

CONSTRUCTION ASSEMBLIES:

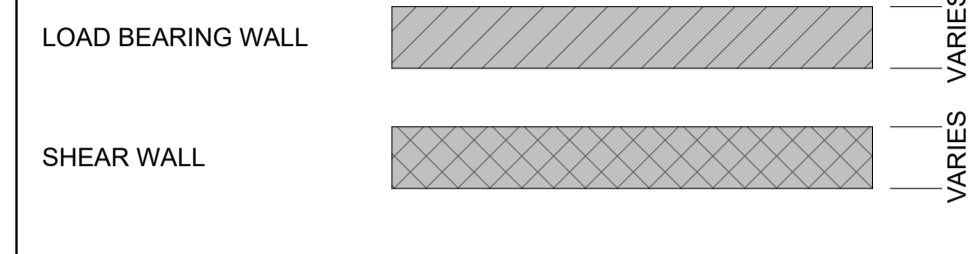
WALL SYSTEMS:

GENERAL NOTES FOR ELEMENTS DESIGN HOMES:

- THE DSS OVERRIDES THE PLANS IN DETERMINING WHAT MATERIALS ARE PROVIDED BY LCH.
- FOR FIRST FLOOR AND GARAGE SPACES, TYPICAL FINISHED FLOOR TO CEILING HEIGHT ARE 9' - 6".
- EAVE WALL HEIGHT AT WINGS ARE 9' - 6".
- EXTERIOR WALL CONSTRUCTION SHALL BE FRAMED WITH 2x6 STUDS @ 16" o.c. PROVIDED WITH DOUBLE TOP PLATE.
- INSULATION ARE PROVIDED BY OTHERS AND DESIGNED PER CLIMATE ZONE.
- SHEATHING WILL BE AS DESCRIBED AS PER WALL ASSEMBLY.
- RAINSCREEN WILL NOT BE PROVIDED UNLESS NOTED OTHERWISE.
- EXTERIOR FINISH AS PER DESIGN SHEET SPECIFICATIONS.
- INTERIOR PARTITIONS SHALL BE FRAMED WITH 2x4 / 2x6 @ 24" o.c. UNLESS NOTED OTHERWISE.

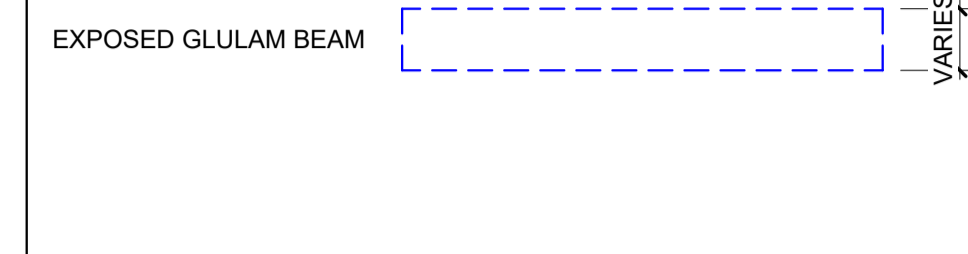
WALL LEGEND:

NOTE:
BELOW FILL PATTERN REPRESENT A LOADBEARING / SHEAR WALL ON PLANS AND SECTIONS VIEWS. REFER TO LEGEND FOR WALL TYPES AND FRAME SIZES



PLAN LEGEND:

NOTE:
BELOW FILL PATTERN REPRESENT AN EXPOSED GLULAM BEAM



ASSEMBLY SCHEDULES:

FOUNDATION WALL ASSEMBLIES

TYPE	CONSTRUCTION SYSTEM
F1	• 8" CONCRETE FOUNDATION WALL THICKNESS AS PER STRUCTURAL DESIGN

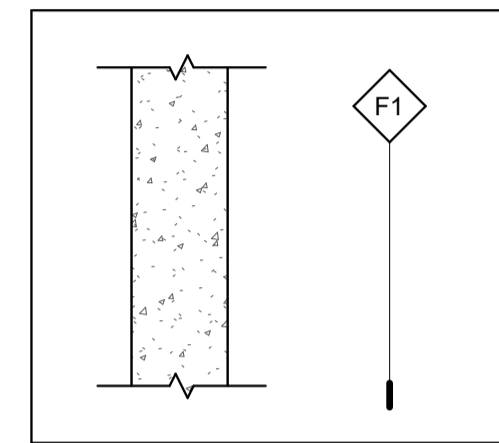
EXTERIOR WALL ASSEMBLIES

TYPE	CONSTRUCTION SYSTEM
W1	• SIDING 11/16 X 6 - BEVEL T.K. ROUGH CEDAR (HORIZONTAL) • 1/2" PLYWOOD SHEATHING • 2x6 STUD @ 16" o.c. W/ DOUBLE TOP PLATE • INSULATION R-21, BY OTHERS
W5	• COMPOSITE PANEL SMOOTH W/ EZ TRIM 4X10 PANEL • SHEATHING 1/2 PLYWOOD • 2x6 STUD @ 16" o.c. W/ DOUBLE TOP PLATE • INSULATION BY OTHERS MIN R-21
W6	• SIDING 11/16 X 6 - BEVEL T.K. ROUGH CEDAR (HORIZONTAL) • 1/2" PLYWOOD SHEATHING • 2x6 STUD @ 16" o.c. W/ DOUBLE TOP PLATE • 1/2" PLYWOOD SHEATHING • INSULATION MIN R-21 BY OTHERS

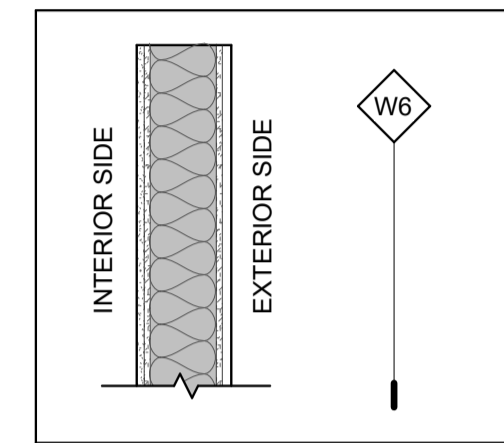
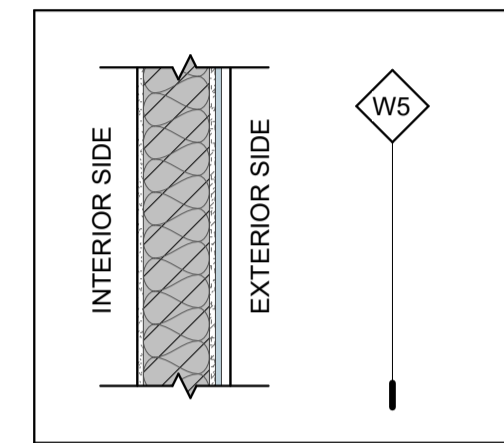
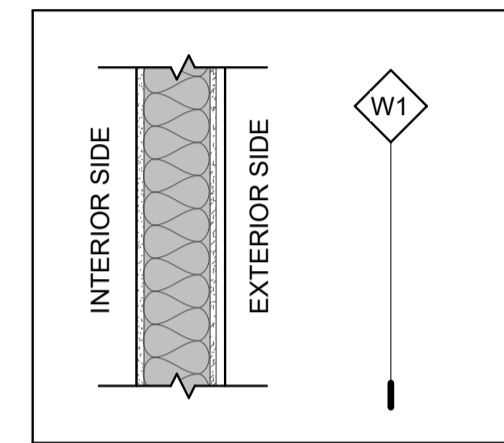
INTERIOR WALL ASSEMBLIES

TYPE	CONSTRUCTION SYSTEM
P1	• 5/8" GYPSUM WALL BOARD, BY OTHERS • 2x6 SPF OR DF STUD @ 24" o.c. W/ SINGLE TOP PLATE • 1/2" GYPSUM WALL BOARD, BY OTHERS
P2	BEARING WALL • 5/8" GYPSUM WALL BOARD, BY OTHERS • 2x6 SPF OR DF STUD @ 16" o.c. W/ DOUBLE TOP PLATE • 5/8" GYPSUM WALL BOARD, BY OTHERS
P4	• 5/8" GYPSUM WALL BOARD, BY OTHERS • 2x4 SPF OR DF STUD @ 24" o.c. W/ SINGLE TOP PLATE • 5/8" GYPSUM WALL BOARD, BY OTHERS
P6	• 5/8" GYPSUM TYPE "X" WALL BOARD, BY OTHERS • 2x4 SPF OR DF STUD @ 24" o.c. W/ SINGLE TOP PLATE • 1/2" AIR SPACE
P7	BEARING WALL • 5/8" GYPSUM WALL BOARD, BY OTHERS • 1/2" PLYWOOD SHEATHING • 2x6 SPF OR DF STUD @ 16" o.c. W/ DOUBLE TOP PLATE • 1/2" PLYWOOD SHEATHING • 5/8" GYPSUM WALL BOARD, BY OTHERS

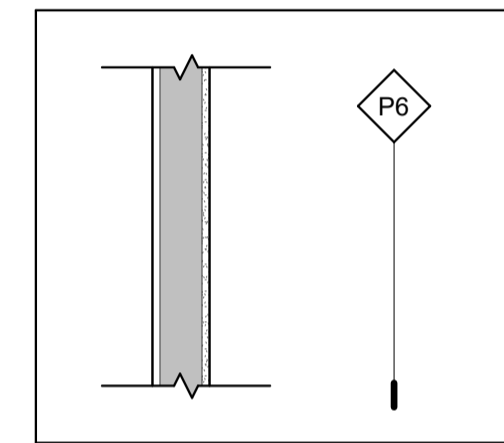
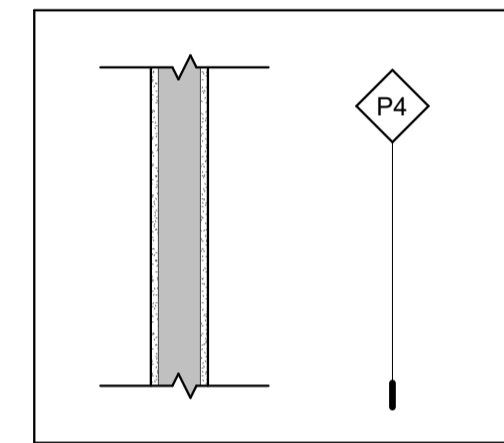
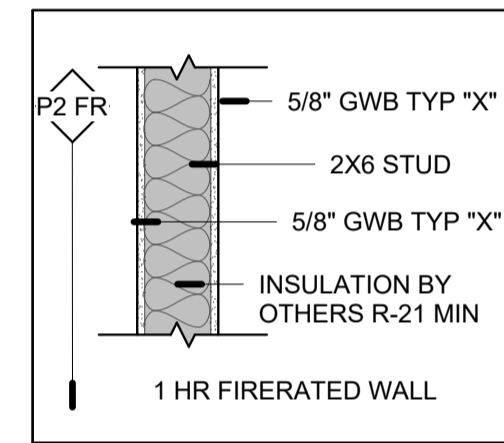
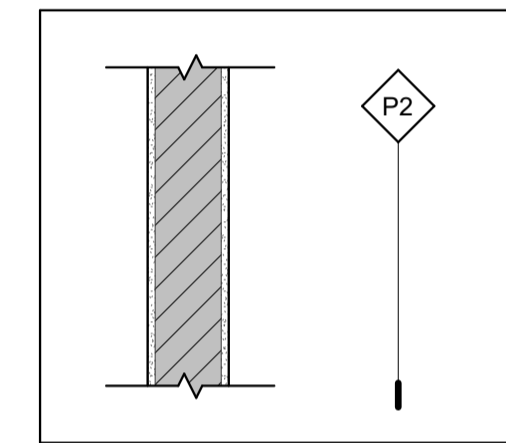
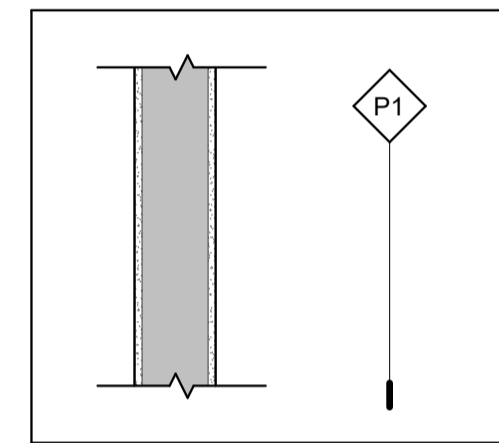
FOUNDATION:



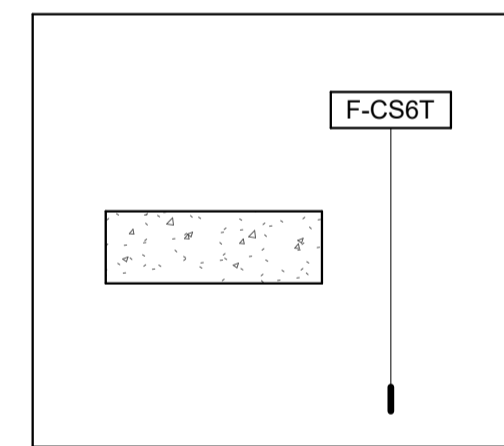
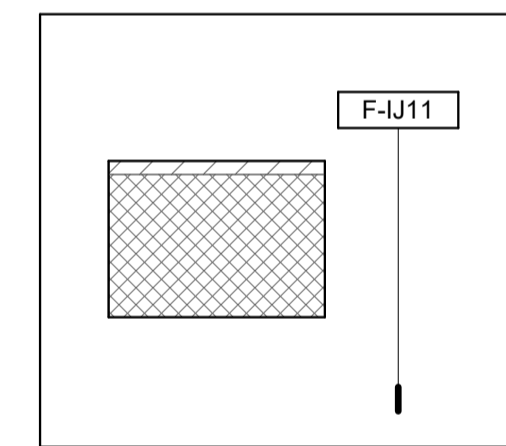
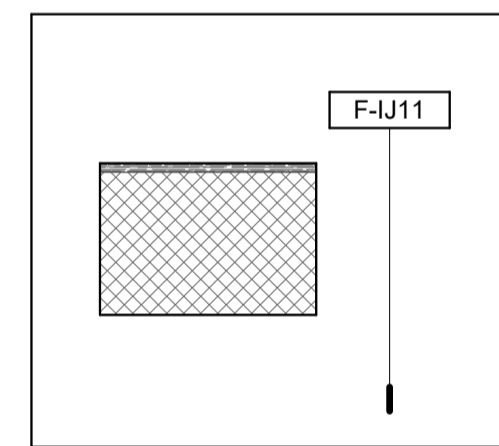
EXTERIOR:



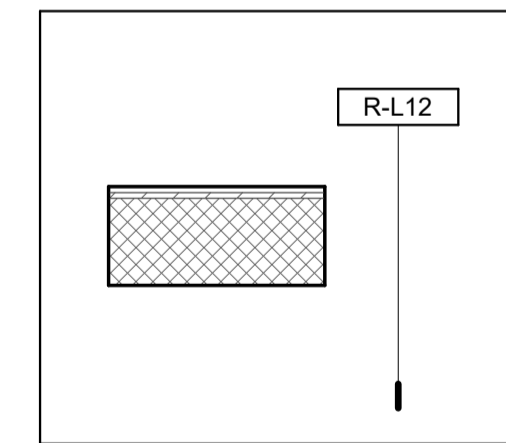
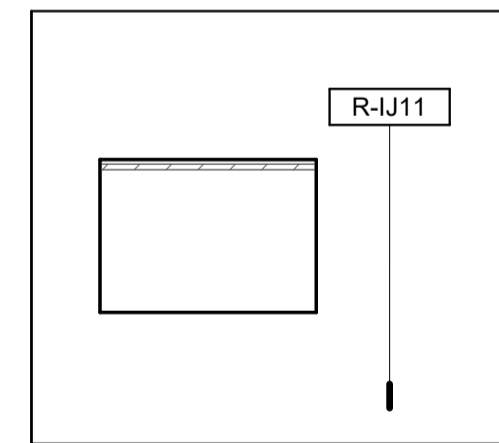
INTERIOR:



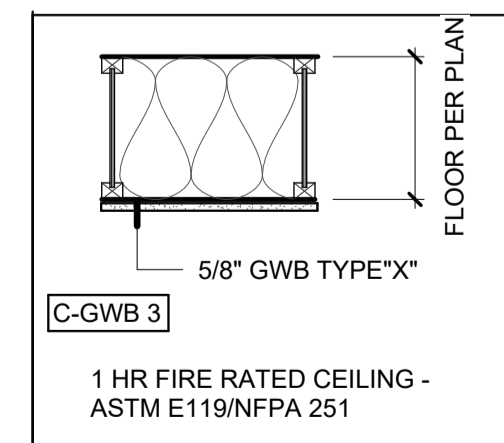
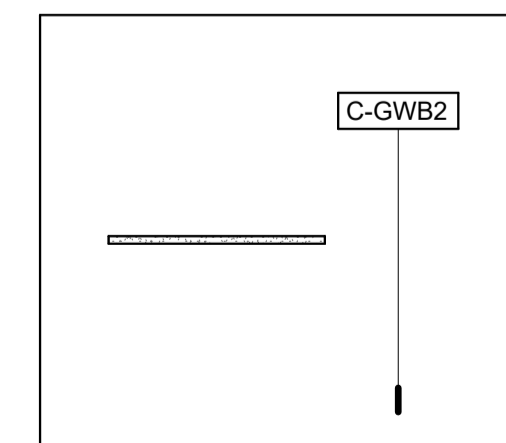
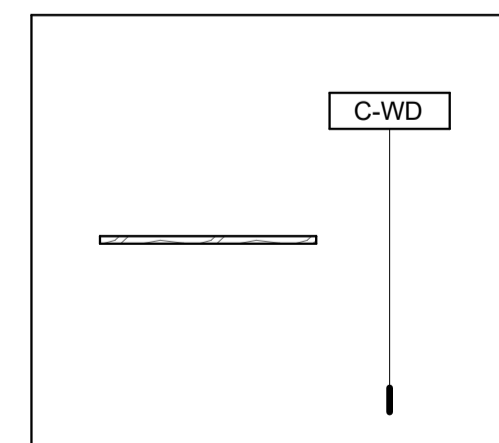
FLOOR SYSTEMS:



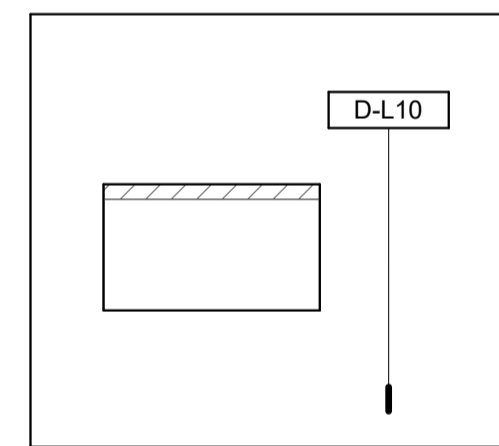
ROOF SYSTEMS:



CEILING FINISHES:



AT DECK AND PORCH:



FLOOR ASSEMBLIES

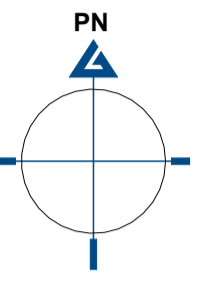
TYPE	CONSTRUCTION SYSTEM
D-L10-2x	• AZEK MAHOGANY 5.5" COMPOSITE • 23/32" SHEATHING • 2x10 CEDAR @ 16" o.c. TAPERED CUT TO DRAIN
F-CS4	• CONCRETE FINISHED SURFACE • 4" CONCRETE SLAB, REINFORCEMENT PER ENGINEERING
F-IJ11	• 3/4" PLYWOOD SUBFLOOR • 11 7/8" WOOD "I" JOIST @ 16" • INSULATION, BY OTHERS R-30
F-IJ11-125	• 1 1/8" PLYWOOD SUBFLOOR • 11 7/8" WOOD "I" JOIST @ 16" • INSULATION BY OTHERS MIN R-30
F-L12	• SUBFLOOR, 23/32" T&G OSB, EDGE GOLD • 2x12 PT SPF @ 16" o.c. • INSULATION, BY OTHERS
FCS6T	• CONCRETE FINISHED SURFACE • 6" CONCRETE SLAB, REINFORCEMENT PER ENGINEERING • THICKENED SLAB EDGE PER ENGINEER

ROOF ASSEMBLIES

TYPE	CONSTRUCTION SYSTEM
R-TPF	• ROOFING MEMBRANE, BY OTHERS • TAPERED FOAM BY OTHERS - EDPM (N.I.C) • 1/4" SLOPE FOR DRAINAGE PLANE
R-IJ11	• ROOFING MEMBRANE, BY OTHERS • MOISTURE CONTROL LAYER, BY OTHERS • 15/32" PLYWOOD SHEATHING • 11 7/8" WOOD "I" JOIST/RAFTER @ 16" o.c. • INSULATION MIN R-49, BY OTHERS
R-L8	• ROOFING MEMBRANE, BY OTHERS • 15/32" PLYWOOD SHEATHING • 2x8 SPF @ 16" o.c. • INSULATION MIN R-49, BY OTHERS

CEILING FINISHES

TYPE	CONSTRUCTION SYSTEM
C-GWB2	• 1HR FIRE RATED CEILING 5/8" GYP WALL BOARD TYPE "X" • AT INTERIOR CEILING TYP, BY OTHERS • PAINT FINISH AS PER DSS



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL

ELEMENT CUSTOM HOME

CONSTRUCTION ASSEMBLIES

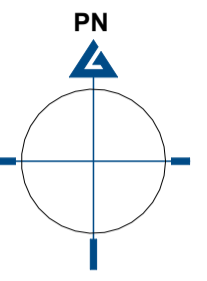
Scale: 3/4" = 1'-0"

G002

FIRE RESISTANCE RATING LEGEND:

---	20 MIN. FRR
----	45 MIN. FRR
-----	60 MIN. FRR
-----	90 MIN. FRR
-----	120 MIN. FRR

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PROJECT NORTH

LINDAL DEALER

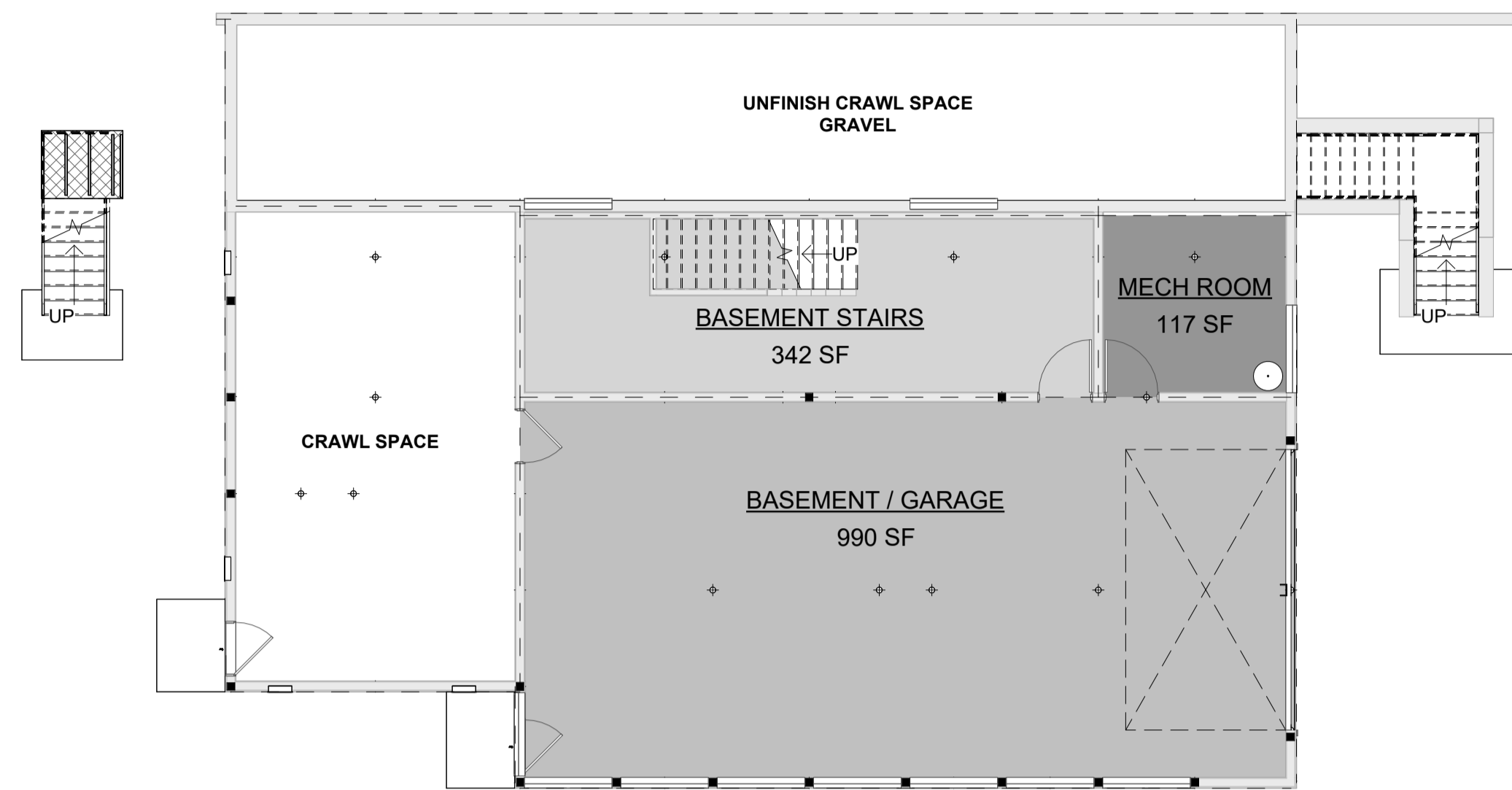
WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040



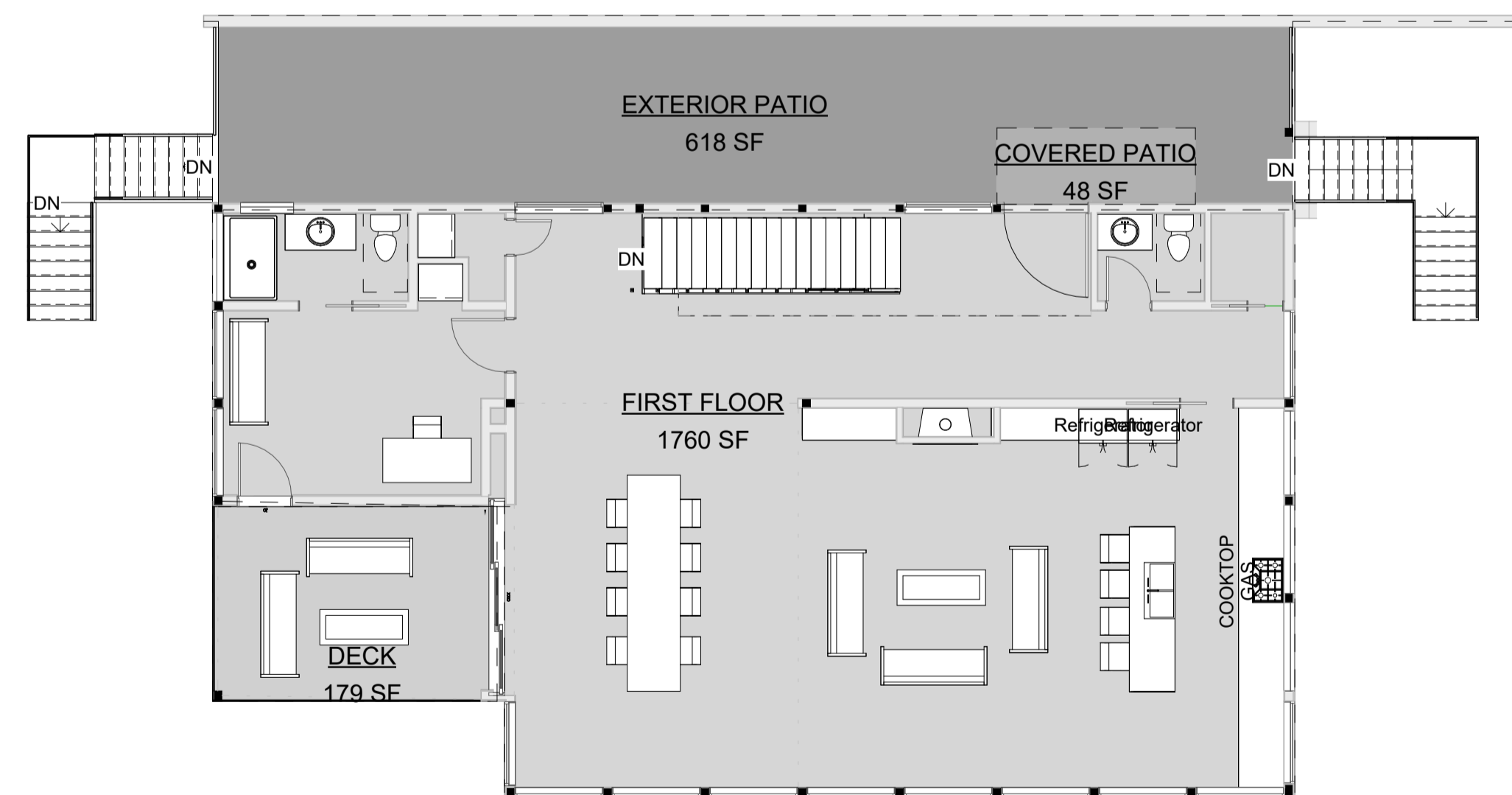
AREA COLOR LEGEND

- BASEMENT / GARAGE
- BASEMENT STAIRS
- MECH ROOM

1 00 - BASEMENT AREA PLAN
G004 1/8" = 1'-0"

AREA COLOR LEGEND

- COVERED PATIO
- DECK
- EXTERIOR PATIO
- FIRST FLOOR



2 FIRST FLOOR AREA PLAN
G004 1/8" = 1'-0"



AREA COLOR LEGEND

- SECOND FLOOR

3 02 - SECOND FLOOR AREA PLAN
G004 1/8" = 1'-0"

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	PREVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



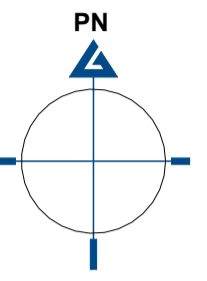
MODEL

ELEMENT CUSTOM HOME

AREA PLANS

Scale: 1/8" = 1'-0"

G004



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

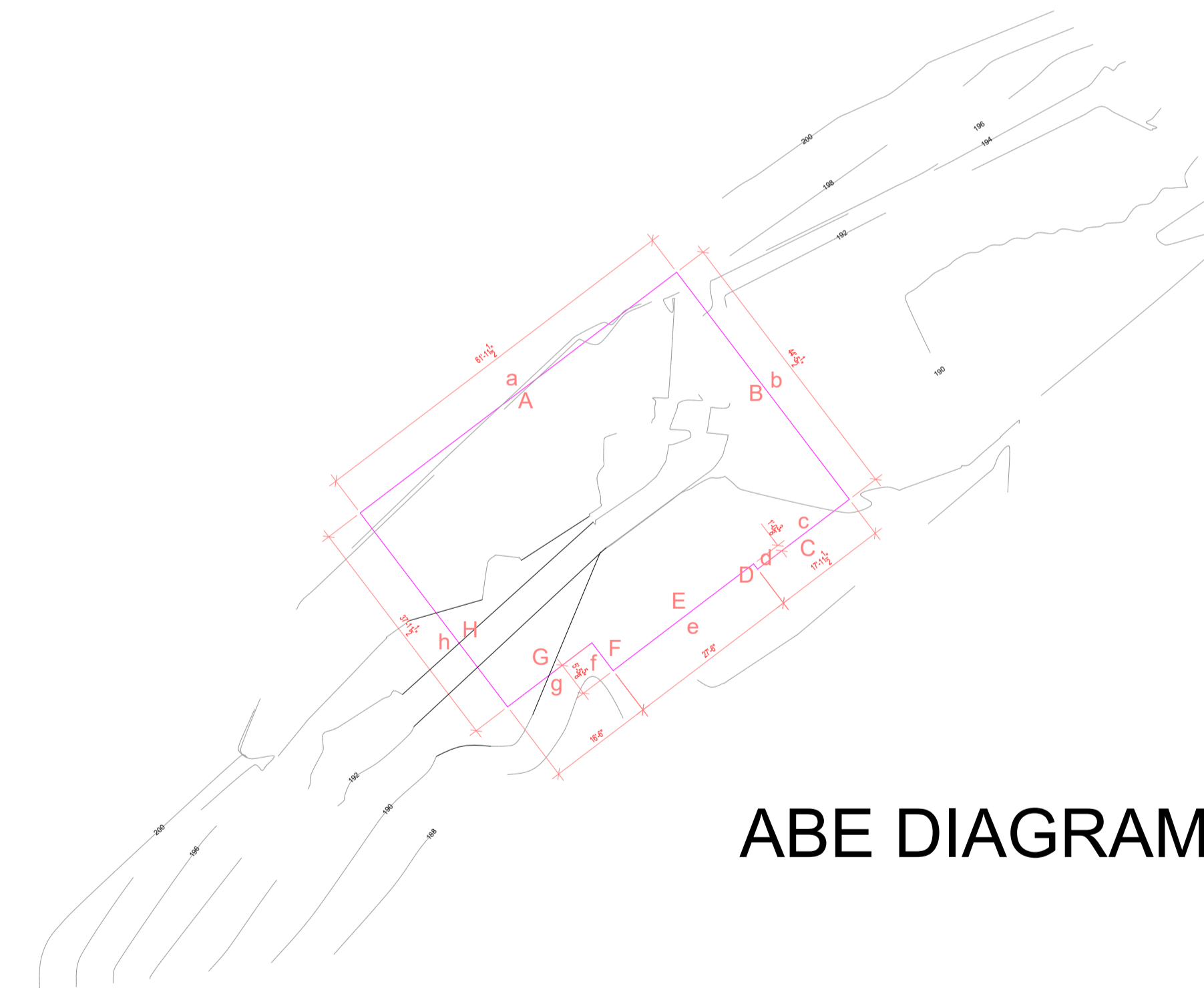
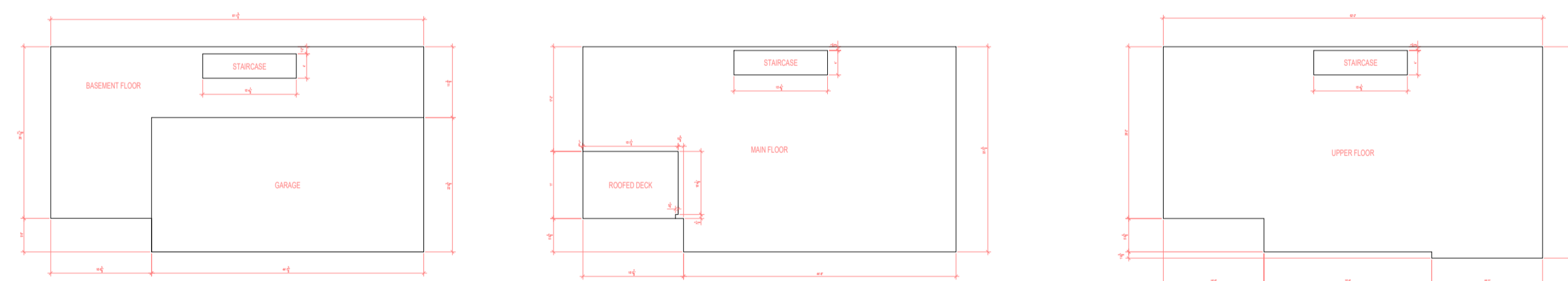
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

AVERAGE BUILDING ELEVATION CALCULATION		
SEGMENT LENGTH	MID POINT ELEVATION	X*x
A = 61.95	a = 197	12204.15
B = 44.45	b = 189	8401.05
C = 17.95	c = 188.21	3378.36
D = 1.03	d = 188.2	193.846
E = 27.5	e = 188.05	5171.375
F = 5.46	f = 188	1026.48
G = 16.5	g = 188	3102
H = 37.95	h = 189	7172.55
	212.79	40649.82
Formula 1:		
	$\frac{40649.8205}{212.79}$	= 191.03
Allowable Building Height = 221.03		

GFA DIAGRAMS



ABE DIAGRAM

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/18/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/15/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL

ELEMENT CUSTOM HOME

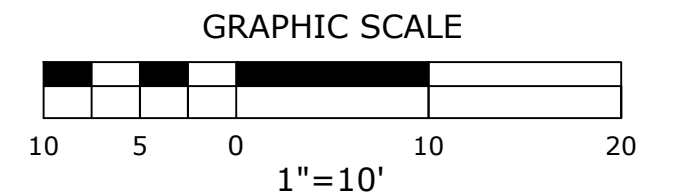
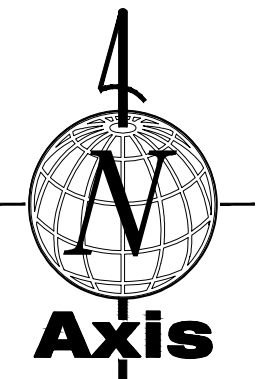
AVERAGE BUILDING HEIGHT

Scale: 1" = 20'-0"

G005

1 AVERAGE BUILDING HEIGHT
G005 1" = 20'-0"

BOUNDARY & TOPOGRAPHIC SURVEY



BASIS OF BEARINGS
 HELD A BEARING OF NORTH 38°04'48" EAST BETWEEN CITY OF MERCER ISLAND CONTROL POINTS 1693 & 4315.

HORIZONTAL DATUM
 NAD '83/91 PER CITY OF MERCER ISLAND CONTROL POINT 4315

VERTICAL DATUM
 NAVD '88 PER CITY OF MERCER ISLAND CONTROL POINT 4315

BENCHMARKS
ORIGINATING BENCHMARK: CITY OF MERCER ISLAND CONTROL POINT 4315, FOUND 3/8" PIN IN CONCRETE MONUMENT DOWN 0.8" IN CASE.
 ELEVATION: 100.38

TEMPORARY BENCHMARKS:
TBM 'A'
 SET CHISELED SQUARE ±19.6' NORTHEASTERLY OF EASTERMOST LOT CORNER.
 ELEVATION: 191.14

LEGAL DESCRIPTION
 NO EASEMENTS, RESTRICTIONS, OR RESERVATIONS OF RECORD WHICH WOULD BE DISCLOSED BY TITLE REPORT ARE SHOWN.

THAT PORTION OF GOVERNMENT LOT 6, SECTION 30, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT 6; THENCE N 11°2'23" E ALONG THE WEST LINE OF SAID GOVERNMENT LOT 6 A DISTANCE OF 85.02 FEET; THENCE N45°20'36" E ALONG THE NORTHWESTERLY LINE OF THAT CERTAIN TRACT OF LAND RECORDED UNDER AUDITOR'S FILE NO. 4076342, RECORDS OF SAID COUNTY, A DISTANCE OF 150.69 FEET; THENCE S59°58'04" E 88.14 FEET; THENCE S45°48'09" E 56.15 FEET; THENCE S24°24'15" W 122.46 FEET TO INTERSECT THE SOUTH LINE OF SAID GOVERNMENT LOT 6; THENCE N88°44'07" W ALONG SAID SOUTH LINE A DISTANCE OF 175.00 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH AND SUBJECT TO A NON EXCLUSIVE EASEMENT 20.00 FEET IN WIDTH FOR INGRESS, EGRESS, DRAINAGE, AND UTILITIES OVER, UNDER, AND ACROSS SAID GOVERNMENT LOT 6, HAVING 10.00 FEET ON EACH SIDE OF A CENTERLINE DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT 6, THENCE S88°44'07" E ALONG THE SOUTH LINE A DISTANCE OF 511.23 FEET TO INTERSECT THE NORTHWESTERLY MARGIN OF EAST MERCER BOULEVARD, THENCE N 45°20'36" E ALONG SAID MARGIN A DISTANCE OF 93.43 FEET TO THE POINT OF BEGINNING; THENCE N44°39'24" W 123.57 FEET; THENCE N88°21'44" W 210.01 FEET; THENCE S53°39'56" W 68.57 FEET TO THE TERMINUS OF THIS CENTERLINE.

TOGETHER WITH AND SUBJECT TO A NON EXCLUSIVE EASEMENT FOR INGRESS, EGRESS DRAINAGE, AND UTILITIES OVER, UNDER AND ACROSS THAT PORTION OF SAID GOVERNMENT LOT 6 DESCRIBED AS FOLLOWS: BEGINNING AT THE TERMINUS OF THE AFORESAID EASEMENT CENTERLINE; THENCE S 36°20'04" E 20.00 FEET; THENCE S53°39'56" W 20.00 FEET; THENCE N36°20'04" W 40.00 FEET; THENCE N53°39'56" E 20.00 FEET; THENCE S36°20'04" E 20.00 FEET TO THE POINT OF BEGINNING.

NOTES
 THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY CONCLUDED ON JUNE 9, 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

THIS SURVEY HAS MADE NO INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

PARCEL BOUNDARY LEGAL DESCRIPTION AND EASEMENT SHOWN IS BASED ON SHORT PLAT RECORDED UNDER AUDITOR'S FILE NO. 7507070597.

UNDERGROUND UTILITIES WERE LOCATED BASED ON THE SURFACE EVIDENCE OF UTILITIES (PAINT MARKS, SAW CUTS IN PAVEMENT, COVERS, LIDS, ETC.). THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

2' CONTOUR INTERVAL DERIVED FROM DIRECT FIELD OBSERVATION.

THIS SURVEY MEETS UNITED STATES NATIONAL MAP ACCURACY STANDARDS FOR VERTICAL ACCURACY OF ONE HALF THE CONTOUR INTERVAL.

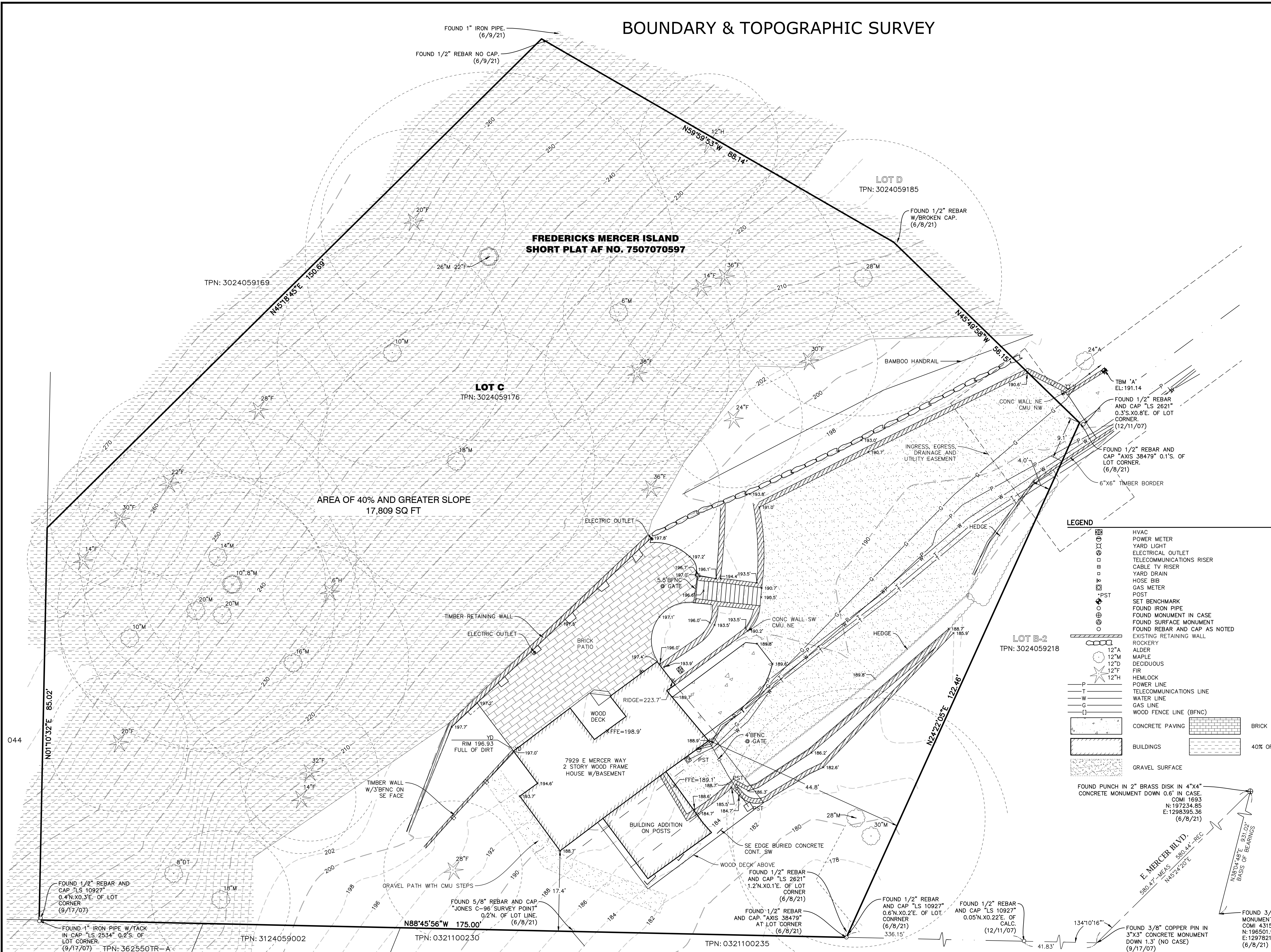
EQUIPMENT NOTE
 PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING LEICA GS14 GPS/GNSS EQUIPMENT EQUIPMENT. MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING A LEICA TS-16 FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WACS 332-130-080/090.

REFERENCES

1. PLAT OF AVALON PARK RECORDED IN VOLUME 49 OF PLATS PAGES 64-65
2. RECORD OF SURVEY RECORDED IN VOLUME 19 OF SURVEYS PAGE 38
3. SHORT PLAT NO. 85-03-04 RECORDED UNDER RECORDING NUMBER 20031013900001
4. RECORD OF SURVEY RECORDED IN VOLUME 60 OF SURVEYS PAGE 18
5. SHORT PLAT NO. 87-04-01 RECORDED UNDER RECORDING NUMBER 8705219006
6. BOUNDARY LINE ADJUSTMENT RECORDED IN VOLUME 30 OF SURVEYS PAGE 140-140A

FOUND 3/8" PIN IN CONCRETE MONUMENT DOWN 0.8" IN CASE. COMI 4315 N:196501.99 E:1297821.14 (6/8/21)

PORTION GOV'T LOT 6, SEC. 30, TWP. 24N., RGE. 5E., W.M. CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON



LEGEND

	HVAC
	POWER METER
	YARD LIGHT
	ELECTRICAL OUTLET
	TELECOMMUNICATIONS RISER
	CABLE TV RISER
	YARD DRAIN
	HOSE BIB
	GAS METER
	POST
	SET BENCHMARK
	FOUND IRON PIPE
	FOUND MONUMENT IN CASE
	FOUND SURFACE MONUMENT
	FOUND REBAR AND CAP AS NOTED
	EXISTING RETAINING WALL
	ROCKERY
	12" A
	12" M
	12" D
	12" F
	12" H
	POWER LINE
	WATER LINE
	GAS LINE
	WOOD FENCE LINE (BFNC)
	CONCRETE PAVING
	BRICK PAVING
	BUILDINGS
	GRAVEL SURFACE

REV#	DESCRIPTION OF REVISION	DATE	BY
#1			
#2			
#3			
#4			
#5			

SURVEY NARRATIVE
 TOPOGRAPHY INFORMATION IS BASED ON 9/07 BOUNDARY SURVEY WORK FOR HOA HOANG AND FIELD VERIFIED IN JUNE 2021.

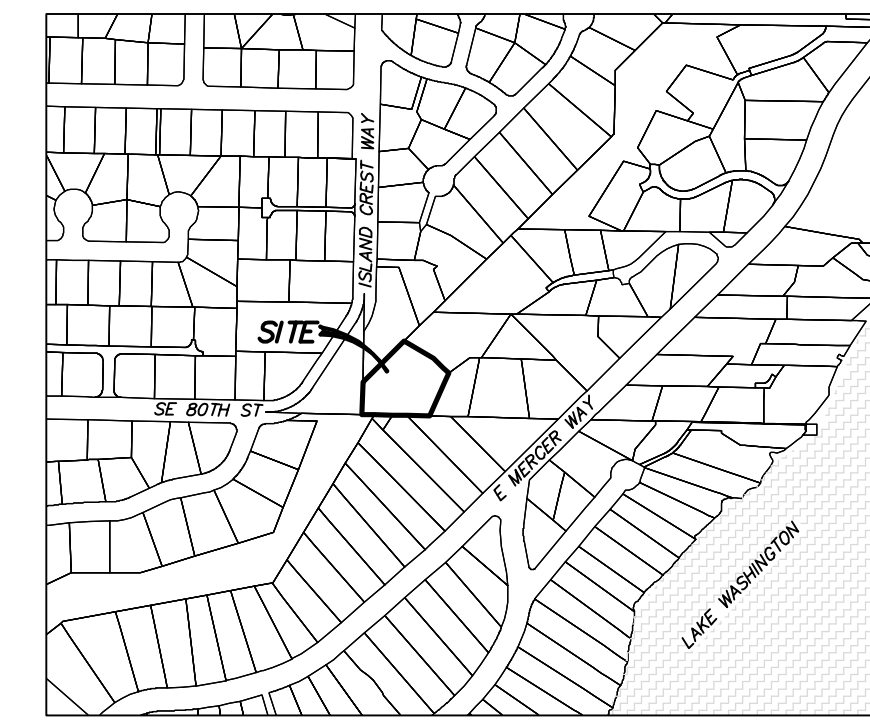
Axis
 Survey & Mapping
 15241 NE 90TH ST, SUITE 100
 REDMOND, WA 98052
 TEL. 425.823-5700
 FAX 425.823-6700

HOANG RESIDENCE
 7929 E MERCER WAY
 MERCER ISLAND, WA 98040

BOUNDARY AND TOPOGRAPHIC SURVEY
 FOR
 HOA HOANG

www.axismap.com	
JOB NO. 21-148	DATE 6/15/21
DRAWN BY JM	CHECKED BY BEB
SCALE 1"=10'	SHEET 1 OF 1

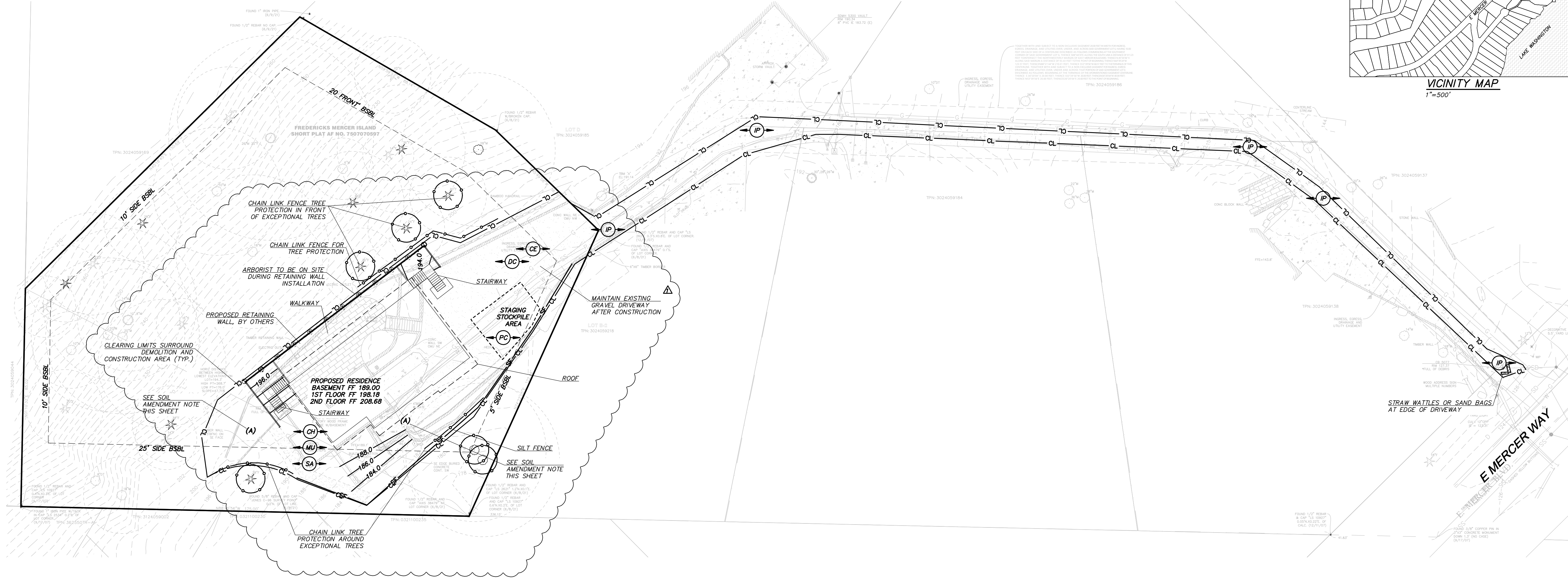
SW 1/4 SECTION 30, TOWNSHIP 24 N, RANGE 4 E, W.M.
7929 E. MERCER WAY



DRS
D.R. STRONG CONSULTING ENGINEERS
 ENGINEERS PLANNERS SURVEYORS
 620 - 7th AVENUE KIRKLAND, WA 98033
 O 425.827.3063 F 425.827.2423

**7929 EAST MERCER WAY
 MERCER ISLAND RESIDENCE**
 TESC PLAN
 PARCEL NO. 3024059176
 7929 EAST MERCER WAY
 MERCER ISLAND, WA 98040

HOA HOANG
 7929 E MERCER WAY
 MERCER ISLAND WA 98040



GENERAL EROSION CONTROL NOTES:

ALL DISTURBED AREAS SHALL BE STABILIZED USING TYPICAL TESC BMP'S. THE LIMITS OF DISTURBANCE WILL BE DELINEATED WITH HIGH VISIBILITY CONSTRUCTION FENCING. DURING CONSTRUCTION SILT FENCES WILL BE PLACED DOWN SLOPE OF DISTURBED AREAS ALONG WITH STRAW MATTING, NETS, OR PLASTIC COVERING OVER EXPOSED SOIL OR STOCKPILES. TREES TO BE RETAINED WILL BE PROTECTED WITH HIGH VISIBILITY CONSTRUCTION FENCING.
 AT THE COMPLETION OF THE PROJECT ALL DISTURBED AREAS WILL BE STABILIZED WITH COMPOST AMENDED SOILS AND HYDROSEEDING OR SOD.

SITE VOLUME CALCULATIONS

CUT VOLUME (CU. YDS.)	FILL VOLUME (CU. YDS.)	NET VOLUME (CU. YDS.)
493	56	437 CUT

ALL VOLUMES ARE APPROXIMATE AND ARE PROVIDED FOR PERMITTING PURPOSES AND REPRESENT FINISH GRADE TO EXISTING GRADE AS SHOWN. CONTRACTOR SHALL RELY ON HIS/HER OWN ESTIMATES FOR DETERMINING ACTUAL EARTHWORK QUANTITIES. THE VOLUMES DO NOT INCLUDE STRIPPING, STRUCTURAL OR VAULT EXCAVATION, EXPANSION/COMPACTION FACTOR OR ANY SOIL TYPE RESTRICTIONS.

GRADING NOTE:

TOTAL AREA TO BE DISTURBED ON-SITE.....9,763 S.F.
 TOTAL AREA TO BE DISTURBED OFF-SITE.....1,535 S.F.
 TOTAL AREA TO BE DISTURBED FOR PROJECT.. 11,298 S.F.
 FILL SHALL CONSIST OF SUITABLE MATERIAL ORIGINATING FROM THE SITE OR FROM AN APPROVED SUPPLIER.

SOIL AMENDMENT NOTE:

AREA (A): STOCKPILE SITE DUFF AND TOPSOIL FOR ALL DISTURBED PERVIOUS AREAS AND REAPPLY WITH SOIL AMENDMENT AFTER GRADING AND CONSTRUCTION. MINIMUM SCARIFICATION DEPTH 8-INCHES. PROVIDE A TOTAL OF 15 C.Y. OF AMENDMENT OVER AN AREA OF 600 S.F.

ON-SITE SOILS:

THE ENTIRE SITE CONTAINS KITSAP SILT LOAM (KpD) SOILS PER THE NRCS SOIL MAP.

P.E. CERTIFICATION FOR SECTION B:

I HEREBY STATE THAT THIS CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN FOR 7929 E. MERCER WAY HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND MEETS THE STANDARD OF CARE AND EXPERTISE WHICH IS USUAL AND CUSTOMARY IN THIS COMMUNITY FOR PROFESSIONAL ENGINEERS. I UNDERSTAND THAT THE CITY OF MERCER ISLAND DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE SUFFICIENCY, SUITABILITY, OR PERFORMANCE OF CONSTRUCTION SWPPP BMP'S PREPARED BY ME.

LEGAL DESCRIPTION: (BY SURVEYOR)

NO EASEMENTS, RESTRICTIONS, OR RESERVATIONS OF RECORD WHICH WOULD BE DISCLOSED BY TITLE REPORT ARE SHOWN.

THAT PORTION OF GOVERNMENT LOT 6, SECTION 30, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT 6;
 THENCE N 11°23'3" E ALONG THE WEST LINE OF SAID GOVERNMENT LOT 6 A DISTANCE OF 85.02 FEET;
 THENCE N 45°20'36" E ALONG THE NORTHWESTERLY LINE OF THAT CERTAIN TRACT OF LAND RECORDED UNDER AUDITOR'S FILE NO. 4076342, RECORDS OF SAID COUNTY, A DISTANCE OF 150.69 FEET;
 THENCE S 59°58'04" E 88.14 FEET;
 THENCE S 45°48'09" E 56.15 FEET;
 THENCE S 24°24'15" W 122.46 FEET TO INTERSECT THE SOUTH LINE OF SAID GOVERNMENT LOT 6;
 THENCE N 88°44'07" W ALONG SAID SOUTH LINE A DISTANCE OF 175.00 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH AND SUBJECT TO A NON EXCLUSIVE EASEMENT 20.00 FEET IN WIDTH FOR INGRESS, EGRESS, DRAINAGE, AND UTILITIES OVER, UNDER, AND ACROSS SAID GOVERNMENT LOT 6, HAVING 10.00 FEET ON EACH SIDE OF A CENTERLINE DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT 6;
 THENCE S 88°44'07" E ALONG THE SOUTH LINE A DISTANCE OF 511.23 FEET TO INTERSECT THE NORTHWESTERLY MARGIN OF EAST MERCER BOULEVARD;
 THENCE N 45°20'36" E ALONG SAID MARGIN A DISTANCE OF 93.43 FEET TO THE POINT OF BEGINNING;
 THENCE N 44°39'24" W 123.57 FEET;
 THENCE N 88°21'44" W 210.01 FEET;
 THENCE S 53°39'56" W 68.57 FEET TO THE TERMINUS OF THIS CENTERLINE.

TOGETHER WITH AND SUBJECT TO A NON EXCLUSIVE EASEMENT FOR INGRESS, EGRESS DRAINAGE, AND UTILITIES OVER, UNDER AND ACROSS THAT PORTION OF SAID GOVERNMENT LOT 6 DESCRIBED AS FOLLOWS:

BEGINNING AT THE TERMINUS OF THE AFORESAID EASEMENT CENTERLINE;
 THENCE S 36°20'04" E 20.00 FEET;
 THENCE S 53°39'56" W 20.00 FEET;
 THENCE N 36°20'04" W 40.00 FEET;
 THENCE N 53°39'56" E 20.00 FEET;
 THENCE S 36°20'04" E 20.00 FEET TO THE POINT OF BEGINNING.

SURVEY NOTES:

THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY CONCLUDED ON MAY 11, 2022 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

THIS SURVEYOR HAS MADE NO INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

PARCEL BOUNDARY LEGAL DESCRIPTION AND EASEMENT SHOWN IS BASED ON SHORT PLAT RECORDED UNDER AUDITOR'S FILE NO. 7507070597.

UNDERGROUND UTILITIES WERE LOCATED BASED ON THE SURFACE EVIDENCE OF UTILITIES (PAINT MARKS, SAW CUTS IN PAVEMENT, COVERS, LIDS, ETC.). THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

2" CONTOUR INTERVAL DERIVED FROM DIRECT FIELD OBSERVATION.
 THIS SURVEY MEETS UNITED STATES NATIONAL MAP ACCURACY STANDARDS FOR VERTICAL ACCURACY OF ONE HALF THE CONTOUR INTERVAL.

CONSTRUCTION SEQUENCE

- ARRANGE AND ATTEND A PRE-CONSTRUCTION MEETING WITH THE CITY INSPECTOR.
- FLAG OR FENCE CLEARING LIMITS.
- CALL ONE-CALL UTILITY LOCATE SERVICE PRIOR TO ANY EXCAVATION WORK.
- GRADE ACCESS ROAD & CONSTRUCT/INSTALL ROCK CONSTRUCTION ENTRANCE IF NECESSARY.
- INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- INSTALL SHORING WALL.
- CONSTRUCT RESIDENCE AND OTHER SITE IMPROVEMENTS.
- MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OR COUNTY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- MAINTAIN ACCESS TO OFF-SITE ROADS AND DRIVEWAYS AT ALL TIMES DURING THE DURATION OF THE PROJECT.
- RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS.
- COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
- STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
- SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMP'S REMOVED IF APPROPRIATE AFTER ACCEPTANCE BY INSPECTOR.

BENCHMARK: (BY SURVEYOR)

ORIGINATING BENCHMARK: CITY OF MERCER ISLAND CONTROL POINT 4315, FOUND 3/8" PIN IN CONCRETE MONUMENT DOWN 0.8" IN CASE.
 ELEVATION: 100.39
 TEMPORARY BENCHMARKS:
 TBM 'A'
 SET ONE-SIDED SQUARE ±19.6' NORTHEASTERLY OF EASTERMOST LOT CORNER.
 ELEVATION: 191.14

BASIS OF BEARINGS: (BY SURVEYOR)

HELD A BEARING OF NORTH 38°04'48" EAST BETWEEN CITY OF MERCER ISLAND CONTROL POINTS 1693 & 4315.

REFERENCES: (BY SURVEYOR)

- PLAT OF AVALON PARK RECORDED IN VOLUME 49 OF PLATS PAGES 64-65.
- RECORD OF SURVEY RECORDED IN VOLUME 19 OF SURVEYS PAGE 38.
- SHORT PLAT NO. 85-03-04 RECORDED UNDER RECORDING NUMBER 20031013900001.
- RECORD OF SURVEY RECORDED IN VOLUME 60 OF SURVEYS PAGE 18.
- SHORT PLAT NO. 87-04-01 RECORDED UNDER RECORDING NUMBER 8705219006.
- BOUNDARY LINE ADJUSTMENT RECORDED IN VOLUME 30 OF SURVEYS PAGE 140-140A.

TESC LEGEND:

- FOR ADDITIONAL TESC DETAILS REFER TO DOE 2012 SWMMWW
- CL CONSTRUCTION LIMITS, TO BE FLAGGED OR FENCED WHEN NO SILT FENCE IS PROPOSED (BMP C103)
 - SF SILT FENCE IS PROPOSED (BMP C233)
 - SW STRAW WATTLES (BMP C235)
 - CE STABILIZED CONSTRUCTION ENTRANCE (BMP C105)
 - IP INLET PROTECTION (BMP C220)
 - DC DUST CONTROL (BMP C140)
 - MU MULCHING, MATTING, & COMPOST BLANKETS (BMP C121, BMP C125)
 - PS PERMANENT SEEDING AND PLANTING (BMP C120)
 - SA POST-CONSTRUCTION SOIL AMENDMENT QUALITY & DEPTH (BMP C120)
 - CH CONCRETE HANDLING (BMP C151)
 - PC PLASTIC COVERING (BMP C123)
 - Tree symbols: TREE TO BE REMOVED, TREE TO BE SAVED, PROVIDE TREE PROTECTION FENCING PER ARBORIST RECOMMENDATIONS, EXCEPTIONAL TREES

SHEET INDEX:

- C1 OF 7 COVER SHEET & T.E.S.C. PLAN
- C2 OF 7 T.E.S.C. NOTES & DETAILS
- C3 OF 7 STORM DRAINAGE PLAN
- C4 OF 7 STORM DRAINAGE PROFILE
- C5 OF 7 NOTES & DETAILS
- C6 OF 7 NOTES & DETAILS
- C7 OF 7 TREE RETENTION PLAN

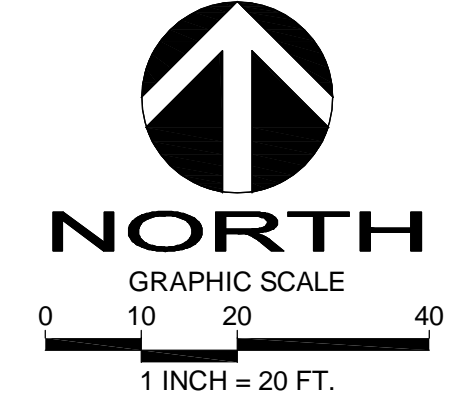
PROJECT CONTACTS:

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 HOAHOANG1@GMAIL.COM

ARCHITECT: WARMMODERN LIVING
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CIVIL ENGINEER: D.R. STRONG CONSULTING ENGINEERS, INC.
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 YOSHIO.PIEDISCALZI@DRSTRONG.COM

SURVEYOR: HANSEN SURVEYING & CONSULTING
 4227 S. MERIDIAN, SUITE C-445
 PUYALLUP, WASHINGTON 98373
 425.235.8440
 CONTACT: CHRIS FOX



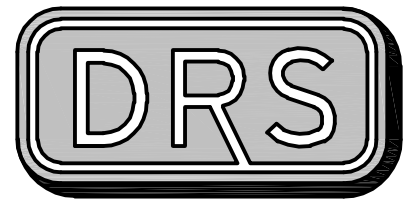
Call 2 Working Days Before You Dig
811
 Utilities Underground Location Center
 (ID.MT.ND.OR.WA)

DATE	REVISION	CITY COMMENTS
11.20.23	APR	YLP

DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: YLP
 DATE: 12.29.22
 PROJECT NO.: 21125

DRAWING: C1
 SHEET: 1 OF 7

SW 1/4 SECTION 30, TOWNSHIP 24 N, RANGE 4 E, W.M.
7929 E. MERCER WAY



D.R. STRONG
CONSULTING ENGINEERS
 ENGINEERS PLANNERS SURVEYORS
 620 - 7th AVENUE KIRKLAND, WA 98033
 O 425.827.3063 F 425.827.3423

7929 EAST MERCER WAY
MERCER ISLAND RESIDENCE

TESC DETAILS
 PARCEL NO. 3024059176
 7929 EAST MERCER WAY
 MERCER ISLAND, WA 98040

HOA HOANG

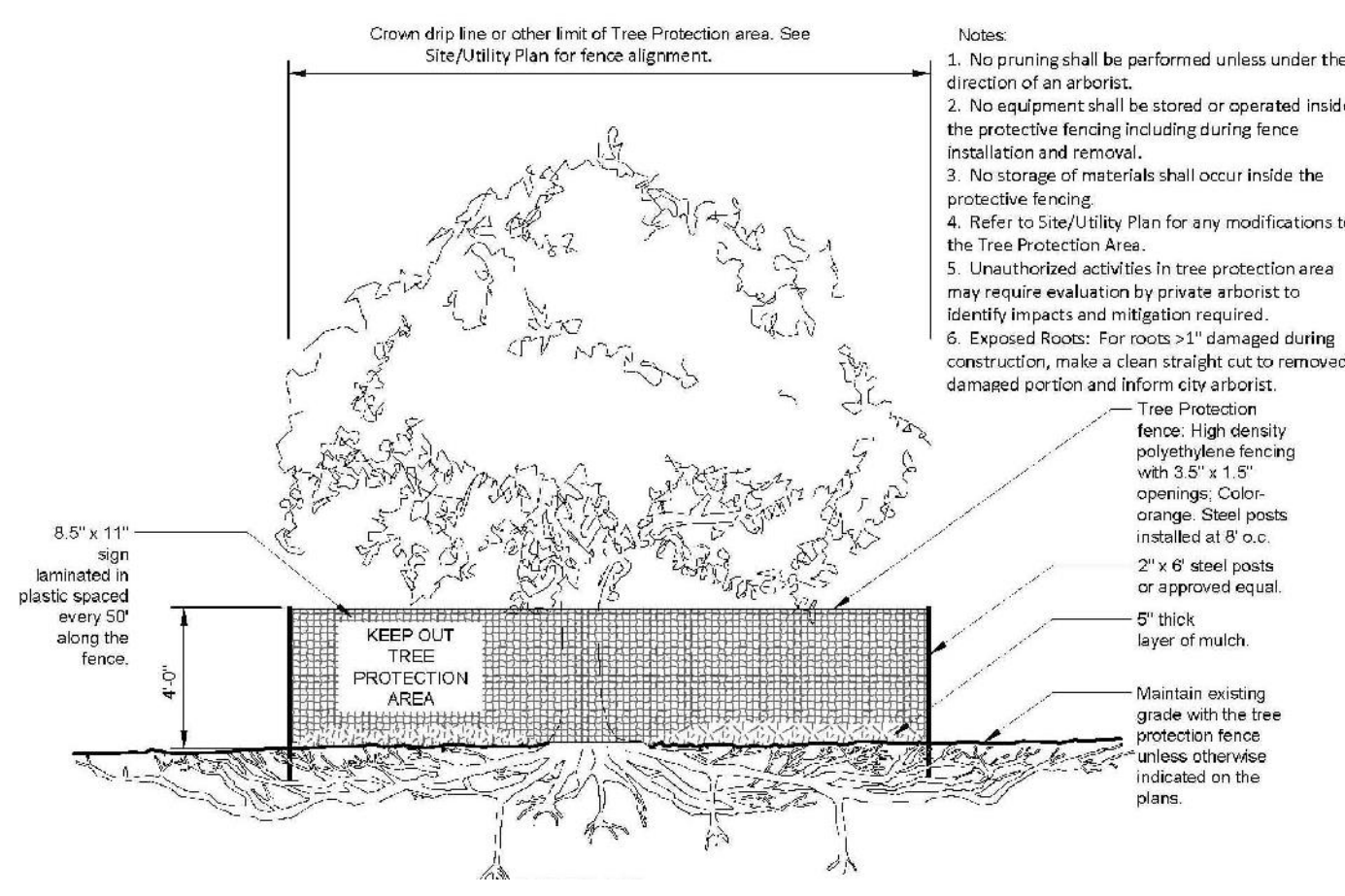
7929 E MERCER WAY
 MERCER ISLAND WA 98040



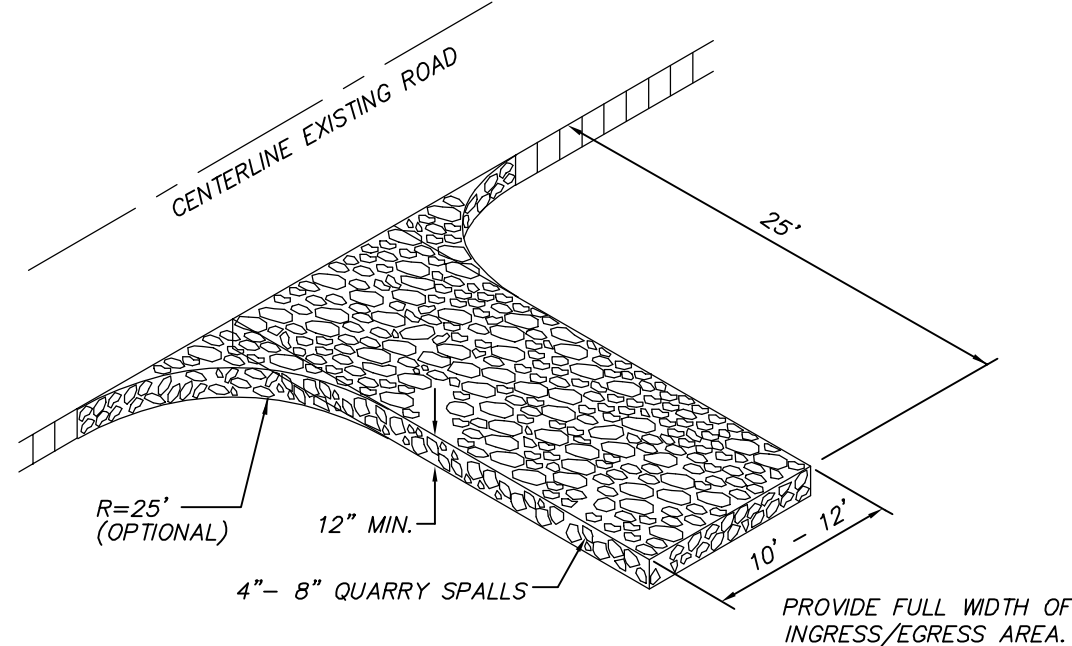
DATE	REVISION	CITY COMMENTS
11.20.23		
APR	YLP	

DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: YLP
 DATE: 12.29.22
 PROJECT NO.: 21125

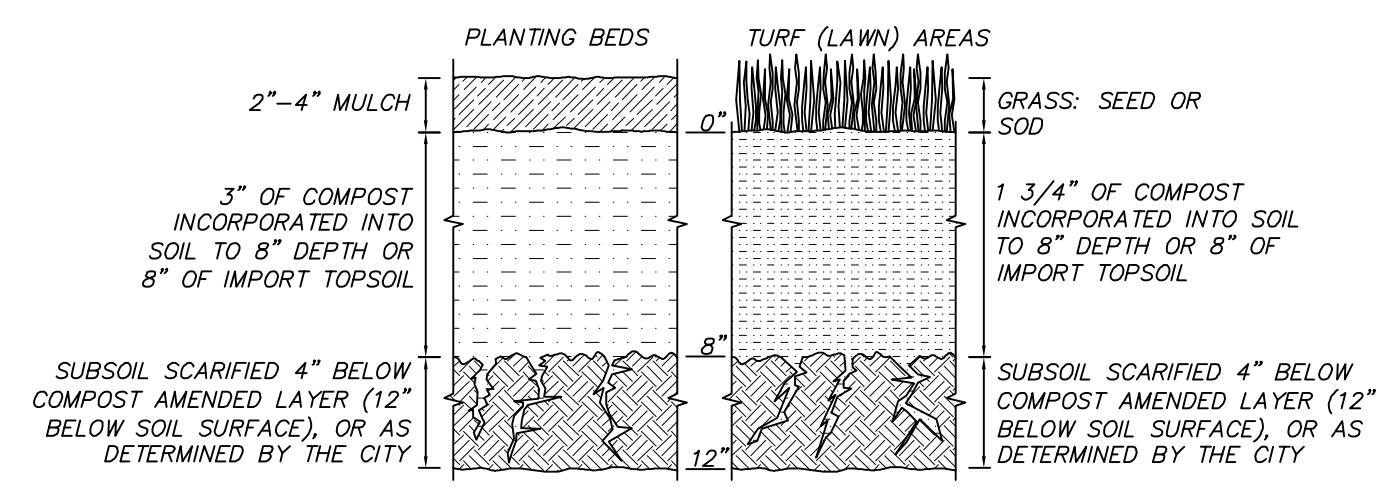
DRAWING: C2
 SHEET: 2 OF 7



TREE PROTECTION FENCING
 NTS



GRAVEL CONSTRUCTION ENTRANCE
 NTS



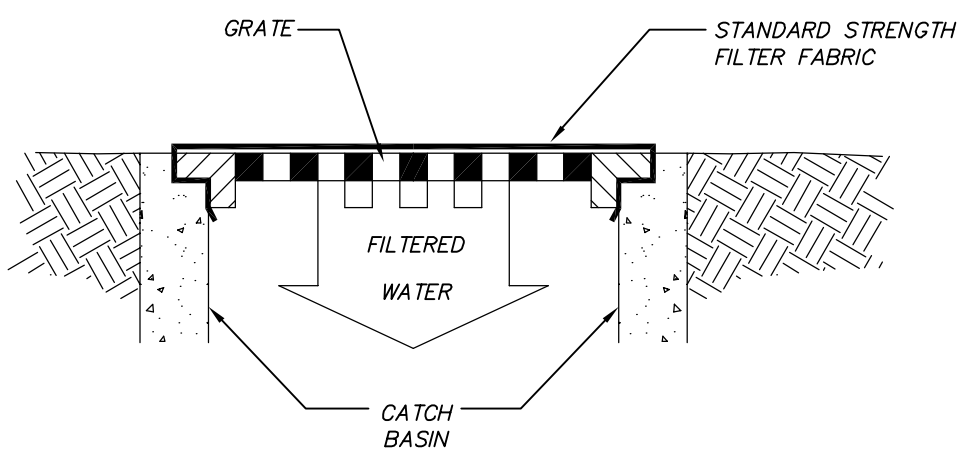
SOIL AMENDMENT
 NTS

EROSION AND SEDIMENT CONTROL NOTES:

- APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS DURING THE CONSTRUCTION PERIOD. THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.).
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE TESC FACILITIES DURING THE WET SEASON (OCT. 1 TO APRIL 30) AND OF MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30).
- ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G. SEEDING, MULCHING, PLASTIC COVERING, ETC.).
- AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ALL DISTURBED AREAS SHALL BE STABILIZED USING TYPICAL TESC BMP'S. THE LIMITS OF DISTURBANCE WILL BE DELINEATED WITH HIGH VISIBILITY CONSTRUCTION FENCING. DURING CONSTRUCTION SILT FENCES WILL BE PLACED DOWN SLOPE OF DISTURBED AREAS ALONG WITH STRAW MATTING, NETS, OR PLASTIC COVERING OVER EXPOSED SOIL OR STOCKPILES. TREES TO BE RETAINED WILL BE PROTECTED WITH HIGH VISIBILITY CONSTRUCTION FENCING.
- ALL SOIL STOCKPILES TO BE COVERED WITH PLASTIC SHEETING UNTIL SUCH TIME THAT THE SOIL IS EITHER USED OR REMOVED. PILES SHOULD BE SITUATED AND LOCATED SUCH THAT SEDIMENT DOES NOT RUN INTO THE STREET OR ONTO ADJOINING PROPERTIES.
- ALL EXPOSED SOIL AREAS SHALL BE COVERED OR PROTECTED USING AN APPROPRIATE BMP. STABILIZE, DENUDE AREAS OF THE SITE BY MULCHING, SEEDING, PLANTING, OR SODDING.
- ALL ADJACENT PROPERTIES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION BY APPROPRIATE USE OF VEGETATION BUFFER STRIPS, SEDIMENT BARRIERS, OR FILTERS, DIKES, MULCHING, OR BY A COMBINATION OF THESE MEASURES AND OTHER APPROPRIATE BMP'S.
- PROVIDE FOR PERIODIC STREET CLEANING TO REMOVE ANY SEDIMENT THAT MAY HAVE BEEN TRACKED OFF-SITE. SEDIMENT SHOULD BE REMOVED BY SHOVELING OR SWEEPING AND CAREFULLY REMOVED TO A SUITABLE DISPOSAL AREA WHERE IT WILL NOT BE RE-ERODED.
- ALL INSTALLED EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSPECTED REGULARLY BY THE GENERAL CONTRACTOR ESPECIALLY AFTER ANY LARGE STORM. MAINTENANCE, INCLUDING REMOVAL AND PROPER DISPOSAL OF SEDIMENT SHOULD BE A NECESSARY TO INSURE THAT SEDIMENT AND EROSION IS CONTROLLED ON SITE.

SOIL AMENDMENT NOTES:

- SOIL RETENTION:** RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.
- SOIL QUALITY:** ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:
- A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
 - MULCH PLANTING BEDS WITH 2-4 INCHES OF ORGANIC MATERIAL.
 - USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
 - THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIORETENTION (BMP 17.30), WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 35% BIOSOLIDS OR MANURE. THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65%, AND A CARBON TO NITROGEN RATIO BELOW 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
 - CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIAL MEETING (A.) ABOVE, OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B, TESTING PARAMETERS, IN WAC 173-350-220. THE RESULTING SOIL SHOULD BE CONDUCTIVE TO THE TYPE OF VEGETATION TO BE ESTABLISHED.
- IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:
- LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
 - AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
 - STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
 - IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.
- MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.
- MAINTENANCE:**
- ESTABLISH SOIL QUALITY AND DEPTH TOWARD THE END OF CONSTRUCTION AND ONCE ESTABLISHED, PROTECT FROM COMPACTION, SUCH AS FROM LARGE MACHINERY USE, AND FROM EROSION.
 - PLANT VEGETATION AND MULCH THE AMENDED SOIL AREA AFTER INSTALLATION.
 - LEAVE PLANT DEBRIS OR ITS EQUIVALENT ON THE SOIL SURFACE TO REPLENISH ORGANIC MATTER.
 - REDUCE AND ADJUST, WHERE POSSIBLE, THE USE OF IRRIGATION, FERTILIZERS, HERBICIDES AND PESTICIDES, RATHER THAN CONTINUING TO IMPLEMENT FORMERLY ESTABLISHED PRACTICES.

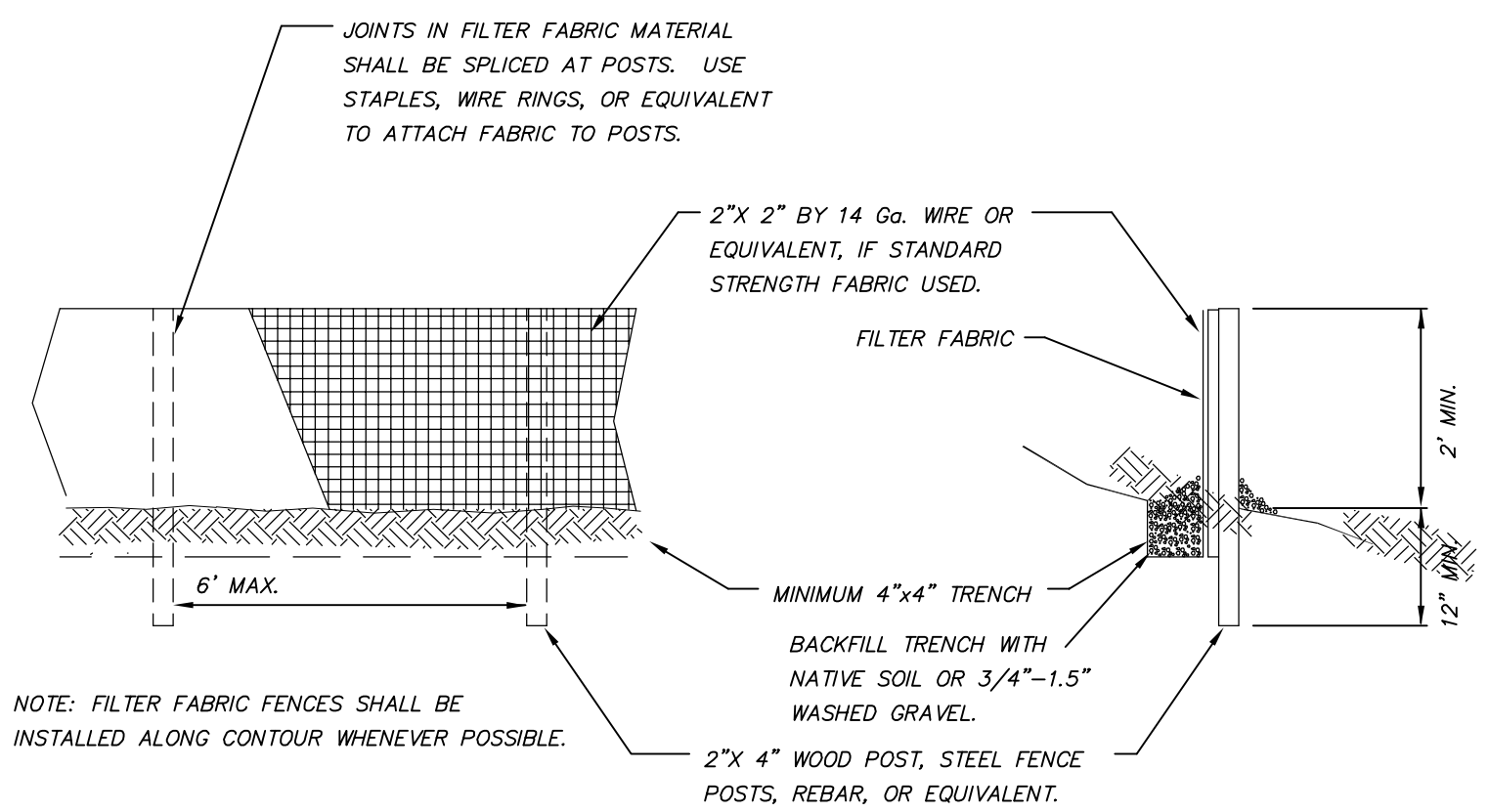


NOTE: ONLY TO BE USED WHERE PONDING OF WATER ABOVE THE CATCH BASIN WILL NOT CAUSE TRAFFIC PROBLEMS AND WHERE OVERFLOW WILL NOT RESULT IN EROSION OF SLOPES.

CATCH BASIN INLET FILTER
 NTS

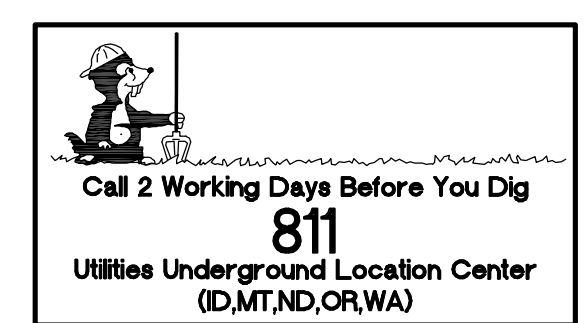
CATCH BASIN INSERT MAINTENANCE STANDARDS:

- ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC PROTECTION SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED WITH WATER, AND ALL SEDIMENT MUST BE DISPOSED OF AS FILL ON SITE OR HAULED OFF SITE.
- ANY SEDIMENT IN THE CATCH BASIN INSERT SHALL BE REMOVED WHEN THE SEDIMENT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. THE FILTER MEDIA FOR THE INSERT SHALL BE CLEANED OR REPLACED AT LEAST MONTHLY.
- REGULAR MAINTENANCE IS CRITICAL FOR BOTH FORMS OF CATCH BASINS PROTECTION. UNLIKE MANY FORMS OF PROTECTION THAT FAIL GRADUALLY, CATCH BASIN PROTECTION WILL FAIL SUDDENLY AND COMPLETELY IF NOT MAINTAINED PROPERLY.



NOTE: FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.

SILT FENCE DETAIL
 NTS



SW 1/4 SECTION 30, TOWNSHIP 24 N, RANGE 4 E, W.M.
7929 E. MERCER WAY



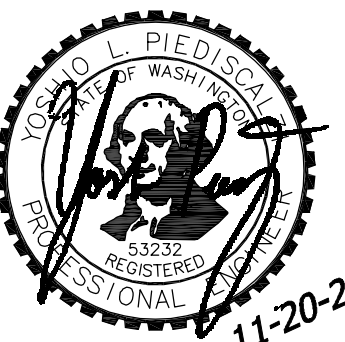
D.R. STRONG
 CONSULTING ENGINEERS
 ENGINEERS PLANNERS SURVEYORS
 620 - 7th AVENUE KIRKLAND, WA 98033
 O 425.827.3065 F 425.827.2423

7929 EAST MERCER WAY
MERCER ISLAND RESIDENCE

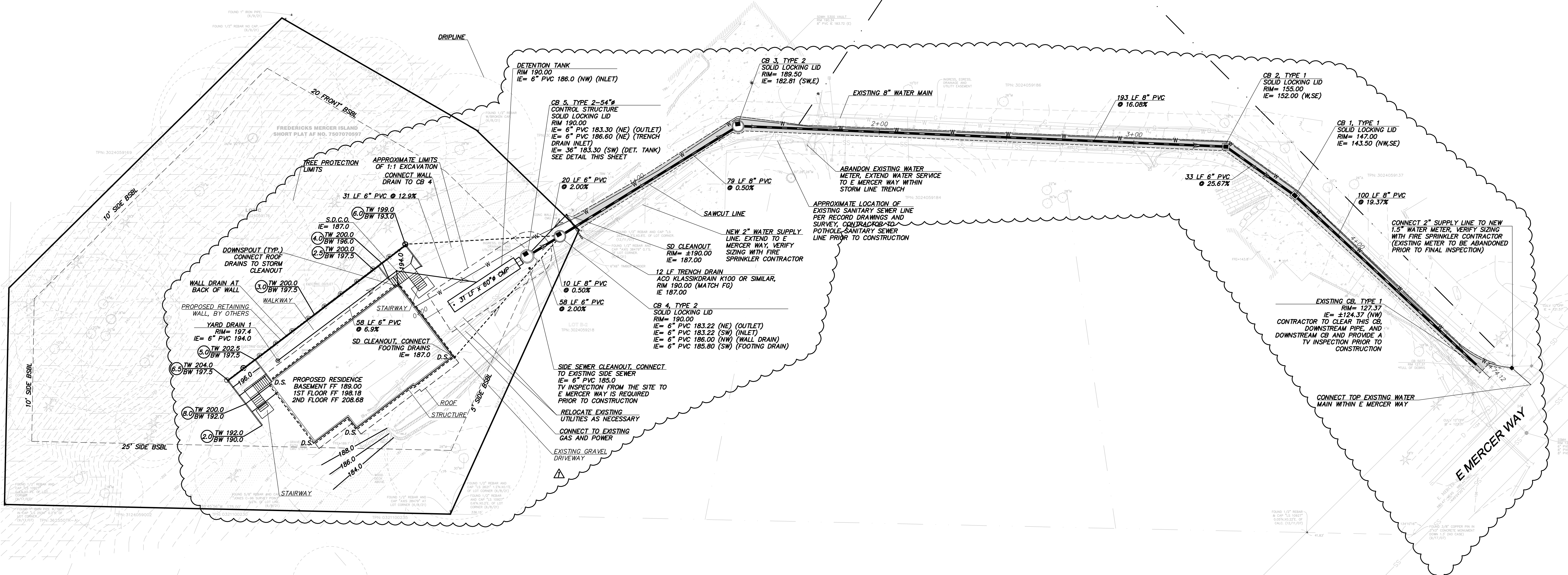
STORM DRAINAGE PLAN
 PARCEL NO. 3024059176
 7929 EAST MERCER WAY
 MERCER ISLAND, WA 98040

HOA HOANG

7929 E MERCER WAY
 MERCER ISLAND WA 98040



11-20-23



RESTRICTOR CATCH BASIN NOTES:

- USE A MINIMUM OF A 72 IN. DIAM. TYPE 2 CATCH BASIN WHEN CONNECTING PIPE MATERIAL IS CONCRETE OR LCP. A 54 IN. DIAM. TYPE 2 CATCH BASIN MAY BE USED FOR OTHER CIRCULAR SINGLE WALL PIPE (SUCH AS CORRUGATED ALUMINUM PIPE).
- OUTLET PIPE: MIN. 6 INCH.
- METAL PARTS: CORROSION RESISTANT NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
- FRAME AND LADDER OR STEPS OFFSET 50.
 - CLEANOUT GATE IS VISIBLE FROM TOP.
 - CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE.
 - FRAME IS CLEAR OF CURB.
- IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
- PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3"-0" VERTICAL SPACING).
- THE SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 208 AND ASTM B 275, DESIGNATION 2032A, OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. THE LIFT HANDLE SHALL BE MADE OF SIMILAR METAL TO THE GATE (TO PREVENT GALVANIC CORROSION). IT MAY BE SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LID AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.
- THE UPPER CATCH BASIN IS REQUIRED IF THE LENGTH OF THE DETENTION PIPE IS GREATER THAN 50 FEET.

STANDARD DETENTION SYSTEM NOTES:

- CALL DEVELOPMENT SERVICES (206-275-7605) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
- RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASIN TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
- PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING, LINED CORRUGATED POLYETHYLENE PIPE (LOPE), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
- FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.

AREAS NOTE:

LOT AREA: 30,583 S.F. (±0.771 ACRES)
 PROJECT AREA: 10,673 S.F. (0.245 ACRES)

EX. HARD SURFACE AREAS ON LOT:
 DRIVEWAY 3,289 S.F.
 ROOF AREA 1,069 S.F.
 WALKS 1,053 S.F.
 TOTAL EX. 5,411 S.F.

PROP. HARD SURFACE AREAS ON LOT:
 DRIVEWAY 1,710 S.F.
 ROOF AREA 2,609 S.F.
 WALKS 475 S.F.
 TOTAL PROP. 4,794 S.F.

SITE WALLS: 164 S.F.
 NEW/REPLACED P.G.I.S. 1,710 S.F.

GENERAL NOTES:

- SITE PLAN AS PROVIDED BY ARCHITECT ON SEPTEMBER 13, 2022.
- GRADING PLAN AS PROVIDED BY ARCHITECT AND SHOWN HERE FOR REFERENCE.
- CONTRACTOR SHALL POT-HOLE LOCATION OF EXISTING UTILITIES TO BE RECONNECTED PRIOR TO BEGINNING OF CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS.
- EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES SHOWN, OR NOT SHOWN IN THEIR PROPER LOCATION.
- ALWAYS CALL 811 BEFORE YOU DIG.

LAWN AND LANDSCAPE AREA NOTE:

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP 75.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

WALL LEGEND:

- TW TOP OF WALL
- BW BOTTOM OF WALL
- EP EDGE OF PavEMENT
- (E) EXISTING
- (P) PROPOSED

BUILDING HEIGHT CALCS:

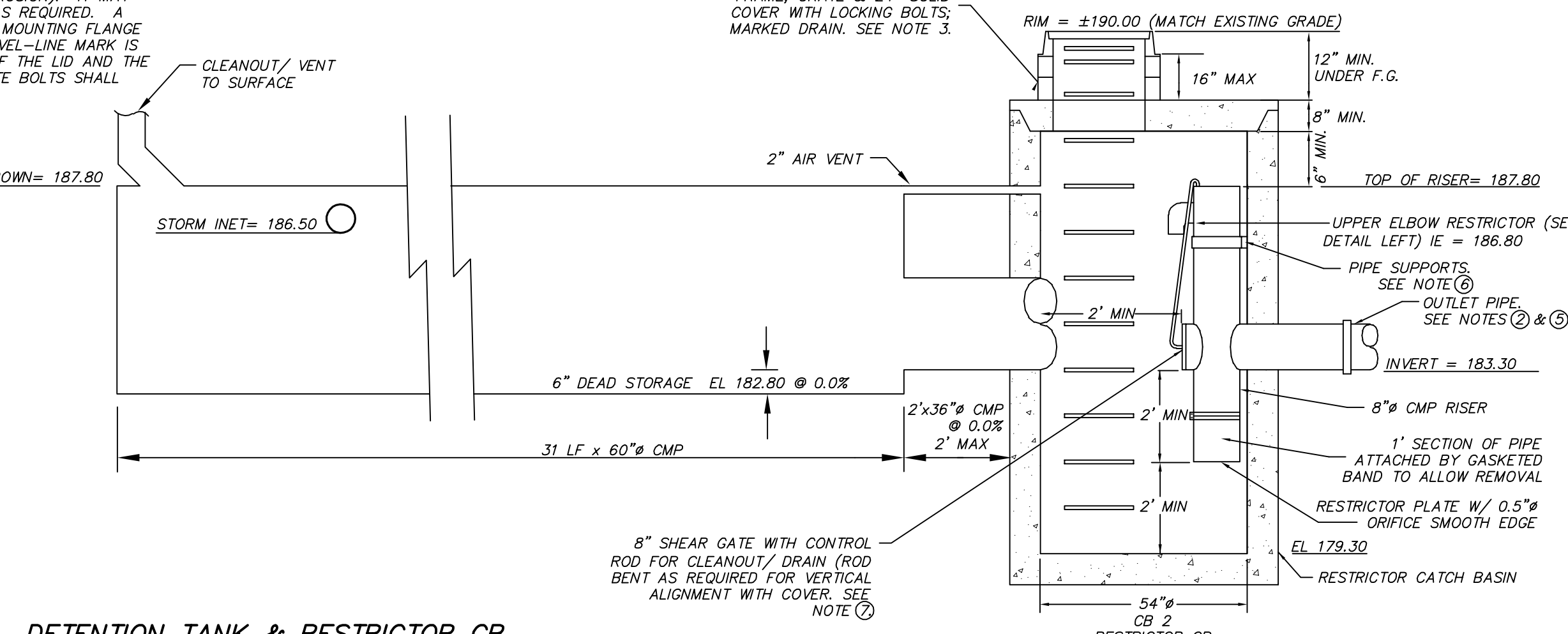
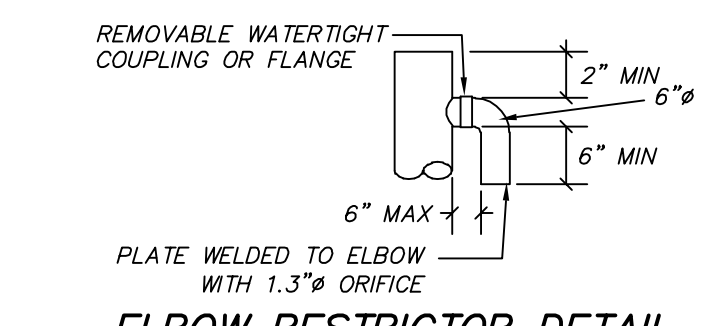
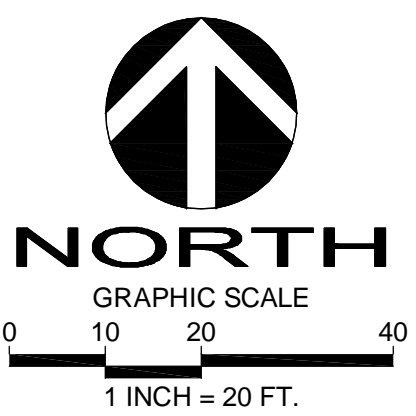
- A. AVERAGE BUILDING ELEVATION (ABE) #6000
- B. ALLOWABLE BUILDING HEIGHT (ABE+30) 221.03 FT
- C. PROPOSED BUILDING HEIGHT 220.13 FT
- D. BENCHMARK ELEVATION 191.14 FT
- E. DESCRIBE BENCHMARK LOCATION TBM 'A'
- F. SLOPING LOT-MAX HEIGHT OF TOP EXTERIOR WALL FACADE ABOVE LOWEST EXISTING GRADE (30'-FT MAX): 29'-8.75"

Table 1
 ON-SITE DETENTION DESIGN FOR PROJECTS BETWEEN 500 SF AND 9,500 SF NEW PLUS REPLACED IMPERVIOUS SURFACE AREA

New and Replaced Impervious Surface Area (sf)	Detention Pipe Diameter (in)	Detention Pipe Length (ft)		Lowest Orifice Diameter (in) ⁽¹⁾		Distance from Outlet Invert to Second Orifice (ft)		Second Orifice Diameter (in)	
		B soils	C soils	B soils	C soils	B soils	C soils	B soils	C soils
500 to 1,000 sf	36"	30	22	0.5	0.5	2.2	2.0	0.5	0.8
	48"	18	11	0.5	0.5	3.3	3.2	0.9	0.8
	60"	11	7	0.5	0.5	4.2	3.4	0.5	0.6
1,001 to 2,000 sf	36"	66	43	0.5	0.5	2.2	2.3	0.9	1.4
	48"	34	23	0.5	0.5	3.2	3.3	0.9	1.2
	60"	22	14	0.5	0.5	4.3	3.6	0.9	0.9
2,001 to 3,000 sf	36"	90	66	0.5	0.5	2.2	2.4	0.9	1.9
	48"	48	36	0.5	0.5	3.1	2.8	0.9	1.5
	60"	30	20	0.5	0.5	4.2	3.7	0.9	1.1
3,001 to 4,000 sf	36"	120	78	0.5	0.5	2.4	2.2	1.4	1.6
	48"	62	42	0.5	0.5	2.8	2.9	0.8	1.3
	60"	42	26	0.5	0.5	3.8	3.9	0.9	1.3
4,001 to 5,000 sf	36"	134	91	0.5	0.5	2.8	2.2	1.7	1.5
	48"	73	49	0.5	0.5	3.6	2.9	1.6	1.5
	60"	46	31	0.5	0.5	4.6	3.5	1.6	1.3

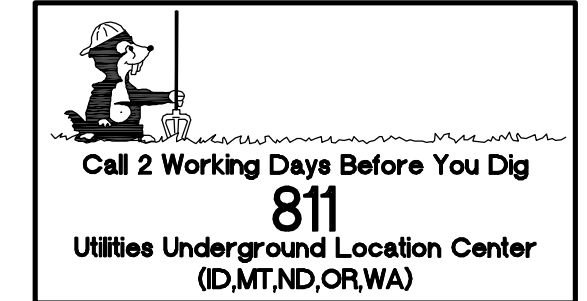
STORM DRAINAGE NOTES:

- ROOF DRAINS SHALL BE 6" PVC SDR 35 TIGHTLINE WITH A MINIMUM SLOPE OF 2.00%.
- FOOTING/WALL DRAINS SHALL BE 4" PERFORATED PVC WRAPPED IN FILTER FABRIC PER CITY STANDARDS.
- FOOTING/WALL DRAINAGE SYSTEMS AND ROOF DOWNSPOUT SYSTEM SHALL NOT BE INTERCONNECTED UNLESS SUCH CONNECTION IS MADE AT LEAST ONE FOOT BELOW THE FOOTING/WALL DRAINAGE SYSTEM AND DOWN SLOPE OF THE BUILDING FOUNDATION.
- USE SAND COLLARS AT CB CONNECTIONS TO PVC PIPE.
- PROVIDE TRAFFIC RATED GRATES IN ALL PARKING AREAS.
- PROVIDE SLEEVES THROUGH ALL WALLS/ROCKERIES.
- SEE ARCHITECTURAL PLAN SET FOR VEGETATED ROOF SPECIFICATIONS.
- ALL DRAIN LIDS SHALL HAVE DECORATIVE GRATE COVERS. IRON AGE OR EQUAL PER ARCHITECTURAL SPECIFICATION.



ELBOW RESTRICTOR DETAIL

DETENTION TANK & RESTRICTOR CB

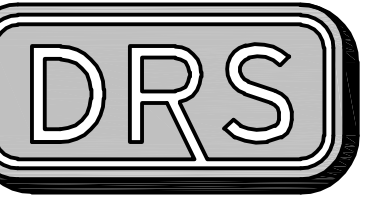


DATE	REVISION	CITY COMMENTS
APR 11, 2023	YLP	

DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: YLP
 DATE: 12.29.22
 PROJECT NO.: 21125

DRAWING: C3
 SHEET: 3 OF 7

SW 1/4 SECTION 30, TOWNSHIP 24 N, RANGE 4 E, W.M.
7929 E. MERCER WAY



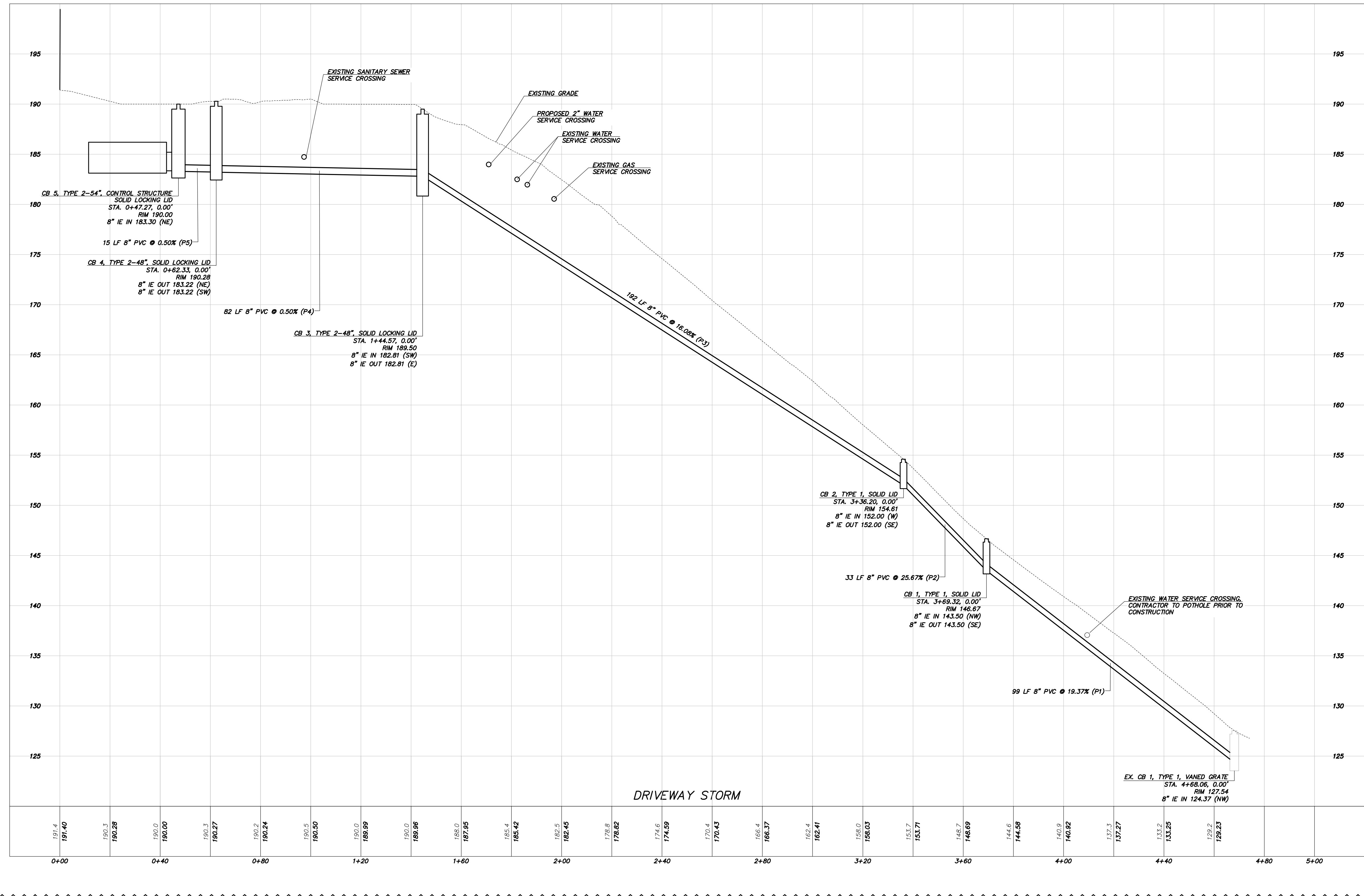
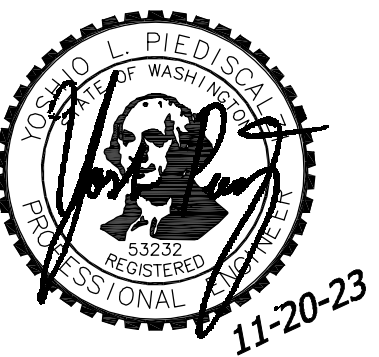
D.R. STRONG
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 ENGINEERS PLANNERS SURVEYORS
 620 - 7th AVENUE KIRKLAND, WA 98033
 O 425.827.3063 F 425.827.2423

**7929 EAST MERCER WAY
 MERCER ISLAND RESIDENCE**

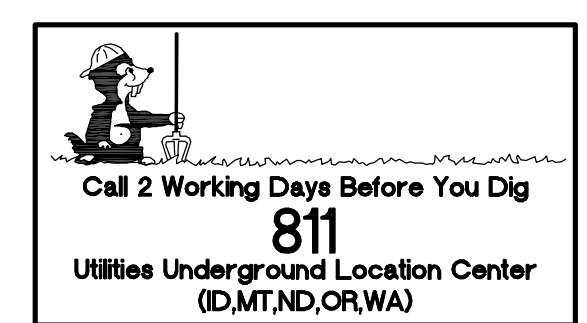
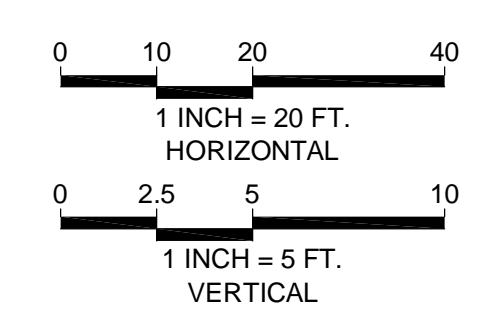
STORM DRAINAGE PROFILE
 PARCEL NO. 3024059176
 7929 EAST MERCER WAY
 MERCER ISLAND, WA 98040

HOA HOANG

7929 E MERCER WAY
 MERCER ISLAND WA 98040



DRIVEWAY STORM



APR	YLP
REVISION	CITY COMMENTS
DATE	11.20.23

DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: YLP
 DATE: 12.29.22
 PROJECT NO.: 21125

DRAWING: C4
 SHEET: 4 OF 7

SW 1/4 SECTION 30, TOWNSHIP 24 N, RANGE 4 E, W.M.
7929 E. MERCER WAY



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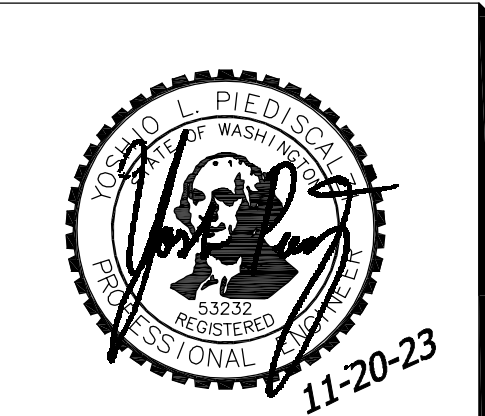

7929 EAST MERCER WAY
MERCER ISLAND RESIDENCE

NOTES & DETAILS

PARCEL NO. 3024059176
 7929 EAST MERCER WAY
 MERCER ISLAND, WA 98040

HOA HOANG

7929 E MERCER WAY
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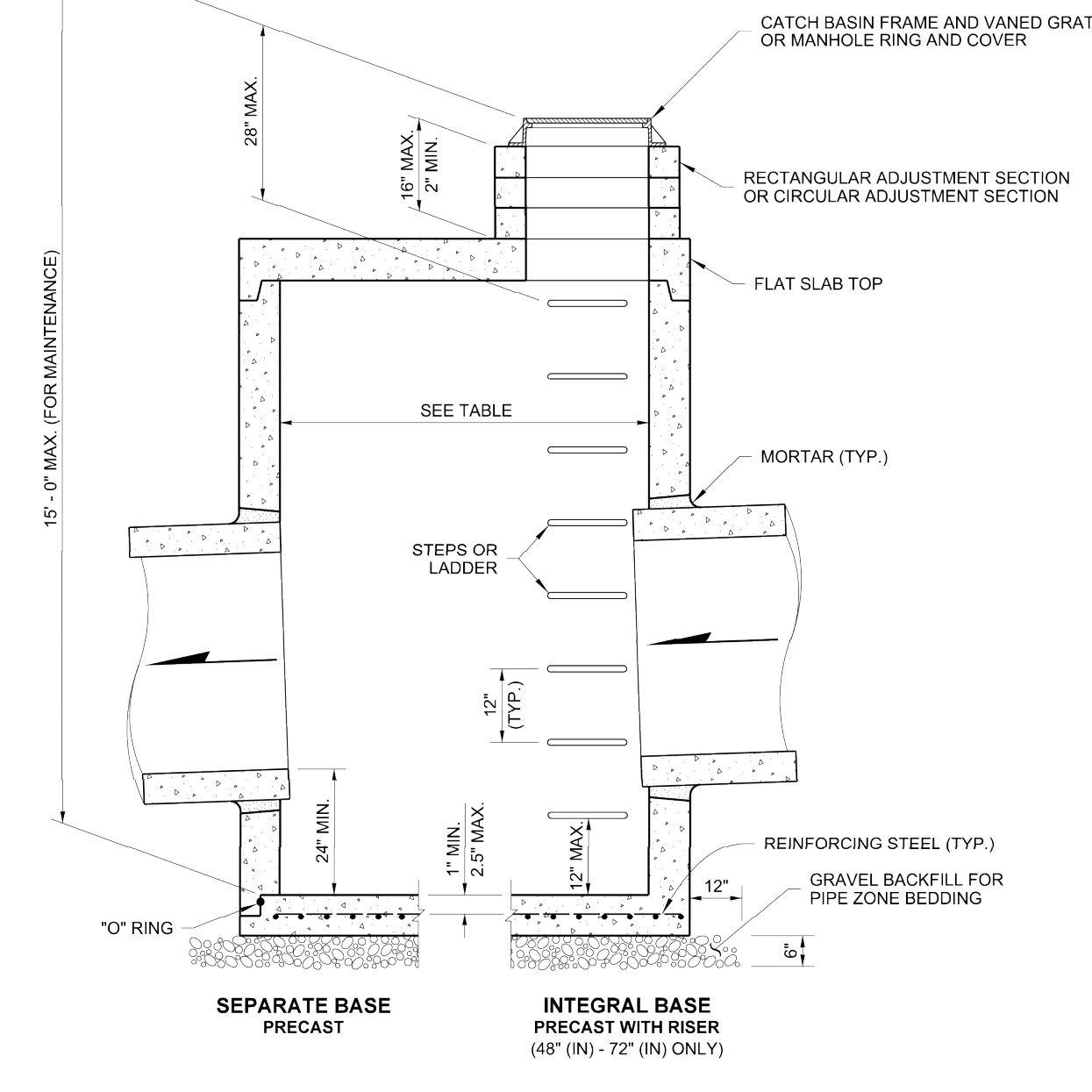
11-20-23

APR	YLP
REVISION	CITY COMMENTS
DATE	11.20.23

DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: YLP
 DATE: 12.29.22
 PROJECT NO.: 21125

DRAWING: C5
 SHEET: 5 OF 7

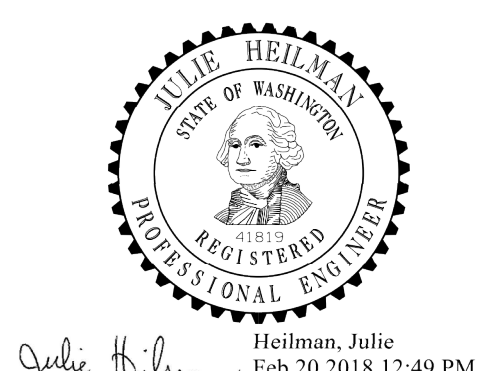
DRAWN BY: FERIN LODELL



CATCH BASIN DIAMETER	MIN. WALL THICKNESS	MIN. BASE THICKNESS	MAXIMUM KNOCKOUT SIZE	MINIMUM DISTANCE BETWEEN KNOCKOUTS
48"	4"	6"	36"	8"
54"	4.5"	8"	42"	8"
60"	5"	8"	48"	8"
72"	6"	8"	60"	12"
84"	8"	12"	72"	12"
96"	8"	12"	84"	12"
120"	10"	12"	96"	12"
144"	12"	12"	108"	12"

CATCH BASIN DIAMETER	PIPE MATERIAL WITH MAXIMUM INSIDE DIAMETER				
	CONCRETE	ALL METAL	CPSP PP (1)	SOLID WALL PVC (2)	PROFILE WALL PVC (3)
48"	24"	30"	24"	30"	30"
54"	30"	36"	30"	36"	36"
60"	36"	42"	36"	42"	42"
72"	42"	54"	42"	48"	48"
84"	54"	60"	54"	48"	48"
96"	60"	72"	60"	48"	48"
120"	66"	84"	60"	48"	48"
144"	78"	96"	60"	48"	48"

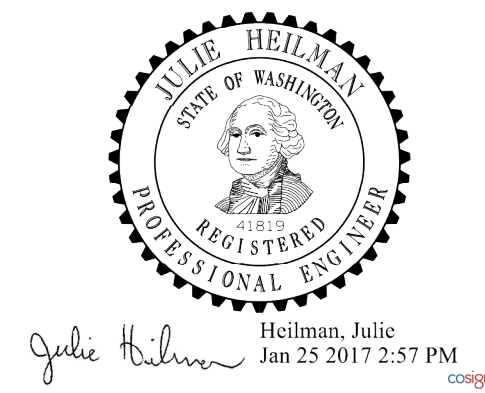
- Corrugated Polyethylene Storm Sewer Pipes (See Standard Specification Section 9-05.20)
- (See Standard Specification Section 9-05.12(1))
- (See Standard Specification Section 9-05.12(2))
- Polypropylene Pipe (See Standard Specification Section 9-05.24)



Heilman, Julie
 Feb 20 2018 12:49 PM
CATCH BASIN TYPE 2
STANDARD PLAN B-10.20.02
 SHEET 1 OF 1 SHEET

APPROVED FOR PUBLICATION
 STATE DESIGN ENGINEER
 Washington State Department of Transportation

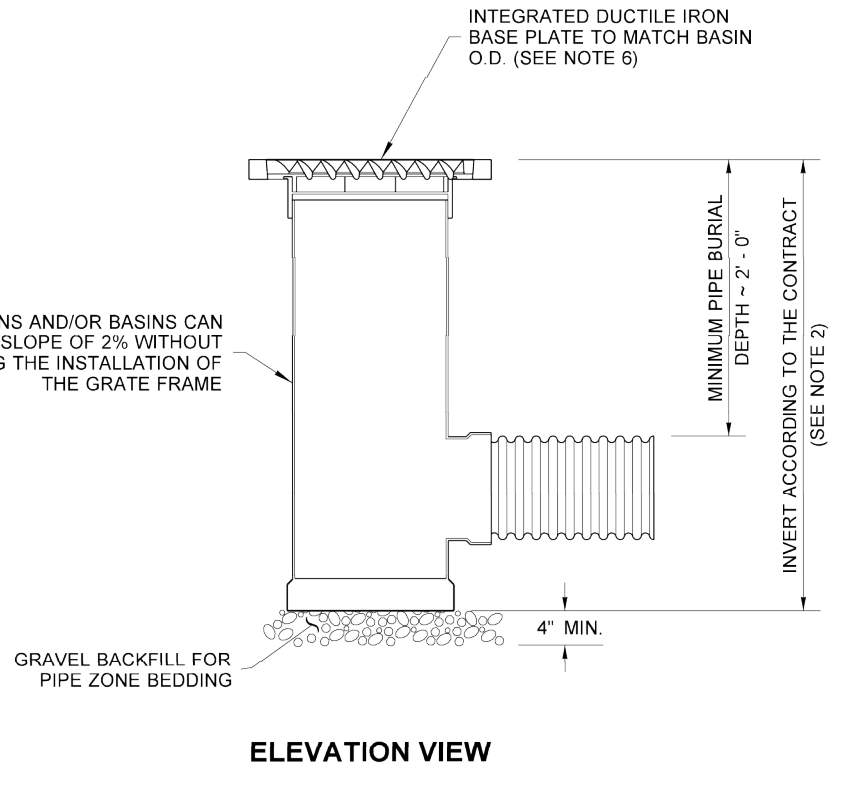
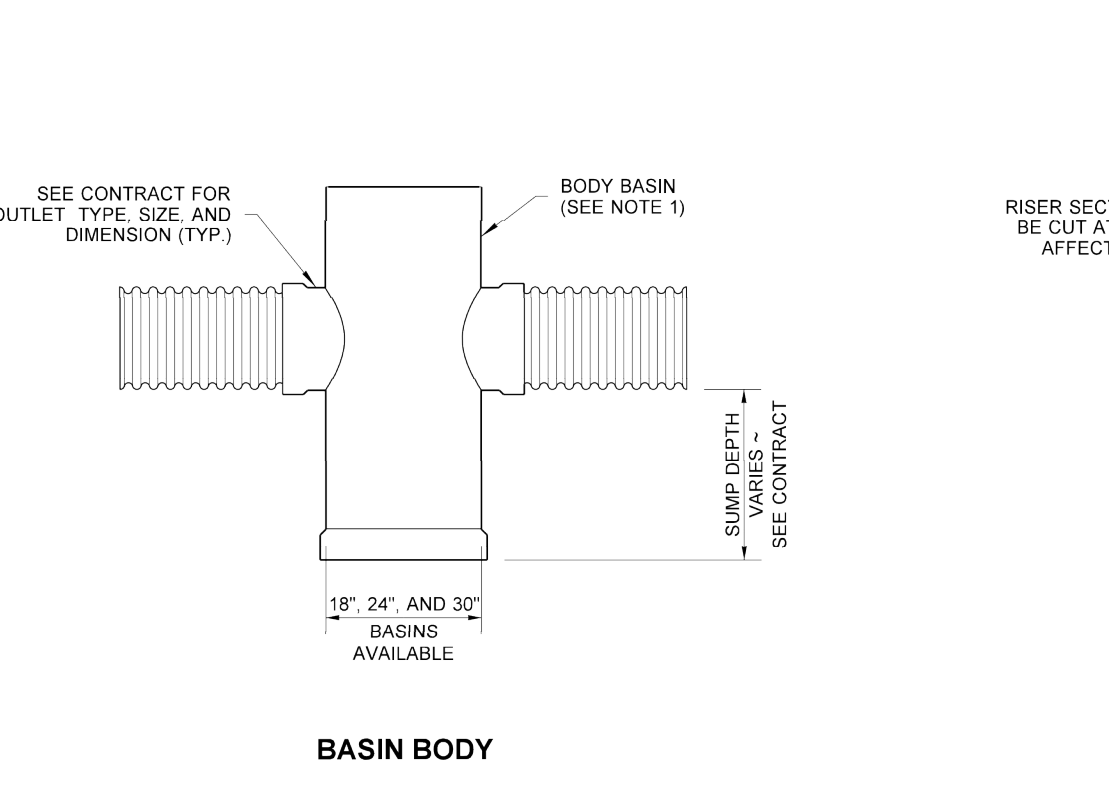
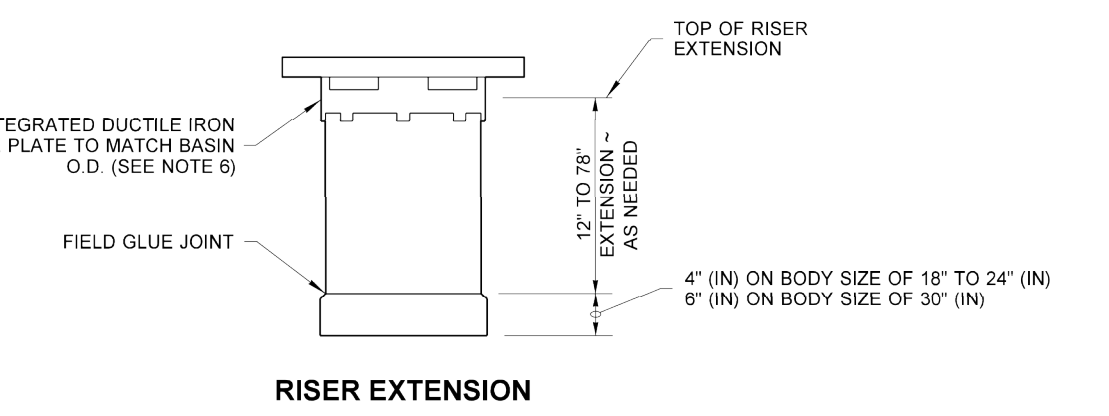
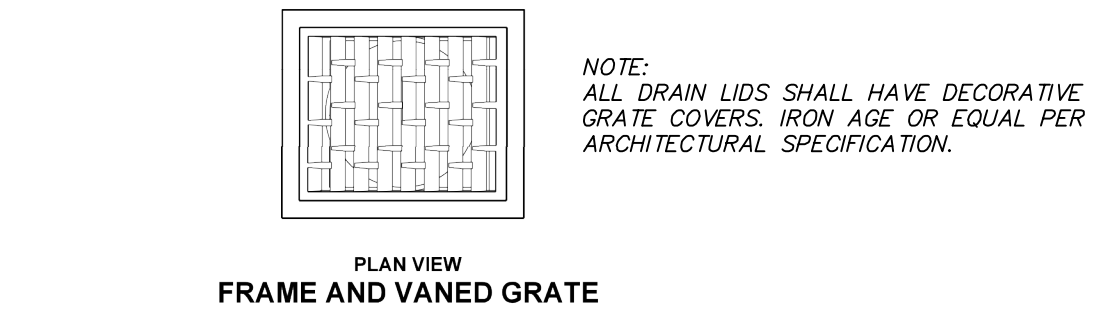
- NOTES**
- Drain basin to be custom manufactured according to plan details. Risers are needed for basins over 84" (n) due to shipping restrictions. The maximum depth from finished grade to the lowest invert shall be 8' (ft).
 - Drainage connections shall utilize flexible elastomeric seals conforming to ASTM F477 and shall meet the requirements of ASTM D3212.
 - Risers can be trimmed down to 3" (n) extension without interfering with the installation of the frame.
 - These structures can be used for Type 1, Type 1L, and Type 2 structures. Usage for the Type 2 structures shall be limited to pipe size use only.
 - Basins shall be manufactured from PVC pipe stock meeting the requirements of ASTM D1784, cell classification 12454.
 - Ductile iron castings for PVC catch basins shall conform to the requirements of ASTM A536, grade 70-50-05, and shall meet the proof load testing requirements of AASHTO M 306.
 - Bolt-down capability is required on all frames, grates, and covers, unless specified otherwise in the Contract. Provide 2 holes in the frame that are vertically aligned with the grate or cover sides. The frame shall accept the 304 Stainless Steel (S.S.) 5/8" (n) - 11 NC x 2" (n) allen head cap screw by being tapped, or other approved mechanism. Location of bolt-down holes varies by manufacturer.



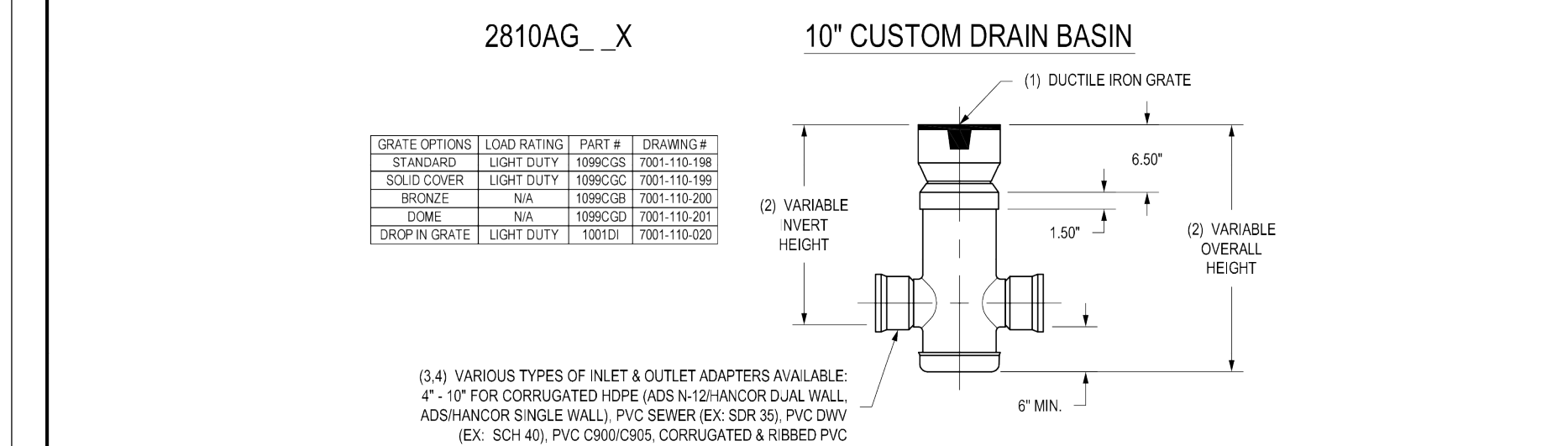
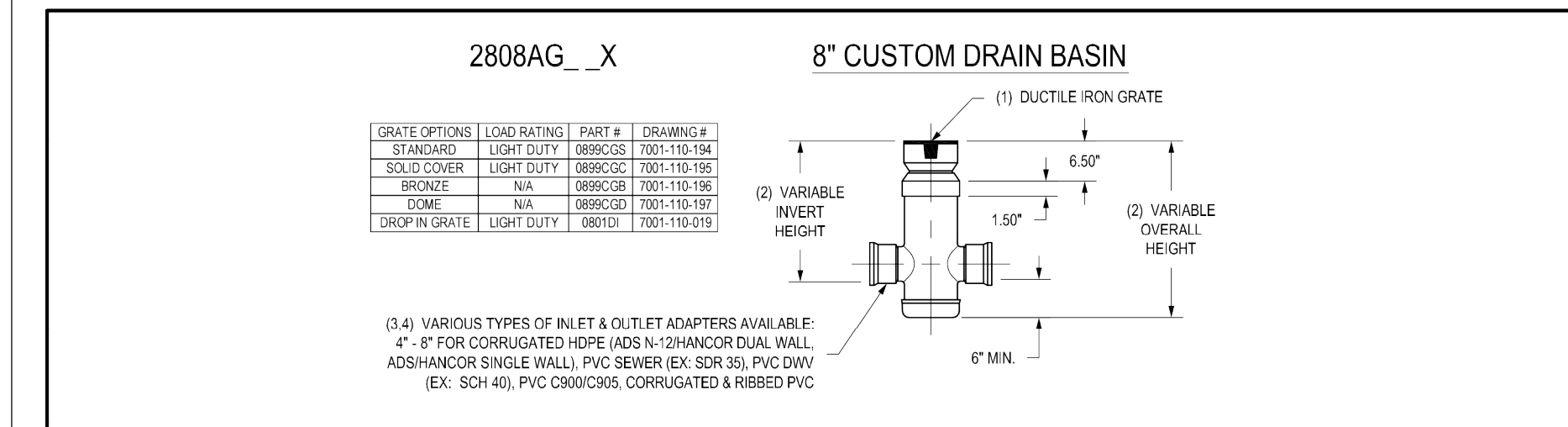
Heilman, Julie
 Jan 25 2017 2:57 PM
CATCH BASIN - PVC
STANDARD PLAN B-10.70.00
 SHEET 1 OF 1 SHEET

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 Washington State Department of Transportation

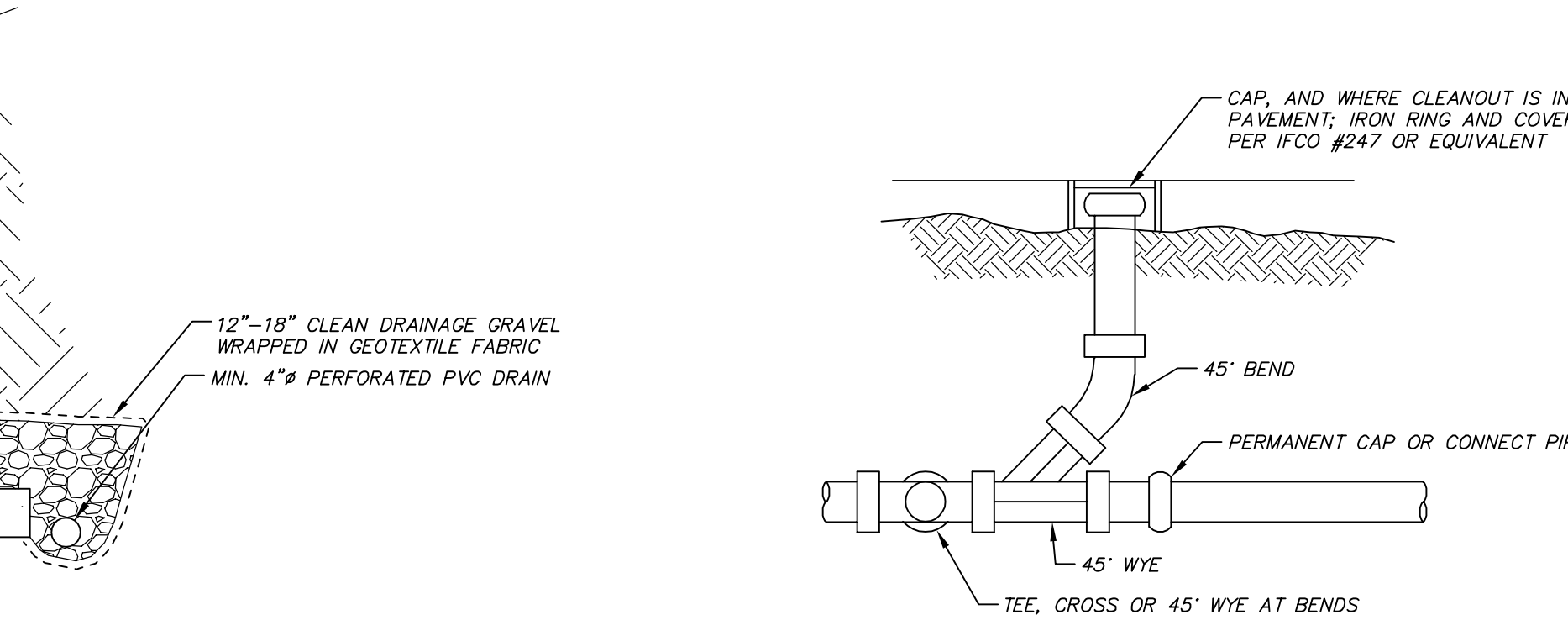
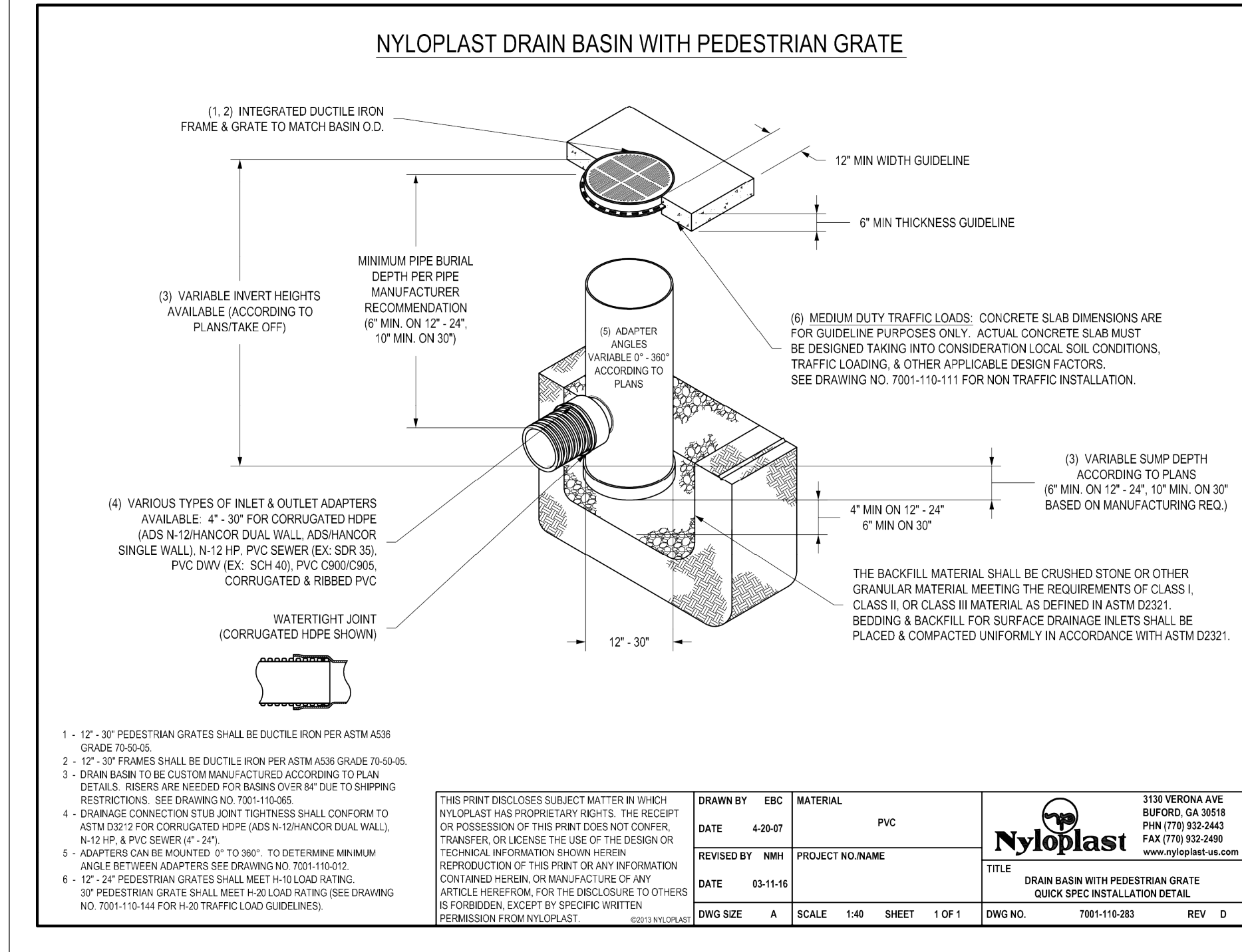
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- GRAVEL/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
- CUSTOM DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" (N) DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-005.
- DRAINAGE CONNECTION SUB-JOINT TECHNIQUE SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE ADS & ANCHOR DUAL WALL & SDR35 PVC.
- STANDARD DRAIN BASIN HAS FIXED ADAPTER LOCATIONS OF 0" & 180" CUSTOM DRAIN BASIN ADAPTERS CAN BE LOCATED IN ANY ANGLE 0° TO 360° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-10-012.
- DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY.



- WALL DRAIN NOTES:**
- DRAINAGE RECOMMENDATIONS PER GEOTECHNICAL ENGINEERING REPORT BY PANGED INC. DATED 10-12-18.
 - GRADE DRAIN PIPE TO DIRECT WATER TO PROPOSED COLLECTION SYSTEM AS SHOWN ON PLAN SHEETS.
 - FOOTING/WALL DRAINAGE SYSTEMS AND ROOF DOWNSPOUT SYSTEM SHALL NOT BE INTERCONNECTED UNLESS SUCH CONNECTION IS MADE AT LEAST ONE FOOT BELOW THE FOOTING/WALL DRAINAGE SYSTEM AND DOWN SLOPE OF THE FOOTING/WALL.



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SW 1/4 SECTION 30, TOWNSHIP 24 N, RANGE 4 E, W.M.
7929 E. MERCER WAY



**7929 EAST MERCER WAY
 MERCER ISLAND RESIDENCE**

NOTES & DETAILS

PARCEL NO. 3024059176
 7929 EAST MERCER WAY
 MERCER ISLAND, WA 98040

HOA HOANG

7929 E MERCER WAY
 MERCER ISLAND WA 98040



DATE	11.20.23
REVISION	APR YLP
CITY COMMENTS	

DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: YLP
 DATE: 12.29.22
 PROJECT NO.: 21125

DRAWING: C6
 SHEET: 6 OF 7

**CITY OF MERCER ISLAND
 STANDARD DETAILS
 SEWER
 SIDE SEWER CONNECTION
 AND STUB**

6-5-2009 NO SCALE S-17

REV DATE APPROVED

NOTES

- ELBOWS SHALL NOT BE GREATER THAN 45 DEGREES.
- CLEAN OUT IS REQUIRED FOR EACH PIPE LENGTH GREATER THAN 100' AND FOR EACH 90° ACCUMULATED ELBOW/100'.
- RIGHT-OF-WAY RESTRICTIONS SHALL MATCH OR EXCEED THE ORIGINAL CONDITION AND BE IN ACCORDANCE WITH CITY STANDARDS.
- ALL TRENCH BACKFILL IN PUBLIC RIGHT-OF-WAY OR ROADWAY AREAS SHALL BE CRUSHED SURFACING PER WSDOT 9-09.2(C) OR BANK RUN GRAVEL PER WSDOT 9-03.19, COMPACTED IN 6" LIFTS OR MAY BE CDF WHEN DIRECTED BY THE CITY ENGINEER (SEE DETAIL S-3).
- LAY PIPE IN STRAIGHT LINE BETWEEN BENDS. MAKE ALL CHANGES IN GRADE OR LINE WITH 1/8" BEND OR WYE. 90° CHANGE WITH 1/8" BEND AND WYE.
- 6" SEWER PIPE MINIMUM SIZE IN RIGHT-OF-WAY, AND ELSEWHERE AS DIRECTED BY ENGINEER. 2% MIN. GRADE (UNLESS DIRECTED BY ENGINEER). SOX MAXIMUM.
- ALL A.C. WINGS TO BE TAPPED IN ACCORDANCE WITH WAC 296-82-00775 STATE/FEDERAL GUIDELINES AND CERTIFICATION.
- CONSTRUCTION IN RIGHT-OF-WAY MUST BE DONE BY A REGISTERED AND LICENSED CONTRACTOR.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY SEWER ORDINANCES.
- WHERE CITY ENGINEER ALLOWS SIDE SEWER CONNECTIONS TO MANHOLE, INVERT OF SIDE SEWER SHALL BE EQUAL TO OR ABOVE MAIN SEWER CROWN, BUT NOT TO EXCEED 18" ABOVE INVERT OF MAIN SEWER.
- UNLESS OTHERWISE INDICATED ON PLAN, SIDE SEWER SHALL BE MIN. OF 6" DEEP AT PROPERTY LINE, OR 6" LOWER THAN THE LOWEST ELEVATION, WHICH EVER IS LOWER.
- ALL PIPE MATERIALS NOT TO STANDARDS WILL BE ABANDONED AND REPLACED WITH DUCTILE IRON OR PVC PIPE OF THE SAME SIZE.
- IF A BUILDING SEWER IS TO SERVE MORE THAN ONE PROPERTY, BY JOINT AGREEMENT OF THE OWNERS, AN APPROVED EASEMENT INSURING THAT ALL PROPERTIES INVOLVED SHALL HAVE PERPETUAL USE OF THE SIDE SEWER, HAVING PROVISIONS FOR OPERATION, MAINTENANCE, RECONSTRUCTION AND FOR ACCESS FOR REPAIR PURPOSES, SHALL BE SIGNED BY THE OWNERS. THIS EASEMENT SHALL BE RECORDED WITH THE COUNTY AUDITOR. A SIX INCH (MINIMUM) DIAMETER PIPE SHALL BE USED FOR THE COMMON LINE AND A SIX INCH (MINIMUM) DIAMETER PIPE SHALL BE USED FOR THE SHARED SIDE SEWER.
- ALL GRADE CONNECTIONS ARE MADE. BACKWATER VALVES SHALL BE PROVIDED AT THE WYE WHERE THE UPPER GRADE CONNECTIONS ARE MADE. BACKWATER VALVES SHALL BE INSTALLED ON SERVICE LINES UPSTREAM OF THE CONNECTION TO THE SHARED SIDE SEWER.
- THE CITY ENGINEER MAY REQUIRE BACKWATER VALVES ON SIDE SEWERS WHEN DEEMED NECESSARY. THE EFFECTIVE OPERATION AND MAINTENANCE OF ANY BACKWATER VALVE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE SIDE SEWER.
- UTILITY PIPE TRACER TAPE SHALL BE DETECTABLE BELOW GROUND SURFACE. COLOR CODED, WITH UTILITY NAME PRINTED ON TAPE. CONDUCTIVE WARNING TAPE REQUIRED OVER ALL WATER PIPE. TAPE SHALL BE MANUFACTURER'S STANDARD PERMANENT, BRIGHT-COLORED, CONTINUOUS PRINTED PLASTIC TAPE, ALUMINUM BACKED, INTENDED FOR DIRECT-BURIAL SERVICE. TAPE SHALL BE NOT LESS THAN 6" WIDE X 4 MILS THICK.

**CITY OF MERCER ISLAND
 STANDARD DETAILS
 SEWER
 HOUSE SEWER CONNECTION**

6-5-2009 NO SCALE S-18

REV DATE APPROVED

NOTES

- ELBOWS SHALL NOT BE GREATER THAN 45 DEGREES.
- CLEAN OUT IS REQUIRED FOR EACH PIPE LENGTH GREATER THAN 100' AND FOR EACH 90° ACCUMULATED ELBOW/100'.
- ALL HOUSE PLUMBING OUTLETS MUST BE CONNECTED TO THE SEWER. NO DOWN SPOUTS OR STORM DRAINAGE MAY BE CONNECTED TO THE SEWER SYSTEM.
- 18" MINIMUM COVERAGE OVER PIPE.
- LAY PIPE IN STRAIGHT LINE BETWEEN BENDS. MAKE ALL CHANGES IN GRADE OR LINE WITH 1/8" BEND OR WYE. 90° CHANGE WITH 1/8" BEND AND WYE.
- 4" SEWER PIPE MINIMUM SIZE ON PROPERTY. 2% MINIMUM GRADE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT SEWER ORDINANCES.
- ALL CONSTRUCTION REQUIRES A PLAN SHOWING PROPERTY AND DIMENSIONS AND COMPLETION OF SIDE SEWER APPLICATION AND MAINTENANCE AGREEMENT, AS NEEDED.
- BACKWATER VALVE (CHECK VALVE) IS REQUIRED:
 - IF CONNECTED TO A SHARED SIDE SEWER.
 - IF CONNECTION AT HOUSE IS LOWER THAN BOTH UPSTREAM AND DOWNSTREAM MANHOLE.
 - SEE S-23 & S-24 FOR LAKE LINE REQUIREMENTS.
- AS-BUILT DRAWING SHOWING LOCATION OF SIDE SEWER & ALL BENDS, C.O. ETC. IN RELATION TO THE HOUSE IS REQUIRED AFTER INSPECTION & INSTALLATION. SEE STANDARD DETAIL S-38 FOR A TYPICAL "AS BUILT".
- THE MINIMUM PIPE SIZE FOR SIDE SEWERS SHALL BE:
 - 6" - WITHIN THE PUBLIC RIGHT-OF-WAY.
 - 4" - SINGLE FAMILY RESIDENCES.
 - 2" - 2 TO 6 SINGLE FAMILY RESIDENCES.
 - 6" - BUILDINGS OTHER THAN SINGLE FAMILY RESIDENCES.
- UTILITY PIPE TRACER TAPE SHALL BE DETECTABLE BELOW GROUND SURFACE, COLOR CODED, WITH UTILITY NAME PRINTED ON TAPE. CONDUCTIVE WARNING TAPE REQUIRED OVER ALL WATER PIPE. TAPE SHALL BE MANUFACTURER'S STANDARD PERMANENT, BRIGHT-COLORED, CONTINUOUS PRINTED PLASTIC TAPE, ALUMINUM BACKED, INTENDED FOR DIRECT-BURIAL SERVICE. TAPE SHALL BE NOT LESS THAN 6" WIDE X 4 MILS THICK.

**CITY OF MERCER ISLAND
 STANDARD DETAILS
 SEWER
 CLEAN OUT DETAIL**

6-5-2009 NO SCALE S-19

REV DATE APPROVED

NOTES

- SEE S-27 FOR INSTALLATION DETAILS.

DISCONNECTION

WHEN ABANDONING A SIDE SEWER IT SHALL BE DISCONNECTED AT THE MAIN PRIOR TO REMOVAL OF BUILDING FOUNDATIONS. THE CONTRACTOR SHALL PLUG THE CONNECTION AT THE MAIN WITH A MECHANICAL PLUG AND NON-SHRINK GROUT. DISCONNECTIONS SHALL BE PERFORMED IN THE PRESENCE OF THE CITY'S UTILITY INSPECTOR. THE CONTRACTOR SHALL PROVIDE AN AS-BUILT DRAWING DEPICTING THE DISCONNECTED SIDE SEWER UPON COMPLETION OF THE WORK.

RECONNECTION

WHEN RECONNECTING TO AN EXISTING SIDE SEWER, THE POINT OF RECONNECTION WILL BE DETERMINED BASED ON THE MAGNITUDE OF THE CONSTRUCTION ON THE PROPERTY.

- PARTIAL INTERIOR REMODEL AND/OR BUILDING ADDITION WITH NO ADDITIONAL PLUMBING FIXTURES - NO SIDE SEWER REPLACEMENT REQUIRED UNLESS A KNOWN PROBLEM EXISTS IN THE SIDE SEWER.
- PARTIAL INTERIOR REMODEL AND/OR BUILDING ADDITION WITH ADDITIONAL PLUMBING FIXTURES- ASSESS CONDITION OF EXISTING SIDE SEWER THROUGH VIDEO INSPECTION FROM BUILDING TO PROPERTY LINE AND REPLACE AS NEEDED.
- COMPLETE INTERIOR REMODEL - ASSESS CONDITION OF EXISTING SIDE SEWER THROUGH VIDEO INSPECTION FROM BUILDING TO SEWER MAIN AND REPLACE AS NEEDED. IF EXISTING SIDE SEWER IS ASBESTOS CEMENT OR CONCRETE, SIDE SEWER SHALL BE REPLACED FROM BUILDING TO PROPERTY LINE.
- COMPLETE INTERIOR REMODEL AND BUILDING ADDITION - NEW SIDE SEWER FROM BUILDING AT LEAST TO PROPERTY LINE.
- CONSTRUCTION OF A NEW BUILDING - NEW SIDE SEWER FROM BUILDING AT LEAST TO MAIN.*

BACKWATER VALVE INSTALLATION PER CITY ENGINEER, IF SCENARIO 2, 3, 4, OR 5 IS DIRECTLY ATTACHED TO THE LAKE LINE OR THE ELEVATION OF THE LOWEST DRAIN IN THE RESIDENCE IS LOWER THAN THE RIM ELEVATION OF THE UPSTREAM SEWER MANHOLE ON THE MAIN.

VIDEO INSPECTION OF THE EXISTING SIDE SEWER, BETWEEN THE PROPERTY LINE AND THE SEWER MAIN SHALL BE PERFORMED FOR SCENARIO NUMBER 4.

PROVIDE A COPY OF THE VIDEO DOCUMENTATION (VIDEO AND HARD COPY REPORT) TO THE CITY ENGINEER.

REPLACEMENT OR REPAIR OF THAT PORTION OF THE SIDE SEWER BETWEEN THE PROPERTY LINE AND THE SEWER MAIN, WILL BE DETERMINED BY THE CITY ENGINEER, BASED ON THE VIDEO INSPECTION.

*IF THE EXISTING SIDE SEWER IS PVC AND IS LESS THAN TEN YEARS OLD, THE SIDE SEWER DOES NOT HAVE TO BE REPLACED IF A VIDEO INSPECTION AND HYDROSTATIC PRESSURE TEST CONFIRMS THAT THE SIDE SEWER IS IN PROPER WORKING CONDITION. THESE TESTS SHALL BE PERFORMED AFTER ALL HEAVY EQUIPMENT THAT COULD DAMAGE THE SIDE SEWER IS OFF OF THE SITE.

**CITY OF MERCER ISLAND
 STANDARD DETAILS
 SEWER
 COMMERCIAL/MULTI FAMILY
 SIDE SEWER
 DISCONNECTION & RECONNECTION**

6-5-2009 NO SCALE S-22A

REV DATE APPROVED

PIPE SIZE	MATERIAL	CAP	ENCLOSURE	COMMENTS
6"	PVC	SIDU MECHANICAL SEWER PLUG	CONC. METER BOX, FOGTITE 1-D	INSTALLATION BELOW HYDRAULIC GRADIENT
6"	PVC	PVC CAP W/O GASKET	CONC. METER BOX, FOGTITE 1-D	INSTALLATION ABOVE HYDRAULIC GRADIENT
6"	DIP	MECHANICAL JOINT CAP	CONC. METER BOX, FOGTITE 1-D	INSTALLATION ABOVE HYDRAULIC GRADIENT
8"	PVC	PVC CAP W/O GASKET	CONC. METER BOX, FOGTITE NO. 2 (CONC. LID W/ ALUM. INS. PLATE)	INSTALLATION ABOVE HYDRAULIC GRADIENT
8"	DIP	MECHANICAL JOINT CAP	CONC. METER BOX, FOGTITE NO. 2 (CONC. LID W/ ALUM. INS. PLATE)	INSTALLATION ABOVE HYDRAULIC GRADIENT

NOTES

- IF POSSIBLE, CLEANOUT TO BE LOCATED JUST ABOVE HYDRAULIC GRADIENT OF LAKE LINE. CLEANOUT SHOULD ALSO BE LOCATED TO PROVIDE EASY ACCESS FOR INSPECTION AND MAINTENANCE BY THE HOME OWNER.
- SEE S-23 & S-24 FOR BACKWATER VALVE LOCATION.

**CITY OF MERCER ISLAND
 STANDARD DETAILS
 SEWER
 SIDE SEWER CLEANOUT FOR
 LAKE LINE CONNECTIONS**

6-5-2009 NO SCALE S-25

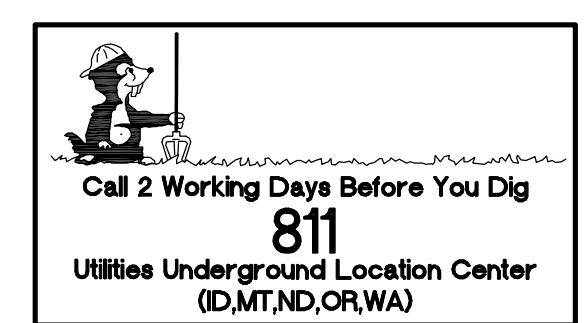
REV DATE APPROVED

**CITY OF MERCER ISLAND
 STANDARD DETAILS
 SEWER
 BACKWATER VALVE ASSEMBLY
 FOR JOINT USE SIDE SEWER
 (4" OR 6" DIAMETER)**

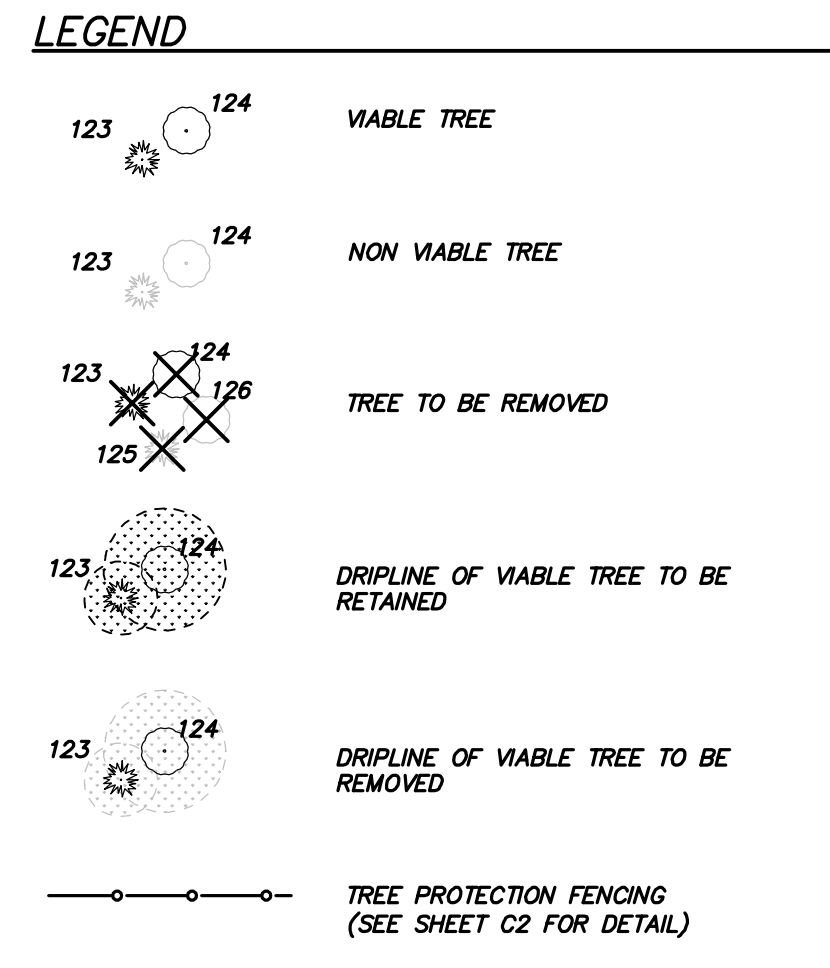
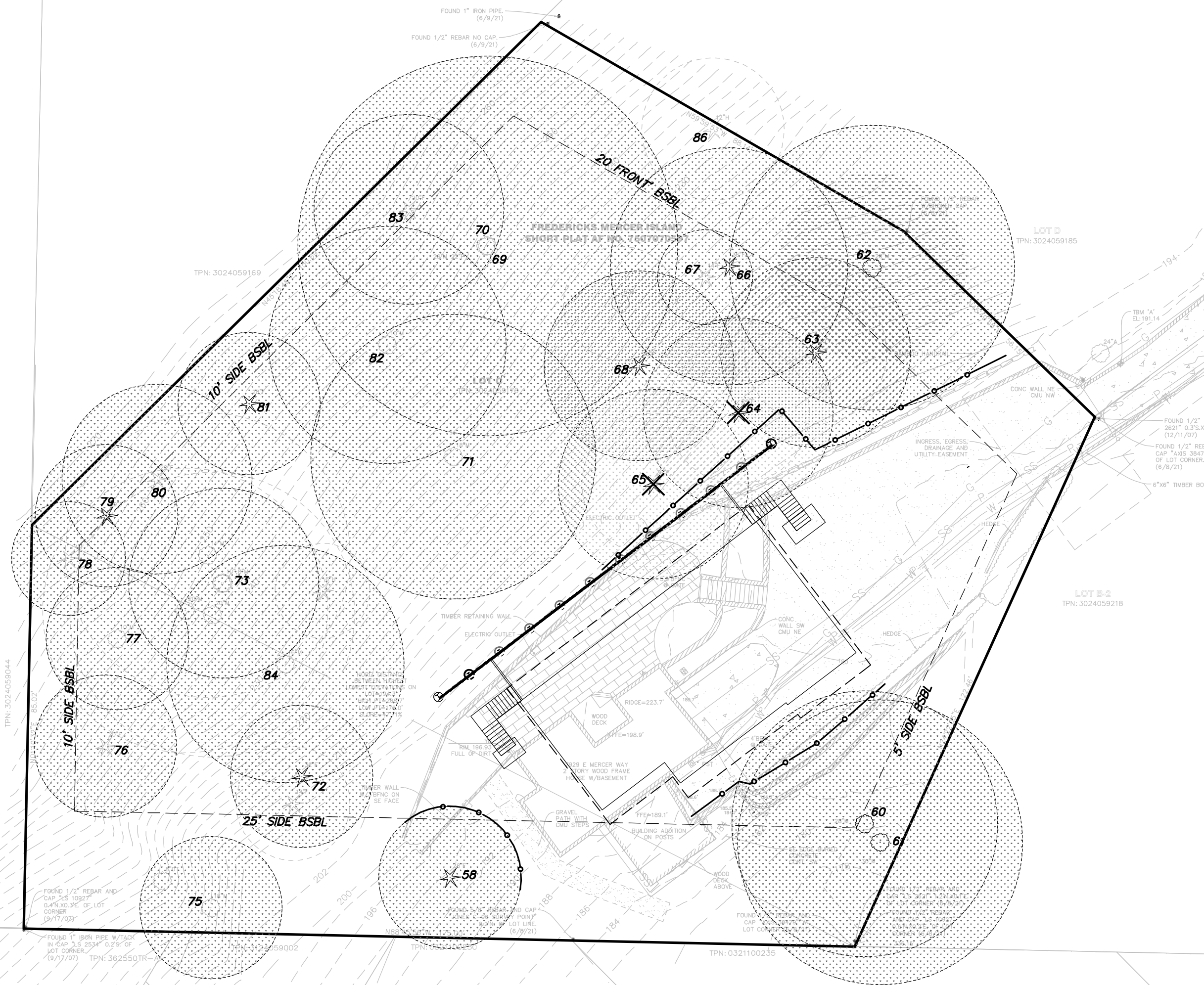
6-5-2009 NO SCALE S-26

REV DATE APPROVED

- SIDE SEWER NOTES:**
- FOUR-INCH (4") PIPE MUST BE LAID AT A MINIMUM 2% GRADE. SIX-INCH (6") PIPE MUST BE LAID AT A MINIMUM 1.2% GRADE.
 - SIDE SEWERS MUST NOT BE CLOSER THAN 30" TO ANY FOUNDATION WALL OR OUTER LINE OF ANY FOOTINGS, PILING, OR BUILDING SUPPORTS. A CLEAN-OUT MUST BE INSTALLED AT THE CONNECTION, AND MUST BE 36" FROM THE FOUNDATION.
 - MINIMUM COVER MUST BE 42" IN THE PUBLIC RIGHT-OF-WAY, 30" IN PRIVATE ROADWAYS AND UNDER DITCHES, AND 18" ON PRIVATE PROPERTY.
 - SEWER MAINS MAY BE CORED OR A "T" INSTALLED IN THE MAIN LINE WHERE NO SEWER STUB EXISTS.
 - SIDE SEWERS WHEN USING OPEN CUT CONSTRUCTION METHODS MUST BE BEDDED WITH IMPORTED MATERIAL TO 4" BELOW AND 6" ABOVE THE INSTALLED PIPE. THE BROAD, "BELL" ENDS OF PIPE MUST BE LAID UPHILL.
 - IMPORTED BACKFILL MATERIAL WILL BE REQUIRED IN ALL PAVED AREAS AND MUST BE COMPACTED TO 95% OF MAXIMUM DENSITY IN 1 FT. LIFTS. IN PUBLIC RIGHT OF WAY, ONLY SELECT MATERIAL (5/8" MINUS C.R.) WILL BE ALLOWED FOR BEDDING AND BACKFILL.
 - PARALLEL SEWER AND WATER SERVICE LINES MUST BE AT LEAST 4 FEET APART WHEN LAID HORIZONTALLY, AND AT LEAST 2 FEET APART WHEN LAID VERTICALLY, WITH THE SEWER THE DEEPER OF THE TWO LINES. IF THE LINES MUST CROSS, THEY MUST CROSS AT 90 DEGREES TO ONE ANOTHER AND HAVE AT LEAST 2 FEET OF VERTICAL CLEARANCE.
 - ALL CHANGES IN DIRECTION MUST BE MADE WITH 1/8" BENDS (45 DEGREES), 1/16" BENDS (22 1/2 DEGREES), OR 1/4" BRANCHES WITH THE STRAIGHT-THROUGH OPENING PLUGGED FOR CLEAN-OUT. NO MORE THAN TWO BENDS ARE PERMITTED BETWEEN CLEAN-OUTS, WHICH MUST BE PLACED AT LEAST EVERY 100 FEET. CLEAN-OUTS MUST EXTEND TO WITHIN 12" OF THE FINISHED GRADE AND CAPPED WITH A WATER-TIGHT PLUG. CLEAN-OUTS IN PAVED AREAS, PATIOS, OR SIDEWALKS MUST HAVE CAST IRON FRAMES AND COVERS WITH LOCKING LIDS SET TO FINISHED PAVED GRADE.
 - PIPE MATERIALS: ASTM 3034 SDR 35 PVC PIPE, FUSED SOLID WALL HOPE, SCHEDULE 40 ABS, DIP OR CIP (UP TO 8 FT. DEPTH), OVER 8 FT. DEPTH AND SLOPES MORE THAN 20% DIP, CIP, OR FUSED SOLID WALL HOPE ARE REQUIRED.
 - BEDDING MATERIAL FOR OPEN CUT CONSTRUCTION MUST BE PEA GRAVEL, SAND, CONTROL DENSITY FILL (CDF), OR 5/8" MINUS C.R.
 - SELECT BACKFILL MATERIAL SHALL BE 5/8" MINUS C.R. OR CONTROL DENSITY FILL (CDF).
 - IMPORTED BACKFILL MATERIAL SHALL BE BANK RUN GRAVEL OR PIT RUN GRAVEL FROM AN APPROVED SUPPLIER MEETING APWA/WSDOT GRADATION SPECIFICATIONS. NOT ALLOWED IN RIGHT-OF-WAY.
 - RUBBER GASKETS MUST BE USED WHEN APPROPRIATE.
 - RIGID COUPLINGS MUST BE USED FOR CONNECTIONS TO EXISTING STUBS IN RIGHT-OF-WAY.
 - A STAINLESS STEEL STRAP AND SADDLE (ROMAC) MUST BE USED FOR CORING.
 - TESTING: THE RATE OF LEAKAGE MUST NOT EXCEED THE FOLLOWING AMOUNTS PER 100 FT. OF PIPE:
 - 4" PIPE 1.6 GAL/HR
 - 6" PIPE 2.4 GAL/HR
 - INSPECTION IS REQUIRED PRIOR TO BACKFILLING. THE CITY REQUIRES AT LEAST 24 HOURS NOTICE PRIOR TO INSPECTIONS.



SW 1/4 SECTION 30, TOWNSHIP 24 N, RANGE 4 E, W.M.
7929 E. MERCER WAY



TREE RETENTION CALCULATION

TOTAL NUMBER OF EXCEPTIONAL TREES:	4
TOTAL LARGE TREES:	22
TOTAL VIALBE ON-SITE TREES:	26
REQUIRED: 30% VIALBE TREES:	8
PROPOSED VIALBE TREES RETAINED:	24

Tree ID	Parcel	Species	Type	DBH (Inches)	Average Dripline (diameter)	CRZ / Limits of Disturbance (radius)	Tree Credits	Overall Condition	Overall Risk Rating	Retained or Removed
69	3024059176	Douglas fir <i>Pseudotsuga menziesii</i>	Evergreen conifer	23	25'	13'	Large	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								
70	3024059176	Bigleaf Maple <i>Acer macrophyllum</i>	Deciduous	31	60'	30'	Large	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								
71	3024059176	Bigleaf Maple <i>Acer macrophyllum</i>	Deciduous	22	60'	30'	Large	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								
72	3024059176	Douglas fir <i>Pseudotsuga menziesii</i>	Evergreen conifer	47	40'	20'	Exceptional	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								
73	3024059176	Bigleaf Maple <i>Acer macrophyllum</i>	Deciduous	55	60'	30'	Exceptional	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								

Tree ID	Parcel	Species	Type	DBH (Inches)	Average Dripline (diameter)	CRZ / Limits of Disturbance (radius)	Category	Overall Condition	Overall Risk Rating	Retained or Removed
59	3024059176	Douglas fir <i>Pseudotsuga menziesii</i>	Evergreen conifer	27	30'	15'	Large	Good	Low	Retain
Recommendation		Requires tree protection measures outlined in sections 7, 8, and 9.								
60	3024059176	Western Hemlock <i>Tsuga heterophylla</i>	Evergreen conifer	20	30'	15'	Large	Good	Low	Retain
Recommendation		Requires tree protection measures outlined in sections 7, 8, and 9.								
61	3024059176	English Laurel <i>Prunus laurocerasus</i>	Evergreen	12	30'	15'	Large	Good	Low	Retain
Recommendation		Requires tree protection measures outlined in sections 7, 8, and 9.								
62	3024059176	Bigleaf Maple <i>Acer macrophyllum</i>	Deciduous	29	60'	30'	Large	Good	Low	Retain
Recommendation		Requires tree protection measures outlined in sections 7, 8, and 9.								
63	3024059176	Douglas fir <i>Pseudotsuga menziesii</i>	Evergreen conifer	31	30'	15'	Large	Good	Low	Remove
Recommendation		Unlikely to survive the construction process and could potentially become hazardous.								

Tree ID	Parcel	Species	Type	DBH (Inches)	Average Dripline (diameter)	CRZ / Limits of Disturbance (radius)	Tree Credits	Overall Condition	Overall Risk Rating	Retained or Removed
64	3024059176	Douglas fir <i>Pseudotsuga menziesii</i>	Evergreen conifer	22	14'	7'	Large	Good	Low	Remove
Recommendation		Unlikely to survive the construction process and could potentially become hazardous.								
65	3024059176	Douglas fir <i>Pseudotsuga menziesii</i>	Evergreen conifer	31	16'	8'	Large	Good	Low	Remove
Recommendation		Unlikely to survive the construction process and could potentially become hazardous.								
66	3024059176	Douglas fir <i>Pseudotsuga menziesii</i>	Evergreen conifer	39	18'	9'	Exceptional	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								
67	3024059176	Douglas fir <i>Pseudotsuga menziesii</i>	Evergreen conifer	13	30'	15'	Large	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								
68	3024059176	Douglas fir <i>Pseudotsuga menziesii</i>	Evergreen conifer	38	30'	15'	Exceptional	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								

Tree ID	Parcel	Species	Type	DBH (Inches)	Average Dripline (diameter)	CRZ / Limits of Disturbance (radius)	Tree Credits	Overall Condition	Overall Risk Rating	Retained or Removed
80	3024059176	Douglas fir <i>Pseudotsuga menziesii</i>	Evergreen conifer	22	30'	15'	Large	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								
81	3024059176	Douglas fir <i>Pseudotsuga menziesii</i>	Evergreen conifer	28	30'	15'	Large	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								
82	3024059176	Bigleaf Maple <i>Acer macrophyllum</i>	Deciduous	10	40'	20'	Large	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								
83	3024059176	Douglas fir <i>Pseudotsuga menziesii</i>	Evergreen conifer	20	30'	15'	Large	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								
84	3024059176	Bigleaf Maple <i>Acer macrophyllum</i>	Deciduous	16	40'	20'	Large	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								
85	3024059176	Western Hemlock <i>Tsuga heterophylla</i>	Evergreen conifer	12	20'	10'	Large	Good	Low	Retain
Recommendation		Will not be impacted by construction activities.								



**7929 EAST MERCER WAY
 MERCER ISLAND RESIDENCE**

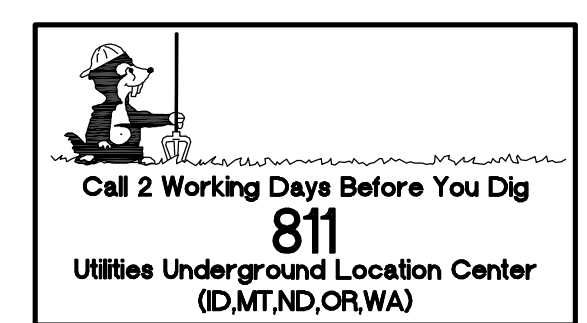
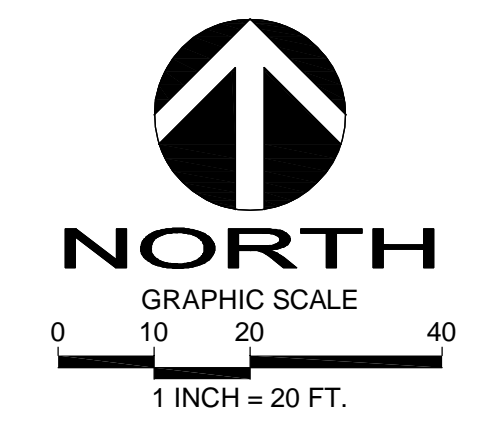
TREE RETENTION PLAN
 PARCEL NO. 3024059176
 7929 EAST MERCER WAY
 MERCER ISLAND, WA 98040

HOA HOANG

7929 E MERCER WAY
 MERCER ISLAND WA 98040



APR 11 2023
 YLP
 REVISION CITY COMMENTS
 DATE 11.20.23

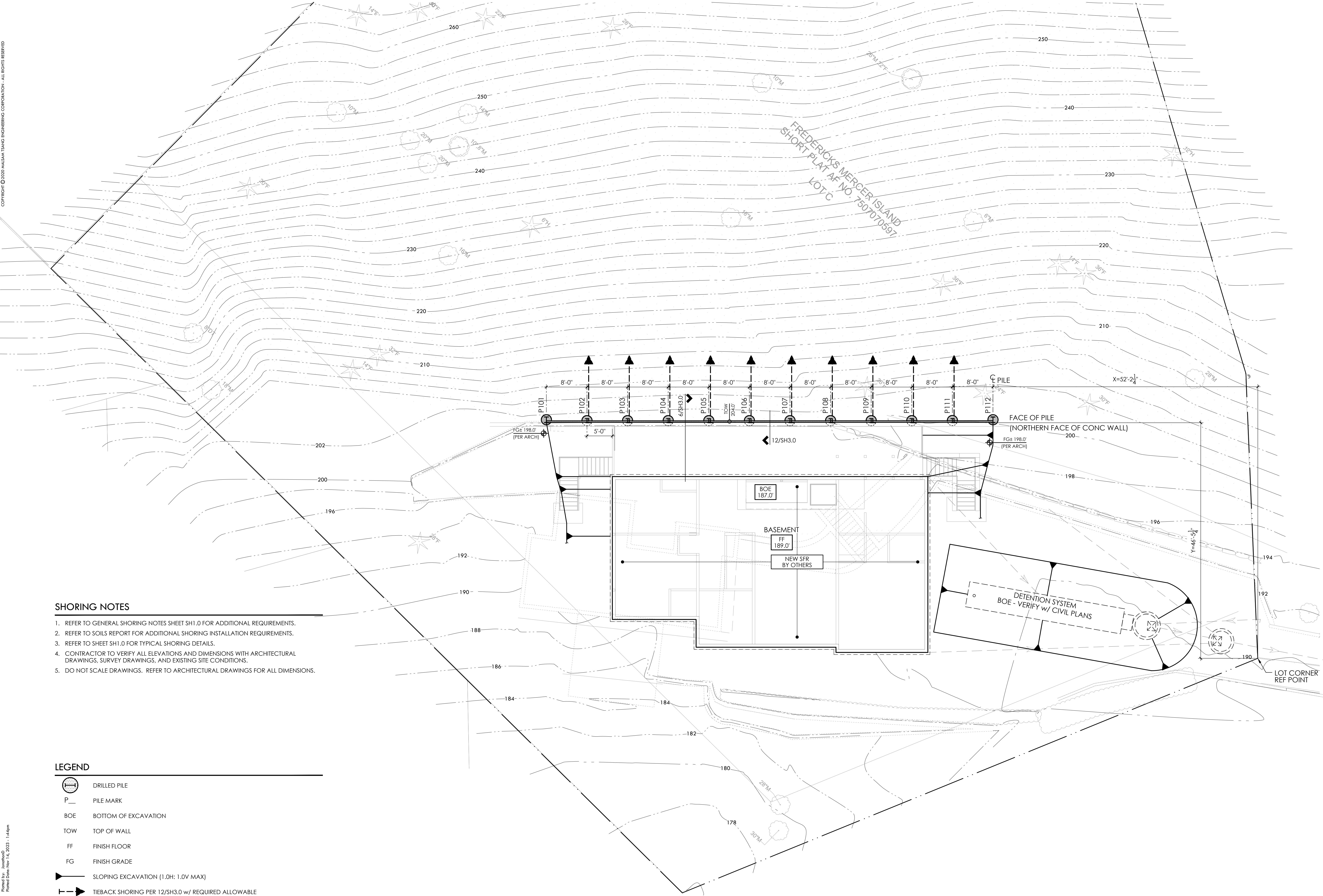


DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: YLP
 DATE: 12.29.22
 PROJECT NO.: 21125

DRAWING: C7
 SHEET: 7 OF 7

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Prepared by: [Signature]
Project No: 5438-2022-01-02, 2023 - 1144m



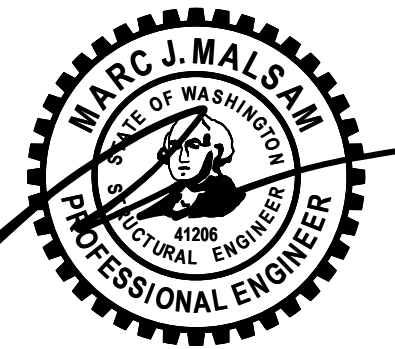
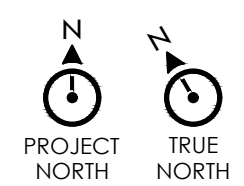
SHORING NOTES

1. REFER TO GENERAL SHORING NOTES SHEET SH1.0 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SOILS REPORT FOR ADDITIONAL SHORING INSTALLATION REQUIREMENTS.
3. REFER TO SHEET SH1.0 FOR TYPICAL SHORING DETAILS.
4. CONTRACTOR TO VERIFY ALL ELEVATIONS AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS, SURVEY DRAWINGS, AND EXISTING SITE CONDITIONS.
5. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- DRILLED PILE
- PILE MARK
- BOE BOTTOM OF EXCAVATION
- TOW TOP OF WALL
- FF FINISH FLOOR
- FG FINISH GRADE
- SLOPING EXCAVATION (1.0H: 1.0V MAX)
- TIEBACK SHORING PER 12/SH3.0 w/ REQUIRED ALLOWABLE TENSION LOAD PER SHORING SCHEDULE
- SPOT ELEVATION

SEE SH2.1 FOR PILE SCHEDULE
SHORING AND EXCAVATION PLAN



PROJECT NO 5438-2022-01-02
PROJECT MANAGER WAC
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ENGINEER BLAKE RASSILYER
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REV	DESCRIPTION	DATE
PERMIT SET		6.10.22
SHORING REVISIONS		11.14.23

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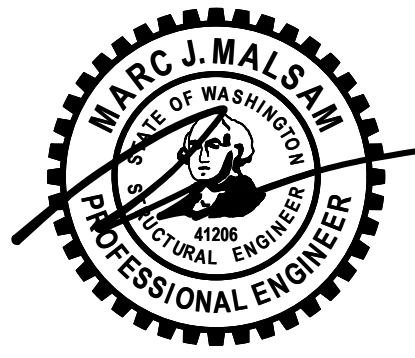
SHORING AND EXCAVATION PLAN

SH2.0
SCALE - 1/8" = 1'-0"

SHORING PILE SCHEDULE ①②

PILE MARK	AUGER DIA	PILE SIZE	BOT OF PILE ELEV	BOT OF EXCAV	TOP OF PILE ELEV	TIEBACK ELEV	TIEBACK FORCE (KIPS)	TIEBACK ANGLE (DEG)	TIEBACK MIN BOND LENGTH	TIEBACK MIN TOTAL LENGTH	MAX HEIGHT 'H'	MIN DEPTH 'D'	EPOXY COATING	WELDED STUDS ③	CONDITION	TYPE	LOADING DIAGRAM	DETAIL
P101	24"	W14x68	177.5'	196.0'	204.0'	-	-	-	-	-	10.0'	18.5'	YES	YES	PERMANENT	CANTILEVER	5/SH1.0	4/SH1.0, 4/SH3.0
P102	24"	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P103	24"	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P104	24"	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P105	24"	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P106	24"	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P107	24"	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P108	24"	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P109	24"	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P110	24"	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P111	24"	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P112	24"	W14x68	177.5'	196.0'	204.0'	-	-	-	-	-	10.0'	18.5'	YES	YES	PERMANENT	CANTILEVER	5/SH1.0	4/SH1.0, 4/SH3.0

- ① CONTRACTOR SHALL REFERENCE TOP OF PILE AND BOTTOM OF PILE ELEVATIONS FOR DETERMINING TOTAL LENGTH OF PILE
- ② HEIGHT 'H' AND DEPTH 'D' LENGTH IS FOR ENGINEERING REFERENCE PURPOSES ONLY
- ③ 3/4"Ø x 6" WELDED HEADED STUDS (WHS) AT 16"oc

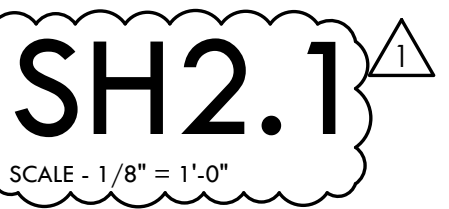


PROJECT NO 5438-2022-01-02
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REV	DESCRIPTION	DATE
	PERMIT SET	6.10.22
△	SHORING REVISIONS	11.14.23

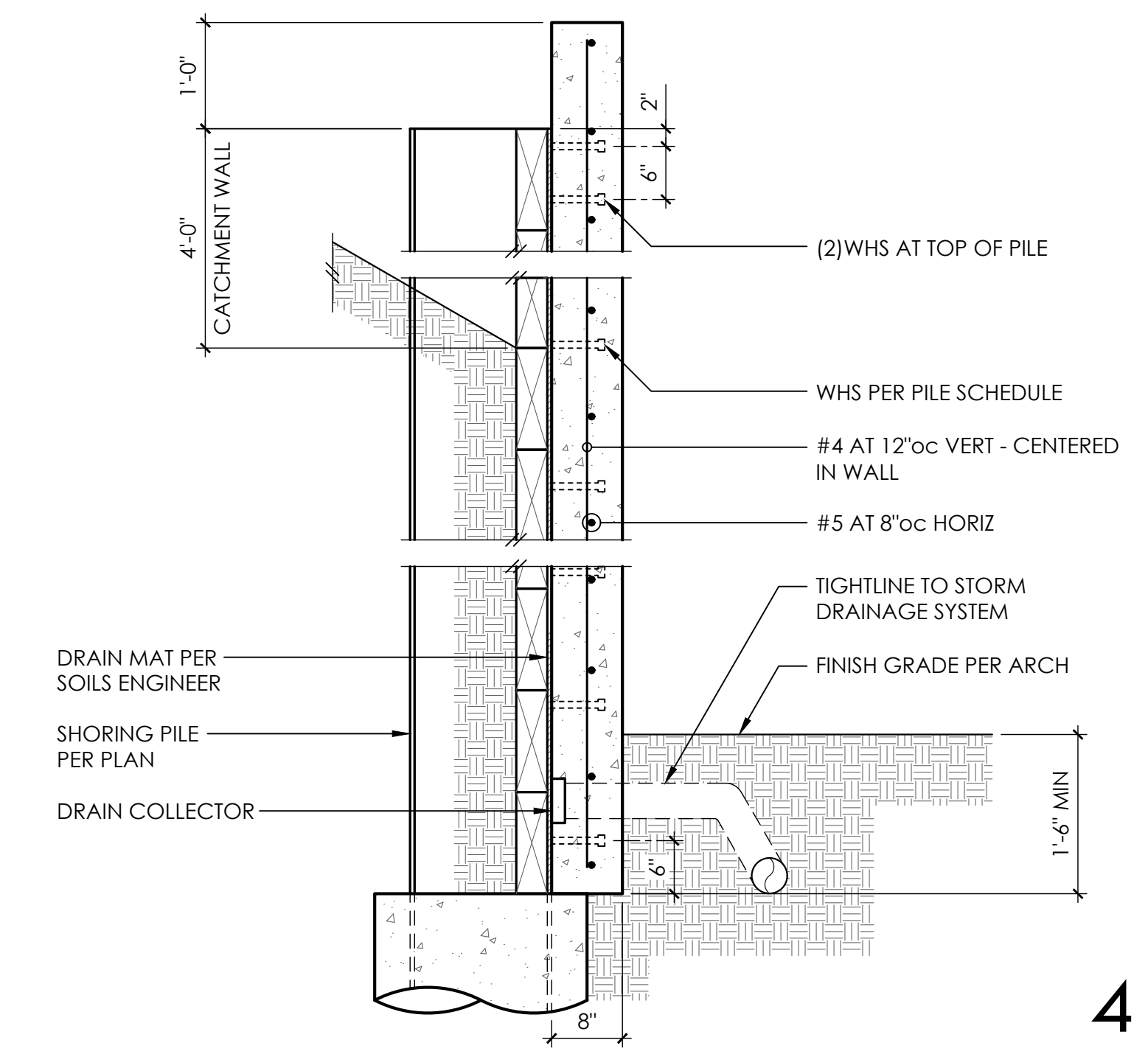
ARCH WARMMODERN LIVING
 206.214.5190

PILE SCHEDULE



PILE SCHEDULE

SCALE - 1/8" = 1'-0"

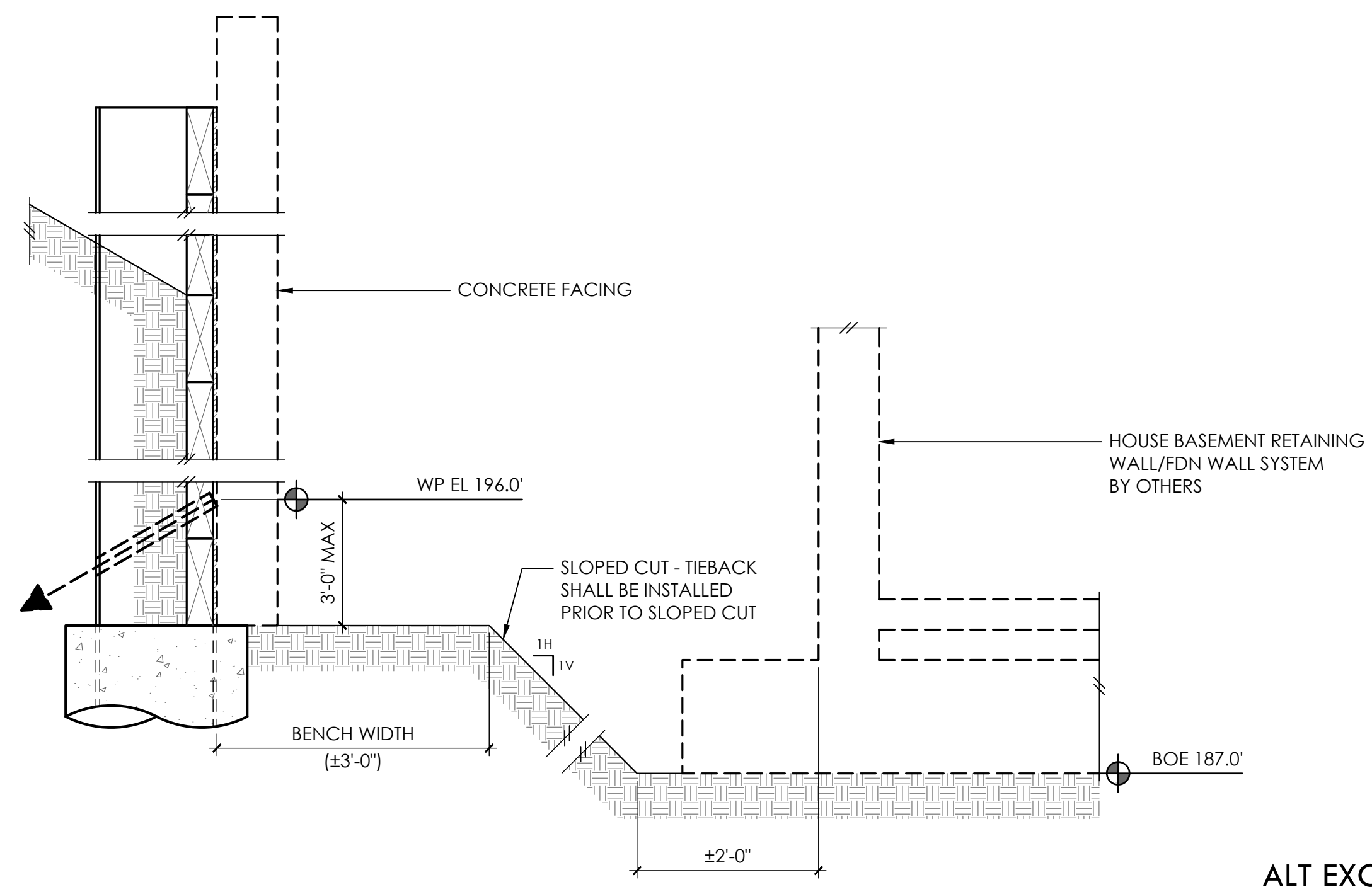


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2

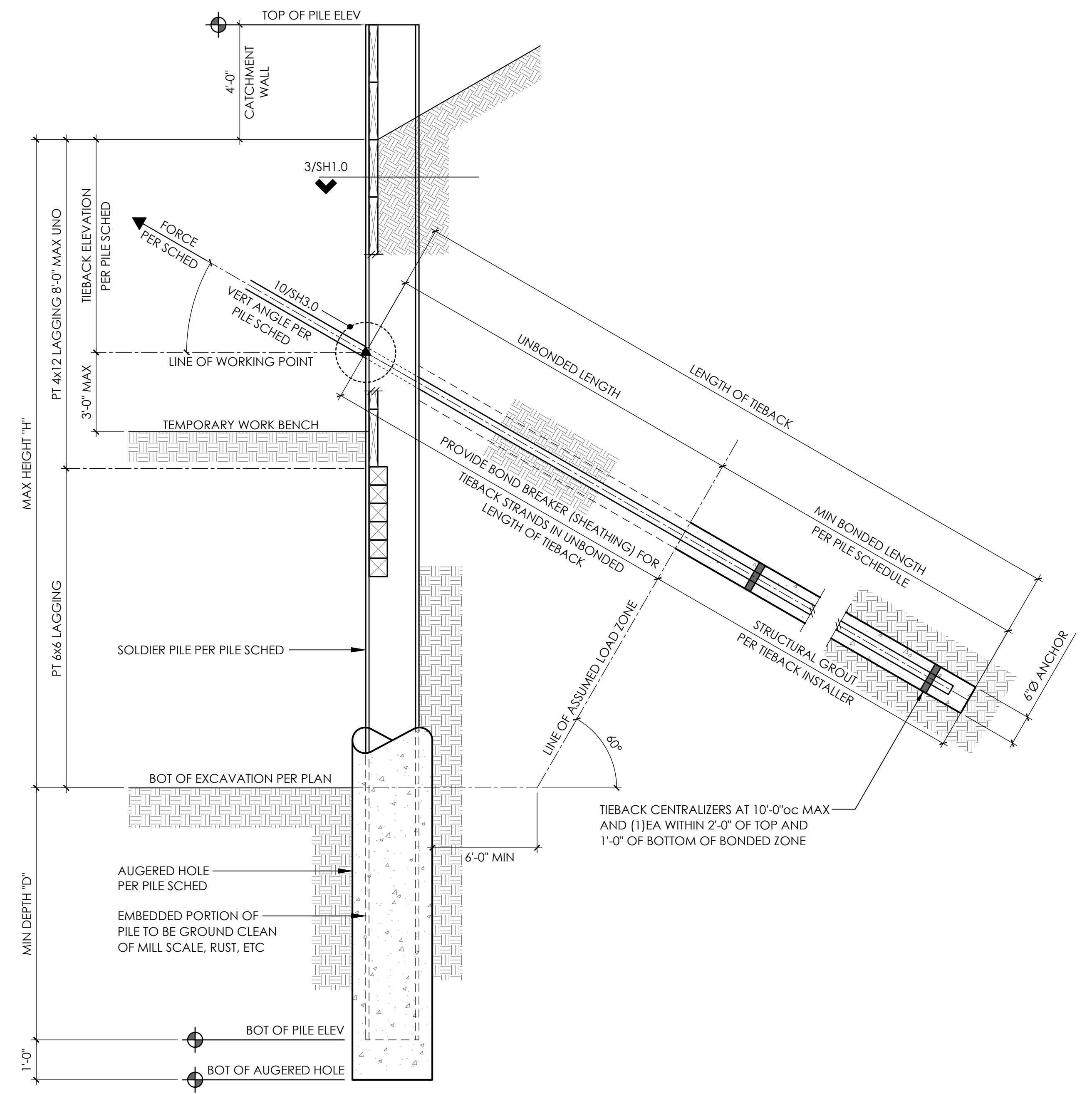
3

4



FOR CALLOUTS
IN COMMON
REFER 4/SH3.0

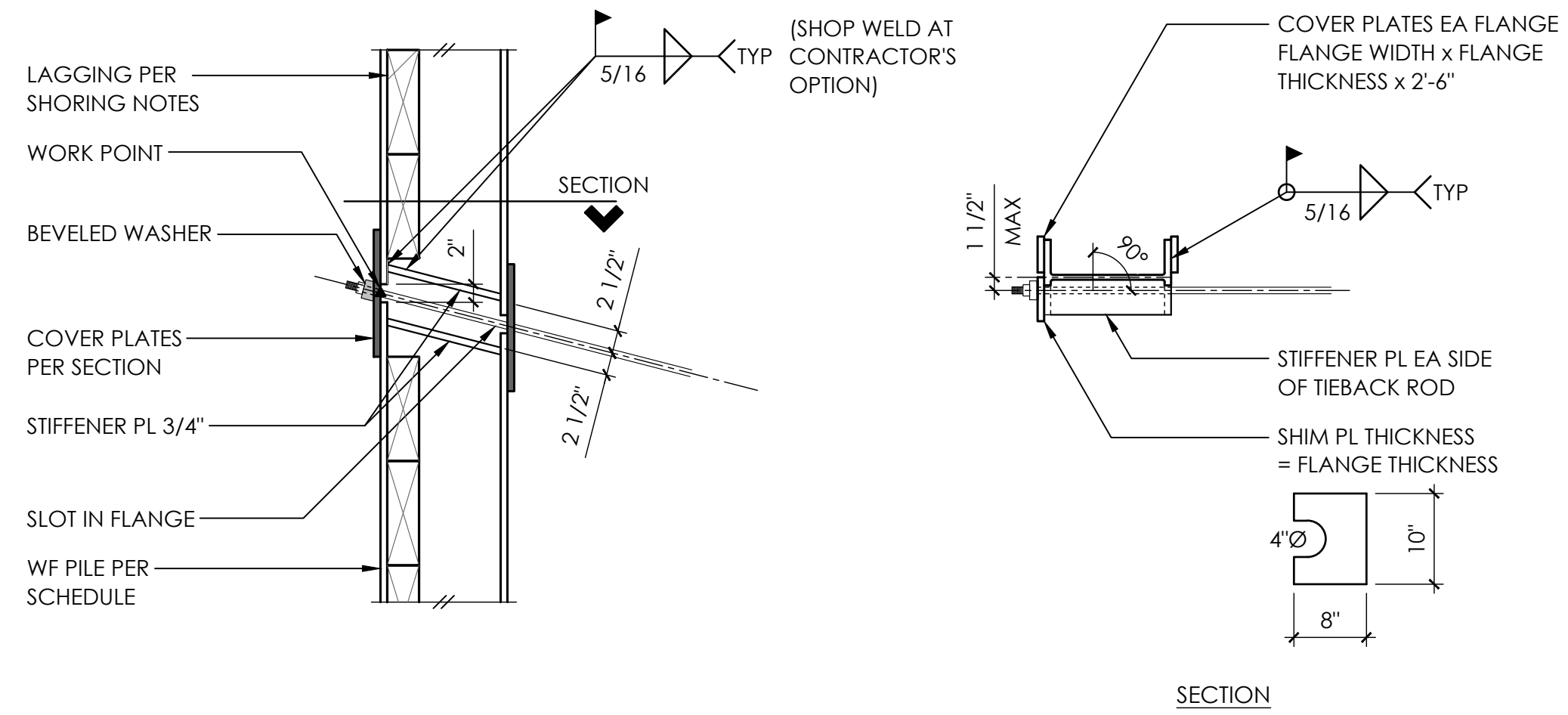
ALT EXCAVATION **6**



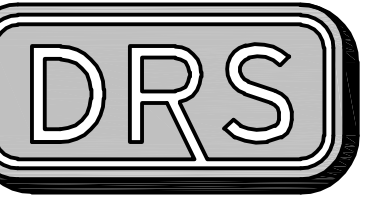
1/2" = 1'-0"
TIEBACK PILE

12

TIEBACK TO PILE CONNECTION **10**



SW 1/4 SECTION 30, TOWNSHIP 24 N, RANGE 4 E, W.M.
7929 E. MERCER WAY



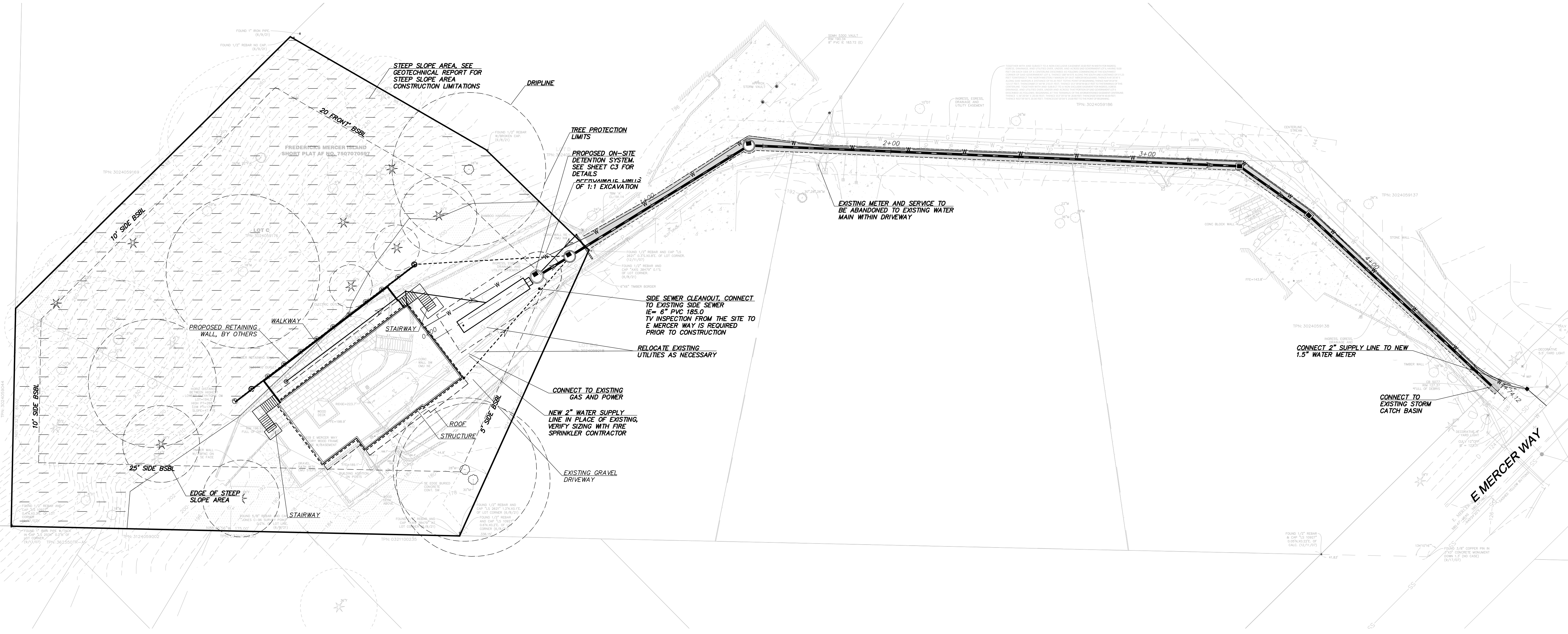
D.R. STRONG
 CONSULTING ENGINEERS
 ENGINEERS PLANNERS SURVEYORS
 620 - 7th AVENUE KIRKLAND, WA 98033
 O 425.827.3063 F 425.827.2423

7929 EAST MERCER WAY
MERCER ISLAND RESIDENCE

SITE PLAN
 PARCEL NO. 3024059176
 7929 EAST MERCER WAY
 MERCER ISLAND, WA 98040

HOA HOANG

7929 E MERCER WAY
 MERCER ISLAND WA 98040



LOT COVERAGE CALCS:

LOT AREA: 30,583 S.F. (±0.771 ACRES) ZONING R-9.6

ALLOWED LOT COVERAGE: 9,174 S.F. (30% LOT COVERAGE FOR 30-50% SLOPE)

EX. LOT COVERAGE:

DRIVEWAY	3,289 S.F.
COVERED PATIOS	72 S.F.
ROOF AREA	1,071 S.F.
TOTAL EX.	4,409 S.F.

EX. LOT COVERAGE TO BE REMOVED:

DRIVEWAY	794 S.F.
COVERED PATIOS	72 S.F.
ROOF AREA	1,071 S.F.

PROP. LOT COVERAGE:

DRIVEWAY	1,010 S.F.
ROOF AREA	2,609 S.F.
SITE WALLS	164 S.F.
WALKS	475 S.F.
TOTAL PROP.	4,258 S.F.

DRIVEWAY TO REMAIN 783 S.F.

TOTAL LOT COVERAGE: 5,041 S.F. (16.48%)

HARDSCAPE:

LOT AREA: 30,583 S.F. (±0.771 ACRES)

EX. LOT COVERAGE:

UNCOVERED PATIOS	849 S.F.
ROCKERIES & WALLS	489 S.F.
WALKWAYS	203 S.F.
TOTAL EX.	1,541 S.F.

LOT COVERAGE TO BE REMOVED:

UNCOVERED PATIOS	1,338 S.F.
WALKWAYS	203 S.F.

PROP. LOT COVERAGE:

UNCOVERED PATIOS	347 S.F.
STAIRS	118 S.F.
SITE WALLS	164 S.F.
TOTAL PROP.	639 S.F.

PROJECT HARDSCAPE AREA 2.08% OF LOT

SITE SLOPE CALCS:

HIGHEST ELEVATION POINT OF LOT: 268.7'
 LOWEST ELEVATION POINT OF LOT: 176'
 ELEVATION DIFFERENCE: 92.7'
 HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS: 194'
 LOT SLOPE: 47.7%

YARD SETBACKS:

FRONT YARD SETBACK: 20 FT
 SIDE YARD SETBACKS: 15 FT COMBINED
 REAR YARD SETBACK: 25 FT

AVERAGE BUILDING HEIGHT CALCS:

SEGMENT LENGTH	MID POINT ELEVATION	X/Y
A = 61.95	A = 197.00	12204.2
B = 44.45	B = 189.00	8401.05
C = 17.95	C = 188.21	3378.37
D = 1.03	D = 188.20	193.85
E = 27.50	E = 188.05	5171.38
F = 5.46	F = 188.00	1026.48
G = 16.50	G = 188.00	3102.00
H = 37.95	H = 189.00	7172.55
TOTAL	245.499	40649.80

FORMULA 1: 40649.82/212.79 = 191.03
 ALLOWABLE BUILDING HEIGHT = 221.03

BUILDING HEIGHT CALCS:

A. AVERAGE BUILDING ELEVATION (ABE) CALCULATIONS LOCATED ON SHEET: #6006, SP1
 B. ALLOWABLE BUILDING HEIGHT (ABE+30): 221.03 FT
 C. PROPOSED BUILDING HEIGHT: 220.13 FT
 D. BENCHMARK ELEVATION: 191.14 FT
 E. DESCRIBE BENCHMARK LOCATION: TBM 'A'
 F. SLOPING LOT-MAX HEIGHT OF TOP EXTERIOR WALL FACADE ABOVE LOWEST EXISTING GRADE (30-FT MAX): 29'-8.75"

GROSS FLOOR AREA CALCS:

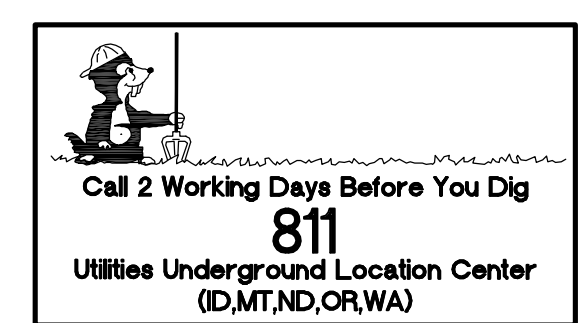
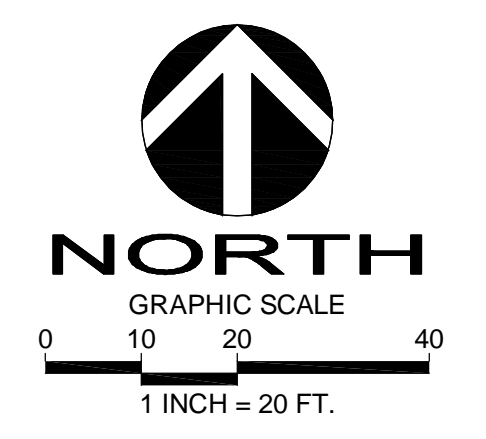
EXISTING FLOOR AREA TO BE REMOVED	NEW AREA	TOTAL
UPPER FLOOR	1,958 SF	1,958 SF
MAIN FLOOR	1,734 SF	1,734 SF
GROSS BASEMENT AREA	922 SF	922 SF
GARAGE (INCLUDED IN BASEMENT AREA)		
TOTAL FLOOR AREA	5,596 SF	5,596 SF

A. LOT AREA: 30,583 SF
 B. ZONE: R-9.6
 C. ALLOWED GROSS FLOOR AREA: 8,000 SF
 D. PROPOSED GROSS FLOOR AREA: 40 SF
 E. PROPOSED GROSS FLOOR AREA: 5,596 SF
 F. PROPOSED GROSS FLOOR AREA: 18.3% LOT

FAR CALCULATIONS:

MAX FAR = LOT 30,583 * 0.3 = 9,174 SF
 PROPOSED FAR = 5,596 SF < 9,174 SF

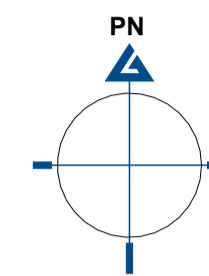
- GENERAL NOTES:**
- SITE PLAN AS PROVIDED BY ARCHITECT ON SEPTEMBER 13, 2022.
 - GRADING PLAN AS PROVIDED BY ARCHITECT AND SHOWN HERE FOR REFERENCE.
 - CONTRACTOR SHALL POT-HOLE LOCATION OF EXISTING UTILITIES TO BE RECONNECTED PRIOR TO BEGINNING OF CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS.
 - EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES SHOWN, OR NOT SHOWN IN THEIR PROPER LOCATION.
 - ALWAYS CALL 811 BEFORE YOU DIG.



APR	YLP
REVISION	CITY COMMENTS
DATE	11.20.23

DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: YLP
 DATE: 12.29.22
 PROJECT NO.: 21125

DRAWING: SP1
 SHEET: 1 OF 7



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

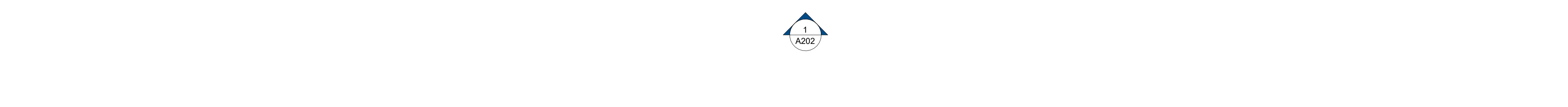
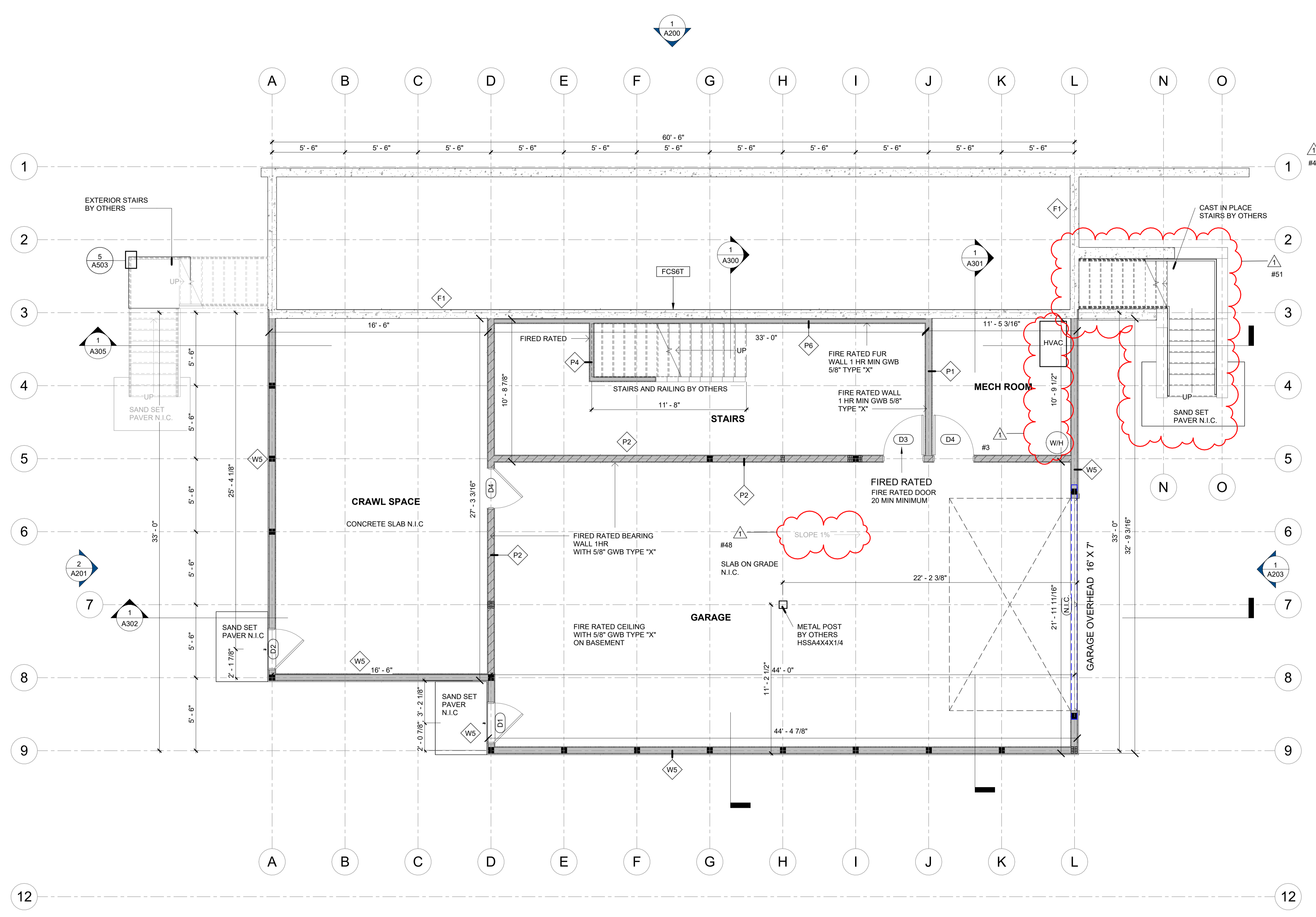
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

BASEMENT NOTES

- SCALE 1/4" = 1'-0"
- SEE FIRST FLOOR FRAMING PLAN FOR FIRST FLOOR BEAM and HANGER SIZES.
 - L.C.H. IS NOT RESPONSIBLE FOR ANY DESIGN and/or MATERIALS CALLED OUT AS N.I.C. (NOT IN CONTRACT) or BY OTHERS.
 - ALL ELECTRICAL WIRING and FIXTURES, PLUMBING FIXTURES, APPLIANCES, and CABINETS ARE N.I.C. and ARE SHOWN FOR REFERENCE ONLY.
 - REFER TO DOOR and WINDOW INSTALLATION PAGES FOR DETAILS.
 - INTERIOR WALL LINER IS 1/2" GYPSUM WALLBOARD (N.I.C.), TYPICAL.
 - CEMENT BOARD (N.I.C.) IS USED BEHIND PLUMBING FIXTURES FROM FLOOR LEVEL TO 4" ABOVE FLOOR LEVEL. THROUGHOUT TUB and SHOWER ENCLOSURES USE CODE APPROVED BACKER BOARD (BY OTHERS)
 - CEILING LINER BELOW MAIN FLOOR JOISTS IS 5/8" GYPSUM WALLBOARD (N.I.C.), UNLESS NOTED OTHERWISE.
 - DO NOT DRILL HOLES THROUGH POSTS or BEAMS.
 - CLOSET SHELVING and RODS ARE BY OTHERS.
 - AT CONTRACTORS DISCRETION, RAISE WINDOWS TO ALLOW CLEARANCE FOR PRE-FORMED COUNTER/BACKSLASH ASSEMBLY.
 - LINDAL CEDAR HOMES INC. DOES NOT RECOMMEND THE USE OF ANY FORM OF HUMIDIFIER IN CONDITIONED LIVING SPACES. HUMIDIFIERS ADD MOISTURE THAT MAY PROMOTE MOLD GROWTH, CONDENSATION AND OTHER MOISTURE RELATED PROBLEMS.
 - GARAGE FLOOR SURFACE SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL. SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY COMPLY WITH R308.1
 - WHEN PLANS ARE ON 12" X 18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.



NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/15/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



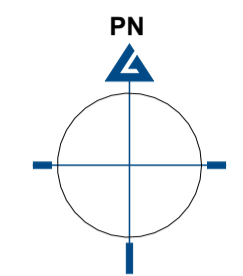
MODEL

ELEMENT CUSTOM HOME

BASEMENT

Scale: 1/4" = 1'-0"

A101.2



PROJECT NORTH

LINDAL DEALER
WARM MODERN LIVING

CLIENT
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040

NO.	DESCRIPTION	ISSUED BY	DATE
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	REVISION DD	ES	7/15/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL
ELEMENT CUSTOM HOME

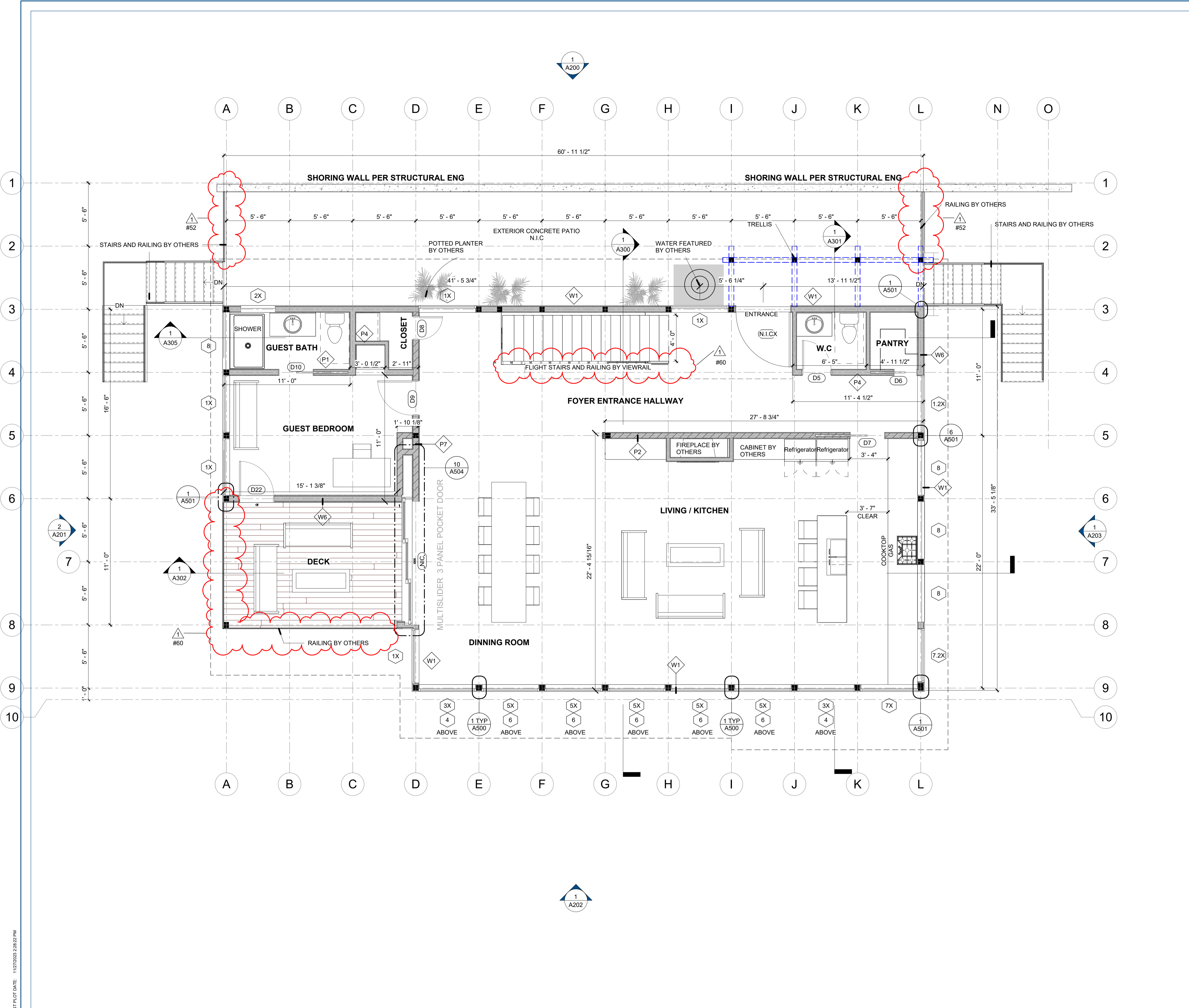
FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

A102

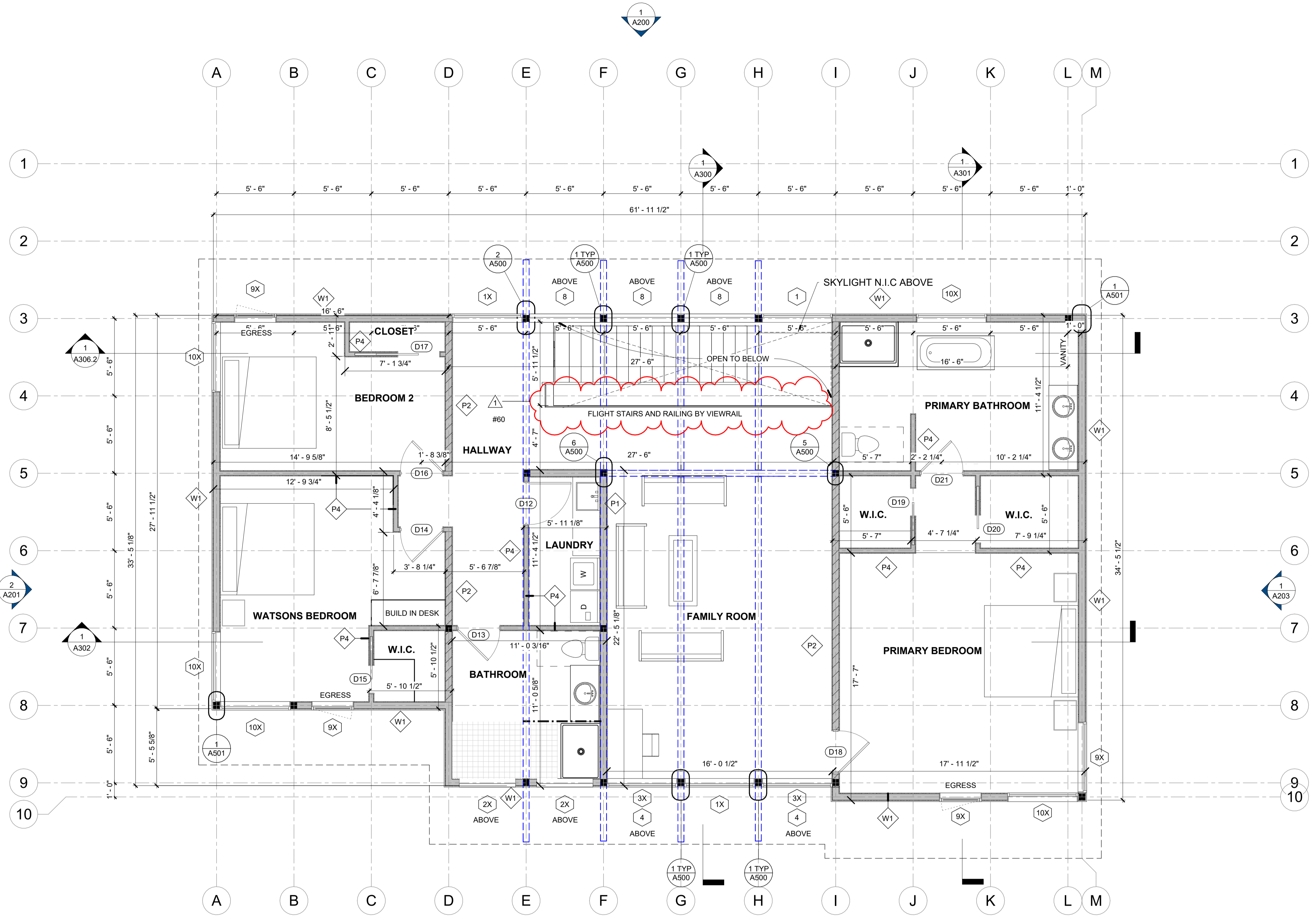
1ST FLOOR NOTES

- SCALE 1/4" = 1'-0"
- SEE SECOND FLOOR FRAMING PLAN FOR SECOND FLOOR BEAM and HANGER SIZES.
 - L.C.H. IS NOT RESPONSIBLE FOR ANY DESIGN and/or MATERIALS CALLED OUT AS N.I.C. (NOT IN CONTRACT) or BY OTHERS.
 - ALL ELECTRICAL WIRING and FIXTURES, PLUMBING FIXTURES, APPLIANCES, and CABINETS ARE N.I.C. and ARE SHOWN FOR REFERENCE ONLY.
 - REFER TO DOOR and WINDOW INSTALLATION PAGES FOR DETAILS.
 - INTERIOR WALL LINER IS 1/2" GYPSUM WALLBOARD (N.I.C.), TYPICAL. CEMENT BOARD (N.I.C.) IS USED BEHIND PLUMBING FIXTURES FROM FLOOR LEVEL TO 4' ABOVE FLOOR LEVEL. THROUGHOUT TUB and SHOWER ENCLOSURES USE CODE APPROVED BACKER BOARD (N.I.C.).
 - INTERIOR ROOF LINER IS 5/8" GYPSUM WALLBOARD (N.I.C.), UNLESS NOTED OTHERWISE.
 - CEILING LINER BELOW SECOND FLOOR JOISTS IS 5/8" GYPSUM WALLBOARD (N.I.C.), UNLESS NOTED OTHERWISE.
 - DO NOT DRILL HOLES THROUGH POSTS or BEAMS.
 - CLOSET SHELVING and RODS ARE BY OTHERS.
 - AT CONTRACTORS DISCRETION, RAISE WINDOWS TO ALLOW CLEARANCE FOR PRE-FORMED COUNTER/BACKSPLASH ASSEMBLY.
 - LINDAL CEDAR HOMES INC. DOES NOT RECOMMEND THE USE OF ANY FORM OF HUMIDIFIER IN CONDITIONED LIVING SPACES. HUMIDIFIERS ADD MOISTURE THAT MAY PROMOTE MOLD GROWTH, CONDENSATION AND OTHER MOISTURE RELATED PROBLEMS.
 - RECESSED CANISTER LIGHTING IS NOT TO BE INSTALLED IN ANY INSULATED
 - CATHEDRAL CEILING. THE USE OF RECESSED, CANISTER LIGHTING REDUCES THE ROOF'S ABILITY TO PERFORM PROPERLY BY INTRODUCING A HEAT SOURCE DIRECTLY INTO THE ROOF CAVITY.
 - WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.



ARCH.D 24" x 36" LAST PLOT DATE: 11/27/2023 2:28:22 PM

1 1ST FLOOR PLAN
A102 1/4" = 1'-0"

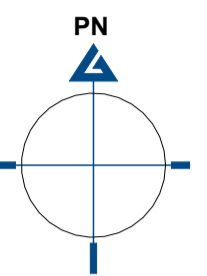


2ND FLOOR NOTES

- SCALE 1/4" = 1'-0"
- SEE ROOF FRAMING PLAN FOR BEAM, GIRDER and HANGER SIZES.
 - L.C.H. IS NOT RESPONSIBLE FOR ANY DESIGN and/or MATERIALS CALLED OUT AS N.I.C. (NOT IN CONTRACT) or BY OTHERS.
 - ALL ELECTRICAL WIRING and FIXTURES, PLUMBING FIXTURES, APPLIANCES and CABINETS ARE N.I.C. and ARE SHOWN FOR REFERENCE ONLY.
 - REFER TO DOOR and WINDOW INSTALLATION PAGES FOR DETAILS.
 - INTERIOR WALL LINER IS 1/2" GYPSUM WALLBOARD (N.I.C.), TYPICAL. CEMENT BOARD (N.I.C.) IS USED BEHIND PLUMBING FIXTURES FROM FLOOR LEVEL TO 4' ABOVE FLOOR LEVEL. THROUGHOUT TUB and SHOWER ENCLOSURES USE CODE APPROVED BACKER BOARD (N.I.C.)
 - INTERIOR ROOF LINER IS 5/8" GYPSUM WALLBOARD (N.I.C.), UNLESS NOTED OTHERWISE.
 - DO NOT DRILL HOLES THROUGH POSTS or BEAMS.
 - CLOSET SHELVING and RODS ARE BY OTHERS.
 - AT CONTRACTOR'S DISCRETION, RAISE WINDOWS TO ALLOW CLEARANCE FOR PRE-FORMED COUNTER/BACKSPLASH ASSEMBLY.
 - LINDAL CEDAR HOMES INC. DOES NOT RECOMMEND THE USE OF ANY FORM OF HUMIDIFIER IN CONDITIONED LIVING SPACES. HUMIDIFIERS ADD MOISTURE THAT MAY PROMOTE MOLD GROWTH, CONDENSATION AND OTHER MOISTURE RELATED PROBLEMS.
 - RECESSED CANISTER LIGHTING IS NOT TO BE INSTALLED IN ANY INSULATED CATHEDRAL CEILING. THE USE OF RECESSED CANISTER LIGHTING REDUCES THE ROOF'S ABILITY TO PERFORM PROPERLY BY INTRODUCING A HEAT SOURCE DIRECTLY INTO THE ROOF CAVITY.
 - WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.



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LINDAL CEDAR HOMES
THE LINDAL DESIGN IN THESE DRAWINGS IS THE EXCLUSIVE PROPERTY OF LINDAL CEDAR HOMES, INC. BY COPYRIGHT LAW THESE DRAWINGS ARE NOT TO BE REPRODUCED, NOR IS THE INFORMATION CONTAINED TO BE USED FOR ANY PURPOSE OTHER THAN THE PURCHASE AND CONSTRUCTION OF A LINDAL CEDAR HOME.



PROJECT NORTH

LINDAL DEALER
WARM MODERN LIVING

CLIENT
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
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	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/15/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES

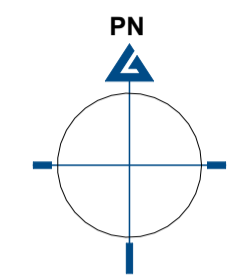


MODEL
ELEMENT CUSTOM HOME

SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

A103



PROJECT NORTH

LINDAL DEALER

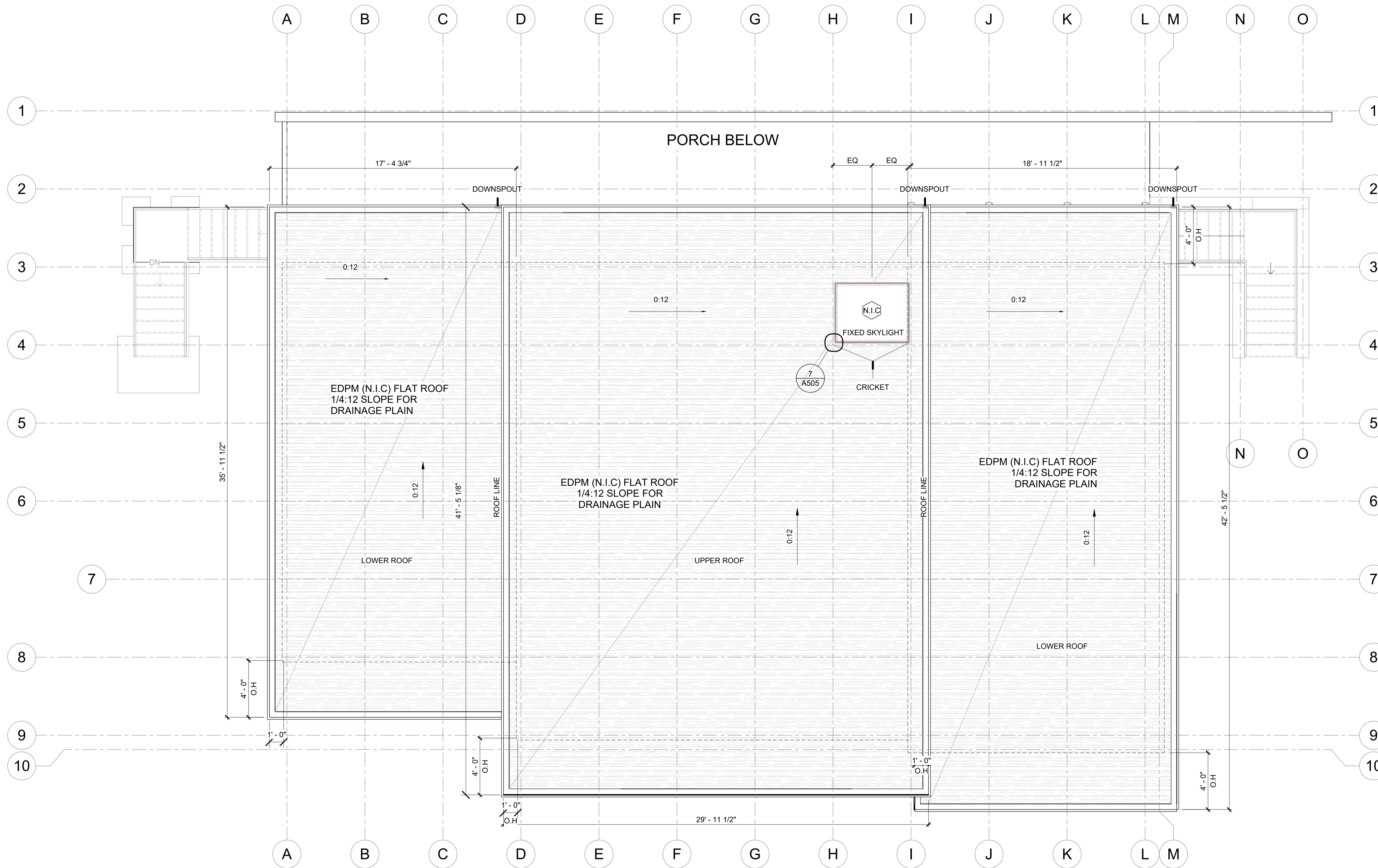
WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040



NO.	DESCRIPTION	ISSUED BY	DATE
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	ISSUED FOR DD	ES	8/31/2023
	PREVISION DD	ES	7/15/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL

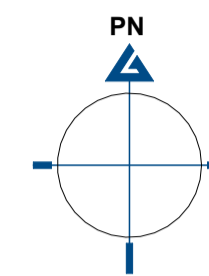
ELEMENT CUSTOM HOME

ROOF PLAN

Scale: 1/4" = 1'-0"

A104

1 04 - ROOF PLAN
A104 1/4" = 1'-0"



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING













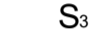

CLIENT

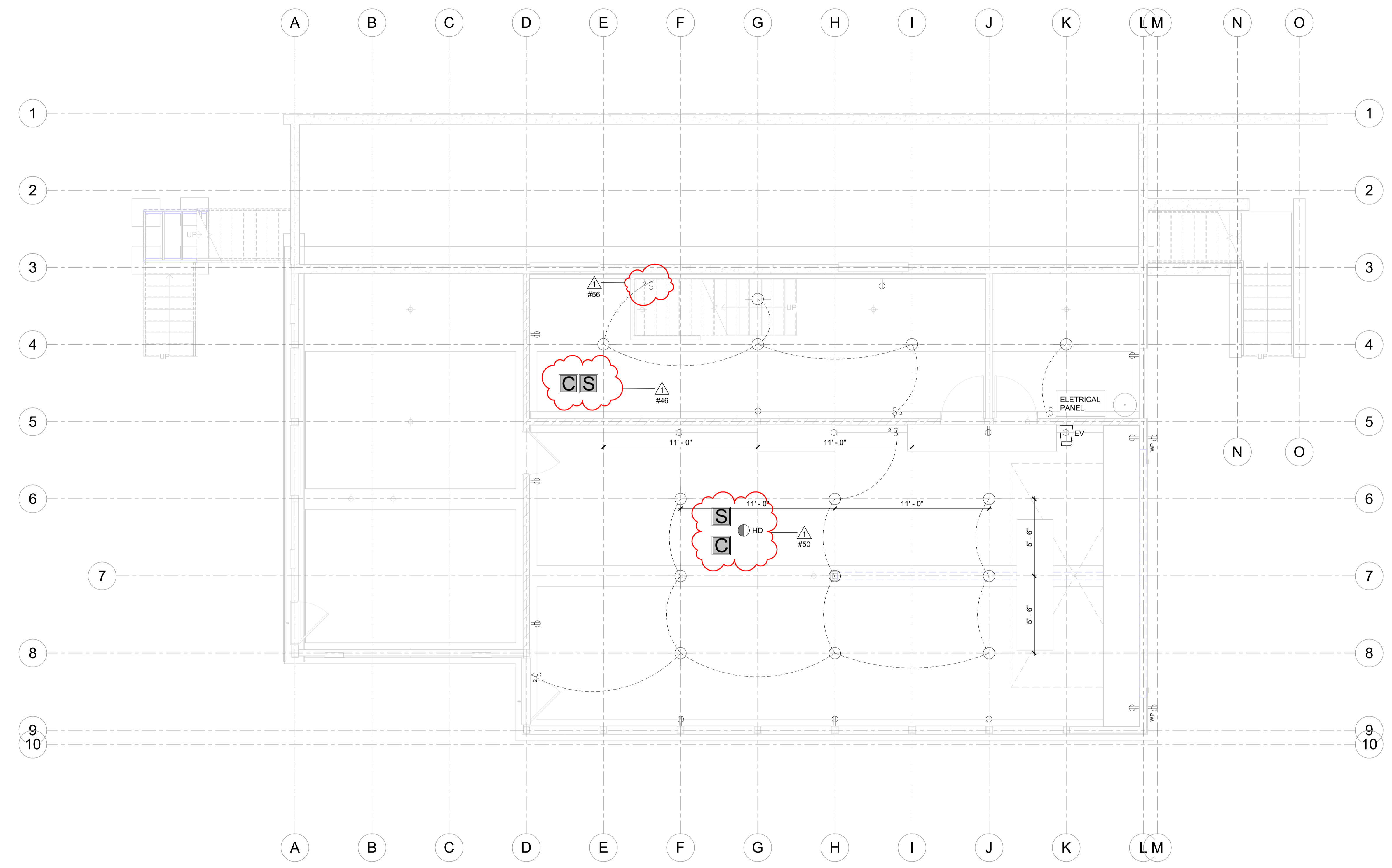
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

**7929 EAST MERCER WAY
MERCER ISLAND WA 98040**

ELECTRICAL SYMBOL KEY

-  LIGHT FIXTURE
-  LIGHT/EXHAUST FAN FIXTURE
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR
-  HEAT DETECTOR
-  DUPLEX OUTLET
-  220V OUTLET
-  DUPLEX OUTLET MOUNTED IN FLOOR
-  GROUND FAULT INTERRUPTER OUTLET
-  WEATHER PROOF OUTLET
-  ELECTRIC VEHICLE OUTLET
-  SINGLE POLE LIGHT SWITCH
-  THREE WAY SWITCH
-  VACANCY SENSOR



1 00 - BASEMENT ELECTRICAL
A106 1/4" = 1'-0"

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/18/2023
	ISSUED FOR DD	ES	8/31/2023
	PREVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



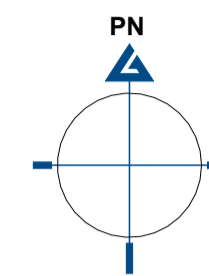
MODEL

ELEMENT CUSTOM HOME

**BASEMENT FLOOR
ELECTRICAL**

Scale: 1/4" = 1'-0"

A106



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

**7929 EAST MERCER WAY
MERCER ISLAND WA 98040**

1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/18/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/15/2023
NO.	DESCRIPTION	ISSUED BY	DATE

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL















ELEMENT CUSTOM HOME

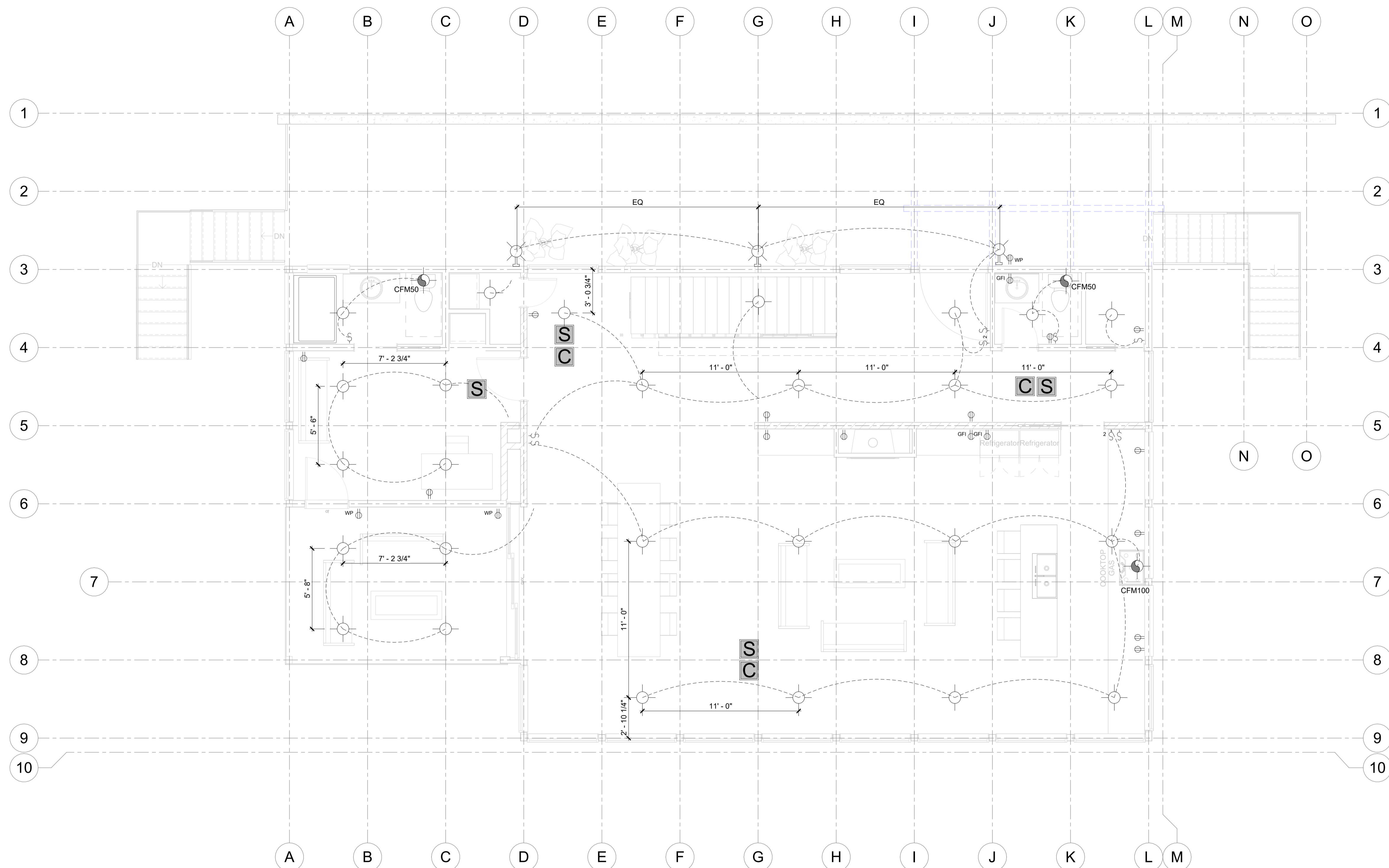
**FIRST FLOOR
ELECTRICAL**

Scale: 1/4" = 1'-0"

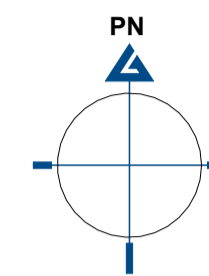
A107

ELECTRICAL SYMBOL KEY

-  LIGHT FIXTURE
-  LIGHT/EXHAUST FAN FIXTURE
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR
-  HEAT DETECTOR
-  DUPLEX OUTLET
-  220V OUTLET
-  DUPLEX OUTLET MOUNTED IN FLOOR
-  GROUND FAULT INTERRUPTER OUTLET
-  WEATHER PROOF OUTLET
-  ELECTRIC VEHICLE OUTLET
-  SINGLE POLE LIGHT SWITCH
-  THREE WAY SWITCH
-  VACANCY SENSOR



1 FIRST FLOOR ELECTRICAL
A107 1/4" = 1'-0"



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

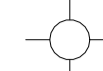
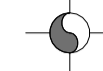


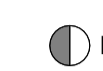






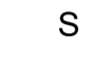
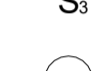

CLIENT

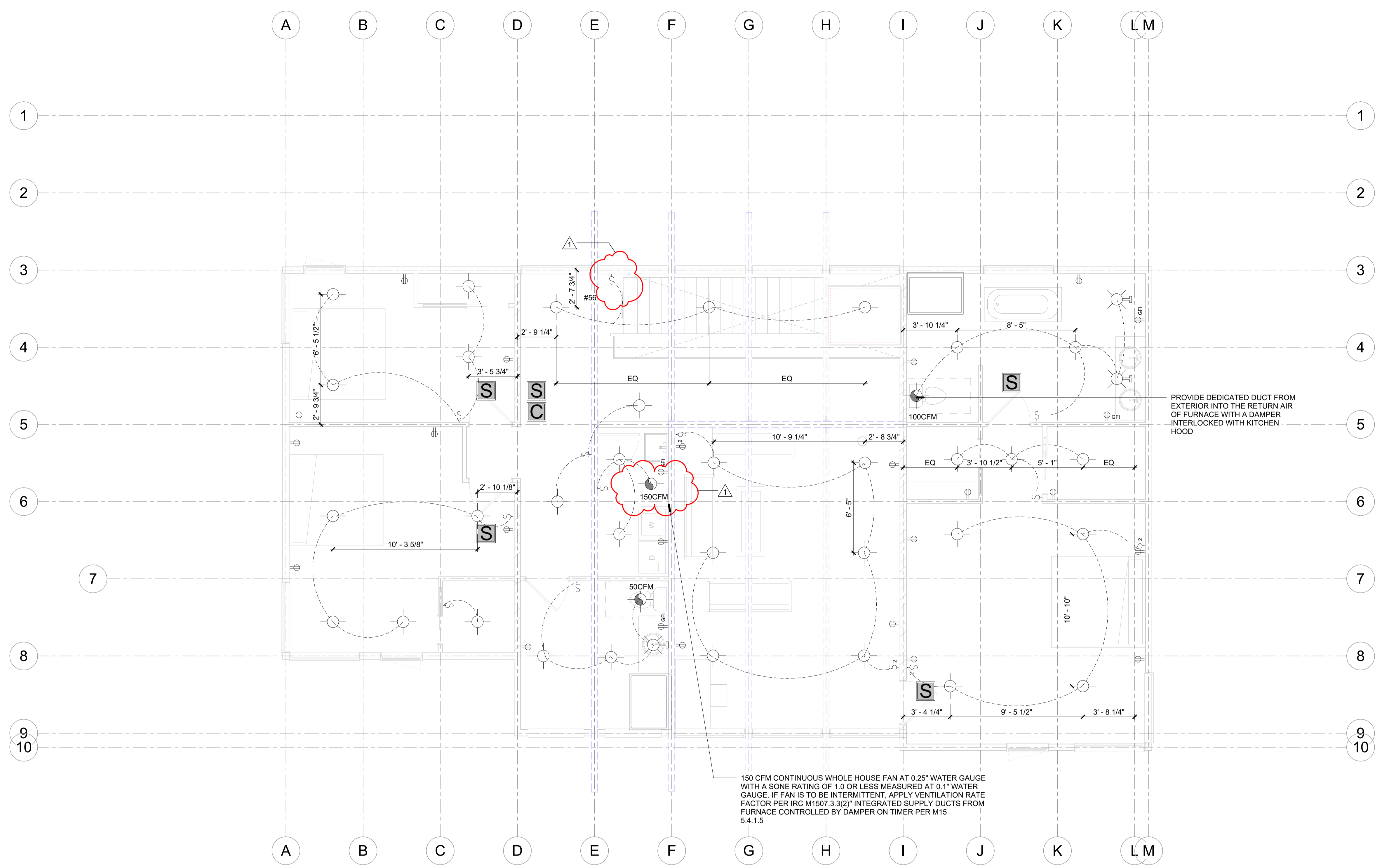
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

ELECTRICAL SYMBOL KEY

-  LIGHT FIXTURE
-  LIGHT/EXHAUST FAN FIXTURE
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR
-  HD HEAT DETECTOR
-  DUPLEX OUTLET
-  220V OUTLET
-  DUPLEX OUTLET MOUNTED IN FLOOR
-  GFI GROUND FAULT INTERRUPTER OUTLET
-  WP WEATHER PROOF OUTLET
-  EV ELECTRIC VEHICLE OUTLET
-  S SINGLE POLE LIGHT SWITCH
-  S₃ THREE WAY SWITCH
-  V VACANCY SENSOR



PROVIDE DEDICATED DUCT FROM EXTERIOR INTO THE RETURN AIR OF FURNACE WITH A DAMPER INTERLOCKED WITH KITCHEN HOOD

150 CFM CONTINUOUS WHOLE HOUSE FAN AT 0.25" WATER GAUGE WITH A SONE RATING OF 1.0 OR LESS MEASURED AT 0.1" WATER GAUGE. IF FAN IS TO BE INTERMITTENT, APPLY VENTILATION RATE FACTOR PER IRC M1507.3.3(2) INTEGRATED SUPPLY DUCTS FROM FURNACE CONTROLLED BY DAMPER ON TIMER PER M15 5.4.1.5

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



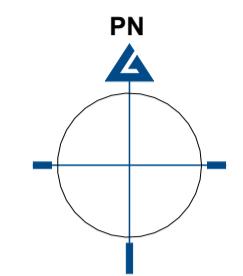
MODEL

ELEMENT CUSTOM HOME

SECOND FLOOR ELECTRICAL

Scale: 1/4" = 1'-0"

A108



PROJECT NORTH

LINDAL DEALER
WARM MODERN LIVING

CLIENT
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040

ELEVATION NOTES

SCALE 1/4" = 1'-0"

- CAULK ALL JOINTS SUBJECT TO AIR and/or WATER INFILTRATION SUCH AS AROUND DOORS, WINDOWS, and BEAMS PROTRUDING THROUGH EXTERIOR WALLS OF BUILDING.
- EXTERIOR SIDING SHALL BE
 - 11/16 6" BEVEL T.K. ROUGH CEDAR HORIZONTAL FACE NAIL PER EXTERIOR WALL DETAILS.
 - BASEMENT WALL COMPOSITE PANEL 4X10
- ROOFING IS BY OTHERS.
- WINDOWS ARE
 - CEDAR FRAME, LOW-E2 W/ ARGON
 - MARVING ELEVATE AND ULTIMATE FRAME COLOR BLACK
 - WINDSOR ALUMINUM CLAD FIR FRAME WITH LOW-E / ARGON GLAZING.
- ALL OPENING WINDOWS WHERE THE SILL IS WITHIN 24" OF THE FLOOR AND AND THE EXTERIOR WALKING OR ROOF SURFACE IS 72" OR MORE BELOW THE WINDOW WILL REQUIRE A 4" MAXIMUM WINDOW LIMITER.
- SWINGING EXTERIOR DOORS IN EXPOSED LOCATIONS MAY REQUIRE THE ADDITION OF CUSTOMER SUPPLIED STORM DOORS TO ASSIST WITH PREVENTING AIR AND WATER INFILTRATION. EXPOSED GLU-LAM BEAM ENDS ARE TO BE CAPPED WITH FASCIA MATERIAL. SEE ROOF DETAILS FOR INFORMATION.
- GRADE MUST SLOPE AWAY FROM BUILDING.
- CONTRACTOR TO VERIFY GRADE LOCATION.
- WHEREVER POSSIBLE, LINDAL CEDAR HOMES INC. RECOMMENDS THE USE OF FILTER AND DOWNSPOUT SYSTEMS. THE DOWNSPOUTS SHOULD DRAIN A MINIMUM OF 5'-0" AWAY FROM THE FOUNDATION OR TO AN APPROVED DRAINAGE SYSTEM.
- WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSION.

NOTE:
COLOURS & PATTERNS ASSOCIATED WITH FINISH MATERIAL MUST BE COORDINATED WITH DSS AND A SUBMITTED COLOUR APPROVAL FORM SIGNED AND APPROVED BY THE CLIENT AND OR DEALER.

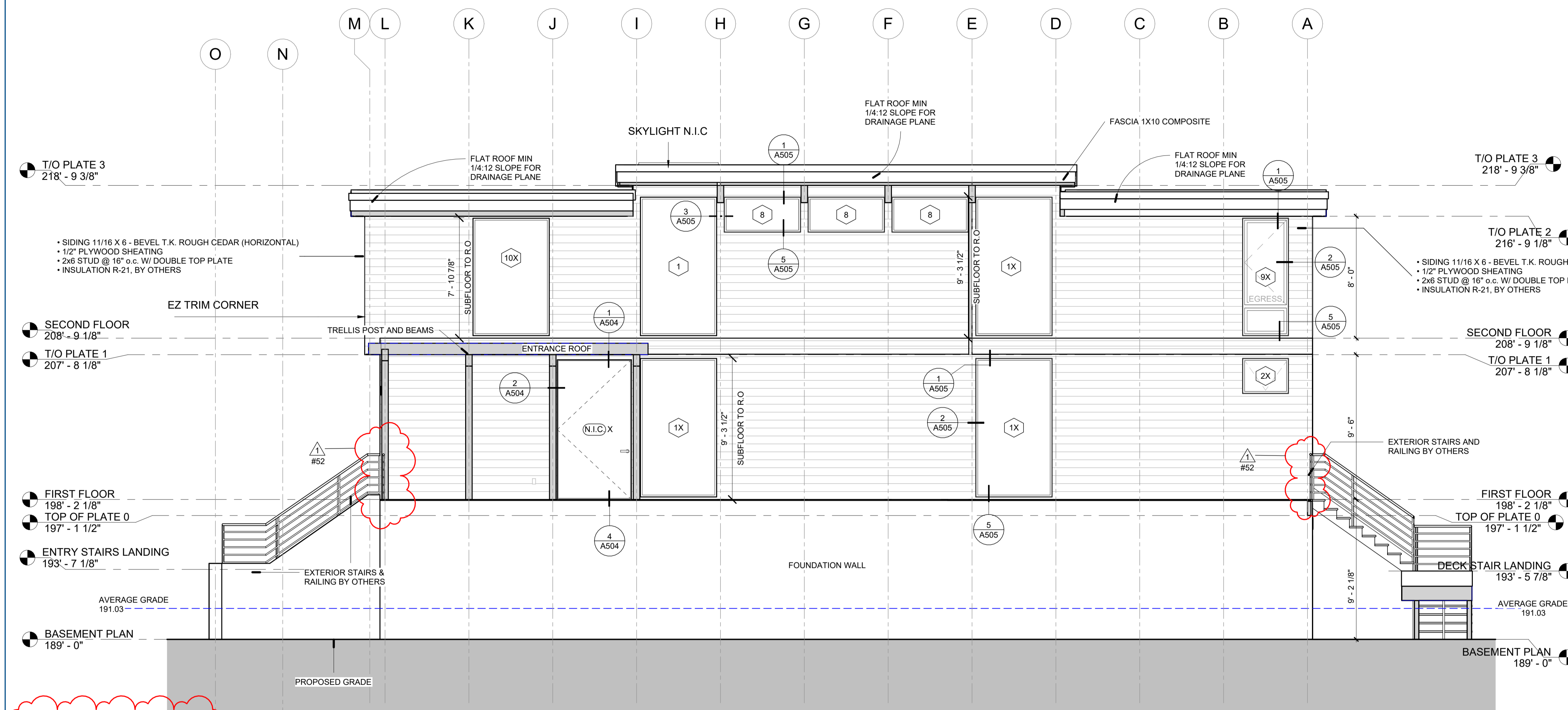
FINISH MARK TYPE AS PER LEGEND AND SCHEDULE. DENOTES ONLY EXTERIOR MATERIAL FINISH.

MATERIAL FINISH LEGEND:

[F-DRT #]	DOOR TRIM	[F-SDG #]	SIDING
[F-WNT #]	WINDOW TRIM	[F-FAS #]	FASCIA
[F-WLT #]	EXT. WALL TRIM	[F-SOF #]	SOFFIT

MATERIAL FINISH

MARK	PRE FINISH	COMMENTS
F-DRT 1	DOOR TRIM FINISH AS PER DSS	
F-FAS 1	FASCIA FINISH AS PER DSS	
F-SDG 1	SIDING FINISH AS PER DSS	
F-SOF 1	SOFFIT FINISH AS PER DSS	
F-WLT 1	WALL TRIM FINISH AS PER DSS	
F-WNT 1	WINDOW TRIM FINISH AS PER DSS	



1 NORTH ELEVATION
A200 1/4" = 1'-0"

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/18/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/15/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES

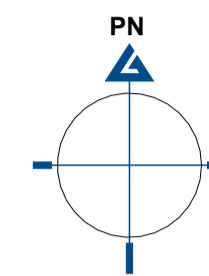


MODEL
ELEMENT CUSTOM HOME

NORTH ELEVATION

Scale: As indicated

A200



PROJECT NORTH

LINDAL DEALER
WARM MODERN LIVING

CLIENT
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040

ELEVATION NOTES

SCALE 1/4" = 1'-0"

- CAULK ALL JOINTS SUBJECT TO AIR and/or WATER INFILTRATION SUCH AS AROUND DOORS, WINDOWS, and BEAMS PROTRUDING THROUGH EXTERIOR WALLS OF BUILDING.
- EXTERIOR SIDING SHALL BE
 - 1 1/16" BEVEL T.K. ROUGH CEDAR HORIZONTAL FACE NAIL PER EXTERIOR WALL DETAILS.
 - BASEMENT WALL COMPOSITE PANEL 4X10
- ROOFING IS BY OTHERS.
- WINDOWS ARE
 - CEDAR FRAME, LOW-E2 W/ ARGON
 - MARVING ELEVATE AND ULTIMATE FRAME COLOR BLACK
 - WINDSOR ALUMINUM CLAD FIR FRAME WITH LOW-E / ARGON GLAZING.
- ALL OPENING WINDOWS WHERE THE SILL IS WITHIN 24" OF THE FLOOR AND AND THE EXTERIOR WALKING OR ROOF SURFACE IS 72" OR MORE BELOW THE WINDOW WILL REQUIRE A 4" MAXIMUM WINDOW LIMITER.
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- CONTRACTOR TO VERIFY GRADE LOCATION.
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NOTE:
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FINISH MARK TYPE AS PER LEGEND AND SCHEDULE.
DENOTES ONLY EXTERIOR MATERIAL FINISH.

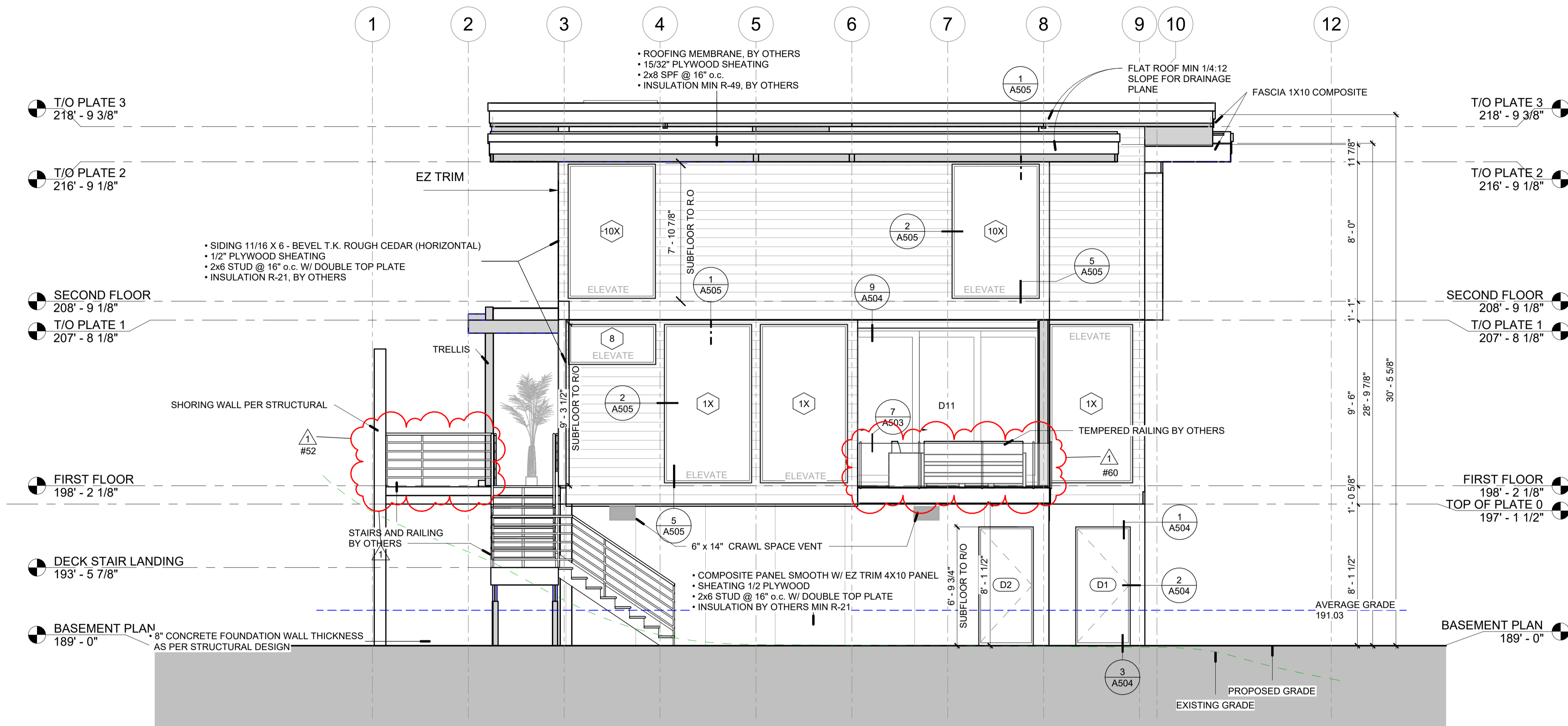
F-XXX#

MATERIAL FINISH LEGEND:

- | | | | |
|---------|----------------|---------|--------|
| F-DRT # | DOOR TRIM | F-SDG # | SIDING |
| F-WNT # | WINDOW TRIM | F-FAS # | FASCIA |
| F-WLT # | EXT. WALL TRIM | F-SOF # | SOFFIT |

MATERIAL FINISH

MARK	PRE FINISH	COMMENTS
F-DRT 1	DOOR TRIM FINISH AS PER DSS	
F-FAS 1	FASCIA FINISH AS PER DSS	
F-SDG 1	SIDING FINISH AS PER DSS	
F-SOF 1	SOFFIT FINISH AS PER DSS	
F-WLT 1	WALL TRIM FINISH AS PER DSS	
F-WNT 1	WINDOW TRIM FINISH AS PER DSS	



2 WEST ELEVATION
A201 1/4" = 1'-0"

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/18/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



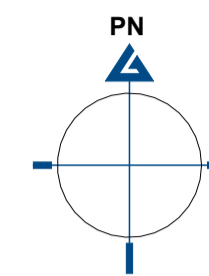
MODEL

ELEMENT CUSTOM HOME

WEST ELEVATION

Scale: As indicated

A201



PROJECT NORTH

LINDAL DEALER
WARM MODERN LIVING

CLIENT
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040

ELEVATION NOTES

SCALE 1/4" = 1'-0"

- CAULK ALL JOINTS SUBJECT TO AIR and/or WATER INFILTRATION SUCH AS AROUND DOORS, WINDOWS, and BEAMS PROTRUDING THROUGH EXTERIOR WALLS OF BUILDING.
- EXTERIOR SIDING SHALL BE
 - 1/16 6" BEVEL T.K. ROUGH CEDAR HORIZONTAL FACE NAIL PER EXTERIOR WALL DETAILS.
 - BASEMENT WALL COMPOSITE PANEL 4X10
- ROOFING IS BY OTHERS.
- WINDOWS ARE
 - CEDAR FRAME, LOW-E2 W/ ARGON
 - MARVING ELEVATE AND ULTIMATE FRAME COLOR BLACK
 - WINDSOR ALUMINUM CLAD FIR FRAME WITH LOW-E / ARGON GLAZING.
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- WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSION.

NOTE:
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FINISH MARK TYPE AS PER LEGEND AND SCHEDULE, DENOTES ONLY EXTERIOR MATERIAL FINISH.

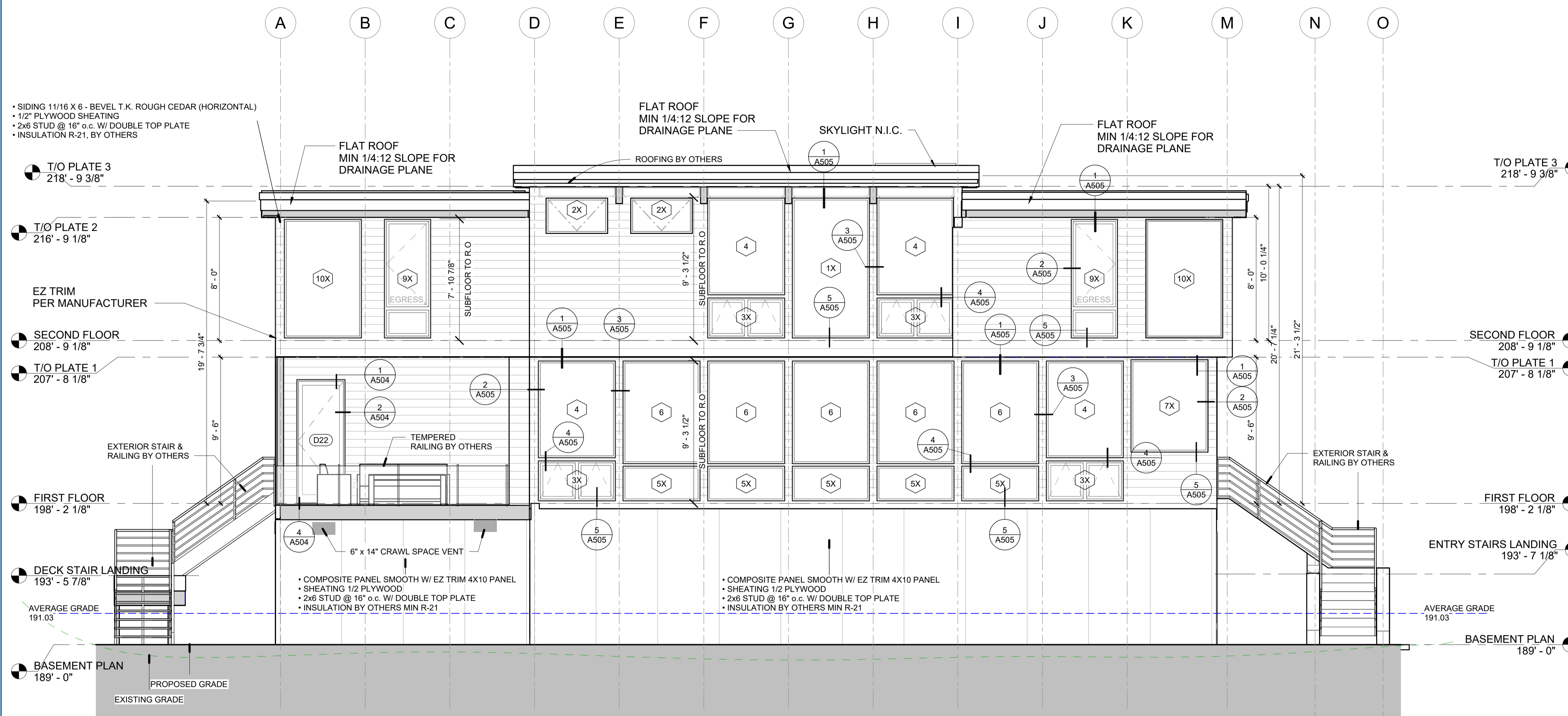
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MATERIAL FINISH LEGEND:

F-DRT #	DOOR TRIM	F-SDG #	SIDING
F-WNT #	WINDOW TRIM	F-FAS #	FASCIA
F-WLT #	EXT. WALL TRIM	F-SOF #	SOFFIT

MATERIAL FINISH

MARK	PRE FINISH	COMMENTS
F-DRT 1	DOOR TRIM FINISH AS PER DSS	
F-FAS 1	FASCIA FINISH AS PER DSS	
F-SDG 1	SIDING FINISH AS PER DSS	
F-SOF 1	SOFFIT FINISH AS PER DSS	
F-WLT 1	WALL TRIM FINISH AS PER DSS	
F-WNT 1	WINDOW TRIM FINISH AS PER DSS	



1 SOUTH ELEVATION
A202 1/4" = 1'-0"

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/15/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



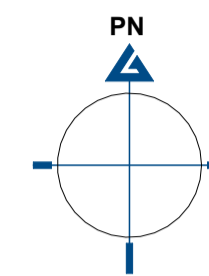
MODEL

ELEMENT CUSTOM HOME

SOUTH ELEVATION

Scale: As indicated

A202



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

ELEVATION NOTES

SCALE 1/4" = 1'-0"

- CAULK ALL JOINTS SUBJECT TO AIR and/or WATER INFILTRATION SUCH AS AROUND DOORS, WINDOWS, and BEAMS PROTRUDING THROUGH EXTERIOR WALLS OF BUILDING.
- EXTERIOR SIDING SHALL BE
 - 1 1/16" BEVEL T.K. ROUGH CEDAR HORIZONTAL FACE NAIL PER EXTERIOR WALL DETAILS.
 - BASEMENT WALL COMPOSITE PANEL 4X10
- ROOFING IS BY OTHERS.
- WINDOWS ARE
 - CEDAR FRAME, LOW-E2 W/ ARGON
 - MARVING ELEVATE AND ULTIMATE FRAME COLOR BLACK
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- WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSION.

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FINISH MARK TYPE AS PER LEGEND AND SCHEDULE, DENOTES ONLY EXTERIOR MATERIAL FINISH.

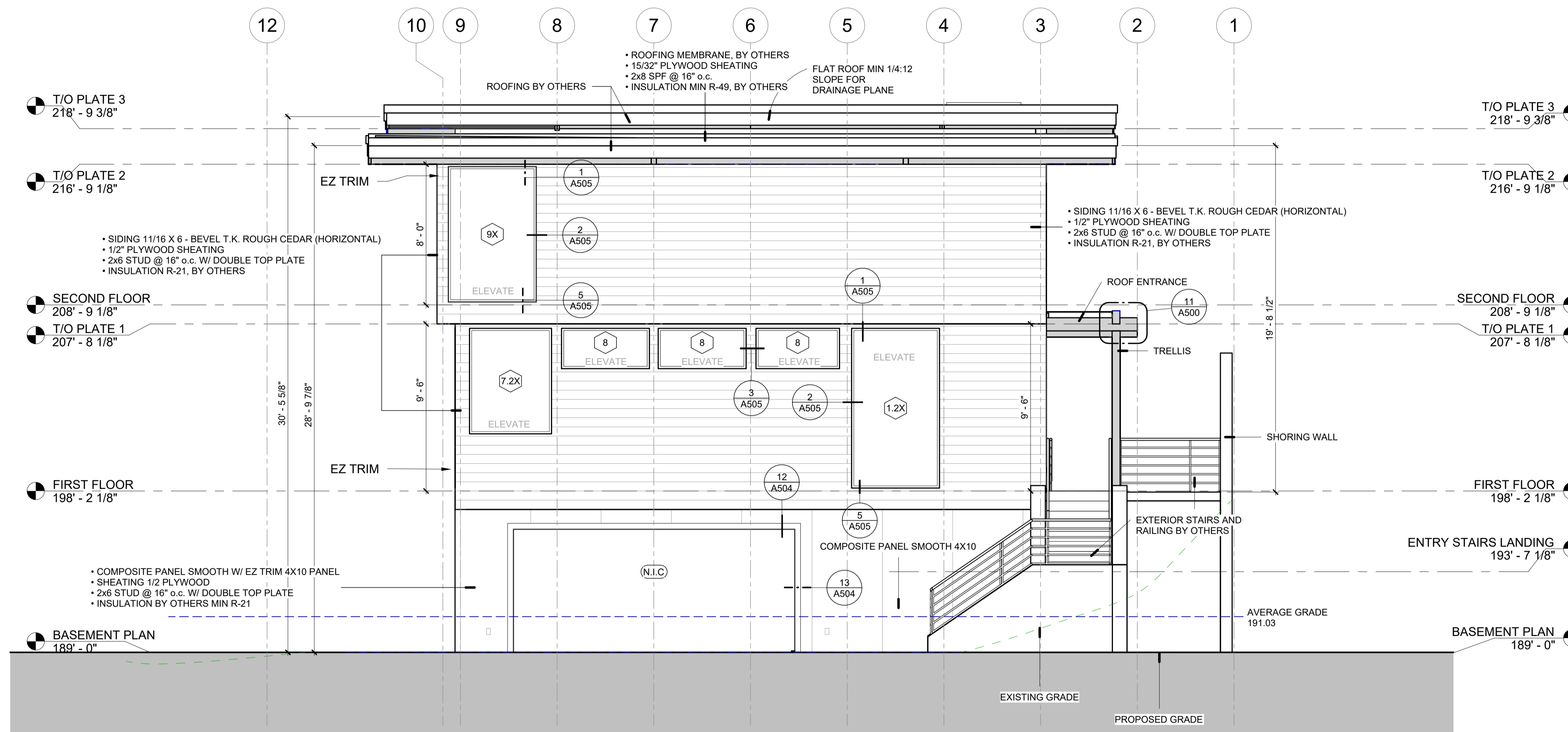
F-XXX#

MATERIAL FINISH LEGEND:

- | | | | |
|---------|----------------|---------|--------|
| F-DRT # | DOOR TRIM | F-SDG # | SIDING |
| F-WNT # | WINDOW TRIM | F-FAS # | FASCIA |
| F-WLT # | EXT. WALL TRIM | F-SOF # | SOFFIT |

MATERIAL FINISH

MARK	PRE FINISH	COMMENTS
F-DRT 1	DOOR TRIM FINISH AS PER DSS	
F-FAS 1	FASCIA FINISH AS PER DSS	
F-SDG 1	SIDING FINISH AS PER DSS	
F-SOF 1	SOFFIT FINISH AS PER DSS	
F-WLT 1	WALL TRIM FINISH AS PER DSS	
F-WNT 1	WINDOW TRIM FINISH AS PER DSS	



1 EAST ELEVATION
A203 1/4" = 1'-0"

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/18/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



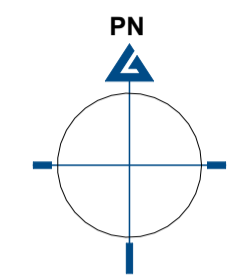
MODEL

ELEMENT CUSTOM HOME

EAST ELEVATION

Scale: As indicated

A203



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
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	REVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL

ELEMENT CUSTOM HOME

BUILDING SECTION 1

Scale: 1/2" = 1'-0"

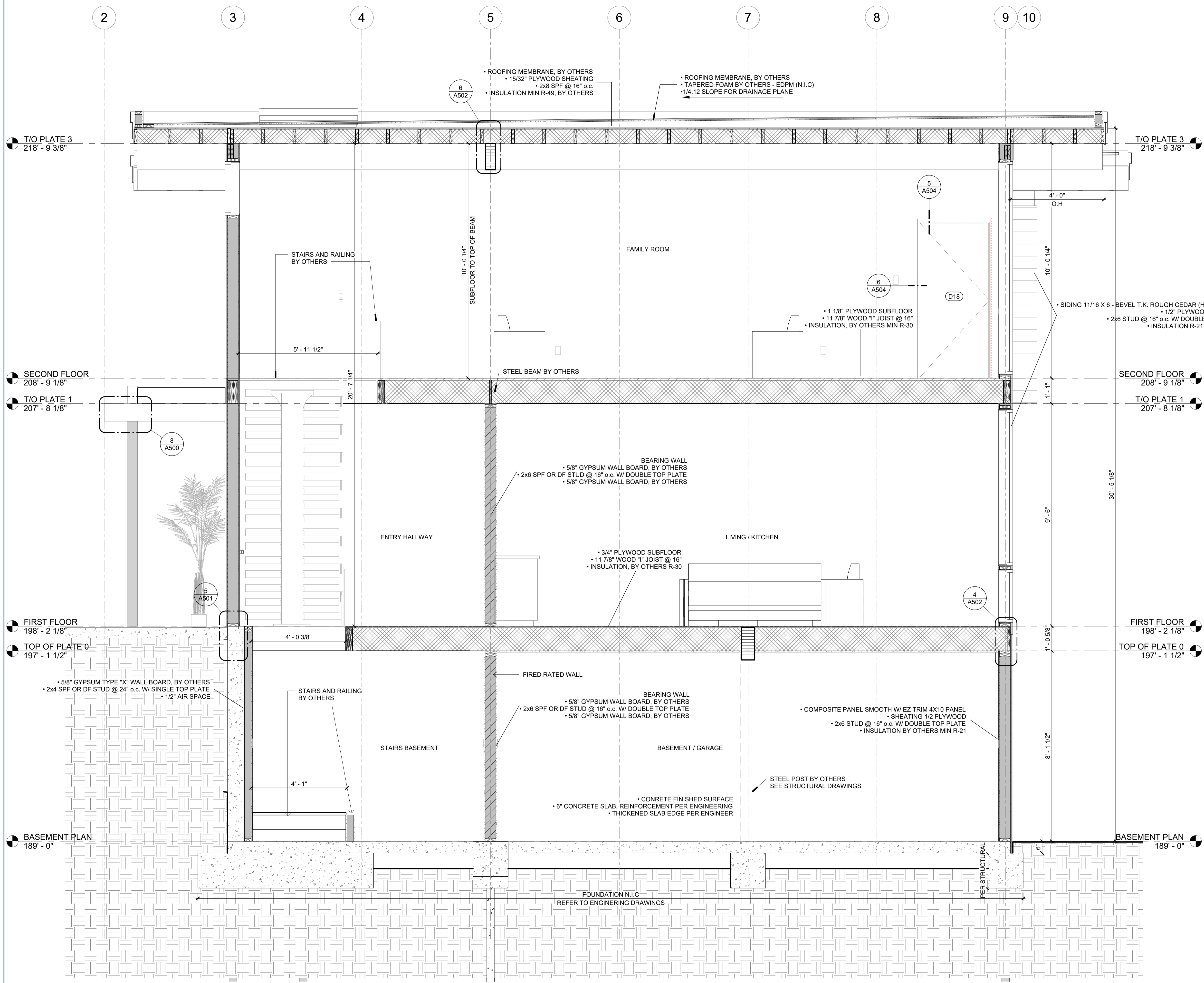
A300

CROSS SECTION NOTES

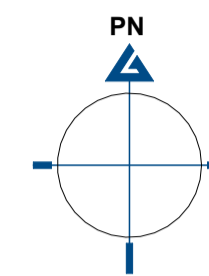
- SCALE: 1/2" = 1'-0"
- CONCRETE WORKS (DESIGN AND MATERIALS) BY OTHERS.
 - ALL FOUNDATION DIMENSIONS TO BE PER LOCAL CODES.
 - GRADE MUST SLOPE AWAY FROM BUILDING.
 - CLOSED CELL SPRAY FOAM AREAS ARE TO BE UNVENTED AND NO VAPOR BARRIER IS TO BE USED, AS CLOSED CELL SPRAY FOAM IS A VAPOR BARRIER IN ITSELF.
 - ICE & WATER SHIELD SHOULD ONLY BE APPLIED AT THE EAVES (6 FOOT STRIPS MAXIMUM) IN CLOSED CELL SPRAY FOAM AREAS AS THE ICE WATER SHIELD CREATES A SECOND VAPOR BARRIER ABOVE THE INSULATION TRAPPING MOISTURE BETWEEN.
 - ALL DRAIN TILES, VAPOR BARRIERS AND OTHER MOISTURE AND WATER CONTROL SYSTEMS ARE TO BE INSTALLED PER LOCAL CODES.
 - WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.

FLASHING
APPROVED CORROSION-RESISTANT FLASHING SHALL BE SHINGLE FLASHING IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT

- FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:
- EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE.
 - AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
 - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
 - AT WALL AND ROOF INTERSECTIONS.
 - AT BUILT-IN GUTTERS.



1 Section 1
A300 1/2" = 1'-0"



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

CROSS SECTION NOTES

SCALE: 1/2" = 1'-0"

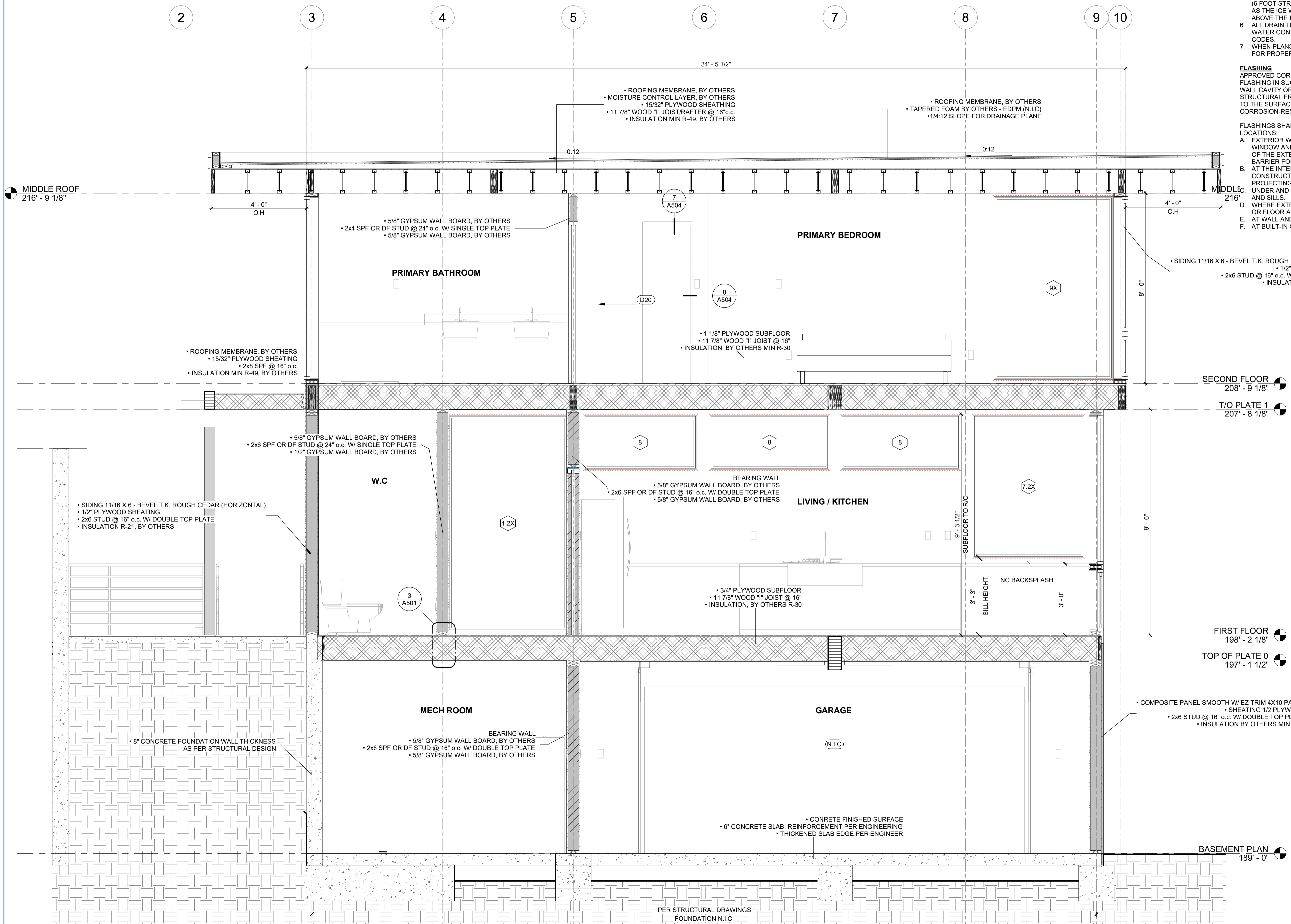
1. CONCRETE WORKS (DESIGN AND MATERIALS) BY OTHERS.
2. ALL FOUNDATION DIMENSIONS TO BE PER LOCAL CODES.
3. GRADE MUST SLOPE AWAY FROM BUILDING.
4. CLOSED CELL SPRAY FOAM AREAS ARE TO BE UNVENTED AND NO VAPOR BARRIER IS TO BE USED, AS CLOSED CELL SPRAY FOAM IS A VAPOR BARRIER IN ITSELF.
5. ICE & WATER SHIELD SHOULD ONLY BE APPLIED AT THE EAVES (6 FOOT STRIPS MAXIMUM) IN CLOSED CELL SPRAY FOAM AREAS AS THE ICE WATER SHIELD CREATES A SECOND VAPOR BARRIER ABOVE THE INSULATION TRAPPING MOISTURE BETWEEN.
6. ALL DRAIN TILES, VAPOR BARRIERS AND OTHER MOISTURE AND WATER CONTROL SYSTEMS ARE TO BE INSTALLED PER LOCAL CODES.
7. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.

FLASHING

APPROVED CORROSION-RESISTANT FLASHING SHALL BE SHINGLE FLASHING IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT

FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

- A. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE.
- B. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS, UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
- C. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
- D. AT WALL AND ROOF INTERSECTIONS.
- E. AT BUILT-IN GUTTERS.



MIDDLE ROOF
216' - 9 1/8"

SECOND FLOOR
208' - 9 1/8"

T/O PLATE 1
207' - 8 1/8"

FIRST FLOOR
198' - 2 1/8"

TOP OF PLATE 0
197' - 1 1/2"

BASEMENT PLAN
189' - 0"

1 Section 2
A301 1/2" = 1'-0"

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



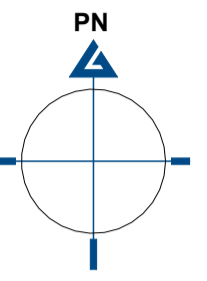
MODEL

ELEMENT CUSTOM HOME

BUILDING SECTION 2

Scale: 1/2" = 1'-0"

A301



PROJECT NORTH

LINDAL DEALER

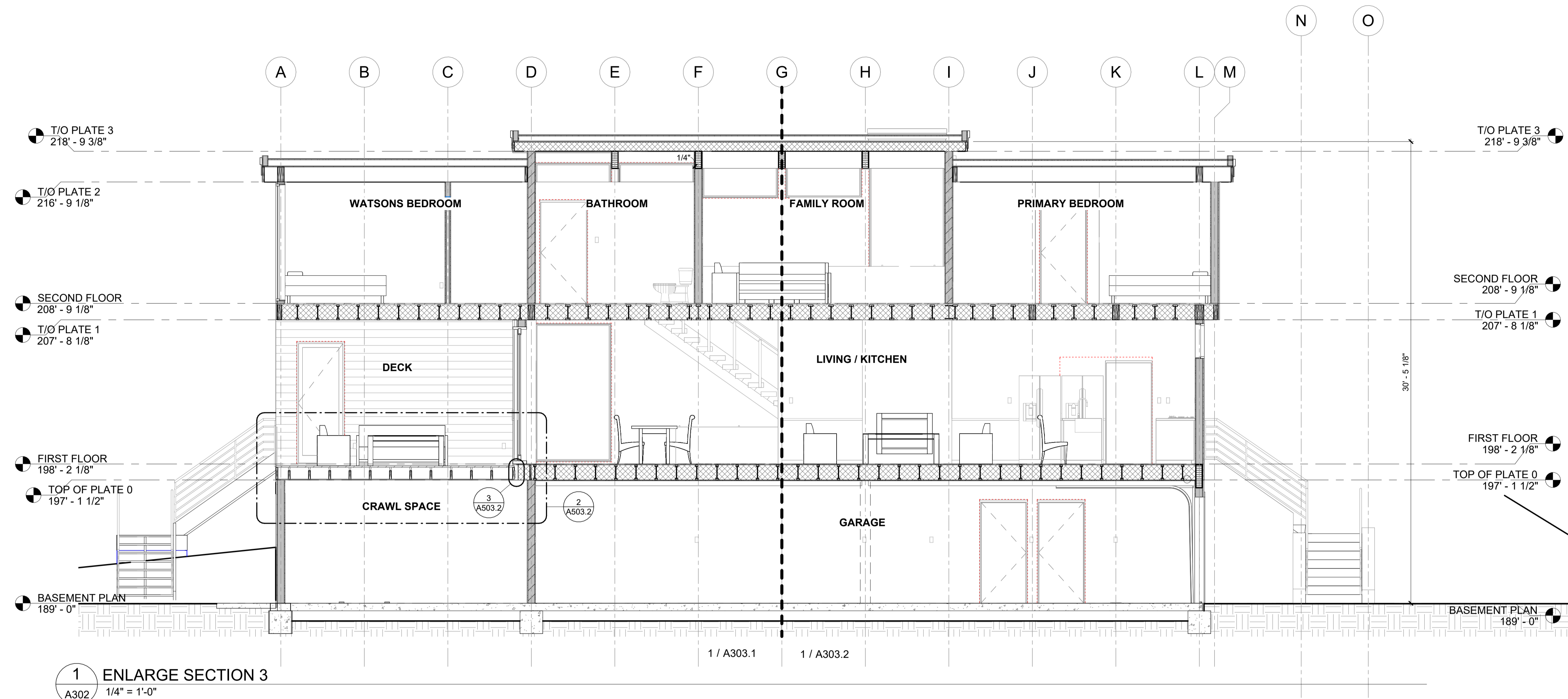
WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040



1 ENLARGE SECTION 3
A302 1/4" = 1'-0"

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/18/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/15/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



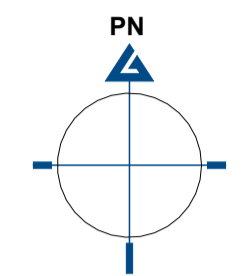
MODEL

ELEMENT CUSTOM HOME

BUILDING SECTION ENLARGE

Scale: 1/4" = 1'-0"

A302



PROJECT NORTH

LINDAL DEALER
WARM MODERN LIVING

CLIENT
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL

ELEMENT CUSTOM HOME

BUILDING SECTION 3-A

Scale: 1/2" = 1'-0"

A303.1

CROSS SECTION NOTES

SCALE: 1/2" = 1'-0"

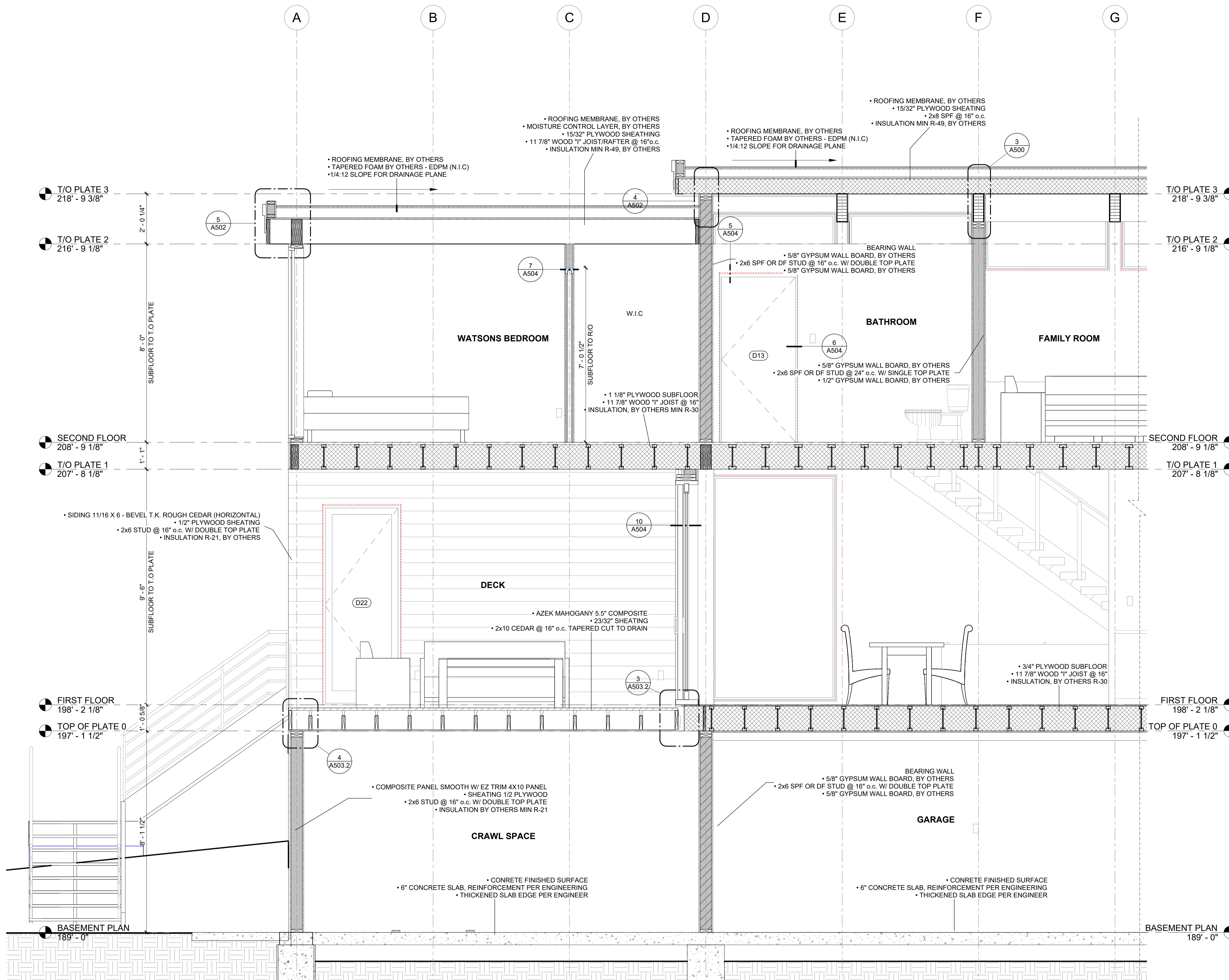
1. CONCRETE WORKS (DESIGN and MATERIALS) BY OTHERS.
2. ALL FOUNDATION DIMENSIONS TO BE PER LOCAL CODES.
3. GRADE MUST SLOPE AWAY FROM BUILDING.
4. CLOSED CELL SPRAY FOAM AREAS ARE TO BE UNVENTED AND NO VAPOR BARRIER IS TO BE USED, AS CLOSED CELL SPRAY FOAM IS A VAPOR BARRIER IN ITSELF.
5. ICE & WATER SHIELD SHOULD ONLY BE APPLIED AT THE EAVES (6 FOOT STRIPS MAXIMUM) IN CLOSED CELL SPRAY FOAM AREAS AS THE ICE WATER SHIELD CREATES A SECOND VAPOR BARRIER ABOVE THE INSULATION TRAPPING MOISTURE BETWEEN.
6. ALL DRAIN TILES, VAPOR BARRIERS AND OTHER MOISTURE AND WATER CONTROL SYSTEMS ARE TO BE INSTALLED PER LOCAL CODES.
7. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.

FLASHING

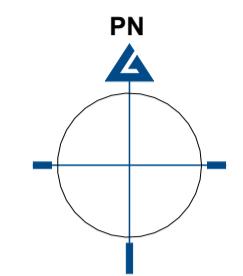
APPROVED CORROSION-RESISTANT FLASHING SHALL BE SHINGLE FLASHING IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT

FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

- A. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE.
- B. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS AND SILLS.
- C. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
- D. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
- E. AT WALL AND ROOF INTERSECTIONS.
- F. AT BUILT-IN GUTTERS.



1 BUILDING SECTION 3 - LEFT SIDE
A303.1 1/2" = 1'-0"



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL

ELEMENT CUSTOM HOME

BUILDING SECTION 3-B

Scale: 1/2" = 1'-0"

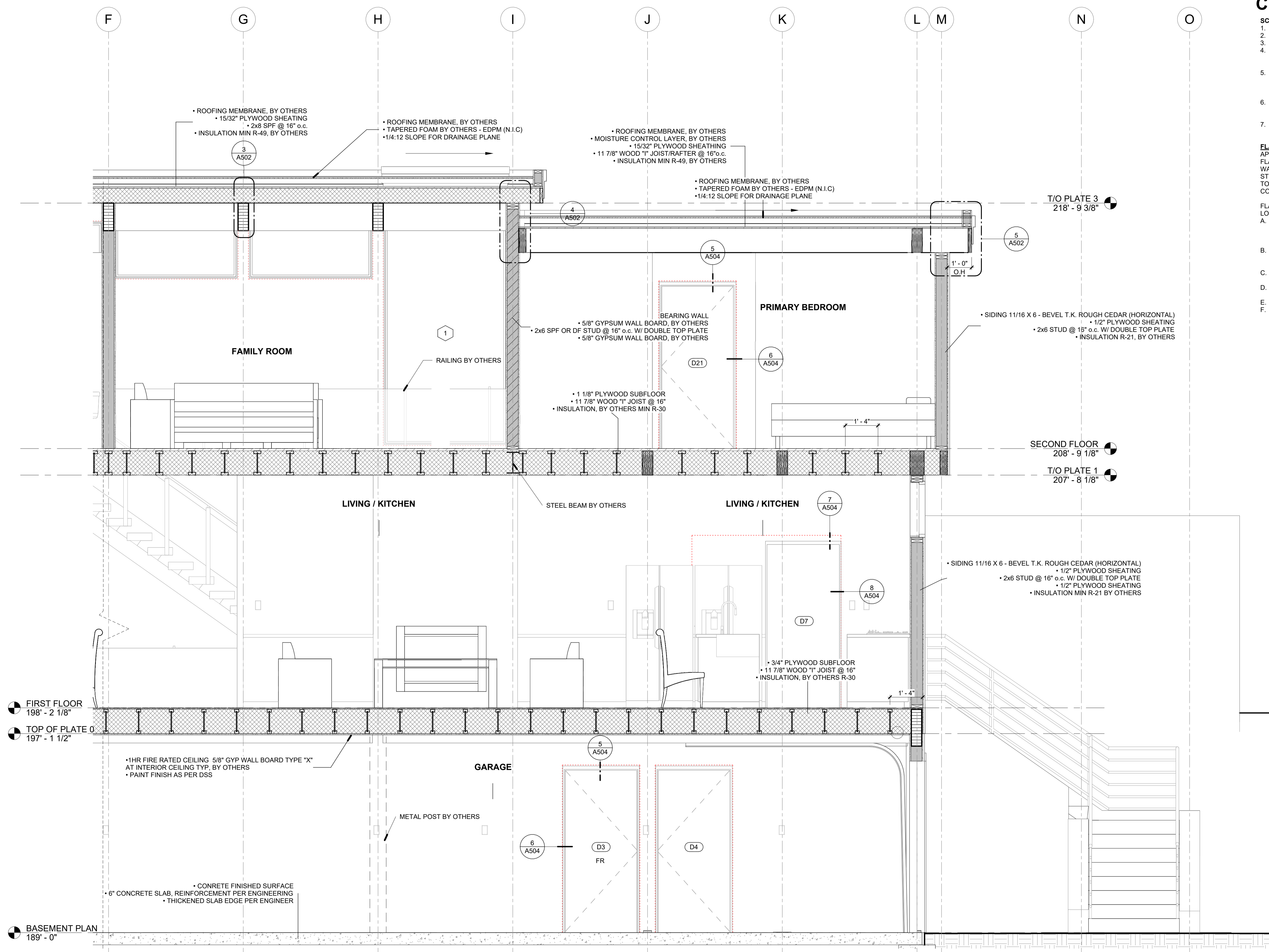
A303.2

CROSS SECTION NOTES

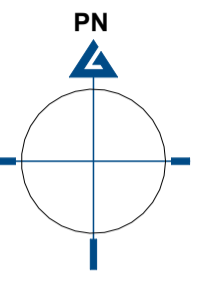
- SCALE: 1/2" = 1'-0"
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 - ALL FOUNDATION DIMENSIONS TO BE PER LOCAL CODES.
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 - WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.

FLASHING
APPROVED CORROSION-RESISTANT FLASHING SHALL BE SHINGLE FLASHING IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT

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 - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
 - AT WALL AND ROOF INTERSECTIONS.
 - AT BUILT-IN GUTTERS.



1 BUILDING SECTION 3 - RIGHT SIDE
A303.2 1/2" = 1'-0"



PROJECT NORTH

LINDAL DEALER

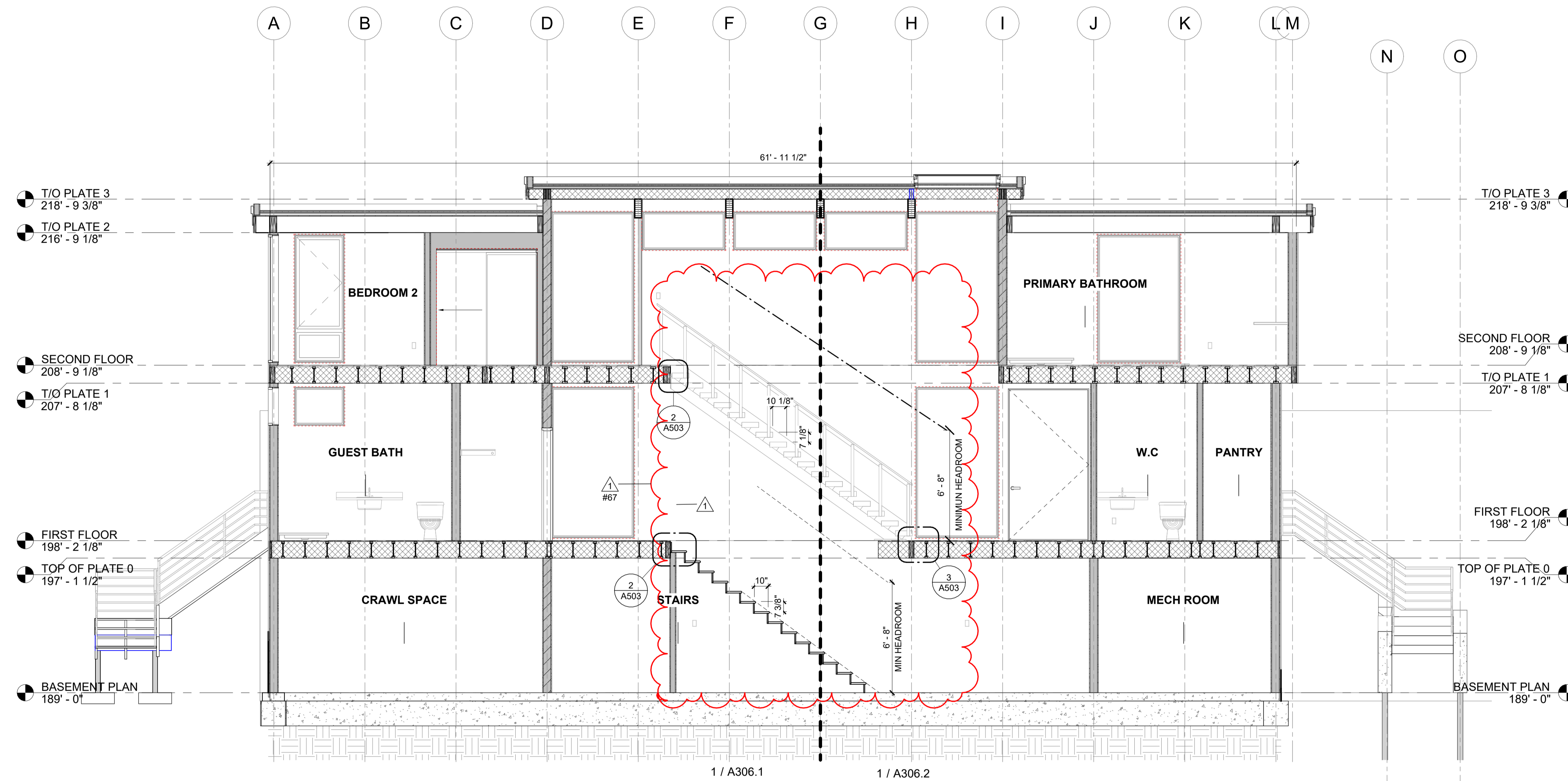
WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040



1 BUILDING SECTION ENLARGED 2
A305 1/4" = 1'-0"

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



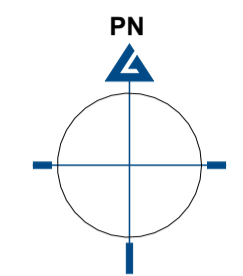
MODEL

ELEMENT CUSTOM HOME

**BUILDING SECTION
ENLARGE 2**

Scale: 1/4" = 1'-0"

A305



PROJECT NORTH

LINDAL DEALER
WARM MODERN LIVING

CLIENT
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	PREVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL

ELEMENT CUSTOM HOME

BUILDING SECTION 4A

Scale: 1/2" = 1'-0"

A306.1

CROSS SECTION NOTES

SCALE: 1/2" = 1'-0"

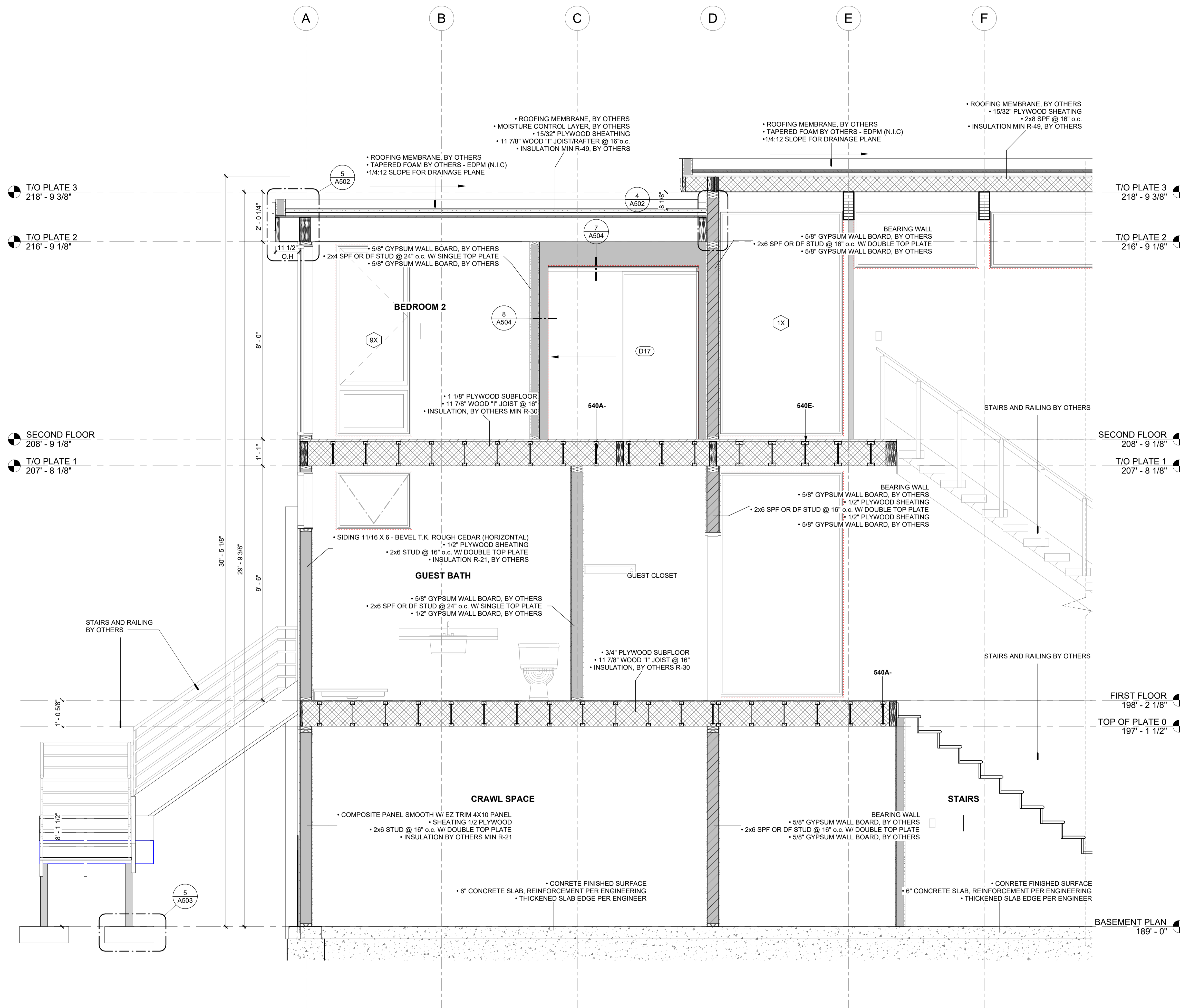
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FLASHING

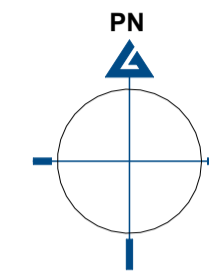
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1 BUILDING SECTION 2 - LEFT SIDE
A306.1 1/2" = 1'-0"



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

CROSS SECTION NOTES

SCALE: 1/2" = 1'-0"

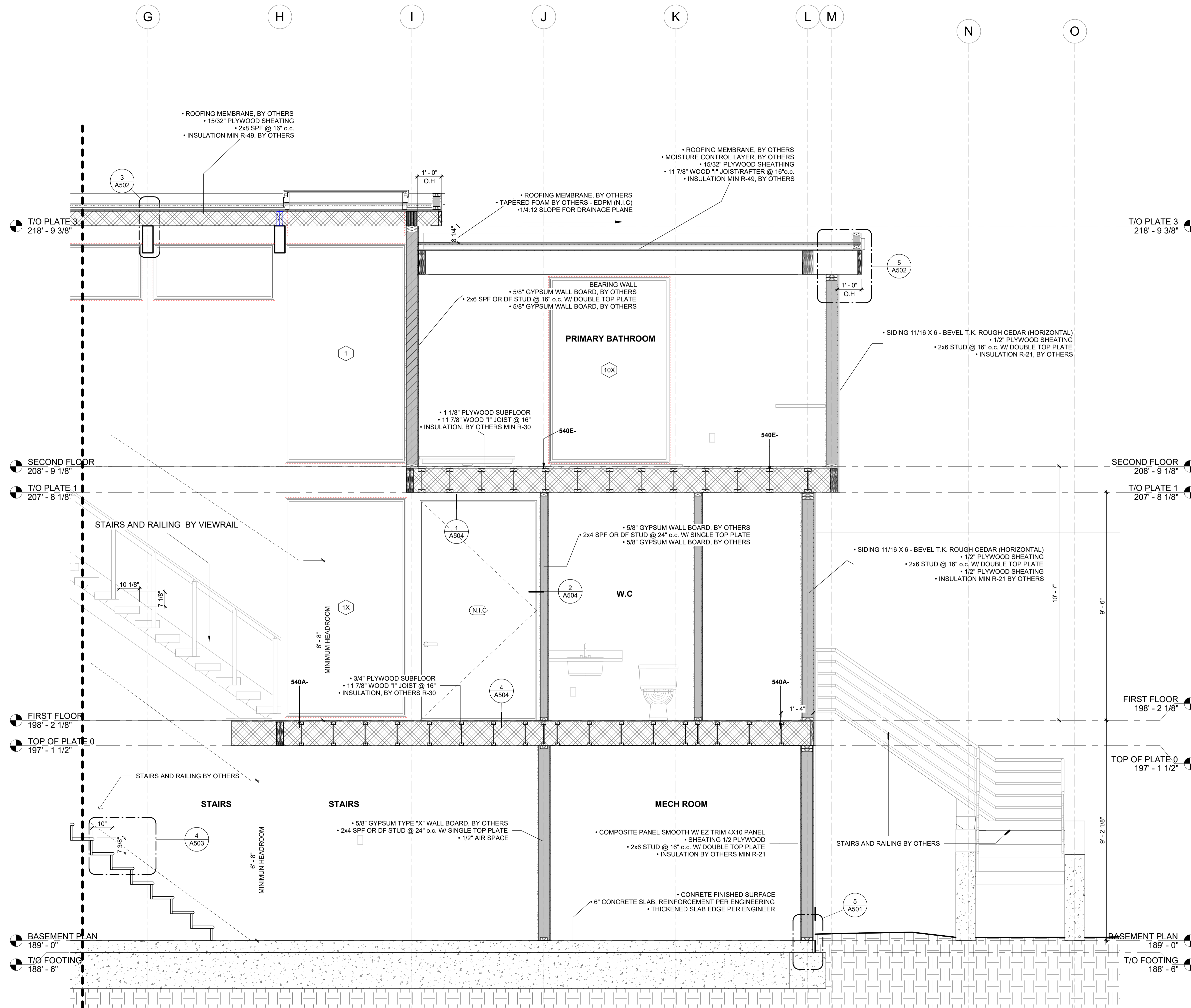
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1 BUILDING SECTION 2 - RIGHT SIDE
A306.2 1/2" = 1'-0"

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/15/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



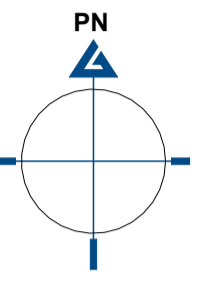
MODEL

ELEMENT CUSTOM HOME

BUILDING SECTION 4B

Scale: 1/2" = 1'-0"

A306.2



PROJECT NORTH

LINDAL DEALER

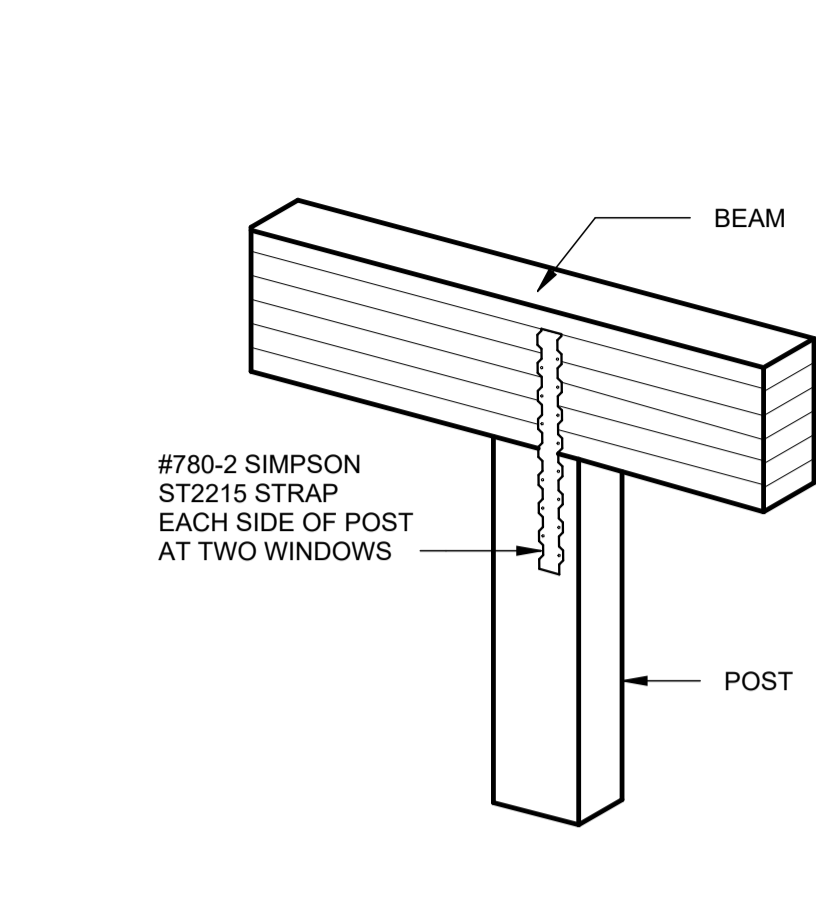
WARM MODERN LIVING

CLIENT

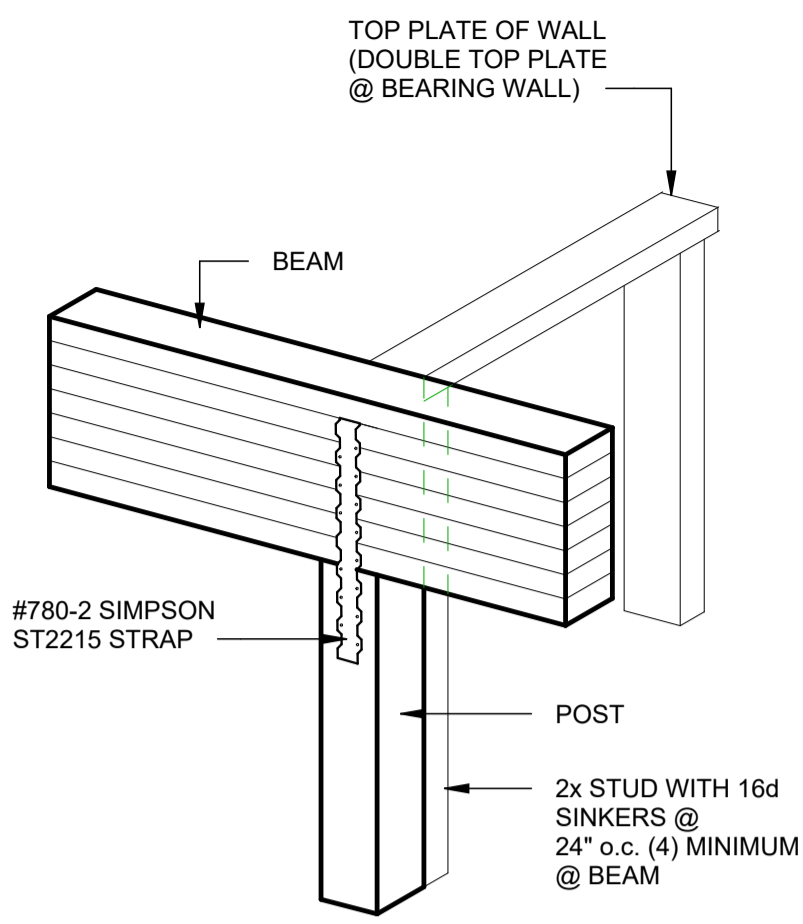
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

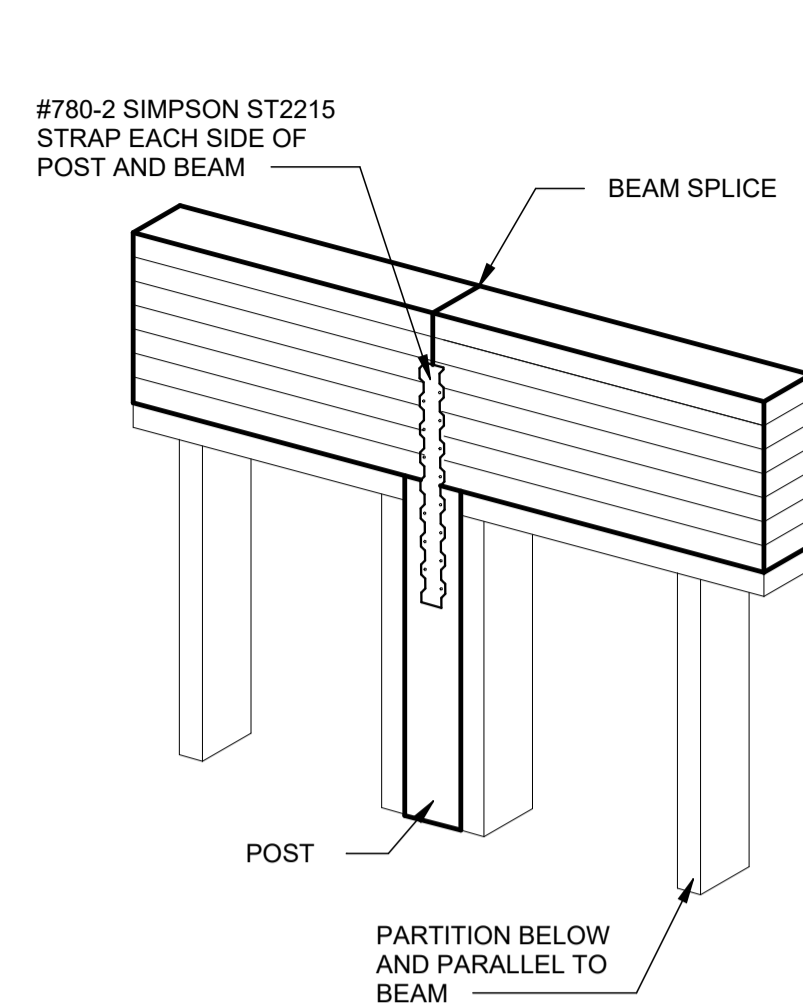
7929 EAST MERCER WAY
MERCER ISLAND WA 98040



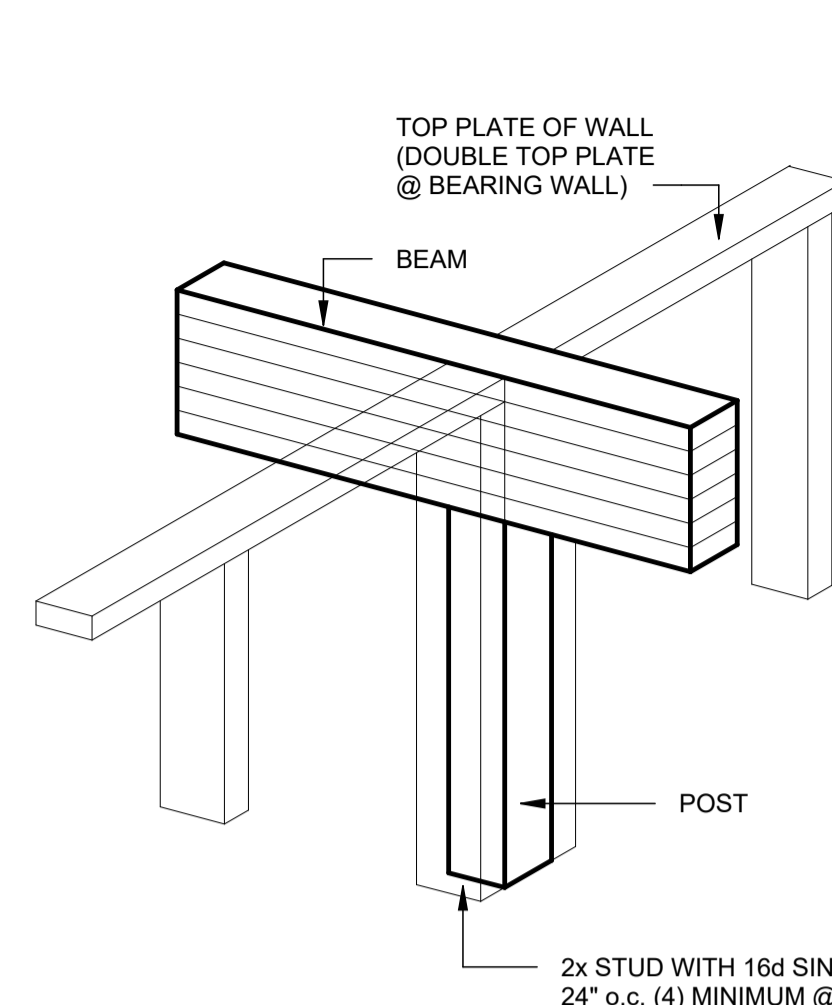
1 TYP POST BEAM CONNECT AT 2 WINDOWS
1" = 1'-0"



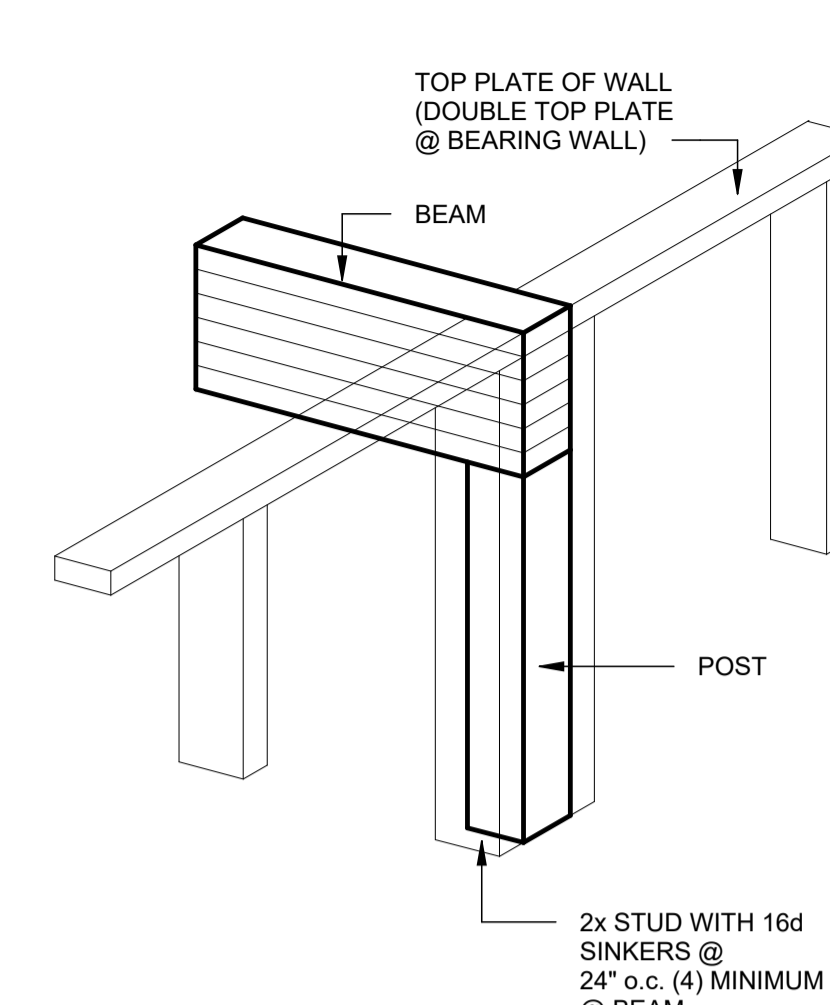
2 POST BEAM CONNECTION @ ONE WINDOW
1" = 1'-0"



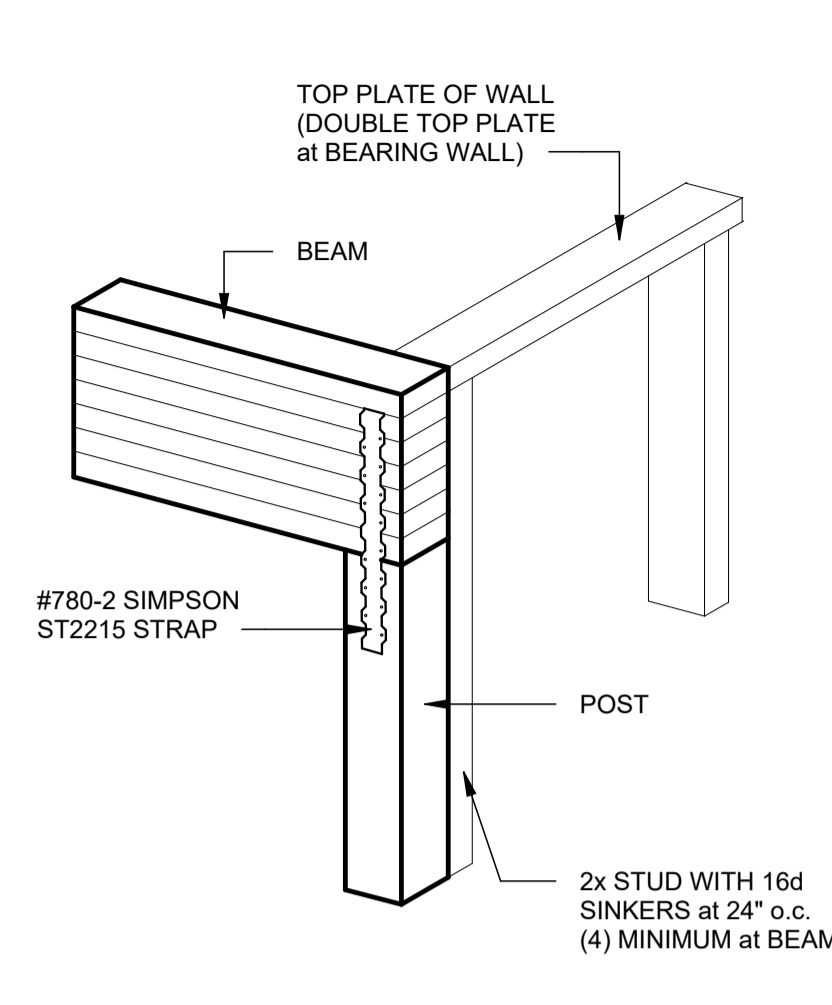
3 PARTITION BELOW BEAM
A500 1" = 1'-0"



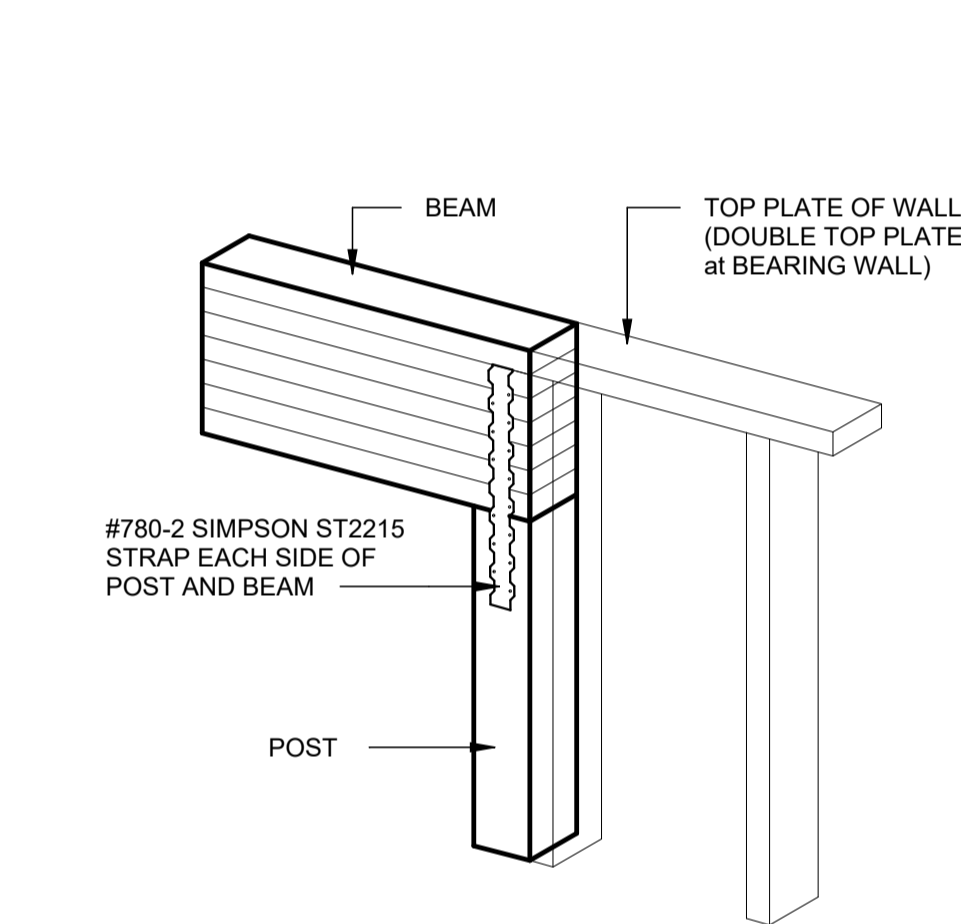
4 CANTILEVER BEAM AT WALL
A500 1" = 1'-0"



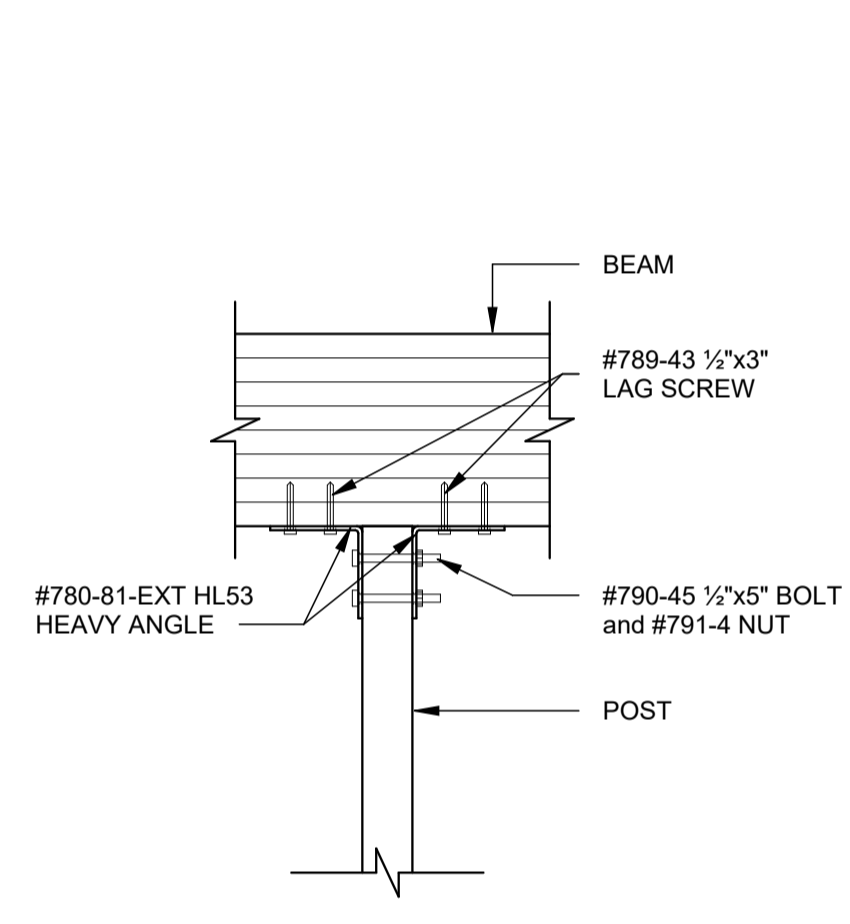
5 BEAM ENDS AT WALL
A500 1" = 1'-0"



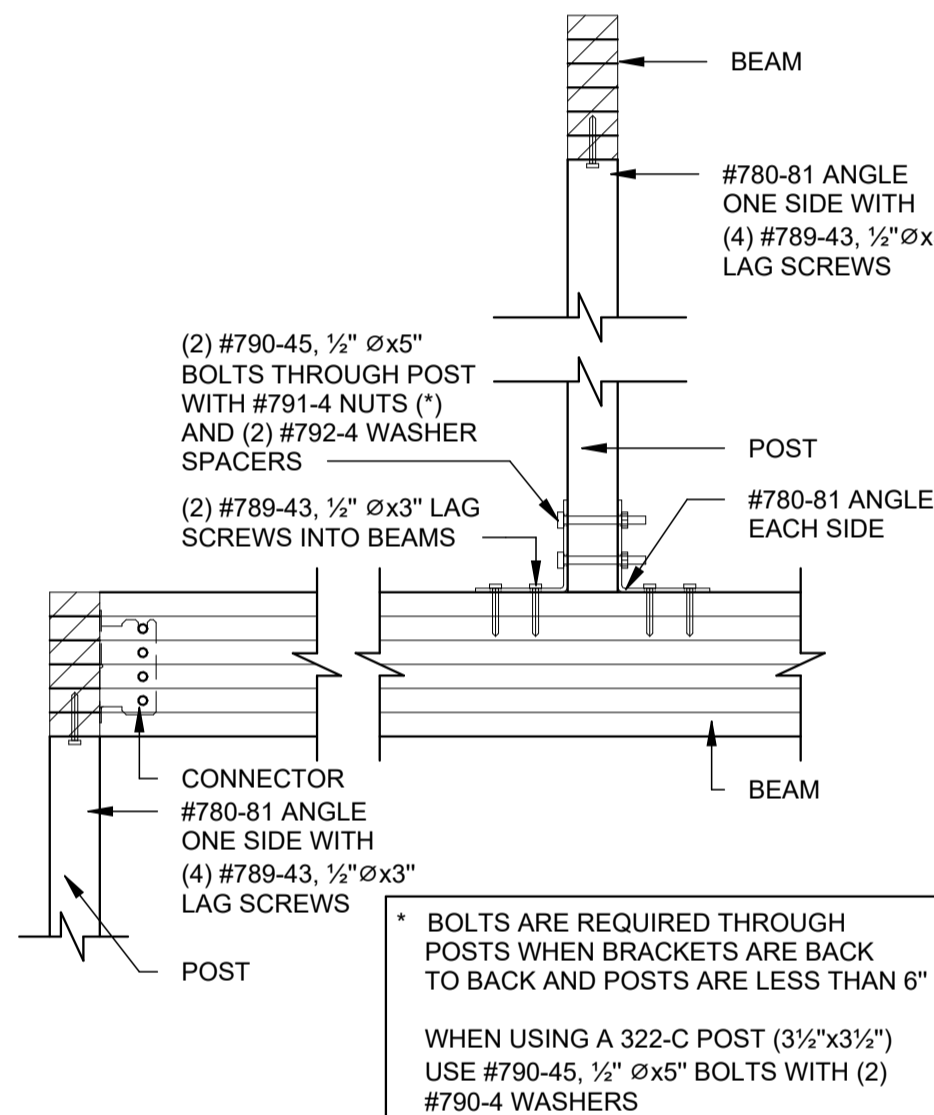
6 BEAM AT PARTITION CORNER
A500 1" = 1'-0"



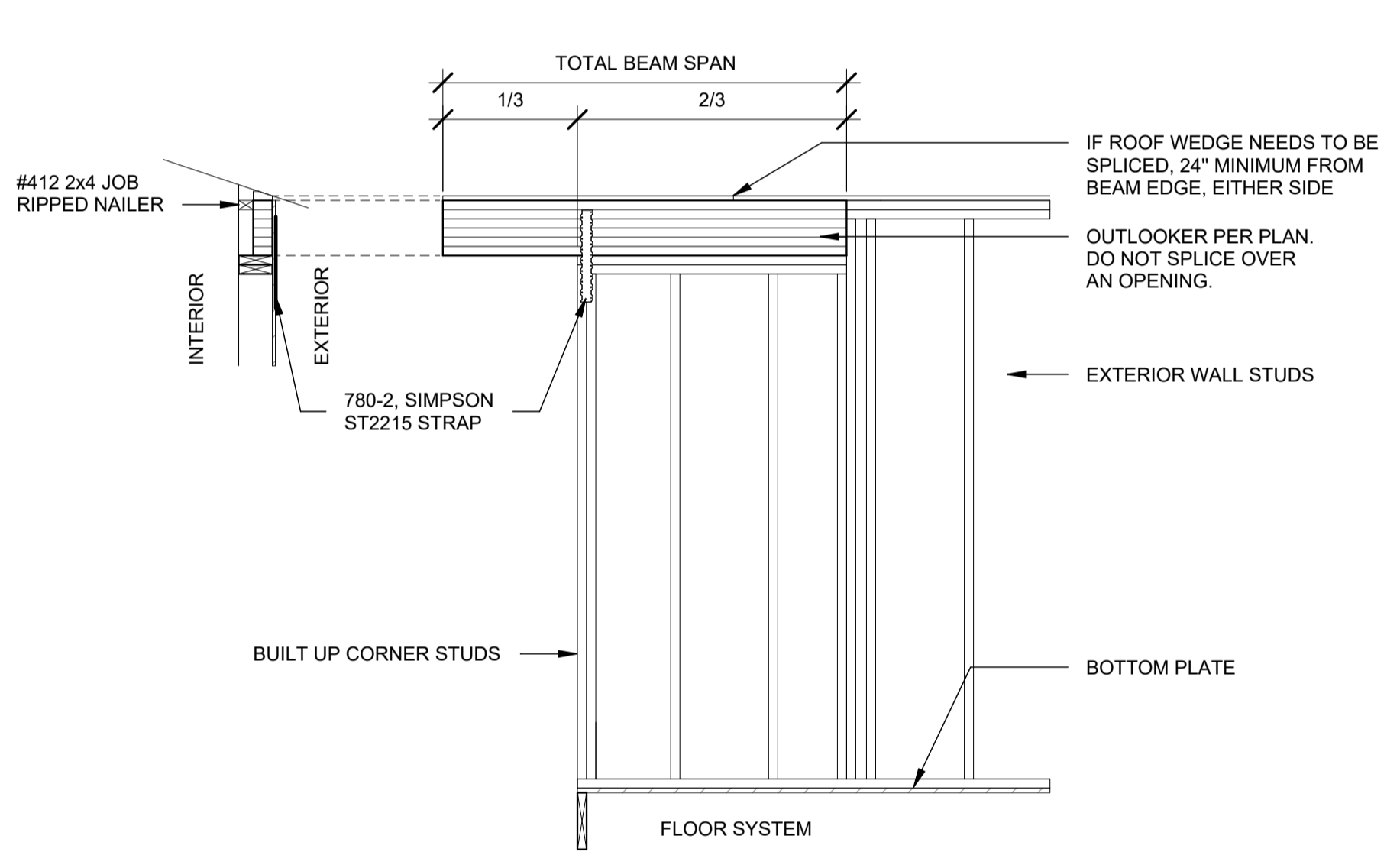
7 P&B CONNECT PARALLEL TO WALL
1" = 1'-0"



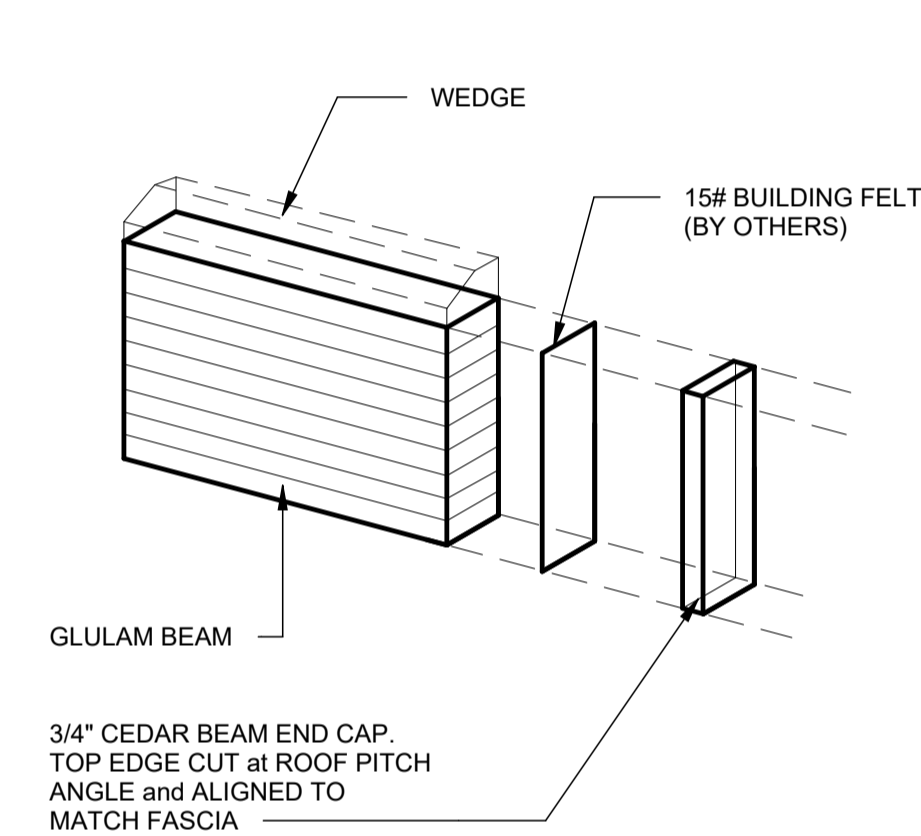
8 EXPOSED POST / BEAM
A500 1" = 1'-0"



9 POST TO BEAM CONNECTION
A500 1" = 1'-0"



10 OUTLOOKER DETAIL
A500 1/2" = 1'-0"



11 GLUELAM END
A500 1" = 1'-0"

* BOLTS ARE REQUIRED THROUGH POSTS WHEN BRACKETS ARE BACK TO BACK AND POSTS ARE LESS THAN 6"
WHEN USING A 322-C POST (3/2"x3/2") USE #790-45, 1/2" Øx5" BOLTS WITH (2) #790-4 WASHERS

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ISSUANCES

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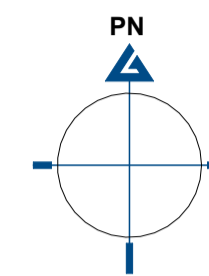
MODEL

ELEMENT CUSTOM HOME

DETAILS - POST & BEAM CONNECTIONS

Scale: As indicated

A500



PROJECT NORTH

LINDAL DEALER

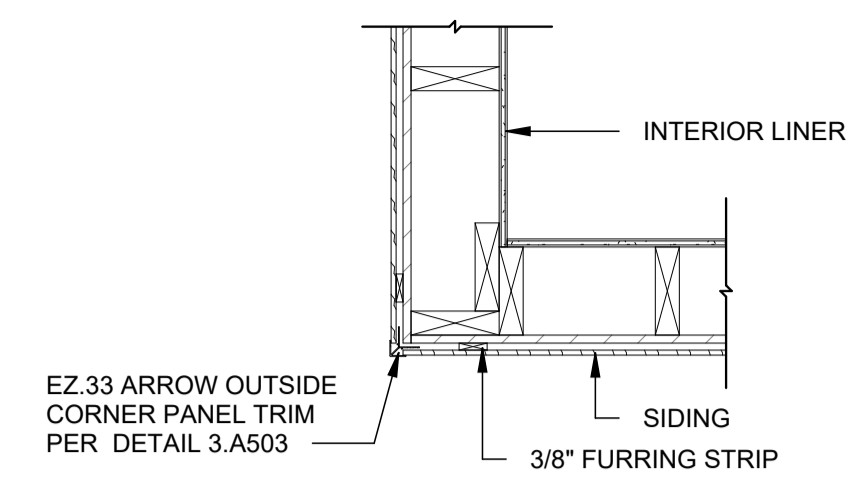
WARM MODERN LIVING

CLIENT

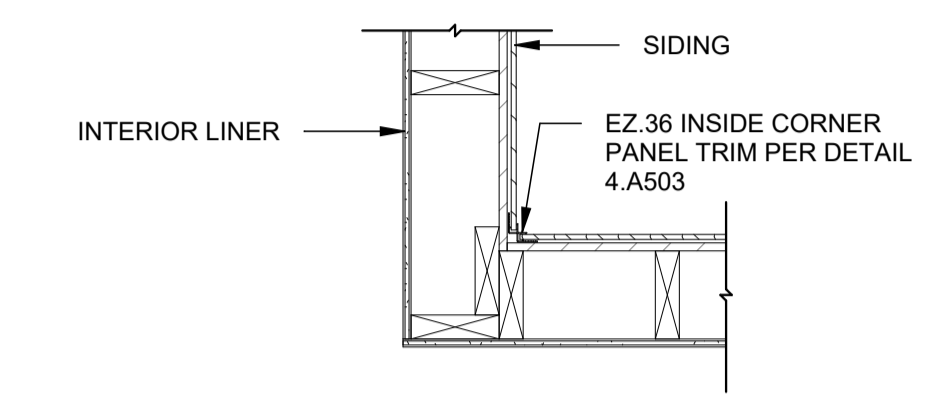
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

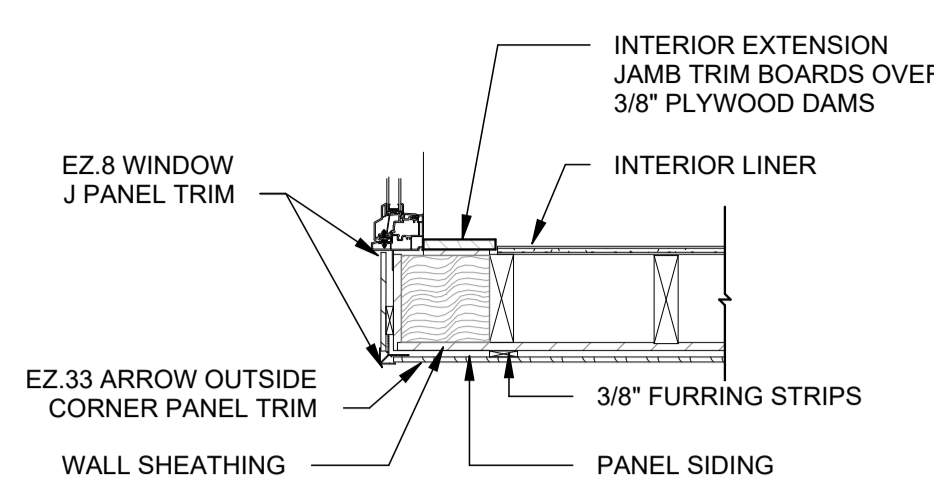
7929 EAST MERCER WAY
MERCER ISLAND WA 98040



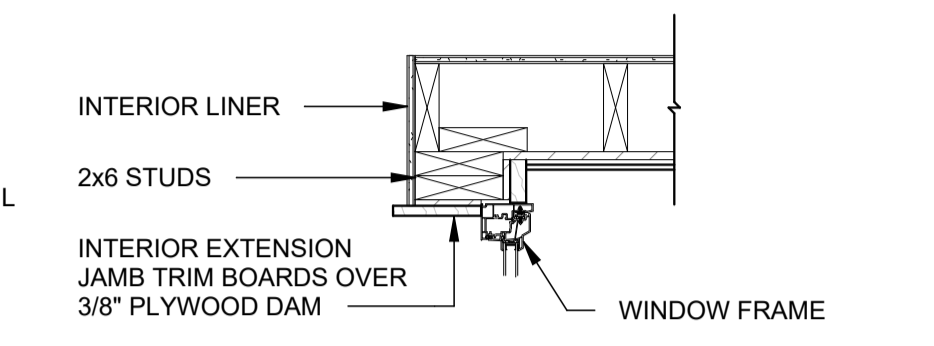
A. OUTSIDE CORNER



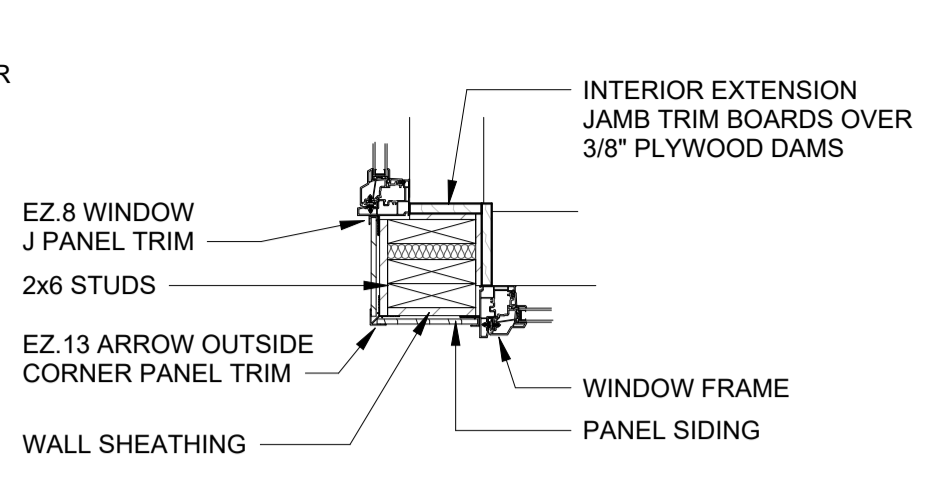
B. INSIDE CORNER



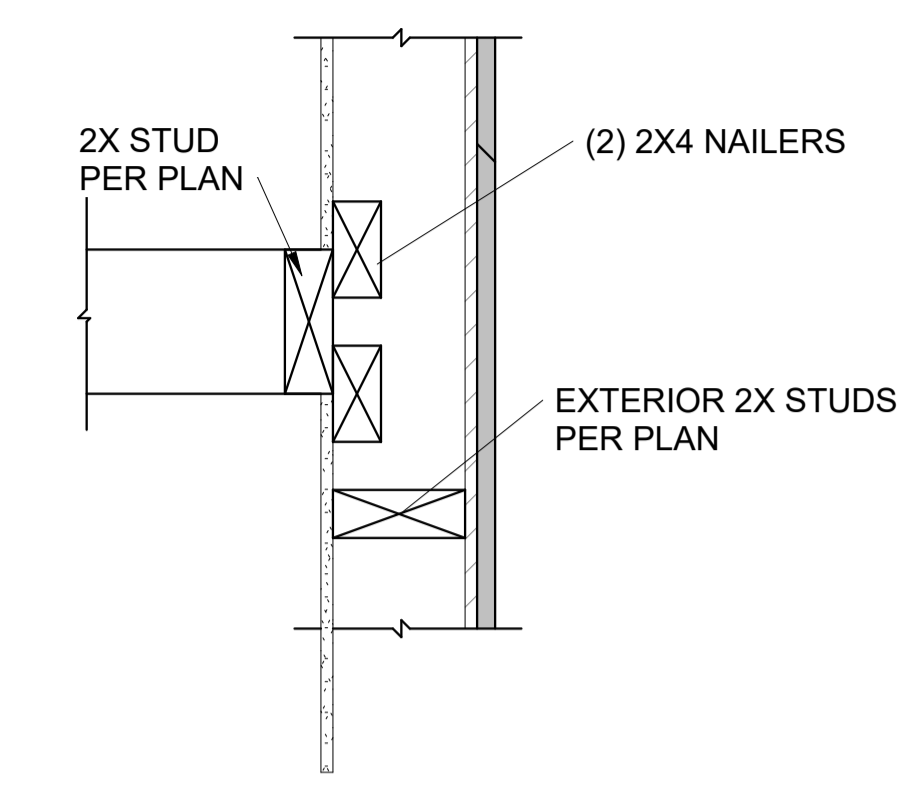
C. OUTSIDE CORNER-ONE WINDOW



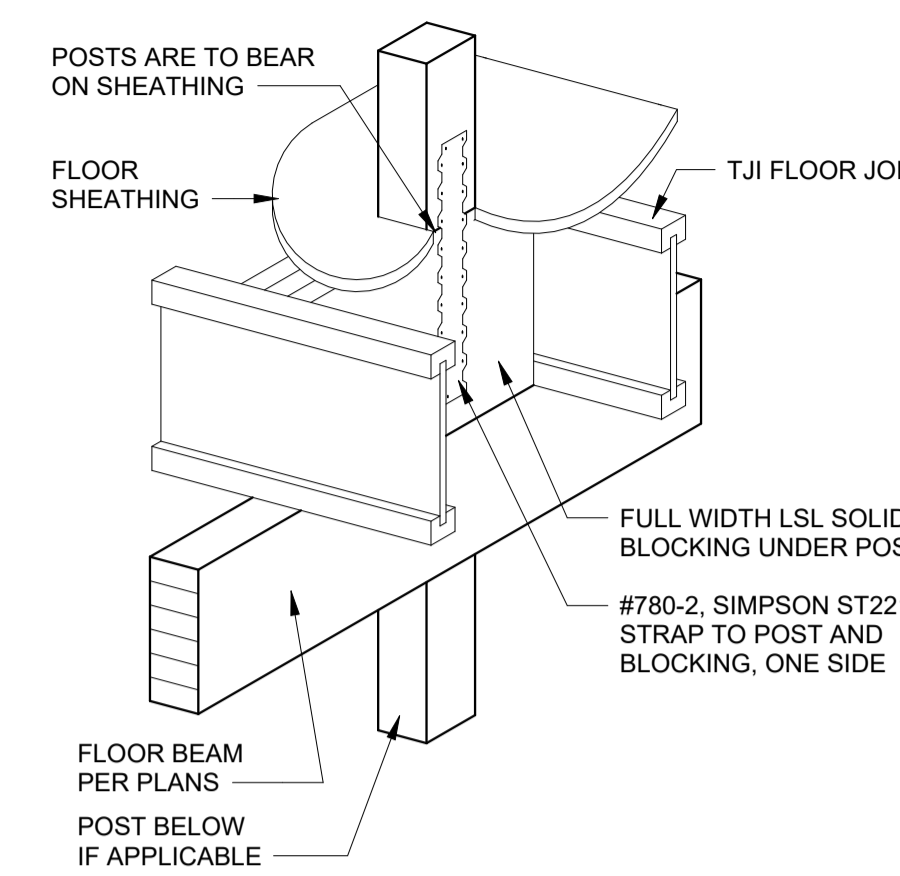
D. INSIDE CORNER-ONE WINDOW



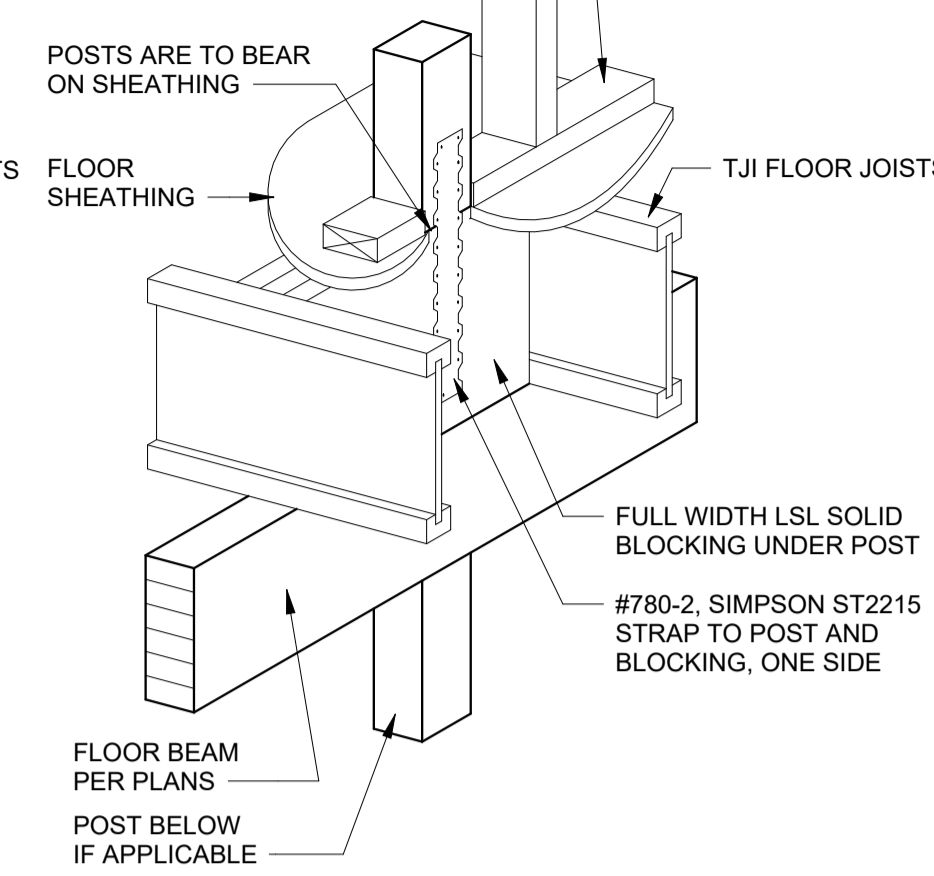
OUTSIDE CORNER WITH WINDOWS



2 2X BY PARTITION TO EXT WALL
A501 1 1/2" = 1'-0"

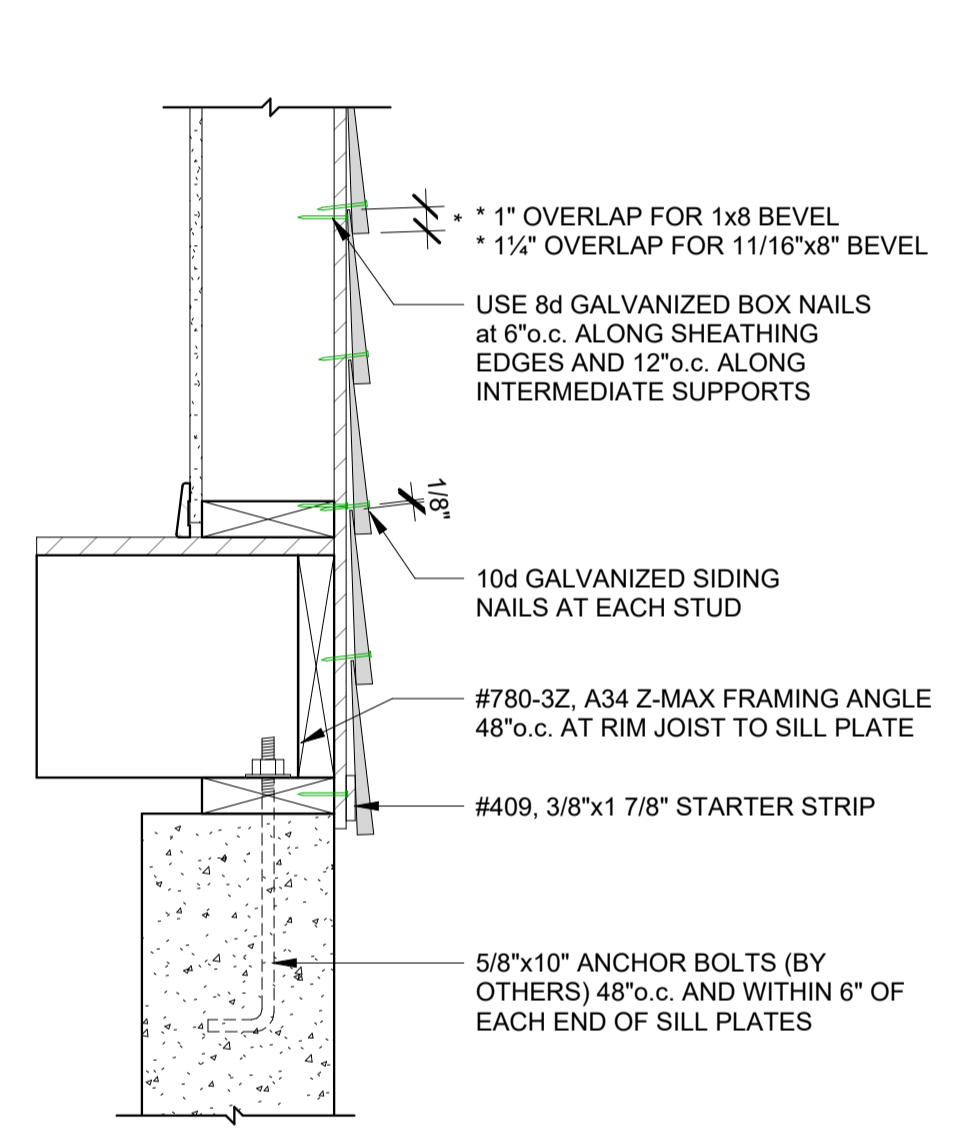


3 WALL POST TO FLOOR JOIST
A501 1" = 1'-0"

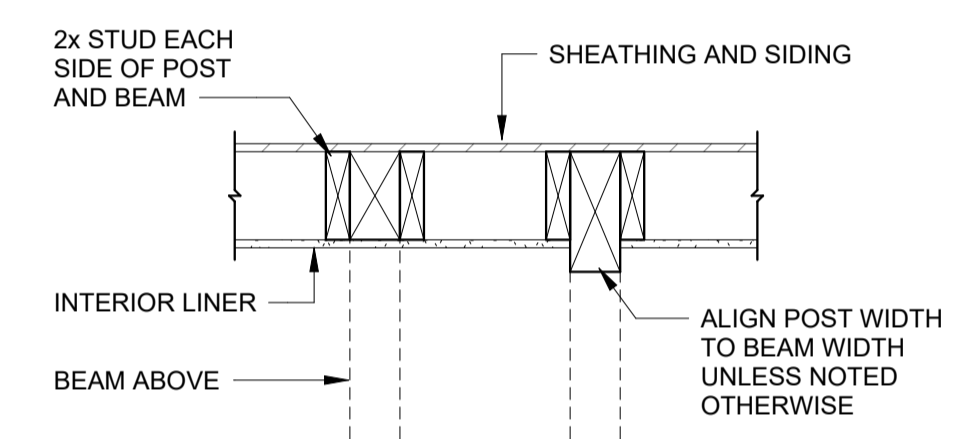


4 PARTITION TO FLOOR
A501 1" = 1'-0"

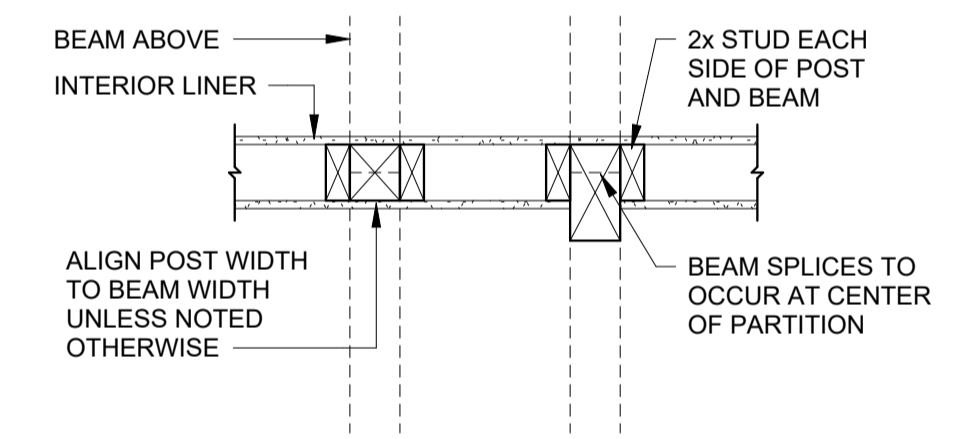
1 CORNER EZ TRIM
A501 1" = 1'-0"



5 CEDAR BEVEL SIDING
A501 1 1/2" = 1'-0"

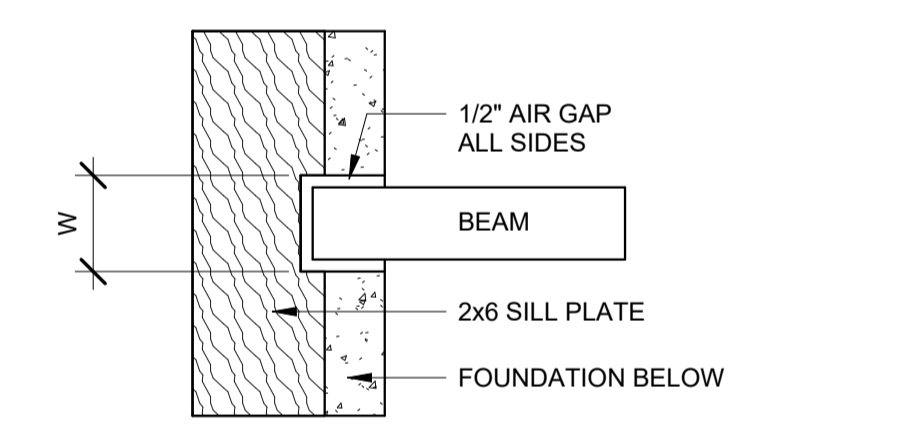
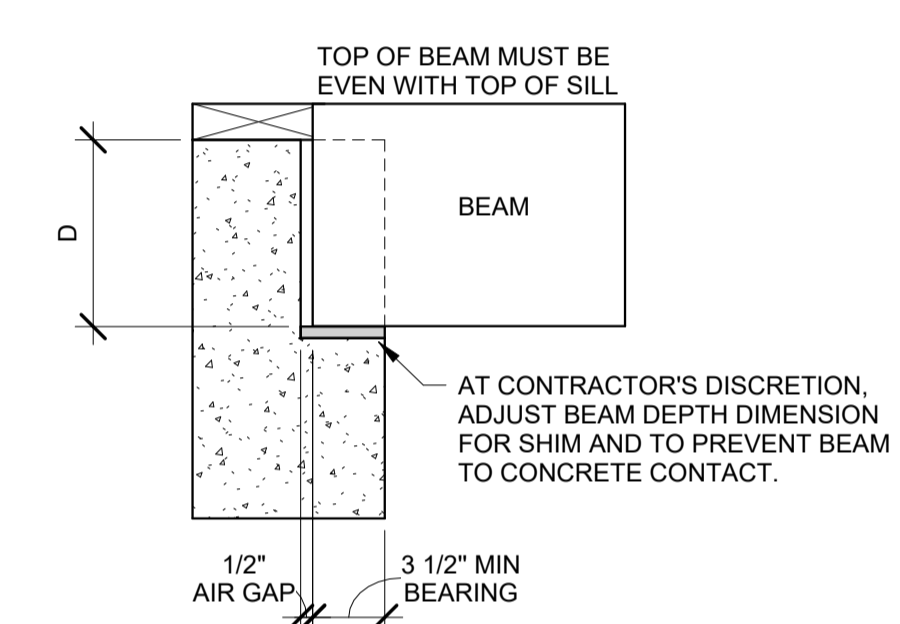


EXTERIOR WALLS



INTERIOR PARTITIONS

6 POST ORIENTATION
A501 1" = 1'-0"



7 BEAM POCKET DETAIL
A501 1 1/2" = 1'-0"

BUILT UP LUMBER	(2) 2x		(3) 2x		(4) 2x	
	W	D	W	D	W	D
2x10	4"	7 3/4"	5 1/2"	7 3/4"	7"	7 3/4"
2x12	4"	9 3/4"	5 1/2"	9 3/4"	7"	9 3/4"

GLULAM BEAM	3 1/8" BEAM		5 1/8" BEAM		6 3/4" BEAM	
	W	D	W	D	W	D
9"	4 1/8"	7 1/2"	6 1/8"	7 1/2"	7 3/4"	7 1/2"
10 1/2"	4 1/8"	9"	6 1/8"	9"	7 3/4"	9"
12"	4 1/8"	10 1/2"	6 1/8"	10 1/2"	7 3/4"	10 1/2"
13 1/2"	4 1/8"	12"	6 1/8"	12"	7 3/4"	12"
15"	4 1/8"	13 1/2"	6 1/8"	13 1/2"	7 3/4"	13 1/2"
16 1/2"	4 1/8"	15"	6 1/8"	15"	7 3/4"	15"
18"			6 1/8"	16 1/2"	7 3/4"	16 1/2"
19 1/2"			6 1/8"	18"	7 3/4"	18"
21"			6 1/8"	19 1/2"	7 3/4"	19 1/2"
22 1/2"			6 1/8"	21"	7 3/4"	21"
24"			6 1/8"	22 1/2"	7 3/4"	22 1/2"

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	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/15/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



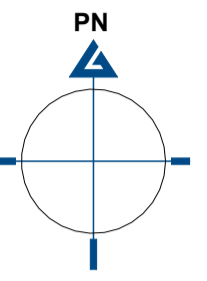
MODEL

ELEMENT CUSTOM HOME

DETAILS - WALL

Scale: As indicated

A501



PROJECT NORTH

LINDAL DEALER

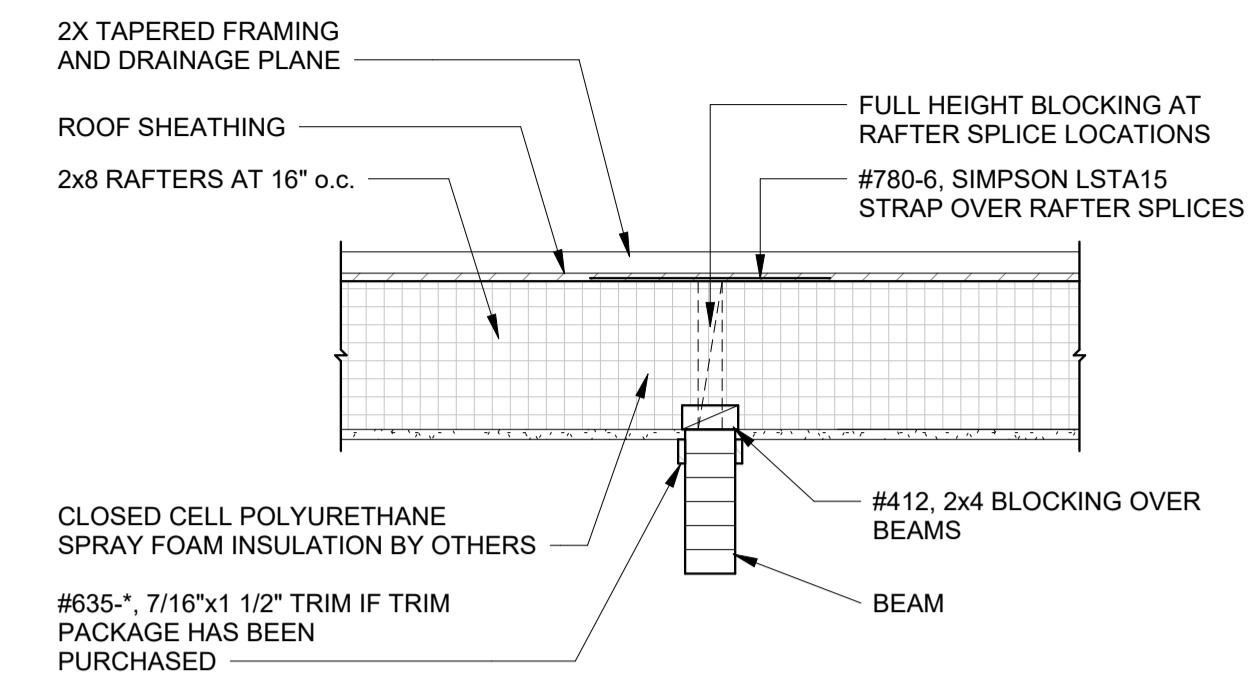
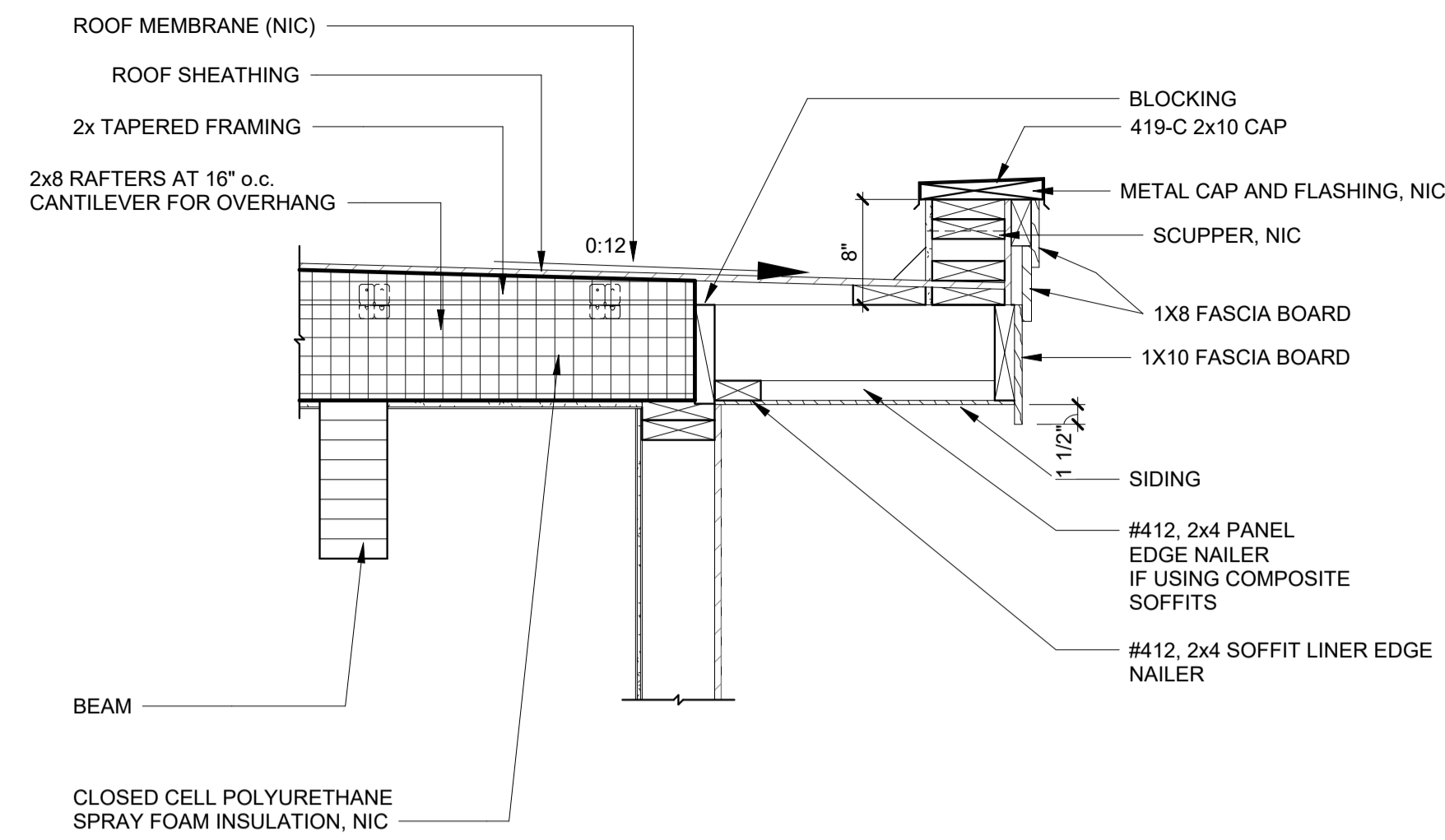
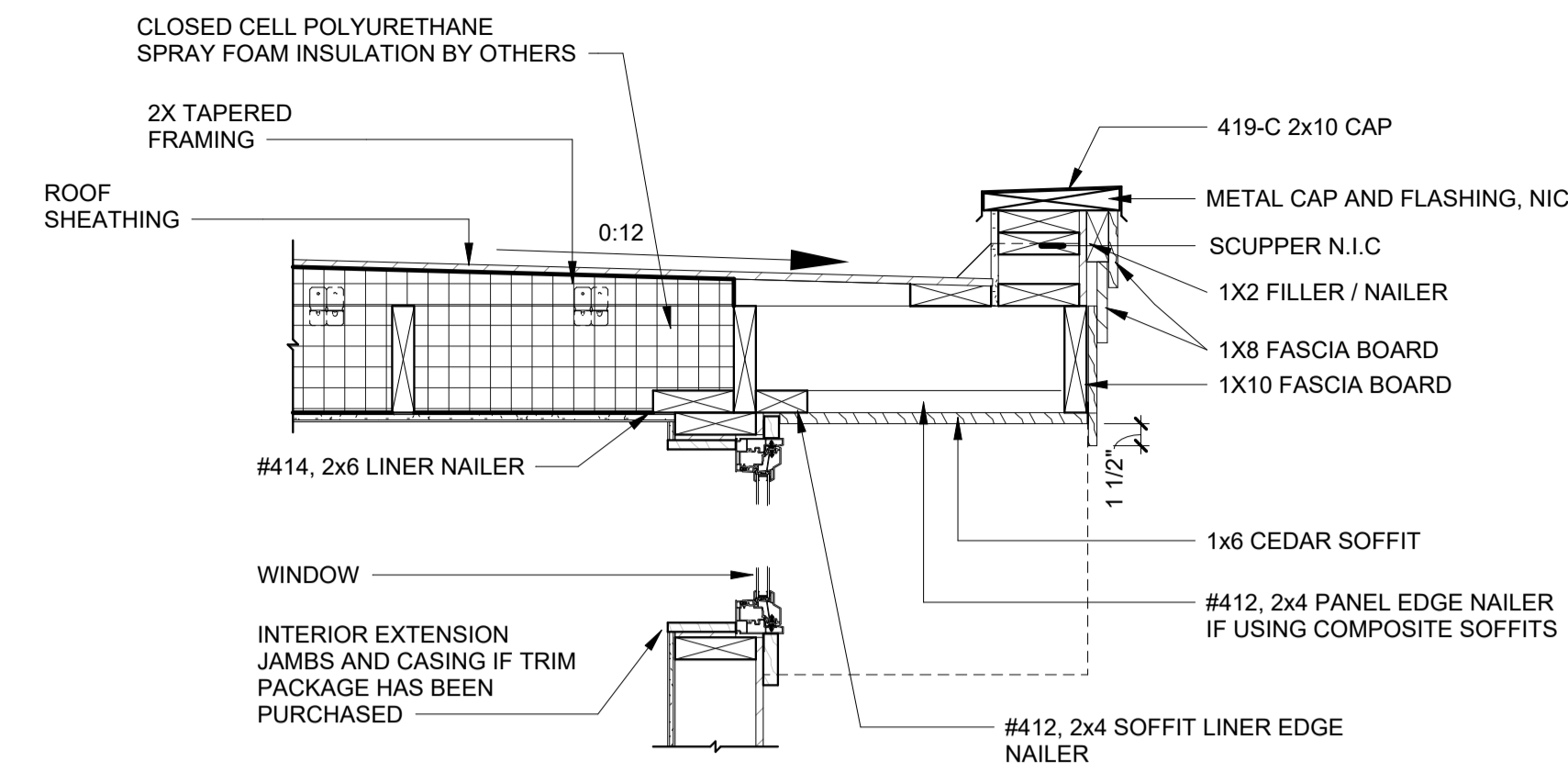
WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

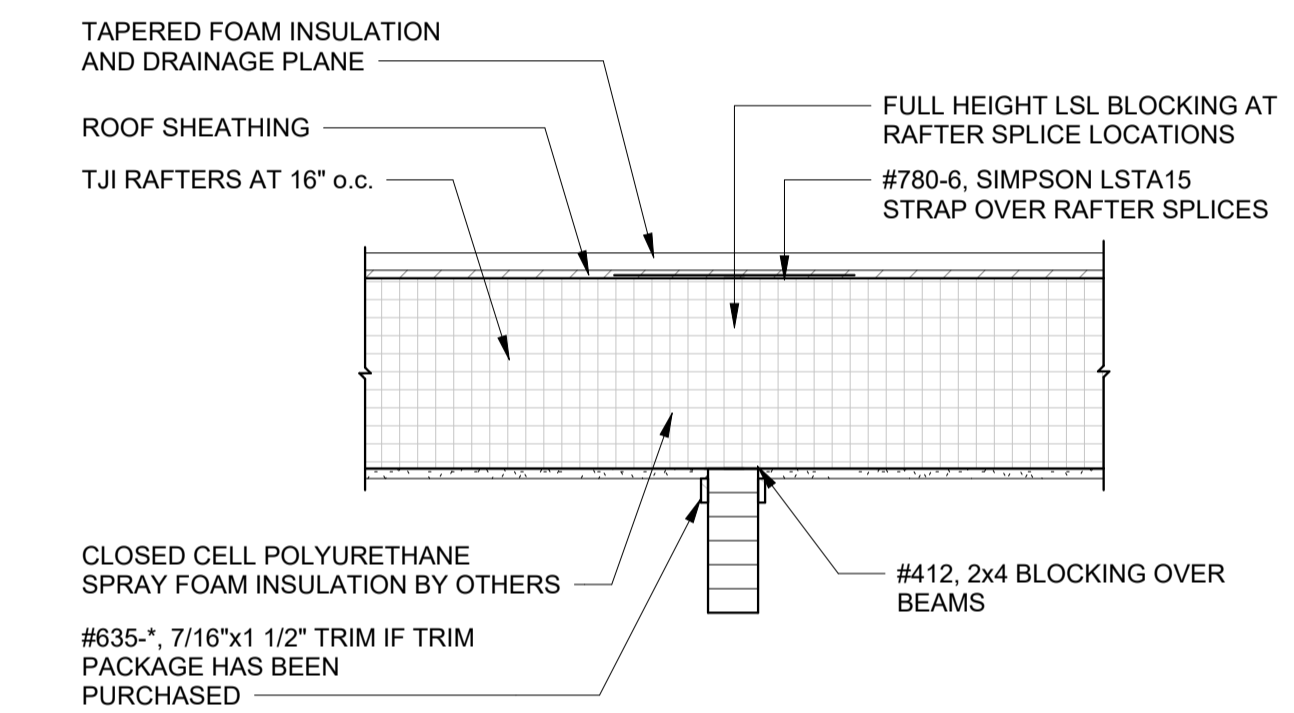
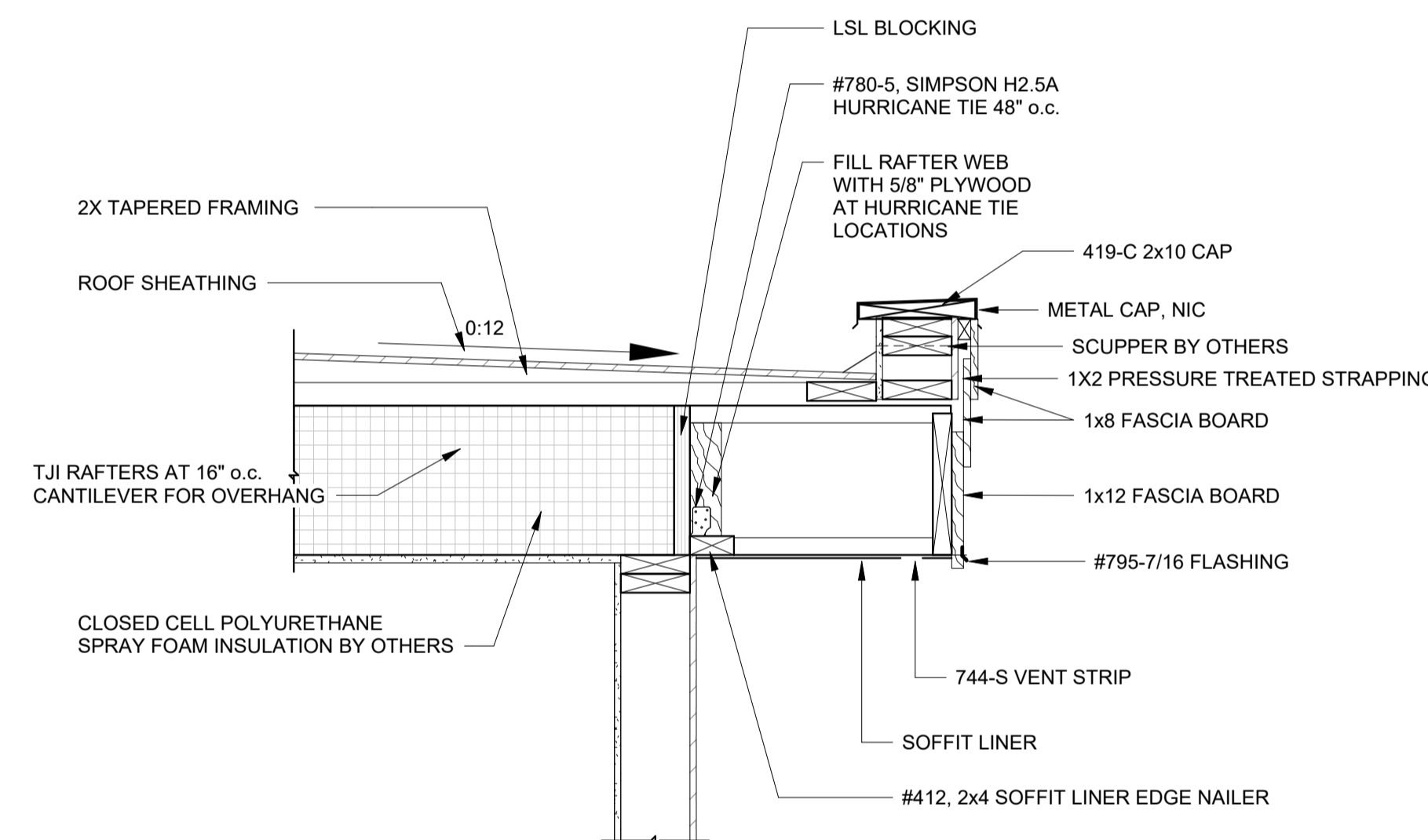
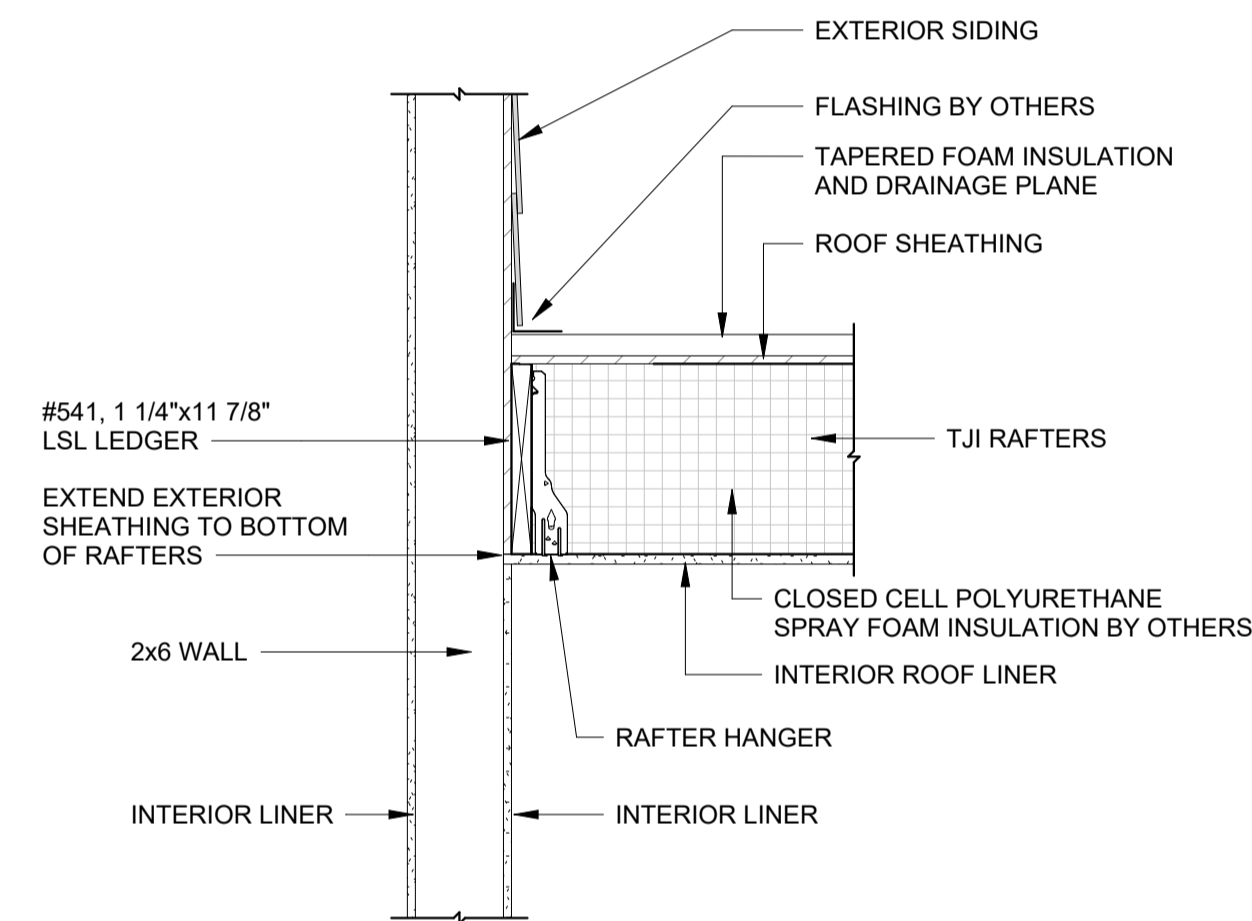
7929 EAST MERCER WAY
MERCER ISLAND WA 98040



1 2X8 RAFTER PARALLEL TO WALL WINDOW
A502 1" = 1'-0"

2 2X8 RAFTER SLOPE PERPENDICULAR TO BEAMS
A502 1" = 1'-0"

3 2X8 RAFTER TO BEAM
A502 1" = 1'-0"



4 11 7/8" TJI TO WALL
A502 1" = 1'-0"

5 11 7/8" TJI RAFTER CANTILEVER
A502 1" = 1'-0"

6 11 7/8" TJI TO BEAM
A502 1" = 1'-0"

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	REVISION DD	ES	7/15/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



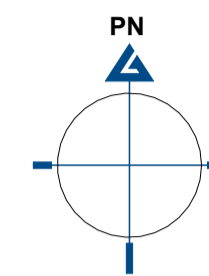
MODEL

ELEMENT CUSTOM HOME

DETAILS - ROOF

Scale: 1" = 1'-0"

A502



PROJECT NORTH

LINDAL DEALER

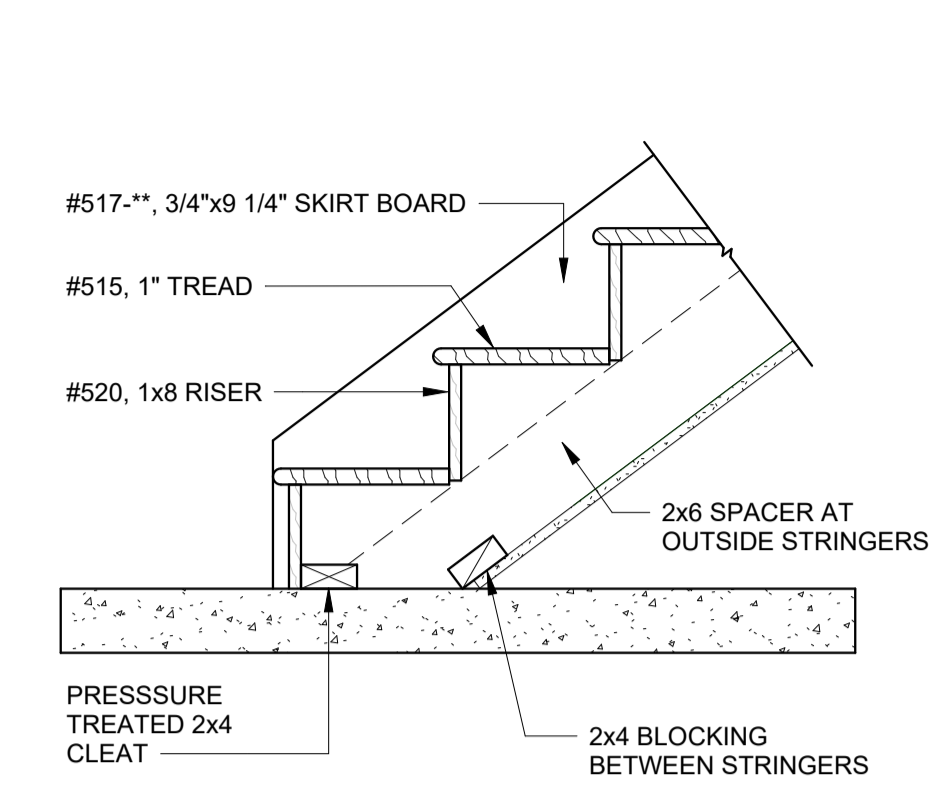
WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

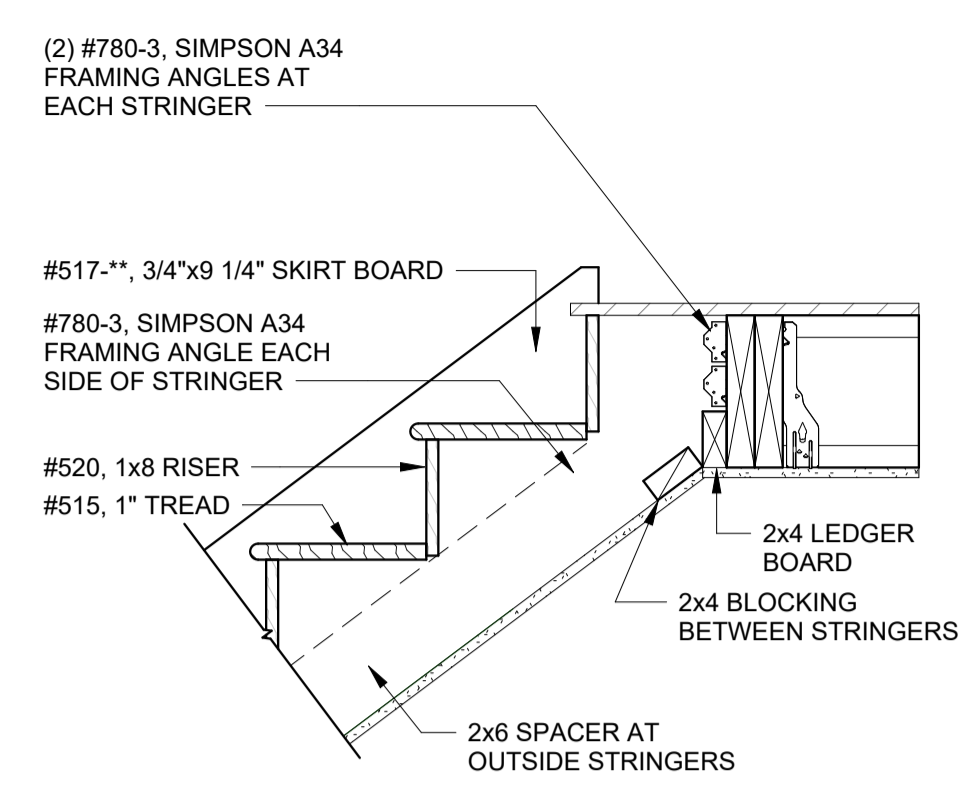
PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040



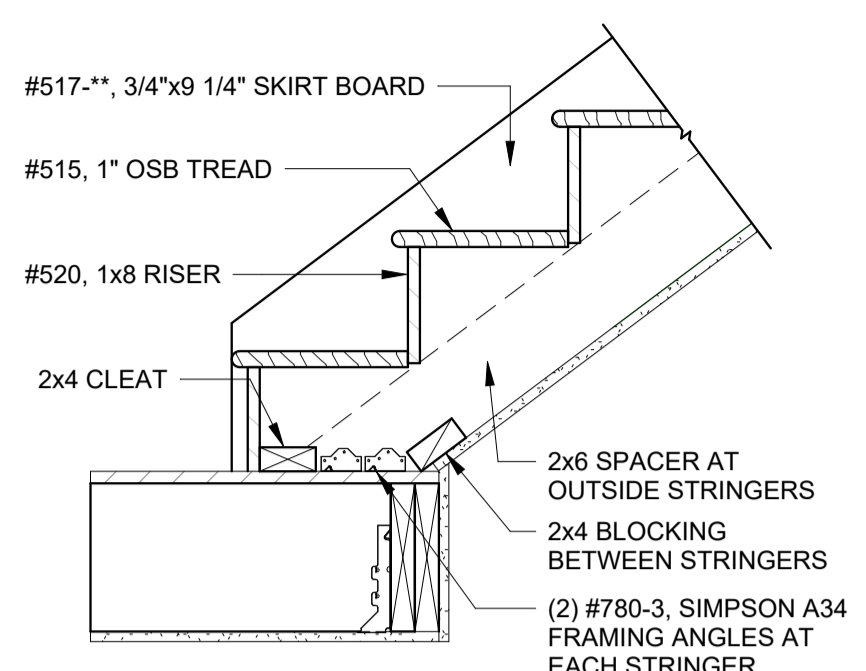
1 STAIRS AT BOTTOM TYP CONCRETE

1" = 1'-0"



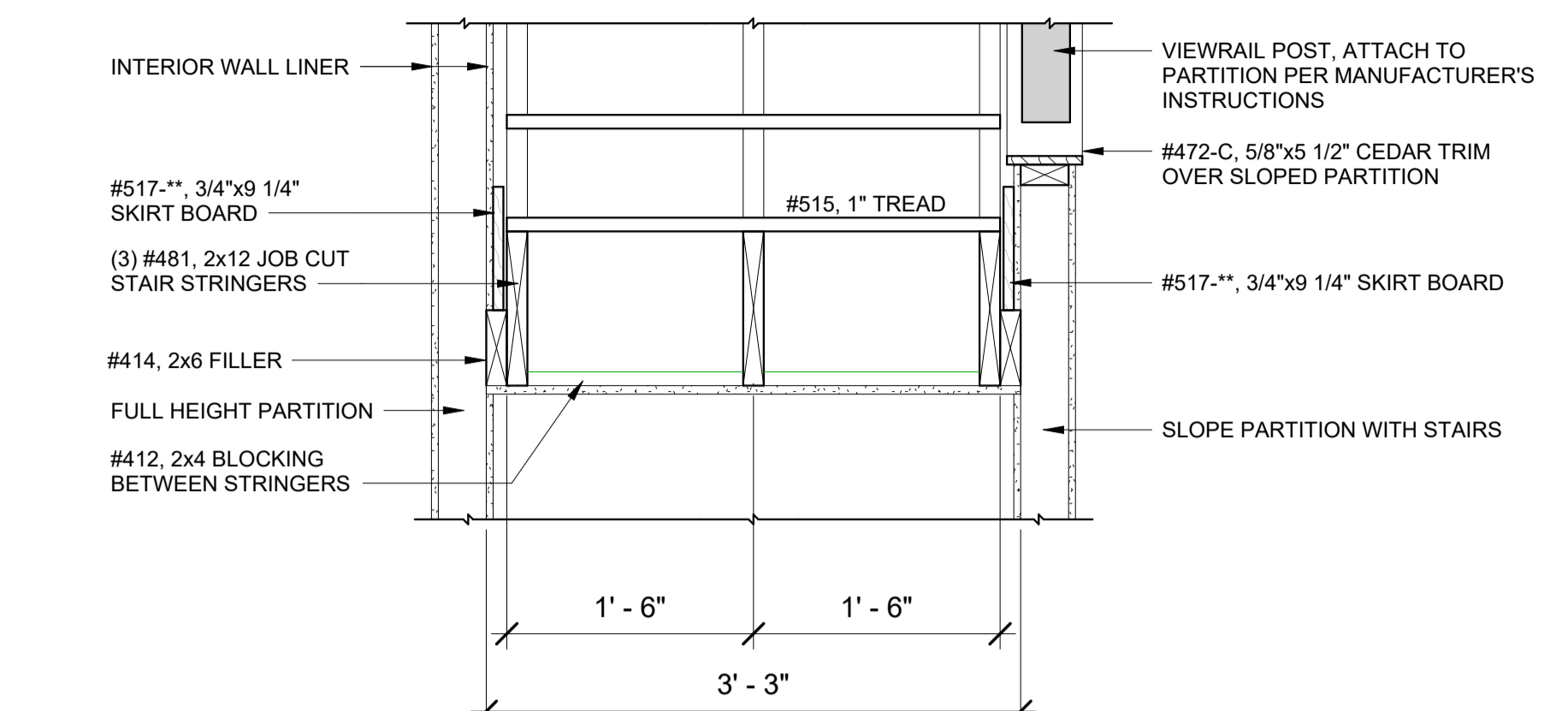
2 STAIRS AT TOP FLOOR TYP BY OTHERS

1" = 1'-0"



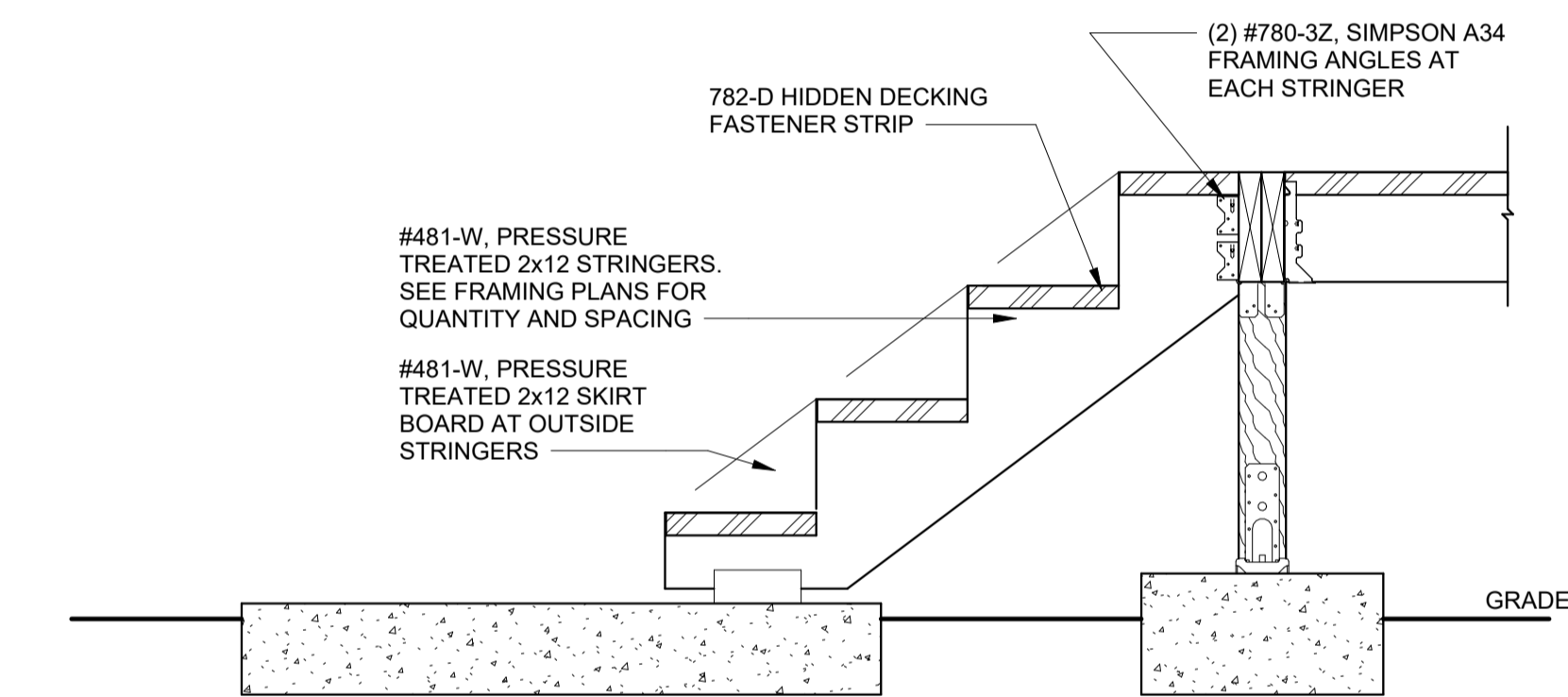
3 STAIRS AT BOTTOM TYP BY OTHERS

1" = 1'-0"



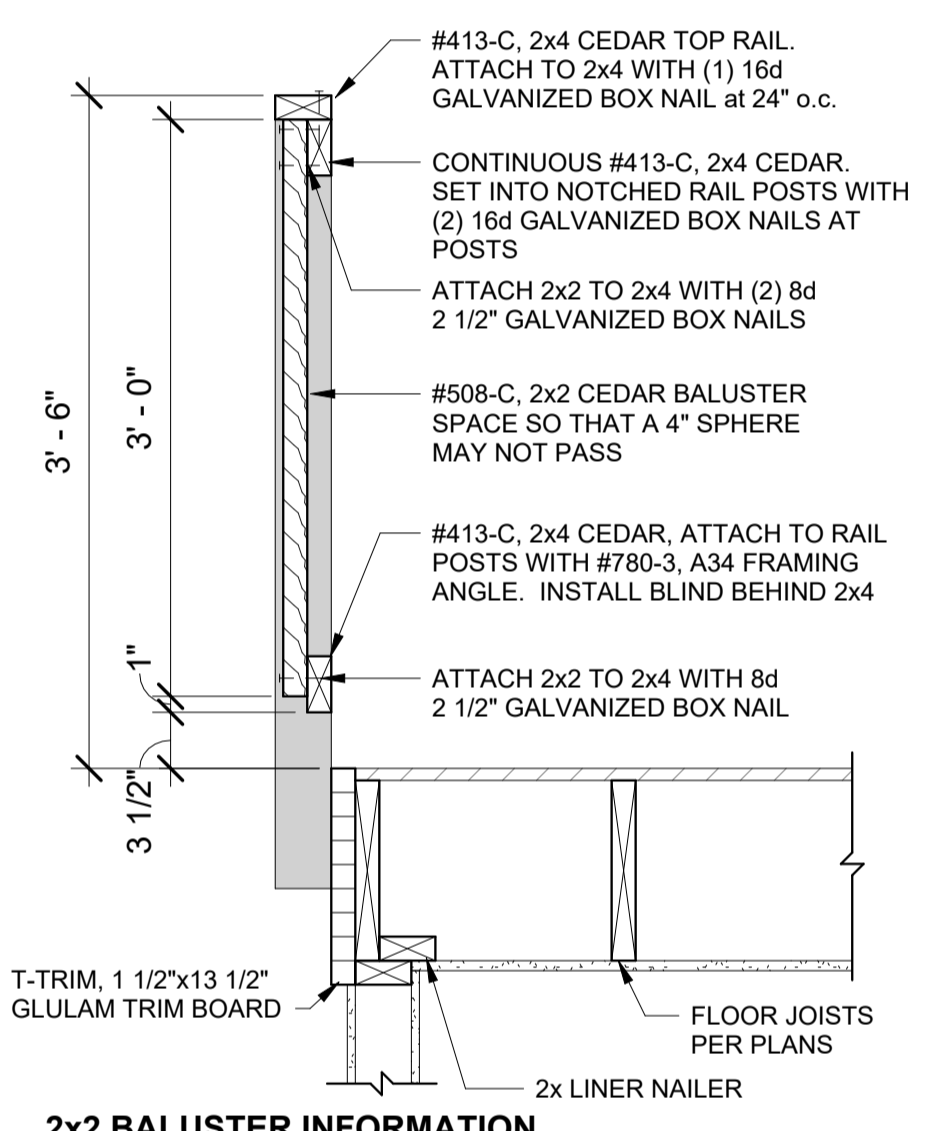
4 STAIR SECTION WALL 1 RAIL TYP BY OTHERS

A503 1" = 1'-0"

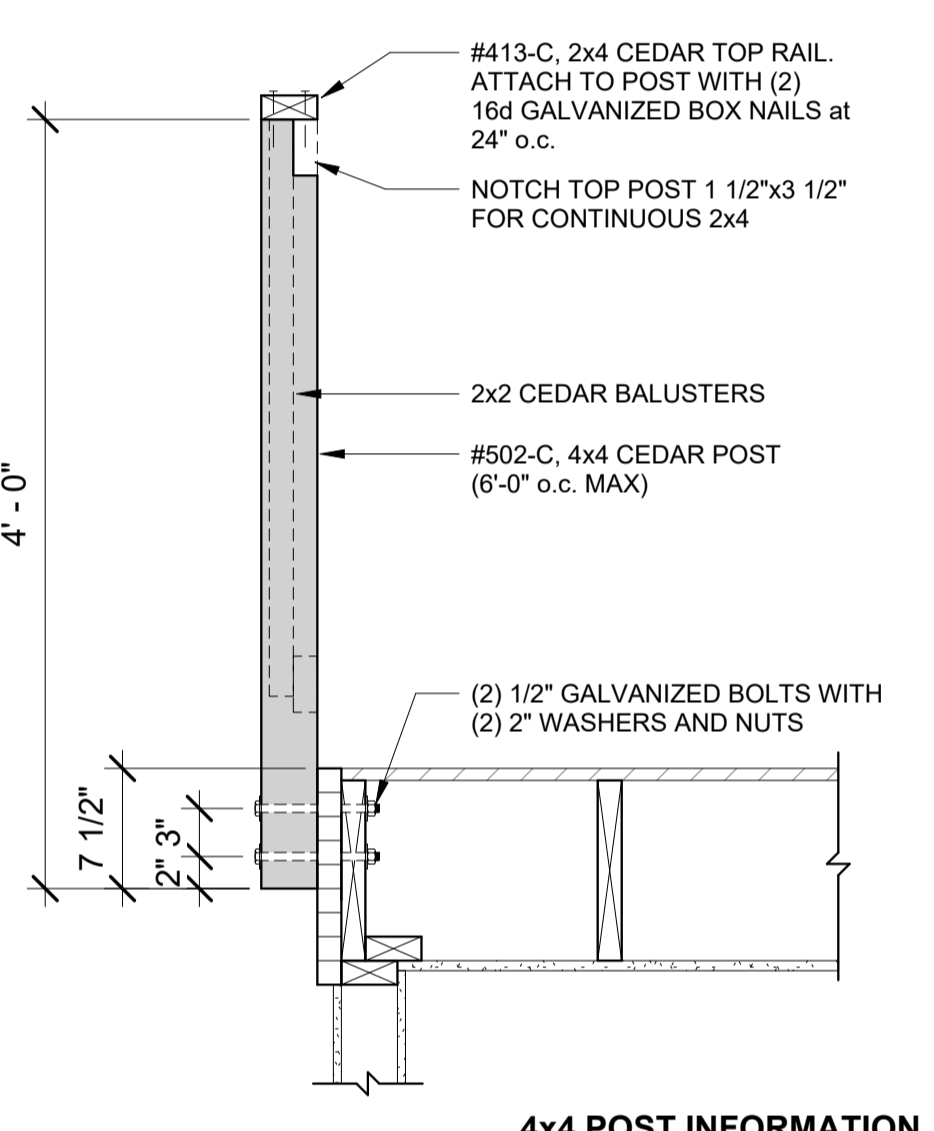


5 EXT PATIO STAIR

A503 1" = 1'-0"



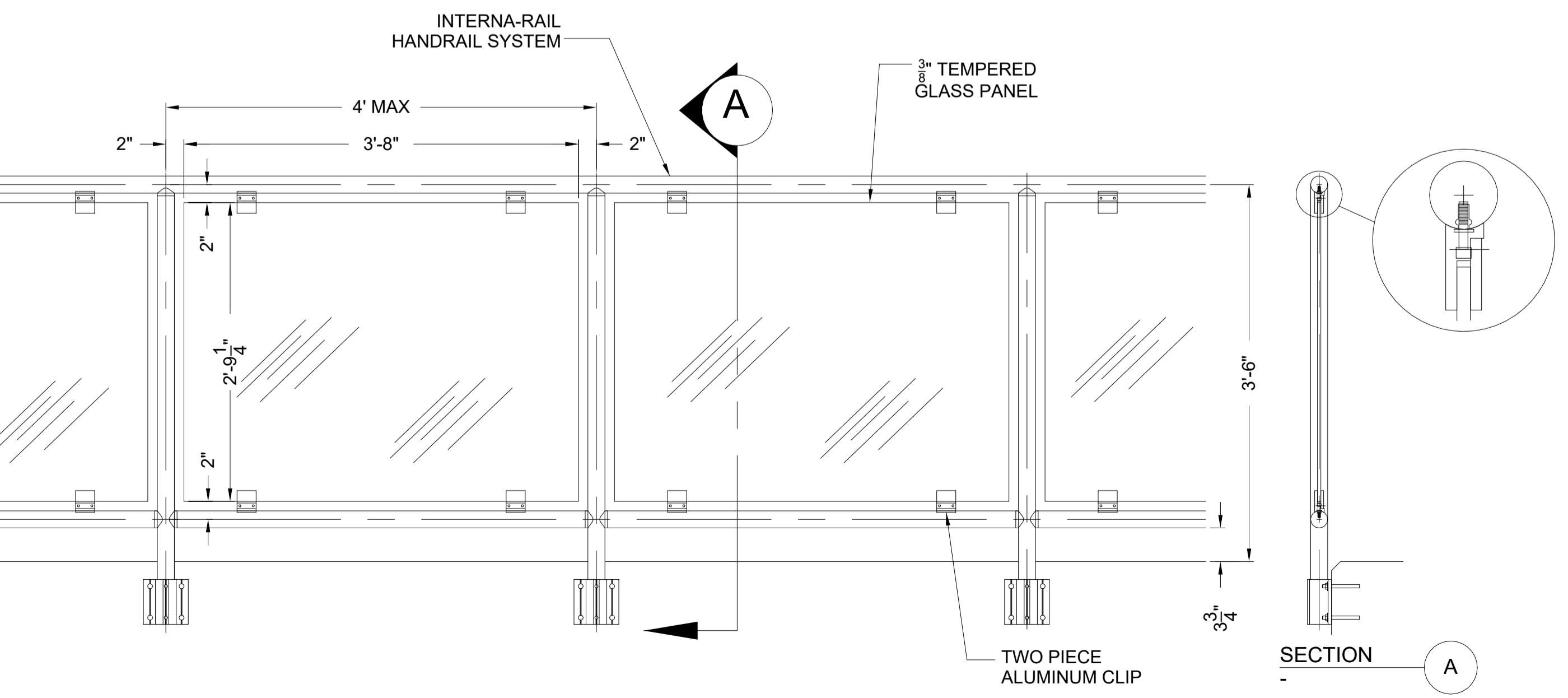
2x2 BALUSTER INFORMATION



4x4 POST INFORMATION

6 TYP RAILING

A503 1" = 1'-0"



7 TYP GLAZING RAILING

A503 1" = 1'-0"



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ISSUANCES

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SERIES



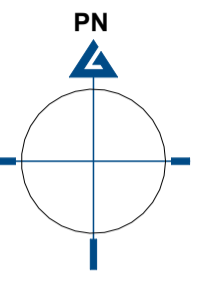
MODEL

ELEMENT CUSTOM HOME

DETAILS - STAIRS, DECKS & RAILINGS

Scale: 1" = 1'-0"

A503



PROJECT NORTH

LINDAL DEALER

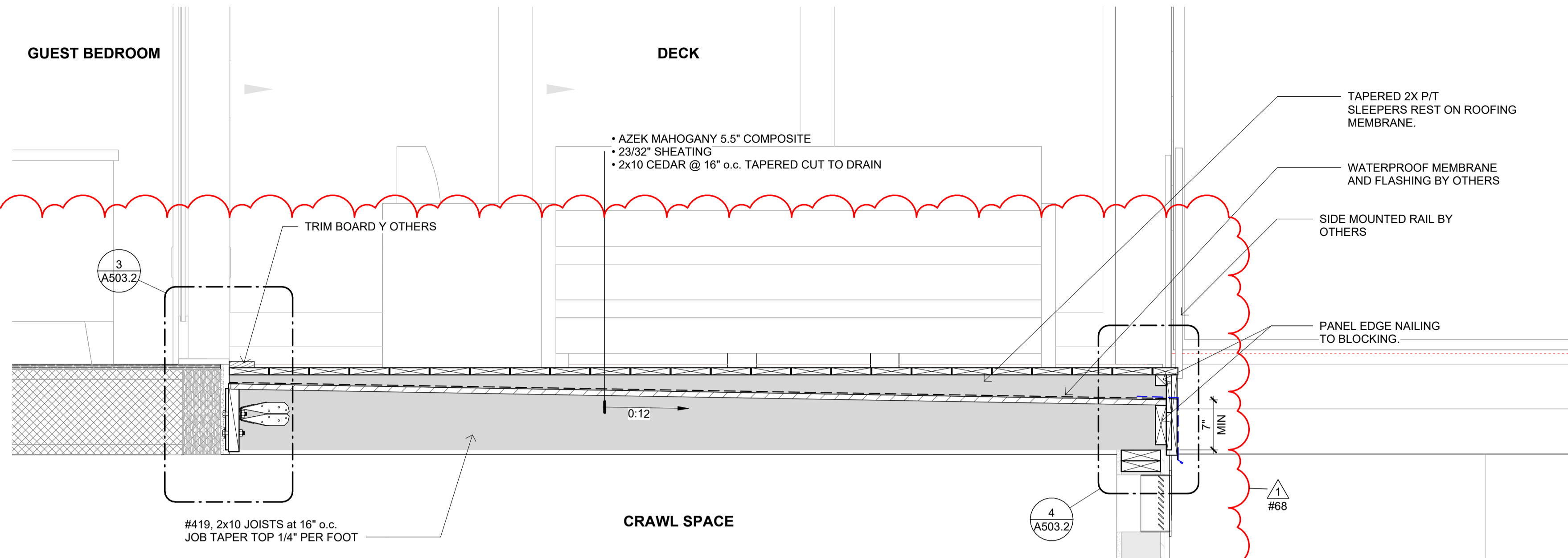
WARM MODERN LIVING

CLIENT

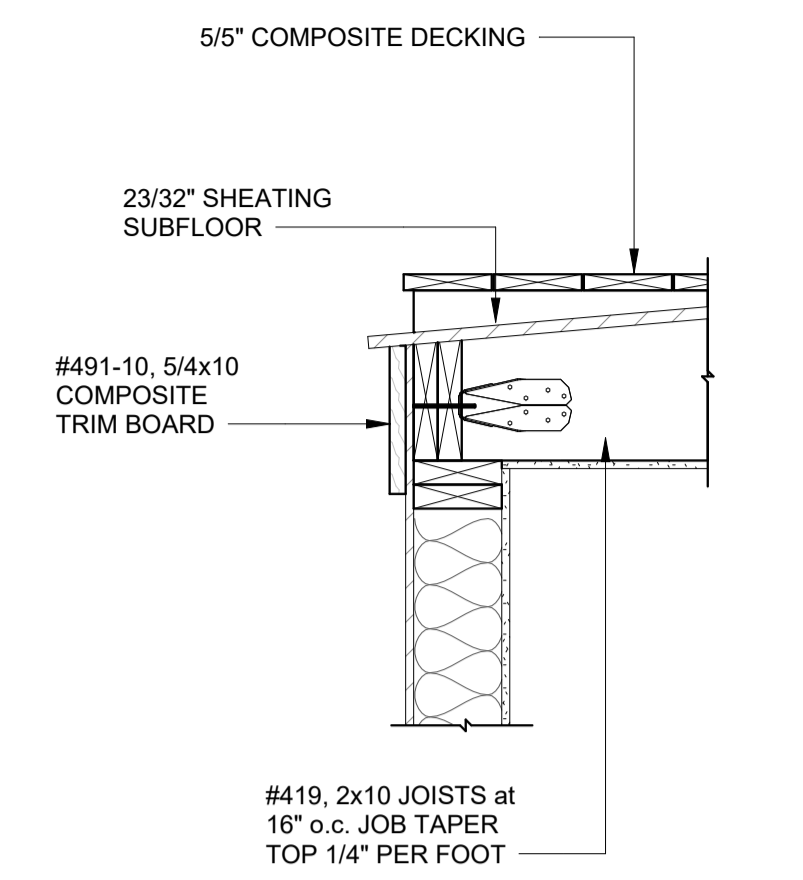
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

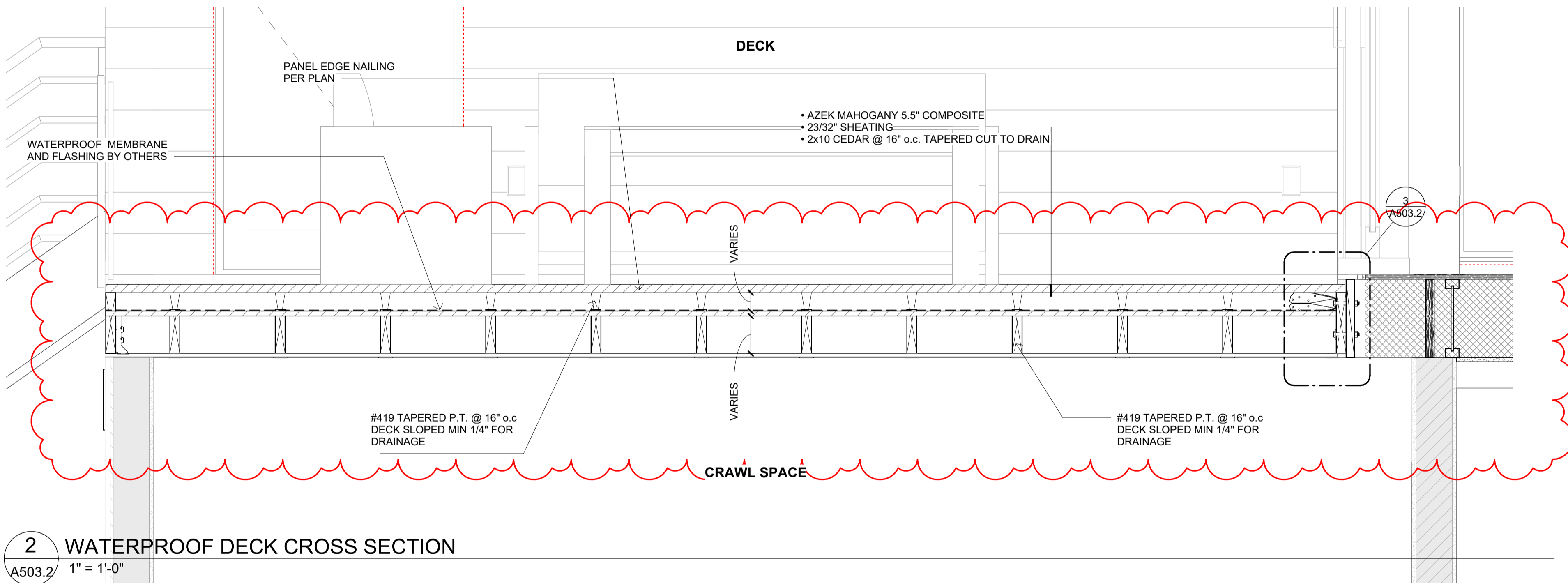
7929 EAST MERCER WAY
MERCER ISLAND WA 98040



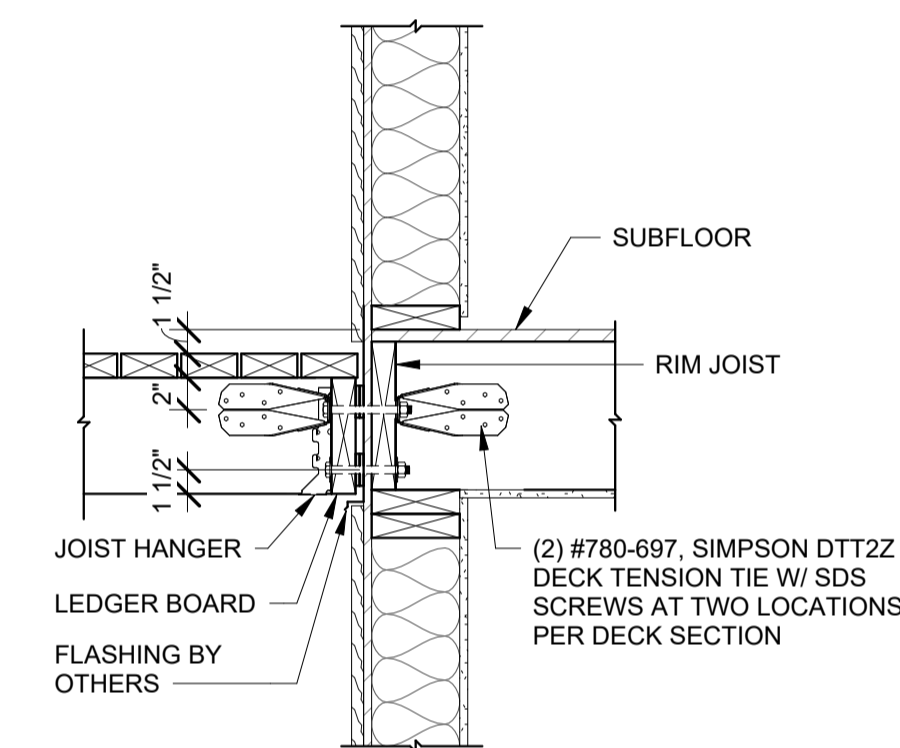
1 WATERPROOF DECK LONGITUDINAL SECTION
A503.2/ 1" = 1'-0"



4 DECK CONNECTION WALL
A503.2/ 1" = 1'-0"



2 WATERPROOF DECK CROSS SECTION
A503.2/ 1" = 1'-0"



3 DECK CONNECTION TIE
A503.2/ 1" = 1'-0"

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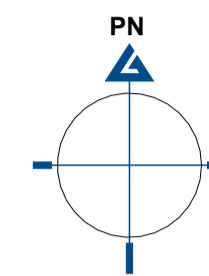
MODEL

ELEMENT CUSTOM HOME

DETAILS - DECKS

Scale: 1" = 1'-0"

A503.2



PROJECT NORTH

LINDAL DEALER

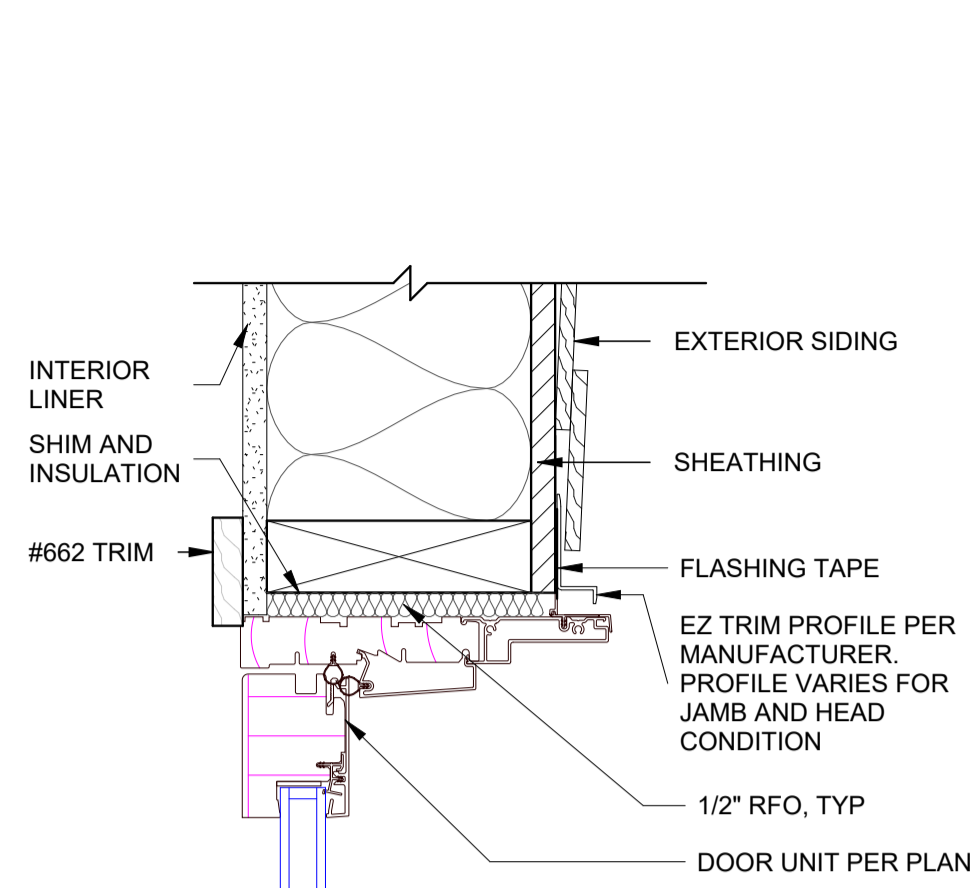
WARM MODERN LIVING

CLIENT

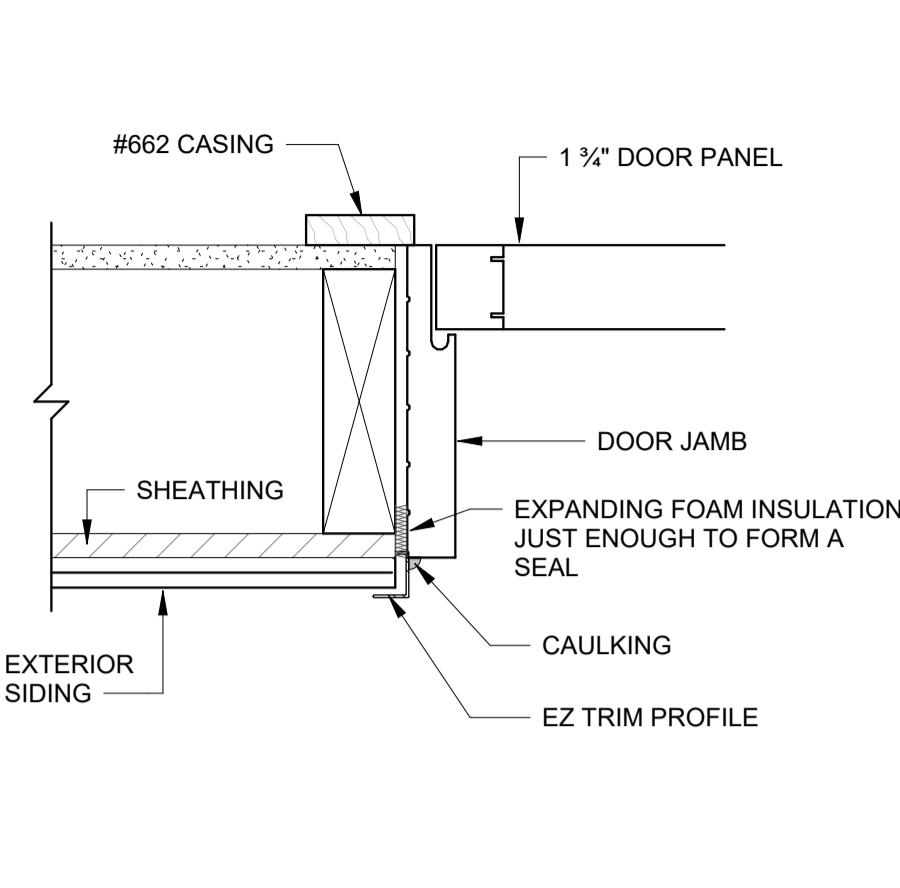
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

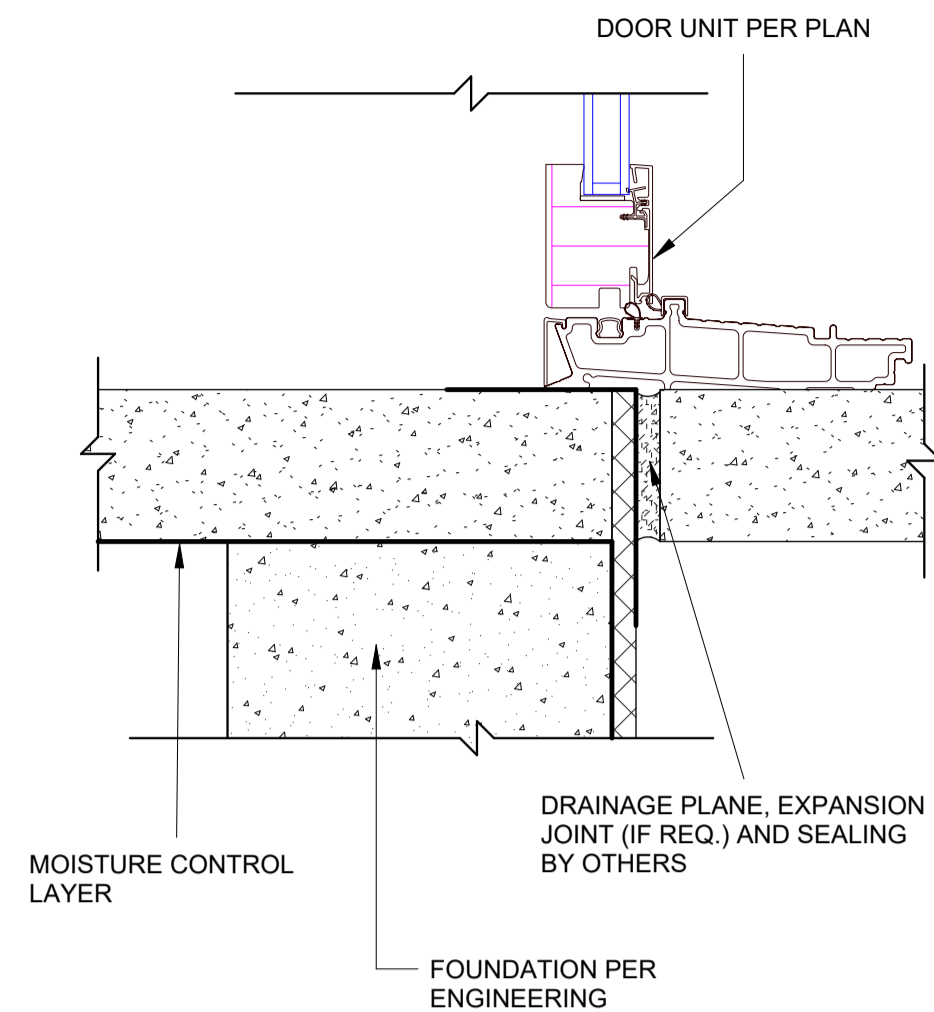
7929 EAST MERCER WAY
MERCER ISLAND WA 98040



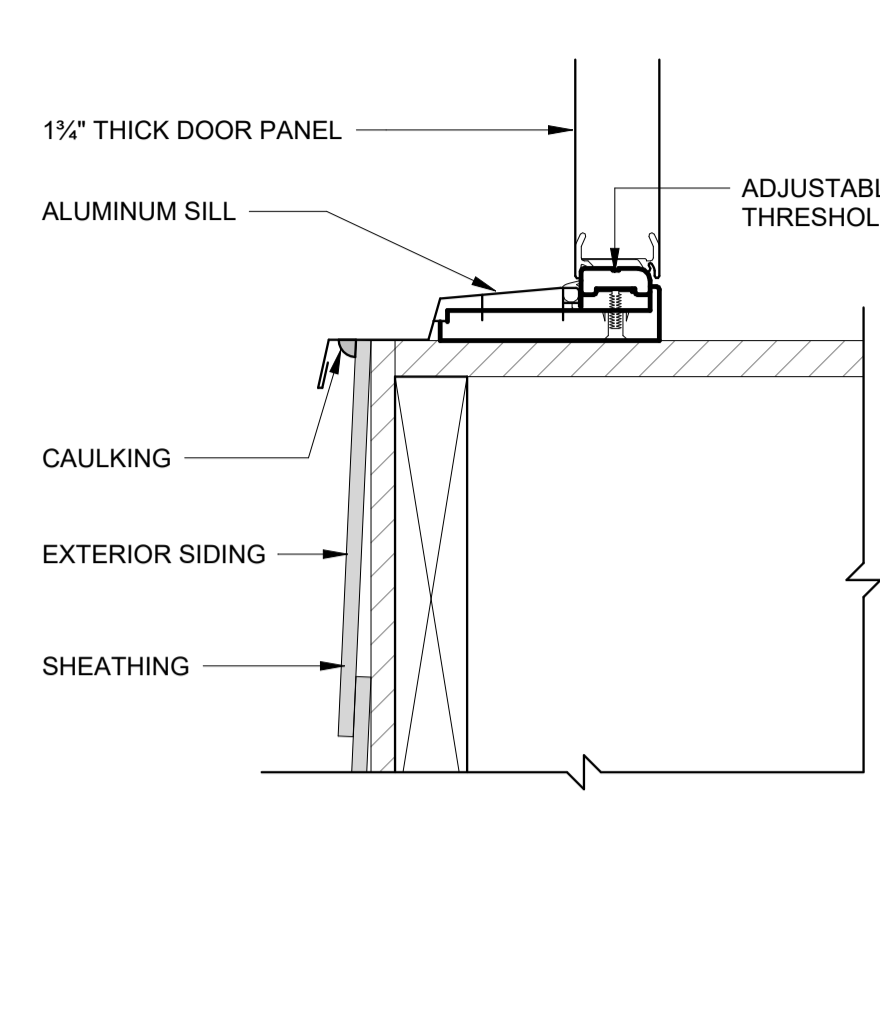
1 EXT DOOR HEAD
A504 3" = 1'-0"



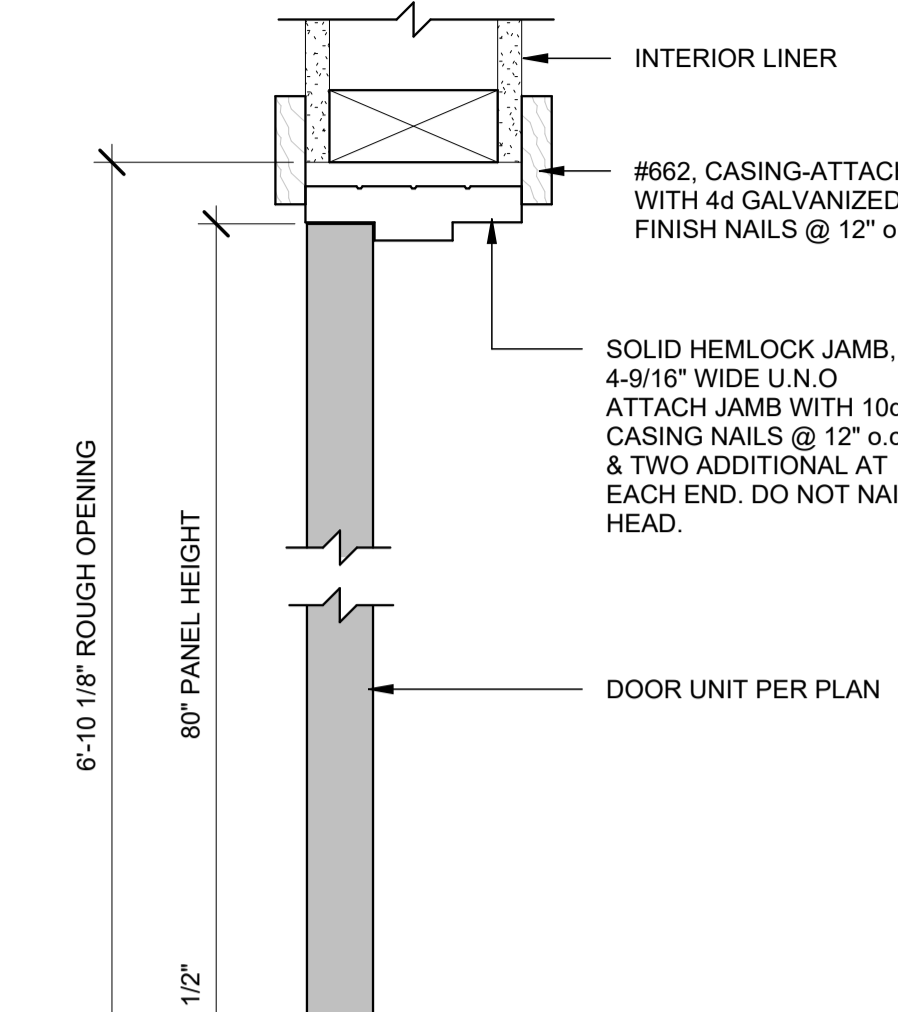
2 EXT DOOR JAMB
A504 3" = 1'-0"



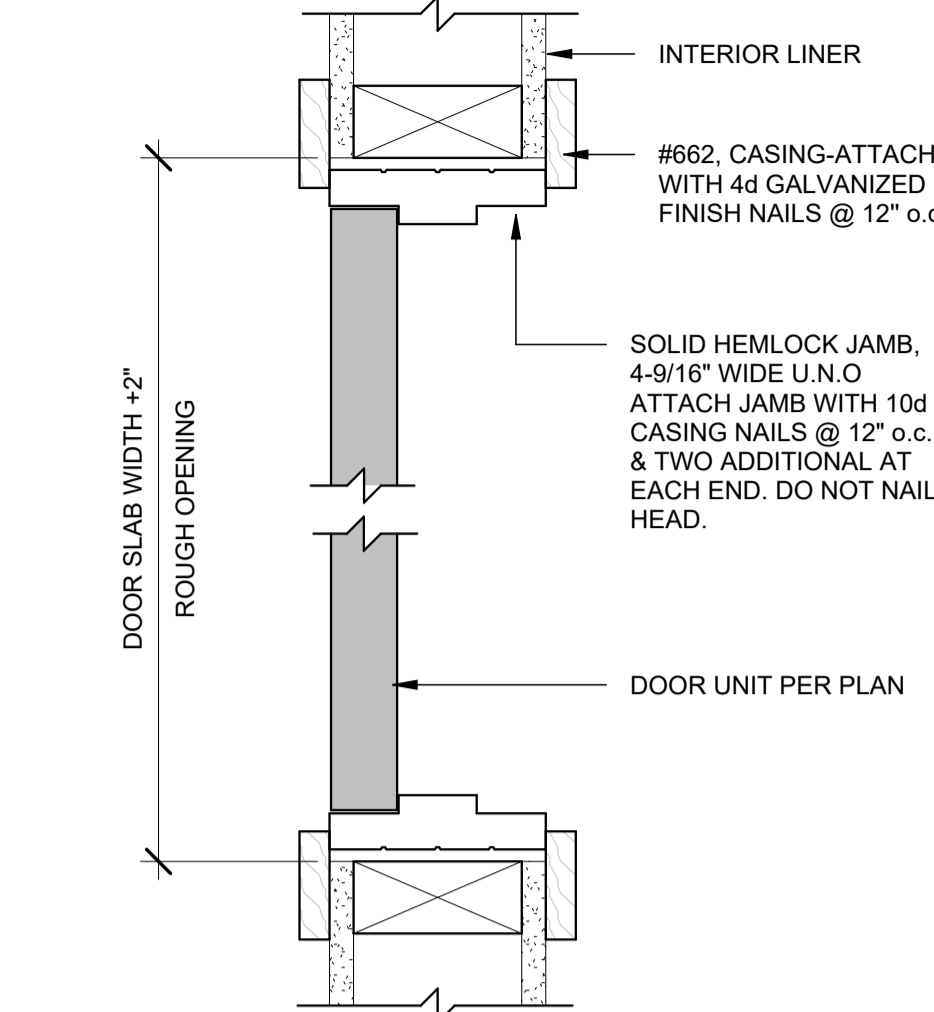
3 EXT DOOR SILL
A504 3" = 1'-0"



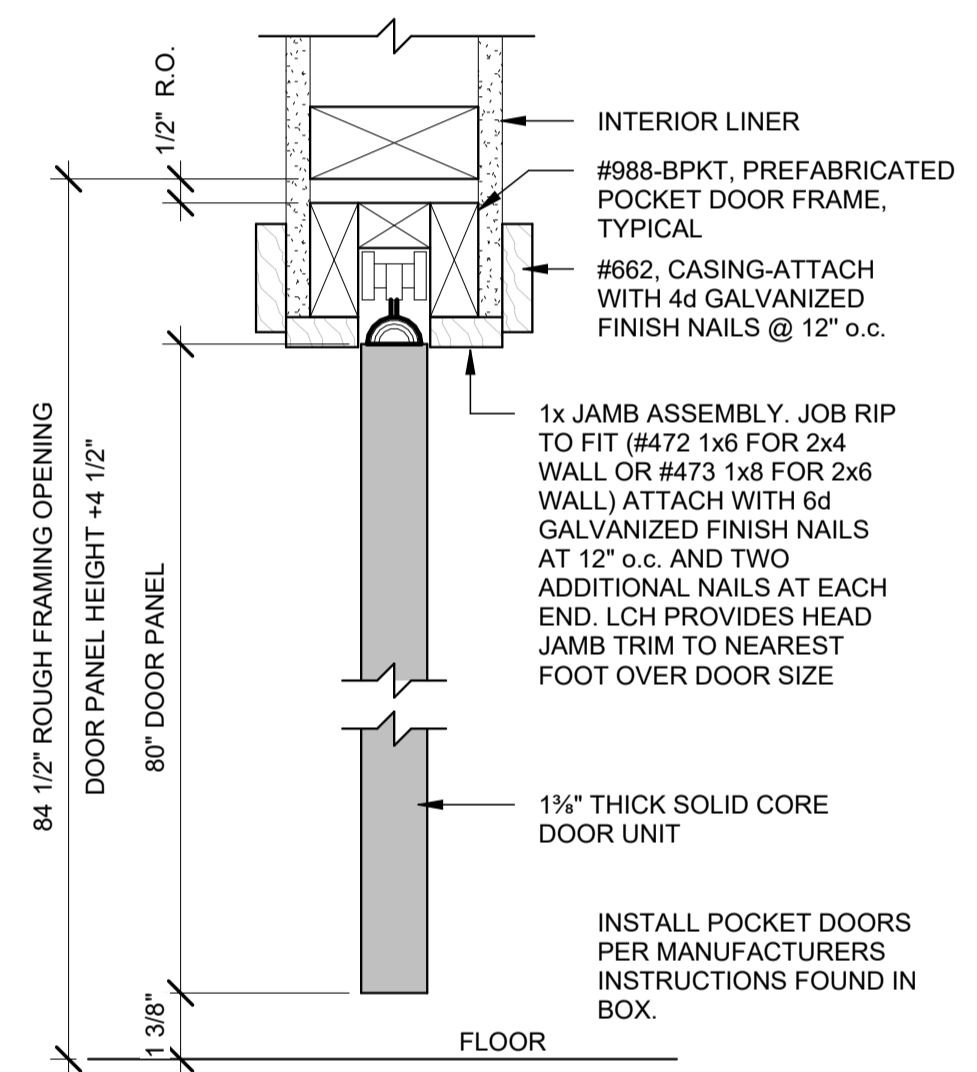
4 EXT DOOR SILL JOIST
A504 3" = 1'-0"



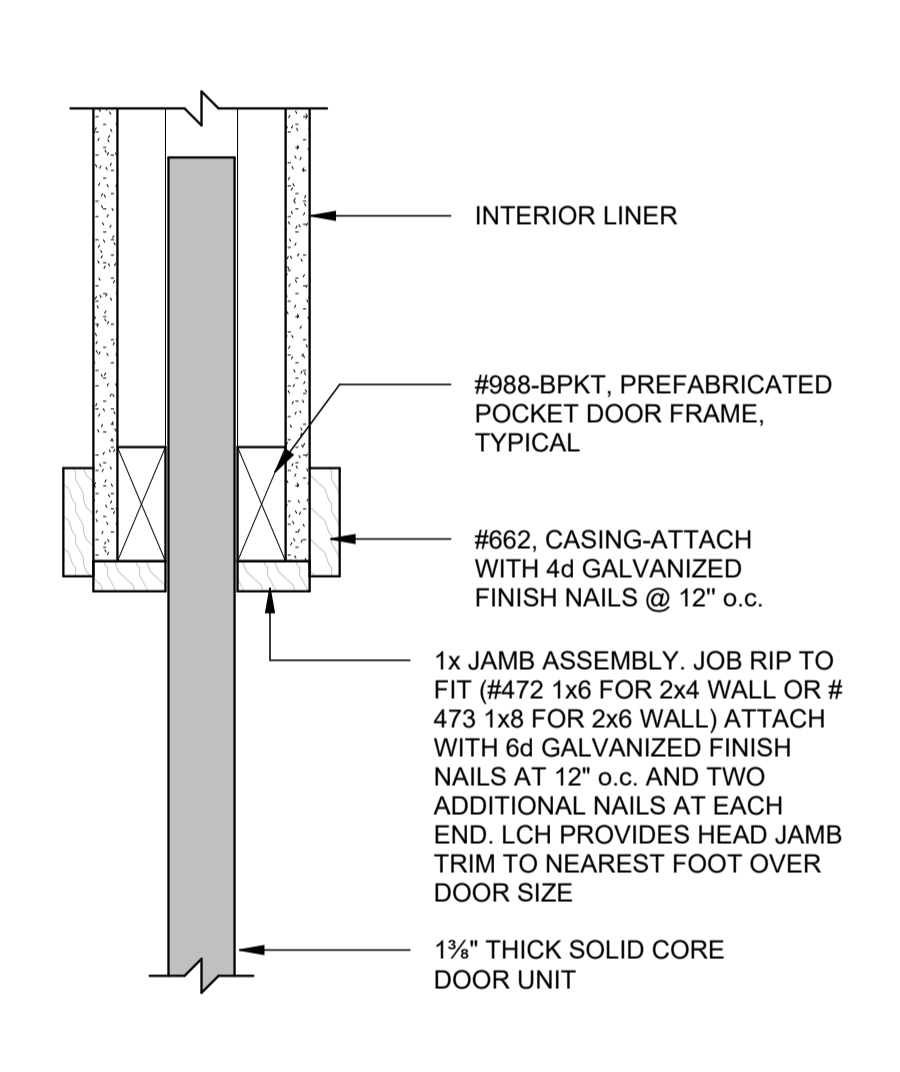
5 INT DOOR HEAD
A504 3" = 1'-0"



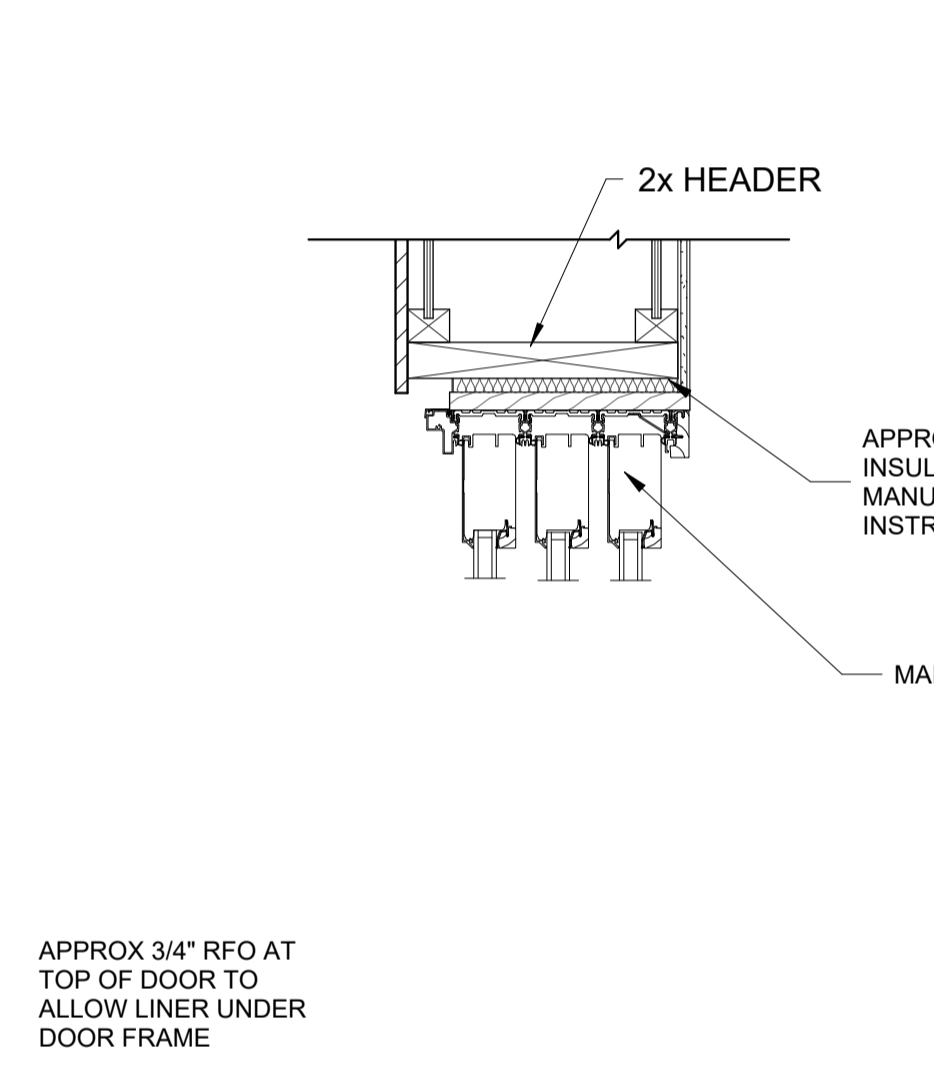
6 INT DOOR JAMB
A504 3" = 1'-0"



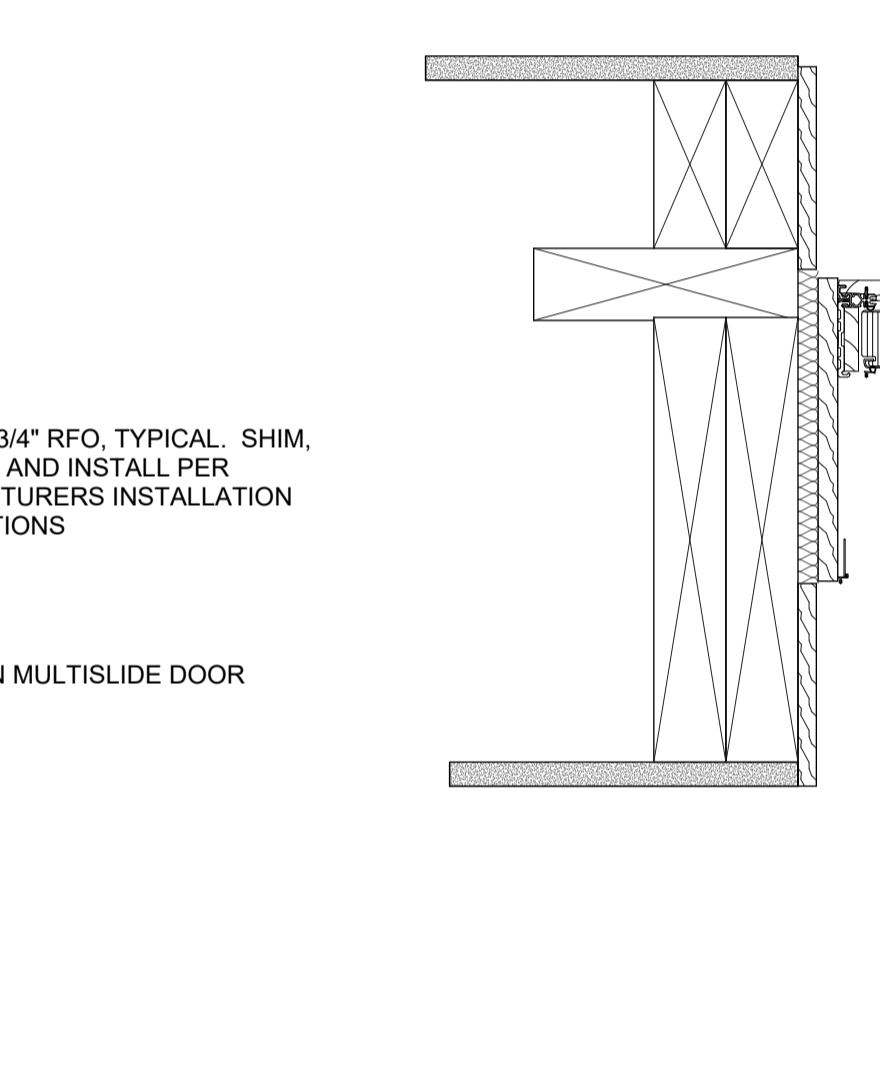
7 POCKET DOOR HEAD
A504 3" = 1'-0"



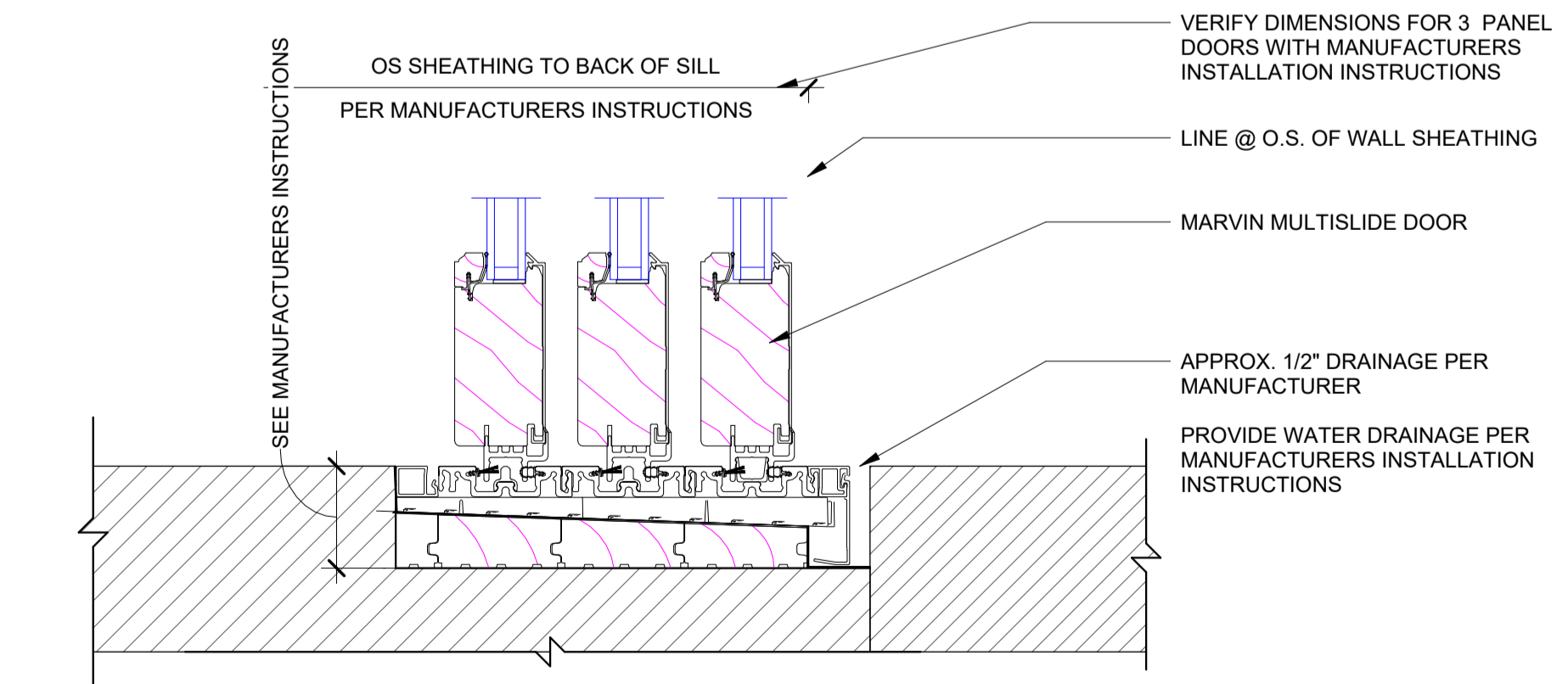
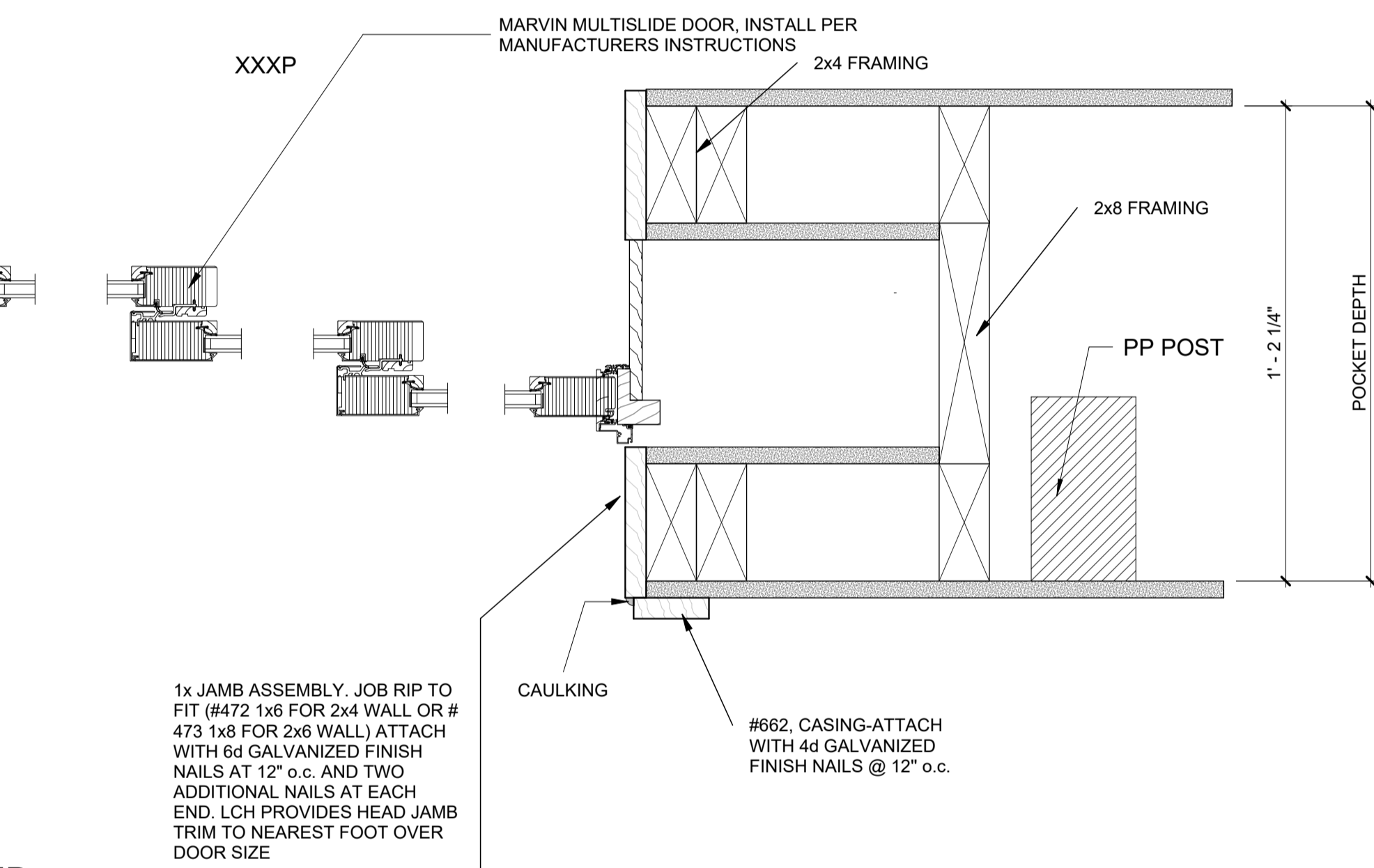
8 POCKET DOOR JAMB
A504 3" = 1'-0"



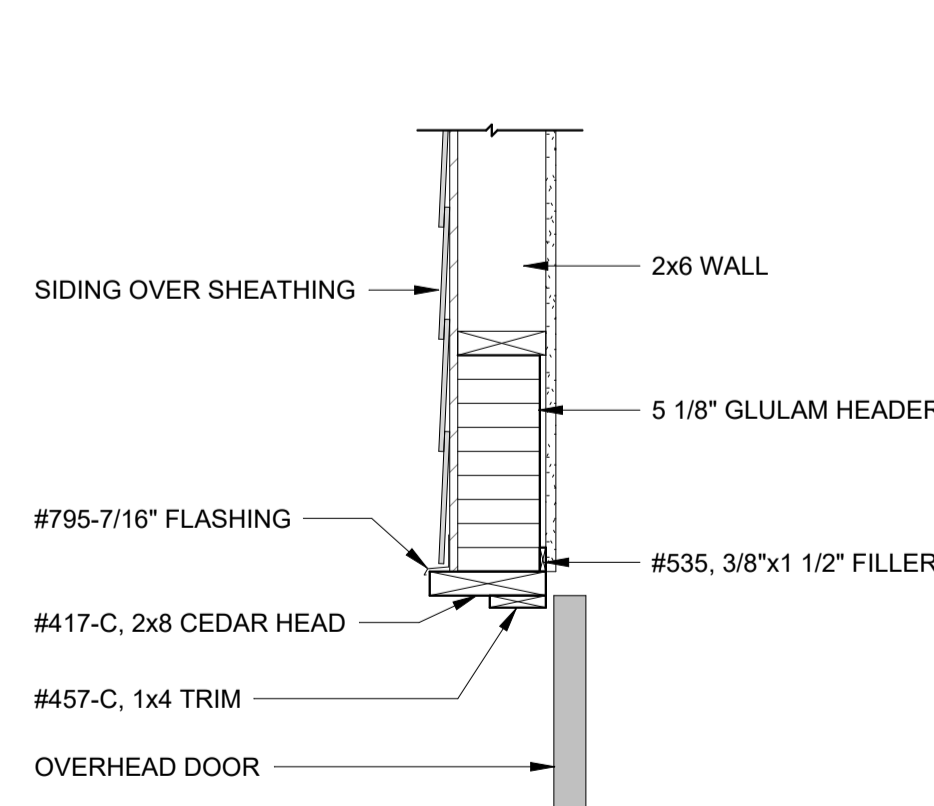
9 MULTI SLIDE HEAD
A504 1 1/2" = 1'-0"



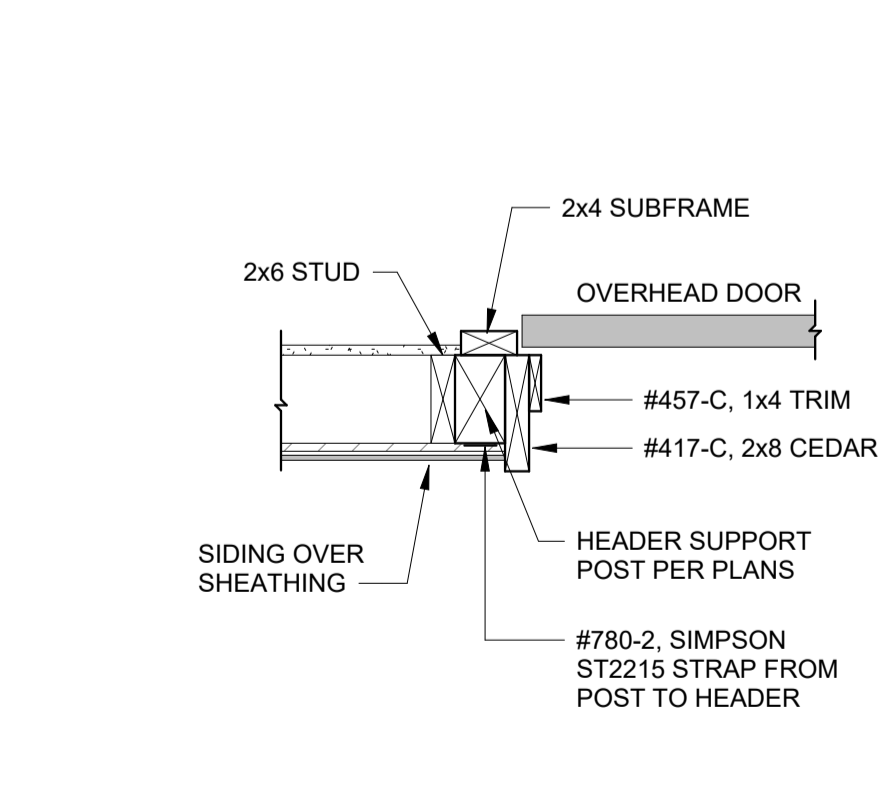
10 MULTI SLIDE JAMB
A504 3" = 1'-0"



11 MARVIN 3 PANEL SILL
A504 3" = 1'-0"



12 OVERHEAD GARAGE DOOR HEADER
1" = 1'-0"



13 OVERHEAD GARAGE DOOR JAMB
1" = 1'-0"

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ISSUANCES

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42255

SERIES



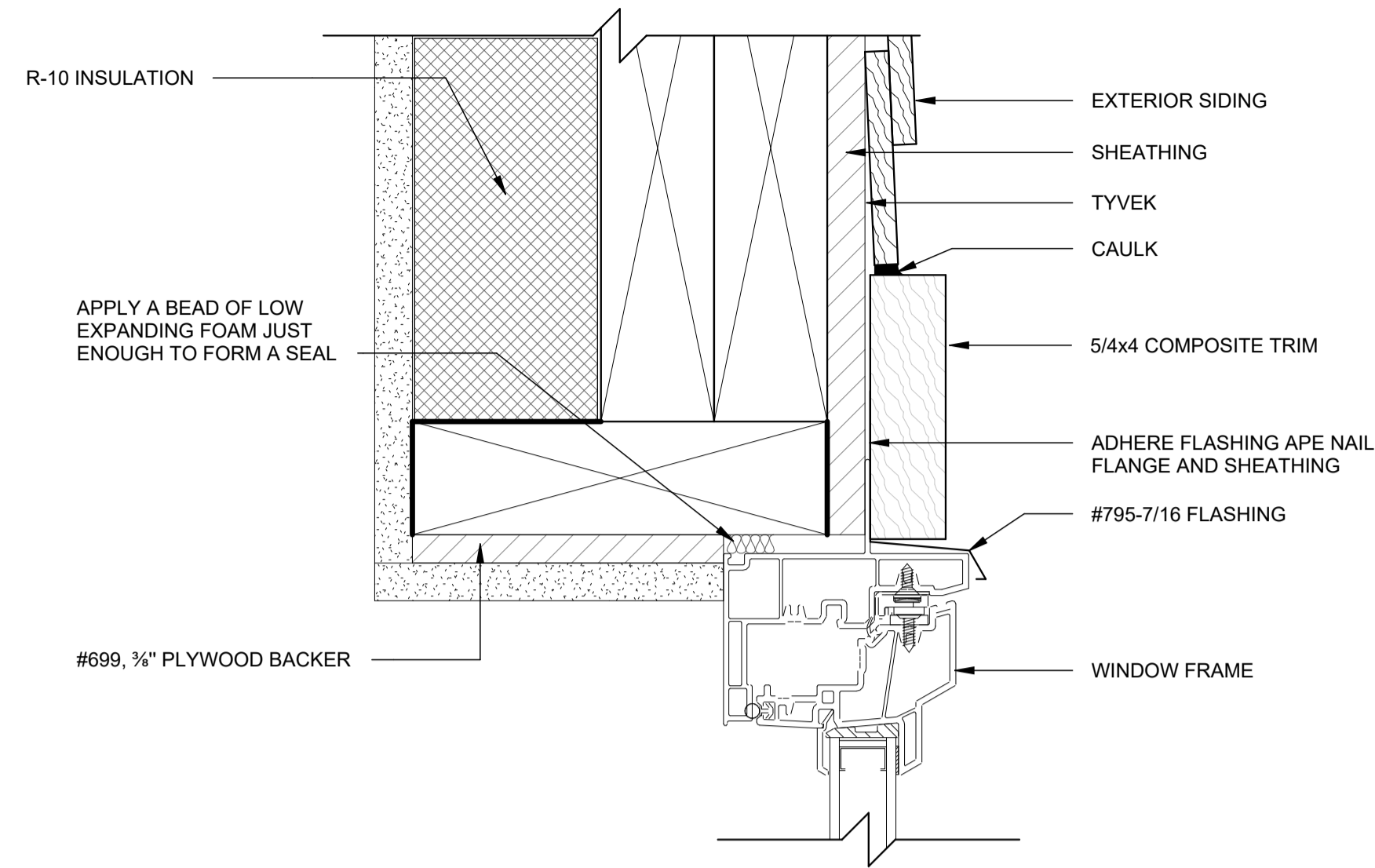
MODEL

ELEMENT CUSTOM HOME

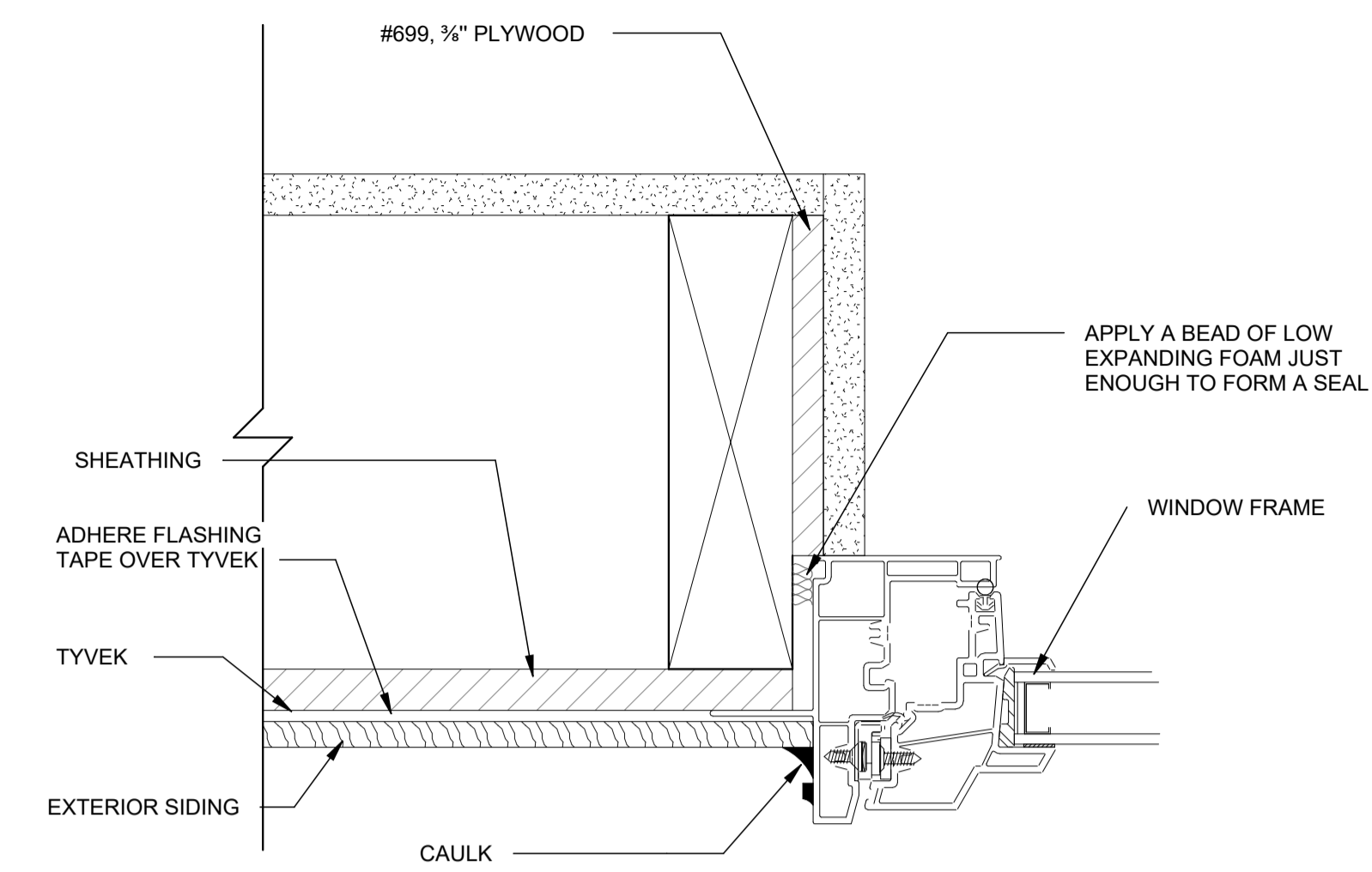
DETAILS - DOORS

Scale: As indicated

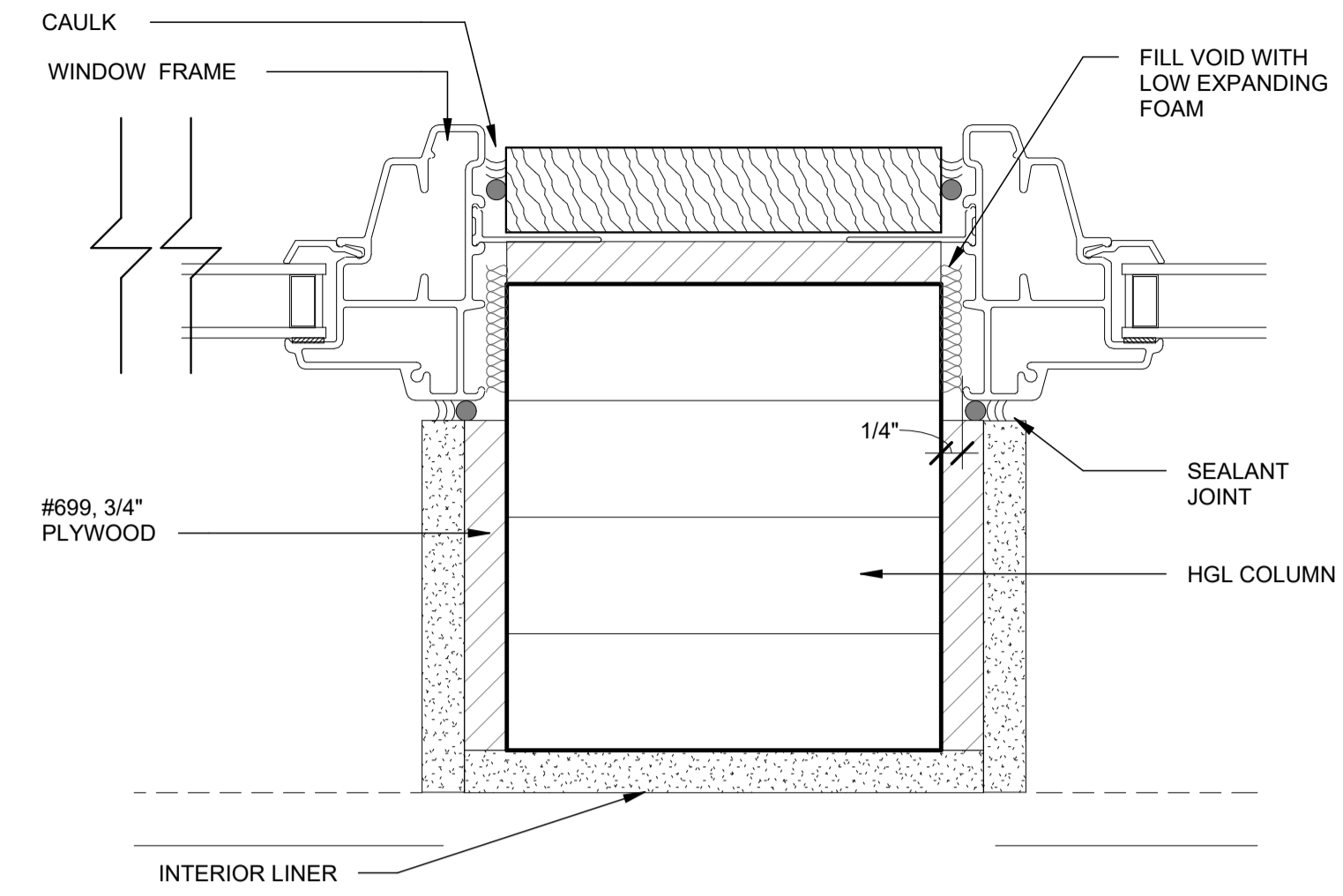
A504



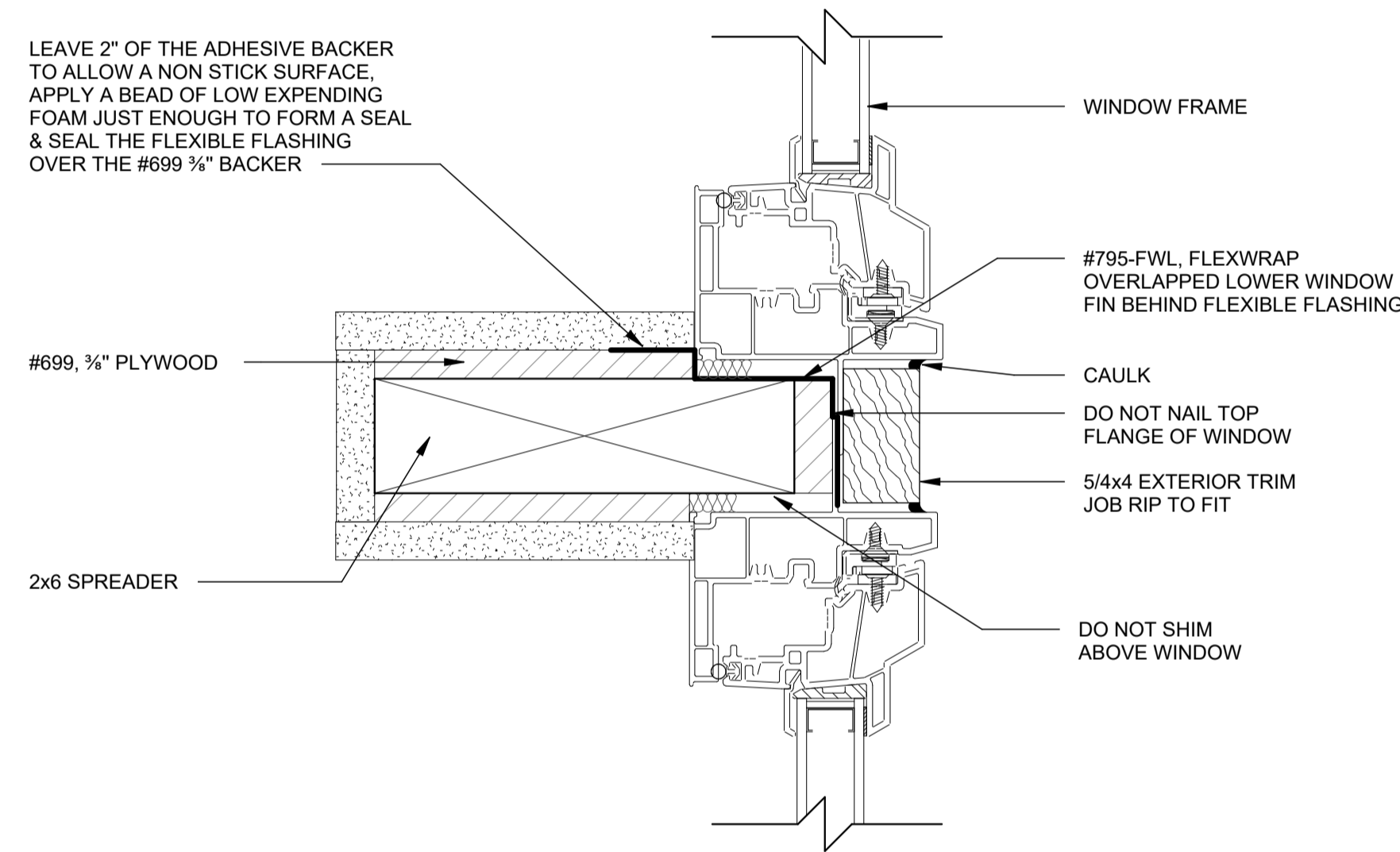
1 WINDOW HEAD TYP
A505 6" = 1'-0"



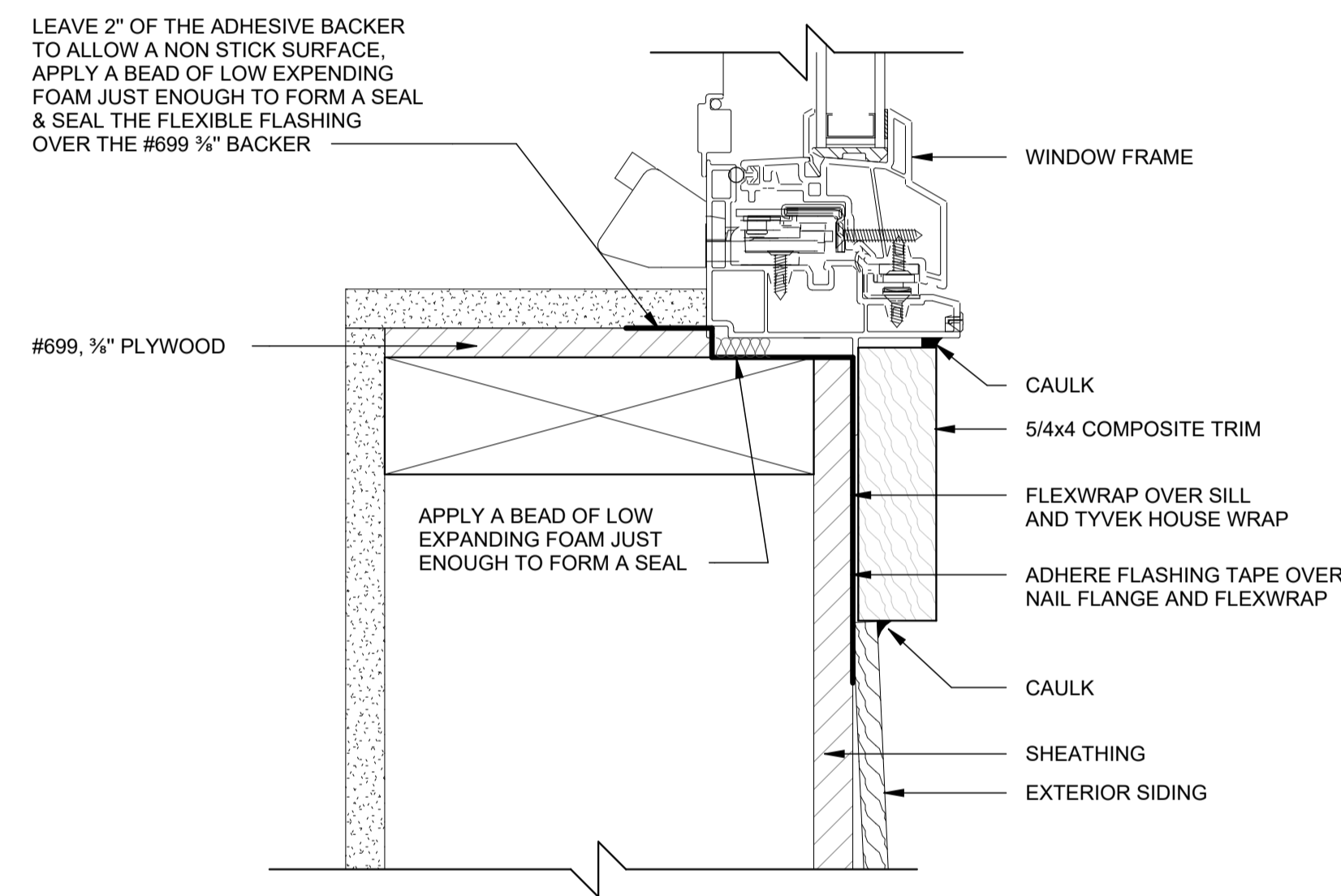
2 WINDOW JAMB
A505 6" = 1'-0"



3 WINDOW JAMB @ POST
A505 6" = 1'-0"



4 WINDOW 2X6 SPREADER
A505 6" = 1'-0"



5 WINDOW SILL TYP
A505 6" = 1'-0"

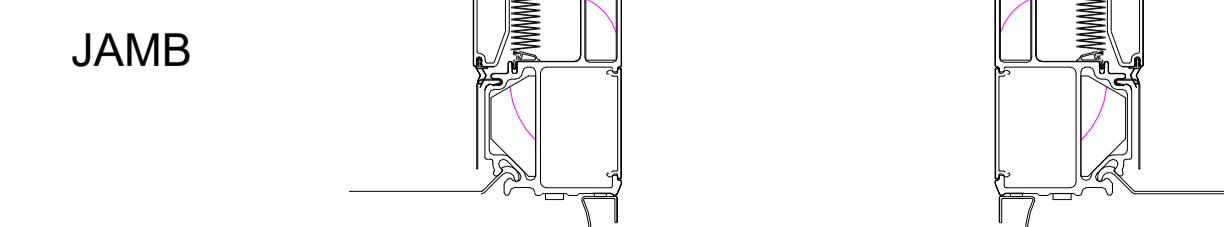
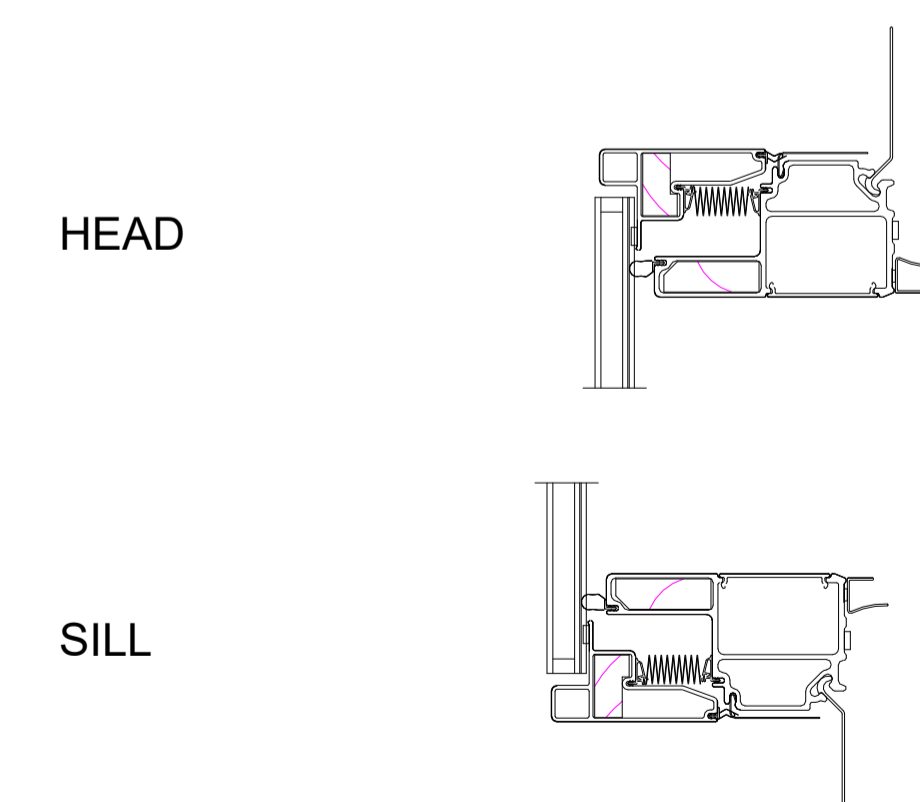
(3) 2x WITH 1/2" PLYWOOD OR OSB BETWEEN EACH MEMBER. USE 20d AT 32" o.c. AT TOP AND BOTTOM, STAGGERED WITH TWO AT EACH END AND EACH SIDE.

WINDOWS	FRAMING LENGTH
1'-9"	8'-0" RECUT
2'-3"	8'-0" RECUT
2'-6"	10'-0" RECUT
3'-6"	12'-0" RECUT
5'-0"	16'-0" RECUT

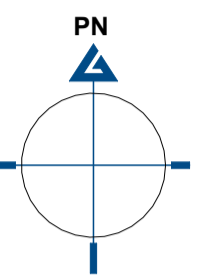
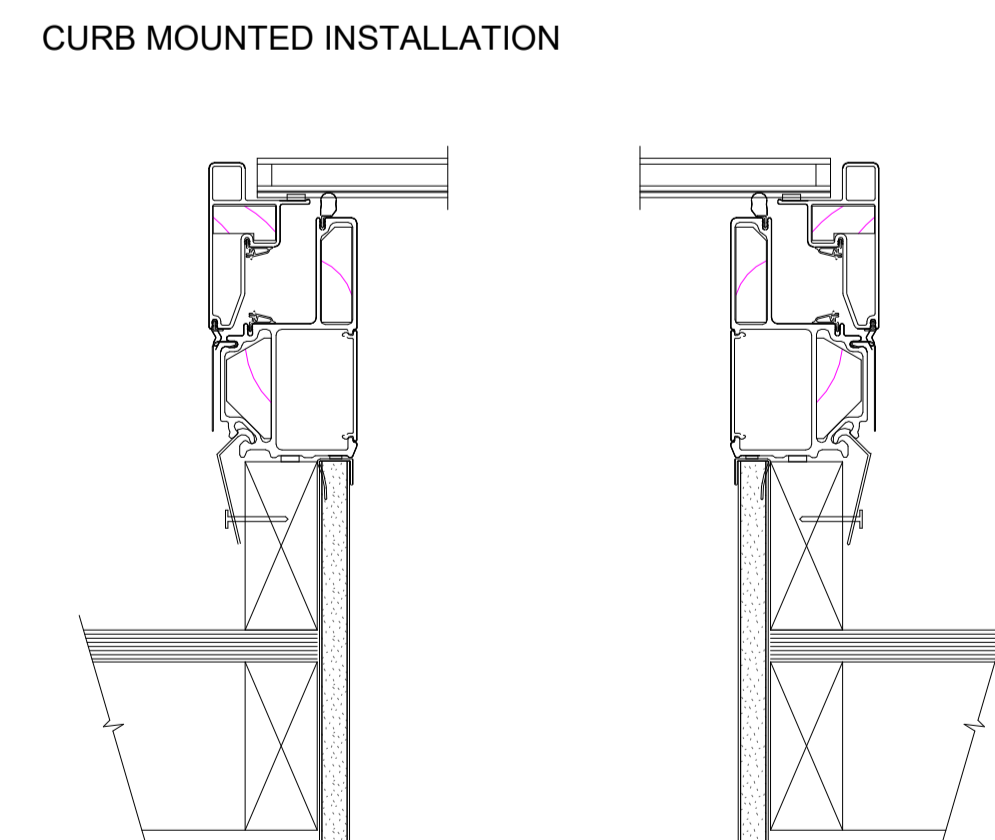
DOORS	FRAMING LENGTH
2'-6"	10'-0" RECUT
2'-8"	10'-0" RECUT
3'-0"	12'-0" RECUT
3'-6"	12'-0" RECUT
5'-0"	16'-0" RECUT
6'-0"	(3) 8'-0"
8'-0"	(3) 10'-0"

STANDARD BUILT UP HEADER IS 2x8 (#416). PLANS MAY CALL OUT OTHER FRAMING SIZE AND WILL TAKE PRECEDENCE

6 BU HEADER
A505 3" = 1'-0"



7 MARVIN SKYLIGHT
A505 3" = 1'-0"



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

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ISSUANCES

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SERIES



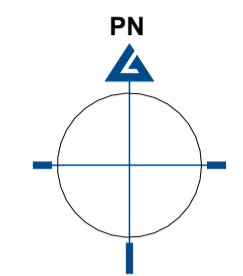
MODEL

ELEMENT CUSTOM HOME

DETAILS - WINDOWS

Scale: As indicated

A505



PROJECT NORTH

LINDAL DEALER

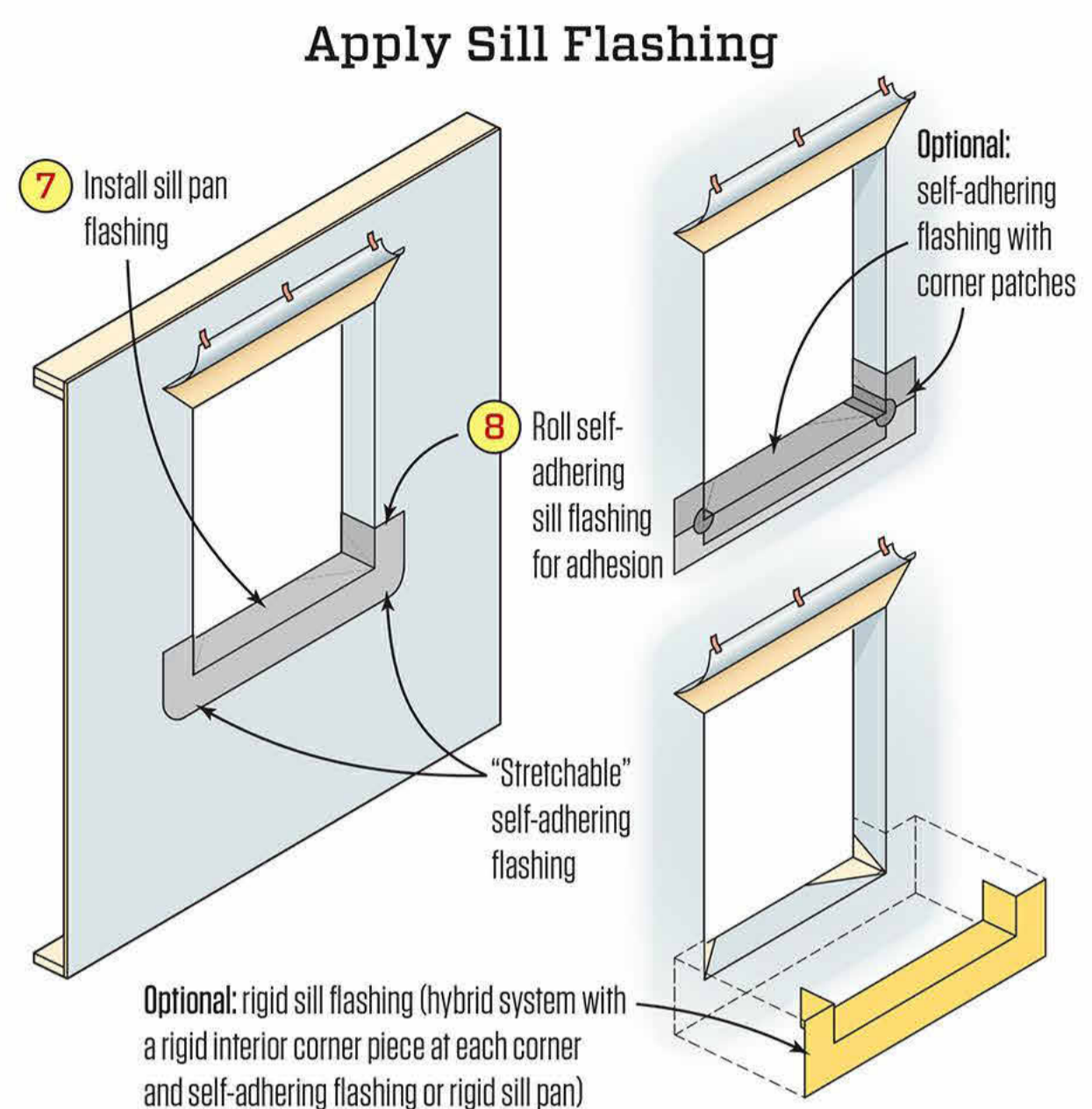
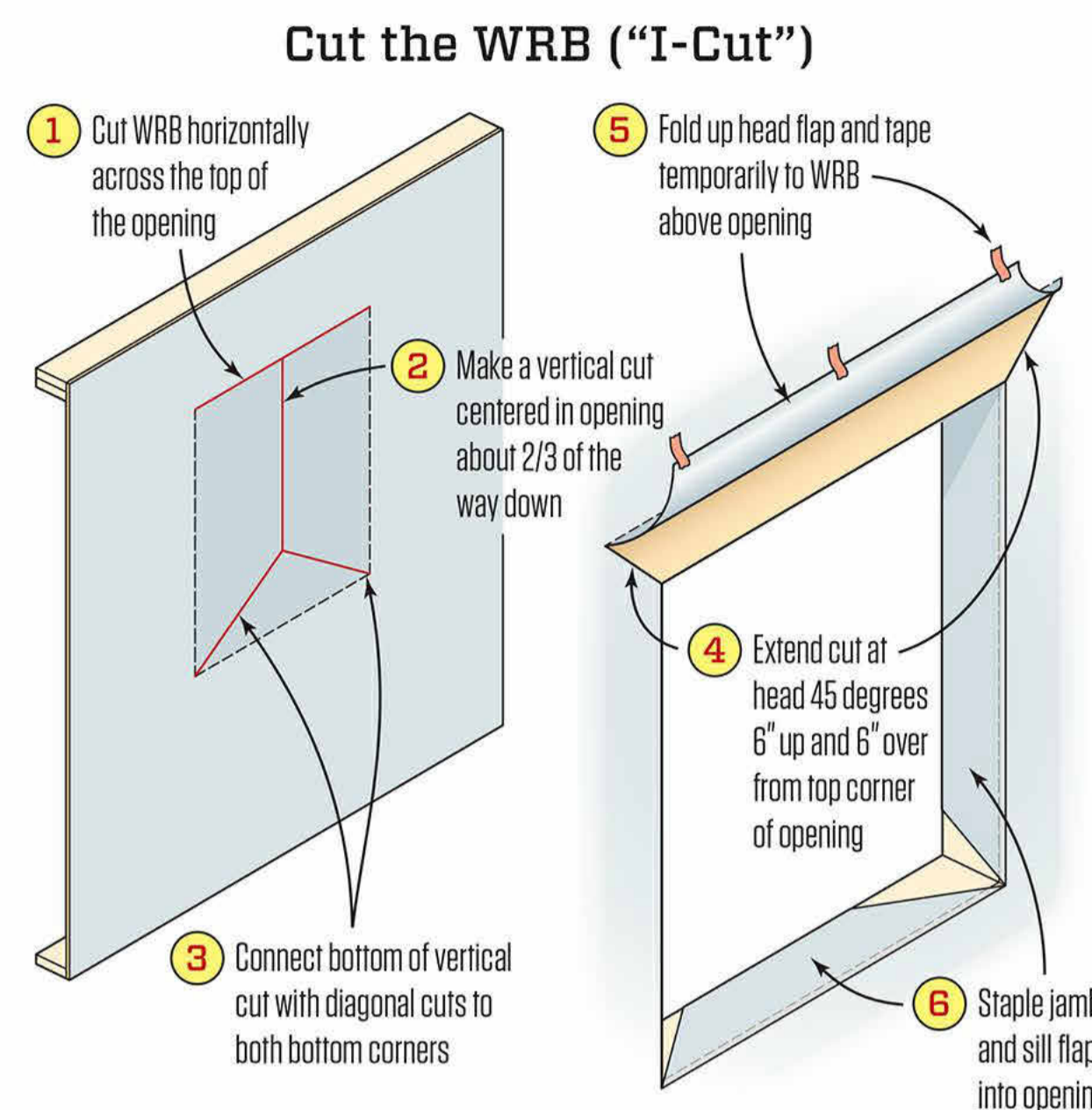
WARM MODERN LIVING

CLIENT

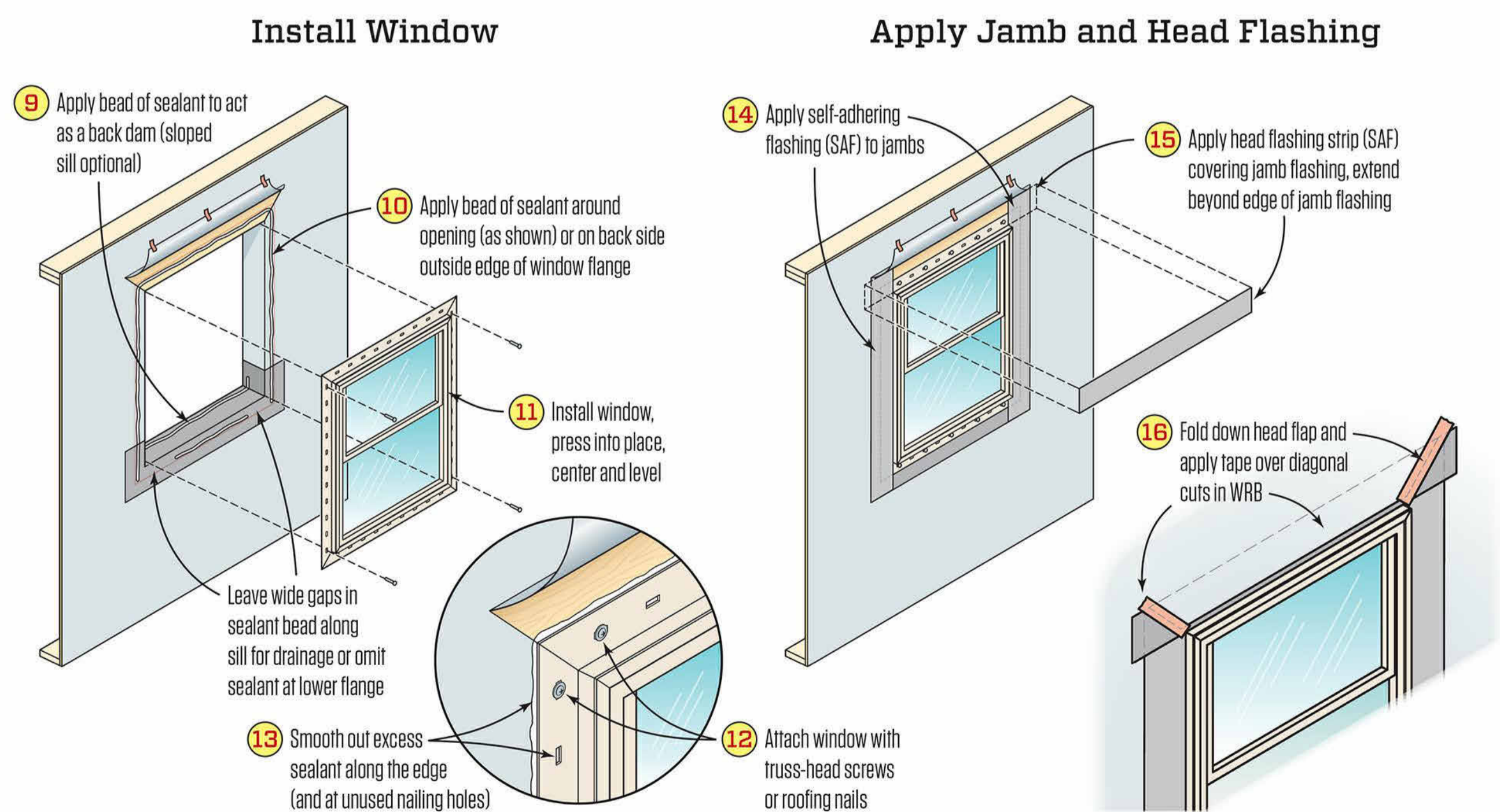
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

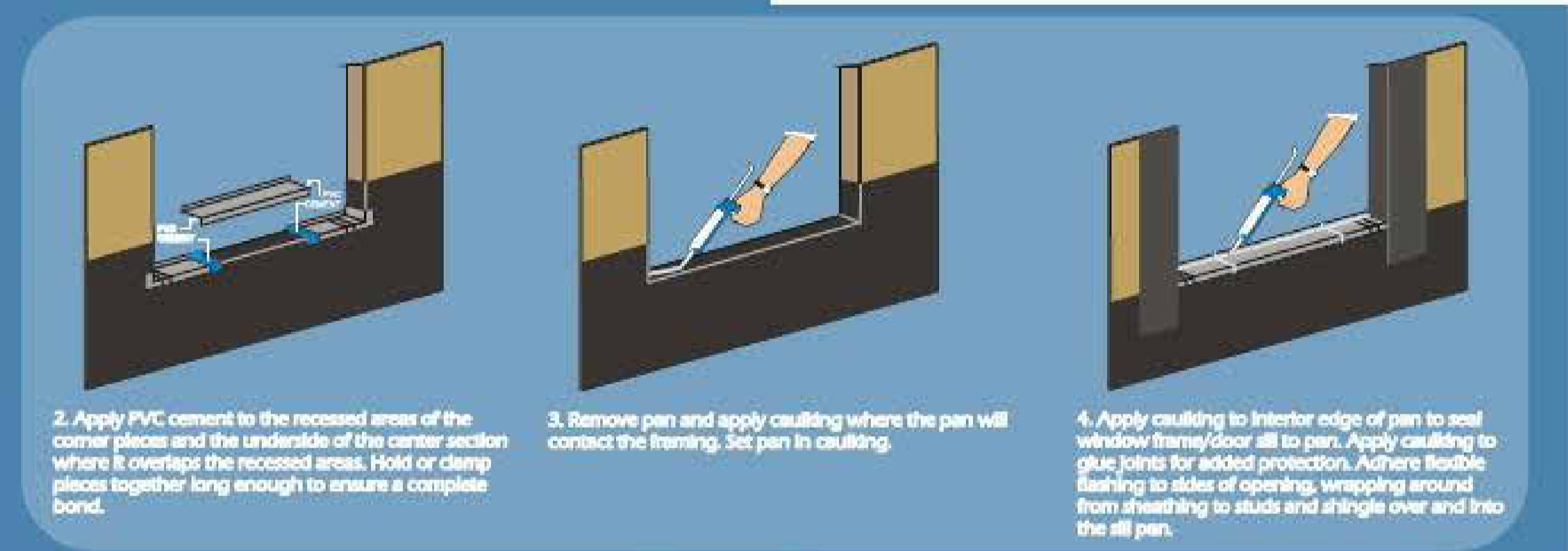
7929 EAST MERCER WAY
MERCER ISLAND WA 98040



Method 1: Flashing Strips Installed Over Nailing Flanges



1 WINDOW FLASHING
A505.1 3/8" = 1'-0"



2 DOOR FLASHING
A505.1 1/2" = 1'-0"

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ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL

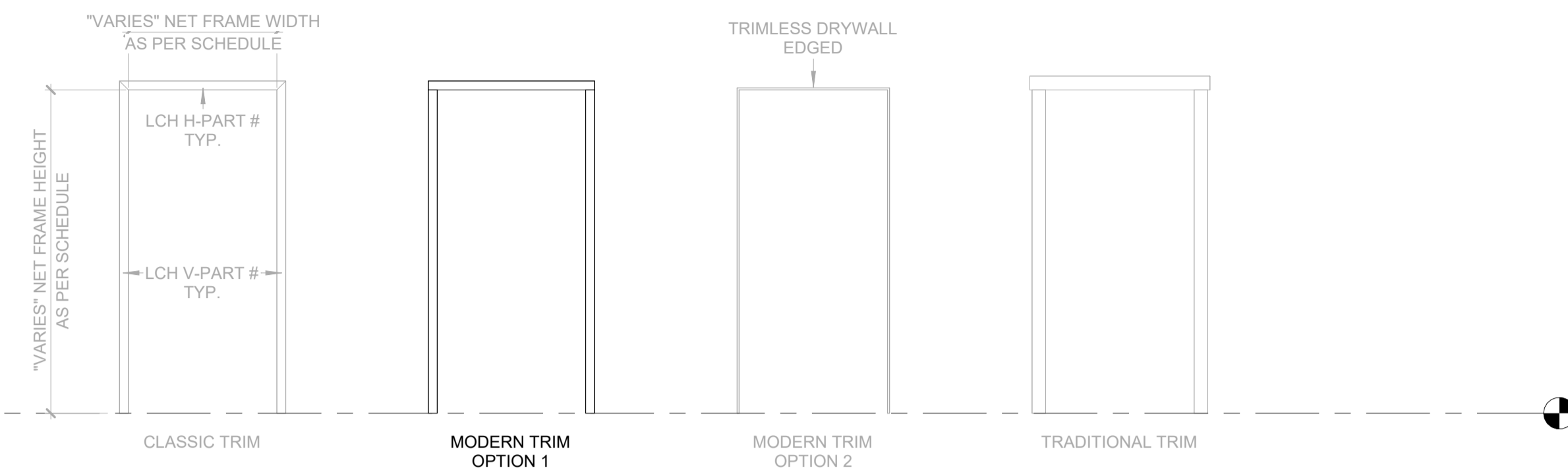
ELEMENT CUSTOM HOME

DETAILS - WINDOWS AND DOOR FLASHING

Scale: As indicated

A505.1

DOOR TRIM OPTIONS:



ABBREVIATIONS, DOOR, TRIM AND HARDWARE LEGEND:

DOOR SCHEDULES:

QTY	QUANTITY
DLGL	DUAL GLAZE
FIN	FINISH
FRR	FIRE RESISTANCE RATING
MAT	MATERIAL
MNF	MANUFACTURER
ML	MODEL LINE
LH	LEFT HINGE
RH	RIGHT HINGE
#P	# OF DOOR SLAB
SL	SIDE LIGHT

MATERIAL AND FINISHES:

ALUM	ALUMINUM
ALUMC	ALUMINUM CLAD
FBG	FIBERGLASS
FBGC	FIBERGLASS CLAD
VNL	VINYL
WB	WOOD / BIRCH
WC	WOOD / CEDAR
WF	WOOD / FIR
WRP	WOOD / RED-PRIME

TRIM LCH PART # DESCRIPTION:

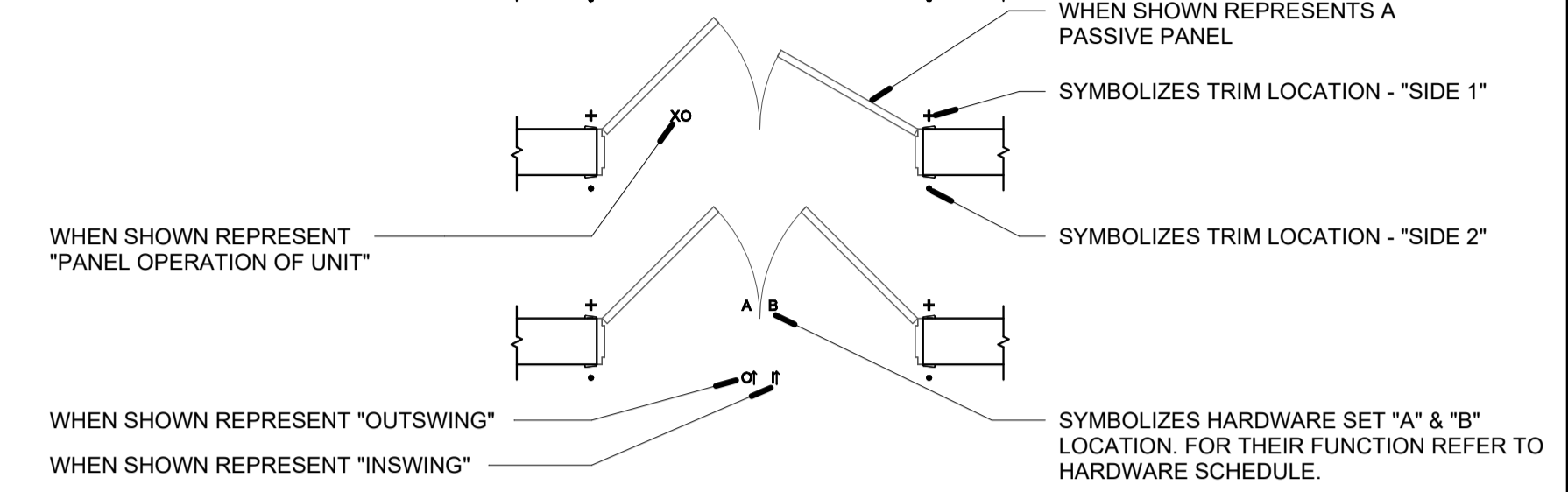
EXAMPLE 1:	491-M4
EXAMPLE 2:	632-MC
TRIM PART #:	632, 491
CEDAR:	C
COMPOSITE DEPTH:	4
FIR:	F
HEMLOCK:	H
PRE STAINED:	M

LCH MANUFACTURER PART #

LYNDEN	24
MARVIN	25
MILGARD	26
SIMPSON	27
WINDSOR	28
PLASTPRO	29

PANEL OPERATION:

OPERABLE:	X
PASSIVE (PSV):	O
STATIONARY (STA):	O

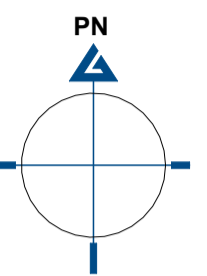


DOOR SCHEDULE

LCH DOOR DESCRIPTION		LOCATION TO ROOM:	ROUGH OPENING		NET FRAME DIMENSIONS			PANEL DIMENSIONS			SIDE LIGHT		MNF'S DESCRIPTION				MATERIAL FINISHES & ACCESSORIES		REMARKS	
NO.	LCH PART #	TYPE	NAME	WIDTH	HEIGHT	WIDTH	HEIGHT	DEPTH	QTY	WIDTH	HEIGHT	QTY	WIDTH	MNF	MNF ML	MNF PART #	STYLE	PANEL MAT	FRAME FIN	
EXTERIOR																				
D1	05-241-D1	1P-LH-INSWING	GARAGE	38"	82 1/4"	37 1/2"	81 3/4"	6 11/16"	1	36"	79"			LYNDEN	24	241X LH-	1-PANEL FLUSH			EXT EZ TRIM - COLOR MATCH MODERN L022 - SATIN BLACK
D2	05-241-D2	1P-LH-INSWING	CRAWL SPACE	38"	82 1/4"	37 1/2"	81 3/4"	6 11/16"	1	36"	79"			LYNDEN	24	241X LH-	1-PANEL FLUSH			EXT EZ TRIM - COLOR MATCH MODERN L022 - SATIN BLACK
D22	05-NIC1-D22	1P-RH-OUTSWING	GUEST BEDROOM	38"	97"	37 1/2"	96 1/2"	7 3/16"	1	36"	95"			NIC	1	1X RH-	1P GLASS			EXT EZ TRIM - COLOR MATCH MODERN L022 - SATIN BLACK
NIC	05-254-NIC	3P-MULTISLIDE OXX	DECK	134 9/16"	109"	133 9/16"	108 1/2"	10 7/8"	3	47 1/16"	104 1/2"			MARVIN	ULTIMATE	OXX	MULTI-SLIDE DOOR	FBGC		N.I.C
INTERIOR																				
D3	06-241-D3	1P-LH-SINGLE	STAIRS	38"	82 1/8"	37 1/2"	81 5/8"	6 13/16"	1	36"	80"			LYNDEN	24	241LH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 WHITE PAINT TRIM FIRE RATED DOOR
D4	06-241-D4	1P-RH-SINGLE	MECH ROOM	38"	82 1/8"	37 1/2"	81 5/8"	6 13/16"	1	36"	80"			LYNDEN		RH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK FIRED RATED
D4	06-241-D4	1P-RH-SINGLE	GARAGE	38"	82 1/8"	37 1/2"	81 5/8"	6 13/16"	1	36"	80"			LYNDEN	24	241RH-	1-PANEL FLUSH			
D5	06-241-D5	1P-RH-SINGLE	W.C	32"	82 1/8"	31 1/2"	81 5/8"	6 13/16"	1	30"	80"			LYNDEN	1	3RH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D6	06-245-D6	1P-POCKET	PANTRY	49"	84 1/2"	25"	81 5/8"	6 13/16"	1	24"	80"			LYNDEN			1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D7	06-245-D7	1P-POCKET	LIVING / KITCHEN	73"	84 1/2"	37"	81 5/8"	6 13/16"	1	36"	80"			LYNDEN	1	245	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D8	06-241-D8	1P-RH-SINGLE	FOYER ENTRANCE HALLWAY	26"	82 1/8"	25 1/2"	81 5/8"	7 13/16"	1	24"	80"			LYNDEN	1	RH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D9	06-241-D9	1P-LH-SINGLE	GUEST BEDROOM	38"	82 1/8"	37 1/2"	81 5/8"	7 13/16"	1	36"	80"			LYNDEN	1	LH-	1-PANEL FLUSH			
D10	06-245-D10	1P-POCKET	GUEST BEDROOM	73"	84 1/2"	37"	81 5/8"	6 13/16"	1	36"	80"			LYNDEN	1	3	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D12	06-241-D12	1P-RH-SINGLE	LAUNDRY	38"	82 1/8"	37 1/2"	81 5/8"	4 13/16"	1	36"	80"			LYNDEN	1	241RH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D13	06-241-D13	1P-LH-SINGLE	BATHROOM	38"	82 1/8"	37 1/2"	81 5/8"	4 13/16"	1	36"	80"			LYNDEN	1	241LH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D14	06-241-D14	1P-RH-SINGLE	WATSONS BEDROOM	38"	82 1/8"	37 1/2"	81 5/8"	4 13/16"	1	36"	80"			LYNDEN	1	241RH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D15	06-245-D15	1P-POCKET	WATSONS BEDROOM	49"	84 1/2"	25"	81 5/8"	4 13/16"	1	24"	80"			LYNDEN			1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D16	06-241-D16	1P-LH-SINGLE	BEDROOM 2	38"	82 1/8"	37 1/2"	81 5/8"	4 13/16"	1	36"	80"			LYNDEN	1	241LH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D17	06-245-D17	1P-POCKET	BEDROOM 2	73"	84 1/2"	37"	81 5/8"	4 13/16"	1	36"	80"			LYNDEN			1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D18	06-241-D18	1P-LH-SINGLE	PRIMARY BEDROOM	38"	82 1/8"	37 1/2"	81 5/8"	6 13/16"	1	36"	80"			LYNDEN	1	241LH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D19	06-245-D19	1P-POCKET	PRIMARY BEDROOM	49"	84 1/2"	25"	81 5/8"	4 13/16"	1	24"	80"			LYNDEN			1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D20	06-245-D20	1P-POCKET	PRIMARY BEDROOM	49"	84 1/2"	25"	81 5/8"	4 13/16"	1	24"	80"			LYNDEN			1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK
D21	06-241-D21	1P-RH-SINGLE	PRIMARY BATHROOM	38"	82 1/8"	37 1/2"	81 5/8"	4 13/16"	1	36"	80"			LYNDEN		RH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK



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PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/18/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023
NO.	DESCRIPTION	ISSUED BY	DATE

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL

ELEMENT CUSTOM HOME

SCHEDULES - DOORS

Scale: 3/8" = 1'-0"

A600

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

CRITERIA

- 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC)
2. DESIGN LOADING CRITERIA
ROOF SNOW LOAD 30 PSF
ROOF DEAD LOAD ALLOWANCE FOR PV PANELS 4 PSF
FLOOR LIVE LOAD (RESIDENTIAL) 40 PSF
FLOOR LIVE LOAD (RESIDENTIAL EXTERIOR DECKS AND BALCONIES) 60 PSF
GUARDRAILS/BALCONY RAILS (ONE OR TWO UNIT DWELLING) 200 LBS
WIND : ANALYSIS PROCEDURE: ASCE 7-16 CHAPTER 27 'PART I - BUILDINGS OF ALL HEIGHTS' RISK CATEGORY II 98 MPH EXPOSURE 'C' TOPOGRAPHIC FACTOR Kzt = 1.6 WIND BASE SHEAR, NORTH/SOUTH Vw = 44.1 K WIND BASE SHEAR, EAST/WEST Vw = 27.9 K
EARTHQUAKE : ANALYSIS PROCEDURE: IBC 'EQUIVALENT LATERAL FORCE PROCEDURE' SEISMIC DESIGN CATEGORY (SDC) = D RISK CATEGORY = II SEISMIC SITE CLASS = D IMPORTANCE FACTOR Ia = 1.0 MAPPED MCE Ss = 1.46; S1 = 0.50 DESIGN ACCELERATION Sds = 0.91; Sd1 = 0.60 SEISMIC RESISTING SYSTEM: WOOD PANEL BEARING SHEAR WALL, R = 6.5 SEISMIC RESPONSE COEFFICIENT: Ca = 0.15 SEISMIC BASE SHEAR Vs = 22.3 K
3. LATERAL LOADS ARE TRANSFERRED BY THE ROOF AND FLOOR DIAPHRAGMS TO THE SHEAR WALLS.
4. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION.
5. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THEIR WORK.
7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION.
8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION.
9. ALL STRUCTURAL SYSTEMS WHICH ARE COMPOSED OF FIELD ERRECTED COMPONENTS SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
10. SHOP DRAWINGS FOR REINFORCING STEEL AND STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.
11. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, AND THEREFORE MUST BE VERIFIED BY THE CONTRACTOR.
12. DEFERRED SUBMITTALS OF DESIGN BUILD COMPONENTS SHALL BEAR THE STAMP AND SIGNATURE OF A STATE OF WASHINGTON REGISTERED PROFESSIONAL ENGINEER AND SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO CURSORY REVIEW BY THE ENGINEER OF RECORD FOR LOADS IMPOSED ON THE BASIC STRUCTURE.

- 13. SPECIAL INSPECTION: CONCRETE CONSTRUCTION, STRUCTURAL STEEL FABRICATION AND ERECTION (INCLUDING FIELD WELDING AND HIGH-STRENGTH FIELD BOLTING), EXPANSION BOLTS, SCREW ANCHORS AND EPOXY GROUTED INSTALLATIONS SHALL BE SUPERVISED IN ACCORDANCE WITH IBC SECTIONS 1704 & 1705 AND THE PROJECT SPECIFICATIONS BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE OWNER. THE TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR AND BUILDING OFFICIAL. ANY MATERIALS WHICH FAIL TO MEET PROJECT SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

GEOTECHNICAL

- 14. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH) AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE GEOTECHNICAL REPORT.

THE STRUCTURAL DESIGN IS BASED ON THE FOLLOWING VALUES FROM THE REFERENCED GEOTECHNICAL REPORT:

- LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED) 60 PCF/40 PCF
LATERAL EARTH PRESSURE W/ SOIL IMPROVEMENT (RESTRAINED/UNRESTRAINED) 55 PCF/35 PCF
SEISMIC SURCHARGE PRESSURE 8H PSF
PASSIVE SOIL PRESSURE 150 PCF
4"Ø PIPE PILE CAPACITY 16 KIPS

GEOTECHNICAL REPORT REFERENCE: #1276521 BY NELSON GEOTECHNICAL ASSOCIATES, INC. DATED JANUARY 14, 2022.

- 15. PIPE PILES SHALL BE GALVANIZED SCHEDULE-80 (STD) ASTM A53 (TYPE E OR S, GRADE B) 4 INCH NOMINAL PIPE DRIVEN TO REFUSAL PER THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
16. PIPE PILING INSPECTION SHALL BE CONTINUOUSLY PERFORMED BY THE GEOTECHNICAL ENGINEER DURING PLACEMENT TO CONFIRM THAT THE PILES ARE INSTALLED IN ACCORDANCE WITH THE PLANS AND GEOTECHNICAL REPORT.

CONCRETE

- 17. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301. CONSTRUCTION TOLERANCES SHALL NOT EXCEED THOSE LISTED IN ACI 117. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF F'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS (BEFORE THE ADDITION OF ADMIXTURES).

THE MINIMUM AMOUNT OF CEMENT AND THE MAXIMUM SLUMP MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. (THE W/C RATIO LIMITS STILL APPLY). THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, CEMENTITIOUS MATERIAL, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 301. CHEMICAL ADMIXTURES AND FLY ASH SHALL CONFORM TO ASTM C494 AND C618 RESPECTIVELY. FLY ASH PERCENTAGE OF TOTAL CEMENTITIOUS MATERIAL SHALL NOT EXCEED 20%. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER.

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14 TABLE 19.3.3.1. ALL CONCRETE EXPOSED TO THE WEATHER AND ALL GARAGE SLABS-ON-GRADE SHALL OBTAIN A 28-DAY STRENGTH F'c OF 4,500 PSI IN ACCORDANCE WITH ACI 318 TABLE 19.3.2.1 AND IBC SECTION 1904.1. ALL CONCRETE TO RECEIVE A STEEL TROWELED FINISH SHALL NOT BE AIR-ENTRAINED.

- 18. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy = 60,000 PSI AND SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT 4Ø BAR DIAMETERS, 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS, LAP 2'-0" MINIMUM. PROVIDE (2) #4 MIN. U.N.O. TRIM BARS AROUND ALL OPENINGS IN CONCRETE WALLS OR SLABS EXTENDING 2'-0" PAST CORNERS, TYPICAL.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. NO REINFORCING BARS SHALL BE "WET-SET" INTO THE CONCRETE. PROVIDE A 20' LONG REBAR GROUND (UFER GROUND) PER ELECTRICIAN.

- 19. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

Table with 3 columns: Description, Footings and other unformed surfaces, Formed surfaces exposed to earth, Slabs and walls (interior face). Values range from 3" to 1".

- 20. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS.

- 21. NON-SHRINK GROUT SHALL BE NON-METALLIC CONFORMING TO ASTM C1107 AND BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS.

ANCHORAGE

- 22. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2 WEDGE ANCHOR", AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS.

- 23. SCREW ANCHORS INTO CONCRETE SHALL BE "TITEN HD", AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS.

- 24. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) INTO CONCRETE SHALL BE INSTALLED USING "SET-XP" ADHESIVE ANCHOR AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS.

STEEL

- 25. STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION SHALL BE BASED ON THE LATEST EDITIONS OF THE A.I.S.C. SPECIFICATIONS AND CODES:
A. AISC - STEEL CONSTRUCTION MANUAL, 15TH EDITION
B. AISC 303-16 - CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
C. 2014 ROISC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS.

- 26. STRUCTURAL STEEL, WIDE FLANGE (W AND WT) SHAPES SHALL CONFORM TO ASTM A992, Fy = 50 KSI; ALL OTHER ROLLED SHAPES SHALL CONFORM TO ASTM A36, Fy = 36 KSI. STEEL PLATE SHALL CONFORM TO ASTM A36, Fy = 36 KSI. STEEL PIPE SHALL CONFORM TO ASTM A53, TYPE E OR S, GRADE B, Fy = 35 KSI.

- 27. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.

- 28. ALL A325 CONNECTION BOLTS SHALL BE INSTALLED TO THE SNUG-TIGHT CONDITION PER ROISC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS.

- 29. ALL A307 CONNECTION BOLTS SHALL BE PROVIDED WITH LOCK WASHERS UNDER NUTS OR SELF-LOCKING NUTS. ALL BOLT HOLES SHALL BE STANDARD SIZE UNLESS OTHERWISE NOTED.

- 30. ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND A.M.S. STANDARDS AND SHALL BE PERFORMED BY W.A.B.O. CERTIFIED WELDERS USING E70 XX ELECTRODES.

WOOD

- 31. FRAMING LUMBER: SHALL BE KILN DRIED OR MC-19 (MOISTURE CONTENT LESS THAN 19%), AND GRADED AND MARKED IN CONFORMANCE WITH N.C.L.I.B. STANDARD NO. 17 GRADING RULES FOR WEST COAST LUMBER. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

Table with 3 columns: Framing Type, Description (e.g., STUDS, PLATES, JOISTS), and Material (e.g., SPRUCE-PINE-FIR NO. 2).



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WARM MODERN LIVING
CLIENT TUANHOÀ V. HOANG & MAILE D. INTRACHAT
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DATE PLAN SET INITIAL

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42255
HOME SERIES CUSTOM
HOME MODEL CUSTOM

GENERAL STRUCTURAL NOTES

Scale: AS NOTED

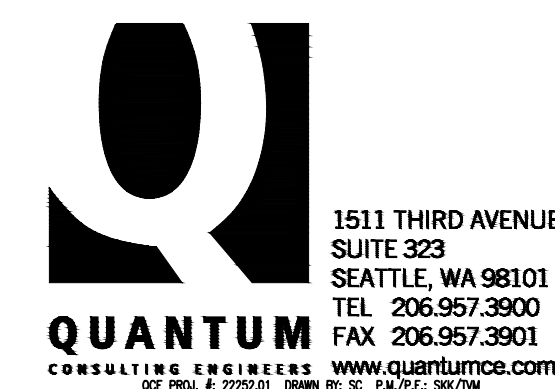
S1.0

FOUNDATION / BASEMENT PLAN NOTES:

1. ALL DIMENSIONS AND ELEVATIONS ON THE STRUCTURAL PLANS ARE FOR GENERAL INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR WITH LINDAL CEDAR HOME DRAWINGS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF LINDAL CEDAR HOMES AND ENGINEER IMMEDIATELY.
2. SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEET S3.0 FOR TYPICAL CONCRETE AND FOUNDATION DETAILS. SEE SHEET S4.0 FOR TYPICAL WOOD DETAILS.
3. BASEMENT SLAB-ON-GRADE SHALL BE 6" THICK CONCRETE REINFORCED PER PLAN, U.O.N. SEE LINDAL CEDAR HOME DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SUB-GRADE MOISTURE BARRIER AND ELEVATIONS, ETC. SLAB IS DESIGNED TO SPAN BETWEEN GRADE BEAMS (NO CONTROL JOINTS).
4. EXTERIOR SLAB-ON-GRADE SHALL BE 4" THICK CONCRETE REINFORCED WITH #4 @ 16" O.C. EACH WAY AT MID-DEPTH, U.O.N. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SUB-GRADE MOISTURE BARRIER AND ELEVATIONS, ETC.
5. FOR EXTERIOR SLAB-ON-GRADE JOINTS, SEE DETAIL 2/S3.0.
6. ALL WOOD BEARING ON UNPROTECTED CONCRETE, EXPOSED TO WEATHER, OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE-TREATED, U.O.N.
7. FOR SILL PLATE ANCHOR BOLT LAYOUT TO CONCRETE FOUNDATION WALLS AND SLABS, SEE DETAIL 1/S4.0.
8. ALL BEARING AND SHEAR WALLS SHALL BE 2x6 @ 16" O.C. INTERIOR AND 2x6 @ 16" O.C. EXTERIOR U.O.N.
9. POSTS INDICATED ARE AT THIS LEVEL. ALL POSTS NOT SPECIFIED SHALL BE (2) 2x. PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL FLOOR BEAMS AND ALL POSTS ABOVE FOR FULL BEARING. PROVIDE BLKG. AT JOISTS PER DETAIL 7/S4.1. SEE 3/S4.1 FOR TYPICAL POST BASE CONNECTION.
10. SW-x INDICATES SHEAR WALL AT THIS LEVEL. SEE SHEAR WALL SCHEDULE 8/S4.0 FOR SHEATHING, BLOCKING, NAILING AND ANCHOR BOLT REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE SHEATHED PER SW-6 CRITERIA U.O.N.
11. HDUx INDICATES HOLDOWN TO CONCRETE FOUNDATION WALLS OR GRADE BEAMS. SEE 12/S4.0 FOR HOLDOWN DETAIL. SEE 4/S3.0 FOR ADDITIONAL HOLDOWN REQUIREMENTS AT GRADE BEAMS. USE MIN. (2) 2x POST U.O.N.

LEGEND:

- INDICATES 4" PIPE PILE PER S2.0b AND GENERAL NOTES
- INDICATES 4" BATTERED PIPE PILE (4V:1H) AND DIRECTION PER S2.0b AND GENERAL NOTES
- INDICATES GRADE BEAM
- INDICATES WOOD BEARING WALL OR SHEAR WALL
- INDICATES CONCRETE FOUNDATION WALL
- SW-x** INDICATES SHEAR WALL TYPE AT THIS LEVEL. SEE PLAN NOTE 10
- HDUx** INDICATES HOLDOWN TYPE AT THIS LEVEL. SEE PLAN NOTE 11



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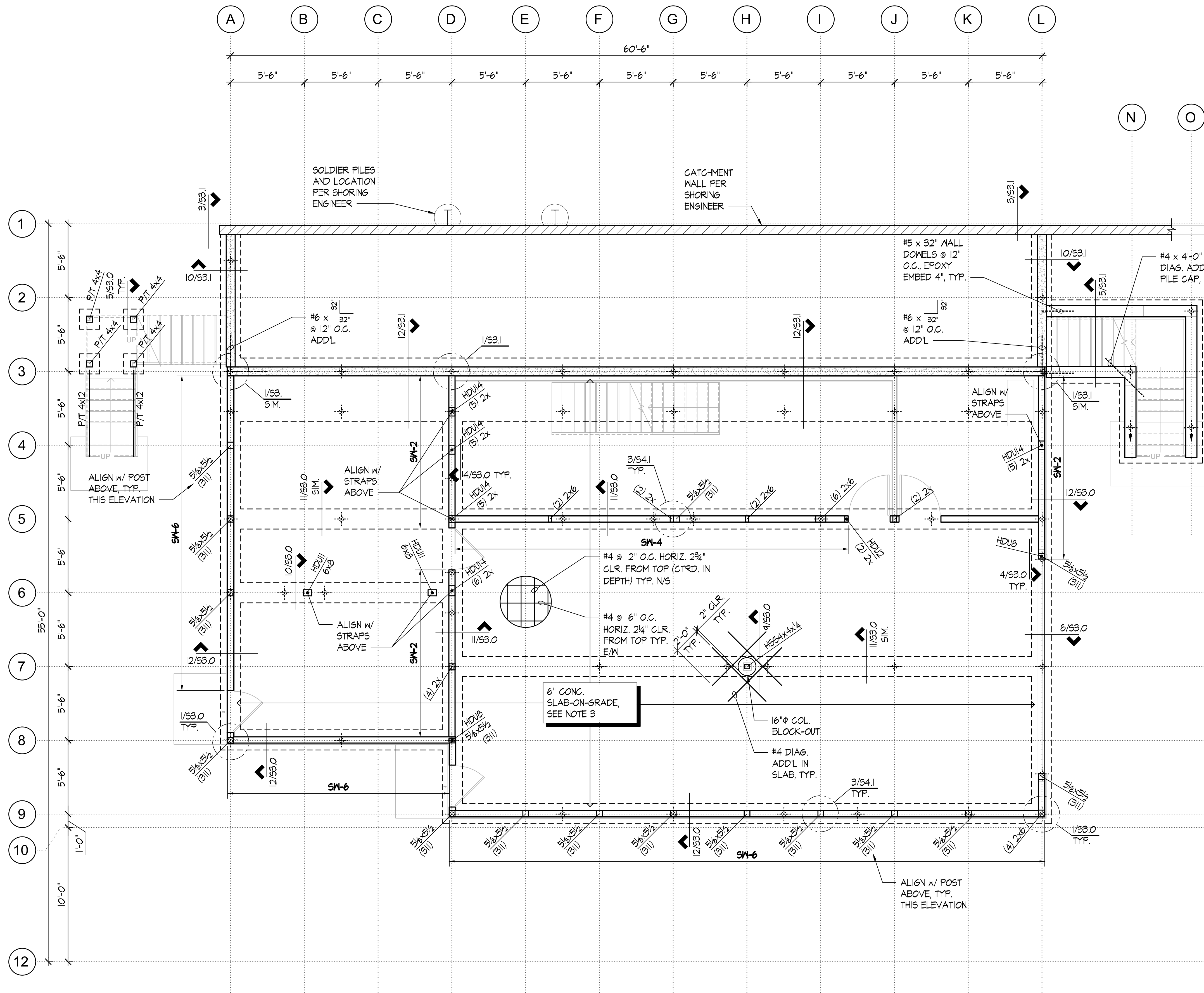
42255

HOME SERIES
CUSTOM
HOME MODEL
CUSTOM

**FOUNDATION
BASEMENT PLAN**

Scale: AS NOTED

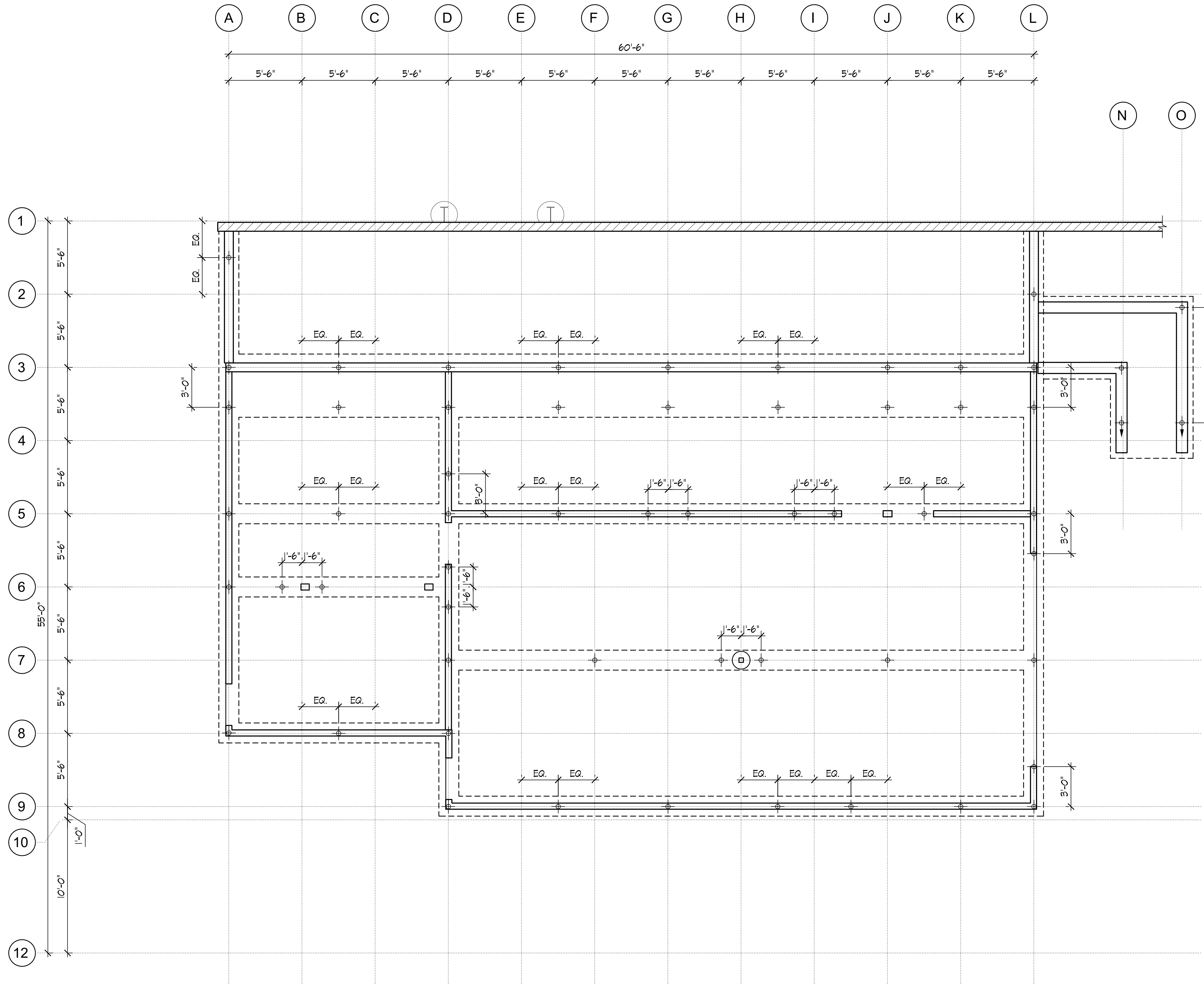
S2.0a



FOUNDATION / BASEMENT PLAN
SCALE: 1/4" = 1'-0"

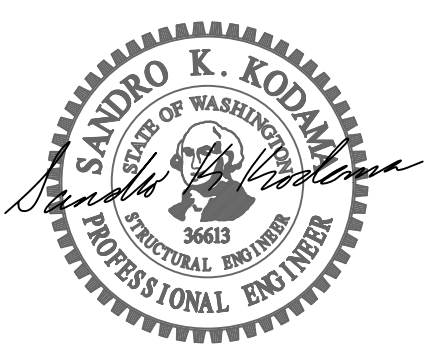
PIN PILE PLAN NOTES:

1. ALL DIMENSIONS AND ELEVATIONS ON THE STRUCTURAL PLANS ARE FOR GENERAL INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR WITH LINDAL CEDAR HOME DRAWINGS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF LINDAL CEDAR HOMES AND ENGINEER IMMEDIATELY.
2. PIPE PILES SHALL BE 4" Ø AS NOTED ON THE PLANS, GALVANIZED, SCHEDULE 80 (STD) ASTM A53 (TYPE OR S, GRADE B).
3. PILES SHALL BE DRIVEN TO REFUSAL w/ A MINIMUM 1100 L. HAMMER. REFER TO GEOTECHNICAL REPORT FOR FINAL DRIVING RATES.
4. PIPE PILE INSTALLATION SHALL BE CONTINUOUSLY INSPECTED BY GEOTECHNICAL ENGINEER.



LEGEND:

- ⊕ INDICATES 4" PIPE PILE PER GENERAL NOTES
- ⊕ INDICATES 4" BATTERED PIPE PILE (4V:1H) AND DIRECTION



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PIN PILE PLAN

Scale: AS NOTED

S2.0b

PIN PILE PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR FRAMING PLAN NOTES:

- ALL DIMENSIONS AND ELEVATIONS ON THE STRUCTURAL PLANS ARE FOR GENERAL INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR WITH LINDAL CEDAR HOME DRAWINGS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF LINDAL CEDAR HOMES AND ENGINEER IMMEDIATELY.
- SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEETS S4.0 THRU S4.3 FOR TYPICAL WOOD DETAILS.
- TYPICAL FLOOR FRAMING CONSISTS OF 23/32" APA RATED T&G SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 11-7/8" TJI 110 (540A) JOISTS AT 16" O.C. HANG TJI JOISTS WITH ITS1.81/11.88 (180-210) TOP FLANGE HANGERS TYPICAL AT FLUSH BEAMS, U.O.N.
- TYPICAL DECK FRAMING CONSISTS OF DECK BOARDS PER LINDAL CEDAR HOMES, OVER 23/32" APA RATED T&G SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 2x10 (419-W) JOISTS AT 16" O.C. HANG JOISTS WITH LUS28 (180-209) FACE MOUNT HANGERS TYPICAL AT FLUSH BEAMS, U.O.N.
- NAIL FLOOR SHEATHING TO FRAMING WITH 8d NAILS (0.131"φ x 2.5" LONG) AT 6" O.C. AT ALL PANELS EDGES AND 8d NAILS AT 12" O.C. AT INTERMEDIATE FRAMING MEMBERS, BLOCK PANEL EDGES WHERE INDICATED. SEE DETAIL 6/54.0.
- ALL BEARING AND SHEAR WALLS SHALL BE 2x6 @ 16" O.C. INTERIOR AND 2x6 @ 16" O.C. EXTERIOR U.O.N.
- POSTS INDICATED ARE AT THIS LEVEL. ALL POSTS NOT SPECIFIED SHALL BE (2) 2x. PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL FLOOR BEAMS AND ALL POSTS ABOVE FOR FULL BEARING. PROVIDE BLKG. AT JOISTS PER DETAIL 7/54.1. SEE 3/54.1 FOR TYPICAL POST BASE CONNECTION.
- ALL HEADERS NOT SHOWN ON PLAN SHALL BE 3/2x9 1/2 LSL (532) FOR EXTERIOR BEARING WALLS AND 3/2x9 1/2 LSL (532) FOR INTERIOR BEARING WALLS. SEE 10/54.1 FOR HEADER DETAIL. HANG HEADERS W/ HUC410 (180-410) WHERE HANGERS ARE INDICATED ON PLAN.
- FOR TOP PLATE SPLICE SEE DETAIL 6/54.1.
- ALIGN A JOIST OR JOIST BLOCKING OVER THE FULL LENGTH OF ALL BEARING/SHEAR WALLS. SEE 8/54.0 FOR SPECIAL SHEAR WALL BLOCKING REQUIREMENTS.
- SW-x INDICATES SHEAR WALL AT THIS LEVEL. SEE SHEAR WALL SCHEDULE 8/54.0 FOR SHEATHING, BLOCKING, NAILING, AND ANCHOR BOLT REQUIREMENTS. ALL EXTERIOR WALLS SHALL
- HDUx INDICATES HOLDDOWN TO CONCRETE FOUNDATION WALLS OR FOOTINGS. SEE 12/54.0 FOR HOLDDOWN DETAIL. USE MIN. (2) 2x POST U.O.N.
- CMSTxx INDICATES HOLDOWN STRAP TO FRAMING BELOW WALL. SEE 10/54.0 FOR STRAP HOLDOWN DETAIL AT FLOOR-TO-FLOOR AND BEAM SUPPORTING SHEAR WALL END. USE MIN. (2) 2x POST U.O.N.

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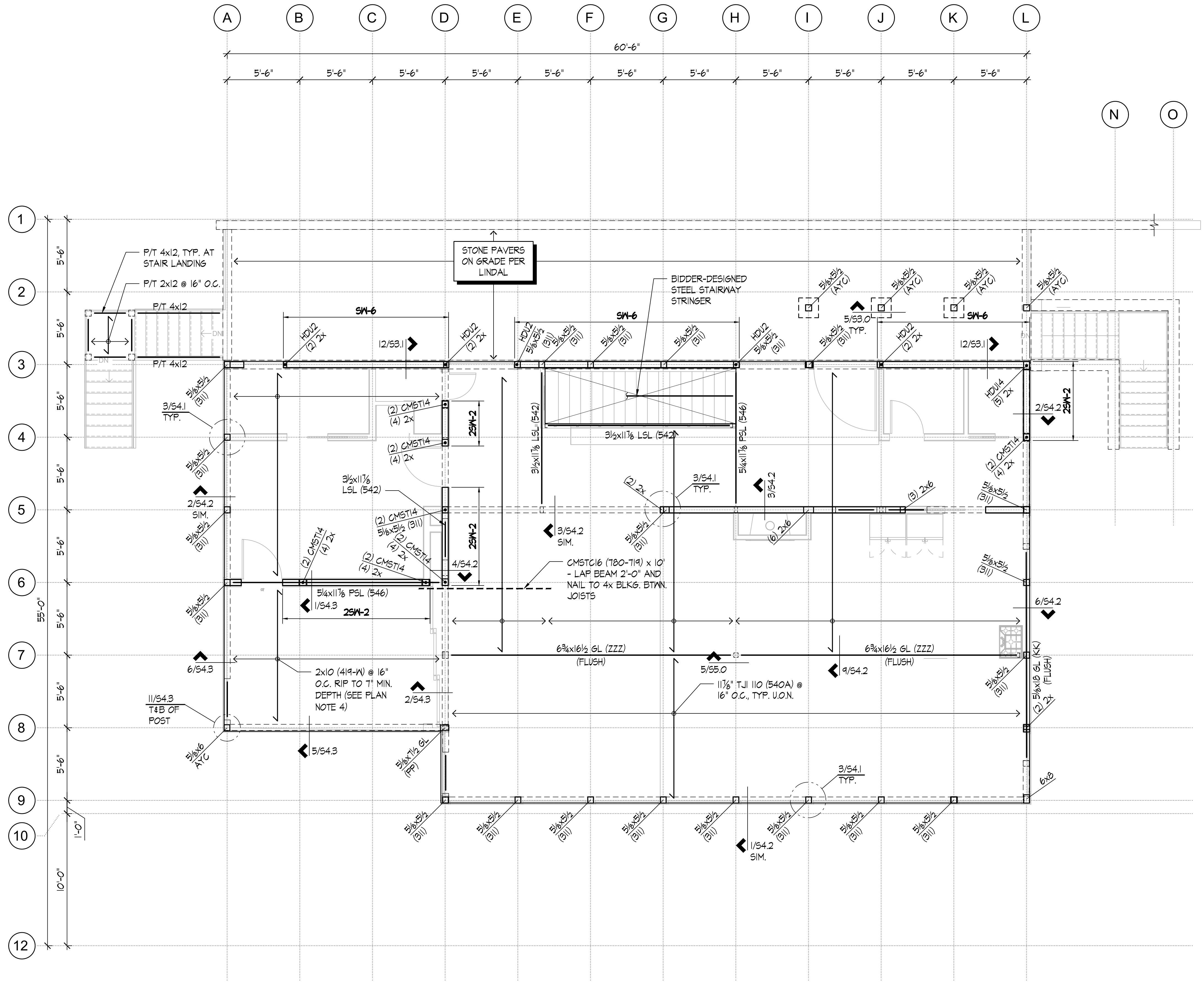
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LEGEND:

- INDICATES FRAMING DIRECTION
- INDICATES CONCRETE FOUNDATION, WOOD BEARING WALL, OR SHEAR WALL BELOW
- INDICATES SHEAR WALL TYPE AT THIS LEVEL. SEE PLAN NOTE II
- INDICATES HOLDDOWN TO CONCRETE FOUNDATION WALLS OR FOOTINGS. SEE 12/54.0 FOR HOLDDOWN DETAIL. USE MIN. (2) 2x POST U.O.N.
- INDICATES HOLDOWN STRAP TO FRAMING BELOW WALL. SEE 10/54.0 FOR STRAP HOLDOWN DETAIL AT FLOOR-TO-FLOOR AND BEAM SUPPORTING SHEAR WALL END. USE MIN. (2) 2x POST U.O.N.
- INDICATES EXTENT OF FRAMING
- INDICATES WOOD BEARING OR SHEAR WALL AT THIS LEVEL. SEE PLAN NOTES 6 & 11
- INDICATES BLOCKED DIAPHRAGM PER 6/54.0
- INDICATES NON-BEARING/ NON-SHEAR WALL AT THIS LEVEL
- INDICATES HEADER MEMBER. SEE PLAN NOTE 8
- INDICATES HANGER PER SCHEDULE

HANGER SCHEDULE			
MEMBER	LINDAL PART NO.	HANGER	LINDAL PART NO.
11 7/8" TJI 110	540A	ITS1.81/11.88	180-210
2x10	419-W	LUS28	180-209
3/2x11 7/8 LSL	542	HUC412	180-412
5/4x11 7/8 PSL	546	-	-
6 3/4x16 1/2 GL	ZZZ	M6U7.00	008-01
5 1/8x18 GL	KK	-	-

FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



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42255
HOME SERIES
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FIRST FLOOR FRAMING PLAN
Scale: AS NOTED

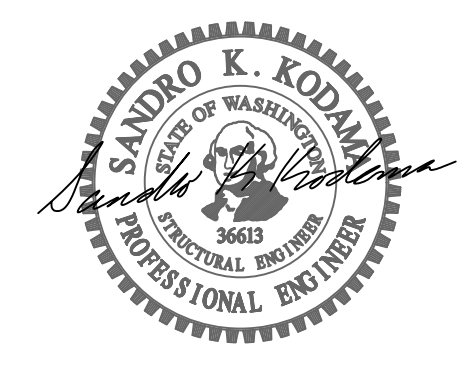
SECOND FLOOR FRAMING PLAN NOTES:

- ALL DIMENSIONS AND ELEVATIONS ON THE STRUCTURAL PLANS ARE FOR GENERAL INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR WITH LINDAL CEDAR HOME DRAWINGS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF LINDAL CEDAR HOMES AND ENGINEER IMMEDIATELY.
- SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEETS S4.0 THRU S4.4 FOR TYPICAL WOOD DETAILS. SEE S5.0 FOR TYPICAL WOOD/STEEL DETAILS.
- TYPICAL FLOOR FRAMING CONSISTS OF 1-1/8" APA RATED T&G SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 11-7/8" TJI 110 (540A) JOISTS AT 16" O.C., U.O.N. HANG TJI JOISTS WITH ITS1.8/11.88 (780-210) TOP FLANGE HANGERS TYPICAL AT FLUSH BEAMS, U.O.N.
- NAIL FLOOR SHEATHING TO FRAMING WITH 8d NAILS (0.131"φ x 2.5" LONG) AT 6" O.C. AT ALL PANELS EDGES AND 8d NAILS AT 12" O.C. AT INTERMEDIATE FRAMING MEMBERS, BLOCK PANEL EDGES WHERE INDICATED. SEE DETAIL 6/54.0.
- ALL BEARING AND SHEAR WALLS SHALL BE 2x4 @ 16" O.C. INTERIOR AND 2x6 @ 16" O.C. EXTERIOR U.O.N.
- POSTS INDICATED ARE AT THIS LEVEL. ALL POSTS NOT SPECIFIED SHALL BE (2) 2x. PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL FLOOR BEAMS AND ALL POSTS ABOVE FOR FULL BEARING. PROVIDE BLKG. AT JOISTS PER DETAIL 7/54.1. SEE 3/54.1 FOR TYPICAL POST BASE CONNECTION.
- ALL HEADERS NOT SHOWN ON PLAN SHALL BE 3/2x9 1/2 LSL (532) FOR EXTERIOR BEARING WALLS AND 3/2x9 1/2 LSL (532) FOR INTERIOR BEARING WALLS. SEE 10/54.1 FOR HEADER DETAIL. HANG HEADERS W/ HUC410 (780-410) WHERE HANGERS ARE INDICATED ON PLAN.
- FOR TOP PLATE SPLICE SEE DETAIL 6/54.1.
- ALIGN A JOIST OR JOIST BLOCKING OVER THE FULL LENGTH OF ALL BEARING/SHEAR WALLS. SEE 8/54.0 FOR SPECIAL SHEAR WALL BLOCKING REQUIREMENTS.
- SW-x INDICATES SHEAR WALL AT THIS LEVEL. SEE SHEAR WALL SCHEDULE 8/54.0 FOR SHEATHING, BLOCKING, NAILING, AND ANCHOR BOLT REQUIREMENTS. ALL EXTERIOR WALLS SHALL
- CS16 INDICATES HOLDOWN STRAP TO FRAMING BELOW WALL. SEE 10/54.0 FOR STRAP HOLDOWN DETAIL AT FLOOR-TO-FLOOR AND BEAM SUPPORTING SHEAR WALL END. USE MIN. (2) 2x POST U.O.N.

LEGEND:

- INDICATES FRAMING DIRECTION
- INDICATES EXTENT OF FRAMING
- SW-x INDICATES SHEAR WALL TYPE AT THIS LEVEL. SEE PLAN NOTE 10
- INDICATES WOOD BEARING OR SHEAR WALL AT THIS LEVEL. SEE PLAN NOTES 5 & 10
- INDICATES WOOD BEARING WALL, OR SHEAR WALL BELOW
- INDICATES NON-BEARING/ NON-SHEAR WALL AT THIS LEVEL
- INDICATES HEADER MEMBER. SEE PLAN NOTE 7
- INDICATES HANGER PER SCHEDULE
- INDICATES BLOCKED DIAPHRAGM PER 6/54.0

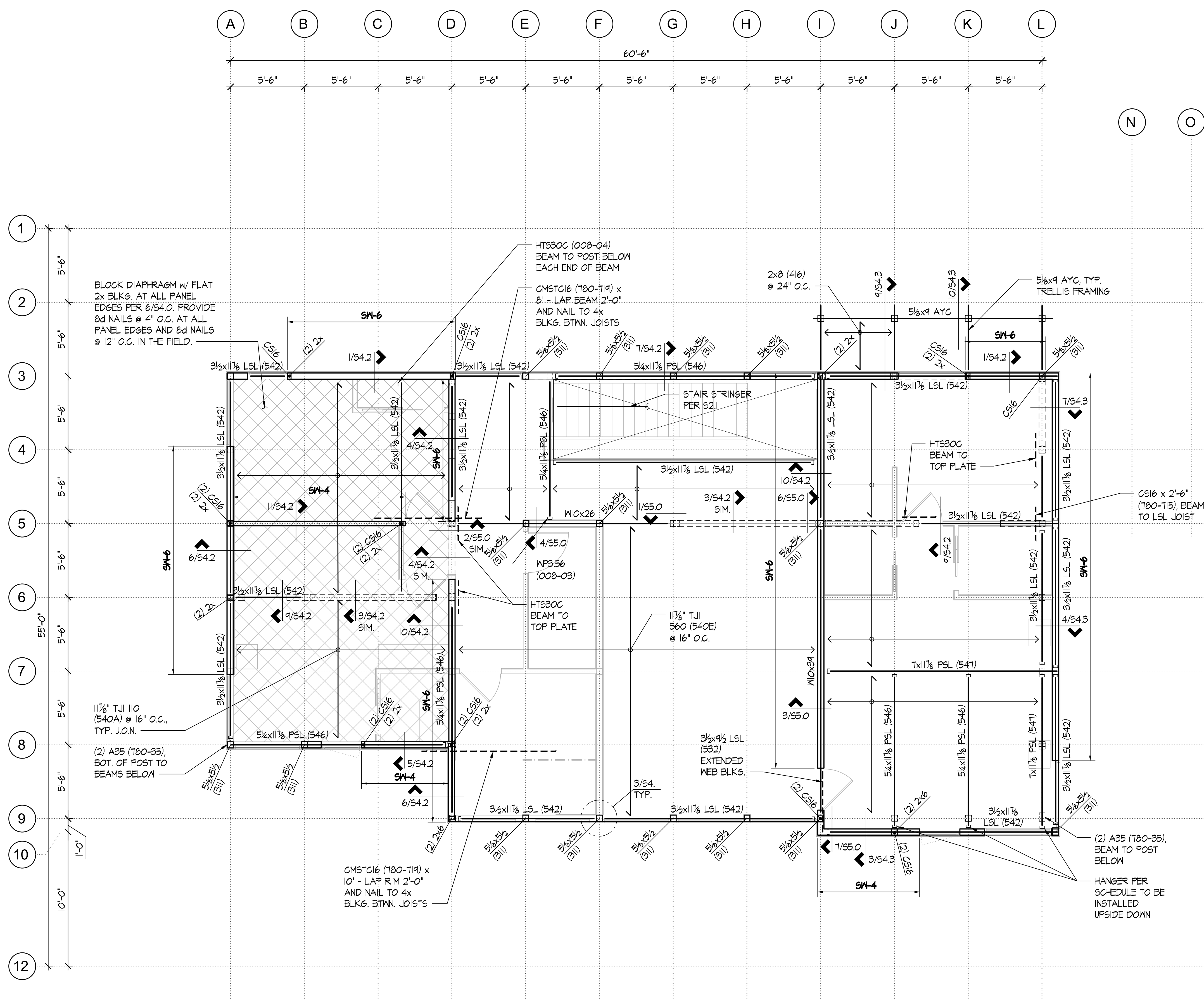
HANGER SCHEDULE			
MEMBER	LINDAL PART NO.	HANGER	LINDAL PART NO.
11 7/8" TJI 110	540A	ITS1.8/11.88	780-210
11 7/8" TJI 560	540E	MIT411/11.88	780-211
3/2x11 7/8 LSL	542	HUC412	780-412
5/4x11 7/8 PSL	546	HUC0612-SD5	760-612
7x11 7/8 PSL	547	H6U57.25/12	008-02



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SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

SECOND FLOOR FRAMING PLAN

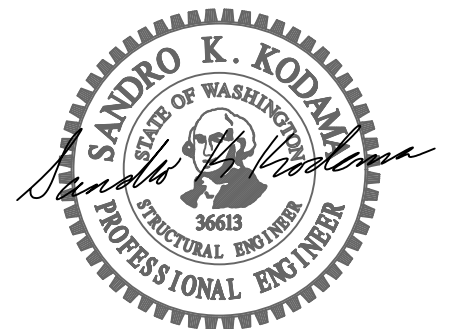
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ROOF FRAMING PLAN NOTES:

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- SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEETS S4.0, S4.1 AND S4.4 FOR TYPICAL WOOD DETAILS.
- TYPICAL ROOF FRAMING CONSISTS OF 1/2" APA RATED SHEATHING (INDEX 40/20), LAID FACE GRAIN PERPENDICULAR OVER 11-7/8" I-JOISTS @ 16" O.C., U.O.N.
- TYPICAL ROOF JOIST SHALL BE 11-7/8" TJI 110 (S40A) @ 24" O.C., U.O.N. HANG JOISTS W/ ITS1.8/11.88 (T80-270) TOP FLANGE HANGERS TYPICAL AT FLUSH BEAMS.
- NAIL ROOF SHEATHING TO FRAMING WITH 8d NAILS (0.131" x 2.5" LONG) AT 6" O.C. AT ALL PANELS EDGES AND 8d NAILS AT 12" O.C. AT INTERMEDIATE FRAMING MEMBERS (UNBLOCKED). SEE DETAIL 6/S4.0.
- PROVIDE SOLID BLOCKING BETWEEN EACH ROOF JOIST AT SUPPORTS. PROVIDE AN H2.5A (T80-5) CLIP AT EVERY MEMBER TO TOP PLATE, U.O.N.
- ALL HEADERS NOT SHOWN ON PLAN SHALL BE 3/2"x9/2" LSL (S32) FOR EXTERIOR BEARING WALLS AND 3/2"x9/2" LSL (S32) FOR INTERIOR BEARING WALLS. SEE 10/S4.1 FOR HEADER DETAIL. HANG HEADERS W/ HUC410 (T80-410) WHERE HANGERS ARE INDICATED ON PLAN.
- PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL ROOF BEAMS FOR FULL BEARING.
- FOR TOP PLATE SPLICE SEE DETAIL 6/S4.1.



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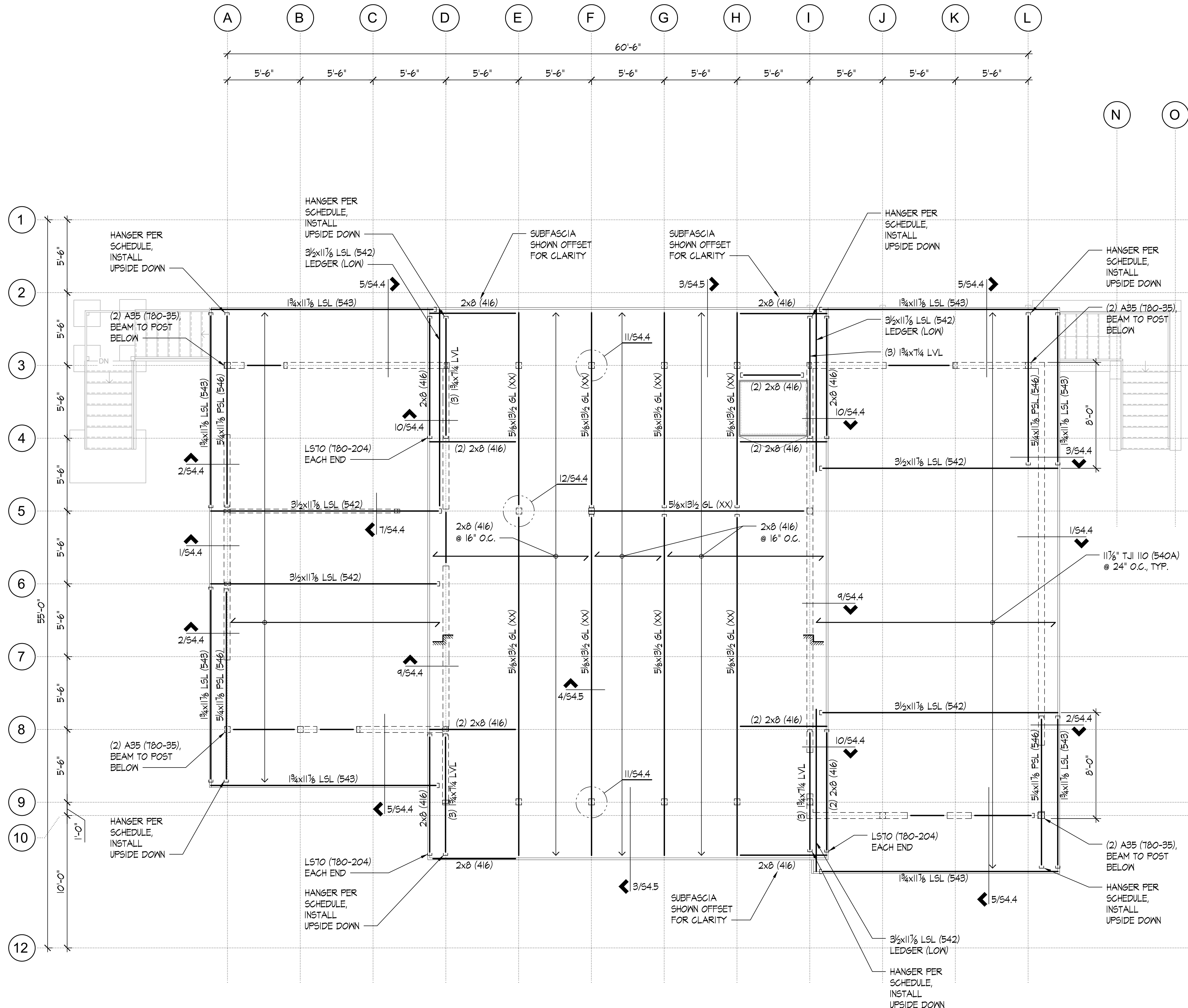
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LEGEND:

- ↑ INDICATES FRAMING DIRECTION
- ▭ INDICATES EXTENT OF FRAMING
- ▭▭▭ INDICATES WOOD BEARING WALL OR SHEAR WALL BELOW
- ↖ INDICATES HANGER PER SCHEDULE
- ▭▭▭ INDICATES HEADER MEMBER. SEE PLAN NOTE 1
- ▭▭▭ INDICATES ROOF FRAMING STEP

HANGER SCHEDULE			
MEMBER	LINDAL PART NO.	HANGER, U.O.N.	LINDAL PART NO.
2x8	416	LU528	T80-209
(3) 1 3/4" x 7/4" LVL	-	HUC68	T80-608
11 7/8" TJI 110	S40A	ITS1.8/11.88	T80-270
1 3/4" x 11 7/8" LSL	S43	HUCQ1.8/11-SD5	008-06
3/2" x 11 7/8" LSL	S42	HUC412	T80-412
5/4" x 11 7/8" PSL	S46	HUC612	T80-612
5/8" x 13 1/2" GL	XX	CJT5Z	CJT5Z-L
5/8" x 18" GL	KK	MGU5.25	008-05



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

ROOF FRAMING PLAN

Scale: AS NOTED

S2.3

<p>PLAN VIEW</p>	<p>CONTROL JOINT (EXTERIOR SLAB ONLY)</p> <p>CONSTRUCTION JOINT</p> <p>PROVIDE CONTROL OR CONSTRUCTION JOINTS IN EXTERIOR SLABS-ON-GRADE TO BREAK UP SLAB-ON-GRADE INTO SMALL SQUARE OR APPROXIMATELY RECTANGULAR AREAS. NO ACUTE ANGLES. THE RATIO OF LONG TO SHORT SIDE DIMENSION SHALL NOT EXCEED 1.5. MAXIMUM JOINT SPACING SHALL NOT EXCEED 36 TIMES THE SLAB-ON-GRADE THICKNESS IN EACH DIRECTION. CONTRACTOR SHALL SUBMIT JOINT LAYOUT PLAN TO ARCHITECT FOR APPROVAL.</p>	<p>TYPICAL HOLDDOWN ANCHOR AT GRADE BEAM</p>
<p>TYPICAL EXTERIOR POST FOOTING</p>	<p>TYPICAL INTERIOR GRADE BEAM W/ POST</p>	<p>TYPICAL INTERIOR GRADE BEAM FOUNDATION</p>
<p>STEEL COLUMN BASE PLATE AT GRADE BEAM</p>	<p>TYPICAL PERIMETER GRADE BEAM FOUNDATION AT OPENING</p>	<p>TYPICAL PERIMETER GRADE BEAM FOUNDATION</p>

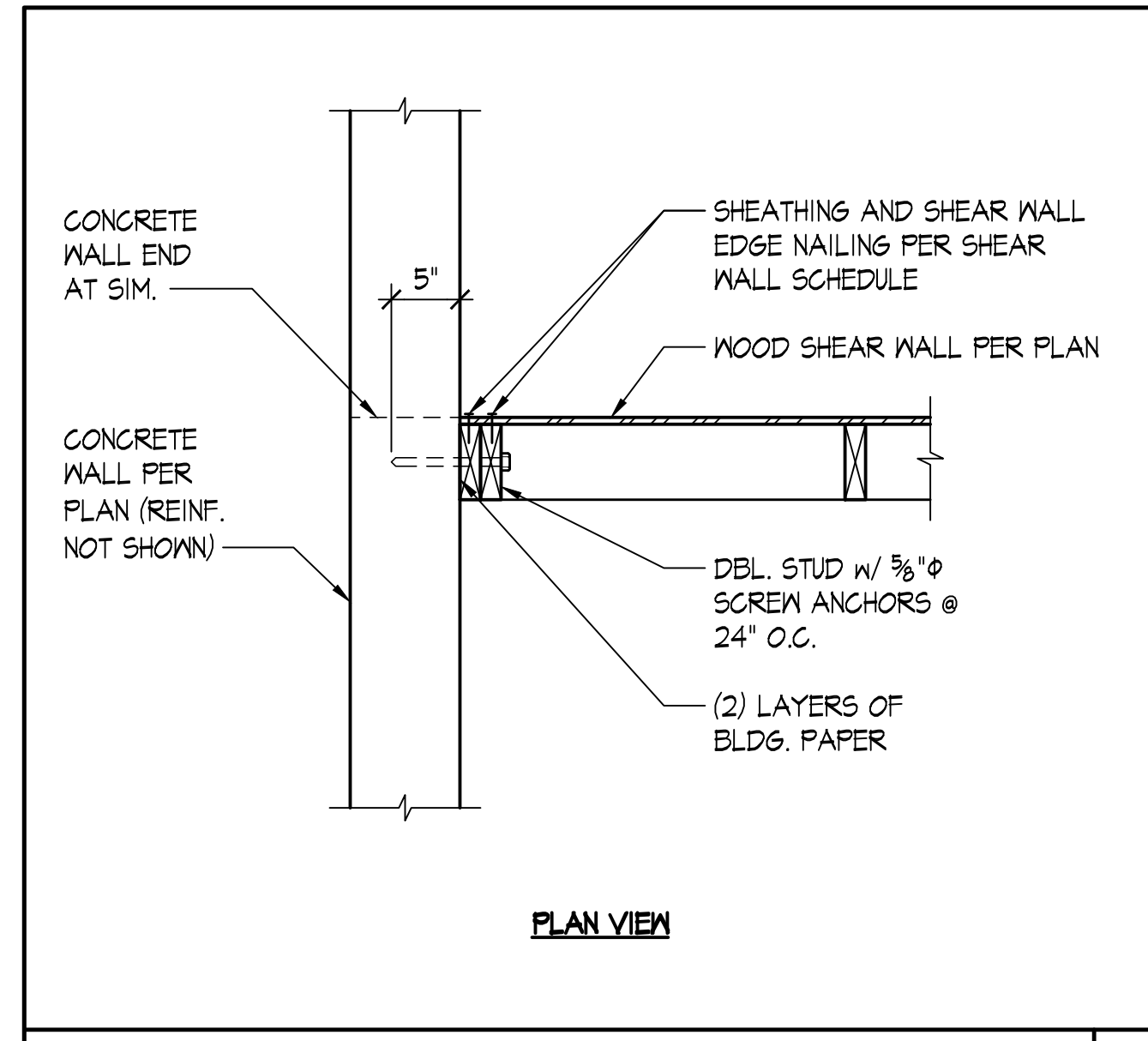


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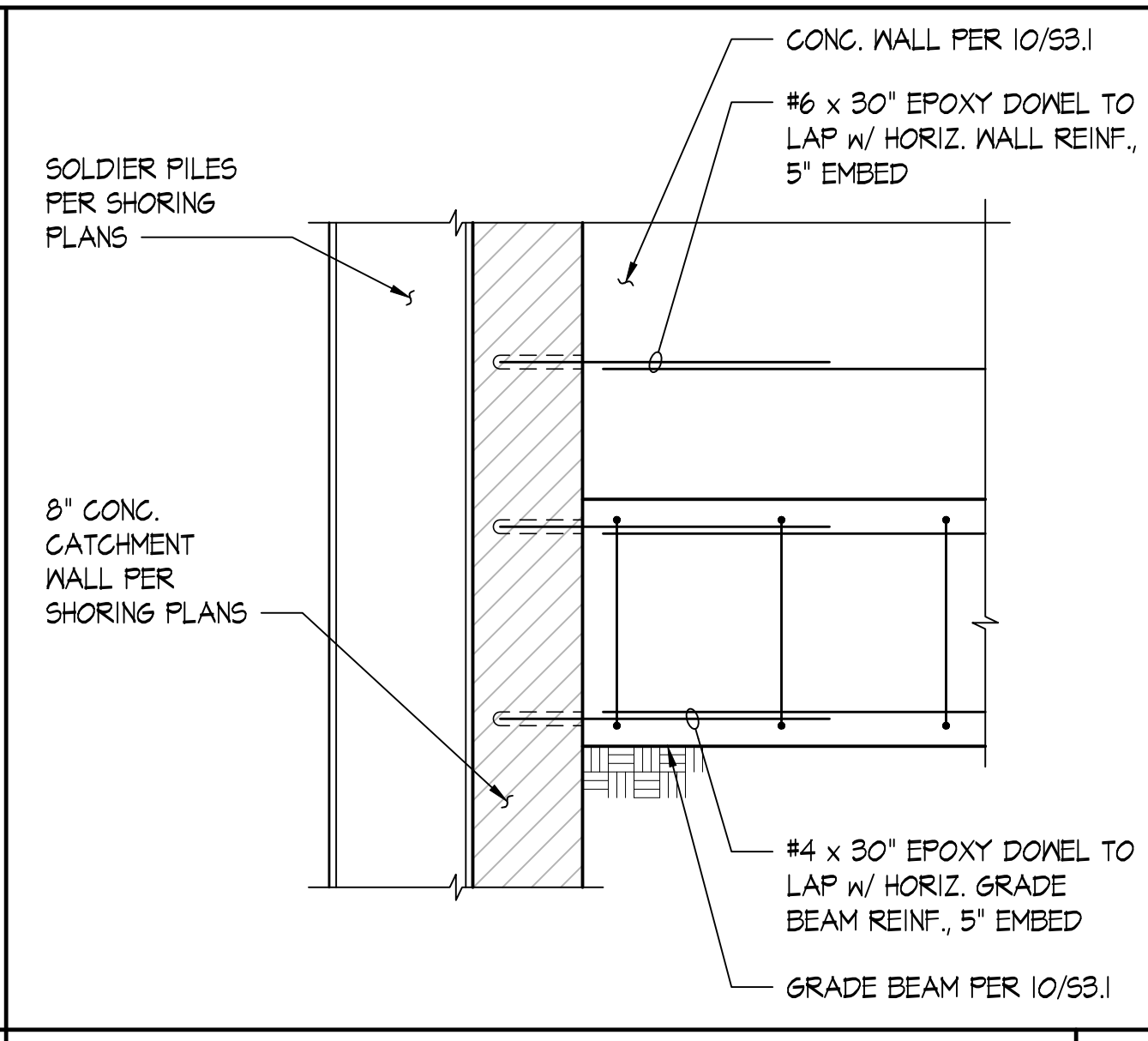
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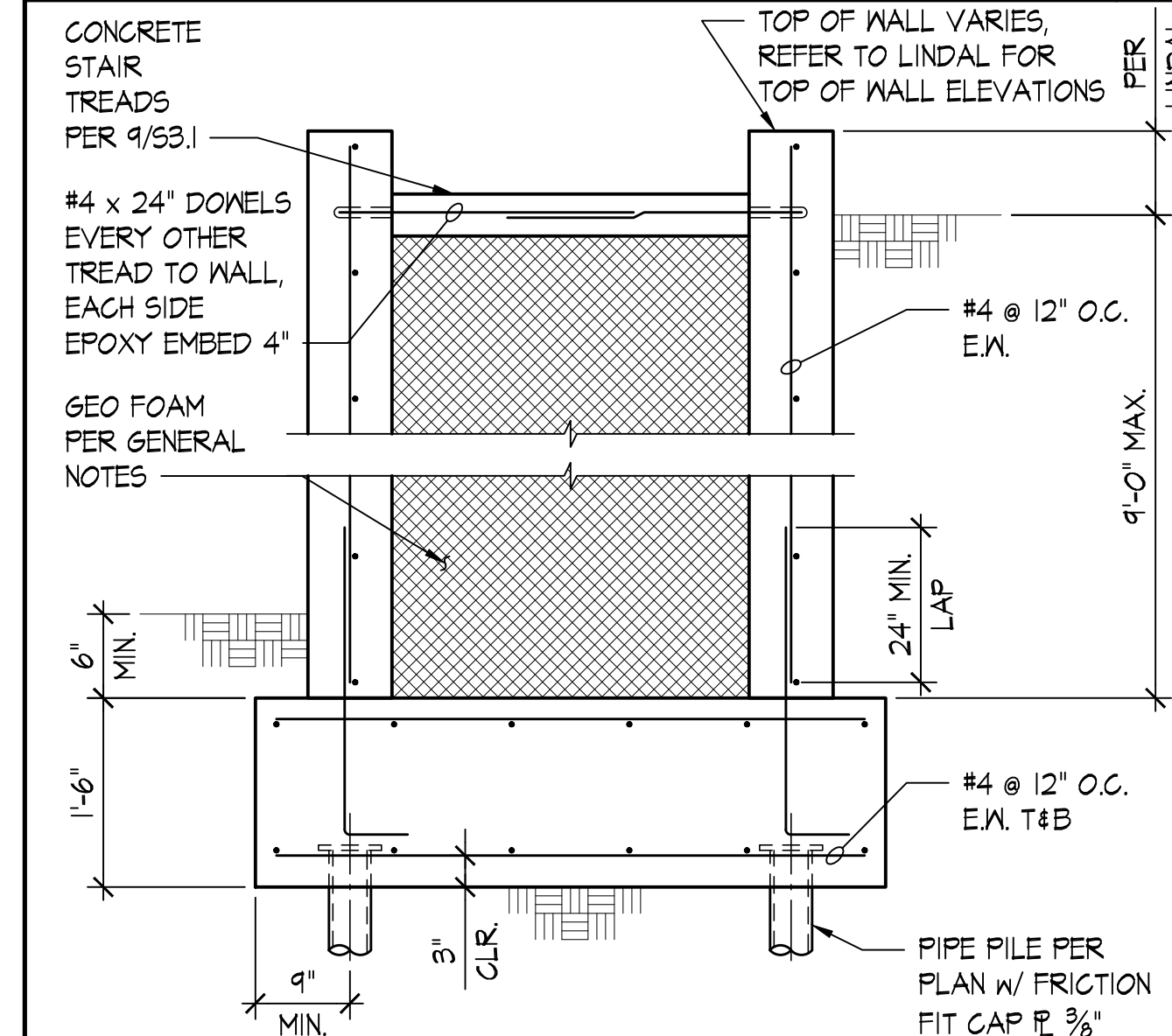
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DETAILS**
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WOOD SHEAR WALL TO CONCRETE WALL SCALE: 1"=1'-0" | **2** DETAIL SCALE: 1"=1'-0"



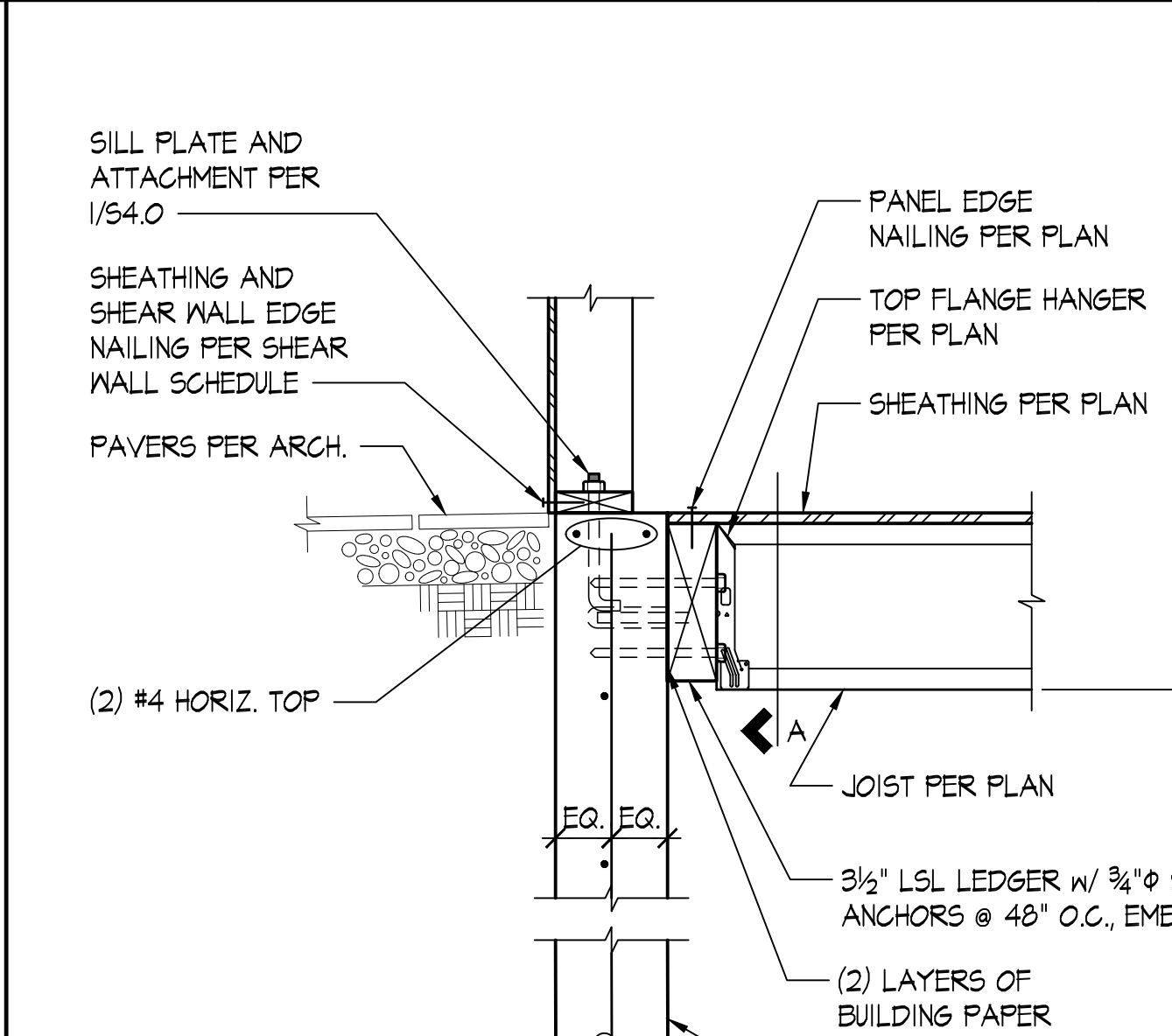
PATIO SITE WALL TO CATCHMENT WALL SCALE: 1"=1'-0" | **3** DETAIL SCALE: 1"=1'-0"



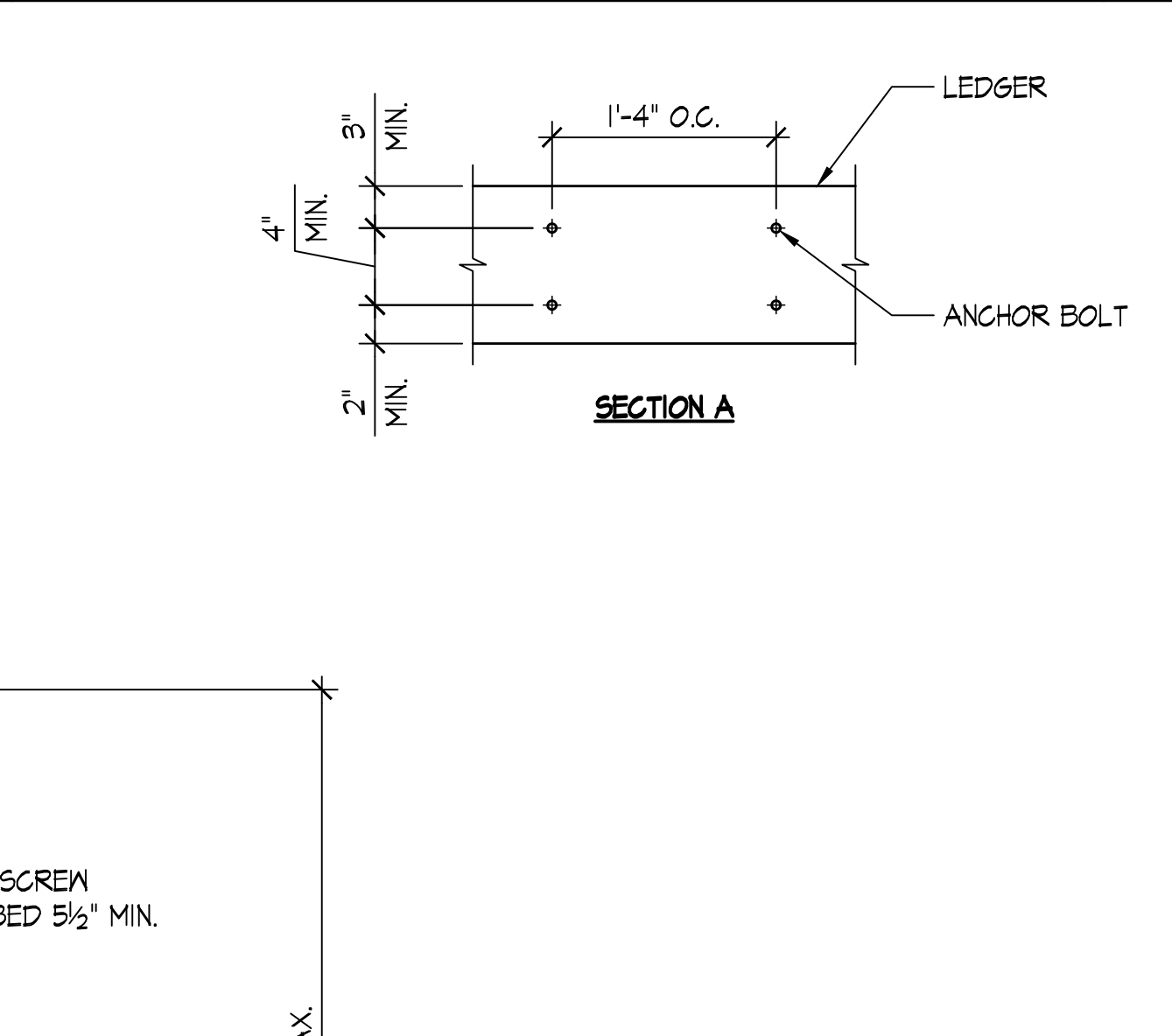
TYPICAL EXTERIOR STAIR SCALE: 3/4"=1'-0" | **5** DETAIL SCALE: 1"=1'-0"



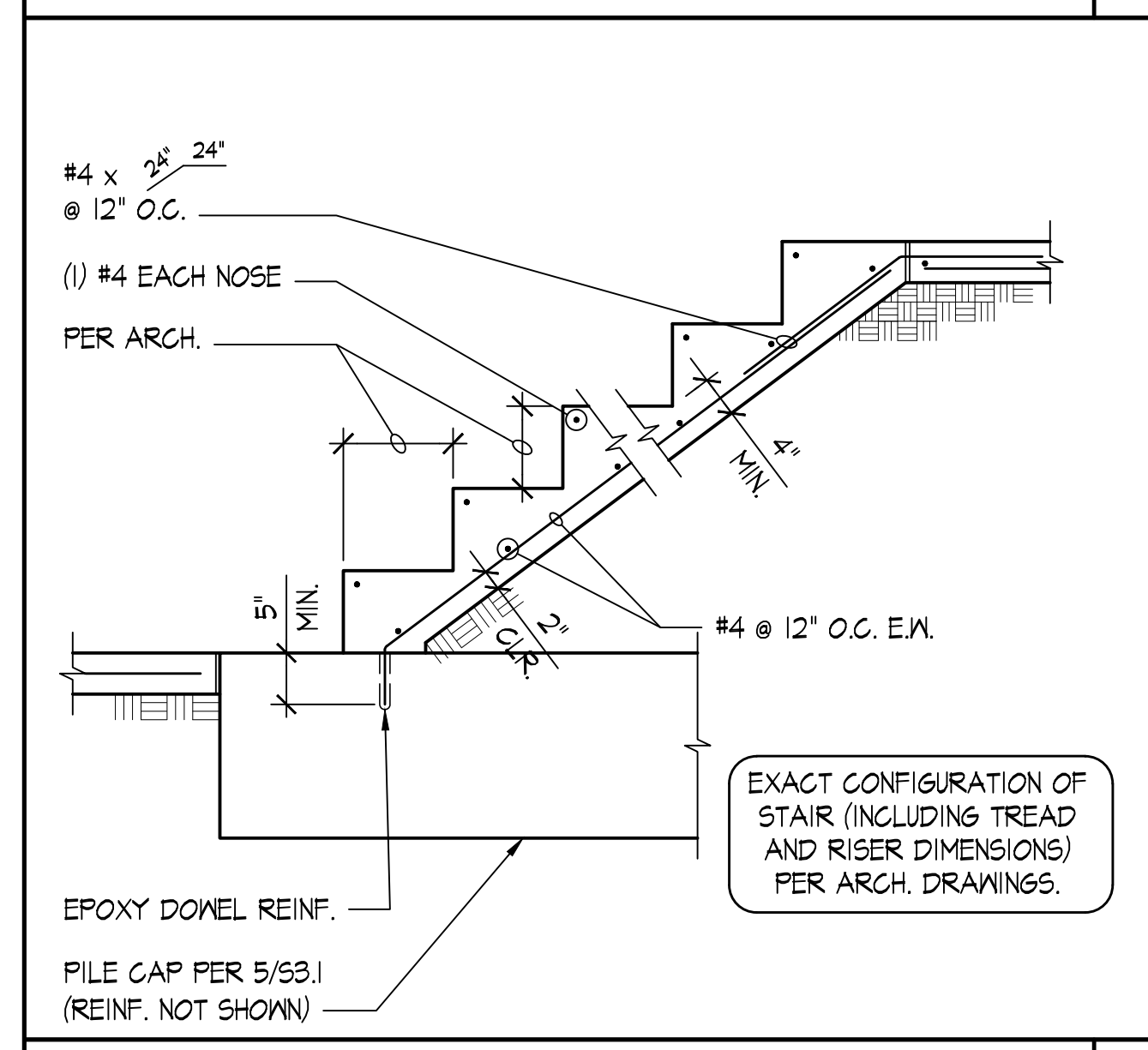
TYPICAL BASEMENT WALL - I-JOIST PARALLEL SCALE: 1"=1'-0" | **12** DETAIL SCALE: 1"=1'-0"



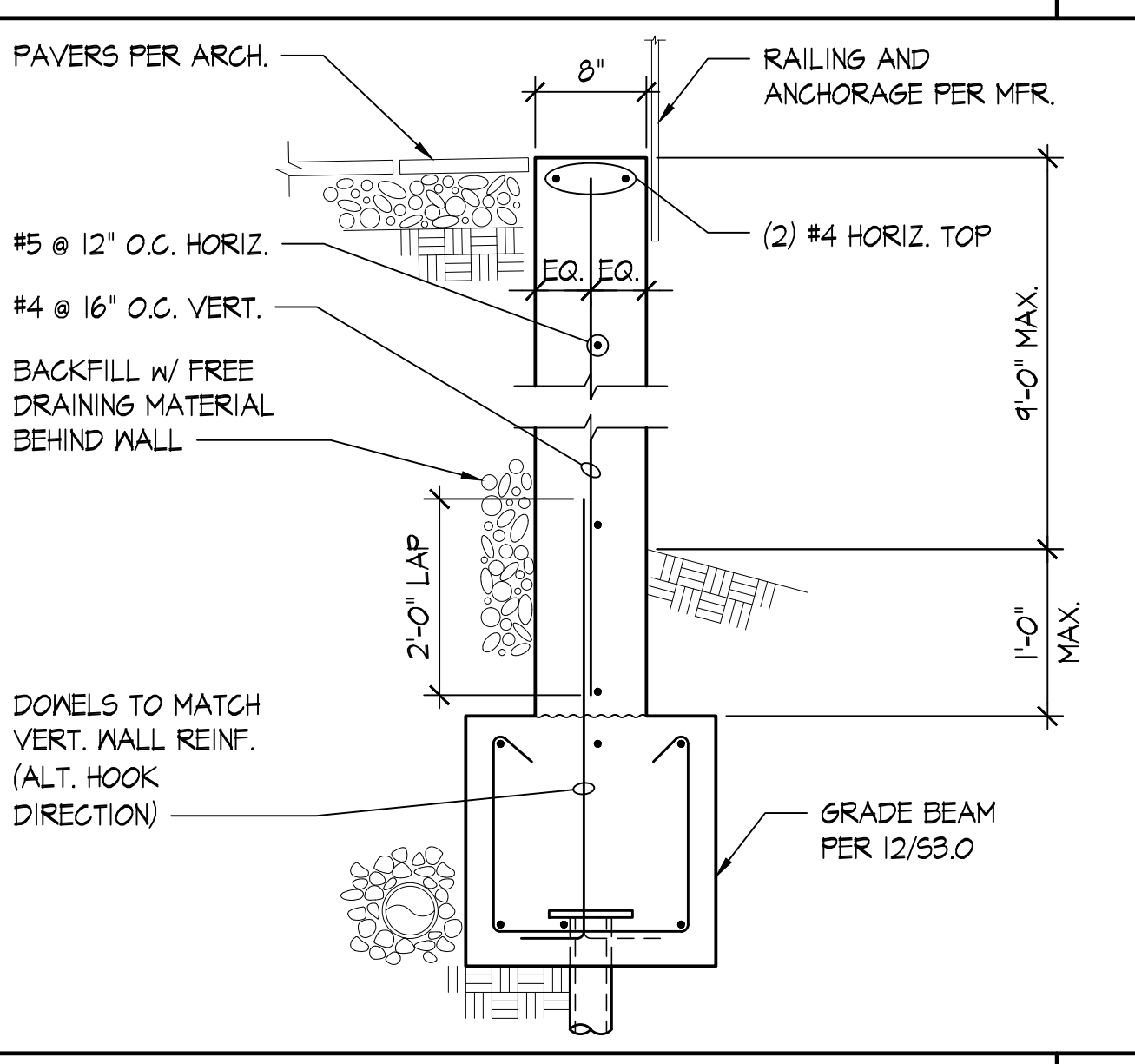
PATIO SITE WALL SCALE: 1"=1'-0" | **10** DETAIL SCALE: 1"=1'-0"



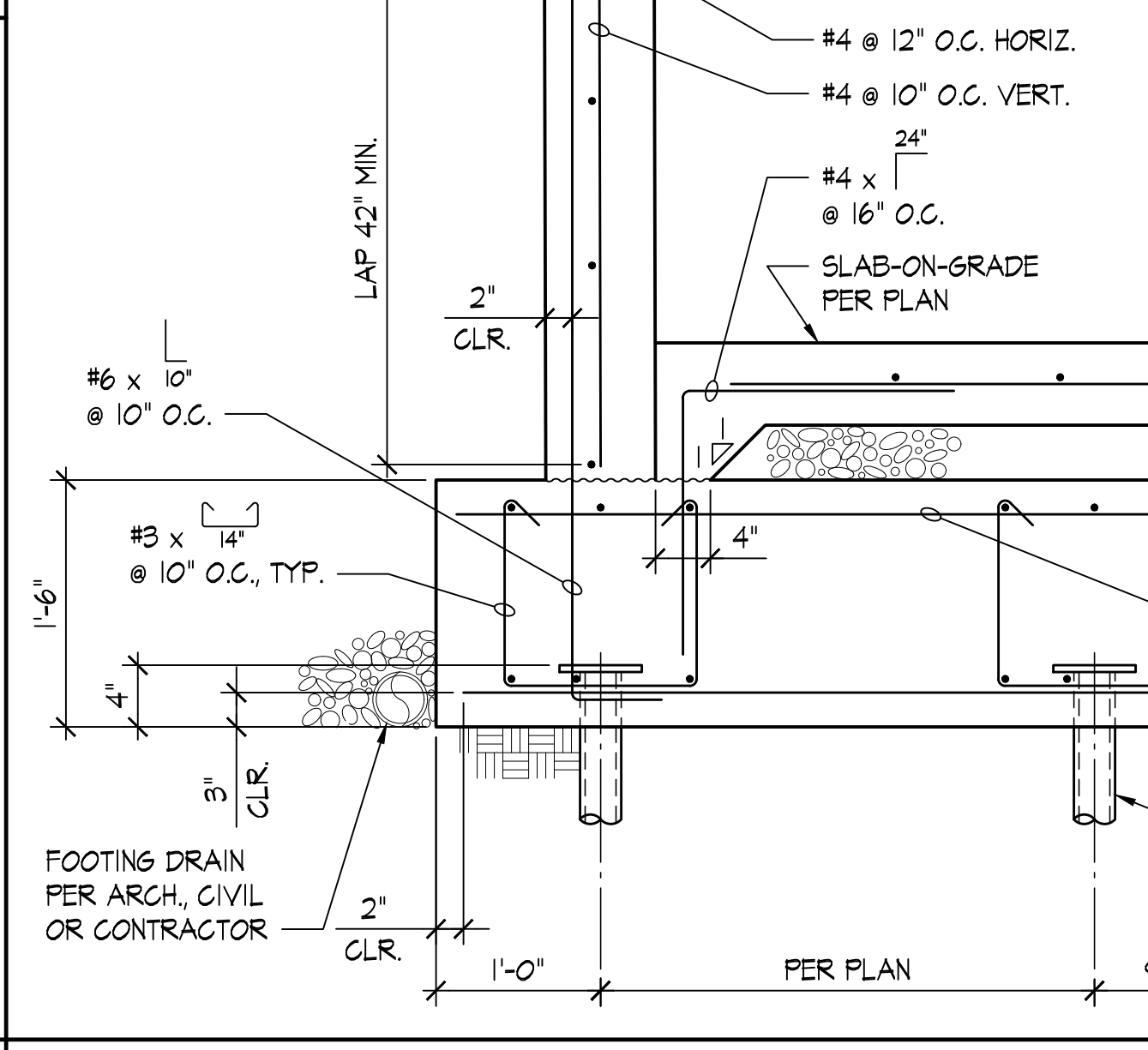
TYPICAL STAIR ON GRADE SCALE: NONE | **9** DETAIL SCALE: 1"=1'-0"



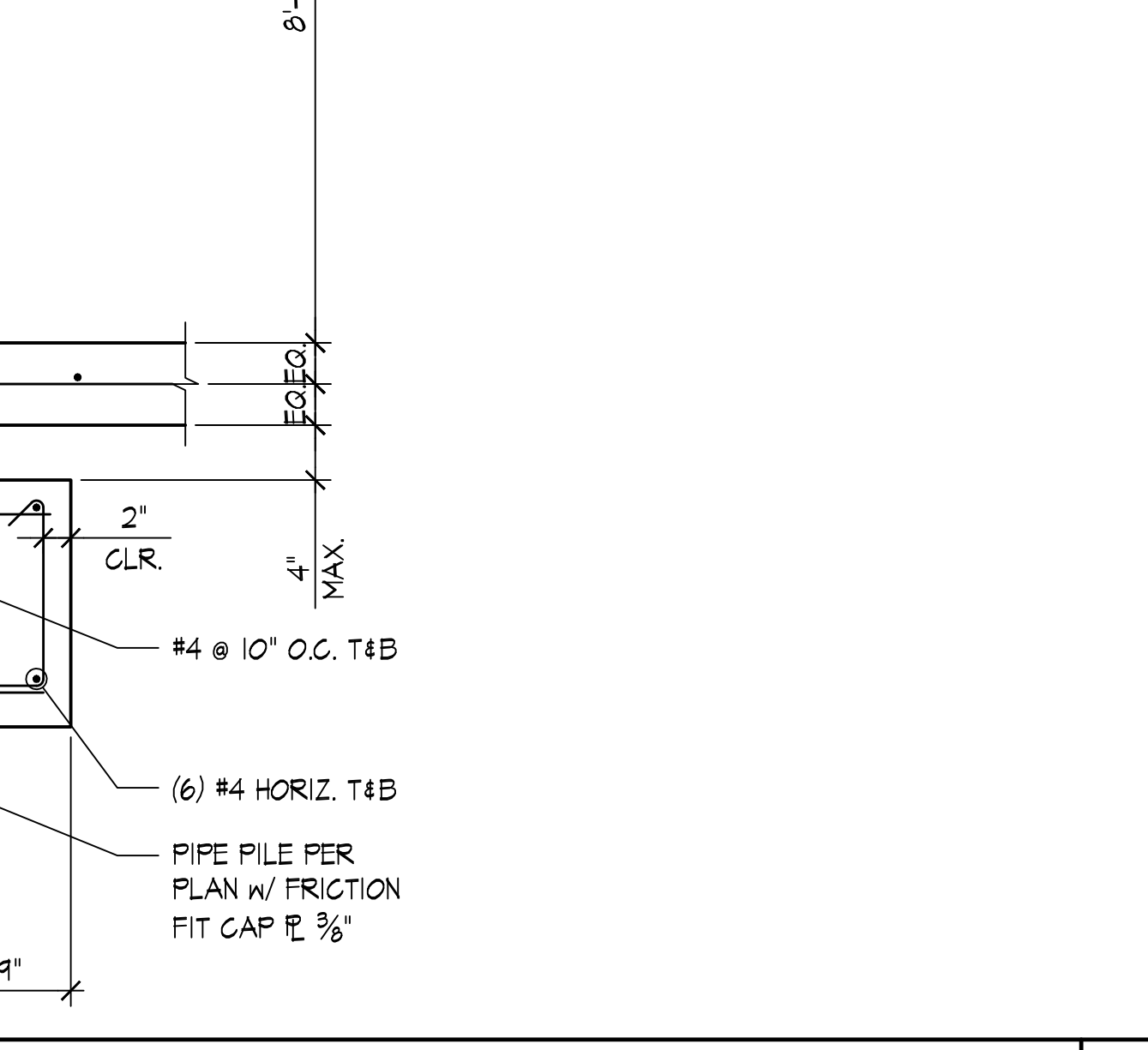
PATIO SITE WALL SCALE: 1"=1'-0" | **10** DETAIL SCALE: 1"=1'-0"



TYPICAL BASEMENT WALL - I-JOIST PARALLEL SCALE: 1"=1'-0" | **12** DETAIL SCALE: 1"=1'-0"



TYPICAL STAIR ON GRADE SCALE: NONE | **9** DETAIL SCALE: 1"=1'-0"



PATIO SITE WALL SCALE: 1"=1'-0" | **10** DETAIL SCALE: 1"=1'-0"

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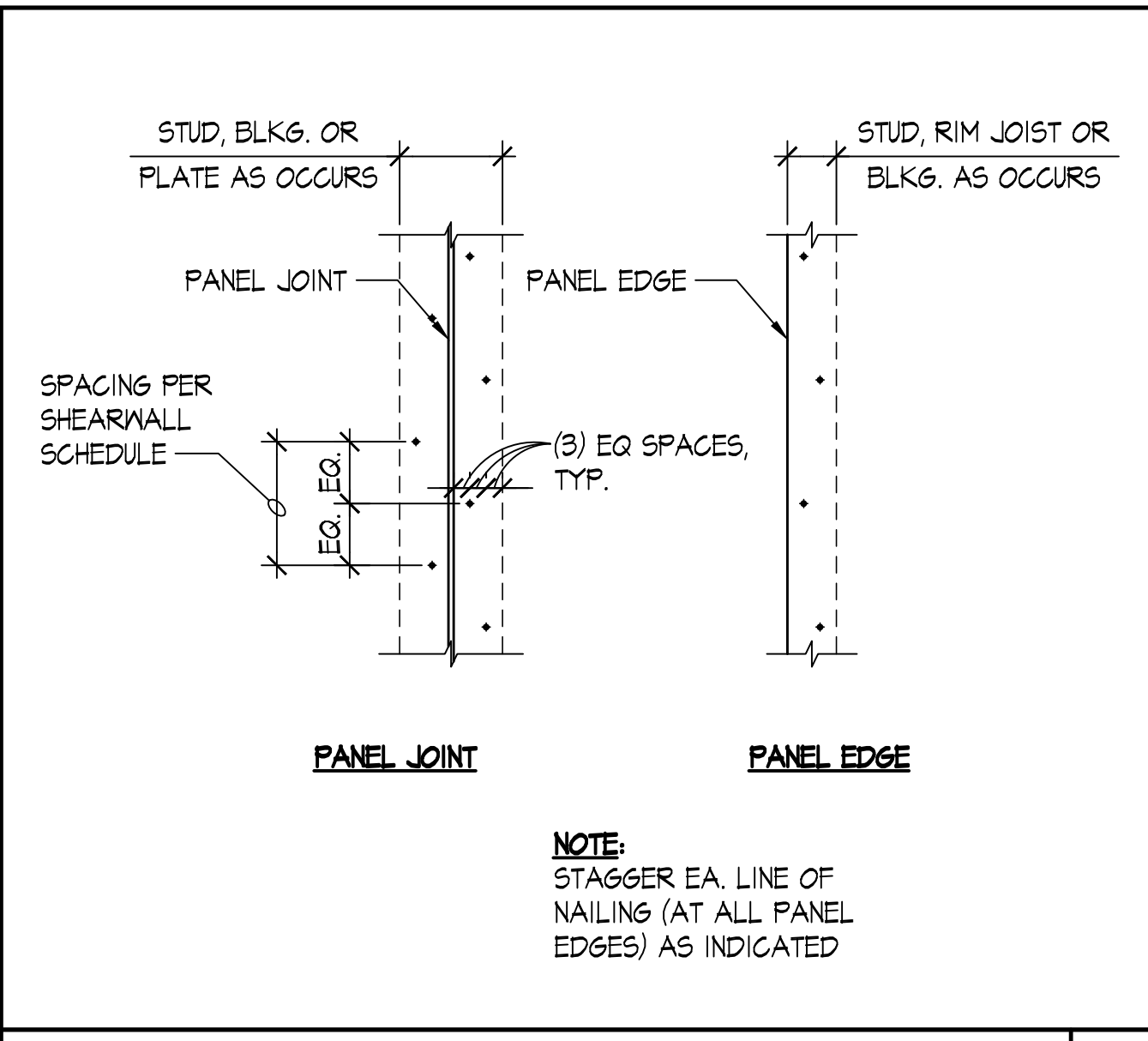
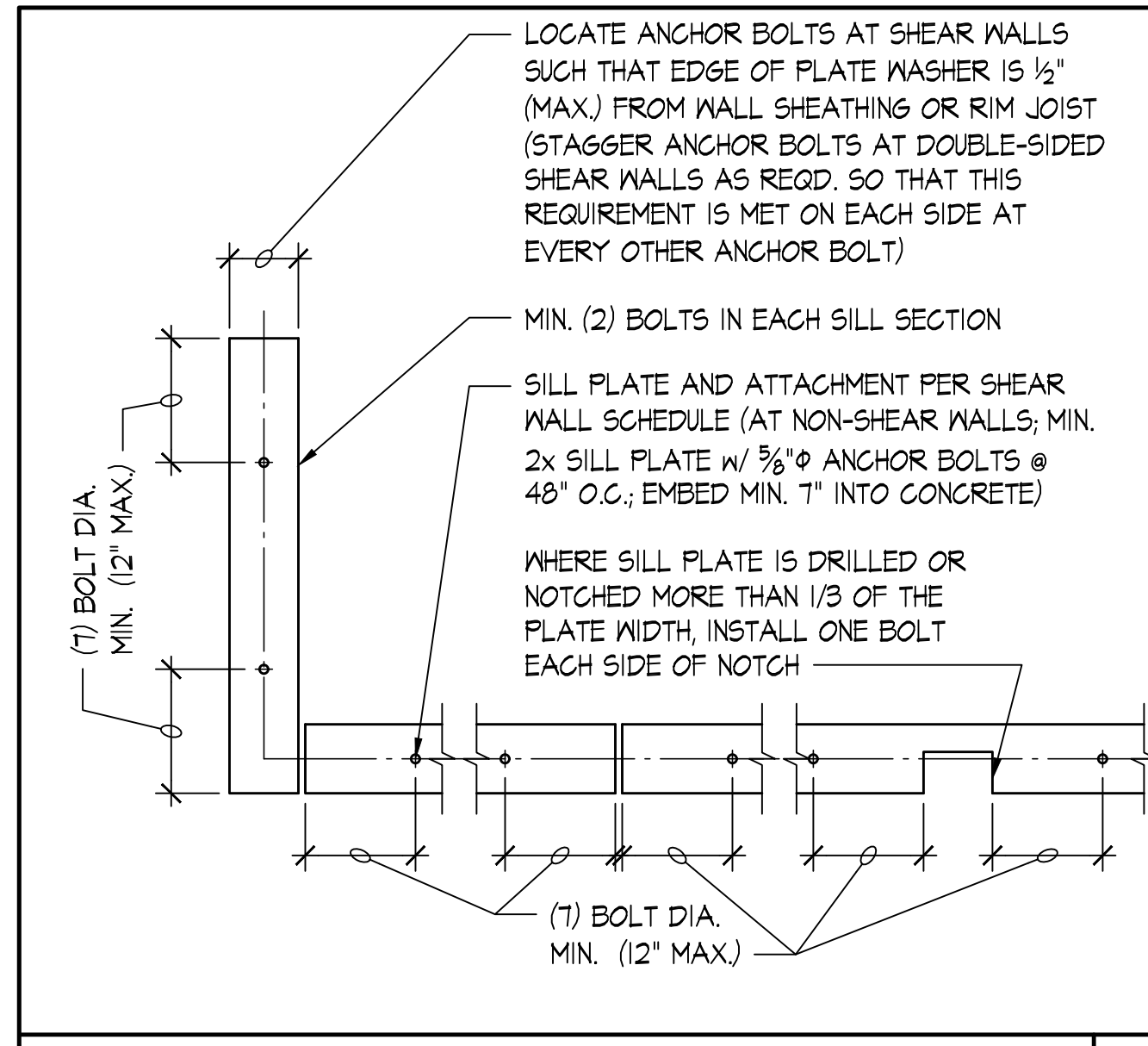
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DETAILS**
Scale: AS NOTED

S3.1

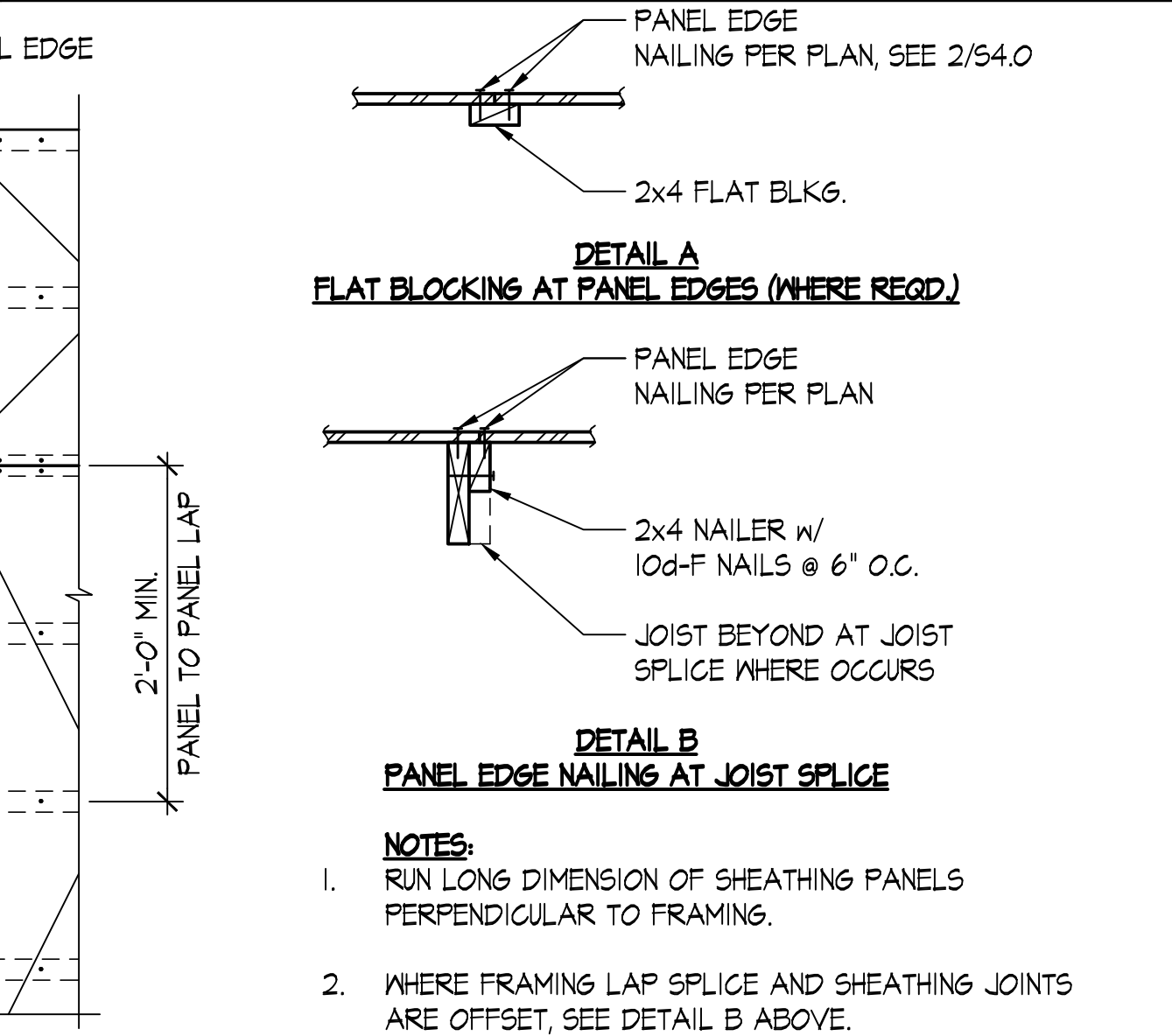
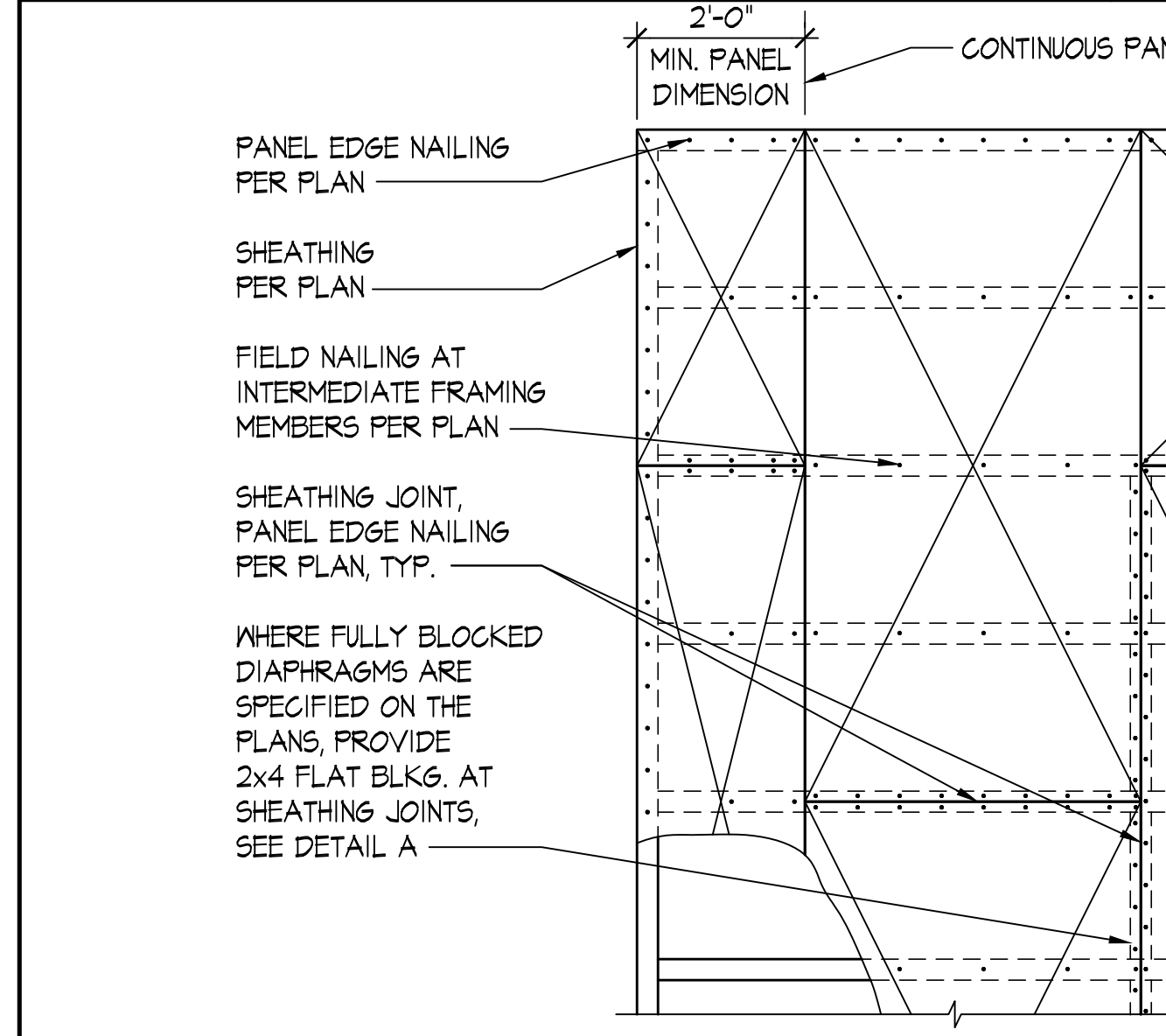
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SHEAR WALL TYPE	SHEAR WALL SHEATHING ①	PANEL EDGE FRAMING ②⑦	PANEL EDGE NAILING ③	BOTTOM PLATE ATTACHMENT		TOP PLATE ATTACHMENT		
				2x BOTTOM PLATE CONNECTION TO RIM JOIST OR BLOCKING BELOW	ANCHOR BOLTING OF SILL PLATE TO CONCRETE BELOW ④⑤		RIM JOIST OR BLOCKING CONNECTION TO TOP PLATE ⑥	
						3x PLATE	2x PLATE	INTERIOR WALL
SW-6	1/32" APA ONE-SIDE SHTG.	2x	0.131"φx2 1/2" @ 6" O.C.	0.148"φx3 1/4" @ 6" O.C. ⑨	5/8"φ @ 48" O.C.	5/8"φ @ 48" O.C.	A35 (180-35) @ 16" O.C.	LTP4 (180-31) @ 16" O.C.
SW-4	1/32" APA ONE-SIDE SHTG.	3x OR (2) 2x	0.131"φx2 1/2" @ 4" O.C. ⑥	0.148"φx3 1/4" @ 4" O.C. ⑨	5/8"φ @ 48" O.C.	5/8"φ @ 32" O.C.	A35 (180-35) @ 16" O.C.	LTP4 (180-31) @ 16" O.C.
SW-2	1/32" APA ONE-SIDE SHTG.	3x OR (2) 2x	0.131"φx2 1/2" @ 2" O.C. ⑥	(2) ROWS 0.148"φx3 1/4" @ 4" O.C. STAGGERED ⑩	5/8"φ @ 24" O.C.	5/8"φ @ 16" O.C.	A35 (180-35) @ 8" O.C.	LTP4 (180-31) @ 8" O.C.
2SW-2	1/32" APA TWO-SIDES SHTG. ⑪	3x	0.148"φx3 1/4" @ 2" O.C. ⑥	(2) ROWS 0.148"φx3 1/4" @ 2" O.C. ⑩	5/8"φ @ 16" O.C. ⑫	N/A	A35 (180-35) @ 6" O.C.	LTP4 (180-31) @ 6" O.C.

TYPICAL SILL PLATE BOLTING - PLAN VIEW SCALE: NONE

TYPICAL STAGGERED NAILING SCALE: NONE



TYPICAL ROOF AND FLOOR DIAPHRAGM SHEATHING SCALE: NONE

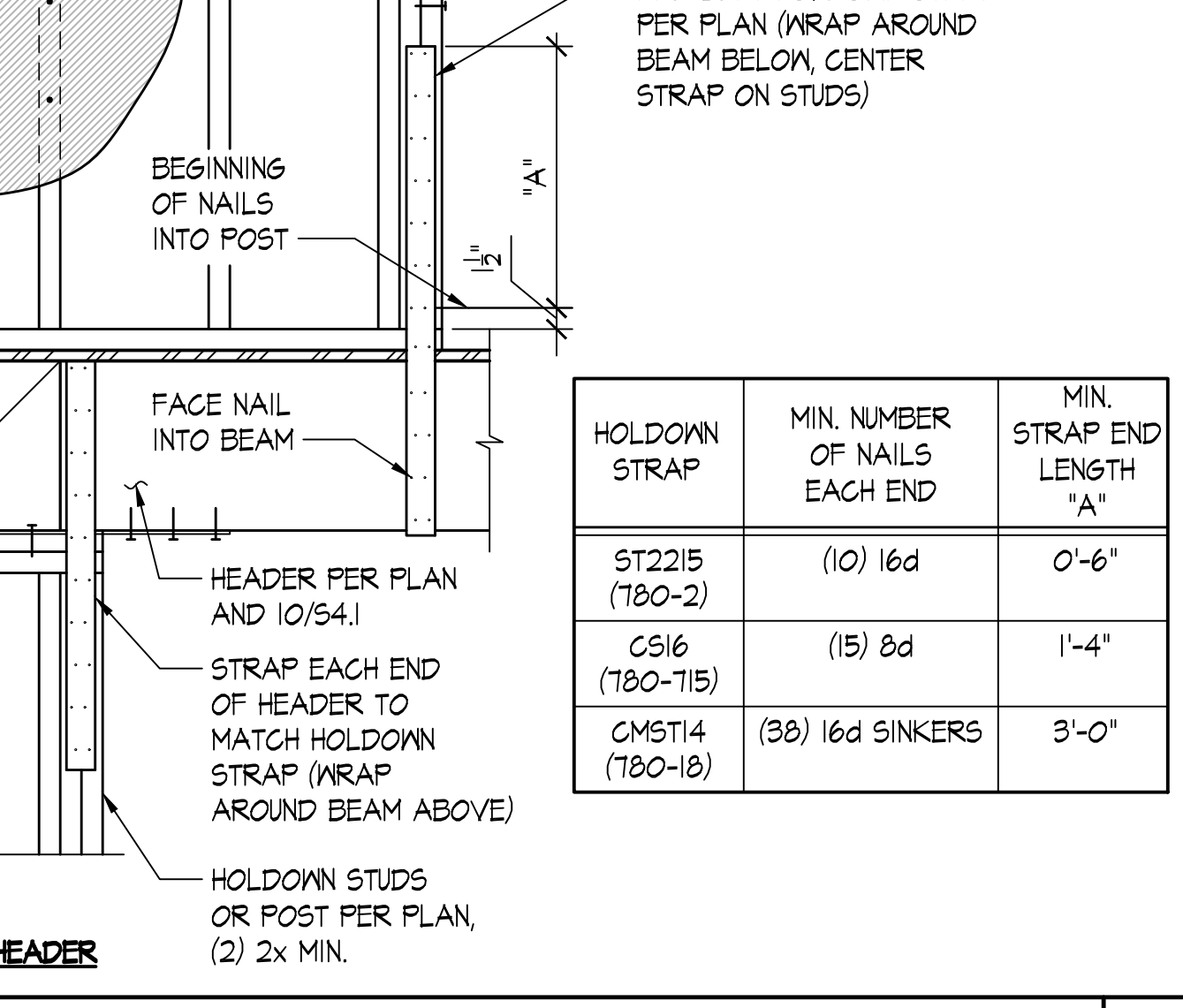
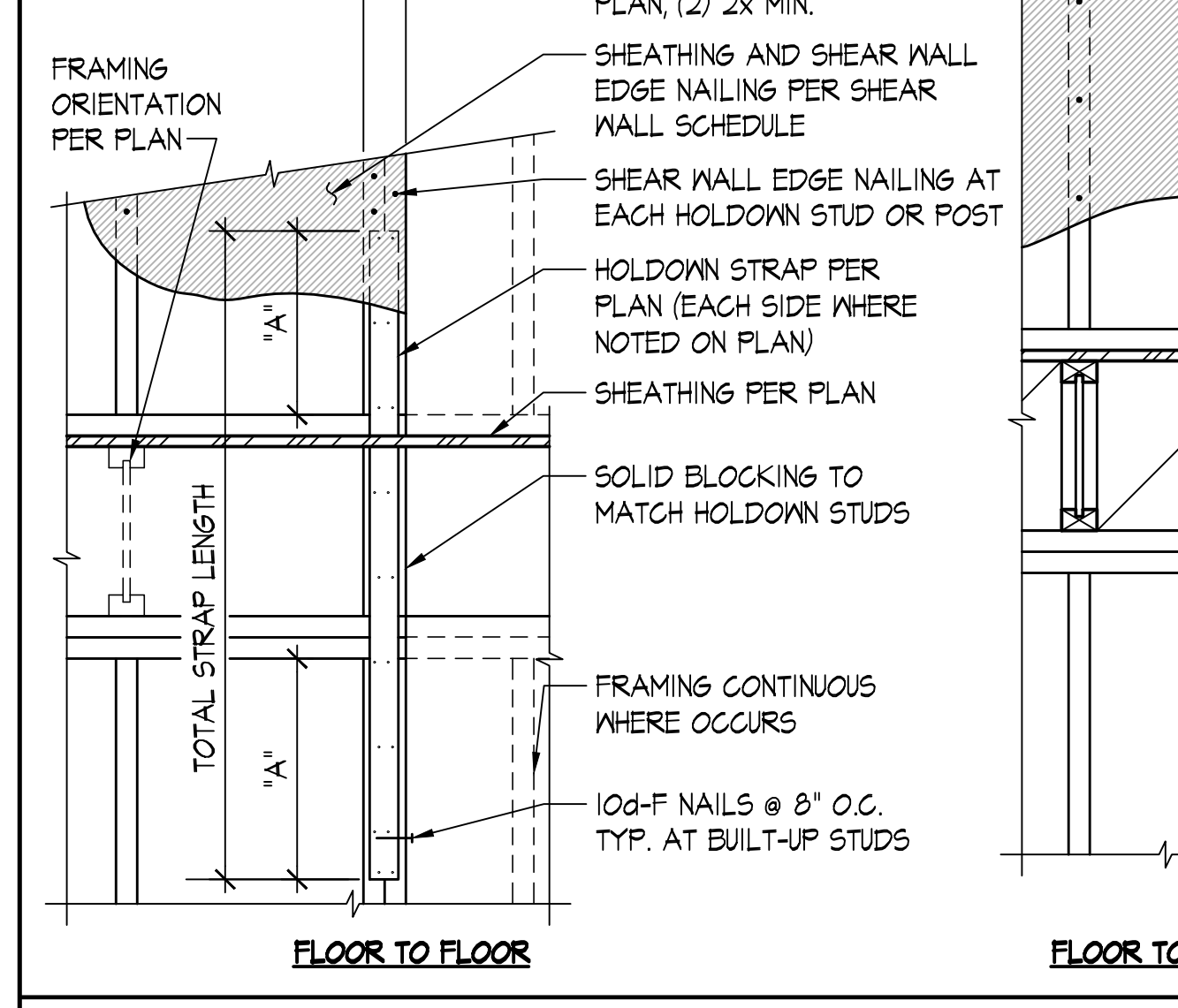
TYPICAL STAGGERED NAILING SCALE: NONE

- NOTES:**
- INSTALL PANEL SHEATHING EITHER HORIZONTALLY OR VERTICALLY FOR THE ENTIRE LENGTH OF THE WALL PER PLAN. WALL STUD SPACING SHALL BE 16" O.C. MAXIMUM.
 - ALL INTERMEDIATE WALL STUDS SHALL BE PER PLAN. PROVIDE BACKING FRAMING AT ALL PANEL EDGES INCLUDING HORIZONTAL BLOCKING PER THE SCHEDULE.
 - PROVIDE NAILING TO ALL PANEL EDGES, TOP & BOTTOM PLATES AND HORIZONTAL BLOCKING. PROVIDE THE SAME NAILING PATTERN TO EACH MULTIPLE STUD OF THE BUILT-UP HOLD DOWN POST. NAIL PANEL TO INTERMEDIATE FRAMING MEMBERS w/ 0.131"φ x 2 1/2" @ 12" O.C.
 - EMBED CAST-IN-PLACE 5/8"φ ANCHOR BOLTS 1" MIN. (OR EMBED ADHESIVE ANCHOR BOLTS 5 1/2" IN (E) CONCRETE; SEE STRUCTURAL NOTES). PROVIDE PLATE WASHER 3" x 3" x 1/4" AT EACH ANCHOR BOLT. SILL PLATES SHALL BE TREATED PER GENERAL NOTES, AND SHALL BE 2x OR 3x PER THE SCHEDULE. SEE DETAIL 1/54.0 FOR OTHER REQUIREMENTS.
 - PROVIDE HOT DIPPED GALVANIZED NAILS, BOLTS, OR METAL PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED MEMBERS.
 - PROVIDE 0.131"φ x 1-1/2" LONG NAILS FOR CLIPS DIRECTLY ATTACHED TO FRAMING MEMBERS; PROVIDE 0.131"φ x 2-1/2" LONG NAILS FOR CLIPS INSTALLED OVER FLOOR OR WALL SHEATHING ON FRAMING MEMBERS. SEE 6/54.1 FOR TOP PLATE SPLICE.
 - ALTERNATIVE TO 3x STUDS AND 3x HORIZ. BLOCKING IS (2) 2x STUDS/BLKG. NAILED TOGETHER WITH 0.148"φ x 3" LONG NAILS WITH THE SAME SPACING AS THE PANEL EDGE NAILING PER THE SCHEDULE (STAGGER).
 - STAGGER NAILS PER 2/54.0.
 - RIM JOIST/BLOCKING MINIMUM WIDTH OF 1 1/2". STAGGER NAILS PER 2/54.0 WHERE SPACING IS LESS THAN 6" O.C.
 - RIM JOIST/BLOCKING MINIMUM WIDTH OF 3". STAGGER NAILS PER 2/54.0.
 - STAGGER PANEL EDGE JOINTS AT DOUBLE-SIDED SHEAR WALLS SO THAT JOINTS ON OPPOSITE SIDES ARE NOT AT THE SAME STUD.
 - STAGGER ANCHOR BOLTS ON EITHER SIDE OF SILL PLATE AS NOTED ON 1/54.0.

TYPICAL ROOF AND FLOOR DIAPHRAGM SHEATHING SCALE: NONE

TYPICAL STAGGERED NAILING SCALE: NONE

SHEAR WALL SCHEDULE - 8d NAILS SCALE: NONE



TYPICAL FLOOR TO FLOOR HOLDDOWN STRAP & FLOOR TO HEADER HOLDDOWN STRAP SCALE: NONE

TYPICAL HOLDDOWN TO CONCRETE SCALE: NONE

HOLDOWN	ANCHOR BOLT φ	ANCHOR BOLT IN CONCRETE EMBED LENGTH	CONNECTORS TO HOLDDOWN STUDS (189-10)
HDU2 (180-707)	5/8"φ	13"	(6) SDS 1/4"x2 1/2" SCREWS
HDU8 (180-706)	7/8"φ	18"	(20) SDS 1/4"x2 1/2" SCREWS
HDU11 (180-698)	1"φ	20"	(30) SDS 1/4"x2 1/2" SCREWS
HDU14 (180-699)	1"φ	20"	(36) SDS 1/4"x2 1/2" SCREWS

NOTE: PROVIDE HOT DIPPED GALVANIZED NAILS, BOLTS, OR METAL PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED MEMBERS.

① WHERE HDU OCCURS ON GRADE BEAM, SEE DETAIL 4/53.0 FOR EMBEDMENT AND ADDITIONAL REINFORCING REQUIREMENTS

TYPICAL FLOOR TO FLOOR HOLDDOWN STRAP & FLOOR TO HEADER HOLDDOWN STRAP SCALE: NONE

TYPICAL HOLDDOWN TO CONCRETE SCALE: NONE

TYPICAL HOLDDOWN TO CONCRETE SCALE: NONE



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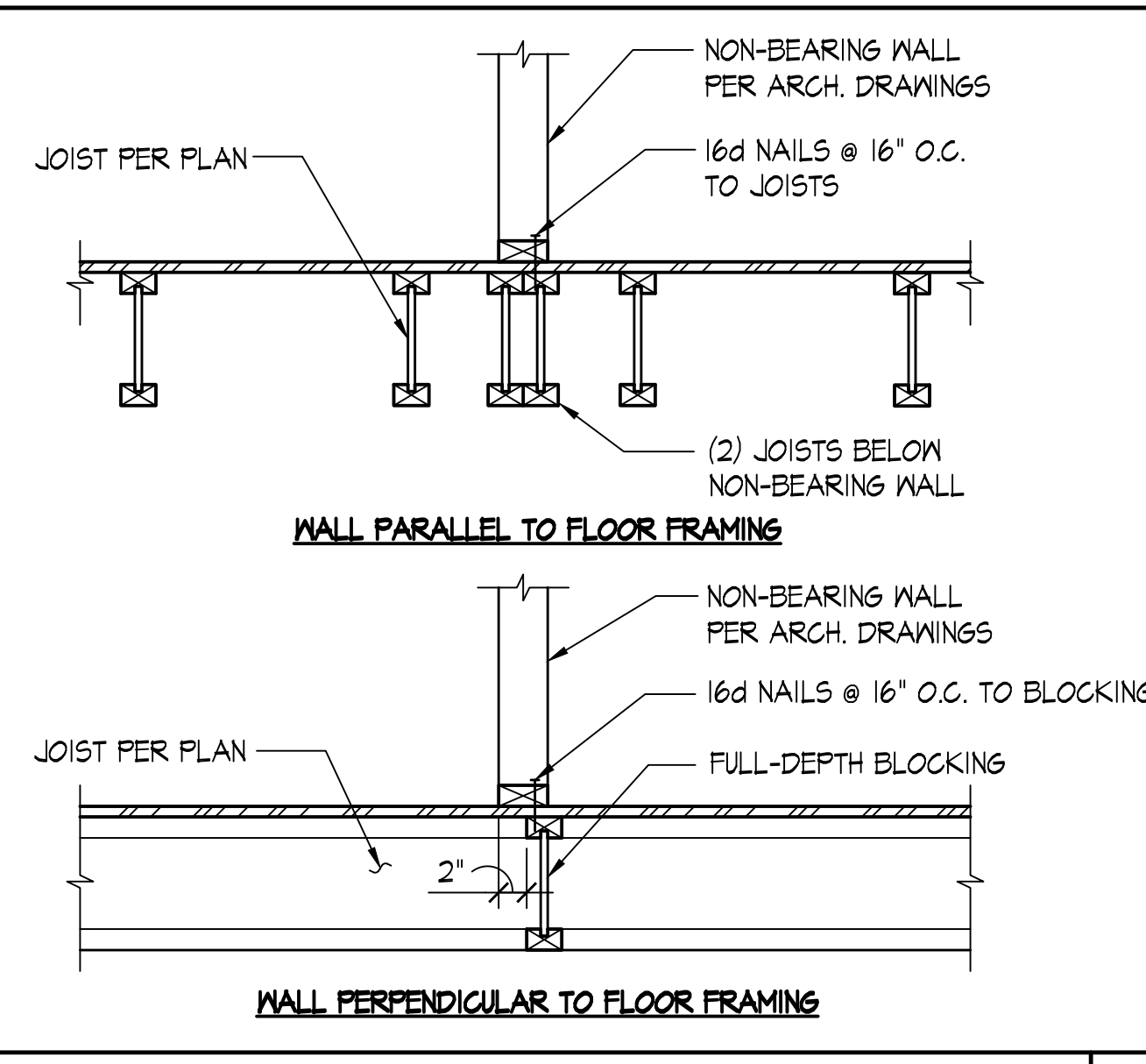
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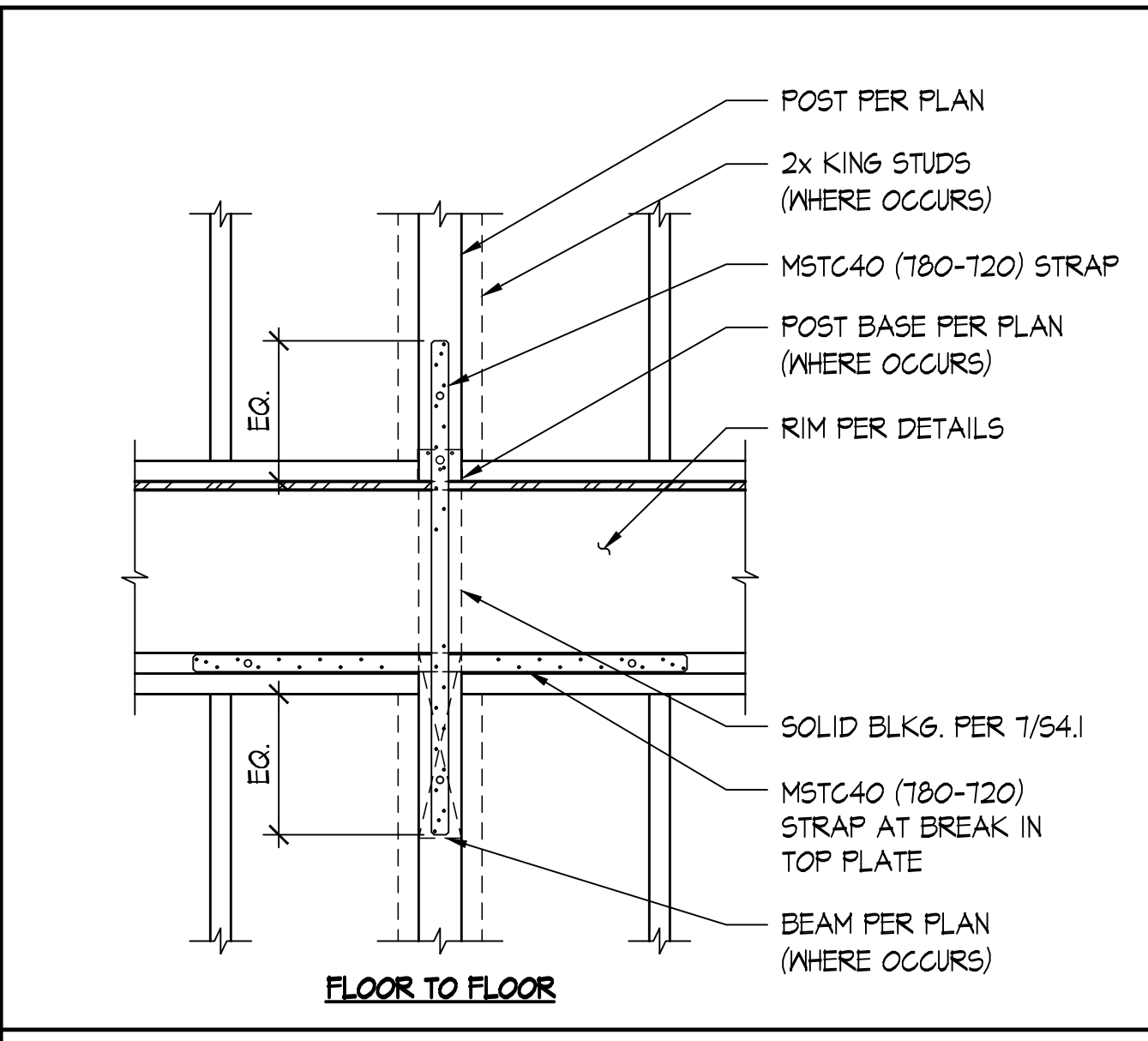
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Scale: AS NOTED

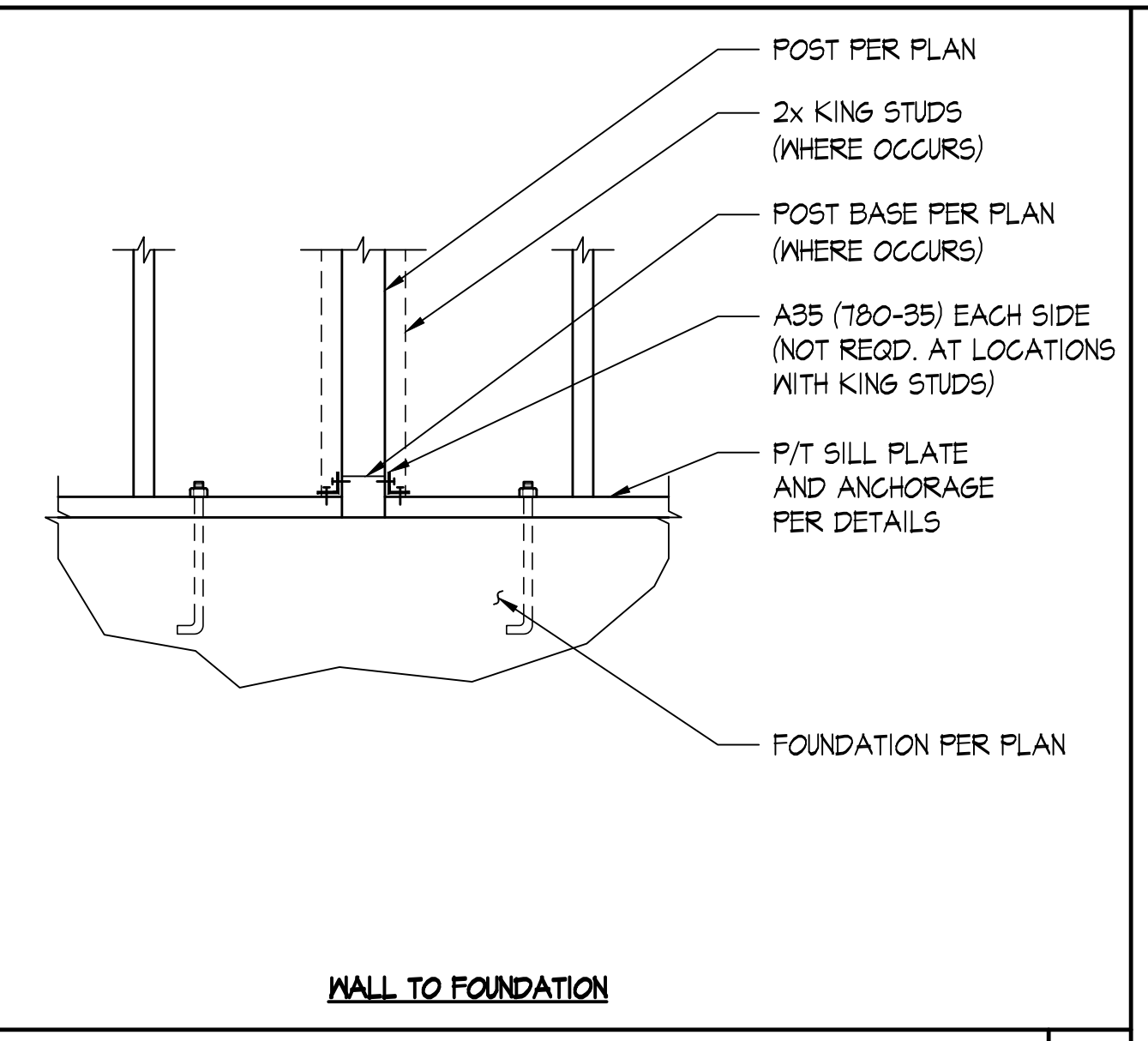
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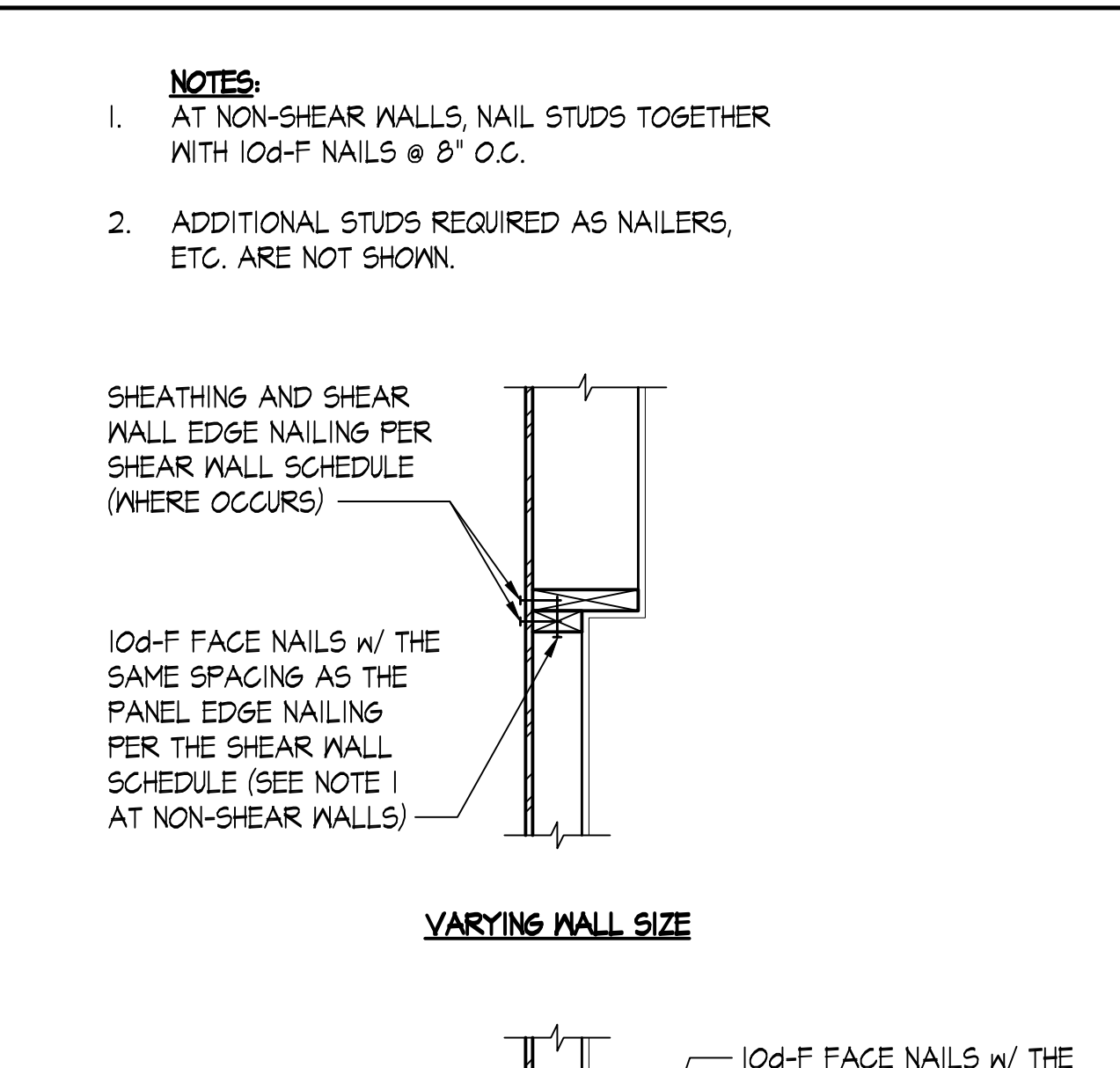
TYPICAL NON-STRUCTURAL WALL SUPPORT (BOTTOM) - 1-JOIST SCALE: NONE



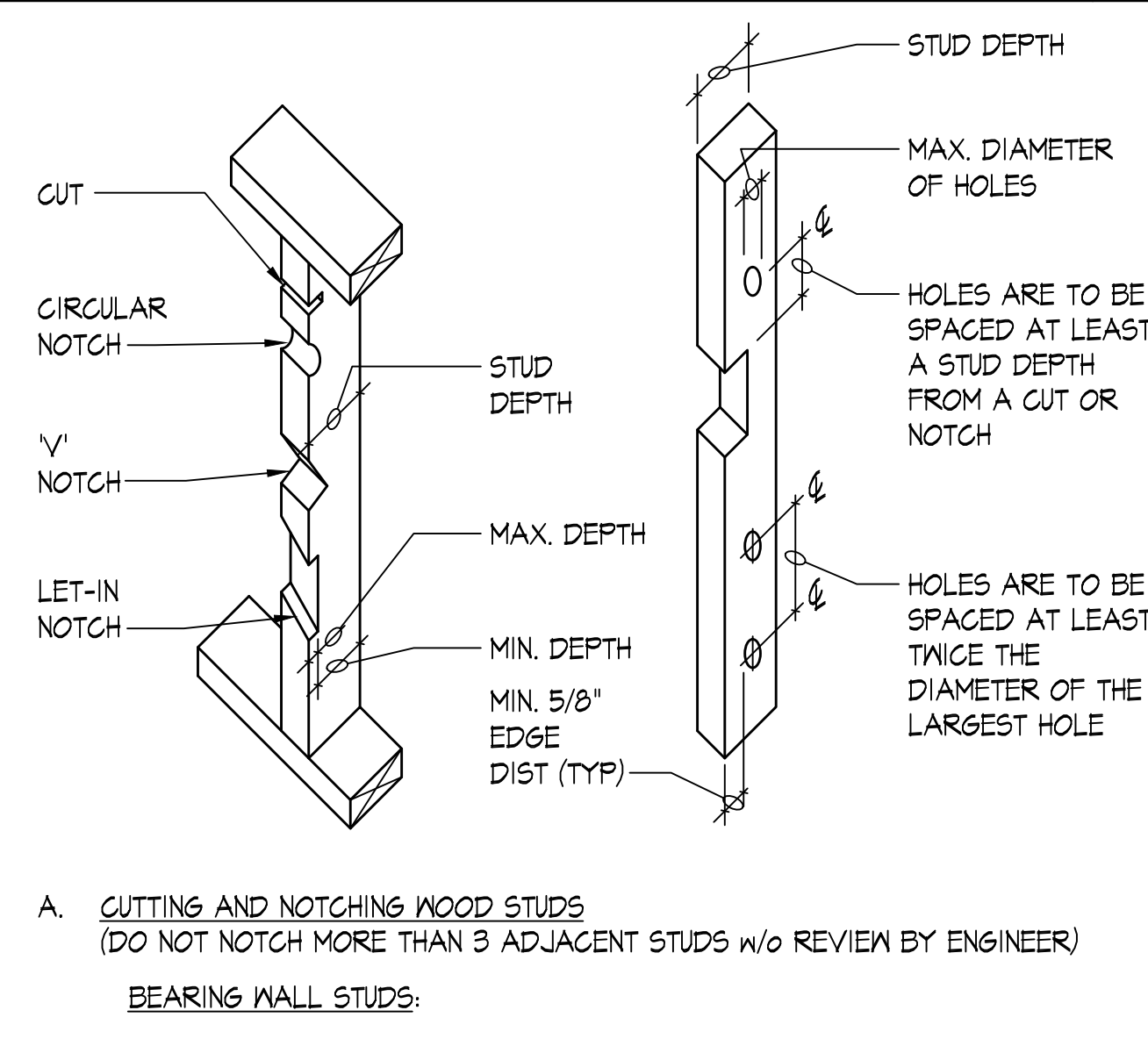
TYPICAL POST BASE CONNECTION SCALE: NONE



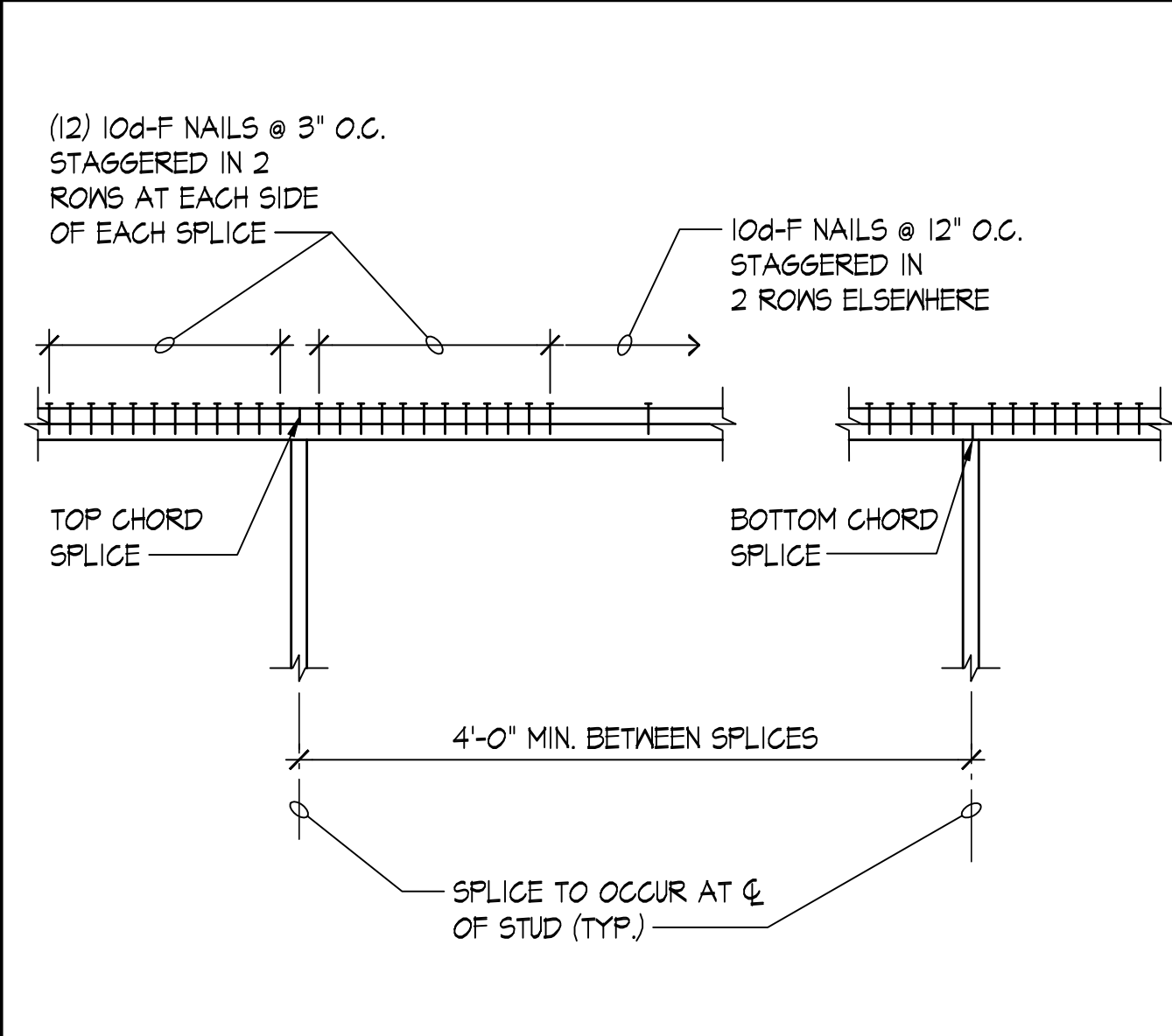
TYPICAL WALL TO FOUNDATION SCALE: NONE



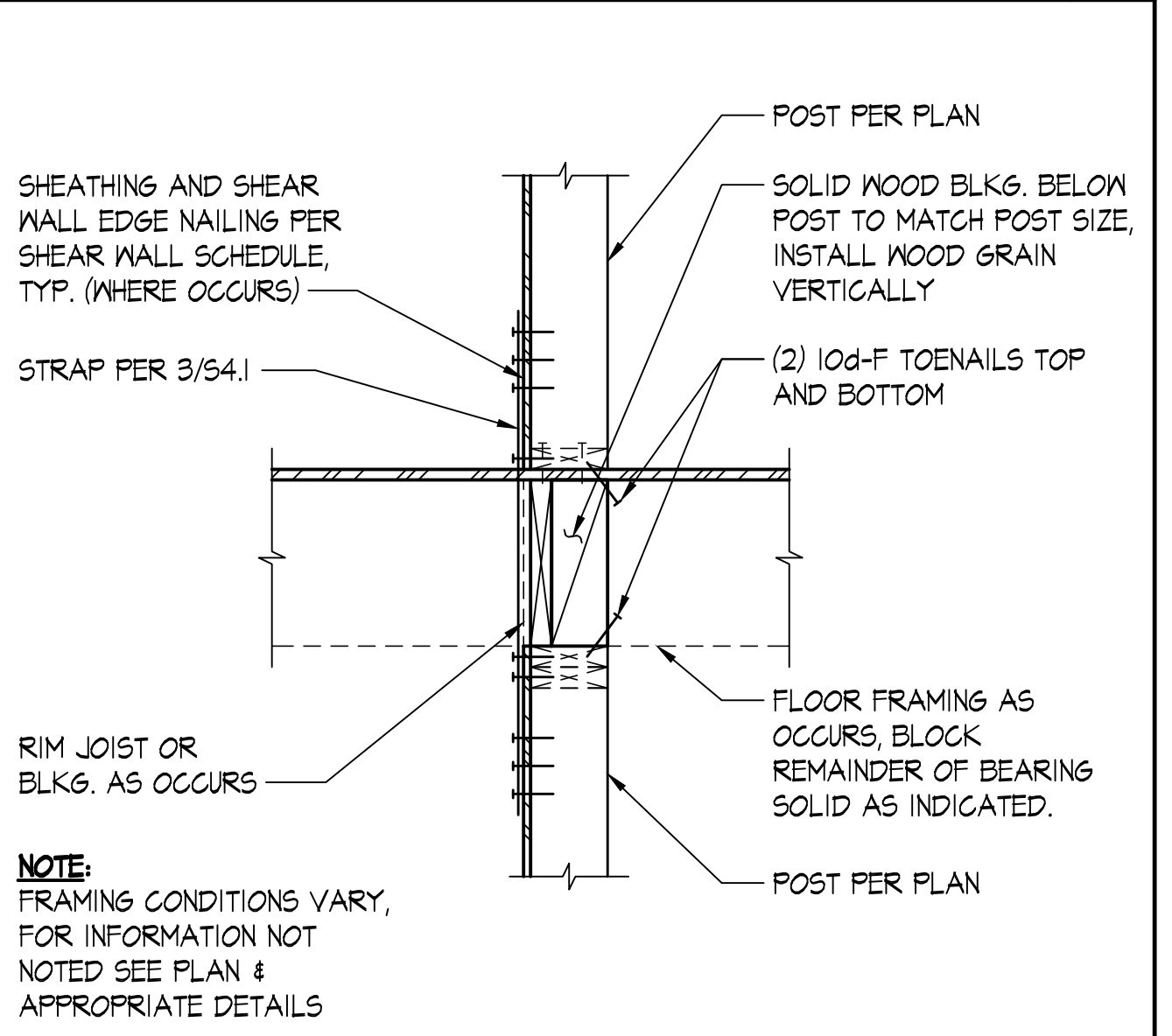
TYPICAL WALL INTERSECTIONS SCALE: NONE



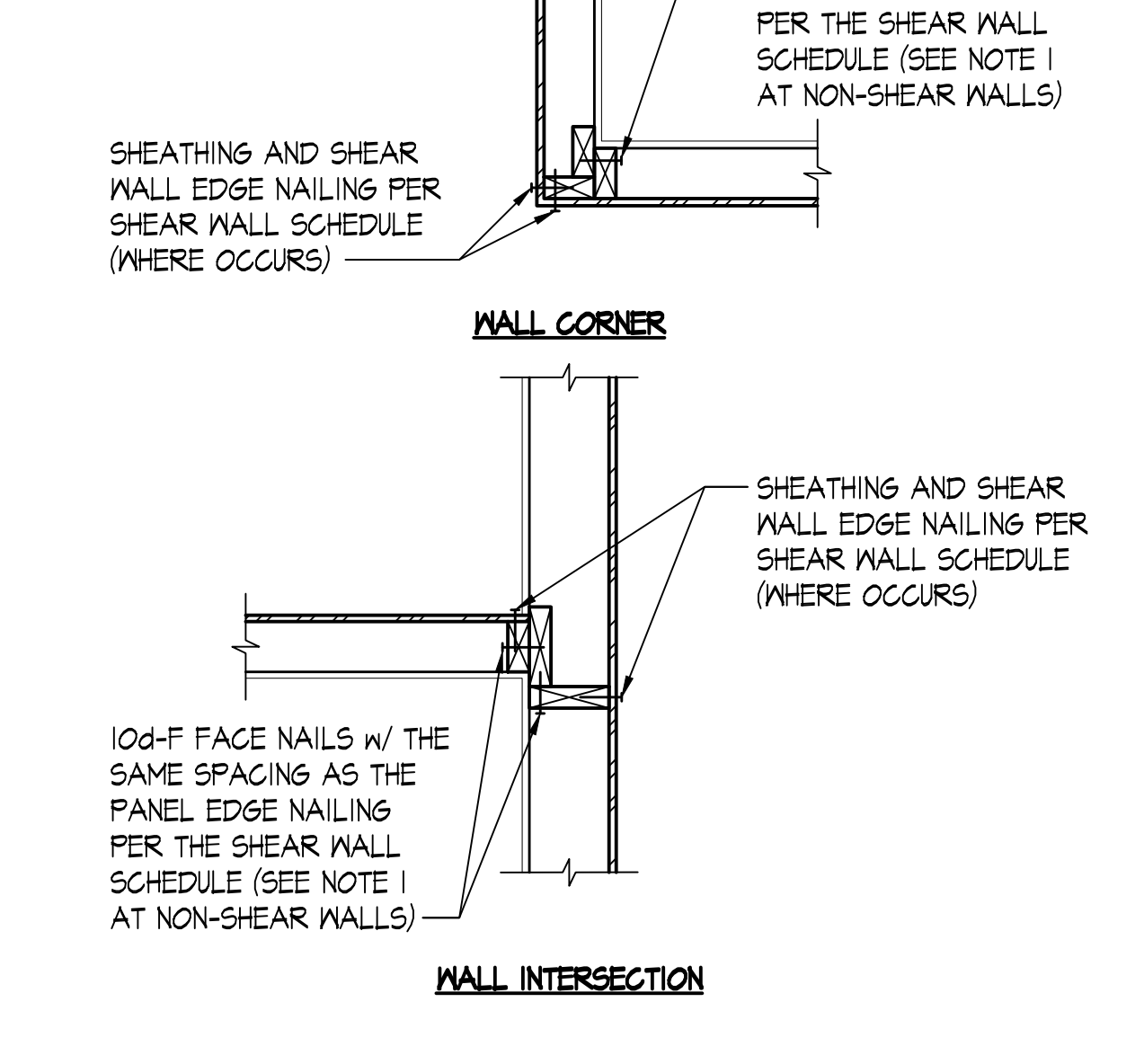
TYPICAL ALLOWABLE HOLES AND NOTCHES IN STUDS SCALE: NONE



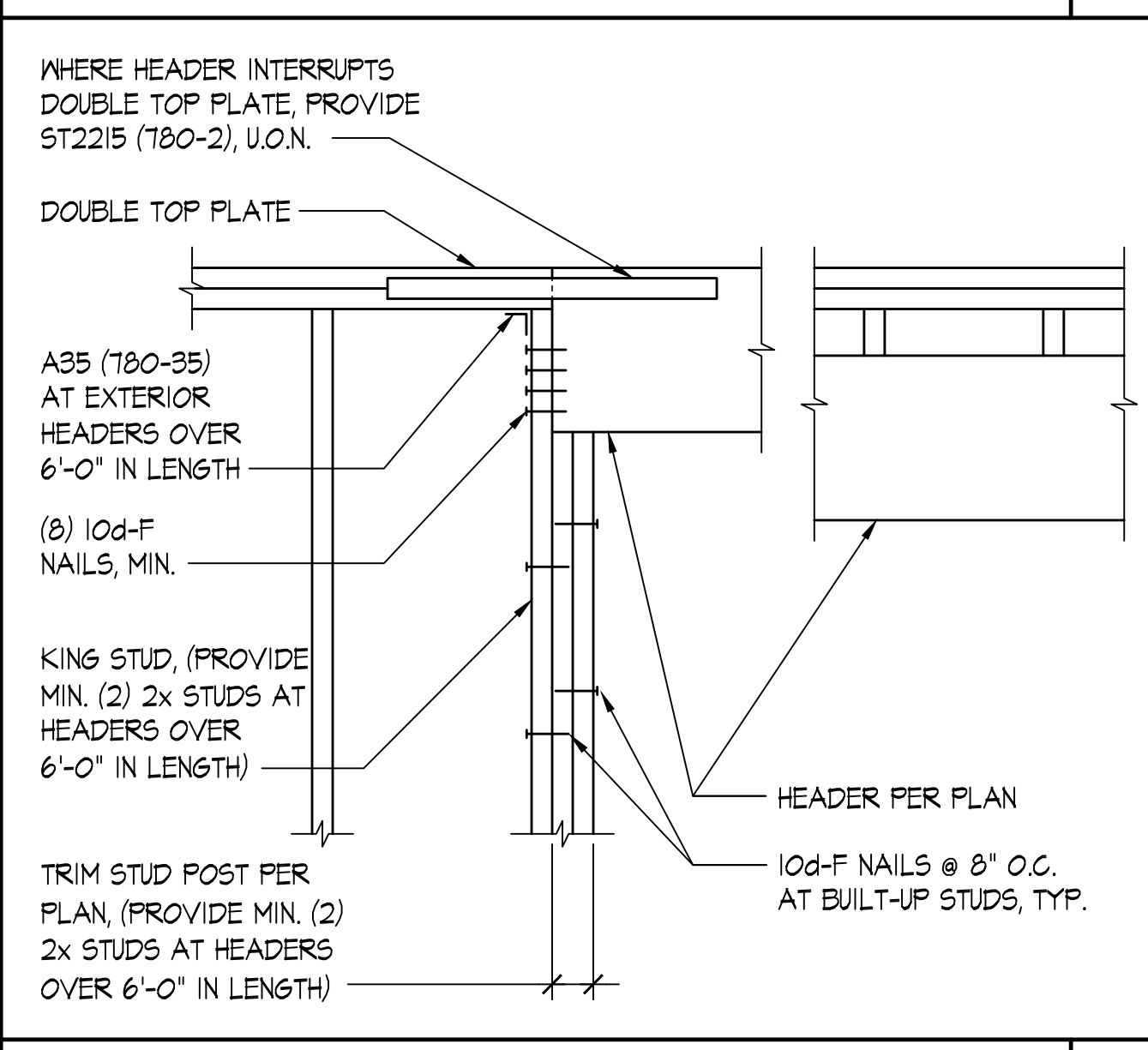
TYPICAL TOP PLATE SPLICE SCALE: NONE



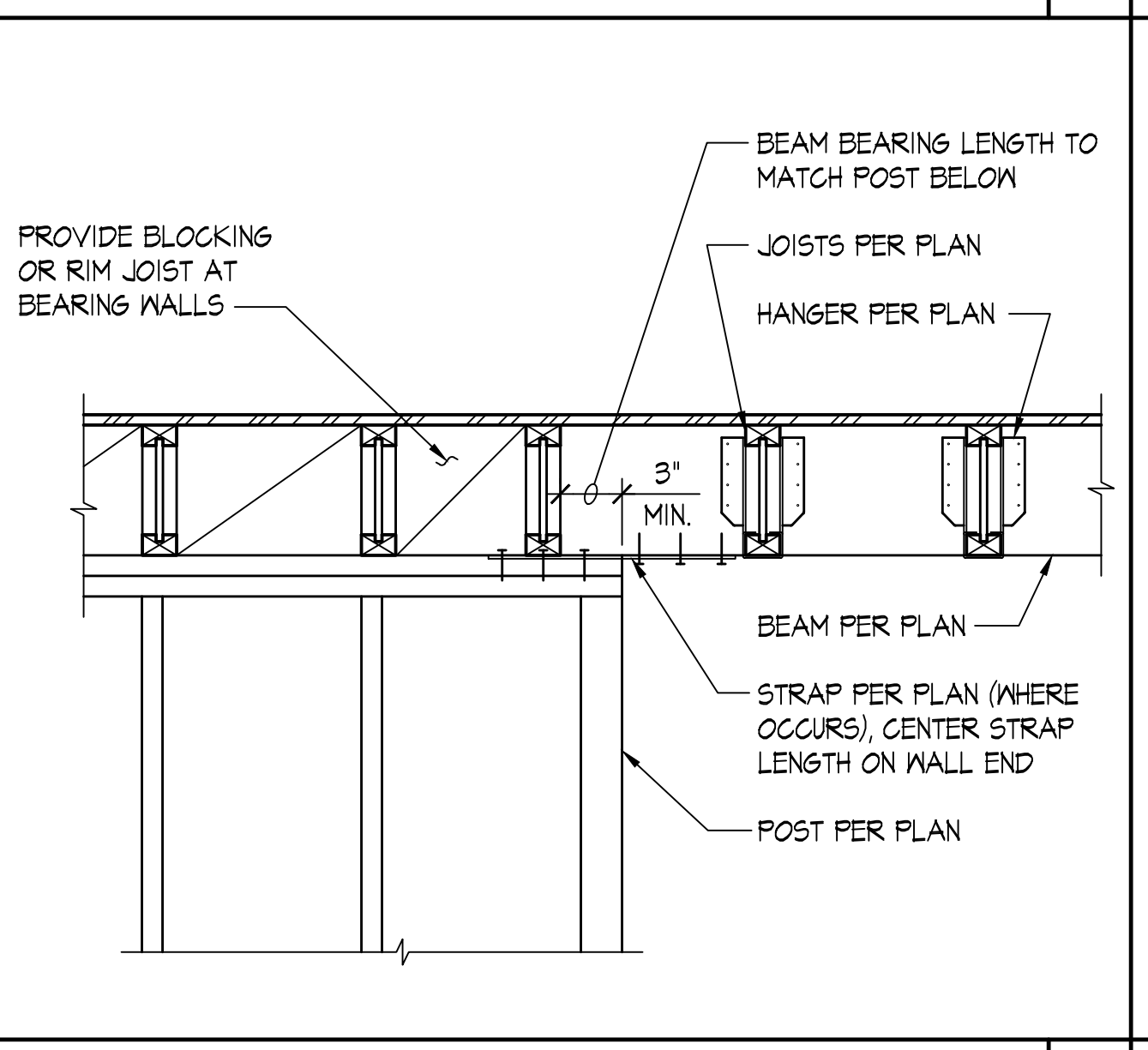
TYPICAL POST AT FLOOR SCALE: NONE



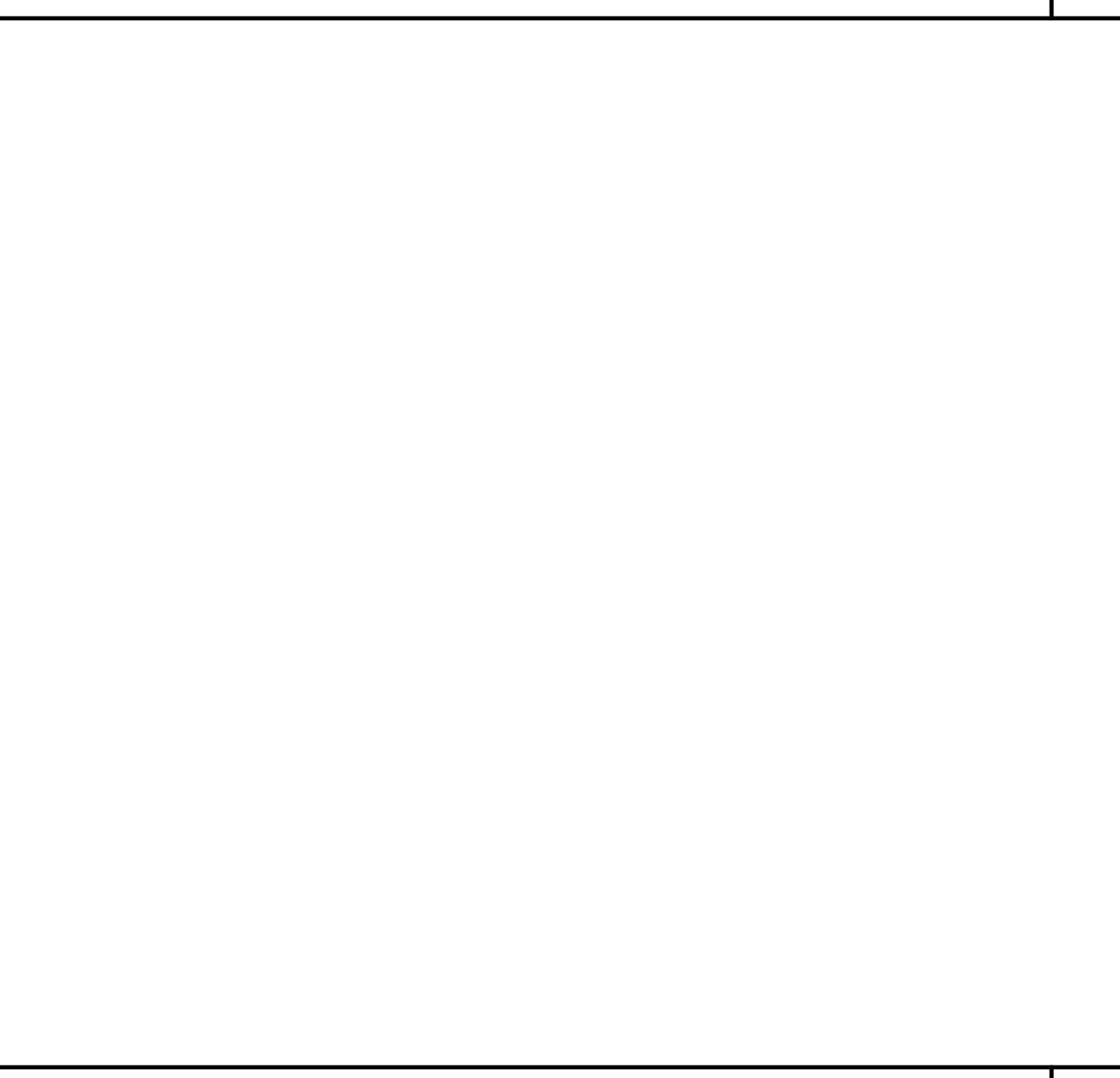
TYPICAL WALL INTERSECTIONS SCALE: NONE



TYPICAL HEADER SCALE: NONE



TYPICAL FLUSH BEAM SCALE: NONE



DETAIL SCALE: NONE

TYPICAL ALLOWABLE HOLES AND NOTCHES IN STUDS SCALE: NONE



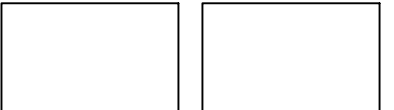
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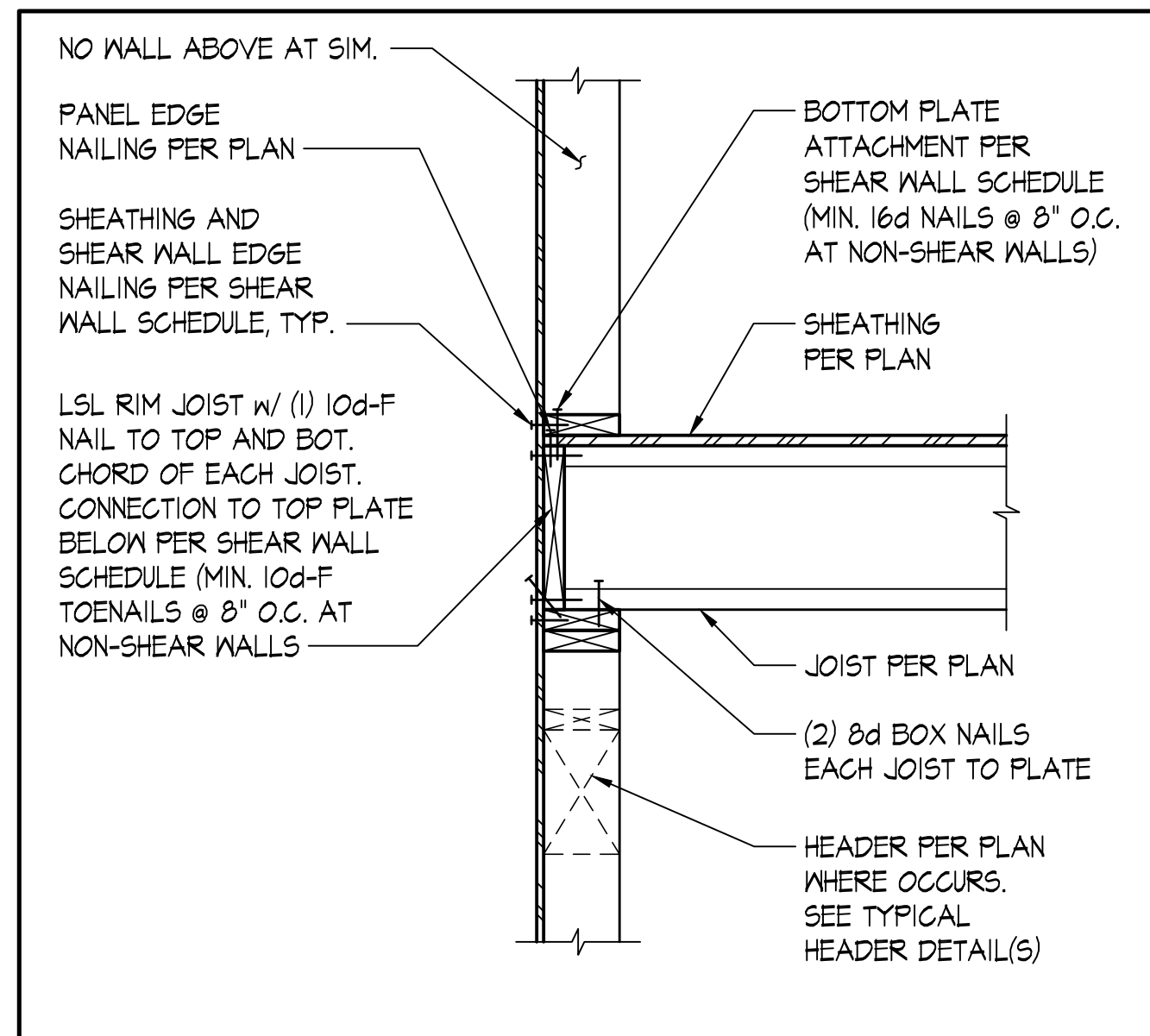
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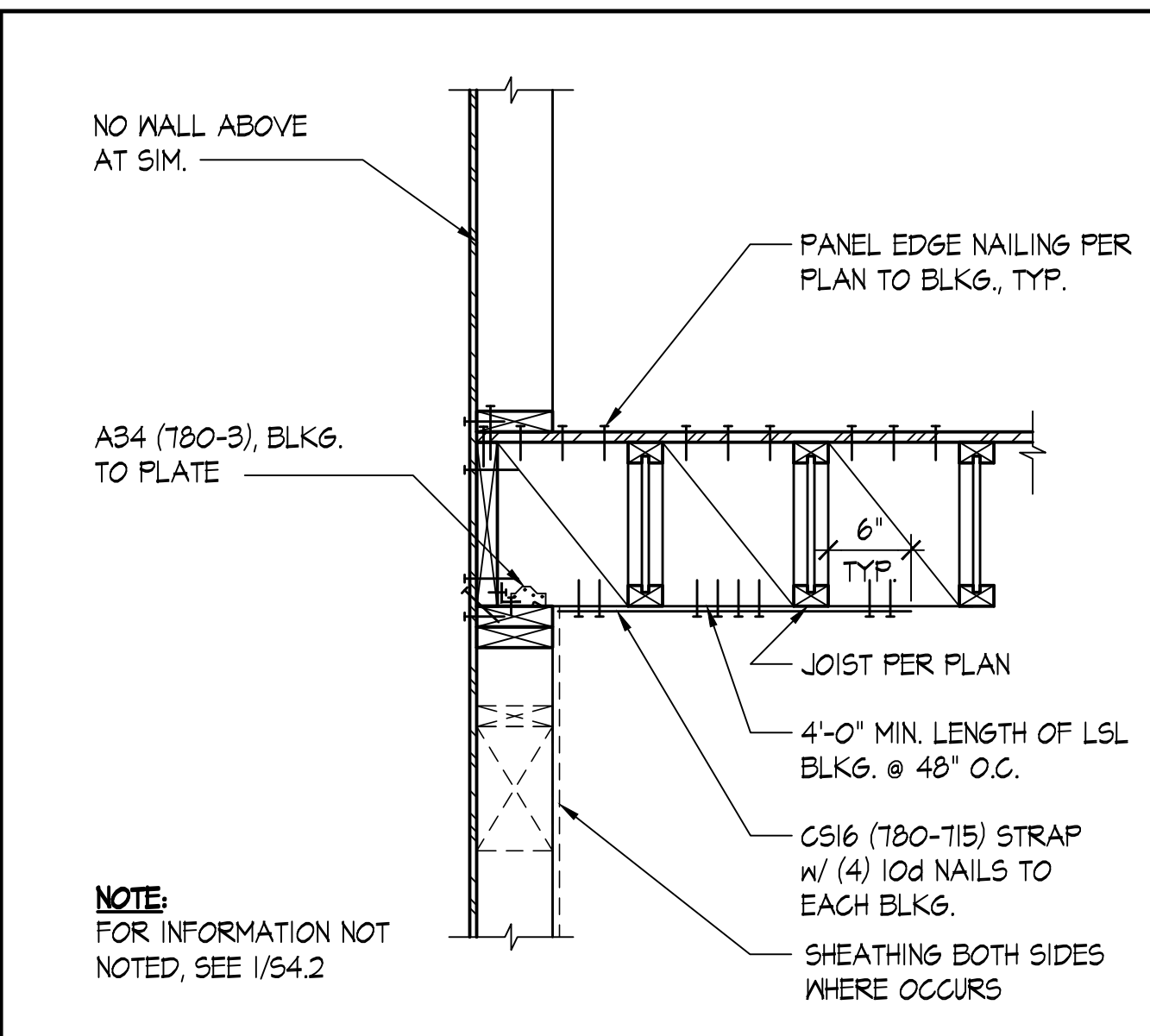
FLOOR DETAILS

Scale: AS NOTED

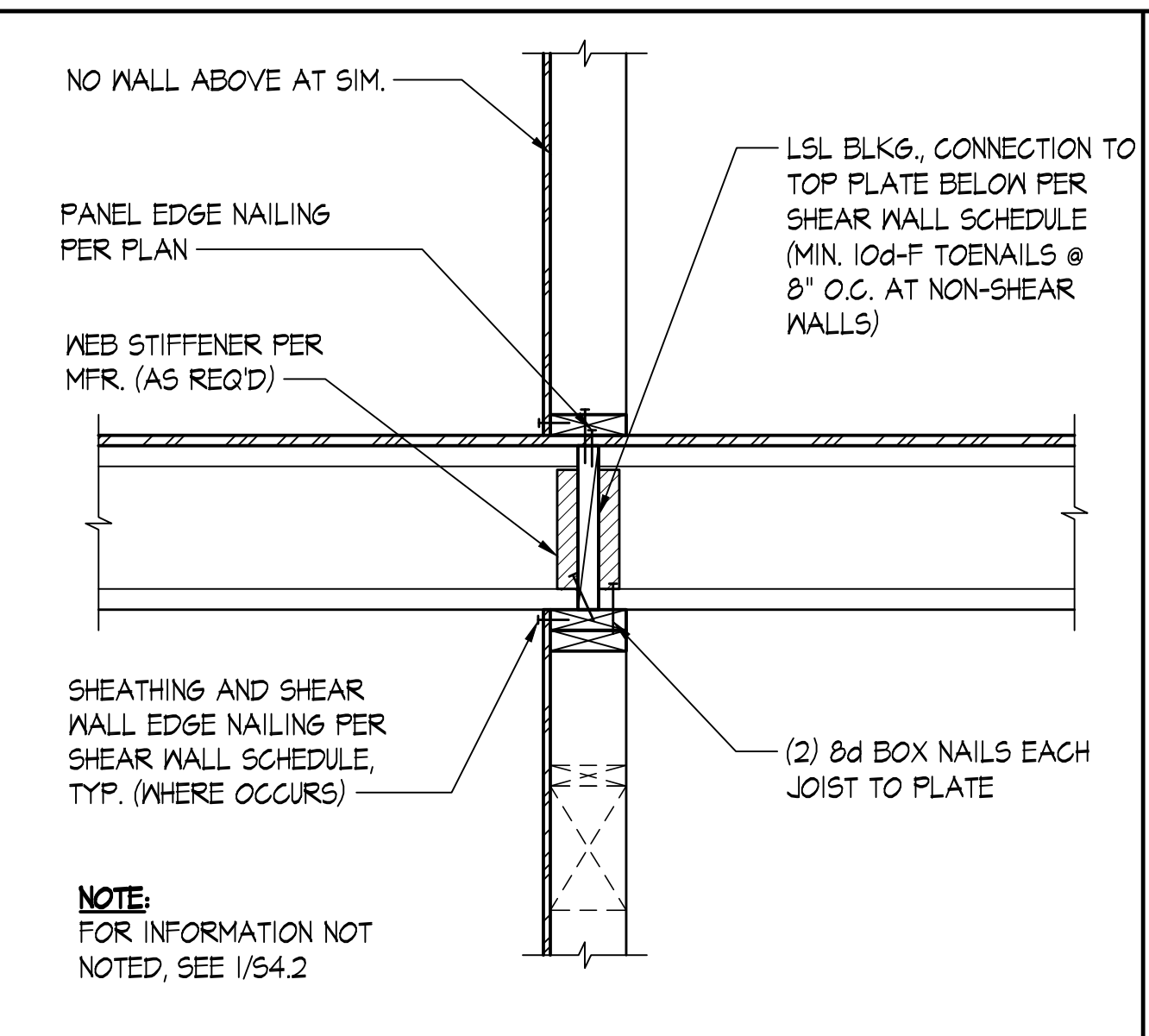
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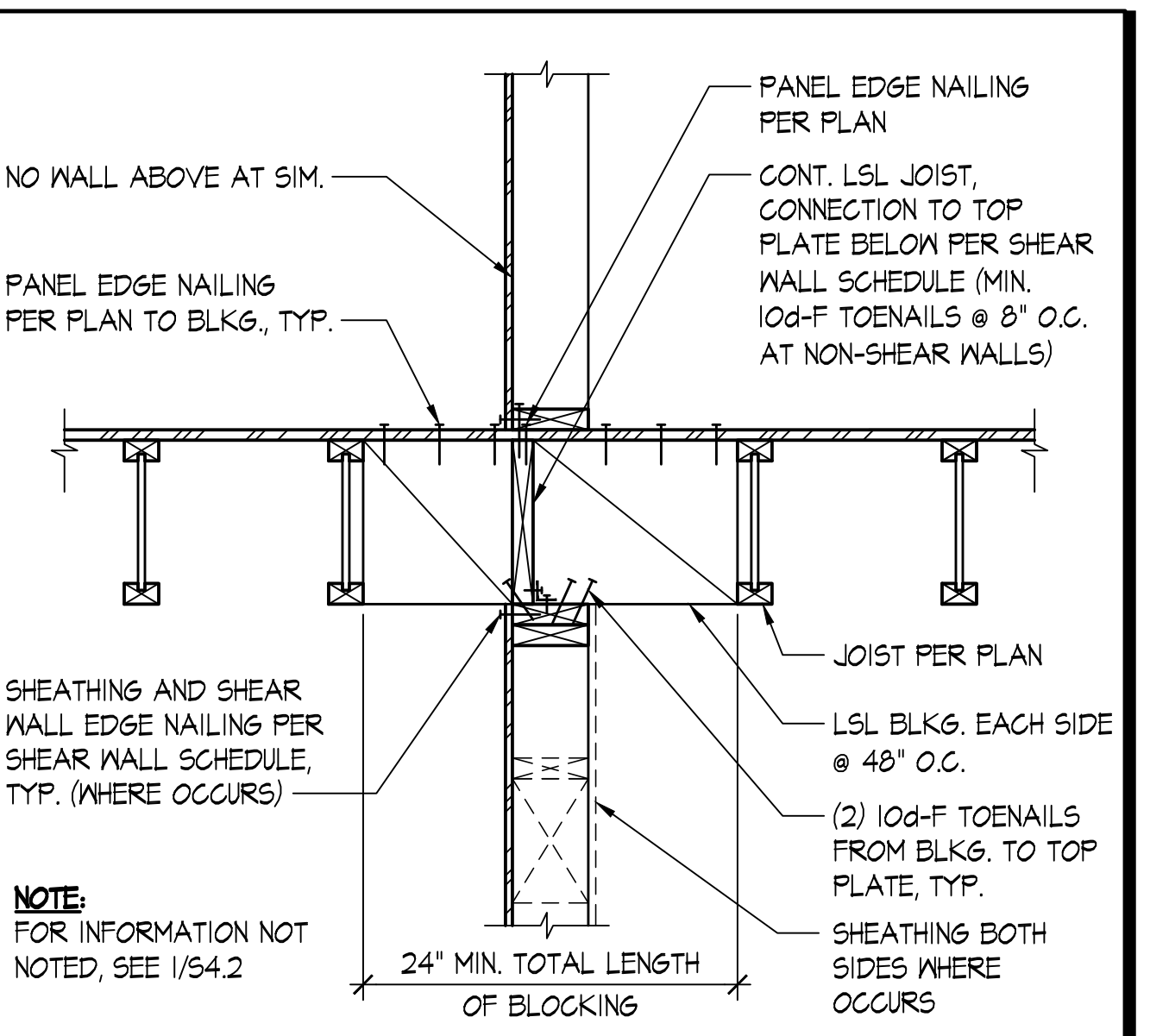
TYPICAL EXTERIOR WALL - I-JOIST PERPENDICULAR SCALE: NONE



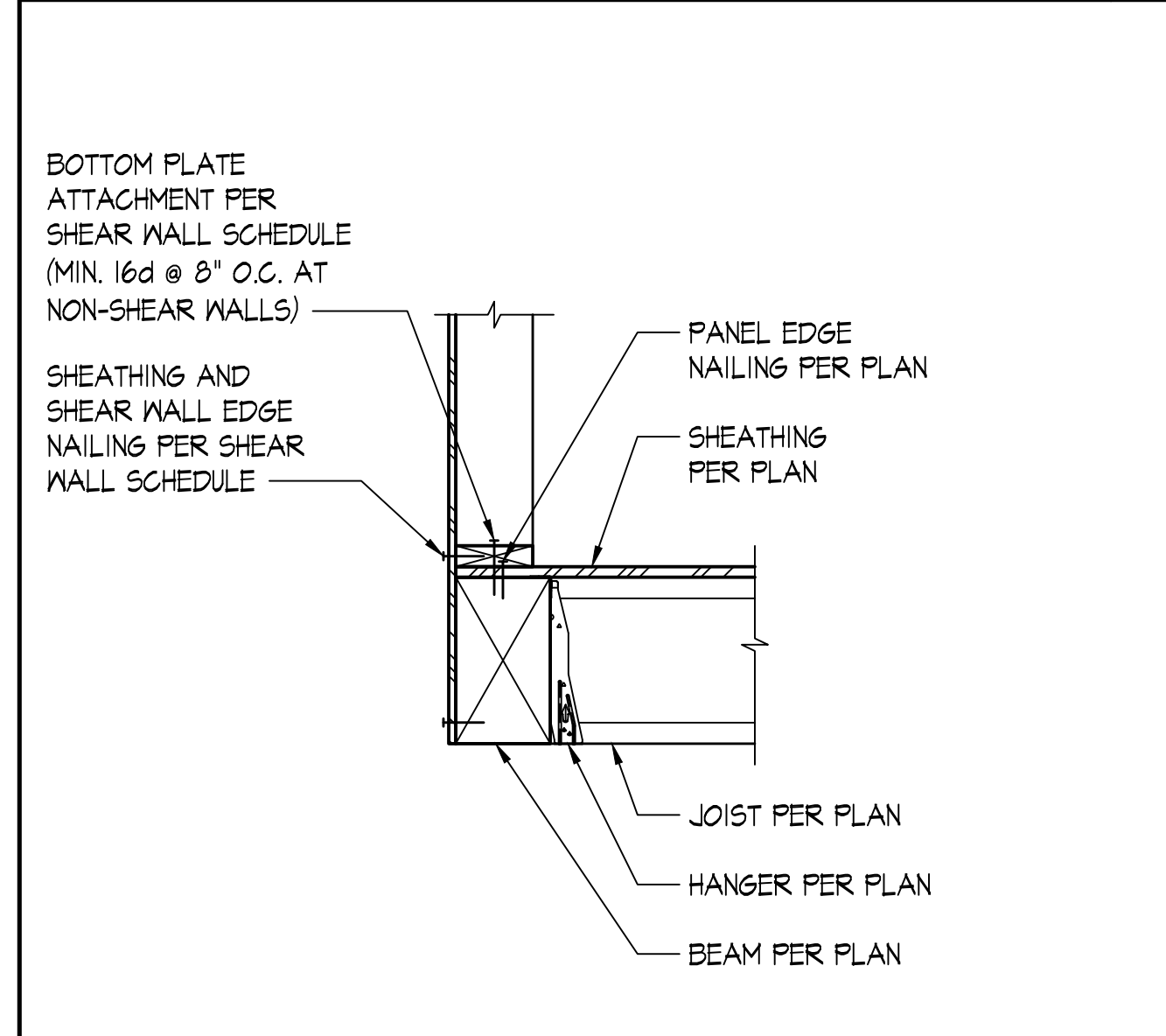
TYPICAL EXTERIOR WALL - I-JOIST PARALLEL SCALE: NONE



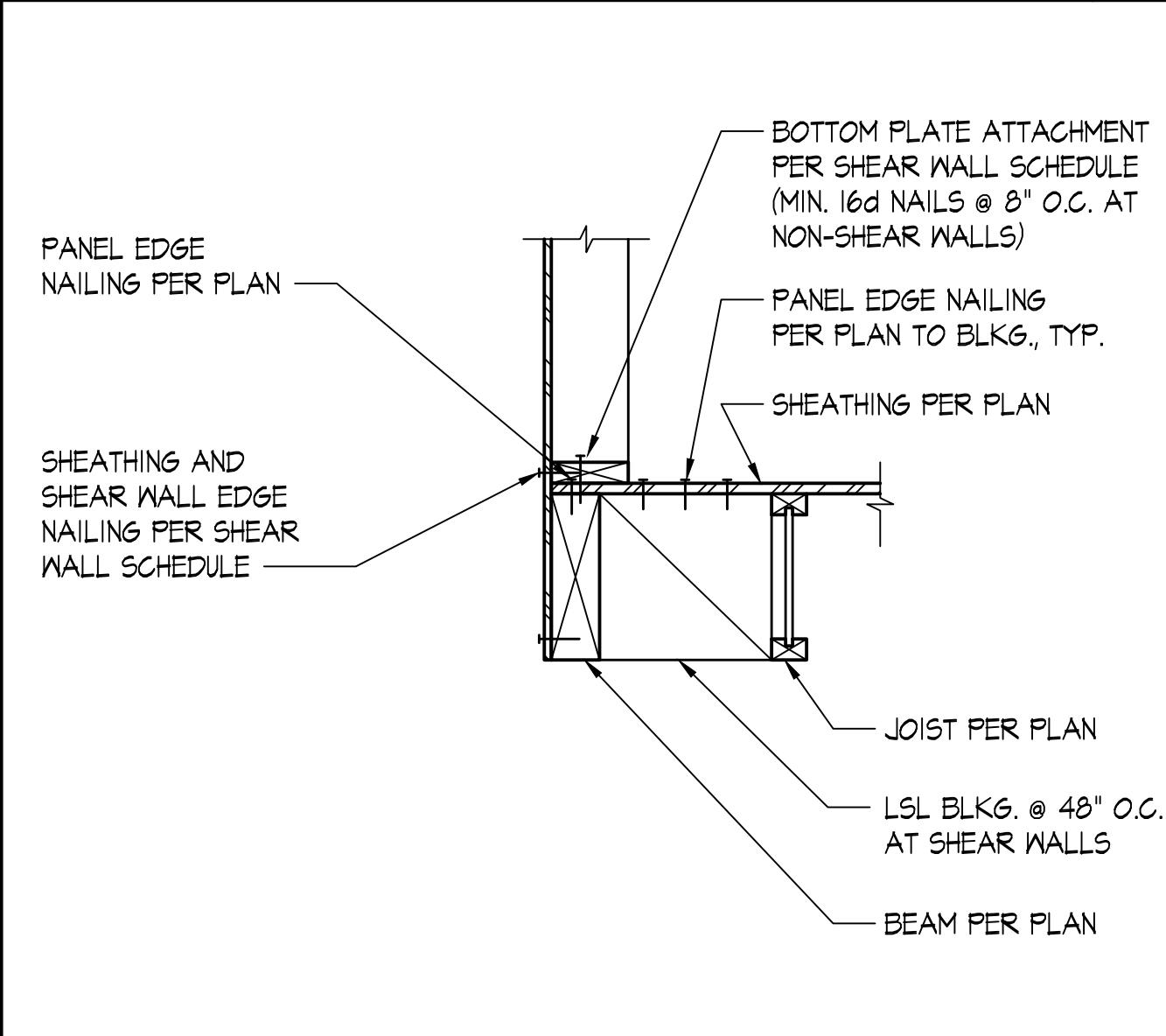
TYPICAL INTERIOR WALL - I-JOIST PERPENDICULAR SCALE: NONE



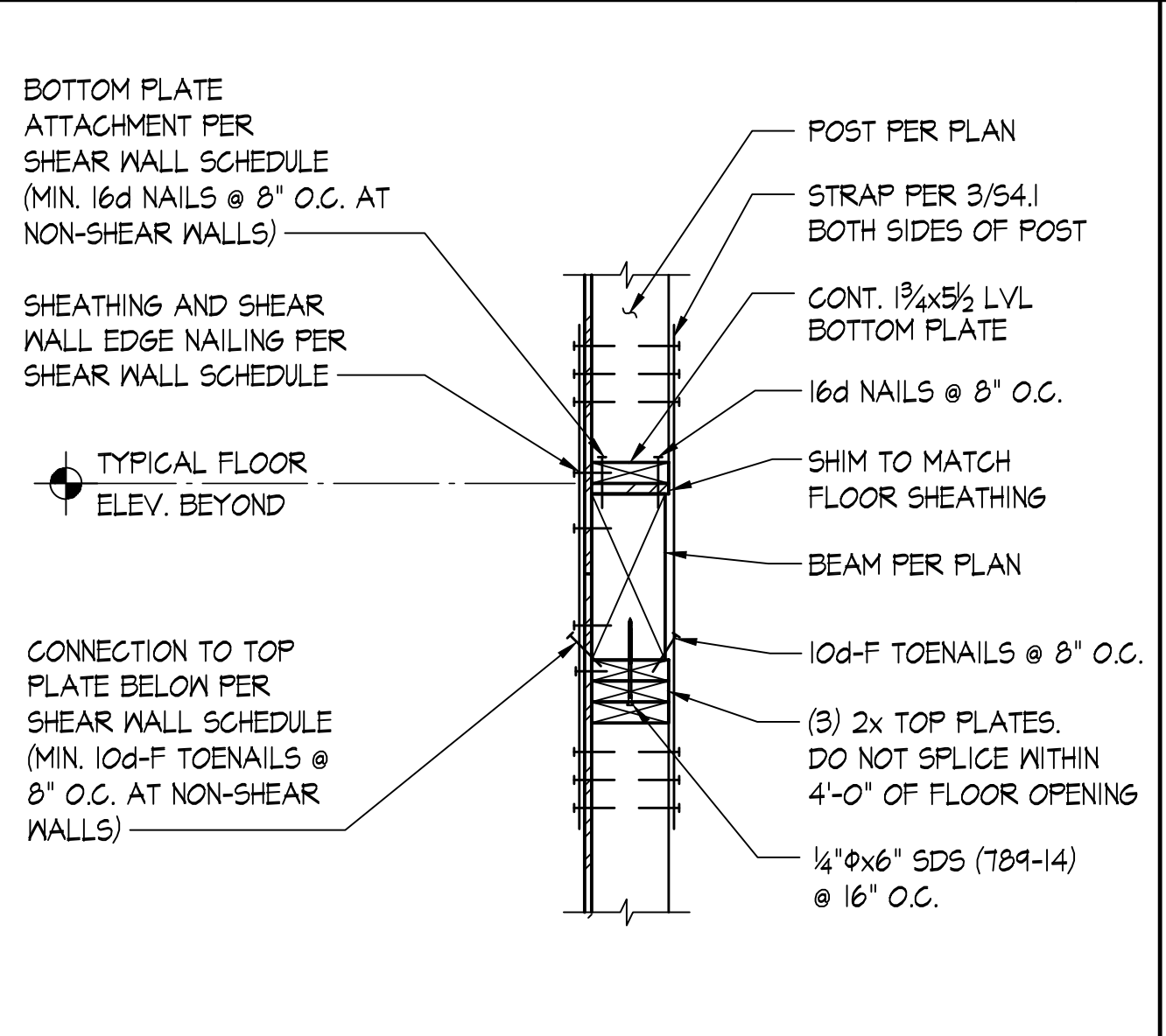
TYPICAL INTERIOR WALL - I-JOIST PARALLEL SCALE: NONE



TYPICAL STRUCTURAL WALL TO PARALLEL PERIMETER BEAM BELOW - I-JOIST PERPENDICULAR SCALE: NONE



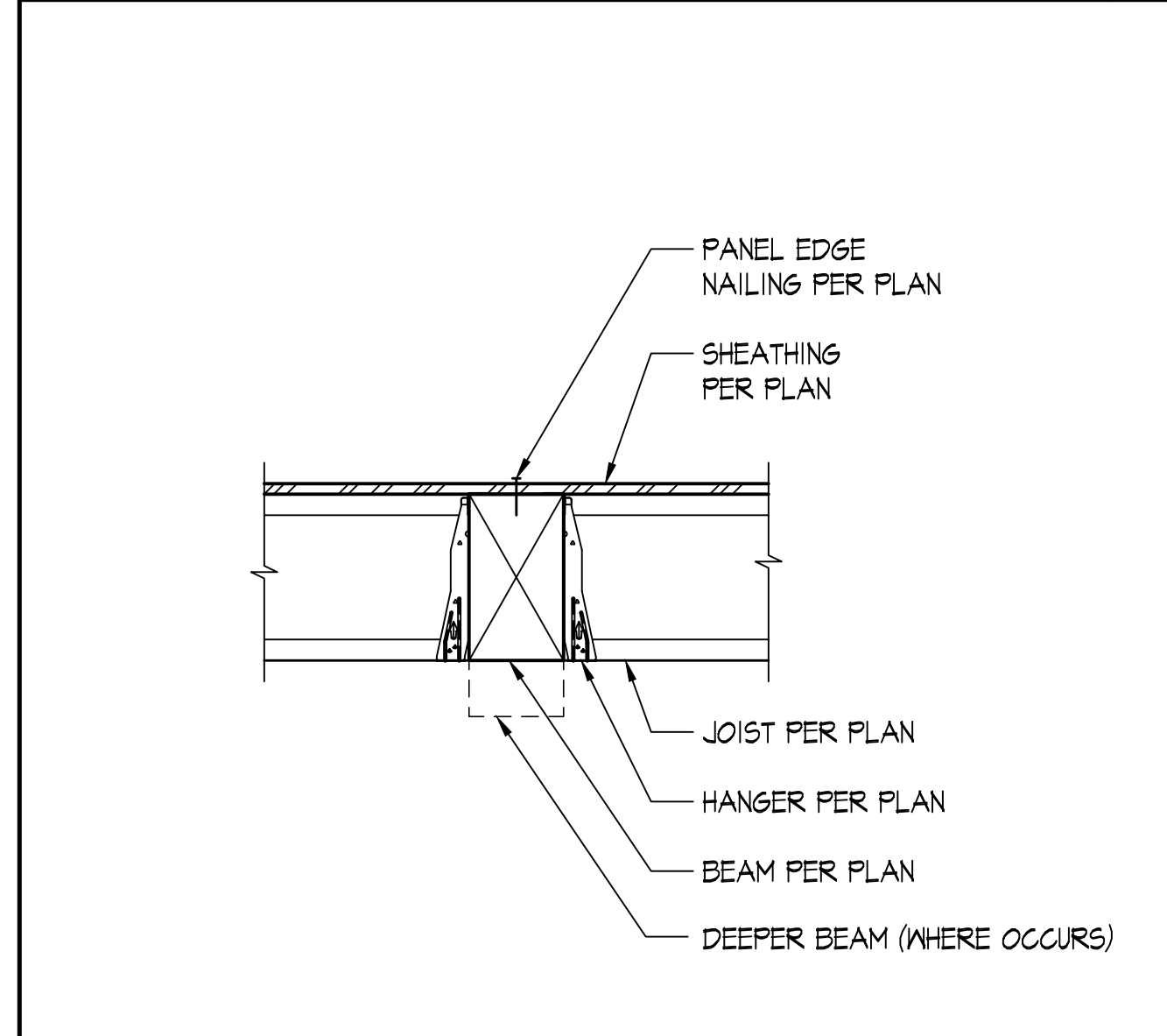
TYPICAL STRUCTURAL WALL TO PARALLEL PERIMETER BEAM BELOW - I-JOIST PARALLEL SCALE: NONE



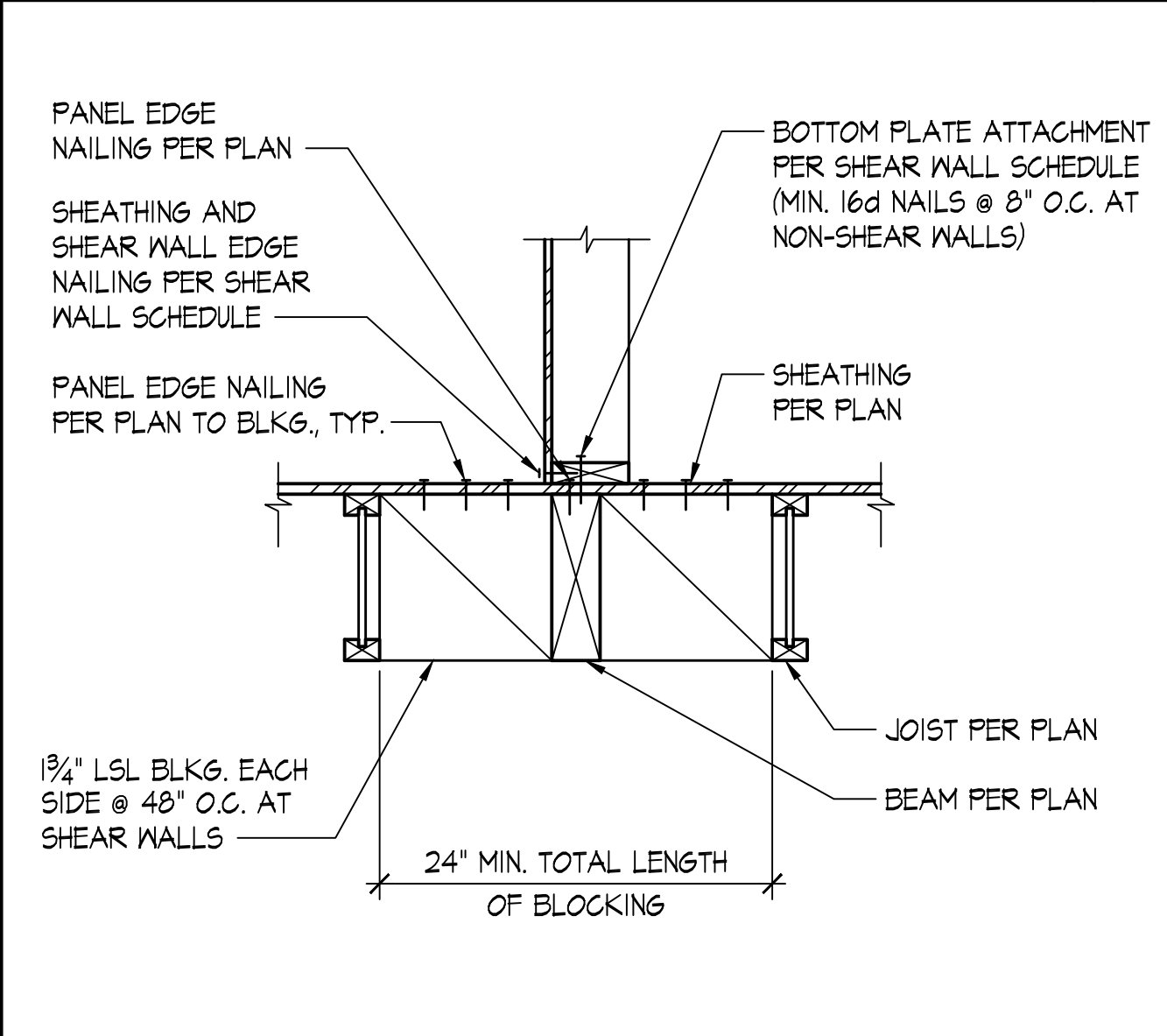
EXTERIOR WALL AT FLOOR OPENING - I-JOIST SCALE: NONE



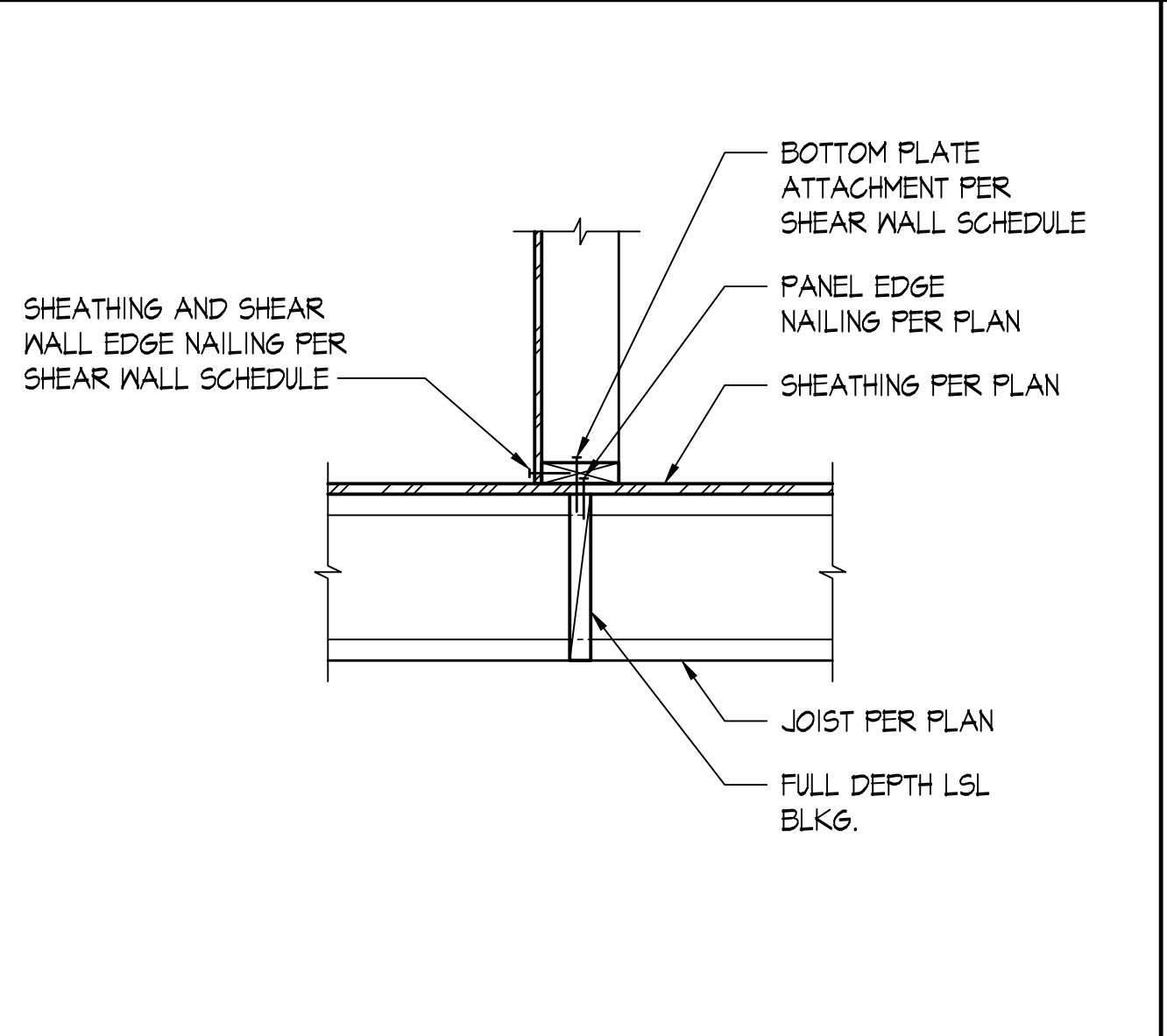
DETAIL SCALE: NONE



TYPICAL I-JOIST TO FLUSH BEAM CONNECTION SCALE: NONE



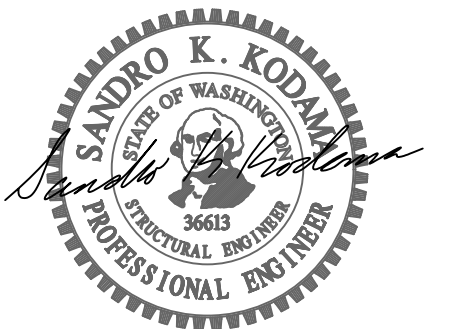
TYPICAL STRUCTURAL WALL TO PARALLEL BEAM BELOW - I-JOIST PARALLEL SCALE: NONE



TYPICAL STRUCTURAL WALL TO JOIST BELOW - I-JOIST PERPENDICULAR SCALE: NONE



DETAIL SCALE: NONE



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<p>NOTE: FOR INFORMATION NOT NOTED, SEE 5/54.2</p> <p>TYPICAL EXTERIOR WALL AT DECK - JOISTS PERPENDICULAR SCALE: 1"=1'-0"</p>	<p>NOTE: FOR INFORMATION NOT NOTED, SEE 6/54.2</p> <p>TYPICAL EXTERIOR WALL AT DECK - JOISTS PARALLEL SCALE: 1"=1'-0"</p>	<p>NOTE: FOR INFORMATION NOT NOTED, SEE 5/54.2</p> <p>3 SCALE: NONE</p>	<p>NOTE: FOR INFORMATION NOT NOTED, SEE 6/54.2</p> <p>4 SCALE: NONE</p>
<p>TYPICAL DECK EDGE - JOIST PERPENDICULAR SCALE: NONE</p>	<p>NOTE: FOR INFORMATION NOT NOTED, SEE 5/54.3</p> <p>6 SCALE: NONE</p>	<p>NOTE: FOR INFORMATION NOT NOTED, SEE 4/54.2 & 4/54.3</p> <p>7 SCALE: NONE</p>	<p>8 SCALE: NONE</p>
<p>NOTE: FOR INFORMATION NOT NOTED, SEE 1/54.2</p> <p>9 SCALE: NONE</p>	<p>SECTION A</p> <p>10 SCALE: NONE</p>	<p>11 SCALE: NONE</p>	<p>12 SCALE: NONE</p>



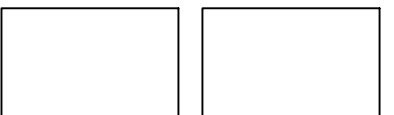
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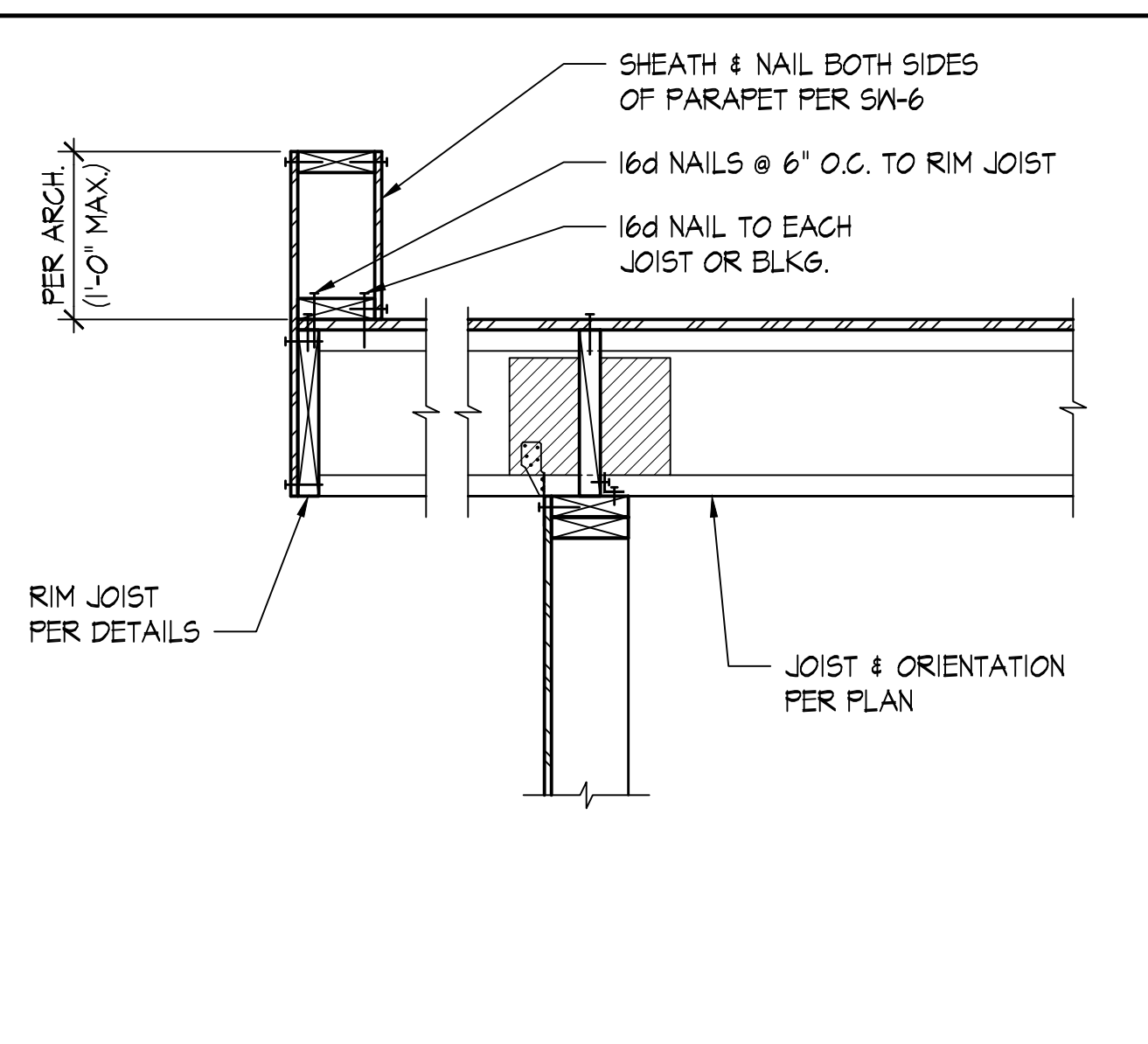
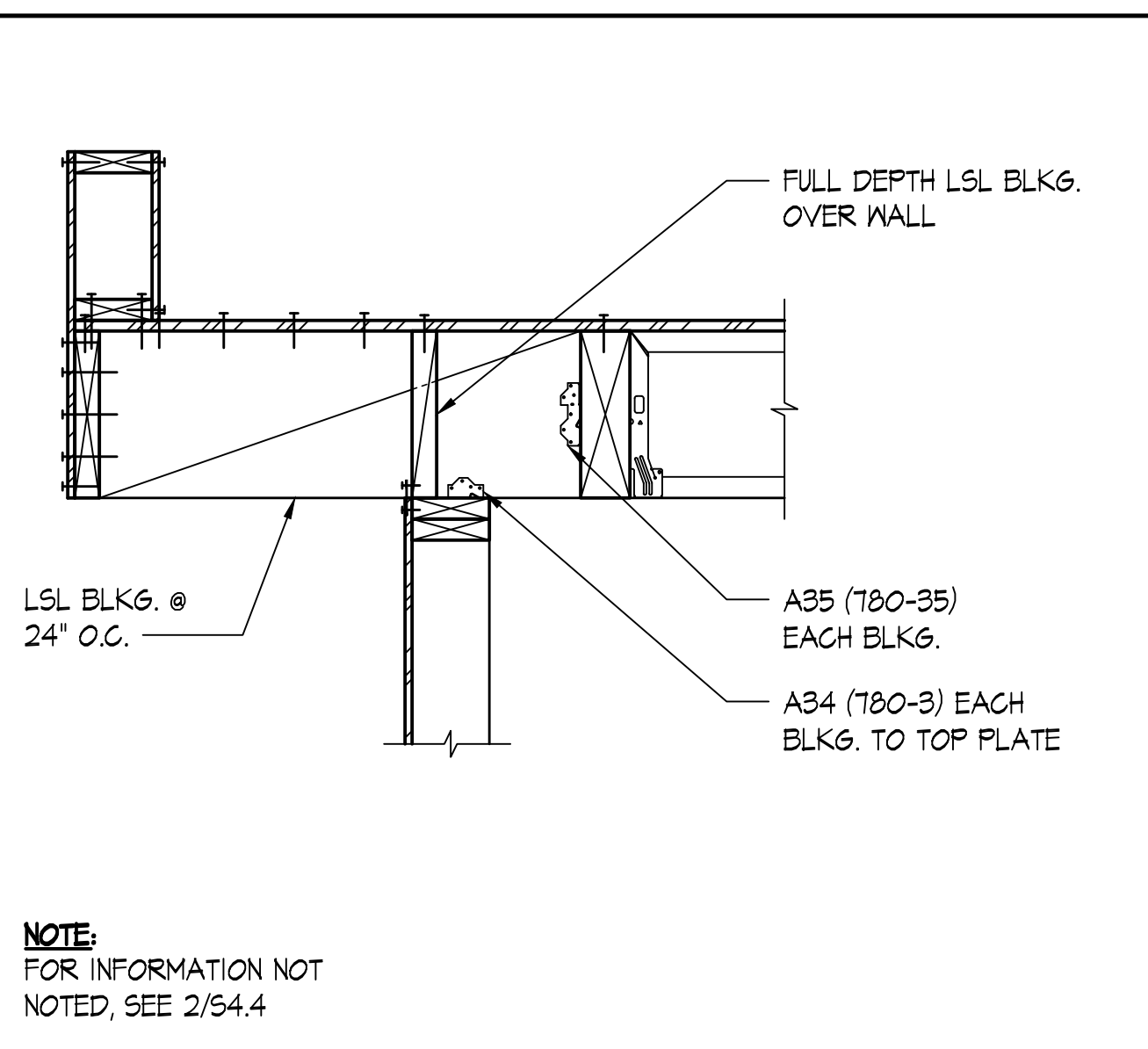
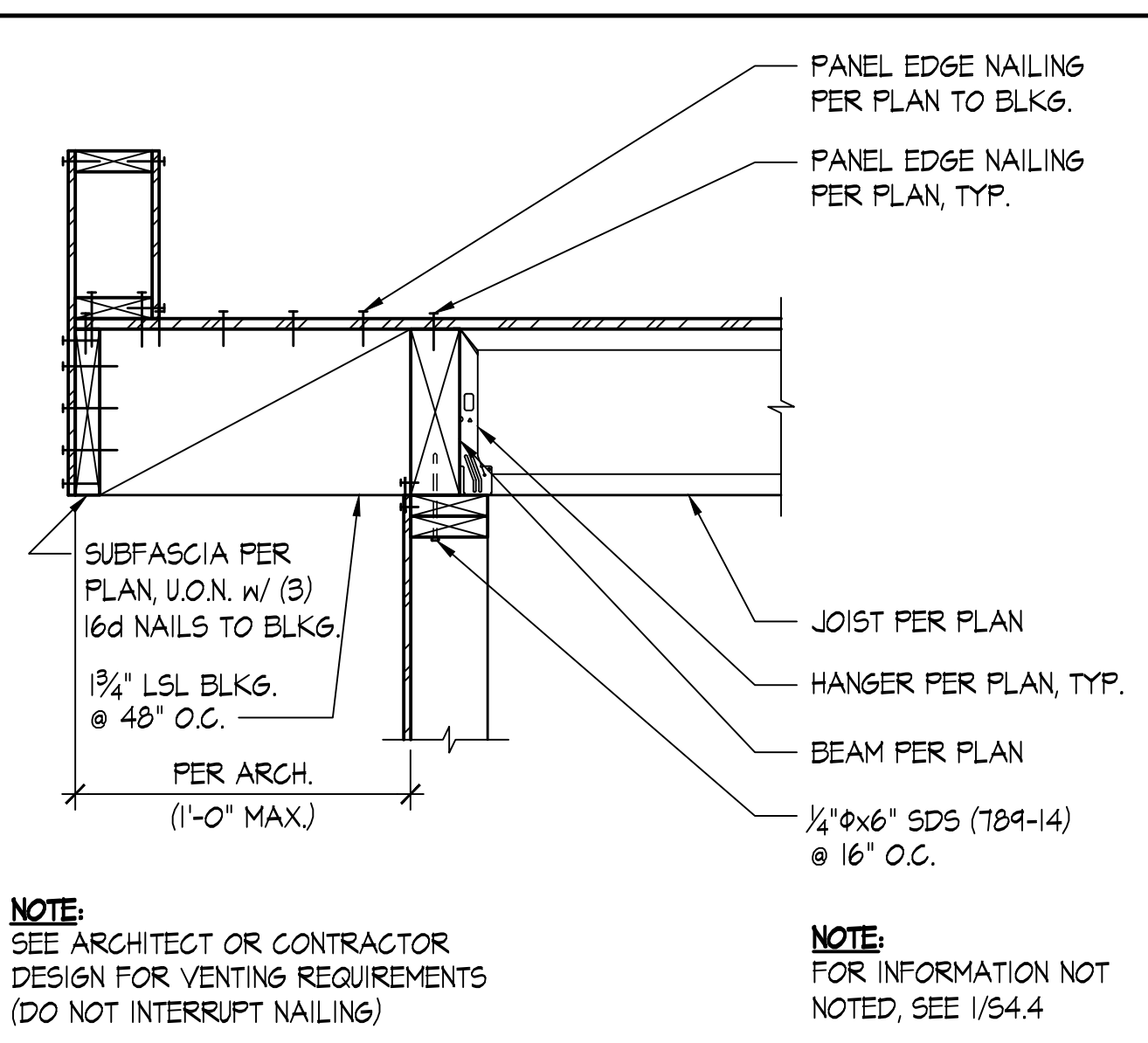
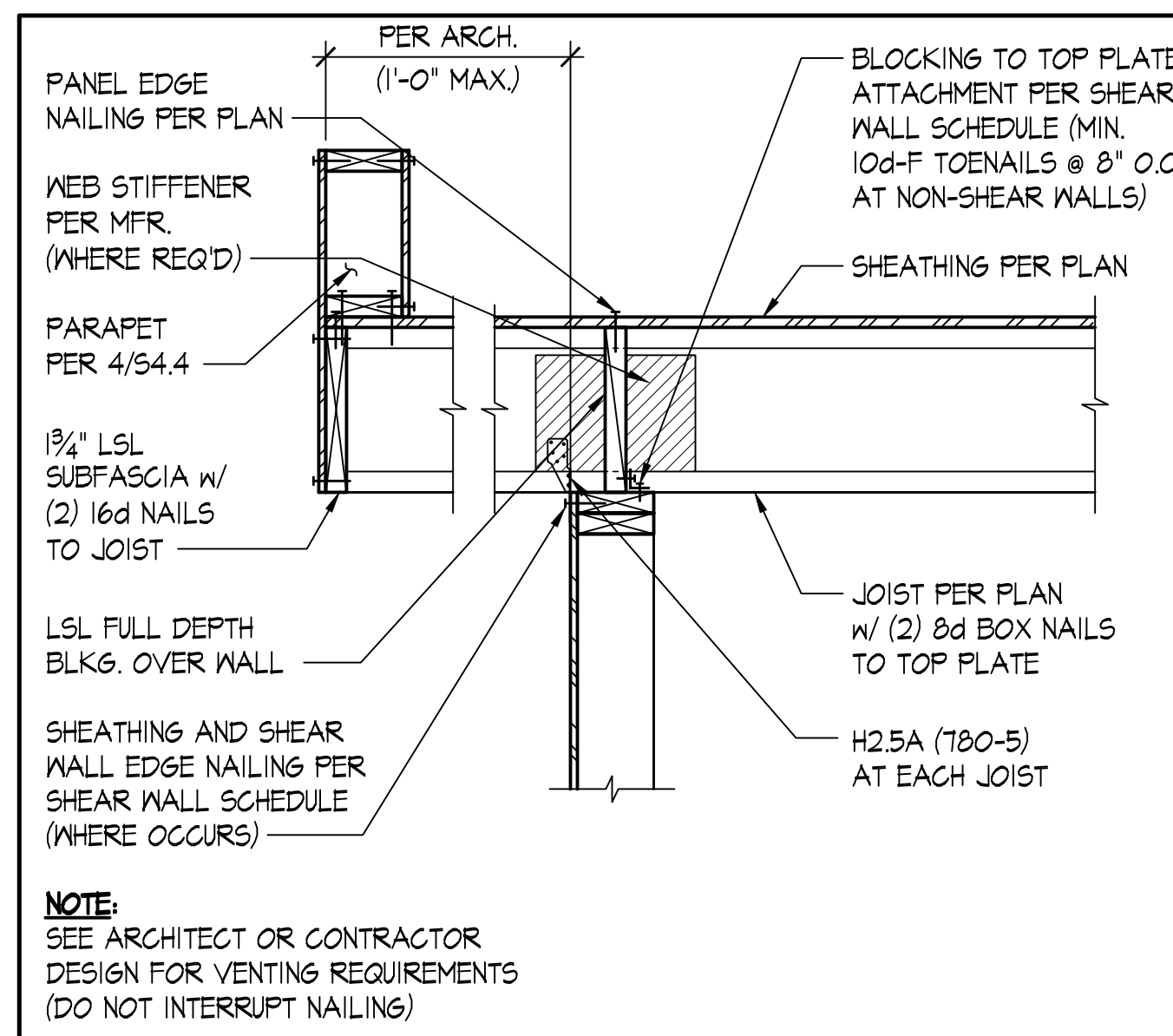
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ROOF DETAILS

Scale: AS NOTED

S4.4

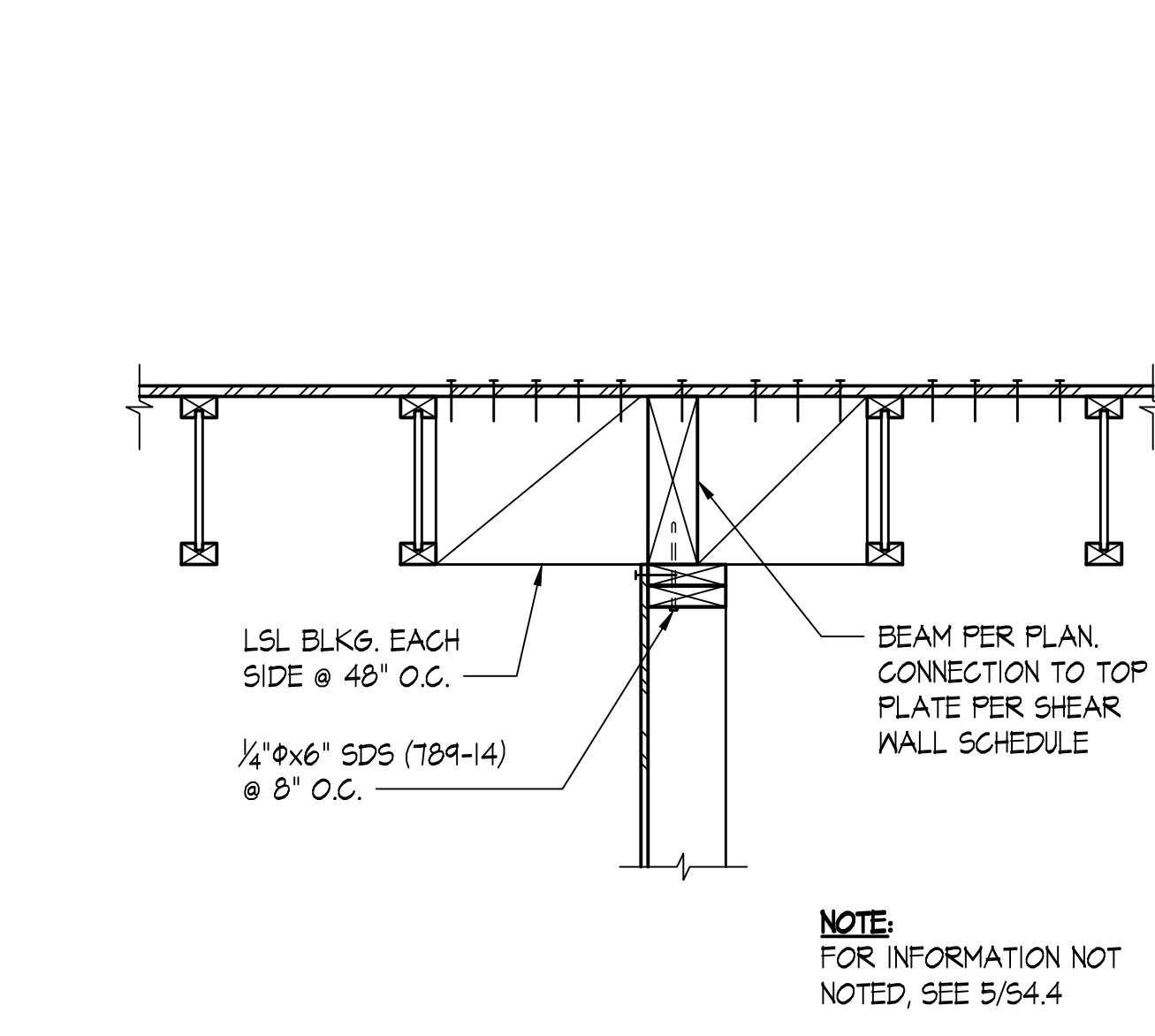
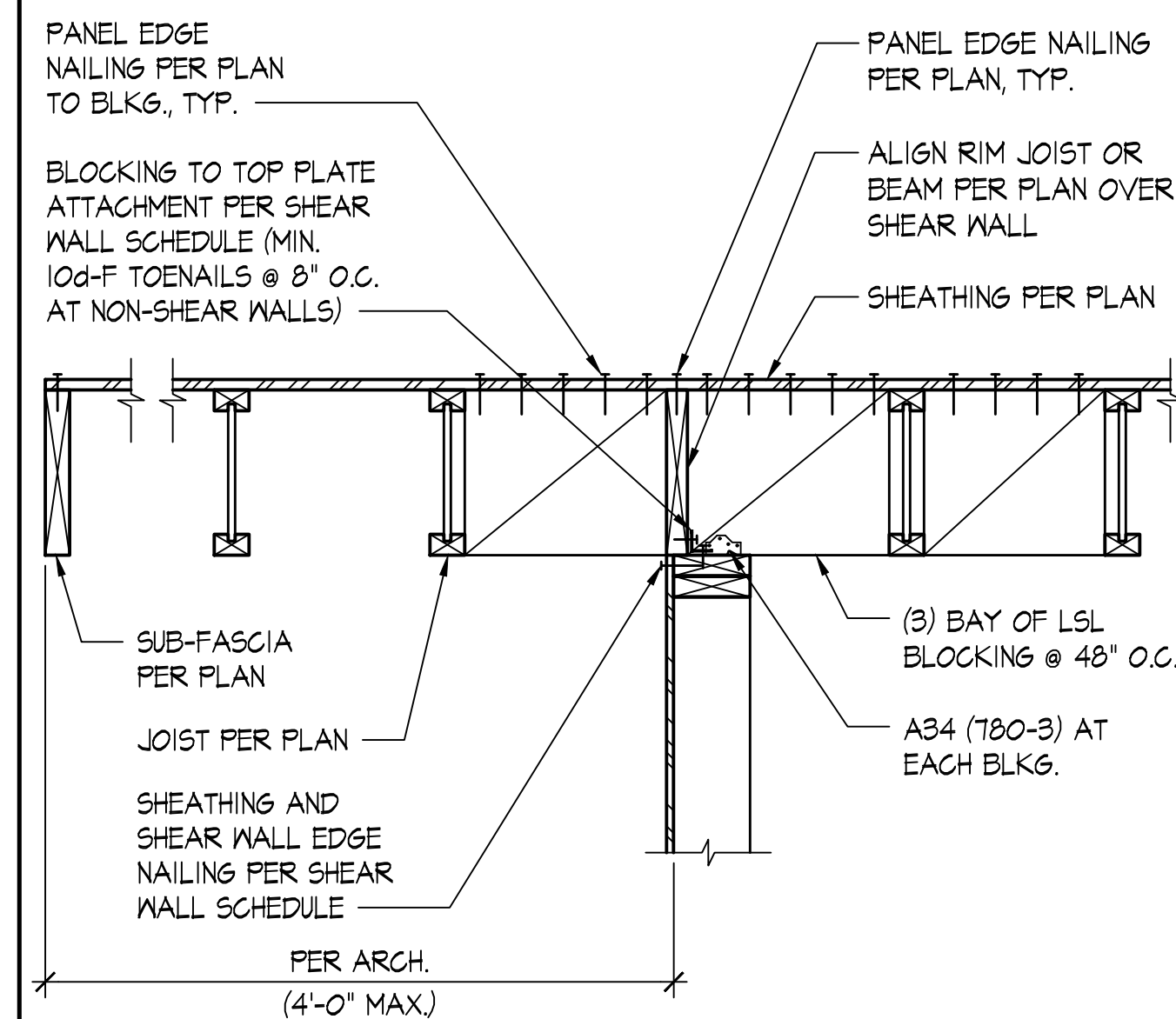


TYPICAL EXTERIOR STRUCTURAL WALL AT ROOF OVERHANG 1-JOIST PERPENDICULAR SCALE: NONE |

TYPICAL PERIMETER ROOF FLUSH BEAM 1-JOIST PERPENDICULAR SCALE: NONE 2

TYPICAL OFFSET PERIMETER FLUSH BEAM 1-JOIST PERPENDICULAR SCALE: NONE 3

TYPICAL PARAPET ATTACHMENT SCALE: NONE 4

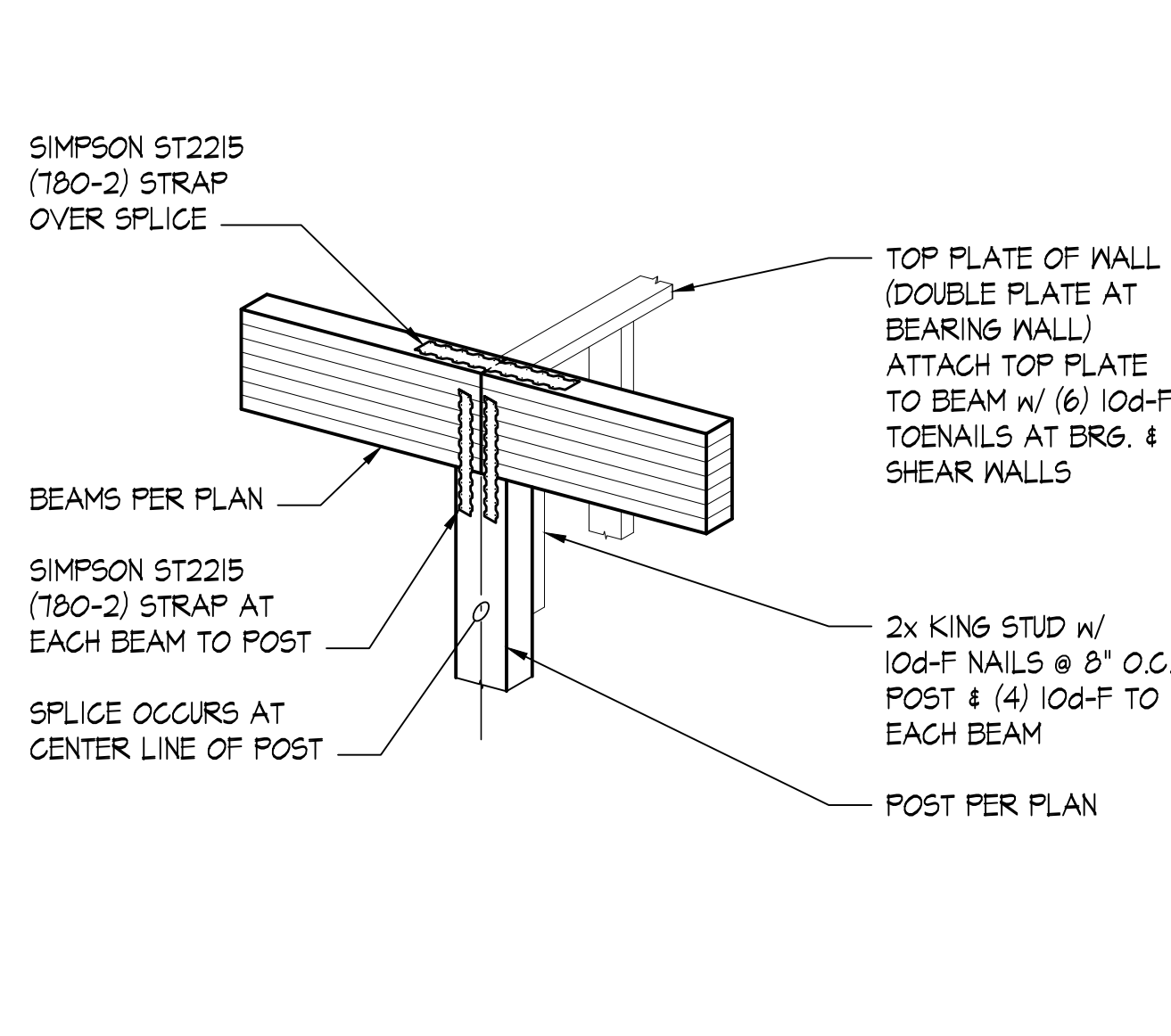
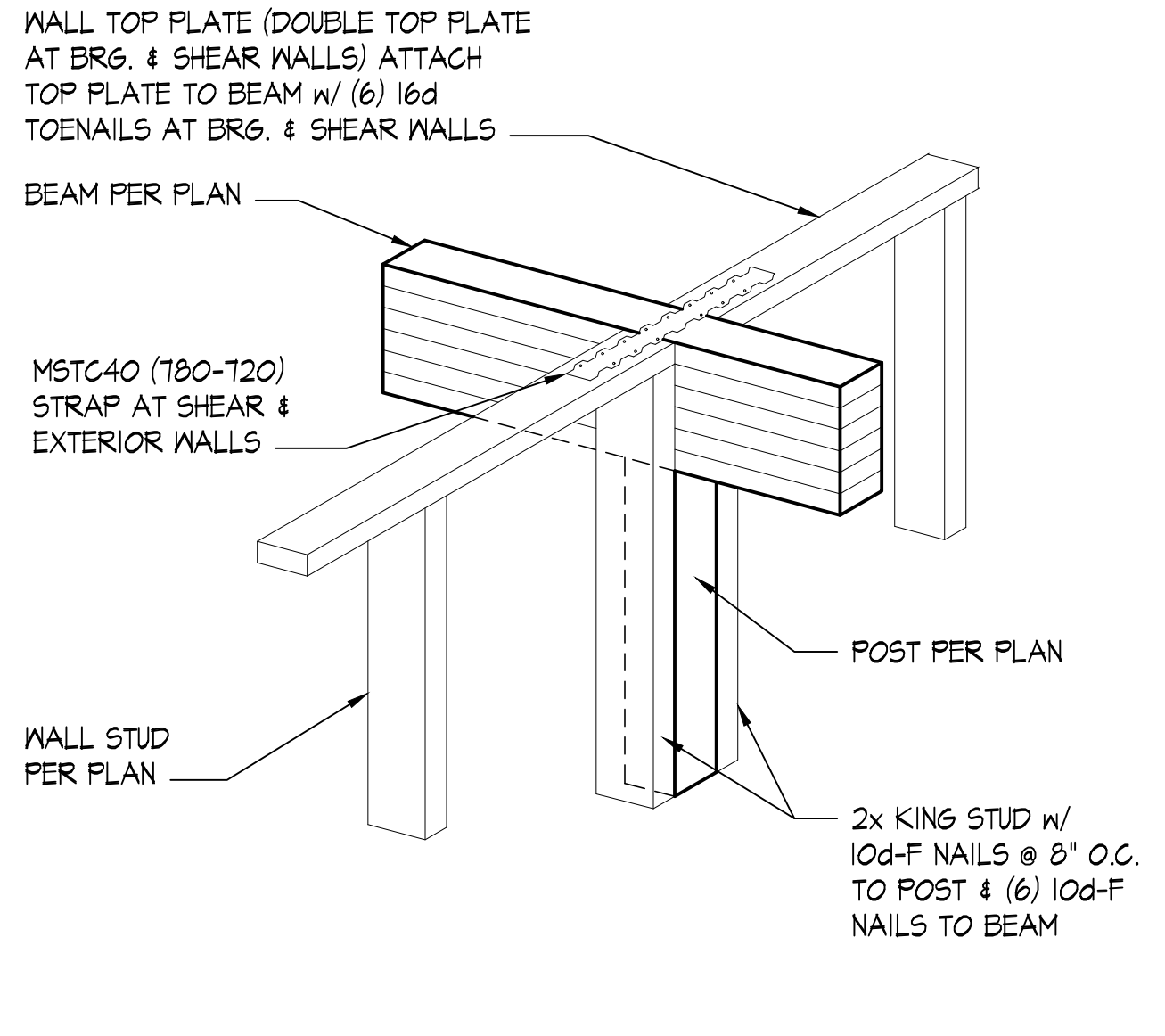
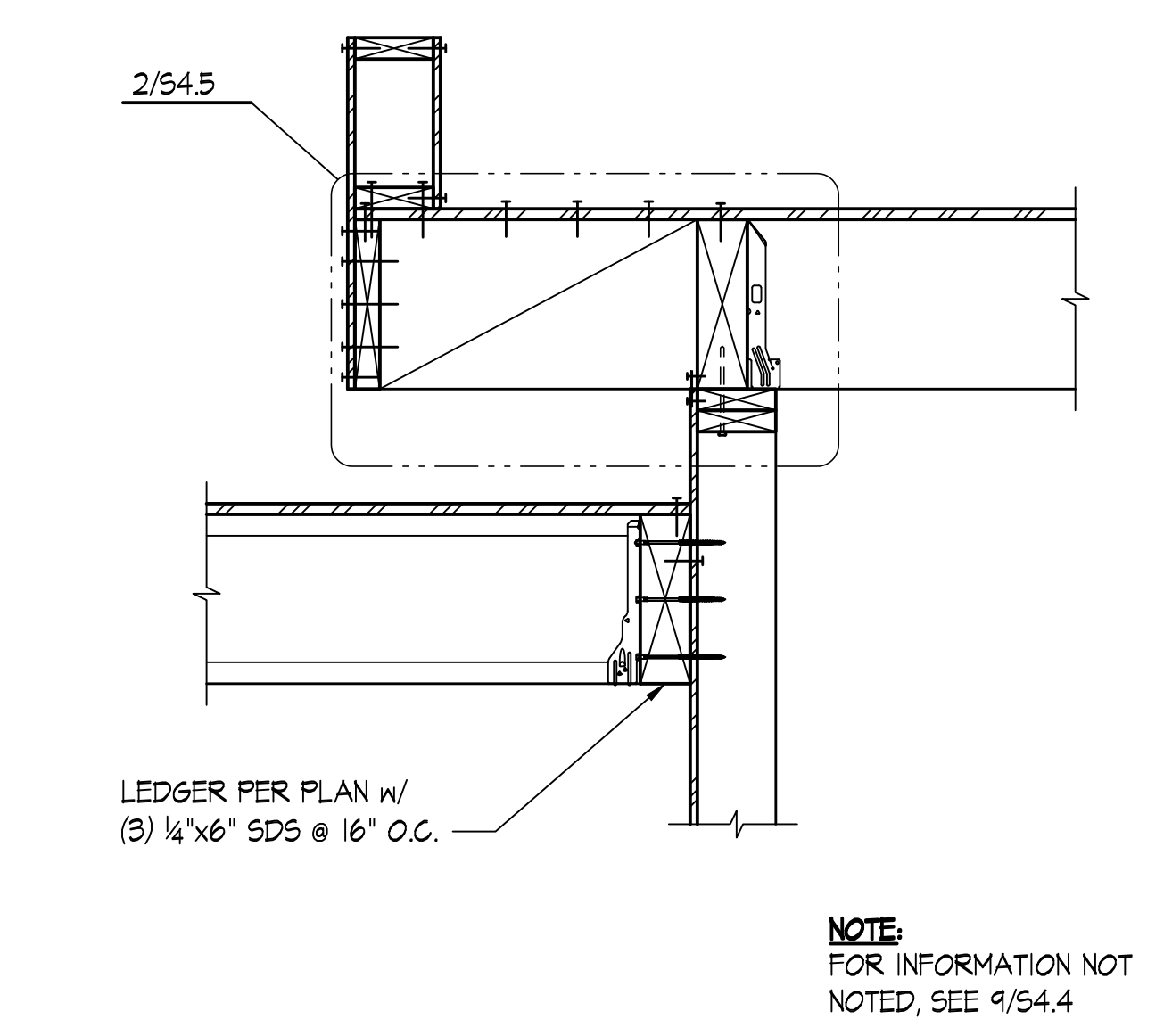
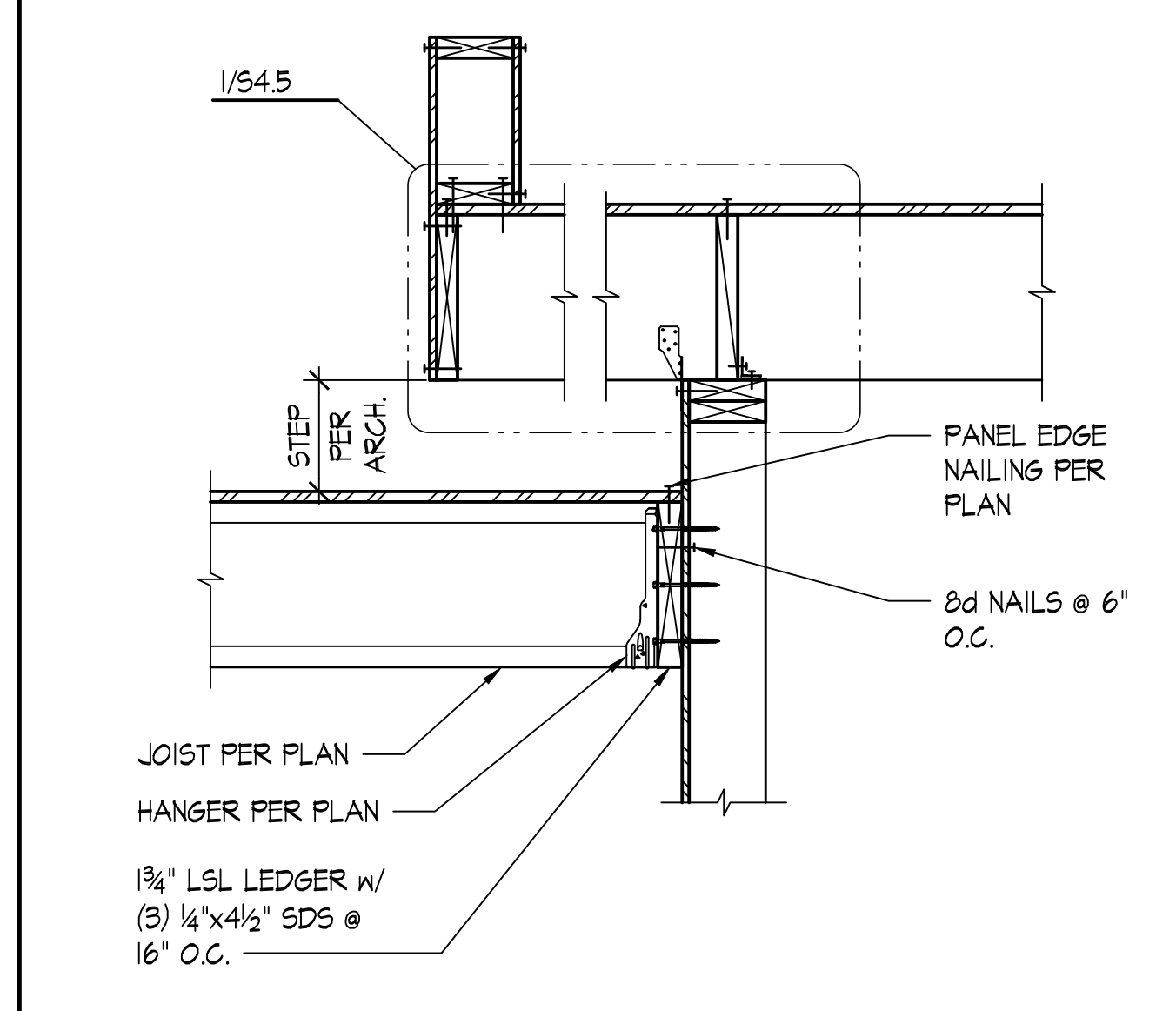


TYPICAL EXTERIOR STRUCTURAL WALL AT ROOF 1-JOIST PARALLEL SCALE: NONE 5

DETAIL SCALE: NONE 6

TYPICAL INTERIOR STRUCTURAL WALL 1-JOIST PARALLEL SCALE: NONE 7

DETAIL SCALE: NONE 8

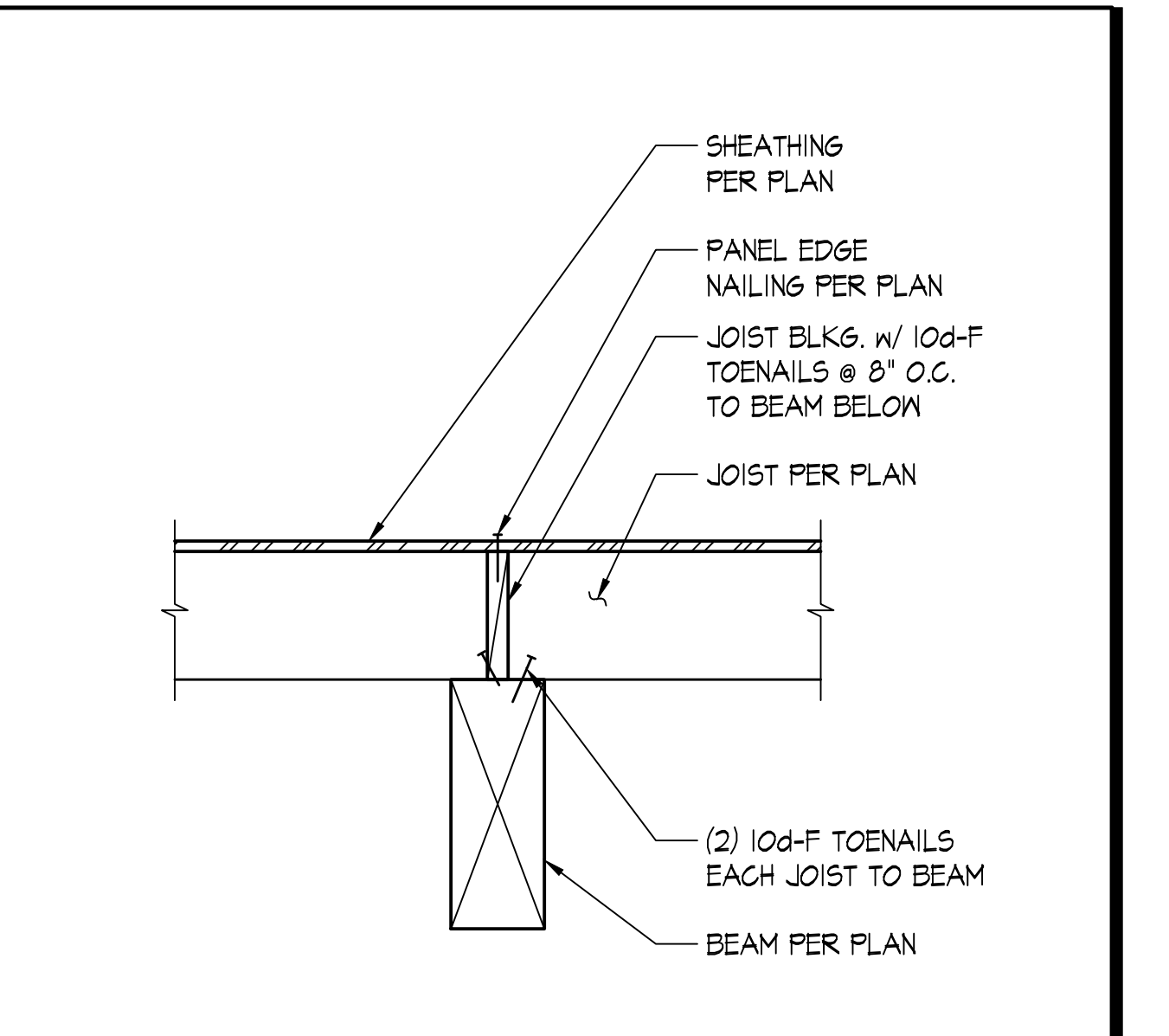
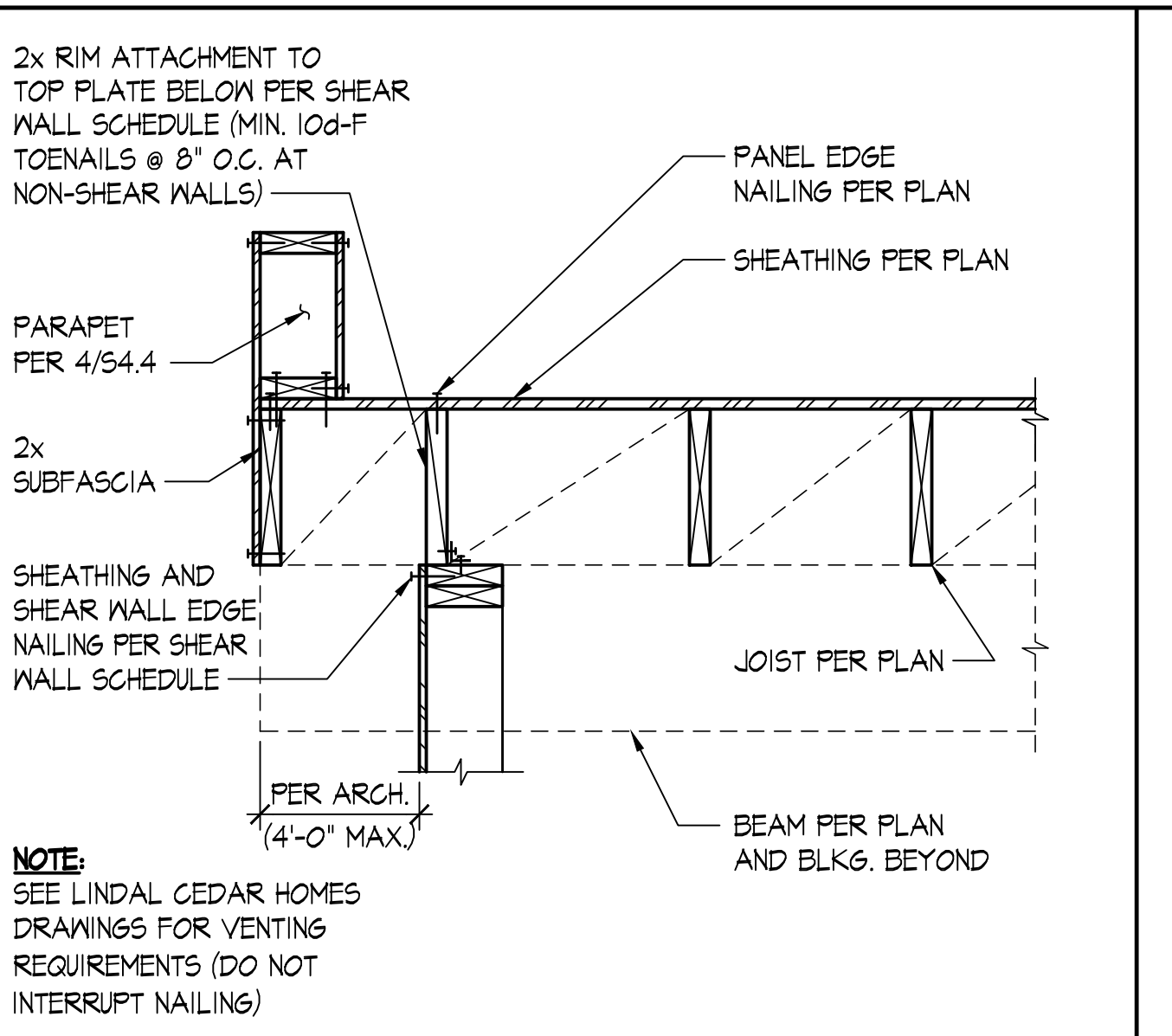
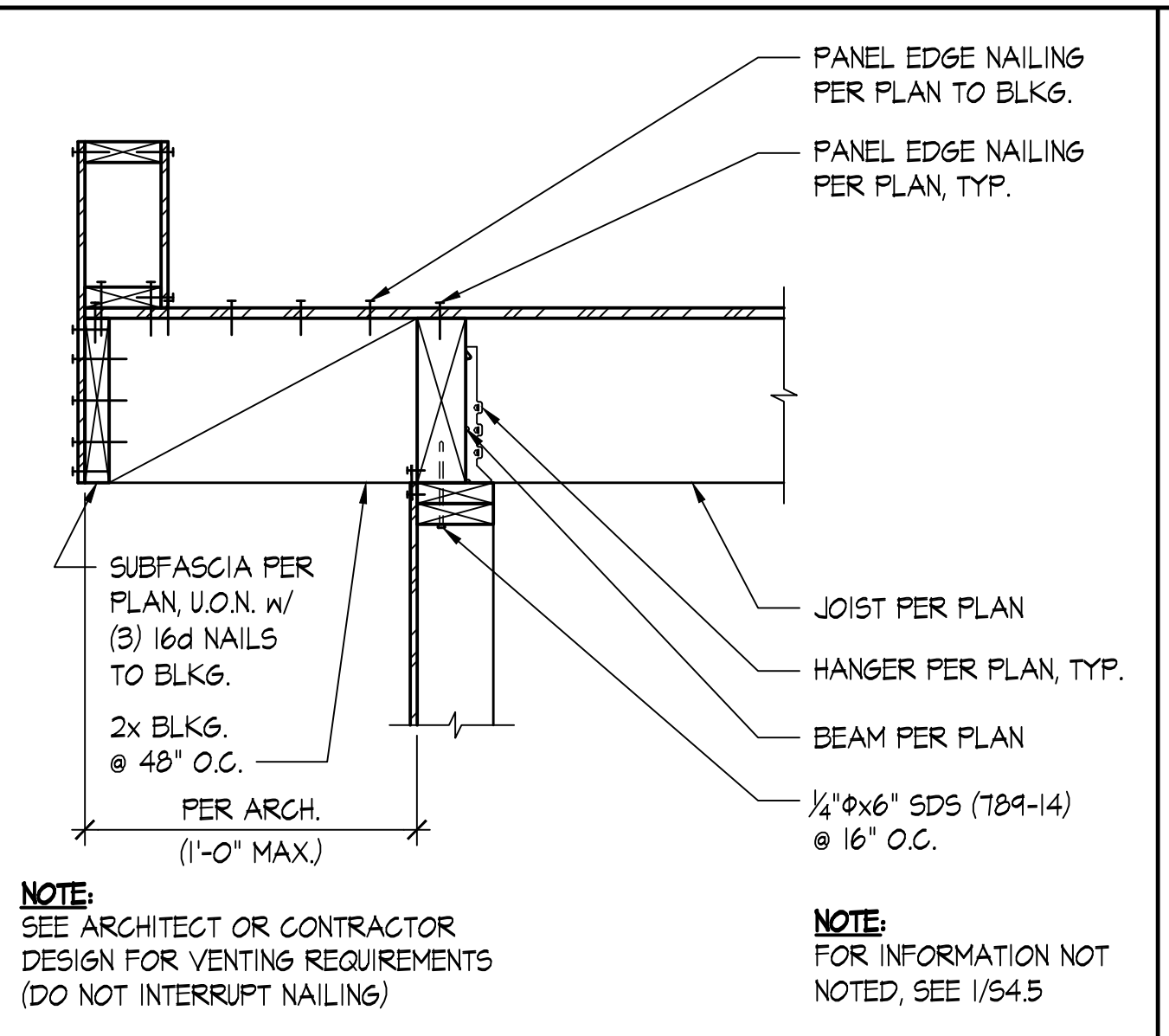
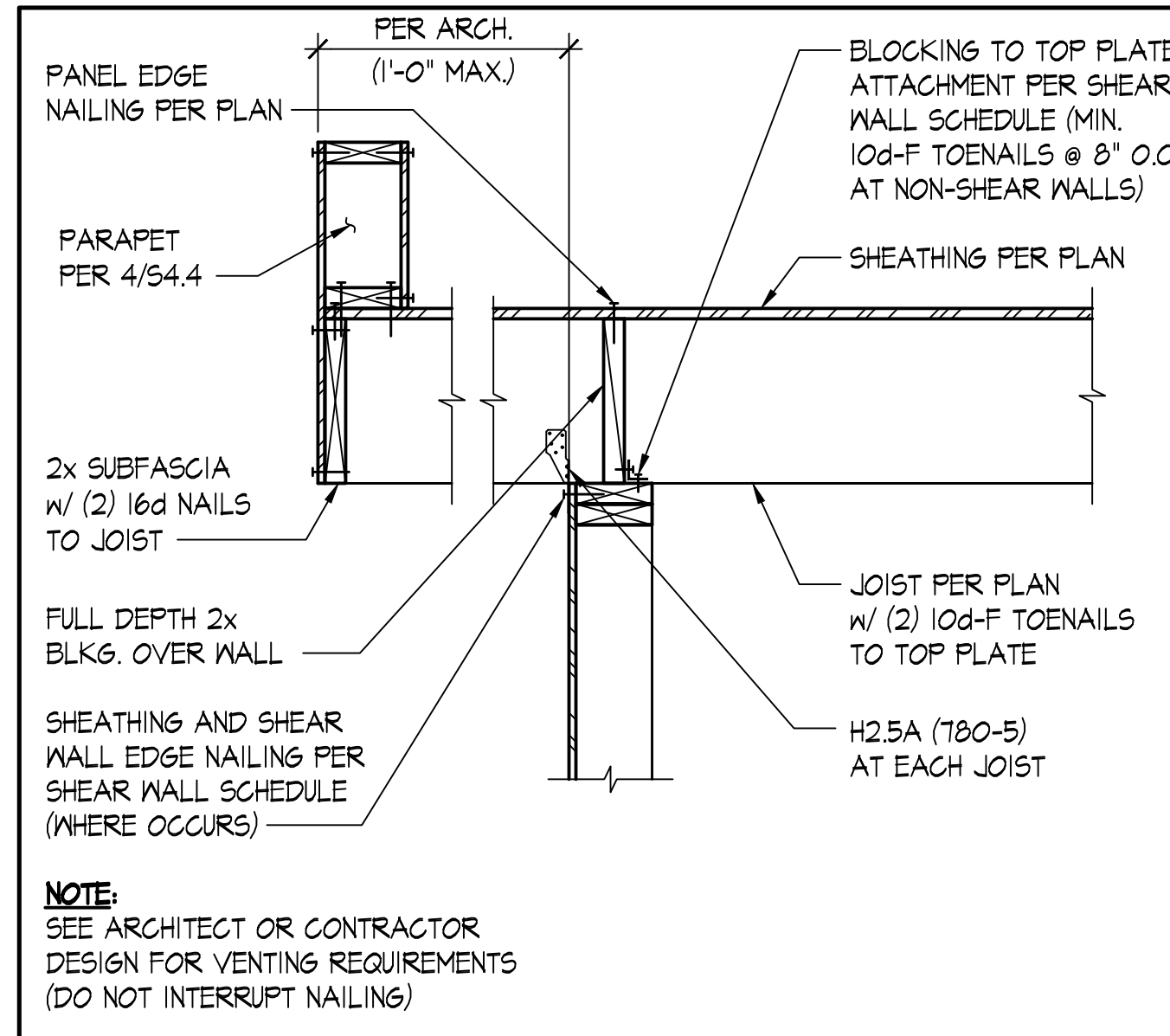


TYPICAL STEP IN ROOF - BALLOON FRAMED WALL w/ LEDGER SCALE: NONE 9

TYPICAL STEP IN ROOF - BALLOON FRAMED WALL w/ LEDGER PER PLAN SCALE: NONE 10

TYPICAL BEAM SUPPORTED AT EXTERIOR WALL SCALE: NONE 11

BEAM SPLICE AT POST PARTITION ONE SIDE SCALE: NONE 12



TYPICAL EXTERIOR STRUCTURAL WALL AT ROOF OVERHANG 2x FRAMING PERPENDICULAR SCALE: NONE |

TYPICAL PERIMETER ROOF FLUSH BEAM - 2x FRAMING PERPENDICULAR SCALE: NONE 2

TYPICAL EXTERIOR WALL TO 2x OUTLOOKER - JOIST PARALLEL SCALE: NONE 3

TYPICAL 2x JOIST TO DROP BEAM CONNECTION SCALE: NONE 4



DETAIL SCALE: 1"=1'-0" 5

DETAIL SCALE: 1"=1'-0" 6

DETAIL SCALE: 1"=1'-0" 7

DETAIL SCALE: 1"=1'-0" 8



DETAIL SCALE: 1"=1'-0" 9

DETAIL SCALE: 1"=1'-0" 10

DETAIL SCALE: 1"=1'-0" 11

DETAIL SCALE: 1"=1'-0" 12



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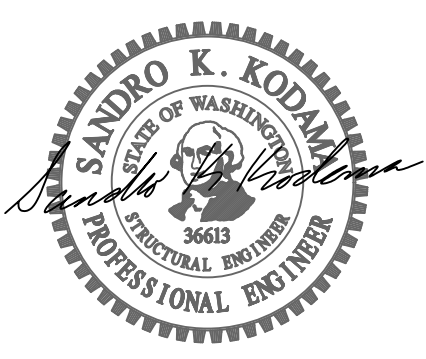
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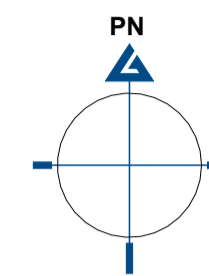
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<p>SECTION A</p> <p>ST2215 (180-2) STRAP</p> <p>DOUBLE TOP PLATE</p> <p>A35 (180-35)</p> <p>STEEL BEAM PER PLAN</p> <p>POST PER PLAN</p> <p>SCALE: NONE</p>	<p>WALL SHEATHING PER PLAN WHERE OCCURS</p> <p>STEEL BEAM CONTINUOUS WHERE OCCURS</p> <p>MSTAB6 HORIZ. AT BREAK IN TOP PLATE</p> <p>PROVIDE SNUG BEARING ON POST</p> <p>POST PER PLAN (NO POST ABOVE AT SIM.)</p> <p>KERF $\frac{1}{4} \times 2\frac{1}{2}$" CENTERED IN POST W/ (2) $\frac{3}{4}$" THRU-BOLTS (OMIT AT SIM.)</p> <p>SOLID DF WEB FILLER x 2'-0" (BOTH SIDES) W/ $\frac{5}{8}$" THRU-BOLT EA. END</p> <p>STEEL BEAM PER PLAN</p> <p>POST PER PLAN</p> <p>SCALE: NONE</p>	<p>SHEATHING AND SHEAR WALL EDGE NAILING PER SHEAR WALL SCHEDULE, TYP.</p> <p>WASHER $\frac{1}{2}$" PER SHEAR WALL SCHEDULE</p> <p>$\frac{5}{8}$" W.T.S. SEE SHEAR WALL SCHEDULE FOR SPACING</p> <p>LSL BLKG. @ 48" O.C.</p> <p>NOTE: FOR INFORMATION NOT NOTED, SEE 4/55.0</p> <p>SCALE: NONE</p>	<p>2x PLATE, RIP TO MATCH BEAM WIDTH T&B</p> <p>WEB STIFFENER PER MFR. AS REQD.</p> <p>JOIST & HANGER PER PLAN</p> <p>STEEL BEAM PER PLAN</p> <p>$\frac{5}{8}$" ϕ x $1\frac{1}{2}$" W.T.S. @ 32" O.C., COUNTERSINK NUT & WASHER $\frac{3}{4}$" MAX. T&B</p> <p>SHEATHING PER PLAN</p> <p>\emptyset dx $1\frac{1}{2}$" NAILS @ 6" O.C.</p> <p>SCALE: NONE</p>
<p>SIDE $\frac{1}{4}$" BOTH SIDES</p> <p>CAP $\frac{1}{2}$"</p> <p>COL. PER PLAN</p> <p>BEAM PER PLAN, TYP.</p> <p>$\frac{1}{2}$" MAX. GAP.</p> <p>(2) $\frac{3}{4}$" ϕ BOLTS AT EACH BEAM</p> <p>SCALE: NONE</p>	<p>END $\frac{1}{2}$"</p> <p>SIDE $\frac{1}{4}$" BOTH SIDES W/ (2) $\frac{3}{4}$" THRU-BOLTS</p> <p>BASE $\frac{1}{2}$" DAP BEAM AS REQD.</p> <p>BEAM PER PLAN</p> <p>POST PER PLAN</p> <p>(4) $\frac{1}{4}$" x 3" SDS AT WORKABLE GAGE</p> <p>SCALE: NONE</p>	<p>BLKG. AS REQD. BUILT UP W/ 2x PLATES</p> <p>BEAM & HANGER PER PLAN</p> <p>LSL BLKG. PER PLAN RIPPED TO FIT, BEAR ON BOTTOM FLANGE</p> <p>(4) $\frac{3}{4}$" THRU BOLTS</p> <p>SCALE: NONE</p>	<p>DETAIL</p> <p>SCALE: NONE</p>
<p>DETAIL</p> <p>SCALE: NONE</p>	<p>DETAIL</p> <p>SCALE: NONE</p>	<p>DETAIL</p> <p>SCALE: NONE</p>	<p>DETAIL</p> <p>SCALE: NONE</p>



PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/18/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023
NO.	DESCRIPTION	ISSUED BY	DATE

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL

ELEMENT CUSTOM HOME

OVERLAY - BASEMENT

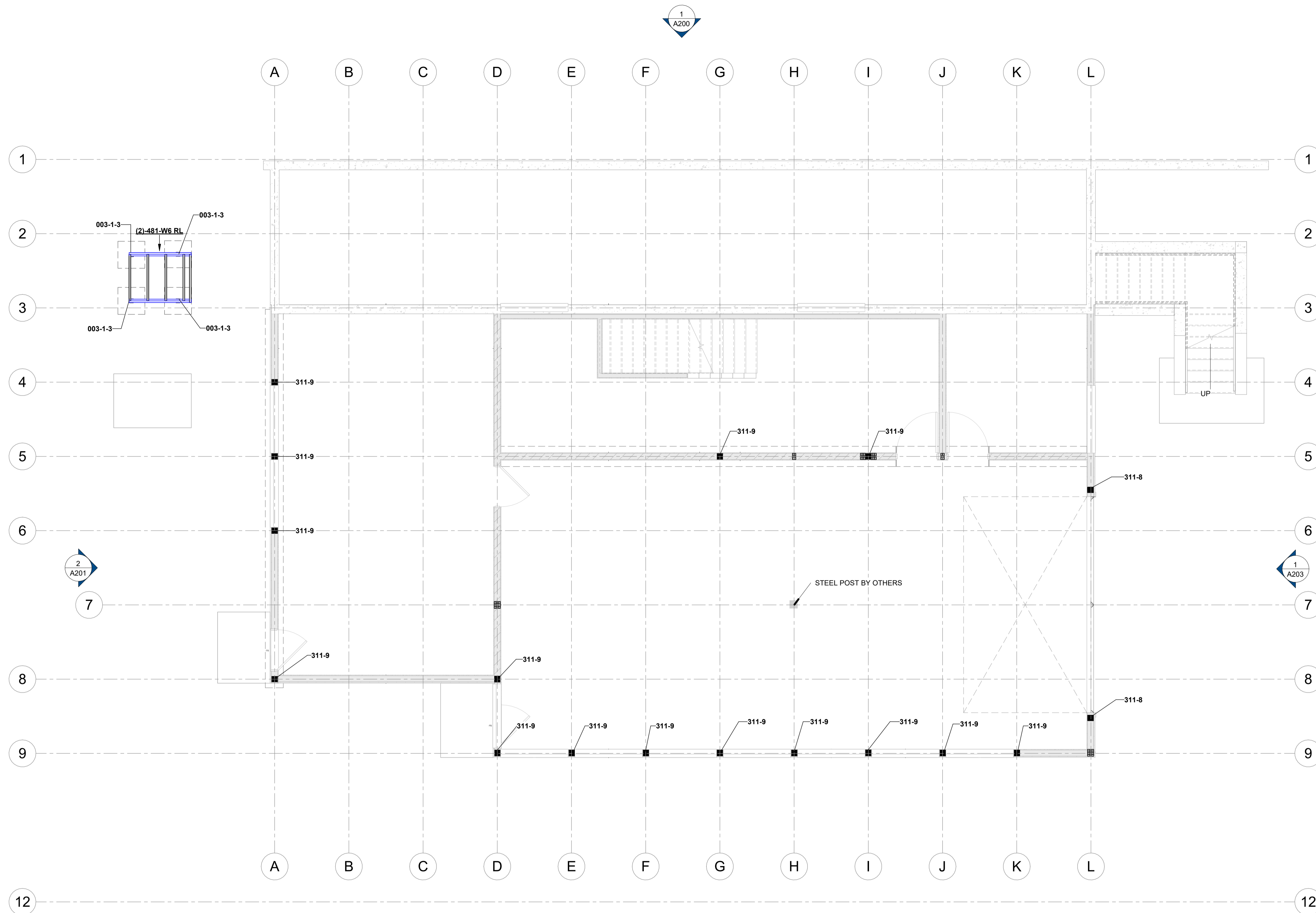
Scale: 1/4" = 1'-0"

MT00

BASEMENT POST AND PARTITION OVERLAY

SCALE: 1/4"=1'-0"

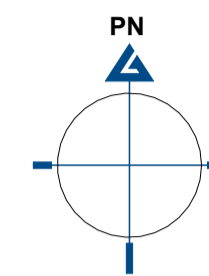
1. ALL POSTS TO BE JOB CUT TO FIT UNDER BEAMS. POSTS LABELED RECUT ARE JOB CUT FROM A POST WITH AN INDICATED LENGTH ALSO LABELED RECUT.
2. GLULAM BEAMS VARY IN SIZE, MEASURE BEAM DEPTH AT POST LOCATION TO DETERMINE EXACT POST LENGTH BEFORE CUTTING POST.
3. ALL INTERIOR WALL STUDS UNDER FIRST FLOOR ARE #361, 2x4 @ 24" O.C. UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR WALL STUDS AT BASEMENT FLOOR ARE #336-6, 2x6 @ 16" O.C. UNLESS NOTED OTHERWISE.
5. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.



LOWER LEVEL POST SCHEDULE

PART #	STRUCTURAL MEMBER DESCRIPTION			DESIGN LENGTH	
	APPLICATION	DIMENSIONS	MATERIAL	CUT	PRE-CUT
003-1-3	EXPOSED	CUSTOM	DOUG-FIR #2	2' - 6 5/8"	3' - 0"
311-9	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	8' - 1 1/2"	9' - 0"
311-8	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	7' - 7 3/8"	8' - 0"
311-9	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	8' - 1 1/2"	9' - 0"

1 BASEMENT
MT00 1/4" = 1'-0"



PROJECT NORTH

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WARM MODERN LIVING

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7929 EAST MERCER WAY
MERCER ISLAND WA 98040

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	ISSUED FOR CD	ES	10/18/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023
NO.	DESCRIPTION	ISSUED BY	DATE

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL

ELEMENT CUSTOM HOME

OVERLAY - FIRST FLOOR PLAN

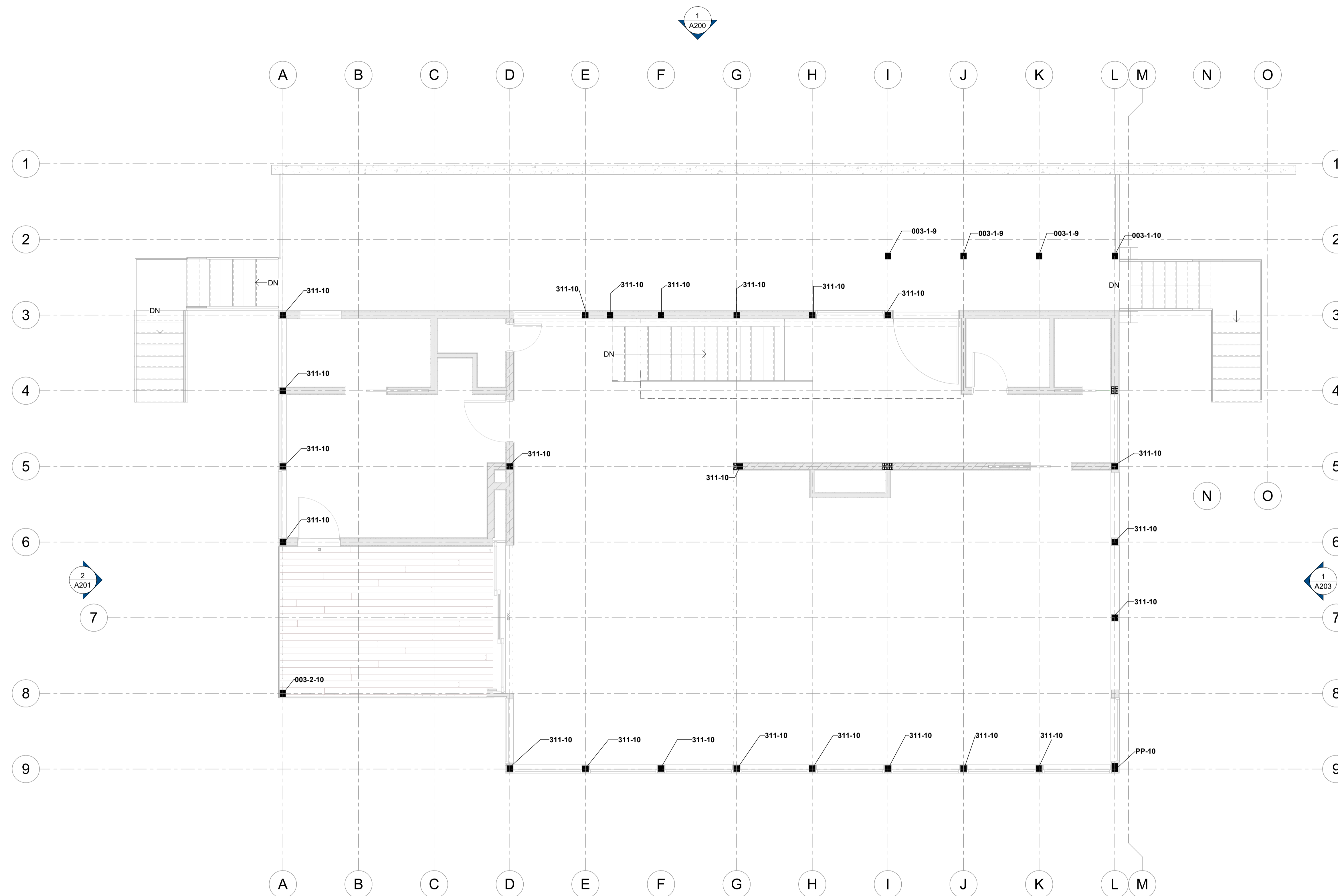
Scale: 1/4" = 1'-0"

MT01

1ST FLOOR POST AND PARTITION OVERLAY

SCALE: 1/4"=1'-0"

- ALL POSTS TO BE JOB CUT TO FIT UNDER BEAMS. POSTS LABELED RECUT ARE JOB CUT FROM A POST WITH AN INDICATED LENGTH ALSO LABELED RECUT.
- POST ATTACHMENT TO CONCRETE SLABS, DESIGN AND MATERIALS, ARE BY OTHERS.
- GLULAM BEAMS VARY IN SIZE, MEASURE BEAM DEPTH AT POST LOCATION TO DETERMINE EXACT POST LENGTH BEFORE CUTTING POST.
- ALL INTERIOR WALL STUDS UNDER SECOND FLOOR ARE #361 (2x4) OR #361-6 (2x6) @ 24" O.C. UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALL STUDS AT FIRST FLOOR ARE #333-6, 2x6 @ 16" O.C. UNLESS NOTED OTHERWISE.
- WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.



1ST FLOOR POST SCHEDULE

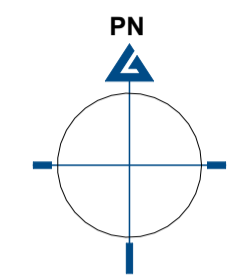
PART #	APPLICATION	DIMENSIONS	MATERIAL	DESIGN LENGTH	
				CUT	PRE-CUT
311-10	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	9' - 6"	10' - 0"
003-1-9	EXPOSED	CUSTOM	ALASKAN YELLOW CEDAR	8' - 9"	9' - 0"
311-10	NON-EXPOSED	5 1/8" x 5 1/2"	<varies>	9' - 6"	10' - 0"
PP-10	EXPOSED	5 1/8" x 7 1/2"	DOUG-FIR #2	9' - 6"	10' - 0"
<varies>-10	EXPOSED	CUSTOM	ALASKAN YELLOW CEDAR	<varies>	10' - 0"

2ND FLOOR POST AND PARTITION OVERLAY

- SCALE 1/4" = 1'-0"
- ALL POSTS TO BE JOB CUT TO FIT UNDER BEAMS. POSTS LABELED RECUT ARE JOB CUT FROM A POST WITH AN INDICATED LENGTH ALSO LABELED RECUT.
 - GLULAM BEAMS VARY IN SIZE, MEASURE BEAM DEPTH AT POST LOCATION TO DETERMINE EXACT POST LENGTH BEFORE CUTTING POST.
 - ALL INTERIOR STUDS ARE #112 (2x4) OR #114 (2x6) @ 24" o.c., UNLESS NOTED OTHERWISE.
 - ALL EXTERIOR WALL STUDS @ SECOND FLOOR ARE #334-6, 2x6 @ 16" o.c., UNLESS NOTED OTHERWISE.
 - WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.



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PROJECT NORTH

LINDAL DEALER

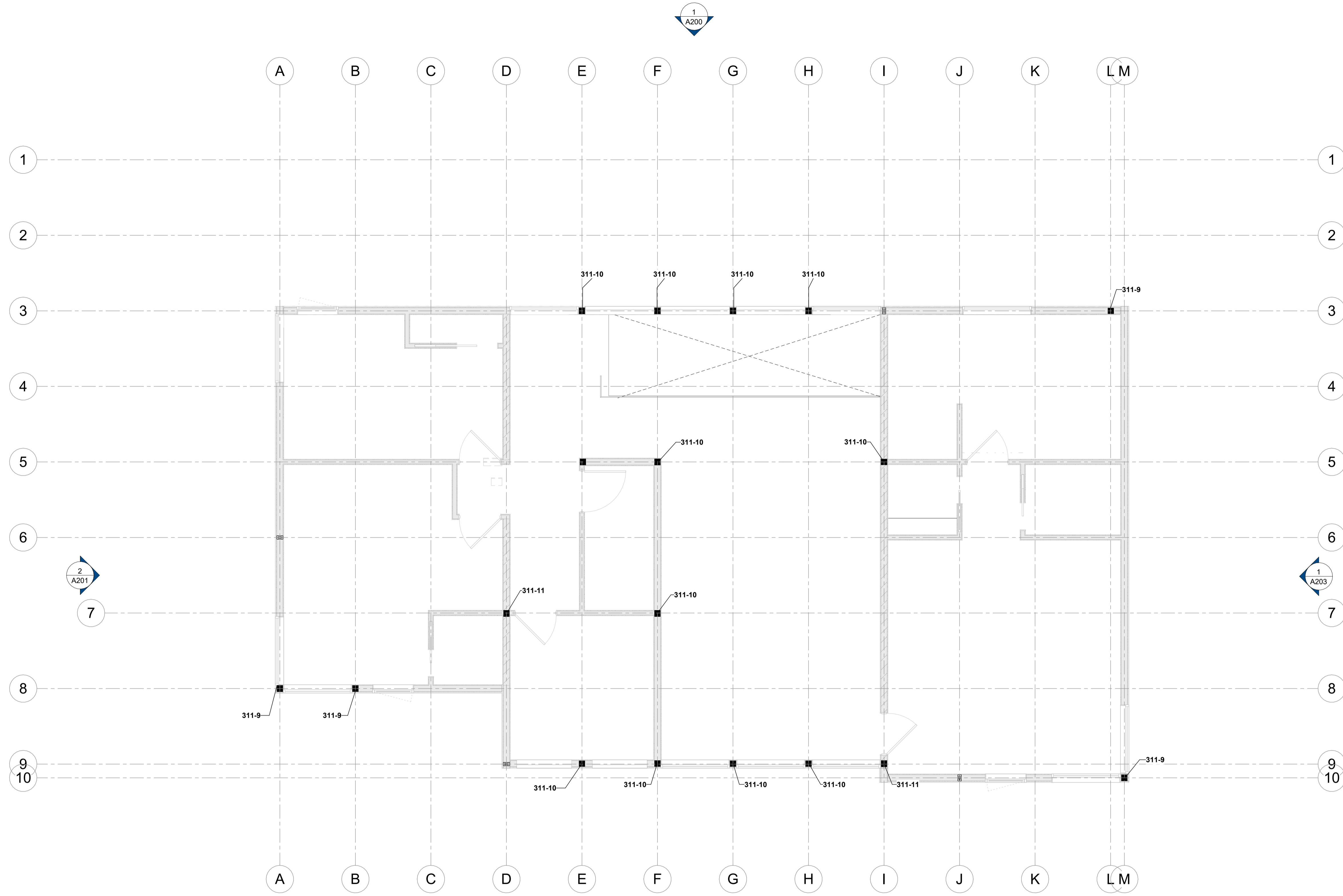
WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040



1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/15/2023
NO.	DESCRIPTION	ISSUED BY	DATE

ISSUANCES

WARRANTY NUMBER

42255

SERIES



MODEL

ELEMENT CUSTOM HOME

OVERLAY - SECOND FLOOR PLAN

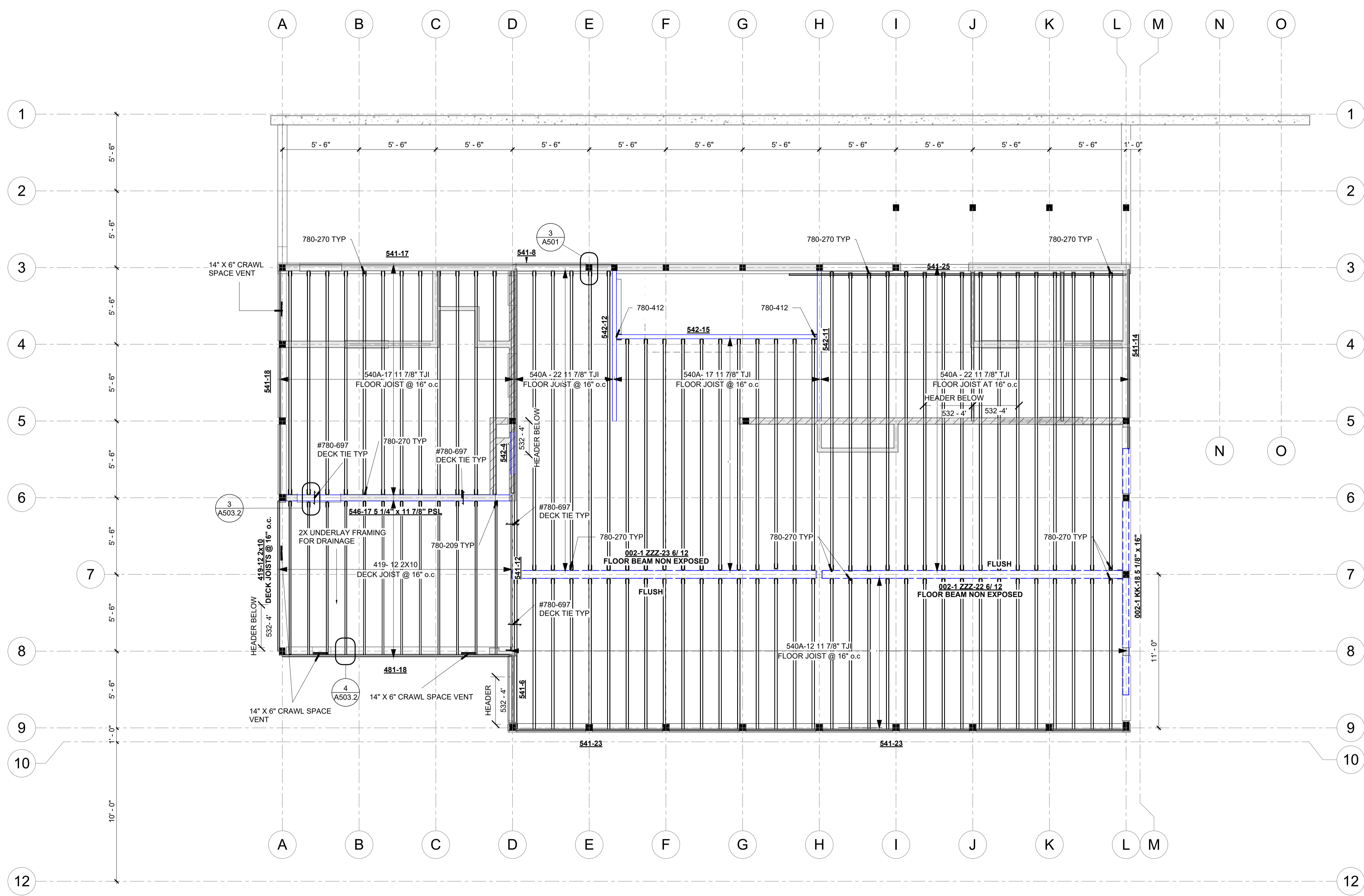
Scale: 1/4" = 1'-0"

MT02

2ND FLOOR POST SCHEDULE					
PART #	APPLICATION	STRUCTURAL MEMBER DESCRIPTION		DESIGN LENGTH	
		DIMENSIONS	MATERIAL	CUT	PRE-CUT
311-10	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	8' - 10 3/4"	10' - 0"
311-9	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	8' - 0"	9' - 0"
311-10	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	8' - 10 3/4"	10' - 0"
311-11	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	10' - 0 1/4"	11' - 0"

ARCH.DWG: 24" x 36" LAST PLOT DATE: 11/27/2023 2:30:08 PM

ARCH'D 24" x 36" LAST PLOT DATE: 11/27/2023 2:30:13 PM



1ST FLOOR FRAMING NOTES

- SCALE: 1/4"=1'-0"
- VERIFY ACTUAL BEAM DIMENSIONS PRIOR TO CUTTING POSTS.
 - ALL DESIGN AND MATERIALS BELOW L.C.H. SUPPLIED FLOOR SYSTEM ARE BY OTHERS N.I.C., UNLESS NOTED OTHERWISE.
 - POSTS AND FOOTINGS MUST BE DESIGNED TO SUPPORT LOADS INDICATED.
 - TYPICAL FLOOR JOISTS ARE
 - #540A, 11.7/8" TJI (110 SERIES) at 16" o.c., UNLESS NOTED OTHERWISE. USE (3) 8d GALV. BOX NAILS at SILL PLATE and at EACH BEAM, TYPICAL.
 - #481, 2x12 SPF #2 at 16" o.c., UNLESS NOTED OTHERWISE. USE (3) 8d GALV. BOX NAILS at SILL PLATE and at EACH BEAM.
 - #419, 2x10 SPF #2 at 16" o.c., UNLESS NOTED OTHERWISE. USE (3) 8d GALV. BOX NAILS at SILL PLATE and at EACH BEAM.
 - BLOCKING SHALL BE
 - #541-RL, 11.7/8" LSL SOLID BLOCKING BELOW ALL POSTS FROM ABOVE, UNLESS NOTED OTHERWISE.
 - #481, 2x12 SOLID BLOCKING BELOW ALL POSTS FROM ABOVE AND STAGGERED BLOCKING OVER EACH SUPPORT, UNLESS NOTED OTHERWISE.
 - #419, 2x10 SOLID BLOCKING BELOW ALL POSTS FROM ABOVE AND STAGGERED BLOCKING OVER EACH SUPPORT, UNLESS NOTED OTHERWISE.
 - PROVIDE FLOOR JOIST or BLOCKING BELOW ALL INTERIOR NON-LOAD BEARING PARTITIONS PARALLEL TO JOISTS. PROVIDE DOUBLE FLOOR JOISTS or BLOCKING BELOW LANDING POINT OF STAIR STRINGERS.
 - FLOOR SHEATHING IS #607, 3/4" T&G PLYWOOD with #753 ADHESIVE and #8 x 2" FLAT HEAD SCREWS (BY OTHERS) at 8" o.c. at EDGES and 10" o.c. at INTERMEDIATE SUPPORTS. RUN PLYWOOD LONG DIRECTION PERPENDICULAR TO FLOOR JOISTS.
 - FLOOR SHEATHING IS #697-1 1/8" T&G PLYWOOD UNDERLAYMENT SHEATHING. APPLY WITH CONSTRUCTION ADHESIVE (#753) and #8 x 2" FLAT HEAD SCREWS (BY OTHERS) at 8" o.c. at EDGES and 10" o.c. at INTERMEDIATE SUPPORTS. RUN SHEATHING LONG DIRECTION PERPENDICULAR TO FLOOR JOISTS.
 - PROVIDE ACCESS TO CRAWL SPACE PER LOCAL CODES. VENT ALL CRAWL SPACES PER LOCAL CODE.
 - GRADE MUST SLOPE AWAY FROM BUILDING.
 - ALL DRAIN TILES, VAPOR BARRIERS AND OTHER MOISTURE AND WATER CONTROL SYSTEMS ARE TO BE INSTALLED PER LOCAL CODES.
 - WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.

1ST FLOOR DESIGN LOADS:

1ST FLOOR LIVE LOAD	40 PSF
1ST FLOOR DEAD LOAD	12 PSF
TOTAL LOAD	52 PSF

STRUCTURAL CONNECTION

PART#	MMF PART#	MMF	QTY
780-CJT4L	CJT4Z	SIMPSON STRONG TIE	4
780-CJT5S	CJT5Z	SIMPSON STRONG TIE	1
780-510	HUC5.31(9)	SIMPSON STRONG TIE	1
???	HUC210-4	SIMPSON STRONG TIE	10
780-412	HUC412	SIMPSON STRONG TIE	32
780-272	IUS1.81/11.88	SIMPSON STRONG TIE	427
780-209	LUS28	SIMPSON STRONG TIE	30

1ST FLOOR BEAM SCHEDULE

FRAMING MEMBER DESCRIPTION	DESIGN LENGTH		
PART #	DIMENSIONS	MATERIAL	PRE-CUT
FLOOR BEAM			
002-1 KK-18	5 1/8" x 16"	DOUG-FIR #2	17' - 8" 18' - 0"

CRAWL SPACE VENTILATION CALCS.

CRAWL VENTILATION CALCULATION WITH APPROVED CLASS 1 VAPOR RETARDER PER R408.2

474 SQ. FT. UNDER FLOOR AREA/ 300 S.F. = 1.58 S.F.
1.58 x 144 = 227.52 SQ. IN. REQUIRED

FOR CRAWL SPACE WITH APPROVED VAPOR BARRIER PROVIDE 1 SQ. FT. PER 150 SQ. FT. OF UNDERFLOOR AREA. COVER VENTS WITH 1/4" CORROSION RESISTANT WIRE MESH LOCATE VENTS AS CLOSE TO CORNERS AS PRACTICAL EFFICIENT VENT AREA = 72.5 SQ. IN

VENT AREA 227.52 / 72.5 SQ. IN. VENT = 3.14 (4) (VENTS)
CODE REQUIRES A (6" x 14" VENT)
MINIMUM OF (4) VENTS REQUIRED PER CRC R408.1 VENTILATION

(4) VENTS MINIMUM REQUIRED
(4) CRC APPROVED VENTS PROVIDED

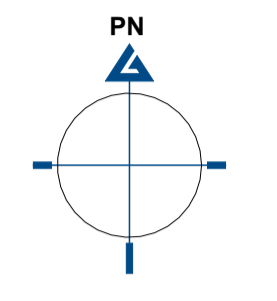
CRAWL SPACE REQ. NOTES

- 18" MIN CLEARANCE UNDER JOIST
- 12" MIN CLEARANCE UNDER BEAMS
- 6 MIL VAPOR BARRIER
- 12" MIN LAP SEAMS



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PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/19/2023
NO.	DESCRIPTION	ISSUED BY	DATE

ISSUANCES

WARRANTY NUMBER

42255

SERIES



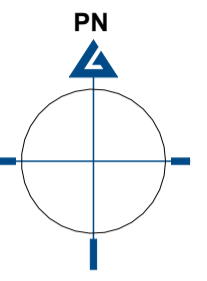
MODEL

ELEMENT CUSTOM HOME

FIRST FLOOR FRAMING

Scale: 1/4" = 1'-0"

MT03



PROJECT NORTH

LINDAL DEALER
WARM MODERN LIVING

CLIENT
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040

2ND FLOOR FRAMING NOTES

SCALE: 1/4"=1'-0"

- VERIFY ACTUAL BEAM DIMENSIONS PRIOR TO CUTTING POSTS.
- ALL DESIGN AND MATERIALS BELOW L.C.H. SUPPLIED FLOOR SYSTEM ARE BY OTHERS N.I.C., UNLESS NOTED OTHERWISE.
- POSTS and FOOTINGS MUST BE DESIGNED TO SUPPORT LOADS INDICATED.
- TYPICAL FLOOR JOISTS ARE
 - #540A, 11 7/8" TJI (110 SERIES) at 16" o.c., UNLESS NOTED OTHERWISE. USE (3) 8d GALV. BOX NAILS at SILL PLATE and at EACH BEAM TYPICAL.
 - #540E, 11 7/8" TJI (110 SERIES) at 16" o.c., UNLESS NOTED OTHERWISE. USE (3) 8d GALV. BOX NAILS at SILL PLATE and at EACH BEAM TYPICAL.
 - #481, 2x12 SPF #2 at 16" o.c., UNLESS NOTED OTHERWISE. USE (3) 8d GALV. BOX NAILS at SILL PLATE and at EACH BEAM.
 - #419, 2x10 SPF #2 at 16" o.c., UNLESS NOTED OTHERWISE. USE (3) 8d GALV. BOX NAILS at SILL PLATE and at EACH BEAM.
- BLOCKING SHALL BE
 - #531-RL, 9 1/2" LSL SOLID BLOCKING BELOW ALL POSTS FROM ABOVE, UNLESS NOTED OTHERWISE
 - #541-RL, 11 7/8" LSL SOLID BLOCKING BELOW ALL POSTS FROM ABOVE, UNLESS NOTED OTHERWISE
 - #461, 2x12 SOLID BLOCKING BELOW ALL POSTS FROM ABOVE AND STAGGERED BLOCKING OVER EACH SUPPORT, UNLESS NOTED OTHERWISE.
 - #419, 2x10 SOLID BLOCKING BELOW ALL POSTS FROM ABOVE AND STAGGERED BLOCKING OVER EACH SUPPORT, UNLESS NOTED OTHERWISE.
- PROVIDE FLOOR JOIST or BLOCKING BELOW ALL INTERIOR NON-LOAD BEARING PARTITIONS PARALLEL TO JOISTS. PROVIDE DOUBLE FLOOR JOISTS or BLOCKING BELOW LANDING POINT OF STAIR STRINGERS.
- FLOOR SHEATHING IS #697, 3/4" T&G PLYWOOD with #753 ADHESIVE and #8 x 2" FLAT HEAD SCREWS (BY OTHERS) at 6" o.c. at EDGES and 10" o.c. at INTERMEDIATE SUPPORTS. RUN PLYWOOD LONG DIRECTION PERPENDICULAR TO FLOOR JOISTS.
- FLOOR SHEATHING IS #697, 1 1/8" T&G PLYWOOD UNDERLAYMENT SHEATHING. APPLY with CONSTRUCTION ADHESIVE (#753) and #8 x 2" FLAT HEAD SCREWS (BY OTHERS) at 6" o.c. at EDGES and 10" o.c. at INTERMEDIATE SUPPORTS. RUN SHEATHING LONG DIRECTION PERPENDICULAR TO FLOOR JOISTS.
- WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.

2ND FLOOR DESIGN LOADS:

2ND FLOOR LIVE LOAD	40 PSF
2ND FLOOR DEAD LOAD	12 PSF
TOTAL LOAD	52 PSF

STRUCTURAL CONNECTION

PART#	MNF PART#	MNF	QTY
780-CJT4L	CJT4Z	SIMPSON STRONG TIE	4
780-CJT5S	CJT5Z	SIMPSON STRONG TIE	1
780-510	HUC5.31/9	SIMPSON STRONG TIE	1
777	HUC10.14	SIMPSON STRONG TIE	10
780-412	HUC412	SIMPSON STRONG TIE	32
780-272	IUS1.81/11.88	SIMPSON STRONG TIE	427
780-209	LUS28	SIMPSON STRONG TIE	30

2ND FLOOR BEAM SCHEDULE

PART #	DIMENSIONS	MATERIAL	DESIGN LENGTH	
			CUT	PRE-CUT
BEAM				
NIC-17	12 / 12	STEEL	16' - 6"	17' - 0"
NIC-24	12 / 12	STEEL	22' - 11 5/8"	24' - 0"
FLOOR BEAM				
542-12	3 1/2" x 11 7/8"	LSL	11' - 2 3/4"	12' - 0"
542-18	3 1/2" x 11 7/8"	LSL	17' - 6 3/8"	18' - 0"
542-21	3 1/2" x 11 7/8"	LSL	19' - 9 7/8"	21' - 0"
542-6	3 1/2" x 11 7/8"	LSL	5' - 8 3/4"	6' - 0"
542-8	3 1/2" x 11 7/8"	LSL	7' - 0 1/8"	8' - 0"
542-11	3 1/2" x 11 7/8"	LSL	<varies>	11' - 0"
542-12	3 1/2" x 11 7/8"	LSL	<varies>	12' - 0"
542-17	3 1/2" x 11 7/8"	LSL	<varies>	17' - 0"
542-18	3 1/2" x 11 7/8"	LSL	<varies>	18' - 0"
546-12	5 1/4" x 11 7/8"	PSL	<varies>	12' - 0"
546-17	5 1/4" x 11 7/8"	PSL	<varies>	17' - 0"
546-21	5 1/4" x 11 7/8"	PSL	19' - 10 1/8"	21' - 0"
547-12	7' x 11 7/8"	PSL	11' - 7 3/4"	12' - 0"
547-18	7' x 11 7/8"	PSL	17' - 6"	18' - 0"
HEADER				
532-5	3 1/2" x 9 1/2"	LSL	4' - 6"	5' - 0"

1	CITY COMMENT	ES	11/27/2023
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	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023
NO.	DESCRIPTION	ISSUED BY	DATE

ISSUANCES

WARRANTY NUMBER

42255

SERIES

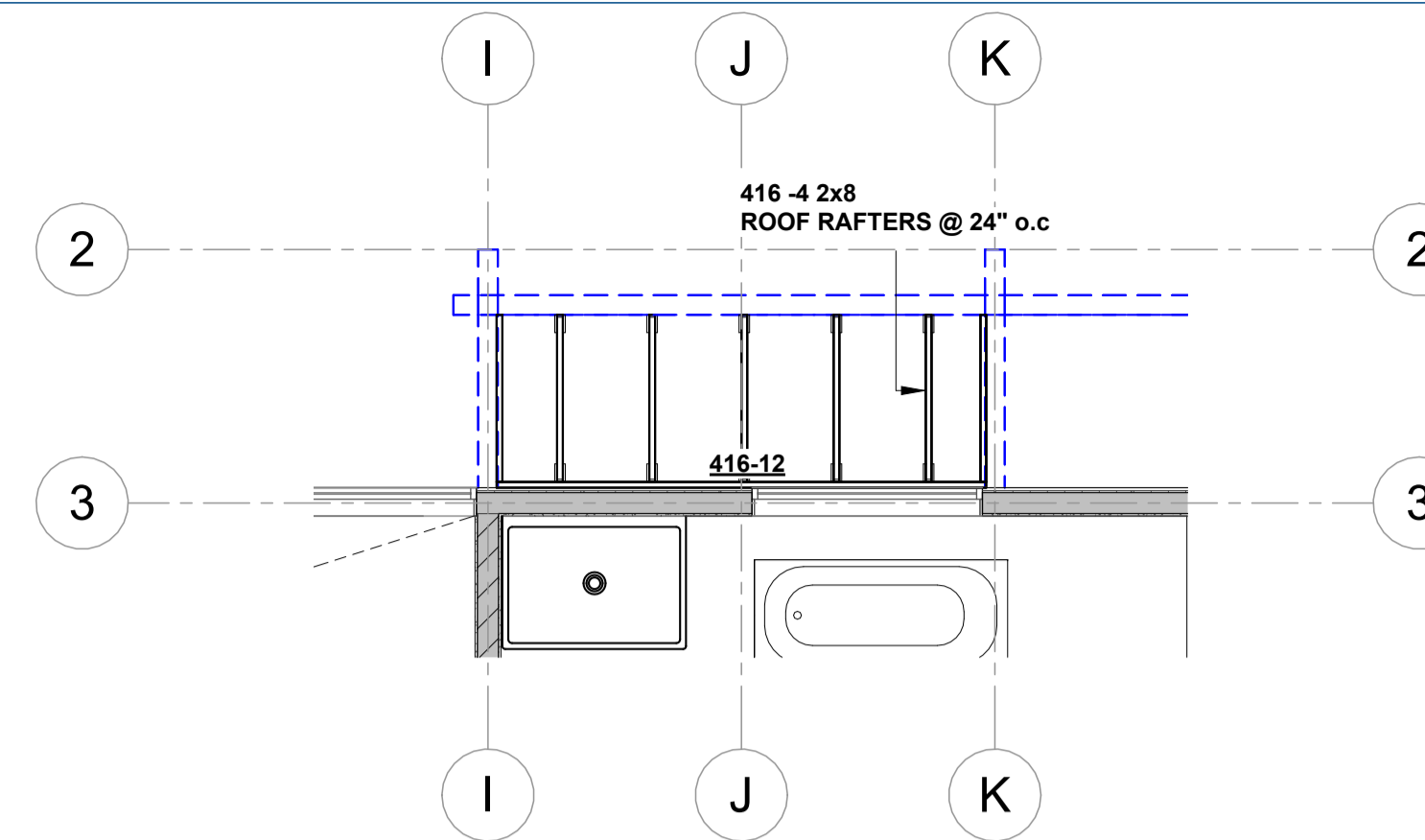


MODEL
ELEMENT CUSTOM HOME

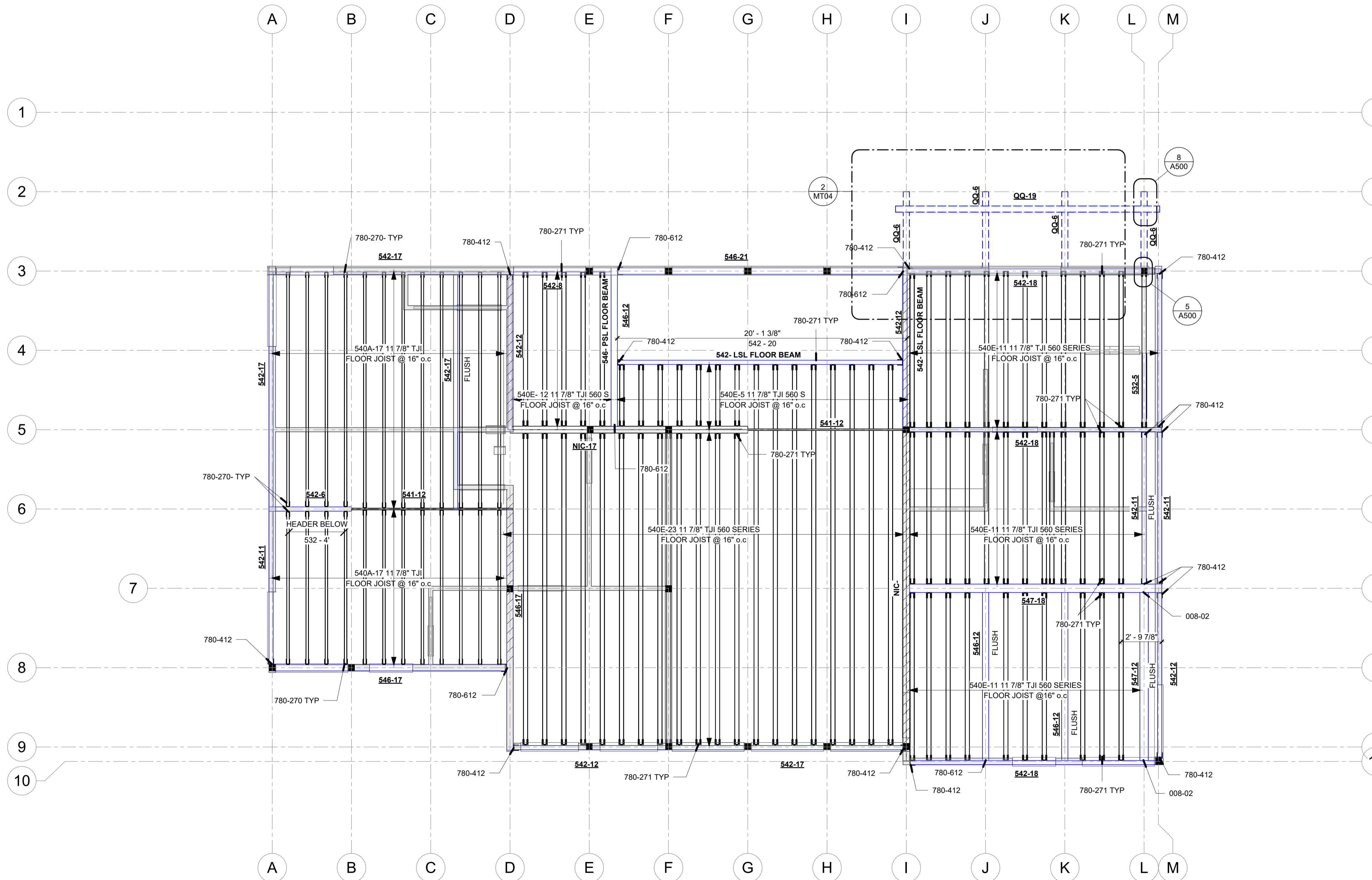
SECOND FLOOR FRAMING

Scale: 1/4" = 1'-0"

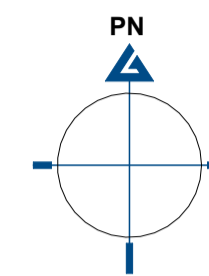
MT04



2 ENTRANCE ROOF FRAMING
MT04 1/4" = 1'-0"



1 03 - SECOND FLOOR FRAMING
MT04 1/4" = 1'-0"



PROJECT NORTH

LINDAL DEALER
WARM MODERN LIVING

CLIENT
HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040

ROOF FRAMING NOTES

- SCALE: 1/4"=1'-0"
- VERIFY ACTUAL BEAM DIMENSIONS PRIOR TO CUTTING POSTS.
 - TYPICAL ROOF RAFTERS ARE:
 - #540A, 11 7/8" TJI (110 SERIES) at 24" o.c., UNLESS NOTED OTHERWISE.
 - ARE #481, 2x12 RAFTERS at 24" o.c., UNLESS NOTED OTHERWISE.
 - ROOF SHEATHING IS
 - #700, 1/2" PLYWOOD with 8d GALV. BOX NAILS at 6" o.c. at EDGES and 12" o.c. at INTERMEDIATE SUPPORTS. USE #739-1/2 "H" CLIPS AT UNSUPPORTED EDGES. RUN PLYWOOD LONG DIRECTION PERPENDICULAR TO ROOF RAFTERS.
 - #700-OSB, 15/32" OSB SHEATHING with 8d GALV. BOX NAILS at 6" o.c. at EDGES and 12" o.c. at INTERMEDIATE SUPPORTS. USE #739-15/32 "H" CLIPS AT UNSUPPORTED EDGES. RUN SHEATHING LONG DIRECTION PERPENDICULAR TO ROOF RAFTERS.
 - ATTACH FASCIA W/ #770, 6d GALV. (BROWN) SIDING NAILS AT EACH RAFTER OR BLOCKING SUPPORT. USE TWO NAILS AT PER FASCIA BOARD AT EACH RAFTER.
 - #014, TRUSS PACKAGE INCLUDES ALL REQUIRED BLOCKING AND PERMANENT BRACING TO BE SUPPLIED BY TRUSS MANUFACTURER.
 - ALL TEMPORARY BRACING AND SHORING TO BE SUPPLIED BY OTHERS.
 - WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.

ROOF DESIGN LOADS:

GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	16 PSF
TOTAL LOAD	56 PSF

STRUCTURAL CONNECTION

PART#	MNF PART#	MNF	QTY
780-CJT4L	CJT4Z	SIMPSON STRONG TIE	4
780-CJT5S	CJT5Z	SIMPSON STRONG TIE	1
780-510	HUC5.31/9)	SIMPSON STRONG TIE	1
???	HUC210-4	SIMPSON STRONG TIE	10
780-412	HUC412	SIMPSON STRONG TIE	32
780-272	IUS1.81/11.88	SIMPSON STRONG TIE	427
780-209	LUS28	SIMPSON STRONG TIE	30

ROOF BEAM SCHEDULE

PART #	DIMENSIONS	MATERIAL	DESIGN LENGTH	
			CUT	PRE-CUT
BEAM				
QQ-6	5 1/8" x 9"	DOUG-FIR #2	5' - 3 1/4"	6' - 0"
QQ-19	5 1/8" x 9"	DOUG-FIR #2	18' - 4"	19' - 0"
QQ-6	5 1/8" x 9"	DOUG-FIR #2	5' - 3 1/4"	6' - 0"
ROOF BEAM				
532-4	3 1/2" x 9 1/2"	LSL	3' - 5"	4' - 0"

NO.	DESCRIPTION	ISSUED BY	DATE
1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/16/2023

ISSUANCES

WARRANTY NUMBER

42255

SERIES



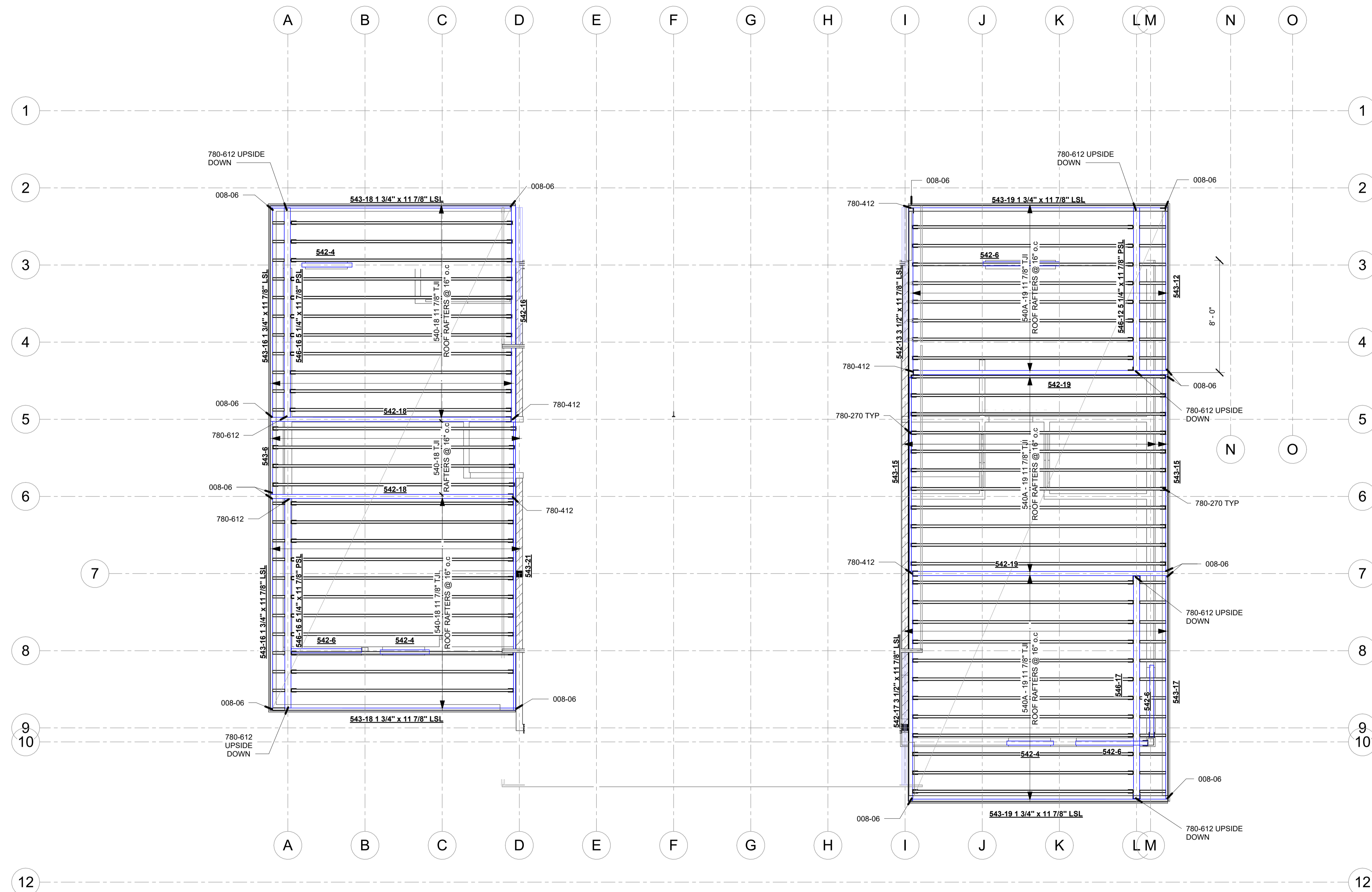
MODEL

ELEMENT CUSTOM HOME

LOWER ROOF FRAMING

Scale: 1/4" = 1'-0"

MT05

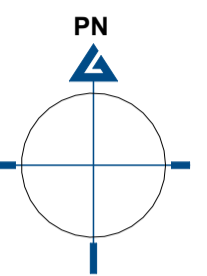


ROOF FRAMING NOTES

- SCALE: 1/4"=1'-0"
- VERIFY ACTUAL BEAM DIMENSIONS PRIOR TO CUTTING POSTS.
 - TYPICAL ROOF RAFTERS ARE
 - #540A, 11.7/8" TJ (110 SERIES) at 24" o.c., UNLESS NOTED OTHERWISE.
 - ARE #481, 2x12 RAFTERS at 24" o.c., UNLESS NOTED OTHERWISE.
 - ROOF SHEATHING IS
 - #700, 1/2" PLYWOOD with 8d GALV. BOX NAILS at 6" o.c. at EDGES and 12" o.c. at INTERMEDIATE SUPPORTS. USE #739-1/2 "H" CLIPS AT UNSUPPORTED EDGES. RUN PLYWOOD LONG DIRECTION PERPENDICULAR TO ROOF RAFTERS.
 - #700-OSB, 15/32" OSB SHEATHING with 8d GALV. BOX NAILS at 6" o.c. at EDGES and 12" o.c. at INTERMEDIATE SUPPORTS. USE #739-15/32 "H" CLIPS AT UNSUPPORTED EDGES. RUN SHEATHING LONG DIRECTION PERPENDICULAR TO ROOF RAFTERS.
 - ATTACH FASCIA W/ #770, 6d GALV. (BROWN) SIDING NAILS AT EACH RAFTER OR BLOCKING SUPPORT. USE TWO NAILS AT PER FASCIA BOARD AT EACH RAFTER.
 - #014, TRUSS PACKAGE INCLUDES ALL REQUIRED BLOCKING AND PERMANENT BRACING TO BE SUPPLIED BY TRUSS MANUFACTURER.
 - ALL TEMPORARY BRACING AND SHORING TO BE SUPPLIED BY OTHERS.
 - WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.



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PROJECT NORTH

LINDAL DEALER

WARM MODERN LIVING

CLIENT

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY
MERCER ISLAND WA 98040

NO.	DESCRIPTION	ISSUED BY	DATE
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SERIES



MODEL

ELEMENT CUSTOM HOME

UPPER ROOF FRAMING

Scale: 1/4" = 1'-0"

MT05.1

