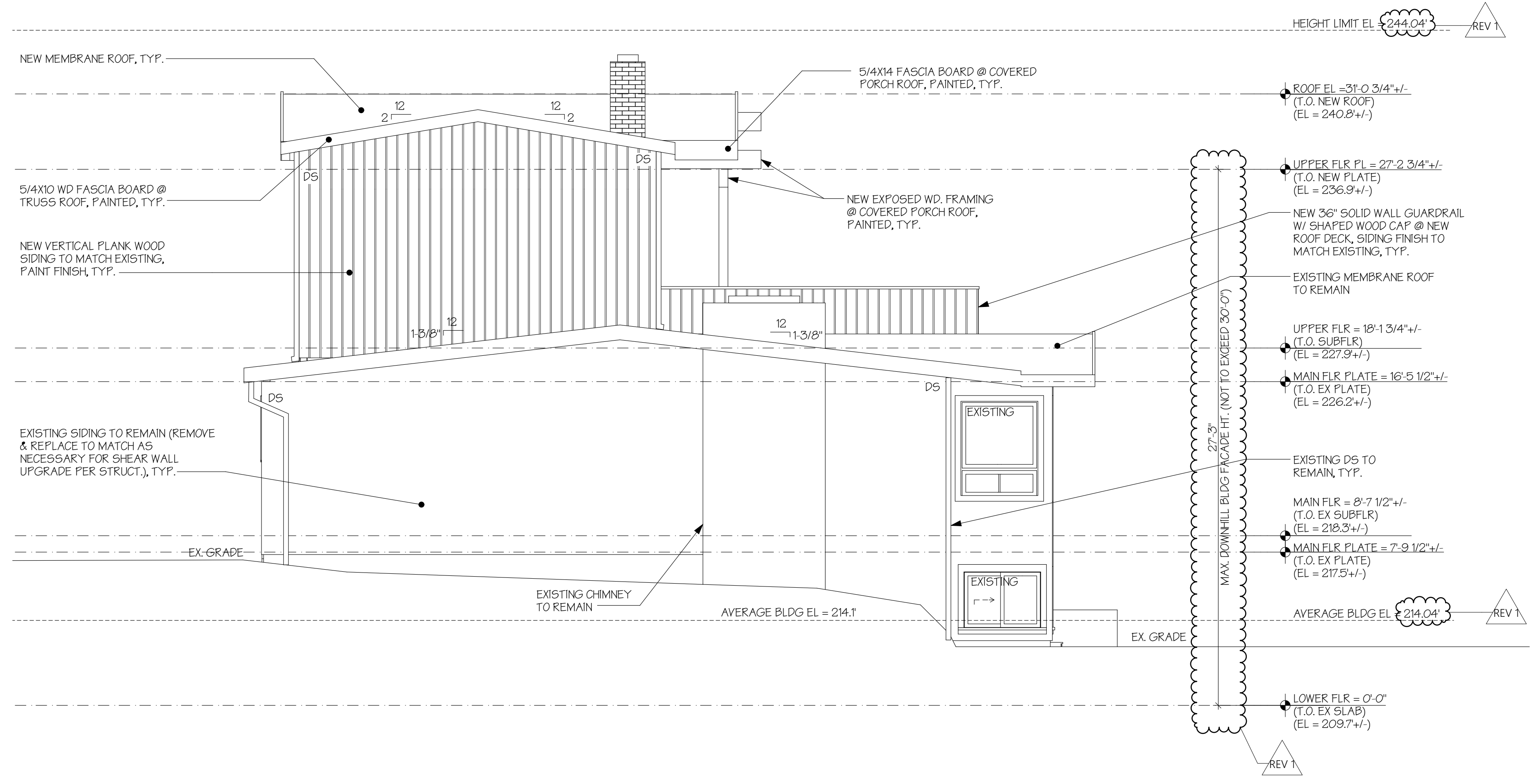
WINDOW AND DOOR SCHEDULES

A1.4



WEST ELEVATION (FRONT)

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

MONAHAN RESIDENCE
 2424 67TH AVE SE
 MERCER ISLAND WA 98040



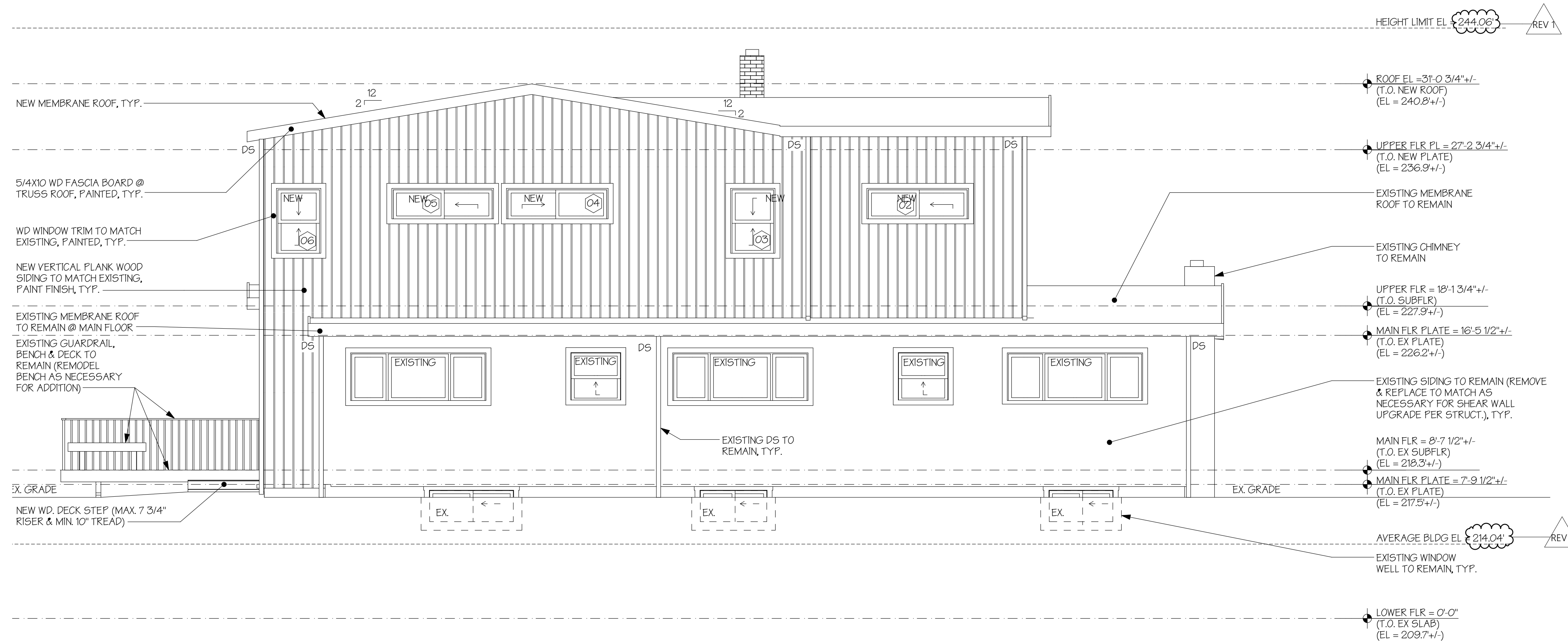
H 2 D
 ARCHITECTURE
 +
 DESIGN

23020 EDMONDS WAY, #113
 EDMONDS, WA 98020
 P. 206.542.3734
 www.h2darchitects.com

DATE: 9/08/22
 REV 1: 1/25/2023

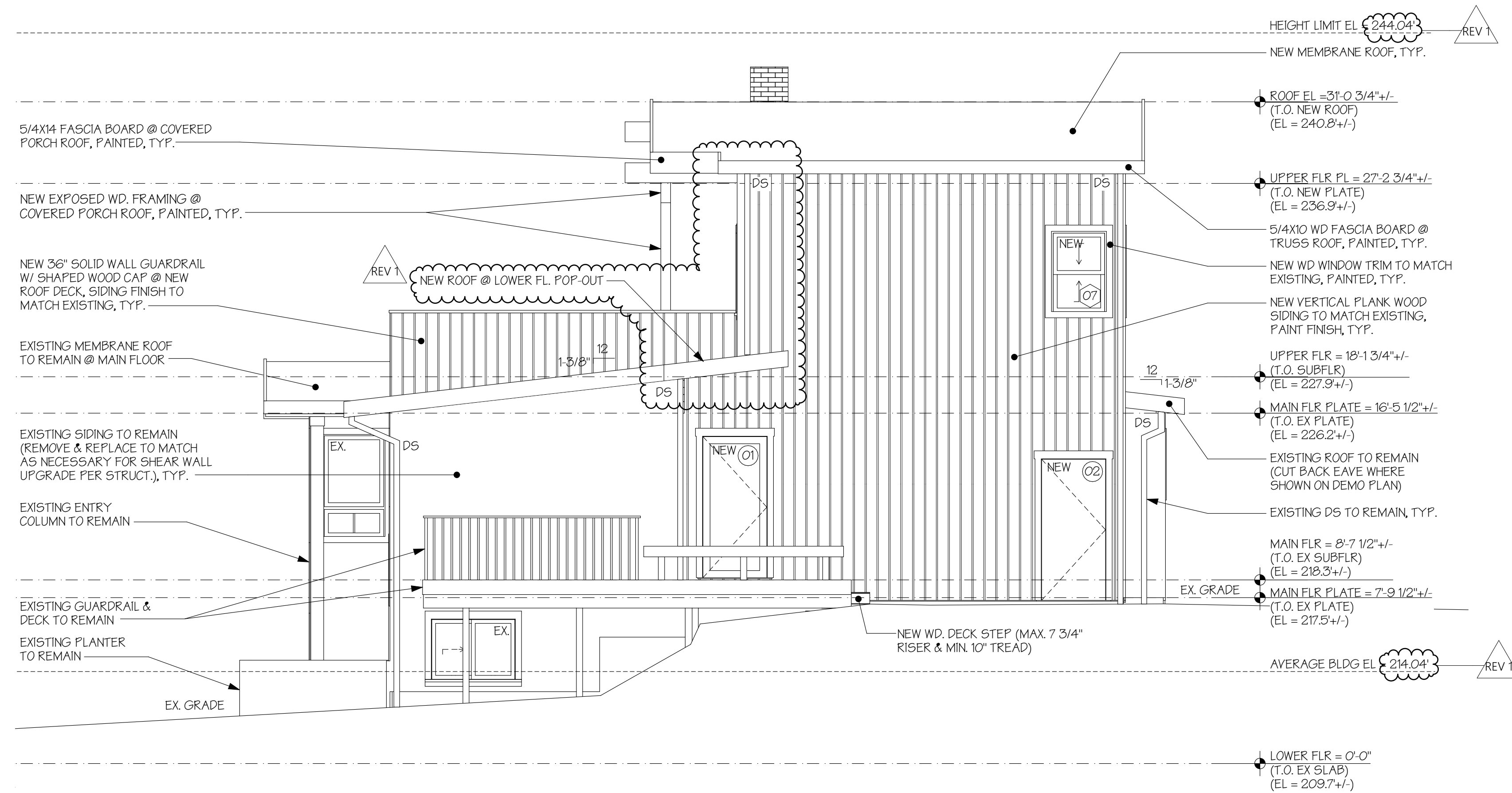
PERMIT SET

EXTERIOR ELEVATIONS



EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

MONAHAN RESIDENCE
 2424 67TH AVE SE
 MERCER ISLAND WA 98040



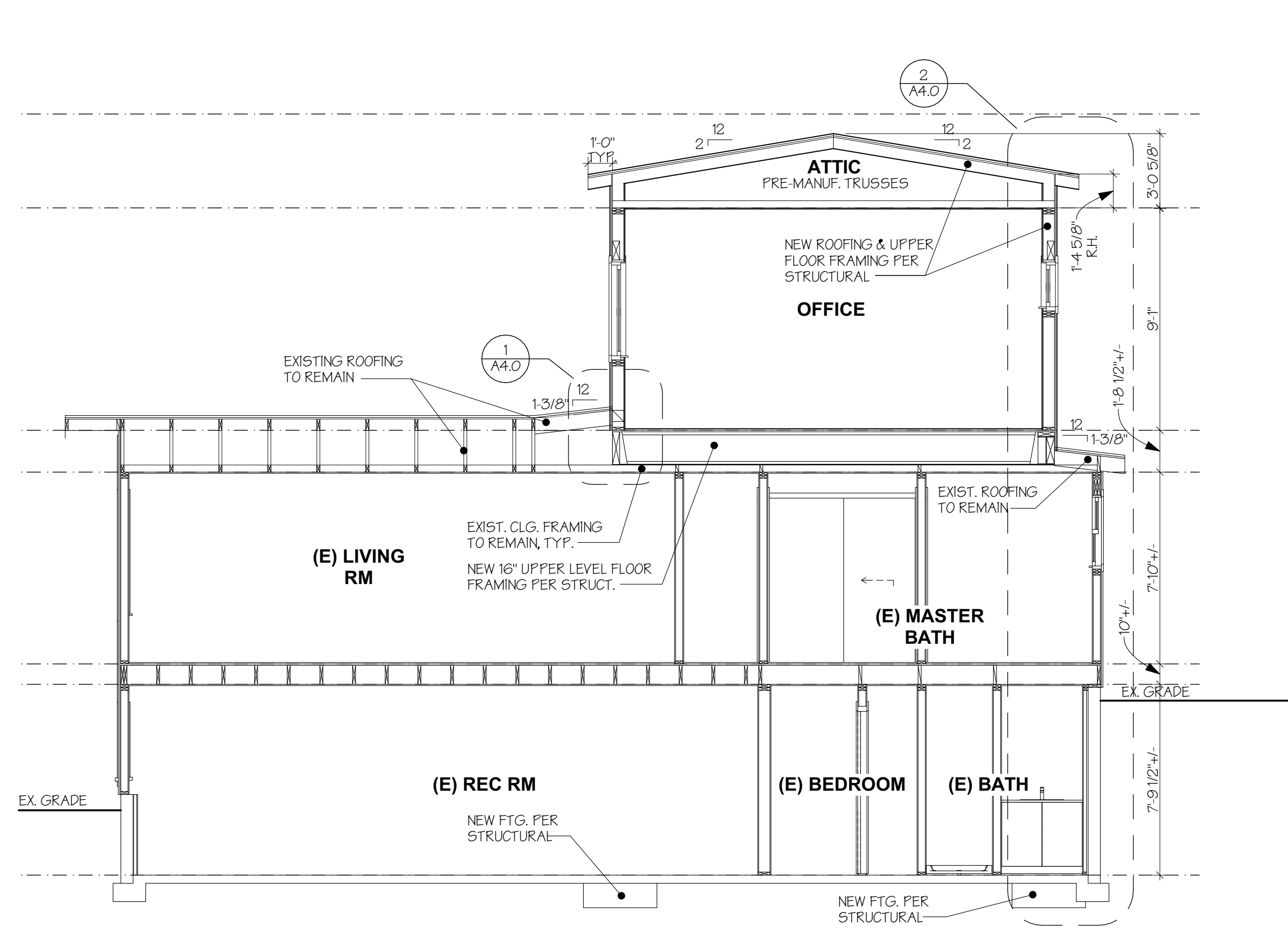
H 2 D
 ARCHITECTURE
 +
 DESIGN

23020 EDMONDS WAY, #113
 EDMONDS, WA 98020
 P. 206.542.3734
 www.h2darchitects.com

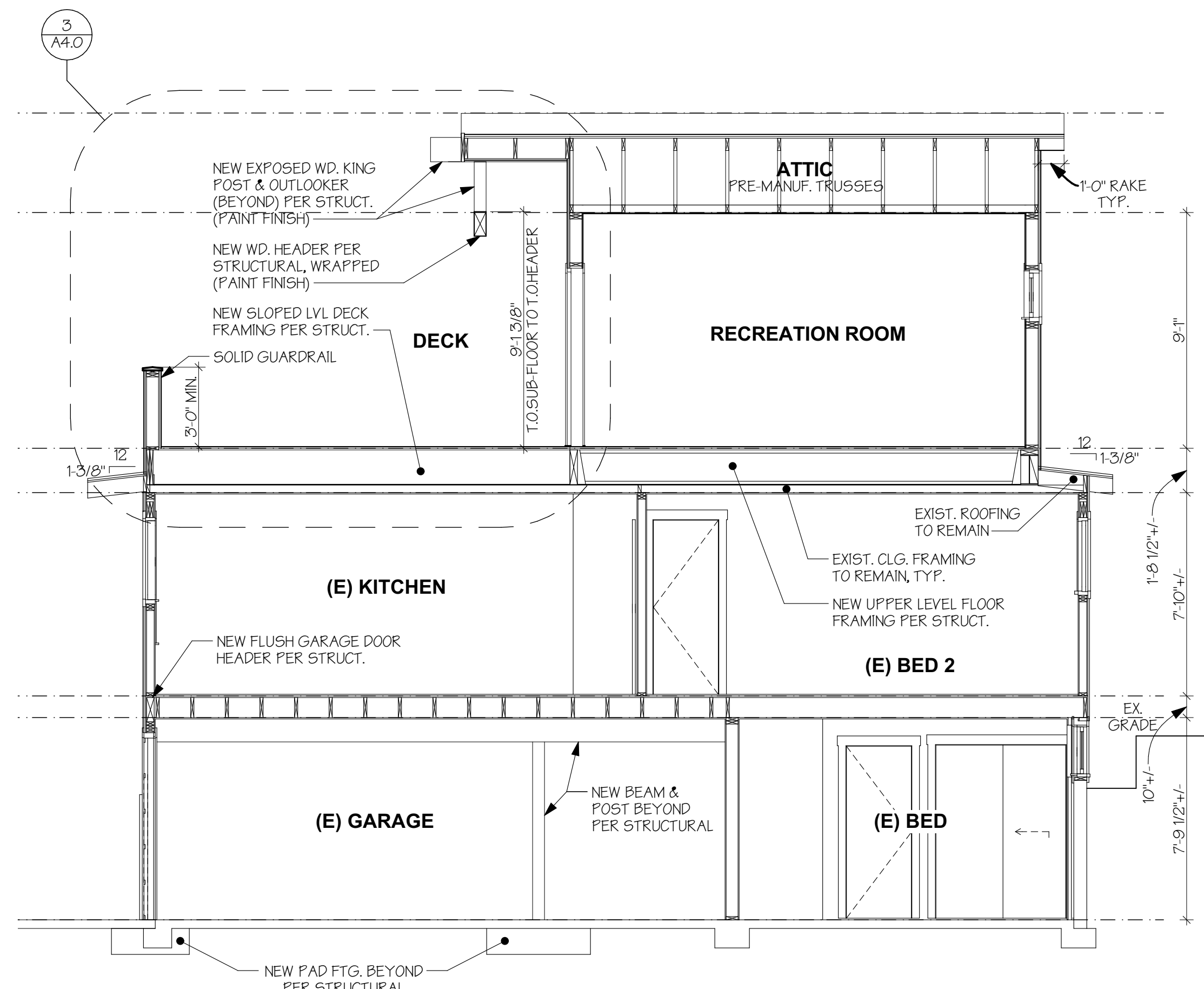
DATE: 9/08/22
 REV 1: 1/25/2023

PERMIT SET

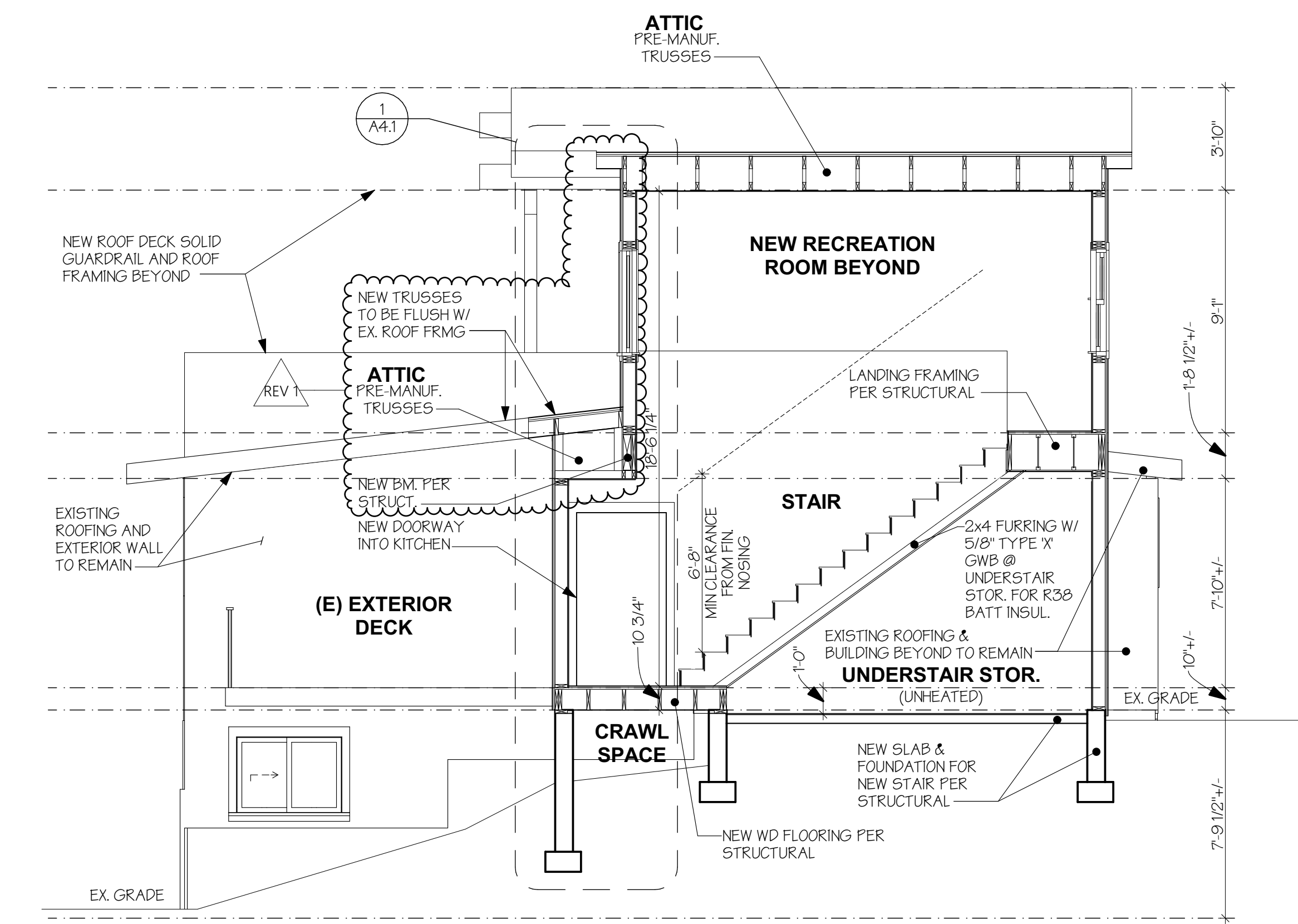
EXTERIOR ELEVATIONS



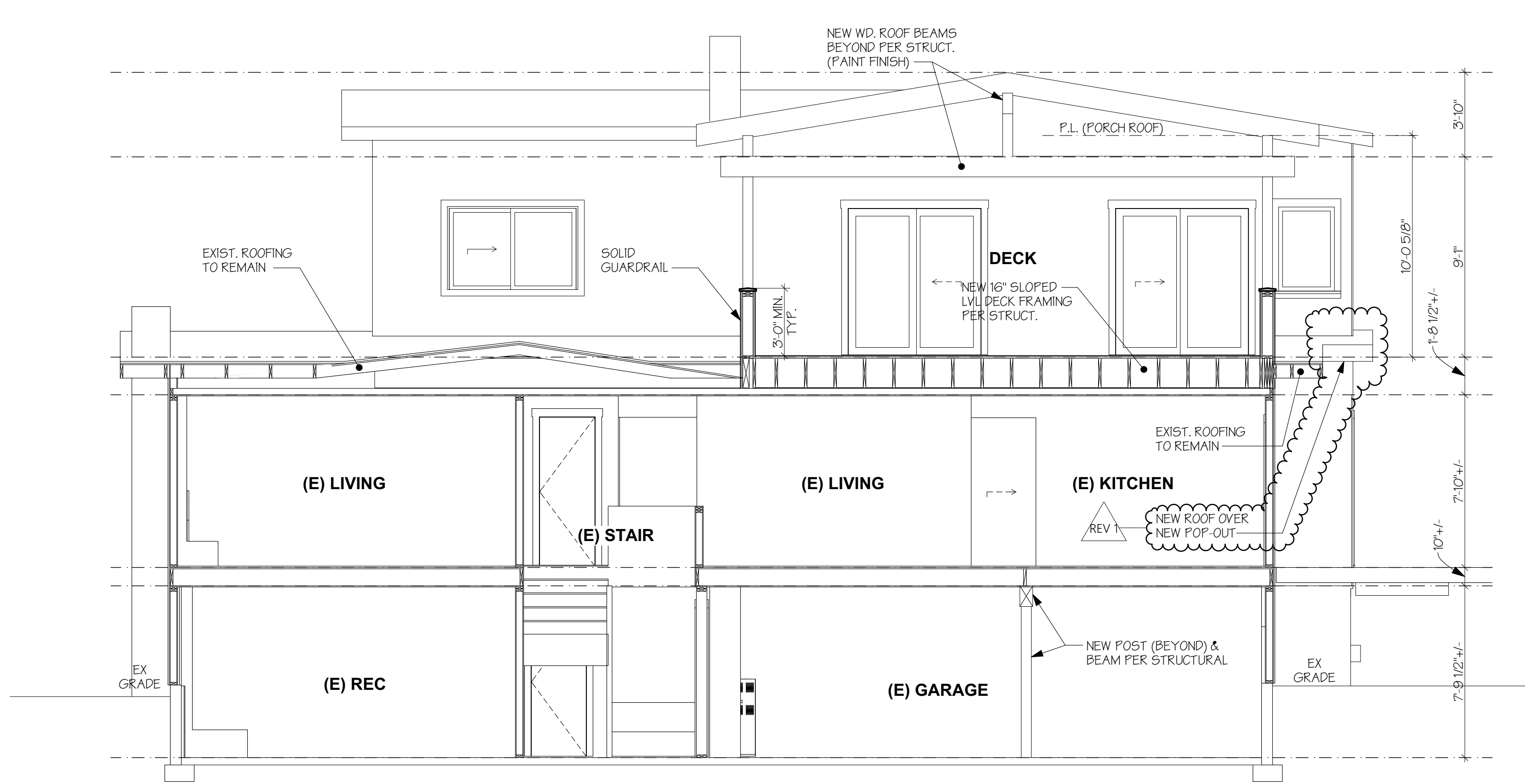
A BUILDING SECTION
SCALE: 1/4" = 1'-0"



B BUILDING SECTION
SCALE: 1/4" = 1'-0"



C BUILDING SECTION
SCALE: 1/4" = 1'-0"



D BUILDING SECTION
SCALE: 1/4" = 1'-0"

MONAHAN RESIDENCE
2424 67TH AVE SE
MERCER ISLAND WA 98040

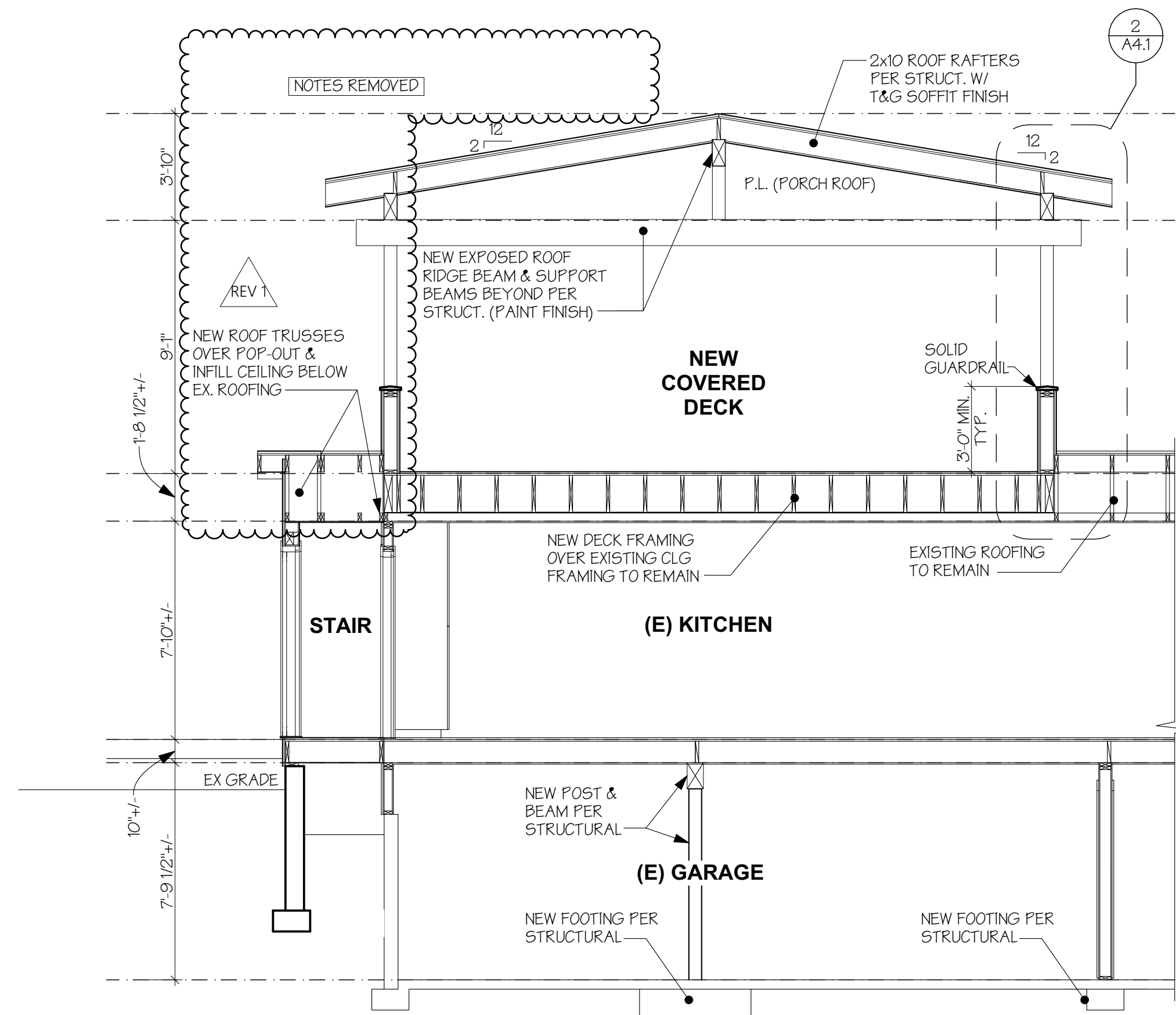


H 2 D
ARCHITECTURE
+
DESIGN
23020 EDMONDS WAY, #113
EDMONDS, WA 98020
P. 206.542.3734
www.h2darchitects.com

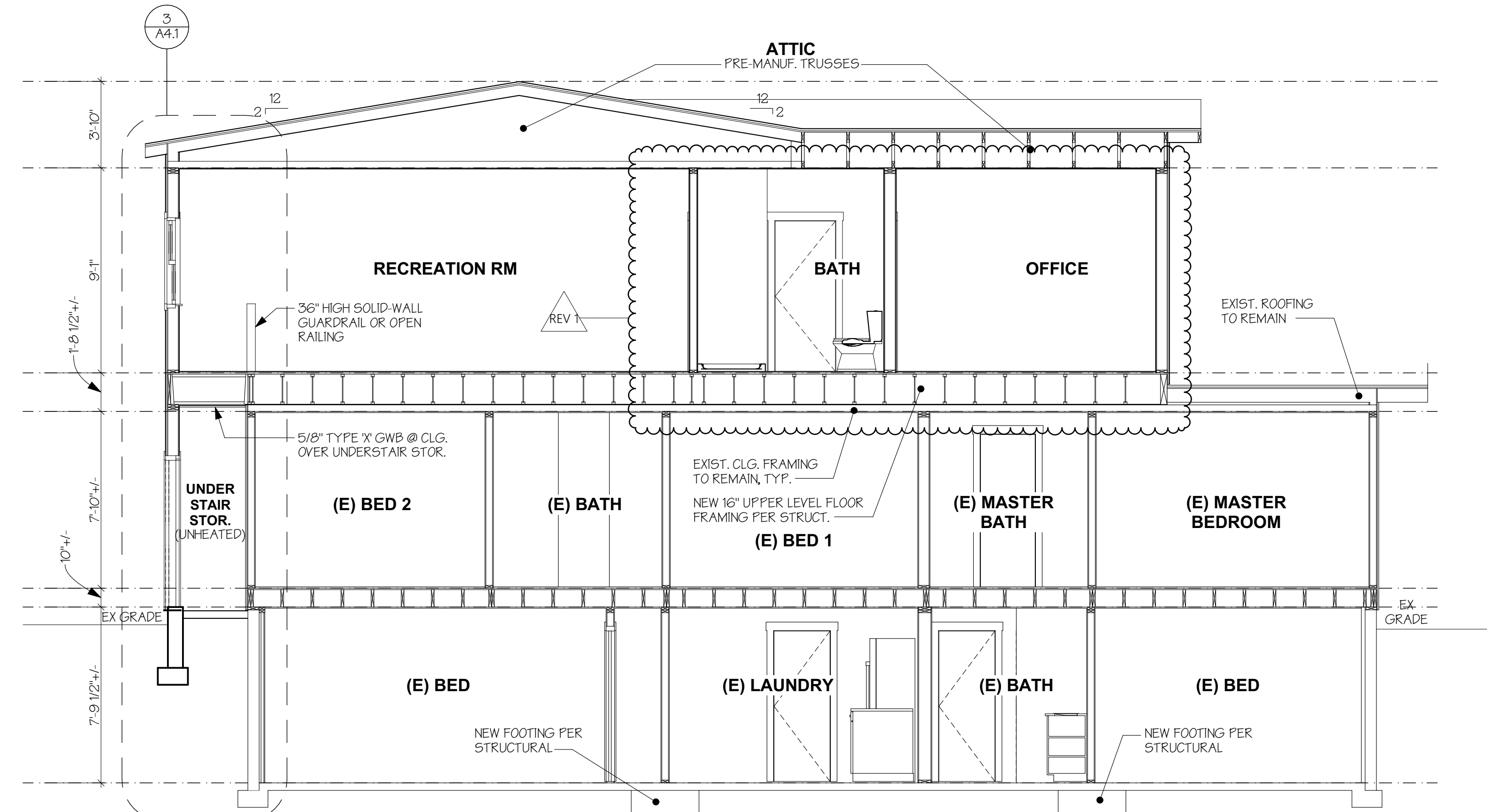
DATE: 9/08/22
REV 1: 1/25/2023

PERMIT SET

BUILDING SECTIONS



A PARTIAL BUILDING SECTION
SCALE: 1/4" = 1'-0"



B BUILDING SECTION
SCALE: 1/4" = 1'-0"

MONAHAN RESIDENCE
2424 67TH AVE SE
MERCER ISLAND WA 98040



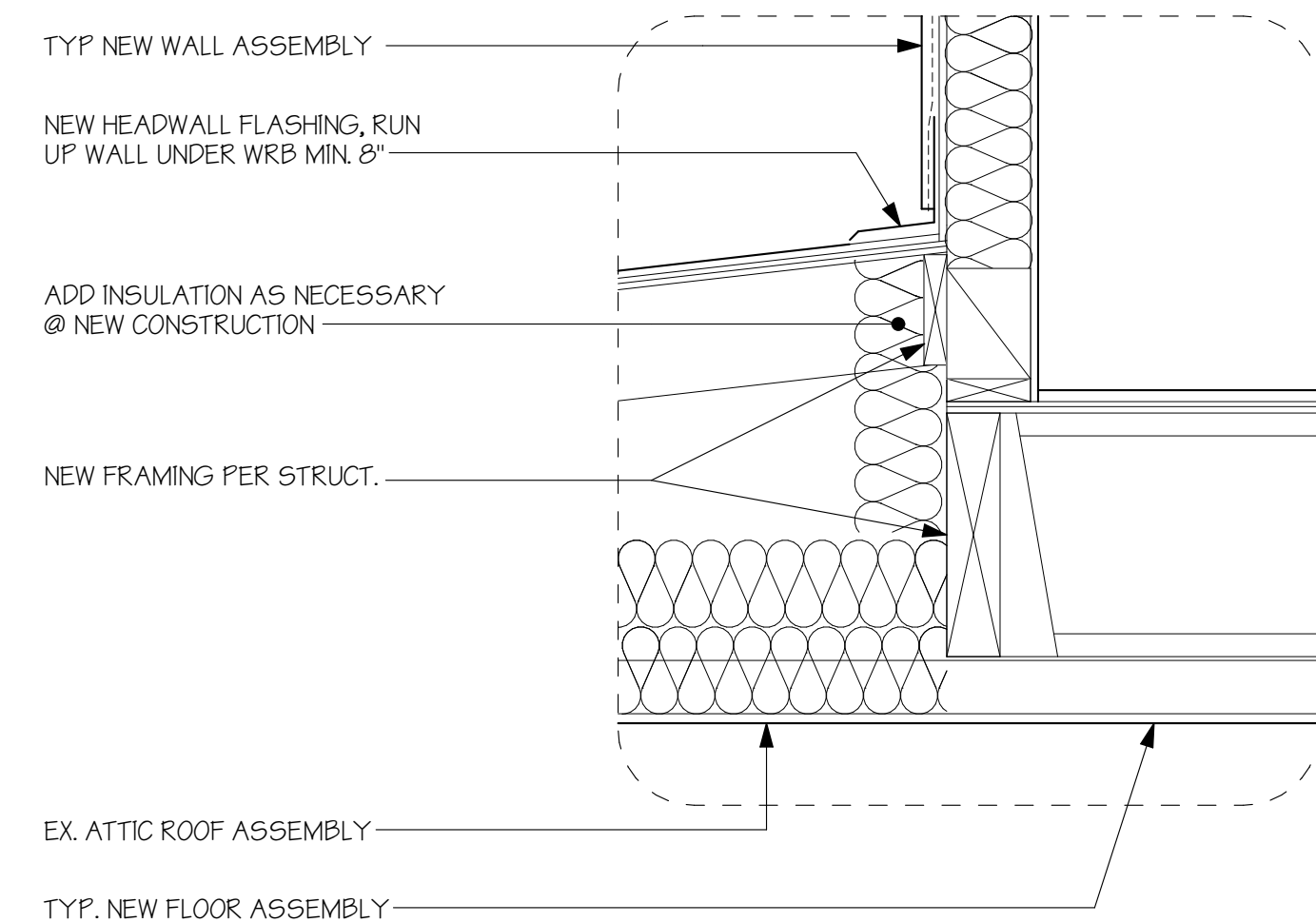
H 2 D
ARCHITECTURE
+
DESIGN

23020 EDMONDS WAY, #113
EDMONDS, WA 98020
P. 206.542.3734
www.h2darchitects.com

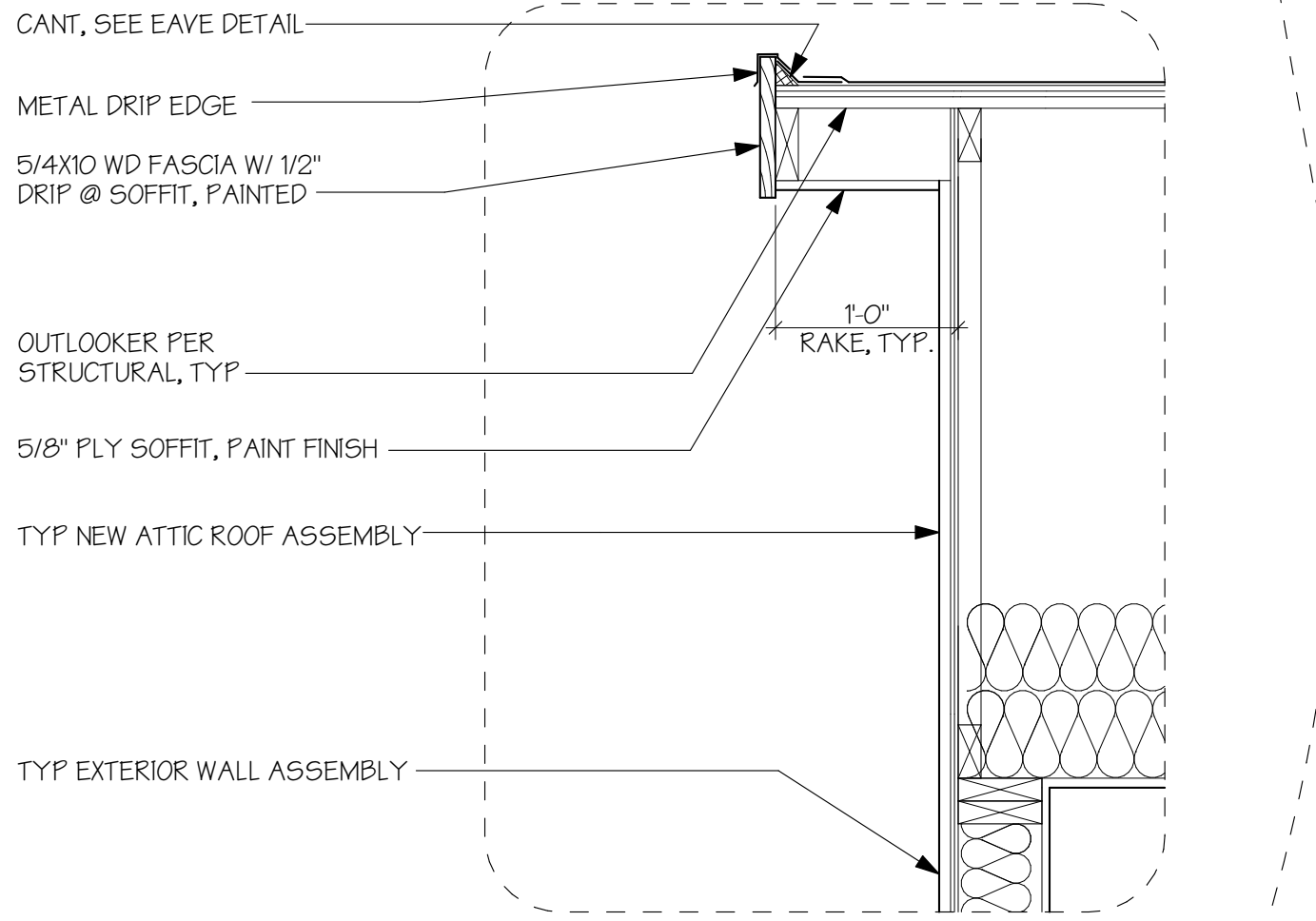
DATE: 9/08/22
REV 1: 1/25/2023

PERMIT SET

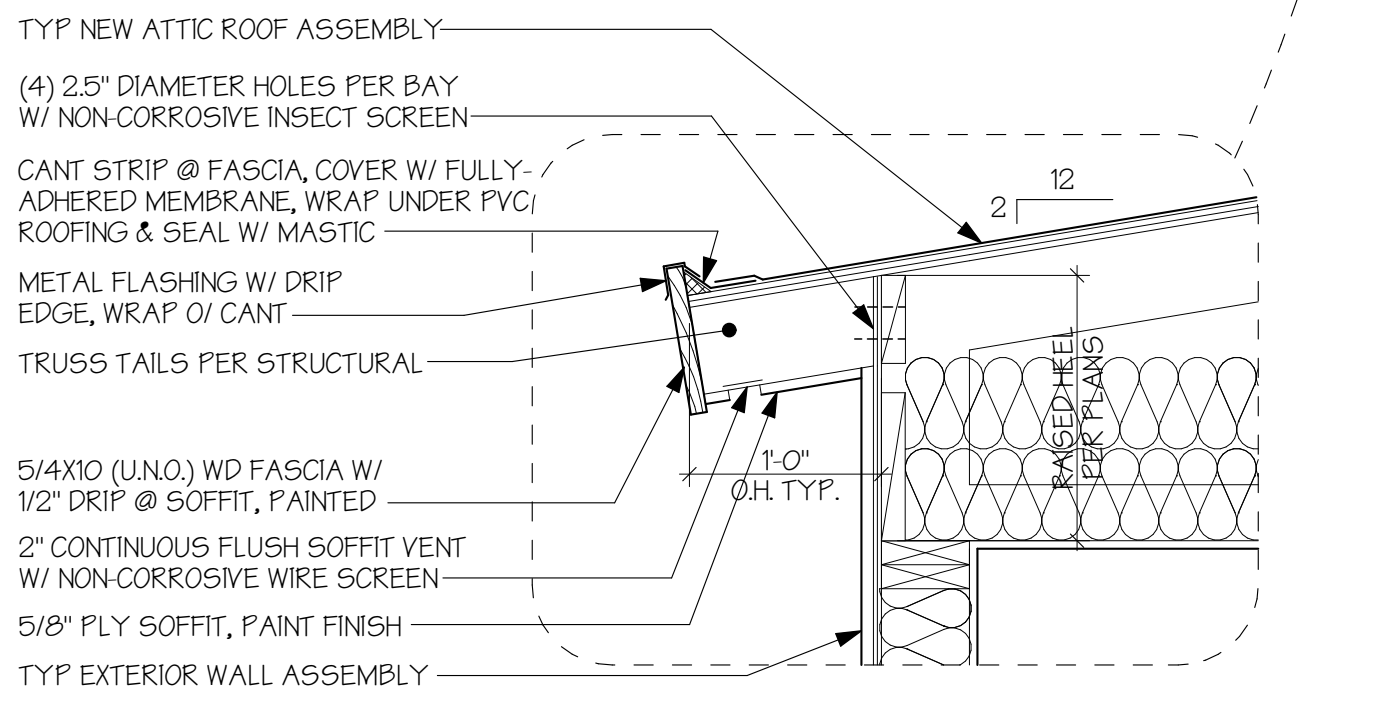
BUILDING SECTIONS



1 HEAD WALL DETAIL
SCALE: 1/2" = 1'-0"

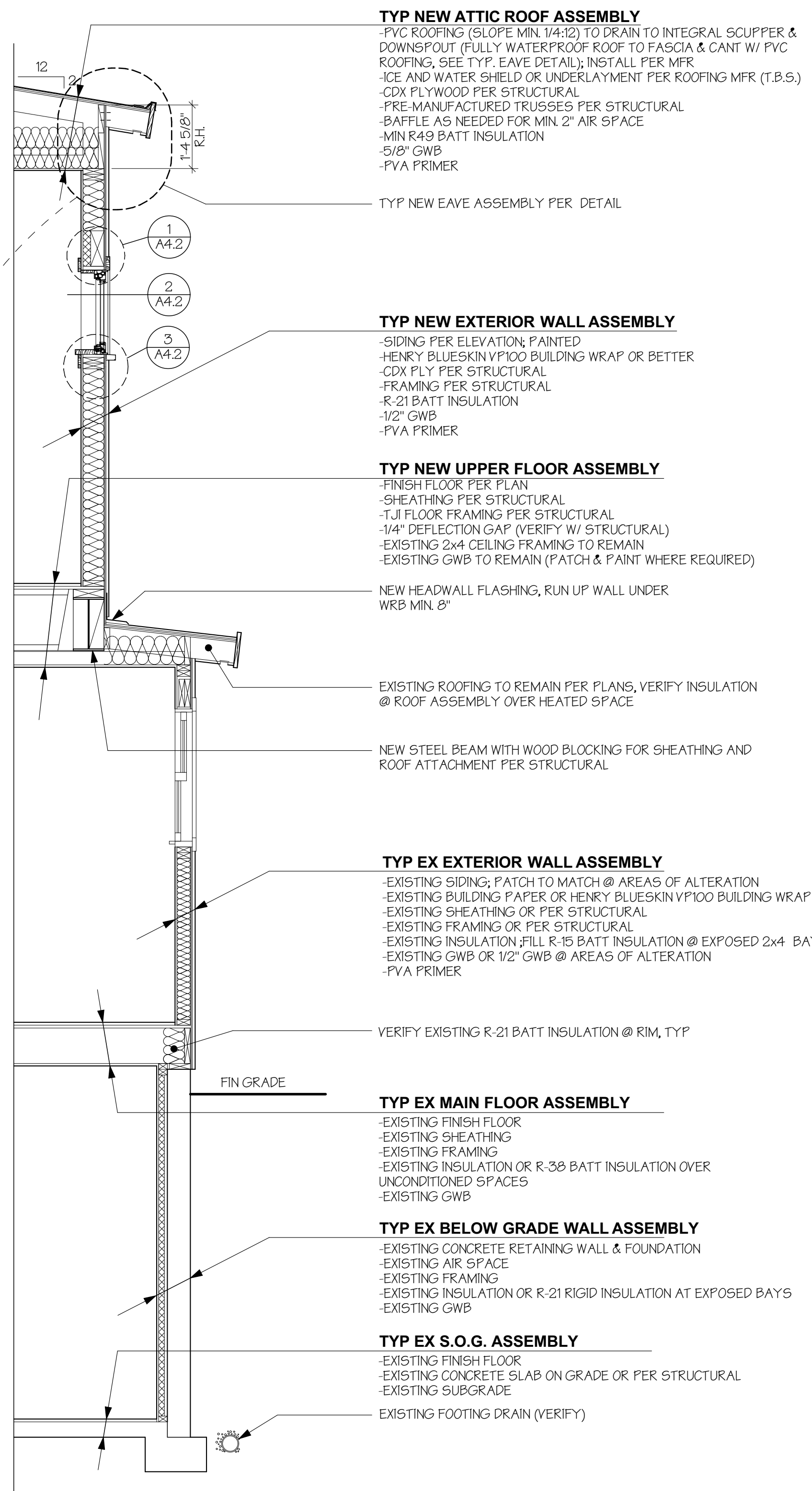


TYP NEW RAKE ASSEMBLY (STYLE TO MATCH EXISTING)
F=T-O"



TYP NEW EAVE ASSEMBLY (STYLE TO MATCH EXISTING)
F=T-O"

2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"

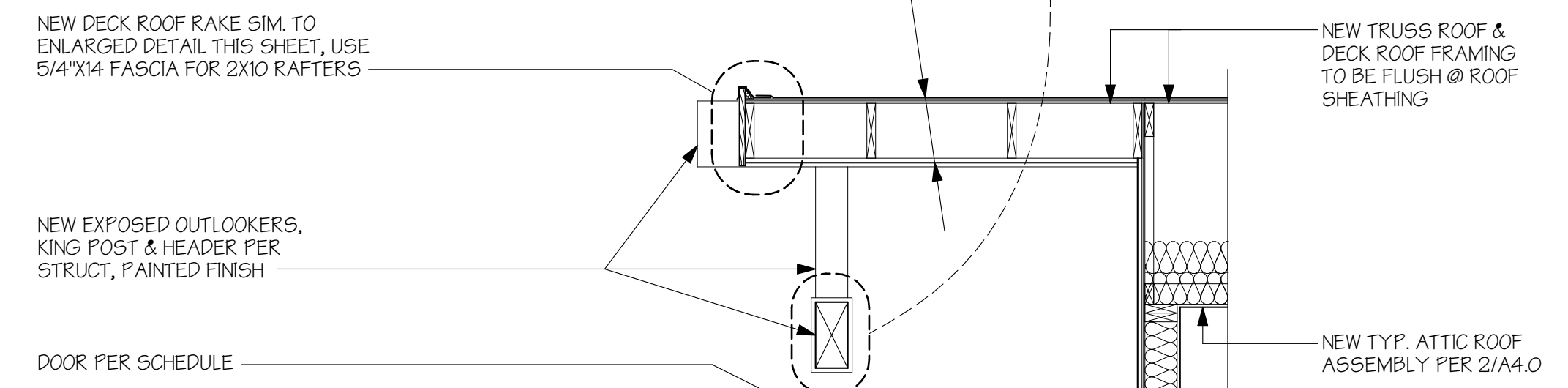
TYP NEW NON-INSUL. DECK ROOF ASSEMBLY

ROOFING, UNDERLAYMENT & SHEATHING PER TYP.

NEW ATTIC ROOF ASSEMBLY, 2/A4.0

ROOF RAFTERS PER STRUCTURAL

T&G SOFFIT, PAINTED



TYP UNVENTED WATERPROOF DECK ASSEMBLY OVER CONDITIONED SPACE

FIBERGLASS WATERPROOF FINISH

UNDERLAYMENT PER FIBERGLASS MFR

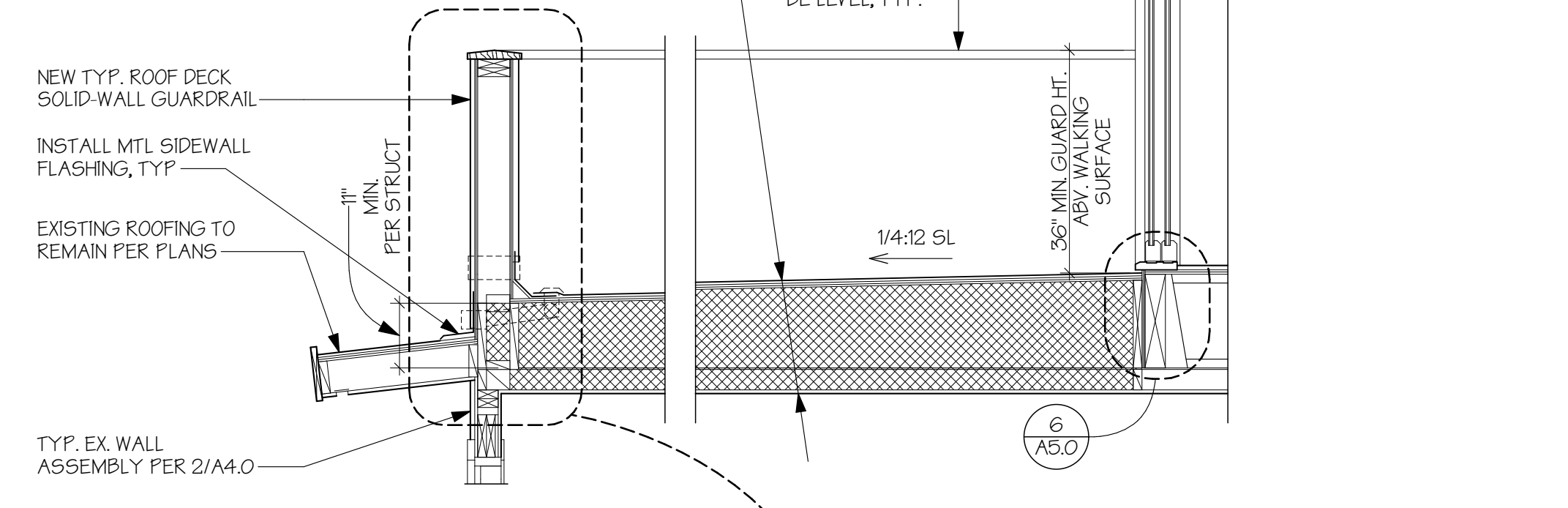
SHEATHING PER STRUCTURAL AND FIBERGLASS MFR REQ'TS

LVL FRAMING PER STRUCTURAL, TRIM FOR THRESHOLD DROP & MIN. SLOPE 1/4:12

FILL ENTIRE CAVITY W/ RIGID INSULATION TO ACHIEVE MIN. R-38

EXISTING 2x4 CEILING FRAMING TO REMAIN

EXISTING GWB TO REMAIN (PATCH & PAINT WHERE REQUIRED)



TYPICAL GUARD RAIL ASSEMBLY

(EXTERIOR)

-SIDING PER ELEVATION, PAINTED

-HENRY BLUESKIN VP100 BUILDING WRAP OR BETTER

-SHEATHING PER STRUCTURAL

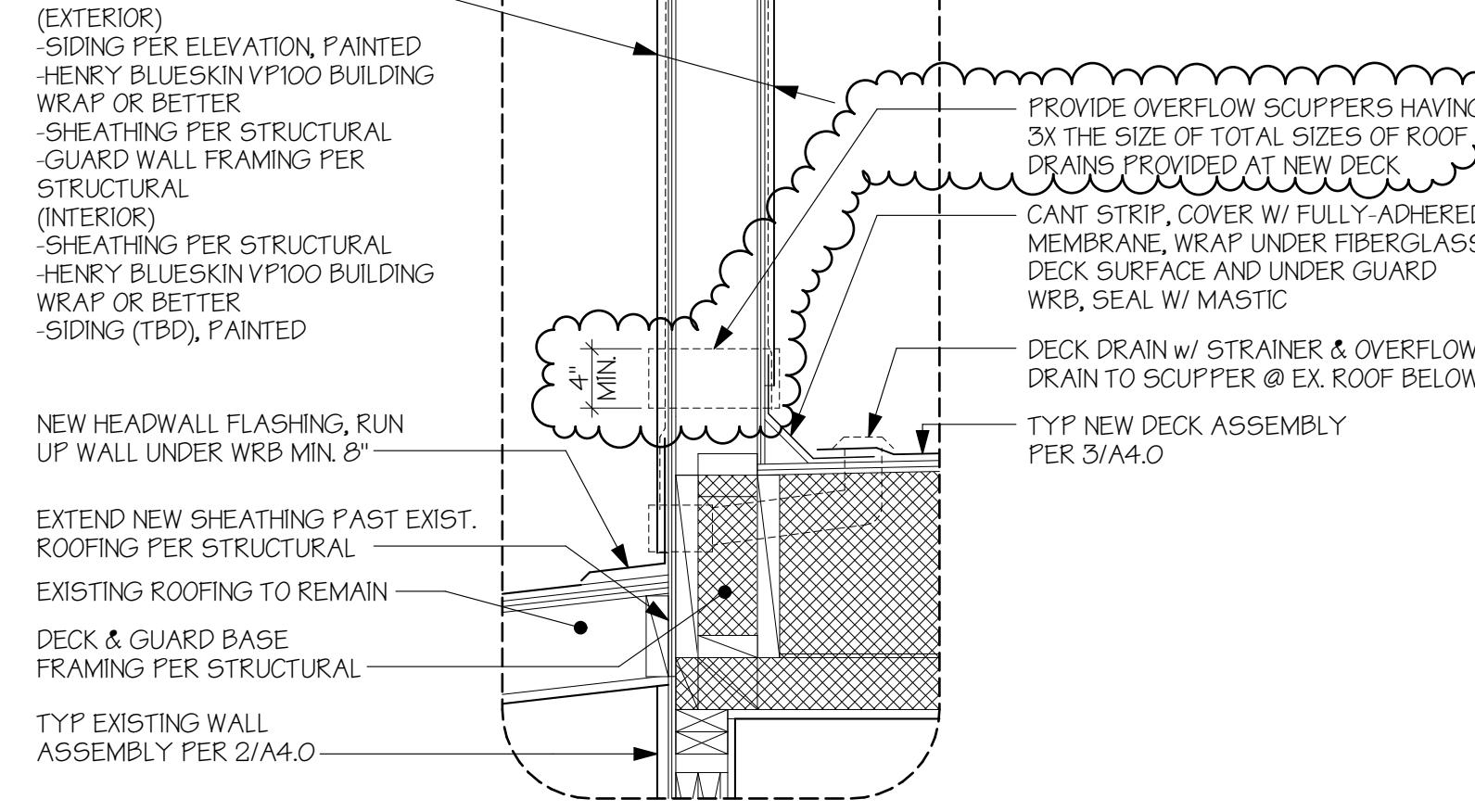
-GUARD WALL FRAMING PER STRUCTURAL

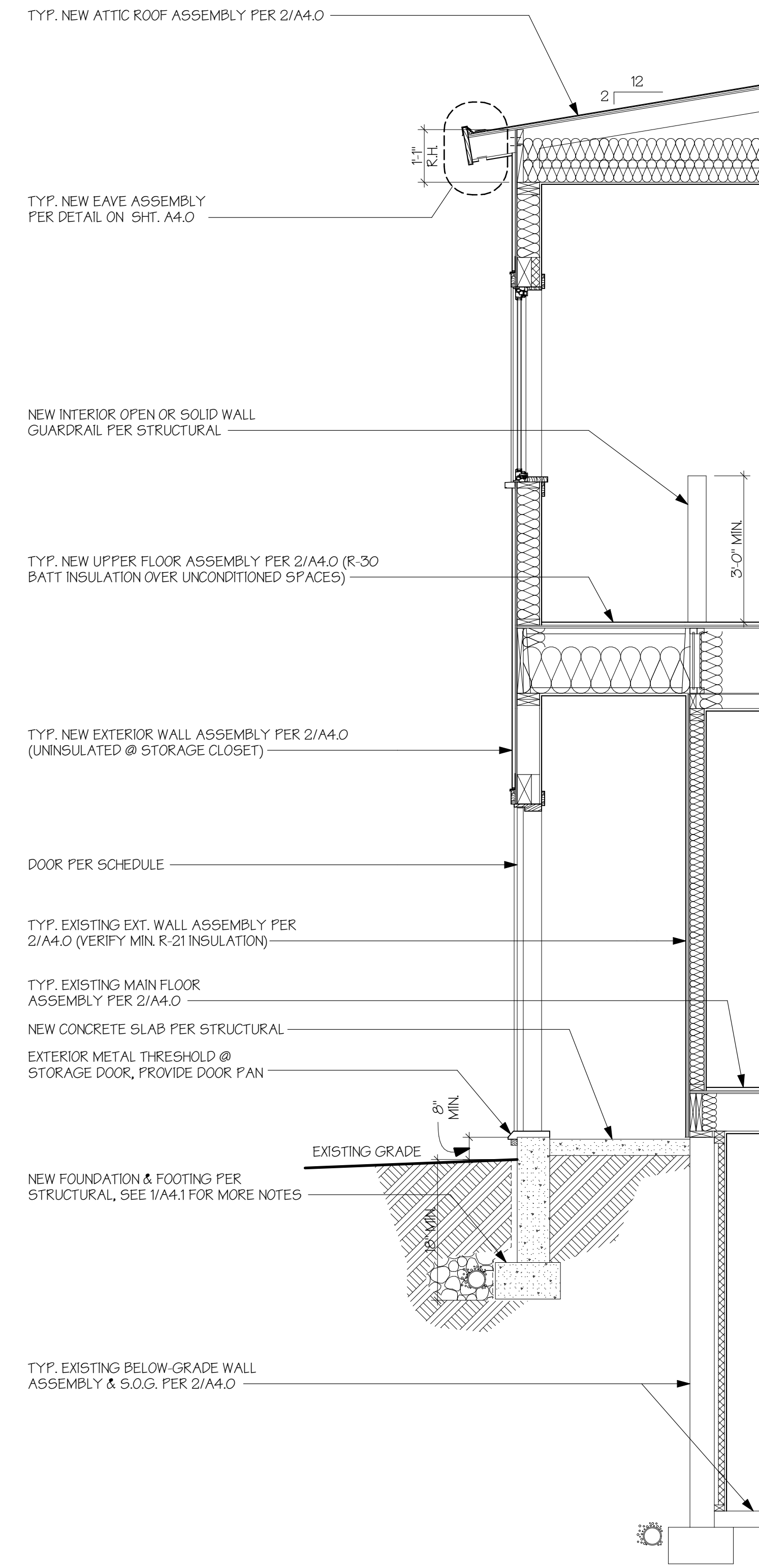
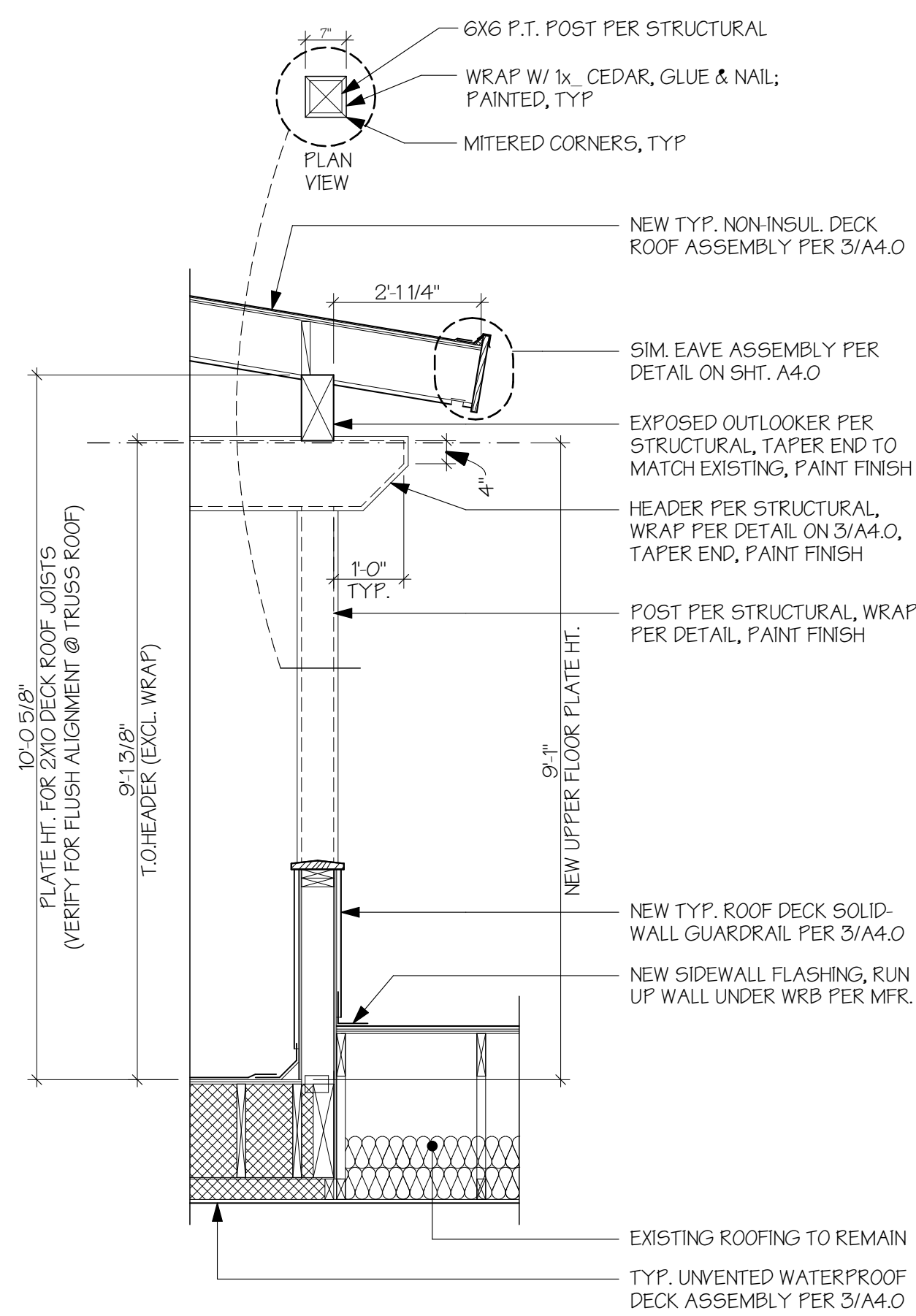
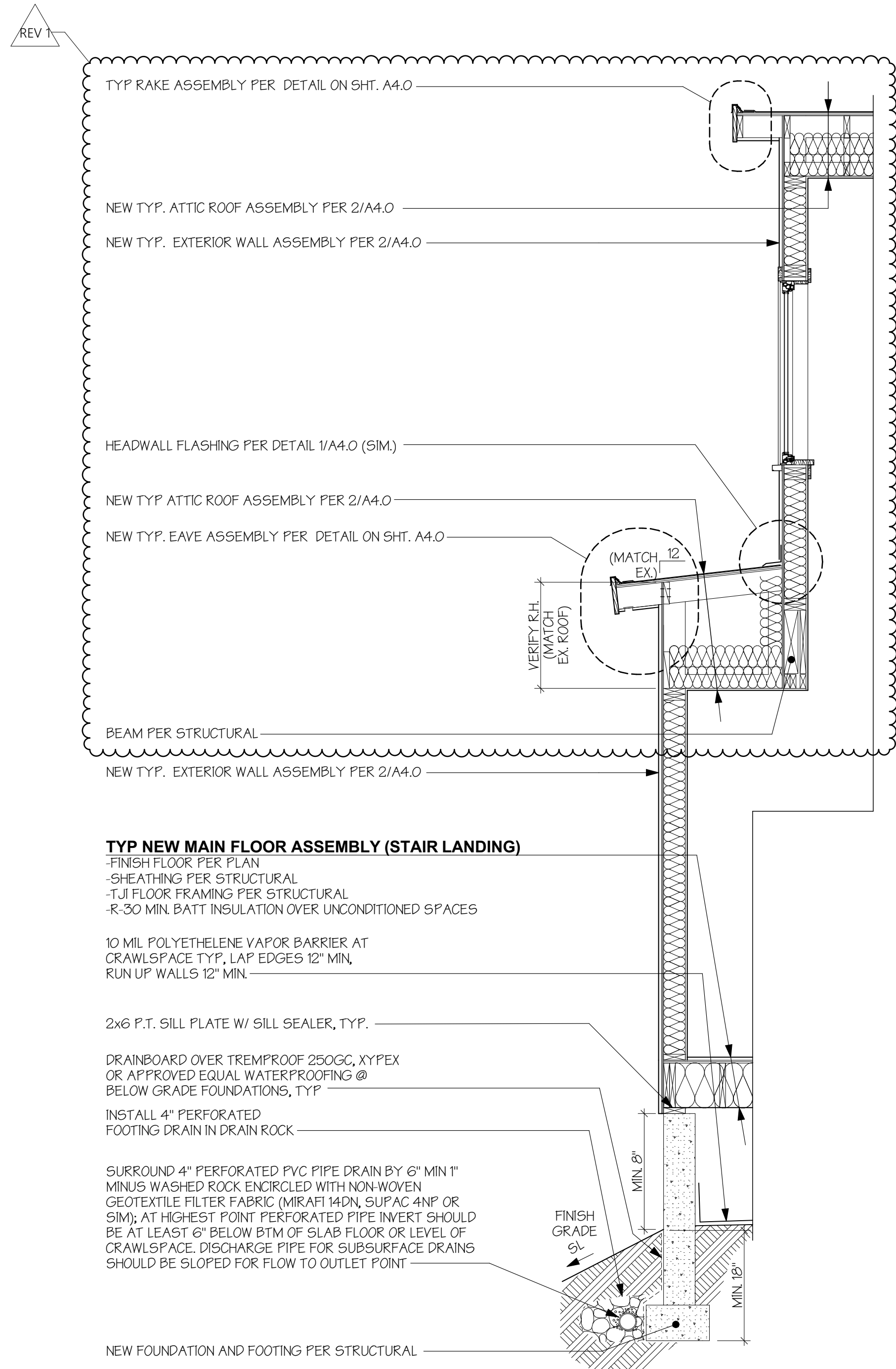
(INTERIOR)

-SHEATHING PER STRUCTURAL

-HENRY BLUESKIN VP100 BUILDING WRAP OR BETTER

-SIDING (TBD), PAINTED





1 WALL SECTION

SCALE: 1/2" = 1'-0"

2 WALL SECTION

SCALE: 1/2" = 1'-0"

3 WALL SECTION

SCALE: 1/2" = 1'-0"

MONAHAN RESIDENCE
2424 67TH AVE SE
MERCER ISLAND WA 98040



H 2 D
ARCHITECTURE
+
DESIGN

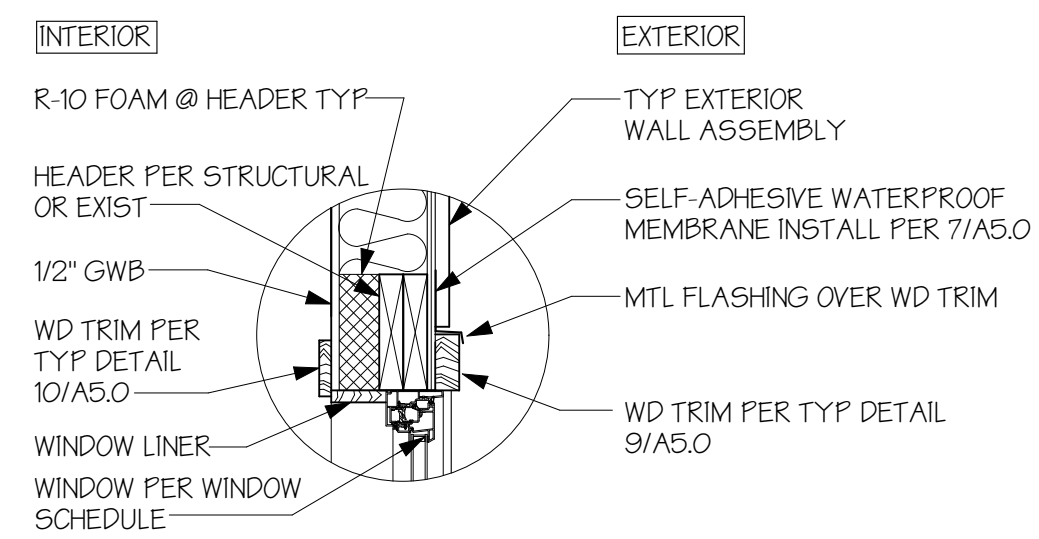
23020 EDMONDS WAY, #113
EDMONDS, WA 98020
P. 206.542.3734
www.h2darchitects.com

DATE: 9/08/22
REV 1: 1/25/2023

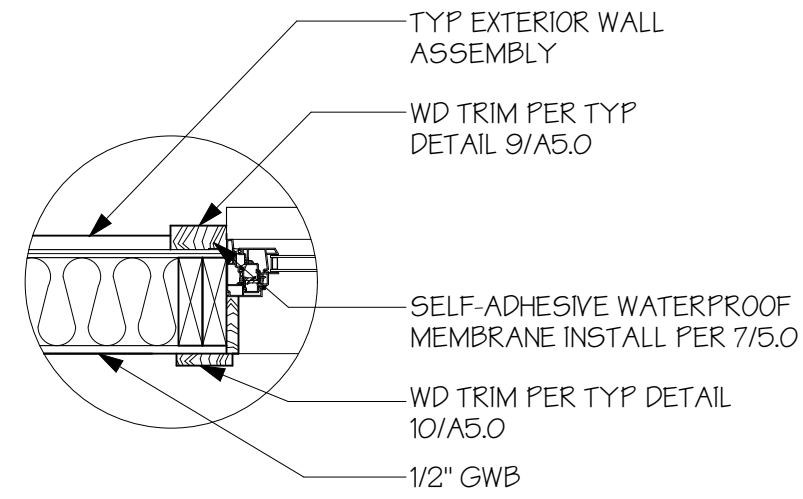
PERMIT SET

WALL SECTIONS

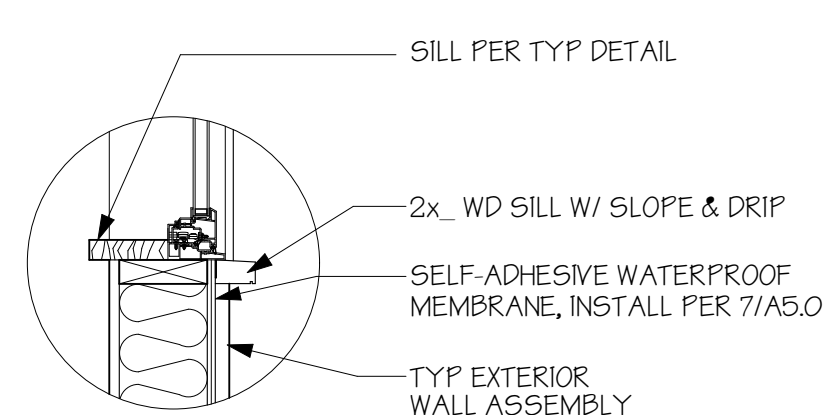
A4.1



1 TYP WINDOW HEAD
T = 1'-0"

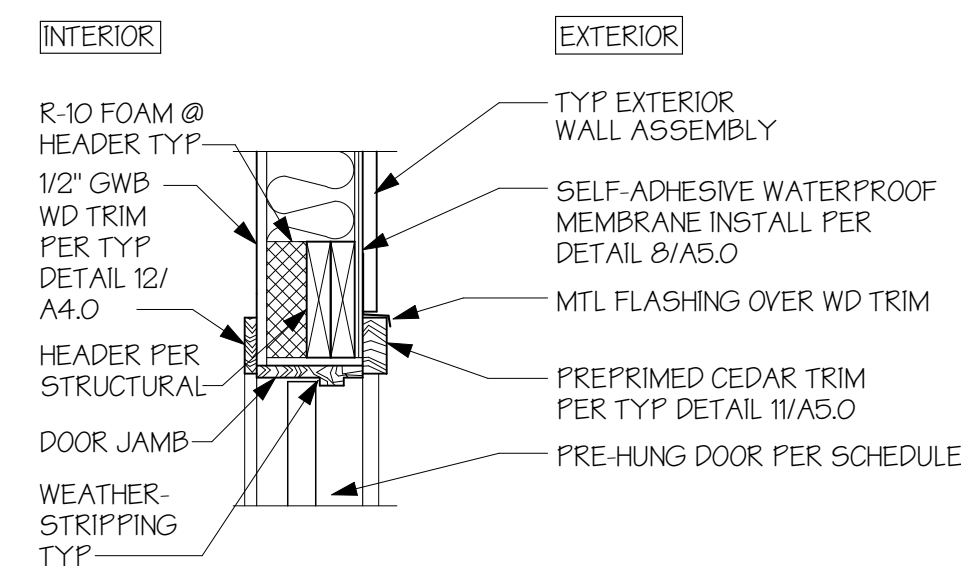


2 TYP WINDOW JAMB
T = 1'-0"

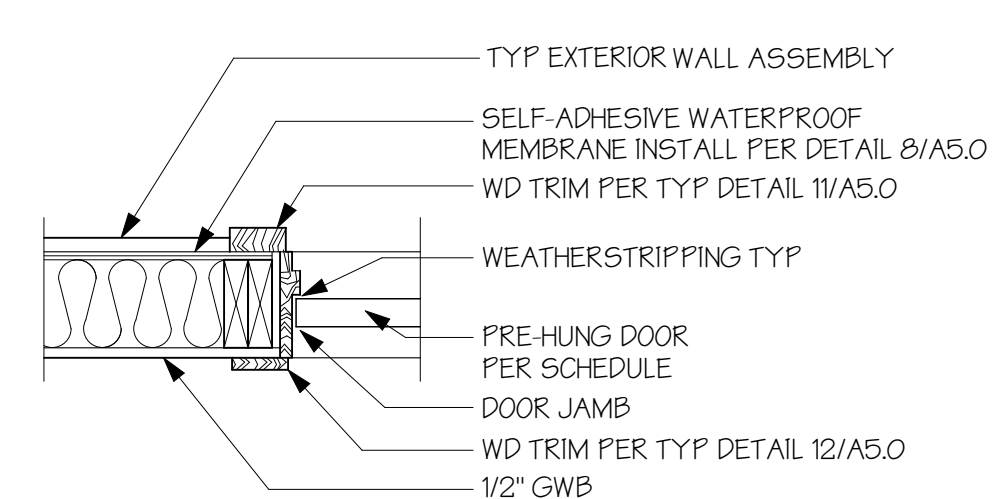


3 TYP WINDOW SILL
T = 1'-0"

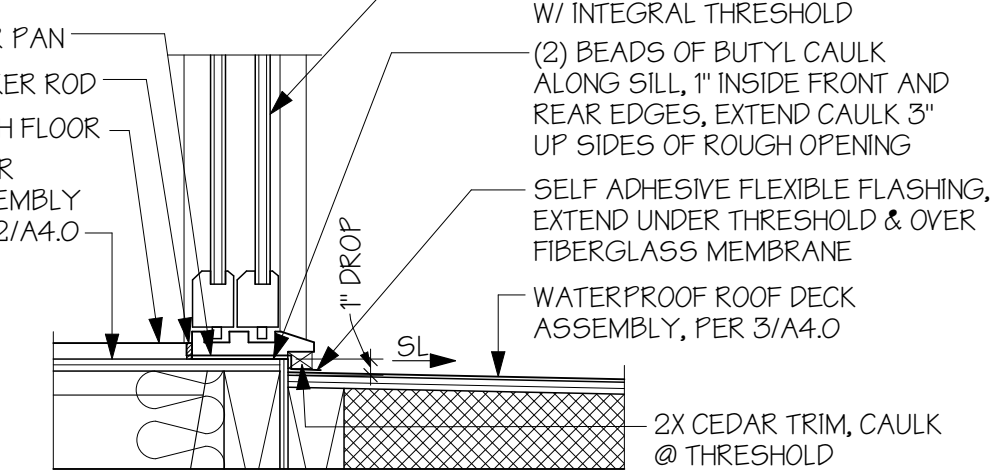
TYPICAL WINDOW NOTE:
1. INSTALL BACKER ROD AND/OR FOAM INSULATION @ ANY GAP BETWEEN WINDOW AND ROUGH FRAME, TYP



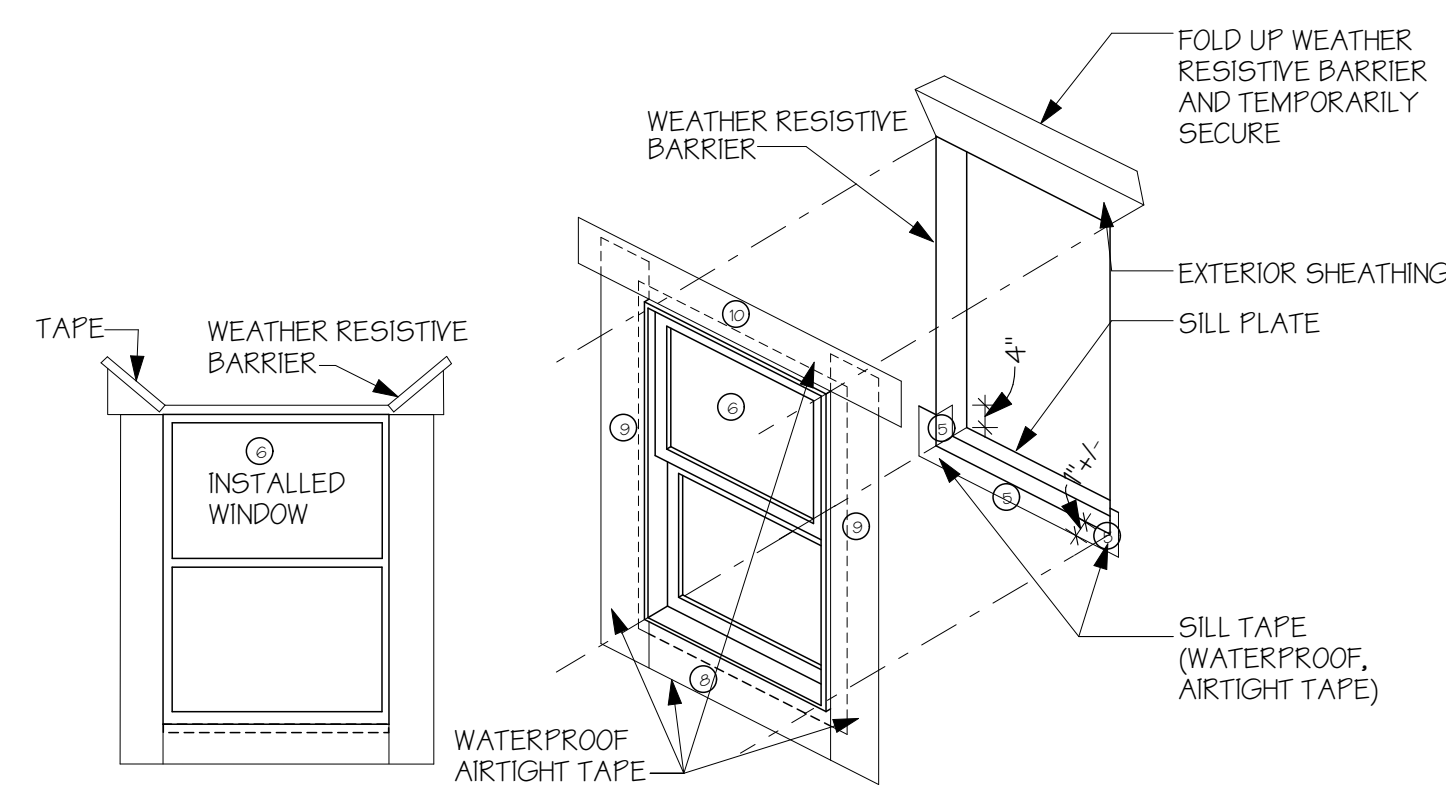
4 TYP EXTERIOR DOOR HEAD
T = 1'-0"



5 TYP EXTERIOR DOOR JAMB
T = 1'-0"



6 TYP DOOR THRESHOLD
T = 1'-0"

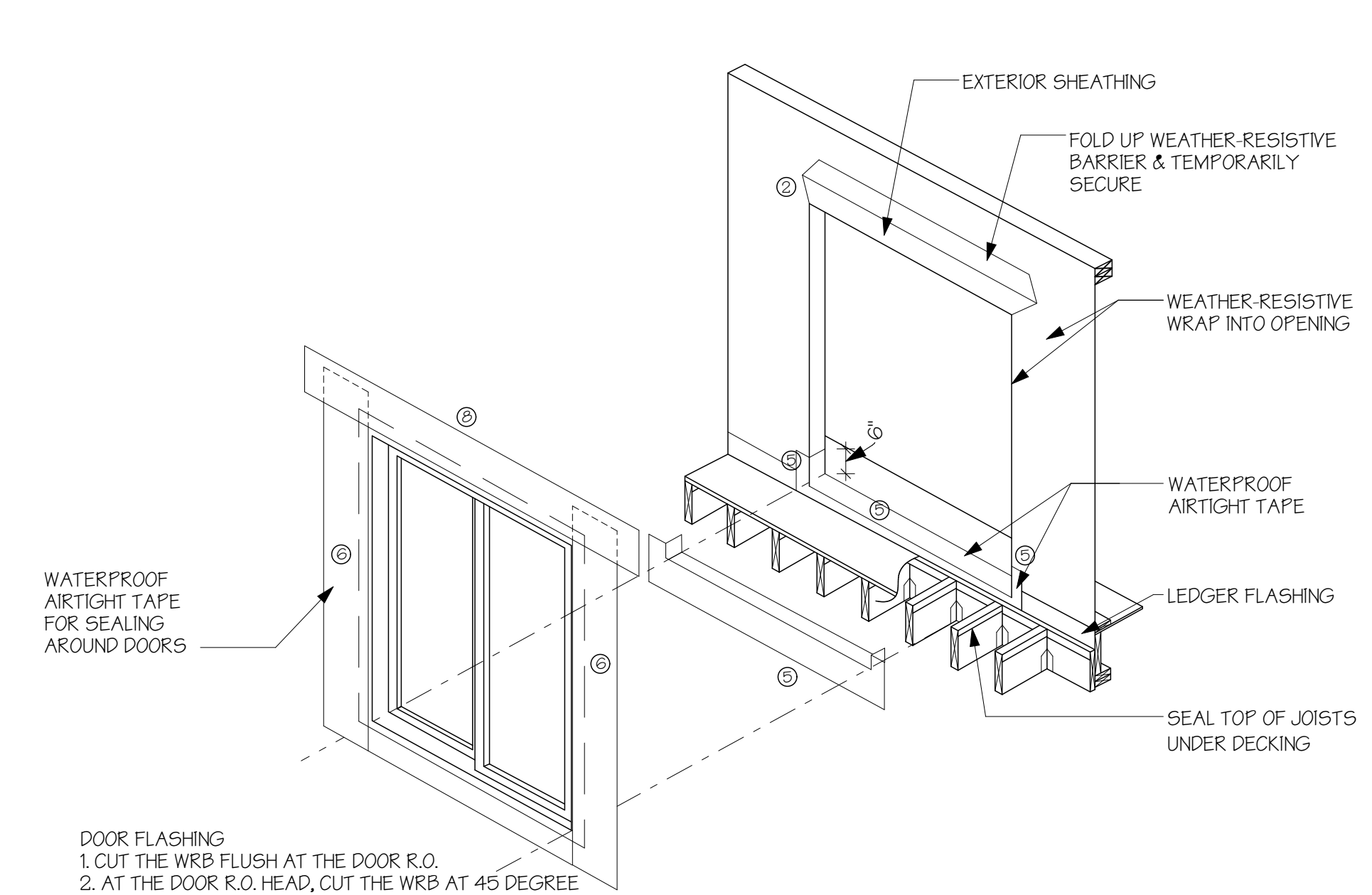


WINDOW FLASHING
1. CUT THE WRB FLUSH WITH THE ROUGH OPENING
2. CUT THE WRB AT 45 DEGREE ANGLE TO A POINT 9\"/>

DOOR FLASHING
1. CUT THE WRB FLUSH AT THE DOOR R.O.
2. AT THE DOOR R.O. HEAD, CUT THE WRB AT 45 DEGREE ANGLE TO A POINT 9\"/>

*NOTE: MAKE SURE TAPING IS DONE FROM BOTTOM TO TOP SO THAT ALL TAPE JOINTS ARE PROPERLY SHIPLAPPED.

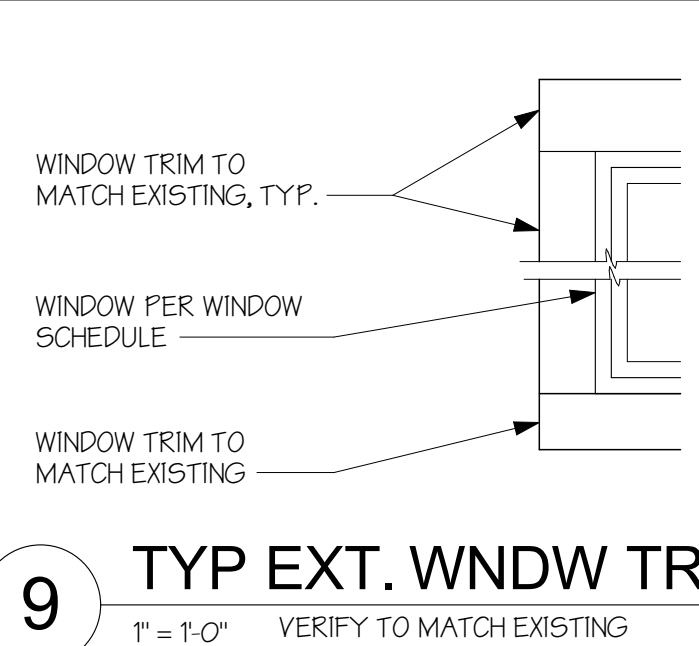
7 TYP WINDOW FLASHING DTL
N.T.S. OR APPROVED EQUAL



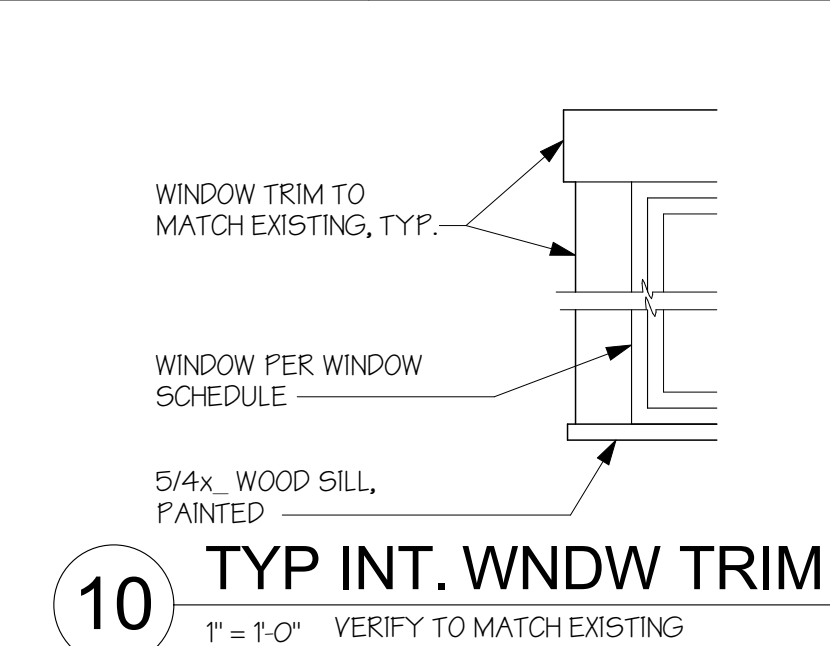
DOOR FLASHING
1. CUT THE WRB FLUSH AT THE DOOR R.O.
2. AT THE DOOR R.O. HEAD, CUT THE WRB AT 45 DEGREE ANGLE TO A POINT 9\"/>

*NOTE: MAKE SURE TAPING IS DONE FROM BOTTOM TO TOP SO THAT ALL TAPE JOINTS ARE PROPERLY SHIPLAPPED.

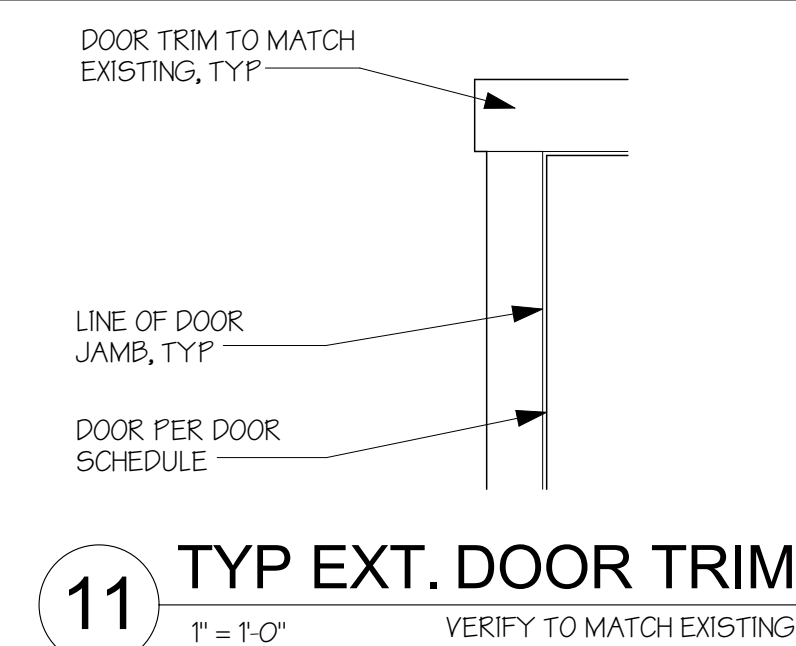
8 TYP DOOR FLASHING DTL @ EXTERIOR
N.T.S. OR APPROVED EQUAL



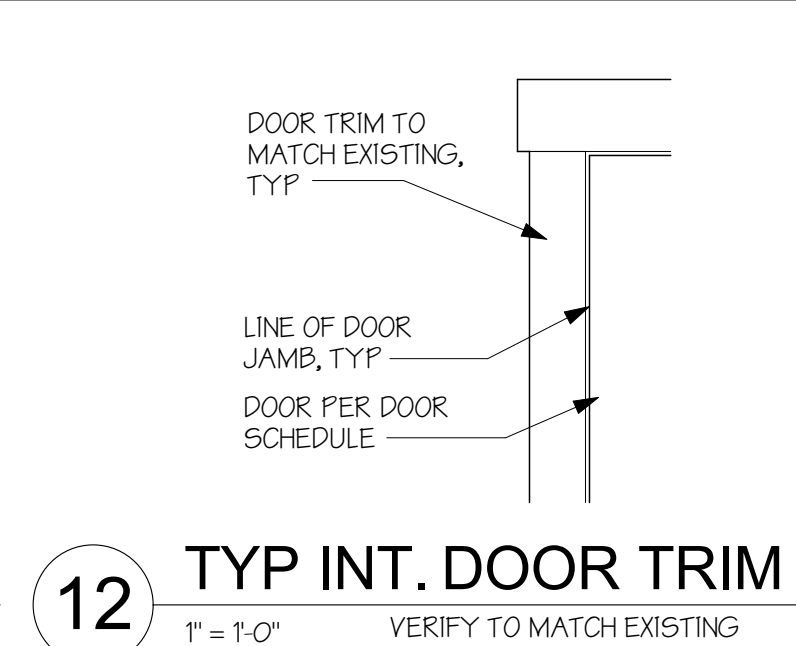
9 TYP EXT. WNDW TRIM
T = 1'-0" VERIFY TO MATCH EXISTING



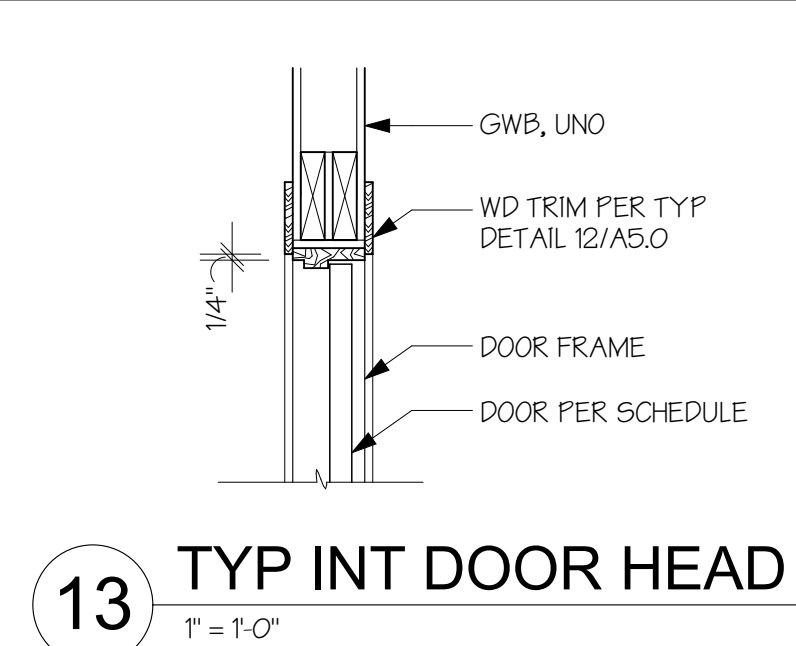
10 TYP INT. WNDW TRIM
T = 1'-0" VERIFY TO MATCH EXISTING



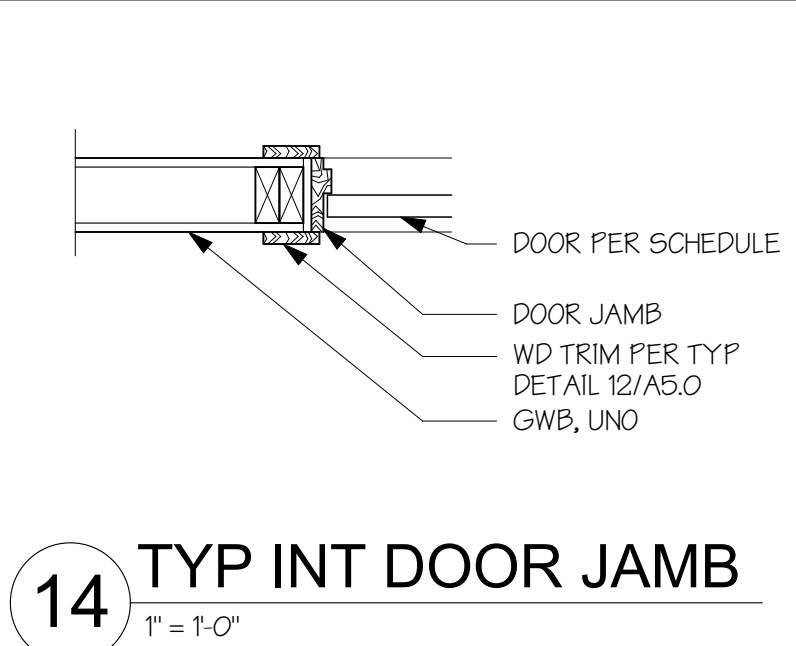
11 TYP EXT. DOOR TRIM
T = 1'-0" VERIFY TO MATCH EXISTING



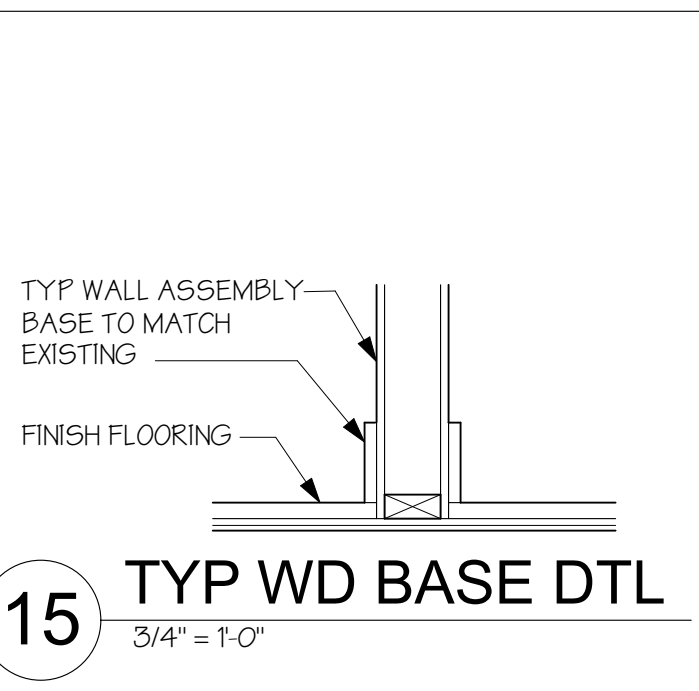
12 TYP INT. DOOR TRIM
T = 1'-0" VERIFY TO MATCH EXISTING



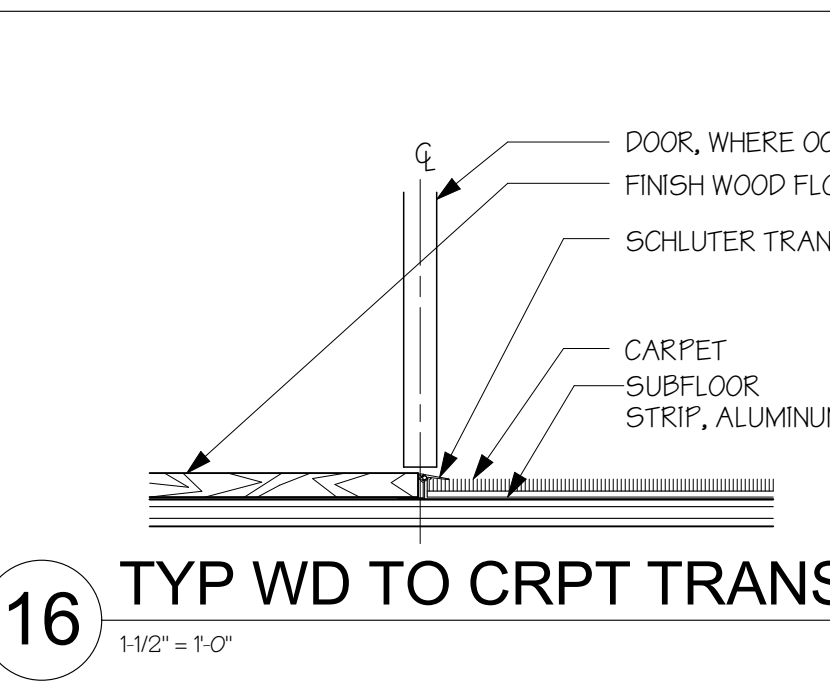
13 TYP INT DOOR HEAD
T = 1'-0"



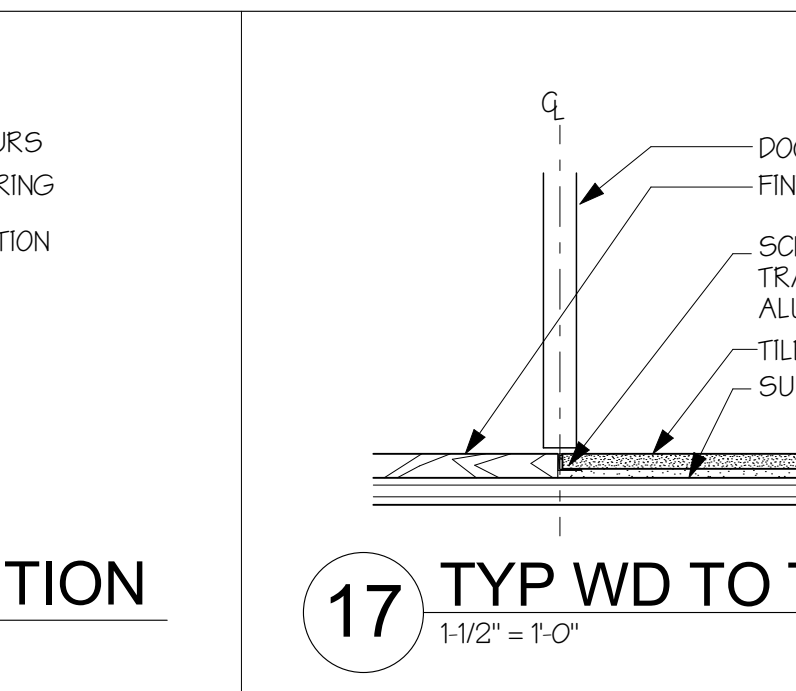
14 TYP INT DOOR JAMB
T = 1'-0"



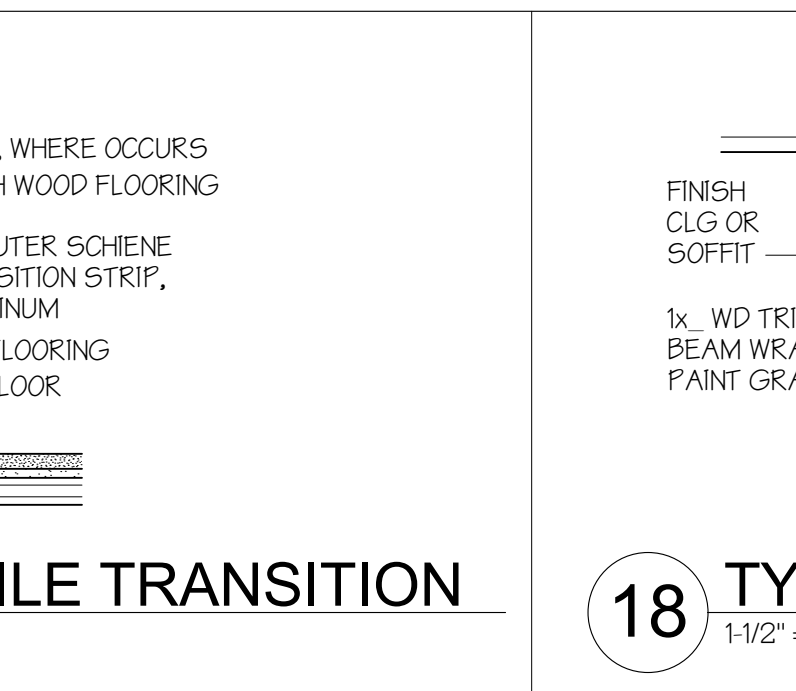
15 TYP WD BASE DTL
3/4\"/>



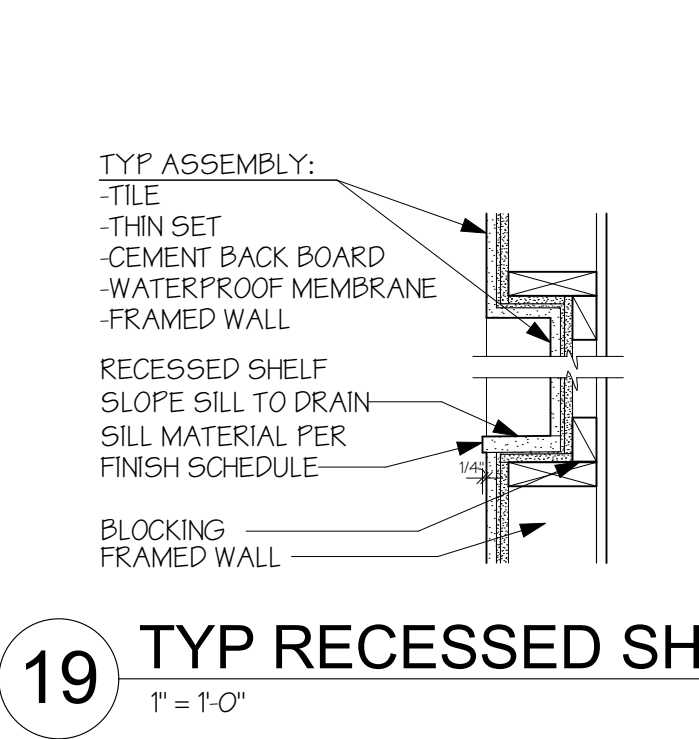
16 TYP WD TO CRPT TRANSITION
1-1/2\"/>



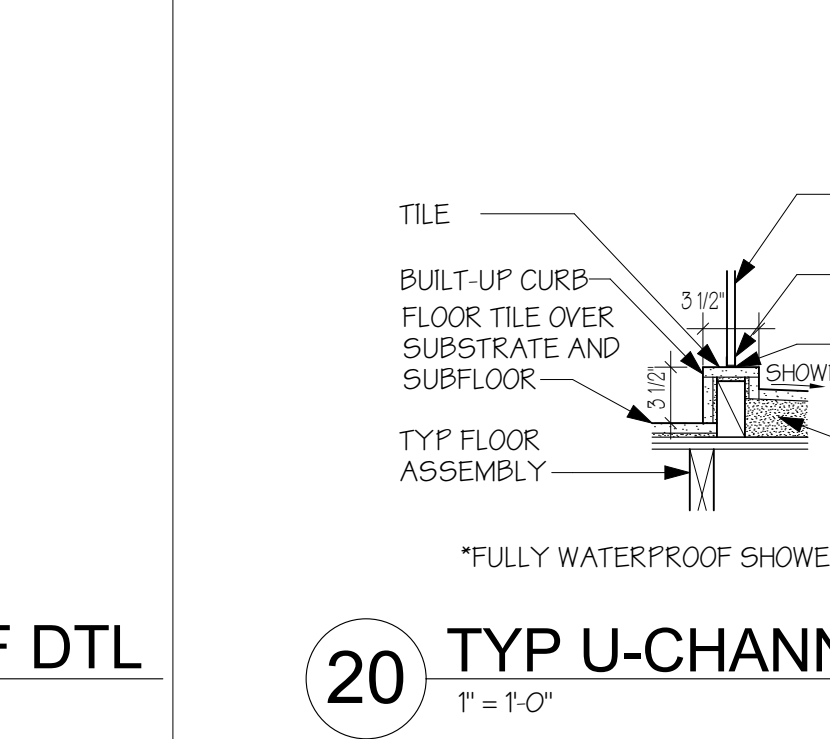
17 TYP WD TO TILE TRANSITION
1-1/2\"/>



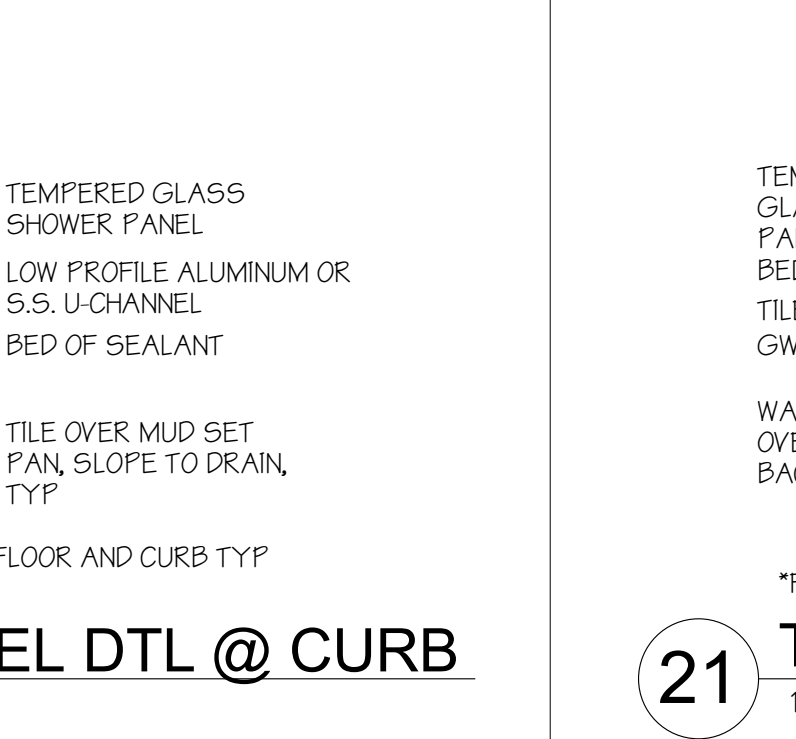
18 TYP BOX BEAM DETAIL
1-1/2\"/>



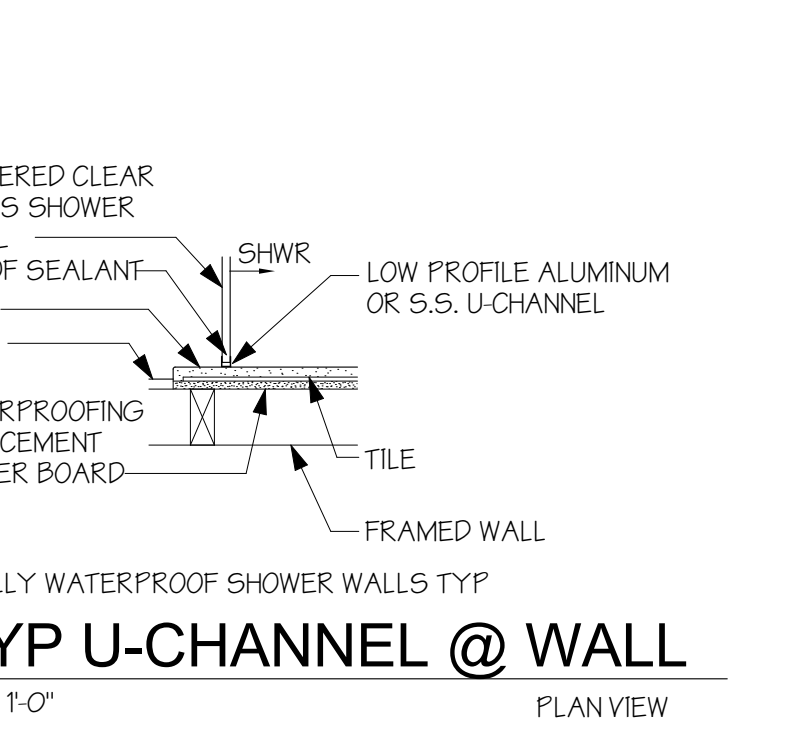
19 TYP RECESSED SHELF DTL
T = 1'-0"



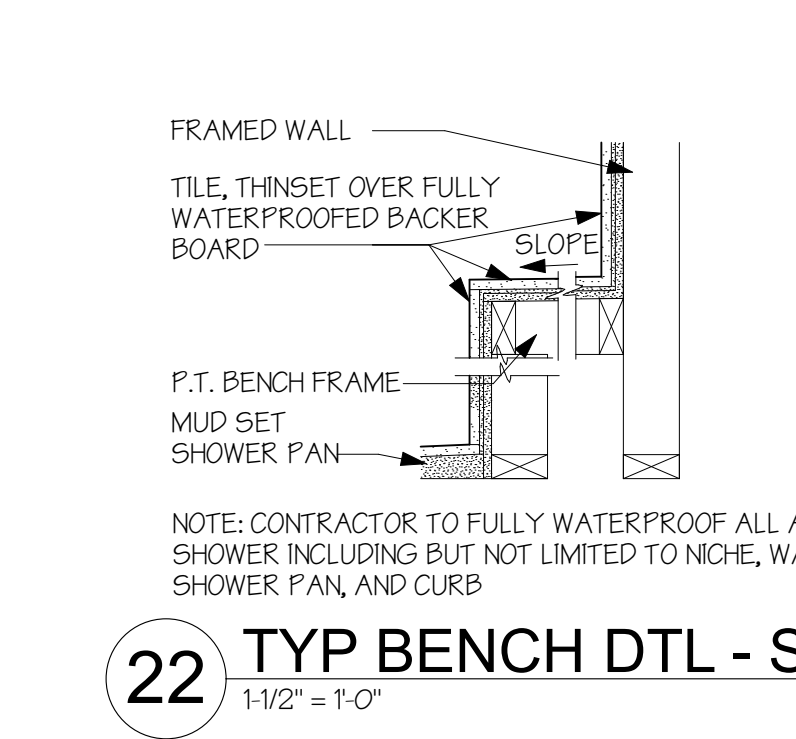
20 TYP U-CHANNEL DTL @ CURB
T = 1'-0"



21 TYP U-CHANNEL @ WALL
T = 1'-0" PLAN VIEW



22 TYP BENCH DTL - SECTION
1-1/2\"/>



23 TYP BENCH DTL - PLAN VIEW
1-1/2\"/>

MONAHAN RESIDENCE
2424 67TH AVE SE
MERCER ISLAND WA 98040

9716 REGISTERED ARCHITECT
HEIDI MICHELLE HELGESSON
STATE OF WASHINGTON



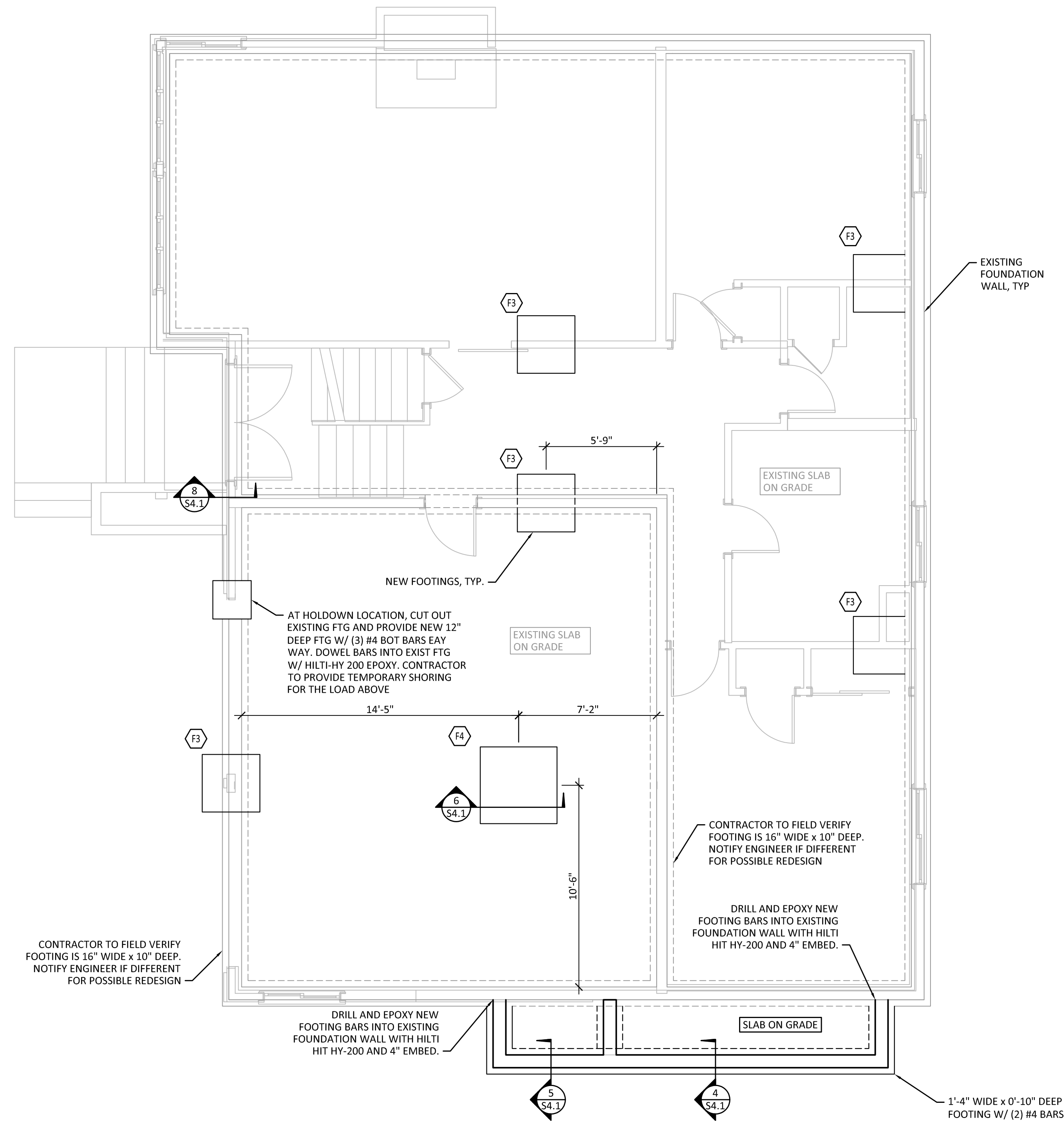
H 2 D ARCHITECTURE + DESIGN
23020 EDMONDS WAY, #113 EDMONDS, WA 98020
P. 206.542.3734
www.h2darchitects.com

DATE: 9/08/22
REV 1: 1/25/2023

PERMIT SET

TYP. DETAILS

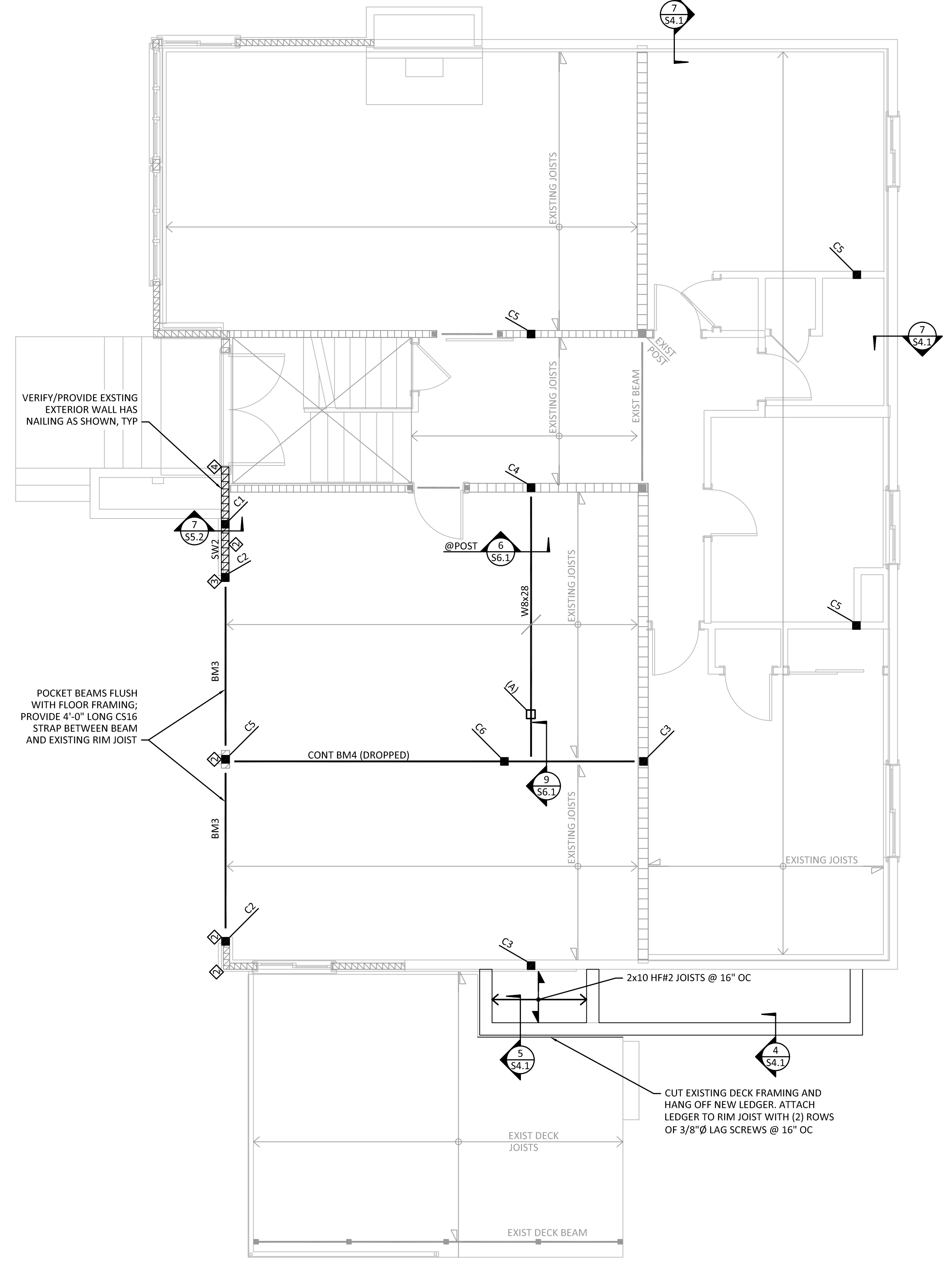
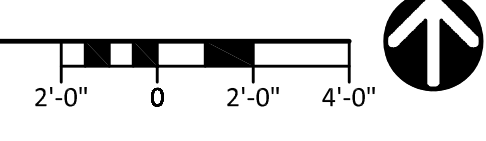
A5.0



1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

FOUNDATION PLAN NOTES:

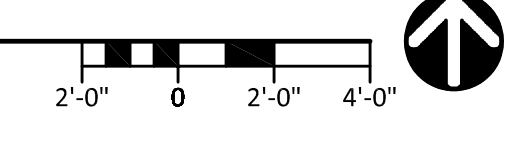
- FOOTINGS SHALL BEAR ON FIRM NATIVE SOIL OR COMPACTED STRUCTURAL FILL.
- FOUNDATION LEVEL HOLDOWNS ARE SHOWN ON UPPER FLOOR FRAMING PLAN. REFER TO HOLDOWN SCHEDULE ON SHEET S3.1 FOR HOLDOWN TYPES AND MAIN FLOOR FRAMING PLAN FOR HOLDOWN ANCHOR BOLT LOCATIONS.
- REFER TO UPPER FLOOR FRAMING PLAN AND SHEAR WALL SCHEDULE ON SHEET S3.1 FOR LOCATION OF SHEAR WALL ANCHOR BOLTS. ANCHORAGE AT NON-SHEAR WALLS SHALL BE PER STRUCTURAL NOTES.
- WHERE SLAB ON GRADE IS INDICATED, SLAB SHALL BE 4" THICK W/ 6x6-W1.4 x W1.4 WELDED WIRE FABRIC REINF. SLAB SHALL BE POURED OVER A 10 MIL VAPOR BARRIER OVER 4" OF 5/8" CRUSHED ROCK.



2 MAIN FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

FLOOR FRAMING PLAN NOTES:

- SEE 1/S2.2 FOR FLOOR FRAMING PLAN NOTES.



MONAHAN RESIDENCE
 2424 67TH AVE SE
 MERCER ISLAND, WA 98040
 FOUNDATION AND MAIN
 FLOOR FRAMING PLAN

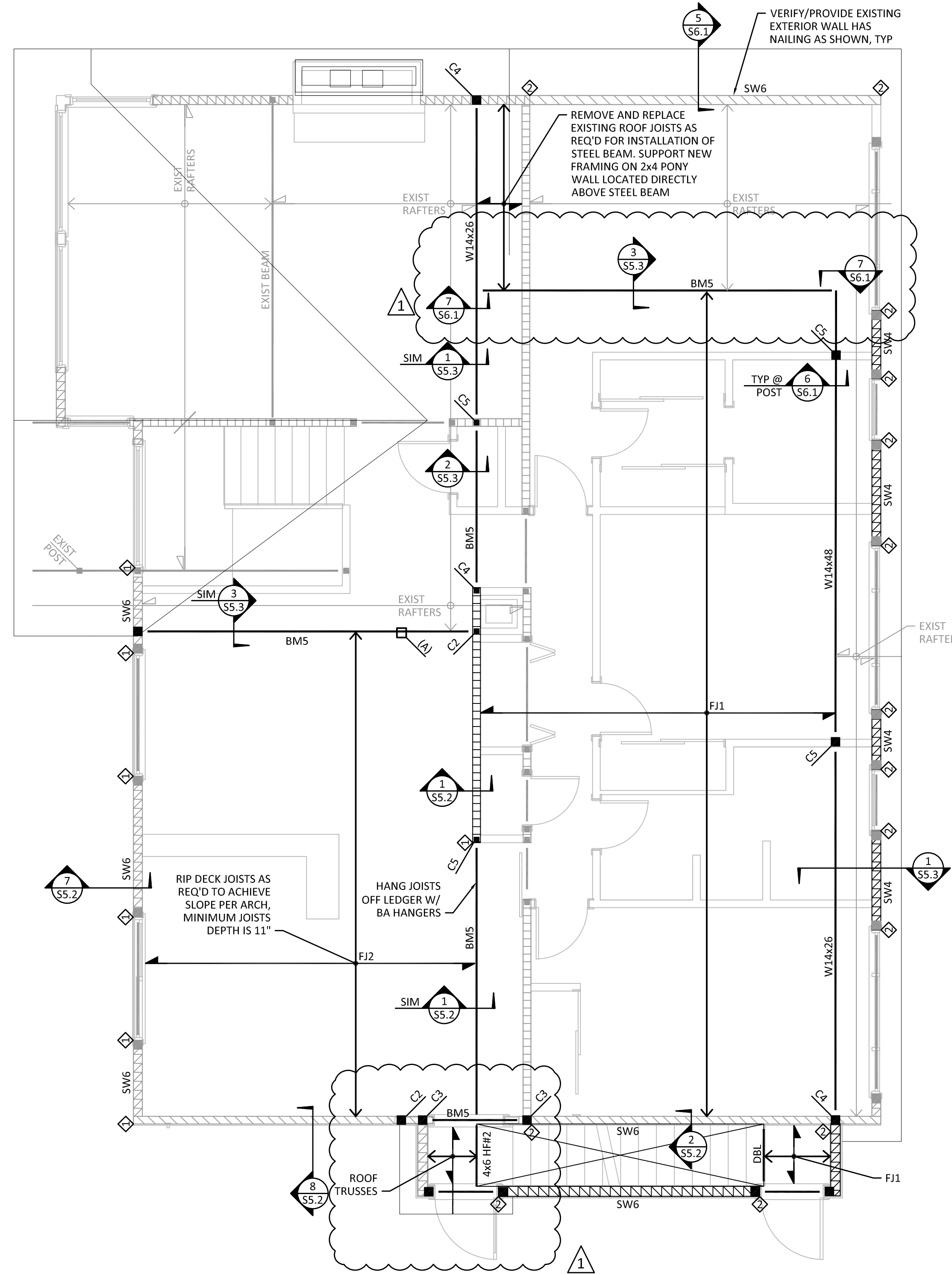
SHEET:
S2.1

TYPICAL FLOOR FRAMING PLAN NOTES:

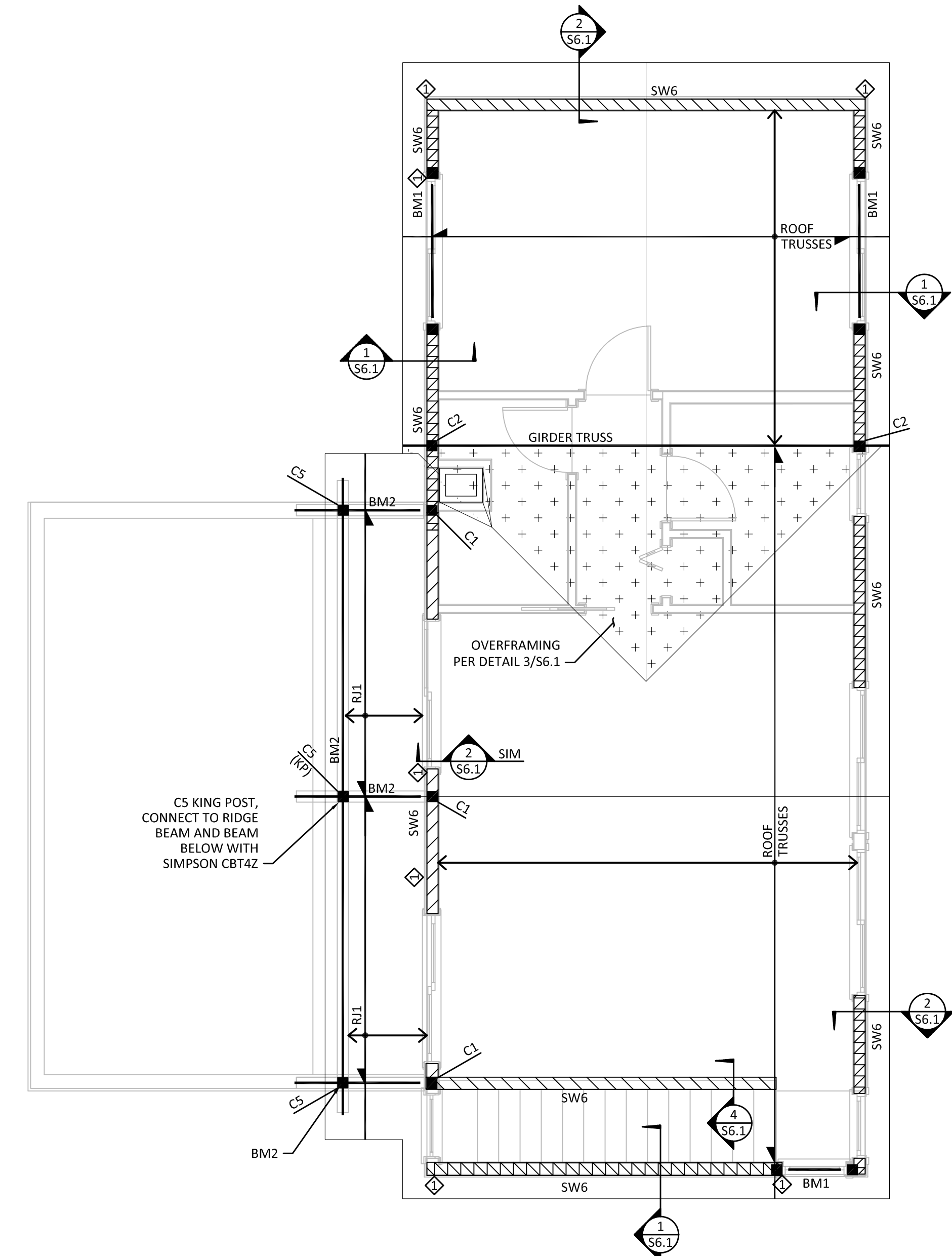
- REFER TO SHEET SS.1 THRU SS.2 FOR TYPICAL FLOOR FRAMING DETAILS.
- FLOOR SHEATHING SHALL BE 3/4" P1 48/24 WITH 10d COMMON NAILS SPACED AT 6" OC AT ALL DIAPHRAGM BOUNDARIES, PANEL EDGES AND SHEAR WALLS AND 10" OC AT INTERMEDIATE FRAMING. FOR SHEATHING LAYOUT AND NAILING REFER TO DETAIL 2/SS.1
- COLUMNS AND BEARING WALLS SHOWN ON PLANS SHALL BE CONTINUED DOWN TO THE FOUNDATION UNLESS CARRIED BY A BEAM BELOW.
- INDICATES COLUMN BELOW AND BEAM SHALL BE CONTINUED OVER COLUMN, TYP.
- CONTRACTOR SHALL HAVE THE OPTION TO DRILL A 1 1/2" Ø HOLE CENTERED IN THE DEPTH AND AT THE THIRD POINT OF THE SPAN FOR ALL WOOD FLUSH BEAMS SHOWN ON THE PLAN.
- WALLS SHOWN ON THE FRAMING PLANS ARE WALLS BELOW THE FRAMING LEVELS INDICATED. HOLDDOWNS SHALL BE PLACED AT THE BASE OF THE WALLS SHOWN.
- TYPICAL HEADERS AT BEARING LOCATION SHALL BE 4x6 HF#2 UNO SUPPORTED BY A MINIMUM OF (1) CRIPPLE STUD AND (1) FULL HEIGHT STUD.
- COLUMNS NOT OTHERWISE SHOWN OR CALLED OUT ON PLAN SHALL BE (2) 2x STUDS.
- STUD WALL FRAMING SHALL BE 2X HF STUDS @ 16" OC FOR ALL STUD WALLS SHOWN ON THE PLAN.
- UNLESS NOTED OTHERWISE, ALL BEAM-TO-BEAM CONNECTIONS SHALL BE SIMPSON HU SERIES FACE MOUNT HANGERS W/ MAX NAILING.

TYPICAL ROOF FRAMING PLAN NOTES:

- REFER TO SHEET S6.1 FOR TYPICAL ROOF FRAMING DETAILS.
- ROOF SHEATHING SHALL BE 1/2" P1 40/20 WITH 8d COMMON NAILS SPACED AT 6" OC AT ALL DIAPHRAGM BOUNDARIES, PANEL EDGES, SHEAR WALLS, COLLECTOR TRUSSES, AND BLOCKING OR TRUSS BLOCKING PANELS INDICATED ON PLANS. NAILING AT INTERMEDIATE FRAMING SHALL BE 8d COMMON NAILS @ 12" OC. REFER TO DETAIL 2/SS.1 FOR SHEATHING LAYOUT AND NAILING.
- TYPICAL HEADERS AT BEARING LOCATION SHALL BE 4x6 HF#2 UNO SUPPORTED BY A MINIMUM OF (1) CRIPPLE STUD AND (1) FULL HEIGHT STUD.
- STUD WALL FRAMING SHALL BE 2x HF STUDS @ 16" OC FOR ALL STUD WALLS SHOWN ON THE PLAN.
- REFER TO DETAIL 3/SS.1 FOR CONSTRUCTION OF MULTIPLE STUD COLUMNS.
- COLUMNS AND BEARING WALLS SHOWN ON PLAN SHALL BE CONTINUED DOWN TO THE FOUNDATION UNLESS CARRIED BY A BEAM BELOW.
- HOLDDOWNS SHOWN ON ROOF FRAMING PLAN SHALL BE PLACED AT BASE OF WALLS SHOWN.
- ROOF TRUSSES SHALL BE PRE-ENGINEERED BY OTHERS AND SPACED AT 24" OC.
- ATTACH ALL ROOF TRUSSES TO WALLS BELOW WITH SIMPSON H2.5 HURRICANE TIES.



1 UPPER FLOOR AND LOWER ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



2 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



MARK	DATE	DESCRIPTION
1	09/01/22	PERMIT SUBMITTAL
2	02/07/23	COMMENT RESPONSE

DESIGN:	DTR
DRAWN:	JOS
CHECK:	JDM
JOB NO:	22139.10
DATE:	09/01/22

MONAHAN RESIDENCE
2424 67TH AVE SE
MERCER ISLAND, WA 98040
UPPER FLOOR AND
ROOF FRAMING PLAN

SHEET:
S2.2



02/01/23

HOLDOWN SCHEDULE					
MARK	TYPE	MIN CHORD SIZE	STUD NAILS OR BOLTS	ANCHOR BOLT (SEE NOTE 4)	CAPACITY (LB)
①	MST37	(2) 2x	(11) 16d EA END	-	2,355
②	HDU4	(2) 2x	(10) SDS 1/4" x 2 1/2" SCREWS	5/8"Ø	3,285
③	HDU11	6x6	(30) SDS 1/4" x 2 1/2" SCREWS	1"Ø	9,535
④	REFER TO DETAIL 8/54.1				

NOTES:
 1. REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR ADDITIONAL INSTALLATION REQUIREMENTS.
 2. REFER TO DETAIL 3/55.2 FOR INSTALLATION OF MST FLOOR TO FLOOR STRAPS. REFER TO DETAIL 4/55.2 FOR INSTALLATION OF MST FLOOR STRAPS TO BEAMS OR HEADERS.
 3. INSTALL HD HOLDOWNS AT FOUNDATION WALLS OR THICKENED SLAB FOOTINGS PER DETAIL 3/54.1.
 4. AT ALL HOLDOWN CHORDS, PROVIDE PANEL EDGE NAILING PER SHEAR WALL SCHED.
 5. FOR INSTALLATION OF HOLDOWN STRAPS AT STEEL BEAMS, REFER TO DETAIL 8/56.1.

BEAM SCHEDULE			
MARK	BEAM	REMARKS	HANGER AS REQ'D
BM1	4x10 HF#2	-	HU410
BM2	6x12 DF#2	-	HUC612
BM3	3-1/2" x 11-1/4" PSL	SEE NOTE 5	HUCQ.412-SDS
BM4	7" x 11-1/4" PSL	SEE NOTE 5	-
BM5	3-1/2" x 16" PSL	SEE NOTE 5	MGU3.63-SDS
WF	ALL WF BEAMS ARE CALLED OUT ON PLANS		SEE NOTE 6

NOTES:
 1. REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR HANGER INSTALLATION INFORMATION.
 2. REFER TO FRAMING PLANS AND NOTES FOR SUPPORTS AT BEAM ENDS.
 3. ALL BEAMS EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 4. REFER TO PLAN NOTES FOR BEAMS & HEADERS AT BEARING LOCATIONS THAT ARE NOT CALLED OUT.
 5. IF PSL SUPPLIER DOES NOT STOCK EXACT DEPTH OF BEAMS LISTED, CONTRACTOR SHALL COORDINATE WITH SUPPLIER TO RIP BEAMS TO EXACT DIMENSIONS LISTED IN TABLE.
 6. CONNECT 2x NAILER TO STEEL BEAMS PER DETAIL 1/55.3

SHEAR WALL SCHEDULE								
TYPE	APA-RATED SHEATHING	MIN FRAMING AT ADJOINING PANEL EDGES (SEE NOTE 5)	SHEAR WALL NAILING AT PANEL EDGES	RIM JOIST OR BLOCK CONN TO TOP PLATE	SILL PLATE NAILING TO RIM/BLKG BELOW	SILL PLATE ANCHOR BOLT TO SLAB OR FOUNDATION (SEE NOTE 11)	FOUNDATION SILL PLATE SIZE	SHEAR CAPACITY (PLF)
SW6	15/32" ONE SIDE	2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 6" OC	LTP4 OR A35 @ 24" OC	0.131"Ø x 3" @ 6" OC	3/4"Ø AB @ 5'-0" OC	2x	242
SW4	15/32" ONE SIDE	2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 4" OC	LTP4 OR A35 @ 20" OC	0.131"Ø x 3" @ 4" OC	3/4"Ø AB @ 5'-0" OC	2x	350
SW3	15/32" ONE SIDE	(2) 2x STUD AND 2x FLAT BLKG	0.131"Ø x 2 1/2" @ 3" OC	LTP4 OR A35 @ 15" OC	0.131"Ø x 3" @ 3" OC	3/4"Ø AB @ 4'-0" OC	2x	455
SW2	15/32" ONE SIDE	3x STUD AND 2x FLAT BLKG	0.131"Ø x 2 1/2" @ 2" OC	LTP4 OR A35 @ 12" OC	0.131"Ø x 3" @ 2.5" OC	3/4"Ø AB @ 3'-0" OC	2x	595
2SW4	15/32" BOTH SIDES	(2) 2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 4" OC	LTP4 OR A35 @ 10" OC	0.131"Ø x 3" @ 2" OC	3/4"Ø AB @ 2'-6" OC	2x	706
2SW3	15/32" BOTH SIDES	(2) 2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 3" OC	LTP4 OR A35 @ 7.5" OC	0.131" x 3" @ 1.5" OC	3/4"Ø AB @ 2'-0" OC	2x	910
2SW2	15/32" BOTH SIDES	3x STUD AND BLKG	0.131"Ø x 2 1/2" @ 2" OC	LTP4 OR A35 @ 6" OC	0.131" x 3" @ 1.5" OC	3/4"Ø AB @ 1'-6" OC	2x	1190

NOTES:
 1. REFER TO THE TYPICAL SHEAR WALL DETAIL.
 2. THE VALUES IN THIS TABLE ARE APPROPRIATE FOR HF GRADE STUDS AND HF GRADE PLATES & RIM/BLOCKING.
 3. NAILS AT ADJOINING PANEL EDGES SHALL BE STAGGERED EACH SIDE OF THE COMMON JOINT.
 4. WHERE PANELS ARE APPLIED ON BOTH FACES OF A WALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS, OR FRAMING SHALL BE 3x AT ADJOINING PANEL EDGES AND NAILS SHALL BE STAGGERED.
 5. WHERE TABLE SPECIFIES (2) 2x FRAMING, CONNECT (2) 2x STUDS AND BLOCKING AS FOLLOWS: SW3 = (2) 0.131"Ø @ 3.5" OC, 2SW4 = 0.131"Ø @ 2.5" OC, 2SW3 = (2) 0.131"Ø @ 1.5" OC.
 6. NOTE THAT 3x FRAMING MAY BE USED IN LIEU OF (2) 2x FRAMING SPECIFIED IN TABLE.
 7. INTERMEDIATE FRAMING TO BE WITH 2x MINIMUM MEMBERS. FIELD NAILING 12" OC MAXIMUM.
 8. AT ALL 3/4"Ø SILL PLATE ANCHOR BOLTS, INSTALL 1/4" x 3" x 3" PLATE WASHERS. EDGE OF PLATE WASHER SHALL BE WITHIN 1/2" OF SHEATHED EDGE. FOR DOUBLE SIDED SHEAR WALLS, USE WIDER PLATE WASHERS AS REQUIRED TO MEET THIS REQUIREMENT.
 9. PROVIDE A MINIMUM OF 7" EMBEDMENT FOR AB INTO FOUNDATION OR STEEL WALL.
 10. 7/16" SHEATHING MAY BE USED IN PLACE OF 15/32" SHEATHING PROVIDED ALL STUDS ARE SPACED 16" OC OR PANELS ARE APPLIED WITH LONG DIMENSION ACROSS STUDS.
 11. AT EXISTING FOUNDATION USE 5/8"Ø x 9" SIMPSON TITEN SCREWS IN LIEU OF J-BOLTS.

JOIST SCHEDULE			
MARK	JOIST	SPACING	REMARKS
FJ1	16" TJ 110	16" OC	SEE NOTES 3
FJ2	1 3/4" x 16" LVL	12" OC	SEE NOTES 2
RJ1	2x10 HF#2	24" OC	SEE NOTES 2

NOTES:
 1. FOR JOIST HANGERS REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR ALL INSTALLATION REQUIREMENTS.
 2. TIMBER JOIST FRAMING INTO WOOD BEAMS SHALL USE LUS FACE MOUNT HANGERS UNO.
 3. PLYWOOD WEB JOISTS FRAMING INTO WOOD BEAMS SHALL USE ITS-SERIES TOP FLANGE HANGERS. PLYWOOD WEB JOISTS FRAMING INTO STEEL BEAMS USE BA-SERIES HANGERS AT NAILER.

COLUMN SCHEDULE			
MARK	COLUMN SIZE	COLUMN SIZE	REMARKS
C1	(2) 2x4	(2) 2x6	SEE NOTE 2
C2	(3) 2x4	(3) 2x6	SEE NOTE 2
C3	(4) 2x4	(4) 2x6	SEE NOTE 2
C4	4x6 DF#2	4x6 DF#2	-
C5	4x8 DF #2	6x6 DF#2	-
C6	-	6x8 DF#2	-

NOTES:
 1. REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR PRE-FABRICATED CONNECTION INSTALLATION REQUIREMENTS.
 2. MULTIPLE STUD COLUMNS SHALL USE GRADE OF STUD INDICATED ON WALL FRAMING SCHEDULE. REFER TO DETAIL 3/55.1 FOR FABRICATION OF MULTIPLE STUD COLUMNS.
 3. CONTRACTOR TO PROVIDE BLOCKING EQUAL TO COLUMN DIMENSIONS AT JOIST SPACE FOR COLUMNS CONTINUING TO FOUNDATION.

FOOTING SCHEDULE			
MARK	FOOTING SIZE	REINFORCING	COMMENTS
F3	3'-0" x 3'-0" x 1'-0" DEEP	(4) #5 EACH WAY BOTTOM	-
F4	4'-0" x 4'-0" x 1'-0" DEEP	(5) #5 EACH WAY BOTTOM	-

NOTES:
 1. ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED NATIVE SOIL OR COMPACTED STRUCTURAL FILL PER GEOTECHNICAL ENGINEERING REPORT.
 2. REINFORCEMENT SHALL BE CONTINUED FROM CONTINUOUS FOOTINGS THRU SPREAD FOOTINGS WHERE APPLICABLE.

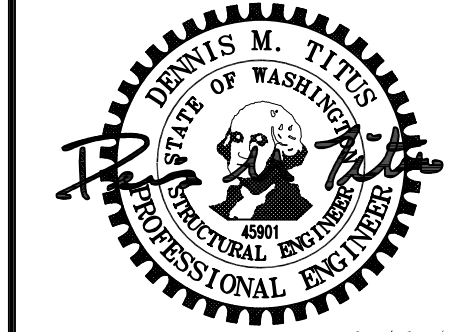
MARK	DATE	DESCRIPTION
	09/01/22	PERMIT SUBMITTAL
	02/07/23	COMMENT RESPONSE

DESIGN: DTR
 DRAWN: JOS
 CHECK: JDM
 JOB NO: 22139.10
 DATE: 09/01/22

MONAHAN RESIDENCE
 2424 67TH AVE SE
 MERCER ISLAND, WA 98040

SCHEDULES

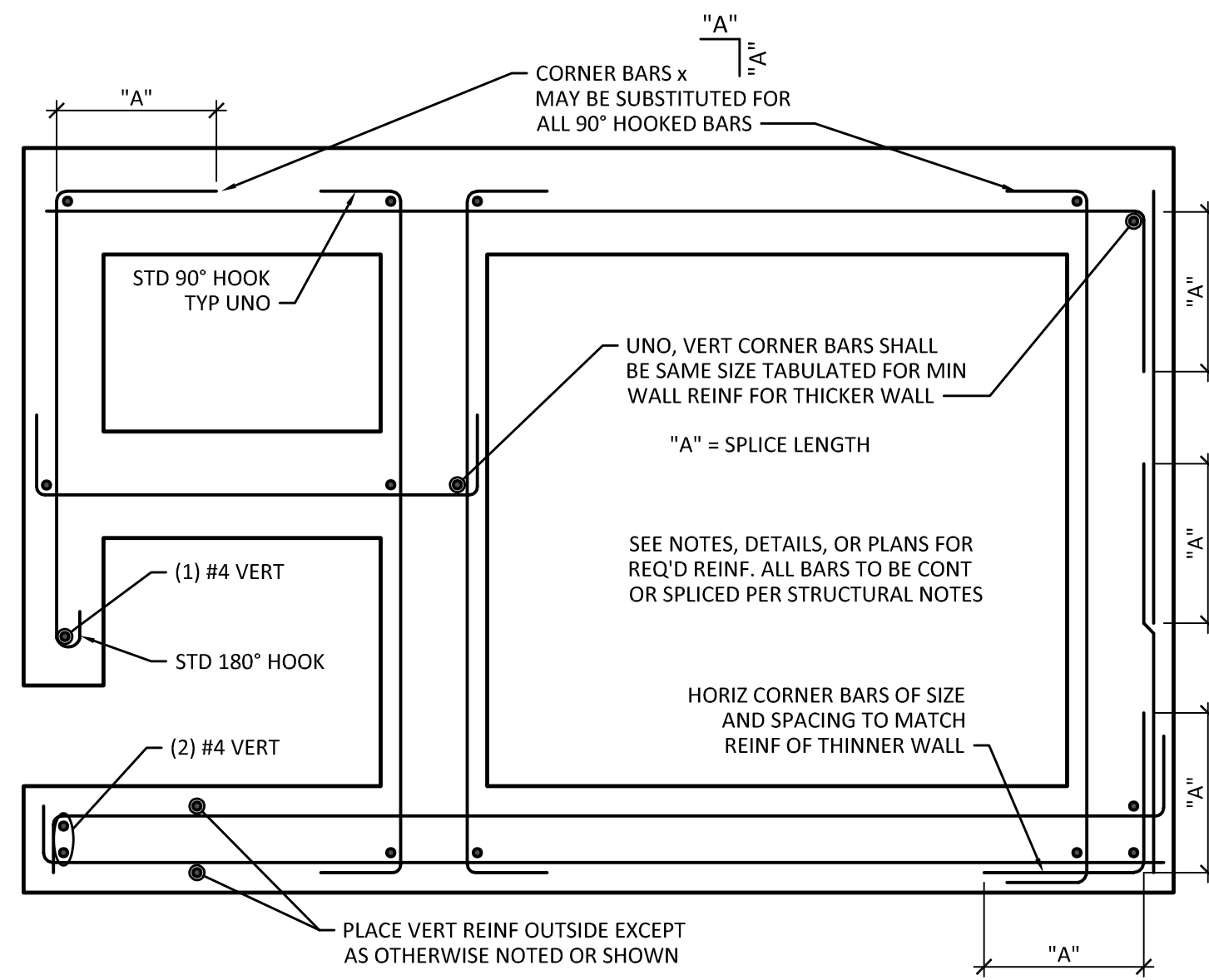
SHEET:
33.1



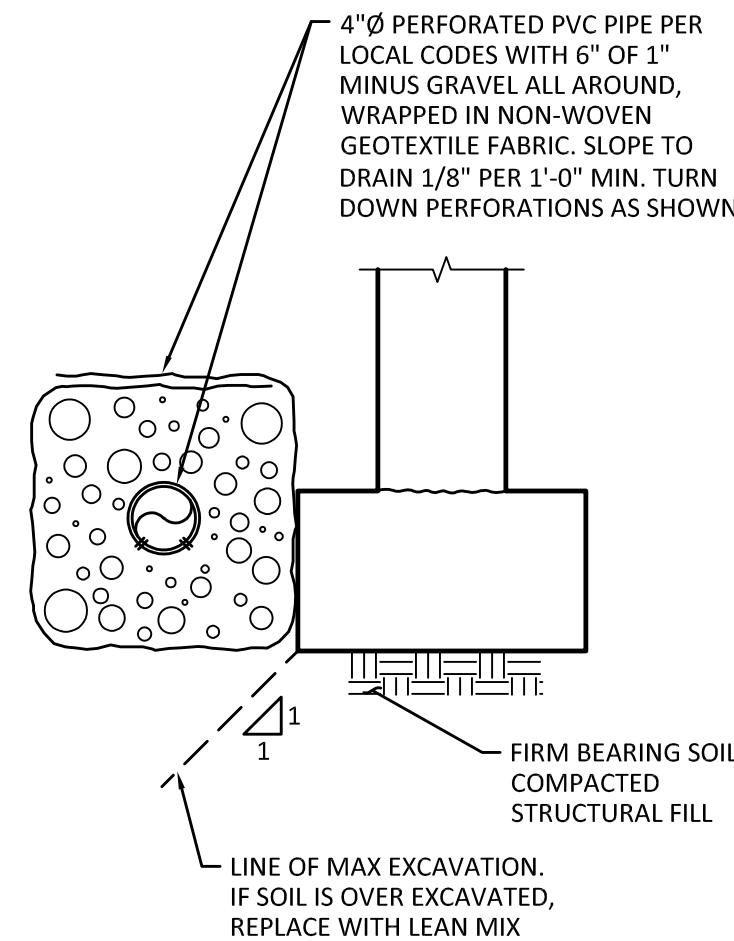
02/01/23

MARK	DATE	DESCRIPTION
	09/01/22	PERMIT SUBMITTAL
	02/07/23	COMMENT RESPONSE

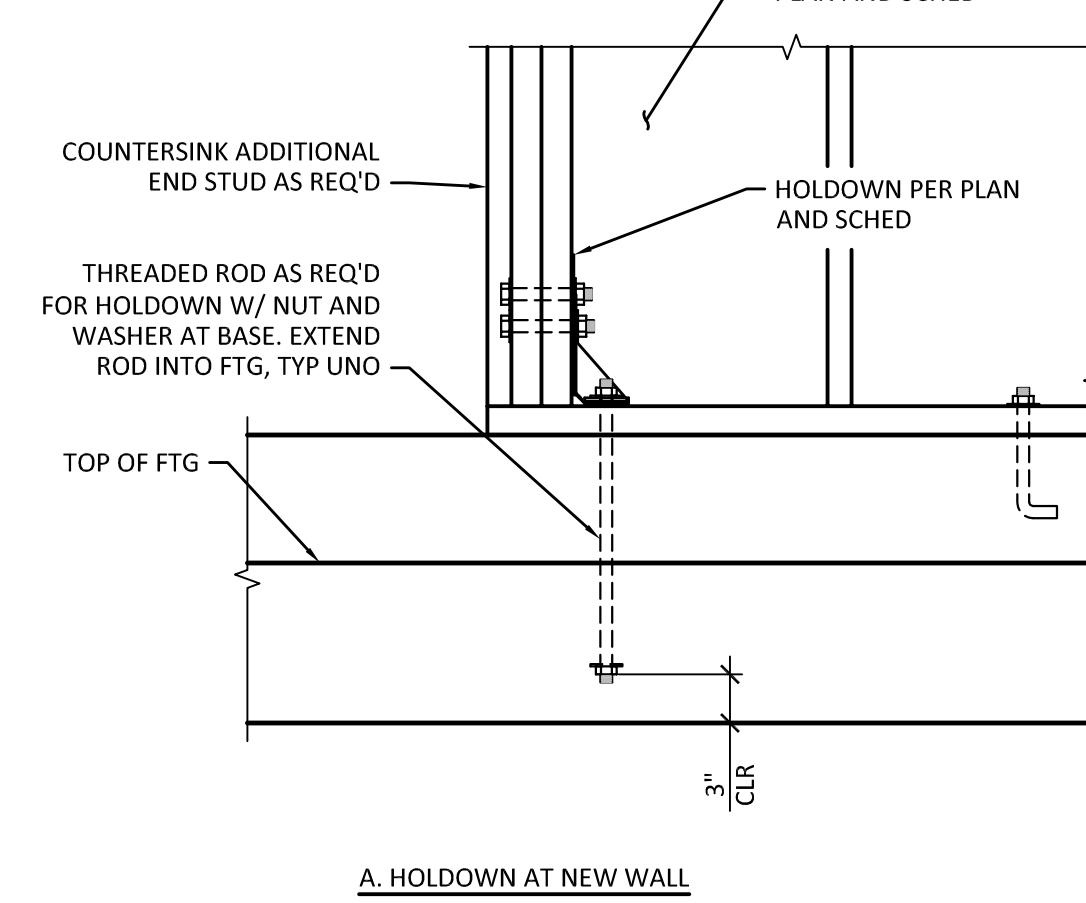
DESIGN: DTR
 DRAWN: JOS
 CHECK: JDM
 JOB NO: 22139.10
 DATE: 09/01/22



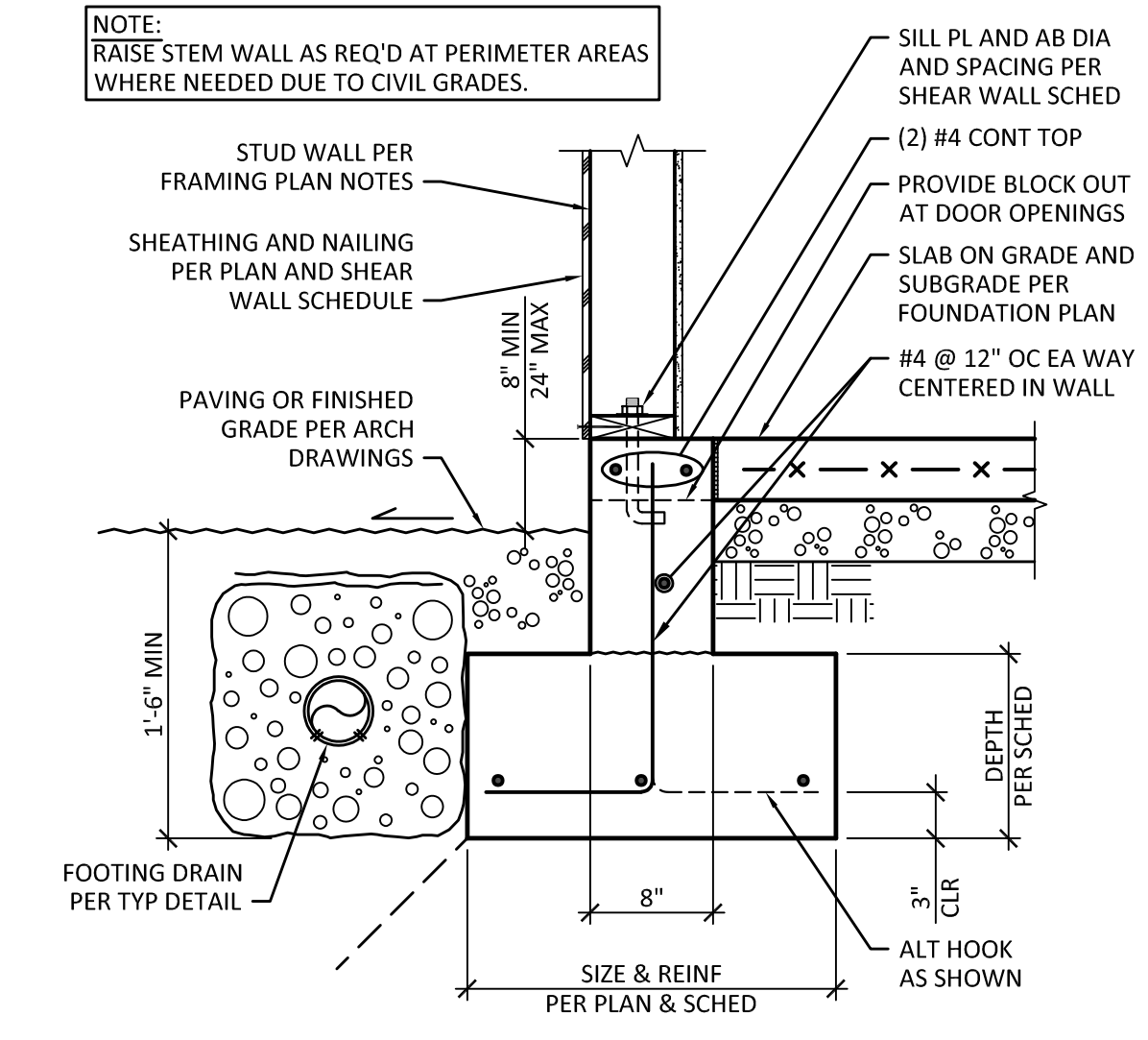
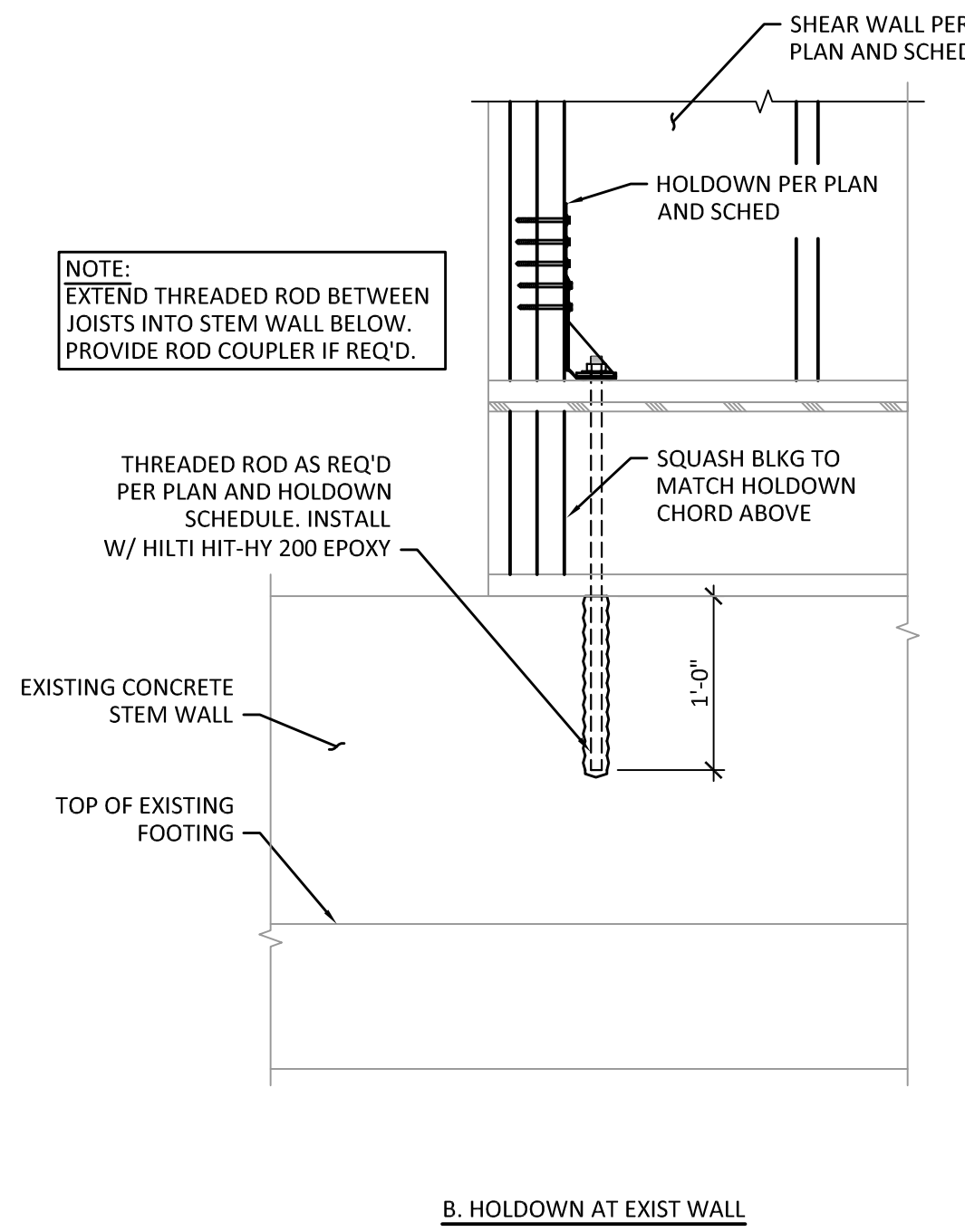
1 TYPICAL CONCRETE WALL REINFORCING DETAIL
 SCALE: NTS



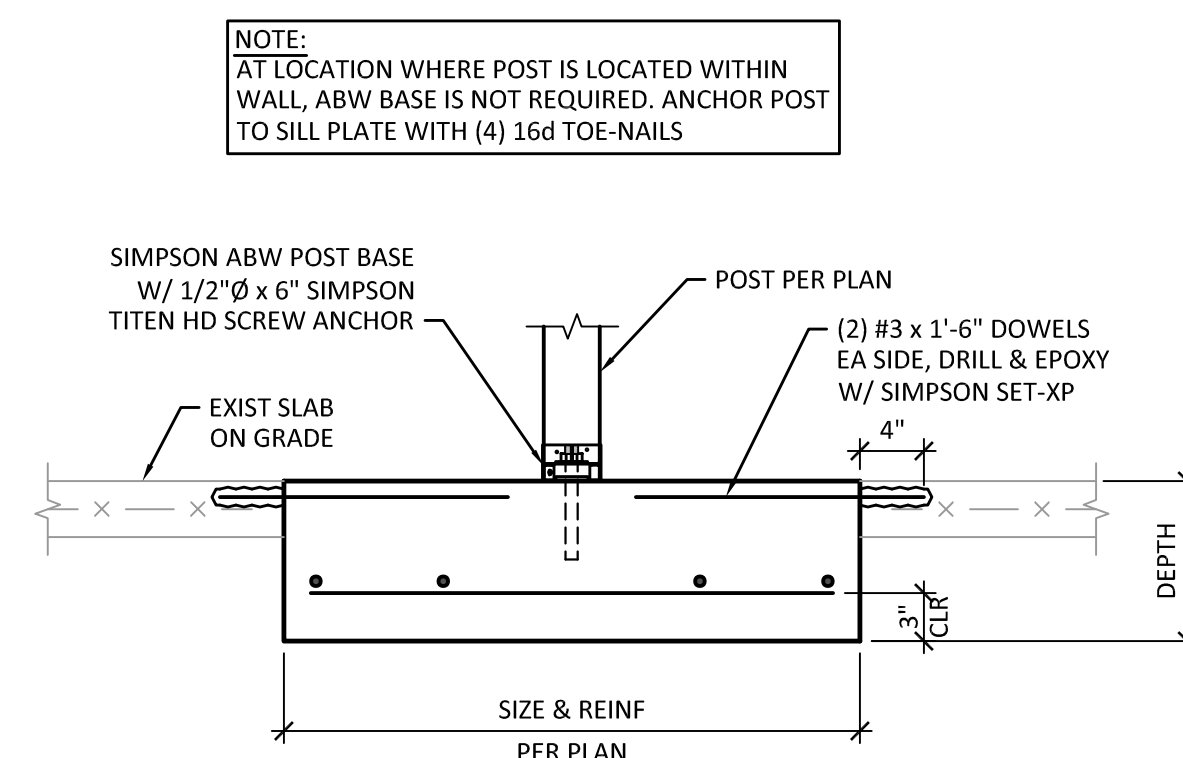
2 TYPICAL FOOTING DRAIN
 SCALE: 1" = 1'-0"



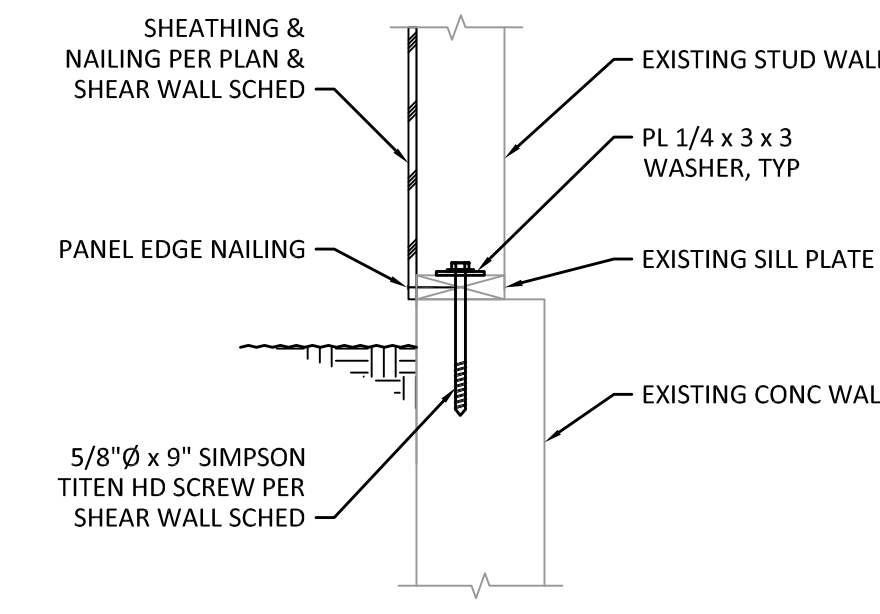
3 HOLDOWN DETAIL
 SCALE: 1" = 1'-0"



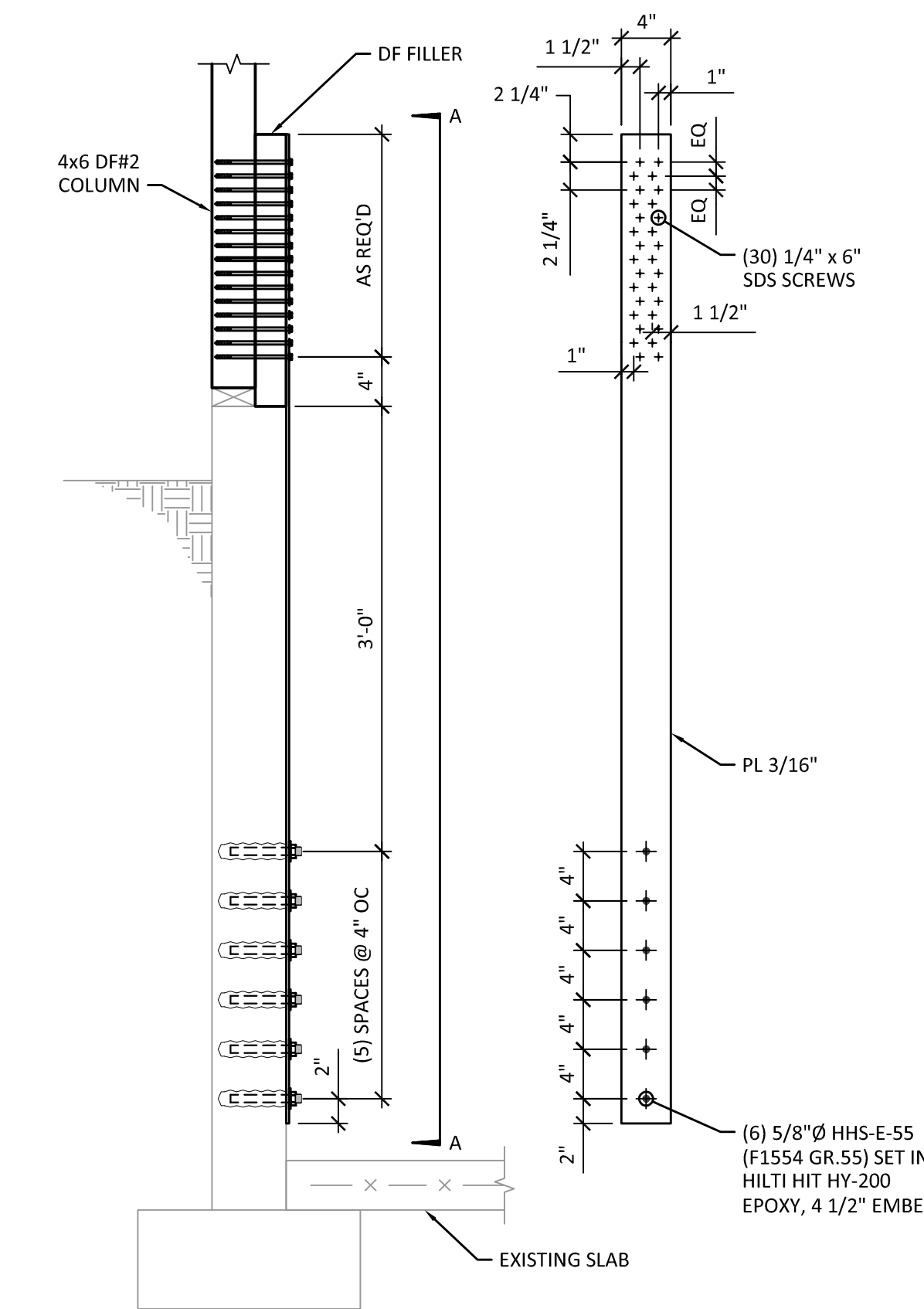
5 CRAWSPACE SECTION (BEARING)
 SCALE: 1" = 1'-0"



6 SECTION
 SCALE: 1" = 1'-0"



7 FOUNDATION ANCHORAGE DETAIL
 SCALE: 1" = 1'-0"



8 SECTION
 SCALE: 1" = 1'-0"

MONAHAN RESIDENCE
 2424 67TH AVE SE
 MERCER ISLAND, WA 98040

FOUNDATION DETAILS

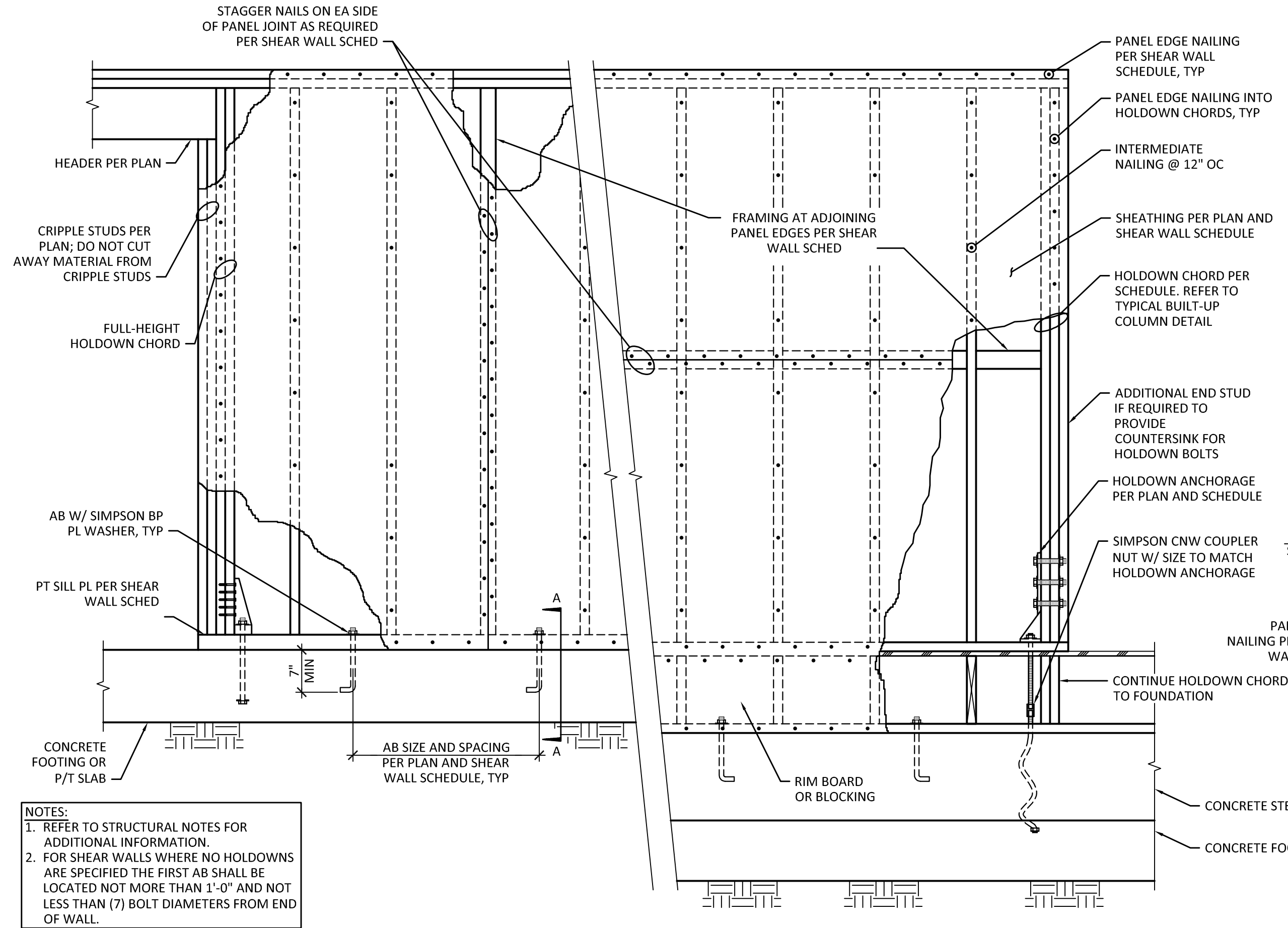
SHEET:
S4.1



02/01/23

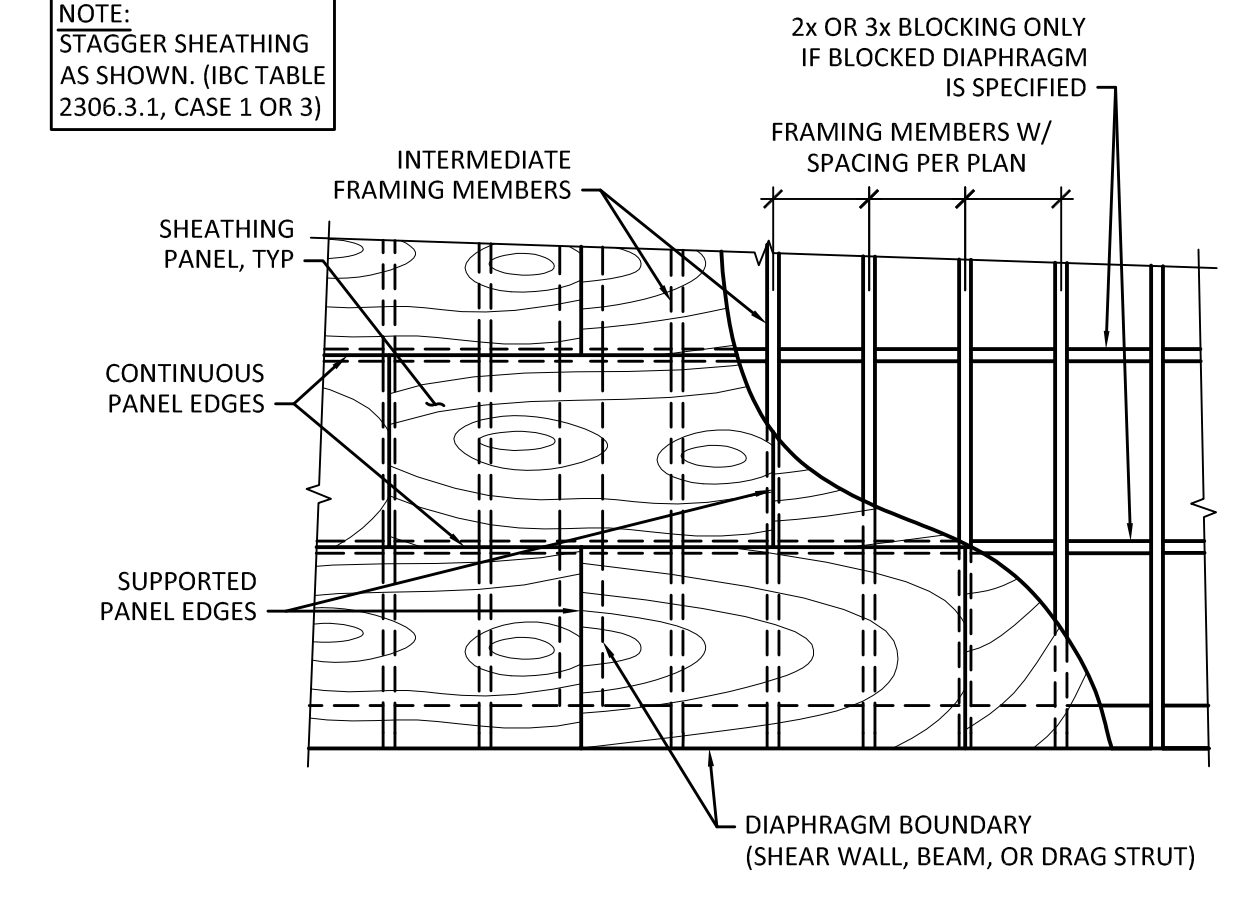
MARK	DATE	DESCRIPTION	PERMIT SUBMITTAL	COMMENT RESPONSE
	09/01/22			
	02/07/23			

DESIGN: DTR
 DRAWN: JOS
 CHECK: JDM
 JOB NO: 22139.10
 DATE: 09/01/22

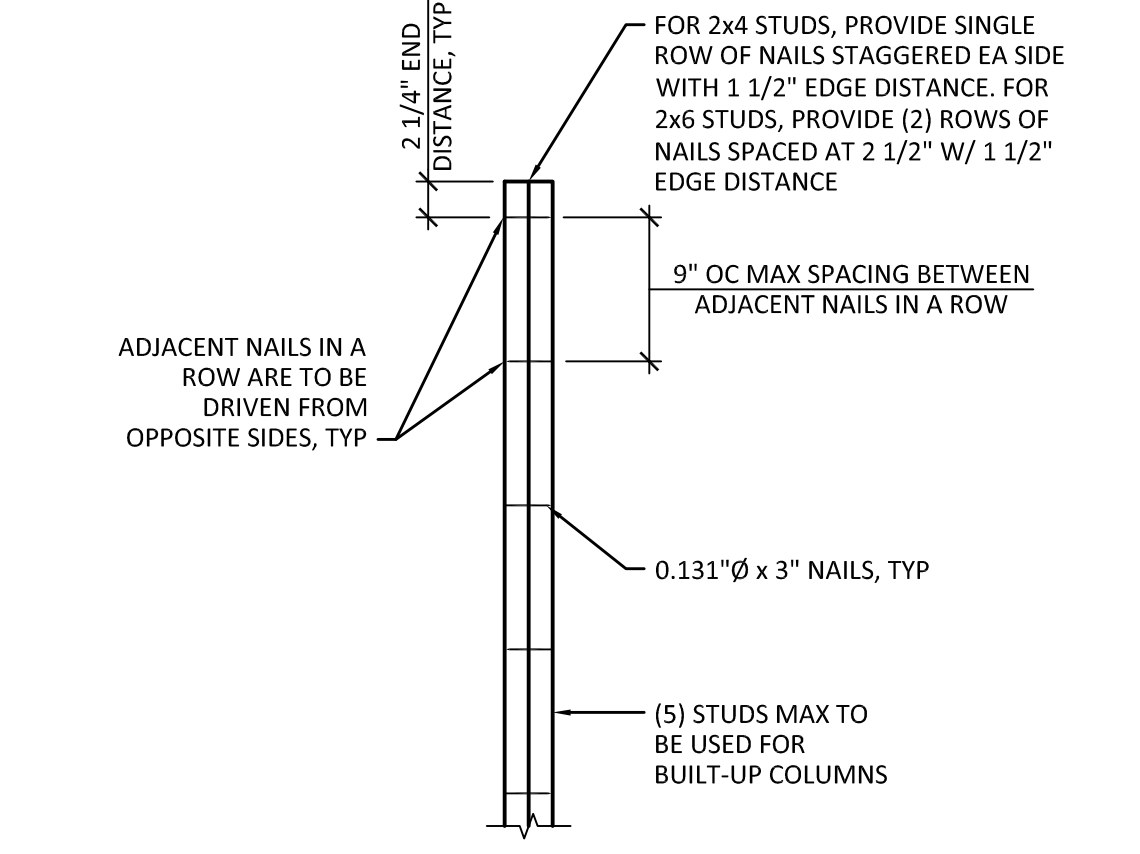


1 TYPICAL SHEAR WALL DETAIL
 SCALE: 3/4" = 1'-0"

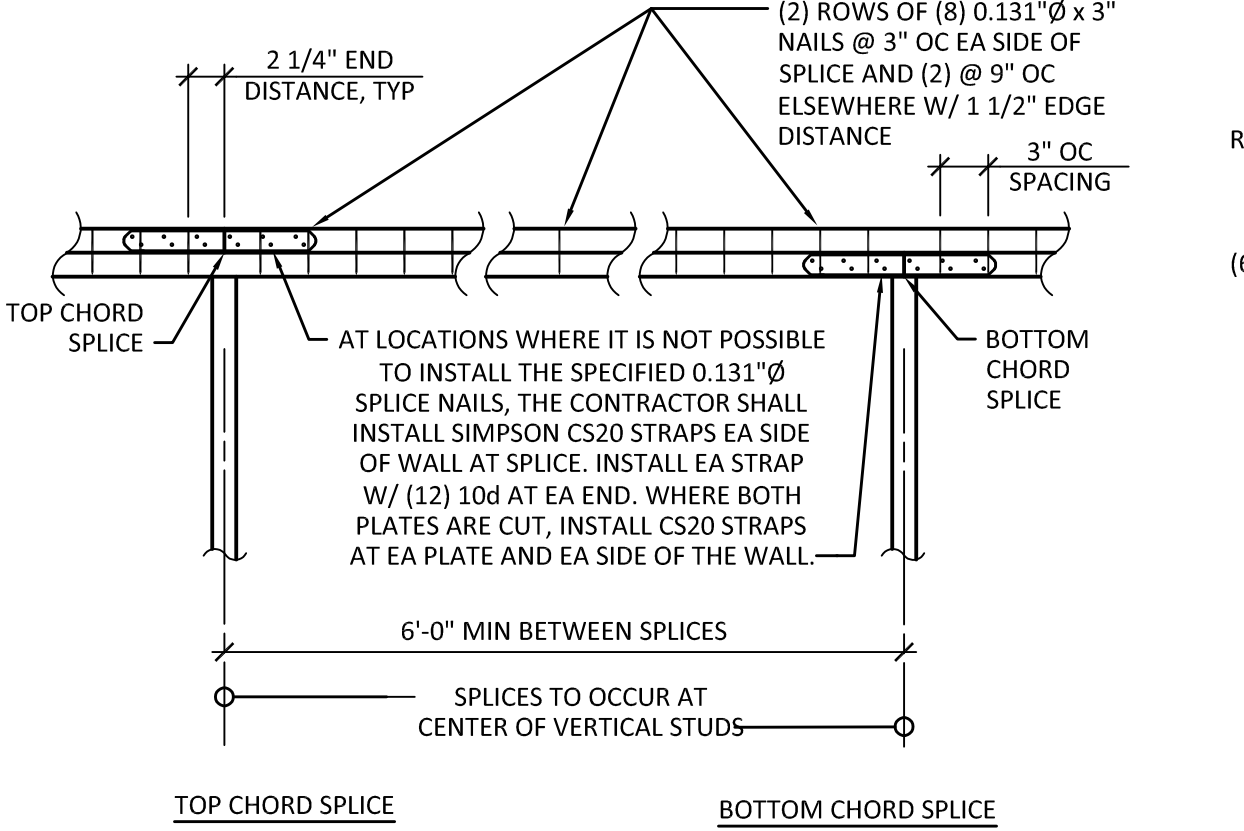
NOTES:
 1. REFER TO STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.
 2. FOR SHEAR WALLS WHERE NO HOLDOWNS ARE SPECIFIED THE FIRST AB SHALL BE LOCATED NOT MORE THAN 1'-0" AND NOT LESS THAN (7) BOLT DIAMETERS FROM END OF WALL.



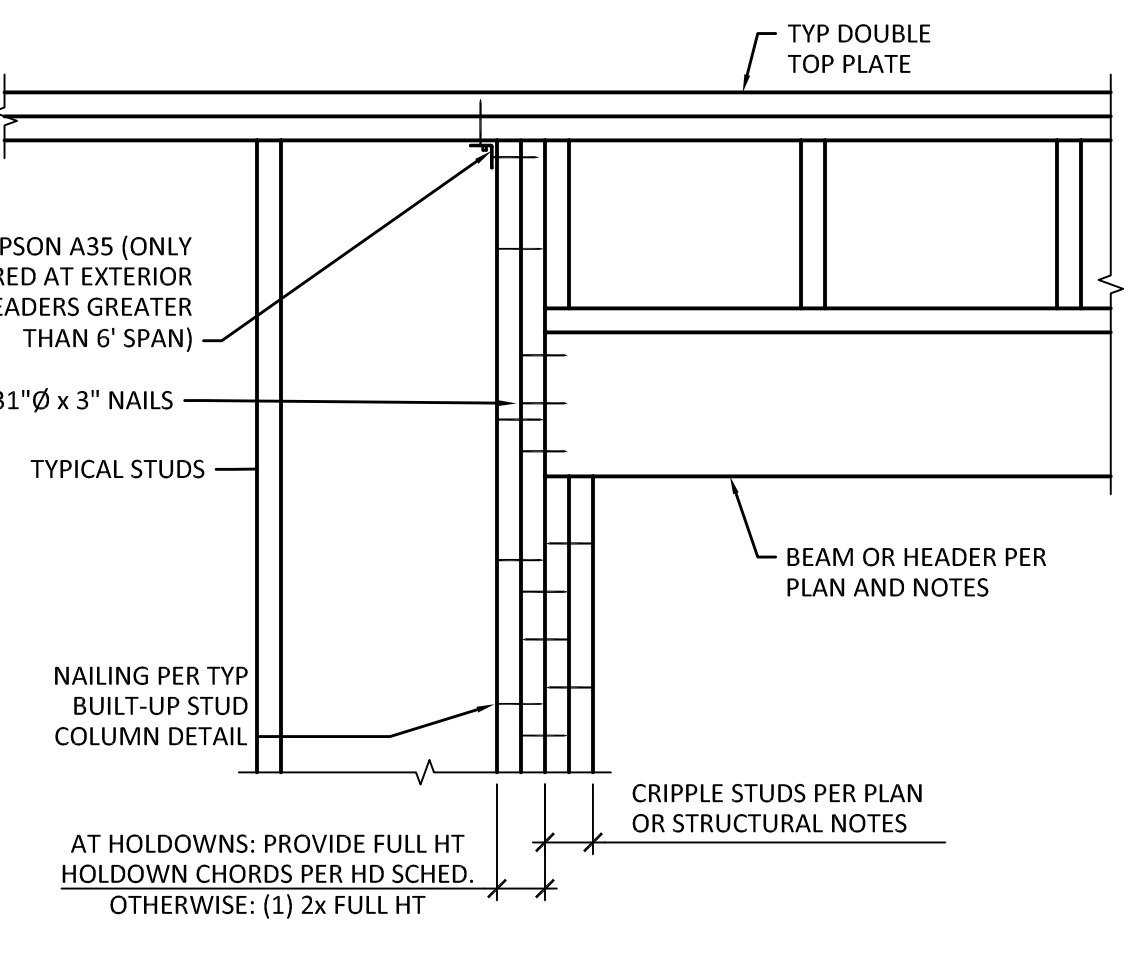
2 TYPICAL FLOOR/ ROOF SHEATHING DETAIL
 SCALE: NTS



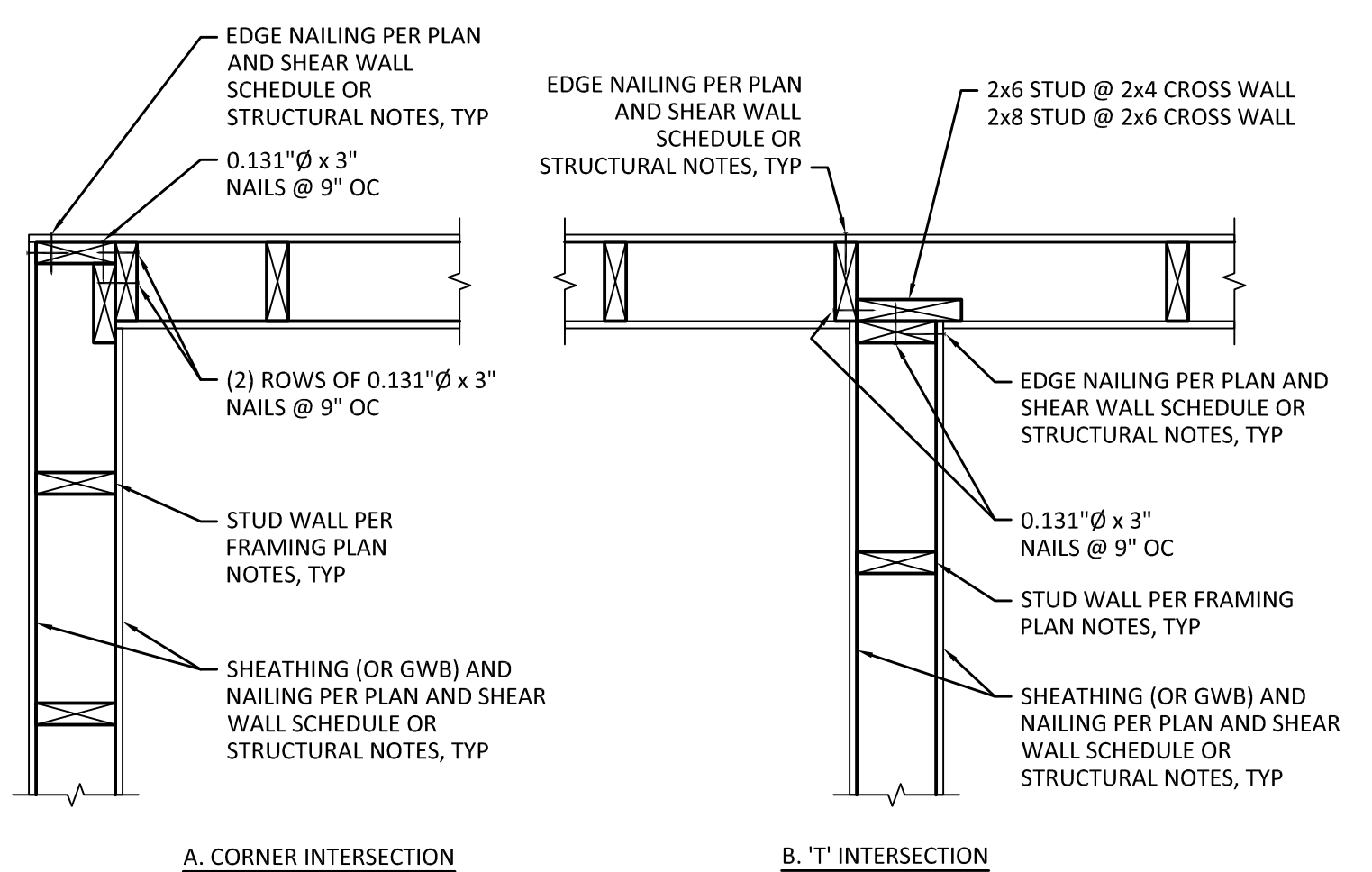
3 TYPICAL BUILT-UP STUD COLUMN DETAIL
 SCALE: 1" = 1'-0"



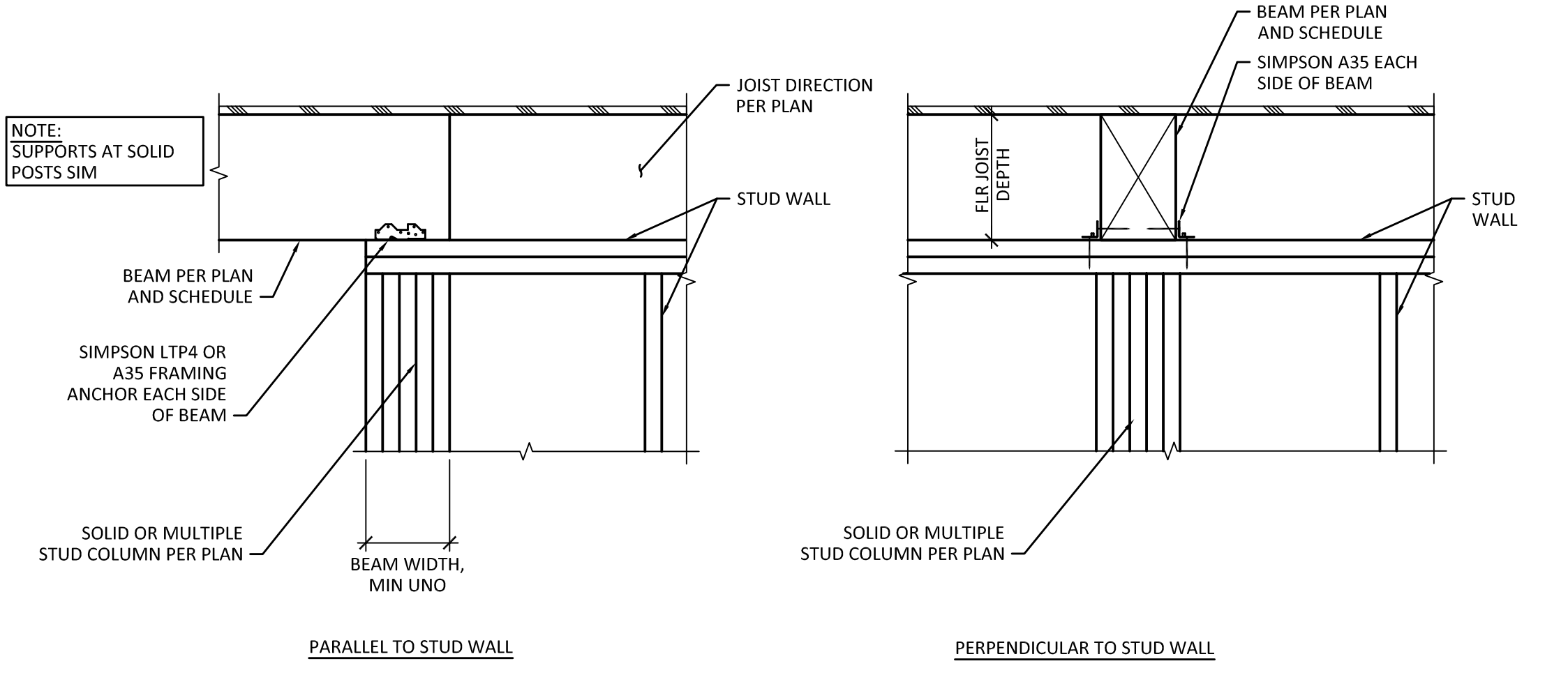
4 TYPICAL TOP PLATE SPLICE DETAIL
 SCALE: 1" = 1'-0"



5 TYPICAL HEADER DETAIL
 SCALE: 1" = 1'-0"



6 TYPICAL WALL INTERSECTION DETAIL
 SCALE: 1" = 1'-0"



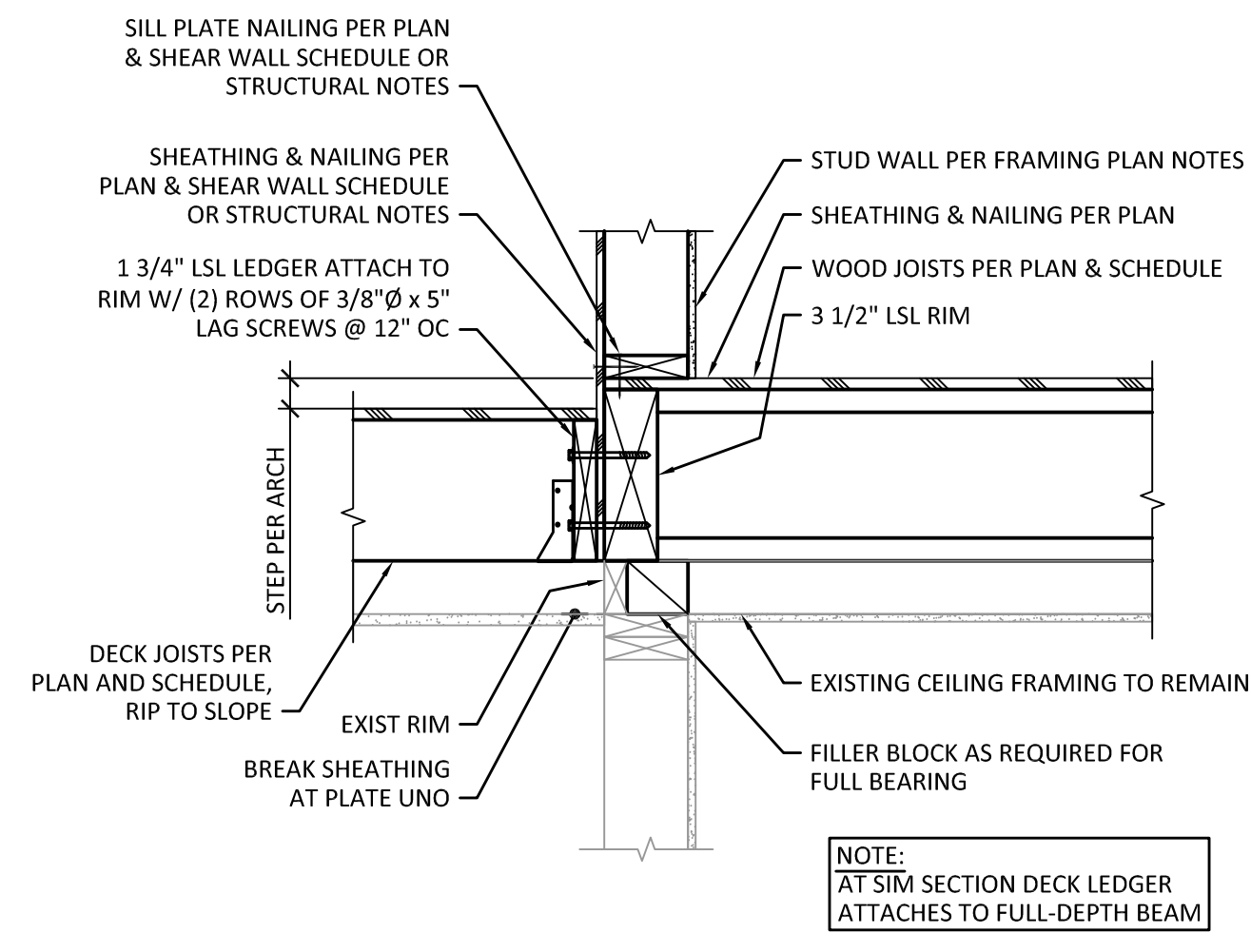
7 TYPICAL FLUSH BEAM SUPPORT DETAILS
 SCALE: 1" = 1'-0"

MONAHAN RESIDENCE
 2424 67TH AVE SE
 MERCER ISLAND, WA 98040

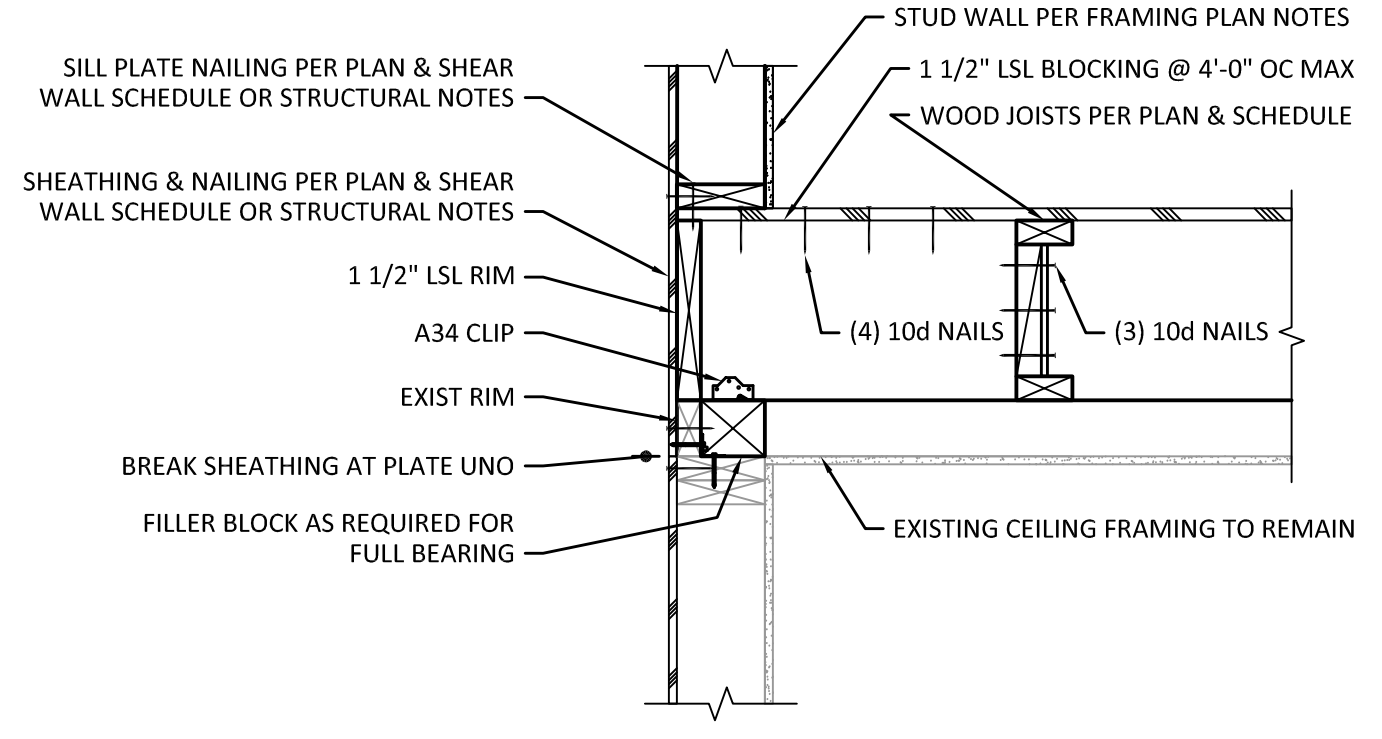
WOOD FRAMING DETAILS



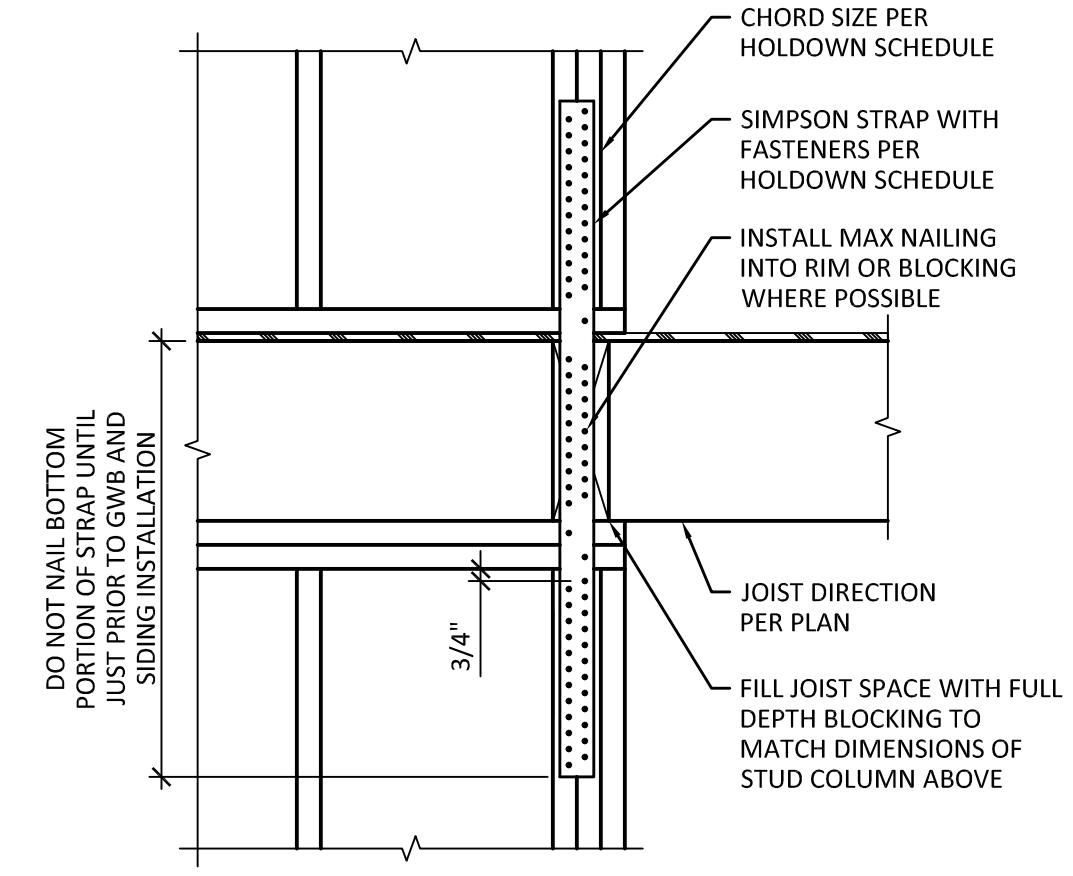
02/01/23



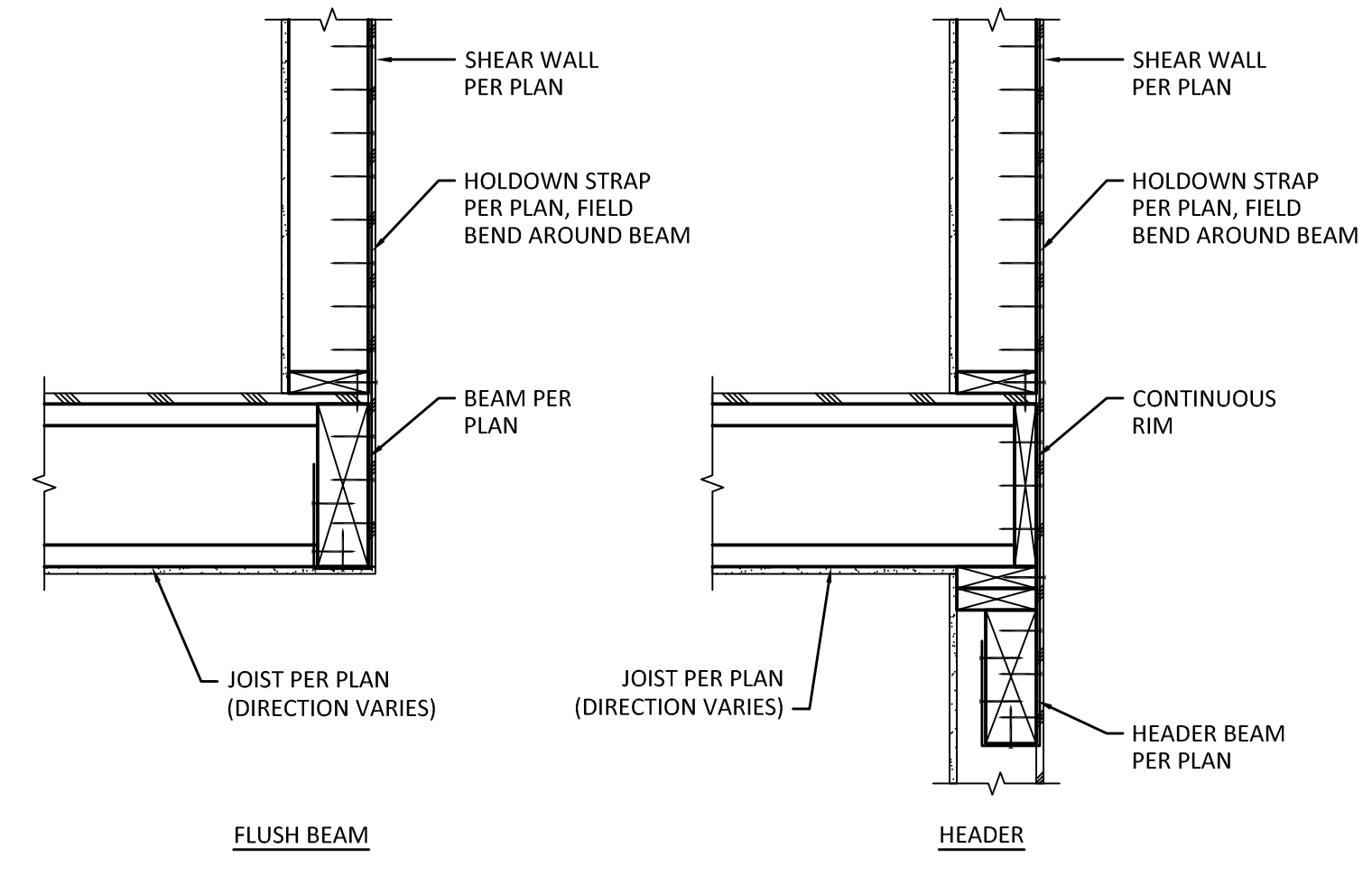
1 TYPICAL STUD WALL FRAMING DETAIL
 SCALE: 1" = 1'-0"



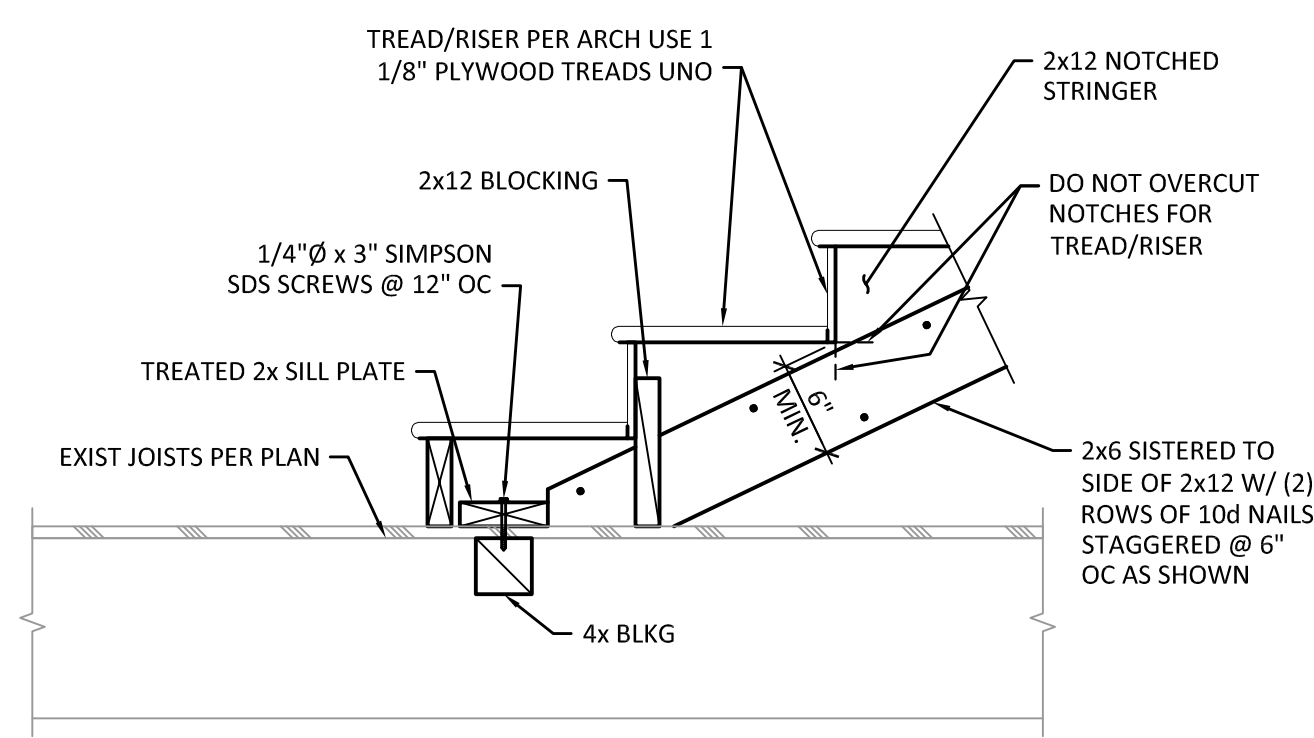
2 TYPICAL STUD WALL FRAMING DETAIL
 SCALE: 1" = 1'-0"



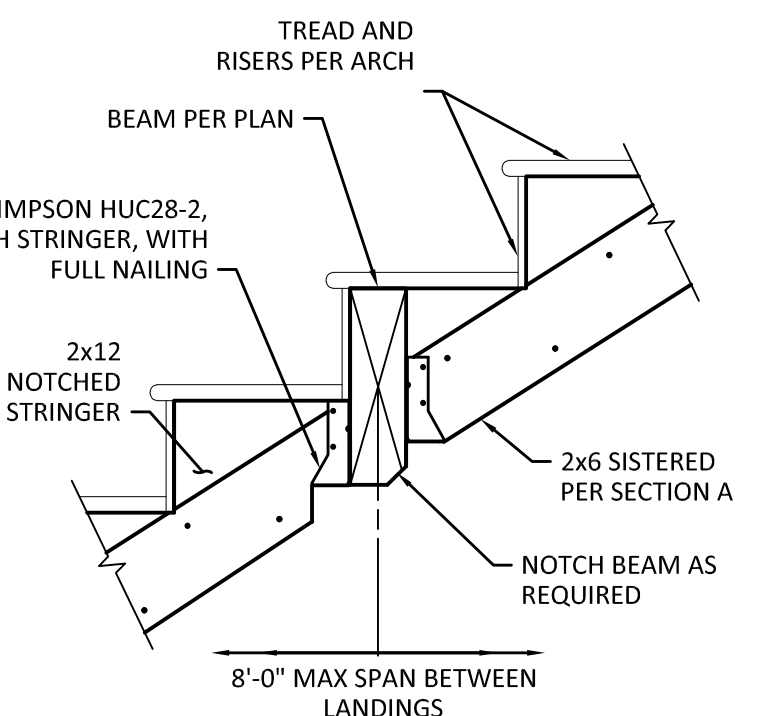
3 TYPICAL STRAP HOLDOWN DETAIL
 SCALE: 1" = 1'-0"



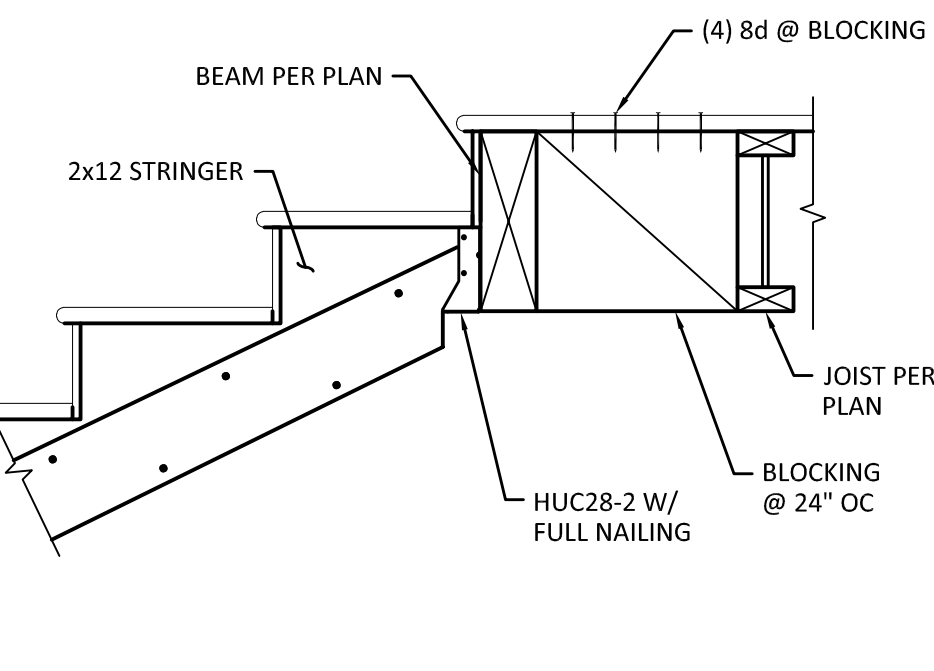
4 TYPICAL STRAP HOLDOWN TO WOOD BEAM
 SCALE: 1" = 1'-0"



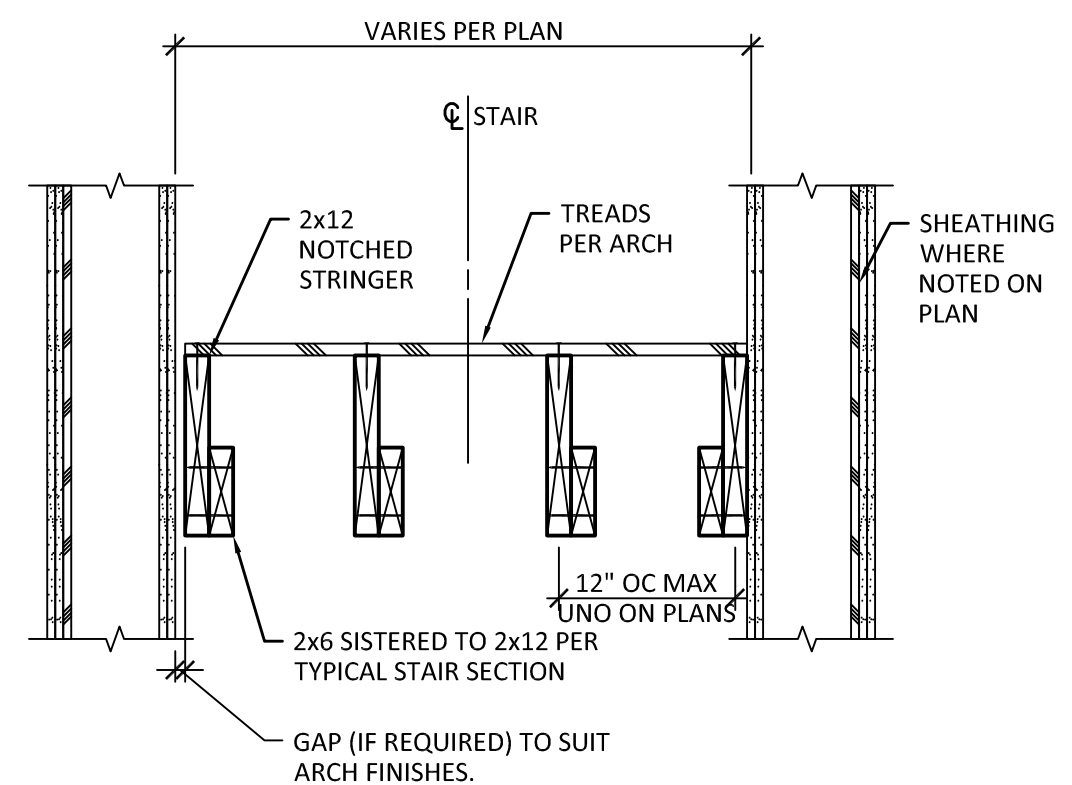
5A TYPICAL STRINGER TO LOWER LANDING



5B TYPICAL STRINGER TO CENTER BEAM

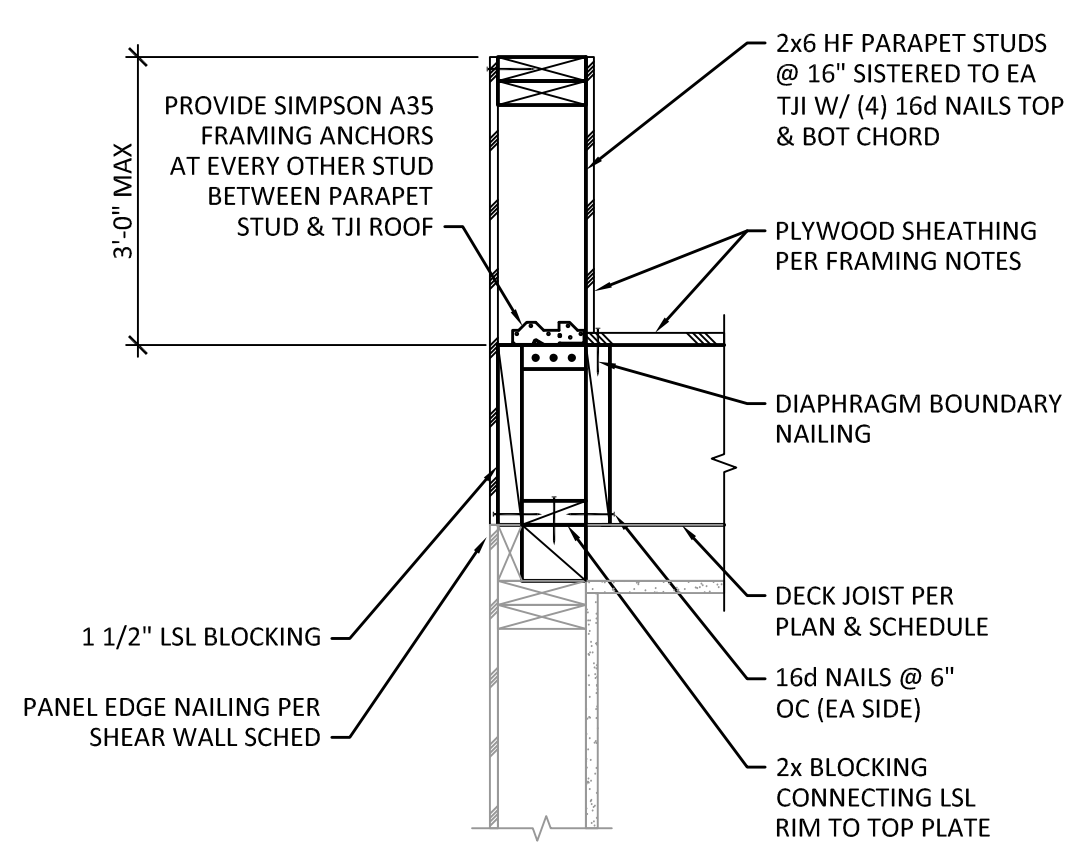


5C TYPICAL STRINGER TO UPPER LANDING

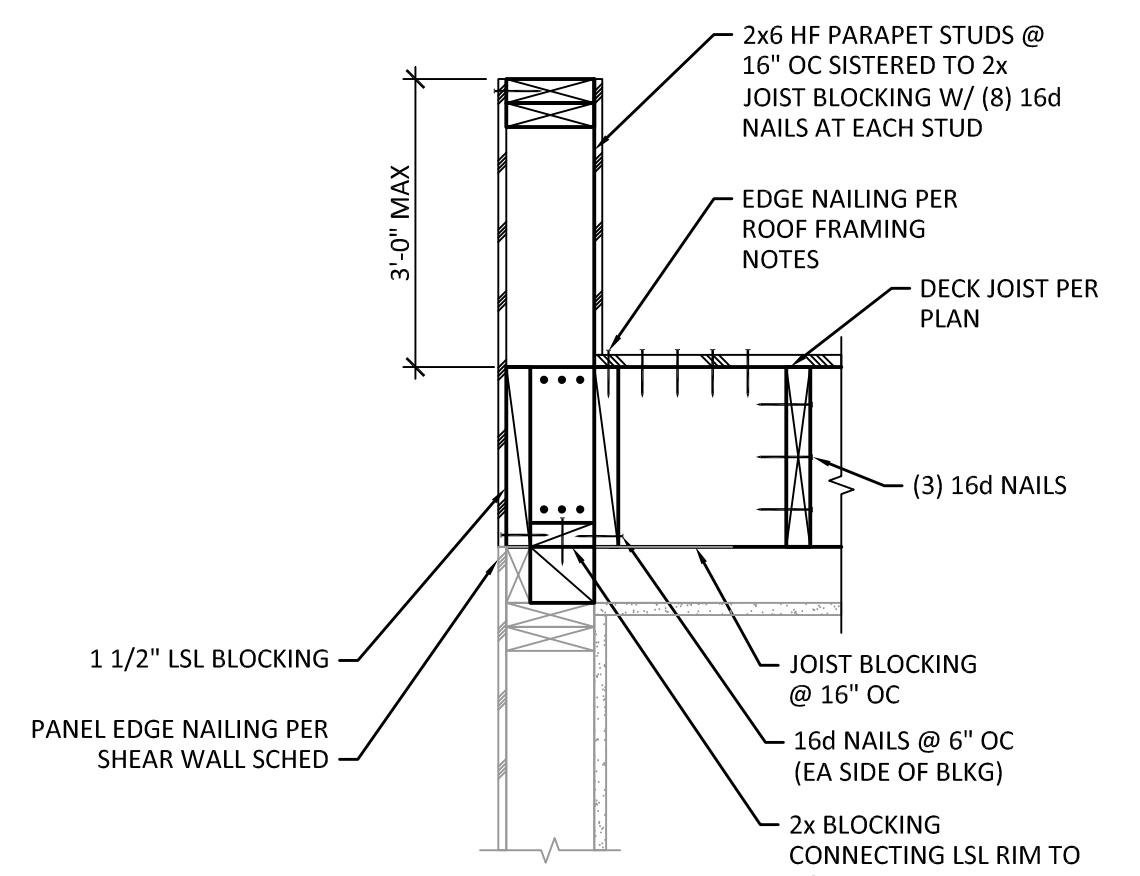


6 TYPICAL STAIR SECTION
 SCALE: 1" = 1'-0"

5 TYPICAL STAIR SECTIONS
 SCALE: 1" = 1'-0"



7 FLAT ROOF SECTION W/ PARAPET
 SCALE: 1" = 1'-0"



8 FLAT ROOF SECTION W/ PARAPET
 SCALE: 1" = 1'-0"

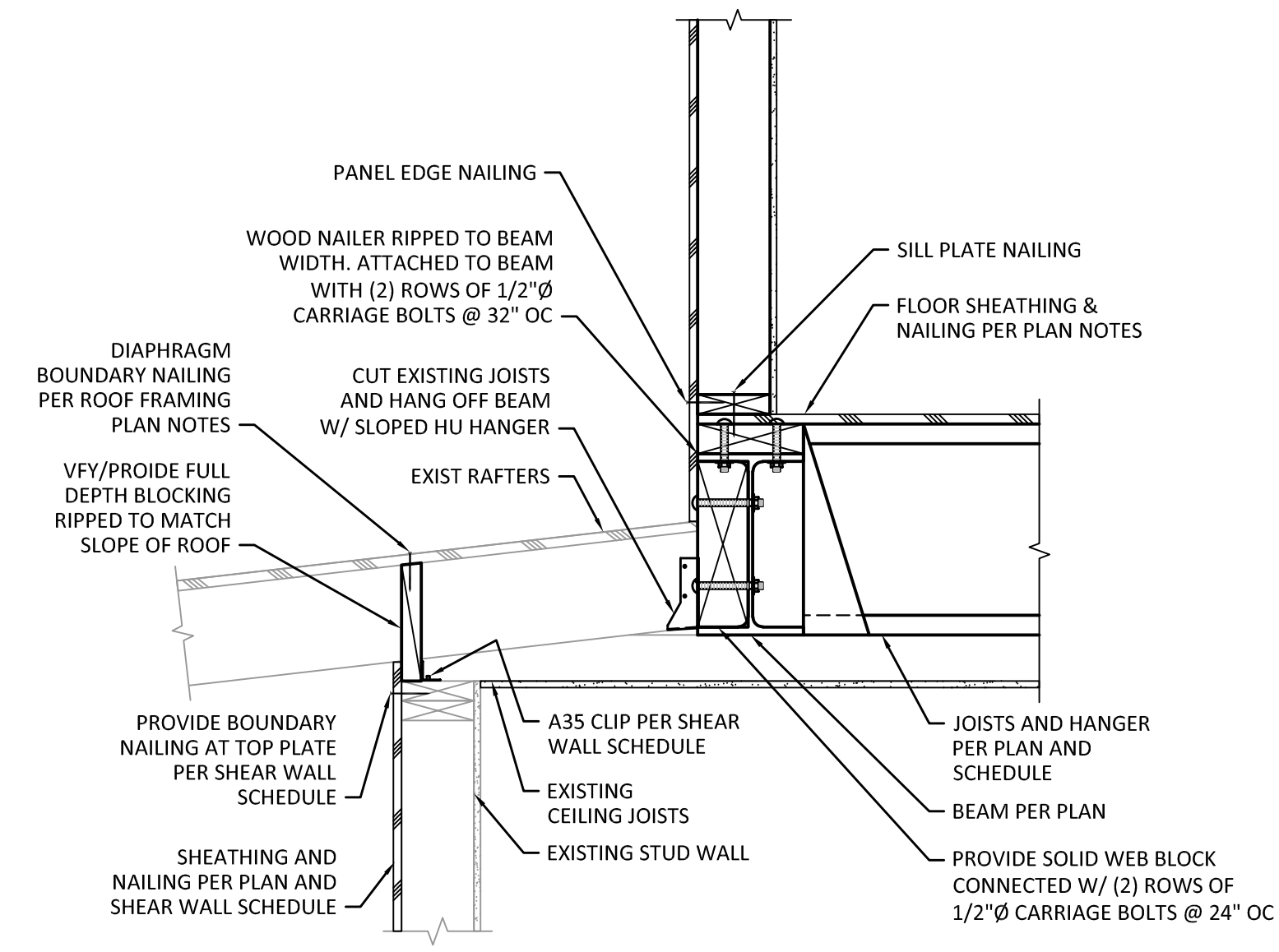
MARK	DATE	DESCRIPTION
	09/01/22	PERMIT SUBMITTAL
	02/07/23	COMMENT RESPONSE

DESIGN:	DTR
DRAWN:	JOS
CHECK:	JDM
JOB NO:	22139.10
DATE:	09/01/22

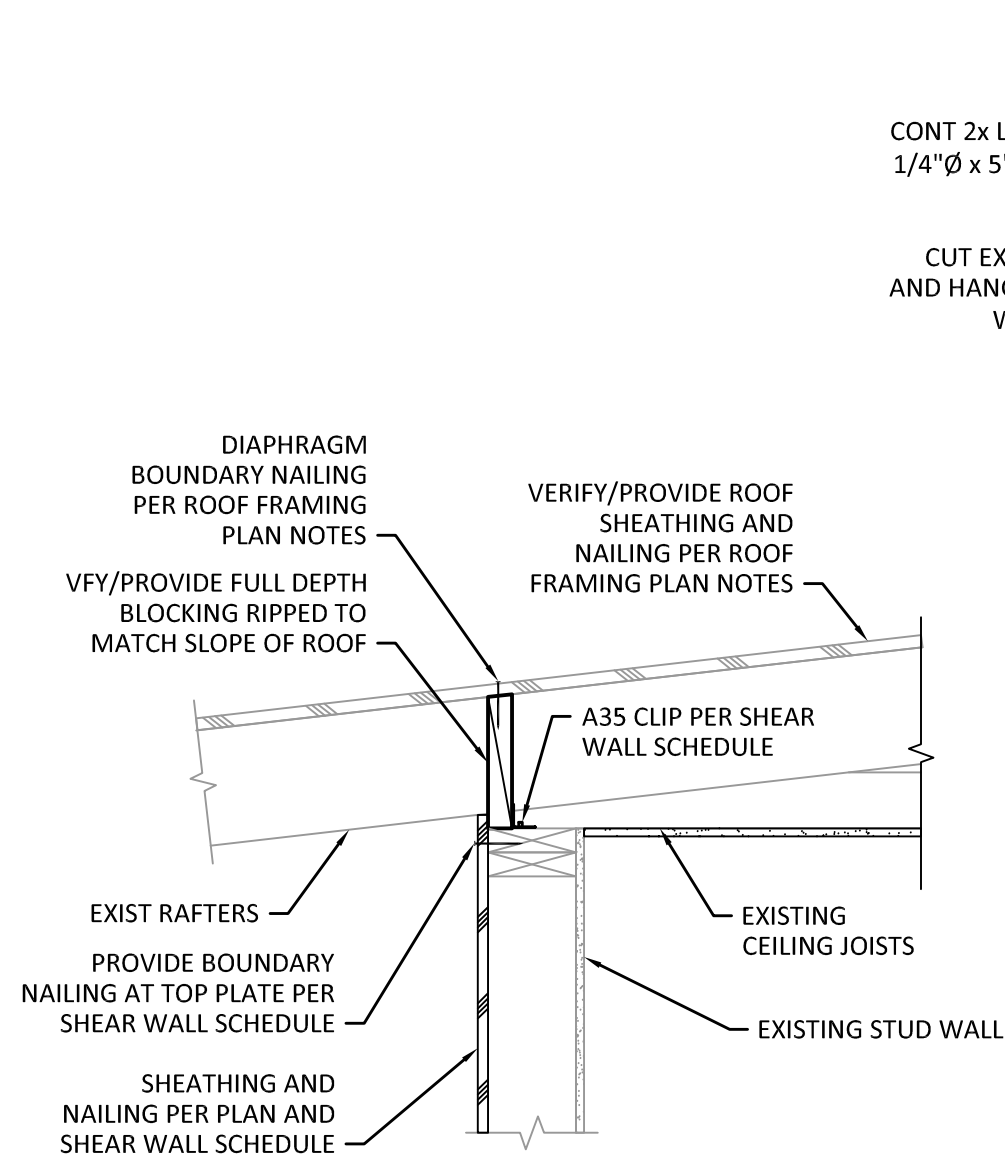
MONAHAN RESIDENCE
 2424 67TH AVE SE
 MERCER ISLAND, WA 98040

WOOD FRAMING DETAILS

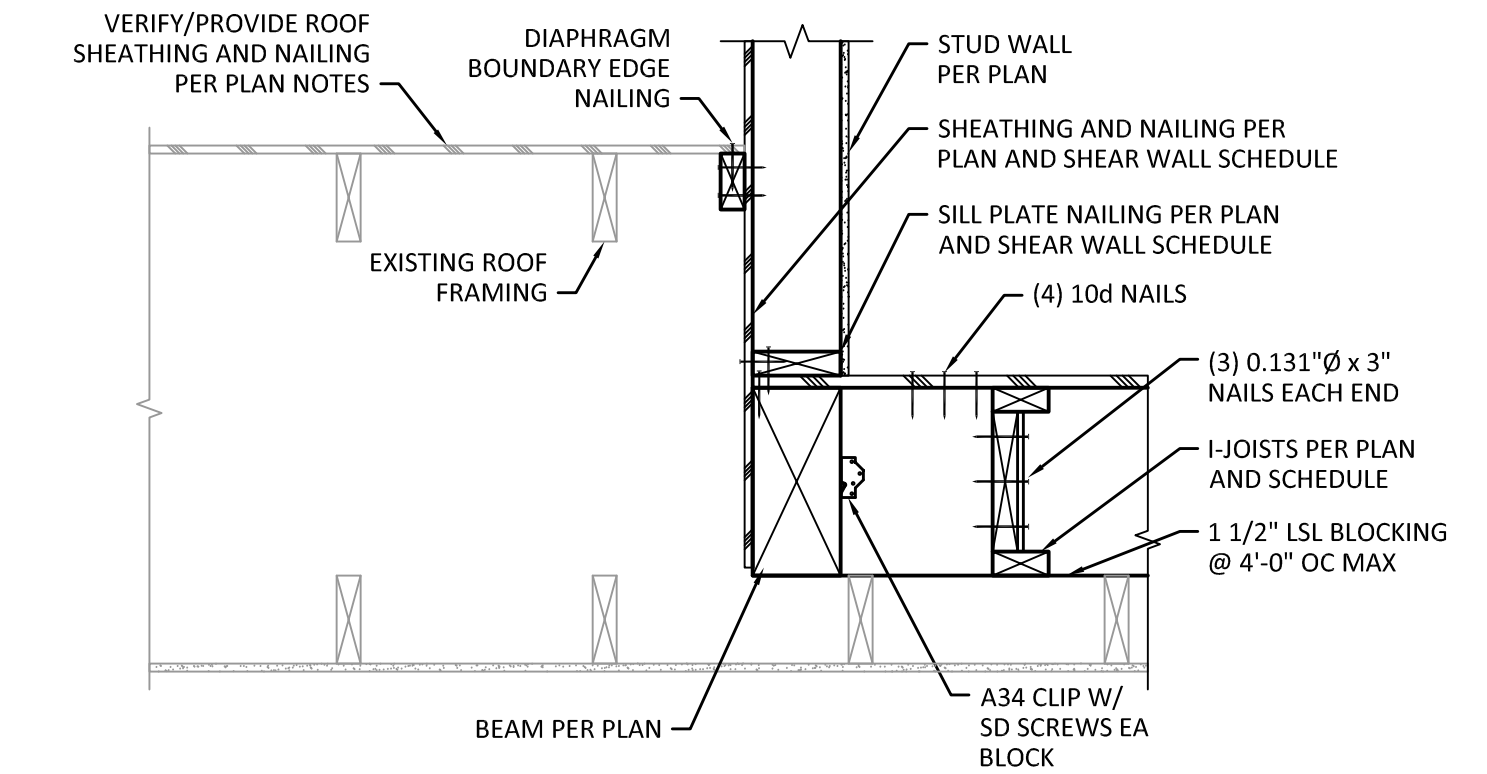
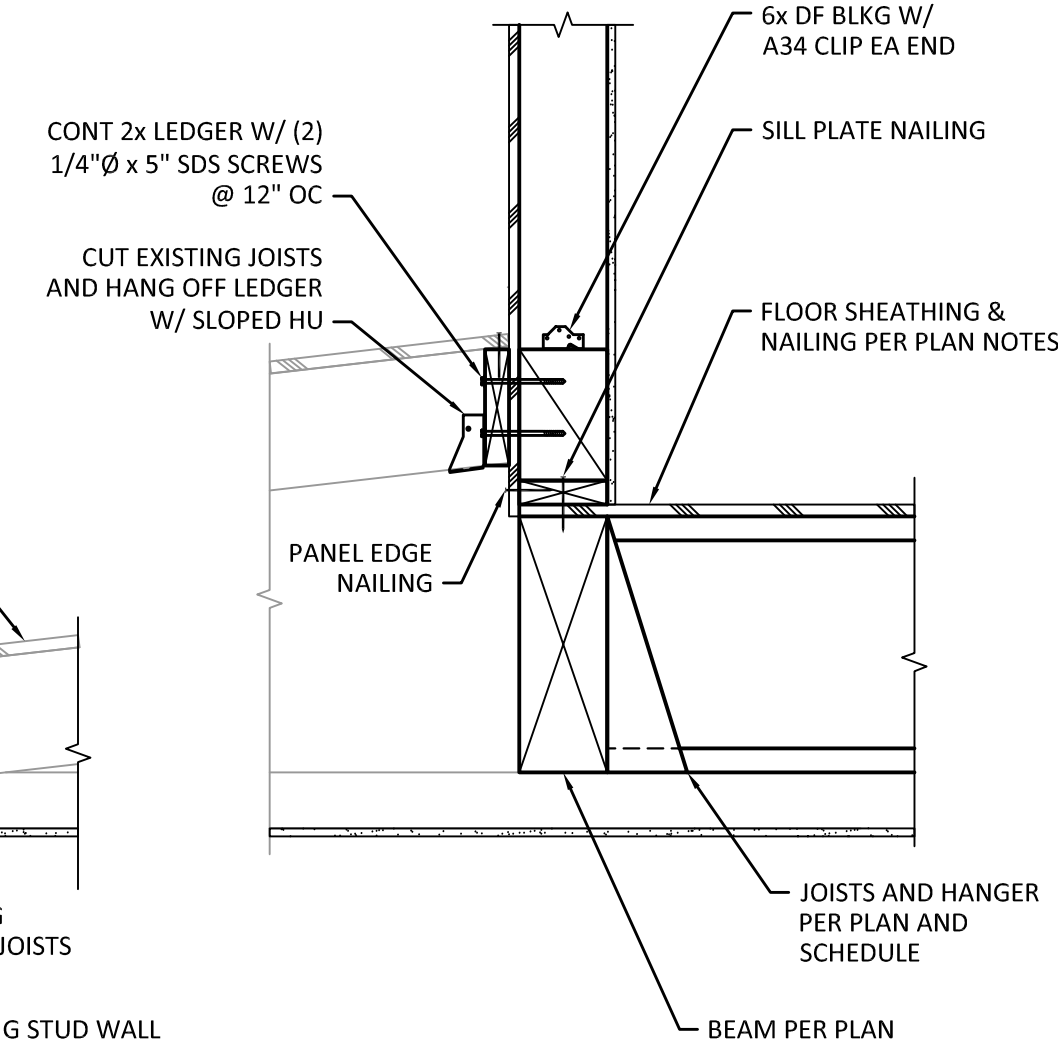
SHEET:
S5.2



1 SECTION AT LOW ROOF TRUSS
 SCALE: 1" = 1'-0"



2 SECTION AT LOW ROOF TRUSS
 SCALE: 1" = 1'-0"



3 TYPICAL STUD WALL FRAMING DETAIL
 SCALE: 1" = 1'-0"



02/01/23

MARK	DATE	DESCRIPTION
	09/01/22	PERMIT SUBMITTAL
	02/07/23	COMMENT RESPONSE

DESIGN: DTR
 DRAWN: JOS
 CHECK: JDM
 JOB NO: 22139.10
 DATE: 09/01/22

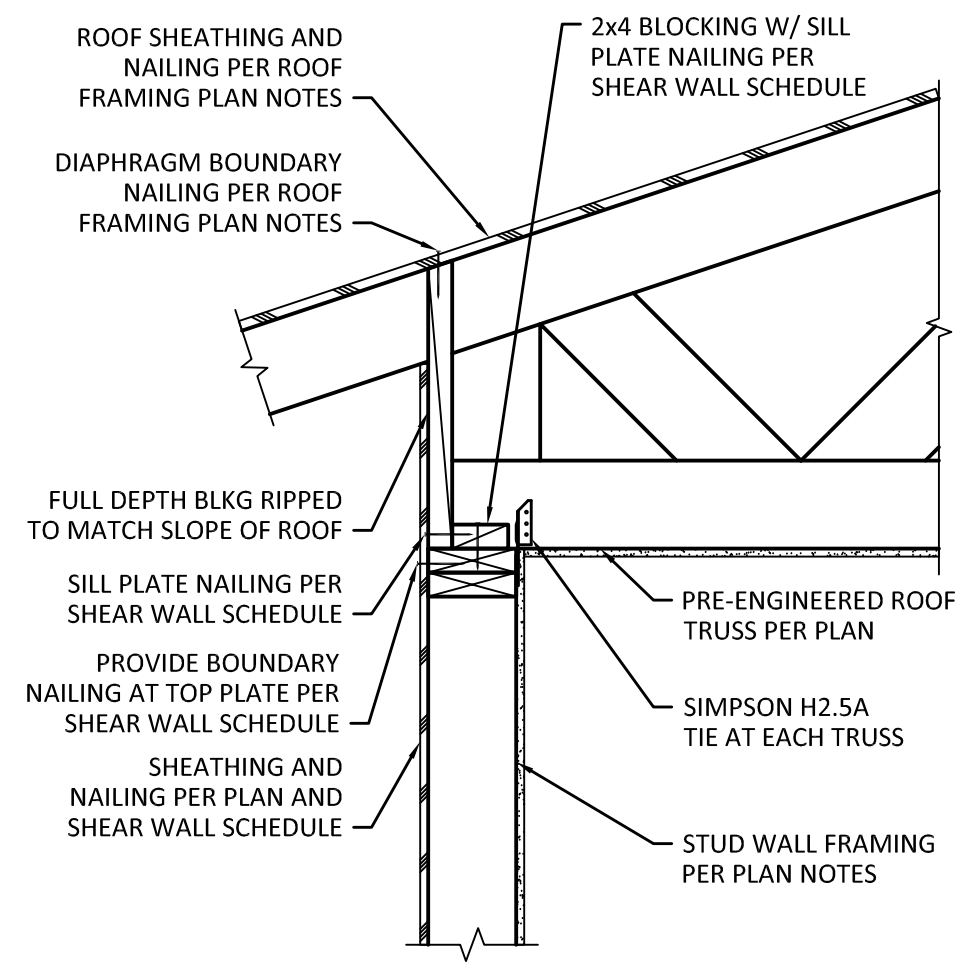
MONAHAN RESIDENCE
 2424 67TH AVE SE
 MERCER ISLAND, WA 98040

WOOD FRAMING DETAILS

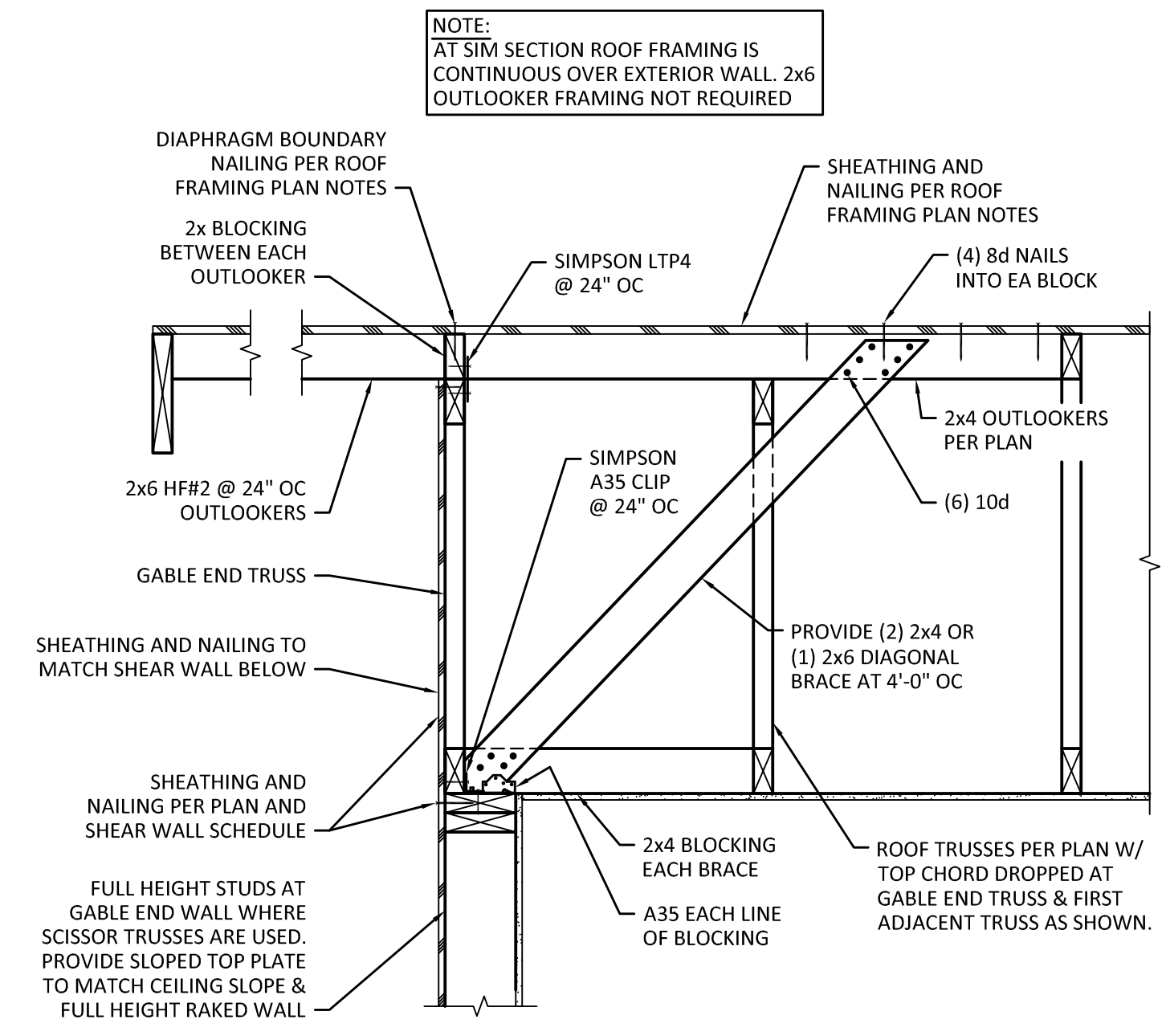
FILE NAME:



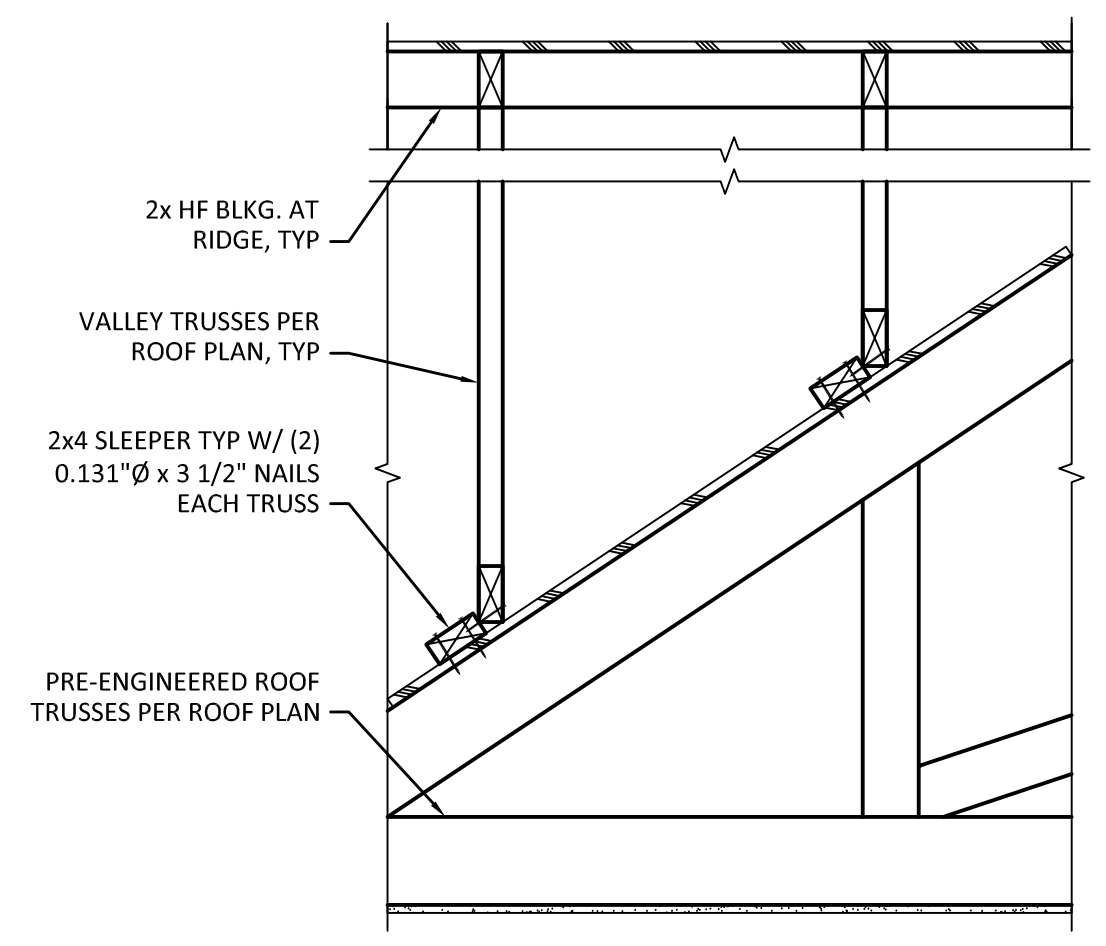
02/01/23



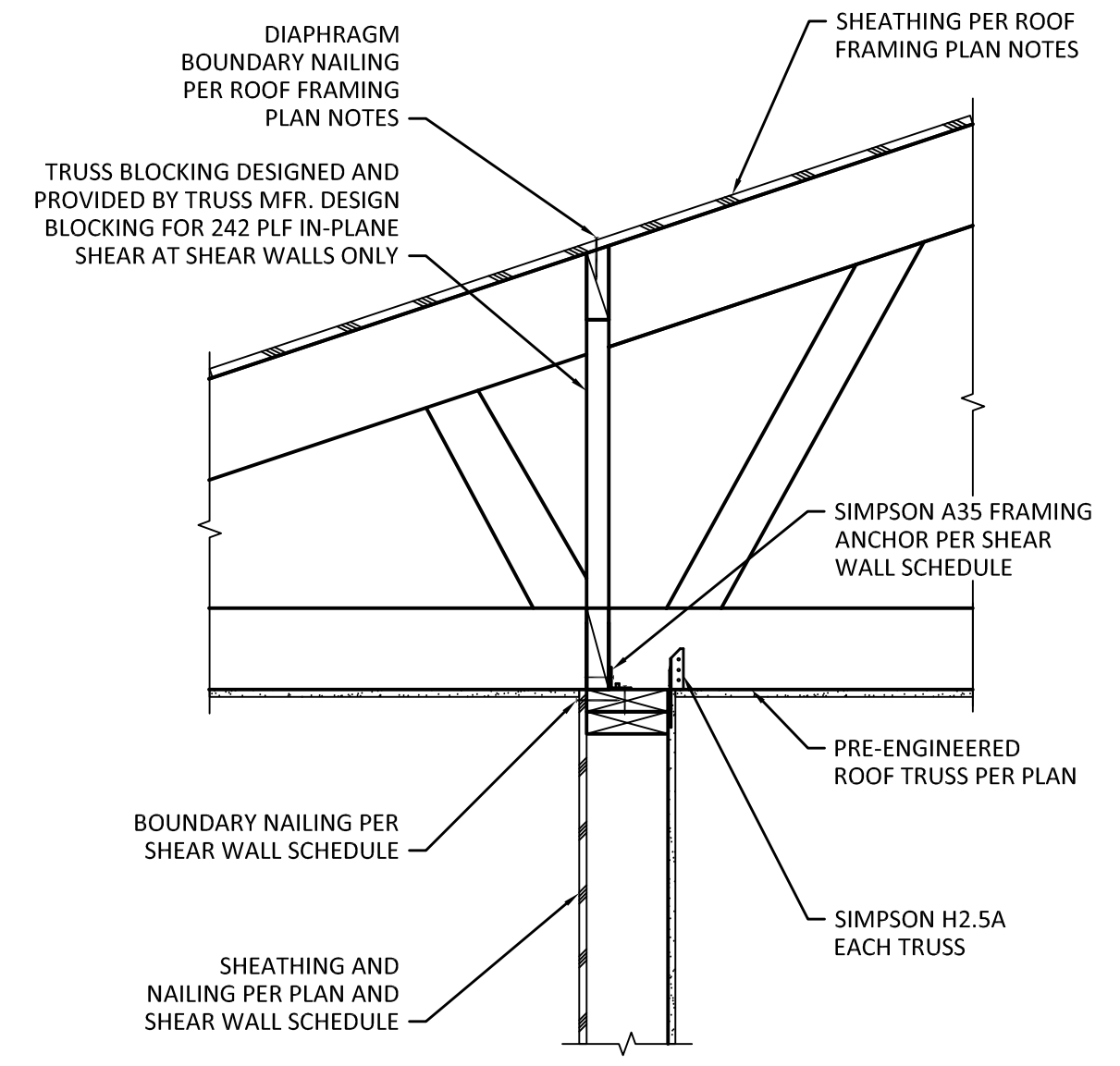
1 TYPICAL TRUSS SUPPORT DETAIL
 SCALE: 1" = 1'-0"



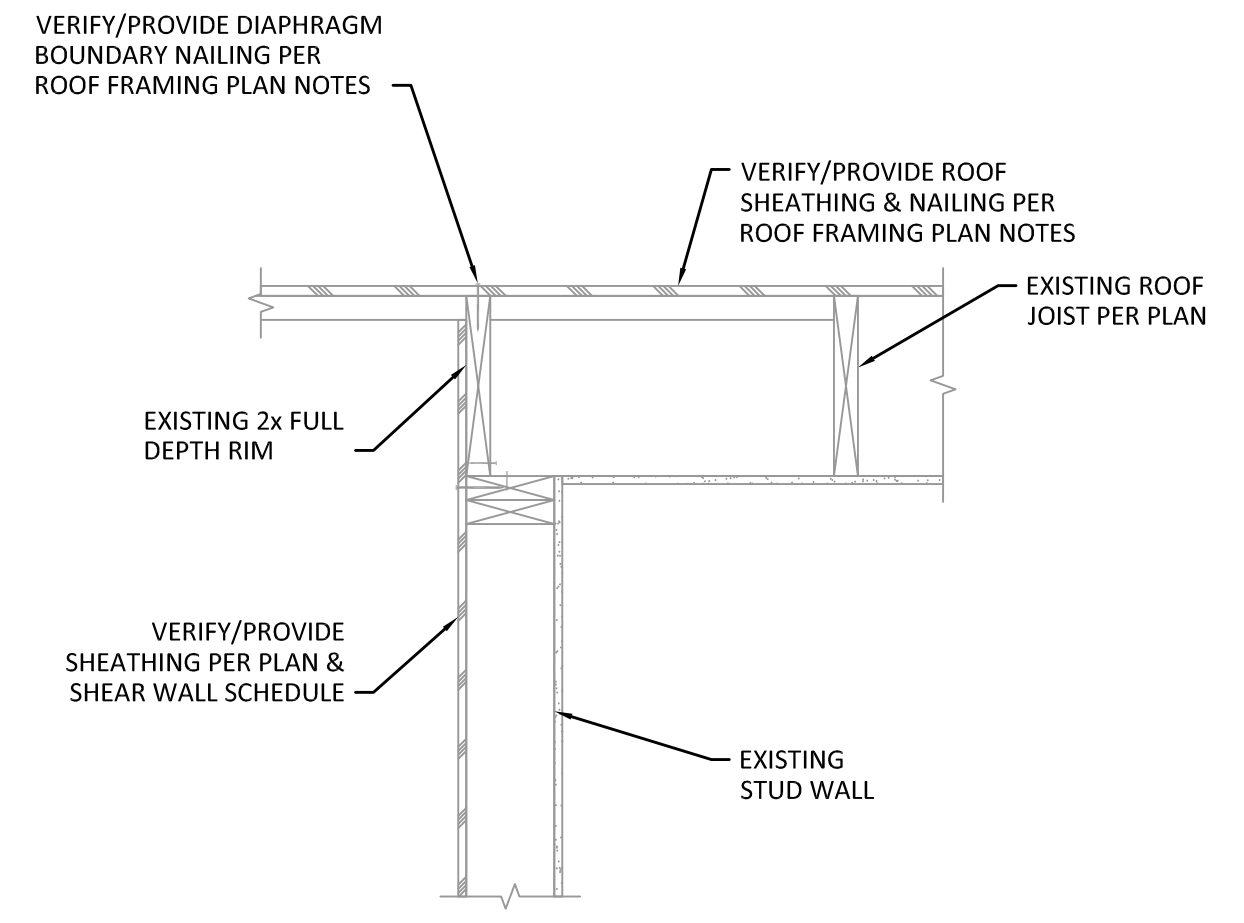
2 TYPICAL GABLE END SECTION
 SCALE: 1" = 1'-0"



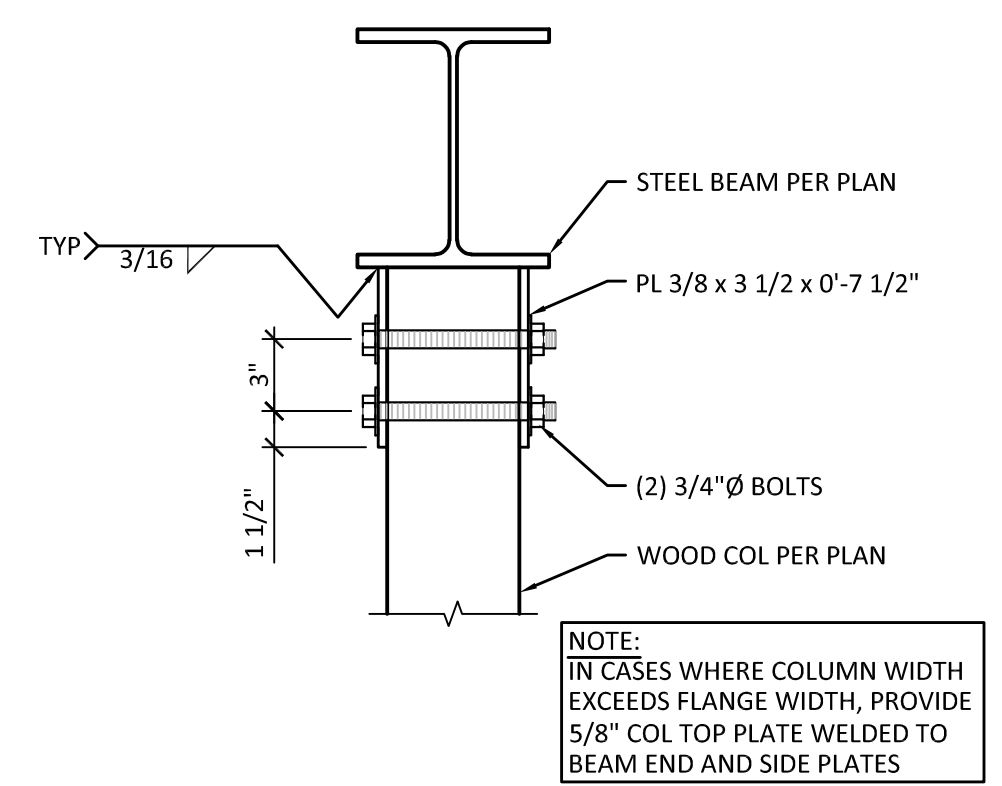
3 TYPICAL OVERFRAMING DETAIL
 SCALE: 1" = 1'-0"



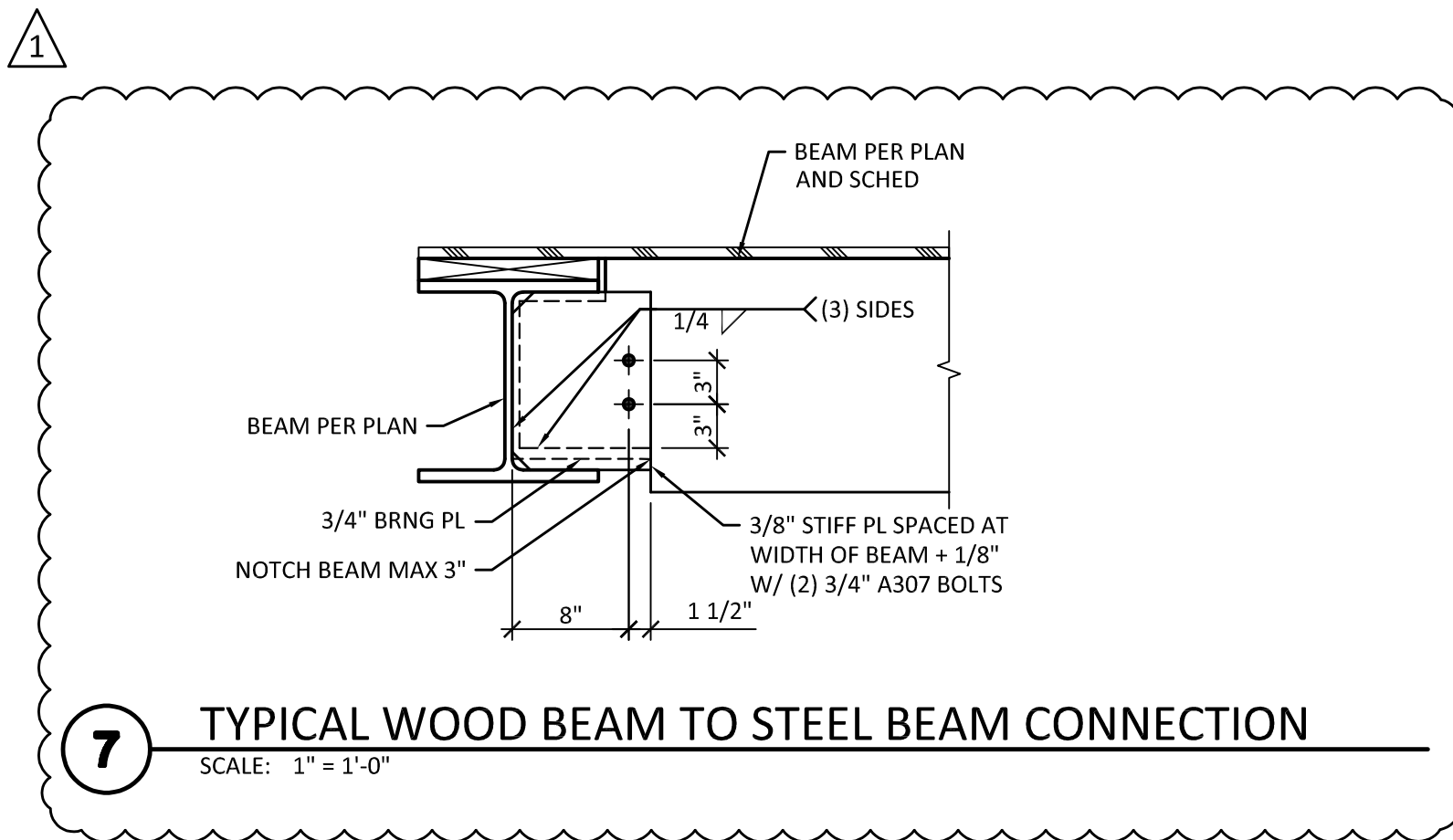
4 TYPICAL TRUSS BLOCKING DETAIL
 SCALE: 1" = 1'-0"



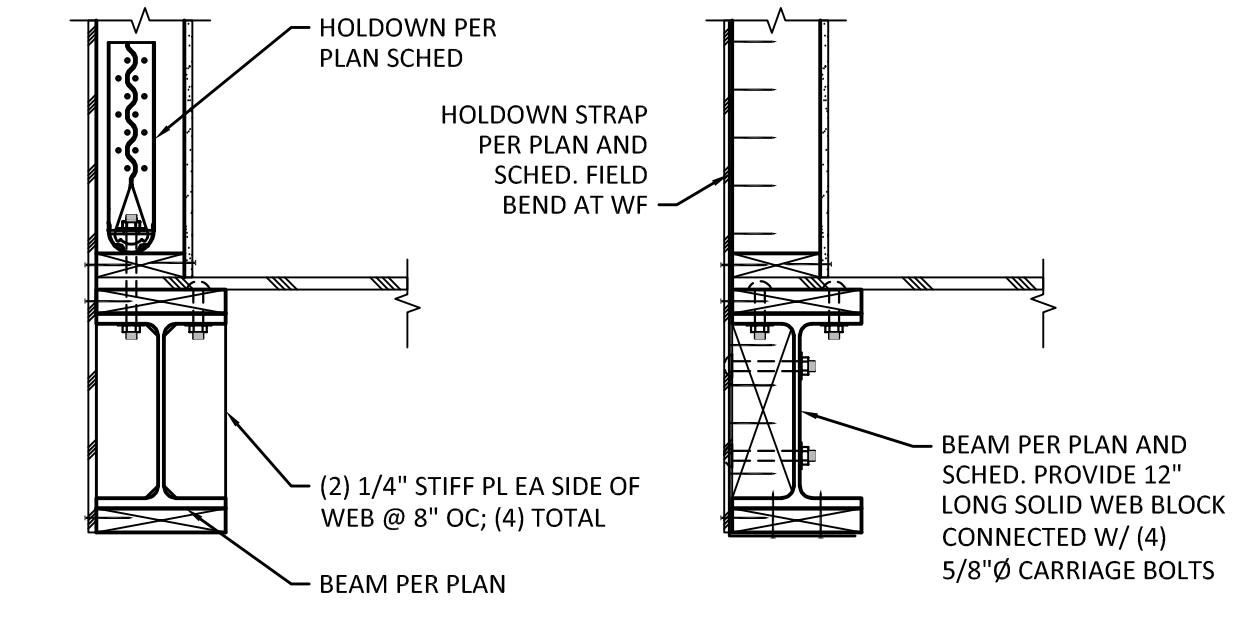
5 ROOF RAFTER CONNECTION (NON-BEARING)
 SCALE: 1" = 1'-0"



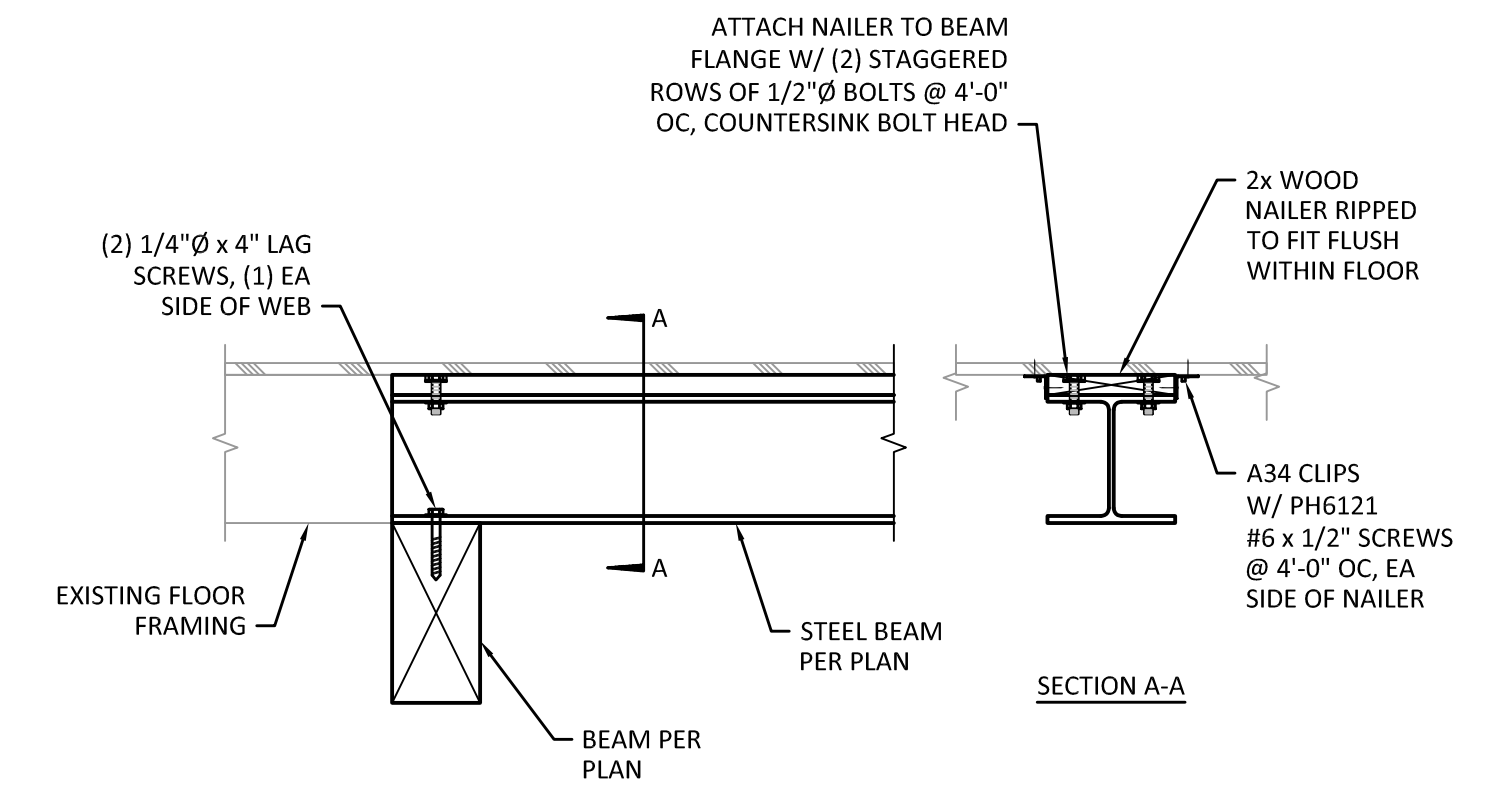
6 SECTION
 SCALE: 1 1/2" = 1'-0"



7 TYPICAL WOOD BEAM TO STEEL BEAM CONNECTION
 SCALE: 1" = 1'-0"



8 TYPICAL HOLDOWN TO STEEL BEAM
 SCALE: 1" = 1'-0"



9 SECTION
 SCALE: 1" = 1'-0"

MARK	DATE	DESCRIPTION
	09/01/22	PERMIT SUBMITTAL
	02/07/23	COMMENT RESPONSE

DESIGN:	DTR
DRAWN:	JOS
CHECK:	JDM
JOB NO:	22139.10
DATE:	09/01/22

MONAHAN RESIDENCE
 2424 67TH AVE SE
 MERCER ISLAND, WA 98040

ROOF FRAMING AND STEEL DETAILS