

ELEVATION CALC.

	EL @ MIDPOINT	segment	wtd sgmnt
	(ft)	(ft)	
1	197.50	25.5	5036.25
2	198.00	1	198.00
3	198.00	15	2970.00
4	198.00	1	198.00
5	198.50	14	2779.00
6	198.00	24	4752.00
7	198.00	3	594.00
8	198.00	18	3564.00
9	198.00	26.46	5239.08
10	198.00	18	3564.00
11	197.50	25.04	4945.40
12	197.50	24	4740.00
		195	38579.73

AVG. EL = **197.8448**  
existing = final grades typ.

**LOT SLOPE**

HIGH POINT = 200'  
LOW POINT = 194'  
LOT SLOPE = 6'/107' = 5.61%  
LOT COVERAGE = 40%

**F.A.R. CALCULATION**

Main Floor FA= 1768 sf (inc. gar)  
Basement FA = 1222 sf (94.4% below grade)  
Upper Floor FA = 1242 sf  
4232 sf

excepted FA = (1153.6 sf)  
stairs = (70 sf x 2 = 140 sf)

TOTAL chargeable FA = 2938.4 sf  
Lot is < 7500 sf therefore FAR = lesser of 3000 sf or, 45% of lot area  
.45 x 7291 sf = 3281 sf, FAR limit = 3000 sf

**LOT COVERAGE (SHADED AREA)**

House Roof to eaves (shaded x 2) = 2306 sf  
covered porches/decks = 207.5 sf  
driveway (shaded) = 338 sf  
TOTAL = 2851.5 sf  
allowable = 7291 x .4 = 2916.4 sf

amount available for hardscape = 110.4 sf

**HARDSCAPE**

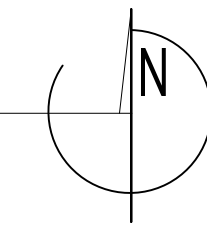
DECKS, PATIOS, WALKS, WINDOW WELLS ETC = 512.4 sf

allowable = 7291 sf x .09 = 656.2 sf  
extra lot cov. = 110.4 sf  
TOTAL allow. = 766.6 sf

NFPA 13R and NFPA 72 Monitored "Chapter 29"  
Fire Alarm System to be installed per CoMI and  
NFPA Standards required.

**A. SITE PLAN**

- 1/10" = 1'-0"
- 327 = SPOT ELEVATION, FINAL
  - = EAVE/ROOF LINE
  - = EXTENT OF LIVING AREA
  - = BUILDING FOOTPRINT (FOUNDATION EXTENTS)
  - SHADED AREA = BLDG EXTENTS TO EAVE
  - EXISTING HOUSE, DRIVEWAY AND ALL HARDSCAPE ON PROPERTY TO BE REMOVED
  - = EXISTING TOPOGRAPHY
  - ⊙ = WALL SEGMENT TAG FOR HEIGHT CALCULATION
  - ⊙ = WALL SEGMENT TAG FOR BASEMENT FAR EXCEPTION
  - SEE SHEET 03 FOR BASEMENT EXCEPTION CALC.



All Japanese knotweed (*Polygonum cuspidatum*) and Regulated Class A, Regulated Class B, and Regulated Class C weeds identified on the King County Noxious Weed list, as amended, shall be removed from the property.

development proposals for a new single-family home shall remove Japanese knotweed (*Polygonum cuspidatum*) and regulated class a, regulated class b, and regulated class c weeds identified on the King County Noxious Weed list, as amended, from required landscaping areas established pursuant to subsection 19.02.020(f)(3)(a). New landscaping associated with new single-family home shall not incorporate any weeds identified on the King County Noxious Weed list, as amended, provided, that removal shall not be required if the removal will result in increased slope instability or risk of landslide or erosion.

**Civil Engineer**

Duffy Ellis  
CES Civil Engineering  
102 NW Canal St Seattle WA 98107  
206.930.0342

**Structural Engineer**

Javid Abdi, PE, SE Atlas Consulting Structural Engineers  
6810 NE 149th St Kenmore WA 98028  
Phone: (206) 427-7233

**Contractor**

Milad Homes LLC  
7683 SE 27th St Mercer Island WA 98040  
206.498.6045  
Lic.# MILLAHL836L1

**Project Description**

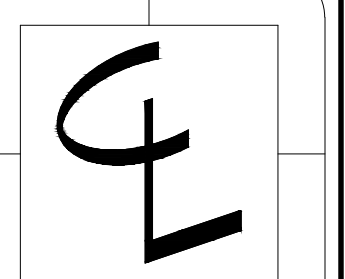
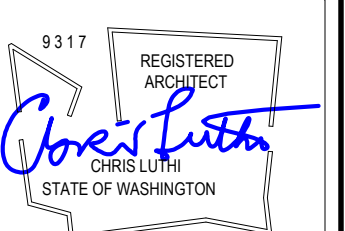
Demolish existing and build new single family residence.

**Parcel Number/Legal**

Parcel # = 3307700270  
Legal Description:  
HIGH PARK ADD  
PLat Block: 3  
Plat Lot: 16  
ZONING = R-9.6  
lot size = 7,291 sf

**Owner**

ALI MASTAN  
2251 71st Ave SE  
MERCER ISLAND WA 98040



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**Mastan Residence**  
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**CONTENTS**

Site Plan

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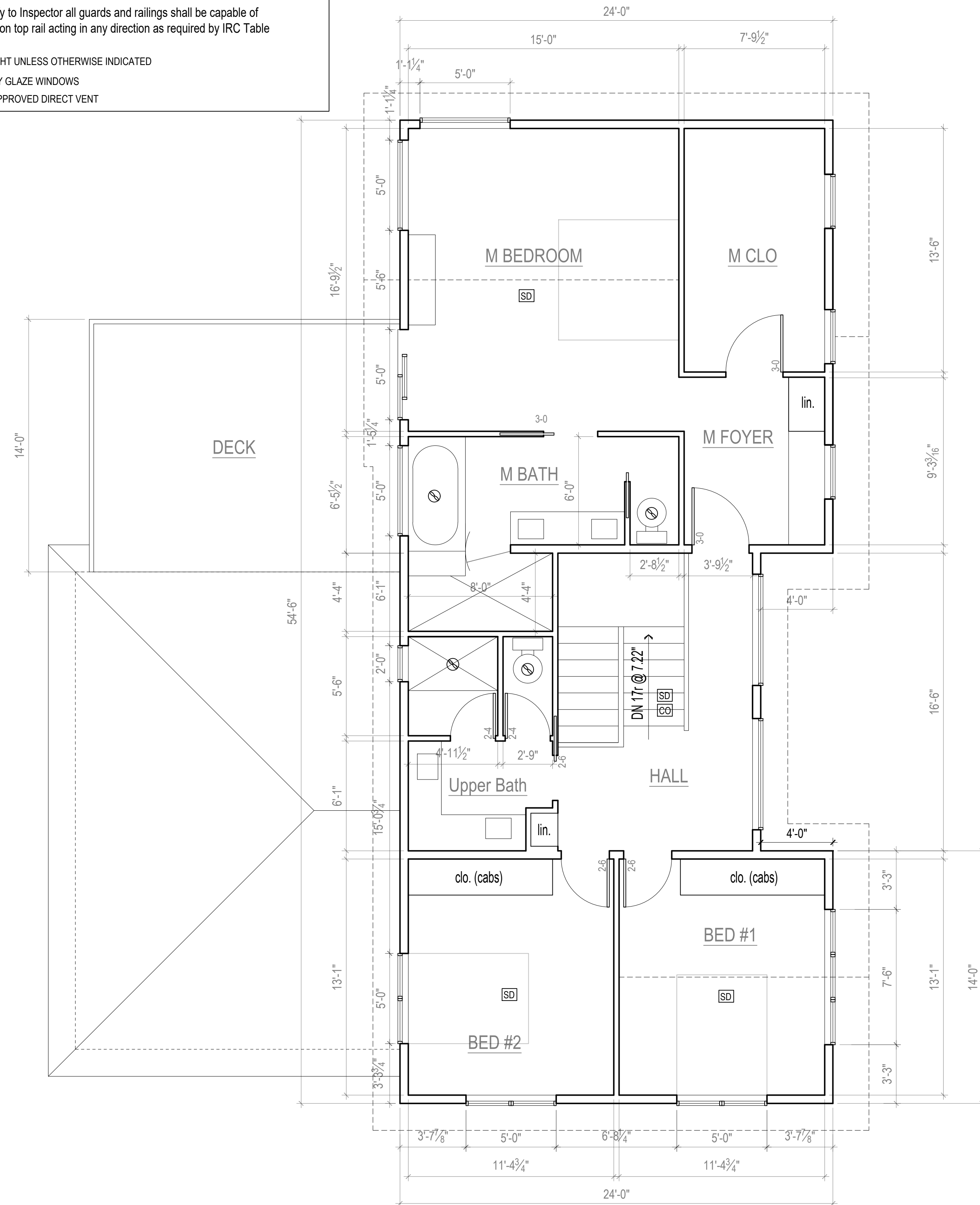
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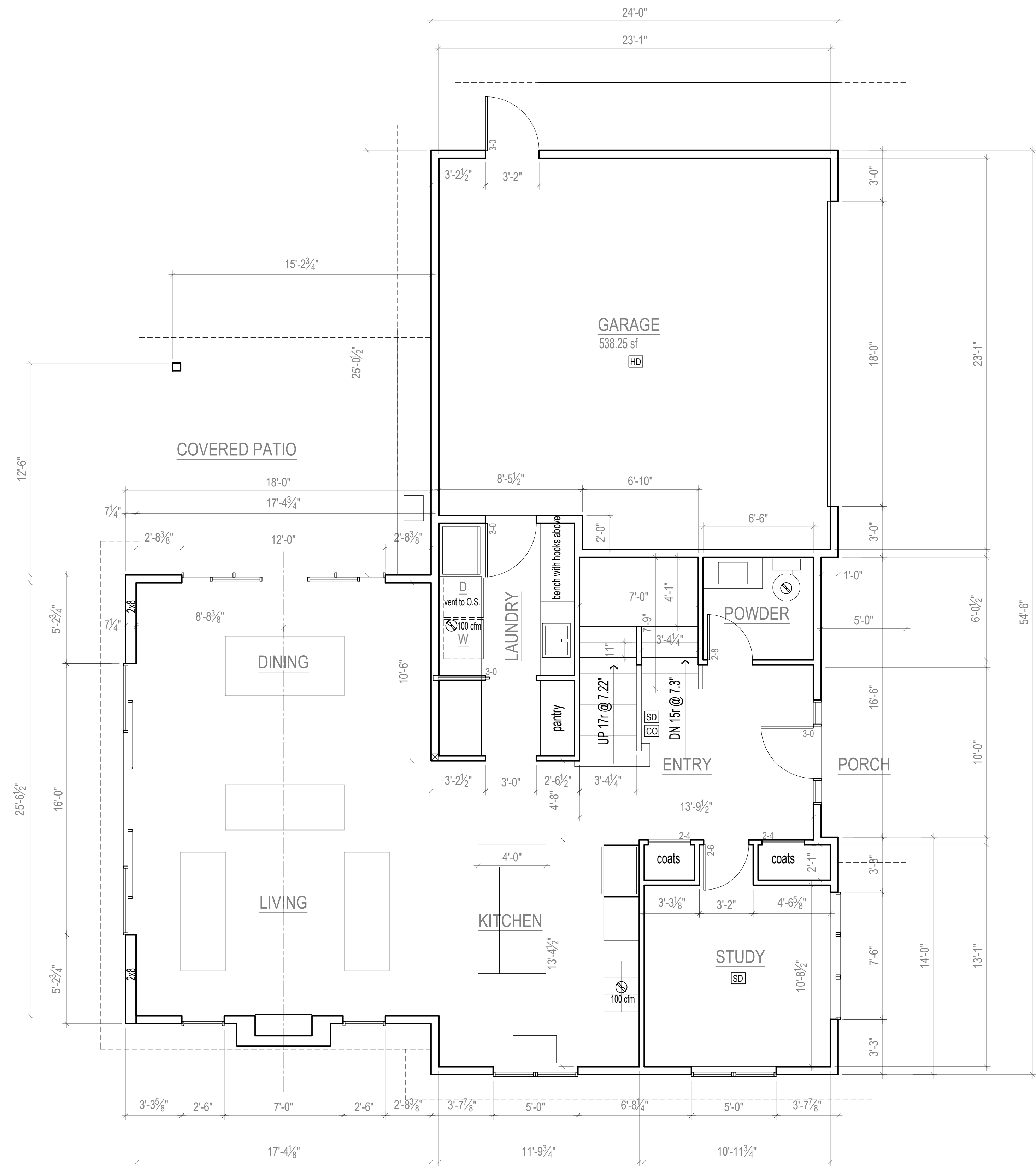
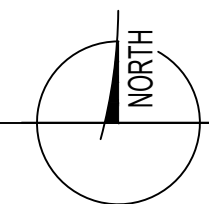
NOTES

- SD = SMOKE DETECTOR, HARDWIRE, INTERCONNECTED w/ BATTERY BACK-UP
- CO = CARBON MONOXIDE DETECTOR, HARDWIRE w/ BATTERY BACK-UP
- HD = HEAT DETECTOR, HARDWIRE w/ BATTERY BACK-UP
- DOORS ARE 3-0 x 6-8 (r.o. = 3-2" x 6-10") unless otherwise indicated
- FAN, 50 CFM UNLESS OTHERWISE INDICATED
- FOR SHEAR WALL INFORMATION SEE STRUCTURAL PLANS
- ALL INTERIOR WALLS TO BE 2x4, EXTERIOR WALLS 2x6, EXCEPT AS INDICATED, OR EXISTING
- E = EGRESS WINDOWS
- Contractor shall verify to Inspector all guards and railings shall be capable of resisting 200 lb load on top rail acting in any direction as required by IRC Table R301.5.
- ALL WALLS FULL HEIGHT UNLESS OTHERWISE INDICATED
- T = TEMPER/SAFETY GLAZE WINDOWS
- ALL GAS F.P. TO BE APPROVED DIRECT VENT



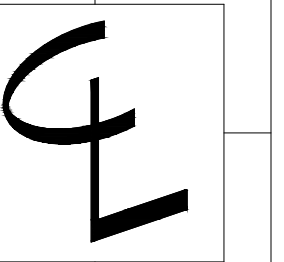
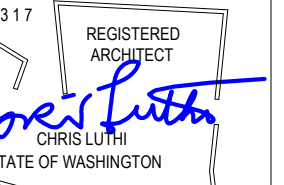
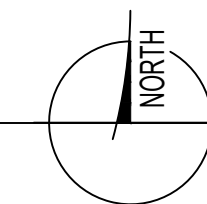
UPPER FLOOR PLAN

1/4" = 1'-0"  
1242 sf



MAIN FLOOR PLAN

1/4" = 1'-0"  
1768 sf



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FAR Basement Exception Calc.

segment	length	%cover	wtd
a	15	100.0%	120.60
b	1	100.0%	8.04
c	14	100.0%	112.56
d	24	81.5%	157.26
e	3	100.0%	24.12
f	18	79.1%	114.47
g	26.46	100.0%	212.74
h	18	100.0%	144.72
i	2	100.0%	16.08
j	8.92	100.0%	71.72
k	2	100.0%	16.08
l	14.08	100.0%	113.20

perim = 146.46 wtd avg 1111.59  
 full avg 1177.54  
 raw FAR 1222 % 94.40%

full cover = 8.0

excepted area = 1153.6



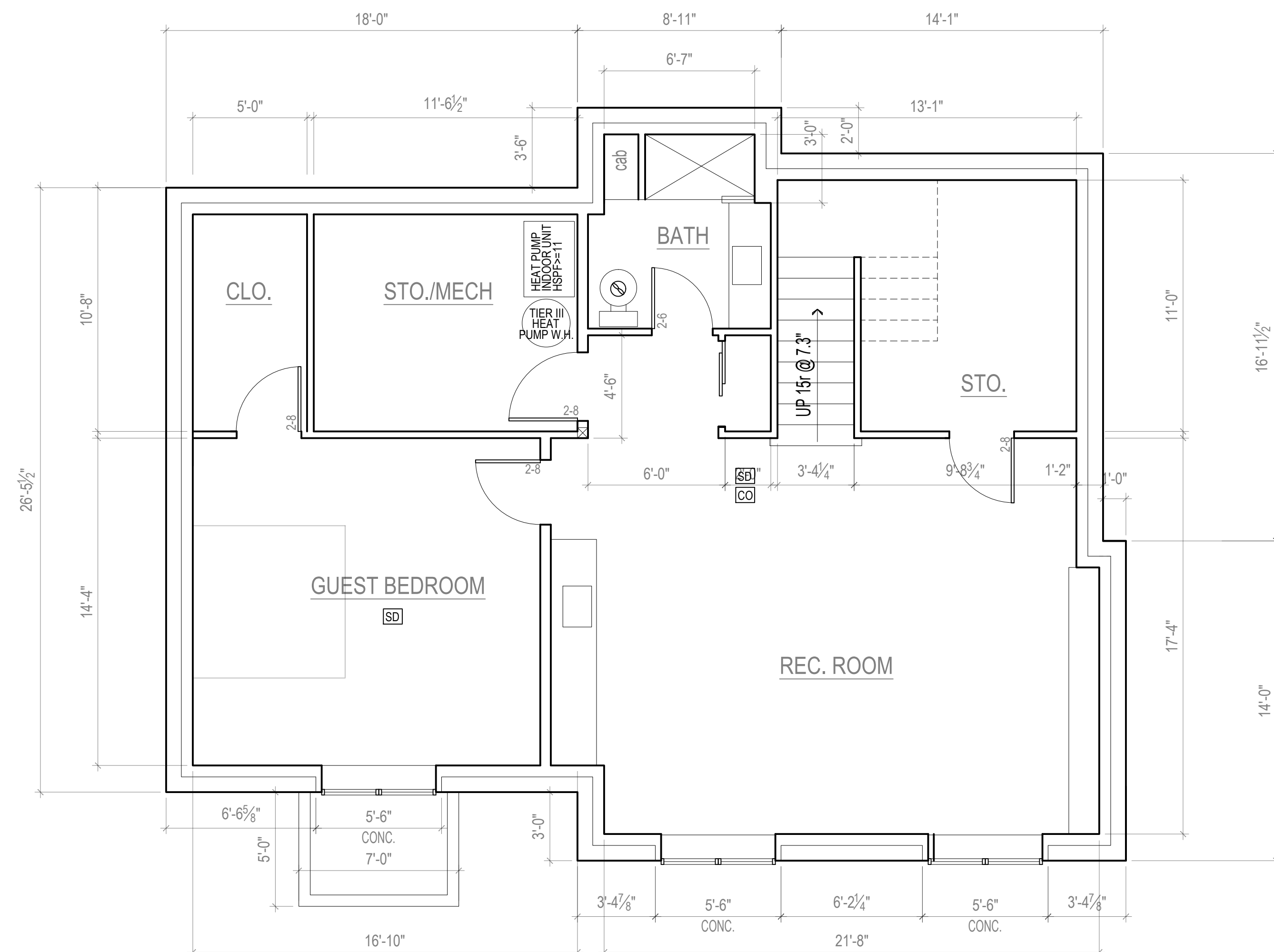
EAST ELEVATION

1/4" = 1'-0"



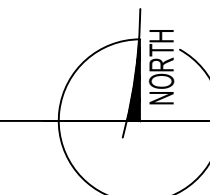
SOUTH ELEVATION

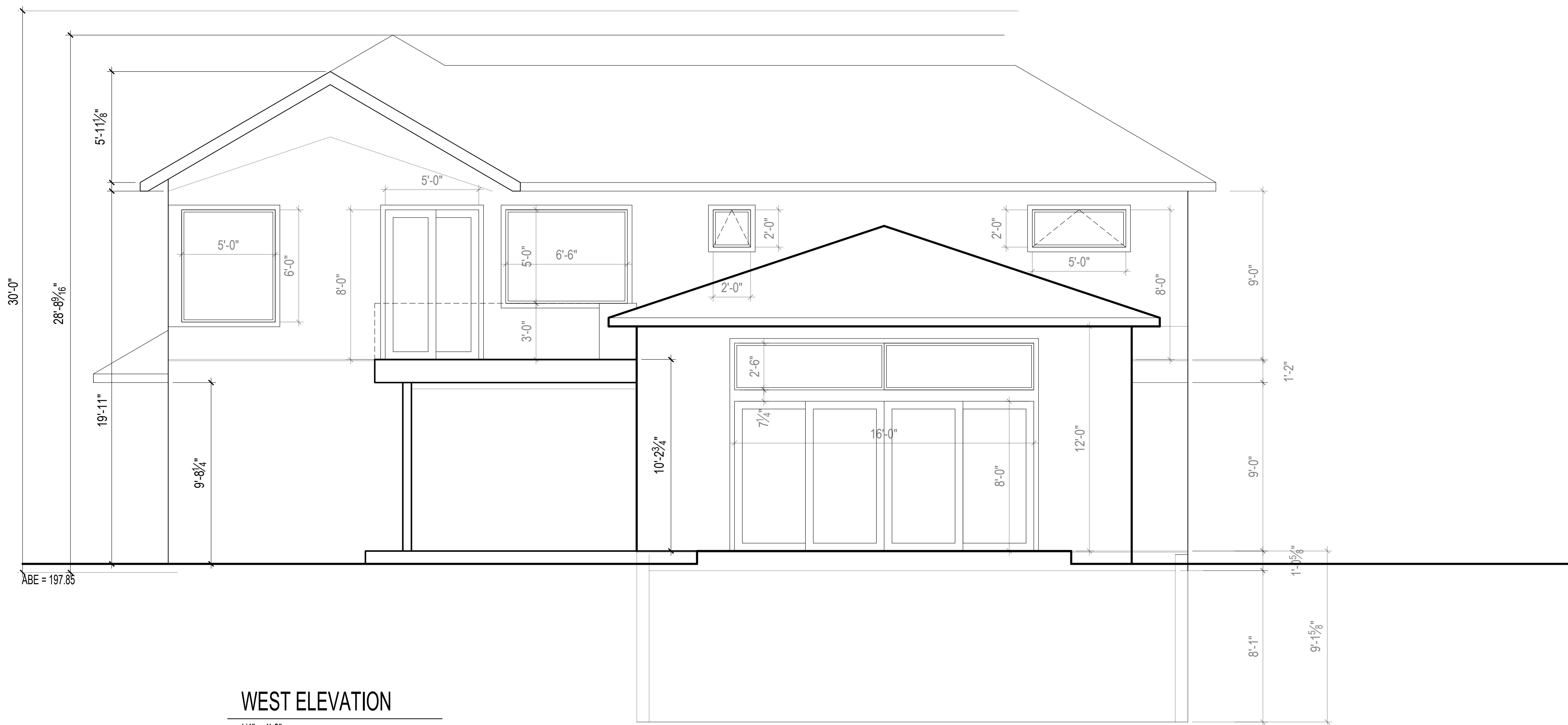
1/4" = 1'-0"



LOWER FLOOR PLAN

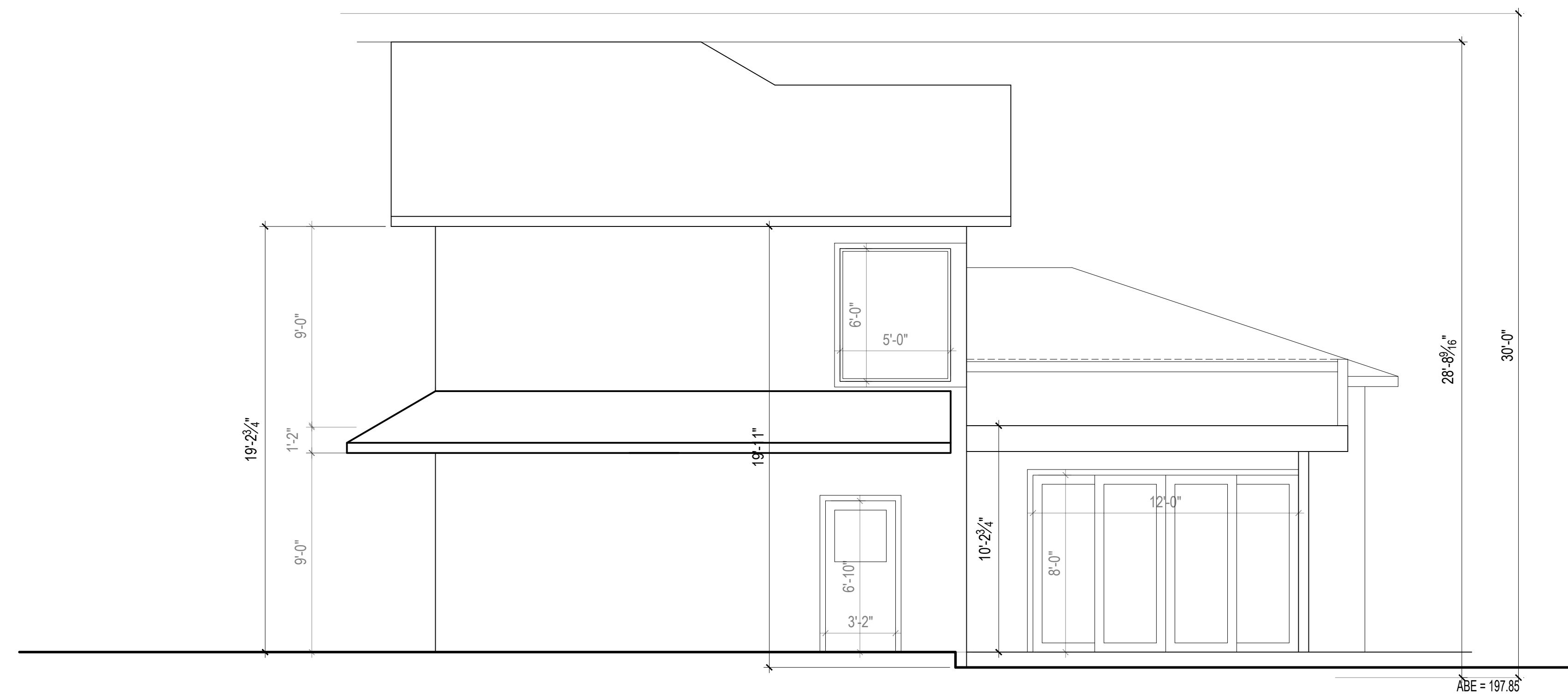
1/4" = 1'-0"  
 1222 sf





WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

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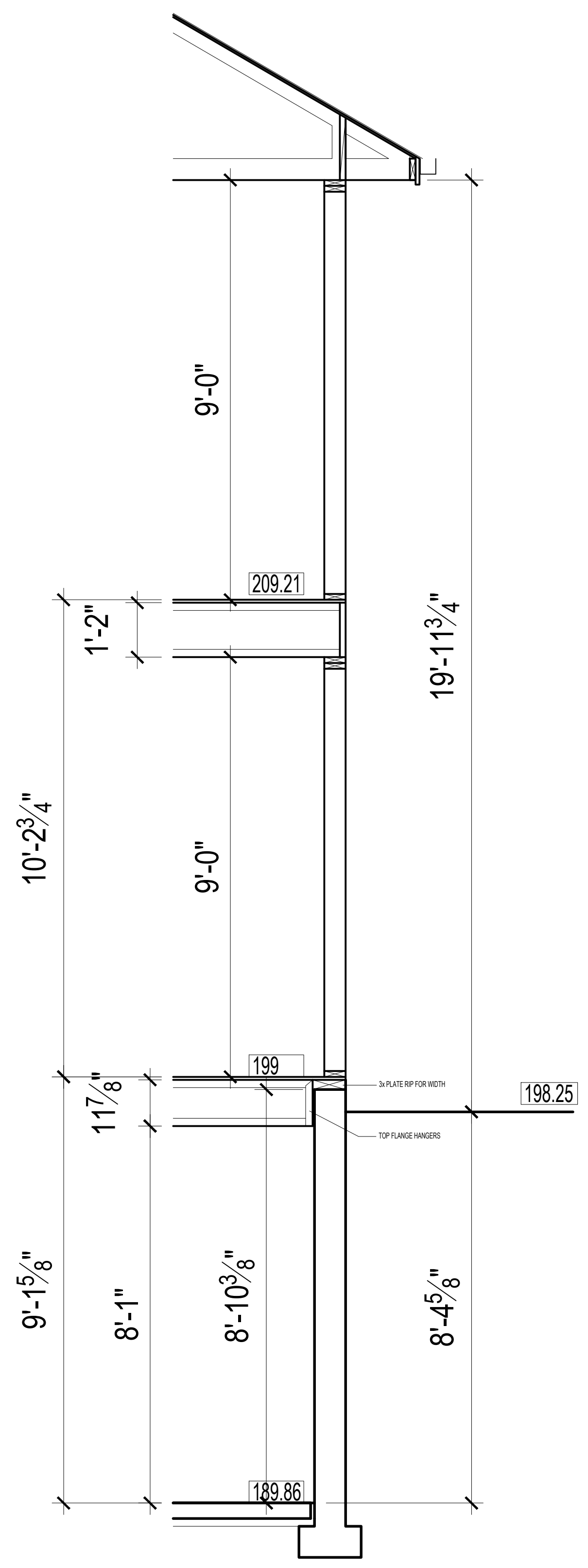
Site Plan

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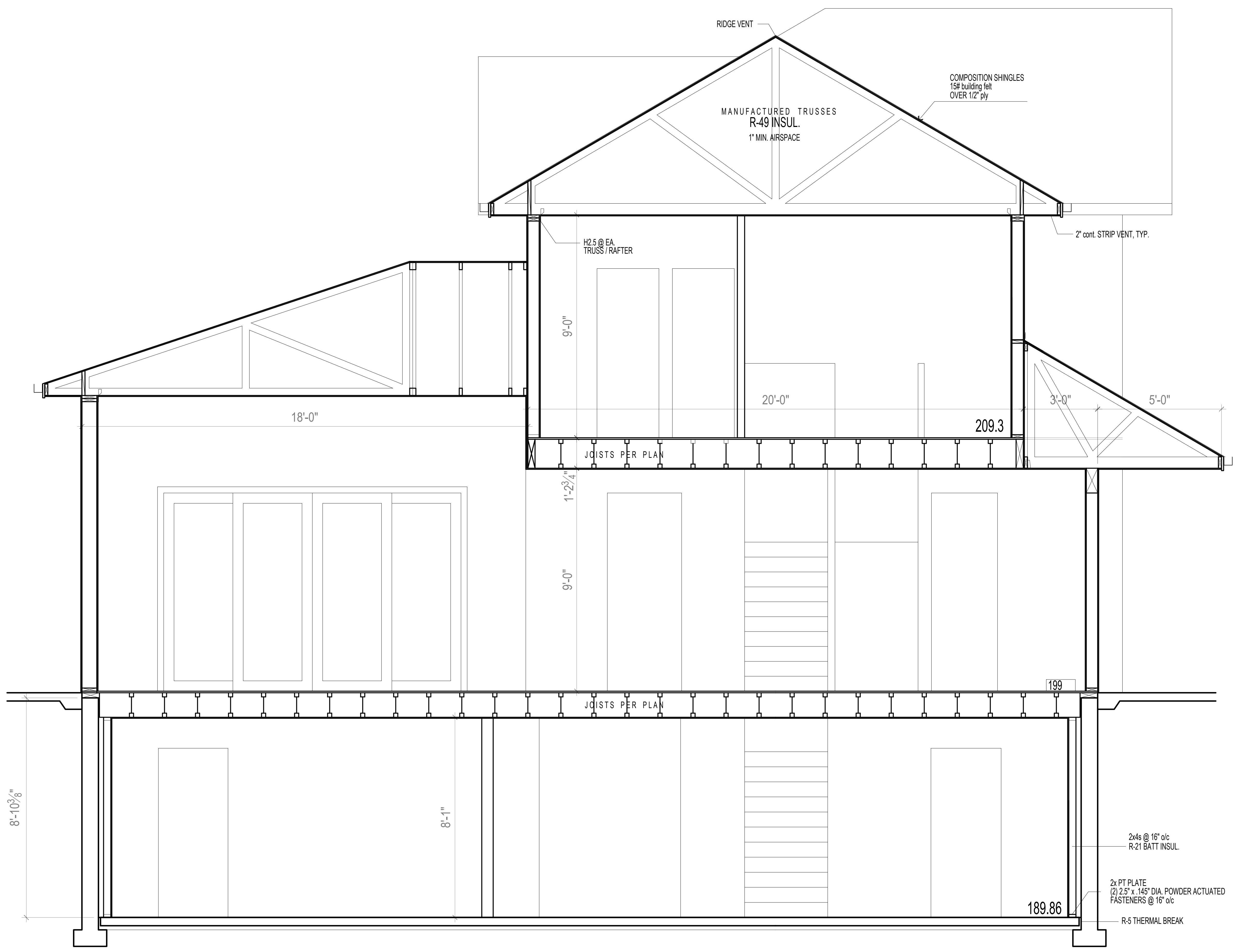
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A. TYP. SECTION  
 1/2" = 1'-0"



A. BUILDING SECTION  
 1/2" = 1'-0"

# Energy Code Info - Primary

2018 WA STATE PRESCRIPTIVE PATH  
HEATED FLOOR AREA = 4232 SF  
LESS THAN 5000 SF HEATED SPACE - 6 CREDITS REQ.

energy credit option	credit value	summary
2	1	heat pump
2.2	1	2.0 ACH + HRV
3.5	1.5	central HP, HSPF>=11
4.1	0.5	AH in heated space
5.5	2	elec. HP WH
total credits		6

## PRIMARY RESIDENCE HVAC NOTES

DUCTED HEAT PUMP (HSPF>11.0) INT. AIR HANDLER  
HEAT RECOVERY VENTILATION  
REQUIRED VENTING = CONTINUOUS 120CFM  
SET TO OPERATE AT 240 CFM FOR 2 HOURS IN EA. 4 HR PERIOD (50%)  
PROVIDED BY VARIABLE SPEED HIGH EFF. FAN (MAX. 35 WATTS/CFM)  
CONTROLLED TO OPERATE AT LOW SPEED IN VENTILATION  
MODE ONLY.

design professional or builder shall complete and post an "Insulation Certificate for Residential Construction" within 3' of the electrical panel prior to final inspection.

Maximum flow rates for shower heads and kitchen sink - 1.75 GPM or less. All other lavatory faucets - 1.0 GPM or less.

Per WSEC R402.4, The building thermal Envelope shall be constructed to limit air leakage to 2.0 air changes per hour maximum. The results of the test shall be signed by the party conducting the test and provided to the code official (R402.4.1.2). Per WSEC R403.1.1, at least one thermostat per dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule. Per WSEC R403.2.2, Ducts, air handlers, and filter boxes shall be sealed. Per WSEC R404.1, A minimum of 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps.

All Climate Zones (Table R402.1.1)		
	R-Value <sup>a</sup>	U-Factor <sup>a</sup>
Fenestration U-Factor <sup>b</sup>	n/a	0.30
Skylight U-Factor <sup>b</sup>	n/a	0.50
Glazed Fenestration SHGC <sup>b,e</sup>	n/a	n/a
Ceiling <sup>a</sup>	49	0.026
Wood Frame Wall <sup>e,h</sup>	21 int	0.056
Floor	30	0.029
Below Grade Wall <sup>c,h</sup>	10/15/21 int + TB	0.042
Slab <sup>d,f</sup> R-Value & Depth	10, 2 ft	n/a
<sup>a</sup> R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity that is less than the label or design thickness of the insulation, the compressed R-value of the insulation from Appendix Table A101.4 shall not be less than the R-value specified in the table.		
<sup>b</sup> The fenestration U-factor column excludes skylights.		
<sup>c</sup> "10/15/21 +5TB" means R-10 continuous insulation on the exterior of the wall, or R-15 continuous insulation on the interior of the wall, or R-21 cavity insulation plus a thermal break between the slab and the basement wall at the interior of the basement wall. "10/15/21 +5TB" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the wall. "5TB" means R-5 thermal break between floor slab and basement wall.		
<sup>d</sup> R-10 continuous insulation is required under heated slab on grade floors. See Section R402.2.9.1.		
<sup>e</sup> For single rafter- or joist-vaulted ceilings, the insulation may be reduced to R-38 if the full insulation depth extends over the top plate of the exterior wall.		
<sup>f</sup> R-7.5 continuous insulation installed over an existing slab is deemed to be equivalent to the required perimeter slab insulation when applied to existing slabs complying with Section R503.1.1. If foam plastic is used, it shall meet the requirements for thermal barriers protecting foam plastics.		
<sup>g</sup> For log structures developed in compliance with Standard ICC 400, log walls shall meet the requirements for climate zone 5 of ICC 400.		
<sup>h</sup> Int. (intermediate framing) denotes framing and insulation as described in Section A103.2.2 including standard framing 16 inches on center, 78% of the wall cavity insulated and headers insulated with a minimum of R-10 insulation.		

## ENERGY CREDIT DESCRIPTIONS

### 2.2

Compliance based on Section R402.4.1.2: Reduce the tested air leakage to 2.0 air changes per hour at maximum 50 Pascals or For R-2 Occupancies, optional compliance based on Section R402.4.1.2: Reduce the tested air leakage to 0.25 cfm/sf maximum at 50 Pascals and All whole house ventilation requirements as determined by Section M1507.3 of the International Residential Code or Section 403.8 of the International Mechanical Code shall be met with a heat recovery ventilation system with minimum sensible heat recovery efficiency of 0.65.

### 3.5

Air-source, centrally ducted heat pump with minimum HSPF of 11.0.

### 4.1

All supply and return ducts located in an unconditioned attic shall be deeply buried in ceiling insulation in accordance with Section R403.3.7.

For mechanical equipment located outside the conditioned space, a maximum of 10 linear feet of return duct and 5 linear feet of supply duct connections to the equipment may be outside the deeply buried insulation. All metallic ducts located outside the conditioned space must have both transverse and longitudinal joints sealed with mastic. If flex ducts are used, they cannot contain splices.

Duct leakage shall be limited to 3 cfm per 100 square feet of conditioned floor area. Air handler(s) shall be located within the conditioned space.

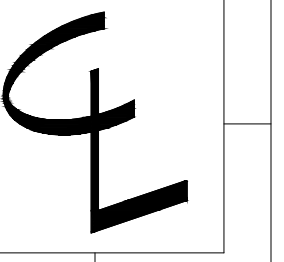
### 5.5

Water heating system shall include one of the following: Electric heat pump water heater meeting the standards for Tier III of NEEA's advanced water heating specification or For R-2 Occupancy, electric heat pump water heater(s), meeting the standards for Tier III of NEEA's advanced water heating specification, shall supply domestic hot water to all units. If one water heater is serving more than one dwelling unit, all hot water supply and recirculation piping shall be insulated with R-8 minimum pipe insulation.

## Window, Skylight and Door Schedule

Project Information			Contact Information						
Mastan									
Exempt Swinging Door (24 sq. ft. max.)			Ref.	U-factor	Qt.	Width Feet Inch	Height Feet Inch	Area	UA
Exempt Glazed Fenestration (15 sq. ft. max.)								0.0	0.00
								0.0	0.00
Vertical Fenestration (Windows and doors)			Ref.	U-factor	Qt.	Width Feet Inch	Height Feet Inch	Area	UA
ENTRY		0.30			1	6	8	49.3	14.80
STUDY		0.30			1	7	5	37.5	11.25
STUDY		0.30			1	5	5	25.0	7.50
KITCHEN		0.30			1	5	5	25.0	7.50
LR		0.30			2	2	2	12.5	3.75
LR		0.30			2	2	5	25.0	7.50
LR		0.30			1	6	2	16.3	4.88
LR		0.30			1	16	8	128.0	38.40
LR		0.30			2	8	2	40.0	12.00
DINING		0.30			1	12	8	96.0	28.80
LAUNDRY		0.30			1	3	8	25.3	7.60
HALL		0.30			2	6	3	38.0	11.41
MBED		0.30			3	3	1	13.5	4.05
MBED		0.30			2	5	6	60.0	18.00
MBED		0.30			1	5	8	40.0	12.00
MBATH		0.30			1	6	5	32.5	9.75
UP BATH		0.30			1	2	2	4.0	1.20
2BED		0.30			1	5	2	10.0	3.00
2BED		0.30			1	5	5	25.0	7.50
1BED		0.30			1	5	2	10.0	3.00
1BED		0.30			1	7	5	37.5	11.25
RECROOM		0.30			2	5	2	25.0	7.50
GUEST		0.30			1	5	4	23.3	7.00
TOTALS: AREA UA									
<b>Total Sum of Fenestration Area and UA (for heating system sizing calculations)</b>								798.8	239.63

Per Table R303.1.3(5), default values of double glazed, low-E-b, argon filled, wood or vinyl or fiberglass frames of any frame type U=30



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Energy Info

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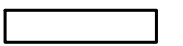
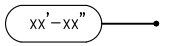
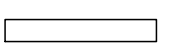



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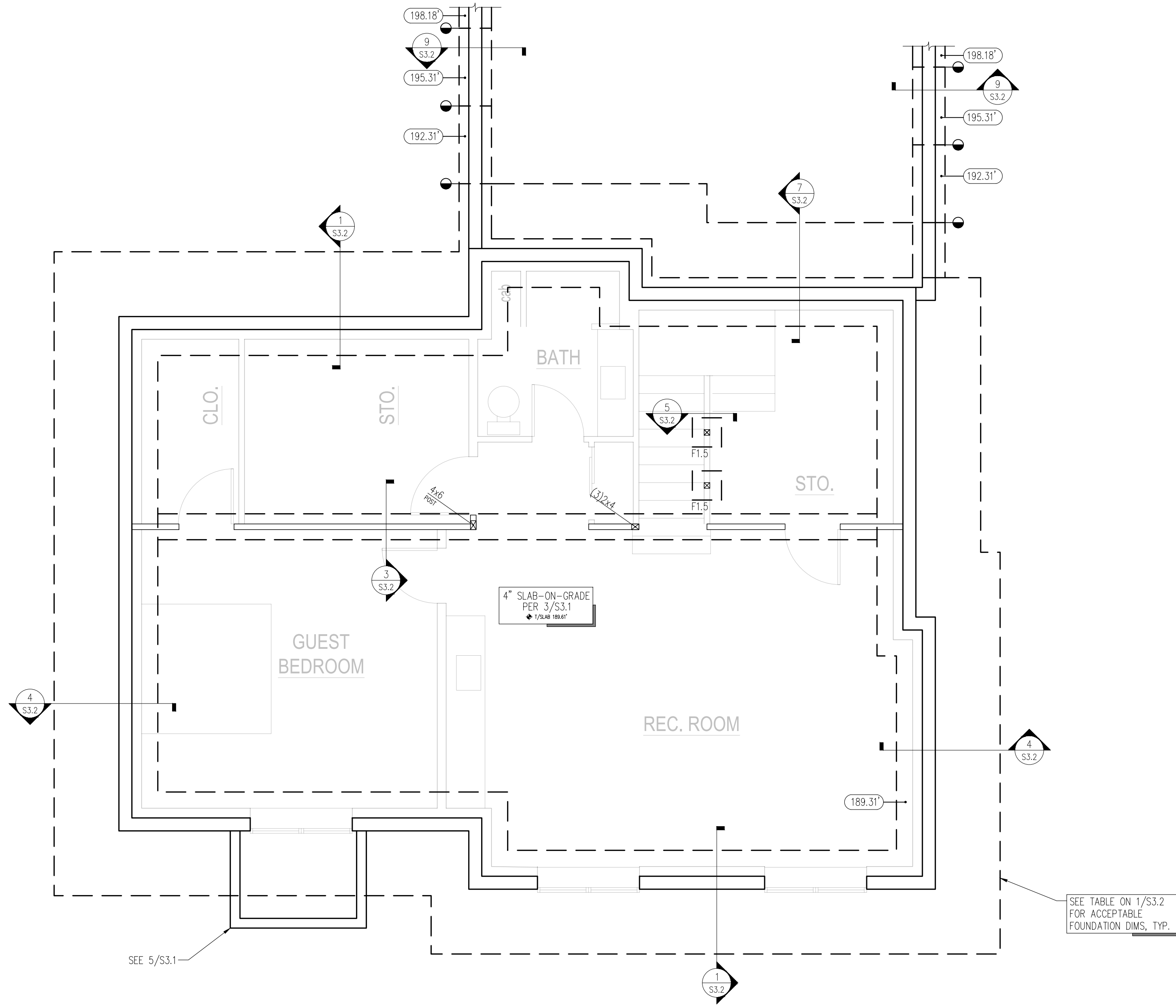
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**LEGEND**

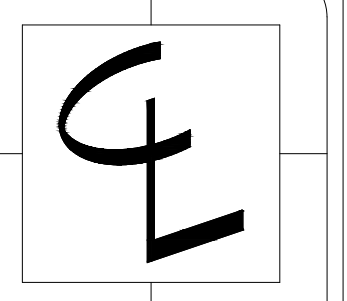
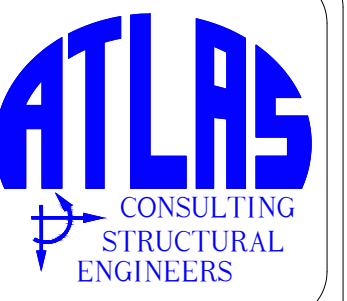
-  CONCRETE FOUNDATION
-  STEP IN FOOTING PER 6/S3.1
-  CONCRETE WALL
-  DENOTES TOP OF FOOTING ELEVATION
-  STRUCTURAL WOOD STUDWALL ABOVE
-  POST ABOVE
-  DENOTES SHEARWALL TENSION TIE PER 4/S6.5 OR 8/S6.5
-  \* - DENOTES TRANSFER TIE FROM TIE ABOVE  
 \* - DENOTES TIE AT TOP STEEL BEAM, SEE 8/S6.5



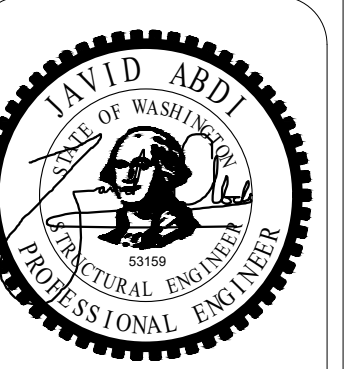
**FOUNDATION & FIRST FLOOR PLAN NOTES**

1. SOLID WALLS SHOWN IN PLAN ARE ABOVE FOUNDATION LEVEL (FROM FOUNDATION TO UNDERSIDE OF FIRST FLOOR FRAMING).
2. EXTERIOR STUDWALLS SHALL BE 2x6 STUDS @ 16" oc (MAX). SEE ARCHITECTURAL FOR INTERIOR STUDWALLS. SEE 6/6.2, 5/S6.2, AND 2/S6.2 FOR ALLOWABLE HOLES & NOTCHES IN STUDWALL STUDS AND TOP & BOTTOM PLATES.
3. SEE STRUCTURAL GENERAL NOTES #14 - 19 FOR CONCRETE AND CONCRETE REINFORCING REQUIREMENTS.

**1** FOUNDATION PLAN  
 S2.1 1/4" = 1'-0"  

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 Foundation Plan

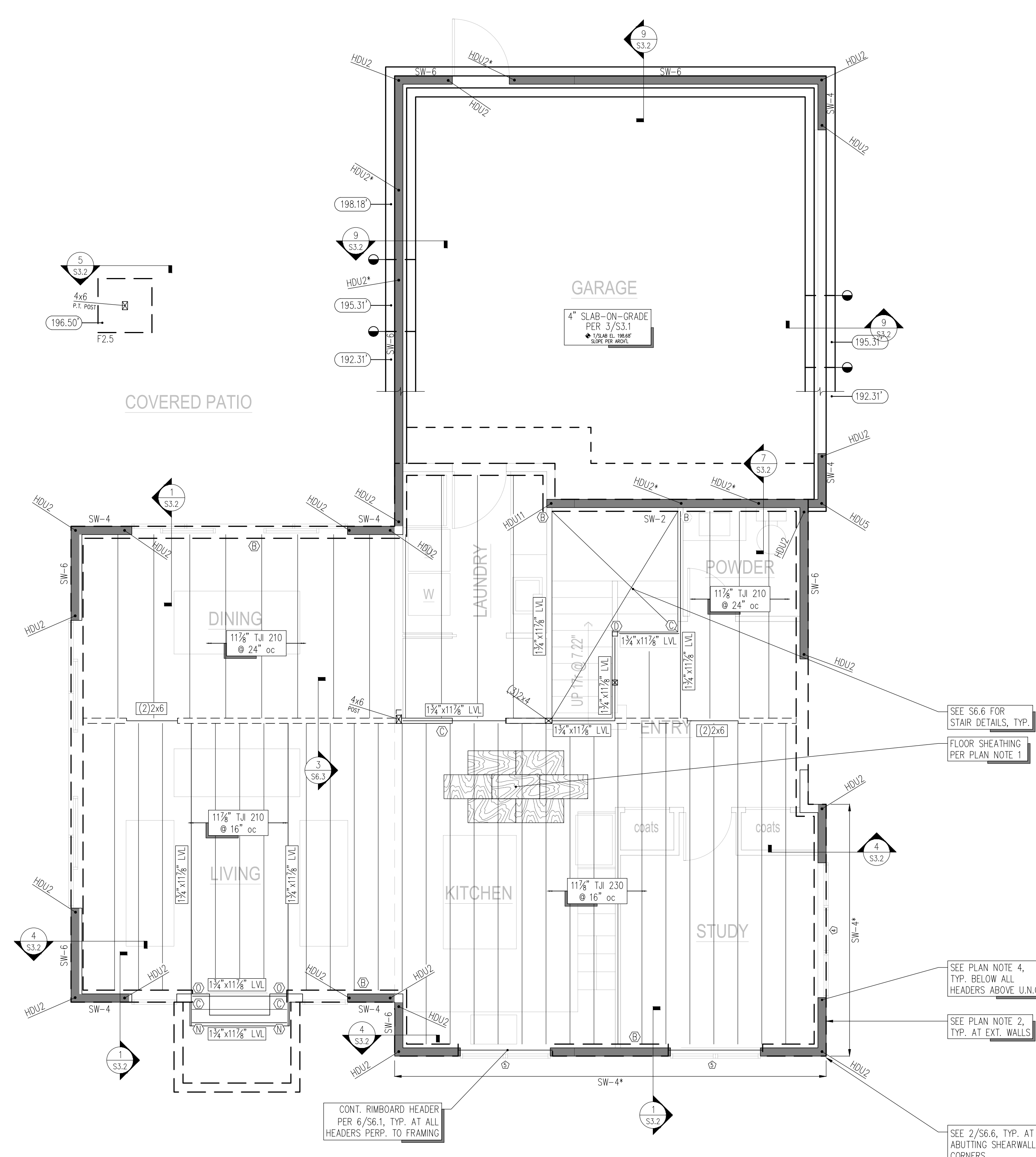
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 DATE  
 03.07.23

S2.1



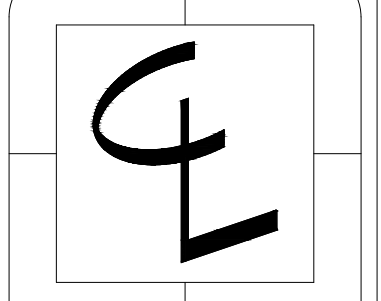
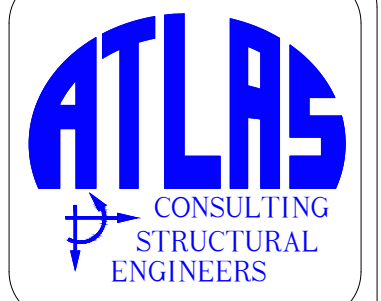
**LEGEND**

	CONCRETE WALL BELOW		STEP IN FOOTING PER 6/S3.1
	STRUCTURAL WOOD STUDWALL BELOW		CONCRETE FOUNDATION
	STRUCTURAL WOOD STUDWALL ABOVE		DENOTES EXTENT OF SHEARWALL TYPE SW- PER 1/S6.5
	POST BELOW		DENOTES STRAPPED SHEARWALL PER 7/S6.5, WITH DENOTING STRAP PER SCHEDULE ABOVE & BELOW OPENING
	POST ABOVE		DENOTES SHEARWALL TENSION TIE PER 4/S6.5 OR 8/S6.5
	WOOD JOIST		* - DENOTES TRANSFER TIE FROM TIE ABOVE # - DENOTES TIE AT TOP STEEL BEAM, SEE 8/S6.5
	WOOD BEAM or HEADER		DENOTES STRAP TYPE BY LENGTH, CENTERED ON ABUTTING ELEMENTS

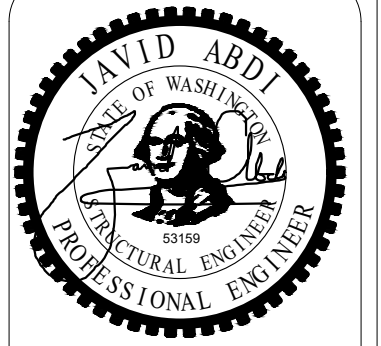


- MAIN FLOOR PLAN NOTES**
- SOLID WALLS AND SHEARWALLS SHOWN IN PLAN ARE ABOVE FRAMING LEVEL. DASHED WALLS SHOWN IN PLAN ARE BELOW FRAMING LEVEL.
  - EXTERIOR STUDWALLS SHALL BE 2x6 STUDS @ 16" oc (MAX). SEE ARCHITECTURAL FOR INTERIOR STUDWALLS. SEE 6/6.1, 5/S6.2, AND 2/S6.2 FOR ALLOWABLE HOLES & NOTCHES IN STUDWALL STUDS AND TOP & BOTTOM PLATES.
  - FLOOR SHEATHING SHALL CONSIST OF 3/4" T&G SHEATHING (PANEL SPAN RATING 48/24). NAIL SHEATHING AT ALL FRAMED PANEL EDGES, DIAPHRAGM BOUNDARIES, BLOCKING, AND SHEAR WALLS w/ 10d @ 6" oc; AND AT ALL INTERMEDIATE SUPPORTS w/ 10d @ 12" oc (SEE 3/S6.2). GLUE SHEATHING AT ALL SUPPORTS w/ ADHESIVE CONFORMING TO ASTM SPECIFICATION D3498.
  - ALL HEADERS ABOVE (SEE 1/S2.03) SHALL HAVE A MINIMUM NUMBER OF POSTS PER 4/S6.1 AT NON-LOAD BEARING EXTERIOR WALLS, AND PER 6/S6.1 AT LOAD BEARING EXTERIOR WALLS
  - AT AREA(S) INDICATED AS BLOCKED DIAPHRAGM, INSTALL 2x FLAT BLOCKING AT ALL UNFRAMED PANEL EDGES. NAIL SHEATHING PER PLAN NOTE 3.

1 MAIN FLOOR FRAMING PLAN  
S2.2 1/4" = 1'-0"



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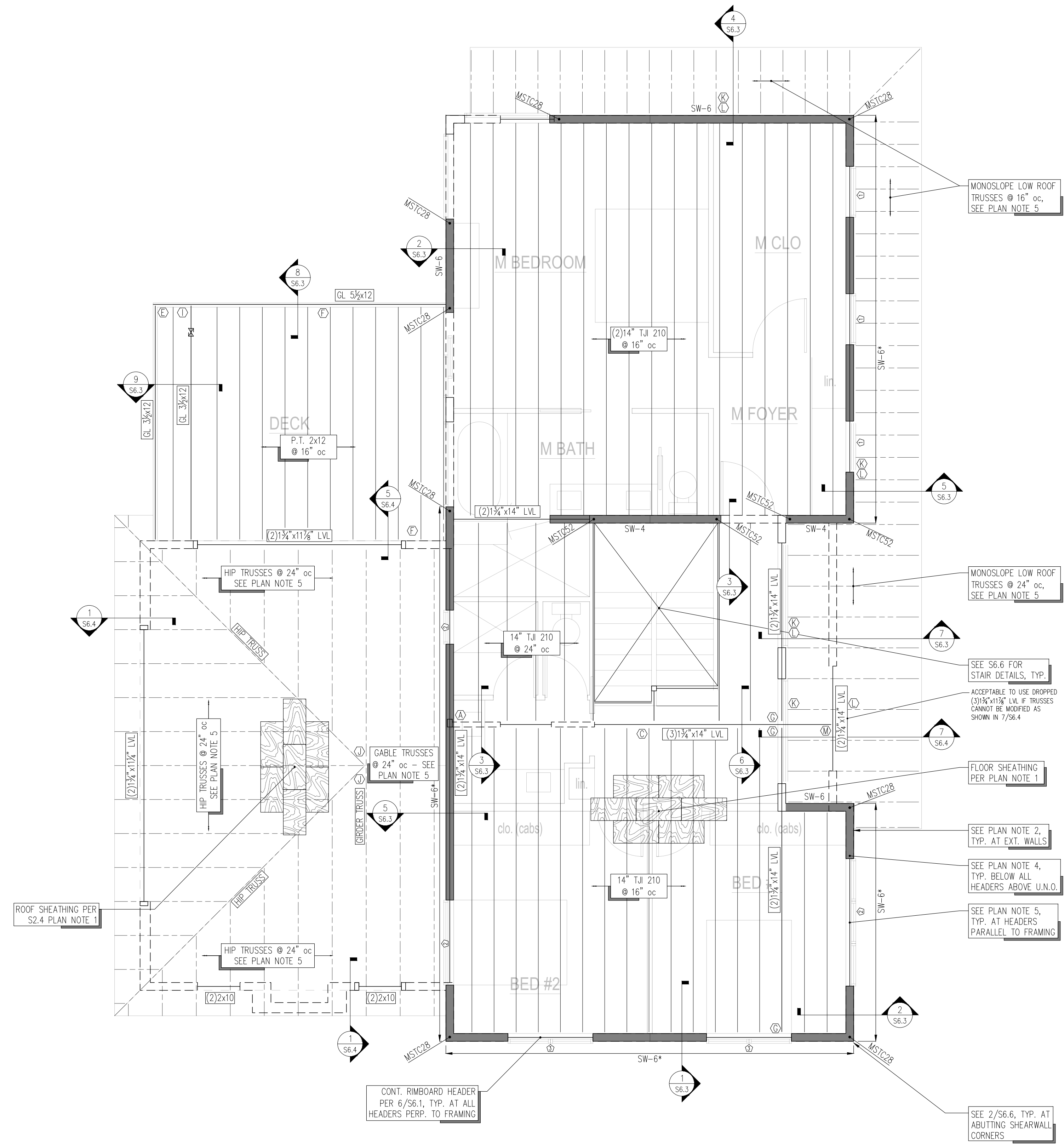
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Lower Floor  
Framing Plan

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DATE  
03.07.23

S2.2

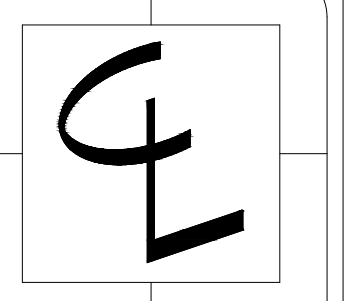
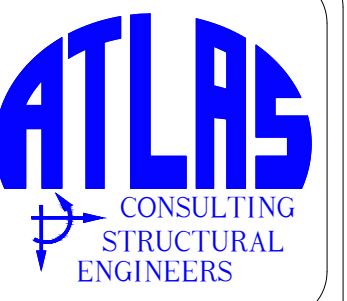
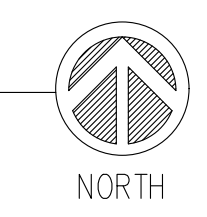
LEGEND

	STRUCTURAL WOOD STUDWALL BELOW		DENOTES EXTENT OF SHEARWALL TYPE SW-6 PER 1/S6.5
	STRUCTURAL WOOD STUDWALL ABOVE		DENOTES STRAPPED SHEARWALL PER 7/S6.5, WITH O DENOTING STRAP PER SCHEDULE ABOVE & BELOW OPENING
	POST BELOW		DENOTES SHEARWALL TENSION TIE PER 4/S6.5 OR 8/S6.5
	POST ABOVE		* - DENOTES TRANSFER TIE FROM THE ABOVE # - DENOTES TIE ATOP STEEL BEAM, SEE 8/S6.5
	WOOD JOIST		DENOTES STRAP TYPE BY LENGTH, CENTERED ON ABUTTING ELEMENTS
	WOOD BEAM or HEADER		STRAP x LENGTH

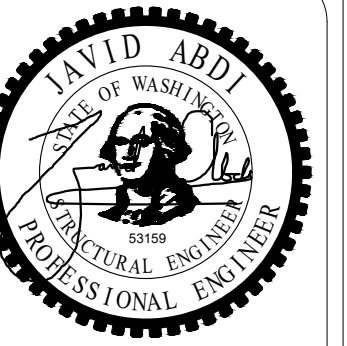


- UPPER FLOOR PLAN NOTES
- SOLID WALLS AND SHEARWALLS SHOWN IN PLAN ARE ABOVE FRAMING LEVEL. DASHED WALLS SHOWN IN PLAN ARE BELOW FRAMING LEVEL.
  - EXTERIOR STUDWALLS SHALL BE 2x6 STUDS @ 16" oc (MAX). SEE ARCHITECTURAL FOR INTERIOR STUDWALLS. SEE 6/6.1, 5/S6.2, AND 2/S6.2 FOR ALLOWABLE HOLES & NOTCHES IN STUDWALL STUDS AND TOP & BOTTOM PLATES.
  - FLOOR SHEATHING SHALL CONSIST OF 3/4" T&G SHEATHING (PANEL SPAN RATING 48/24). NAIL SHEATHING AT ALL FRAMED PANEL EDGES, DIAPHRAGM BOUNDARIES, BLOCKING, AND SHEAR WALLS w/ 10d @ 6" oc; AND AT ALL INTERMEDIATE SUPPORTS w/ 10d @ 12" oc (SEE 3/S6.2). GLUE SHEATHING AT ALL SUPPORTS w/ ADHESIVE CONFORMING TO ASTM SPECIFICATION D3498.
  - ALL HEADERS ABOVE (SEE 1/S2.03) SHALL HAVE A MINIMUM NUMBER OF POSTS PER 4/S6.1 AT NON-LOAD BEARING EXTERIOR WALLS, AND PER 6/S6.1 AT LOAD BEARING EXTERIOR WALLS
  - HEADERS IN EXTERIOR WALLS NOT SUPPORTING RAFTERS, JOISTS, OR BEAMS SHALL BE PER DETAIL 4/S6.1 U.N.O. IN PLAN.
  - SEE GENERAL STRUCTURAL NOTE #23 FOR CONNECTOR PLATE ROOF TRUSS REQUIREMENTS.

1 UPPER FLOOR FRAMING PLAN  
S2.3 1/4" = 1'-0"



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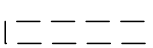

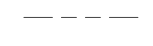

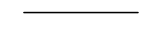


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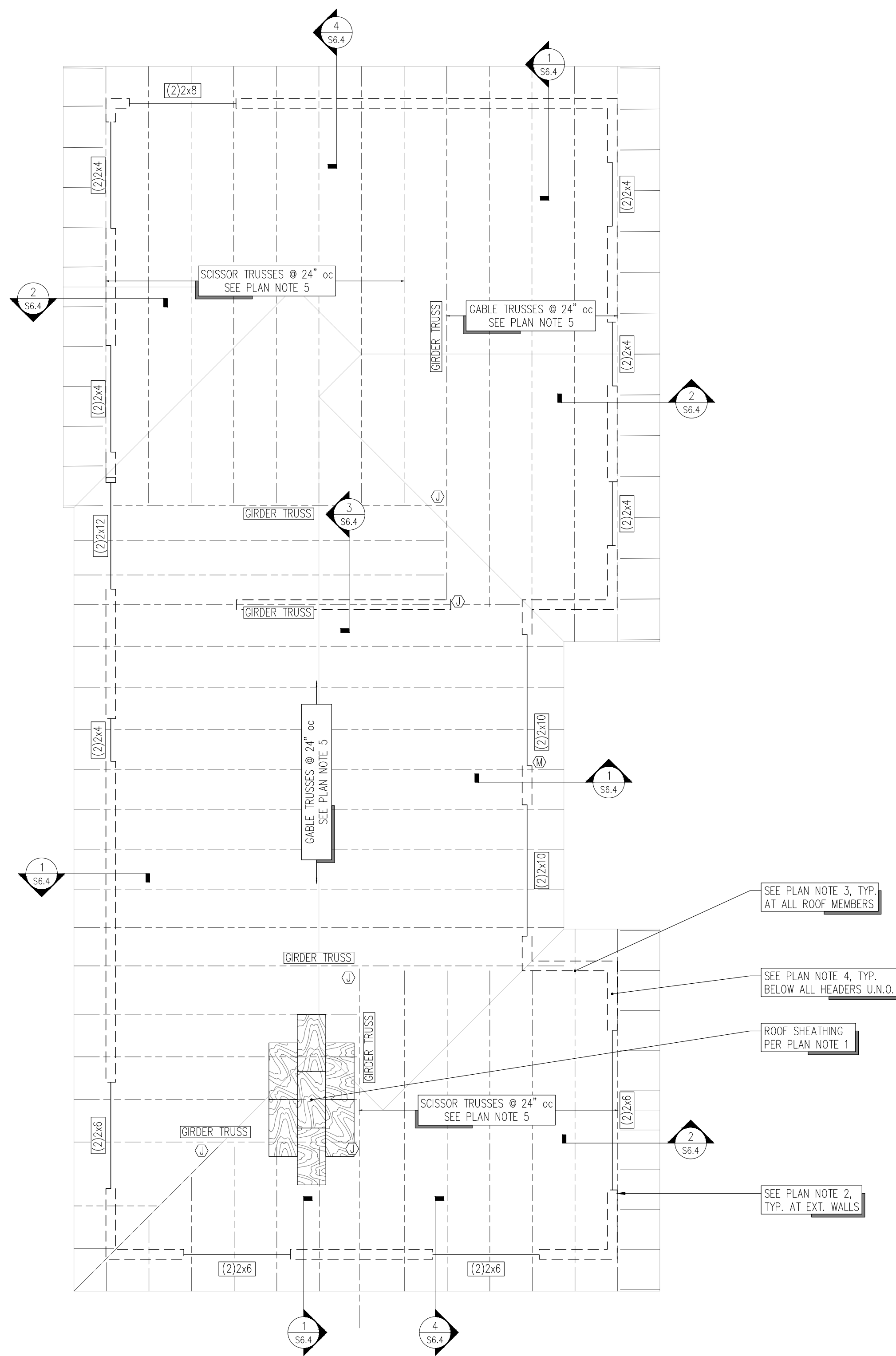
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S2.3

LEGEND

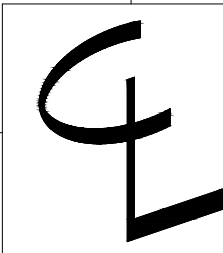
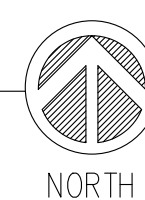
-  STRUCTURAL WOOD STUDWALL BELOW
-  POST BELOW
-  CONNECTOR PLATE WOOD TRUSS
-  WOOD RAFTER
-  WOOD BEAM or HEADER
-  DENOTES STRAP TYPE BY LENGTH, CENTERED ON ABUTTING ELEMENTS
-  STRAP x LENGTH



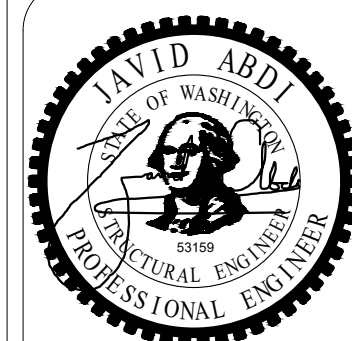
ROOF PLAN NOTES

1. ROOF SHEATHING SHALL CONSIST OF 5/8" SHEATHING (PANEL SPAN RATING 32/16) NAILED AT ALL FRAMED PANEL EDGES, DIAPHRAGM BOUNDARIES, BLOCKING, AND SHEAR WALLS w/ 10d @ 6" oc; AND AT ALL INTERMEDIATE SUPPORTS w/ 10d @ 12" oc (SEE 3/S6.2).
2. DASHED WALLS AND SHEARWALLS SHOWN IN PLAN ARE BELOW FRAMING ELEVATION.
3. PROVIDE H2.5A HURRICANE TIES AT END OF ALL EXISTING RAFTERS.
4. ALL HEADERS SHALL HAVE A MINIMUM NUMBER OF POSTS PER 4/S6.1 AT NON-LOAD BEARING EXTERIOR WALLS, AND PER 6/S6.1 AT LOAD BEARING EXTERIOR WALLS.
5. SEE GENERAL STRUCTURAL NOTE #23 FOR CONNECTOR PLATE ROOF TRUSS REQUIREMENTS.

1 ROOF FRAMING PLAN  
S2.4 1/4" = 1'-0"



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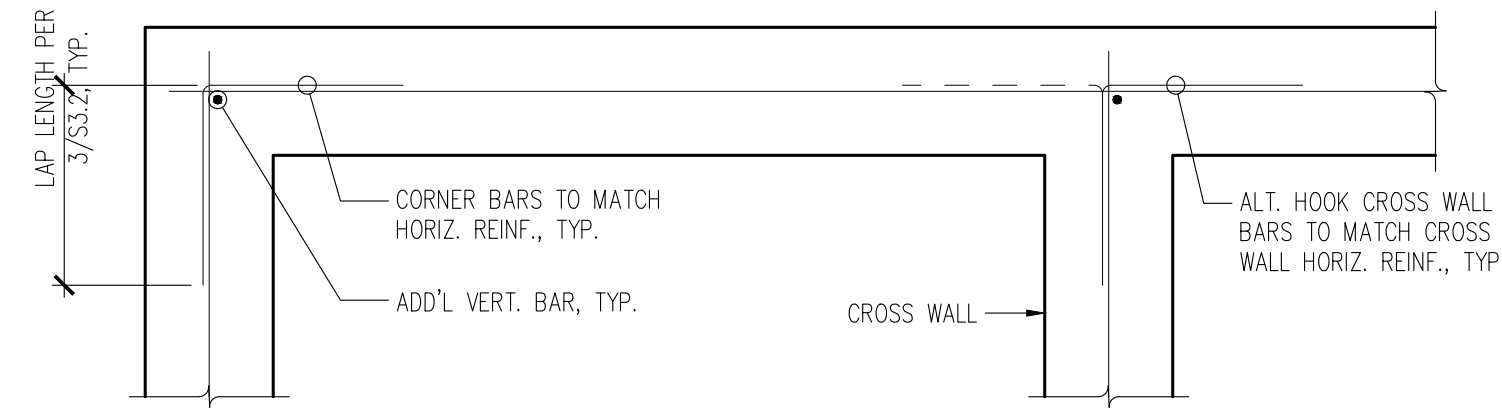


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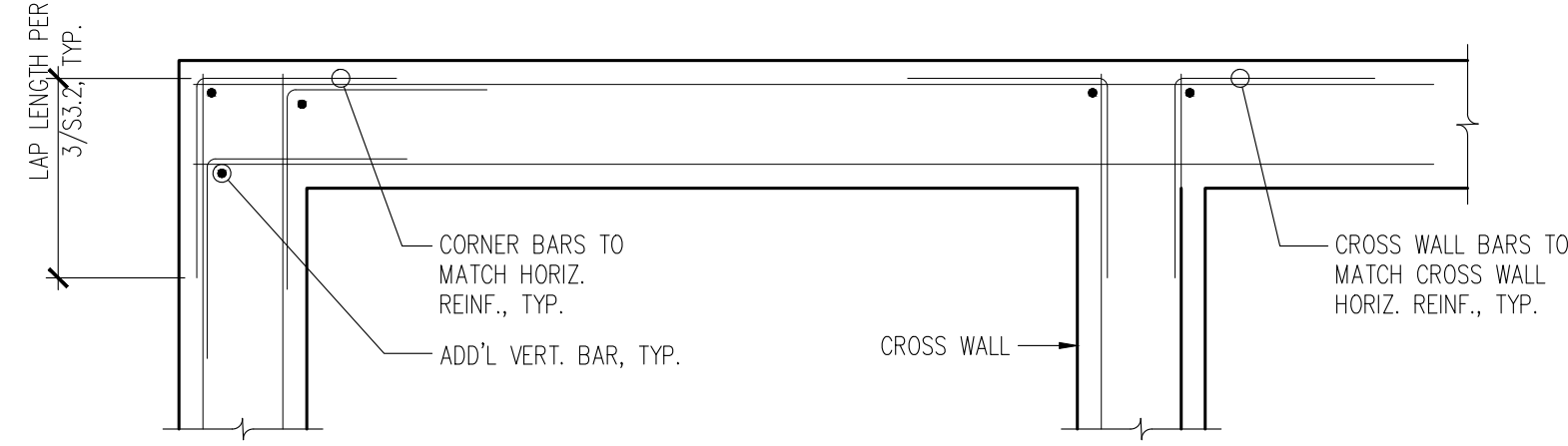
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Roof Framing Plan

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S2.4

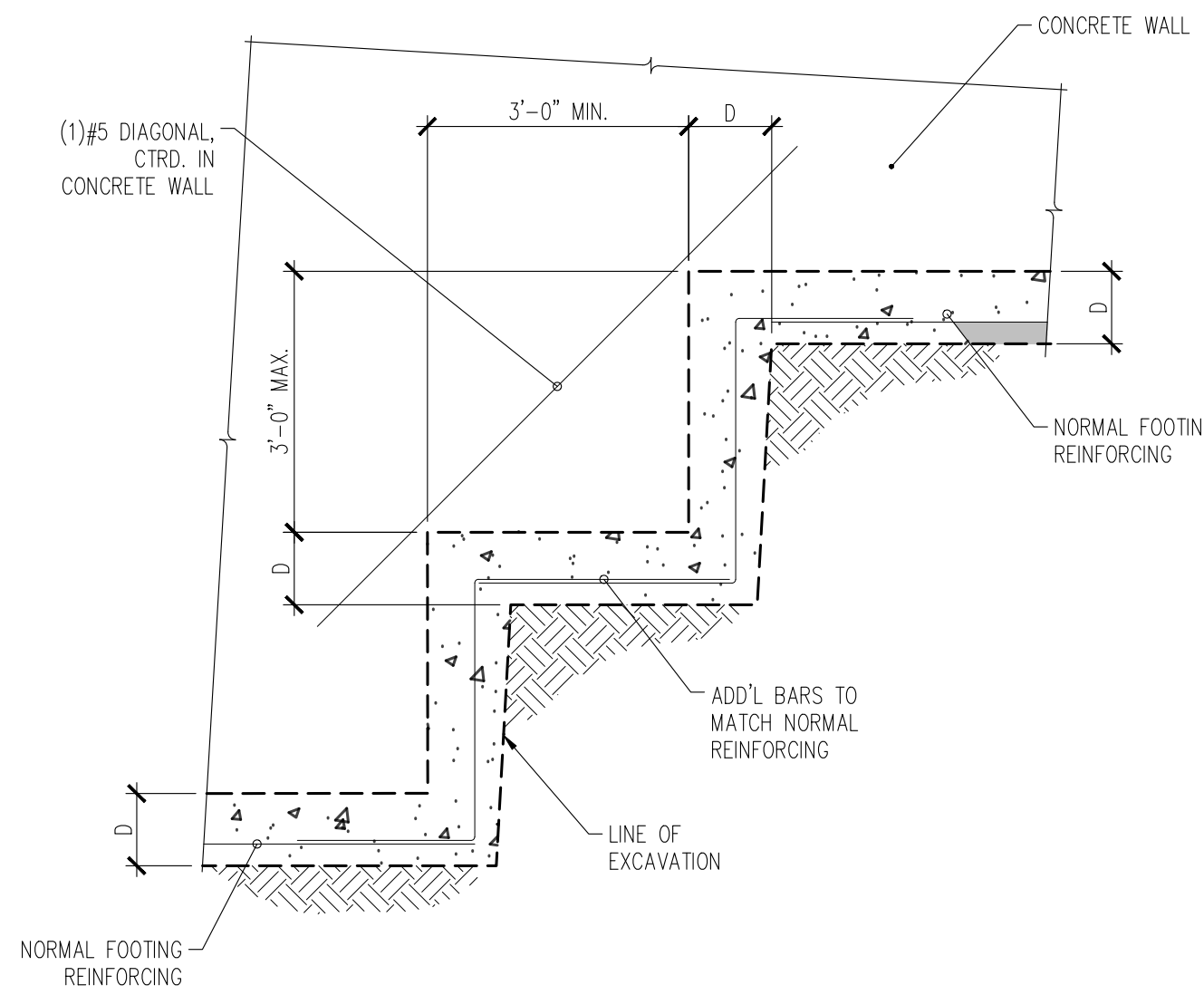


PLAN SINGLE CURTAIN

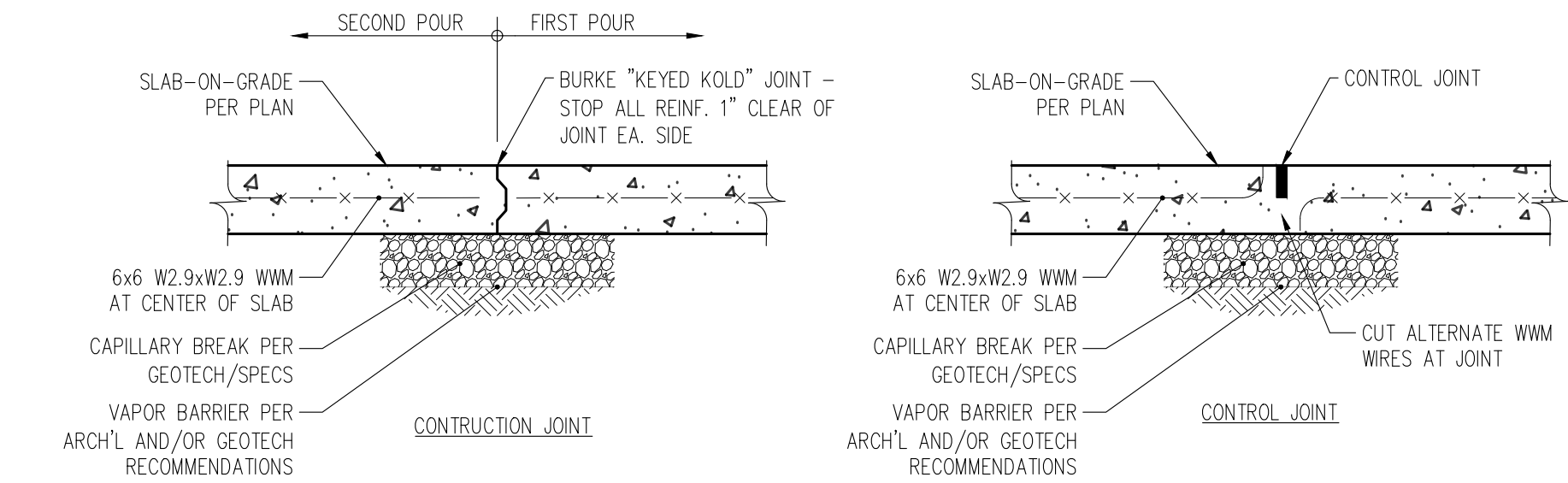


PLAN DOUBLE CURTAIN

9 WALL CORNER REINFORCING  
S3.1 N/A



6 TYPICAL STEPPED FOOTING  
S3.1 N.T.S.



3 TYPICAL SLAB-ON-GRADE JOINTING  
S3.1 1" = 1'-0"

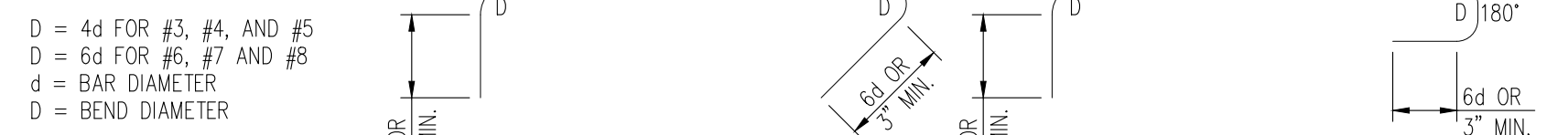


ALL REINFORCING EXCEPT COLUMN TIES AND BEAM STIRRUPS



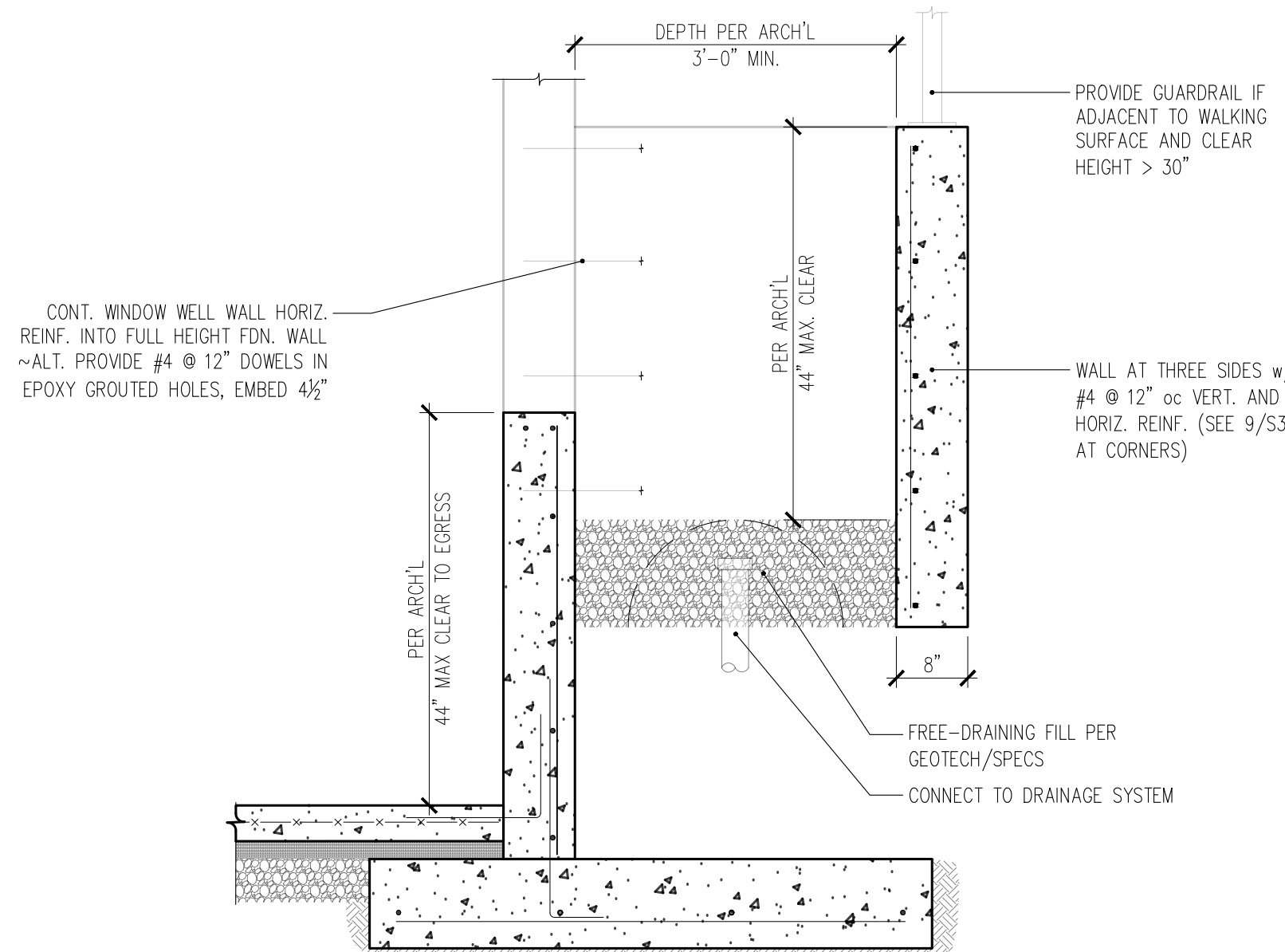
STIRRUP

STIRRUP OR TIE

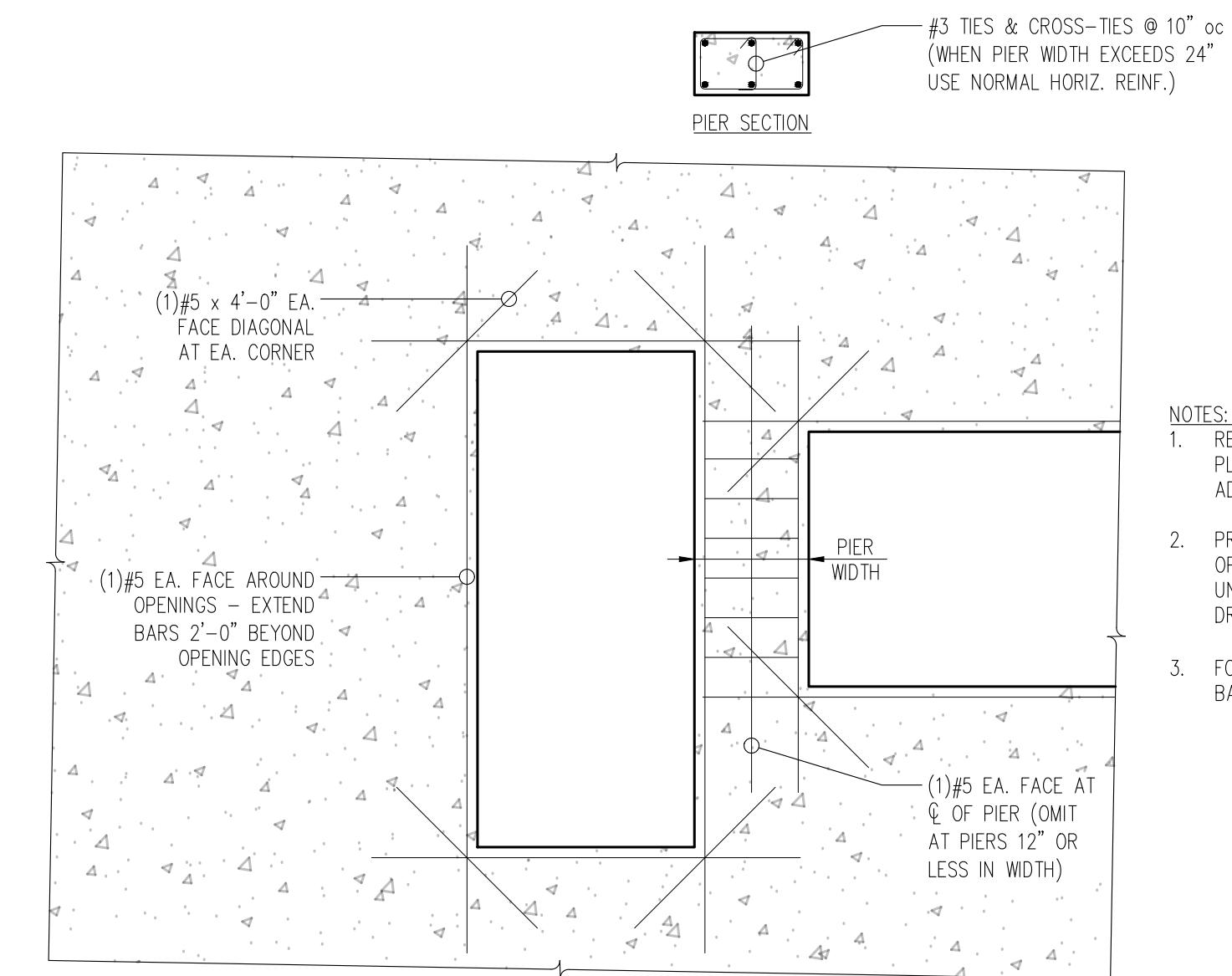


BEAM/COLUMN CROSSTIES, BEAM STIRRUPS, AND/OR COLUMN TIES

8 TYPICAL STEPPED FOOTING  
S3.1 N.T.S.



5 TYPICAL WINDOW WELL  
S3.1 N/A

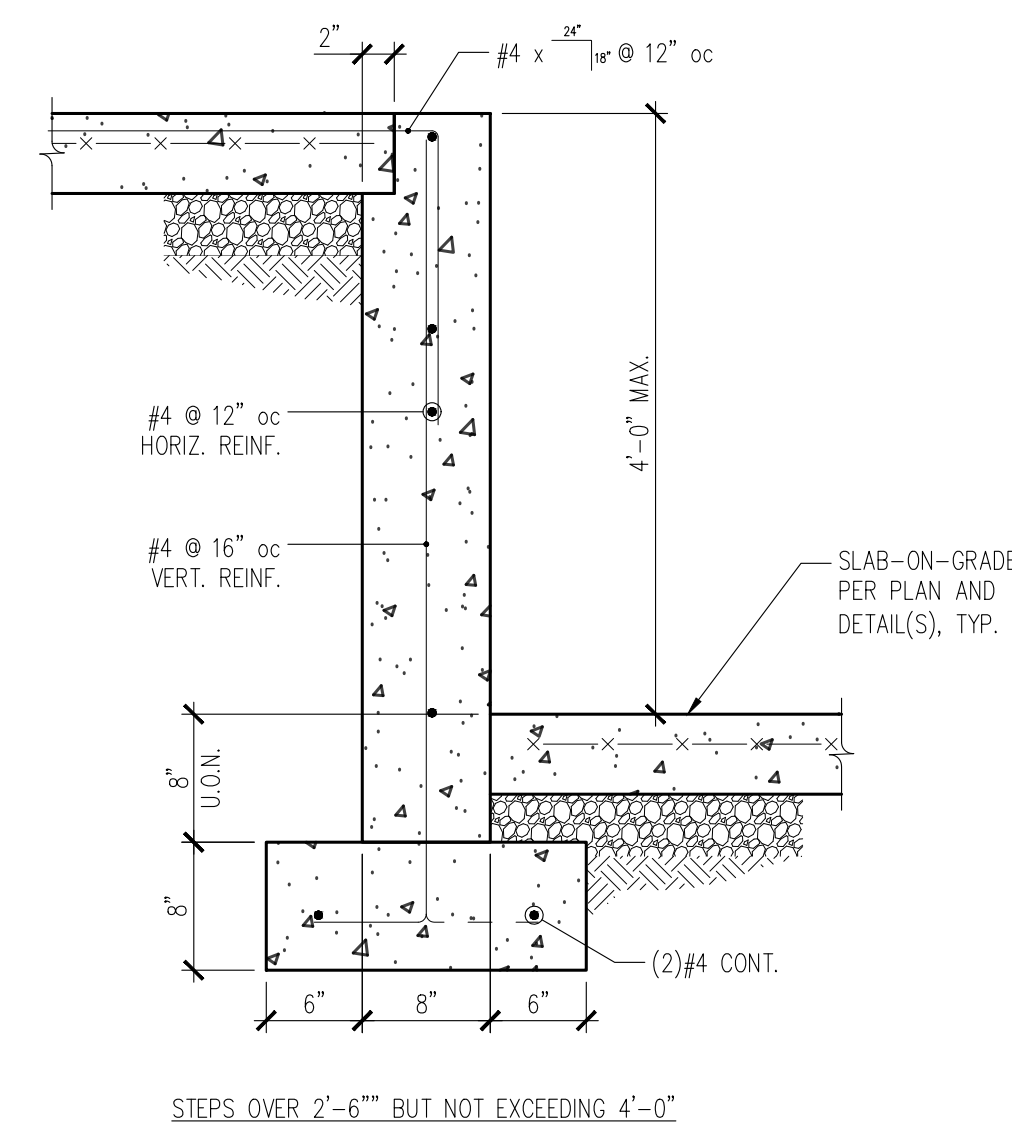


2 WALL OPENING TRIM  
S3.1 N/A

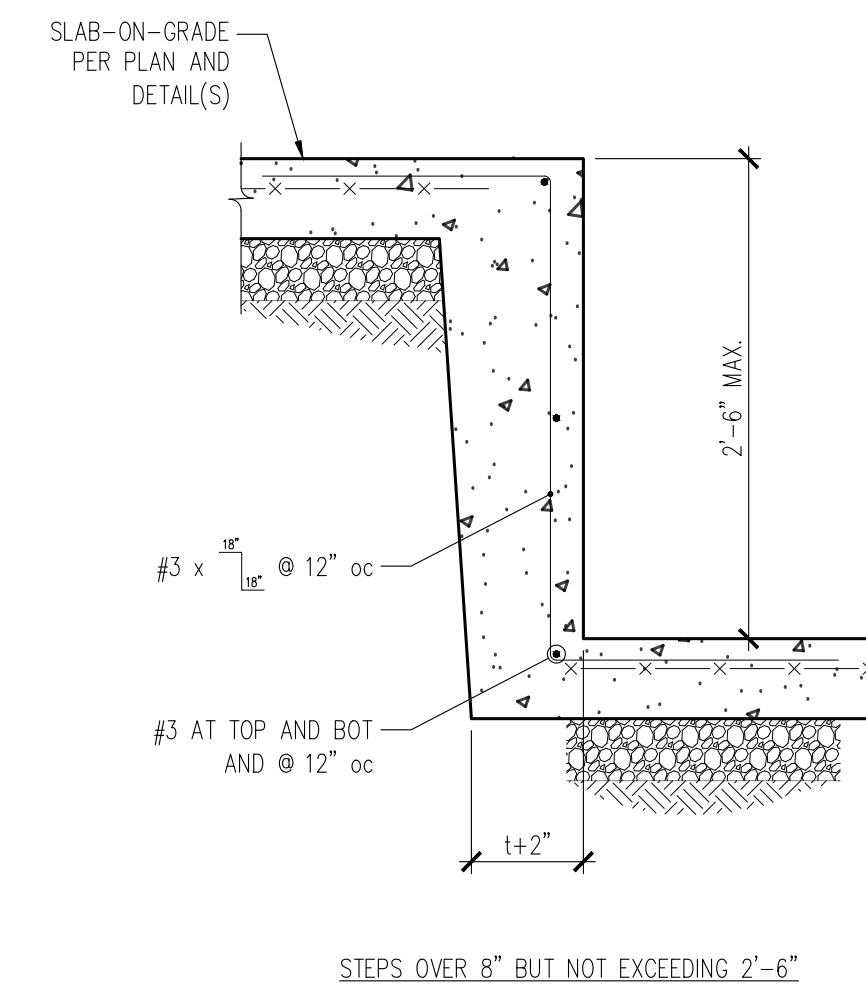
- NOTES:
1. REINFORCING SHOWN IS MINIMUM. SEE PLANS AND WALL ELEVATIONS FOR ADDITIONAL REQUIRED REINFORCING
  2. PROVIDE REINFORCING SHOWN FOR ANY OPENING SIX SQUARE FEET OR LARGER UNLESS OTHERWISE NOTED ON THE DRAWINGS
  3. FOR WALLS THICKER THAN 8", USE #6 BARS IN LIEU OF #5 BARS SHOWN

- NOTES:
1. VALUES FOR UNCOATED REINFORCING AND NORMAL WEIGHT CONCRETE WITH CLEAR SPACING > db, CLEAR COVER > db, AND MINIMUM STIRRUPS OR TIES THROUGHOUT Ld OR DEVELOP ALL REINFORCING IN STRUCTURAL SLABS WITH MINIMUM DEVELOPMENT LENGTH Ld
  2. Ldh = DEVELOPMENT LENGTH OF BAR WITH STANDARD HOOK
  3. TOP BAR = HORIZONTAL BAR WITH MORE THAN 12" OF FRESH CONCRETE BELOW (EXCLUDING WALL HORIZONTAL REINFORCING) OR AS NOTED ON DOCUMENTS AS "TOP BAR"
  4. ALL TABULATED VALUES ARE IN INCHES

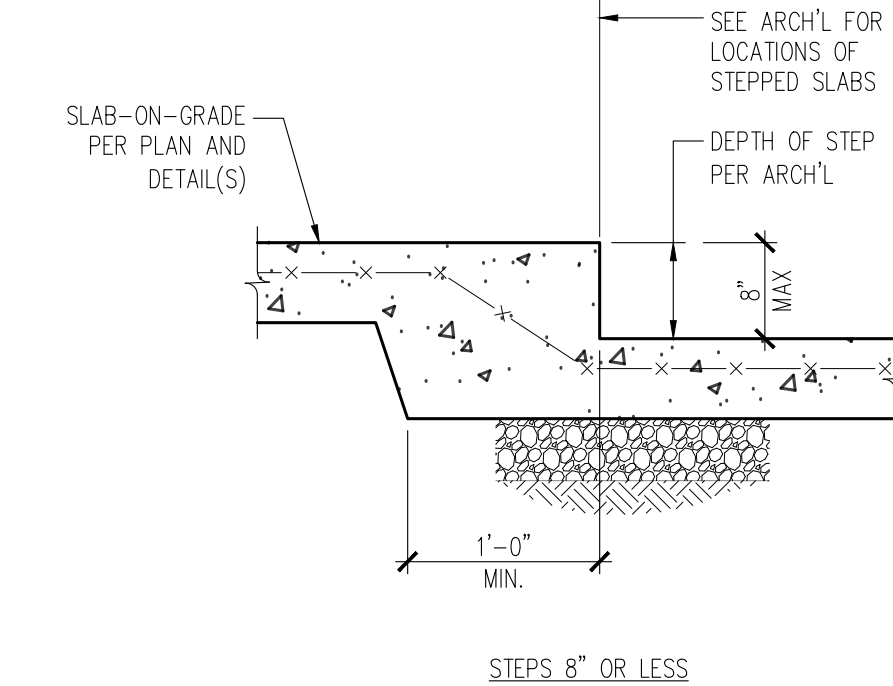
f <sub>c</sub> 3000 psi	MISCELLANEOUS BARS		TOP BARS		HOOKED BARS
	BAR SIZE	Ld	SPLICE	Ld	
f <sub>c</sub> = 3000 psi	#3	17"	23"	22"	9"
	#4	22"	29"	29"	11"
	#5	28"	37"	36"	14"
	#6	33"	43"	43"	17"
f <sub>c</sub> = 4000 psi	#3	15"	20"	19"	8"
	#4	19"	25"	25"	10"
	#5	24"	32"	31"	12"
	#6	29"	38"	37"	15"
f <sub>c</sub> = 5000 psi	#3	13"	17"	17"	7"
	#4	17"	23"	23"	9"
	#5	22"	29"	28"	11"
	#6	26"	34"	34"	13"
f <sub>c</sub> = 6000 psi	#3	12"	16"	16"	6"
	#4	16"	21"	21"	8"
	#5	20"	26"	26"	10"
	#6	24"	32"	31"	12"



STEPS OVER 2'-6" BUT NOT EXCEEDING 4'-0"



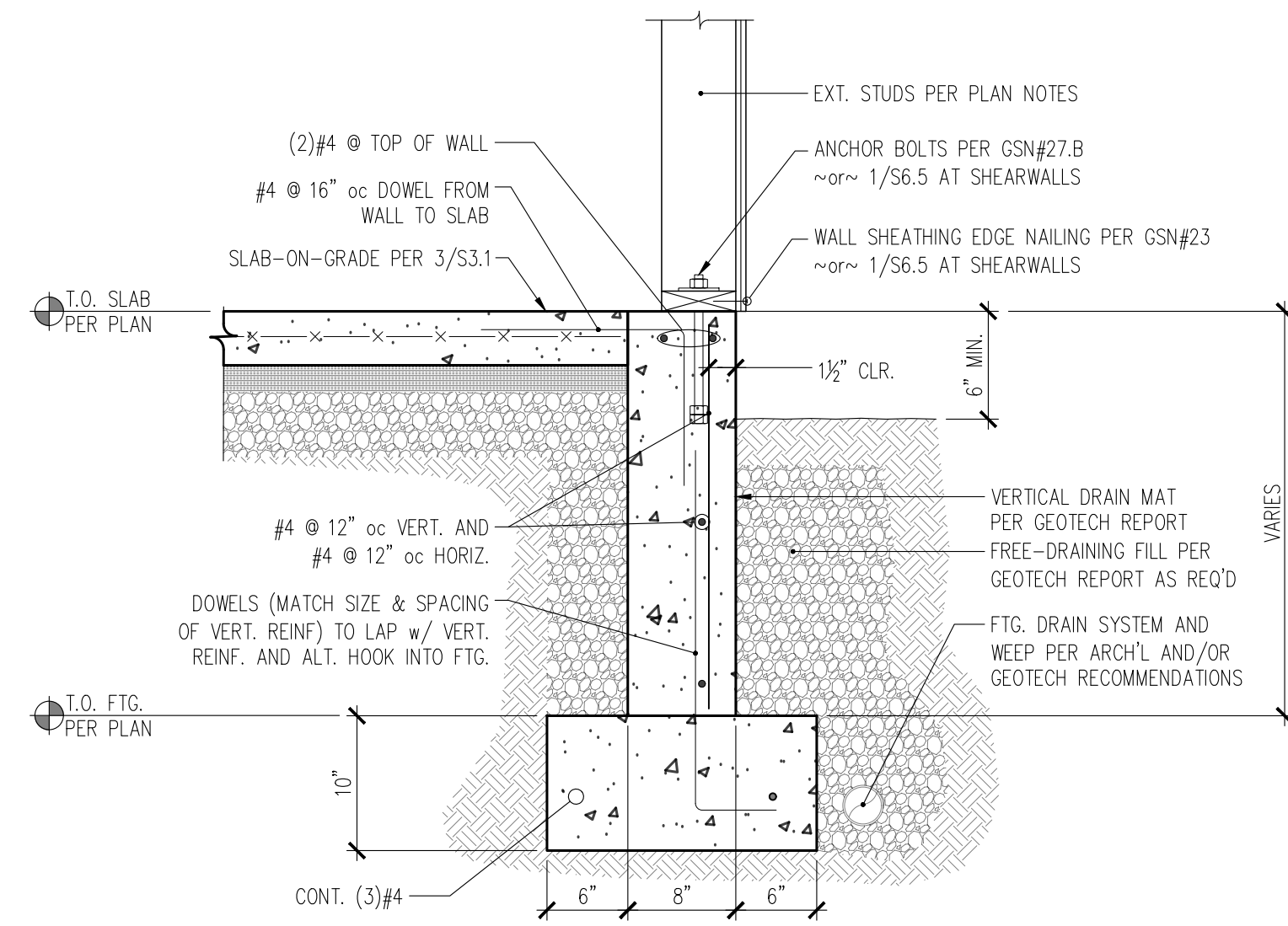
STEPS OVER 8" BUT NOT EXCEEDING 2'-6"



STEPS 8" OR LESS

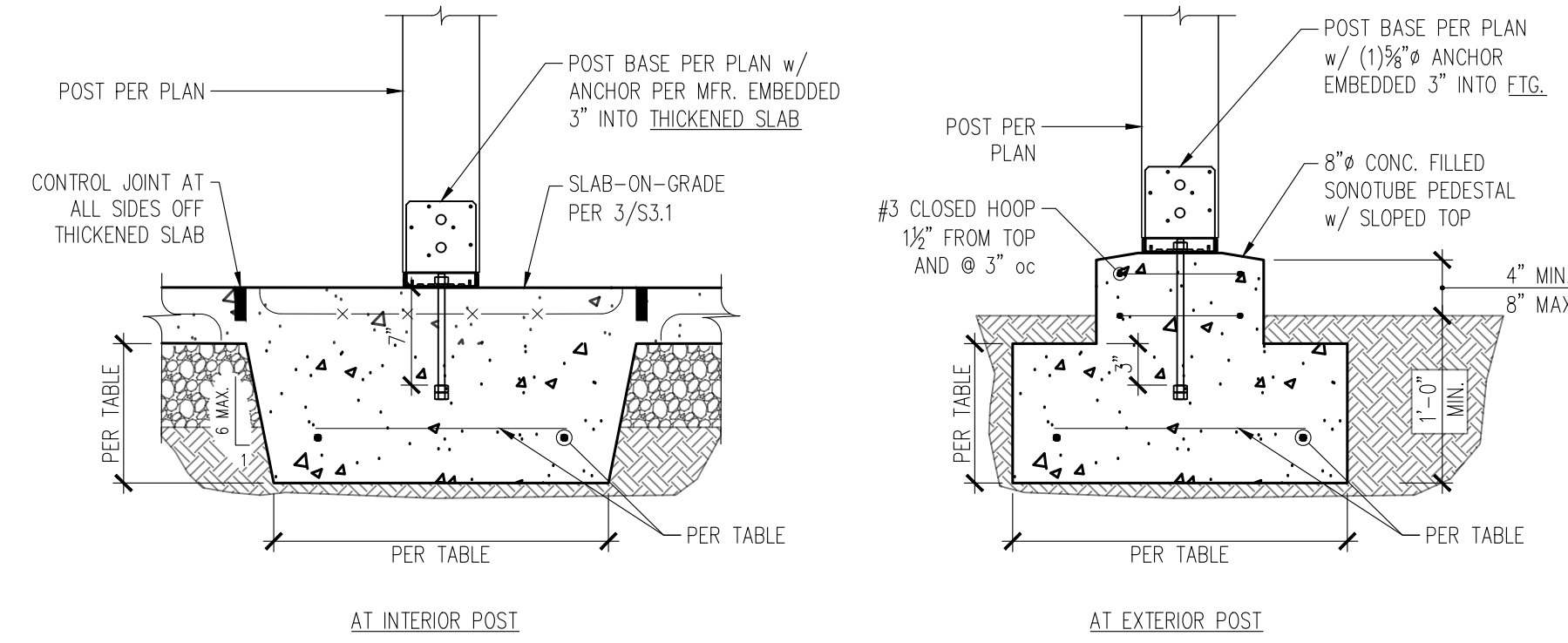
7 CONCRETE REINFORCING DEVELOPMENT AND SPLICE LENGTH TABLES  
S3.1 N/A

4 TYPICAL SLAB STEP DETAILS  
S3.1 N/A

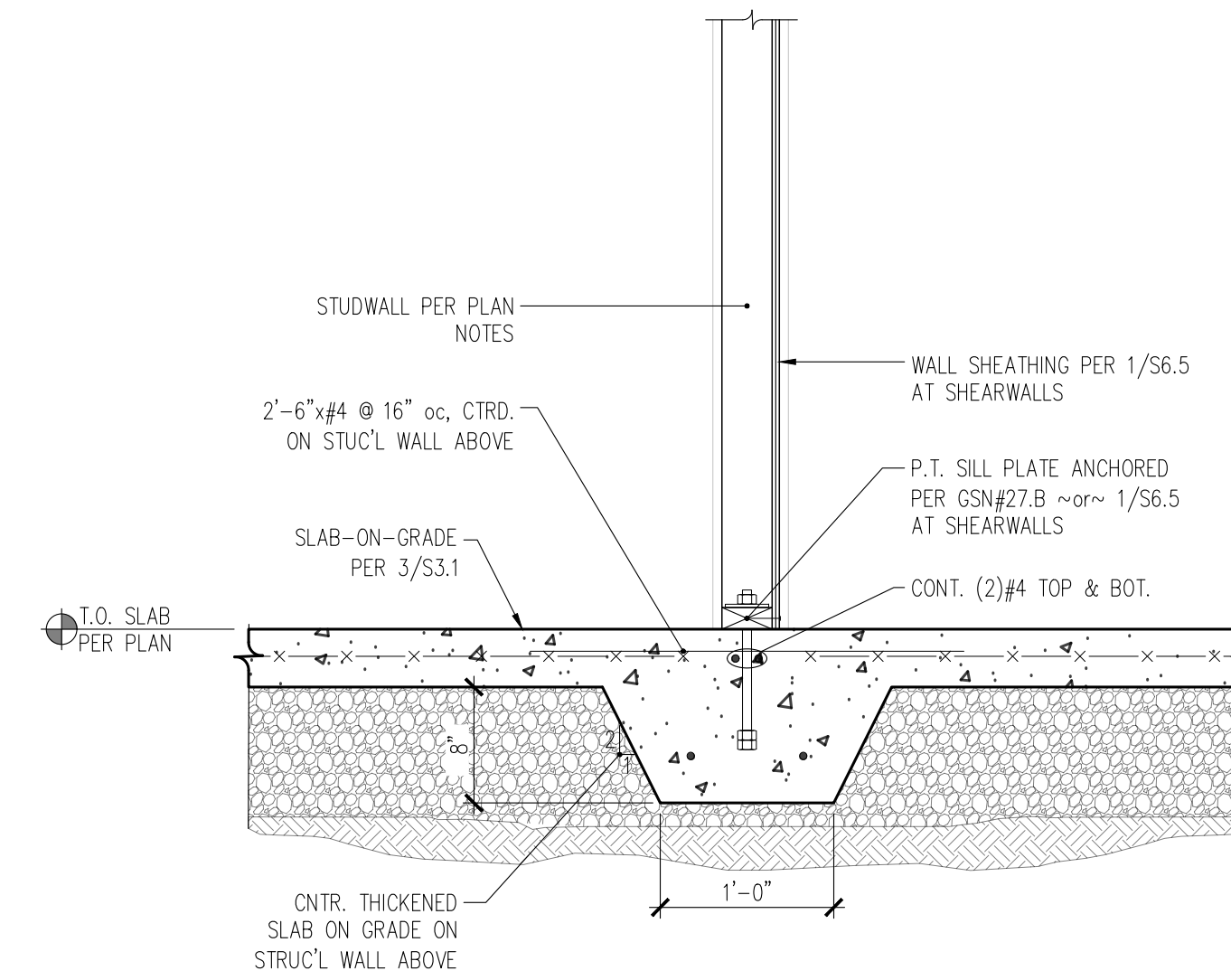


9 SECTION THROUGH FOUNDATION WALL AT GARAGE SLAB  
S3.2 1" = 1'-0"

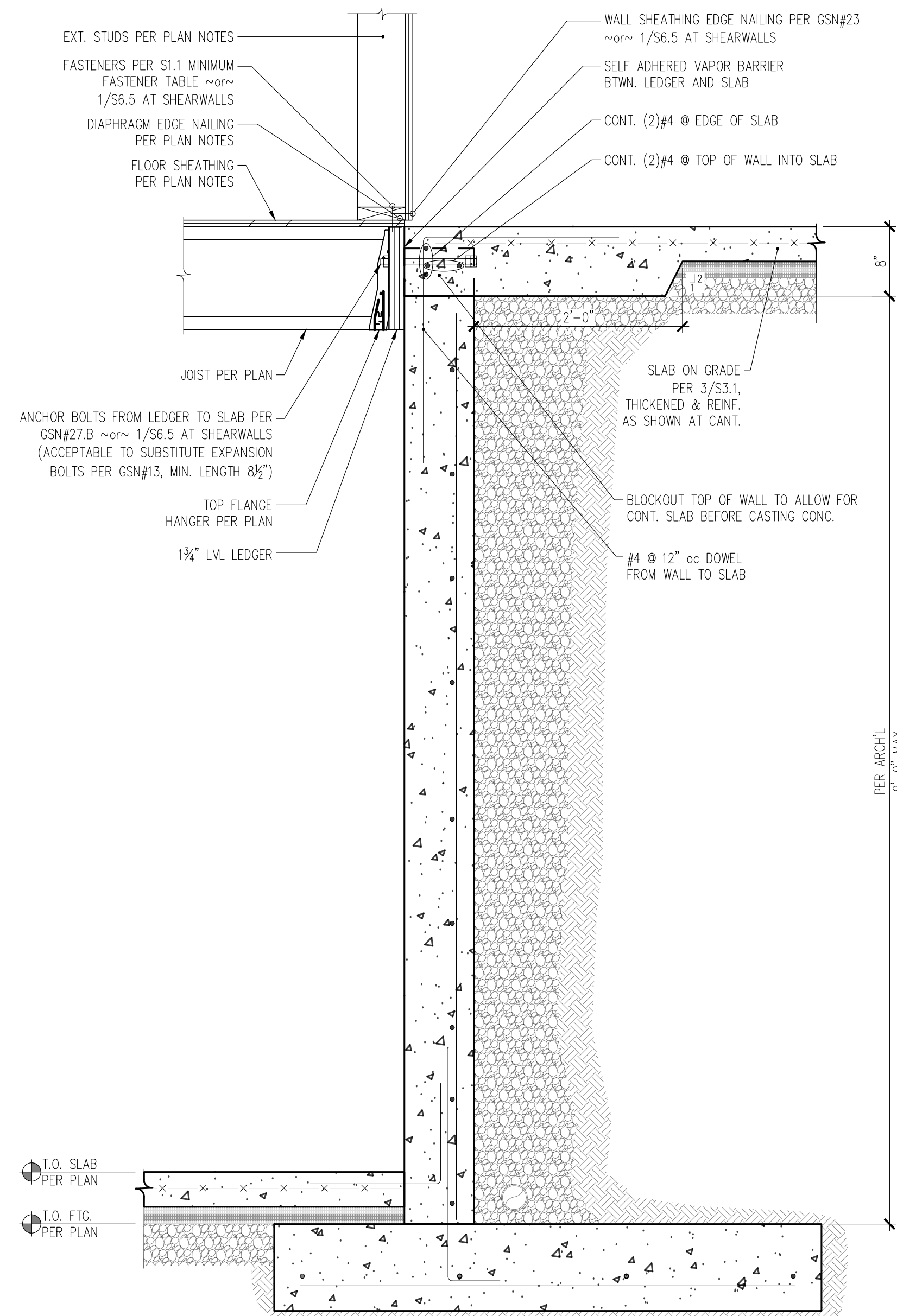
FTG. MARK	DIMENSIONS			REINFORCING DIRECTION	
	LENGTH	WIDTH	DEPTH	SHORT	LONG
F1.5	1'-6"	1'-6"	10"	(2)#4	(2)#4
F2.5	2'-6"	2'-6"	10"	(4)#4	(4)#4
F3.0	3'-0"	3'-0"	10"	(4)#4	(4)#4
F3.6	3'-6"	3'-6"	12"	(5)#4	(5)#4
F4.0	4'-0"	4'-0"	12"	(5)#4	(6)#4



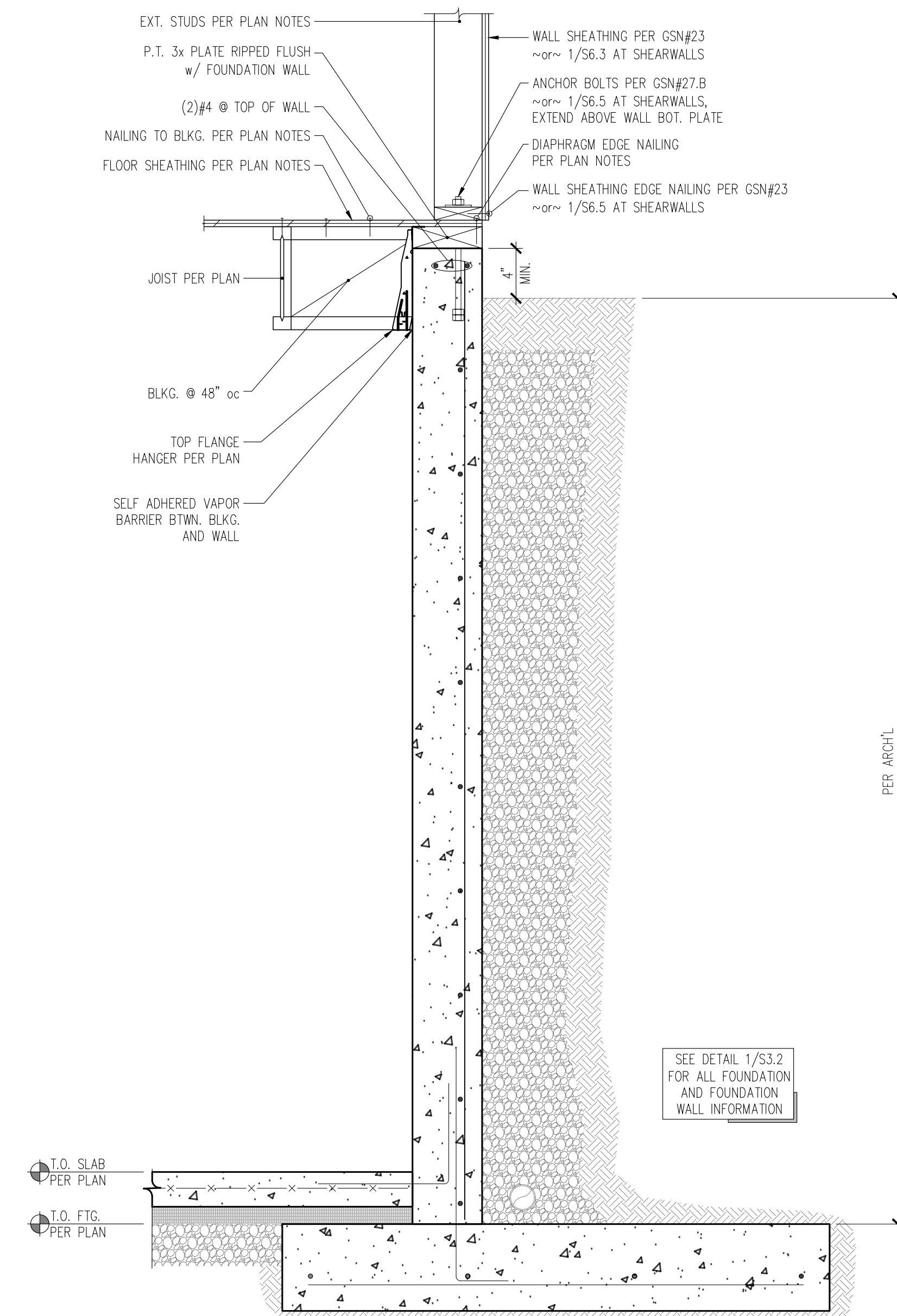
6 SPREAD FOOTING  
S3.2 1" = 1'-0"



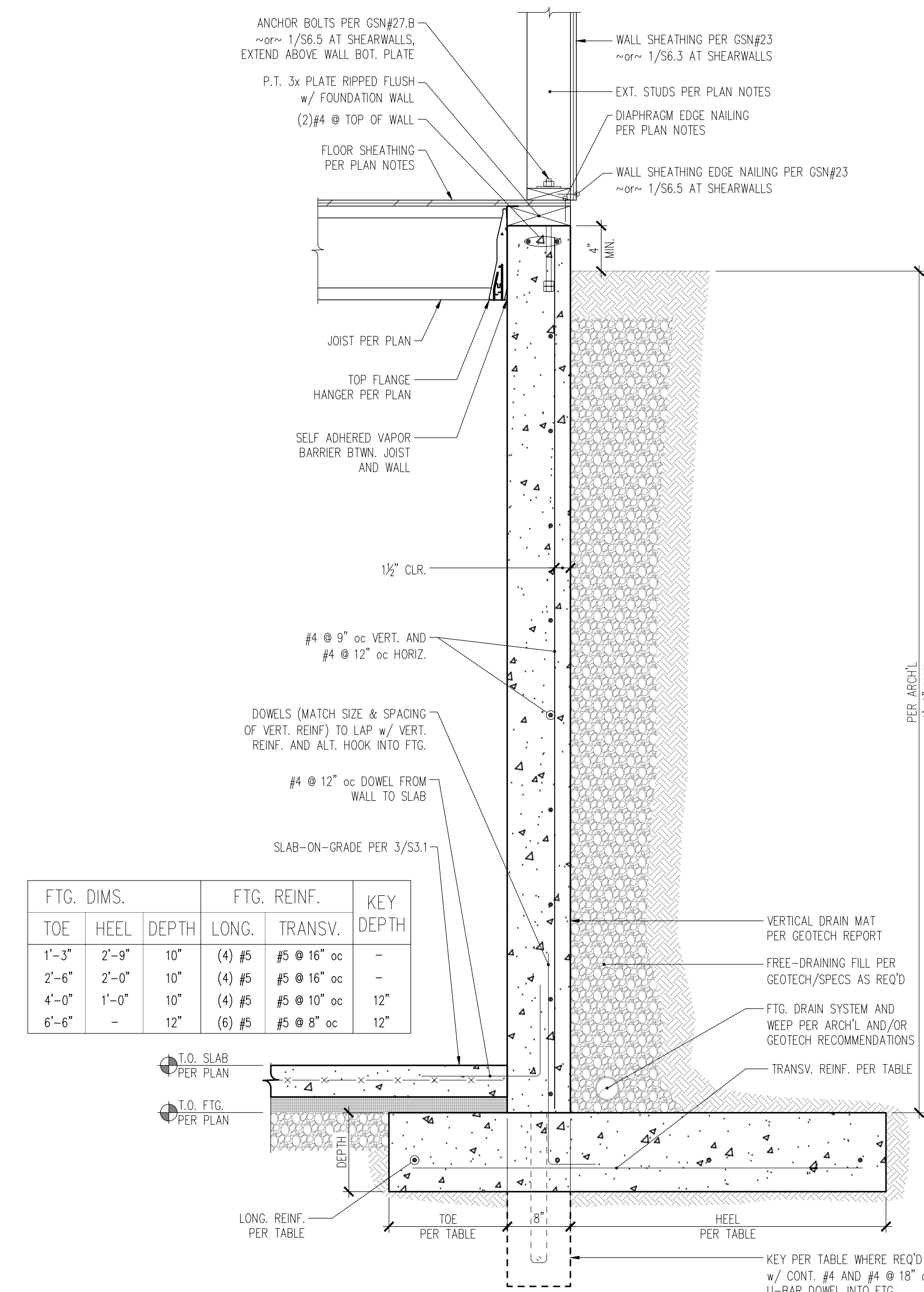
3 THICKENED SLAB ON GRADE  
S3.2 1" = 1'-0"



7 SECTION THROUGH FOUNDATION WALL AT PERPENDICULAR JOISTS AND GARAGE SLAB  
S3.2 1" = 1'-0"

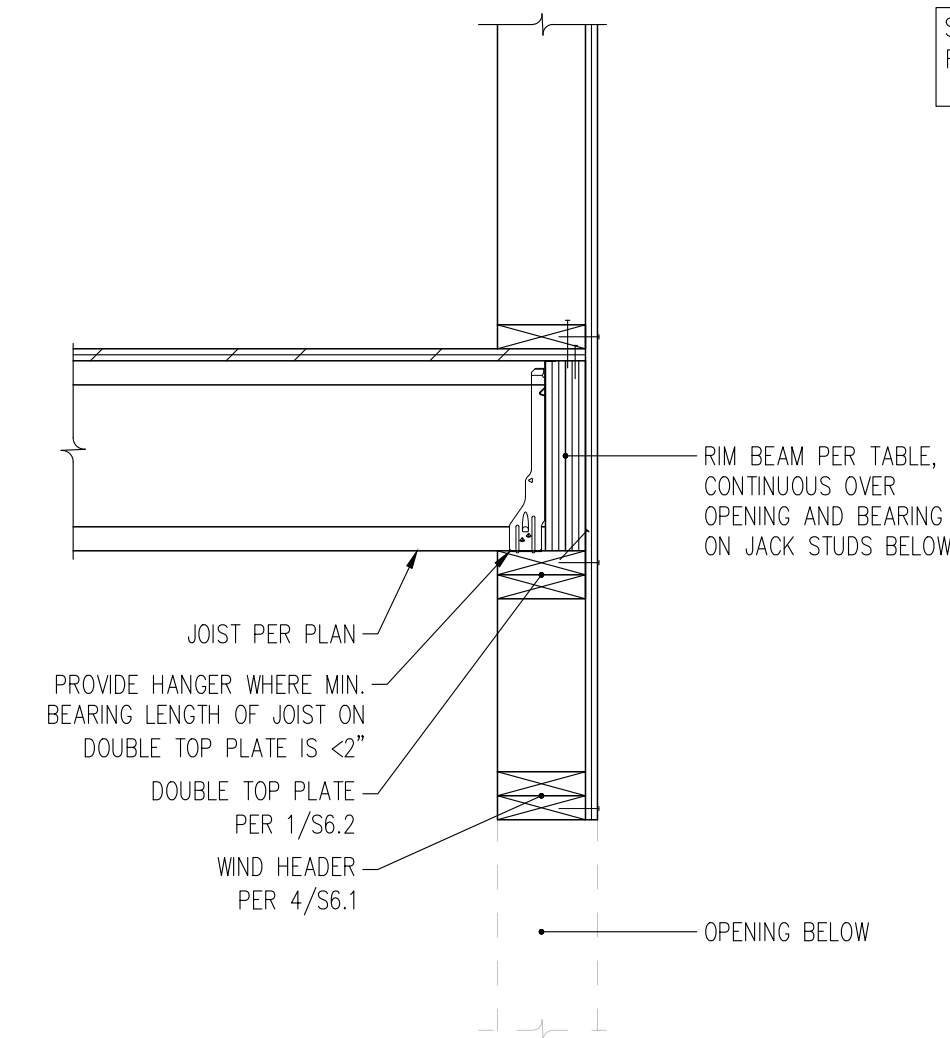


4 SECTION THROUGH FOUNDATION WALL AT PARALLEL JOISTS  
S3.2 1" = 1'-0"

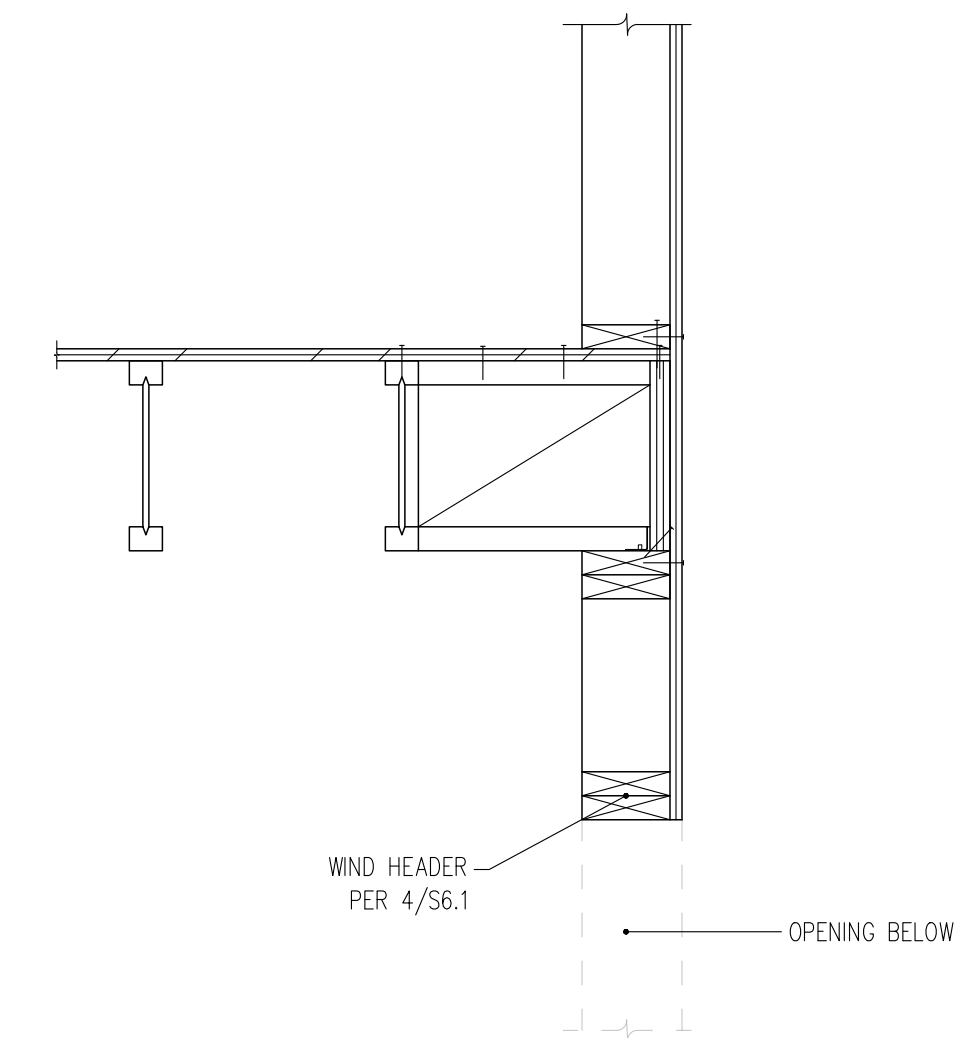


1 SECTION THROUGH FOUNDATION WALL AT PERPENDICULAR JOISTS  
S3.2 1" = 1'-0"

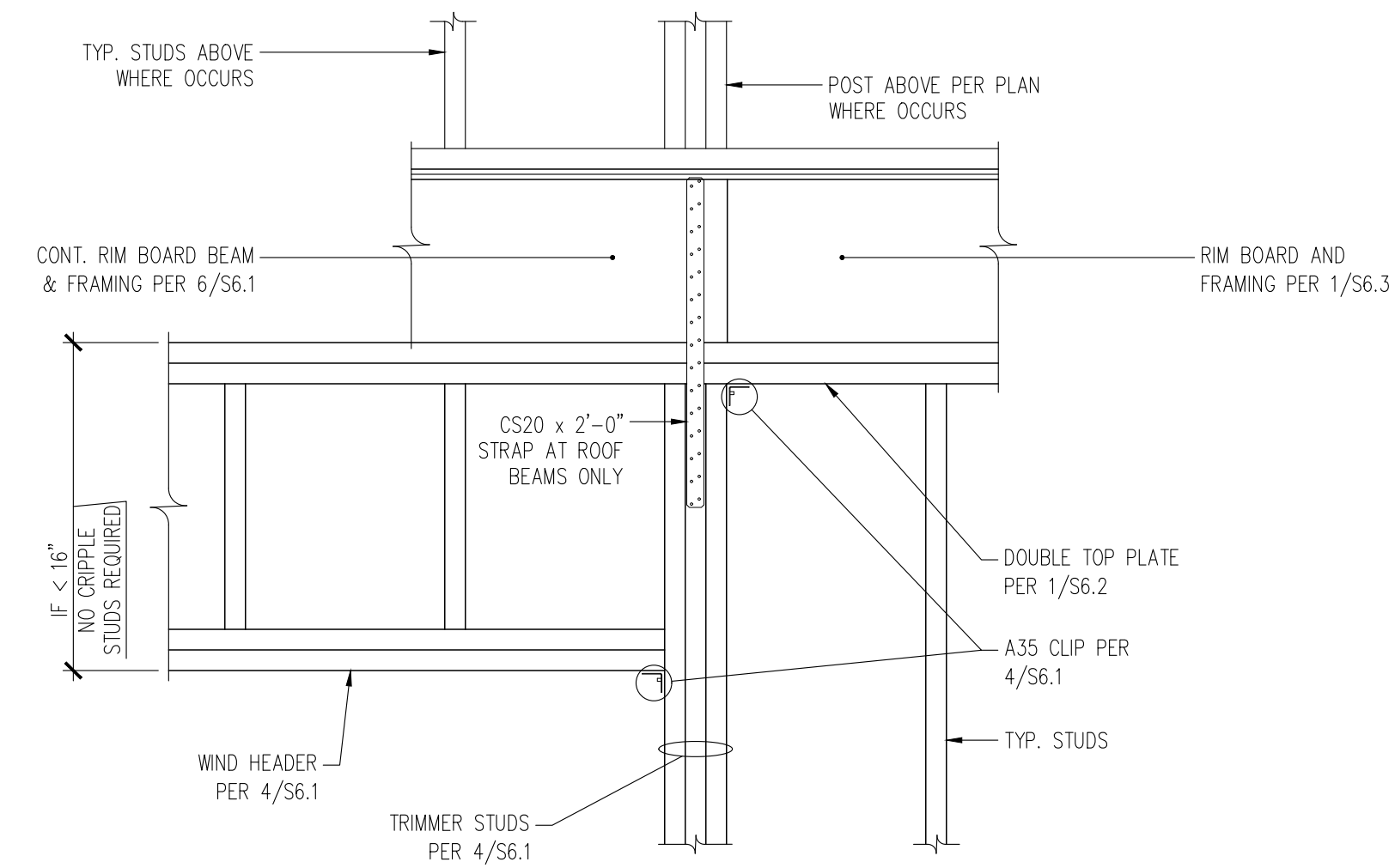
OPENING WIDTH, L	RIM/HEADER SIZE	MINIMUM No. OF STUD
UPPER FLOOR		
L ≤ 2'-0"	1 3/4" x 1 1/2" LVL	(1)2x6
L ≤ 3'-6"	1 3/4" x 1 1/2" LVL	(2)2x6
L ≤ 5'-0"	(2)1 3/4" x 1 1/2" LVL	(2)2x6
MAIN FLOOR		
L ≤ 4'-0"	1 3/4" x 1 1/2" LVL	(2)2x6
L ≤ 5'-6"	(2)1 3/4" x 1 1/2" LVL	(2)2x6



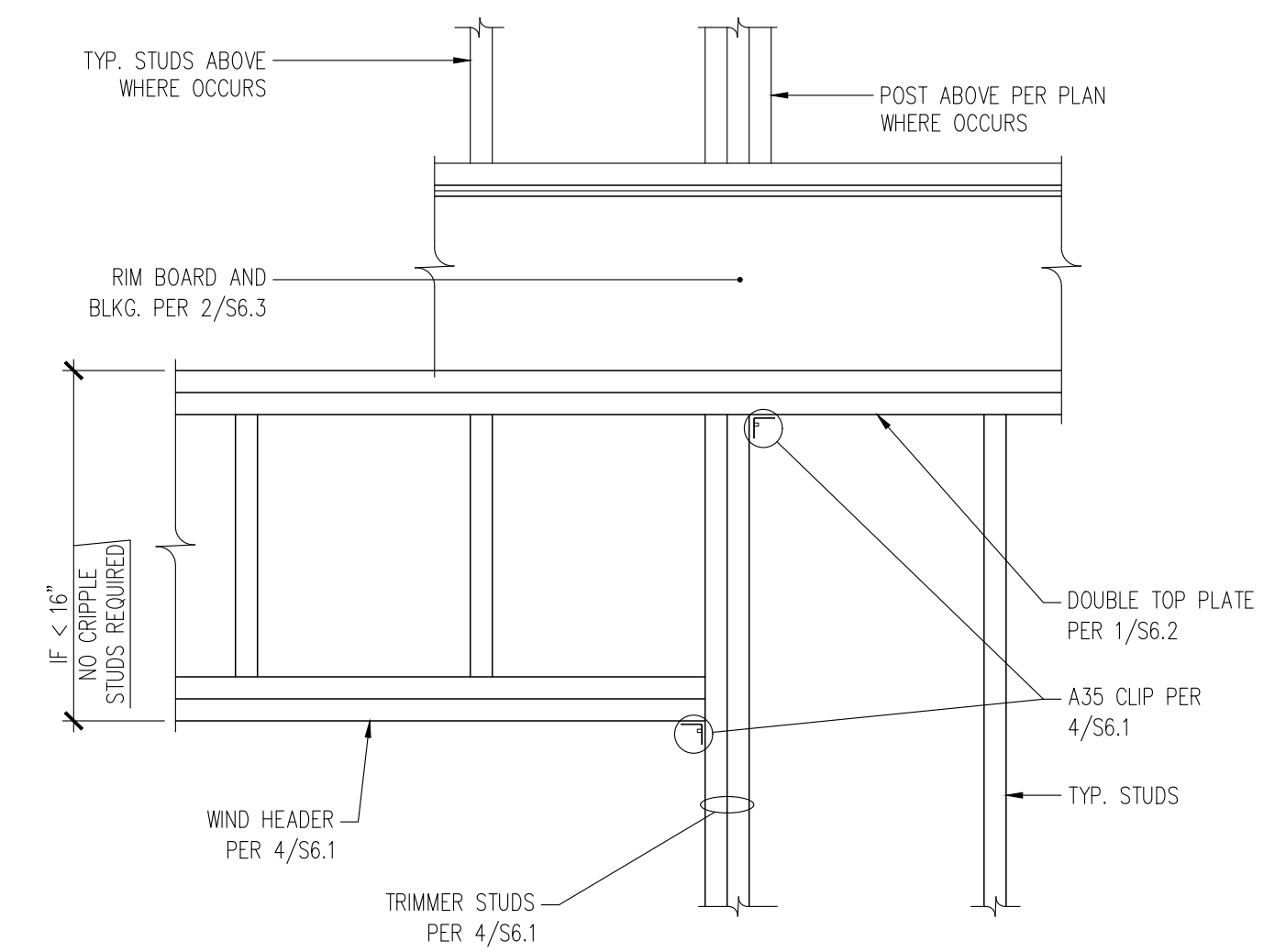
6 TYPICAL RIMBOARD HEADER & WIND HEADER IN LOAD BEARING EXTERIOR WALL  
S6.1 NTS



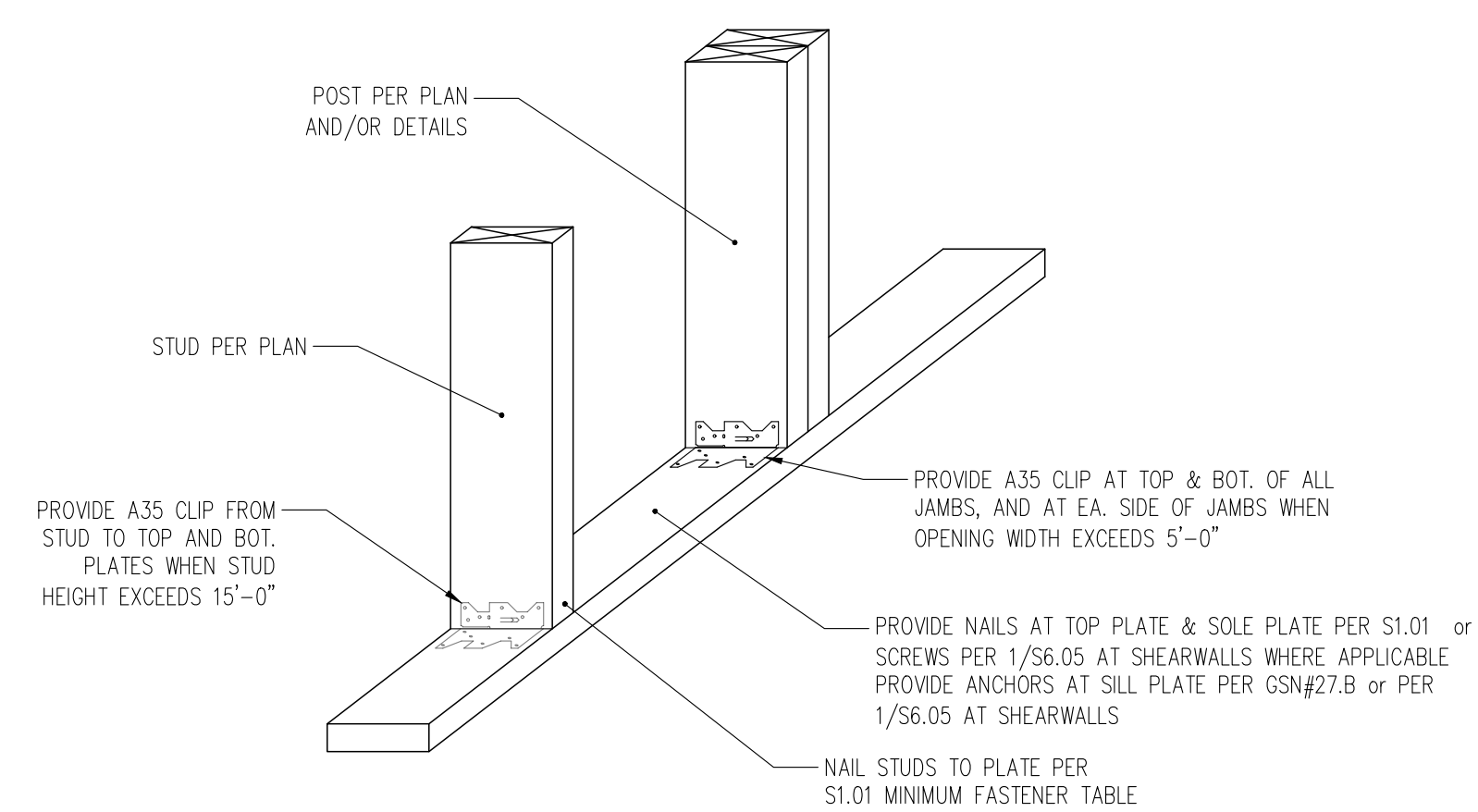
3 TYPICAL WIND HEADER IN NON-LOAD BEARING EXTERIOR WALL  
S6.1 NTS



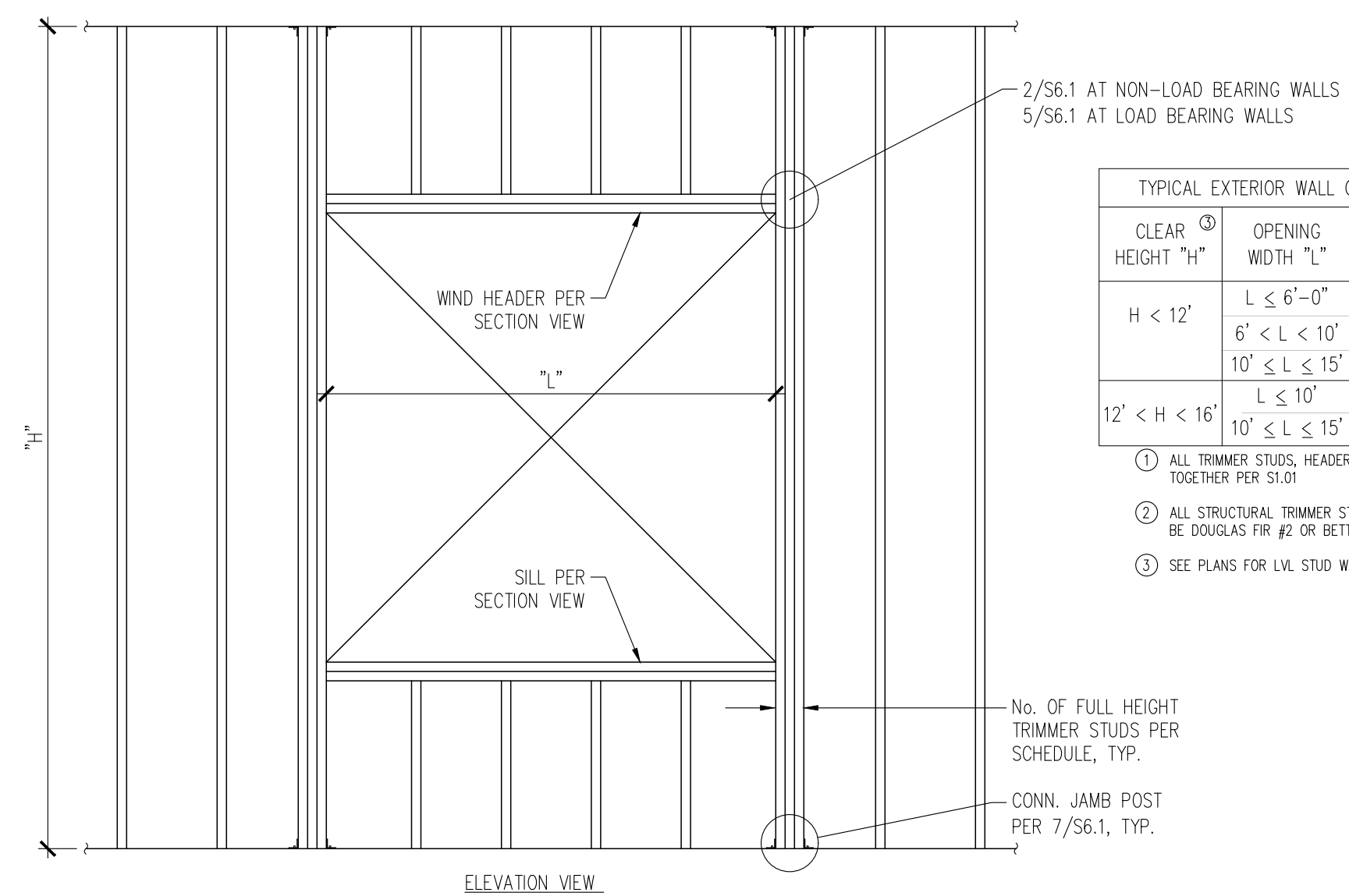
5 TYPICAL FLUSH BEAM/HEADER IN EXTERIOR WALL  
S6.1 NTS



2 TYPICAL WIND HEADER DETAIL  
S6.1 NTS



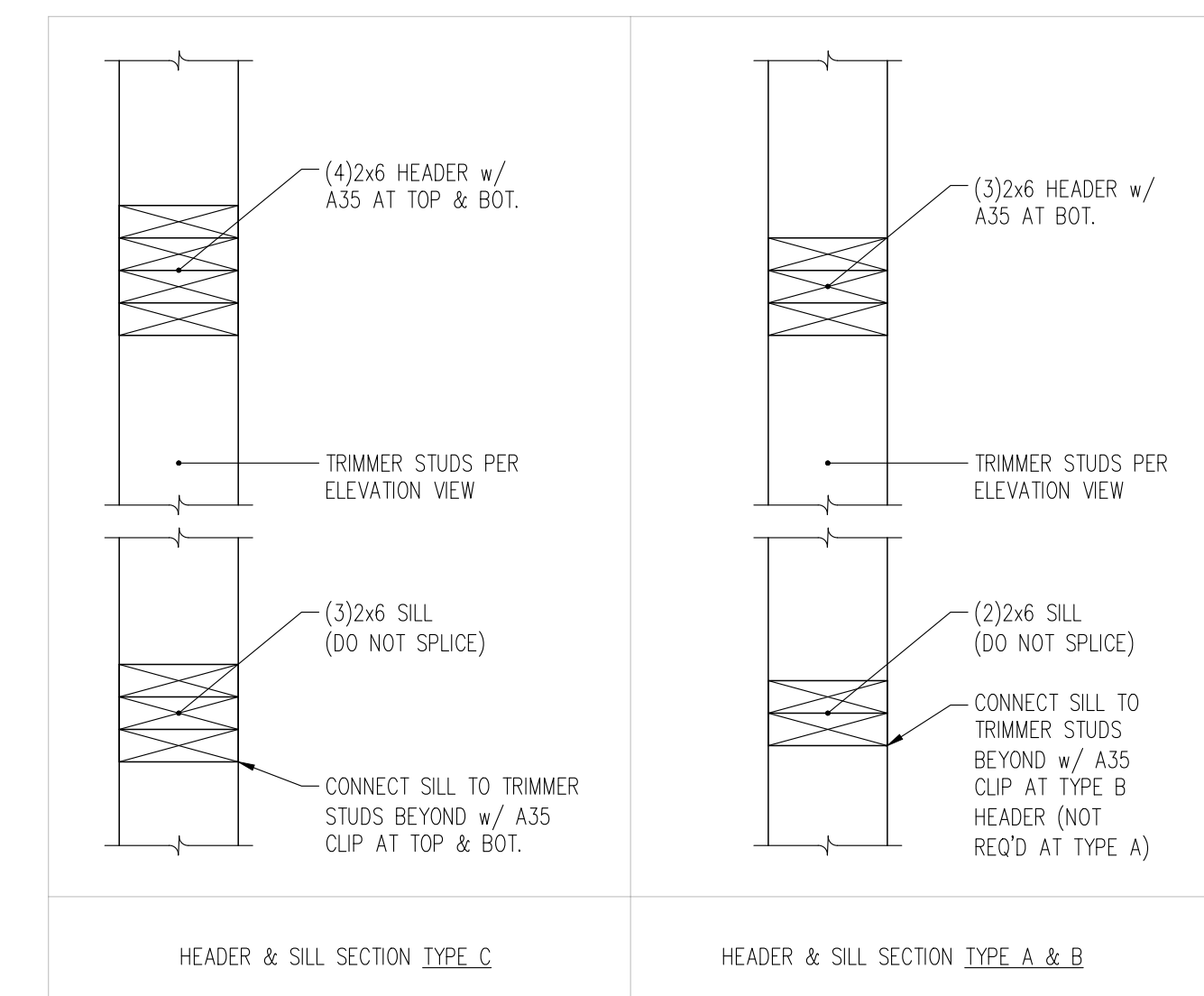
7 CONNECTION OF EXTERIOR STUDS AT TOP & BOTTOM PLATES  
S6.1 NTS



4 TYPICAL WIND HEADER  
S6.1 NTS

TYPICAL EXTERIOR WALL OPENING FRAMING SCHEDULE (2)			
CLEAR HEIGHT "H"	OPENING WIDTH "L"	HDR./SILL TYPE PER SECTION AT RIGHT	No. OF FULL HEIGHT TRIMMER STUDS (3)
H < 12'	L ≤ 6'-0"	A	2
	6' < L < 10'	B	2
	10' ≤ L ≤ 15'	C	3
12' < H < 16'	L ≤ 10'	B	3
	10' ≤ L ≤ 15'	C	6x8

- ALL TRIMMER STUDS, HEADERS, AND SILLS SHALL BE NAILED TOGETHER PER S1.01
- ALL STRUCTURAL TRIMMER STUDS, SILLS, AND HEADERS SHALL BE DOUGLAS FIR #2 OR BETTER
- SEE PLANS FOR LVL STUD WALL LOCATIONS, WHERE APPLICABLE



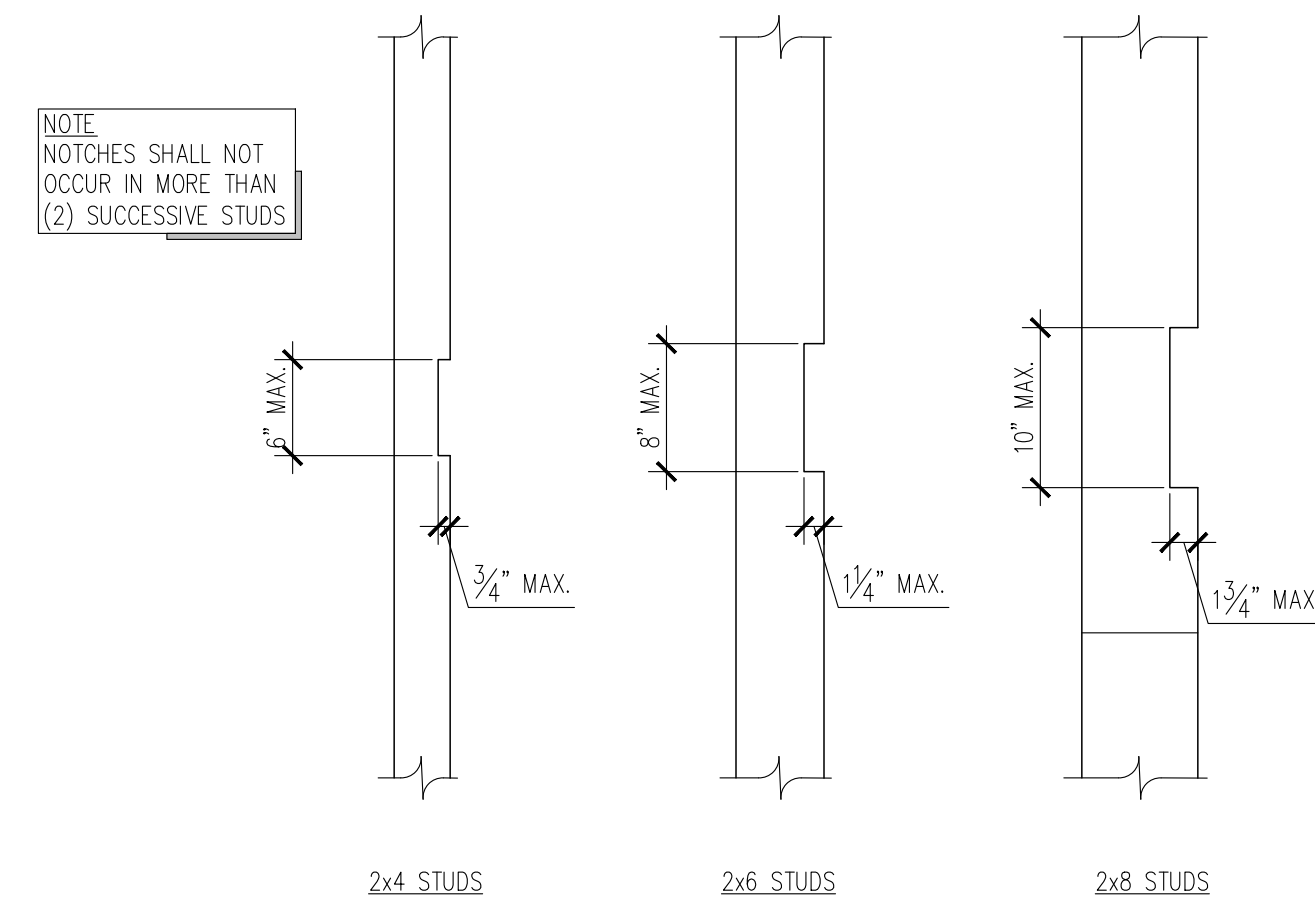
HEADER & SILL SECTION TYPE C

HEADER & SILL SECTION TYPE A & B

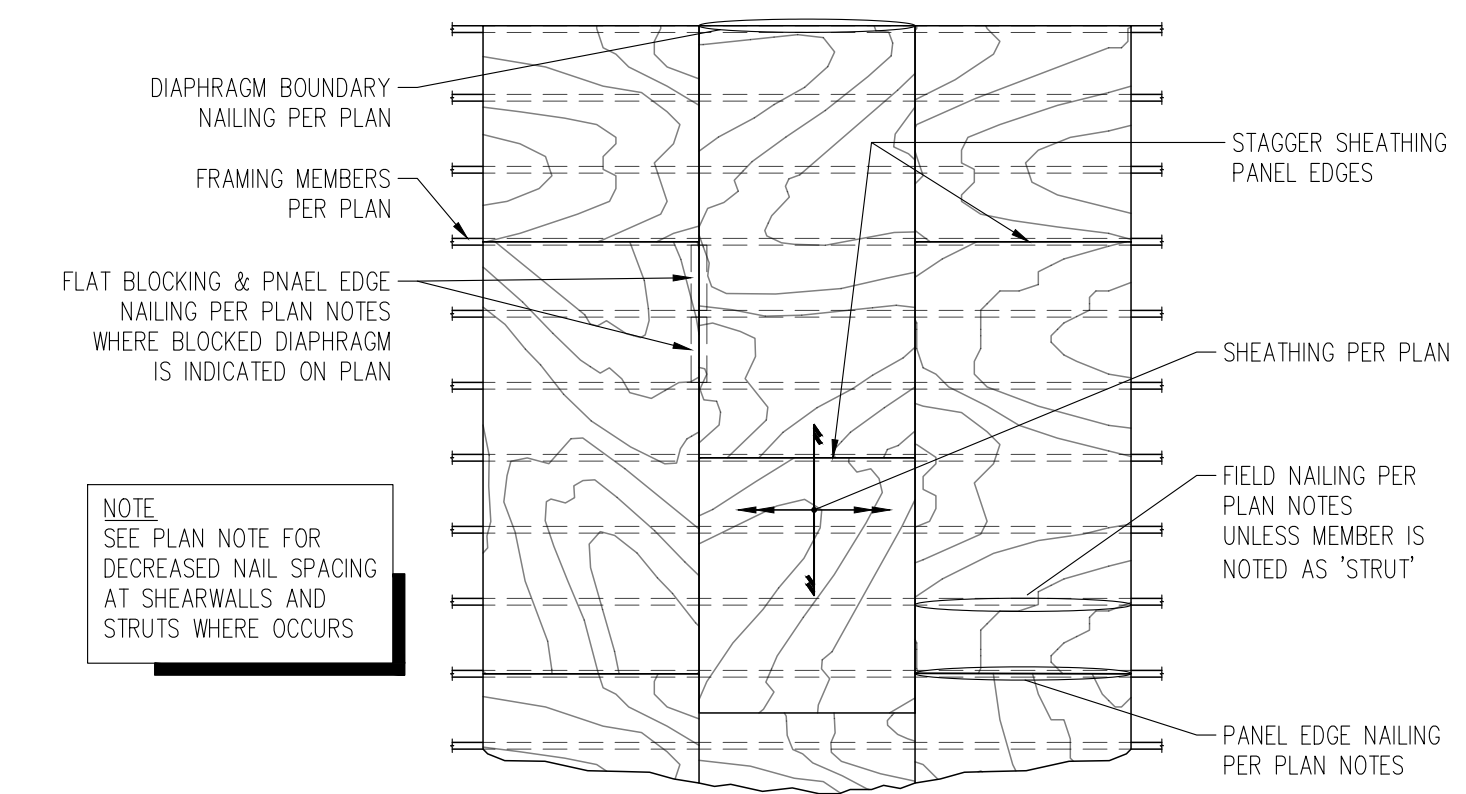
PIECE WIDTH	NUMBER OF PLIES	TYPE <sup>(1)</sup>	FASTENER			LOCATION
			MIN. LENGTH	# ROWS	O.C. SPACING	
1 3/4"	2	10d NAILS	3"	3 <sup>(2)</sup>	12"	ONE SIDE
		12d - 16d NAILS	3 3/4"	2 <sup>(2)</sup>	24"	
	3	10d NAILS	3"	3 <sup>(2)</sup>	12"	BOTH SIDES
		12d - 16d NAILS	3 3/4"	2 <sup>(2)</sup>	24"	
	4	10d NAILS	3"	3 <sup>(2)</sup>	12"	ONE SIDE (PER PLY)
		12d - 16d NAILS	3 3/4"	2 <sup>(2)</sup>	24"	
3 1/2"	2	SCREWS	5" or 6"	2	24"	BOTH SIDES
		1/2" Ø BOLTS	8"	2	24"	ONE SIDE

- (1) 10d NAILS ARE 0.128" DIAMETER; 12d - 16d NAILS ARE 0.148" - 0.162" DIAMETER; SCREWS ARE SDS, USP WP, TRUSSLOK, OR SDW  
(2) AN ADDITIONAL ROW OF NAILS IS REQUIRED WITH DEPTHS OF 14" OR GREATER  
(3) WHEN CONNECTING 4-PLY MEMBERS, NAIL EACH PLY TO THE OTHER AND OFFSET NAIL ROWS BY 2" FROM ROWS IN THE PLY BELOW

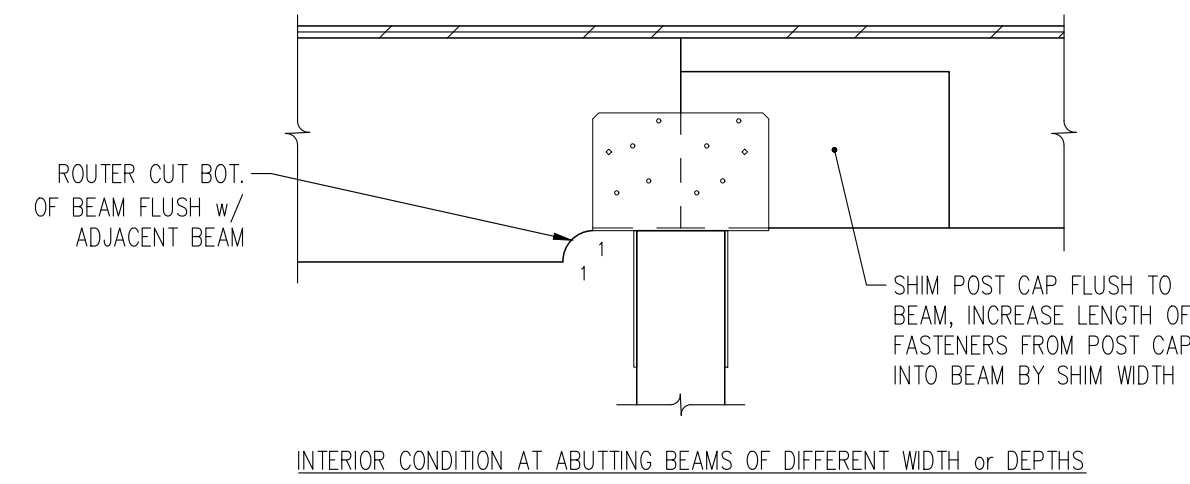
9 MULTIPLE LVL MEMBER FASTENING FOR TOP-LOADED BEAM PER WEYERHAUSER  
S6.2 NTS



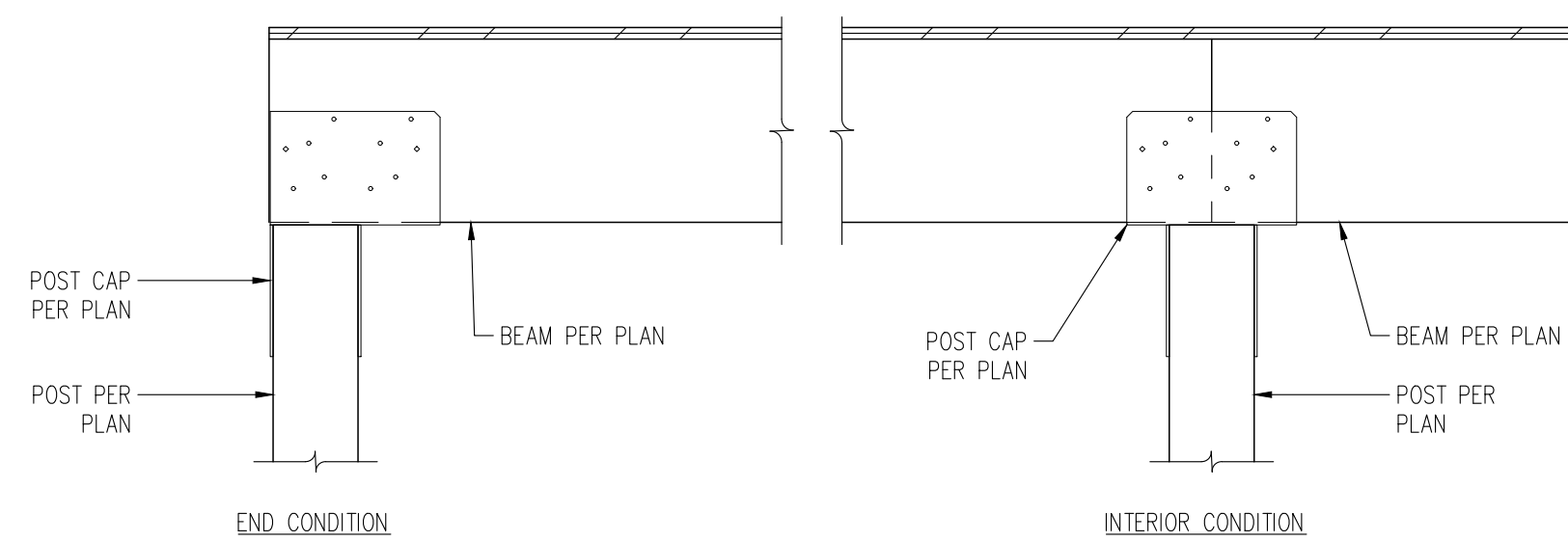
6 ALLOWABLE HOLES IN STUDWALL STUDS  
S6.2 NTS



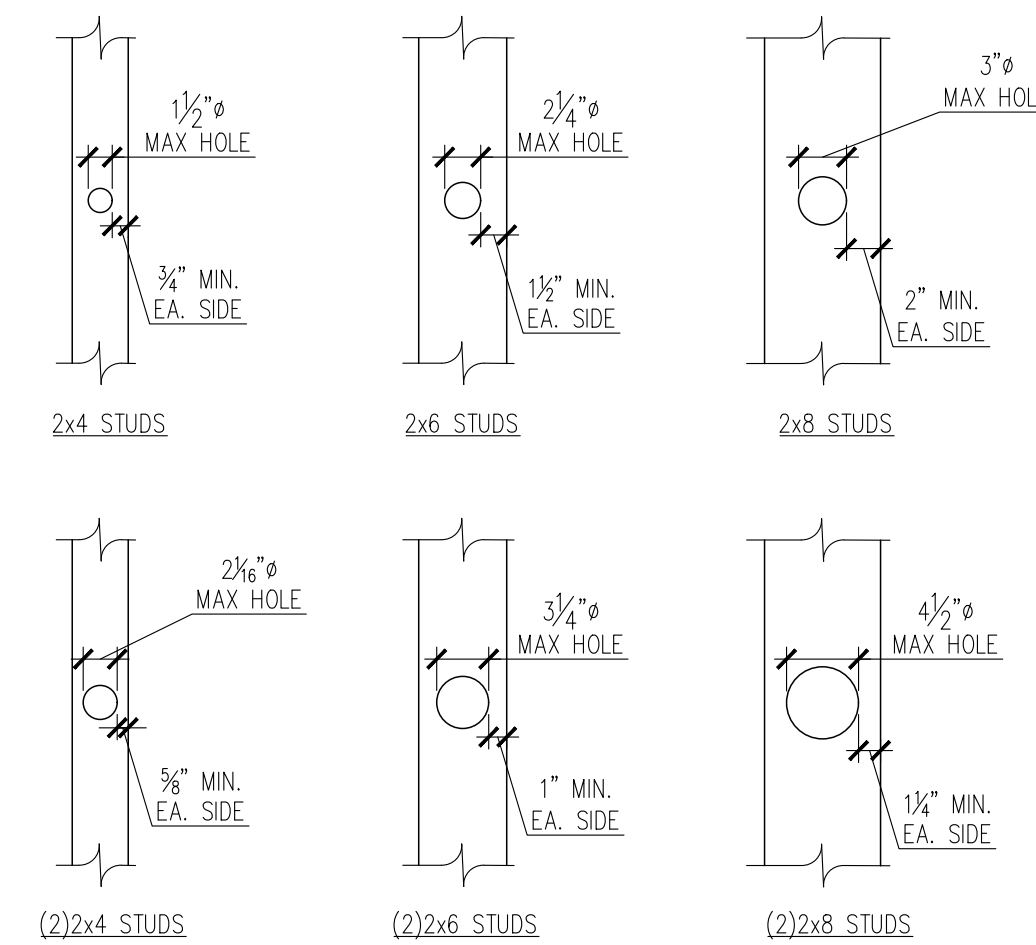
3 TYPICAL DIAPHRAGM NAILING  
S6.2 NTS



INTERIOR CONDITION AT ABUTTING BEAMS OF DIFFERENT WIDTH or DEPTHS



8 TYPICAL POST CAP INSTALLATION  
S6.2 NTS

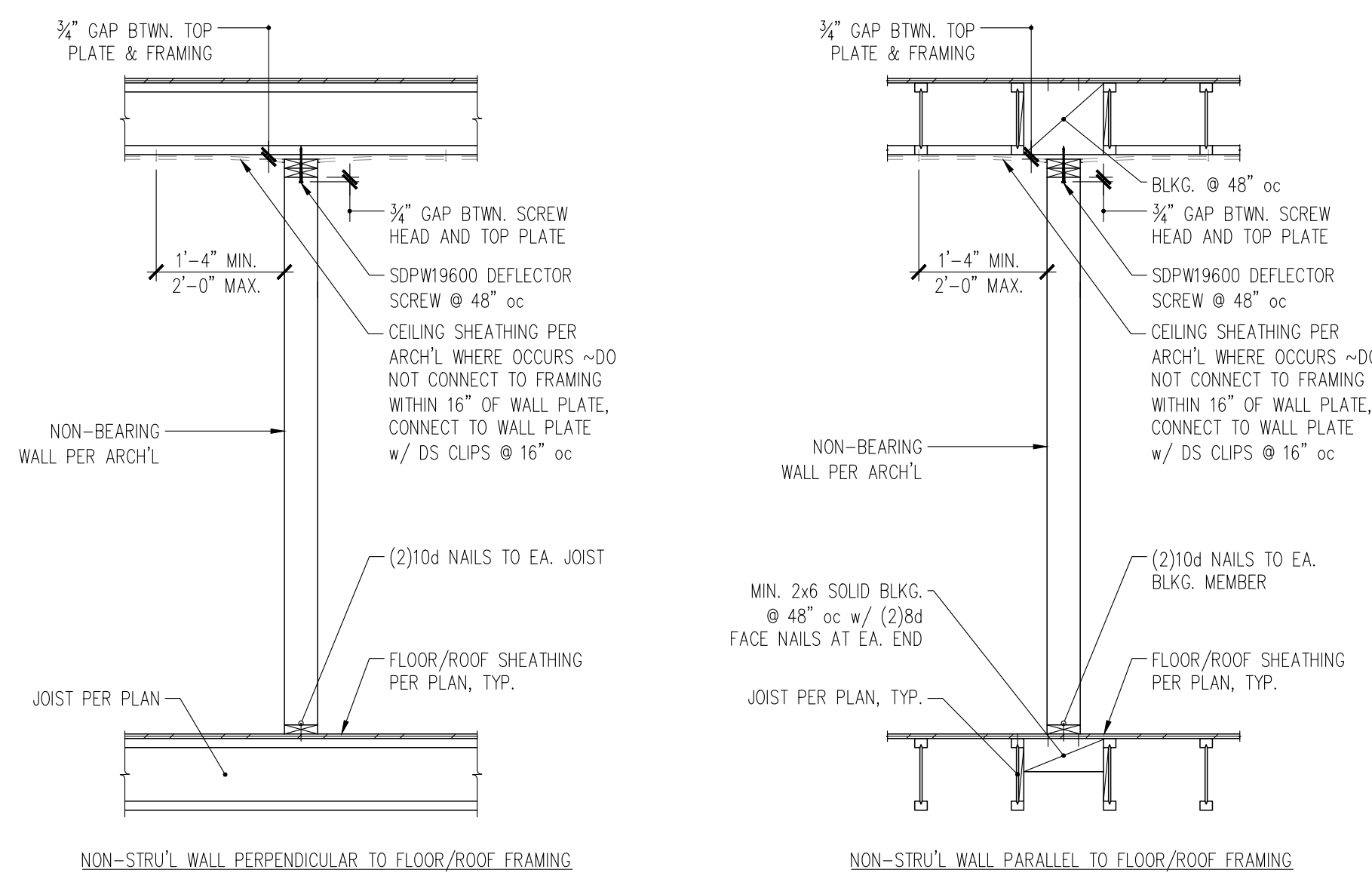


NOTE: NO MORE THAN TWO SUCCESSIVE STUDS MAY BE BORED AT DOUBLE STUD CONDITION

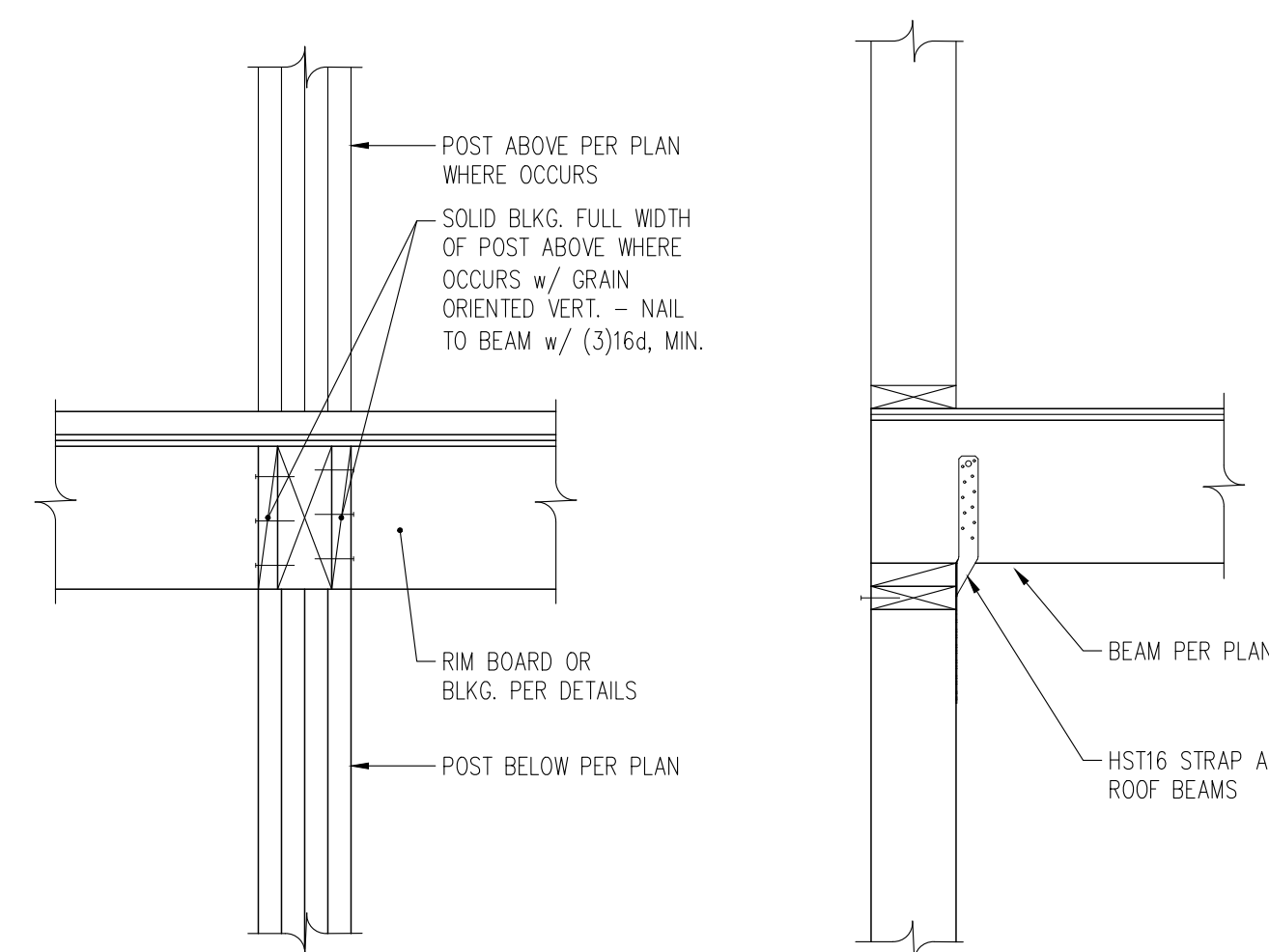
5 ALLOWABLE HOLES IN STUDWALL STUDS  
S6.2 NTS

	NO REINF. REQUIRED	STRAP REINF. REQUIRED
2x4 PLATES	1 1/2" MAX. HOLE 3/4" MIN. EA. SIDE	2 5/8" MAX. HOLE 3/8" MIN. EA. SIDE CMSTC16x3'-0" (CS16x2'-0" AT BOT. PLATES)
2x6 PLATES	2 1/4" MAX. HOLE 1 1/2" MIN. EA. SIDE	3 3/4" MAX. HOLE 3/4" MIN. EA. SIDE CMSTC16x3'-0" (CS16x2'-0" AT BOT. PLATES)
2x8 PLATES	3 3/4" MAX. HOLE 2" MIN. EA. SIDE	5" MAX. HOLE 1 1/2" MIN. EA. SIDE CMSTC16x3'-0" (CS16x2'-0" AT BOT. PLATES)

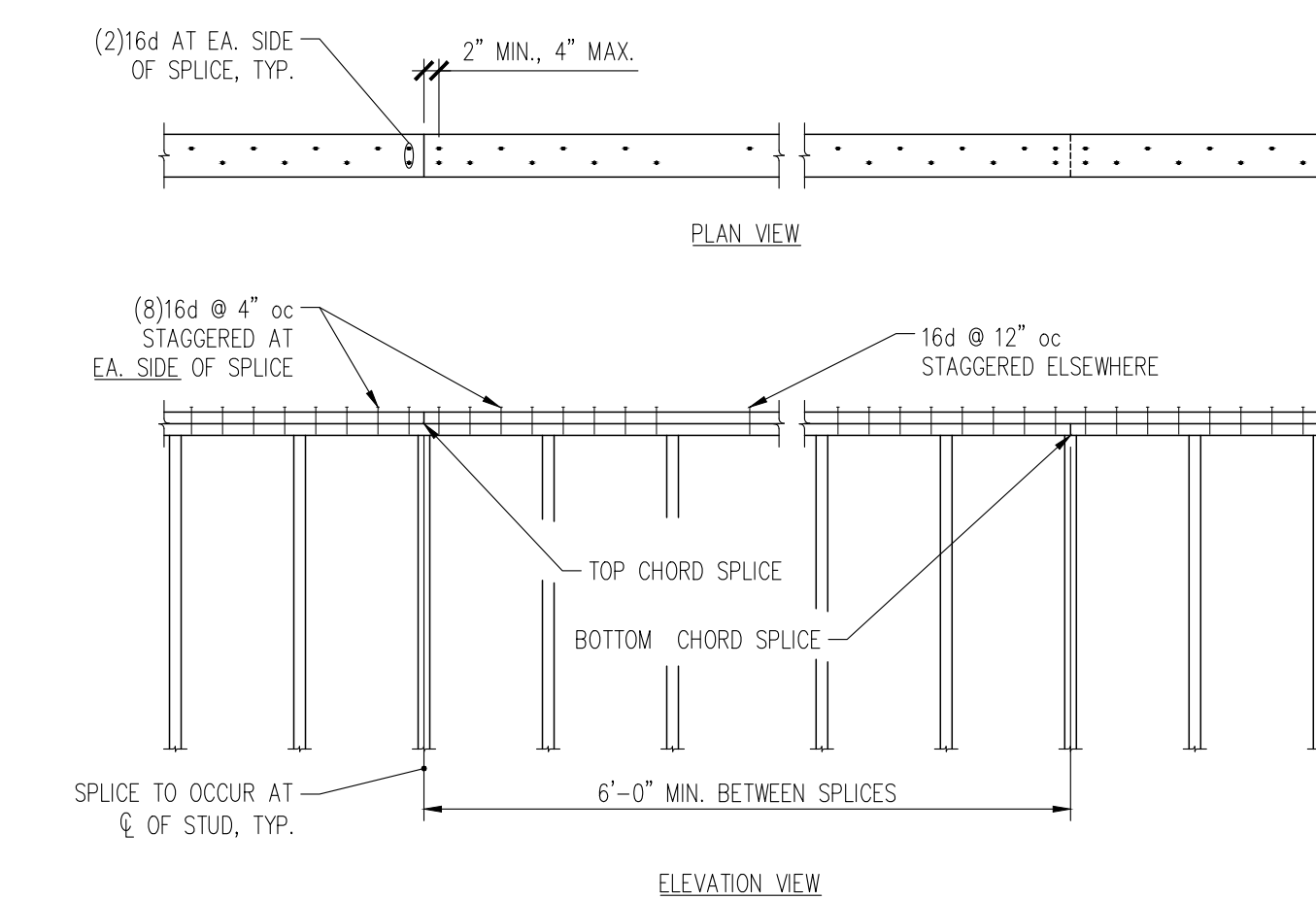
2 ALLOWABLE HOLES THROUGH TOP PLATES  
S6.2 NTS



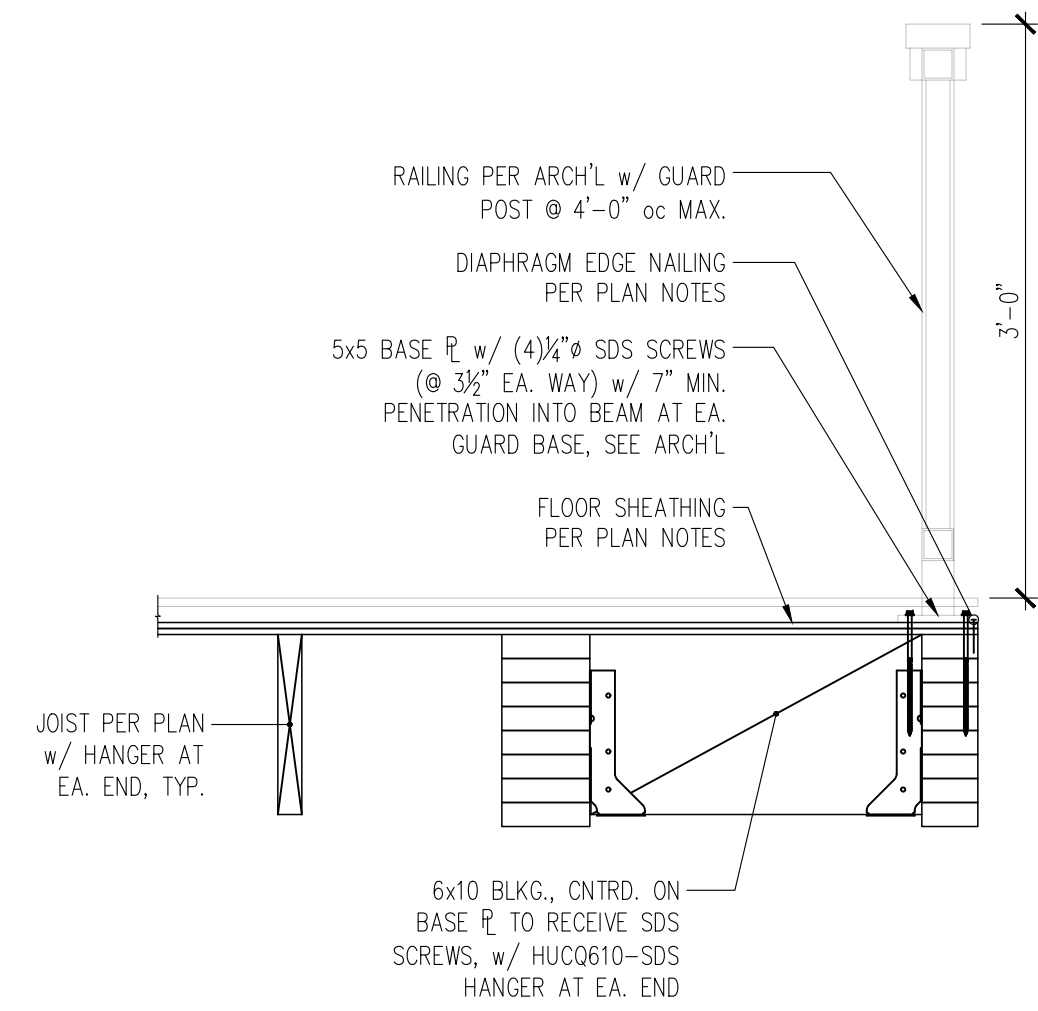
7 CONNECTION OF NON-STRUC'L PARTITION WALL TO STRUCTURE  
S6.2 NTS



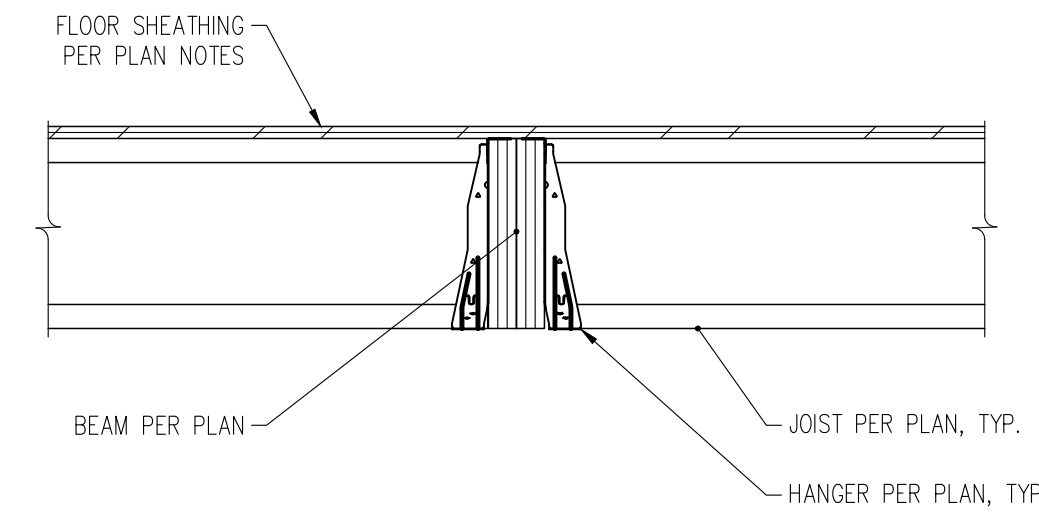
4 TYPICAL BEAM PERPENDICULAR TO WALL  
S6.2 NTS



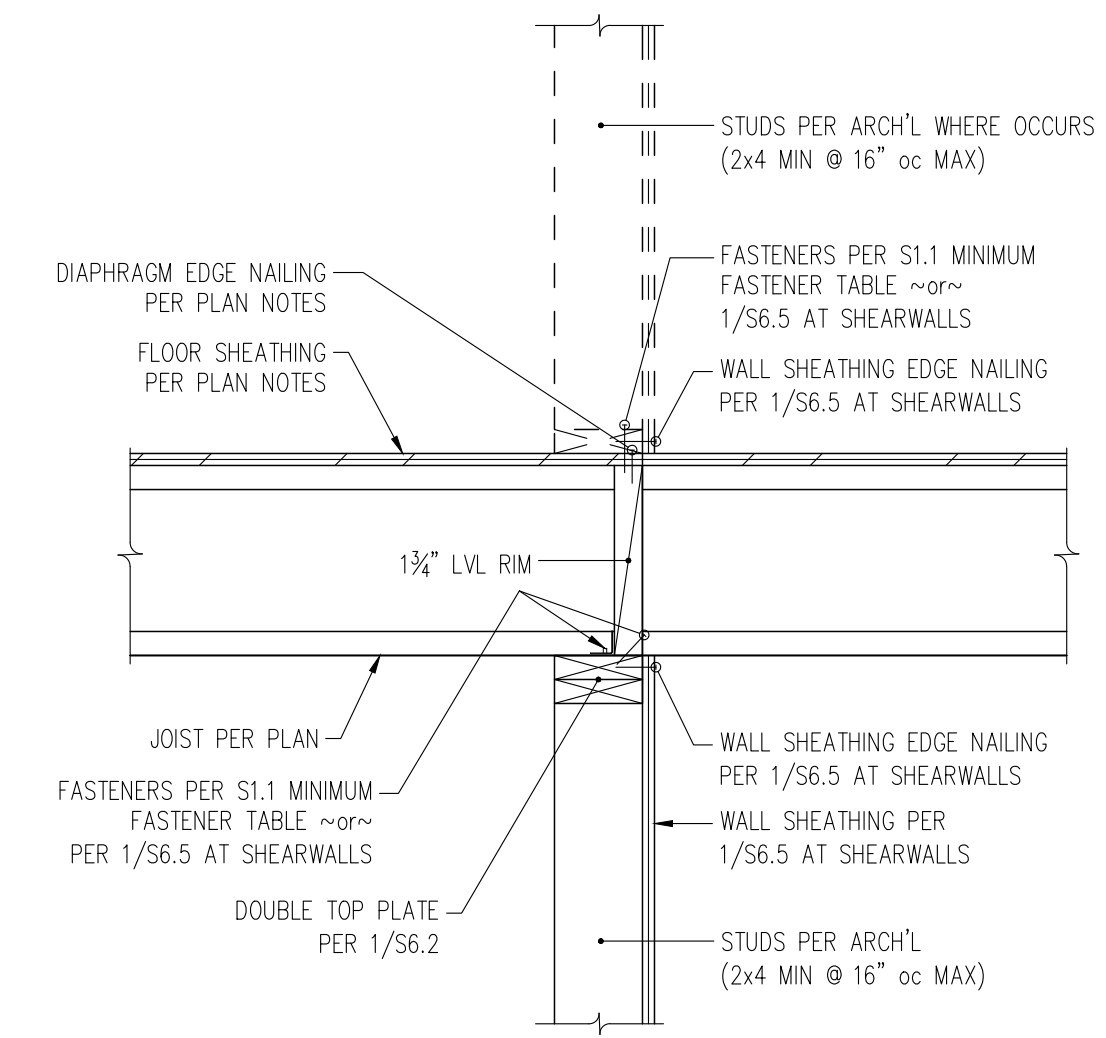
1 TOP PLATE SPLICE  
S6.2 NTS



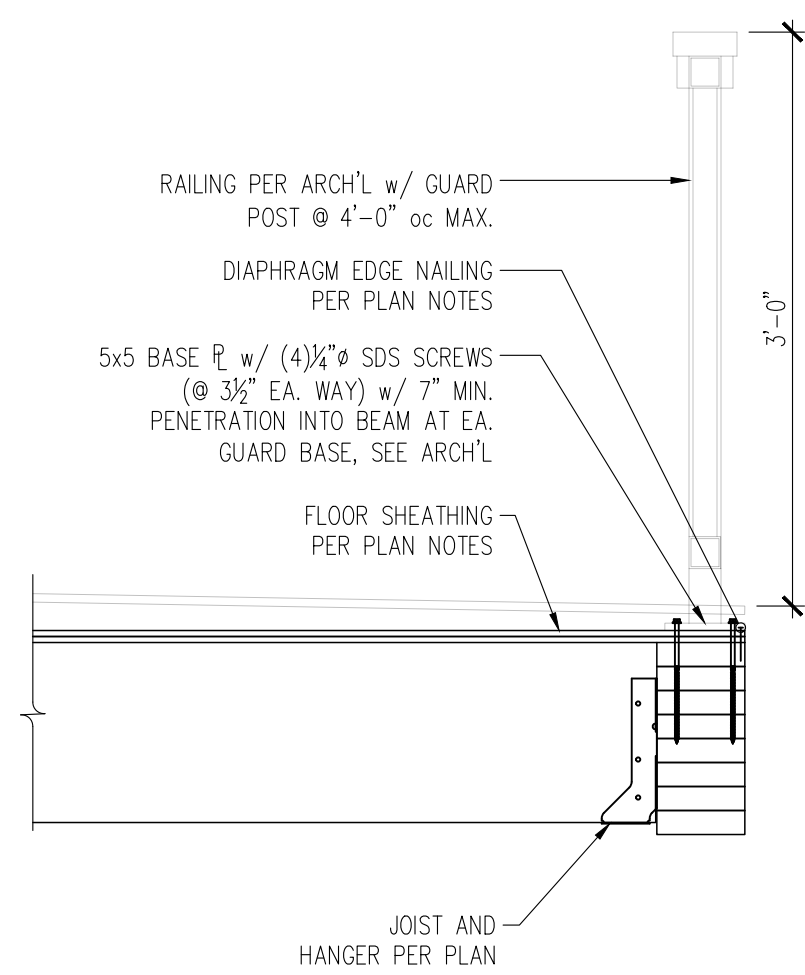
9 SECTION AT EDGE OF DECK/RAILING AT PARALLEL FRAMING  
S6.3 1" = 1'-0"



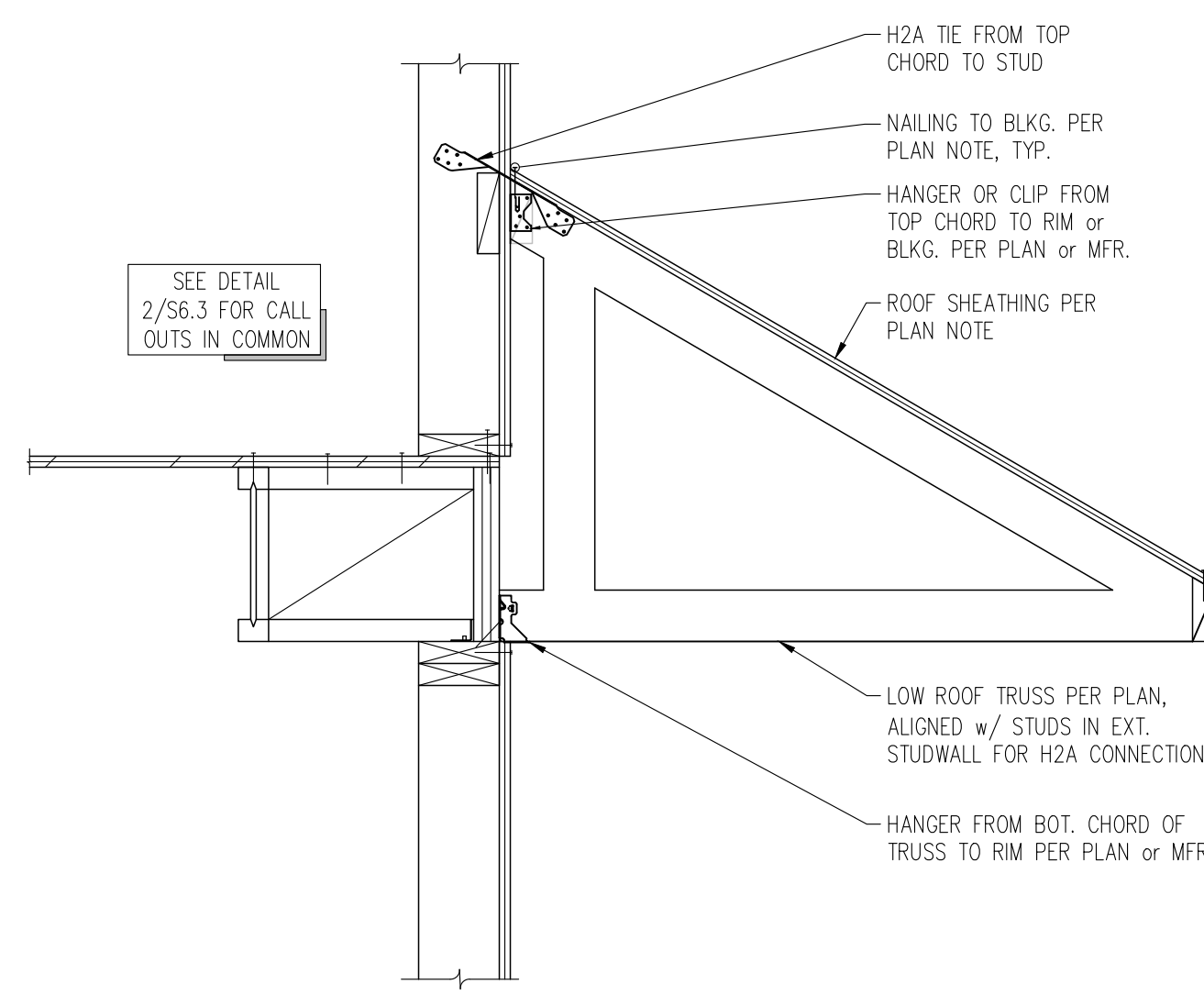
6 SECTION THROUGH INTERIOR FLUSH BEAM AT PERPENDICULAR JOISTS  
S6.3 1" = 1'-0"



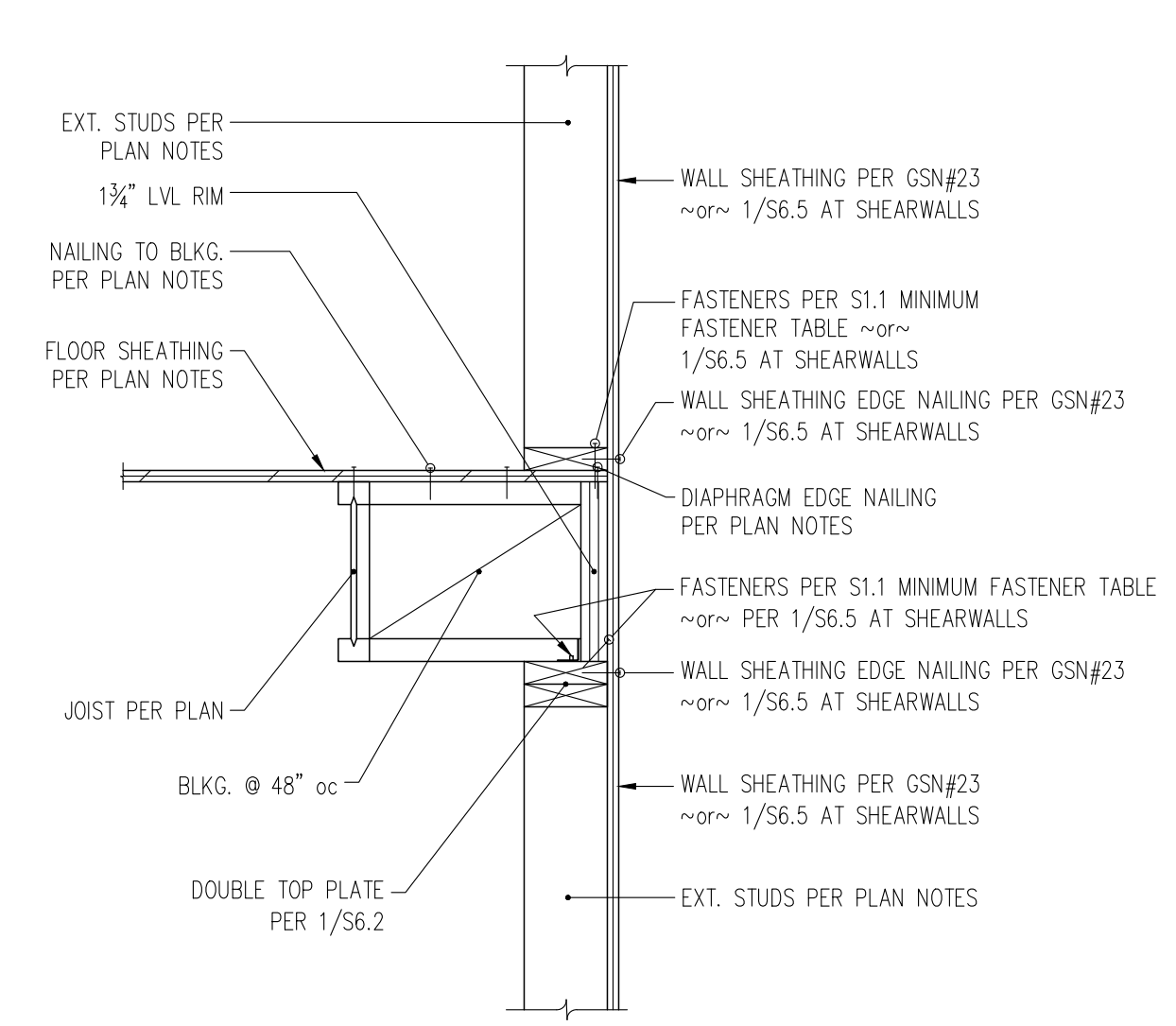
3 SECTION THROUGH INTERIOR WALL AT PERPENDICULAR JOISTS  
S6.3 1" = 1'-0"



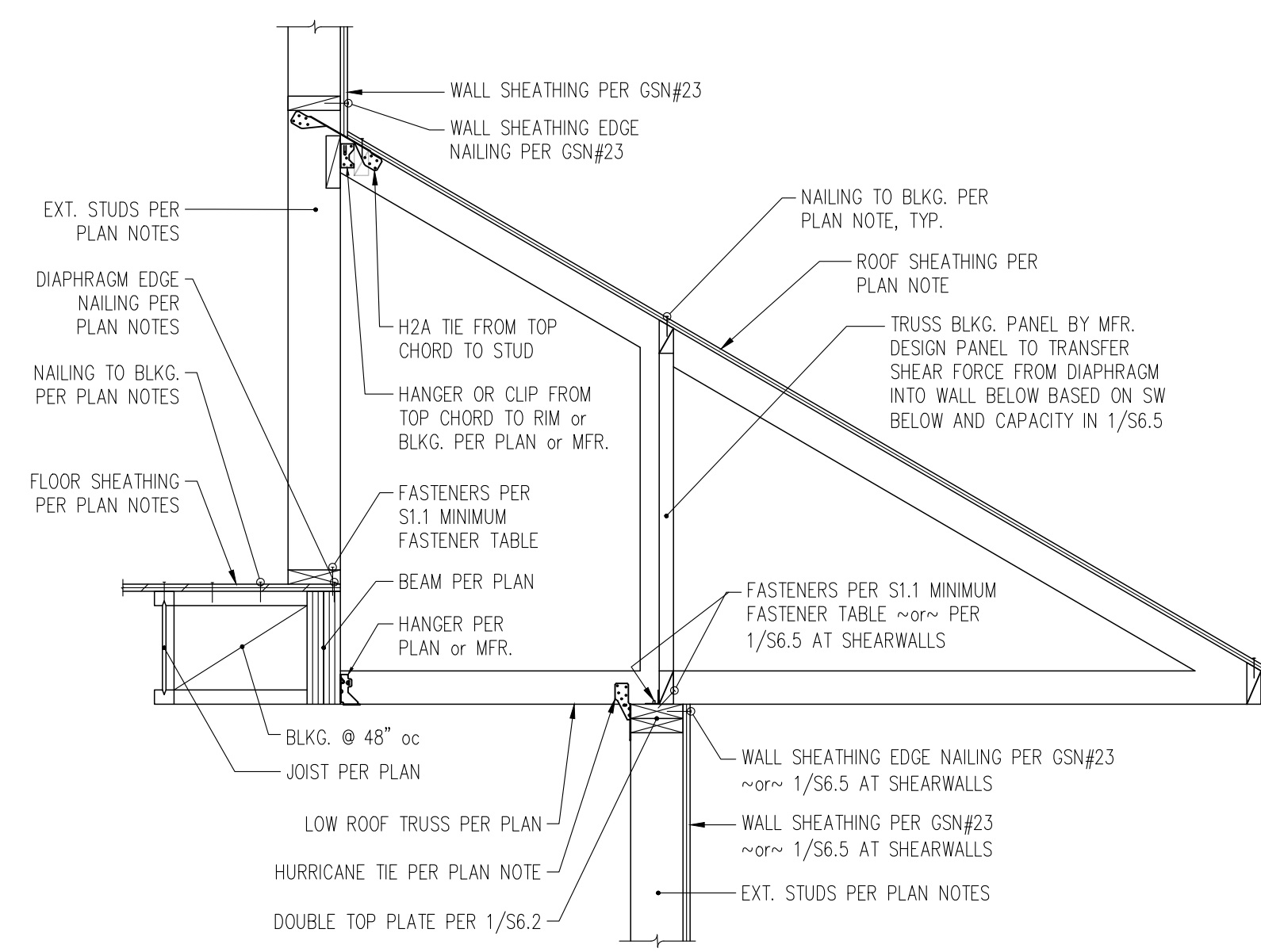
8 SECTION AT EDGE OF DECK/RAILING AT PERPENDICULAR FRAMING  
S6.3 1" = 1'-0"



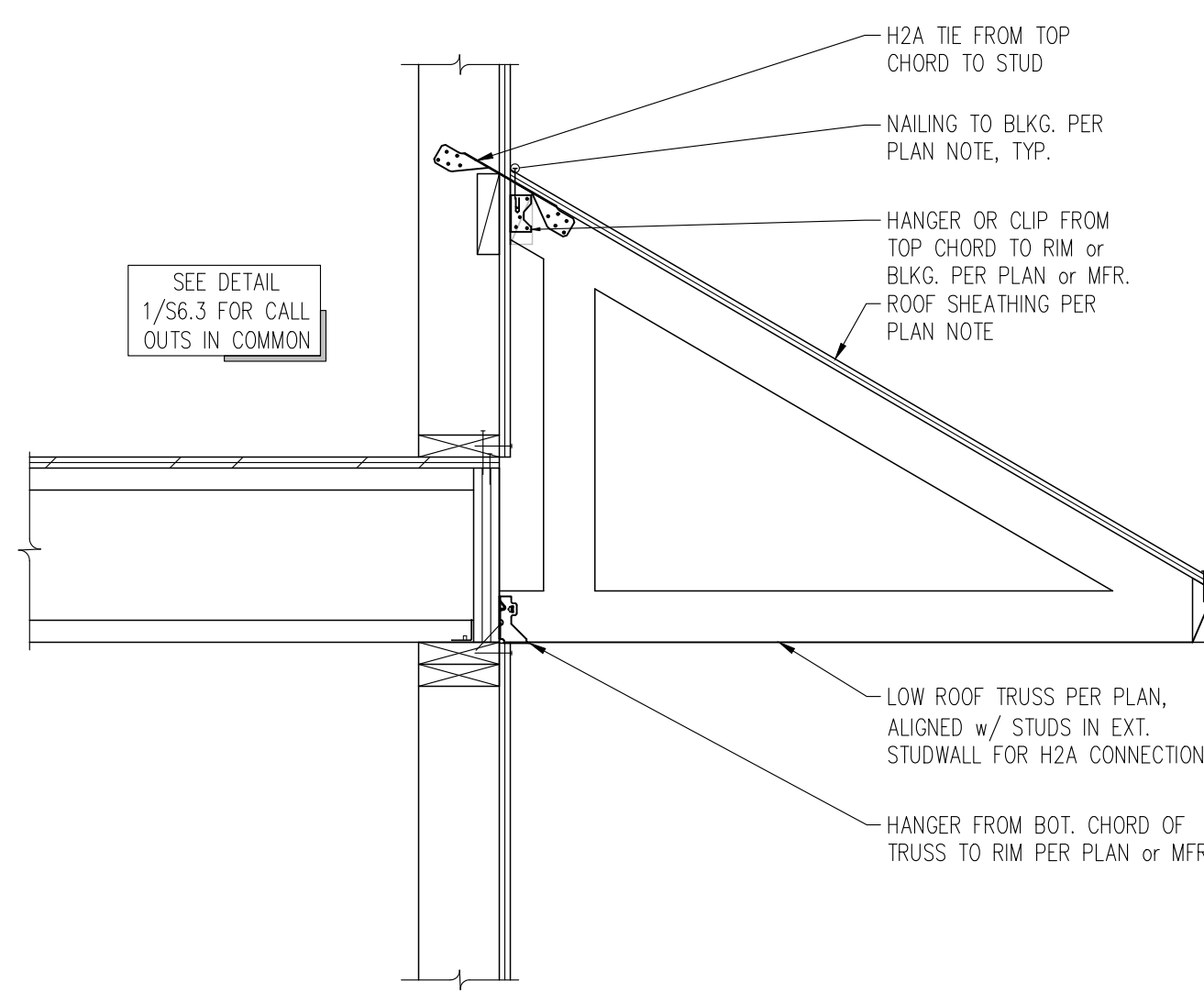
5 SECTION THROUGH EXTERIOR WALL AT PARALLEL JOISTS AND LOW ROOF TRUSSES  
S6.3 1" = 1'-0"



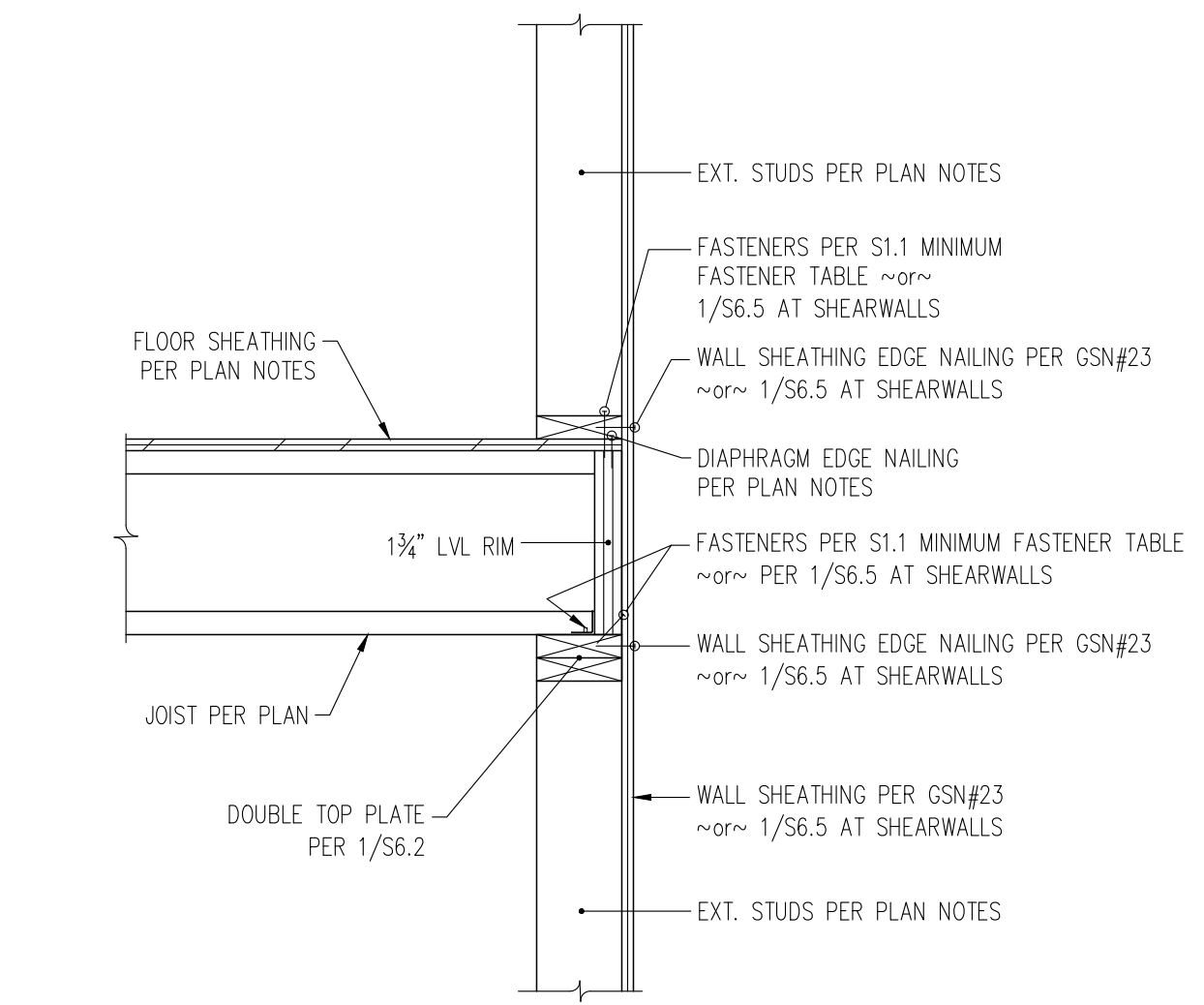
2 SECTION THROUGH EXTERIOR WALL AT PARALLEL JOISTS  
S6.3 1" = 1'-0"



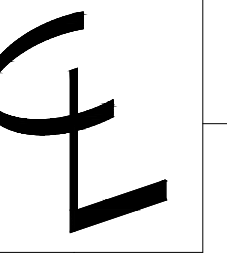
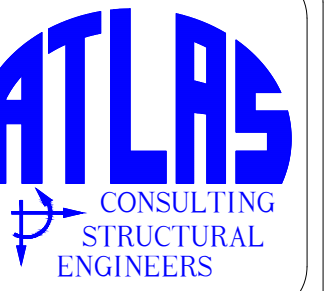
7 OFFSET EXTERIOR WALL AT PARALLEL JOISTS AND PERPENDICULAR LOW ROOF TRUSSES  
S6.3 1" = 1'-0"



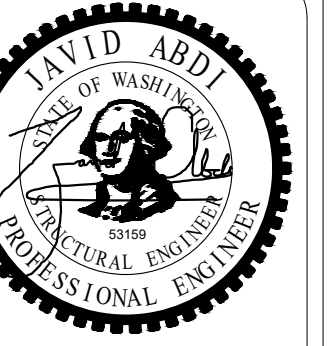
4 SECTION THROUGH EXTERIOR WALL AT PARALLEL JOISTS AND LOW ROOF TRUSSES  
S6.3 1" = 1'-0"



1 SECTION THROUGH EXTERIOR WALL AT PERPENDICULAR JOISTS  
S6.3 1" = 1'-0"



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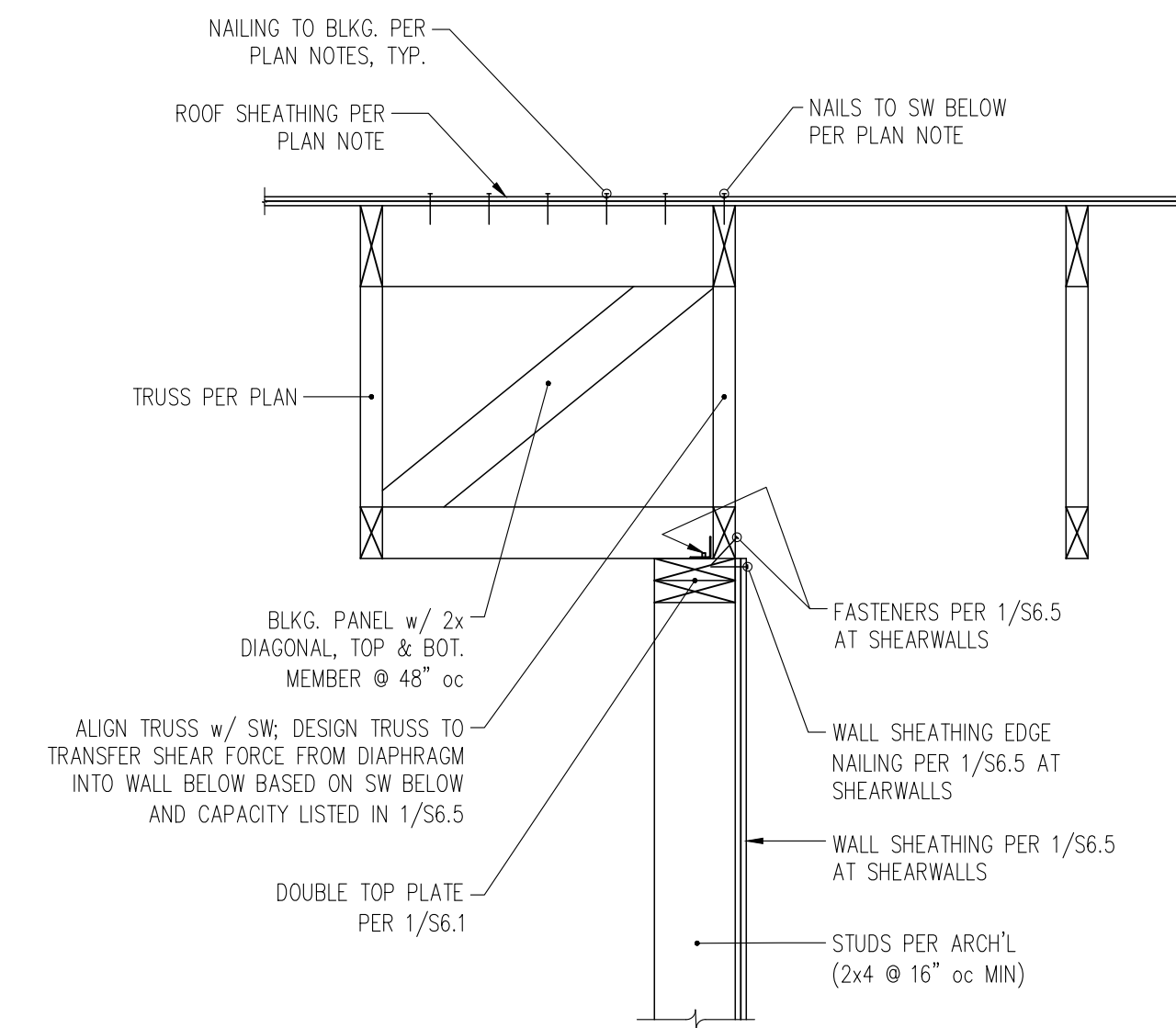
Mastan Residence  
2251 71st Ave SE  
Mercer Island, WA - 98040

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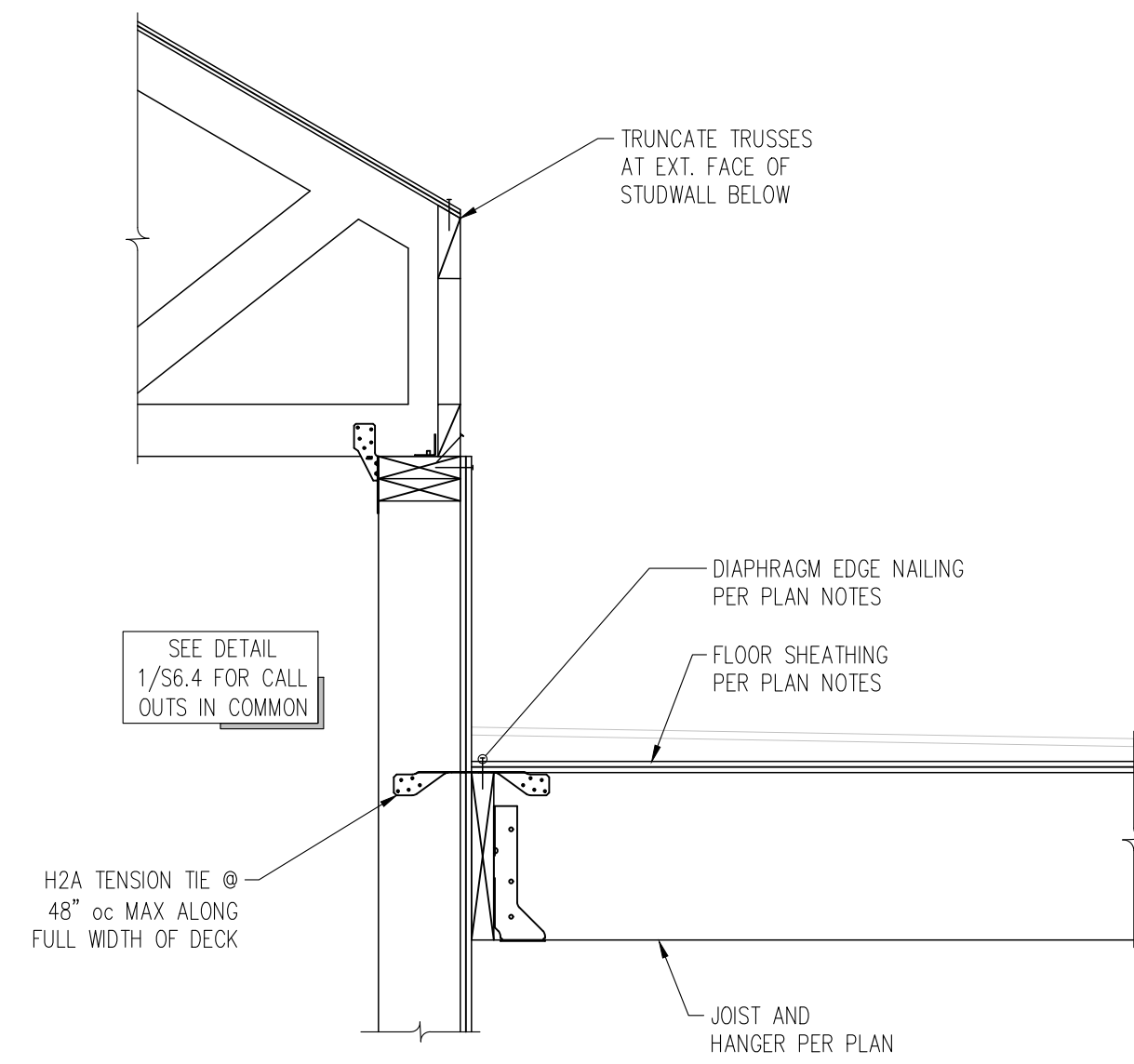
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S6.3

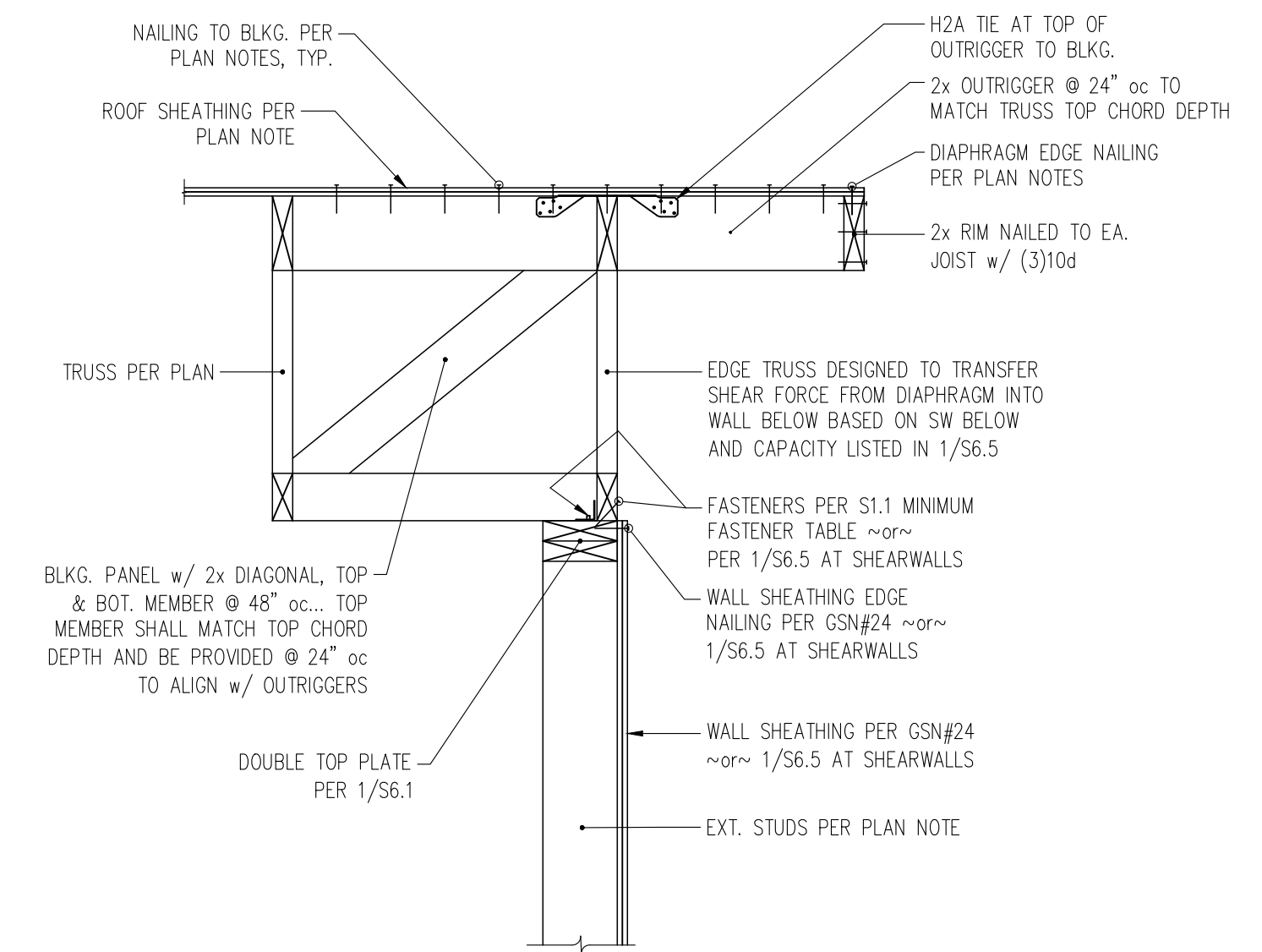




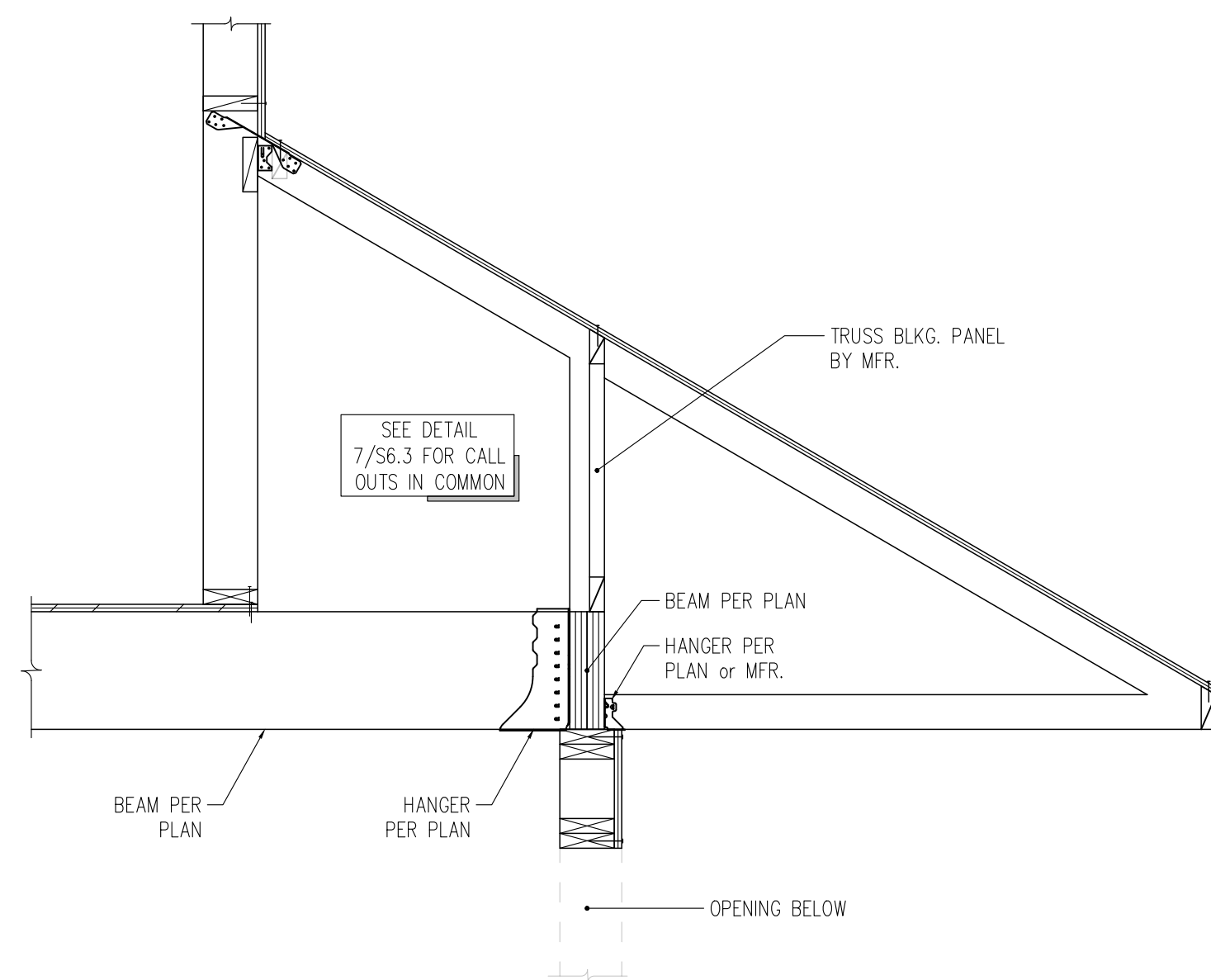
3 SECTION THROUGH INTERIOR SHEAR WALL AT PARALLEL ROOF TRUSSES  
S6.4 1" = 1'-0"



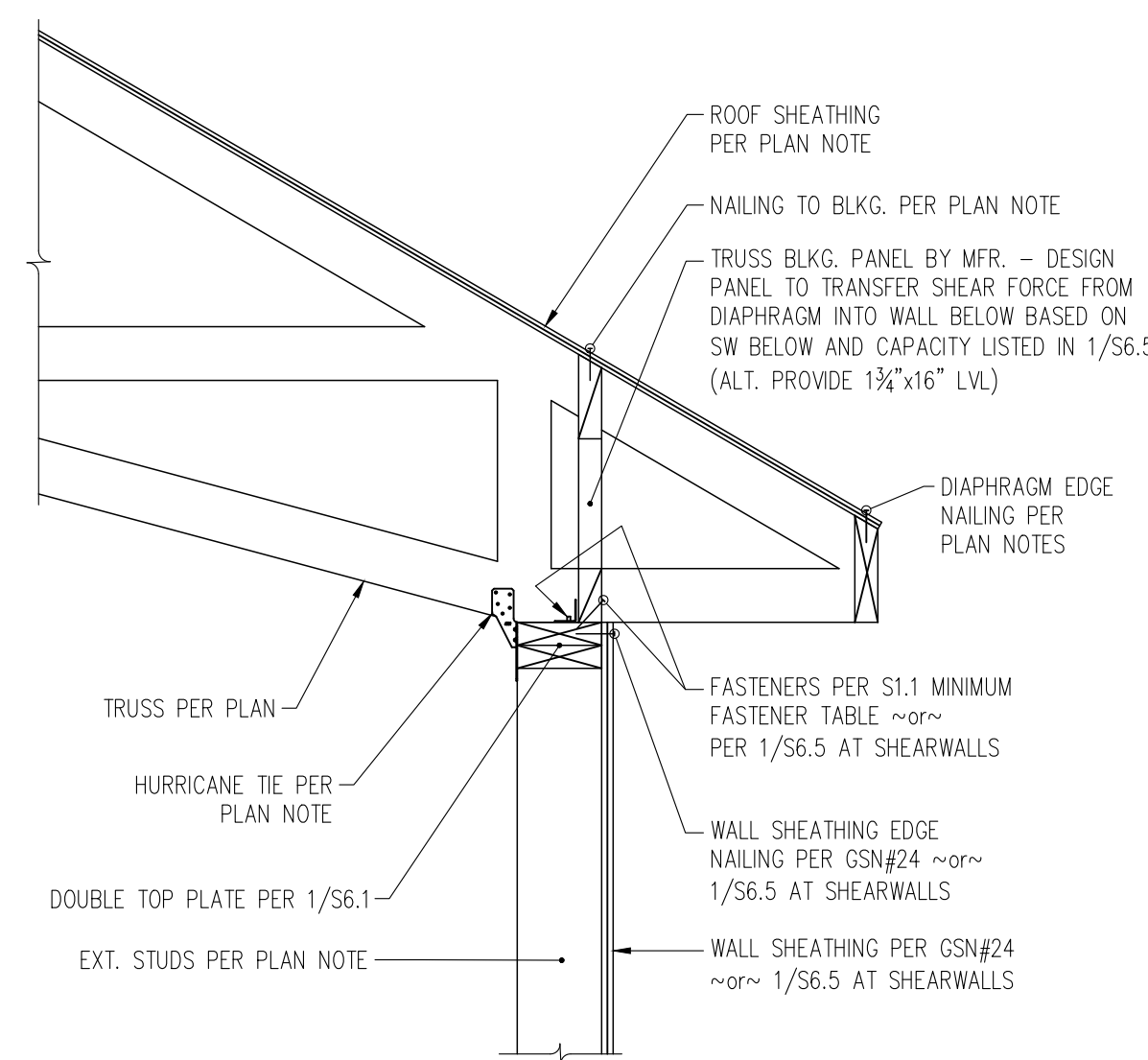
5 SECTION THROUGH EXTERIOR WALL AT PARALLEL ROOF TRUSSES  
S6.4 1" = 1'-0"



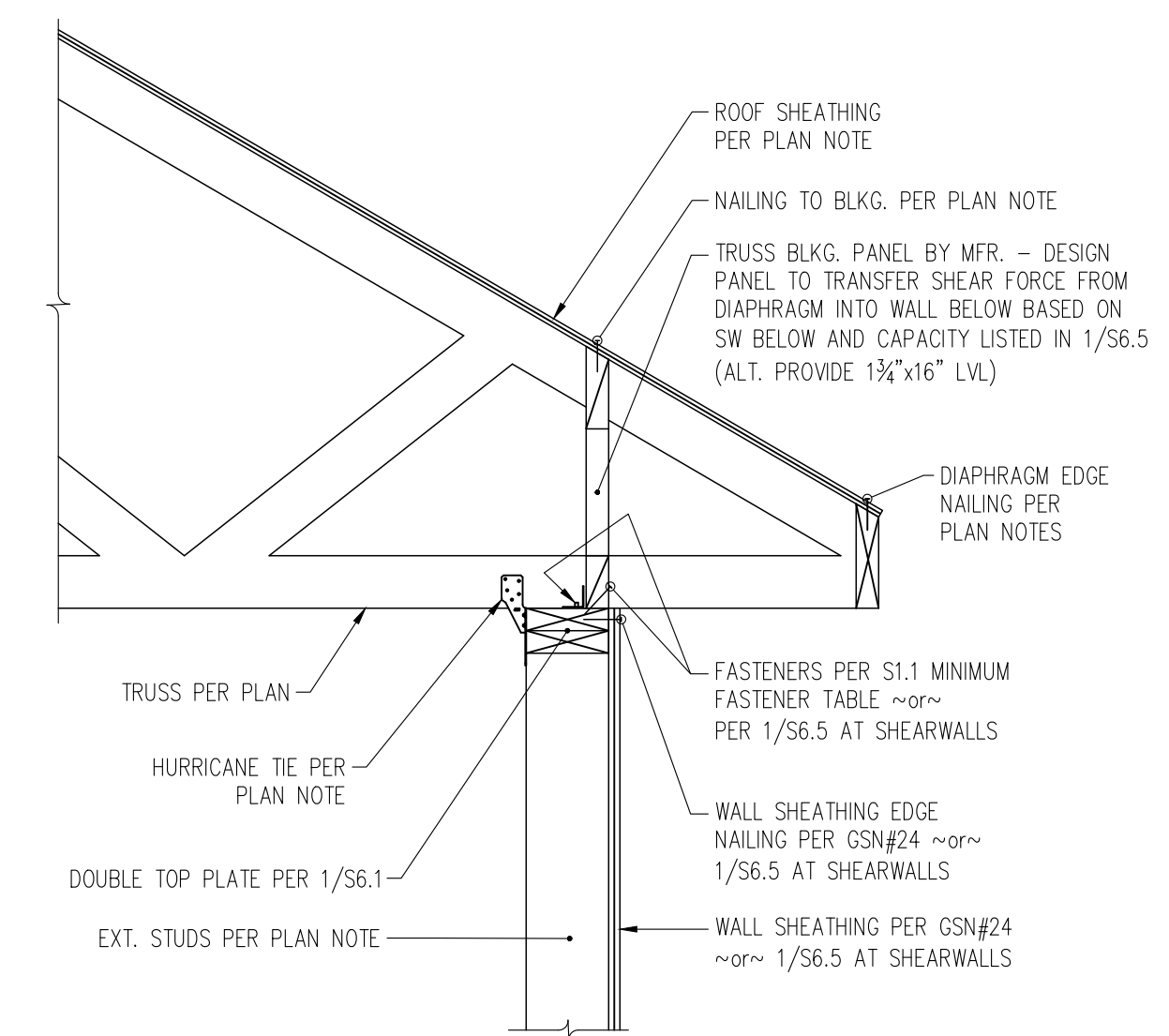
2 SECTION THROUGH EXTERIOR WALL AT PARALLEL ROOF TRUSSES  
S6.4 1" = 1'-0"



7 OFFSET EXTERIOR WALL AT BEAM AND PERPENDICULAR LOW ROOF TRUSSES  
S6.4 1" = 1'-0"



4 SECTION THROUGH EXTERIOR WALL AT PERPENDICULAR SCISSOR ROOF TRUSSES  
S6.4 1" = 1'-0"

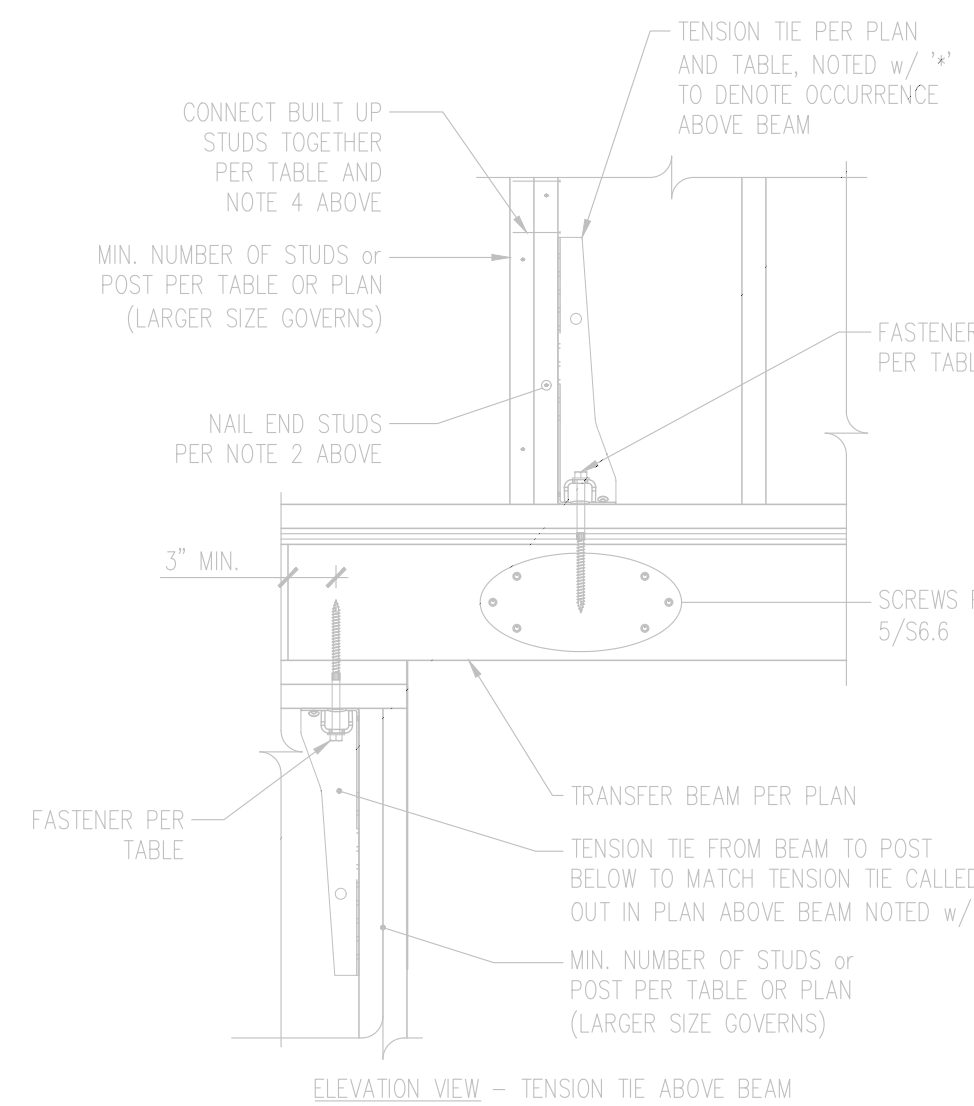
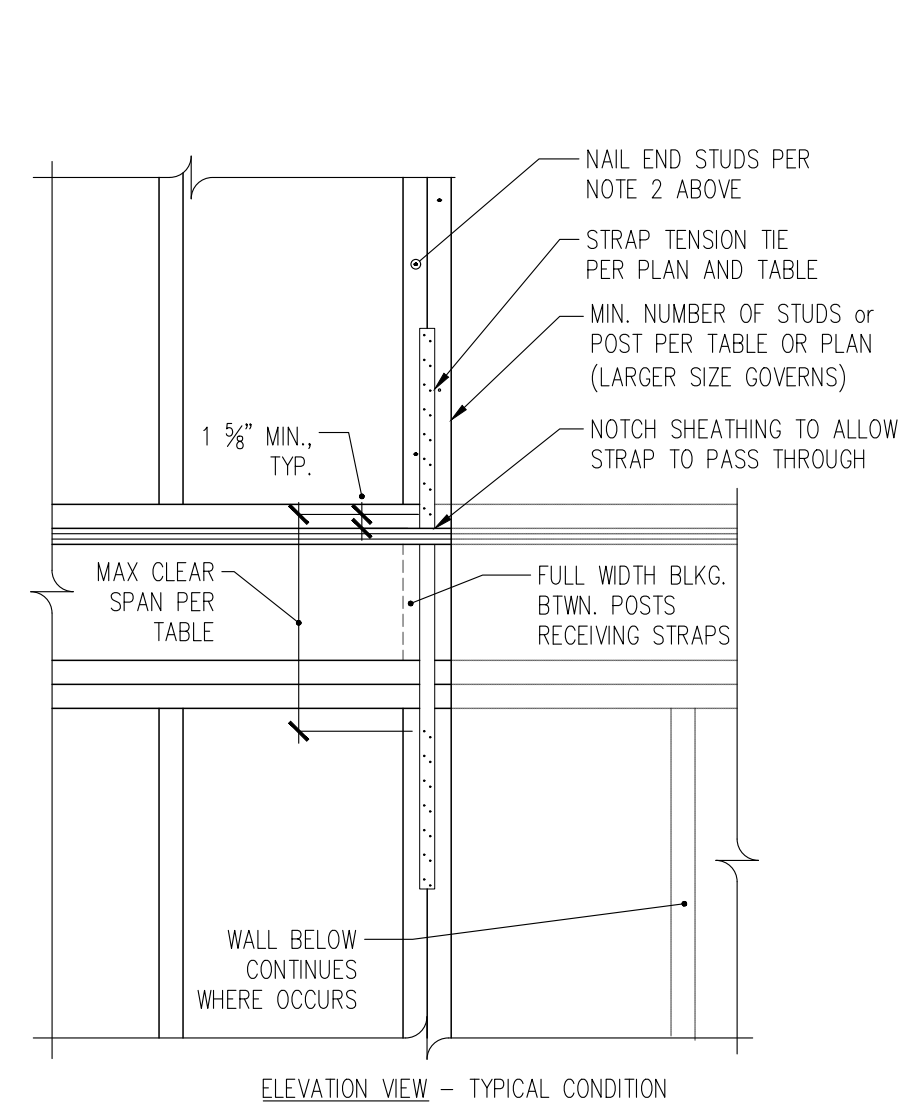


1 SECTION THROUGH EXTERIOR WALL AT PERPENDICULAR ROOF TRUSSES  
S6.4 1" = 1'-0"

STRAP TENSION TIE SCHEDULE

TIE MARK	Min. # of studs	CLEAR SPAN AND TOTAL FASTENERS	ASD CAPACITY	BUILT-UP STUD FACE NAILS or SCREWS
MSTC28	(2)2x	18" - (12)0.148"ø x 3/4"	1,150#	10d @ 6" oc
MSTC40	(2)2x	18" - (28)0.148"ø x 3/4"	2,690#	10d @ 4" oc
MSTC52	(3)2x	18" - (44)0.148"ø x 3/4"	4,225#	(8)1/4"øx4 1/2" SDS
MSTC66	(3)2x	18" - (64)0.148"ø x 3/4"	5,850#	(12)1/4"øx6" SDS
(2)MSTC52	(4)2x	18" - (64)0.148"ø x 3/4"	7,750#	(14)1/4"øx6" SDS
(2)MSTC66	6x6	18" - (64)0.148"ø x 3/4"	9,800#	(12)1/4"øx6" SDS

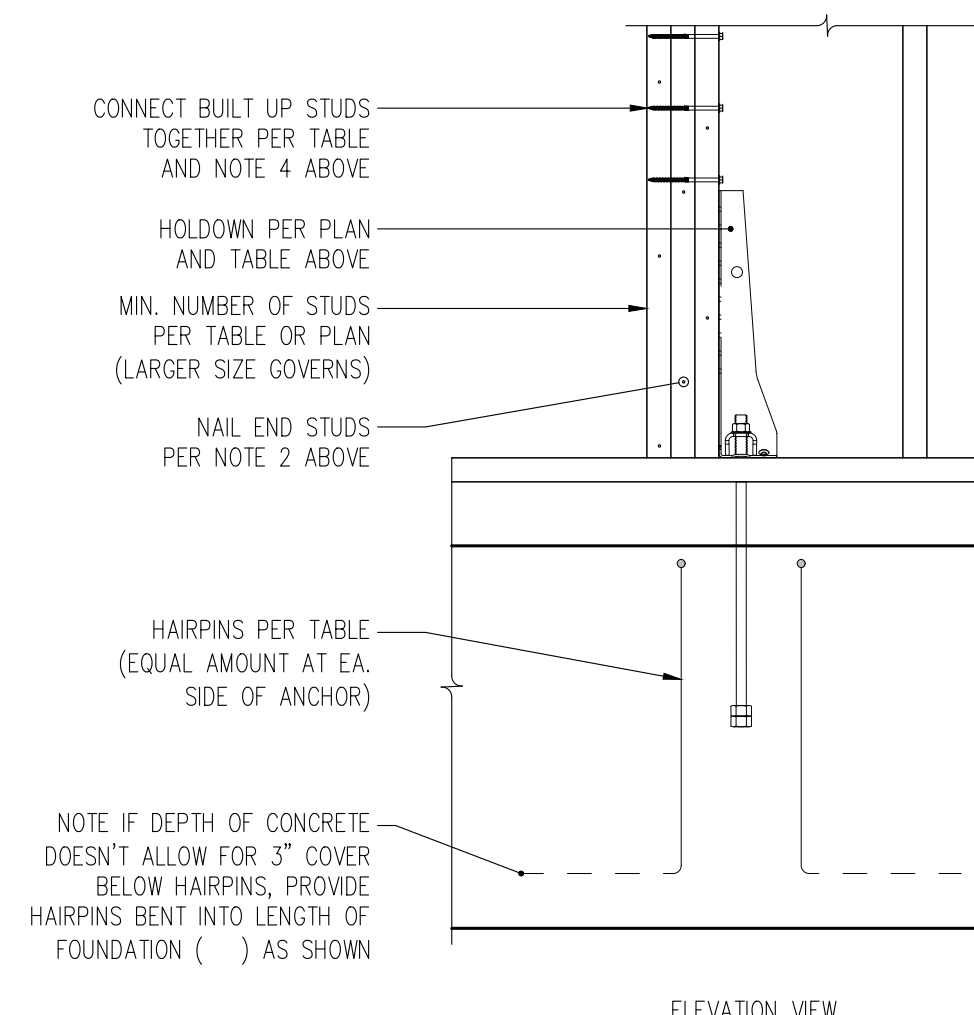
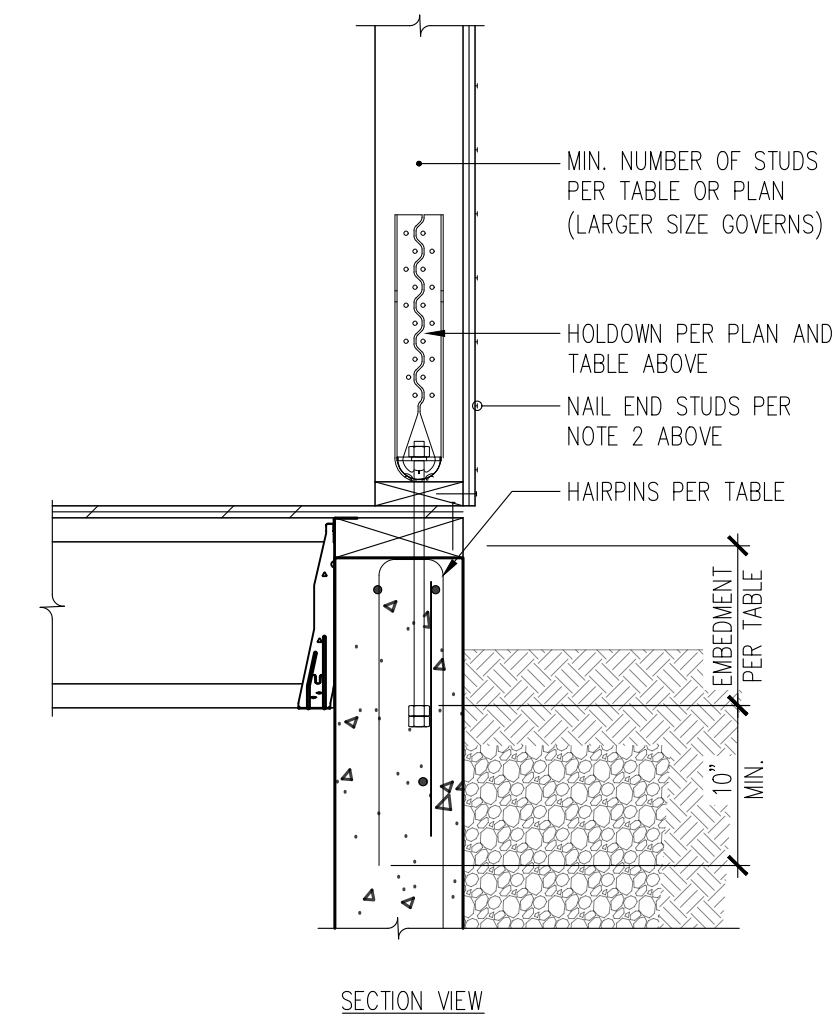
- TENSION TIE TYPES REFER TO SIMPSON STRONG-TIE CATALOG CALLOUTS.
- NAIL PLYWOOD SHEATHING TO STUDS RECEIVING HOLDOWN WITH SCHEDULED PANEL EDGE NAILING. STAGGER NAILS SO THAT EACH STUD IS NAILED.
- FASTENERS NOTED IN TABLE ABOVE REPRESENT THE TOTAL AMOUNT. FOR STRAPS, HALF OF THE FASTENERS SHALL BE PROVIDED INTO EACH STUD.
- SCREWS SHALL BE SPACED EQUALLY ALONG FULL HEIGHT OF STUD ABOVE TENSION TIE. PROVIDE SCREWS AS NOTED IN TABLE AT ONE FACE OF BUILT-UP STUD, AND 10d @ 6" oc NAILS AT OPPOSITE FACE OF BUILT UP STUD.



HOLDOWN TENSION TIE SCHEDULE

TIE MARK	MIN. NUMBER OF STUDS	ANCHOR (ø x EMBEDMENT) and No. OF HAIRPIN DOWELS	FASTENERS FROM TIE TO STUD	ASD CAPACITY	BUILT-UP STUD FACE NAILS or SCREWS
HOU2	(2)2x	3/8"ø x 10" - (2)#4 HAIRPIN	(6)1/4"ø x 2 1/2" SDS SCREWS	3,075#	10d @ 4" oc
HOU4	(3)2x	3/8"ø x 10" - (2)#4 HAIRPIN	(10)1/4"ø x 2 1/2" SDS SCREWS	4,565#	(9)1/4"øx4 1/2" SDS
HOU5	(3)2x	3/8"ø x 10" - (2)#4 HAIRPIN	(14)1/4"ø x 2 1/2" SDS SCREWS	5,845#	(10)1/4"øx4 1/2" SDS
HOU8	(4)2x	3/8"ø x 10" - (4)#4 HAIRPIN	(20)1/4"ø x 2 1/2" SDS SCREWS	7,870#	(15)1/4"øx6" SDS
HOU11	6x6	1"ø x 10" - (4)#4 HAIRPIN	(30)1/4"ø x 2 1/2" SDS SCREWS	11,175#	N/A
HOU14	6x6	1"ø x 10" - (6)#4 HAIRPIN	(36)1/4"ø x 2 1/2" SDS SCREWS	14,445#	N/A

- TENSION TIE TYPES REFER TO SIMPSON STRONG-TIE CATALOG CALLOUTS.
- NAIL PLYWOOD SHEATHING TO STUDS RECEIVING HOLDOWN WITH SCHEDULED PANEL EDGE NAILING. STAGGER NAILS SO THAT EACH STUD IS NAILED.
- ANCHORS SHALL BE HEAVY HEX HEAD WITH DOUBLE NUT CAST INTO CONCRETE. ASTM F 1554 Gr. 36 FOR 3/8"ø ANCHOR, ASTM F 1554 Gr. 55 FOR 1"ø AND 1"ø ANCHORS.
- SCREWS SHALL BE SPACED EQUALLY ALONG FULL HEIGHT OF STUD ABOVE TENSION TIE. PROVIDE SCREWS AS NOTED IN TABLE AT ONE FACE OF BUILT-UP STUD, AND 10d @ 6" oc NAILS AT OPPOSITE FACE OF BUILT UP STUD.



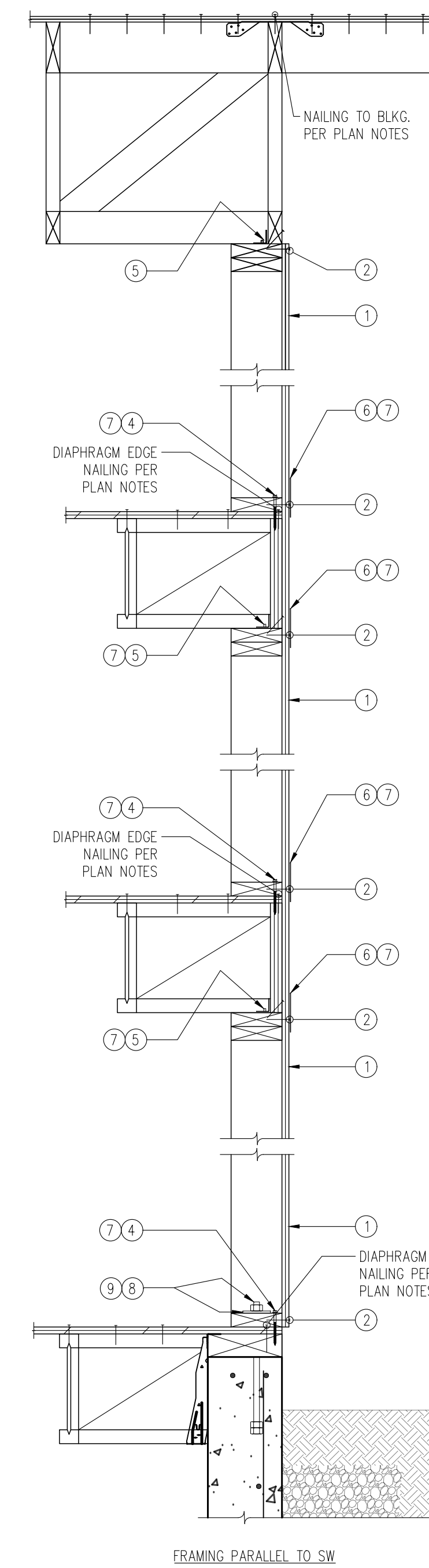
4 HOLDOWN DETAIL AND SCHEDULE  
S6.5 1" = 1'-0"

TENSION TIE ABOVE BEAM

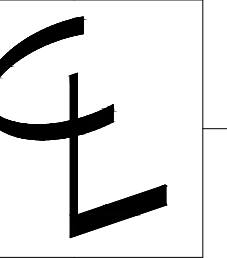
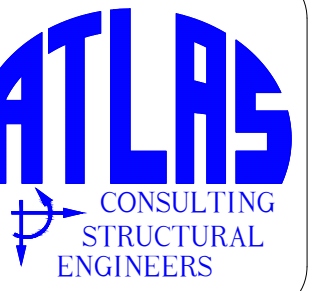
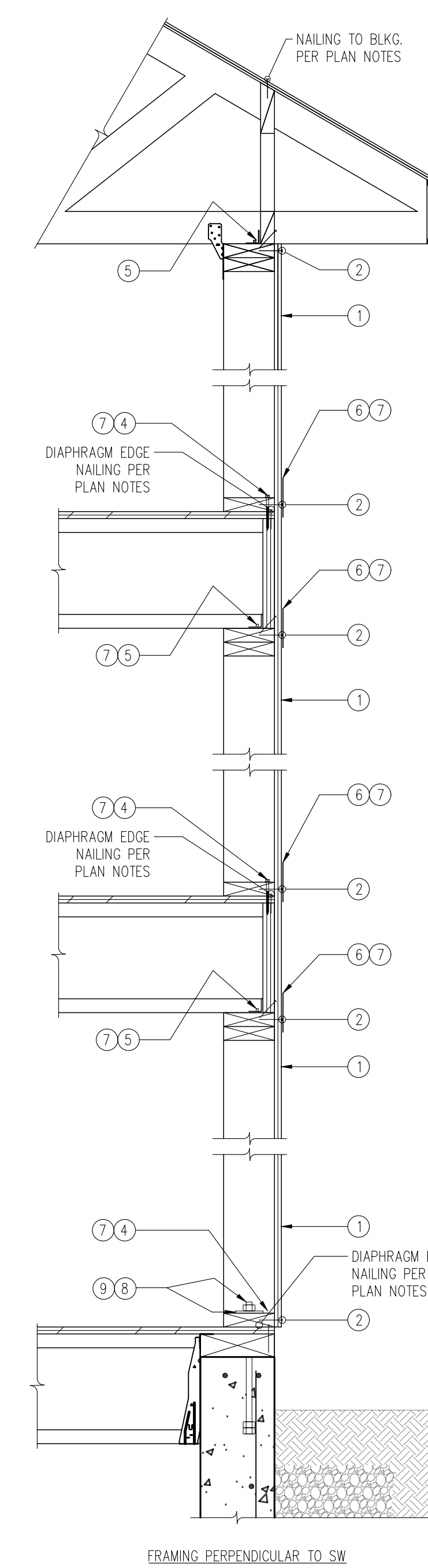
TIE MARK	Min. # of studs	FASTENERS	ASD CAPACITY	BUILT-UP STUD FACE NAILS or SCREWS

SHEARWALL PANEL TYPE	① SHEATHING THICKNESS	② 0.148" x 2 1/4" PANEL NAILING	③ STUD/BLKG. AT ABUTTING PANEL EDGES & SILL PLATE THICKNESS	⑦ CONN. OF BLKG. OR FRAMING TO TOP PLATE; AND SOLE PLATE TO SILL PLATE			⑧ ANCHOR BOLTS TO CONC.	ASD CAPACITY, PLF
				④ 1/4"ø x 3 1/2" SDS SCREWS	⑤ A35 CLIPS	⑥ LTP4 PLATES		
SW-6	1/2"	6" oc	2x	15" oc	25" oc	24" oc	48"ø 48" oc	310
SW-4	1/2"	4" oc	3x	10" oc	16" oc	16" oc	38"ø 48" oc	460
SW-3	1/2"	3" oc	3x	8" oc	13" oc	12" oc	29"ø 40" oc	600
SW-2	1/2"	2" oc	3x	6" oc	10" oc	9" oc	19"ø 26" oc	770
SW-44	1/2"	4" oc EA. SIDE	3x	5" oc	8" oc	8" oc	14"ø 20" oc	920
SW-33	1/2"	3" oc EA. SIDE	3x	4" oc	6" oc	6" oc	14"ø 20" oc	1200
SW-22	1/2"	2" oc EA. SIDE	3x	3" oc	5" oc	4" oc	11"ø 15" oc	1540

- SHEATHING SHALL CONSIST OF 1/2" PLYWOOD AND HAVE A MINIMUM SPAN RATING OF 2 1/4" AT INTERIOR SHEARWALLS ONLY. 1 1/2" OSB SHALL BE USED.
- PANEL NAILING APPLIES TO ALL SHEATHING PANEL EDGES. INSTALL BLOCKING AT ALL UNFRAMED PANEL EDGES. ENSURE SHEATHING IS NAILED TO ALL INTERMEDIATE STUDS/BLOCKING WITH PANEL NAILS AT 12" oc.
- DOUBLE 2x MEMBERS MAY BE SUBSTITUTED FOR 3x MEMBERS AT WALLS WITH ONLY ONE LAYER OF SHEATHING. 2x MEMBERS SHALL BE NAILED TOGETHER WITH 10d FACE: @ 4 1/2" oc FOR SW-4, @ 3 1/2" oc FOR SW-3, AND (2) @ 5 1/2" oc FOR SW-2.
- ROWS OF NAILS AND SDS SCREWS SHALL BE OFFSET AT LEAST 1/2" AND STAGGERED. MINIMUM EDGE DISTANCE FOR NAILS AND SDS SCREWS INTO EDGE OF MEMBERS SHALL BE 3/8" (400#/SCREW).
- A35 CLIPS SHALL BE INSTALLED w/ (12)0.131 x 1 1/2" NAILS (650#/CLIP).
- LTP4 LATERAL TIE PLATES MAY BE INSTALLED OVER SHEATHING w/ (12)0.131 x 2 1/2" NAILS (625#/CLIP).
- CONTRACTOR SHALL USE A35 CLIPS or LTP4 PLATES TO CONNECT RIM BOARD TO DOUBLE TOP PLATE; AND SDS SCREWS or LTP4 PLATES TO CONNECT SOLE PLATE TO RIM BOARD.
- PLATE WASHERS IN 2x4 STUD WALLS AND ALL SINGLE SIDED SHEAR WALLS SHALL BE 3"x3"x0.229". DOUBLE SIDED 2x6 SHEAR WALLS SHALL HAVE 4 1/2"x3"x0.229" PLATE WASHERS. THE EDGE OF PLATE WASHERS SHALL BE LOCATED WITHIN 1/2" OF THE EDGE OF BOTTOM PLATE ON THE SIDE WITH SHEATHING.
- CAST ANCHORS A MINIMUM OF 7" INTO CONCRETE. ENSURE ANCHORS EXTEND ABOVE SILL PLATE AND WALL BOT. PLATE; IF ANCHORS ONLY EXTEND ABOVE SILL PLATE, PROVIDE SDS SCREWS FROM WALL BOT. PLATE TO SILL PLATE. PROVIDE ADDITIONAL ANCHOR BOLTS AT EACH SIDE OF PLATE BREAKS AND PENETRATIONS EXCEEDING THE "NO REINFORCING" HOLE SIZE PER 2/S6.1.

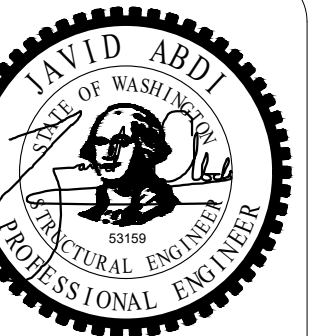


1 SHEARWALL SECTION AND SCHEDULE  
S6.5 1" = 1'-0"



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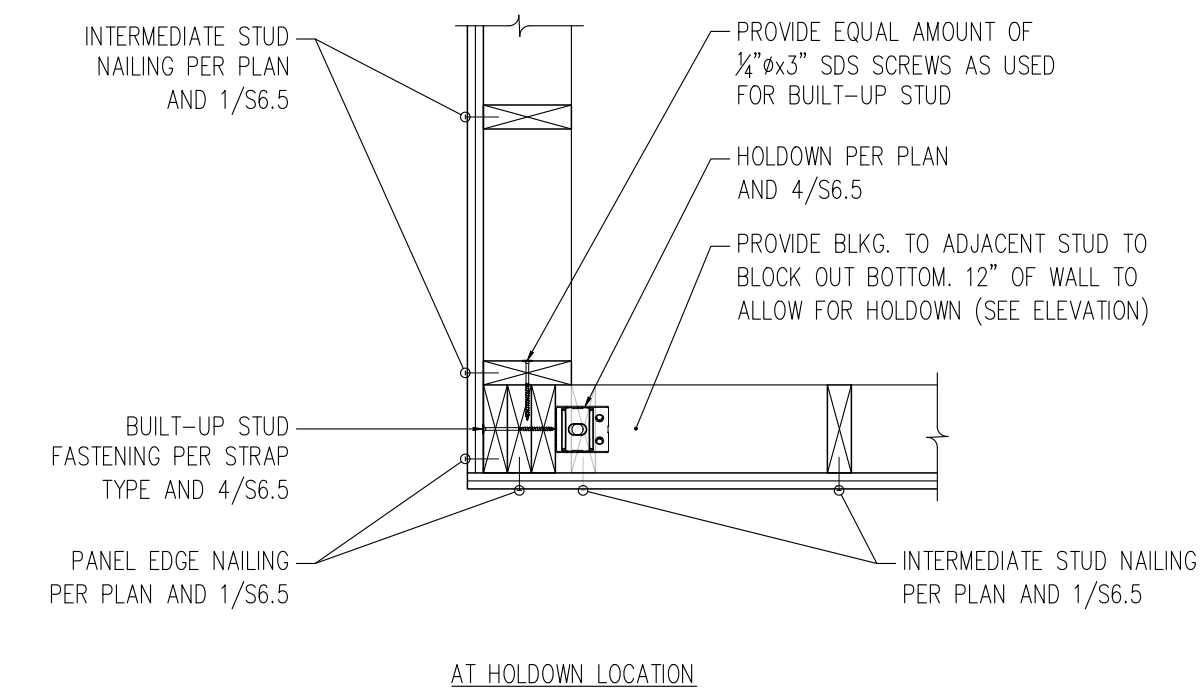
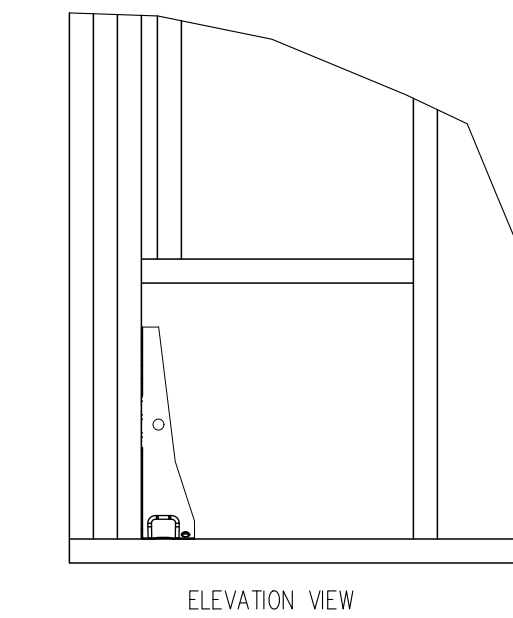
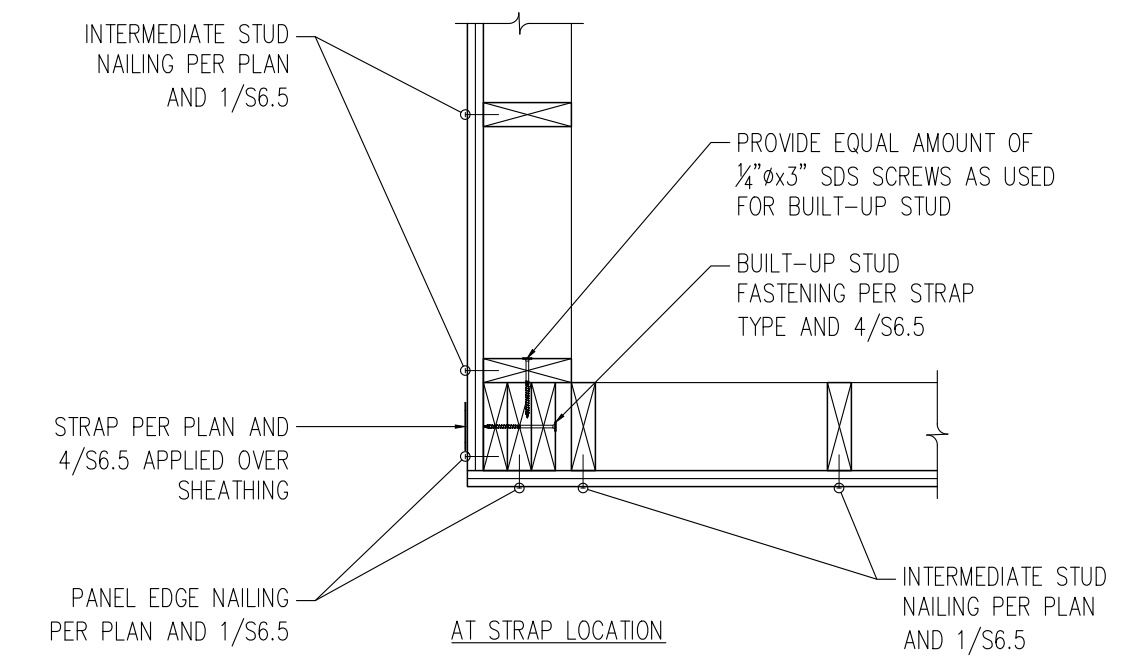


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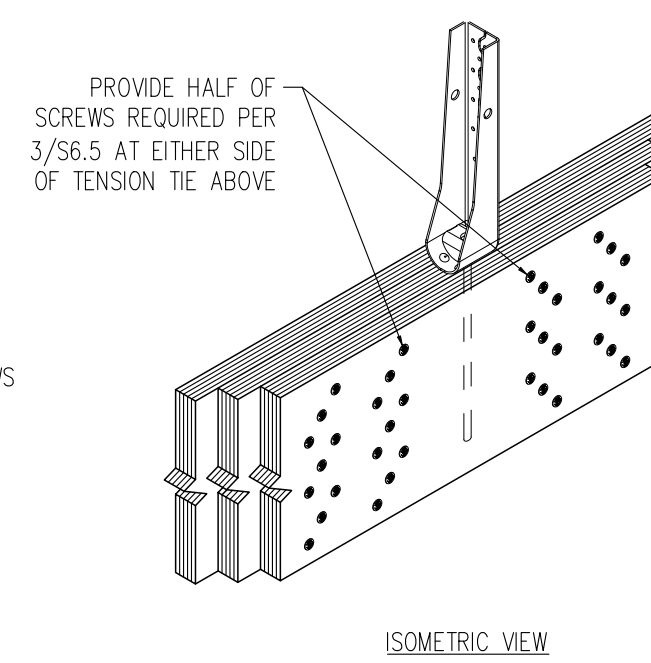
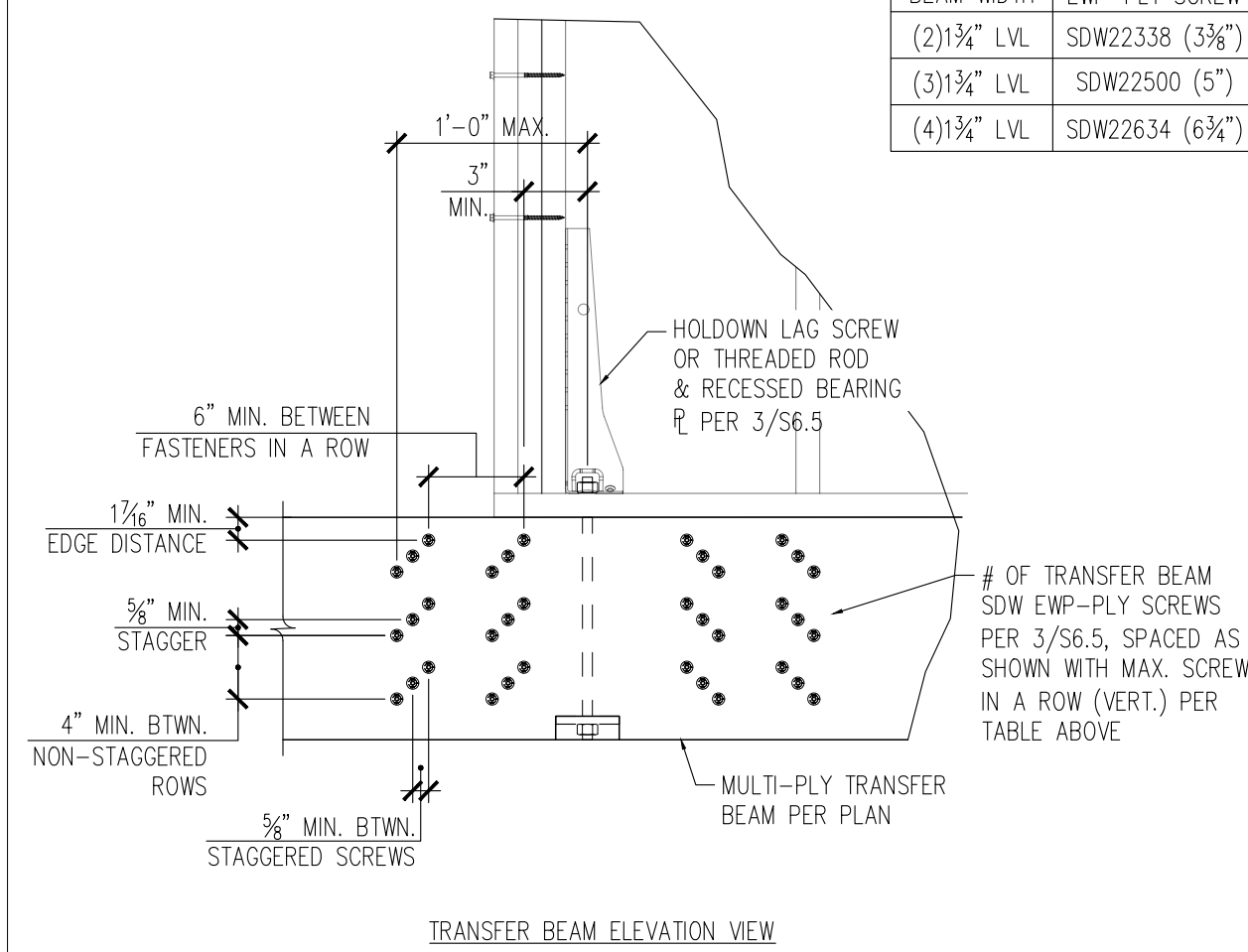
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S6.5

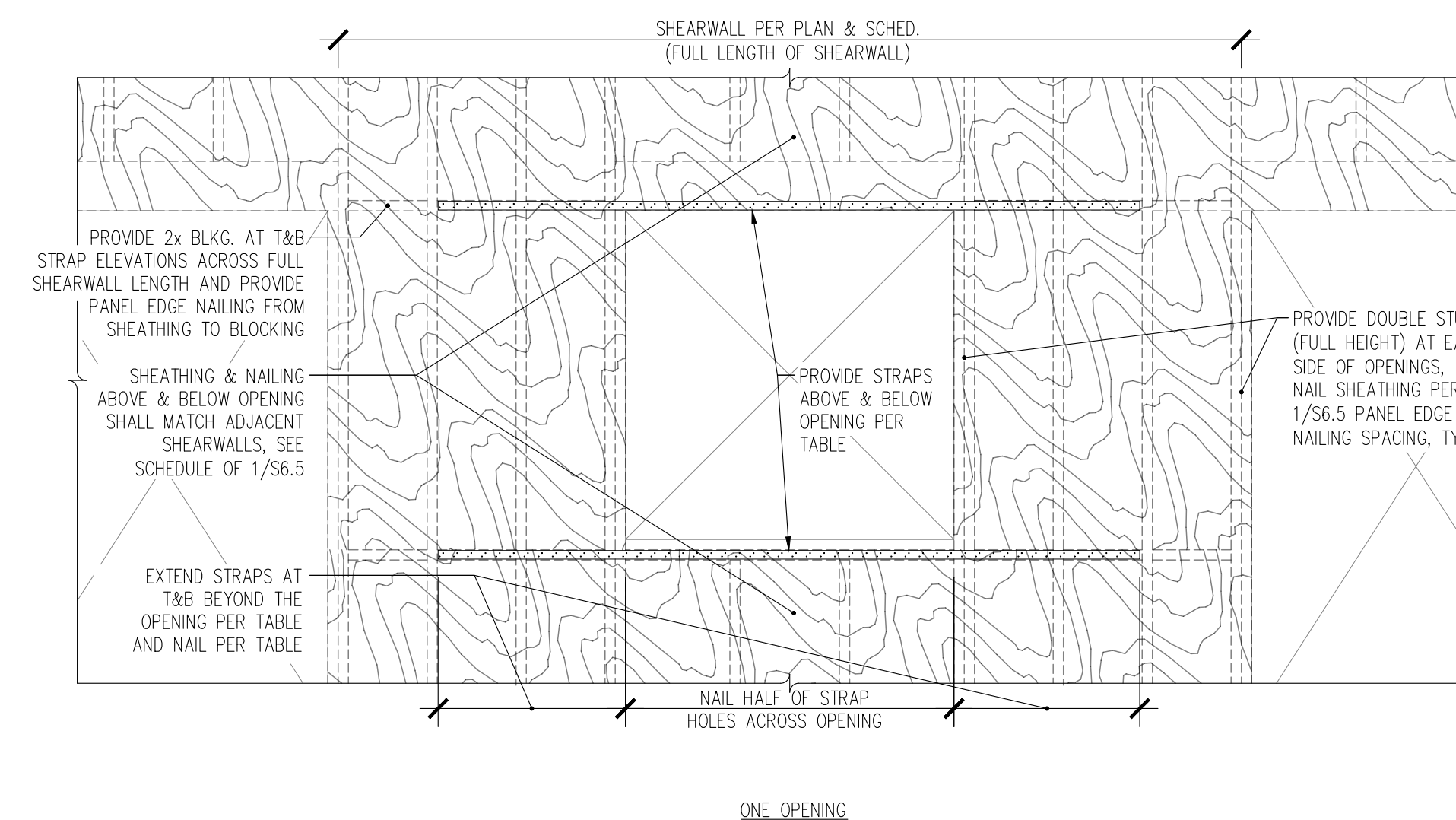
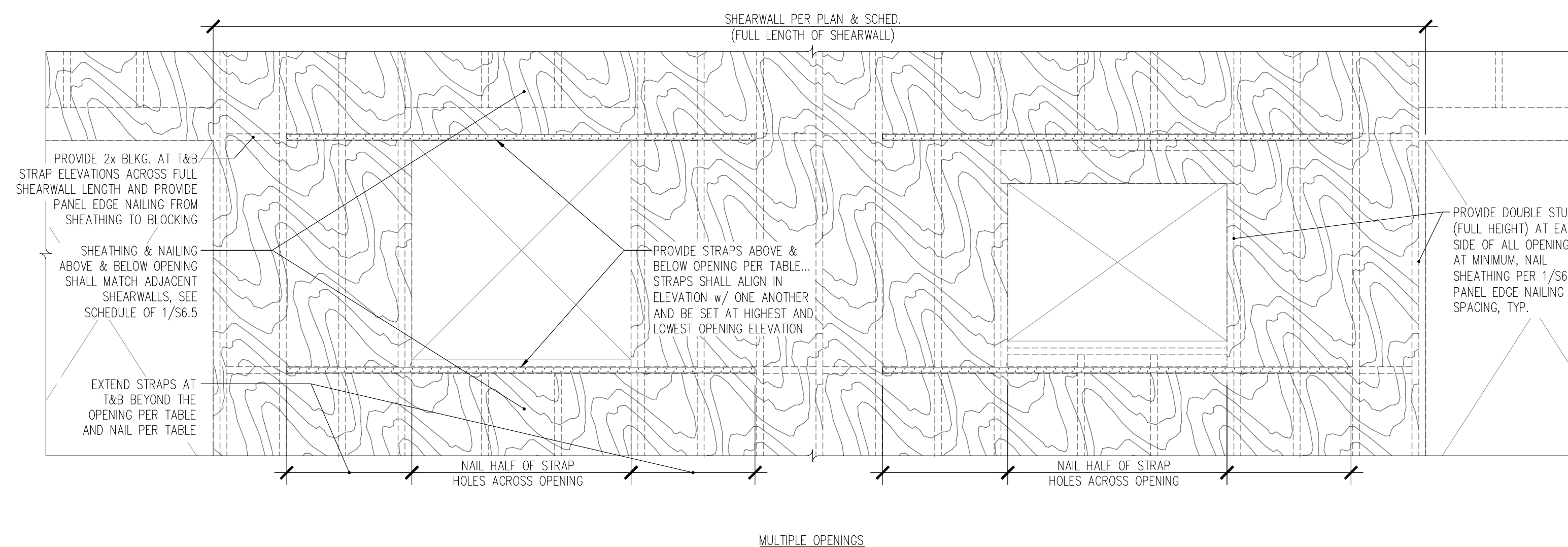


TRANSFER BEAM WIDTH	SIMPSON SDW EWP-PLY SCREW	TRANSFER BEAM DEPTH			
		7 1/4" to 9 1/2"	11 1/4" to 14"	16" to 18"	20" to 24"
(2) 1 3/4" LVL	SDW22338 (3 3/8")				
(3) 1 1/2" LVL	SDW22500 (5")	2 ROWS OF SCREWS, MAX	3 ROWS OF SCREWS, MAX	4 ROWS OF SCREWS, MAX	5 ROWS OF SCREWS, MAX
(4) 1 1/2" LVL	SDW22634 (6 3/4")				



5 MULTI-PLY TRANSFER BEAM CONNECTION DETAILS  
S6.6 1" = 1'-0"

2 SHEAR WALL INTERSECTION AND TENSION TIE POSITIONING  
S6.6 N.T.S.



TYPE	STRAP	END LENGTH	NAILS
(1)	CS20	9"	(12)0.148"x2 1/2"
(2)	CS20	18"	(12)0.148"x2 1/2"
(3)	CS20	36"	(12)0.148"x2 1/2"
(4)	CS16	32"	(20)0.148"x2 1/2"
(5)	CS16	36"	(20)0.148"x2 1/2"

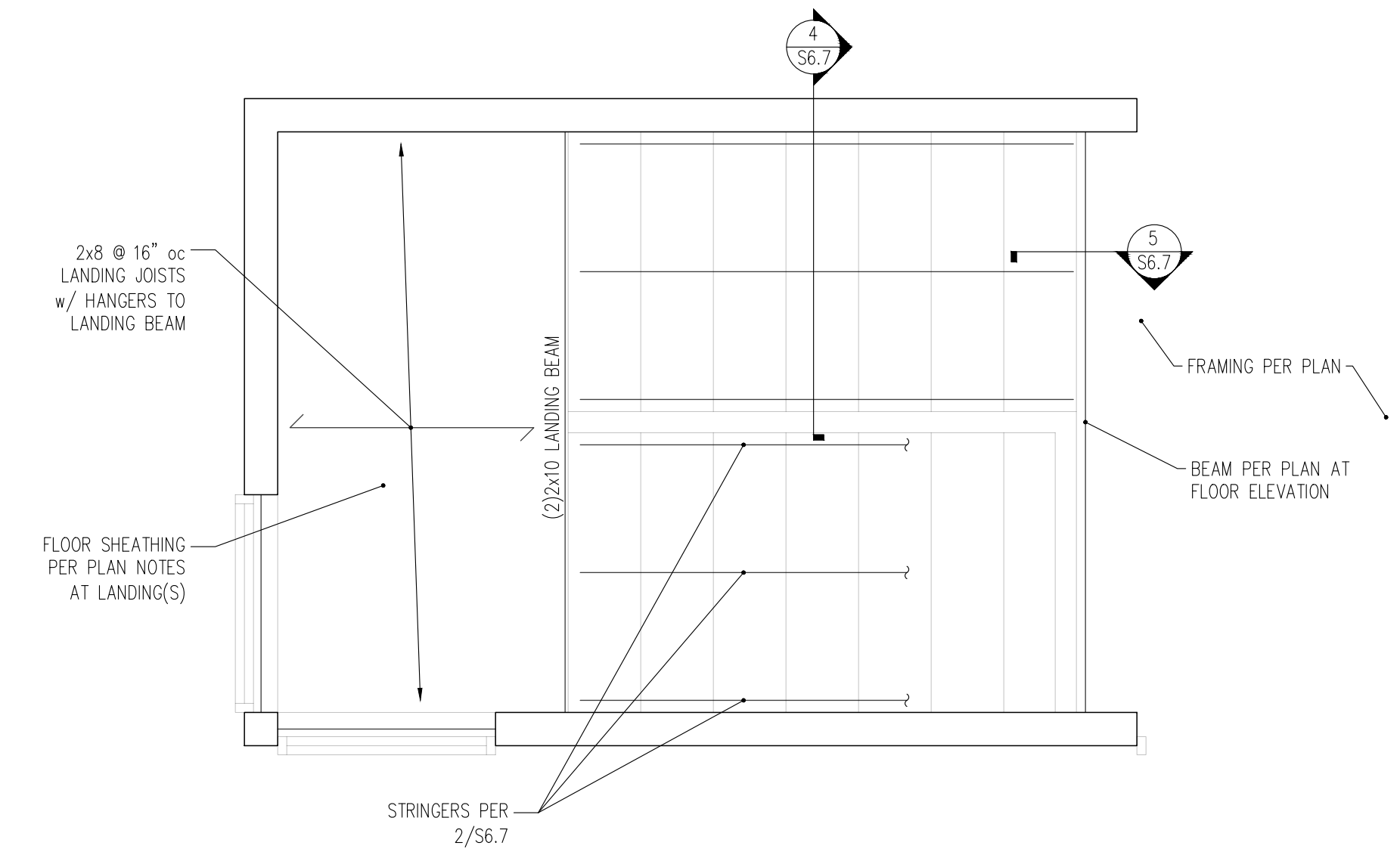
STRAP TABLE

7 STRAPPED SHEARWALL DETAIL  
S6.6 N.T.S.

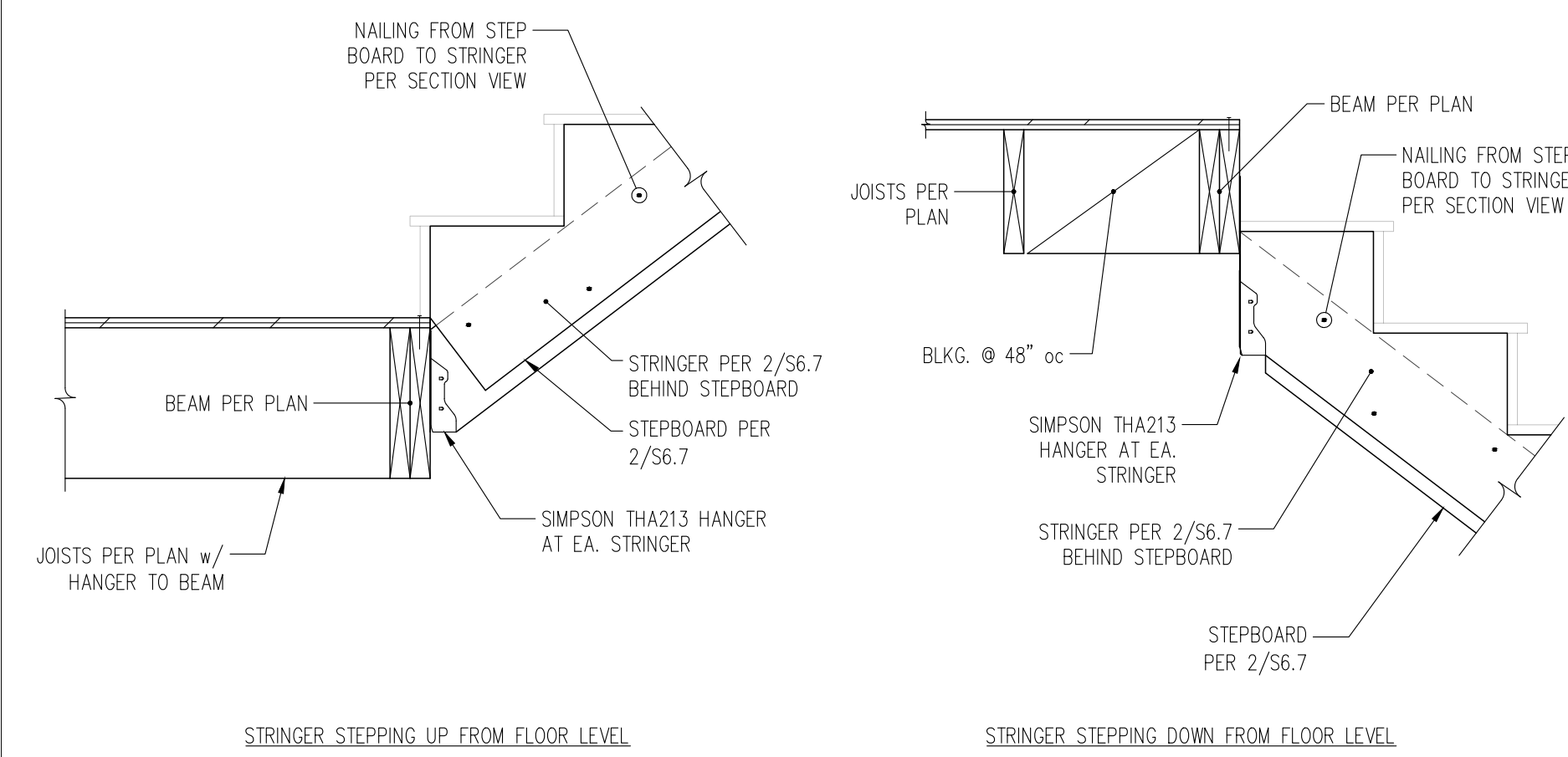
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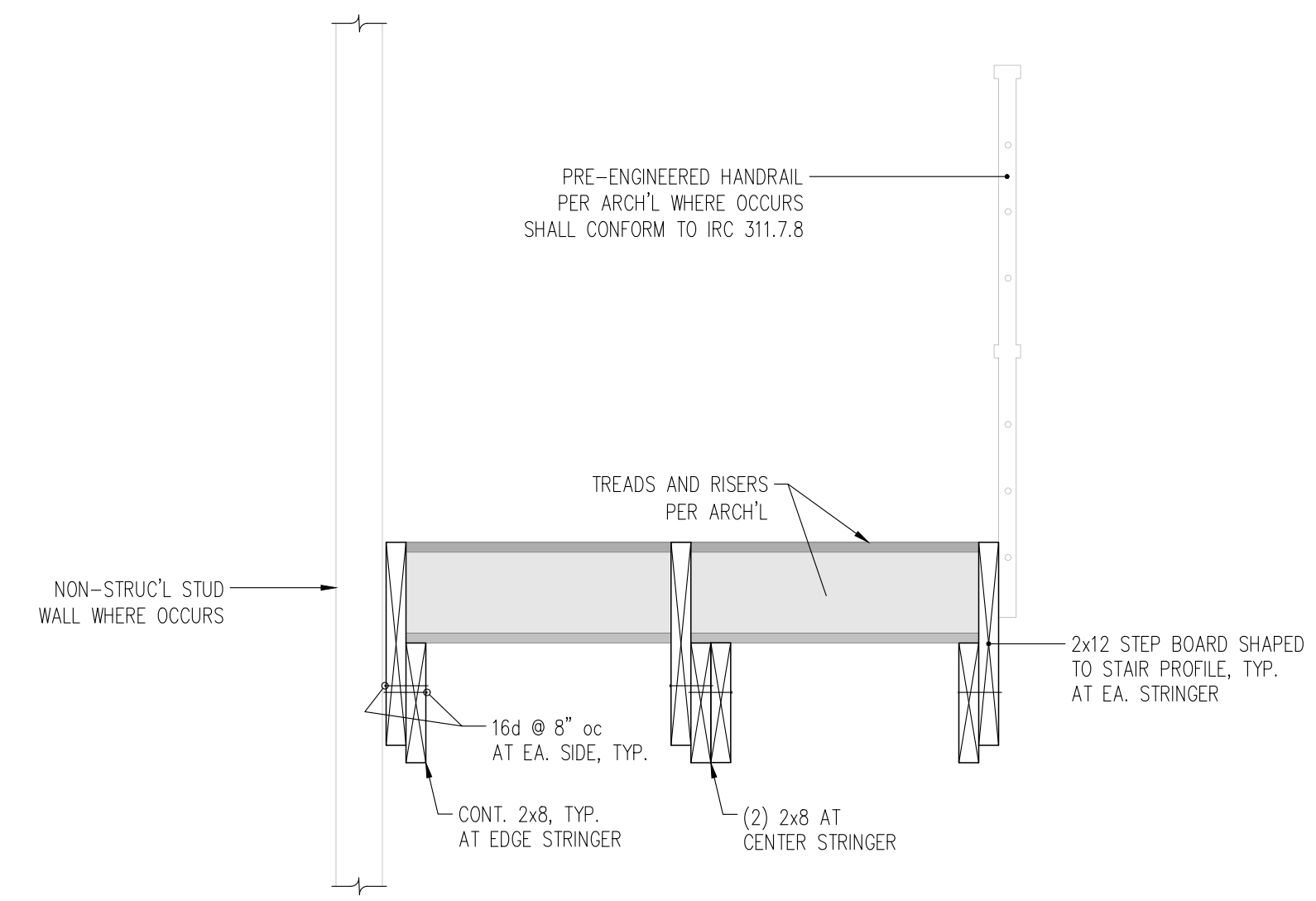
S6.6



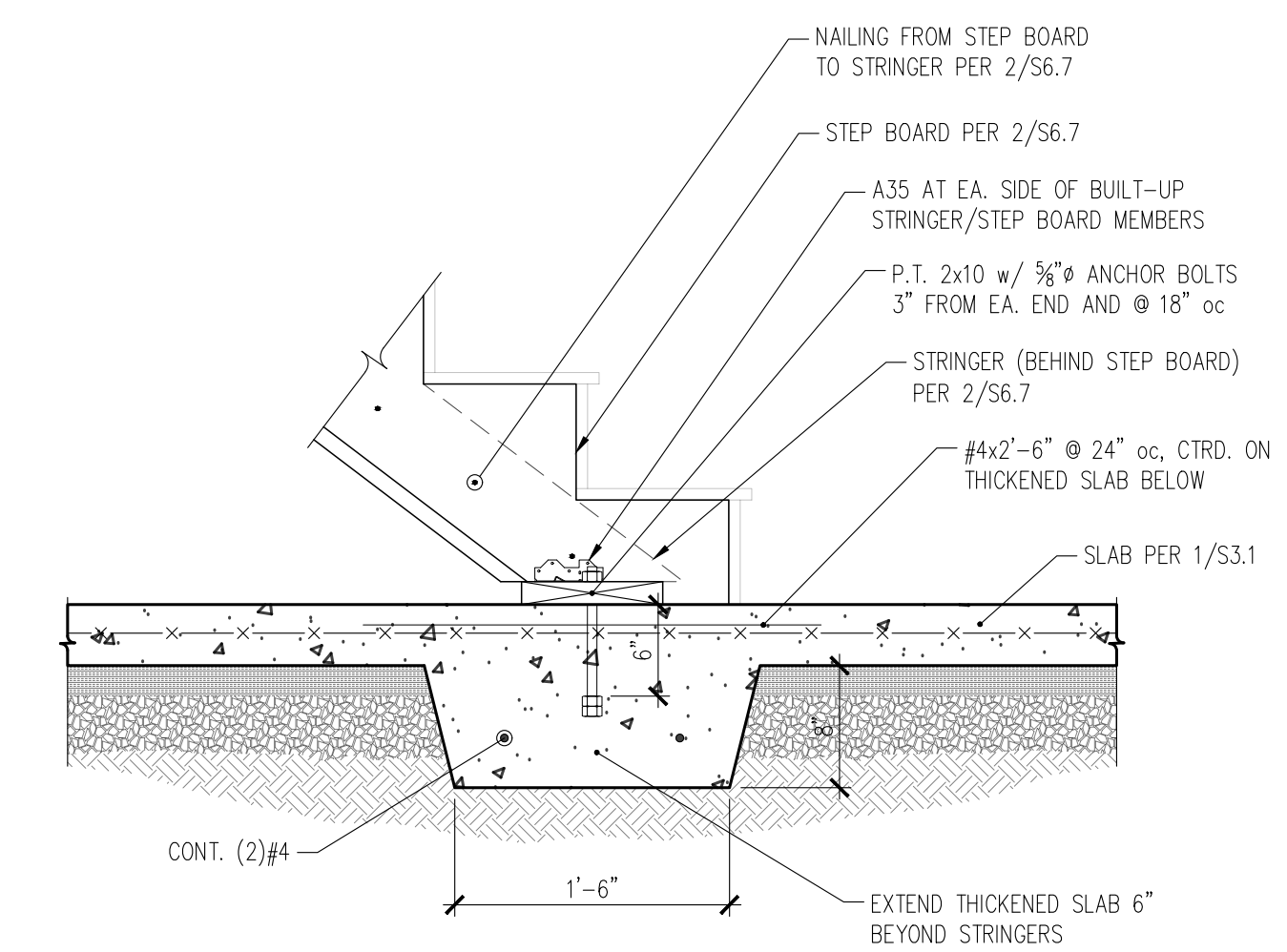
3 TYPICAL STAIR FRAMING/LANDING PLAN VIEW  
S6.7 1" = 1'-0"



5 STRINGER TO FLOOR FRAMING  
S6.7 1" = 1'-0"



2 SECTION THROUGH STAIR FRAMING  
S6.7 1" = 1'-0"



1 SECTION THROUGH THICKENED SLAB-ON-GRADE AT STAIR STRINGERS  
S6.7 1" = 1'-0"

**LEGAL DESCRIPTION**

LOT 16, IN BLOCK 3 OF HIGHPARK ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 38 OF PLATS, PAGE 16, RECORDS OF KING COUNTY AUDITOR;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**ORGANIC SOIL REQUIREMENT**

**MINIMUM 10% ORGANIC MULCH & COMPOST SOIL REQUIRED**

**SOIL AMENDMENT REQUIRED**

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

**SOIL INSPECTION REQUIRED BY ENGINEER**

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

**EROSION CONTROL LEGEND**

LIMITS OF DISTURBANCE	---
FILTER FABRIC FENCE (SILT FENCE)	(SF) ---
STABILIZED CONSTRUCTION ENTRANCE	(CE) [Pattern]
CATCH BASIN INLET PROTECTION	(IP) [Symbol]
INTERCEPTOR SWALE SEE COR DWG 504, TYPE A TEMPORARY SWALE	(IS) [Symbol]
TREE PROTECTION FENCING	(TP) [Symbol]
CHECK DAM	(CD) [Symbol]
STRAW WATTLES	(SW)   USE AS NEEDED

**PROJECT ARBORIST TREE PROTECTION RECOMMENDATIONS**

These general tree recommendations are intended to preserve the western red cedar in its current condition. I recommend removing the flowering plum and replacing it with a new tree that will perform better in the future.

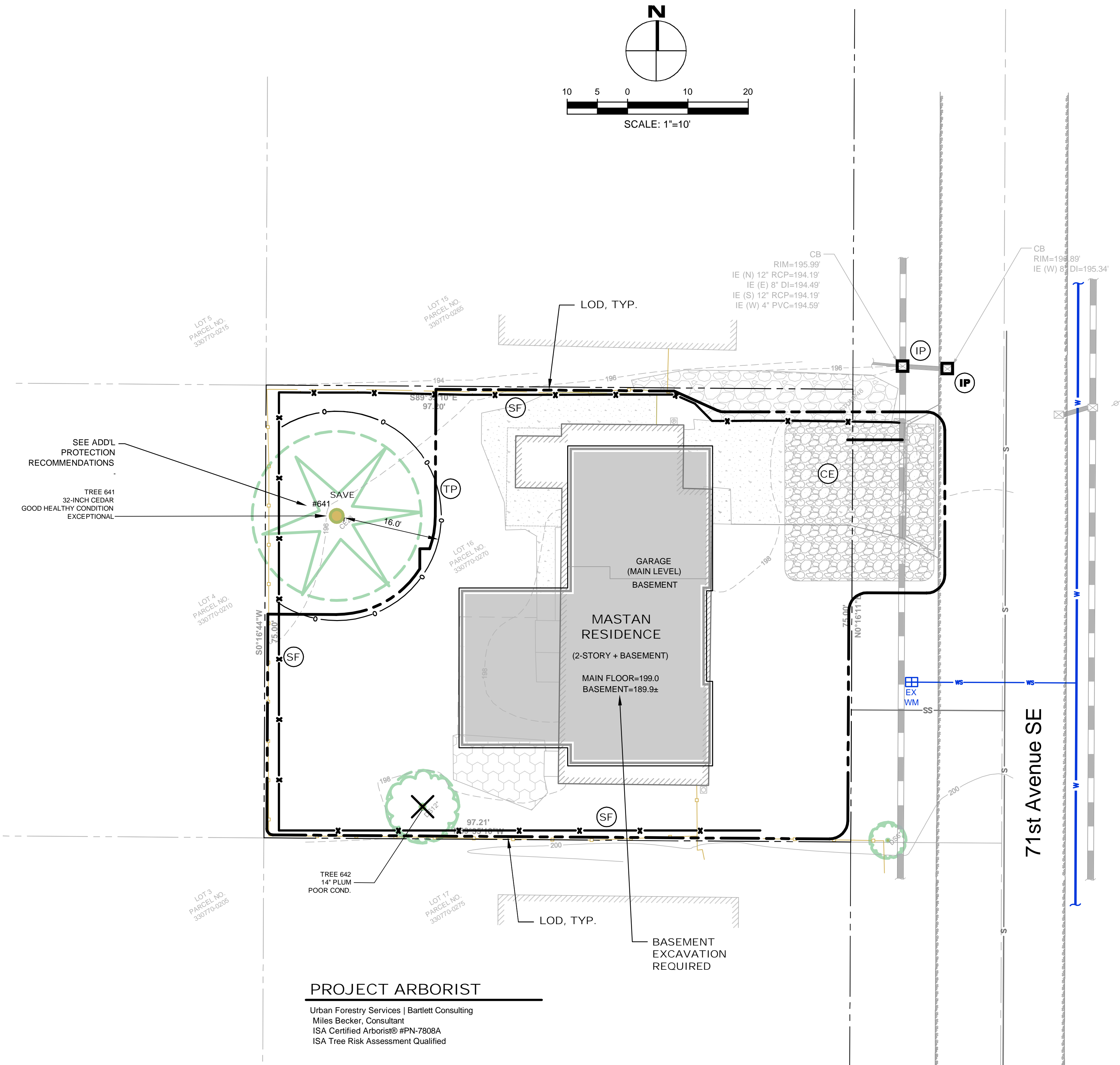
Implement the following tree protection measures prior to the start of demolition:

- Erect 6-foot high chain-link tree protection fencing at a distance of 12 feet east and south of the trunk face. The tree protection fencing should be at the edge of the dripline on the other sides of the tree. The approximate location of tree protection fencing for the western red cedar is shown on the attached Tree Protection Plan. Alternative types of fencing may be considered provided they are relatively rigid and stay in place for the duration of the project.
- Keep all materials, grading, and contractors outside the fenced area.
- Post at least one sign on the fence that states "Tree Protection Area."
- Place a 3-inch layer of coarse wood chip mulch in the area protected by fencing. This will help the soil retain moisture and increase the availability of nutrients to compensate for any root loss. Keep the wood chips 10 to 12 inches from the trunk of the tree.
- Prune the branches overhanging the project site up to a maximum height of 18 feet above grade. The height where the branches are cut back to the trunk may be somewhat higher due to the downward curve of the branch. Limit pruning to less than 15 percent of the entire crown. All pruning shall be done by an ISA Certified Arborist® following the ANSI-A300 standards for pruning.

During demolition and construction, avoid machinery contact with the branches and trunk of the tree. Keep out of the tree protection area.

When excavating within 16 feet of the western red cedar:  
--Have a certified arborist on-site to monitor the excavation.  
--Document the size and quantity of roots encountered.

- If more than three roots over 4 inches in diameter need to be cut for the foundation of the new building, re-evaluate the impacts on the tree.
- Cleanly cut roots over 1 inch in diameter back to the edge of the grading limits.

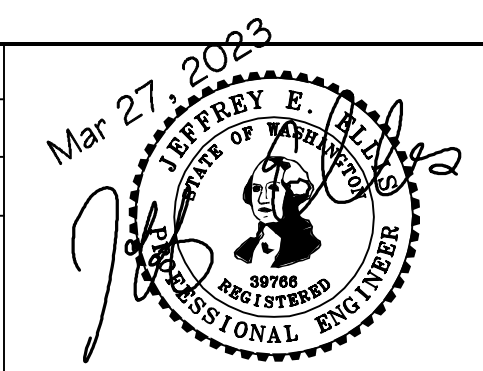


**PROJECT ARBORIST**

Urban Forestry Services | Bartlett Consulting  
Miles Becker, Consultant  
ISA Certified Arborist® #PN-7808A  
ISA Tree Risk Assessment Qualified

NO.	DATE	BY	REVISIONS

APPLICANT ALI MASTAN	DATE: Mar 27, 2023
	JOB# 2064
	DRAFTED: SS DESIGN: SS
	DIGITAL SIGNATURE

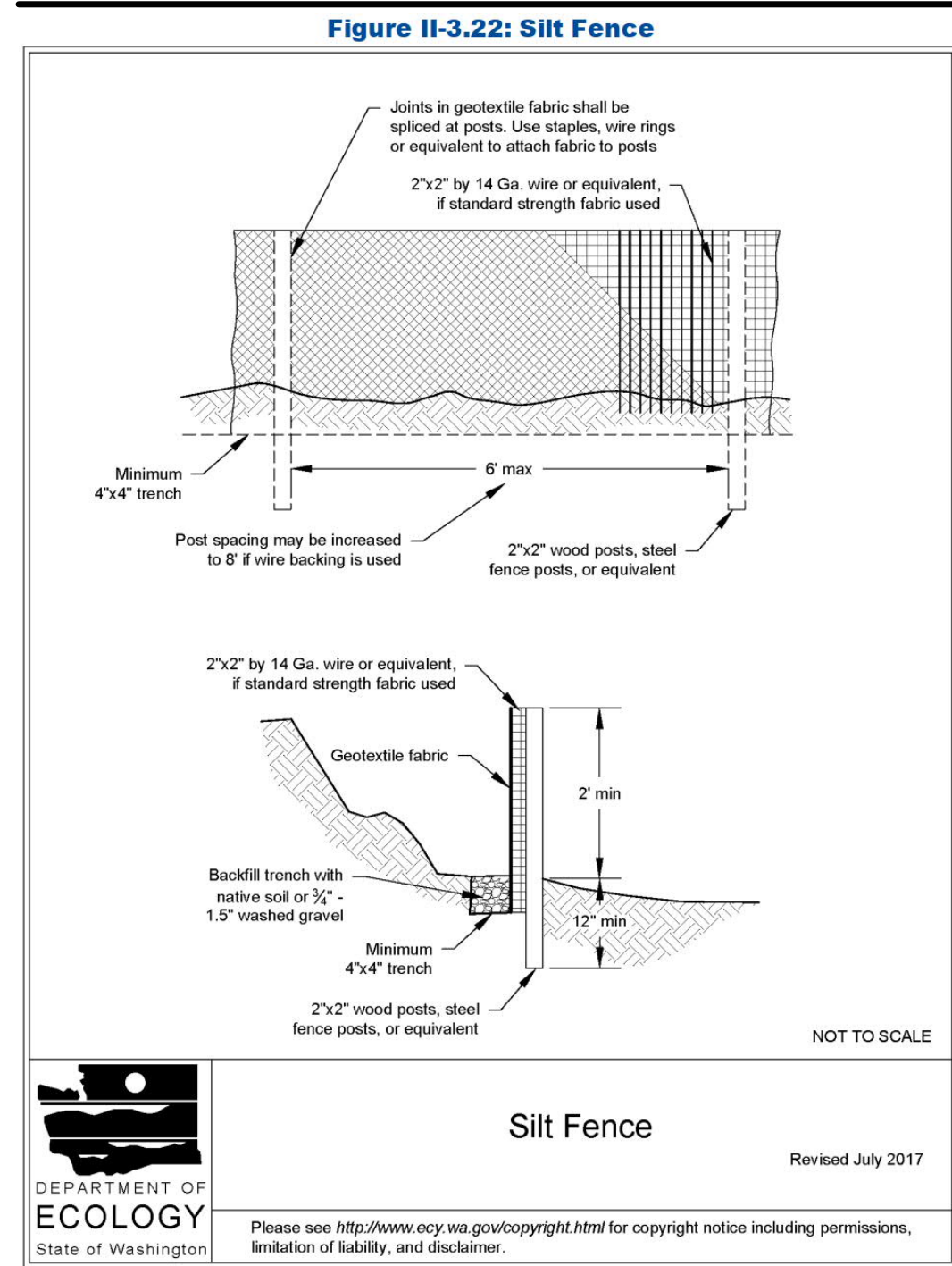


**CIVIL ENGINEERING SOLUTIONS**  
102 NW CANAL STREET SEATTLE, WA 98107  
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

**TESC PLAN TREE RETENTION PLAN**  
MASTAN RESIDENCE  
2251 71st AVENUE SE, MERCER ISLAND, WA 98040

DRAWING NO: **C1.0**  
APN 330770-0270

**SILT FENCE DETAIL** **DOE**



**Silt Fence**  
Revised July 2017  
DEPARTMENT OF ECOLOGY  
State of Washington  
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2019 Stormwater Management Manual for Western Washington  
Volume II - Chapter 3 - Page 371

**RECOMMENDED CONSTRUCTION SEQUENCE**

- A DETAILED CONSTRUCTION SEQUENCE IS NEEDED TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE APPLIED AT THE APPROPRIATE TIMES. A RECOMMENDED CONSTRUCTION SEQUENCE IS PROVIDED BELOW:
- HOLD AN ONSITE PRE-CONSTRUCTION MEETING.
  - POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).
  - FLAG OR FENCE CLEARING LIMITS.
  - INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
  - GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
  - INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
  - CONSTRUCT SEDIMENT PONDS AND TRAPS.
  - GRADE AND STABILIZE CONSTRUCTION ROADS.
  - CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
  - MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
  - RELOCATE SURFACE WATER CONTROLS OR TESC MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE TESC IS ALWAYS IN ACCORDANCE WITH CITY OF MERCER ISLAND TESC REQUIREMENTS.
  - COVER ALL AREAS THAT WILL BE UN-WORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) OR TWO DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
  - STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
  - SEED, SOD, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
  - UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPS IF APPROPRIATE.

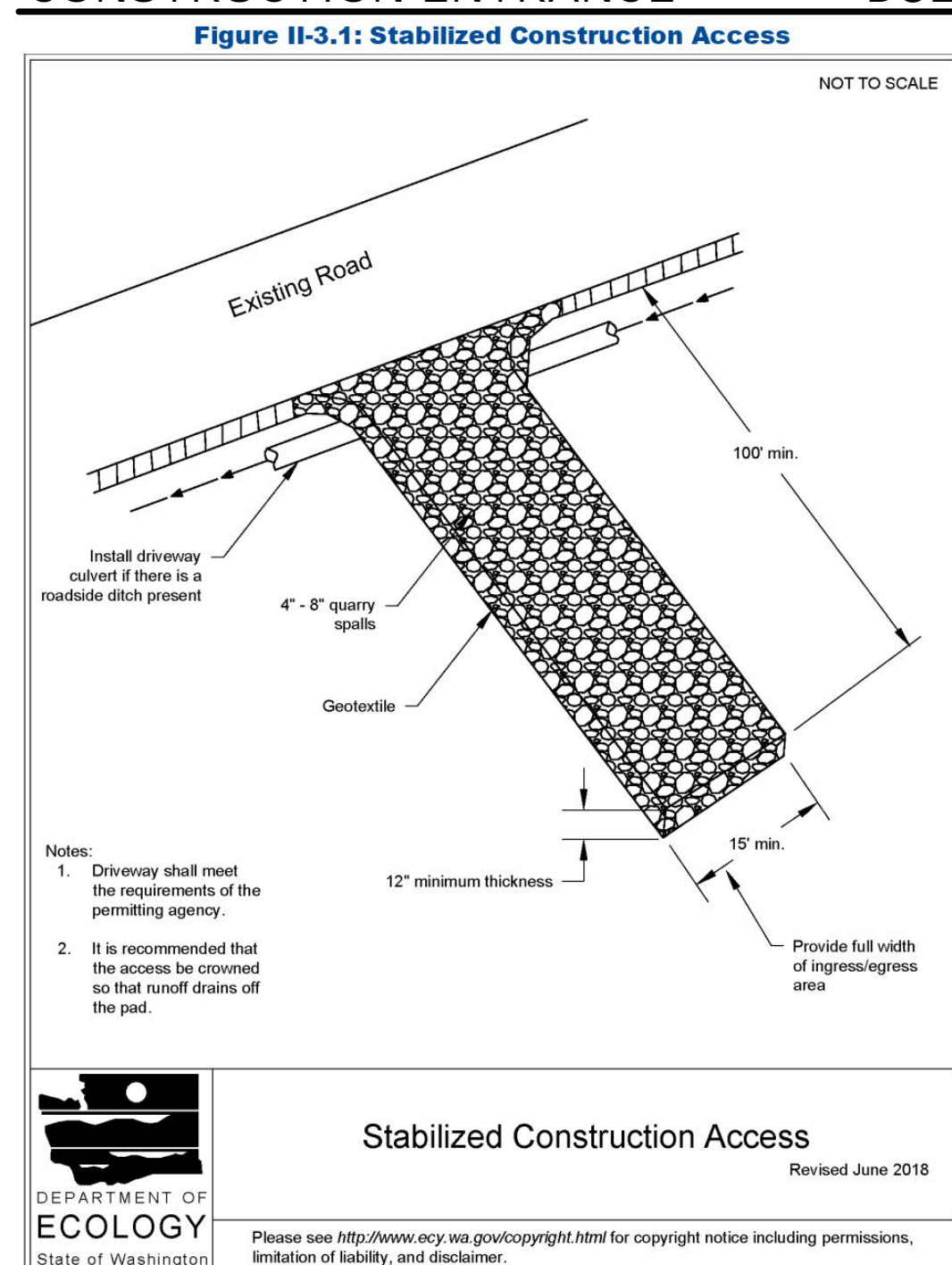
**EROSION CONTROL NOTES**

- D.8.2 STANDARD ESC PLAN NOTES  
THE STANDARD ESC PLAN NOTES MUST BE INCLUDED ON ALL ESC PLANS. AT THE APPLICANT'S DISCRETION, NOTES THAT IN NO WAY APPLY TO THE PROJECT MAY BE OMITTED; HOWEVER, THE REMAINING NOTES MUST NOT BE RENUMBERED. FOR EXAMPLE, IF ESC NOTE #3 WERE OMITTED, THE REMAINING NOTES SHOULD BE NUMBERED 1, 2, 4, 5, 6, ETC.
- APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
  - THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
  - THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (SWDM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
  - STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.
  - THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
  - THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION ETC.) AS DIRECTED BY CITY OF MERCER ISLAND.
  - THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.
  - ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
  - ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
  - THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH DURING THE DRY SEASON, BI-MONTHLY DURING THE WET SEASON, OR WITHIN TWENTY FOUR (24) HOURS FOLLOWING A STORM EVENT.
  - AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
  - ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
  - COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL.
  - PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.

**CITY NOTES**

- ANY CHANGES TO THE APPROVED PLANS REQUIRES CITY APPROVAL THROUGH A REVISION.
- APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND UTILITIES CAUSED FROM THIS CONSTRUCTION.
- CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL STORM DRAIN CATCH BASINS INLETS DOWNSLOPE AND WITHIN 500 FEET OF THE CONSTRUCTION AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY THE MANUFACTURER FOR USE AT CONSTRUCTION SITES AND APPROVED BY THE CITY INSPECTOR. CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUENTLY, ESPECIALLY AFTER STORM EVENTS. IF THE FILTER BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED.
- CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES.
- AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1.800.424.5555
- DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL MUST BE IMPORTED
- EROSION CONTROL: ALL "LAND DISTURBING ACTIVITY" IS SUBJECT TO PROVISIONS OF MERCER ISLAND ORDINANCE 95C-118 "STORM WATER MANAGEMENT." SPECIFIC ITEMS TO BE FOLLOWED AT YOUR SITE:
- PROTECT ADJACENT PROPERTIES FROM ANY INCREASED RUNOFF OR SEDIMENTATION DUE TO THE CONSTRUCTION PROJECT THROUGH THE USE OF APPROPRIATE "BEST MANAGEMENT PRACTICES" (BMP) EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT TRAPS, SEDIMENT PONDS, FILTER FABRIC FENCES, VEGETATIVE BUFFER STRIPS OR BIOENGINEERED SWALES.
- CONSTRUCTION ACCESS TO THE SITE SHOULD BE LIMITED TO ONE ROUTE. STABILIZE ENTRANCE WITH QUARRY SPALLS TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE STORM DRAINS.
- PREVENT SEDIMENT, CONSTRUCTION DEBRIS, PAINTS, SOLVENTS, ETC., OR OTHER TYPES OF POLLUTION FROM ENTERING PUBLIC STORM DRAINS. KEEP ALL POLLUTION ON YOUR SITE.
- ALL EXPOSED SOILS SHALL REMAIN DENUDED FOR NO LONGER THAN SEVEN (7) DAYS AND SHALL BE STABILIZED WITH MULCH, HAY, OR THE APPROPRIATE GROUND COVER. ALL EXPOSED SOILS SHALL BE COVERED IMMEDIATELY DURING ANY RAIN EVENT.
- INSTALLATION OF CONCRETE DRIVEWAYS, TREES, SHRUBS, IRRIGATION, BOULDERS, BERMS, WALLS, GATES, AND OTHER IMPROVEMENTS ARE NOT ALLOWED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL, AND AN ENCROACHMENT AGREEMENT AND RIGHT OF WAY PERMIT FROM THE SENIOR DEVELOPMENT ENGINEER.
- OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAINAGE RUNOFF FROM EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIBLE MANNER. CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, DRY WELLS, LEVEL SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY BE NECESSARY TO MINIMIZE DRAINAGE IMPACT TO YOUR NEIGHBORS. CONSTRUCTION OF MINIMUM DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON THIS PLAN DOES NOT IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTREAM DRAINAGE.
- POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
- REMEMBER: EROSION CONTROL IS YOUR FIRST INSPECTION.
- ROOF DRAINS MUST BE CONNECTED TO THE STORM DRAIN SYSTEM AND INSPECTED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY BACKFILLING OF PIPE.
- SILENT FENCE: CLEAN AND PROVIDE REGULAR MAINTENANCE OF THE SILT FENCE. THE FENCE IS TO REMAIN VERTICAL AND IS TO FUNCTION PROPERLY THROUGHOUT THE TERM OF THE PROJECT.
- WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.
- REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE DETERMINED BY MERCER ISLAND WATER DEPARTMENT.
- THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED. ALTERNATELY, A PRESSURE TEST OF THE SIDE SEWER, FROM SEWER MAIN TO POINT OF CONNECTION, MAY BE SUBSTITUTED FOR THE VIDEO INSPECTION.
- NEWLY INSTALLED SIDE SEWER REQUIRES A 4 P.S.I. AIR TEST OR PROVIDE 10' OF HYDROSTATIC HEAD TEST.
- POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
- THE LIMITS AND EXTENDS OF THE PAVEMENT IN THE PUBLIC RIGHT OF WAY SHALL BE DETERMINED BY THE CITY ENGINEER PRIOR TO FINALIZE THE PROJECT.

**CONSTRUCTION ENTRANCE** **DOE**



**Stabilized Construction Access**  
Revised June 2018  
DEPARTMENT OF ECOLOGY  
State of Washington  
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Volume II - Chapter 3 - Page 279

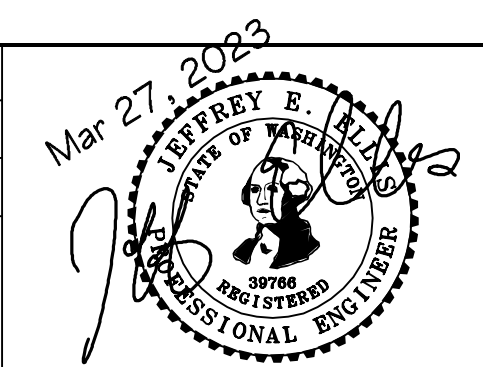
**DENUDED AREAS REQUIREMENTS**

- APRIL 1 TO SEPT 30  
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF CONSTRUCTION. PLEASE READ ALL CITY TESC NOTES ON SHEET C1.2.
- OCT 1 TO MARCH 31  
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. IF AN EROSION PROBLEM ALREADY EXISTS ON THE SITE, OTHER COVER PROTECTION AND EROSION CONTROL WILL BE REQUIRED.

NO.	DATE	BY	REVISIONS

APPLICANT ALI MASTAN
-------------------------

DATE: Mar 27, 2023
JOB#: 2064
DRAFTED: SS DESIGN: DE
DIGITAL SIGNATURE



**CIVIL ENGINEERING SOLUTIONS**  
102 NW CANAL STREET SEATTLE, WA 98107  
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

**TESC & CITY NOTES**  
**TESC DETAILS**  
MASTAN RESIDENCE  
2251 71st AVENUE SE, MERCER ISLAND, WA 98040

DRAWING NO: <b>C1.2</b>
APN 330770-0270



**MINIMUM 10% ORGANIC - COMPOST SOIL REQUIRED**

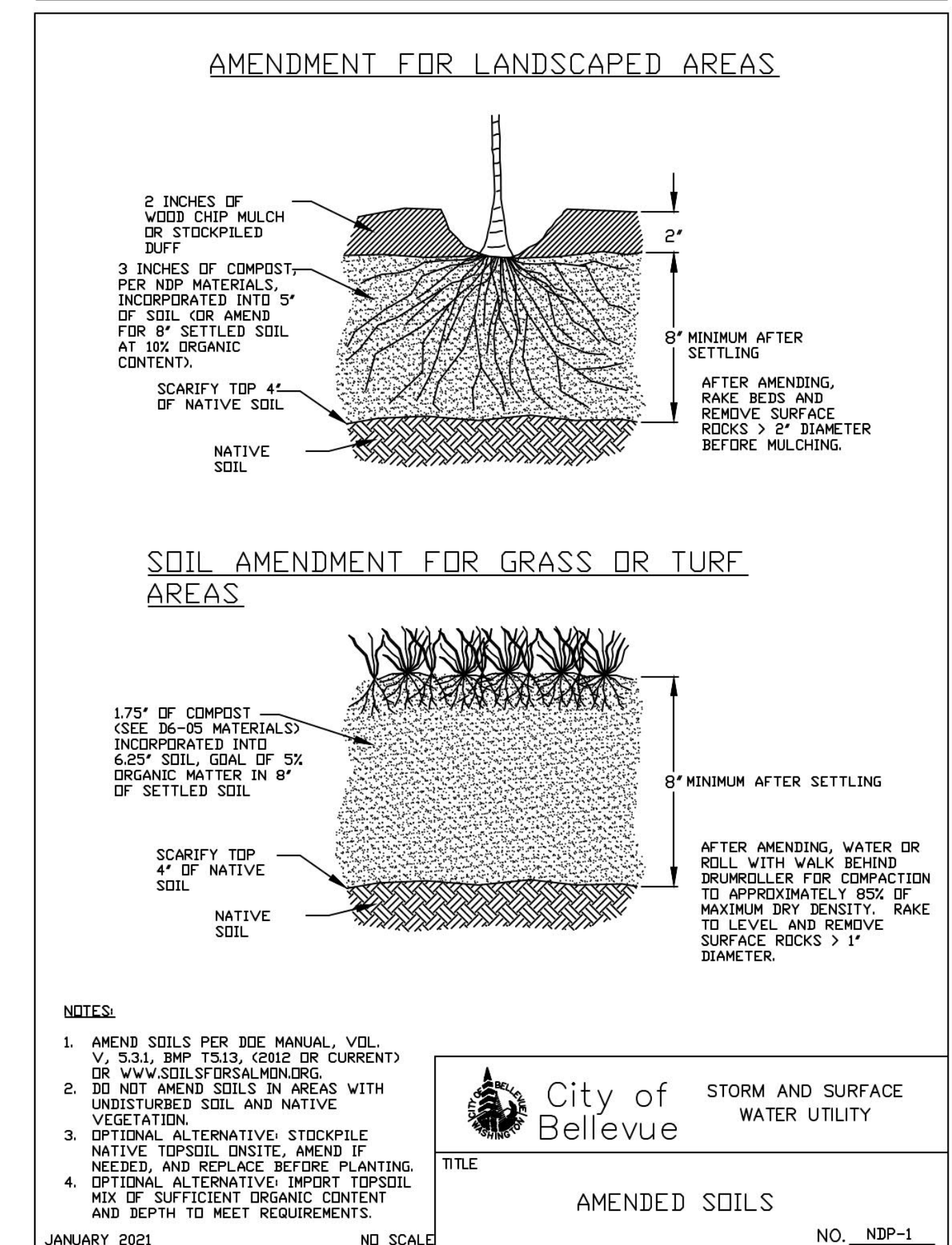
**SOIL AMENDMENT REQUIRED**

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL BELOW.

**SOIL INSPECTION REQUIRED BY ENGINEER**

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

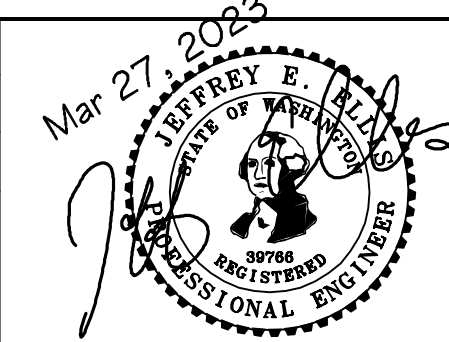
**COMPOST AMENDED SOIL SPEC**



NO.	DATE	BY	REVISIONS

APPLICANT  
ALI MASTAN

DATE: Mar 27, 2023  
JOB# 2064  
DRAFTED: SS DESIGN: SS  
DIGITAL SIGNATURE

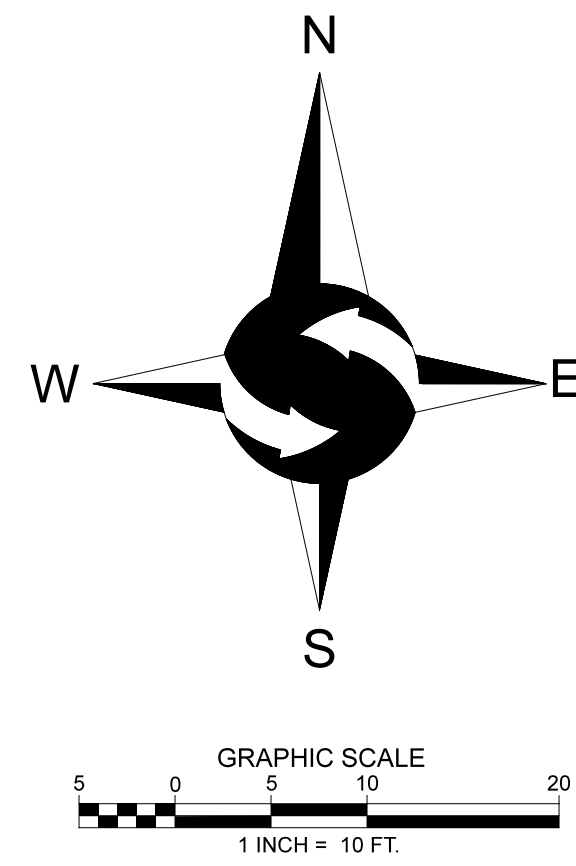


**CIVIL ENGINEERING SOLUTIONS**  
102 NW CANAL STREET SEATTLE, WA 98107  
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

**STORM, BMP DETAILS**  
MASTAN RESIDENCE  
2251 71st AVENUE SE, MERCER ISLAND, WA 98040

DRAWING NO:  
**C3.5**  
APN 330770-0270





**LEGEND**

- FOUND MONUMENT IN CASE
- ⊗ SET MAG NAIL AS DESCRIBED
- SET 5/8" X 24" IRON ROD W/1" YELLOW PLASTIC CAP
- ⊠ POWER METER
- ⊡ GAS METER
- CLEANOUT
- ⊠ MAILBOX
- ⊠ UTILITY POLE
- ⊠ CATCH BASIN
- SANITARY SEWER MANHOLE
- ⊠ WATER VALVE
- FIRE HYDRANT
- ⊠ WATER METER
- SS— APPROXIMATE LOCATION SANITARY SEWER LINE
- SD— APPROXIMATE LOCATION STORM DRAIN LINE
- W— APPROXIMATE LOCATION UNDERGROUND WATER LINE
- OHP— OVERHEAD POWER
- OHU— OVERHEAD UTILITIES
- X— CHAINLINK FENCE
- WOOD FENCE
- ⊠ ROCKERY
- ⊠ ASPHALT SURFACE
- ⊠ CONCRETE SURFACE
- ⊠ GRAVEL SURFACE
- ⊠ BRICK SURFACE
- ⊠ FLAGSTONE SURFACE
- CE CEDAR
- DS DECIDUOUS
- ST STUMP
- \* INDICATES MULTI-TRUNK

**LEGAL DESCRIPTION**

LOT 16, IN BLOCK 3 OF HIGHPARK ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 38 OF PLATS, PAGE 16, RECORDS OF KING COUNTY AUDITOR; SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**BASIS OF BEARINGS**

A BEARING OF N89°35'09"W FOR THE CENTERLINE OF SE 24TH STREET BASED ON FOUND MONUMENTS.

**PROJECT INFORMATION**

PROPERTY OWNER: ALI & MARISSA MASTAN  
2251 71ST AVENUE SE  
MERCER ISLAND, WA 98040

TAX PARCEL NUMBER: 330770-0270

PROJECT ADDRESS: 2251 71ST AVENUE SE  
MERCER ISLAND, WA 98040

ZONING: R-9.6

JURISDICTION: CITY OF MERCER ISLAND

PARCEL ACREAGE: 7.291 S.F. (0.167 ACRES) AS SURVEYED

**GENERAL NOTES**

1. THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
2. INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION AND AN EMLID REACH RS2 GPS RECEIVER. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
3. THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN SEPTEMBER 2022 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
4. UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
5. ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

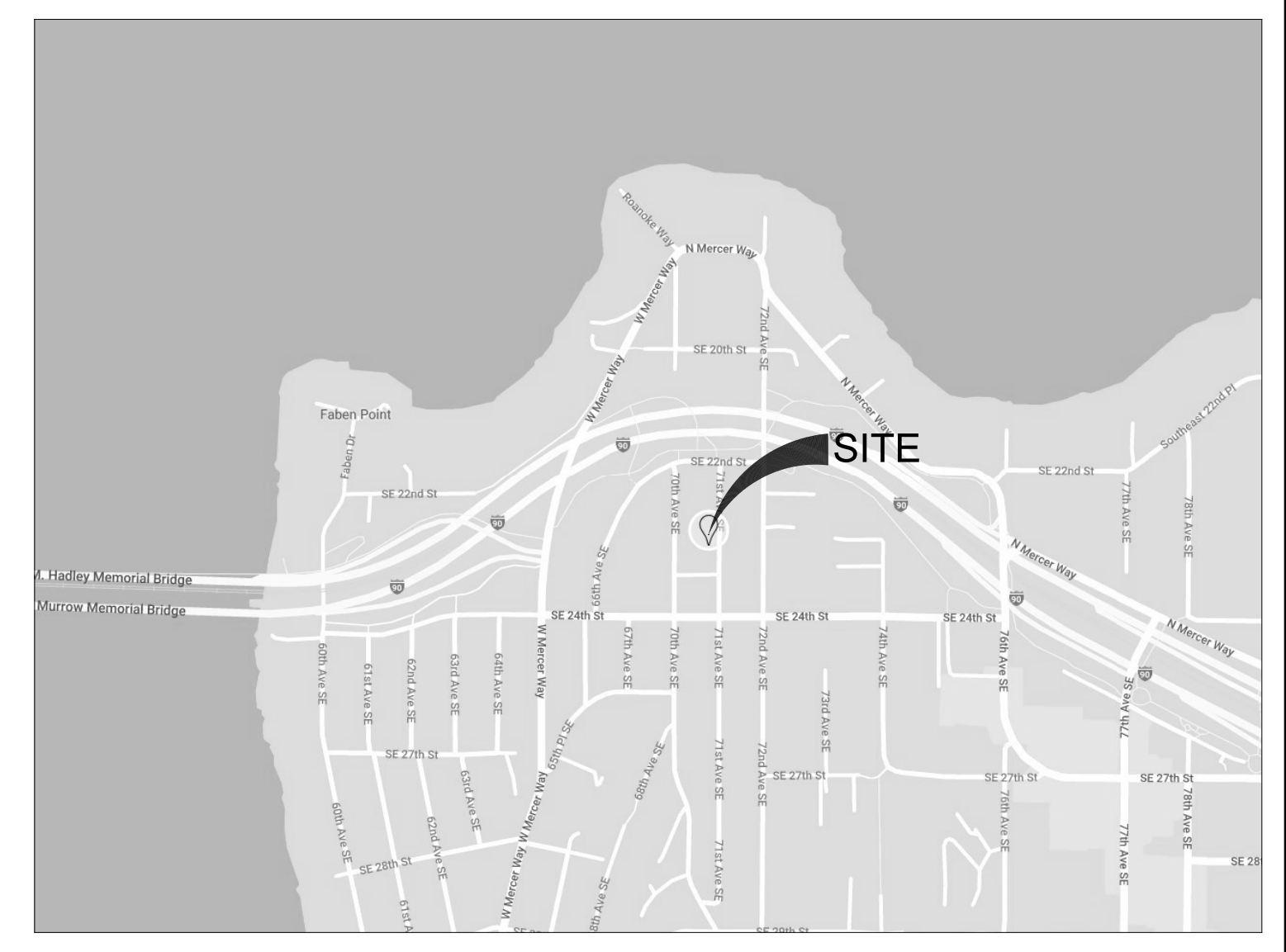
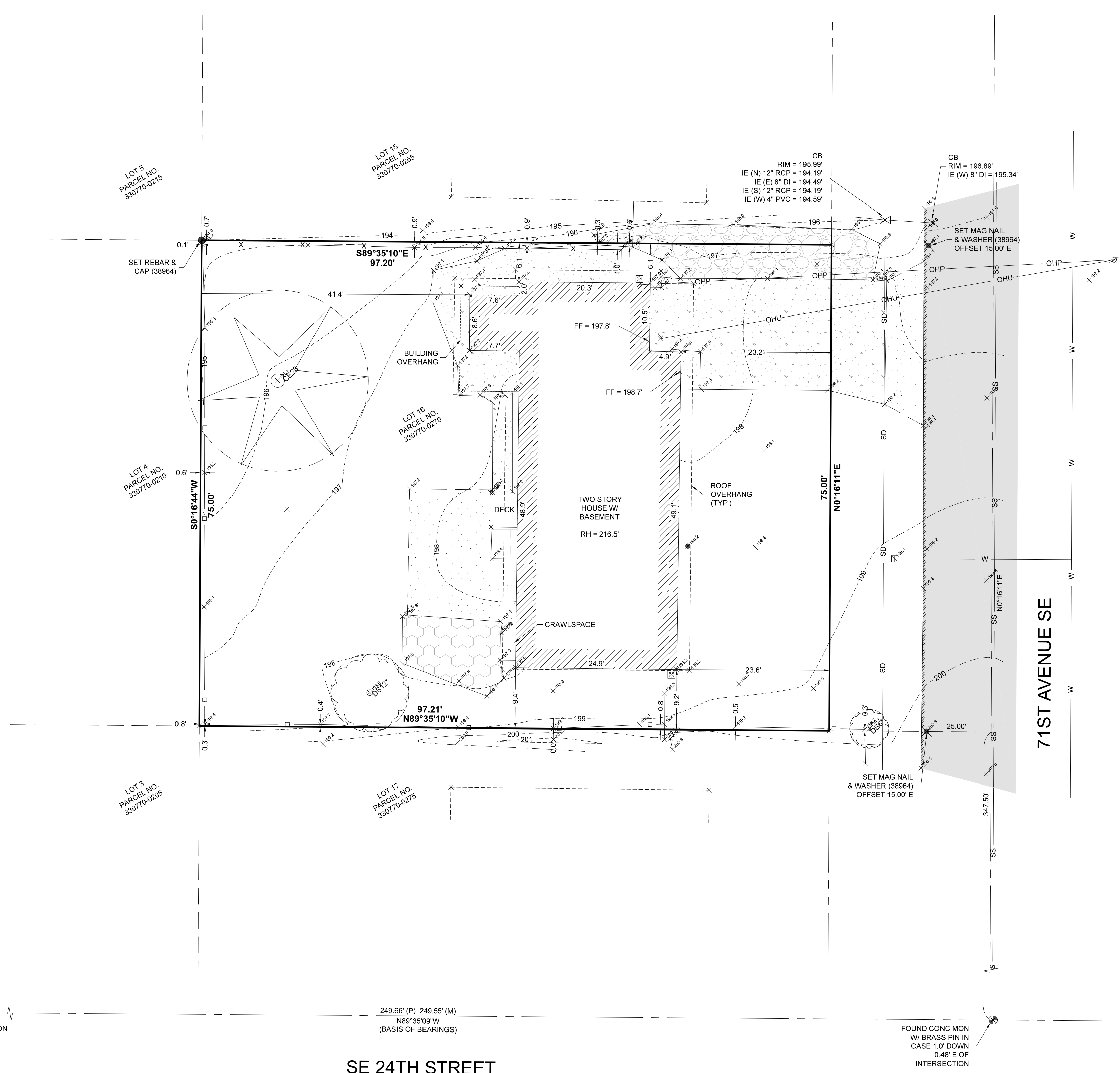
**VERTICAL DATUM & CONTOUR INTERVAL**

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY WCCS SURVEY CONTROL DATABASE.

THE MARK IS A CONCRETE MONUMENT IN CASE AT THE INTERSECTION OF SE 24TH STREET AND 70TH AVENUE SE.

POINT ID NO. 7007.  
ELEVATION: 208.206 FEET (63.461 METERS) NAVD 88

1.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 0.5' FOR THIS PROJECT.



VICINITY MAP  
NTS

SW 1/4, SW 1/4, SEC 1, TWP 24N, RNG 4E, W.M.



DATE	REVISION

**TOPOGRAPHIC SURVEY**

FARZAD GHAZVINIAN  
2251 71ST AVENUE SE  
MERCER ISLAND, WA 98040

PROJECT NO. 22-506

DRAWN BY: MTS  
CHECKED BY: TNW  
DATE: 9/2/2022

SHEET 1 OF 1