

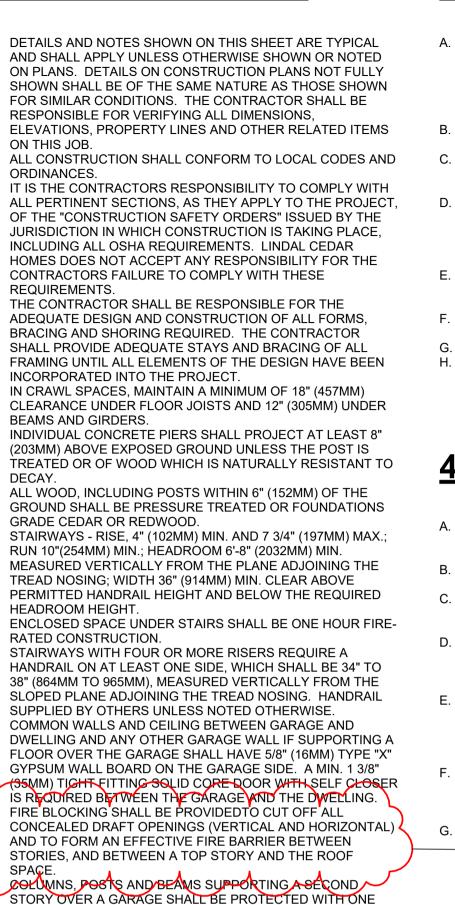
CH D 24" x 36" LAST PLC

		AUTHORIZATION TO SH	P	CONSTRUCTION D
/A 98040		WE HAVE REVIEWED AND APPROVED THE DEISGN OF FLOO ELEVATIONS AND BUILDING CROSS SECTIONS OF THE FINA PLANS DATED FOR OUR HOME PACKAGE, WARRA WE HEREBY, AUTHORIZE YOU TO PREPARE A PACKAGE AS EARLY AS THE WEEK ENDING WE UN THAT YOU WILL CONFIRM THE ACTUAL LOAD DATE IN WRIT THROUGH OUR DEALER. THIS IS IN ACCORDANCE WITH THE CONDITIONS OF OUR PURCHASE AND SALE AGREEMENT D	L PERMIT NTY NUMBER, AND SHIP OUR IDERSTAND ING E TERMS AND	PERMIT PLAN NOT FOR CONSTRU 1. BUILDER SHALL CHECK AND VERIFY ALL I 2. BUILDER MUST REVIEW AND UNDERSTAN
				DETAILS PRIOR TO PACKAGE SHIPMENT, RESOLUTION OF ANY QUESTIONS.
		ADDITIONALLY, WE UNDERTSTAND THAT: 1. CHANGES RECEIVED AFTER THIS DOCUMENT (AMENDMENTS) WILL RESULT IN ADDITIONAL CHARGES AND/OR DELAY THE REQUESTED SHIP	INITIAL	 IF REQUIRED, ADDITIONAL DETAILS CAN I ANY AREAS RELATED TO THE CONSTRUCT MATERALS.
		WEEK. 2. WE REVIEWED THE FINAL PERMIT PLANS AND DESIGN	INITIAL	 IF A PROBLEM ARISES WITHIN THE DRAW MATERIALS AFTER THE START OF CONST LINDAL DEALER IMMEDIATELY SO THAT W THE SOLUTION TO THE PROBLEM.
		SPECIFICATION SHEETS (DSS) AND UNDERSTAND WHAT MATERIALS ARE PROVIDED BY LINDAL AND WHAT MATERIALS (EVEN IF SHOWN ON PLANS) ARE INCLUDED.		 5. LINDAL CEDAR HOMES WILL NOT ASSUME FIELD CORRECTIONS IF YOU DO NOT FOL
		3. BUILDING PERMITS AND RELATED AUTHORIZATIONS HAVE BEEN OBTAINED, OR WILL BE OBTAINED IN TIME TO NOT CAUSE A DELAY OF SHIPMENT.	INITIAL	6. DEPTH OF FOUNDATION BELOW GRADE A TO CONFORM WITH LOCAL CODES AND R NUMBER AND LOCATION OF FOUNDATION CRAWL SPACE IS TO BE DETERMINED BY
		 PAYMENT: THE BALANCE DUE ON THE LINDAL MATERIAL PACKAGE AS DRAWN ON THE FINAL PERMIT PLANS IS DUE IN FULL WITH THE CLIENTS' SIGNATURE(S) OF ATS IN THE FORM OF EITHER: A CHECK PAYABLE TO LINDAL CEDAR HOMES INC. ATTACHED TO THE SIGNED ATS OR A WIRE RECIVED BY LINDAL CEDAR HOMES INC. WITHIN 5 DAYS OF THE DATE ON THE CLIENTS ATS FORM (PER THE COMPANY'S WIRING INSTRUCTIONS) 	INITIAL	
		5. WE ARE TO NOTIFY THE INDEPENDENT LINDAL DISTRIBUTOR AND/OR THE LINDAL DISTRIBUTION OFFICE IMMEDIATELY (206-725-0900 EXT. 275) IF THE SHIP DATE REQUESTED IS NOT CONSISTENT WITH LATE BREAKING DEVELOPMENTS.		
		 6. WE UNDERSTAND THAT THIS AUTHORIZATION GIVES THE MANUFACTURER PERMISSION TO BEGIN THE PRODUCTION PROCESS AND ACQUIRE THE MATERIALS NECESSARY TO MANUFACTURE OUR HOME BASED ON OUR APPROVED FINAL PERMIT PLANS, AND THAT SOME ITEMS MAY BE SPECIAL ORDER AND THEREFORE NON REFUNDABLE. 		
		FOR ITEMS SHIPPED ASIDE FROM HOME DELIVERY: U.P.S JOBSITE DELIVERY ADDRESS (INCLUDE MAP IF POSS JOBSITE ADDRESS IS UNAVAILABLE, PLEASE PROVIDE ALTI ADDRESS TO BE USED FOR THE DELIVERY OF MATERIALS (DEALER, ETC)	ERNÁŤE (BUILDER,	
			ATE:	
		BUILDER NAME:		
		ADDRESS:		
		PHONE: EMAIL:		
OPE OF WORK:	NEW CONSTRUCTION	DESIGN CRITERIA:	2 STORY	GENERAL NOTES:
RUCTION TYPE	V-B	GROUND SNOW LOAD	40 PSF	1. ALL MATERIALS ORDERED FROM LINE
ANCY CLASSIFICATION ND TWO FAMILY DWELLING	R-3	ROOF DEAD LOAD 1ST FLOOR LIVE LOAD	16 PSF 40 PSF	2. THESE PLANS MAY CONTAIN PART NU REFERENCES TO MATERIALS THAT M
JARE FOOTAGE		1ST FLOOR DEAD LOAD 2ND FLOOR LIVE LOAD 2ND FLOOR DEAD LOAD	12 PSF 40 PSF	 THIS HOME PACKAGE. THE DSS OVERRIDES THE PLANS IN D MATERIALS ARE PROVIDED BY LCH.
PTION OF AREA	AREA IN ft2 1905 SF	2ND FLOOR DEAD LOAD DECK LIVE LOAD DECK DEAD LOAD	12 PSF 60 PSF 10 PSF	 4. FRAMING NAILS ARE PROVIDED BT LCH. 4. FRAMING NAILS ARE NOT INCLUDED I UNLESS PRIOR ARRANGEMENTS HAV AUTHORIZATION TO SHIP HAS BEEN OF
LOOR	1760 SF 179 SF	BASIC WIND SPEED (FASTEST MILE) EXPOSURE CATEGORY	98 MPH	5. NAIL CALLOUTS AND PART NUMBERS ONLY.
ENT STAIRS ED PATIO ION	342 SF 48 SF 4235 SF	SEISMIC ZONE	D 8A	ANY DISCREPANCIES BETWEEN THE A DRAWINGS AND THE STRUCTURAL DE ENGINEERING CONTRACTOR, IN REG
ENT / GARAGE	4235 SF 990 SF	SITE ELEVATION	>5000 FT.	ELEMENTS, THE STRUCTURAL DRAW
OOM OR PATIO	117 SF 618 SF			
DITION AREA: 8	1725 SF 5960 SF			
RUCTURAL ENGINE		CODE INFORMATION ALL CONSTRUCTION SHALL COMPLY WITH:		PERMIT DEFERRED SU
SS: 1511 3RD AVE, SUITE 32	3	2018 IRC		MECHANICAL
SEATTLE, WA 98101 : 206-957-3907		2018 CODE FOR ONE AND TWO FAMILY DWELLINGS STATE BUILDING CODE INTERNATIONAL ENERGY CODE		PLUMBING CIVIL LANDSCAPING
skodama@quatumce.com		ALL SUBSEQUENT AMENDMENTS		ELECTRICAL

DOCUMENT	SHEET # SHEET NAME REV	. # REVISION DATE	& Lindal
	00 - GENERAL G000 COVER SHEET 1		
	G001 GENERAL NOTES 1	11/27/2023	CEDAR HOMES
RUCTION	G002CONSTRUCTION ASSEMBLIES1G003BUILDING CODE NOTES1	11/27/2023 11/27/2023	
LL DIMENSIONS AND DETAILS.	G004AREA PLANS1G005AVERAGE BUILDING HEIGHT1	11/27/2023 11/27/2023	
	G006SURVEY PLAN101 - ARCHITECTURAL		2022 COPYRIGHT
NT, TO ALLOW FOR	101 C1 CIVIL COVERSHEET & T.E.S.C. PLAN 1	11/27/2023	LINDAL CEDAR HOMES
AN BE PREPARED TO CLARIFY	101 C2T.E.S.C. NOTES & DETAILS1101 C3STORM DRAINAGE PLAN1	11/27/2023 11/27/2023	THE LINDAL DESIGN IN THESE DRAWINGS IS THE EXCLUSIVE PROPERTY OF LINDAL CEDAR HOMES, INC. BY COPYRIGHT LAW THESE DRAWINGS ARE NOT TO BE REPRODUCED, NOR IS THE INFORMATION
RUCTION OF THE PACKAGE	101 C4 STORM DRAINAGE PROFILE 1	11/27/2023	CONTAINED TO BE USED FOR ANY PURPOSE OTHER THAN THE PURCHASE AND CONSTRUCTION OF A LINDAL CEDAR HOME.
AWINGS OR PACKAGE	101 C5 NOTES & DETAILS 1 101 C6 NOTES & DETAILS 2 1	11/27/2023	
NSTRUCTION, CONTACT YOUR	101 C7 TREE RETENTION PLAN 1 A4 OULD O SHORING GENERAL NOTES & 4	11/27/2023	PN
	A1 SH1.0 DETAILS	11/27/2023	
UME RESPONSIBILITY FOR FOLLOW THIS PROCEDURE.	A1 SH2.0SHORING & EXCAVATION PLAN1A1 SH2.1PILE SCHEDULE1	11/27/2023	
DE AND FOOTING DIMENSIONS	A1 SH3.0 TIEBACK PILE 1 A101 BASEMENT 1	11/27/2023 11/27/2023	
ID REGULATIONS. SIZE, FION VENTS AND ACCESS TO	A102 FIRST FLOOR PLAN 1	11/27/2023	T
BY CONTRACTOR OR OWNER.	A103SECOND FLOOR PLAN1A104ROOF PLAN1	11/27/2023 11/27/2023	
	A106BASEMENT FLOOR ELECTRICAL1A107FIRST FLOOR ELECTRICAL1		PROJECT NORTH
	A108 SECOND FLOOR ELECTRICAL 1	11/27/2023	LINDAL DEALER
	A200NORTH ELEVATION1A201WEST ELEVATION1	11/27/2023 11/27/2023	WARM MODERN LIVING
	A202 SOUTH ELEVATION 1	11/27/2023	
	A203EAST ELEVATION1A300BUILDING SECTION 11	11/27/2023 11/27/2023	
	A301 BUILDING SECTION 2 1	11/27/2023	<u>CLIENT</u>
	A302BUILDING SECTION ENLARGE1A303.1BUILDING SECTION 3-A1	11/27/2023	HOANG INTRACHAT RESIDENCE
	A303.2 BUILDING SECTION 3-B 1 A305 BUILDING SECTION ENLARGE 2 1	11/27/2023 11/27/2023	
	A306.1 BUILDING SECTION 4A 1	11/27/2023	PROJECT ADDRESS
	A306.2 BUILDING SECTION 4B 1 DETAILS - POST & BEAM		7929 EAST MERCER WAY
	A500 CONNECTIONS 1	11/27/2023	MERCER ISLAND WA 98040
	A501DETAILS - WALL1A502DETAILS - ROOF1	11/27/2023	
	A503 DETAILS - STAIRS, DECKS & RAILINGS 1 A503.2 DETAILS - DECKS 1		
	A504 DETAILS - DOORS 1	11/27/2023	
	A505 DETAILS - WINDOWS 1 A505 1 DETAILS - WINDOWS AND DOOR 1	11/27/2023	
	A505.1 FLASHING 1 A600 SCHEDULES - DOORS 1		
	A601 SCHEDULES - WINDOWS 1		
	02 - STRUCTURAL S1.0 GENERAL STRUCTURAL NOTES		
	S1.1 GENERAL STRUCTURAL NOTES 1		
	S2.0AFOUNDATION BASEMENT PLAN1S2.0BPIN PILE PLAN1	11/27/2023 11/27/2023	
	S2.1FIRST FLOOR FRAMING PLAN1S2.2SECOND FLOOR FRAMING PLAN1	11/27/2023 11/27/2023	
	S2.2SECOND FLOOR FRAMING PLAN1S2.3ROOF FRAMING PLAN1	11/27/2023	
	S3.0FOUNDATION DETAILS1S3.1FOUNDATION DETAILS1	11/27/2023 11/27/2023	
	S4.0 WOOD DETAILS 1	11/27/2023	
	S4.1WOOD DETAILS1S4.2FLOOR DETAILS1	11/27/2023 11/27/2023	
	S4.3 DECK DETAILS 1	11/27/2023	
	S4.4ROOF DETAILS1S4.5DETAILS1	11/27/2023 11/27/2023	
	S5.0WOOD / STEEL DETAILS103 - MATERIAL TAKE OFF	11/27/2023	
	MT00 OVERLAY - BASEMENT 1		
	MT01OVERLAY - FIRST FLOOR PLAN1MT02OVERLAY - SECOND FLOOR PLAN1	11/27/2023 11/27/2023	
	MT03 FIRST FLOOR FRAMING 1 MT04 SECOND FLOOR FRAMING 1		
	MT04 SECOND FLOOR FRAMING 1 MT05 LOWER ROOF FRAMING 1	11/27/2023 11/27/2023	
	MT05.1 UPPER ROOF FRAMING 1	11/27/2023	$\frown \frown $
		Ć	
		}	1 CITY COMMENT ES 11/27/2023 ISSUED FOR CD ES 10/19/2023 ISSUED FOR DD ES 8/31/2023
		ς	REVISION DD ES 7/18/2023 NO. DESCRIPTION ISSUED BY DATE
		ــــــــــــــــــــــــــــــــــــــ	
			WARRANTY NUMBER
	CITY STAMP		
INDAL CEDAR HOMES (LCH)			42255
ECIFICATION SHEET (DSS). I NUMBERS AND/OR			
T MAY NOT BE INCLUDED IN			
IN DETERMINING WHAT H			SERIES
TI. ED IN THE LINDAL PACKAGE HAVE BEEN MADE BEFORE			LINDAL IMAGINE SERIES
EN GIVEN.			
HE ARCHITECTURAL (LINDAL) L DRAWINGS BY AN			
EGARDS TO THE STRUCTURAL AWINGS WILL SUPERSEDE.			
			MODEL
			ELEMENT CUSTOM HOME
UBMITTAL			COVER SHEET
			G000

- GENERAL NOTES:

D.



- STORY OVER A GARAGE SHALL BE PROTECTED WITH ONE HOUR FIRE-RATED CONSTRUCTION. APPLIANCES INSTALLED IN GARAGE WHICH GENERATE A SPARK, GLOW OR FLAME SHALL BE LOCATED 18" (457MM) ABOVE THE FLOOR.
- BATH AND LAUNDRY ROOMS REQUIRE OPERABLE WINDOWS EQUAL TO 1/20TH OF THE FLOOR AREA WITH A MIN. 1.5 SF (0.14 SM) OR MECHANICAL VENTILATION.
- TEMPERED GLASS SHALL BE PROVIDED AT ALL HAZARDOUS LOCATIONS.
- RECEPTACLE OUTLETS SHALL BE INSTALLED 6'-0" (1829MM) Q. FROM CORNERS, 12'-0" (3658MM) O.C. MAX. AND ON ANY WALL 24" (610MM) OR WIDER. IN KITCHEN AND DINING AREAS, COUNTERS WIDER THAN 12" (305MM) REQUIRE A RECEPTACLE OUTLET.
- ALL RECEPTACLE OUTLETS INSTALLED OUTDOORS SHALL BE IN A WEATHERPROOF ENCLOSURE AND HAVE APPROVED GROUND FAULT INTERRUPTER CIRCUIT (GFI) PROTECTION. ONE SUCH EXTERIOR OUTLET IS REQUIRED.
- PROVIDE GFI PROTECTION FOR RECEPTACLES IN BATHROOMS AND GARAGES. GFI PROTECTION IS ALSO REQUIRED FOR NON DEDICATED COUNTER RECEPTACLES WITHIN 6'-0" (1829MM) OF THE KITCHEN SINK.

2 - LUMBER:

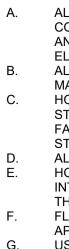
- 2X FRAMING LUMBER IS KD #2 OR BETTER SPF (SPRUCE,
- PINE, FIR). 4X FRAMING LUMBER IS #2 OR BETTER DF (DOUGLAS FIR). FLOOR SHEATHING OPTIONS (SEE PLANS FOR TYPE): С.
 - 1) 3/4" (19MM) T&G, O.S.B. APA RATED STURD-I-FLOOR UNDERLAYMENT GRADE SHEATHING.
 - 2) 23/32" (18MM) T&G. O.S.B. APA RATED STURD-FLOOR UNDERLAYMENT GRADE SHEATHING. 3) SELECT GRADE SPF 2X6 DOUBLE T&G DECKIN WITH
 - 1/2" (13MM) CCX PLYWOOD UNDERLAYMENT, APA INDEX 24/0.
- WALL SHEATHING OPTIONS (SEE PLANS FOR TYPE): 1) 1/2" (13MM) CDX PLYWOOD, APA INDEX 32/16
- 2) 15/32" (12MM) O.S.B., APA INDEX 32/16. ROOF SHEATHING OPTIONS (SEE PLANS FOR TYPE):
- 1) 1/2" (13MM) CDX PLYWOOD, APA INDEX 32/16 2) 15/32" (12MM) O.S.B., APA INDEX 32/16. 3) 5/8" (16MM) CDX PLYWOOD, INDEX 40/20.
- 4) 3/4" (19MM) CDX PLYWOOD, INDEX 48/24. SIDING OPTIONS (SEE PLANS FOR TYPE): 1) KD 1X6 T&G, TK CEDAR, VERTICAL SIDING
- 2) KD 1X8, TK CEDAR, ROUGH SAWN, HORIZONTAL BEVEL SIDING
- 3) EMBOSSED COMPOSITE, HORIZONTAL LAP SIDING 4) KD 1X8 T&G, TK CEDAR, HORIZONTAL SIDING 5) KD 1X8 T&G, TK CEDAR, LOG LOOK HORIZONTAL SIDING
- ROOF AND LOFT FLOOR BEAMS ARE DF/WESTERN LARCH HORIZONTAL GLUE LAMINATED. COMBINATION SYMBOL 24F-V8 (FB=2400). BEAM SCHEDULE PER PLAN WITH STANDARD DEAD LOAD CAMBER.
- BUILT-UP BEAMS ARE KD #2 OR BETTER SPF. SCHEDULE PER PLAN. #419 = 2X10, #481 = 2X12. EXTERIOR DECK FRAMING IS #2 OR BETTER CEDAR FOR 2X8, LARGER SIZES ARE BROWNTONE (PRESSURE TREATED) #2 OR BETTER HEM/FIR
- CONCEALED POSTS ARE ENGINEERED WOOD, SPF #2 EXPOSED POSTS ARE DF GLUE LAMINATED, COMBINATION SYMBOL #2.
- SPECIFICATIONS SHOWN MAY VARY DUE TO AVAILABILITY OR OPTIONS PURCHASED. PLANS TAKE PRECEDENCE. EQUIVALENT OR HIGHER SPECIFICATIONS MAY BE SUBSTITUTED AS NECESSARY.

3 - CONCRETE:

- CONCRETE SHALL ATTAIN A 28 DAY STRESS OF FC-2000 PSI (13793 KN/SM) MIN. MIX SHALL CONTAIN NOT LESS THAN 5 SACKS CEMENT PER CUBIC YARD AND NOT MORE THAN 7 1/2 GAL. (28.4 LT) OF WATER PER SACK OF CEMENT. MAX. SLUMP SHALL BE 4" (102MM), AGGREGATE SIZE SHALL BE COMPATIBLE WITH POURING, PLACING AND FINISHING CONDITIONS. ALL CONCRETE SHALL CONFORM WITH REQUIREMENTS OF THE
- LATEST EDITION OF THE ACI CODE. REMOVE ALL DEBRIS FROM FORMS BEFORE POURING CONCRETE. NO WOOD SPREADERS OR WOOD STAKES SHALL BE USED IN AREAS TO BE CONCRETED.
- CONSTRUCTION JOINTS SHALL BE MADE ROUGH AND ALL LAITANCE REMOVED FROM SURFACE. CONCRETE MAY BE ROUGHENED BY CHIPPING THE ENTIRE SURFACE, SAND BLASTING OR HOSING THE ENTIRE SURFACE 4 TO 6 HOURS AFTER THE POUR WITH A FINE WATER SPRAY
- CONCRETE WALLS, PIERS OR COLUMNS SHALL SET AT LEAST 2 DAYS BEFORE PLACING BEAMS, SPANDRELS OR SLABS SUPPORTED THEREON.
- ALL FRAMEWORK SHALL REMAIN IN PLACE FOR THE PERIODS OF TIME SPECIFIED IN THE ACI CODE AS A MIN. ALL CONCRETE SHALL BE CURED BY AN APPROVED METHOD.
- FOLLOW ALL ACI RECOMMENDATIONS FOR PLACING AND н CURING CONCRETE DURING HOT OR COLD WEATHER CONDITIONS.

4 - BUILDER TIPS:

- PLYWOOD AND OSB SHOULD BE INSTALLED WITH 1/8" (3MM) SPACING AT ALL END AND EDGE JOINTS UNLESS OTHERWISE
- INDICATED BY PANEL MANUFACTURER. ALWAYS STAGGER END JOINTS WHEN INSTALLING PLYWOOD OR OSB PANELS.
- PROVIDE ADEQUATE VENTILATION AND USE GROUND CONTROL VAPOR RETARDER IN CRAWL SPACE, PANELS MUST BE DRY BEFORE INSTALLING FINISHED FLOOR.
- WHEN USING A GLUED FLOOR SYSTEM, SPREAD ENOUGH GLUE TO LAY ONLY 1 OR 2 PANELS AT A TIME. TO INSURE THE PANELS WILL BE FIRMLY AND PERMANENTLY SECURED TO JOISTS, WIPE AWAY WATER, DUST AND DEBRIS BEFORE APPLYING GLUE.
- APPLY GLUE (ABOUT 1/4" (6MM) DIAMETER BEAD) TO FRAMING MEMBERS IN A CONTINUOUS LINE, OR IN A SERPENTINE PATTERN IN WIDE AREAS. BE CERTAIN TO GLUE ALL T&G JOINTS. SPREAD GLUE IN JOINTS. AVOID SQUEEZE-OUT BY APPLYING A THINNER LINE (ABOUT 1/8" (3MM)) ON JOISTS.
- COMPLETE ALL NAILING OF EACH PANEL BEFORE THE GLUE SETS OR SKINS OVER. CHECK GLUE MANUFACTURERS RECOMMENDATIONS FOR ALLOWABLE TIME. REMEMBER, WARM WEATHER ACCELERATES GLUE SETTING.
- CATHEDRAL CEILINGS CAN BE PRONE TO MOISTURE PROBLEMS IF NOT CONSTRUCTED PROPERLY. DURING CONSTRUCTION. A VAPOR RETARDER MUST BE APPLIED TO THE WARM-IN-WINTER SIDE OF THE INSULATION. PROPER INSTALLATION OF THE
- INSULATION LEAVES A 2" (51MM) AIRSPACE BETWEEN THE INSULATION AND THE ROOF DECK FOR VENTILATION. TO BE OF VALUE, THIS AIRSPACE MUST HAVE VENT OPENINGS AT BOTH THE RIDGE AND THE EAVES CATHEDRAL CEILING INSULATION BATTS FIT SNUGLY BETWEEN
- THE CEILING RAFTERS. CARE MUST BE TAKEN WHEN INSTALLING SO THE BATTS REMAIN FLUSH WITH THE LOWER FACE OF THE RAFTERS TO MAINTAIN A PROPER 2" (51MM) AIRSPACE.
- CEDAR SIDING MUST BE ALLOWED TO ACCLIMATE TO ITS ENVIRONMENTAL SURROUNDINGS BEFORE INSTALLING. SEE PRODUCT END CAPS FOR INSTRUCTIONS. WITH CAREFUL PLANNING, JOINTS IN THE SIDING CAN BE MINIMIZED. WHERE JOINTS OCCUR, CUT A 30 DEGREE SCARF
- JOINT ALL CEDAR SIDING SHOULD BE BACK COATED AND ALL END GRAIN SHOULD BE THOROUGHLY COATED WITH FINISH.
- ALL WOOD WINDOWS MUST RECEIVE A THOROUGH COAT OF L. FINISH BEFORE INSTALLATION.



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5.	WH CO
6. 7.	AT AT

C. D

5 - ACQ FASTENER REQUIREMENTS:

ALL TREATED LUMBER INCLUDED IN YOUR HOME IS TREATED WITH ACQ (ALKALINE, COPPER, QUAT), ACQ IS A CORROSIVE MATERIAL AND THEREFORE THE TYPE AND QUALITY OF CONNECTORS, FASTENERS, WASHERS, FLASHING AND OTHER METALS THAT COME INTO CONTACT WITH THE TREATED LUMBER IS VERY IMPORTANT. TO PREVENT ELECTROLYSIS, ALWAYS MATCH METAL COMPONENTS WITH FASTENERS THAT ARE COMPATIBLE. ALL CONNECTORS THAT COME INTO CONTACT WITH TREATED MATERIALS ARE TO BE SIMPSON STRONG-TIE G185 Z-

MAX, HDG (HOT DIP GALVANIZED) OR SST300 (STAINLESS STEEL) OR EQUIVALENT. HOT DIPPED GALVANIZED FASTENERS ARE TO BE USED WITH G185 Z-MAX AND HDG CONNECTORS AND STAINLESS STEEL FASTENERS ARE TO BE USED WITH SST300 STAINLESS STEEL CONNECTORS. DO NOT USE STAINLESS STEEL FASTENERS WITH G185 Z-MAX OR HDG CONNECTORS. LIKEWISE, DO NOT USE HOT DIPPED FASTENERS WITH SST300 STAINLESS STEEL CONNECTORS.

ALL ANCHOR BOLTS, WASHERS AND NUTS ARE TO BE HOT DIPPED GALVANIZED. HOT DIPPED GALVANIZED OR STAINLESS STEEL NAILS OR STAPLES MUST BE USED WHEN FASTENING THE SHEATHING INTO THE TREATED MUD SILL. MECHANICALLY GALVANIZED OR ELECTROPLATED GUN NAILS ARE NOT APPROPRIATE IN THIS SITUATION

FLASHING THAT COMES INTO CONTACT WITH TREATED MATERIALS MUST BE COPPER OR STAINLESS STEEL. USE THE APPROPRIATE FASTENERS FOR THE FLASHING MATERIAL CHOSEN. USE HOT DIPPED GALVANIZED OR STAINLESS STEEL FASTENERS WHEN FASTENING DECKING TO TREATED MATERIAL

<u>6 - FLASHING:</u>

APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENETS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT

RAINAGE. THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH ROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS. IDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.

ONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM. HERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME NSTRUCTION

WALL AND ROOF INTERSECTIONS. BUILT-IN GUTTERS.

7 - WINDOWS:

DIMENSIONS ARE ACTUAL OUTSIDE UNIT DIMENSIONS

- ROUGH OPENING ALLOWS FOR 1/2" GAP AT EACH SIDE OF WINDOW SHIM BOTH SIDES AND BOTTOM. DO NOT SHIM TOP OF WINDOW.
- NAIL FLANGE ON BOTH SIDES AND BOTTOM. DO NOT NAIL FLANGE ON TOP OF WINDOW. A PERIODIC APPLICATION OF A SILICON SPRAY IS REQUIRED FOR ALL MOVING PARTS AND VINYL FOR WEATHER
- PROTECTION. A WOODLIFE PRESERVATIVE OR STAIN IS TO BE APPLIED TO WOOD WINDOWS PRIOR TO INSTALLATION
- ALL WINDOWS AS VIEWED FROM EXTERIOR.

WINDOWS LABELED "EGRESS" MEET I.R.C. EGRESS REQUIREMENTS FOR WINDOW R.F.O. HEIGHT SEE SCHEDULE.

NOTCH SIDING SO FLASHING ABOVE WINDOWS CAN EXTEND A MIN. OF 1/2" BEYOND FRAME EDGES. WINDOWS COME WITH FOAM SEALER (754-A), CAULKING (754-U) AND WINDOW FLASHING (SEE DETAILS).

8 - ABBREVIATIONS:

ABV

AVB

ALUM

BO

ΒU

DF

DTP

EQ

FO

FD

FIN

FLR

FRR

GLB

GALV

HGL

ID

KD

LCH

LSL

LVL

NIC

NTS

O.C.

C/W

CONC

ABOVE AIR / VAPOUR BARRIER ALUMINUM BY OTHERS BUILD UP COMPLETE WITH CONCRETE DOUGLAS FIR DOUBLE TOP PLATE
EQUAL
FACE OF
FLOOR DRAIN
FINISH
FLOOR
FIRE RESISTANCE RATING
GLUE LAMINATED BEAM
GALVANIZED
HORIZONTAL GLUE LAMINATED
IDENTIFICATION
LINDAL CEDAR HOMES
LAMINATED STRAND LUMBER (
LAMINATED VENEER LUMBER (NOT IN CONTRACT
NOT TO SCALE

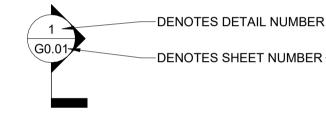
<u>9 - LCH STANDARD MARKS & SYMBOLS:</u>

EXTERIOR ELEVATION

ON CENTER



BUILDING SECTION



LEVEL DATUM



STANDARDS TAGS

D#	— DOOR TAG
W# -	WINDOW TAG
<u>_1</u>	
(w1)	
P1	
F####	
R####	-ROOF TAG
C####	
F-XXX #	EXTERIOR MATERIAL FINISH
XXX##.#	
X.X##.#	

(TIMBER STRAND (MICROLLAM)

OS

OSB

PET

PSL

QTY

RC

RD

RO

RM

SPF SIM

SPEC

STOR

T&G

TJI T/O

TYP

UNO U/S

VB

W/

W/O

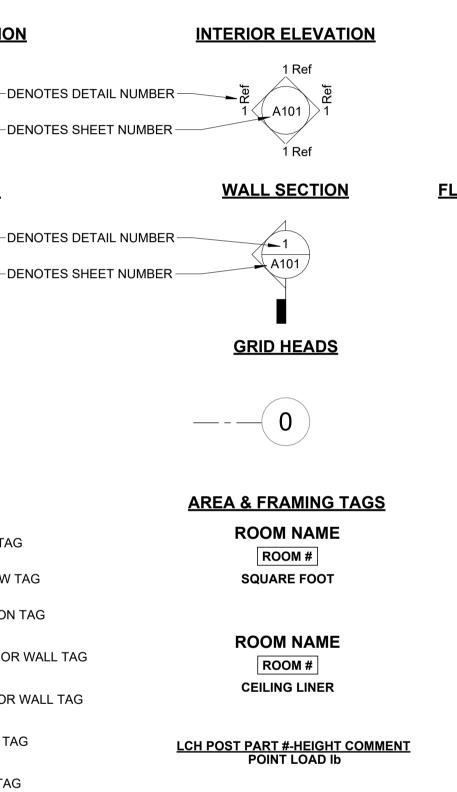
WD

REQ'D

PΤ

PA

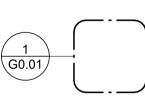
OUTSIDE ORIENTED STRAND BOARD POST ABOVE PRECISION END TRIM PARALLEL STRAND LUMBER (PARALLAM) PRESSURE TREATED QUANTITY RECUT ROOF DRAIN ROUGH OPENING REQUIRED ROOM SPRUCE, PINE, FIR SIMII AR SPECIFICATION STORAGE TONGUE AND GROOVE TRUSS JOIST INTERNATIONAL TOP OF TYPICAL UNLESS NOTED OTHERWISE UNDERSIDE OF VAPOUR BARRIER WITH WITHOUT WOOD



EXAMPLE OF STRUCTURAL MEMBER TAG: (2)-419-8, MEANING: (# OF PLY)-LCH PART#-PRE CUT LENGTH

LCH STRUCTURAL CONNECTION PART **#CODE1 COMMENT**

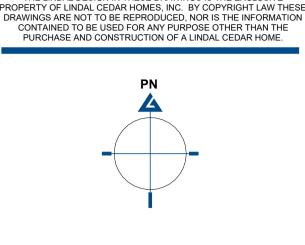
DETAIL CALLOUT



FLOOR / FRAMING / CEILING SYMBOLS

SD SD	SMOKE DEDECTOR
СМ	CARBON MONOXIDE
THD HD	HEAT DETECTOR
	LIGHT FIXTURE
	LIGHT EXHAUST FAN
	EXHAUST FAN
FD	FLOOR DRAIN
	DECK TENSION TIE
Ŧ	CONCEALED CONNECTOR
Ц	JOIST / BEAM HANGER
L	FRAMING ANGLE
Ģ	CENTERLINE
-	SPAN DIRECTION

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THE LINDAL DESIGN IN THESE DRAWINGS IS THE EXCLUSIVE

PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS

7929 EAST MERCER WAY **MERCER ISLAND WA 98040**

ISSUANCES					
NO.	DESCRIPTION	ISSUED BY	DATE		
	REVISION DD	ES	7/18/2023		
	ISSUED FOR DD	ES	8/31/2023		
	ISSUED FOR CD	ES	10/19/2023		
1	CITY COMMENT	ES	11/27/2023		

WARRANTY NUMBER

42255

<u>SERIES</u>



MODEL ELEMENT CUSTOM HOME

GENERAL NOTES

Scale: 1/4" = 1'-0"

G001

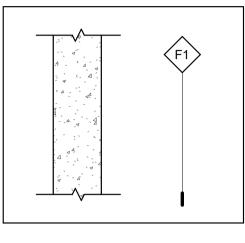
CONSTRUCTION ASSEMBLIES:

WALL SYSTEMS:

GENERAL NOTES FOR ELEMENTS DESIGN HOMES:

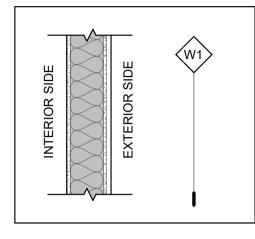
- THE DSS OVERRIDES THE PLANS IN DETERMINING WHAT MATERIALS ARE PROVIDED BY LCH.
 FOR FIRST FLOOR AND GARAGE SPACES, TYPICAL FINISHED FLOOR TO CEILING HEIGHT ARE 9' 6".
- FOR FIRST FLOOR AND GARAGE SPACES, T
 EAVE WALL HEIGHT AT WINGS ARE 9' 6".
- EAVE WALL HEIGHT AT WINGS ARE 9 0.
 EXTERIOR WALL CONSTRUCTION SHALL BE FRAMED WITH 2x6 STUDS @ 16" o.c. PROVIDED WITH DOUBLE TOP PLATE.
- INSULATION ARE PROVIDED BY OTHERS AND DESIGNED PER CLIMATE ZONE.
- SHEATHING WILL BE AS DESCRIBED AS PER WALL ASSEMBLY.
- RAINSCREEN WILL NOT BE PROVIDED UNLESS NOTED OTHERWISE.
 EXTERIOR FINISH AS PER DESIGN SHEET SPECIFICATIONS.
- INTERIOR PARTITIONS SHALL BE FRAMED WITH 2x4 / 2x6 @ 24" o.c. UNLESS NOTED OTHERWISE.

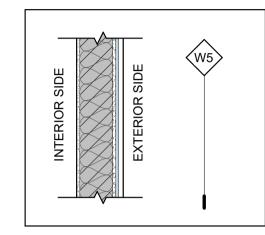
FOUNDATION:



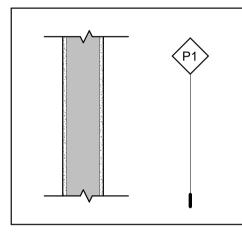


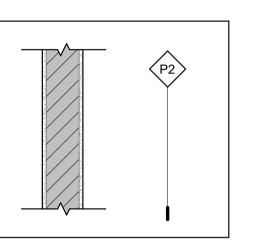
EXTERIOR:

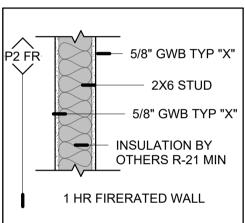


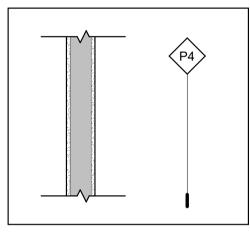


INTERIOR:

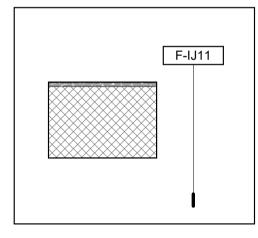


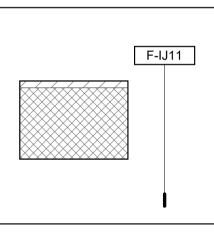




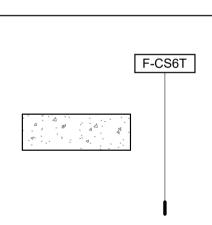


FLOOR SYSTEMS:

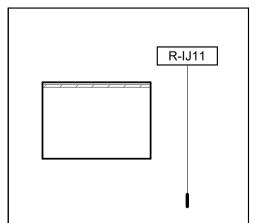


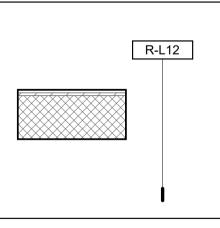


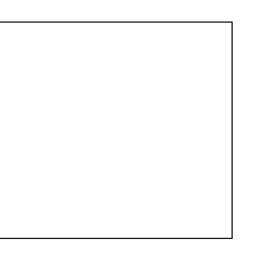
SLAB ON GRADE:

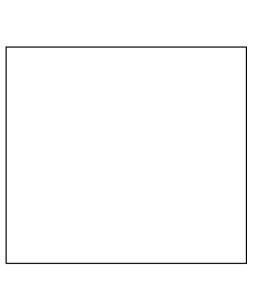


ROOF SYSTEMS:

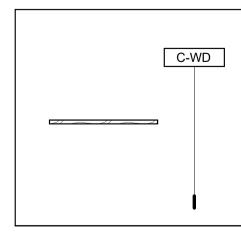


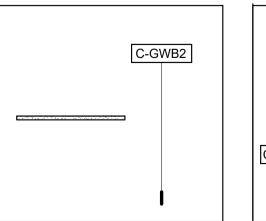


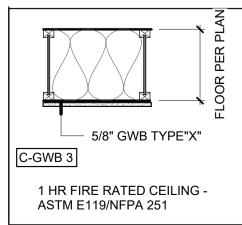




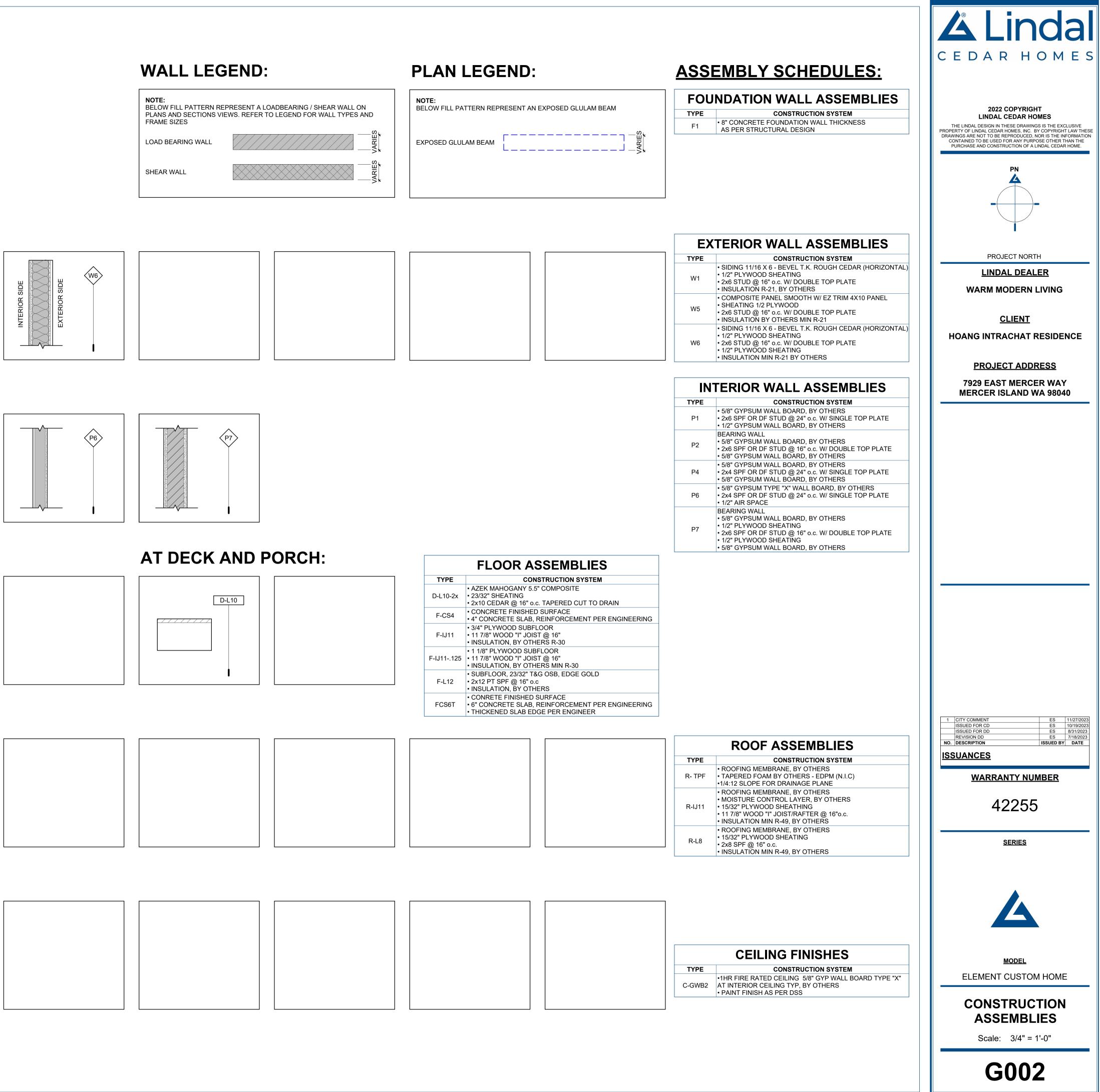
CEILING FINISHES:







H D 24" × 36" LAST PLOT DATE: 11/27/2023 2:28



<u>1 - 2018 IRC - TABLE R602.3(1) FASTENING SCHEDULE:</u>

EXTERIOR WALL OF WOOD-FRAMED CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND FIGURE R602.3(1) AND R602.3(2), OR IN ACCORDANCE WITH AWC NDS.

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a,b,c}	SPACING AND LOCATION
ROOF			
1	BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	4-8d (2 1/2" x 0.113"); or 3-8d COMMON (2 1/2" x 0.113"); or 3-10d BOX (3" x 0.128"); or 3-3" x 0.131" NAILS	TOE NAIL
2	CEILING JOIST TO PLATE	4-8d (2 1/2" x 0.113"); or 3-8d COMMON (2 1/2" x 0.113"); or 3-10d BOX (3" x 0.128"); or 3-3" x 0.131" NAILS	PER JOIST, TOE NAIL
3	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS (SEE SECTION R802.5.2 AND TABLE R802.5.2)	4-10d BOX (3" x 0.128"); or 3-16d COMMON (3 1/2" x 0.162"); or 4-3" x 0.131" NAILS	FACE NAIL
4	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER (HEEL JOINT) (SEE SECTION R802.5.2 AND TABLE R802.5.2)	TABLE R802.5.2	FACE NAIL
5	COLLAR TIE TO RAFTER, FACE NAIL, OR 1 1/4" x 20ga. RIDGE STRAP TO RAFTER	4-10d BOX (3" x 0.128"); or 3-10d COMMON (3" x 0.148"); or 4-3" x 0.131" NAILS	FACE NAIL EACH RAFTER
6	RAFTER OR ROOF TRUSS TO PLATE	3-16d BOX NAILS (3 1/2" x 0.135"); or 3-10d COMMON (3" x 0.148"); or 3-10d BOX (3" x 0.128"); or 4-3" x 0.131" NAILS	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS ¹
_	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM	4-16d (3 1/2" x 0.135"); or 3-10d COMMON (3" x 0.148"); or 3-10d BOX (3" x 0.128"); or 4-3" x 0.131" NAILS	TOE NAIL
7		3-16d BOX(3 1/2" x 0.135"); or 2-16d COMMON (3 1/2" x 0.162"); or 3-10d BOX (3" x 0.128"); or 3-3" x 0.131" NAILS	END NAIL

ТЕМ	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a,b,c}	SPACING AND LOCATION
/ALL			
		16d COMMON (3 1/2" x 0.162")	24" o.c. FACE NAIL
8	STUD TO STUD (NOT AT BRACED WALL PANELS)	10d BOX (3" x 0.128"); OR 3" x 0.131" NAILS	16" o.c. FACE NAIL
9	STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d BOX (3 1/2" x 0.135"); OR 3" x 0.131" NAILS	12" o.c. FACE NAIL
		16d COMMON (3 1/2" x 0.162")	16" o.c. FACE NAIL
10	BUILT-UP HEADER, (2" TO 2" HEADER WITH 1/2" SPACER	16d COMMON (3 1/2" x 0.162")	16" o.c. EACH EDGE FACE NAIL
		16d BOX (3 1/2" x 0.135")	12" o.c. EACH EDGE FACE NAIL
11	CONTINUOUS HEADER TO STUD	5-8d BOX (2 1/2" x 0.113"); or 4-8d COMMON (2 1/2" x 0.131"); or 4-10d" BOX (3" x 0.128")	TOE NAIL
		16d COMMON (3 1/2" x 0.162")	16" o.c. FACE NAIL
12	TOP PLATE TO TOP PLATE	10d BOX (3" x 0.128"); OR 3" x 0.131" NAILS	12" o.c. FACE NAIL
13	DOUBLE TOP PLATE SPLICE	8-16d COMMON (3 1/2" x 0.162"); or 12-16d BOX (3 1/2" x 0.135"); or 12-10d BOX (3" x 0.128"); or 12-3" x 0.131" NAILS	FACE NAILS ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
		16d COMMON (3 1/2" x 0.162")	16" o.c. FACE NAIL
14	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d BOX (3 1/2" x 0.135"); OR 3" x 0.131" NAILS	12" o.c. FACE NAIL
15	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANELS)	3-16d BOX (3 1/2" x 0.135"); or 2-16d COMMON (3 1/2" x 0.162"); or 4-3" x 0.131" NAILS	3 EACH 16" o.c. FACE NAIL 2 EACH 16" o.c. FACE NAIL 4 EACH 16" o.c. FACE NAIL
16	TOP OR BOTTOM PLATE TO STUD	4-8d BOX (2 1/2" x 0.113"); or 3-16d BOX (3 1/2" x 0.135"); or 4-8d COMMON (2 1/2" x 0.131"); or 4-10d BOX (3" x 0.128); or 4-3" x 0.131" NAILS	TOE NAIL
		3-16d BOX(3 1/2" x 0.135"); or 2-16d COMMON (3 1/2" x 0.162"); or 3-10d BOX (3" x 0.128"); or 3-3" x 0.131" NAILS	END NAIL
17	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	3-10d BOX (3" x 0.128"); or 2-16d COMMON (3 1/2" x 0.162"); or 3-3" x 0.131" NAILS	FACE NAIL
18	RAFTER OR ROOF TRUSS TO PLATE	3-8d BOX (2 1/2" x 0.113"); or 2-8d COMMON (2 1/2" x 0.131"); or 2-10d BOX (3" x 0.128"); or 2 STAPLES 1 3/4"	FACE NAIL
19	1" x 6" SHEATHING TO EACH BEARING	3-8d BOX (2 1/2" x 0.113"); or 2-8d COMMON (2 1/2" x 0.131"); or 2-10d BOX (3" x 0.128"); or 2 STAPLES, 1" CROWN, 16ga., 1 3/4" LONG	FACE NAIL
20		3-8d BOX (2 1/2" x 0.113"); or 2-8d COMMON (2 1/2" x 0.131"); or 3-10d BOX (3" x 0.128"); or 3 STAPLES, 1" CROWN, 16ga., 1 3/4" LONG	
	1" x 8" AND WIDER SHEATHING TO EACH BEARING	WIDER THAN 1" x 8" 4-8d BOX (2 1/2" x 0.113"); or 3-8d COMMON (2 1/2" x 0.135"); or 3-10d BOX (3" x 0.128"); or 4 STAPLES, 1" CROWN, 16ga., 1 3/4" LONG	FACE NAIL

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a,b,c}	SPACING AND LOCATION
FLOOR			
21	JOIST TO SILL, TOP PLATE OR GIRDER	4-8d BOX (2 1/2" x 0.113"); or 3-8d COMMON (2 1/2" x 0.131"); or 3-10d BOX (3" x 0.128"); or 3-3" X 0.131" NAILS	TOE NAIL
		8d BOX (2 1/2" x 0.113")	4" o.c. TOE NAIL
22	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	8d COMMON (2 1/2" x 0.131"); or 10d BOX (3" x 0.128"); or 3" x 0.131" NAILS	6" o.c. TOE NAIL
23	1" x 6" SUBFLOOR OR LESS TO EACH JOIST	3-8d BOX (2 1/2" x 0.113"); or 2-8d COMMON (2 1/2" x 0.131"); or 3-10d BOX (3" x 0.128"); or 2 STAPLES, 1" CROWN, 16ga., 1 3/4" LONG	FACE NAIL
24	2" SUBFLOOR TO JOIST OR GIRDER	3-16d BOX (3 1/2" x 0.135"); or 2-16d COMMON (3 1/2" x 0.162")	BLIND AND FACE NAIL
25	2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	3-16d BOX (3 1/2" x 0.135"); or 2-16d COMMON (3 1/2" x 0.162")	AT EACH BEARING, FACE NAIL
26	BAND OR RIM JOIST TO JOIST	3-16d COMMON (3 1/2" x 0.162"); or 4-10d BOX (3" x 0.128"); or 4-3" x 0.131" NAILS; or 4-3" x 14ga. STAPLES, 7/16" CROWN	END NAIL
		20d COMMON (4" x 0.192"); or	NAIL EACH LAYER AS FOLLOWS: 32" o.c. AT TOP AND BOTTOM AND STAGGERED.
27	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYER	10d BOX (3" x 0.128"); or 3" x 0.131" NAILS	24" o.c. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
		AND: 2-20d COMMON (4" x 0.192"); or 3-10d BOX (3" x 0.128"); or 3-3" x 0.131" NAILS	FACE NAIL AT ENDS AND AT EACH SPLICE
28	LEDGER STRIP SUPPORTING JOIST OR RAFTERS	4-16d BOX (3 1/2" x 0.135"); or 3-16d COMMON (3 1/2" x 0.162"); or 4-10d BOX (3" x 0.128"); or 4-3" x 0.131" NAILS	AT EACH JOIST OR RAFTER, FACE NAIL
29	BRIDGING OR BLOCKING TO JOIST	2-10d BOX (3" x 0.128"); or 2-8d COMM. (2 1/2" x 0.131"); or 2-3" x 0.131"; NAILS	EACH END, TOE NAIL

			SPACING OF FASTENERS		
ITEM	DESCRIPTION OF BUILDING ELEMENTS	DESCRIPTION OF FASTENER ^{a,b,c}	EDGES ^h	INTERMEDIATE SUPPORTS ^{c,e}	
		RIOR WALL SHEATHING TO FRAMING, AND PARTICLE BO PANEL EXTERIOR WALL SHEATHING TO WALL FRAMING		EATHING TO	
30	3/8" - 1/2"	6d COMMON (2" x 0.113") NAIL (SUBFLOOR, WALL) ⁱ 8d COMMON (2 1/2" x 0.131") NAIL (ROOF); or RSRS-O1 (2 3/8" x 0.113") NAIL (ROOF)	6"	12" ^f	
31	19/32" - 1"	8d COMMON NAIL (2 1/2" x 0.131"); or RSPS-01; (2 3/8" x 0.113") NAIL (ROOF) ⁱ	6"	12" ^f	
32	1 1/8" - 1 1/4"	10d COMMON (3" x 0.148") NAIL or 8d (2 1/2" x 0.131") DEFORMED NAIL	6"	12"	
OTHER					
33	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL, 7/16"Ø HEAD, or 1 1/4" LONG 16ga. STAPLE WITH 7/16" or 1" CROWN	3"	6"	
34	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 3/4" GALVANIZED ROOFING NAIL, 7/16"Ø HEAD, or 1 1/2" LONG 16ga. STAPLE WITH 7/16" or 1" CROWN	3"	6"	
35	1/2" GYPSUM SHEATHING ^d	1 1/2" GALVANIZED ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG 1 1/4" SCREWS, TYPE W or S	7"	7"	
36	5/8" GYPSUM SHEATHING ^d	1 3/4" GALVANIZED ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG 1 5/8" SCREWS, TYPE W or S	7"	7"	
WOOD	STRUCTURAL PANELS, COMBINATION SUBFLOOR UN	DERLAYMENT TO FRAMING			
37	3/4" AND LESS	6d DEFORMED (2" x 0.120") NAIL or 8d COMMON (2 1/2" x 0.131") NAIL	6"	12"	
38	7/8" - 1"	8d COMMON (2 1/2" x 0.131") NAIL or 8d DEFORMED (2 1/2" x 0.120") NAIL	6"	12"	
39	1 1/8" - 1 1/4"	10d COMMON (3" x 0.148") NAIL or 8d DEFORMED (2 1/2" x 0.120") NAIL	6"	12"	

ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 KSI FOR SHANK DIAMETER OF 0.192 INCH (20d COMMON NAIL), 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.1777 INCH, AND 100 KSI FOR SHANK DIAMETER OF 0.142 INCH OR LESS.

STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 7/16-INCH ON DIAMETER CROWN WIDTH. NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.

FOUR-FOOT BY 8-FOOT OR 4-FOOT BY 9-FOOT PANELS SHALL BE APPLIED VERTICALLY.

SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2). FOR WOOD STRUCTRUAL PANEL ROOF SHEATHING ATTACHED TO GABLE END ROOF FRAMING AND TO INTERMEDIATE SUPPORTS WITHIN 48 INCHES OF ROOF EDGES AND RIDGES, NAILS SHALL BE SPACED AT 6 INCHES ON CENTER WHERE THE ULTIMATE DESIGN

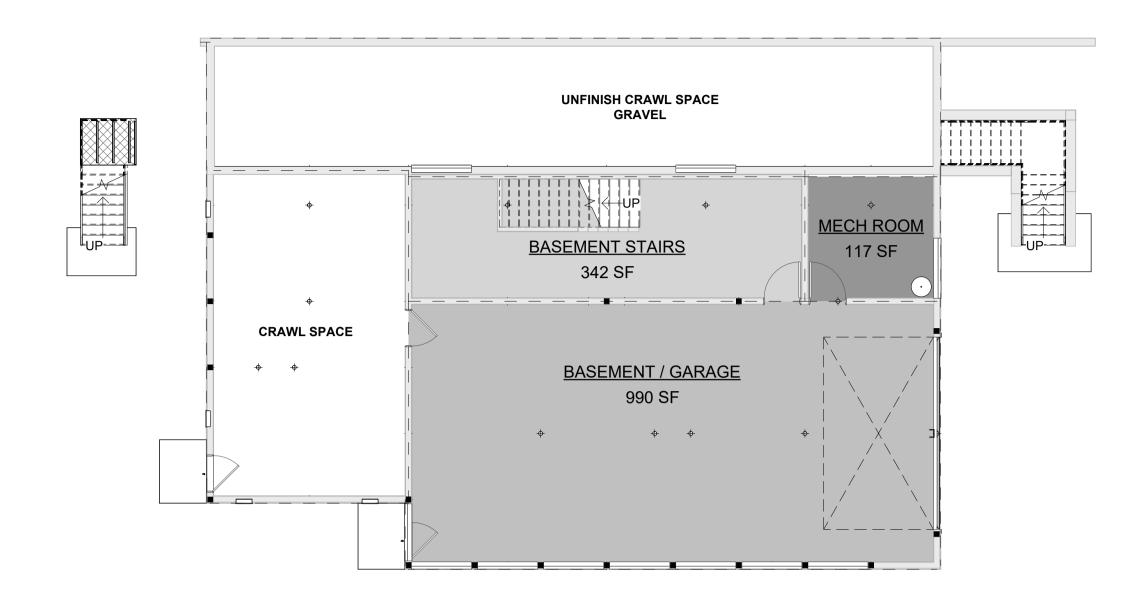
WIND SPEED IS LESS THAN 130 mph AND SHALL BE SPACED 4 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS 130 mph OR GREATER BUT LESS THAN 140 mph.

GYPSUM SHEATHING SHALL CONFORM TO ASTM C 1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C 208.

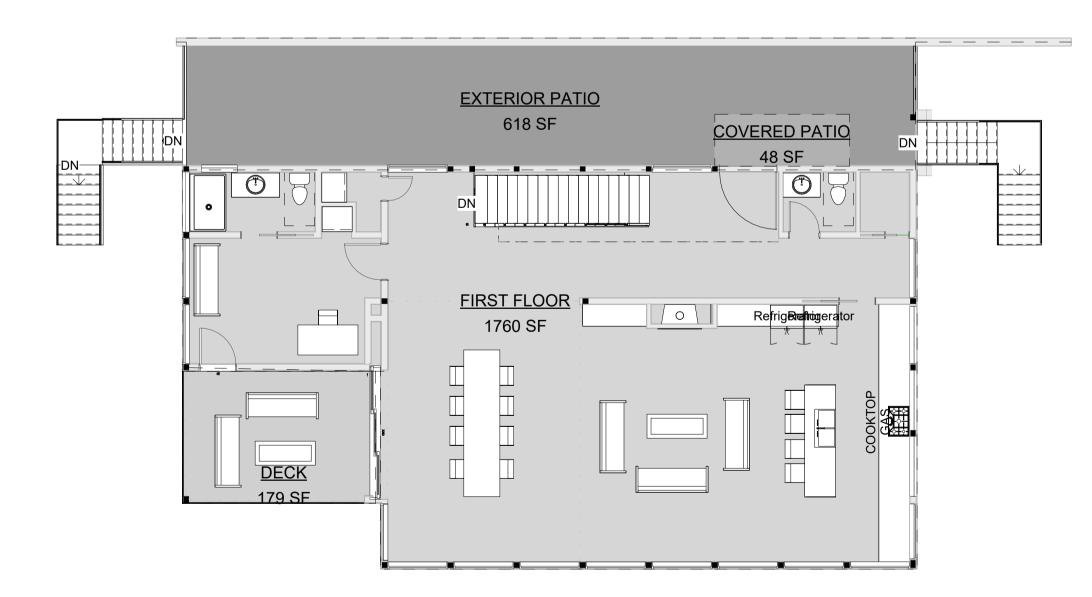
SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AND AT FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE TWO TOE NAILS ON ONE SIDE OF THE RAFTER AND TOE NAILS FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE.

THE TOE NAIL ON THE OPPOSITE SIDEOF THE RAFTER SHALL NOT BE REQUIRED. RSRS-01 IS A ROOF SHEATHING RING SHANK NAIL MEETING THE SPECIFICATIONS IN ASTM F1667.

& Lindal
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PN
PROJECT NORTH
LINDAL DEALER
WARM MODERN LIVING
<u>CLIENT</u>
HOANG INTRACHAT RESIDENCE
PROJECT ADDRESS
7929 EAST MERCER WAY MERCER ISLAND WA 98040
1 CITY COMMENT ES 11/27/2023 ISSUED FOR CD ES 10/19/2023
ISSUED FOR DD ES 8/31/2023 REVISION DD ES 7/18/2023 NO. DESCRIPTION ISSUED BY DATE
ISSUANCES WARRANTY NUMBER
42255
MODEL
ELEMENT CUSTOM HOME
BUILDING CODE NOTES
Scale:
G003









AREA COLOR LEGEND

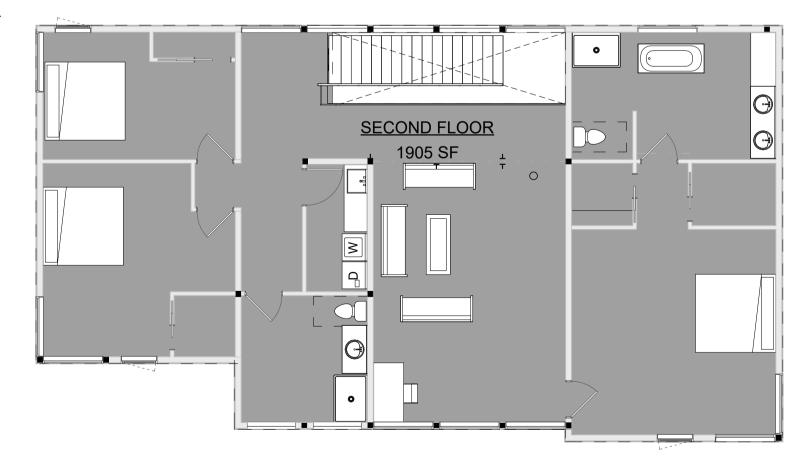


BASEMENT / GARAGE

MECH ROOM

AREA COLOR LEGEND

- COVERED PATIO
- DECK
- EXTERIOR PATIO
- FIRST FLOOR



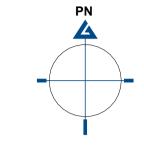


FIRE RESISTANCE RATING LEGEND:

··	20 MIN. FRR
	45 MIN. FRR
	60 MIN. FRR
	90 MIN. FRR
	120 MIN. FRR



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PROJECT NORTH

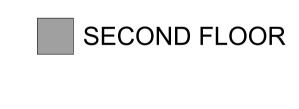
<u>LINDAL DEALER</u> WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040

AREA COLOR LEGEND



1	CITY COMMENT	ES	11/27/2023
	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/18/2023
NO.	DESCRIPTION	ISSUED BY	DATE
<u>ISS</u>	SUANCES		

42255

SERIES



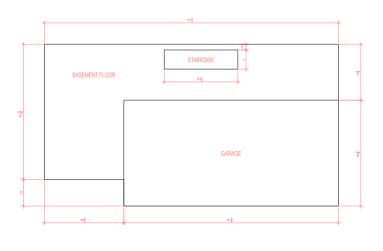
MODEL ELEMENT CUSTOM HOME

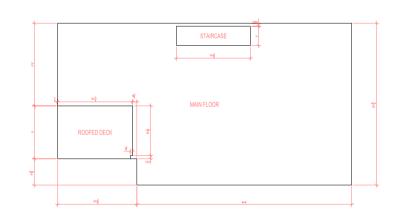
AREA PLANS



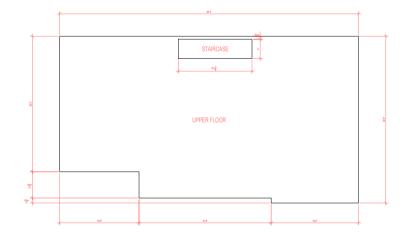
	SE	GMENT LENGTH			MID POINT ELEVATION	X*x
A	Ŧ	61.95	а	=	197	12204.1
В	=	44.45	b	=	189	8401.05
С	=	17.95	С	-	188.21	3378.369
D	=	1.03	d	=	188.2	193.846
E	=	27.5	е	=	188.05	5171.37
F	=	5.46	f	=	188	1026.48
G	=	16.5	g	3 11 3	188	3102
н	=	37.95	h	=	189	7172.55
	_	212.79				40649.8
		Formula 1:				
		40649.8205	-		191.03	
		212.79	_		191.05	
		Allowable Building H	lei	gh	t = 221.03	

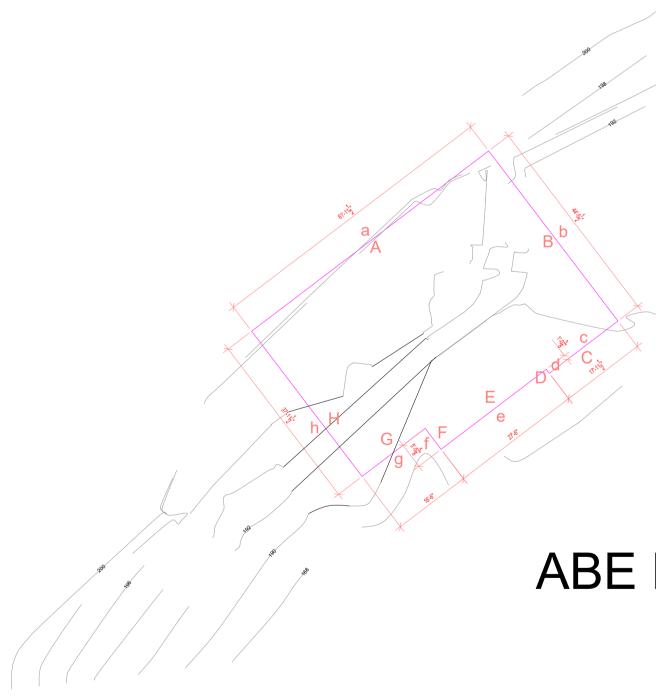
GFA DIAGRAMS







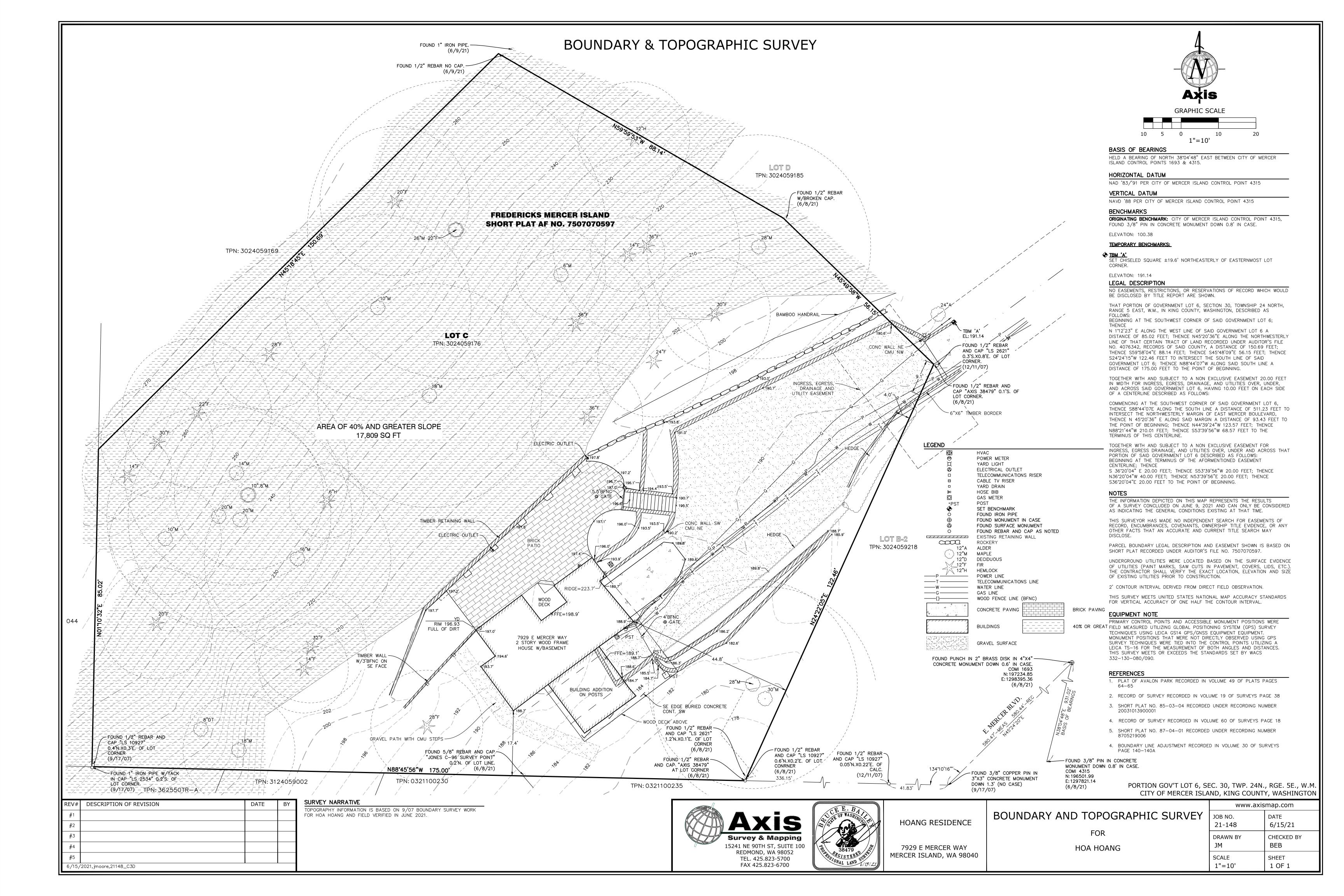


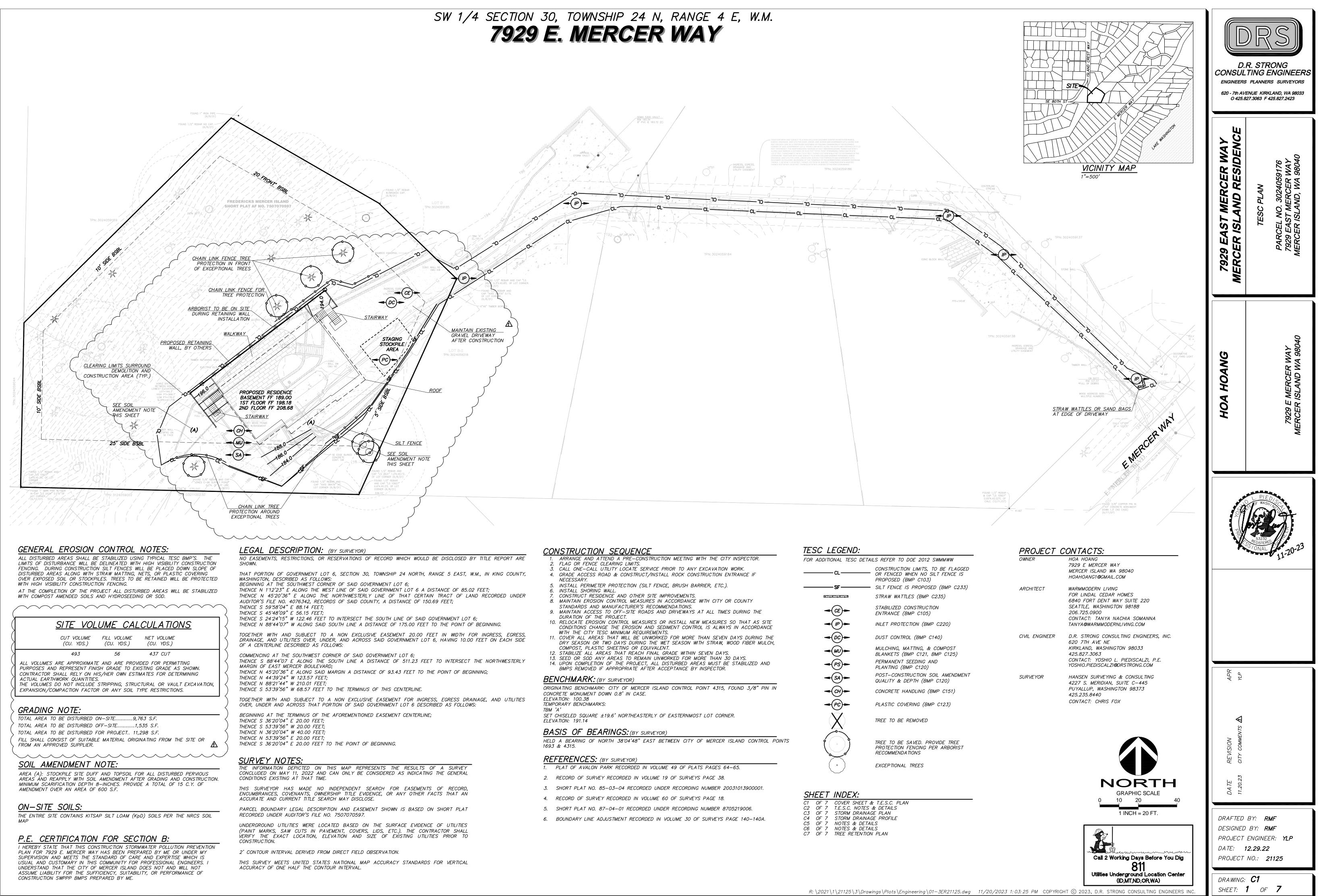


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PROJECT NORTH
LINDAL DEALER
WARM MODERN LIVING
CLIENT HOANG INTRACHAT RESIDENCE
PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040
1 CITY COMMENT ES 11/27/2023 ISSUED FOR CD ES 10/19/2023
ISSUED FOR DD ES 8/31/2023 REVISION DD ES 7/18/2023 NO. DESCRIPTION ISSUED BY DATE
ISSUANCES
WARRANTY NUMBER
42255
<u>SERIES</u>
MODEL
ELEMENT CUSTOM HOME
AVERAGE BUILDING
HEIGHT
Scale: 1" = 20'-0"
G005

ABE DIAGRAM

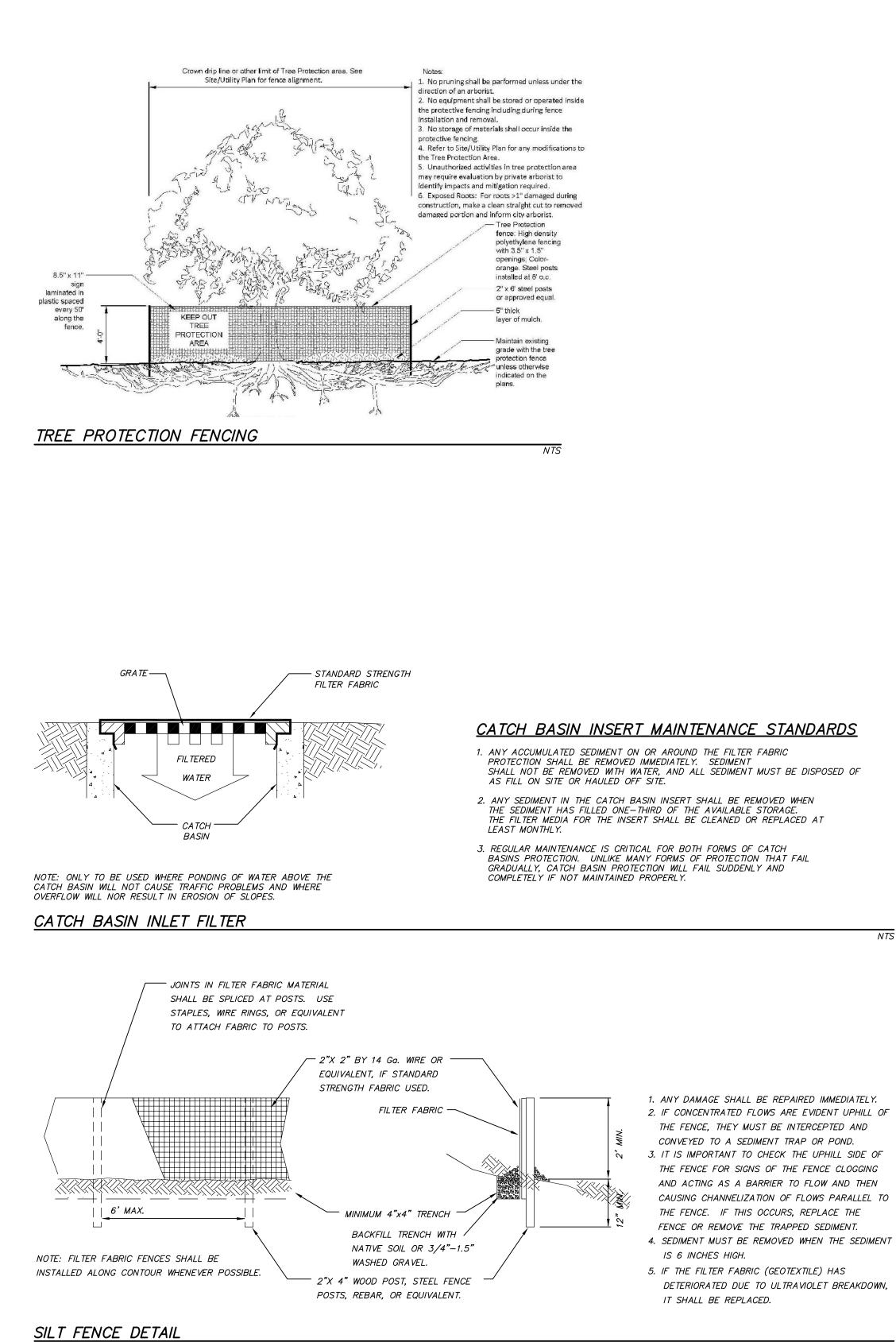
196



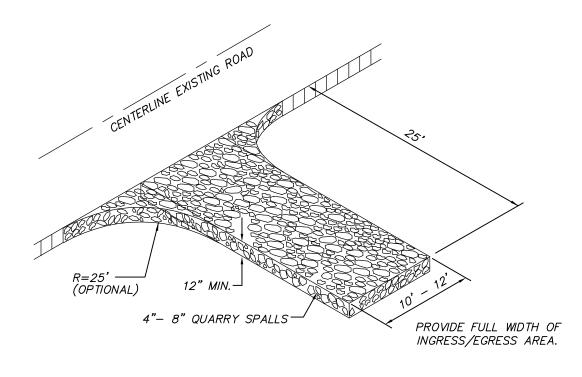


ADDITIONAL TESC DETAI	LS R
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Sh	IEET	INDEX:
<u>C1</u>	OF 7	COVER SHEET & T.E.S.C. PLAN
C2	0F 7	T.E.S.C. NOTES & DETAILS
С3	OF 7	STORM DRAINAGE PLAN
C4	OF 7	STORM DRAINAGE PROFILE
C5	0F 7	NOTES & DETAILS
C6	0F 7	NOTES & DETAILS
~7		TDEE DETENTION DIAN



SW 1/4 SECTION 30, TOWNSHIP 24 N, RANGE 4 E, W.M. 7929 E. MERCER WAY



DRIVEWAYS SHALL BE PAVED TO THE EDGE OF R-O-W PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO AVOID DAMAGING OF THE ROADWAY IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE PAD

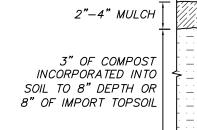
GRAVEL CONSTRUCTION ENTRANCE

EROSION AND SEDIMENT CONTROL NOTES:

- 1. APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- 2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
- 3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD. NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
- 4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD. THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES,
- 6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE TESC FACILITIES DURING THE WET SEASON (OCT. 1 TO APRIL 30) AND OF MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30).
- ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS. THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
- 8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL
- PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT. 9. ALL DISTURBED AREAS SHALL BE STABILIZED USING TYPICAL TESC BMP'S. THE LIMITS OF DISTURBANCE WILL BE DELINEATED WITH HIGH VISIBILITY CONSTRUCTION FENCING. DURING CONSTRUCTION SILT FENCES WILL BE PLACED DOWN SLOPE OF DISTURBED AREAS ALONG WITH STRAW MATTING, NETS, OR PLASTIC COVERING OVER EXPOSED SOIL OR STOCKPILES. TREES TO BE RETAINED WILL BE PROTECTED WITH HIGH VISIBILITY CONSTRUCTION
- 10. ALL SOIL STOCKPILES TO BE COVERED WITH PLASTIC SHEETING UNTIL SUCH TIME THAT THE SOIL IS EITHER USED OR REMOVED. PILES SHOULD BE SITUATED AND LOCATED SUCH THAT SEDIMENT DOES NOT RUN INTO THE STREET OR ONTO ADJOINING PROPERTIES.

FENCING

- 11. ALL EXPOSED SOIL AREAS SHALL BE COVERED OR PROTECTED USING AN APPROPRIATE BMP. STABILIZE DENUDED AREAS OF THE SITE BY MULCHING, SEEDING, PLANTING, OR SODDING. 12. ALL ADJACENT PROPERTIES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION
- BY APPROPRIATE USE OF VEGETATION BUFFER STRIPS, SEDIMENT BARRIERS, OR FILTERS, DIKES, MULCHING, OR BY A COMBINATION OF THESE MEASURES AND OTHER APPROPRIATE BMP'S. 13. PROVIDE FOR PERIODIC STREET CLEANING TO REMOVE ANY SEDIMENT THAT
- MAY HAVE BEEN TRACKED OFF-SITE. SEDIMENT SHOULD BE REMOVED BY SHOVELING OR SWEEPING AND CAREFULLY REMOVED TO A SUITABLE DISPOSAL AREA WHERE IT WILL NOT BE RE-ERODED. 14. ALL INSTALLED EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSPECTED REGULARLY BY THE GENERAL CONTRACTOR ESPECIALLY AFTER ANY LARGE STORM. MAINTENANCE, INCLUDING REMOVAL AND PROPER DISPOSAL OF SEDIMENT SHOULD BE A NECESSARY TO INSURE THAT SEDIMENT AND EROSION IS CONTROLLED ON SITE.



SUBSOIL SCARIFIED 4" BELOW COMPOST AMENDED LAYER (12" BELOW SOIL SURFACE), OR AS DETERMINED BY THE CITY

SOIL AMENDMENT PFR RMP T5.13

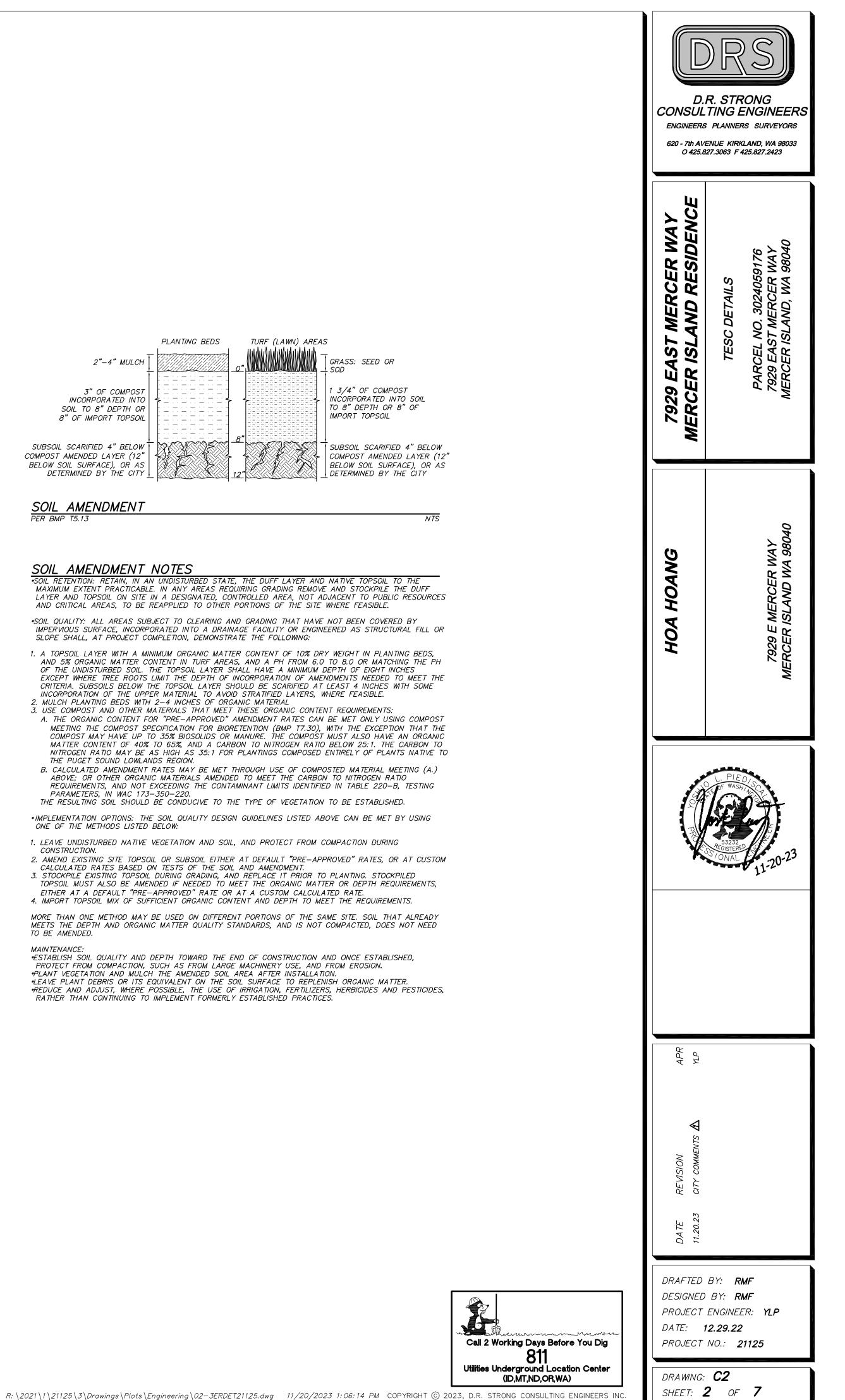
SOIL AMENDMENT NOTES •SOIL RETENTION: RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

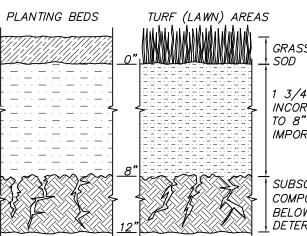
•SOIL QUALITY: ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

- 2. MULCH PLANTING BEDS WITH 2-4 INCHES OF ORGANIC MATERIAL
- THE PUGET SOUND LOWLANDS REGION.
- PARAMETERS, IN WAC 173-350-220.
- ONE OF THE METHODS LISTED BELOW:
- CONSTRUCTION.
- 4. IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.

TO BE AMENDED.

MAINTENANCE: •ESTABLISH SOIL QUALITY AND DEPTH TOWARD THE END OF CONSTRUCTION AND ONCE ESTABLISHED, PROTECT FROM COMPACTION, SUCH AS FROM LARGE MACHINERY USE, AND FROM EROSION. •PLANT VEGETATION AND MULCH THE AMENDED SOIL AREA AFTER INSTALLATION. •LEAVE PLANT DEBRIS OR ITS EQUIVALENT ON THE SOIL SURFACE TO REPLENISH ORGANIC MATTER. •REDUCE AND ADJUST, WHERE POSSIBLE, THE USE OF IRRIGATION, FERTILIZERS, HERBICIDES AND PESTICIDES, RATHER THAN CONTINUING TO IMPLEMENT FORMERLY ESTABLISHED PRACTICES.





1. A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.

3. USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS: A. THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIORETENTION (BMP T7.30), WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 35% BIOSOLIDS OR MANURE. THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65%, AND A CARBON TO NITROGEN RATIO BELOW 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO B. CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIAL MEETING (A.)

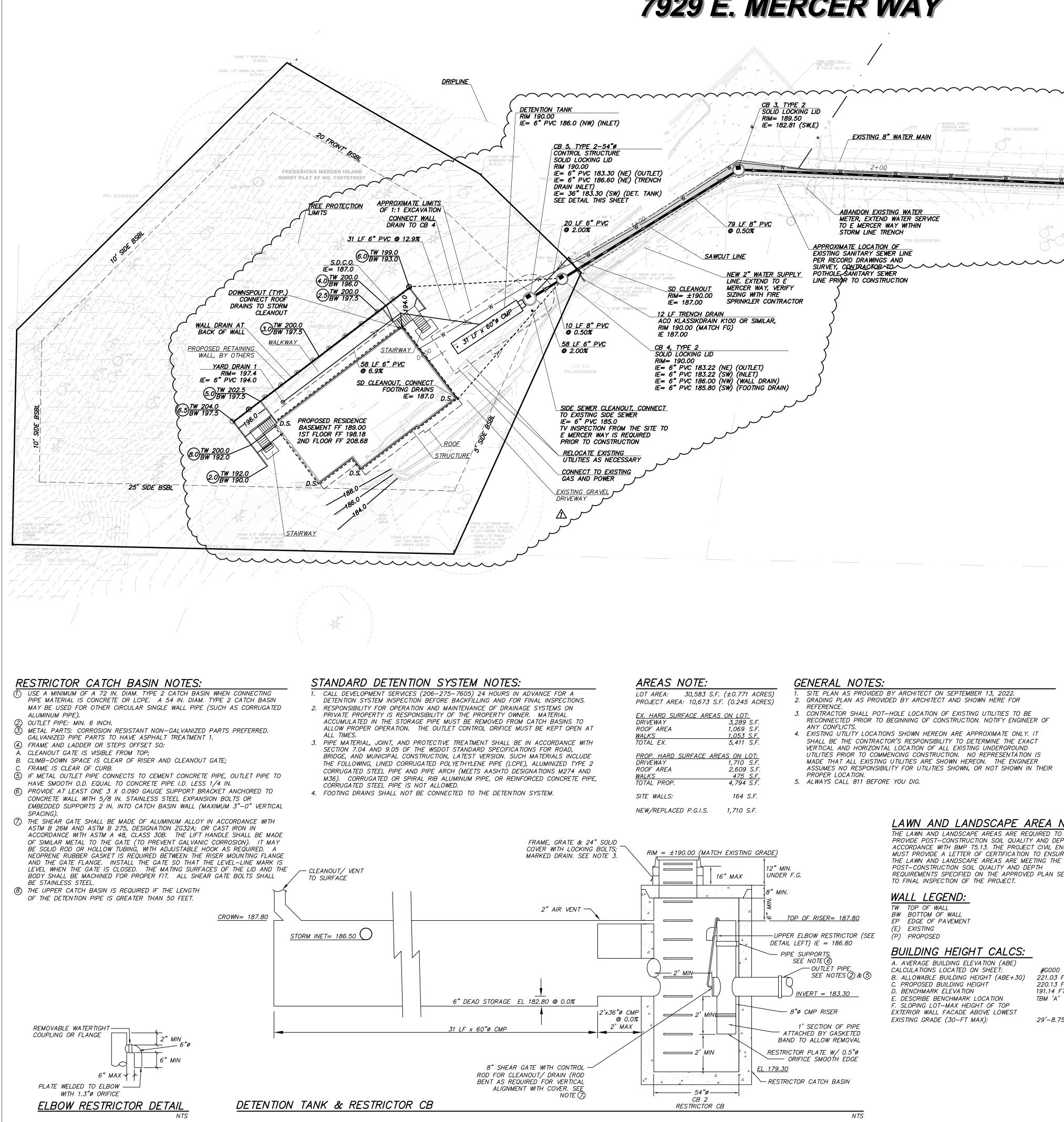
ABOVE; OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B, TESTING THE RESULTING SOIL SHOULD BE CONDUCIVE TO THE TYPE OF VEGETATION TO BE ESTABLISHED.

•IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY USING

1. LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING

2. AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT. 3. STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS. EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.

MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED



SW 1/4 SECTION 30, TOWNSHIP 24 N, RANGE 4 E, W.M. 7929 E. MERCER WAY ~~~~~··· EXISTING 8" WATER MAIN <u>193 LF 8" PVC</u> Ø 16.08%

AREAS NOTE:	
LOT AREA: 30,583 S PROJECT AREA: 10,673	
EX. HARD SURFACE ARE.	
DRIVEWAY	3,289 S.F.
ROOF AREA	1,069 S.F.
WALKS	<u>1,053 S.F.</u>
TOTAL EX.	5,411 S.F.
<u>PROP. HARD SURFACE A</u>	REAS ON LOT:
DRIVEWAY	1,710 S.F.
ROOF AREA	2,609 S.F.
WALKS	<u>475 S.F.</u>
TOTAL PROP.	4,794 S.F.
SITE WALLS:	164 S.F.
NEW/REPLACED P.G.I.S.	1,710 S.F.

- GRADING PLAN AS PROVIDED BY ARCHITECT AND SHOWN HERE FOR
- 3. CONTRACTOR SHALL POT-HOLE LOCATION OF EXISTING UTILITIES TO BE RECONNECTED PRIOR TO BEGINNING OF CONSTRUCTION. NOTIFY ENGINEER OF 4. EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT
- SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES SHOWN, OR NOT SHOWN IN THEIR
- 5. ALWAYS CALL 811 BEFORE YOU DIG.

LAWN AND LANDSCAPE AREA NOTE:

·····

PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

WALL LEGEND: TW TOP OF WALL

- BW BOTTOM OF WALL EP EDGE OF PAVEMENT (E) EXISTING (P) PROPOSED
- BUILDING HEIGHT CALCS:

A. AVERAGE BUILDING ELEVATION (ABE)
CALCULATIONS LOCATED ON SHEET:
B. ALLOWABLE BUILDING HEIGHT (ABE+30)
C. PROPOSED BUILDING HEIGHT
D. BENCHMARK ELEVATION
E. DESCRIBE BENCHMARK LOCATION
F. SLOPING LOT-MAX HEIGHT OF TOP
EXTERIOR WALL FACADE ABOVE LOWEST

З.	FC
	NC
	FC
	TH
4.	US
5.	PF

#G000

221.03 FT

191.14 FT

29'–8.75"

TBM 'A'

220.13 FT

υ.	FROMUL INA
6.	PROVIDE SLEE
7.	SEE ARCHITEC
8.	ALL DRAIN LIL
	FOLIAL PER A

OF 2.00%.

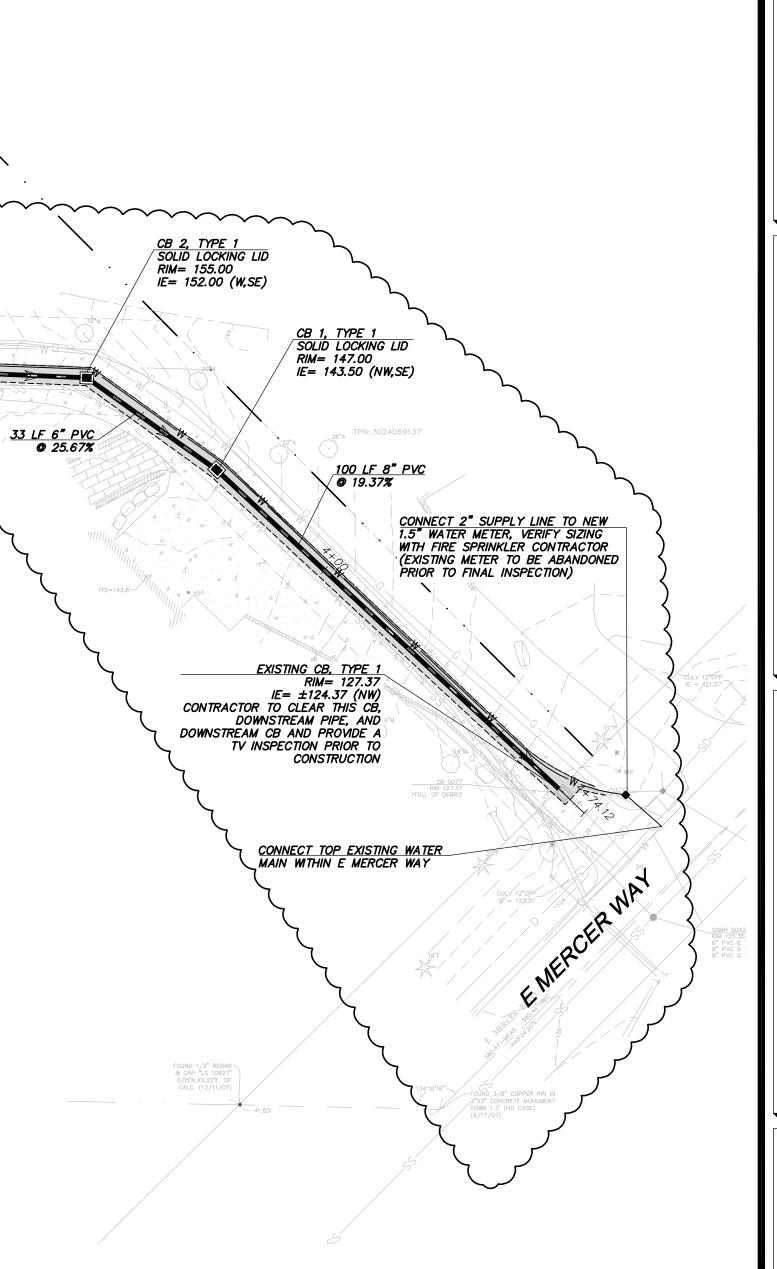
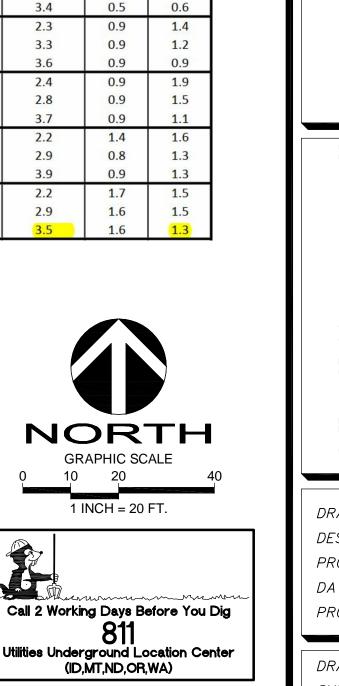


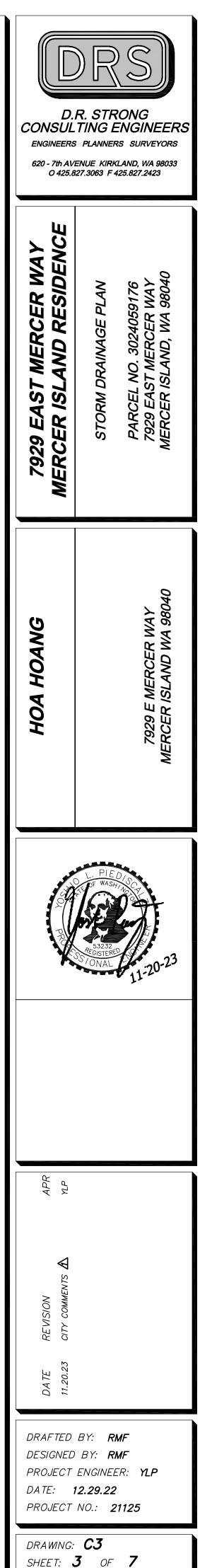
Table 1

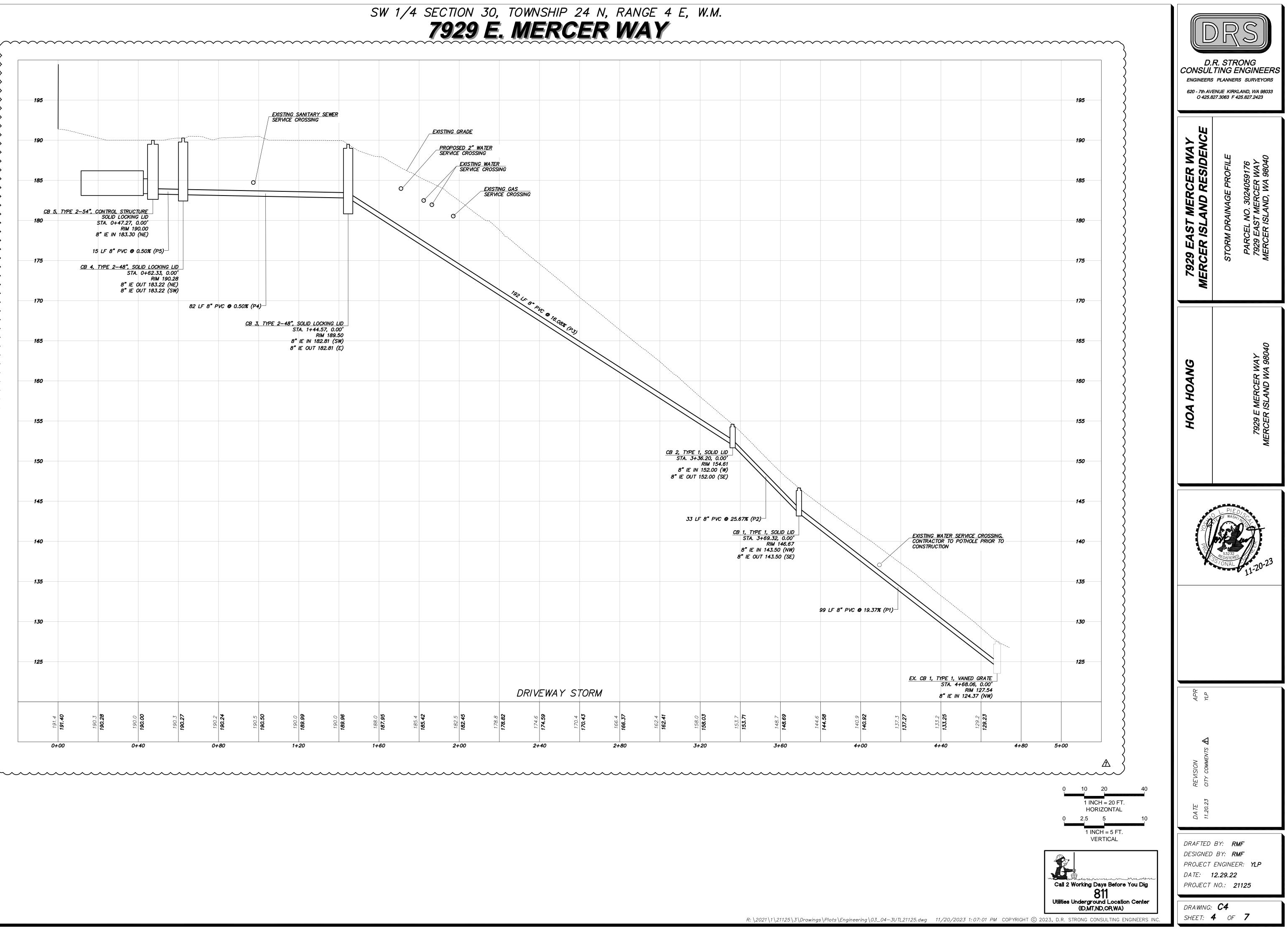
ON-SITE DETENTION	DESIGN FOR PRO	JECTS BETV	VEEN 500 S	F AND 9,50	D SF NEW I	PLUS REPLACED	IMPERVIOUS S	URFACE A	REA	
New and Replaced		Detenti Lengt	on Pipe th (ft)	Lowest Diamet			Outlet Invert Orifice (ft)	Second Orifice Diameter (in)		
Impervious Surface Area (sf)	Detention Pipe Diameter (in)	B soils	C soils	B soils	C soils	B soils	C soils	B soils	<mark>C soils</mark>	
	36"	30	22	0.5	0.5	2.2	2.0	0.5	0.8	
500 to 1,000 sf	48"	18	11	0.5	0.5	3.3	3.2	0.9	0.8	
	60"	11	7	0.5	0.5	4.2	3.4	0.5	0.6	
	36"	66	43	0.5	0.5	2.2	2.3	0.9	1.4	
1,001 to 2,000 sf	48"	34	23	0.5	0.5	3.2	3.3	0.9	1.2	
	60"	22	14	0.5	0.5	4.3	3.6	0.9	0.9	
	36"	90	66	0.5	0.5	2.2	2.4	0.9	1.9	
2,001 to 3,000 sf	<mark>48</mark> "	48	36	0.5	0.5	3.1	2.8	0.9	1.5	
	60"	30	20	0.5	0.5	4.2	3.7	0.9	1.1	
	36"	120	78	0.5	0.5	2.4	2.2	1.4	1.6	
3,001 to 4,000 sf	48"	62	42	0.5	0.5	2.8	2.9	0.8	1.3	
	60"	42	26	0.5	0.5	3.8	3.9	0.9	1.3	
	36"	134	91	0.5	0.5	2.8	2.2	1.7	1.5	
4,001 to 5,000 sf	48"	73	49	0.5	0.5	3.6	2.9	1.6	1.5	
	<mark>60"</mark>	46	<mark>31</mark>	0.5	0.5	4.6	3.5	1.6	1.3	

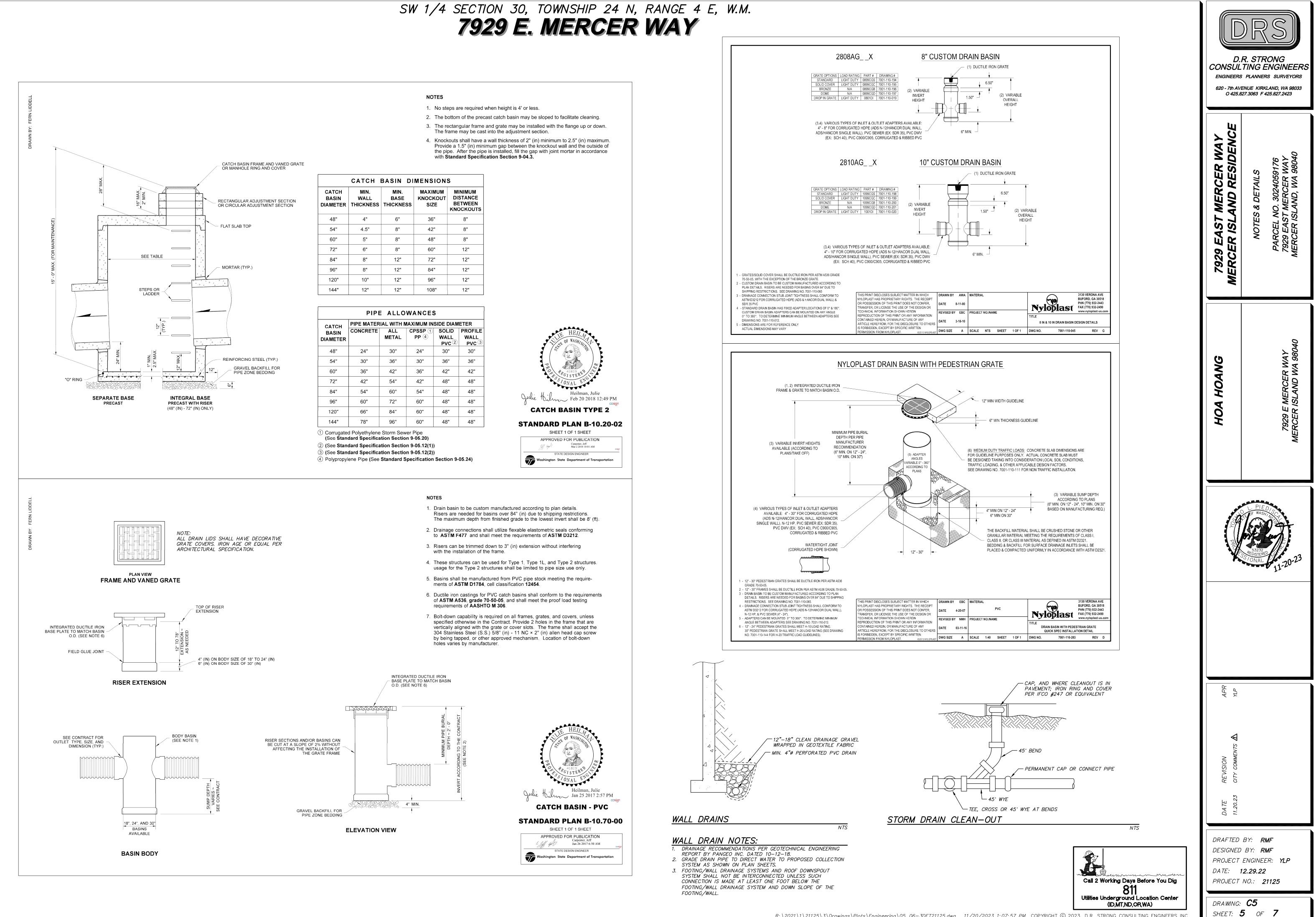
STORM DRAINAGE NOTES:

- 1. ROOF DRAINS SHALL BE 6" PVC SDR 35 TIGHTLINE WITH A MINIMUM SLOPE 2. FOOTING/WALL DRAINS SHALL BE 4" PERFORATED PVC WRAPPED IN FILTER
- FABRIC PER CITY STANDARDS. OOTING/WALL DRAINAGE SYSTEMS AND ROOF DOWNSPOUT SYSTEM SHALL IOT BE INTERCONNECTED UNLESS SUCH CONNECTION IS MADE AT LEAST ONE OOT BELOW THE FOOTING/WALL DRAINAGE SYSTEM AND DOWN SLOPE OF E BUILDING FOUNDATION.
- SE SAND COLLARS AT CB CONNECTIONS TO PVC PIPE. ROVIDE TRAFFIC RATED GRATES IN ALL PARKING AREAS.
 - EVES THROUGH ALL WALLS/ ROCKERIES CTURAL PLAN SET FOR VEGETATED ROOF SPECIFICATIONS.
- IDS SHALL HAVE DECORATIVE GRATE COVERS. IRON AGE OR EQUAL PER ARCHITECTURAL SPECIFICATION.

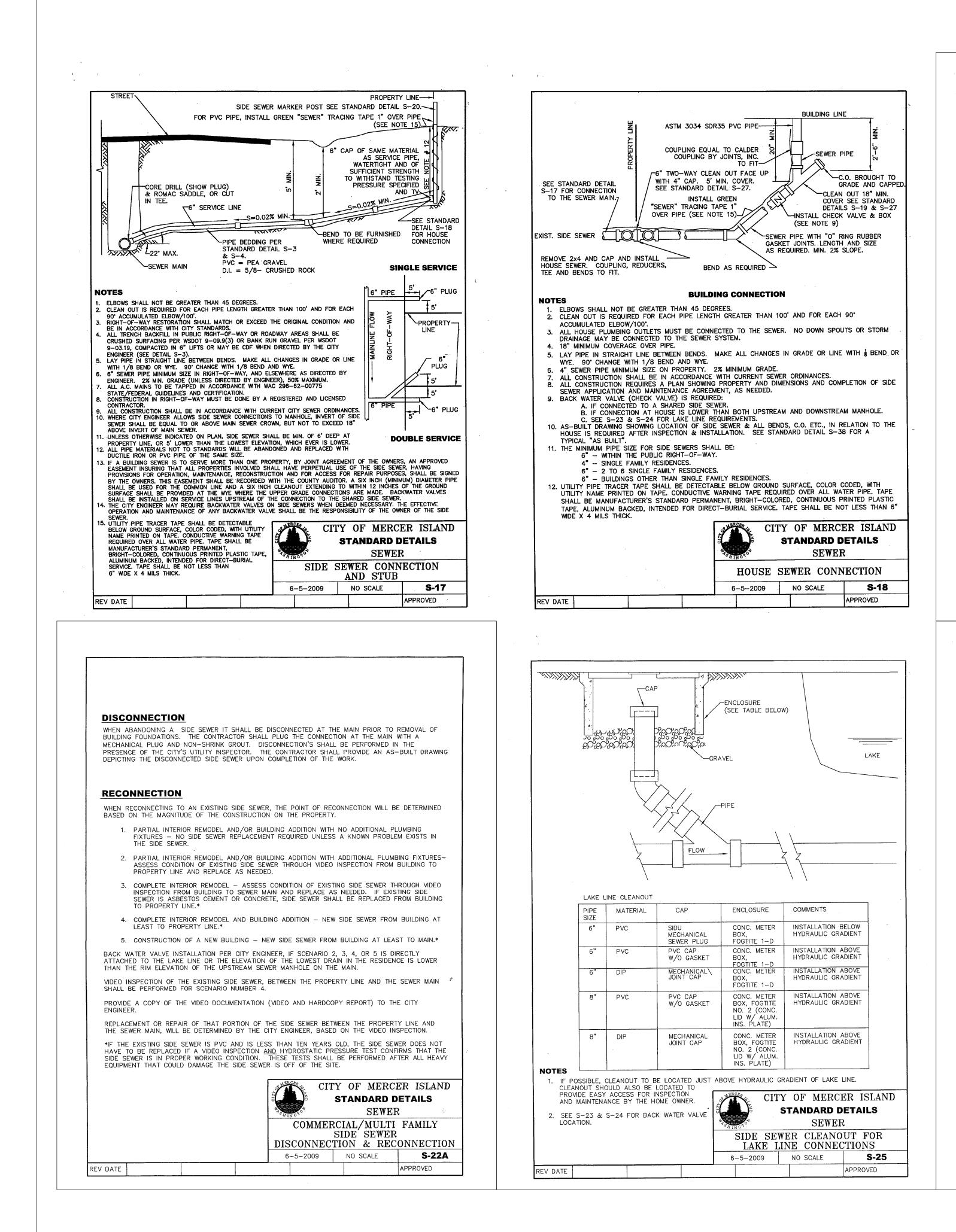




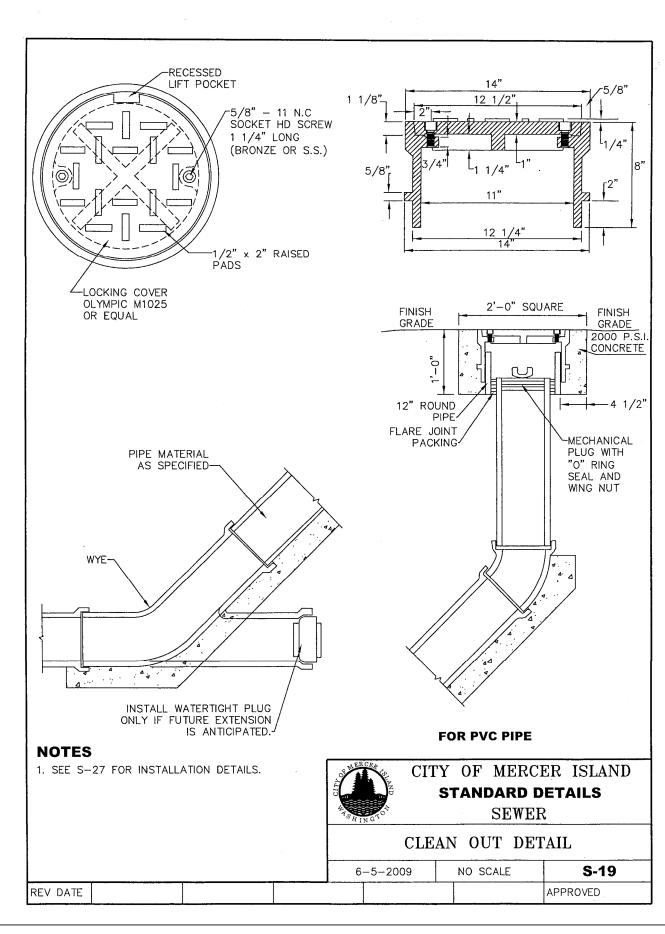


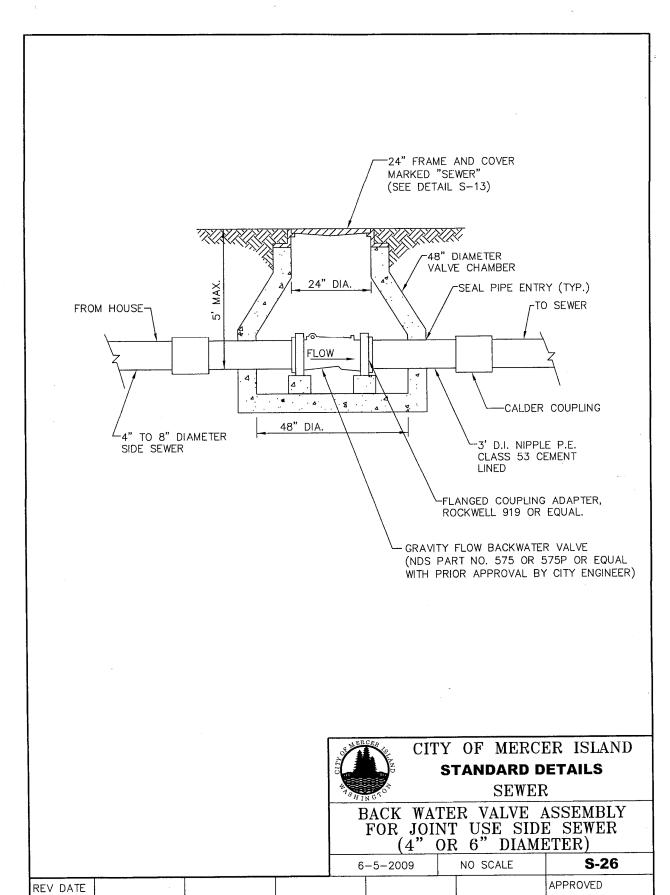


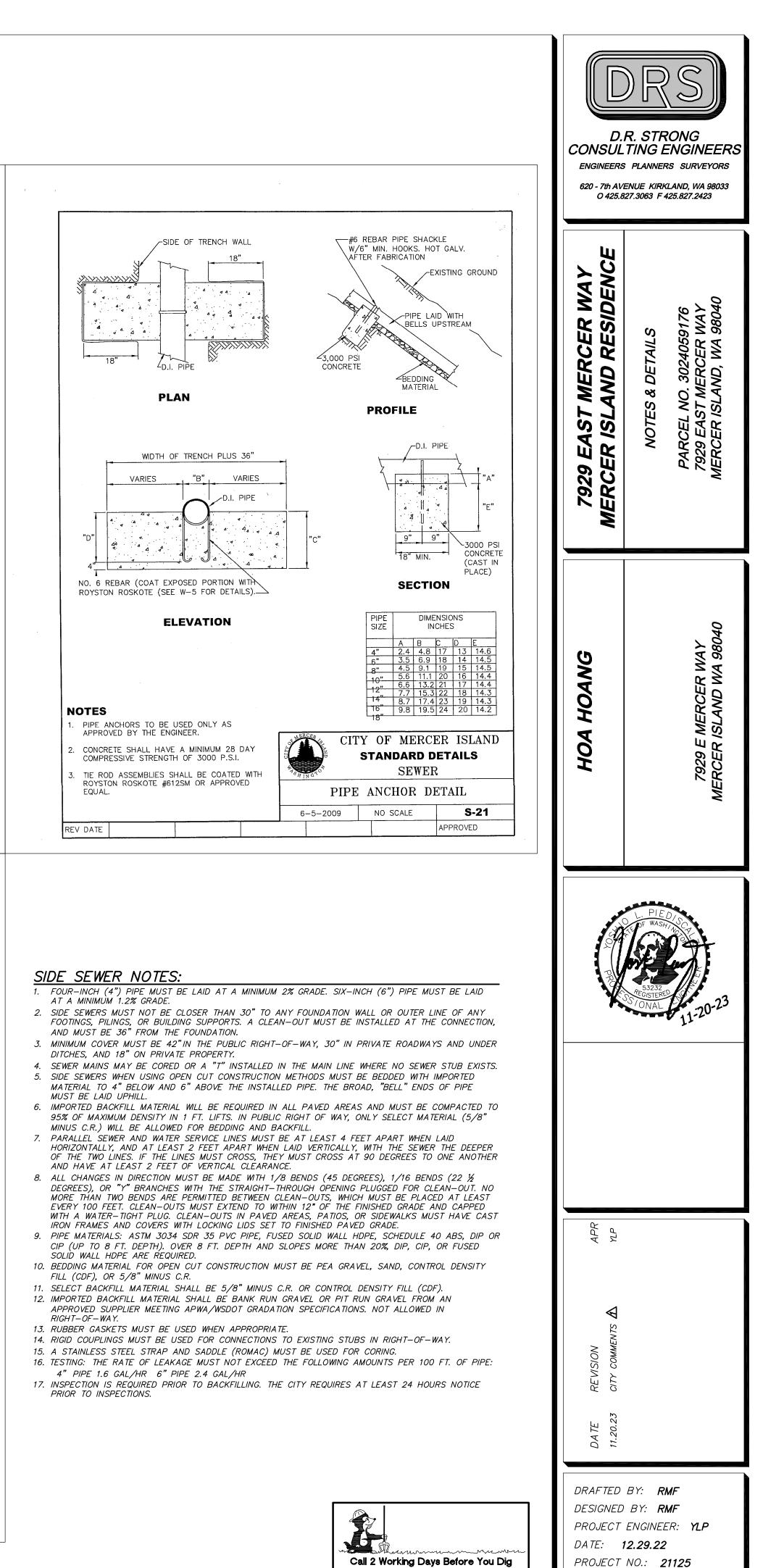
R: \2021 \1 \21125 \3 \Drawings \Plots \Engineering \05_06-3DET21125.dwg 11/20/2023 1:07:57 PM COPYRIGHT © 2023, D.R. STRONG CONSULTING ENGINEERS IN



SW 1/4 SECTION 30, TOWNSHIP 24 N, RANGE 4 E, W.M. 7929 E. MERCER WAY







Call 2 Working Days Before You Dig 81 Utilities Underground Location Center (ID,MT,ND,OR,WA)

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DRAWING: **C6** SHEET: 6 OF 7



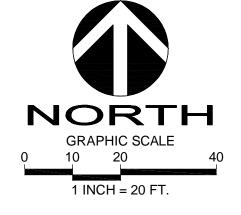
Tree ID	Parcel	Species	Туре	DBH (Inches)	Average Dripline (diameter)	CRZ / Limits of Disturbance (radius)	Tree Credits	Overall Condition	Overall Risk Rating	Retained or Removed	Tree ID	Parcel	Species	Туре	DBH (Inches)	Average Dripline (diameter)	CRZ / Limits of Disturbance (radius)	Tree Credits	Overall Condition	Overall Risk Rating	Retained or Removed
69	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	23	25'	13'	Large	Good	Low	Retain	75	3024059176	Bigleaf Maple Aceer macrophyllum	Deciduous	18	40'	20'	Large	Good	Low	Retain
Re	commendation	Will not be impacted by	y construction	activities.						da da	Re	commendation	Will not be impacted by	construction	activities.						
70	3024059176	Bigleaf Maple Aceer macrophyllum	Deciduous	31	60'	30'	Large	Good	Low	Retain	76	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	20	30'	15'	Large	Good	Low	Retain
Re	commendation	Will not be impacted by	y construction	activities.		ė. – – – –				ika di	Re	commendation	Will not be impacted by	construction	activities.						
71	3024059176	Bigleaf Maple Aceer macrophyllum	Deciduous	22	60′	30'	Large	Good	Low	Retain	77	3024059176	Bigleaf Maple Aceer macrophyllum	Deciduous	10	<mark>4</mark> 0′	20'	Large	Good	Low	Retain
Re	commendation	Will not be impacted by	y construction	activities.							Re	commendation	Will not be impacted by	construction	activities.						
72	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	47	40'	20'	Exceptional	Good	Low	Retain	78	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	14	20'	10'	Large	Good	Low	Retain
Re	commendation	Will not be impacted by	y construction	activities.						\$\$	Re	commendation	Will not be impacted by	construction	activities.		20 N		10 - 10 11 - 10		
73	3024059176	Bigleaf Maple Aceer macrophyllum	Deciduous	55	60'	30'	Exceptional	Good	Low	Retain	79	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	30	30'	15'	Large	Good	Low	Retain
Re	commendation	Will not be impacted by	y construction	activities.							Re	commendation	Will not be impacted by	construction	activities.	15					

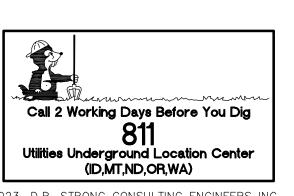
SW 1/4 SECTION 30, TOWNSHIP 24 N, RANGE 4 E, W.M. 7929 E. MERCER WAY

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ling for the New York	6"X6" TIMB	
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<u>LEGEND</u>		
123 · 124	VIABLE TREE	
123 · 124	NON VIABLE TREE	
123 125 124 126	TREE TO BE REMOVED	
123	DRIPLINE OF VIABLE TREE TO BE RETAINED	
123	DRIPLINE OF VIABLE TREE TO BE REMOVED	
oo	TREE PROTECTION FENCING (SEE SHEET C2 FOR DETAIL)	
TRFF RFTFNT	ON CALCULATION	
TOTAL NUMBER OF EXC TOTAL LARGE TREES: TOTAL VIABLE ONSITE REQUIRED: 30% VIABLE	CEPTIONAL TREES: TREES:	4 22 26 8
PROPOSED VIABLE TRE	'ES RETAINED:	24

Tree ID	Parcel	Species	Туре	DBH (Inches)	Average Dripline (diameter)	CRZ / Limits of Disturbance (radius)	Catagony	Overall Condition	Overall Risk Rating	Retained or Removed		RS	
59	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	27	30'	15'	Large	Good	Low	Retain		R. STRONG TING ENGIN	
Ree	commendation	Requires tree protection	on measures o	utlined in s	ections 7, 8, ar	nd 9.					ENGINEERS	PLANNERS SUR	/EYORS
60	3024059176	Western Hemlock Tsuga heterophylla	Evergreen conifer	20	30'	15'	Large	Good	Low	Retain		ENUE KIRKLAND, W 27.3063 F 425.827.2	
Ree	commendation	Requires tree protection	on measures o	utlined in s	ections 7, 8, ar	nd 9.	, dan s						
61	3024059176	English Laurel Prunus laurocerasus	Evergreen	12	30'	15'	Large	Good	Low	Retain	CER WAY RESIDENCE		0
Ree	commendation	Requires tree protection	on measures o	utlined in s	ections 7, 8, ar	nd 9.	s dat in the				R V	AN 176	98040 98040
62	3024059176	Bigleaf Maple Aceer macrophyllum	Deciduous	29	60'	30'	Large	Good	Low	Retain	MERCER AND RESI	REE RETENTION PLAN ARCEL NO. 3024059176	CER ISLAND, WA 3
Red	commendation	Requires tree protection	on measures o	utlined in s	ections 7, 8, ar	nd 9.		C Arr		<i>361</i>	A M	TEN VO	
63	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	31	30'	15'	Large	Good	Low	Remove	EAST R ISL	REE RE	NALA EAS MERCER IS
Red	commendation	Unlikely to survive the	construction	process and	could potentia	ally become ha	zardous.	1 (3					NEF (3
Tree ID	Parcel	Species	Туре	DBH (Inches)	Average Dripline (diameter)	CRZ / Limits of Disturbance (radius)	Tree Credits	Overall Condition	Overall Risk Rating	Retained or Removed	7929 I MERCE		
64	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	22	14'	7′	Large	Good	Low	Remove			
Rec	ommendation	Unlikely to survive the c	onstruction p	rocess and c	ould potential	ly become haza	rdous.						
65	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	31	16′	8'	Large	Good	Low	Remove	(5)		98040 98040
Rec	ommendation	Unlikely to survive the c	onstruction p	rocess and c	ould potential	ly become haza	irdous.				ĬĂ		N AN
66	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	39	18′	9′	Exceptional	Good	Low	Retain	N HOANG		NATA E MERCER WAT MERCER ISLAND WA 98(
Rec	ommendation	Will not be impacted by	construction	activities.	Circ.						НОА	L	RCER
67	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	13	30′	15'	Large	Good	Low	Retain	7		MERC
Rec	ommendation	Will not be impacted by	construction	activities.									
68	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	38	30'	15′	Exceptional	Good	Low	Retain			
Rec	ommendat <mark>i</mark> on	Will not be impacted by	construction	activities.		D.						PIC	
Tree ID	Parcel	Species	Туре	DBH (Inches)	Average Dripline (diameter)	CRZ / Limits of Disturbance (radius)	Tree	Overall Condition	Overall Risk Rating	Retained or Removed		F WASHING	
80	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	22	30'	15'	Large	Good	Low	Retain		AEGISTERED ST S / ONAL	20-23
Rec	ommendation	Will not be impacted by	y construction	activities.								11	
81	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	28	30'	15'	Large	Good	Low	Retain			
Rec	ommendation	Will not be impacted by	y construction	activities.									
82	3024059176	Bigleaf Maple Aceer macrophyllum	Deciduous	10	40'	20'	Large	Good	Low	Retain			
Rec	ommendation	Will not be impacted by	y construction	activities.									
83	3024059176	Douglas fir Pseudotsuga menziesii	Evergreen conifer	20	30′	15'	Large	Good	Low	Retain	APR YLP		
Rec	ommendation	Will not be impacted by	y construction	activities.			0e -						
84	3024059176	Bigleaf Maple Aceer macrophyllum	Deciduous	16	40'	20'	Large	Good	Low	Retain			
Rec	ommendation	Will not be impacted by	y construction	activities.		la contra c			:		NTS A		
85	3024059176	Western Hemlock Tsuga heterophylla	Evergreen conifer	12	20'	10'	Large	Good	Low	Retain	REVISION CITY COMMENTS		
Rec	commendation	Will not be impacted b	y construction	activities.	T.	3	1				A TE R. .20.23 CI		





HOA HOANG	7929 E MERCER WAY MERCER ISLAND WA 98040
	L. PIEDISCA



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DA TE 11.20.2 DRAFTED BY: RMF DESIGNED BY: RMF PROJECT ENGINEER: YLP DATE: **12.29.22** PROJECT NO.: 21125

DRAWING: C7

SHEET: **7** OF **7**

GENERAL SHORING NOTES

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

CRITERIA

- 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (IBC) 2018 EDITION
- 2. SOILS REPORT REFERENCE: GEOTECHNICAL ENGINEERING EVALUATION INTRACHAT-HOANG RESIDENCE DEVELOPMENT 7929 EAST MERCER WAY MERCER ISLAND, WASHINGTON PREPARED BY NELSON GEOTECHNICAL ASSOCIATES, INC. ON JANUARY 14, 2022. NGA FILE NO. 1276521
- 3. THE SOIL PRESSURES INDICATED ON THE SOIL PRESSURE DIAGRAM WERE USED FOR DESIGN, IN ADDITION TO THE DEAD AND LIVE LOADS.
- 4. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO ANY FABRICATION OR CONSTRUCTION FOR ALL STRUCTURAL ITEMS INCLUDING THE FOLLOWING: STRUCTURAL STEEL, MISCELLANEOUS METAL, TENDONS, ANCHORS, REINFORCING STEEL, GROUTS, AND CONCRETES PROPOSED DEMOLITION AND SHORING SEQUENCE SHALL ALSO BE SUBMITTED TO THE ENGINEER FOR APPROVAL
- 5. SHOP DRAWING REVIEW OF DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND (1)COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN (2) WEEKS OF RECEIPT. ONCE THE DRAWINGS HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE CONTRACT DOCUMENTS THEY WILL BE MARKED WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE STRUCTURAL DESIGN INTENT
- 6. INSPECTION BY THE SOILS ENGINEER SHALL BE PERFORMED FOR PILE PLACEMENT AND TIEBACK PLACING AND STRESSING. ALL PREPARED SOIL BEARING SURFACES SHALL BE INSPECTED BY THE SOILS ENGINEER PRIOR TO PLACEMENT OF PILE. SOIL COMPACTION SHALL BE SUPERVISED BY AN APPROVED TESTING AGENCY.
- 7. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110, 1704, AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION SHALL BE PROVIDED ON THE FOLLOWING TYPES OF CONSTRUCTION:

CONCRETE CONSTRUCTION STRUCTURAL STEEL FABRICATION AND ERECTION (INCLUDING FIELD WELDING AND HIGH-STRENGTH FIELD BOLTING) AUGERCAST, CAISSON, DRILLED, OR DRIVEN PILE INSTALLATION

- 8. THE SHORING CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO DRILLING PILE HOLES, TIEBACK ANCHORS, OR CUTTING OR DIGGING IN STREETS OR ALLEYS. THE UTILITIES INFORMATION SHOWN ON THE PLANS MAY BE NOT ACCURATE OR COMPLETE.
- 9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING STRUCTURES IN THE FIELD AND SHALL NOTIFY THE ENGINEER OF ALL FIELD CHANGES PRIOR TO FABRICATION AND INSTALLATION.

10.SEE SOILS REPORT FOR MORE COMPLETE INFORMATION, INCLUDING RECOMMENDATIONS FOR SHORING IN GENERAL, SHORING MONITORING, EXCAVATION, LAGGING, AND DRAINAGE.

11. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF CHAPTER 19 OF THE INTERNATIONAL BUILDING CODE. REQUIRED ULTIMATE COMPRESSIVE STRENGTH OF STRUCTURAL GROUT SHALL BE REACHED BY 28-DAY.

	(f'c)	MINIMUM CEMENT PER CUBIC YARD	
PILE LEAN CONCRETE	100 PSI	1-1/2 SACKS	
12.ALL LUMBER SHALL BE GRADED AND RULES FOR WEST COAST LUMBER NO			
4x12 TIMBER LAGGING	DOUGLAS F	IR-LARCH NO 2	Fb = 900 PSI
6x TIMBER LAGGING	DOUGLAS F	IR-LARCH NO 2	Fb = 875 PSI

TIMBER LAGGING SHALL BE TREATED PER AWPA STANDARDS TO A MINIMUM RETENTION OF 0.40 PCF. LAGGING SHALL BE 4x12, UNO.

13.STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:

A. AISC 360 AND CHAPTER 22 OF THE INTERNATIONAL BUILDING CODE

B. APRIL 14, 2010 AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, AMENDED AS NOTED IN THE CONTRACT DOCUMENTS, BY THE DELETION OF PARAGRAPH 4.4.1, AND REVISE REFERENCE FROM "STRUCTURAL DESIGN DRAWINGS" TO "CONTRACT DOCUMENTS" IN PARAGRAPH 3.1.

C. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.

14.STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

TYPE OF MEMBER	ASTM SPECIFICATION	Fy
A. WIDE FLANGE SHAPES	A992	50 KSI
B. OTHER SHAPES, PLATES, AND RODS		36 KSI
C. HP-SHAPES	A572 (GRADE 50)	50 KSI
D. STRUCTURAL PIPE E. HOLLOW STRUCTURAL SECTIONS	A53 (GRADE B)	35 KSI
SQUARE OR RECTANGULAR	A500 (GRADE B)	46 KSI
ROUND	A500 (GRADE B)	42 KSI
 F. CONVENTIONAL HIGH-STRENGTH BOLTS (3/4" ROUND, UNO) 	A325	
G. COMMON BOLTS (WOOD APPLICATIONS)	A307	
H. ANCHOR BOLTS	F1554, GRADE 36	
I. HEADED SHEAR STUDS	A108	

15. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES(F) AND 40 FT-LBS AT 70 DEGREES(F), AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.

SHORING MONITORING

GEOTECHNICAL SPECIAL INSPECTOR BUT AT A MINIMUM SHALL INCLUDE THE FOLLOWING:

ESTABLISH SURVEY LINES NEAR THE TOP OF THE WALL ON ADJACENT CRITICAL STRUCTURES OR BUILDINGS WITHIN A DISTANCE EQUAL TO TWO TIMES THE HEIGHT OF THE WALL, AND ALONG THE CURB LINE AND CENTERLINE OF ADJACENT ROADWAYS OR ALLEYS. SURVEY POINTS SHOULD BE SPACED NO MORE THAN EVERY 20'-0" ALONG THE WALL. AT SOLDIER PILES, PLACE MONITORING POINTS AT THE TOP OF AT LEAST EVERY OTHER SOLDIER PILE. ESTABLISH A BASELINE READING OF MONITORING POINTS ON THE GROUND SURFACE AND SETTLEMENT-SENSITIVE STRUCTURES BEHIND THE SHORING WALL PRIOR TO DEWATERING, EXCAVATION, AND INSTALLATION OF THE SHORING SYSTEM. THE GEOTECHNICAL ENGINEER, CONTRACTOR, AND SURVEYOR SHALL COORDINATE LOCATIONS OF THESE MONITORING POINTS PRIOR TO THE BEGINNING OF EXCAVATION.

A LICENSED SURVEYOR THAT IS NOT THE CONTRACTOR MUST PERFORM THE SURVEYING AT LEAST ONCE A WEEK. MONITORING POINTS ESTABLISHED ALONG THE CURB LINE AND CENTERLINE OF ADJACENT ROADWAYS NEED TO BE MONITORED WHEN TOTAL WALL MOVEMENTS REACH 0.5". THE GEOTECHNICAL ENGINEER SHALL REVIEW SURVEY DATA AND PROVIDE AN EVALUATION OF WALL PERFORMANCE AND THE SURVEY DATA TO THE STRUCTURAL ENGINEER, SHORING DESIGNER, AND BUILDING DEPARTMENT ON AT LEAST A WEEKLY BASIS. THIS WEEKLY REVIEW MUST CONTAIN A GRAPHICAL PRESENTATION OF THE WALL MOVEMENT VERSUS TIME.

IMMEDIATELY AND DIRECTLY NOTIFY THE GEOTECHNICAL AND STRUCTURAL ENGINEER, SHORING DESIGNER, AND BUILDING DEPARTMENT IF UNUSUAL OR SIGNIFICANTLY INCREASED MOVEMENT OCCURS, IF 0.5" OF MOVEMENT OCCURS BETWEEN (2) CONSECUTIVE READINGS AND WHEN TOTAL MOVEMENT REACHES 0.5". IF MOVEMENT EXCEEDS 0.5", THE ENGINEERS AND SHORING DESIGNER SHALL DETERMINE THE CAUSE OF DISPLACEMENT AND DEVELOP REMEDIAL MEASURES SUFFICIENT TO LIMIT TOTAL WALL MOVEMENT TO 1". ALL EARTHWORK AND CONSTRUCTION ACTIVITIES MUST BE DIRECTED TOWARD IMMEDIATE IMPLEMENTATION OF REMEDIAL MEASURES NECESSARY TO LIMIT TOTAL WALL MOVEMENT TO WHAT IS CONSIDERED AS ACCEPTABLE BY THE DESIGN TEAM, AND BUILDING DEPARTMENT (1" MAXIMUM).

SURVEY FREQUENCY CAN BE DECREASED AFTER THE SHORING SYSTEM HAS BEEN INSTALLED AND THE EXCAVATION IS COMPLETE IF THE DATA INDICATES LITTLE OR NO ADDITIONAL MOVEMENT. SURVEYING MUST CONTINUE UNTIL THE PERMANENT STRUCTURE (INCLUDING FLOOR SLABS AND BRACES) IS COMPLETED UP TO FINAL AND STREET GRADES. THE SURVEY FREQUENCY SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER, AFTER REVIEW AND APPROVAL BY BUILDING DEPARTMENT, AND SHALL BE BASED ON THE SHORING PERFORMANCE.

CONTRACTOR SHALL COMPLETE A PHOTO SURVEY OF ALL STRUCTURES WITHIN A DISTANCE EQUAL TO TWO TIMES THE HEIGHT OF THE WALL PRIOR TO DEWATERING, EXCAVATION, AND INSTALLATION OF THE SHORING SYSTEM. THE PHOTO SURVEY SHALL INCLUDE BUT IS NOT LIMITED TO DOCUMENTING THE NEIGHBORING BUILDINGS, FOUNDATION WALLS, RETAINING WALLS, FREESTANDING WALLS, SIDEWALKS, DRIVE SURFACES, AND THE ENTIRE FAÇADE OF MASONRY STRUCTURES. ALL EXISTING CRACKS SHOULD BE MEASURED AND DOCUMENTED. PROVIDE VIBRATION MONITORING PER GEOTECHNICAL RECOMMENDATIONS AS REQUIRED.

PILE AND LAGGING CONSTRUCTION

- 17. SHORING AND SOIL EXCAVATION SHALL BE DONE SIMULTANEOUSLY.
- TO FABRICATION.
- 19. PILE AND ANCHOR HOLES SHALL BE DRILLED WITHOUT LOSS OF GROUND AND WITHOUT INVESTIGATION FOR RECOMMENDED HOLE DIGGING PROCEDURE.

20.STEEL PILE PLACEMENT TOLERANCES:

- 1" INSIDE PERPENDICULAR TO SHORING WALL 1" OUTSIDE PERPENDICULAR TO SHORING WALL 3" LATERALLY
- TAKEN TO AVOID GROUND LOSS DURING EXCAVATION.

SHORING

22. PRESTRESSING STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

- A. DYWIDAG THREADED BARS SHALL CONFORM TO ASTM SPECIFICATION A-722 FOR HOT ROLLED, PROOF STRESSED ALLOY STEEL, pfu = 150 KSI.
- B. UNCOATED (7) WIRE STRESS RELIEVED STRAND SHALL CONFORM TO ASTM A416, GRADE 270.
- 23.TIEBACK INSTALLATION AND PRESTRESSING SHALL BE COMPLETED PRIOR TO EXCAVATING MORE THAN 2'-0" BELOW TIEBACK LEVEL.
- 24.TIEBACKS SHALL REMAIN STRESSED UNTIL ALL PERMANENT STRUCTURES ARE IN PLACE.
- 25. ALL TIEBACKS SHALL BE DESTRESSED UPON THE COMPLETION OF THE PROJECT.
- 26. VERIFICATION TESTS SHALL BE PROVIDED AS FOLLOWS:
- A. 200% VERIFICATION TESTS SHALL BE CONDUCTED ON AT LEAST (2) ANCHORS IN EACH PARTICULAR SOIL TYPE. A MINIMUM OF (4) ANCHORS SHALL BE SELECTED BY THE GEOTECHNICAL ENGINEER FOR TESTING DURING THE COURSE OF CONSTRUCTION.
- B. THE MAXIMUM STRESS IN PRESTRESSING STEEL SHALL NOT EXCEED 80% OF THE ULTIMATE TENSILE STRENGTH DURING PERFORMANCE TESTING. PILES AND TIEBACKS MAY REQUIRE EXTRA REINFORCEMENT TO PERMIT STRESSING TO 200% OF DESIGN LOAD AS REQUIRED BY THE VERIFICATION TEST.
- BY THE GEOTECHNICAL ENGINEER.

16.SURVEY MONITORING OF THE SHORING WALLS SHALL BE PERFORMED TO DETERMINE THE VERTICAL AND HORIZONTAL MOVEMENT OF THE MONITORING POINTS. THE MEASURING SYSTEM SHALL HAVE AN ACCURACY OF AT LEAST 0.01 FEET. THE MONITORING PROGRAM SHALL BE DETERMINED BY THE

18. DIMENSIONS AND LOCATION OF EXISTING STRUCTURES SHALL BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF ANY STRUCTURAL MEMBER. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR

ENDANGERING PREVIOUSLY INSTALLED PILES AND ANCHORS. THIS MAY INVOLVE CASING THE HOLES OR OTHER METHODS OF PROTECTION FROM CAVING. REFER TO REPORT OF GEOTECHNICAL

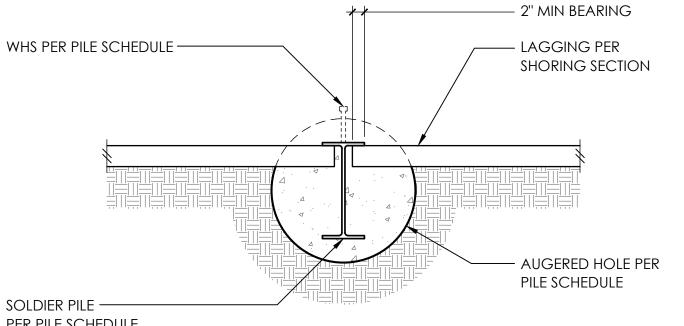
21.TIMBER LAGGING SHALL BE INSTALLED IN ALL AREAS. VOIDS BETWEEN LAGGING AND SOIL SHALL BE BACKFILLED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. IF CDF BACKFILL IS USED LIMIT LIFTS TO A MAXIMUM HEIGHT OF 2'-0". DRAINAGE BEHIND THE WALL MUST BE MAINTAINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LIMIT THE AMOUNT OF EXPOSED SOIL WITHOUT LAGGING TO AVOID LOSS OF SOIL. MAXIMUM HEIGHT OF 4'-0" IS RECOMMENDED. SPECIAL CARE SHOULD BE

C. THE VERIFICATION TESTS SHALL MEASURE ANCHOR STRESS AND DISPLACEMENT INCREMENTALLY TO VALUES OF UNIT SKIN FRICTION EQUAL TO 200% OF THE DESIGN STRESS. THE ANCHOR SHALL BE LOADED IN 10% INCREMENTS WITH EACH INCREMENT HELD FOR AT LEAST (5) MINUTES. THE FINAL FINAL MAXIMUM TEST LOAD SHALL BE MAINTAINED FOR A PERIOD OF AT LEAST (30) MINUTES. MEASUREMENTS OF MOVEMENT SHALL BE OBTAINED WITH A MEASURING SYSTEM WITH AN ACCURACY OF AT LEAST 0.01 FEET. TEST ANCHORS SHALL HOLD THE MAXIMUM TEST UNIT STRESS WITHOUT NOTICEABLE CREEP AND EXHIBIT A LINEAR OR NEAR LINEAR RELATIONSHIP BETWEEN UNIT ANCHOR STRESS AND MOVEMENT OVER THE ENTIRE 200% STRESS RANGE. NOTICEABLE CREEP SHALL BE DEFINED AS A RATE OF MOVEMENT OF APPROXIMATELY 0.08"/LOG CYCLE OF TIME. TESTS SHALL BE PERFORMED WITHOUT THE BACKFILL AHEAD OF THE ANCHOR TO AVOID ANY CONTRIBUTORY RESISTANCE BY THE BACKFILL, UNLESS APPROVAL TO THE CONTRARY IS GRANTED

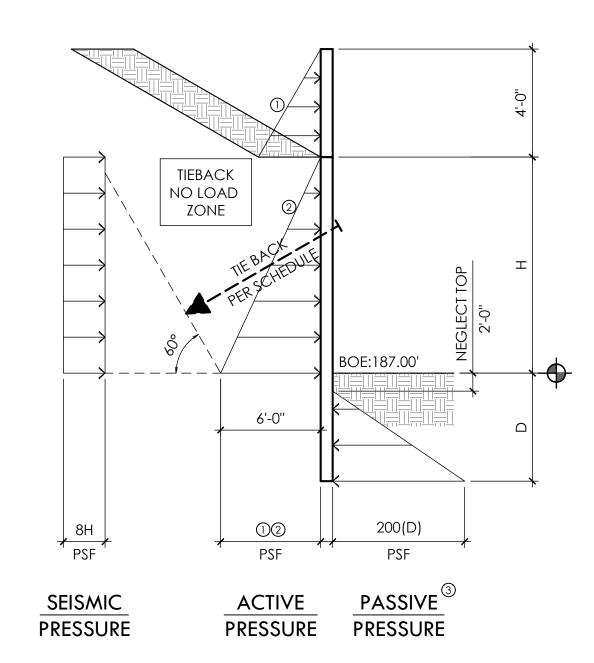
27.PRODUCTION ANCHORS:

- A. EACH PRODUCTION ANCHOR SHALL BE PROOF-LOADED TO 130% OF THE DESIGN LOAD AND SHALL SUSTAIN THE PROOF LOAD WITHOUT NOTICEABLE CREEP OR EXCESSIVE ANCHOR MOVEMENT FOR (5) MINUTES. THE ANCHOR SHALL BE LOADED IN INCREMENTS OF 25% OF THE DESIGN LOAD, WITH EACH LOAD HELD FOR AT LEAST (5) MINUTES, IN ORDER TO OBTAIN A STABLE DISPLACEMENT MEASUREMENT.
- B. MOVEMENT OF THE ANCHOR IN EXCESS OF 3" SHALL BE CONSIDERED INDICATIVE OF DEFICIENCIES IN THE INSTALLATION. TOTAL MOVEMENT OF AN ANCHOR IN EXCESS OF 6" SHALL BE CONSIDERED A FAILURE REQUIRING A REPLACEMENT ANCHOR. TOTAL MOVEMENT OF AN ANCHOR BETWEEN 3" AND 6" SHALL BE REVIEWED BY THE GEOTECHNICAL AND STRUCTURAL ENGINEER TO DETERMINE IF A REPLACEMENT ANCHOR IS REQUIRED.
- C. FOLLOWING PROOF LOADING, EACH ANCHOR SHALL BE LOCKED OFF AT 100% OF DESIGN LOADING.

FOR ABBREVIATIONS SEE 2/SH1.0







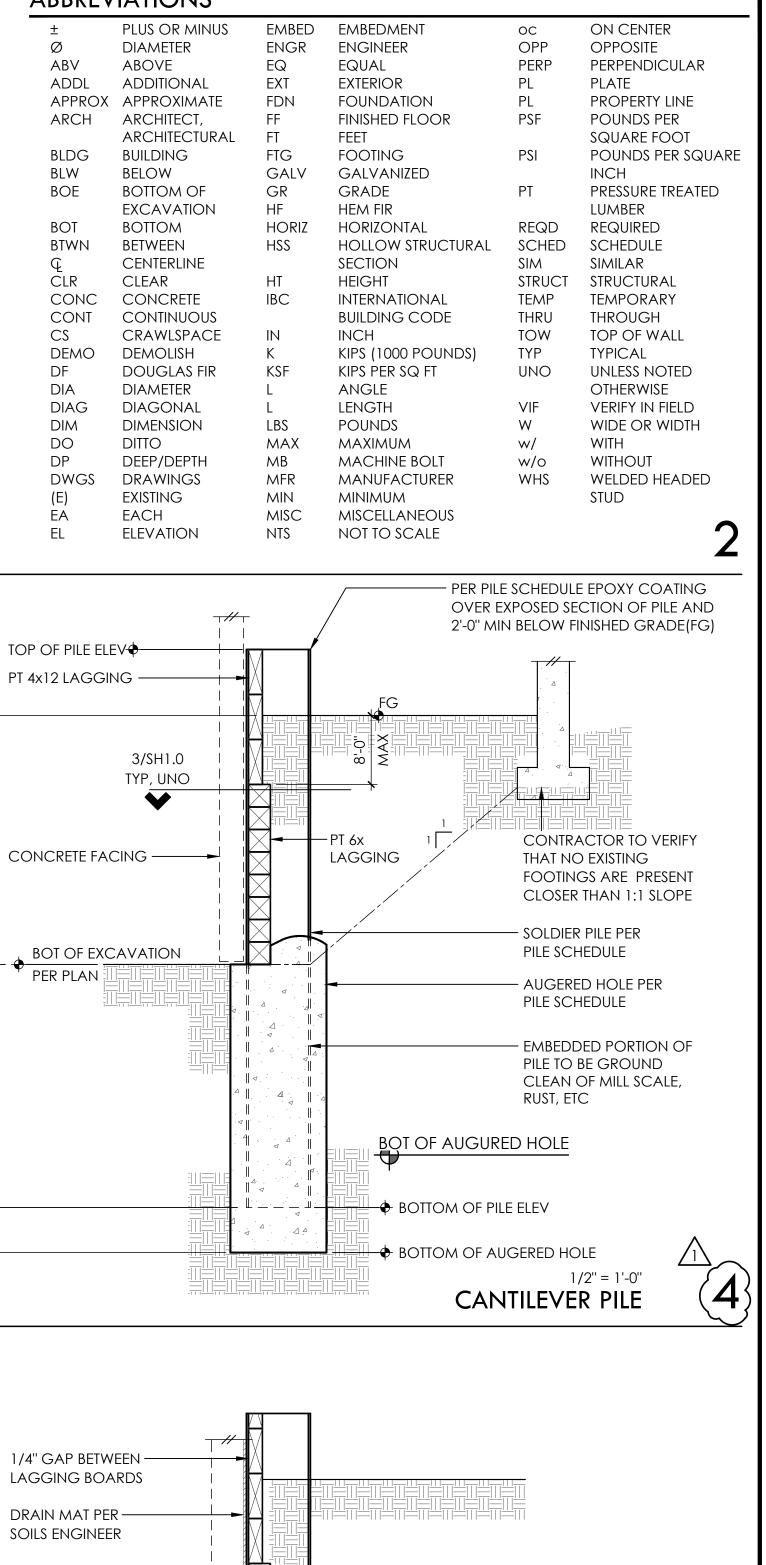
① CATCHMENT SURCHARGE - 100 PSF ② ACTIVE PRESSURE - 65H PSF ③ PASSIVE PRESURE INCLUDE A FS = 2.0

PILE LOADING DIAGRAM

ABBREVIATIONS

DRAINAGE COLLECTOR -

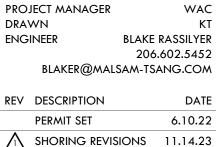
PIPE TIGHT-LINED TO ----STORM DRAINAGE SYSTEM





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WARMMODERN LIVING 206.214.5190

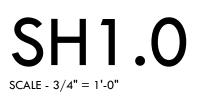
SHORING GENERAL NOTES AND DETAILS

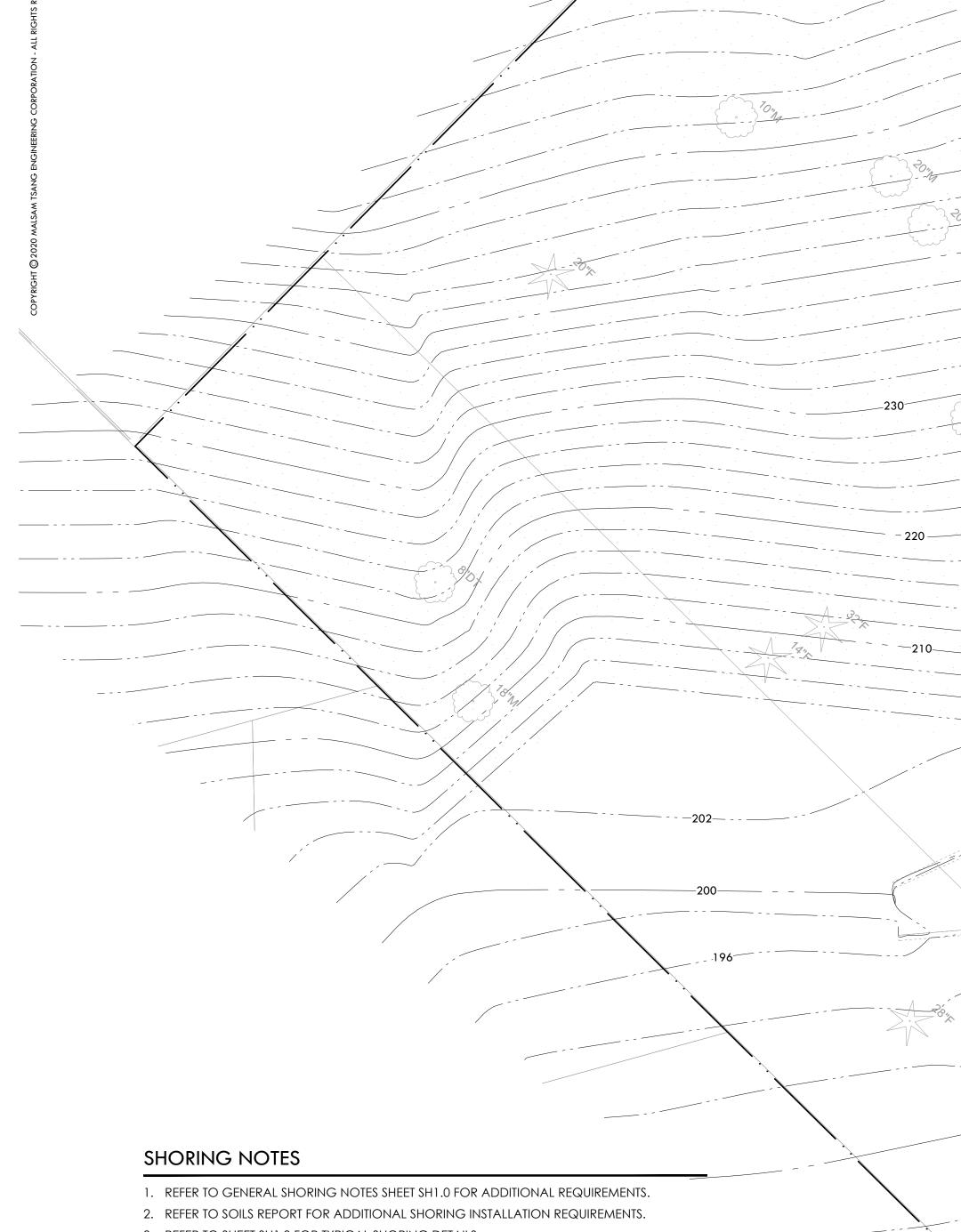
ARCH

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1/2'' = 1'-0''

TYPICAL SHORING DRAINAGE





- 3. REFER TO SHEET SH1.0 FOR TYPICAL SHORING DETAILS.
- 4. CONTRACTOR TO VERIFY ALL ELEVATIONS AND DIMENSIONS WITH ARCHITECTURAL
- DRAWINGS, SURVEY DRAWINGS, AND EXISTING SITE CONDITIONS. 5. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS

5.	DO NOT SCALE DRAWINGS.	REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

	DRILLED PILE
P	PILE MARK
BOE	BOTTOM OF EXCAVATION
TOW	TOP OF WALL
FF	FINISH FLOOR
FG	FINISH GRADE
>	SLOPING EXCAVATION (1.0H: 1.0V MAX)
⊢-►	TIEBACK SHORING PER 12/SH3.0 w/ REQUIRED ALLOWABLE TENSION LOAD PER SHORING SCHEDULE
• <u>0.0'</u>	SPOT ELEVATION

LEGEND





929 E MERCER WAY MERCER ISLAND, WA



PROJECT NO5438-2022-01-02PROJECT MANAGERWACDRAWNKTENGINEERBLAKE RASSILYER206.602.5452BLAKER@MALSAM-TSANG.COMREVDESCRIPTIONDATEPERMIT SET6.10.22A SHORING REVISIONS11.14.23

WARMMODERN LIVING 206.214.5190

SHORING AND EXCAVATION PLAN

ARCH

SCALE - 1/8" = 1'-0"

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SHORING PILE SCHEDULE 12

PILE MARK	AUGER DIA	PILE SIZE	BOT OF PILE ELEV	BOT OF EXCAV	TOP OF PILE ELEV	TIEBACK ELEV	TIEBACK FORCE (KIPS)	TIEBACK ANGLE (DEG)	TIEBACK MIN BOND LENGTH	TIEBACK MIN TOTAL LENGTH	Max Height 'h'	MIN DEPTH 'D'	EPOXY COATING	WELDED STUDS ③	CONDITION	ТҮРЕ	LOADING DIAGRAM	DETAIL
P101	24''	W14x68	177.5'	196.0'	204.0'	-	-	-	-	-	10.0'	18.5'	YES	YES	PERMANENT	CANTILEVER	5/SH1.0	4/SH1.0, 4/SH3.0
P102	24''	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P103	24''	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P104	24''	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P105	24''	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P106	24''	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P107	24''	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P108	24''	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P109	24''	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.0
P110	24"	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.
P111	24''	W10x39	172.0'	187.0'	204.0'	196.0'	40.0'	15°	17.0'	26.0'	17.0'	15.0'	YES	YES	PERMANENT	TIEBACK	5/SH1.0	4/SH1.0, 4/SH3.0, 12/SH3.
P112	24"	W14x68	177.5'	196.0'	204.0'	-	-	-	-	-	10.0'	18.5'	YES	YES	PERMANENT	CANTILEVER	5/SH1.0	4/SH1.0, 4/SH3.0

CONTRACTOR SHALL REFERENCE TOP OF PILE AND BOTTOM OF PILE ELEVATIONS FOR DETERMINING TOTAL LENGTH OF PILE
 HEIGHT 'H' AND DEPTH 'D' LENGTH IS FOR ENGINEERING REFERENCE PURPOSES ONLY

3 3/4"Ø x 6" WELDED HEADED STUDS (WHS) AT 16"oc



7929 E MERCER WAY MERCER ISLAND, WA

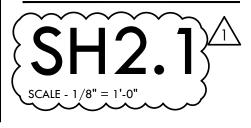


PROJECT NO5438-2022-01-02PROJECT MANAGERWACDRAWNKTENGINEERBLAKE RASSILYER206.602.5452BLAKER@MALSAM-TSANG.COMREVDESCRIPTIONDATEPERMIT SET6.10.22MSHORING REVISIONS11.14.23

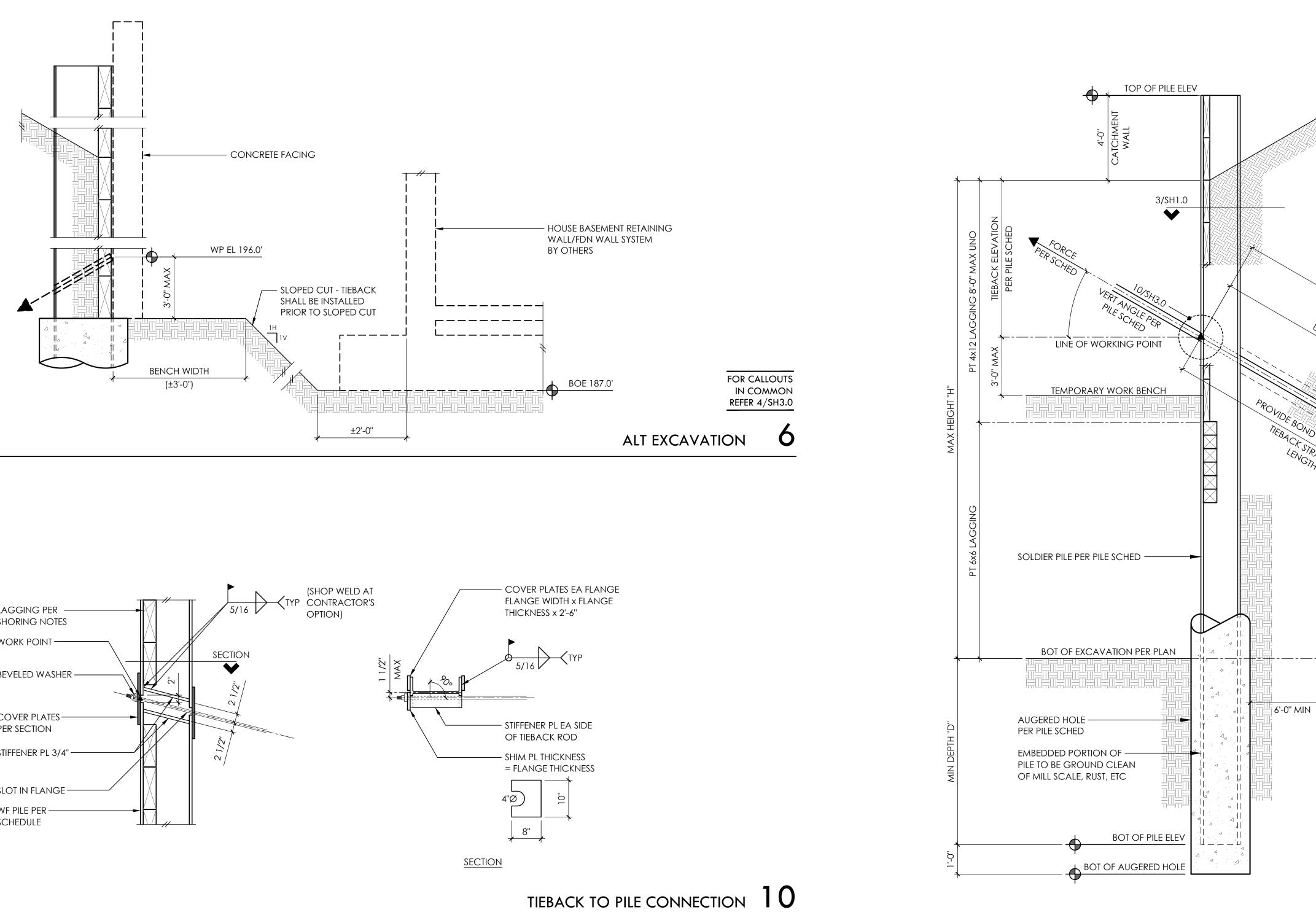
WARMMODERN LIVING 206.214.5190

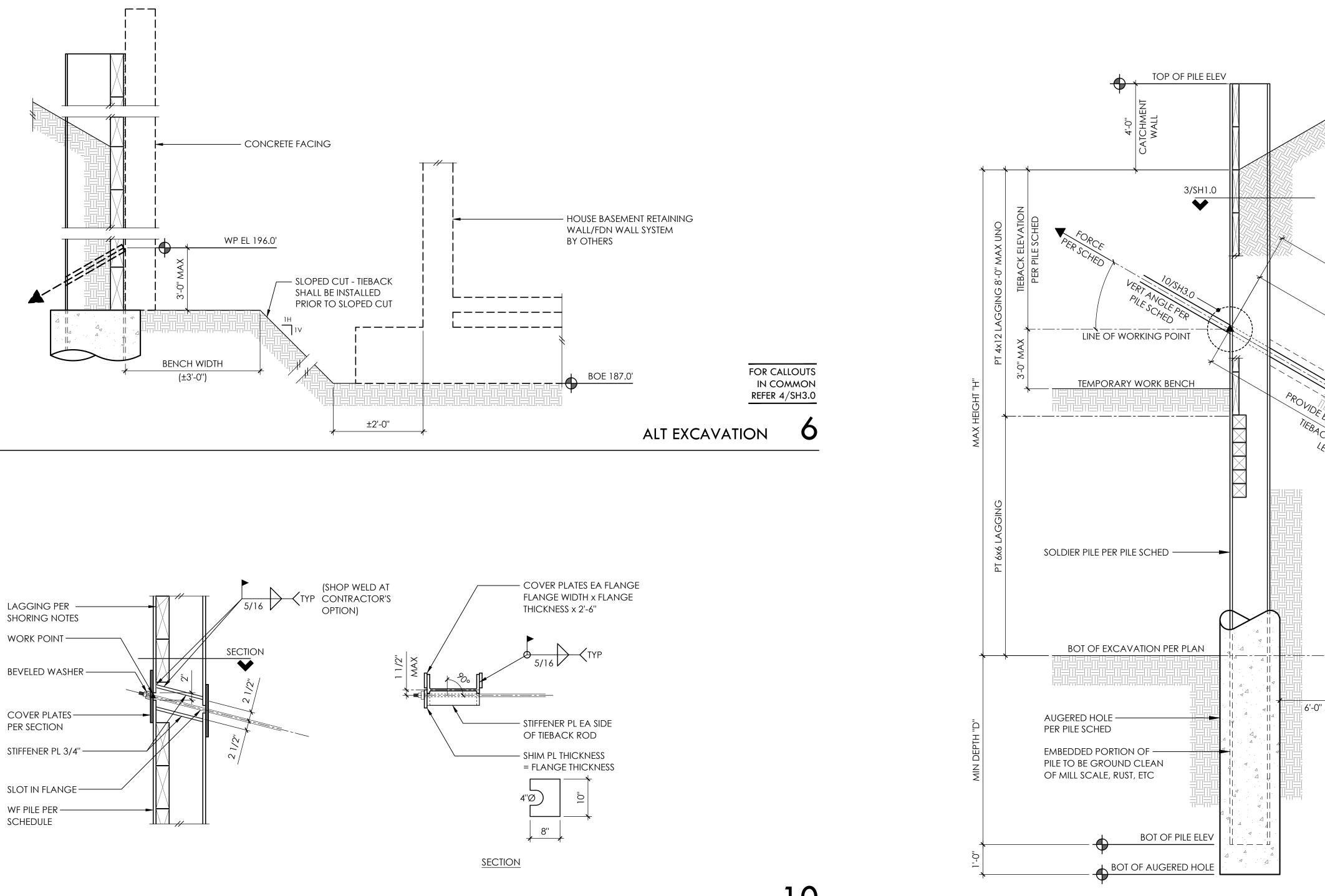
PILE SCHEDULE

ARCH



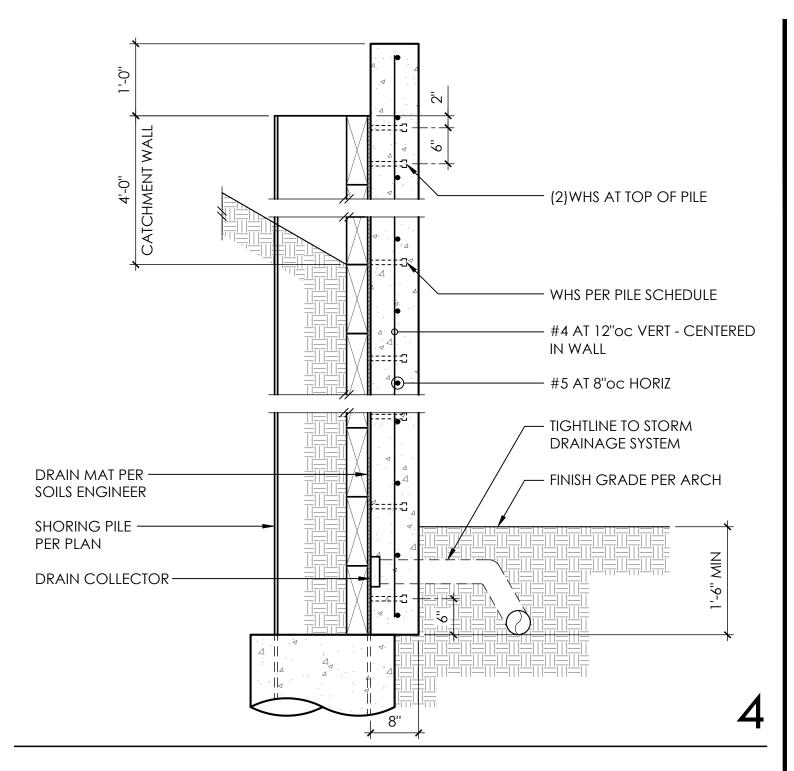
PILE SCHEDULE





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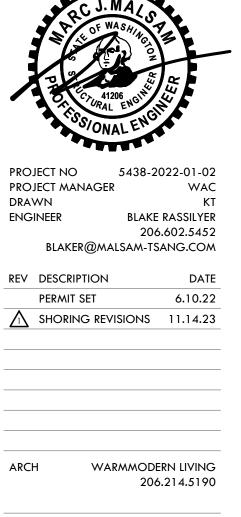
MOF TIEBACL

TIEBACK CENTRALIZERS AT 10'-0"oc MAX-AND (1)EA WITHIN 2'-0" OF TOP AND 1'-0" OF BOTTOM OF BONDED ZONE

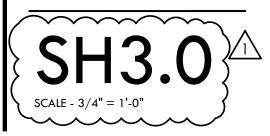
PER PILE SCHEDULF



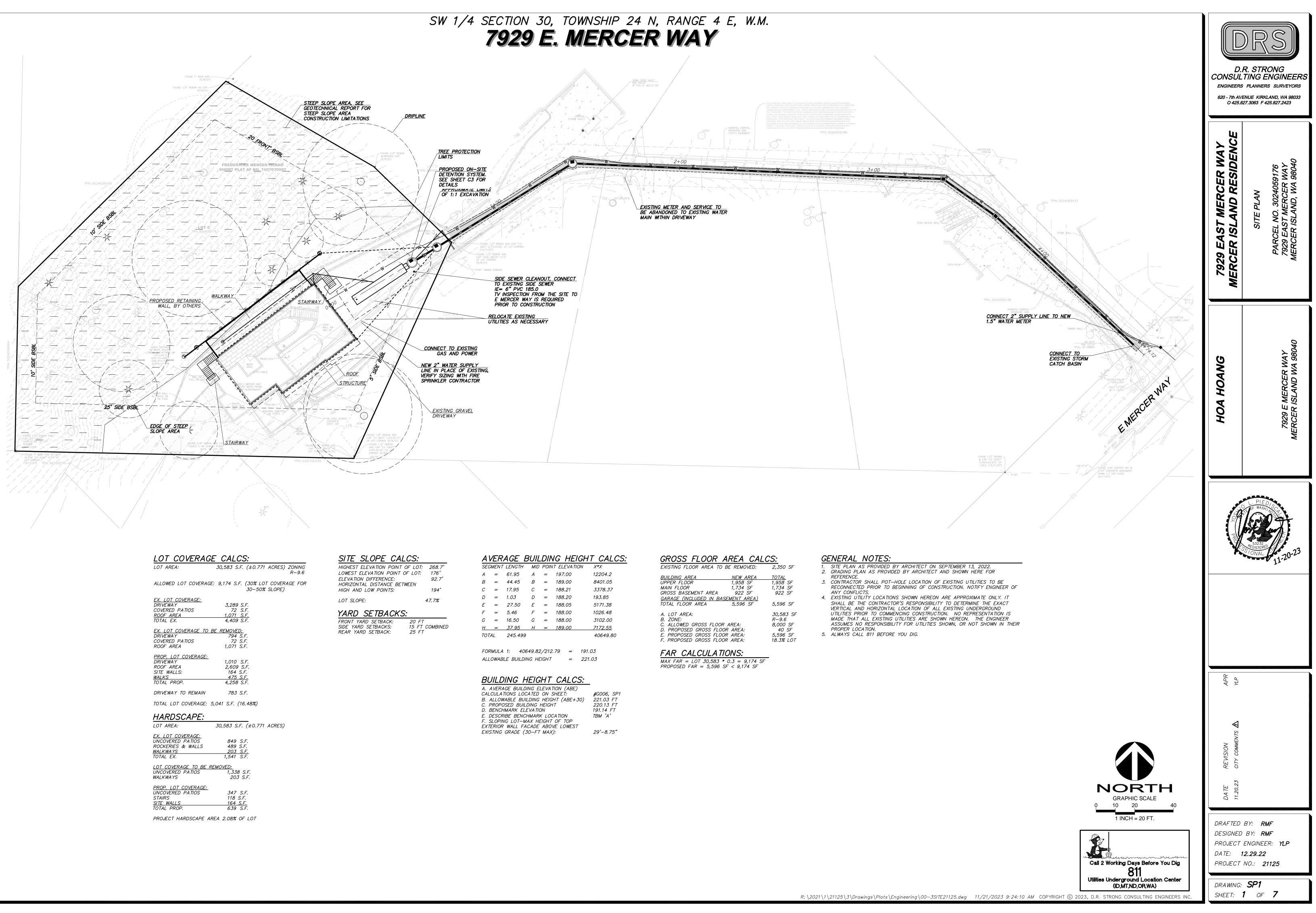
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TYPICAL TIEBACK DETAILS



1/2" = 1'-0" TIEBACK PILE

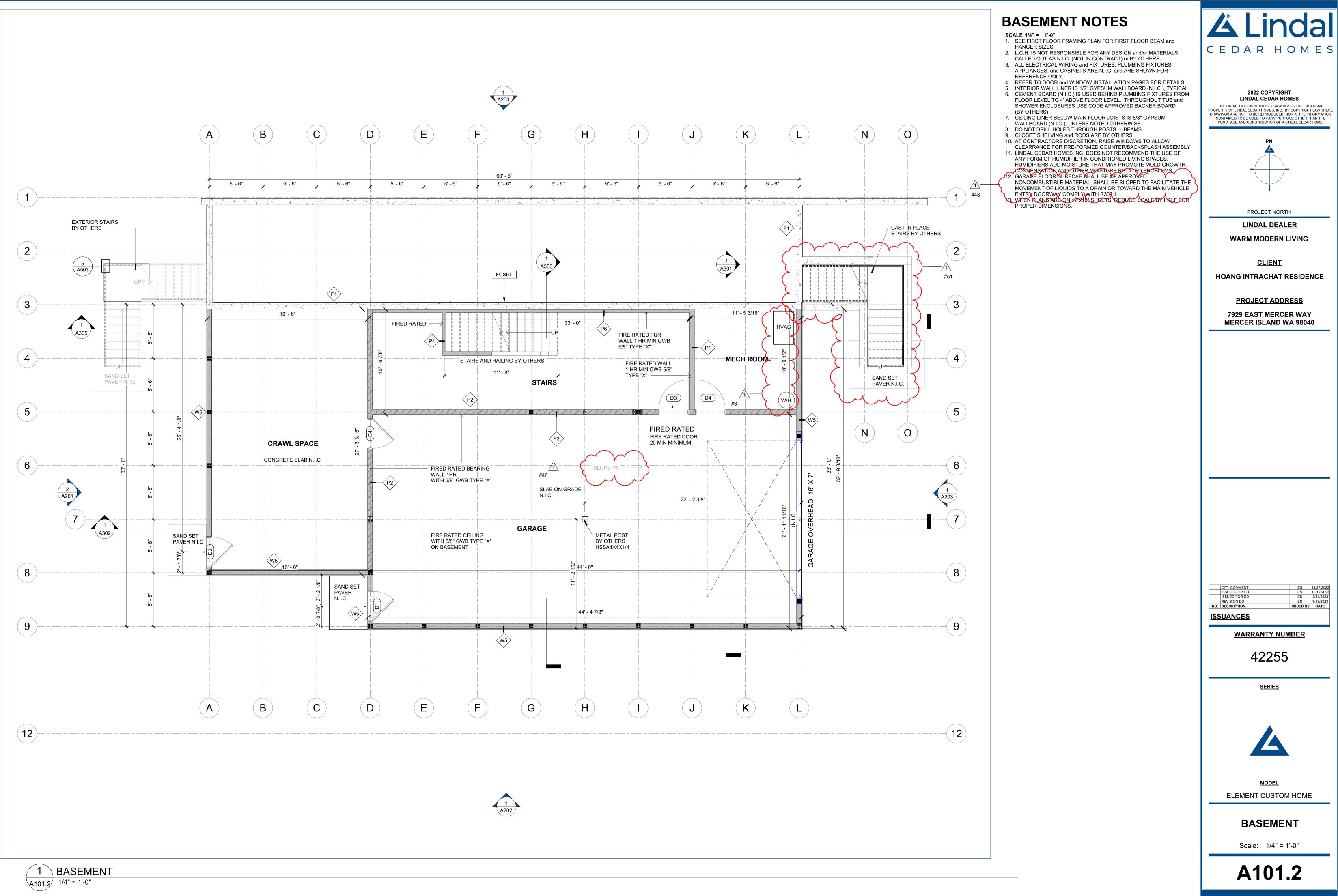


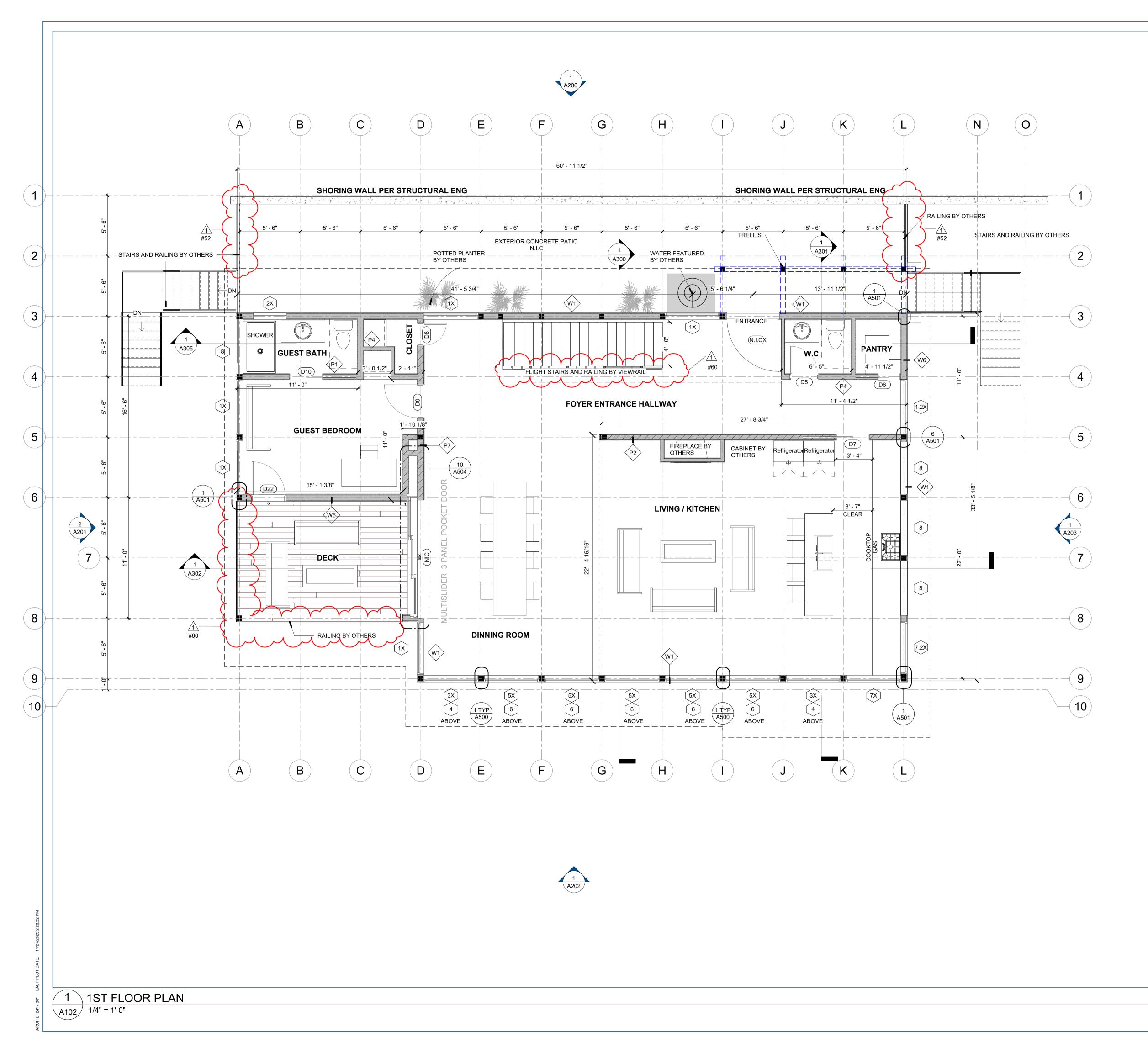
LOT AREA:	30,583 S.F. (±0.771 ACRES) Z H
ALLOWED LOT COVERAG	E: 9,174 S.F. (30% LOT COVERAG 30—50% SLOPE)
<u>EX. LOT COVERAGE:</u>	
DRIVEWAY	3,289 S.F.
COVERED PATIOS ROOF AREA	72 S.F. <u>1,071 S.F.</u>
TOTAL EX.	4,409 S.F.
EX. LOT COVERAGE TO	
DRIVEWAY COVERED PATIOS	794 S.F. 72 S.F.
ROOF AREA	1,071 S.F.
PROP. LOT COVERAGE:	
DRIVEWAY ROOF AREA	1,010 S.F. 2,609 S.F.
SITE WALLS:	164 S.F.
WALKS	<u>475 S.F.</u>
TOTAL PROP.	4,258 S.F.
DRIVEWAY TO REMAIN	783 S.F.
TOTAL LOT COVERAGE:	5,041 S.F. (16.48%)
HARDSCAPE:	
LOT AREA:	30,583 S.F. (±0.771 ACRES)
<u>EX. LOT COVERAGE:</u> UNCOVERED PATIOS	849 S.F.
ROCKERIES & WALLS	489 S.F.
WALKWAYS	<u>203 S.F.</u>
TOTAL EX.	1,541 S.F.
LOT COVERAGE TO BE I	
UNCOVERED PATIOS WALKWAYS	1,338 S.F. 203 S.F.
	203 3.1.
<u>PROP. LOT COVERAGE:</u> UNCOVERED PATIOS	347 S.F.
STAIRS	547 S.F. 118 S.F.
<u>SITE WALLS</u>	<u>164 S.F.</u>
TOTAL PROP.	639 S.F.

A	VER	PAGE E	BUIL	DIN	IG HEIGH	HT CALCS:
SEC	GMENT	T LENGTH	MID	POIN	IT ELEVATION	X*X
Α	=	61.95	Α	=	197.00	12204.2
В	=	44.45	В	=	189.00	8401.05
С	=	17.95	С	=	188.21	3378.37
D	=	1.03	D	=	188.20	193.85
Ε	=	27.50	Ε	=	188.05	5171.38
F	=	5.46	F	=	188.00	1026.48
G	=	16.50	G	=	188.00	3102.00
<u>H</u>		37.95	H		<u>189.00</u>	<u>7172.55</u>
ΤΟΤ	AL	245.499				40649.80

	_
A. AVERAGE BUILDING ELEVATION (ABE)	_
CALCULATIONS LOCATED ON SHEET:	#G006, S
B. ALLOWABLE BUILDING HEIGHT (ABE+30)	221.03 F
C. PROPOSED BUILDING HEIGHT	220.13 F
D. BENCHMARK ELEVATION	191.14 FT
E. DESCRIBE BENCHMARK LOCATION	TBM 'A'
F. SLOPING LOT-MAX HEIGHT OF TOP	
EXTERIOR WALL FACADE ABOVE LOWEST	
EXISTING GRADE (30-FT MAX):	29 ' –8.75

GROSS FLOOR	AREA CAL	<u>CS:</u>
EXISTING FLOOR AREA TO) BE REMOVED:	2,350 \$
BUILDING AREA	NEW AREA	TOTAL
UPPER FLOOR	1,958 SF	1,958 S
MAIN FLOOR	1,734 SF	1,734 S
GROSS BASEMENT AREA	922 SF	<i>922</i> S
GARAGE (INCLUDED IN BA	SEMENT AREA)	
TOTAL FLOOR AREA	5,596 SF	5,596 \$





1ST FLOOR NOTES

SCALE 1/4" = 1'-0"
1. SEE SECOND FLOOR FRAMING PLAN FOR SECOND FLOOR BEAM and HANGER SIZES.

- L.C.H. IS NOT RESPONSIBLE FOR ANY DESIGN and/or MATERIALS CALLED OUT AS N.I.C. (NOT IN CONTRACT) or BY OTHERS.
 ALL ELECTRICAL WIRING and FIXTURES, PLUMBING FIXTURES, APPLIANCES, and CABINETS ARE N.I.C. and ARE SHOWN FOR
- REFERENCE ONLY.
 REFER TO DOOR and WINDOW INSTALLATION PAGES FOR DETAILS.
 INTERIOR WALL LINER IS 1/2" GYPSUM WALLBOARD (N.I.C.), TYPICAL. CEMENT BOARD (N.I.C.) IS USED BEHIND PLUMBING FIXTURES FROM FLOOR LEVEL TO 4' ABOVE FLOOR LEVEL. THROUGHOUT TUB and SHOWER ENCLOSURES USE CODE APPROVED BACKER BOARD (N.I.C.)
- INTERIOR ROOF LINER IS 5/8" GYPSUM WALLBOARD (N.I.C.), UNLESS NOTED OTHERWISE.
- 7. CEILING LINER BELOW SECOND FLOOR JOISTS IS 5/8" GYPSUM WALLBOARD (N.I.C.), UNLESS NOTED OTHERWISE.
- 8. DO NOT DRILL HOLES THROUGH POSTS or BEAMS.

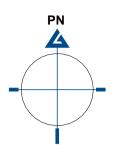
PROPER DIMENSIONS.

- CLOSET SHELVING and RODS ARE BY OTHERS.
 AT CONTRACTORS DISCRETION, RAISE WINDOWS TO ALLOW CLEARANCE FOR PRE-FORMED COUNTER/BACKSPLASH ASSEMBLY.
 LINDAL CEDAR HOMES INC. DOES NOT RECOMMEND THE USE OF ANY FORM OF HUMIDIFIER IN CONDITIONED LIVING SPACES. HUMIDIFIERS ADD MOISTURE THAT MAY PROMOTE MOLD GROWTH,
- CONDENSATION AND OTHER MOISTURE RELATED PROBLEMS.
 12. RECESSED CANISTER LIGHTING IS NOT TO BE INSTALLED IN ANY INSULATED
 13. CATHEDRAL CEILING. THE USE OF RECESSED, CANISTER LIGHTING
- CATHEDRAL CEILING. THE USE OF RECESSED, CANISTER LIGHTING REDUCES THE ROOF'S ABILITY TO PERFORM PROPERLY BY INTRODUCING A HEAT SOURCE DIRECTLY INTO THE ROOF CAVITY.
 WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR



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PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040

ISSUANCES			
NO.	DESCRIPTION	ISSUED BY	DATE
	REVISION DD	ES	7/18/2023
	ISSUED FOR DD	ES	8/31/2023
	ISSUED FOR CD	ES	10/19/2023
1	CITY COMMENT	ES	11/27/2023

WARRANTY NUMBER

42255

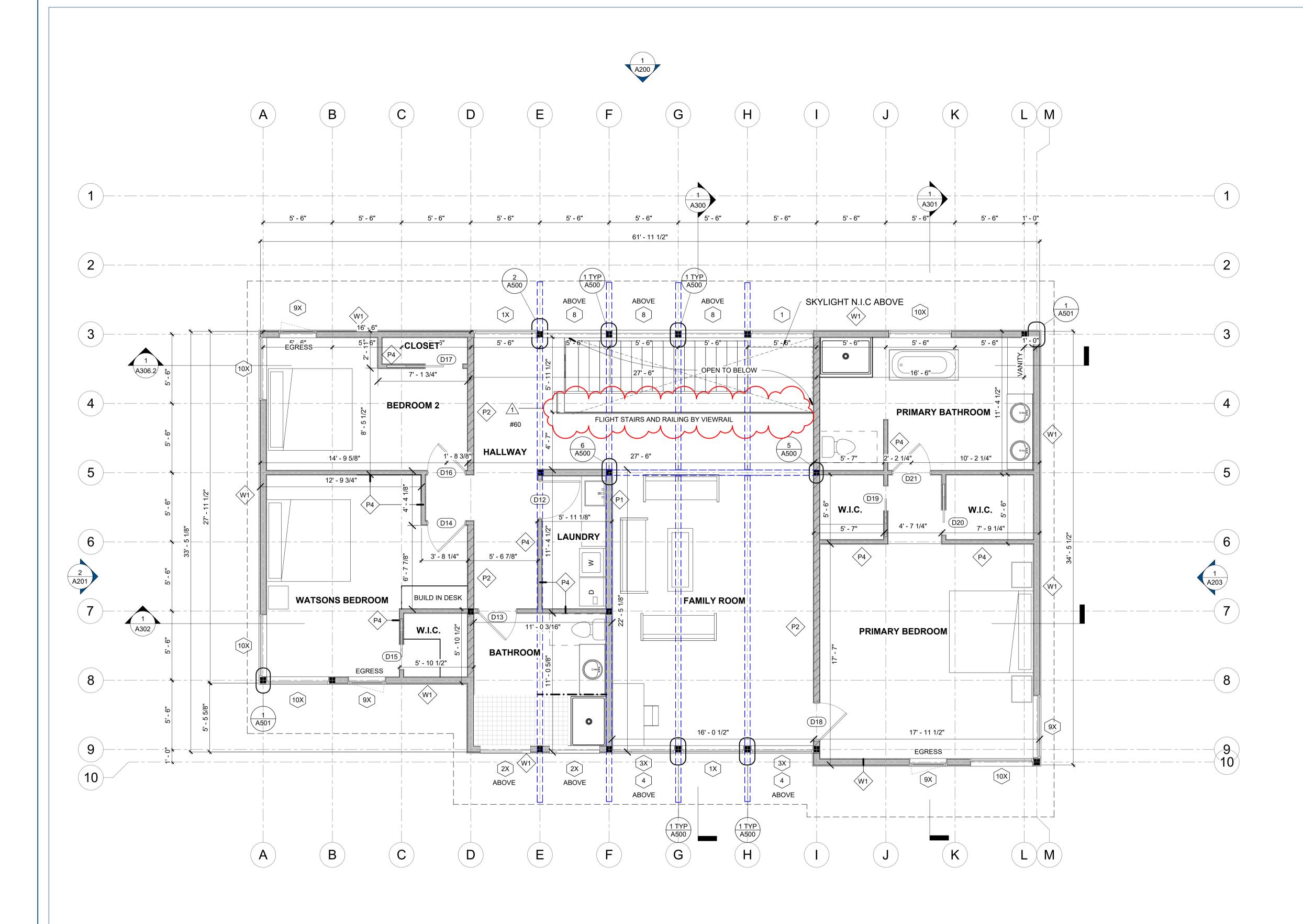
<u>SERIES</u>



MODEL ELEMENT CUSTOM HOME

FIRST FLOOR PLAN





H D 24" x 36" LAST PLOT DATE: 11/27/2023 2:28:

1 A202

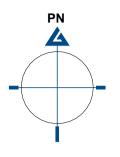
2ND FLOOR NOTES

- SCALE 1/4" = 1'-0"
 SEE ROOF FRAMING PLAN FOR BEAM, GIRDER and HANGER SIZES.
 L.C.H. IS NOT RESPONSIBLE FOR ANY DESIGN and/or MATERIALS
- CALLED OUT AS N.I.C. (NOT IN CONTRACT) or BY OTHERS.
 3. ALL ELECTRICAL WIRING and FIXTURES, PLUMBING FIXTURES, APPLIANCES and CABINETS ARE N.I.C. and ARE SHOWN FOR REFERENCE ONLY.
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- INTERIOR ROOF LINER IS 5/8" GYPSUM WALLBOARD (N.I.C.), UNLESS NOTED OTHERWISE.
 DO NOT DEBUG LINE STUDIED OF DESTING
- DO NOT DRILL HOLES THROUGH POSTS or BEAMS.
 CLOSET SHELVING and RODS ARE BY OTHERS.
- 9. AT CONTRACTORS DISCRETION, RAISE WINDOWS TO ALLOW
- CLEARANCE FOR PRE-FORMED COUNTER/BACKSPLASH ASSEMBLY. 10. LINDAL CEDAR HOMES INC. DOES NOT RECOMMEND THE USE OF ANY FORM OF HUMIDIFIER IN CONDITIONED LIVING SPACES. HUMIDIFIERS ADD MOISTURE THAT MAY PROMOTE MOLD GROWTH,
- CONDENSATION AND OTHER MOISTURE RELATED PROBLEMS.
 11. RECESSED CANISTER LIGHTING IS NOT TO BE INSTALLED IN ANY INSULATED CATHEDRAL CEILING. THE USE OF RECESSED, CANISTER LIGHTING REDUCES THE ROOF'S ABILITY TO PERFORM PROPERLY BY INTRODUCING A HEAT SOURCE DIRECTLY INTO THE ROOF CAVITY.
- WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.



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PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040

ISSUANCES			
NO.	DESCRIPTION	ISSUED BY	DATE
	REVISION DD	ES	7/18/2023
	ISSUED FOR DD	ES	8/31/2023
	ISSUED FOR CD	ES	10/19/2023
1	CITY COMMENT	ES	11/27/2023

WARRANTY NUMBER

42255

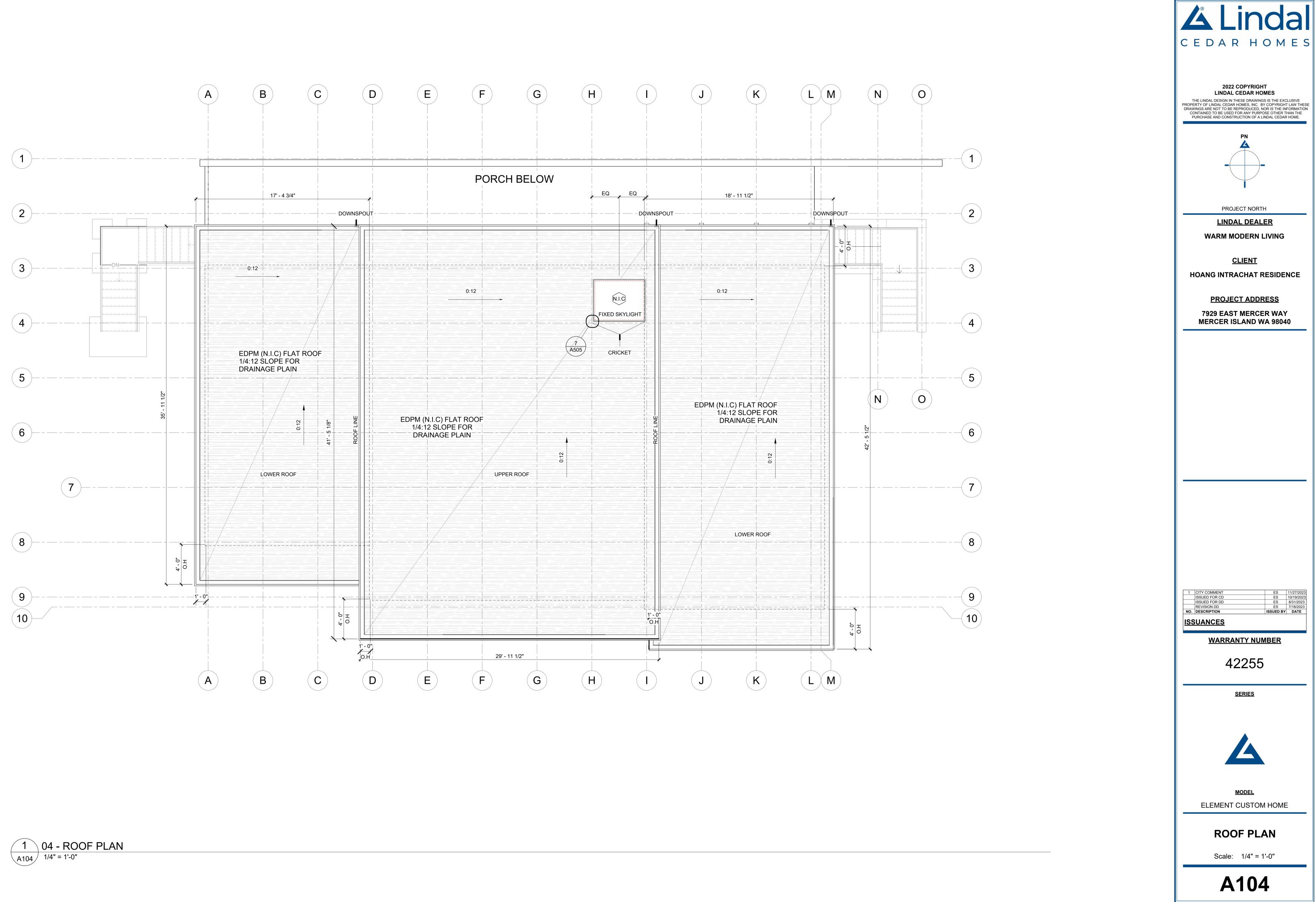
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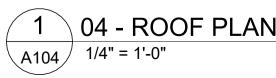


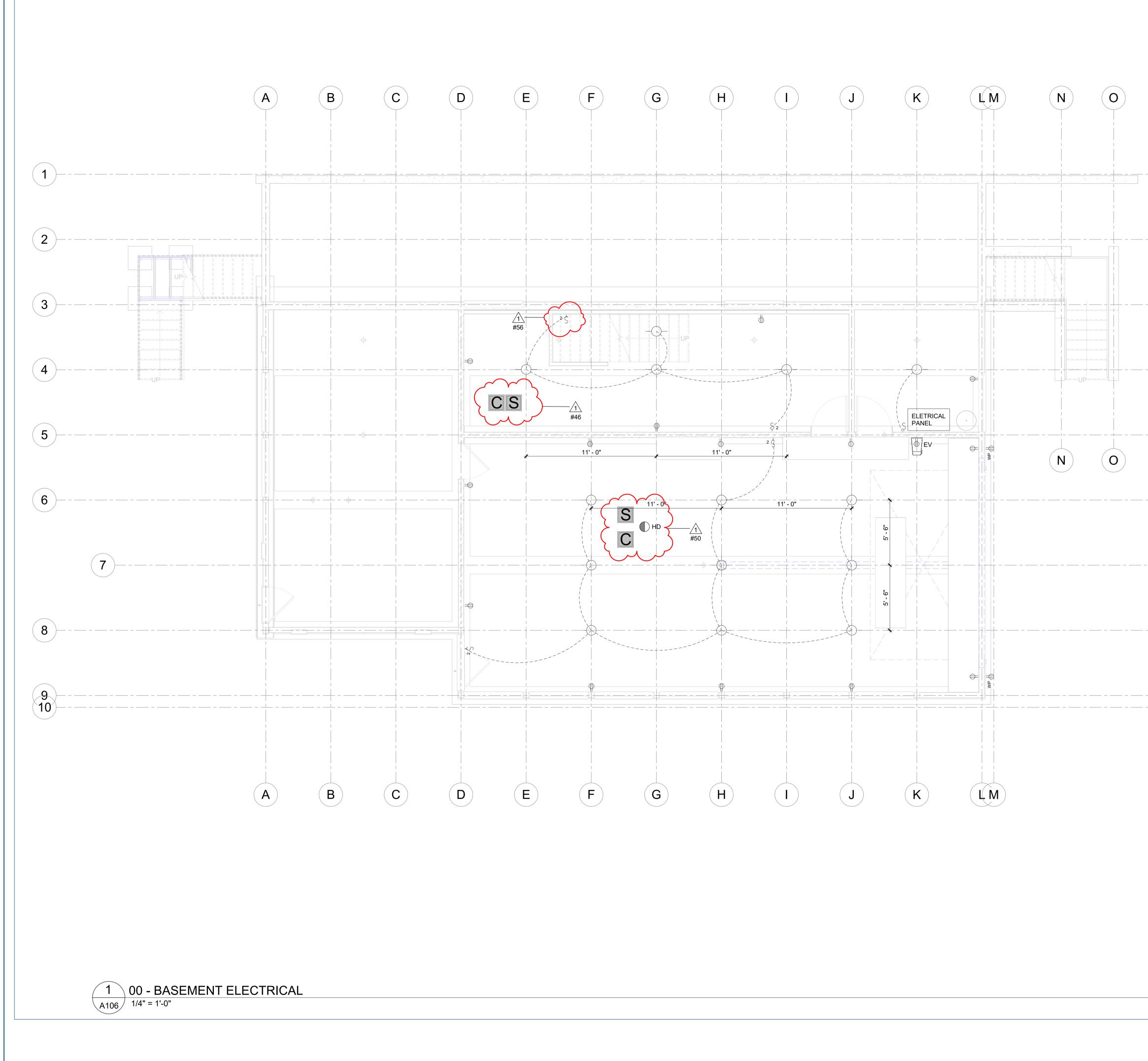
MODEL ELEMENT CUSTOM HOME

SECOND FLOOR PLAN









D 24" x 36" LAST PLOT DATE: 11/27/2023 2:28:26

ELECT	RICAL SYMBOL KEY	
	LIGHT FIXTURE	C
	LIGHT/EXHAUST FAN FIXTURE	
S	SMOKE DETECTOR	PRO
C	CARBON MONOXIDE DETECTOR	DRA
HD HD	HEAT DETECTOR	
\bigcirc	DUPLEX OUTLET	
\bigoplus	220V OUTLET	
FL	DUPLEX OUTLET MOUNTED IN FLOOR	
GFI	GROUND FAULT INTERRUPTER OUTLET	-
WP	WEATHER PROOF OUTLET	
() EV	ELECTRIC VEHICLE OUTLET	
S	SINGLE POLE LIGHT SWITCH	
S₃	THREE WAY SWITCH	
V	VACANCY SENSOR	
		-

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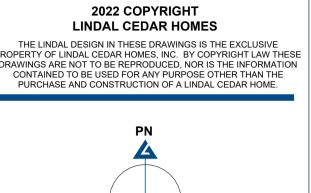
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PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

CLIENT HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040

 1
 CITY COMMENT
 ES
 11/27/2023

 ISSUED FOR CD
 ES
 10/19/2023

 ISSUED FOR DD
 ES
 8/31/2023

 REVISION DD
 ES
 7/18/2023

 NO.
 DESCRIPTION
 ISSUED BY
 DATE

WARRANTY NUMBER

42255

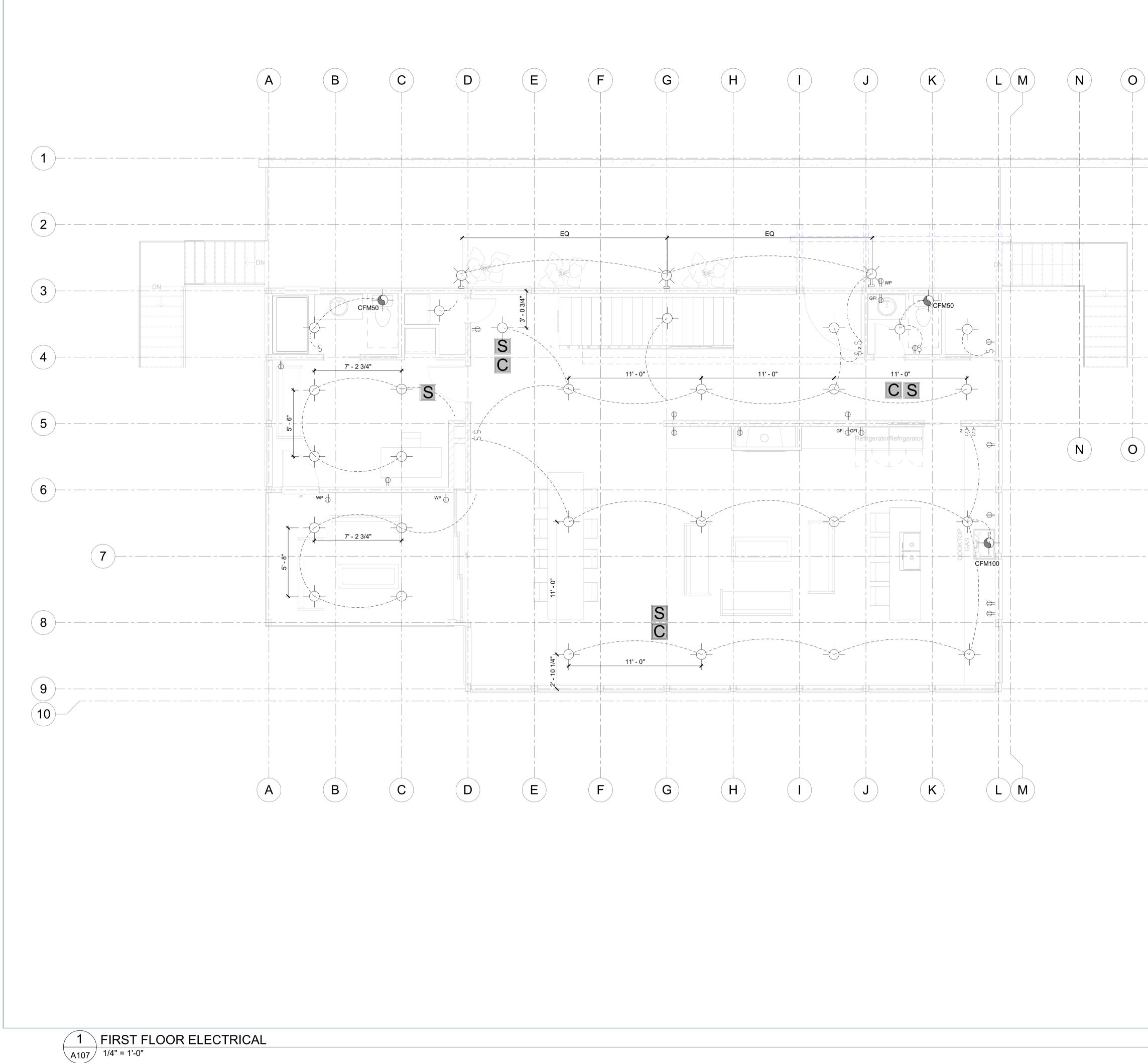
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MODEL ELEMENT CUSTOM HOME







ELEC	TRICAL SYMBOL KEY	CEDAR HOMES
	LIGHT FIXTURE	CLDAR HOMLS
	LIGHT/EXHAUST FAN FIXTURE	
S	SMOKE DETECTOR	2022 COPYRIGHT LINDAL CEDAR HOMES THE LINDAL DESIGN IN THESE DRAWINGS IS THE EXCLUSIVE PROPERTY OF LINDAL CEDAR HOMES, INC. BY COPYRIGHT LAW THESE
C	CARBON MONOXIDE DETECTOR	DRAWINGS ARE NOT TO BE REPRODUCED, NOR IS THE INFORMATION CONTAINED TO BE USED FOR ANY PURPOSE OTHER THAN THE PURCHASE AND CONSTRUCTION OF A LINDAL CEDAR HOME.
HD	HEAT DETECTOR	PN
\bigcirc	DUPLEX OUTLET	
\bigoplus^{i}	220V OUTLET	
FL	DUPLEX OUTLET MOUNTED IN FLOOR	PROJECT NORTH
GFI	GROUND FAULT INTERRUPTER OUTLET	LINDAL DEALER
() WP	WEATHER PROOF OUTLET	WARM MODERN LIVING
() EV	ELECTRIC VEHICLE OUTLET	<u>CLIENT</u>
S S₃	SINGLE POLE LIGHT SWITCH	HOANG INTRACHAT RESIDENCE
\mathbf{v}	THREE WAY SWITCH VACANCY SENSOR	PROJECT ADDRESS 7929 EAST MERCER WAY
		MERCER ISLAND WA 98040
		ELEMENT CUSTOM HOME

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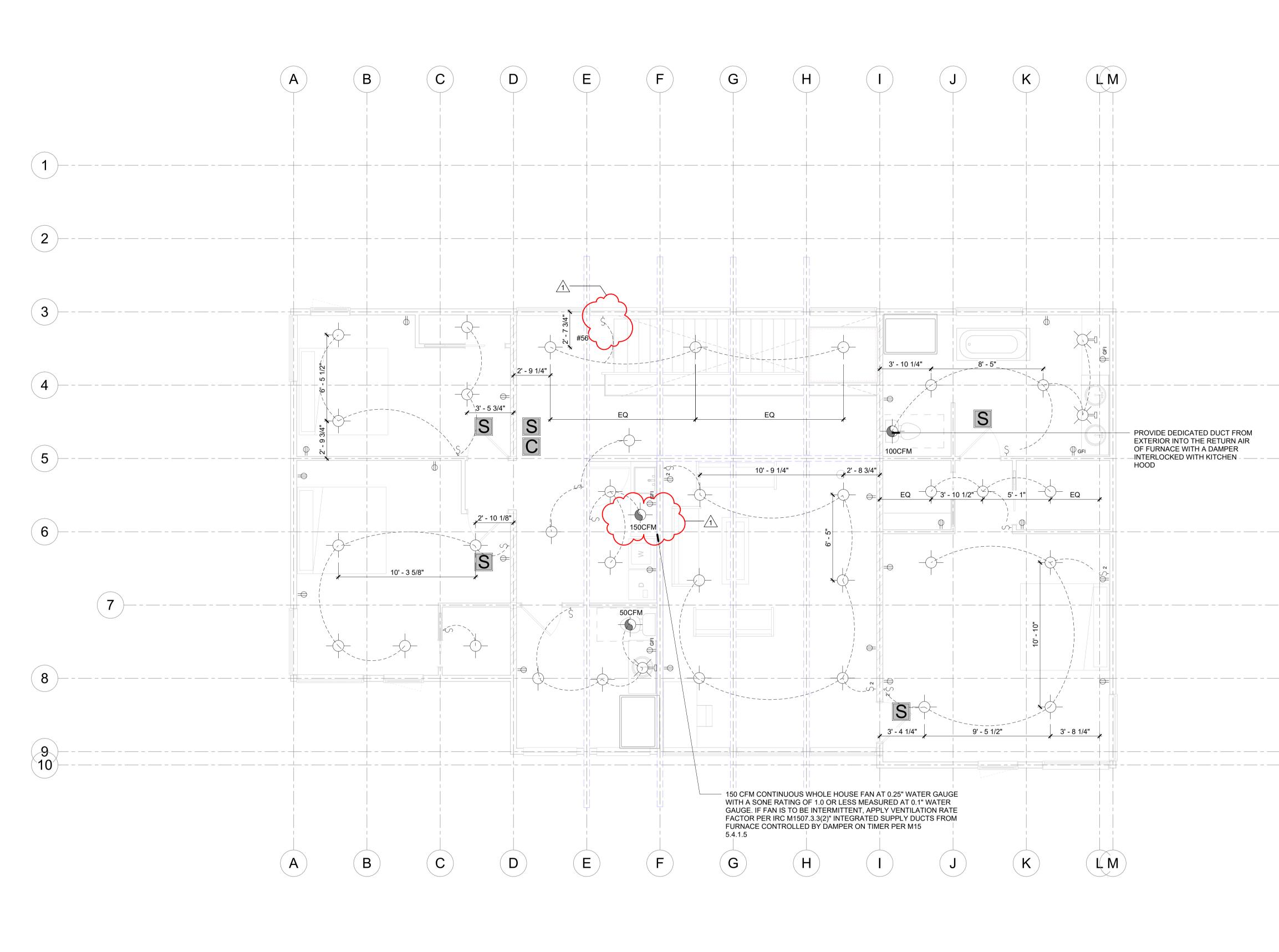
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FIRST FLOOR ELECTRICAL Scale: 1/4" = 1'-0"







ELECTRICAL SYMBOL KEY			
	LIGHT FIXTURE		
	LIGHT/EXHAUST FAN FIXTURE		
S	SMOKE DETECTOR		
C	CARBON MONOXIDE DETECTOR		
THD	HEAT DETECTOR		
φ	DUPLEX OUTLET		
\bigoplus	220V OUTLET		
FL	DUPLEX OUTLET MOUNTED IN FLOOR		
GFI	GROUND FAULT INTERRUPTER OUTLET		
() WP	WEATHER PROOF OUTLET		
Феv	ELECTRIC VEHICLE OUTLET		
S	SINGLE POLE LIGHT SWITCH		
S₃	THREE WAY SWITCH		
V	VACANCY SENSOR		



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PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u> HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040

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(2)

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1	CITY COMMENT	ES	11/27/2023
1	ISSUED FOR CD	ES	10/19/2023
	ISSUED FOR DD	ES	8/31/2023
	REVISION DD	ES	7/18/2023
NO.	DESCRIPTION	ISSUED BY	DATE
ISSUANCES			
WARRANTY NUMBER			
42255			

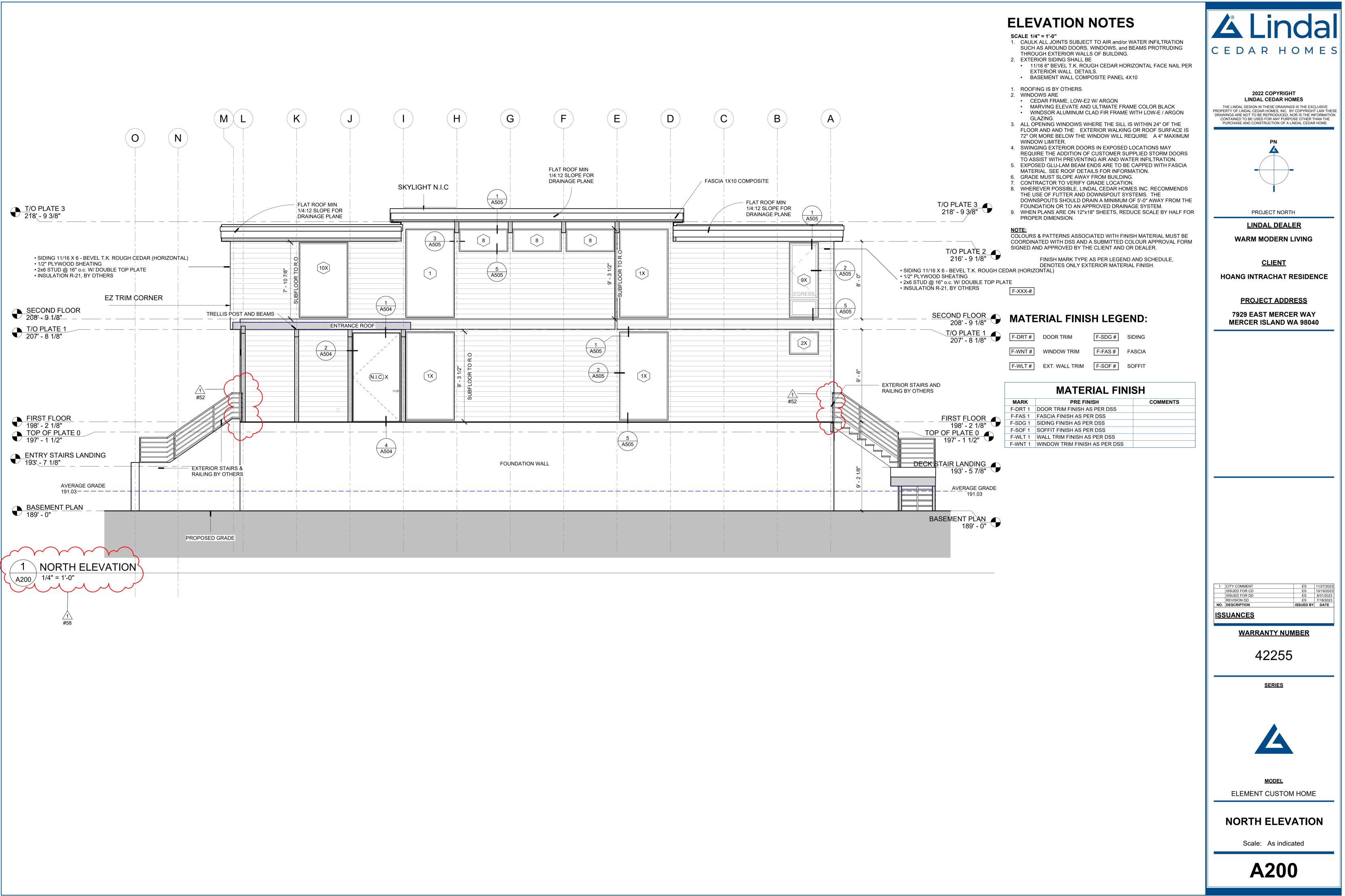
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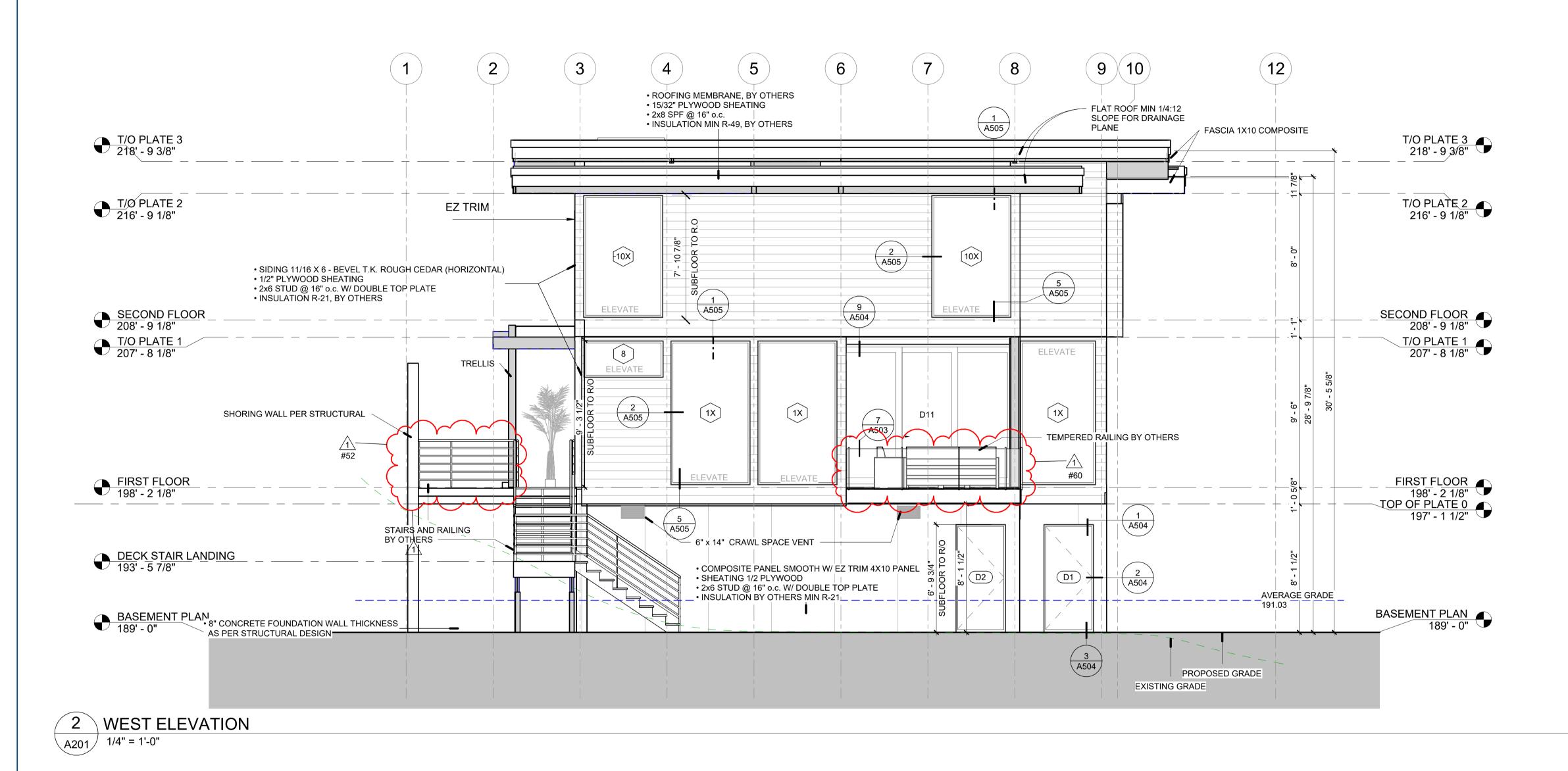
MODEL ELEMENT CUSTOM HOME

SECOND FLOOR ELECTRICAL





H D 24" x 36" LAST PLOT DATE: 11/27/2023 2:28:33 F



ELEVATION NOTES

SCALE 1/4" = 1'-0" 1. CAULK ALL JOINTS SUBJECT TO AIR and/or WATER INFILTRATION SUCH AS AROUND DOORS, WINDOWS, and BEAMS PROTRUDING THROUGH EXTERIOR WALLS OF BUILDING.

- 2. EXTERIOR SIDING SHALL BE • 11/16 6" BEVEL T.K. ROUGH CEDAR HORIZONTAL FACE NAIL PER EXTERIOR WALL DETAILS. BASEMENT WALL COMPOSITE PANEL 4X10
- 1. ROOFING IS BY OTHERS.
- 2. WINDOWS ARE • CEDAR FRAME, LOW-E2 W/ ARGON

 MARVING ELEVATE AND ULTIMATE FRAME COLOR BLACK WINDSOR ALUMINUM CLAD FIR FRAME WITH LOW-E / ARGON GLAZING.

- 3. ALL OPENING WINDOWS WHERE THE SILL IS WITHIN 24" OF THE FLOOR AND AND THE EXTERIOR WALKING OR ROOF SURFACE IS 72" OR MORE BELOW THE WINDOW WILL REQUIRE A 4" MAXIMUM WINDOW LIMITER.
- 4. SWINGING EXTERIOR DOORS IN EXPOSED LOCATIONS MAY REQUIRE THE ADDITION OF CUSTOMER SUPPLIED STORM DOORS TO ASSIST WITH PREVENTING AIR AND WATER INFILTRATION.
- 5. EXPOSED GLU-LAM BEAM ENDS ARE TO BE CAPPED WITH FASCIA MATERIAL. SEE ROOF DETAILS FOR INFORMATION.
- 6. GRADE MUST SLOPE AWAY FROM BUILDING.
- 7. CONTRACTOR TO VERIFY GRADE LOCATION. 8. WHEREVER POSSIBLE, LINDAL CEDAR HOMES INC. RECOMMENDS THE USE OF FUTTER AND DOWNSPOUT SYSTEMS. THE DOWNSPOUTS SHOULD DRAIN A MINIMUM OF 5'-0" AWAY FROM THE
- FOUNDATION OR TO AN APPROVED DRAINAGE SYSTEM. 9. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSION.

NOTE: COLOURS & PATTERNS ASSOCIATED WITH FINISH MATERIAL MUST BE COORDINATED WITH DSS AND A SUBMITTED COLOUR APPROVAL FORM SIGNED AND APPROVED BY THE CLIENT AND OR DEALER.

> FINISH MARK TYPE AS PER LEGEND AND SCHEDULE. DENOTES ONLY EXTERIOR MATERIAL FINISH.

F-XXX-#

MATERIAL FINISH LEGEND:

F-DRT #	DOOR TRIM	F-SDG #	SIDING
F-WNT #	WINDOW TRIM	F-FAS #	FASCIA
F-WLT #	EXT. WALL TRIM	F-SOF #	SOFFIT

	MATERIAL FINI	SH
MARK	PRE FINISH	COMMENTS
F-DRT 1	DOOR TRIM FINISH AS PER DSS	
F-FAS 1	FASCIA FINISH AS PER DSS	
F-SDG 1	SIDING FINISH AS PER DSS	
F-SOF 1	SOFFIT FINISH AS PER DSS	
F-WLT 1	WALL TRIM FINISH AS PER DSS	
F-WNT 1	WINDOW TRIM FINISH AS PER DSS	



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CONTAINED TO BE USED FOR ANY PURPOSE OTHER THAN THE PURCHASE AND CONSTRUCTION OF A LINDAL CEDAR HOME.



PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040

ISS	UANCES		
NO.	DESCRIPTION	ISSUED BY	DATE
	REVISION DD	ES	7/18/2023
	ISSUED FOR DD	ES	8/31/2023
	ISSUED FOR CD	ES	10/19/2023
1	CITY COMMENT	ES	11/27/2023

WARRANTY NUMBER

42255

<u>SERIES</u>

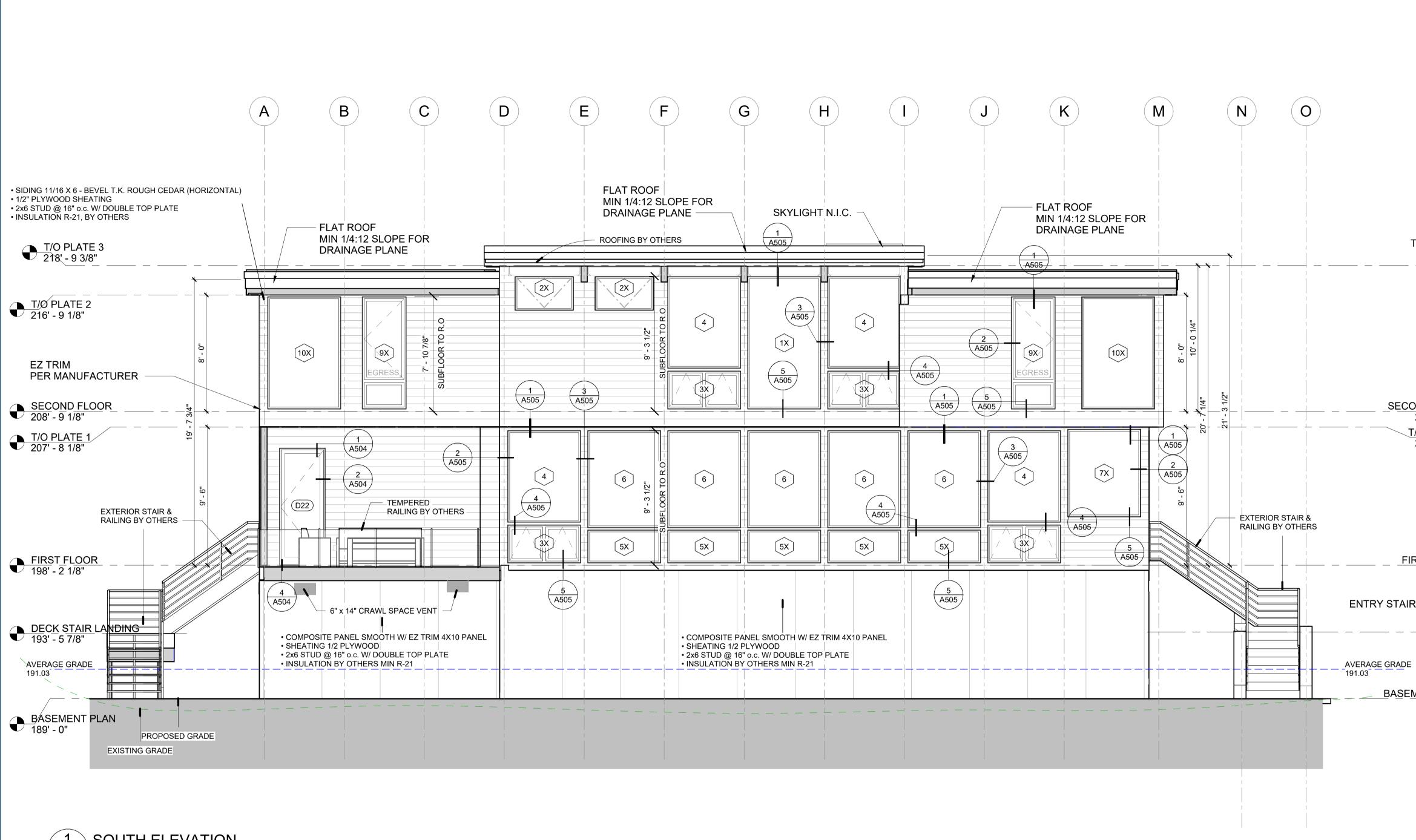


MODEL ELEMENT CUSTOM HOME

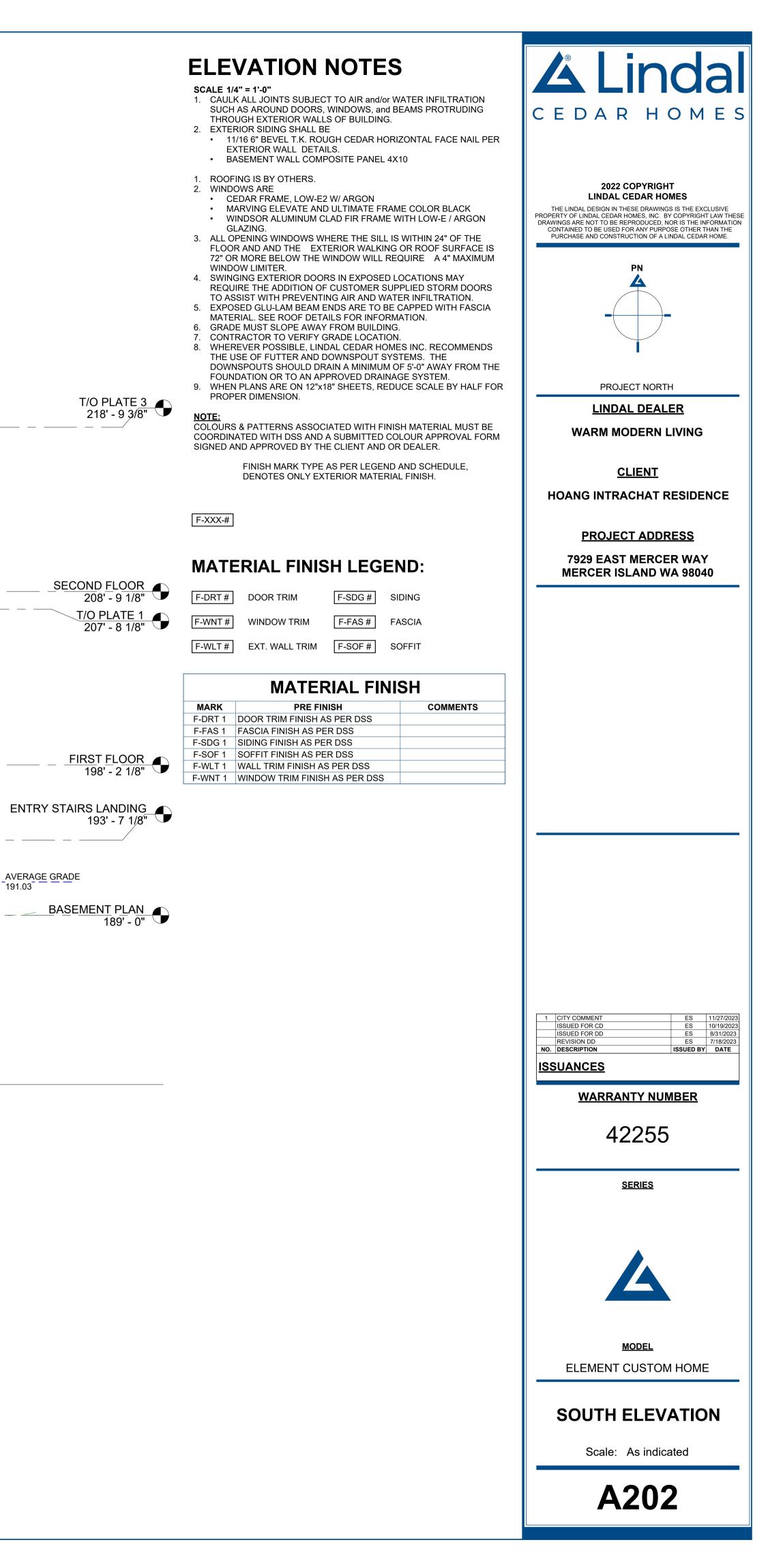
WEST ELEVATION

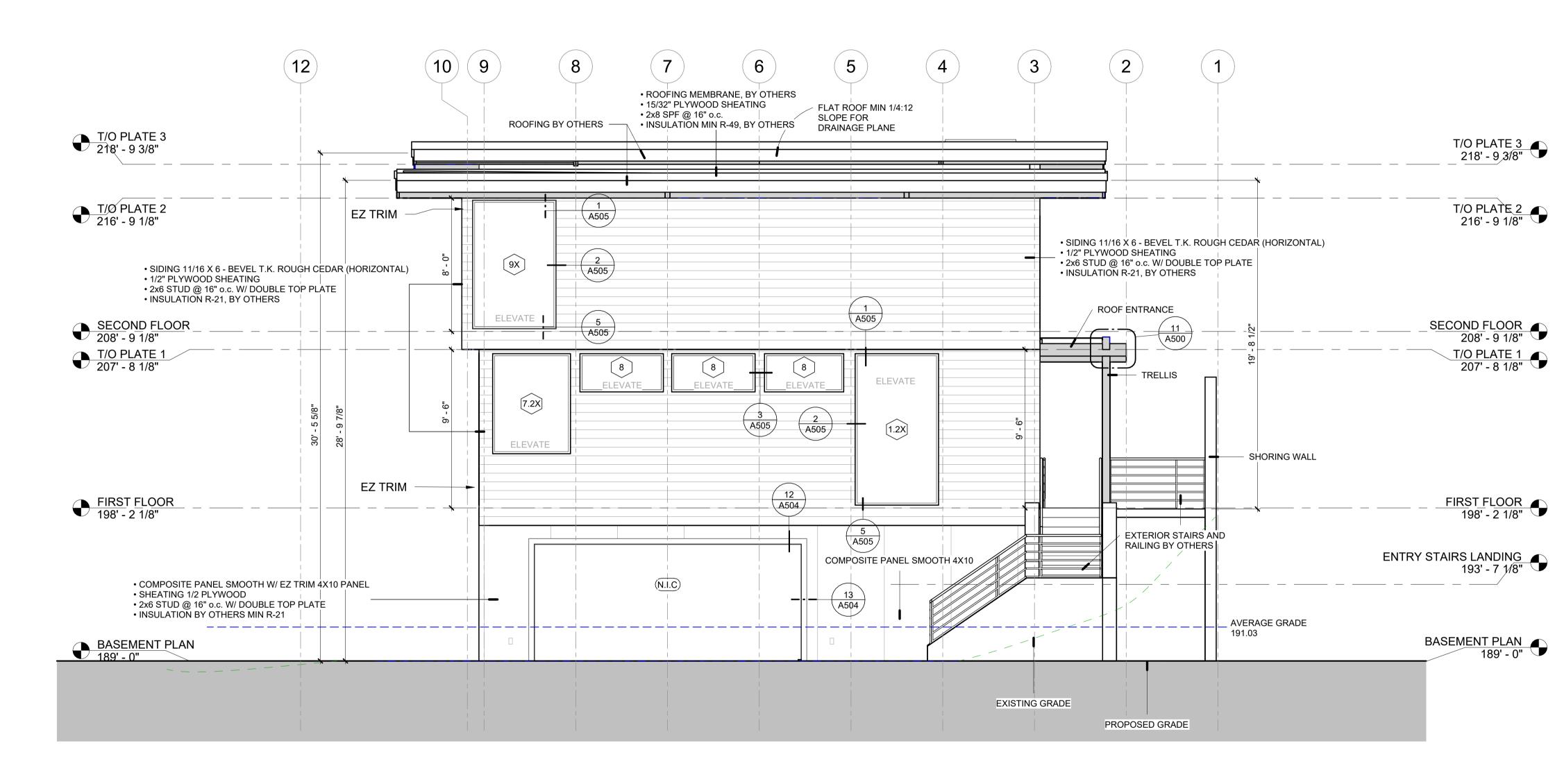
Scale: As indicated





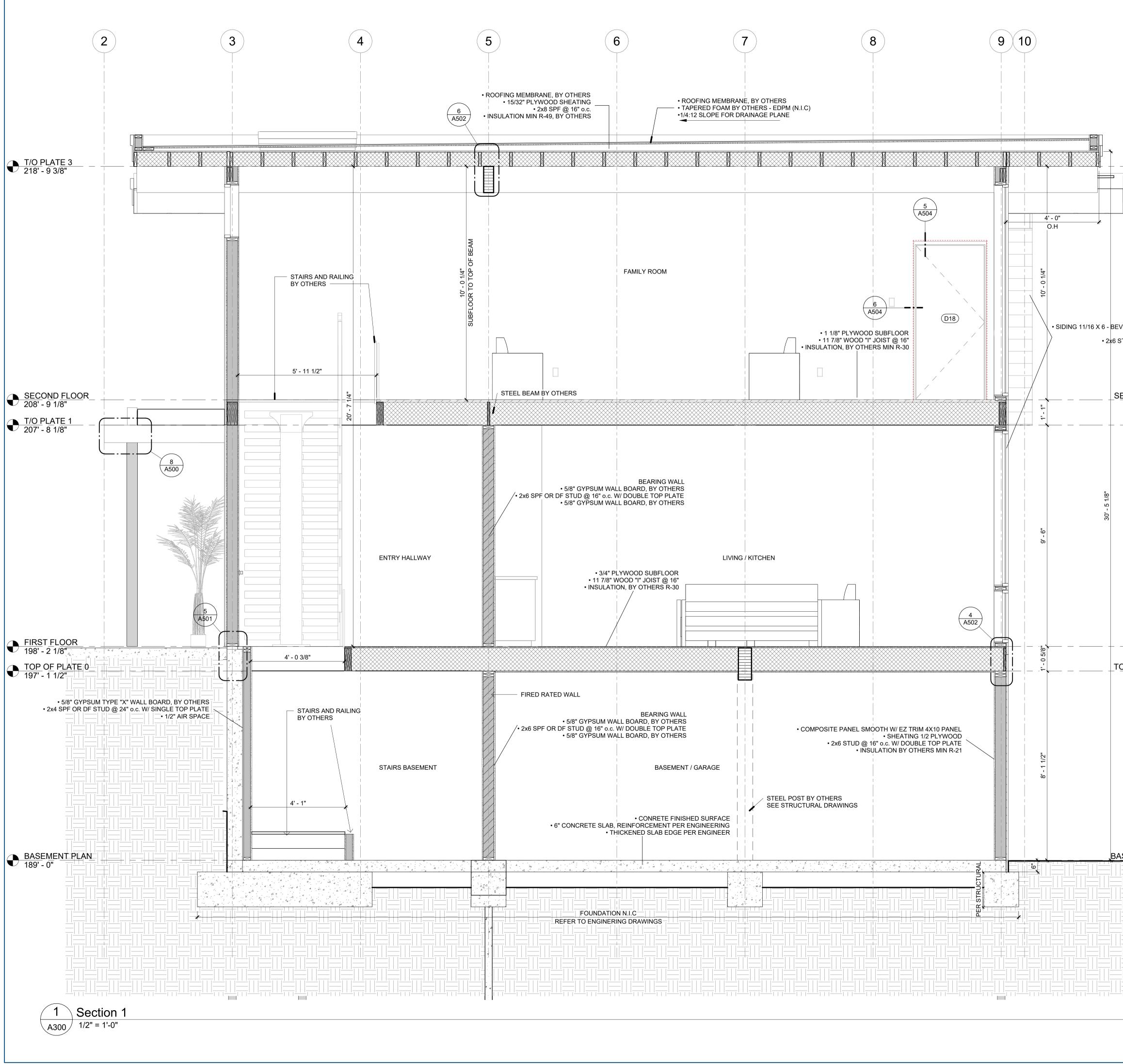




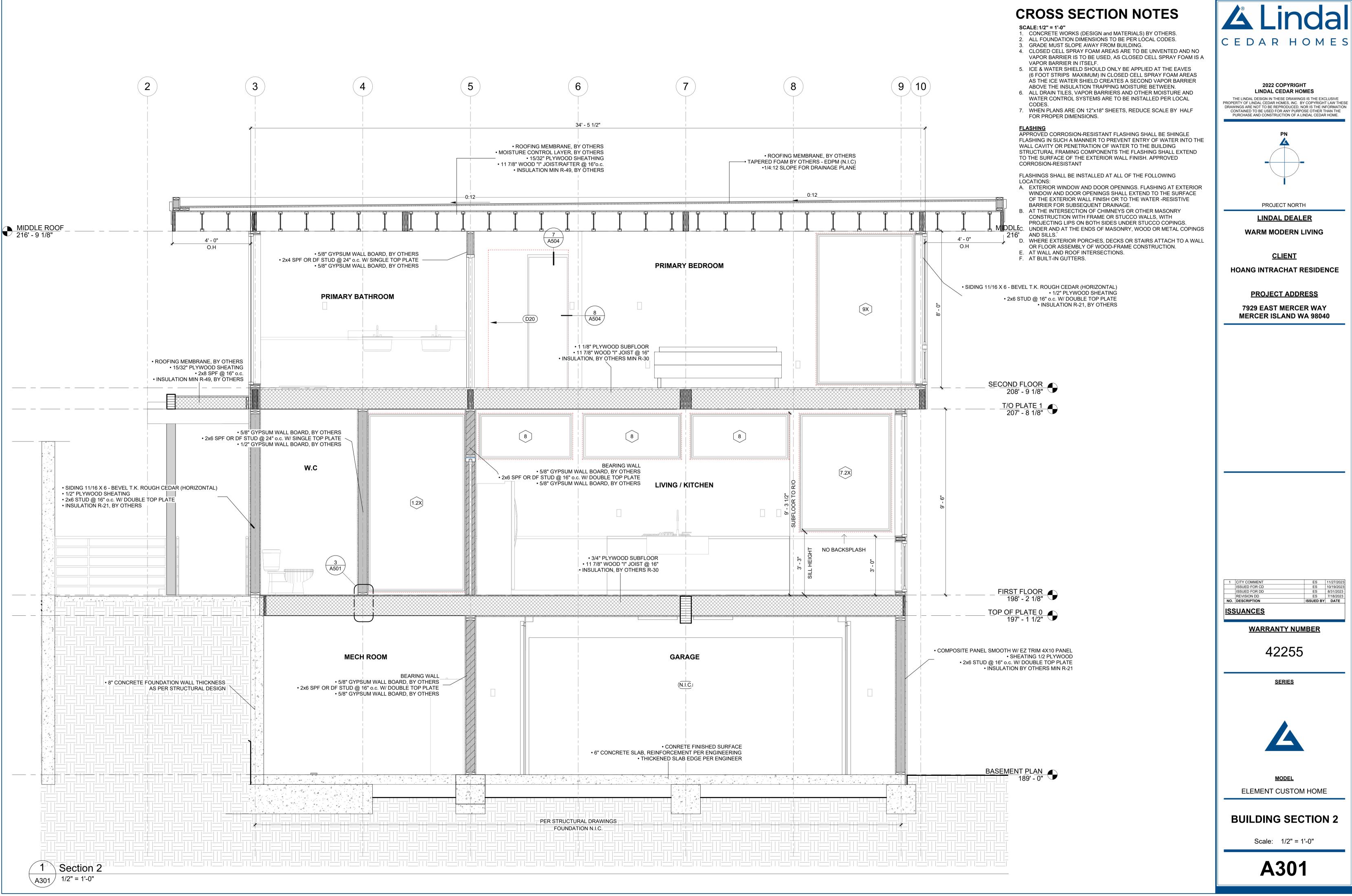


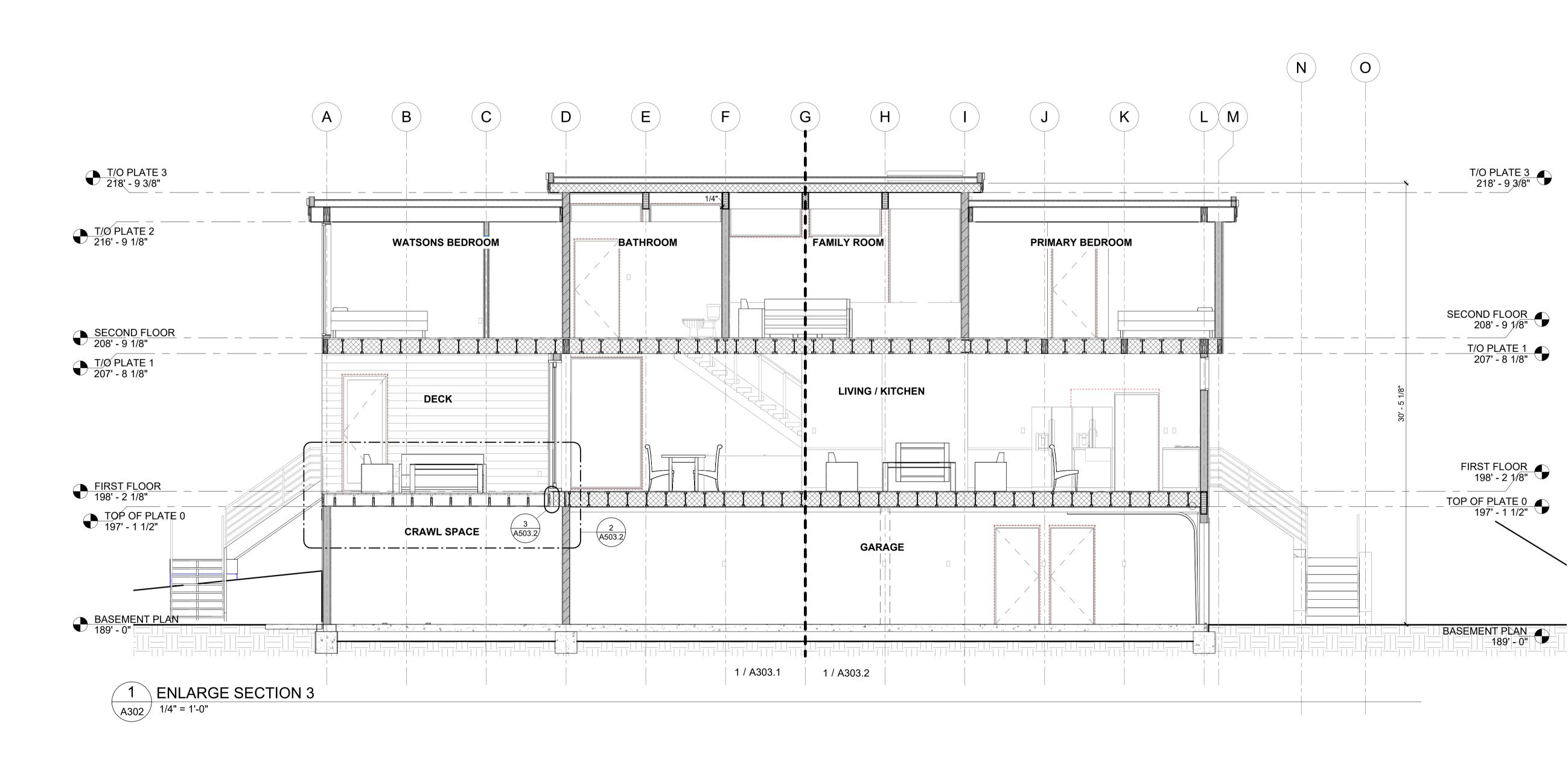


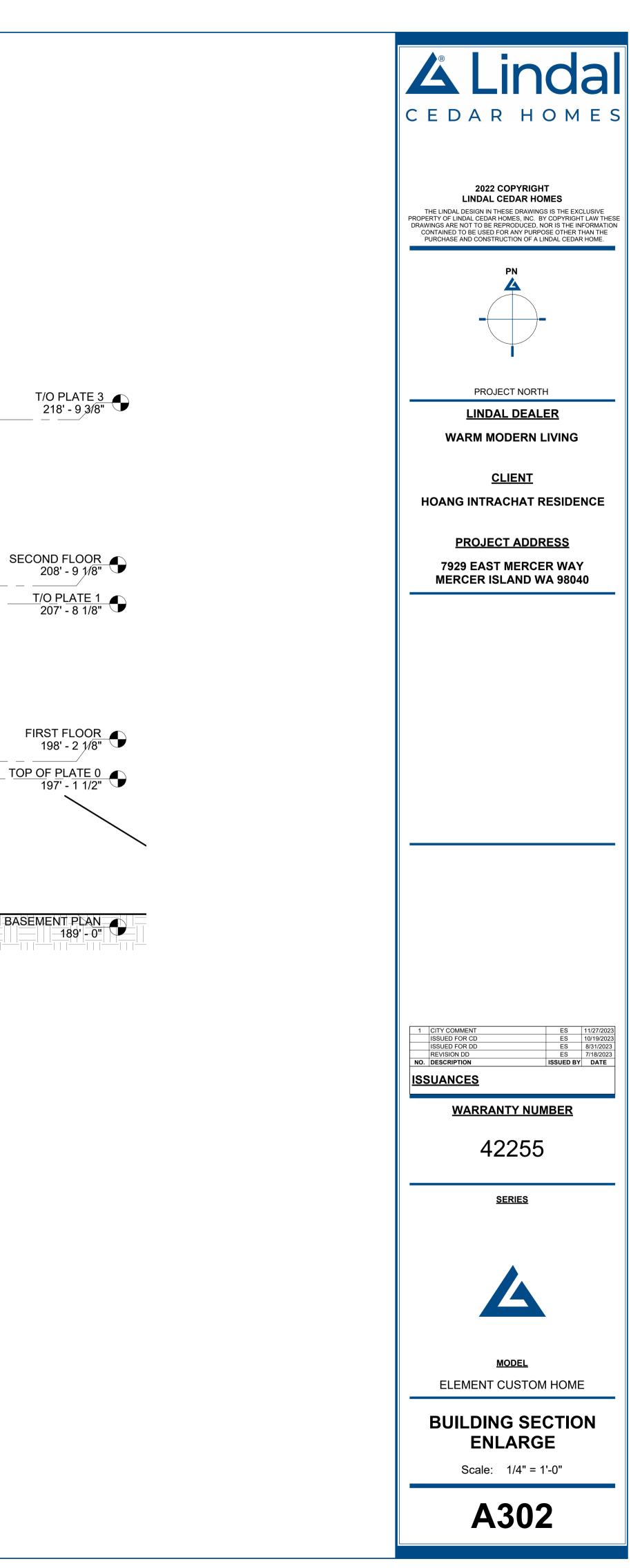
(inda! **ELEVATION NOTES** SCALE 1/4" = 1'-0" 1. CAULK ALL JOINTS SUBJECT TO AIR and/or WATER INFILTRATION SUCH AS AROUND DOORS, WINDOWS, and BEAMS PROTRUDING CEDAR HOMES THROUGH EXTERIOR WALLS OF BUILDING. 2. EXTERIOR SIDING SHALL BE • 11/16 6" BEVEL T.K. ROUGH CEDAR HORIZONTAL FACE NAIL PER EXTERIOR WALL DETAILS. BASEMENT WALL COMPOSITE PANEL 4X10 1. ROOFING IS BY OTHERS. 2022 COPYRIGHT 2. WINDOWS ARE LINDAL CEDAR HOMES • CEDAR FRAME, LOW-E2 W/ ARGON MARVING ELEVATE AND ULTIMATE FRAME COLOR BLACK THE LINDAL DESIGN IN THESE DRAWINGS IS THE EXCLUSIVE PROPERTY OF LINDAL CEDAR HOMES, INC. BY COPYRIGHT LAW THESE DRAWINGS ARE NOT TO BE REPRODUCED, NOR IS THE INFORMATION WINDSOR ALUMINUM CLAD FIR FRAME WITH LOW-E / ARGON GLAZING. CONTAINED TO BE USED FOR ANY PURPOSE OTHER THAN THE PURCHASE AND CONSTRUCTION OF A LINDAL CEDAR HOME. 3. ALL OPENING WINDOWS WHERE THE SILL IS WITHIN 24" OF THE FLOOR AND AND THE EXTERIOR WALKING OR ROOF SURFACE IS 72" OR MORE BELOW THE WINDOW WILL REQUIRE A 4" MAXIMUM WINDOW LIMITER. PN 4. SWINGING EXTERIOR DOORS IN EXPOSED LOCATIONS MAY REQUIRE THE ADDITION OF CUSTOMER SUPPLIED STORM DOORS TO ASSIST WITH PREVENTING AIR AND WATER INFILTRATION. 5. EXPOSED GLU-LAM BEAM ENDS ARE TO BE CAPPED WITH FASCIA MATERIAL. SEE ROOF DETAILS FOR INFORMATION. 6. GRADE MUST SLOPE AWAY FROM BUILDING. 7. CONTRACTOR TO VERIFY GRADE LOCATION. 8. WHEREVER POSSIBLE, LINDAL CEDAR HOMES INC. RECOMMENDS THE USE OF FUTTER AND DOWNSPOUT SYSTEMS. THE DOWNSPOUTS SHOULD DRAIN A MINIMUM OF 5'-0" AWAY FROM THE FOUNDATION OR TO AN APPROVED DRAINAGE SYSTEM. PROJECT NORTH 9. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSION. LINDAL DEALER NOTE: COLOURS & PATTERNS ASSOCIATED WITH FINISH MATERIAL MUST BE WARM MODERN LIVING COORDINATED WITH DSS AND A SUBMITTED COLOUR APPROVAL FORM SIGNED AND APPROVED BY THE CLIENT AND OR DEALER. FINISH MARK TYPE AS PER LEGEND AND SCHEDULE, <u>CLIENT</u> DENOTES ONLY EXTERIOR MATERIAL FINISH. HOANG INTRACHAT RESIDENCE F-XXX-# PROJECT ADDRESS 7929 EAST MERCER WAY MATERIAL FINISH LEGEND: MERCER ISLAND WA 98040 F-DRT # DOOR TRIM F-SDG # SIDING F-WNT # WINDOW TRIM F-FAS # FASCIA F-WLT # EXT. WALL TRIM F-SOF # SOFFIT **MATERIAL FINISH** MARK PRE FINISH COMMENTS F-DRT 1 DOOR TRIM FINISH AS PER DSS F-FAS 1 FASCIA FINISH AS PER DSS F-SDG 1 SIDING FINISH AS PER DSS F-SOF 1 SOFFIT FINISH AS PER DSS F-WLT 1 WALL TRIM FINISH AS PER DSS F-WNT 1 WINDOW TRIM FINISH AS PER DSS 1 CITY COMMENT ISSUED FOR CD ISSUED FOR DD REVISION DD ES 11/27/2023 ES 10/19/2023 ES 8/31/2023 ES 7/18/2023 ISSUED BY DATE NO. DESCRIPTION **ISSUANCES** WARRANTY NUMBER 42255 **SERIES** MODEL ELEMENT CUSTOM HOME **EAST ELEVATION** Scale: As indicated A203

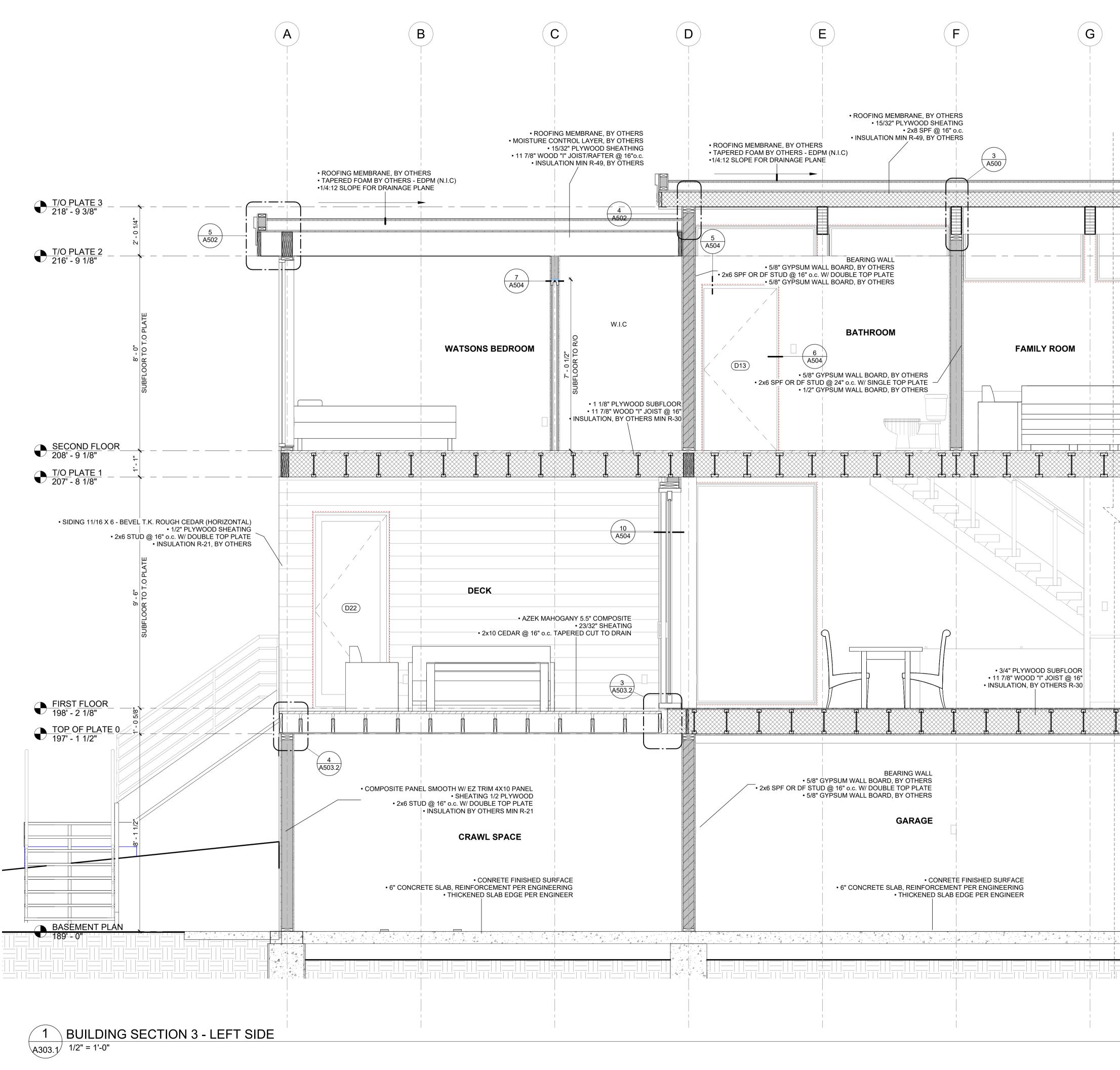


(inda) **CROSS SECTION NOTES** SCALE:1/2" = 1'-0" 1. CONCRETE WORKS (DESIGN and MATERIALS) BY OTHERS. ALL FOUNDATION DIMENSIONS TO BE PER LÓCAL CODES. CEDAR HOMES 3. GRADE MUST SLOPE AWAY FROM BUILDING. 4. CLOSED CELL SPRAY FOAM AREAS ARE TO BE UNVENTED AND NO VAPOR BARRIER IS TO BE USED, AS CLOSED CELL SPRAY FOAM IS A VAPOR BARRIER IN ITSELF. 5. ICE & WATER SHIELD SHOULD ONLY BE APPLIED AT THE EAVES (6 FOOT STRIPS MAXIMUM) IN CLOSED CELL SPRAY FOAM AREAS ÀS THE ICE WATER SHIELD CREATES A SECOND VAPOR BARRIER 2022 COPYRIGHT ABOVE THE INSULATION TRAPPING MOISTURE BETWEEN. LINDAL CEDAR HOMES 6. ALL DRAIN TILES, VAPOR BARRIERS AND OTHER MOISTURE AND WATER CONTROL SYSTEMS ARE TO BE INSTALLED PER LOCAL THE LINDAL DESIGN IN THESE DRAWINGS IS THE EXCLUSIVE PROPERTY OF LINDAL CEDAR HOMES, INC. BY COPYRIGHT LAW THESE DRAWINGS ARE NOT TO BE REPRODUCED, NOR IS THE INFORMATION CODES. 7. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF CONTAINED TO BE USED FOR ANY PURPOSE OTHER THAN THE PURCHASE AND CONSTRUCTION OF A LINDAL CEDAR HOME. FOR PROPER DIMENSIONS. **FLASHING** APPROVED CORROSION-RESISTANT FLASHING SHALL BE SHINGLE PN T/O PLATE 3 218' - 9 3/8" FLASHING IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS: A. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER -RESISTIVE PROJECT NORTH BARRIER FOR SUBSEQUENT DRAINAGE. B. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH LINDAL DEALER PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS. C. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS WARM MODERN LIVING AND SILLS. D. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. E. AT WALL AND ROOF INTERSECTIONS. <u>CLIENT</u> F. AT BUILT-IN GUTTERS. HOANG INTRACHAT RESIDENCE • SIDING 11/16 X 6 - BEVEL T.K. ROUGH CEDAR (HORIZONTAL) • 1/2" PLYWOOD SHEATING • 2x6 STUD @ 16" o.c. W/ DOUBLE TOP PLATE • INSULATION R-21, BY OTHERS PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040 SECOND FLOOR 208' - 9 1/8" T/O PLATE 1 207' - 8 1/8" FIRST FLOOR 198' - 2 1/8" T<u>OP OF PLATE 0</u> 197' - 1 1/2" ES 11/27/2023 ES 10/19/2023 ES 8/31/2023 ES 7/18/2023 ISSUED BY DATE 1 CITY COMME ISSUED FOR CD REVISION DD NO. DESCRIPTION **ISSUANCES** WARRANTY NUMBER 42255 **SERIES** BASEMENT PLAN 189' - 0" MODEL ELEMENT CUSTOM HOME **BUILDING SECTION 1** Scale: 1/2" = 1'-0" A300

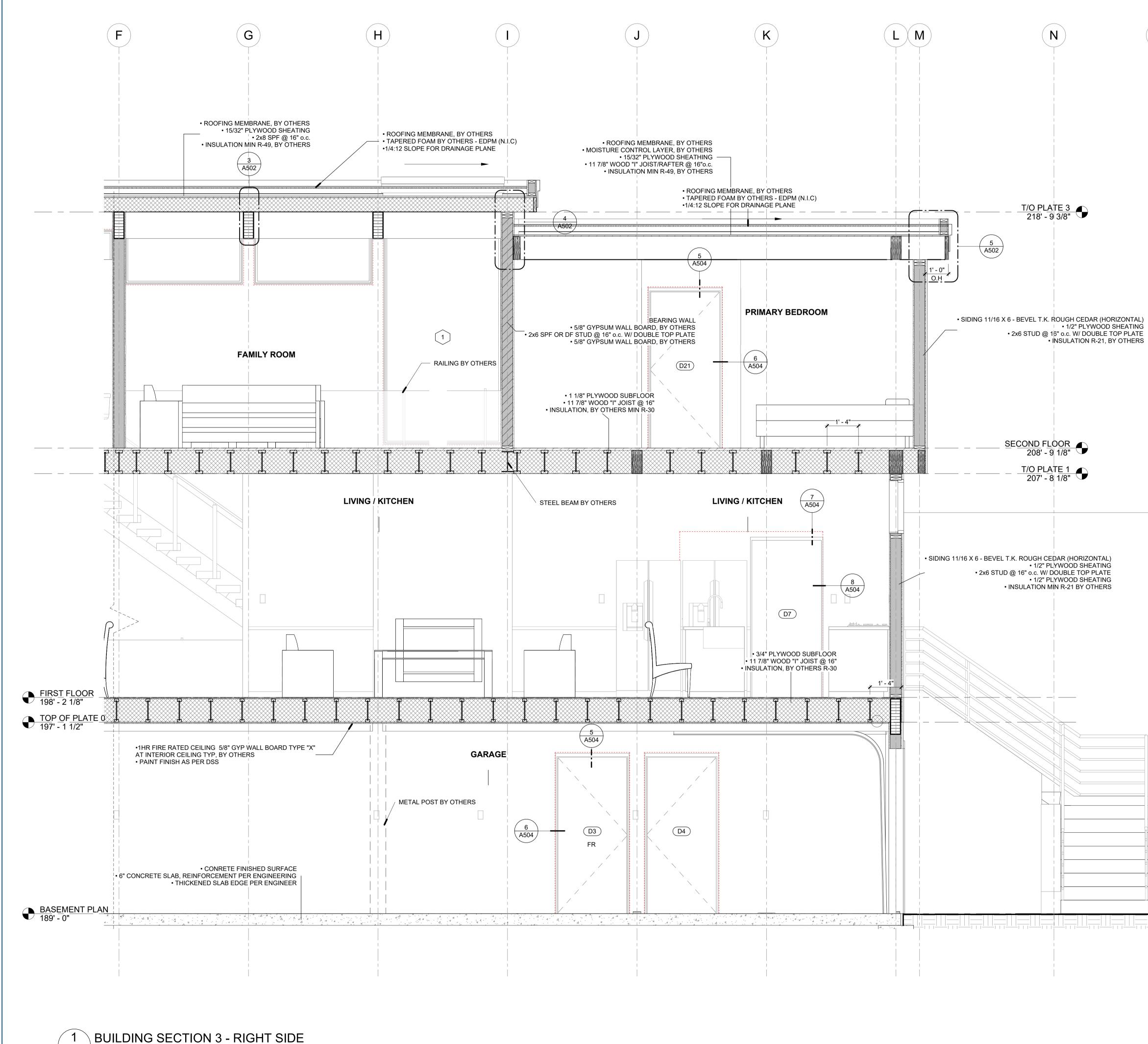








CROSS SECTION NOTES	& Lindal
 SCALE: 1/2" = 1'-0" 1. CONCRETE WORKS (DESIGN and MATERIALS) BY OTHERS. 2. ALL FOUNDATION DIMENSIONS TO BE PER LOCAL CODES. 3. GRADE MUST SLOPE AWAY FROM BUILDING. 4. CLOSED CELL SPRAY FOAM AREAS ARE TO BE UNVENTED AND NO VAPOR BARRIER IS TO BE USED, AS CLOSED CELL SPRAY FOAM IS A 	CEDAR HOMES
 VAPOR BARRIER IN ITSELF. 5. ICE & WATER SHIELD SHOULD ONLY BE APPLIED AT THE EAVES (6 FOOT STRIPS MAXIMUM) IN CLOSED CELL SPRAY FOAM AREAS AS THE ICE WATER SHIELD CREATES A SECOND VAPOR BARRIER ABOVE THE INSULATION TRAPPING MOISTURE BETWEEN. 6. ALL DRAIN TILES, VAPOR BARRIERS AND OTHER MOISTURE AND WATER CONTROL SYSTEMS ARE TO BE INSTALLED PER LOCAL CODES. 7. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS. 	2022 COPYRIGHT LINDAL CEDAR HOMES THE LINDAL DESIGN IN THESE DRAWINGS IS THE EXCLUSIVE PROPERTY OF LINDAL CEDAR HOMES, INC. BY COPYRIGHT LAW THESE DRAWINGS ARE NOT TO BE REPRODUCED, NOR IS THE INFORMATION CONTAINED TO BE USED FOR ANY PURPOSE OTHER THAN THE PURCHASE AND CONSTRUCTION OF A LINDAL CEDAR HOME.
FLASHING APPROVED CORROSION-RESISTANT FLASHING SHALL BE SHINGLE FLASHING IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT	PN A
 T/O PLATE 3 218' - 9 3/8" FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS: A. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER -RESISTIVE BARBIER FOR SUBSECUENT DRAMACE 	
 <u>T/O PLATE 2</u> 216' - 9 1/8" BARRIER FOR SUBSEQUENT DRAINAGE. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. AT WALL AND ROOF INTERSECTIONS. 	PROJECT NORTH LINDAL DEALER WARM MODERN LIVING
F. AT BUILT-IN GUTTERS.	<u>CLIENT</u> HOANG INTRACHAT RESIDENCE
	PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040
$ = \frac{SECOND FLOOR}{208' - 9 1/8''} $	
207 - 0 1/0	
FI <u>RST FLOOR</u> 198' - 2 1/8" TOP <u>OF PLATE 0</u> 197' - 1 1/2"	1 CITY COMMENT ES 11/27/2023 ISSUED FOR CD ES 10/19/2023 ISSUED FOR DD ES 8/31/2023 REVISION DD ES 7/18/2023 NO. DESCRIPTION ISSUED BY DATE
	ISSUANCES WARRANTY NUMBER
	42255
BASEMENT PLAN 189' - 0"	
	MODEL ELEMENT CUSTOM HOME
	BUILDING SECTION 3-A
	Scale: 1/2" = 1'-0"
	A303.1



D 24" x 36" LAST PLOT DATE: 11/27/2023 2:29:14 PM

A303.2/ 1/2" = 1'-0"

CROSS SECTION NOTES

- **SCALE: 1/2" = 1'-0"** 1. CONCRETE WORKS (DESIGN and MATERIALS) BY OTHERS.
- 2. ALL FOUNDATION DIMENSIONS TO BE PER LÓCAL CODES.
- 3. GRADE MUST SLOPE AWAY FROM BUILDING.
- 4. CLOSED CELL SPRAY FOAM AREAS ARE TO BE UNVENTED AND NO VAPOR BARRIER IS TO BE USED, AS CLOSED CELL SPRAY FOAM IS A VAPOR BARRIER IN ITSELF.
- ICE & WATER SHIELD SHOULD ONLY BE APPLIED AT THE EAVES (6 FOOT STRIPS MAXIMUM) IN CLOSED CELL SPRAY FOAM AREAS AS THE ICE WATER SHIELD CREATES A SECOND VAPOR BARRIER ABOVE THE INSULATION TRAPPING MOISTURE BETWEEN.
 ALL DRAIN TILES, VAPOR BARRIERS AND OTHER MOISTURE AND WATER CONTROL SYSTEMS ARE TO BE INSTALLED PER LOCAL
- CODES.
 7. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.

FLASHING

Ο

APPROVED CORROSION-RESISTANT FLASHING SHALL BE SHINGLE FLASHING IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT

FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

- A. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER -RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE.
- B. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
 C. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS
- and sites at the lines of masoner, wood or metal copings and sites.
 b. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL
- OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. E. AT WALL AND ROOF INTERSECTIONS. F. AT BUILT-IN GUTTERS.



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PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS	
7929 EAST MERCER WA	

199	UANCES		
NO.	DESCRIPTION	ISSUED BY	DATE
	REVISION DD	ES	7/18/2023
	ISSUED FOR DD	ES	8/31/2023
	ISSUED FOR CD	ES	10/19/2023
1	CITY COMMENT	ES	11/27/2023

WARRANTY NUMBER

42255

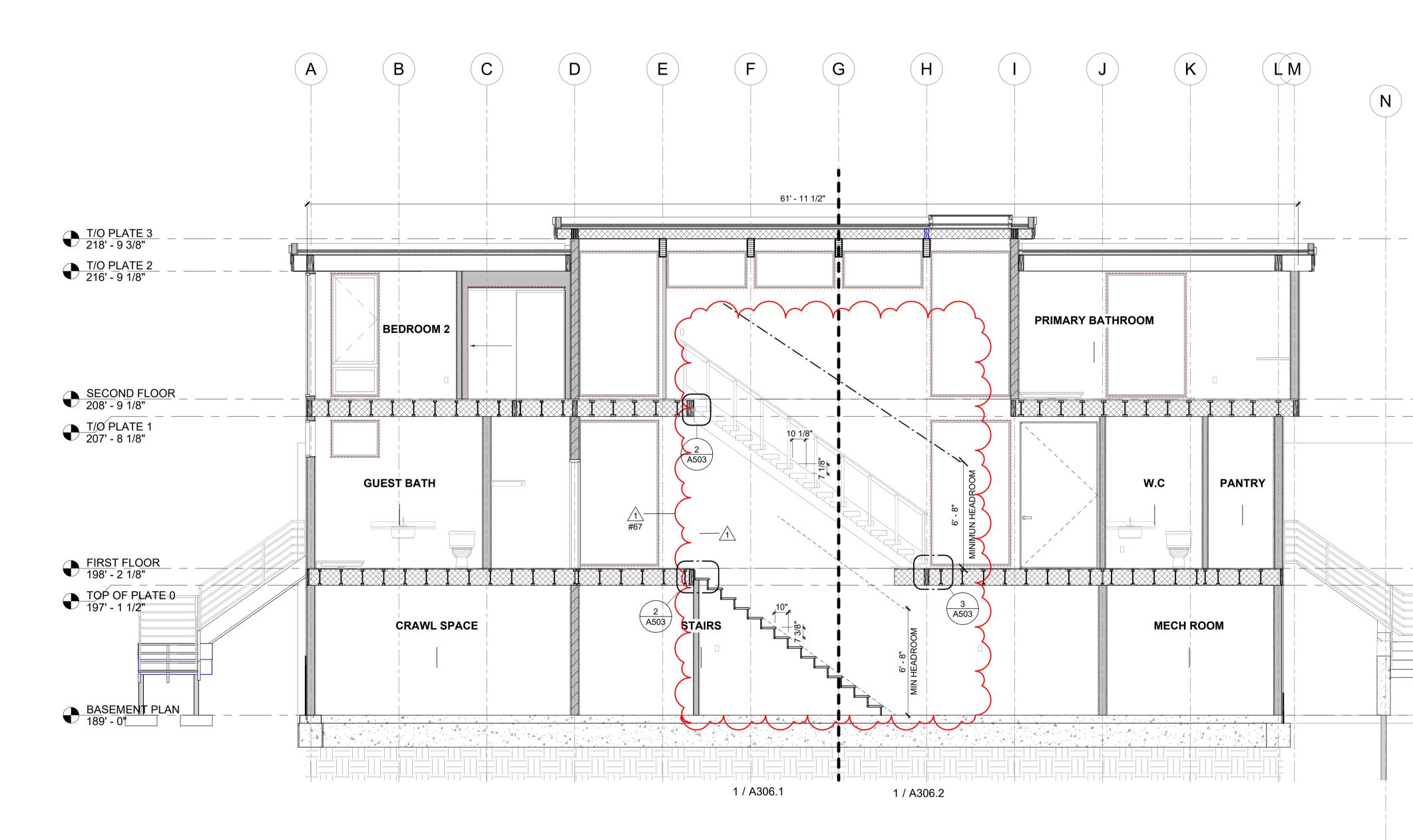
<u>SERIES</u>



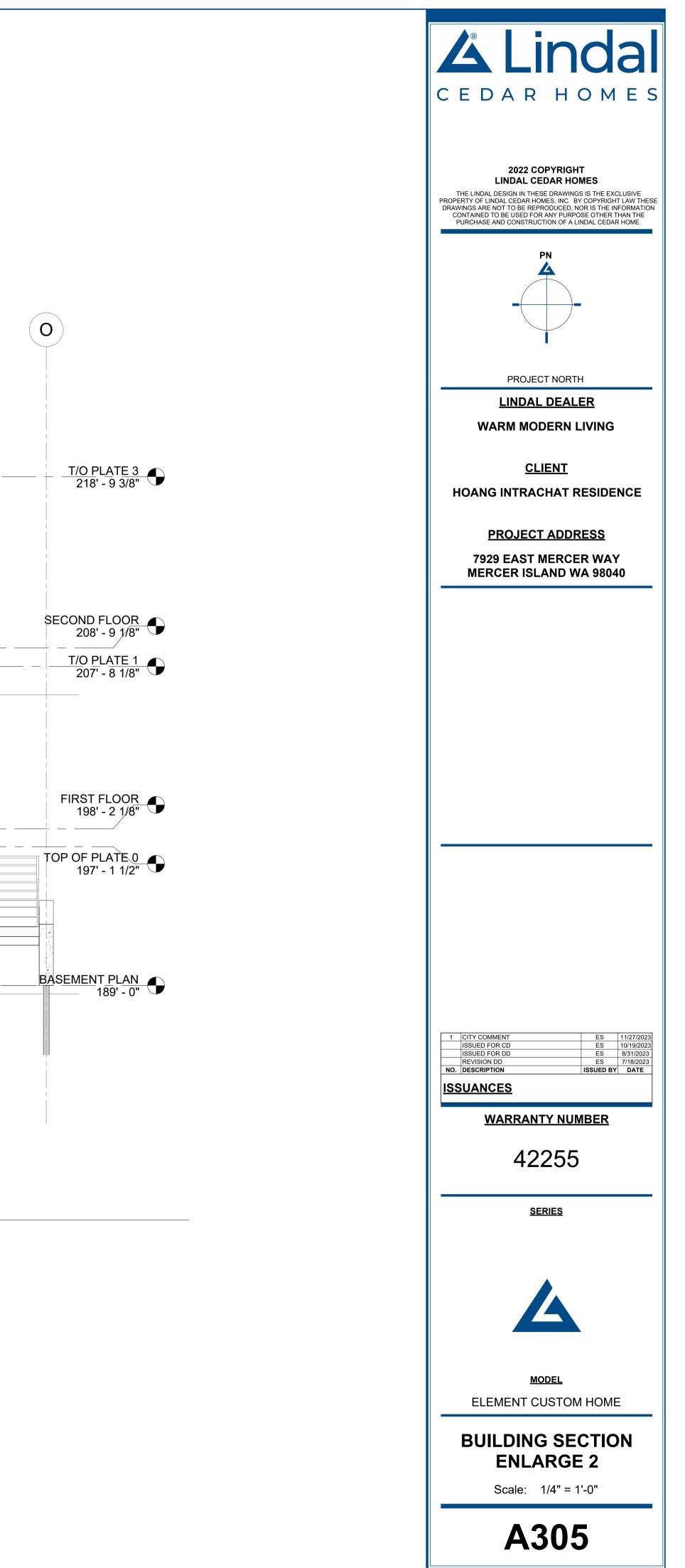
MODEL ELEMENT CUSTOM HOME

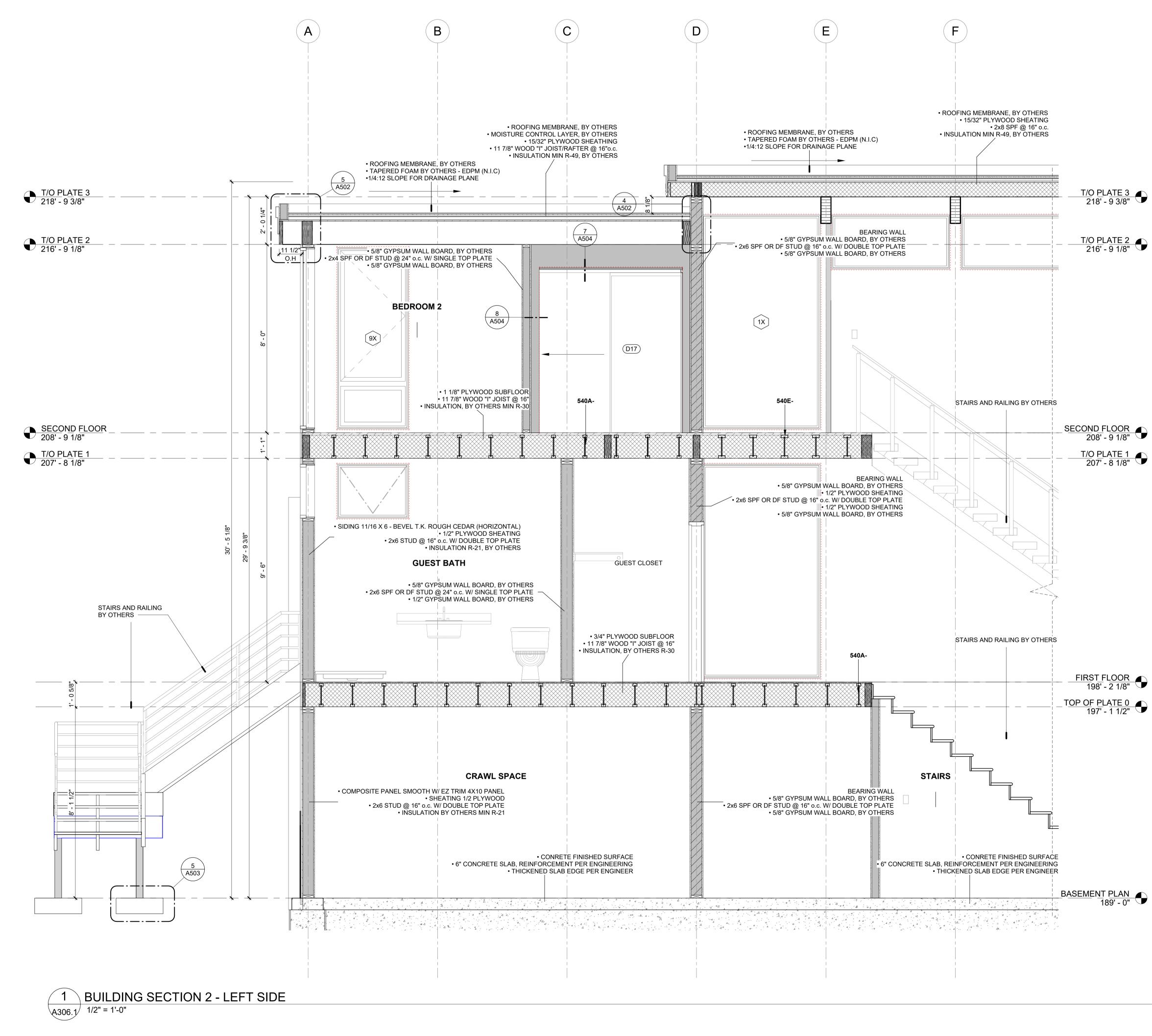
BUILDING SECTION 3-B











CROSS SECTION NOTES

SCALE: 1/2" = 1'-0"

- 1. CONCRETE WORKS (DESIGN and MATERIALS) BY OTHERS. 2. ALL FOUNDATION DIMENSIONS TO BE PER LÓCAL CODES.
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- 5. ICE & WATER SHIELD SHOULD ONLY BE APPLIED AT THE EAVES (6 FOOT STRIPS MAXIMUM) IN CLOSED CELL SPRAY FOAM AREAS AS THE ICE WATER SHIELD CREATES A SECOND VAPOR BARRIER ABOVE THE INSULATION TRAPPING MOISTURE BETWEEN.
- 6. ALL DRAIN TILES, VAPOR BARRIERS AND OTHER MOISTURE AND WATER CONTROL SYSTEMS ARE TO BE INSTALLED PER LOCAL CODES.
- 7. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.

FLASHING

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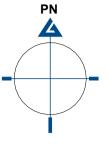
FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING

- LOCATIONS: A. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER -RESISTIVE
- BARRIER FOR SUBSEQUENT DRAINAGE. B. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY
- CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS. C. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS
- AND SILLS.
- D. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. E. AT WALL AND ROOF INTERSECTIONS.
- F. AT BUILT-IN GUTTERS.



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PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040

SECOND FLOOR 208' - 9 1/8" T/O PLATE 1 207' - 8 1/8"

FLOOR - 2 1/8"	
PLATE 0 " - 1 1/2"	

WARRANTY NUMBER

42255

SERIES

ES 10/19/2023 ES 8/31/2023 ES 7/18/2023 ISSUED BY DATE

1 CITY COMME

ISSUED FOR CD

REVISION DD

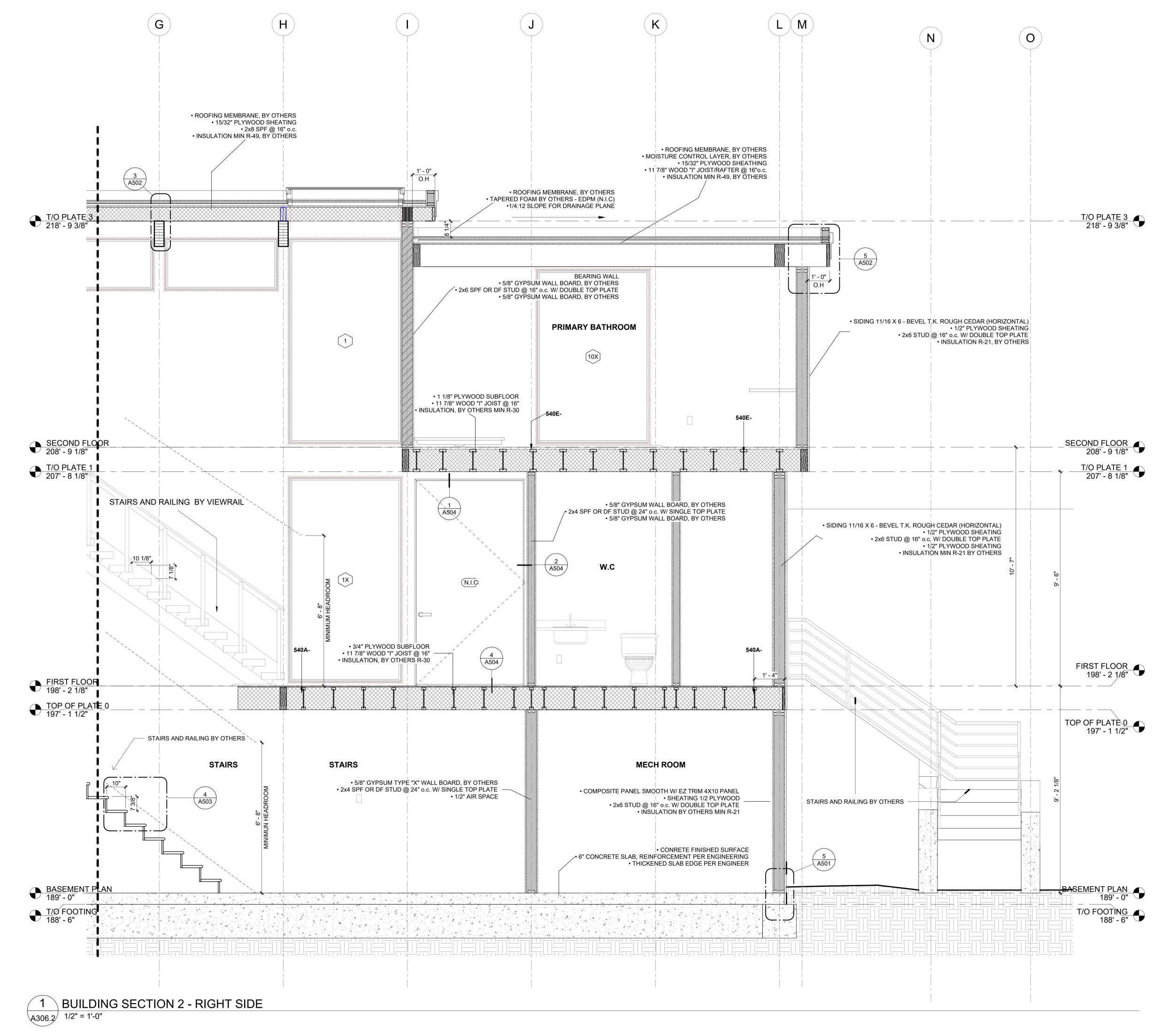
NO. DESCRIPTION **ISSUANCES**

> MODEL ELEMENT CUSTOM HOME

BUILDING SECTION 4A

Scale: 1/2" = 1'-0"





CROSS SECTION NOTES

SCALE: 1/2" = 1'-0" 1. CONCRETE WORKS (DESIGN and MATERIALS) BY OTHERS.

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- FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS: A. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR
- WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER -RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE
- B. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY
- CONSTRUCTION WITH FRAME OR STUCCO WALLS. WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
- C. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS. D. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL
- OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. E. AT WALL AND ROOF INTERSECTIONS.
- F. AT BUILT-IN GUTTERS.



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PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS
7929 EAST MERCER WAY
MERCER ISLAND WA 98040

EMENT PLAN	
189' - 0"	
T/O FOOTIN <u>G</u> 188' - 6"	

	ES	11/27/2023
ISSUED FOR CD	ES ES	10/19/2023 8/31/2023
REVISION DD	ES ES	7/18/2023
NO. DESCRIPTION	ISSUED BY	DATE
<u>ISSUANCES</u>		
warranty num 42255	IBER	
SERIES		

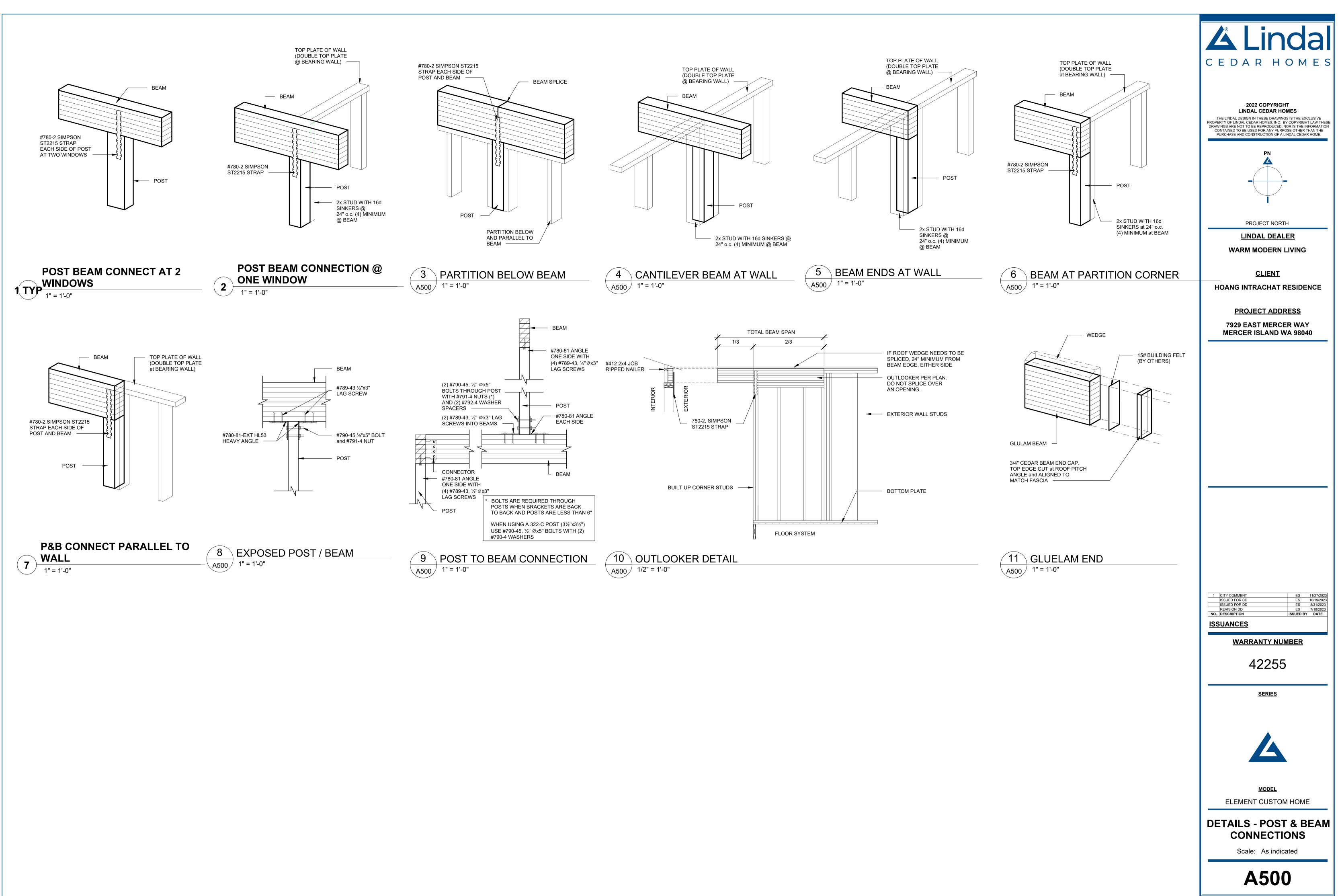


MODEL ELEMENT CUSTOM HOME

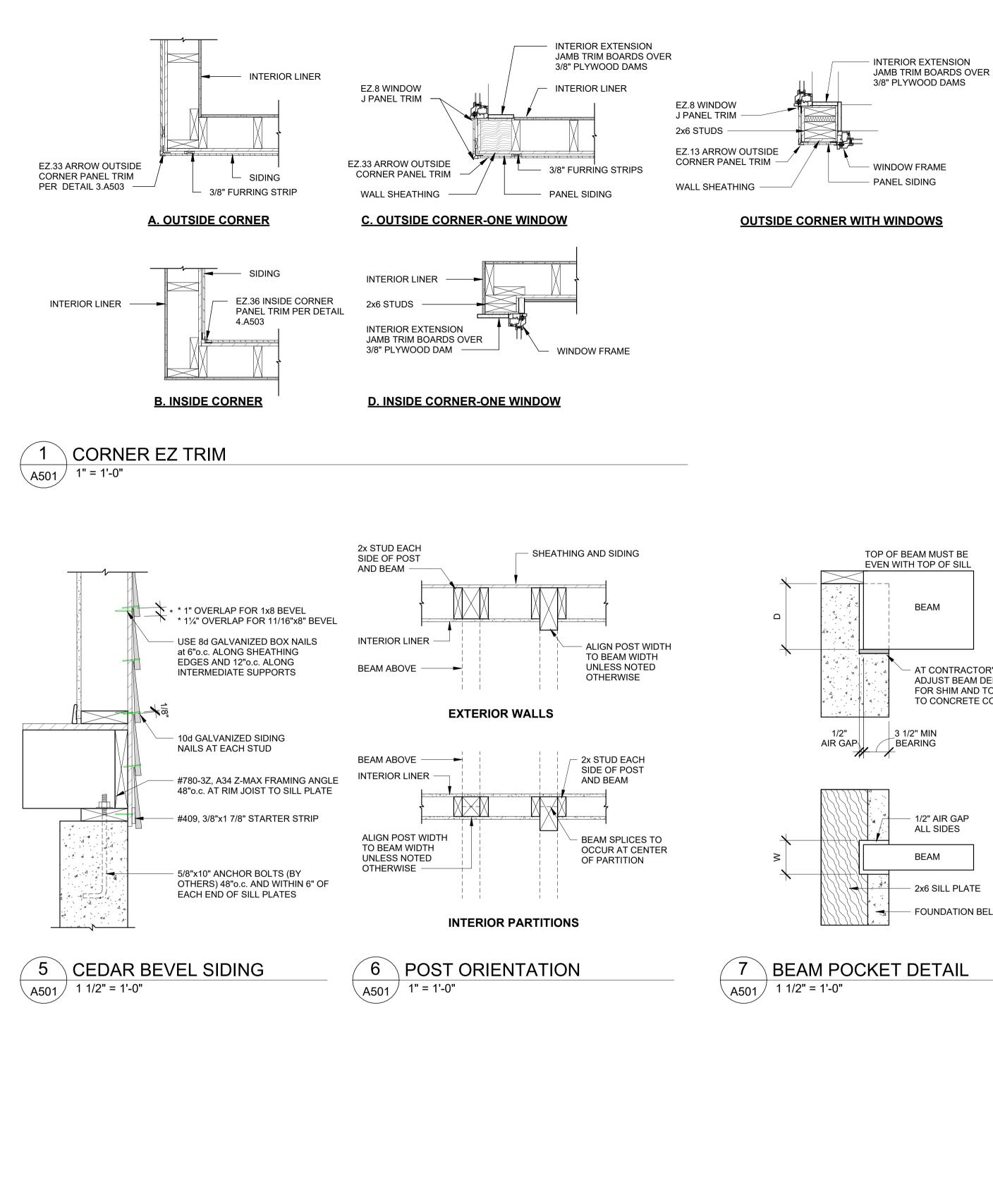
BUILDING SECTION 4B

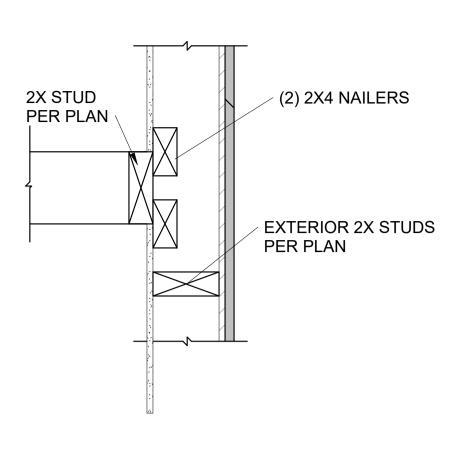
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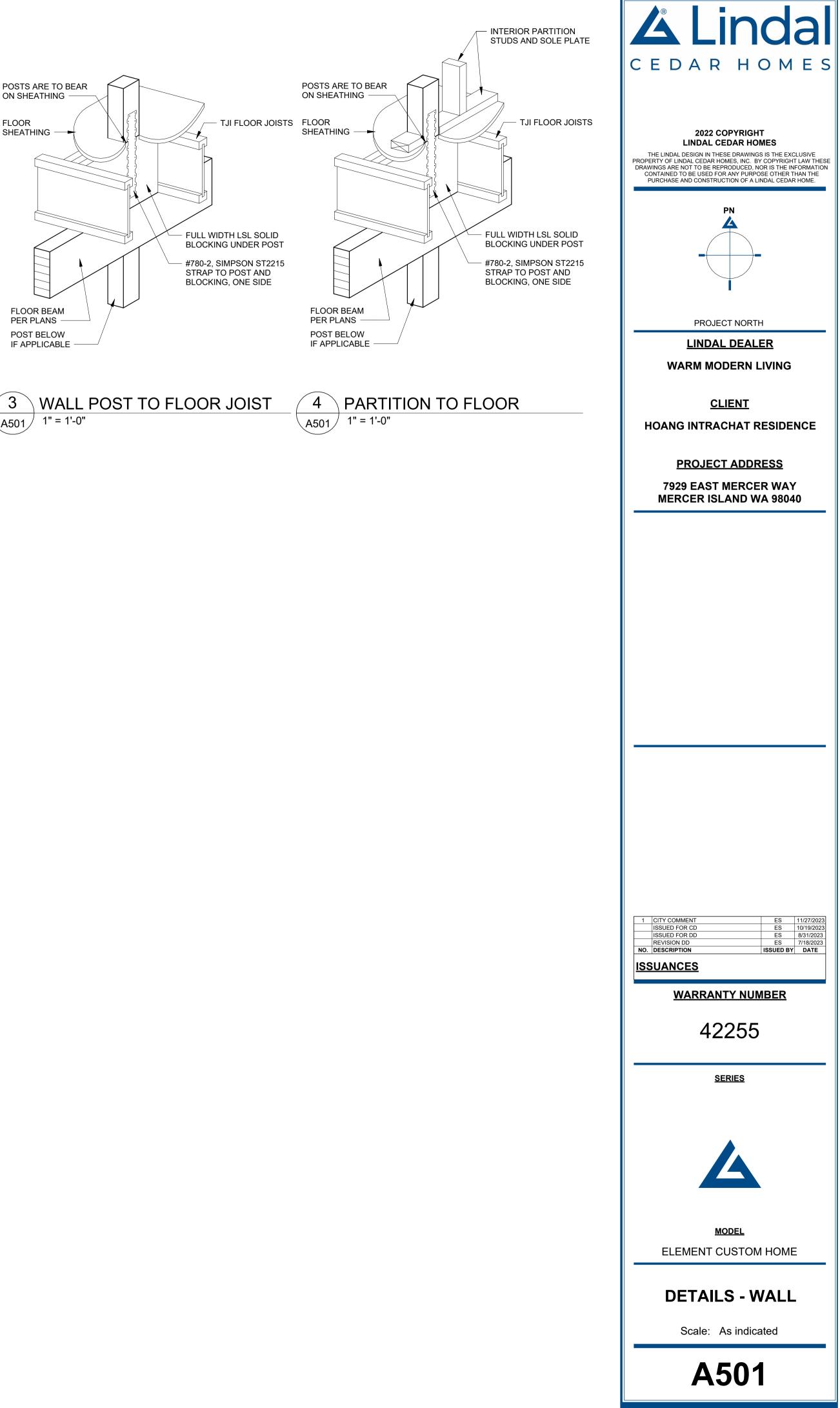




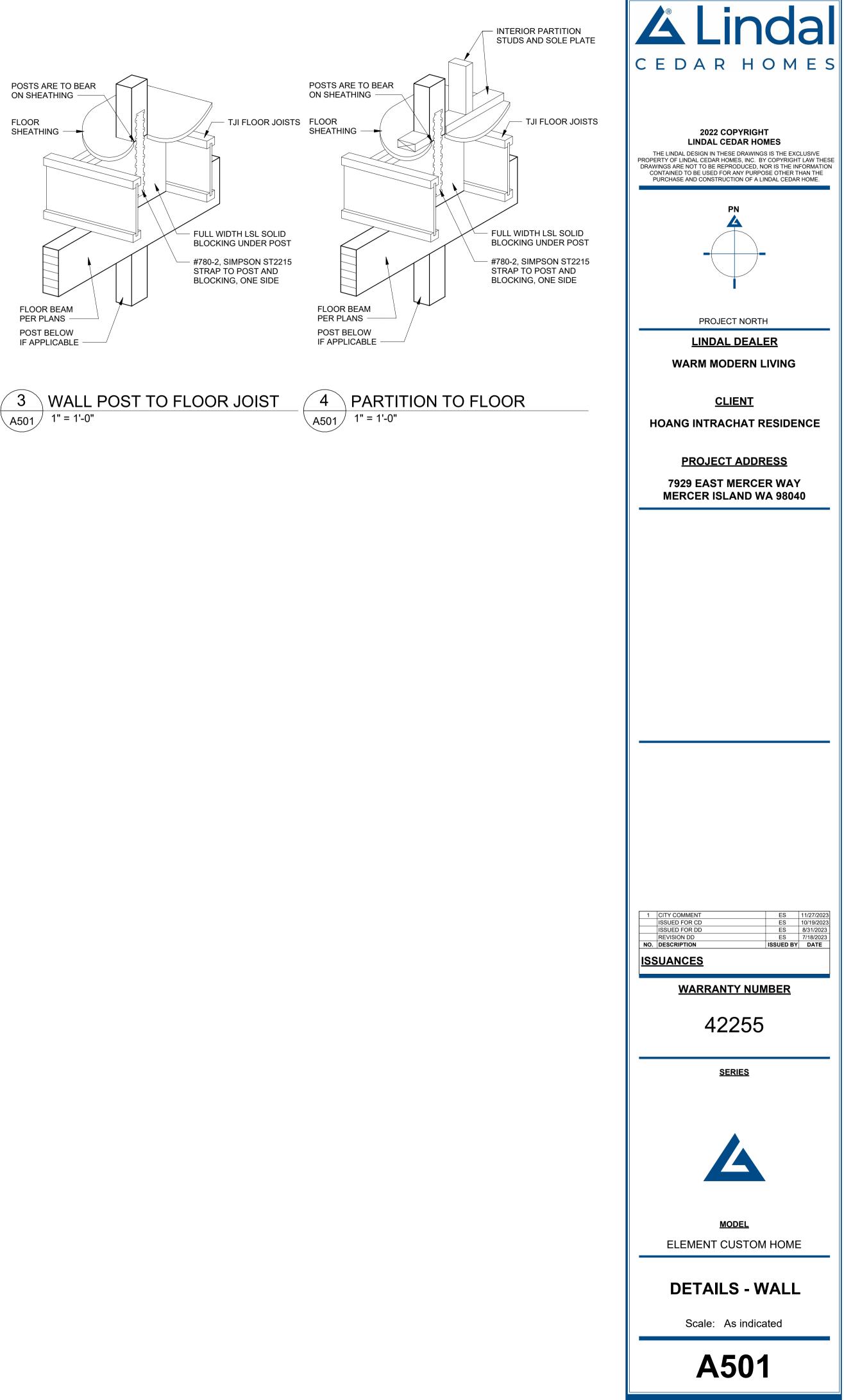
:H D 24" x 36" LAST PLOT DATE: 11/27/2023 2:29:26 PN



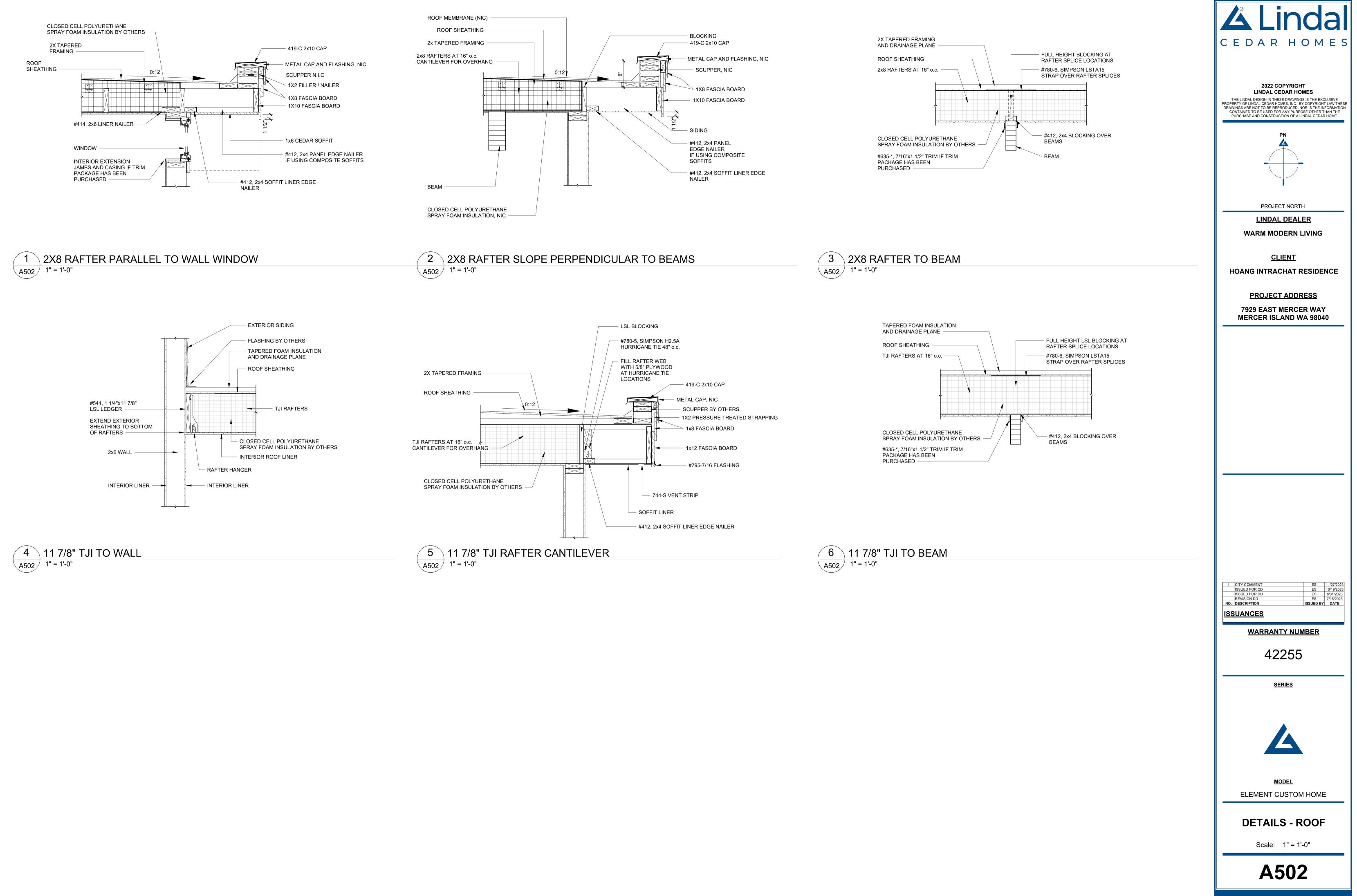




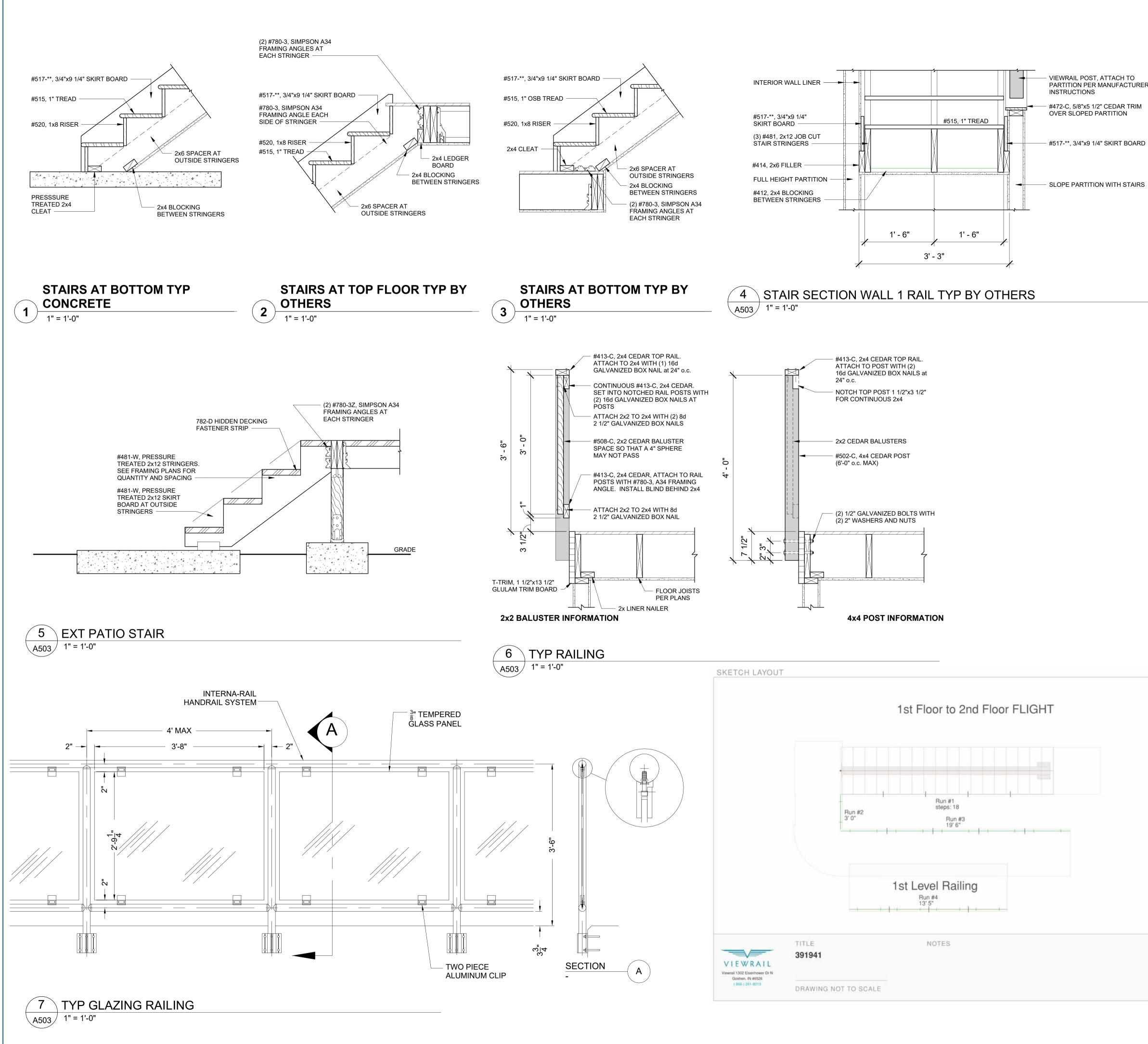




		OF BEAM MUST BE WITH TOP OF SILL								
∖		I		BUILT UP	(2)	2x	(3)	2x	(4)	2x
		BEAM		LUMBER	W	D	W	D	W	D
		BEAW		2x10	4"	7 3/4"	5 1/2"	7 3/4"	7"	7 3/4"
	<u>A</u> 4			2x12	4"	9 3/4"	5 1/2"	9 3/4"	7"	9 3/4"
\mathbf{X}										
		ADJUST BEAN	TOR'S DISCRETION, I DEPTH DIMENSION D TO PREVENT BEAM E CONTACT	GLULAM BEAM		/8" AM	5 1 BE		6 3 BE	
	A	TOCONCRET	E CONTACT.	DEAW	W	D	W	D	W	D
	1/2"	3 1/2" MIN		9"	4 1/8"	7 1/2"	6 1/8"	7 1/2"	7 3/4"	7 1/2"
	AIR GAP	BEARING		10 1/2"	4 1/8"	9"	6 1/8"	9"	7 3/4"	9"
				12"	4 1/8"	10 1/2"	6 1/8"	10 1/2"	7 3/4"	10 1/2"
				13 1/2"	4 1/8"	12"	6 1/8"	12"	7 3/4"	12"
				15"	4 1/8"	13 1/2"	6 1/8"	13 1/2"	7 3/4"	13 1/2"
		—— 1/2" AIR GAP		16 1/2"	4 1/8"	15"	6 1/8"	15"	7 3/4"	15"
		ALL SIDES		18"			6 1/8"	16 1/2"	7 3/4"	16 1/2"
\mathbf{i}				19 1/2"			6 1/8"	18"	7 3/4"	18"
\geq		BEAM		21"			6 1/8"	19 1/2"	7 3/4"	19 1/2"
\mathbf{i}			-	22 1/2"			6 1/8"	21"	7 3/4"	21"
		—— 2x6 SILL PLAT	E	24"			6 1/8"	22 1/2"	7 3/4"	22 1/2"
		Foundation	BELOW			**				



Scale:	1" =	1'-0"
o dalo.	•	

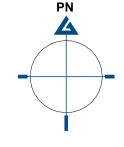


АСН ТО
JFACTURER'S



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PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040

ISS	UANCES		
NO.	DESCRIPTION	ISSUED BY	DATE
	REVISION DD	ES	7/18/2023
	ISSUED FOR DD	ES	8/31/2023
	ISSUED FOR CD	ES	10/19/2023
1	CITY COMMENT	ES	11/27/2023

WARRANTY NUMBER

42255

<u>SERIES</u>

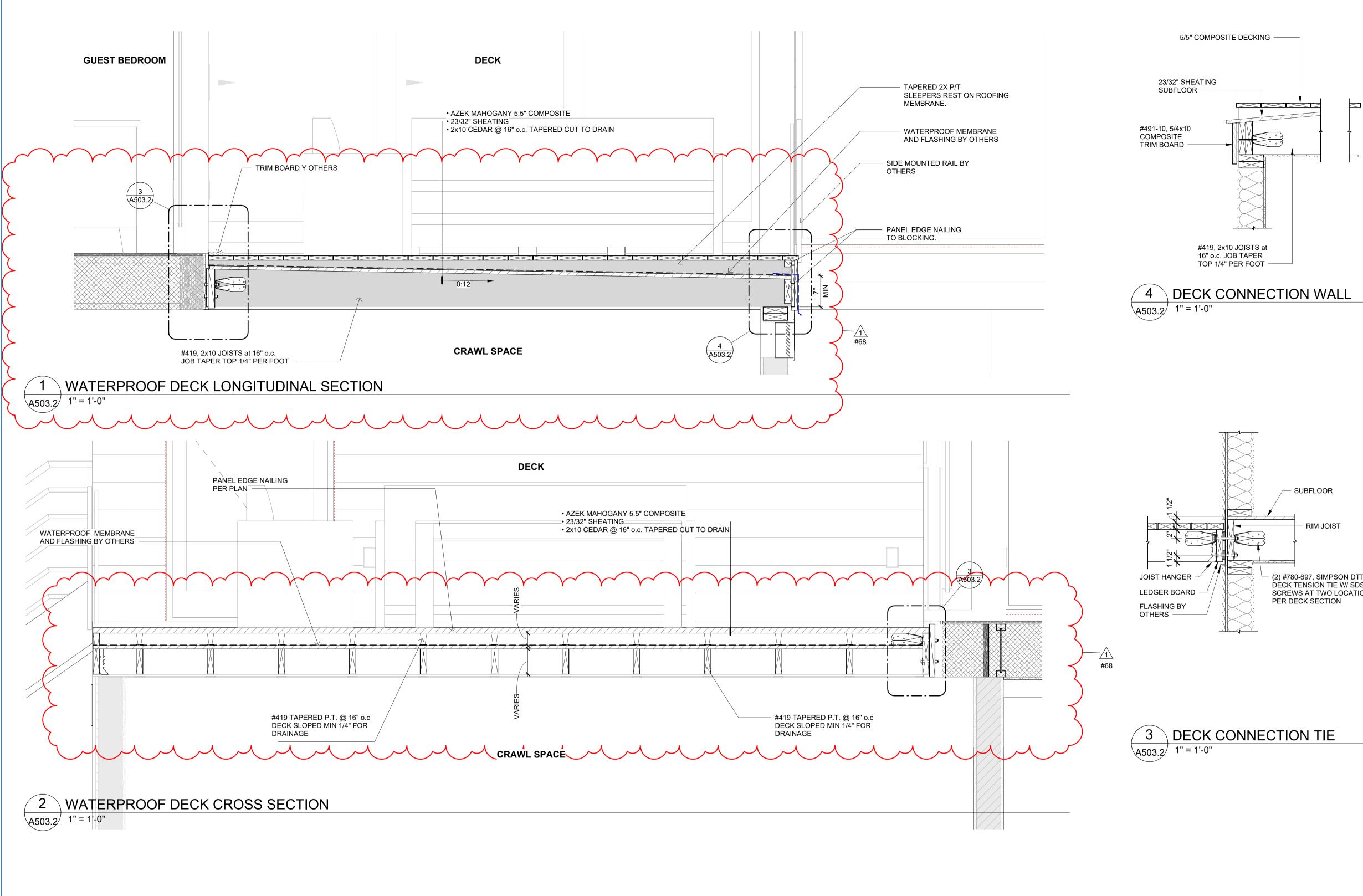


MODEL ELEMENT CUSTOM HOME



Scale: 1" = 1'-0"



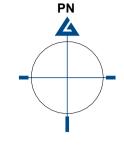


(2) #780-697, SIMPSON DTT2Z
 DECK TENSION TIE W/ SDS
 SCREWS AT TWO LOCATIONS

Lindal CEDAR HOMES

2022 COPYRIGHT LINDAL CEDAR HOMES

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PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040

ISS	UANCES		
NO.	DESCRIPTION	ISSUED BY	DATE
	REVISION DD	ES	7/18/2023
	ISSUED FOR DD	ES	8/31/2023
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1	CITY COMMENT	ES	11/27/2023

WARRANTY NUMBER

42255

SERIES

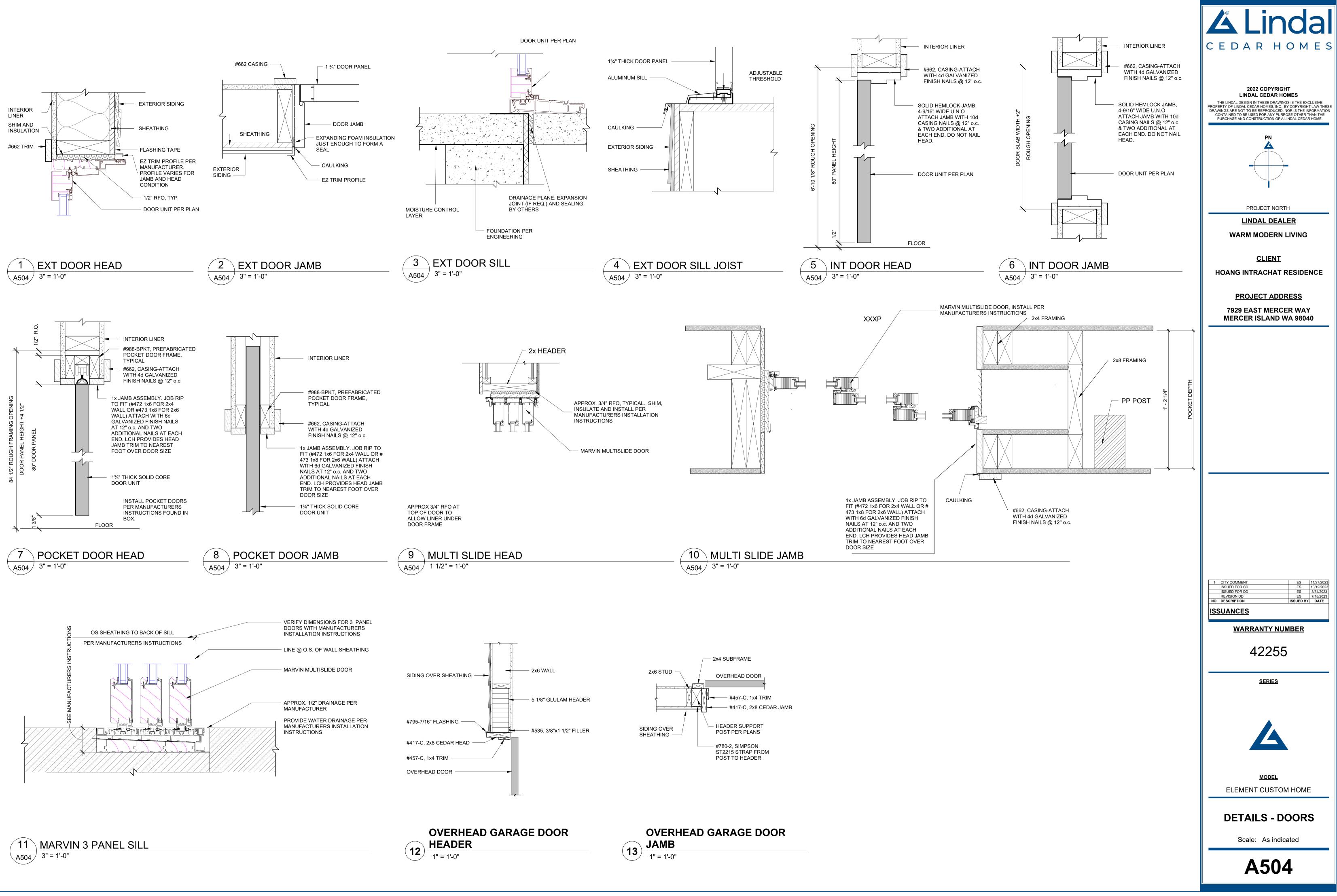


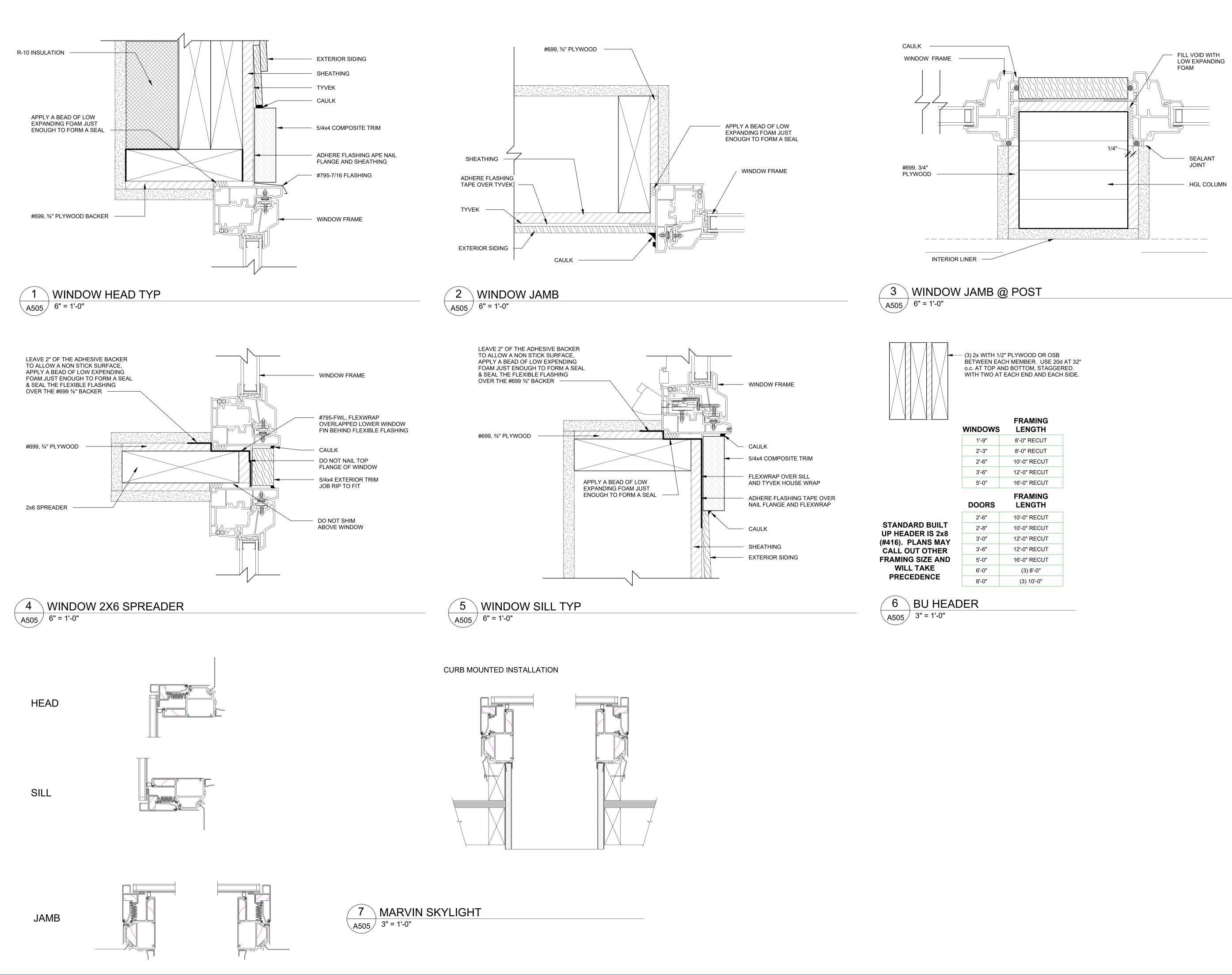
MODEL ELEMENT CUSTOM HOME

DETAILS - DECKS

Scale: 1" = 1'-0"



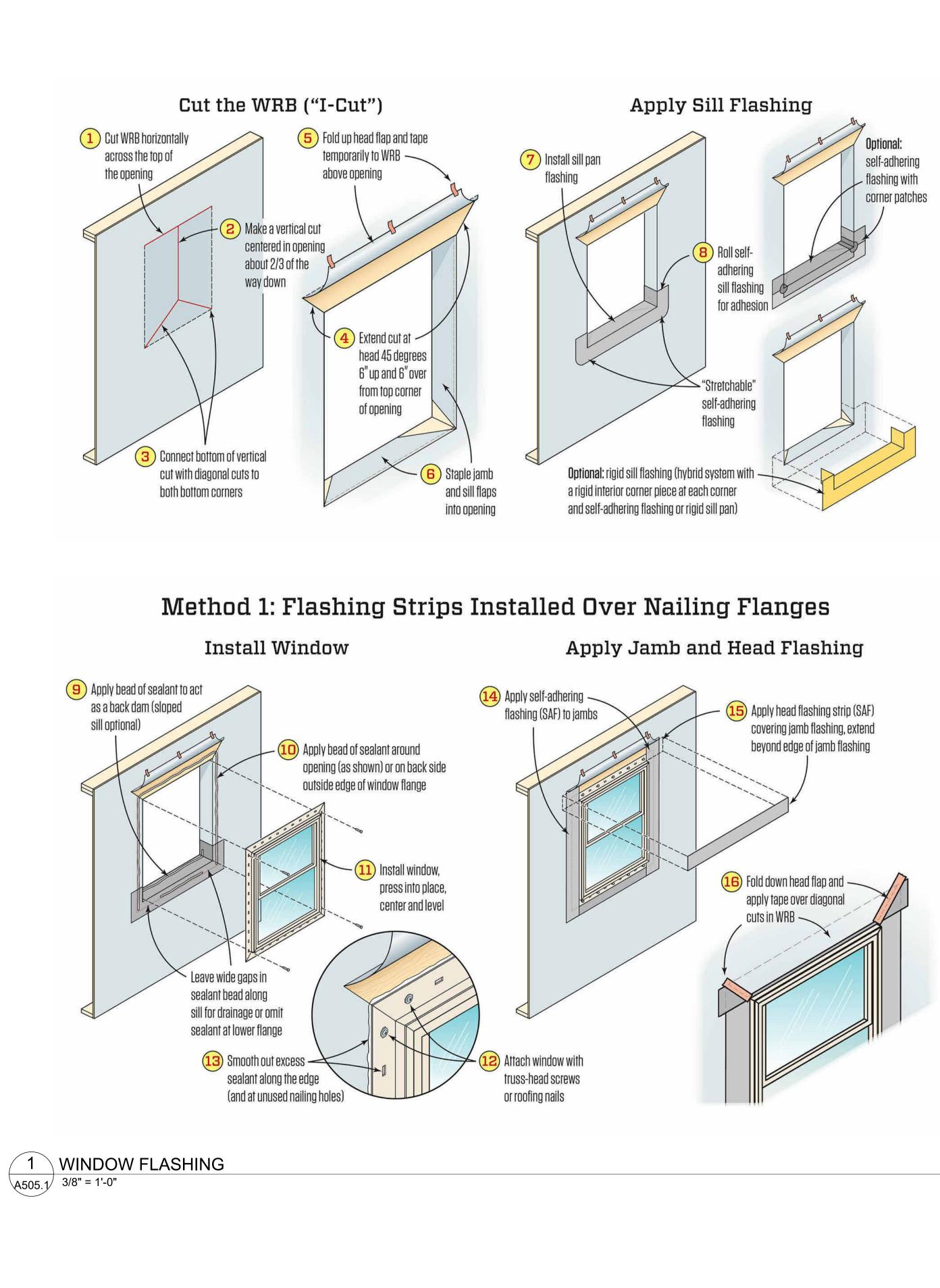


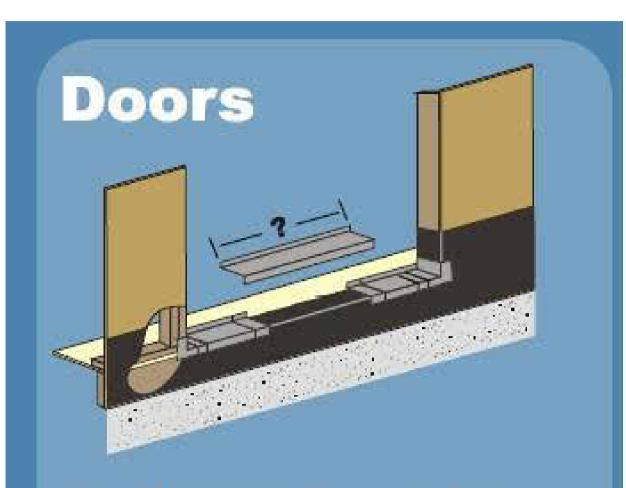


LENGTH
8'-0" RECUT
8'-0" RECUT
0'-0" RECUT
2'-0" RECUT
6'-0" RECUT
FRAMING LENGTH
LENGTH

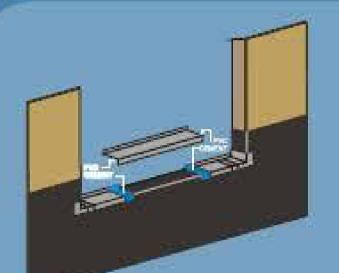
10'-0" RECUT
10'-0" RECUT
12'-0" RECUT
12'-0" RECUT
16'-0" RECUT
(3) 8'-0"
(3) 10'-0"

CEDAR HOMES							
EVALUATE: DESIGN IN THESE DRAWINGS IS THE EXCLUSIVE FOR THE LINDAL CEDAR HOMES, INC. BY COPYRIGHT LAW THESE DRAWINGS ARE NOT TO BE REPRODUCED, NOR IS THE INFORMATION CONTAINED TO BE USED FOR ANY PURPOSE OTHER THAN THE PURCHASE AND CONSTRUCTION OF A LINDAL CEDAR HOME.							
PN							
PROJECT NORTH							
WARM MODERN LIVING							
<u>CLIENT</u> HOANG INTRACHAT RESIDENCE							
PROJECT ADDRESS							
7929 EAST MERCER WAY MERCER ISLAND WA 98040							
1 CITY COMMENT ES 11/27/2023 ISSUED FOR CD ES 10/19/2023 ISSUED FOR DD ES 8/31/2023 REVISION DD ES 7/18/2023 NO. DESCRIPTION ISSUED BY DATE							
WARRANTY NUMBER							
42255							
<u>SERIES</u>							
MODEL ELEMENT CUSTOM HOME							
DETAILS - WINDOWS Scale: As indicated							
A505							

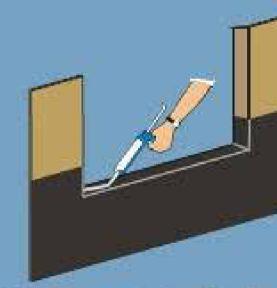




1. Install lower course of housewrap. Place left & right corners tight against framing. Measure center section and cut if necessary maintaining 1 1/2" overlap at glue joints. Center section must fit within recessed areas of corner pieces.



2. Apply PVC cement to the recessed areas of the corner pieces and the underside of the center section where it overlaps the recessed areas. Hold or damp pieces together long enough to ensure a complete bond.
 3. Remove pan and apply cauliding where the pan will contact the framing. Set pan in cauliding.



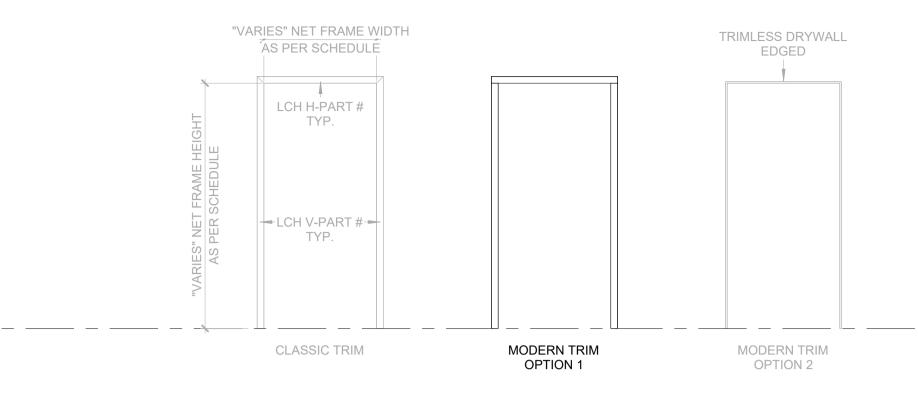


2 DOOR FLASHING A505.1/ 1/2" = 1'-0"



DOOR TRIM OPTIONS:

 $\mathbf{\mathbf{O}}$



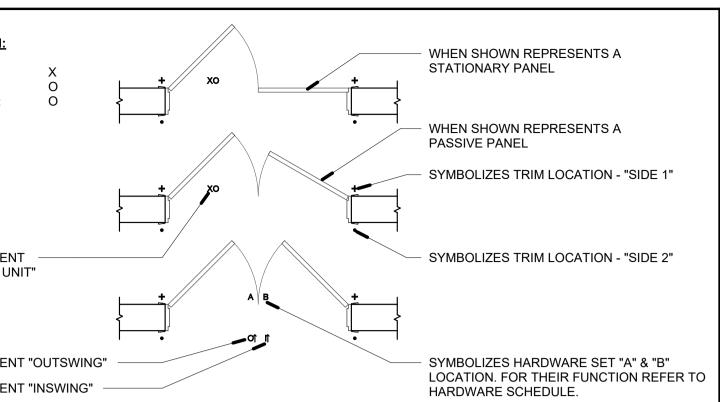
		001		
DO	OR	SCH	EDU	JLE

	DOOK SCHEDULE																						
	LCH DOOR	DESCRIPTION	LOCATION TO ROOM:	ROUGH	OPENING	NET FRA		SIONS	PAN	IEL DIME	NSIONS	SID	E LIGHT		MNF	'S DESCRIPTION				MATERIAL FINISHES & ACCESSORIES			
NO.	LCH PART #	ТҮРЕ	NAME	WIDTH	HEIGHT	WIDTH	HEIGHT	DEPTH	QTY	WIDTH	HEIGHT	QTY	WIDTH	MNF	MNF ML	MNF PART #	STYLE	PANEL MAT	FRAME FIN	REMARKS			
EXTER	lor																		-				
D1	05-241-D1	1P-LH-INSWING	GARAGE	38"	82 1/4"	37 1/2"	81 3/4"	6 11/16"	1	36"	79"			LYNDEN	24	241X LH-	1-PANEL FLUSH			EXT EZ TRIM - COLOR MATCH MODERN L022 - SATIN BLACK			
D2	05-241-D2	1P-LH-INSWING	CRAWL SPACE	38"	82 1/4"	37 1/2"	81 3/4"	6 11/16"	1	36"	79"			LYNDEN	24	241X LH-	1-PANEL FLUSH			EXT EZ TRIM - COLOR MATCH MODERN L022 - SATIN BLACK			
D22	05-NIC1-D22	1P-RH-OUTSWING	GUEST BEDROOM	38"	97"	37 1/2"	96 1/2"	7 3/16"	1	36"	95"			NIC	1	1X RH-	1P GLASS			EXT EZ TRIM - COLOR MATCH MODERN L022 - SATIN BLACK			
NIC	05-254-NIC	3P-MULTISLIDE OXX	DECK	134 9/16"	109"	133 9/16"	108 1/2"	10 7/8"	3	47 1/16"	104 1/2"			MARVIN	ULTIMATE	OXX	MULTI-SLIDE DOOR	FBGC		N.I.C			
INTER	OR																						
D3	06-241-D3	1P-LH-SINGLE	STAIRS	38"	82 1/8"	37 1/2"	81 5/8"	6 13/16"	1	36"	80"			LYNDEN	24	241LH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 WHITE PAINT TRIM FIRE RATED DOOR			
D4	06-241-D4	1P-RH-SINGLE	MECH ROOM	38"	82 1/8"	37 1/2"	81 5/8"	6 13/16"	1	36"	80"			LYNDEN		RH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK FIRED RATED			
D4	06-241-D4	1P-RH-SINGLE	GARAGE	38"	82 1/8"	37 1/2"	81 5/8"	6 13/16"	1	36"	80"			LYNDEN	24	241RH-	1-PANEL FLUSH						
D5	06-241-D5	1P-RH-SINGLE	W.C	32"	82 1/8"	31 1/2"	81 5/8"	6 13/16"	1	30"	80"			LYNDEN	1	3RH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D6	06-245-D6	1P-POCKET	PANTRY	49"	84 1/2"	25"	81 5/8"	6 13/16"	1	24"	80"			LYNDEN			1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D7	06-245-D7	1P-POCKET	LIVING / KITCHEN	73"	84 1/2"	37"	81 5/8"	6 13/16"	1	36"	80"			LYNDEN	1	245	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D8	06-241-D8	1P-RH-SINGLE	FOYER ENTRANCE HALLWAY	26"	82 1/8"	25 1/2"	81 5/8"	7 13/16"	1	24"	80"			LYNDEN	1	RH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D9	06-241-D9	1P-LH-SINGLE	GUEST BEDROOM	38"	82 1/8"	37 1/2"	81 5/8"	7 13/16"	1	36"	80"			LYNDEN	1	LH-	1-PANEL FLUSH						
D10	06-245-D10	1P-POCKET	GUEST BEDROOM	73"	84 1/2"	37"	81 5/8"	6 13/16"	1	36"	80"			LYNDEN	1	3	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D12	06-241-D12	1P-RH-SINGLE	LAUNDRY	38"	82 1/8"	37 1/2"	81 5/8"	4 13/16"	1	36"	80"			LYNDEN	1	241RH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D13	06-241-D13	1P-LH-SINGLE	BATHROOM	38"	82 1/8"	37 1/2"	81 5/8"	4 13/16"	1	36"	80"			LYNDEN	1	241LH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D14	06-241-D14	1P-RH-SINGLE	WATSONS BEDROOM	38"	82 1/8"	37 1/2"	81 5/8"	4 13/16"	1	36"	80"			LYNDEN	1	241RH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D15	06-245-D15	1P-POCKET	WATSONS BEDROOM	49"	84 1/2"	25"	81 5/8"	4 13/16"	1	24"	80"			LYNDEN			1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D16	06-241-D16	1P-LH-SINGLE	BEDROOM 2	38"	82 1/8"	37 1/2"	81 5/8"	4 13/16"	1	36"	80"			LYNDEN	1	241LH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D17	06-245-D17	1P-POCKET	BEDROOM 2	73"	84 1/2"	37"	81 5/8"	4 13/16"	1	36"	80"			LYNDEN			1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D18	06-241-D18	1P-LH-SINGLE	PRIMARY BEDROOM	38"	82 1/8"	37 1/2"	81 5/8"	6 13/16"	1	36"	80"			LYNDEN	1	241LH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D19	06-245-D19	1P-POCKET	PRIMARY BEDROOM	49"	84 1/2"	25"	81 5/8"	4 13/16"	1	24"	80"			LYNDEN			1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D20	06-245-D20	1P-POCKET	PRIMARY BEDROOM	49"	84 1/2"	25"	81 5/8"	4 13/16"	1	24"	80"			LYNDEN			1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			
D21	06-241-D21	1P-RH-SINGLE	PRIMARY BATHROOM	38"	82 1/8"	37 1/2"	81 5/8"	4 13/16"	1	36"	80"			LYNDEN		RH-	1-PANEL FLUSH			INT FIR MODERN OP #1, MODERN L022 SATIN BLACK			

ABBREVIATIONS, DOOR, TRIM AND HARDWARE LEGEND:

DOOR SCH	EDULES:	TRIM LCH PAR	F# DESCRIPTION:	PANEL OPERATION:			
QTY DLGL FIN FRR MAT MNF ML LH RH RH #P SL	QUANTITY DUAL GLAZE FINISH FIRE RESISTANCE RATING MATERIAL MANUFACTURER MODEL LINE LEFT HINGE RIGHT HINGE # OF DOOR SLAB SIDE LIGHT	EXAMPLE 1: EXAMPLE 2: TRIM PART #: CEDAR: COMPOSITE DE FIR: HEMLOCK: PRE STAINED:	491-M4 632-MC 632, 491 C EPTH: 4 F H M	OPERABLE: PASSIVE (PSV): STATIONARY (STA):			
MATERIAL	AND FINISHES:	LCH MANUFAC	TURER PART #	WHEN SHOWN REPRESENT -			
 ALUM ALUMC FBG FBGC VNL WB WC WF WRP	ALUMINUM ALUMINUM CLAD FIBERGLASS FIBERGLASS CLAD VINYL WOOD / BIRCH WOOD / CEDAR WOOD / FIR WOOD / REDI-PRIME	MARVIN MILGARD SIMPSON WINDSOR	24 25 26 27 28 29	"PANEL OPERATION OF UNIT" WHEN SHOWN REPRESENT "O WHEN SHOWN REPRESENT "IN			

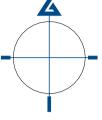
TRADITIONAL TRIM





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PN



PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040

ISSUANCES										
NO.	DESCRIPTION	ISSUED BY	DATE							
	REVISION DD	ES	7/18/2023							
	ISSUED FOR DD	ES	8/31/2023							
	ISSUED FOR CD	ES	10/19/2023							
1	CITY COMMENT	ES	11/27/2023							

WARRANTY NUMBER

42255

SERIES



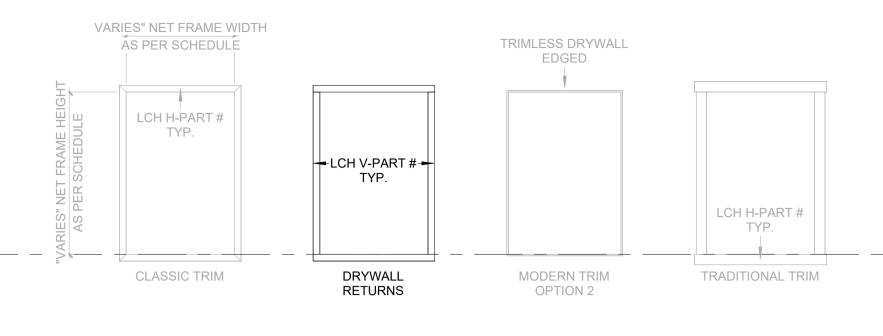
MODEL ELEMENT CUSTOM HOME

SCHEDULES - DOORS

Scale: 3/8" = 1'-0"



WINDOW TRIM LEGEND:





LCH	H WINDOW DESCRIF	DTION	LOCATION FROM RO			G ROUGH OPENING																			
		FIION			JGH OPENING	B ROUGH OPENING		NET FRAME	DIMENSIONS		PANE	L DIMEN	ISIONS	MNF'S C	DESCRIPTION				MATERIAL F	INISHES &	ACCESSORIES	EN'	NERGY SPEC	CIFICATION	
CH PART #	UNIT TYPE	PANEL TYPES WITHIN UNIT	NAME	NO. WID	TH 1 HEIGHT	1 WIDTH 2 HEIGHT 2	WIDTH 1	HEIGHT 1 WIDTH 2	HEIGHT 2 DE	EPTH ANG	BLE QTY V	WIDTH	HEIGHT	MNF	MNF ML	FR MAT	EXT FR FIN	I INT FR FI	N GL	AZE	GLAZE FIN REMARKS	CPD #	U-VALUE	COATING	
२ 251-U-1 1P	P-PICTURE P	P1:FIXED,	HALLWAY	151 6 ⁻	1" 110"		60"	109"		3"	1	57"	106"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK NON TE	MPERED		MAR-N-303-04522-00001	0.27	LOW-E	A
·					·						· · ·	· ·								'		-			
1-U-1.2X 1P	P-PICTURE P	1:FIXED,	FOYER ENTRANCE HALLWAY	153 6 ⁻	1" 110"		60"	109"		3"	1	57"	106"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK NON TE	MPERED	P1 IS TEMPERED	MAR-N-303-04522-00001	0.27		
I-U-1X 1P	P-PICTURE P	1:FIXED,	GUEST BEDROOM	119 6 [°]	1" 110"		60"	109"		3"	1	57"	106"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK TEMF	PERED		MAR-N-303-04522-00001	0.27	LOW-E	
		1:FIXED,	GUEST BEDROOM	119 6 ⁻			60"	109"		3"	1	57"	106"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B		PERED		MAR-N-303-04522-00001	0.27	LOW-E	
		P1:FIXED, P1:FIXED,	HALLWAY	6 ⁻ 151 6 ⁻			60" 60"	109" 109"		3" 3"	1	57" 57"	106"	MARVIN MARVIN	ELEVATE ELEVATE	FBGC FBGC	EBONY	DESIGNER B	_	PERED	P1 AND P2 ARE TEMPERED P1 IS TEMPERED	MAR-N-303-04522-00001 MAR-N-303-04522-00001	0.27	LOW-E	
		1:FIXED,	DINNING ROOM	148 58			57"	109"		3"	1	54"	106"	MARVIN	ELEVATE	FBGC	EBONY		LACK NON TE		FTIS TEMFERED	MAR-N-303-04522-00001	0.27	LOW-E	
		1:FIXED,	FAMILY ROOM	141 6			60"	109"		3"	1	57"	106"	MARVIN	ELEVATE	FBGC	EBONY		LACK NON TE		P1 IS TEMPERED	MAR-N-303-04522-00001	0.27		_
-U-1X 1P	P-PICTURE P	1:FIXED,	FOYER ENTRANCE	153 6 ⁻	1" 110"		60"	109"		3"	1	57"	106"	MARVIN	ELEVATE	FBGC			TEMF	PERED		MAR-N-303-04522-00001	0.27		
			HALLWAY									0.											0.21		
-U-2X 1P	D_		BATHROOM	129 49	9" 28 1/2"	•	48"	27 1/2"		3"	1	45"	24 1/2"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK TEMF	PERED		MAR-N-251-01180-00001	0.27		
I-U-2X 1P	D_		BATHROOM	129 49			48"	27 1/2"		3"	1	45"	24 1/2"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK TEMF	PERED		MAR-N-251-01180-00001	0.27		
I-U-2X 1P	D_		GUEST BATH	120 37	7" 28 1/2"	1	36"	27 1/2"		3"	1	33"	24 1/2"	MARVIN	ELEVATE	FBGC			TEMF	PERED		MAR-N-251-01180-00001	0.27		
				440 5		•	00"	04.4/01		0"		E7"	00.4/0"			5500							0.07		
	PH-COMBINATION P PH-COMBINATION P	, ,	DINNING ROOM	148 6 ² 118 6 ²			60" 60"	31 1/8" 31 1/8"		3"	2		28 1/8" 28 1/8"	MARVIN MARVIN	ELEVATE ELEVATE	FBGC FBGC	EBONY	DESIGNER B	_	PERED	P1 IS TEMPERED P1 IS TEMPERED	MAR-N-251-01180-00001 MAR-N-251-01180-00001	0.27	LOW-E	
	PH-COMBINATION P	, ,	FAMILY ROOM	141 6 ²			60"	31 1/8"		3"	2	-	28 1/8	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	-	PERED	P1 AND P2 IS TEMPERED	MAR-N-251-01180-00001	0.27	LOW-E	
	PH-COMBINATION P	, ,	FAMILY ROOM	141 6 ⁻			60"	31 1/8"		3"	2	57"	28 1/8"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B		PERED	P1 AND P2 IS TEMPERED	MAR-N-251-01180-00001	0.27	LOW-E	
	· · ·																					-			_
		1:FIXED,	DINNING ROOM	148 6 [°]	1" 76 3/8"	•	60"	75 3/8"		3"	1	57"	72 3/8"	MARVIN	ELEVATE	FBGC	EBONY		LACK NON TE			MAR-N-303-04522-00001	0.27		
		1:FIXED,	LIVING / KITCHEN	118 6 ⁻	1" 76 3/8"	'	60"	75 3/8"		3"	1	57"	72 3/8"	MARVIN	ELEVATE	FBGC	EBONY		LACK NON TE			MAR-N-303-04522-00001	0.27		
		1:FIXED,	FAMILY ROOM	141 6			60"	75 3/8"		3"	1	57"	72 3/8"	MARVIN	ELEVATE	FBGC	EBONY		LACK NON TE			MAR-N-303-04522-00001	0.27	'	
I-U-4 1P	P-PICTURE P	P1:FIXED,	FAMILY ROOM	141 6 ⁻	1" 76 3/8"		60"	75 3/8"		3"	1	57"	72 3/8"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK NON TE	MPERED		MAR-N-303-04522-00001	0.27		
-U-5X 1P	P-PICTURE P	1:FIXED,	DINNING ROOM	148 6 ⁻	1" 28"		60"	27"		3"	1	57"	24"	MARVIN	ELEVATE	FBGC	EBONY		LACK NON TE		P1 IS TEMPERED	MAR-N-303-04522-00001	0.27	LOW-E	
		P1:FIXED,	LIVING / KITCHEN	118 6 ⁻			60"	27"		3"		57"	24"	MARVIN	ELEVATE	FBGC	EBONY		LACK NON TE		P1 IS TEMPERED	MAR-N-303-04522-00001	0.27	LOW-E	
		P1:FIXED,	LIVING / KITCHEN	118 6	1" 28"		60"	27"		3"	1	57"	24"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK NON TE	MPERED	P1 IS TEMPERED	MAR-N-303-04522-00001	0.27	LOW-E	_
		1:FIXED,	LIVING / KITCHEN	118 6 ⁻			60"	27"		3"	1	57"	24"	MARVIN	ELEVATE	FBGC	EBONY		LACK NON TE		P1 IS TEMPERED	MAR-N-303-04522-00001	0.27	LOW-E	
-U-5X 1P	P-PICTURE P	P1:FIXED,	DINNING ROOM	148 6 ⁻	1" 28"		60"	27"		3"	1	57"	24"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK NON TE	MPERED	P1 IS TEMPERED	MAR-N-303-04522-00001	0.27	LOW-E	
1-U-6 1P	P-PICTURE P	1:FIXED,	DINNING ROOM	148 6'	1" 81"		60"	80"		3"	1	57"	77"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK NON TE	MPERED		MAR-N-303-04522-00001	0.27		
		P1:FIXED,	LIVING / KITCHEN	118 6 ²			60"	80"		3"	1	57"	77"	MARVIN	ELEVATE	FBGC	EBONY		LACK NON TE			MAR-N-303-04522-00001	0.27	·'	
		P1:FIXED,	LIVING / KITCHEN	118 6 ⁻	1" 81"		60"	80"		3"	1	57"	77"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK NON TE	MPERED		MAR-N-303-04522-00001	0.27		
		1:FIXED,	LIVING / KITCHEN	118 6 ⁻	1" 81"		60"	80"		3"	1	57"	77"	MARVIN	ELEVATE	FBGC	EBONY		LACK NON TE			MAR-N-303-04522-00001	0.27		
1-U-6 1P	P-PICTURE P	P1:FIXED,	DINNING ROOM	148 6 ⁻	1" 81"		60"	80"		3"	1	57"	77"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK NON TE	MPERED		MAR-N-303-04522-00001	0.27		
-U-7.2X 1P	P-PICTURE P	1:FIXED,	LIVING / KITCHEN	118 57	7" 73"		56"	72"		3"	1	53"	69"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK NON TE	MPERED		MAR-N-303-04522-00001	0.27		
										~ "															
-U-7X 1P	P-PICTURE P	1:FIXED,	LIVING / KITCHEN	118 6'	1" 73"		60"	72"		3"	1	57"	69"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK NON TE	MPERED		MAR-N-303-04522-00001	0.27		
-U-8 1P	D_		LIVING / KITCHEN	118 6 [,]	1" 28 1/2"	•	60"	27 1/2"		3"	1	57"	24 1/2"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK NON TE	MPERED		MAR-N-303-04498-00001	0.27	LOW-E	
-U-8 1P	D_		LIVING / KITCHEN	118 6 ⁻	- 20 1/2		60"	27 1/2"		3"	1	57"	24 1/2"	MARVIN	ELEVATE	FBGC	EBONY		LACK NON TE			MAR-N-303-04498-00001	0.27	LOW-E	
-U-8 1P			LIVING / KITCHEN	118 58		<u> </u>	57"	27 1/2"		3"	1	54"	24 1/2"	MARVIN	ELEVATE	FBGC	EBONY		LACK NON TE			MAR-N-303-04498-00001	0.27	LOW-E	_
-U-8 1P			GUEST BATH HALLWAY	120 6 ⁷ 151 6 ⁷		•	60" 60"	27 1/2" 27 1/2"		3" 3"	1	57" 57"	24 1/2"	MARVIN MARVIN	ELEVATE ELEVATE	FBGC FBGC	EBONY	DESIGNER B		PERED MPERED		MAR-N-251-01180-00001 MAR-N-303-04498-00001	0.27	LOW-E	
-U-8 1P			HALLWAY	151 6 ⁷			60"	27 1/2"		3"	1	57"	24 1/2	MARVIN	ELEVATE	FBGC				MPERED		MAR-N-303-04498-00001 MAR-N-303-04498-00001	0.27		
-U-8 1P			HALLWAY	151 6 ⁻			60"	27 1/2"		3"	1		24 1/2"	MARVIN	ELEVATE	FBGC				MPERED		MAR-N-303-04498-00001	0.27		
	PV-COMBINATION P	1:FXD-SF,P2:CSMTL, 21:FXD-SF,P2:CSMTR,	WATSONS BEDROOM PRIMARY BEDROOM	137 3 ⁷ 124 3 ⁷	/ 33 3/0		36" 36"	92 3/8" 92 3/8"		3" 3"	2		89 3/8" 89 3/8"	MARVIN MARVIN	ELEVATE ELEVATE	FBGC FBGC	EBONY EBONY	DESIGNER B		PERED	P1 AND P2 ARE TEMPERED, EGRESS P1 AND P2 IS TEMPERED, EGRESS	MAR-N-250-01012-0001 MAR-N-250-01012-0001	0.27 0.27		_
	PV-COMBINATION P		BEDROOM 2	124 37			36"	92 3/8"		3"	2		89 3/8"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B		PERED	P1 AND P2 ARE TEMPERED, EGRESS	MAR-N-250-01012-0001 MAR-N-250-01012-0001	0.27	· ['	+
		P1:FIXED,					60"	92 3/8"		3"			89 3/8"	MARVIN	ELEVATE	FBGC		DESIGNER B		PERED		MAR-N-303-04522-00001			
				405 6		•	00"	00.0/0!!		2"		E 7"	00.0/0"			5000						MAD N 000 04500 0000 (0.07		
		P1:FIXED, P1:FIXED,	PRIMARY BATHROOM WATSONS BEDROOM	135 6 ⁷ 137 6 ⁷			60" 60"	92 3/8" 92 3/8"		3" 3"			89 3/8" 89 3/8"	MARVIN MARVIN	ELEVATE ELEVATE	FBGC FBGC	EBONY EBONY	DESIGNER B		PERED	P1 IS TEMPERED	MAR-N-303-04522-00001 MAR-N-303-04522-00001	0.27	+'	
		P1:FIXED,	WATSONS BEDROOM				60"	92 3/8"		3"			89 3/8"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B		PERED		MAR-N-303-04522-00001	0.27	· ['	+
-U-10X 1P	P-PICTURE P	1:FIXED,		6	1" 93 3/8"	1	60"	92 3/8"		3"	1	57"	89 3/8"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK TEMF	PERED		MAR-N-303-04522-00001	0.27		
-U-10X 1P	P-PICTURE P	P1:FIXED,	BEDROOM 2	127 6 [°]	1" 93 3/8"		60"	92 3/8"		3"	1	57"	89 3/8"	MARVIN	ELEVATE	FBGC	EBONY	DESIGNER B	LACK TEMF	PERED		MAR-N-303-04522-00001	0.27		
K-N.I.C 1P	P-FIXED SKLT				1/2" 58 1/2"		50 1/4"					48 7/8"	60 7/8"	MARVIN	FIXED SKYLIGHT	FBG				PERED	N.I.C			IG LOW E II	

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WINDOW AND TRIM SCHEDULE ABBREVIATIONS:

COMPOSITE OR	
CEDAR TRIM	
010/011000	

25 26 28	MARVIN MILGARD WINDSOR	
WINDOW UNIT	TYPE CODE:	
U C Z T H S K R	SINGLE COMBINATION TRAPEZOID TRIANGLE HUNG SLIDER SKYLIGHT SCREEN	
TRIM LCH PAR	T # DESCRIPTION:	
EXAMPLE 1: EXAMPLE 2: TRIM PART #: CEDAR: COMPOSITE DE FIR: HEMLOCK:	632-MC 632, 491 C	
PRE STAINED:	Μ	

LCH MANUFACTURER PART #:

PANEL TYPES	<u>::</u>
AWN CSMTL CSMTR FXD FXD-SF HGD HGS SLDL SLDR	AWNING LEFT CASEMENT RIGHT CASEMENT PICTURE / FIXED FXD WITH SUB-FRAME DOUBLE HUNG SINGLE HUNG LEFT SLIDER RIGHT SLIDER
COMBINATION	NUNIT DESCRIPTION:
#P #PV 3PT 3PB #P#B #P#M #P#M	# OF PANELS WITHIN UNIT ORIENTED VERTICAL ORIENTED HORIZONTAL 2P AT BOTTOM + 1P AT TOP 2P AT TOP + 1P AT BOTTOM #P WITH # AT BOTTOM #P WITH # AT MIDDLE #P WITH # AT TOP

QTY DLGL EXT

FIN

FR

FRR INT

MAT MNF

ML

LH

RH

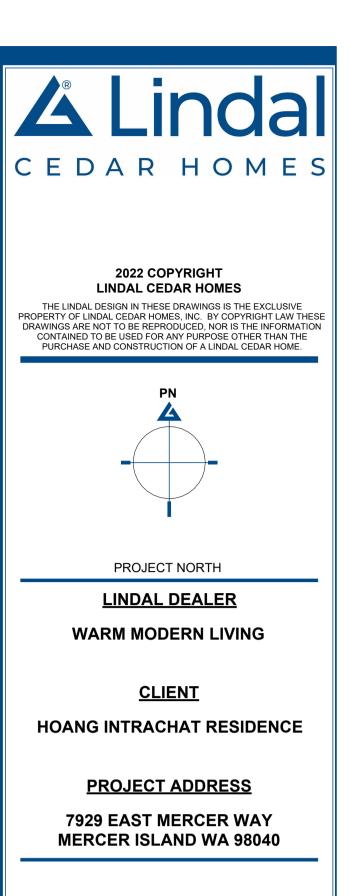
SCHEDULE ABBREVIATIONS:

QUANTITY DUAL GLAZE EXTERIOR FINISH FRAME FIRE RESISTANCE RATING INTERIOR MATERIAL MANUFACTURER MODEL LINE LEFT HAND

RIGHT HAND

MATERIAL AND FINISHES: ALUM ALUMC FBG FBGC HDFBGC VNL WF WUIC ALUMINUM ALUMINUM CLAD FIBERGLASS VINYL

FIBERGLASS CLAD HIGH DENSITY FIBERGLASS CLAD WOOD / FIR WILDLAND URBAN INTERFACE CODE



1 CITY COMMENT ISSUED FOR CD ISSUED FOR DD REVISION DD NO. DESCRIPTION	ES 11/27/2023 ES 10/19/2023 ES 8/31/2023 ES 7/18/2023 ISSUED BY DATE
<u>ISSUANCES</u> WARRANTY NUM	IBER
42255	
<u>SERIES</u>	
MODEL	

MODEL ELEMENT CUSTOM HOME

SCHEDULES - WINDOWS

Scale: 3/8" = 1'-0"

A601

	CRITERIA			
	<u>IANSHIP, DESIGN, AND CONSTRUCTION</u> SHALL CONFOR DIB EDITION OF THE INTERNATIONAL BUILDING CODE (13.	<u>SPECIAL INSF</u> (INCLUDING F EPOXY GROU
2. DESIGN LOADING CRITE	RIA			AND THE PRO
ROOF SNOW LOAD ROOF DEAD LOAD ALLO	OWANCE FOR PV PANELS	30 PSF 4 PSF		THE OWNER, A WHICH FAIL T
FLOOR LIVE LOAD (RES	IDENTIAL)	40 PSF		
	IDENTIAL EXTERIOR DECKS AND BALCONIES) RAILS (ONE OR TWO UNIT DWELLING)	60 PSF 200 LBS	4.	FOUNDATION FILLING REQU
<u>WIND</u> : A	WIND BASE S	" I - BUILDINGS OF ALL HEIGHTS" RISK CATEGORY II 98 MPH EXPOSURE "C" TOPOGRAPHIC FACTOR Kzt = 1.6 HEAR, NORTH/SOUTH VW = 44.1 K SHEAR, EAST/WEST VW = 27.9 K		EARTH (CONT FINISHED GR/ GUIDANCE ON FIELD WORKI SHALL BE CE BACKFILL BE SUBSURFACE
<u>EARTHQUAKE</u> :	N DESIGN ACCEL SEISMIC RESISTING SYSTEM: WOOD PANEL SEISMIC RE	C DESIGN CATEGORY (SDC) = D RISK CATEGORY = II SEISMIC SITE CLASS = D IMPORTANCE FACTOR IE = 1.0 IAPPED MCE SS = 1.46; SI = 0.50 ERATION SdS = 0.97; SdI = 0.60		THE STRUCTU REPORT: LATERAL EA LATERAL EA SEISMIC SURC PASSIVE SOI 4"Φ PIPE PILI <u>GEOTECHNIC</u> 14, 2022.
	RANSFERRED BY THE ROOF AND FLOOR DIAPHRAGN I THE TRIBUTARY AREA FOR EACH SHEAR WALL AND TION.		15.	<u>PIPE PILES</u> S PIPE DRIVEN COMPRESSIC COMPRESSIC
CONSTRUCTION. CONTRANOTIFY ARCHITECT OF A NOTIFY ARCHITECT OF A 5. <u>CONTRACTOR</u> SHALL PR UNTIL ALL FINAL CONNEC	SHALL BE USED IN CONJUNCTION WITH ARCHITECTUR, ACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ROVIDE TEMPORARY BRACING FOR THE STRUCTURE A CTIONS HAVE BEEN COMPLETED IN ACCORDANCE WIT	FOR COMPATIBILITY AND SHALL AND STRUCTURAL COMPONENTS TH THE PLANS.	16.	PIPE PILING I PLACEMENT GEOTECHNIC, ASTM DII43. LATERALLY. LENGTH PER LOCATION OF
SEQUENCES OR PROCED OVERALL SUPERVISORY WORKING CONDITIONS A TRADE CONTRACTOR.	E RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND PURES REQUIRED TO PERFORM THEIR WORK. THE STR AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIE AT THE SITE AND/OR FOR ANY HAZARDS RESULTING F THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT R SAFETY DEFICIENCIES OF THE OWNER, CONTRACTO ECT SITE.	RUCTURAL ENGINEER HAS NO BILITY FOR THE SPECIFIC FROM THE ACTIONS OF ANY T, SUPERVISE, NOTE, CORRECT, OR	٦.	<u>CONCRETE</u> S CONSTRUCTIO 28-DAY STR
ENGINEER FOR APPROV ONLY WILL NOT SATISFY		NGES SHOWN ON SHOP DRAWINGS		PER CUBIC Y ADDITION OF FOR ALL SLA GRADE, AGG
STRUCTURAL ENGINEER. THE MORE STRINGENT SI	NERAL AND TYPICAL DETAILS OF CONSTRUCTION. M ED BUT ARE OF SIMILAR CHARACTER TO DETAILS SH WE USED, SUBJECT TO REVIEW AND APPROVAL BY TH WHERE INFORMATION ON THE DRAWINGS IS IN CONFL HALL APPLY, SUBJECT TO REVIEW AND APPROVAL B DO NOT SCALE THE DRAWINGS.	LICT WITH THE SPECIFICATIONS,		THE MINIMUM MIX IS SUBMI WEEKS PRIOF SHALL INCLUI AND ADMIXTI STRENGTH D
BY THE SUPPLIER DURING	<u>EMS</u> WHICH ARE COMPOSED OF FIELD ERECTED COMF G MANUFACTURING, DELIVERY, HANDLING, STORAGE A PARED BY THE SUPPLIER.			ASTM C494 / EXCEED 20% SHALL BE BR RECORD IND
	EINFORCING STEEL AND STRUCTURAL STEEL SHALL E EER FOR REVIEW PRIOR TO FABRICATION OF THESE			DOCUMENTS. ALL CONCRE
AND THEREFORE MUST E DRAWINGS PRIOR TO RE CONFORMANCE WITH THE	DIMENSIONS AND QUANTITIES ARE NOT REVIEWED E BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SH EVIEW BY ENGINEER OF RECORD. CONTRACTOR SHA E MEANS, METHODS, TECHNIQUES, SEQUENCES AND OP AUTIONS AND PROGRAMS INCIDENTAL THERETO.	HALL REVIEW AND STAMP LL REVIEW DRAWINGS FOR		AIR-ENTRAIN CONCRETE SI WEATHER AN ACCORDANC TROWELED F
STATE OF WASHINGTON COMPONENT DESIGNER F THE BASIC STRUCTURE. NECESSARY CONNECTIO DEFERRED SUBMITTALS STRUCTURE AND SHALL	OF DESIGN BUILD COMPONENTS SHALL BEAR THE ST REGISTERED PROFESSIONAL ENGINEER AND SHALL E PRIOR TO CURSORY REVIEW BY THE ENGINEER OF RE THE COMPONENT DESIGNER IS RESPONSIBLE FOR CO NS NOT SPECIFICALLY CALLED OUT ON ARCHITECTUR SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL INCLUDE DESIGN CALCULATIONS WITH THE ENGINEER'S NENTS SHALL BE DEFERRED SUBMITTALS FOR THIS P	BE APPROVED BY THE CORD FOR LOADS IMPOSED ON DDE CONFORMANCE AND ALL CAL OR STRUCTURAL DRAWINGS. LOADS IMPOSED ON BASIC STAMP.		REINFORCING AND SHALL E CONTINUOUS A FOOTING INTE IN CONCRETE NO BARS PA DETAILED OF THE CONCRET

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

PECTION: CONCRETE CONSTRUCTION, STRUCTURAL STEEL FABRICATION AND ERECTION IELD WELDING AND HIGH-STRENGTH FIELD BOLTING), EXPANSION BOLTS, SCREW ANCHORS AND JTED INSTALLATIONS SHALL BE SUPERVISED IN ACCORDANCE WITH IBC SECTIONS 1704 \$ 1705 OJECT SPECIFICATIONS BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE OWNER. THE ENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR AND BUILDING OFFICIAL. ANY MATERIALS TO MEET PROJECT SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

<u>GEOTECHNICAL</u>

NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND UIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL AS DIRECTED BY THE GEOTECHNICAL ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED FROLLED, COMPACTED STRUCTURAL FILL OR BOTH) AT LEAST 18" BELOW LOWEST ADJACENT ADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR NLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE ING WITH THE TESTING LAB AND GEOTECHNICAL ENGINEER, UNLESS OTHERWISE NOTED. FOOTINGS ENTERED UNDER COLUMNS OR WALLS ABOVE.

EHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR DRAINAGE AS NOTED IN THE GEOTECHNICAL REPORT.

IRAL DESIGN IS BASED ON THE FOLLOWING VALUES FROM THE REFERENCED GEOTECHNICAL

ARTH PRESSURE (RESTRAINED/UNRESTRAINED)	60 PCF/40 PCF	
ARTH PRESSURE W/ SOIL IMPROVEMENT (RESTRAINED/UNRESTRAINED)	55 PCF/35 PCF	
CHARGE PRESSURE	8H PSF	
PIL PRESSURE	150 PCF	
LE CAPACITY	16 KIPS	

AL REPORT REFERENCE: #1276521 BY NELSON GEOTECHNICAL ASSOCIATES, INC. DATED JANUARY

HALL BE GALVANIZED SCHEDULE-80 (STD) ASTM A53 (TYPE E OR 5, GRADE B) 4 INCH NOMINAL TO REFUSAL PER THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER. THE ALLOWABLE AXIAL IN CAPACITY SHALL BE 16 KIPS. SECTIONS OF PIPE SHALL BE CONNECTED TOGETHER WITH N FITTED SLEEVE COUPLERS.

INSPECTION SHALL BE CONTINUOUSLY PERFORMED BY THE GEOTECHNICAL ENGINEER DURING TO CONFIRM THAT THE PILES ARE INSTALLED IN ACCORDANCE WITH THE PLANS AND AL REPORT. AT LEAST 3% OF THE 4 INCH PILES SHALL BE LOAD TESTED IN ACCORDANCE WITH THE MAXIMUM TEST LOADS SHALL BE 40 KIPS. MAXIMUM PILE MIS-LOCATION SHALL BE 2" DRIVE A TEST ELEMENT FOR PLANNING PURPOSES TO DETERMINE REFUSAL DEPTH AND PILE RECOMMENDATIONS IN GEOTECHINCAL REPORT. THE CONTRACTOR SHALL DETERMINE THE F ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO DRIVING PILES.

<u>CONCRETE</u>

HALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301. ON TOLERANCES SHALL NOT EXCEED THOSE LISTED IN ACI 117. CONCRETE SHALL ATTAIN A ENGTH OF F'C = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT ARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS (BEFORE THE ADMIXTURES). THE WATER/CEMENT RATIO SHALL NOT EXCEED 0.55 FOR FOOTINGS AND 0.45 ABS AND EXPOSED CONCRETE UNLESS OTHERWISE NOTED. EXCEPT FOR FOOTINGS AND SLAB ON REGATE SIZE SHALL NOT EXCEED 3/4".

AMOUNT OF CEMENT AND THE MAXIMUM SLUMP MAY BE CHANGED IF A CONCRETE PERFORMANCE TTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO DR TO PLACING ANY CONCRETE. (THE W/C RATIO LIMITS STILL APPLY). THE PERFORMANCE MIX IDE THE AMOUNTS OF CEMENT, CEMENTITIOUS MATERIAL, FINE AND COARSE AGGREGATE, WATER URES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING ATA IN ACCORDANCE WITH ACI 301. CHEMICAL ADMIXTURES AND FLY ASH SHALL CONFORM TO AND C618 RESPECTIVELY. FLY ASH PERCENTAGE OF TOTAL CEMENTITIOUS MATERIAL SHALL NOT . THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH ROUGHT TO THE ATTENTION OF THE OWNER. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF ICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY TO CONTRACT CONTRACTOR MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

TE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN IING AGENT CONFORMING TO ASTM C260. TOTAL AIR CONTENT FOR FROST-RESISTANT HALL BE IN ACCORDANCE WITH ACI 318-14 TABLE 19.3.3.1. ALL CONCRETE EXPOSED TO THE ND ALL GARAGE SLABS-ON-GRADE SHALL OBTAIN A 28-DAY STRENGTH F'C OF 4,500 PSI IN E WITH ACI 318 TABLE 19.3.2.1 AND IBC SECTION 1904.1. ALL CONCRETE TO RECEIVE A STEEL INISH SHALL NOT BE AIR-ENTRAINED.

<u>STEEL</u> SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT SI), GRADE 60, Fy = 60,000 PSI 3E DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL REINFORCEMENT 48 BAR DIAMETERS, 2'-O" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND ERSECTIONS, LAP 2'-O" MINIMUM. PROVIDE (2) #4 MIN. U.N.O. TRIM BARS AROUND ALL OPENINGS. E WALLS OR SLABS EXTENDING 2'-O" PAST CORNERS, TYPICAL.

RTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO R APPROVED BY THE STRUCTURAL ENGINEER. NO REINFORCING BARS SHALL BE "WET-SET" INTO TE. PROVIDE A 20' LONG REBAR GROUND (UFER GROUND) PER ELECTRICIAN.

19. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AG FORMED SURFACES EXPOSED TO EARTH (i.e. WALLS B SLABS AND WALLS (INTERIOR FACE) U.O.N.

- 20. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.
- 21. NON-SHRINK GROUT SHALL BE NON-METALLIC CONFORMING TO ASTM CIIOT AND BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (5000 PSI MINIMUM).

ANCHORAGE

- 22. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2 WEDGE ANCHOR", AS MANUFACTURED BY INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT INSTALLATION.
- 23. SCREW ANCHORS INTO CONCRETE SHALL BE "TITEN HD", AS MANUFACTURED BY SIMPSON STRONG-TIE EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO VES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION IS IS REQUIRED FOR ALL SCREW ANCHOR INSTALLATION.
- 24. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) INTO CONCRETE SHALL BE INSTALLED IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-2508, INCLUDING STANDARD EMBEDMENT IS REQUIRED.

STEEL

- 25. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON THE LATEST EDITIONS OF THE A.I.S.C. SPECIFICATIONS AND CODES
 - A. AISC STEEL CONSTRUCTION MANUAL, 15TH EDITION B. AISC 303-16 - CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES C. 2014 RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS.
- 26. STRUCTURAL STEEL, WIDE FLANGE (W AND WT) SHAPES SHALL CONFORM TO ASTM A992, Fu = 50 KSI; ALL OTHER ROLLED SHAPES SHALL CONFORM TO ASTM A36, Fy = 36 KSI. STEEL PLATE SHALL CONFORM TO ASTM A36, Fy = 36 KSI. STEEL PIPE SHALL CONFORM TO ASTM A53, TYPE E OR S, GRADE B, Fy = 35 KSI. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE C, Fy = 50 KSI. CONNECTION BOLTS SHALL CONFORM TO ASTM A325. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 GRADE 36, Fy = 36 KSI.
- 27. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION IO OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- 28. ALL A325 CONNECTION BOLTS SHALL BE INSTALLED TO THE SNUG-TIGHT CONDITION PER RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS IN STRICT ACCORDANCE WITH THE SHALL CONFORM TO ASTM F436 OR ASTM F959 TYPE 325. ALL BOLT HOLES SHALL BE STANDARD SIZE UNLESS OTHERWISE NOTED.
- 29. ALL A307 CONNECTION BOLTS SHALL BE PROVIDED WITH LOCK WASHERS UNDER NUTS OR SELF-LOCKING NUTS. ALL BOLT HOLES SHALL BE STANDARD SIZE UNLESS OTHERWISE NOTED.
- 30. ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND A.W.S. STANDARDS AND SHALL BE PERFORMED BY W.A.B.O. CERTIFIED WELDERS USING ETO XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY A.W.S.) SHALL BE USED. ALL WELDING SHALL BE PERFORMED BY WELDERS WITH AWS / W.A.B.O. CERTIFICATION WITH THE MATERIAL AND METHOD REQUIRED.

WOOD

31. FRAMING LUMBER: SHALL BE KILN DRIED OR MC-19 (MOISTURE CONTENT LESS THAN 19%), AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.I.B. STANDARD NO. 17 GRADING RULES FOR WEST COAST LUMBER. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

SPRUCE-PINE-FIR NO. 2 STANDARD 2X FRAMING (STUDS, PLATES, JOISTS, BUILT-UP BEAMS)

TREATED 2X FRAMING (DECK JOISTS, BUILT-UP BEAMS)

POSTS (BUILT-UP)



GAINST EARTH	3
BELOW GROUND) OR WEATHER	2
	1

SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH LC.C. REPORT NO. ESR-3037

ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-2713 INCLUDING STANDARD

USING "SET-XP" ADHESIVE ANCHOR AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION OF INSTALLATION

MANUFACTURER'S PUBLISHED RECOMMENDATIONS. ALL NUTS SHALL CONFORM TO ASTM A563. ALL WASHERS

SPRUCE-PINE-FIR NO. 2

HEM-FIR NO. 2



1511 THIRD AVENUE SUITE 323 SEATTLE. WA 98101 TEL 206.957.3900 CONSULTING ENGINEERS WWW.QUANTUMCC.COT



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11/27/23 PERMIT SET

42255

HOME SERIES CUSTOM HOME MODEL CUSTOM

GENERAL STRUCTURAL NOTES

Scale: AS NOTED

S1.0

32. <u>GLUED LAMINATED MEMBERS</u> SHALL BE FABRICATED IN CONFORMANCE WITH ASTM D3737 AND ANSI A190.1. EACH MEMBER SHALL BEAR AN A.I.T.C. IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN A.I.T.C. CERTIFICATE OF CONFORMANCE. CERTIFICATES OF CONFORMANCE MUST BE MADE AVAILABLE TO BUILDING	40. <u>WOOD FASTENER</u> A. NAIL SIZES S
INSPECTORS. BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2,400 PSI, Fv = 240 PSI, E = 1,800 KSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS TO 5,000' RADIUS UNLESS SHOWN OTHERWISE ON THE PLANS.	DRAWING ID
GLUE LAMINATED COLUMNS SHALL BE DOUGLAS FIR COMBINATION 2, Fc = 1,900 PSI, Fby = 1,800 PSI, Fbx = 1,700 PSI, E = 1,700 KSI (4 LAMS MINIMUM DEPTH).	"6d"
33. <u>ALASKAN YELLOW CEDAR (AYC) GLUED LAMINATED MEMBERS</u> SHALL BE FABRICATED IN CONFORMANCE WITH ASTM D3737 AND ANSI AI90.I. EACH MEMBER SHALL BEAR AN A.I.T.C. IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN A.I.T.C. CERTIFICATE OF CONFORMANCE. CERTIFICATES OF CONFORMANCE MUST BE MADE AVAILABLE TO BUILDING INSPECTORS. AYC BEAMS SHALL BE ALASKAN YELLOW CEDAR COMBINATION 20F-VI3, Fb = 2,000 PSI, Fv = 240 PSI, E = 1,500 KSI. CAMBER ALL SIMPLE SPAN GLULAM	"8d Box" "8d" "10d-F" "10d" "16d"
BEAMS TO 5,000' RADIUS UNLESS SHOWN OTHERWISE ON THE PLANS. AYC GLUE LAMINATED COLUMNS SHALL BE ALASKAN CEDAR COMBINATION 70, Fc = 1,450 PSI, Fby = 1,400 PSI, Fbx = 1,350 PSI, E = 1,400 KSI (4 LAMS MINIMUM DEPTH).	IF CONTRAC TO THE STRL
34. <u>LAMINATED STRAND LUMBER (LSL)</u> SHALL BE DESIGNED AND MANUFACTURED PER ASTM D5456. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, AND THE INDEPENDENT INSPECTION AGENCY'S LOGO. ALL LAMINATED STRAND LUMBER SHALL BE MANUFACTURED USING A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559. MINIMUM	B. <u>NAILS</u> - SHE COUNTERSINK C. <u>SCREWS</u> SHA FASTENERS
STRUCTURAL PROPERTIES ARE AS FOLLOWS: RIM JOISTS AND BLOCKING (I-1/4" MINIMUM THICKNESS AT NON-SHEAR WALLS; SEE SCHEDULE FOR MINIMUM	D. HOT DIPPED
THICKNESS AT SHEAR WALLS): Fb = 1700 PSI, E = 1.3 \times 10 ⁶ PSI, Fv = 400 PSI	CONTACT WI 41. WOOD FRAMING N
BEAMS AND HEADERS: Fb = 2325 PSI, E = 1.55 $\times 10^6$ PSI, Fv = 310 PSI	A. <u>ALL WOOD F</u>
DESIGN SHOWN ON PLANS IS BASED ON MATERIALS MANUFACTURED BY THE WEYERHAEUSER CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.	STANDARDS 2304.10.1. CC ARCHITECTU SCREWS BEA
35. <u>PARALLEL STRAND LUMBER (PSL)</u> SHALL BE DESIGNED AND MANUFACTURED PER ASTM D5456. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, AND THE INDEPENDENT INSPECTION AGENCY'S LOGO. ALL PARALLEL STRAND LUMBER SHALL BE MANUFACTURED USING DOUGLAS FIR STRANDS GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. MINIMUM STRUCTURAL PROPERTIES ARE AS FOLLOWS:	AFTER WOOL B. <u>WALL FRAMI</u> STUDS @ 16" SHALL BE PF OPENINGS. ST
Fb = 2900 PSI, E = 2.2x 10 ⁶ PSI, Fv = 290 PSI	BELOW. ALL BEARING
DESIGN SHOWN ON PLANS IS BASED ON MATERIALS MANUFACTURED BY THE WEYERHAEUSER CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.	ALL DEARING BELOW WITH BOLTS WITH MEMBERS OF STAGGERED
36. <u>MOOD I-JOIST</u> DESIGN SHOWN ON PLANS IS BASED ON JOISTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION. ALTERNATE I-JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE I.C.C. OR IAPMO UES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH WOOD JOIST PROVIDED. GLUE FLOOR JOISTS TO SHEATHING AS REQUIRED BY THE JOIST MANUFACTURER.	NAILING. WH ATTACHED T W #6 SCREW WHERE APPL C. <u>FLOOR AND</u> OVER MORE
37. <u>MOOD SHEATHING</u> SHALL BE APA RATED, EXTERIOR GLUE; EXPOSURE I, IN CONFORMANCE WITH THE REQUIREMENTS FOR THEIR TYPE IN DOC PS-I OR PS-2. SEE PLANS FOR THICKNESS, PANEL IDENTIFICATION INDEX AND NAILING REQUIREMENTS.	OTHERWISE N TOGETHER W
UNLESS OTHERWISE NOTED ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH (2) IOd-F NAILS AT EACH END, UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF	D. <u>POSITIVE CC</u> OR DETAILS WOOD SHALI
DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PANEL EDGES AND NAIL WITH EDGE NAILING SPACED PER PLANS. WHERE NOT NOTED OTHERWISE, NAIL PANEL EDGES WITH & NAILS @ 6" O.C. EDGES, 12" O.C. IN THE FIELD.	AS NOTED IN IBC OBSERVATION ME TO, THE ELEMENTS STRUCTURE FOR (
38. <u>ALL WOOD</u> EXPOSED TO WEATHER, OR BEARING ON UNPROTECTED CONCRETE BELOW GRADE, OR BEARING ON UNPROTECTED CONCRETE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE-TREATED, U.O.N. PRESSURE TREATMENT SHALL BE WITH AN APPROVED PRESERVATIVE CONFORMING TO AMERICAN WOOD PRESERVERS ASSOCIATION UI AND M4 AND SHALL BE BRANDED WITH A QUALITY CONTROL AGENCY MARK	OBSERVATION DO SECTIONS 110 ANI IN OUR STRUCTUR
BY THE AMPA OR EQUAL. ALL METAL HARDWARE IN CONTACT WITH TREATED WOOD SHALL BE PROTECTED WITH A GI85 GALVANIZED COATING (ZMAX) OR BETTER. ALL NAILS IN TREATED WOOD SHALL BE HOT-DIP GALVANIZED OR BETTER. PROVIDE 2 LAYERS OF 30# ASPHALT IMPREGNATED BUILDING PAPER BETWEEN NON-PRESSURE-TREATED LEDGERS, BLOCKING, ETC., AND CONCRETE.	OBSERVE THE ST SPECIFICATIONS. ACCEPTED STANI INDICATE ACTUAL INFERRED TO EXIS
39. <u>TIMBER CONNECTORS</u> CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NO. C-C-202I. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE I.C.C. OR IAPMO UES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED. ALL BOLTS TIGHTENED TO SNUG TIGHT.	THE BUILDING OFF MINIMIZE THE RISH DESIGN PROFESS CONTRACTOR SH, APPROVED PLAN

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

2	NAIL NAME	NAIL DIAMETER	NAIL LENGTH
	6d Common 8d Box	0. 3" 0. 3"	2" 2- /2"
	8d Common	0. 3 "	2-1/2" 3"
	10d Framer 10d Shear	0.131" 0.148"	5 2-I/4"
	16d Sinker	0.148"	3-1/4"

TOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS JCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

EATHING FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO KING PERMITTED

ALL BE WOOD SCREWS OF THE DIAMETER AND LENGTH NOTED ON THE DRAWINGS. SDS ARE SIMPSON STRONG DRIVE SCREWS.

GALVANIZED NAILS, BOLTS AND METAL PLATES - ALL NAILS, BOLTS AND METAL PLATES IN TH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED.

NOTES: THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM OF THE IBC. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE OORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND URAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG ARING ON WOOD. TIGHTEN BOLTS AND LAG SCREWS SNUGLY AGAINST WOOD FRAMING OD HAS REACHED SPECIFIED MOISTURE CONTENT.

IING: ALL BEARING AND SHEAR WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2 x 4 O.C. AT INTERIOR WALLS AND 2 × 6 @ 16" O.C. AT EXTERIOR WALLS. TWO STUDS MINIMUM PROVIDED AT THE END OF ALL BEARING AND SHEAR WALLS AND AT EACH SIDE OF ALL SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS

NG STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING 16d NAILS AT 8" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR 3"x3"x1/4" PLATE WASHERS @ 4'-O" O.C., UNLESS INDICATED OTHERWISE. INDIVIDUAL F BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH IOd-F NAILS @ 8" O.C. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND EN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH SCREWS AT 8" O.C. USE I-1/4" WS FOR 1/2" GWB AND 5/8" GWB WHERE OCCURS. VERIFY THE FIRE ASSEMBLY REQUIREMENTS ICABLE WITH THE ARCHITECT.

ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. NAIL ALL MULTI-JOIST BEAMS NITH IOD-F NAILS @ 8" O.C. STAGGERED UNLESS OTHERWISE NOTED.

<u>DNNECTIONS</u>: PROVIDE THE POSITIVE ATTACHMENT FOR ALL FRAMING AS NOTED ON PLAN ALL CONNECTORS EXPOSED TO WEATHER OR DIRECT CONTACT WITH PRESSURE TREATED L BE GALVANIZED.

STRUCTURAL OBSERVATION

SECTION 1704.6, STRUCTURAL OBSERVATION IS REQUIRED FOR THIS PROJECT. STRUCTURAL EANS THE VISUAL OBSERVATION OF THE STRUCTURAL SYSTEM, INCLUDING BUT NOT LIMITED IS AND CONNECTIONS AT SIGNIFICANT CONSTRUCTION STAGES AND THE COMPLETED GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS. STRUCTURAL OES NOT INCLUDE OR WAIVE THE RESPONSIBILITY OF THE INSPECTIONS REQUIRED BY IBC ND 1704.

CAL OBSERVATION, WE WILL SELECT PORTIONS OF WORK TO REVIEW CLOSELY AS WELL AS RUCTURAL SYSTEM FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SUCH REVIEW PROCEDURES WILL BE CONDUCTED IN ACCORDANCE WITH COMMONLY DARDS OF PRACTICE. THE BUILDING OFFICIAL UNDERSTANDS THAT SUCH PROCEDURES . CONDITIONS ONLY WHERE THE REVIEW IS PERFORMED AND THAT THE RESULTS WILL BE KIST IN OTHER AREAS NOT REVIEWED.

FICIAL ALSO RECOGNIZES THAT STRUCTURAL REVIEW IS A TECHNIQUE EMPLOYED TO IK OF PROBLEMS ARISING DURING CONSTRUCTION. STRUCTURAL OBSERVATION BY THE BIONAL DOES NOT CONSTITUTE WARRANTY OR GUARANTEE OF ANY TYPE. IN ALL CASES, THE HALL RETAIN RESPONSIBILITY FOR THE QUALITY OF WORK AND FOR ADHERENCE TO THE NS AND SPECIFICATIONS.

Penn D L	@ d \$
	# #
Anch Ac Al X. Appro Ai	(A) A.B. ADD'L ALT. APPRO> ARCH.
Ba Bracea E E	(B) BF BLKG. BLDG. BM. BOT. BRG. BTWN.
Ce Cast I Construction Joint or Contr Complete Joint Pene	GLC CIP CJP CLG
Concrete Masc	CLR. CMU COL.
Conr Cons Cour Cour	CONC. CONN. CONST. CONT. CSK.
Deformed Bar	DBA DBL.
Doug Fi D D Dia Dia Di	DEG. DF DIA. DIAG. DIAPH. DIM. DN. DO DTL. DWG.
	(E) E. EA.
E	E.F. EL. ELEV. EMBED. ENGR. EQ. E.W. EXP.
Ex E Fol	EXT. FDN.
Fiber Reinforced 1 F Foot d	FIN. FLR. FRP F.S. FT. FTG.
Gal Glue La Gypsum Wal	GA. GALV. GL GWB
Hot Dipped Gal	HDG HDR.
Ho Hollow Structural	HF HGR. HORIZ. HSS HT.
Inside D Insid Info	I.D. I.F. IN. INFO. INT.
	JT.
Kips per Squar Kips per Squa	K KSF KSI



Angle

Pound

Mark

New

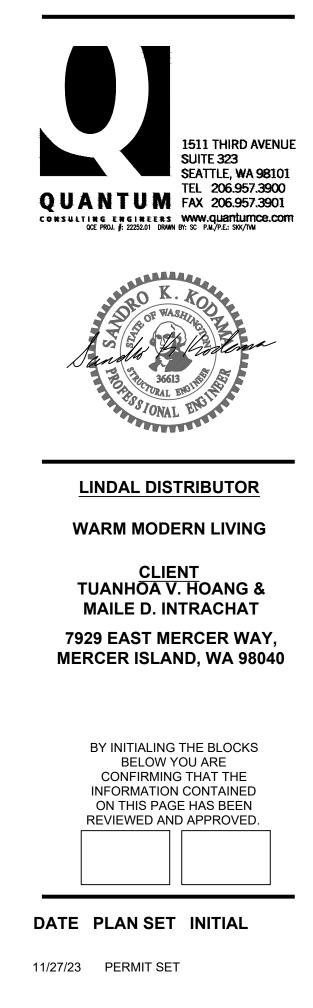
North

Plate

South

Sheet

Steel





HOME SERIES CUSTOM HOME MODEL CUSTOM

GENERAL STRUCTURAL NOTES

Scale: AS NOTED

S1.1

ABBREVIATIONS At ı (Nails) LB. iameter LL eqrees LLH Pounds LLV Number LONGIT LT. WT. Above hor Bolt MAX. MECH. ditional MEZZ. ternate oximate MF rchitect MFR. MIN. Below MISC. ottom of MK. Frame Blocking (N) Building N Beam N.S. Bottom NOM. NTS Bearing Between 0.0 enterline O.D. O.F. Camber In Place О.Н. rol Joint OPNG. OPP. etration Ceiling PAF Clear onry Unit PC Column PERM. PERP. oncrete рјр nections struction PL or PL PLF ontinuous PLYWD intersink PREFAB. PSF Anchor PSI Double P.T. or PT Degree r-Larch P/T Viameter RAD. Diaqonal REF. iphraqm mension REINF. REQD. Down Ditto REV. Detail R.O. Drawing Existing SCH. or SCHED. East SECT. Each SHT. ach Face SIM SOG levation SPEC. levator Length SQ. SQ. FT. ngineer Equal SQ. IN. ach Way SPF S.S. xpansion Exterior STD. STIFF. undation STL Finish STR. Floor SUB. SYM. Polymer Far Side or Feet Τ/ Footing ТŧВ T\$G Gauge TEMP. THRU lvanized T.O.C. aminated all Board T.O.S. T.O.W. alvanized TRANS. Header TS Hem Fir TYP. Hanger orizontal U.O.N. Section VERT. Height VIF Diameter de Face Μ. Inch W/ or w/ ormation W.H.S. W/O Interior W.P. Joint W.T.S.

Kips

are Foot vare Inch

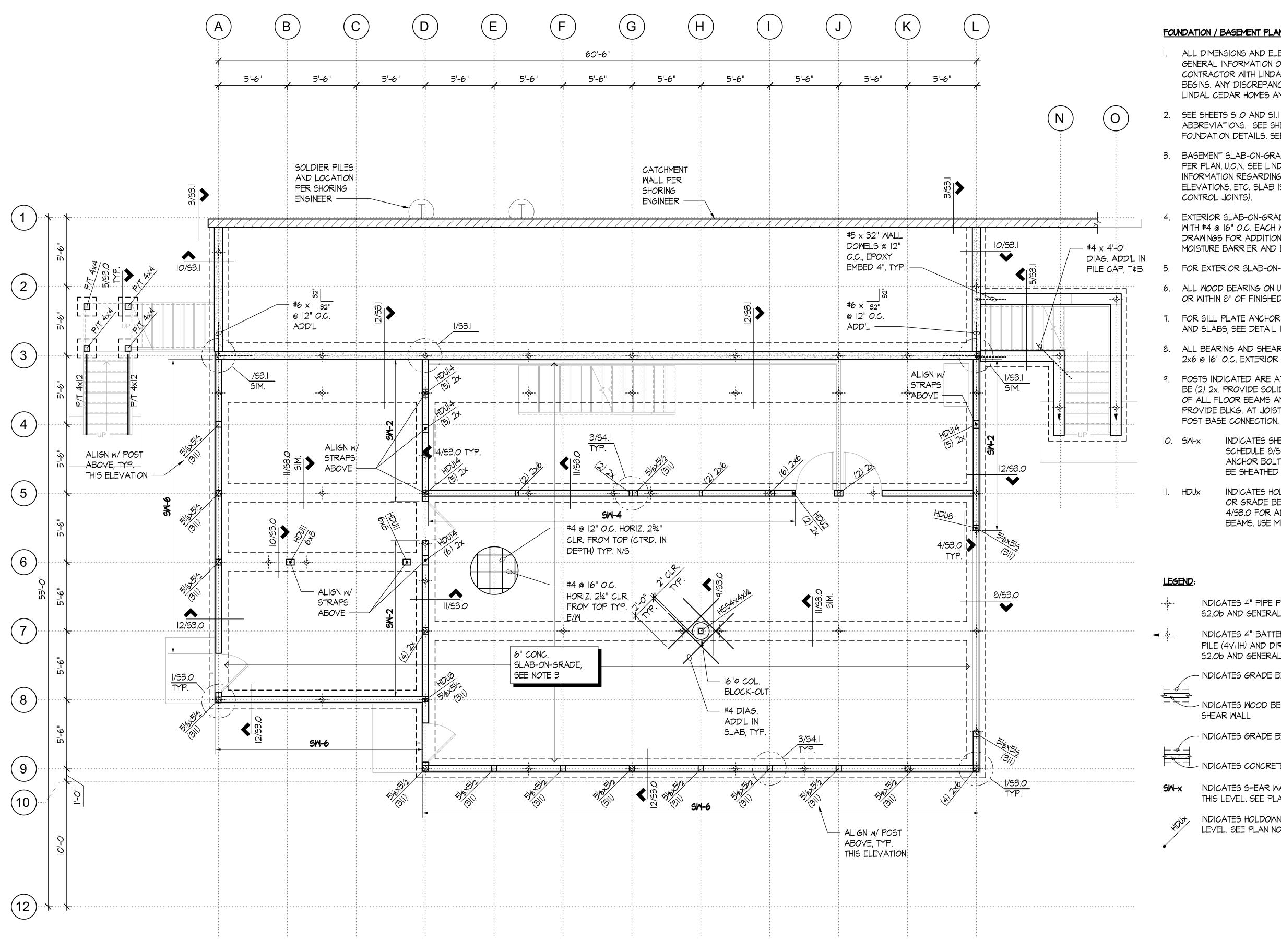
XX-STR

Live Load Long Leg Horizontal Long Leg Vertical Longitudinal Lightweight Maximum Mechanical Mezzanine Moment Frame Manufacturer Minimum Miscellaneous Near Side Nominal Not to Scale On Center Outside Diameter Outside Face Overhang Opening Opposite Powder Actuated Fastener Precast Permanent Perpendicular Partial Joint Penetration Pounds per linear Foot Plywood Prefabricated Pounds per Square Foot Pounds per Square Inch Post-Tensioning Pressure-Treated Radius Reference Reinforce or Reinforcement Required Revise Rough Opening Schedule Section Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Structural Substitute Symmetrical Top of Top and Bottom Tonque & Groove Temporary Through Top of Concrete Top of Steel Top of Wall Transverse Tube Steel Typical Unless Otherwise Noted Vertical Verify in Field Welded Headed Stud Without Work Point Welded Threaded Stud MMF Welded Wire Fabric X SECT. X-STR

Cross Section Extra Stronq Double Extra Strong

West

With





FOUNDATION / BASEMENT PLAN NOTES

ALL DIMENSIONS AND ELEVATIONS ON THE STRUCTURAL PLANS ARE FOR GENERAL INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR WITH LINDAL CEDAR HOME DRAWINGS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF LINDAL CEDAR HOMES AND ENGINEER IMMEDIATELY.

2. SEE SHEETS SI.O AND SI.I FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEET S3.0 FOR TYPICAL CONCRETE AND FOUNDATION DETAILS. SEE SHEET S4.0 FOR TYPICAL WOOD DETAILS.

BASEMENT SLAB-ON-GRADE SHALL BE 6" THICK CONCRETE REINFORCED PER PLAN, U.O.N. SEE LINDAL CEDAR HOME DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SUB-GRADE MOISTURE BARRIER AND ELEVATIONS, ETC. SLAB IS DESIGNED TO SPAN BETWEEN GRADE BEAMS (NO

EXTERIOR SLAB-ON-GRADE SHALL BE 4" THICK CONCRETE REINFORCED WITH #4 @ 16" O.C. EACH WAY AT MID-DEPTH, U.O.N. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SUB-GRADE MOISTURE BARRIER AND ELEVATIONS, ETC.

FOR EXTERIOR SLAB-ON-GRADE JOINTS, SEE DETAIL 2/53.0.

ALL WOOD BEARING ON UNPROTECTED CONCRETE, EXPOSED TO WEATHER, OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE-TREATED, U.O.N.

FOR SILL PLATE ANCHOR BOLT LAYOUT TO CONCRETE FOUNDATION WALLS AND SLABS, SEE DETAIL 1/S4.0.

8. ALL BEARING AND SHEAR WALLS SHALL BE 2×6 @ 16" O.C. INTERIOR AND 2x6 @ 16" O.C. EXTERIOR U.O.N.

POSTS INDICATED ARE AT THIS LEVEL. ALL POSTS NOT SPECIFIED SHALL BE (2) 2X. PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL FLOOR BEAMS AND ALL POSTS ABOVE FOR FULL BEARING. PROVIDE BLKG. AT JOISTS PER DETAIL 7/54.1. SEE 3/54.1 FOR TYPICAL

> INDICATES SHEAR WALL AT THIS LEVEL. SEE SHEAR WALL SCHEDULE 8/S4.0 FOR SHEATHING, BLOCKING, NAILING, AND ANCHOR BOLT REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE SHEATHED PER SW-6 CRITERIA U.O.N.

INDICATES HOLDOWN TO CONCRETE FOUNDATION WALLS OR GRADE BEAMS. SEE 12/54.0 FOR HOLDOWN DETAIL. SEE 4/S3.0 FOR ADDITIONAL HOLDOWN REQUIREMENTS AT GRADE BEAMS. USE MIN. (2) 2x POST U.O.N.

INDICATES 4" PIPE PILE PER S2.06 AND GENERAL NOTES

INDICATES 4" BATTERED PIPE PILE $(4 \vee : H)$ AND DIRECTION PER S2.06 AND GENERAL NOTES

- INDICATES GRADE BEAM

- INDICATES WOOD BEARING WALL OR

- INDICATES GRADE BEAM

INDICATES CONCRETE FOUNDATION WALL

INDICATES SHEAR WALL TYPE AT THIS LEVEL. SEE PLAN NOTE IO

INDICATES HOLDOWN TYPE AT THIS LEVEL. SEE PLAN NOTE II







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WARM MODERN LIVING

CLIENT TUANHOA V. HOANG & MAILE D. INTRACHAT

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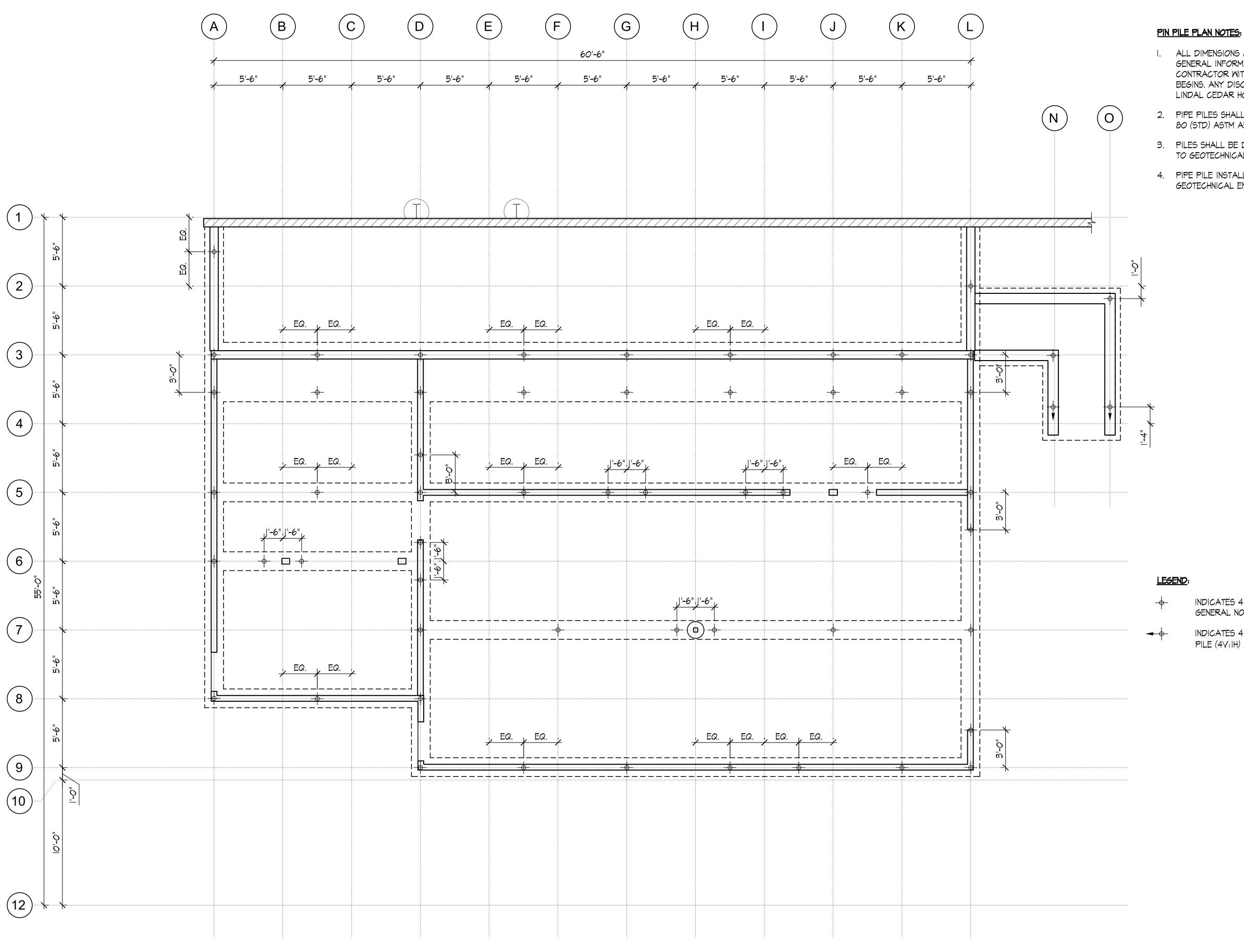


HOME SERIES CUSTOM HOME MODEL CUSTOM

FOUNDATION **BASEMENT PLAN**

Scale: AS NOTED

S2.0a





I. ALL DIMENSIONS AND ELEVATIONS ON THE STRUCTURAL PLANS ARE FOR GENERAL INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR WITH LINDAL CEDAR HOME DRAWINGS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF LINDAL CEDAR HOMES AND ENGINEER IMMEDIATELY.

2. PIPE PILES SHALL BE 4" AS NOTED ON THE PLANS, GALVANIZED, SCHEDULE 80 (STD) ASTM A53 (TYPE OR S, GRADE B).

3. PILES SHALL BE DRIVEN TO REFUSAL W/ A MINIMUM 1,100 L. HAMMER. REFER TO GEOTECHNICAL REPORT FOR FINAL DRIVING RATES.

4. PIPE PILE INSTALLATION SHALL BE CONTINUOUSLY INSPECTED BY GEOTECHNICAL ENGINEER.







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WARM MODERN LIVING

CLIENT TUANHOA V. HOANG & MAILE D. INTRACHAT

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INDICATES 4" PIPE PILE PER GENERAL NOTES

INDICATES 4" BATTERED PIPE PILE (4V:IH) AND DIRECTION

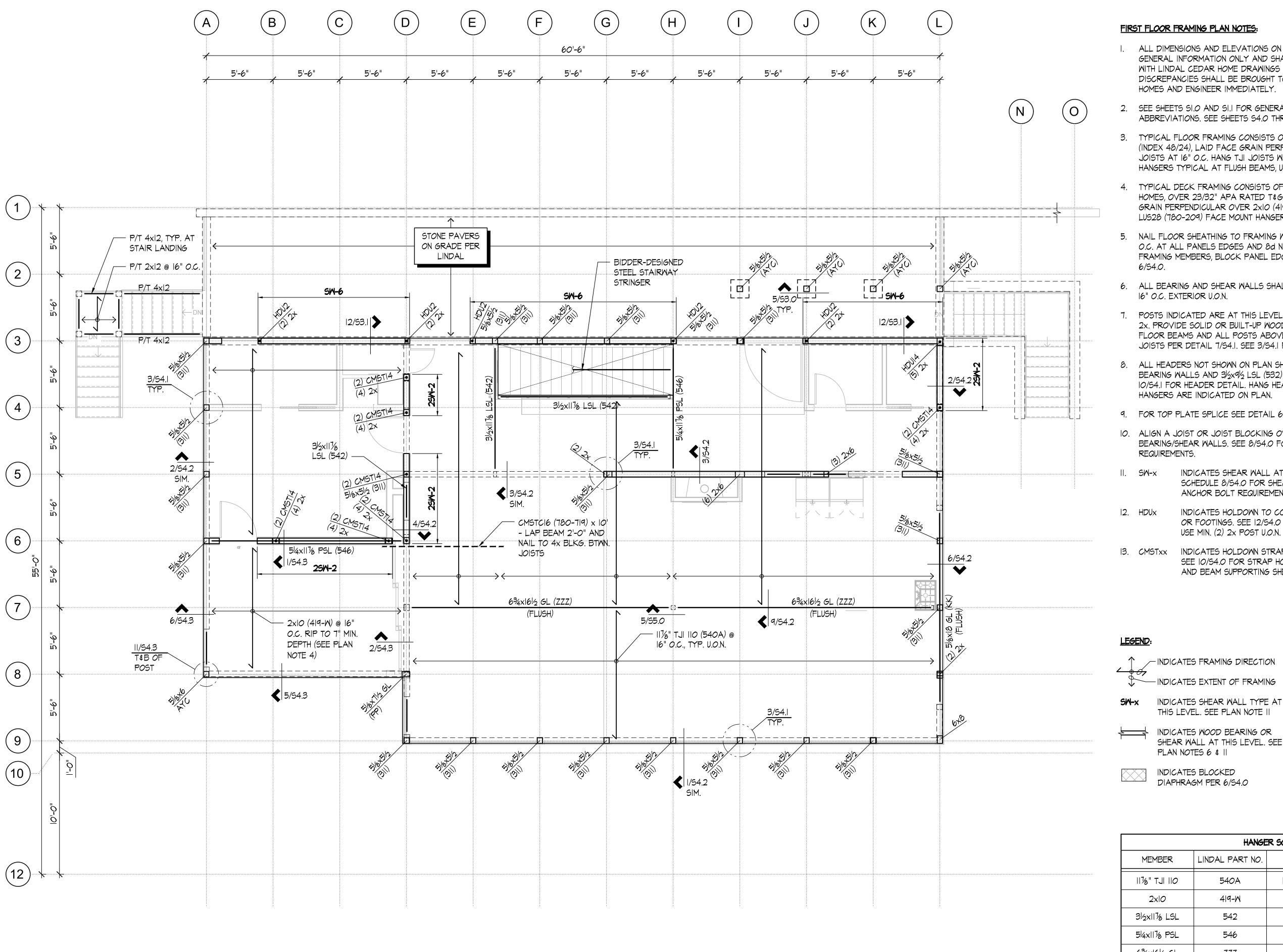
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HOME SERIES CUSTOM HOME MODEL CUSTOM

PIN PILE PLAN

Scale: AS NOTED

S2.0b





HANGER SCHEDULE LINDAL PART NO. MEMBER HANGER LINDAL PART NO. 0|| ILT "&"|| 540A ITSI.81/11.88 780-270 419-W LUS28 780-209 31/2×117/8 LSL HUC412 780-412 542 5¼x1178 PSL 546 --ZZZ 6³4x16¹/2 GL MGU7.00 008-01 5½x18 GL KΚ --

FIRST FLOOR FRAMING PLAN NOTES:

ALL DIMENSIONS AND ELEVATIONS ON THE STRUCTURAL PLANS ARE FOR GENERAL INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR WITH LINDAL CEDAR HOME DRAWINGS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF LINDAL CEDAR HOMES AND ENGINEER IMMEDIATELY.

2. SEE SHEETS SI.O AND SI.I FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEETS 54.0 THRU 54.3 FOR TYPICAL WOOD DETAILS.

3. TYPICAL FLOOR FRAMING CONSISTS OF 23/32" APA RATED T&G SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 11-7/8" TJI 110 (540A) JOISTS AT 16" O.C. HANG TJI JOISTS WITH ITSI.81/11.88 (780-270) TOP FLANGE HANGERS TYPICAL AT FLUSH BEAMS, U.O.N.

4. TYPICAL DECK FRAMING CONSISTS OF DECK BOARDS PER LINDAL CEDAR HOMES, OVER 23/32" APA RATED T&G SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 2x10 (419-W) JOISTS AT 16" O.C. HANG JOISTS WITH LUS28 (780-209) FACE MOUNT HANGERS TYPICAL AT FLUSH BEAMS, U.O.N.

5. NAIL FLOOR SHEATHING TO FRAMING WITH 8d NAILS (0.131" \$\phi x 2.5" LONG) AT 6" O.C. AT ALL PANELS EDGES AND 8d NAILS AT 12" O.C. AT INTERMEDIATE FRAMING MEMBERS, BLOCK PANEL EDGES WHERE INDICATED. SEE DETAIL

6. ALL BEARING AND SHEAR WALLS SHALL BE 2x6 @ 16" O.C. INTERIOR AND 2x6 @ 16" O.C. EXTERIOR U.O.N.

7. POSTS INDICATED ARE AT THIS LEVEL. ALL POSTS NOT SPECIFIED SHALL BE (2) 2X. PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL FLOOR BEAMS AND ALL POSTS ABOVE FOR FULL BEARING. PROVIDE BLKG. AT JOISTS PER DETAIL 7/54.1. SEE 3/54.1 FOR TYPICAL POST BASE CONNECTION.

8. ALL HEADERS NOT SHOWN ON PLAN SHALL BE 31/2×91/2 LSL (532) FOR EXTERIOR BEARING WALLS AND 31/2×91/2 LSL (532) FOR INTERIOR BEARING WALLS. SEE 10/54.1 FOR HEADER DETAIL. HANG HEADERS W/ HUC410 (780-410) WHERE HANGERS ARE INDICATED ON PLAN.

9. FOR TOP PLATE SPLICE SEE DETAIL 6/S4.1

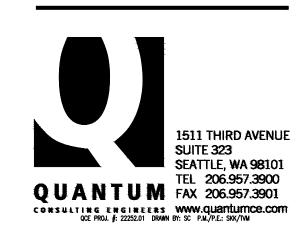
IO. ALIGN A JOIST OR JOIST BLOCKING OVER THE FULL LENGTH OF ALL BEARING/SHEAR WALLS. SEE 8/54.0 FOR SPECIAL SHEAR WALL BLOCKING

> INDICATES SHEAR WALL AT THIS LEVEL. SEE SHEAR WALL SCHEDULE 8/S4.0 FOR SHEATHING, BLOCKING, NAILING, AND ANCHOR BOLT REQUIREMENTS. ALL EXTERIOR WALLS SHALL

INDICATES HOLDOWN TO CONCRETE FOUNDATION WALLS OR FOOTINGS. SEE 12/54.0 FOR HOLDOWN DETAIL. USE MIN. (2) 2x POST U.O.N.

13. CMSTXX INDICATES HOLDOWN STRAP TO FRAMING BELOW WALL SEE 10/54.0 FOR STRAP HOLDOWN DETAIL AT FLOOR-TO-FLOOR AND BEAM SUPPORTING SHEAR WALL END. USE MIN. (2) 2x POST U.O.N.







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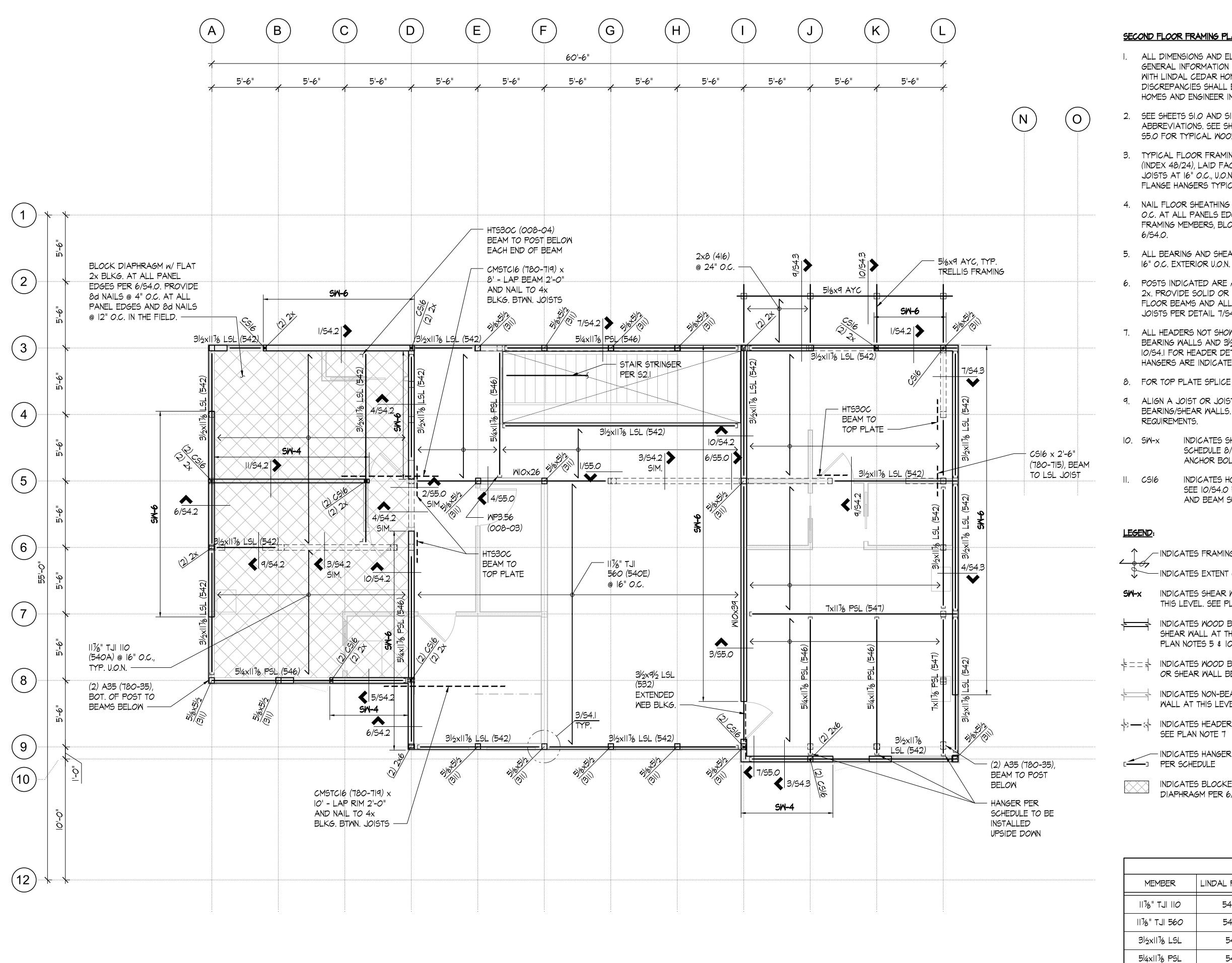
THIS LEVEL. SEE PLAN NOTE II INDICATES WOOD BEARING OR

SHEAR WALL AT THIS LEVEL. SEE PLAN NOTES 6 & II

INDICATES BLOCKED DIAPHRAGM PER 6/54.0 ξ = = ↓ INDICATES CONCRETE FOUNDATION, WOOD BEARING WALL, OR SHEAR WALL BELOW

- INDICATES NON-BEARING/ NON-SHEAR WALL AT THIS LEVEL
- MEMBER. SEE PLAN NOTE 8
- INDICATES HANGER PER SCHEDULE

42255		
HOME SERIES CUSTOM		
HOME MODEL CUSTOM		
FIRST FLOOR FRAMING PLAN		
Scale: AS NOTED		
S2.1		





SECOND FLOOR FRAMING PLAN NOTES:

ALL DIMENSIONS AND ELEVATIONS ON THE STRUCTURAL PLANS ARE FOR GENERAL INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR WITH LINDAL CEDAR HOME DRAWINGS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF LINDAL CEDAR HOMES AND ENGINEER IMMEDIATELY.

2. SEE SHEETS SI.O AND SI.I FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEETS S4.0 THRU S4.4 FOR TYPICAL WOOD DETAILS. SEE S5.0 FOR TYPICAL WOOD/STEEL DETAILS.

3. TYPICAL FLOOR FRAMING CONSISTS OF I-I/8" APA RATED T&G SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 11-7/8" TJI 110 (540A) JOISTS AT 16" O.C., U.O.N. HANG TJI JOISTS WITH ITSI.81/11.88 (780-270) TOP FLANGE HANGERS TYPICAL AT FLUSH BEAMS, U.O.N.

4. NAIL FLOOR SHEATHING TO FRAMING WITH 8d NAILS (0.131"Φ x 2.5" LONG) AT 6" O.C. AT ALL PANELS EDGES AND 8d NAILS AT 12" O.C. AT INTERMEDIATE FRAMING MEMBERS, BLOCK PANEL EDGES WHERE INDICATED. SEE DETAIL

5. ALL BEARING AND SHEAR WALLS SHALL BE 2x4 @ 16" O.C. INTERIOR AND 2x6 @

POSTS INDICATED ARE AT THIS LEVEL. ALL POSTS NOT SPECIFIED SHALL BE (2) 2X. PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL FLOOR BEAMS AND ALL POSTS ABOVE FOR FULL BEARING. PROVIDE BLKG. AT JOISTS PER DETAIL 7/54.1. SEE 3/54.1 FOR TYPICAL POST BASE CONNECTION.

ALL HEADERS NOT SHOWN ON PLAN SHALL BE $3\frac{1}{2}\times9\frac{1}{2}$ LSL (532) FOR EXTERIOR BEARING WALLS AND 31/2×91/2 LSL (532) FOR INTERIOR BEARING WALLS. SEE 10/54.1 FOR HEADER DETAIL. HANG HEADERS W/ HUC410 (780-410) WHERE HANGERS ARE INDICATED ON PLAN.

8. FOR TOP PLATE SPLICE SEE DETAIL 6/S4.1

9. ALIGN A JOIST OR JOIST BLOCKING OVER THE FULL LENGTH OF ALL BEARING/SHEAR WALLS. SEE 8/S4.0 FOR SPECIAL SHEAR WALL BLOCKING

> INDICATES SHEAR WALL AT THIS LEVEL. SEE SHEAR WALL SCHEDULE 8/S4.0 FOR SHEATHING, BLOCKING, NAILING, AND ANCHOR BOLT REQUIREMENTS. ALL EXTERIOR WALLS SHALL

INDICATES HOLDOWN STRAP TO FRAMING BELOW WALL SEE 10/54.0 FOR STRAP HOLDOWN DETAIL AT FLOOR-TO-FLOOR AND BEAM SUPPORTING SHEAR WALL END. USE MIN. (2) 2x POST U.O.N.

- INDICATES FRAMING DIRECTION

-INDICATES EXTENT OF FRAMING

SM-X INDICATES SHEAR WALL TYPE AT THIS LEVEL. SEE PLAN NOTE IO

> INDICATES WOOD BEARING OR SHEAR WALL AT THIS LEVEL. SEE PLAN NOTES 5 \$ 10

⇐==↓ INDICATES WOOD BEARING WALL, OR SHEAR WALL BELOW

INDICATES NON-BEARING/ NON-SHEAR WALL AT THIS LEVEL

↓ → ↓ INDICATES HEADER MEMBER. SEE PLAN NOTE 7

- INDICATES HANGER

7x11% PSL

INDICATES BLOCKED DIAPHRAGM PER 6/54.0

HANGER SCHEDULE		
LINDAL PART NO.	HANGER	LINDAL PART NO.
540A	ITSI.81/11.88	780-270
540E	MIT411/11.88	780-271
542	HUC412	780-412
546	HUCQ612-SDS	760-612
547	HGUS7.25/12	008-02







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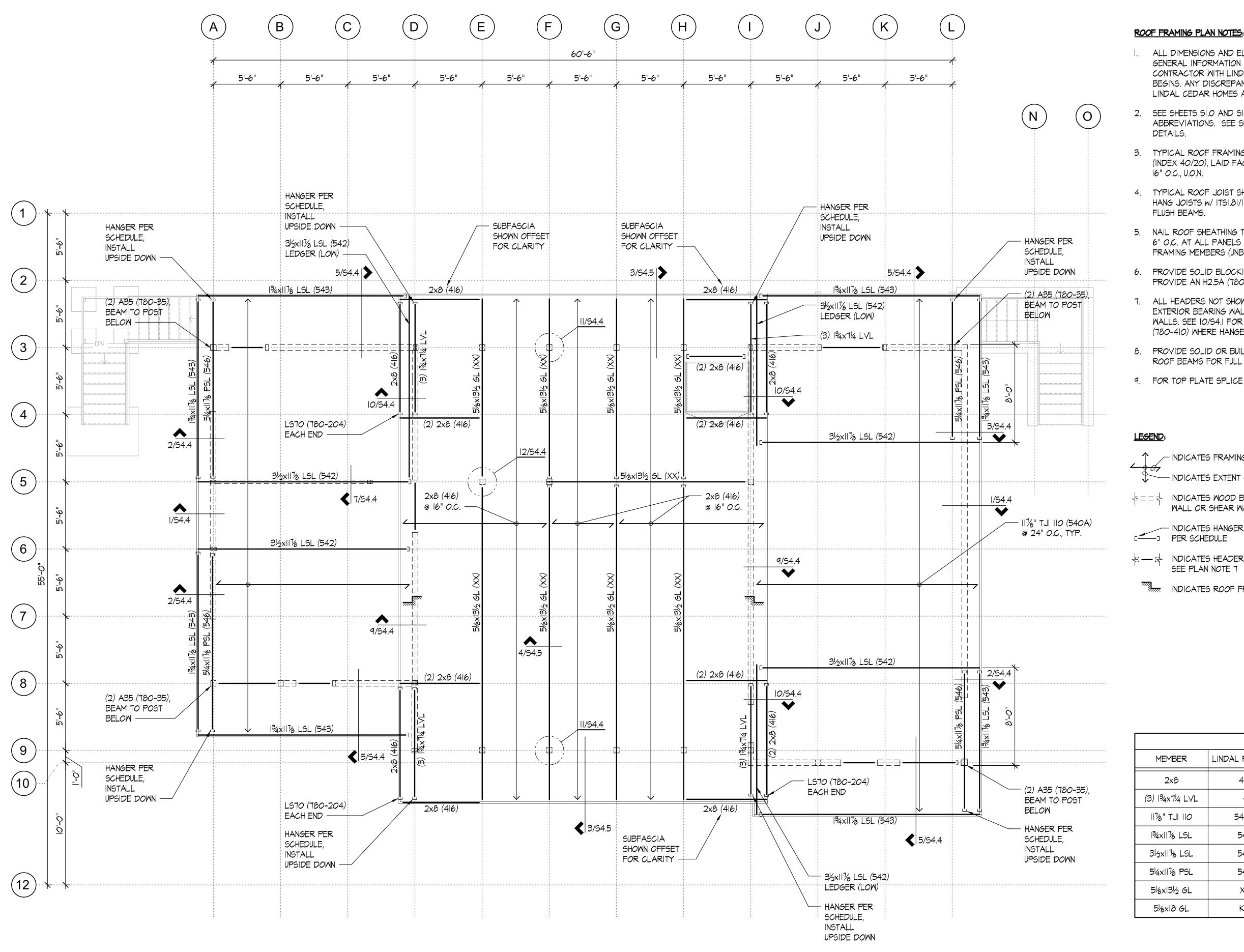
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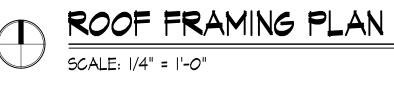
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ALL DIMENSIONS AND ELEVATIONS ON THE STRUCTURAL PLANS ARE FOR GENERAL INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR WITH LINDAL CEDAR HOME DRAWINGS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF LINDAL CEDAR HOMES AND ENGINEER IMMEDIATELY.

2. SEE SHEETS SI.O AND SI.I FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEETS S4.0, S4.1 AND S4.4 FOR TYPICAL WOOD

3. TYPICAL ROOF FRAMING CONSISTS OF 19/32" APA RATED SHEATHING (INDEX 40/20), LAID FACE GRAIN PERPENDICULAR OVER 11-7/8" I-JOISTS @

4. TYPICAL ROOF JOIST SHALL BE 11-7/8" TJI 110 (540A) @ 24" O.C., U.O.N. HANG JOISTS W/ ITSI.81/11.88 (780-270) TOP FLANGE HANGERS TYPICAL AT

5. NAIL ROOF SHEATHING TO FRAMING WITH 8d NAILS (0.131" \$\phi x 2.5" LONG) AT 6" O.C. AT ALL PANELS EDGES AND 8d NAILS AT 12" O.C. AT INTERMEDIATE FRAMING MEMBERS (UNBLOCKED). SEE DETAIL 6/54.0.

6. PROVIDE SOLID BLOCKING BETWEEN EACH ROOF JOIST AT SUPPORTS. PROVIDE AN H2.5A (180-5) CLIP AT EVERY MEMBER TO TOP PLATE, U.O.N.

7. ALL HEADERS NOT SHOWN ON PLAN SHALL BE 31/2×91/2 LSL (532) FOR EXTERIOR BEARING WALLS AND $3\frac{1}{2}x9\frac{1}{2}$ LSL (532) FOR INTERIOR BEARING WALLS. SEE 10/S4.1 FOR HEADER DETAIL. HANG HEADERS W/ HUC410 (780-410) WHERE HANGERS ARE INDICATED ON PLAN.

8. PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL ROOF BEAMS FOR FULL BEARING.

9. FOR TOP PLATE SPLICE SEE DETAIL 6/S4.1

- INDICATES FRAMING DIRECTION

-INDICATES EXTENT OF FRAMING

 는 그 국 INDICATES WOOD BEARING WALL OR SHEAR WALL BELOW

- INDICATES HANGER

↓ → ↓ INDICATES HEADER MEMBER. SEE PLAN NOTE 7

INDICATES ROOF FRAMING STEP







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HANGE	R SCHEDULE	
LINDAL PART NO.	HANGER, U.O.N.	LINDAL PART NO.
416	LUS28	780-209
-	HUC68	780-608
540A	ITSI.81/11.88	780-270
543	HUCQI.81/11-SDS	008-06
542	HUC412	780-412
546	HUC612	780-612
XX	CJT5Z	CJT5Z-L
KK	MGU5.25	008-05

42255

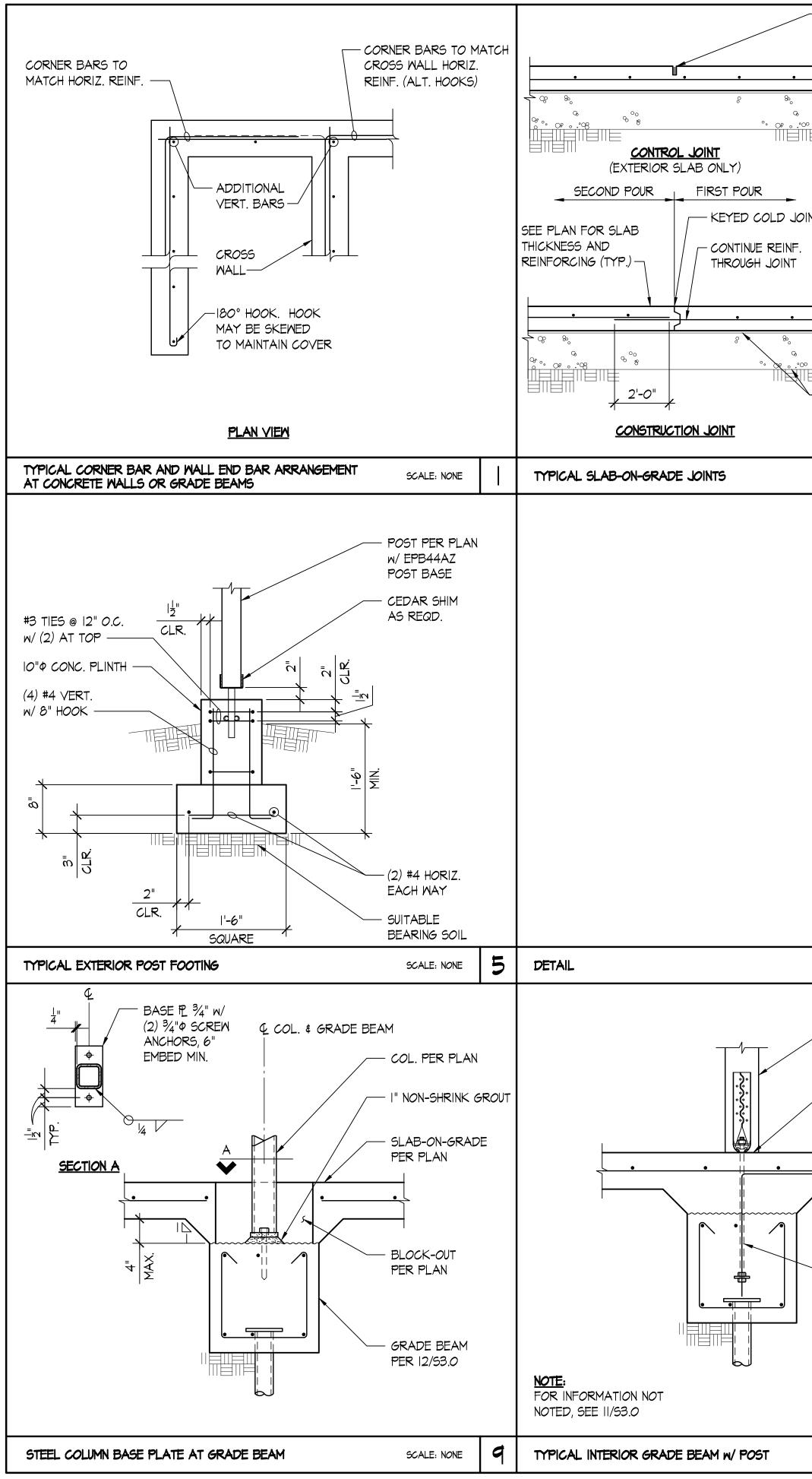
HOME SERIES CUSTOM HOME MODEL

CUSTOM

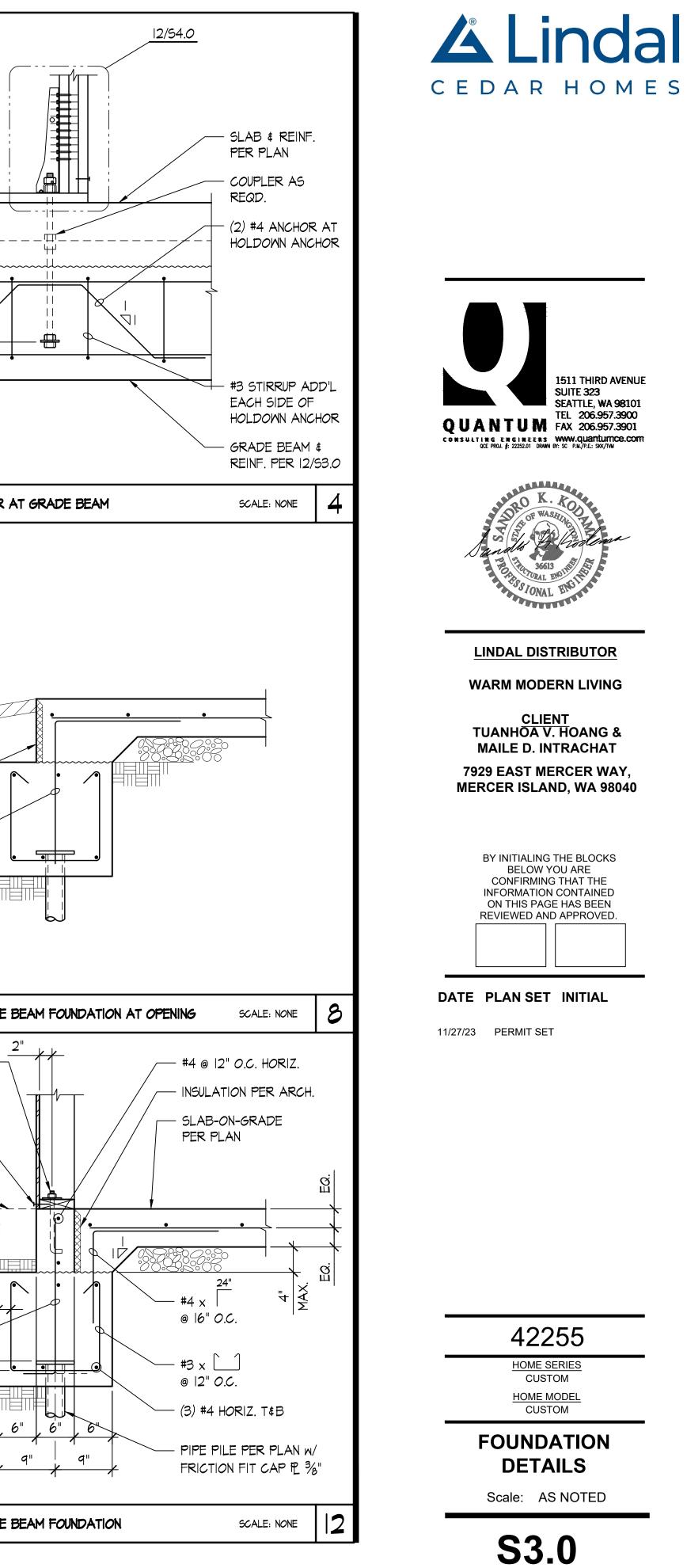
ROOF FRAMING PLAN

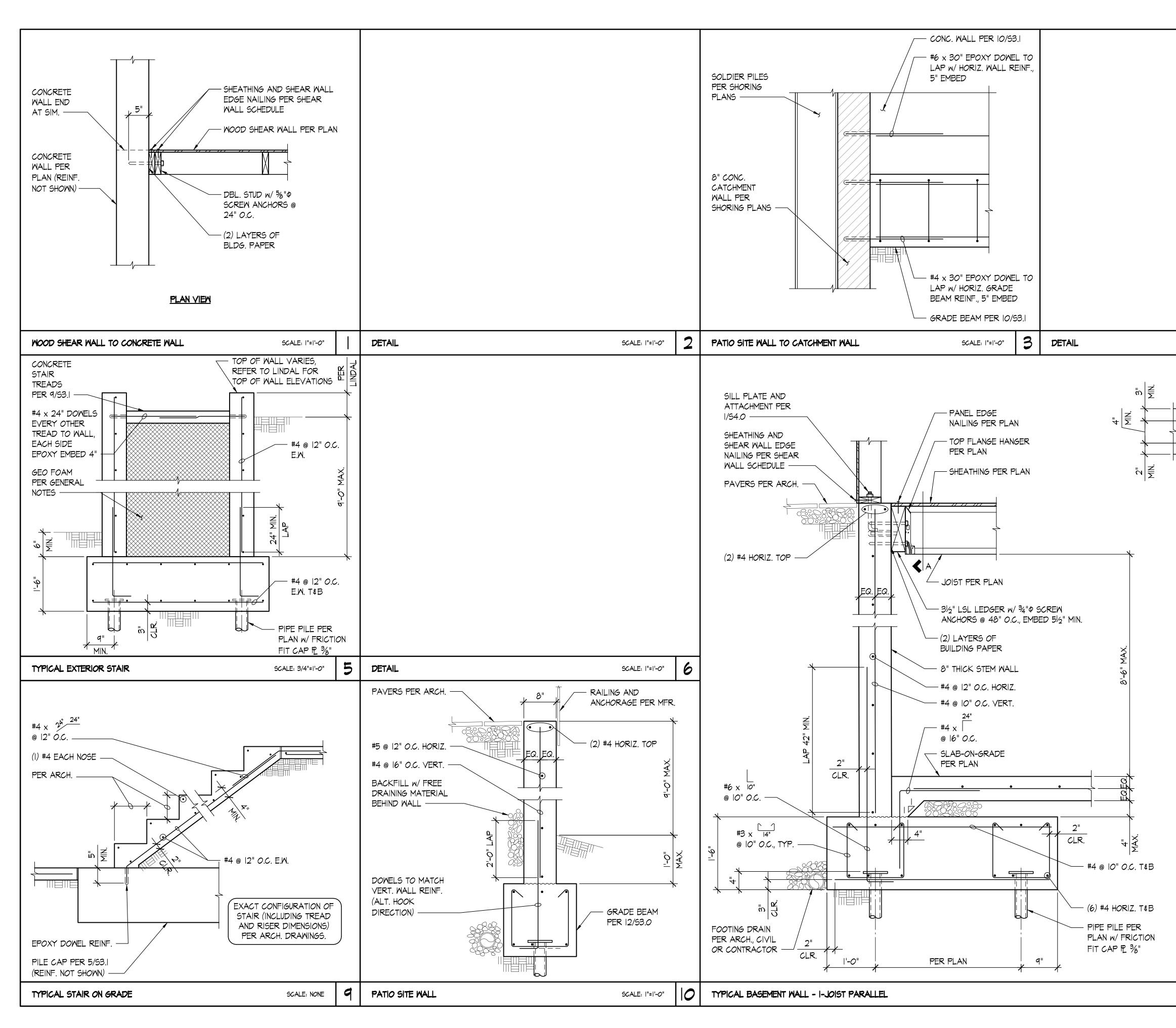
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S2.3



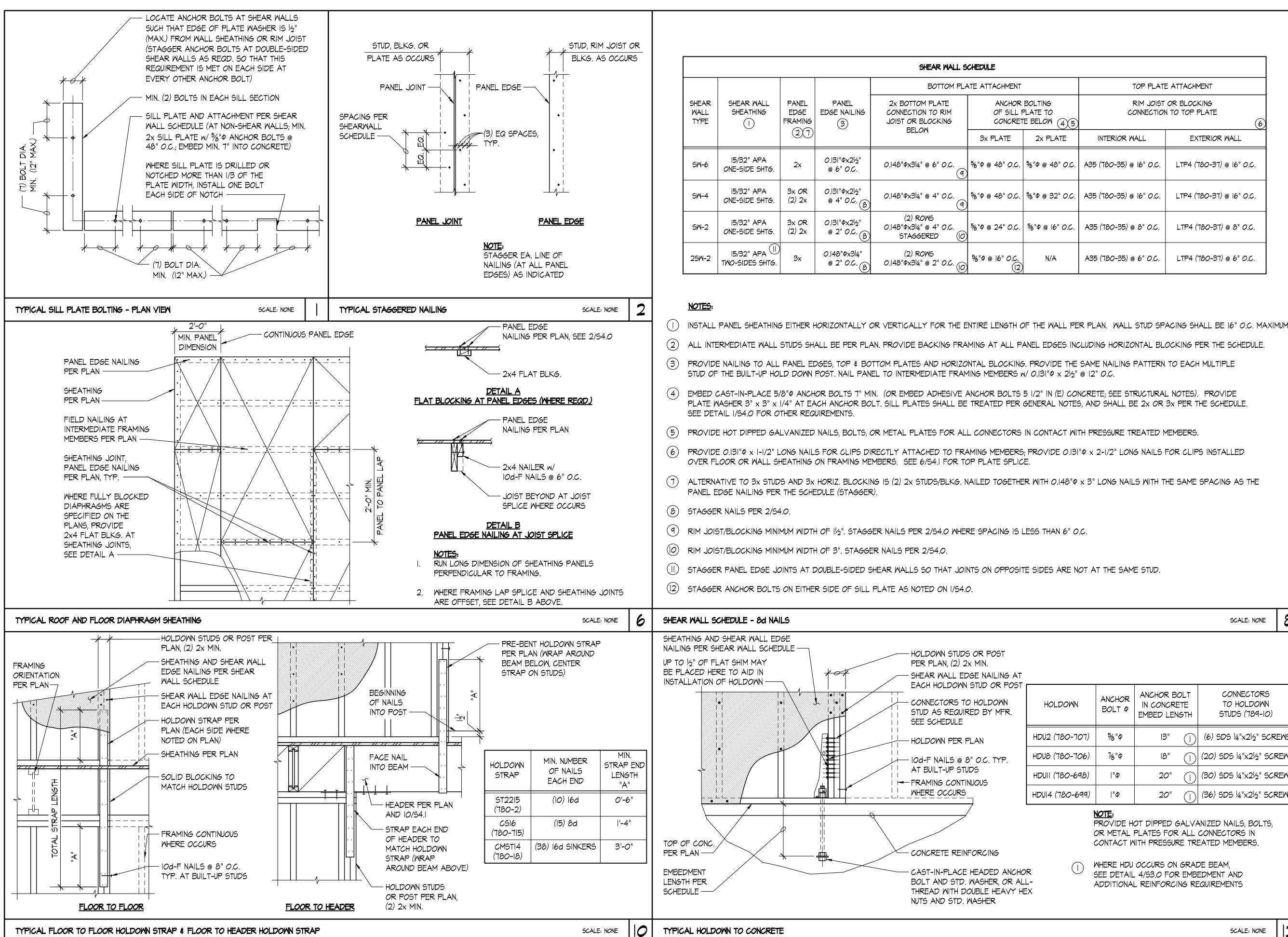
SCALE: NONE	TYPICAL INTERIOR GRADE BEAM FOUNDATION SCALE: NONE		TYPICAL PERIMETER GRADE
POST PER PLAN N/ HOLDOWN PER PLAN (2) LAYERS OF BUILDING PAPER ANCHOR & EMBEDMENT PER 12/54.0	SHEATHING AND SHEAR WALL EDGE NAILING PER SHEAR WALL SCHEDULE SILAB-ON-GRADE PER PLAN SILAB-ON-GRADE PER PLAN GRADE BEAM PER 12/53.0		ATTACHMENT PER I/S4.0 SHEATHING AND SHEAR WALL EDGE NAILING PER SHEAR WALL SCHEDULE EXTERIOR SLAB-ON-GRADE PER PLAN AT SIM. + #4 @ 16" O.C. 2" VERT. ALT. HOOK DIRECTION TO TO FOOTING DRAIN PER ARCH., CIVIL OR CONTRACTOR
SCALE: NONE	DETAIL SCALE: NONE	7	SILL PLATE AND
			PAVEMENT PER ARCH. INSULATION PER ARCH. 24" #4 x @ 16" O.C. NOTE: FOR INFORMATION NOT NOTED, SEE 12/53.0
SCALE: NONE	DETAIL SCALE: NONE	3	TYPICAL HOLDOWN ANCHOR
½" x I½" PREMOLDED CONT. MASTIC JOINT STRIP. (JOINT MAY BE SAW-CUT AT CONTRACTOR'S OPTION.) PROVIDE CONTROL OR CONSTRUCTION JOINTS IN EXTERIOR SLABS-ON-GRADE TO BREAK UP SLAB-ON-GRADE INTO SMALL SQUARE OR APPROXIMATELY RECTANGULAR AREAS. NO ACUTE ANGLES. THE RATIO OF LONG TO SHORT SIDE DIMENSION SHALL NOT EXCEED I.5. MAXIMUM JOINT SPACING SHALL NOT EXCEED 36 TIMES THE SLAB-ON-GRADE THICKNESS IN EACH DIRECTION. CONTRACTOR SHALL SUBMIT JOINT LAYOUT PLASTIC VAPOR BARRIER (WHERE OCCURS) AND COMPACTED GRANULAR FILL PER GEOTECHNICAL REPORT			





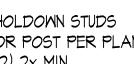


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LEDGER	Samalin Store and Store an
	LINDAL DISTRIBUTOR
<u>SECTION A</u>	WARM MODERN LIVING
<u>JECTION A</u>	CLIENT TUANHOA V. HOANG & MAILE D. INTRACHAT 7929 EAST MERCER WAY, MERCER ISLAND, WA 98040
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	CUSTOM FOUNDATION
	DETAILS
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SCALE: "= '-O"	S3.1









TYPICAL FLOOR TO FLOOR HOLDOWN STRAP & FLOOR TO HEADER HOLDOWN STRAP

TOP PLATE	E ATTACHMENT			
RIM JOIST OR BLOCKING CONNECTION TO TOP PLATE				
INTERIOR WALL	EXTERIOR WALL			
A35 (780-35) @ 16" O.C.	LTP4 (780-37) @ 16" O.C.			
A35 (780-35) @ 16" O.C.	LTP4 (780-37) @ 16" O.C.			
A35 (780-35) @ 8" O.C.	LTP4 (780-37) @ 8" O.C.			
A35 (780-35) @ 6" O.C.	LTP4 (780-37) @ 6" O.C.			

SCALE: NONE

8

ANCHOR BOLT Ø	ANCHOR BOLT IN CONCRETE EMBED LENGTH	CONNECTORS TO HOLDOWN STUDS (789-10)
5∕%"Φ	I3" ()	(6) SDS 1/4"x21/2" SCREMS
7⁄8"Φ	ا&"	(20) SDS 1/4"x21/2" SCREWS
"Φ	20"	(30) SDS 1/4"x21/2" SCREWS
"Φ	20" ()	(36) SDS ¼"x2½" SCREWS

NOTE:

PROVIDE HOT DIPPED GALVANIZED NAILS, BOLTS, OR METAL PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED MEMBERS

WHERE HDU OCCURS ON GRADE BEAM, SEE DETAIL 4/S3.0 FOR EMBEDMENT AND ADDITIONAL REINFORCING REQUIREMENTS

SCALE: NONE

2





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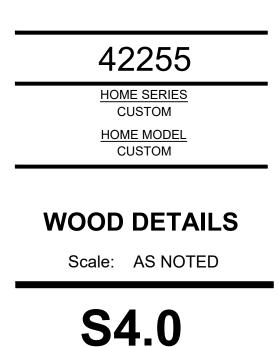
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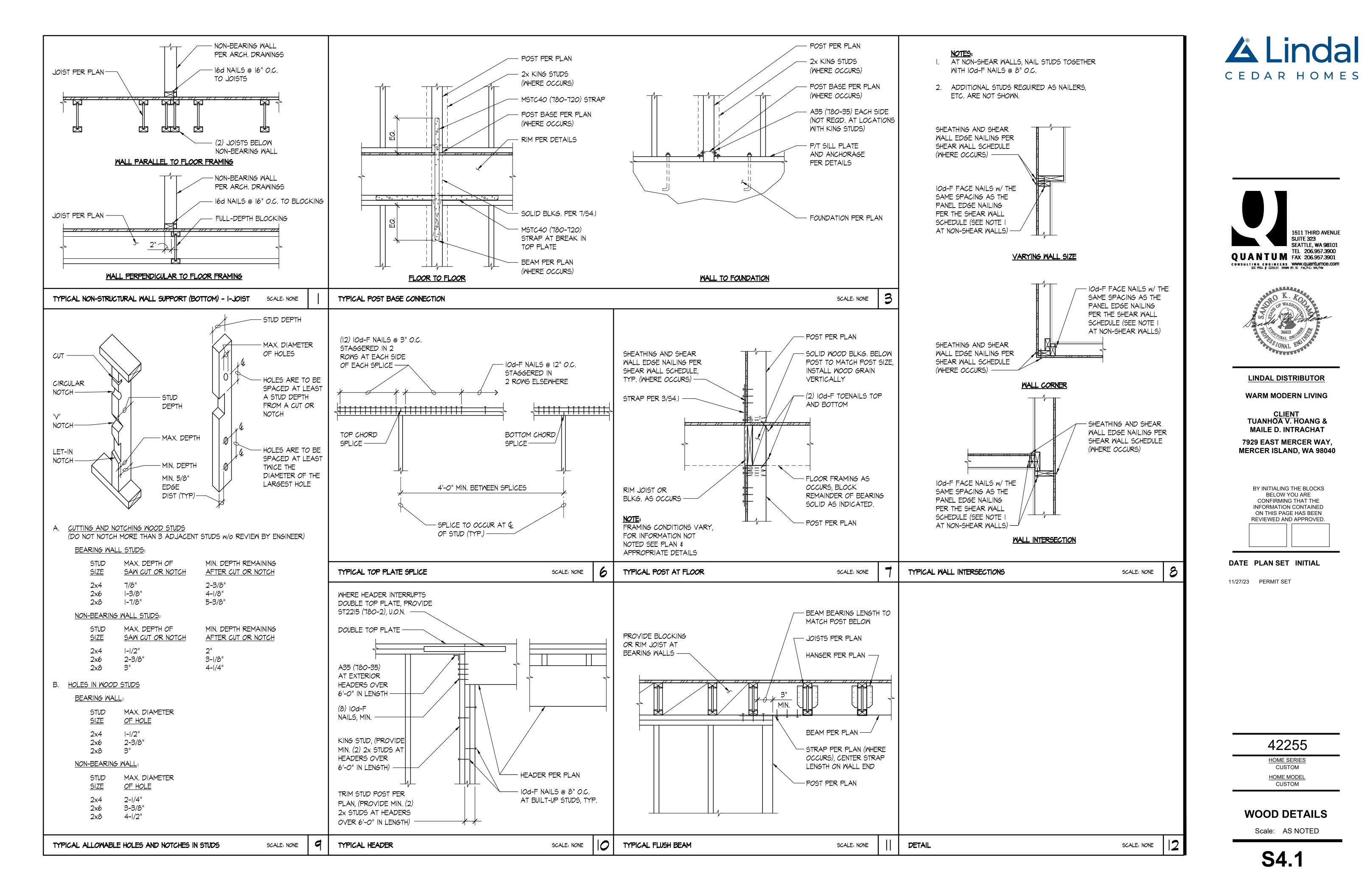
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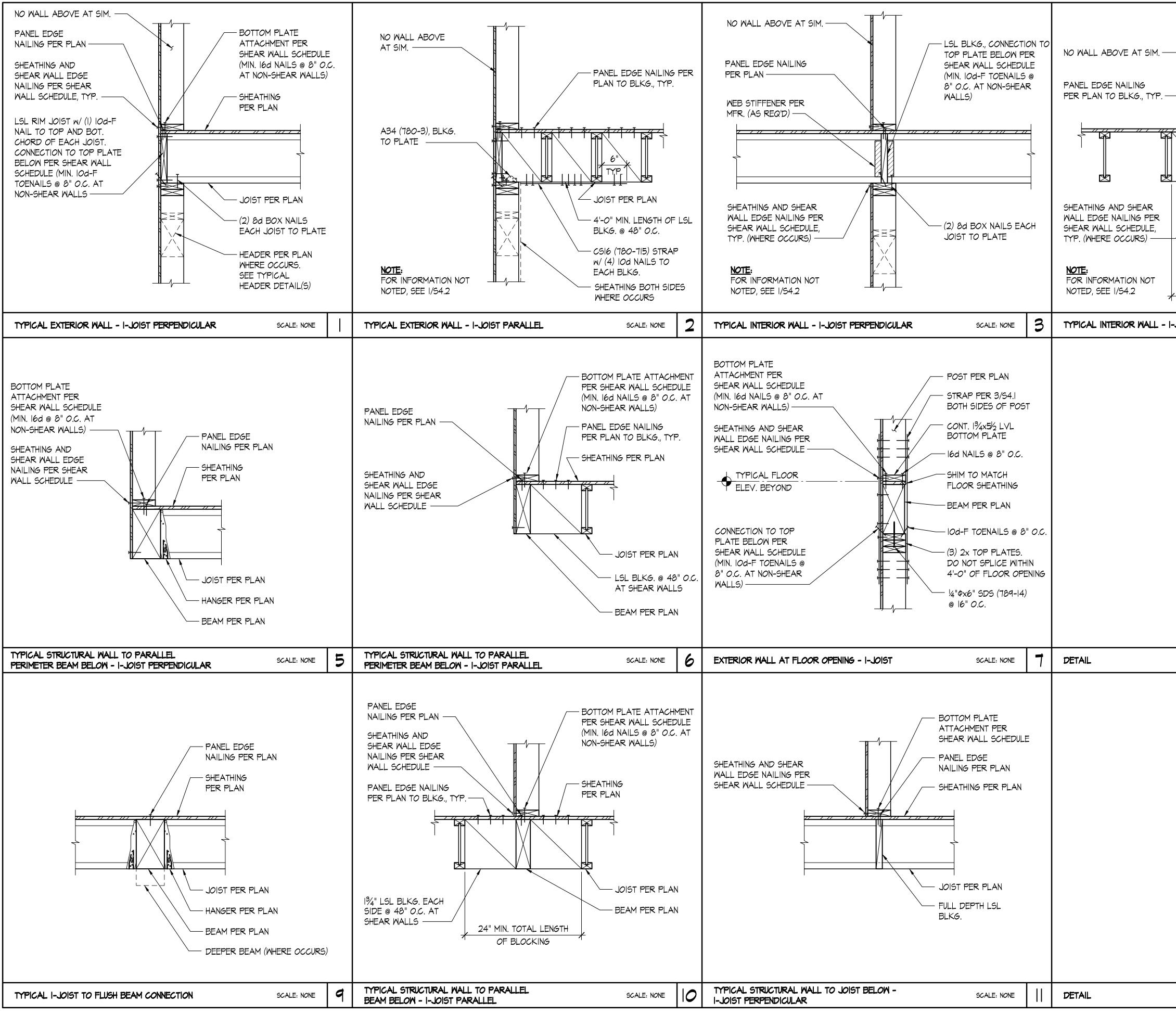
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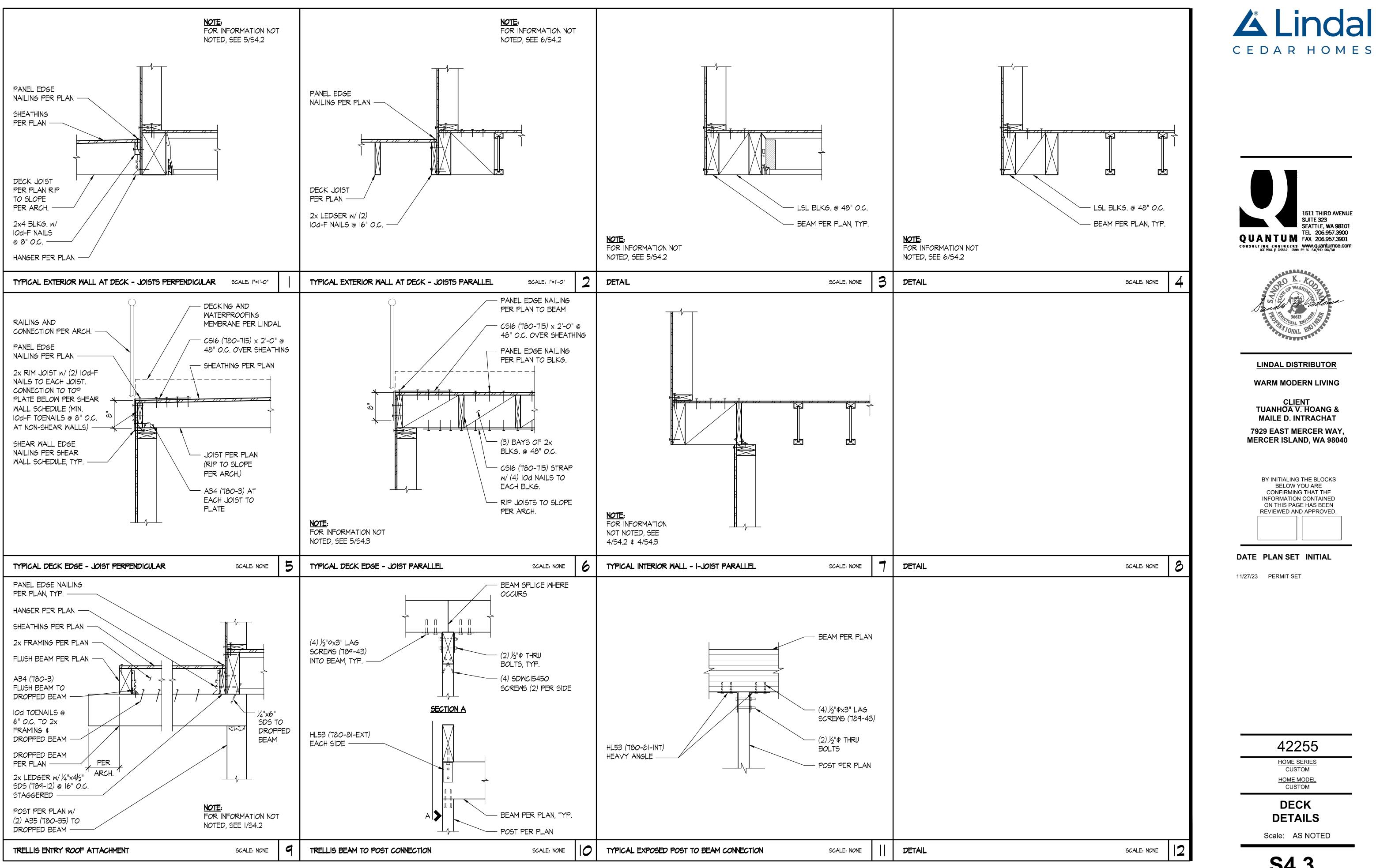
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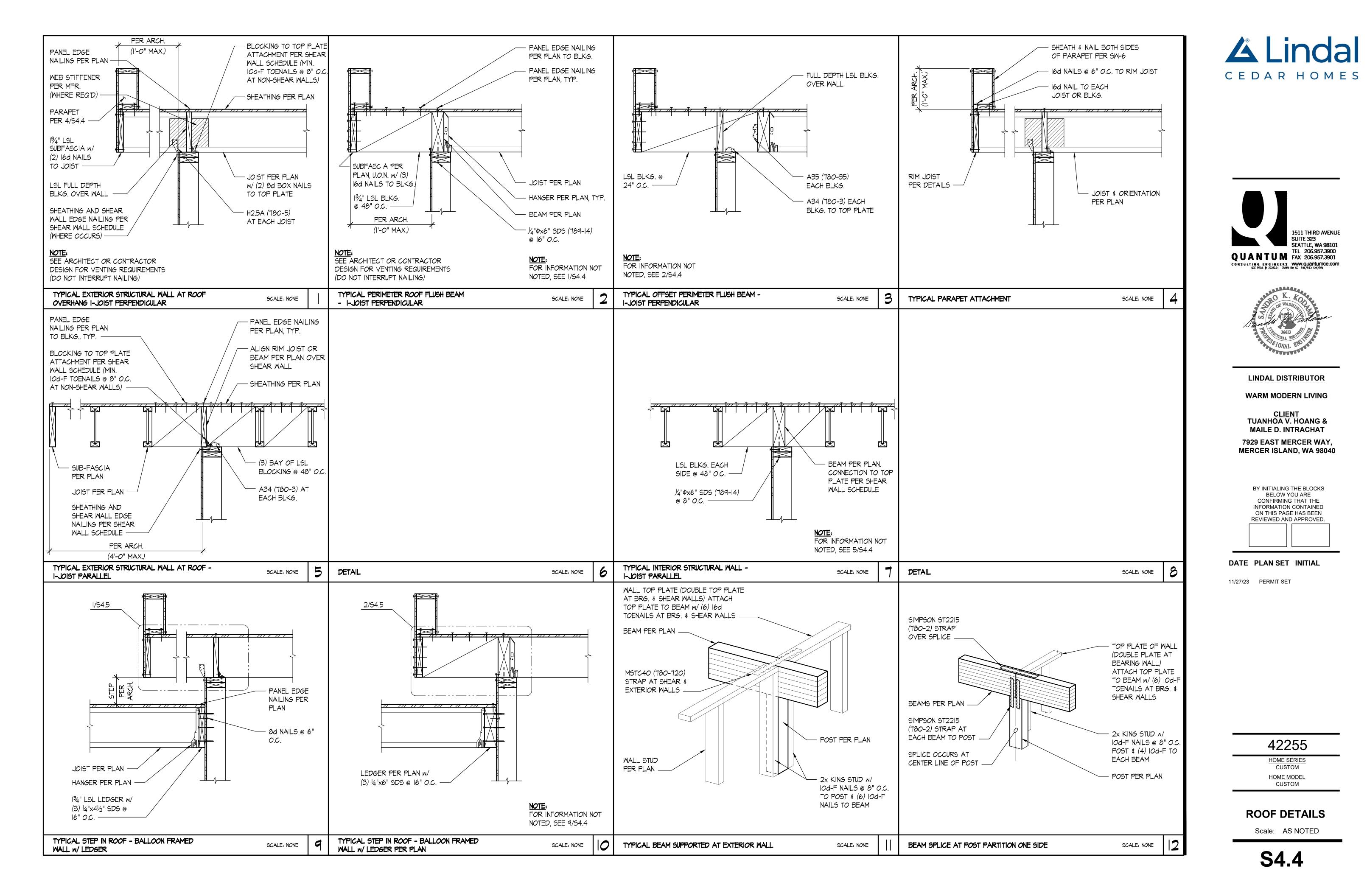




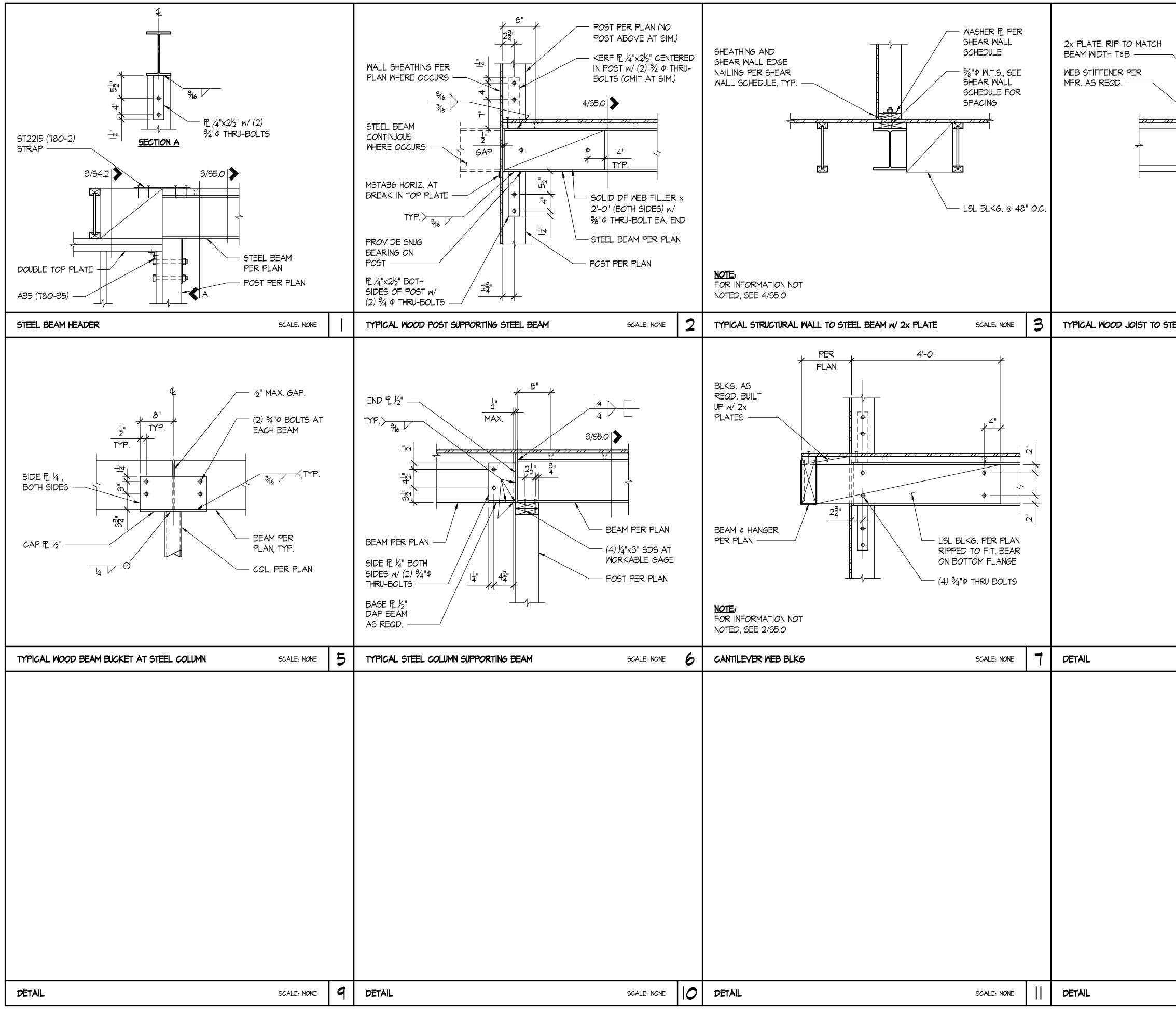
PANEL EDGE PER PLAN CONT. LSL JC CONNECTION PLATE BELOW WALL SCHED IOd-F TOENA AT NON-SHEA	DIST, TO TOP N PER SHEAR ULE (MIN. ILS @ 8" O.C.	A LI CEDAR	номеs
LSL BL @ 48" ((2) IOd FROM E PLATE,	-F TOENAILS BLKG. TO TOP TYP. HING BOTH NHERE		1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101 TEL 206.957.3900 FAX 206.957.3901 www.quantumce.com
JOIST PARALLEL SCAL	E: NONE 4	LINDAL DIST WARM MODE KALLER JOINT	RIBUTOR RN LIVING NT HOANG & TRACHAT RCER WAY,
SCAL	.E: NONE 8	BY INITIALING T BELOW YC CONFIRMING INFORMATION ON THIS PAGE REVIEWED AND DATE PLAN SET 11/27/23 PERMIT SET	DU ARE THAT THE CONTAINED HAS BEEN APPROVED.
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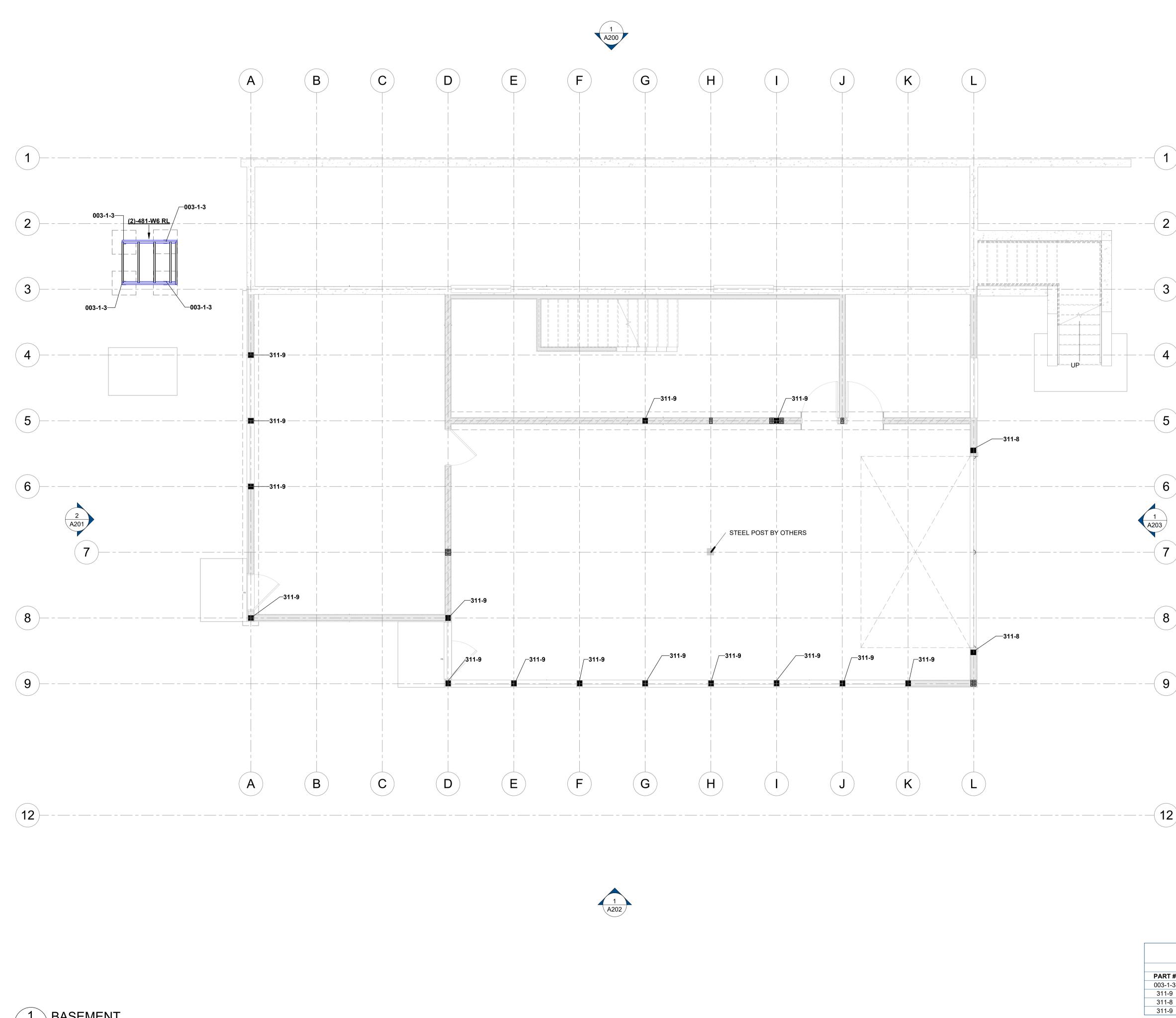
S4.3



PER ARCH. PANEL EDGE NAILING PER PLAN INAILING P	PER PLAN TO BLKG.	2x RIM ATTACHMENT TO TOP PLATE BELOW PER SHEAR WALL SCHEDULE (MIN. IOd-F TOENAILS @ 8" O.C. AT NON-SHEAR WALLS) PANEL EDGE NAILING PER PLAN	SHEATHING PER PLAN	CEDAR HOMES
PARAPET PER 4/54.4 	SUBFASCIA PER PLAN, U.O.N. w/ (3) I6d NAILS TO BLKG. 2x BLKG. 0 48" O.C. PER ARCH. (I'-O" MAX.) DIST PER PLAN HANGER PER PLAN, TYP. BEAM PER PLAN V/ (40×6)" SDS (769-14) 0 I6" O.C. DESIGN FOR VENTING REQUIREMENTS (DO NOT INTERRIPT NAILING) NOTE: FOR INFORMATION NOT NOTED, SEE 1/54.5	PARAPET PER 4/54.4 2x SUBFASCIA SHEATHING AND SHEATHING AND	PANEL EDGE NAILING PER PLAN JOIST BLKG. W/ IOd-F TOENAILS @ 8" O.C. TO BEAM BELOW JOIST PER PLAN (2) IOd-F TOENAILS EACH JOIST TO BEAM BEAM PER PLAN	<section-header><text><text><text></text></text></text></section-header>
TYPICAL EXTERIOR STRUCTURAL WALL AT ROOF OVERHANG 2x FRAMING PERPENDICULAR	TYPICAL PERIMETER ROOF FLUSH BEAM - 2x FRAMING PERPENDICULAR	TYPICAL EXTERIOR WALL TO 2x OUTLOOKER - JOIST PARALLEL SCALE: NONE 3	TYPICAL 2x JOIST TO DROP BEAM CONNECTION SCALE: NONE 4	Annalis Fridance
				36613 INSTAL ENGINE
				LINDAL DISTRIBUTOR WARM MODERN LIVING
				<u>CLIENT</u> TUANHOA V. HOANG & MAILE D. INTRACHAT
				7929 EAST MERCER WAY, MERCER ISLAND, WA 98040
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DETAIL SCALE: "=1'-0" 5	DETAIL SCALE: "=1'-0" 6	DETAIL SCALE: "=1'-0"	DETAIL SCALE: "=1'-0" 8	DATE PLAN SET INITIAL
				11/27/23 PERMIT SET
				42255 HOME SERIES CUSTOM
				HOME MODEL CUSTOM
				DETAILS Scale: AS NOTED
DETAIL SCALE: "=1'-0"	DETAIL SCALE: I"=I'-O"	DETAIL SCALE: "= '-0"	DETAIL SCALE: "=1'-0"	S4.5



	- 8dx11/2" NAILS @ 6" 0 - % "\$ VI1/2" W.T.S. @ 32" COUNTERSINK NUT & WASHER % "MAX. T& - SHEATHING PER PLAN - SHEATHING PER PLAN - JOIST & HANGER PER PLAN - STEEL BEAM PER PL	<i>O.C.,</i> B N	<image/>
EEL BEAM w/ 2x PLATE	SCALE: NONE	4	MARO K. KOM
			<image/>
	SCALE: NONE	8	DATE PLAN SET INITIAL
			11/27/23 PERMIT SET
	SCALE: NONE	2	
			S5.0



BASEMENT MT00 1/4" = 1'-0"

BASEMENT POST AND PARTITION OVERLAY

1

2

4

6

A203

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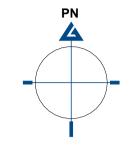
-12

- SCALE: 1/4"=1'-0" 1. ALL POSTS TO BE JOB CUT TO FIT UNDER BEAMS. POSTS LABELED RECUT ARE JOB CUT FROM A POST with AN INDICATED LENGTH ALSO LABELED RECUT.
- 2. GLULAM BEAMS VARY IN SIZE, MEASURE BEAM DEPTH at POST LOCATION TO DETERMINE EXACT POST LENGTH BEFORE CUTTING
- POST. 3. ALL INTERIOR WALL STUDS UNDER FIRST FLOOR ARE #361, 2x4 @
- 24" O.C. UNLESS NOTED OTHERWISE. 4. ALL EXTERIOR WALL STUDS at BASEMENT FLOOR ARE #336-6, 2x6 @
- 16" O.C. UNLESS NOTED OTHERWISE. 5. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.

· in/ Ja' CEDAR HOMES

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PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040

NO.	DESCRIPTION	ISSUED BY	DATE
	REVISION DD	ES	7/18/2023
	ISSUED FOR DD	ES	8/31/2023
	ISSUED FOR CD	ES	10/19/2023
1	CITY COMMENT	ES	11/27/2023

WARRANTY NUMBER

42255

SERIES



MODEL ELEMENT CUSTOM HOME

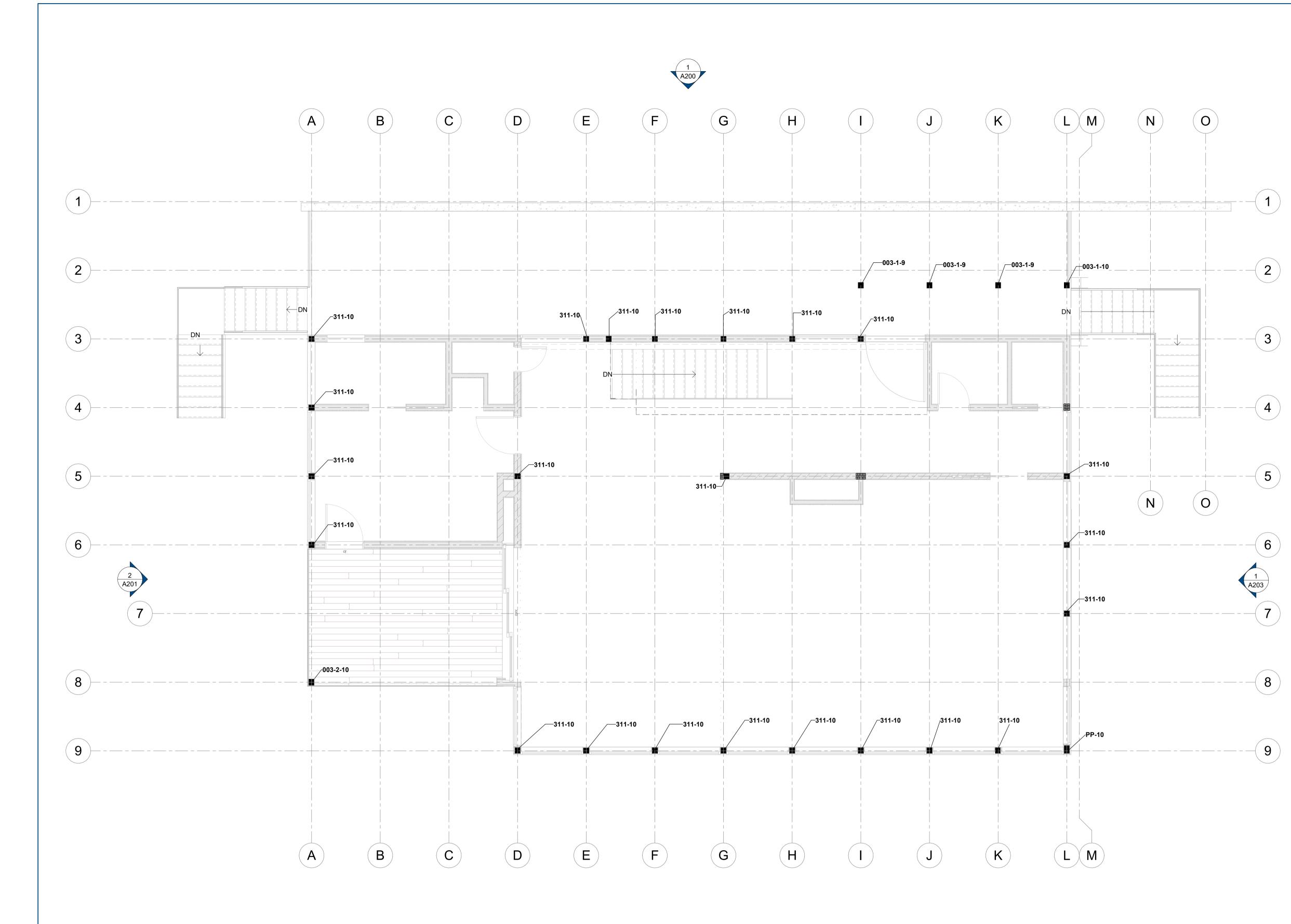
OVERLAY - BASEMENT

Scale: 1/4" = 1'-0"

MT00

LOWER LEVEL POST SCHEDULE

STRUCTURAL MEMBER DESCRIPTION				DESIGN	DESIGN LENGTH	
PART #	APPLICATION	DIMENSIONS	MATERIAL	CUT	PRE-CUT	
003-1-3	EXPOSED	CUSTOM	DOUG-FIR #2	2' - 6 5/8"	3' - 0"	
311-9	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	8' - 1 1/2"	9' - 0"	
311-8	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	7' - 7 3/8"	8' - 0"	
311-9	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	8' - 1 1/2"	9' - 0"	





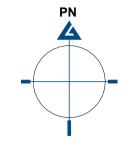
1ST FLOOR POST AND PARTITION OVERLAY

- SCALE: 1/4"=1'-0"
 1. ALL POSTS TO BE JOB CUT TO FIT UNDER BEAMS. POSTS LABELED RECUT ARE JOB CUT FROM A POST with AN INDICATED LENGTH ALSO LABELED RECUT.
- POST ATTACHMENT TO CONCRETE SLABS, DESIGN AND MATERIALS, ARE BY OTHERS.
 GLULAM BEAMS VARY IN SIZE, MEASURE BEAM DEPTH at POST
- LOCATION TO DETERMINE EXACT POST LENGTH BEFORE CUTTING POST.
- ALL INTERIOR WALL STUDS UNDER SECOND FLOOR ARE #361 (2x4) OR #361-6 (2x6) @ 24" O.C. UNLESS NOTED OTHERWISE.
 ALL EXTERIOR WALL STUDS at FIRST FLOOR ARE #333-6, 2x6 @ 16"
- O.C. UNLESS NOTED OTHERWISE.
 6. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.



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PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040

NO.	DESCRIPTION	ISSUED BY	DATE
	REVISION DD	ES	7/18/2023
	ISSUED FOR DD	ES	8/31/2023
	ISSUED FOR CD	ES	10/19/202
1	CITY COMMENT	ES	11/27/202

WARRANTY NUMBER

42255

<u>SERIES</u>



MODEL ELEMENT CUSTOM HOME

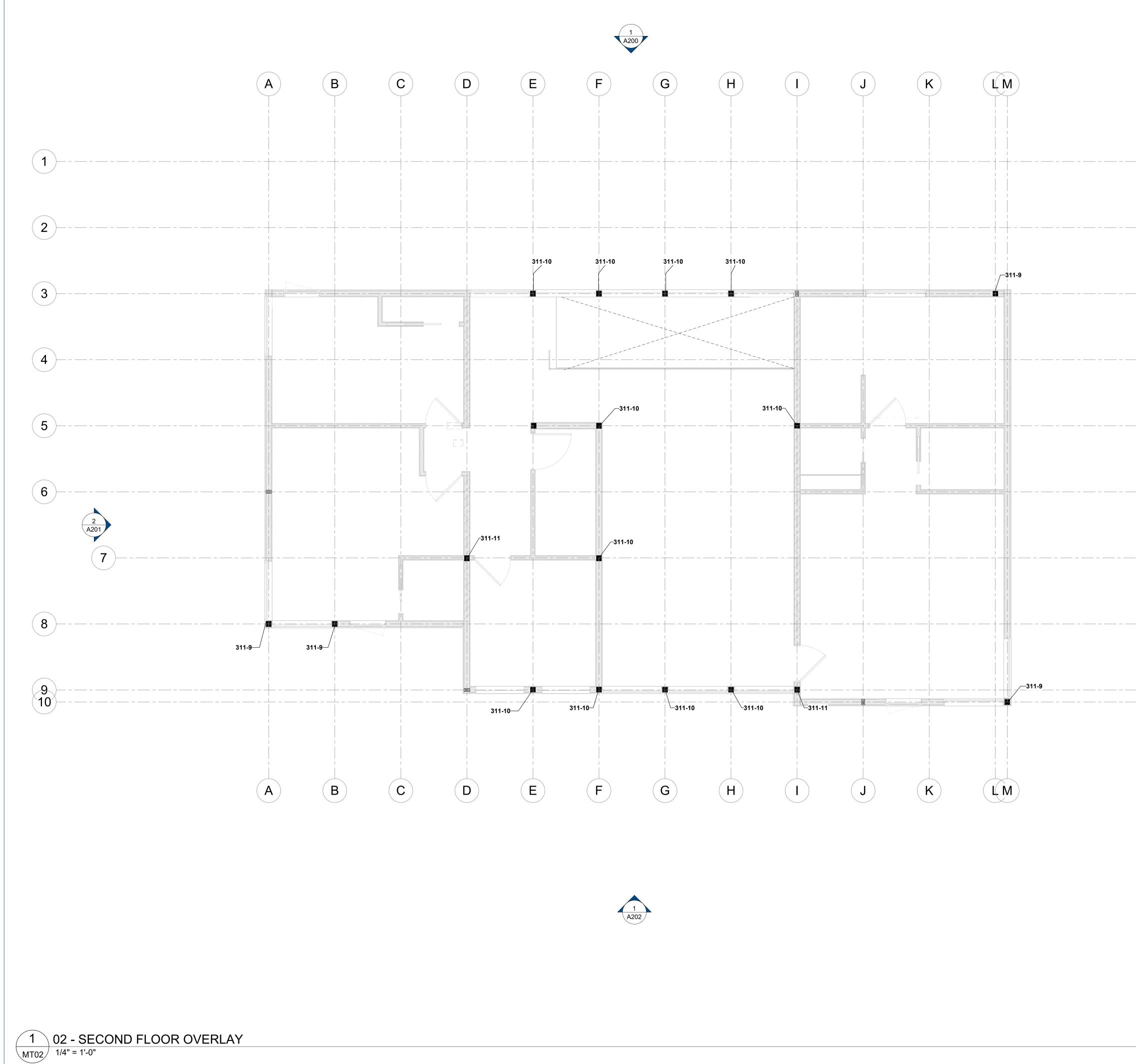
OVERLAY - FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

1ST FLOOR POST SCHEDULE

STRUCTURAL MEMBER DESCRIPTION					DESIGN LENGTH	
PART #	APPLICATION	DIMENSIONS	MATERIAL	CUT	PRE-CUT	
311-10	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	9' - 6"	10' - 0"	
003-1-9	EXPOSED	CUSTOM	ALASKAN YELLOW CEDAR	8' - 9"	9' - 0"	
311-10	NON-EXPOSED	5 1/8" x 5 1/2"	<varies></varies>	9' - 6"	10' - 0"	
PP-10	EXPOSED	5 1/8" x 7 1/2"	DOUG-FIR #2	9' - 6"	10' - 0"	
<varies>-10</varies>	EXPOSED	CUSTOM	ALASKAN YELLOW CEDAR	<varies></varies>	10' - 0"	

MT01



2ND FLOOR POST AND **PARTITION OVERLAY**

- SCALE 1/4" = 1'-0" 1. ALL POSTS TO BE JOB CUT TO FIT UNDER BEAMS. POSTS LABELED RECUT ARE JOB CUT FROM A POST WITH AN INDICATED LENGTH ALSO LABELED RECUT.
- 2. GLULAM BEAMS VARY IN SIZE, MEASURE BEAM DEPTH AT POST LOCATION TO DETERMINE EXACT POST LENGTH BEFORE CUTTING POST. 3. ALL INTERIOR STUDS ARE #412 (2x4) OR #414 (2x6) @ 24" o.c.,
- UNLESS NOTED OTHERWISE.
- 4. ALL EXTERIOR WALL STUDS @ SECOND FLOOR ARE #334-6, 2x6 @ 16" o.c., UNLESS NOTED OTHERWISE.

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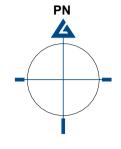
(10)

5. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.

ALindal CEDAR HOMES

2022 COPYRIGHT LINDAL CEDAR HOMES

THE LINDAL DESIGN IN THESE DRAWINGS IS THE EXCLUSIVE PROPERTY OF LINDAL CEDAR HOMES, INC. BY COPYRIGHT LAW THESE DRAWINGS ARE NOT TO BE REPRODUCED, NOR IS THE INFORMATION CONTAINED TO BE USED FOR ANY PURPOSE OTHER THAN THE PURCHASE AND CONSTRUCTION OF A LINDAL CEDAR HOME.



PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040

2ND FLOOR POST SCHEDULE

STRUCTURAL MEMBER DESCRIPTION				DESIGN LENGTH	
PART #	APPLICATION	DIMENSIONS	MATERIAL	CUT	PRE-CUT
311-10	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	8' - 10 3/4"	10' - 0"
311-9	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	8' - 0"	9' - 0"
311-10	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	8' - 10 3/4"	10' - 0"
311-11	NON-EXPOSED	5 1/8" x 5 1/2"	DOUG-FIR #2	10' - 0 1/4"	11' - 0"

1 CITY COMMENT ISSUED FOR CD ISSUED FOR DD REVISION DD NO. DESCRIPTION
 ES
 11/27/2023

 ES
 10/19/2023

 ES
 8/31/2023

 ES
 7/18/2023

 ISSUED BY
 DATE
 ISSUANCES WARRANTY NUMBER 42255 **SERIES**



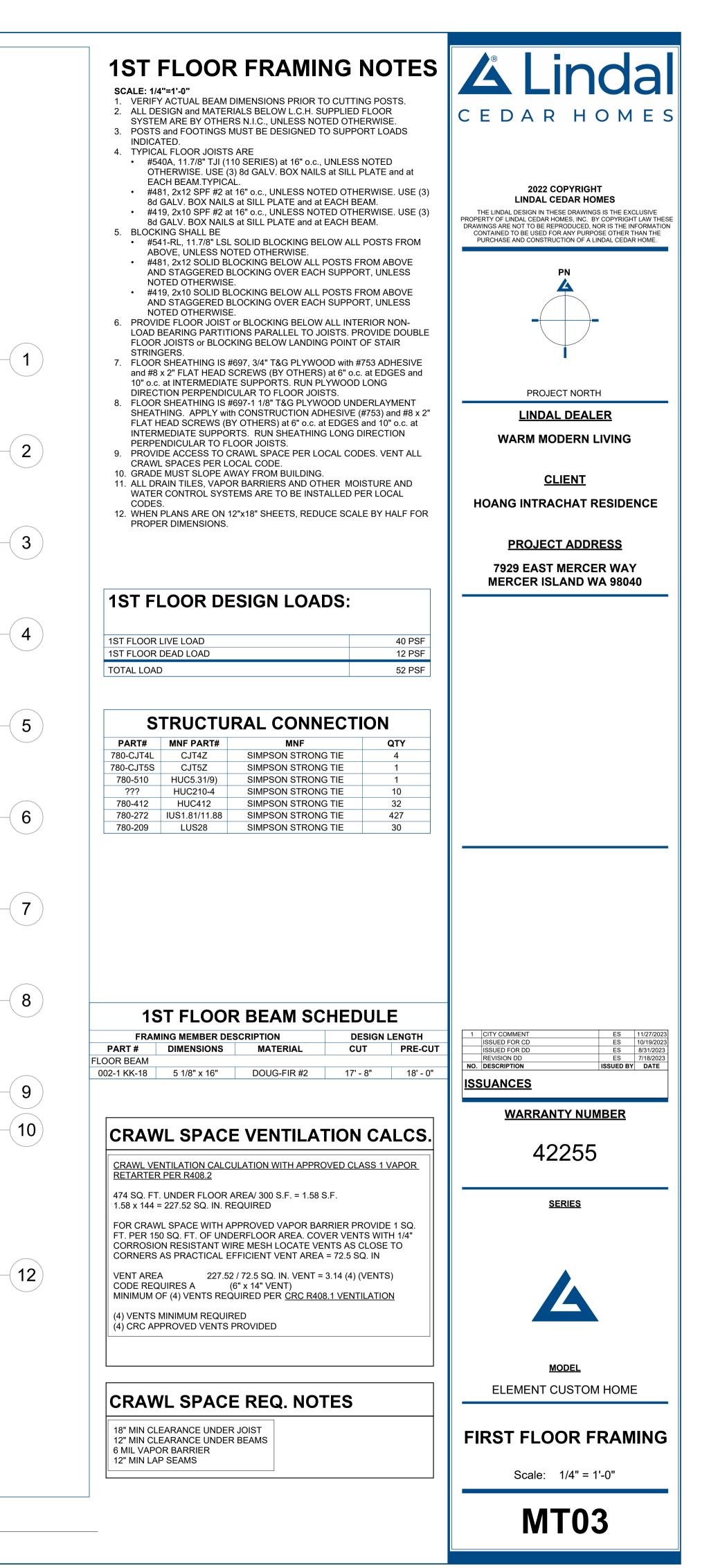
MODEL ELEMENT CUSTOM HOME

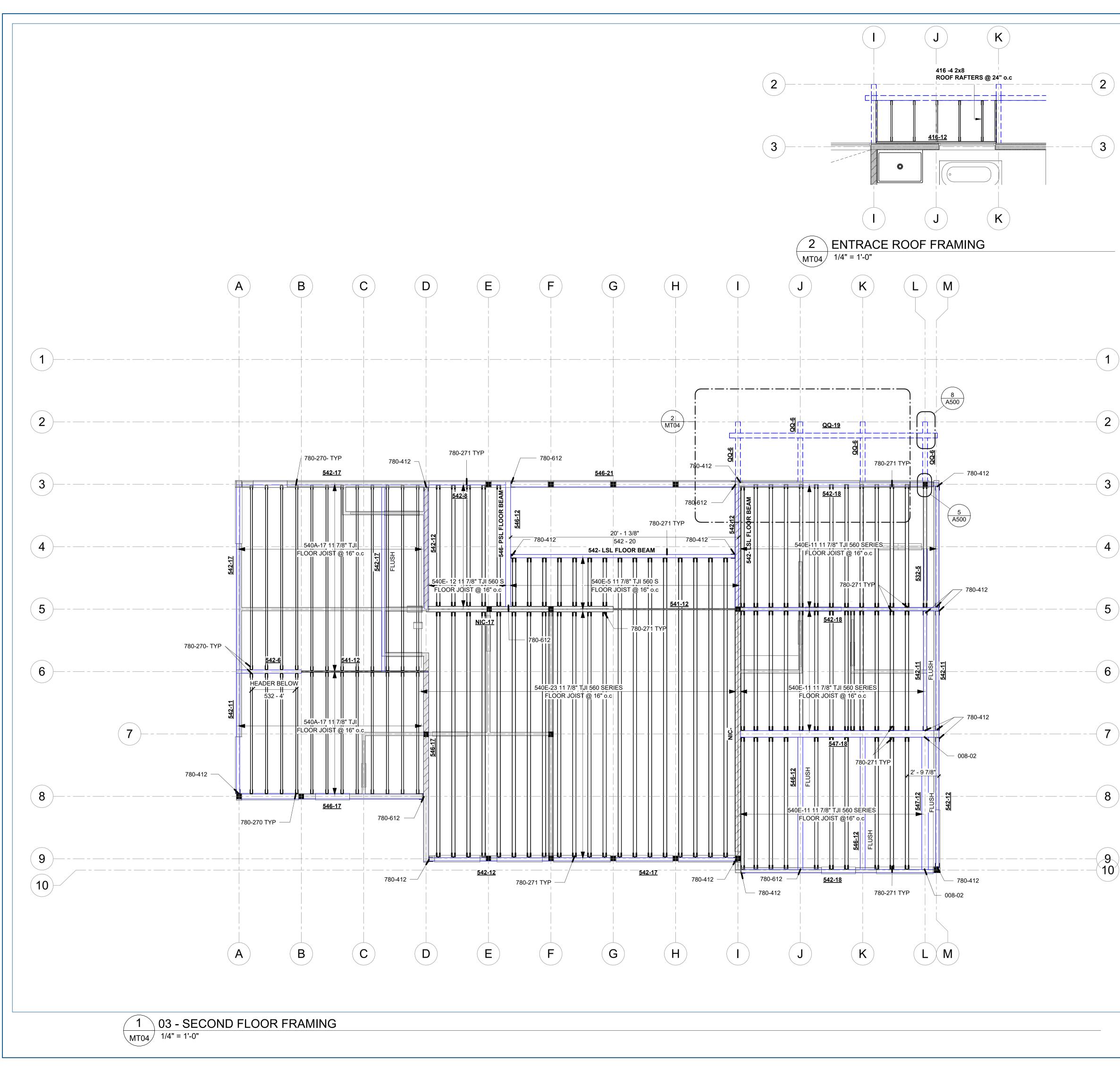
OVERLAY - SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"



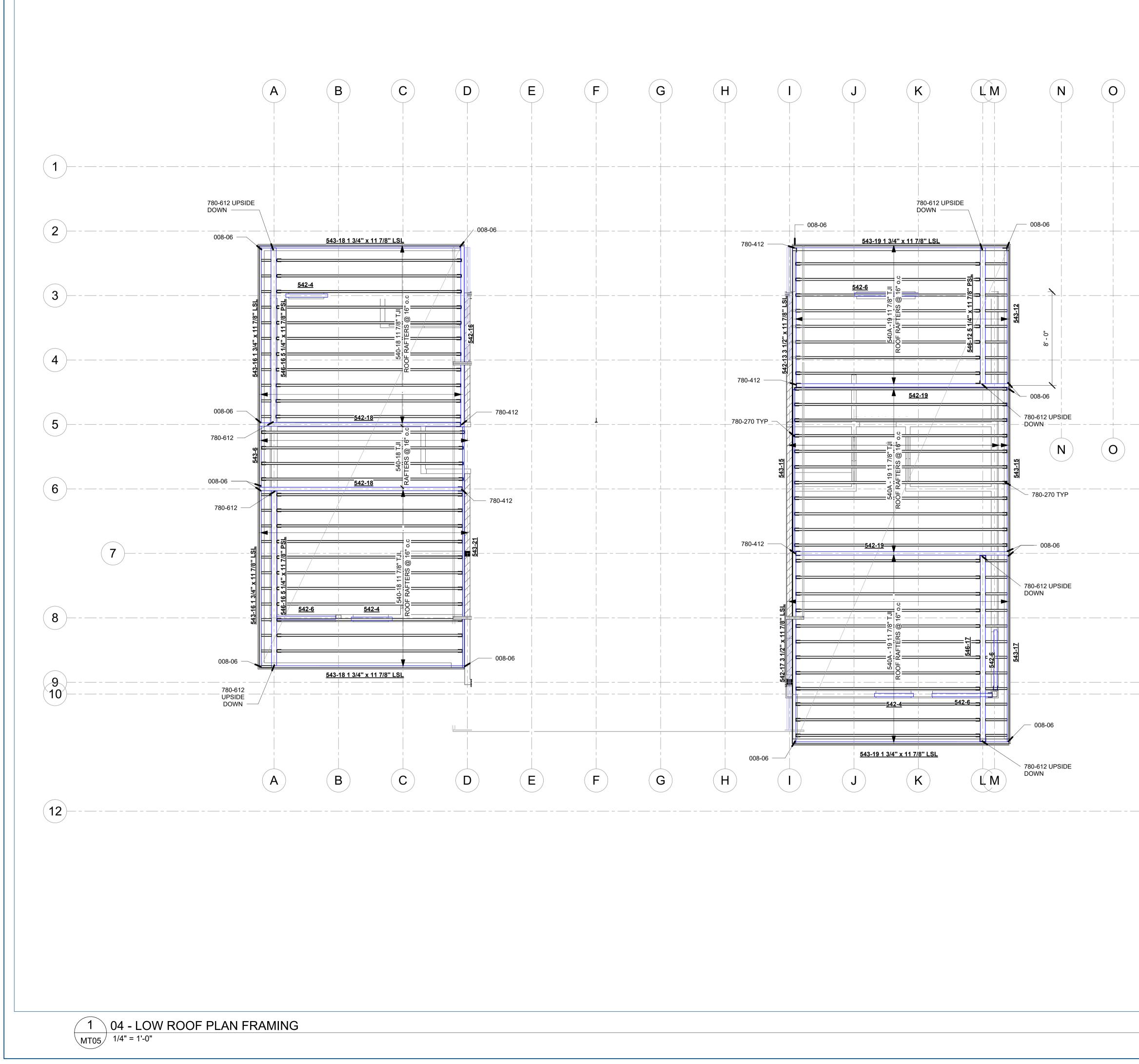






D 24" x 36" LAST PLOT DATE: 11/27/2023 2:30:19 PI

SCALE: 1 1. VERIF		RFRAM	ING NO	DTES	Linda
1. VERIF					
	ESIGN and MATERI		SUPPLIED FLOOI	R	CEDAR HOME
3. POST	EM ARE BY OTHERS S and FOOTINGS M ATED.				CEDAR HOME
• #5	CAL FLOOR JOISTS / 540A, 11.7/8" TJI (110 THERWISE. USE (3)	O SERIES) at 16" o.c			
E/ • #5	ACH BEAM.TYPICAĹ 540E, 11.7/8" TJI (110	 0 SERIES) at 16" o.c	., UNLESS NOTE	D	2022 COPYRIGHT LINDAL CEDAR HOMES
€/ • #4	THERWISE. USE (3) ACH BEAM.TYPICAL 481, 2x12 SPF #2 at ²	 16" o.c., UNLESS N(OTED OTHERWIS		THE LINDAL DESIGN IN THESE DRAWINGS IS THE EXCLUSIVE PROPERTY OF LINDAL CEDAR HOMES, INC. BY COPYRIGHT LAW TI DRAWINGS ARE NOT TO BE REPRODUCED, NOR IS THE INFORMATI
• #4	d GALV. BOX NAILS 419, 2x10 SPF #2 at ² d GALV. BOX NAILS	16" o.c., UNLESS N	OTED OTHERWIS	E. USE (3)	CONTAINED TO BE USED FOR ANY PURPOSE OTHER THAN THI PURCHASE AND CONSTRUCTION OF A LINDAL CEDAR HOME.
5. BLOC • #5	KING SHALL BE 531-RL, 9.1/2" LSL S(BOVE, UNLESS NOT	OLID BLOCKING BE		FROM	PN
• #5 Al	541-RĹ, 11.7/8" LSL S BOVE, UNLESS NOT	SOLID BLOCKING E ED OTHERWISE.			
AI N	481, 2x12 SOLID BLC ND STAGGERED BL OTED OTHERWISE.	OCKING OVER EAG	CH SUPPORT, UN	ILESS	
AI N	419, 2x10 SOLID BLC ND STAGGERED BL OTED OTHERWISE.	OCKING OVER EAG	CH SUPPORT, UN	ILESS	
LOAD FLOO	/IDE FLOOR JOIST o BEARING PARTITIC R JOISTS or BLOCK	ONS PARALLEL TO	JOISTS. PROVIDI	E DOUBLE	PROJECT NORTH
7. FLOO	NGERS. PR SHEATHING IS #6 8 x 2" FLAT HEAD SO				LINDAL DEALER
10" o.o DIREC	c. at INTERMEDIATE CTION PERPENDICU R SHEATHING IS #6	E SUPPORTS. RUN JLAR TO FLOOR JC	PĹYWOOD LONG DISTS.	i	WARM MODERN LIVING
SHEA FLAT	THING. APPLY with HEAD SCREWS (BY	CONSTRUCTION A OTHERS) at 6" o.c.	ADHESIVE (#753) . at EDGES and 10	and #8 x 2")" o.c. at	CLIENT
PERP 9. WHEN	RMEDIATE SUPPOR ENDICULAR TO FLC N PLANS ARE ON 12	OOR JOISTS.			HOANG INTRACHAT RESIDENCE
_			A D C -		
ZND F	LOOR DE	SIGN LO	405:		PROJECT ADDRESS
	R LIVE LOAD R DEAD LOAD			40 PSF 12 PSF	7929 EAST MERCER WAY MERCER ISLAND WA 98040
TOTAL LOA				52 PSF	
780-412 780-272 780-209	HUC412 IUS1.81/11.88 LUS28	SIMPSON STRO SIMPSON STRO SIMPSON STRO		427 30	
780-272	IUS1.81/11.88	SIMPSON STRO			
780-272 780-209 2 N	IUS1.81/11.88	SIMPSON STRO SIMPSON STRO	NG TIE	30 B	
780-272 780-209 210 FRAI PART #	IUS1.81/11.88 LUS28	SIMPSON STRO SIMPSON STRO	NG TIE CHEDUL DESIGN CUT	30 B LENGTH PRE-CUT	
780-272 780-209 21 21 FRAI PART # M NIC-17 NIC-24	IUS1.81/11.88 LUS28	SIMPSON STRO SIMPSON STRO		30 B LENGTH	1 CITY COMMENT ES 11/27/20 ISSUED FOR CD ES 10/19/20 ISSUED FOR DD ES 8/31/20 REVISION DD ES 7/18/20
780-272 780-209 21 21 FRAI PART # M NIC-17 NIC-24	IUS1.81/11.88 LUS28	SIMPSON STRO SIMPSON STRO R BEAM S CRIPTION MATERIAL STEEL	NG TIE CHEDUL DESIGN CUT 16' - 6"	30 B LENGTH PRE-CUT 17' - 0"	ISSUED FOR CD ES 10/19/20 ISSUED FOR DD ES 8/31/20
780-272 780-209 2 2 5 7 8 7 8 0 7 8 0 7 8 7 8 7 8 7 8 7 8 7 8	IUS1.81/11.88 LUS28 ND FLOOF MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8"	SIMPSON STRO SIMPSON STRO R BEAM S CRIPTION MATERIAL STEEL STEEL LSL LSL LSL LSL LSL	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 17' - 6 3/8" 19' - 9 7/8" 5' - 8 3/4"	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0" 18' - 0" 21' - 0" 21' - 0" 6' - 0"	ISSUED FOR CD ES 10/19/20 ISSUED FOR DD ES 8/31/20 REVISION DD ES 7/18/20 NO. DESCRIPTION ISSUED BY DATE
780-272 780-209 21 21 21 542-12 542-18 542-21	IUS1.81/11.88 LUS28 ND FLOOF MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8" 3 1/2" x 11 7/8" 3 1/2" x 11 7/8"	SIMPSON STRO SIMPSON STRO R BEAM S CRIPTION MATERIAL STEEL STEEL STEEL LSL LSL LSL LSL LSL LSL LSL LSL	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 17' - 6 3/8" 19' - 9 7/8"	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0" 12' - 0" 21' - 0" 6' - 0" 8' - 0" 11' - 0"	ISSUED FOR CD ES 10/19/20 ISSUED FOR DD ES 8/31/20 REVISION DD ES 7/18/20 NO. DESCRIPTION ISSUED BY DATE ISSUANCES WARRANTY NUMBER
780-272 780-209 2 2 2 5 7 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7 8 1 1 1 1 1 1 1 1 1 1	IUS1.81/11.88 LUS28 ND FLOOR MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8"	SIMPSON STRO SIMPSON STRO SIMPSON STRO REAMS CRIPTION MATERIAL STEEL STEEL STEEL STEEL STEEL STEEL LSL LSL LSL LSL LSL LSL LSL LSL LSL	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 17' - 6 3/8" 19' - 9 7/8" 5' - 8 3/4" 7' - 0 1/8" <varies></varies>	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0" 12' - 0" 18' - 0" 21' - 0" 8' - 0"	ISSUED FOR CD ES 10/19/20 ISSUED FOR DD ES 8/31/20 REVISION DD ES 7/18/20 NO. DESCRIPTION ISSUED BY DATE ISSUANCES
780-272 780-209 2 8 9 2 8 9 7 8 0 7 8 0 7 8 0 7 8 0 7 8 0 7 8 7 8 7	IUS1.81/11.88 LUS28 ND FLOOF MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8"	SIMPSON STRO SIMPSON STRO SIMPSON STRO REAMS CRIPTION MATERIAL STEEL STE	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 17' - 6 3/8" 19' - 9 7/8" 5' - 8 3/4" 7' - 0 1/8" <varies> <varies></varies></varies></varies></varies></varies></varies></varies></varies></varies></varies></varies>	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0" 18' - 0" 21' - 0" 12' - 0" 12' - 0" 11' - 0" 12' - 0"	ISSUED FOR CD ISSUED FOR DD REVISION DD NO. DESCRIPTION USSUED BY MARRANTY NUMBER 42255
780-272 780-209 2 780-209 2 2 5 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7	IUS1.81/11.88 LUS28 ND FLOOR MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8"	SIMPSON STRO SIMPSON STRO SIMPSON STRO REPTION MATERIAL STEEL STEEL STEEL STEEL STEEL STEEL LSL LSL LSL LSL LSL LSL LSL LSL LSL	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 17' - 6 3/8" 19' - 9 7/8" 5' - 8 3/4" 7' - 0 1/8" <varies> <varies> <varies> <varies> <varies> <varies></varies></varies></varies></varies></varies></varies>	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0" 12' - 0" 18' - 0" 21' - 0" 11' - 0" 12' - 0" 11' - 0" 12' - 0" 11' - 0" 12' - 0" 12' - 0" 12' - 0"	ISSUED FOR CD ES 10/19/20 ISSUED FOR DD ES 8/31/20 REVISION DD ES 7/18/20 NO. DESCRIPTION ISSUED BY DATE ISSUANCES WARRANTY NUMBER
780-272 780-209 2 8 9 7 8 7 8 0 7 8 0 7 8 0 7 8 7 8 7 8 7 8 7	IUS1.81/11.88 LUS28 ND FLOOF MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8" 3 1/4" x 11 7/8" 5 1/4" x 11 7/8" 5 1/4" x 11 7/8" 5 1/4" x 11 7/8"	SIMPSON STRO SIMPSON STRO SIMPSON STRO READ STEEL STES	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 12' - 6 3/8" 19' - 9 7/8" 5' - 8 3/4" 7' - 0 1/8" <varies> <varies> <varies> <varies> <varies> 19' - 10 1/8" 19' - 10 1/8" 19' - 10 1/8"</varies></varies></varies></varies></varies>	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0"	ISSUED FOR CD ISSUED FOR DD REVISION DD NO. DESCRIPTION USSUED BY MARRANTY NUMBER 42255
780-272 780-209 780-209 2 2 5 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7	IUS1.81/11.88 LUS28 ND FLOOF MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8" 5 1/4" x 11 7/8" 5 1/4" x 11 7/8" 7' x 11 7/8" 7' x 11 7/8"	SIMPSON STRO SIMPSON STRO SIMPSON STRO REAMS CRIPTION MATERIAL STEE STEE	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 17' - 6 3/8" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 0 1/8" <varies> <varies> <varies> <varies> <varies> <varies> 19' - 10 1/8" 11' - 7 3/4" 17' - 6"</varies></varies></varies></varies></varies></varies>	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0"	ISSUED FOR CD ISSUED FOR DD REVISION DD NO. DESCRIPTION USSUED BY MARRANTY NUMBER 42255
780-272 780-209 780-209 2 2 5 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7	IUS1.81/11.88 LUS28 ND FLOOF MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8" 5 1/4" x 11 7/8" 5 1/4" x 11 7/8" 7' x 11 7/8" 7' x 11 7/8"	SIMPSON STRO SIMPSON STRO SIMPSON STRO REAMS CRIPTION MATERIAL STEE STEE	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 17' - 6 3/8" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 0 1/8" <varies> <varies> <varies> <varies> <varies> <varies> 19' - 10 1/8" 11' - 7 3/4" 17' - 6"</varies></varies></varies></varies></varies></varies>	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0"	ISSUED FOR CD ISSUED FOR DD REVISION DD NO. DESCRIPTION USSUED BY MARRANTY NUMBER 42255
780-272 780-209 780-209 2 2 5 7 8 7 8 7 8 7 8 7 8 7 8 7 8 7	IUS1.81/11.88 LUS28 ND FLOOF MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8" 5 1/4" x 11 7/8" 5 1/4" x 11 7/8" 7' x 11 7/8" 7' x 11 7/8"	SIMPSON STRO SIMPSON STRO SIMPSON STRO REAMS CRIPTION MATERIAL STEE STEE	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 17' - 6 3/8" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 0 1/8" <varies> <varies> <varies> <varies> <varies> <varies> 19' - 10 1/8" 11' - 7 3/4" 17' - 6"</varies></varies></varies></varies></varies></varies>	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0"	ISSUED FOR CD ISSUED FOR DD REVISION DD NO. DESCRIPTION USSUED BY MARRANTY NUMBER 42255
780-272 780-209 2 8 9 2 8 9 9 7 8 0 7 8 0 7 8 0 7 8 0 7 8 7 8 7 8 7 8	IUS1.81/11.88 LUS28 ND FLOOF MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8" 5 1/4" x 11 7/8" 5 1/4" x 11 7/8" 7' x 11 7/8" 7' x 11 7/8"	SIMPSON STRO SIMPSON STRO SIMPSON STRO REAMS CRIPTION MATERIAL STEE STEE	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 17' - 6 3/8" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 0 1/8" <varies> <varies> <varies> <varies> <varies> <varies> 19' - 10 1/8" 11' - 7 3/4" 17' - 6"</varies></varies></varies></varies></varies></varies>	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0"	ISSUED FOR CD ES 10/19/20 ISSUED FOR DD ES 9/31/20 NO. DESCRIPTION ISSUED BY DATE ISSUANCES WARRANTY NUMBER LSSUANCES SERIES
780-272 780-209 780-209 2 2 5 5 7 7 7 7 7 7 8 7 8 7 8 7 8 7 8 7 8 1 1 1 1 1 1 1 1 1 1	IUS1.81/11.88 LUS28 ND FLOOF MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8" 5 1/4" x 11 7/8" 5 1/4" x 11 7/8" 7' x 11 7/8" 7' x 11 7/8"	SIMPSON STRO SIMPSON STRO SIMPSON STRO REAMS CRIPTION MATERIAL STEE STEE	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 17' - 6 3/8" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 0 1/8" <varies> <varies> <varies> <varies> <varies> <varies> 19' - 10 1/8" 11' - 7 3/4" 17' - 6"</varies></varies></varies></varies></varies></varies>	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0"	ISSUED FOR CD ISSUED FOR DD REVISION DD NO. DESCRIPTION USSUED BY MARRANTY NUMBER 42255
780-272 780-209 780-209 2 5 FRAI PART # AM NIC-17 NIC-24 DOR BEAM 542-12 542-18 542-21 542-18 542-21 542-13 542-12 542-11 542-12 542-11 542-12 542-13 542-11 542-12 542-13 542-12 542-13 542-12 542-13 546-12 546-12 546-12 546-12 546-12 546-12 547-18 546-21 547-18 ADER	IUS1.81/11.88 LUS28 ND FLOOF MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8" 5 1/4" x 11 7/8" 5 1/4" x 11 7/8" 7' x 11 7/8" 7' x 11 7/8"	SIMPSON STRO SIMPSON STRO SIMPSON STRO REAMS CRIPTION MATERIAL STEE STEE	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 17' - 6 3/8" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 0 1/8" <varies> <varies> <varies> <varies> <varies> <varies> 19' - 10 1/8" 11' - 7 3/4" 17' - 6"</varies></varies></varies></varies></varies></varies>	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0"	ISSUED FOR CD ES 10/19/20 ISSUED FOR DD ES 8/31/20 NO. DESCRIPTION ISSUED BY DATE ISSUED FOR CD ISSUED BY DATE ISSUED BY ISSUED BY DATE
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780-272 780-209 780-209 2 5 FRAI PART # AM NIC-17 NIC-24 DOR BEAM 542-12 542-18 542-21 542-18 542-21 542-13 542-12 542-11 542-12 542-11 542-12 542-13 542-11 542-12 542-13 542-12 542-13 542-12 542-13 546-12 546-12 546-12 546-12 546-12 546-12 547-18 546-21 547-18 ADER	IUS1.81/11.88 LUS28 ND FLOOF MING MEMBER DES DIMENSIONS 12 / 12 12 / 12 12 / 12 12 / 12 3 1/2" x 11 7/8" 3 1/4" x 11 7/8" 5 1/4" x 11 7/8" 5 1/4" x 11 7/8" 7' x 11 7/8" 7' x 11 7/8"	SIMPSON STRO SIMPSON STRO SIMPSON STRO REAMS CRIPTION MATERIAL STEE STEE	NG TIE CHEDUL DESIGN CUT 16' - 6" 22' - 11 5/8" 11' - 2 3/4" 17' - 6 3/8" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 9 7/8" 5' - 8 3/4" 19' - 0 1/8" <varies> <varies> <varies> <varies> <varies> <varies> 19' - 10 1/8" 11' - 7 3/4" 17' - 6"</varies></varies></varies></varies></varies></varies>	30 E LENGTH PRE-CUT 17' - 0" 24' - 0" 12' - 0"	ISSUED FOR CD ES 10/19/20 ISSUED FOR CD ES 8/31/20 ISSUED FOR CD ISSUED BY DATE ISSUENTION ISSUED BY DATE ISSUENTION ISSUED BY DATE ISSUENTION ISSUED BY DATE ISSUENCES WARRANTY NUMBER ISSUED BY JERIES SERIES ISSUED SERIES ISSUED SERIES ISSUED SERIES ISSUED SERIES ISSUES ISSUES ISSUES ISSUES ISSUES ISSUES ISSUES ISSUES ISSUES ISSUES ISSUES ISSUES ISSUES ISSUES ISSUES ISSUES ISSUE



ROOF FRAMING NOTES

SCALE: 1/4"=1'-0" 1. VERIFY ACTUAL BEAM DIMENSIONS PRIOR TO CUTTING POSTS. 2. TYPICAL ROOF RAFTERS ARE #540A, 11.7/8" TJI (110 SERIES) at 24" o.c., UNLESS NOTED

- OTHERWISE. ARE #481, 2x12 RAFTERS at 24" o.c., UNLESS NOTED
- OTHERWISE. 3. ROOF SHEATHING IS
- #700, 1/2" PLYWOOD with 8d GALV. BOX NAILS at 6" o.c. at EDGES and 12" o.c. at INTERMEDIATE SUPPORTS. USE #739-1/2 "H" CLIPS AT UNSUPPORTED EDGES. RUN PLYWOOD LONG DIRECTION PERPENDICULAR TO ROOF RAFTERS.
- #700-OSB, 15/32" OSB SHEATHING with 8d GALV. BOX NAILS at 6" o.c. at EDGES and 12" o.c. at INTERMEDIATE SUPPORTS. USE # 739-15/32 "H" CLIPS AT UNSUPPORTED EDGES. RUN SHEATHING LONG DIRECTION PERPENDICULAR TO ROOF RAFTERS.
- 4. ATTACH FASCIA W/ #770, 6d GALV. (BROWN) SIDING NAILS at EACH RAFTER OR BLOCKING SUPPORT. USE TWO NAILS AT PER FASCIA BOARD AT EACH RAFTER.
- 5. #014, TRUSS PACKAGE INCLUDES ALL REQUIRED BLOCKING AND PERMANENT BRACING TO BE SUPPLIED BY TRUSS MANUFACTURER. 6. ALL TEMPORARY BRACING AND SHORING TO BE SUPPLIED BY
- OTHERS. 7. WHEN PLANS ARE ON 12"x18" SHEETS, REDUCE SCALE BY HALF FOR PROPER DIMENSIONS.

ROOF DESIGN LOADS:

GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	16 PSF
TOTAL LOAD	56 PSF

STRUCTURAL CONNECTION

PART#	MNF PART#	MNF	QTY
780-CJT4L	CJT4Z	SIMPSON STRONG TIE	4
780-CJT5S	CJT5Z	SIMPSON STRONG TIE	1
780-510	HUC5.31/9)	SIMPSON STRONG TIE	1
???	HUC210-4	SIMPSON STRONG TIE	10
780-412	HUC412	SIMPSON STRONG TIE	32
780-272	IUS1.81/11.88	SIMPSON STRONG TIE	427
780-209	LUS28	SIMPSON STRONG TIE	30



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PROJECT NORTH

LINDAL DEALER WARM MODERN LIVING

<u>CLIENT</u>

HOANG INTRACHAT RESIDENCE

PROJECT ADDRESS 7929 EAST MERCER WAY MERCER ISLAND WA 98040

ROOF BEAM SCHEDULE					
FRAMING MEMBER DESCRIPTION DESIGN LENGTH					
PART #	DIMENSIONS	MATERIAL	CUT	PRE-CU	
EAM					
QQ-6	5 1/8" x 9"	DOUG-FIR #2	5' - 3 1/4"	6' - 0"	
QQ-19	5 1/8" x 9"	DOUG-FIR #2	18' - 4"	19' - 0"	
QQ-6	5 1/8" x 9"	DOUG-FIR #2	5' - 3 1/4"	6' - 0"	
OOF BEAM	·				
532-4	3 1/2" x 9 1/2"	LSL	3' - 5"	4' - 0"	



- 1

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3

4

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12

1	CITY COMMENT	ES	11/27/2023			
	ISSUED FOR CD	ES	10/19/2023			
	ISSUED FOR DD	ES	8/31/2023			
	REVISION DD	ES	7/18/2023			
NO.	DESCRIPTION	ISSUED BY	DATE			
SS						
WARRANTY NUMBER						
	42255					

1 CITY COMMENT ISSUED FOR CD

<u>SERIES</u>

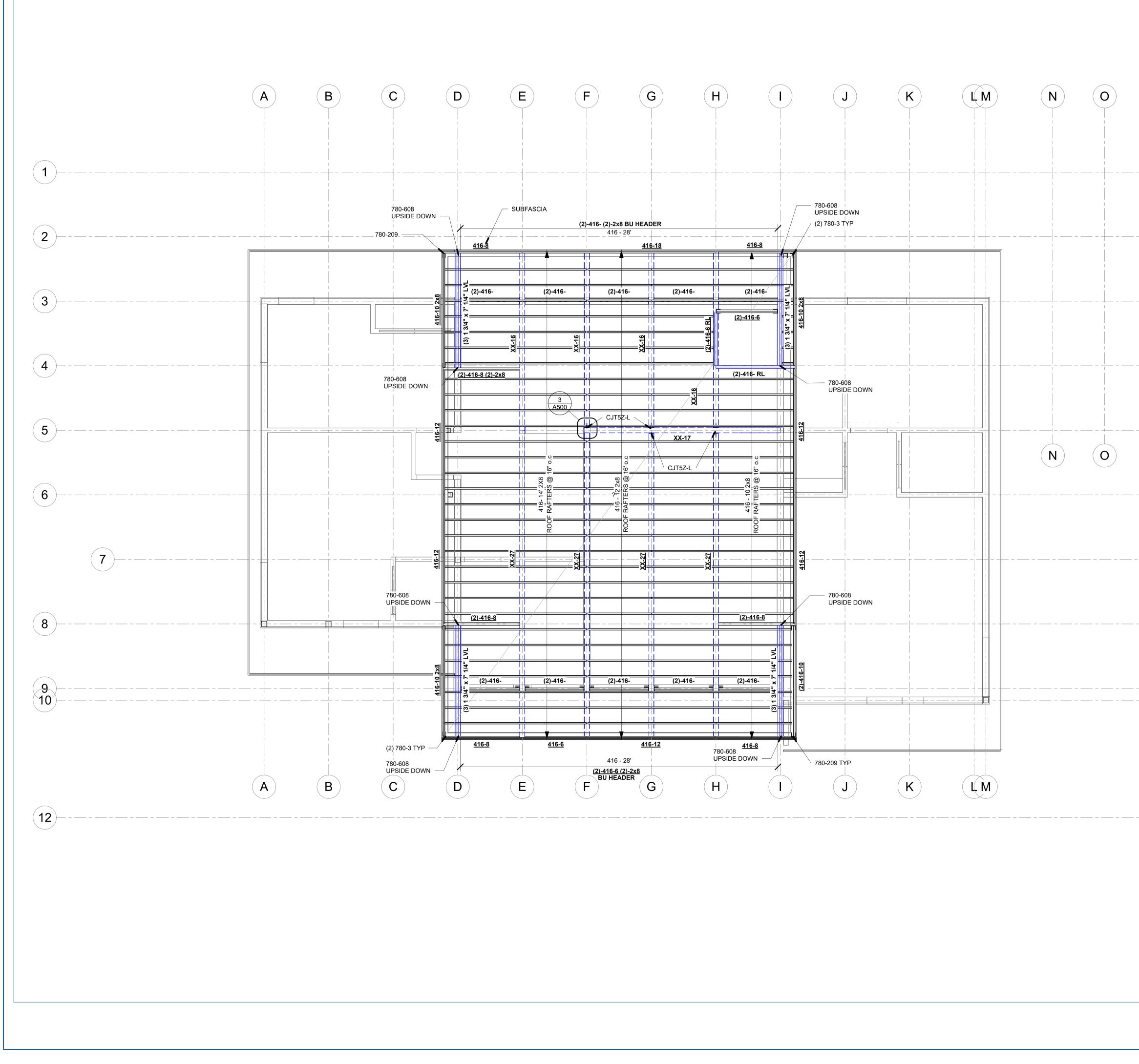


MODEL ELEMENT CUSTOM HOME

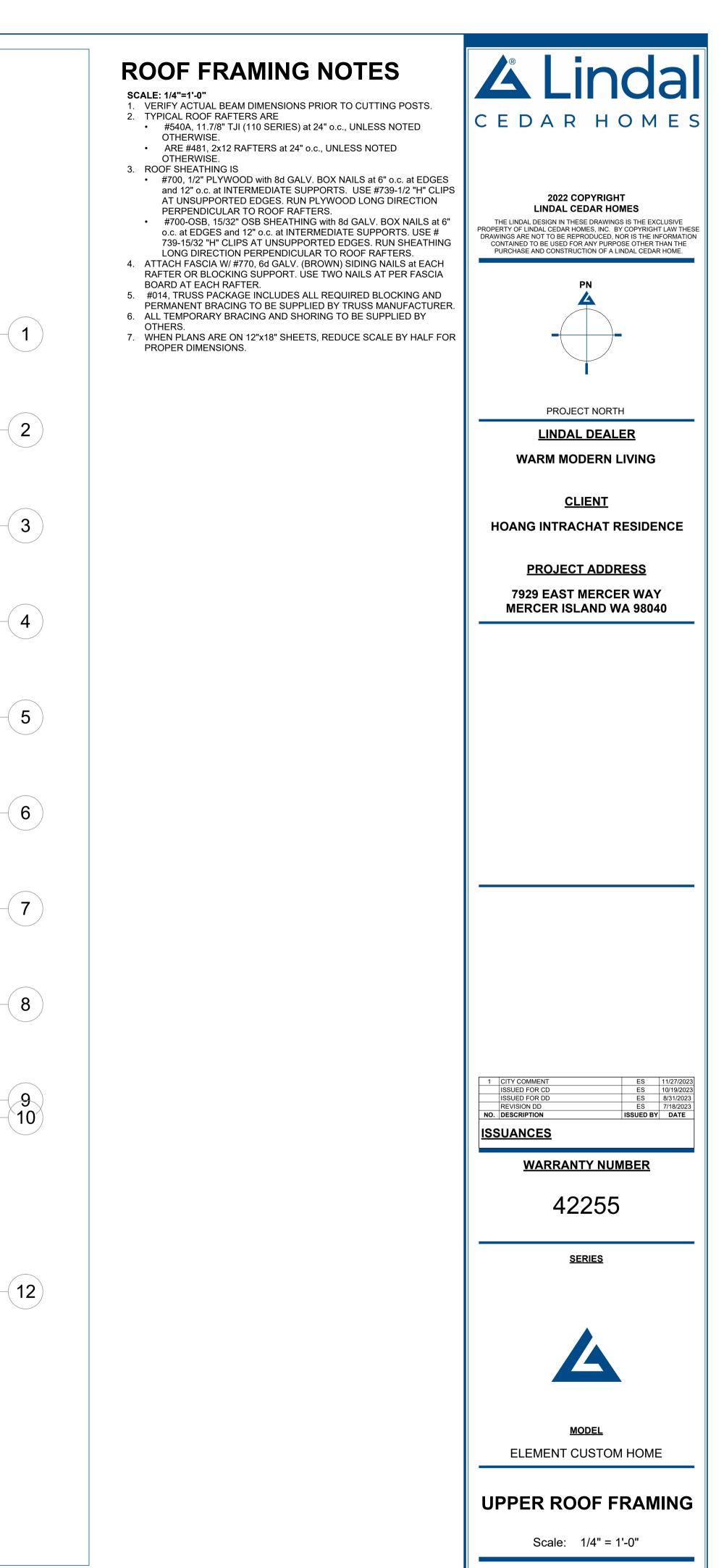
LOWER ROOF FRAMING

Scale: 1/4" = 1'-0"

MT05



H D 24" x 36" LAST PLOT DATE: 11/27/2023 2:3



MT05.1