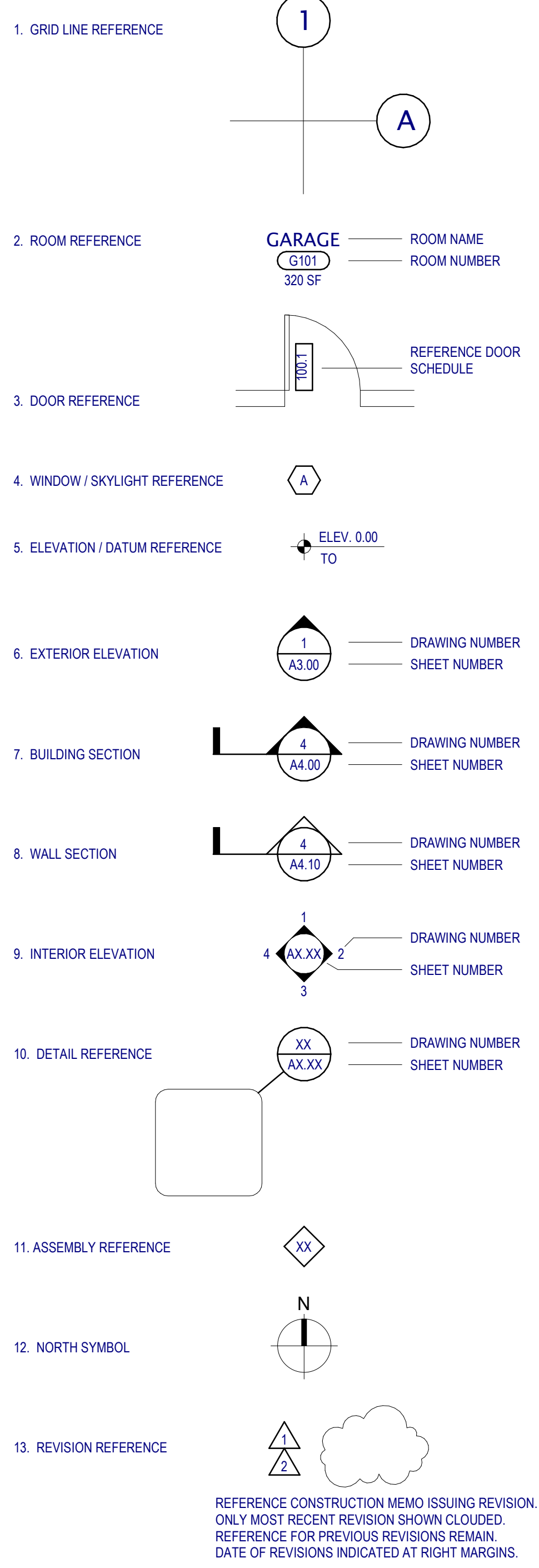


### ABBREVIATIONS

@	AT	HB	HOSE BIBB	T	TREAD
⊕	CENTERLINE	HC	HOLLOW CORE	T&G	TONGUE AND GROOVE
≠	PROPERTY LINE	HDO	HIGH DENSITY OVERLAY	TEL	TELEPHONE
Ø	DIAMETER	HDR	HEADER	TER	TERRAZZO
#	POUND OR NUMBER	HDWD	HARDWOOD	TG	TEMPERED GLASS
(E)	EXISTING	HDW	HARDWARE	THK	THICK
(N)	NEW	HM	HOLLOW METAL	TO	TOP OF
AB	ANCHOR BOLT	HORIZ	HORIZONTAL	TOB	TOP OF BEAM
ABV	ABOVE	HP	HIGH POINT	TOC	TOP OF CONCRETE: CURB
ACC	ACCESS	HR	HOUR	TOF	TOP OF FLOOR, FOOTING, FRAME
ACCUS	ACOUSTICAL	HT	HEIGHT	TOM	TOP OF MASONRY
ACP	ASPHALT CONCRETE PAVING	HVAC	HEATING/VENTILATING/AIR	TOP	TOP OF PARAPET; PAVEMENT
ACS	ACCESS PANEL	INCL	INCLUDED	TOPO	TOPOGRAPHY
ACT	ACOUSTICAL TILE	HW	HOT WATER	TOS	TOP OF SLAB, STEEL
AD	AREA DRAIN	HWT	HOT WATER TANK	TOW	TOP OF WALL
ADA	AMERICANS WITH DISABILITIES	ID	INSIDE DIAMETER	TS	TUBE STEEL
ADJ	ADJUSTABLE	IN	INCH	TSAT	THERMOSTAT
AFF	ABOVE FINISHED FLOOR	INCL	INCLUDED	TYP	TYPICAL
AGGR	AGGREGATE	INSUL	INSULATION	UNO	UNLESS OTHERWISE NOTED
AIB	AIR INFILTRATION BARRIER	INT	INTERIOR	VB	VINYL BASE
ALT	ALTERNATE	INV	INVERT	VEN	VENEER
ALUM	ALUMINUM	JB	JUNCTION BOX	VERT	VERTICAL
APPROX	APPROXIMATE	JF	JOINT FILLER	VEST	VESTIBULE
ARCH	ARCHITECTURAL	JT	JOINT	VG	VERTICAL GRAIN
ASPH	ASPHALT	KIT	KITCHEN	VIF	VERIFY IN FIELD
AUTO	AUTOMATIC	KO	KNOCKOUT	VT	VINYL TILE
		W	WEST		
BD	BOARD	WI	WITH		
BTUM	BITUMINOUS	W/O	WITHOUT		
BLDG	BUILDING	WC	WATER CLOSET		
BLKG	BLOCKING	WD	WOOD		
BM	BEAM	WDW	WINDOW		
BO	BOTTOM OF...	WF	WIDE FLANGE		
BOT	BOTTOM	WF BM	WIDE FLANGE BEAM		
BRG	BEARING	WG	WIRE GLASS		
BSMT	BASEMENT	WH	WATER HEATER		
BUR	BUILT UP ROOFING	WL	WATER LINE		
		WLD	WELDED		
CAB	CABINET	WP	WATERPROOF		
CB	CATCH BASIN	WPM	WATERPROOF MEMBRANE		
CEM	CEMENT	WR	WATER RESISTANT		
CER	CERAMIC	WSCT	WAINSCOT		
CIP	CAST-IN-PLACE	WSG	WIRE SAFETY GLASS		
CJ	CONTROL JOINT	WTR	WATER		
CLG	CEILING	WWF	WELDED WIRE FABRIC		
CLK	CALKING	WWM	WELDED WIRE MESH		
CLO	CLOSET	WT	WEIGHT		
CLR	CLEAR				
CMU	CONCRETE MASONRY UNIT	MAS	MASONRY		
CNTR	COUNTER	MATL	MATERIAL		
COL	COLUMN	MAX	MAXIMUM		
CONC	CONCRETE	MB	MACHINE BOLT		
CONN	CONNECTION	MC	MEDICINE CABINET		
CONST	CONSTRUCTION	MDF	MEDIUM DENSITY FIBERBOARD		
CONT	CONTINUOUS	MDO	MEDIUM DENSITY OVERLAY		
CONTR	CONTRACTOR	MECH	MECHANICAL		
CORR	CORRIDOR	MEMB	MEMBRANE		
CPT	CARPET; CARPETED	MEZZ	MEZZANINE		
CRS	COLD ROLLED STEEL	MFR	MANUFACTURER		
CSK	COUNTERSUNK	MIN	MINIMUM		
CT	CERAMIC TILE	MIR	MIRROR		
CTR	CENTER	MISC	MISCELLANEOUS		
CU FT	CUBIC FEET	MO	MASONRY OPENING		
		MTD	MOUNTED		
DBL	DOUBLE	MTL	METAL		
DEMO	DEMOLITION	MUL	MULLION		
DET	DETAIL				
DIA	DIAMETER	N	NORTH		
DIM	DIMENSION	N/A	NOT APPLICABLE		
DL	DEAD LOAD	NIC	NOT IN CONTRACT		
DN	DOWN	NO	NUMBER		
DR	DOOR	NOM	NOMINAL		
DR OPNG	DOOR OPENING	NR	NOISE REDUCTION		
DS	DOWNSPOUT	NTS	NOT TO SCALE		
DSP	DRY STANDPIPE	OA	OVERALL		
DT	DRAIN TILE	OC	ON CENTER		
DW	DISHWASHER	OD	OUTSIDE DIAMETER		
DWG	DRAWING	OFF	OFFICE		
		OH	OVERHEAD		
E	EAST	OHMM	ORDINARY HIGH WATER MARK		
EA	EACH	OPNG	OPENING		
EJ	EXPANSION JOINT	OPP	OPPOSITE		
EL	ELEVATION	OSB	ORIENTED STRAND BOARD		
ELEC	ELECTRICAL				
ELEV	ELEVATOR	PBD	PARTICLE BOARD		
ENCL	ENCLOSURE	PCC	PRECAST CONCRETE		
EQ	EQUAL	PCF	POUNDS PER CUBIC FOOT		
EQUIP	EQUIPMENT	PERF	PERFORATED		
EST	ESTIMATE	PERP	PERPENDICULAR		
EW	EACH WAY	PL	PLATE		
EXH FN	EXHAUST FAN	PLAM	PLASTIC LAMINATE		
EXIST	EXISTING	PLAS	PLASTER		
EXP	EXPANDED, EXPANSION	PLWD	PLYWOOD		
EXP BT	EXPANSION BOLT	PNL	PANEL		
EXPO	EXPOSED	PNT	POINT		
EXT	EXTERIOR	PR	PAIR		
		PROCAST	PRECAST		
FA	FIRE ALARM	PSF	POUNDS PER CUBIC FOOT		
FB	FLAT BAR	PSI	POUNDS PER SQUARE INCH		
FD	FLOOR DRAIN	PT	PRESERVATIVE TREATED		
FE	FIRE EXTINGUISHER	PTN	PARTITION		
FEC	FIRE EXTINGUISHER CABINET	PVC	POLYVINYL CHLORIDE		
FF EL	FINISH FLOOR ELEVATION				
FH	FIRE HYDRANT	R	RISER		
FHC	FIRE HOSE CABINET	RA	RETURN AIR		
FIN FLR	FINISH FLOOR	RAD	RADIUS		
FF	FINISH TO FINISH	RD	ROOF DRAIN		
FIN	FINISH	REF	REFERENCE		
FLASH	FLASHING	REFR	REFRIGERATOR		
FLR	FLOOR; FLOORING	REG	REGISTER		
FLUOR	FLUORESCENT	REINF	REINFORCED		
FOC	FACE OF CONCRETE	REM	REMAINDER		
FOF	FACE OF FINISH	REQ	REQUIRED		
FOIC	FURNISHED BY OWNER - INSTALLED BY CONTRACTOR	RESIL	RESILIENT		
		REV	REVISION; REVISIONS; REVISED		
FOM	FACE OF MASONRY	RH	RIGHT HAND		
FOS	FACE OF STUDS	RM	ROOM		
FP	FIREPROOF	RO	ROUGH OPENING		
FPL	FIREPLACE	RWL	RAIN WATER LEADER		
FR	FRAME				
FT	FOOR OR FEET	S	SOUTH		
FTG	FOOTING	SAF	SELF-ADHERED FLASHING		
FURR	FURRING	SAM	SELF-ADHERED MEMBRANE		
FUTURE	FUTURE	SC	SOLID CORE		
FW	FULL WIDTH	SCHED	SCHEDULE		
		SD	SMOKE DETECTOR		
GA	GAUGE	SECT	SECTION		
GALV	GALVANIZED	SG	SAFETY GLASS		
GC	GENERAL CONTRACTOR	SHV	SHELF; SHELVING		
GL	GLASS	SHR	SHOWER		
GLAM	GLUE-LAMINATED	SHT	SHEET		
GR	GRADE	SHT MTL	SHEET METAL		
GWB	GYPSUM WALL BOARD	SHTG	SHEATHING		
GYP	GYPSUM	SIM	SIMILAR		
		SOG	SLAB ON GRADE		
		SPEC	SPECIFICATION		
		SQ FT	SQUARE FOOT (FEET)		
		SQ IN	SQUARE INCH(ES)		
		SST	STAINLESS STEEL		
		STD	STANDARD		
		STL	STEEL		
		ST	STONE		
		STOR	STORAGE		
		STRUCT	STRUCTURAL		
		SUSP	SUSPENDED		
		SYM	SYMMETRICAL		

### SYMBOLS LEGEND



### ZONING / BUILDING CODE SUMMARY

**PROJECT ADDRESS:**  
8925 SE 58th St  
Mercer Island, WA 98040

**ASSESSOR'S PARCEL NUMBER:**  
228700-0050

**LEGAL DESCRIPTION:**  
EL DORADO ESTATES ADD

**APPLICABLE CODES:**  
Mercer Island Municipal Code  
Washington State Residential Code  
Washington State Energy Code

**AUTHORITY HAVING JURISDICTION:**  
City of Mercer Island

**LOT SIZE:**  
9,897 SF

**LAND USE DESIGNATION:**  
R-9.600

**PROJECT DESCRIPTION:**  
700 SF Addition to SFR

**HEIGHT:**  
ALLOWED: 30'  
PROPOSED: 23'

**YARD SETBACKS:**  
FRONT: 20'  
SIDE: 15' Aggregate, 5' Minimum  
REAR: 25'

**ENERGY CODE COMPLIANCE:**  
Washington State Energy Code Credits

**1.4 Efficient Building Envelope:** Vertical Fenestration U=0.25, Wall R-21 int + R-4 ci, Floor R-38, Slab on grade R-10 perimeter and under entire slab.

**5.5 Efficient Water Heating:** Electric heat pump water heater meeting the standards for Tier III of NECA's advanced water heating spec.

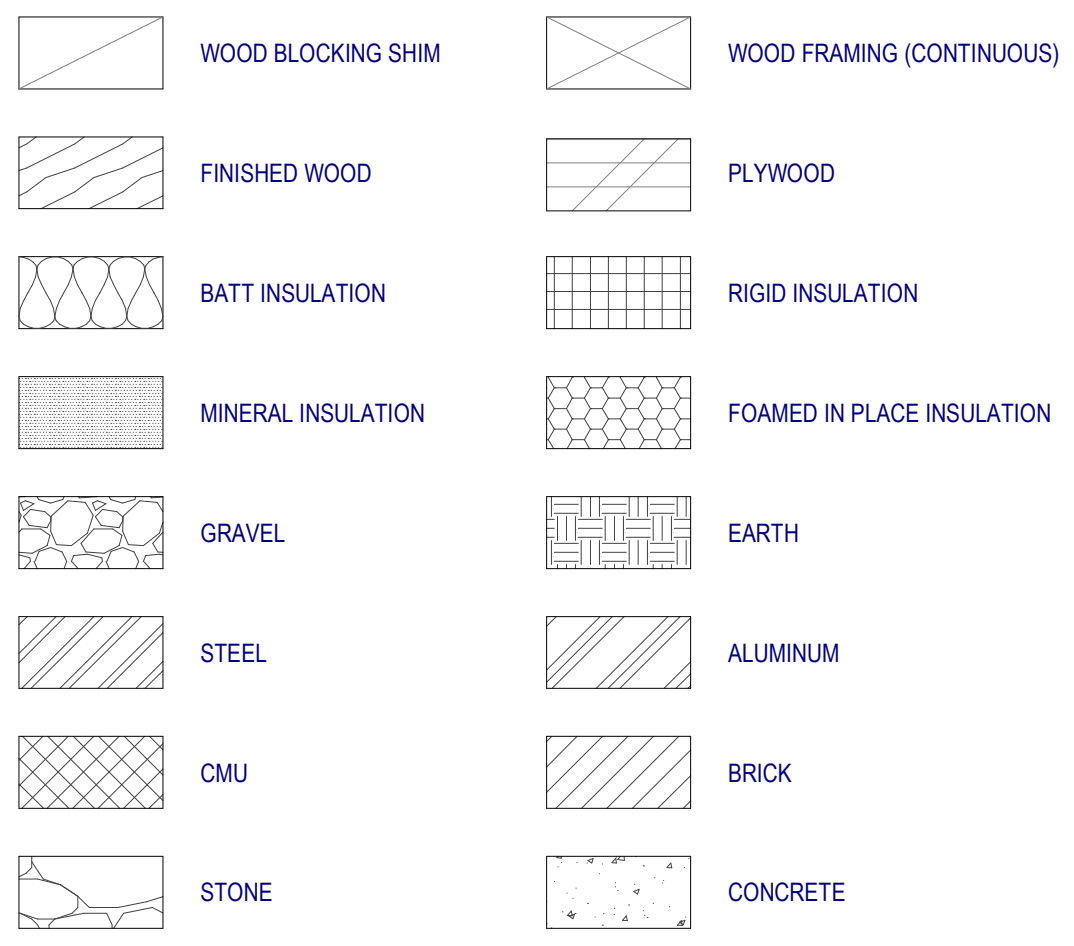
**VERTICAL GLAZING:** U 0.25  
**CEILING:** R-49  
**WALL ABOVE GRADE:** R-21+4 ci  
**FLOOR:** R-38  
**SLAB ON GRADE:** R-10

**GENERAL NOTES**

- CODES: ALL WORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING CODES AS AMENDED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT, BLOCKING, BACKING, AND JACKS REQUIRED FOR INSTALLATIONS.
- DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE / WOOD FRAMING UNLESS OTHERWISE NOTED.
- EXTERIOR WALL FRAMING 2x6 WOOD STUDS UNLESS OTHERWISE NOTED.
- INTERIOR WALL FRAMING 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.

**REFERENCE CONSTRUCTION MEMO ISSUING REVISION. ONLY MOST RECENT REVISION SHOWN CLOUDED. REFERENCE FOR PREVIOUS REVISIONS REMAIN. DATE OF REVISIONS INDICATED AT RIGHT MARGINS.**

### MATERIALS LEGEND



### PROJECT DIRECTORY

**OWNER:**  
Josh & Jordan Helling  
8925 SE 58th St  
Mercer Island, WA 98040

**ARCHITECT:**  
Christensen Architects LLC  
PRINCIPAL ARCHITECT: C.J. Christensen  
c@christensenarchitects.com

**STRUCTURAL ENGINEER:**  
Nickerson Engineering  
CONTACT: Jonathan Carlson  
carlson@nickersonengineering.com

**CONTRACTOR:**  
Aspen Homes NW  
Contact: Mike Yeganeh  
mike@aspenhomesnw.com

Christensen Architects

project:  
**HELLING ADDITION**  
8925 SE 58th St  
Mercer Island, WA 98040

principal architect \_\_\_\_\_  
project manager \_\_\_\_\_  
drawn by \_\_\_\_\_  
checked by \_\_\_\_\_  
job no. \_\_\_\_\_  
date 02/13/2023

revisions:  
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**PERMIT SET**  
02/13/2023

**GENERAL INFORMATION**

## A0.00

SHEET INDEX		
Sheet Filter	Sheet No.	SHEET NAME
GENERAL		
	A0.00	GENERAL INFORMATION
	A0.01	2018 IRC CODE INFORMATION
ARCHITECTURAL		
	A1.00	SITE PLAN
	A2.10	MAIN LEVEL PLAN
	A2.20	UPPER LEVEL PLAN
	A3.00	EXTERIOR ELEVATIONS
	A3.01	EXTERIOR ELEVATIONS
	A3.10	BUILDING SECTIONS
	A6.00	REFLECTED CEILING PLANS
STRUCTURAL		
	S1.0	GENERAL STRUCTURAL NOTES
	S2.0	FOUNDATION PLAN
	S2.1	UPPER FLOOR & LOW ROOF FRAMING PLAN
	S2.2	ROOF FRAMING PLAN
	S3.0	FOUNDATION DETAILS
	S4.0	FRAMING DETAILS
	S4.1	FRAMING DETAILS



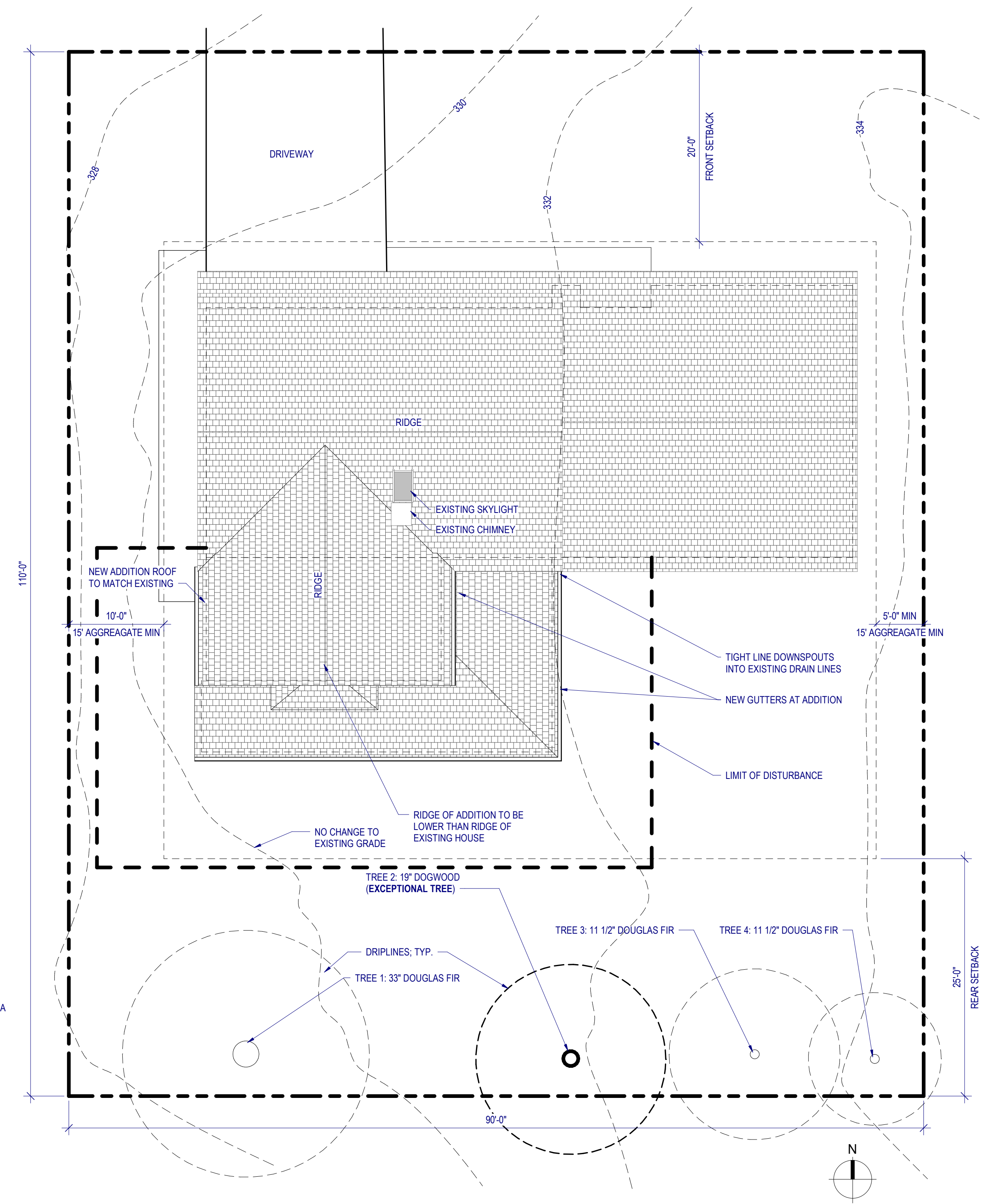
principal architect \_\_\_\_\_  
project manager \_\_\_\_\_  
drawn by \_\_\_\_\_ Author  
checked by \_\_\_\_\_  
job no. \_\_\_\_\_  
date 02/13/2023

revisions:

no.	date	by

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02/13/2023

SE 58TH STREET

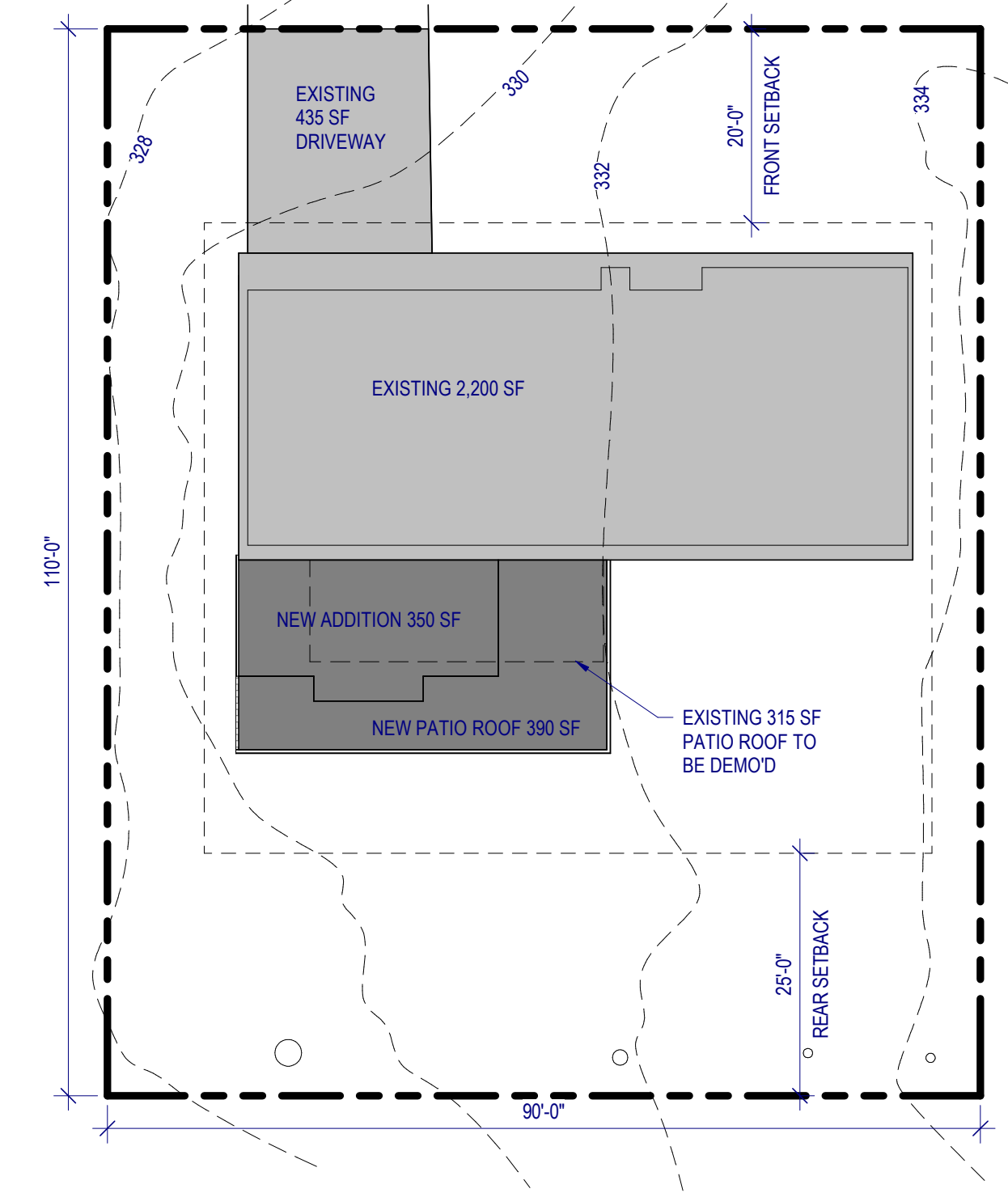


1 SITE PLAN  
SCALE: 1/8" = 1'-0"

**LOT COVERAGE CALC**  
334' - 328' = 6' DROP  
90' = WIDTH OF LOT  
6' / 90' = 6.7% SLOPE  
  
LOT SLOPE LESS THAN 15%  
40% LOT COVERAGE ALLOWED  
LOT AREA = 9,897 SF  
40% = 3,958 SF ALLOWED LOT COVERAGE  
  
2,200 SF EXISTING HOUSE  
435 SF EXISTING DRIVEWAY  
350 SF NEW ADDITION  
+ 350 SF NEW PATIO ROOF  
3,375 SF TOTAL PROPOSED LOT COVERAGE

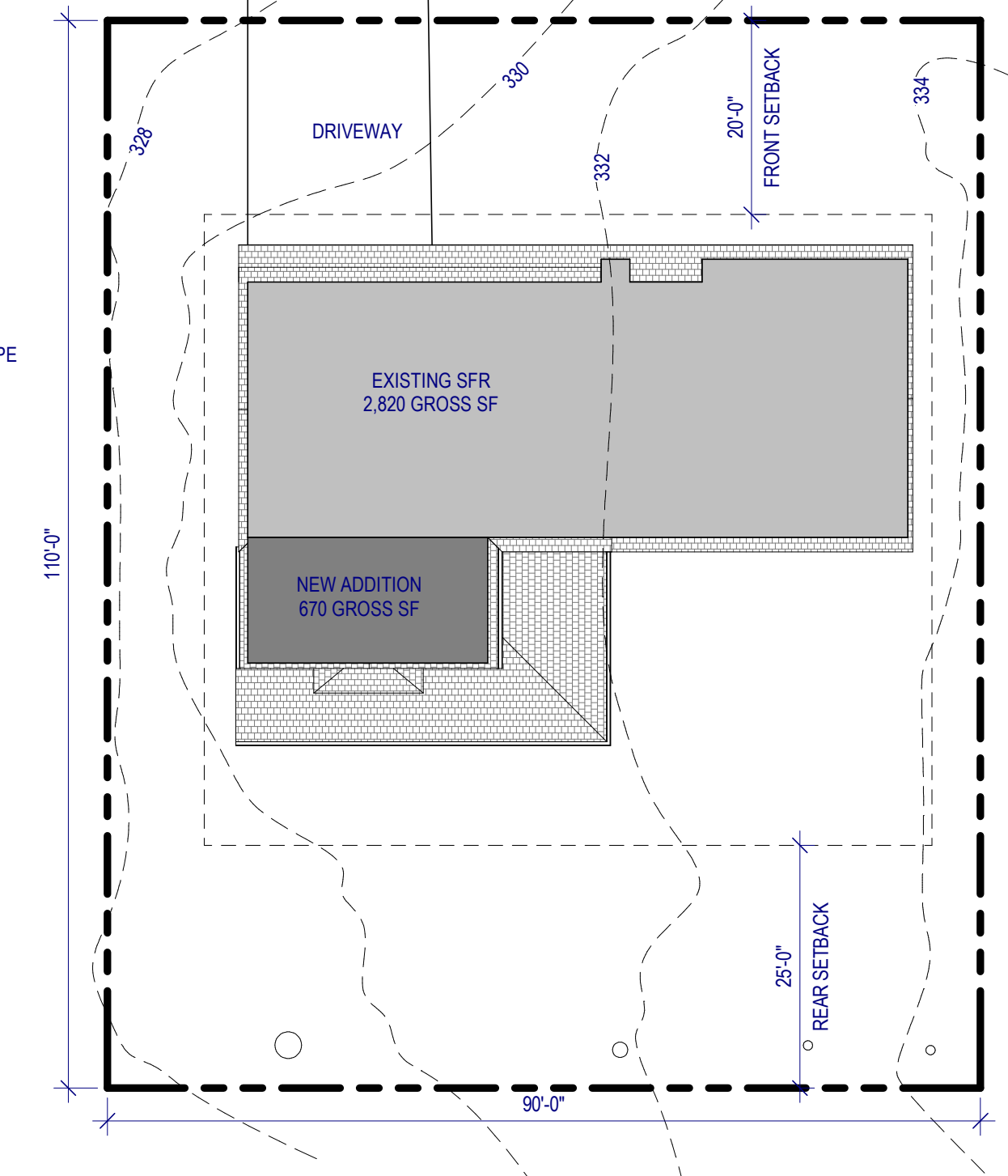
**GROSS FLOOR AREA CALC**  
LOT AREA = 9,897 SF  
40% = 3,958 SF ALLOWED GROSS FLOOR AREA  
2,820 SF EXISTING SINGLE FAMILY RESIDENCE  
+ 670 SF NEW ADDITION  
3,490 SF TOTAL PROPOSED GROSS FLOOR AREA

SE 58TH STREET



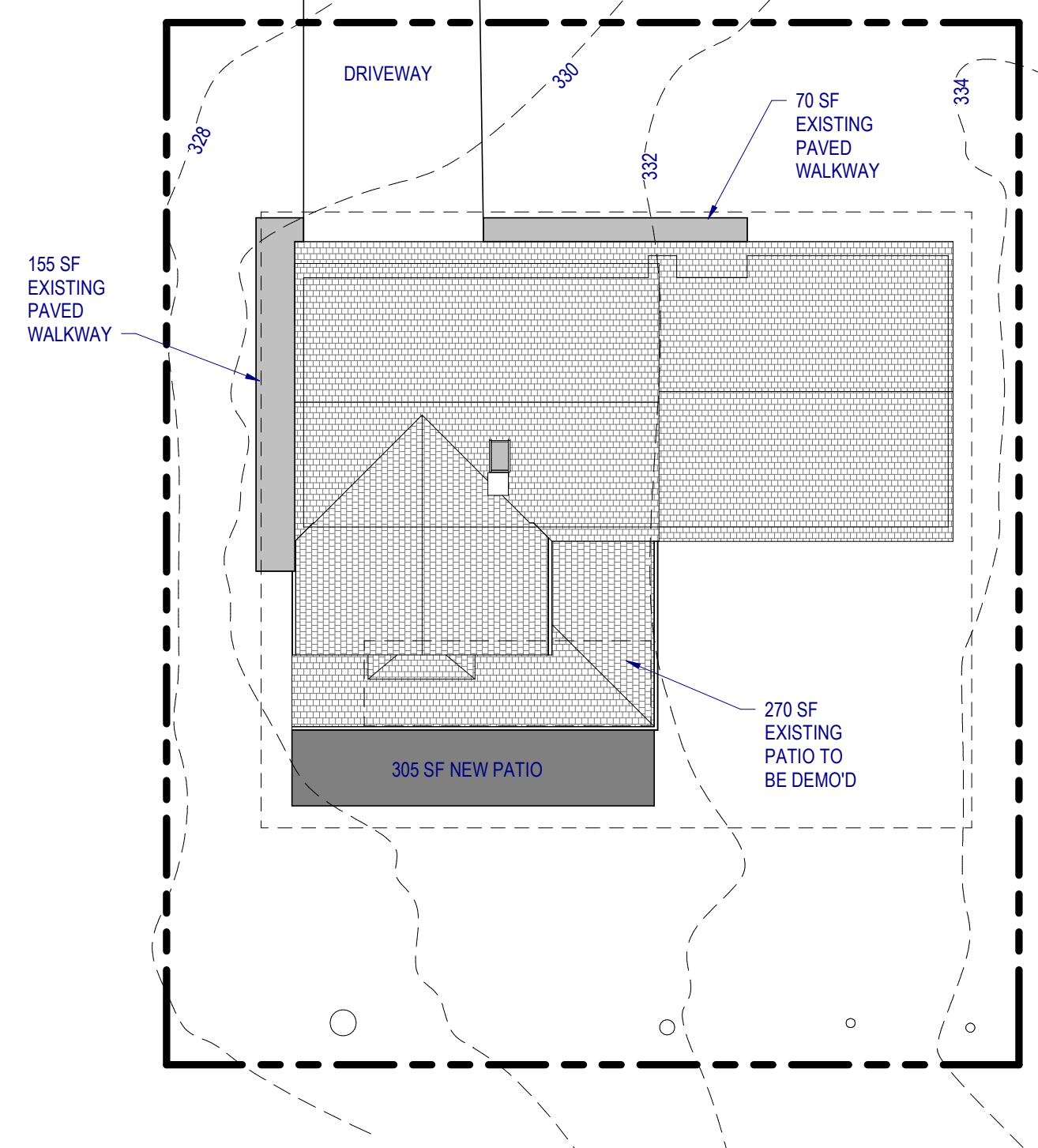
2 LOT COVERAGE  
SCALE: 1/16" = 1'-0"

SE 58TH STREET



3 GROSS FLOOR AREA  
SCALE: 1/16" = 1'-0"

SE 58TH STREET



**HARDSCAPE CALC**  
155 SF EXISTING PAVED WALKWAY  
70 SF EXISTING PAVED WALKWAY  
+ 305 SF NEW PATIO  
530 SF TOTAL PROPOSED HARDSCAPE

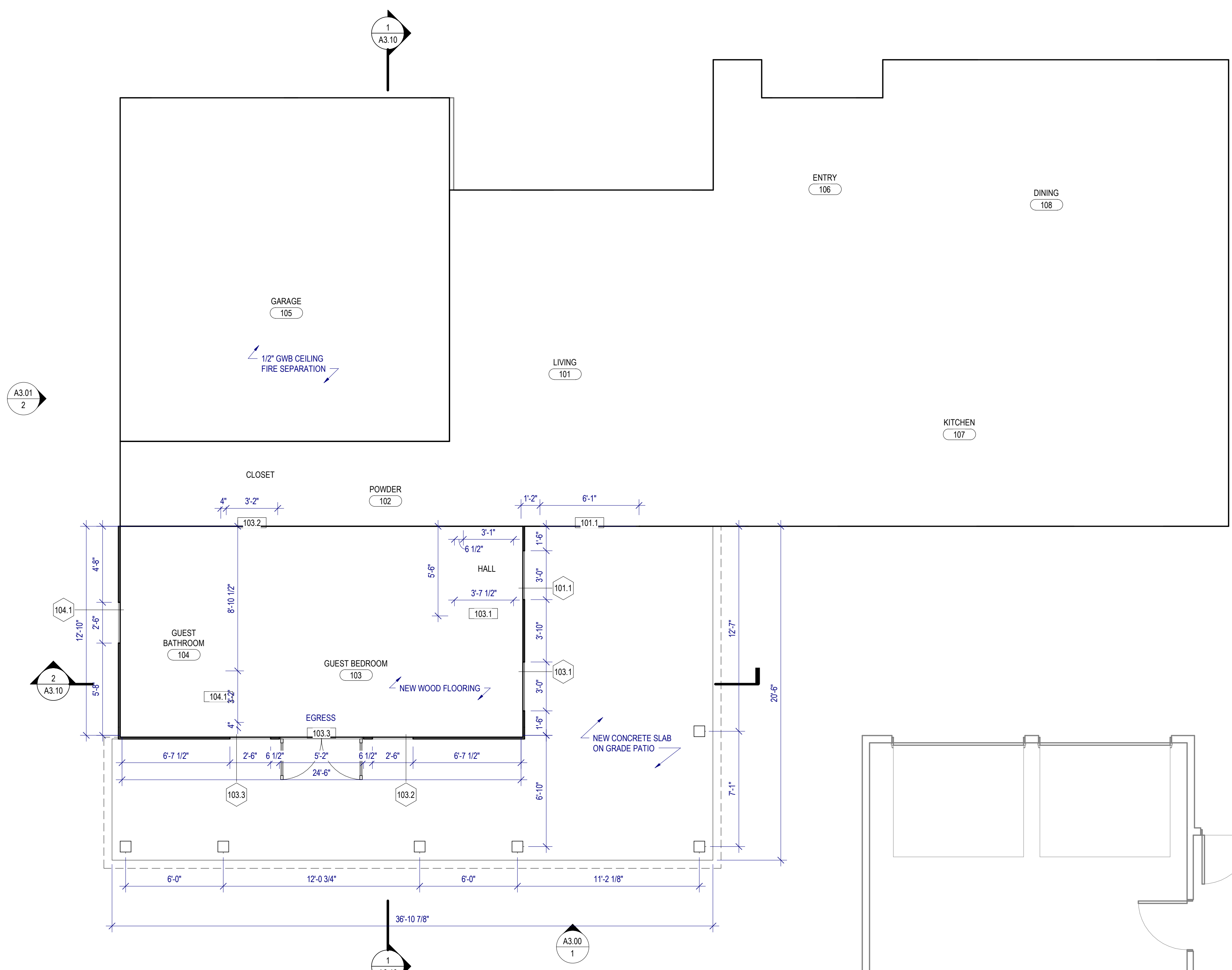
4 HARDSCAPE  
SCALE: 1/16" = 1'-0"

principal architect \_\_\_\_\_  
project manager \_\_\_\_\_  
drawn by \_\_\_\_\_  
checked by \_\_\_\_\_  
job no. \_\_\_\_\_  
date 02/13/2023

revisions:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
no. date by

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02/13/2023

055 & 056_DOORS									
MARK	Level (HIDE)	Family	Type	LOCATION	OPERATION	DIMENSIONS		U Value	Comments
						WIDTH	HEIGHT		
GARAGE LEVEL									
101.1	GARAGE LEVEL	DR-Sliding-Glass-XO	6'-0" w x 6'-8" h	LIVING		6'-0"	6'-8"	0.28	Exterior
103.1	GARAGE LEVEL	DR-Flush-Single	3'-0" w x 6'-8" h	GUEST BEDROOM		3'-0"	6'-8"		
103.2	GARAGE LEVEL	DR-Flush-Single	3'-0" w x 6'-8" h	CLOSET		3'-0"	6'-8"		
103.3	GARAGE LEVEL	DR-Flush-Double-Glass	5'-0" w x 6'-8" h	GUEST BEDROOM		5'-0"	6'-8"	0.28	Exterior
104.1	GARAGE LEVEL	DR-Flush-Single	3'-0" w x 6'-8" h	GUEST BEDROOM		3'-0"	6'-8"		
UPPER LEVEL									
201.1	UPPER LEVEL	DR-Flush-Single	2'-6" w x 6'-8" h	HALLWAY		2'-6"	6'-8"		
202.1	UPPER LEVEL	DR-Flush-Single	2'-6" w x 6'-8" h	BEDROOM 2		2'-6"	6'-8"		
202.2	UPPER LEVEL	DR-Bifold-Double-4_Panel	4'-0" w x 6'-8" h	BEDROOM 2		4'-0"	6'-8"		
203.1	UPPER LEVEL	DR-Flush-Single	2'-6" w x 6'-8" h	BATHROOM		2'-6"	6'-8"		
203.2	UPPER LEVEL	DR-Flush-Single	2'-6" w x 6'-8" h	BATHROOM		2'-6"	6'-8"		
204.1	UPPER LEVEL	DR-Flush-Single	2'-6" w x 6'-8" h	BEDROOM 3		2'-6"	6'-8"		
204.2	UPPER LEVEL	DR-Bifold-Double-4_Panel	4'-0" w x 6'-8" h	BEDROOM 3		4'-0"	6'-8"		
205.1	UPPER LEVEL	DR-Flush-Single	2'-8" w x 6'-8" h	MASTER BEDROOM		2'-8"	6'-8"		
205.2	UPPER LEVEL	DR-Flush-Single	1'-8" w x 6'-8" h	MASTER BEDROOM		1'-8"	6'-8"		
206.1	UPPER LEVEL	DR-Flush-Single	2'-6" w x 6'-8" h	MASTER BATHROOM		2'-6"	6'-8"		
206.2	UPPER LEVEL	DR-Flush-Single	2'-6" w x 6'-8" h	MASTER BATHROOM		2'-6"	6'-8"		
207.1	UPPER LEVEL	DR-Flush-Single	2'-6" w x 6'-8" h	MASTER CLOSET		2'-6"	6'-8"		
208.1	UPPER LEVEL	DR-Flush-Single	2'-8" w x 6'-8" h	LAUNDRY		2'-8"	6'-8"		
209.1	UPPER LEVEL	DR-Flush-Single	2'-6" w x 6'-8" h	BEDROOM 1		2'-6"	6'-8"		
209.2	UPPER LEVEL	DR-Flush-Single	2'-2" w x 6'-8" h	BEDROOM 1		2'-2"	6'-8"		
Grand total: 20									

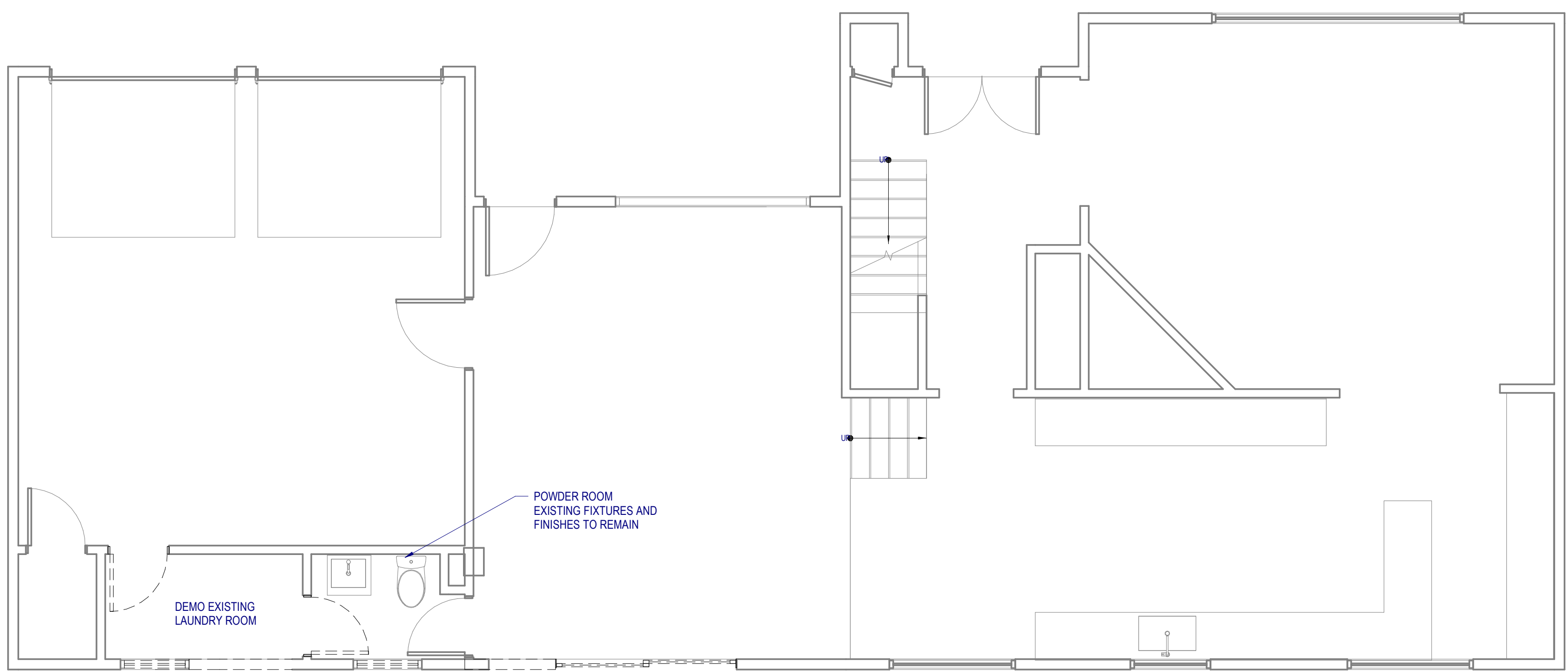


**FLOOR PLAN LEGEND**

EXISTING CONSTRUCTION TO REMAIN

NEW CONSTRUCTION

**01 MAIN LEVEL PLAN**  
SCALE: 1/4" = 1'-0"

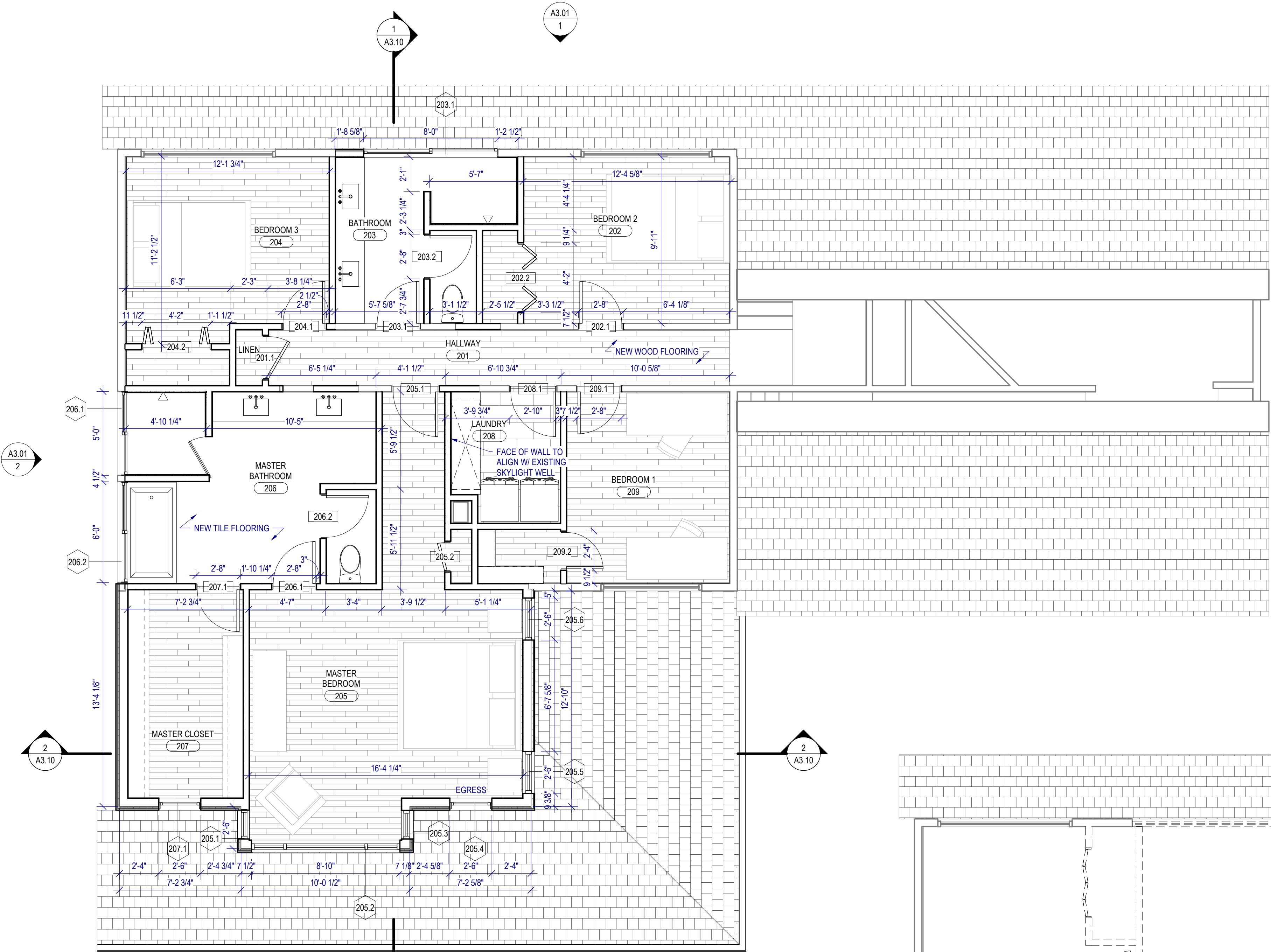


**DEMOLITION PLAN LEGEND**

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE DEMOLISHED

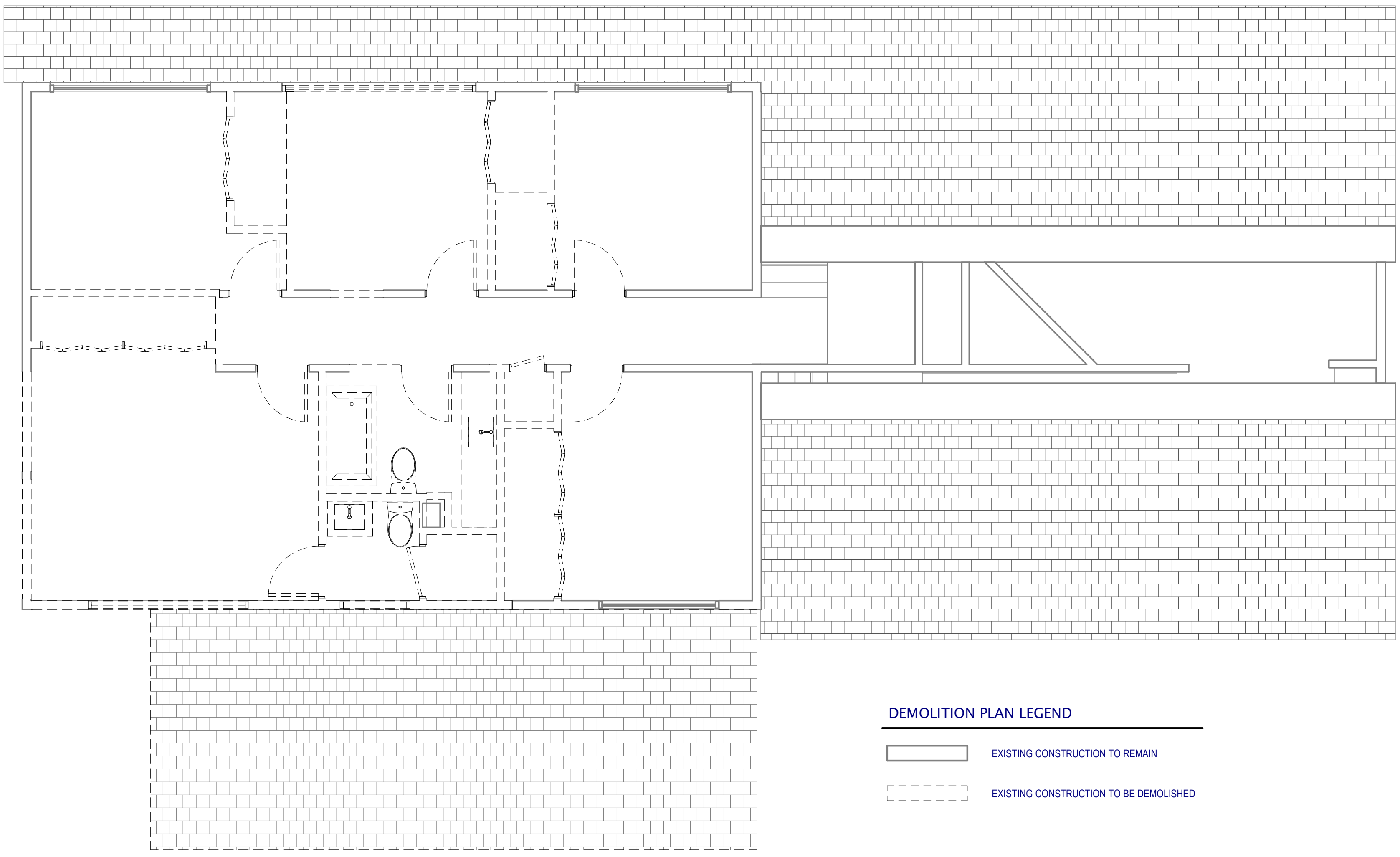
**01 MAIN LEVEL DEMO PLAN**  
SCALE: 1/4" = 1'-0"



**FLOOR PLAN LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION

**2** 02 UPPER LEVEL PLAN  
SCALE: 1/4" = 1'-0"



**DEMOLITION PLAN LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

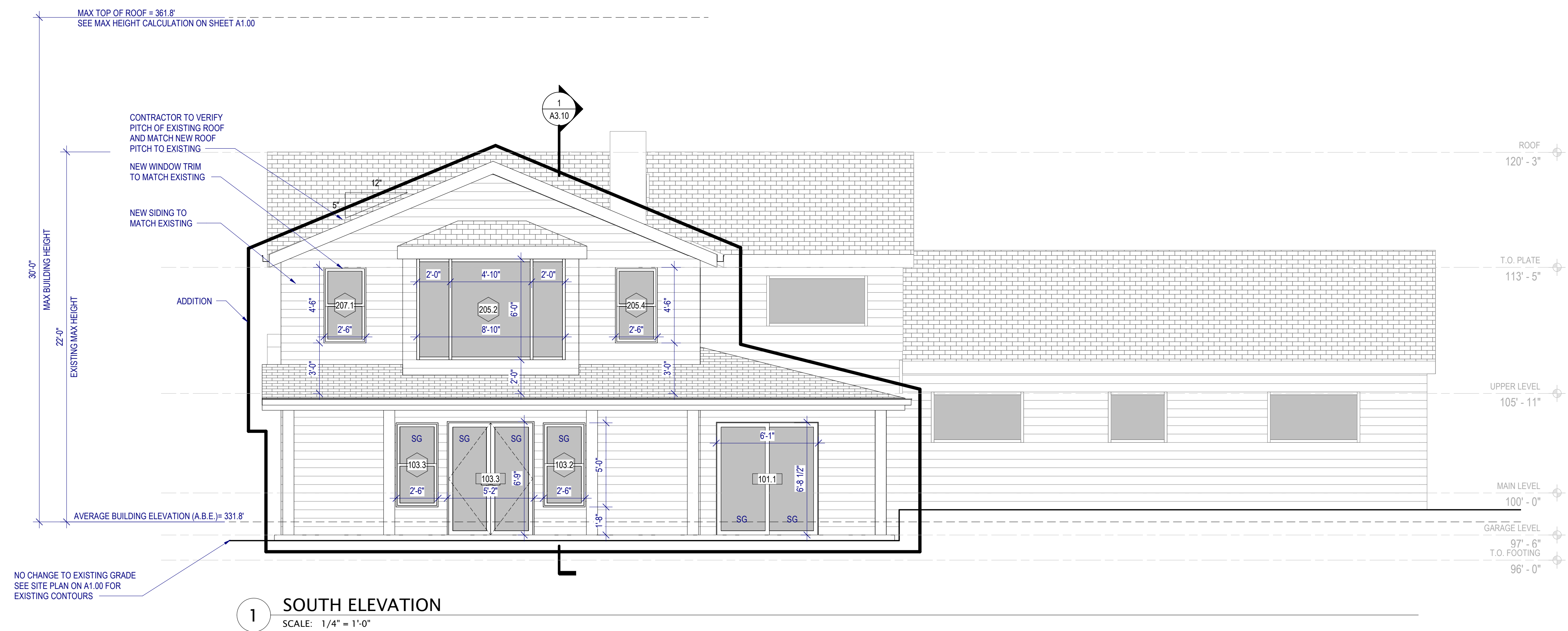
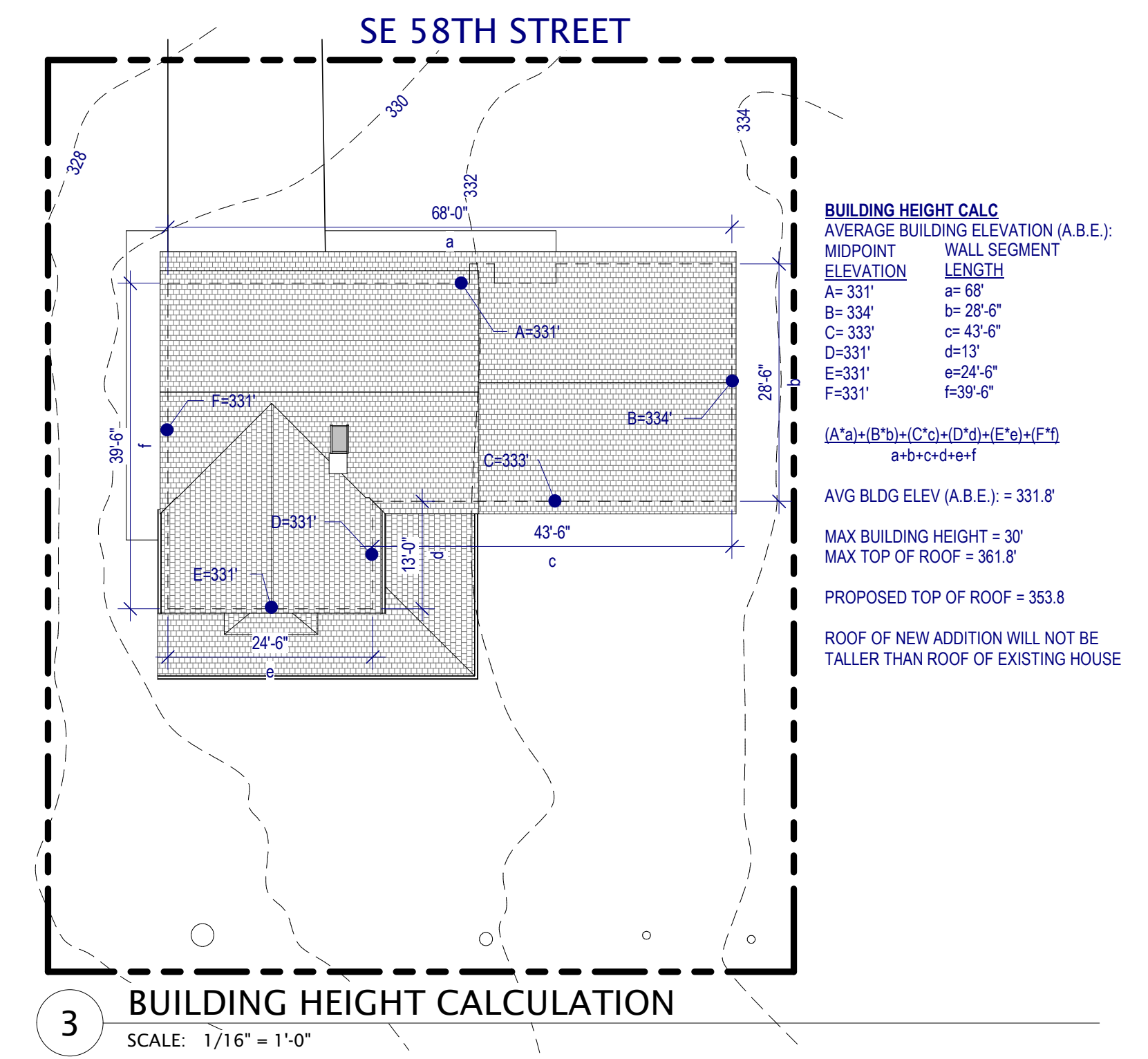
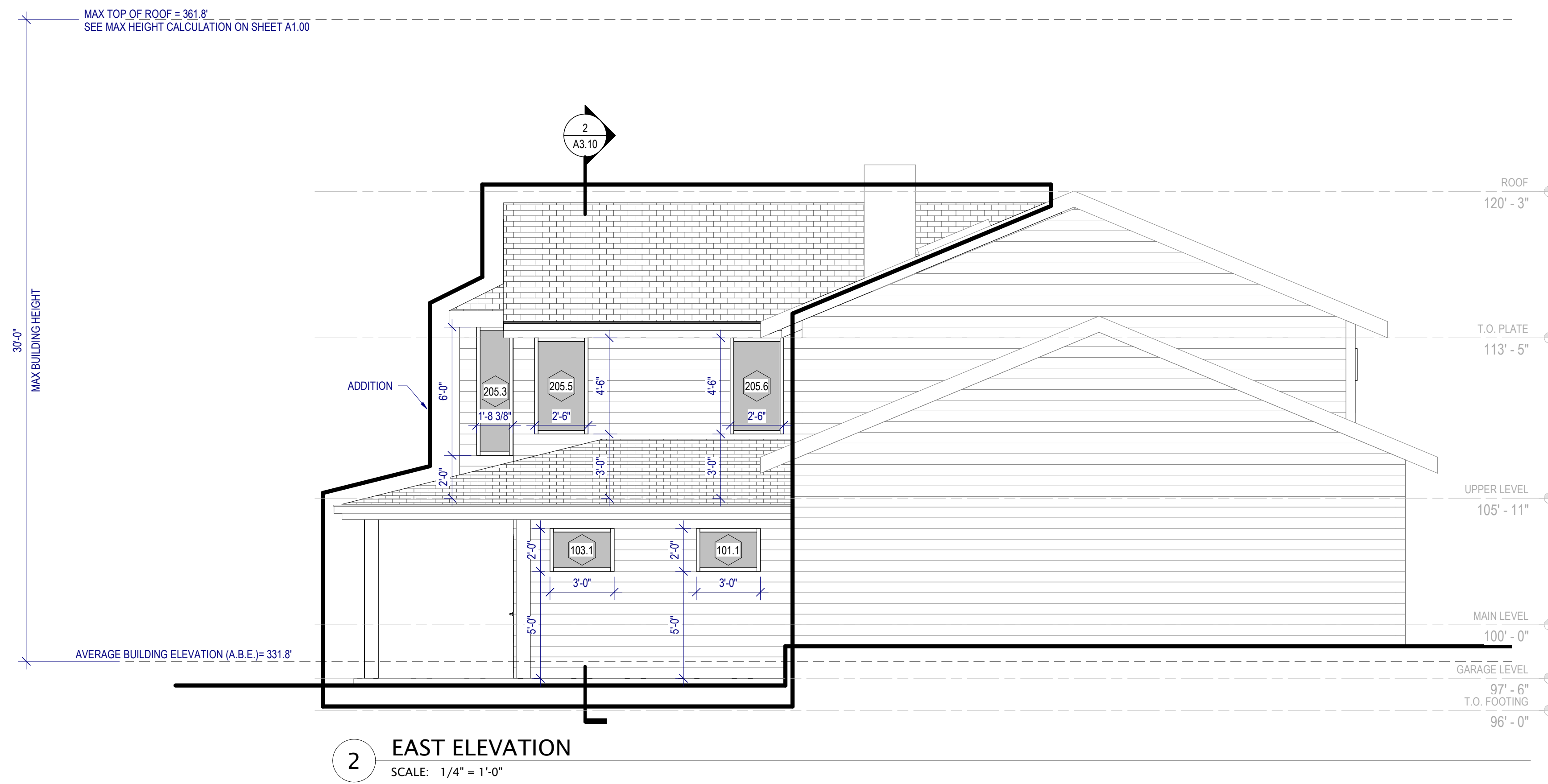
**1** 02 UPPER LEVEL DEMO PLAN  
SCALE: 1/4" = 1'-0"

principal architect \_\_\_\_\_  
project manager \_\_\_\_\_  
drawn by \_\_\_\_\_  
Author  
checked by \_\_\_\_\_  
job no. \_\_\_\_\_  
date 02/13/2023

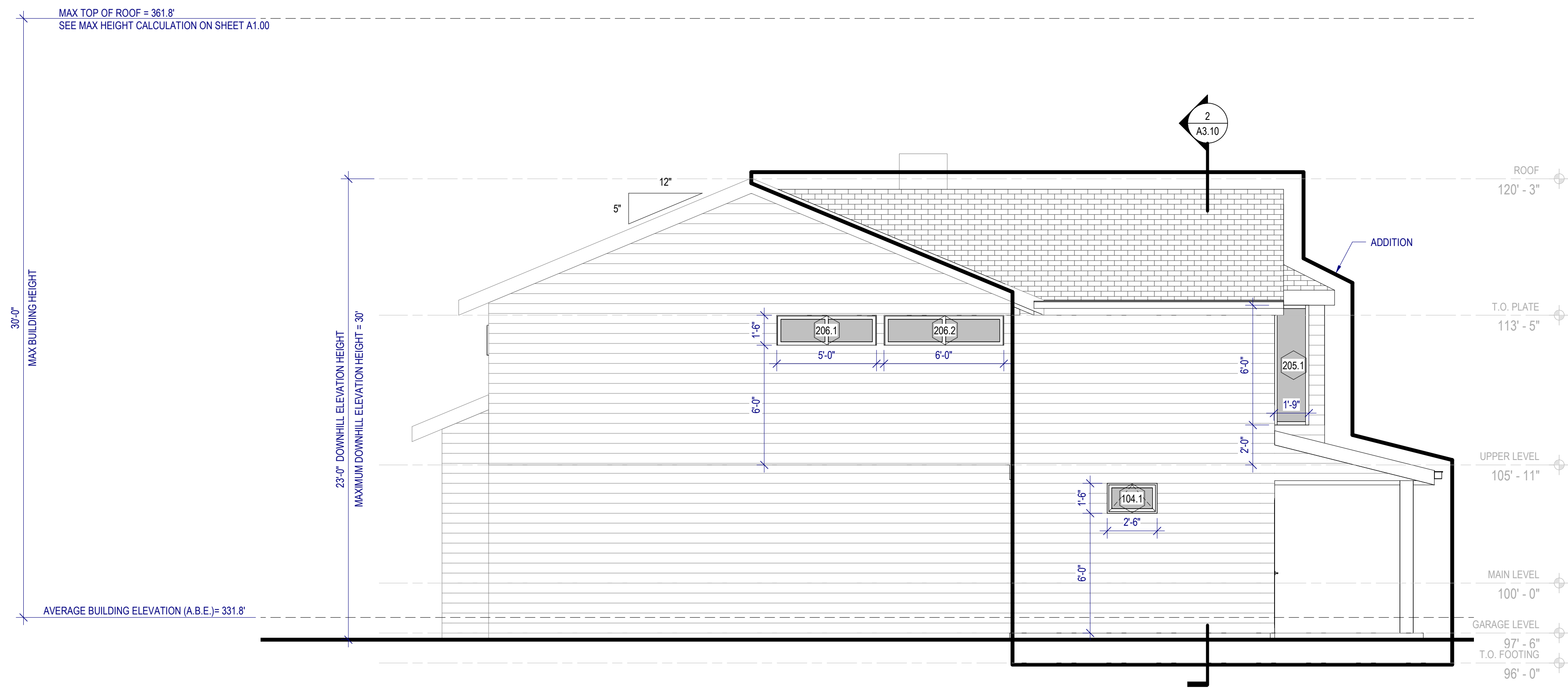
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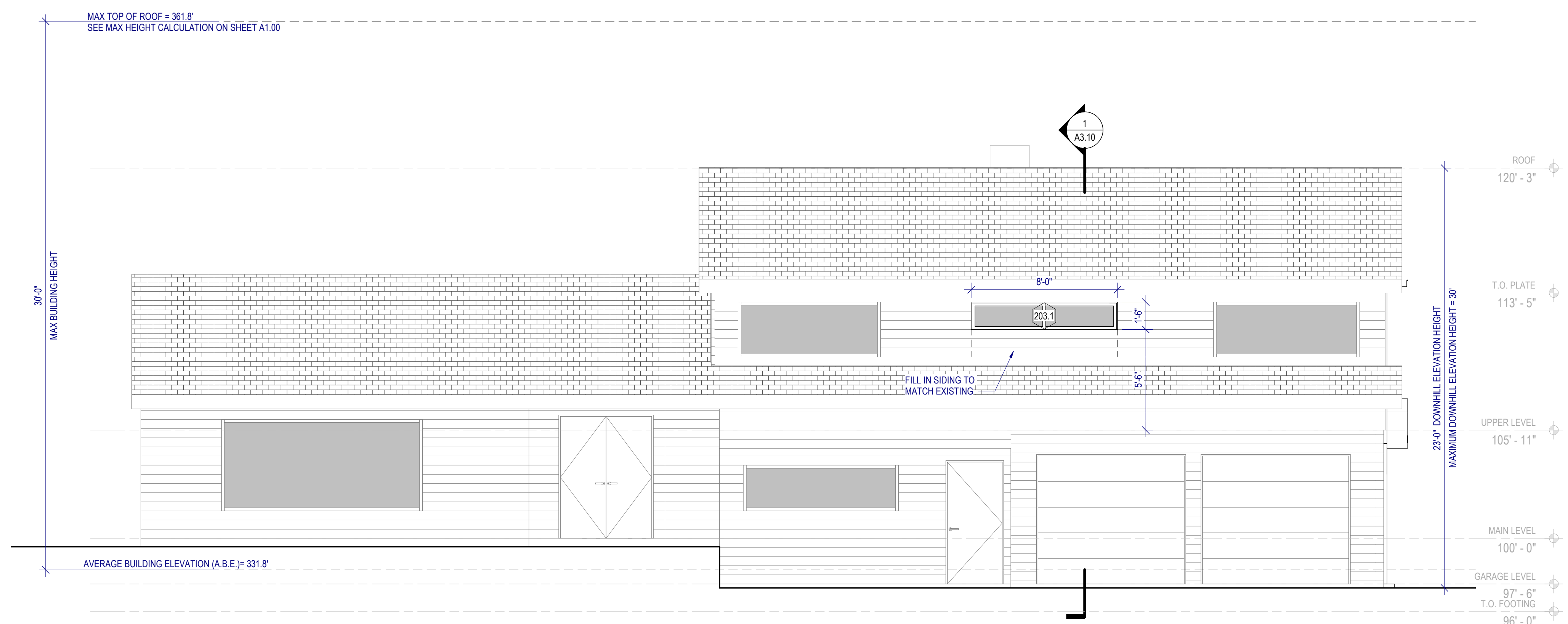
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02/13/2023



065_WINDOWS						
MARK	DIMENSIONS (ROUGH OPENING)			U VALUE	UA VALUE	REMARKS
	WIDTH	HEIGHT	AREA			
101.1	3'-0"	2'-0"	6 SF	0.25	2	
103.1	3'-0"	2'-0"	6 SF	0.25	2	
103.2	2'-6"	5'-0"	13 SF	0.25	3	DOUBLE HUNG
103.3	2'-6"	5'-0"	13 SF	0.25	3	DOUBLE HUNG
104.1	2'-6"	1'-6"	4 SF	0.25	1	AWNING
203.1	8'-0"	1'-6"	12 SF	0.25	3	SLIDER
205.1	1'-9"	6'-0"	11 SF	0.25	3	FIXED
205.2	8'-10"	6'-0"	53 SF	0.25	13	FIXED
205.3	2'-1"	4'-11"	10 SF	0.25	3	FIXED
205.4	2'-6"	4'-6"	11 SF	0.25	3	DOUBLE HUNG - EGRESS
205.5	2'-6"	4'-6"	11 SF	0.25	3	FIXED
205.6	2'-6"	4'-6"	11 SF	0.25	3	FIXED
206.1	5'-4 1/4"	1'-4 3/4"	8 SF	0.25	2	SLIDER
206.2	6'-5 3/4"	1'-4 3/4"	9 SF	0.25	2	SLIDER
207.1	2'-6"	4'-6"	11 SF	0.25	3	DOUBLE HUNG
15			188 SF		47	



**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



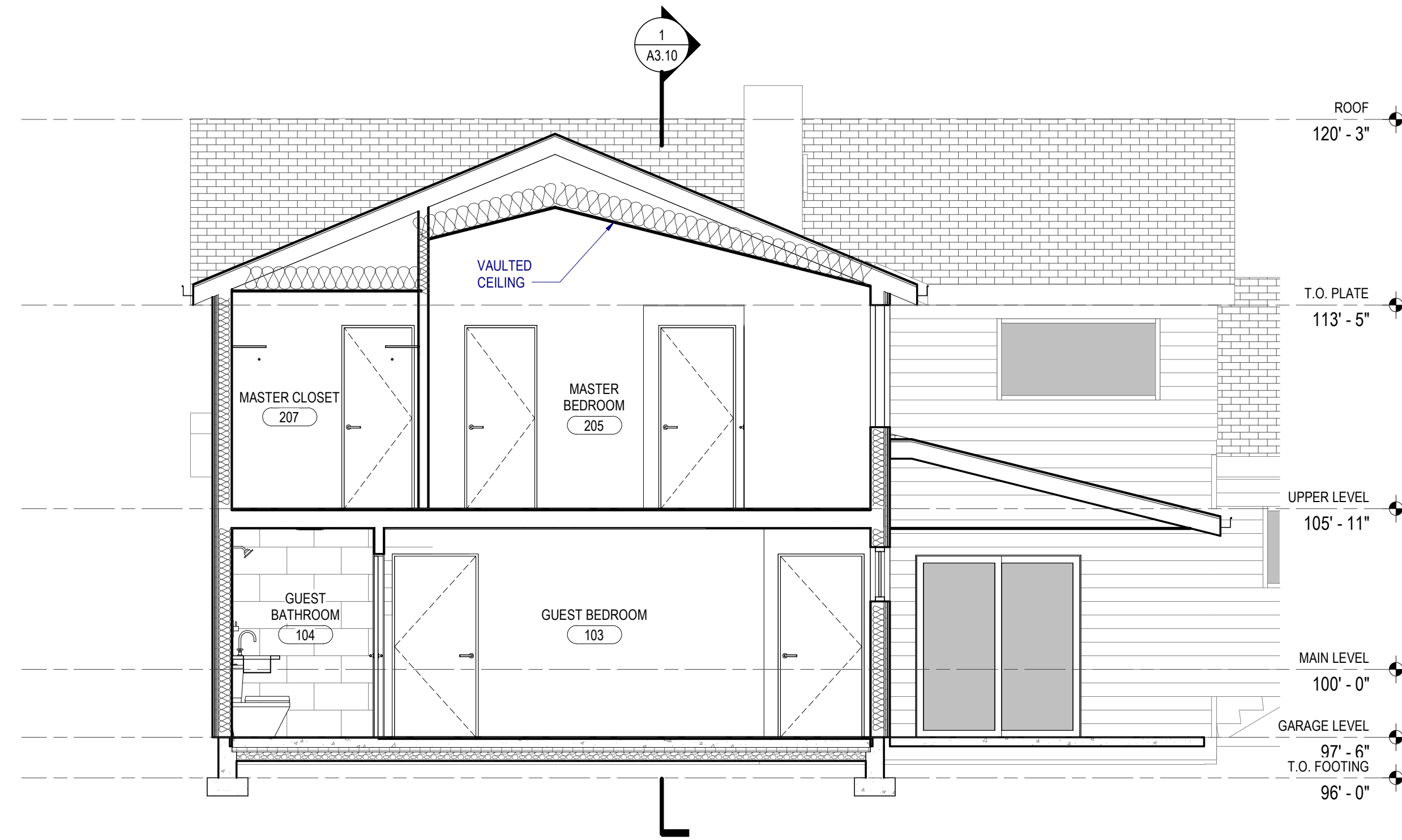
**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

principal architect \_\_\_\_\_  
 project manager \_\_\_\_\_  
 drawn by \_\_\_\_\_  
 checked by \_\_\_\_\_  
 job no. \_\_\_\_\_  
 date 02/13/2023

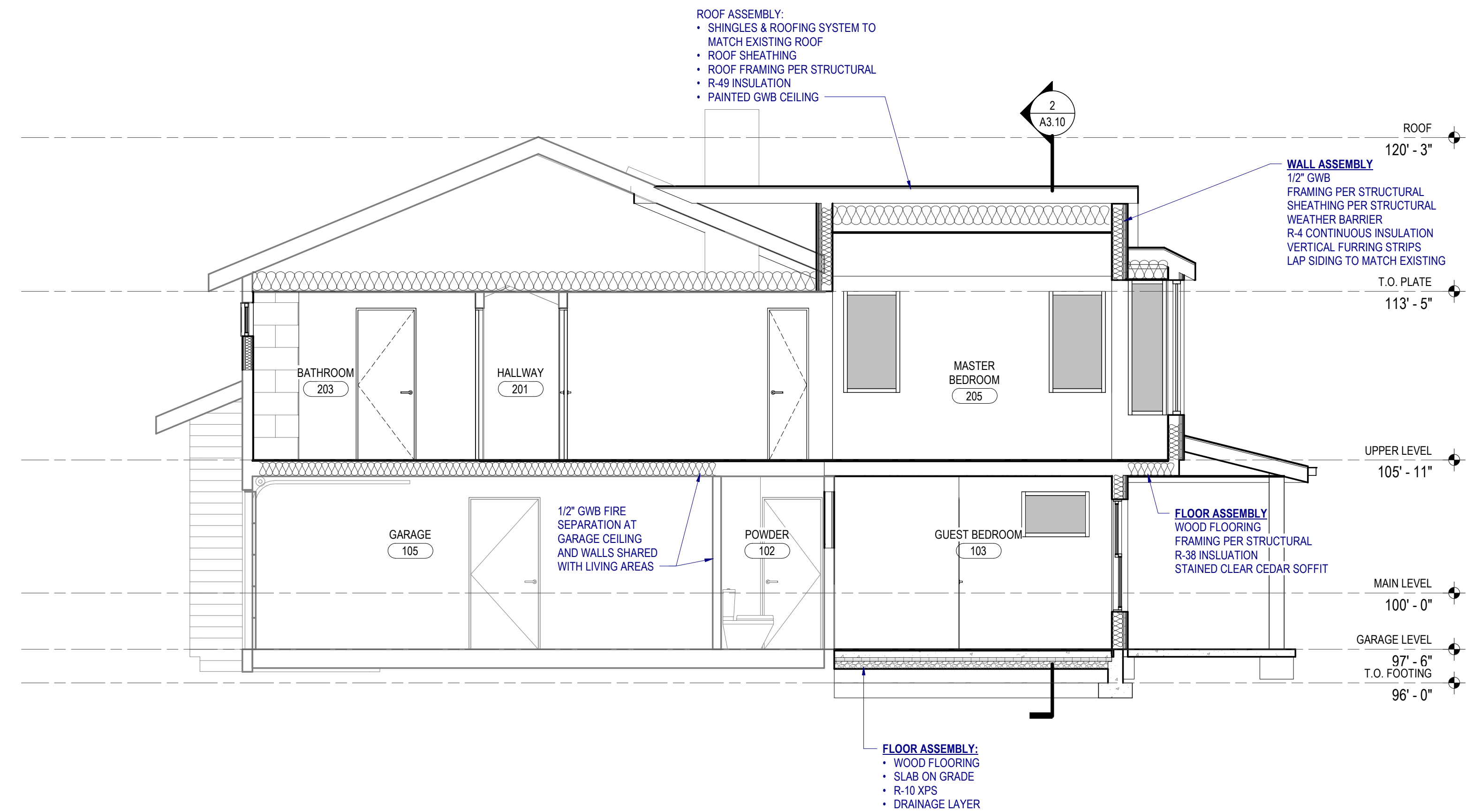
revisions:

no.	date	by

PERMIT SET  
02/13/2023



2 Section 2  
SCALE: 1/4" = 1'-0"



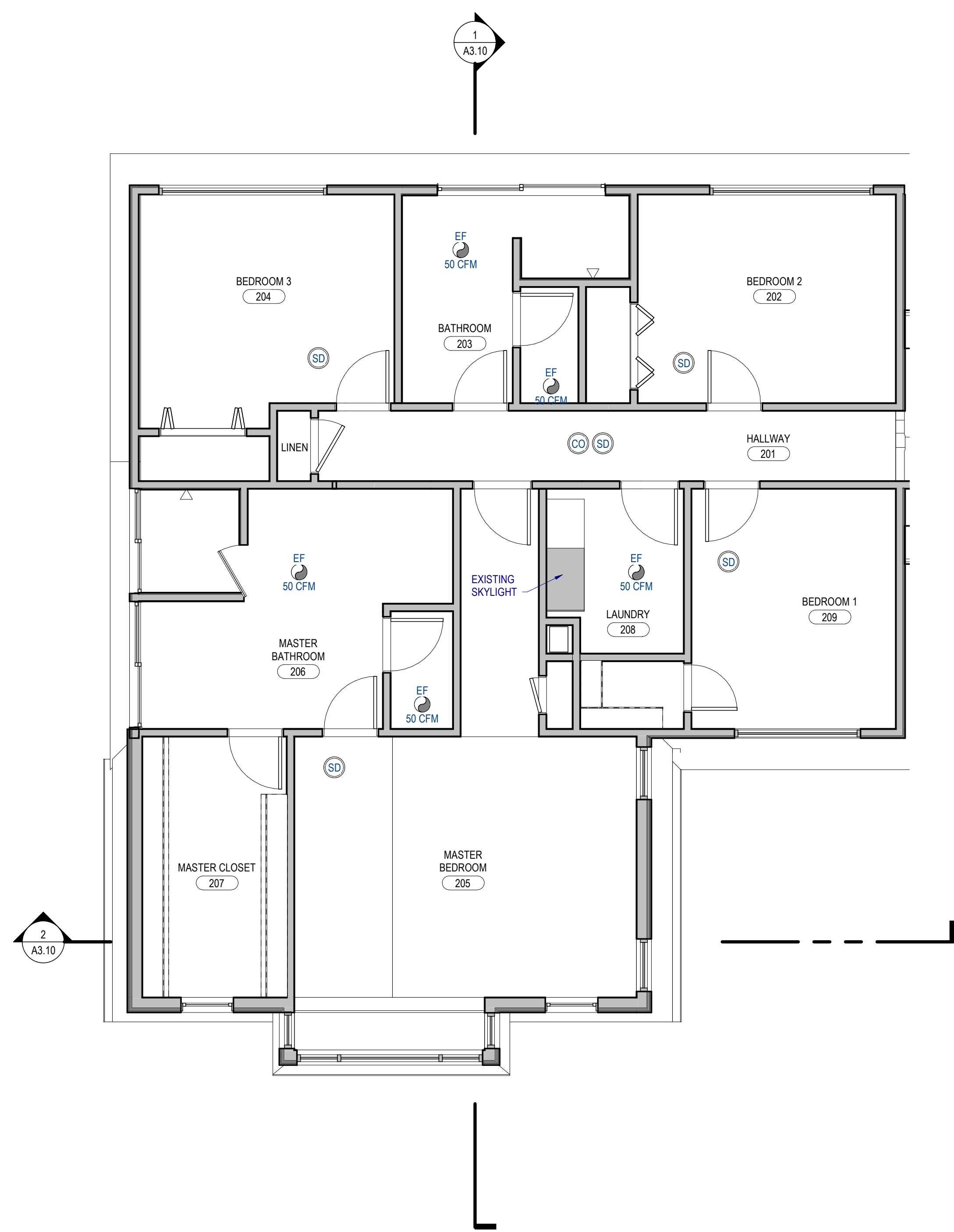
1 Section 1  
SCALE: 1/4" = 1'-0"

principal architect \_\_\_\_\_  
project manager \_\_\_\_\_  
drawn by \_\_\_\_\_  
checked by \_\_\_\_\_  
job no. \_\_\_\_\_  
date 02/13/2023

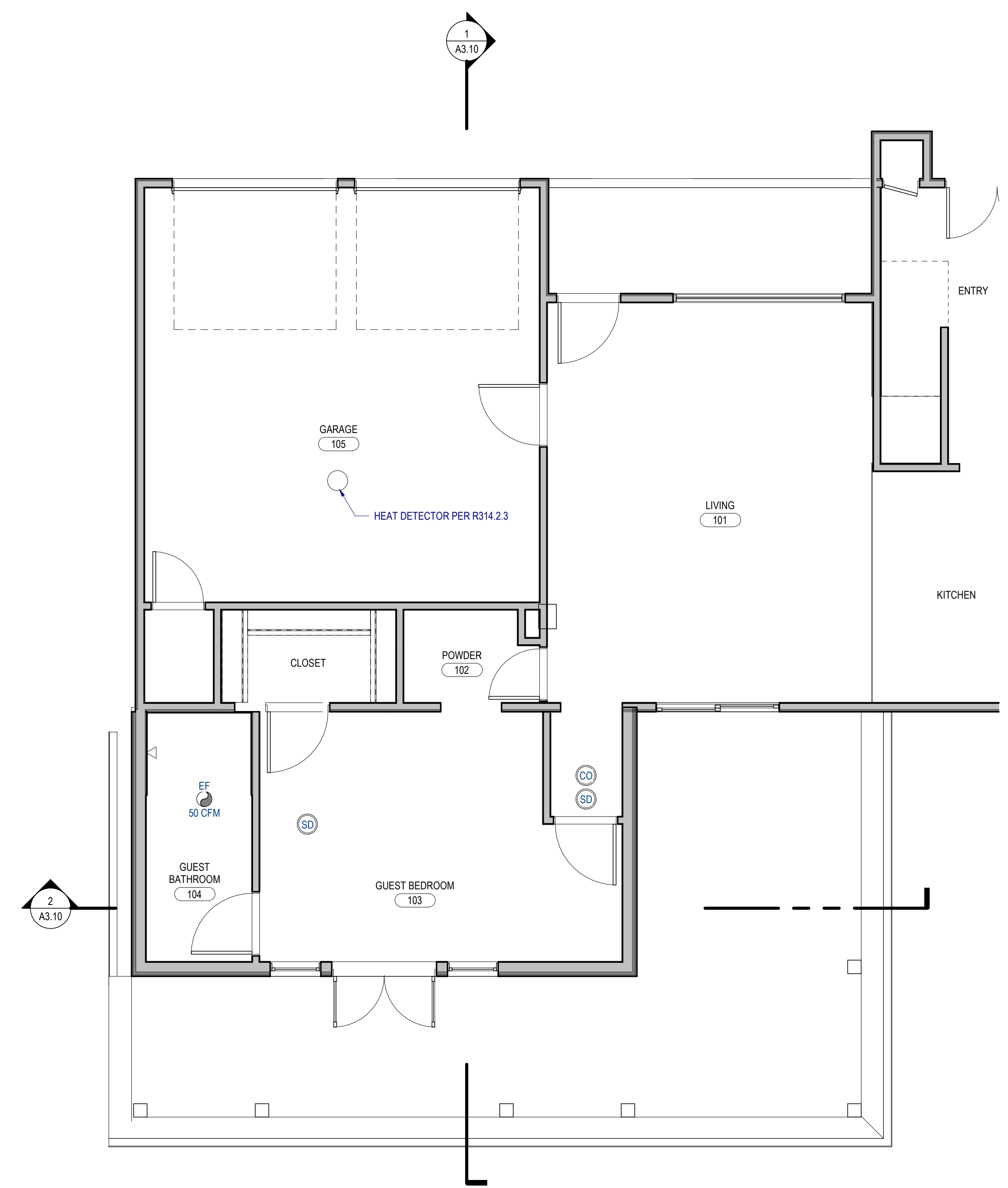
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PERMIT SET  
02/13/2023





**2** 02 UPPER LEVEL RCP  
SCALE: 1/4" = 1'-0"



**1** 01 MAIN LEVEL RCP  
SCALE: 1/4" = 1'-0"

**GENERAL NOTE:**  
LIGHTING LAYOUT & ELECTRICAL PLAN TO  
BE PROVIDED BY INTERIOR DESIGNER

principal architect \_\_\_\_\_  
project manager \_\_\_\_\_  
drawn by \_\_\_\_\_  
checked by \_\_\_\_\_  
job no. \_\_\_\_\_  
date 02/13/2023

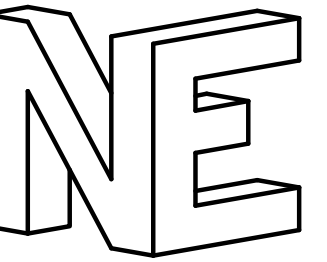
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no. date b y

PERMIT SET  
02/13/2023

REFLECTED CEILING  
PLANS

**A6.00**

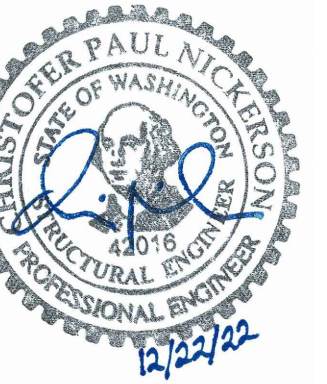




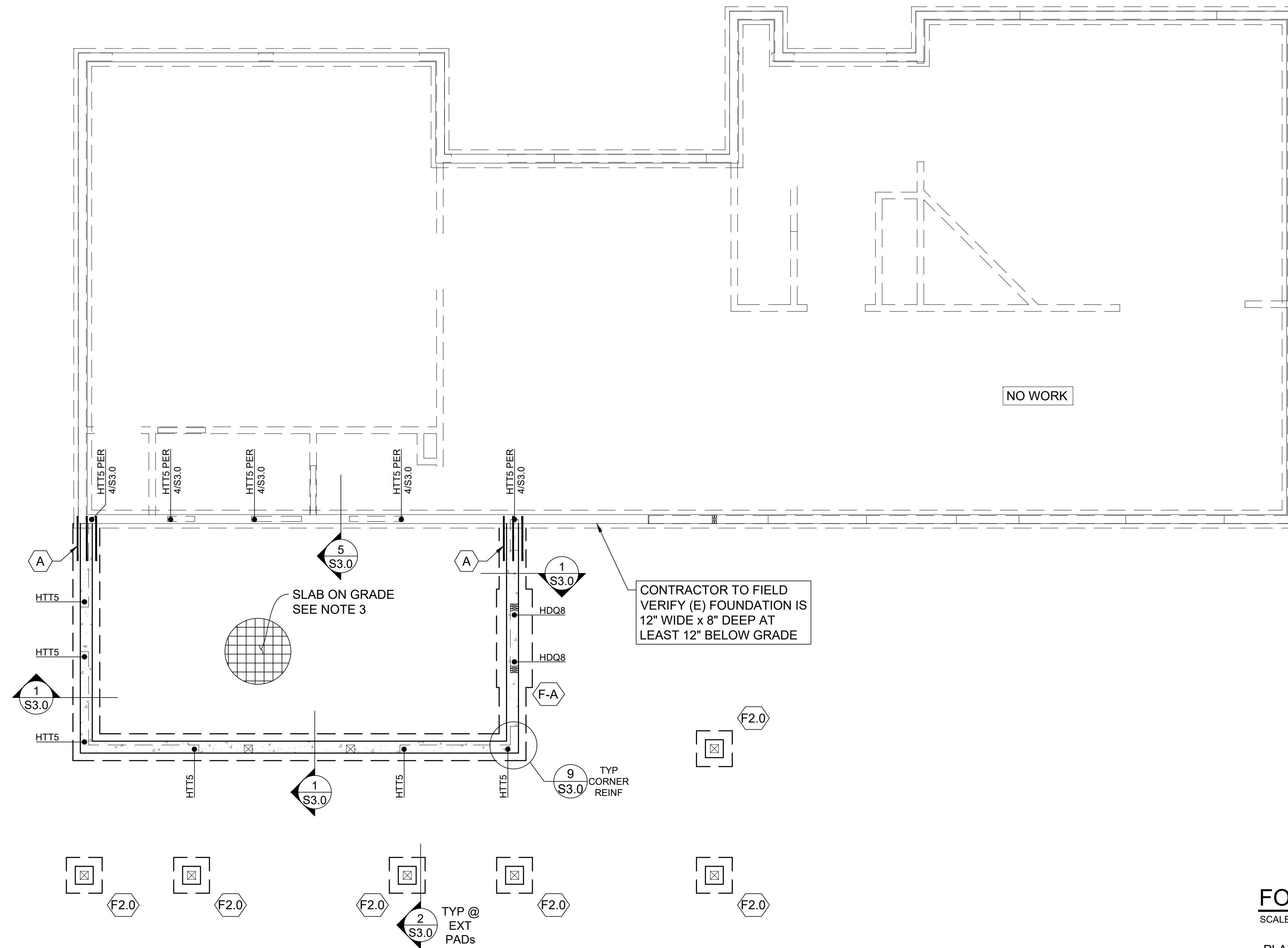
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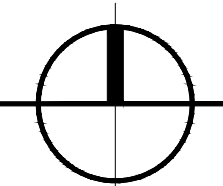


HELLING ADDITION  
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### FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



#### PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCH DWGS FOR ALL DIMENSIONS.
- THE BOTTOM OF ALL EXTERIOR FTGS SHALL BE 18" MINIMUM BELOW GRADE.
- 4" CONCRETE SLAB OVER 6 MIL VAPOR BARRIER ON 6" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL.
- HTTXX INDICATES HOLD-DOWN @ END OF SHEAR WALL ABOVE. SEE DETAIL 3/S3.0 FOR INSTALLATION REQUIREMENTS.
- HDQ8 INDICATES HOLD-DOWN @ END OF SHEAR WALL ABOVE. SEE DETAIL 6/S3.0 FOR INSTALLATION REQUIREMENTS.
- F# INDICATES FOOTING MARK. SEE FOOTING SCHEDULE FOR SIZE & REINFORCING.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

HATCH LEGEND	
	NEW CONCRETE WALLS BELOW

FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
F2.0	2'-0" x 2'-0" x 8" DP	(2)#4 EW 3" FROM BOT
F-A	2'-0" x 5'-6" x 12" DP	#4 @ 12" O.C. EW TOP & BOT

KEY NOTE LEGEND	
	PROVIDE #4x2'-6" DOWELS EMBEDDED 5" MIN INTO EXISTING CONCRETE TO MATCH NEW HORIZ WALL & FTG REINF QTY AND SPACES, EPOXY W/ AT-XP HIGH STRENGTH EPOXY AS MANUF. BY SIMPSON

No.	Date	Issue
0	12.22.22	Building Permit

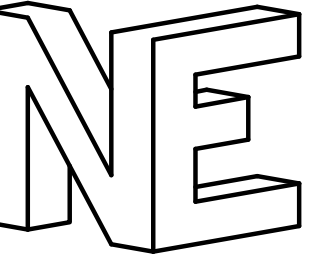
Sheet Contents  
FOUNDATION PLAN

Job No. 22-053

Sheet No.

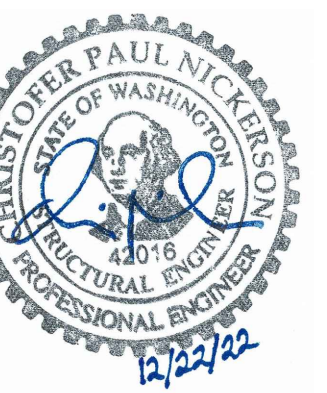
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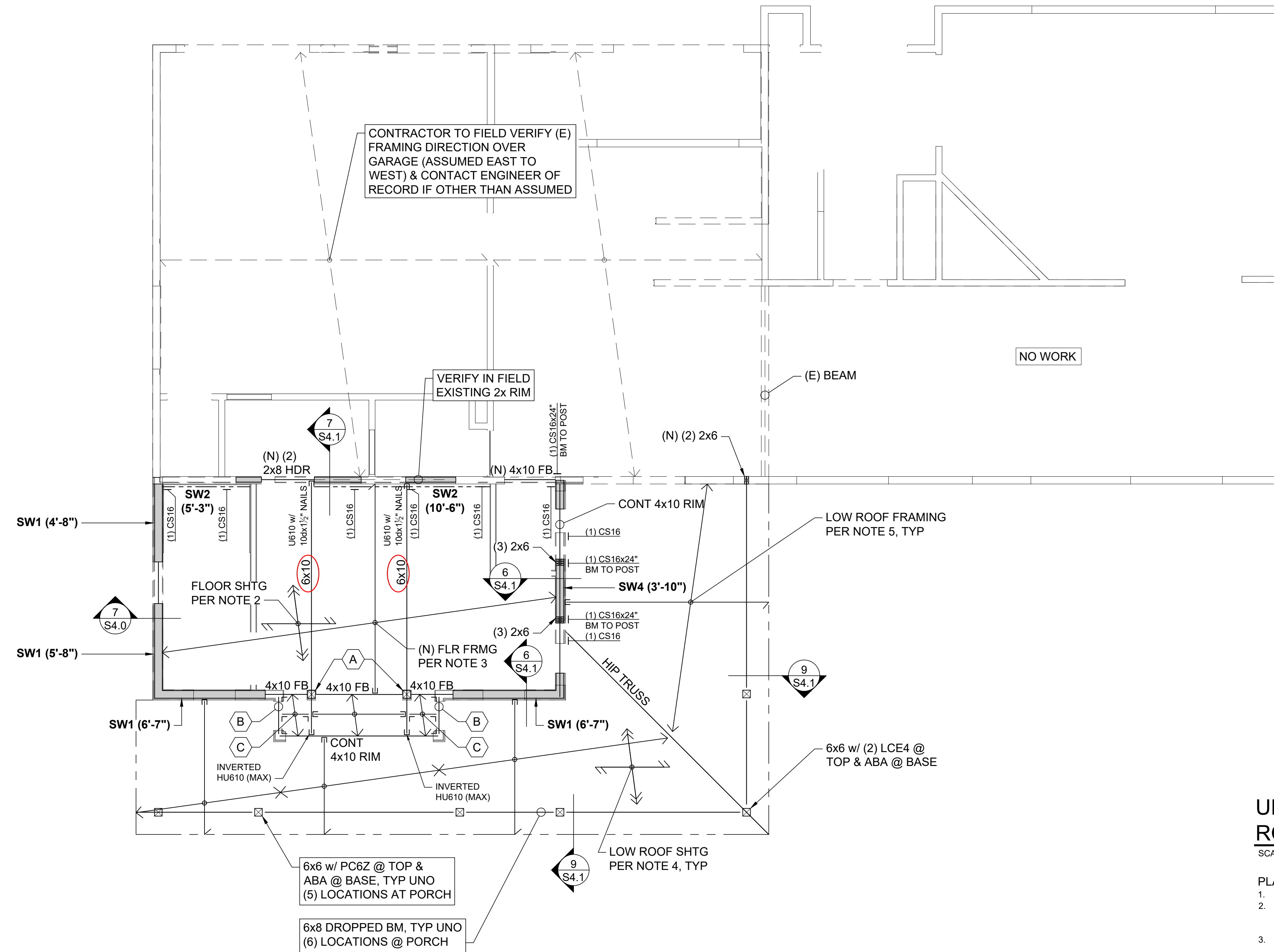


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HELLING ADDITION  
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### UPPER FLOOR & LOW ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

#### PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCH DWGS FOR ALL DIMENSIONS.
- FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). GLUE AND NAIL @ ALL FRAMED PANEL EDGES WITH 8d @ 6"OC AND TO ALL INTERMEDIATE FRAMING @ 12"OC.
- FLOOR JOISTS SHALL BE 2x10 @ 16"OC TYPICAL JOIST HANGERS TO BE SIMPSON LUS OR JB, UNO.
- LOW ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16). FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING @ ALL FRAMED PANEL EDGES WITH 8d @ 6"OC AND TO ALL INTERMEDIATE FRAMING @ 12"OC.
- LOW ROOF FRAMING SHALL BE PREFABRICATED JACK ROOF TRUSSES @ 24"OC. TRUSS DESIGN TO BE PROVIDED BY OTHERS. SEE STRUCTURAL NOTES FOR DESIGN REQUIREMENTS.
- NEW HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2) 2x8 MINIMUM. PROVIDE (2) TRIMMER STUDS MIN @ EA END OF ALL HEADERS U.N.O. SEE DETAIL 4/S4.0 FOR TYPICAL INSTALLATION.
- PROVIDE (2) STUDS MINIMUM @ EACH END OF ALL NEW BEAMS U.N.O. ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN & PROVIDE POSITIVE CONNECTION BY EITHER A35 OR LTP4 CLIPS ON EA SIDE OF BEAM OR W/ AN AC, PC, OR LPC CAP.
- SW# (X"X") INDICATES NEW SHEAR WALL TYPE AND APPROXIMATE LENGTH. SEE 1/S4.0 FOR CONSTRUCTION REQUIREMENTS.
- ALL NEW EXTERIOR WALLS SHALL BE SW1, U.N.O. ON PLANS.
- TYPICAL NEW TOP PLATE CONSTRUCTION PER 3/S4.0.
- (X)CS16 INDICATES VERTICAL HOLD-DOWN STRAP @ END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QTY. SEE DETAIL 8/S4.0 FOR INSTALLATION REQUIREMENTS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

No.	Date	Issue
0	12.22.22	Building Permit

#### Sheet Contents

UPPER FLOOR & LOW ROOF FRAMING PLAN

Job No. 22-053

Sheet No.

# S2.1

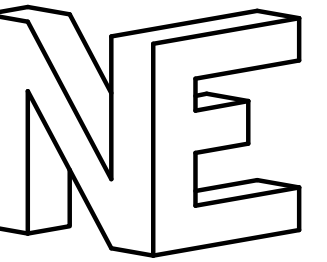
#### HATCH LEGEND

NEW STRUCTURAL WALLS BELOW

#### KEY NOTE LEGEND

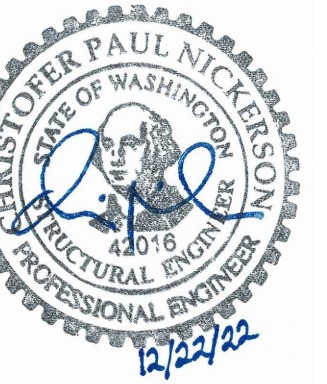
- (A) 6x6 w/ CCTQ
- (B) (2) 2x10 RIM w/ A35 EACH END
- (C) 2x10 @ 16"O.C. w/ A35 EACH END



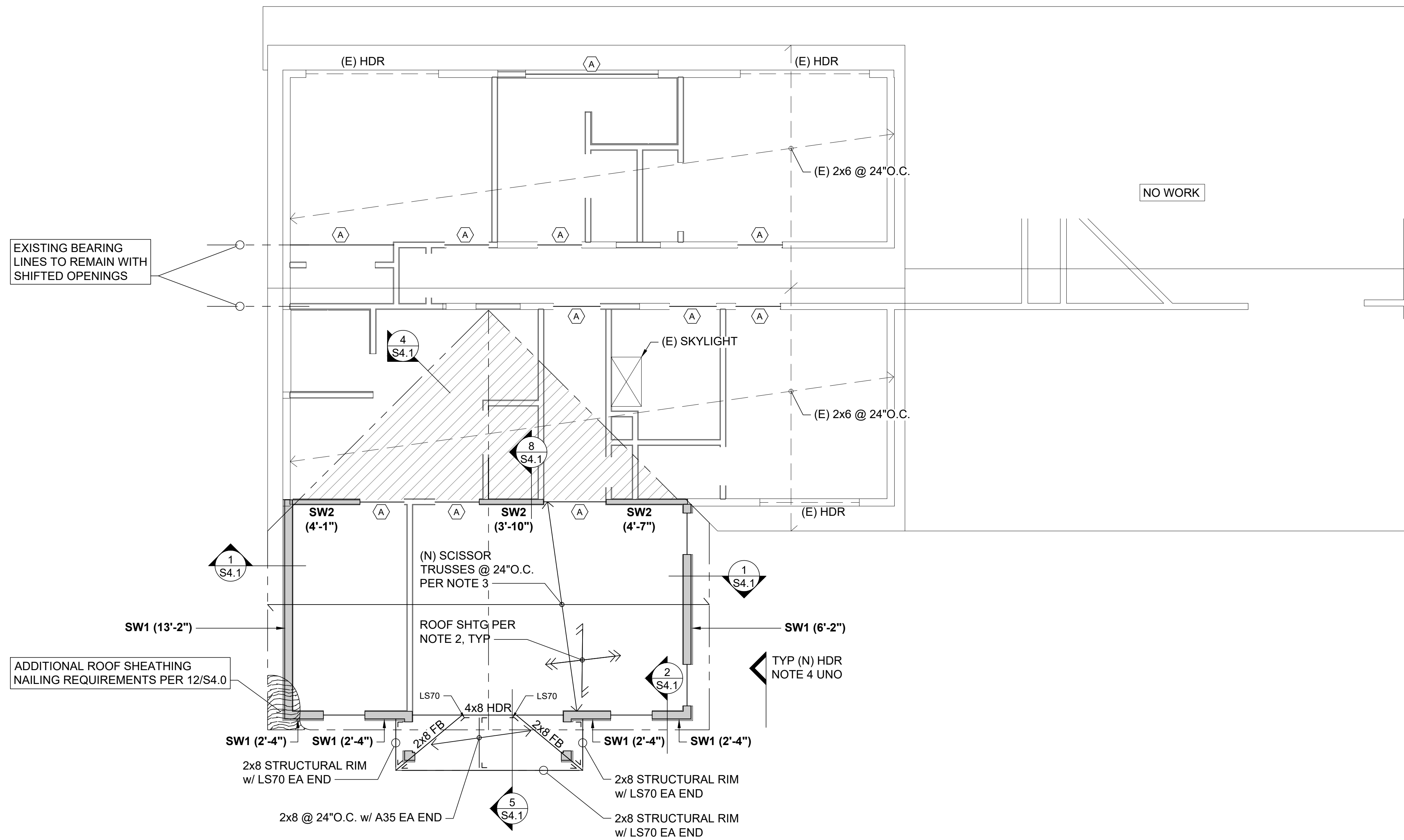


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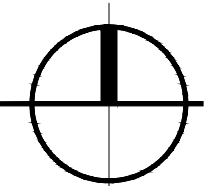


HELLING ADDITION  
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MERCER ISLAND, WA 98040



### ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



#### PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCH DWGS FOR ALL DIMENSIONS.
- NEW ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING @ ALL FRAMED PANEL EDGES WITH 8d @ 6" OC AND TO ALL INTERMEDIATE FRAMING @ 12" OC.
- NEW ROOF FRAMING SHALL BE PREFABRICATED ROOF SCISSOR TRUSSES @ 24" OC. TRUSS DESIGN TO BE PROVIDED BY OTHERS. SEE STRUCTURAL NOTES FOR DESIGN REQUIREMENTS.
- NEW HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2) 2x8 MINIMUM. PROVIDE (2) TRIMMER STUDS MIN @ EA END OF ALL HEADERS U.N.O. SEE DETAIL 4/S4.0 FOR TYPICAL INSTALLATION.
- PROVIDE (2) STUDS MINIMUM @ EACH END OF NEW ALL BEAMS U.N.O. ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN & PROVIDE POSITIVE CONNECTION BY EITHER A35 OR LTP4 CLIPS ON EA SIDE OF BEAM OR W/ AN AC, PC, OR LPC CAP.
- SW# (X'-X") INDICATES NEW SHEAR WALL TYPE AND APPROXIMATE LENGTH. SEE 1/S4.0 FOR CONSTRUCTION REQUIREMENTS.
- ALL NEW EXTERIOR WALLS SHALL BE SW1, U.N.O. ON PLANS.
- TYPICAL NEW TOP PLATE CONSTRUCTION PER 3/S4.0.
- OVERFRAMING TYP TO BE 2x6'S @ 24" OC W/ VERT SUPPORT TO TRUSSES BELOW @ NO MORE THAN 48" OC.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

HATCH LEGEND	
	NEW STRUCTURAL WALLS BELOW
	OVERFRAMING PER NOTE 9

KEY NOTE LEGEND	
	NEW (2) 2x8 HEADER

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0	12.22.22	Building Permit

Sheet Contents

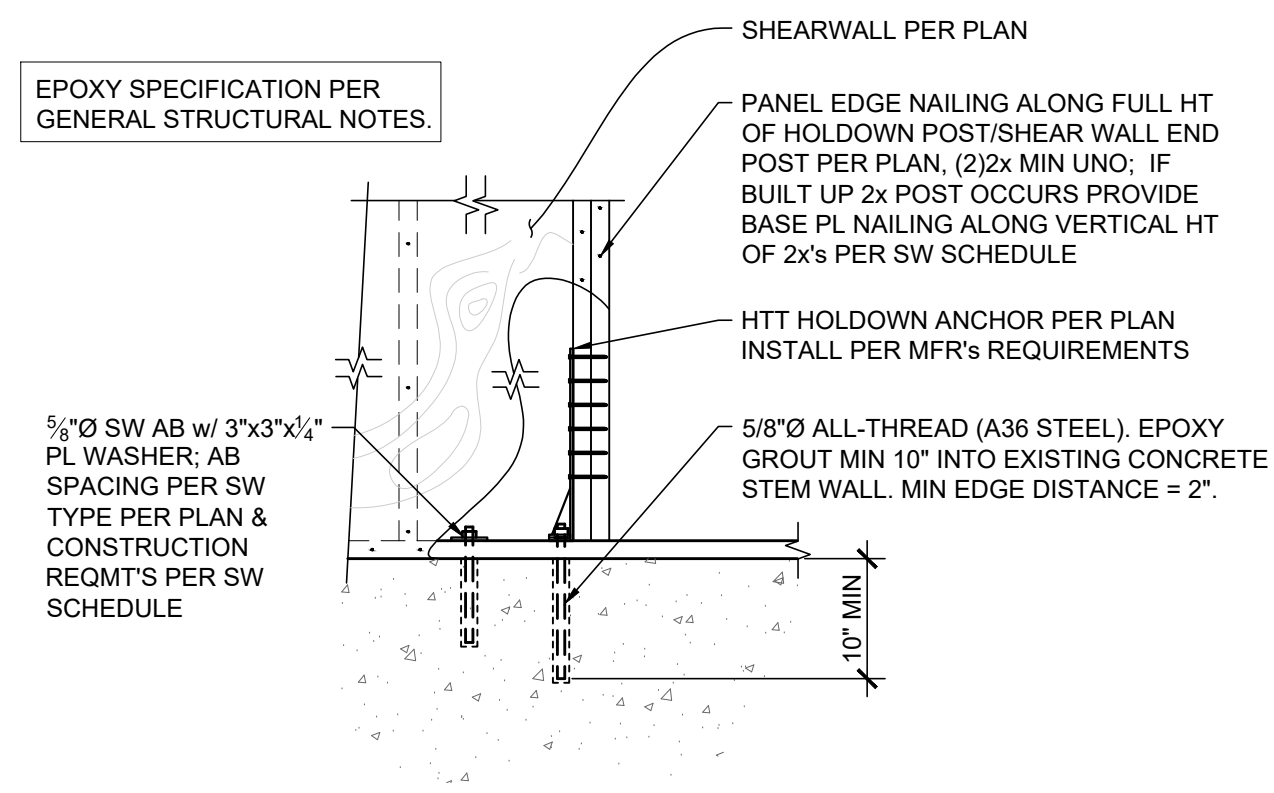
ROOF FRAMING PLAN

Job No. 22-053

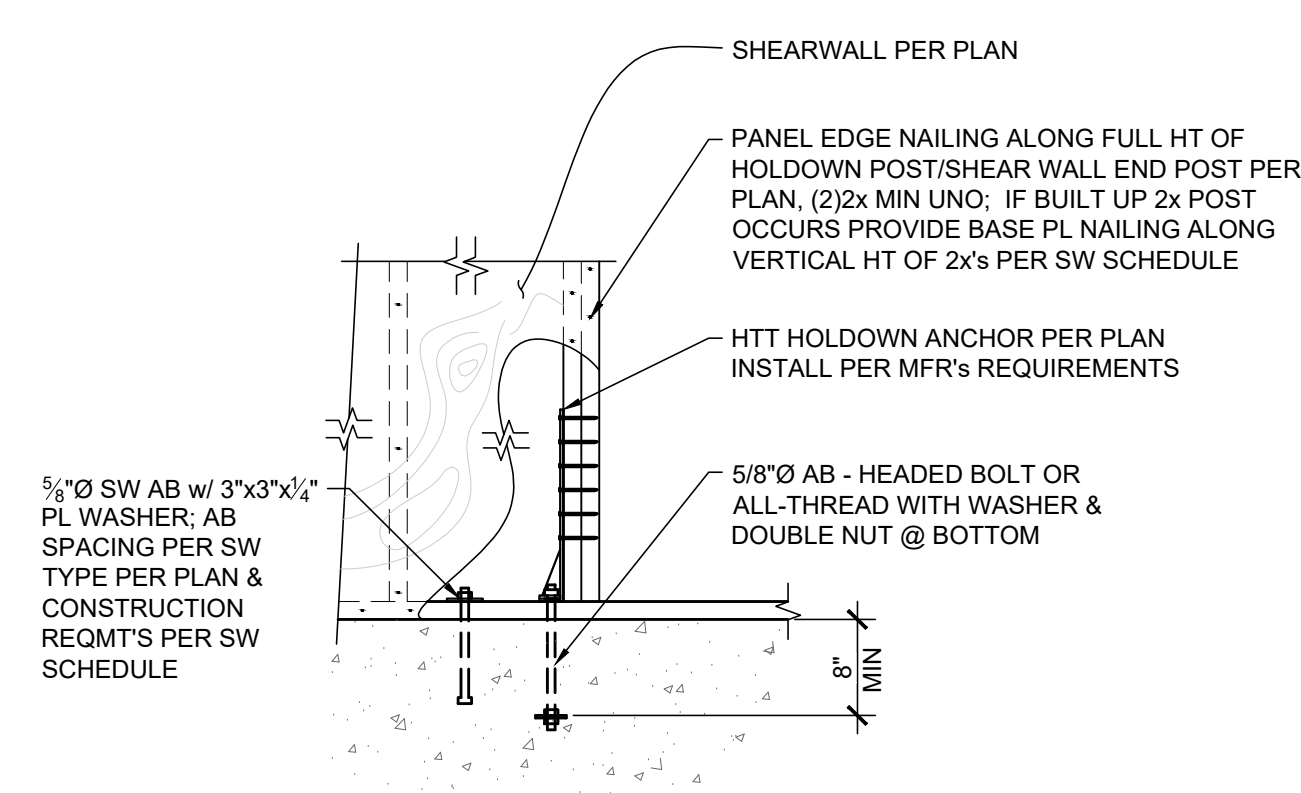
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S2.2

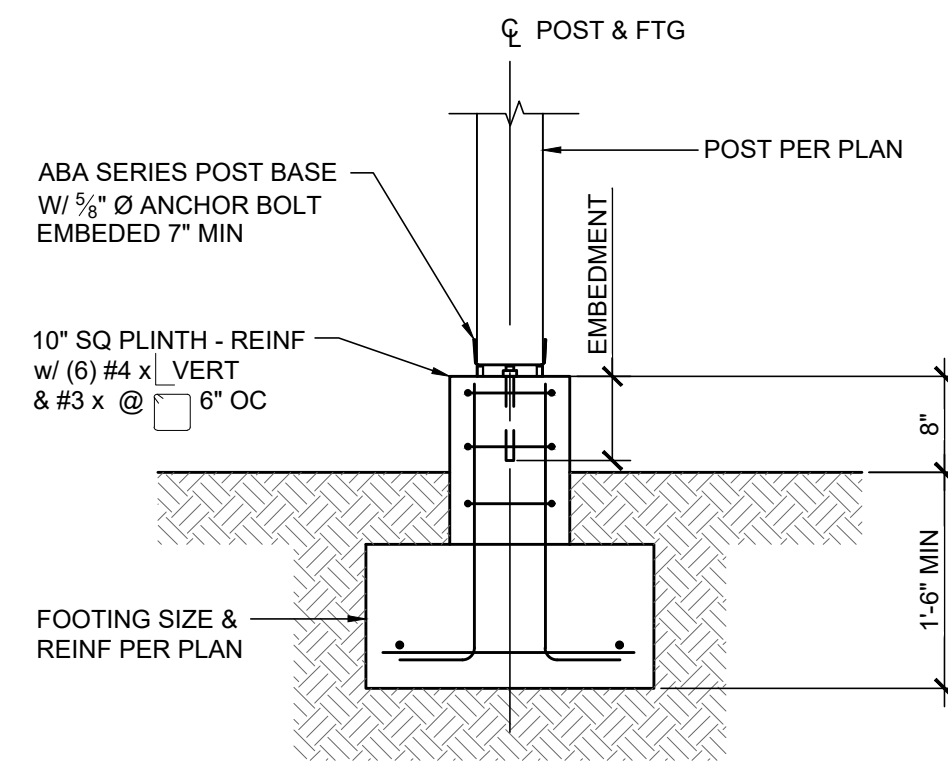




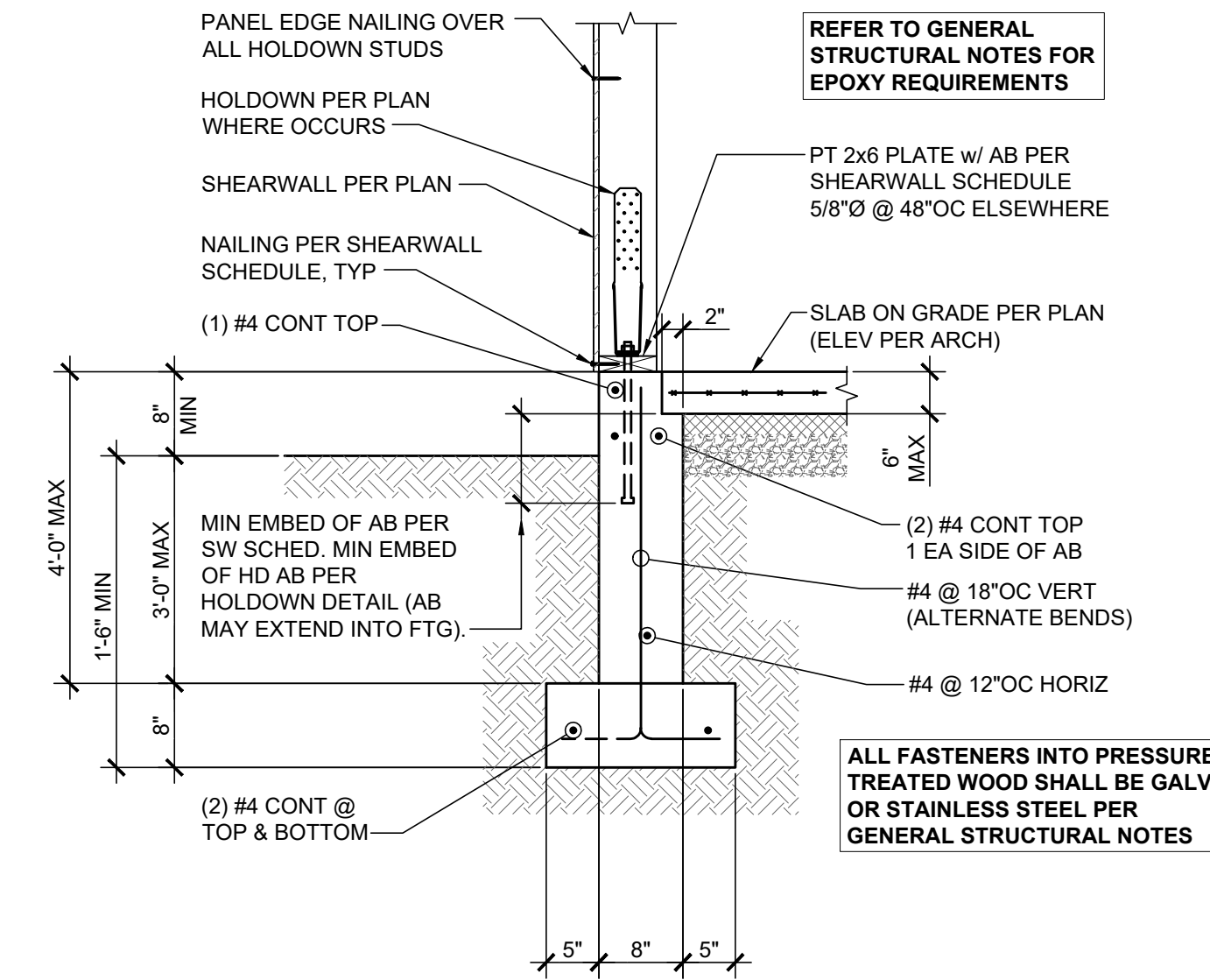
HTT RETROFIT HOLDOWN ANCHOR 4  
SCALE: 3/4" = 1'-0" S3.0



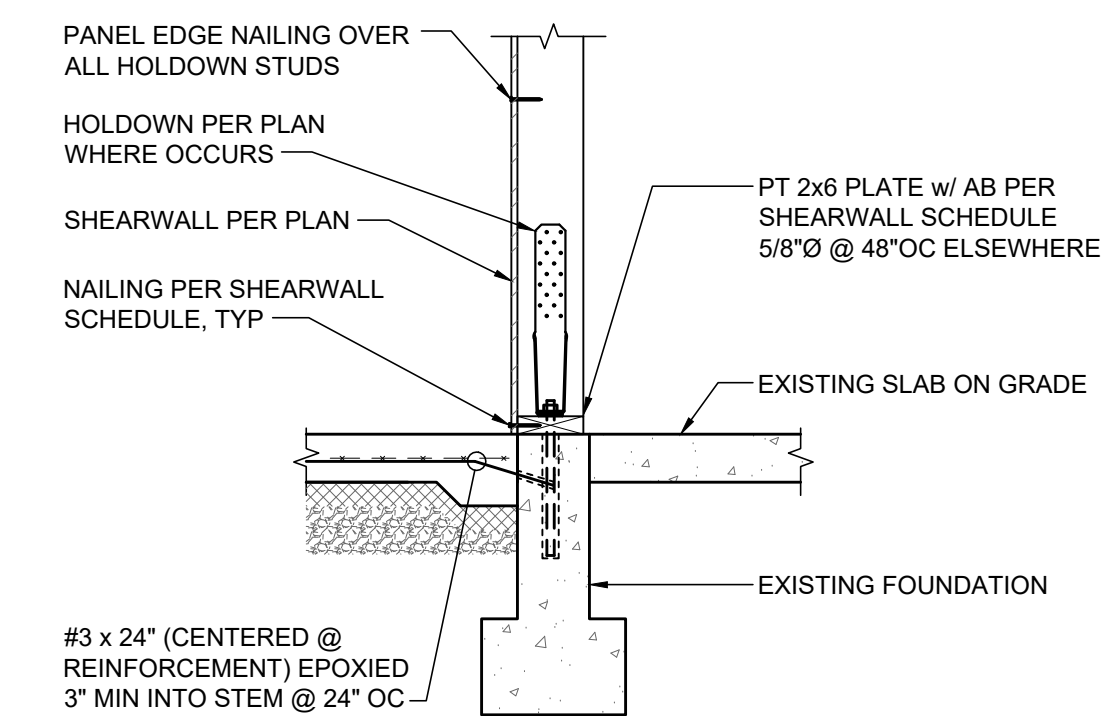
TYPICAL HTT HOLDOWN ANCHOR 3  
SCALE: 3/4" = 1'-0" S3.0



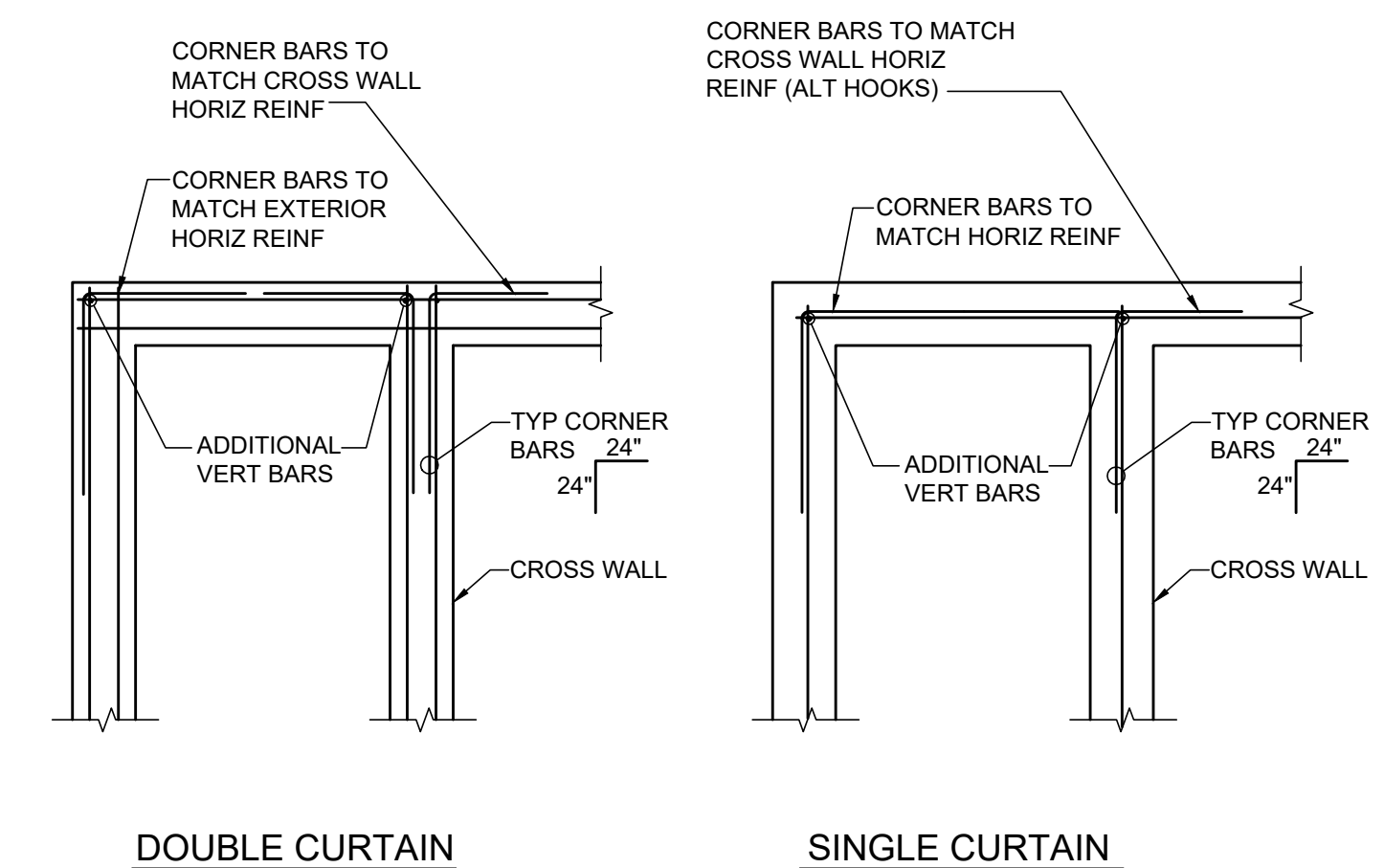
EXTERIOR POST FOOTING 2  
SCALE: 3/4" = 1'-0" S3.0



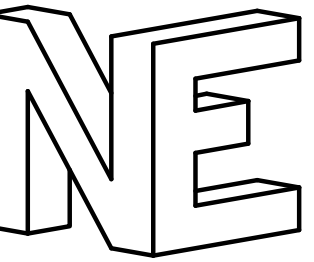
EXTERIOR GRADE BEAM @ SLAB ON GRADE 1  
SCALE: 3/4" = 1'-0" S3.0



NEW SLAB AGAINST EXISTING FOUNDATION 5  
SCALE: 3/4" = 1'-0" S3.0



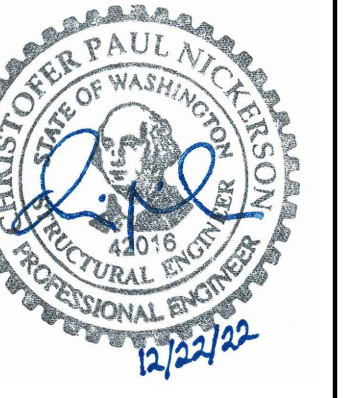
TYP CORNER BARS @ CONC WALLS & FTGS 9  
SCALE: 3/4" = 1'-0" S3.0



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HELLING ADDITION  
8925 SE 68TH ST  
MERCER ISLAND, WA 98040

No.	Date	Issue
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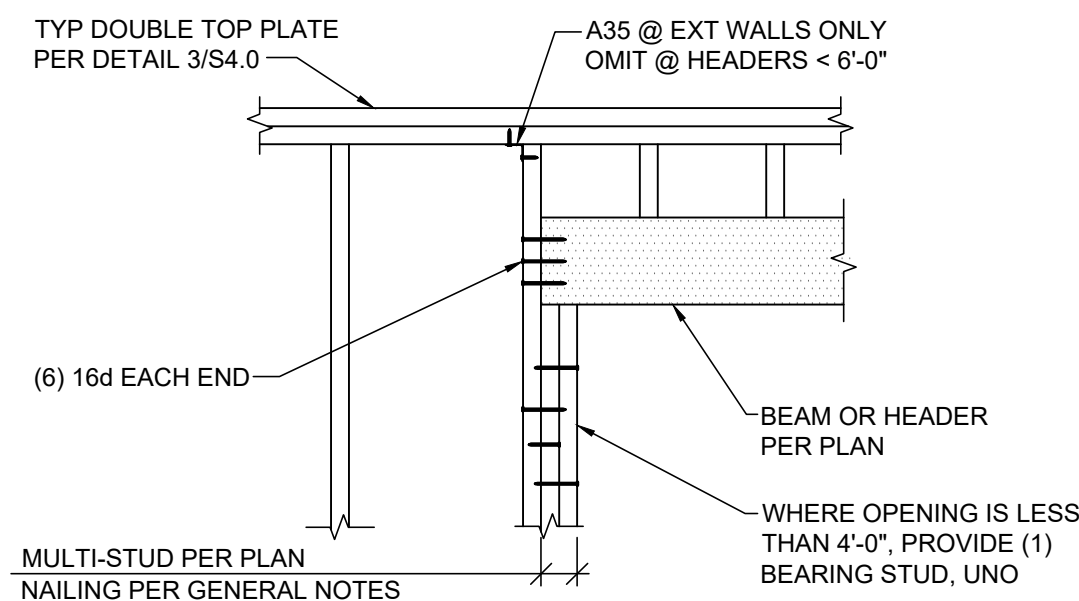
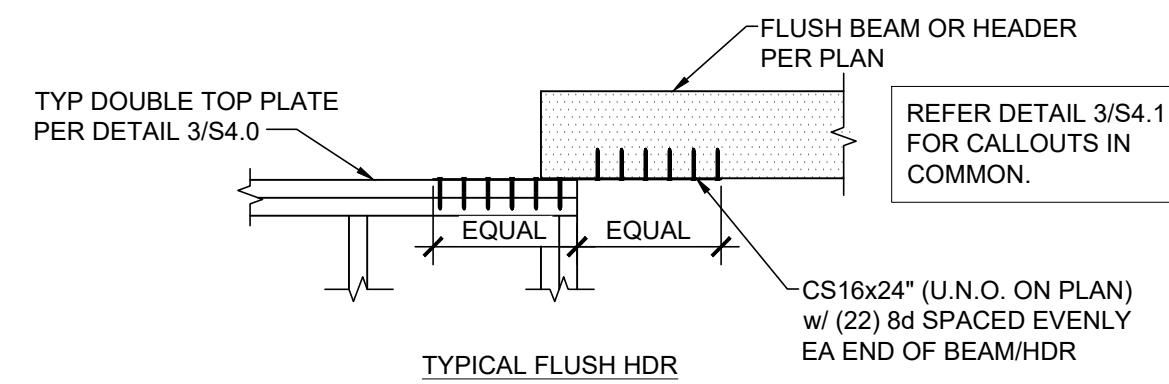
Sheet Contents

FOUNDATION DETAILS

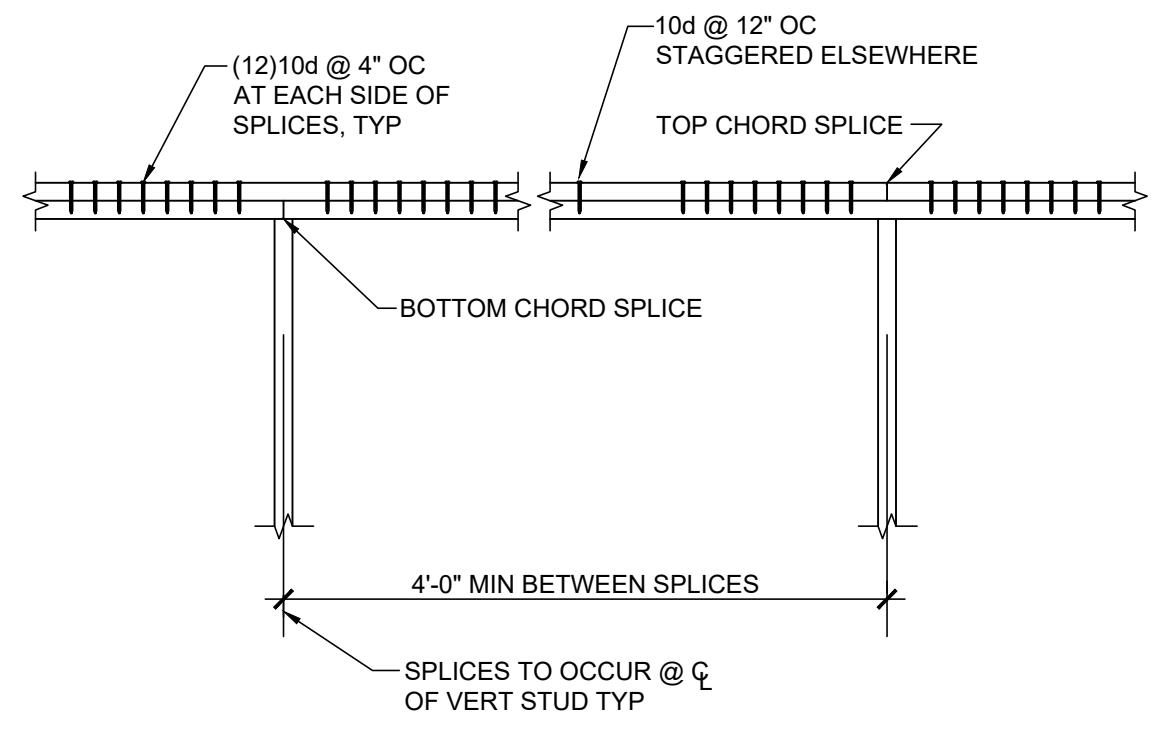
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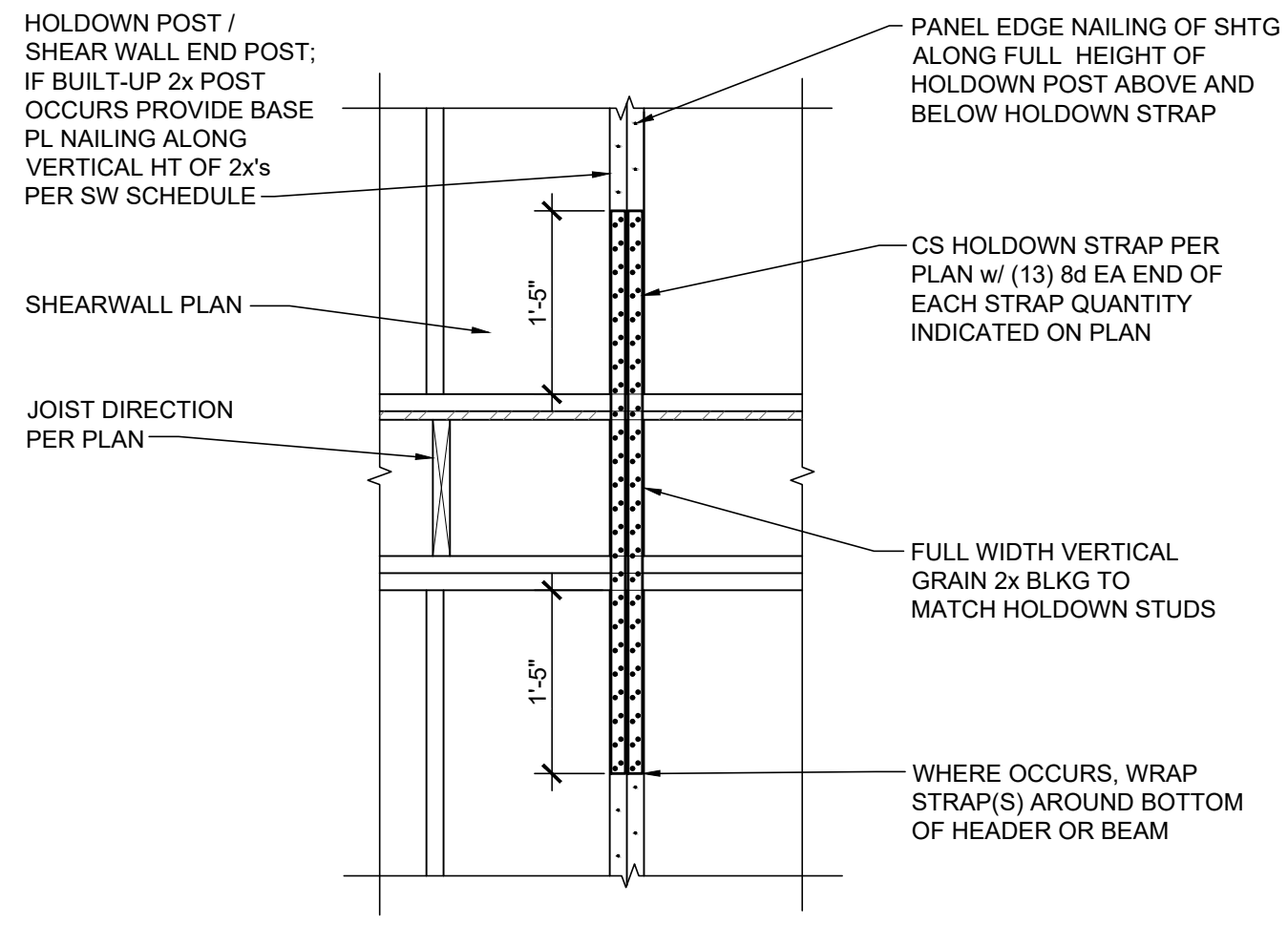
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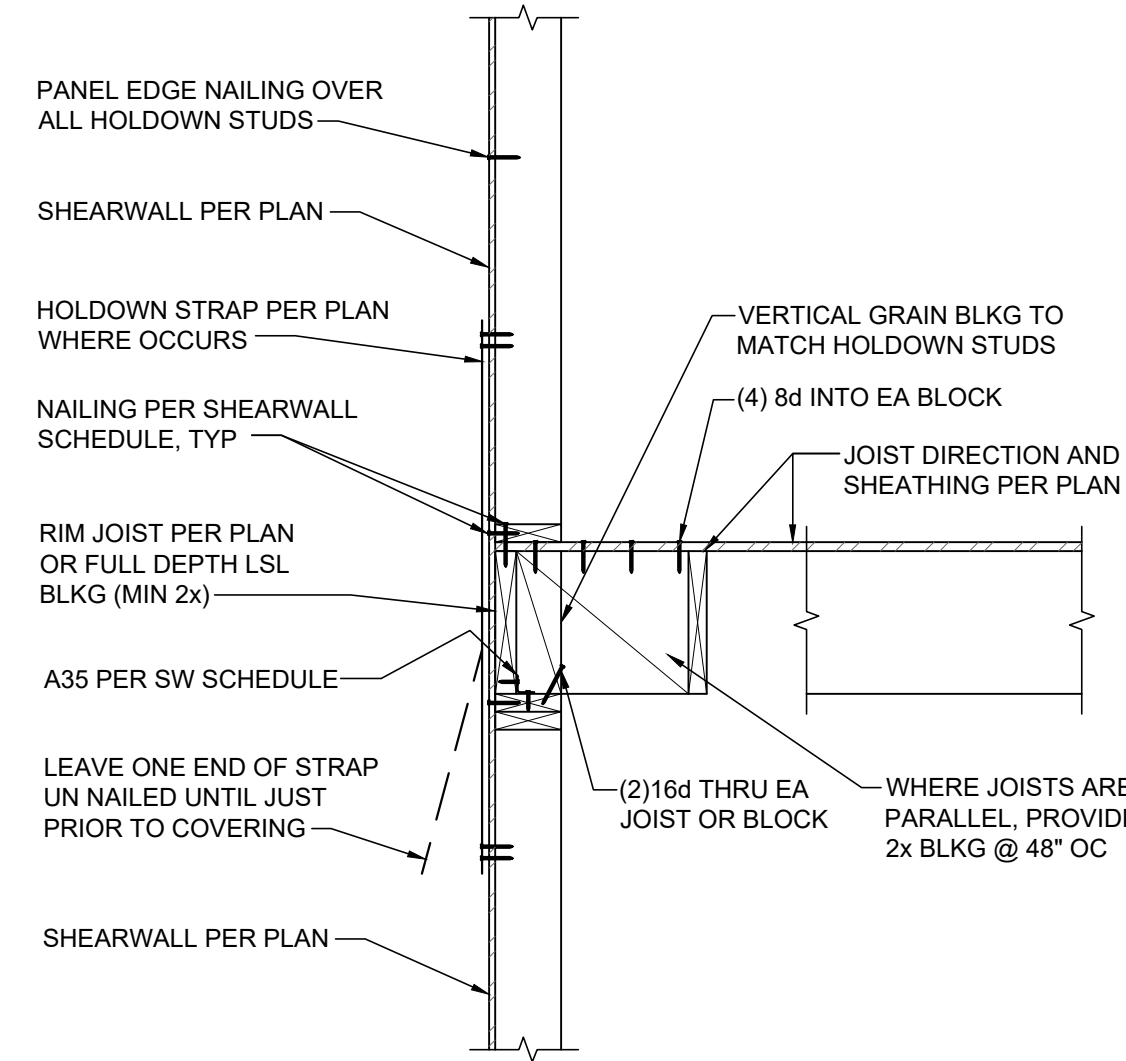
**TYPICAL HEADER SUPPORT** 4  
SCALE: 3/4" = 1'-0" S4.0



**TYPICAL TOP PLATE SPLICE** 3  
SCALE: 3/4" = 1'-0" S4.0



**TYPICAL CS HOLDOWN STRAP** 8  
SCALE: 3/4" = 1'-0" S4.0

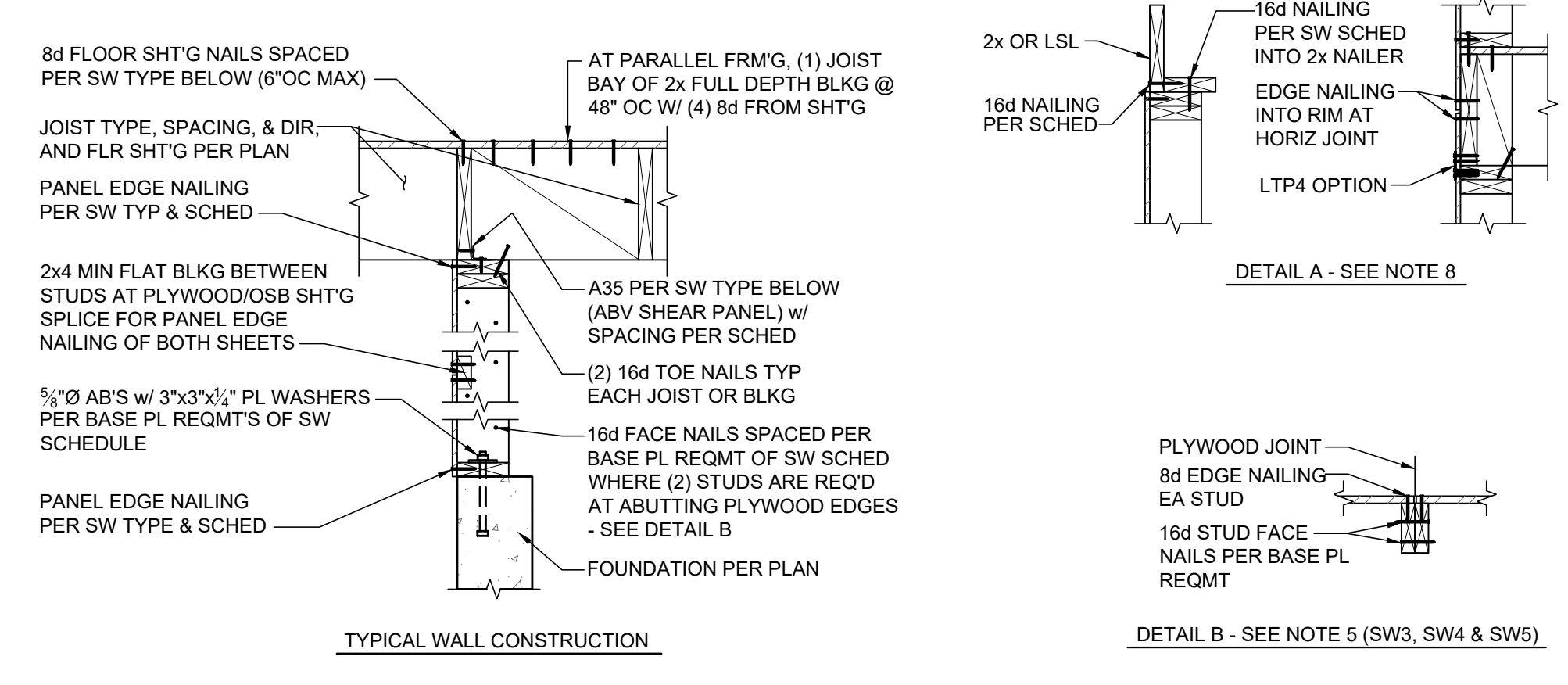


**EXTERIOR WALL @ FLOOR** 7  
SCALE: 3/4" = 1'-0" S4.0

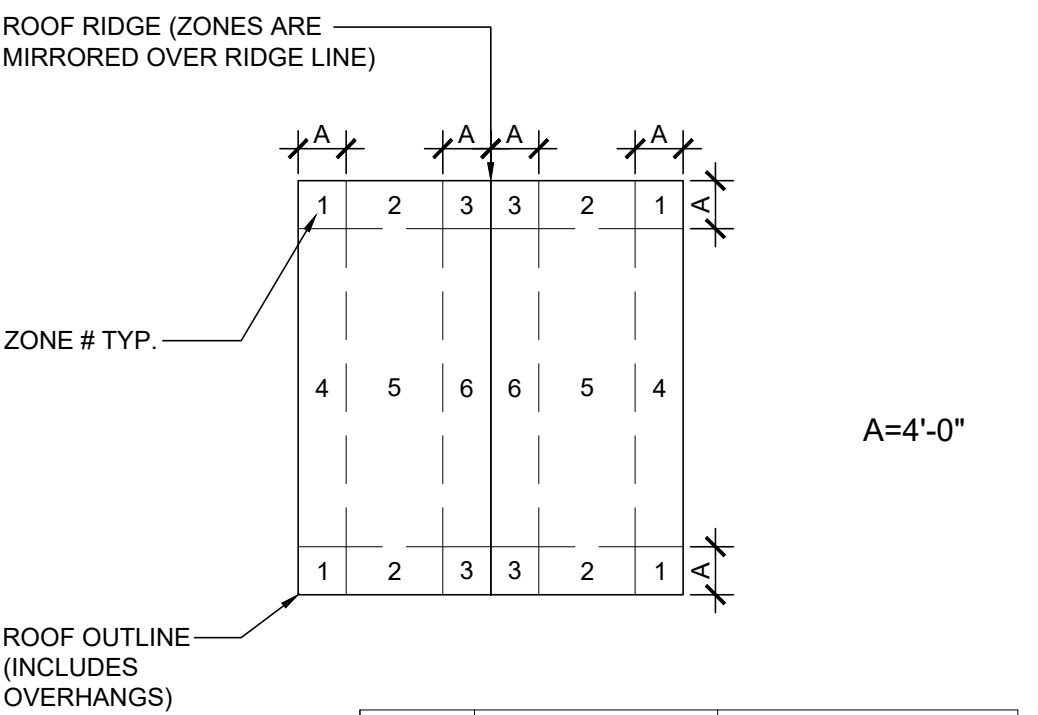
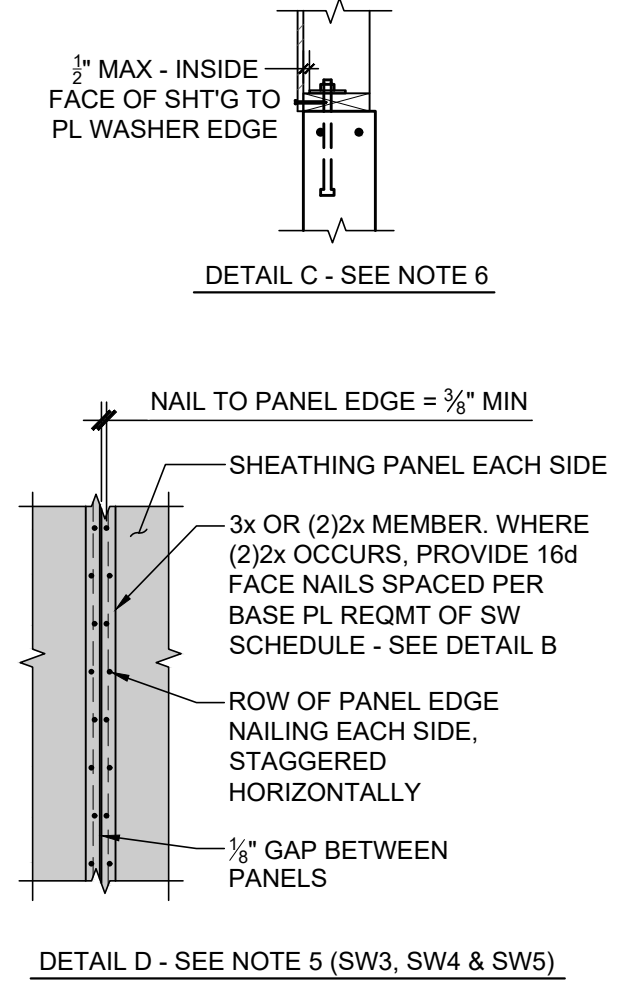
**SHEARWALL (SW) SCHEDULE 147**

MARK	SHEATHING	PANEL EDGE NAILING	TOP PL CONNECTION	BASE PLATE CONNECTION	
				at WOOD	at CONCRETE
SW1	1/2" PLYWOOD	8d @ 6" OC	A35 @ 24" OC	16d @ 6" OC	3/8" AB @ 48" OC
SW2	1/2" PLYWOOD	8d @ 4" OC	A35 @ 16" OC	16d @ 4" OC	3/8" AB @ 32" OC
SW3	1/2" PLYWOOD	8d @ 3" OC	A35 @ 12" OC	16d @ 3" OC	3/8" AB @ 16" OC
SW4	1/2" PLYWOOD	8d @ 2" OC	A35 @ 9" OC	(2) ROWS 16d @ 4" OC	3/8" AB @ 12" OC
SW5	1/2" PLYWOOD EACH SIDE	8d @ 3" OC EACH SIDE	A35 @ 6" OC	(2) ROWS 16d @ 3" OC	3/8" AB @ 12" OC

- BLOCK PANEL EDGES WITH 2x LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12" OC.
- 8d NAILS SHALL BE 0.131"Ø x 2 1/2" (COMMON); ACCEPTABLE SUBSTITUTE FOR 8d's ARE 10d's OF 0.131"Ø x 3" AT CONTRACTOR'S OPTION; 16d NAILS SHALL BE 0.135"Ø x 3 1/2" (BOX), 0.148"Ø x 3 1/4" (SINKER), OR 0.162"Ø x 3 1/2" (COMMON WIRE)
- EMBED ANCHOR BOLTS (AB'S) 7" MIN & PROVIDE 3"x3"x1/4" PL WASHER AT EA AB; EXPANSION BOLTS, TITEN HD ANCHORS, OR EPOXY EMBEDDED THREADED RODS MAY BE POST INSTALLED IN LIEU OF AB'S; ALL POST INSTALLED ANCHORS SHALL HAVE 3"x3"x1/4" PL WASHER; EPOXY EMBEDDED OPTION SHALL UTILIZE SIMPSON AT-XP EPOXY.
- (2)2x STUDS MIN ARE REQUIRED AT THE END OF ALL SHEAR WALLS TO RECEIVE THE PANEL EDGE NAILING, UNLESS NOTED OTHERWISE. AT BUILT-UP 2x STUDS, PROVIDE 16d FACE NAILS ALONG FULL HEIGHT OF 2x's, SPACED PER BASE PLATE NAILING REQUIREMENTS OF THE SPECIFIC SW TYPE (PER PLAN).
- SW3, SW4 & SW5 REQUIREMENTS: 3x STUDS OR (2) 2x STUDS ARE REQUIRED AT ABUTTING PANEL EDGES. WHERE (2)2x STUDS ARE UTILIZED, PROVIDE 16d FACE NAILS ALONG FULL HEIGHT OF 2x's, SPACED PER BASE PLATE NAILING REQUIREMENTS OF THE SPECIFIC SW TYPE (PER PLAN) - SEE DETAIL B. EACH ROW OF PANEL EDGE NAILING TO BE STAGGERED HORIZONTALLY - SEE DETAIL D. FOR SW5, ABUTTING PANEL EDGES SHALL BE OFFSET EACH SIDE OF WALL.
- SW3, SW4 & SW5 ANCHOR BOLT & PLATE WASHER PLACEMENT - PLATE WASHERS SHALL BE NO MORE THAN 1/2" FROM INTERIOR FACE OF SHEATHING/SILL PLATE EDGE WHERE NAILING OCCURS - SEE DETAIL C. AT SW5, ANCHOR BOLTS TO BE STAGGERED.
- ALL EXTERIOR WALLS SHALL BE SW1, UNLESS NOTED OTHERWISE.
- ALTERNATIVE CONNECTIONS FOR A35'S: LTP4 FLAT PL'S AT SAME SPACING FROM RIM/BLOCKING/BEAM TO TOP PL'S. WHEN LTP4'S ARE INSTALLED OVER 1/2" SHEATHING, PROVIDE 0.131"Ø x 2 1/2" NAILS INSTEAD. OTHER ALTERNATIVE CONNECTIONS FOR A35'S: A 2x NAILER FOR CEILING CONNECTION, OR THE HORIZONTAL SHEATHING SPLICE/Joint TO OCCUR ON RIM/BLKG/BEAM (ABOVE TOP PL'S & BELOW BOTTOM PL) - SEE DETAIL A. AT SW5 & SW6, INSTALL LTP4 FLAT PL'S AS SPECIFIED TO EACH SIDE OF FULL DEPTH BLOCKING OR BEAM. BLOCKING/BEAM WIDTH TO MATCH SW WIDTH.
- 3/16" OSB IS ACCEPTABLE SUBSTITUTE FOR 1/2" CDX PLYWOOD w/ SIMILAR SPAN RATING.
- ALL RIMS TO BE 2x TO MATCH FLOOR/DECK JOISTS ADJACENT (10" OR 12" PER PLAN) MIN U.N.O. AS WIDER PER PLAN.

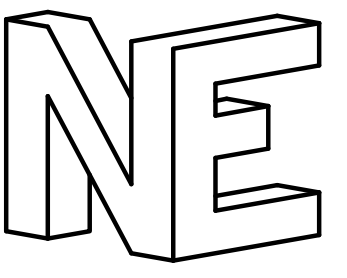


**SHEARWALL SCHEDULE AND TYPICAL CONSTRUCTION** 1  
SCALE: NTS S4.0



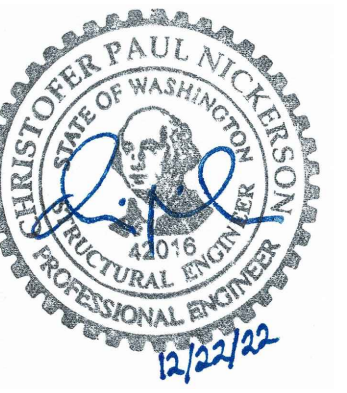
ZONE	PANEL EDGE NAILING	INTERMEDIATE FRAMING NAILING
1	8d @ 6" OC	8d @ 6" OC
2	8d @ 6" OC	8d @ 12" OC
3	8d @ 6" OC	8d @ 12" OC
4	8d @ 6" OC	8d @ 12" OC
5	8d @ 6" OC	8d @ 12" OC
6	8d @ 6" OC	8d @ 12" OC

**ADDITIONAL ROOF NAILING (PITCHED ROOF)** 12  
SCALE: 3/4" = 1'-0" S4.0



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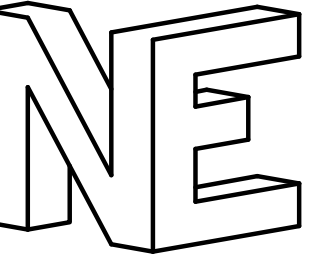
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Sheet Contents  
FRAMING DETAILS

Job No. 22-053

Sheet No.

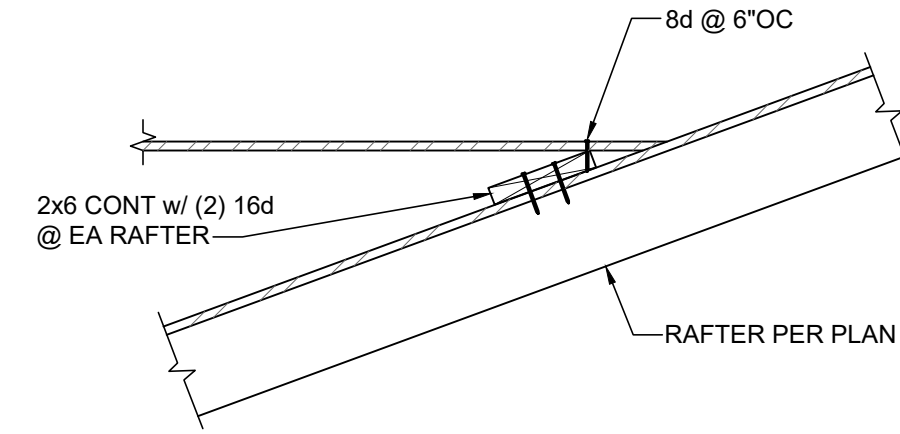
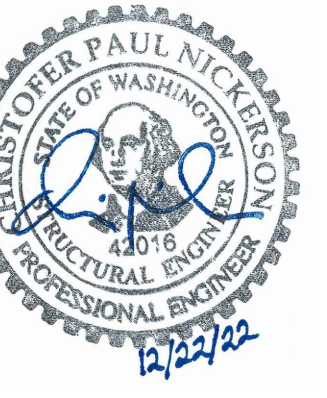
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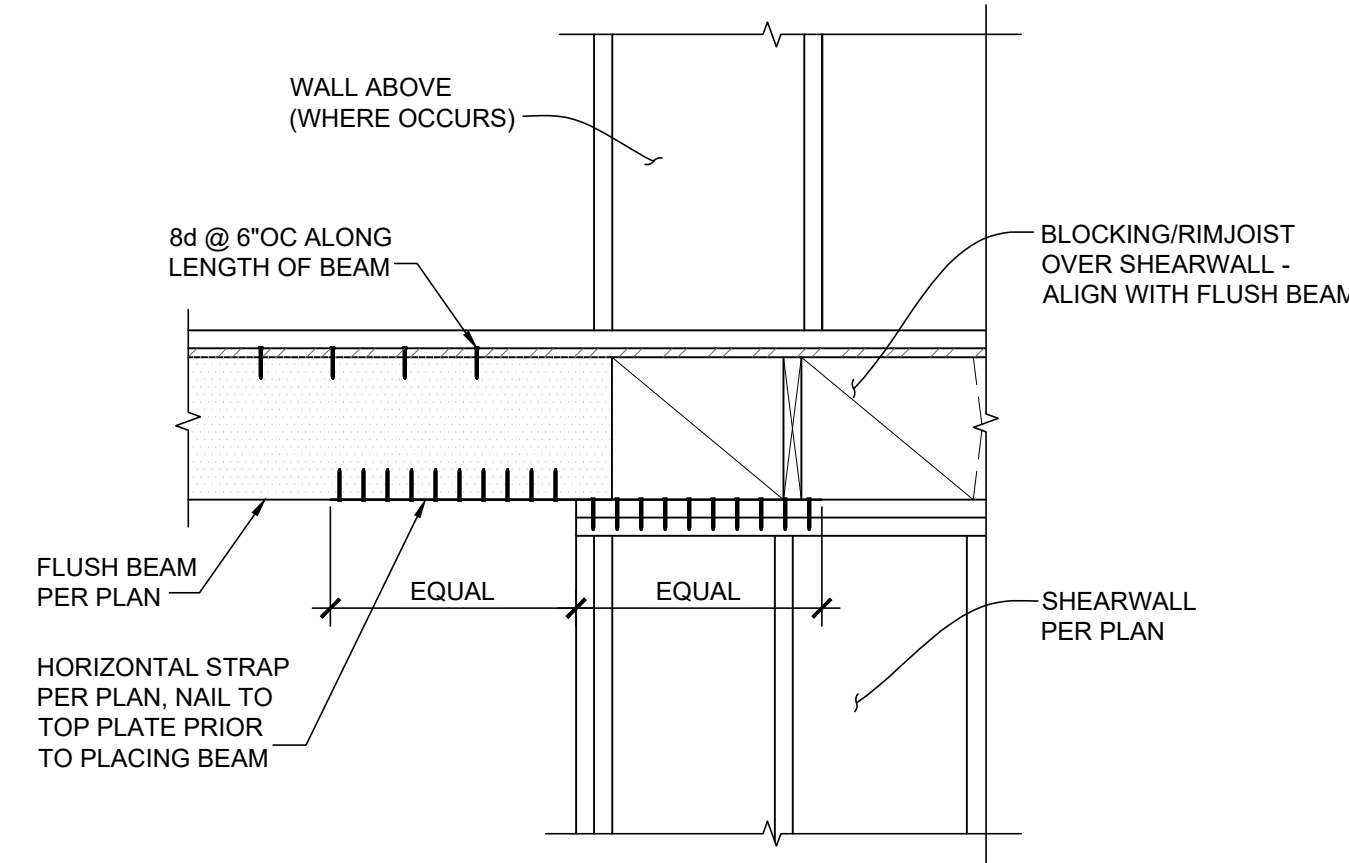
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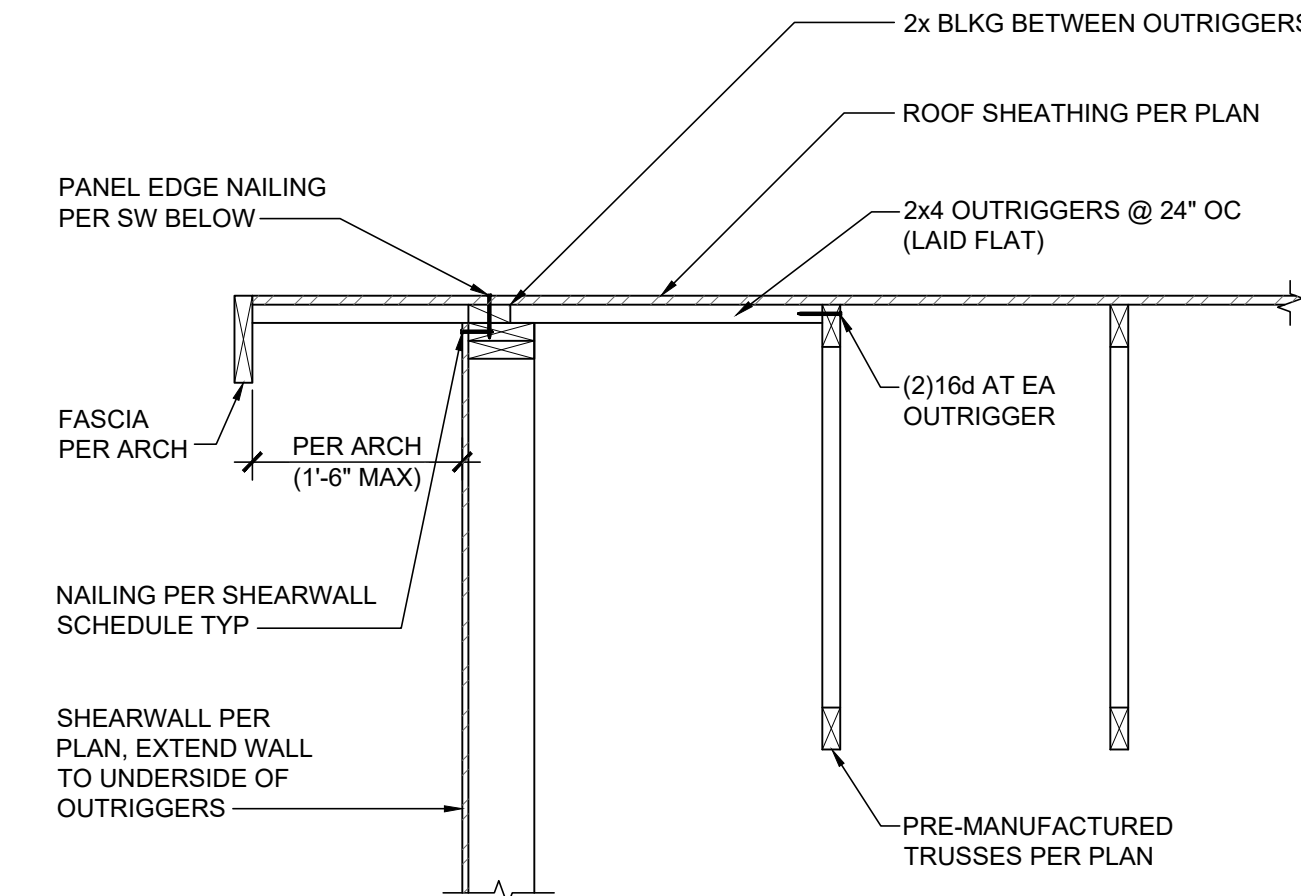
Stated drawing scale is based on 35" x 24" sheet.



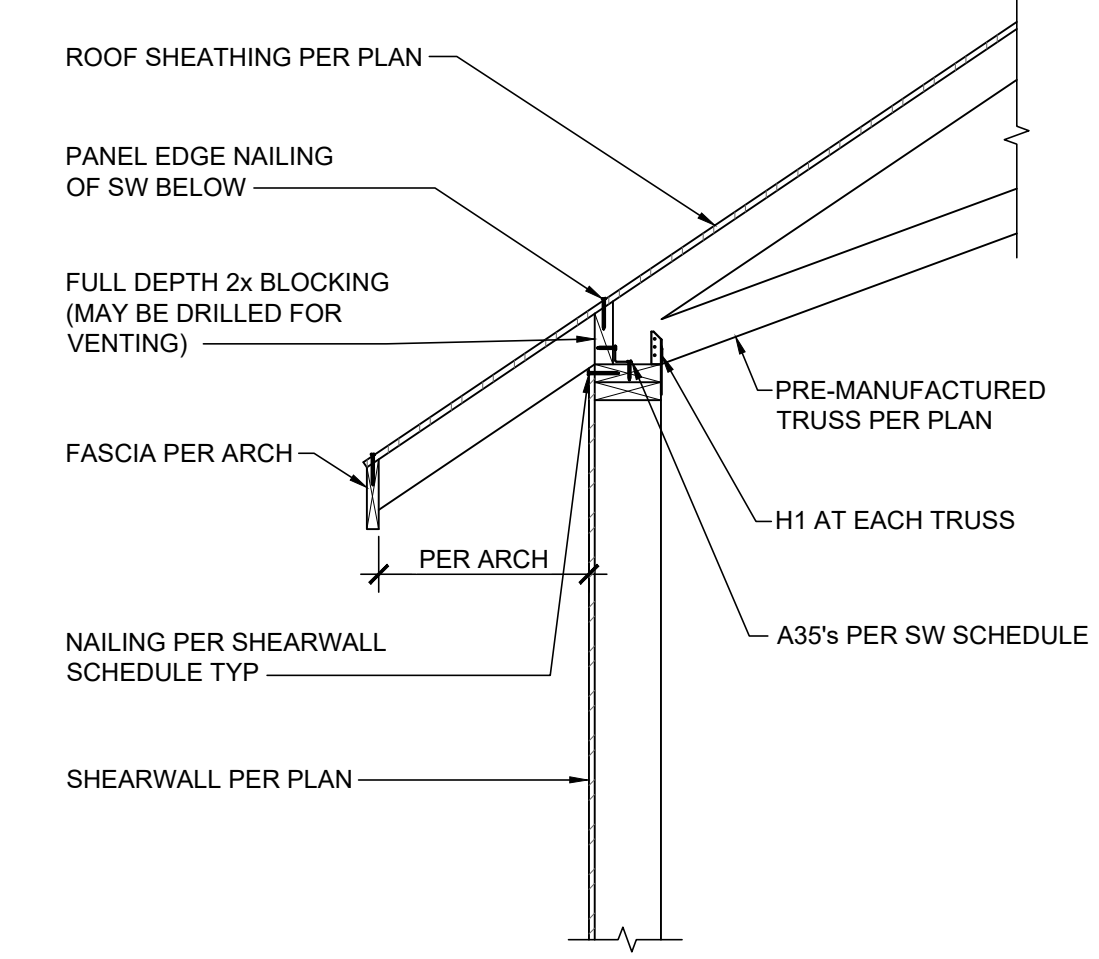
OVER FRAMING CONNECTION 4  
SCALE: 3/4" = 1'-0"  
S4.1



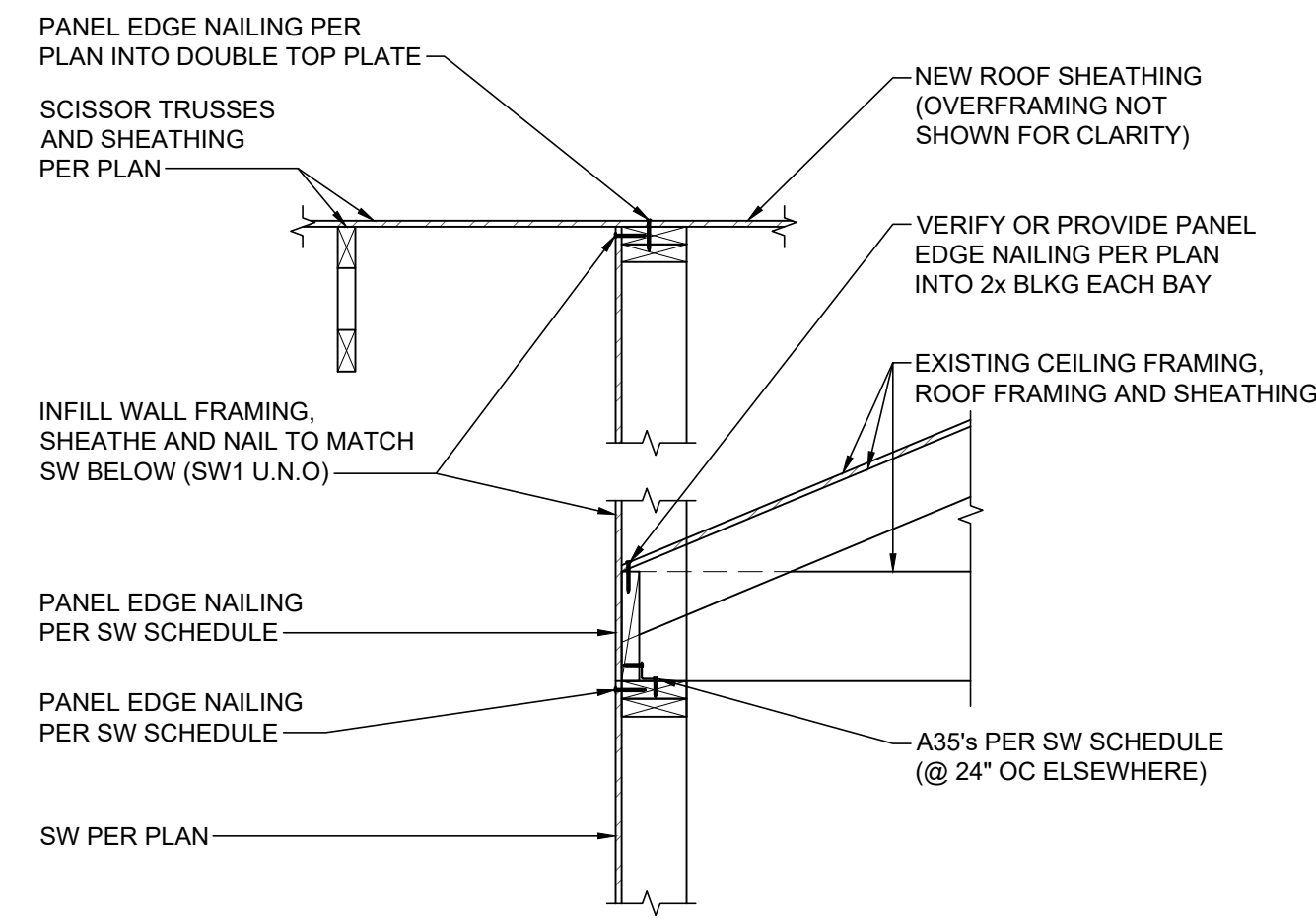
TYPICAL DRAG STRUT STRAP 3  
SCALE: 3/4" = 1'-0"  
S4.1



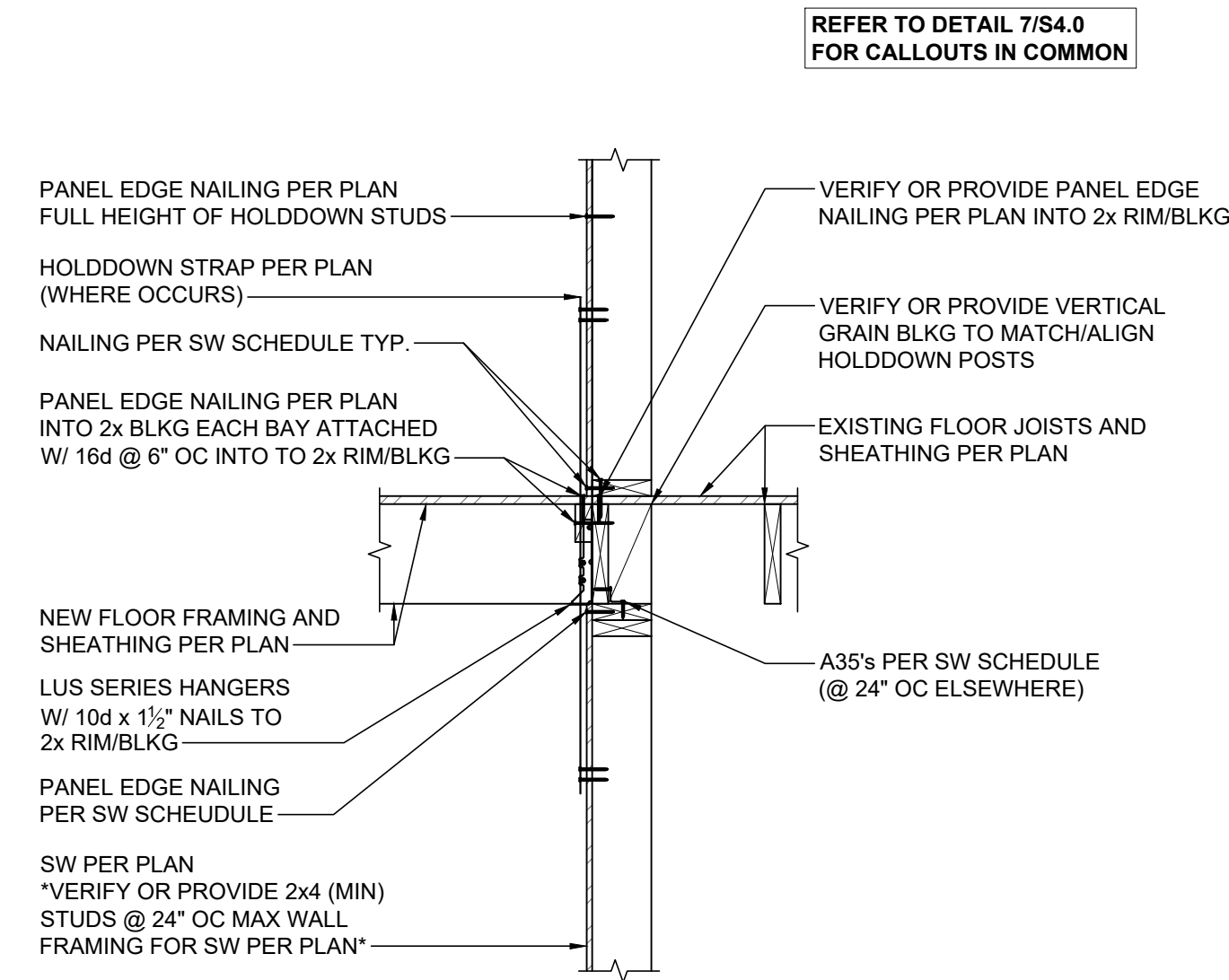
EXTERIOR WALL @ GABLE END 2  
SCALE: 3/4" = 1'-0"  
S4.1



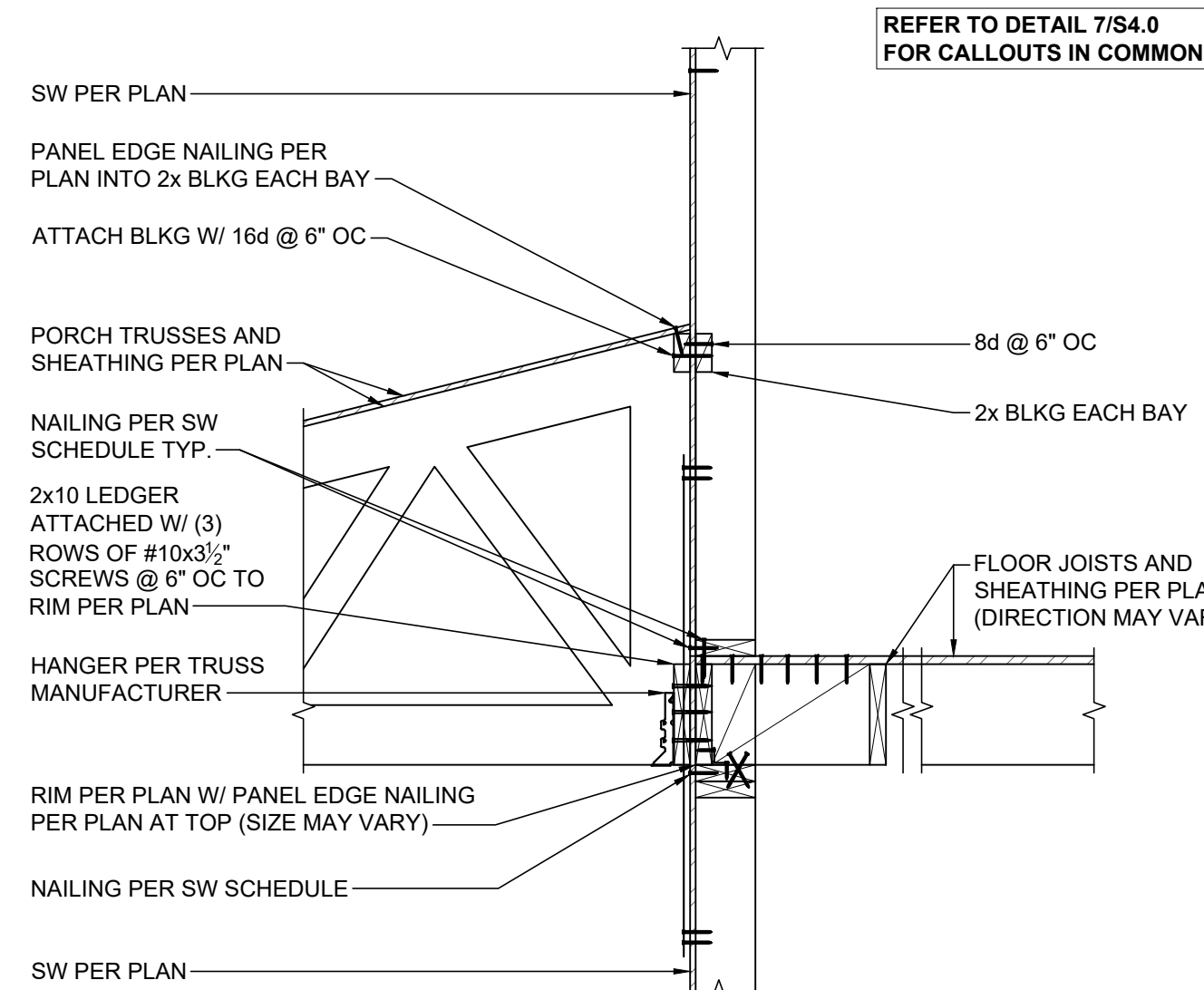
EXTERIOR WALL @ EAVE 1  
SCALE: 3/4" = 1'-0"  
S4.1



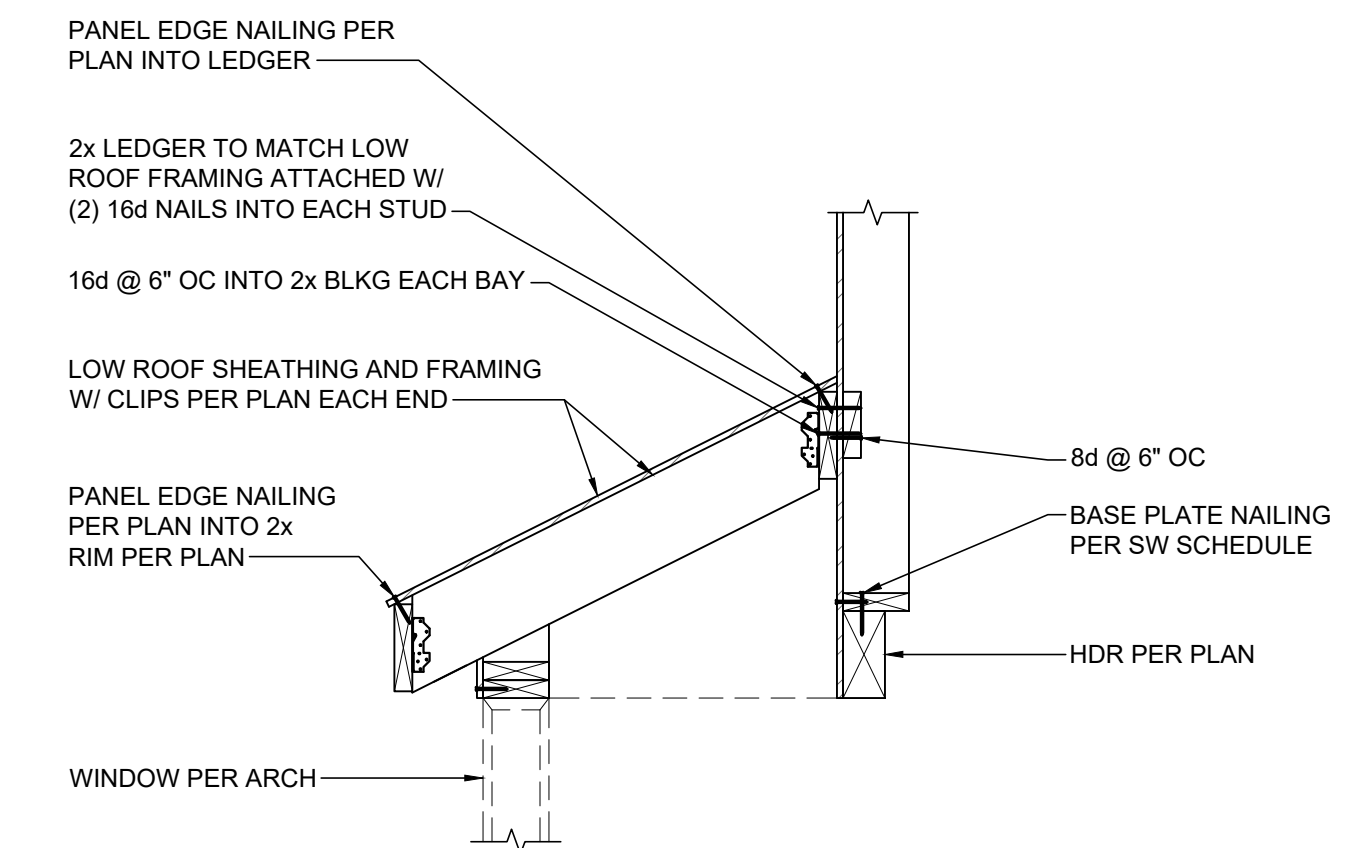
NEW ROOF AT OVERFRAMING 8  
SCALE: 3/4" = 1'-0"  
S4.1



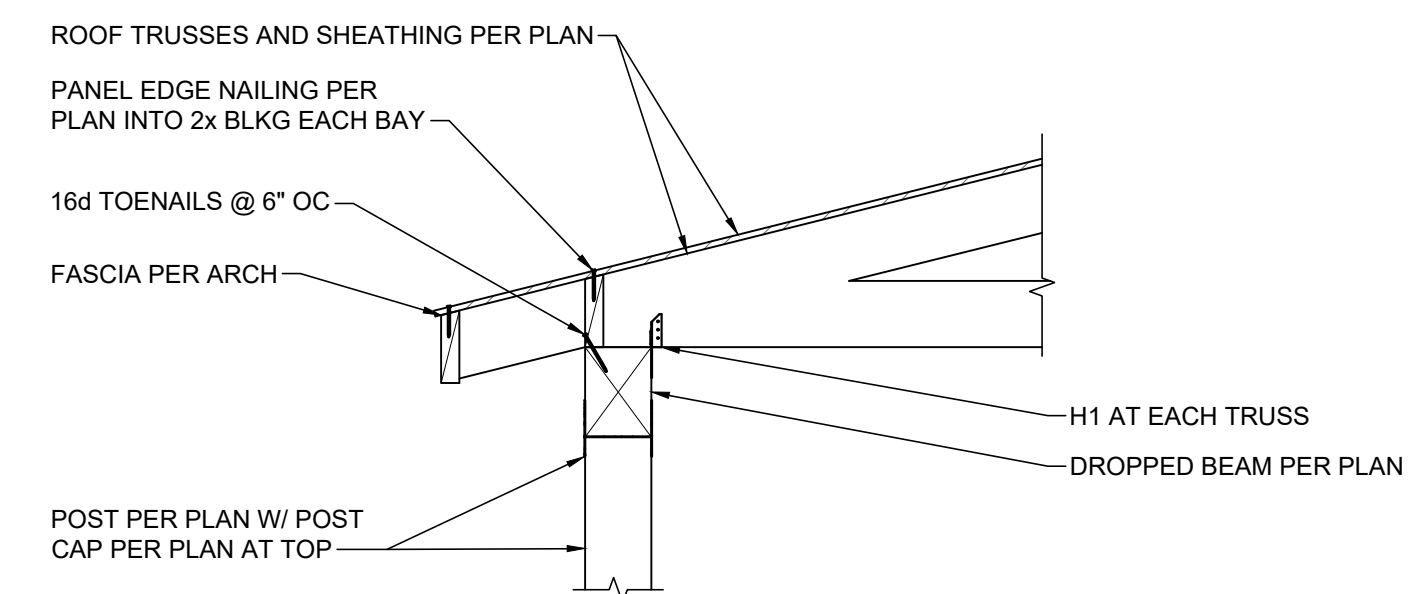
NEW FLOOR FRAMING AT EXISTING EXTERIOR WALL 7  
SCALE: 3/4" = 1'-0"  
S4.1



PORCH TRUSSES AT EXTERIOR WALL 6  
SCALE: 3/4" = 1'-0"  
S4.1



LOW ROOF FRAMING @ WINDOW BUMP OUT 5  
SCALE: 3/4" = 1'-0"  
S4.1



PORCH TRUSSES AT DROPPED BEAMS 9  
SCALE: 3/4" = 1'-0"  
S4.1

HELLING ADDITION  
8925 SE 68TH ST  
MERCER ISLAND, WA 98040

No.	Date	Issue
0	12.22.22	Building Permit

Sheet Contents

FRAMING DETAILS

Job No. 22-053

Sheet No.

S4.1