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1. CODES/REGULATIONS: -CONSTRUCTION TO CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC), WASHINGTON STATE LAWS AND REGULATIONS, CURRENT WASHINGTON STATE RESIDENTIAL ENERGY CODE AND VARIOUS CODES IMPOSED BY LOCAL AUTHORITIES.

-A SEPARATE PERMIT MAY BE REQUIRED FOR PLUMBING, ELECTRICAL, AND/OR MECHANICAL WORK AS APPLICABLE. -A COPY OF THE APPROVED PERMIT PLANS MUST BE ON THE JOB SITE DURING CONSTRUCTION.

2. CONTRACTOR'S RESPONSIBILITY: PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBER SIZES.

-DO NOT SCALE CONTRACT DOCUMENTS. -IF ANY DISCREPANCIES IN THE DRAWINGS OR FROM THE CODES ARE NOTED, ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.

-ALL CHANGES MADE BY THE CONTRACTOR SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. -THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, SAFETY PRECAUTIONS. ACTS OR OMISSIONS OR PERFORMANCE OF THE CONTRACTOR.

-CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE AND WEATHERPROOFING OF THE ENTIRE BUILDING. ITS COMPONENT EQUIPMENT. AND PARTS. -ALL STRUCTURAL SYSTEMS SUCH AS WOOD TRUSSES WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE, AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLER. -ALL WORK MUST FOLLOW CURRENT RRP RULES AND REQUIREMENTS AS DEFINED BY THE EPA AND THE STATE OF WASHINGTON.

-ALL WASTE AND REFUSE CAUSED IN CONNECTION WITH THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT CLEAR AND CLEAN TO THE SATISFACTION OF THE OWNER. -CONTRACTOR SHALL DESIGN AND INSTALL SHORING AS REQUIRED TO PERFORM WORK. ENGINEERING, CONSTRUCTION AND SAFETY OF THE SHORING SHALL BE THE RESPONSIBILITY

OF THE CONTRACTOR. -FOR ALL NEW CONSTRUCTION OR ADDITIONS DESIGNED WITHIN 1'-0" OF THE HEIGHT LIMIT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE SURVEYOR TO VERIFY THE ELEVATION OF THE STRUCTURE AS IT IS BEING BUILT TO VERIFY ANY ELEVATION DISCRPANCIES THROUGHOUT CONSTRUCTION. ELEVATIONS SHOULD BE VERIFIED FOR EACH FLOOR LEVEL PRIOR TO PROCEEDING WITH THE NEXT FLOOR OF FRAMING: TOP OF FOUNDATION, TOP OF SUBFLOOR, TOP PLATE AND RIDGE ELEVATIONS SHOULD BE VERIFIED DURING CONSTRUCTION. CONSULT ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION.

FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 2,000 PSF OR PER GEOTECHNICAL REPORT. ALL FOOTINGS SHALL BE CAST ON UNDISTURBED FIRM NATURAL SOIL OR COMPACTED SOIL OF 2,000 PSF BEARING CAPACITY AT LEAST 1-6" BELOW LOWEST ADJACENT GRADE, AND FREE OF ORGANIC MATERIALS. FOOTING EXCAVATION SHALL BE FREE OF LOOSE SOILS, DEBRIS, AND FREE WATER AT ALL TIMES. THIS OFFICE TAKES NO RESPONSIBILITY IN VERIFYING THE ACCURACY OF ENGINEERING DATA SUPPLIED BY OTHERS.

4. ATTIC REQUIREMENTS: -APPLY ROOFING IN ACCORDANCE WITH IRC CHAPTER 9. PROVIDE ATTIC VENTILATION AS INDICATED ON DRAWINGS AND AS OUTLINED IN IRC SEC R806.

-THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300 PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATION LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OF CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. (IRC SEC R806). -ATTIC ACCESS: MINIMUM 22" x 30" WITH MINIMUM 30" HEADROOM, UNOBSTRUCTED, READILY ACCESSIBLE OPENING. IRC SEC R807. ACCESS DOORS SHALL BE WEATHERSTRIPPED

AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. -IN ROOMS NOT PROVIDED WITH AN OPERABLE WINDOW OF 1.5 SQ. FT. OR GREATER, A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR SHALL BE

-VENT DRYER, BATH FANS, AND RANGES/OVENS TO THE OUTSIDE.

5. <u>VENTILATION:</u>

VENT FANS SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING PER IRC SECTION M1502.3 AND IMC SECTION 501.3. -INSULATE ALL DUCTS OUTSIDE OF CONDITIONED SPACE PER WA STATE ENERGY CODE.

-KITCHEN RANGE HOODS: RANGE HOODS CAPABLE OF EXHAUSTING MORE THAN 400 CFM REQUIRE MAKE-UP AIR PER IRC M1503.6.

6. GLAZING: O BE IN COMPLIANCE WITH IRC SEC R308 AND WASHINGTON STATE SAFETY GLASS LAW, EXCEPTIONS ARE AS OUTLINED IN IRC SEC R308.

-GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SUCH AS GLASS IN DOORS, GLAZING WITHIN 24" ON EITHER SIDE OF A DOOR OPENING, GLAZING CLOSER THAN 18" TO A FLOOR, SHOWER DOORS AND TUB ENCLOSURES SHALL BE WIRE REINFORCED, TEMPERED GLASS, LAMINATED SAFETY GLASS OR SHATTER RESISTANT PLASTIC. -SLIDING GLASS DOORS TO BE SAFETY GLAZING, LAMINATED OR TEMPERED GLASS.

-SHOWER ENCLOSURES SHALL BE APPROVED WIRE REINFORCED, TEMPERED OR LAMINATED SAFETY GLASS OR SHATTER RESISTANT PLASTIC. -GLAZING WITHIN 18" OF FLOOR AND GREATER THAN 18" IN LEAST DIMENSION SHALL COMPLY WITH IMPACT LOADS. SEE PLANS.

-ALL EXTERIOR WALL GLAZING SHALL BE DOUBLE GLAZED, UNLESS NOTED OTHERWISE, AND COMPLY WITH STATE OF WASHINGTON ENERGY CODE. -EGRESS IN EVERY SLEEPING ROOM SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24", MINIMUM NET CLEAR OPENING WIDTH OF 20" AND A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. IRC SEC R310.

SPHERE PER IRC 312.1.

-ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO IRC REQUIREMENTS AND THE WASHINGTON STATE ENERGY CODE, LATEST EDITION. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.

-APPLICATION AND INSTALLATIONS OF INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION STANDARDS. -BUILDING AIR LEAKAGE TESTING, PER SEC 402.4, IS REQUIRED PRIOR TO FINAL INSPECTION. THE TEST RESULTS SHALL BE POSTED ON THE RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE.

-EACH DWELLING UNIT IS TO HAVE ONE PROGRAMMABLE THERMOSTAT FOR REGULATION OF TEMPERATURE PER SEC 403.1. -A SIGNED AFFADAVIT DOCUMENTING THE DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO AN APPROVED FINAL INSPECTION.

-DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION.

-MINIMUM 90% OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS PER SEC 404.1. -WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL ALLOW FOR, AT A

MINIMUM, A 5-2 PROGRAMMABLE SCHEDULE (WEEKDAYS/WEEKENDS) AND BE CAPABLE OF PROVIDING AT LEAST TWO PROGRAMMABLE SETBACKS PER DAY. 8. <u>STAIRS:</u> -MINIMUM HEADROOM 6'-8": MINIMUM TREAD 10": MAXIMUM RISER 7 3/4"

-HANDRAIL: REQUIRED AT ALL STAIRS WITH MORE THAN 4 RISERS PER IRC 311.7.8. MINIMUM 34" AND MAXIMUM 38" ABOVE TREAD NOSING. OPEN SIDES OF STAIRS MORE THAN 30" ABOVE ADJACENT FLOOR SHALL HAVE HANDRAILS AND GUARDRAILS. HANDRAIL TO BE 11/4"-2" CROSS SECTIONAL DIMENSION AND 11/2" AWAY FROM WALL. -GUARDRAÍL: SHALL BE MÍN 36" IN HEIGHT WHERE ADJACENT SURFACE OR GRADE IS 30" OR MORE BELOW. RAILINGS SHALL BE SPACED TO NOT ALLOW THE PASSAGE OF A 4-3/8"

-INSTALL FIRE BLOCKING AT MID-STRINGER SPAN AND AT WALL ALIGN STRINGER. -COVER WALLS AND SOFFITS OF USABLE SPACE UNDER STAIR WITH 5/8" TYPE "X" GYPSUM WALLBOARD.

**INSULATION:** NSULATION TO MEET THE CURRENT WASHINGTON STATE ENERGY CODE REQTS FOR TABLE R402.1.1, TABLE R402.1.3 AND SECTION R402. REFER TO PRESCRIPTIVE TABLE ON SHEET

-EXISTING WALL AND FLOOR CAVITIES EXPOSED DURING CONSTRUCTION FOUND UNINSULATED, OR WITH DAMAGED INSULATION (DISCOLORED, WET, DAMAGED, OR DETERIORATED) SHALL BE FILLED WITH R-15 INSULATION AT 2X4 FRAMING AND WITH R-21 INSULATION AT 2X6 FRAMING. REF SEC R503.1.1-EXCEPTION 2.. -WALLS TO BE INSULATED WITH MINIMUM R-21 INSULATION. BELOW GRADE WALLS TO BE INSULATED WITH MINIMUM R-21 INSULATION, ALLOW FOR THERMAL BREAK BETWEEN FLOOR

SLAB AND BASEMENT WALL UNLESS NOTED OTHERWISE. -ROOF AND CEILING INSULATED WITH R-49 BLOWN-IN AT FLAT CEILINGS AND R-38 H.D. BATT AT VAULTED AREAS UNLESS NOTED OTHERWISE.

-ROOF: ALLOW FOR A MINIMUM 1" CLEAR BETWEEN TOP OF INSULATION AND BOTTOM OF SHEATHING FOR VENTING UNLESS NOTED OTHERWISE. -VENTING IS REQUIRED IN EACH JOIST SPACE. WHERE CONTINUOUS VENTING WITH A JOIST SPACE IS INTERRUPTED BY A HEADER (FOR EXAMPLE AT A SKYLIGHT OR HIP), PROVIDE (2) 11/2" VENTING HOLES AT THE TOP OF THE RAFTER AT THE HEADER TO ALLOW FOR CONTINUOUS THRU-VENTING INTO THE NEXT JOIST SPACE UNLESS NOTED OTHERWISE. -FLOORS: INSULATED WITH R-30 BATT INSULATION OVER UNHEATED SPACE UNLESS NOTED OTHERWISE.

-SLAB-ON-GRADE: PROVIDE EXTRUDED RIGID CLOSED CELL R-10 INSULATION. INSULATION TO PROVIDE THERMAL BREAK BETWEEN SLAB AND FOOTING AND RUN FROM THE TOP OF THE SLAB TO THE BOTTOM OF THE FOOTING. INSULATION MAY BE INTERRUPTED FOR 6" EVERY 2'-O" TO ALLOW FOR DOWELING TO TIE SLAB AND FOOTING TOGETHER. UNLESS NOTED OTHERWISE.

10. GARAGE SEPARATION -REQUIRES 1/2" GWB ON THE GARAGE SIDE. 5/8" TYPE 'X' GWB WHERE THERE IS LIVING SPACE ABOVE. SUPPORTING COLUMNS, WALLS AND BEAMS USE 1/2" GWB PER IRC R302.6 -OPENINGS INTO A GARAGE: OPENINGS INTO A GARAGE SHALL HAVE A SOLID WOOD OR HONEYCOMB-CORE STEEL DOOR NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE RATING.

DOORS SHALL BE EQUIPPED WITH A SELF-CLOSING DEVICE PER IRC R302.5.1.

11. VAPOR BARRIERS: AN APPROVED VAPOR BARRIER SHALL BE INSTALLED AT EXTERIOR WALLS AND AT ALL ROOF DECKS, BELOW ENCLOSED JOIST SPACES WHERE CEILING FINISHES ARE DIRECTLY INSTALLED TO JOISTS, AND ANY OTHER WALL OR CEILING SURFACES WHICH RECEIVE INSULATION. THIS VAPOR BARRIER MAY BE A COMPONENT OF THE INSULATION MATERIAL.

APPLICATION AND INSTALLATIONS OF INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION STANDARDS. 12. FIRE SAFETY:

-SMOKE ALARMS/DETECTORS (S.D.): SMOKE ALARMS/DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS, IN THE AREA OUTSIDE THE SLEEPING ROOM AND IN OTHER LOCATIONS PER IRC R314. POWER SOURCE AND INTERCONNECTION PER IRC. -CARBON MONOXIDE DETECTORS (C.M.D.): SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM INSTALLED OUTSIDE OF EACH SLEEPING AREA IN DWELLING UNITS AND IN EACH LEVEL

BE INSTALLED IN ACCORDANCE WITH THIS CODE, NFPA 720-2012 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. -CARBON MONOXIDE DETECTION SYSTEMS PER IRC 315.2 THAT INCLUDE CARBON MONOXIDE DETECTORS AND AUDIBLE NOTIFICATION APPLIANCES, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THIS SECTION FOR CARBON MONOXIDE ALARMS AND NFPA 720-2012, SHALL BE PERMITTED. THE CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH UL 2075. WHERE A HOUSEHOLD CARBON MONOXIDE DETECTION SYSTEM IS INSTALLED, IT SHALL BECOME A PERMANENT FIXTURE OF THE OCCUPANCY.

IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS PER IRC315. SINGLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL2034 AND SHALL

-INSTALL A MONITORED NFPA 72 "CHAPTER 29" FIRE ALARM SYSTEM THROUGHOUT ENTIRE RESIDENCE PER COMI STANDARDS. A SEPARATE FIRE PERMIT IS REQUIRED.

13. CERTIFICATE & TESTING

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- A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR WITHIN THREE FEET OF THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL, OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF WALLS, FOUNDATION (SLAB, BELOW-GRADE WALL, AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING. WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTRIFICATE SHALL LIST THE TYPES OF EFFICIENCIES OF HEATING, COOLING, AND SERVICE WATER HEATING

- THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

### 14. <u>LIGHTING EQUIPMENT</u>

- NOT LESS THAN 90 PERCENT OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS - FUEL GAS LIGHTING SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHTS

### PROJECT INFORMATION

CARLA AND JOHN MONAHAN PROJECT OWNER: 2424 67TH AVE SE MERCER ISLAND WA 98040

PROJECT ARCHITECT HEIDI HELGESON PROJECT DESIGNER: LISA MONTALVO/SARAH THOMPSON H2D ARCHITECTURE + DESIGN 23020 EDMONDS WAY, #113 EDMONDS, WA 98020

DENNIS TITUS, PE, SE STRUCTURAL ENGINEER: CG ENGINEERING 250 4TH AVE S. STE 200 EDMONDS, WA 98020

JOHNNY C CHEN PE GEOTECHNICAL ENGINEER: PANGEO INCORPORATED

3213 EASTLAKE AVE. E, STE. B SEATTLE, WA 98102 206.262.0370

PROJECT DESCRIPTION: 2ND STORY ADDITION of 793 S.F. WITH ASSOCIATED REMODEL TO EXISTING HOME INCLUDING STRUCTURAL UPGRADES NECESSARY FOR NEW ADDITION, NEW STAIR, AND NEW EXTERIOR DOOR NEAR KITCHEN TO EXISTING

SOUTHERN DECK; NEW PARTIALLY-COVERED ROOF DECK

TAX LOT NUMBER: 409950-1180

LAKE VIEW PLACE EAST SEATTLE 7-8 AND N 28.75 LEGAL DESCRIPTION: FT OF 9, BLOCK 9, LOT 7-8-9, NW 12-24-4

2424 67TH AVE SE

425.778.8500

### LAND USE CODE COMPLIANCE STATISTICS

REFER TO 02 SHEET

PROJECT ADDRESS:

### ENERGY CREDIT INFORMATION

ENERGY CREDIT FROM WASHINGTON STATE ENERGY CODE TABLE 406.3

SMALL DWELLING UNIT: 3 CREDITS DWELLING UNITS LESS THAN 1500 SF IN CONDITIONED FLOOR AREA WITH LESS THAN 300 SF OF FENESTRATION AREA ADDITIONS TO EXISTING BUILDINGS GREATER THAN 500SF OF HEATED FLOOR AREA BUT

LESS THAN 1500 SE FUEL NORMALIZATION CREDIT FROM WASHINGTON STATE ENERGY CODE TABLE R406.2

SYSTEM TYPE 2 = 1 CREDIT:

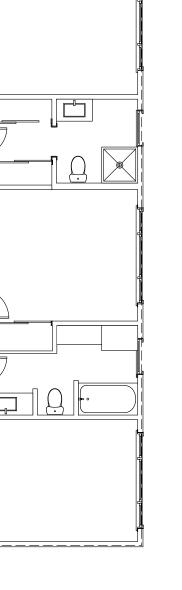
FOR AN INITIAL HEATING SYSTEM USING A HEAT PUMP THAT MEETS FEDERAL STANDARDS FOR THE EQUIPMENT LISTED IN TABLE C403.3.2(1) OR C403.3.2(2)

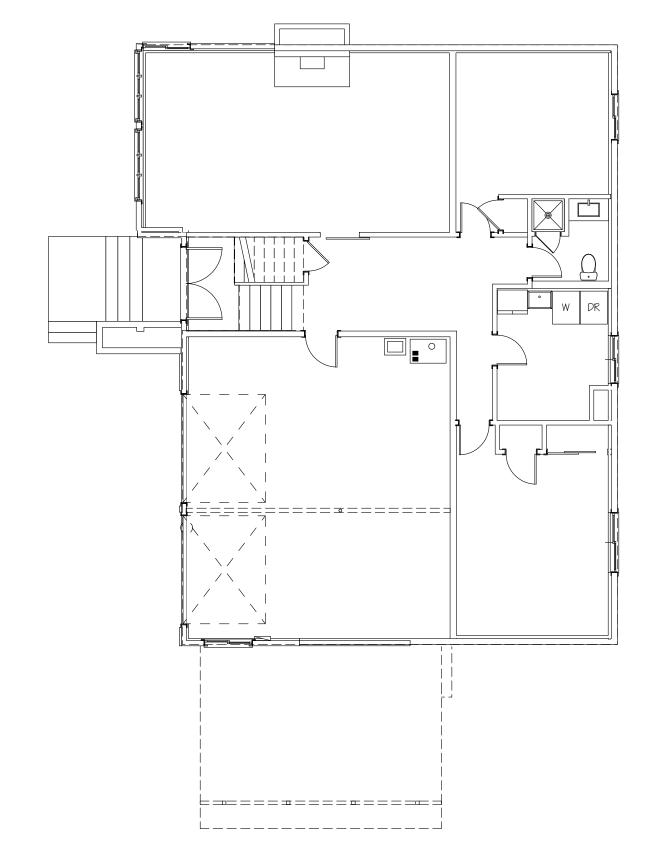
AIR TO WATER HEAT PUMP UNITS THAT ARE CONFIGURED TO PROVIDE BOTH HEATING AND COOLING AND ARE RATED IN ACCORDANCE WITH AHRI 550/590

3.6 HIGH EFFICIENCY HVAC EQUIPMENT = 2.0 CREDITS DUCTLESS SPLIT SYSTEM HEAT PUMPS WITH NO ELECTRIC RESISTANCE HEATING IN THE PRIMARY LIVING AREAS. A DUCTLESS HEAT PUMP SYSTEM WITH A MINIMUM HSPF OF 10 SHALL BE SIZED AND INSTALLED TO PROVIDE HEAT TO THE ENTIRE DWELLING UNIT AT THE DESIGN OUTDOOR AIR TEMPERATURE.

### SEASONAL DEVELOPMENT WAIVER

IF ANY LAND CLEARING, GRADING, FILLING OR FOUNDATION WORK WITHIN A LANDSLIDE HAZARD AREA IS PROPOSED TO OCCUR BETWEEN OCTOBER 1 AND APRIL 1, A SEASONAL DEVELOPMENT WAIVER SHALL BE APPLIED FOR AND APPROVED BY THE CODE OFFICIAL. 





LOCATION	R-VALUE	U-FACTOR
FENESTRATION U-FACTOR	N/A	0.30
SKYLIGHT U-FACTOR	N/A	0.50
GLAZED FENESTRATION SHGC	N/A	N/A
CEILING	49	0.026
WOOD FRAME WALL	21 INT	0.056
MASS WALL R-VALUE	21/21	0.056
FLOOR	30	0.029
BELOW GRADE WALL	10/15/21 INT + TB	0.042
SLAB R-VALUE AND DEPTH	10, 2 FT	N/A

### SHEET INDEX

FOUNDATION DETAILS

WOOD FRAMING DETAILS WOOD FRAMING DETAILS WOOD FRAMING DETAILS

ROOF FRAMING & STEEL DETAILS

PROJECT INFORMATION, VICINITY MAP, GENERAL NOTES, AS-BUILT PLANS SITE PLAN, SURVEY, LAND USE COMPLIANCE STATS LOWER AND MAIN FLOOR DEMOLITION PLANS ROOF DEMOLITION PLAN LOWER AND MAIN FLOOR PLAN UPPER FLOOR AND ROOF PLAN WINDOW AND DOOR SCHEDULES EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS BUILDING SECTIONS BUILDING SECTIONS WALL SECTIONS AND DETAILS WALL SECTIONS AND DETAILS TYP. DETAILS STRUCTURAL NOTES FOUNDATION & MAIN FLOOR FRAMING PLAN UPPER FLOOR & ROOF FRAMING PLAN

**VICINITY MAP (NTS)** 

WASHINGTO

AS BUILT - MAIN FLOOR

AS BUILT - LOWER FLOOR SCALE: 1/8" = 1'-0"

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STATE OF WASHINGTON



ARCHITECTUR E D E S I G N

23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P. 206.542.3734 www.h2darchitects.com

DATE: 9/08/22 REV 1: 1/25/2023

PERMIT SET

PROJECT INFORMATION. VICINITY MAP, GENERAL NOTES, AS-BUILT PLANS



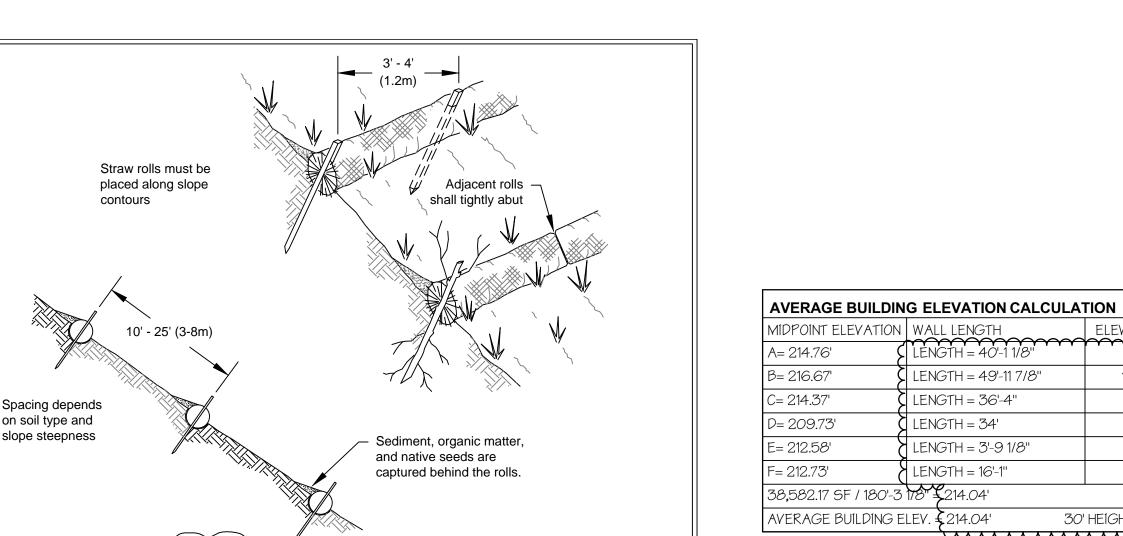
ARCHITECTURE DESIGN

23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P. 206.542.3734 www.h2darchitects.com

DATE: 9/08/22 REV 1: 1/25/2023

PERMIT SET

SITE PLAN, SURVEY, LAND USE CODE COMPLIANCE STATS



Spacing depends on soil type and slope steepness ─ 3" - 5" (75-125mm) (200-250mm) // 1" x 1" Stake (25 x 25mm) Straw roll installation requires the placement and secure staking of the roll in a trench, 3" - 5" (75-125mm) deep, dug on contour. NOT TO SCALE Runoff must not be allowed to run under or around roll.

BMP C235 Figure II-4.2.14 Wattles Revised November 2015 DEPARTMENT OF ECOLOGY

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State of Washington

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LENGTH = 49'-11 7/8" 10831.24 SF 7788.78 SF LENGTH = 36'-4" LENGTH = 34' 7130.82 SF LENGTH = 3'-9 1/8" 799.39 SF 3421.41 SF LENGTH = 16'-1" 38,582.17 SF / 180'-3 178" - 214.04' 30' HEIGHT LIMIT = 244.04' AVERAGE BUILDING ELEV. \$214.04' \*MEASURED TO OUTSIDE OF EXTERIOR WALLS \*\*BENCHMARK: MAG NAIL IN ROAD, 32' WEST OF SW PROPERTY CORNER 204.32 (NAVD88) (SEE SURVEY, THIS SHEET) **BASEMENT FLOOR AREA EXCLUSION CALCULATION** WALL\*\* | LENGTH | % BELOW GRADE | LENGTH X % BELOW GRADE 65% 26'03/4"  $\sim\sim\sim$ E WALL (B) | 49'-11 3/4" 90% 44' 11 3/4" 5 WALL (C) 36'-4" 60% 21' 9 5/8" W WALL (D) 34' 0% 0' 37% 1'-4 3/4" S WALL (E) 3'-9 1/8" W WALL (F) 16'1" 40.7% 6'-6 1/2" TOTAL 180'-3" 100'-9 3/8" NA 100'-9 3/8" [100.8'] / 180'-3" [180.3] = 55.9% TOTAL BASEMENT FLOOR AREA X 55.9**%** = 1870.8 SF\* X 55.9**%** = 1045.8 SF **EXEMPT BASEMENT (LOWER FLOOR) AREA = 1045.8 SF** 

. MATERIALS, OR EQUIP STAGING OR TRAFFIC SHALL BE  ${f ar Z}$ 

NO DEVELOPMENT, FILL, EXCAVATION, CONSTRUCTION

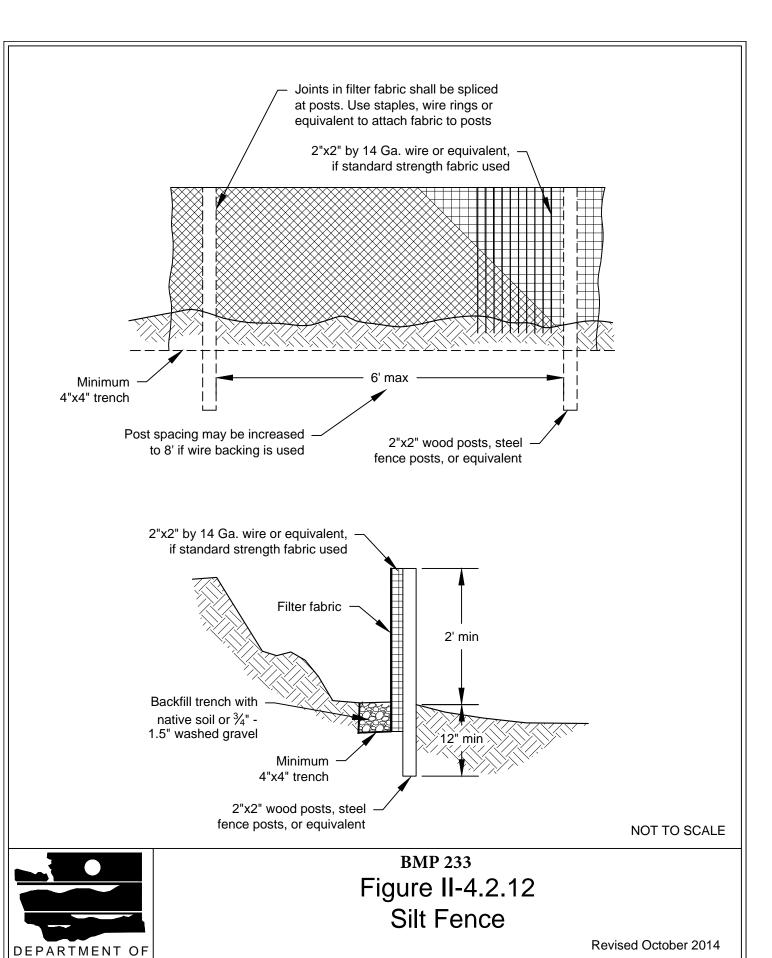
ALLOWED IN THE CRZ OF SIGNIFICANT TREES TO BE

ELEVATION X LENGTH

8610.53 9

AVERAGE BUILDING ELEVATION CALCULATION TABLE, THIS SHEET....

EXISTING NEIGHBOR · RETAINED; REFER TO ARBORIST REPORT BY LONNSON ≺ STRUCTURE ARBOR CARE DATED 1/17/23 FOR TREE REPORT, RETENTION, AND PROTECTION SPECIFICS N 88°30'02" W 99.7<u>9</u>' \_ 36'-5 1/8" / EXISTING FRONT YARD **2424 67TH AVE SE** 9" MAX. NEW EAVE ENCRCH. MERCER ISLAND, WA 98040 REQ'D FRONT YARD EQ'D REAR YARD NEW ROOF DECK LANDSLIDE COVERED) OVER HAZARD 1 EXISTING FRONT ADDITION OVER AREA 1 PORCH EXISTING AND STEPS--PROPOSED STOCKPILE FOOTPRINT 133.2 sq ft-LOCATION, COVER ANY :800.4 sa ft EXPOSED SOIL,W/ PLASTIC SHEETING PLANTER-NEW ROOF EXIST. ROOF EAVE DECK\_ DRIVEWAY REMOVAL - (REMOVED EXISTING UNCOVERED) ---CONSTRUCTION LOT COVÈRAGE) GARAGE **OVER EXIST.** ENTRANCE (71.7 sq ft)\ FF: 209.7'-FOOTPRINT 232.5 sq ft EXISTING REAR YARD - DISTANCE B/W HIGH EXISTING DECK AND LOW PT: 99.8' ADDITION - NEW LOT <u>204.9'</u> LOW PT COVERAGE (INCL. O.H.) 51.3 sq ft —South Line of North STRAW WATTLES ---EXISTING NEIGHBOR STRUCTURE



**BMP C123** 

Figure IV-2.2.14

Material Covered with Plastic Sheeting

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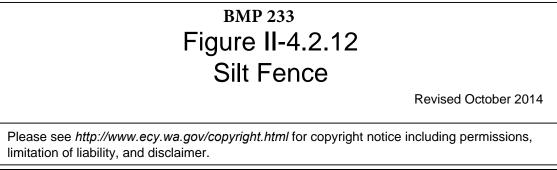
limitation of liability, and disclaimer.

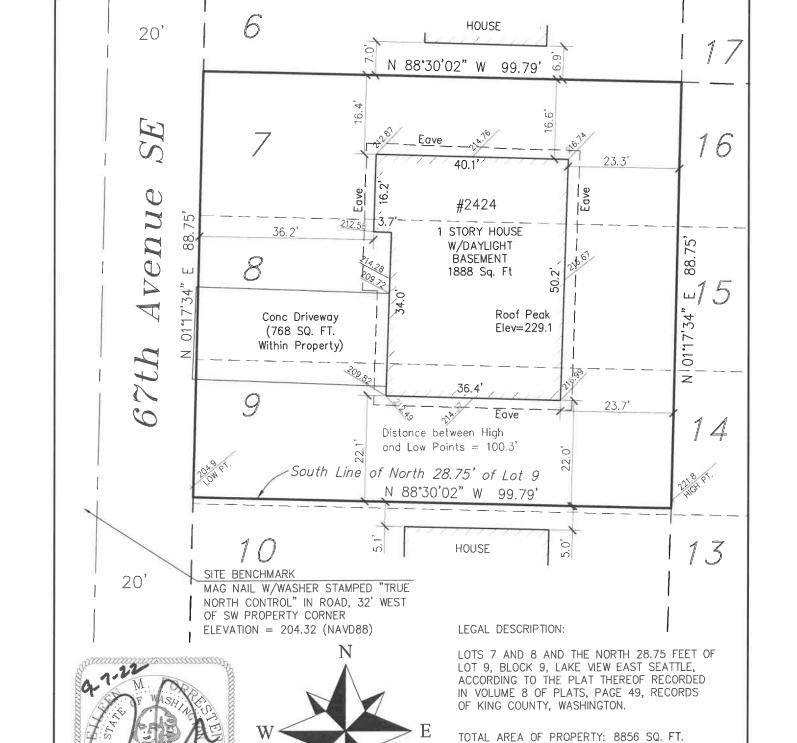
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ECOLOGY

State of Washington





4-07-2022

1"=20"

True

1930 6th Avenue S Suite 401 Seattle Wa 98134

LAND SURVEYING, INC. 206.332.0800

LAND USE CODE COMPLIANCE STATISTICS

EXISTING LOT COVERAGE:

ALLOWED LOT COVERAGE:

(CUT BACK EXISTING EAVE)

PROPOSED LOT COVERAGE:

ALLOWED LOT COVERAGE:

PROPOSED LANDSCAPE AREA:

REQ'D LANDSCAPE AREA:

**EXISTING WALKWAY/STAIRS:** 

TOTAL EXISTING HARDSCAPE:

EXISTING WALKWAY/STAIRS:

(EXISTING DECK TO BE REMOVED)

TOTAL PROPOSED HARDSCAPE:

2 REQUIRED PARKING SPACES FOR

REFER TO SHEET A2.0 AND A2.1 FOR DETAILED

(EXEMPT LOWER FLOOR AREA - BELOW GRADE):

EXISTING MAIN FLOOR - NOT INCL. NEW STAIR:

MAIN FLOOR ADDITION - SINGLE STORY:

MAIN FLOOR ADDITION x2 FOR DBL HEIGHT:

PROPOSED UPPER FLOOR - INCL NEW STAIR:

\*GFA MEASURED FROM OUTSIDE OF EXTERIOR WALLS

**EXISTING MAIN FLOOR - NOT INCL STAIR:** 

TOTAL EXISTING GROSS FLOOR AREA:

EXISTING LOWER FLOOR - INCL EXIST. GARAGE & STAIR: 1870.8 SF

DIMENSIONS TO BUILDINGS WERE TAKEN AT

THE SIDING AT APPROX. 4 FEET ABOVE

2424 67th Ave. SE, Mercer Island, WA

SITE PLAN

For MONAHAN

TAX PARCEL NO. 409950-1180

GROUND LEVEL.

ALLOWED HARDSCAPE:

NEW ADDITION

REAR SETBACK:

SIDE SETBACK:

EXISTING DECK:

EXISTING DECK:

NEW DECK STEP:

ALLOWED HARDSCAPE:

HOUSES UNDER 3,000 SF

BUILDING HEIGHT LIMIT = 30'

HEIGHT INFORMATION

ALLOWED FLOOR AREA:

PROPOSED EXISTING LOWER FLOOK:

GROSS FLOOR AREA: (EXEMPT LOWER FLOOR AREA - BELOW GRADE):

PROPOSED COVERED DECK:

PROPOSED FLOOR AREA:

ALLOWED FLOOR AREA:

EXISTING HOUSE (INCL ROOF OVERHANG):

EXISTING HOUSE (INCL ROOF OVERHANG):

EXISTING DRIVEWAY (NOT INCL ROOF O.H. AREA):

EXISTING DRIVEWAY (NOT INCL ROOF O.H. AREA):

(EXISTING UNCOVÈRED DECK - NOT INCL)

204.9'

99.8'

REQ'D SETBACKS:

LANDSCAPE AREA:

HARDSCAPE:

HARDSCAPE:

PARKING:

INFORMATION:

\*\*EXISTING LOT SLOPE CALCULATIONS:

HOR. DIST. BETWEEN HIGH & LOW PTS.:

(MAX. LOT COVERAGE ALLOWED: 35%)

HIGHEST ELEV. PT. OF LOT:

LOWEST ELEV. PT. OF LOT:

ELEV. DIFFERENCE:

LOT SLOPE:

CRITICAL AREA: POTENTIAL LANDSLIDE AND EROSION HAZARD

8856 SF

2330 SF

728.4 SF

3058.4 SF

2330 SF (71.7 SF) 51.3 SF

728.4 SF 3038 SF

SUM OF 15', MIN 5'

5818 SF (65.7%)

77.8 SF

267.7 SF

345.5 SF

77.8 SF

267.7 SF

(22.1 SF)

326.3 SF

(1045.8 SF)

1792.0 SÉ

2617.0 SF

(1045.8 SF)

1792.0 SÉ

12.4 SF

793.4 SF

107.8 SF

3539.6 SF

2.9 SF

8856 SF X 35%\*\* = 3,099.6 SF...OK

8856 SF X 35%\*\* = 3,099.6 SF...OK

8856 SF X 60% = 5313.6 SF...OK

8856 SF X 9% = 797.04 SF...OK

8856 SF X 9% = 797.04 SF...OK

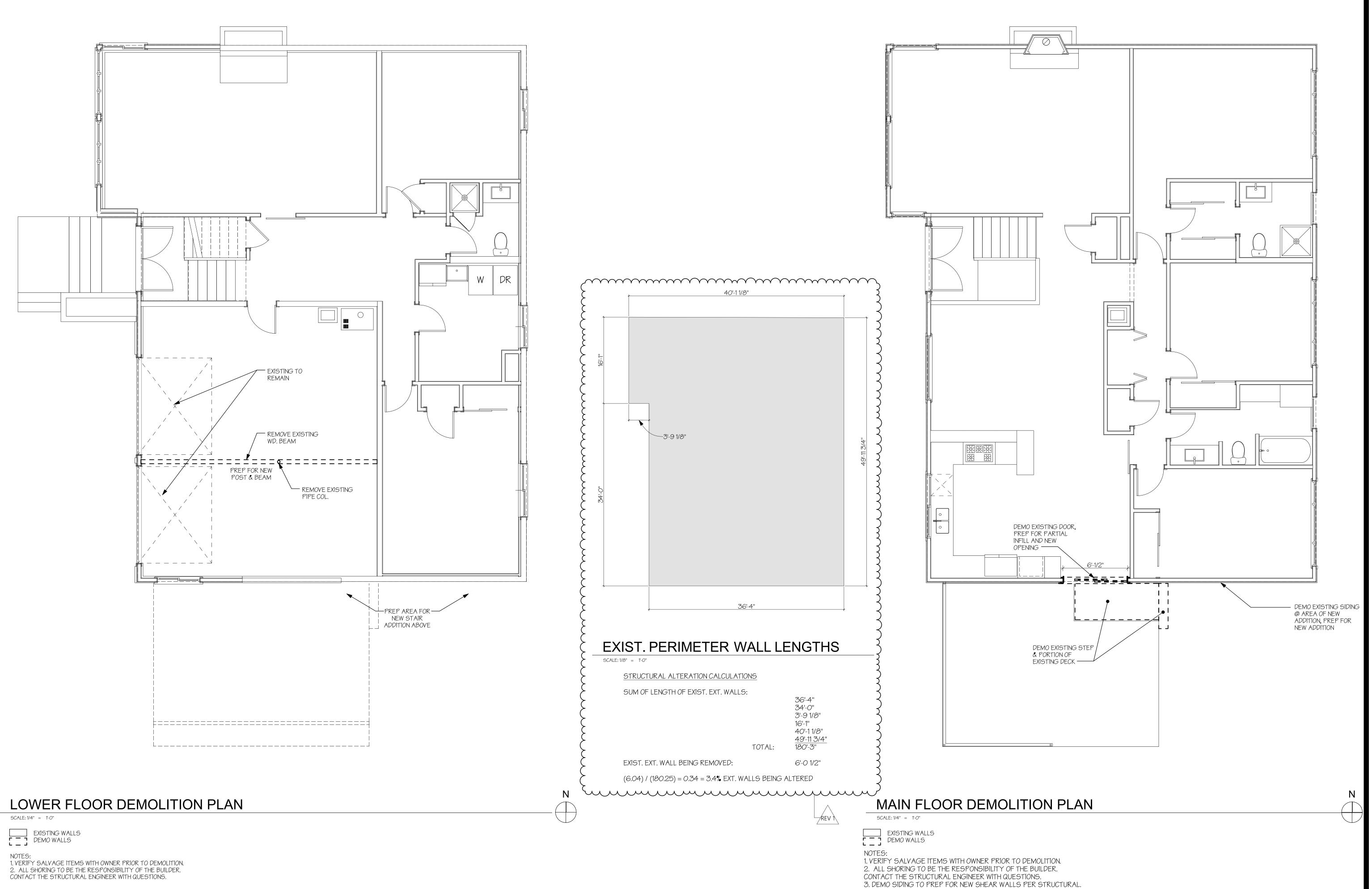
8856 SF X 40% = 3542.4 SF...OK

8856 SF X 40% = 3542.4 SF...OK

SITE PLAN

NOT TO SCALE

Revised December 2015



ONAHAN RESIDENCE 2424 67TH AVE SE

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ARCHITECT

HEIDI MICHELLE HELGESON
STATE OF WASHINGTON



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LOWER AND MAIN FLOOR DEMOLITION PLAN

A1.0



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— CUT BACK EAVE

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ROOF DEMOLITION PLAN

# ROOF DEMOLITION PLAN SCALE: 1/4" = 1'-0" EXISTING WALLS DEMO WALLS

<del>-----</del>

NOTES:
1. VERIFY SALVAGE ITEMS WITH OWNER PRIOR TO DEMOLITION.
2. ALL SHORING TO BE THE RESPONSIBILITY OF THE BUILDER.
CONTACT THE STRUCTURAL ENGINEER WITH QUESTIONS.

MERCER



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LOWER AND MAIN FLOOR PLAN

1870.8 SF (1045.8 SF)

1792.0 SF

9.0 SF

12.4 S

793.4 5

107.8 SF

m

4609.5 SF-1045.8 SF = 3539.6 SF

8856 SF X 40% = 3542.4 SF

GROSS FLOOR AREA (MEASURED FROM OUTSIDE OF EXTERIOR WALLS)

EXISTING LOWER FLOOR:

NEW COVERED DECK:

PROPOSED FLOOR AREA:

ALLOWED FLOOR AREA:

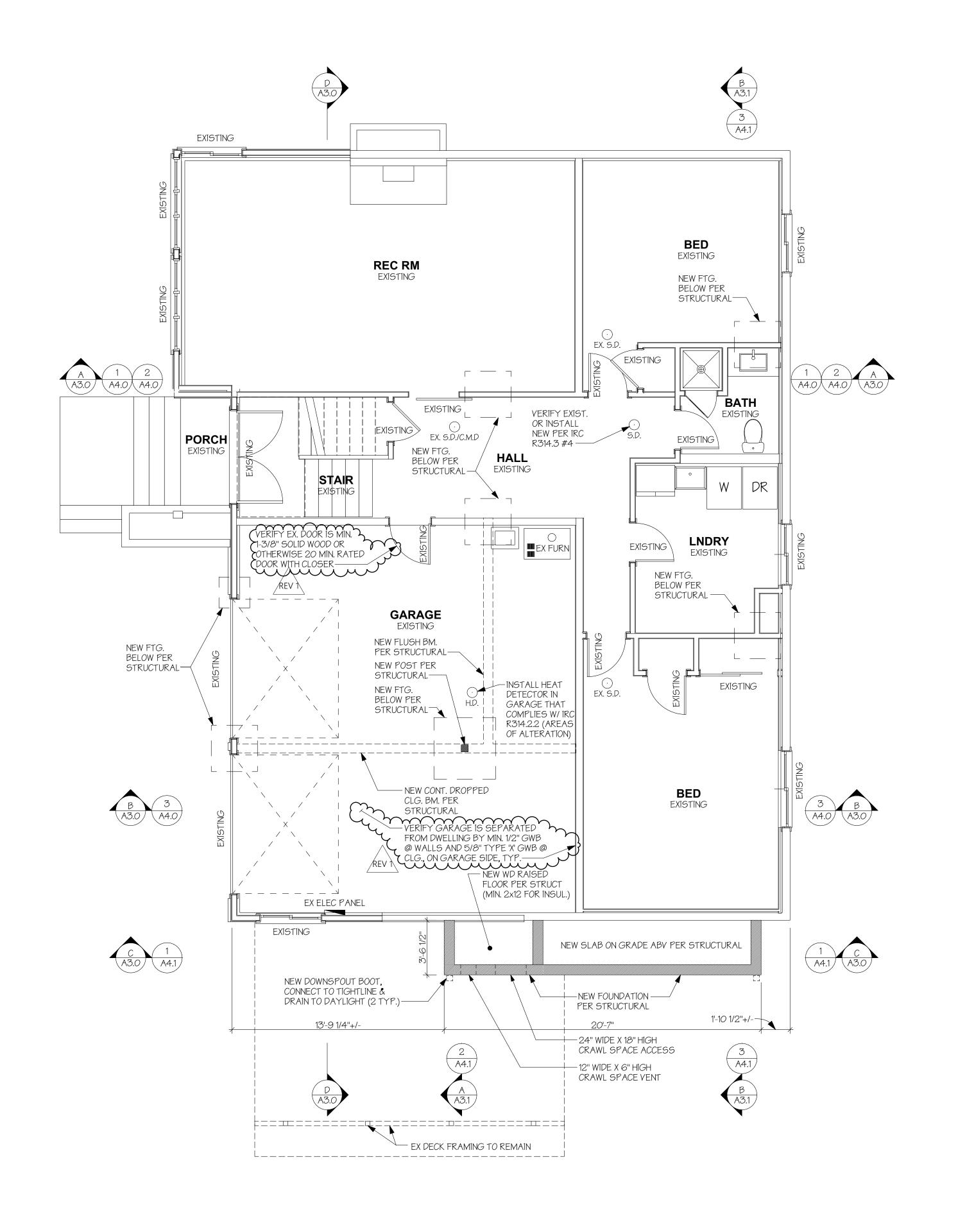
(EXEMPT LOWER FLOOR - BELOW GRADE)

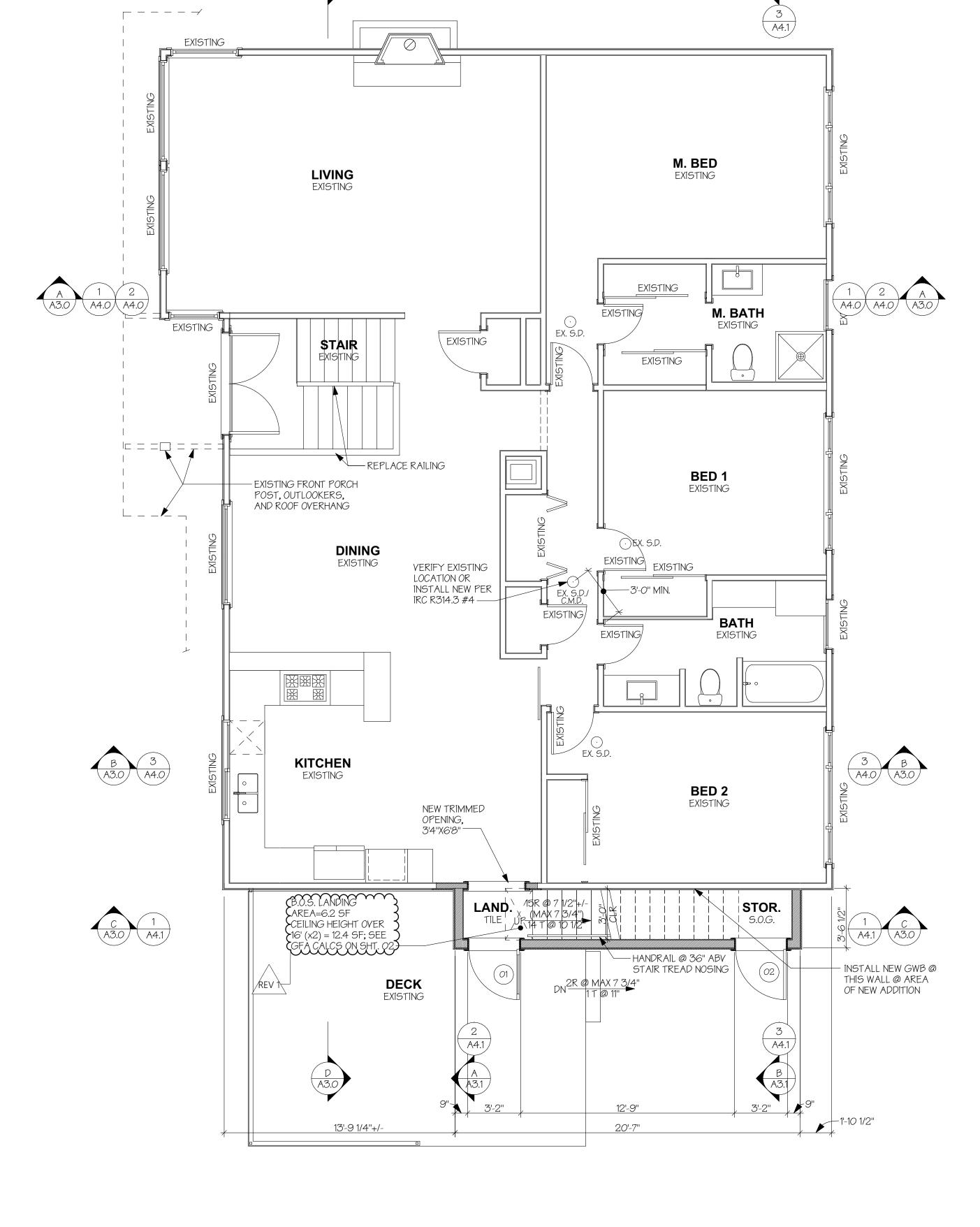
MAIN FLOOR ADDITION (SINGLE STORY):

MAIN FLOOR ADDITION (X1.5 DBL HEIGHT):

NEW UPPER FLOOR (INCL STAIR):

EXISTING MAIN FLOOR AREA (NOT INCL STAIR):





## LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0" EXISTING WALLS NEW WALLS

1. ALL DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNO. 2. ALL DOOR AND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING SIZES, UNO.

3. SEE ATTACHED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORMATION. 4. INSTALL SMOKE DETECTORS (S.D.) AT LOCATIONS SHOWN OR VERIFY EXISTING SMOKE DETECTORS. HARDWIRE AND INTERCONNECT DETECTORS TO POWER SUPPLY AND PROVIDE BATTERY BACKUP AS REQUIRED.

5. INSTALL CARBON MONOXIDE ALARMS (C.M.D.) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. THE ALARM AND SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH IRC R315.3 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. OR VERIFY EXISTING. 6. SMOKE DETECTORS (S.D.) AND CARBON MONOXIDE ALARMS (C.M.D.) TO BE INSTALLED 3'-O" MINIMUM FROM BATHROOM

### CRAWLSPACE VENTILATION REQUIREMENTS

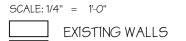
CRAWLSPACE: PER WAC 51-51-0408 SECTION R408, MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 300 SQUARE FEET OF UNDER-FLOOR AREA. A GROUND COVER OF 10 MIL BLACK POLYETHYLENE OR APPROVED EQUAL SHALL BE LAID OVER THE GROUND WITHIN CRAWL SPACES. THE GROUND COVER SHALL BE OVERLAPPED TWELVE (12) INCHES MINIMUM AT THE JOINTS AND SHALL EXTEND TO THE FOUNDATION WALL. ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO

TOTAL CRAWLSPACE AREA @ NEW STAIR LANDING = 20.36 SF REQUIRED VENTILATION AREA = 9.8 S.I.

VENTILATION OPENINGS UNLESS NOTED OTHERWISE.

(QTY 1) 6" X 12" VENTS = 72 S.I. VENTILATION AREA PROVIDED

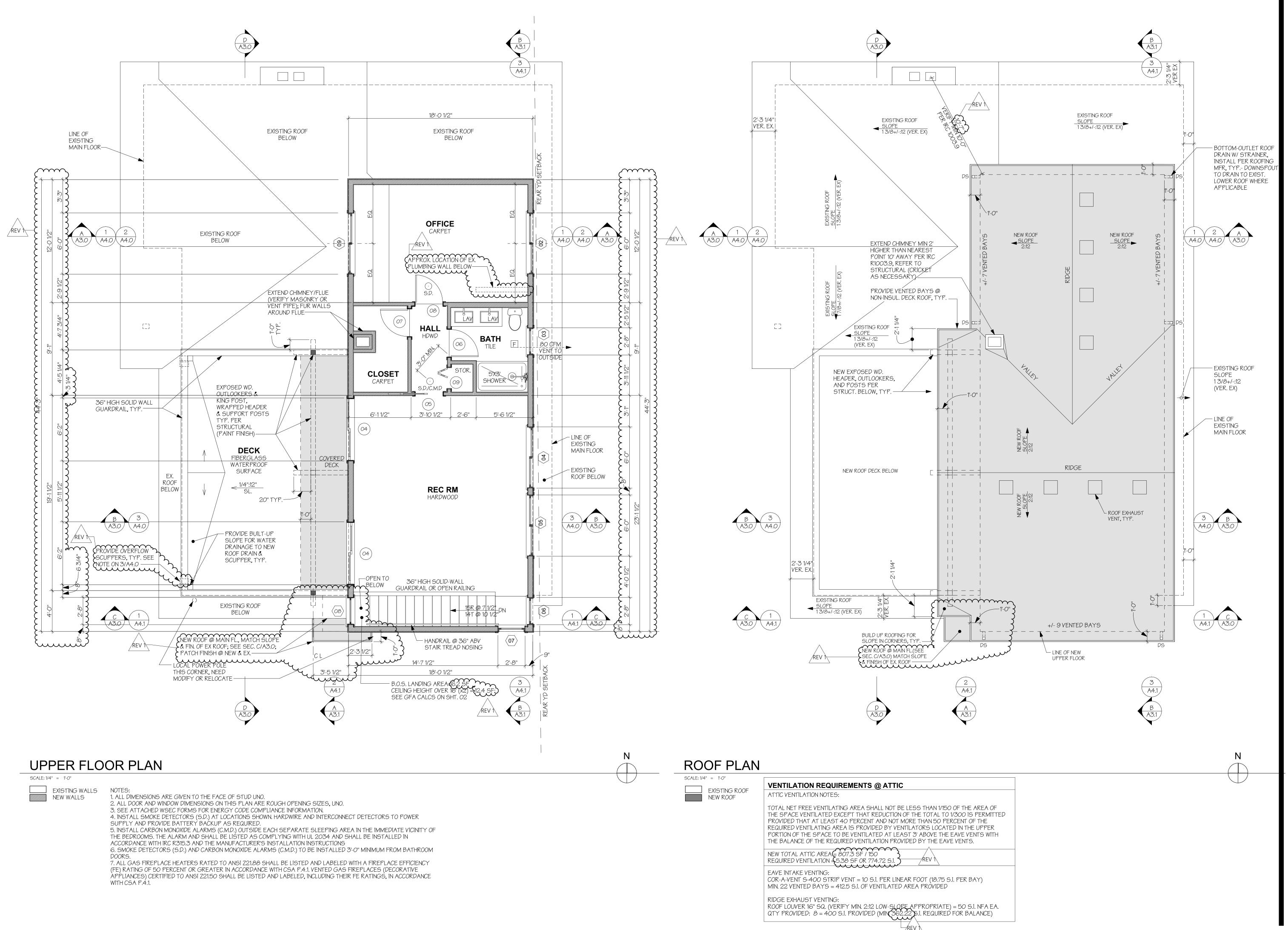
## MAIN FLOOR PLAN



N FLOOR PLAN	
= 1'-O''	
XISTING WALLS EW WALLS	

NOTES:
1. ALL DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNO.
2. ALL DOOR AND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING SIZES, UNO.
3. SEE ATTACHED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORMATION.
4. INSTALL SMOKE DETECTORS (S.D.) OR VERIFY EXISTING AT LOCATIONS SHOWN. HARDWIRE AND INTERCONNECT
DETECTORS TO POWER SUPPLY AND PROVIDE BATTERY BACKUP AS REQUIRED.
5. INSTALL CARBON MONOXIDE ALARMS (C.M.D.) OR VERIFY EXISTING OUTSIDE EACH SEPARATE SLEEPING AREA IN T

5. INSTALL CARBON MONOXIDE ALARMS (C.M.D.) OR VERIFY EXISTING OUTSIDE EACH SEPARATE SLEEPING AREA IN THE
IMMEDIATE VICINITY OF THE BEDROOMS. THE ALARM AND SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE
INSTALLED IN ACCORDANCE WITH IRC R315.3 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS
6. SMOKE DETECTORS (S.D.) AND CARBON MONOXIDE ALARMS (C.M.D.) TO BE INSTALLED 3'-O" MINIMUM FROM BATHROOM
DOORS.



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UPPER FLOOR AND ROOF PLAN

A1.3

		R.O. DIMEN	R.O. DIMENSIONS *SEE NOTE 1 DOOR LEAF DIMENSIONS							
	ID	WIDTH	HEIGHT	W	HT	TYPE	THICK	AREA (SF)	NOTES	U-VAL
FOUNDATION - T.C	). FOOTING	1			1					L
	06	2'-10"	6'-10 1/2"	2'-8"	6'-8"	SWING	0'-13/8"	0.00		
EX MAIN FLOOR	'	1	1		1		1	<b>'</b>		
	01	3'-2"	6'-10 1/2"	3'-0"	6'-8"	SWING	0'-1 3/4"	20.00	TEMPERED	0.28
	02	3'-2"	6'-10 1/2"	3'-0"	6'-8"	SWING	0'-1 3/4"	20.00		
NEW UPPER FLOC	)R				•		•	'		•
	04	6'-2"	6'-10 1/2"	6'-0"	6'-8"	SGD	0'-1 3/4"	20.00	TEMPERED	0.28
	05	2'-10"	6'-10 1/2"	2'-8"	6'-8"	POCKET	0'-1 3/8"	0.00	VER R.O. W/ SELECTED POCKET DR MFR	
	06	2'-10"	6'-10 1/2"	2'-8"	6'-8"	SWING	0'-1 3/8"	0.00		
	07	2'-10"	6'-10 1/2"	2'-8"	6'-8"	SWING	0'-1 3/8"	0.00		
TOTAL EXTERIOR	DOOR&RE	A2'-10''	6'-10 1/2"	2'-8"	6'-8"	SWING	0'-1 3/8"	0.00		
	09	2'-2"	6'-10 1/2"	2'-0"	6'-8"	BI-FOLD	0'-1 3/8"	0.00		

MANUFACTURER: INTERIOR: SIMPSON OR EQUAL, SOLID CORE DOOR, PANEL TO MATCH EXISTING EXTERIOR: TO BE SELECTED

EXTERIOR DOORS TO BE NFRC 100 LABELED AND CERTIFIED BY THE MANUFACTURER.

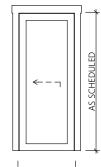
1. VERIFY ROUGH OPENING SIZES WITH SELECTED MANUFACTURER REQUIREMENTS 2. SEE ELEVATIONS FOR CONFIGURATION

3. VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO CONSTRUCTION

4. CONTACT ARCHITECT IMMEDIATELY WITH QUESTIONS

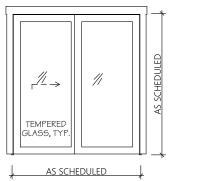
AS SCHEDULED

BI-FOLD



POCKET





SGD



SWING

	WINDOW SCHEDULE								
	ID	ROUGH OPENING *SEE NOTE 1		ROUGH HEAD	TYPE	OPER	AREA	NOTES	U-VAL
	טו	WIDTH	HEIGHT	FROM SUBFLR.		THE OPER (	SF (SF)	NOTES	U-VAL
FOUNDATION - T.C	). FOOT	ING			•	•			,
	08	2'-8"	1'-0"	-93'-1 1/2"	В	FIXED	10.70		0.30
NEW UPPER FLOC	)R					•	•		1
	02	6'-0"	2'-0"	6'-10 1/2"	С	H.S.	12.00		0.30
	03	2'-8"	1'-0"	6'-10 1/2"	Α	D.H.	10.70	TEMPERED; TRANSLUCENT	0.30
	04	6'-0"	2'-0"	6'-10 1/2"	С	H.S.	12.00		0.30
	05	6'-0"	2'-0"	6'-10 1/2"	С	H.S.	12.00		0.30
	06	2'-8"	1'-0"	6'-10 1/2"	Α	D.H.	10.70	TEMPERED	0.30
	07	2'-8"	1'-0"	6'-10 1/2"	Α	D.H.	10.70	TEMPERED	0.30
TOTAL EXTERIOR	WIRBO	WAREA:	1'-0"	6'-10 1/2"	В	FIXED	10.70		0.30
NERC 100 LABELE		6'-0" CERTIFIED BY THE	1'-O" MANUFACTURER	6'-10 1/2"	С	H.S.	24.00	EGRESS	0.30

251.00

MANUFACTURER: TO BE SELECTED; MATCH EXISTING SERIES: VERIFY TO MATCH EXISTING

1. VERIFY ROUGH OPENING SIZES WITH SELECTED MANUFACTURER REQUIREMENTS

2. SEE ELEVATIONS FOR CONFIGURATION

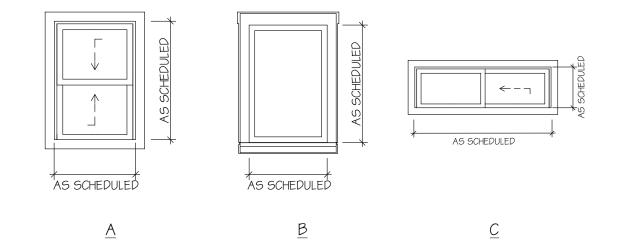
3. VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO CONSTRUCTION

4. VERIFY EXISTING ROUGH OPENINGS WHERE WINDOWS ARE BEING REPLACED IN THE EXISTING OPENINGS PRIOR TO ORDERING THE WINDOWS

5. CONTACT ARCHITECT IMMEDIATELY WITH QUESTIONS 6. TRANSLUCENT GLASS TO BE SATIN ETCH. PROVIDE GLASS SAMPLE TO OWNER/ARCH FOR APPROVAL PRIOR TO

7. ALL WINDOWS IN SHOWERS TO BE VINYL, FIBERGLASS OR RATED FOR USE IN WET LOCATION. VERIFY CONFIGURATION OF SHOWER WINDOWS WITH OWNER PRIOR TO ORDERING.

A = AWNING C = CASEMENT H.S. = HORIZONTAL SLIDER P = PICTURE S.H. = SINGLE HUNG D.H. = DOUBLE HUNG H = HOPPER FIXED = FIXED





SIDENCE

98040

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WINDOW AND DOOR SCHEDULES



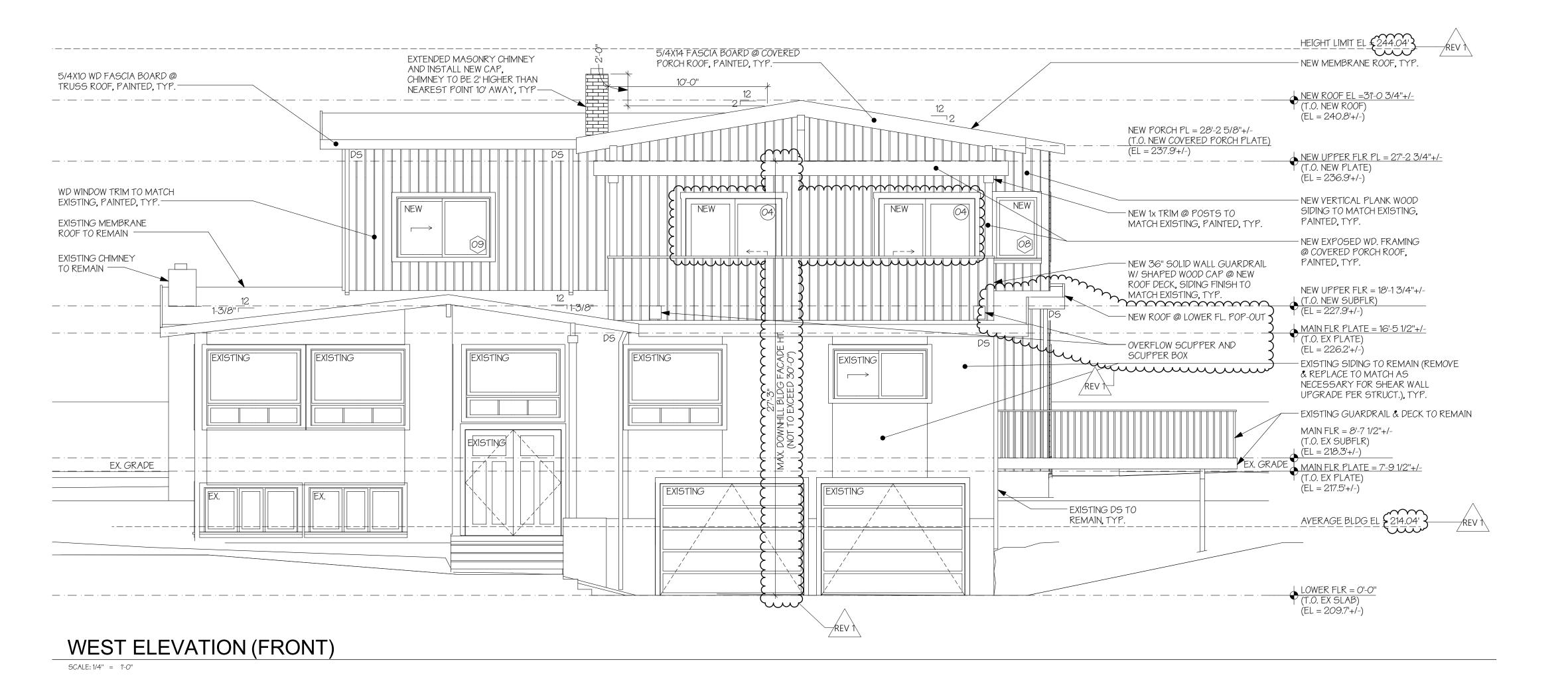
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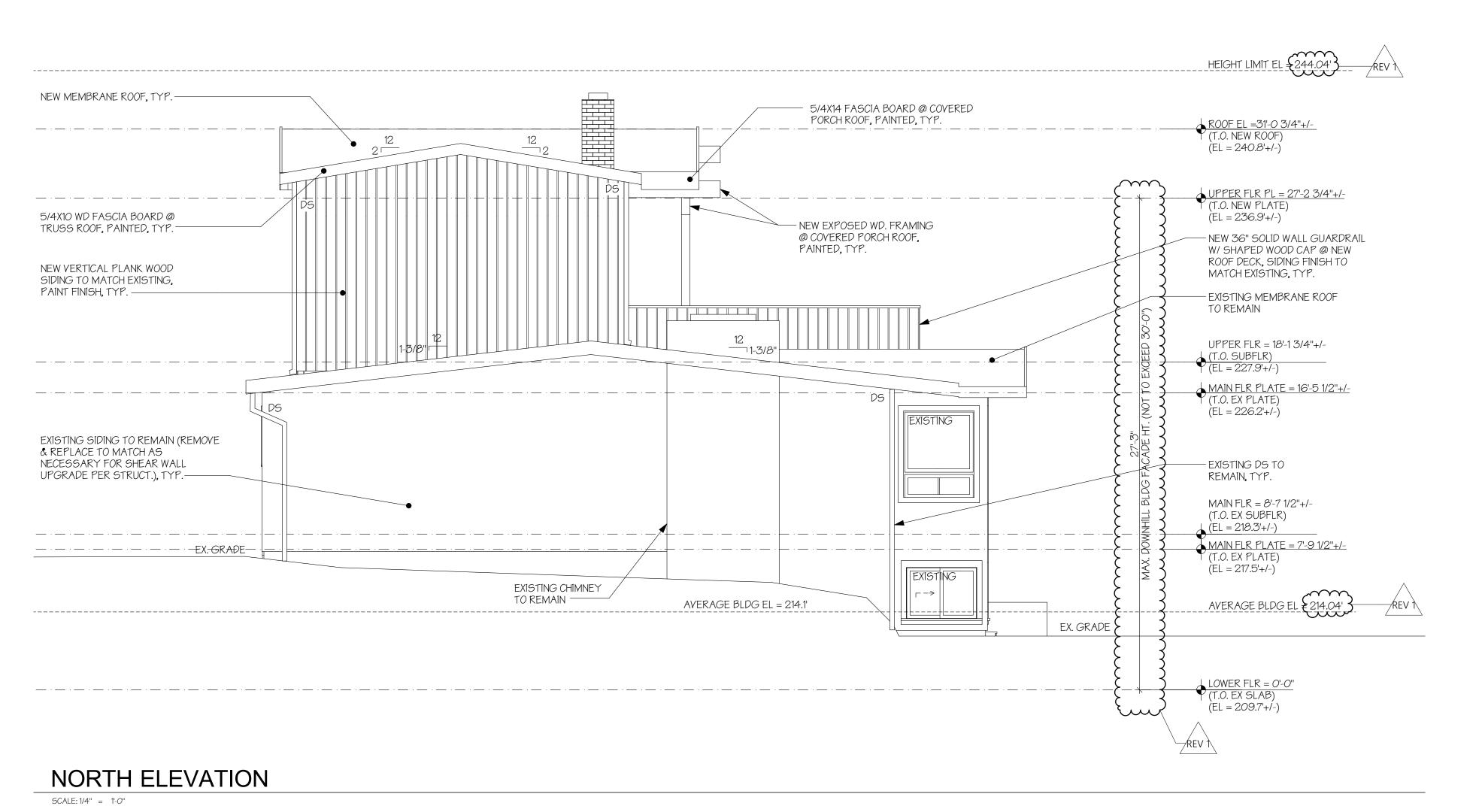
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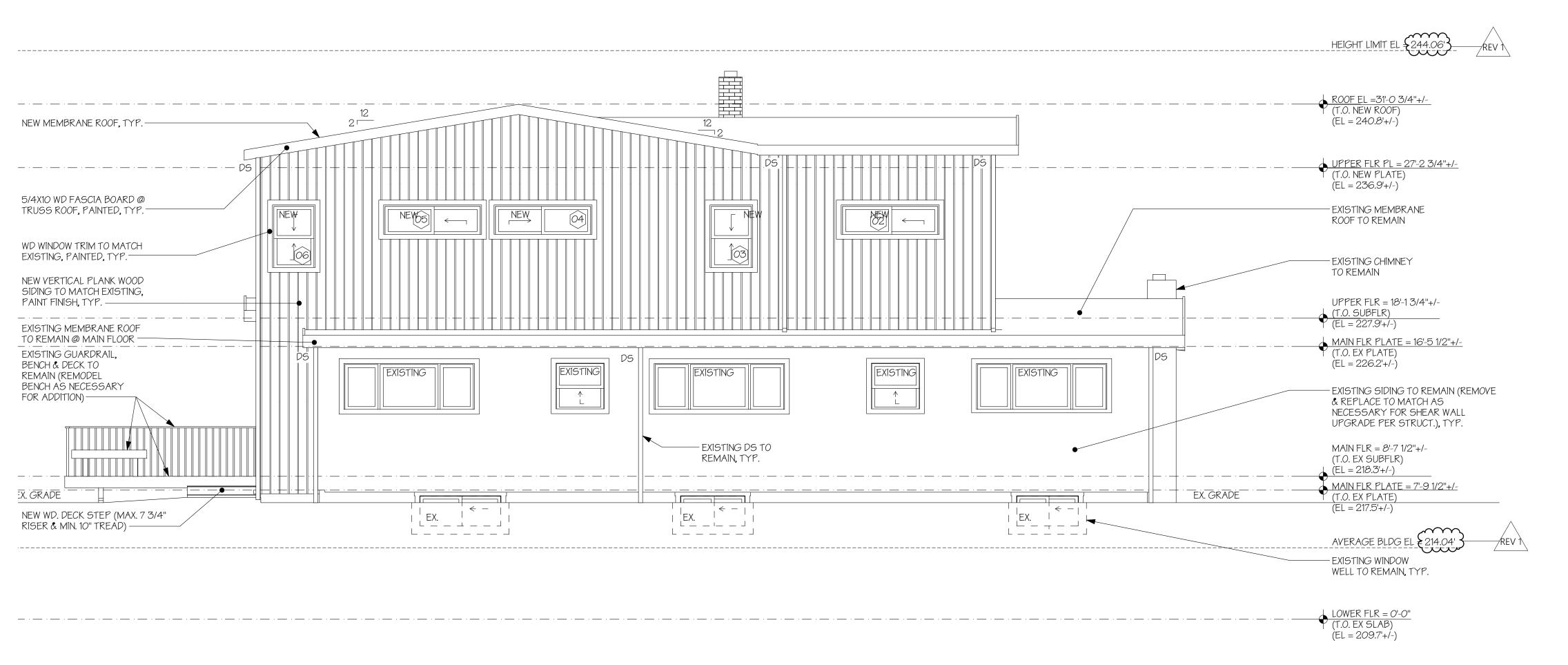
PERMIT SET

**EXTERIOR ELEVATIONS** 



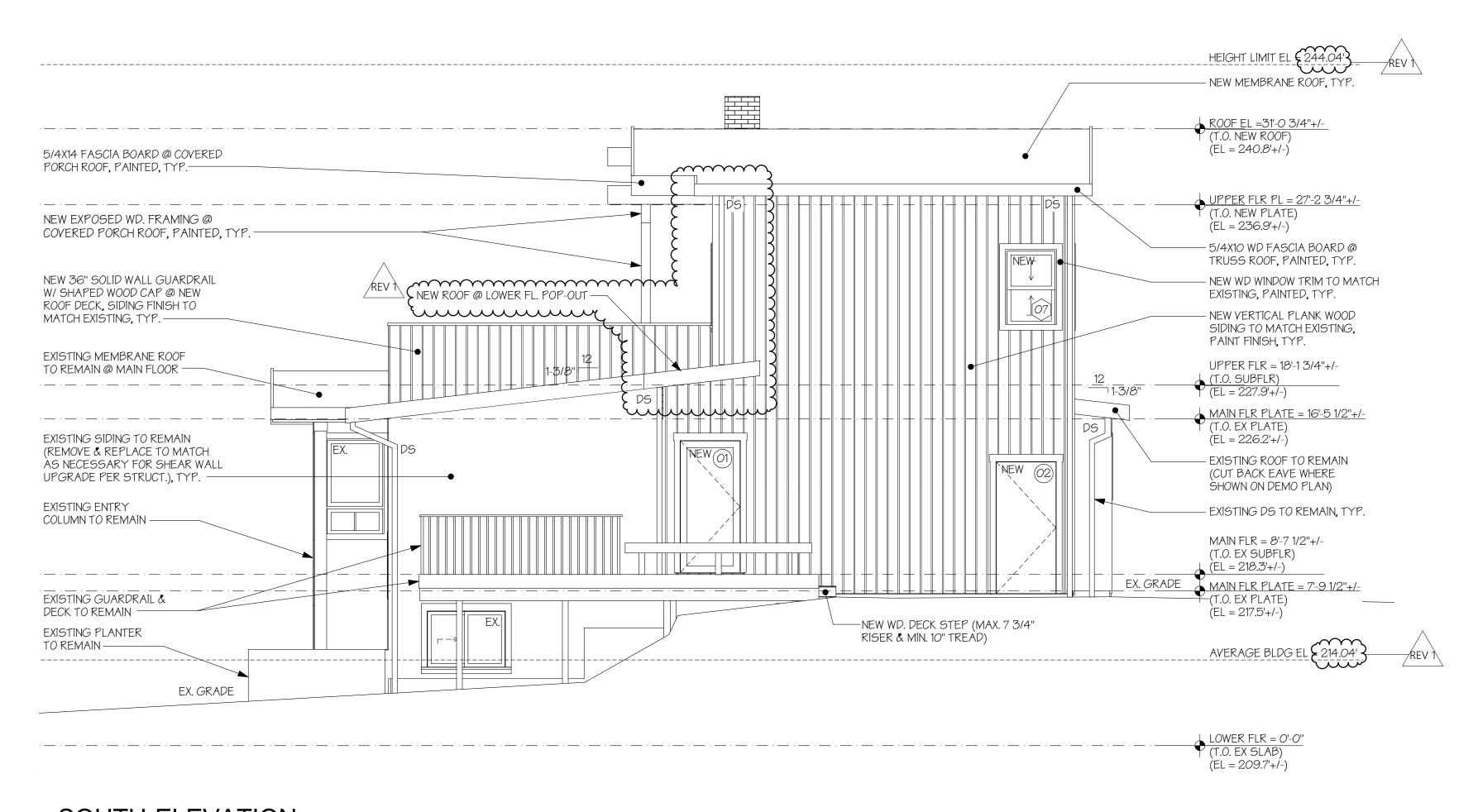






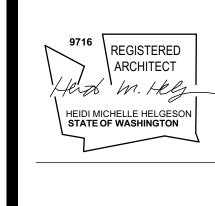
## EAST ELEVATION

SCALE: 1/4" = 1'-0"



## SOUTH ELEVATION







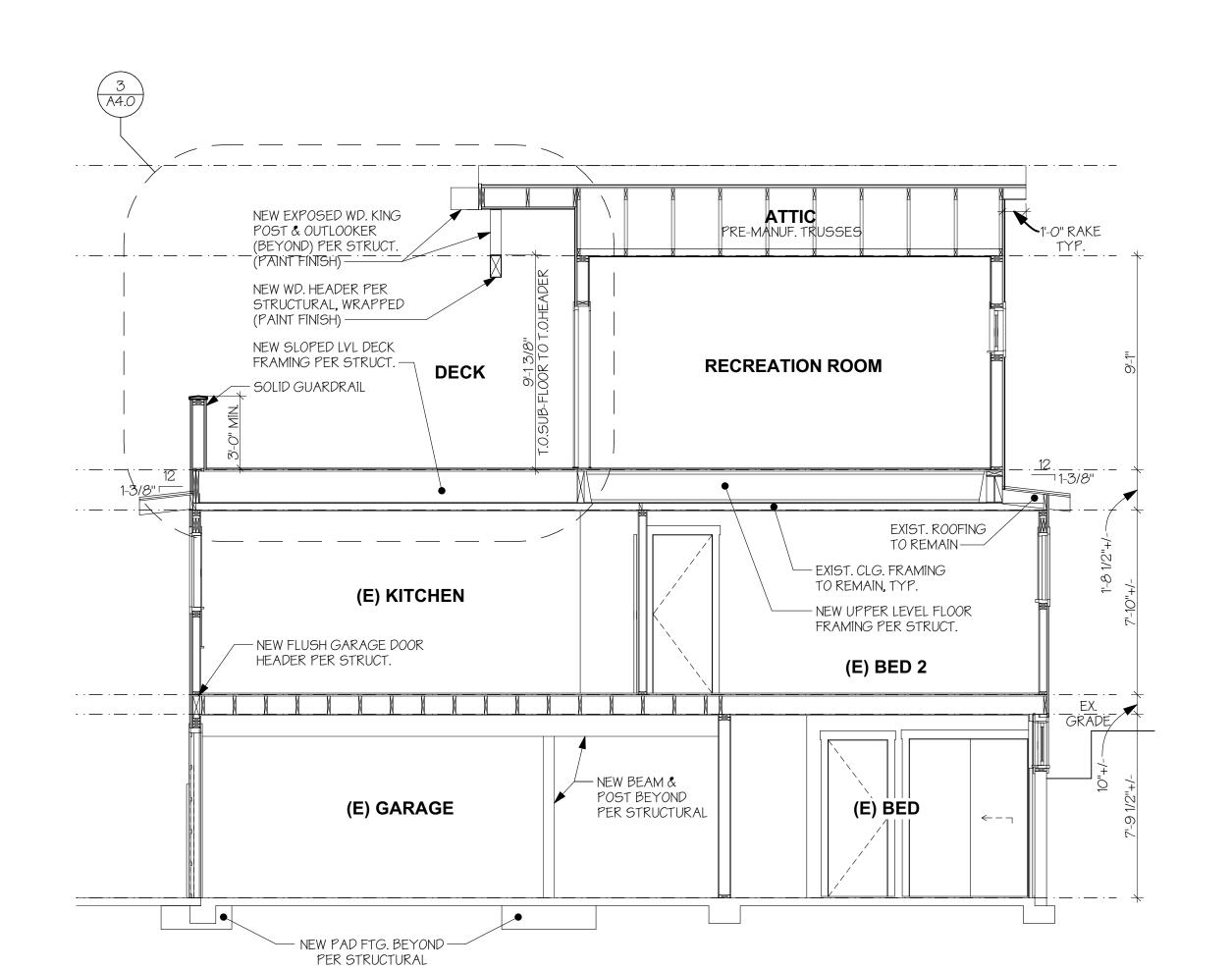


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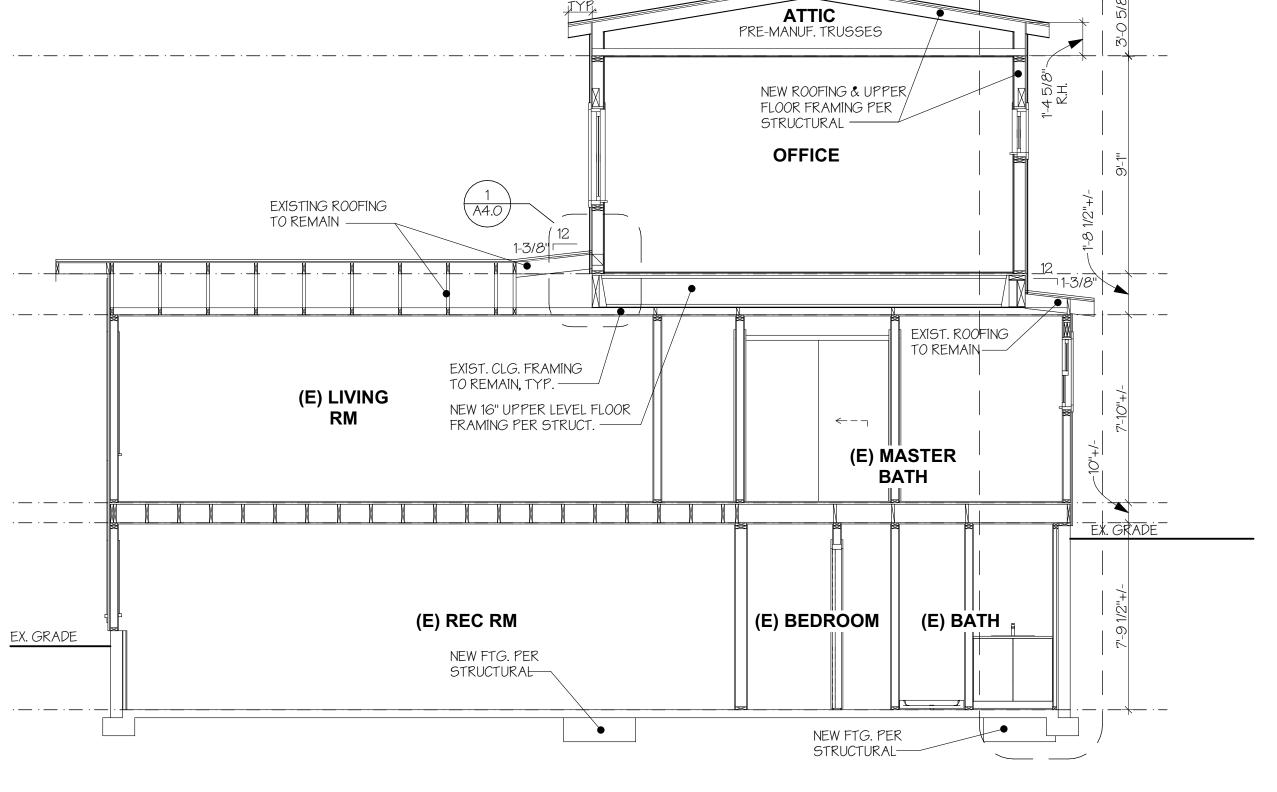
PERMIT SET

**BUILDING SECTIONS** 

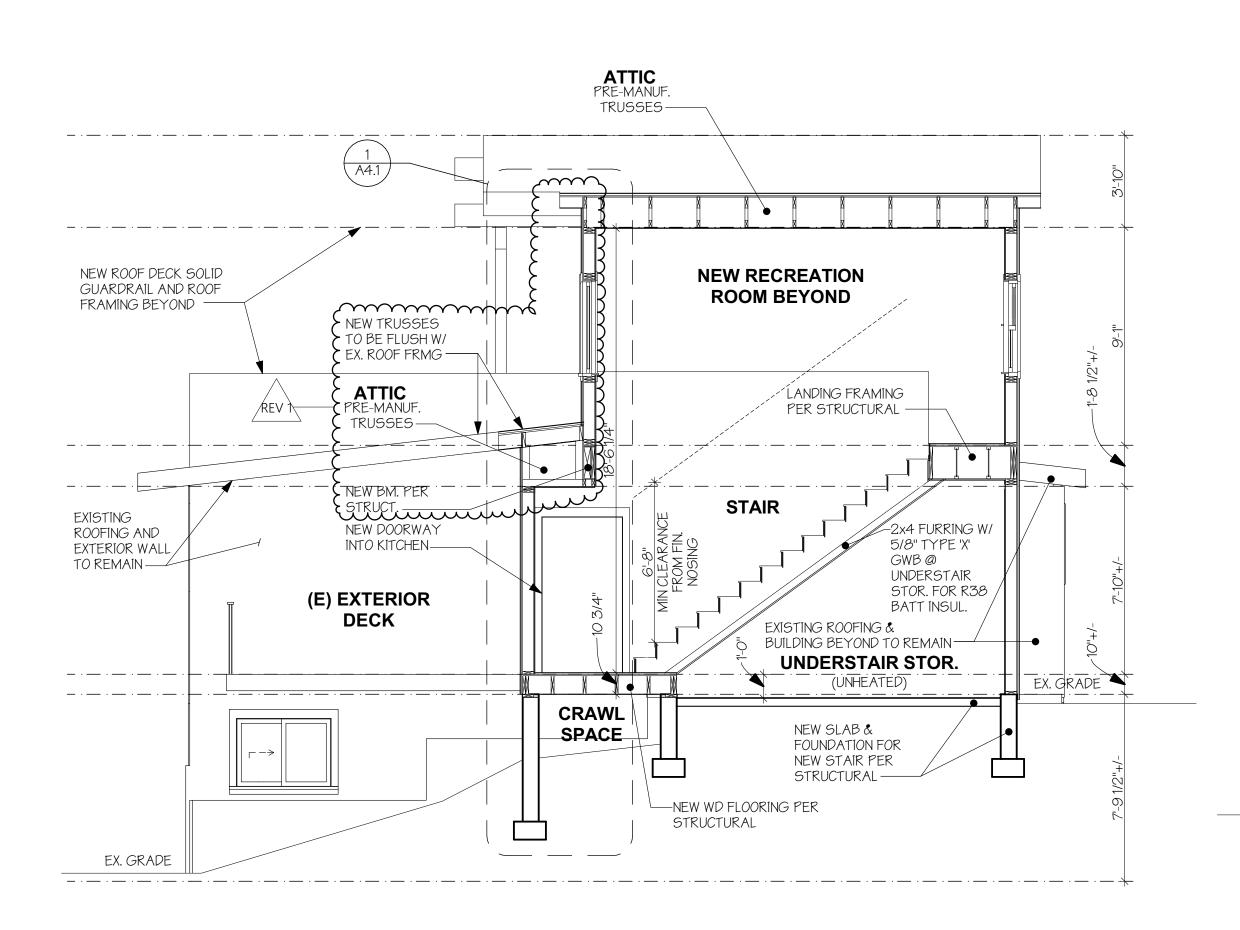


**BUILDING SECTION** 

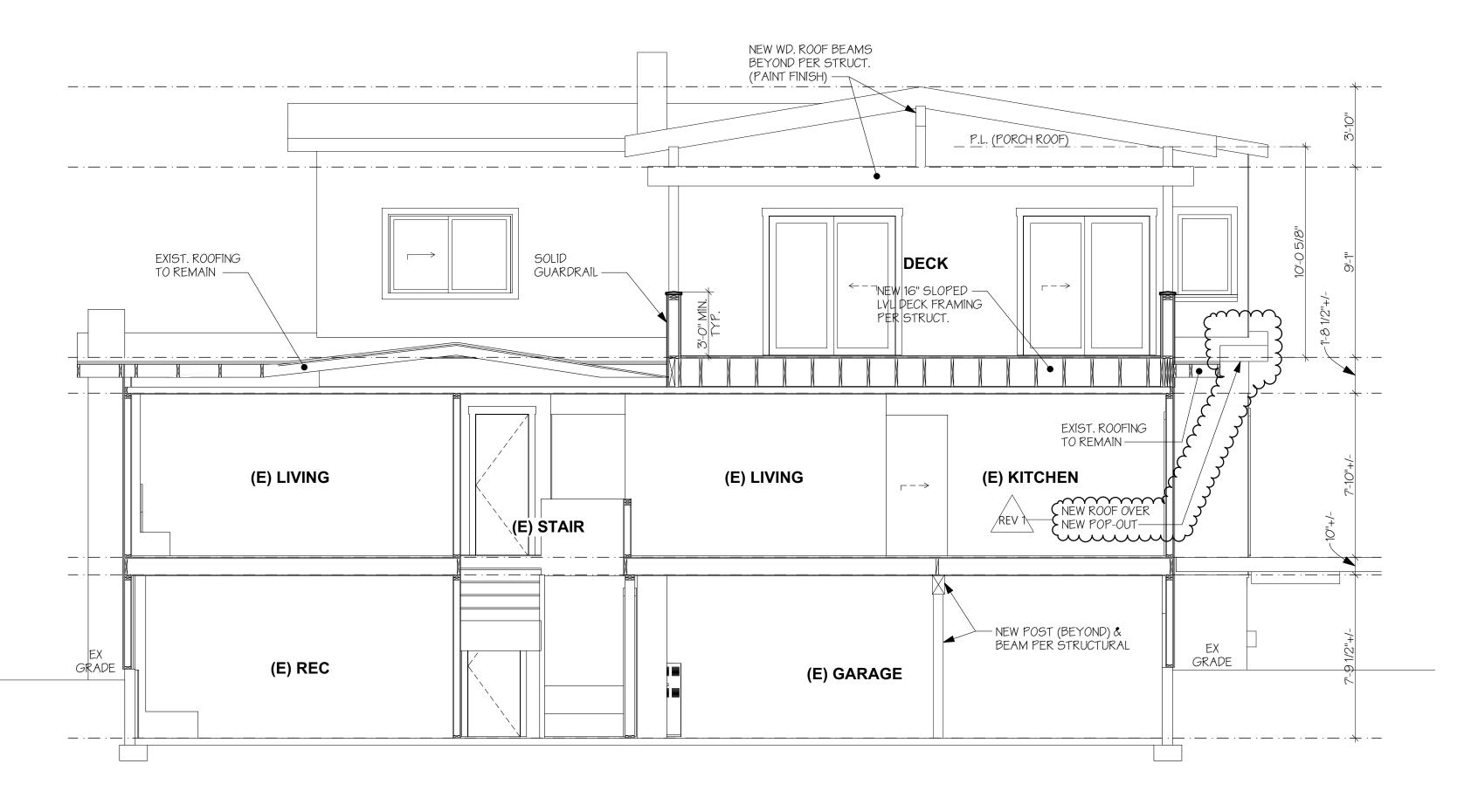
SCALE: 1/4" = 1'-0"













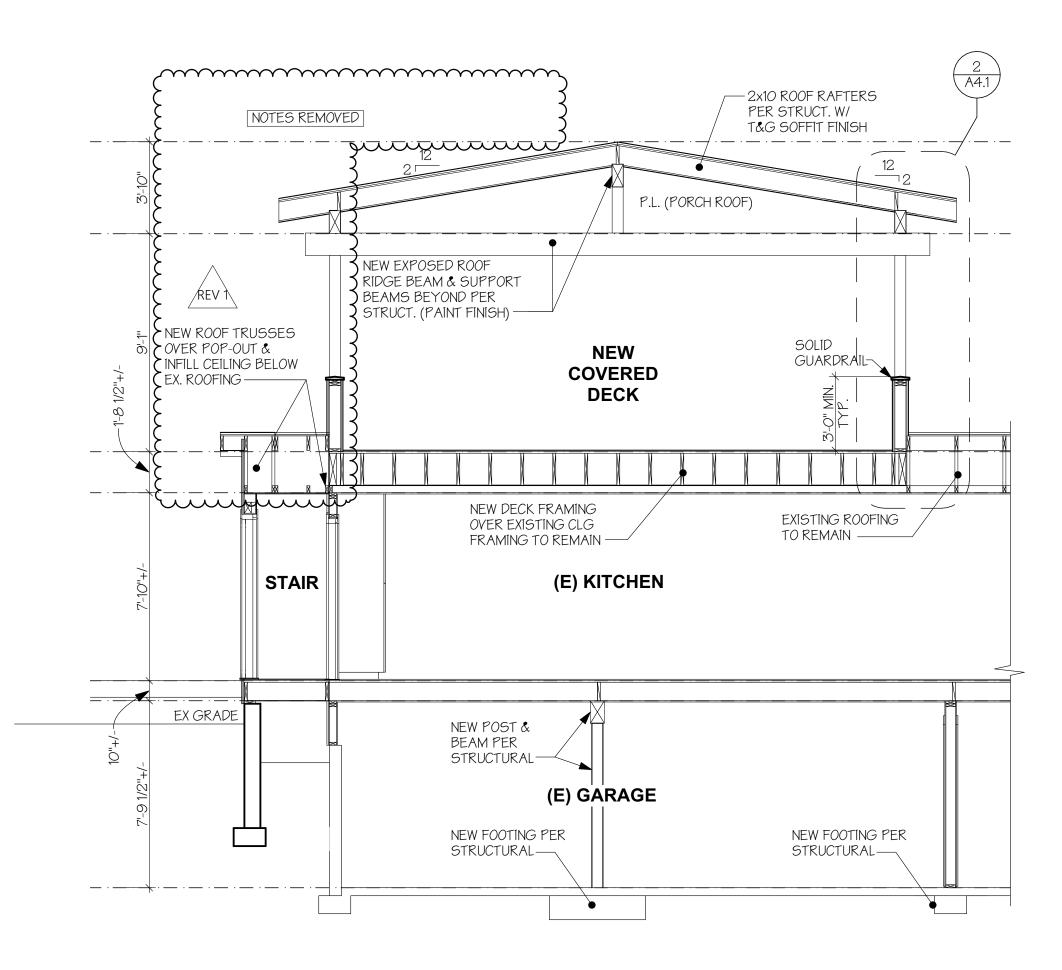
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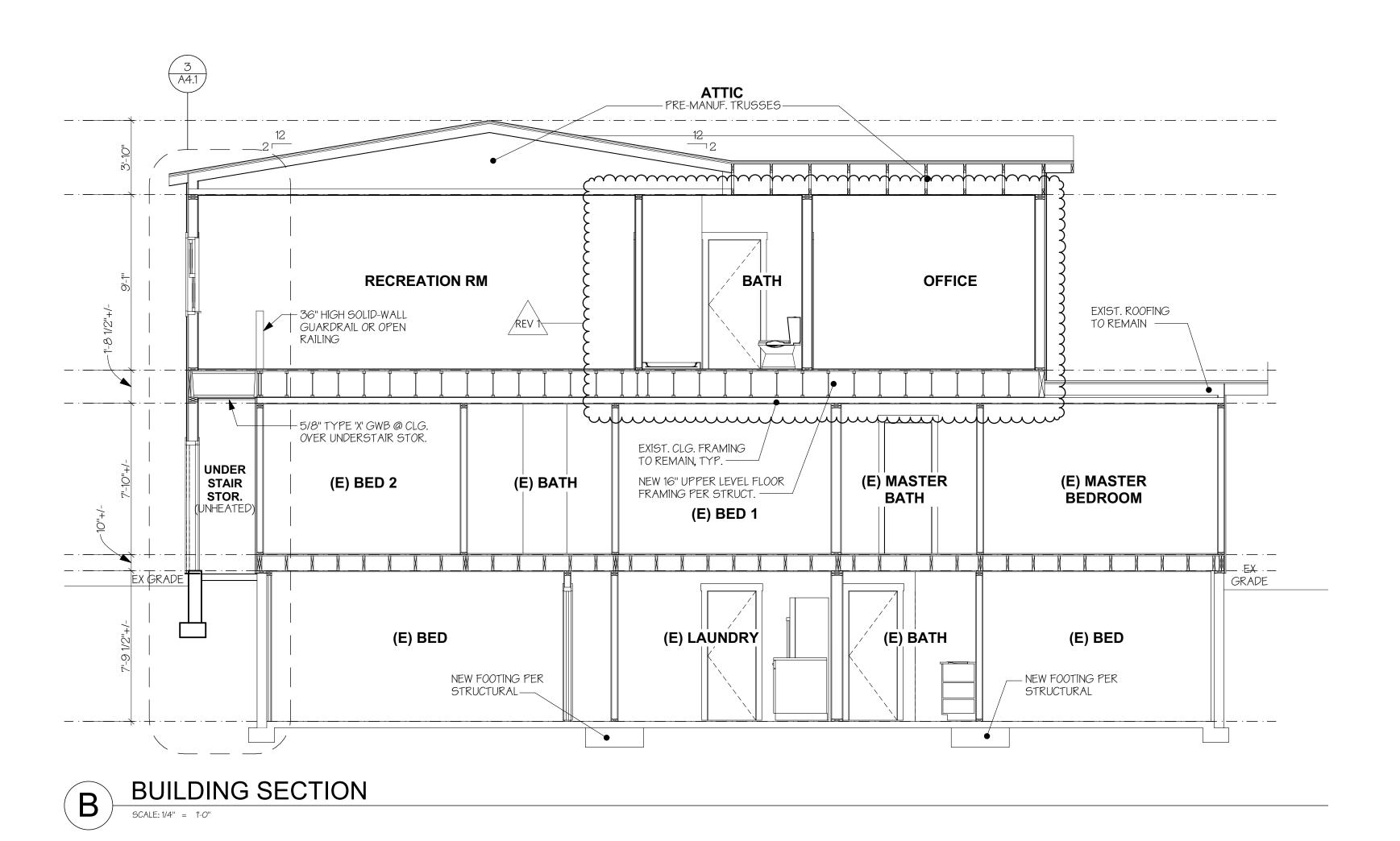
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**BUILDING SECTIONS** 



# PARTIAL BUILDING SECTION





0

MERCE





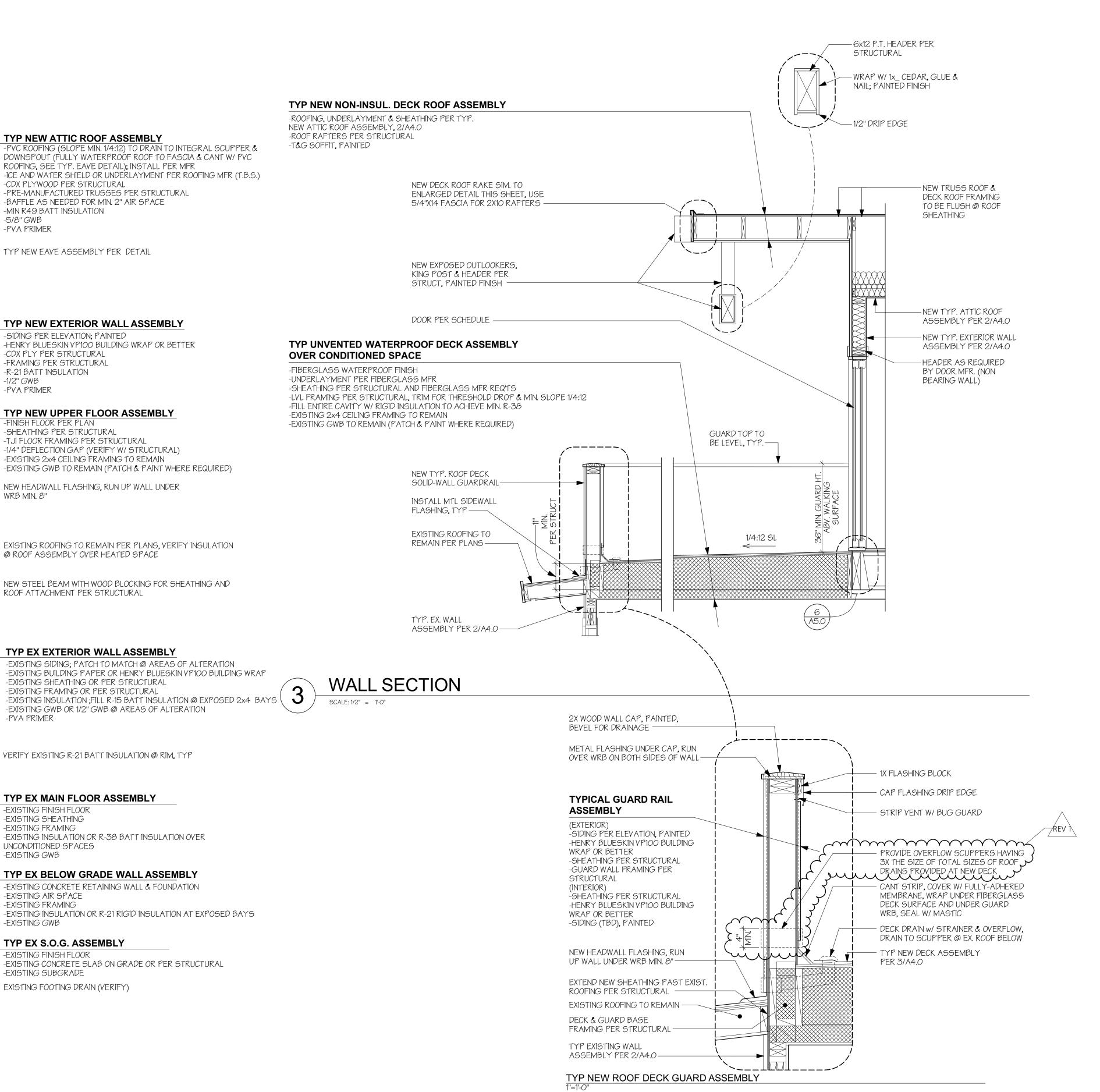
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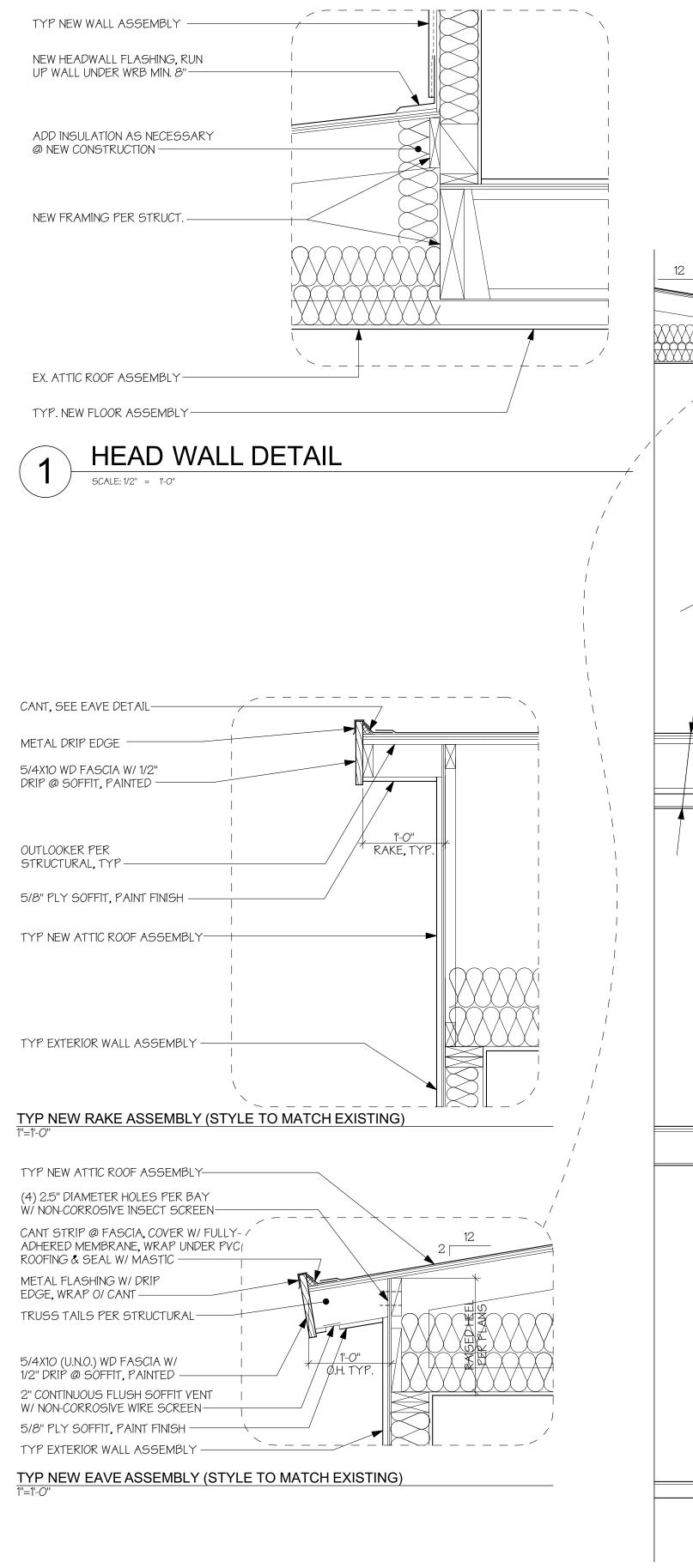
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WALL SECTIONS





-SHEATHING PER STRUCTURAL -TJI FLOOR FRAMING PER STRUCTURAL -1/4" DEFLECTION GAP (VERIFY W/ STRUCTURAL) -EXISTING 2x4 CEILING FRAMING TO REMAIN -EXISTING GWB TO REMAIN (PATCH & PAINT WHERE REQUIRED) - NEW HEADWALL FLASHING, RUN UP WALL UNDER WRB MIN. 8" EXISTING ROOFING TO REMAIN PER PLANS, VERIFY INSULATION @ ROOF ASSEMBLY OVER HEATED SPACE NEW STEEL BEAM WITH WOOD BLOCKING FOR SHEATHING AND ROOF ATTACHMENT PER STRUCTURAL TYP EX EXTERIOR WALL ASSEMBLY -EXISTING SIDING; PATCH TO MATCH @ AREAS OF ALTERATION -EXISTING BUILDING PAPER OR HENRY BLUESKIN VP100 BUILDING WRAP -EXISTING SHEATHING OR PER STRUCTURAL -EXISTING FRAMING OR PER STRUCTURAL -EXISTING INSULATION ;FILL R-15 BATT INSULATION @ EXPOSED 2x4 BAYS -EXISTING GWB OR 1/2" GWB @ AREAS OF ALTERATION -PVA PRIMER VERIFY EXISTING R-21 BATT INSULATION @ RIM, TYP FIN GRADE TYP EX MAIN FLOOR ASSEMBLY -EXISTING FINISH FLOOR -EXISTING SHEATHING -EXISTING FRAMING -EXISTING INSULATION OR R-38 BATT INSULATION OVER UNCONDITIONED SPACES -EXISTING GWB TYP EX BELOW GRADE WALL ASSEMBLY -EXISTING CONCRETE RETAINING WALL & FOUNDATION -EXISTING AIR SPACE -EXISTING FRAMING -EXISTING INSULATION OR R-21 RIGID INSULATION AT EXPOSED BAYS -EXISTING GWB TYP EX S.O.G. ASSEMBLY -EXISTING FINISH FLOOR -EXISTING CONCRETE SLAB ON GRADE OR PER STRUCTURAL -EXISTING SUBGRADE EXISTING FOOTING DRAIN (VERIFY)

TYP NEW ATTIC ROOF ASSEMBLY

-CDX PLYWOOD PER STRUCTURAL

-MIN R49 BATT INSULATION

-5/8" GWB

-PVA PRIMER

ROOFING, SEE TYP. EAVE DETAIL); INSTALL PER MFR

-PRE-MANUFACTURED TRUSSES PER STRUCTURAL

TYP NEW EXTERIOR WALL ASSEMBLY

TYP NEW UPPER FLOOR ASSEMBLY

-HENRY BLUESKIN VP100 BUILDING WRAP OR BETTER

-BAFFLE AS NEEDED FOR MIN. 2" AIR SPACE

TYP NEW EAVE ASSEMBLY PER DETAIL

-SIDING PER ELEVATION; PAINTED

-CDX PLY PER STRUCTURAL

-R-21 BATT INSULATION

-FINISH FLOOR PER PLAN

-1/2" GWB

-PVA PRIMER

-FRAMING PER STRUCTURAL

WALL SECTIONS





TYP. NEW ATTIC ROOF ASSEMBLY PER 2/A4.0 -

TYP. NEW EAVE ASSEMBLY PER DETAIL ON SHT. A4.0

NEW INTERIOR OPEN OR SOLID WALL GUARDRAIL PER STRUCTURAL

TYP. NEW UPPER FLOOR ASSEMBLY PER 2/A4.0 (R-30

BATT INSULATION OVER UNCONDITIONED SPACES) -

TYP. EXISTING EXT. WALL ASSEMBLY PER

2/A4.0 (VERIFY MIN. R-21 INSULATION)-

NEW CONCRETE SLAB PER STRUCTURAL -

EXISTING GRADE

DOOR PER SCHEDULE -

TYP. EXISTING MAIN FLOOR

EXTERIOR METAL THRESHOLD @ STORAGE DOOR, PROVIDE DOOR PAN -

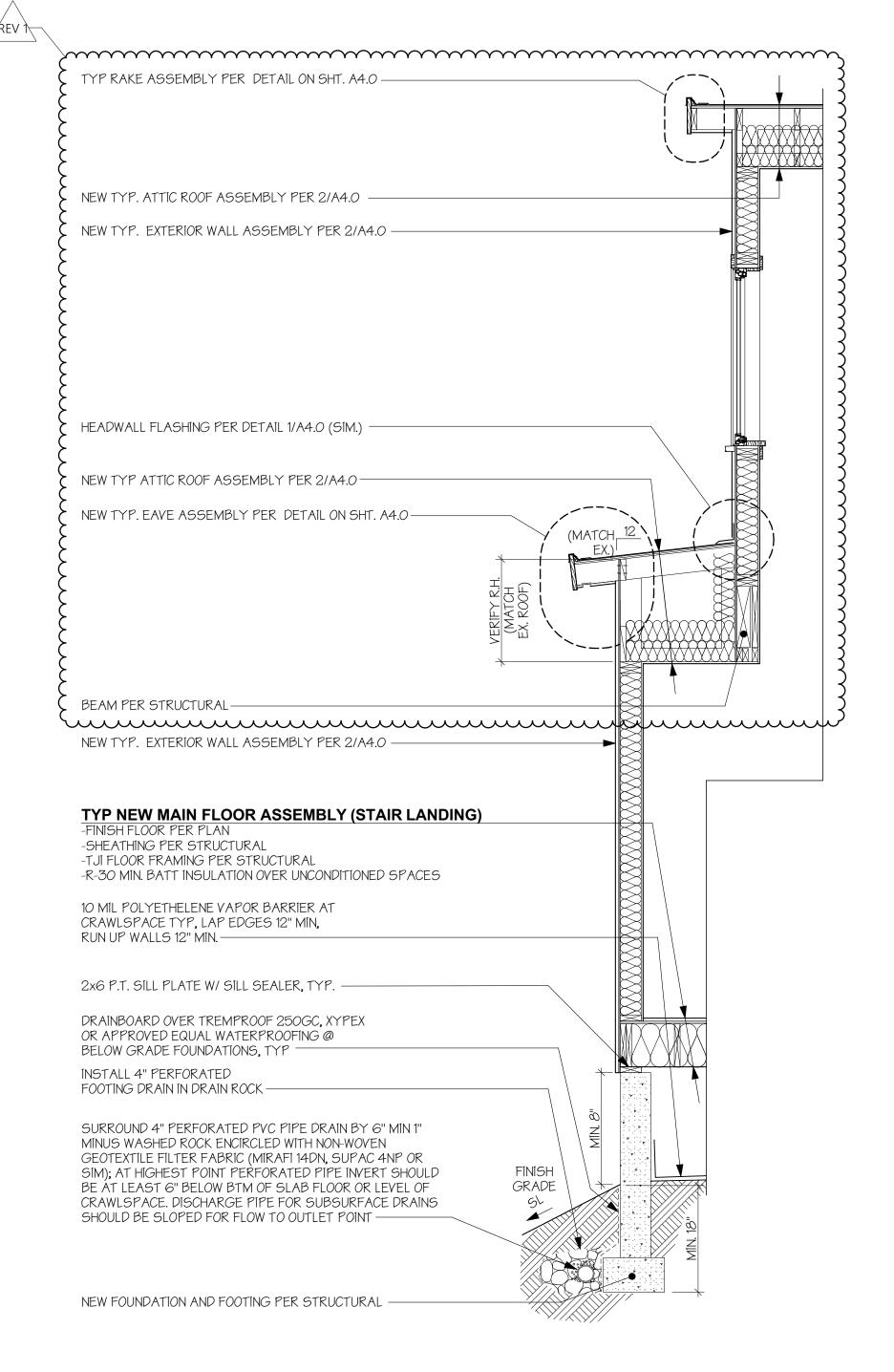
NEW FOUNDATION & FOOTING PER

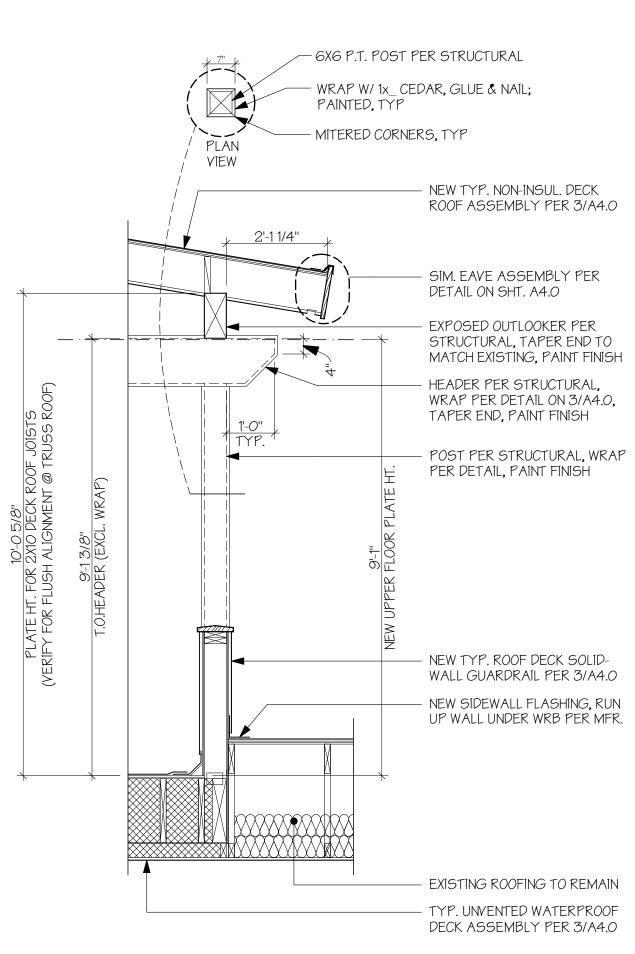
TYP. EXISTING BELOW-GRADE WALL

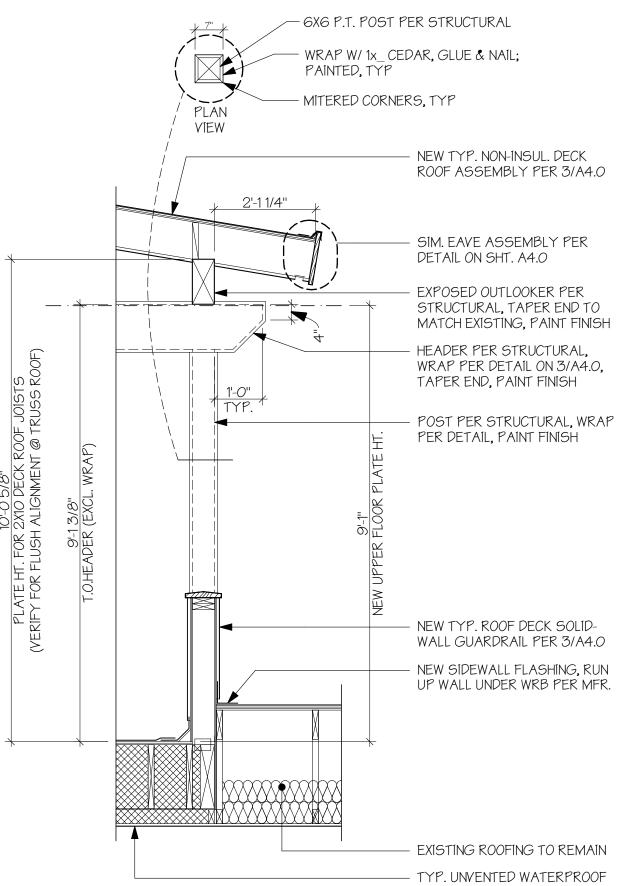
ASSEMBLY & S.O.G. PER 2/A4.O -

STRUCTURAL, SEE 1/A4.1 FOR MORE NOTES

ASSEMBLY PER 2/A4.0 -









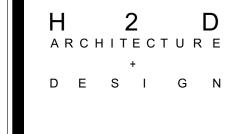
**WALL SECTION** 

WALL SECTION







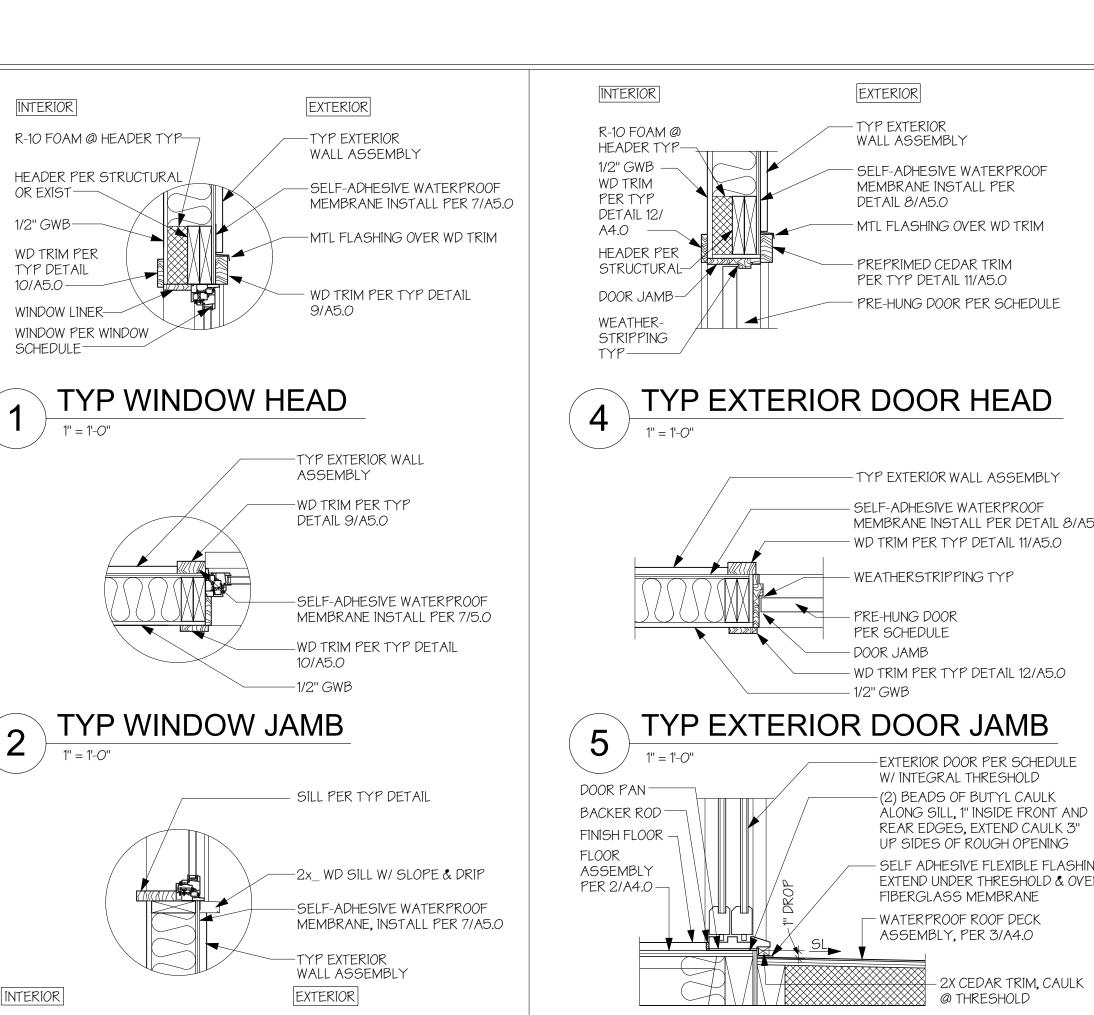


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TYP. DETAILS



6

WINDOW TRIM TO MATCH EXISTING, TYP. -

WINDOW PER WINDOW

SCHEDULE

WINDOW TRIM TO

MATCH EXISTING

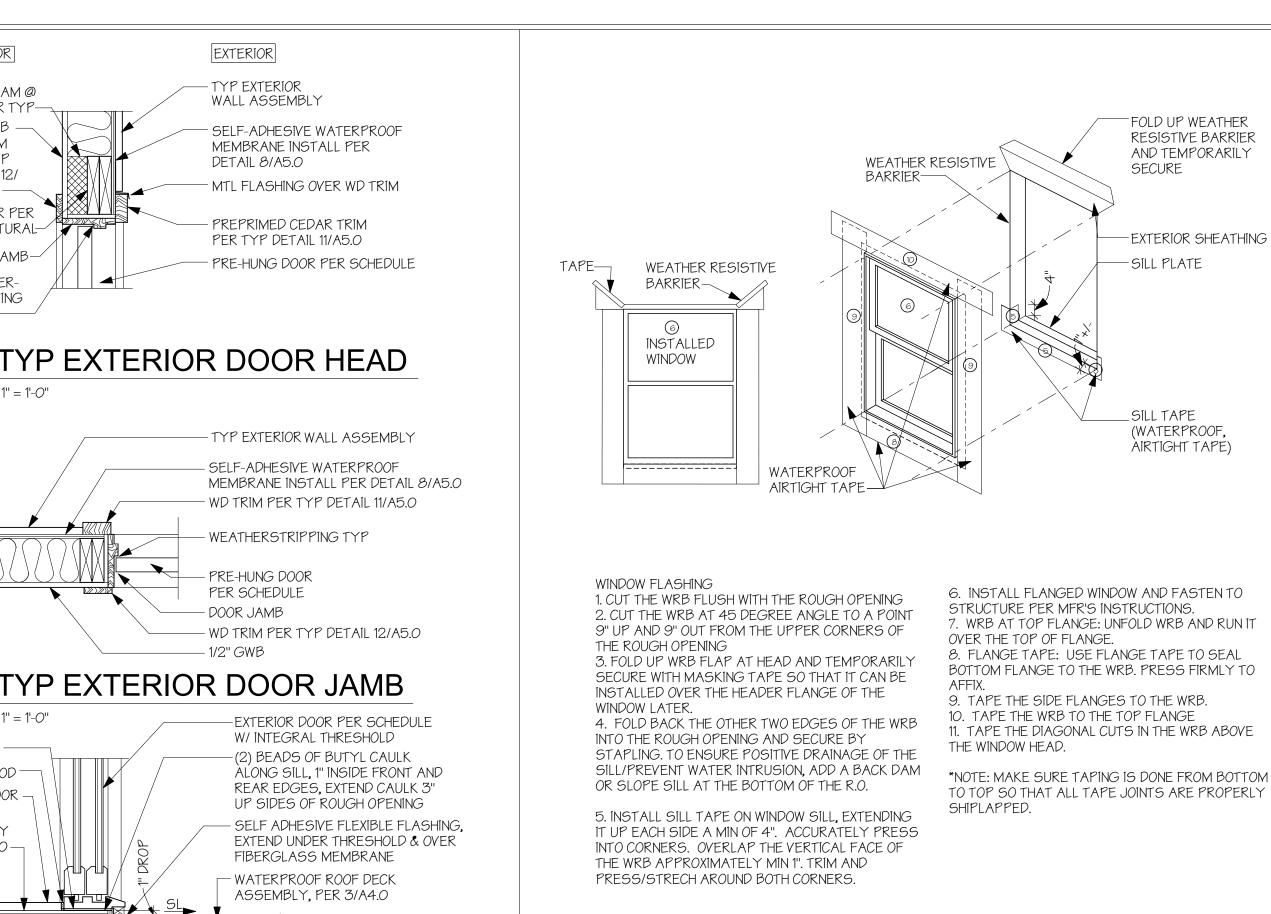
-THIN SET

BLOCKING

TYP WINDOW SILL

1. INSTALL BACKER ROD AND/OR FOAM INSULATION @ ANY GAP BETWEEN WINDOW AND ROUGH FRAME. TYP

TYPICAL WINDOW NOTE:



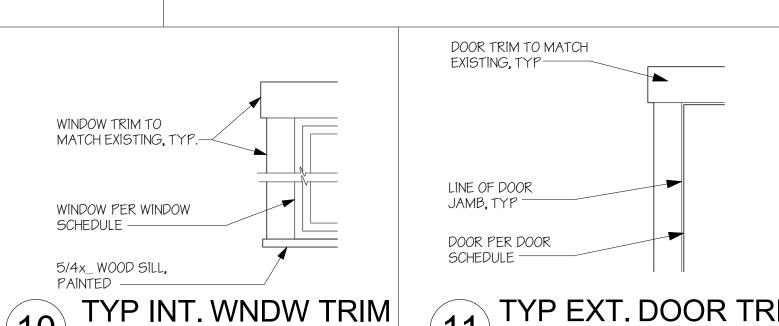
6. INSTALL FLANGED WINDOW AND FASTEN TO STRUCTURE PER MFR'S INSTRUCTIONS. 7. WRB AT TOP FLANGE: UNFOLD WRB AND RUN IT 8. FLANGE TAPE: USE FLANGE TAPE TO SEAL BOTTOM FLANGE TO THE WRB. PRESS FIRMLY TO 9. TAPE THE SIDE FLANGES TO THE WRB. 10. TAPE THE WRB TO THE TOP FLANGE 11. TAPE THE DIAGONAL CUTS IN THE WRB ABOVE

OR APPROVED EQUAL

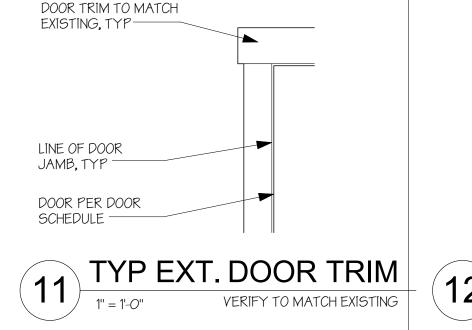
\*NOTE: MAKE SURE TAPING IS DONE FROM BOTTOM TO TOP SO THAT ALL TAPE JOINTS ARE PROPERLY

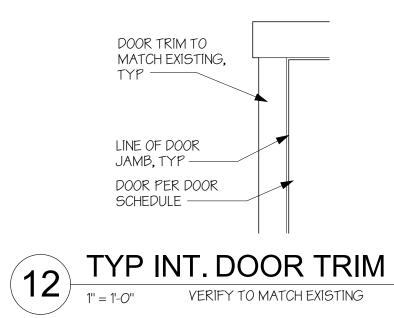
DOOR FLASHING 1. CUT THE WRB FLUSH AT THE DOOR R.O. 2. AT THE DOOR R.O. HEAD, CUT THE WRB AT 45 DEGREE ANGLE TO A POINT 9" UP AND 9" OUT FROM THE UPPER CORNERS OF THE ROUGH OPENING 3. FOLD UP WRB FLAP AT HEAD AND TEMPORARILY SECURE WITH MASKING TAPE SO THAT IT CAN BE INSTALLED OVER 6. INSTALL WP AIRTIGHT TAPE ON THE JAMB AND THE HEADER FLANGE OF THE WINDOW LATER. INTO THE FULL INTERIOR DEPTH OF THE ROUGH 4. FOLD BACK THE OTHER TWO EDGES OF THE WRB INTO THE OPENING OVERLAPPING THE WRB. ROUGH OPENING AND SECURE WITH AIRTIGHT TAPE. ADD A 7. INSTALL WP AIRTIGHT TAPE TO THE HEAD BACK DAM OR SLOPE SILL AT THE BOTTOM OF THE R.O. 8. TAPE THE DIAGONAL CUTS IN THE WRB ABOVE THE DOOR HEAD. 5. INSTALL WATERPROOF AIRTIGHT TAPE ON SILL AND INTO FULL DEPTH OF ROUGH OPENING, EXTENDING IT UP EACH \*NOTE: MAKE SURE TAPING IS DONE FROM BOTTOM SIDE A MIN OF 6". ACCURATELY PRESS INTO CORNERS. TO TOP SO THAT ALL TAPE JOINTS ARE PROPERLY OVERLAP THE VERTICAL FACE OF THE WRB APPROXIMATELY SHIPLAPPED. MIN 3". TRIM AND PRESS/STRECH AROUND BOTH CORNERS.

TYP DOOR FLASHING DTL @ EXTERIOR OR APPROVED EQUAL



7 TYP WINDOW FLASHING DTL

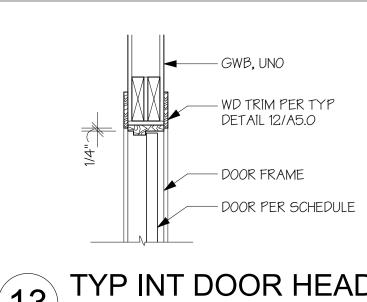


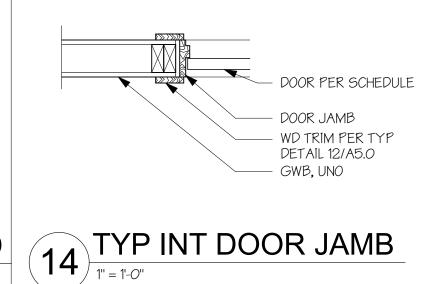


WATERPROOF

FOR SEALING AROUND DOORS

AIRTIGHT TAPE





---EXTERIOR SHEATHING

FOLD UP WEATHER-RESISTIVE

-WEATHER-RESISTIVE WRAP INTO OPENING

-WATERPROOF

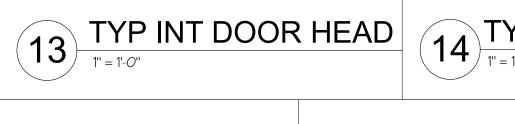
AIRTIGHT TAPE

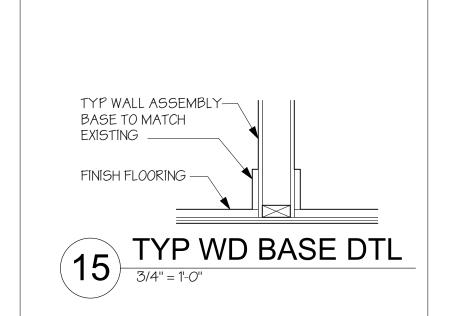
-LEDGER FLASHING

SEAL TOP OF JOISTS

UNDER DECKING

BARRIER & TEMPORARILY

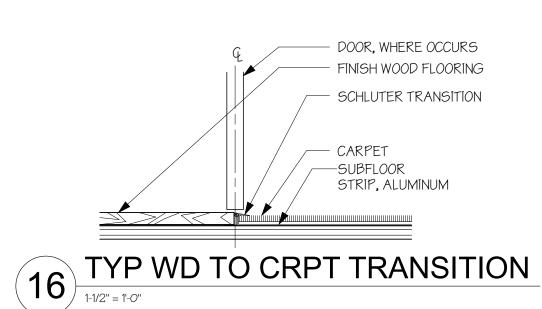




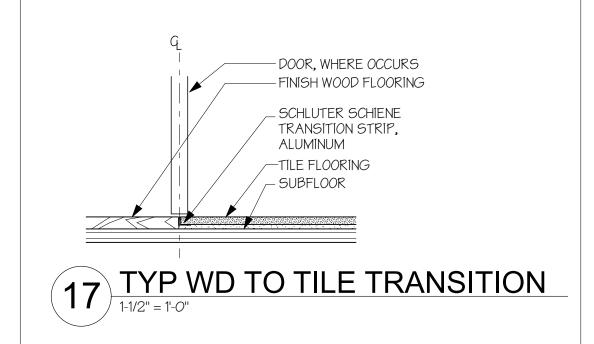
TYP DOOR THRESHOLD

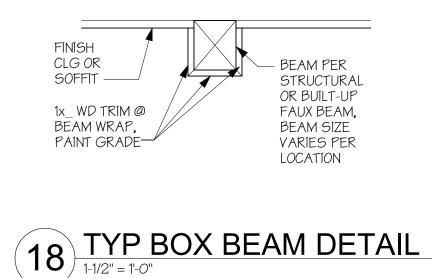
TYP EXT. WNDW TRIM

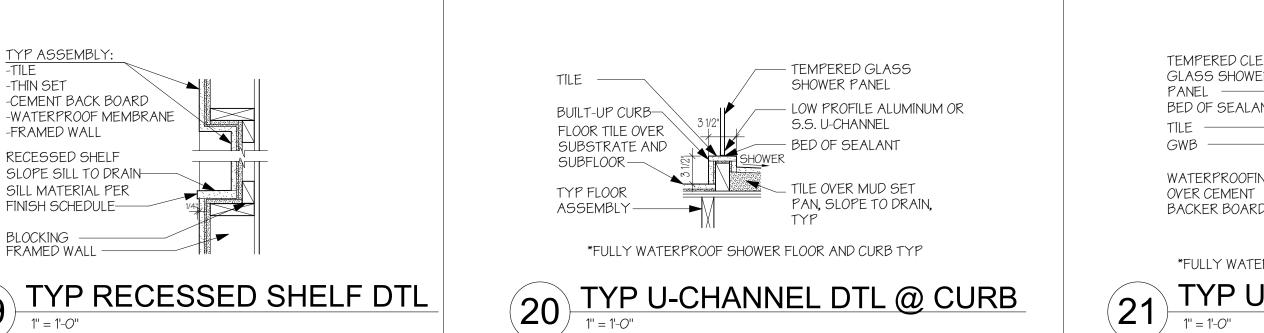
VERIFY TO MATCH EXISTING

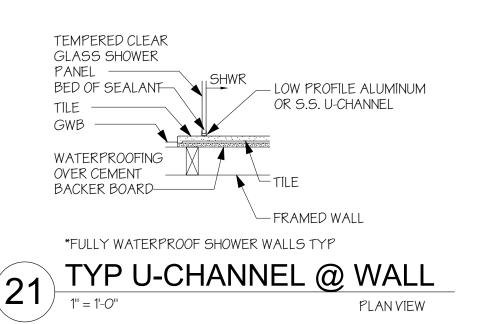


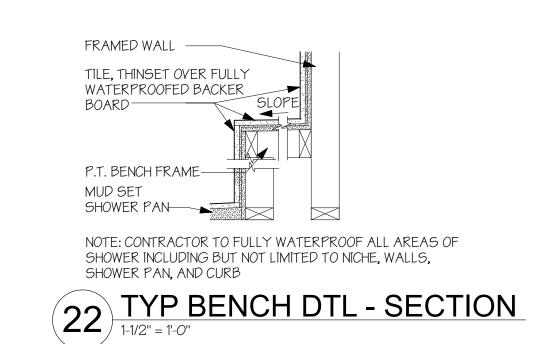
1" = 1'-0" VERIFY TO MATCH EXISTING











## STRUCTURAL NOTES

(THESE NOTES ARE TYPICAL UNLESS NOTED OR DETAILED OTHERWISE ON DRAWINGS)

ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION. SPECIFICATIONS AND STANDARDS WHERE REFERENCED ON THE DRAWINGS ARE TO BE THE LATEST EDITION.

### **DESIGN LOADS**

DEAD LOADS:	
ROOF	15 PSF
FLOOR	15 PSF
LIVE LOADS:	
ROOF (SNOW LOAD)	25 PSF
RESIDENTIAL	40 PSF
DECKS	60 PSF

### EARTHQUAKE LOADS:

### FOUNTALENT LATERAL ECONCE DECCEDEDE DER ASCE 7-16 SECTION 12.8

	EQUIVALENT LATERAL FORCE PROCEDURE PER ASCE 7-16 SECTION :	12.8.
	SITE CLASS (ASSUMED) SHORT PERIOD SPECTRAL RESPONSE ACCEL (S <sub>S</sub> ) ONE SECOND SPECTRAL RESPONSE ACCEL (S <sub>I</sub> ) SHORT PERIOD DESIGN SPECTRAL RESPONSE ACCEL (S <sub>DS</sub> ) ONE SECOND DESIGN SPECTRAL RESPONSE ACCEL (S <sub>DI</sub> ) RISK CATEGORY SEISMIC IMPORTANCE FACTOR (I <sub>E</sub> ) SEISMIC DESIGN CATEGORY BASIC SEISMIC FORCE-RESISTING-SYSTEM RESPONSE MODIFICATION FACTOR, (R) REDUNDANCY FACTOR (p) SEISMIC RESPONSE COEFFICIENT (C <sub>S</sub> )	D 1.395 0.486 0.930 0.882 II 1.0 D PLYWOOD SHEAR WALLS 6.5 1.0 0.143
	W = TOTAL SEISMIC DEAD LOAD AS DEFINED PER ASCE 7-16 SECTIO BASE SHEAR (V), $V = C_SW = \frac{S_{DS}}{R/I}W$	N 12.7.2.
VI	D LOADS:	
	BASIC WIND SPEED (3 SECOND GUST) EXPOSURE K <sub>ZT</sub>	110 MPH B 1.0

### STATEMENT OF SPECIAL INSPECTIONS

SPECIAL INSPECTIONS ARE REQUIRED AS INDICATED IN THE FOLLOWING TABLE. THE CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND OWNER PRIOR TO COMMENCEMENT OF WORK IN ACCORDANCE WITH CHAPTER 1704.4 OF THE IBC.

STEEL CONSTRUCTION - SPECIAL INSPECTION IS REQUIRED IN CONFORMANCE WITH IBC SECTION 1705.2 AND 1705.11.1.

SPECIAL INSPECTION FOR THE ABOVE SYSTEMS SHALL BE AS INDICATED IN THE SPECIAL INSPECTION TABLE BELOW.

STRUCTURAL OBSERVATION OF THE STRUCTURAL SYSTEM BY THE ENGINEER IS NOT REQUIRED.

FREQUENCY AND DISTRIBUTION OF REPORTS - INSPECTION REPORTS SHALL BE PROVIDED FOR EACH DAY ON SITE BY SPECIAL INSPECTOR. STRUCTURAL OBSERVATION REPORTS SHALL BE PROVIDED AFTER EACH OBSERVATION. REPORTS SHALL BE DISTRIBUTED TO THE CONTRACTOR, ARCHITECT, ENGINEER AND BUILDING OFFICIAL.

### SPECIAL INSPECTION

OPERATION	CONT	PERIODIC	REMARKS
STRUCTURAL STEEL			
FABRICATION & ERECTION		Х	
SHOP & FIELD WELDING			
SINGLE PASS FILLET WELDS ≤ 5/16"		Х	
OTHER WELDING		Х	

ALL ITEMS MARKED WITH AN "X" SHALL BE INSPECTED IN ACCORDANCE WITH IBC CHAPTER 17. SPECIAL INSPECTION SHALL BE PERFORMED BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING OFFICIAL SHALL BE FURNISHED WITH COPIES OF ALL RESULTS, ANY INSPECTION FAILING TO MEET THE PROJECT SPECIFICATIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

### SHOP DRAWINGS

SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL **ENGINEER FOR REVIEW PRIOR TO FABRICATION:** 

1. PRE-ENGINEERED ROOF TRUSSES

SHOP DRAWINGS SHALL BE REVIEWED. REVISED AS REQUIRED FOR FIELD CONDITIONS, AND DATE STAMPED BY THE CONTRACTOR PRIOR TO REVIEW BY THE ENGINEER. CONTRACTOR SHALL PROVIDE (3) SETS OF SHOP DRAWINGS FOR ENGINEER'S REVIEW. ALLOW TWO WEEKS FOR SHOP DRAWING APPROVAL BY ENGINEER.

ENGINEER'S SHOP DRAWING REVIEW IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AND CONTRACT DOCUMENTS. MARKINGS OR COMMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFORMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, AND FOR PERFORMING THE WORK IN A SAFE MANNER.

ENGINEER'S SHOP DRAWING REVIEW OF STRUCTURAL COMPONENTS DESIGNED BY OTHERS IS FOR LOADS IMPOSED ON THE BASIC STRUCTURE. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL CONNECTIONS TO THE BASIC STRUCTURE. SHOP DRAWINGS SHALL INDICATE MAGNITUDE AND DIRECTION OF THE LOADS IMPOSED ON THE BASIC STRUCTURE AND SHALL BE STAMPED & SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE SAME STATE AS THE PROJECT.

FABRICATION SHALL BEGIN ONLY AFTER SHOP DRAWINGS BEARING THE STAMP AND SIGNATURE OF THE PROJECT ARCHITECT, ENGINEER OF RECORD, AND CONTRACTOR HAVE BEEN RECEIVED.

### **DEFERRED APPROVAL ITEMS**

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND INDICATE THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTALS SHALL BE STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE SAME STATE AS THE PROJECT.

1. PRE-ENGINEERED ROOF TRUSSES

### **FOUNDATIONS: SPREAD FOOTINGS**

SOILS REPORT:	REPORT NO: PREPARED BY DATED:	Y:	22-179 PANGEO, INC. 09/02/2022
ALLOWABLE SOIL PRESS	URE: 2	2000	PSF

LATERAL EARTH PRESSURE

UNRESTRAINED: 35 PCF + ANY APPLICABLE SURCHARGE RESTRAINED: 45 PCF + ANY APPLICABLE SURCHARGE

PASSIVE: COEFFICIENT OF FRICTION: 0.35

FOOTINGS SHALL BEAR ON FIRM UNDISTURBED EARTH OR 12" OF COMPACTED STRUCTURAL FILL AS REQUIRED AND AT LEAST 18" BELOW ADJACENT EXTERIOR GRADE. ANY FOOTING ELEVATIONS SHOWN IN THE DRAWINGS REPRESENT MINIMUM DEPTHS AND ARE FOR BIDDING ONLY. ACTUAL FOOTING ELEVATIONS ARE SUBJECT TO SITE CONDITIONS AND MUST THEREFORE BE ESTABLISHED BY THE CONTRACTOR. FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE, UNLESS NOTED OTHERWISE.

### 

ALL CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED, AND PLACED IN ACCORDANCE WITH CHAPTER 26 OF ACI 318 AND THE AMERICAN CONCRETE INSTITUTE'S SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS

ALL CONCRETE SHALL BE STONE-AGGREGATE CONCRETE HAVING A UNIT WEIGHT OF APPROXIMATELY 150 POUNDS PER CUBIC FOOT.

CONCRETE STRENGTHS AT 28 DAYS (f'c) AND MIX CRITERIA SHALL BE AS FOLLOWS:

TYPE OF CONSTRUCTION	f'c*	MAXIMUM WATER/CEMENT RATIO	MIN CEMENT CONTENT PER CUBIC YARD	MAXIMUM SHRINKAGE STRAIN
FOOTINGS	3000 PSI	0.52	5 1/2 SACK	N/A

THE MINIMUM AMOUNT OF CEMENT LISTED ABOVE MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER, AND ADMIXTURES AS WELL AS THE WATER-CEMENT RATIO, SLUMP, CONCRETE YIELD, AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH CHAPTER 26 OF ACI 318.

ALL CONCRETE EXPOSED TO WEATHER OR TO FREEZING TEMPERATURES SHALL BE AIR-ENTRAINED IN ACCORDANCE WITH ACI 318 TABLE 19.3.3.1 FOR MODERATE EXPOSURE CLASS F1.

\*PROVIDE f'c SPECIFIED IN TABLE FOR DURABILITY REQUIREMENTS. 2500 PSI CONCRETE MEETS STRENGTH REQUIREMENTS, THEREFORE SPECIAL INSPECTION IS NOT REQUIRED.

### REINFORCING STEEL

REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615, AND SHALL BE GRADE 60 (Fy = 60,000 PSI), UNLESS NOTED OTHERWISE. GRADE 60 REINFORCING BARS INDICATED ON DRAWINGS TO BE WELDED SHALL CONFORM TO ASTM A706. REINFORCING COMPLYING WITH ASTM A615 MAY BE WELDED IF MATERIAL PROPERTY REPORTS INDICATING CONFORMANCE WITH WELDING PROCEDURES SPECIFIED IN AWS D1.4 ARE

REINFORCING STEEL SHALL BE DETAILED INCLUDING HOOKS AND BENDS IN ACCORDANCE WITH SP-66 AND ACI 318R, LATEST EDITIONS. UNLESS OTHERWISE NOTED, REINFORCING SPLICE LENGTHS AND DEVELOPMENT LENGTHS SHALL BE PER SCHEDULE.

REINFORCING SHALL BE PLACED AND ADEQUATELY SUPPORTED PRIOR TO PLACING CONCRETE. WET-SETTING EMBEDDED ITEMS IS NOT ALLOWED WITHOUT PRIOR ENGINEER APPROVAL. BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL NOT BE FIELD BENT UNLESS SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER, REFER TO CHAPTER 7 OF ACI 318 FOR OTHER REINFORCING STEEL REQUIREMENTS.

### CONCRETE COVER ON REINFORCING

CONCRETE COVER ON REINFORCING	
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:	3"
CONCRETE EXPOSED TO EARTH AND WEATHER: #5 BARS AND SMALLER	1 1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER: SLABS, WALLS AND JOISTS COLUMN TIES OR SPIRALS AND BEAM STIRRUPS	3/4" 1 1/2"

VERTICAL BARS SHALL START FROM TOP OF FOOTING. HORIZONTAL BARS SHALL START A DISTANCE OF 1/2 THE NORMAL BAR SPACING FROM TOP OF FOOTING AND TOP OF FRAMED SLABS. IN ADDITION, THERE SHALL BE A HORIZONTAL BAR AT A MAXIMUM OF 3" FROM TOP OF WALL AND BOTTOM OF FRAMED SLABS.

BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL NOT BE FIELD BENT UNLESS SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

### STRUCTURAL STEEL

STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST

SHAPES SHALL CONFORM TO ASTM A992, Fy = 50 KSI.

PLATES SHALL CONFORM TO ASTM A36, Fy = 36 KSI.

BOLTS CONNECTING STEEL MEMBERS SHALL CONFORM TO ASTM A325-N. BOLTS SHALL BE 3/4"Ø MINIMUM, UNO ANCHOR BOLTS SHALL CONFORM TO ASTM A307.

CONTRACTOR SHALL PROVIDE CONNECTION ADJUSTMENT TOLERANCES TO SATISFY THE REQUIREMENTS OF AISC MANUAL OF STEEL CONSTRUCTION.

UNLESS SPECIFIED AS STAINLESS STEEL, ALL STEEL MEMBERS, SHAPES, BOLTS, AND ACCESSORIES EXPOSED TO WEATHER SHALL BE HOT DIP GALVANIZED.

WELDING SHALL CONFORM TO AWS "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING SHALL BE DONE WITH 70 KSI LOW HYDROGEN ELECTRODES. WHERE NOT CALLED OUT, MINIMUM FILLET WELD SIZE SHALL BE PER TABLE 5.8 IN AWS D1.1, LATEST EDITION.

ALL WELDING SHALL BE DONE BY WASHINGTON ASSOCIATION OF BUILDING OFFICIALS (WABO) CERTIFIED WELDERS.

### LUMBER

ALL GRADES SPECIFIED ARE MINIMUM GRADES REQUIRED. ALL LUMBER SHALL BE IN ACCORDANCE WITH WWPA GRADING RULES, KILN-DRIED TO MC 19 AND OF THE FOLLOWING MINIMUM STANDARDS:

SIZE CLASSIFICATION	SPECIES	GRADE	Fb (PSI)	Fc (PSI)
LIGHT FRAMING (STUDS)	HEM-FIR	STUD	675	800
2x JOISTS AND PLANKS	HEM-FIR	#2	850	ı
PLATES AND BLOCKING	HEM-FIR	#2	850	ı
6x AND LARGER BEAMS AND STRINGERS	DOUG-FIR	#2	875	-
4x AND SMALLER BEAMS AND STRINGERS	HEM-FIR	#2	850	-
ALL POSTS AND TIMBERS	DOUG-FIR	#1	1200	1000

REFER TO PLAN NOTES, SCHEDULES, AND DETAILS FOR MORE SPECIFIC LUMBER SIZE AND GRADE REQUIREMENTS.

UNLESS NOTED OTHERWISE IN THE PLANS, ALL WOOD AND WOOD-BASED MEMBERS EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE, MASONRY, OR WITHIN 8" OF SOIL SHALL BE PRESERVATIVE-TREATED BY VACUUM-PRESSURE IMPREGNATION IN ACCORDANCE WITH AWPA STANDARD U1.

### NAILS, BOLTS, AND METAL CONNECTORS FOR WOOD

ALL NAILS SHALL CONFORM TO THE STANDARDS SET FORTH BY THE NATIONAL DESIGN STANDARDS (NDS) FOR WOOD CONSTRUCTION, LATEST EDITION, NAILING NOT SPECIFIED SHALL BE PER IBC TABLE 2304.9.1 NAILING SCHEDULE. ALL NAILS CALLED OUT ON PLANS SHALL BE COMMON NAILS UNLESS NOTED OTHERWISE AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM GUIDELINES:

NAIL	SHANK Ø	MIN LENGTH
8d COMMON	0.131Ø	2 1/2" SHANK
10d COMMON	0.148Ø	3" SHANK
12d COMMON	0.148Ø	3 1/4" SHANK
16d COMMON	0.162Ø	3 1/2" SHANK

10d BOX NAILS MAY BE SUBSTITUTED FOR 8d COMMON NAILS WITH NO CHANGE IN NAIL SPACING. FRAMING MEMBERS MAY BE NAILED WITH 16d SINKERS (0.148"Ø x 3 1/4"), BUT ONLY 16d COMMON NAILS SHALL BE USED WHERE 16d NAILS ARE INDICATED IN THIS DRAWING SET. ENGINEER MAY APPROVE OTHER NAILS IF NAIL LABELS ARE SUBMITTED TO ENGINEER PRIOR TO START OF CONSTRUCTION.

ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. LEAD HOLES FOR LAG BOLTS SHALL BE BORED FOR THE SHANK AND THREADED PORTIONS PER NDS 11.1.3.

CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, CATALOG TO BE THE LATEST EDITION, OR ENGINEER APPROVED EQUAL. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND WITH THE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY THE MANUFACTURER. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS, SCREWS, OR BOLTS IN EACH MEMBER.

INSTALL SOLID BLOCKING AT ALL BEARING POINTS. ALL SHIMS SHALL BE SEASONED, DRIED, AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

### **GALVANIZATION**

UNLESS NOTED OTHERWISE, STEEL CONNECTORS IN CONTACT WITH TREATED WOOD SHALL BE GALVANIZED ACCORDING TO THE FOLLOWING TABLE:

GALVANIZATION	UNTREATED WOOD	CCA-C	SBX	ACQ-C ACQ-D	CBA-A CA-B	OTHER BORATE	ACZA	OTHER PT WOOD
G90	Х	Х	Х					
G185	Х	Х	Х	Х	Х	Х		
HDG	Х	Х	Х	Х	Х	Х		
STT300	х	Х	Х	Х	х	Х	Х	Х

G90 = 0.90 OZ. OF ZINC PER SQUARE FOOT OF AREA G185 = 1.85 OZ. OF ZINC PER SQUARE FOOT OF AREA HDG = HOT DIP GALVANIZED

SST300 = TYPE 316L STAINLESS STEEL

### **RATED SHEATHING**

RATED SHEATHING SHALL BE GRADE C-D INT-APA WITH EXTERIOR GLUE OR OSB SHEATHING WITH EXTERIOR GLUE IN CONFORMANCE WITH IBC STANDARD 2303.1.4.

### **WOOD I-JOISTS**

WOOD I-JOISTS, MANUFACTURED BY THE TRUS JOIST CORPORATION SHALL BE SIZED AND DETAILED TO FIT THE DIMENSIONS AND LOADS INDICATED ON THE PLANS. ALL DESIGN SHALL BE IN ACCORDANCE WITH THE ALLOWABLE VALUES AND SECTION PROPERTIES ASSIGNED BY THE BUILDING CODE.

PROVIDE TEMPORARY BRACING UNTIL SHEATHING AND PERMANENT BRACING IS INSTALLED. MANUFACTURER SHALL PROVIDE ALL SPECIALTY ITEMS REQUIRED FOR A COMPLETE INSTALLATION OF JOISTS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

ALL TRUSS JOISTS ARE TO BE CONNECTED TO FLUSH BEAMS WITH SIMPSON TYPE ITS, IUS, OR BA HANGERS. PROVIDE WEB STIFFENERS AS REQUIRED.

### TIMBERSTRAND, MICROLLAM, AND PARALLAM MEMBERS

FABRICATED IN CONFORMANCE WITH THE INTERNATIONAL CODE COUNCIL EVALUATION SERVICE (ICC-ES) REPORT NO. ESR-1387 OR CCMC REPORT NO. 12627-R, 08675-R, AND 11161-R. EACH MEMBER SHALL BE IDENTIFIED BY A STAMP INDICATING THE PRODUCT TYPE AND GRADE, ICC-ES OR CCMC REPORT NUMBER, MANUFACTURER'S NAME, PLANT NUMBER AND INDEPENDENT INSPECTION AGENCY'S LOGO. FABRICATOR SHALL BE CERTIFIED. MEMBERS SHALL MEET THE FOLLOWING MINIMUM STANDARDS:

SIZE CLASSIFICATION	SPECIES	GRADE	Fb (PSI)	Fv (PSI	Fc (PSI)
IMS & BEAMS (d ≥ 9 1/2")	LSL	1.55E	2,325	310	-
EAMS (d ≥ 9 1/2")	PSL	2.2E	2,900	290	-

TIMBERSTRAND, MICROLLAM, AND UNTREATED PARALLAM MEMBERS ARE INTENDED FOR DRY-USE APPLICATIONS. UNLESS NOTED OTHERWISE, ENGINEERED WOOD BEAMS EXPOSED TO WEATHER SHALL BE TREATED PER MANUFACTURES RECOMMENDATIONS.

### **PRE-MANUFACTURED WOOD TRUSSES**

WOOD TRUSSES SHALL BE SIZED AND DETAILED TO FIT DIMENSIONS AND LOADS INDICATED ON THE PLANS. ALL DESIGN SHALL BE IN ACCORDANCE WITH THE ALLOWABLE VALUES AND SECTION PROPERTIES ASSIGNED BY THE BUILDING CODE. SUBMIT SHOP DRAWINGS FOR ENGINEER REVIEW PRIOR TO FABRICATION. CALCULATIONS AND SHOP DRAWINGS SHALL BE SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE SAME STATE AS THE PROJECT. TRUSS DESIGN AND SHOP DRAWINGS SHALL BE IN CONFORMANCE WITH IBC 2303.4

PROVIDE TEMPORARY BRACING UNTIL SHEATHING AND PERMANENT BRACING IS INSTALLED. MANUFACTURER SHALL PROVIDE ALL SPECIALTY ITEMS REQUIRED FOR A COMPLETE INSTALLATION OF JOISTS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

FOR TOP CHORD DESIGN LIVE LOADS, REFER TO THE DESIGN LOAD SECTION. IN ADDITION TO ROOF LOADING LISTED IN THE DESIGN LOAD SECTION, ROOF TRUSSES SHALL BE DESIGNED FOR A BOTTOM CHORD LIVE LOAD OF 10 PSF. TOP AND BOTTOM CHORD LIVE LOAD DO NOT NEED TO BE DESIGNED FOR SIMULTANEOUSLY.

IN ADDITION TO THEIR SELF WEIGHT, ROOF TRUSSES SHALL BE DESIGNED FOR A TOP CHORD DEAD LOAD OF 5 PSF AND A BOTTOM CHORD DEAD LOAD OF 10 PSF ACTING SIMULTANEOUSLY. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOADS AND OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS. DEFLECTIONS SHALL NOT EXCEED L/360 FOR LIVE LOADS. OR L/240 FOR TOTAL LOADS.

### TYPICAL FRAMING NOTES

### 1. BEARING WALL FRAMING

2x STUDS @ 16" OC FOR ALL SHEAR AND/OR BEARING WALLS UNO.

REFER TO FRAMING PLAN NOTES FOR TYPICAL DOOR & WINDOW HEADERS NOT CALLED OUT ON THE PLANS. HEADERS SHALL BE SUPPORTED BY A MINIMUM OF (1) CRIPPLE AND (1) FULL HEIGHT STUD UNO.

COLUMNS BELOW FLUSH MULTIPLE JOIST BEAMS SHALL BE EQUAL IN WIDTH TO THE BEAM. ALL COLUMNS NOT CALLED OUT OTHERWISE SHALL BE TWO STUDS.

### 2. WALL BASE PLATE ON CONCRETE

WALL PLATES BEARING ON CONCRETE SHALL BE PRESSURE-TREATED. FOR ALL EXTERIOR AND INTERIOR WALLS, BOLT PLATES OR SILLS TO CONCRETE WITH 3/4 INCH DIAMETER ANCHOR BOLTS WITH 7 INCH MINIMUM EMBEDMENT. PLACE AT 5'-0" OC MAXIMUM FOR SHEAR WALLS, AND AT 6'-0" OC FOR BEARING WALLS AND OTHER PARTITIONS. USE MINIMUM OF TWO ANCHOR BOLTS PER SILL AND PLACE ONE WITHIN 12 INCHES OF EITHER END TYPICAL UNLESS NOTED OR DETAILED OTHERWISE. REFER TO SHEAR WALL SCHEDULE. AT ALL SILL PLATE ANCHOR BOLTS, CONTRACTOR SHALL INSTALL 1/4" x 3" x 3" FLAT PLATE WASHERS.

### 3. ROOF AND FLOOR FRAMING

PROVIDE 1 1/2" BLOCKING FOR JOISTS AND RAFTERS AT ALL SUPPORTS AND AT 8'-0" OC MAXIMUM UNO. INTERMEDIATE 8'-0" OC BLOCKING NOT REQ'D IF GWB CEILING IS INSTALLED DIRECTLY TO UNDERSIDE OF FRAMING.

### 4. DIAPHRAGM NAILING

ALL SHEAR WALLS, FLOOR AND ROOF DIAPHRAGM NAILINGS SHALL BE AS CALLED OUT ON SCHEDULES OR ON THE PLANS. EXTERIOR WALLS NOT INDICATED AS SHEAR WALLS SHALL BE SHEATHED AND NAILED TO SUPPORTING FRAMING WITH 8d NAILS AT 6" OC AT ALL PANEL EDGES AND 12" OC AT ALL INTERMEDIATE SUPPORTS.

THE USE OF NAIL GUNS WILL BE APPROVED IF NAILING INTO THE DIAPHRAGMS CAN BE INSTALLED FLUSH WITH FACE OF SHEATHING. NAIL PENETRATIONS GREATER THAN 1/16" ARE NOT ACCEPTABLE.

### 5. ALLOWABLE STUD AND PLATE PENETRATIONS

CUTTING AND/OR NOTCHING OF WOOD STUDS OR PLATES SHALL NOT EXCEED 25% OF THE STUD/PLATE WIDTH IN EXTERIOR AND BEARING WALLS AND SHALL NOT EXCEED 40% OF THE STUD/PLATE WIDTH IN ANY NON-BEARING PARTITIONS. BORED HOLE DIAMETER IS LIMITED TO 40% OF STUD/PLATE WIDTH IN ANY STUD AND MAY BE 60% IN NONBEARING PARTITIONS OR IF STUD IS DOUBLED. MAINTAIN 5/8" MINIMUM EDGE DISTANCE FROM HOLE EDGE.

### 6. GYPSUM WALLBOARD NAILING

ALL GYPSUM WALLBOARD SHALL BE NAILED TO ALL STUDS AND TOP AND BOTTOM PLATES WITH 6d COOLER NAILS OR NO. 13 GAUGE x 1 5/8" @ 7" OC (5d COOLER NAILS FOR 1/2 INCH GYPSUM SHEATHING). TYPICAL UNLESS NOTED OTHERWISE. INSTALLATION OF GWB SHALL BE SUCH THAT JOINTS ARE STAGGERED ON EACH SIDE OF A SINGLE

### **EXISTING BUILDING**

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MEMBER SIZES AND CONDITIONS OF THE EXISTING BUILDING DEPICTED IN THE DRAWINGS, AND NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES FOR POSSIBLE

CONTRACTOR RESPONSIBLE FOR COMPLETELY SEALING ALL AREAS WHERE EXISTING ROOF MATERIAL IS PENETRATED OR REMOVED. PROVIDE WATER PROOFING AS REQUIRED BY THE ARCH.

STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS FOR COMPATIBILITY BEFORE PROCEEDING. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.

CONTRACTOR TO SEE ARCHITECTURAL DRAWINGS FOR SIZE AND LOCATION OF PIPE, VENT, DUCT AND OTHER OPENINGS AND DETAILS NOT SHOWN ON THESE DRAWINGS.

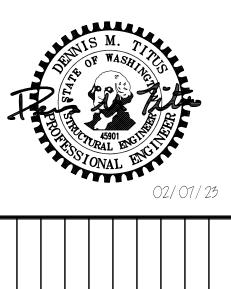
CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTION STABILITY AND TEMPORARY SHORING AS NECESSARY UNTIL PERMANENT SUPPORT AND STIFFENING ARE INSTALLED.

CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF A SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL

LEGEND							
DEFINITION	SYMBOL	DEFINITION	SYMBOL				
DIRECTION OF FRAMING	4	NATIVE SOIL					
EXTENT OF FRAMING	$\longleftrightarrow$	GRANULAR FILL					
COLUMNS		STRUCTURAL STEEL	71111111				
COLUMN BEARING ON BEAM		RATED SHEATHING					
BEAM CONTINUOUS OVER SUPPORT	CA	SHEAR WALL (SEE SCHEDULE)	SWX				
CONCRETE WALL	5	COLUMN MARK (SEE SCHEDULE)	Ø.				
BEARING STUD WALL	\$\$	FOOTING MARK (SEE SCHEDULE)	<b>⟨FX</b> ⟩				
NON-BEARING STUD WALL	5	HOLDOWN MARK (SEE SCHEDULE)	◆				
BEARING STUD SHEAR WALL	\$mmms	HANGER MARK (SEE SCHEDULE)	<b>(X)</b>				
NON-BEARING STUD SHEAR WALL	5////	FLAG NOTE (SEE PLAN NOTES)	X				
CMU WALL	\(\)	STEEL MOMENT FRAME CONN.	<b>-</b>				



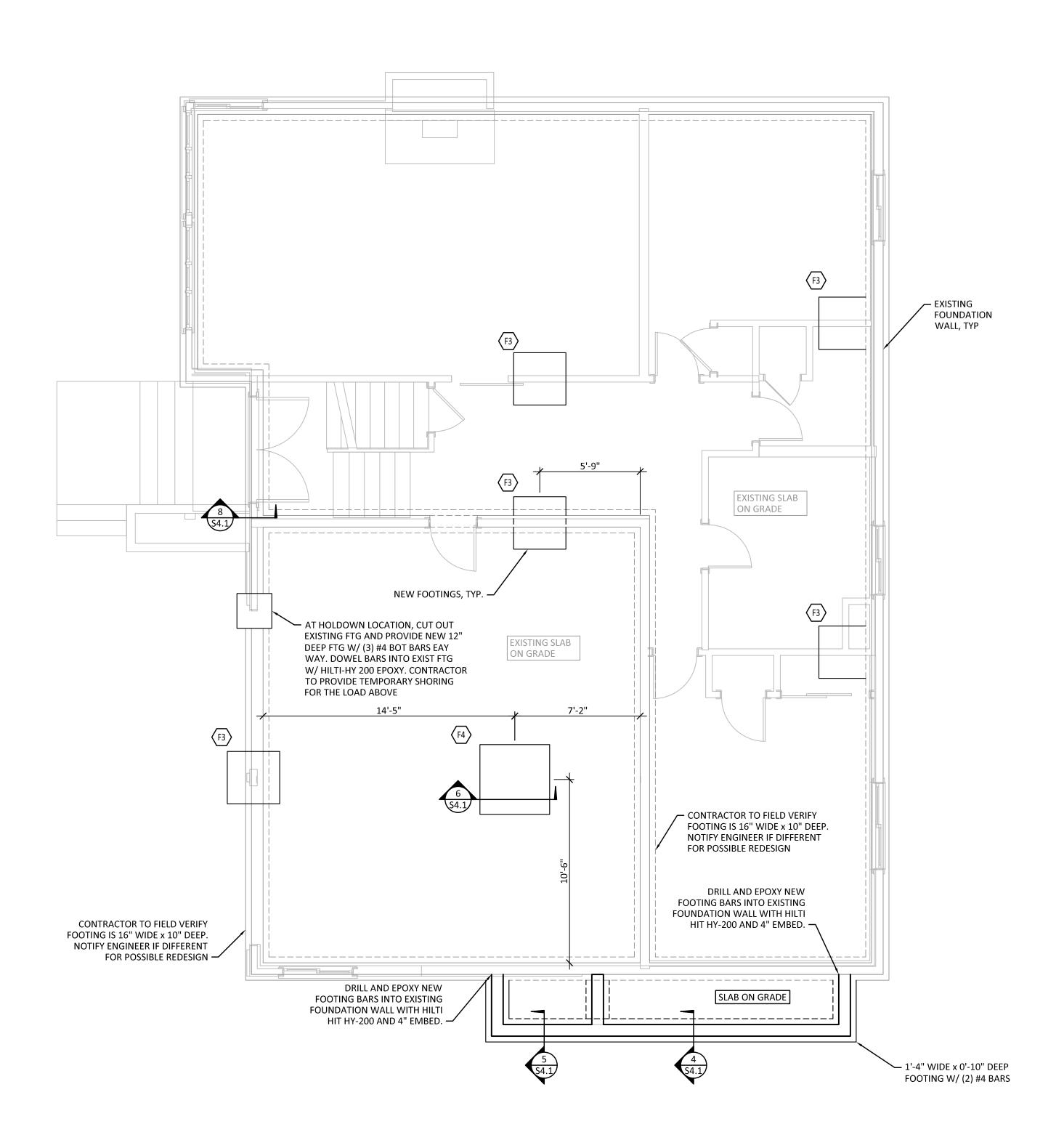


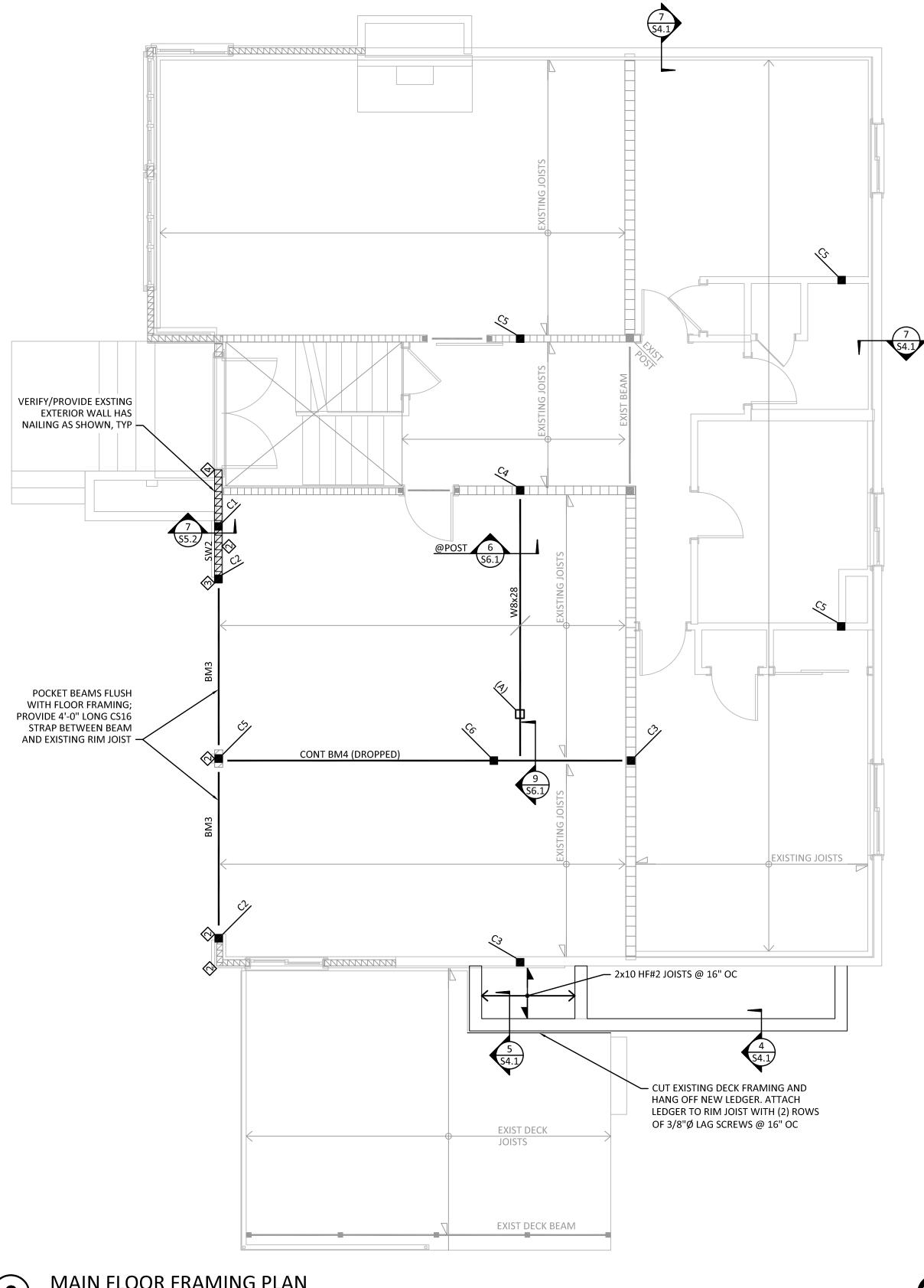
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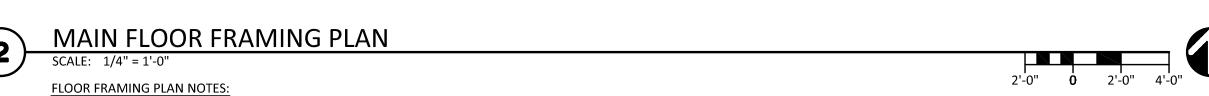




FOUNDATION PLAN

### FOUNDATION PLAN NOTES:

- 1. FOOTINGS SHALL BEAR ON FIRM NATIVE SOIL OR COMPACTED STRUCTURAL FILL.
- FOUNDATION LEVEL HOLDOWNS ARE SHOWN ON UPPER FLOOR FRAMING PLAN. REFER TO HOLDOWN SCHEDULE ON SHEET S3.1 FOR HOLDOWN TYPES AND MAIN FLOOR FRAMING PLAN FOR HOLDOWN ANCHOR BOLT LOCATIONS.
- 3. REFER TO UPPER FLOOR FRAMING PLAN AND SHEAR WALL SCHEDULE ON SHEET S3.1 FOR LOCATION OF SHEAR WALL ANCHOR BOLTS. ANCHORAGE AT NON-SHEAR WALLS SHALL BE PER STRUCTURAL NOTES.
- 4. WHERE SLAB ON GRADE IS INDICATED, SLAB SHALL BE 4" THICK W/ 6x6-W1.4 x W1.4 WELDED WIRE FABRIC REINF. SLAB SHALL BE POURED OVER A 10 MIL VAPOR BARRIER OVER 4" OF 5/8" CRUSHED ROCK.



1. SEE 1/S2.2 FOR FLOOR FRAMING PLAN NOTES.

ENGINEERING

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EDMONDS, WASHINGTON 98020
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FAX (425) 778-5536



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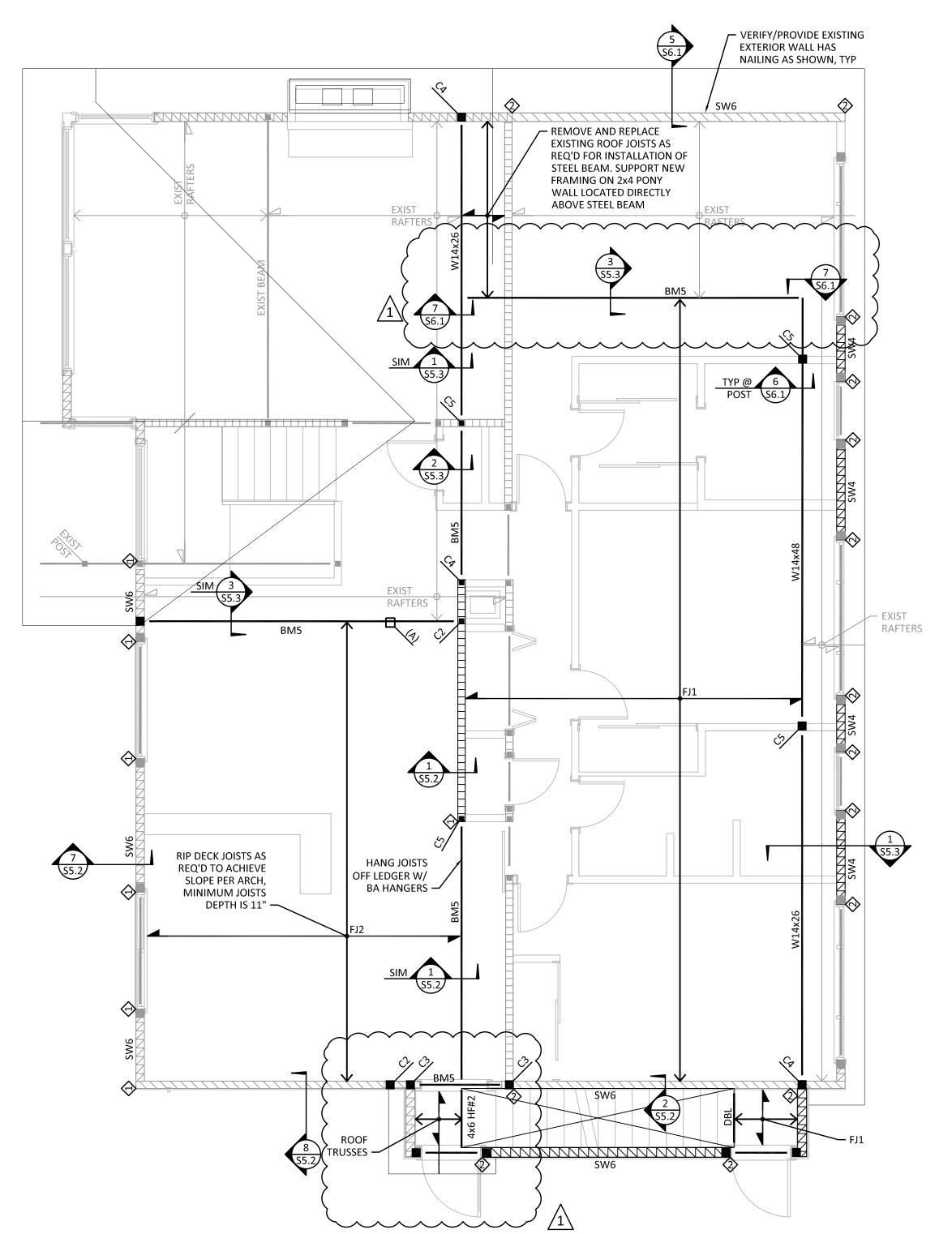
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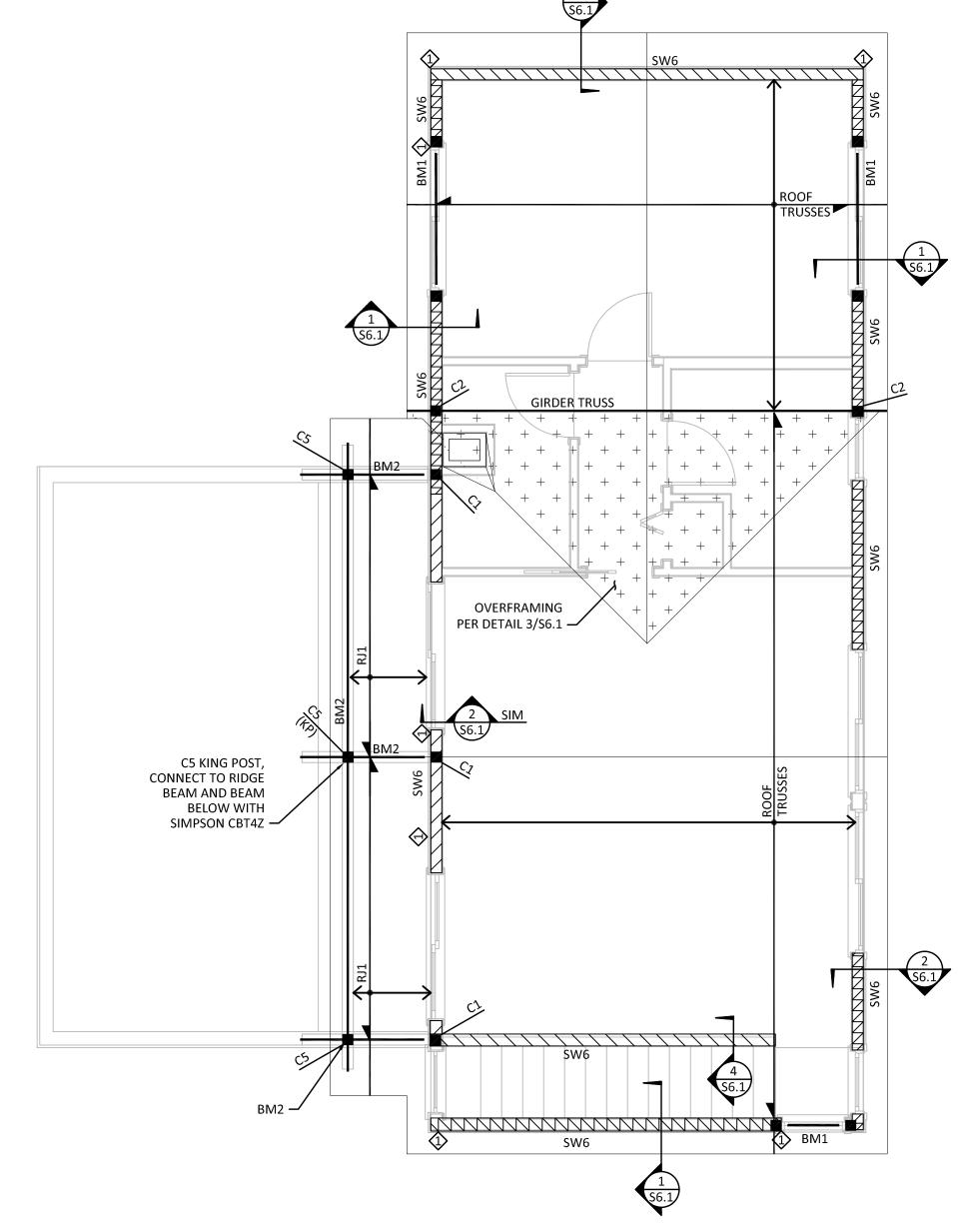
### TYPICAL FLOOR FRAMING PLAN NOTES:

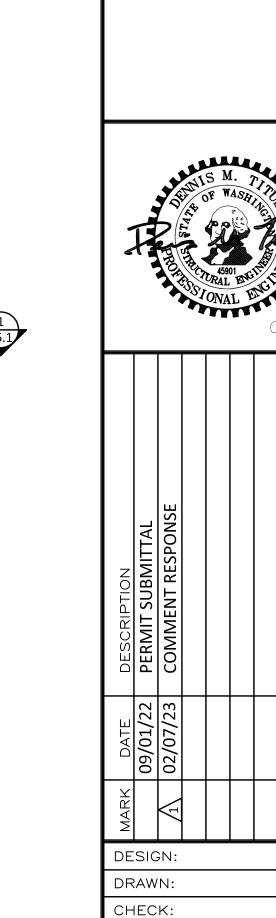
- 1. REFER TO SHEET S5.1 THRU S5.2 FOR TYPICAL FLOOR FRAMING DETAILS.
- 2. FLOOR SHEATHING SHALL BE 3/4" PI 48/24 WITH 10d COMMON NAILS SPACED AT 6" OC AT ALL DIAPHRAGM BOUNDARIES, PANEL EDGES AND SHEAR WALLS AND 10" OC AT INTERMEDIATE FRAMING. FOR SHEATHING LAYOUT AND NAILING REFER TO DETAIL 2/S5.1
- 3. COLUMNS AND BEARING WALLS SHOWN ON PLANS SHALL BE CONTINUED DOWN TO THE FOUNDATION UNLESS CARRIED BY A BEAM BELOW.
- 4. INDICATES COLUMN BELOW AND BEAM SHALL BE CONTINUED OVER COLUMN, TYP.
- 5. CONTRACTOR SHALL HAVE THE OPTION TO DRILL A 1 1/2"Ø HOLE CENTERED IN THE DEPTH AND AT THE THIRD POINT OF THE SPAN FOR ALL WOOD FLUSH BEAMS SHOWN ON THE PLAN.
- 6. WALLS SHOWN ON THE FRAMING PLANS ARE WALLS BELOW THE FRAMING LEVELS INDICATED. HOLDOWNS SHALL BE PLACED AT THE BASE OF THE WALLS SHOWN.
- 7. TYPICAL HEADERS AT BEARING LOCATION SHALL BE 4x6 HF#2 UNO SUPPORTED BY A MINIMUM OF (1) CRIPPLE STUD AND (1) FULL HEIGHT STUD.
- 8. COLUMNS NOT OTHERWISE SHOWN OR CALLED OUT ON PLAN SHALL BE (2) 2x STUDS.
- 9. STUD WALL FRAMING SHALL BE 2X HF STUDS @ 16" OC FOR ALL STUD WALLS SHOWN ON THE PLAN.
- 10. UNLESS NOTED OTHERWISE, ALL BEAM-TO-BEAM CONNECTIONS SHALL BE SIMPSON HU SERIES FACE MOUNT HANGERS W/ MAX NAILING.

### TYPICAL ROOF FRAMING PLAN NOTES:

- 1. REFER TO SHEET S6.1 FOR TYPICAL ROOF FRAMING DETAILS.
- 2. ROOF SHEATHING SHALL BE 1/2" PI 40/20 WITH 8d COMMON NAILS SPACED AT 6" OC AT ALL DIAPHRAGM BOUNDARIES, PANEL EDGES, SHEAR WALLS, COLLECTOR TRUSSES, AND BLOCKING OR TRUSS BLOCKING PANELS INDICATED ON PLANS. NAILING AT INTERMEDIATE FRAMING SHALL BE 8d COMMON NAILS @ 12" OC. REFER TO DETAIL 2/S5.1 FOR SHEATHING LAYOUT AND NAILING.
- 3. TYPICAL HEADERS AT BEARING LOCATION SHALL BE 4x6 HF#2 UNO SUPPORTED BY A MINIMUM OF (1) CRIPPLE STUD AND (1) FULL HEIGHT STUD.
- 4. STUD WALL FRAMING SHALL BE 2x HF STUDS @ 16" OC FOR ALL STUD WALLS SHOWN ON THE PLAN.
- 5. REFER TO DETAIL 3/S5.1 FOR CONSTRUCTION OF MULTIPLE STUD COLUMNS.
- 6. COLUMNS AND BEARING WALLS SHOWN ON PLAN SHALL BE CONTINUED DOWN TO THE FOUNDATION UNLESS CARRIED BY A BEAM BELOW.
- 7. HOLDOWNS SHOWN ON ROOF FRAMING PLAN SHALL BE PLACED AT BASE OF WALLS SHOWN.
- 8. ROOF TRUSSES SHALL BE PRE-ENGINEERED BY OTHERS AND SPACED AT 24" OC.
- 9. ATTACH ALL ROOF TRUSSES TO WALLS BELOW WITH SIMPSON H2.5 HURRICANE TIES.





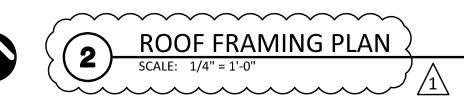


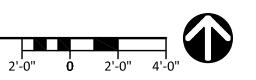
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UPPER FLOOR AND LOWER ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"





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	HOLDOWN SCHEDULE										
MARK	TYPE	MIN CHORD SIZE	STUD NAILS OR BOLTS	ANCHOR BOLT (SEE NOTE 4)	CAPACITY (LB)						
<u>(1)</u>	MST37	(2) 2x	(11) 16d EA END	-	2,355						
2>	HDU4	(2) 2x	(10) SDS 1/4" x 2 1/2" SCREWS	5/8"Ø	3,285						
3>	HDU11	6x6	(30) SDS 1/4" x 2 1/2" SCREWS	1"Ø	9,535						
4>	REFER TO	DETAIL 8/S4.1									

REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR ADDITIONAL INSTALLATION REQUIREMENTS. REFER TO DETAIL 3/S5.2 FOR INSTALLATION OF MST FLOOR TO FLOOR STRAPS. REFER TO DETAIL 4/S5.2 FOR INSTALLATION OF MST FLOOR STRAPS TO BEAMS OR HEADERS.

INSTALL HD HOLDOWNS AT FOUNDATION WALLS OR THICKENED SLAB FOOTINGS PER DETAIL 3/S4.1.

AT ALL HOLDOWN CHORDS, PROVIDE PANEL EDGE NAILING PER SHEAR WALL SCHED. FOR INSTALLATION OF HOLDOWN STRAPS AT STEEL BEAMS, REFER TO DETAIL 8/S6.1.

	BEAM SCHEDULE								
MARK	BEAM	REMARKS	HANGER AS REQ'D						
BM1	4x10 HF#2	-	HU410						
BM2	6x12 DF#2	-	HUC612						
вмз	3-1/2" x 11-1/4" PSL	SEE NOTE 5	HUCQ 412-SDS						
BM4	7" x 11-1/4" PSL	SEE NOTE 5	-						
BM5	3-1/2" x 16" PSL	SEE NOTE 5	MGU3.63-SDS						
WF	ALL WF BEAMS ARE CALLED OUT ON PLANS	SEE NOTE 6	-						

REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR HANGER INSTALLATION INFORMATION.

REFER TO FRAMING PLANS AND NOTES FOR SUPPORTS AT BEAM ENDS.

ALL BEAMS EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.

REFER TO PLAN NOTES FOR BEAMS & HEADERS AT BEARING LOCATIONS THAT ARE NOT CALLED OUT. . IF PSL SUPPLIER DOES NOT STOCK EXACT DEPTH OF BEAMS LISTED, CONTRACTOR SHALL COORDINATE

WITH SUPPLIER TO RIP BEAMS TO EXACT DIMENSIONS LISTED IN TABLE. CONNECT 2x NAILER TO STEEL BEAMS PER DETAIL 1/S5.3

	SHEAR WALL SCHEDULE										
TYPE	APA-RATED SHEATHING	MIN FRAMING AT ADJOINING PANEL EDGES (SEE NOTE 5)	SHEAR WALL NAILING AT PANEL EDGES	RIM JOIST OR BLOCK CONN TO TOP PLATE	SILL PLATE NAILING TO RIM/BLKG BELOW	SILL PLATE ANCHOR BOLT TO SLAB OR FOUNDATION (SEE NOTE 11)	FOUNDATION SILL PLATE SIZE	SHEAR CAPACITY (PLF)			
SW6	15/32" ONE SIDE	2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 6" OC	LTP4 OR A35 @ 24" OC	0.131"Ø x 3" @ 6" OC	3/4"Ø AB @ 5'-0" OC	2x	242			
SW4	15/32" ONE SIDE	2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 4" OC	LTP4 OR A35 @ 20" OC	0.131"Ø x 3" @ 4" OC	3/4"Ø AB @ 5'-0" OC	2x	350			
SW3	15/32" ONE SIDE	(2) 2x STUD AND 2x FLAT BLKG	0.131"Ø x 2 1/2" @ 3" OC	LTP4 OR A35 @ 15" OC	0.131"Ø x 3" @ 3" OC	3/4"Ø AB @ 4'-0" OC	2x	455			
SW2	15/32" ONE SIDE	3x STUD AND 2x FLAT BLKG	0.131"Ø x 2 1/2" @ 2" OC	LTP4 OR A35 @ 12" OC	0.131"Ø x 3" @ 2.5" OC	3/4"Ø AB @ 3'-0" OC	2x	595			
2SW4	15/32" BOTH SIDES	(2) 2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 4" OC	LTP4 OR A35 @ 10" OC	0.131"Ø x 3" @ 2" OC	3/4"Ø AB @ 2'-6" OC	2x	706			
2SW3	15/32" BOTH SIDES	(2) 2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 3" OC	LTP4 OR A35 @ 7.5" OC	0.131 x 3" @ 1.5" OC	3/4"Ø AB @ 2'-0" OC	2x	910			
2SW2	15/32" BOTH SIDES	3x STUD AND BLKG	0.131"Ø x 2 1/2" @ 2" OC	LTP4 OR A35 @ 6" OC	0.131 x 3" @ 1.5" OC	3/4"Ø AB @ 1'-6" OC	2x	1190			

1. REFER TO THE TYPICAL SHEAR WALL DETAIL. THE VALUES IN THIS TABLE ARE APPROPRIATE FOR HF GRADE STUDS AND HF GRADE PLATES & RIM/BLOCKING.

NAILS AT ADJOINING PANEL EDGES SHALL BE STAGGERED EACH SIDE OF THE COMMON JOINT.

WHERE PANELS ARE APPLIED ON BOTH FACES OF A WALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS, OR FRAMING SHALL BE 3x AT ADJOINING PANEL EDGES AND NAILS SHALL BE STAGGERED.

WHERE TABLE SPECIFIES (2) 2x FRAMING, CONNECT (2) 2x STUDS AND BLOCKING AS FOLLOWS: SW3 = (2) 0.131 Ø @ 3.5 OC, 2SW4 = 0.131 Ø @ 2.5 OC, 2SW3 = (2) 0.131"Ø @ 1.5" OC.

NOTE THAT 3x FRAMING MAY BE USED IN LIEU OF (2) 2x FRAMING SPECIFIED IN TABLE.

INTERMEDIATE FRAMING TO BE WITH 2x MINIMUM MEMBERS. FIELD NAILING 12" OC MAXIMUM.

AT ALL 3/4"Ø SILL PLATE ANCHOR BOLTS, INSTALL 1/4" x 3" x 3" PLATE WASHERS. EDGE OF PLATE WASHER SHALL BE WITHIN 1/2" OF SHEATHED EDGE.

FOR DOUBLE SIDED SHEAR WALLS, USE WIDER PLATE WASHERS AS REQUIRED TO MEET THIS REQUIREMENT. PROVIDE A MINIMUM OF 7" EMBEDMENT FOR AB INTO FOUNDATION OR STEM WALL.

10. 7/16" SHEATHING MAY BE USED IN PLACE OF 15/32" SHEATHING PROVIDED ALL STUDS ARE SPACED 16" OC OR PANELS ARE APPLIED WITH LONG

DIMENSION ACROSS STUDS.

11. AT EXISTING FOUNDATION USE 5/8" Ø x 9" SIMPSON TITEN SCREWS IN LIEU OF J-BOLTS.

	JOIST SCHEDULE									
MARK	JOIST	SPACING	REMARKS							
FJ1	16" TJI 110	16" OC	SEE NOTES 3							
FJ2	1 3/4" x 16" LVL	12" OC	SEE NOTES 2							
RJ1	2x10 HF#2	24" OC	SEE NOTES 2							

NOTES:

1. FOR JOIST HANGERS REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR ALL INSTALLATION REQUIREMENTS.

TIMBER JOIST FRAMING INTO WOOD BEAMS SHALL USE LUS FACE MOUNT

HANGERS UNO. PLYWOOD WEB JOISTS FRAMING INTO WOOD BEAMS SHALL USE ITS-SERIES TOP

FLANGE HANGERS. PLYWOOD WEB JOISTS FRAMING INTO STEEL BEAMS USE BA-SERIES HANGERS AT NAILER.

COLUMN SCHEDULE									
MARK	COLUMN SIZE 2x4 WALL	COLUMN SIZE 2x6 WALL	REMARKS						
C1	(2) 2x4	(2) 2x6	SEE NOTE 2						
C2	(3) 2x4	(3) 2x6	SEE NOTE 2						
C3	(4) 2x4	(4) 2x6	SEE NOTE 2						
C4	4x6 DF#2	4x6 DF#2	-						
C5	4x8 DF #2	6x6 DF#2	-						
C6	-	6x8 DF#2	-						

1. REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR PRE-FABRICATED

CONNECTION INSTALLATION REQUIREMENTS. 2. MULTIPLE STUD COLUMNS SHALL USE GRADE OF STUD INDICATED ON WALL

JOIST SPACE FOR COLUMNS CONTINUING TO FOUNDATION.

FRAMING SCHEDULE. REFER TO DETAIL 3/S5.1 FOR FABRICATION OF MULTIPLE STUD COLUMNS. B. CONTRACTOR TO PROVIDE BLOCKING EQUAL TO COLUMN DIMENSIONS AT

FOOTING SCHEDULE							
MARK	FOOTING SIZE	REINFORCING	COMMENTS				
<b>F3</b>	3'-0" x 3'-0" x 1'-0" DEEP	(4) #5 EACH WAY BOTTOM	-				
<b>F4</b>	4'-0" x 4'-0" x 1'-0" DEEP	(5) #5 EACH WAY BOTTOM	-				

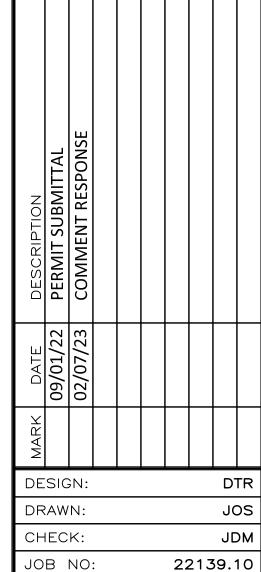
1. ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED NATIVE SOIL OR COMPACTED STRUCTURAL FILL PER GEOTECHNICAL ENGINEERING REPORT.

2. REINFORCEMENT SHALL BE CONTINUED FROM CONTINUOUS FOOTINGS THRU SPREAD FOOTINGS

WHERE APPLICABLE.

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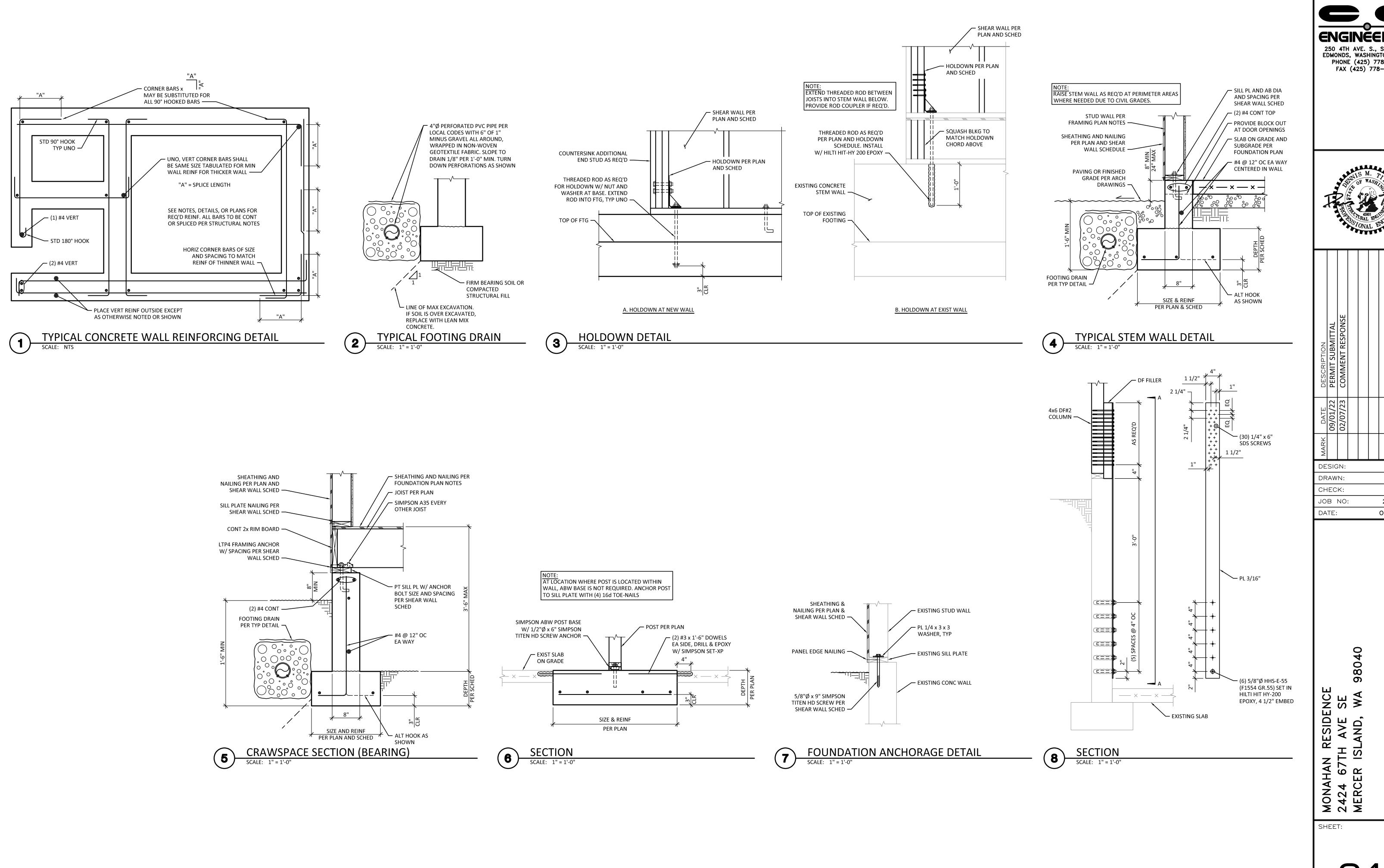




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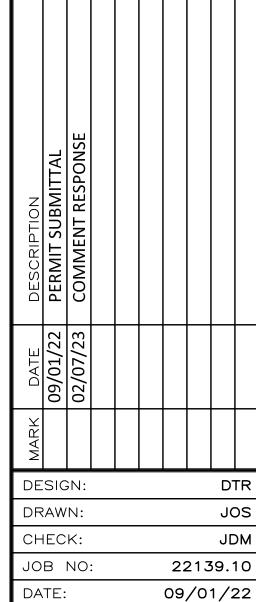
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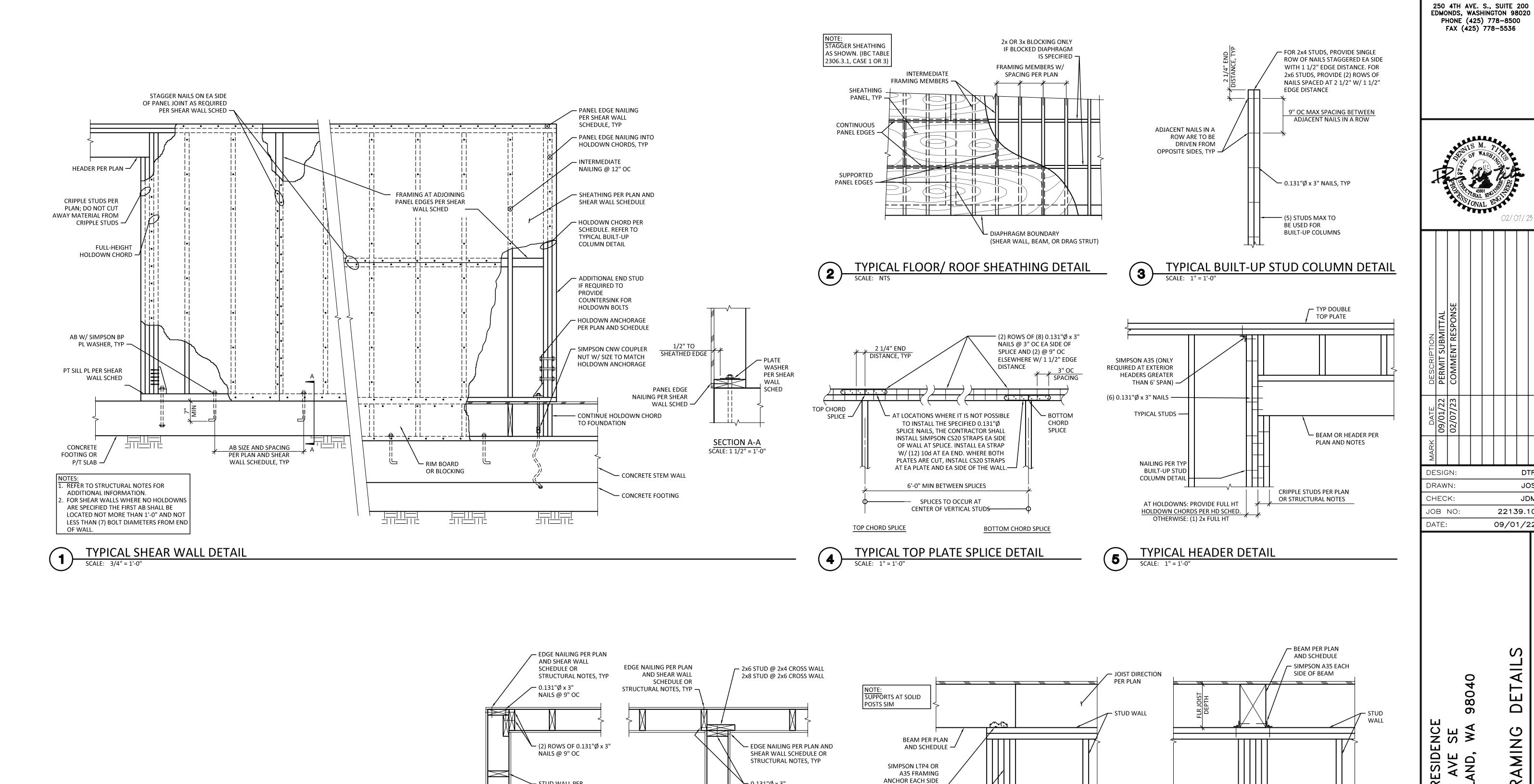




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**└** 0.131"Ø x 3"

B. 'T' INTERSECTION

NAILS @ 9" OC

STUD WALL PER FRAMING PLAN NOTES, TYP

SHEATHING (OR GWB) AND

STRUCTURAL NOTES, TYP

WALL SCHEDULE OR

NAILING PER PLAN AND SHEAR

OF BEAM -

BEAM WIDTH,

MIN UNO

PARALLEL TO STUD WALL

TYPICAL FLUSH BEAM SUPPORT DETAILS

SOLID OR MULTIPLE

PERPENDICULAR TO STUD WALL

STUD COLUMN PER PLAN -

SOLID OR MULTIPLE

STUD COLUMN PER PLAN -

STUD WALL PER

FRAMING PLAN

- SHEATHING (OR GWB) AND

STRUCTURAL NOTES, TYP

WALL SCHEDULE OR

A. CORNER INTERSECTION

NAILING PER PLAN AND SHEAR

TYPICAL WALL INTERSECTION DETAIL

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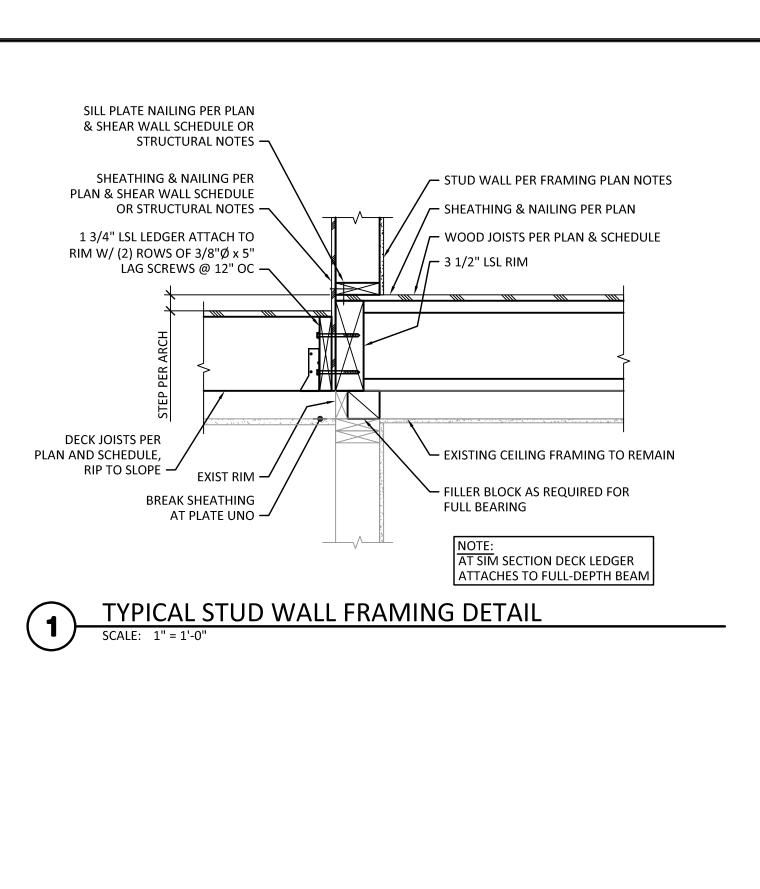
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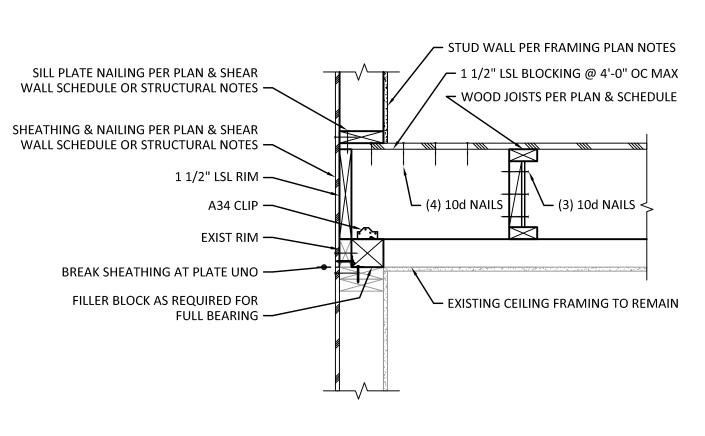
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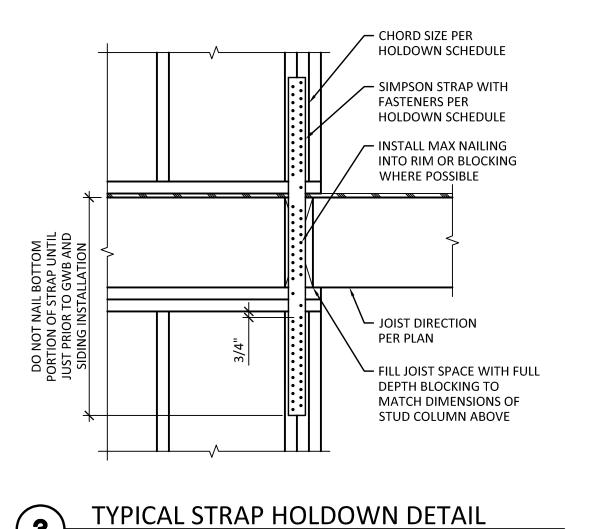
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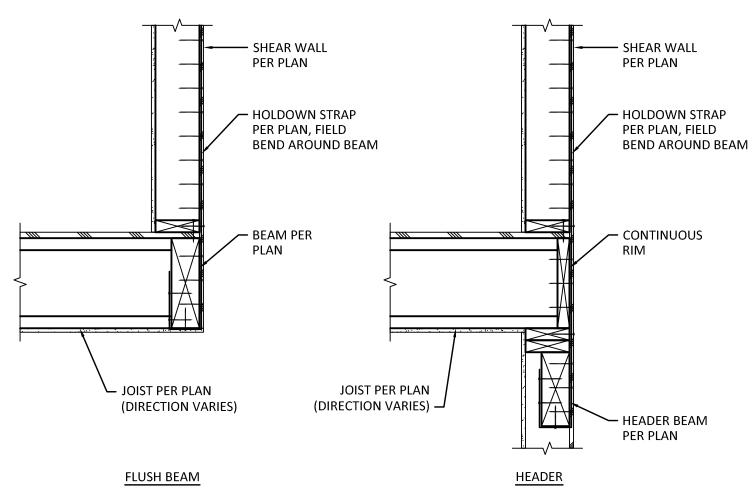
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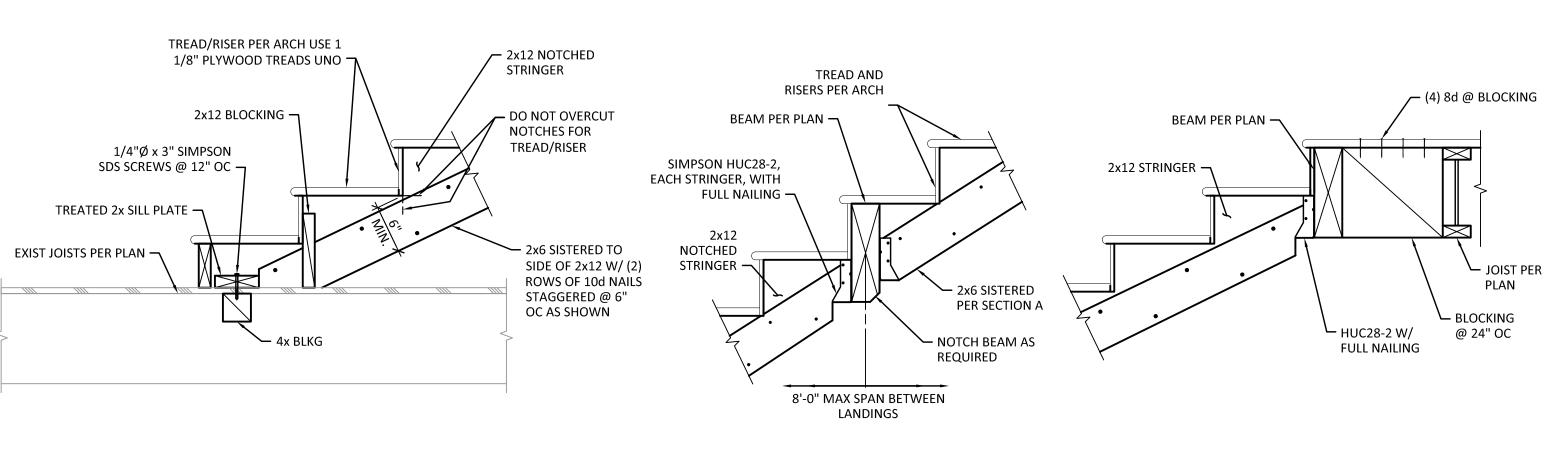


TYPICAL STUD WALL FRAMING DETAIL





TYPICAL STRAP HOLDOWN TO WOOD BEAM



B. TYPICAL STRINGER TO CENTER BEAM

VARIES PER PLAN **€** STAIR TREADS - SHEATHING PER ARCH NOTCHED WHERE STRINGER NOTED ON └ 2x6 SISTERED TO 2x12 PER TYPICAL STAIR SECTION GAP (IF REQUIRED) TO SUIT ARCH FINISHES.

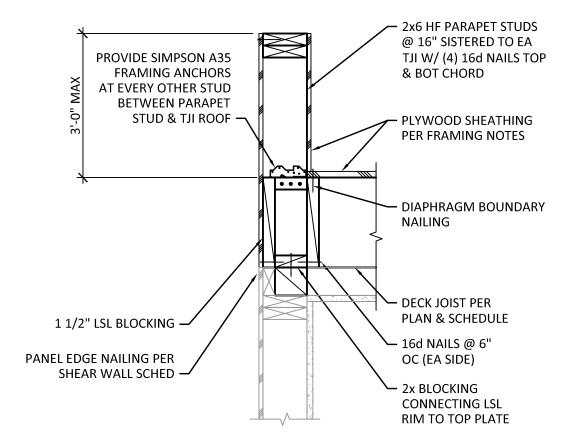
TYPICAL STAIR SECTIONS

SCALE: 1" = 1'-0"

A. TYPICAL STRINGER TO LOWER LANDING

TYPICAL STAIR SECTION

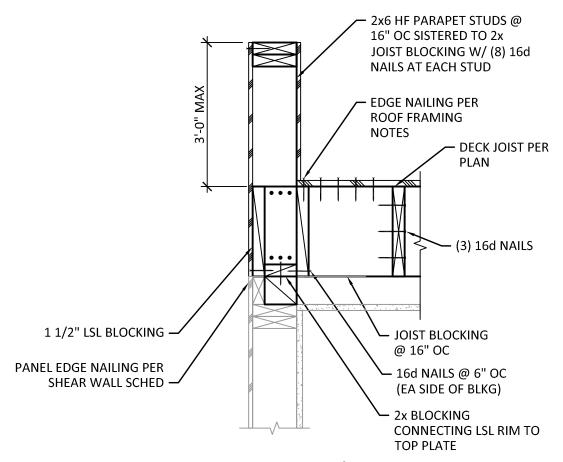
SCALE: 1" = 1'-0"



C. TYPICAL STRINGER TO UPPER LANDING

FLAT ROOF SECTION W/ PARAPET

SCALE: 1" = 1'-0"



FLAT ROOF SECTION W/ PARAPET

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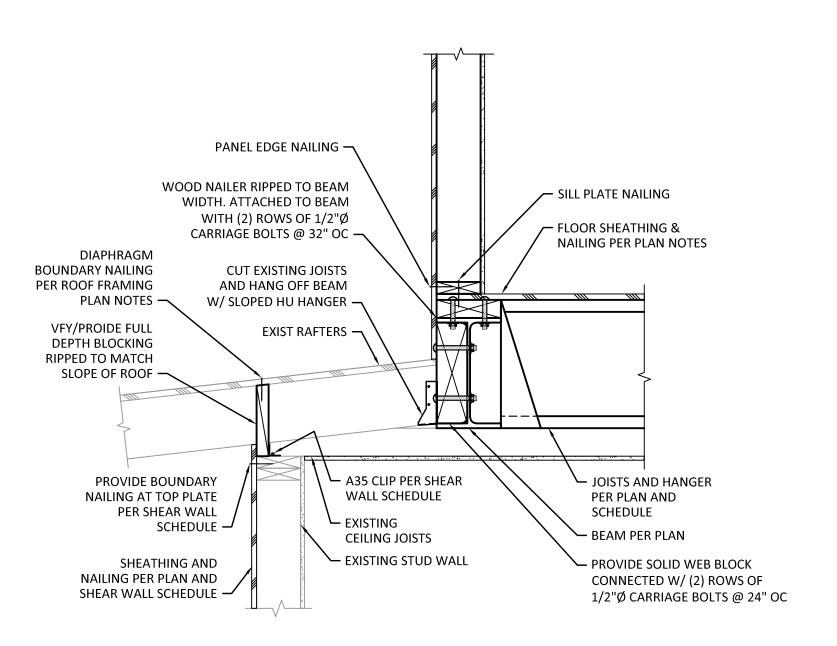


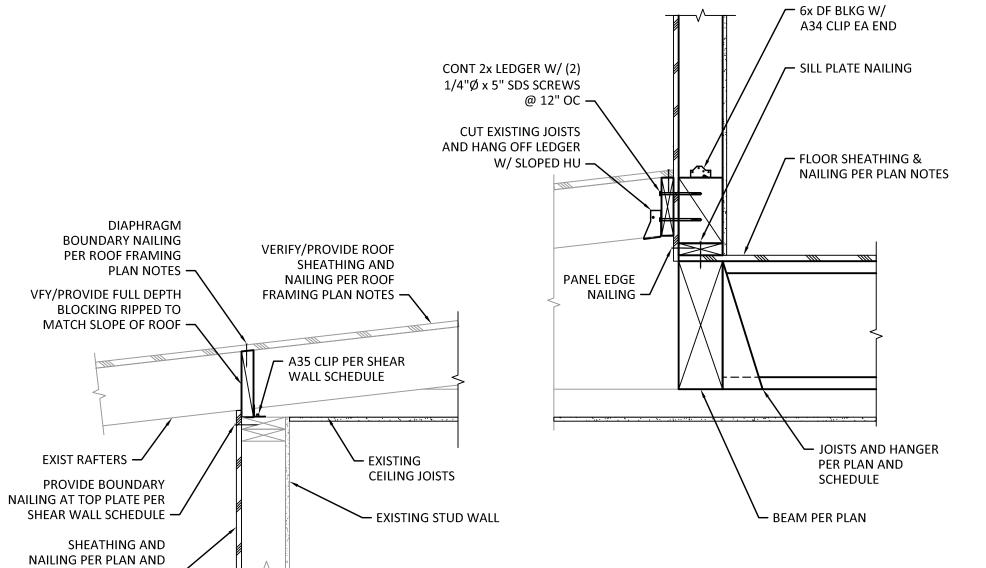
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JC	JOB NO: <b>22139.10</b>								10
DA	DATE: 09/01/22								

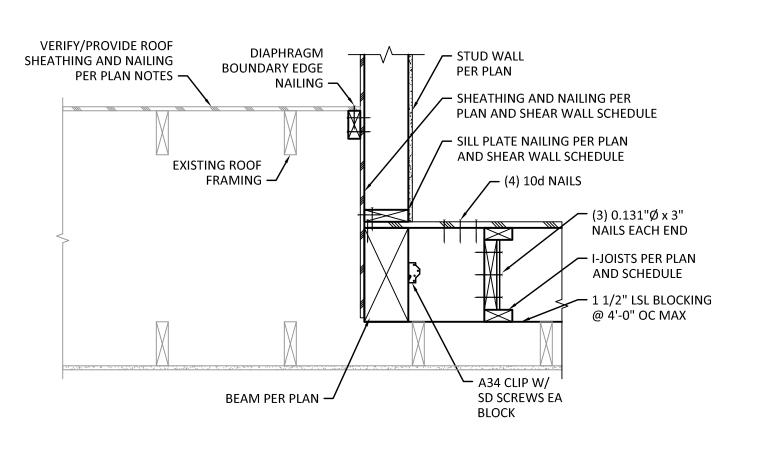
S AIL 980 DE AMING FR MONAHAN 2424 67TI MERCER IS WOOD

SHEET:

**S5.2** 







SECTION AT LOW ROOF TRUSS

SCALE: 1" = 1'-0"

SECTION AT LOW ROOF TRUSS

SCALE: 1" = 1'-0"

SHEAR WALL SCHEDULE —

TYPICAL STUD WALL FRAMING DETAIL

SCALE: 1" = 1'-0"

250 4TH AVE. S., SUITE 200 EDMONDS, WASHINGTON 98020 PHONE (425) 778-8500 FAX (425) 778-5536

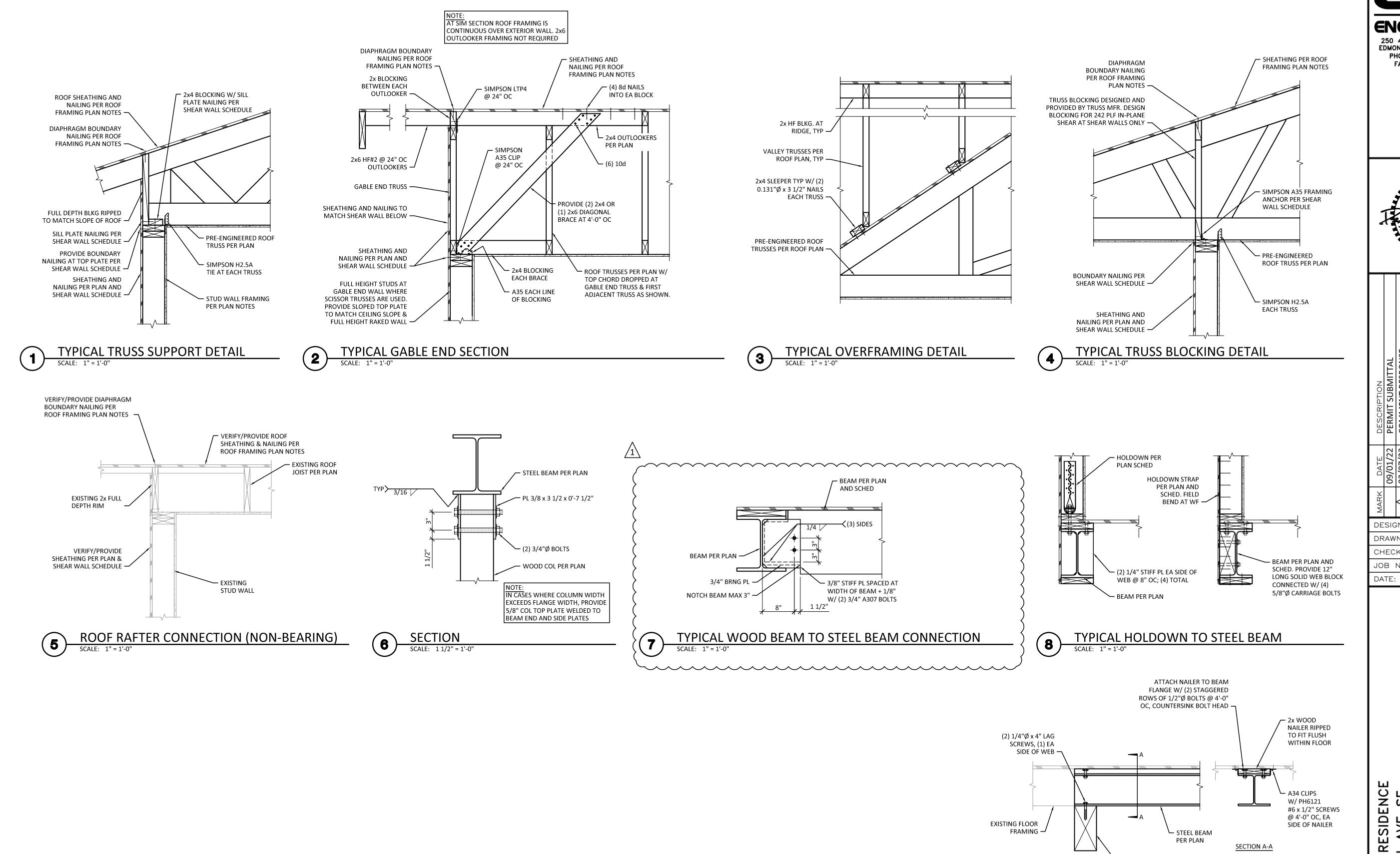


DESCRIPTION									
MARK DATE	09/01/55	02/01/23							
MARK									
DESIGN: DTR									
DRAWN: JOS									
CHECK: JDM									
JOB NO: <b>22139.10</b>								10	
DA	DATE: 09/01/22							22	

MERCER ISLAND, WA 98040
WOOD FRAMING DETAILS

`UEET,

S5.3



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DESIGN: JOS DRAWN: CHECK: JDM JOB NO: 22139.10 09/01/22

DETAIL

AND FRAMING ROOF

MONAHAN 2424 67TI MERCER IS

SHEET:

**S6.1**