

CITY OF MERCER ISLAND

DEVELOPMENT SERVICES GROUP

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercergov.org



INSPECTION REQUESTS:



voicemail: (206) 275-7730

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:

Applicant is to complete the following information.

Applicant Contact information prior to permit issuance: Name, Address, Phone, Email
Applicant Contact information post permit issuance: Name, Address, Phone, Email

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR): Engineer of Record, Company, Phone, General Conformance to Construction Documents, Other

SOILS / GEOTECHNICAL: Special Inspector, Company, Phone, Erosion control measures, Shoring installation and monitoring, Observe and monitor excavation, Verification of soil bearing, Other

REINFORCED CONCRETE: Special Inspector, Company, Phone, Concrete strength, Reinforcing steel and concrete placement, Shotcrete placement, Other

STRUCTURAL STEEL: Special Inspector, Company, Phone, Fabrication and shop welds, Structural steel erection, field welds and bolting, Other

STRUCTURAL MASONRY: Special Inspector, Company, Phone, Mortar strength, Masonry unit strength, Other

WOOD: Special Inspector / Engineer of Record, Company, Phone, Lateral resisting system construction, High strength diaphragm construction, Other

OTHER SPECIAL INSPECTIONS: Special Inspector, Company, Phone, Epoxy grout installations, Expansion anchor installations, Other post installed anchors, Alternative construction methods, Alternative construction materials, Other

DEFERRED SUBMITTALS:

The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

Connector plate wood trusses, Metal joist / metal trusses, Premanufactured structures (stairs, etc.), Precast concrete elements, Other, Post tension layout, Exterior cladding, Window wall / curtain wall construction, Other

ENERGY CODE COMPLIANCE INFORMATION:

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

Building envelope, Whole house ventilation, Energy Credit Information, RECPC Form Information, Air Leakage Testing, Duct Leakage Testing, Postconstruction Test, Rough-in Test

TO BE COMPLETED BY DSG

PROJECT ALERTS: Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition.

TREE PROTECTION REQUIREMENTS: Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.

FIRE PROTECTION REQUIREMENTS: Separate Permits are required for ALL fire protection systems. Fire Sprinkler, Monitored Household Fire Alarm per NFPA 72, Monitored Sprinkler, Water Flow Alarm, Other

WATER SUPPLY REQUIREMENTS: Fire sprinkler design calculations must be provided prior to determining water supply system requirements. City Installation, Applicant Installation, Required Service Line Size, Required Supply Line Size, Required Meter Size

DRAINAGE REQUIREMENTS: On site detention system required, On site infiltration system required, As-built Utility drawings required, Full Size drawings required, Direct discharge into the lake, No Storm Water permit required, Connection to public storm drainage conveyance system req'd, Other

SIDE SEWER REQUIREMENTS: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties. Video tape of existing sewer required, New connection, Connect to existing, Disconnect permit required, Reconnect permit required, Other

APPROVED CODE ALTERNATIVES: Code alternatives must be inspected. Refer to the Inspection Checklist. CA1, CA2

SURVEY REQUIREMENTS (The following survey information must be submitted when checked): Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy.

MAXIMUM 40 PERCENT ALTERATION INSPECTION: A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730. Civil / Drainage, LUP / Setback requirements

GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times.

SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1. Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.

Permit number, Approved by, Date

TO BE COMPLETED BY DSG

TO BE COMPLETED BY DSG

REQUIRED CONSTRUCTION INSPECTIONS: Inspector shall initial and date appropriate inspection only if approved. Note: Items marked with an "A" require a separate permit. It is the applicants responsibility to apply for and obtain all City of Mercer Island permits. INSPECTIONS: (Listed in order of typical sequencing) Pre-construction Meeting to Review Conditions of Permit Approval, Tree protection, Erosion control, Sewer disconnect and cap, Right-of-way use or work / easement, material delivery, etc., Land clearing, grading and demolition, Temporary power, Piling / Shoring / Shotcrete, Footings, setbacks, UFER ground, Foundation walls / concrete columns, Roof and footing drains, Foundation damproofing, Storm drainage, Connections to storm main in ROW, Detention systems, Infiltration systems, Catch basins including oil-water separator tees, Retaining wall drainage, Water Service, Water Supply, Water as-built drawings, Side sewer installation, Connections to side sewer main, Connections to existing side sewer, Driveway / Access road, Underslab electrical / mechanical / plumbing, Underslab insulation / vapor barrier / reinforcing, Underfloor framing, Nailing-Roof sheathing, Nailing-Exterior wall and Shearwall, Rough hydronic installation, Rough electric installation, Rough fire alarm (wiring inspection), Rough plumbing installation (DWV, water), Rough mechanical, Gas Piping, Rough fire sprinkler / hydrostatic and flow (bucket) test, Framing and glazing, Masonry construction (fireplace / walls / veneer / etc.), Insulation installation, Stucco (paper and lath), Shower pan (or tub), Miscellaneous, Code Alternative CA1, Code Alternative CA2, Impact Fees Paid

TO BE COMPLETED BY DSG

Final Inspection: Tree Restoration, Final Inspection: Fire protection, including (but not limited to): Sprinkler, Access Road, Fire Code Alternatives (see below), FCA1, FCA2, FCA3, FCA4, Final Inspection: Water supply protection, including (but not limited to): backflow devices for: Waterfront property, Well water on property, Fire / lawn sprinkler, Boiler, Final Inspection: Site and utility: includes landscape, utilities and ROW. Site restoration complete and as-built drawings ready for submittal, Final Inspection: Building, including electrical / mechanical / plumbing, If applicable, provide closeout (summary) letters from Engineer, Special Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS).

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO): Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.

Approved, Start Date, End Date

ADDITIONAL REQUIRED CITY INSPECTIONS: Call the appropriate contact to arrange the inspection. Required Inspection(s), Contact, Phone, Scheduling

IMPACT FEES: If applicable. Impact fees apply and are due prior to Final Inspection or on Date, whichever occurs first. PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents. Building, Planning, Engineering, Tree, Fire

Approved, Date

TO BE COMPLETED BY DSG



CERTIFICATE OF OCCUPANCY Issued after all required inspections have been performed and approved.

PROJECT NAME: PROJECT ADDRESS:

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCE

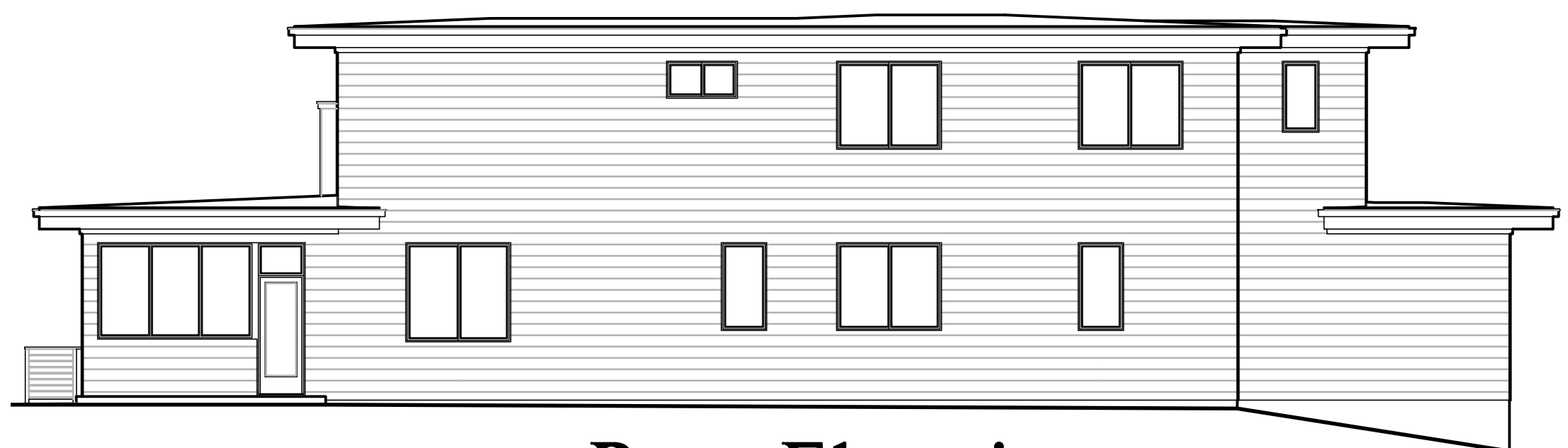
PERMIT NUMBER

Approved, Date

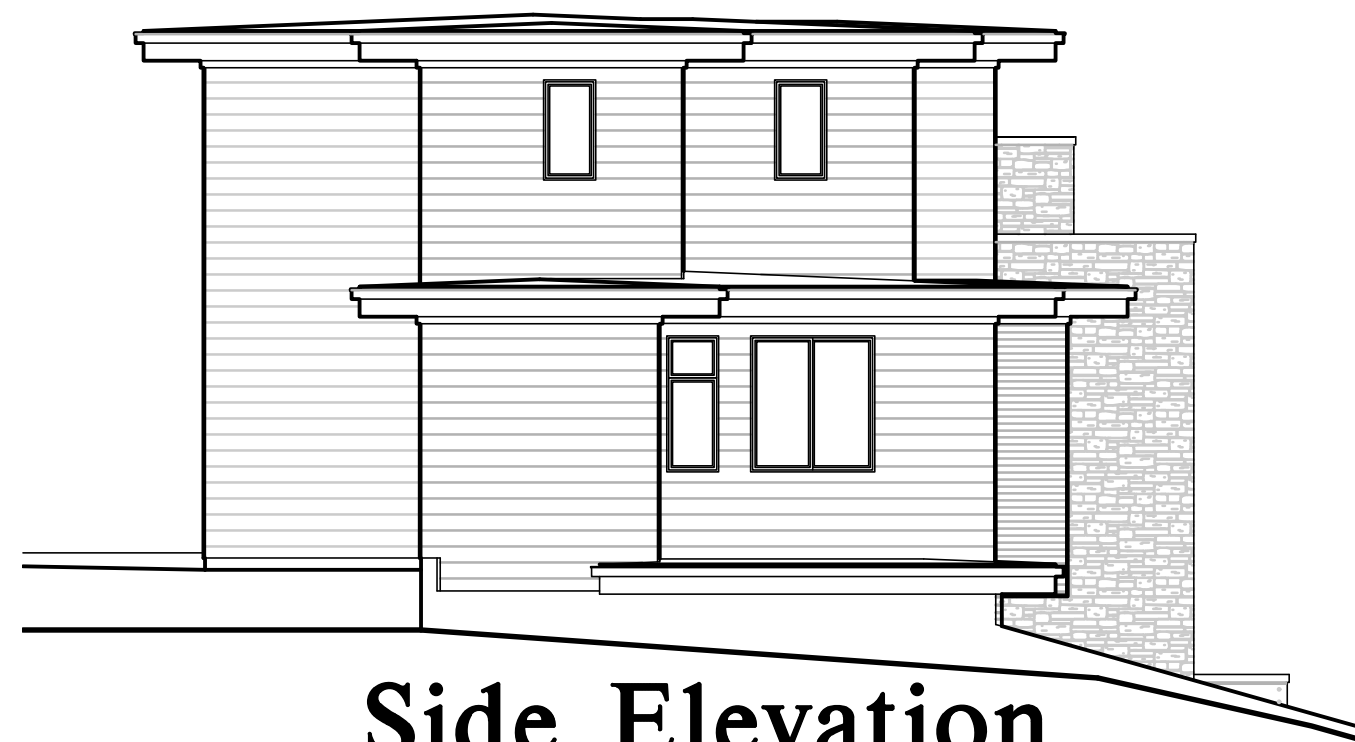
Approved, Date

Approved, Date

Approved, Date



Rear Elevation



Side Elevation



Side Elevation

DRAWING INDEX

- A1. CODE NOTES
- A1.1. SITE PLAN & TREE RETENTION PLAN
- CV-01 COVER SHEET
- TP-01 TESC, DRAINAGE & TREE RETENTION
- TP-02 TESC NOTES & DETAILS
- TR-01 TREE RETENTION PLAN
- SP-01 SITE PLAN
- TG-01 TEMPORARY GRADING PLAN
- DT-01 SITE DETAILS SURVEY
- A2. LOWER FLOOR PLAN
- A3. MAIN FLOOR PLAN
- A4. UPPER FLOOR PLAN
- A5. ROOF PLAN
- A6. ELEVATIONS
- A7. ELEVATIONS/ENERGY
- A8. SECTIONS
- D1. DETAILS
- S-0.0 STRUCTURAL NOTES
- S-0.1 PIN PILE PLAN
- S-1.0 FOUNDATION PLAN
- S-1.1 MAIN FLOOR FRAMING
- S-2.0 UPPER FLOOR FRAMING
- S-3.0 ROOF FRAMING
- SD-1 FOUNDATION DETAILS
- SD-2 STRUCTURAL DETAILS
- SD-3 STRUCTURAL DETAILS
- SD-4 STRUCTURAL DETAILS



Buchan Homes
Westview Plan

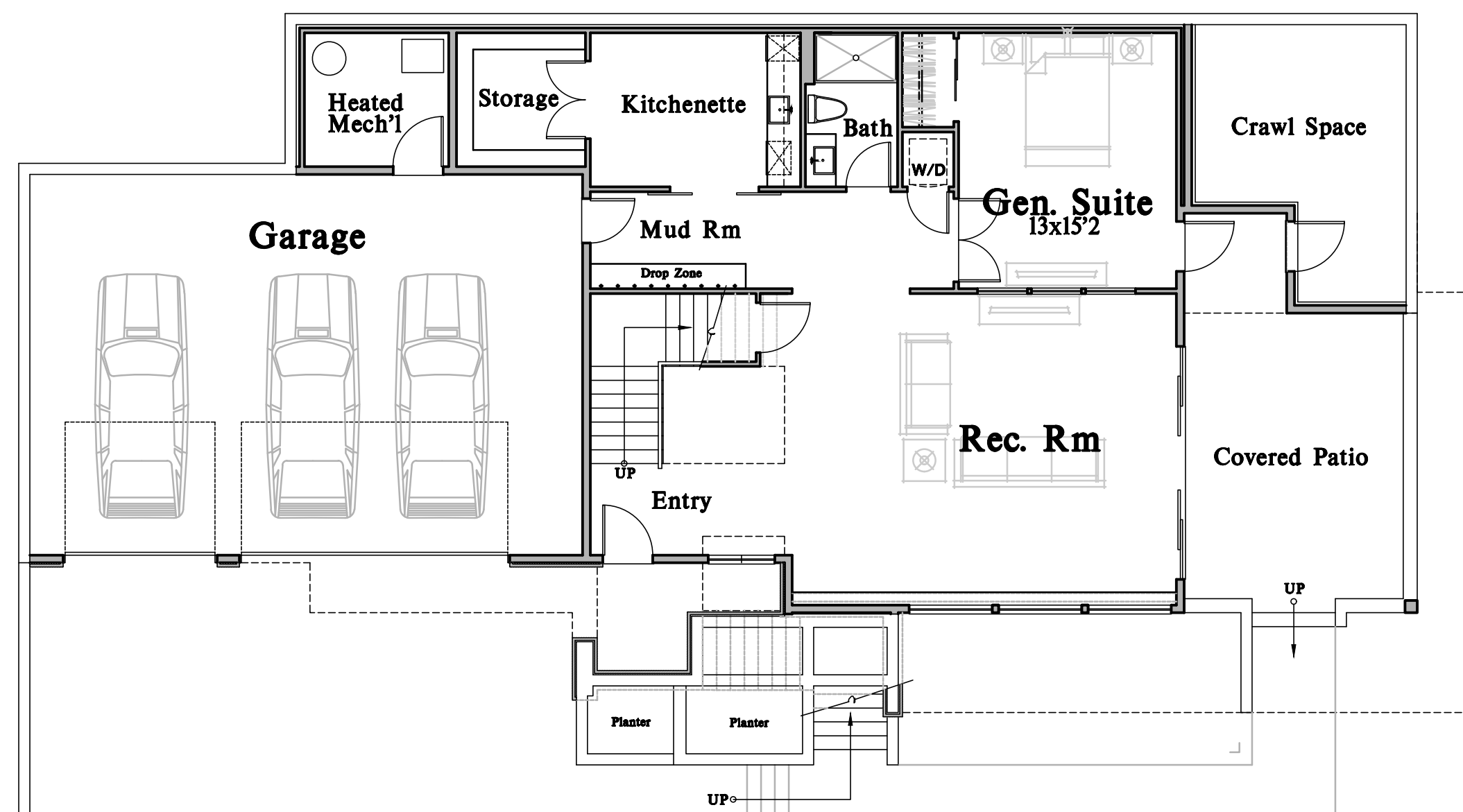
Permit no. 2210-120

3036 67th Ave SE Mercer Island, WA

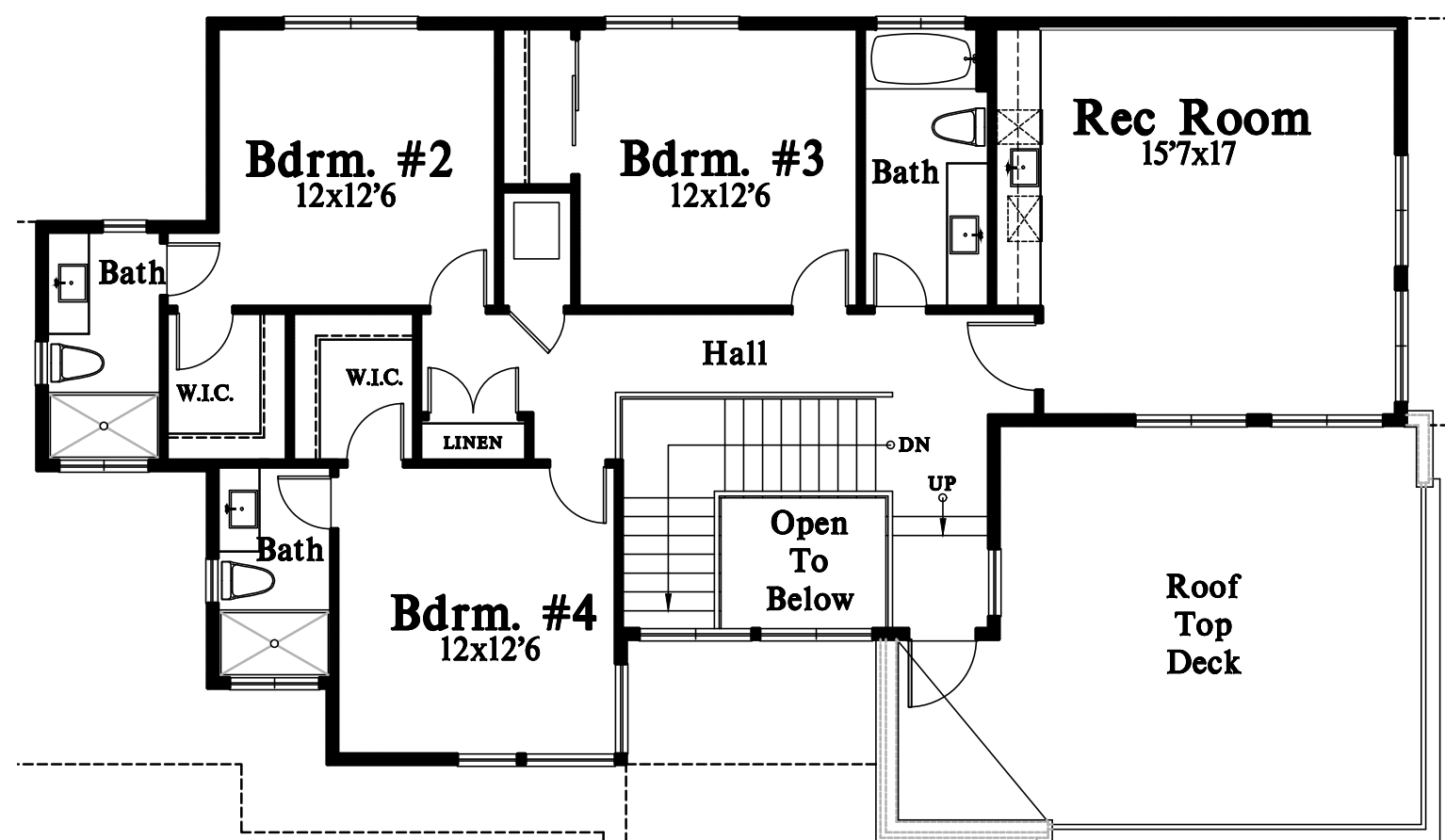
NFPA 13D FIRE SPRINKLER SYSTEM TO BE INSTALLED
NFPA "CHAPTER 29" FIRE ALARM SYSTEM REQUIRED

SQUARE FOOTAGE

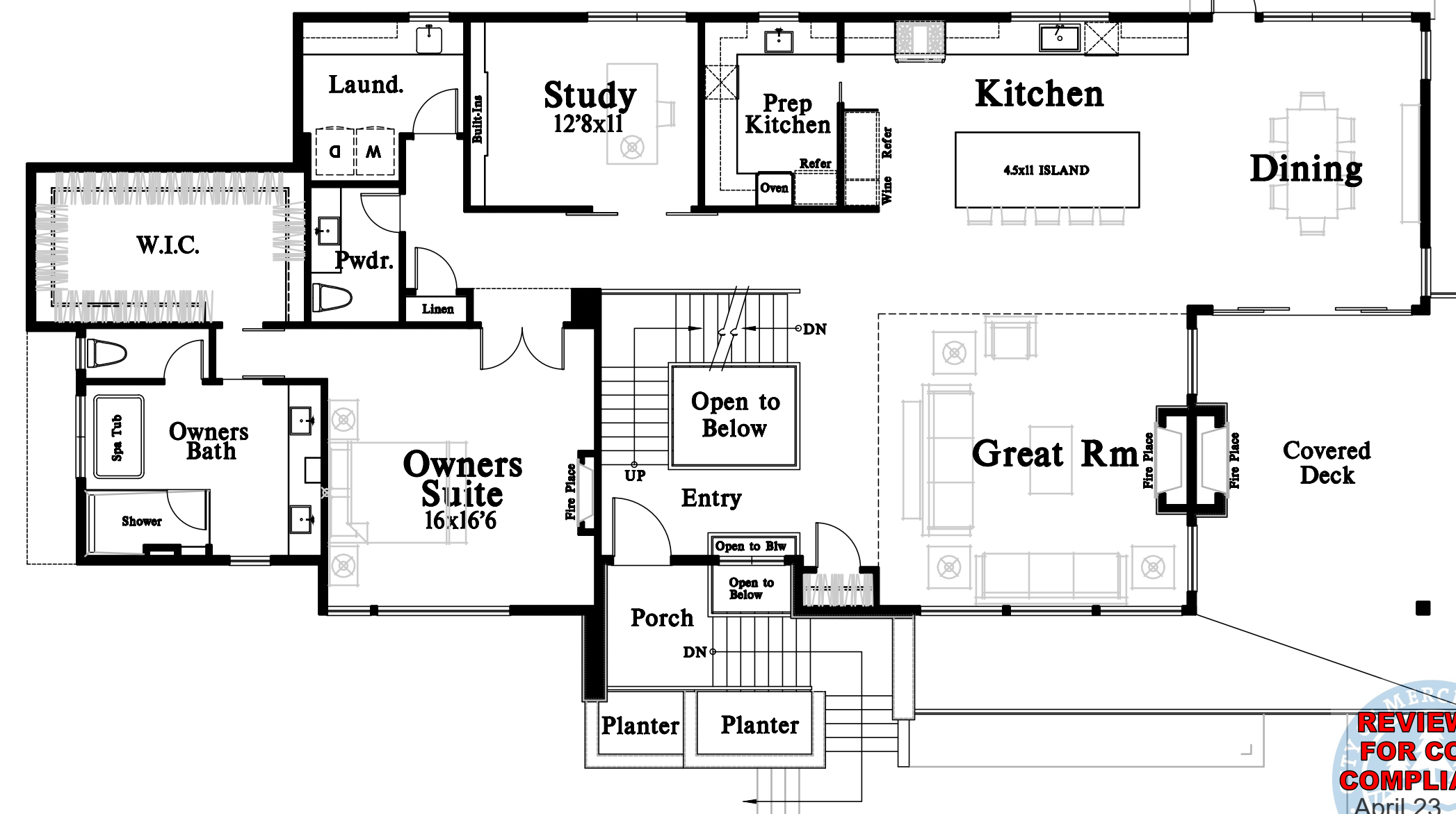
MAIN FLOOR	2447 SF
UPPER FLOOR	1327 SF
LOWER	1312 SF
TOTAL	5086 SF
GARAGE	897 SF
PORCH/DECK	1409 SF



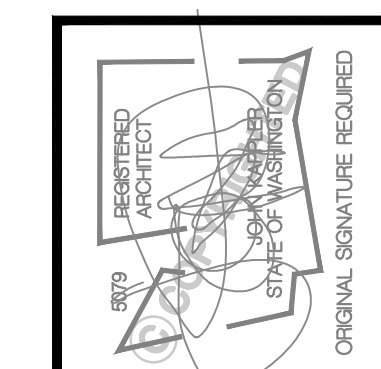
Lower Floor Plan



Upper Floor Plan



Main Floor Plan



Date	By	Description
10/22/22	REY	PERMIT SET
8/17/23	REY	JURISDICTIONAL COMMENTS
8/25/23	REY	JURISDICTIONAL COMMENTS
10/5/23	REY	JURISDICTIONAL COMMENTS
11/2/23	REY	JURISDICTIONAL COMMENTS-CLOUED

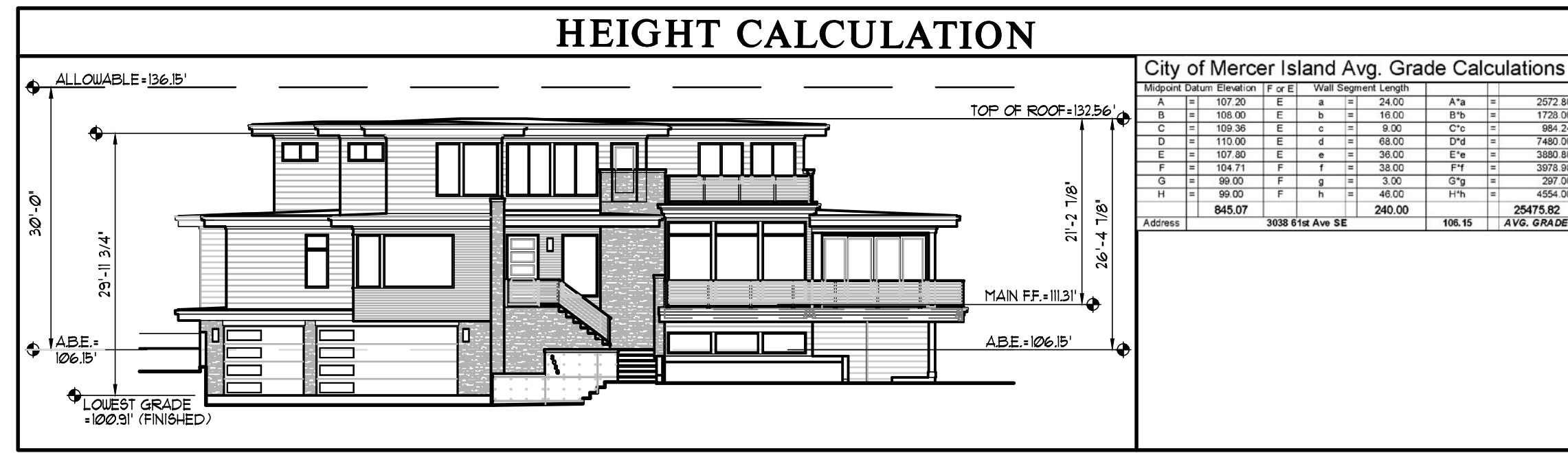
Buchan Homes
Westview Plan
Permit no. 2210-120
Mercer Island, WA
3036 67th Ave SE
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TITLE	
JOB NO.:	21076.21
STARTING NO.:	21076.05

SHEET
COVER SHEET





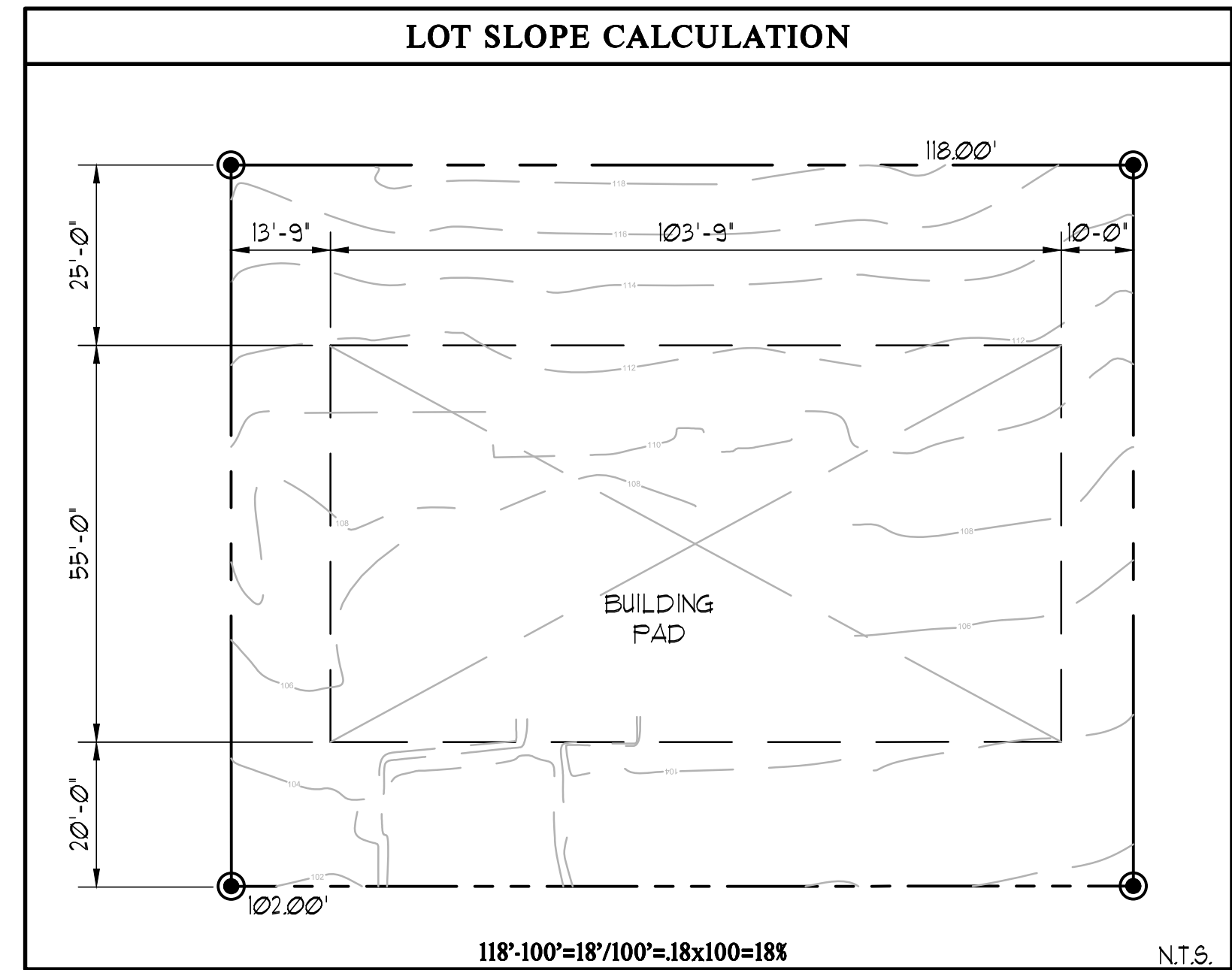
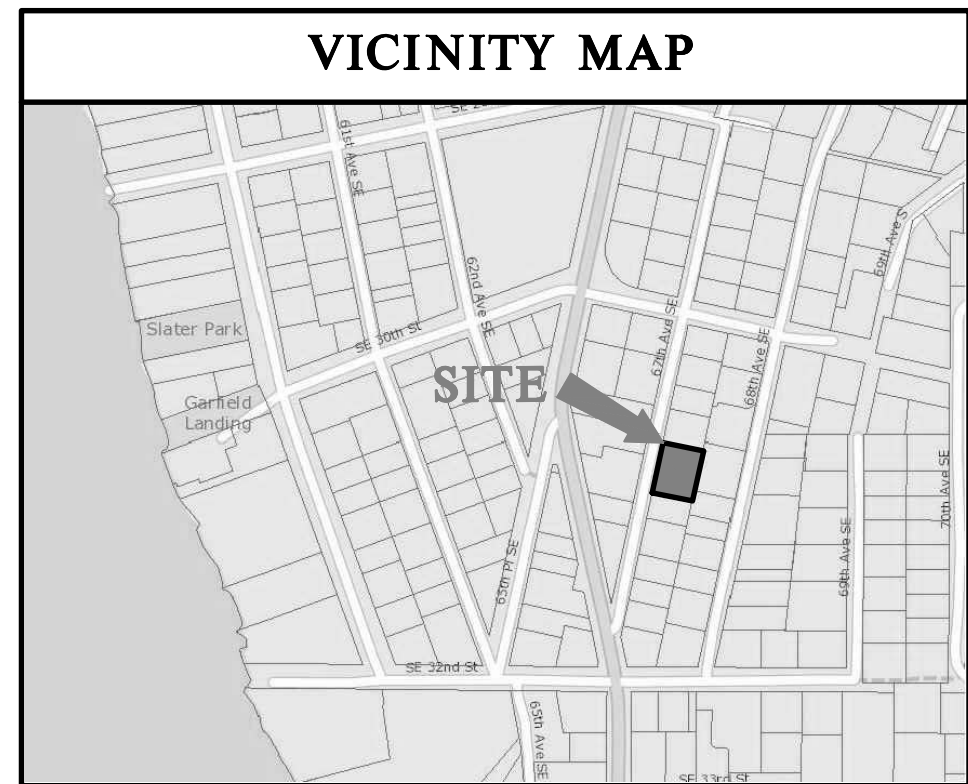
TAG	TREE/SPECIES	SIZE (DBH)	RETAINED
1	CEDRUS DOBORDA, DRODAR CEDAR	354	NO
2	PSUDOTSUGA MENZIESII, DOUGLAS FIR	29"	YES
3	PSUDOTSUGA MENZIESII, DOUGLAS FIR	35"	YES
4	APPLE SPECIES	9.2"	NO
5	APPLE SPECIES	12.9"	NO
6	PRUNUS, CHERRY	6.4"	NO
7	PRUNUS, PLUM	10.5"	NO
O.S.T.	CEDRUS ATLANTICA, ATLAS CEDAR	est. 30"	YES

TOTAL DBH = 138.4"
TOTAL RETAINED = 100.4"/46%
NOTE: DBH DOES NOT INCLUDE OFF SITE TREE

REPLACEMENT TREE IDENT.

TAG	TREE/SPECIES	NATIVE
R.1	JAPANESE MAPLE	
R.2	THUJA PLICATA	YES
R.3	VINE MAPLE	YES
R.4	THUJA PLICATA	YES
R.5	THUJA PLICATA	YES
R.6	THUJA PLICATA	YES
R.7	THUJA PLICATA	YES
R.8	DOGWOOD	
R.9	RED MAPLE	

6/9 NATIVE : 66% NATIVE



City of Mercer Island GFA Calculations

Wall Length	Percentage	Finish of Existing	Result	
A	24	77.0%	E/F	18.5
B	16	96.0%	F	15.4
C	9	100.0%	E/F	9.0
D	54	100.0%	E	54.0
E	36	26.0%	F	9.4
F	24	59.0%	E/F	14.2
G	3	0.0%	E/F	0.0
H	46	0.0%	F	0.0
Total Average Result			120.6	
Excluded Area			0.6	
Floor	Sq Ft	Result	Excluded Area	
2443	0.5683962		1388.591981	

Level	Area	Notes
Main Floor	2548	(2504+44) AREA > 16'
Upper Floor	1333	(1407-74) STAIRS
Lower Floor	1087	(2443-1356) EXCLUDED
Total G.F.A.	4968	39.7%

SITE INFO

STREET ADDRESSES:
3036 67th Ave SE

PARCEL #:
2174501025

LEGAL DESCRIPTION:
EAST SEATTLE ADD LOTS 15 THRU 18 TGW SLY 5 FT OF LOT 19
PLAT BLOCK: 6
PLAT LOT: 15 THRU 19

ZONING

ZONING: R-84
SINGLE FAMILY RESIDENTIAL SETBACKS
 FRONT YARD - 20'-0"
 REAR YARD - 25'
 TOTAL SIDE YARD(S) - 17% OF 120'-0" = 20.4' COMBINED
 INTERIOR SIDE YARD - 33% OF 20.4' = 6.73' MIN.

HEIGHT LIMIT
 30' ABOVE AVERAGE BUILDING ELEVATION
 35' DOWNHILL HIGHEST PLATE FROM EXISTING GRADE

LOT COVERAGE
 33% MAX OF GROSS LOT AREA
 G.F.A.
 40% MAX. OF NET LOT AREA

SITE CALCULATIONS

LOT AREA	12,500 SF	GROSS LOT AREA	
G.F.A. CALCULATION	12,500 SF	GROSS LOT AREA	
x 40%	5,000 SF	ALLOWABLE G.F.A.	
2,548 SF	MAIN FLOOR (see G.F.A. calculations below)		
1,333 SF	UPPER FLOOR (see G.F.A. calculations below)		
1,087 SF	LOWER FLOOR/GARAGE (see G.F.A. calculations below)		
4,968 SF/39.7% TOTAL G.F.A.			
LOT COVERAGE CALCULATION	12,500 SF	GROSS LOT AREA	
x 33%	4,375 SF	ALLOWABLE LOT COVERAGE	
3,023 SF	STRUCTURE (including eaves)		
344 SF	COVERED PATIO/DECKS (including eaves)		
666 SF	DRIVEWAY (excluding portion under eaves)		
4,033 SF/32% TOTAL LOT COVERAGE			
HARDSCAPE SURFACE CALCULATION	12,500 SF	GROSS LOT AREA	
x .09%	1,125 SF	ALLOWABLE HARDSCAPE COVERAGE	
419 SF	FRONT WALKWAY AND STEPS (excluding portion under deck)		
139 SF	REAR PATIO (excluding portion w/ eaves)		
175 SF	MAIN FLOOR DECK (excluding portion under eaves)		
35 SF	REAR RETAINING WALL		
41 SF	FRONT RETAINING WALLS		
809 SF/6.5% TOTAL HARDSCAPE SURFACE AREA			

LEGEND

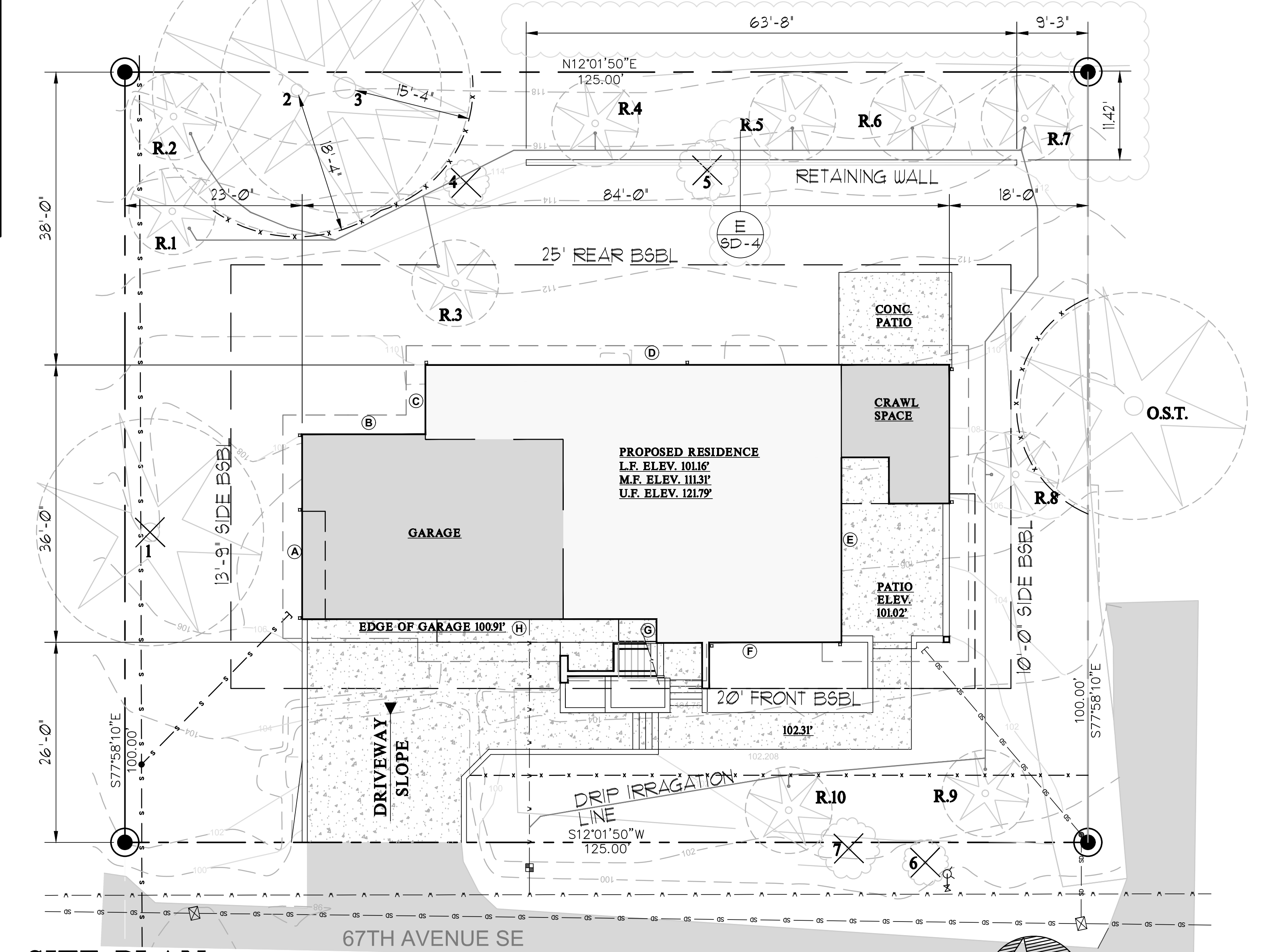
— v — v — DESIGNATES WATER
 — s — s — DESIGNATES SEWER
 — SD — SD — DESIGNATES STORM
 - - - - - DESIGNATES EXISTING GRADE
 - - - - - DESIGNATES FINISHED GRADE
 - - - - - DESIGNATES TREE DRIPLINE
 - x - x - DESIGNATES TREE FENCING
 --- --- --- DESIGNATES EXISTING WOOD FENCE
 --- --- --- EXISTING FENCE TO BE REMOVED

DEMO EXISTING STRUCTURES AND HARDSCAPE

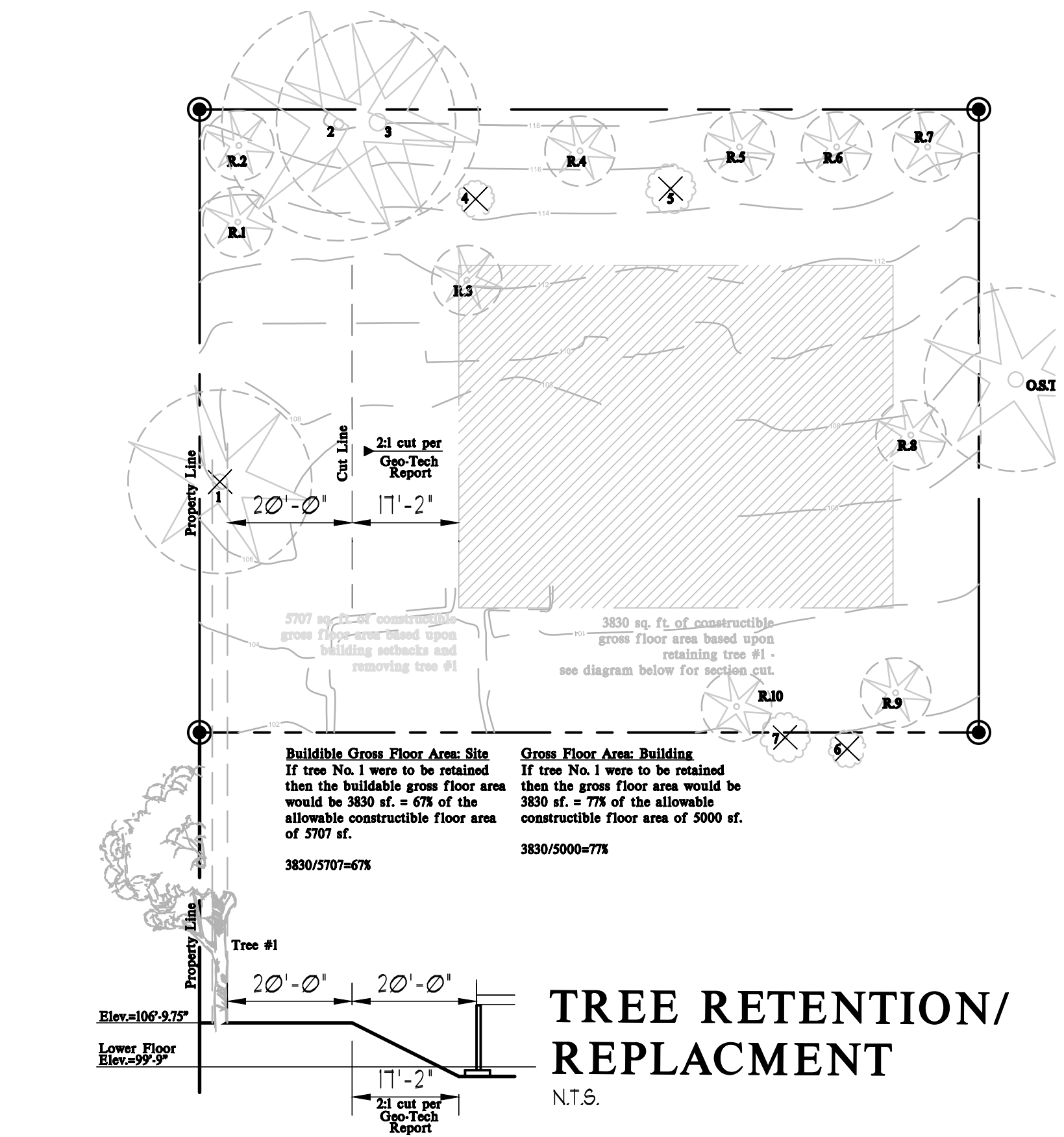
SEE ADDITIONAL STORM & UTILITY PLAN

REVIEWED FOR CODE COMPLIANCE

APRIL 23, 2024
SITE COPY



SITE PLAN, TREE RETENTION & REPLACEMENT
 Scale 1" = 10'



DATE: 8/1/2023
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DESIGNED BY: [Signature]
 PROJECT: 2174501025

Date	By	Description
8/1/23	REV	UPDATED SITE PLAN
8/1/23	REV	JURISDICTIONAL COMMENTS
8/25/23	REV	JURISDICTIONAL COMMENTS
9/25/23	REV	JURISDICTIONAL COMMENTS
11/27/23	REV	JURISDICTIONAL COMMENTS-CLOSED

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Westview Plan

Buchan Homes

Mercer Island, WA
 3036 67th Ave SE
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TITLE

JOB NO.:	STARTING NO.:
21076.03	START

SHEET
A1.1

3036 67TH AVE SE MERCER ISLAND SITE PLAN

LEGAL DESCRIPTION

LOTS 15, 16, 17, 18 AND THE SOUTHERLY 5 FEET OF LOT 19, BLOCK 6, EAST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGES 22 AND 23, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THAT PORTION THEREOF LYING WITHIN MERCER ISLAND ROAD (67TH AVENUE SE)

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARING

RECORD OF SURVEY BY TERRANE FOR JAYMARC HOMES, RECORDED ON JULY 26, 2021, IN VOLUME 451 OF SURVEYS, PAGE 259, UNDER RECORDING NO. 20210726900027, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM & CONTROL INTERVAL

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY THE CITY OF MERCER ISLAND.

THE MARK IS A MONUMENT IN CASE AT THE INTERSECTION OF 68TH AVENUE SE W AND SE 32ND STREET.

POINT ID NO. 47746;
ELEVATION: 112.571 FEET - NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.

SURVEY NOTES

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN AUGUST 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

SITE DATA

HIGHEST ELEVATION OF LOT: 118.25
 LOWEST ELEVATION OF LOT: 98.66
 LOT SLOPE: 19.3%
 TOTAL SITE AREA: 12,500 SF
 ALLOWED LOT COVERAGE: 40%
 PROPOSED LOT COVERAGE * 3,899 SF (31.2%)
 PROPOSED HARDSCAPE 581 SF (4.6%)
 PROJECT IMPERVIOUS AREA: 4,480 SF (35.8%)
 * LOT COVERAGE INCLUDES THE COMBINATION OF BUILDINGS, INCLUDING EAVES AND ROOF OVERHANGS, AND VEHICULAR DRIVING SURFACES AS DEFINED PER MIMC 19.16.010

OWNER / ARCHITECT

WILLIAM E. BUCHAN INC.
2630 116 AVE NE #100
BELLEVUE, WA 98004
(425) 831-5503
CONTACT: DAVID STAVE

ENGINEER

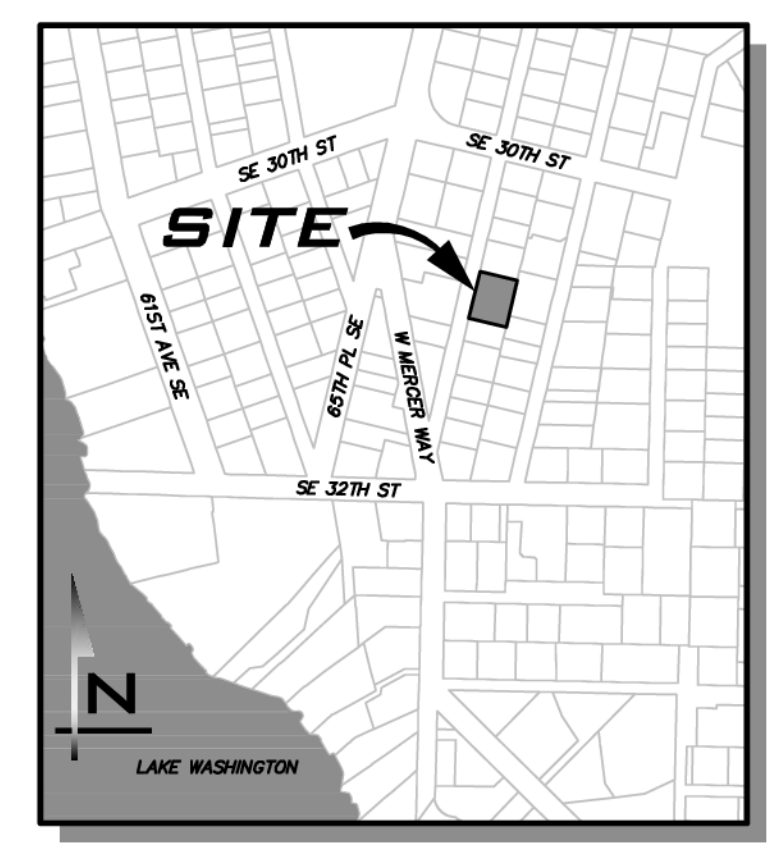
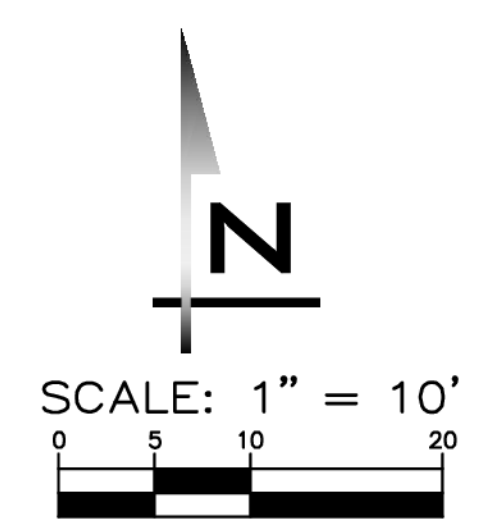
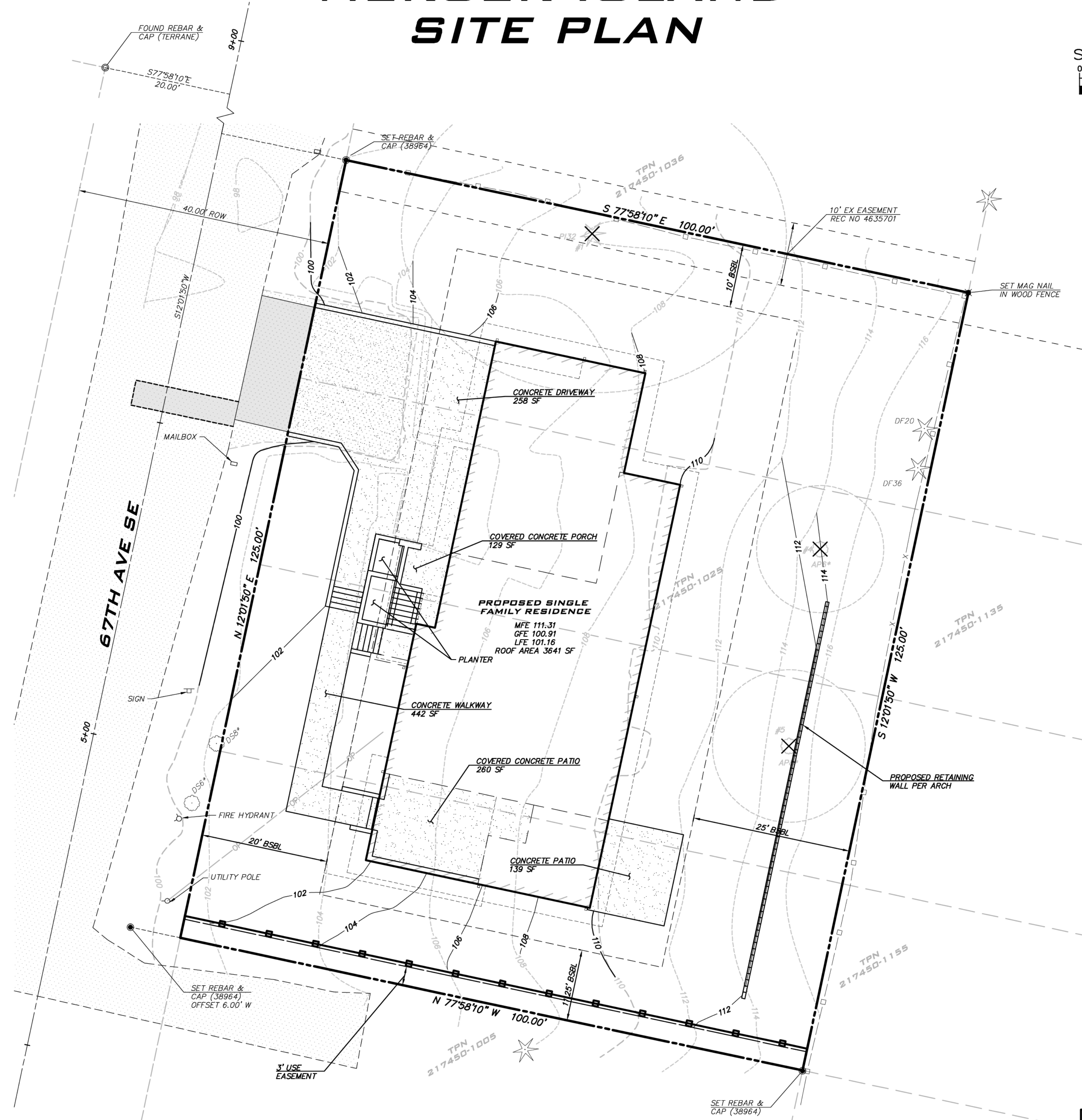
THE BLUELINE GROUP
25 CENTRAL WAY, SUITE 400
KIRKLAND, WA 98033
(425) 250-7262
CONTACT: YANNICK METS, PE

GEOTECH ENGINEER

TERRA ASSOCIATES, INC
12220 113TH AVE NE, SUITE 130
KIRKLAND, WA 98034
(425) 821-7777
CONTACT: CAROLYN S. DECKER, PE

SHEET INDEX

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- TG-01 TEMPORARY GRADING PLAN
- DT-01 DETAILS
- DT-02 DETAILS



LEGEND	
PROPOSED FEATURES	
BOUNDARY	MAILBOX
RIGHT-OF-WAY	ASPHALT PAVEMENT
LOT LINE	CONCRETE
SIDEWALK	
CENTER LINE	
SAWTOOTH	
BUILDING FOOTPRINT	
BUILDING OVERHANG	
BUILDING ROOFLINE	
BUILDING SETBACK (BSBL)	
190 - 10' PROPOSED CONTOURS	
192 - 2' PROPOSED CONTOURS	
PROPOSED STORM DRAINAGE	
STORM DRAIN PIPE	TYPE I CB - STANDARD GRADE
ROOF & FOOTING DRAIN	TYPE I CB - LOCKING LID
SWALE OR DITCH	STORM CLEANOUT
SURFACE FLOW	YARD DRAIN
EXISTING FEATURES	
ADJACENT PLAT/PARCEL LINE	POWER VAULT
ADJACENT RIGHT-OF-WAY	POWER METER
CENTERLINE	MAIL BOX
EASEMENT	
SURFACE FEATURES	
BUILDING FOOTPRINT	EXISTING CONIFEROUS TREE
190 - 10' CONTOURS	EXISTING DECIDUOUS TREE
192 - 2' CONTOURS	DRIP LINE
SD - STORM DRAIN PIPE	CONIFEROUS TREE TO BE SAVED
SS - SEWER MAIN	DECIDUOUS TREE TO BE SAVED
W - WATER MAIN	
AHP - AERIAL POWER LINE	EXISTING CONIFEROUS TREE TO BE REMOVED
G - GAS MAIN	EXISTING DECIDUOUS TREE TO BE REMOVED
X - WIRE FENCE	
BOARD FENCE	
RETAINING WALL	
ROCKERY	
CATCH BASIN, TYPE I	
CATCH BASIN, TYPE II	
SD PIPE FLOW	
SEWER MANHOLE	
SS PIPE FLOW	
FIRE HYDRANT	
WATER METER	
GATE VALVE	
POWER POLE	
GUY ANCHOR	
STREET LIGHT	
TESC FEATURES	
FILTER FENCE	PIPE FLOW
CONSTRUCTION FENCE	INTERIM CATCH BASIN PROTECTION (INSERT)
CLEARED AREA	
LIMITS OF CLEARING	

EXISTING UTILITY NOTE
 EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

BUILDING CALCULATIONS
 SEE ARCHITECTURAL SITE PLAN FOR TREE RETENTION, BUILDING HEIGHTS AND FAR CALCULATIONS.



25 CENTRAL WAY, SUITE 400,
KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052
WWW.ATWELL-GROUP.COM

SCALE:
AS NOTED
 PROJECT MANAGER:
YANNICK METS, PE
 PROJECT ENGINEER:
AU RAMEZANI, PE
 DESIGNER:
CHRISTOPHER WSCOMB
 ISSUE DATE:
11/20/2023

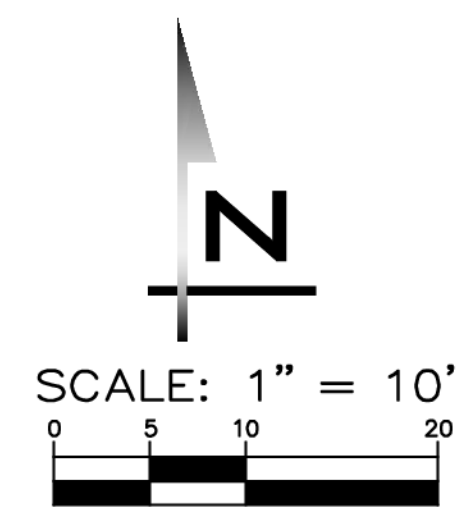
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COVER SHEET
3036 67TH AVENUE SE
 SITE PLAN
 PARCEL 2174501025
 CITY OF MERCER ISLAND WASHINGTON



REVIEWED FOR CODE COMPLIANCE
 NUMBER: 22-042
 DATE: April 23, 2024
 SHEET NAME: CV-01

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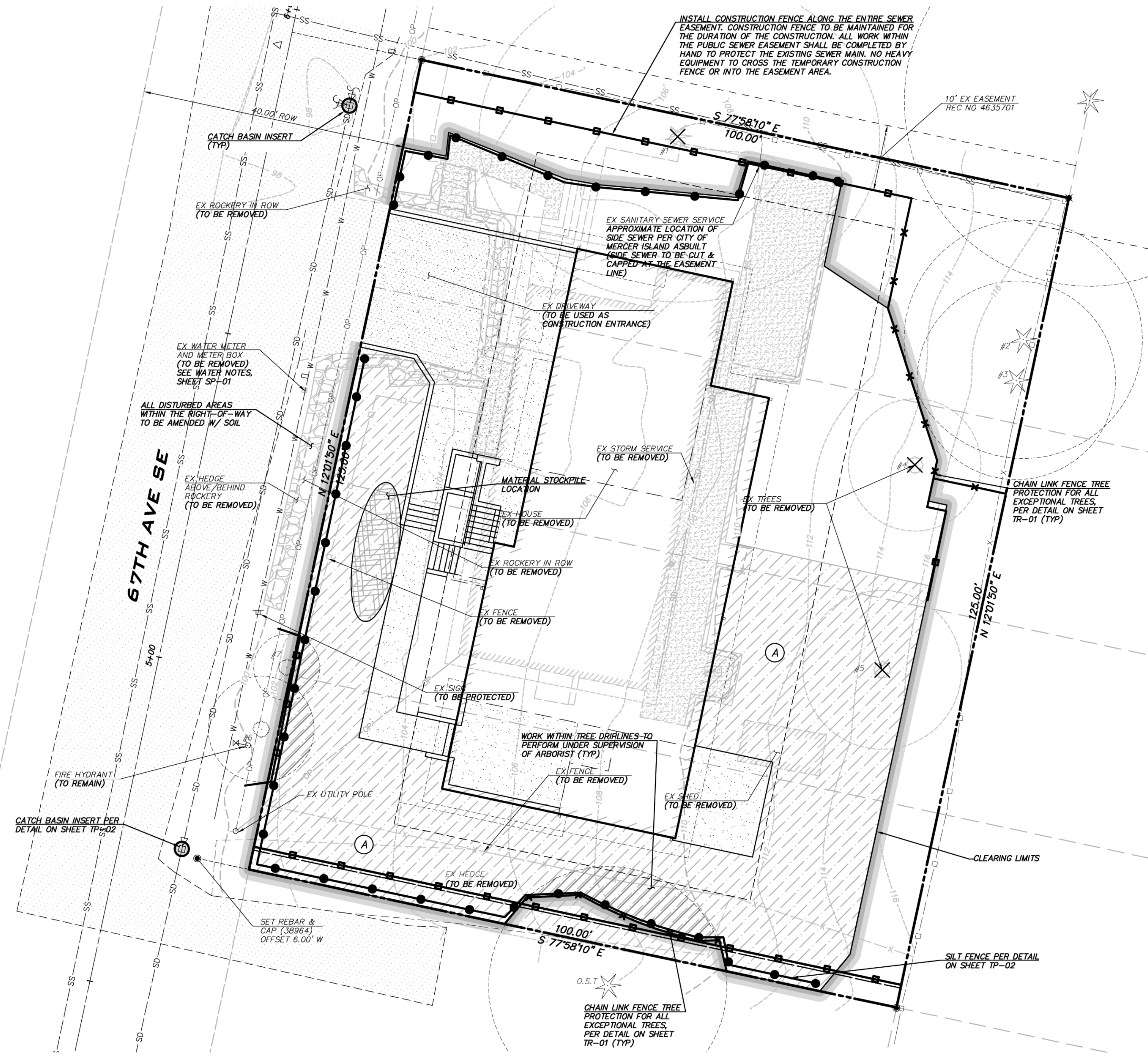
SCALE:
AS NOTED

PROJECT MANAGER:
YANNICK METS, PE

PROJECT ENGINEER:
ALI RAMEZANI, PE

DESIGNER:
CHRISTOPHER WSCOMB

ISSUE DATE:
11/20/2023



NOTE
CATCH BASIN INLET PROTECTION TO BE INSTALLED UP TO 250' DOWNSTREAM OF THE PROJECT SITE.

SOIL AMENDMENT LEGEND

(A) NEW TURF AREA REQUIRING AMENDMENT (3,602 SF)

POST-CONSTRUCTION SOIL MANAGEMENT NOTES

AMEND SOILS WITH COMPOST PER PRE-APPROVED AMENDMENT METHOD

SCARIFY EXISTING SOILS TO DEPTH OF 8 INCHES

REFER TO CITY OF MERCER ISLAND SECTION D: POST-CONSTRUCTION SOIL MANAGEMENT FORM UNDER SEPARATE COVER FOR CALCULATED AMENDMENT QUANTITIES.

NOTE
EXISTING WATER METER TO BE ABANDONED.

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

NO	DATE	BY	REVISIONS

TEGC PLAN
3036 67TH AVENUE SE
SITE PLAN
 PARCEL 2174501025
 CITY OF MERCER ISLAND WASHINGTON

11/20/23

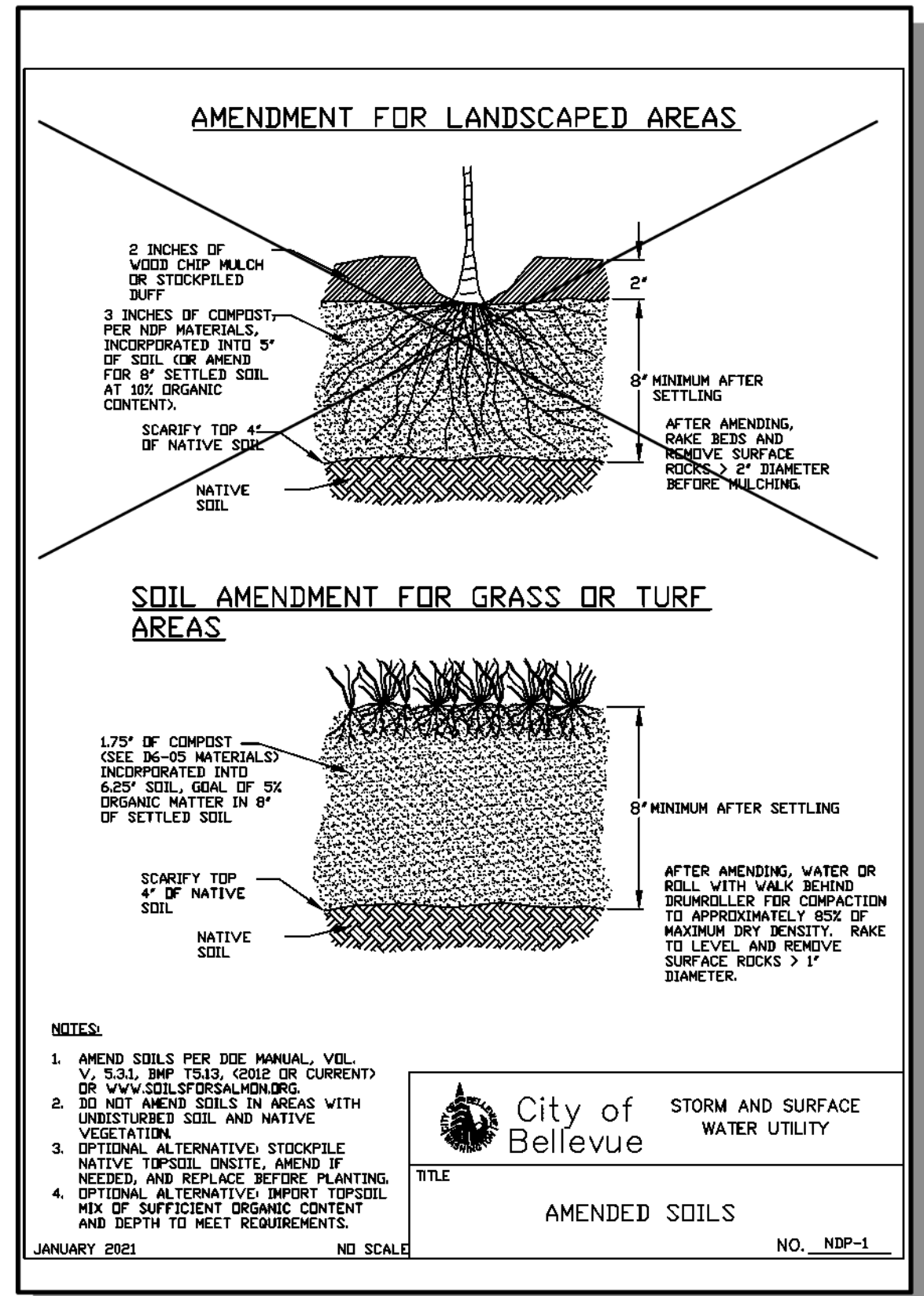
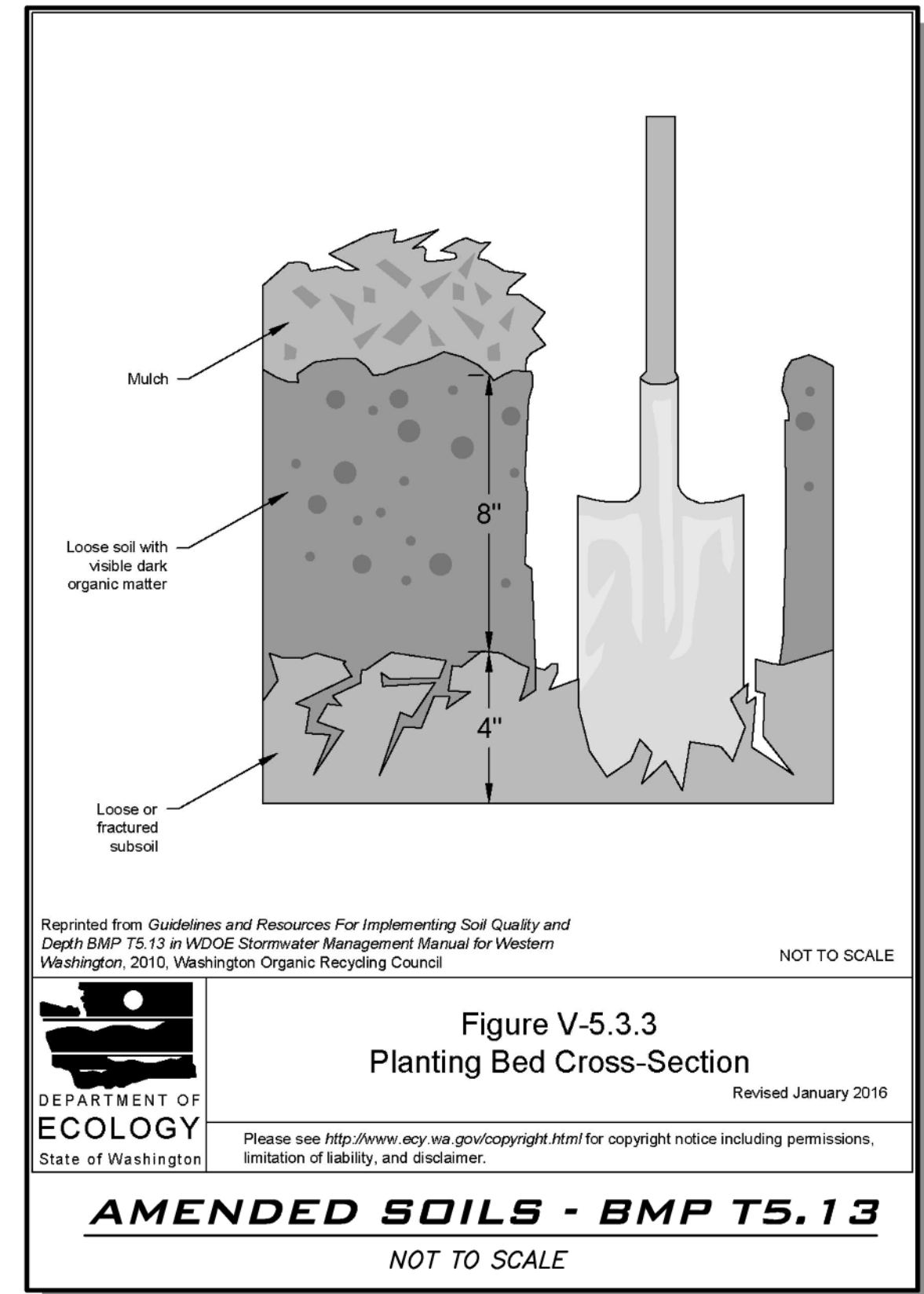
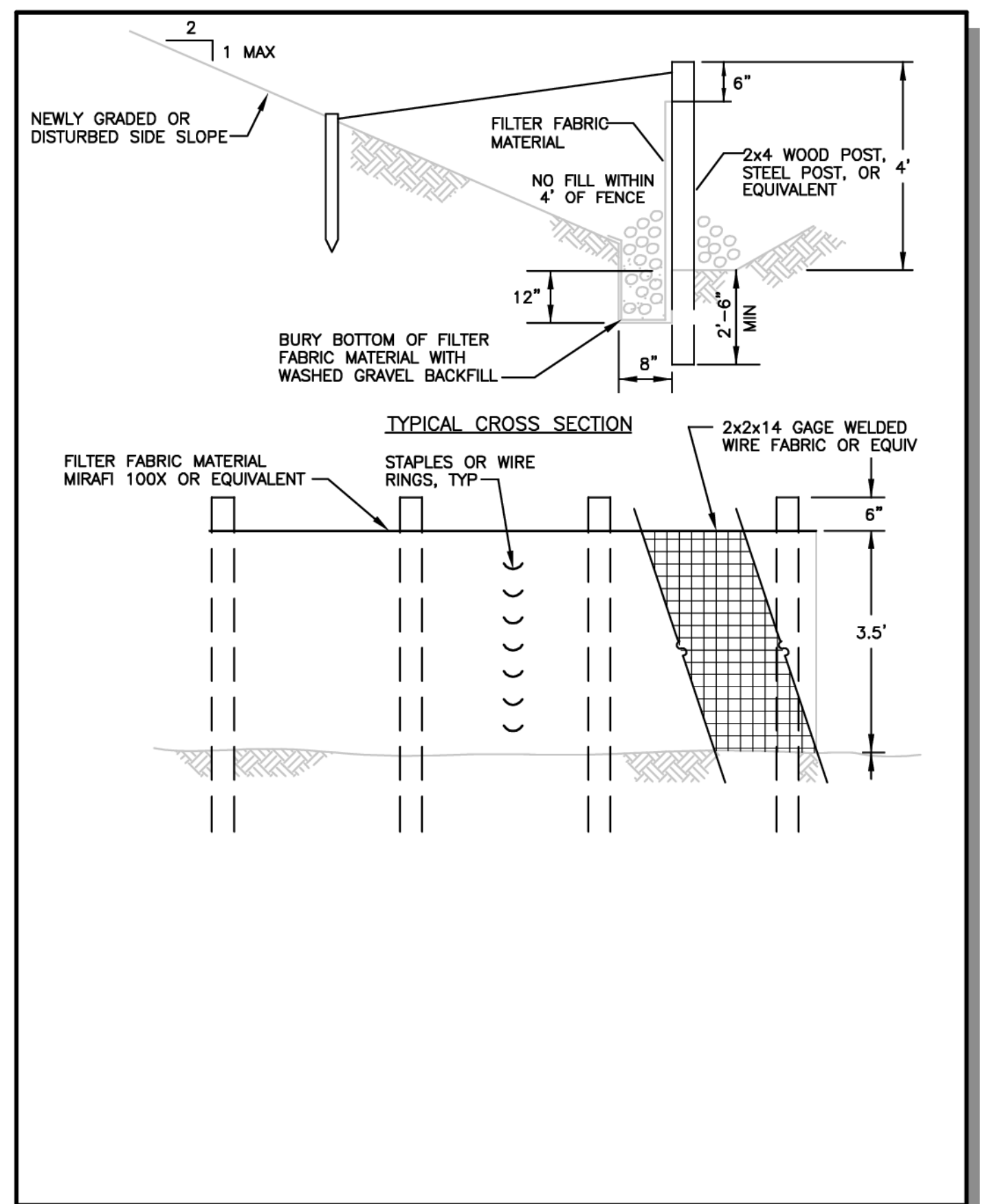
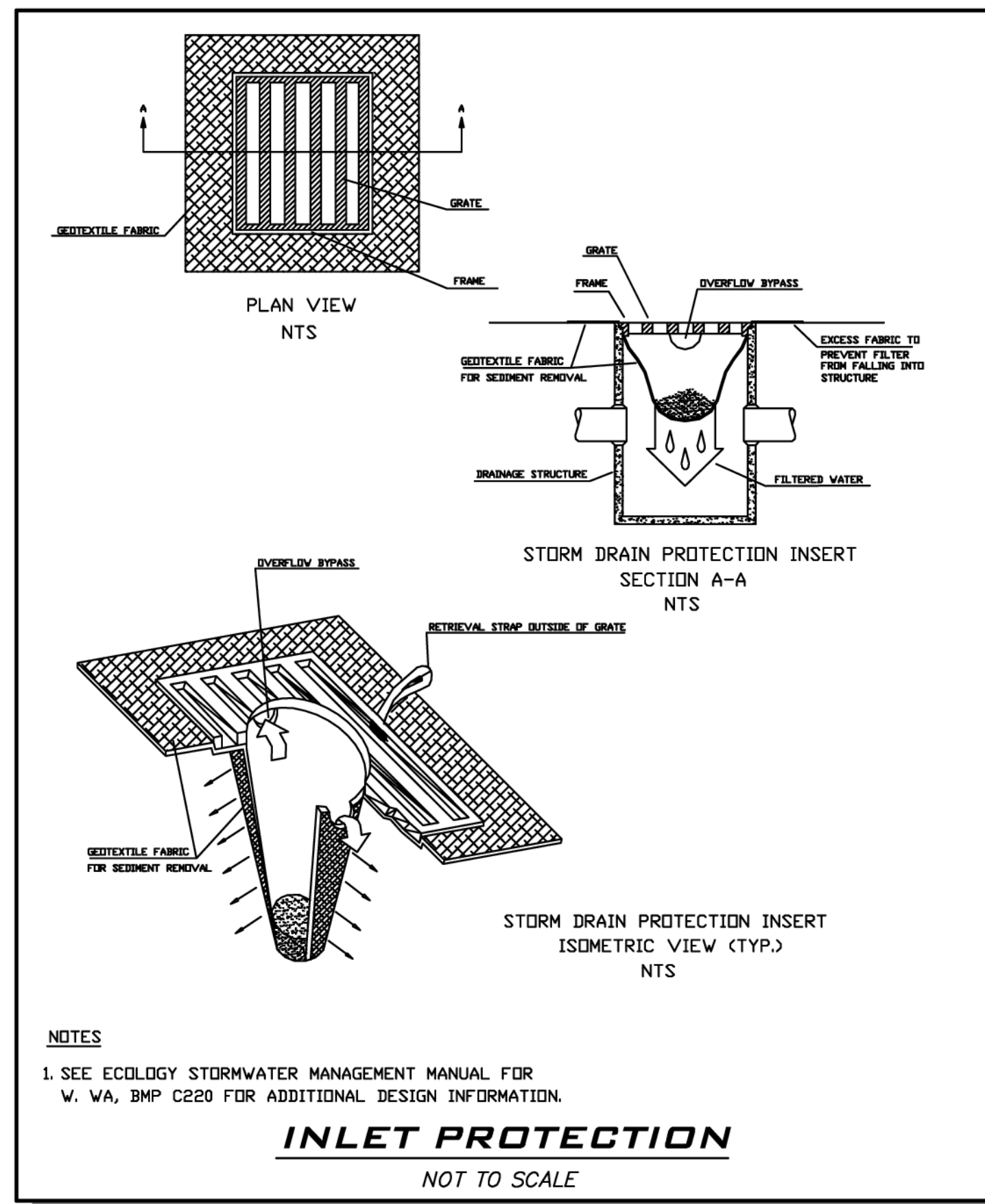
JOB NUMBER:
22-042

SHEET NAME:
TP-01

REVIEWED FOR CODE COMPLIANCE

TESC - PLAN NOTES

- THE APPROVED CONSTRUCTION SEQUENCE SHALL BE AS FOLLOWS:
 - CONDUCT PRE-CONSTRUCTION MEETING.
 - FLAG OR FENCE CLEARING LIMITS.
 - POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.
 - INSTALL CATCH BASIN PROTECTION IF REQUIRED.
 - GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
 - INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
 - CONSTRUCT SEDIMENT PONDS AND TRAPS.
 - GRADE AND STABILIZE CONSTRUCTION ROADS.
 - CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
 - MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 - RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS.
 - COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.
 - STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.
 - SEED OR SOO ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
 - UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE TESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT, IN ADDITION, TEMPORARY WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SLUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE TESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
- THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
- ALL DENUDE SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES:
 - APRIL 1 TO OCTOBER 31 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING.
 - NOVEMBER 1 TO MARCH 31 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING.
 - AT NO TIME SHALL MORE THAN 1" OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.
- WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
- WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2".
- ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
- THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY OF MERCER ISLAND INSPECTOR.
- A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 4' HIGH TEMPORARY CONSTRUCTION FENCE (CYCLONE OR PLASTIC MESH) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL A DWELLING IS CONSTRUCTED AND OWNERSHIP TRANSFERRED TO THE FIRST OWNER/OCCUPANT.
- CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6-FT. HIGH CHAIN LINK FENCE ADJACENT THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.
- OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.
- ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A "FILTER FABRIC SOCK" OR EQUIVALENT.
- THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF MERCER ISLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.
- ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40% -70% PASSING; 2"-4" ROCK/30% -40% PASSING; AND 1"-2" ROCK/10% -20% PASSING.
- IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY.
- ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.
- DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.
- PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK OF OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.



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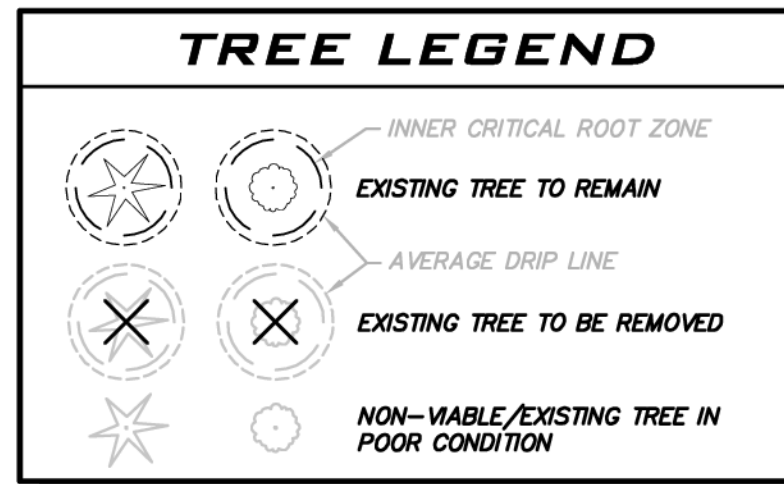
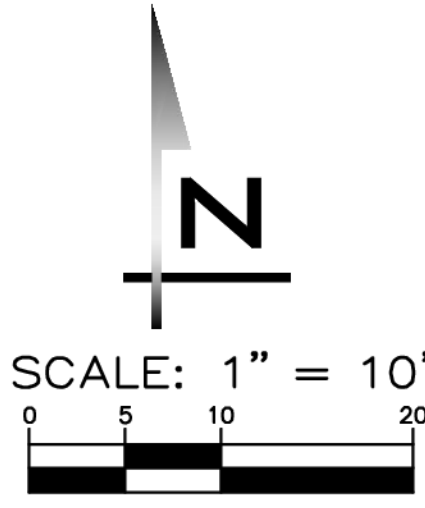
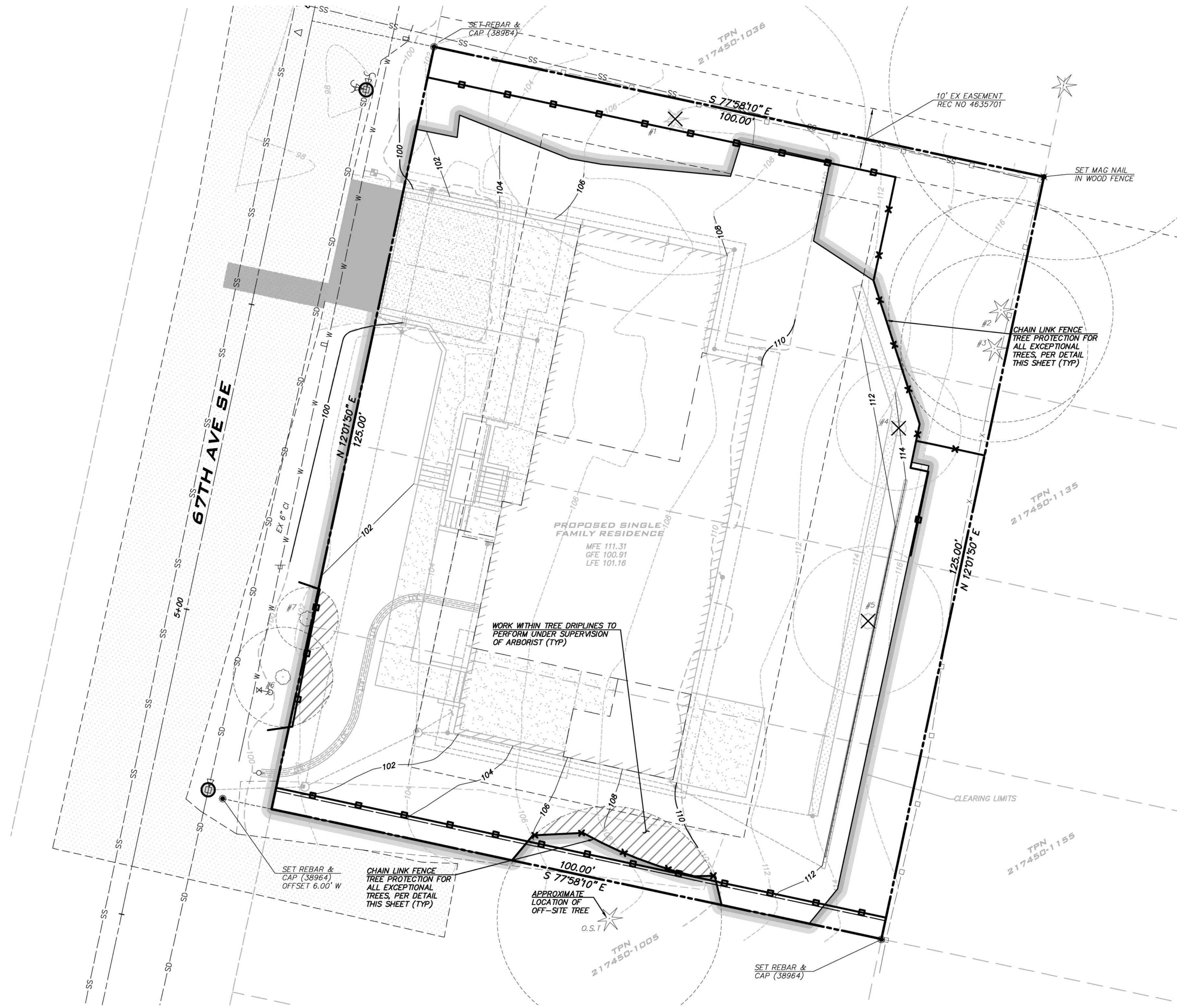
SCALE: AS NOTED
PROJECT MANAGER:
YANNICK METS, PE
PROJECT ENGINEER:
ALI RAMEZANI, PE
DESIGNER:
CHRISTOPHER WSCOMB
ISSUE DATE:
11/20/2023

NO	DATE	BY	REVISIONS

TESC DETAILS
3036 67TH AVENUE SE
SITE PLAN
PARCEL 2174501025
CITY OF MERCER ISLAND WASHINGTON

11/20/23
JOB NUMBER:
22-042
SHEET NAME:
TP-02

EXISTING UTILITY NOTE
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TREE PROTECTION AREA (TPZ)

KEEP OUT!

DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees/financial penalties
3. Arborist reports/recommending mitigation

Notes:

1. No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
2. No grading, excavation, storage (materials, equipment, vehicles, etc.) or other unpermitted activity shall occur inside the protective fencing.
3. Penalties for damage by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (M/C: 15.10.360).
4. Any work in approved TPZ must be with the permission of the City Arborist (205) 275-7713, john.ketney@mercer.gov.
5. 5' course woodchip within the tree protection zone, but not against the tree trunk.

Tree protection fence: 4' tall, black fence, solidly anchored into the ground, or if anchored high-density polyethylene fencing with 3.5' x 1.5' openings, color orange. Steel posts installed at 8' o.c.

2" x 4" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indicated on the plans

Any Work in the protected area must be with the permission of the City Arborist john.ketney@mercer.gov

TREE PROTECTION FENCING

NTS

STORM NOTES

STORM SERVICES TO BE 4" PVC AT 2% MIN SLOPE UNLESS OTHERWISE NOTED. SERVICES DESIGNED TO HAVE AT LEAST 1.5' COVER.

AMENDED SOILS

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

WATER NOTES

1. IF EXISTING METER MEETS CURRENT CITY STANDARDS IT CAN BE RE-USED OTHERWISE CUT AND CAP SERVICE AT MAIN PER CURRENT PUBLIC WORKS SPECIFICATIONS AND INSTALL NEW SERVICES.
2. NEW 1" WATER SERVICE AND 3/4" METER SHOWN IS TYPICAL SIZE FOR A NEW SINGLE FAMILY HOME. SIZE MAY VARY, BASED ON UPC SIZING CRITERIA, AND SHALL BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
3. IF NEW WATER SERVICE IS REQUIRED, INSTALL PER MERCER ISLAND SDT W-13.

SANITARY SEWER NOTES

1. EXISTING LOCATION OF SANITARY SEWER PER CITY OF MERCER ISLAND ASBUILT. CONTRACTOR TO VERIFY POINT OF CONNECTION WITHIN THE EASEMENT.
2. EXISTING SANITARY SEWER LINE SHALL BE CUT AND CAPPED AT POINT OF CONNECTION TO THE SIDE SEWER. THE EXISTING SS LINE WITHIN THE EASEMENT SHALL BE CLEANED, LOCATED AND INSPECTED BY CAMERA TO VERIFY SUITABILITY FOR RE-USE AND NEED FOR RE-LINING.
3. PROPOSED SEWER SERVICE LINE TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-18.
4. SANITARY SEWER CLEANOUT TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-19.
5. REFER TO CITY OF MERCER ISLAND STANDARD DETAIL S-22 FOR DISCONNECTION AND RECONNECTION NOTES AND SPECIFICATIONS

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25 CENTRAL WAY, SUITE 400,
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P: 425.216.4051 F: 425.216.4052
WWW.ATWELL-GROUP.COM

SCALE:
AS NOTED

PROJECT MANAGER:
YANNICK METS, PE

PROJECT ENGINEER:
ALI RAMEZANI, PE

DESIGNER:
CHRISTOPHER WISCOMB

ISSUE DATE:
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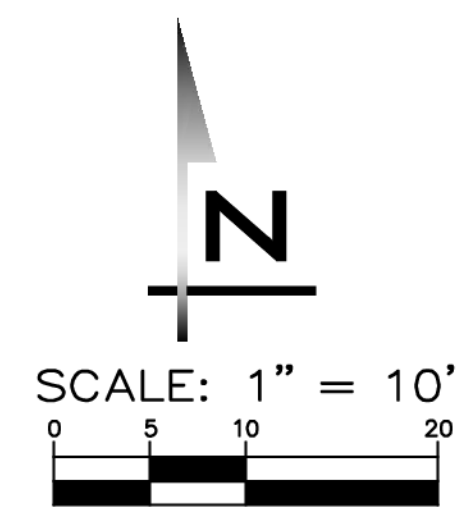
TREE RETENTION PLAN
3036 67TH AVENUE SE
SITE PLAN
PARCEL 2174501025
CITY OF MERCER ISLAND WASHINGTON

REVIEWED FOR CODE COMPLIANCE
April 23, 2024/120/23

SITE COPY NUMBER:
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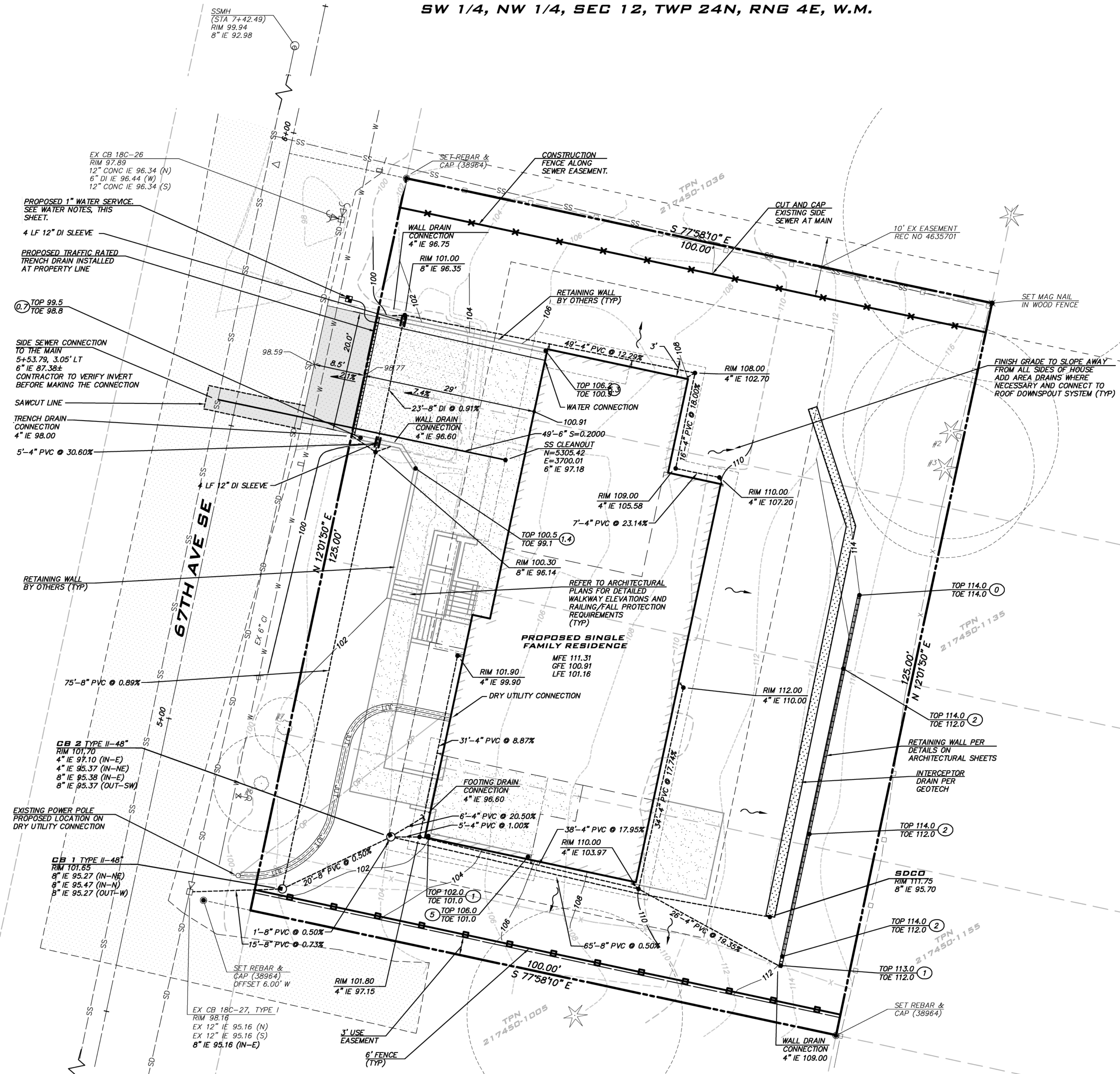
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SHT **4** OF **9**



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STORM NOTES

1. STORM SERVICES TO BE 4" PVC AT 2% MIN SLOPE UNLESS OTHERWISE NOTED. SERVICES DESIGNED TO HAVE AT LEAST 1.5' COVER.
2. TYPE II CATCH BASINS TO BE INSTALLED PER COB STD DTL D-4.
3. STORM DRAIN CLEANOUTS TO BE INSTALLED PER COB STD DTL D-52.

AMENDED SOILS

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

WATER NOTES

1. IF EXISTING METER MEETS CURRENT CITY STANDARDS IT CAN BE RE-USED OTHERWISE CUT AND CAP SERVICE AT MAIN PER CURRENT PUBLIC WORKS SPECIFICATIONS AND INSTALL NEW SERVICES.
2. NEW 1" WATER SERVICE AND 3/4" METER SHOWN IS TYPICAL SIZE FOR A NEW SINGLE FAMILY HOME. SIZE MAY VARY, BASED ON UPC SIZING CRITERIA, AND SHALL BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
3. IF NEW WATER SERVICE IS REQUIRED, INSTALL PER MERCER ISLAND SDT DTL W-13.

SANITARY SEWER NOTES

1. EXISTING SANITARY SEWER LINE SHALL BE CUT AND CAPPED AT THE EASEMENT LINE.
2. PROPOSED SEWER SERVICE LINE TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-18 & S-17.
3. SANITARY SEWER CLEANOUT TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-19.
4. REFER TO CITY OF MERCER ISLAND STANDARD DETAIL S-22 FOR DISCONNECTION AND RECONNECTION NOTES AND SPECIFICATIONS
5. MAINTAIN MINIMUM 18" BETWEEN NEW SIDE SEWER AND OTHER UTILITIES.

EXISTING UTILITY NOTE

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3036 67TH AVENUE SE
 SITE PLAN
 PARCEL 2174501025
 CITY OF MERCER ISLAND WASHINGTON

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 SHEET NUMBER: 2-042
 SHEET NAME: SP-01
 SHT 5 OF 9



ATWELL

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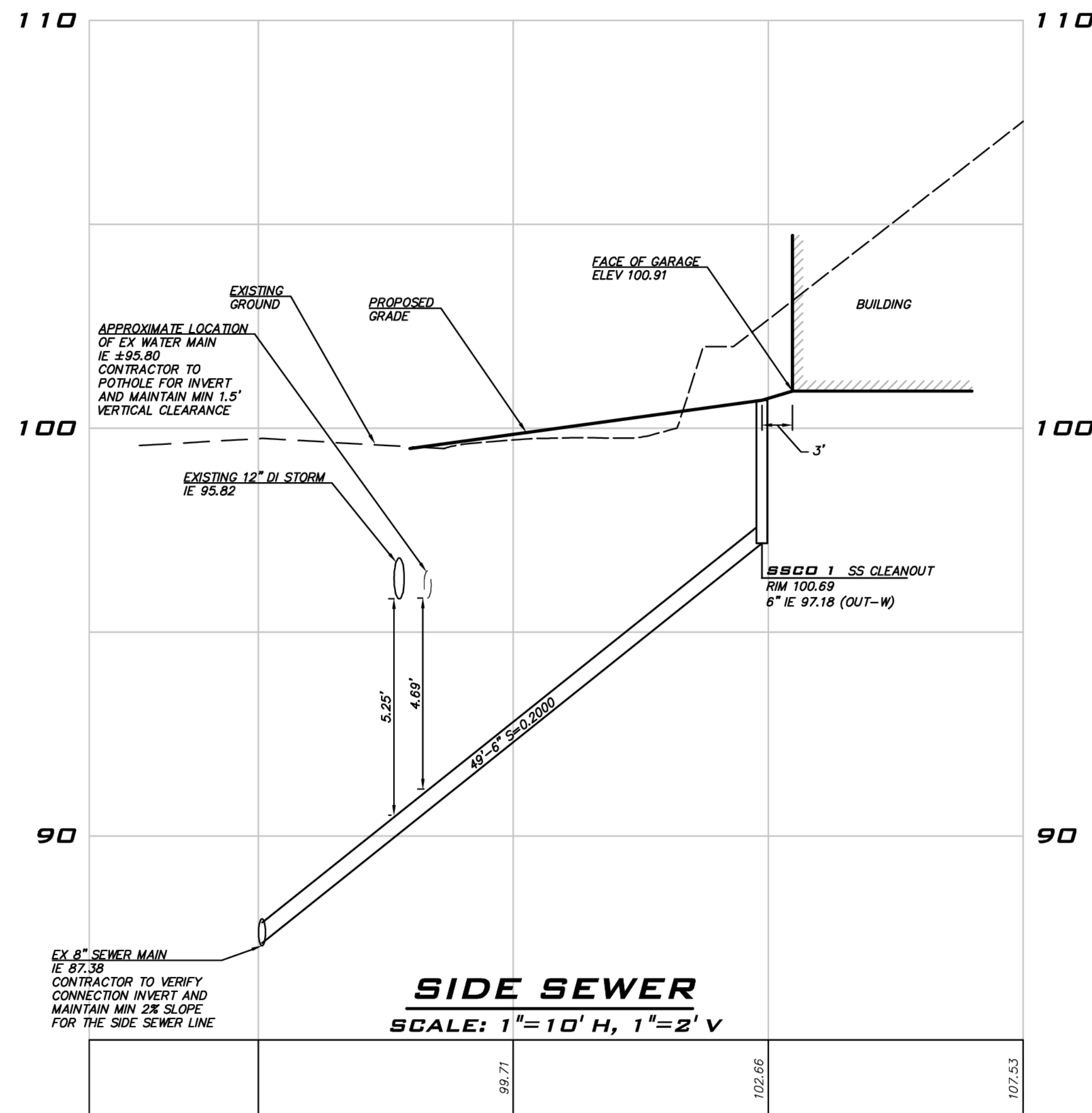
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PROJECT ENGINEER:
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DESIGNER:
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- SANITARY SEWER CLEANOUT TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-19.
- REFER TO CITY OF MERCER ISLAND STANDARD DETAIL S-22 FOR DISCONNECTION AND RECONNECTION NOTES AND SPECIFICATIONS
- MAINTAIN MINIMUM 18" BETWEEN NEW SIDE SEWER AND OTHER UTILITIES.

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

SIDE SEWER PROFILE
3036 67TH AVENUE SE
SITE PLAN
 PARCEL 2174501025
 CITY OF MERCER ISLAND WASHINGTON



REVIEWED FOR CODE COMPLIANCE

DATE: 11/23/2023
 JOB NUMBER: 22-042
 SHEET NAME: SS-01



25 CENTRAL WAY, SUITE 400,
KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052
WWW.ATWELL-GROUP.COM

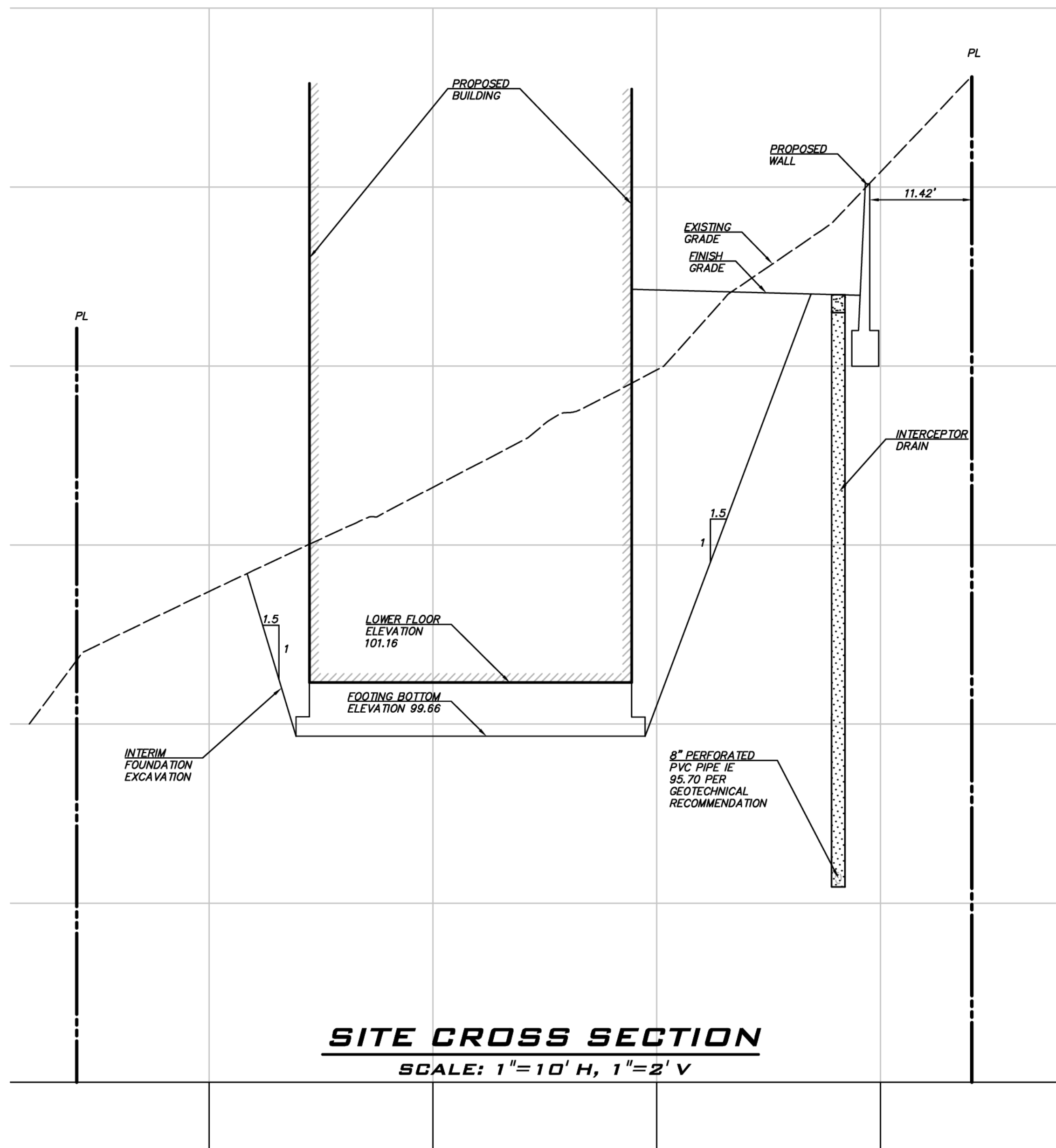
SCALE:
AS NOTED

PROJECT MANAGER:
YANNICK METS, PE

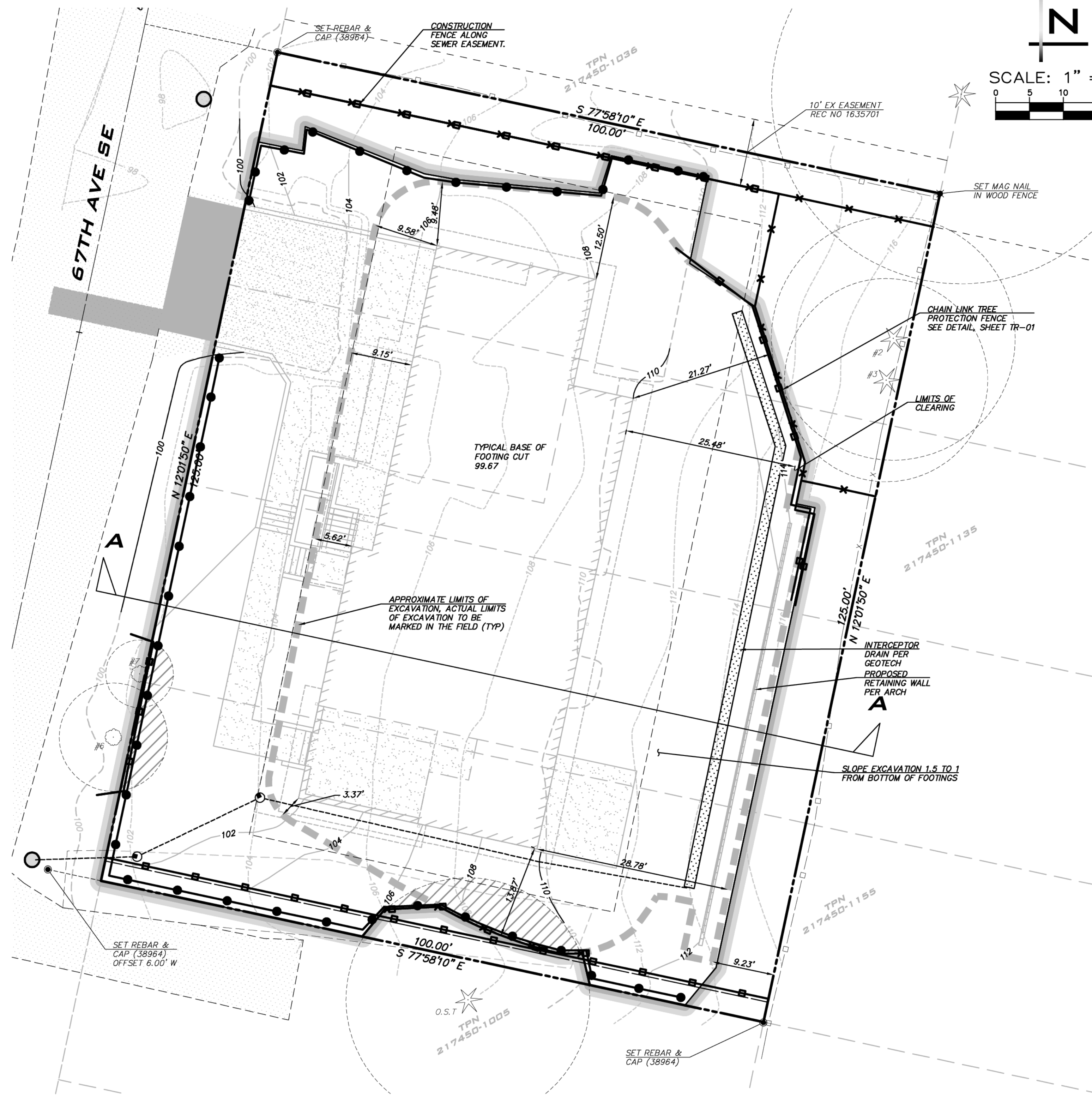
PROJECT ENGINEER:
ALI RAMEZANI, PE

DESIGNER:
CHRISTOPHER WSCOMB

ISSUE DATE:
11/20/2023



SITE CROSS SECTION
SCALE: 1"=10' H, 1"=2' V



EXISTING UTILITY NOTE

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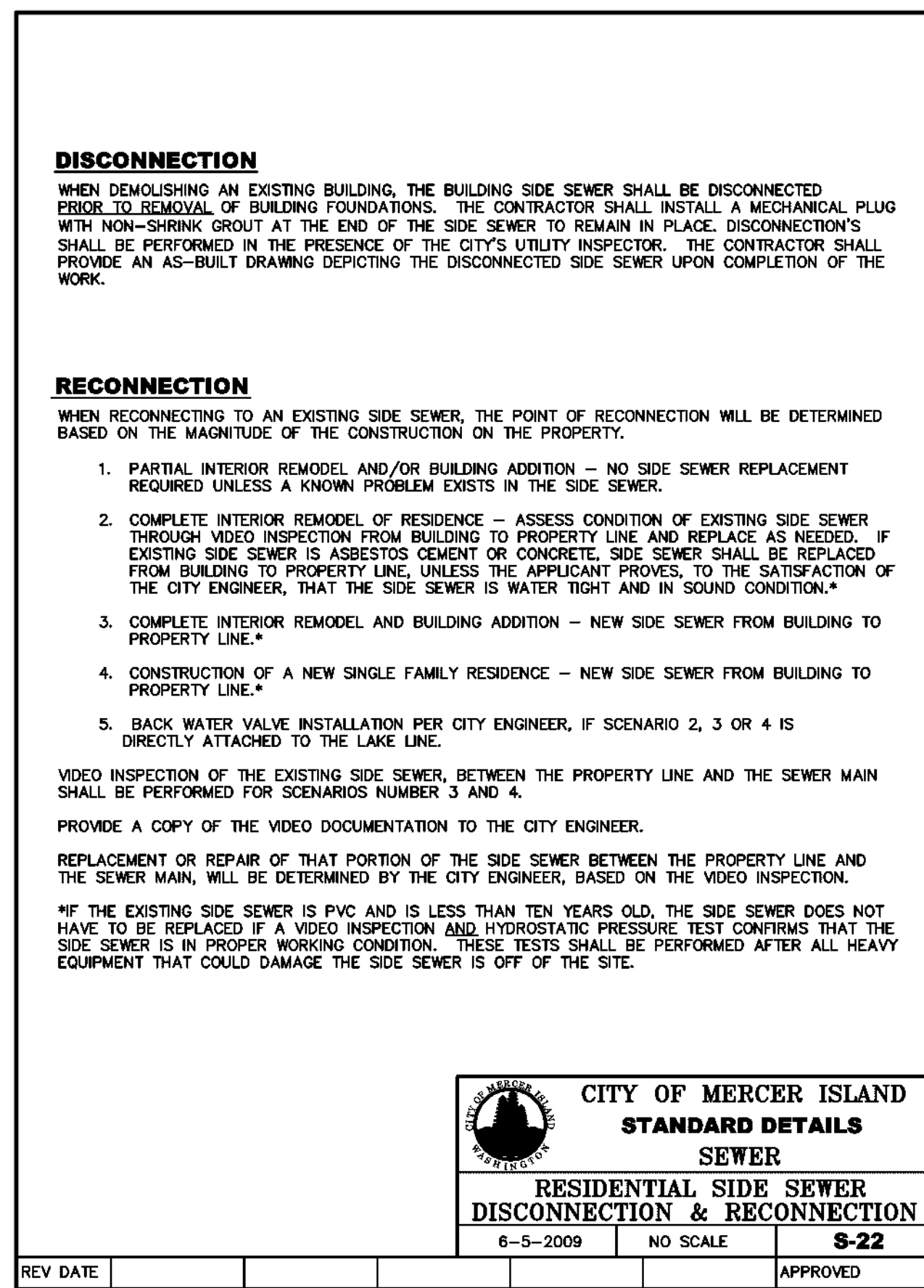
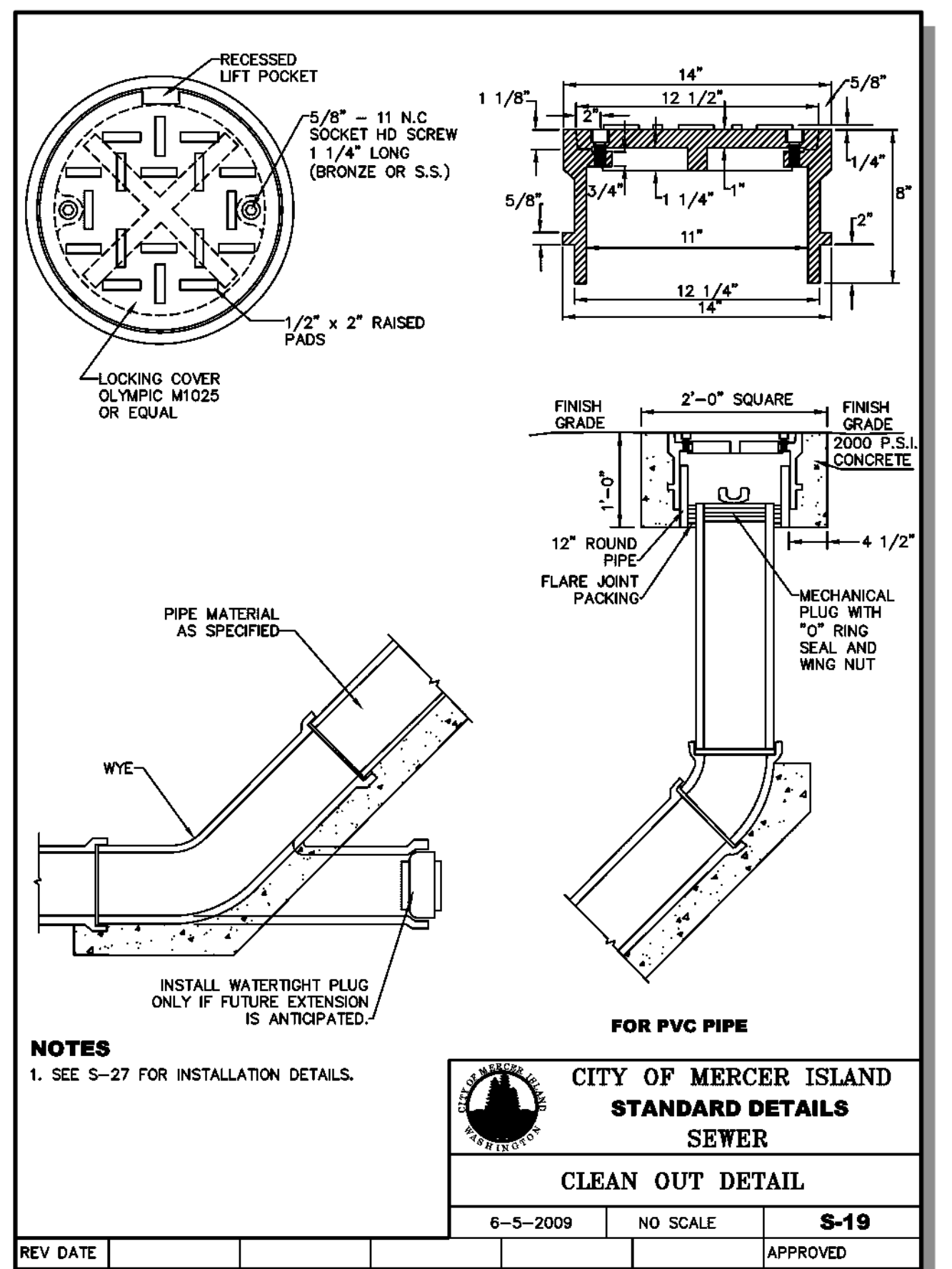
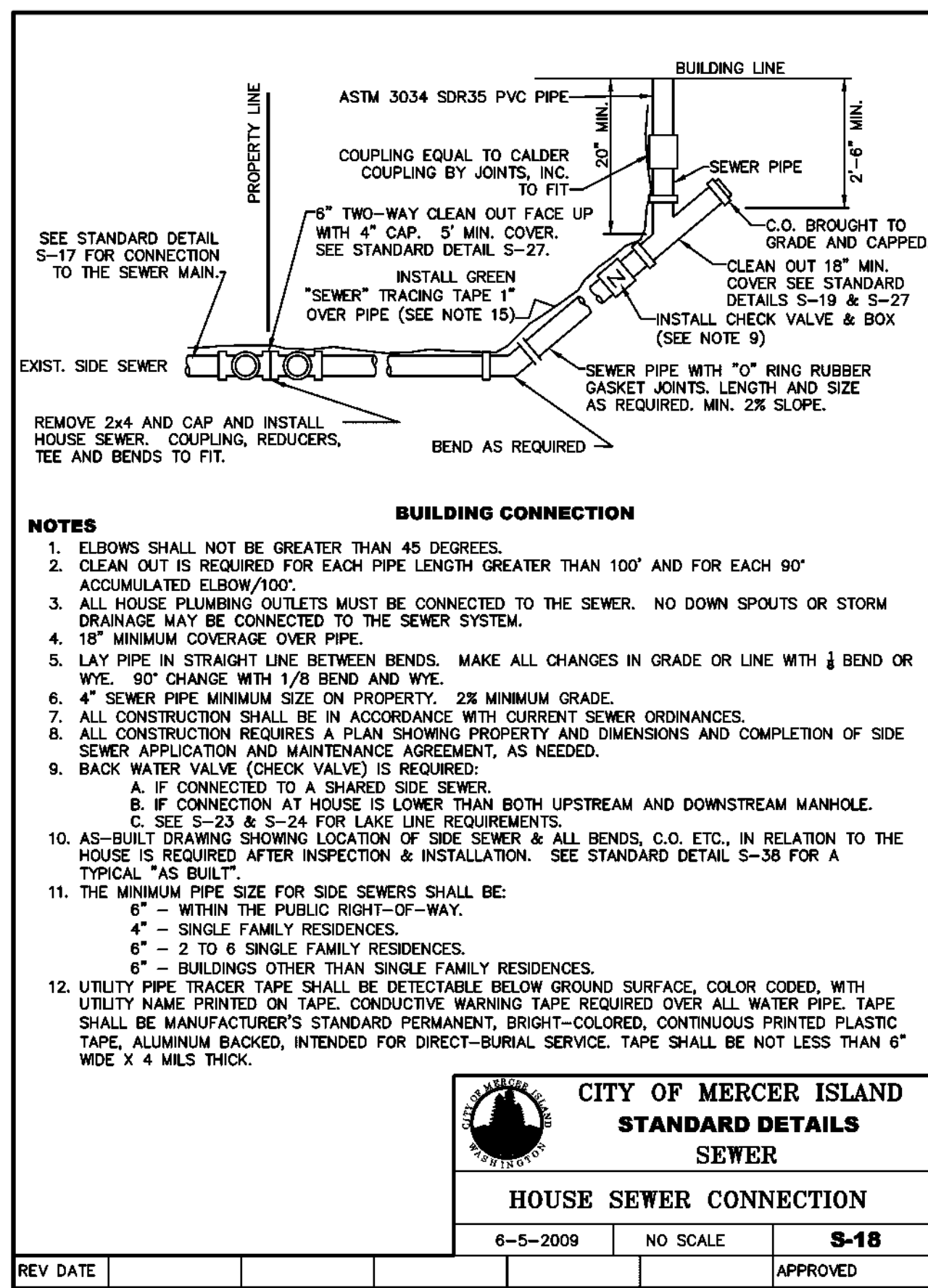
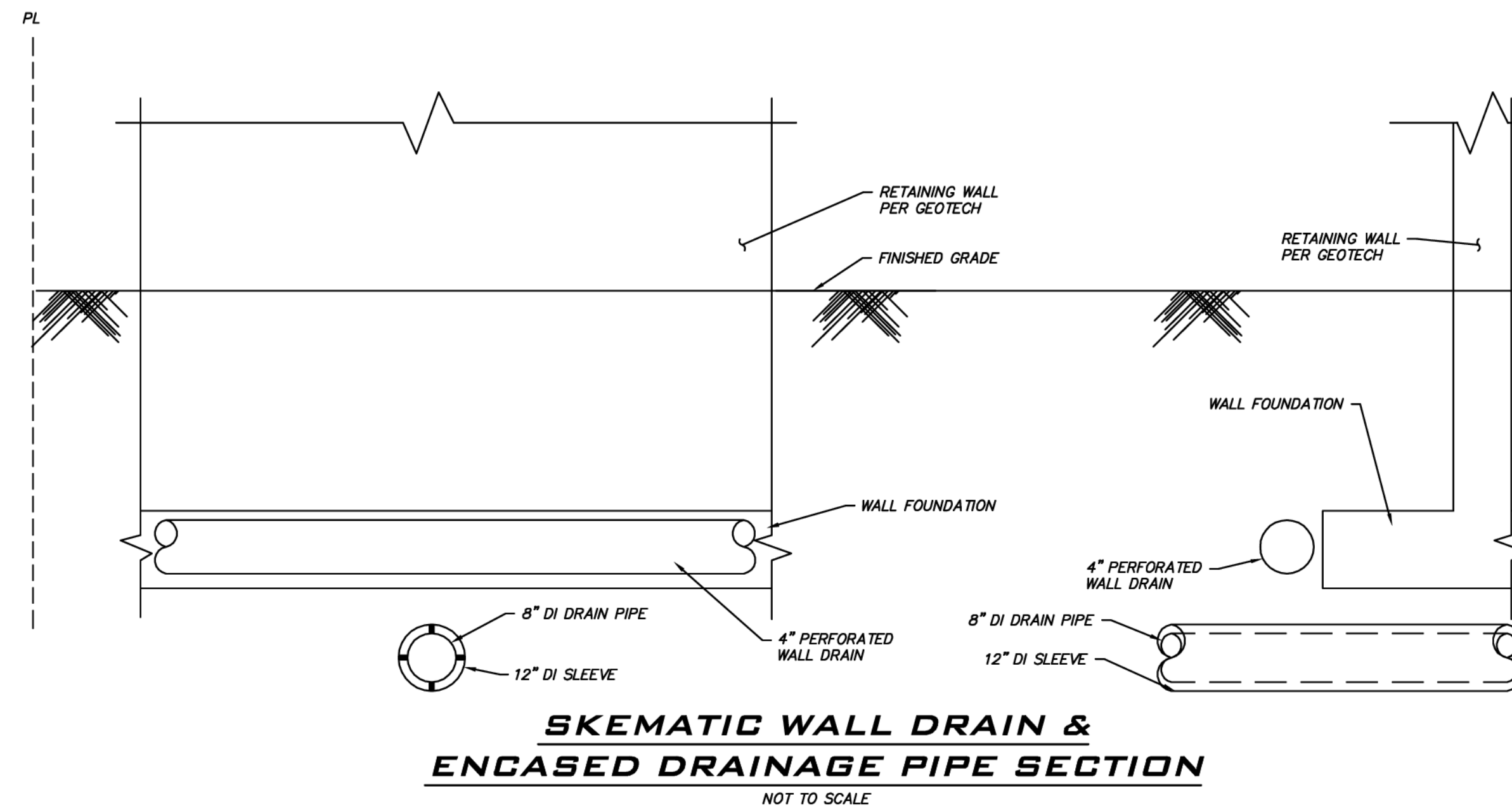
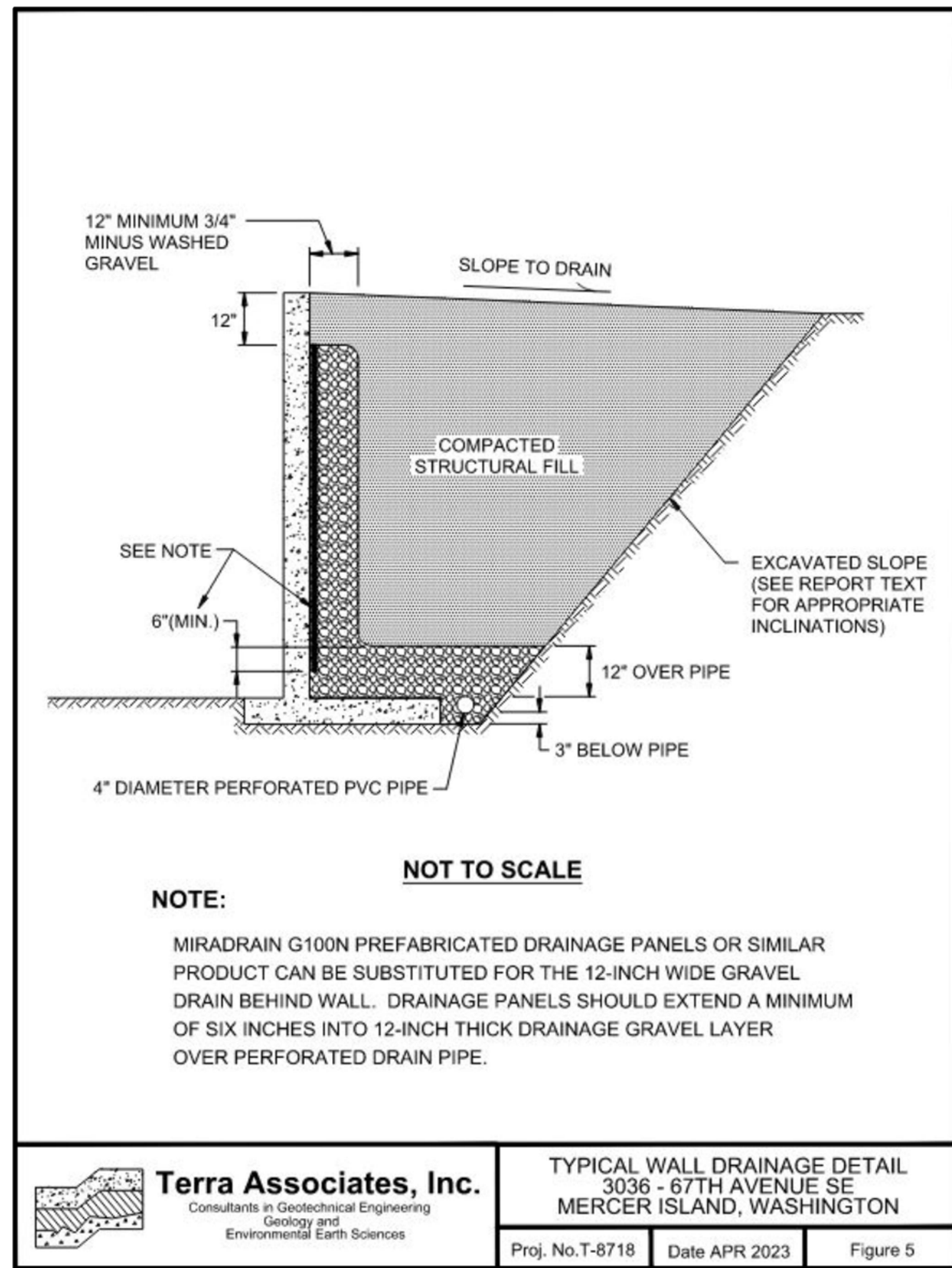
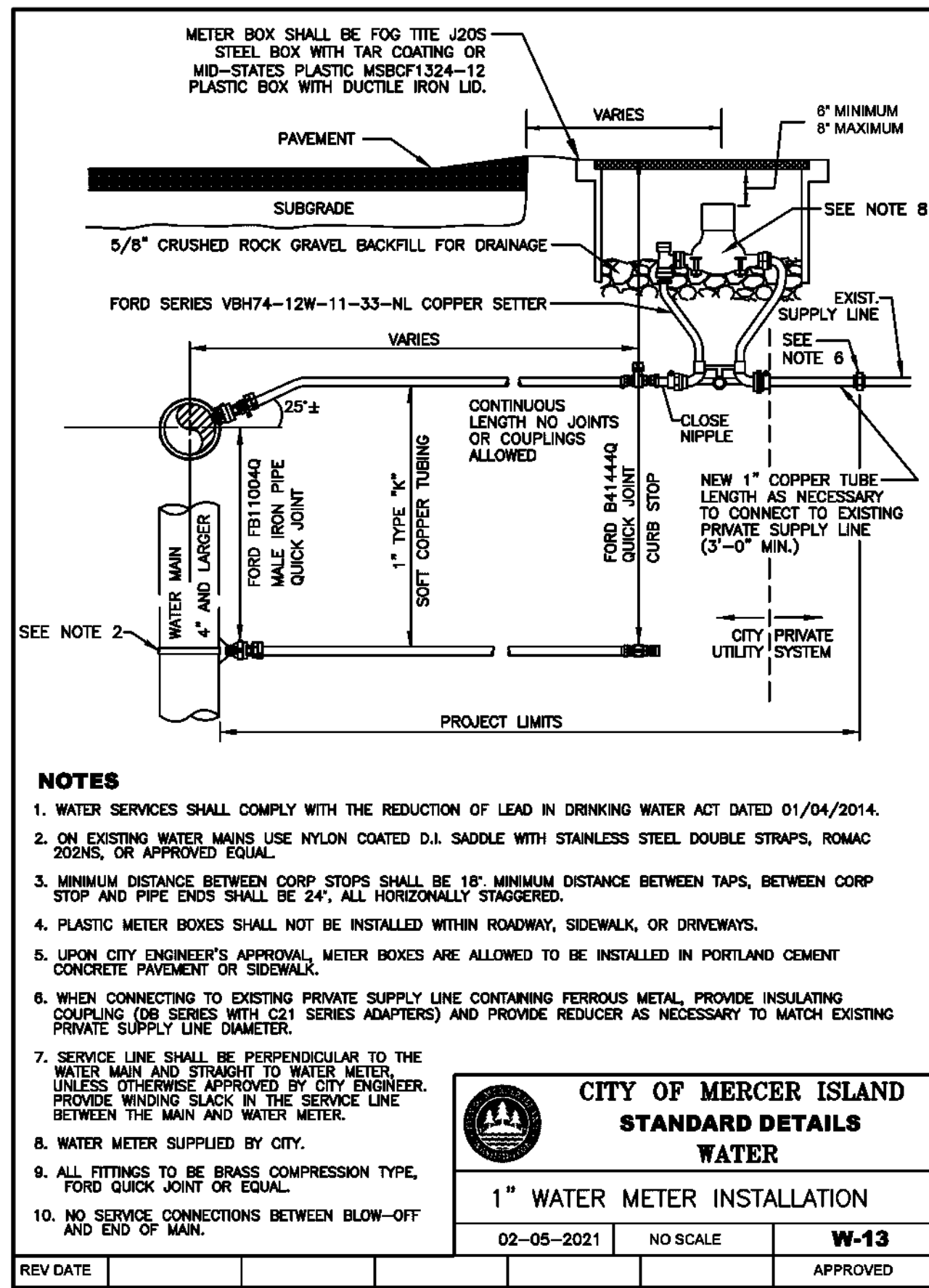
NO	DATE	BY	REVISIONS

TEMPORARY GRADING PLAN
3036 67TH AVENUE SE
SITE PLAN
PARCEL 2174501025
CITY OF MERCER ISLAND WASHINGTON



REVIEWED FOR CODE COMPLIANCE

DATE: 11/20/23
PROJECT NUMBER: 22-042
SHEET NAME: TG-01



EXISTING UTILITY NOTE

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ATWELL
25 CENTRAL WAY, SUITE 400, KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052 WWW.ATWELL-GROUP.COM

SCALE: AS NOTED
PROJECT MANAGER: YANNICK METS, PE
PROJECT ENGINEER: ALI RAMEZANI, PE
DESIGNER: CHRISTOPHER WSCOMB
ISSUE DATE: 11/20/2023

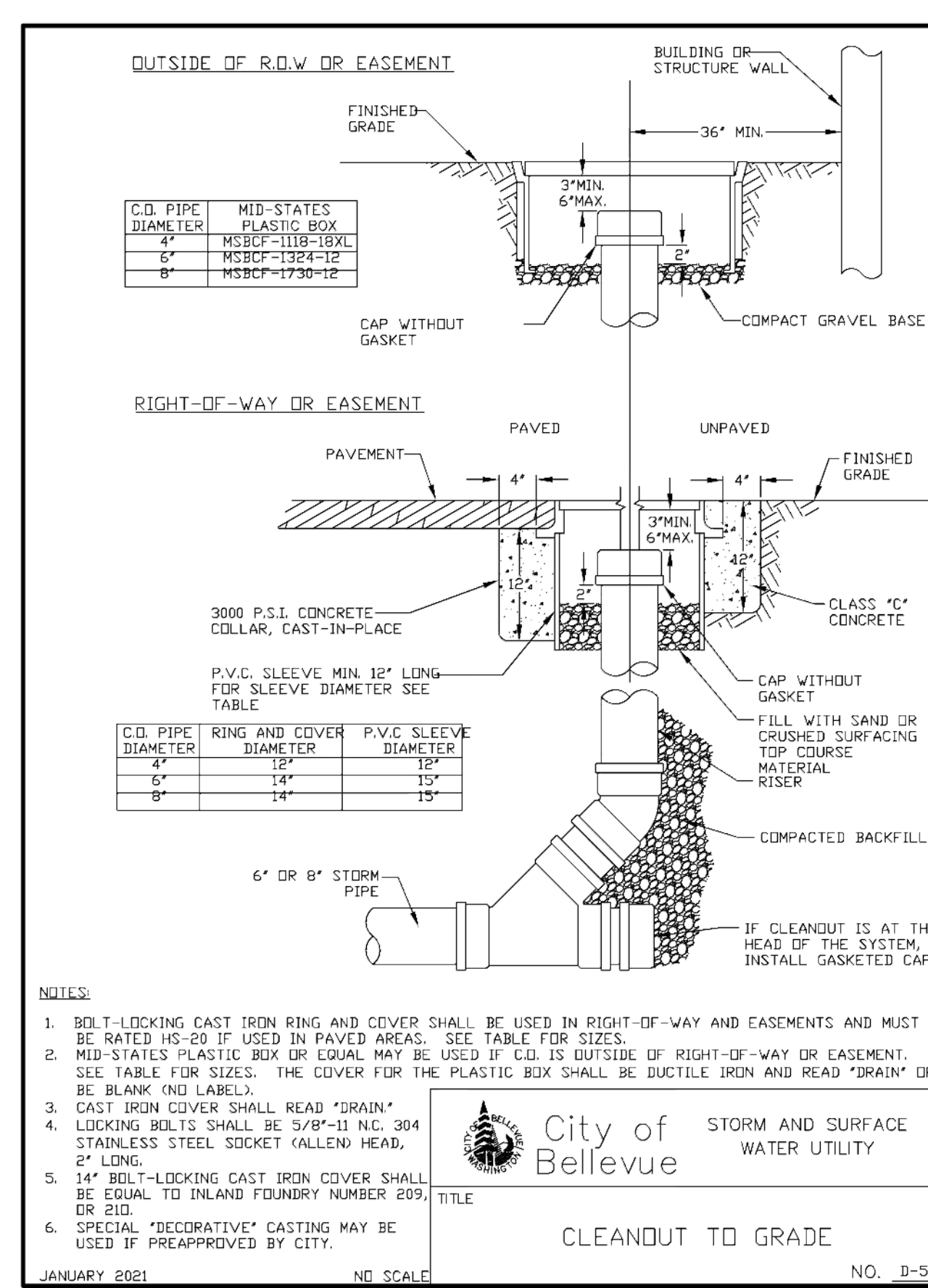
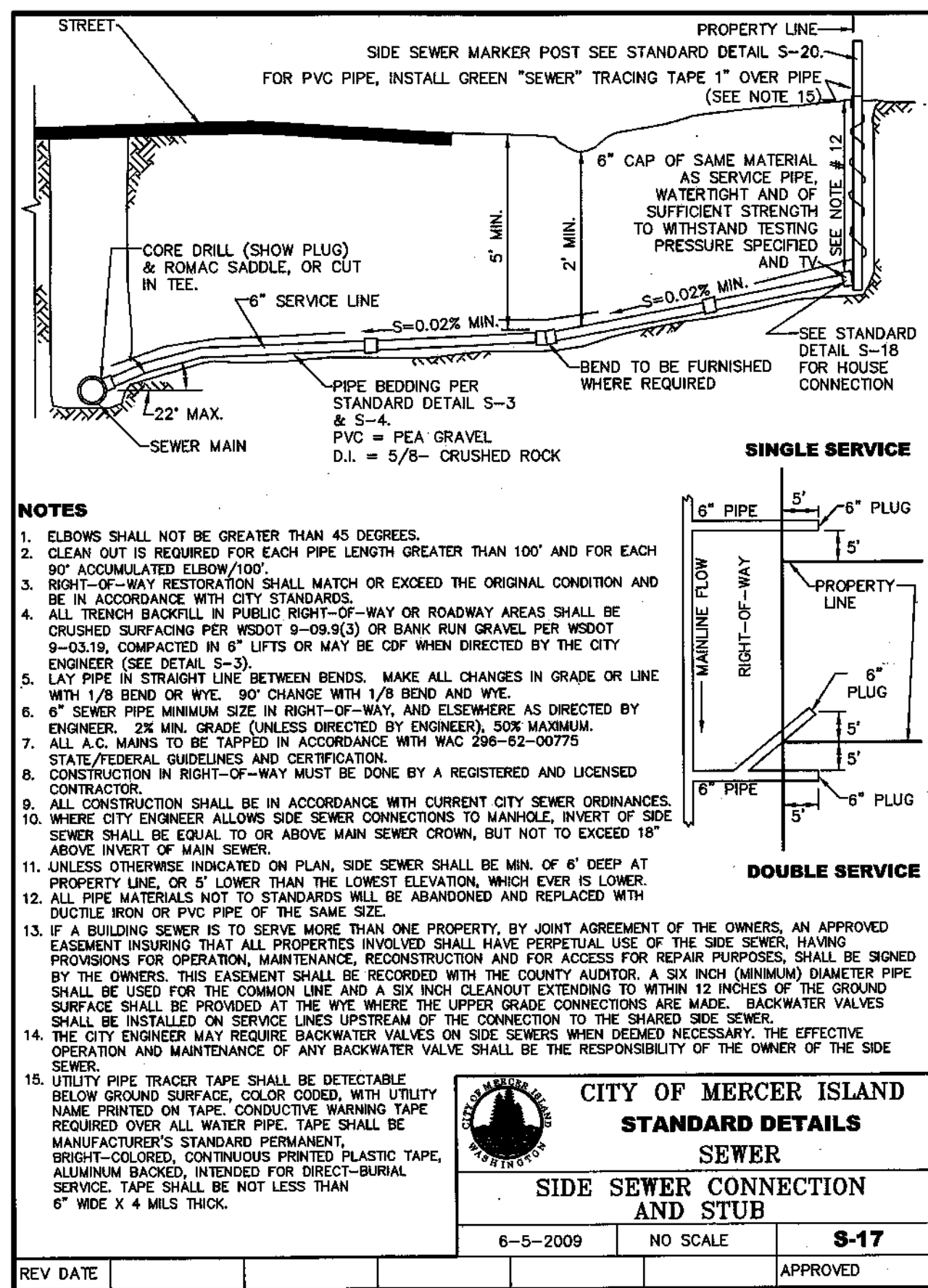
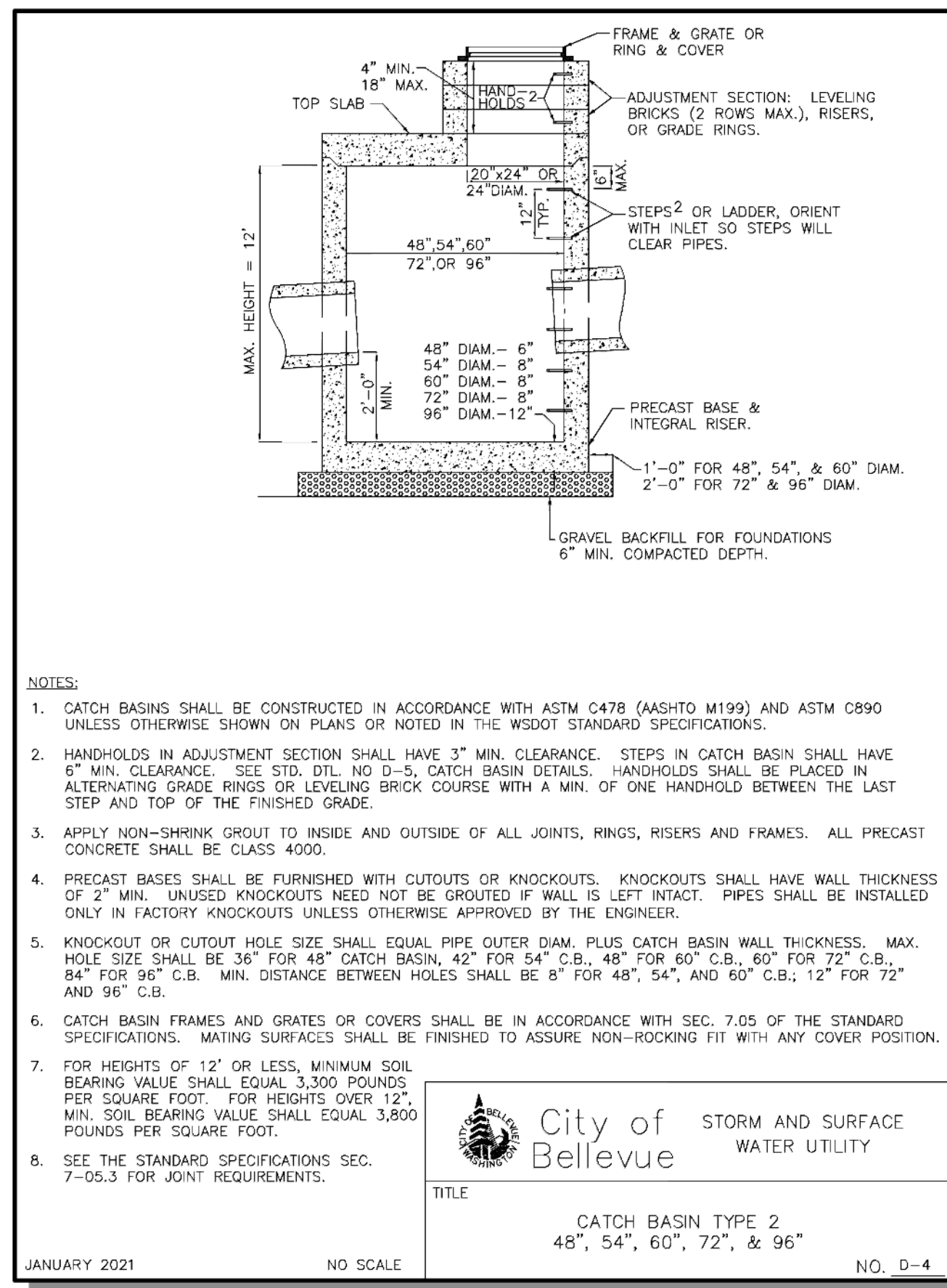
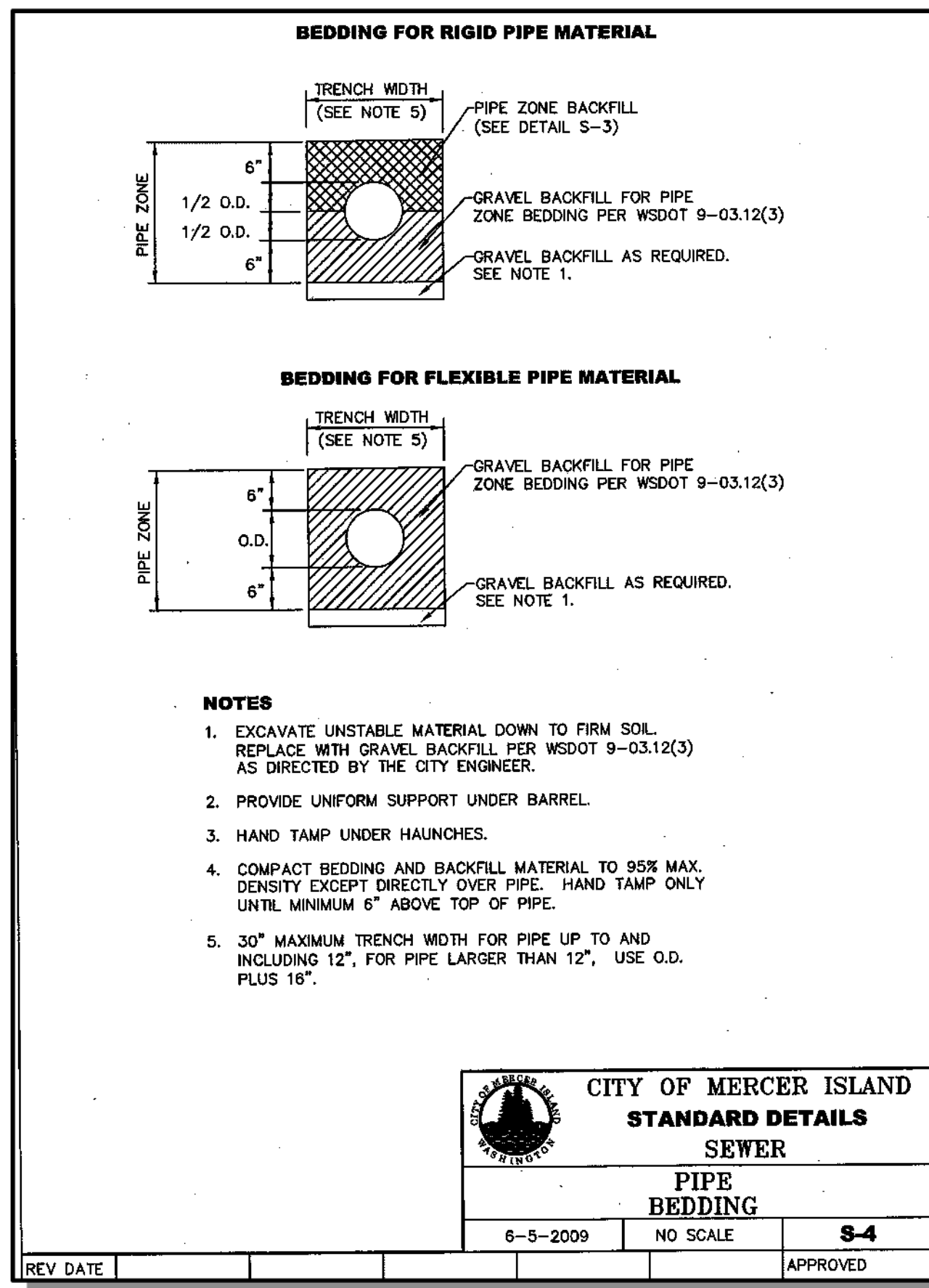
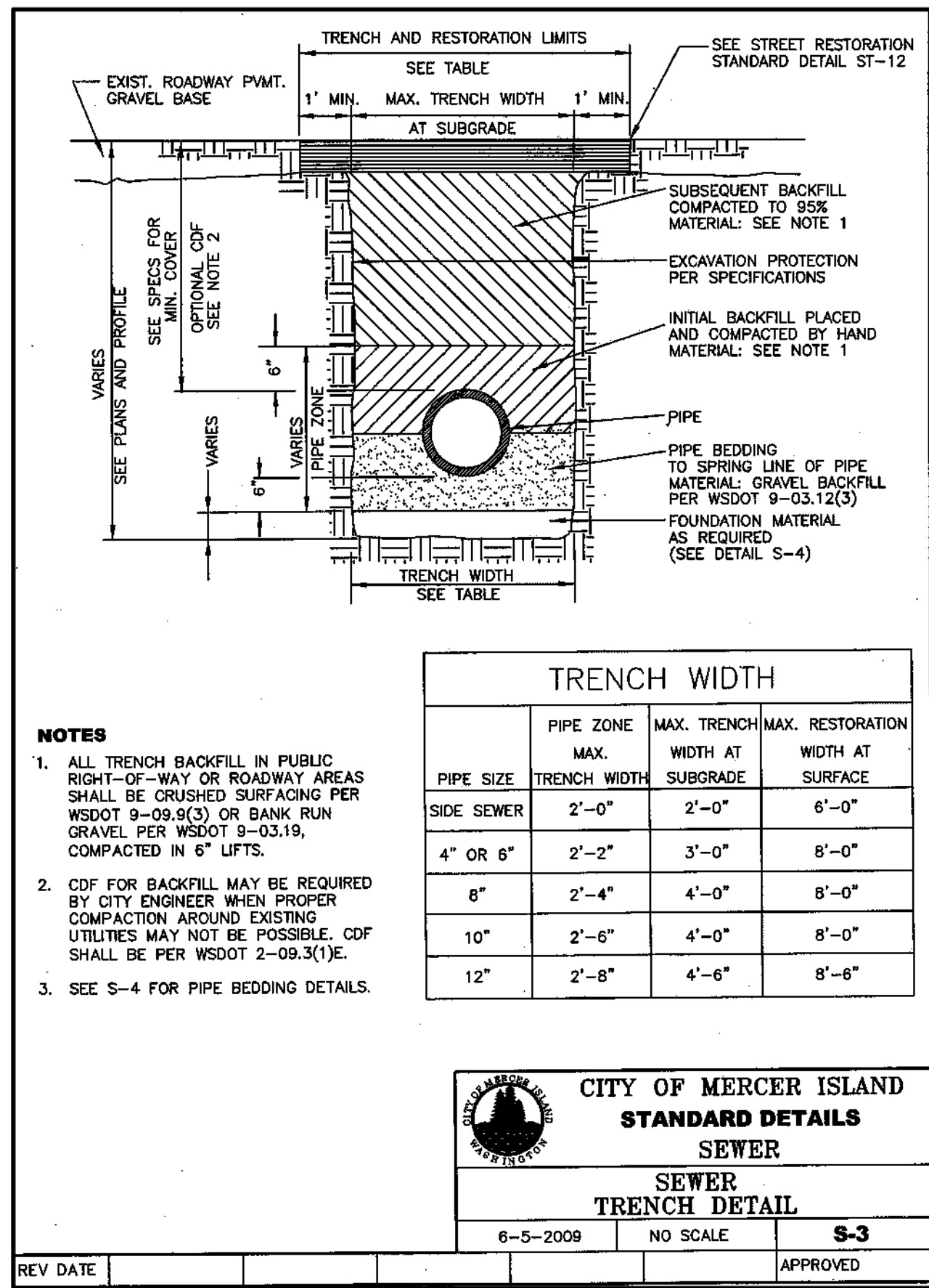
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NO	DATE	BY

DETAILS
3036 67TH AVENUE SE
SITE PLAN
PARCEL 2174501025
CITY OF MERCER ISLAND WASHINGTON

REVIEWED FOR CODE COMPLIANCE
April 23, 2024
SITE CODE NUMBER: 22-042
SHEET NAME: DT-01

SHT 8 OF 9



ATWELL
25 CENTRAL WAY, SUITE 400, KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052 WWW.ATWELL-GROUP.COM

SCALE: AS NOTED
PROJECT MANAGER: YANNICK METS, PE
PROJECT ENGINEER: ALI RAMEZANI, PE
DESIGNER: CHRISTOPHER WISCOMB
ISSUE DATE: 11/20/2023

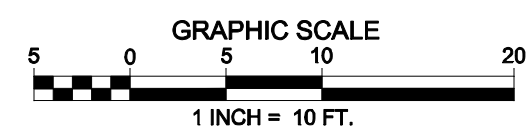
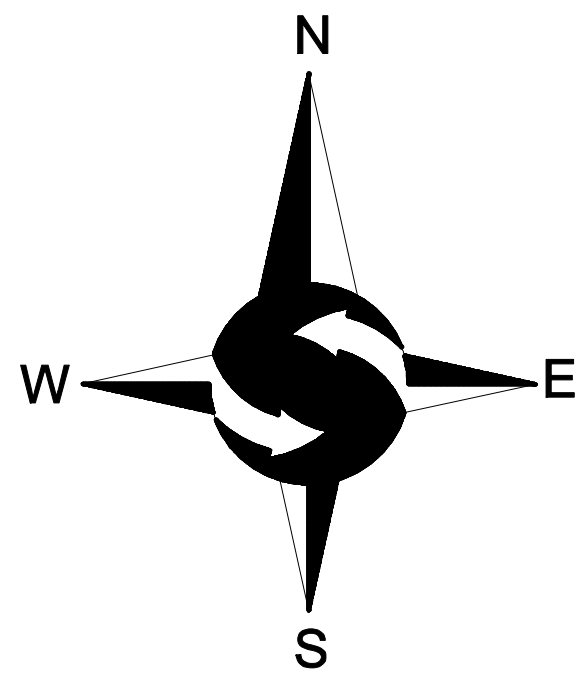
NO	DATE	BY	REVISIONS

DETAILS
3036 67TH AVENUE SE
SITE PLAN
PARCEL 2174501025
CITY OF MERCER ISLAND WASHINGTON

REVIEWED FOR CODE COMPLIANCE
April 23, 2024
SITE COPY 11/20/23

EXISTING UTILITY NOTE
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JOB NUMBER:	22-042
SHEET NAME:	DT-02
SHT	9 OF 9



LEGEND

- | | |
|--|--------------------------|
| ○ FOUND REBAR AS DESCRIBED | —OHP— OVERHEAD POWER |
| ⊗ SET MAG NAIL AS DESCRIBED | —OHU— OVERHEAD UTILITIES |
| ● SET 5/8" X 24" IRON ROD
W/1" YELLOW PLASTIC CAP | —□— WOOD FENCE |
| ⊠ POWER METER | ▬ CONCRETE WALL |
| ⊙ UTILITY POLE | — — WIRE FENCE |
| ⊞ CATCH BASIN | ▨ TIMBER WALL |
| ⊞ MAILBOX | ▨ ROCKERY |
| ⊙ SANITARY SEWER MANHOLE | ▨ ASPHALT SURFACE |
| ⊙ WATER VALVE | ▨ CONCRETE SURFACE |
| ⊙ FIRE HYDRANT | AP APPLE |
| ⊙ WATER METER | DF DOUGLAS FIR |
| ⊙ SIGN | DS DECIDUOUS |
| —SS— APPROXIMATE LOCATION SANITARY
SEWER LINE | PI PINE |
| —SD— APPROXIMATE LOCATION STORM
DRAIN LINE | * INDICATES MULTI-TRUNK |
| —W— APPROXIMATE LOCATION
UNDERGROUND WATER LINE | |

LEGAL DESCRIPTION

LOTS 15, 16, 17, 18 AND THE SOUTHERLY 5 FEET OF LOT 19, BLOCK 6, EAST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGES 22 AND 23, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THAT PORTION THEREOF LYING WITHIN MERCER ISLAND ROAD (67TH AVENUE SE)

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

RECORD OF SURVEY BY TERRANE FOR JAYMARC HOMES, RECORDED ON JULY 26, 2021, IN VOLUME 451 OF SURVEYS, PAGE 259, UNDER RECORDING NO. 20210728900027, RECORDS OF KING COUNTY, WASHINGTON.

PROJECT INFORMATION

SURVEYOR: SITE SURVEYING, INC.
21923 NE 11TH ST
SAMMAMISH, WA 98074
PHONE: 425.298.4412

PROPERTY OWNER: WILLIAM E. BUCHAN, INC
3036 67TH AVENUE SE
MERCER ISLAND, WA 98040

TAX PARCEL NUMBER: 217450-1025

PROJECT ADDRESS: 3036 67TH AVENUE SE
MERCER ISLAND, WA 98040

ZONING: R-8.4

JURISDICTION: CITY OF MERCER ISLAND

PARCEL ACREAGE: 12,500 S.F. (0.286 ACRES) AS SURVEYED

GENERAL NOTES

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS SS TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN AUGUST 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

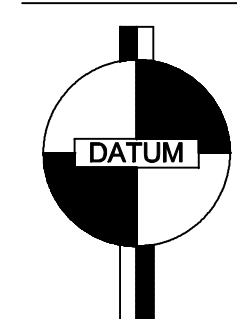
VERTICAL DATUM & CONTOUR INTERVAL

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY THE CITY OF MERCER ISLAND.

THE MARK IS A MONUMENT IN CASE AT THE INTERSECTION OF 68TH AVENUE SE W AND SE 32ND STREET.

POINT ID NO. 47748;
ELEVATION: 112.571 FEET - NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.



VICINITY MAP
NTS



TOPOGRAPHIC SURVEY
WILLIAM E. BUCHAN, INC
3036 67TH AVENUE SE
MERCER ISLAND, WA 98040



PROJECT NO. 21-461
DRAWN BY: EFJ
CHECKED BY: TNW
DATE: 8/17/21
SHEET 1 OF 1

DATE	REVISION

SW 1/4, NW 1/4, SEC 12, TWP 24N, RNG 4E, W.M.



SYMBOLS AND LEGEND	
FAN - DIRECT VENT TO OUTSIDE -BATHROOMS/LAUNDRY 90 CFM MIN. -KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1503.6.	THERMOSTAT @ 5'-0" ABOVE FLOOR
WHOLE-HOUSE FAN ON TIMER SYSTEMS TO CONFORM TO IRC, M1505.4. FAN SIZE PER PLAN. TIMER TO BE LOCATED AT THE FAN WITH A MANUAL OVERRIDE SWITCH AT THE FAN LOCATION. TIMER TO BE SET TO RUN 50% IN EACH 4-HOUR SEGMENT. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1505.4.1.	MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM FOR UNITS: PER DIV. 15.16 SEE SHEET A-1
R314.2.3. A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS PER SECTION R314.2.3	FURN WH

FLOOR PLAN KEY NOTES	
P-1 OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.W.B. TO GARAGE SIDE OF RESIDENCE ATTIC SPACES. 4 TO ALL BEAMS & POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 1/2" TYPE 'X' G.W.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL. SEE DIV. 05022.6.A. SHEET A-1.	P-2 1 3/4" MIN. SELF CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR W/ SELF-CLOSER. SEE DIV. 05022.6.B. SHEET A-1.
P-3 SAFETY GLAZING PER I.R.C. SECTION R308 A. WINDOWS WITHIN 18" OF FLOOR B. WINDOWS AT TUBS AND SHOWERS C. GLAZING IN DOORS E. WITHIN STAIRWELLS F. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, 4 BOT. EDGE OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE SEE DIV. 05022.6 SHEET A-1.	

FLOOR PLAN KEY NOTES	
P-4 STAIR ASSEMBLY NOTES: PER I.R.C. SECTION R315 AND DETAIL 12/D2. A. HEADROOM MIN. 6'-8" WIDTH MIN. 3'-0". B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 7 1/4" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1/4" ON STAIRS W/ SOLID RISERS. C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE I CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200# P.L. IN ANY DIRECTION PER I.R.C. TABLE R302.5. D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER I.R.C. SECTION R302.2. E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.W.B. PER I.R.C. SECTION R302.1. F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS. G. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. SECTION R302.6. SEE DIV. 05022.6 SHEET A-1.	

FLOOR PLAN KEY NOTES	
P-5 EGRESS WINDOW PER I.R.C. SECTION R310 SEE DIV. 05022 SHEET A-1.	P-6 IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1.
P-7 COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 12" ABOVE DRAIN INLETS, PER I.R.C. SECTION 307.2. SEE DIV. 05250 SHEET A-1.	P-8 (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.
P-9 1 3/4" MAX. RISER WITH 10" MIN. RUN. IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.R.C. SECTION R311.8. SEE DIV. 05022.1 SHEET A-1.	P-10 36"x48" CRAWL SPACE ACCESS. INSULATE AND WEATHER STRIP. SEE DIV. 05021 SHEET A-1.
P-11 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 05022 SHEET A-1.	P-12 FLOOR MATERIAL BREAK LINE

FLOOR PLAN KEY NOTES	
P-13 WALL LINE ABOVE	P-14 WALL LINE BELOW
P-15 FIREPLACE ASSEMBLY NOTES: A. DIRECT VENT FIREPLACES, INSTALL PER MFG. SPECIFICATIONS. SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 05022 SHEET A-1. B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 05022 SHEET A-1. C. HEARTH SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 05022.8 AND 9 SHEET A-1. D. FIRE-BLOCK OPENINGS AROUND PENETRATIONS AT EACH FLOOR PER I.R.C. SECTION R1002.13.	P-16 SEE SITE PLAN FOR EXTENT OF WALKS AND DRIVEWAYS
P-17 3" DIAMETER STEEL POST	

FLOOR PLAN KEY NOTES	
P-18 42" GUARDRAIL PER I.R.C. SECTION R312 & TABLE R302.5 AT STAIRS SLOPES AT 34" ABOVE STAIR NOSING. CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDRAILS ARE CAPABLE OF RESISTING 200LB LOAD ON TOP RAIL IN ANY DIRECTION PER R302.5.	P-19 1" VENT FOR MECHANICAL, 1" CLEARANCE ALL SIDES PER I.R.C. SECTION R1002.3. SEE DIV. 15 SHEET A-1.
P-20 PLANT SHELF	P-21 UPPER AND LOWER LINEN CABINETS
P-22 SOFFIT AREA	P-23 INTEGRATED MAKE UP AIR
P-24 2x6 STUDS W/ R-21 INSUL. MIN.	

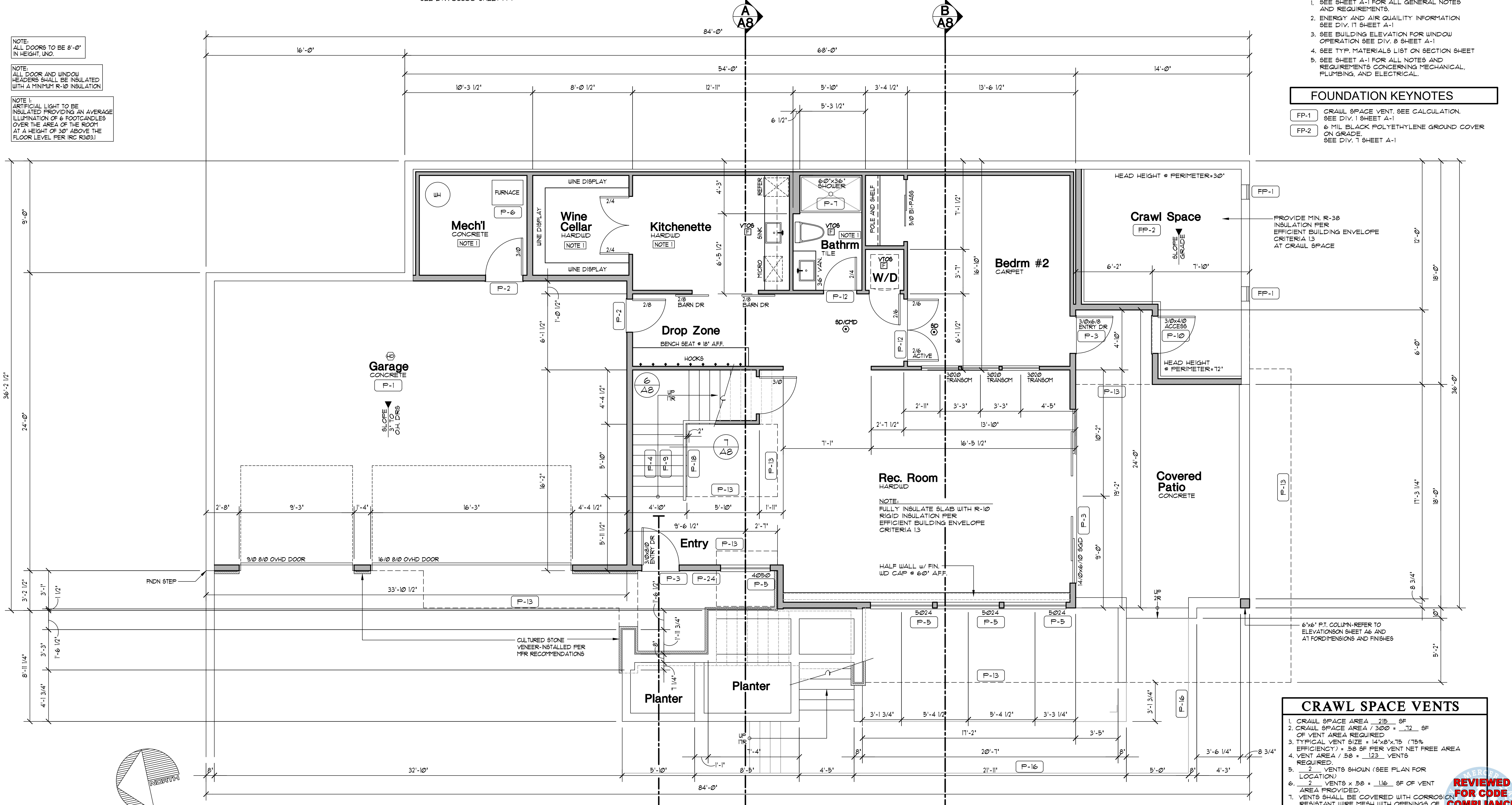
GENERAL PLAN NOTES	
1. SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.	2. ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1.
3. SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1.	4. SEE TYP. MATERIALS LIST ON SECTION SHEET
5. SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.	

FOUNDATION KEYNOTES	
FP-1 CRAWL SPACE VENT. SEE CALCULATION. SEE DIV. 1 SHEET A-1.	FP-2 6" MIL BLACK POLYETHYLENE GROUND COVER ON GRADE. SEE DIV. 1 SHEET A-1.

NOTE:
ALL DOORS TO BE 8'-0" IN HEIGHT, UNO.

NOTE:
ALL DOOR AND WINDOW HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.

NOTE:
ARTIFICIAL LIGHT TO BE INSULATED PROVIDING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL PER I.R.C. R303.1



CRAWL SPACE VENTS	
1. CRAWL SPACE AREA = 215 SF	2. CRAWL SPACE AREA / 3000 = .072 SF OF VENT AREA REQUIRED
3. TYPICAL VENT SIZE = 14"x8"x75" (75% EFFICIENCY) = 58 SF PER VENT NET FREE AREA	4. VENT AREA / 58 = 1.23 VENTS REQUIRED
5. 2 VENTS SHOWN (SEE PLAN FOR LOCATION)	6. 2 VENTS x 58 = 116 SF OF VENT AREA PROVIDED.
7. VENTS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH OPENINGS OF 1/4" MAX.	8. VENTS LOCATED IN RIM JOIST MUST BE PER AREN-231 2024 BAFFLED. USEC 5021.4.1

LOWER FLOOR PLAN

Scale 1/4"=1'-0"

Buchan Homes
Westview Plan
Permit no. 2210-120
Mercer Island, WA
3036 67th Ave SE
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Date	By	Description
10/12/22	REV	PERMIT SET
8/17/23	REV	JURISDICTIONAL COMMENTS
8/25/23	REV	JURISDICTIONAL COMMENTS
10/5/23	REV	JURISDICTIONAL COMMENTS
11/27/23	REV	JURISDICTIONAL COMMENTS-CLOUDED

ARCHITECTURAL INNOVATIONS, P.S.
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Bellevue, WA 98007
1-800-888-4517
www.kapichanplans.com

TITLE
JOB NO.: 21076.21
STARTING NO.: 21076.05

SHEET
A2

REVIEWED FOR CODE COMPLIANCE
DATE: 08-29-2024
SITE COPY

SYMBOLS AND LEGEND

F FAN - DIRECT VENT TO OUTSIDE
 - BATHROOMS/LAUNDRY 90 CFM MIN.
 - KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1503.6.

UF WHOLE-HOUSE FAN ON TIMER SYSTEMS TO CONFORM TO IRC, M1505.4. FAN SIZE PER PLAN. TIMER TO BE LOCATED AT THE FAN WITH A MANUAL OVERRIDE SWITCH AT THE FAN LOCATION. TIMER TO BE SET TO RUN 50% IN EACH 4-HOUR SEGMENT. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1505.4.1.

RD R314.2.3. A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS PER SECTION R314.2.3

T THERMOSTAT @ 5'-0" ABOVE FLOOR

SA 110V SMOKE ALARM PER IRC, R314 WITH BATTERY BACKUP INTERCONNECTED USE A COMBINATION SMOKE/CARBON MONOXIDE ALARM WHEN NOTED

MFL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM FOR UNITS. PER DIV. 15.16 SEE SHEET A-1

FURN FURN

WA 6" DIA. FRESH AIR INTAKE FROM OUTSIDE TO RETURN AIR FLENUM AT FURNACE WITH MOTORIZED FLOW DAMPERS.

W PROVIDE THERMAL EXPANSION TANK AT WATER HEATER

WH STRAIP WATER HEATER TO FRAMING TOP AND BOTTOM.

WR PROVIDE PRESSURE RELIEF LINE PLUMBED TO OUTSIDE.

FLOOR PLAN KEY NOTES

P-1 OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.W.B. TO GARAGE SIDE OF RESIDENCE ATTIC SPACES. 4 TO ALL BEAMS & POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 1/2" TYPE 'X' G.W.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL. SEE DIV. 01022.6.A SHEET A-1.

P-2 1 3/4" MIN. SELF CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR W/ SELF-CLOSER. SEE DIV. 01022.6.B SHEET A-1

P-3 SAFETY GLAZING PER IRC, SECTION R308
 A. WINDOWS WITHIN 18" OF FLOOR
 B. WINDOWS WITHIN A 24" ARC OF DOORS
 C. WINDOWS AT TUBS AND SHOWERS
 D. GLAZING IN DOORS
 E. WITHIN STAIRWELLS
 F. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, 4 BOT. EDGE OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE
 SEE DIV. 08020 SHEET A-1

FLOOR PLAN KEY NOTES

P-4 STAIR ASSEMBLY NOTES: PER IRC, SECTION R301.5 AND DETAIL 12/D2.
 A. HEADROOM MIN. 6'-8" WIDTH MIN. 3'-0".
 B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 7 1/4" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1/4" ON STAIRS W/ SOLID RISERS.
 C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE I CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS, HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200# P.L. IN ANY DIRECTION PER I.R.C. TABLE R301.5.
 D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER I.R.C. SECTION R302.11.
 E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.W.B. PER I.R.C. SECTION R302.1.
 F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS.
 G. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. SECTION R302.6.
 SEE DIV. 01022.6 SHEET A-1.

FLOOR PLAN KEY NOTES

P-5 EGRESS WINDOW PER I.R.C. SECTION R310 SEE DIV. 08020 SHEET A-1

P-6 IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1

P-7 COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 12" ABOVE DRAIN INLETS, PER I.R.C. SECTION 307.2. SEE DIV. 09150 SHEET A-1

P-8 (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.

P-9 1 3/4" MAX. RISER WITH 10" MIN. RUN, IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.R.C. SECTION R301.5. SEE DIV. 01022.1 SHEET A-1

P-10 36"x48" CRAWL SPACE ACCESS. INSULATE AND WEATHER STRIP. SEE DIV. 01022.1 SHEET A-1

P-11 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 01022.2 SHEET A-1

P-12 FLOOR MATERIAL BREAK LINE

FLOOR PLAN KEY NOTES

P-13 WALL LINE ABOVE

P-14 WALL LINE BELOW

P-15 FIREPLACE ASSEMBLY NOTES:
 A. DIRECT VENT FIREPLACES, INSTALL PER MFG. SPECIFICATIONS. SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01022.2 SHEET A-1
 B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01022.2 SHEET A-1
 C. HEARTH SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01022.2 AND 9 SHEET A-1
 D. FIRE-BLOCK OPENINGS AROUND PENETRATIONS AT EACH FLOOR PER I.R.C. SECTION R1003.13.

P-16 SEE SITE PLAN FOR EXTENT OF WALKS AND DRIVEWAYS

P-17 3" DIAMETER STEEL POST

FLOOR PLAN KEY NOTES

P-18 42" GUARDRAIL PER I.R.C. SECTION R312.4 TABLE R301.5 AT STAIRS SLOPES AT 34" ABOVE STAIR NOSING. CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDRAILS ARE CAPABLE OF RESISTING 200LB LOAD ON TOP RAIL IN ANY DIRECTION PER R301.5.

P-19 18" VENT FOR MECHANICAL, 1" CLEARANCE ALL SIDES PER I.R.C. SECTION R1003.3. SEE DIV. 15 SHEET A-1

P-20 PLANT SHELF

P-21 UPPER AND LOWER LINEN CABINETS

P-22 SOFFIT AREA

P-23 INTEGRATED MAKE UP AIR

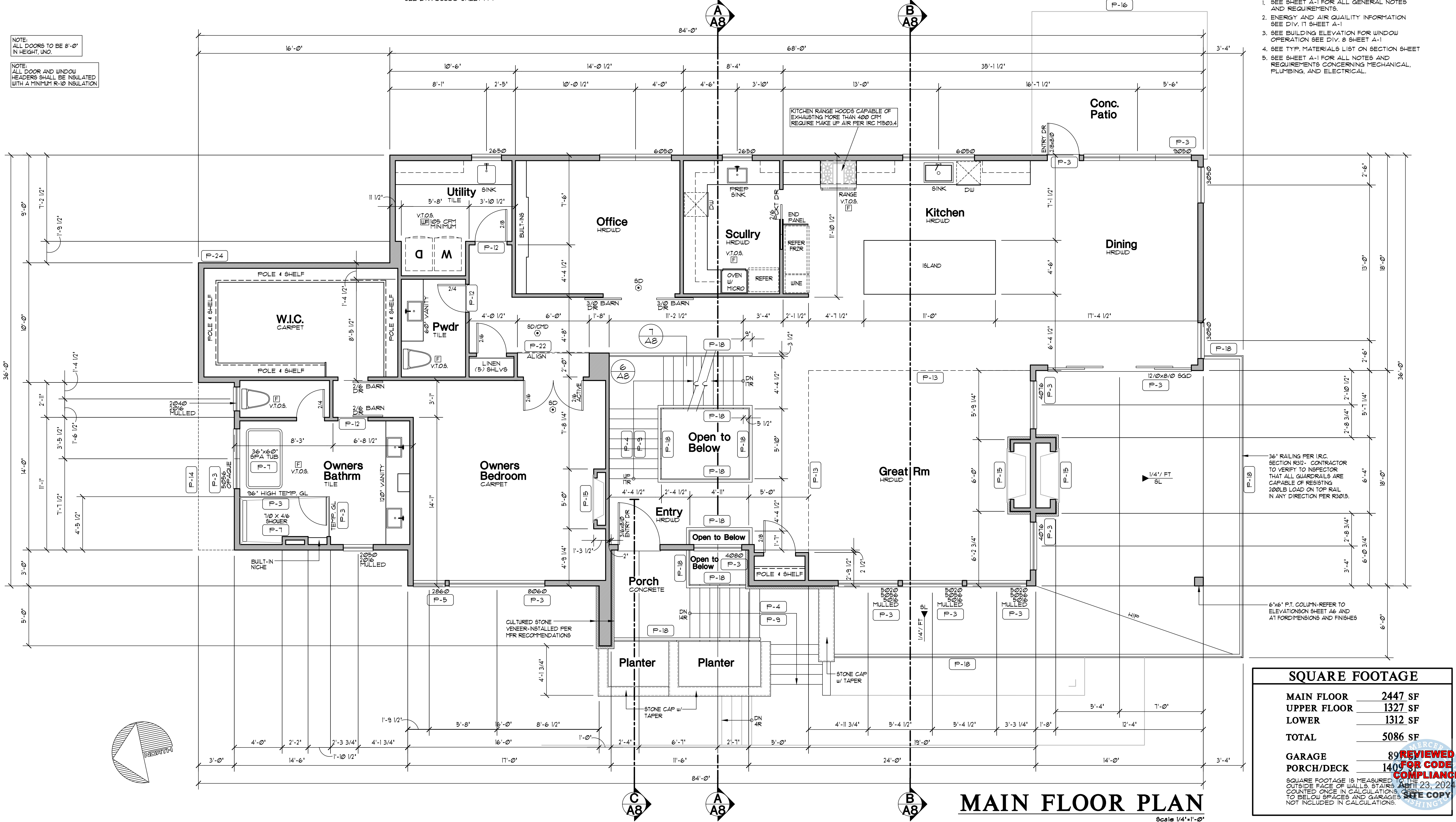
P-24 2x6 STUDS W/ R-21 INSUL. MIN.

GENERAL PLAN NOTES

- SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
- ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1
- SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1
- SEE TYP. MATERIALS LIST ON SECTION SHEET
- SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

NOTE: ALL DOORS TO BE 8'-0" IN HEIGHT, UNO.

NOTE: ALL DOOR AND WINDOW HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION



SQUARE FOOTAGE

MAIN FLOOR	2447 SF
UPPER FLOOR	1327 SF
LOWER	1312 SF
TOTAL	5086 SF
GARAGE	89 SF
PORCH/DECK	140 SF

SQUARE FOOTAGE IS MEASURED OUTSIDE FACE OF WALLS, STAIRS, AND COUNTED ONCE IN CALCULATIONS. GARAGE TO BELOW SPACES AND GARAGES NOT INCLUDED IN CALCULATIONS.

MAIN FLOOR PLAN

Scale 1/4"=1'-0"

Date	By	Description
10/12/22	REV	PERMIT SET
8/17/23	REV	JURISDICTIONAL COMMENTS
8/25/23	REV	JURISDICTIONAL COMMENTS
10/5/23	REV	JURISDICTIONAL COMMENTS
11/27/23	REV	JURISDICTIONAL COMMENTS-CLOUED

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TITLE	
JOB NO.:	21076.21
STARTING NO.:	21076.05
SHEET	
A3	

SYMBOLS AND LEGEND	
FAN - DIRECT VENT TO OUTSIDE -BATHROOMS/LAUNDRY 90 CFM MIN. -KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1503.6.	Ⓜ THERMOSTAT @ 5'-0" ABOVE FLOOR
WHOLE-HOUSE FAN ON TIMER SYSTEMS TO CONFORM TO IRC, M1505.4. FAN SIZE PER PLAN. TIMER TO BE LOCATED AT THE FAN WITH A MANUAL OVERRIDE SWITCH AT THE FAN LOCATION. TIMER TO BE SET TO RUN 50% IN EACH 4-HOUR SEGMENT. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1505.4.1.	MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM FOR UNITS: PER DIV. 15.16 SEE SHEET A-1
R314.2.3. A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS PER SECTION R314.2.3.	FURN

FLOOR PLAN KEY NOTES	
P-1 OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.W.B. TO GARAGE SIDE OF RESIDENCE ATTIC SPACES. 4 TO ALL BEAMS & POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 1/2" TYPE 'X' G.W.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL. SEE DIV. 01022.6.A. SHEET A-1.	P-2 1 3/4" MIN. SELF CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR W/ SELF-CLOSER. SEE DIV. 01022.6.B. SHEET A-1.
P-3 SAFETY GLAZING PER I.R.C. SECTION R308 A. WINDOWS WITHIN 18" OF FLOOR B. WINDOWS WITHIN A 24" ARC OF DOORS C. WINDOWS AT TUBS AND SHOWERS D. GLAZING IN DOORS E. WITHIN STAIRWELLS F. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, 4 BOT. EDGE OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE SEE DIV. 01022.6 SHEET A-1.	

FLOOR PLAN KEY NOTES	
P-4 STAIR ASSEMBLY NOTES: PER I.R.C. SECTION R301.5 AND DETAIL 12/D2. A. HEADROOM MIN. 6'-8". WIDTH MIN. 3'-0". B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 7 1/4" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1/4" ON STAIRS W/ SOLID RISERS. C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE I CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200# P.L. IN ANY DIRECTION PER I.R.C. TABLE R302.1. D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER I.R.C. SECTION R302.11. E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.W.B. PER I.R.C. SECTION R302.1. F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS. G. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. SECTION R302.6. SEE DIV. 01022.6 SHEET A-1.	

FLOOR PLAN KEY NOTES	
P-5 EGRESS WINDOW PER I.R.C. SECTION R310 SEE DIV. 08600 SHEET A-1.	P-6 IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1.
P-7 COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 12" ABOVE DRAIN INLETS. PER I.R.C. SECTION 301.2. SEE DIV. 09250 SHEET A-1.	P-8 (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.
P-9 1 3/4" MAX. RISER WITH 10" MIN. RUN, IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.R.C. SECTION R301.8. SEE DIV. 01022.1 SHEET A-1.	P-10 36"x48" CRAWL SPACE ACCESS. INSULATE AND WEATHER STRIP. SEE DIV. 01022.1 SHEET A-1.
P-11 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 01022.2 SHEET A-1.	P-12 FLOOR MATERIAL BREAK LINE

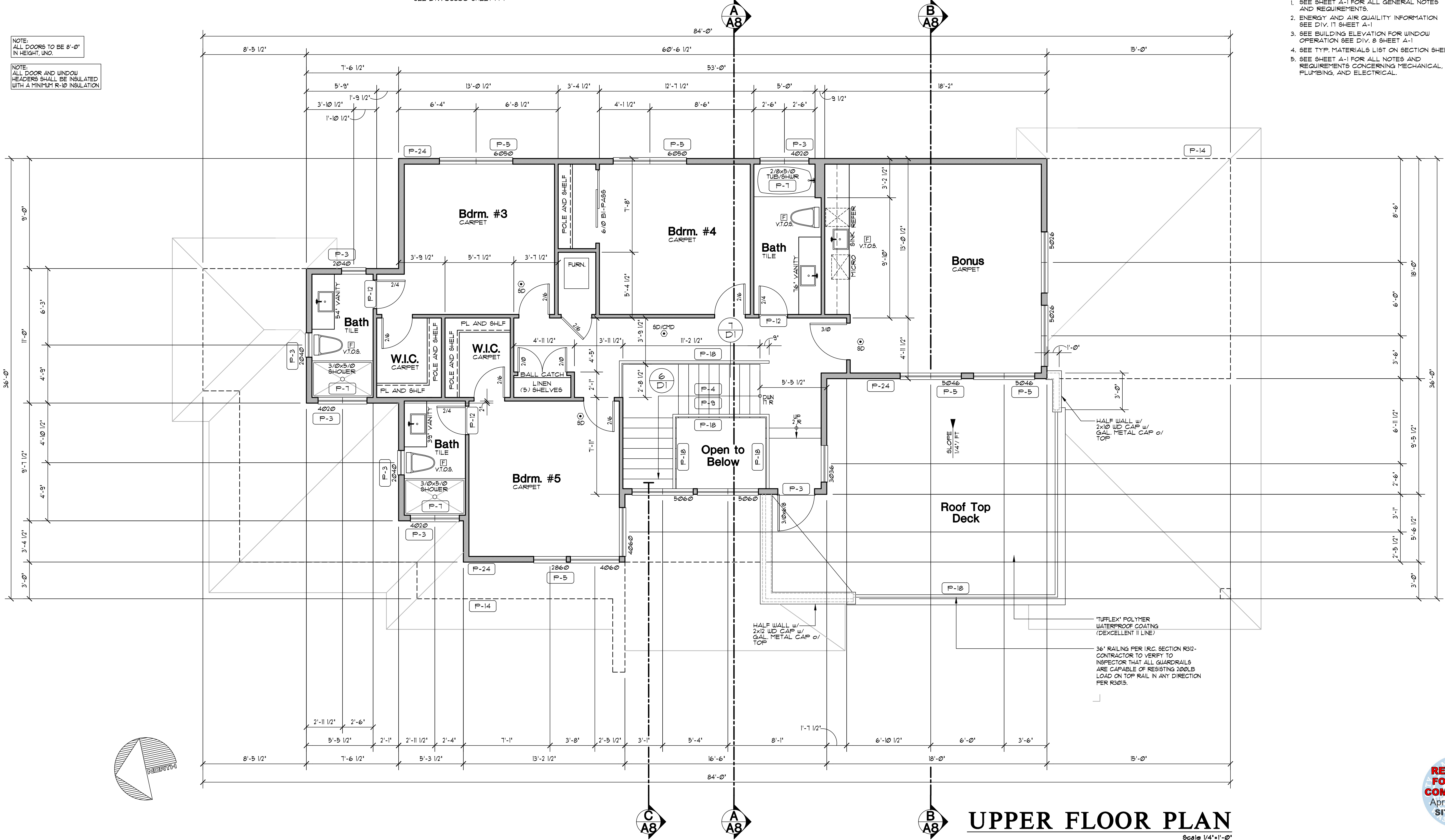
FLOOR PLAN KEY NOTES	
P-13 WALL LINE ABOVE	P-14 WALL LINE BELOW
FIREPLACE ASSEMBLY NOTES: A. DIRECT VENT FIREPLACES. INSTALL PER MFG. SPECIFICATIONS. SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01022.8 SHEET A-1 B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01022.8 SHEET A-1 C. HEARTH SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01022.8 AND 9 SHEET A-1 D. FIRE-BLOCK OPENINGS AROUND PENETRATIONS AT EACH FLOOR PER I.R.C. SECTION R1002.13.	
P-16 SEE SITE PLAN FOR EXTENT OF WALKS AND DRIVEWAYS	P-17 3" DIAMETER STEEL POST

FLOOR PLAN KEY NOTES	
P-18 42" GUARDRAIL PER I.R.C. SECTION R312.4 TABLE R301.5 AT STAIRS SLOPES AT 34" ABOVE STAIR NOSING. CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDRAILS ARE CAPABLE OF RESISTING 200LB LOAD ON TOP RAIL IN ANY DIRECTION PER R301.5.	P-19 18" VENT FOR MECHANICAL, 1" CLEARANCE ALL SIDES PER I.R.C. SECTION R1002.3. SEE DIV. 15 SHEET A-1.
P-20 PLANT SHELF	P-21 UPPER AND LOWER LINEN CABINETS
P-22 SOFFIT AREA	P-23 INTEGRATED MAKE UP AIR
P-24 2x6 STUDS W/ R-21 INSUL. MIN.	

GENERAL PLAN NOTES	
1. SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.	2. ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1.
3. SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1.	4. SEE TYP. MATERIALS LIST ON SECTION SHEET
5. SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.	

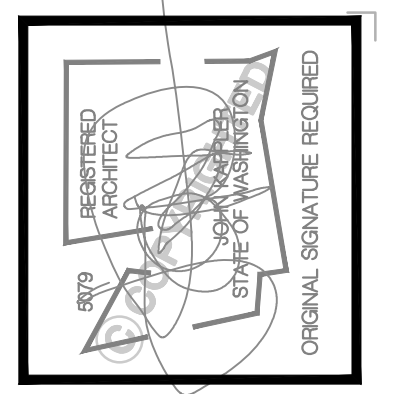
NOTE:
ALL DOORS TO BE 8'-0" IN HEIGHT, UNO.

NOTE:
ALL DOOR AND WINDOW HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.



UPPER FLOOR PLAN

Scale 1/4"=1'-0"



Date	By	Description
10/12/22	REV	PERMIT SET
8/17/23	REV	JURISDICTIONAL COMMENTS
8/25/23	REV	JURISDICTIONAL COMMENTS
10/5/23	REV	JURISDICTIONAL COMMENTS
11/21/23	REV	JURISDICTIONAL COMMENTS-CLOUDED

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JOB NO.: 21076.21
STARTING NO.: 21076.05

SHEET
A4



A ROOF VENT CALCULATION

TOTAL ROOF AREA	143 SF / 150 =	969 SF OF VENT AREA REQ
4 ROOF JACKS AT 38 SQ. IN. EACH =	152 SQ. IN. =	105 SF
197 L.F. OF EAVE VENTS AT 6.6 SQ. IN./L.F. =	1300 SQ. IN. =	9 SF
TOTAL SF OF VENTILATION PROVIDED		= 131 SF

B ROOF VENT CALCULATION

TOTAL ROOF AREA	325 SF / 150 =	216 SF OF VENT AREA REQ
0.00 ROOF JACKS AT 38 SQ. IN. EACH =	0.00 SQ. IN. =	0.00 SF
74 L.F. OF EAVE VENTS AT 6.6 SQ. IN./L.F. =	488 SQ. IN. =	339 SF
TOTAL SF OF VENTILATION PROVIDED		= 339 SF

C ROOF VENT CALCULATION

TOTAL ROOF AREA	540 SF / 150 =	36 SF OF VENT AREA REQ
2 ROOF JACKS AT 38 SQ. IN. EACH =	76 SQ. IN. =	53 SF
72 L.F. OF EAVE VENTS AT 6.6 SQ. IN./L.F. =	475 SQ. IN. =	33 SF
TOTAL SF OF VENTILATION PROVIDED		= 383 SF

D ROOF VENT CALCULATION

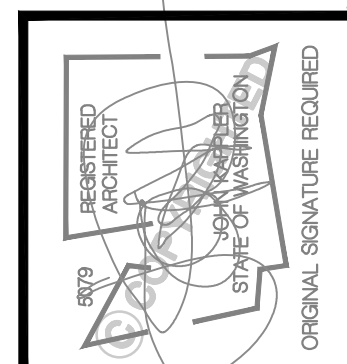
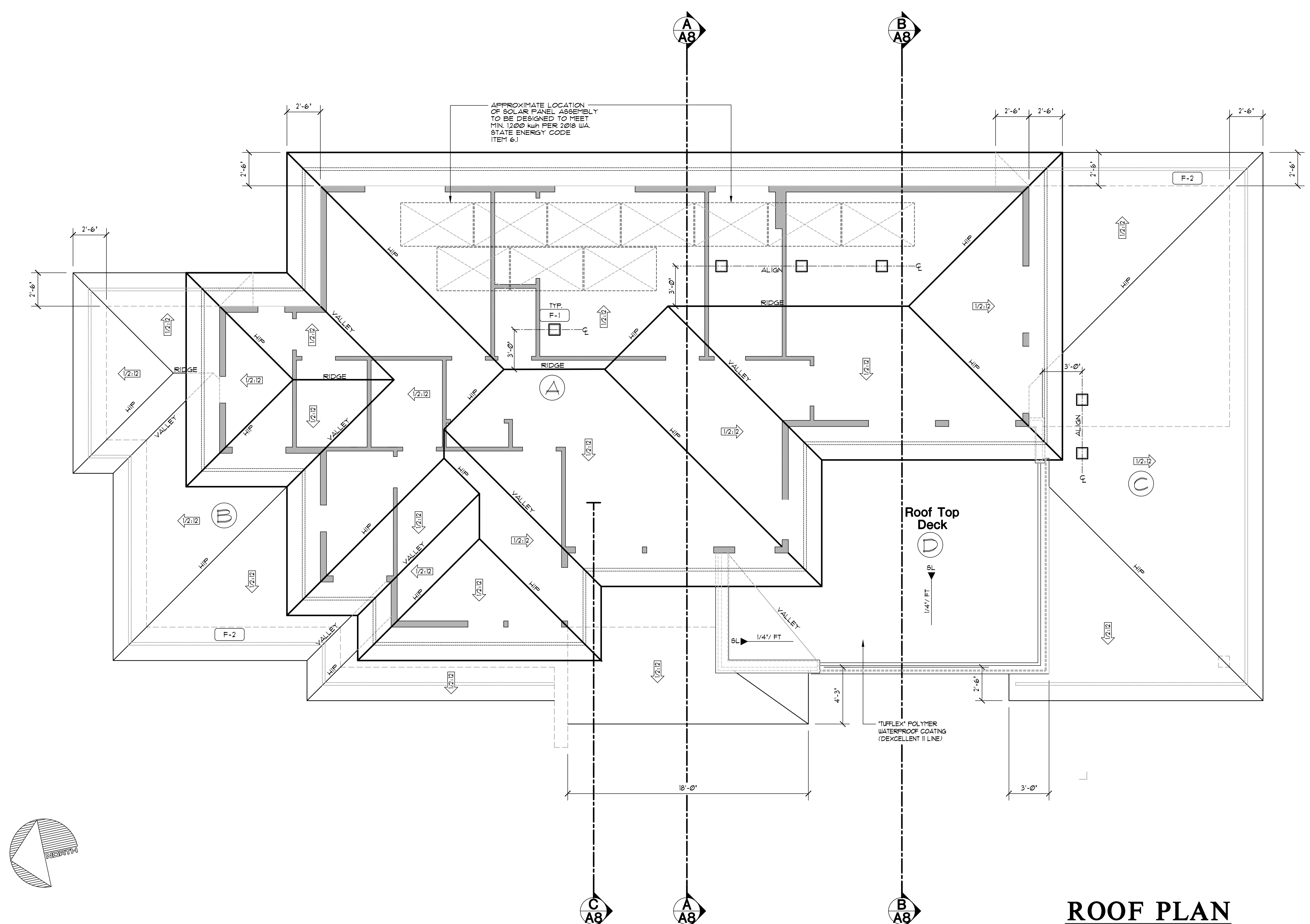
TOTAL ROOF AREA	83 SF / 150 =	55 SF OF VENT AREA REQ
0.00 ROOF JACKS AT 38 SQ. IN. EACH =	0.00 SQ. IN. =	0.00 SF
33 L.F. OF EAVE VENTS AT 6.6 SQ. IN./L.F. =	218 SQ. IN. =	15 SF
TOTAL SF OF VENTILATION PROVIDED		= 15 SF

GENERAL PLAN NOTES

- SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
- ENERGY AND AIR QUALITY INFORMATION SEE DIV. IT SHEET A-1
- SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. B SHEET A-1
- SEE TYP. MATERIALS LIST ON SECTION SHEET
- SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

ROOF PLAN KEY NOTES

- F-1 ATTIC SPACE VENT SEE CALCULATION SEE DIV. 01007.3.B SHEET A-1
- F-2 WALL LINE BELOW



Date	By	Description
10/12/22	REY	PERMIT SET
8/17/23	REY	JURISDICTIONAL COMMENTS
8/25/23	REY	JURISDICTIONAL COMMENTS
10/5/23	REY	JURISDICTIONAL COMMENTS
10/27/23	REY	JURISDICTIONAL COMMENTS-CLOUED

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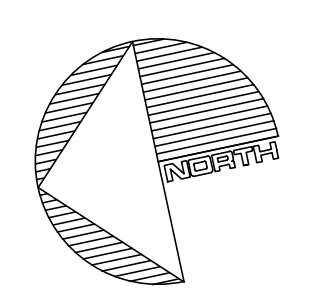
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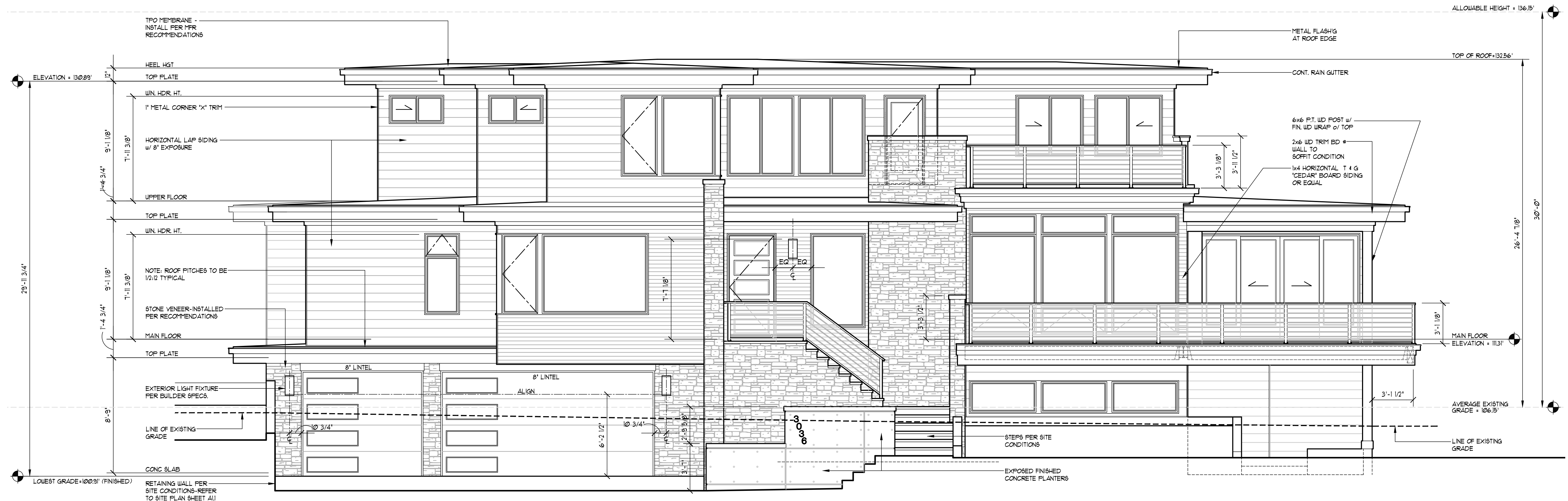
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JOB NO.:	2107621
STARTING NO.:	2107605

SHEET
A5



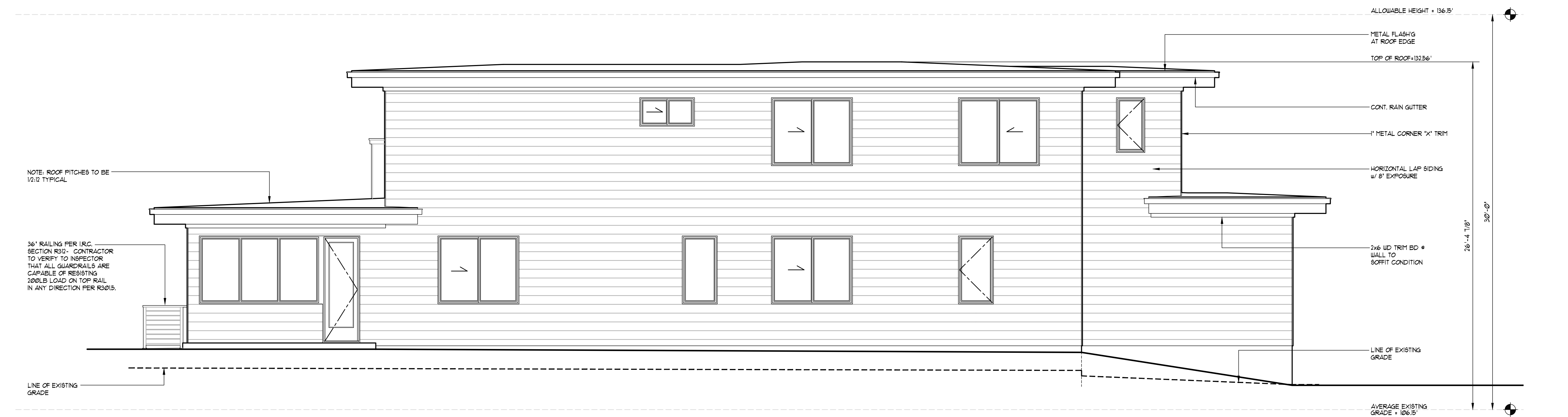
ROOF PLAN
 SCALE 1/4"=1'-0"





FRONT ELEVATION

Scale 1/4"=1'-0"



REAR ELEVATION

Scale 1/4"=1'-0"

TYPICAL BUILDING MATERIALS

ROOF CONSTRUCTION

ROOFING: (DIV. 7)
BUILDING PAPER: (DIV. 7)
SHEATHING: (DIV. 6)
FRAMING: (DIV. 6)
INSULATION: (DIV. 7)
SOFFIT: (DIV. 7)
GWB: (DIV. 9)

SHINGLES (DIV. 01000.5)
3/4" BUILDING PAPER
7/16" O.S.B. OR EQUAL
PER PLAN
R-49 BLOWN-IN
1/2" RE-SAWN PLYWOOD
5/8" GWB

EXTERIOR WALL CONSTRUCTION

SIDING MATERIAL: (DIV. 7)
BUILDING WRAP: (DIV. 7)
SHEATHING: (DIV. 6)
FRAMING: (DIV. 6)
INSULATION: (DIV. 7)
GWB: (DIV. 9)

WOOD SIDING (DIV. 0100.5)
1/2" BUILDING PAPER
1/2" CDX PLYWOOD OR EQUAL
2 X 6 STUDS AT 16" OC
R-21 BATT W/ INTEGRAL
VAPOR BARRIER
1/2" GWB

FLOOR CONSTRUCTION

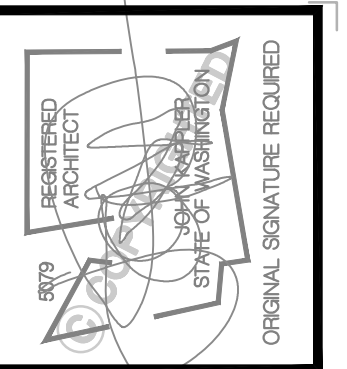
FLOORING: (DIV. 9)
SUBFLOOR: (DIV. 6)
FRAMING: (DIV. 6)
INSULATION: (DIV. 7)
SOFFIT: (DIV. 7)

FINISH PER PLANS (DIV. 0100.5)
3/4" TAG (PLYWD, COMPLY, OR EQ)
PER PLANS
R-30 BATT
1/2" RE-SAWN PLYWOOD

TRIM:(DIV. 6)

WINDOW:
(WITH NO BRICK MOLD)
CORNER BOARDS:
FASCIA:

HEAD: N/A
JAMB: N/A
SILL: N/A
INSIDE: 2x2
OUTSIDE: METAL 7x
2x8 UNO



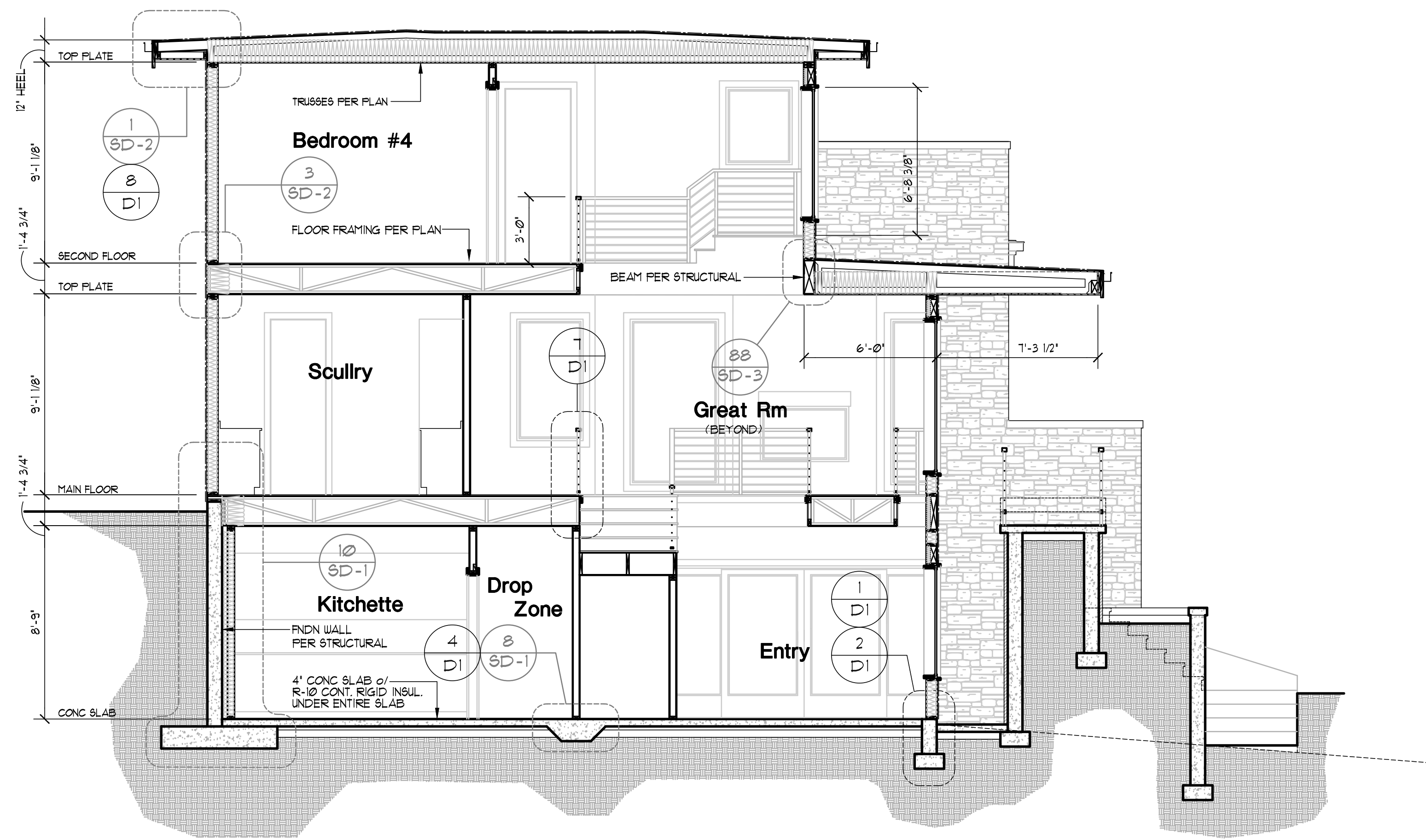
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07/22/23	REV	JURISDICTIONAL COMMENTS
02/22/23	REV	JURISDICTIONAL COMMENTS
02/22/23	REV	JURISDICTIONAL COMMENTS-CLOSED
11/27/23	REV	JURISDICTIONAL COMMENTS-CLOSED

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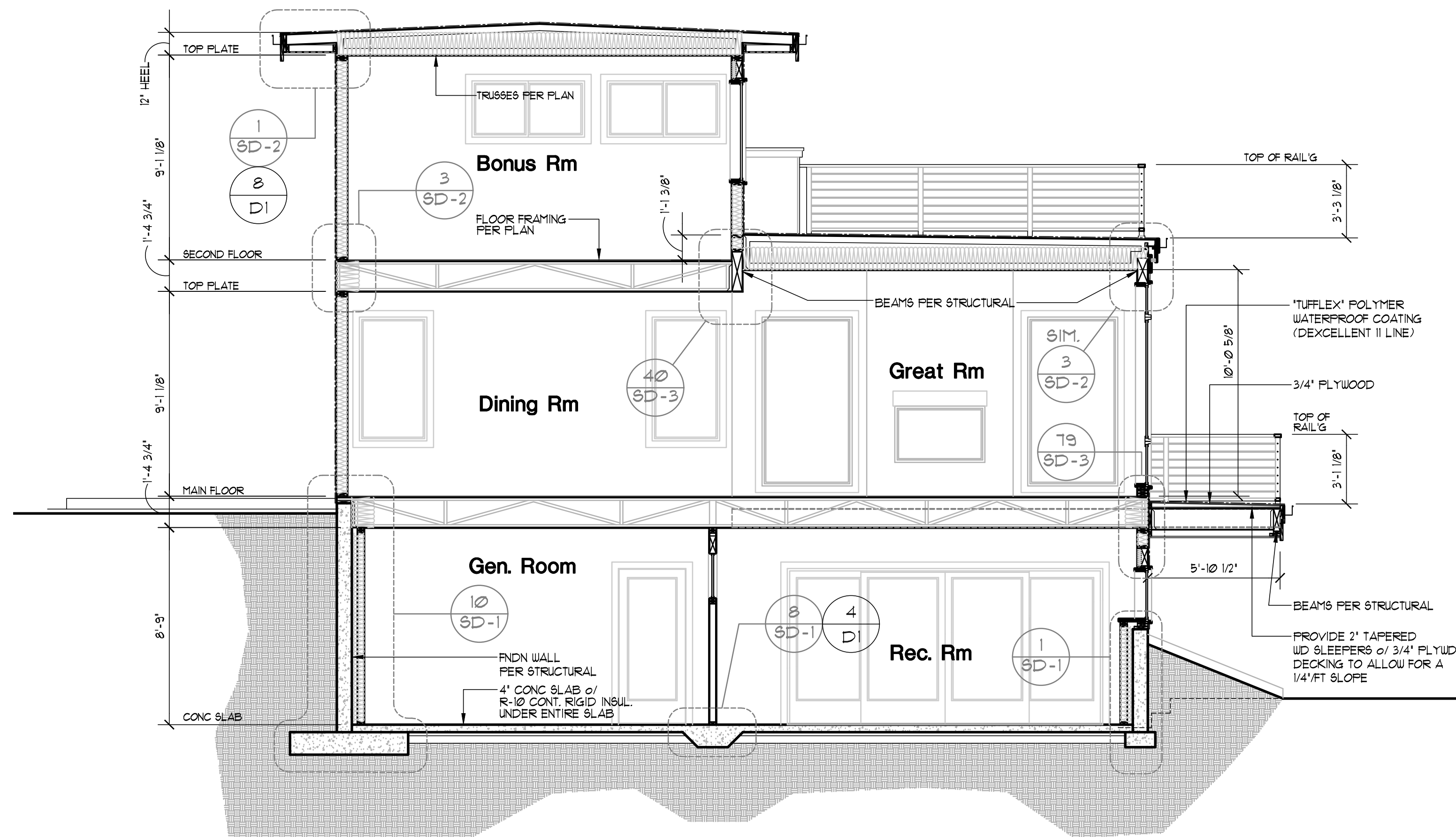
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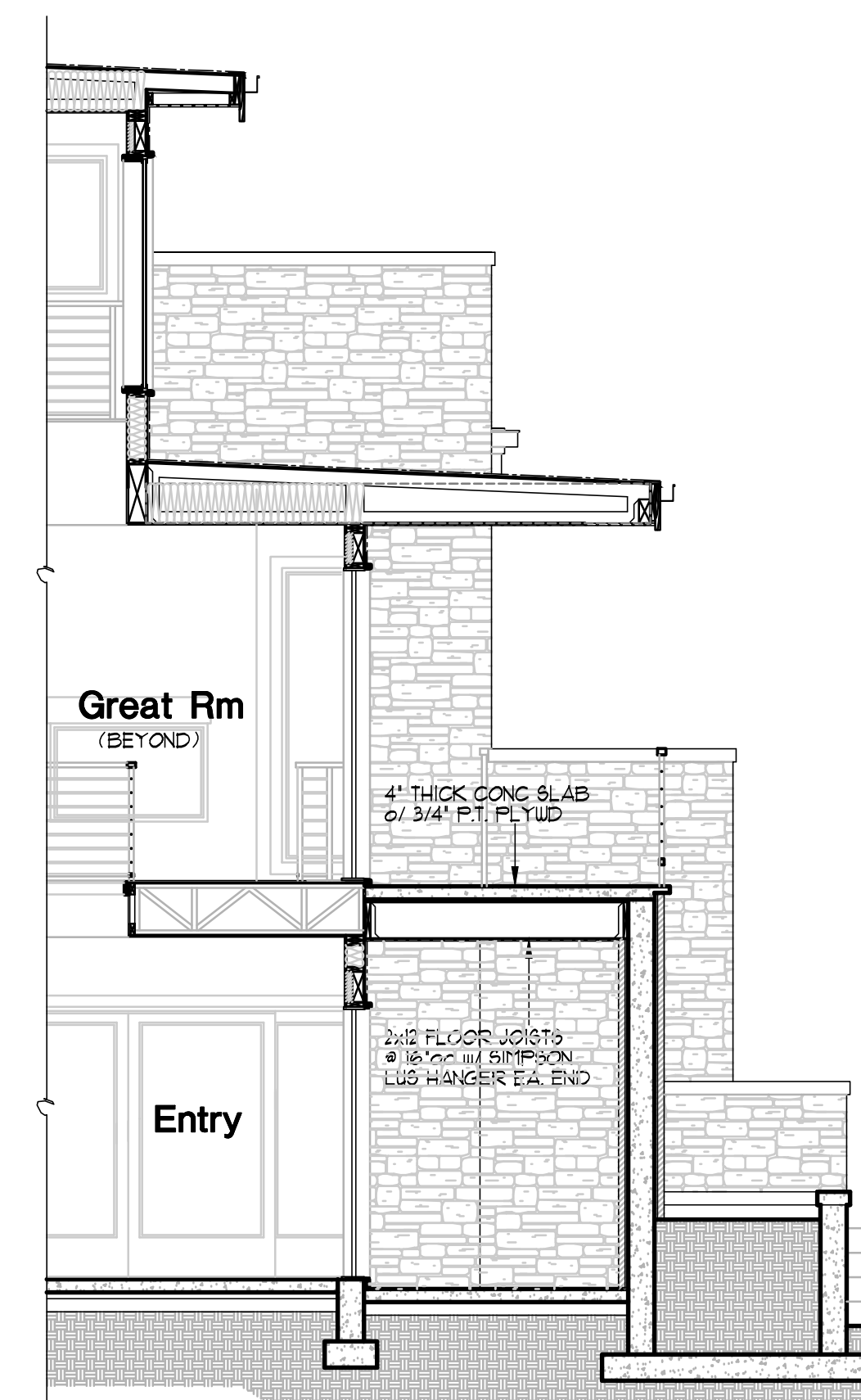
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A6



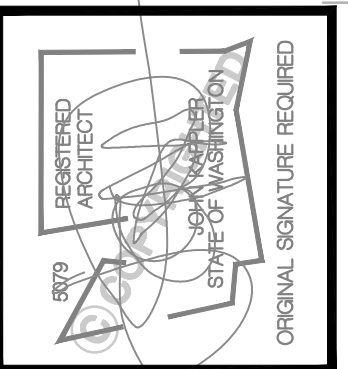
BUILDING SECTION A-A
Scale 1/4"=1'-0"



BUILDING SECTION B-B
Scale 1/4"=1'-0"



BUILDING SECTION C-C
Scale 1/4"=1'-0"



Date	By	Description
07/22/22	REV	PERMIT SET
07/22/22	REV	JURISDICTIONAL COMMENTS
02/25/23	REV	JURISDICTIONAL COMMENTS
02/25/23	REV	JURISDICTIONAL COMMENTS
11/27/23	REV	JURISDICTIONAL COMMENTS-CLOSED

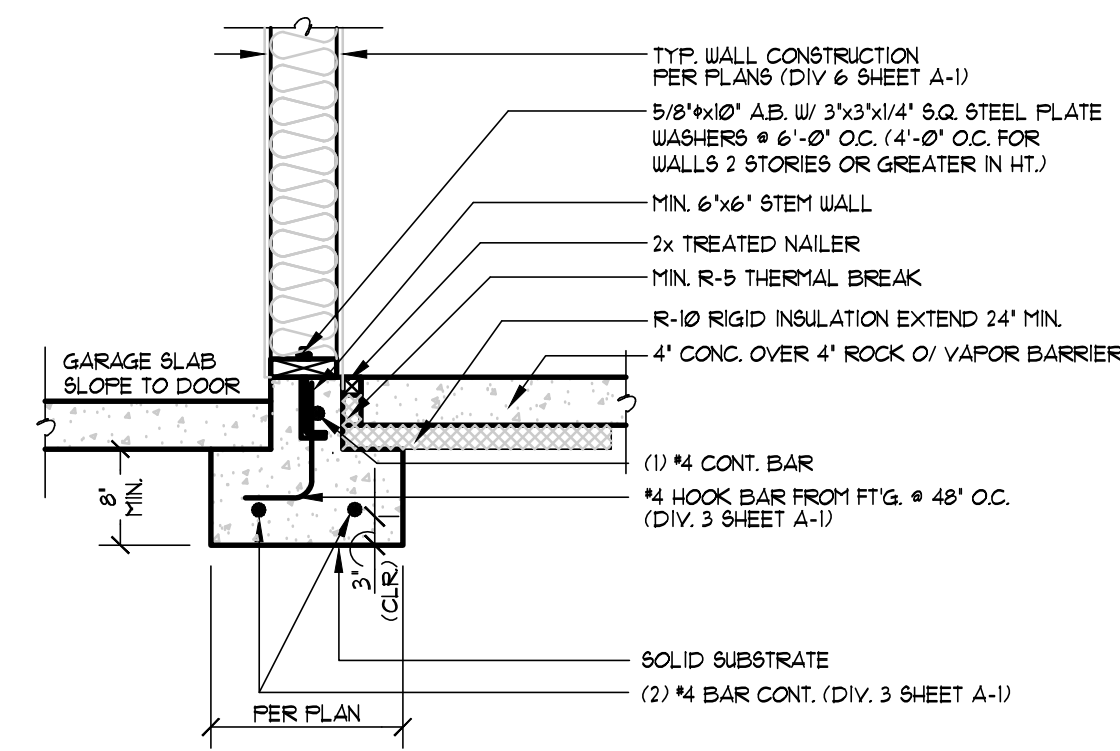
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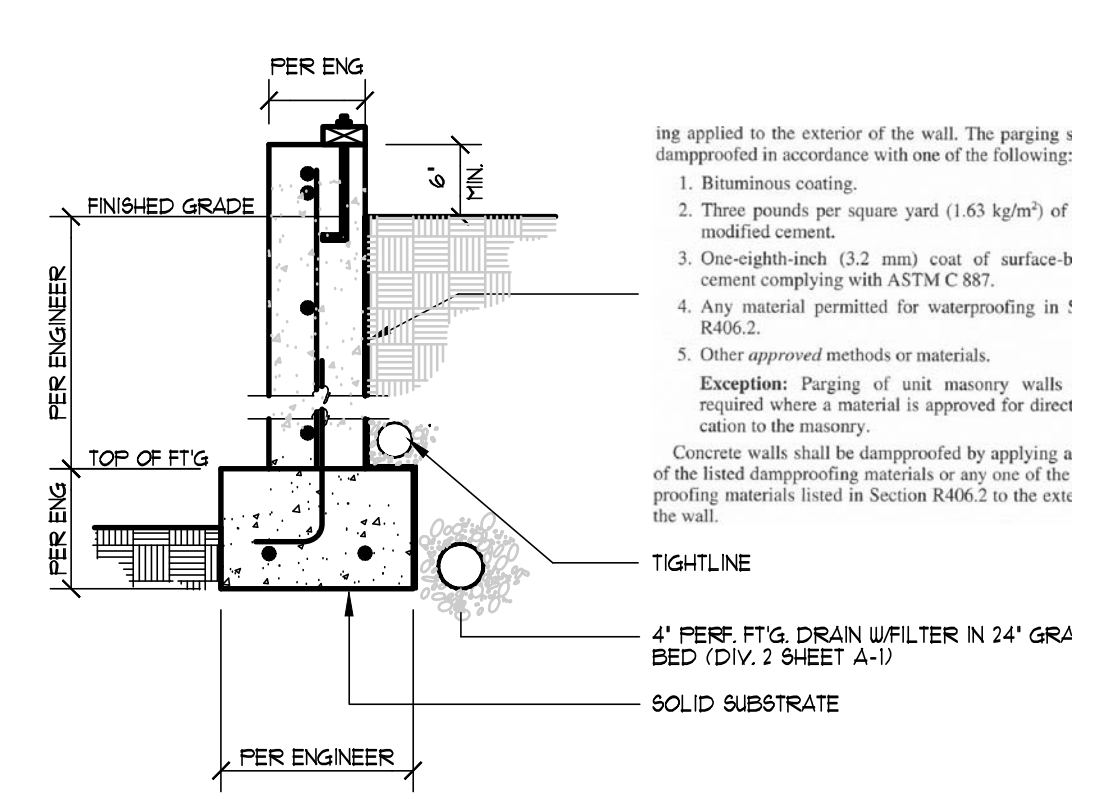
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JOB NO.:	21076.21
STARTING NO.:	21076.05

SHEET
A8

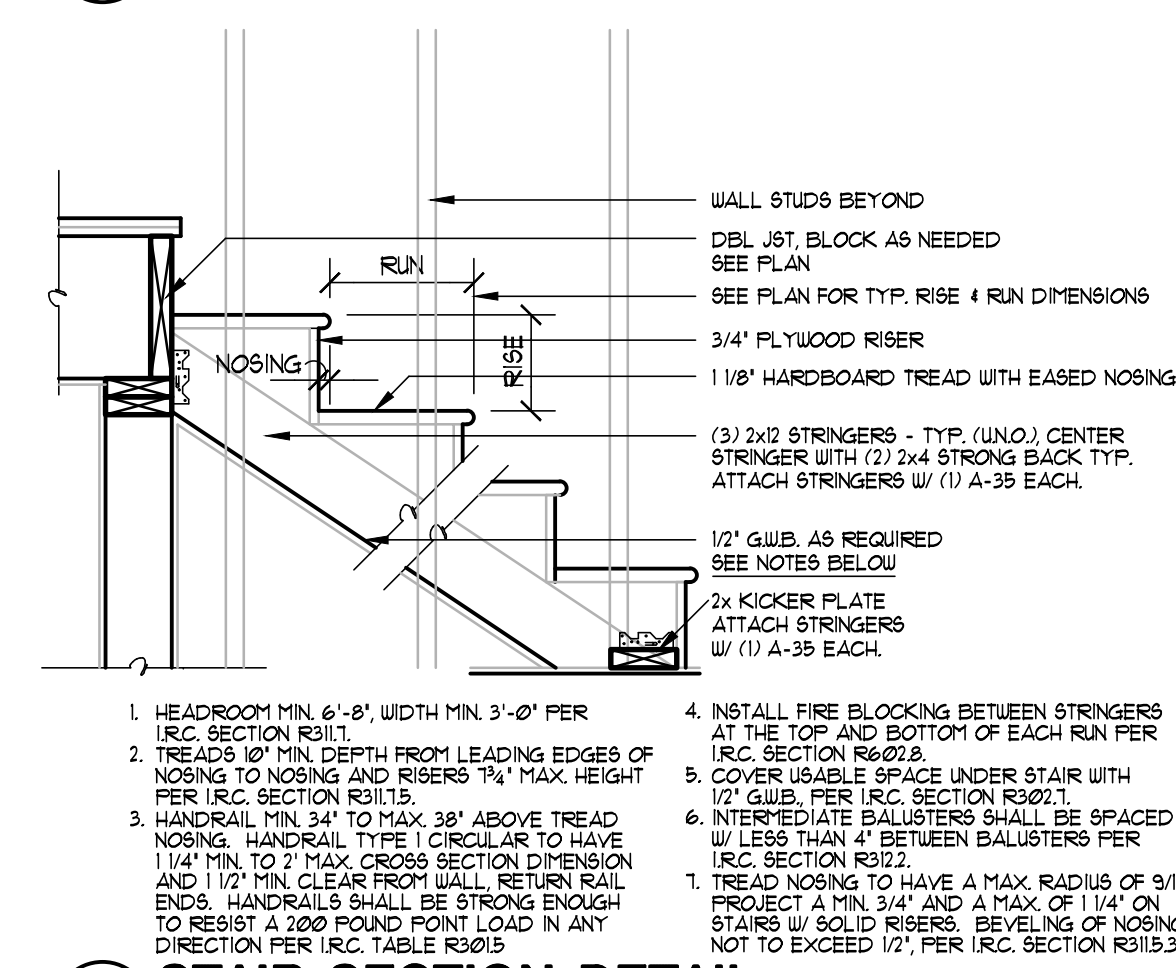




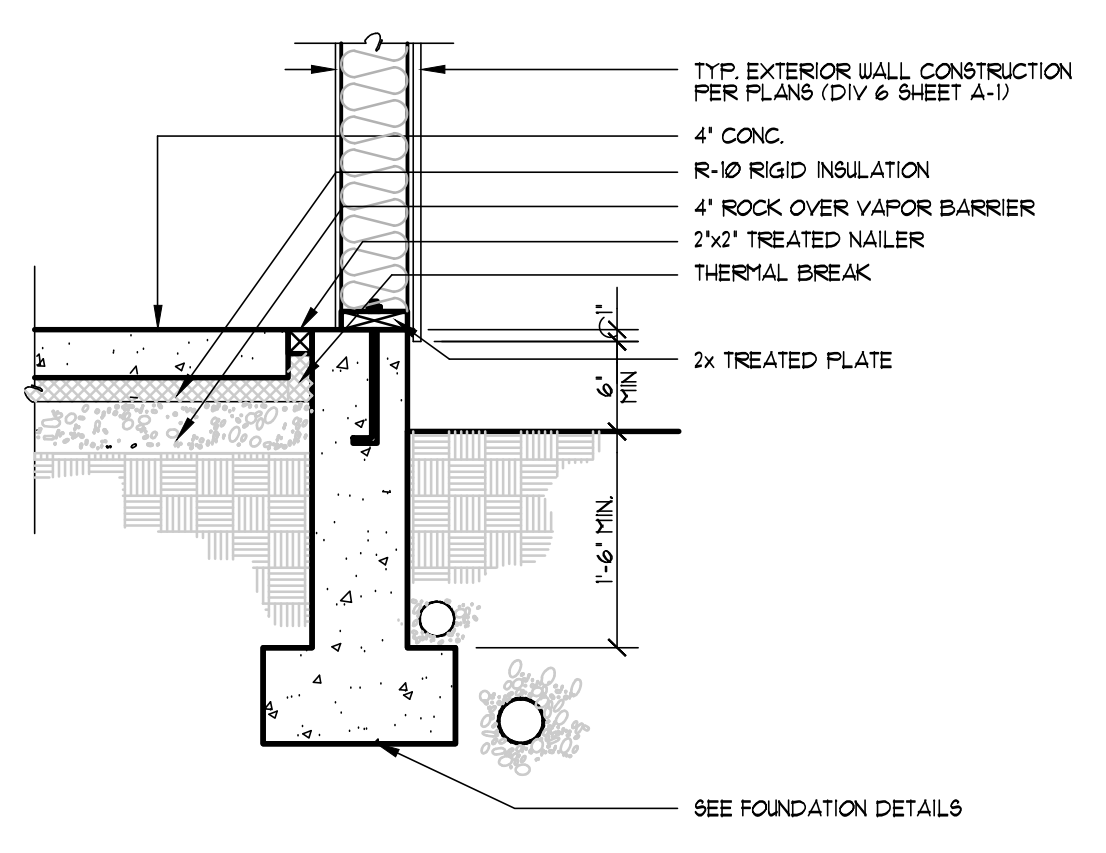
5 FOUNDATION DETAIL
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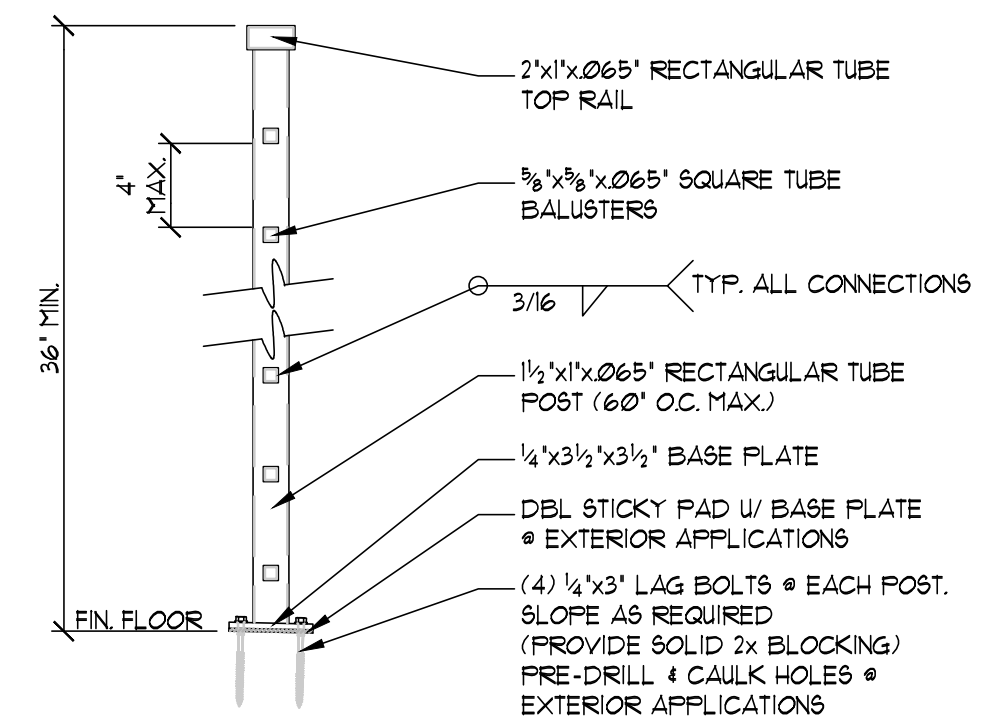
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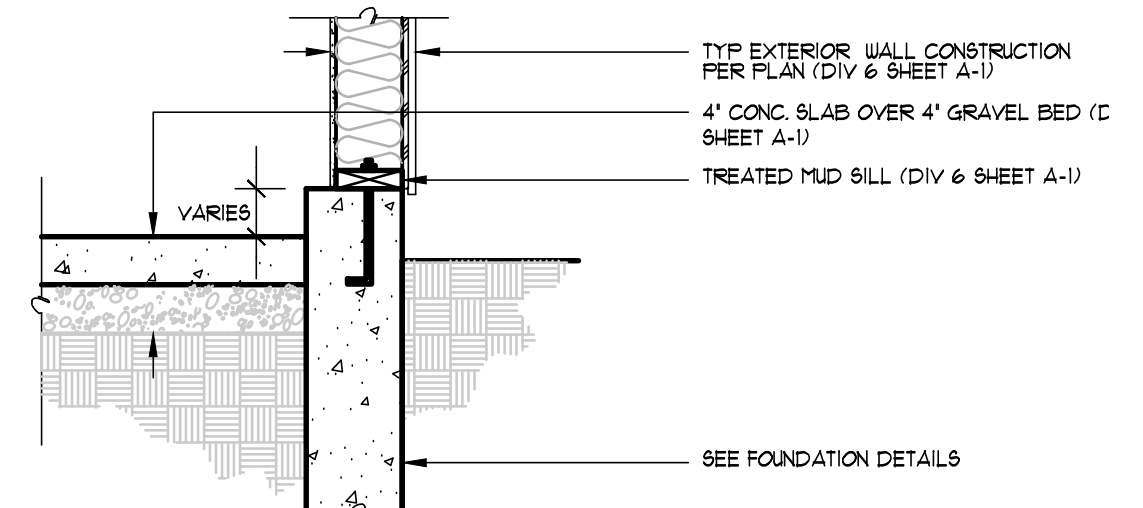
6 STAIR SECTION DETAIL
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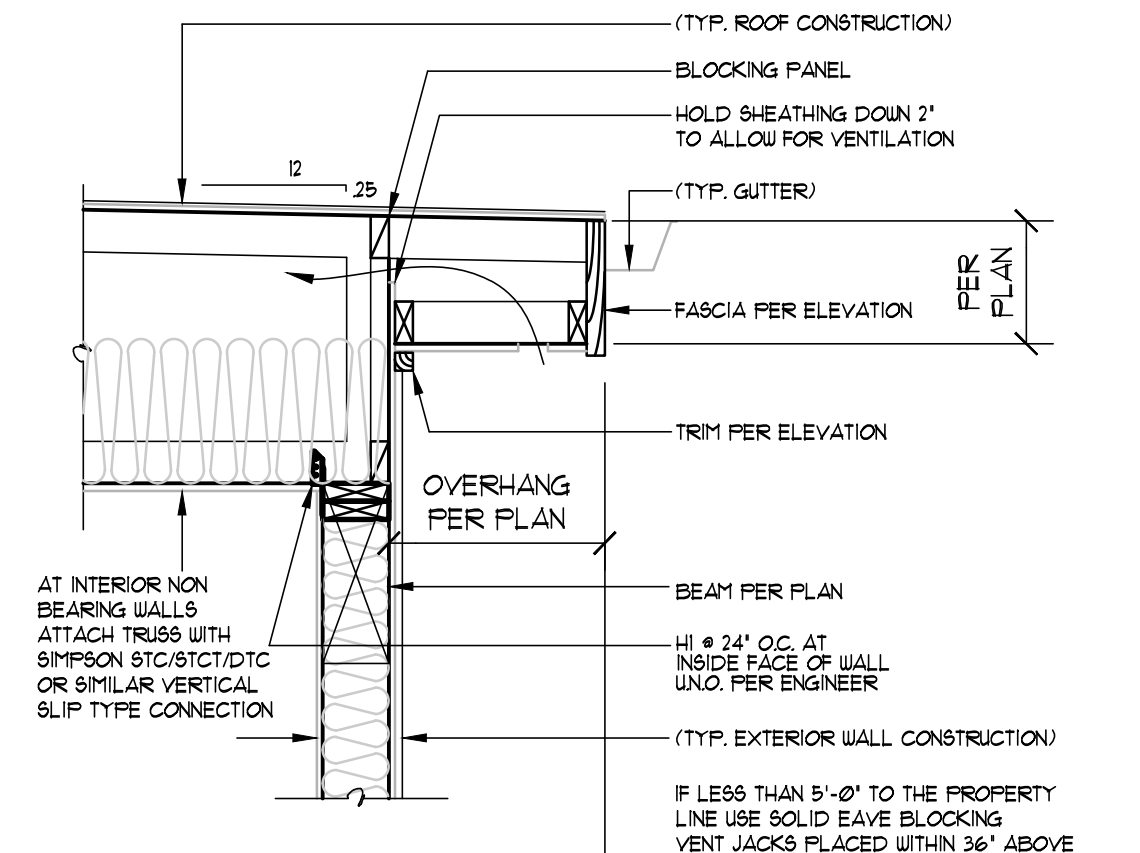
2 FOUNDATION DETAIL
 3/4"=1'-0" 08300-00001



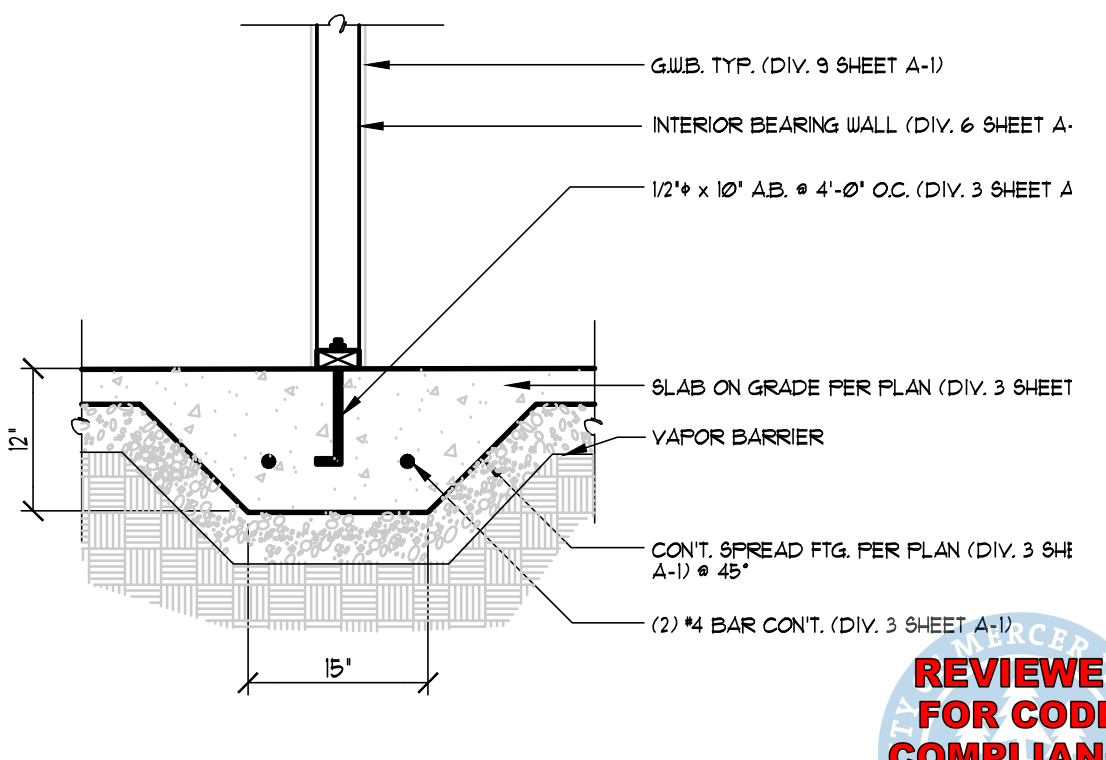
7 STANDARD RAIL DETAIL
 1 1/2"=1'-0" 08300-05300



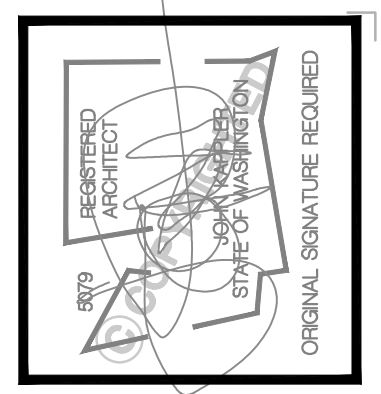
3 SLAB & STEM WALL
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8 EAVE DETAIL
 3/4"=1'-0" 08100-07300-35



4 FOUNDATION/FRAMING CONNECTION
 3/4"=1'-0" 08300-0610



Date	By	Description
10/12/22	REY.	PERMIT SET
8/17/23	REY.	JURISDICTIONAL COMMENTS
8/25/23	REY.	JURISDICTIONAL COMMENTS
10/5/23	REY.	JURISDICTIONAL COMMENTS
11/21/23	REY.	JURISDICTIONAL COMMENTS-CLOUDED

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Westview Plan
 Permit no. 2210-120
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 Mercer Island, WA
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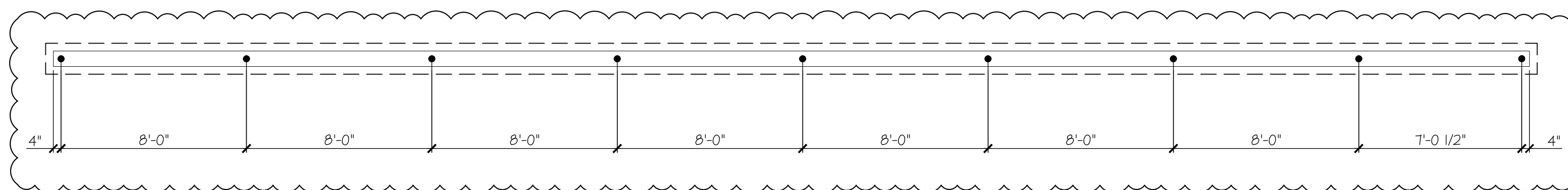
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 1-800-888-4517
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TITLE

JOB NO.: 2107621
 STARTING NO.: 2107605

SHEET
D1





REFER TO S-0.0 FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

LEGEND

- ▣ INTERIOR BEARING WALL
- ▤ BEARING WALL ABOVE (B/W.A.), OR SHEARWALL ABOVE (S/W.A.)
- BEAM / HEADER
- ▨ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ⋯ INDICATES AREA OF ROOF OVERFRAMING
- J L METAL HANGER
- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ◄ INDICATES HOLD-DOWN.
- INDICATES PIPE PILE



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PILE STRUCTURAL NOTES

GRADE BEAM ON PIPE PILING:

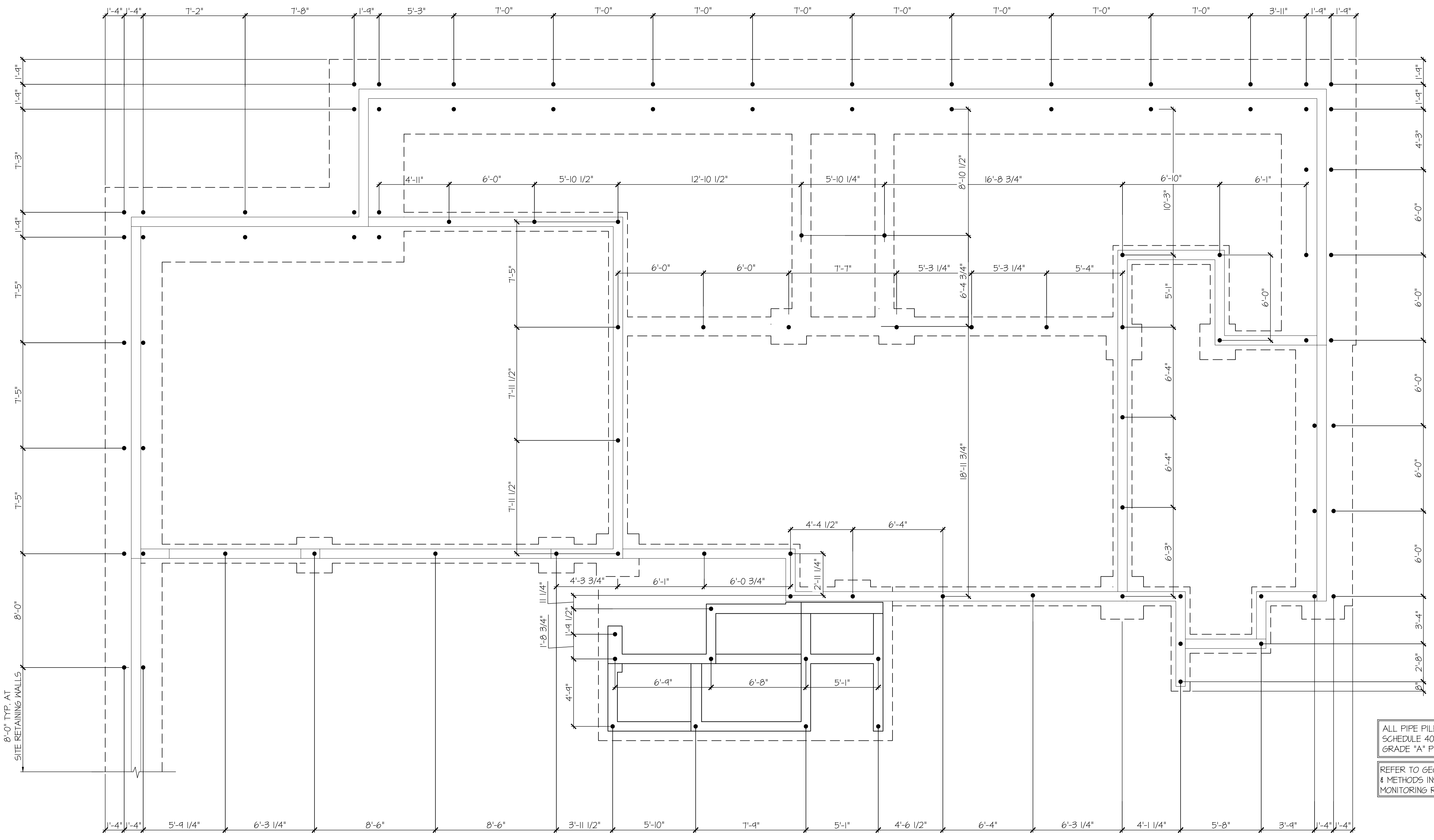
- PILES SHALL BE INSTALLED TO SUPPORT DESIGN LOAD OF 6 TONS/PILE MINIMUM FOR 3" DIA. PILES AND 10 TONS/PILE MINIMUM FOR 4" DIA. PILES (SAFE LOAD).
- PILING CONTRACTOR SHALL DETERMINE BY TEST PILE, THE LENGTH AND DIMENSIONS OF THE PILING REQUIRED TO REACH DESIGN LOAD CAPACITY IN ACCORDANCE WITH ASTM D1143-01, - 3" MIN. DIA., SCHEDULE 40, GALVANIZED, ASTM A-53 GRADE "A" PIPE PILES
- PILES SHALL BE DRIVEN TO REFUSAL (10' MINIMUM DEPTH) WITH A TRACTOR-MOUNTED HYDRAULIC HAMMER WITH AN ENERGY RATING OF 650 LB AND TO REFUSAL OF LESS THAN ONE INCH DURING 12 SECONDS OF CONTINUOUS DRIVING. GEOTECH TO COORDINATE DRIVING CRITERIA IF ALTERNATIVE HAMMER SIZE IS SELECTED BY THE CONTRACTOR.
- PILES SHALL BE DRIVEN IN NOMINAL SECTIONS AND CONNECTED WITH COMPRESSION FITTED COUPLERS. DO NOT WELD PIPE JOINTS TOGETHER.
- GEOTECH OF RECORD OR HIS/HER REPRESENTATIVE SHALL BE PRESENT TO OBSERVE PILE INSTALLATION & LOAD TEST.
- PER ASTM 1143-01, 3% OF EACH PILE DIAMETER SIZE SHALL BE LOAD TESTED. A MAXIMUM OF 5 PILES (1 MINIMUM) WILL BE REQUIRED FOR EACH PILE DIAMETER SIZE.

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drawn by: LGH
issue date: 05-04-22

REVISIONS:

date:	initial:
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06/21/2023	LGH
PLAN REVIEW COMMENTS	LGH
10/05/2023	LGH
PIPE PILE REVISION	LGH
11/27/2023	LGH
ADDL PLAN REVIEW COMMENTS	LGH



ALL PIPE PILES ARE TO BE 3" MIN. DIA., SCHEDULE 40, GALVANIZED, ASTM A-53 GRADE "A" PIPE PILES U.N.O.

REFER TO GEOTECH REPORT FOR MEANS & METHODS INSTRUCTIONS AS WELL AS MONITORING REQUIREMENTS

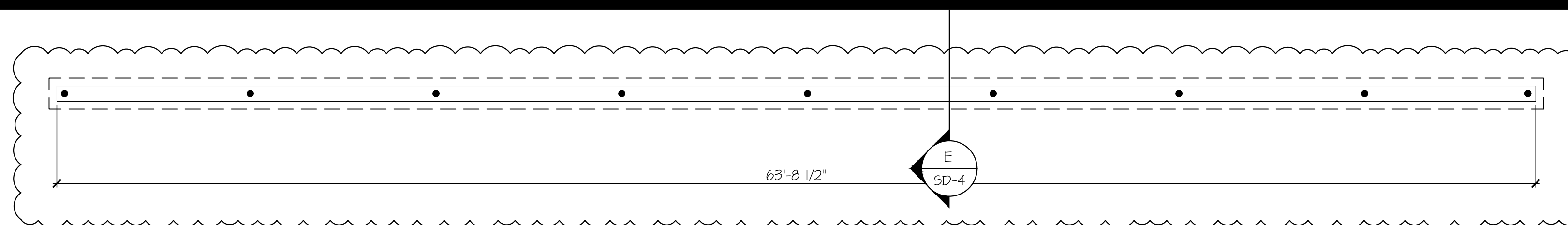
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PIPE PILE PLAN
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PIPE PILE PLAN
SCALE: 1/4"=1'-0"

sheet: **S-0.1**



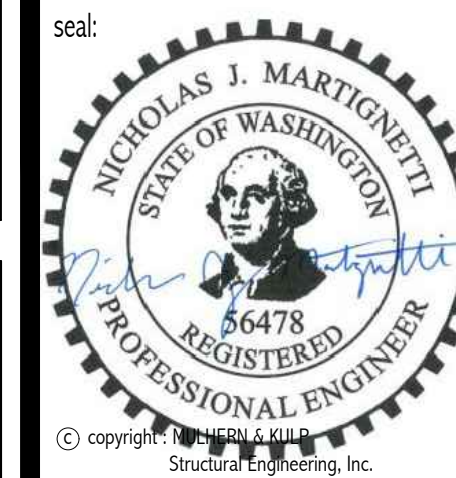
REFER TO S-0.0 FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

LEGEND

- ▬ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- ▬ BEAM / HEADER
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ▬ INDICATES AREA OF ROOF OVERFRAMING
- J.L. METAL HANGER
- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▴ INDICATES HOLD-DOWN
- INDICATES PIPE PILE

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
▴ HD-1	SIMPSON 5THD14 (R.J) HOLD-DOWN
▴ HD-5	SIMPSON CS16 STRAP TIE (14" END LENGTH)
▴ HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
▴ HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)



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11/27/2023	LGH

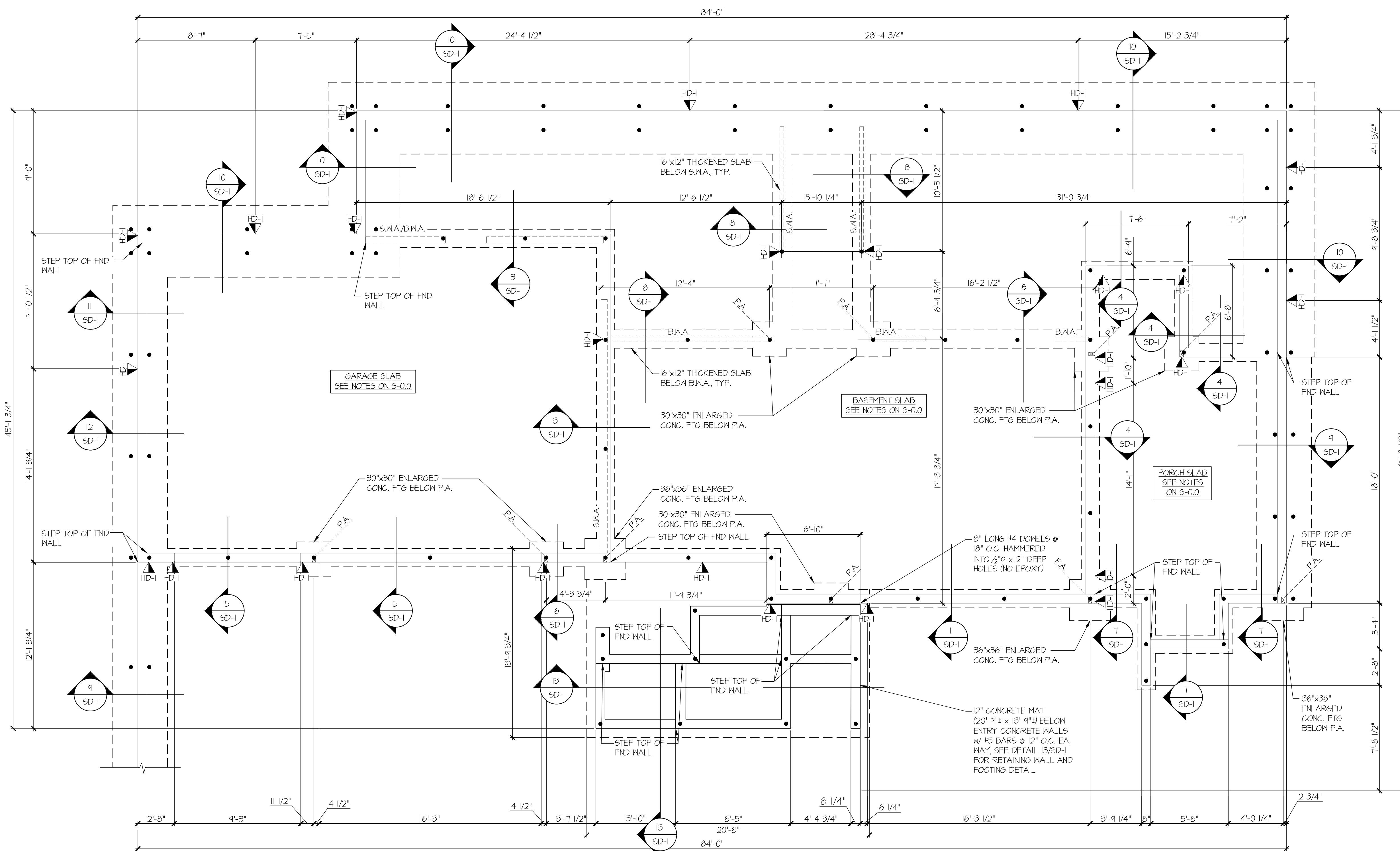
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FOUNDATION PLAN
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON



sheet:

S-1.0



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

REFER TO S-O.O FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

LEGEND

- ▬ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- ▬ BEAM / HEADER
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ▬ INDICATES AREA OF ROOF OVERFRAMING
- J.L. METAL HANGER
- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ◀ INDICATES HOLD-DOWN
- INDICATES PIPE PILE

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
▶ HD-1	SIMPSON 5THD14 (R.J) HOLD-DOWN
▶ HD-5	SIMPSON C516 STRAP TIE (14" END LENGTH)
▶ HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
▶ HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)



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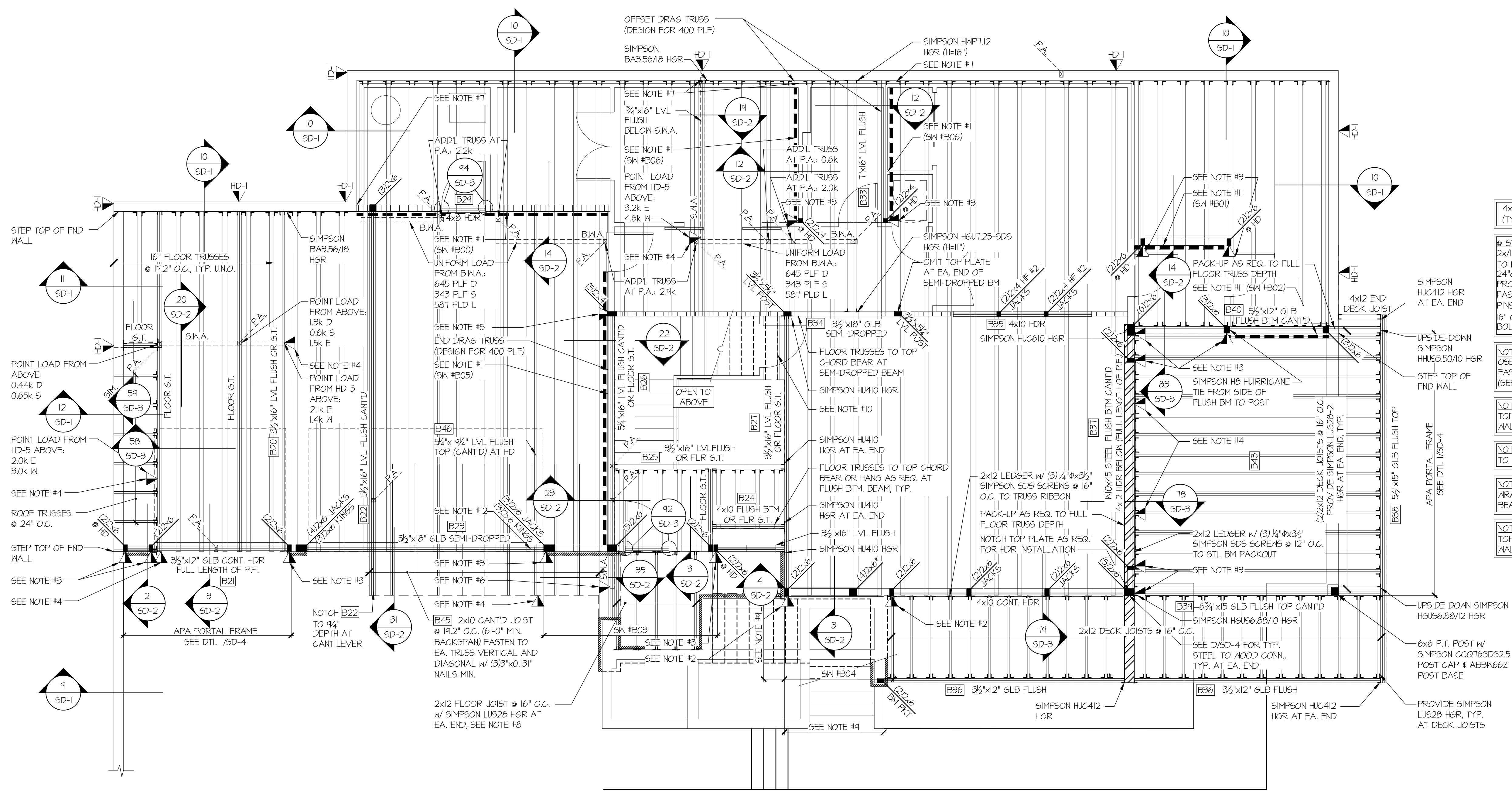
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04/28/2023	LGH
06/21/2023	LGH
10/05/2023	LGH
11/27/2023	LGH

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MAIN FLOOR FRAMING PLAN
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON

sheet:
S-1.1



- 4x10 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) [B28]
- STEEL BEAMS: PROVIDE SOLID 2xLVL WEB PACKOUT FASTENED TO WEB w/ 1/2" DIA. THRU BOLTS @ 24" o.c. STAGGERED. ALSO, PROVIDE 2x TOP PLATE FASTENED w/ P.A.F.'s (MULTI X-U PINS OR EQUAL) @ 16" o.c. STAGGERED, OR 1/2" DIA. BOLTS @ 48" o.c. STAGGERED.
- PROVIDE 1/8" OSB/PLYWOOD SHEATHING AND FASTEN 3" o.c. EDGE NAILING (SEE NOTES ON S-O.O.)
- NOTE #1: PROVIDE 2x12 P.T. LEDGER w/ (3) 1/4"x3/8" SIMPSON SD5 SCREWS @ 16" o.c. TO RIM & (2) 1/4"x6" SIMPSON TITEN HD's @ 24" o.c. TO FND WALL.
- NOTE #2: HD-5 FROM ABOVE TO TOP OF WALL. HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- NOTE #3: HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- NOTE #4: HD-5 FROM ABOVE. WRAP END LENGTH AROUND BEAM/G.T. AS REQ.
- NOTE #5: HD-6 FROM ABOVE TO TOP OF WALL. HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- NOTE #6: HD-6 FROM ABOVE. WRAP END LENGTH AROUND BEAM/G.T. AS REQ.
- NOTE #7: PROVIDE SIMPSON H8 HURRICANE TIE FROM FLUSH BM TO POST.
- NOTE #8: PROVIDE SIMPSON H8 HURRICANE TIE FROM FLUSH TOP BEAM TO SEMI-DROPPED BEAM.
- NOTE #9: FASTEN 6x6 TO EA. TRUSS VERTICAL/DIAGONAL w/ (2) 3"x0.131" NAILS.
- NOTE #10: FASTEN 6x6 TO EA. TRUSS VERTICAL/DIAGONAL w/ (2) 3"x0.131" NAILS (SEE NOTES ON S-O.O.)
- NOTE #11: PROVIDE SIMPSON H8 HURRICANE TIE FROM FLUSH TOP BEAM TO SEMI-DROPPED BEAM.

1 MAIN FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



REFER TO S-O.O FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

LEGEND

- ▬ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- ▬ BEAM / HEADER
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ▬ INDICATES AREA OF ROOF OVERFRAMING
- J.L. METAL HANGER
- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▶ INDICATES HOLD-DOWN.
- INDICATES PIPE FILE

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
▶	HD-1 SIMPSON 5THD14 (R.J) HOLD-DOWN
▶	HD-5 SIMPSON C516 STRAP TIE (14" END LENGTH)
▶	HD-6 SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
▶	HD-7 SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)



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203-22010
project mgr: NJM
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issue date: 05-04-22

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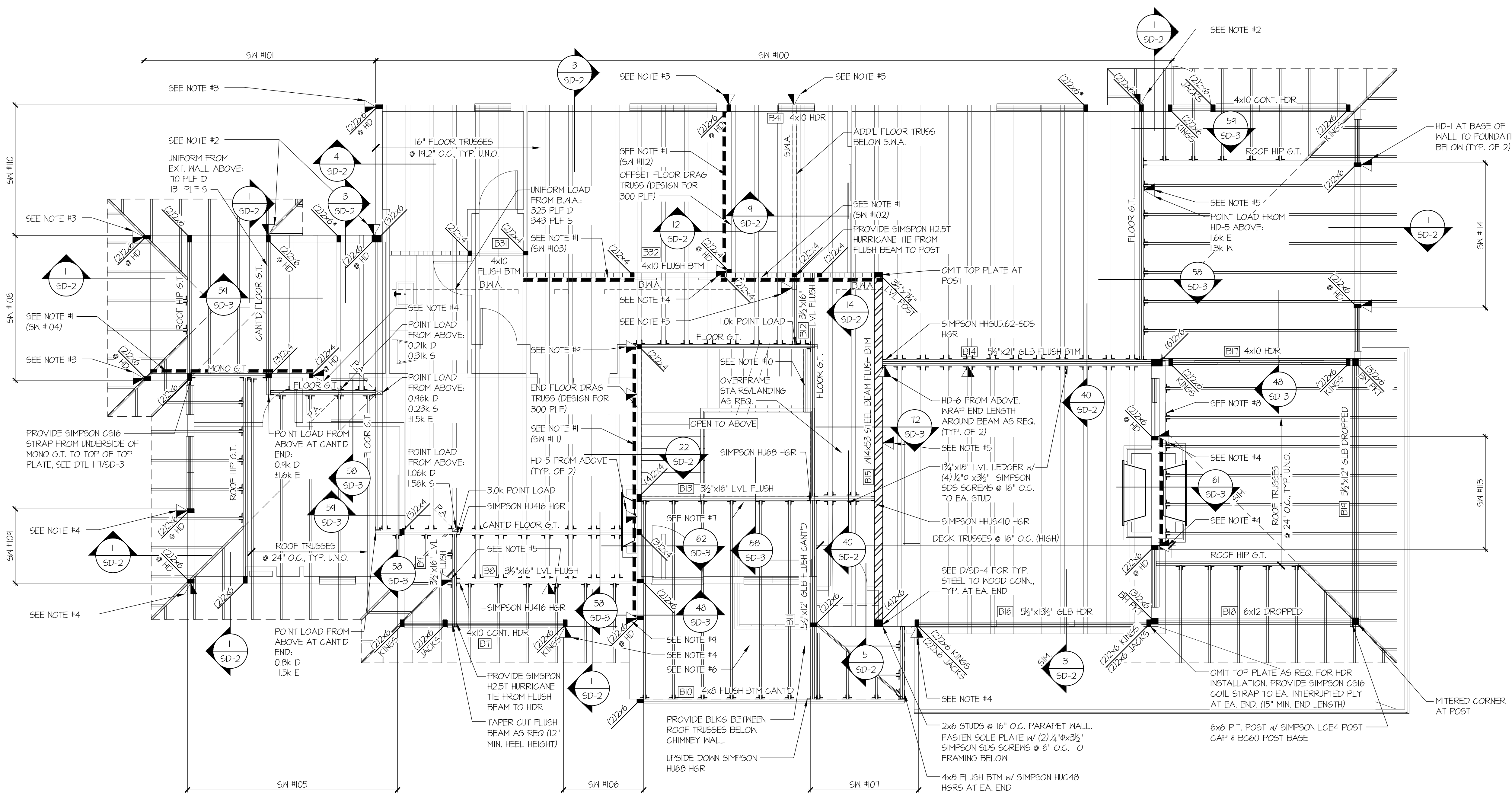
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10/05/2023	LGH
11/27/2023	LGH

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UPPER FLOOR FRMG PLAN
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON



sheet:
S-2.0



- 4x10 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) [B30]
- STEEL BEAMS: PROVIDE SOLID 2x LVL WEB PACKOUT FASTENED TO WEB w/ 1/2" DIA. THRU BOLTS @ 24" o.c. STAGGERED. ALSO, PROVIDE 2x TOP PLATE FASTENED w/ P.A.F.'s (HILTI X-U PINS OR EQUAL) @ 16" o.c. STAGGERED, OR 1/2" DIA. BOLTS @ 48" o.c. STAGGERED.
- NOTE #1: PROVIDE 1/4" OSB/PLYWOOD SHEATHING AND FASTEN PER TYP. EXT. SHTG SPECS (SEE NOTES ON S-O.O)
- NOTE #2: HD-5 FROM ABOVE TO TOP OF WALL. HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- NOTE #3: HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- NOTE #4: HD-5 AT BASE OF WALL TO FRAMING BELOW.
- NOTE #5: HD-5 FROM ABOVE. WRAP END LENGTH AROUND BEAM/G.T. AS REQ.
- NOTE #6: PROVIDE 2x6 STUDS @ 16" o.c. FROM TOP OF ROOF SHEATHING TO TOP OF CHIMNEY WALL. FASTEN SOLE PLATE w/ (2) 1/4" x 3 1/2" SIMPSON SDS SCREWS @ 6" o.c. TO ROOF TRUSSES/BLKG. TYP. AT CHIMNEY WALLS.
- NOTE #7: 2x6 LEDGER w/ (3) 3"x0.131" NAILS @ 16" o.c. TO GIRDER TRUSS/FLUSH BEAM
- NOTE #8: 2x6 LEDGER w/ (4) 3"x0.131" NAILS @ 16" o.c. TO EA. STUD
- NOTE #9: HD-6 AT BASE OF WALL TO FRAMING BELOW.
- NOTE #10: FASTEN 6x6 TO EA. TRUSS VERTICAL/DIAGONAL w/ (2) 3"x0.131" NAILS

1 UPPER FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

REFER TO S-0.0 FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

LEGEND

- ▬ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE (B/W.A.), OR SHEARWALL ABOVE (S/W.A.)
- ▬ BEAM / HEADER
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ▬ INDICATES AREA OF ROOF OVERFRAMING
- J L METAL HANGER
- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▴ INDICATES HOLD-DOWN
- INDICATES PIPE PILE

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
▴	HD-1 SIMPSON 5THD14 (R.J) HOLD-DOWN
▴	HD-5 SIMPSON CS16 STRAP TIE (14" END LENGTH)
▴	HD-6 SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
▴	HD-7 SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)



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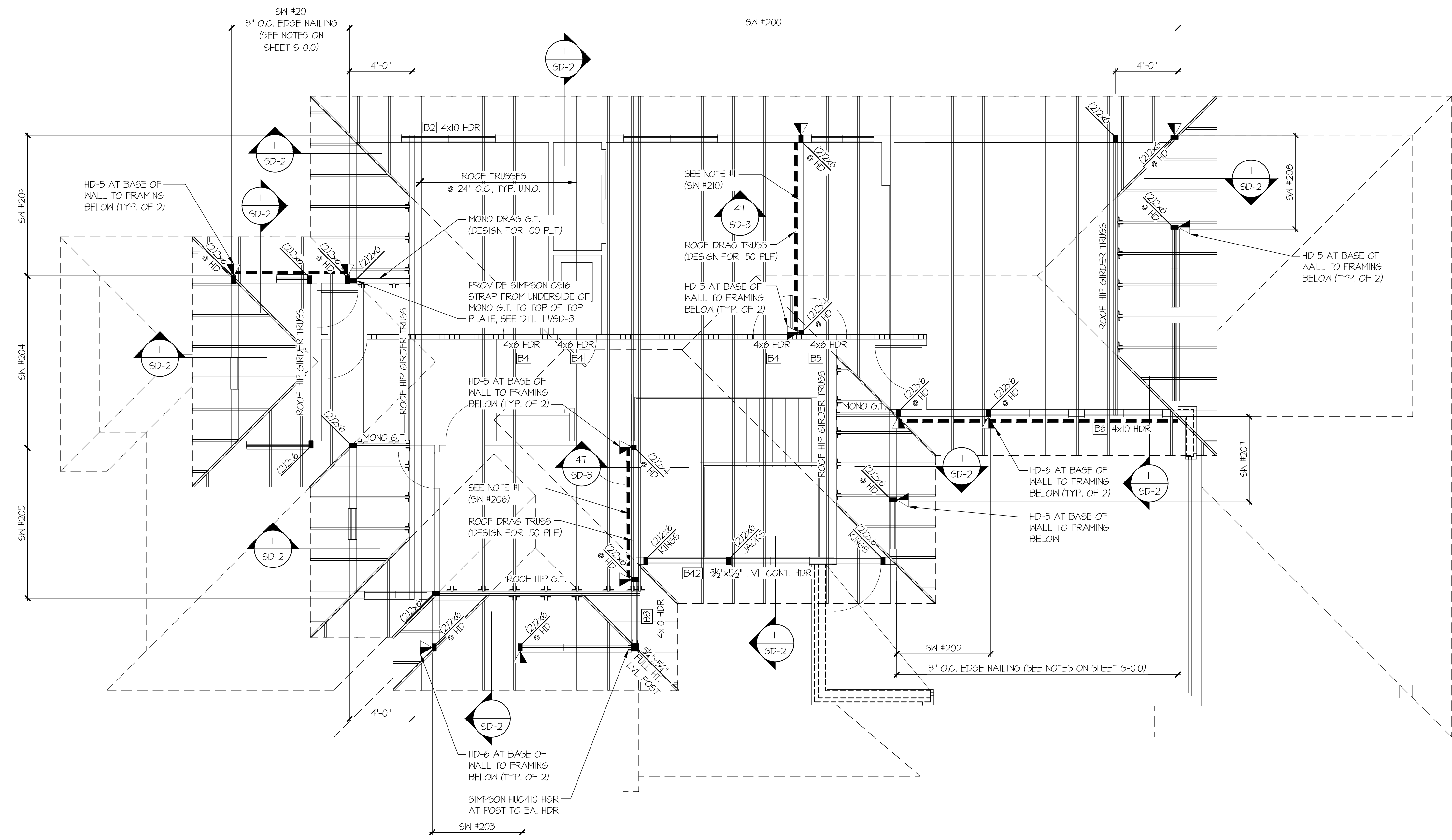
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11/27/2023	LGH

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ROOF FRAMING PLAN
3036 67TH AVE. SE
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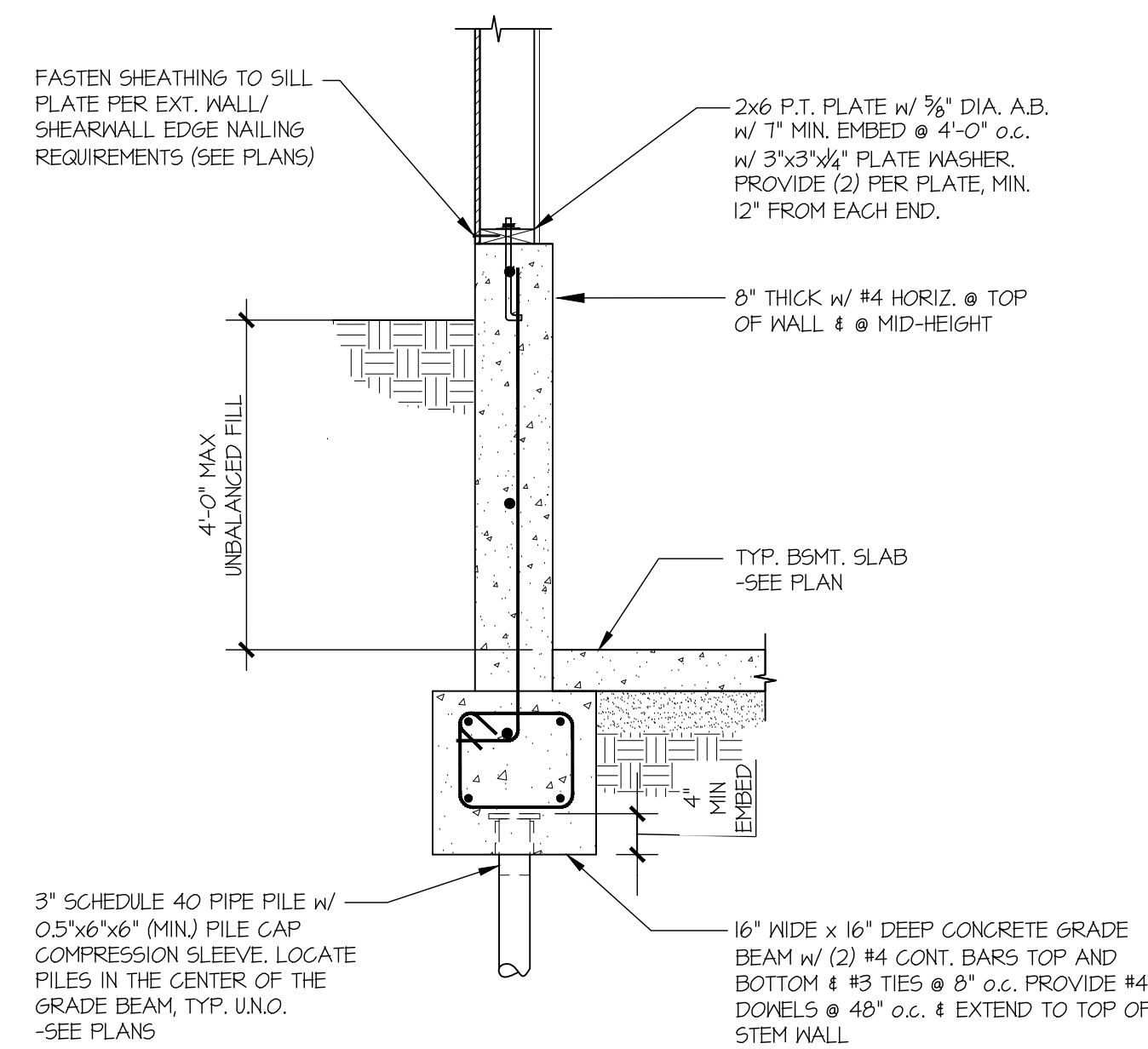
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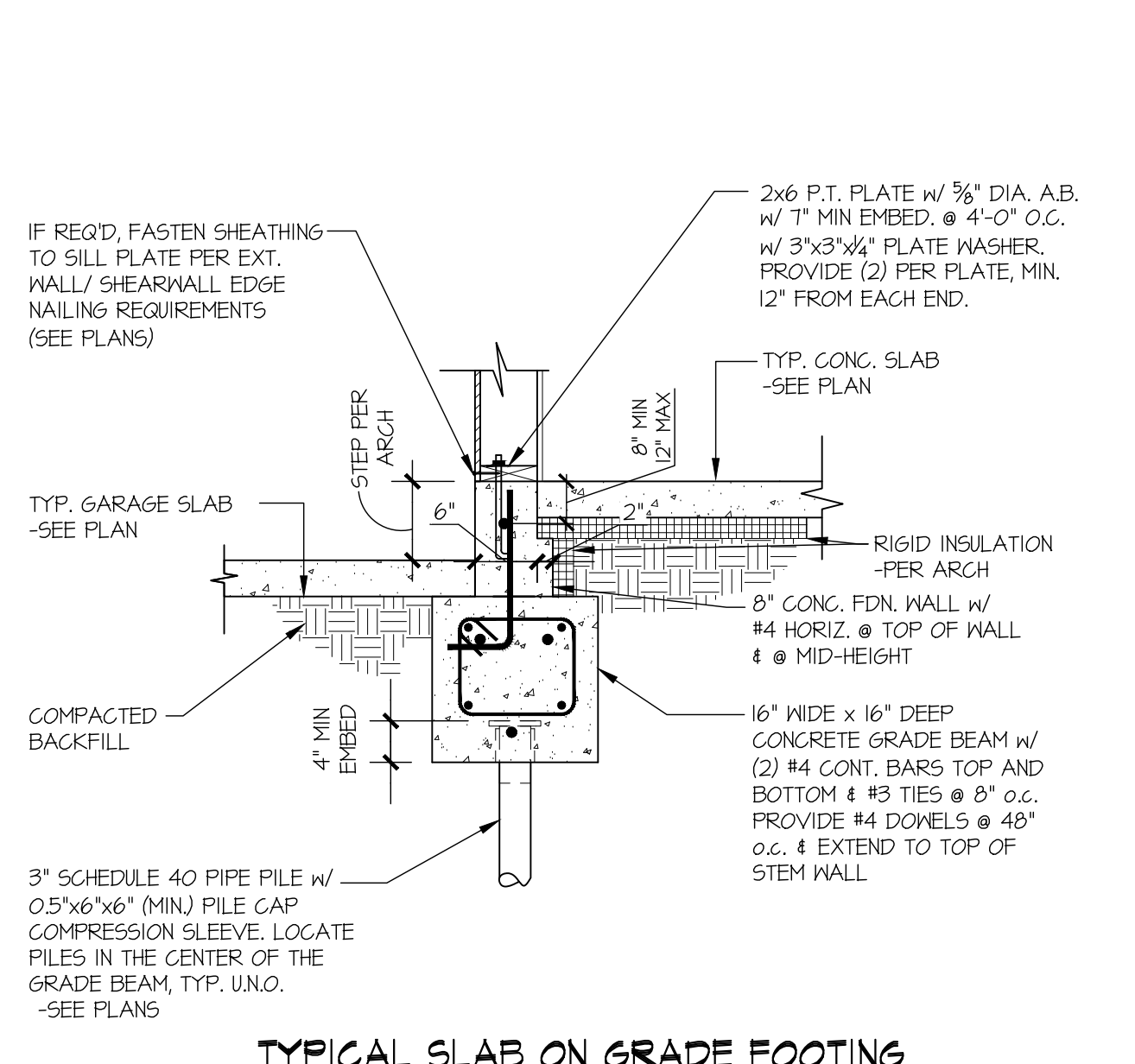
4x10 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) [B]

NOTE #1: PROVIDE 1/8" OSB/PLYWOOD SHEATHING AND FASTEN PER TYP. EXT. SHTG SPECS (SEE NOTES ON S-0.0)

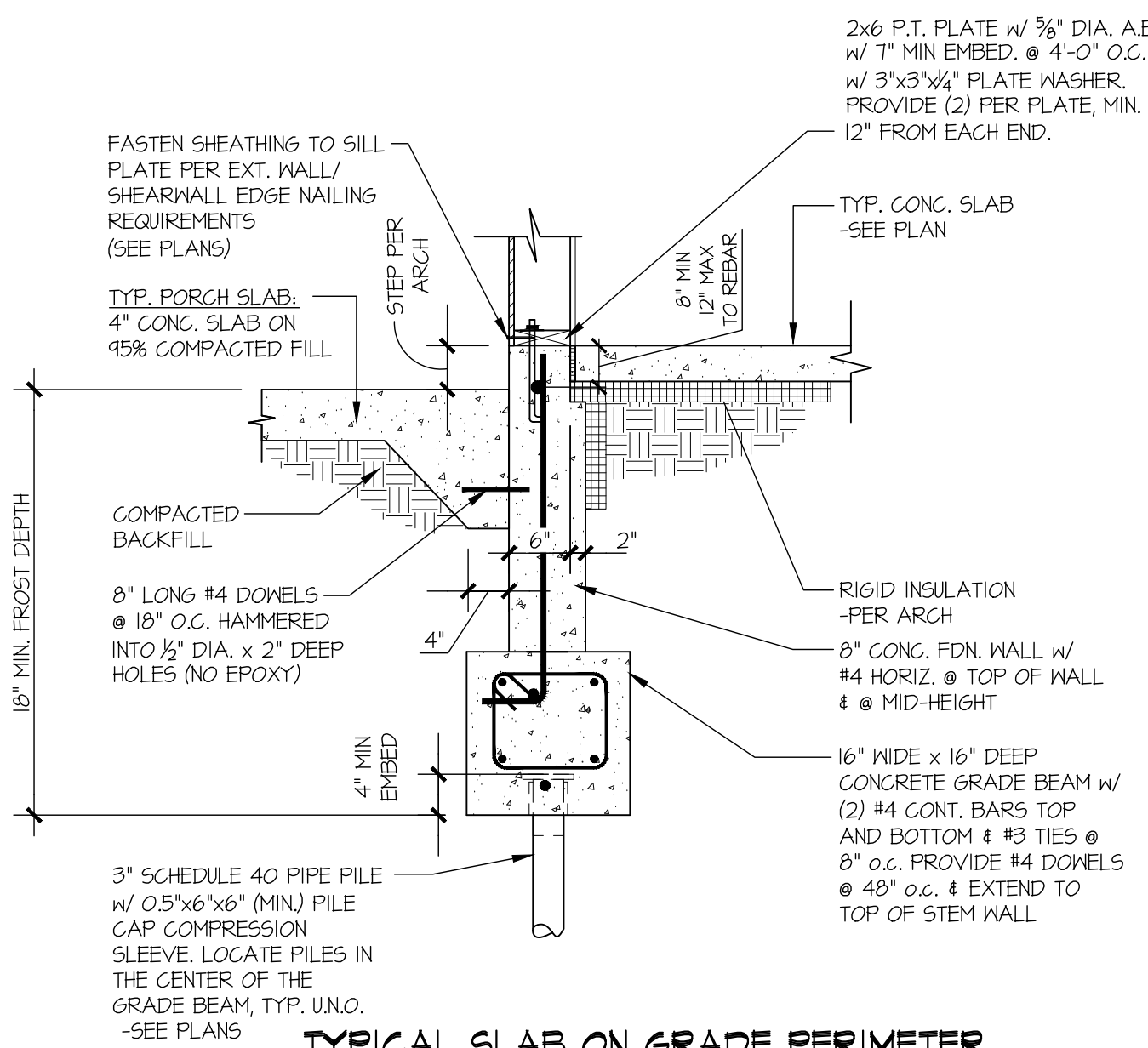
1 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



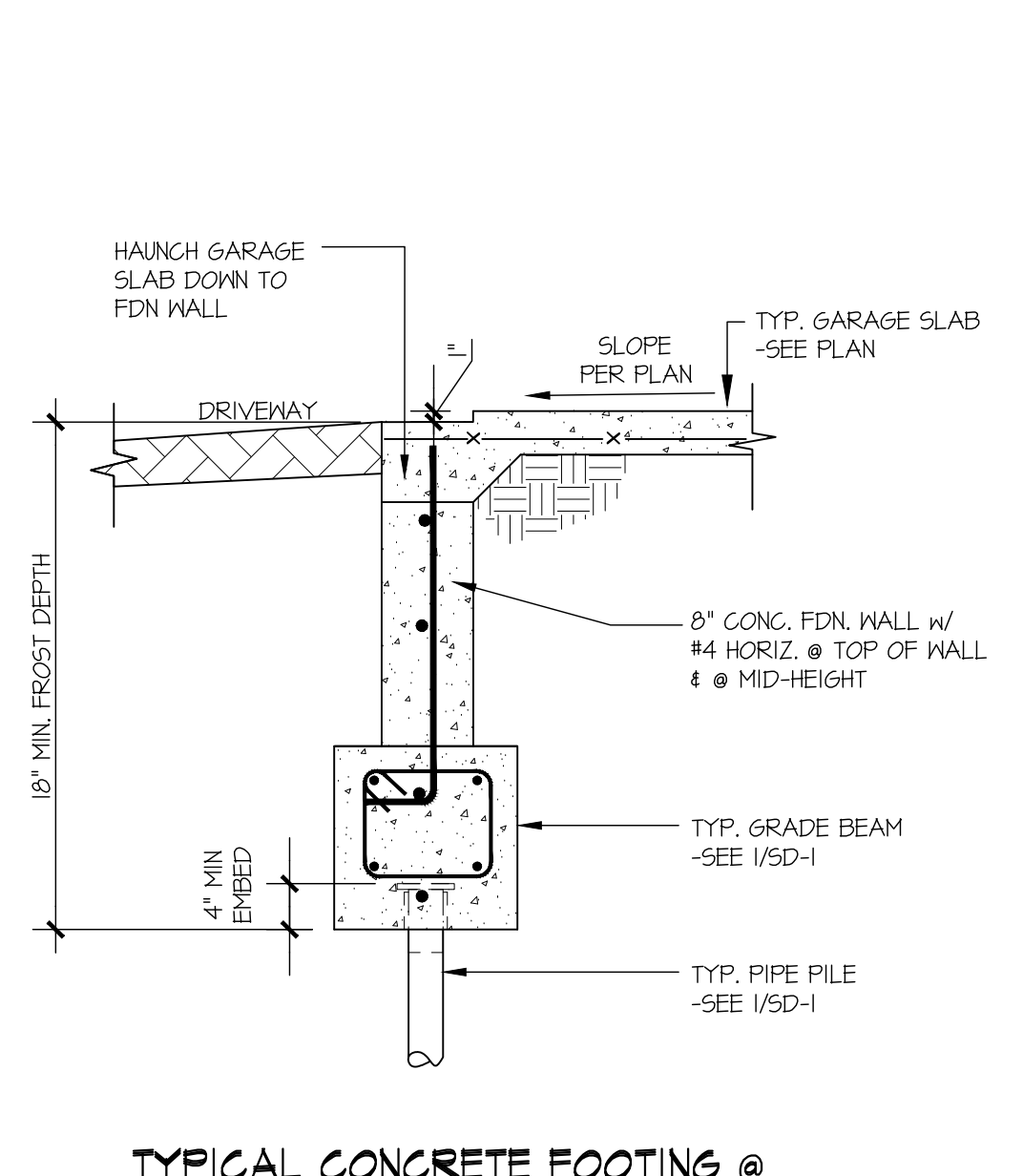
1 SECTION
SCALE: 3/4"=1'-0"



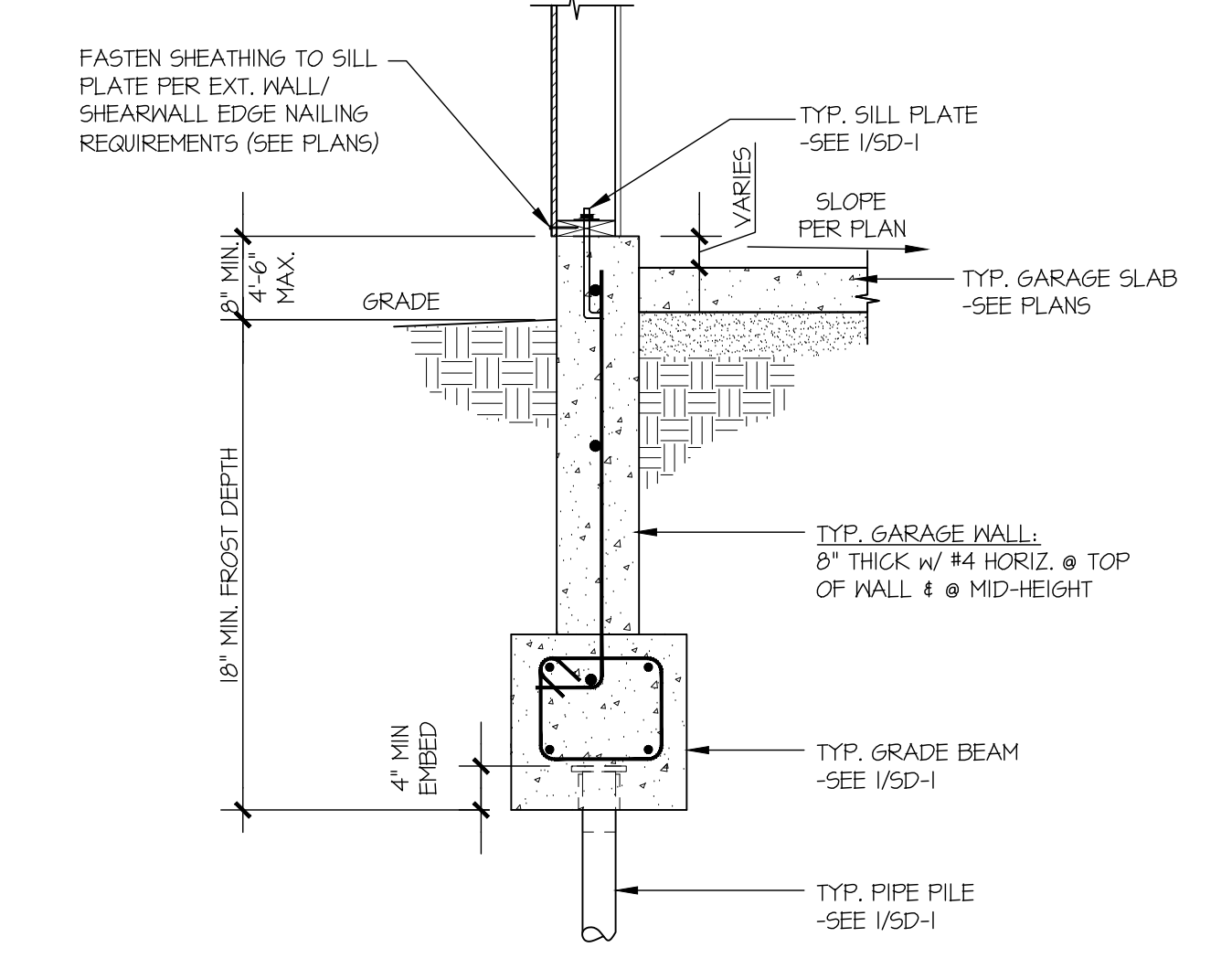
3 TYPICAL SLAB ON GRADE FOOTING @ GARAGE
SCALE: 3/4"=1'-0"



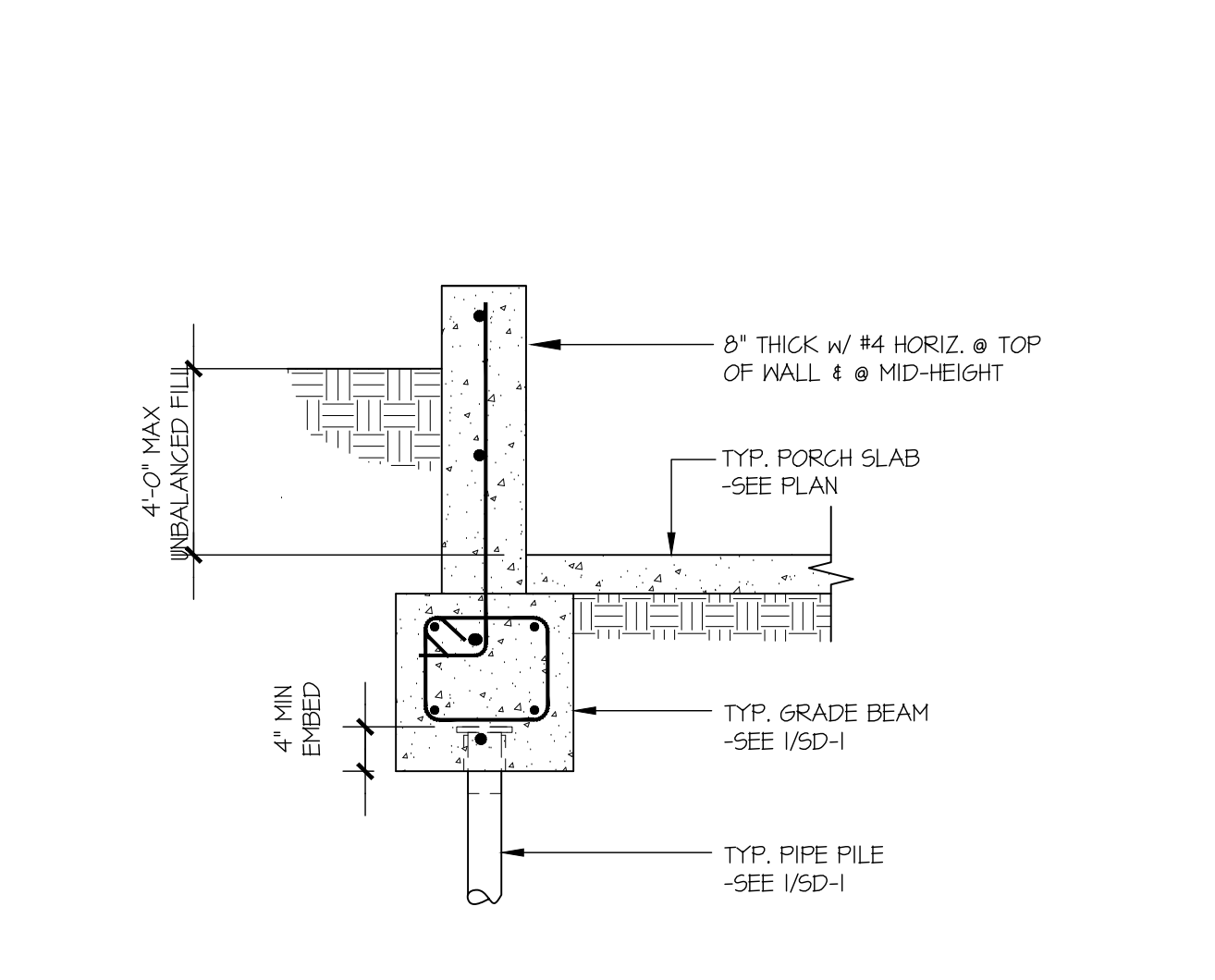
4 TYPICAL SLAB ON GRADE PERIMETER FOOTING
SCALE: 3/4"=1'-0"



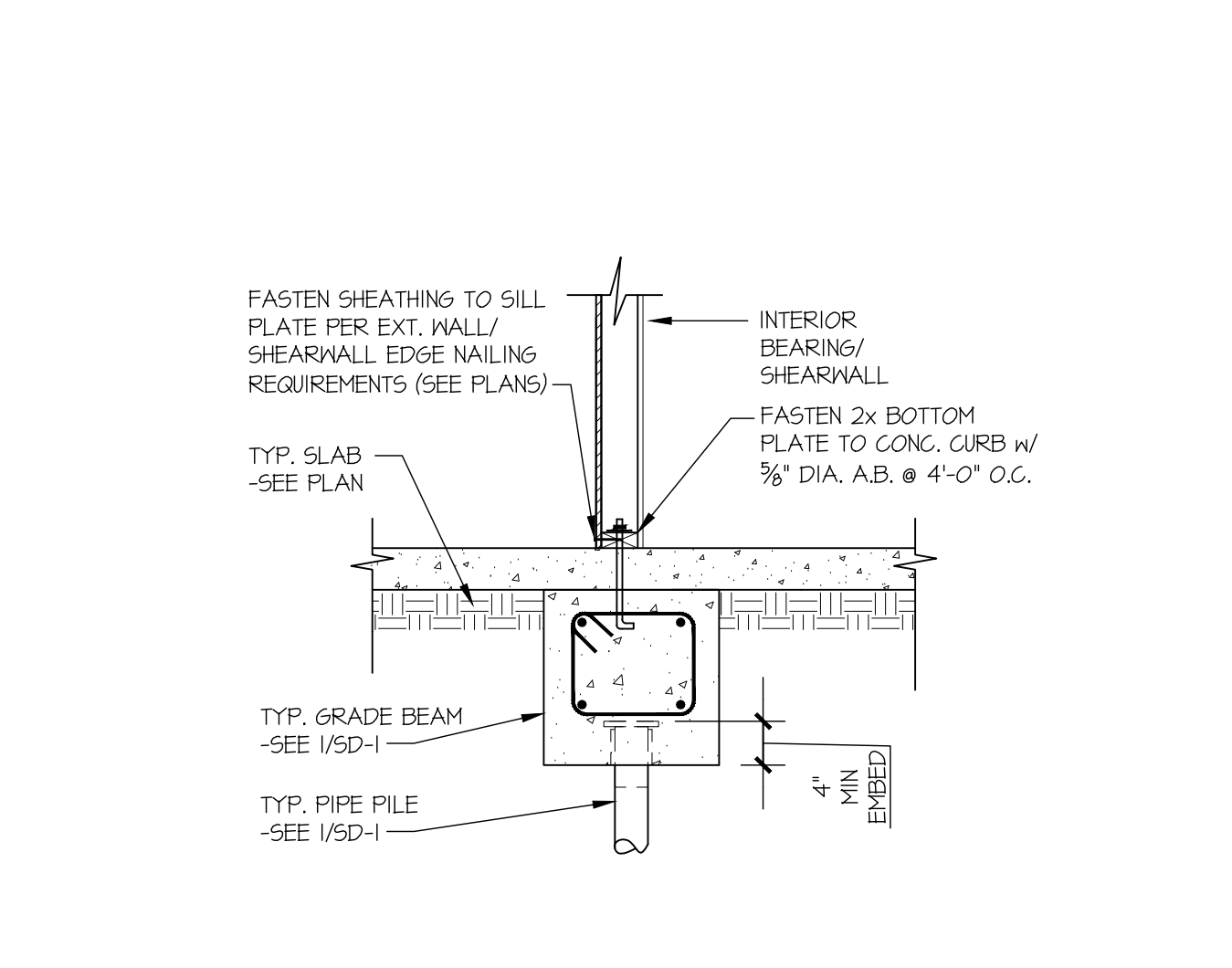
5 TYPICAL CONCRETE FOOTING @ GARAGE DOOR OPENING
SCALE: 3/4"=1'-0"



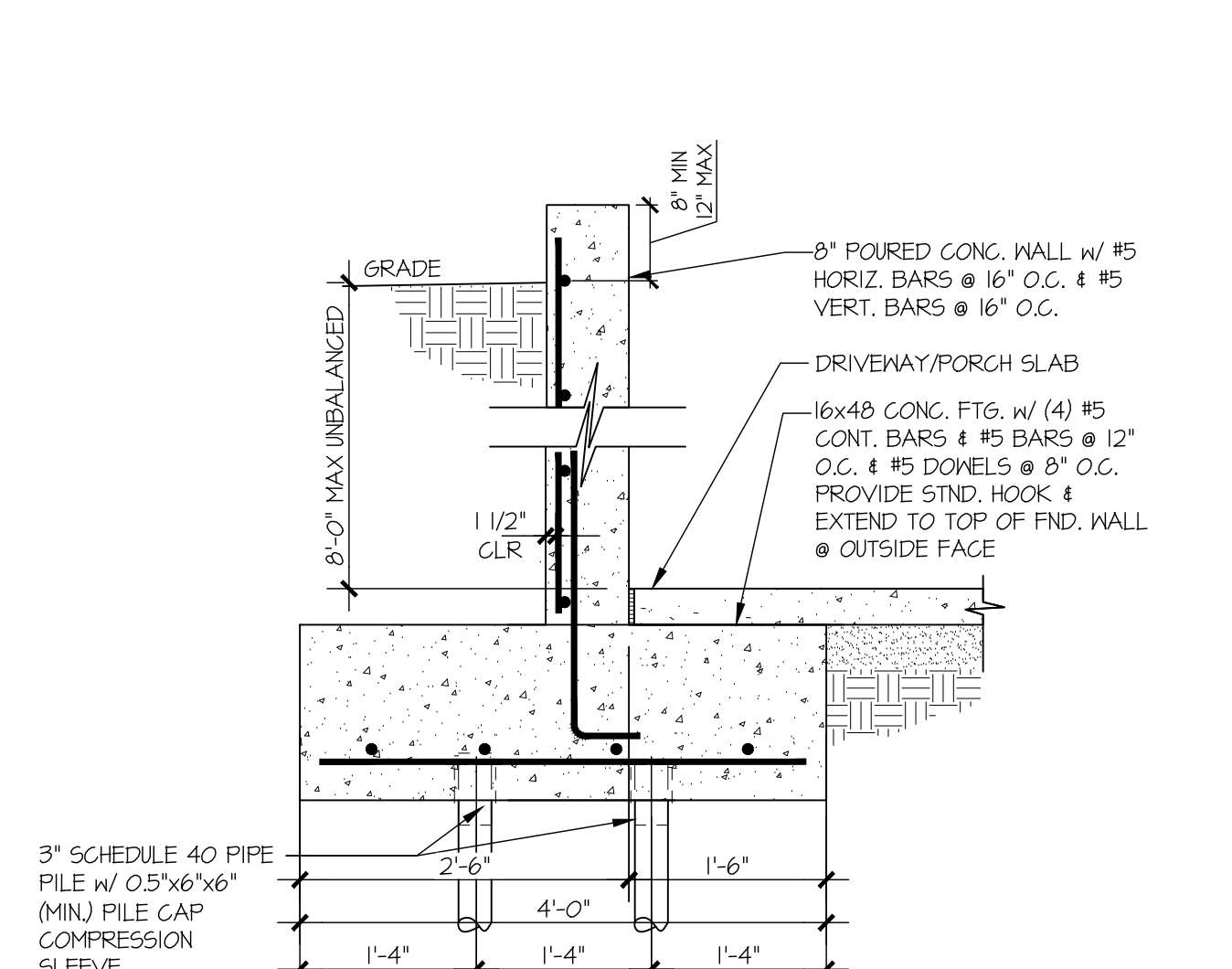
6 TYPICAL EXT. GARAGE FOUNDATION
SCALE: 3/4"=1'-0"



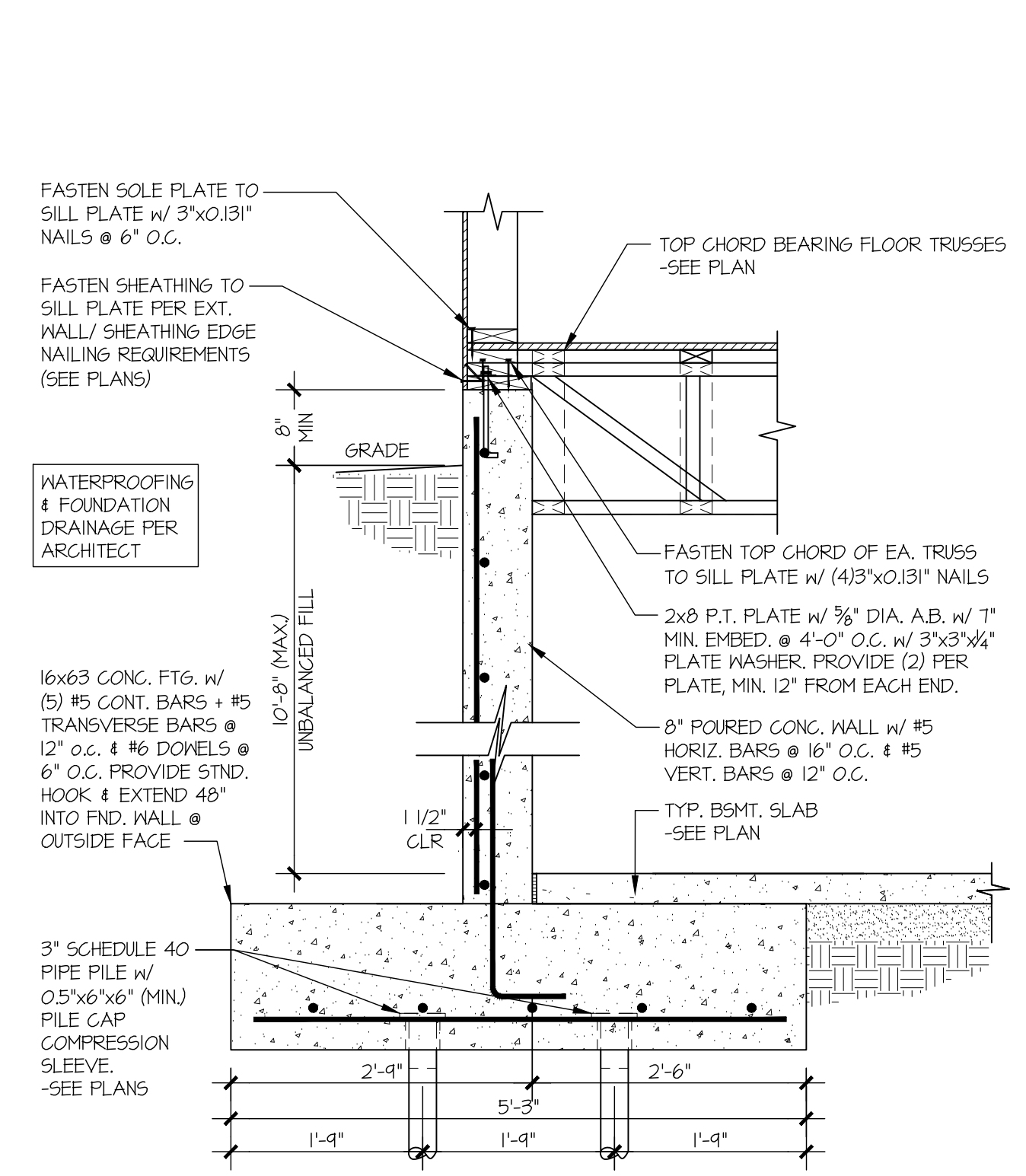
7 SECTION @ GARAGE
SCALE: 3/4"=1'-0"



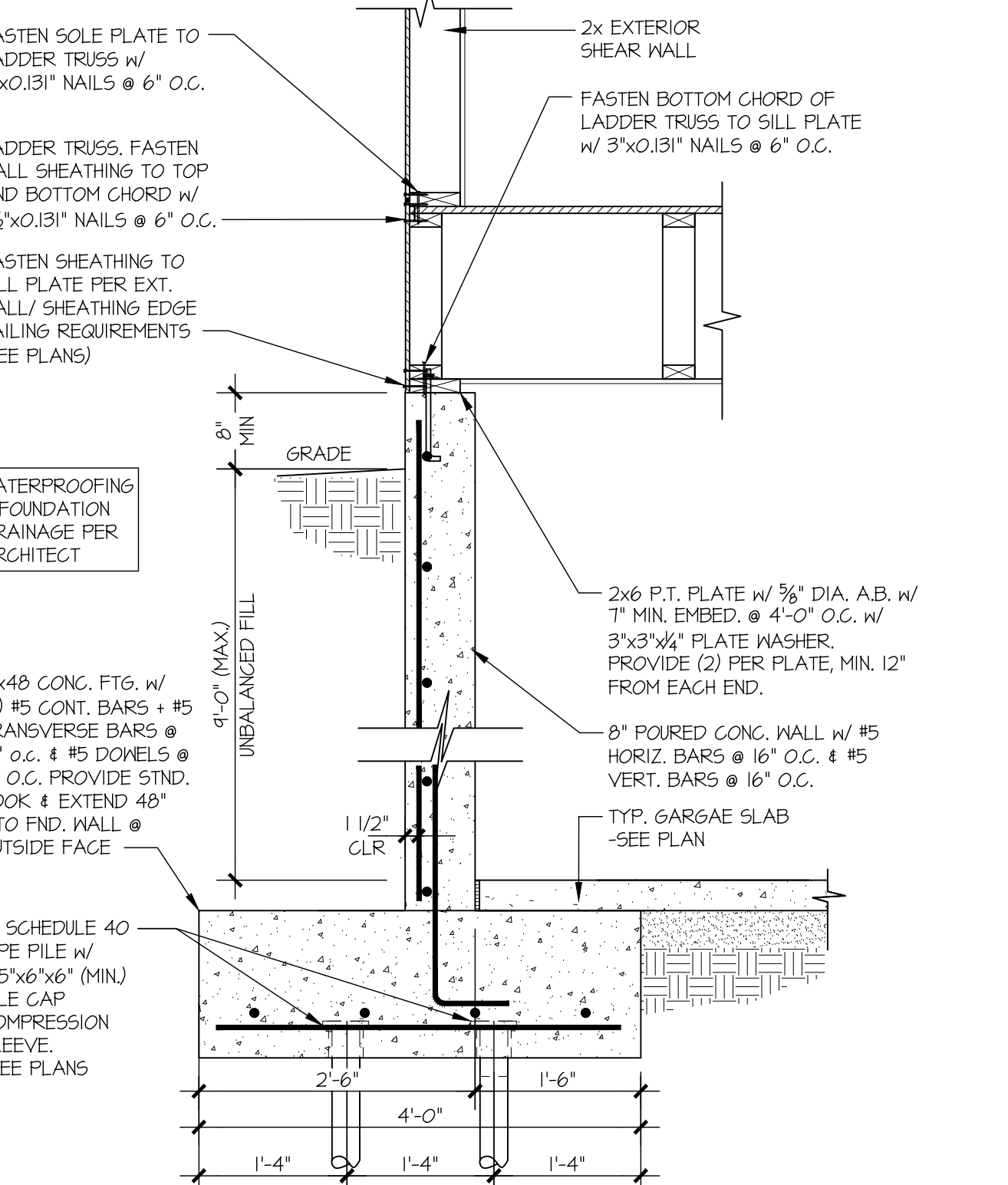
8 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL
SCALE: 3/4"=1'-0"



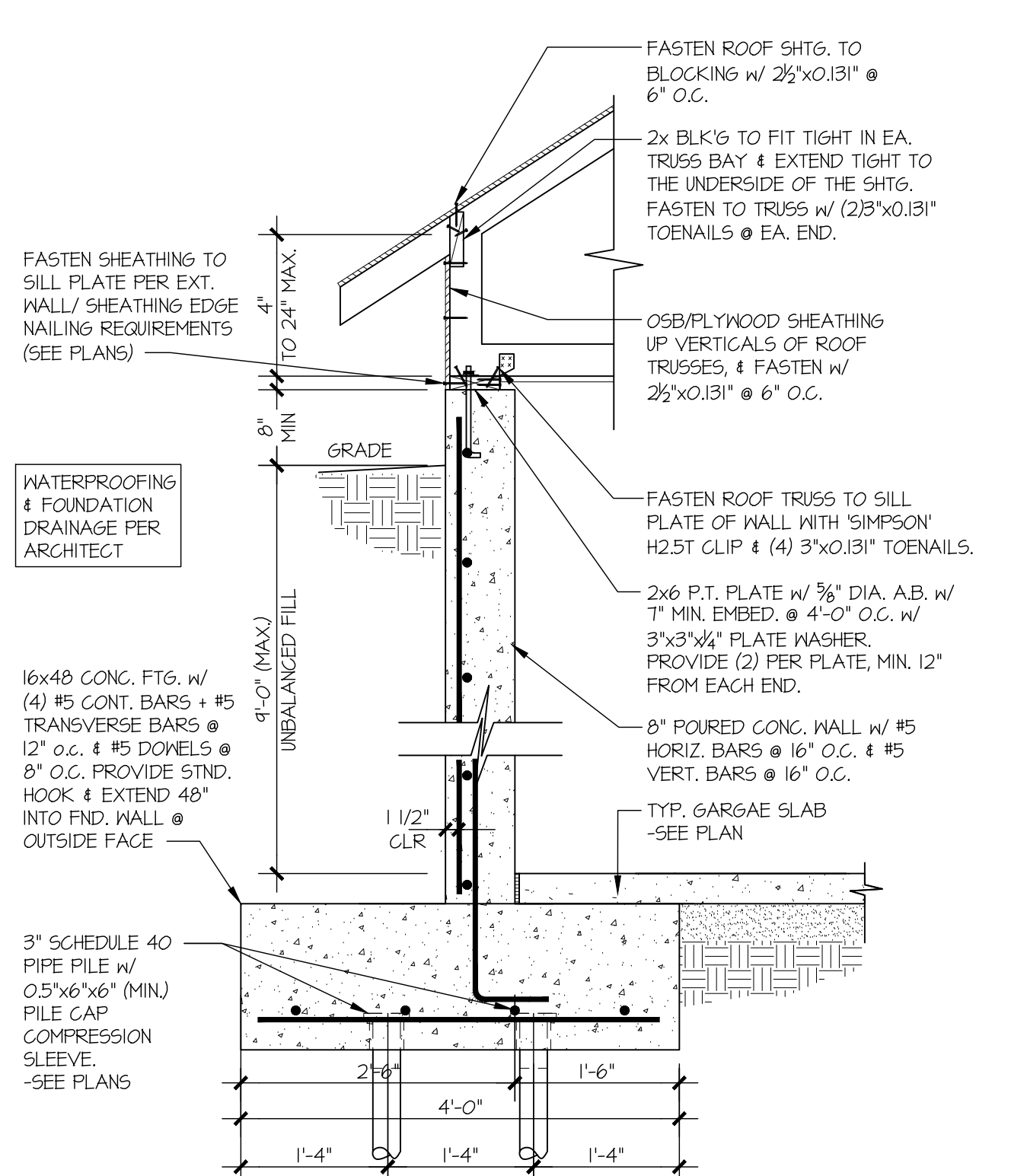
9 SITE RETAINING WALL
SCALE: 3/4"=1'-0"



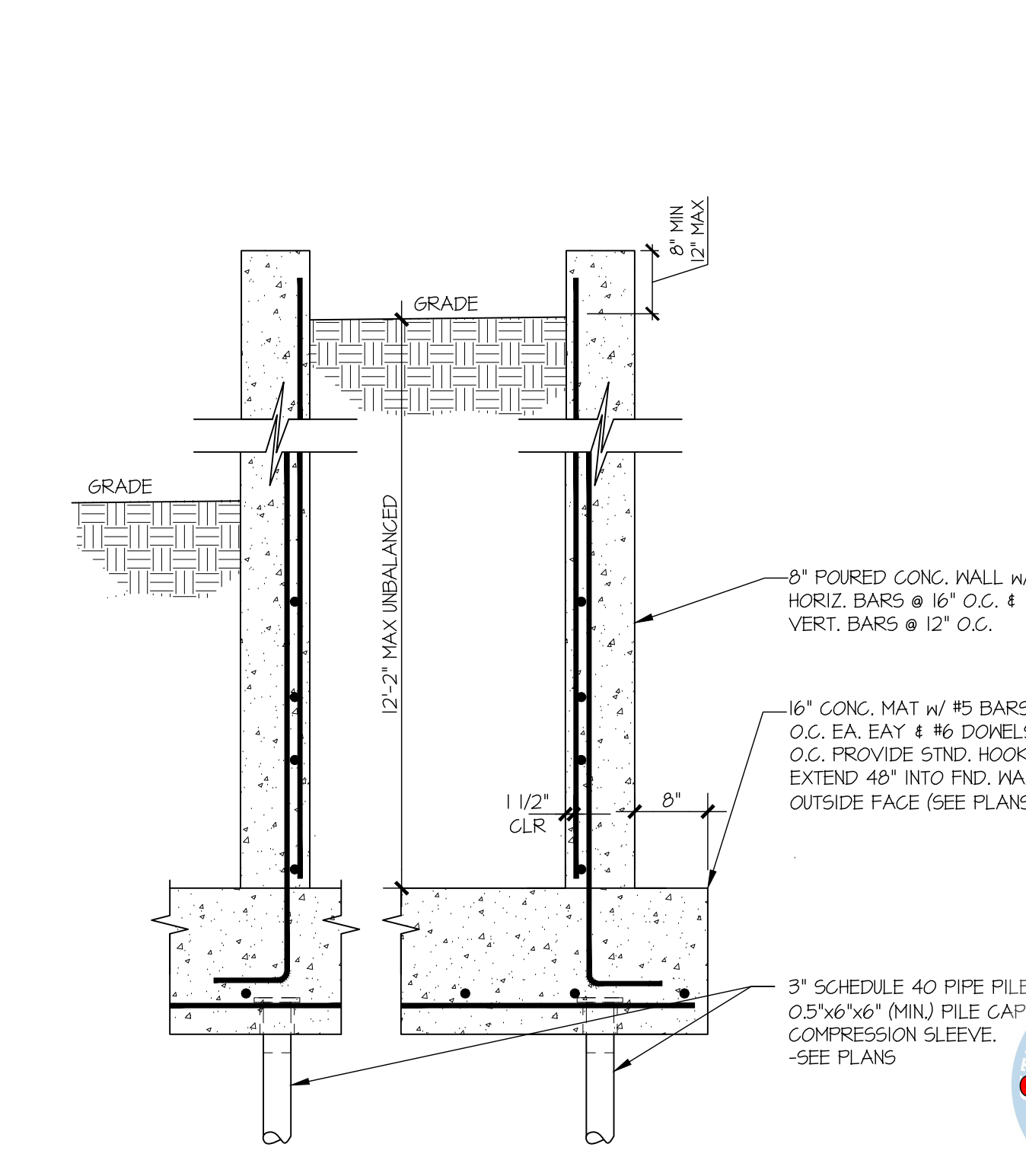
10 BASEMENT FOUNDATION WALL
SCALE: 3/4"=1'-0"



11 GARAGE FOUNDATION WALL
SCALE: 3/4"=1'-0"



12 GARAGE FOUNDATION WALL
SCALE: 3/4"=1'-0"



13 ENTRY RETAINING WALL
SCALE: 3/4"=1'-0"



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project mgr: NJM
drawn by: LGH
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REVISIONS:	DATE:	INITIAL:
04/28/2023	04/28/2023	LGH
06/21/2023	06/21/2023	LGH
10/05/2023	10/05/2023	LGH
11/27/2023	11/27/2023	LGH

ARCHITECTURAL INNOVATIONS

FOUNDATION DETAILS

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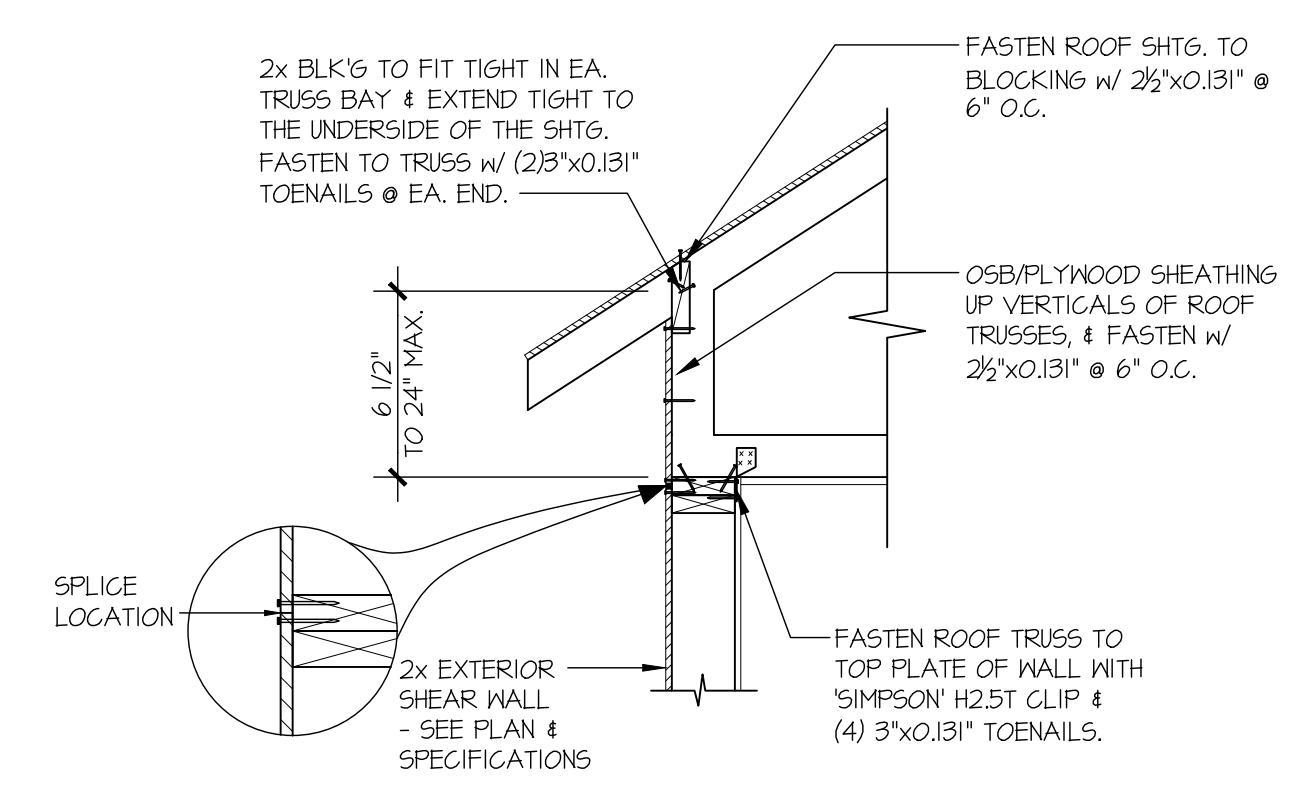
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203-22010
project mgr: NJM
drawn by: LGH
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date:	initial:
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PIPE FILE REVISION	
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ADDL PLAN REVIEW COMMENTS	

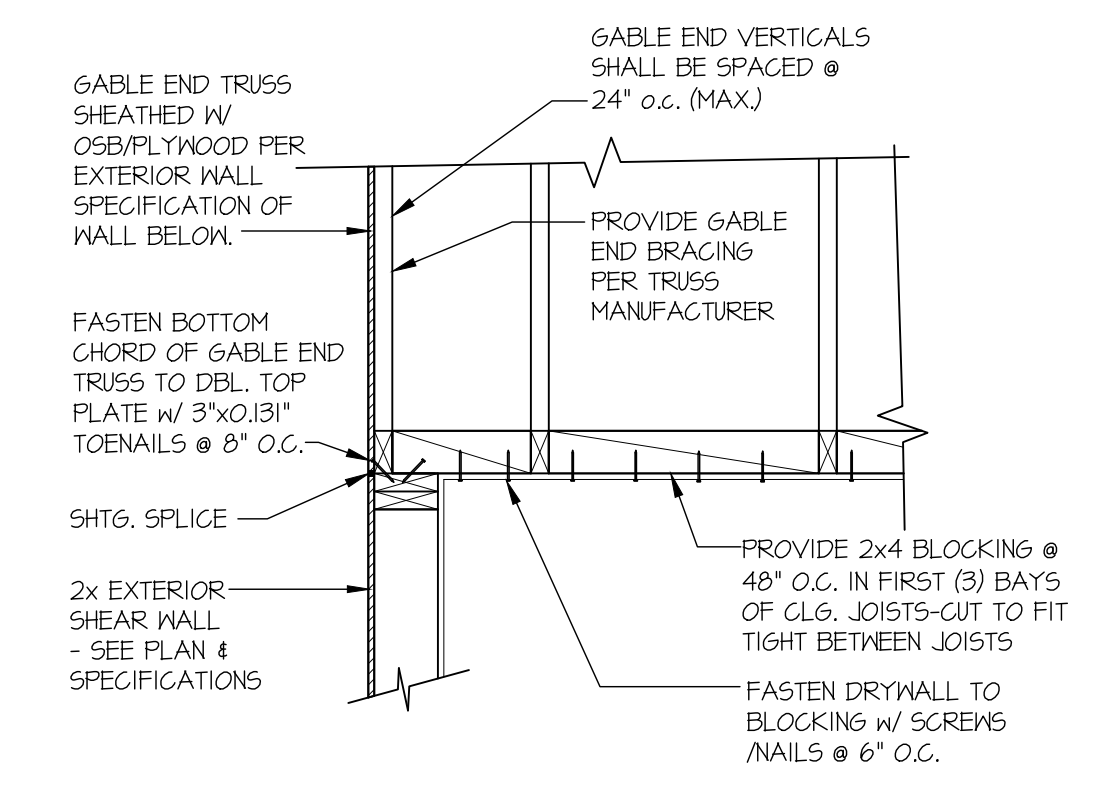
ARCHITECTURAL
INNOVATIONS

STRUCTURAL DETAILS
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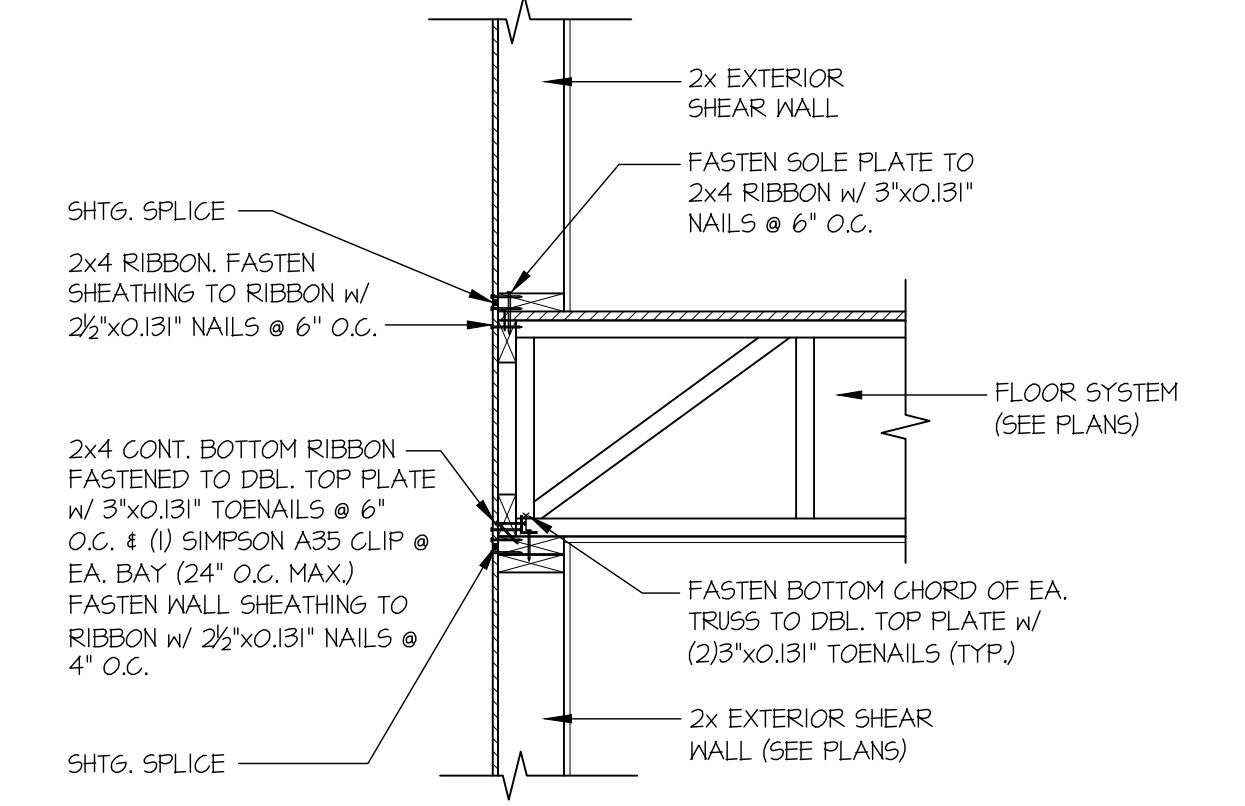
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SD-2



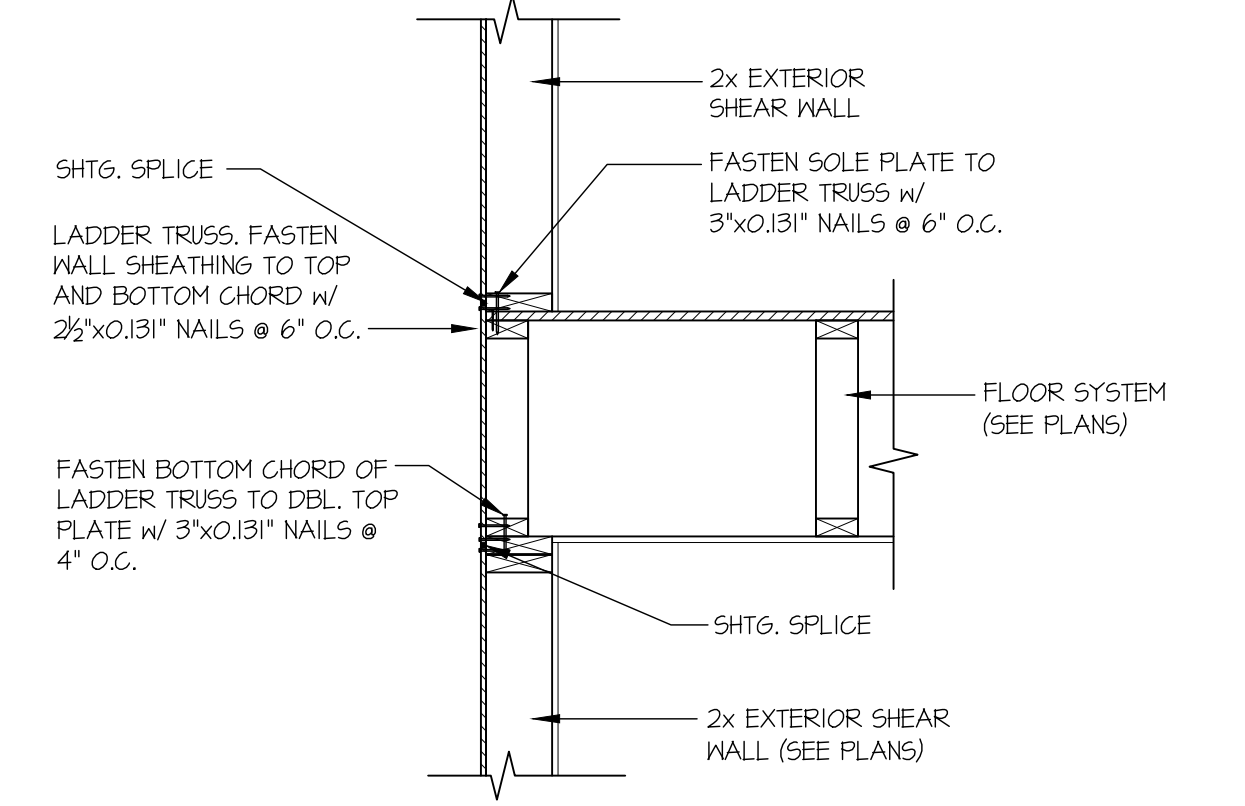
1 TYPICAL SHEAR TRANSFER
DETAIL @ RAISED HEEL TRUSS
SCALE: 3/4"=1'-0" HEEL HEIGHT UP TO 24" MAX.



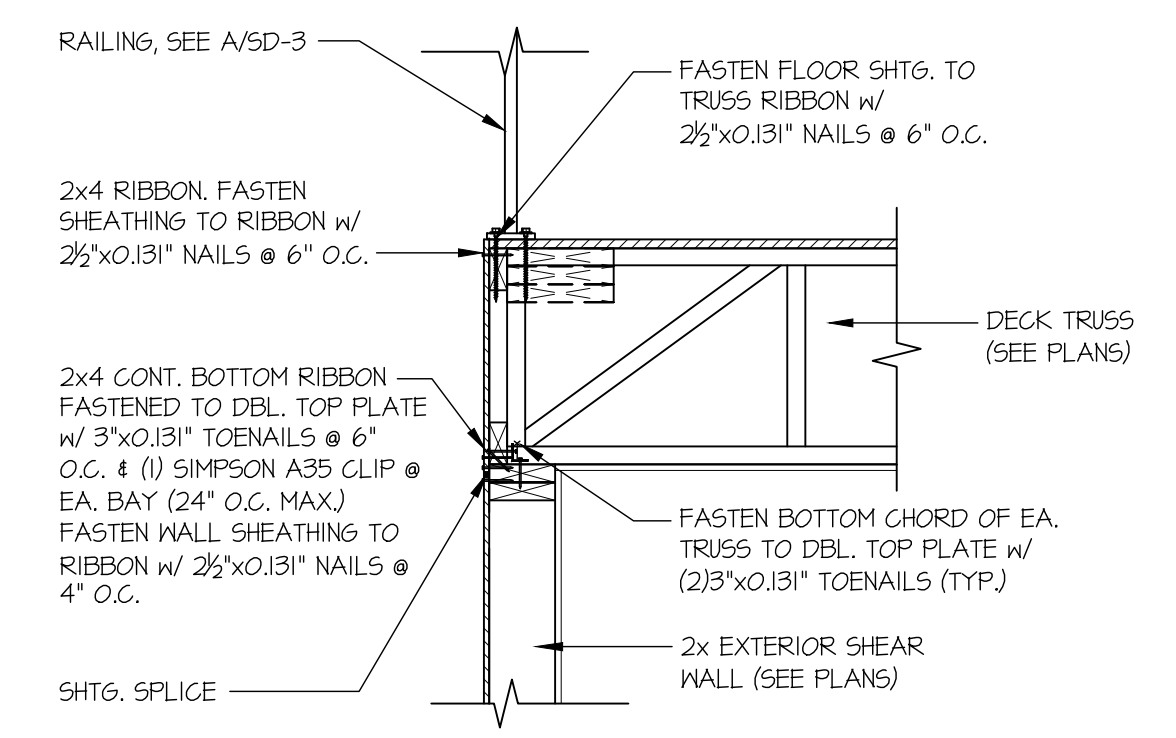
2 TYPICAL GABLE END DETAIL
SCALE: 3/4"=1'-0"



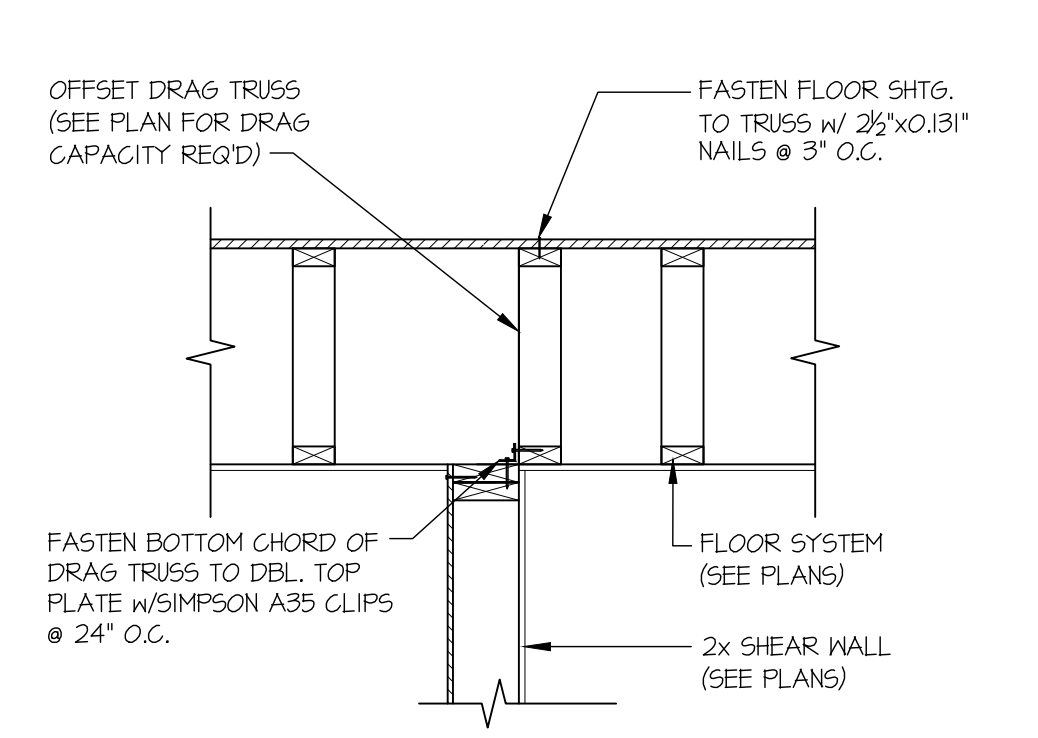
3 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



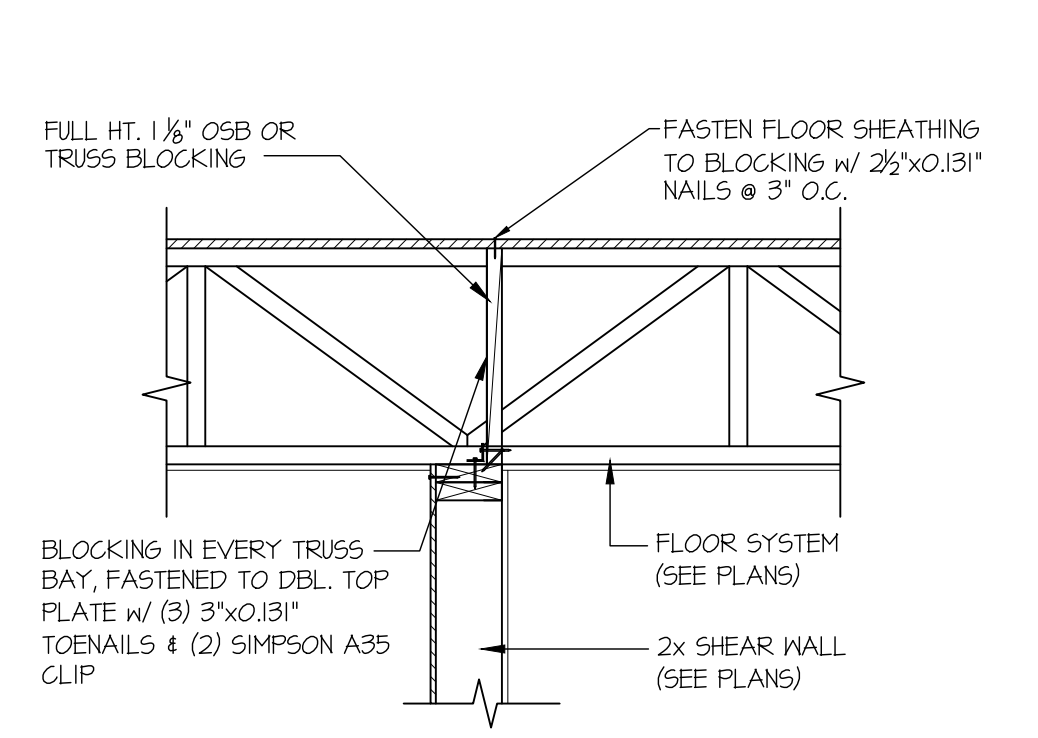
4 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/4"=1'-0" PARALLEL FRAMING



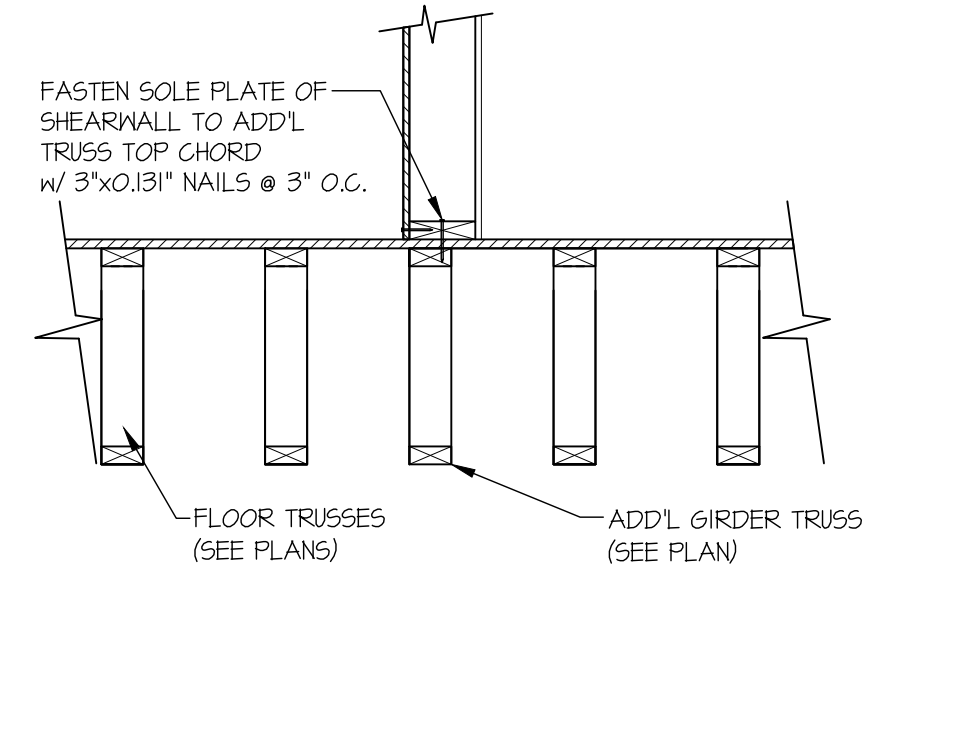
5 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN DECK @ EXTERIOR WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



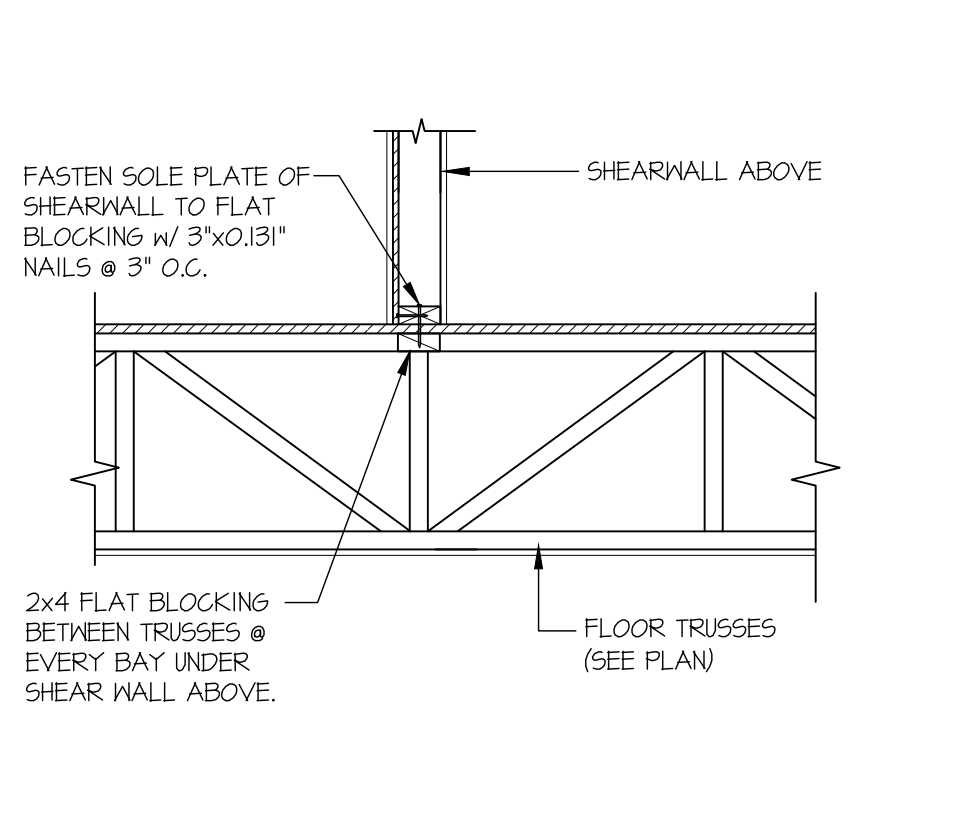
12 SHEAR TRANSFER DETAIL
@ SHEAR WALL BELOW
SCALE: 3/4"=1'-0"



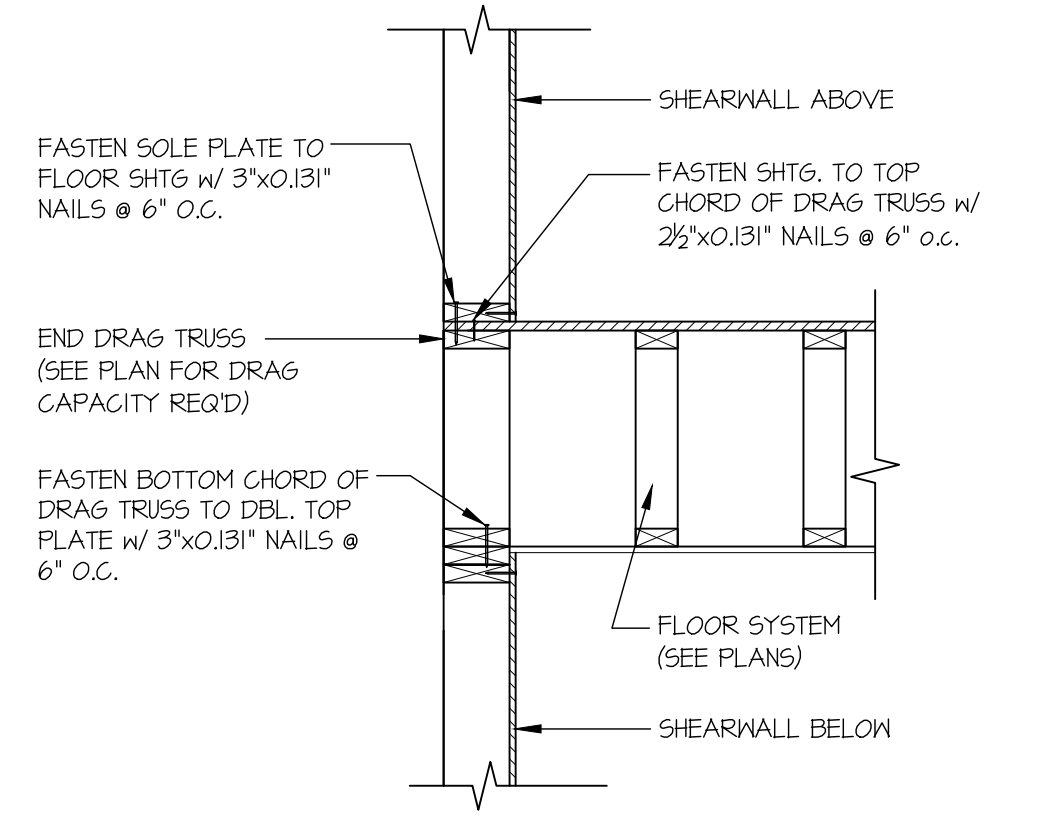
14 SHEAR TRANSFER DETAIL
@ SHEAR WALL BELOW
SCALE: 3/4"=1'-0"



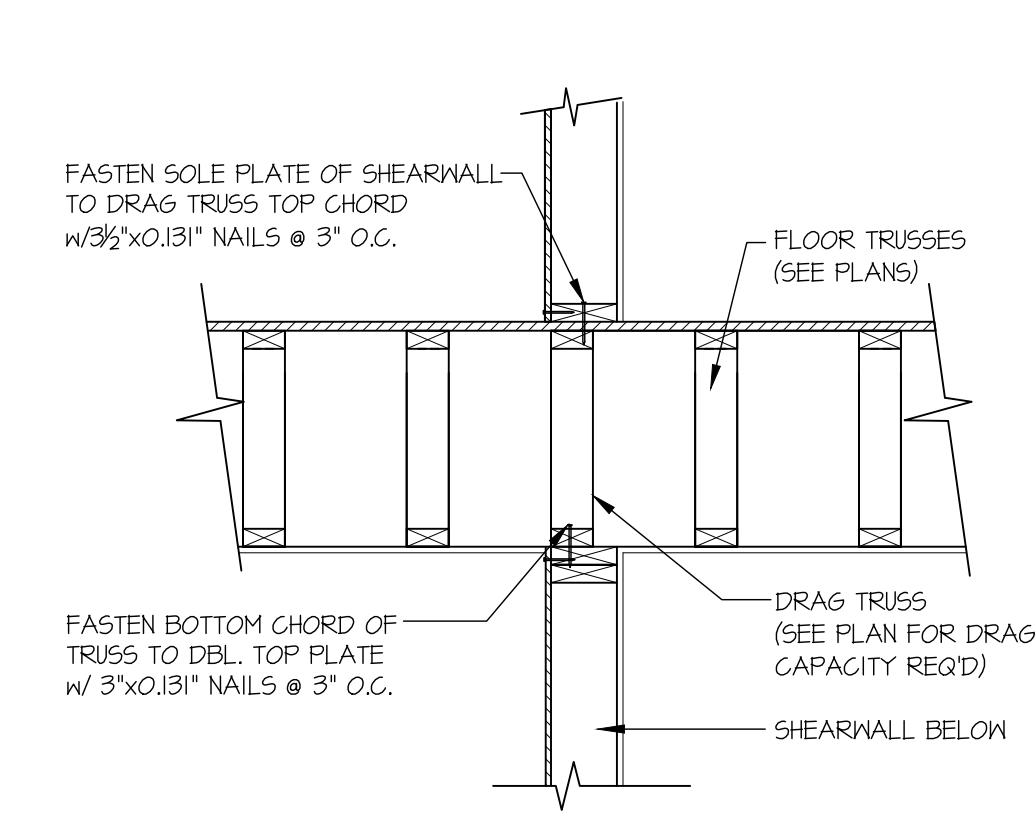
19 SHEAR TRANSFER DETAIL @
INTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0" PARALLEL FRAMING



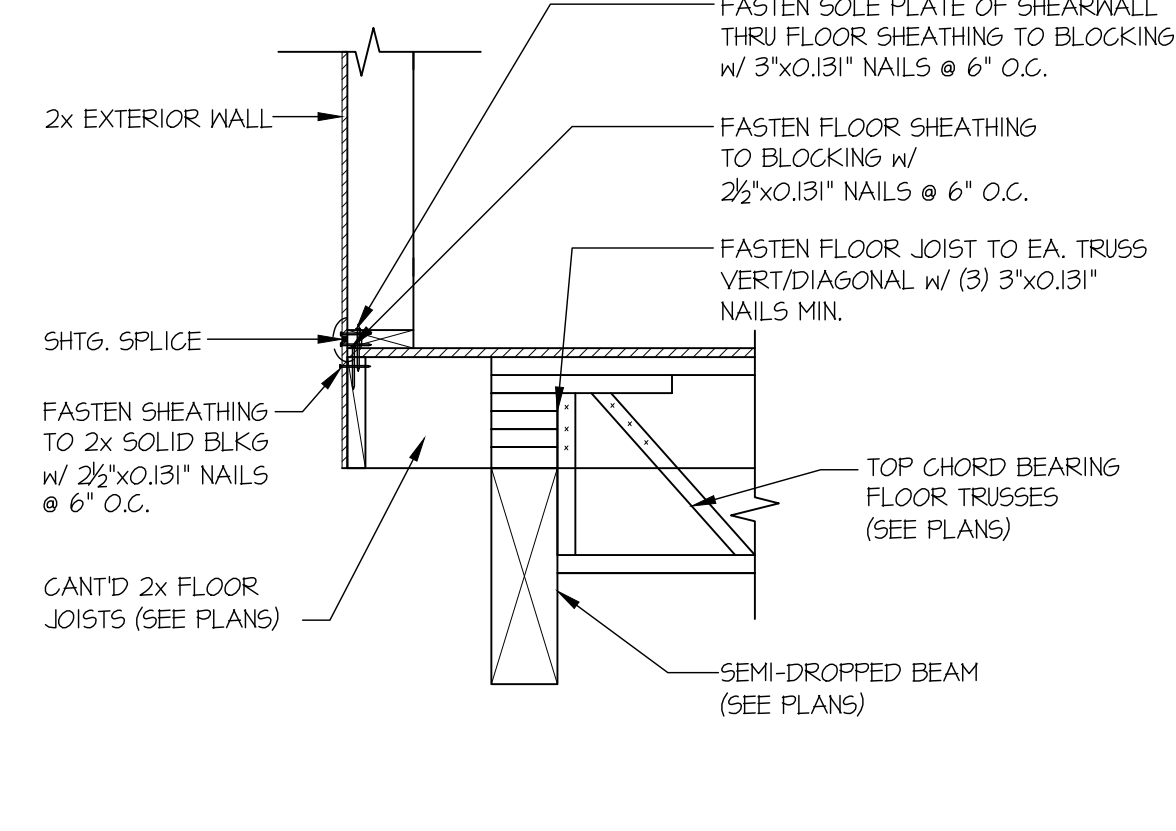
20 SHEAR TRANSFER DETAIL
@ INTERIOR SHEAR WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



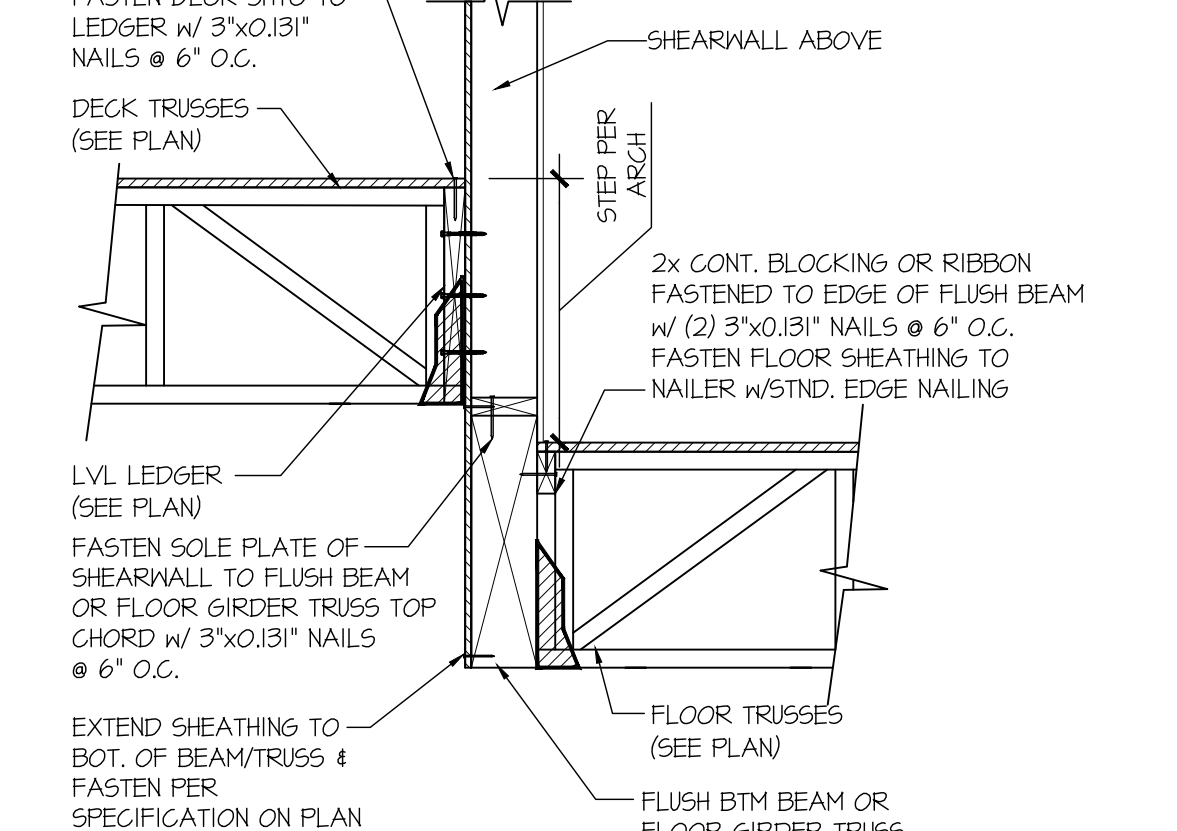
22 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



23 SHEAR TRANSFER DETAIL
@ INTERIOR SHEAR WALL
SCALE: 3/4"=1'-0"



31 SHEAR TRANSFER DETAIL BETWEEN
FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0"



40 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



REVIEWED
FOR CODE
COMPLIANCE
April 23, 2024
SITE COPY



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M&K project number:
203-22010

project mgr: **NJM**
drawn by: **LGH**
issue date: **05-04-22**

REVISIONS:	
date:	initial:
04/28/2023	LGH
06/21/2023	LGH
10/05/2023	LGH
11/27/2023	LGH
ADDL PLAN REVIEW COMMENTS	

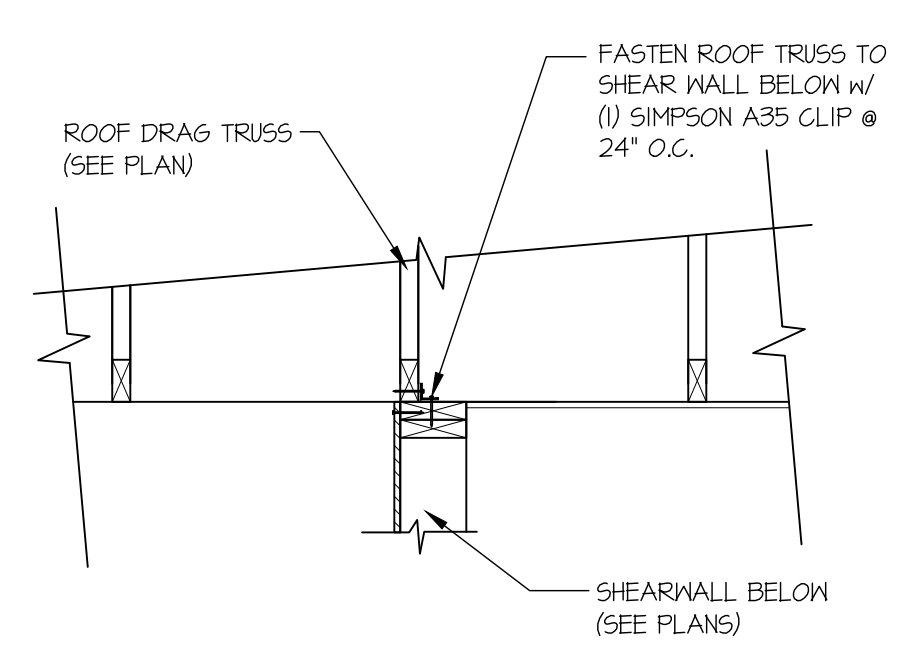
ARCHITECTURAL INNOVATIONS

STRUCTURAL DETAILS

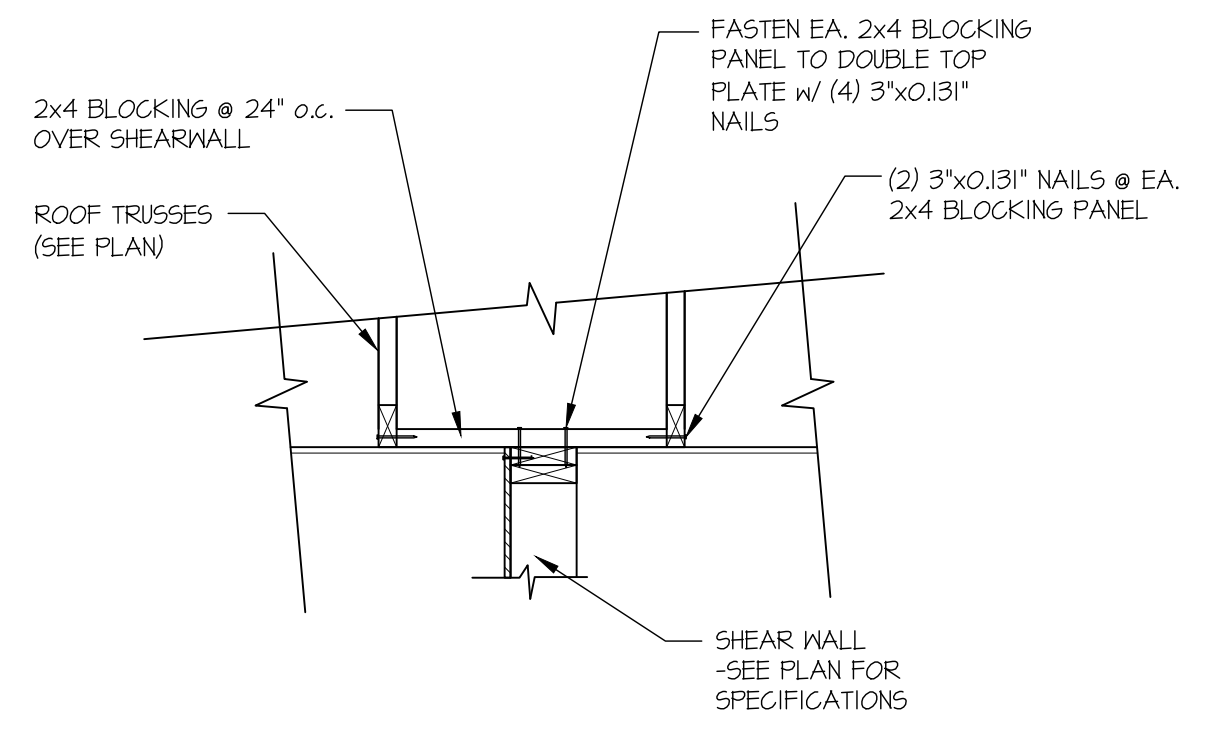
3036 67TH AVE. SE

MERCER ISLAND, WASHINGTON

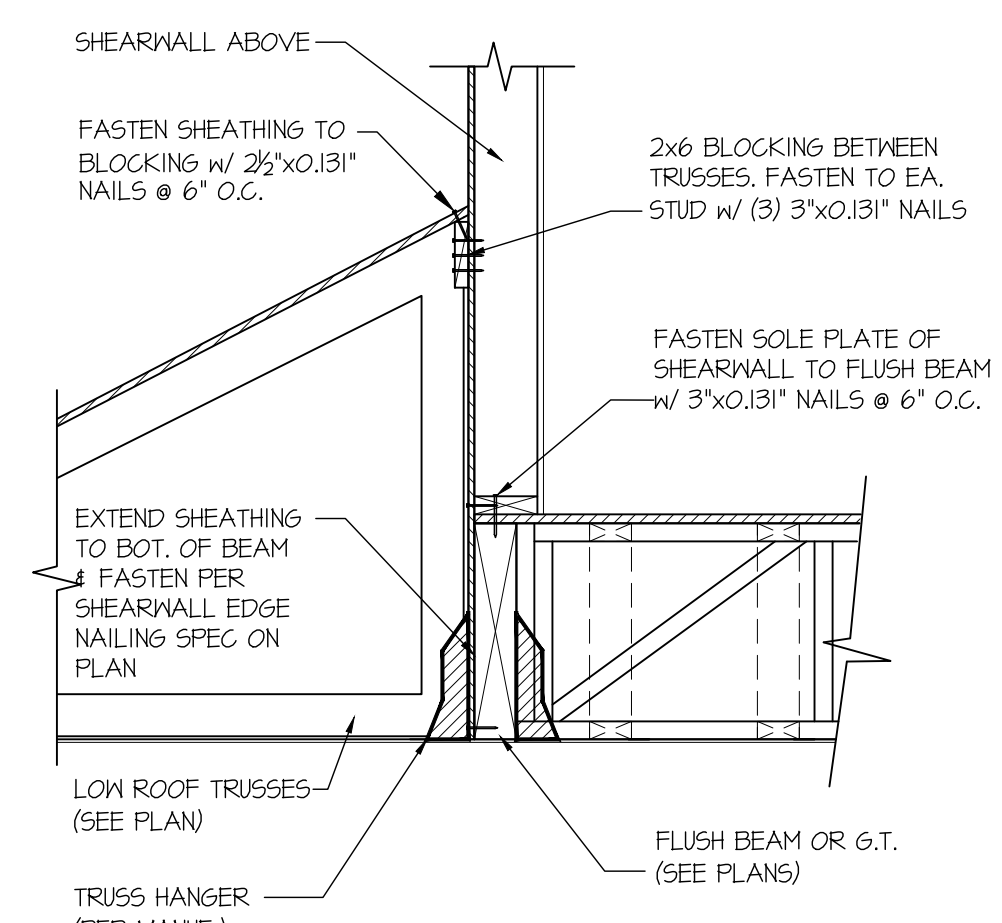
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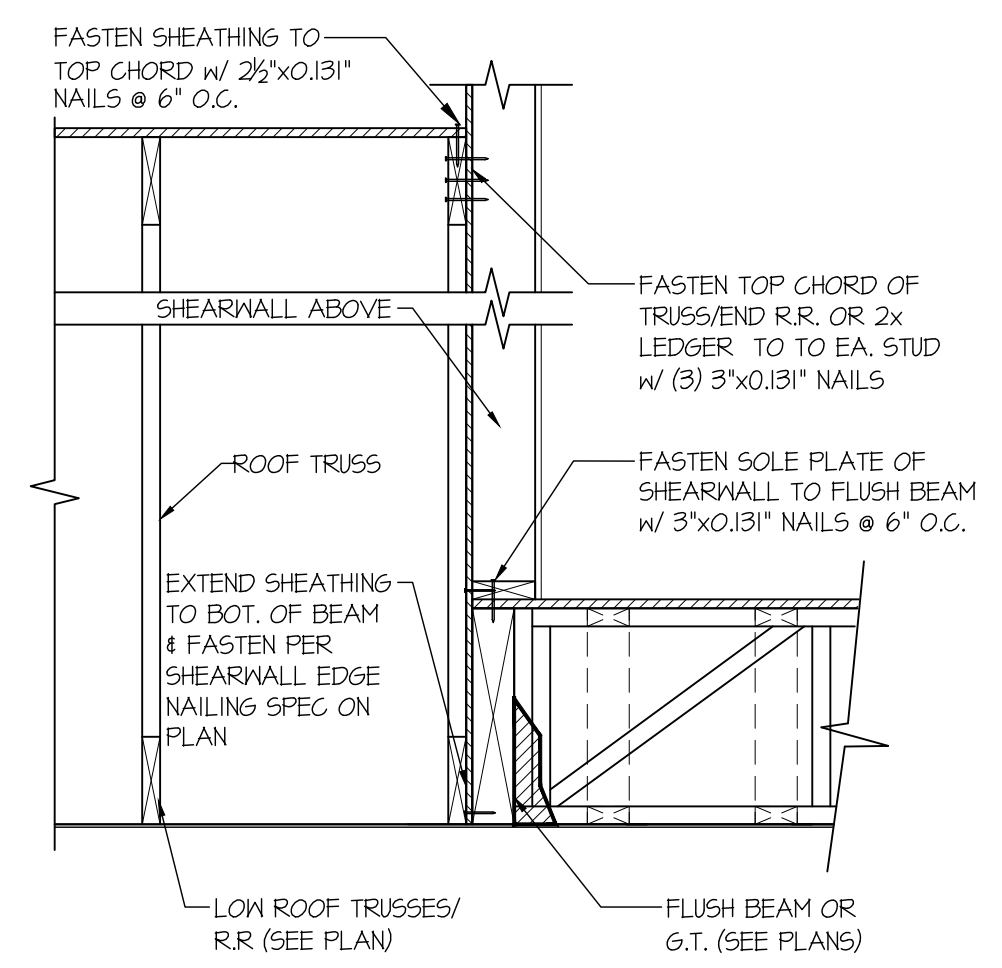
47 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0"



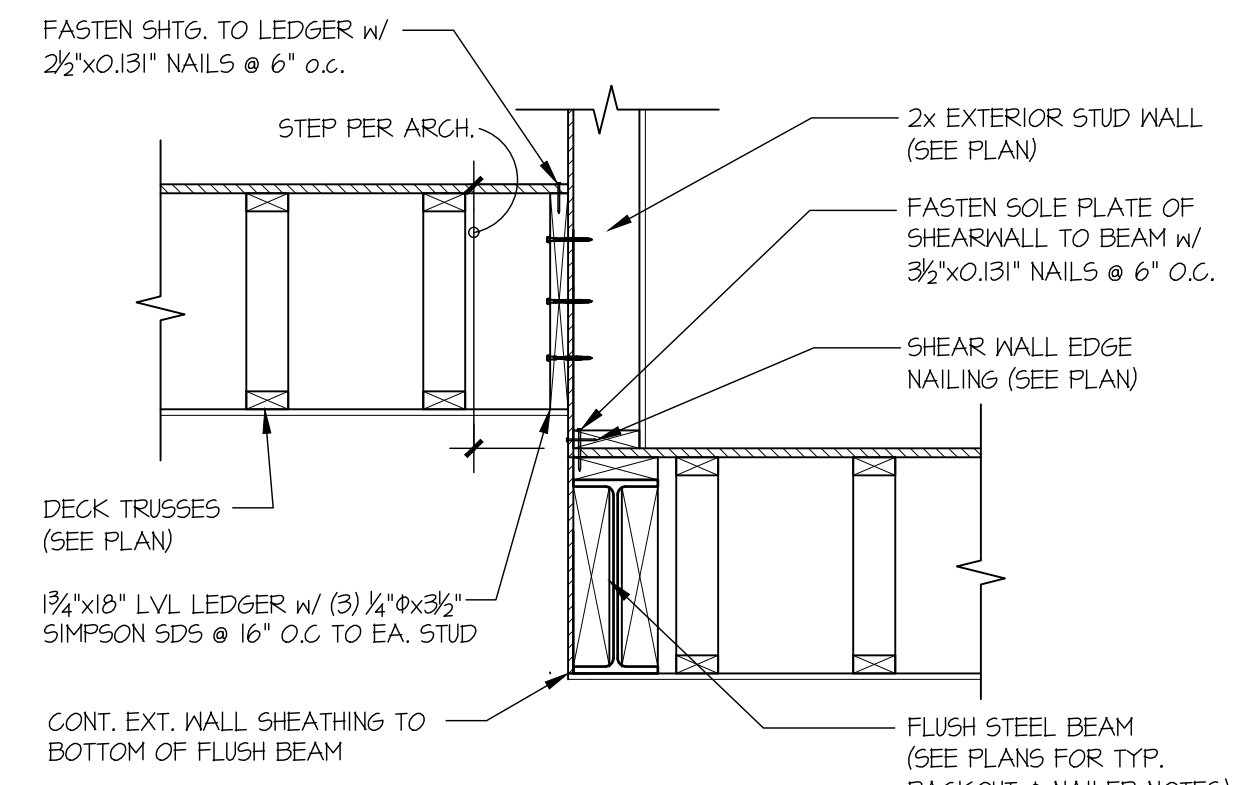
48 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0"



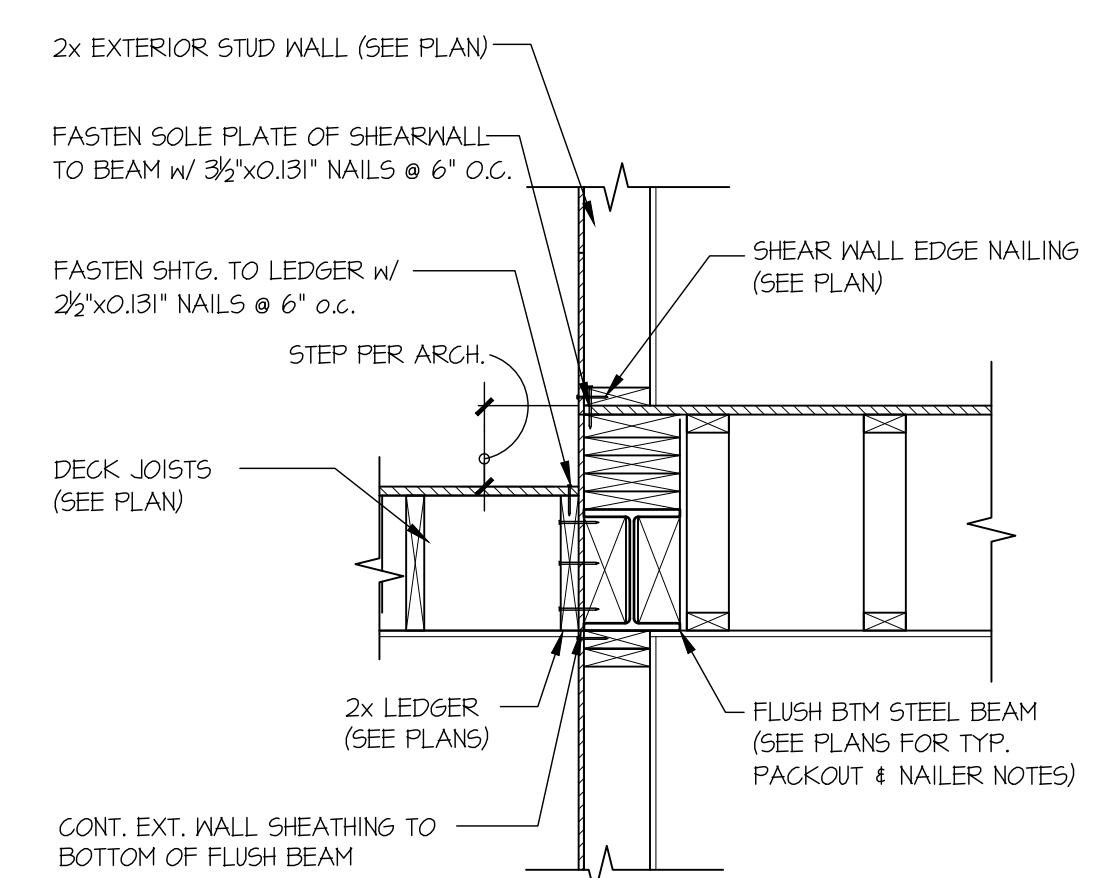
50 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



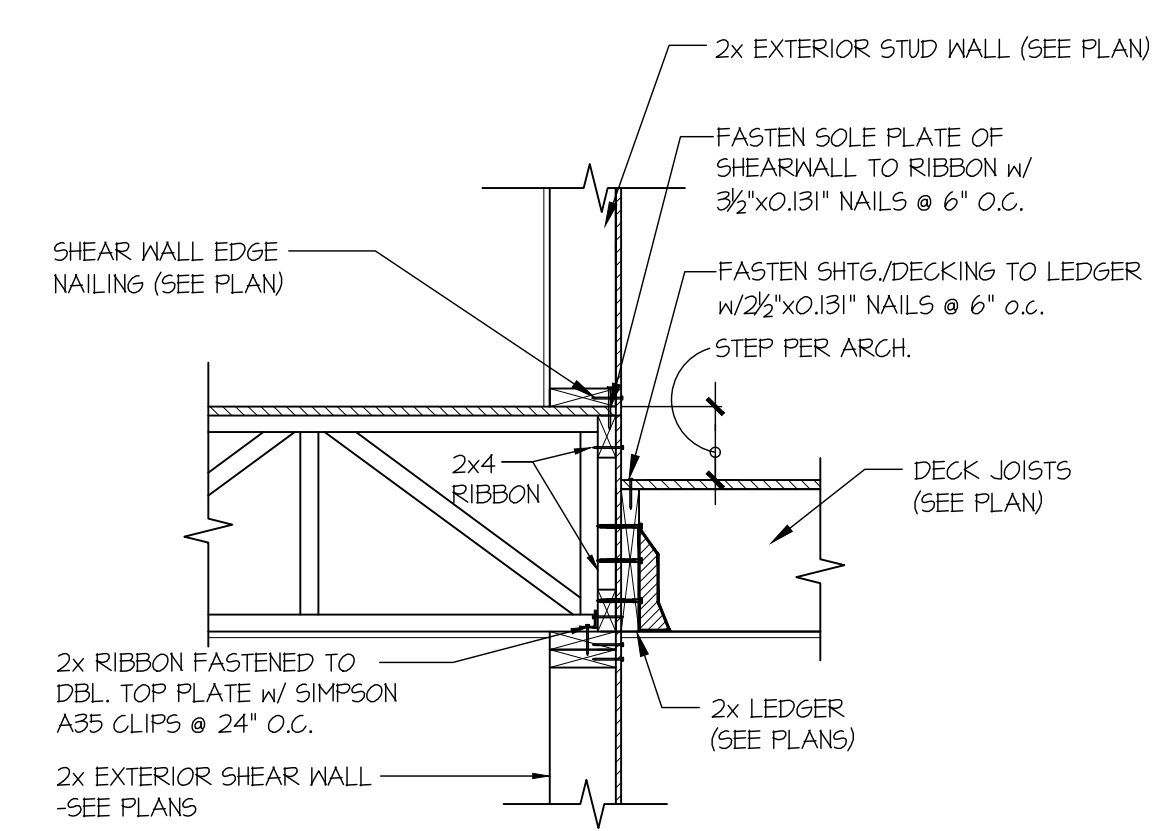
54 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



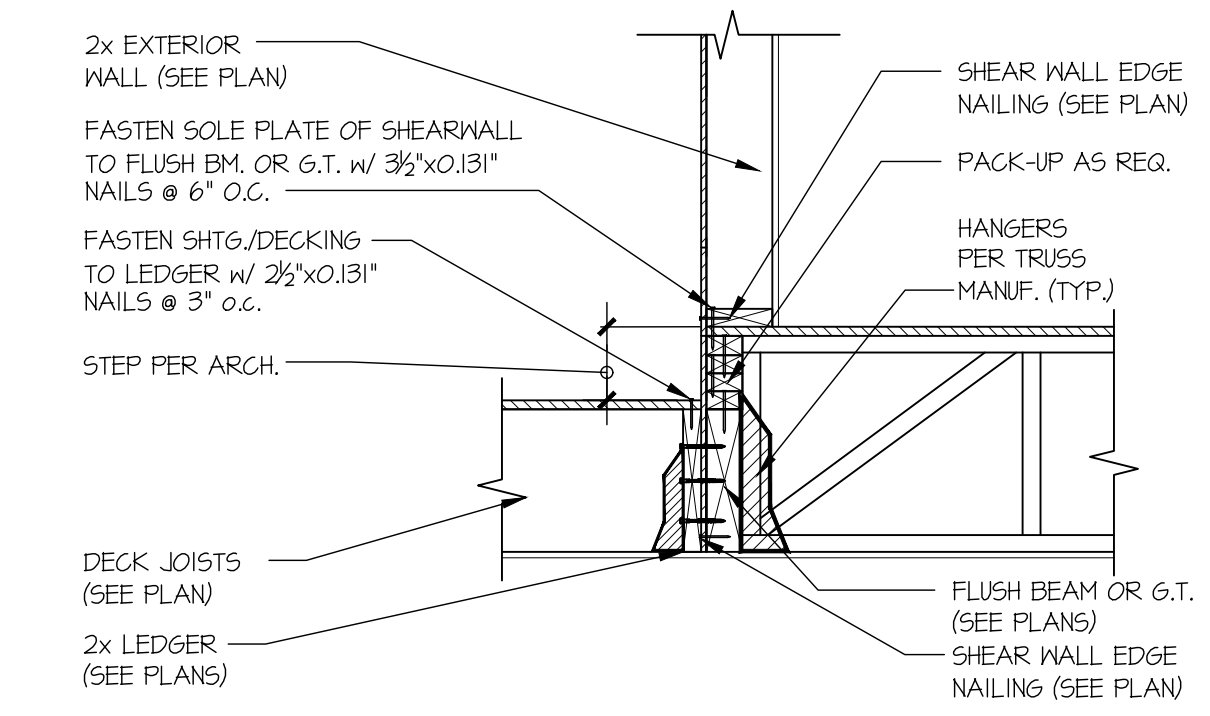
72 TYPICAL SHEAR TRANSFER DETAIL @ EXT. DECK FRAMING
SCALE: 3/4"=1'-0"



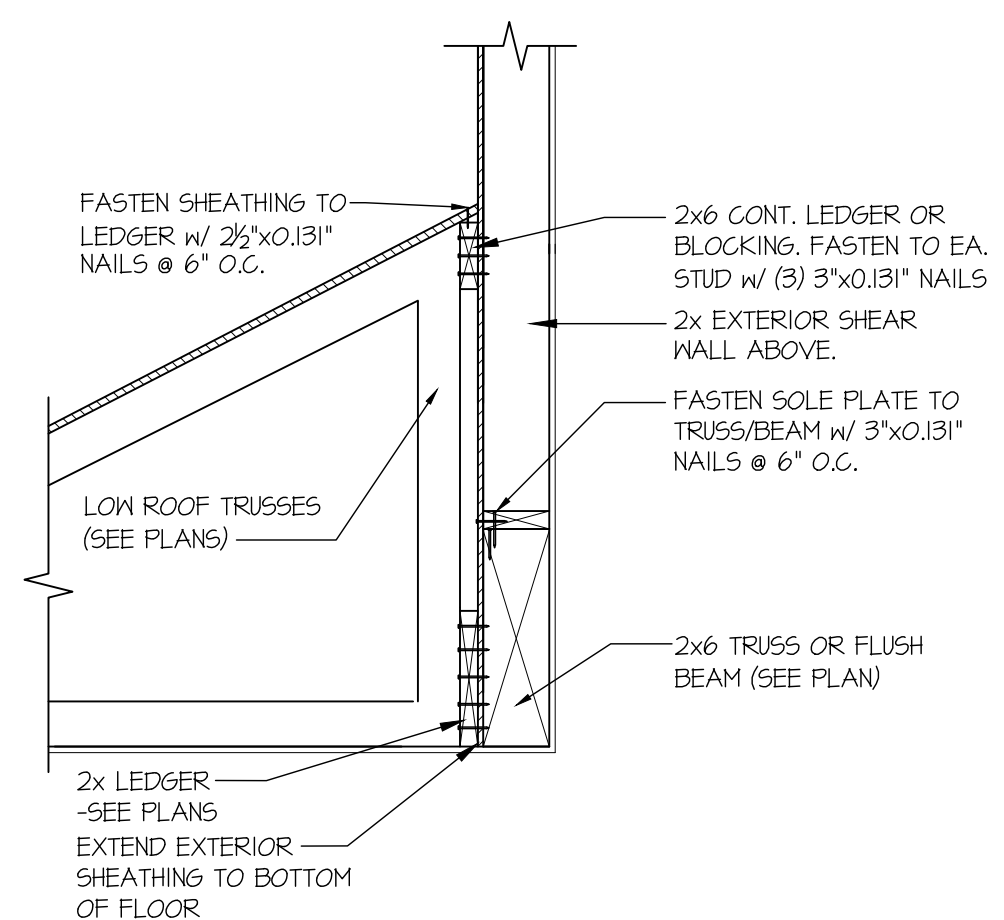
78 TYPICAL SHEAR TRANSFER DETAIL @ EXT. DECK FRAMING
SCALE: 3/4"=1'-0"



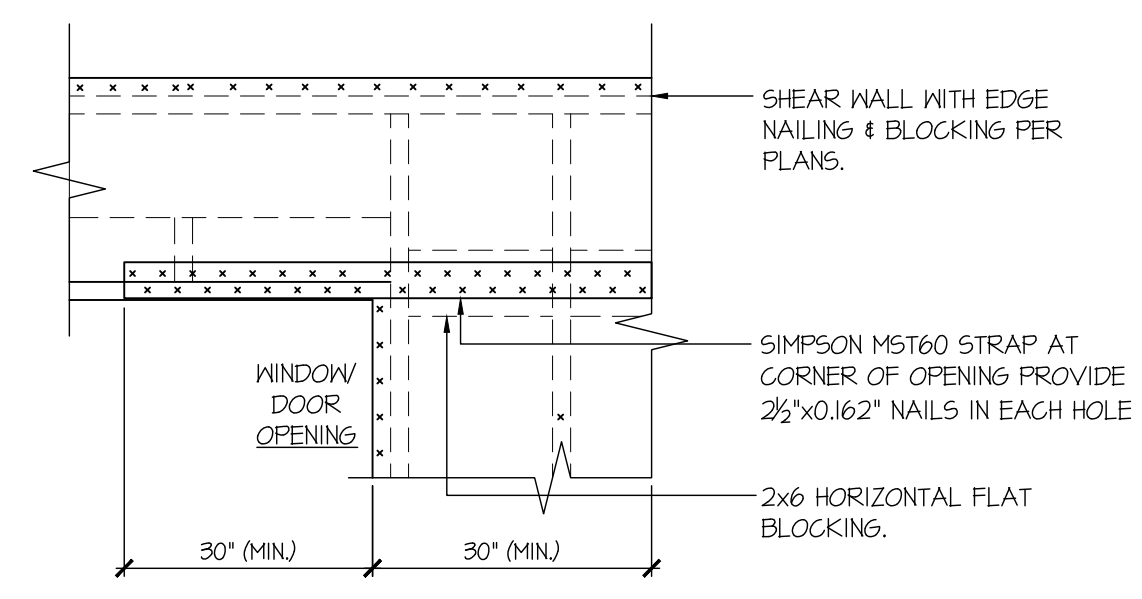
79 TYPICAL SHEAR TRANSFER DETAIL @ EXT. DECK FRAMING
SCALE: 3/4"=1'-0"



83 SHEAR TRANSFER DETAIL @ EXT. DECK FRAMING
SCALE: 3/4"=1'-0"

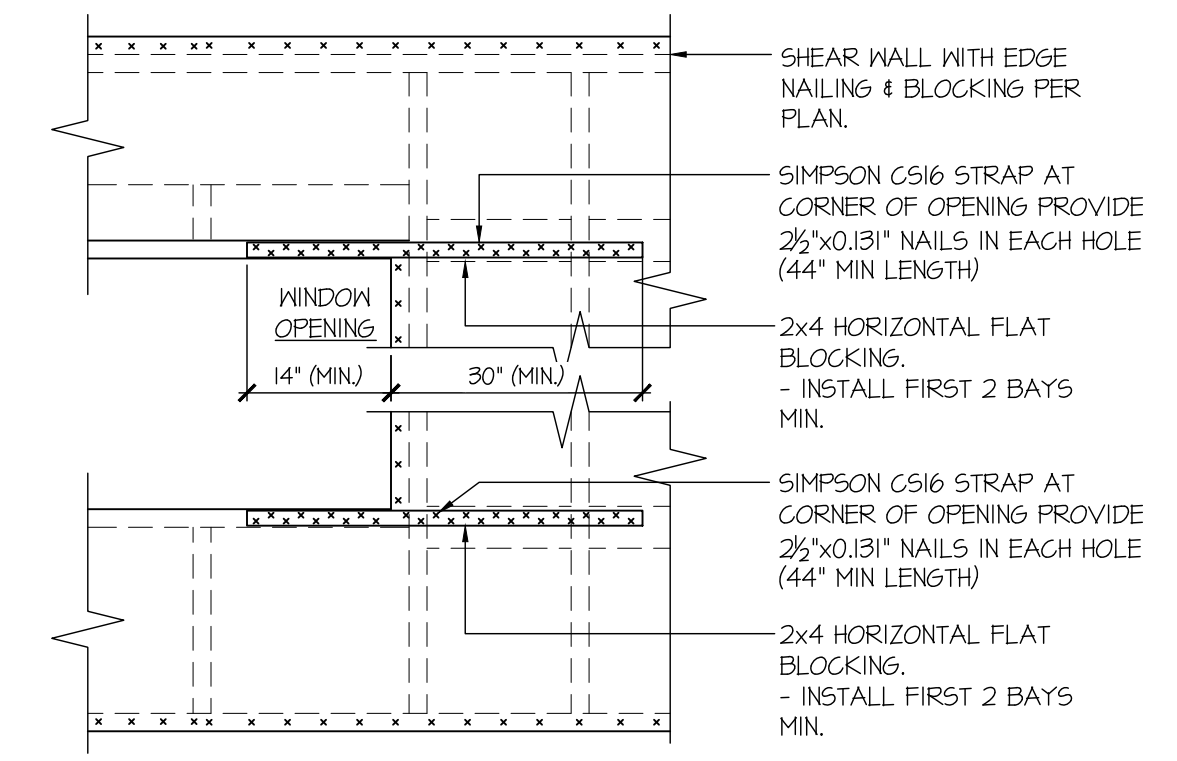


88 SECTION
SCALE: 3/4"=1'-0"



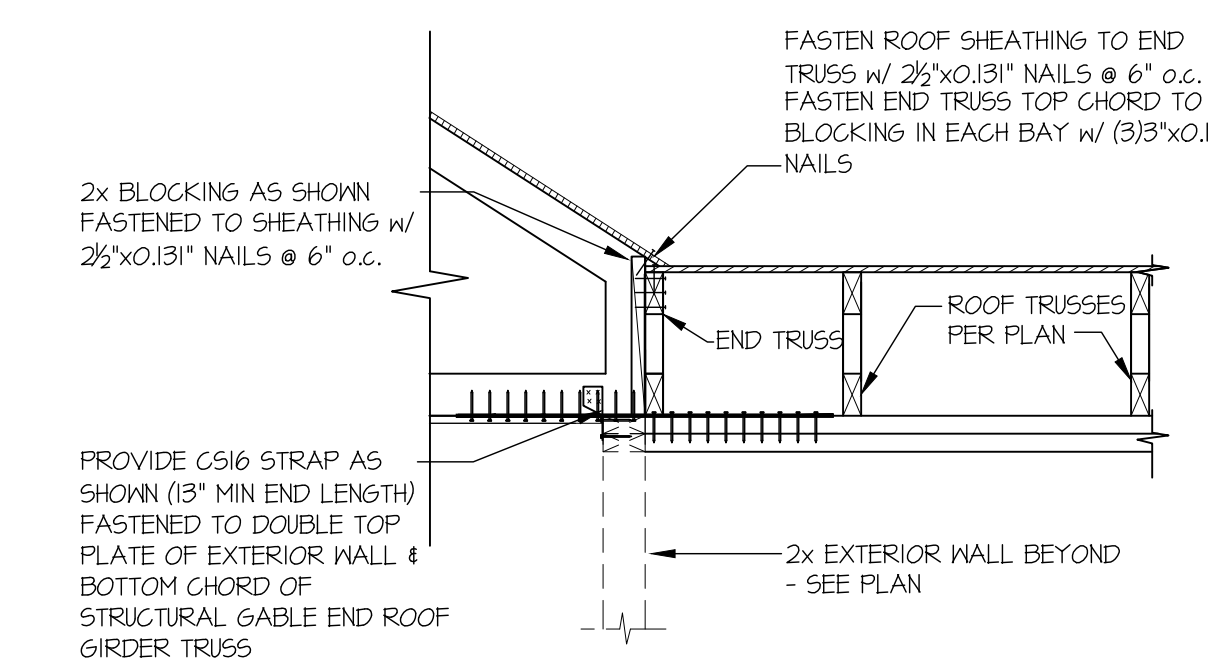
92 EXT. WALL & INT. SHEARWALL OPENING ELEVATION
SCALE: NTS

- DETAIL SIMILAR AT BOTTOM CORNERS OF WINDOWS.
- ONLY REQUIRED WHERE SPECIFIED ON STRUCTURAL PLANS
- IF MIN LENGTH IS NOT PROVIDED RUN STRAP TO END OF WALL



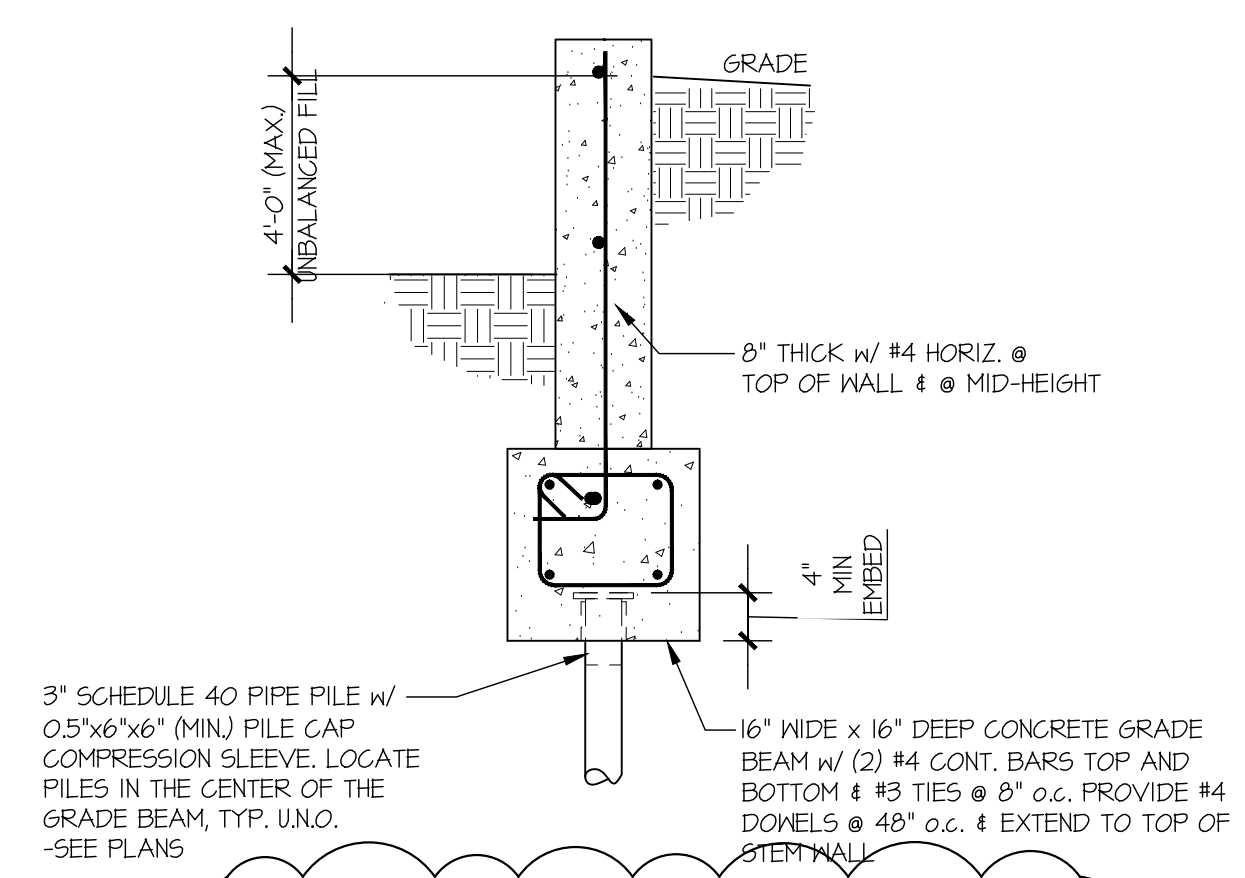
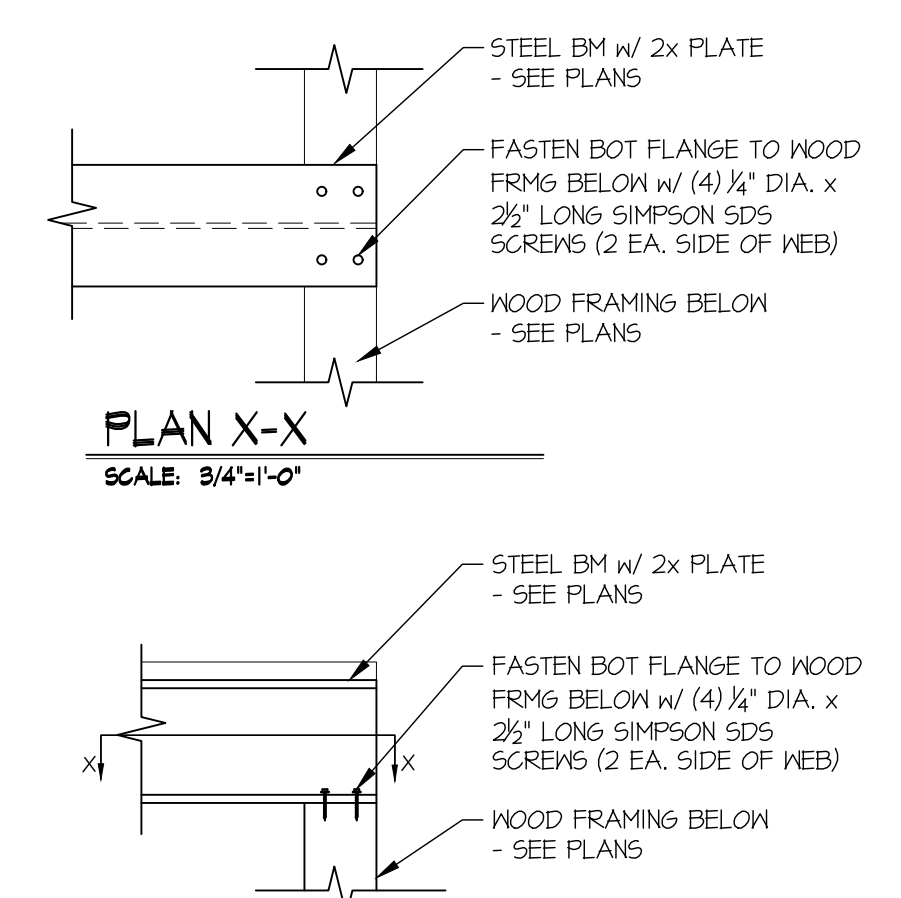
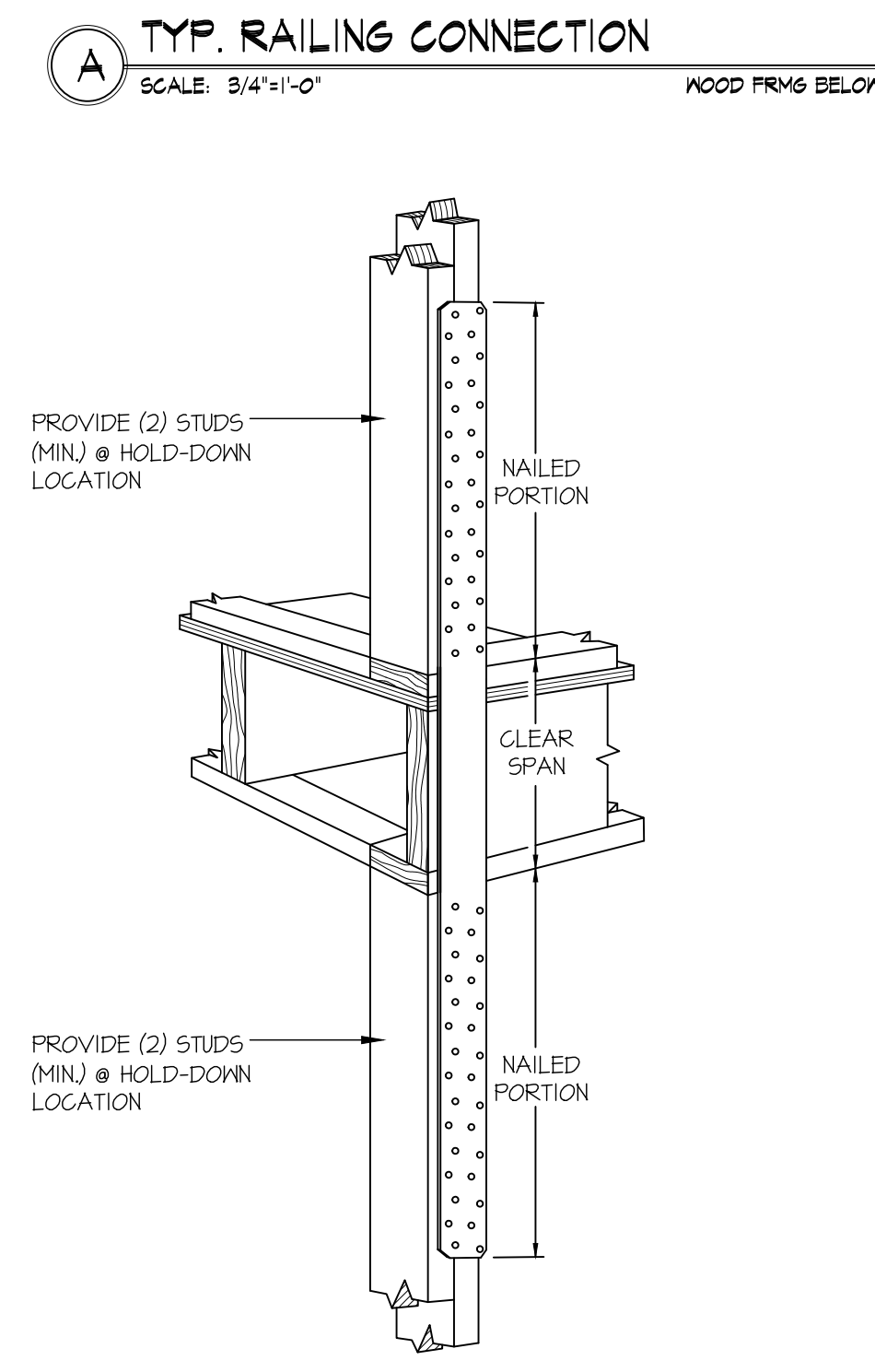
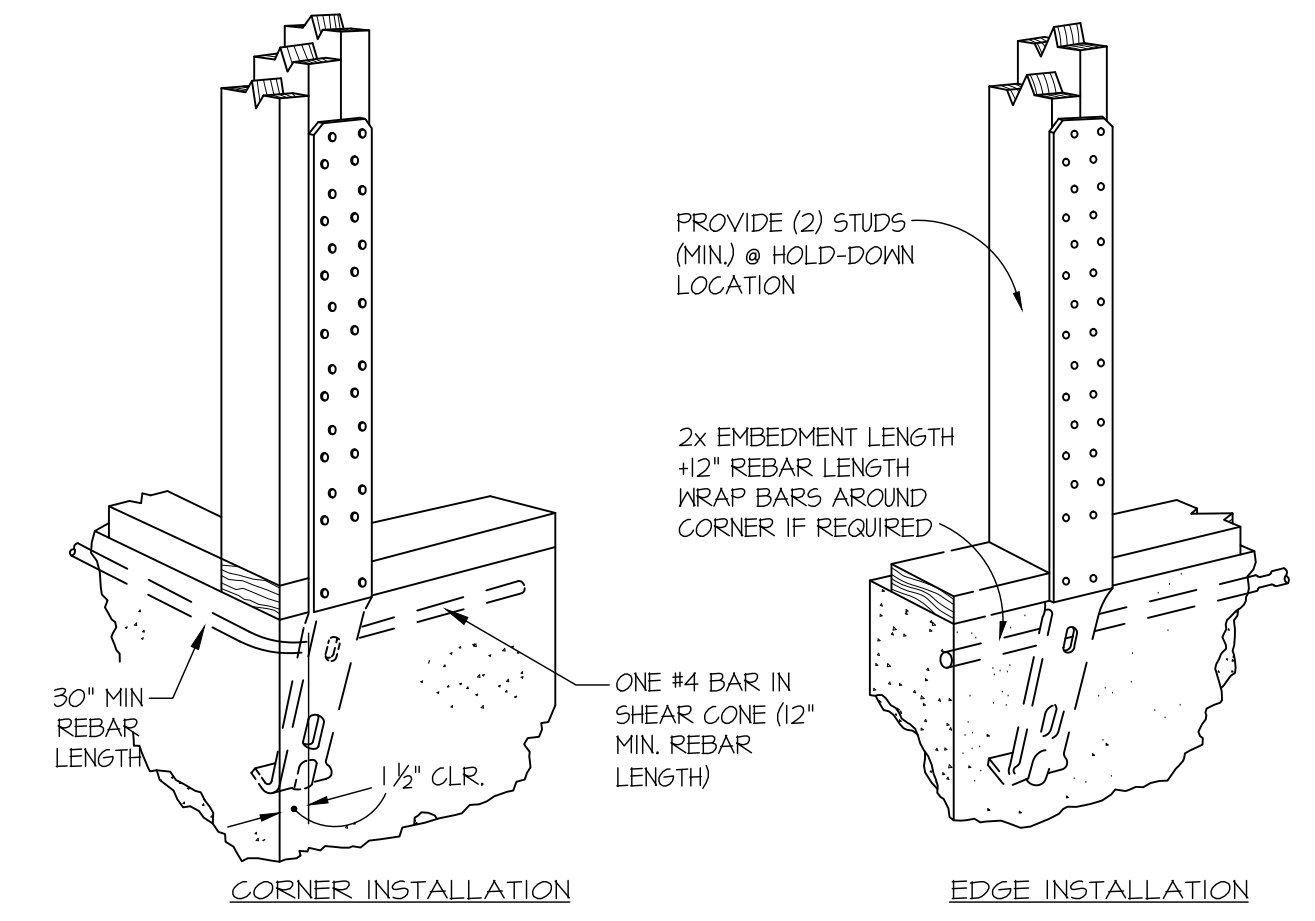
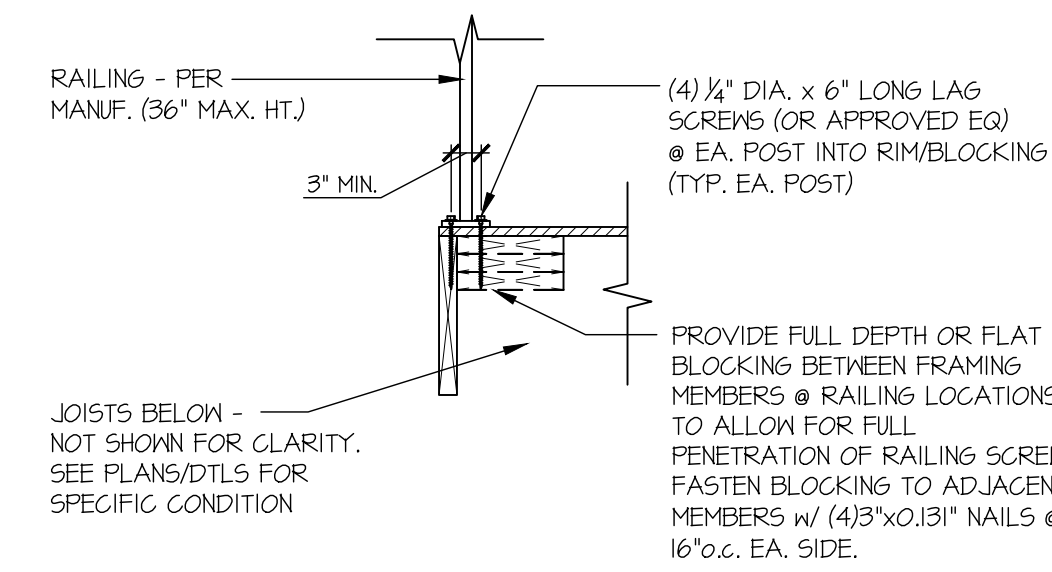
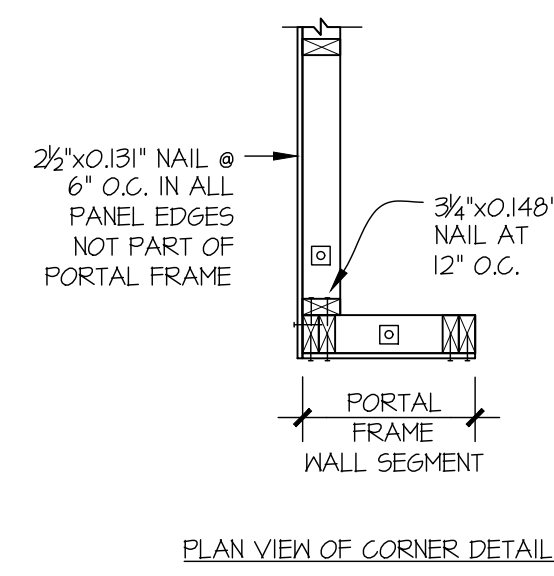
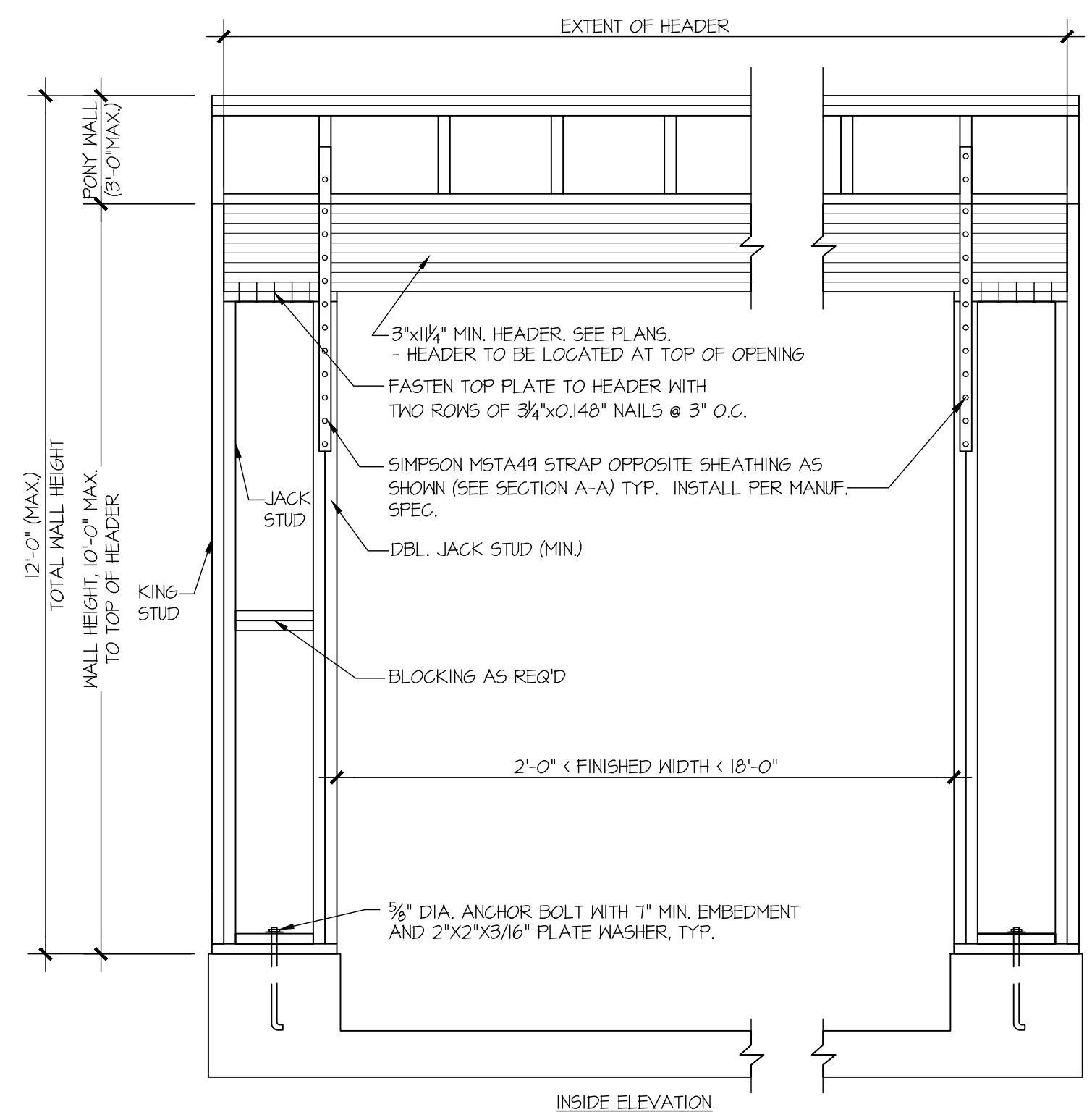
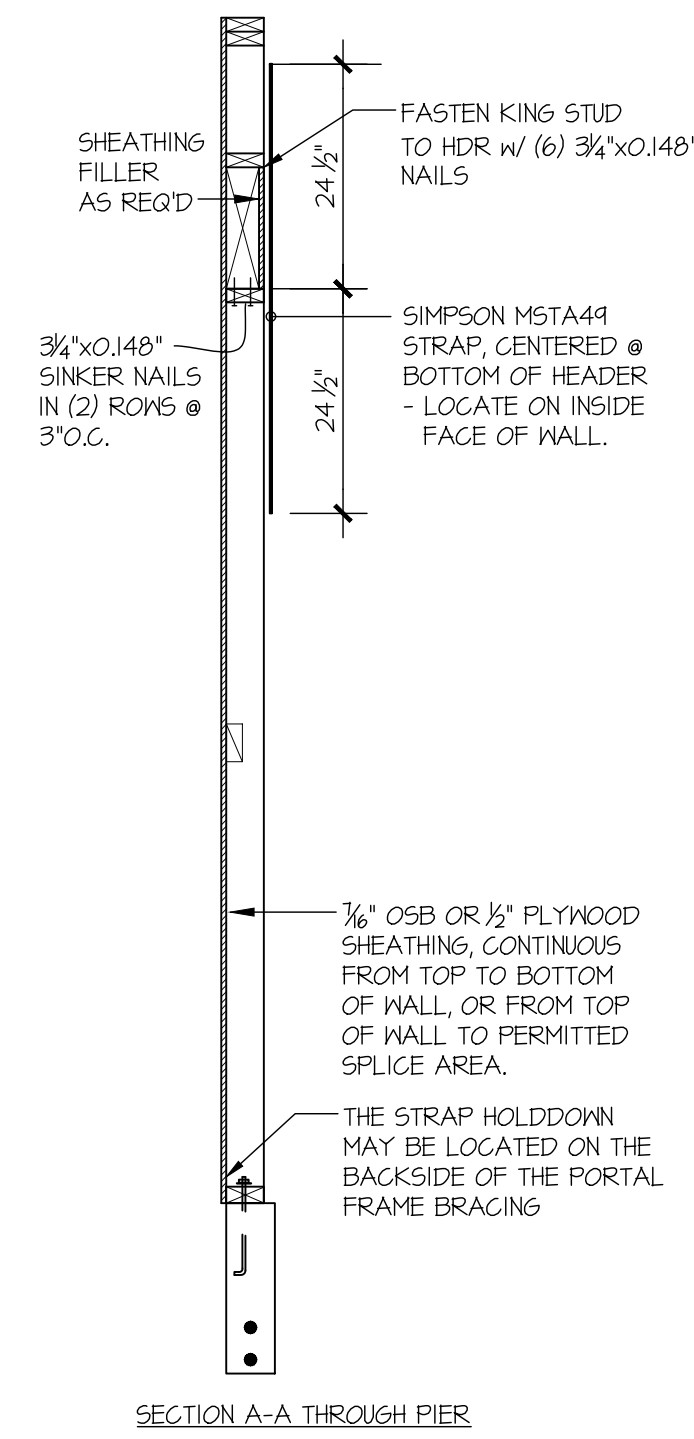
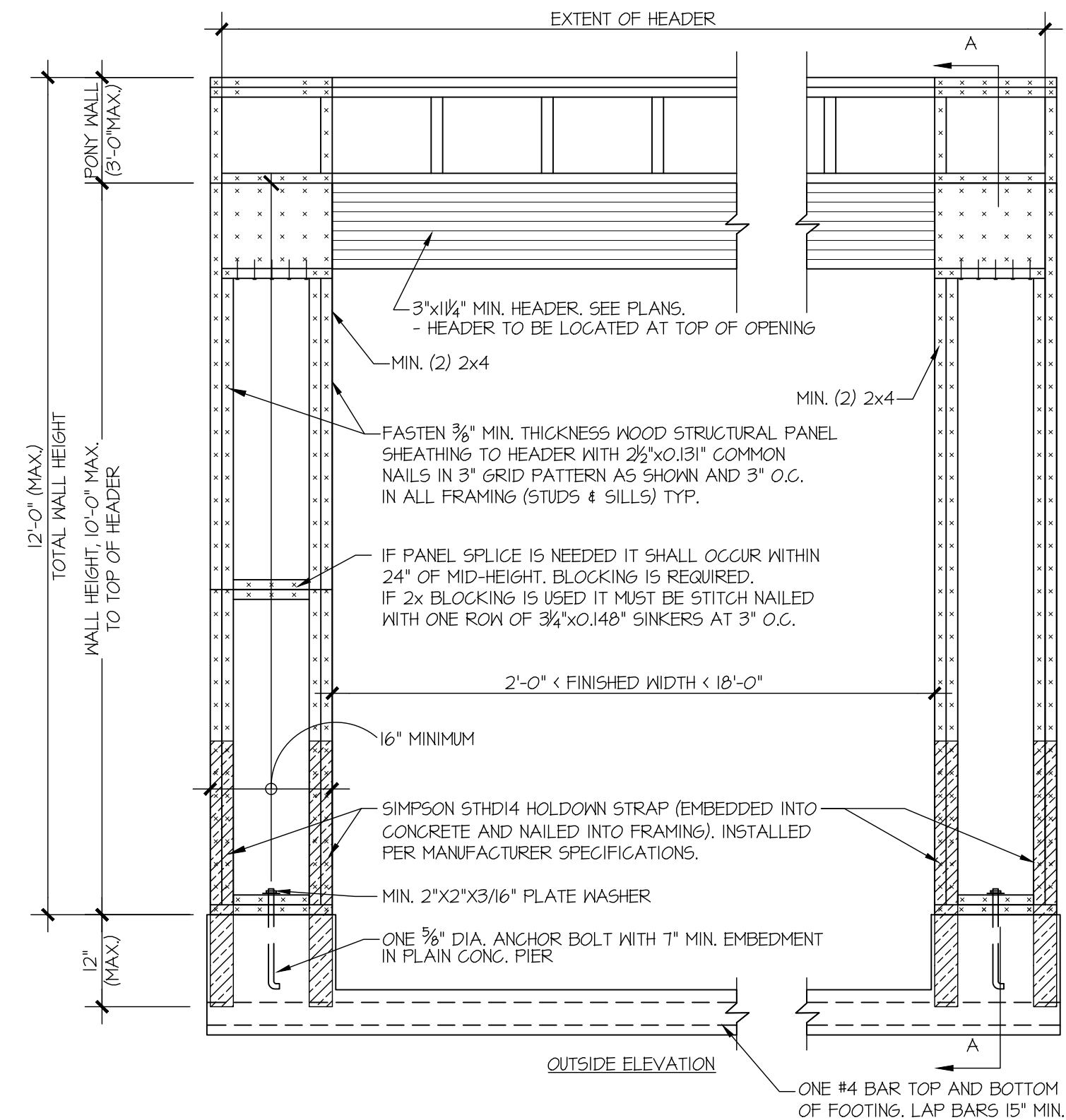
94 EXT. WALL & INT. SHEARWALL OPENING ELEVATION
SCALE: NTS

- ONLY REQUIRED WHERE SPECIFIED ON STRUCTURAL PLANS
- IF MIN LENGTH IS NOT PROVIDED RUN STRAP TO END OF WALL



117 STRAP DETAIL
SCALE: 3/4"=1'-0"

- PROVIDE CS16 STRAP AS SHOWN (13" MIN END LENGTH) FASTENED TO DOUBLE TOP PLATE OF EXTERIOR WALL & BOTTOM CHORD OF STRUCTURAL GABLE END ROOF GIRDER TRUSS



1 APA PORTAL FRAME DETAIL WITH HOLD-DOWNS
SCALE: N.T.S.



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11/27/2023	LGH

ARCHITECTURAL INNOVATIONS

STRUCTURAL DETAILS
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON



sheet: SD-4