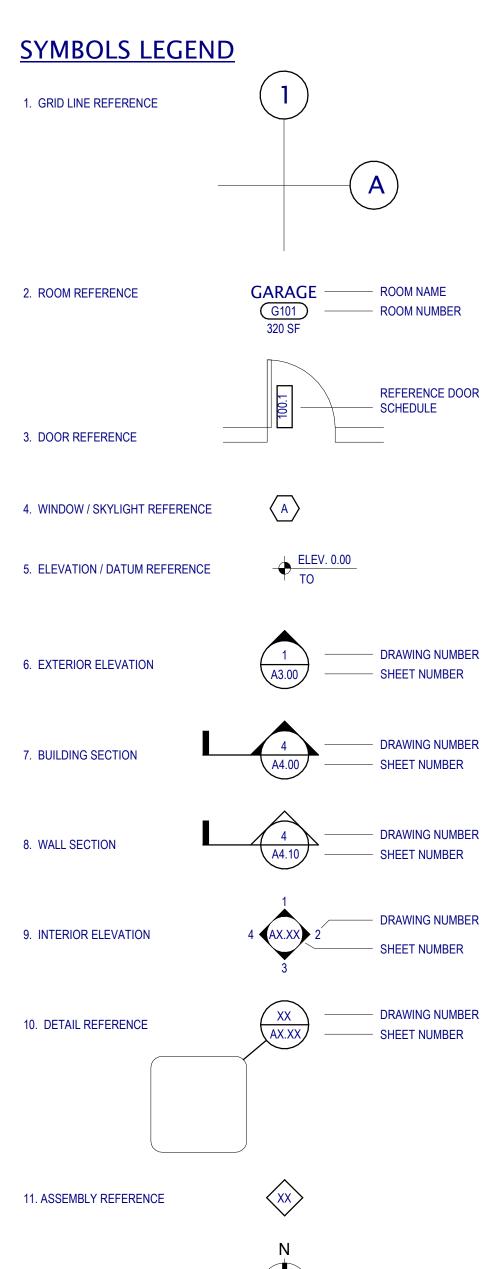
ABBR	EVIATIONS		
@ & P O # (E) (N)	AT CENTERLINE PROPERTY LINE DIAMETER POUND OR NUMBER EXISTING NEW ANCHOR BOLT	HB HC HDO HDR HDWD HDW HM HORIZ HP	HOSE BIBB HOLLOW CORE HIGH DENSITY OVERLAY HEADER HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HIGH POINT
ABV ACC ACOUS ACP ACS ACT AD	ABOVE ACCESS ACOUSTICAL ASPHALT CONCRETE PAVING ACCESS PANEL ACOUSTICAL TILE AREA DRAIN	HR HT HVAC HW HWT	HOUR HEIGHT HEATING/VENTILATING/AIR CONDITIONING HOT WATER HOT WATER TANK
ADA ADJ AFF AGGR AIB ALT	AMERICANS with DISABILITIES ADJUSTABLE ABOVE FINISHED FLOOR AGGREGATE AIR INFILTRATION BARRIER ALTERNATE	ID IN INCL INSUL INT INV	INSIDE DIAMETER INCH INCLUDED INSULATION INTERIOR INVERT
ALUM APPROX ARCH ASPH	ALUMINUM APPROXIMATE ARCHITECTURAL ASPHALT	JB JF JT	JUNCTION BOX JOINT FILLER JOINT
AUTO BD BITUM	AUTOMATIC BOARD BITUMINOUS	KIT KO	KITCHEN KNOCKOUT
BLDG BLKG BM BO BOT BRG BSMT BUR	BUILDING BLOCKING BEAM BOTTOM OF BOTTOM BEARING BASEMENT BUILT UP ROOFING	LAM LAV LBS LF LH LL LOC LP LT	LAMINATE, LAMINATED LAVATORY POUNDS LINEAR FOOT (FEET) LEFT HAND LIVE LOAD LOCATION LOW POINT LIGHT
CER CIP CJ CLG CLK CLO CLO	CABINET CATCH BASIN EMENT CERAMIC CAST-IN-PLACE CONTROL JOINT CEILING CAULKING CLOSET CLEAR ONCRETE MASONRY UNIT COUNTER COLUMN CONCRETE CONNECTION CONSTRUCTION CONTRACTOR CONTRACTOR CORRIDOR	MAS MATL MAX MB MC MDF MDO MECH MEMB MEZZ MFR MIN MIR MISC MO MTD MTL MUL	MASONRY MATERIAL MAXIMUM MACHINE BOLT MEDICINE CABINET MEDIUM DENSITY FIBERBOARD MEDIUM DENSITY OVERLAY MECHANICAL MEMBRANE MEZZANINE MANUFACTURER MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MOUNTED METAL MULLION
CRS CSK CT CTR CU FT	CARPET; CARPETED COLD ROLLED STEEL COUNTERSUNK CERAMIC TILE CENTER CUBIC FEET DOUBLE	N N/A NIC NO NOM NR NTS	NORTH NOT APPLICABLE NOT IN CONTRACT NUMBER NOMINAL NOISE REDUCTION NOT TO SCALE
DEMO DET DIA DIM DL DN DR DR OPNG DS DSP DT	DEMOLITION DETAIL DIAMETER DIMENSION DEAD LOAD DOWN DOOR DOOR OPENING DOWNSPOUT DRY STANDPIPE DRAIN TILE	OA OC OD OFF OH OHWM OPNG OPP OSB	OVERALL ON CENTER OUTSIDE DIAMETER OVERFLOW DRAIN OFFICE OVERHEAD ORDINARY HIGH WATER MARK OPENING OPPOSITE ORIENTED STRAND BOARD
DW DWG E EA EJ EL ELEC ELEV ENCL EQ EQUIP EST EW EXH FN EXIST EXP EXP BT EXPO EXT	DISHWASHER DRAWING EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT ESTIMATE EACH WAY EXHAUST FAN EXISTING EXPANDED; EXPANSION EXPANSION BOLT EXPOSED EXTERIOR	PBD PCC PCF PERF PERP PL PLAM PLAS PLWD PNL PNT PR PRCST PSF PSI PT PTN PVC	PARTICLE BOARD PRECAST CONCRETE POUNDS PER CUBIC FOOT PERFORATED PERPENDICULAR PLATE PLASTIC LAMINATE PLASTER PLYWOOD PANEL POINT PAIR PRECAST POUNDS PER CUBIC FOOT POUNDS PER SQUARE INCH PRESERVATIVE TREATED PARTITION POLYVINYL CHLORIDE
FA FB FD FE FEC FF EL FH	FIRE ALARM FLAT BAR FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FIRE HYDRANT FIRE HOSE CABINET FINISH FLOOR FINISH TO FINISH FINISH FLASHING FLOOR; FLOORING FLUORESCENT FACE OF CONCRETE	R RA RAD RD REF REFR REG REINF REM REQ RESIL REV RH RM RO RWL	RISER RETURN AIR RADIUS ROOF DRAIN REFERENCE REFRIGERATOR REGISTER REINFORCED REMAINDER REQUIRED RESILIENT REVISION; REVISIONS; REVISED RIGHT HAND ROOM ROUGH OPENING RAIN WATER LEADER
FOS FP	FACE OF FINISH FURNISHED BY OWNER - INSTALLED BY CONTRACTOR ACE OF MASONRY FACE OF STUDS FIREPROOF FIREPLACE FRAME FOOR OR FEET FOOTING FURRING FUTURE FULL WIDTH GAUGE GALVANIZED GENERAL CONTRACTOR GLASS GLUE-LAMINATED GRADE GYPSUM GYPSUM	S SAF SAM SC SCHED SD SECT SG SHV SHR SHT SHT MTL SHTG SIM SOG SPEC SQ FT SQ IN SST STD STL ST STOR	SMOKE DETECTOR SECTION SAFETY GLASS SHELF; SHELVING SHOWER SHEET SHEET METAL SHEATHING SIMILAR SLAB ON GRADE SPECIFICATION SQUARE FOOT (FEET)

STOR STORAGE STRUCT STRUCTURAL SUSP SUSPENDED

SYM SYMMETRICAL



TONGUE AND GROOVE

TOP OF CONCRETE; CURB

TOP OF PARAPET; PAVEMENT

UNLESS OTHERWISE NOTED

TOP OF FLOOR; FOOTING; FRAME

TEMPERED GLASS

TELEPHONE

TOP OF BEAM

TOP OF MASONRY

TOPOGRAPHY

TOP OF WALL

TUBE STEEL

THERMOSTAT

TYPICAL

VINYL BASE

VENEER

VERTICAL

VESTIBULE

VINYLT TILE

WITH

WOOD

WINDOW

WIDE FLANGE

WATER HEATER

WATER LINE

WATERPROOF

WATER RESISTANT

WIRE SAFETY GLASS

WELDED WIRE FABRIC

WELDED WIRE MESH

WATERPROOF MEMBRANE

WELDED

WAINSCOT

WATER

WEIGHT

WIDE FLANGE BEAM WIRED GLASS

WITHOUT WATER CLOSET

VERTICAL GRAIN

VERIFY IN FIELD

TOP OF SLAB; STEEL

TERRAZZO

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ZONING / BUILDING CODE SUMMARY

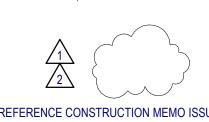
12. NORTH SYMBOL

13. REVISION REFERENCE

MATERIALS LEGEND

WOOD BLOCKING SHIM

MINERAL INSULATION



REFERENCE CONSTRUCTION MEMO ISSUING REVISION. ONLY MOST RECENT REVISION SHOWN CLOUDED. REFERENCE FOR PREVIOUS REVISIONS REMAIN. DATE OF REVISIONS INDICATED AT RIGHT MARGINS.

WOOD FRAMING (CONTINUOUS)

RIGID INSULATION

FOAMED IN PLACE INSULATION

PROJECT ADDRESS: 8925 SE 58th St Mercer Island, WA 98040 ASSESSOR'S PARCEL NUMBER: 228700-0050 LEGAL DESCRIPTION:

EL DORADO ESTATES ADD APPLICABLE CODES: Mercer Island Municipal Code Washington State Residential Code

Washington State Energy Code **AUTHORITY HAVING JURISDICTION:** City of Mercer Island

LOT SIZE: 9,897 SF

LAND USE DESIGNATION: R-9,600

PROJECT DESCRIPTION: 700 SF Addition to SFR

HEIGHT: ALLOWED: 30' PROPOSED: 23'

YARD SETBACKS: FRONT: 20' SIDE: 15' Aggregate; 5' Minimum REAR: 25'

ENERGY CODE COMPLIANCE: Washington State Energy Code Credits

1.4 Efficient Building Envelope: Vertical Fenestration U=0.25, Wall R-21 int + R-4 ci, Floor R-38, Slab on grade R-10 perimeter and under entire slab.

5.5 Efficient Water Heating: Electric heat pump water heater meeting the standards for Tier III of NEEA's advanced water heating spec.

VERTICAL GLAZING: U 0.25 CEILING: R-49 WALL ABOVE GRADE: R-21+4 ci FLOOR: R-38 SLAB ON GRADE: R-10

GENERAL NOTES

1. CODES: ALL WORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING CODES AS AMENDED BY AUTHORITIES HAVING JURISDICTION.

2. DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.

- 3. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- 4. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT, BLOCKING, BACKING, AND JACKS REQUIRED FOR INSTALLATIONS.
- 5. DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE / WOOD FRAMING UNLESS OTHERWISE NOTED.
- 6. EXTERIOR WALL FRAMING 2x6 WOOD STUDS UNLESS OTHERWISE NOTED.
- 7. INTERIOR WALL FRAMING 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.

PROJECT DIRECTORY

OWNER: Josh & Jordan Helling 8925 SE 58th St Mercer Island, WA 98040

ARCHITECT:
Christensen Architects LLC PRINCIPAL ARCHITECT: C.J. Christensen cj@christensenarchitects.com

CONTACT: Jonathan Carlson carlson@nickersonengineering.com **CONTRACTOR** Aspen Homes NW Contact: Mike Yeganeh

mike@aspenhomesnw.com

STRUCTURAL ENGINEER:

Nickerson Engineering

SHEET INDEX SHEET NAME Sheet Filter Sheet No. GENERAL INFORMATION 2018 IRC CODE INFORMATION ARCHITECTURAL SITE PLAN MAIN LEVEL PLAN A2.10 A2.20 UPPER LEVEL PLAN EXTERIOR ELEVATIONS A3.01 EXTERIOR ELEVATIONS A3.10 **BUILDING SECTIONS** REFLECTED CEILING PLANS STRUCTURAL GENERAL STRUCTURAL NOTES FOUNDATION PLAN UPPER FLOOR & LOW ROOF FRAMING PLAN ROOF FRAMING PLAN FOUNDATION DETAILS FRAMING DETAILS FRAMING DETAILS

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ADDITION St 4, WA 98040

HELLING A 8925 SE 58th Mercer Island,

orincipal architect	
project manager	
drawn by	
checked by	
job no	
date02/13/2023_	
revisions:	
no. date	b
	У
PERMIT SET	
02/13/2023	
02, .3, 2023	

GENERAL

INFORMATION

PLANS COMPLY TO THE 2018 INTERNATIONAL RESIDENTIAL CODE.

CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS HAVE BEEN MADE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ALL DISCREPANCIES TO THE ARCHITECT AT THE TIME THEY ARE NOTED. DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.

ALL APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION SHALL BE FOLLOWED

1. 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)

2. 2018 INTERNATIONAL BUILDING CODE (IBC) 3. 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)

4. 2018 INTERNATIONAL MECHANICAL CODE (IMC)

5. 2018 INTERNATIONAL FUEL GAS CODE (IFGC)

6. 2018 UNIFORM PLUMBING CODE (UPC)

7. 2018 INTERNATIONAL FIRE CODE (IFC) 8. 2018 WASHINGTON STATE ENERGY CODE (WSEC)

OCCUPANCY GROUP: R-3 LOCAL JURISDICTION REQUIRES

CONSTRUCTION TYPE: V-B

DWELLING UNIT FIRE SPRINKLER SYSTEM PER IRC APPENDIX U

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND			SEISMIC SUBJECT TO DAMAGE FROM		WINTE			AIR	MEAN				
SNOW LOAD	SPEED (MPH)	TOPO- GRAPHIC EFFECTS			DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	R DESIGN TEMP	UNDER- LAYMENT REQUIRED	FLOOD HAZARDS	FREEZING INDEX	ANNUAL TEMP
SLIGHT TO MODERATE	4.411	YES	NO	NO	D1 or D2	MODERATE	12"	SLIGHT TO MODERATE	22° F	NO	VARIES	100 or 250	50° F
	EQUIVALENT FLUID PRESSURE = 35 P.C.F. (UNRESTRAINED WALLS) 50 P.C.F. (RESTRAINED WALLS)												

CONCRETE

MINIMUM F'C SLUMP SACKS / C.Y. A. FOOTINGS 2500 3-4 5-1/2 B. SLABS ON GRADE 2500 3-4 5-1/2

1. AIR ENTRAINING AGENT (5% TO 7%) TO BE USED IN ALL CONCRETE FLAT WORK EXPOSED TO WEATHER.

2. POZZOLITH 300 SERIES (4 oz. PER 100# OF CEMENT) TO BE USED IN ALL CONCRETE. 3. MIX MAY BE DESIGNED IN ACCORDANCE WITH THE PROVISIONS OF THE 2012 IBC/IRC 4. WATER TO CEMENT RATIO PER THE 2012 IBC/IRC.

ASTM A615 GRADE 40, REINFORCING STEEL DETAILS SHALL BE PREPARED BY AN EXPERIENCED APPROVED DETAILER AND CONFORM TO STANDARD PRACTICE OUTLINED IN ACI REPORT 315.

CONCRETE COVER OF REINFORCING STEEL

3" CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.

1-1/2" CONCRETE EXPOSED TO EARTH OR WEATHER.

1-1/2" BEAMS AND COLUMNS NOT EXPOSED TO EARTH OR WEATHER. 3/4" SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER.

CARPENTRY

ALL FRAMING SHALL COMPLY WITH THE APPROPRIATE SECTION(S) OF THE 2018 IBC/IRC. PRESSURE TREATED WOOD REQUIRED IN

2" MINIMUM VERTICAL CLEARANCE BETWEEN WOOD & CONCRETE STEPS, PORCH SLABS, PATIO SLABS & OTHER SIMILAR

HORIZONTAL SURFACES EXPOSED TO THE WEATHER.

6" MINIMUM CLEARANCE BETWEEN WOOD SIDING, SHEATHING AND WALL FRAMING ON EXTERIOR OF THE BUILDING AND EARTH. 8" MINIMUM CLEARANCE BETWEEN UNTREATED MUDSILLS AND EARTH.

12" MINIMUM CLEARANCE BETWEEN FLOOR BEAMS AND EARTH. 18" MINIMUM CLEARANCE BETWEEN FLOOR JOISTS AND EARTH.

15 PSF DEAD LOAD + 20 PSF LIVE LOAD = 35 PSF **ROOF FLOOR** 10 PSF DEAD LOAD + 40 PSF LIVE LOAD = 50 PSF CEILING 5 PSF DEAD LOAD + 10 PSF LIVE LOAD = 15 PSF 5 PSF DEAD LOAD + 40 PSF LIVE LOAD = 45 PSF DECK INTERIOR PARTITION = 7 PSF **EXTERIOR PARTITION** = 10 PSF

WOOD BEARING ON OR INSTALLED WITHIN 1/2" OF MASONRY OR CONCRETE TO BE TREATED WITH AN APPROVED PRESERVATIVE. SOLID BLOCKING OF NOT LESS THAN 2x THICKNESS SHALL BE PROVIDED AT ENDS AND AT ALL SUPPORT OF JOISTS AND RAFTERS. ANCHOR BOLTS TO BE PER SHEAR WALL SCHEDULE AND FOUNDATION PLAN. 7" MINIMUM EMBEDMENT. ALL METAL FRAMING ANCHORS AND HANGERS SHOWN ON DRAWINGS SHALL BE STRONG TIE CONNECTORS AS MANUFACTURED BY SIMPSON

PROVIDE FIREBLOCKING IN CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS:

1. VERTICALLY AT THE CEILING & FLOOR LEVELS. 2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.

PROVIDE FIREBLOCKING AT OTHER LOCATIONS PER 2018 IRC R302.11

ALL PLYWOOD WALL AND ROOF SHEATHING SHALL BE 1/2" CDX, UNLESS NOTED OTHERWISE. MINIMUM NAILING SHALL BE 8d @ 6" O.C. AT PANEL EDGES AND 12" O.C. IN FIELD. SPAN INDEX SHALL BE 24/0. ALL PLYWOOD FLOOR SHEATHING SHALL BE 3/4" CDX TONGUE & GROOVE UNLESS NOTED OTHERWISE. MINIMUM NAILING SHALL BE 10d @ 6" O.C. @ PANEL EDGES AND 12" O.C. IN FIELD. SPAN INDEX SHALL BE 40/20. STAGGER ALL PANEL EDGES AT ROOF AND FLOOR SHEATHING. ORIENTED STRAND BOARD (O.S.B.) SHEATHING PRODUCTS OF EQUIVALENT SPAN RATINGS SHALL BE ALLOWED.

GLUE LAMINATED TIMERS

ALL GLUE LAMINATED TIMBERS SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED IN AITC A190 and ASTM D 3737. ALL GLUE LAMINATED TIMBERS SHALL BE DOUG-FIR LARCH, FABRICATED TO THE REQUIREMENTS OF THE US PRODUCT STANDARD PS 56. LUMBER SHALL BE OF SUCH GRADE TO PROVIDE NORMAL WORKING STRESS VALUES OF; 2,400 PSI IN BENDING, 1,100 PSI IN TENSION, 1,600 PSI IN COMPRESSION PARALLEL TO GRAIN, 560 PSI IN COMPRESSION PERPENDICULAR TO GRAIN AND 165 PSI HORIZONTAL SHEAR (COMBINATION 24F-V4). GLUE LAMINATED TIMBERS TO BE AITC CERTIFIED. USE WATERPROOF GLUE.

MANUFACTURED TRUSSES

ALL TRUSSES SHALL BE DESIGNED BY REGISTERED WA STATE ENGINEER AND FABRICATED FROM ONLY THESE DESIGNS TRUSSES SHALL BE STAMPED BY THE ENGINEER OR BY A QUALITY CONTROL AGENCY SUCH AS THE STATE TRUSS FABRICATORS COUNCIL. ALL TRUSS DESIGNS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION.

ALL NON BEARING WALLS OR PARTITIONS SHALL BE HELD AWAY FROM THE TRUSS BOTTOM CHORD WITH AN APPROVED FASTENER TO ENSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL OR PARTITION.

APPROVED HANGERS SHALL BE USED AT ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TRUSSES.

ALL ROOF TRUSSES SHALL BE FRAMED AND TIED INTO THE FRAME WORK AND SUPPORTING WALLS SO AS TO FORM AN INTEGRAL PART OF THE WHOLE STRUCTURE. ROOF TRUSSES SHALL HAVE JOINTS WELL FITTED AND SHALL HAVE ALL TENSION MEMBERS WELL TIGHTENED BEFORE ANY LOAD IS PLACED UPON THE TRUSS. DIAGONAL AND SWAY BRACING SHALL BE USED TO BRACE ALL

INSULATION & MOISTURE PROTECTION

UNLESS NOTED OTHERWISE, INSULATION SHALL CONFORM TO THE WASHINGTON STATE ENERGY CODES. INSULATION BAFFLES TO MAINTAIN 1" CLEAR SPACE ABOVE INSULATION. BAFFLES TO EXTEND 6" ABOVE BATT INSULATION & 12" ABOVE LOOSE FILL INSULATION. INSULATE BEHIND BATHTUBS, SHOWERS, PARTITIONS AND CORNERS. PROVIDE FACE STAPLED BATTS OR FRICTION FIT FACED BATTS. PROVIDE 4 MIL (0.004") POLYETHYLENE VAPOR BARRIER AT WALLS OR USE PVA PAINT WITH A DRY CUP PERM RATING OF ONE (MAX.). PROVIDE R-10 INSULATION UNDER ELECTRIC WATER HEATERS.

INFILTRATION CONTROL

1. EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF AND BETWEEN WALL PANELS, OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOORS, AND ROOF, AND ALL OTHERS SUCH OPENINGS IN THE BUILDING ENVELOPE, INCLUDING ACCESS PANELS INTO UNHEATED SPACES. SHALL BE SEALED, CAULKED, GASKETED OR WEATHER-STRIPPED TO LIMIT AIR INFILTRATION. 2. ALL EXTERIOR DOORS, OTHER THAN FIRE-RATED DOORS, SHALL BE DESIGNED TO LIMIT AIR INFILTRATION AROUND THEIR PERIMETER WHEN IN A CLOSED POSITION. DOORS BETWEEN RESIDENCE AND GARAGE ARE NOT CONSIDERED "FIRE-RATED" AND

MUST MEET THE ABOVE REQUIREMENT. 3. ALL EXTERIOR WINDOWS SHALL BE DESIGNED TO ADMIT AIR INFILTRATION INTO OR FROM THE BUILDING ENVELOPE WHICH SHALL BE SUBSTANTIATED BY TESTING TO STANDARD ASTM E 283.73. SITE BUILT AND MILLWORK SHOP MADE WOODEN SASH ARE EXEMPT FROM TESTING BUT SHALL BE WEATHER-STRIPPED, CAULKED AND MORE TIGHTLY FITTING. 4. RECESSED LIGHT FIXTURES TO LIMIT AIR LEAKAGE PER W.S.E.C.

PIPING FOR HOT WATER / STEAM SYSTEMS OF PIPING FOR CONTINUOUSLY CIRCULATING HOT WATER SERVICE IS REQUIRED TO BE INSULATED PER THE W.S.E.C. SERVICE WATER PIPING SHALL BE INSULATED TO A MINIMUM OF R-3.

VAPOR BARRIERS / GROUND COVERS

AN APPROVED VAPOR BARRIER SHALL BE PROPERLY INSTALLED IN ROOF DECKS, IN ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND AT EXTERIOR WALLS. INSET STAPLED BATTS WITH A PERM RATING LESS THAN ONE MAY BE INSTALLED IF THE VAPOR BARRIER IS TO THE WARM SIDE, STAPLES SHALL BE PLACED NOT MORE THAN 8" O.C. AND GAPS BETWEEN THE FACING AND THE FRAMING SHALL NOT EXCEED 1/16"

A GROUND COVER OF 6 MIL (0.006") BLACK POLYETHYLENE OR EQUIVALENT SHALL BE LAID OVER THE GROUND IN ALL CRAWL SPACES. THE GROUND COVER SHALL BE OVERLAPPED ONE FOOT AT EACH JOINT AND SHALL EXTEND TO THE FOUNDATION WALL

THE NET FREE VENTILATING AREA FOR ATTIC VENTILATION MAY BE 1/300 OF THE AREA OF THE VENTILATED SPACE PROVIDED THAT A VAPOR BARRIER HAVE A PERM RATING NOT EXCEEDING ONE IS INSTALLED ON THE WARM SIDE OF THE INSULATION.

DOORS, WINDOWS AND SKYLIGHTS

THE REQUIRED EGRESS DOOR MAY HAVE A MAXIMUM 7 3/4" STEP FROM TOP OF THE THRESHOLD TO A MINIMUM 36" DEEP LANDING. OTHER EXTERIOR DOORS MAY HAVE A MAXIMUM (2) 7 3/4" STEPS TO A MIN.. 36" DEEP LANDING. ALL GLAZING SHALL MEET THE REQUIREMENTS OF THE W.S.E.C. TABLE 6-1 UNLESS NOTED OTHERWISE. ALL SKYLIGHTS AND SKYWALLS SHALL HAVE LAMINATED GLASS UNLESS NOTED OTHERWISE. ALL BEDROOM EMERGENCY EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. MINIMUM NET CLEAR OPERABLE WIDTH OF 20" AND A MINIMUM NET CLEAR OPENING HEIGHT OF 24", MAXIMUM FINISHED SILL HEIGHT OF 44" ABOVE FLOOR. OPERABLE WINDOWS WITH A SILL OF MORE THAN 72 ABOVE FINISHED GRADE AND WITHOUT AN ADJACENT ROOF WITH MAX 4:12 SLOPE, TO BE A MINIMUM OF 24" ABOVE ADJACENT

SAFETY GLAZING LOCATIONS PER 2018 IRC SECTION R308.4

 GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS 2. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR

3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

3.1. THE EXPOSED AREA OF AN INDIVIDUAL PANEL IS LARGER THAN 9 SQUARE FEET AND:

3.2. THE EXPOSED BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR AND:

WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

3.3. THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE THE FLOOR AND: 3.4. ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING. 4. ALL GLAZING IN RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL INFILL PANELS.

5. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

6. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING. 7. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE. 8. GLAZING ADJACENT TO THE STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION

FOR EXCEPTIONS SEE IRC SECTION R308.4

FIREPLACES

ALL MASONRY FIREPLACES AND CHIMNEYS SHALL BE CONSTRUCTED TO CONFORM TO ALL APPLICABLE PORTIONS OF THE 2018 IBC/IRC CODE. FLUE LINER MINIMUM, 5/8" FIRE CLAY (OR EQ.) PER IRC. FLUE AREA PER IRC. CHIMNEYS SHALL SUPPORT ONLY THEIR OWN WEIGHT UNLESS SPECIFICALLY DESIGNED TO SUPPORT ADDITIONAL LOADS. ALL FIREPLACES SHALL BE PROVIDED. WITH TIGHTLY FITTING FLUE DAMPERS, OPERATED WITH A READILY ACCESSIBLE MANUAL OR APPROVED AUTOMATIC CONTROL, AND AN OUTSIDE SOURCE OF COMBUSTION AIR. MINIMUM DUCT SIZE OF 6" SQ. INCHES IN AREA PROVIDED WITH READILY ACCESSIBLE DAMPER LOCATED IN FRONT PART OF FIREBOX. PRE-FABRICATED FIREPLACES. CHIMNEYS. AND RELATED COMPONENTS TO BEAR U.L. OR I.C.B.O. SEAL OR APPROVAL AND TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS HEARTHS SHALL EXTEND 20" (MIN.) IN FRONT OF AND 12" (MIN.) BEYOND EACH SIDE OF FIREPLACE OPENINGS WHEN REQ'D. FIREPLACES SHALL BE PROVIDED WITH TIGHTLY FITTING GLASS OR METAL DOORS.

MECHANICAL

FURNACES AND ELECTRIC HEATING FURNACES.

SOLID FUEL BURNING APPLIANCES INCLUDE AIRTIGHT STOVES, FIREPLACE STOVES, ROOM BEATERS, FACTORY BUILT FIREPLACES AND FIREPLACE INSERTS. ALL SOLID FUEL BURNING APPLIANCES SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 24 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.

EACH DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING A TEMPERATURE OF 68 DEGREES FAHRENHEIT AT A HEIGHT OF 3'-0" ABOVE THE FLOOR AND TWO FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS WHEN THE OUTSIDE TEMPERATURE IS AS SET FORTH IN THE W.S.E.C.

DEFINITION OF BUILDING THERMAL ENVELOPE FROM THE WASHINGTON STATE ENERGY CODE: THE BELOW-GRADE WALLS, ABOVE-GRADE WALLS, FLOOR, ROOF, AND ANY OTHER BUILDING ELEMENTS THAT ENCLOSE

CONDITIONED SPACE OR PROVIDES A BOUNDARY BETWEEN CONDITIONED SPACE AND EXEMPT OR UNCONDITIONED SPACE.

1. FUEL BURNING APPLIANCES LOCATED WITHIN THE BUILDING ENVELOPE SHALL OBTAIN AIR FROM OUTDOORS, MEETING THE PROVISIONS OF CHAPTER 24 OF THE 2018 IRC. 2. FUEL BURNING APPLIANCES LOCATED OUTSIDE THE BUILDING ENVELOPE SHALL MEET THE PROVISIONS OF CHAPTER 24 OF THE

3. DUCTWORK LOCATION AND SOURCE OF COMBUSTION AIR SHALL MEET THE PROVISIONS OF CHAPTER 16 OF THE 2018 IRC. ALL WARM AIR FURNACES SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY AND INSTALLED PER CHAPTER MI402 OF THE

2018 IRC. NO WARM AIR FURNACE SHALL BE INSTALLED IN A ROOM USED OR DESIGNED TO BE USED AS A BEDROOM, BATHROOM, CLOSET OR IN ANY ENCLOSED SPACE WITH ACCESS ONLY THROUGH SUCH ROOM OR SPACE, EXCEPT DIRECT VENT FURNACE, ENCLOSED

NO WARM AIR FURNACE SHALL BE INSTALLED IN A CLOSET OR ALCOVE WITH A SPACE LESS THAN 12" WIDER THAN THE FURNACE OR A CLEARANCE OF 3" ALONG THE SIDES, BACK AND TOP.

LIQUEFIED PETROLEUM GAS BURNING APPLIANCES SHALL NOT BE INSTALLED IN A PIT, BASEMENT OR SIMILAR LOCATION WHERE HEAVIER THAN AIR GASES MIGHT COLLECT. APPLIANCES SO FUELED SHALL NOT BE INSTALLED IN AN ABOVE GRADE UNDER FLOOR SPACE OR BASEMENT UNLESS SUCH LOCATION IS PROVIDED WITH AN APPROVED MEANS FOR REMOVAL OF UNBURNED

HEATING AND COOLING APPLIANCES LOCATED IN A GARAGE AND WHICH GENERATE A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH THE PILOTS AND BURNERS OR HEATING ELEMENTS AND SWITCHES AT LEAST 18" ABOVE THE FLOOR SURFACE.

FIRE DAMPERS NEED NOT BE INSTALLED IN AIR DUCTS PASSING THROUGH THE WALL, FLOOR OR CEILING SEPARATING A RESIDENCE (GROUP B, DIVISION 3 OCCUPANCY) FROM A GARAGE (GROUP M, DIVISION 1 OCCUPANCY), PROVIDED SUCH DUCTS WITHIN THE GARAGE ARE CONSTRUCTED OF STEEL HAVING A THICKNESS NOT LESS THAN 0.019" (NO. 26 GALVANIZED SHEET GAUGE) AND HAVE NO OPENINGS INTO THE GARAGE

WARM AIR FURNACE INSTALLATIONS IN ATTICS OR CRAWL SPACES SHALL COMPLY WITH M1402 OF THE 2018 IRC.

EVERY APPLIANCE DESIGNED TO BE VENTED SHALL BE CONNECTED TO A VENTING SYSTEM COMPLYING WITH CHAPTER 18 OF THE 2018 IRC. EVERY FACTORY BUILT CHIMNEY, TYPE L VENT, TYPE B GAS VENT OR TYPE BW GAS VENT SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF ITS LISTING, MANUFACTURERS INSTALLATION INSTRUCTIONS AND THE REQUIREMENTS PER CHAPTER 10 OF THE 2018 IRC.

A TYPE B OR BW GAS VENT SHALL TERMINATE PER CHAPTER 24 OF THE 2018 IRC.

VENT CONNECTORS SHALL BE INSTALLED WITHIN THE SPACE OR AREA IN WHICH THE APPLIANCE IS LOCATED AND SHALL BE CONNECTED TO A CHIMNEY OR VENT IN SUCH A MANNER AS TO MAINTAIN THE CLEARANCE TO COMBUSTIBLES PER SECTION M1803 OF THE 2018 IRC.

HEATING EQUIPMENT

ALL HEATING EQUIPMENT SHALL COMPLY WITH SECTION M1401 OF THE 2018 IRC.

4. DUCT INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH SECTION M1601.3 OF THE 2018 IRC.

FOR GAS AND OIL FIRED EQUIPMENT, OUTPUT MAY HAVE CAPACITY OF 150%-250% OF HEATING DESIGN LOAD PROVIDED THAT IT HAS AN AFUE OF 90% OR GREATER

DUCTWORK

1. DUCT SYSTEMS OR FACTORY BUILT AIR DUCTS SHALL BE OF METAL AS SET FORTH BY TABLE 1601.1.1 (1) & 1601.1.1 (2) 2. RECTANGULAR, FLAT, OVAL AND ROUND DUCT JOINTS AND SEAMS SHALL BE AIRTIGHT PER SECTION M1601.4.1 OF THE 2018 IRC 3. INSTALLATION OF DUCTS SHALL COMPLY WITH SECTION M1601.4 OF THE 2018 IRC.

WHOLE HOUSE VENTILATION

SPECIFICATIONS FROM THE 2018 IRC SECTIONS M1505

SOURCE SPECIFIC VENTILATION REQUIREMENTS.

1. MINIMUM EXHAUST FAN REQUIREMENTS: A. BATHROOMS, LAUNDRIES AND POWDER ROOMS - 50 CFM @ 0.25" W.G.

B. KITCHENS - 100 CFM @ 0.25" W.G. (RANGE HOOD OR DOWN DRAFT EXHAUST FAN RATED AT MIN.. 100 CFM @ 0.10" W.G. MAY BE USED FOR EXHAUST FAN REQUIREMENTS.)

2. EXHAUST DUCT REQUIREMENTS:

A. INSULATE TO R-8 (MIN...) IN UNCONDITIONED SPACES.

B. EQUIP WITH A BACK DRAFT DAMPER. C. TERMINATE OUTSIDE THE BUILDING. D. COMPLY WITH TABLE 403.4.7.2 ON THIS SHEET

PRESCRIPTIVE REQUIREMENTS FOR: OPTION 1. INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FANS (IRC M1505.4.3.2. OUTDOOR AIR SHALL BE SUPPLIED TO ALL HABITABLE ROOMS AT FLOW RATES SPECIFIED IN TABLE M1505.4.3(1) ON THIS SHEET, USING THE FOLLOWING METHODS:

- 1. ROOM OUTDOOR AIR INLETS SHALL COMPLY WITH THE FOLLOWING:
- A. HAVE CONTROLLABLE AND SECURE OPENINGS. B. BE SLEEVED OR DESIGNED SO AS TO NOT COMPROMISE THE THERMAL PROPERTIES OF THE WALL OR WINDOW IN WHICH THEY ARE PLACED.
- C. PROVIDE A MINIMUM OF FOUR SQUARE INCHES OF NET FREE AREA OF OPENING FOR EACH HABITABLE SPACE D. PROVISIONS SHALL BE MADE TO ENSURE AIR FLOW BY THE INSTALLATION OF DISTRIBUTION DUCTS, TRANSOMS, INSTALLATION OF GRILLES, UNDERCUTTING DOORS A MINIMUM OF "ABOVE THE FINISHED FLOOR COVERINGS, OR 2 SIMILAR
- 2. WHOLE HOUSE EXHAUST FANS SHALL: A. BE SIZED ACCORDING TO TABLE M1505.4.3(1) ON THIS SHEET. B. BE FLOW RATED AT 0.25" W.G.
- C. SOUND RATED AT 1.0 SONES MAXIMUM. 3. WHOLE HOUSE EXHAUST FAN CONTROLS:
- A. BE CONTROLLED BY A 24-HOUR CLOCK TIMER. B. PROVIDE CAPABILITY OF CONTINUOUS OPERATION, MANUAL AND AUTOMATIC CONTROL.
- C. THE 24-HOUR CLOCK TIMER SHALL BE READILY ACCESSIBLE. D. AT THE TIME OF FINAL INSPECTION, THE AUTOMATIC CONTROL TIMER SHALL BE SET TO OPERATE THE WHOLE HOUSE FAN
- FOR AT LEAST 8 HOURS A DAY. E. A LABEL SHALL BE AFFIXED TO THE CONTROL THAT READS "WHOLE HOUSE VENTILATION (SEE OPERATING INSTRUCTIONS)"
- 4. WHOLE HOUSE EXHAUST DUCTS:
- A. BE SIZED ACCORDING TO TABLE 403.4.7.2 ON THIS SHEET. B. BE INSULATED TO A MINIMUM R-4 IN UNCONDITIONED SPACES.
- C. TERMINATE OUTSIDE THE BUILDING.

PRESCRIPTIVE EXHAUST DUCT SIZING

FAN TESTED CFM @ 0.25" W.G.	MINIMUM FLEX DIAMETER	MAXIMUM LENGTH FEET	MINIMUM SMOOTH DIAMETER	MAXIMUM LENGTH FEET	MAXIMUM ELBOWS ^{*1}
50	4 INCH	25' - 0"	4 INCH	70' - 0"	3
50	5 INCH	90' - 0"	5 INCH	100' - 0"	3
50	6 INCH	NO LIMIT	6 INCH	NO LIMIT	3
80	4 INCH*2	N / A	4 INCH	20' - 0"	3
80	5 INCH	15' - 0"	5 INCH	100' - 0"	3
80	6 INCH	90' - 0"	6 INCH	NO LIMIT	3
100	5 INCH*2	N/A	5 INCH	50' - 0"	3
100	6 INCH	45' - 0"	6 INCH	NO LIMIT	3
125	6 INCH	15' - 0"	6 INCH	NO LIMIT	3
125	7 INCH	70' - 0"	7 INCH	NO LIMIT	3

1. FOR EACH ADDITIONAL ELBOW, SUBTRACT 10'-0" FROM LENGTH. 2. FLEX DUCTS OF THIS DIAMETER ARE NOT PERMITTED WITH FANS OF THIS SIZE.

MINIMUM VENTILATION RATES (CONTINUOUSLY OPERATING SYSTEMS)

		NUN	MBER OF BEDROO	MS	
FLOOR AREA (SQ. FT.)	0 - 1	2	3	4	5 OR MORE
(SQ. F1.)			AIRFLOW IN CFM		
<500	30	30	35	45	50
501 - 1000	30	35	40	50	55
1001 - 1500	30	40	45	55	60
1501 - 2000	35	45	50	60	65
2001 - 2500	40	50	55	65	70
2501 - 3000	45	55	60	70	75
3001 - 3500	50	60	65	75	80
3501 - 4000	55	65	70	80	85
4001 - 4500	60	70	75	85	90
4501 - 5000	65	75	80	90	95

1. VENTILATION RATES IN TABLE ARE MINIMUM OUTDOOR AIRFLOW RATES MEASURED IN CFM.

ENERGY CODE

CLIMATE ZONES, MOISTURE REGIMES, AND WARM-HUMID DESIGNATIONS BY STATE AND

COUNTY						
Key: A - Moist, B - Dry, C - Marine. Absence of moisture designation indicates moisture regime is irrelevant.						
WASHINGTON						
5B Adams 4C Lewis						
5B Asotin 5B Lincoln						
5B Benton 4C Mason						
5B Chelan 5B Okanogan						
4C Clallam 4C Pacific						
4C Clark 5B Pend Oreille						
5B Comumbia 4C Pierce						
4C Cowlitz 4C San Juan						
5B Douglas	4C Skagit					
5B Ferry	5B Skamania					
5B Franklin	4C Snohomish					
5B Garfield	5B Spokane					
5B Grant	5B Stevens					
4C Grays Harbor	4C Thurston					
4C Island	4C Wahkiakum					
4C Jefferson	5B Walla Walla					
4C King	4C Whatcom					
4C Kitsap	5B Whitman					
5B Kittitas	5B Yakima					
5B Klickitat						

TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT a

CLIMATE ZONE	5 AND MARINE 4
FENESTRATION U-FACTOR ≀	0.30
SKYLIGHT ^b U-FACTOR	0.50
CEILING R-VALUE ^e	49
WOOD FRAME WALL ^{g,h} R-VALUE	21 int
FLOOR R-VALUE	30
BELOW-GRADE ^{C,h} WALL R-VALUE	10/15/21 int + 5TB
SLAB ^{d,f} R-VALUE & DEPTH	10, 2ft

FOR SI: 1 FOOT .= 304.8 MM, CI .= CONTINUOUS INSULATION, INT .= INTERMEDIATE FRAMING.

a. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE COMPRESSED R-VALUE OF THE INSULATION FROM APPENDIX TABLE A101.4 SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED

b. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS.

c. "10/15/21 + 5TB" MEANS R-10 CONTINUOUS INSULATION ON THE EXTERIOR OF THE WALL. OR R-15 CONTINUOUS INSULATION ON THE INTERIOR OF THE WALL, OR R-21 CAVITY INSULATION PLUS A THERMAL BREAK BETWEEN THE SLAB AND THE BASEMENT WALL AT THE INTERIOR OF THE BASEMENT WALL. "10/15/21+ 5TB" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE WALL. "5TB" MEANS R-5 THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL.

d. R-10 CONTINUOUS INSULATION IS REQUIRED UNDER HEATED SLAB ON GRADE FLOORS. SEE R402.2.9.1.

e. FOR SINGLE RAFTER- OR JOIST-VAUTED CEILINGS, THE INSULATION MAY BE REDUCED TO R-38 IF THE FULL INSULATION DEPTH EXTENDS OVER THE TOP PLATE OF THE EXTERIOR WALL.

f. R-7.5 CONTINUOUS INSULATION INSTALLED OVER AN EXISTING SLAB IS DEEMED TO BE EQUIVALENT TO THE REQUIRED PERIMETER SLAB INSULATION WHEN APPLIED TO EXISTING SLABS COMPLYING WITH SECTION R503.1.1. IF FOAM PLASTIC IS USED, IT SHALL MEET THE REQUIREMENTS FOR THERMAL BARRIERS PROTECTING FOAM PLASTICS.

g. FOR LOG STRUCTURES DEVELOPED IN COMPLIANCE WITH STANDARD ICC 400, LOG WALLS SHALL MEET THE REQUIREMENTS FOR CLIMATE ZONE 5 OF ICC 400.

h. INT. (INTERMEDIATE FRAMING) DENOTES FRAMING AND INSULATION AS DESCRIBED IN SECTION A103.2.2 INCLUDING STANDARD FRAMING 16 INCHES ON CENTER, 78 PERCENT OF THE WALL CAVITY INSULATED AND HEADERS INSULATED WITH A MINIMUM OF R-10 INSULATION.

DDIT

principal architect project manager drawn by__ Author checked by Checker job no. date 02/13/2023 revisions:

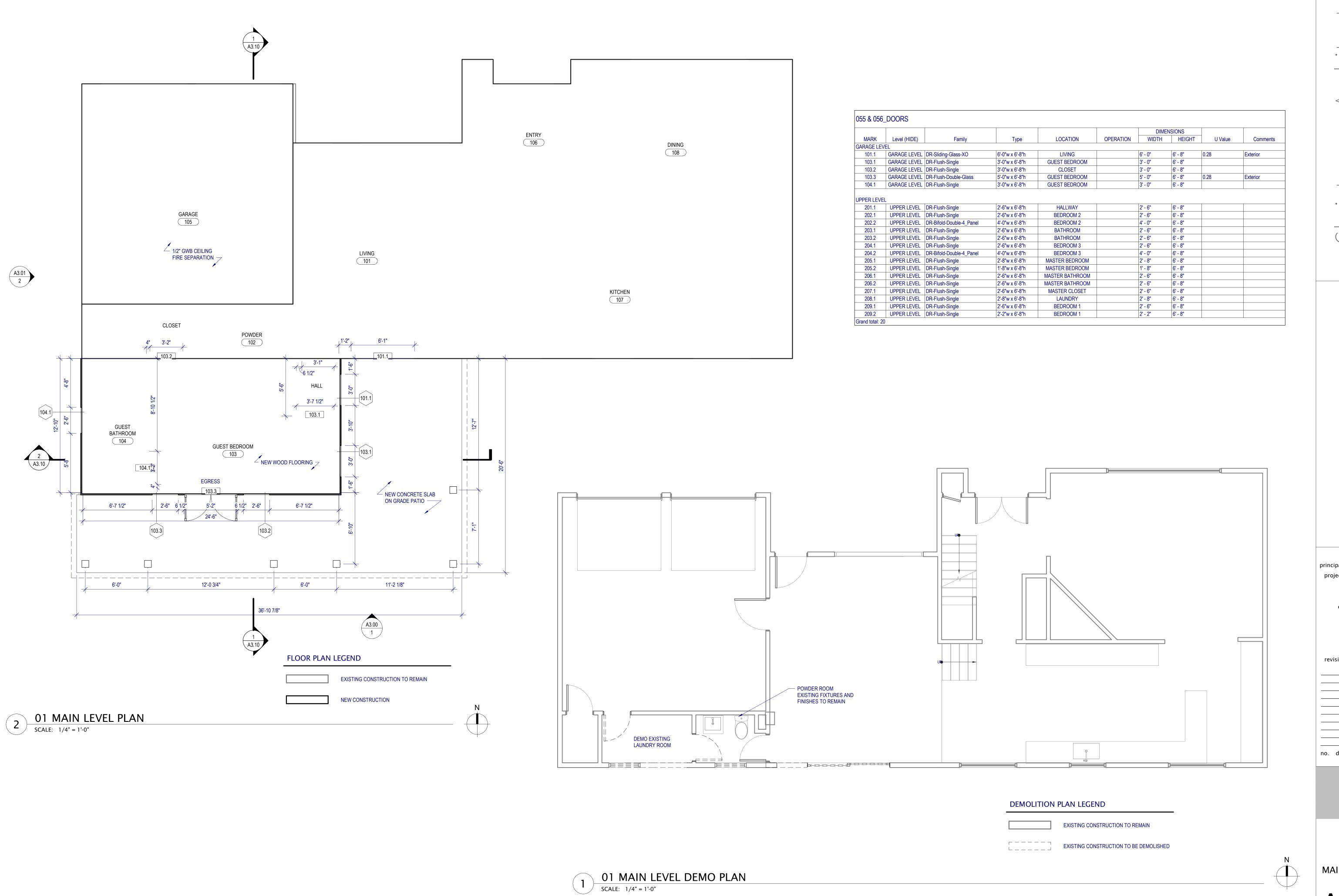
> PERMIT SET 02/13/2023

no. date

INFORMATION

2018 IRC CODE

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Christensen Architects

Project:
HELLING ADDITION
8925 SE 58th St
Mercer Island, WA 98040

principal architect______
project manager_____
drawn by_____

checked by_____
job no._____
date___02/13/2023

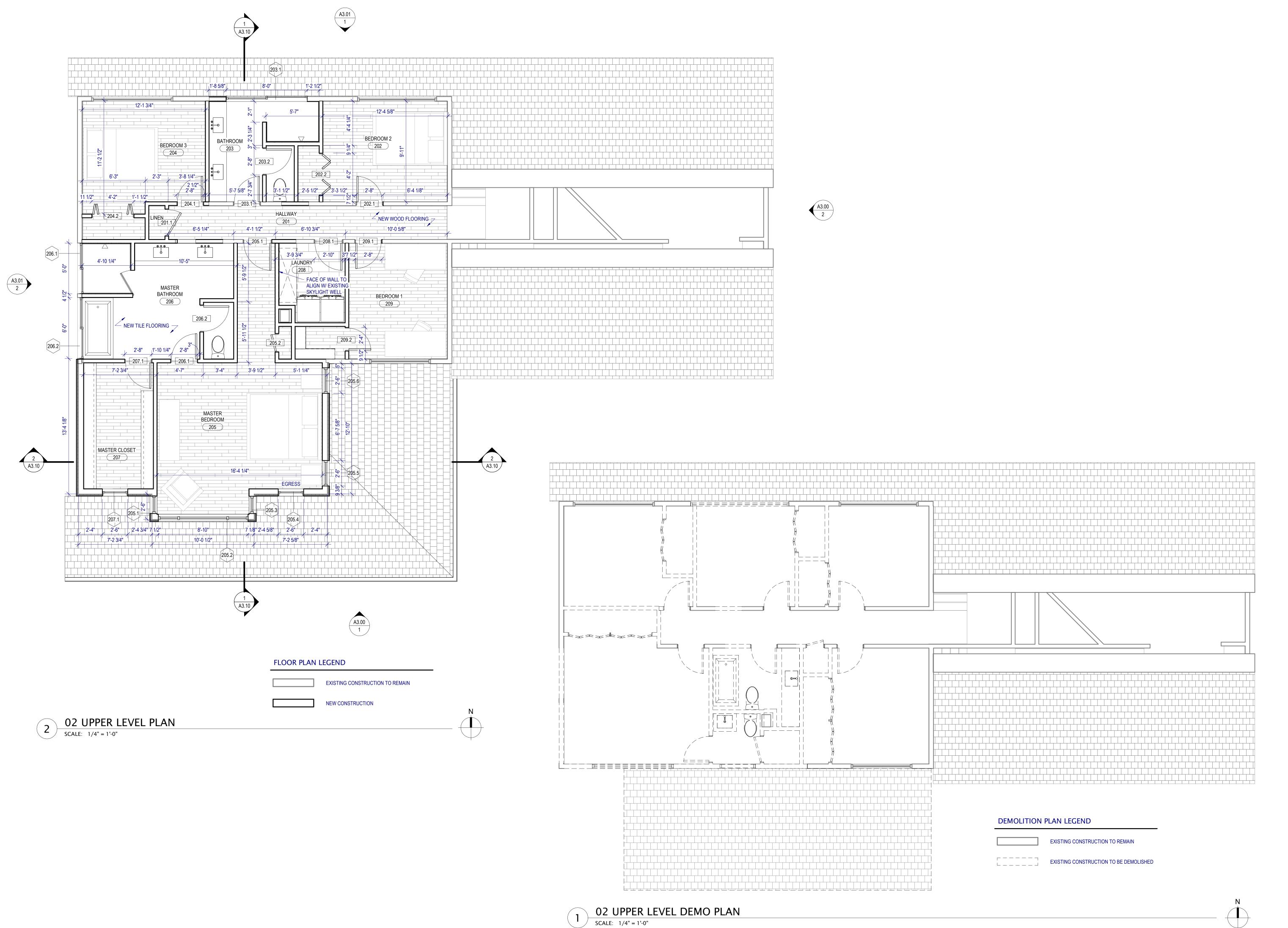
revisions:

no. date

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MAIN LEVEL PLAN

A2.10



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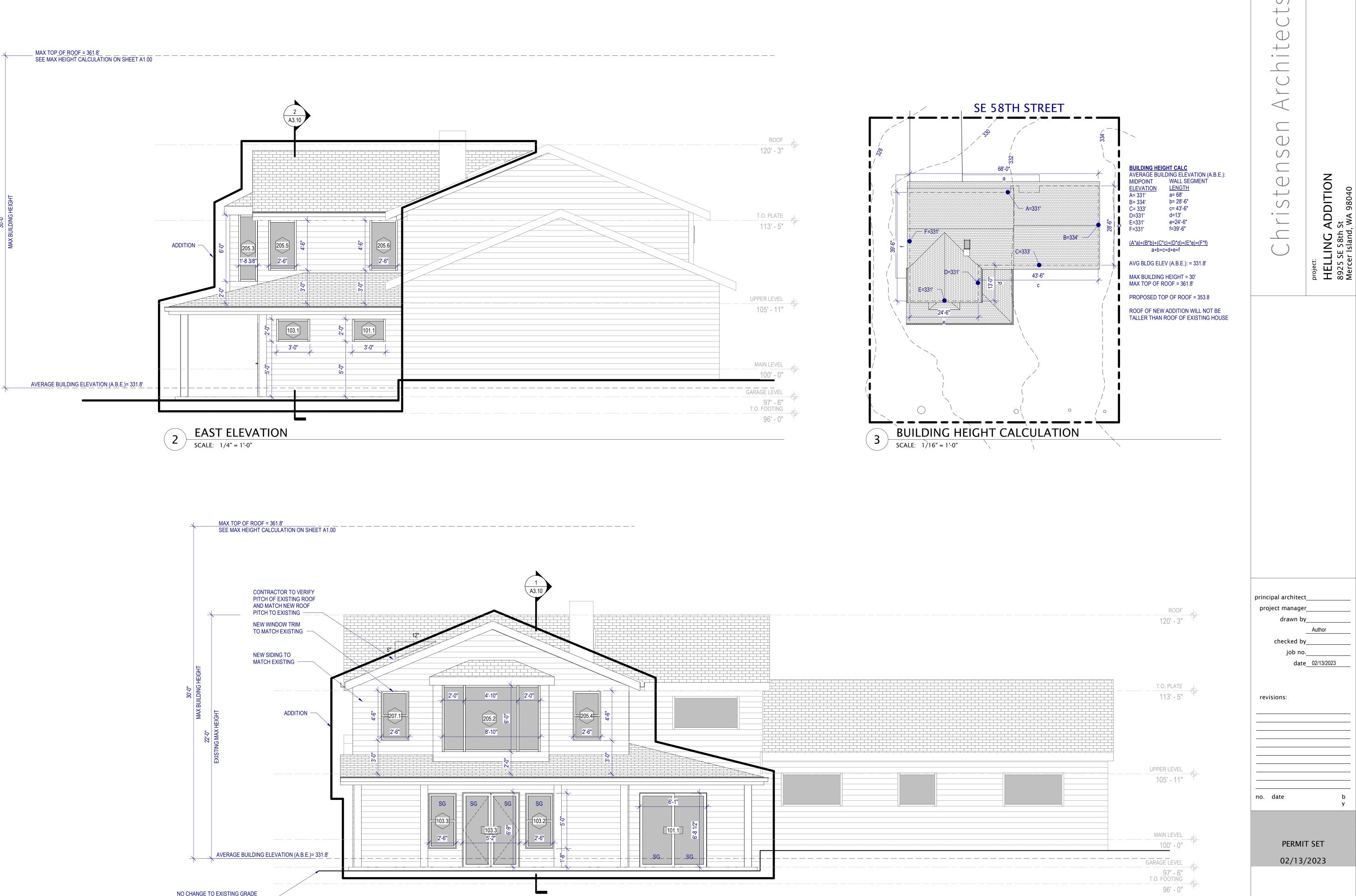
revisions:

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UPPER LEVEL PLAN

A2.20



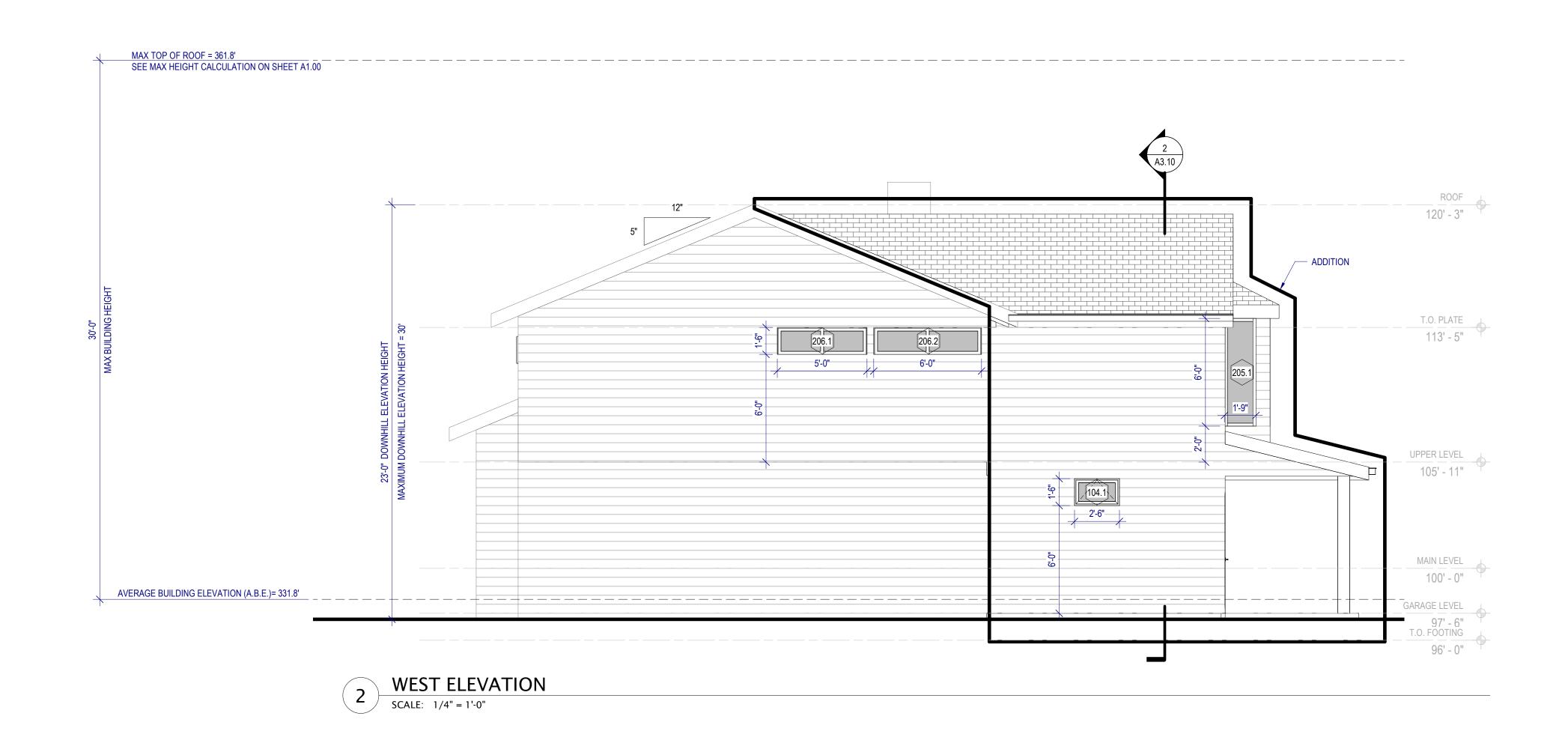
NO CHANGE TO EXISTING GRADE SEE SITE PLAN ON A1.00 FOR EXISTING CONTOURS

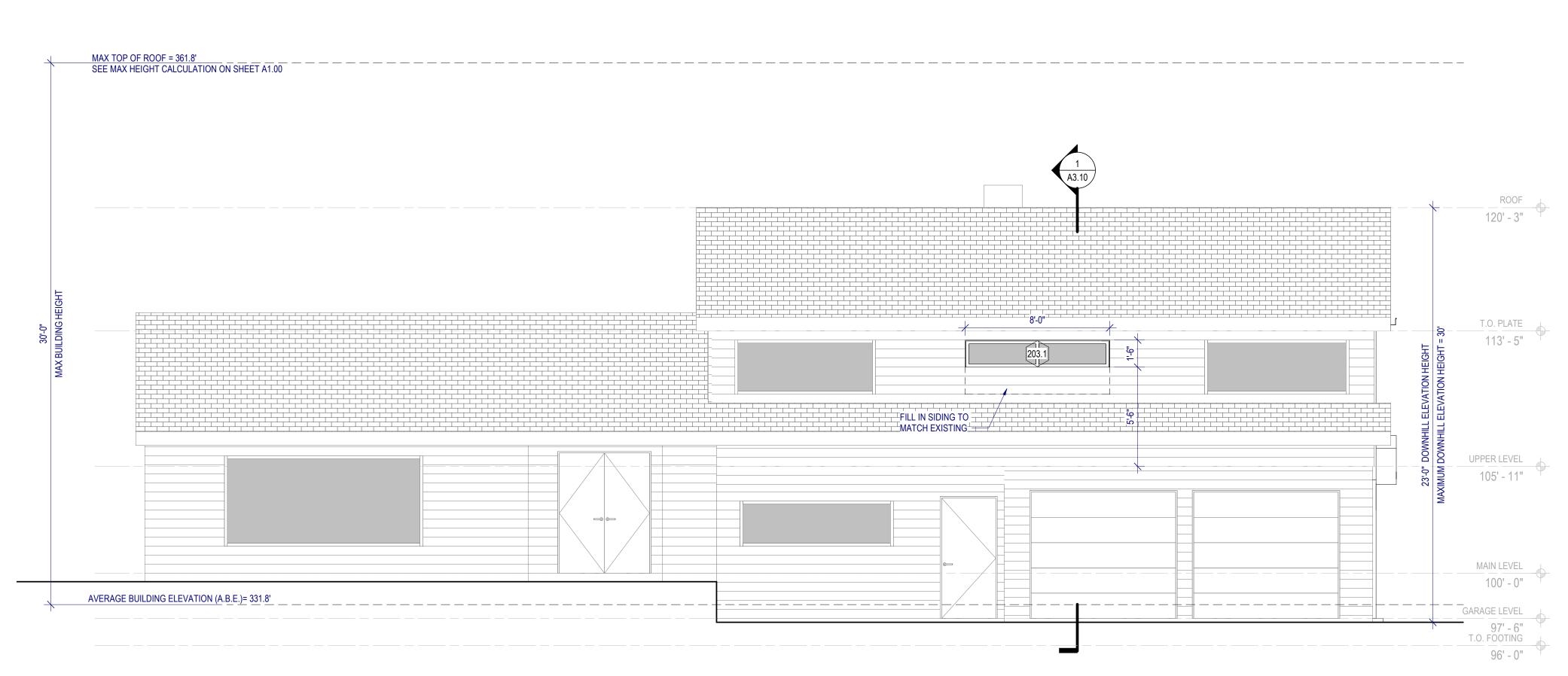
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

065_WIND	OWS					
	DIMENSI	ONS (ROUGH O	PENING)			
MARK	WIDTH	HEIGHT	AREA	U VALUE	UA VALUE	REMARKS
101.1	3' - 0"	2' - 0"	6 SF	0.25	2	
103.1	3' - 0"	2' - 0"	6 SF	0.25	2	
103.2	2' - 6"	5' - 0"	13 SF	0.25	3	DOUBLE HUNG
103.3	2' - 6"	5' - 0"	13 SF	0.25	3	DOUBLE HUNG
104.1	2' - 6"	1' - 6"	4 SF	0.25	1	AWNING
203.1	8' - 0"	1' - 6"	12 SF	0.25	3	SLIDER
205.1	1' - 9"	6' - 0"	11 SF	0.25	3	FIXED
205.2	8' - 10"	6' - 0"	53 SF	0.25	13	FIXED
205.3	2' - 1"	4' - 11"	10 SF	0.25	3	FIXED
205.4	2' - 6"	4' - 6"	11 SF	0.25	3	DOUBLE HUNG - EGRESS
205.5	2' - 6"	4' - 6"	11 SF	0.25	3	FIXED
205.6	2' - 6"	4' - 6"	11 SF	0.25	3	FIXED
206.1	5' - 4 1/4"	1' - 4 3/4"	8 SF	0.25	2	SLIDER
206.2	6' - 5 3/4"	1' - 4 3/4"	9 SF	0.25	2	SLIDER
207.1	2' - 6"	4' - 6"	11 SF	0.25	3	DOUBLE HUNG
15	•		188 SF	<u>'</u>	47	





NORTH ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

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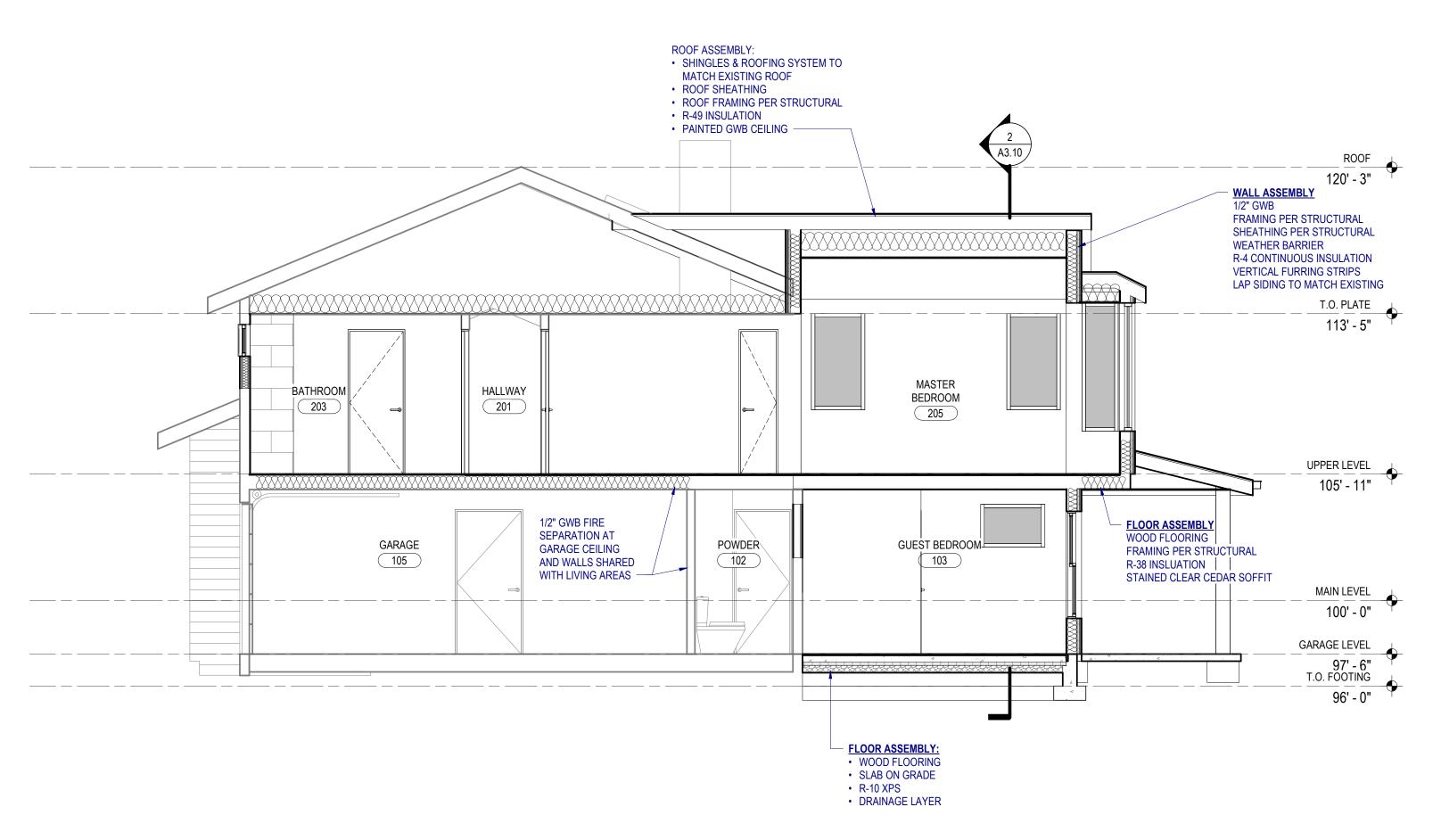
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hristens

Project:
HELLING ADDITION
8925 SE 58th St
Mercer Island, WA 98040

Section 2

SCALE: 1/4" = 1'-0"



Section 1

SCALE: 1/4" = 1'-0"

† • — Christense project:
HELLING ADDITION
8925 SE 58th St
Mercer Island, WA 98040 drawn by__ checked by job no.____

principal architect_ project manager_ date__02/13/2023

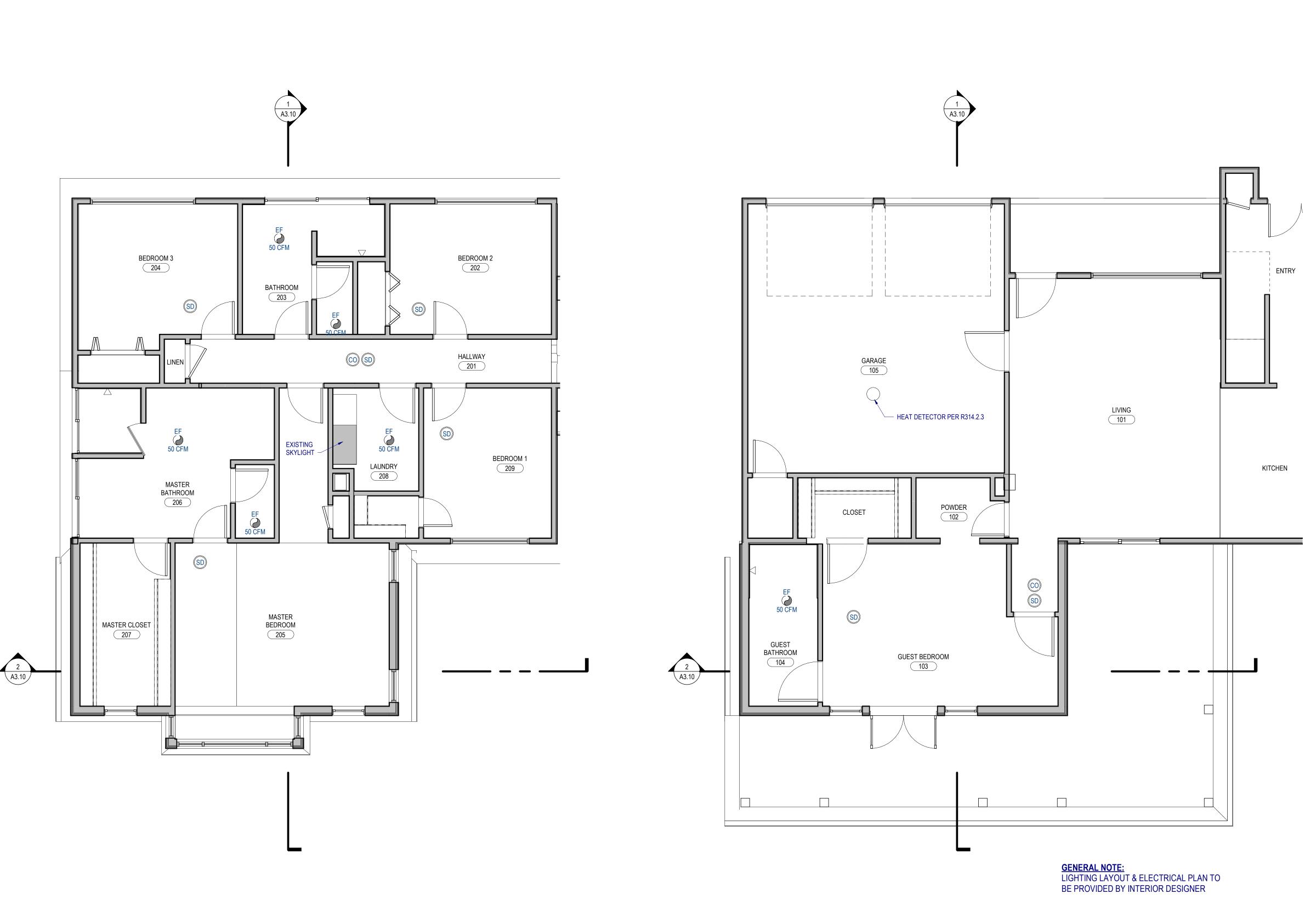
revisions:

no. date

PERMIT SET

BUILDING SECTIONS

02/13/2023



2 O2 UPPER LEVEL RCP

SCALE: 1/4" = 1'-0"

1 01 MAIN LEVEL RCP

SCALE: 1/4" = 1'-0"

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REFLECTED CEILING PLANS

A6.00

• —

GENERAL STRUCTURAL NOTES (The following apply unless shown otherwise on the plans)

CRITERIA

- 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE 2018 INTERNATIONAL BUILDING CODE.
- 2. DESIGN LOADING CRITERIA
- 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE & STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS & THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE
- 6. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT & STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 7. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.

GEOTECHNICAL

- 8. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED & THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.
- FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE, UNLESS NOTED OTHERWISE, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.
- BACK FILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

CONCRETE

- 9. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905, 1906 AND ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF fc = 2,500 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS.
- 10. ALL CONCRETE EXPOSED TO FREEZING-AND-THAWING CYCLES SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH SECTION 1904 OF THE INTERNATIONAL BUILDING CODE AND TABLE 19.3.3.1 OF THE ACI 318. EXPOSED CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI. NO SPECIAL INSPECTION IS REQUIRED FOR 3000 PSI INSTALLED SOLELY TO SATISFY EXPOSED CONCRETE REQUIREMENTS.
- 11. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy = 60,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM 615, GRADE 60, fy = 60,000 PSI.
- 12. REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
- 13. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
- 14. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS & DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE & OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRE-CAST

ANCHORAGE

15. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "AT-XP" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH IAMPO UES EVALUATION REPORT NO. ER-0263. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED. THREADED RODS SHALL BE ASTM A-36, UNO.

MOOD

16. FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, & GRADED & MARKED IN CONFORMANCE WITH W.C.L.I.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 17. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS: (2x & 3x MEMBERS) HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI DOUGLAS FIR-LARCH NO. 1 (4x MEMBERS) MINIMUM BASE VALUE, Fb = 1000 PSI LARGE BEAMS: (INCL. 6x AND LARGER) DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSIDOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI (4x MEMBERS) (6x AND LARGER) DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI STUDS, PLATES & MISC. FRAMING DOUGLAS-FIR-LARCH ÓR HEM-FIR NO. 2

17. PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:

TOP CHORD SNOW LOAD

TOP CHORD DEAD LOAD (AT STD ROOF)

BOTTOM CHORD DEAD LOAD

5 PSE

BOTTOM CHORD DEAD LOAD

TOTAL LOAD

WIND UPLIFT (TOP CHORD)

TOTAL LOAD

STORY

FER ASCE 7-16

BOTTOM CHORD LIVE LOAD

10 PSF (BOTTOM CHORD LIVE LOAD DOES NOT ACT CONCURRENTLY WITH THE ROOF LIVE LOAD)

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANG NAIL OR EQUAL). SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT & STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC, SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP, VALLEY, & INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER, UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS-TO-TRUSS AND TRUSS-TO-GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

18. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16. FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24. WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0. REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS

- 19. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.
- 20. PRESSURE TREATED WOOD SHALL BE TREATED WITH WATERBORNE PRESERVATIVES PER AWPA STANDARD U1. INTERIOR WOOD IN CONTINUOUS CONTACT WITH CONCRETE (SUCH AS SILL PLATES) SHALL BE IN ACCORDANCE WITH USE CATEGORY 2 (UC2).WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE IN ACCORDANCE WITH USE CATEGORY 3B (UC3B). TIMBER CONNECTORS IN DIRECT CONTACT WITH TREATED WOOD SHALL BE G185 OR A185 HOT DIPPED OR CONTINUOUS HOT GALVANIZED PER ASTM A653. FASTENERS AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACZA TREATED WOOD SHALL BE TYPE 304 OR 316 STAINLESS STEEL.
- 21. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICBO OR ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
- ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

WOOD (continued)

- 22. WOOD FASTENERS
- A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d BOX	3-1/2"	0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL. PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

- B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (2018 EDITION) WITH A LEAD BORE HOLE OF 60-70% OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8"Ø AND SMALLER LAG SCREWS.
- 32. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS NOTED OTHERWISE, SHALL CONFORM TO TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE. COOMINGTE THE SIZE & LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL
- B. WALL FRAMING: REFER TO ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" OC, UNLESS NOTED OTHERWISE TWO STUDS, MINIMUM, SHALL BE PROVIDED AT THE END OF ALL WALLS & AT EACH SIDE OF ALL OPENINGS, & AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

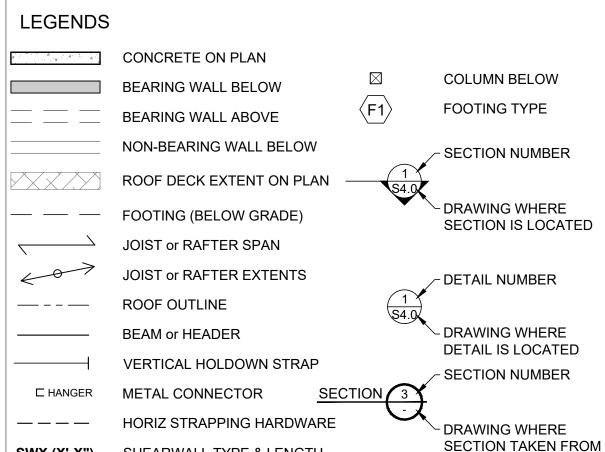
ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE & A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, & TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 10d @ 12"OC & LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE TWELVE 10d NAILS @ 4"OC EACH SIDE JOINT.

FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH & AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS NOTED OTHERWISE PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12"OC UNLESS NOTED OTHERWISE ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6"OC WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS & OVER STUD WALLS AS SHOWN ON PLANS AND @ 12"OC TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR & ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12"OC, UNLESS NOTED OTHERWISE.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16d NAILS @ 6"OC, OR ATTACHED TO CONCRETE BELOW WITH 5/8"Ø ANCHOR BOLTS @ 4'-0"OC, EMBEDDED 7" MINIMUM, UNLESS NOTED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12"OC. UNLESS NOTED OTHERWISE, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS & PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8"OC. UNLESS NOTED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR VERTICAL SURFACES WITH 8d NAILS @ 6"OC AT PANEL EDGES & TOP & BOTTOM PLATES (BLOCK UNSUPPORTED EDGES) & TO ALL INTERMEDIATE STUDS & BLOCKING WITH 8d NAILS @ 12"OC. ALLOW 1/8" SPACING AT ALL PANEL EDGES & PANEL ENDS.

DRAWING INDEX

- \$1.0 GENERAL STRUCTURAL NOTES, ABBREVIATIONS & LEGEND
- S2.0 FOUNDATION PLAN
- S2.1 UPPER FLOOR & LOW ROOF FRAMING PLAN
- S2.2 ROOF FRAMING PLAN
- S3.0 FOUNDATION DETAILS
- S4.0 FRAMING DETAILS
- S4.1 FRAMING DETAILS

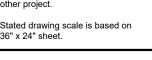


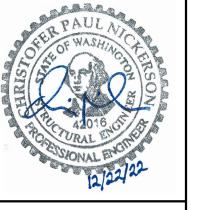
SHEARWALL TYPE & LENGTH

&	AND	н нт	HEIGHT
@	AT	HGR(S)	HANGER(S)
AB	ANCHOR BOLT	HDR	HANGER(S) HEADER
AD ALT	ALTERNATE (LV)		HORIZONTAL
ALI	ALIERNAIE(LY)	INT	INTERSECTION
APPROX	ALTERNATE(LY) APPROXIMATE(LY) ARCHITECT(URAL)	INTR	INTERSECTION
ALT APPROX ARCH	ARCHITECT(URAL)		_
DIVI	DEAIVI		INVERTED
BETW'N	BETWEEN	KP	KING POST
BLDG	BUILDING	LG	
BLKG	BLOCKING		LIVE LOAD
BOT	BOTTOM	LT	LIGHT
BS	BACKSPAN	MATL	MATERIAL
BU	BUILT UP	MAX	MAXIMUM
CL, Q	CENTER LINE	MFR	MANUFACTURER
C/W	COMPLETE WITH	MIN	MINIMUM
CC	CENTER TO CENTER	N	NEW
CJ	CONSTRUCTION JOINT		NEAR SIDE
COL	COLUMN	NTS	
		OC	
CONC			
CONST		OPNG	
CONT			OPPOSITE
CTR	CENTER		OPEN WEB STEEL JOIST
DET	DETAIL	PERP	PERPENDICULAR
DIM	DIMENSION	PL, 12	PLATE PRESSURE TREATED
DL	DEAD LOAD	PT	PRESSURE TREATED
DN	DOWN	R	RADIUS
DO	DITTO		REINFORCEMENT
DP	DEEP		REQUIRED
DS	DRAG STRUT		REVISION
DT	DRAGTRUSS		REINFORCED WITH
DWGS	DRAWINGS	SECT	
EA	EACH	SIM	SIMILAR
EF	EACH FACE	SOG	SLAB ON GRADE
EL	ELEVATION	SP	SPACE(D)(S)(ING)
EQ SP	EQUAL(LY) SPACES(D)	SPEC	SPECIFICATION
EW Si	EACH WAY	STAG	STAGGERED
	EXISTING	STD	STANDARD
(E) EXT		STIR(S)	STIRRUP(S)
	EXTERIOR	STL	STEEL
FB	FLUSH BEAM	STR	STRUCTURE(AL)
FD	FLOOR DRAIN	SW	SHEAR WALL
FDN	FOUNDATION	T&B	TOP AND BOTTOM
FIN GR	FINISHED,FINAL GRADE	T&G	TOUNGE AND GROOVE
FIN FL	FINISHED FLOOR		
FL	FLOOR	THK	THICK(NESS)
FRMG	FRAMING	TOC	TOP OF CONCRETE
F/S	FAR SIDE	TOS	TOP OF STRUCTURAL STE
FTG	FOOTING	TYP	TYPICAL
GA	GAUGE	U/S	UNDERSIDE
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWIS
GL	GRIDLINE, BAYLINE	VERT	VERTICAL
GLB	GLULAM BEAM	W	WIDE
GLB GT	GLULAM BEAM GIRDER TRUSS	W/	WITH

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HELLING ADDITION
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MERCER ISLAND, WA 98040

No. Date Issue
0 12.22.22 Building Permit

Sheet Contents

GENERAL

STRUCTURAL

NOTES,

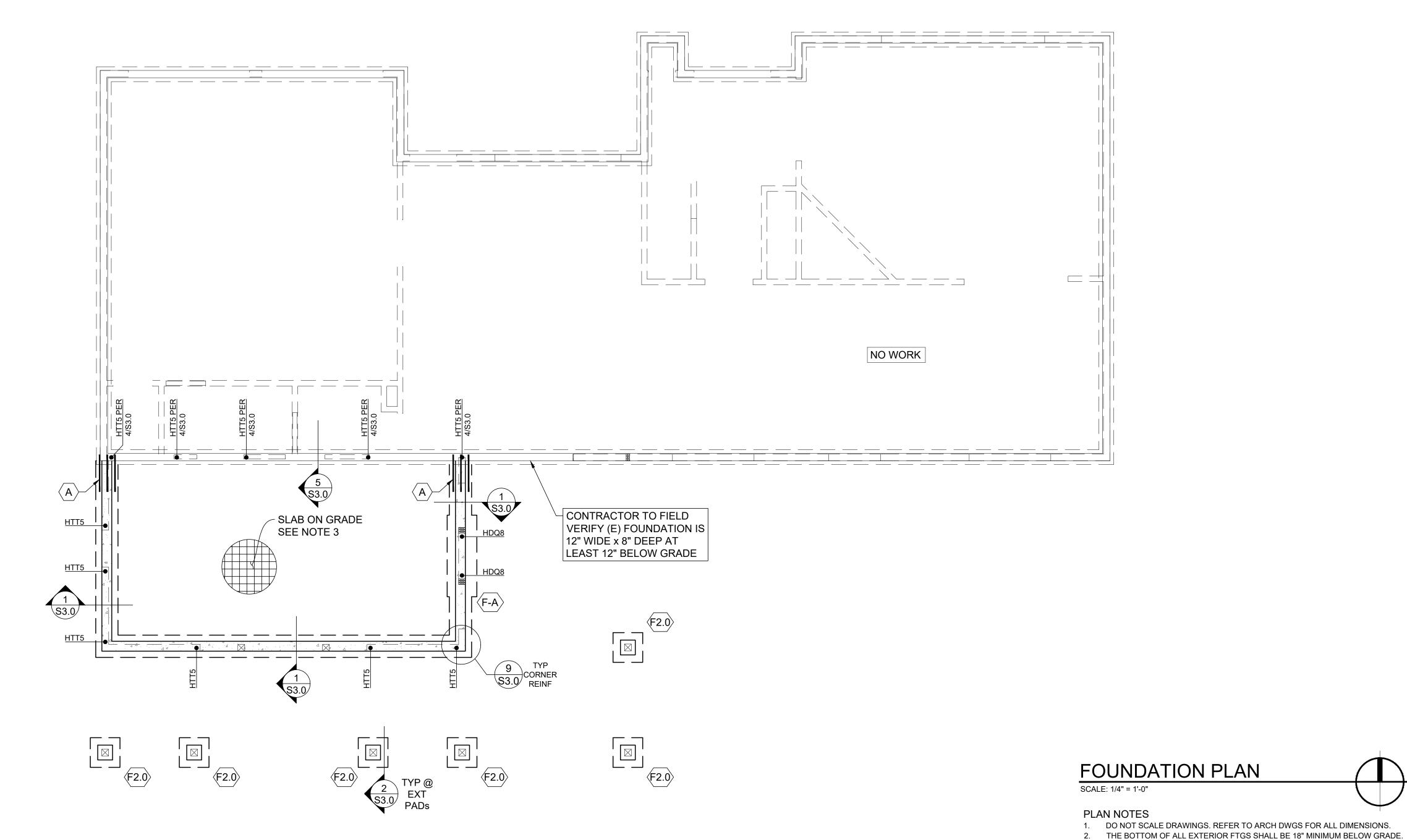
ABBREVIATIONS

& LEGEND

Job No. 22-053

Sheet No.

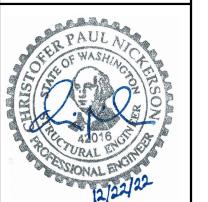
S1.0



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ADDITION

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Sheet Contents

3. 4" CONCRETE SLAB OVER 6 MIL VAPOR BARRIER ON 6" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL. 4. HTTXX INDICATES HOLD-DOWN @ END OF SHEAR WALL ABOVE. SEE DETAIL 3/S3.0

5. HDQ8 INDICATES HOLD-DOWN @ END OF SHEAR WALL ABOVE. SEE DETAIL 6/S3.0

6. F# INDICATES FOOTING MARK. SEE FOOTING SCHEDULE FOR SIZE & REINFORCING. 7. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

FOR INSTALLATION REQUIREMENTS.

FOR INSTALLATION REQUIREMENTS.

FOUNDATION

Job No. 22-053

Sheet No.

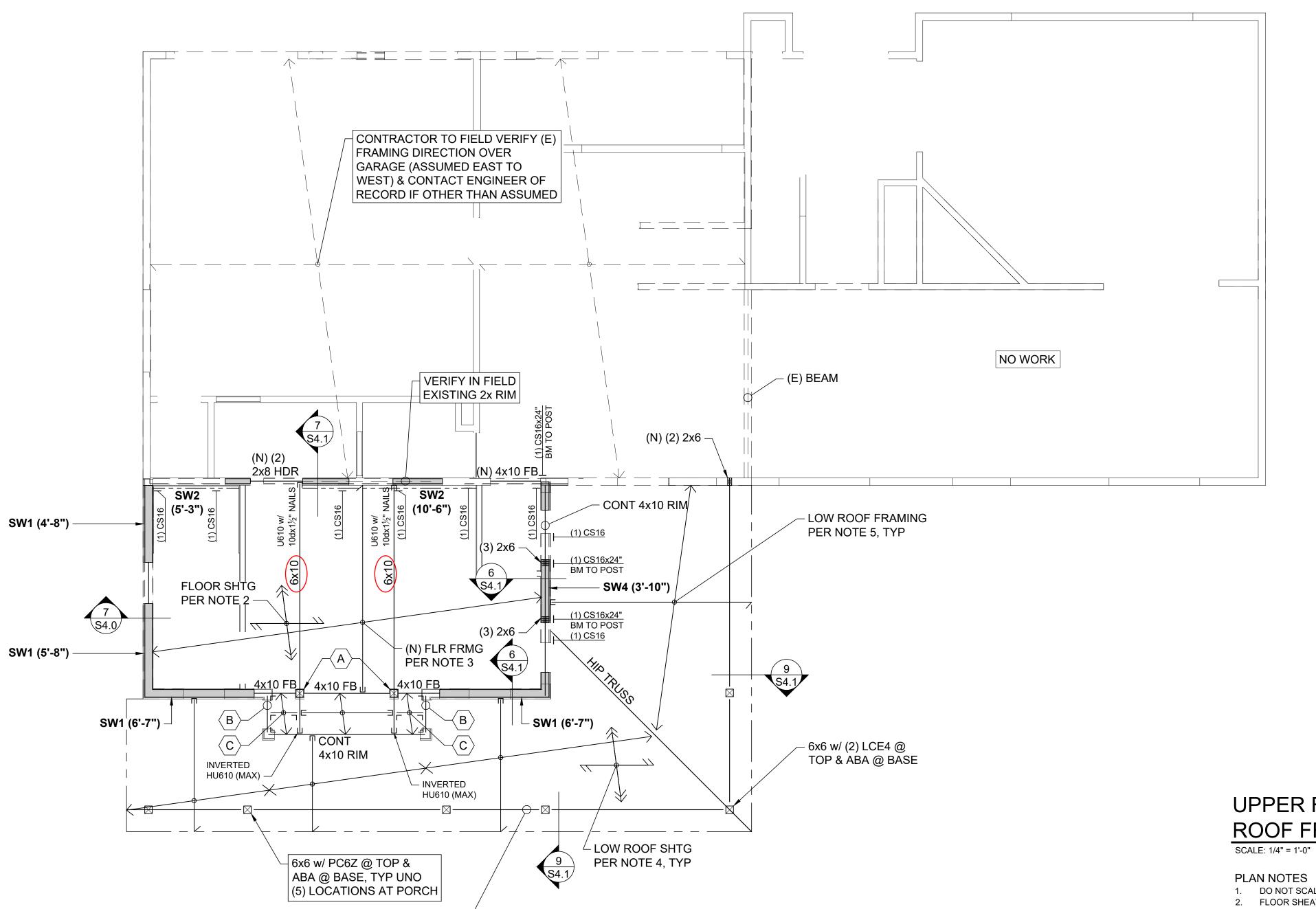
HATCH LEGEND

NEW CONCRETE WALLS BELOW

FOOTING SCHEDULE MARK SIZE REINFORCEMENT F2.0 (2)#4 EW 3" FROM BOT 2'-0" x 2'-0" x 8" DP (F-A) #4 @ 12"O.C. EW TOP & BOT 2'-0" x 5'-6" x 12" DP

KEY NOTE LEGEND

PROVIDE #4x2'-6" DOWELS EMBEDDED 5" MIN INTO EXISTING CONCRETE TO MATCH NEW HORIZ WALL & FTG REINF QTY AND SPACES, EPOXY W/ AT-XP HIGH STRENGTH EPOXY AS MANUF. BY SIMPSON



HATCH LEGEND

NEW STRUCTURAL WALLS BELOW

A 6x6 w/ CCTQ

(2) 2x10 RIM w/ A35 EACH END

(C) 2x10 @ 16"O.C. w/ A35 EACH END

KEY NOTE LEGEND

6x8 DROPPED BM, TYP UNO

(6) LOCATIONS @ PORCH

UPPER FLOOR & LOW ROOF FRAMING PLAN

AN NOTES

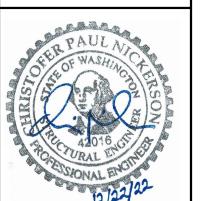
- DO NOT SCALE DRAWINGS. REFER TO ARCH DWGS FOR ALL DIMENSIONS.
 FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). GLUE AND NAIL @ ALL FRAMED PANEL EDGES WITH 8d @ 6"OC AND TO ALL INTERMEDIATE FRAMING @ 12"OC
- 3. FLOOR JOISTS SHALL BE 2x10 @ 16"OC TYPICAL JOIST HANGERS TO BE SIMPSON LUS OR
- 4. LOW ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING @ ALL FRAMED PANEL EDGES WITH 8D @ 6"OC AND TO ALL INTERMEDIATE FRAMING @ 12"OC.
- LOW ROOF FRAMING SHALL BE PREFABRICATED JACK ROOF TRUSSES @ 24"OC. TRUSS DESIGN TO BE PROVIDED BY OTHERS. SEE STRUCTURAL NOTES FOR DESIGN REQUIREMENTS.
- NEW HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2) 2x8 MINIMUM. PROVIDE (2) TRIMMER STUDS MIN @ EA END OF ALL HEADERS U.N.O. SEE DETAIL 4/S4.0 FOR TYPICAL INSTALLATION.
- 7. PROVIDE (2) STUDS MINIMUM @ EACH END OF ALL NEW BEAMS U.N.O. ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN & PROVIDE POSITIVE CONNECTION BY EITHER A35 OR LTP4 CLIPS ON EA SIDE OF BEAM OR W/ AN AC, PC, OR LPC CAP.
- 8. SW# (X'-X") INDICATES NEW SHEAR WALL TYPE AND APPROXIMATE LENGTH. SEE 1/S4.0 FOR
- CONSTRUCTION REQUIREMENTS.

 9. ALL NEW EXTERIOR WALLS SHALL BE SW1, U.N.O. ON PLANS.
- 10. TYPICAL NEW TOP PLATE CONSTRUCTION PER 3/S4.0.
- 11. (X)CS16 INDICATES VERTICAL HOLD-DOWN STRAP @ END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QTY. SEE DETAIL 8/S4.0 FOR INSTALLATION REQUIREMENTS.
- 12. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

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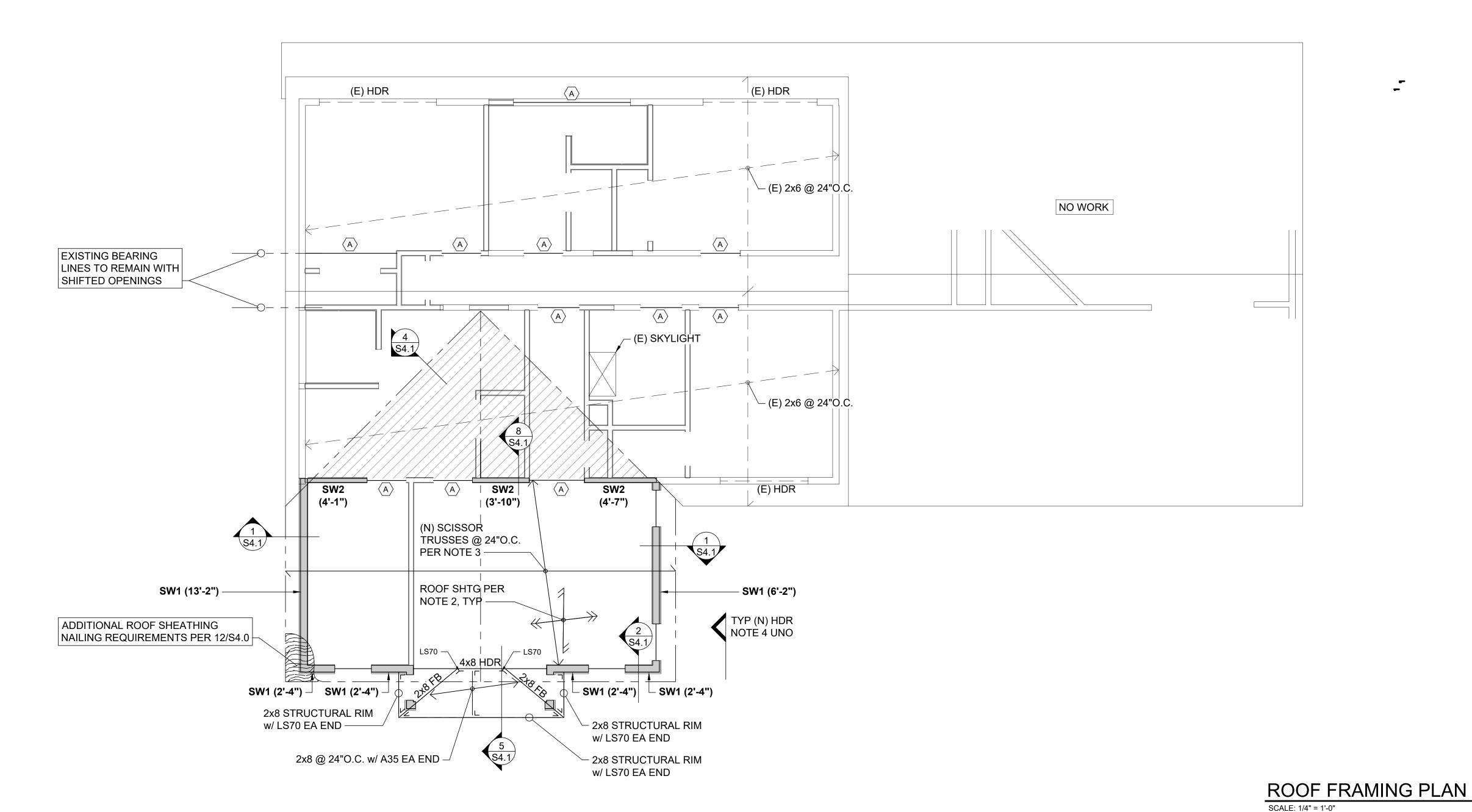
Sheet Contents

UPPER FLOOR & LOW ROOF FRAMING PLAN

Job No. 22-053

Sheet No.

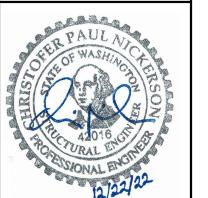
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PLAN NOTES

1. DO NOT SCALE DRAWINGS. REFER TO ARCH DWGS FOR ALL DIMENSIONS.

- 2. NEW ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING @ ALL FRAMED PANEL EDGES WITH 8d @ 6"OC AND TO ALL INTERMEDIATE FRAMING @ 12"OC.
- 3. NEW ROOF FRAMING SHALL BE PREFABRICATED ROOF SCISSOR TRUSSES @ 24"OC. TRUSS DESIGN TO BE PROVIDED BY OTHERS. SEE STRUCTURAL NOTES FOR DESIGN REQUIREMENTS.
- NEW HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2) 2x8 MINIMUM. PROVIDE
 (2) TRIMMER STUDS MIN @ EA END OF ALL HEADERS U.N.O. SEE DETAIL 4/S4.0 FOR TYPICAL INSTALLATION.
- 5. PROVIDE (2) STUDS MINIMUM @ EACH END OF NEW ALL BEAMS U.N.O. ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN & PROVIDE POSITIVE CONNECTION BY EITHER A35 OR
- LTP4 CLIPS ON EA SIDE OF BEAM OR W/ AN AC, PC, OR LPC CAP.

 6. SW# (X'-X") INDICATES NEW SHEAR WALL TYPE AND APPROXIMATE LENGTH. SEE 1/S4.0 FOR CONSTRUCTION REQUIREMENTS.
- 7. ALL NEW EXTERIOR WALLS SHALL BE SW1, U.N.O. ON PLANS.
- TYPICAL NEW TOP PLATE CONSTRUCTION PER 3/S4.0.
 OVERFRAMING TYP TO BE 2X6'S @ 24"OC W/ VERT SUPPORT TO TRUSSES BELOW @ NO MORE THAN 48"OC
- 10. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

HATCH LEGEND

NEW STRUCTURAL WALLS BELOW

OVERFRAMING PER NOTE 9

A NEW (2) 2x8 HEADER

KEY NOTE LEGEND

0 4' 8' 16'

Sheet No.

Sheet Contents

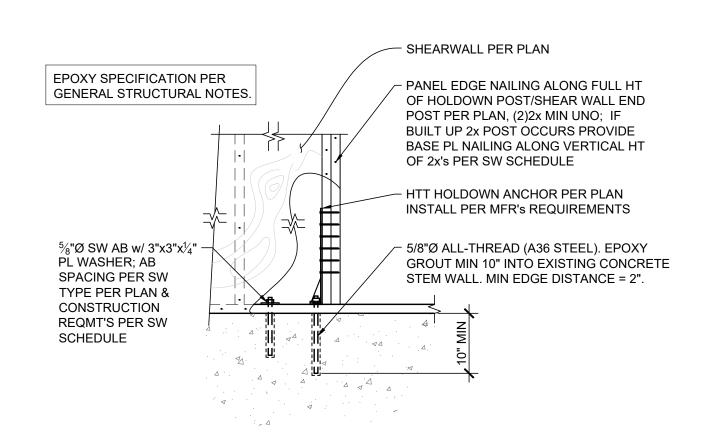
Job No.

ROOF FRAMING

PLAN

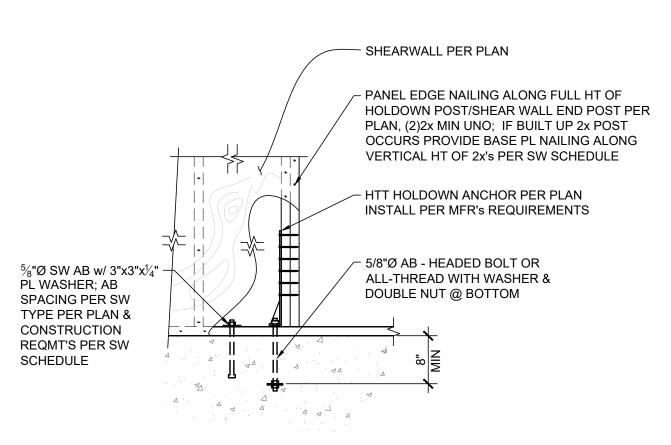
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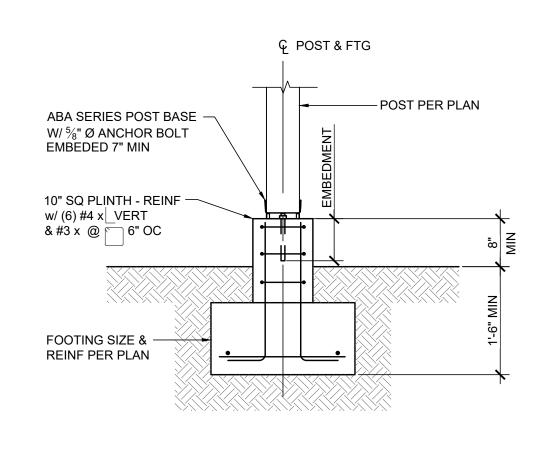
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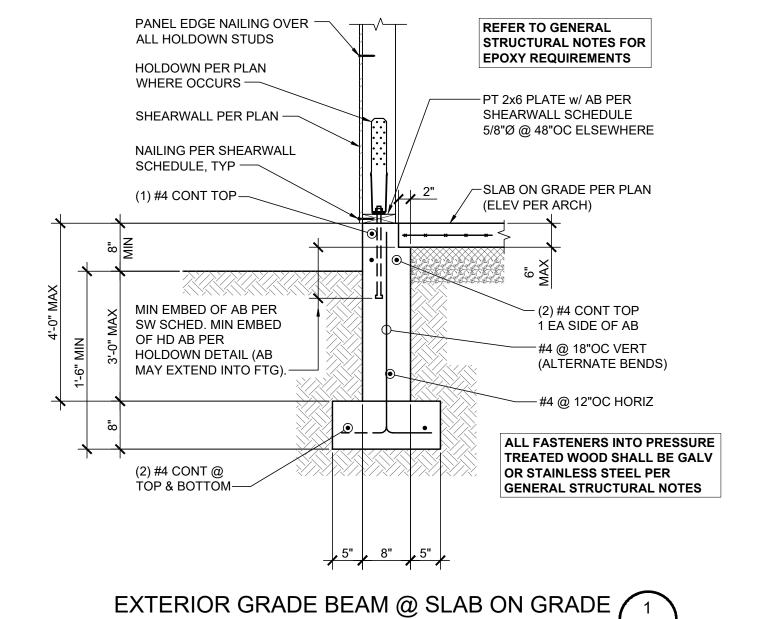


HTT RETROFIT HOLDOWN ANCHOR

SCALE: 3/4" = 1'-0"







TYPICAL HTT HOLDOWN ANCHOR

SCALE: 3/4" = 1'-0"

\$3

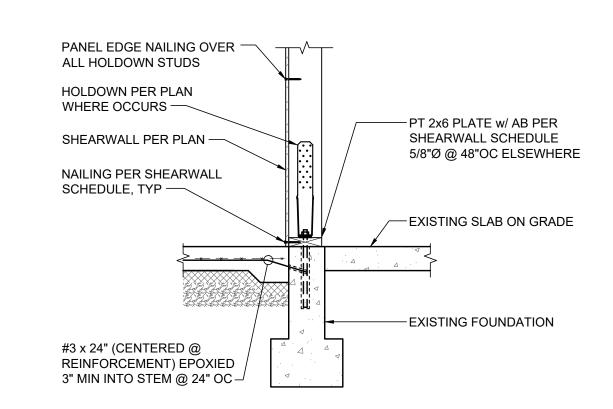
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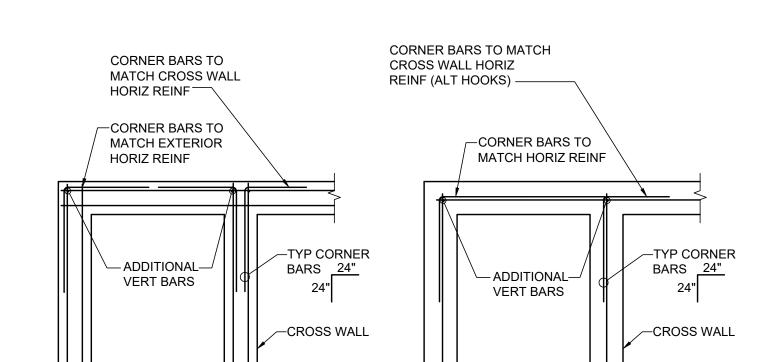
EXTERIOR POST FOOTING

SCALE: 3/4" = 1'-0"

2

S3.0



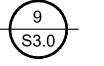


NEW SLAB AGAINST EXISTING FOUNDATION (5)

DOUBLE CURTAIN

SINGLE CURTAIN

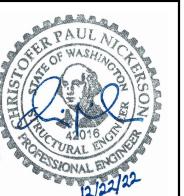
TYP CORNER BARS @ CONC WALLS & FTGS (



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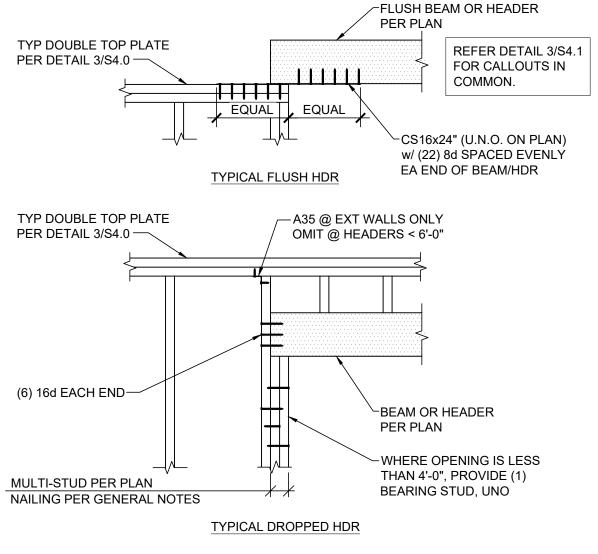
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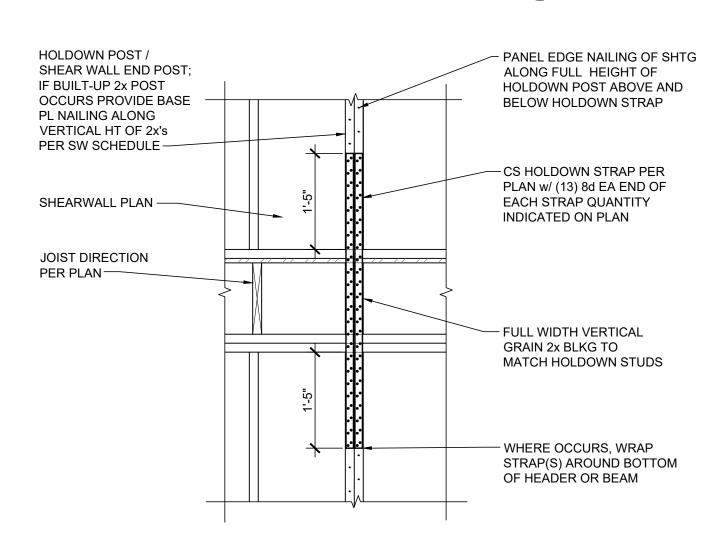
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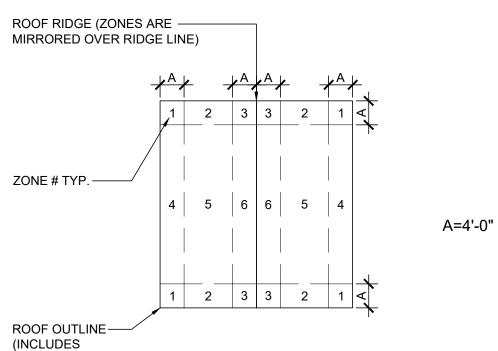
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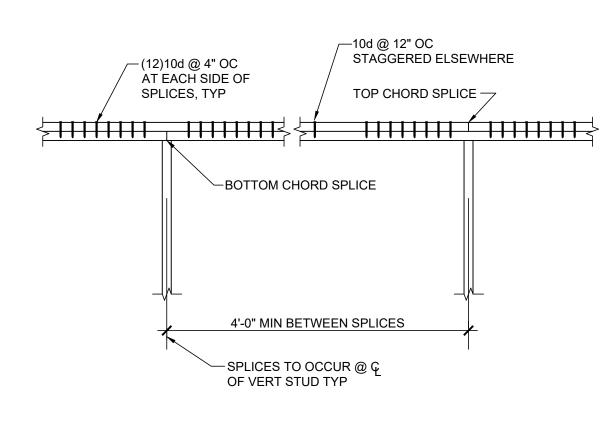




OVERHANGS)

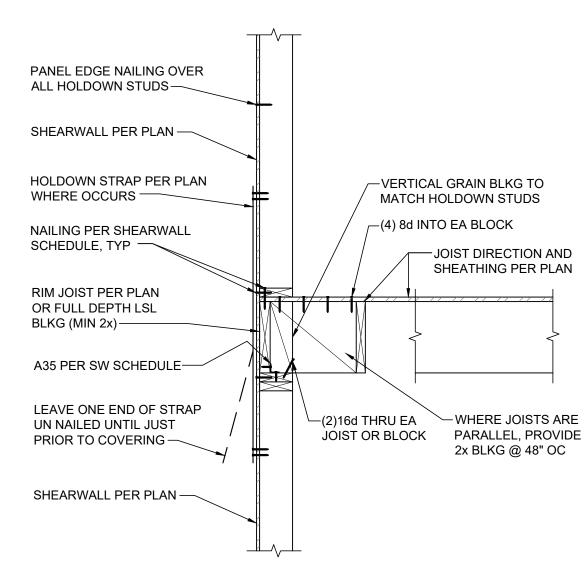
ZONE	PANEL EDGE NAILING	INTERMEDIATE FRAMING NAILING
1	8d @ 6" OC	8d @ 6" OC
2	8d @ 6" OC	8d @ 12" OC
3	8d @ 6" OC	8d @ 12" OC
4	8d @ 6" OC	8d @ 12" OC
5	8d @ 6" OC	8d @ 12" OC
6	8d @ 6" OC	8d @ 12" OC









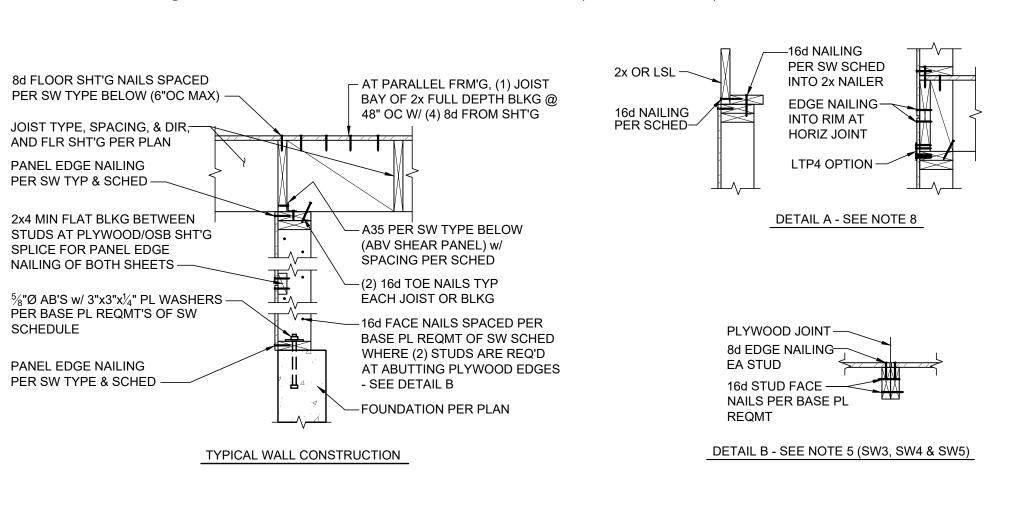


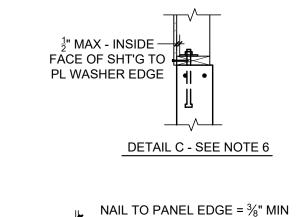
EXTERIOR WALL @ FLOOR 7
SCALE: 3/4" = 1'-0"
S4.0

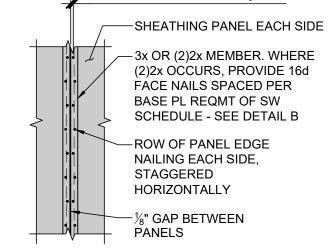
SHEARWALL (SW) SCHEDULE 147

SUEATUING	PANEL EDGE	8 10 TOP PL	BASE PLATE	CONNECTION
9	_	_	at WOOD	at CONCRETE③
½" PLYWOOD	8d @ 6"OC	A35 @ 24"OC	16d @ 6"OC	5% "Ø AB @ 48 "OC
½" PLYWOOD	8d @ 4"OC	A35 @ 16"OC	16d @ 4"OC	5%"Ø AB @ 32"OC
½" PLYWOOD	8d @ 3"OC	A35 @ 12"OC	16d @ 3"OC	5%"Ø AB @ 16"OC 6
½" PLYWOOD	8d @ 2"OC	A35 @ 9"OC	(2) ROWS 16d @ 4½"OC	5/8"Ø AB @ 12"OC 6
½" PLYWOOD EACH SIDE	8d @ 3"OC EACH SIDE	A35 @ 6"OC	(2) ROWS 16d @ 3"OC	5%"Ø AB @ 12"OC 6
	½" PLYWOOD ½" PLYWOOD ½" PLYWOOD ½" PLYWOOD ½" PLYWOOD	9 NAILING 2 ½" PLYWOOD 8d @ 6"OC ½" PLYWOOD 8d @ 4"OC ½" PLYWOOD 8d @ 3"OC ½" PLYWOOD 8d @ 2"OC ½" PLYWOOD 8d @ 3"OC	9 NAILING 2 CONNECTION 1/2" PLYWOOD 8d @ 6"OC A35 @ 24"OC 1/2" PLYWOOD 8d @ 4"OC A35 @ 16"OC 1/2" PLYWOOD 8d @ 3"OC A35 @ 12"OC 1/2" PLYWOOD 8d @ 2"OC A35 @ 9"OC 1/2" PLYWOOD 8d @ 3"OC A35 @ 6"OC	SHEATHING PANEL EDGE NAILING (2) TOP PL CONNECTION at WOOD ½" PLYWOOD 8d @ 6"OC A35 @ 24"OC 16d @ 6"OC ½" PLYWOOD 8d @ 4"OC A35 @ 16"OC 16d @ 4"OC ½" PLYWOOD 8d @ 3"OC A35 @ 12"OC 16d @ 3"OC ½" PLYWOOD 8d @ 2"OC A35 @ 9"OC (2) ROWS 16d @ 4½"OC ½" PLYWOOD 8d @ 3"OC A35 @ 6"OC (2) ROWS 16d

- 1) BLOCK PANEL EDGES WITH 2x LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"OC.
- 2 8d NAILS SHALL BE 0.131"Ø x $2\frac{1}{2}$ " (COMMON); ACCEPTABLE SUBSTITUTE FOR 8d's ARE 10d's OF 0.131"Ø x 3" AT CONTRACTOR'S OPTION; 16d NAILS SHALL BE 0.135"Ø x $3\frac{1}{2}$ " (BOX), 0.148"Ø x $3\frac{1}{4}$ " (SINKER), OR 0.162"Ø x $3\frac{1}{2}$ " (COMMON WIRE)
- 3 EMBED ANCHOR BOLTS (AB'S) 7" MIN & PROVIDE 3"x3"x¼" PL WASHER AT EA AB; EXPANSION BOLTS, TITEN HD ANCHORS, OR EPOXY EMBEDDED THREADED RODS MAY BE POST INSTALLED IN LIEU OF AB'S; ALL POST INSTALLED ANCHORS SHALL HAVE 3"x3"x¼" PL WASHER; EPOXY EMBEDDED OPTION SHALL UTILIZE SIMPSON AT-XP EPOXY.
- (2)2x STUDS MIN ARE REQUIRED AT THE END OF ALL SHEAR WALLS TO RECEIVE THE PANEL EDGE NAILING, UNLESS NOTED OTHERWISE. AT BUILT-UP 2x STUDS, PROVIDE 16d FACE NAILS ALONG FULL HEIGHT OF 2x'S, SPACED PER BASE PLATE NAILING REQUIREMENTS OF THE SPECIFIC SW TYPE (PER PLAN).
- (5) SW3, SW4 & SW5 REQUIREMENTS: 3x STUDS OR (2) 2x STUDS ARE REQUIRED AT ABUTTING PANEL EDGES. WHERE (2)2x STUDS ARE UTILIZED, PROVIDE 16d FACE NAILS ALONG FULL HEIGHT OF 2x'S, SPACED PER BASE PLATE NAILING REQUIREMENTS OF THE SPECIFIC SW TYPE (PER PLAN) SEE DETAIL B. EACH ROW OF PANEL EDGE NAILING TO BE STAGGERED HORIZONTALLY SEE DETAIL D. FOR SW5, ABUTTING PANEL EDGES SHALL BE OFFSET EACH SIDE OF WALL.
- 6 SW3, SW4 & SW5 ANCHOR BOLT & PLATE WASHER PLACEMENT PLATE WASHERS SHALL BE NO MORE THAN ½" FROM INTERIOR FACE OF SHEATHING/SILL PLATE EDGE WHERE NAILING OCCURS SEE DETAIL C. AT SW5, ANCHOR BOLTS TO BE STAGGERED.
- (7) ALL EXTERIOR WALLS SHALL BE SW1, UNLESS NOTED OTHERWISE.
- 8 ALTERNATIVE CONNECTIONS FOR A35'S: LTP4 FLAT PL'S AT SAME SPACING FROM RIM/BLOCKING/BEAM TO TOP PL'S. WHEN LTP4'S ARE INSTALLED OVER ½" SHEATHING, PROVIDE 0.131"Ø x 2½" NAILS INSTEAD. OTHER ALTERNATIVE CONNECTIONS FOR A35'S: A 2x NAILER FOR CEILING CONNECTION, OR THE HORIZONTAL SHEATHING SPLICE/JOINT TO OCCUR ON RIM/BLKG/BEAM (ABOVE TOP PL'S & BELOW BOTTOM PL) SEE DETAIL A. AT SW5 & SW6, INSTALL LTP4 FLAT PL'S AS SPECIFIED TO EACH SIDE OF FULL DEPTH BLOCKING OR BEAM. BLOCKING/BEAM WIDTH TO MATCH SW WIDTH.
- $9^{7/6}$ " OSB IS ACCEPTABLE SUBSTITUTE FOR $\frac{1}{2}$ " CDX PLYWOOD w/ SIMILAR SPAN RATING.
- ① ALL RIMS TO BE 2x TO MATCH FLOOR/DECK JOISTS ADJACENT (10" OR 12" PER PLAN) MIN U.N.O. AS WIDER PER PLAN.







DETAIL D - SEE NOTE 5 (SW3, SW4 & SW5)

SHEARWALL SCHEDULE AND TYPICAL CONSTRUCTION

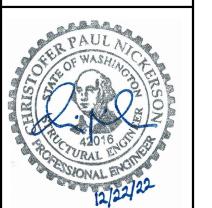


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Stated drawing scale is based on

36" x 24" sheet.



ELLING ADDITION
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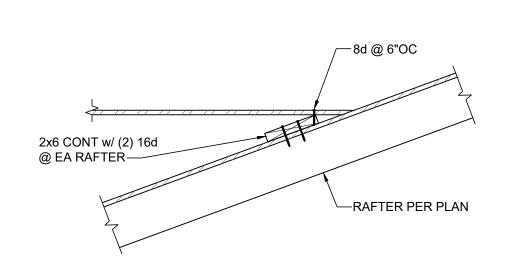
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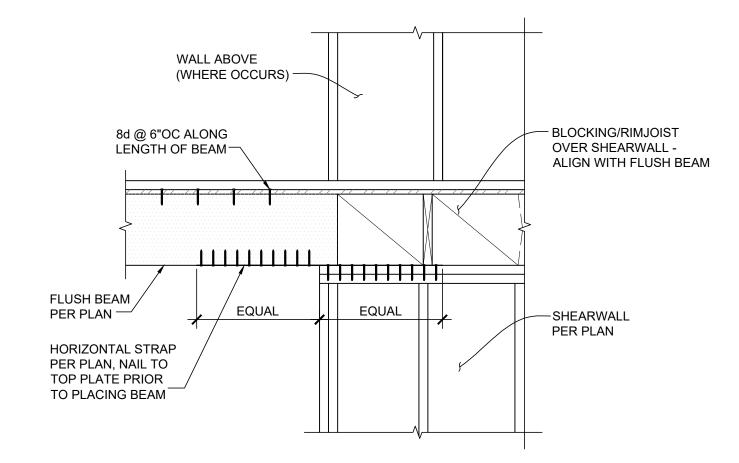
FRAMING DETAILS

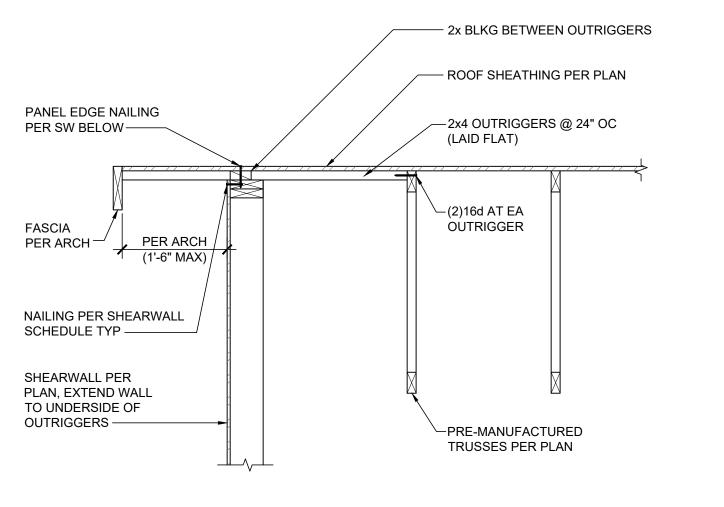
Job No. **22-053**

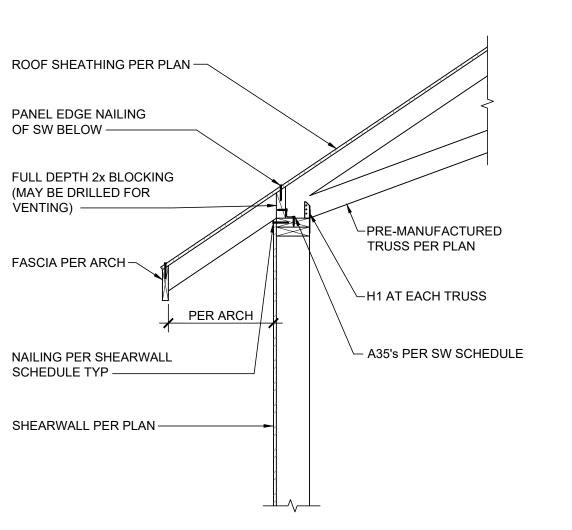
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-NEW ROOF SHEATHING (OVERFRAMING NOT

SHOWN FOR CLARITY)

- VERIFY OR PROVIDE PANEL

EXISTING CEILING FRAMING,

- A35's PER SW SCHEDULE

(@ 24" OC ELSEWHERE)

ROOF FRAMING AND SHEATHING

EDGE NAILING PER PLAN

INTO 2x BLKG EACH BAY

PANEL EDGE NAILING PER PLAN INTO DOUBLE TOP PLATE -

SCISSOR TRUSSES

INFILL WALL FRAMING,

PANEL EDGE NAILING

PANEL EDGE NAILING

PER SW SCHEDULE —

SW PER PLAN-

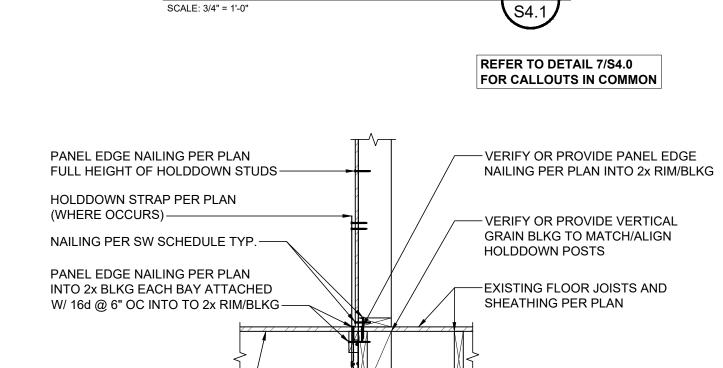
PER SW SCHEDULE -

SW BELOW (SW1 U.N.O) —

SHEATHE AND NAIL TO MATCH

AND SHEATHING

PER PLAN-



— A35's PER SW SCHEDULE

(@ 24" OC ELSEWHERE)

TYPICAL DRAG STRUT STRAP 3



-8d @ 6" OC

-2x BLKG EACH BAY

SW PER PLAN-

PANEL EDGE NAILING PER

PORCH TRUSSES AND

SHEATHING PER PLAN-

NAILING PER SW

SCHEDULE TYP.-

ATTACHED W/ (3) ROWS OF #10x3½"

RIM PER PLAN-

SCREWS @ 6" OC TO

HANGER PER TRUSS

RIM PER PLAN W/ PANEL EDGE NAILING

PER PLAN AT TOP (SIZE MAY VARY)-

NAILING PER SW SCHEDULE

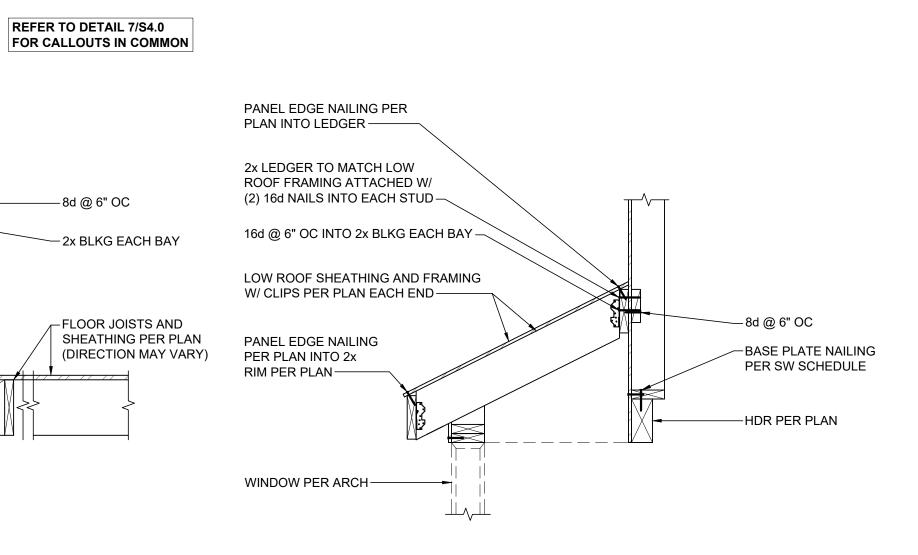
MANUFACTURER -

SW PER PLAN-

2x10 LEDGER

PLAN INTO 2x BLKG EACH BAY —

ATTACH BLKG W/ 16d @ 6" OC —



EXTERIOR WALL @ EAVE

NEW ROOF AT OVERFRAMING SCALE: 3/4" = 1'-0"

NEW FLOOR FRAMING AT EXISTING EXTERIOR WALL SCALE: 3/4" = 1'-0"

NEW FLOOR FRAMING AND

SHEATHING PER PLAN—

LUS SERIES HANGERS

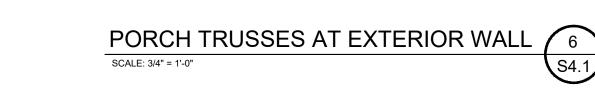
W/ 10d x 1½" NAILS TO 2x RIM/BLKG

PANEL EDGE NAILING

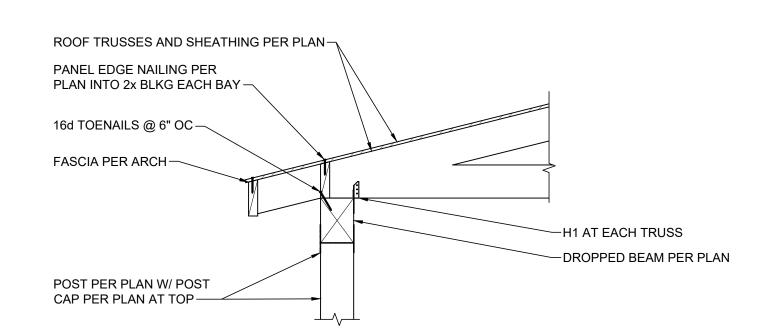
PER SW SCHEUDULE —

VERIFY OR PROVIDE 2x4 (MIN) STUDS @ 24" OC MAX WALL FRAMING FOR SW PER PLAN -

SW PER PLAN





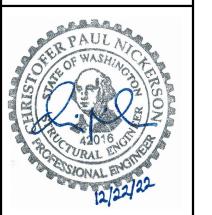


PORCH TRUSSES AT DROPPED BEAMS SCALE: 3/4" = 1'-0"

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ADDITION TLING

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Sheet Contents

FRAMING DETAILS

Job No. 22-053

Sheet No.