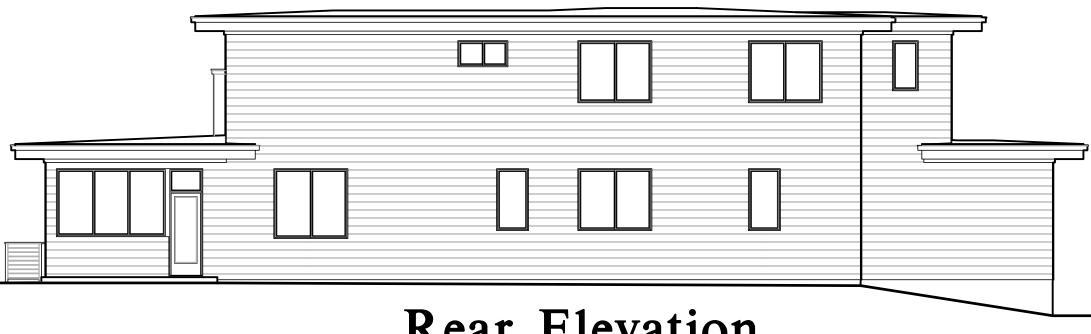
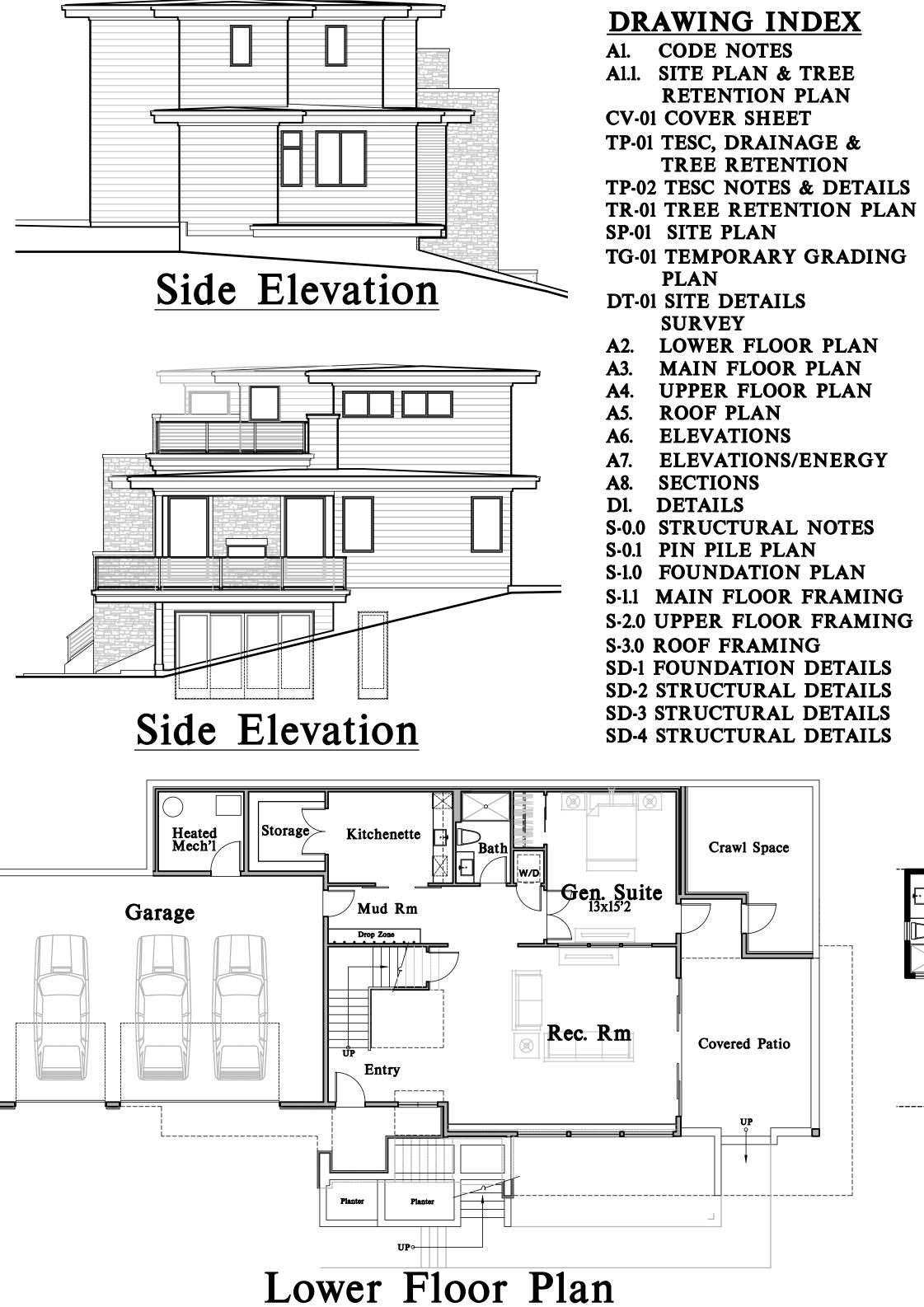




| CITY OF MERCER ISLAND | INSPECTION REQUESTS: | PROJECT ALERTS: | REQUIRED CONSTRUCTION INSPECTIONS: | |
|--|---|--|---|--------------|
| CITY OF WIERCER ISLAND | online: | Construction of the project shall be from <i>approved plans only</i> . No deviation from the approved project plans is allowed without prior | It is the applicant's responsibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at | |
| DEVELOPMENT SERVICES GROUP | Part and a second se | approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition. | www.MyBuildingPermit.com or by calling the Inspection Hotline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel) | |
| | MyBuildingPermit.com | Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including: | in advance of desired inspection. Be specific as to type of inspection. | |
| PHONE: 206.275.7605 www.mercergov.org | voicemail: | • Site Considerations • ROW restrictions • Additional Fire Code Requirements | Inspector shall initial and date appropriate inspection <i>only</i> if approved. Note: <i>Items marked with an "*" require a separate permit.</i> It is the | |
| ASH | voicemail: (206) 275-7730 | • Hours of Work • Drainage Requirements • Planning Requirements | applicants responsibility to apply for and obtain all City of Mercer Island permits. | |
| MIEPIan | | Construction Vehicle Parking Restrictions Acess Road Requirements Water Service Requirements Tree Requirements | INSPECTIONS: (Listed in order of typical sequencing) | |
| | | Refer to "Preconstruction Meeting Checklist" provided at the preconstruction meeting for development related requirements. | C Pre-construction Meeting to Review Conditions of Permit Approval. | Ī |
| NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PU | IBLIC DISCLOSURE AS REQUIRED BY RCW 42 56 | Temporary site address with minimum 6" high numbers visible from the street must be installed. | S Tree protection | ER |
| | JEIC DISCLOSORE AS REQUIRED BY RCW 42.50 | Erosion control measures must be as shown on approved project drawings. All erosion control is to be in place and inspected | Erosion control | ۵ |
| CONTACT INFORMATION: | | prior to the start of any site work. | Sewer disconnect and cap. If applicable, separate side-sewer permit required | |
| Applicant is to complete the following information. | | A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information. | E * Right-of-way use or work / easement, material delivery, etc. If applicable, | |
| Applicant Contact information <i>prior</i> to permit issuance: | Applicant Contact information <i>post</i> permit issuance: | TREE PROTECTION REQUIREMENTS: | separate ROW permit required | E |
| Nama | Nomo | Tree protection as shown on approved drawings shall be installed at tree dripling prior to start of any site work and | Land clearing, grading and demolition | bee |
| Name: | Name: | Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project. | Pilings / Shoring / Shotcrete. If applicable, provide survey letter | ve l |
| Address: | Address: | No trees shall be cut without a City of Mercer Island tree permit. | (property line); Geotechnical Engineer / Special Inspector | ha, |
| | | Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection. | reports of inspections (pile and shoring installation, etc.) | ed. |
| Phone: | Phone: | For this project, trees are authorized to be removed and replaced with trees. | Footings, setbacks, UFER ground. If applicable, provide survey letter | ctic |
| | | This project appears to be within a protected eagle nest area. Contact Federal Fish and Wildlife at (360) 534-9304 or visit their | (building height and setbacks); Special Inspector reports of inspections | app app |
| Email: | Email: | website at http://www.fws.gov/pacific/eagle | (soil bearing capacity, compaction, earthwork, pile installation, etc.) | ins ind a |
| | | FIRE PROTECTION REQUIREMENTS: | Foundation walls / concrete columns | red I ar |
| REQUIRED SPECIAL INSPECTIONS / STRUCTU | JRAL OBSERVATIONS: | Separate Permits are required for ALL fire protection systems. For more information, see http://www.mercergov.org/Page.asp?NavID=2614 | Contraction damproofing | qui |
| It is the Engineer of Record's responsibility to specify all required Sp | pecial Inspections or Structural Observation (check items below). | Fire Sprinkler | * Storm drainage, including (but not limited to): | re |
| The owner is responsible for hiring an approved private Special Insp | pector for the checked inspections noted below. All Special | Image: Sprinker | Connections to storm · Area drains | - all erf |
| Inspectors (except Geotechnical) must be WABO certified. | | Plus Monitored Sprinkler | main in ROW • Conveyance piping / cleanouts | fter p |
| When Special Inspection or Structural Observation is required, the re- | | NFPA 13R Water Flow Alarm | Detention systems Storm drain in ROW | a q |
| Inspection. Note: Inspection by the City Inspector is required in addi | | □ NFPA 13 □ Other: | Infiltration systems Control structures / manholes | ne |
| below. Do not cover or conceal any work prior to the City inspection | | Approved Fire Code Alternatives: | Catch basins including Pump systems | lss |
| STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR): | | □ FCA1 □ FCA3 | oil-water separator tees • Retaining wall drainage | |
| Engineer of Record: Compa | any:Phone: | | * Water Service | |
| General Conformance to Construction Documents | Other: | □ FCA2 □ FCA4 | Water Supply Water as-built drawings | |
| | | | water as-built drawings | |
| SOILS / GEOTECHNICAL: | | WATER SUPPLY REQUIREMENTS: | Connections to side · Connections to side | |
| Special Inspector: Compa | any:Phone: | Fire sprinkler design calculations must be provided prior to determining water supply system requirements. | sewer main • Grinder pump systems | |
| Erosion control measures | Subsurface drainage placement | Water Supply system upgrade required | Connections to existing Sewer manholes | |
| Shoring installation and monitoring | Verify fill material and compaction | City Installation. | side sewer | |
| Observe and monitor excavation | Rockery installation | Applicant Installation. | Driveway / Access road | |
| Verification of soil bearing | Pile placement (auger cast/driven pile) | Required Service Line Size: Required Supply Line Size: Required Meter Size: | Underslab electrical / mechanical / plumbing | |
| Other: | Other: | (water main to meter) (water main to house) | Underslab insulation / vapor barrier / reinforcing | |
| REINFORCED CONCRETE: | | Abandonment of existing service and meter required at main. | Underfloor framing | |
| Special Inspector: Compa | anv: Phone: | Pressure reducing valve required if pressure exceeds 80 psi. Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells | S Nailing-Roof sheathing. If applicable, provide Special Inspection | |
| Concrete strength | Retaining wall construction | or lake irrigation). | Nailing-Exterior wall and Shearwall. If applicable, provide Special | |
| Reinforcing steel and concrete placement | Prestressed / Precast construction | Additional water supply requirements: | S Inspection letter for lateral wood inspection. | |
| Shotcrete placement | Other: | | Rough hydronic installation | |
| Other: | Other: | DRAINAGE REQUIREMENTS: | Image: | |
| | | On site detention system required Direct discharge into the lake | | |
| STRUCTURAL STEEL: (AISC 360, Chapter N) | | On site infiltration system required. | A Rough plumbing installation (DWV, water) | |
| Special Inspector: Compa | any:Phone: | S As-built Utility drawings required. Connection to public storm drainage conveyance system req'd. | | |
| Fabrication and shop welds | Moment Frame construction | Full Size drawings required. Other: | G Gas Piping | |
| Structural steel erection, field welds and bolting | Other: | SIDE SEWER REQUIREMENTS: | Bough fire sprinkler / hydrostatic and flow (bucket) test | |
| Other: | Other: | | Framing and glazing. If applicable, provide Special Inspection letter for | |
| STRUCTURAL MASONRY: | | Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties. | O lateral wood inspection, welding epoxy anchors, etc. Image: Construction (fireplace / walls / veneer / etc.) | |
| Special Inspector: Compa | any:Phone: | Video tape of existing sewer required (see standard details) | Insulation installation | |
| Mortar strength | Glass unit masonry installation | New connection. Connect to existing. Disconnect permit required. Reconnect permit required. | Stucco (paper and lath) | |
| Masonry unit strength | Wall panel and veneer installation | □ Other: | Shower pan (or tub) | |
| Other: | Other: | Note: When side sewer is to be connected to the lake line you will need to schedule three (3) days in advance with the City of | Miscellaneous | |
| Other: | Other: | Mercer Island Maintenance Department at (206) 275-7800. | Code Alternative CA1: | |
| | | APPROVED CODE ALTERNATIVES: | Code Alternative CA2: | |
| WOOD: | | Code alternatives must be Inspected. Refer to the Inspection Checklist | Impact Fees Paid (If applicable) | |
| Special Inspector / Engineer of Record: Compa | anv: Phone: | | Final Inspection: Tree Restoration | |
| | High strength diaphragm construction | □ CAI: □ CA2: | Final Inspection: Fire protection, including (but not limited to): | |
| Lateral resisting system construction Other: | Other: | | • Sprinkler • Fuel Tank Installation | |
| | | | Access Road Fire Extinguishing System | |
| OTHER SPECIAL INSPECTIONS: | | | Fire Code Alternatives (see below) Fire Alarm System | |
| Special Inspector: Compa | any:Phone: | SURVEY REQUIREMENTS (The following survey information must be submitted when checked): | FCA1: FCA3: | |
| Epoxy grout installations | Stucco installation | Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation Inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City | FCA2: | |
| Expansion anchor installations | Infiltration System | Inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy. | Final Inspection: Water supply protection, including (but not limited to) | I |
| Other post installed anchors | Exterior Insulation Finish System (EIFS) installation | | backflow devices for: • Waterfront property | |
| Alternative construction methods: | Other: | Surveyor:Phone:Phone: | Waterfront property Well water on property Fire / lawn sprinkler Boiler | 5 5 |
| Alternative construction materials: | Other: | Building height survey Building setback survey | | |
| DEFERRED SUBMITTALS: | | Building setback survey Impervious surface survey | | |
| | rawings for submittal to the City for review and approval prior to item | Other: | Final Inspection: Building, including electrical / mechanical / plumbing, If | |
| fabrication / construction. | | MAXIMUM 40 PERCENT ALTERATION INSPECTION: MICC 19.01.050(D)(1)(b)(i) | | AN AN |
| Connector plate wood trusses | Post tension layout | A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than | Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS). | ۲ ح م |
| Metal joist / metal trusses | Exterior cladding | 40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730. | 90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO): | |
| Premanufactured structures (stairs, etc.) | Window wall / curtain wall construction | Civil / Drainage LUP / Setback requirements | | ш |
| Precast concrete elements | Other: | GEOTECHNICAL INFORMATION: | Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed. | 2 |
| Other: | Other: | Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 | | A |
| ENERGY CODE COMPLIANCE INFORMATION | : | without an approved Seasonal Development Limitation Waiver. | | 7 |
| Indicate where the following information is located in the drawing s | | Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of | Approved Start Date End Date | Š |
| Prescriptive Compliance (RECPC) Form into the drawing set. | | report and other geotechnical information must be kept on site at all times. | | ō |
| Sheet: | | | Call the appropriate contact to arrange the inspection. | Ŭ |
| | | Geotechnical Engineer | Required Inspection(s): Contact: Phone: Scheduling: GH | ВО |
| Building envelope: WSEC Table 402.1.1 | Air Leakage Testing. IRC Section R402.4.1.2 WA Amendments | SEASONAL DEVELOPMENT LIMITATION RESTRICTION: | | Ö |
| (include U-factors, insulation and moisture control) | Provide air leakage test report verifying air leakage rate | Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1. | | U |
| Whole house ventilation: IRC Section M1507 WA Amended | does not to exceed 5 air changes per hour. | Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development | | A N |
| (include ventilation option and duct sizing if applicable) | Duct Leakage Testing. WSEC R403.2.2 | Limitation Waiver Permit. | | ц |
| Energy Credit Information: WSEC Table 406.2 | Postconstruction Test. WSEC R403.2.2.1 | | PLAN REVIEW APPROVALS: | Ω |
| (include specific, written requirements) | Rough-in Test. wsec R403.2.2.3 | Permit number Approved by Date | | |
| B RECPC Form Information: | | ы ы | O If applicable. Not all review disciplines may be required to review the documents. S H | |
| (if incorporated within drawing set) http://www.mercergov.org/files/2012ResidentialEnergyCalcForm.pdf | | | Impact fees apply and are due <i>prior</i> to Final Inspection or on | 5 |
| | | | n whichever occurs first. | Ш |
| | | | P , whichever occurs first. Date Date | |
| | | | | |



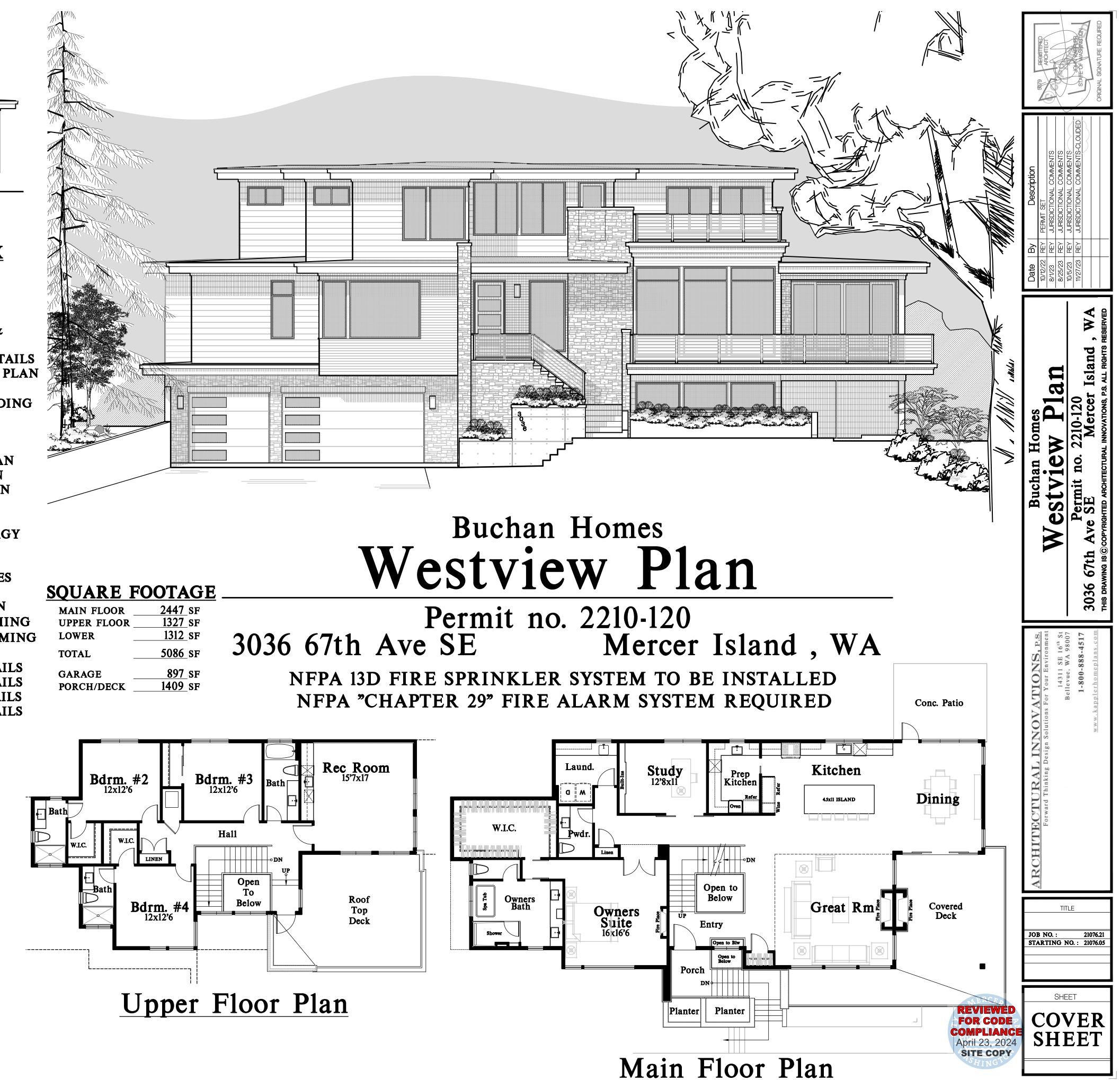
Rear Elevation



| LAN |
|--------|
| RAMING |
| RAMING |
| |

LOWER TOTAL GARAGE PORCH/DECK

<u>2447</u> SF <u>1327</u> SF <u>1312</u> Se <u>5086</u> sf <u>897</u> SF



<u>Ø1000 GENERAL</u>

I. This coversheet has been prepared in a generic outline form following the standards set by the Construction Standards Institute (CSI). It is for the convenience of the Contractor/Owner. This outline is intended to work with a material selection list following the (CSI) format. Not all items are necessarily required to complete this specific project. Coordinate with Contractor/Owner for complete listing of specifications. Within this coversheet it will state. 'Coordinate with materials' finish selection schedule'

2. These drawings are copyrighted. ARCHITECTURAL INNOVATIONS P.S. retains all rights, ownership and copyright of this design under the federal copyright act. Reproductions o illustrations or working drawings in any form is by authorization of ARCHITECTURAL INNOVATIONS P.S. only.

3. Authorized reproductions must bear the name of ARCHITECTURAL INNOVATIONS P.S.

4. Construction/working drawings by their very nature are diagrammatic and do not purport to show all details or conditions of construction. Questions generally arise to the architectural/design intent and to construction technical detailing within these drawings. clarifications, interpretations, and revisions are all part of the construction process. ARCHITECTURAL INNOVATIONS P.S., therefore shall not be liable for any direct, indirect, or consequential damages as a result of not participating in the construction process

5. Do not vary or modify the work shown, except with written instruction from ARCHITECTURAL INNOVATIONS P.S. Report discrepancies and/or omissions to the architect immediately.

6. Due to the nature of construction and the building process there will be bidder design and Contractor/Owner selection of the building products, components, and assemblies. The set of working drawings is considered a "builder set" and does not include specifications or building materials list. Therefore it is the Contractor/Owners responsibility to provide and coordinate specifications, including product selection and installation or assembly. ARCHITECTURAL INNOVATIONS P.S. assumes no liability or responsibility for discrepancies or conflicts which occur through Contractor/Owner specified materials and their respective installation. ARCHITECTURAL INNOVATIONS P.S. assumes no liability or responsibility for any items, which may be called out or referred to by manufacturer as brand name. Items called out are done so for convenience only.

7. Do not scale these drawings for critical dimensions. Verify all dimensions and datum's before commencing work and be responsible for their accuracy. Report discrepancies and/or omissions to the architect immediately

8. The Contractor/Owner is responsible for coordinating work with all trades to ensure proper and adequate interface of all trade works. The contractor shall be responsible for all required safety precautions and procedures required to do this work

9. Except as specifically defined otherwise, interpretation for all definitions, abbreviations, and supplemental definitions shall follow accepted referenced standards.

10. All work within this contract shall represent that of industry standards for the respective trades in the location in which the project is built.

All references to I.R.C., I.B.C., and W.S.E.C are references to the 2018 code updates & WA state Amendments.

01002 MISCELLANEOUS ASSEMBLY REQUIREMENTS

I. Provide crawl space access, minimum 18" x 24" unobstructed access through the floor, 16" x 24" through perimeter walls and below grade access, per I.R.C. section R408.4. Insulate and weather-strip per W.S.E.C R402.2.4. Allow 18" minimum space under wood joists and 12" minimum space under wood girders. 2. Provide attic access, minimum 22' x 30' with 30' minimum headroom, at unobstructed readily accessible opening, per I.R.C. section R801.1. Insulate and weather-strip per WSEC R4022.4. reduirements.

3. Provide ventilation per I.R.C. as follows: A) Crawl space ventilation: Minimum net area shall be not less than 1 s.f. per 300 s.f. under floor area. Required openings shall be evenly placed to provide cross ventilation of the space except one side of the building shall be permitted to have no ventilation openings per section R408.2. B) Attic ventilation: Minimum net area shall be not less than 1 s.f. per 150 s.f. of attic area

or I s.f. per 300 s.f. of attic area if at least 40 percent, and not more than 50 percent, of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated, and is no more than 3 feet below the ridge or highest point of the space. The balance of required ventilation to be provided by eave or cornice vents per I.R.C. section R806.2 and W.S.E.C. requirements. 4. Slope all decks, walks, driveways, exterior door landings, and patios away from building.

Minimum 1/4" per foot. 5. Provide approved numbers or addresses in such a position as to be plainly visible and legible from the street or road fronting the property per I.R.C. section R319.1.

6. Garage/House separation: A) Garage ceilings separating attic spaces shall be protected with 1/2' GWB. Whe garages are beneath habitable rooms, the ceilings shall be covered with 5/8" type 'x" GWB on the garage side. Where the separation is a floor/ceiling assembly, the structure shall be

protected with 1/2" G.W.B. per I.R.C. table R302.6. B) Door between garage and house shall be a self closing solid wood core, honeycomb core steel, or 20-minute fire rated door having a minimum thickness of 1-3/8' per I.R.C. section

C) Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage sheet steel or other approved material and shall have not openings into the garage per I.R.C. R302.5.2. D) Garage floor shall slope to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.

Stair assembly:
 A) Minimum headroom height 6'-8" per I.R.C. section R311.72.

B) Minimum stair tread depth 10' with a 36' minimum width, measured above handrail height. Maximum riser height 7-3/4" per I.R.C. sections R311.7.5 C) Top of handrail shall be 34' minimum and 38' maximum above tread nosing and not less than 1-1/2¹ from the wall. Return rail ends to wall per I.R.C. section R311.7.8. D) Install fire blocking between stringers at the top and bottom of each run

per I.R.C. section R302.II. E) Cover usable space under stairs with 1/2" GWB per I.R.C. section R302.7.

8. Laundry Chutes & Dumbwaiter Shafts - provide 5/8' type 'x' GWB or 26 gage sheet metal with lock joints on all openings to shaft surfaces shall be self closing solid core door 1-3/8". 9. Fireblocking shall be provided in wood-frame construction in the following locations: A) In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:

. Vertically at the ceiling and floor levels. 2. Horizontally at intervals not exceeding 10 feet.

B) At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings. C) In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7. D) At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with

and approved material to resist the free passage of flame and products of combustion. E) For the fireblocking of chimneys and fireplaces, see Section RI003.19. F) Fireblocking of cornices of a two-family dwelling is required at the line of swelling unit separation.

10. Fireblocking shall consist of the following materials per I.R.C. R302.11.1.

A) 2" nominal lumber. B) Two thickness of I' nominal lumber with broken lap joints.

C) One thickness of $\frac{22}{32}$ wood structural panels with joints backed by $\frac{23}{32}$ wood structural panels. D) One thickness of $\frac{3}{4}$ particleboard with joints backed by $\frac{3}{4}$ particleboard.

E) One 1/2" gypsum board.

F) One 1/4" cement-based millboard.

G) Batts or blankets of mineral wool or glass fiber or other approved materials installed in such a manner as to be securely retained in place. II. Structural design criteria: These notes are provided for convenience only and do not imply that complete structural analysis has been done on this structure.

A) Truss Loading: (U.N.O.) Top chord live load: Top chord dead load: (15 psf, if tile)

løpsf without storage Bottom chord live load: 20psf if limited storage 30psf if sleeping room

42psf

TOTAL LOAD:

B) Roof live load: 25 psf (U.N.O.)

or 52psf or 62psf

C) Floor live load: 40 psf (UNO.) Deck Live Load 60 psf UNO. D) Stair and corridor live load: 40 psf

E) Mechanical units: weights provided by manufacturer

F) Wind: 110 mph (U.N.O.) G) Seismic Design Category: D(2) (UN.O.)

H) Allowable soil pressure: Unless a soils report by a qualified engineer is provided, all footings and foundations shall be on assumed 1,500 psf bearing capacity unless otherwise noted on drawing.

J) Equivalent fluid pressure 35 pcf. (UN.O.) K) All footings to be located below the frost line depth: 18" (UN.O.) 01002 MISCELLANEOUS ASSEMBLY REQUIREMENTS CONT.

12. Prefabricated Fireplaces and Solid Fuel Burning Appliances per IM.C. and I.R.C. Chapter 101: A) Solid fuel burning appliances include airtight stoves, fireplace stoves, room heaters/fireplace stoves, factory built fireplaces, and fireplace inserts, and all shall comply with the provisions of IM.C.

B) Metal Chimneys shall be enclosed above the story in which the appliance served is located, in walls having one hour fire resistance rating, and with a space on all sides between chimney and enclosing walls sufficient for examination and repair for entire chimney. Walls shall be uithout openings per I.M.C.

C) Provide fireblocking at chimney per I.R.C. section R302.11.) Install metal fireplace with hearth and surrounds per manufacturers specifications. E) Prefabricated fireplaces, chimneys, and related components to bear UL. or ICBO seal of approval and be installed per manufacturers requirements. 13. Fireblocking per I.R.C. sections R302.11.

01060 REGULATORY REQUIREMENTS

1. All construction shall conform to the 2018 International Residential Code (I.R.C.), 2018 International Building Code (I.B.C.), 2018 International Fire Code (I.F.C.), 2018 International Mechanical Code (IM.C.), 2018 Uniform Plumbing Code (U.P.C.), 2018 Washington State Energy Code (WSE.C.) and be in accordance with all State Laws and Regulations and various codes imposed by jurisdictional requirements and local authorities. 2. Arrange inspections that are mandatory due to jurisdictional requirements.

01500 CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS

. Provide Temporary Facilities - including electricity, water, and temporary toilet, per risdictional requirements. . Provide Contemporary Controls - including erosion sediment and surface water control and entrapment during construction per jurisdictional requirements.

END DIVISION

Division 2 SITE WORK

02200 EARTHWORK Part 3 - Execution

. Rough grading: 4' below finish grading unless otherwise specified. 2. Finish grading: Landscaping division 02300.

Excavation, backfilling, and compacting for structures as needed. . Excavation, backfilling, and compacting for pavement as needed.

5. Hauling and disposal of excavated material as needed.

6. Importing of material as needed. 1. Rock removal as needed.

02500 PAVING AND SURFACING

Part 2 - Product

Walk, road, and parking paving A. Asphalt 2", class B, over 3" crushed rock or 2" ATB. B. Crushed rock 5/8" minus.

. Concrete per Division 3

Finish and color: Coordinate with materials finish selection schedule. 2. Unit Pavers: 1. Coordinate with materials finish selection schedule.

3. Pavement marking: 1. Coordinate with materials finish selection schedule.

02700 SEWAGE AND DRAINAGE

Part 2 - Product . Subdrainade sustems:

A. Foundation drainage 4' SDR 35 or sched. 40 rigid PVC perforated pipe embedded in pea gravel or clean crushed rock and wrapped in filter fabric. . Storm sewage systems:

A. Exterior catch basins, grates, and frames: Coordinate with materials finish selection schedule. B. Culverts:

. Coordinate with materials finish selection schedule.

C. Drain pipe: 4" ADS non-perforated tight line. Sanitary sewage systems:

A. Sewage collection lines 8" PVC unless cast iron is noted. B. Septic system: Per drawings of bidders designer.

Part 3 - Execution . Subdrainage system

A. Slope to drain and surround in well draining material per details. 2. Surface drainage per I.R.C. section R401.3.

02800 SITE IMPROVEMENTS

Part 2 - Product

Irrigation system: Bidder design

 Coordinate with materials finish selection schedule.

2. Fences and gates: I. Coordinate with materials finish selection schedule.

02900 LANDSCAPING

Part 2 - Product Bidder Design

END DIVISION 2

Division 3 CONCRETE

03100 CONCRETE FORMWORK

Part 3 - Execution i. Formwork and bracing for structural cast-in place concrete shall be by subcontractor and meet the requirements of the drawings and industry standards.

2. All formuork shall be placed in such a manner as to allow cast-in place concrete to be placed on solid substrate and to allow structural support members to sit below the frost line.

03200 CONCRETE REINFORCING

Part 2 - Product

Reinforcing steel: Deformed bar sizes and locations per plans and details. Grade 60, Fu = 60ksi per I.R.C. section R404.1.3.3.7.1. Unless otherwise noted per Engineer Welded wire fabric: at locations per plans and details: 6x6, WI.4xi.4WWF Part 3 - Execution

1. A minimum lap for all bars shall be 40 diameters taken from the smallest bar. Provide corner bars to match horizontal reinforcement. Minimum coverage per details and I.R.C. section R4Ø4.13.3.7.4.

03250 CONCRETE ACCESSORIES

Part 2 - Produc

1. Anchor bolts: 1/2'\$ triple zinc ZMAX (G185 per ASTM A653) hot dipped galvanized steel

(ASTM 153 for Anchors), with a minimum 7" embedment, per I.R.C. section R40316., unless otherwise noted per Engineer 2. Washers: 3'x3'x1/4' sq. triple zinc ZMAX (GI85 per ASTM A653) hot dipped galv. steel

(ASTM 153 for Anchors), plate washers per I.R.C. section R602.11.1. Unless otherwise noted per

Part 3 - Execution 1. Anchor bolts at 6'-0' o.c. max. for one story \$ 4'-0' o.c. for buildings over two stories in

height, 12" from corners and joints, with a minimum embedment of 7". Provide a minimum of (2) bolts per plate section per I.R.C. section R403.16. 03300 CAST-IN-PLACE CONCRETE

Part 2 - Product

3. Admixtures

C. Coloring agent

Part 3 - Execution END DIVISION 3

1. Structural concrete: Design f'c = 2500 psi min 5-1/2 sacks of cement per cubic yard of concrete and a maximum of 6.0 gallons of water per 94lb sack of cement at 28 days. Max slump is 4". segregation of materials to be prevented. Use f'c = 3000 psi concrete at 28 days with air entrainment only for concrete exposed to weather, in accordance with I.R.C. Table R4022. Special inspection not required unless noted otherwise per Engineer. 2. Architectural concrete: for exposed aggregate finish (washed), f'c = 2000 psi at 28 days, with 3/8" round aggregate.

A. All concrete shall have water reducing admixtures except for footings.

1. Coordinate with materials finish selection schedule.

B. Air entrainment shall be 5-7% in all concrete exposed to weather, I.R.C. Table R4022

03300 CAST-IN-PLACE CONCRETE (cont.)

Division 4 MASONRY 04100 MORTAR Part 2 - Produc . Type "M" or "S" mortar with integral waterproofing agent per I.R.C. section R6062.1 Part 3 - Execution Per I.R.C. section R606.2 04150 MASONRY ACCESSORIES Part 2 - Product Anchors and Ties: To be corrosion-resistant metal ties per I.R.C. section R703.8.4. . Joint reinforcement: Standard strand no. 9 U.S. gage wire per I.R.C. section R703.8. Part 3 - Execution 1. Per I.R.C. Chapter 7. 04200 UNIT MASONRY Part 2 - Product Brick masonry: A. Exterior locations: name/mfq: 1. Coordinate with materials finish selection schedule (by others). B. Interior locations: name/mfd l. Coordinate with materials finish selection schedule (by others). C. Pavers/planters: name/mfq: 1. Coordinate with materials finish selection schedule (by others). 2. Concrete masonry units: grade N-I CMU, unless otherwise indicated sizes per drawings. A. Special units: I. Coordinate with materials finish selection schedule (by others). 3. Glass masonry units: (glass block) Per I.R.C. section R607. A. Exterior locations: name/mfg: Coordinate with materials finish selection schedule (by others). B. Interior locations: name/mfg: 1. Coordinate with materials finish selection schedule (by others). Part 3 Execution 1. Brick and Veneer A. Brick veneer shall be supported on footings, foundation, or other non-combustible supports. It shall have 15* felt backing and No. 9 gauge, non corrosive ties at 1 per each 2 s.f. of veneer. Provide I' minimum air space between veneer and backing. Provide approved flashing at base of veneer with 3/16' min, round weepholes at 33' o.c. max., located immediately above the flashing, extending from the air space to the exterior. Veneer shall support no load other than its own weight and the vertical dead lead of veneer above. Provide angle iron support at doors, windows, and other openings per R606.10. 2. Concrete masonru unit (CMU) A. Concrete masonry unit walls shall be constructed to conform to ASTM C90. It shall be laid up, reinforced, and anchored as shown on drawings, <u>04400 STONE</u> Part 2 - Product 1. As shown on drawings. A. Exterior locations: name/mfa: I. Coordinate with materials finish selection schedule (by others). B. Interior locations: name/mfg: l. Coordinate with materials finish selection schedule (by others). Part 3 Execution 1. Stone Veneer: Adhered per manufacturer's installation instructions and in accordance with I.R.C. RT03121 A. On exterior stud walls, adhered masonry veneer shall be installed: Minimum of 4 inches above the earth 2. Minimum of 2 inches above paved areas, or 3. Minimum of 1/2 inch above exterior walking surfaces which are supported by the same foundation that supports the exterior wall. B. Flashing at foundation: I. A corrosion-risistant screed or flashing of a minimum ØØ19-inch or 26-gage galvanized or plastic with a minimum vertical attachment flange of $3\frac{1}{2}$ inches shall be installed. END DIVISION 4 DIVISION 5 METALS 05050 METAL FASTENINGS Part 2 - Product 1. Bolts: Use sizes and shapes per dwgs, or as needed for intended purposes. Bolts, nuts and cut washers in contact with treated wood to be triple zinc ZMAX (GI85 per ASTM A653) hot dipped galvanized steel (ASTM 153 for Anchors). 05500 METAL FABRICATION Part 2 - Product . Handrails and guardrails: Provide in sizes and locations as shown per dwg. END DIVISION 5 Division 6 WOOD AND PLASTICS 06100 ROUGH CARPENTRY Part 2 - Product 1. Framing Lumber: Framing lumber shall be marked in conformance with the United States Dept. of Commerce, Standard Reference No. PS 20 (DOC PS 20) standards. All Kiln dried minimum 19%. END DIVISION -A. Joist and rafters: (2x6 and larger) Hem-Fir #2 or better. 3. Beams and stringers: (4x and larger) Doug-Fir #2 or better. Post and timbers: Doug-Fir #1. . Studs, plates, and misc. light framing: Hem-Fir *2 or better. 'I' Joists and Engineered beams: Per manufacturer. . Glue laminated timber: 1. Simple span: 24F V4 DF/N3WN 2. Continuous or cantilever: 24F V8 DF/DF G. All other lumber: Hem-Fir Standard or better. H. Plywood/oriented strand board (O.S.B.): APA graded. . Wall sheathing: see 'TYPICAL BUILDING MATERIALS' list on the dwas J. Floor sheathing: see 'TYPICAL BUILDING MATERIALS LIST'on the dwg. K. Other: As noted on drawings. .. All wood members in contact with exposed concrete to be pressure treated members. 2. Particle Board: A.P.A. graded A. Underlayment 1. Floors: 5/8" (U.N.O.) 2. Sheet vinyl: 1/4" (U.N.O.) see division 9 3. Cabinet surfaces 3/4" (UN.O.) Trusses: A. Prefabricated connector plate wood roof trusses shall be designed and stamped by the manufacturer in accordance with the "design specification for metal plate connected wood trusses". Design drawings and details to be available upon request.

4. Fasteners and adhesives: All nails shall be common wire of sizes for intended purpose per I.R.C. table R602.3(1). Attach timber joists to flush headers and beams with Simpson 'U' hanger series or equal to suit intended purpose. Simpson connectors at other locations as outlined per drawings. Bolt heads, nuts, and cut washers per Division 5. Connectors and fasteners in contact with treated wood to be triple zinc ZMAX (G185 per ASTM A653) hot dipped galv. steel (ASTM 153 for Fasteners), stainless steel, silicone bronze, or copper as required per dugs. 5. Post to mat footing connection. Provide pressure treated post and positive connection to ooting per I.R.C. section 502.9.

D. Field alterations of truss must be designed by manufacturer.

C. Roof design, layout, loading, and bracing shall be by manufacturer.

6. All exposed glue laminated wood, if not protected by a roof or eave, must be

B. See 'Roof Framing Notes' on drawings.

preservative-treated. Part 3 - Execution

1. The following will apply unless shown on drawings. All wood framing details shall be constructed to the minimum standards in the I.R.C. All framing shall conform to the requirements of Chapters 5.6, and 8 of the I.R.C. Minimum nailing shall conform to table R602.3(1) of the I.R.C. Height and spacing of studs shall conform to table R602.3(5) of the I.R.C. 06200 FINISH CARPENTRY Part 2 - Product

- . Cabinets: A. Coordinate with materials finish selection schedule (by others). Millwork and casing: A. Coordinate with materials finish selection schedule (by others).
- 3. Paneling: A. Coordinate with materials finish selection schedule (by others). 4. Stair and handrail by:
- A. Coordinate with materials finish selection schedule (by others). B. See division Ø1002.7 misc. assembly requirements.
- Bookcases and built-in shelves: A. Coordinate with materials finish selection schedule (by others). 6. Plastic laminate and solid surface material:
- A. Coordinate with materials finish selection schedule (by others).

END DIVISION 6

Division 7 THERMAL AND MOISTURE PROTECTION

01150 WATER PROOFING & DAMP PROOFING Part 2 - Product . Per I.R.C. section R406.

Part 3 - Execution I. Per I.R.C. section R406.

<u>Ø1190 VAPOR AND AIR RETARDER</u> Part 2 - Product

1. Ground cover: 6 mil polyethylene: black, with 12" minimum lap. 2. Building wrap: see the 'TYPICAL BUILDING MATERIALS' list on the drawings.

Part 3 - Execution 1. See Division 17, Energy Requirements.

07200 INSULATION

Part 2 - Product

. Fiberalass or mineral wood batts, bloom mineral wool, and extruded polystyrene: A. Walls: 1. See the "TYPICAL BUILDING MATERIALS" list on the dwgs.

B. Ceiling: I. See the 'TYPICAL BUILDING MATERIALS' list on the dwgs. C. Floor: I. See the 'TYPICAL BUILDING MATERIALS' list on the dwgs. D. Slab on Grade: R-10 (per W.S.E.C. Table R402.1.1).

- 2. Insulating foam: A. Standard sealant foam.
- Part 3 Execution

See division I7: energy requirements 2. Provide insulation markers for blown-in or sprayed insulation every 300 sq ft. Markers shall face the attic access per IECC Sec 303.1.1. 3. Crawl Space/Cantilevered floors: Insulation shall be installed to maintain permanent contact with the underside of the sub-floor decking. Insulation

supports shall be installed so spacing is no more than 24" on center. Cantilevered floor vents shall be placed below the lower surface of the floor insulation.

01300 ROOFING MATERIAL Part 2 - Product

Shinales and roofing tiles A. See the 'TYPICAL BUILDING MATERIALS' list on the drawings Membrane roofing: A. 3-ply hot mopped

Part 3 - Execution . Install per manufacturer's recommendation and Chapter 9 of the I.R.C.

01460 SIDING MATERIAL

Part 2 - Product Siding: A. See the 'TYPICAL BUILDING MATERIALS' list on the drawings. Trim: A. See the 'TYPICAL BUILDING MATERIALS' list on the drawings." 3. Soffits: A. See the 'TYPICAL BUILDING MATERIALS' list on the drawings. 4. Other: A. See the "TYPICAL BUILDING MATERIALS" list on the drawing

Part 3 - Execution 1. Install per manufacturer's recommendation and Chapter 7 of the I.R.C.

01600 FLASHING AND SHEET METAL

Part 2 - Product 1. Min. 26 Gauge galvanized, prefinished.

Part 3 - Execution

1. Install per Chapter 7 and 9 of the I.R.C.

A) Flashing against a vertical sidewall shall be by the step-flashing method. The flashing shall be a minimum of 4" high and 4" wide. At the end of the vertical sidewall the step flashing shall be turned out in a manner that directs water away from the wall and onto the roof and/or autter, Per I.R.C. R903.2.1

01100 ROOFING SPECIALTIES

Part 2 - Product Vents:

A. Ridge vent: manufactured by: . Coordinate with materials finish selection schedule (by others).

- B. Mushroom vent: manufactured by: 1. Coordinate with materials finish selection schedule (by others).
- 2. Gutters: A. Continuous alum. precoated:
- 1. Style: K profile
- 2. Color: Match fascia Downspouts:
- A. 2x3 rectangular aluminum precoated:
- 1. Color: Match fascia 4 trim B. Tie to I drain system.

01800 SKYLIGHTS

Part 2 - Product . Skylights to conform with I.R.C. section R308.6.

Manufacturer: A. Coordinate with materials finish selection schedule (by others).

01900 SEALANTS AND CAULKING

Part 2 - Product

. Caulking A. Styrene butadene caulking (SBR) I. Color: Match siding

Division 8 DOORS AND WINDOWS

08200 WOOD DOORS (Lower Level, Main Level, Upper Level)

Part 2 - Product Panel wood doors: A. Coordinate with materials finish selection schedule (by others).

2. Flush wood doors: A. Coordinate with materials finish selection schedule (by others). 3. Stile and rail(store door): A. Coordinate w/materials finish selection schedule (by others). . Patio door: A. Coordinate with materials finish selection schedule (by others). Other: A. Coordinate with materials finish selection schedule (by others).

08300 SPECIALTY DOORS

Part 2 - Product I. Sliding glass door:

A. Coordinate with materials finish selection schedule (by others).

2. Garage door: (make/style): (see division 11450) A. Coordinate with materials finish selection schedule (by others).

08600 WOOD/VINYL WINDOWS

Part 2 - Product . Note: Egress -

A. Every sleeping room shall have at least one operable window with a net clear opening of 5.7 s.f. The net clear opening height shall be a minimum of 24", with a minimum net clear width of 20", and a finished sill height of not more than 44" above the floor, per I.R.C. section R310. B. Safety glaze per I.R.C. section R308.

- C. See plans for egress and operation. Manufactured by:
- A. Color: I. Coordinate with materials finish selection schedule (by others). B. Style: 1. Coordinate with materials finish selection schedule (by others).

08100 HARDWARE Part 2 - Product

Type: A. Coordinate with materials finish selection schedule (by others). Weather Stripping: A. Coordinate with materials finish selection schedule (by others). Thresholds: A. Coordinate with materials finish selection schedule (by others).

<u>08800 GLAZING</u>

Part 2 - Product Glass thickness to be determined by size and wind loading per I.R.C. section R308. 2. Safety glaze per I.R.C. section R308. 3. Mirrors to be silvered 1/4" float plate glass.

END DIVISION 8

Division 14 CONVEYING SYSTEMS

END DIVISION 13

5. Wonderboard or duroc at all tile locations (UN.O.) 6. Metal corner bead profile: l. Coordinate with materials finish selection schedul Part 3 - Execution 1. Apply as required in I.R.C. Chapter 7 and Table R702.1(3

Part 3 - Execution 1. Refer to manufacturer's recommendations <u>09550 WOOD FLOORING</u> Part 2 - Products 1. Type:

<u>Ø9680 CARPETING</u> Part 2 - Products 1. Carpet and Pad:

1. Painting over prepared surface per manufacturer's reco A. Coordinate with materials finish selection schedule <u>Ø9950 WALL COVERINGS</u> Part 2 - Products 1. Type: A. Coordinate with materials finish selection sche

Division 10 SPECIALTIES

10200 LOUVERS AND VENTS Part 2 - Products

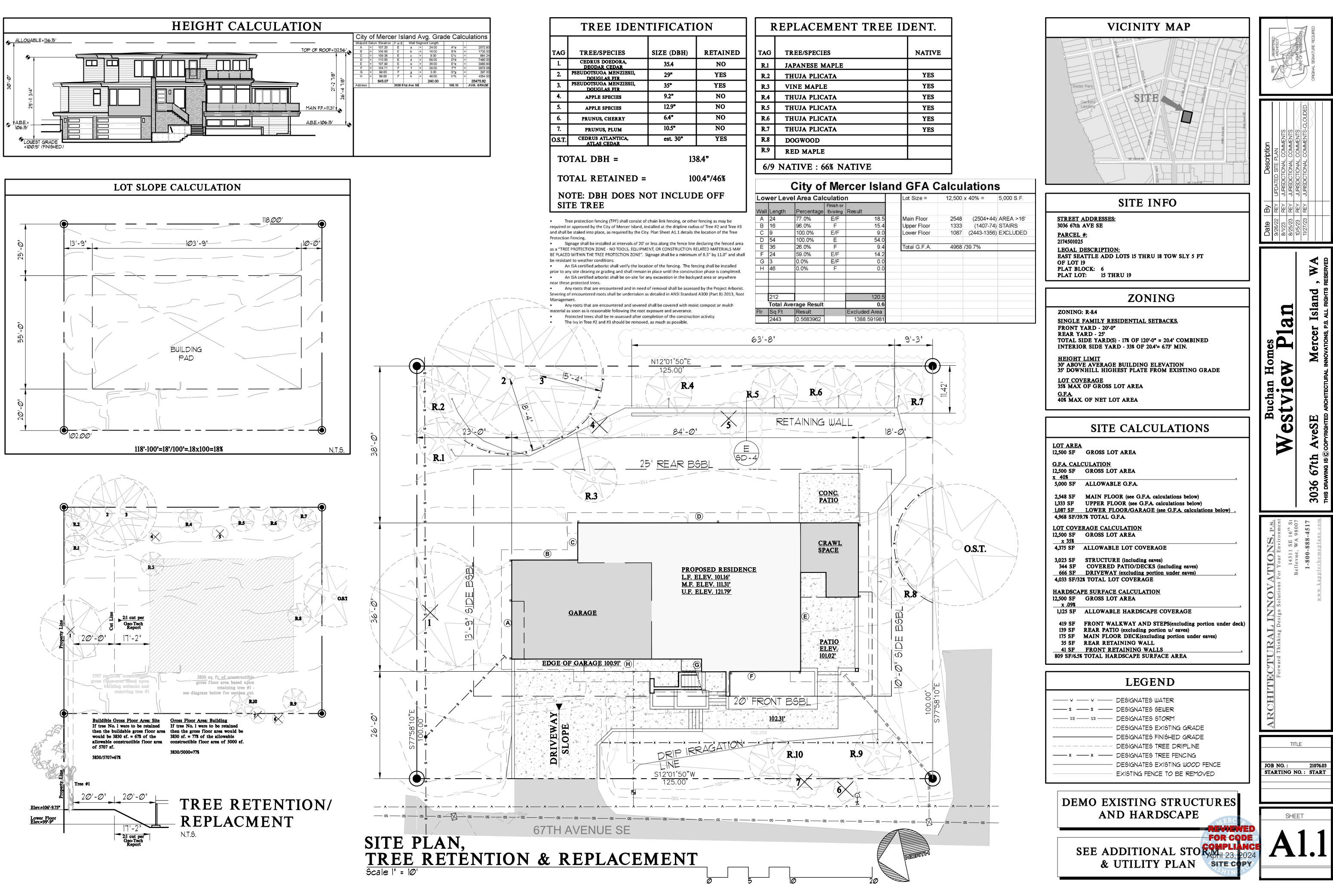
Part 2 - Products I. Location/Model/Accessories: A. Coordinate with materials finish selection schedule (

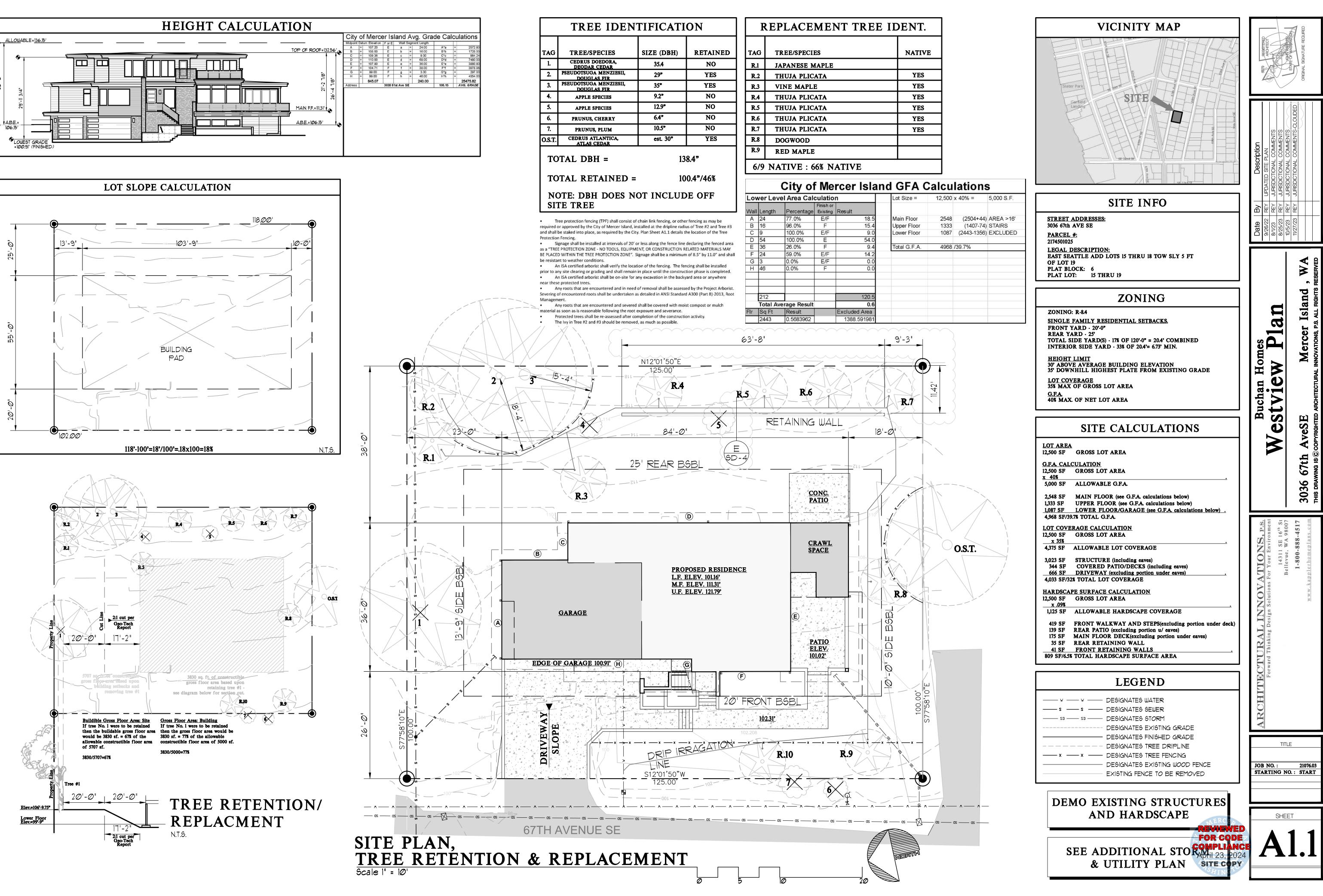
Part 2 - Products

10800 TOILET AND BATH ACCESSORIES Part 2 - Products

10900 WARDROBE AND CLOSET SPECIALTIES Part 2 - Products

| ivision 9 Ni6HE6 | Division 15 MECHANICAL | HITECT HITECT ASHING ON |
|--|--|---|
| | 15000 GENERAL | ARCHIST ARCHIS |
| <u>9250 GYPSUM WALLBOARD</u> art 2 - Product Walls: See the 'TYPICAL BUILDING MATERIALS' list on the drawings. | Part I - General 1. Mechanical system to be bidder design. 2. Regulatory requirements: | |
| A. Finish: 1. Coordinate with Contractor/Owner material selections. Ceiling: See the 'TYPICAL BUILDING MATERIALS' list on the drawings. | A. Refer to Division I General Requirements. B. See plans for total maximum Btu. | BRGINAL AS |
| A. Finish: 1. Coordinate with materials finish selection schedule. Wall and ceiling finishes shall have a flame spread index of not greater than 200, and a noke-developed index of not greater than 450 per I.RC. R302.9. | C. Heating and cooling equipment shall be sized based on building loads calculated in accordance with ACCA manual J or other approved heating and cooling calculation methodologies. Per MI401.3 | i i i i i i i i i i i i i i i i i i i |
| Code required areas: A. Type 'X: GWB as required. I. See division ØlØ02 misc. assembly requirements. | Contractor work out plumbing and HVAC diagram layout. Coordinate with other trades. | |
| B. Waterproof GWB as req'd at wet or damp locations per I.R.C. section RT02.4.2. Wonderboard or duroc at all tile locations (UN.O.) | <u>15400 PLUMBING</u> Part 2 - Product | CLOUDED |
| . Metal corner bead profile: 1. Coordinate with materials finish selection schedule. | Pipes and Fittings: A. Waste \$ soil: ABS plastic of sizes req'd for the intended purpose. I. Provide cast iron with compression neoprene joints per locations shown on the | NTS NTS NTS-C |
| art 3 - Execution Apply as required in I.R.C. Chapter 7 and Table R702.1(3). Nail or screw in place per table. | drawings. 2. Provide clean-outs at bends. B. Vents: ABS | ription COMMENTS COMMENTS COMMENTS |
| <u>9300 TILE</u> art 2 - Product | C. Gas: Per code, verify location of appliances. 1. Provide an approved earthquake shutoff valve installed in the building supply line | Description ET IONAL COMM IONAL COMM IONAL COMM IONAL COMM |
| Ceramic, quarry, and marble tiles: A. Coordinate with materials finish selection schedule (by others). | immediately after the gas meter. The valve shall be located outside of the structure and be accessible. D. Water Line: | CTION DE CATON |
| art 3 - Execution Refer to manufacturer's recommendations. | 1. Below Grade: 1 1/4" type K with/hard solder 2. Above Grade: Type L w/soft solder | Descr PERMIT SET JURISDICTIONAL JURISDICTIONAL JURISDICTIONAL JURISDICTIONAL |
| 2550 UOOD FLOORING art 2 - Products I. Type: A. Coordinate with materials finish selection schedule (by others). | Plumbing equipment: A. Hot water heater: (Duals in tandem) I. Size per U.P.C. 501 and Table 501.1 and jurisdictional amendments. | |
| 3650 RESILIENT FLOORING | Coordinate with owner's material selection (by others). B. Hose bib, frost proof type: Mansfield units | BV BV REY |
| art 2 - Products I. Type: A. Coordinate with materials finish selection schedule (by others). | C. Main shut-off valve in garage. D. Plumbing fixtures 1. Coordinate with owners material selection (by others). 3. Irrigation: (bidder design) | Date 10/12/22 8/1/23 10/5/23 11/27/23 |
| 3680 CARPETING art 2 - Products I. Carpet and Pad: | A. Provide 'T' connection in main line in garage by main shut-off valve with separate shut-off and drain valve. | |
| A. Coordinate with materials finish selection schedule (by others). 9900 PAINTING art 2 - Products | <u>15400 PLUMBING</u> (cont.) 4. Automatic Sprinkler System: (bidder design) | |
| art 2 - Products Painting over prepared surface per manufacturer's recommendations A. Coordinate with materials finish selection schedule (by others). | Part 3 - Execution 1. The installer to design the system to appropriate jurisdictional requirements and function in | NA |
| 9350 WALL COVERINGS art 2 - Products Type: A. Coordinate with materials finish selection schedule (by others). | a manner consistent with industry standards. Refer to general requirements. | |
| Type: A. Coordinate with materials finish selection schedule (by others). | <u>15500 HVAC</u> Part 2 - Product I. Forced Air: | |
| | A. Furnace system: 1. Coordinate with materials finish selection schedule (by others). | slane |
| I∨Ision lØ PECIALTIES | B. Duct work and insulation: 1. Coordinate with materials finish selection schedule (by others). C. Air cleaner: | |
| 200 LOUVERS AND VENTS | l. Coordinate with materials finish selection schedule (by others). D. Controls: | |
| art 2 - Products Hardware cloth screen 1/4" x 1/4" on soffit vents as detailed. Continuous 2" performed metal soffit vent as detailed. | Coordinate with materials finish selection schedule (by others). Registers with adjustable supply: Coordinate with materials finish selection schedule (by others). | v PI |
| Roof vent (See Division Ø1700) Other vents as noted per plans. | F. Provide firestopping at 'B' vent location per I.R.C. sections R302.11. 2. Fans: see division IT energy requirements. 3. See floor plans for libele Journe Ventilation requirements. | Hom 2210 Me |
| 300 PREFABRICATED FIREPLACES art 2 - Products | See floor plans for Whole House Ventilation requirements. Vents: Coordinate with materials finish selection schedule (by others). | |
| Location/Model/Accessories: A. Coordinate with materials finish selection schedule (by others). art 3 - Execution | 5. Exhaust Ducts: A. Terminate outside building and equip with backdraft dampers per I.R.C. section MI507.3.3. | uchan H LViev mit no. 2 |
| See division Ø1002.12 for misc. assembly requirements for fireplaces. | Dryer Ducts: A. Cloths Dryers shall be exhausted in accordance with manufactures instructions \$ I.R.C. | |
| 400 IDENTIFYING DEVICES art 2 - Products | M1502. B. Protective shield plates shall be placed per I.R.C. M1502.5. | |
| Building numbers: A. Coordinate with materials finish selection schedule (by others). art 3 - Execution | Part 3 - Execution 1. The installer to design the system to appropriate jurisdictional requirements and function in a manner consistent with industry standards. Refer to general requirements. | |
| Install in location per jurisdictional requirements. | a marmai consistant whith moustly standards. Refer to general requirements. END DIVISION 15 | |
| <u>200 TOILET AND BATH ACCESSORIES</u> art 2 - Products Toilet and bath accessories: | Division 16 ELECTRICAL | |
| A. Coordinate with materials finish selection schedule (by others). 1900 WARDROBE AND CLOSET SPECIALTIES | | |
| art 2 - Products Storage Closet: | Part I - General 1. Electrical systems to be bidder designed. | 36 67 |
| A. Coordinate with materials finish selection schedule (by others). Clothes Closets: A. Coordinate with materials finish selection schedule (by others). | Regulatory requirements: refer to Division I - General Requirements. Contractor to provide electrical diagramming layouts, design circuitry: follow lighting plan if provided. | 3036 |
| Pantry. ND DIVISION 10 | A. Coordinate with other trades. | m ł |
| ivision II | Part 2 - Product 1. Wire and Boxes. | st s |
| QUIPMENT | A. Volt: 12 6A (3) Wire 1. GFI @ Damp Locations B. Low voltage: standard type | 6 th 980 |
| 210 MAINTENANCE EQUIPMENT art 2 - Products Vacuum cleaning sustem | 2. Panels: Circuit breaker box fully labeled A. Capacity: Bidder Design | ATTIONS, is For Your Enviro 14311 SE 1 Bellevue, WA 1-800-888- kapplerhomeplan |
| Vacuum cleaning system: A. Coordinate with materials finish selection schedule (by others). | B. Circuitry: Bidder Design 3. Grounding: A. Provide (1) 2 1/2" schedule 80 PVC conduit at concrete stem wall for electrical service | our E our E evue, 800- |
| 150 RESIDENTIAL EQUIPMENT art 2 - Products Garage door opener(s). | and (1) 5/8' diameter x 8'0' long galvanized rod (4 Ufer ground) for electrical grounding. 4. Smoke Detectors: A. Provide and install per I.RC. section R314. | ATTO For Your 1431 Bellevue 1-800 pplerhom |
| A. Coordinate with materials finish selection schedule (by others). Ironing board cabinet (or drawer). | 5. Fire alarm: A. Provide and install per N.E.C. and as required by governing fire marshal. | VA ons F |
| A. Coordinate with materials finish selection schedule (by others). Free-standing appliances: A. Coordinate with materials finish selection schedule (by others). | Part 3 - Execution 1. The installer to design the system to appropriate jurisdictional requirements and function in | Solutions www.ka |
| ND DIVISION II | a manner consistent with the industry standards. Refer to general requirements and I.R.C. 16200 COMMUNICATIONS | |
| ivision 12 RNISHINGS | Part 2 - Product 1. Intrusion alarm and security detection systems: A. Coordinate with materials finish selection schedule (by others). | L LIN Besign |
| 500 WINDOW TREATMENT | Phone system: A. Coordinate with materials finish selection schedule (by others). | AAI nking |
| art 2 - Products Window treatment: A. Coordinate with materials finish selection schedule (by others). | Intercommunication systems: A. Coordinate with materials finish selection schedule (by others). Stereo system: | Thi |
| ID DIVISION 12 vision 13 | A. Coordinate with materials finish selection schedule (by others). 16500 | rward |
| VISION 12 ECIAL CONSTRUCTION | LIGHTING Part 2 - Product | Forward |
| <u>50 POOLS</u> art 2 - Products 1. Bidder design | 1. Fixtures: 1. Coordinate with materials finish selection schedule (by others). Note: A minimum of 90% of all luminaries shall be high efficiency per W.S.E.C. R404.1. | III I |
| 56 HOT TUB art 2 - Products | Control: A. Switches: I. Coordinate with materials finish selection schedule. Dimmers: I. Coordinate with materials finish selection schedule (by others). Boxes: I. Coordinate with materials finish selection schedule (by others). | CHI |
| By: A. Coordinate with materials finish selection schedule (by others). | 5. Other: 1. Coordinate with materials finish selection schedule (by others). | IR |
| D DIVISION 13 | Part 3 - Execution 1. The installer to design the system to appropriate jurisdictional requirements and function in a manner consistent with the industry standards. Refer to general requirements. | |
| vision 14 NVETING SYSTEMS | END DIVISION IG | TITLE |
| 00 DUMBWAITER | Division IT ENERGY REQUIREMENTS | |
| rt 2 - Products Dumbwaiter: A. Manufacturer/model number: 1. Coordinate with materials finish selection schedule (by others). | | JOB NO. : 21076.21 STARTING NO. : 21076.05 |
| ND DIVISION 14 | WASHINGTON STATE ENERGY CODE: General Notes: Den 1965: 0.000 d. The lowing the state of the limit the site letter of the si | |
| | l. Per WSEC R402.4. The building Envelope shall be constructed to limit the air leakage rate not to exceed 5 air changes per hour. The results of the test shall be signed by the party conducting the test and provided to the code official (R402.4.12). | |
| | 2.Per WSEC R403.1.1. at least one thermostat per dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule. | |
| | 3.Per USEC R403.32. ducts, air handlers, and filter boxes shall be sealed. | SHEET |
| | | |
| | FOR COL | |
| | | |





LEGAL DESCRIPTION

LOTS 15, 16, 17, 18 AND THE SOUTHERLY 5 FEET OF LOT 19, BLOCK 6, EAST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGES 22 AND 23, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THAT PORTION THEREOF LYING WITHIN MERCER ISLAND ROAD (67TH AVENUE SE)

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARING

RECORD OF SURVEY BY TERRANE FOR JAYMARC HOMES, RECORDED ON JULY 26, 2021, IN VOLUME 451 OF SURVEYS, PAGE 259, UNDER RECORDING NO. 20210726900027, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM & CONTROL INTERVAL ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION

THE MARK IS A MONUMENT IN CASE AT THE INTERSECTION OF 68TH AVENUE SE W AND SE 32ND STREET.

POINT ID NO. 47746; ELEVATION: 112.571 FEET - NAVD 88

PROVIDED BY THE CITY OF MERCER ISLAND.

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.

SURVEY NOTES

- 1. THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- 2. INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- 3. THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN AUGUST 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- 4. UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- 5. ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

SITE DATA

| HIGHEST ELEVATION OF LOT: | 118.25 | | |
|---------------------------|-------------|--------------------|----------------|
| LOWEST ELEVATION OF LOT: | 98.66 | | |
| LOT SLOPE: | 19.3% | | |
| TOTAL SITE AREA: | 12,500 | SF | |
| ALLOWED LOT COVERAGE: | 40% | | |
| PROPOSED LOT COVERAGE * | 3,899 | SF (31.2%) | |
| PROPOSED HARDSCAPE | 581 | SF (4.6%) | |
| PROJECT IMPERVIOUS AREA: | 4,480 | SF (35.8%) | |
| * LOT COVERAGE INCLUDES | THE COMBINA | TION OF BUILDINGS, | INCLUDING EAVE |

ES AND ROOF OVERHANGS, AND VEHICULAR DRIVING SURFACES AS DEFINED PER MIMC 19.16.010

OWNER / ARCHITECT

WILLIAM E. BUCHAN INC. 2630 116 AVE NE #100 BELLEVUE, WA 98004 (425) 831–5503 CONTACT: DAVID STAVE

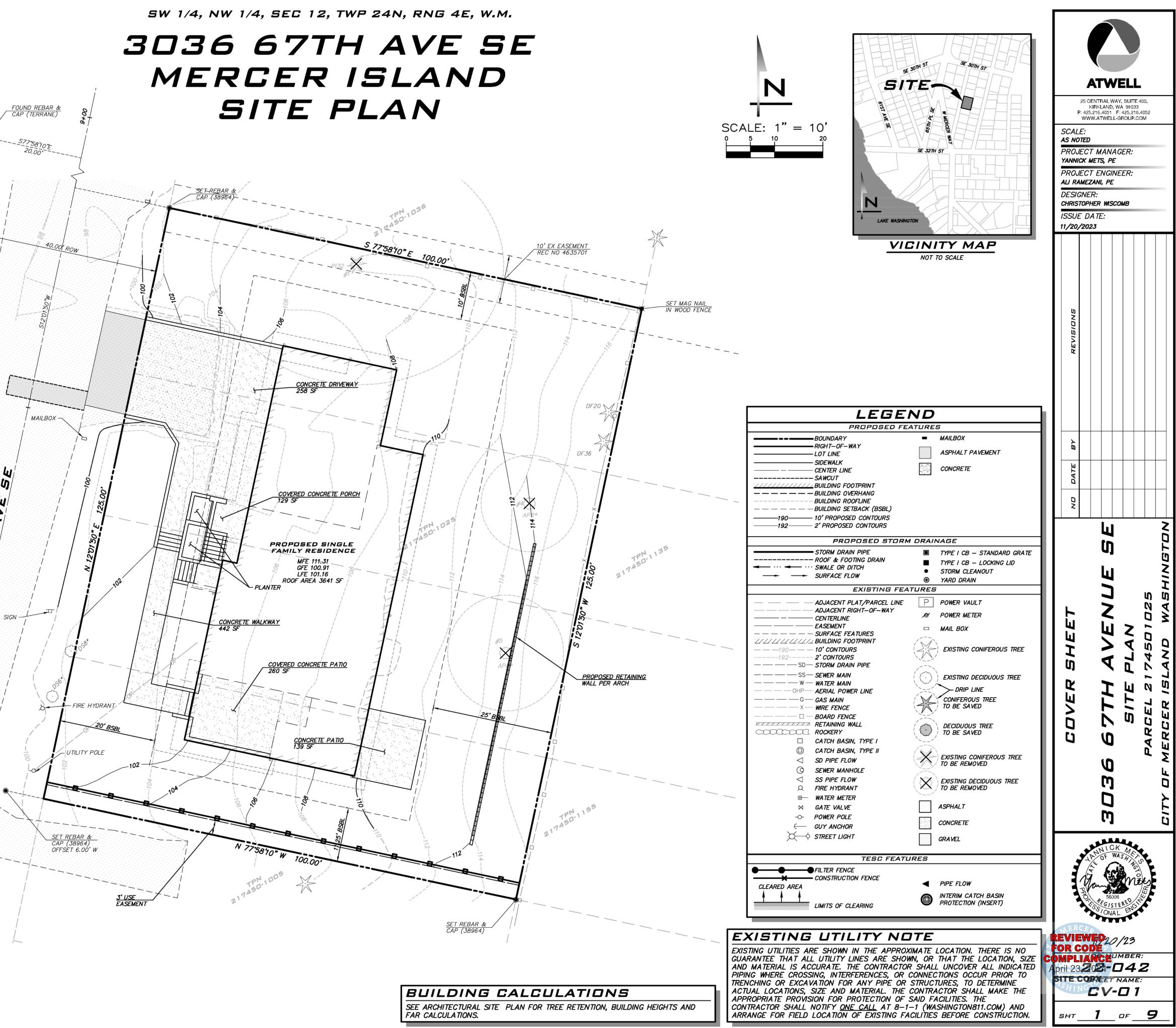
ENGINEER

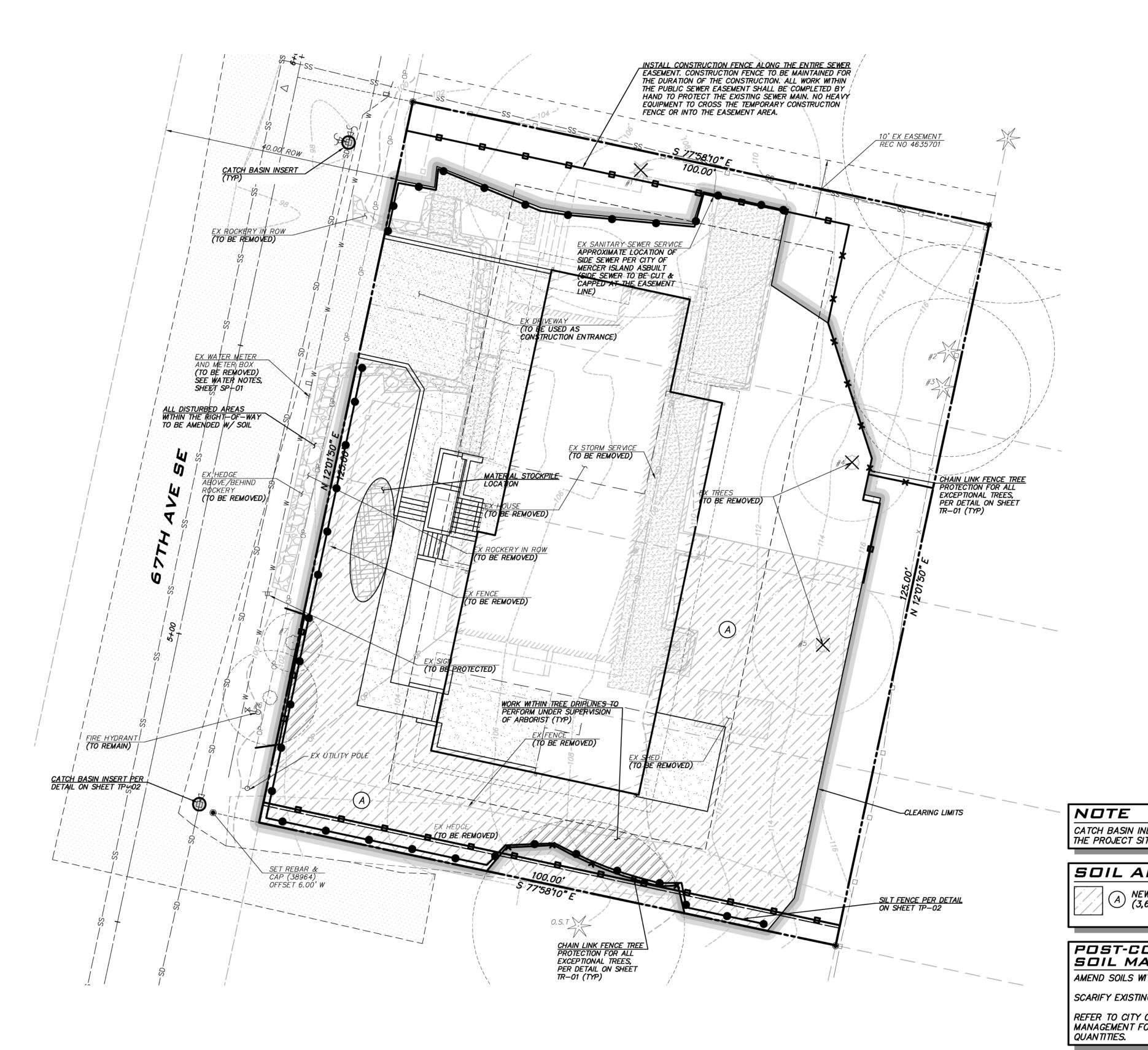
THE BLUELINE GROUP 25 CENTRAL WAY, SUITE 400 KIRKLAND, WA 98033 (425) 250–7262 CONTACT: YANNICK METS, PE

GEDTECH ENGINEER

TERRA ASSOCIATES, INC 12220 113TH AVE NE, SUITE 130 KIRKLAND, WA 98034 (425) 821-7777 CONTACT: CAROLYN S. DECKER, PE

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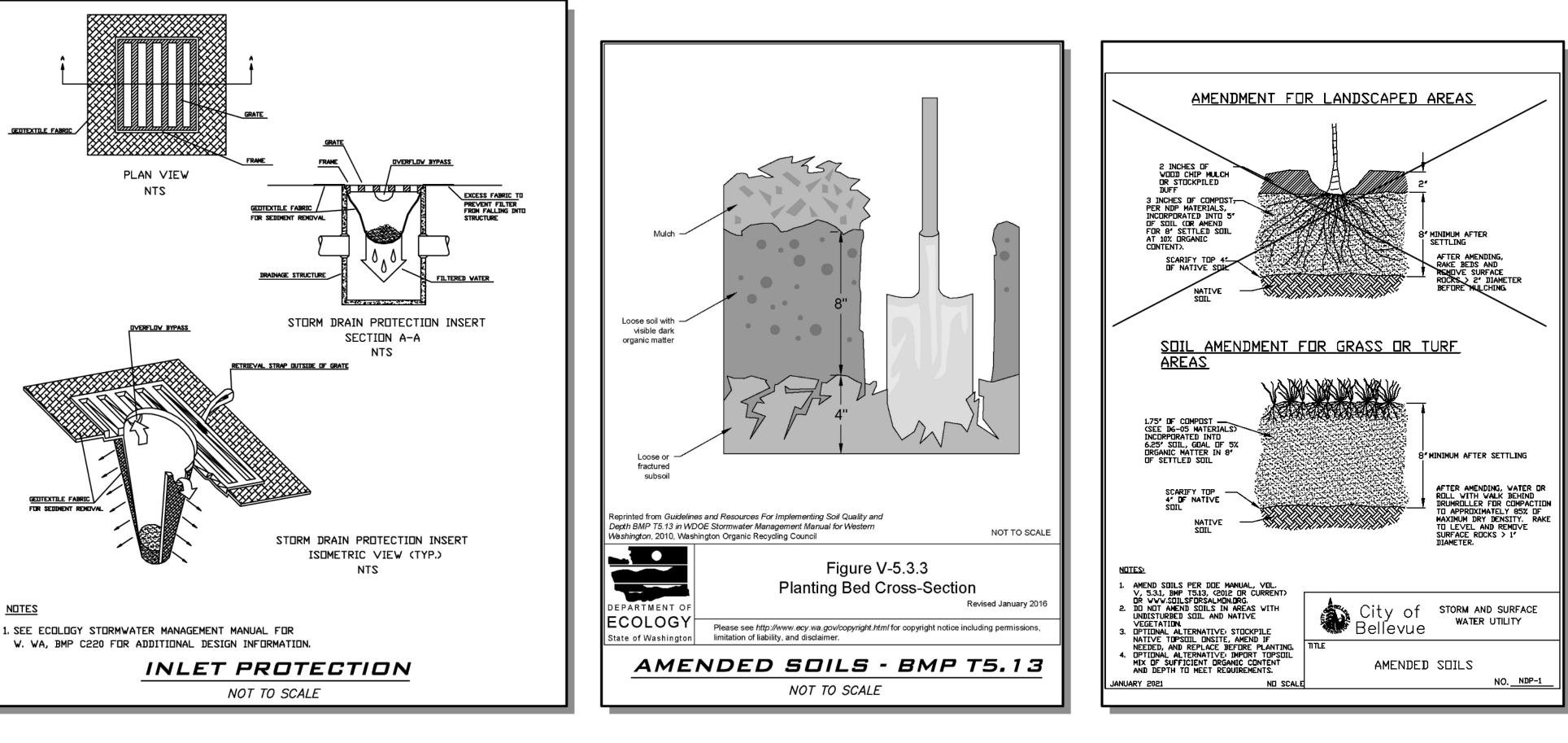


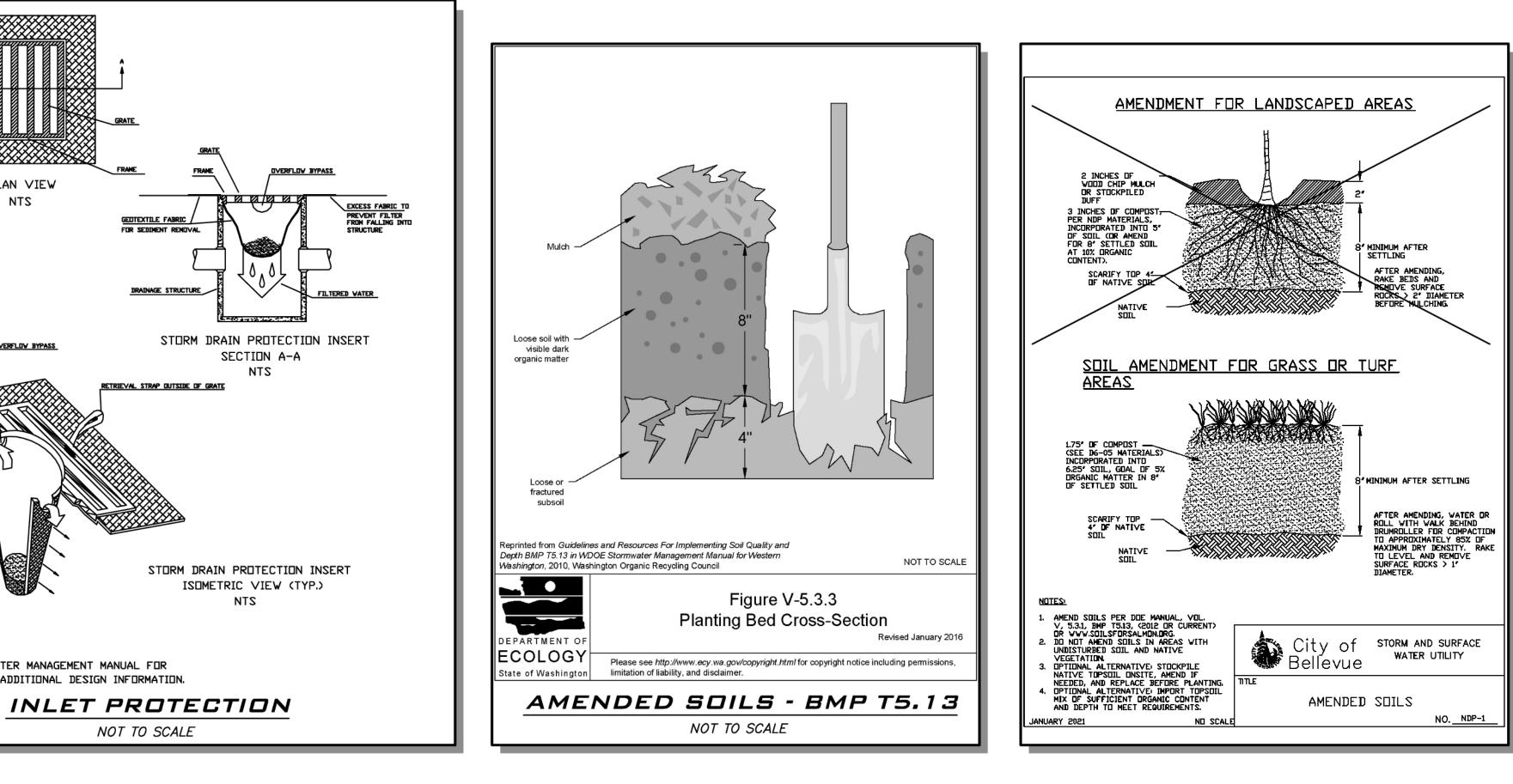
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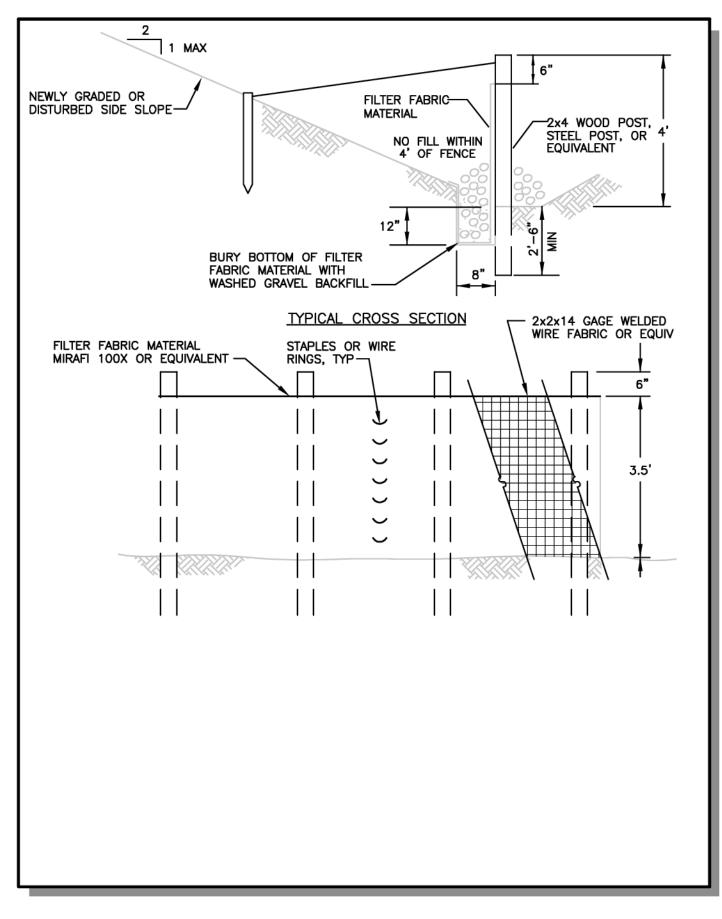
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| NOTE CATCH BASIN INLET PROTECTION TO BE INSTALLED UP TO 250' DOWNSTREAM OF THE PROJECT SITE. SOIL AMENDMENT LEGEND Image: | TESC | 3036 67TH SITE PARCEL 2 |
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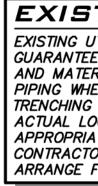
TESC - PLAN NOTES

- 1. THE APPROVED CONSTRUCTION SEQUENCE SHALL BE AS FOLLOWS: A. CONDUCT PRE-CONSTRUCTION MEETING.
- B. FLAG OR FENCE CLEARING LIMITS.
- C. POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR. D. INSTALL CATCH BASIN PROTECTION IF REQUIRED.
- E. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
- F. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- G. CONSTRUCT SEDIMENT PONDS AND TRAPS. H. GRADE AND STABILIZE CONSTRUCTION ROADS.
- I. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
- J. MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. K. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE
- CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS. L. COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH,
- COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.
- M. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS. N. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS. O. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND
- BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF
- ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.). 3. THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE,
- REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED. 4. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF
- CONSTRUCTION. THE TESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN 5. CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
- 6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY. MORE TESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
- 7. THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NÉCESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.
- 8. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT. 9. ALL DENUDED SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING,
- MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES: APRIL 1 TO OCTOBER 31 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING. NOVEMBER 1 TO MARCH 31 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. 10. AT NO TIME SHALL MORE THAN 1' OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A
- CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM. 11. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF
- CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- 12. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.
- WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
- 14. WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY ERÓSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2".
- 15. ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.
- 16. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
- 17. THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY OF MERCER ISLAND INSPECTOR. 18. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER
- CONSTRUCTION IS IN PROGRESS. 19. ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 4' HIGH TEMPORARY CONSTRUCTION FENCE (CYCLONE OR PLASTIC MESH) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED
- BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL A DWELLING IS CONSTRUCTED AND OWNERSHIP TRANSFERRED TO THE FIRST OWNER/OCCUPANT. 20. CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING
- CONTROL FENCE SHALL CONSIST OF A 6-FT. HIGH CHAIN LINK FENCE ADJACENT THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE, IF APPROVED BY THE CITY. A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.
- 21. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.
- 22. ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A "FILTER FABRIC SOCK" OR EQUIVALENT.
- 23. THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF MERCER ISLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.
- 24. ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40 %-70 % PASSING; 2"-4" ROCK/30 %-40 % PASSING; AND 1"-2" ROCK/10 %-20 % PASSING.
- 25. IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY. 26. ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT
- DEPOSITION AND RUNOFF. 27. DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE
- SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.
- 28. PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.









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22-042

SHEET NAME:

TP-02

FOR COD COMPLIANCE

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ATWELL

25 CENTRAL WAY, SUITE 400,

KIRKLAND, WA 98033

P: 425.216.4051 F: 425.216.4052 WWW.ATWELL-GROUP.COM

PROJECT MANAGER:

PROJECT ENGINEER:

CHRISTOPHER WISCOMB

YANNICK METS, PE

ALI RAMEZANI, PE

DESIGNER:

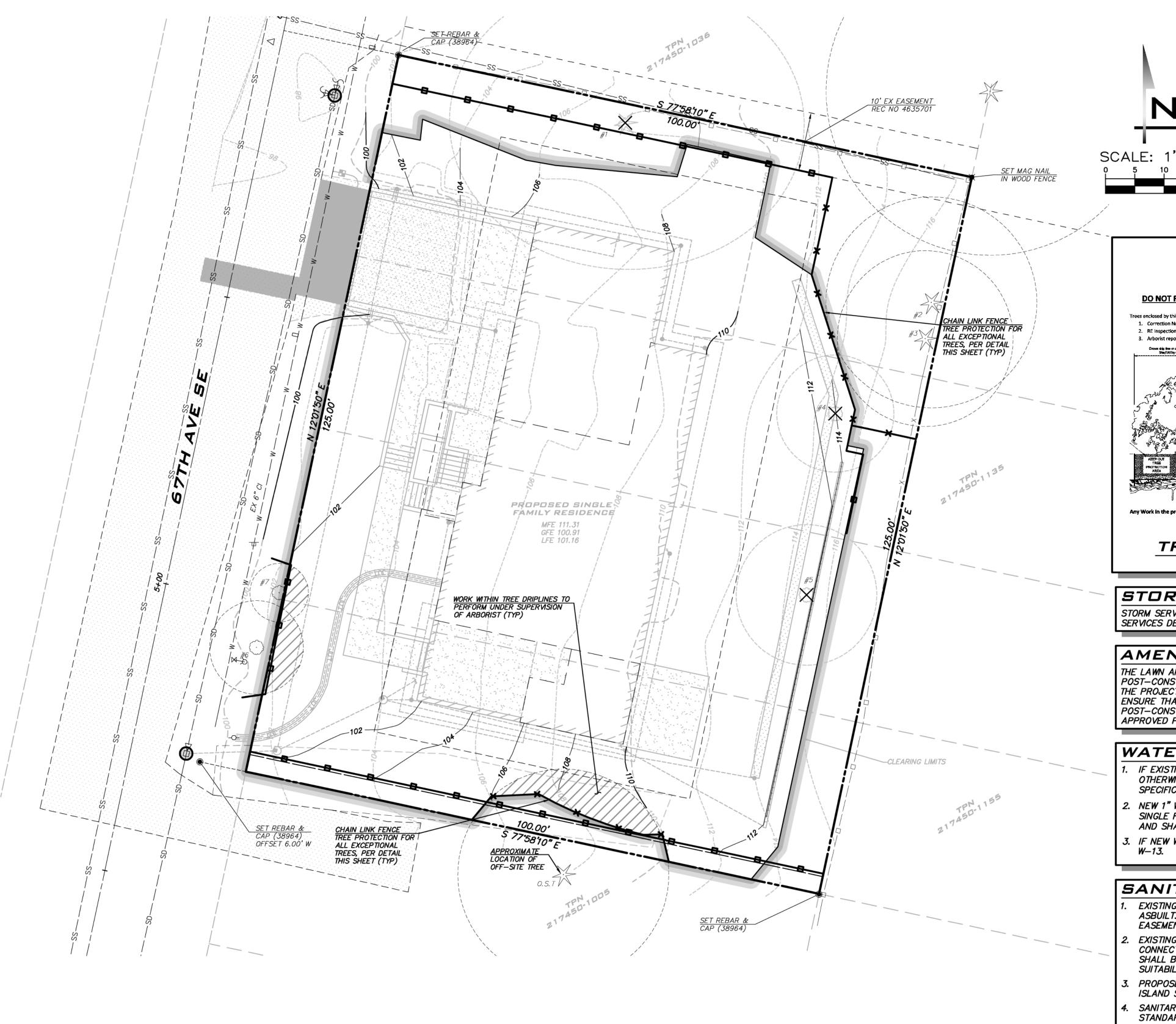
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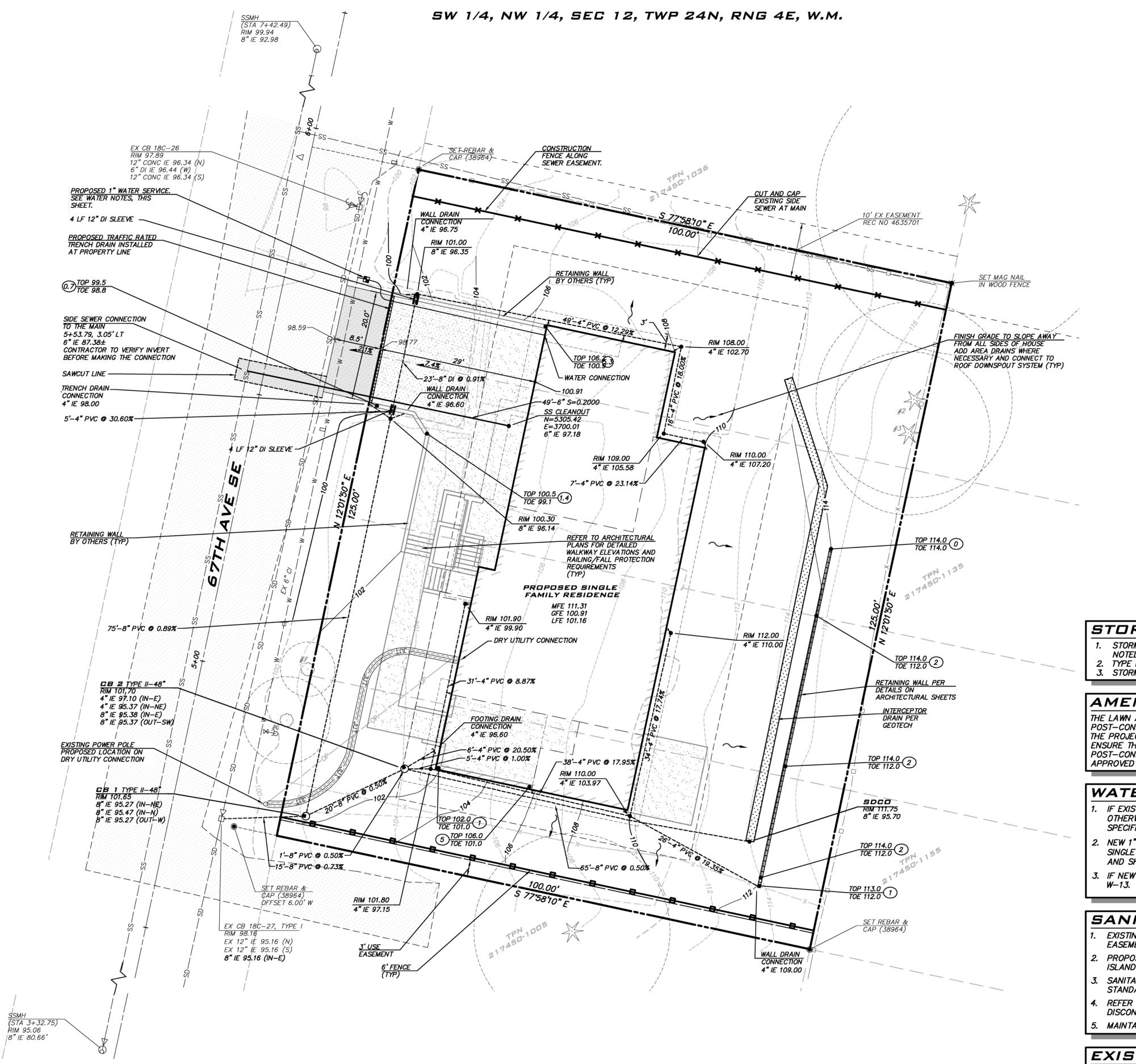
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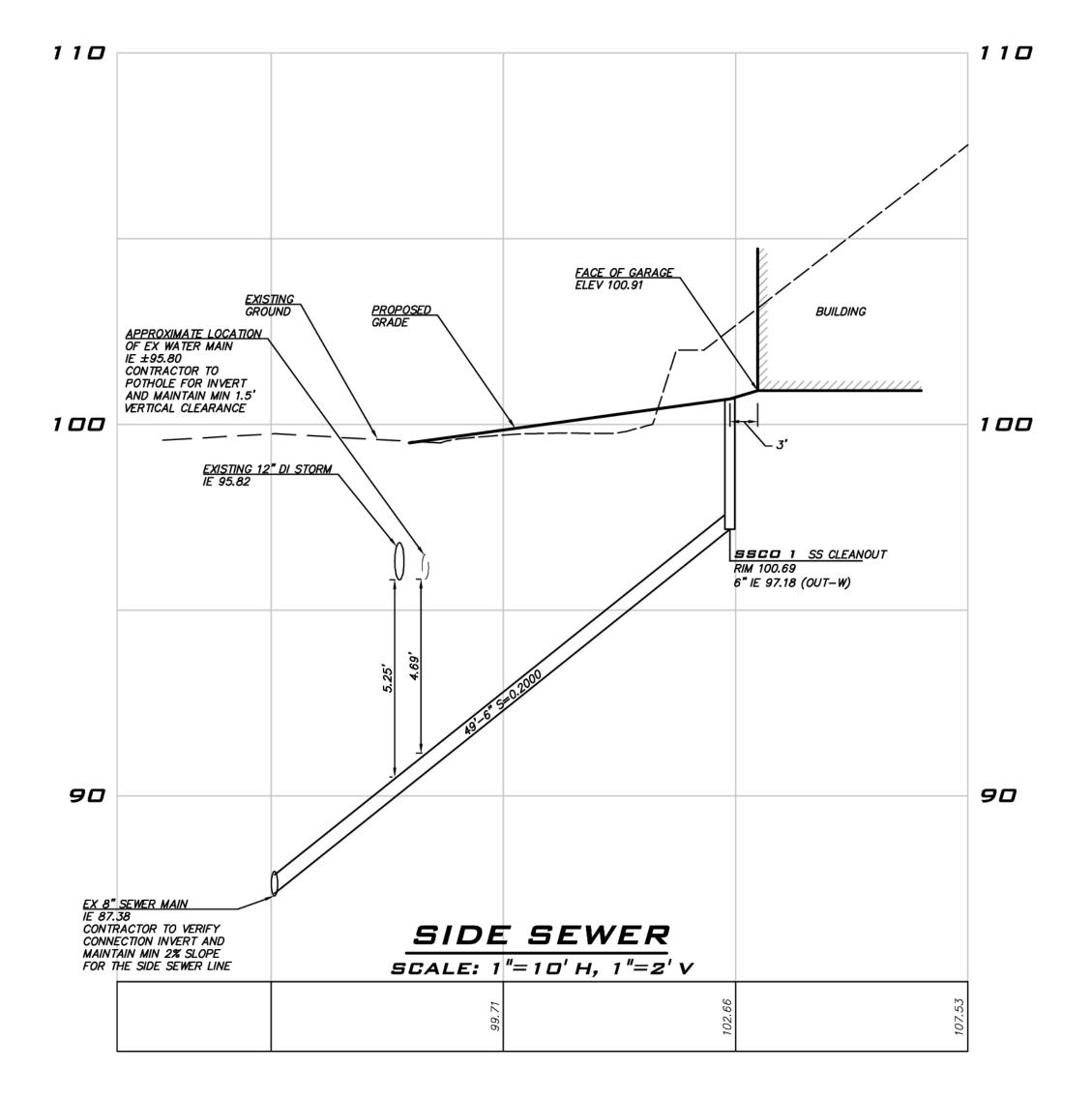
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| DI DE LA COMPANY | g shall be performed unless under the direction of the Project Arborist. Including limbing t, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity inside the protective fencing. or damaging by root damage/compaction or removing a saved tree may be a fine up to s the value of the tree plus restoration (MICC 19.10.160). In approved TPZ must be with the permission of the City Arborist (206) 275-7713, <u>woodchips within the tree protection zone, but not against the tree trunk.</u> Tree protection fence: 4-6" chain Sink fence, solidly anchored into the ground, or if authorized High-density polyethylene fencing with 3.5" x 1.5" openings; color orange. Steel posts installed at 8" o.c. | | REVISIONS | | | | |
| | Maintain existing grade with the free protection fence unless otherwise indication on the plans | | BY | | | | |
| the protected area must be with the permission of the | e City Arborist john.kenney@mercergov.org | | DATE | | | | |
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| SCALE: $1" = 10'_{\frac{5}{10}}$ | CENTRAL WAY, SUITE 400, KIRKLAND, WA 98033 P: 425.216.4051 F: 425.216.4052 WWW.ATWELL-GROUP.COM SCALE: AS NOTED PROJECT MANAGER: YANNICK METS, PE PROJECT ENGINEER: ALI RAMEZANI, PE DESIGNER: CHRISTOPHER MISCOMB ISSUE DATE: 11/20/2023 |
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SANITARY SEWER NOTES

EXISTING SANITARY SEWER LINE SHALL BE CUT AND CAPPED AT THE EASEMENT LINE.

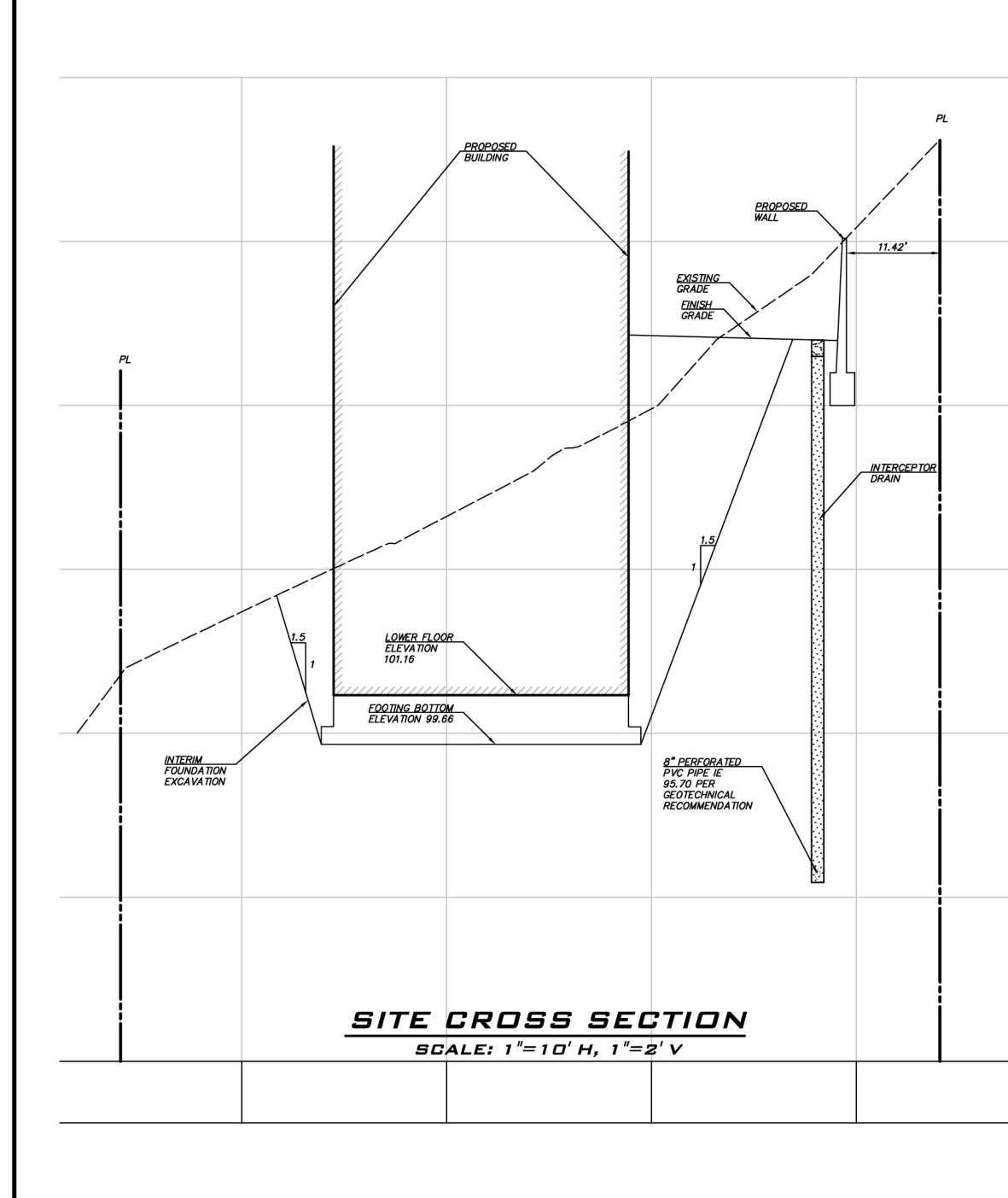
2. PROPOSED SEWER SERVICE LINE TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-18 & S-17. 3. SANITARY SEWER CLEANOUT TO BE INSTALLED PER CITY OF MERCER ISLAND

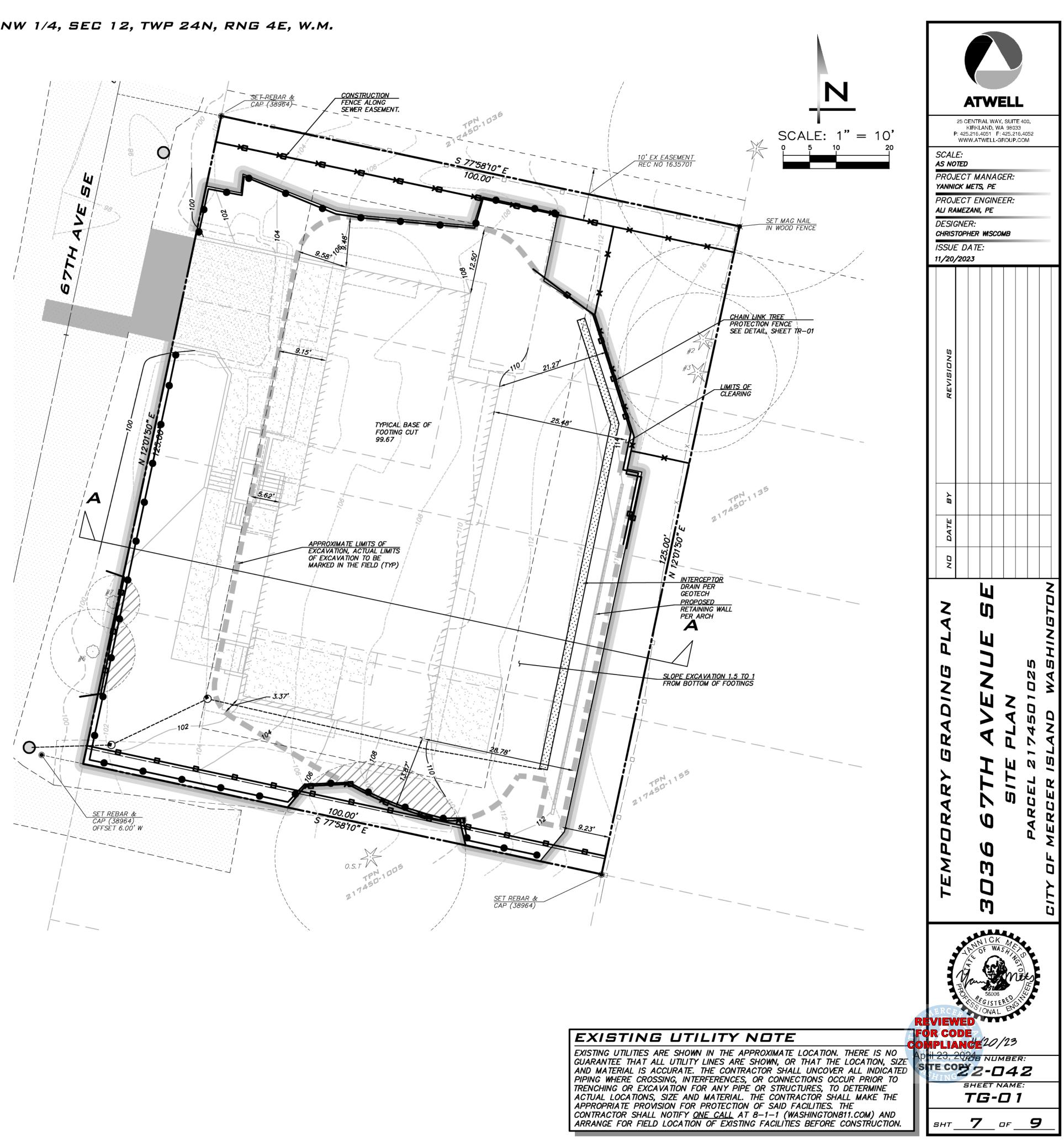
STANDARD DETAIL S-19. 4. REFER TO CITY OF MERCER ISLAND STANDARD DETAIL S-22 FOR DISCONNECTION AND RECONNECTION NOTES AND SPECIFICATIONS

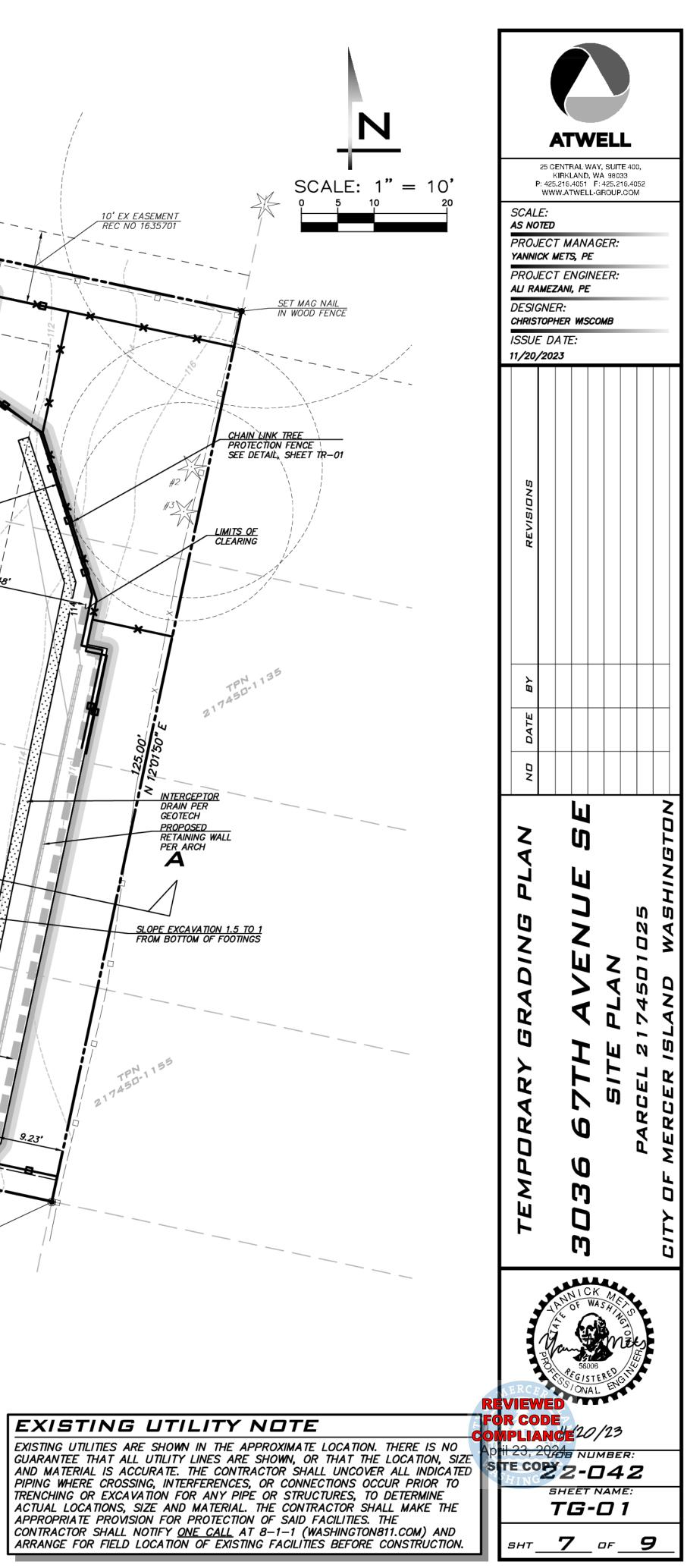
5. MAINTAIN MINIMUM 18" BETWEEN NEW SIDE SEWER AND OTHER UTILITIES.

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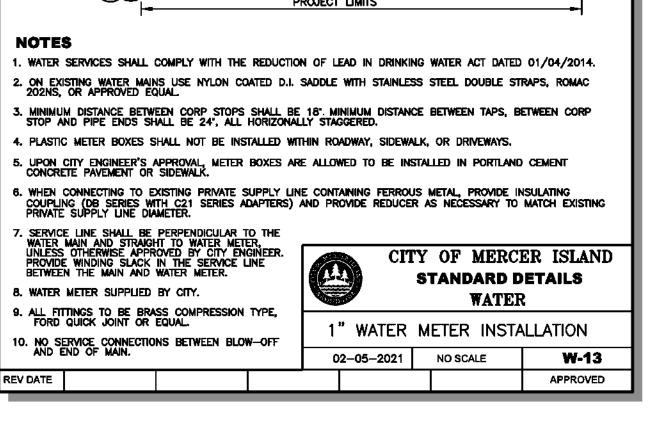






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| TOP | ES BUILDING CONNECTION |
|--------------|--|
| | ELBOWS SHALL NOT BE GREATER THAN 45 DEGREES. CLEAN OUT IS REQUIRED FOR EACH PIPE LENGTH GREATER THAN 100' AND FOR EACH 90' ACCUMULATED ELBOW/100'. |
| | ALL HOUSE PLUMBING OUTLETS MUST BE CONNECTED TO THE SEWER. NO DOWN SPOUTS OR STORM DRAINAGE MAY BE CONNECTED TO THE SEWER SYSTEM. 18" MINIMUM COVERAGE OVER PIPE. |
| 5. | LAY PIPE IN STRAIGHT LINE BETWEEN BENDS. MAKE ALL CHANGES IN GRADE OR LINE WITH $\frac{1}{8}$ BEND OR WYE. 90° CHANGE WITH 1/8 BEND AND WYE. |
| | 4" SEWER PIPE MINIMUM SIZE ON PROPERTY. 2% MINIMUM GRADE. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT SEWER ORDINANCES. |
| | ALL CONSTRUCTION REQUIRES A PLAN SHOWING PROPERTY AND DIMENSIONS AND COMPLETION OF SIDE |
| 9. | SEWER APPLICATION AND MAINTENANCE AGREEMENT, AS NEEDED. BACK WATER VALVE (CHECK VALVE) IS REQUIRED: |
| | A. IF CONNECTED TO A SHARED SIDE SEWER. |
| | B. IF CONNECTION AT HOUSE IS LOWER THAN BOTH UPSTREAM AND DOWNSTREAM MANHOLE. C. SEE S-23 & S-24 FOR LAKE LINE REQUIREMENTS. |
| 10. | AS-BUILT DRAWING SHOWING LOCATION OF SIDE SEWER & ALL BENDS, C.O. ETC., IN RELATION TO THE HOUSE IS REQUIRED AFTER INSPECTION & INSTALLATION. SEE STANDARD DETAIL S-38 FOR A TYPICAL "AS BUILT". |
| 1 1 . | THE MINIMUM PIPE SIZE FOR SIDE SEWERS SHALL BE: |
| | 6" — WITHIN THE PUBLIC RIGHT—OF—WAY. 4" — SINGLE FAMILY RESIDENCES. |
| | 6" - 2 TO 6 SINGLE FAMILY RESIDENCES. |
| 12. | 6" — BUILDINGS OTHER THAN SINGLE FAMILY RESIDENCES. UTILITY PIPE TRACER TAPE SHALL BE DETECTABLE BELOW GROUND SURFACE, COLOR CODED, WITH |
| | UTILITY NAME PRINTED ON TAPE. CONDUCTIVE WARNING TAPE REQUIRED OVER ALL WATER PIPE. TAPE |
| | SHALL BE MANUFACTURER'S STANDARD PERMANENT, BRIGHT-COLORED, CONTINUOUS PRINTED PLASTIC TAPE, ALUMINUM BACKED, INTENDED FOR DIRECT-BURIAL SERVICE, TAPE SHALL BE NOT LESS THAN 6" |
| | |
| | WIDE X 4 MILS THICK. |
| | |
| | WIDE X 4 MILS THICK. |



ASTM 3034 SDR35 PVC PIPE-

COUPLING EQUAL TO CALDER

WITH 4" CAP. 5' MIN. COVER.

SEE STANDARD DETAIL S-27.

"SEWER" TRACING TAPE 1"

SEE STANDARD DETAIL

S-17 FOR CONNECTION

TO THE SEWER MAIN.7

COUPLING BY JOINTS, INC.

INSTALL GREEN

TO FIT-

CLEAN OUT FACE UP

BUILDING LINE

-SEWER PIPE

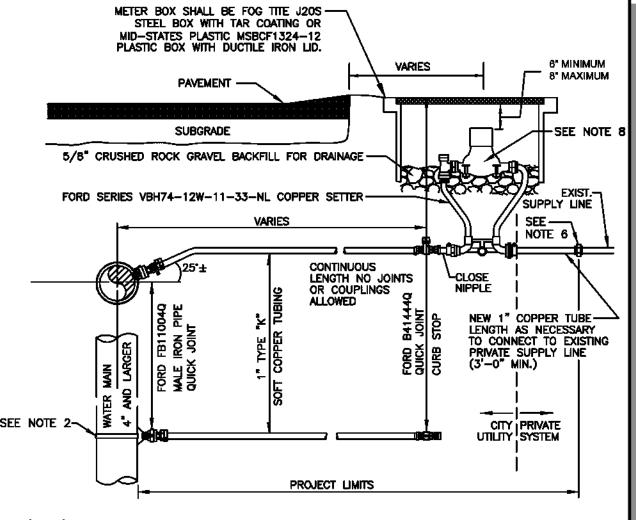
C.O. BROUGHT TO

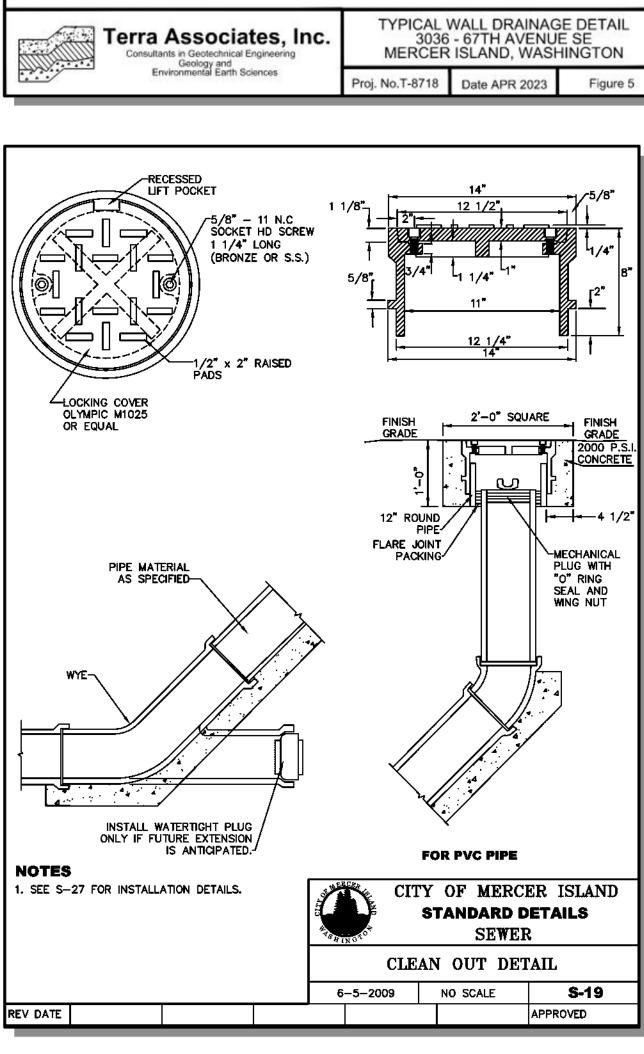
-CLEAN OUT 18" MIN.

COVER SEE STANDARD

DETAILS S-19 & S-27

GRADE AND CAPPED





12" MINIMUM 3/4" -

SEE NOTE

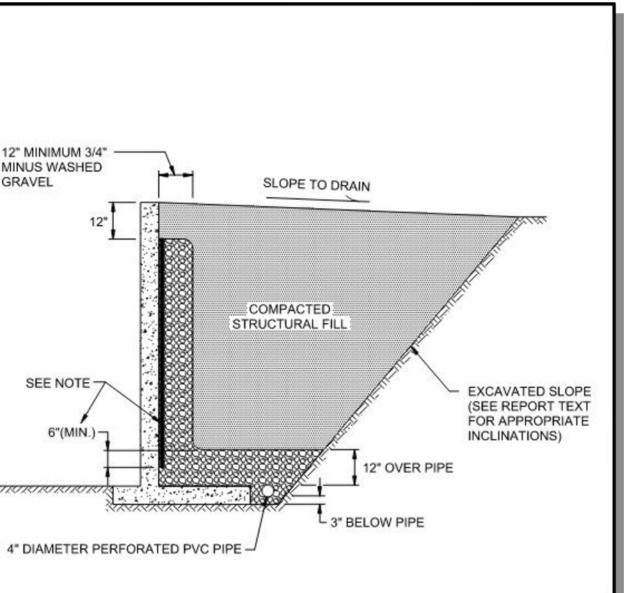
6"(MIN.) 7

NOTE:

12"

MINUS WASHED

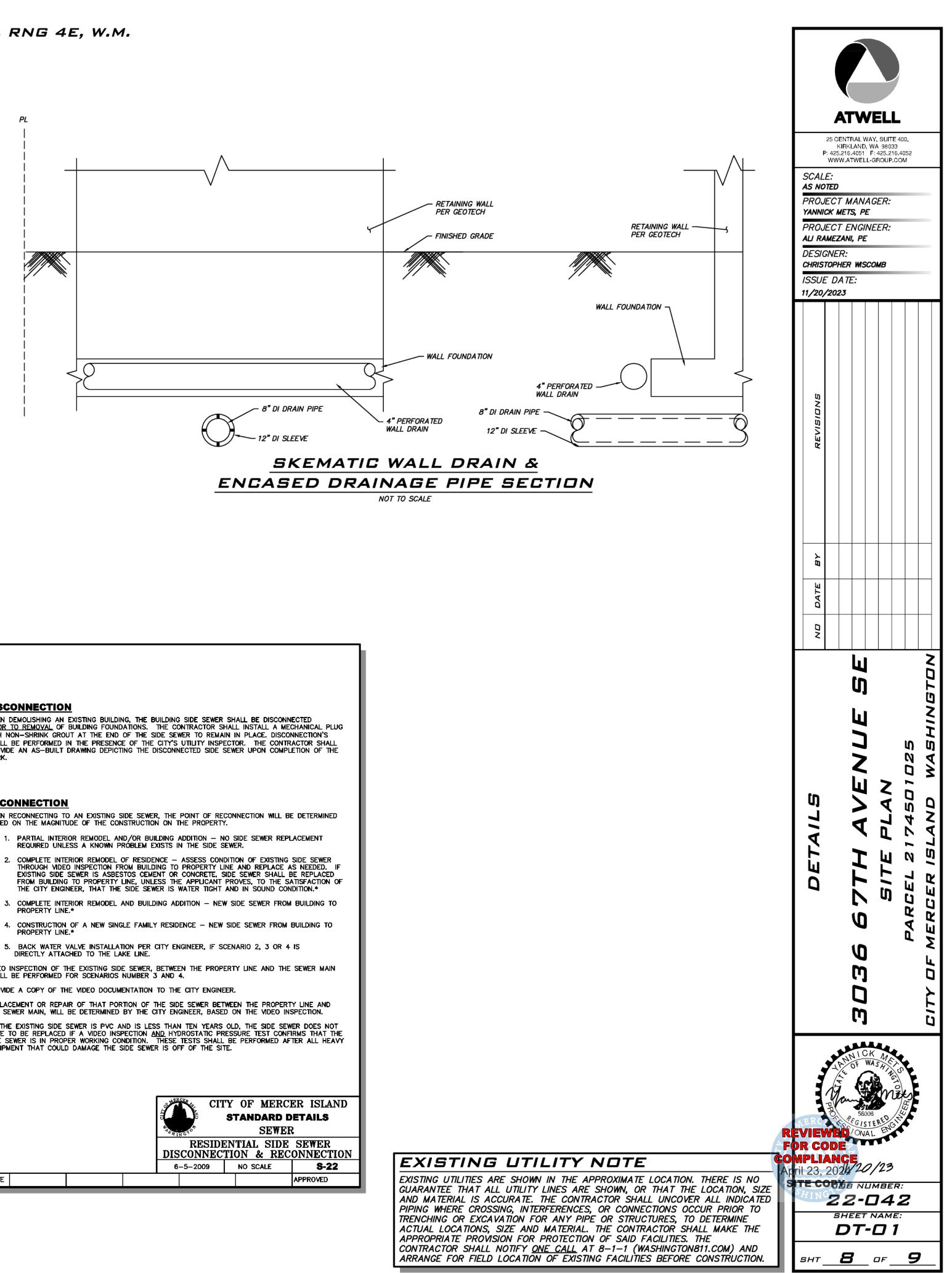
GRAVEL

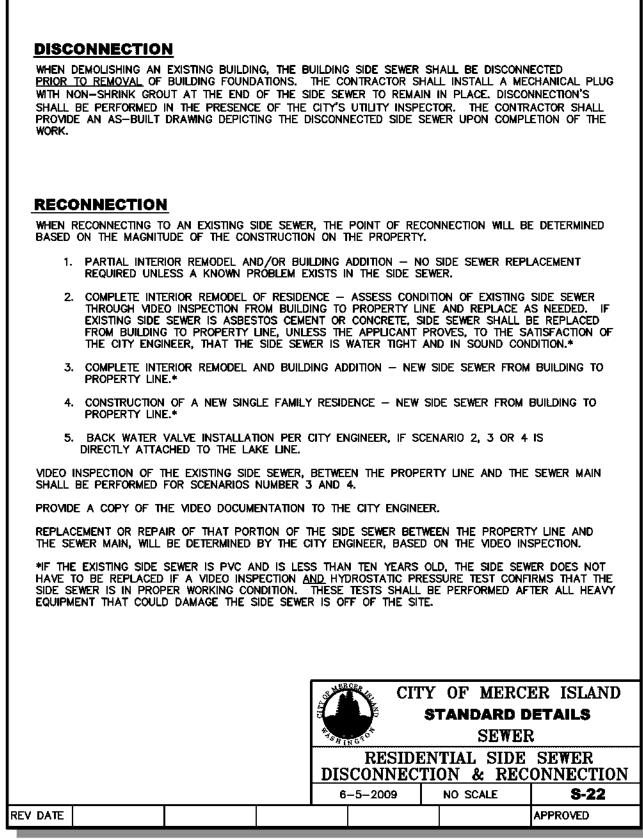


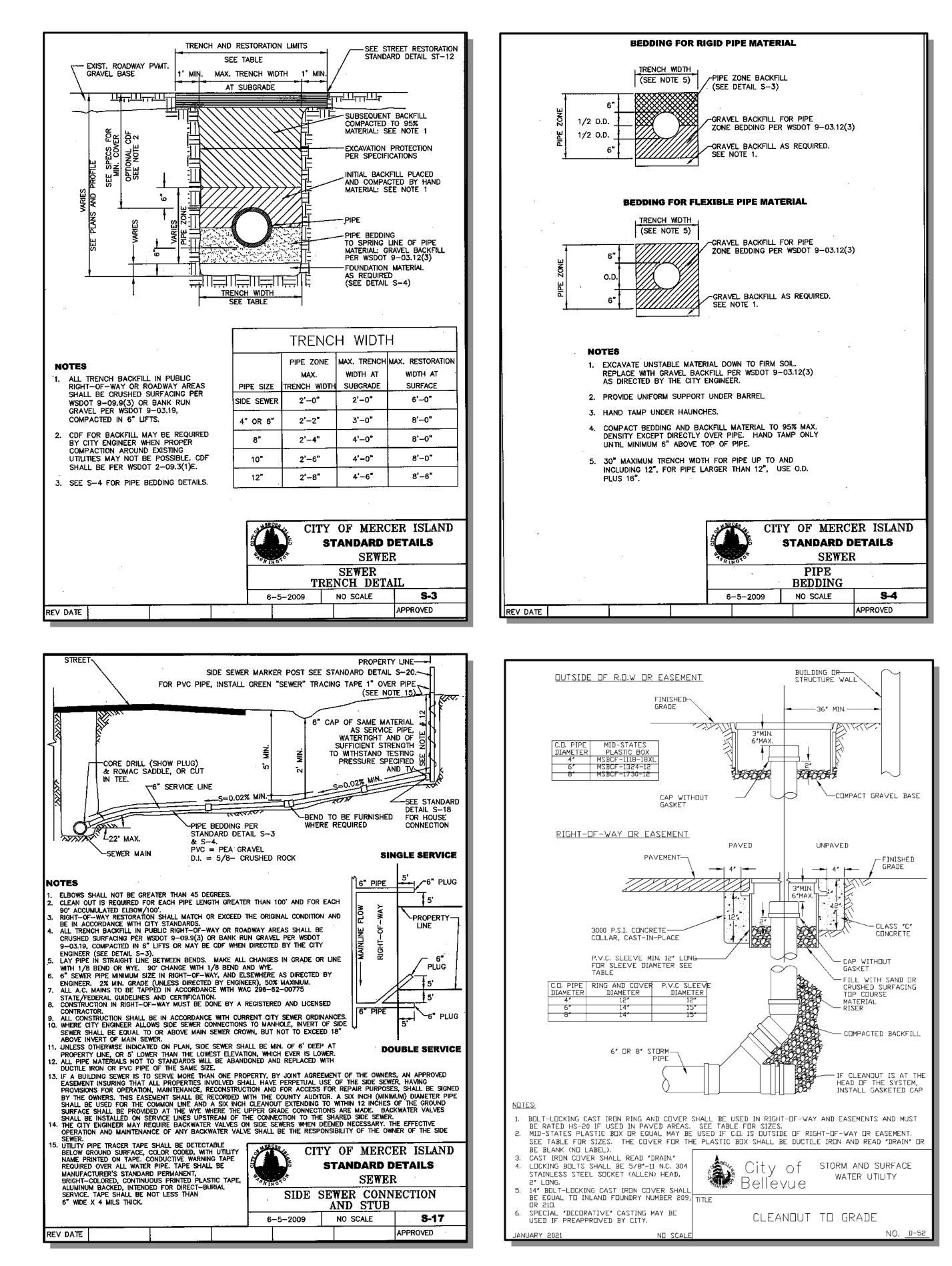
NOT TO SCALE

MIRADRAIN G100N PREFABRICATED DRAINAGE PANELS OR SIMILAR PRODUCT CAN BE SUBSTITUTED FOR THE 12-INCH WIDE GRAVEL DRAIN BEHIND WALL. DRAINAGE PANELS SHOULD EXTEND A MINIMUM OF SIX INCHES INTO 12-INCH THICK DRAINAGE GRAVEL LAYER OVER PERFORATED DRAIN PIPE.

| es, Inc. | 3036 | WALL DRAINAGE - 67TH AVENUE ISLAND, WASHI | SE | |
|----------|-----------------|---|----------|--|
| 1085 | Proj. No.T-8718 | Date APR 2023 | Figure 5 | |

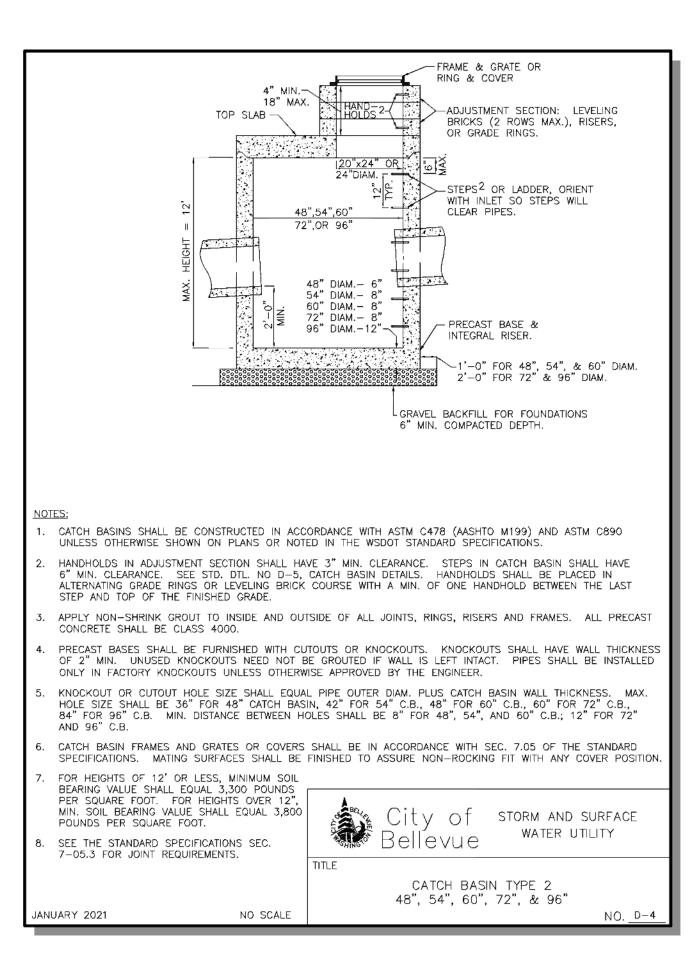


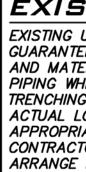




ິຊ 2 ເມັ **© 2023 ATWELL NW**

SW 1/4, NW 1/4, SEC 12, TWP 24N, RNG 4E, W.M.

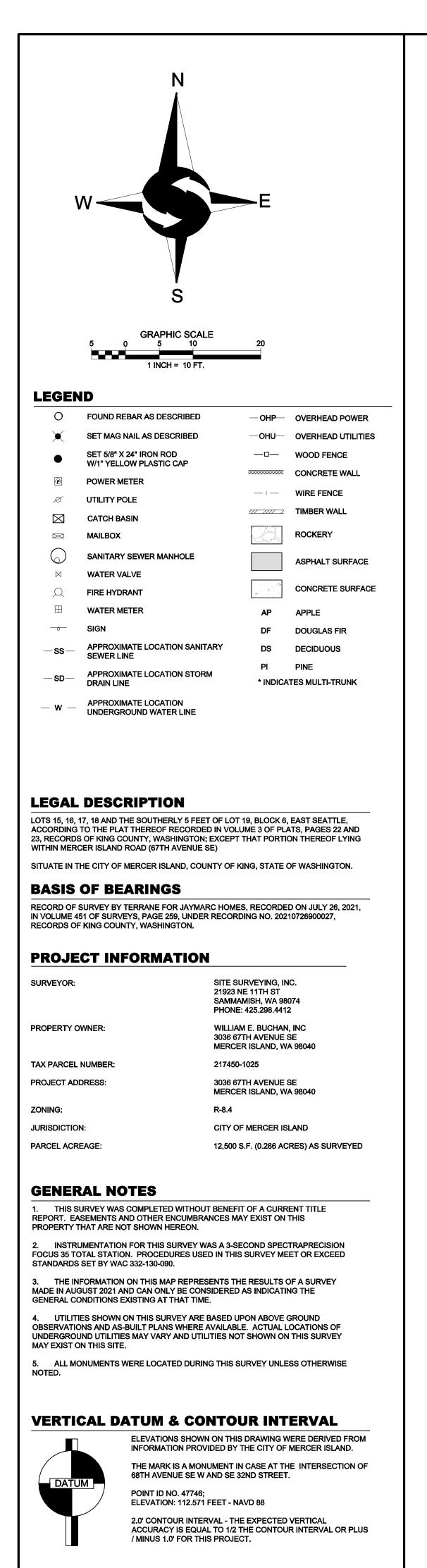


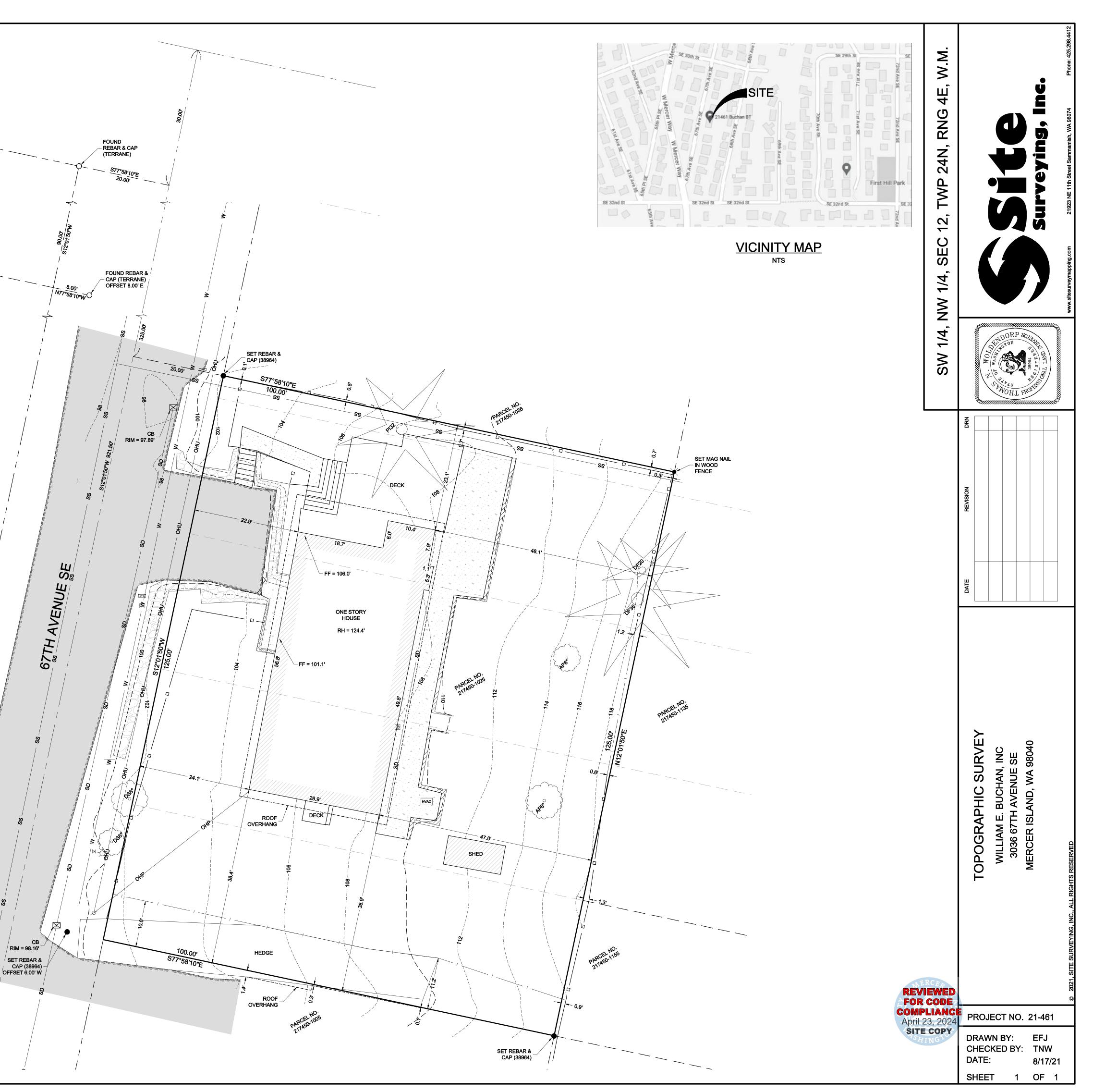


| | PROJI PROJI YANNIG PROJI ALI RA DESIG | 25 CENT KIRK 2425.216 WWW.A E: TED ECT N ECT E MEZAN ENER: TOPHER DAT | RAL WA LAND, V 44051 F TWELL- TWELL- TANA S, PE NGIN I, PE | va 9803: :: 425.210 GROUP.C GER: EER: | 400, 3 5.4052 | |
|------|--|--|--|---|---------------------|----------------------------------|
| | REVISIONS | | | | | |
| | ND DATE BY | | | | | |
| | DETAILS | | 3036 67TH AVENUE SE | SITE PLAN | PARCEL 2174501025 | CITY OF MERCER ISLAND WASHINGTON |
| REVI | LIA | THE DE | | | A REAL OF S | |

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.







-BATHROOMS/LAUNDRY 50 CFM MIN. -KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 PER SECTION MI503.6.

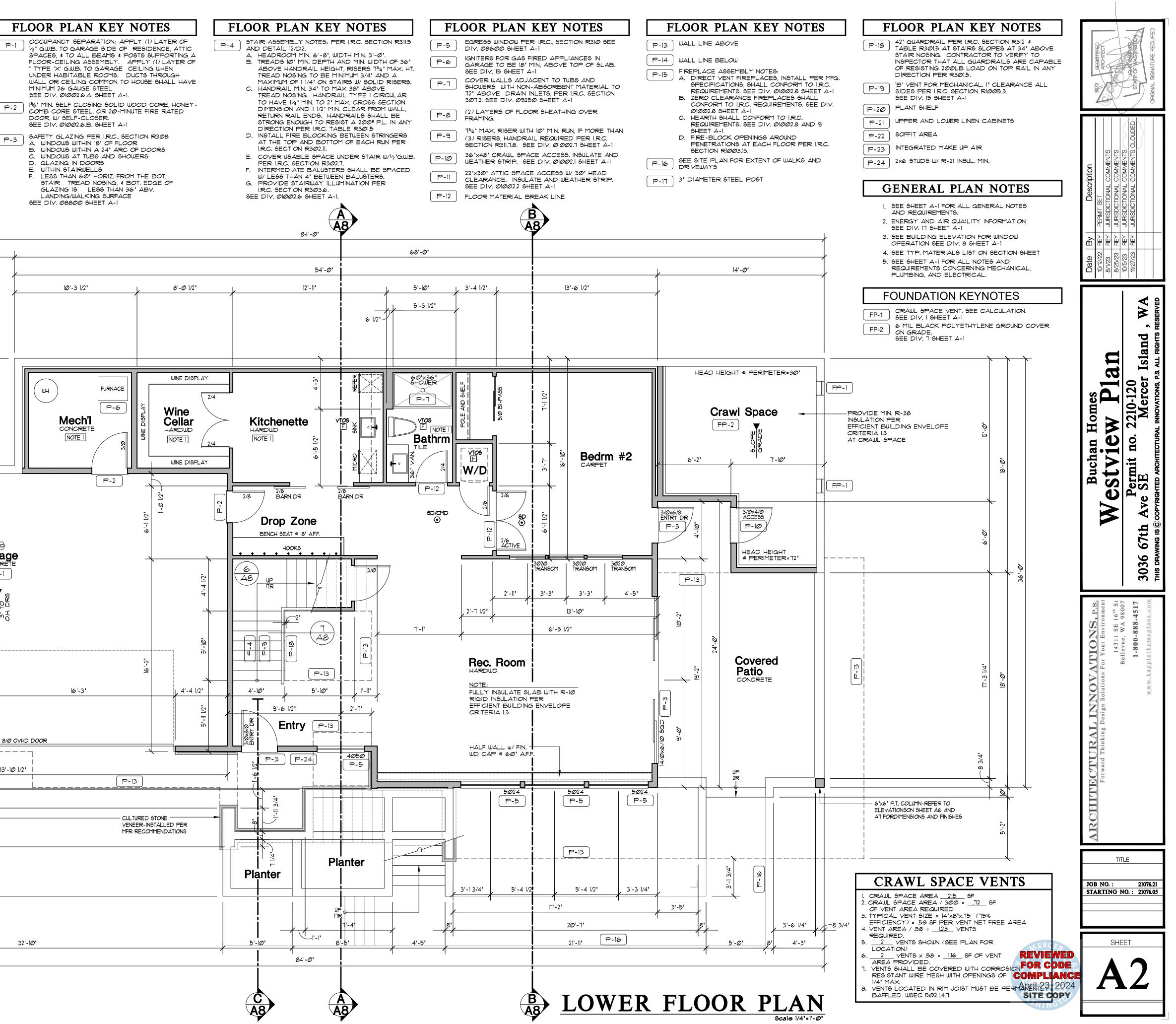
- CONFORM TO IRC, MI505.4. FAN SIZE PER PLAN. TIMER TO BE LOCATED AT THE FAU WITH A MANUAL OVERRIDE SWITCH AT THE FAN LOCATION. TIMER TO BE SET TO RUN TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION MI505.4.1.
- (ID) R314.2.3. A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED

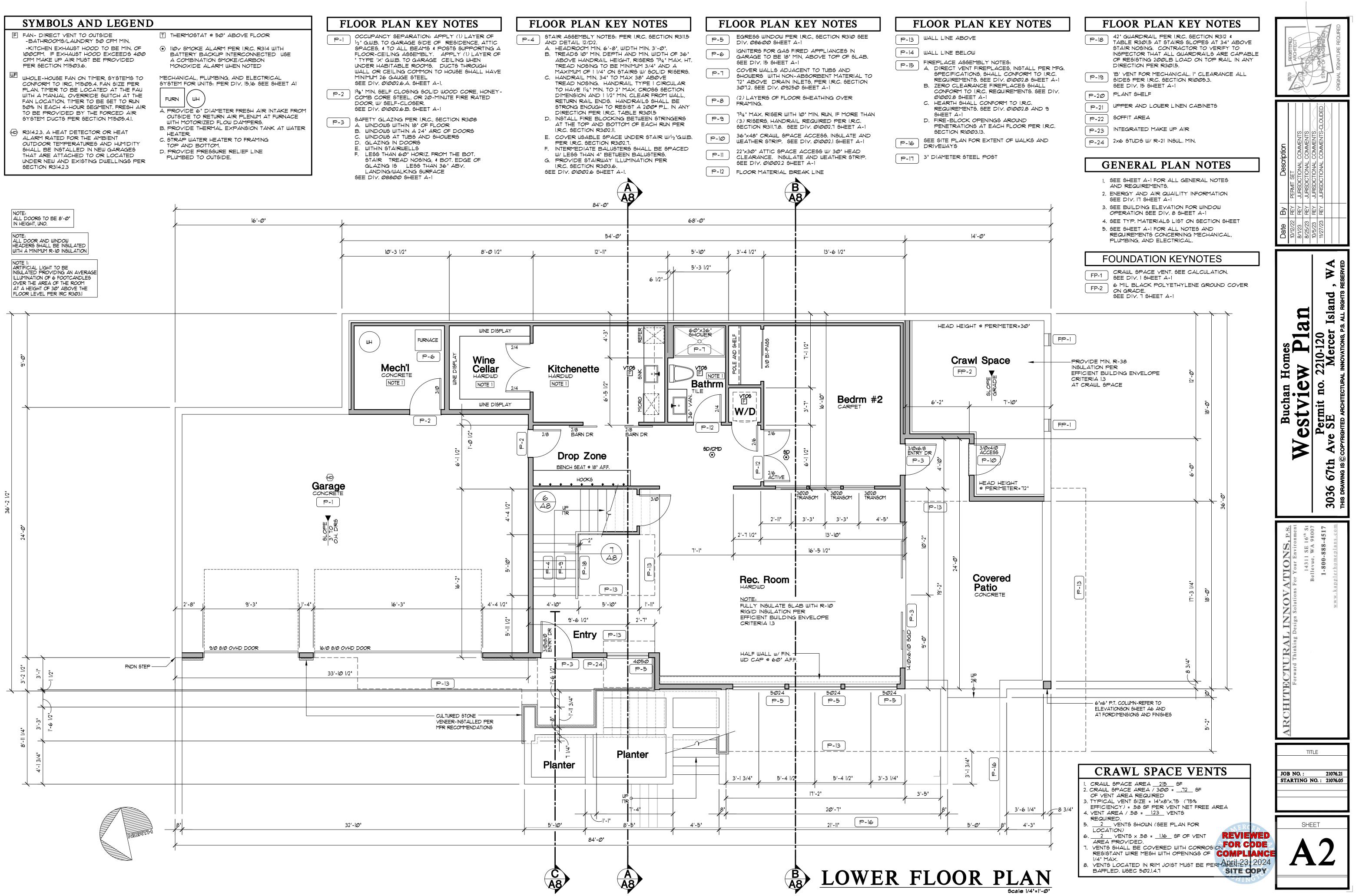
- A COMBINATION SMOKE/CARBON

FURN (ωμ

- OUTGIDE TO RETURN AIR PLENUM AT FURNACE WITH MOTORIZED FLOW DAMPERS.

- PLUMBED TO OUTSIDE.





-BATHROOMS/LAUNDRY 50 CFM MIN. -KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 PER SECTION MI503.6.

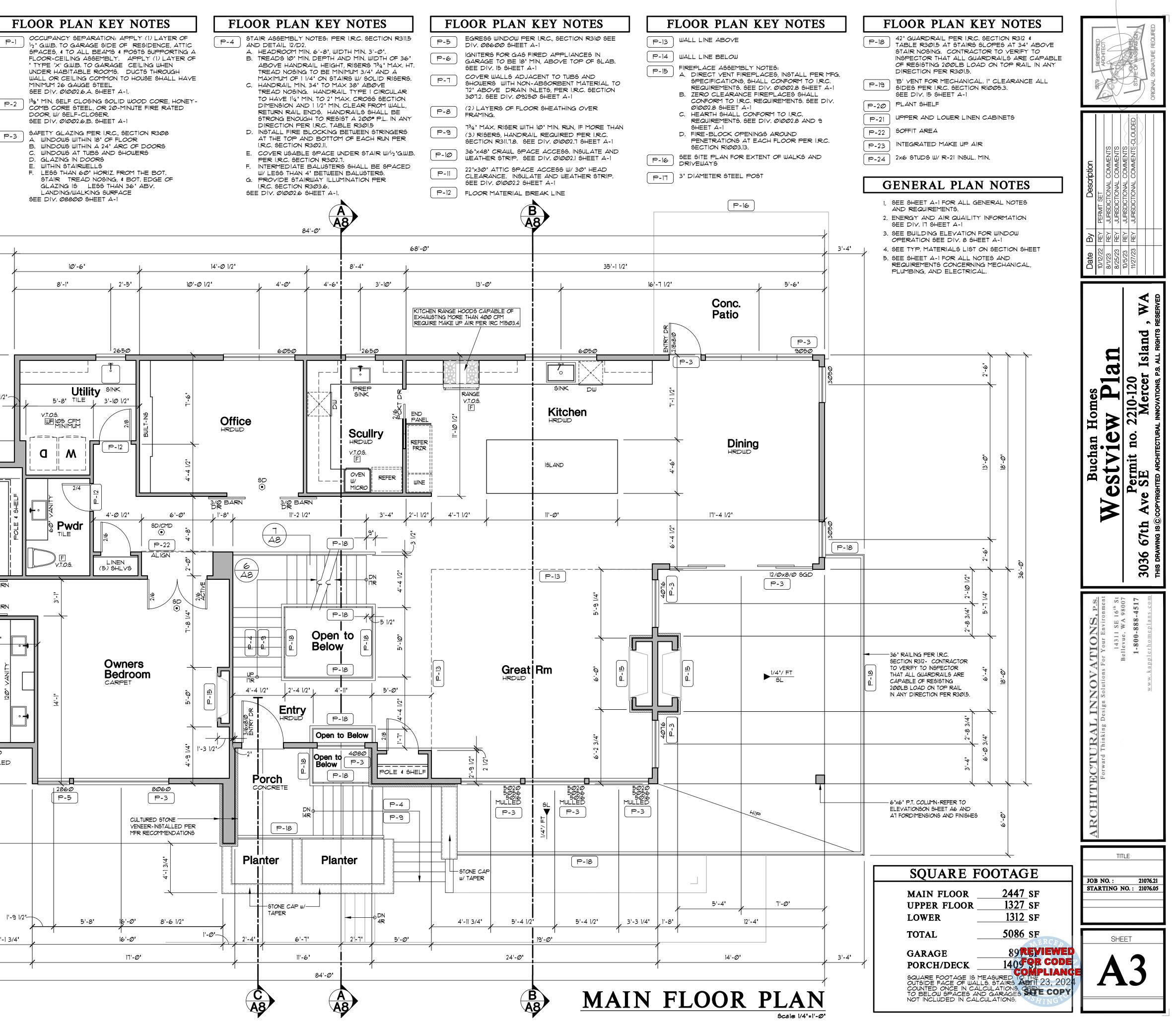
- CONFORM TO IRC, MI505.4. FAN SIZE PER PLAN. TIMER TO BE LOCATED AT THE FAU WITH A MANUAL OVERRIDE SWITCH AT THE FAN LOCATION, TIMER TO BE SET TO RUN TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION MI505.4.1.
- (ID) R314.2.3. A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED

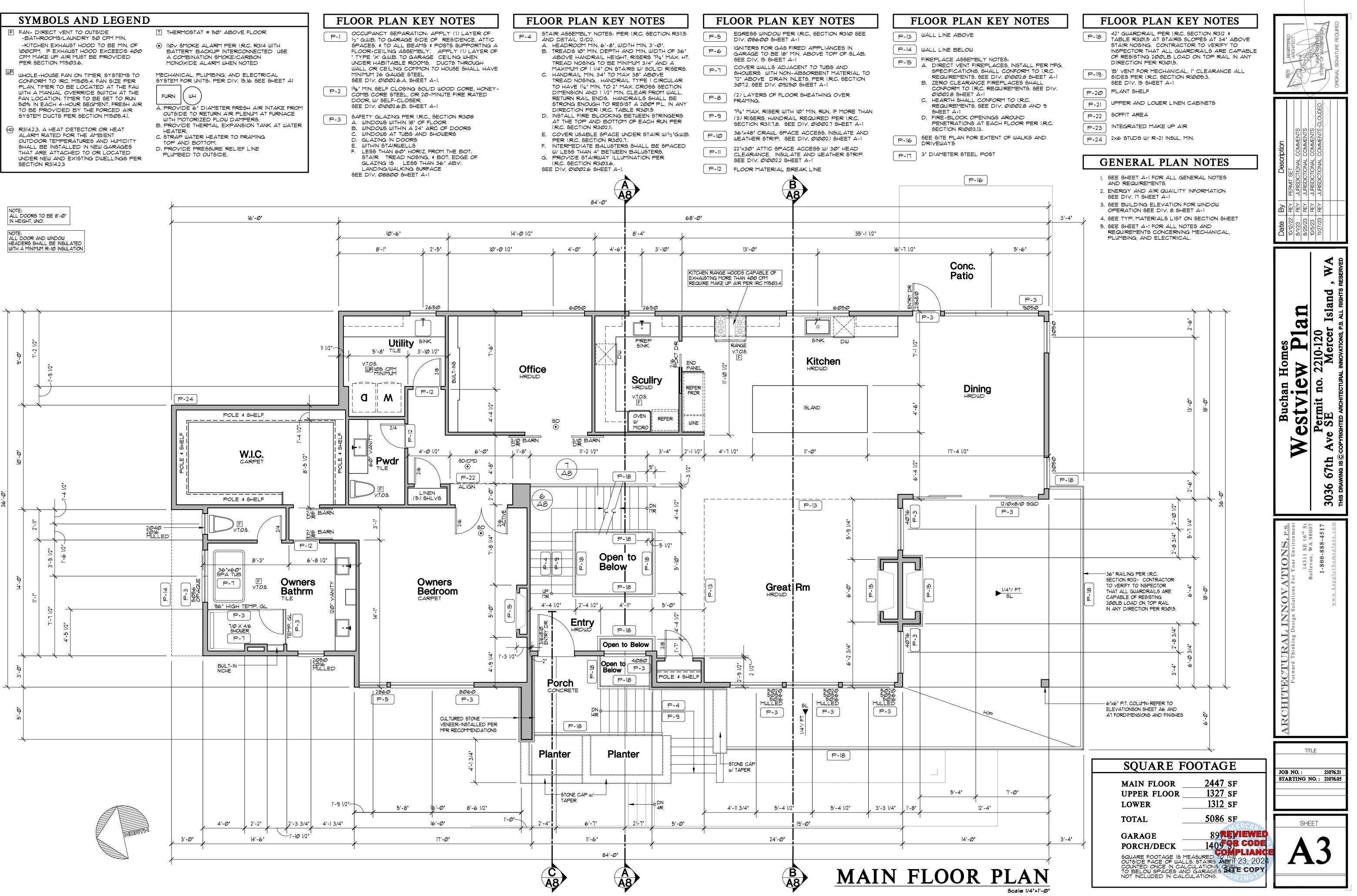
- A COMBINATION SMOKE/CARBON

FURN (WH

- OUTGIDE TO RETURN AIR PLENUM AT FURNACE WITH MOTORIZED FLOW DAMPERS.

- PLUMBED TO OUTSIDE.





-BATHROOMS/LAUNDRY 50 CFM MIN. -KITCHEN EXHAUST HOOD TO BE MIN. OF CFM MAKE UP AIR MUST BE PROVIDED PER SECTION MI503.6.

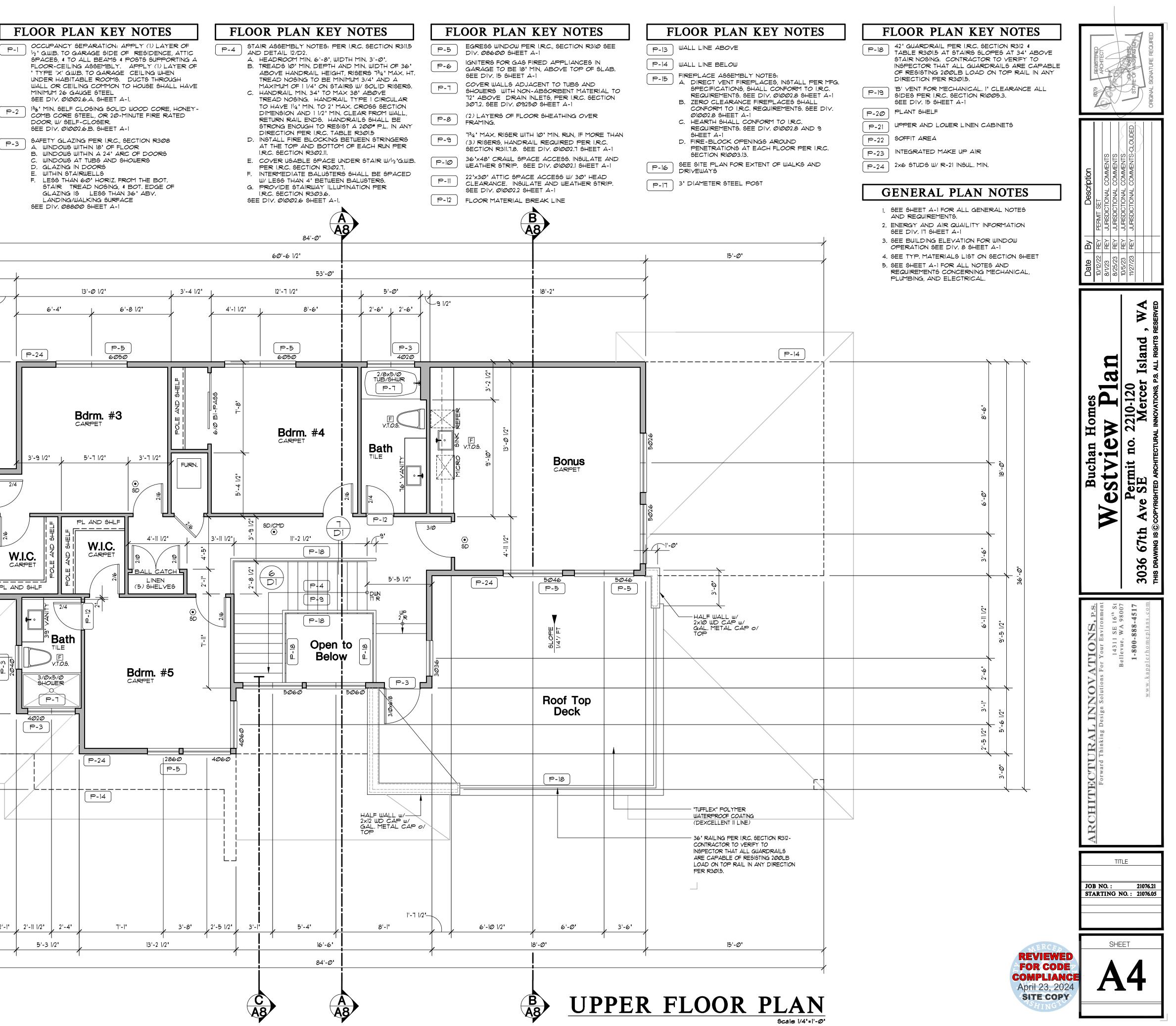
- CONFORM TO IRC, MI505.4. FAN SIZE PER PLAN. TIMER TO BE LOCATED AT THE FAU WITH A MANUAL OVERRIDE SWITCH AT THE FAN LOCATION, TIMER TO BE SET TO RUN TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION MI505.4.1.
- (ID) R314.2.3. A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED

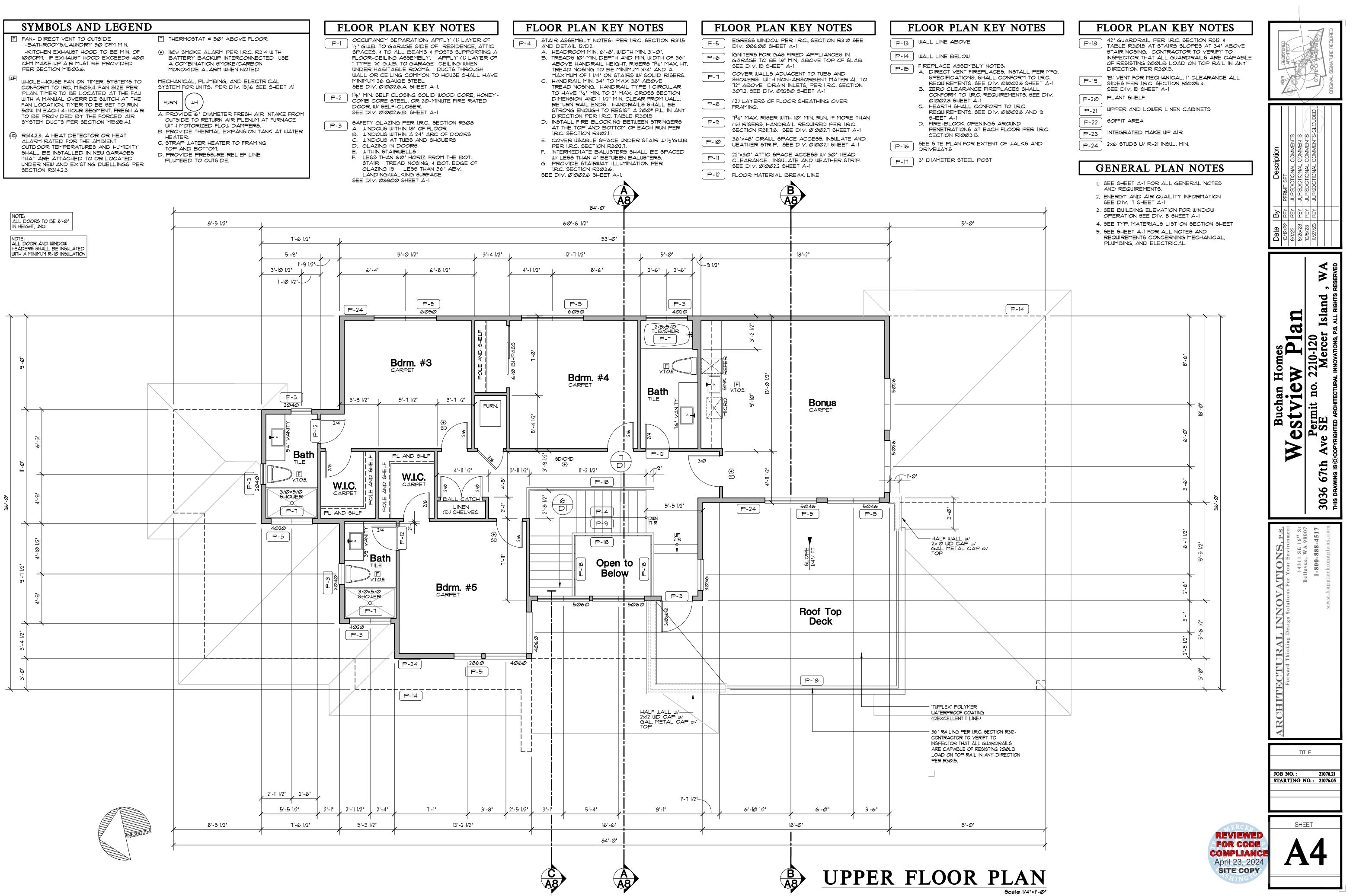
- A COMBINATION SMOKE/CARBON

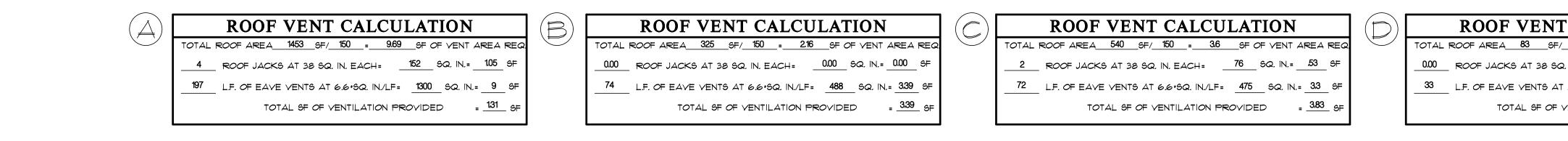
FURN (ωμ

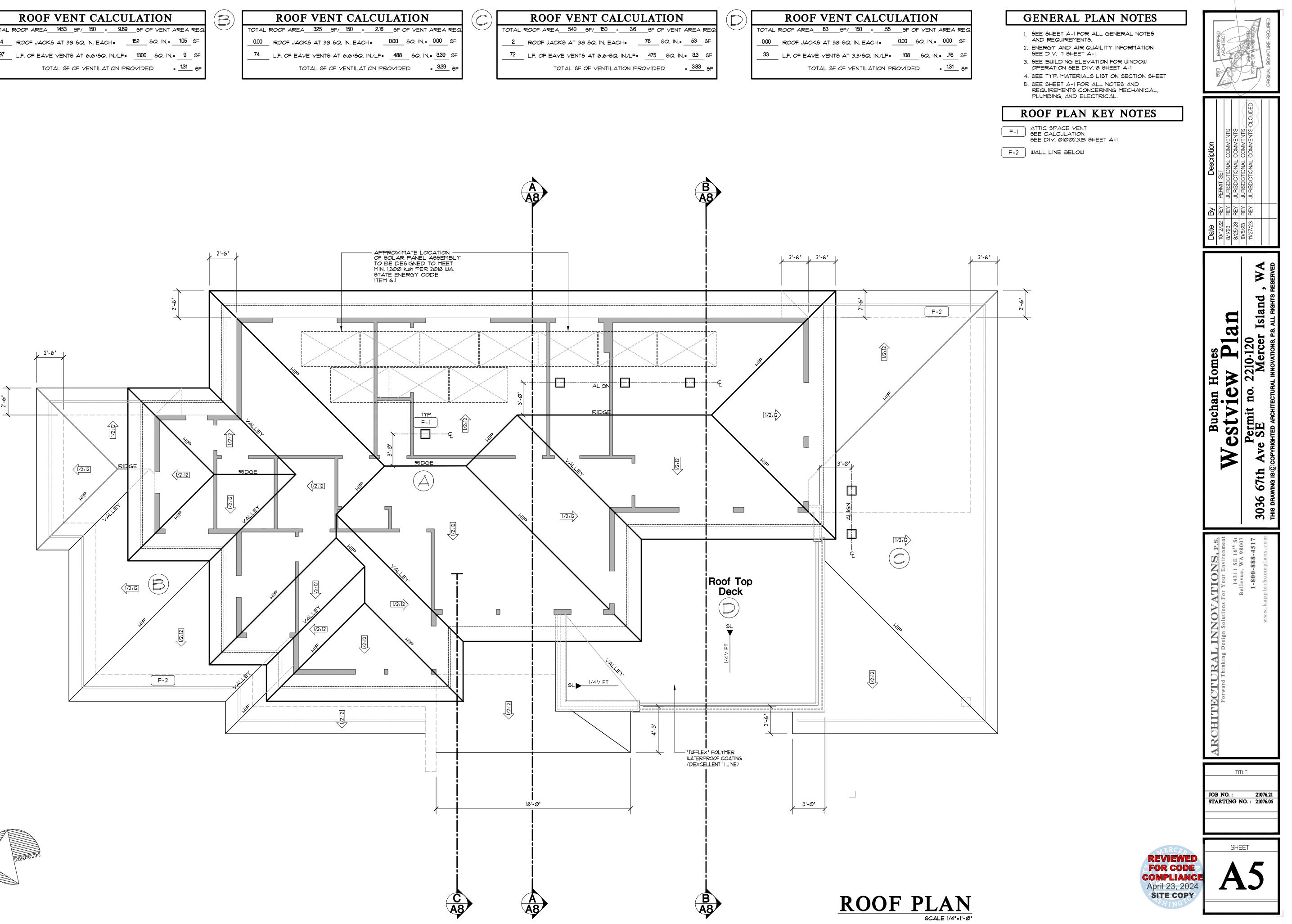
- WITH MOTORIZED FLOW DAMPERS.

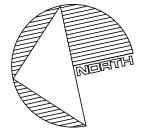
- PLUMBED TO OUTSIDE.



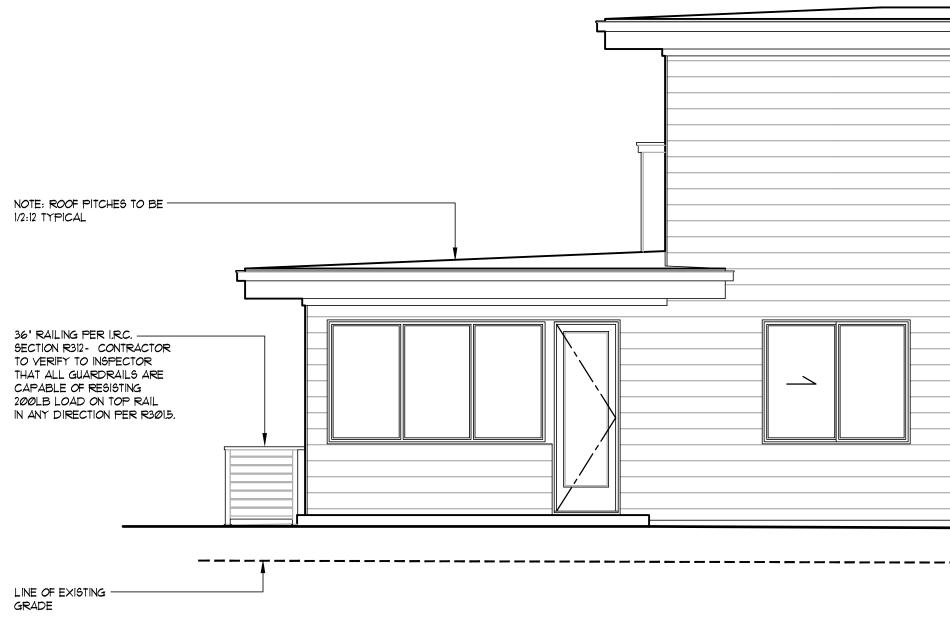








| | | | TPO MEMBRANE INSTALL PER MFR RECOMMENDATIONS | | | |
|-------------|-------------------|-----------------|--|-----------|---|----------|
| | | | HEEL HGT | | | |
| | 110N = 130.89' | 2 | TOP PLATE | <u>_</u> | 1 | L |
| | | | _ WIN. HDR. HT. | | L | |
| | | - | I' METAL CORNER 'X' TRIM | | | |
| | -12 | ማ = F | HORIZONTAL LAP SIDING - w/8' EXPOSURE | | | |
| | 22 | t, | UPPER FLOOR | | | |
| | | | TOP PLATE | | | |
| | | | | | | |
| 29'-ll 3/4' | -VC V | ים = ק לו | NOTE: ROOF PITCHES TO B 1/2:12 TYPICAL STONE VENEER-INSTALLED PER RECOMMENDATIONS MAIN FLOOR | | | |
| | | 89 | TOP PLATE | 8" LINTEL | | 8" |
| | 1 GRADE=100.91' (| | GRADE | | | |



TYPICAL BUILDING MATERIALS

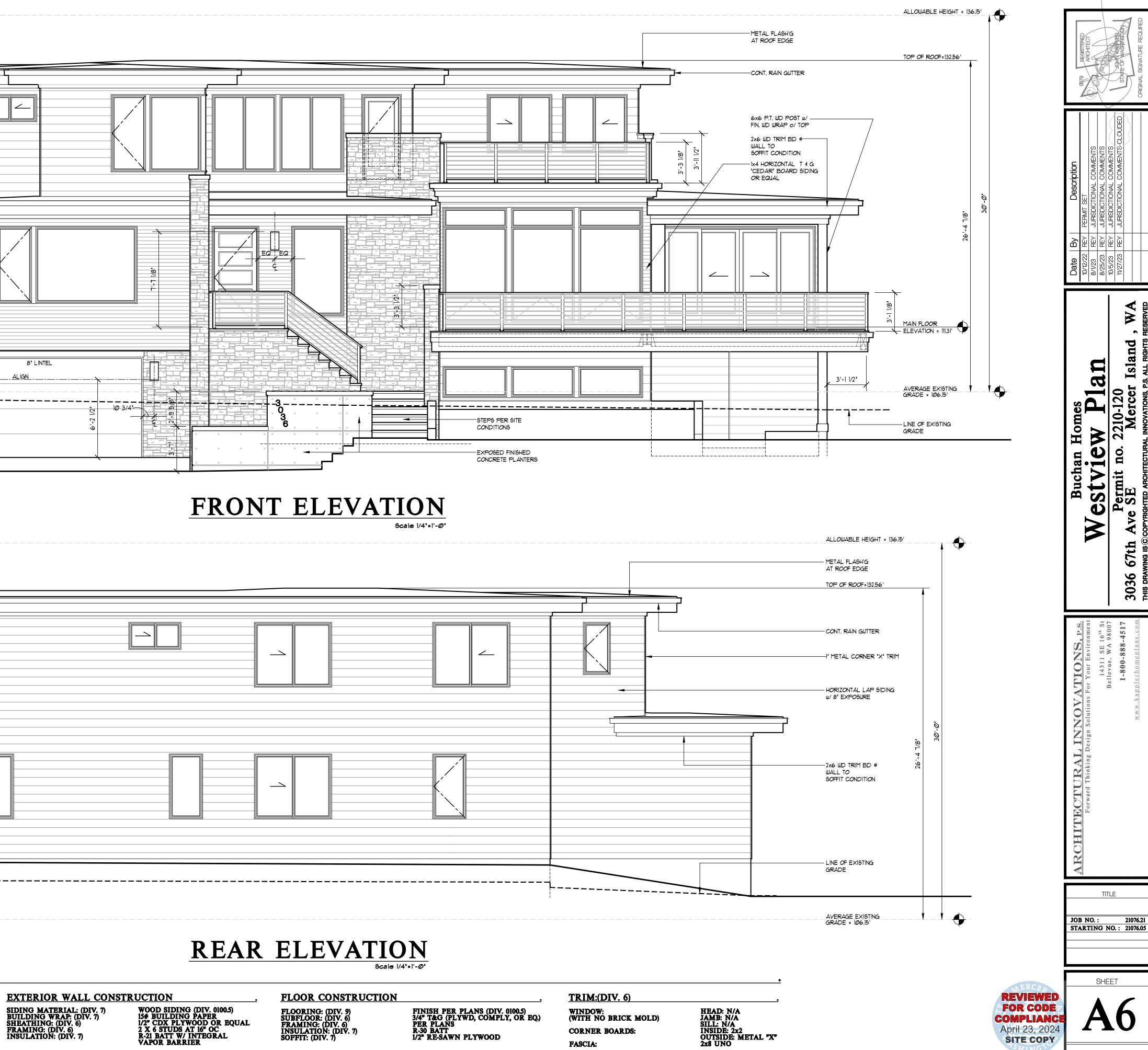
ROOF CONSTRUCTION

ROOFING: (DIV. 7) BUILDING PAPER: (DIV. 7) SHEATHING: (DIV. 6) FRAMING: (DIV. 6) INSULATION: (DIV. 7) SOFFIT: (DIV. 7) GWB: (DIV. 9)

SHINGLES (DIV. 01000.5) 30# BUILDING PAPER 7/16" O.S.B. OR EQUAL PER PLAN R-49 BLOWN-IN 1/2" RE-SAWN PLYWOOD 5/8" GWB



GWB: (DIV. 9)



SIDING MATERIAL: (DIV. 7) BUILDING WRAP: (DIV. 7) SHEATHING: (DIV. 6) FRAMING: (DIV. 6) INSULATION: (DIV. 7)

1/2" GWB

FASCIA:

2018 Energy Credits Glazing Schedule Prescriptive Compliance

| han Homes-Westview Plan 8 67th Ave SE | | - | | | Innov oth Str | | 10 | | |
|--|----------------|----------------|--------|-------|------------------|--------|--------|-------|---------------|
| cer Island, WA | | Be | llevu | e WA | 9800 | 7 | | | |
| | | | | | Wid | | Heig | | |
| | Ref. | U-factor | | Qt | | t Inch | Feet | Inch | Area |
| empt Swinging Door (24 sq. ft. max.) | Simp. | 0.28 | | 1 | 3 | 0 | 8 | 0 | 24.0 |
| empt Glazed Fenestration (15 sq. ft. max | .) Milg. | .28 | | 1 | 5 | ÷ | 3 | | 15.0 |
| tical Fenestration (Windows and doors |) | | | | | | | | |
| Component | | | | 100 | Wid | | Heig | ht | |
| Description | Ref. | U-factor | | Qt | - | t | Feet | In Ch | Area |
| Rec. Room Rec. Room | Milg. Milg. | 0.28 | | 2 | 14 5 | 0 | 8 3 | 0 | 112.0 30.0 |
| Entry (Lower) | Milg. | 0.28 | | 1 | 4 | 0 | 7 | 0 | 28.0 |
| Entry (Lower) | Simp. | 0.28 | | 1 | 3 | 0 | 8 | 0 | 24.0 |
| | | | | i. | 1 | | - | | 0.0 |
| Entry (Main) | Simp. | 0.28 | | 1 | 3 | 0 | 8 | 0 | 24.0 |
| Entry (Main) | Milg. | 0.28 | | 1 | 4 | 0 | 8 | 0 | 32.0 |
| Owners Bedroom | Milg. | 0.28 | | 1 | 8 | 0 | 6 | 0 | 48.0 |
| Owners Bedroom | Milg. | 0.28 | | 1 | 2 | 8 | 6 | 6 | 17.3 |
| Owners Bedroom | Milg. | 0.28 | | 1 | 2 | 0 | 4 | 8 | 9.7 |
| Owners Bedroom | Milg. | 0.28 | | 1 | 2 | 0 | 1 | 6 | 3.3 |
| Owners Bedroom Owners Bedroom | Milg. | 0.28 | | 1 | 5 | 0 | 5 3 | 10 | 27.5 |
| Owners Bedroom | Milg. | 0.28 | | 1 | 2 | 0 | 3 | 8 | 3.3 |
| Utility | Milg. | 0.28 | | 1 | 2 | 6 | 5 | 0 | 12.5 |
| Office | Milg. | 0.28 | | 1 | 6 | 0 | 5 | 0 | 30.0 |
| Scullry | Milg. | 0.28 | | 1 | 2 | 6 | 5 | 0 | 12.5 |
| Kitchen | Milg. | 0.28 | | 1 | 6 | 0 | 5 | 8 | 34.0 |
| Dining | Simp. | 0.28 | | 1 | 2 | 8 | 6 | 8 | 17.8 |
| Dining | Milg. | 0.28 | | 1 | 2 | 8 | 1 | 10 | 4.9 |
| Dining | Milg. | 0.28 | | 1 | 9 | 0 | 5 | 6 | 49.5 |
| Dining | Milg. | 0.28 | | 2 | 3 | 0 | 5 | 6 | 33.0 |
| Dining | Milg. | 0.28 | | 1 | 12 | 0 | 8 | 4 | 96.0 |
| Great Rm | Milg. | 0.28 | | 2 | 4 | 0 | 8 | 0 | 66.7 |
| Great Rm | Milg. | 0.28 | | 3 | 5 | 0 | 2 | 5 | 30.0 |
| Great Rm Great Rm | Milg. Milg. | 0.28 | | 3 | 5 | 0 | 0 | 7 | 96.3 23.8 |
| Glear Kill | iving. | 0.20 | | 5 | 5 | | 1 | | 0.0 |
| Open to Below | Simp. | 0.28 | | 1 | 3 | 0 | 6 | 8 | 20.0 |
| Open to Below | Milg. | 0.28 | | 2 | 5 | 0 | 6 | 0 | 60.0 |
| Open to Below | Milg. | 0.28 | | 1 | 3 | 0 | 3 | 6 | 10.5 |
| Bedroom #5 | Milg. | 0.28 | | 2 | 4 | 0 | 6 | 0 | 48.0 |
| Bedroom #5 | Milg. | 0.28 | | 1 | 2 | 8 | 6 | 0 | 16.0 |
| Bathrooms | Milg. | 0.28 | | 3 | 4 | 0 | 2 | 0 | 24.0 |
| Bathrooms Bedroom #3 | Milg. Milg. | 0.28 | | 3 | 2 | 0 | 4 5 | 0 | 24.0 30.0 |
| Bedroom #3 Bedroom #4 | Milg. | 0.28 | | 1 | 6 | 0 | 5 | 0 | 30.0 |
| Bonus Rm. | Milg. | 0.28 | | 2 | 5 | 0 | 2 | 6 | 25.0 |
| Bonus Rm. | Milg. | 0.28 | | 2 | 5 | 0 | 5 | 0 | 50.0 |
| | | | | - | | | | | 0.0 |
| | | | | | | | | | 0.0 |
| | | | | | 10 | | | | 0.0 |
| | | Sum of Verti | nal Er | anost | ration | Aros | and | 114 | 1211.2 |
| | Vertica | l Fenestration | | | | | | | 1211.2 |
| | | | | | | | | | |
| head Glazing (Skylights) | | | | | | | | | |
| Component | | | | | Wid | | Heig | | |
| Description | Ref. | U-factor | | Qt | Fee | t Inch | | | Area |
| | | | | | | | | | 0.0 |
| | | | | | - | | | | 0.0 |
| | - | | | | | | | | 0.0 |
| | _ | | | | - | - | | | 0.0 |
| | - | | | - | - | - | - | | 0.0 |
| | | | | 1 | | | | | 0.0 |
| | | Sum of O | | | | | | | 0.0 |
| | Over | rhead Glazinç | Area | We | ghted | U = | UA/A | rea | |
| Total Sum of Fenestration Are | a and L | A | | | | | | | 1250.2 |
| | | | | | | | | | |

Heat Sizing Worksheet

| This tool will calculate heating loa omplete the green drop-downs an ill be calculated for you. If you do ide@energy.wsu.edu or (360) 956 | d boxes that are applicable to y not see the selection you need | your project. As y | ou make sele | ections in the drop | p-downs for e | ach sectior |
|--|--|-------------------------|--------------------------------|-------------------------------|---------------|--------------------|
| | | | | a filming i | | |
| Project Information Buch Homes - Westview Plan | | | ntact Information | | | |
| 3036 67th Ave SE | | | 311 SE 16th St | | | 3 |
| Mercer IsaInd, WA | | Be | llevue, WA 980 | 007 | | |
| Heating System Type: | O All Other Systems | Heat Pu | mp | | | |
| To see detailed instructions for ea Design Temperature Instructions | ch section, place your cursor o | | | ature Difference | (47) | 45 |
| Mercer | Island | | | grees) - Outdoor Desig | | 45 |
| Area of Building Conditioned Floor Area Instructions Condition | ned Floor Area (sq ft) | | 5,086 | | | |
| Average Celling Height | | | | Conditioned Ve | olume | |
| Instructions Average | Ceiling Height (ft) | | 9.7 | 49,166 | | |
| Glazing and Doors | | L | J-Factor X | Area = | UA | |
| Instructions | | | 0.280 | 1,250 | 350.00 | |
| Skylights Instructions | | | J-Factor X 0.50 | Area = | UA — | |
| Insulation | | | | | | |
| Attic Instructions | | • | J-Factor X 0.026 | Area = 2,499 | UA 64.97 | |
| Single Rafter or Joist Vau | ilted Cellings | | J-Factor X | Area | UA | |
| Instructions No Va | Ited Ceilings in this project. | - | | | | |
| Above Grade Walls (see Fig | jure 1) | | J-Factor X | Area | UA | |
| Instructions R-21 in | termediate | - | 0.056 | 3,969 | 222.26 | |
| Floors | | | J-Factor X | Area | UA | |
| Instructions R-38 | | - | 0.025 | 830 | 20.75 | |
| Below Grade Walls (see Fig | ure 1) | | J-Factor X | Area | UA | |
| Instructions | 1200 | - | 0.042 | 540 | 22.68 | |
| Slab Below Grade (see Figu | re 1) | | -Factor X | Length | UA | |
| Instructions | ully insulated | T | 0.303 | 176 | 53.33 | |
| Slab on Grade (see Figure 1) | | | -Factor X | Length | UA | |
| Instructions | b on Grade in this project. | T | | Length | Un | |
| | | | | | | |
| Location of Ducts | | | Durat | Leokogo Co-III- | lant | |
| | tioned Space | - | Duct | Leakage Coeffic 1.00 | lent | |
| | | | | | 70 4 64 | |
| | | Sum of UA | | | 734.00 | |
| Figure 1. | | Envelope H Sum of UA | | | 33,030 | Btu / Hour |
| \sim | | Air Leakag | e Heat Load | | 23,895 | Btu / Hour |
| Above Grade | | | 0.6 x AT x 0.0 esign Heat L | | 56,925 | Btu / Hour |
| Refor State | | Air leakag | e + envelope l | eat loss | | |
| | | | nd Duct Hear nconditioned s | t Load pace: sum of buildi | | Btu / Hour 1.10 |
| | | Ducts in c | onditioned spa Heat Equipm | ce: sum of building | heat loss x 1 | Btu / Hour |

2 HEAT PUMP 1.0 credits EQUIPMENT LISTED IN TABLE C403.3.2(1) OR C403.3.2(2)

<u>1.3 EFFICIENT BUILDING ENVELOPE</u> .5 credits vertical fenestration min u=28 floor R-38 slab on grade R-10 under entire slab

3.5 HIGH EFFICIENCY HVAC EQUIPMENT 1.5 credits AIR-SOURCE, CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HSPF OF 11.0

4.2 HIGH EFFICIENCY HVAC DISTRIBUTION 1.0 credits 4.2 HIGH EFFICIENCY HVAC DISTRIBUTION 1.0 cr HVAC EQUIPMENT AND ASSOCIATED DUCT SYSTEM(S) INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R403.7 LOCATED SYSTEM COMPONENTS IN CONDITIONED CRAWL SPACES IS NOT PERMITTED UNDER THIS OPTION. ELECTRICAL RESISTANCE HEAT AND DUCTLESS HEAT PUMPS ARE NOT PERMITTED UNDER THIS OPTION. DIRECT COMBUSTION HEATING EQUIPMENT WITH AFUE LESS THAN 80% IS NOT PERMITTED UNDER THIS OPTION.

2018 Washington State Energy Code – Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington Single Family – New & Additions (effective February 1, 2021) Version 1.0

| Fenestrat Authorize Fenestrat Skylight U Glazed Fe Ceiling * Wood Fra Floor Below Gra Slab ^{df} R-V a than Table b The fn *10/1 the ir c the ir mean d R-10 e For is stab in the ir c the ir mean d R-10 e For is f slab in meet g For loc | Ave SE Mercer Island Dons: This single-family project will u ate the minimum values listed. Base al credits are checked as chosen by II information from the following tab ion Requirements by Component, Ta ad Representative All Clir ion U-Factor ^b I-Factor ^b I-Factor ^b Inestration SHGC ^{bye} ame Wall ^{ch} 1 Value & Depth ues are minimums. U-factors and SHG the label or design thickness of the ins e A101.4 shall not be less than the <i>R</i> -va IS/21 +5TB" means R-10 continuous in | mate Zones (T R-Value * n/a n/a 49 21 int 30 0.0/15/21 int + 10, 2 ft | 311 SE 16t rements o e of the st pplicant. g permit d Fuel Norm | f the Prescri ructure, the rawings: Tab alization Cre | levue WA 98007 iptive Path below and appropriate number of ole R402.1 - Insulation and |
|--|---|---|---|---|--|
| Authorize Fenestrati Authorize Fenestrati Skylight U Glazed Fe Ceiling * Wood Fra Floor Below Gra Slab ^{dJ} R-Valt a than Table b The fin "10/1 the ir c the ir mean d R-10 e For Ic % For Ic | ate the minimum values listed. Base al credits are checked as chosen by Il information from the following tab ion Requirements by Component, Ta ed Representative and Representative Information U-Factor ^b Information SHGC ^{bye} ame Wall ^{g,h} ade Wall ^{g,h} ade Wall ^{g,h} ade Wall ^{g,h} ade Wall ^{g,h} and the peth ues are minimums. U-factors and SHG the label or design thickness of the ins e A101.4 shall not be less than the <i>R</i> -va enestration U-factor column excludes 15/21 +5TB" means R-10 continuous in | ed on the size the permit a les as buildin able R406.2 - I mate Zones (T R-Value * n/a n/a n/a n/a 1 int 30 0.0/15/21 int + 10, 2 ft | e of the st pplicant. g permit d Fuel Norm | ructure, the rawings: Tab alization Cre | appropriate number of ole R402.1 - Insulation and edits and 406.3 - Energy Credi Date |
| Fenestrat Skylight U Glazed Fe Ceiling ° Wood Fra Floor Below Gra Slab ^{df} R-V a than Table b The fn "10/1 the ir c the ir the ir the ir the ir the ir the ir a the ir f slab i meet g For Is | All Clir ion U-Factor ^b I-Factor ^b inestration SHGC ^{bye} ame Wall ^{ch} ade Wall ^{ch} Value & Depth ues are minimums. <i>U</i> -factors and SHG the label or design thickness of the ins e A101.4 shall not be less than the <i>R</i> -va enestration <i>U</i> -factor column excludes 15/21 +5TB" means R-10 continuous in | R-Value * n/a n/a 49 21 int 30 .0/15/21 int + 10, 2 ft | able R402. | | U-Factor * |
| Skylight U Glazed Fe Ceiling * Wood Fra Floor Below Gra Slab ^{dJ} R-\ R-vala a than Table b The fe "10/1 Table b The fe "10/2 the ir the ir th | ion U-Factor ^b I-Factor ^b enestration SHGC ^{bye} ame Wall ^{ch} ade Wall ^{ch} Value & Depth ues are minimums. <i>U</i> -factors and SHG the label or design thickness of the ins e A101.4 shall not be less than the <i>R</i> -va enestration <i>U</i> -factor column excludes 15/21 +5TB" means R-10 continuous in | R-Value * n/a n/a 49 21 int 30 .0/15/21 int + 10, 2 ft | able R402. | 1.1) | |
| Skylight U Glazed Fe Ceiling * Wood Fra Floor Below Gra Slab ^{3J} R-\ R-vala a than Table b The fe "10/1 Table b The fe "10/2 the ir the ir th | ion U-Factor ^b I-Factor ^b enestration SHGC ^{bye} ame Wall ^{ch} ade Wall ^{ch} Value & Depth ues are minimums. <i>U</i> -factors and SHG the label or design thickness of the ins e A101.4 shall not be less than the <i>R</i> -va enestration <i>U</i> -factor column excludes 15/21 +5TB" means R-10 continuous in | R-Value * n/a n/a 49 21 int 30 .0/15/21 int + 10, 2 ft | | / | |
| Skylight U Glazed Fe Ceiling * Wood Fra Floor Below Gra Slab ^{dJ} R-Vala a than Table b The fe "10/1 Table b The fe "10/2 the ir the ir the ir the ir the ir the ir the ir the ir the ir the ir the ir the ir the ir | J-Factor ^b enestration SHGC ^{bye} ame Wall ^{g,h} ade Wall ^{c,h} Value & Depth ues are minimums. <i>U</i> -factors and SHG the label or design thickness of the ins e A101.4 shall not be less than the <i>R</i> -va enestration <i>U</i> -factor column excludes 15/21 +5TB" means R-10 continuous in | n/a n/a 49 21 int 30 .0/15/21 int + 10, 2 ft | | | |
| Ceiling * Wood Fra Floor Below Gra Slab ^{df} R-V R-vala a than Table b The fn "10/1 the ir c the ir the ir the ir the ir the ir the ir the ir c the ir the ir the ir the ir the ir the ir the ir the ir the i | ame Wall ^{sh} ade Wall ^{ch} 1 Value & Depth ues are minimums. <i>U</i> -factors and SHGi the label or design thickness of the ins e A101.4 shall not be less than the <i>R</i> -va enestration <i>U</i> -factor column excludes 15/21 +5TB" means R-10 continuous in | 49 21 int 30 .0/15/21 int + 10, 2 ft | | | 0.50 |
| Wood Fra Floor Below Gra Slab ^{df} R-V R-vall a than Table b The fi "10/1 the ir mean d R-100 e For si extem R-7.5 f slab i meeter p For loc | ade Wall ^{ch} 1 Value & Depth ues are minimums. <i>U</i> -factors and SHG the label or design thickness of the ins A101.4 shall not be less than the <i>R</i> -va enestration <i>U</i> -factor column excludes 15/21 +5TB" means R-10 continuous in | 21 int 30 .0/15/21 int + 10, 2 ft | | | n/a |
| Below Gra Slab ^{df} R-V R-valu a than Table b The fi "10/1 the ir the ir the ir mean d R-10 e For si exten R-7.5 slab in meet | value & Depth ues are minimums. U-factors and SHG the label or design thickness of the ins a A101.4 shall not be less than the <i>R</i> -va enestration U-factor column excludes 15/21 +5TB" means R-10 continuous in | .0/15/21 int + 10, 2 ft | | | 0.026 0.056 |
| slab ⁴³ R-Valu a than 1 Table b The fr "10/1 the ir the ir mean d R-10 f slab i resten g For lo | value & Depth ues are minimums. U-factors and SHG the label or design thickness of the ins a A101.4 shall not be less than the <i>R</i> -va enestration U-factor column excludes 15/21 +5TB" means R-10 continuous in | 10, 2 ft | TB | | 0.029 0.042 |
| a than 1 Table b The fe "10/1 the ir the ir the ir the ir mean d R-10 e For si exten R-7.5 f slab i meet g For lo | the label or design thickness of the ins A101.4 shall not be less than the <i>R</i> -va enestration <i>U</i> -factor column excludes L5/21 +5TB" means R-10 continuous in | C are maximum | | | n/a |
| Int. (i h frami insula ormaliza redits. To naximum f operati 1. Smal Dwel Addit 2. Medi All dv 3. Large Dwel | 2018 Washing Prescriptive Energy Code O Single Family – Ne Iling unit <i>in a residential building</i> se ition credits) and Table 406.3 (ener o claim this credit, the building per n tested building air leakage, and sh | 1 +5TB" shall I continuous insi b and baseme r heated slab he insulation m vall. In existing slab bs complying v s protecting for with Standard g and insulation ill cavity insula ton State Enc Compliance for w & Addition shall comply v gy credits) to mit drawings now the quali ditioned floor reater than 5 in #1 or #3 | be permitte ulation on tent wall. on grade fil hay be redu- is deemed with Sectionary plastics d ICC 400, I an as descri- tited and he ergy Code or All Clime with suffic b achieve t shall spec fying vent | ed to be met the interior o loors. See Sec uced to R-38 i I to be equiva n R503.1.1 If s. og walls shall bed in Sectio eaders insulat - <i>Residentic</i> ate Zones ir ve February ient options the following ify the opticilation system n less than 3 | with R-13 cavity insulation on or exterior of the wall. "STB" ction R402.2.9.1. if the full insulation depth alent to the required perimete foam plastic is used, it shall I meet the requirements for in A103.2.2 including standard ted with a minimum of R-10 a/ in Washington (1, 2021) is from Table R406.2 (fuel g minimum number of on selected and the em and its control sequence 00 sf of fenestration area. |
| efore sele | ther additions shall meet 1-3 abov ecting your credits on this Summary tal Su Fuel Normalization Descriptic | ble, review the ummary of Tal | ble R406.2 Credits | Table 406.3 (- select ONE ing option | |
| | Combustion heating minimum NAECA ^b | | 0.0 | | |
| | leat pump ^c lectric resistance heat only - furnace o | or zonal | 1.0 -1.0 | | |
| 4 D | OHP with zonal electric resistance per o | | 0.5 | | |
| 5 A Energy | All other heating systems | | | - select ONE | |
| ptions | Energy Credit Option Descript | ions | | tion from ea tegory ^d | ch |
| | fficient Building Envelope | | 0.5 | | |
| | fficient Building Envelope | | 0.5 | | |
| | fficient Building Envelope | | 1.0 | | |
| | fficient Building Envelope | | 3.0 | | |
| | Efficient Building Envelope Air Leakage Control and Efficient Ventil | ation | 0.5 | | |
| | Air Leakage Control and Efficient Ventil | | 1.0 | | |
| | Air Leakage Control and Efficient Ventil | | 1.5 | | |
| | Air Leakage Control and Efficient Ventil High Efficiency HVAC | adon | 2.0 | | |
| | ligh Efficiency HVAC | | 1.0 | | |
| | ligh Efficiency HVAC ligh Efficiency HVAC | | 1.5 | | |
| 3.5 H | ligh Efficiency HVAC | | 1.5 | | |
| | ligh Efficiency HVAC | | 2.0 | | |
| | ligh Efficiency HVAC Distribution Syste ligh Efficiency HVAC Distribution Syste | | 1.0 | | |
| | 2018 Washing Prescriptive Energy Code C | | | | |
| | Single Family – Ne | | | | |
| Energy Options | Energy Credit Option Descriptions | nary of Table I s (cont.) | Credits - se energy op each cat | elect ONE tion from tegory ^d | User Notes |
| | fficient Water Heating | | 0.5 | | |
| | fficient Water Heating | | 1.0 | | |
| | fficient Water Heating | | 1.5 | | |
| | fficient Water Heating fficient Water Heating | | 2.0 2.5 | | |
| 5.5 E | Renewable Electric Energy (3 credits ma | ax) | 1.0 | | |
| 5.5 E 5.6 E 6.1 ^e R | Appliance Package | Total Credits | 0.5 | 7.0 0 | Calculate Total Clear Form |
| 5.5 E 5.6 E 6.1 ^e R | ernative heating source sized at a maxi | imum of 0.5 W | //sf (equiva | | |
| 5.5 E 5.6 E 6.1 ^e R 7.1 A | ever is bigger, may be installed in the o ment listed in Table C403.3.2(4) or C40 | | | | |

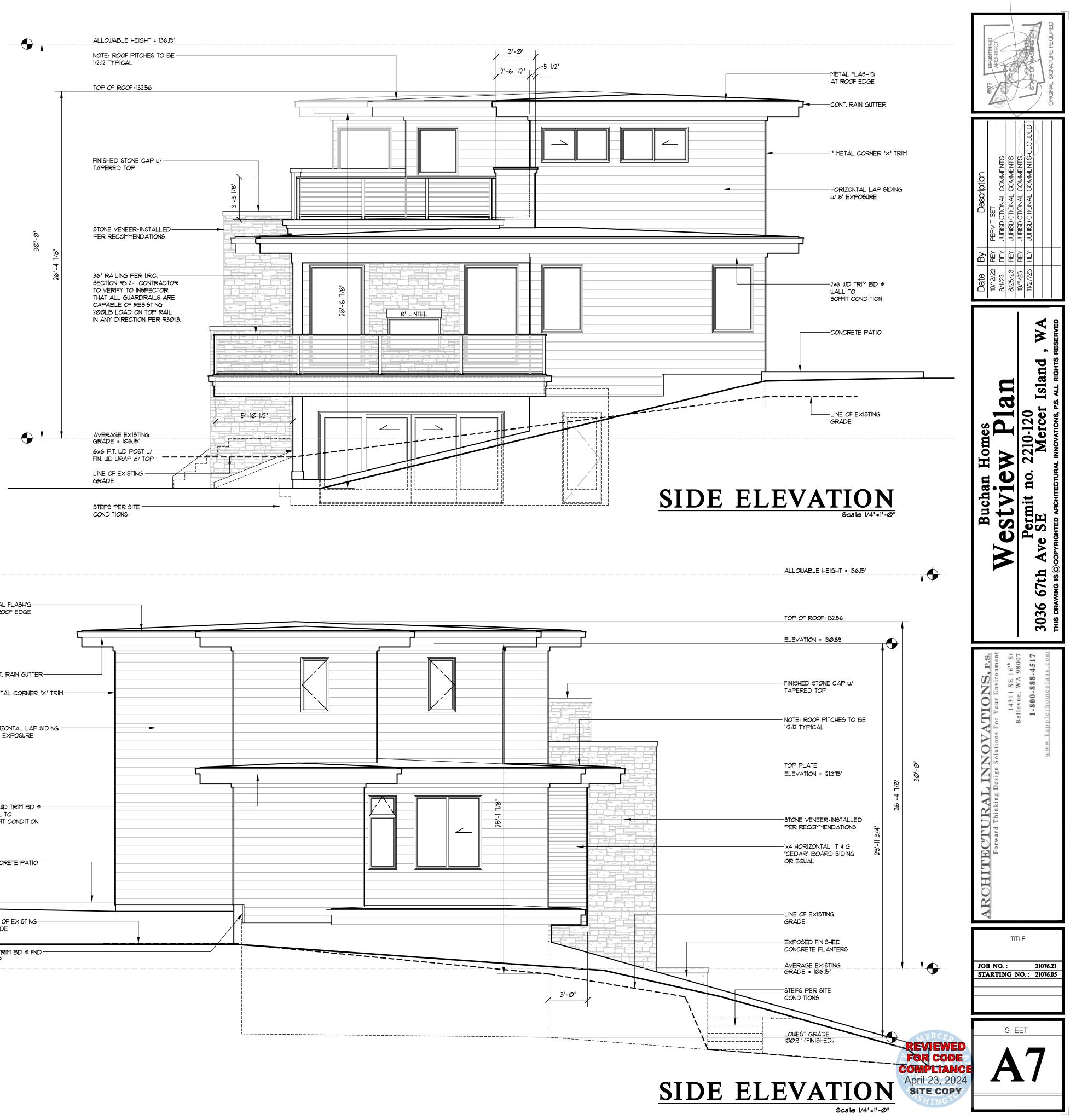
See the complete Table R406.2 for all requirements and option descriptions. f. Use the single radiobutton in the upper right of the second column to deselect radiobuttons in that group. lease print only pages 1 through 3 of this worksheet for submission to your building official.

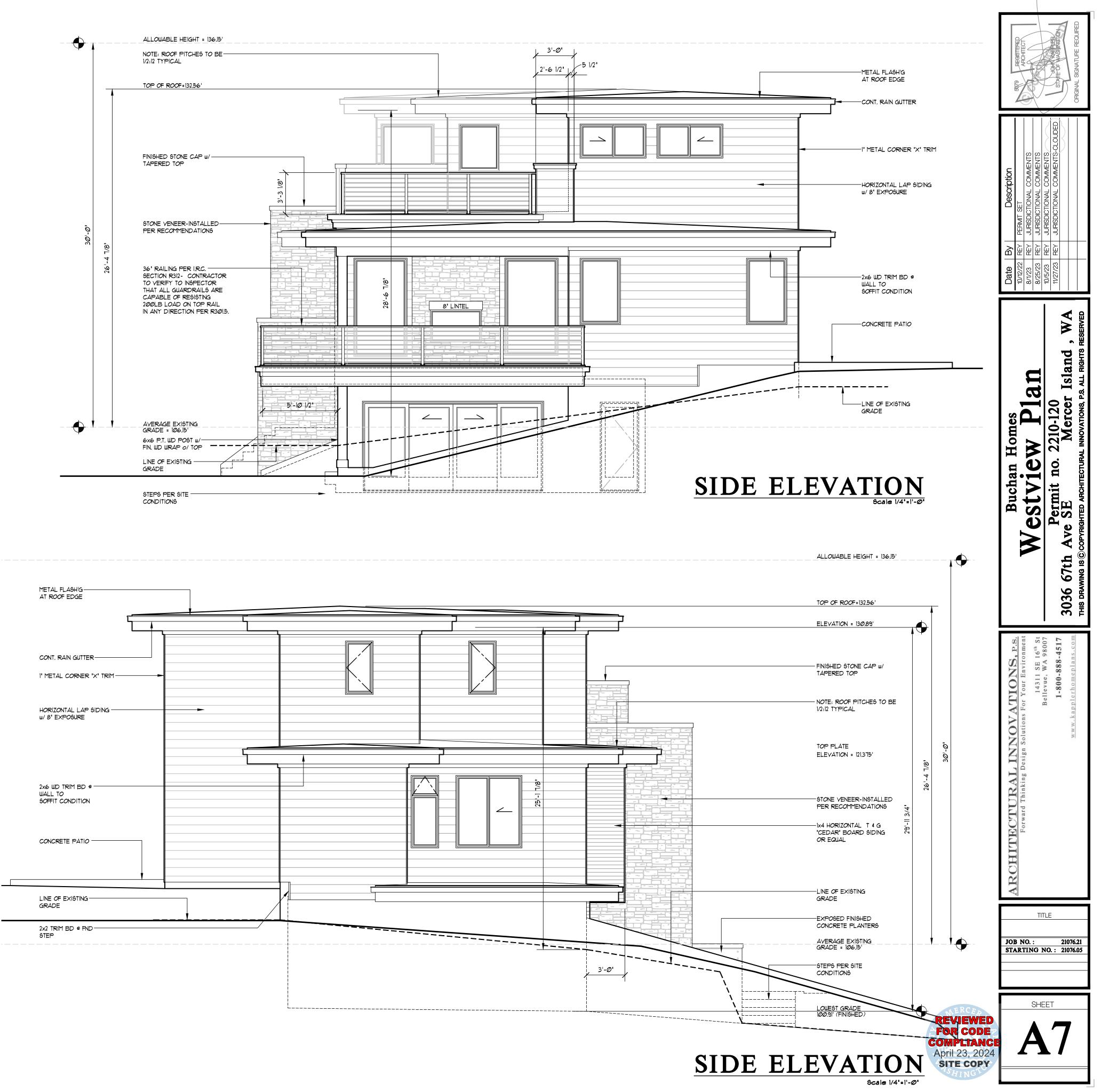
5.5 EFFICIENT WATER HEATING 2.0 credit WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING:

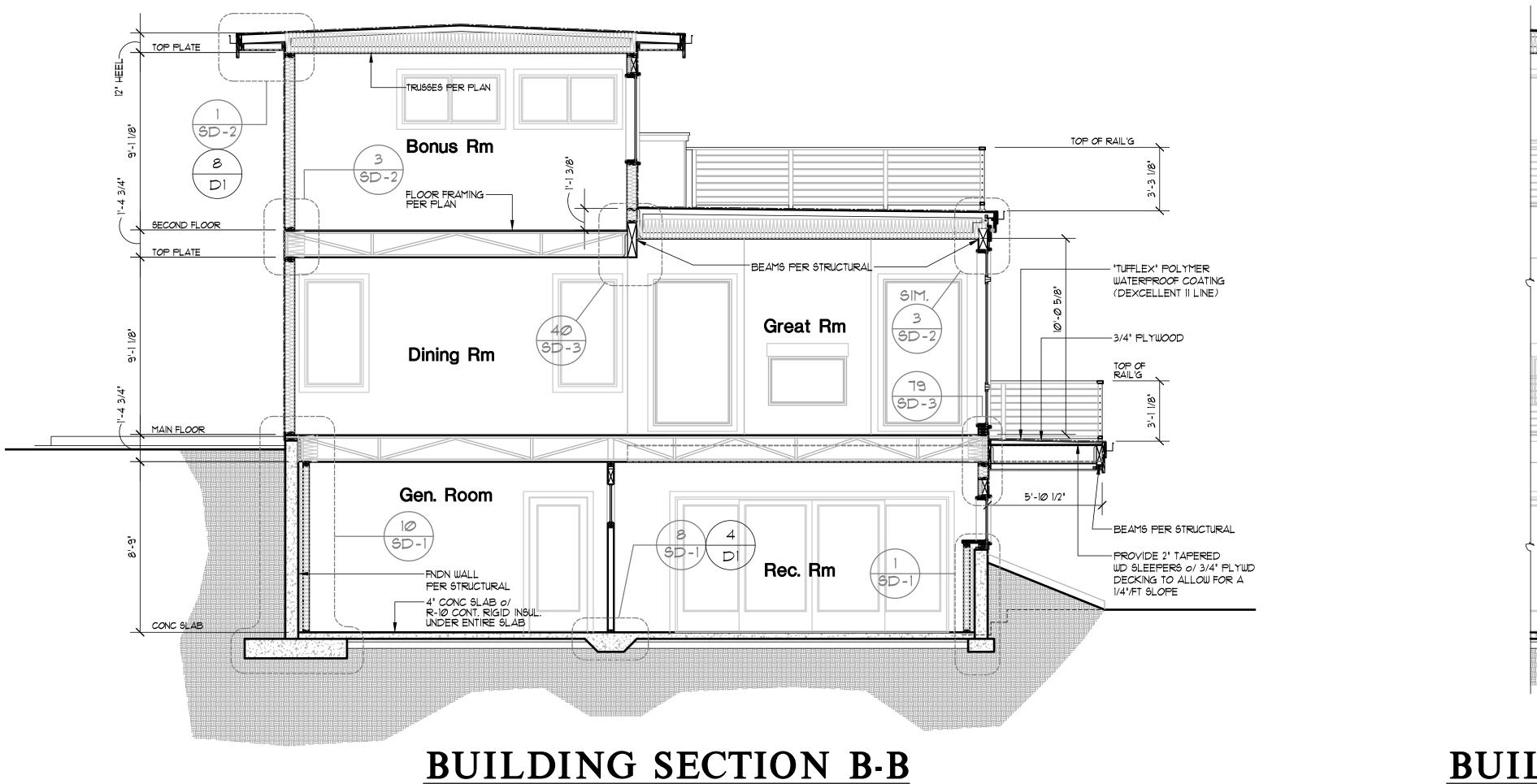
ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR THER 3 OF NERA'S ADVANCED WATER HEATING SPECIFICATION.

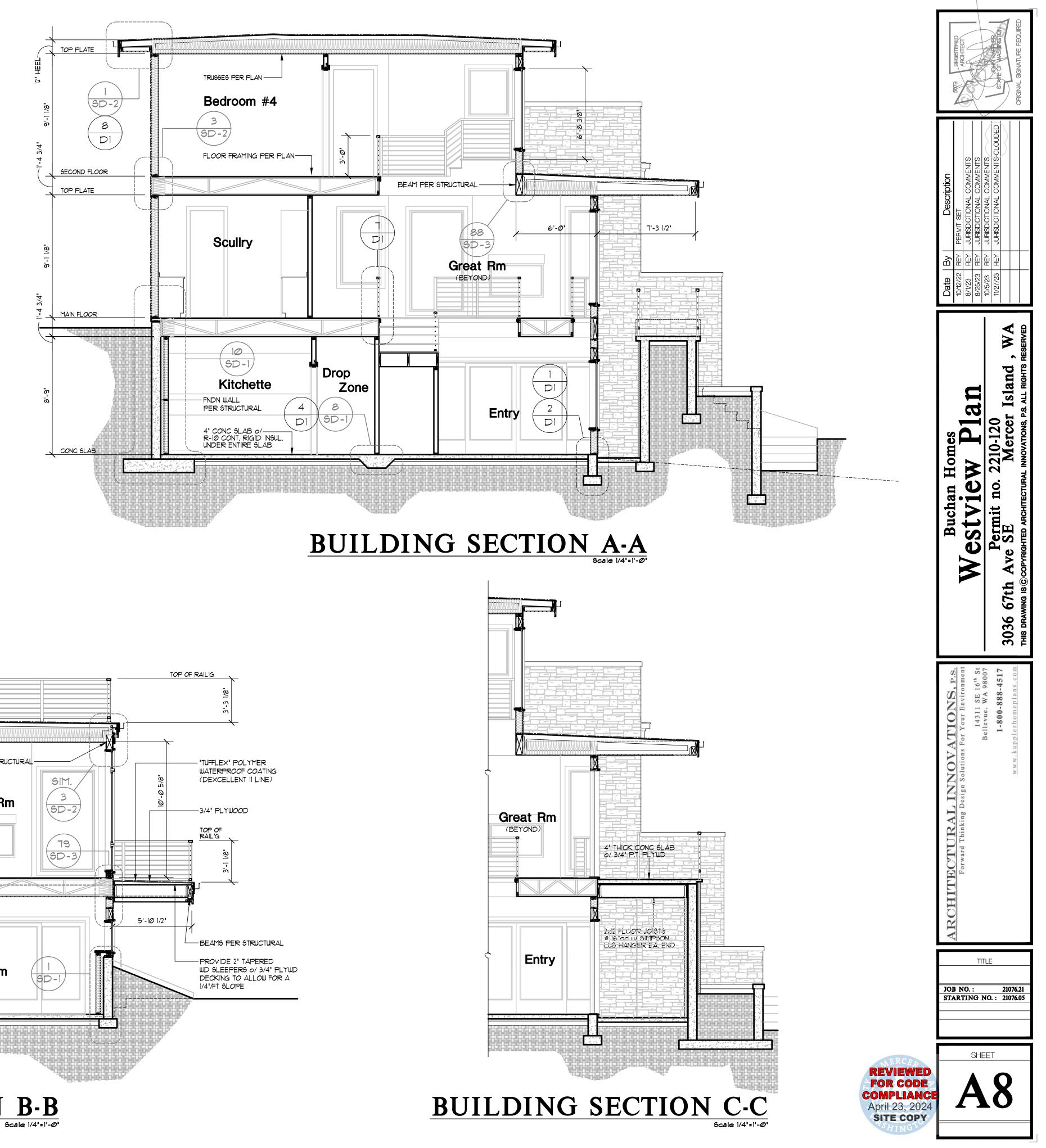
FOR R-2 OCCUPANCY, ELECTRIC HEAT PUMP WATER HEATER(S) MEETING THE STANDARDS FOR TIER 3 OF NEEA'S ADVANCED WATER HEATING SPECIFICATION, SHALL SUPPLY DOMESTIC HOT WATER TO ALL UNITS. IF ONE WATER HEATER IS SERVING MORE THAN ON DWELLING UNIT, ALL HOT WATER SUPPLY AND RETICULATION PIPING SHALL BE INSULATE WITH MIN R-8 MINIMUM PIPE INSULATION

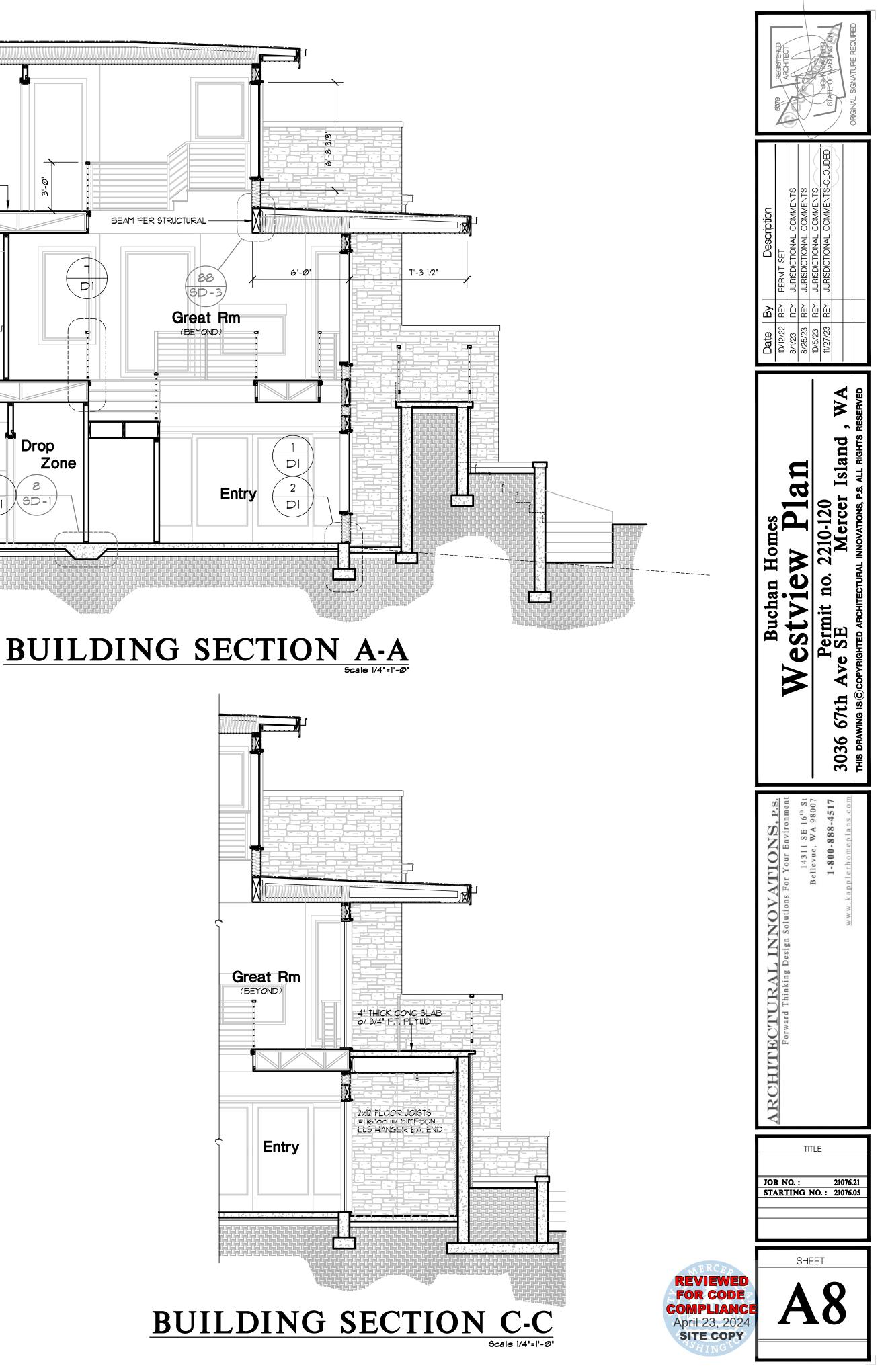
6.1 RENEWABLE ELECTRIC ENERGY OPTION 1.0 credit SOLAR ENERGY PANELS TO BE INSTALLED ON EXISTING ROOF. Documentation showing photovoltaic shall be submitted indicating minimum annual energy power production.

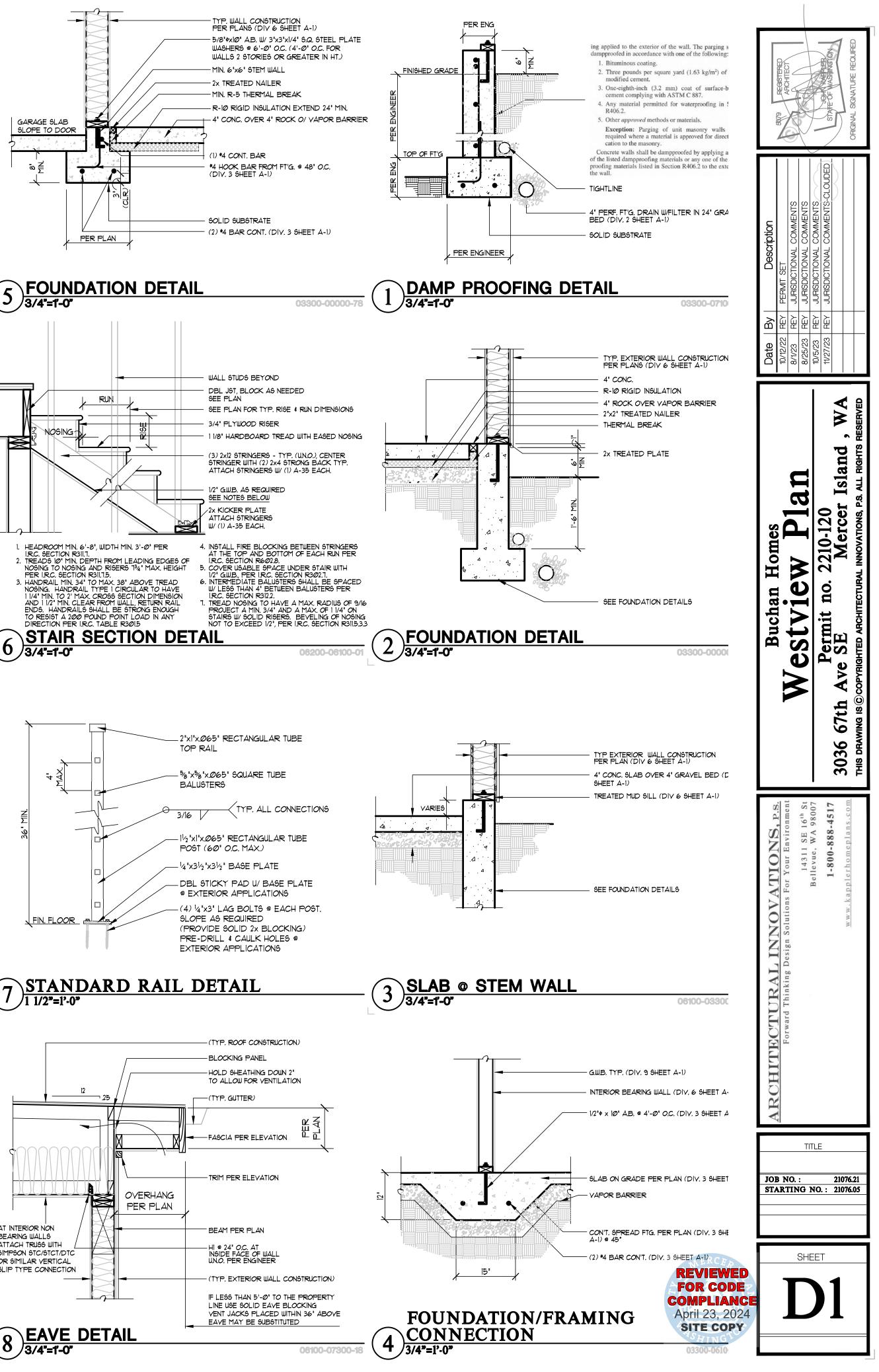


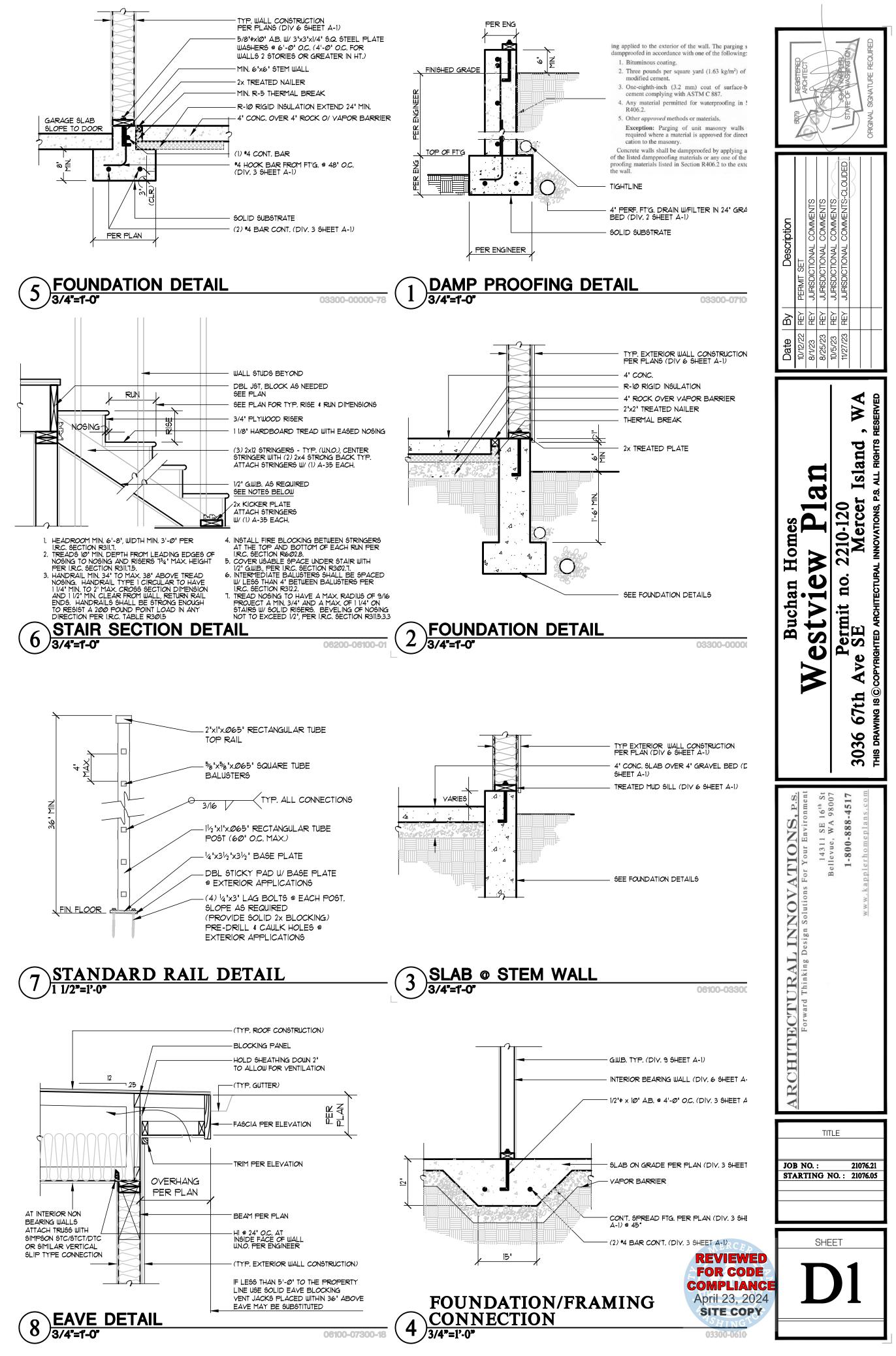


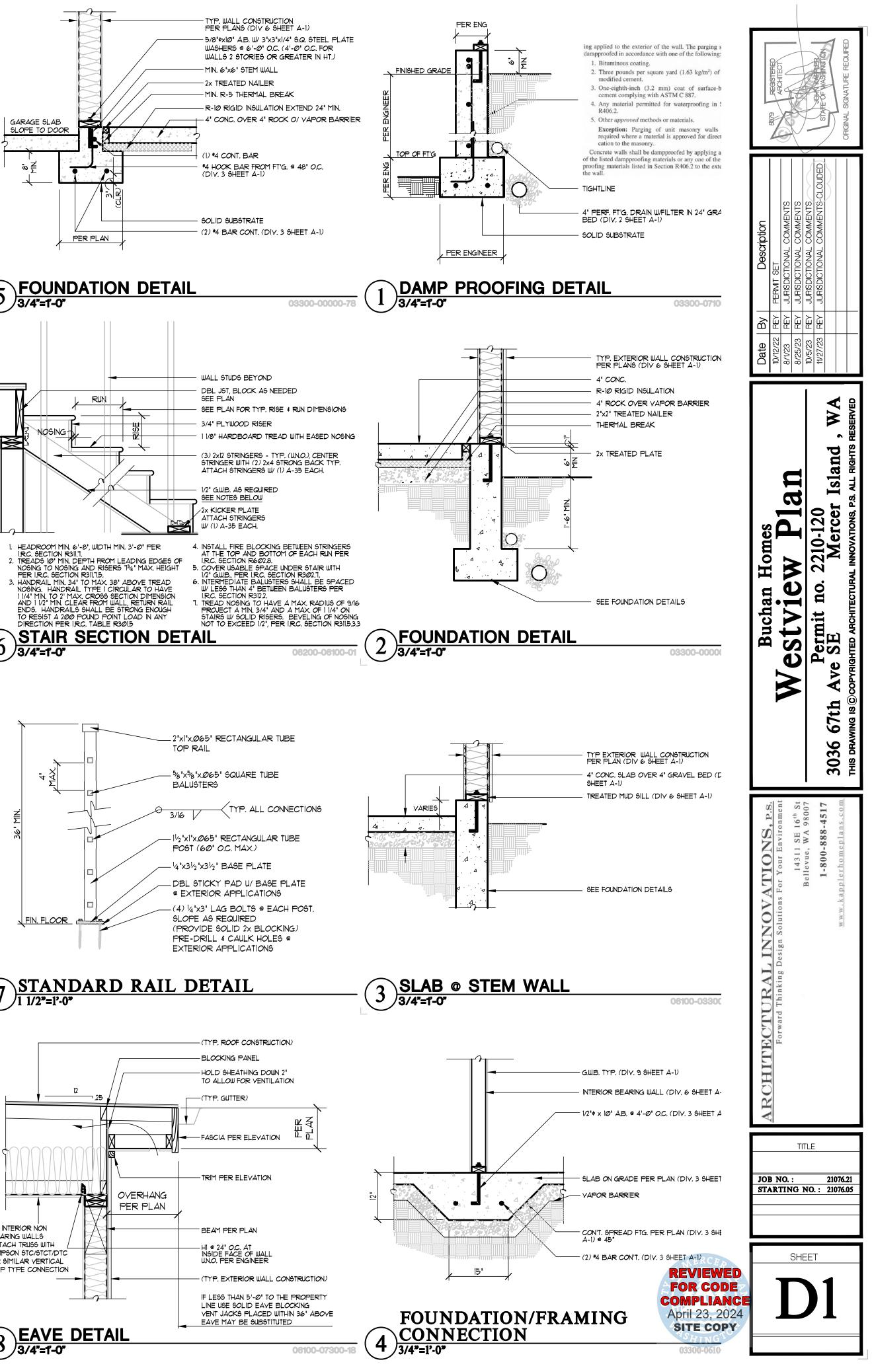


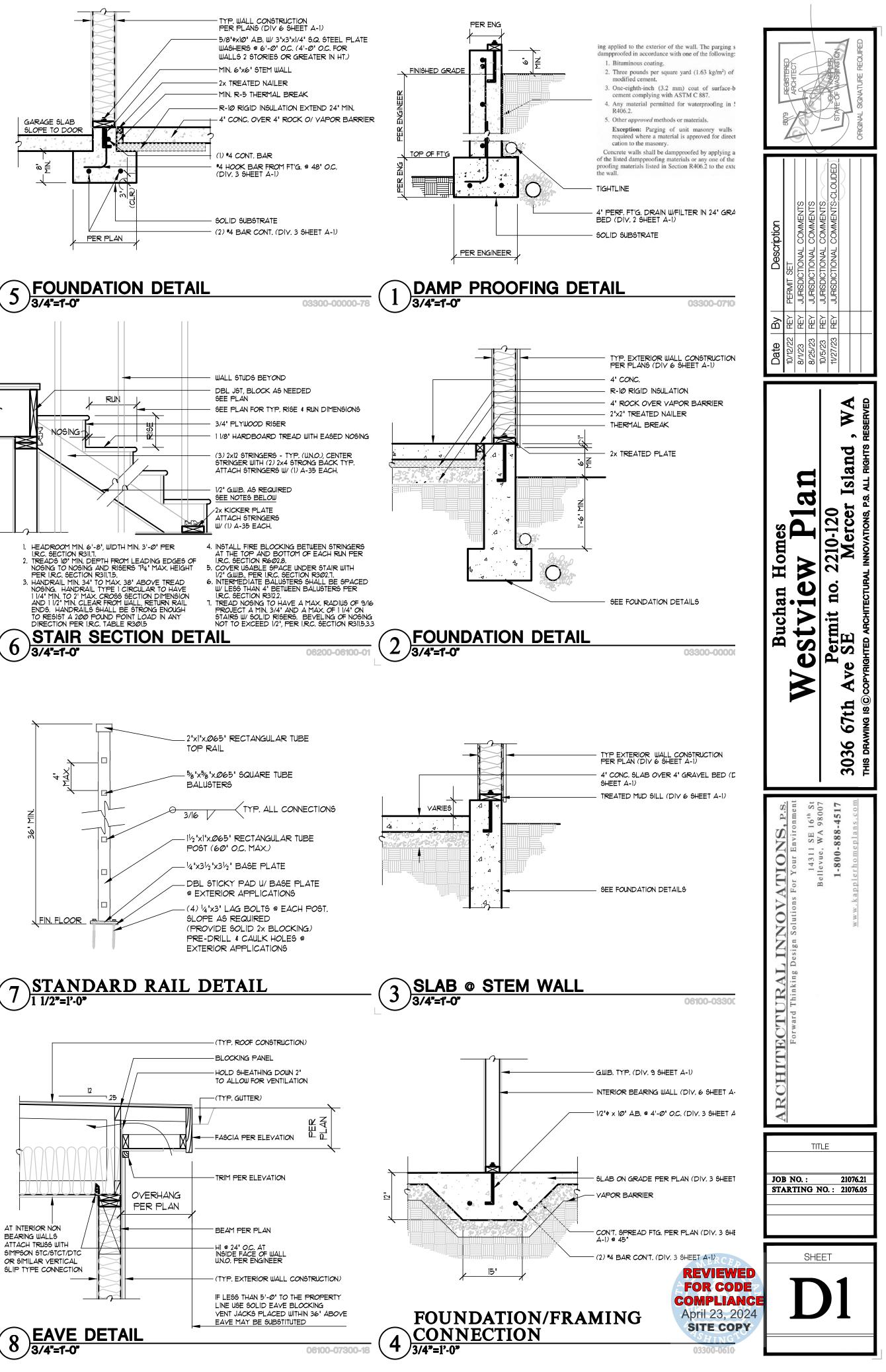












PILE STRUCTURAL NOTES

GRADE BEAM ON PIPE PILINGS:

- PILES SHALL BE INSTALLED TO SUPPORT DESIGN LOAD OF 6 TONS/PILE MINIMUM FOR 3" DIA. PILES AND 10 TONS/PILE MINIMUM FOR 4" DIA. PILES (SAFE LOAD).
- PILING CONTRACTOR SHALL DETERMINE BY TEST PILE, THE LENGTH AND DIMENSIONS OF THE PILINGS REQUIRED TO REACH DESIGN LOAD CAPACITY IN ACCORDANCE WITH ASTM DII43-81.
 - 3" MIN. DIA., SCHEDULE 40, GALVANIZED, ASTM A-53 GRADE "A" PIPE PILES
- PILES SHALL BE DRIVEN TO REFUSAL (10' MINIMUM DEPTH) WITH A TRACTOR-MOUNTED HYDRAULIC HAMMER WITH AN ENERGY RATING OF 650 LB AND TO REFUSAL OF LESS THAN ONE INCH DURING 12 SECONDS OF CONTINUOUS DRIVING. GEOTECH TO COORDINATE DRIVING CRITERIA IF ALTERNATIVE HAMMER SIZE IS SELECTED BY THE CONTRACTOR.
- PILES SHALL BE DRIVEN IN NOMINAL SECTIONS AND CONNECTED WITH COMPRESSION FITTED COUPLERS. DO NOT WELD PIPE JOINTS TOGETHER.
- GEOTECH OF RECORD OR HIS/HER REPRESENTATIVE SHALL BE PRESENT TO OBSERVE PIN PILE INSTALLATION & LOAD TEST.
- PER ASTM 1143-81, 3% OF EACH PILE DIAMETER SIZE SHALL BE LOAD TESTED. A MAXIMUM OF 5 PILES (I MINIMUM) WILL BE
- REQUIRED FOR EACH PILE DIAMETER SIZE.

PORCH SLAB

4" CONC. SLAB ON GRADE ON 8 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

GARAGE SLAB

4" CONC. SLAB ON GRADE ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

BASEMENT SLAB

4" CONC. SLAB ON GRADE ON 8 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE
 <u>\$ 2018 INTERNATIONAL BUILDING CODE</u>
- FOUNDATIONS HAS BEEN DESIGNED BASED ON GEOTECH REPORT PROVIDED BY YERRA ASSOCIATES, INC., DATED AUGUST 18, 2022, REVISED NOVEMBER 27, 2023.
- DESIGNLOARS
- SOIL 2,000 PSF ALLOWABLE BEARING PRESSURE
 CONCRETE SHALL ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:
- f'c = 2,500 psi: FOUNDATION WALLS* 2,500 psi: FOOTINGS*
- 2,500 psi: INTERIOR SLABS ON GRADE 3,500 psi: EXT. SLABS ON GRADE
- fy = 60,000 psi
- * UTILIZE 5½" SACK 2500 PSI CONCRETE MIXES THAT ARE EQUIVALENT TO 3,000 PSI CONCRETE FOR WEATHERING POTENTIAL
 • ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS
- ALL CONDICT IN LATING THAN 7% AIR ENTRAINMENT.
 TYPICAL REINFORCEMENT DETAILS: LAP ALL REBAR 24" MIN.; BEND BARS AND LAP AT CORNERS; PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT; PROVIDE 3" MINIMUM COVER
- AT THE BOTTOM BARS AND I I/2" COVER AT THE SIDES.
 FOUNDATION WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY EITHER ADEQUATE TEMPORARY BRACING OR INSTALLATION OF
- EITHER ADEQUATE TEMPORARY BRACING OR INSTALLATION OF FIRST FLOOR DECK.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE. CONSULT SOILS REPORT/ LOCAL MUNICIPALITY FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP. (15'-0" O.C.)
- FASTEN SILL PLATES TO FOUNDATION WALLS WITH ⁵/₆" DIA. ANCHOR BOLTS w/ MIN. 3"x3"x ¼" PLATE WASHERS (EDGE OF WASHER TO BE LOCATED WITHIN ½" OF EXTERIOR EDGE OF SILL PLATE) & NUTS Ø 6'-0" O.C. Ø 2-STORY & 4'-0" O.C. Ø 3-STORY CONDITIONS w/ 7" MIN. EMBEDMENT INTO CONC. PROVIDE A MINIMUM OF 2 ANCHORS PER
- PLATE, I2" MAXIMUM FROM PLATE ENDS, U.N.O. (SEE FND. DETAILS).
 ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W CONCRETE OR MASONRY FOUNDATION SHALL BE PRESERVATIVE TREATED HEM FIR #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORDINATE
- ARCH/BUILDER TO VERIFY ALL DIMENSIONS
 .2000 I

| HOLD-DOWN SCHEDULE | | | | | |
|--------------------|--------|---|--|--|--|
| | SYMBOL | SPECIFICATION | | | |
| | HD-I | SIMPSON STHD14 (RJ) HOLD-DOWN | | | |
| | HD-5 | SIMPSON CSI6 STRAP TIE (14" END LENGTH) | | | |
| | HD-6 | SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) | | | |
| | | | | | |

| HD-7 | SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |
|------|---|
| - | · · · · · · · · · · · · · · · · · · · |

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES OR GIRDER TRUSSES DOES NOT EXCEED THE FOLLOWING:

- A. ROOF TRUSSES: 1/4" DEAD LOAD
- B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS: I/8" DEAD LOAD
- C. FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS:
- LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)

| LOADING AND DESIGN | |
|---|---------------------------------------|
| PARAMETERS | |
| RAVITY DESIGN LOADS: DEAD LOAD (PSF): ROOF TRUSS TOP CHORD ROOF TRUSS BOTTOM CHORD FLOOR TRUSSES: FLOOR (SOLID SAWN): | 10 7 15 10 |
| LIVE LOAD (PSF): ROOF : RESIDENTIAL LIVING AREAS : RESIDENTIAL SLEEPING AREAS : BALCONY LIVE: | 20 40 30 60 |
| SNOW LOAD: GROUND SNOW LOAD (Pg) (PSF) : FLAT ROOF SNOW LOAD (Pt) (PSF) : SNOW EXPOSURE FACTOR (Cg) : SNOW LOAD IMPORTANCE FACTOR (I) : THERMAL FACTOR (Ct) : | 25 25 0.4 1.0 1.2 |
| ATERAL DESIGN LOADS: WIND LOAD: (IBC 1609) SPEED (Vuit) (MPH) : WIND RISK CATEGORY : IMPORTANCE FACTOR (Iw) : EXPOSURE CATEGORY : INTERNAL PRESSURE COEFF. (GCpl) : TOPOGRAPHIC FACTOR (Kzt) : | 100 11 1.0 C ±0.18 1.0 |
| SEISMIC LOAD: (IBC 1613) SEISMIC RISK CATEGORY : SEISMIC IMPORTANCE FACTOR (I.e) : MAPPED SPECTRAL RESPONSE : So: 1.407 SITE CLASS : | II I.O D |
| SPECTRAL RESPONSE COEFF. : Sps: 0.438 Spi: 0.591 SEISMIC DESIGN CATEGORY : BASIC SEISMIC-FORCE-RESISTING SYS : LIGHT FRAMED WALLS W/WOOD STRUCTURAL PANELS DESIGN BASE SHEAR (ULT.): TRANS: 23k LONG: 23k SEISMIC RESPONSE COEFF. (Cs) (ADDITION) : TRANS: 0.144 LONG: 0.144 RESPONSE MODIFICATION FACTOR (R) : TRANS: 6.5 LONG: 6.5 | D |
| ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE | |

LATERAL BRACING NOTES

HIS HOME HAS BEEN ENGINEERED TO RESIST LATERAL FORCES RESULTING FROM: 100 MPH WIND SPEED, EXP. C

(ASCE 7-16 WIND MAP, PER IRC R301.2.1.1) RISK CAT. 2 & SEISMIC CAT. D2.

10 MPH WIND IN 2018 IRC MAP ENGINEERED DESIGN WAS COMPLETED PER 2018 IBC (SECTION 1609 & 1613) & ASCE 7-16, AS PERMITTED BY R301.1.3 OF THE 2018 IRC. ACCORDINGLY, THIS HOME, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO ESIST THE CODE REQUIRED LATERAL FORCES AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF R602.10.

STANDARD EXTERIOR WALL SHEATHING SPECIFICATIONS

(INTERIOR WALL SPECIFICATION WHERE NOTED ON PLANS)

16" OSB OR ¹⁵32" PLYWOOD:

FASTEN SHEATHING W/ 2_2^{I} x0.131" NAILS © 6"o.c. AT ALL SUPPORTED PANEL EDGES AND 12" O.C. IN THE PANEL FIELD. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2× HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE. <u>ALL EXTERIOR WALLS</u> SHALL BE CONSTRUCTED PER THIS SPECIFICATION U.N.O. ON PLANS

<u>3" O.C. EDGE NAILING</u> (WHERE NOTED ON PLANS)

%" OSB OR ¹⁵32" PLYWOOD:

ONLY AT LOCATIONS INDICATED ON PLANS - SHEATHE WALL SHOWN WITH $\frac{7}{6}$ " OSB. FASTEN SHEATHING w/ $2\frac{1}{2}$ "x0.131" NAILS @ 3" O.C. AT EDGES AND 12" O.C. AT CENTER. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE AND 3" O.C. FASTENING.

NOTES:

LATERAL ANALYSIS ASSUMES STUD SPACING @ 16" o.c.

- ALL SHEAR WALLS SHALL HAVE DOUBLE TOP PLATES FASTENED TOGETHER w/ 3"x0.131" NAILS @ 8" O.C. USE (12)3½"x0.135" NAILS AT EACH LAP SPLICE, (6) EACH SIDE OF JOINT (TYP. U.N.O)
- ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED.
 ALL INTERIOR SHEAR WALLS AND EXTERIOR WALLS ARE SHEATHED ABOVE AND BELOW OPENINGS.

LEGEND

- INTERIOR BEARING WALL
 INTERIOR WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
 BEAM / HEADER
- INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
 INDICATES AREA OF ROOF OVERFRAMING

• JL METAL HANGER

- # INDICATES POST ABOVE. PROVIDE SOLID
- BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLDOWN.
- • INDICATES PIPE PILE

GENERAL STRUCTURAL NOTES

DESIGN PARAMETERS

- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE
 \$ 2018 INTERNATIONAL BUILDING CODE
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

GENERAL FRAMING

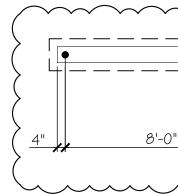
- EXTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (w/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O.
- INTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (w/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O.
- \bullet ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)
- ALL WALLS TALLER THEN TYP. PLATE HEIGHT SHALL BE CONSIDERED BALLOON FRAMED & SHALL BE CONSTRUCTED FROM FLOOR TO UNDERSIDE OF FRAMING AT NEXT LEVEL. B.F. WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) HEM FIR (HF) #2 GRADE LUMBER, OR BETTER.
- ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x KING STUD, MINIMUM.
 THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O..
- BUILT-UP POSTS SHALL BE 2x4 OR 2x6 DOUGLAS FIR (DF) "STUD" GRADE LUMBER, OR BETTER, U.N.O. & SOLID WOOD COLUMNS SHALL BE HEM FIR (HF) #2 GRADE LUMBER, OR BETTER, U.N.O.
- ALL 2x6 AND LARGER SOLID SAWN BEAMS/HEADERS SHALL BE HEM FIR #2 (HF #2) OR BETTER. ALL 4x6 AND LARGER SOLID SAWN LUMBER SHALL BE DOUGLAS FIR #2 (DF #2) OR BETTER.
- ALL FRAMING LUMBER SHALL BE KILN DRIED TO 15% MC (KD-15).
 ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN GENERAL NOTES, IN DETAILS, OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL
- DIAMETERS NOT TYPICAL FRAMING GUN NAILS. • FASTEN ALL BEAMS TO COLUMNS, OR FLUSH BEAMS TO
- SUPPORTING BEAMS, w/ (4) 3"x0.131" TOENAILS (MIN.), TYP. U.N.O.
 PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS & HOLD-DOWNS CONTINUOUS TO FOUNDATION/BEARING. BLOCKING TO
- MATCH POST ABOVE. • ENGINEERED LUMBER TO MEET OR EXCEED THE FOLLOWING:
- LSL MEMBERS Fb=2325 PSI; Fv=3I0 PSI; E=1.55x10^6 PSI
 LVL MEMBERS Fb=2600 PSI; Fv=285 PSI; E=2.0x10^6 PSI
 GLB MEMBERS Fb(+)=2400 PSI; Fb(-)=1850 PSI; Fv=265 PSI; E=1.8x10^6 PSI; DF/DF; 24F-V4 (U.N.O)
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
 LVL MEMBERS Fb=2400 PSI; FcII=2500 PSI; E=1.8x10⁻⁶ PSI
- FACE NAIL MULTI-PLY 2x BEAMS & HEADERS W 3-ROWS OF 3"x0.131" NAILS (MIN.) @ 12" O.C. STAGGERED. APPLY NAILING FROM BOTH FACES @ 3-PLY OR MORE CONDITIONS. UTILIZE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- ALL MEMBERS SPECIFIED AS MULTI-PLY 13/4" SHALL BE FASTENED TOGETHER PER MANUFACTURER. EQUIVALENT WIDTH SOLID MATERIAL MAY BE USED AS EQUAL.
- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS w/P.A.F.s ('HILTI' X-U PINS OR EQUAL (0.157" DIA. x 2" LONG MIN.)) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C., STAGGERED.
 REFER TO IRC FASTENING SCHEDULE TABLE R602.3(1) FOR ALL
- REFER TO IRC FASTENING SCHEDULE TABLE R602.3(1) FOR ALL CONNECTIONS, TYP. U.N.O.

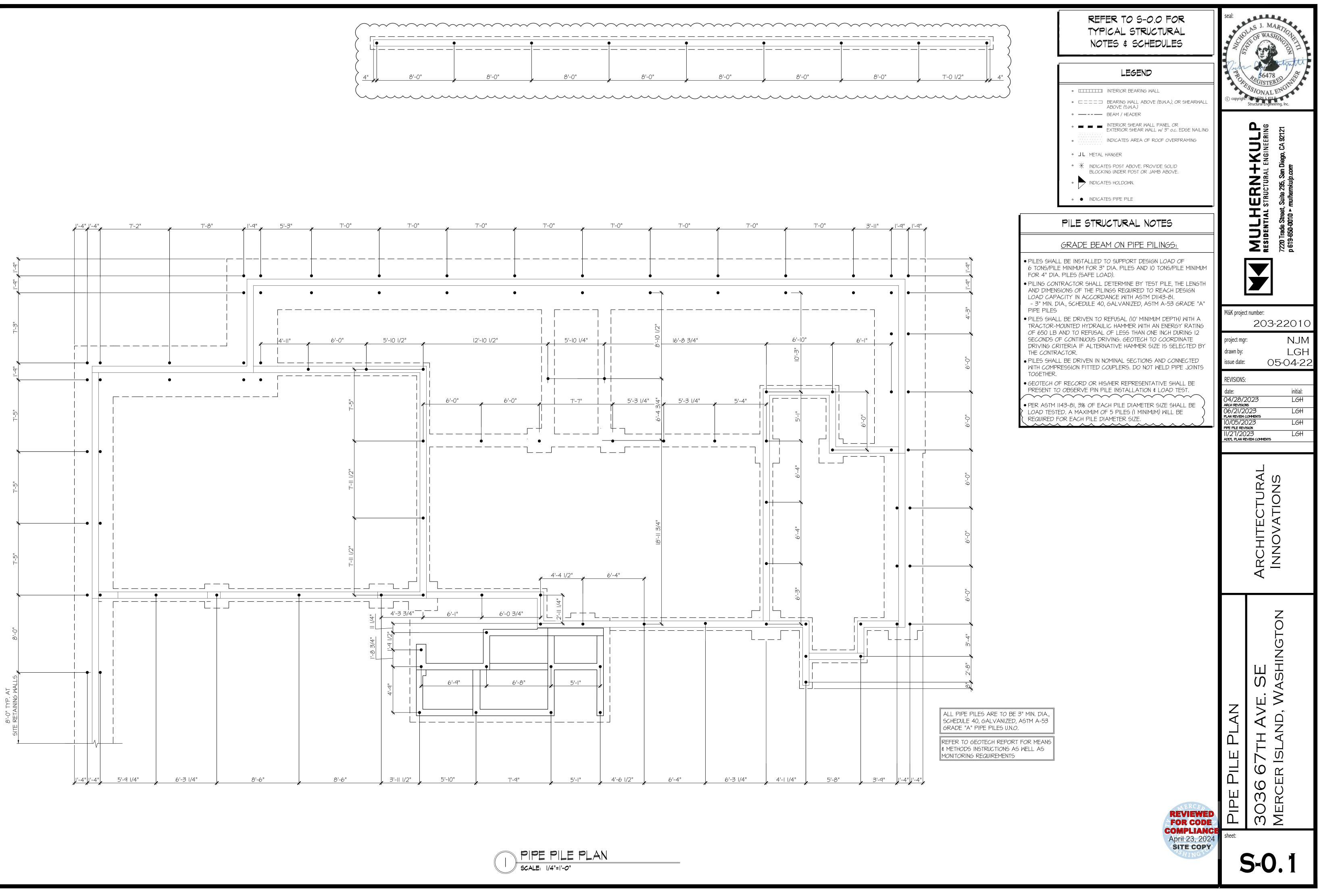
FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA AND SHALL RUN CONTINUOUS OVER SUPPORTS WHEREVER POSSIBLE. ALL LOADS SHOWN ON PLAN FOR MANUF. DESIGNS ARE ASD LEVEL LOADS, U.N.O. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED DESIGNS).
- ALL METAL I-JOIST/TRUSS HANGERS SHALL BE SPECIFIED BY
- I-JOIST/TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED. ● I-JOIST/TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO
- ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY. • 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED
- 2X FLOOR JOISTS TAVE BEEN BESIGNED TO HELT OR EAU L/360 LIVE LOAD DEFLECTION CRITERIA.
- TYPICAL 2x JOIST HANGERS (U.N.O. ON PLANS): SINGLE PLY: SIMPSON LUS210
- DOUBLES: SIMPSON LUS210-2 • FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C. EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND
- GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND 2 ¹/₂" × 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD. • ALL FLUSH CONNECTIONS SHALL BE CONNECTED WITH HANGER
- APPROPRIATE FOR MEMBER SIZE. U.N.O. \bullet FASTEN HANGERS TO SINGLE PLY FLUSH BEAMS w/ $V_2^{\prime\prime}$ LONG NAILS.

ROOF FRAMING

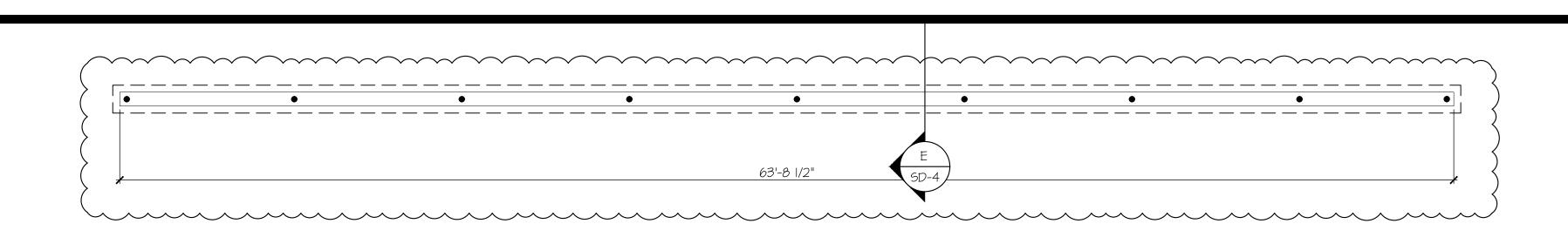
- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ (3) 3"x0.131"
 TOENAILS (MIN.) & (1) 'SIMPSON' H2.5T CLIP @ ALL BEARING POINTS.
 PROVIDE (2) 'SIMPSON' H2.5T CLIPS AT 2-PLY GIRDER TRUSSES & 3-PLY GIRDER TRUSSES AT ALL BEARING POINTS.
- FASTEN EACH ROOF RAFTER TO TOP PLATE WITH (1) 'SIMPSON' H2.5T CLIP. PROVIDE (2) 'SIMPSON' H2.5T CLIPS AT FLUSH BEAMS IN THE ROOF - AT ALL BEARING POINTS.
- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS $w/2\frac{1}{2}$ " x 0.131" NAILS @ 6"o.c. AT PANEL EDGES & @ 12" O.C. AT INTERMEDIATE SUPPORTS. ROOF SHEATHING SHALL EXTEND BELOW ALL INSTANCES OF OVERFRAMING. BLOCKING SHALL BE INSTALLED AS REQUIRED TO LIMIT ROOF SHEATHING SPANS TO 24" MAX.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- ALL METAL HANGERS SHALL BE SPECIFIED BY THE TRUSS
- MANUFACTURER, UNLESS OTHERWISE NOTED. • ROOF TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- ROOF TRUSS SHOP DRAWINGS & CALCULATIONS SHALL BE PREPARED BY A WASHINGTON STATE LICENSED ENGINEER AND SHALL BE DESIGNED FOR UNBALANCED SNOW LOADING PER ASCE 7-16, SECTION 7.6.
- ERECT AND INSTALL ROOF TRUSSES PER WICH REVIEWED "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTAFOR CODE OF METAL PLATE CONNECTED WOOD TRUSSES."
 EASTEN OVER-ERAMED TRUSS SETS TO TRUSSES.
- FASTEN OVER-FRAMED TRUSS SETS TO TRUSSES DELON W 27 3"x0.131" TOENAILS AT EA. TRUSS. April 23, 202
- SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (USITE COPY W/2x6 LEDGER FASTENED TO FRAMING W/(3) 3"x0.131" NAILS @ 16" O.
- FASTEN ALL INTERIOR NON-BEARING PARTITION WALLS TO TRUSS BOTTOM CHORD ABOVE WITH SIMPSON STC CLIPS AT 24" o.c. MAX PROVIDE BLOCKING BETWEEN THE TRUSS BOTTOM CHORDS AS REQUIRED FOR THE PARALLEL CONDITIONS.
- alle. S J. MART WASH 56478 GISTERE SIONALEN ight : MULHERN & KULP 0 9 **D** ^j 2 NG NG **┿** _₹ Z Шţ T M&K project number: 203-2201 NJM project mgr LGH drawn by: 05-04-22 issue date: **REVISIONS:** initial: 04/28/2023 LGH RCH REVISIONS LGH)6/21/2023 PLAN REVIEW COMMENT LGH PIPE PILE REVISION LGH ADD'L PLAN REVIEW COMMENTS A N 7 0 Π \triangleleft Ш >Ó Ζ $\mathbf{\gamma}$ (\mathcal{D}) Ш (N 1n \square く (N Q $\mathbf{\gamma}$ \bigcirc () \bigcirc \mathcal{O} sheet:

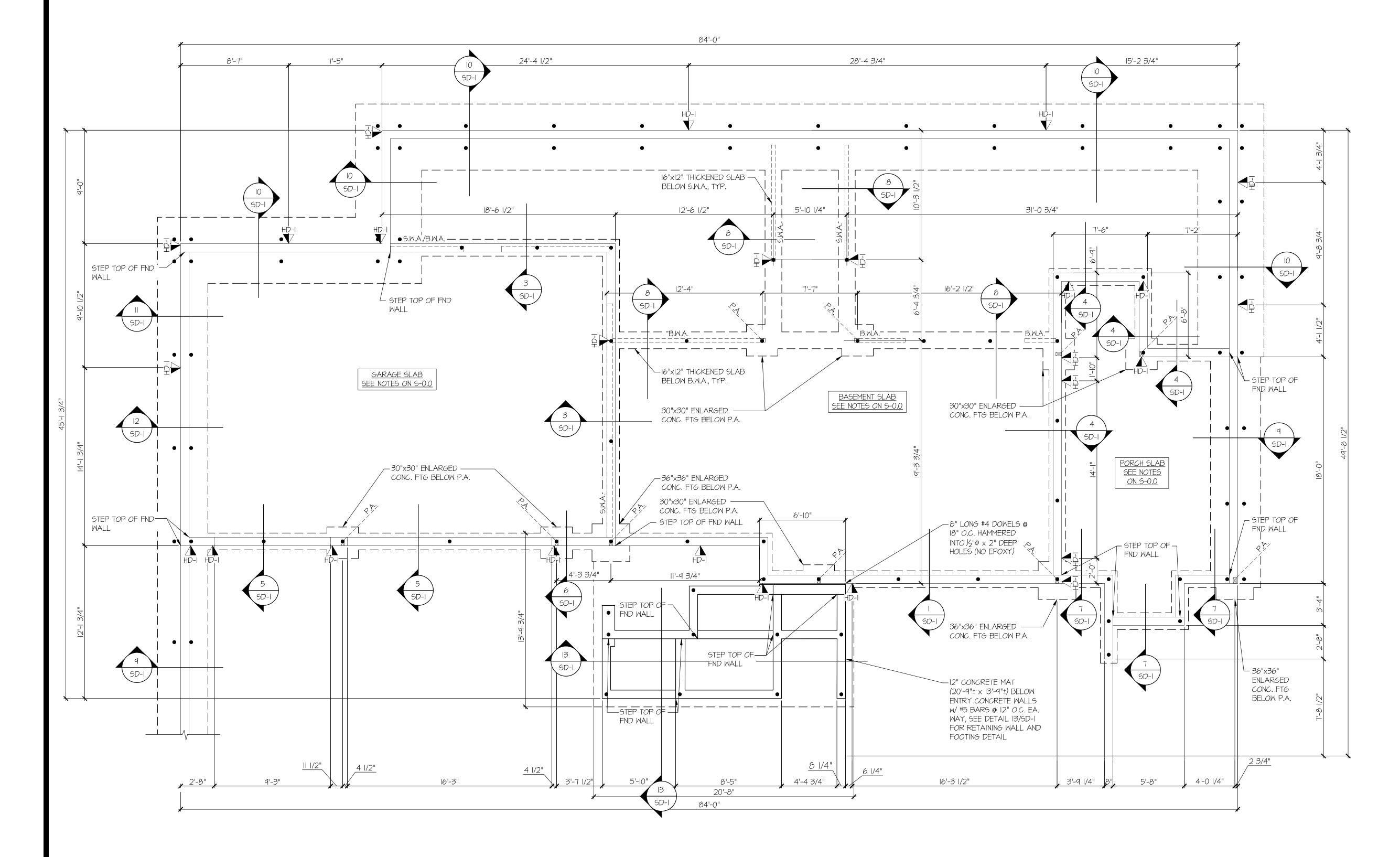




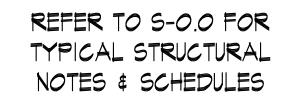
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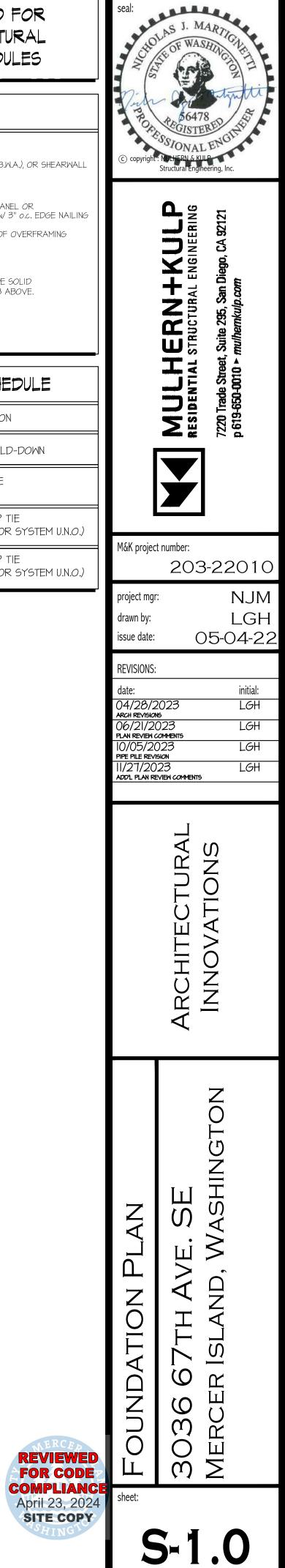


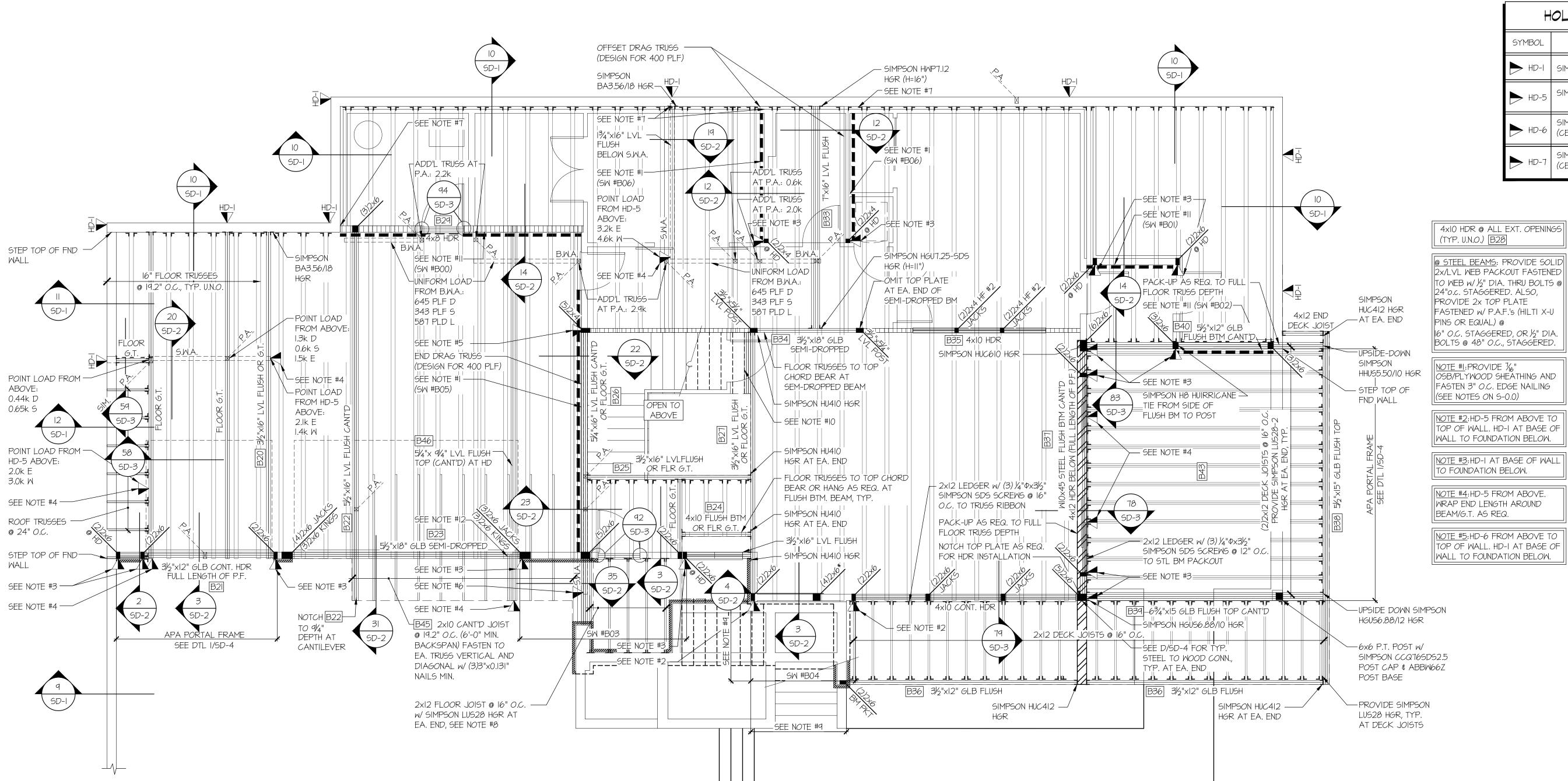


LEGEND

| o | | INTERIOR BEARING WALL |
|---|-----------------------------|---|
| o | | BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.) |
| ٥ | | BEAM / HEADER |
| o | | INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/ 3" O.C. EDGE NAILING |
| 0 | · · · · · · · · · · · · · · | INDICATES AREA OF ROOF OVERFRAMING |
| o | JL METAL | HANGER |
| ٥ | | TES POST ABOVE. PROVIDE SOLID ING UNDER POST OR JAMB ABOVE. |
| o | | TES HOLDOWN. |
| o | • INDICA | TES PIPE PILE |
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| | HOL | D-DOWN SCHEDULE |

| SYMBOL | SPECIFICATION | | |
|--------|---|--|--|
| HD-I | SIMPSON STHD14 (RJ) HOLD-DOWN | | |
| HD-5 | SIMPSON CSI6 STRAP TIE (14" END LENGTH) | | |
| HD-6 | SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N | | |
| HD-7 | SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) | | |





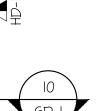
MAIN FLOOR FRAMING PLAN SCALE: |/4"=|'-0"

REFER TO S-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

| LEGEND | | | | | |
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| o [] | IIII INTERIOR BEARING WALL | | | | |
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| • | • INDICATES HOLDOWN. | | | | |
| ∘ ● | • • INDICATES PIPE PILE | | | | |
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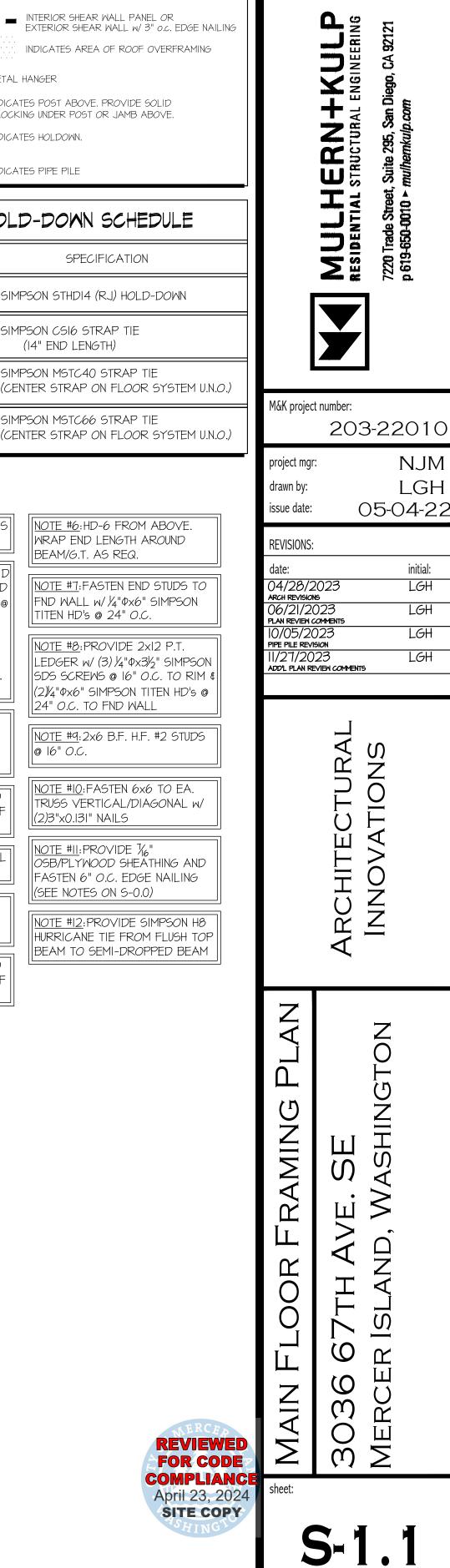
SIMPSON MSTC66 STRAP TIE

HD--



NOTE #6:HD-6 FROM ABOVE. WRAP END LENGTH AROUND BEAM/G.T. AS REQ. NOTE #7: FASTEN END STUDS TO $\|FND WALL w/ \frac{1}{4} \| \Phi x 6 \| SIMPSON$ TITEN HD's @ 24" O.C. NOTE #8:PROVIDE 2xI2 P.T. LEDGER W/ (3) 1/4" PX31/2" SIMPSON SDS SCREWS @ 16" O.C. TO RIM & (2)/4"Px6" SIMPSON TITEN HD's @ 24" O.C. TO FND WALL NOTE #9:2x6 B.F. H.F. #2 STUDS @ 16" O.C. NOTE #10: FASTEN 6x6 TO EA. TRUSS VERTICAL/DIAGONAL W/ (2)3"x0.131" NAILS NOTE #11: PROVIDE 1/6" OSB/PLYWOOD SHEATHING AND FASTEN 6" O.C. EDGE NAILING (SEE NOTES ON S-0.0) NOTE #12:PROVIDE SIMPSON H8

HURRICANE TIE FROM FLUSH TOP BEAM TO SEMI-DROPPED BEAM

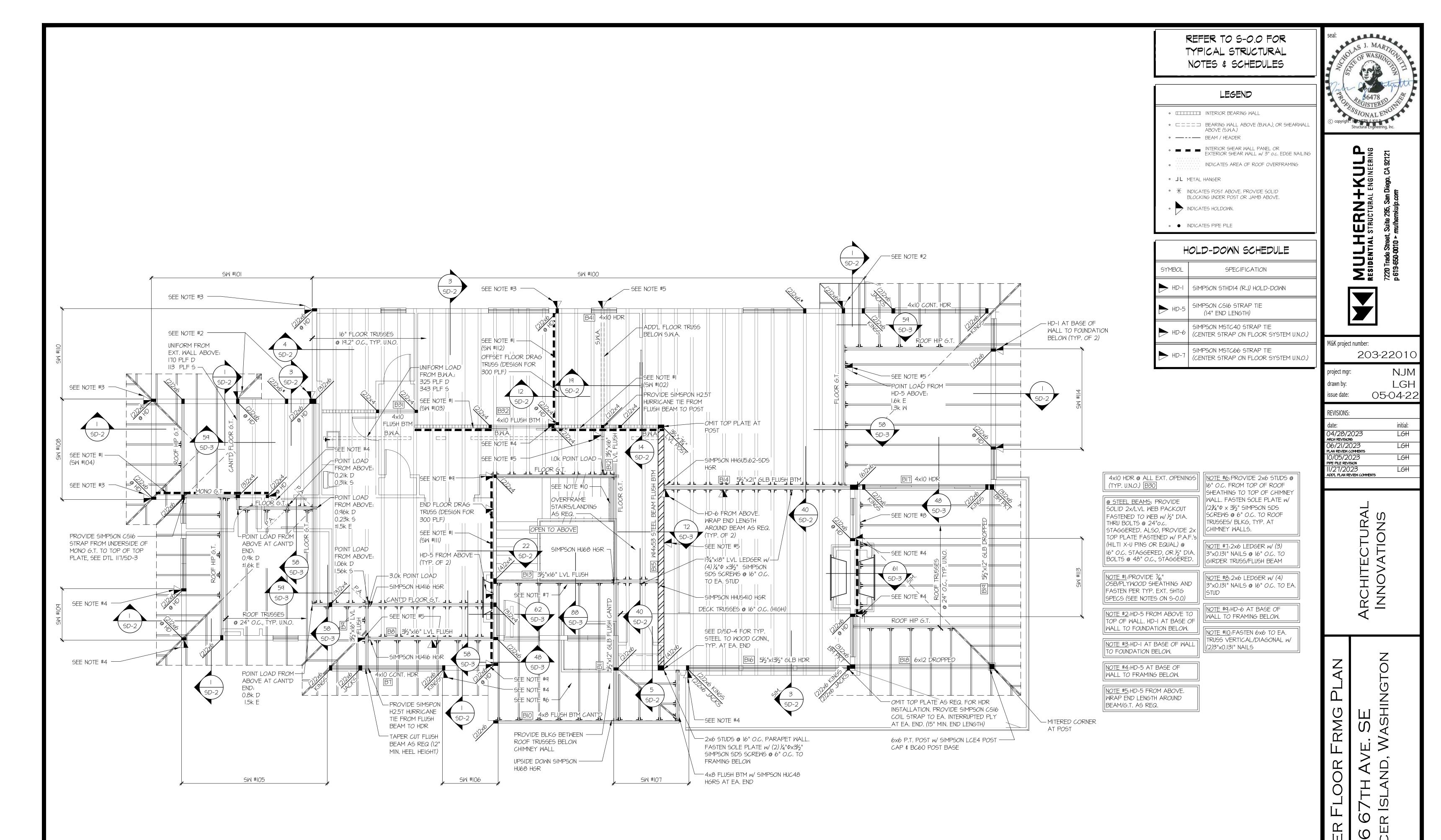


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UPPER FLOOR FRAMING PLAN SCALE: |/4"=|'-0"





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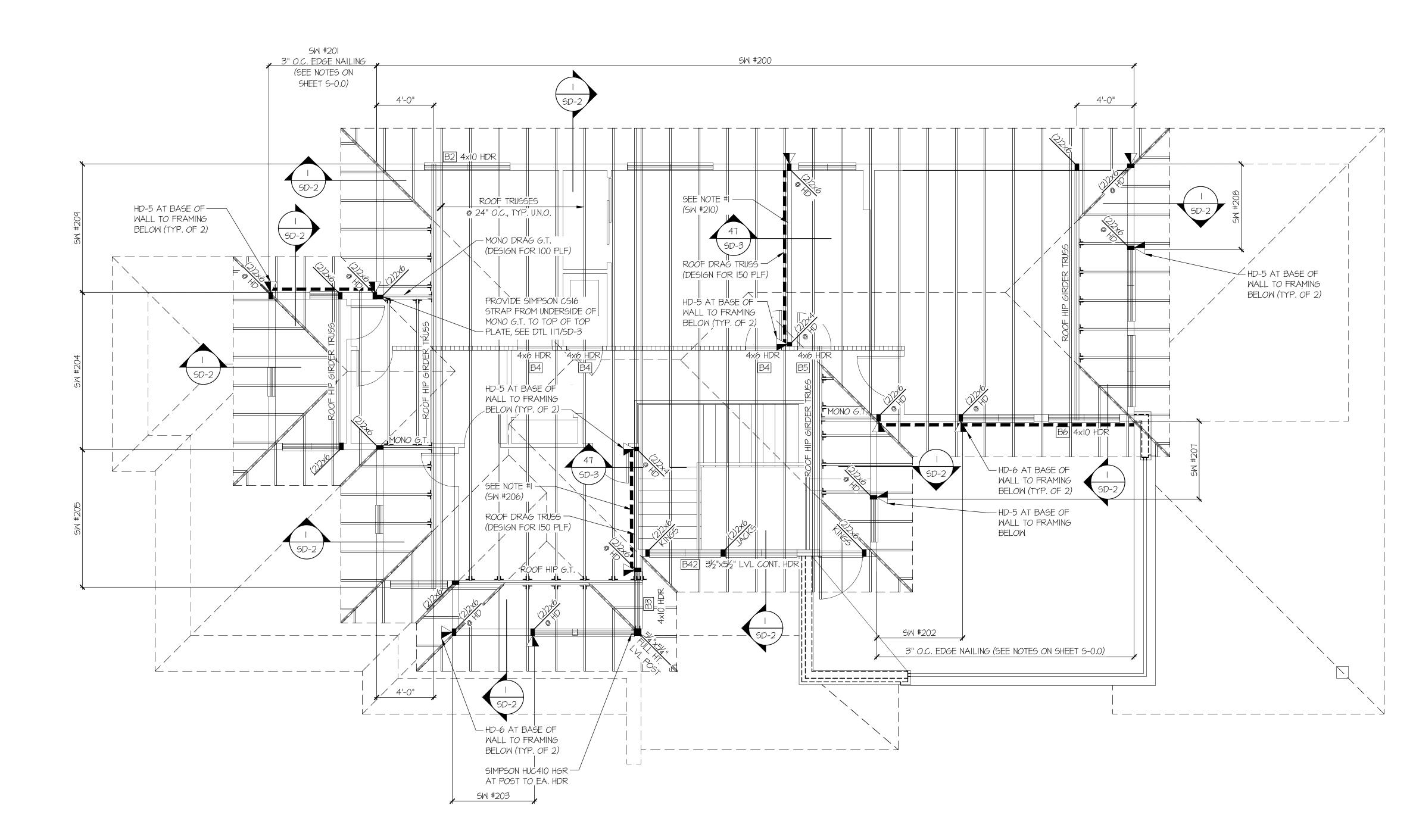
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REFER TO S-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

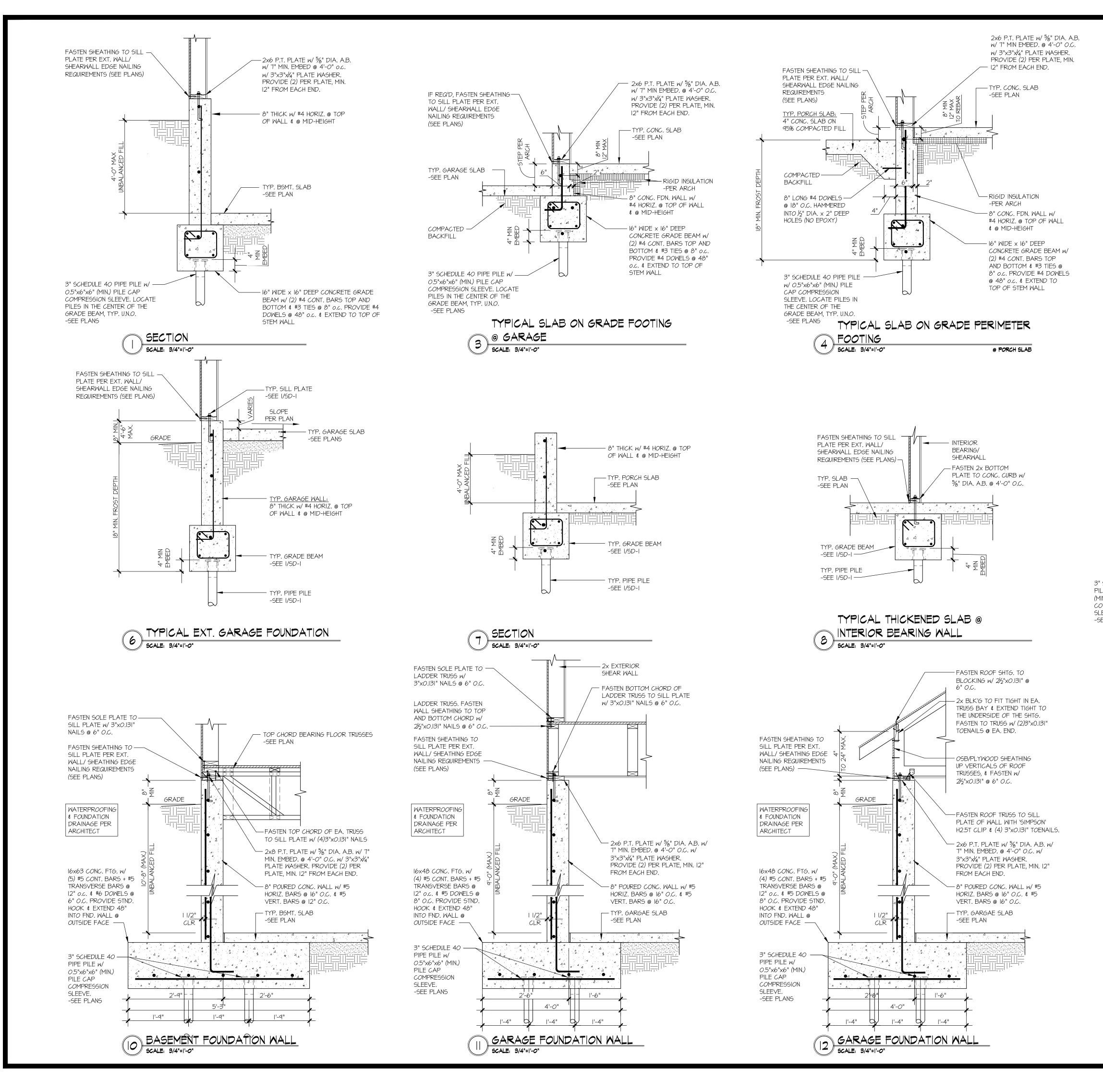
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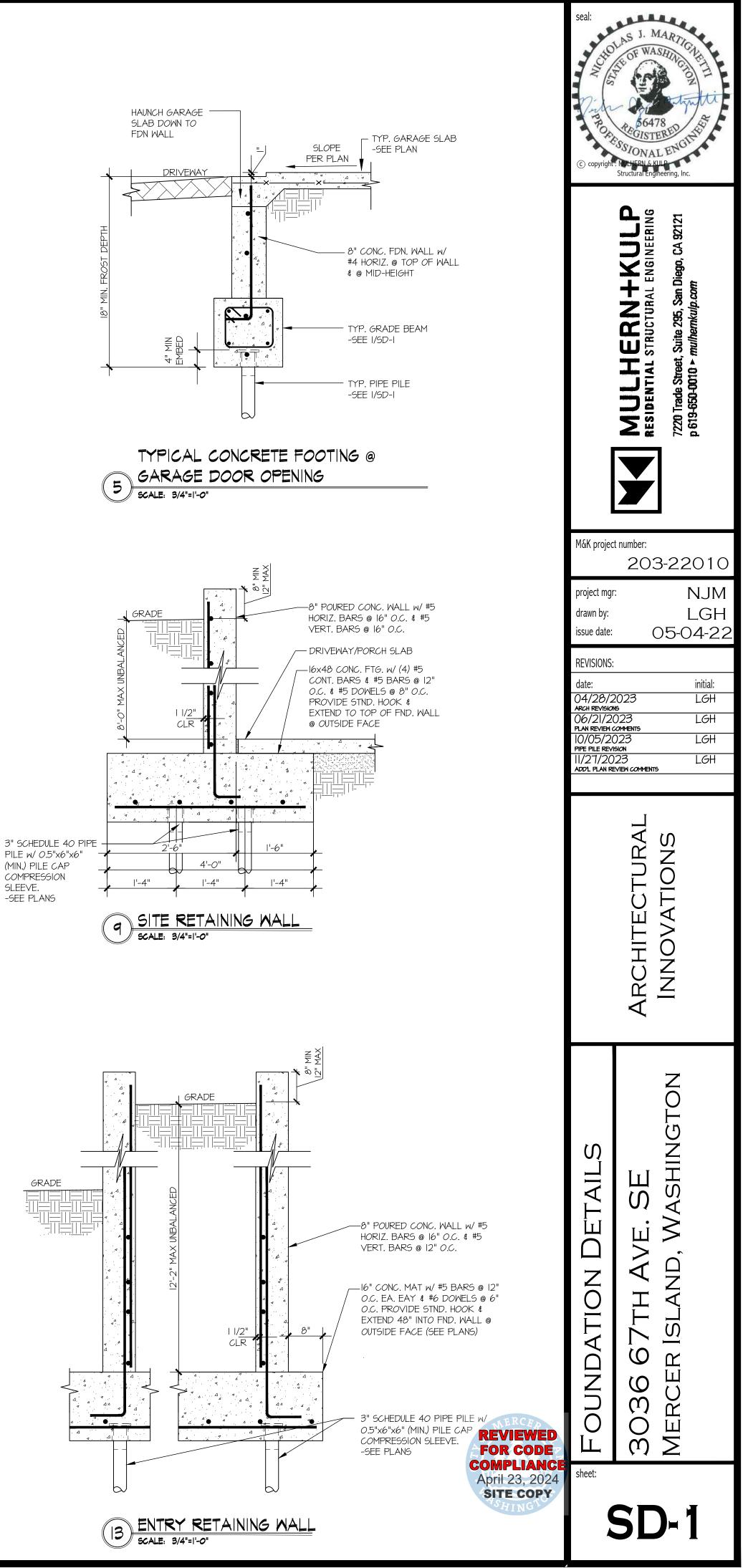
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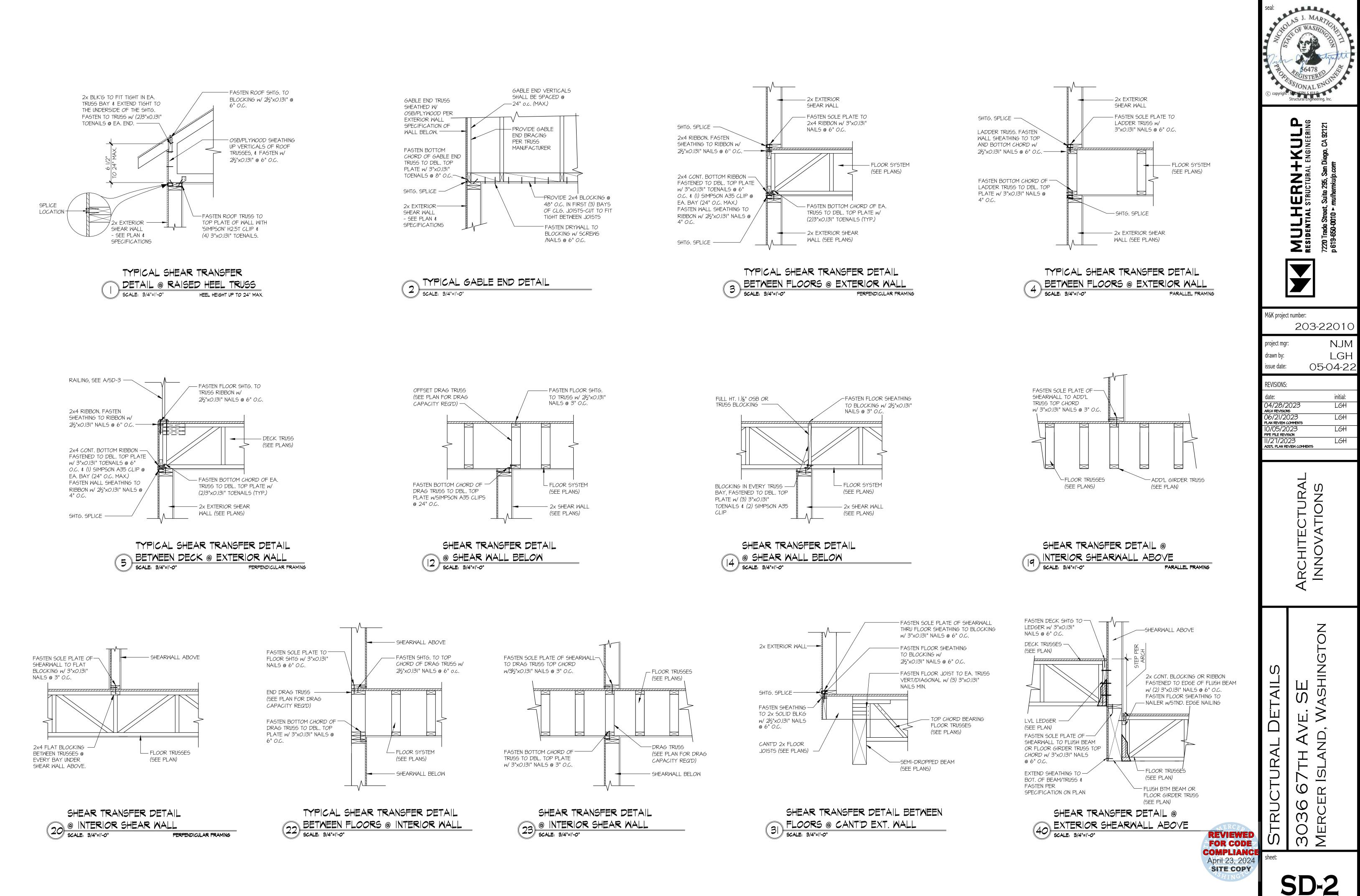
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| HEDULE TION KOLD-DOWN TIE AP TIE DOR SYSTEM U.N.O.) | | RESIDENTIAL STRUCTURAL ENGINEERING RESIDENTIAL STRUCTURAL ENGINEERING 7220 Trade Street, Suite 295, San Diego, CA 92121 p 619-650-0010 > mulhemkulp.com |
| AP TIE OOR SYSTEM U.N.O.) | M&K project number: 203-220 project mgr: N. drawn by: L(C issue date: 05-04 REVISIONS: date: init 04/28/2023 LC ARCH REVISIONS 06/21/2023 LC PLAN REVIEW COMMENTS 10/05/2023 LC PIPE PILE REVISION 11/27/2023 LC ADDL PLAN REVIEW COMMENTS | |
| | | ARCHITECTURAL INNOVATIONS |
| | ROOF FRAMING PLAN | 3036 67th Ave. SE Mercer Island, Washington |
| COMPLIANCE April 23, 2024 SITE COPY | sheet: | 5-3.0 |

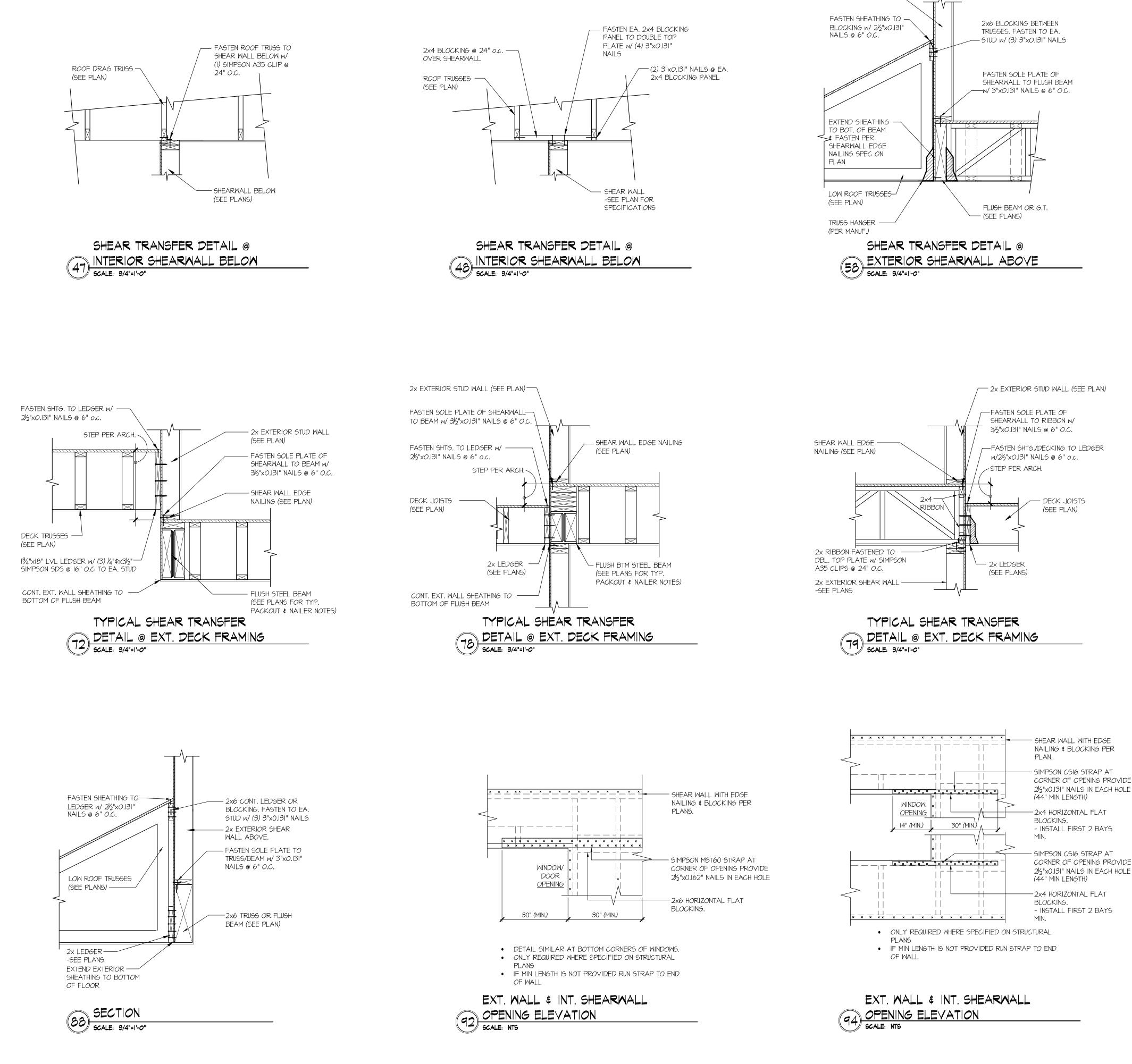
4x10 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) BI

NOTE #1:PROVIDE %" OSB/PLYWOOD SHEATHING AND FASTEN PER TYP. EXT. SHTG SPECS (SEE NOTES ON S-0.0)

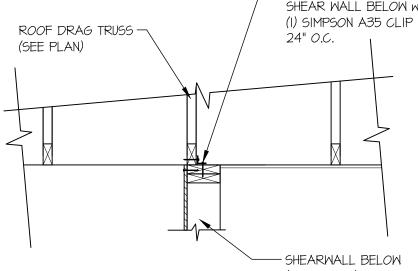


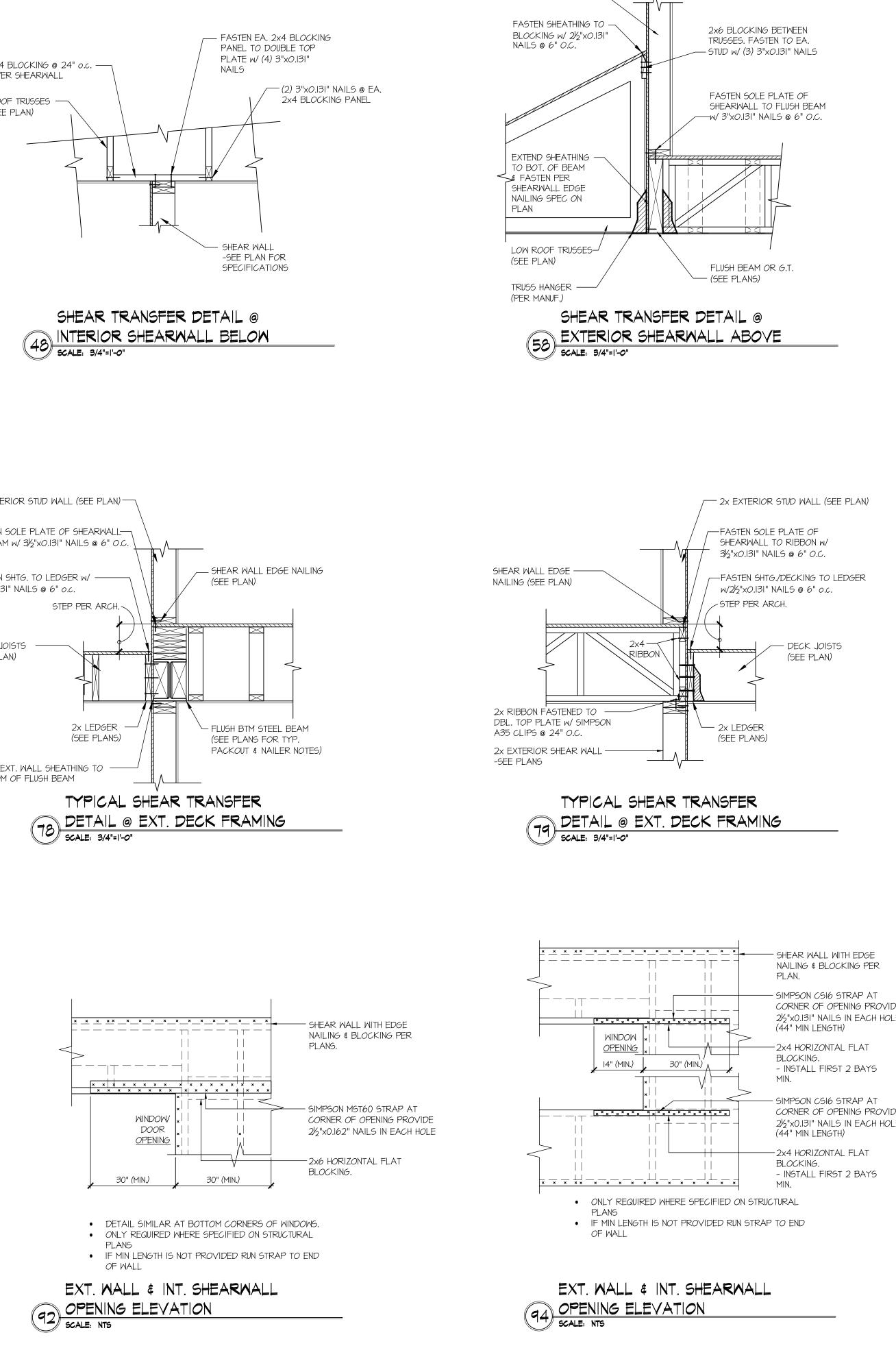












SHEARWALL ABOVE —

