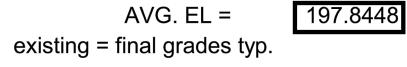


	EL @ MIDPOINT	segment	wtd sgmnt
		(ft)	
1	197.50	25.5	5036.25
2	198.00	1	198.00
3	198.00	15	2970.00
4	198.00	1	198.00
5	198.50	14	2779.00
6	198.00	24	4752.00
7	198.00	3	594.00
8	198.00	18	3564.00
9	198.00	26.46	5239.08
10	198.00	18	3564.00
11	197.50	25.04	4945.40
12	197.50	24	4740.00
		195	38579.73



LOT SLOPE

HIGH POINT = 200' LOW POINT = 194'	
LOT SLOPE = 6'/10 LOT COVERAGE =	

F.A.R. CALCULATION

Main Floor FA= 1768 sf (inc. gar) Basement FA = 1222 sf (94.4% below grade) Upper Floor FA = 1242 sf 4232 sf

excepted FA = (1153.6 sf)stairs = $(70 \text{ sf x}^2 = 140 \text{ sf})$

TOTAL chargeable FA = 2938.4 sf Lot is < 7500 sf therefor FAR = lesser of 3000 sf or, 45% of lot area .45 x 7291 sf = 3281 sf, FAR limit = 3000 sf

)7' = 5.61% 40%

LOT COVERAGE (SHADED AREA) House Roof to eaves (shaded x 2) = 2306 sf covered porches/decks = 207.5 sf driveway (shaded) = 338 sf TOTAL = 2851.5 sf allowable = 7291 x .4 =2916.4 sf

amount available for hardscape = 110.4 sf

HARDSCAPE DECKS, PATIOS, WALKS, WINDOW WELLS ETC = 512.4 sf

allowable = 7291 sf x .09 = 656.2 sf extra lot cov. = 110.4 sf TOTAL allow. = 766.6 sf

A. SITE PLAN

1/10" = 1'-0" 327 = SPOT ELEVATION, FINAL -----= EAVE/ROOF LINE ----- = EXTENT OF LIVING AREA

SHADED AREA = BLDG EXTENTS TO EAVE EXISTING HOUSE, DRIVEWAY AND ALL HARDSCAPE ON PROPERTY TO BE REMOVED — — — = EXISTING TOPOGRAPHY

 T = WALL SEGMENT TAG FOR HEIGHT CALCULATION
 $\langle \widehat{A} \rangle$ = WALL SEGMENT TAG FOR BASEMENT FAR EXCEPTION SEE SHEET 03 FOR BASEMENT EXCEPTION CALC.

All Japanese knotweed (Polygonum cuspidatum) and Regulated Class A, Regulated Class B, and Regulated Class C weeds identified on the King County Noxious Weed list, as amended, shall be removed from the property.

development proposals for a new single-family home shall remove japanese knotweed (polygonum cuspidatum) and regulated class a, regulated class b, and regulated class c weeds identified on the king county noxious weed list, as amended, from required landscaping areas established pursuant to subsection 19.02.020(f)(3)(a). new landscaping associated with new single-family home shall not incorporate any weeds identified on the king county noxious weed list, as amended. provided, that removal shall not be required if the removal will result in increased slope instability or risk of landslide or erosion.

Civil Engineer

Duffy Ellis CES Civil Engineering 102 NW Canal St Seattle WA 98107 206.930.0342

Structural Engineer

Javid Abdi, PE, SE Atlas Consulting Structural Engineers 6810 NE 149th St Kenmore WA 98028 Phone: (206) 427-7233

Contractor

Millad Homes LLC 7683 SE 27th St Mercer Island WA 98040 206.498.6045 Lic.# MILLAHL836L1

Project Description

Demolish existing and build new single family residence.

Parcel Number/Legal

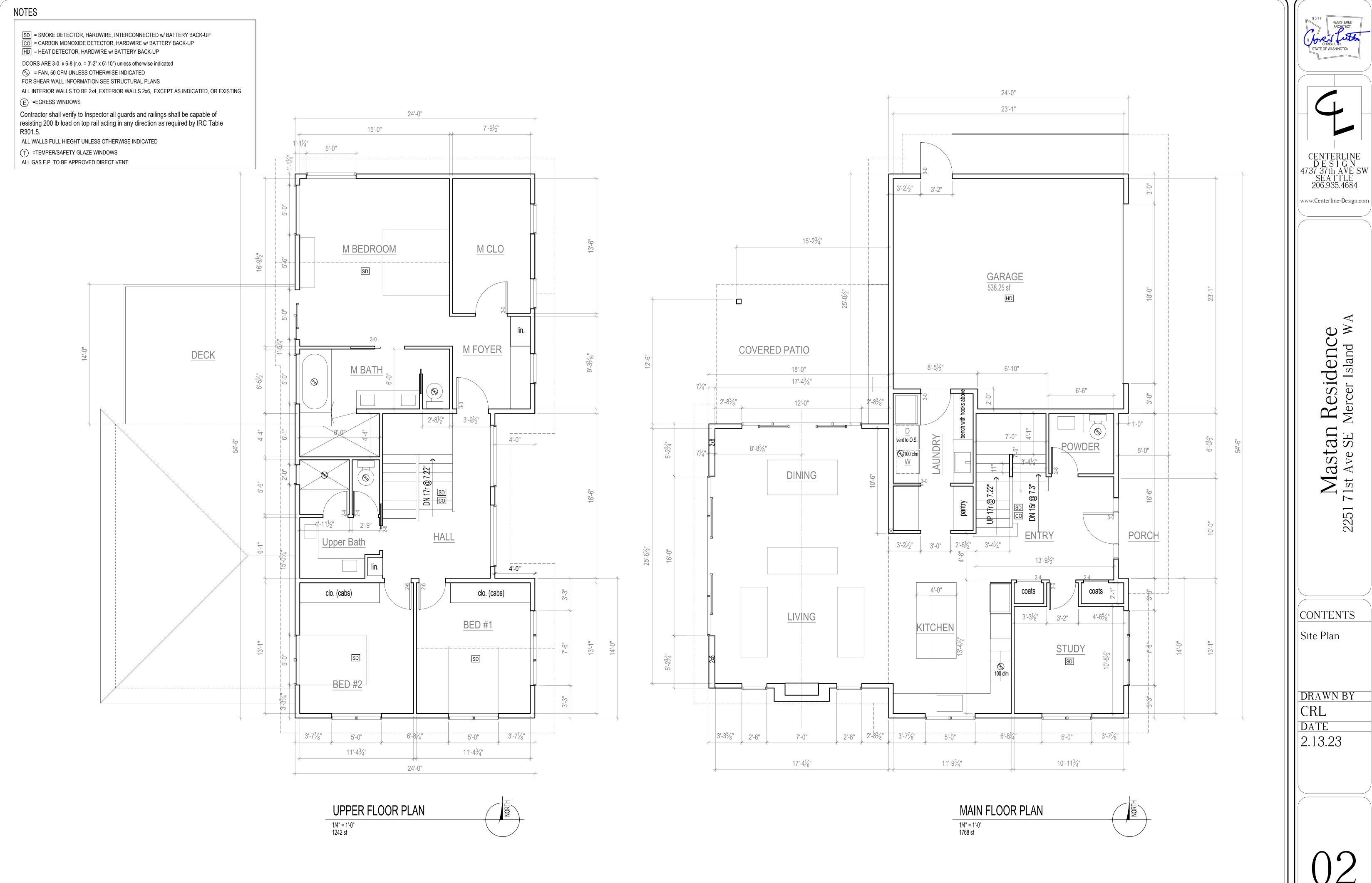
Parcel # = 3307700270 Legal Description: HIGHPARK ADD PLat Block: 3 Plat Lot: 16 ZONING = R-9.6lot size = 7,291 sf

Owner

ALI MASTAN 2251 71st Ave SE MERCER ISLAND WA 98040

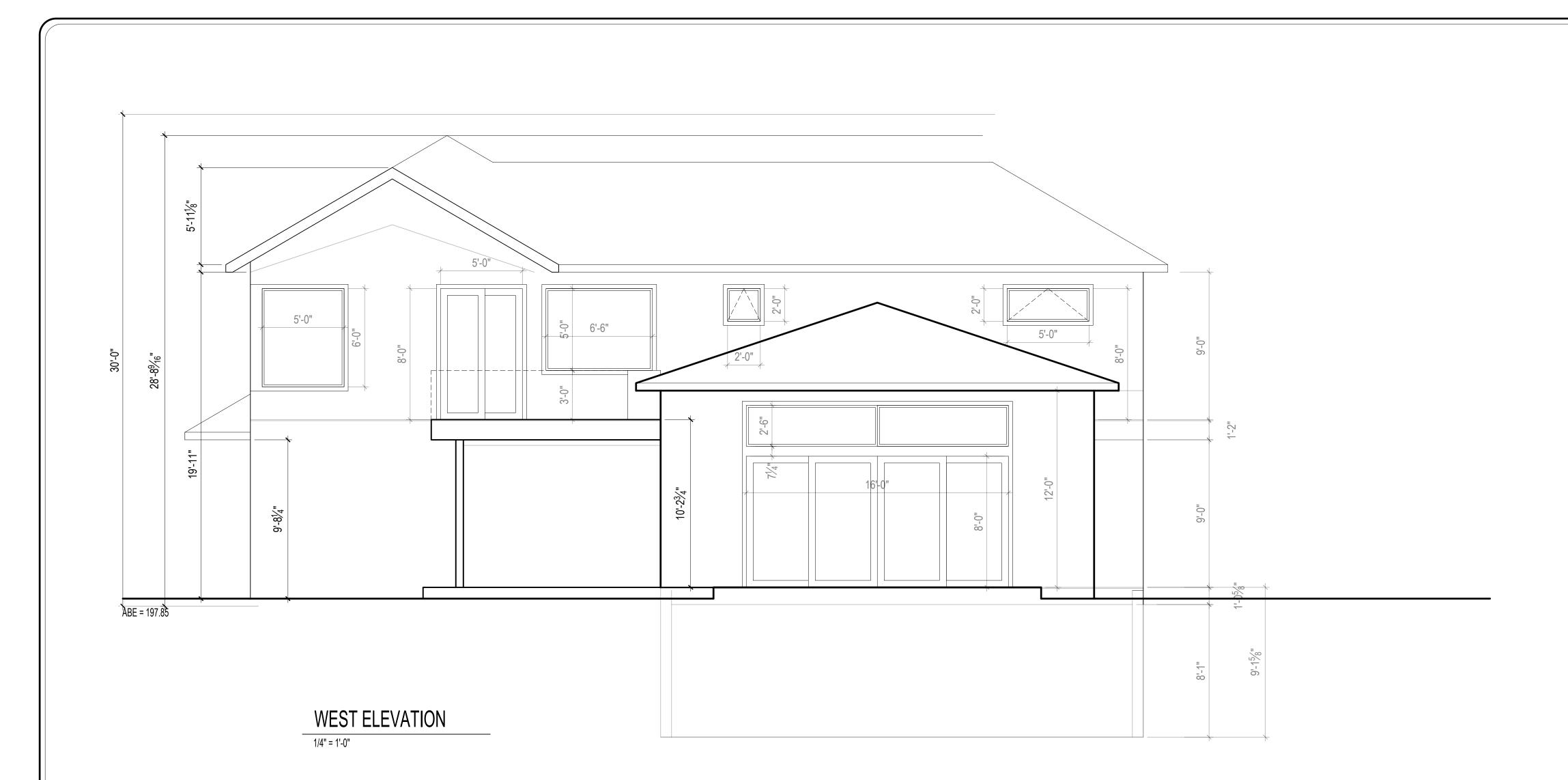
NFPA 13R and NFPA 72 Monitored "Chapter 29" Fire Alarm System to be installed per CoMI and NFPA Standards required.

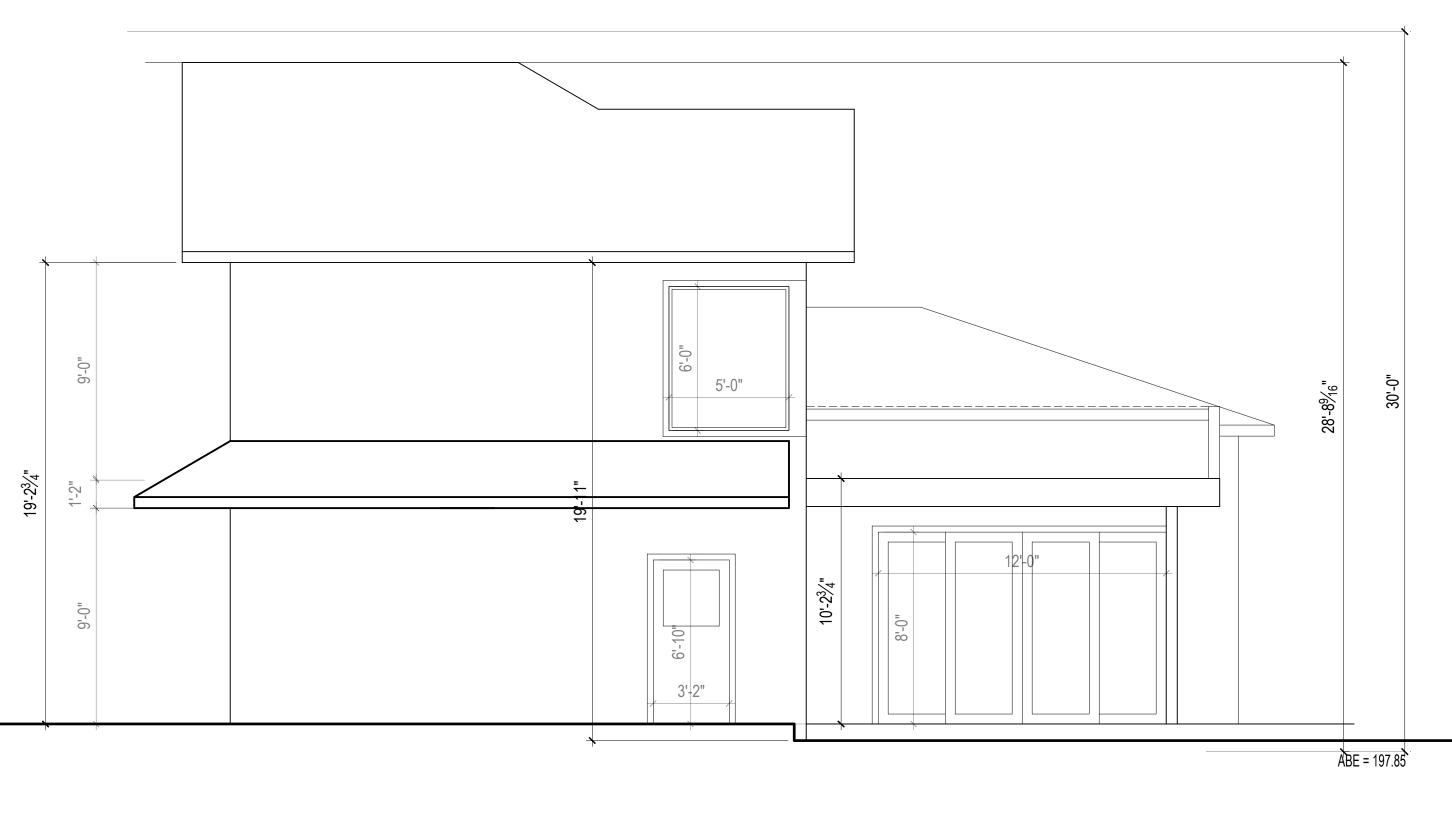






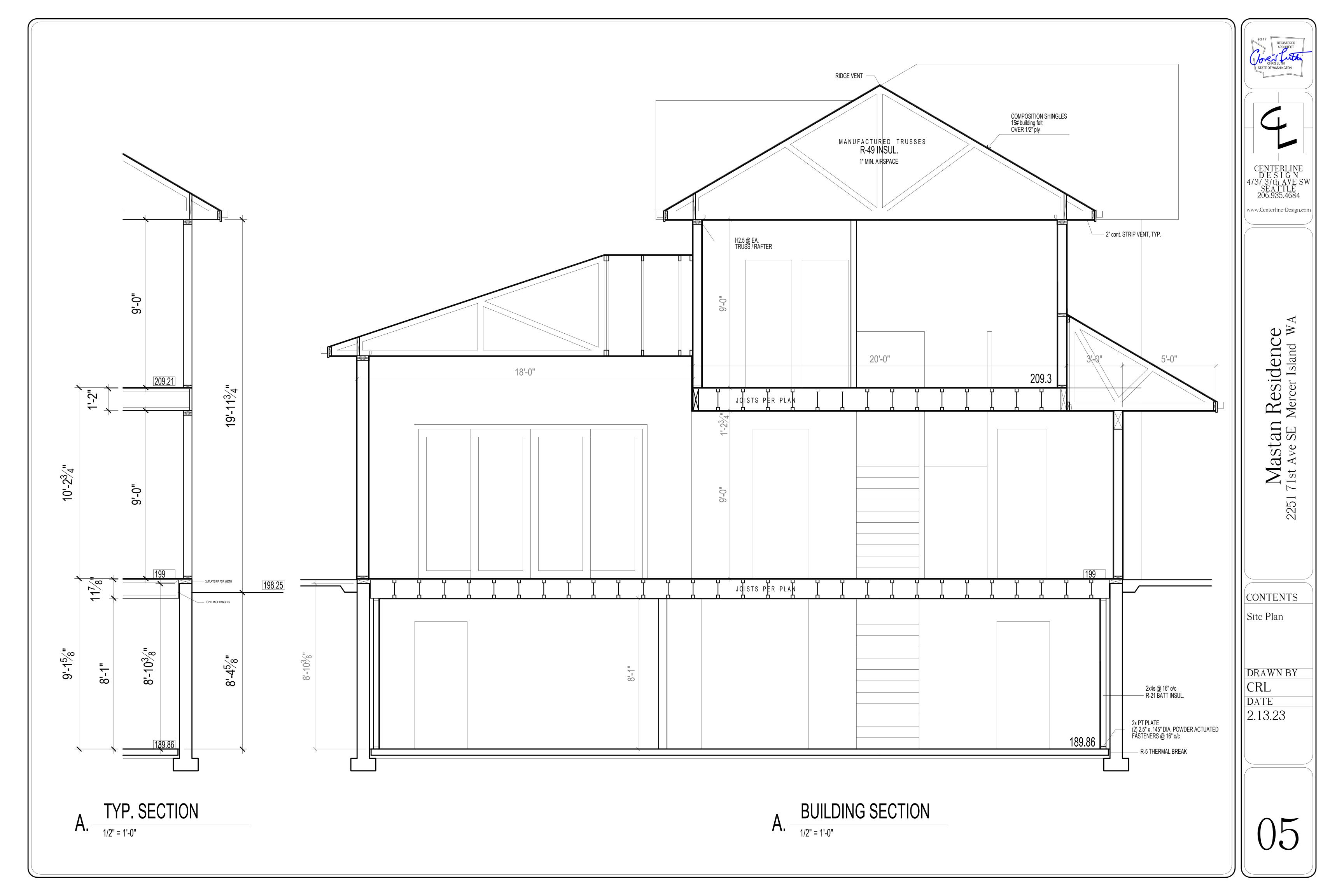
segment	length	%cover
а	15	100
b c d e	1	100
С	14	100
d	24	81
	3	100
f	18	79
g	26.46	100
h	18	100
I	2	100
g h i j k	2 8.92	100
k	2	100
	14.08	100
perim=	146.46	wtd
		full
raw FAR	1222	
full cover :	= 8.0	
excepted	area =	11





NORTH ELEVATION





Energy Code Info - Primary

2018 WA STATE PRESCRIPTIVE PATH HEATED FLOOR AREA = 4232 SF LESS THAN 5000 SF HEATED SPACE - 6 CREDITS REQ.

energy credit option credit value summary

2	1	heat pump
2.2	1	2.0 ACH + HRV
3.5	1.5	central HP, HSPF>=11
4.1	0.5	AH in heated space
5.5	2	elec. HP WH
total credits	6	

PRIMARY RESIDENCE HVAC NOTES

DUCTED HEAT PUMP (HSPF>11.0) INT. AIR HANDLER HEAT RECOVERY VENTILATION REQUIRED VENTING = CONTINUOUS 120CFM SET TO OPERATE AT 240 CFM FOR 2 HOURS IN EA. 4 HR PERIOD (50%) PROVIDED BY VARIABLE SPEED HIGH EFF. FAN (MAX .35 WATTS/CFM) CONTOLLED TO OPERATE AT LOW SPEED IN VENTILATION MODE ONLY.

design professional or builder shall complete and post an "Insulation Certificate for **Residential Construction**" within 3' of the electrical panel prior to final inspection.

Maximum flow rates for shower heads and kitchen sink - 1.75 GPM or less. All other lavatory faucets - 1.0 GPM or less.

Per WSEC R402.4, The building thermal Envelope shall be constructed to limit air leakage to 2.0 air changes per hour maximum. The results of the test shall be signed by the party conducting the test and provided to the code official (R402.4.1.2). Per WSEC R403.1.1, at least one thermostat per dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule. Per WSEC R403.2.2, Ducts, air handlers, and filter boxes shall be sealed. Per WSEC R404.1, A minimum of 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps.

		All Climate Zones (Table R402.1.1)		
		R-Value ^a	U-Factor ^a	
Fen	estration U-Factor ^b	n/a	0.30	
Sky	light U-Factor ^b	n/a	0.50	
Gla	zed Fenestration SHGC ^{b,e}	n/a	n/a	
Cei	ing ^e	49	0.026	
Wo	od Frame Wall ^{g,h}	21 int	0.056	
Floo	or	30	0.029	
Bel	ow Grade Wall ^{c,h}	10/15/21 int + TB	0.042	
Slak	o ^{d,f} R-Value & Depth	10, 2 ft	n/a	
b c	"10/15/21 +5TB" means R-10 continuous insulation on the exterior of the wall, or R-15 continuous insulation on the interior of the wall, or R-21 cavity insulation plus a thermal break between the slab and the basement wall at the interior of the basement wall. "10/15/21 +5TB" shall be permitted to be met with R-13 cavity insulation on			
d	 the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the wall. "5TB" means R-5 thermal break between floor slab and basement wall. R-10 continuous insulation is required under heated slab on grade floors. See Section R402.2.9.1. 			
е	For single rafter- or joist-vaulted ceilings, the insulation may be reduced to R-38 if the full insulation depth extends over the top plate of the exterior wall.			
f	slab insulation when applied t	stalled over an existing slab is deemed to o existing slabs complying with Section R ermal barriers protecting foam plastics.	be equivalent to the required perimeter 503.1.1. If foam plastic is used, it shall	
g	For log structures developed i <i>climate zone</i> 5 of ICC 400.	n compliance with Standard ICC 400, log	walls shall meet the requirements for	
h	Int. (intermediate framing) denotes framing and insulation as described in Section A103.2.2 including standard framing 16 inches on center, 78% of the wall cavity insulated and headers insulated with a minimum of R-10 insulation.			

ENERGY CREDIT DESCRIPTIONS

2.2

Compliance based on Section R402.4.1.2: Reduce the tested air leakage to 2.0 air changes per hour at maximum 50 Pascals or

For R-2 Occupancies, optional compliance based on Section R402.4.1.2: Reduce the tested air leakage to 0.25 cfm/sf maximum at 50 Pascals and

All whole house ventilation requirements as determined by Section M1507.3 of the International Residential Code or Section 403.8 of the International Mechanical Code shall be met with a heat recovery ventilation system with minimum sensible heat recovery efficiency of 0.65.

3.5

Air-source, centrally ducted heat pump with minimum HSPF of 11.0.

4.1

All supply and return ducts located in an unconditioned attic shall be deeply buried in ceiling insulation in accordance with Section R403.3.7.

For mechanical equipment located outside the conditioned space, a maximum of 10 linear feet of return duct and 5 linear feet of supply duct connections to the equipment may be outside the deeply buried insulation. All metallic ducts located outside the conditioned space must have both transverse and longitudinal joints sealed with mastic. If flex ducts are used, they cannot contain splices.

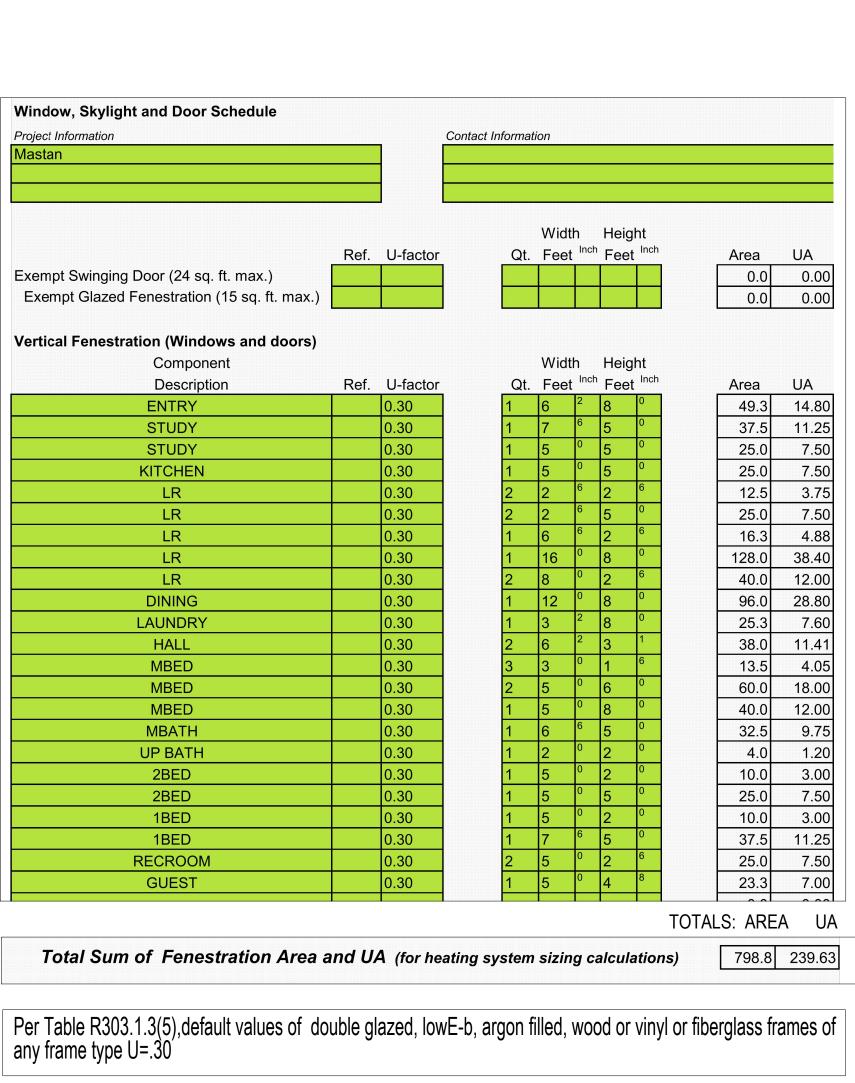
Duct leakage shall be limited to 3 cfm per 100 square feet of conditioned floor area. Air handler(s) shall be located within the conditioned space.

5.5

Water heating system shall include one of the following: Electric heat pump water heater meeting the standards for Tier III of NEEA's advanced water heating specification or For R-2 Occupancy, electric heat pump water heater(s), meeting the standards for Tier III of NEEA's advanced water heating specification, shall supply domestic hot water to all units. If one water heater is serving more than one dwelling unit, all hot water supply and recirculation piping shall be insulated with R-8 minimum pipe insulation.

Project Information
Mastan
Exempt Swingin Exempt Glazed
Vertical Fenest

any frame type U=.30



9317 REGISTERED ARCHITECT CHRIS LUTHI STATE OF WASHINGTON
CENTERLINE DESIGN 4737 37th AVE SW SEATTLE 206.935.4684 www.Centerline-Design.com
Y
Mastan Residence 2251 71st Ave SE Mercer Island WA
CONTENTS Energy Info
DRAWN BY CRL DATE 2.13.23
06

General Structural Notes (GSN's)

- CRITERIA: 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE SEATTLE BUILDING CODE (SBC) WITH WASHINGTON STATE ADMINISTRATIVE CODE AMENDMENTS, 2018 EDITION. 2. DESIGN LOADING CRITERIA ROOF SNOW LOAD $\ldots \ldots 25$ PSF (I_S = 1.0) $S_{S} = 1.39, S_{1} = 0.484, S_{DS} = 1.112, S_{D1} = 0.462$ EQUIVALENT LATERAL FORCE PROCEDURE LIGHT FRAME (WOOD) WALLS AND ROOFS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR $R = 6.5, \ \Omega_0 = 2\frac{1}{2}, \ I_E = 1.0, \ C_d = 4, \ C_s = 0.171$ BASE SHEAR V = 20.2 K - LRFDCOMPONENTS & CLADDING -44.5/-26.7 PSF MAX. AT WALLS (LRFD/ASD) -48.2/-28.9 GROSS UPLIFT AT ROOF (LRFD/ASD) WIND PRESSURES BASED ON LESS THAN 10 SQUARE FOOT TRIBUTARY AREAS NEAR WALL CORNERS OR ROOF EDGES (EXCLUDING CORNER ZONES AT ROOF). REDUCED DESIGN PRESSURES MAY BE CALCULATED IN ACCORDANCE WITH ASCE 7–16 CHAPTER 30. 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ENGINEER OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE BUILDING LAYOUT DIMENSIONS (GRID LAYOUTS, SITE COORDINATES, ETC.) AMONGST ALL TRADES, INCLUDING SHOP FABRICATED ITEMS.
- 4. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING, BOTH FOR VERTICAL LOADS AND LATERAL STABILITY, FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE DRAWINGS.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.
- 6. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN. SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
- 7. ALL STRUCTURAL SYSTEMS COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- 8. SEISMIC BRACING AND/OR GRAVITY SUPPORT AND ANCHORAGE OF ALL MECHANICAL OR ELECTRICAL EQUIPMENT SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON, EXCEPT FOR ELEMENTS SPECIFICALLY SHOWN AND DETAILED ON THE STRUCTURAL DRAWINGS. THE MECHANICAL/ELECTRICAL CONTRACTOR MUST HIRE THE ENGINEER AND IS RESPONSIBLE FOR ALL COSTS RELATED TO THE PURCHASE AND INSTALLATION OF NECESSARY SUPPORTS, BRACING AND ANCHORAGE. SEISMIC BRACING AND ANCHORAGE DESIGN AND CONSTRUCTION SHALL COMPLY WITH CHAPTER 13 OF ASCE 7-10.
- 9. SHOP DRAWING REVIEW: SHOP DRAWINGS FOR TRUSSES SHALL BE SUBMITTED TO THE CONTRACTOR, ARCHITECT, AND ENGINEER OF RECORD FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS. DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, AND THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY. THE REPRODUCIBLE SHALL BE MARKED AND RETURNED. SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.
- 10. DEFERRED SUBMITTALS SHALL BE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF WASHINGTON. THE COMPONENT DESIGNER SHALL BE A REGISTERED STRUCTURAL ENGINEER IF REQUIRED BY THE BUILDING OFFICIAL OF THE LOCAL JURISDICTION. BUILDING COMPONENT SUBMITTALS SHALL INCLUDE THE DESIGNING PROFESSIONAL ENGINEER'S STAMP AND SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO CURSORY REVIEW BY THE ENGINEER OF RECORD FOR LOADS IMPOSED ON THE BASIC STRUCTURE. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE INCLUDING ACCOMMODATION FOR STRUCTURAL DISPLACEMENT PER ASCE 7-10 SECTION 13.3.2. AND ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. DEFERRED SUBMITTALS SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON BASIC STRUCTURE. DESIGN CALCULATIONS SHALL BE INCLUDED IN THE SUBMITTAL. THE CONTRACTOR SHALL FORWARD DEFERRED SUBMITTALS TO THE BUILDING OFFICIAL AND HAVE THE DEFERRED SUBMITTALS ON SITE FOR THE GOVERNING JURISDICTIONS INSPECTORS USE AND REFERENCE. THE FOLLOWING BUILDING COMPONENTS SHALL BE DEFERRED SUBMITTALS FOR THIS PROJECT:

GEOTECHNICAL:

- CONNECTOR PLATE WOOD TRUSSES

11. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS. SHALL CONFORM STRICTLY WITH THE SPECIFICATIONS OR AS DIRECTED BY THE OWNER APPOINTED GEOTECHNICAL ENGINEER. FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH OR CONTROLLED, COMPACTED STRUCTURAL FILL AT LEAST 12" BELOW LOWEST ADJACENT FINISHED GRADE. THE OWNER APPOINTED GEOTECHNICAL ENGINEER SHALL APPROVE FOOTING EXCAVATION/PREPARATION PRIOR TO PLACEMENT OF ALL FOOTINGS.

ALLOWABLE SOIL PRESSURE	2,000 PSF
REFERENCE: ASSUMED PER IBC TABLE 1806.2	
LATERAL EARTH PRESSURE (UNRESTRAINED, LEVEL)	35 PCF
(RESTRAINED, LEVEL)	50 PCF
SEISMIC SURCHARGE PRESSURE	8H, UNIFORM
PASSIVE EARTH PRESSURE (WITH 1.5 FACTOR OF SAFETY)	350 PCF
DADE ODEELDENT OF EDIOTION (WITH A F EADTOR OF OAFETY)	0.4

BASE COEFFICIENT OF FRICTION (WITH 1.5 FACTOR OF SAFETY) 0.4 ALL BOTTOM OF EXTERIOR FOOTINGS, AND INTERIOR FOOTINGS IN AN UNCONDITIONED SPACE, SHALL BE SET 12" BELOW GRADE AT A MINIMUM TO REACH FROST DEPTH.

ANCHORAGE:

12. DRIVE PINS AND OTHER POWDER-ACTUATED FASTENERS SHALL BE ONE OF THE FOLLOWING INSTALLED IN STRICT ACCORDANCE WITH THE ICC-ES REPORTS INDICATED AND MANUFACTURER'S INSTRUCTIONS INCLUDING MINIMUM EMBED REQUIREMENTS: "TE SERIES" (0.157" DIAMETER) AS MANUFACTURED BY ITW RAMSET (ICC-ES NO. 1799); OR "X-U" (0.157" DIAMETER) AS MANUFACTURED BY HILTI, INC. (ICC-ES NO. 2269); OR "STRONG-TIE PDPA" (0.157" DIAMETER) AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. (ICC-ES NO. 2138); OR "CSI PIN" (0.157" DIAMETER) AS MANUFACTURED BY DEWALT/POWERS (ICC-ES NO. 2024); OR AN APPROVED EQUIVALENT IN STRENGTH AND EMBEDMENT. MINIMUM EMBEDMENT IN CONCRETE SHALL BE 1" UNLESS OTHERWISE NOTED. MAINTAIN AT LEAST 3-1/2" TO NEAREST CONCRETE EDGE.

13. EXPANSION BOLTS INTO CONCRETE SHALL BE ONE OF THE FOLLOWING: "KWIK BOLT TZ" AS MANUFACTURED BY HILTI, INC. AND INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. 1917 AND MANUFACTURER'S INSTRUCTIONS; OR "STRONG-BOLT 2" AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. AND INSTALLED IN STRICT ACCORDANCEW ITH ICC-ES REPORT NO. 3037 AND MANUFACTURER'S INSTRUCTIONS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICC-ES REPORTS INDICATING EQUIVALENT OR GRATER LOAD CAPACITIES. IN ADDITION, SUBSTATIONS SHALL MEET ICC-ES ACCEPTANCE CRITERIA AC193. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT INSTALLATION. EXPANSION BOLTS SHALL NOT BE USED AS SUBSTITUTES FOR EMBEDDED ANCHOR BOLTS UNLESS SPECIFICALLY APPROVED BY THE STRUCTURAL ENGINEER. NOTIFY ENGINEER IF BOLT LOCATIONS CONFLICT WITH REINFORCING STEEL - DO NOT CUT REINFORCING OR REDUCE EMBEDMENT DEPTHS WITHOUT PRIOR APPROVAL.

CONCRETE:

14. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 318-14 CHAPTER 26 AND ACI 301. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'C = 4,000 PSI PSI AT ALL CONCRETE EXPOSED TO WEATHER). MAXIMUM WATER-CEMENTITIOUS MATERIAL RATIO INTERIOR SLABS SHALL BE BETWEEN 0.40 AND 0.44. ALL CONCRETE SHALL BE EXPOSURE CLASS SO, WO, AND CO PER ACI 318-14 TABLES 19.3.1.1 AND 19.3.2.1 EXCEPT AS NOTED BELOW. ALL CONCRETE EXPOSED TO EARTH (FOUNDATIONS, ETC.): (FO, SO, WO, C1)

ALL CONCRETE EXPOSED TO WEATHER: (F1, S0, W0, C1) SEE SPECIFICATIONS FOR SHRINKAGE REDUCING CONCRETE MIX CRITERIA WHERE INDICATED ON D CONCRETE MIXES SHALL MEET OR EXCEED THE REQUIREMENTS SPECIFIED ABOVE. MIXES SHALL SUBMITTED TO THE ENGINEER AND BUILDING OFFICIAL FOR APPROVAL TWO WEEKS PRIOR TO PLA ANY CONCRETE AND SHALL INCLUDE THE AMOUNTS OF CEMENT, CEMENTITOUS MATERIAL, FINE COARSE AGGREGATE, WATER AND ADMIXTURES, AS WELL AS THE WATER-CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 318-14, CHAP AND 27. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFOR PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAI FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

- 15. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, fy = 60,000 PSI. GRADE 60 REINFORCING BARS WHICH ARE TO BE WELDED SHALL CONFORM TO ASTM A706. REINFORCEMEN COMPLYING WITH ASTM A615(S1) MAY BE WELDED ONLY IF MATERIAL PROPERTY REPORTS INDICA CONFORMANCE WITH WELDING PROCEDURES SPECIFIED IN A.W.S. D1.4 ARE SUBMITTED. WELDED W FABRIC SHALL CONFORM TO ASTM A1064.
- 16. REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH / 315-99 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT IN ACCORDANCE WITH "REINFORCE SPLICE AND DEVELOPMENT LENGTH SCHEDULE" OF 10/S3.1. PROVIDE CORNER BARS AT ALL WAL FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 12" AT S AND ENDS. NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLE OTHERWISE NOTED ON THE DRAWINGS OR APPROVED BY THE STRUCTURAL ENGINEER.

7. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:	
FOOTINGS AND OTHER UNFORMED SURFACES	
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
FORMED SURFACES EXPOSED TO EARTH	
	4.19

- 18. BONDING AGENT SHALL BE "MASTEREMACO ADH 326" BY BASE CORPORATION. OR EQUIVALENT. SHALL BE USED WHERE NEW CONCRETE IS PLACED AGAINST HARDENED CONCRETE. PLACE IN S ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, INCLUDING PREPARATION OF EXISTING SURFA CONCRETE SHALL BE CONSIDERED HARDENED AFTER 56 DAYS.
- 19. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIX PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. GROUT STRENGTH S AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (6,000 PSI MINIMUM).

IBC TABLE 1705.3 REQUIRED SPECIAL INSPECTIONS AND TESTS OF CONCRETE CONSTRUCTION

	AND LESIS OF CONCR	LIL UU	лоп	NUCHUN
REQUIRED?	VERIFICATION & INSPECTION	CONTINUOUS	PERIODIC	REF STD.
N/A	1. INSPECT REINFORCEMENT, INCLUDING PRESTRESSING TENDONS AND VERIFY PLACEMENT.		Х	ACI 318 CH. 20, 25.2, 25.3, 26.5.1-26.5.3
N/A	 REINFORCING BAR WELDING: VERIFY WELDABILITY OF REINFORCING BARS OTHER THAN ASTM A 706. INSPECT SINGLE-PASS FILLET WELDS, MAXIMUM 5/16": AND 		Х	AWSD1.4 ACI 318 26.5.4
	C. INSPECT ALL OTHER WELDS	Х	Х	
YES	3. INSPECT ANCHORS CAST IN CONCRETE.		х	ACI 318: 17.8.2
N/A	 4. INSPECT ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS. A. ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS B. MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DEFINED IN 4.A 	X	х	ACI 318: 17.8.2.4 ACI 318:17.8.2
N*	5. VERIFY USE OF REQUIRED DESIGN MIX.		Х	ACI 318: CH. 19, 26.4.3, 26.4.4
N*	6. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	x		ASTM C 172 ASTM C 31 ACI 318: 26.4.5, 26.12
N*	7. INSPECT CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	х		ACI 318: 26.4.5
N*	8. VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.		Х	ACI 318: 26.4.7-26.4.9
N/A	9. INSPECT PRESTRESSED CONCRETE FOR: A. APPLICATION OF PRESTRESSING FORCES; AND B. GROUTING OF BONDED PRESTRESSING TENDONS	X X		ACI 318: 26.9.2.1 ACI 218: 26.9.2.3
N/A	10. INSPECT ERECTION OF PRECAST CONCRETE MEMBERS.		х	ACI 318: CH. 26.8
N*	 VERIFY IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST-TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCT'L SLABS. 		х	ACI 318: 26.10.2
N*	12. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.		х	ACI318: 26.10.1(b)

20. FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCI W.C.L.I.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 17 OR W.W.P.A. WESTERN LU GRADING RULES. FURNISH TO THE FOLLOWING MINIMUM STANDARDS: OLICE AC FID NO. 7 OD CTUD ODAD

PLATES, LEDGERS & MISC.	DOUGLAS FIR NO. 3 OR STU	ID GRADE
LIGHT FRAMING:	MIN. BASIC DESIGN STRESS,	$F_{b} = 525 \text{ PSI}, \text{ E} = 140$
		$F_{c} = 775 \text{ PSI}, F_{t} = 32$
JOISTS & RAFTERS:	DOUGLAS FIR NO. 2	
	MIN. BASIC DESIGN STRESS,	$F_{b} = 900 \text{ PSI}, \text{ E} = 160$
		$F_{c} = 1350 \text{ PSI}, F_{t} = 5$
BEAMS:	DOUGLAS FIR NO. 1	
4x_	MIN. BASIC DESIGN STRESS,	$F_{b} = 1000 \text{ PSI}, \text{ E} = 17$
		$F_{c} = 1500 \text{ PSI}, F_{t} = 6$
6x_	MIN. BASIC DESIGN STRESS,	$F_{b} = 1350 \text{ PSI}, \text{ E} = 16$
		$F_{c} = 925 \text{ PSI}, F_{t} = 67$
COLUMNS:	DOUGLAS FIR NO. 1	
		E _ 1000 DSL E _ 17
4x_	MIN. BASIC DESIGN STRESS,	$F_b = 1000 \text{ PSI}, E = 17$ $F_c = 1500 \text{ PSI}, F_t = 6$
6x	MIN. BASIC DESIGN STRESS,	
0	MIN. DASIC DESIGN STRESS,	$F_{c} = 1000 \text{ PSI}, E = 1000 \text{ PSI}, F_{t} = 8300000000000000000000000000000000000$
		$1c = 1000 + 3i, t_{\rm f} = 0.$

20. MANUFACTURED LUMBER SHALL BE AS MANUFACTURED BY TRUS JOIST OR APPROVED EQUAL. FOR APPROVAL AS EQUAL WILL REQUIRE SUBMITTAL OF ICC REPORT EQUIVALENT TO ESR-1387 I LAMINATED VENNER LUMBER (LVL, LAMINATED STRAND LUMBER (LSL), OR PARALLEL STRAND LUM (PSL). THE MINIMUM ALLOWABLE DESIGN VALUES ARE AS FOLLOWS: $LVL - F_b = 2,600$ $F_v = 290$ PSI E = 2,000,000 PSI

21. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND A.I.T.C. STANDARDS IN ACCORDANCE WITH SBC SECTION 2303.1.3. EACH MEMBER SHALL BEAR AN A.I.T.C. IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN A.I.T.C. CERTIFICATE OF CONFORMANCE. HORIZONTAL MEMBERS AND INCLINED MEMBERS OF LESS THAN 1:1 SLOPE SHALL HAVE A RADIUSED CAMBER OF 3,500 FT. UNLESS OTHERWISE NOTED.

 $LSL - F_b = 1,900$ $F_v = 150$ PSI E = 1,300,000 PSI

SIMPLE SPAN BEAMS DOUGLAS FIR COMBINATION 24F-V4 $F_b = 2400 \text{ PSI}; F_v = 265 \text{ PSI}; E = 1,800,000 \text{ PSI}$

CONTINUOUS OR DOUGLAS FIR COMBINATION 24F-V8 CANTILEVERED BEAMS $F_b = 2400 \text{ PSI}; F_v = 265 \text{ PSI}; E = 1,800,000 \text{ PSI}$

THESE MEMBERS ARE NOTED AS '*' IN PLAN

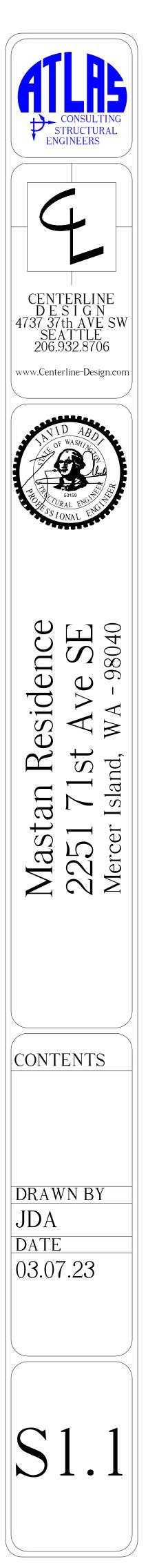
GLUED LAMINATED MEMBERS EXPOSED TO WEATHER OR MOISTURE SHALL BE TREATED WITH A NON-CORROSIVE, APPROVED PRESERVATIVE.

22. ROOF & WALL SHEATHING SHALL BE APA RATED, EXTERIOR OR EXPOSURE 1 PLYWOOD OR ORIENTED STRAND BOARD (OSB) IN CONFORMANCE WITH SBC SECTION 2303.1.5. SHEATHING SHALL BE MANUFACTURED UNDER THE PROVISIONS OF VOLUNTARY PRODUCT STANDARDS DOC PS 1-09, PS 2-10. OR APA PRP-108 PERFORMANCE STANDARDS AND POLICIES FOR STRUCTURAL USE PANELS. SEE DRAWINGS FOR THICKNESS, SPAN RATING, AND NAILING REQUIREMENTS.

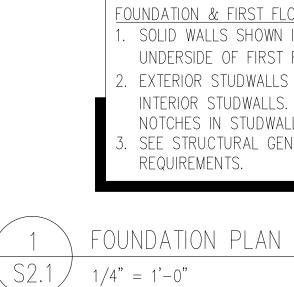
Minimum Connectors and Easteners for Wood Members per SPC 2019

WITH ACI 318—14 = 4,000 PSI (4,500 ERIAL RATIO FOR	23. PREFABRICATED CONNECTOR PLATE W ACCORDANCE WITH ANSI/TPI I-2007 , ON THE DRAWINGS. DESIGN LOADS SH	AND IBC SECTION 2303.4 FOR THE SP	
SURE CLASSES FO, ELOW.	ROOF TRUSSES TOP CHORD LIVE LOAD		SF, RAIN ON SNOW SURCHARGE
D, C1)	BOTTOM CHORD LIVE LOAD	0 PSF	, NAIN ON SNOW SONOHANOL
/0, C1) ATED ON DRAWINGS. IS SHALL BE	BOTTOM CHORD DEAD LOAD	5 PSF	
S SHALL BE OR TO PLACING		"	NTS & CLADDING ROOF LOADS
AL, FINE AND IO, SLUMP,	THE TRUSS MANUFACTURER SHALL CO PLUMBING, MECHANICAL UNITS, DUCTS		
3–14, CHAPTER 26 THAT INFORMATION	PRIOR TO TRUSS FABRICATION. THE T LOADS ASSOCIATED WITH SUCH ITEMS		
JPPLIER MAINTAINS	AND APPROVED HANGER CONNECTION SYSTEM COMPONENTS AS APPLICABLE		PORT OF HUNG MECHANICAL
RADE 60	WOOD TRUSSES SHALL UTILIZE APPRO		DR FOUAL). SHOP DRAWINGS
IFORCEMENT RTS INDICATING	AND CALCULATIONS SHALL BE PROVID STRUCTURAL ENGINEER OF RECORD PI	ED AS A DEFERRED SUBMITTAL TO TH	E CONTRACTOR AND
WELDED WIRE	INDICATE SHAPES, BEARING POINTS, IN SPECIAL HIP, VALLEY, AND INTERSECT	ITERSECTIONS, HIPS, VALLEYS, ETC. E	XACT COMPOSITION OF
NCE WITH ACI	TRUSSES, ETC.) SHALL BE DETERMINE) BY THE MANUFACTURER UNLESS OT	HERWISE NOTED ON THE
REINFORCEMENT AT ALL WALL AND	DRAWINGS. THE TRUSS MANUFACTURE DETAILS AND REQUIRED CONNECTION I		
DF 12" AT SIDES BENT UNLESS	DETAILS FOR ALL TEMPORARY AND PE	RMANENT TRUSS BRACING AND BRIDO	SING.
DEINT UNLESS	24. AT NON-SHEAR WALL EXTERIOR WALL (NOMINAL) WITH SPAN RATING OF ²⁴ %		
	PANEL EDGES); AND 8d @ 12" oc		
. 3"	25. ALL PRESSURE—TREATED (P.T.) WOOD GROUND AND CONTINUOUSLY PROTECT		
. 1½"	PRESSURE-TREATED WITH DOT SODIUM	BORATE (SBX) WITHOUT NaSIO2. AT	LOCATIONS PERMANENTLY
JIVALENT, AND	EXPOSED TO WEATHER OR IN CONTAC PRESSURE-TREATED WITH ALKALINE C	OPPER QUAT (ACQ-C FOR DOUGLAS-	FIR) PRESERVATIVE UNLESS
LACE IN STRICT TING SURFACES.	OTHERWISE NOTED. AMMONIACAL COPF PRESERVATIVES WITH AMMONIA CARRII	ERS, SHALL NOT BE ÙSED.	
	GLUED LAMINATED MEMBERS EXPOSED NON-CORROSIVE, APPROVED PRESERV	ATIVE.	
ALL BE MIXED AND STRENGTH SHALL BE	SEE NOTE #27 FOR MATERIAL REQUIR PRESSURE-TREATED MEMBERS.	EMENTS OF CONNECTORS AND FASIEN	IERS IN CUNTACT WITH
	26. TIMBER CONNECTORS CALLED OUT BY		
INS	COMPANY, AS SPECIFIED N THEIR WOO INSTALL NUMBER AND SIZE OF FASTEI	NERS AS SPECIFIED BY MANUFACTURE	R. CONNECTORS SHALL BE
IBC REF.	INSTALLED IN ACCORDANCE WITH THE CONNECT TWO MEMBERS, CENTER STR	AP ON JOINT AND INSTALL NUMBER A	ND SIZE OF FASTENERS AS
, 1908.4	SPECIFIED BY MANUFACTURER, WITH E BOLTS IN WOOD MEMBERS SHALL CON	FORM TO ASTM A307. INSTALL WASHE	ERS UNDER THE HEADS AND
	NUTS OF ALL BOLTS AND LAG SCREW AND THE SAME GRADE (MINIMUM) AS		LL BE SEASONED AND DRIED
	ALL TIMBER CONNECTORS IN CONTACT		
	CHEMICALS OTHER THAN DOT SODIUM Z _{MAX} STEEL BY SIMPSON (G185 STEEL		
	ALTERNATIVELY, CONNECTORS CAN BE GALVANIZED PER ASTM B695, CLASS		
4	WITH STAINLESS STEEL CONNECTORS, USED WITH GALVANIZED CONNECTORS.	AND HOT DIP GALVANIZED FASTENERS	
, 1904.1, 1904.2,	27. WOOD FRAMING NOTES: THE FOLLOWIN	G SHALL APPLY UNLESS OTHERWISE I	NOTED ON THE DRAWINGS:
1908.2, 1908.3	A. ALL WOOD FRAMING DETAIL	S SHALL BE CONSTRUCTED TO THE M LL CONFORM TO SBC TABLE 2304.9.1	INIMUM STANDARDS OF THE
, 1908.10		SIZE AND LOCATION OF ALL OPENIN INSTALL WASHERS UNDER THE HEADS	
1908.6, 1908.7, 1908.8	AND LAG SCREWS BEARING	ON WOOD. INSTALLATION OF LAG SCI AND INSTALLATION OF BOLTS SHALL (REWS SHALL CONFORM TO
1908.9	SECTION 11.1.3.		
1		S MINIMUM SHALL BE INSTALLED AT T NOTED. INSTALL SOLID BLOCKING FOR	
8	FLOOR SPACES TO SUPPOR		
2	BELOW WITH 16d NAILS @	12" oc STAGGERED OR BOLTED TO CC	NCRETE WITH 5%ӯ ANCHOR
	x 0.229" PLATE WASHERS	C SECTION 2308.6 (EMBED 7"), UNLE SHALL BE USED WITH ALL SILL PLATE	ANCHOR BOLTS AND
)		PWS-2008 SECTION 4.3.6.4.3. INDIVIDU LED TO EACH OTHER WITH 16d @ 12'	
		: INSTALL SOLID BLOCKING AT ALL BE	
NFORMANCE WITH VESTERN LUMBER	JOISTS TO SUPPORTS WITH	(2)16d NAILS. ATTACH TIMBER JOIST AL JOIST HANGERS IN ACCORDANCE W	S TO FLUSH HEADERS OR
	MULTI-JOIST BEAMS TOGET	HER WITH 16d@12"oc STAGGERED.	
SI, E = 1400 KSI 'SI, F _t = 325 PSI	AND NAILED AS SHOWN ON	NG SHALL BE LAID UP WITH GRAIN PE THE DRAWINGS. INSTALL APPROVED	PANEL EDGE CLIPS CENTERED
SI, E = 1600 KSI	EDGES SHALL HAVE APPRC	AT UNBLOCKED ROOF SHEATHING EDG VED TONGUE-AND-GROOVE JOINTS O	R SHALL BE SUPPORTED WITH
PSI, $F_t = 575$ PSI		SPACING AT ALL PANEL EDGES AND (ING TO SUPPORTS WITH 16d@12"oc. I	
PSI, E = 1700 KSI PSI, F _t = 675 PSI	SECTION 1604.8.3, DECKS S	SHALL BE POSITIVELY ANCHORED TO T TO WITHDRAWAL. ANCHOR WITH MIN	THE STRUCTURE BY MEANS
PSI, E = 1600 KSI SI, $F_t = 675$ PSI	EACH END ATTACHED TO D	ECK JOISTS AND TO A SOLID BLOCKIN	
	BUILDING.		
PSI, E = 1700 KSI PSI, F _t = 675 PSI		DIAMETER AND LENGTH SHALL BE AS NAIL SIZE ON DRAWINGS	DIAMETER x LENGTH
	SHEATHING NAILS	8d 10d	0.131" x 2¼" 0.148" x 2½"
PSI, E = 1600 KSI			$\rightarrow \Sigma$
PSI, E = 1600 KSI PSI, F _t = 825 PSI	FRAMING NAILS	10d	0.148" × 3"
PSI, $F_t = 075$ FSI PSI, $F_t = 1600$ KSI PSI, $F_t = 825$ PSI EQUAL. REQUESTS ESR-1387 FOR TRAND LUMBER	FRAMING NAILS	10d 16d	_

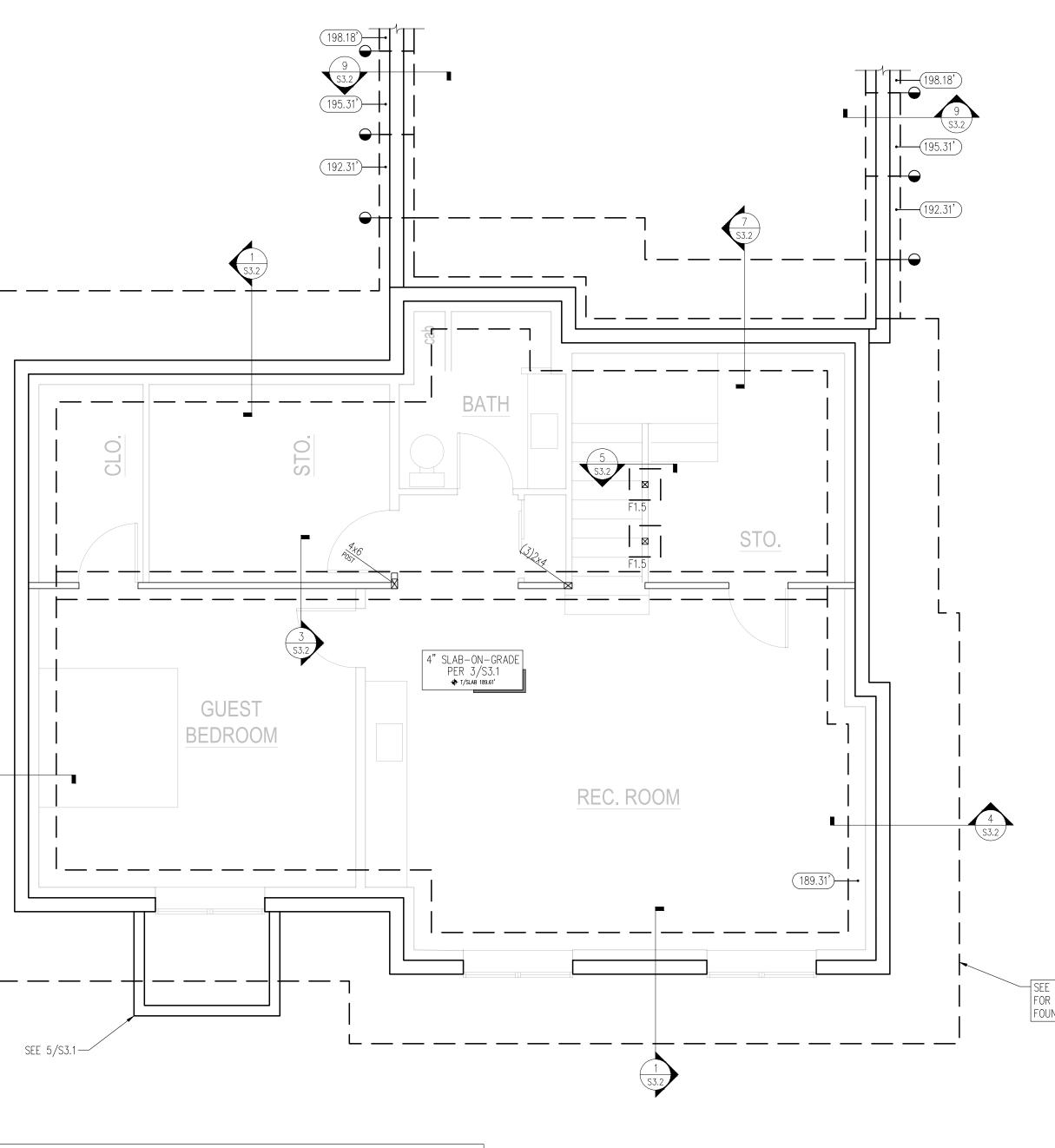
DECUBI	PTION OF BLDG. ELEMENT	NUMBER AND TYPE OF FASTENERS	SPACING &	DEC	CRIPTION OF BLDG. ELEMENT	NUMBER AND TYPE OF FASTENERS	SPACING &
DESUKI	I HUN OF DLUG. ELEMENT	ROOF	LOCATION		UNIT HUN OF BLUG. ELEMENT	WALL (CONTINUED)	LOCATION
C 0 P	LOCKING BETWEEN EILING JOISTS, RAFTERS, R TRUSSES TO TOP LATE OR OTHER RAMING BELOW	3-8d COMMON ($2\frac{1}{2}$ " x 0.131"); or 3-10d BOX (3" x 0.128"); or 3-3" x 0.131" NAILS; or 3-3" x 14 GAGE STAPLES, $\frac{7}{16}$ " CROWN	EACH END, TOENAIL	15.	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST, OR BLOCKING AT SHEARWALL	2–16d COMMON ($3\frac{1}{2}$ " x 0.162"); or 3–16d BOX ($3\frac{1}{2}$ " x 0.135"); or 4–3" x 0.131" NAILS; or 4–3" x 14 GAGE STAPLES, $\frac{7}{16}$ " CROWN	16" oc FACE NA
R A P	LOCKING BETWEEN AFTERS OR TRUSS NOT T THE WALL TOP LATE, TO RAFTER OR RUSS	OR TRUSS NOT WALL TOP O RAFTER OR $2-3^{"} \times 0.131"$ NAILS $2-3^{"} \times 14$ GAGE STAPLESTOENAILTOENAIL0 RAFTER OR $2-16d$ COMMON ($3\frac{1}{2}" \times 0.162"$)END NAILBOTTOM PLATE		4-8d COMMON (2½" x 0.131"); or 4-10d BOX (3" x 0.128"); or 4-3" x 0.131" NAILS; or 4-3" x 14 GAGE STAPLES, ½6" CROWN	TOENAIL		
	LAT BLOCKING TO RUSS AND WEB FILLER	$3-3" \times 0.131"$ NAILS $3-3" \times 14$ GAGE STAPLES 16d COMMON ($3\frac{1}{2}" \times 0.162"$) @ 6" oc $3" \times 0.131"$ NAILS @ 6" oc	FACE NAIL			2–16d COMMON (3½" x 0.162"); or 3–10d BOX (3" x 0.128"); or 3–3" x 0.131" NAILS; or 3–3" x 14 GAGE STAPLES, ½6" CROWN	END NAIL
	EILING JOISTS TO TOP LATE	3" x 14 GAGE STAPLES @ 6" oc 3-8d COMMON (2½" x 0.131"); or 3-10d BOX (3" x 0.128"); or 3-3" x 0.131" NAILS; or 3-3" x 14 GAGE STAPLES, $\frac{7}{16}$ " CROWN	EACH JOIST, TOENAIL	17.	TOP OR BOTTOM PLATE TO STUD	2–16d COMMON (3½" x 0.162"); or 3–10d BOX (3" x 0.128"); or 3–3" x 0.131" NAILS; or 3–3" x 14 GAGE STAPLES, 7/6" CROWN	END NAIL
A R P (S	EILING JOIST NOT TTACHED TO PARALLEL AFTER, LAPS OVER ARTITION (NO THRUST) SEE 2308.7.3.1, TABLE 308.7.3.1)	$3-3^{\circ}$ x 14 GAGE STAPLES, γ_{16}° CROWN $3-16d$ COMMON ($3\frac{1}{2}^{\circ}$ x 0.162"); or $4-10d$ BOX (3° x 0.128"); or $4-3^{\circ}$ x 0.131" NAILS; or $4-3^{\circ}$ x 14 GAGE STAPLES, γ_{16}° CROWN	FACE NAIL		TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS 1" BRACE TO EACH STUD	2-16d COMMON $(3\frac{1}{2}" \times 0.162")$; or 3-10d BOX $(3" \times 0.128")$; or 3-3" $\times 0.131"$ NAILS; or 3-3" $\times 14$ GAGE STAPLES, $\frac{7}{16}"$ CROWN 2-8d COMMON $(2\frac{1}{2}" \times 0.131")$; or	FACE NAIL
ł. C T(EILING JOIST ATTACHED O PARALLEL RAFTER HEEL JOINT)	PER TABLE 2308.7.3.1	FACE NAIL	10.	AND PLATE	2-10d BOX ($3^{"}$ x 0.128"); or 2-3" x 0.131" NAILS; or 2-3" x 14 GAGE STAPLES, 7_{16} " CROWN	FACE NAIL
	OLLAR TIE TO RAFTER	3-10d COMMON (3" x 0.148"); or 4-10d BOX (3" x 0.128"); or 4-3" x 0.131" NAILS; or	FACE NAIL	20.	1" x 6" SHEATHING TO EACH BEARING	2-8d COMMON (2½" x 0.131"); or 2-10d BOX (3" x 0.128"); or	FACE NAIL
	AFTER OR ROOF TRUSS O TOP PLATE (SEE	4-3" x 14 GAGE STAPLES, 7/6" CROWN 3-10d COMMON (3" x 0.148"); or	TOENAIL	21.	1" x 8" AND WIDER SHEATHING TO EACH BEARING	3-8d COMMON (2½" x 0.131"); or 3-10d BOX (3" x 0.128"); or	FACE NAIL
2	308.7.5, TABLE 308.7.5)	3–16d BOX (3½" x 0.135"); or 4–10d BOX (3" x 0.128"); or 4–3" x 0.131" NAILS; or 4–3" x 14 GAGE STAPLES, ½6" CROWN		22.	JOIST TO SILL, TOP PLATE, OR GIRDER	FLOOR 3-8d COMMON (2½" x 0.131"); or 3-10d BOX (3" x 0.128"); or 3-3" x 0.131" NAILS; or	TOENAIL
V. 0	ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTERS; OR ROOF RAFTER TO 2" RIDGE BEAM $2-16d$ COMMON ($3\frac{1}{2}$ " x 0.162"); or $3-10d$ BOX (3 " x 0.128"); or $3-3$ " x 0.131 NAILS; or $3-3$ " x 14 GAGE STAPES, $\frac{7}{16}$ " CROW 3-10d COMMON ($3\frac{1}{2}$ " x 0.148"); or $3-16d$ BOX ($3\frac{1}{2}$ " x 0.135"); or		END NAIL TOENAIL	23.	RIM JOIST, BAND JOIST, OR BLOCKING TO TOP PLATE, SILL, OR OTHER FRAMING BELOW	3-3" x 14 GAGE STAPLES, 7/6" CROWN 8d COMMON (2½" x 0.131"); or 10d BOX (3" x 0.128"); or 3" x .131" NAILS; r 3" x 14 GAGE STAPLES, 7/6" CROWN	6" o.c., TOENAIL
		4–10d BOX (3" x 0.128"); or 4–3" x 0.131 NAILS; or 4–3" x 14 GAGE STAPES, ½6" CROWN		24.	1" x 6" SUBFLOOR OR LESS TO EACH JOIST	2-8d COMMON (2½" x 0.131"); or 2-10d BOX (3" x 0.128")	FACE NAIL
8. STUD TO STUD (NOT AT SHEARWALL CHORDS)		WALL 16d COMMON (3½" x 0.162")"	24" oc FACE NAIL	25.	2" SUBFLOOR TO JOIST OR GIRDER	2-16d COMMON (3½" x 0.162")	FACE NAIL
		10d BOX (3" x 0.128"); or 3" x 0.131" NAILS; or 3–3" x 14 GAGE STAPLES, ½6" CROWN	16" oc FACE NAIL		2" PLANKS (PLANK & BEAM — FLOOR & ROOF)	2-16d COMMON (3½" x 0.162")"	EA. BEARING, FACE NAIL
A IN	TUD TO STUD AND BUTTING STUDS AT ITERSECTION WALL ORNERS	16d COMMON (3½" x 0.162")"; or 16d BOX (3½" x 0.135")"; or 3" x 0.131" NAILS; or	16" oc FACE NAIL 12" oc FACE NAIL 12" oc FACE NAIL	27.	BUILT-UP GIRDERS AND BEAMS, 2"LUMBER LAYERS	20d COMMON (4" x 0.192")	32" o.c., FACE NAIL TOP & BOT STAGGERED ON OPPOSITE SIDES
0. B	UILT-UP HEADER	$3-3" \times 14$ GAGE STAPLES, $\frac{7}{6}"$ CROWN 16d COMMON ($3\frac{1}{2}" \times 0.162"$)"; or	16" oc EA. EDGE,			10d BOX (3" x 0.128"); or 3" x 0.131" NAILS; or 3" x 14 GAGE STAPLES, 沾6" CROWN	24" o.c., FACE NAIL AT TOP & BOT. STAGGERED ON OPP. SIDES
(2	2" TO 2" HDR.)	16d BOX (3½" x 0.135")	FACE NAIL 12" oc EA. EDGE, FACE NAIL			AND: 2-20d COMMON (4" x 0.192"); or 3-10d BOX (3" x 0.128"); or	ENDS AND AT EACH SPLICE,
	ONTINUOUS HEADER TO TUD	4-8d COMMON (2½" x 0.131"); or 4-10d BOX (3" x 0.128")	TOENAIL			3–3" x 0.131" NAILS; or 3–3" x 14 GAGE STAPLES, 7/6" CROWN	FACE NAIL
	OP PLATE TO TOP LATE	16d COMMON (3½" x 0.162"); or 10d BOX (3" x 0.128"); or 3" x 0.131" NAILS; or 3" x 14 CACE STADLES 7/" CROWN	16" oc FACE NAIL 12" oc FACE NAIL	28.	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3–16d COMMON (3½" x 0.162"); or 4–10d BOX (3" x 0.128"); or 4–3" x 0.131" NAILS; or 4–3" x 14 GAGE STAPLES, 7/6" CROWN	EACH JOIST OR RAFTER, FACE NAIL
	OP PLATE TO TOP LATE, AT END JOINTS	3" x 14 GAGE STAPLES, 7/6" CROWN 8–16d COMMON (3½" x 0.162"); or 12–10d BOX (3" x 0.128"); or 12–3" x 0.131" NAILS; or 12–3" x 14 GAGE STAPLES, 7/6" CROWN	EACH SIDE OF END JOINT, FACE NAIL (MINIMUM 24" LAP SPLICE LENGTH EA. SIDE OF END JOINT		JOIST TO BAND JOIST OR RIM JOIST	3-16d COMMON ($3\frac{1}{2}$ " x 0.162"); or 4-10d BOX (3 " x 0.128"); or 4-3" x 0.131" NAILS; or 4-3" x 14 GAGE STAPLES, $\frac{7}{16}$ " CROWN	END NAIL
R O	OTTOM PLATE TO JOIST, IM JOIST, BAND JOIST, R BLOCKING NOT AT HEARWALL	16d COMMON (3½" x 0.162")"; or 16d BOX (3½" x 0.135")"; or 3" x 0.131" NAILS; or 3" x 14 GAGE STAPLES, ½6" CROWN	16" oc FACE NAIL	30.	BRIDGING OR BLOCKING TO JOIST, RAFTER, OR TRUSS	2-8d COMMON (2½" x 0.131"); or 2-10d BOX (3" x 0.128"); or 2-3" x 0.131" NAILS; or 2-3" x 14 GAGE STAPLES, 7 ₆ " CROWN	EACH END, TOENAIL



CONCRETE FOUNDATION
STEP IN FOOTING PER 6/S3.1
CONCRETE WALL
DENOTES TOP OF FOOTING ELEVATION
STRUCTURAL WOOD STUDWALL ABOVE
POST ABOVE
DENOTES SHEARWALL TENSION TIE PER 4/S6.5 or 8/S6.5 * – denotes transfer tie from tie above ^S – denotes tie atop steel beam, see 8/S6.5



4 \$3.2



FOUNDATION & FIRST FLOOR PLAN NOTES 1. SOLID WALLS SHOWN IN PLAN ARE ABOVE FOUNDATION LEVEL (FROM FOUNDATION TO UNDERSIDE OF FIRST FLOOR FRAMING). 2. EXTERIOR STUDWALLS SHALL BE 2x6 STUDS @ 16" oc (MAX). SEE ARCHITECTURAL FOR

INTERIOR STUDWALLS. SEE 6/6.2, 5/S6.2, AND 2/S6.2 FOR ALLOWABLE HOLES & NOTCHES IN STUDWALL STUDS AND TOP & BOTTOM PLATES.
3. SEE STRUCTURAL GENERAL NOTES #14 - 19 FOR CONCRETE AND CONCRETE REINFORCING

NORTH



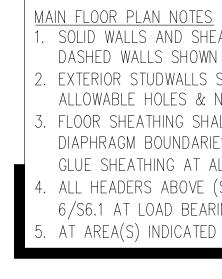
SEE TABLE ON 1/S3.2 FOR ACCEPTABLE FOUNDATION DIMS, TYP.

<u>LEGEND</u>		low	STEP IN FOOTING PER 6/S3.1
[]	CONCRETE WALL BELOW		CONCRETE FOUNDATION
1====1	STRUCTURAL WOOD STUDWALL BELOW	SW	DENOTES EXTENT OF SHEARWALL TYPE SW−_ PER 1/S6.5 🖒
	STRUCTURAL WOOD STUDWALL ABOVE	SW*	DENOTES STRAPPED SHEARWALL PER 7/S6.5, WITH DENOTING STRAP PER SCHEDULE ABOVE & BELOW OPENING
[]	POST BELOW		
	POST ABOVE	HDU•	DENOTES SHEARWALL TENSION TIE PER 4/S6.5 or 8/S6.5
	WOOD JOIST		* – DENOTES TRANSFER TIE FROM TIE ABOVE ^S – DENOTES TIE ATOP STEEL BEAM, SEE 8/S6.5
	WOOD BEAM or HEADER	STRAP × LENGTH	DENOTES STRAP TYPE BY LENGTH, CENTERED ON ABUTTING ELEMENTS

HDU2

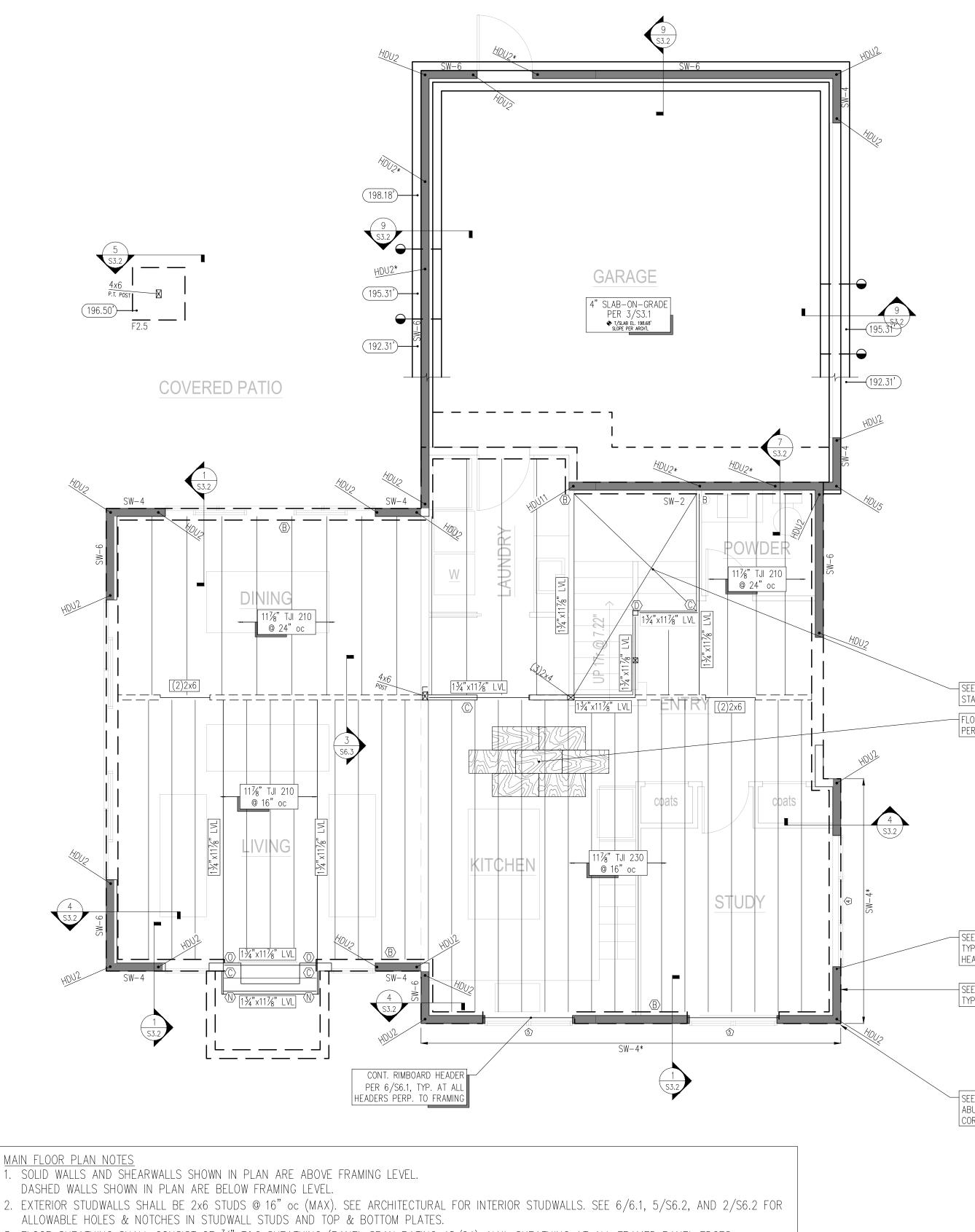
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HDU2









3. FLOOR SHEATHING SHALL CONSIST OF 3/4" T&G SHEATHING (PANEL SPAN RATING 48/24). NAIL SHEATHING AT ALL FRAMED PANEL EDGES, DIAPHRAGM BOUNDARIES, BLOCKING, AND SHEAR WALLS w/ 10d @ 6" oc; AND AT ALL INTERMEDIATE SUPPORTS w/ 10d @ 12" oc (SEE 3/S6.2). GLUE SHEATHING AT ALL SUPPORTS w/ ADHESIVE CONFORMING TO ASTM SPECIFICATION D3498. 4. ALL HEADERS ABOVE (SEE 1/S2.03) SHALL HAVE A MINIMUM NUMBER OF POSTS PER 4/S6.1 AT NON-LOAD BEARING EXTERIOR WALLS, AND PER

6/S6.1 AT LOAD BEARING EXTERIOR WALLS 5. AT AREA(S) INDICATED AS BLOCKED DIAPHRAGM, INSTALL 2x FLAT BLOCKING AT ALL UNFRAMED PANEL EDGES. NAIL SHEATHING PER PLAN NOTE 3.





SEE S6.6 FOR STAIR DETAILS, TYP. FLOOR SHEATHING PER PLAN NOTE 1

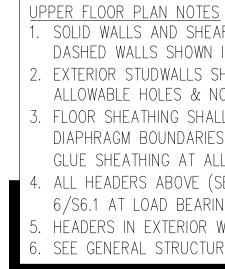
SEE PLAN NOTE 4, TYP. BELOW ALL HEADERS ABOVE U.N.O SEE PLAN NOTE 2, TYP. AT EXT. WALLS

SEE 2/S6.6, TYP. AT ABUTTING SHEARWALL CORNERS

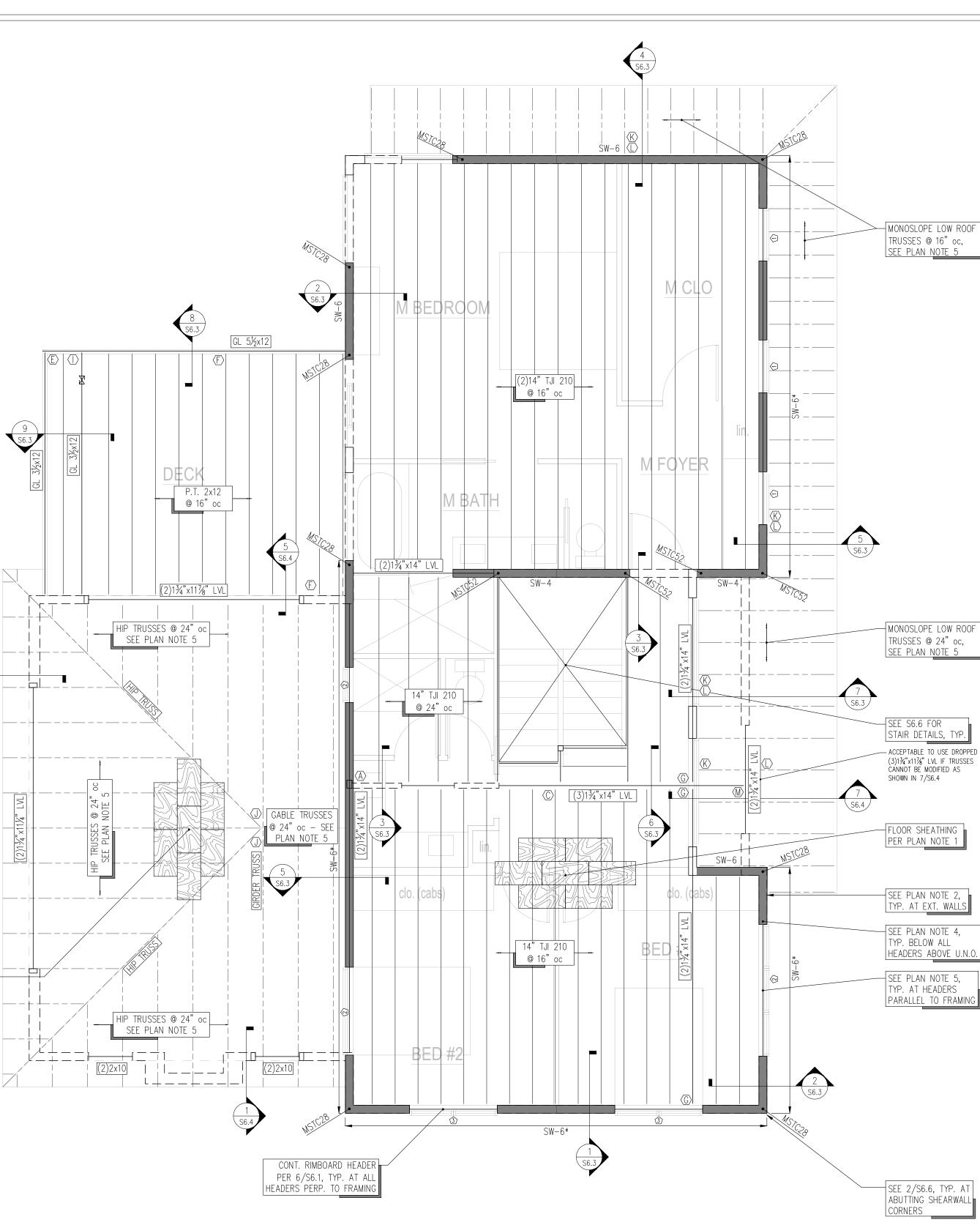
LEGEND				
1====1	STRUCTURAL WOOD STUDWALL BELOW	SW	DENOTES EXTENT OF SHEARWALL TYPE SW—_ PER 1/S6.5	
	STRUCTURAL WOOD STUDWALL ABOVE	SW*	DENOTES STRAPPED SHEARWALL PER 7/S6.5, WITH ☆DENOTING STRAP PER SCHEDULE ABOVE & BELOW OPENING	
[]	POST BELOW		SCHEDOLE ADOVE & DELOW OF ENHAU	
	POST ABOVE	HDU	DENOTES SHEARWALL TENSION TIE PER 4/S6.5 or 8/S6.5	
	WOOD JOIST	•	* – DENOTES TRANSFER TIE FROM TIE ABOVE ^S – DENOTES TIE ATOP STEEL BEAM, SEE 8/S6.5	
	WOOD BEAM or HEADER		DENOTES STRAP TYPE BY LENGTH, CENTERED ON ABUTTING ELEMENTS	

ROOF SHEATHING PER S2.4 PLAN NOTE 1

1 56.4







1. SOLID WALLS AND SHEARWALLS SHOWN IN PLAN ARE ABOVE FRAMING LEVEL.

DASHED WALLS SHOWN IN PLAN ARE BELOW FRAMING LEVEL. 2. EXTERIOR STUDWALLS SHALL BE 2x6 STUDS @ 16" oc (MAX). SEE ARCHITECTURAL FOR INTERIOR STUDWALLS. SEE 6/6.1, 5/S6.2, AND 2/S6.2 FOR ALLOWABLE HOLES & NOTCHES IN STUDWALL STUDS AND TOP & BOTTOM PLATES.

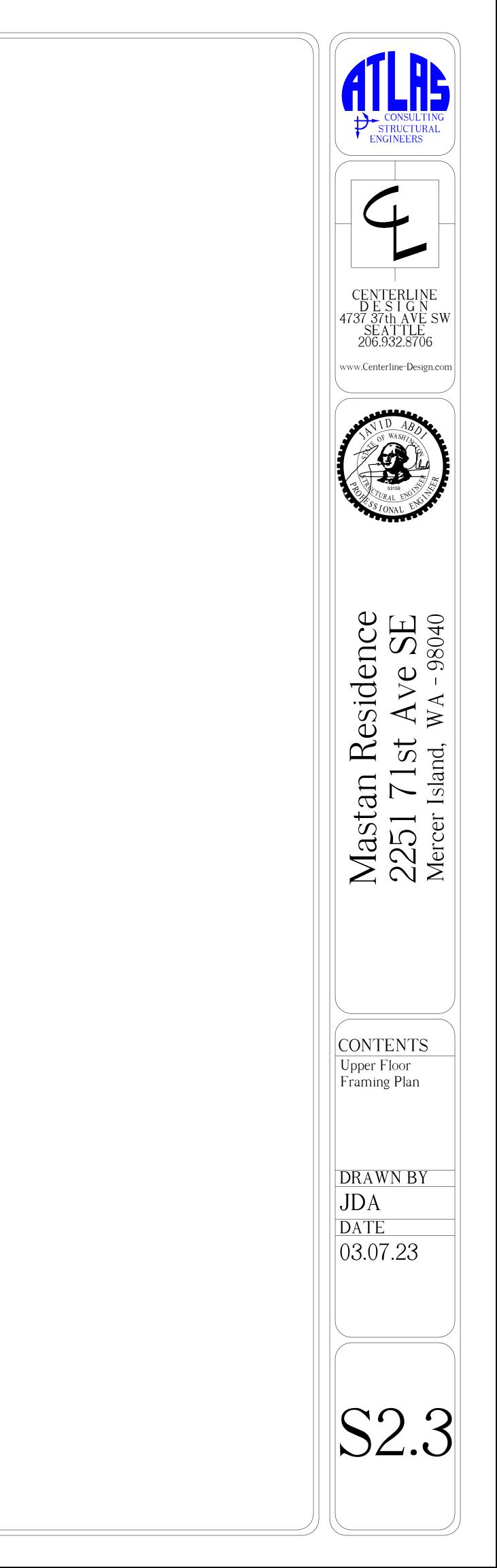
3. FLOOR SHEATHING SHALL CONSIST OF ³/₄" T&G SHEATHING (PANEL SPAN RATING 48/24). NAIL SHEATHING AT ALL FRAMED PANEL EDGES, DIAPHRAGM BOUNDARIES, BLOCKING, AND SHEAR WALLS w/ 10d @ 6" oc; AND AT ALL INTERMEDIATE SUPPORTS w/ 10d @ 12" oc (SEE 3/S6.2). GLUE SHEATHING AT ALL SUPPORTS w/ ADHESIVE CONFORMING TO ASTM SPECIFICATION D3498.

4. ALL HEADERS ABOVE (SEE 1/S2.03) SHALL HAVE A MINIMUM NUMBER OF POSTS PER 4/S6.1 AT NON-LOAD BEARING EXTERIOR WALLS, AND PER 6/S6.1 AT LOAD BEARING EXTERIOR WALLS 5. HEADERS IN EXTERIOR WALLS NOT SUPPORTING RAFTERS, JOISTS, OR BEAMS SHALL BE PER DETAIL 4/S6.1 U.N.O. IN PLAN.

SEE GENERAL STRUCTURAL NOTE #23 FOR CONNECTOR PLATE ROOF TRUSS REQUIREMENTS.







TRUSSES @ 16" oc, SEE PLAN NOTE 5

MONOSLOPE LOW ROOF TRUSSES @ 24" oc, SEE PLAN NOTE 5

SEE S6.6 FOR STAIR DETAILS, TYP. - ACCEPTABLE TO USE DROPPED (3)1¾"x11%" LVL IF TRUSSES CANNOT BE MODIFIED AS SHOWN IN 7/S6.4

FLOOR SHEATHING PER PLAN NOTE 1

SEE PLAN NOTE 2, TYP. AT EXT. WALLS

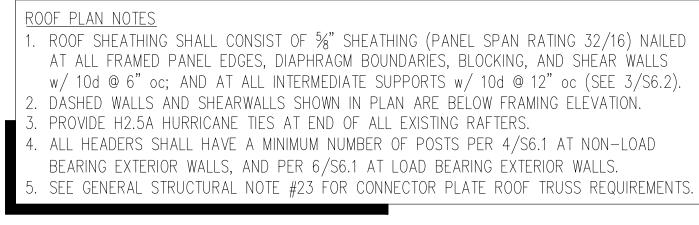
SEE PLAN NOTE 4, TYP. BELOW ALL HEADERS ABOVE U.N.O. SEE PLAN NOTE 5, TYP. AT HEADERS PARALLEL TO FRAMING

SEE 2/S6.6, TYP. AT ABUTTING SHEARWALL CORNERS

<u>LEGEND</u>

 I = _ _ _ I
 STRUCTURAL WOOD

 STUDWALL BELOW
 CI POST BELOW — – – — CONNECTOR PLATE WOOD TRUSS _____ DENOTES STRAP TYPE BY LENGTH, CENTERED ON ABUTTING ELEMENTS └- STRAP x LENGTH





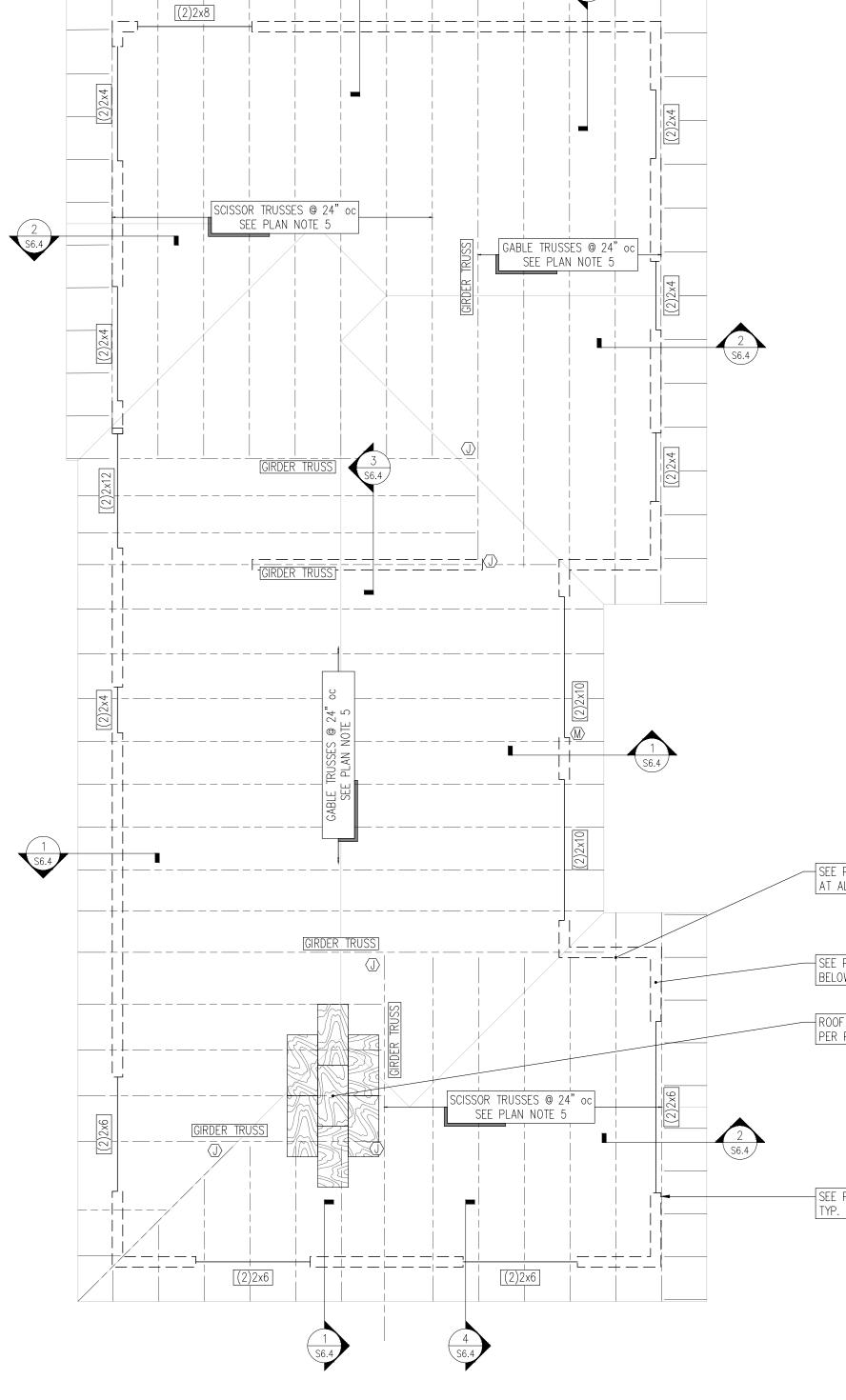




3. PROVIDE H2.5A HURRICANE TIES AT END OF ALL EXISTING RAFTERS. 4. ALL HEADERS SHALL HAVE A MINIMUM NUMBER OF POSTS PER 4/S6.1 AT NON-LOAD BEARING EXTERIOR WALLS, AND PER 6/S6.1 AT LOAD BEARING EXTERIOR WALLS.

w/ 10d @ 6" oc; AND AT ALL INTERMEDIATE SUPPORTS w/ 10d @ 12" oc (SEE 3/S6.2). 2. DÁSHED WALLS AND SHEARWALLS SHOWN IN PLAN ARE BELOW FRAMING ELEVATION.

1. ROOF SHEATHING SHALL CONSIST OF 5%" SHEATHING (PANEL SPAN RATING 32/16) NAILED AT ALL FRAMED PANEL EDGES, DIAPHRAGM BOUNDARIES, BLOCKING, AND SHEAR WALLS



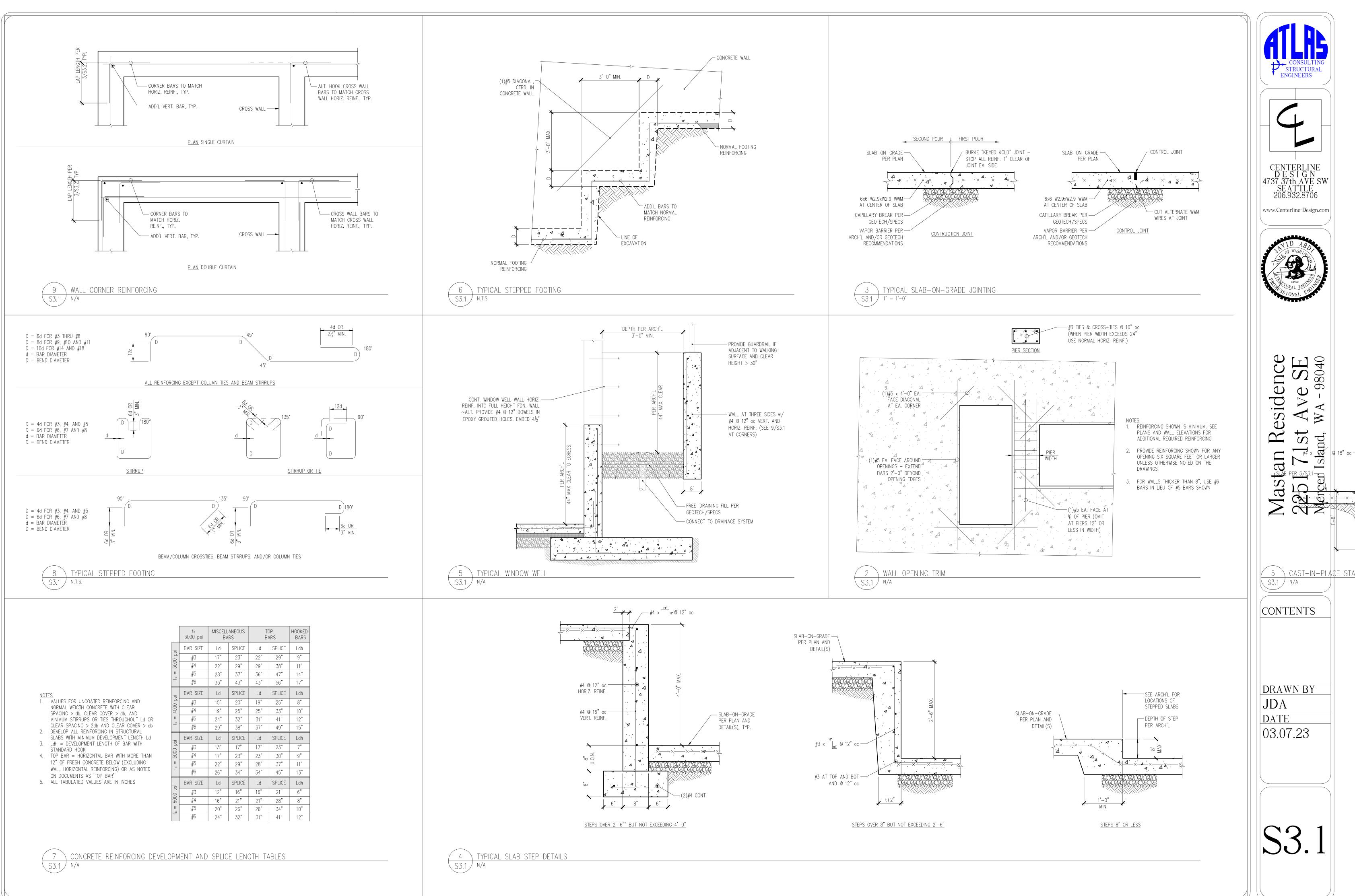


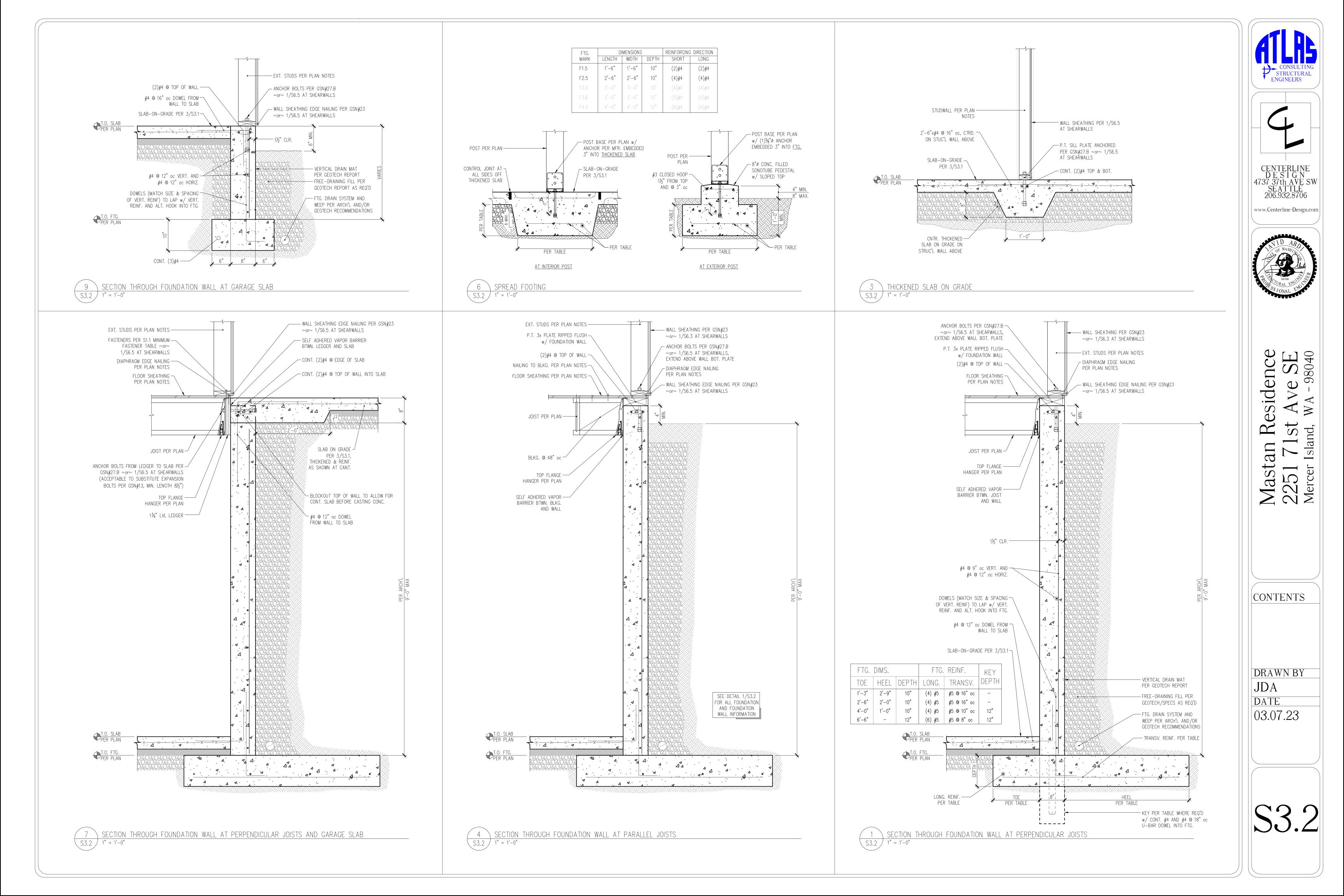
- SEE PLAN NOTE 3, TYP AT ALL ROOF MEMBERS

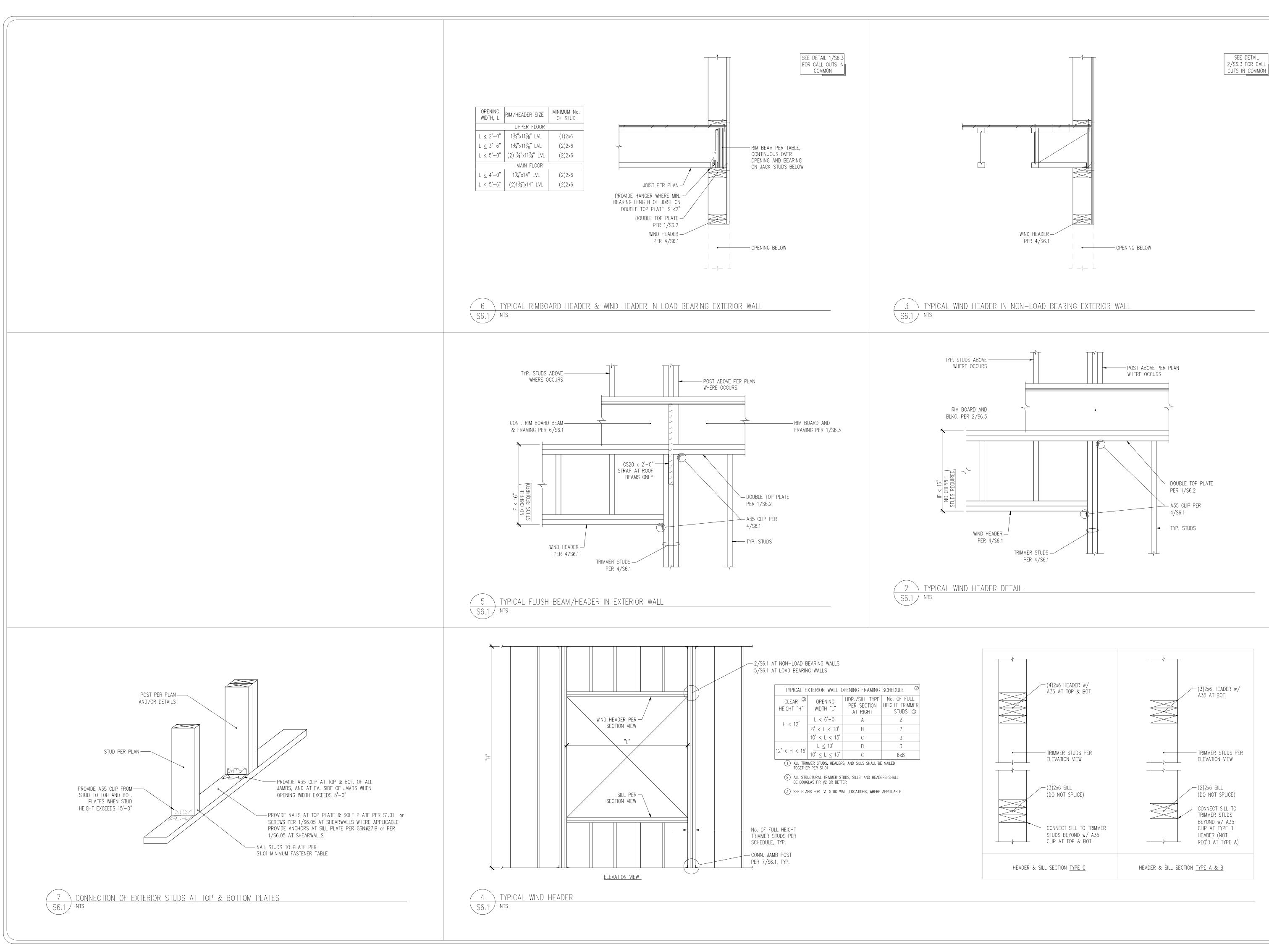
SEE PLAN NOTE 4, TYP. BELOW ALL HEADERS U.N.O.

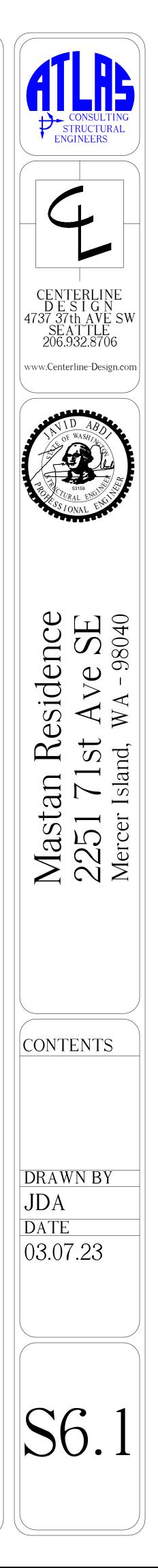
ROOF SHEATHING PER PLAN NOTE 1

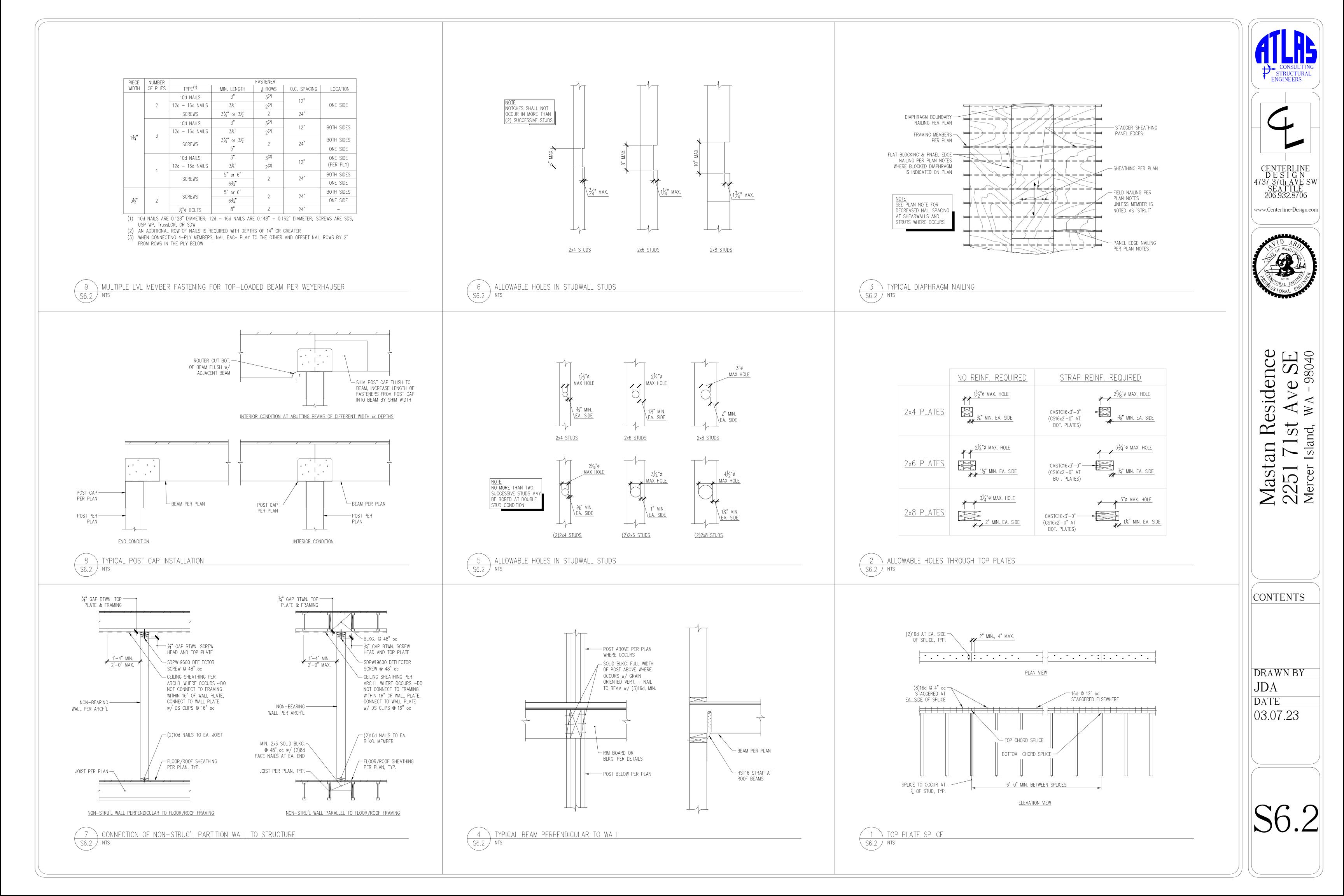
SEE PLAN NOTE 2, TYP. AT EXT. WALLS

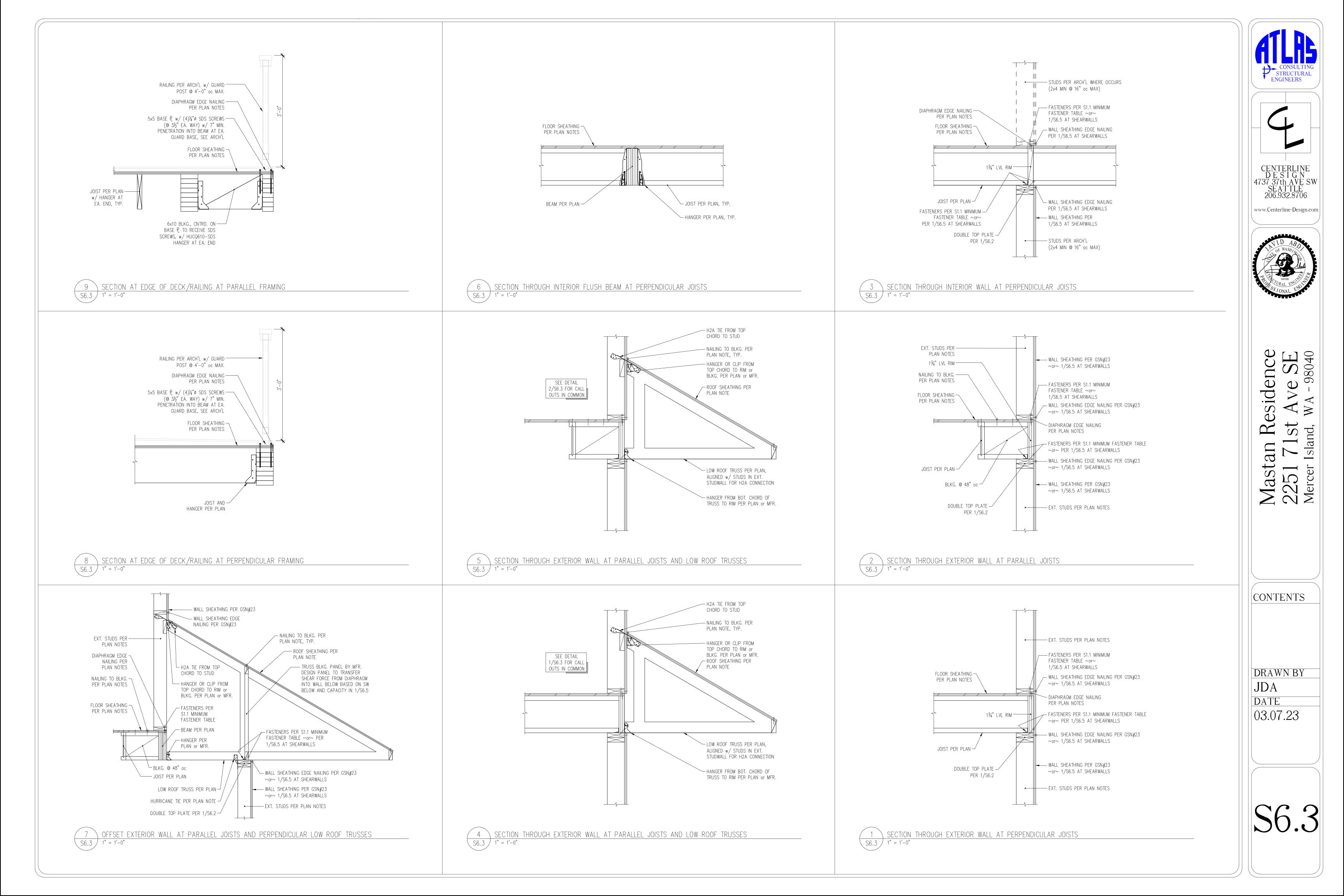


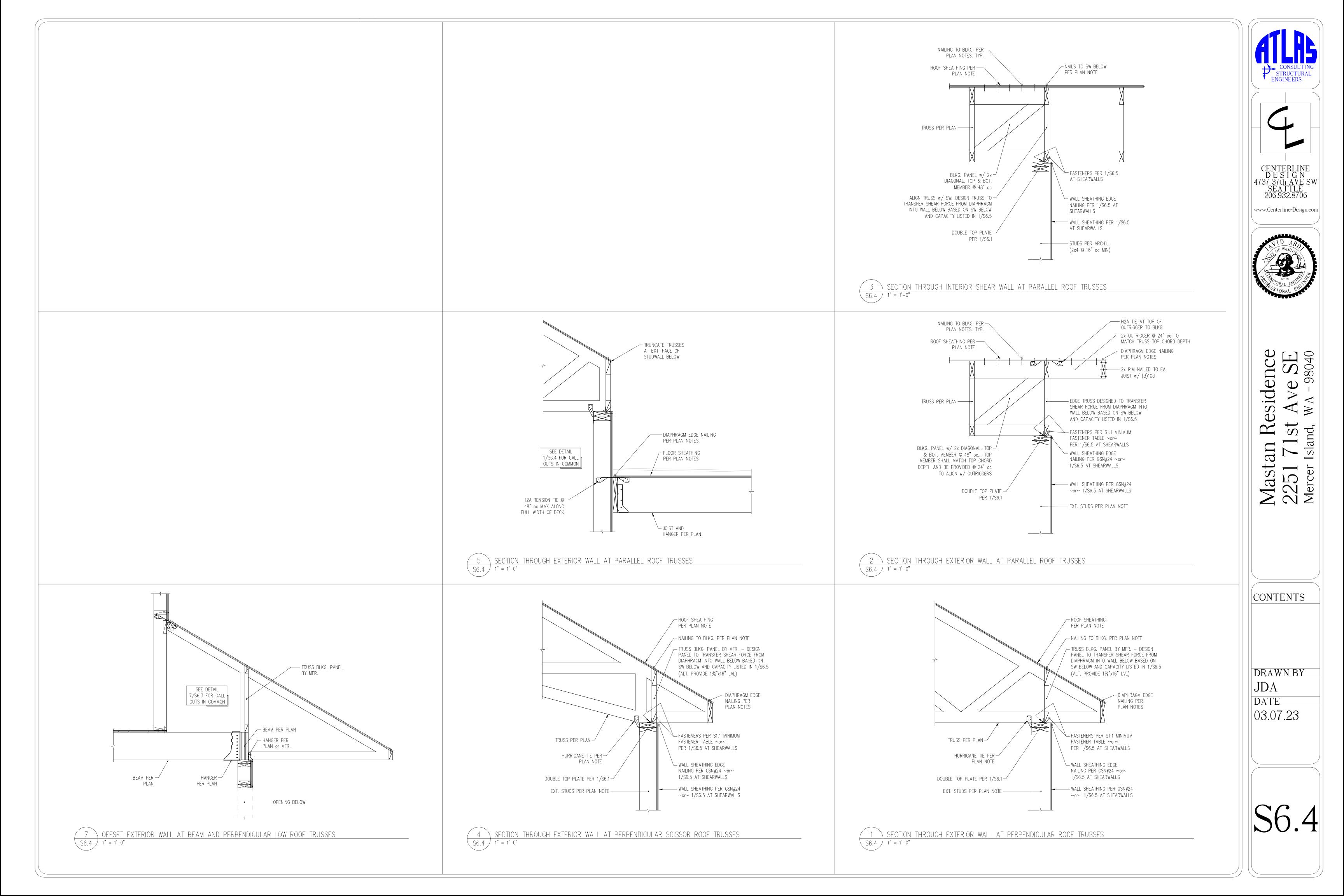




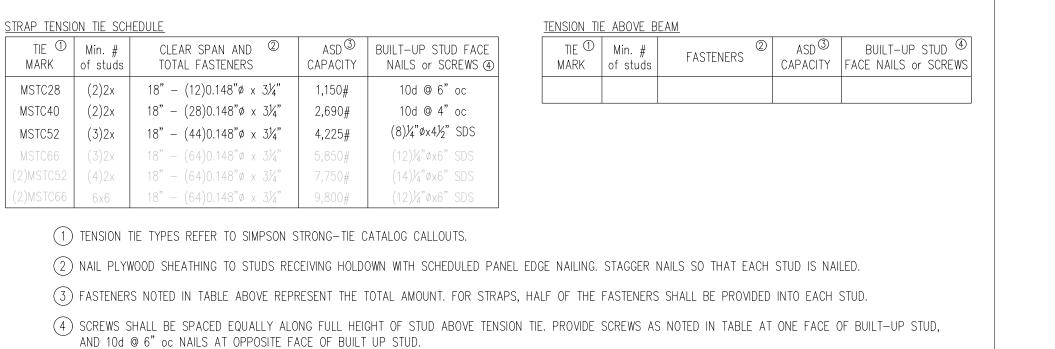


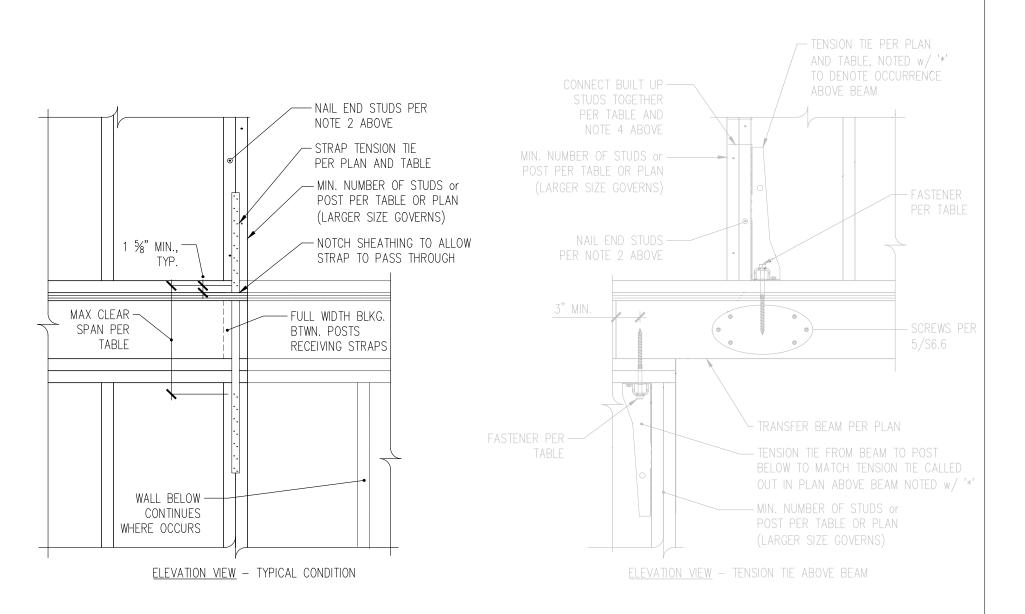






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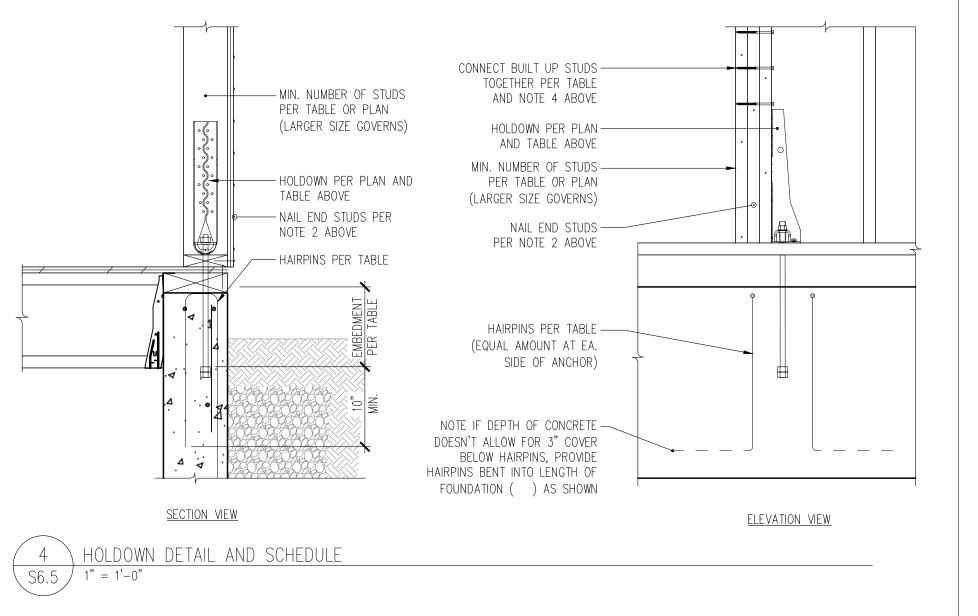
tie ⁽¹⁾ Mark	MIN. NUMBER ^② OF STUDS	ANCHOR (Ø x EMBEDMENT) ^③ and No. OF HAIRPIN DOWELS	FASTENERS FROM TIE TO STUD	ASD CAPACITY	BUILT-UP STUD FACE NAILS or SCREWS ④
HDU2	(2)2x	5∕8"ø x 10" − (2)#4 HAIRPIN	(6)¼"ø x 2½" SDS SCREWS	3,075#	10d @ 4" oc
HDU4	(3)2x	5∕8"ø x 10" − (2)#4 HAIRPIN	(10)¼"ø x 2½" SDS SCREWS	4,565#	(9)¼"øx4½" SDS
HDU5	(3)2x	5∕8"ø x 10" − (2)#4 HAIRPIN	(14)¼"ø x 2½" SDS SCREWS	5,645#	(10)¼"øx4½" SDS
HDU8	(4)2x	‰"ø x 10" − (4)#4 HAIRPIN	(20)¼"ø x 2½" SDS SCREWS	7,870#	(15)¼"øx6" SDS
HDU11	6x6	1"ø x 10" - (4)#4 HAIRPIN	(30)¼"ø x 2½" SDS SCREWS	11,175#	N/A
HDU14	6×6	1"ø x 10" – (6)#4 HAIRPIN	(36)¼"ø x 2½" SDS SCREWS	14,445#	N/A

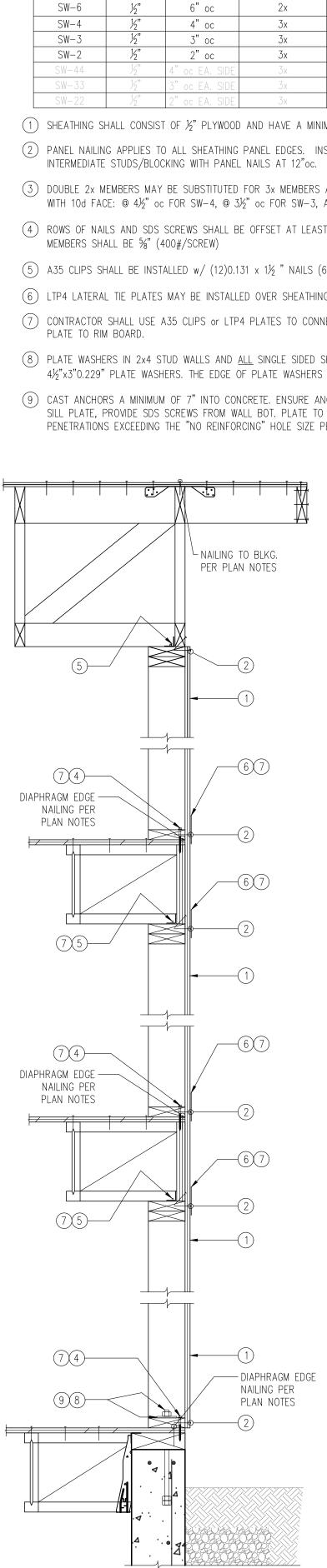
(1) TENSION TIE TYPES REFER TO SIMPSON STRONG-TIE CATALOG CALLOUTS.

(2) NAIL PLYWOOD SHEATHING TO STUDS RECEIVING HOLDOWN WITH SCHEDULED PANEL EDGE NAILING. STAGGER NAILS SO THAT EACH STUD IS NAILED.

3 ANCHORS SHALL BE HEAVY HEX HEAD WITH DOUBLE NUT CAST INTO CONCRETE. ASTM F 1554 Gr. 36 FOR % anchor ASTM F 1554 Gr. 55 FOR 76 AND 1"0 ANCHORS

(4) SCREWS SHALL BE SPACED EQUALLY ALONG FULL HEIGHT OF STUD ABOVE TENSION TIE. PROVIDE SCREWS AS NOTED IN TABLE AT ONE FACE OF BUILT-UP STUD, AND 10d @ 6" oc NAILS AT OPPOSITE FACE OF BUILT UP STUD.





SHEARWALL SHEATHING

PANEL TYPE | THICKNESS |

FRAMING PARALLEL TO SW

1" = 1' - 0"

、S6.5 /

2	③ STUD/BLKG. AT ABUTTING PANEL	CONN. OF BLKG. OR FRAMING to TOP PLATE; AND SOLE PLATE TO SILL PLATE			89 ANCHOR BOLTS TO		ASD CAPACITY,
0.148" x 2¼" Panel nailing	EDGES & SILL PLATE THICKNESS	④ ¼"ø x 3½" SDS SCREWS	(5) A35 CLIPS	6 LTP4 PLATES	COI %"ø	NC. 3⁄4"ø	PLF
6" ос	2x	15" oc	25" oc	24" oc	48"oc	48"oc	310
4" oc	Зx	10" oc	16"oc	16"oc	38"oc	48"oc	460
3"ос	Зx	8" oc	13" oc	12" oc	29"oc	40" oc	600
2" ос	Зx	6"ос	10" oc	9" oc	19"oc	26"oc	770
4" oc EA. SIDE	3x	5" ос	8" oc	8" oc	14" oc	20" oc	920
3" oc EA. SIDE	3x	4" oc	6" ос	6" ос	14" oc	20" oc	1200
2" oc EA. SIDE	3x	3" ос	5" oc	4" oc	11" oc	15" oc	1540

STRUCTURAL

ENGINEERS

CENTERLINE

DESIGN

4737 37th AVE SW SEATTLE 206.932.8706

www.Centerline-Design.com

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(1) SHEATHING SHALL CONSIST OF $\frac{1}{2}$ " PLYWOOD AND HAVE A MINIMUM SPAN RATING OF $\frac{24}{5}$. At interior shearwalls only, $\frac{15}{32}$ " osb shall be used (2) PANEL NAILING APPLIES TO ALL SHEATHING PANEL EDGES. INSTALL BLOCKING AT ALL UNFRAMED PANEL EDGES. ENSURE SHEATHING IS NAILED TO ALL

(3) DOUBLE 2x MEMBERS MAY BE SUBSTITUTED FOR 3x MEMBERS AT WALLS WITH ONLY ONE LAYER OF SHEATHING. 2x MEMBERS SHALL BE NAILED TOGETHER WITH 10d FACE: @ 4½" oc FOR SW-4, @ 3½" oc FOR SW-3, AND (2)@ 5½" oc FOR SW-2.

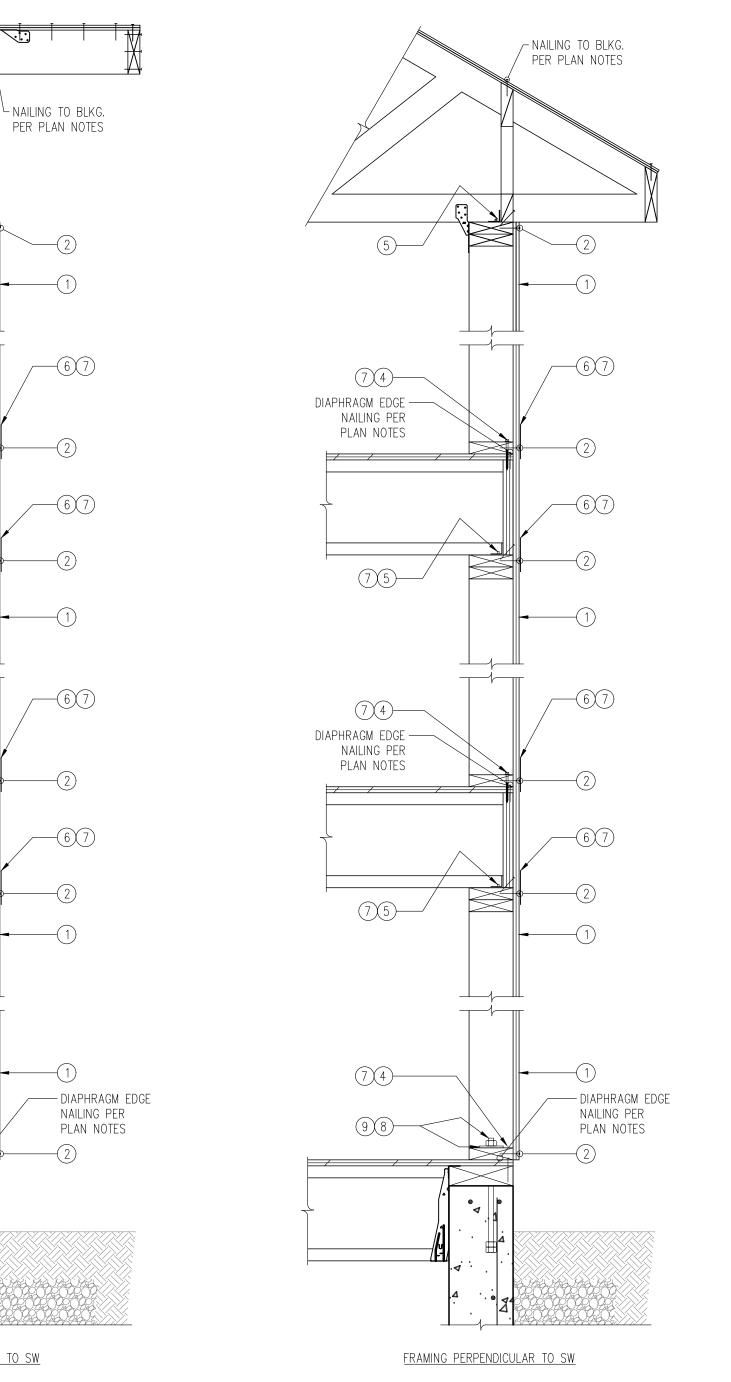
(4) ROWS OF NAILS AND SDS SCREWS SHALL BE OFFSET AT LEAST $\frac{1}{2}$ " AND STAGGERED. MINIMUM EDGE DISTANCE FOR NAILS AND SDS SCREWS INTO EDGE OF

(5) A35 CLIPS SHALL BE INSTALLED w/ (12)0.131 x $1\frac{1}{2}$ " NAILS (650#/CLIP)

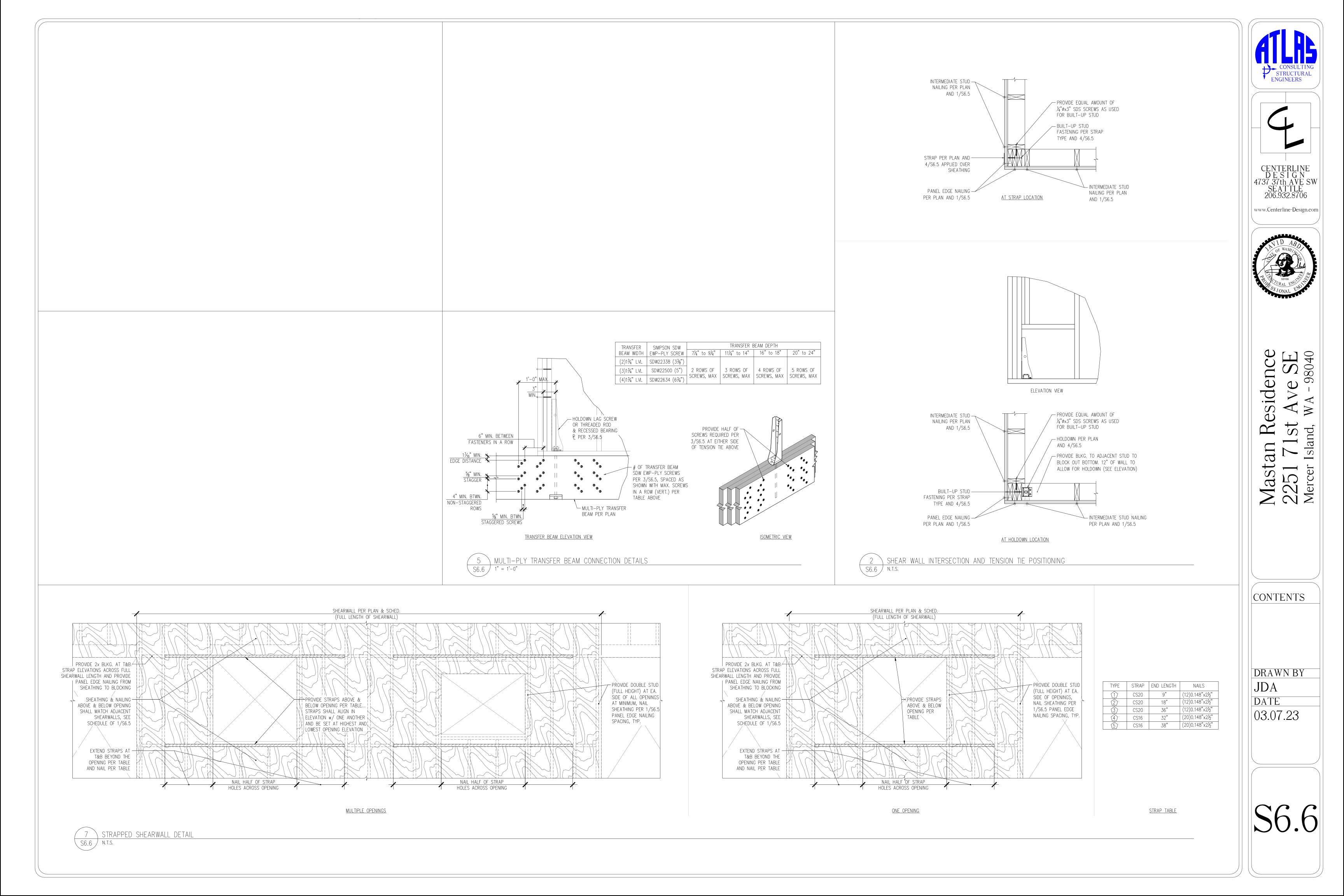
(6) LTP4 LATERAL TIE PLATES MAY BE INSTALLED OVER SHEATHING w/ (12)0.131 x $2\frac{1}{2}$ " NAILS (625#/CLIP)

(7) CONTRACTOR SHALL USE A35 CLIPS or LTP4 PLATES TO CONNECT RIM BOARD TO DOUBLE TOP PLATE; AND SDS SCREWS or LTP4 PLATES TO CONNECT SOLE

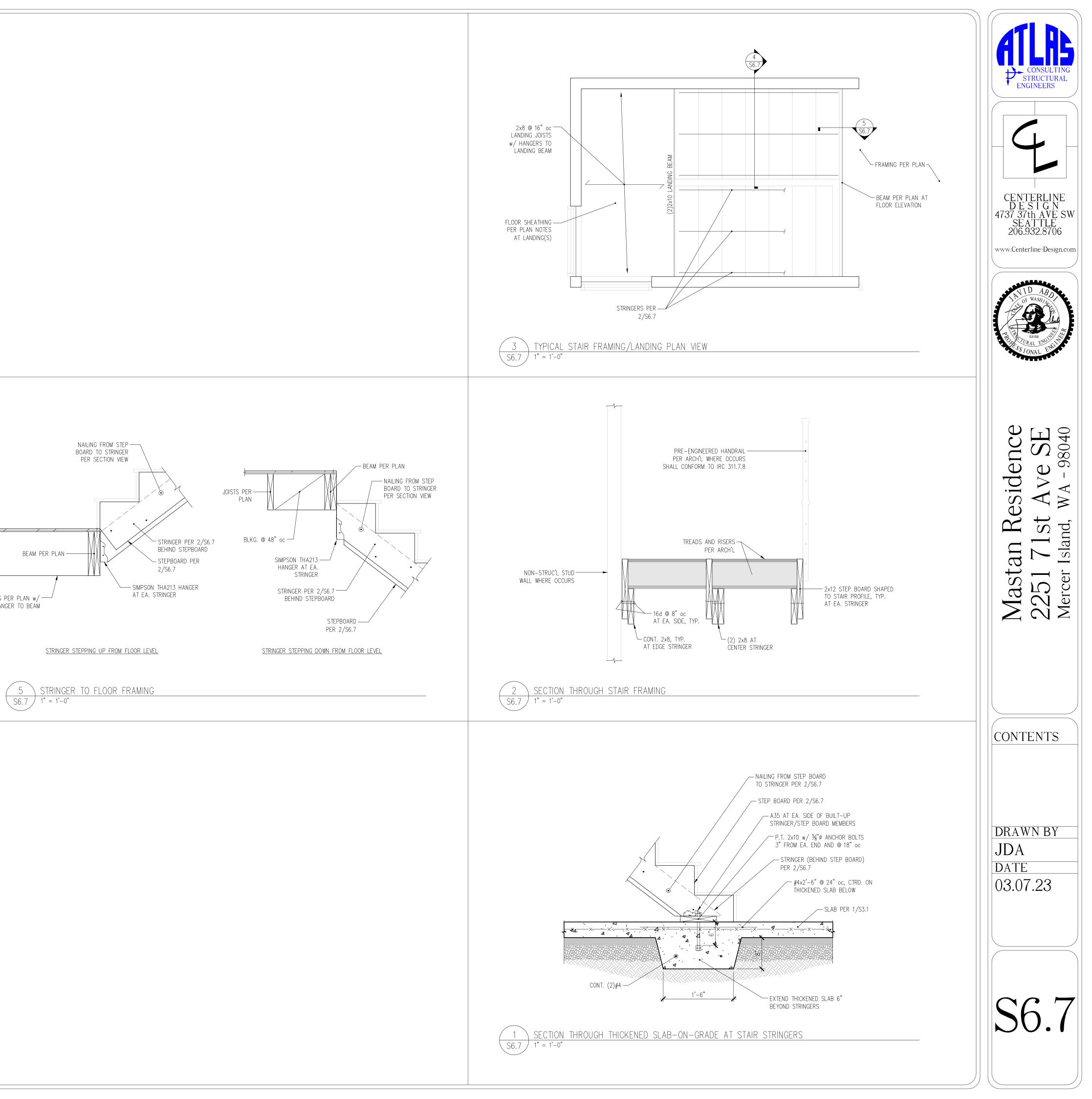
(8) PLATE WASHERS IN 2x4 STUD WALLS AND <u>ALL</u> SINGLE SIDED SHEAR WALLS SHALL BE 3"x3"x0.229". DOUBLE SIDED 2x6 SHEAR WALLS SHALL HAVE 4½"x3"0.229" PLATE WASHERS. THE EDGE OF PLATE WASHERS SHALL BE LOCATED WITHIN ½" OF THE EDGE OF BOTTOM PLATE ON THE SIDE WITH SHEATHING. (9) CAST ANCHORS A MINIMUM OF 7" INTO CONCRETE. ENSURE ANCHORS EXTEND ABOVE SILL PLATE AND WALL BOT. PLATE; IF ANCHORS ONLY EXTEND ABOVE SILL PLATE, PROVIDE SDS SCREWS FROM WALL BOT. PLATE TO SILL PLATE. PROVIDE ADDITIONAL ANCHOR BOLTS AT EACH SIDE OF PLATE BREAKS AND PENETRATIONS EXCEEDING THE "NO REINFORCING" HOLE SIZE PER 2/S6.1.



SHEARWALL SECTION AND SCHEDULE



JOISTS
HA



LEGAL DESCRIPTION

LOT 16, IN BLOCK 3 OF HIGHPARK ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 38 OF PLATS, PAGE 16, RECORDS OF KING COUNTY AUDITOR;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

ORGANIC SOIL REQUIREMENT



SOIL AMENDMENT REQUIRED

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

SOIL INSPECTION REQUIRED BY ENGINEER A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

EROSION CONTROL LEGEND

LIMITS OF DISTURBANCE	
FILTER FABRIC FENCE (SILT FENCE)	SFx
STABILIZED CONSTRUCTION ENTRANCE	CE CE
CATCH BASIN INLET PROTECTION	
INTERCEPTOR SWALE SEE COR DWG 504, TYPE A TEMPORARY SWALE	
TREE PROTECTION FENCING	
CHECK DAM	CD 🖗
STRAW WATTLES	SW USE AS NEEDED

PROJECT ARBORIST TREE PROTECTION RECOMMENDATIONS

These general tree recommendations are intended to preserve the western red cedar in its current condition. I recommend removing the flowering plum and replacing it with a new tree that will perform better in the future.

Implement the following tree protection measures prior to the start of demolition:

1. Erect 6-foot high chain-link tree protection fencing at a distance of 12 feet east and south of the trunk face. The tree protection fencing should be at the edge of the dripline on the other sides of the tree. The approximate location of tree protection fencing for the western red cedar is shown on the attached Tree Protection Plan. Alternative types of fencing may be considered provided they are relatively rigid and stay in place for the duration of the project.

2. Keep all materials, grading, and contractors outside the fenced area.

3. Post at least one sign on the fence that states "Tree Protection Area."

4. Place a 3-inch layer of coarse wood chip mulch in the area protected by fencing. This will help the soil retain moisture and increase the availability of nutrients to compensate for any root loss. Keep the wood chips 10 to 12 inches from the trunk of the tree.

5. Prune the branches overhanging the project site up to a maximum height of 18 feet above grade. The height where the branches are cut back to the trunk may be somewhat higher due to the downward curve of the branch. Limit pruning to less than 15 percent of the entire crown. All pruning shall be done by an ISA Certified Arborist® following the ANSI-A300 standards for pruning.

During demolition and construction, avoid machinery contact with the branches and trunk of the tree. Keep out of the tree protection area.

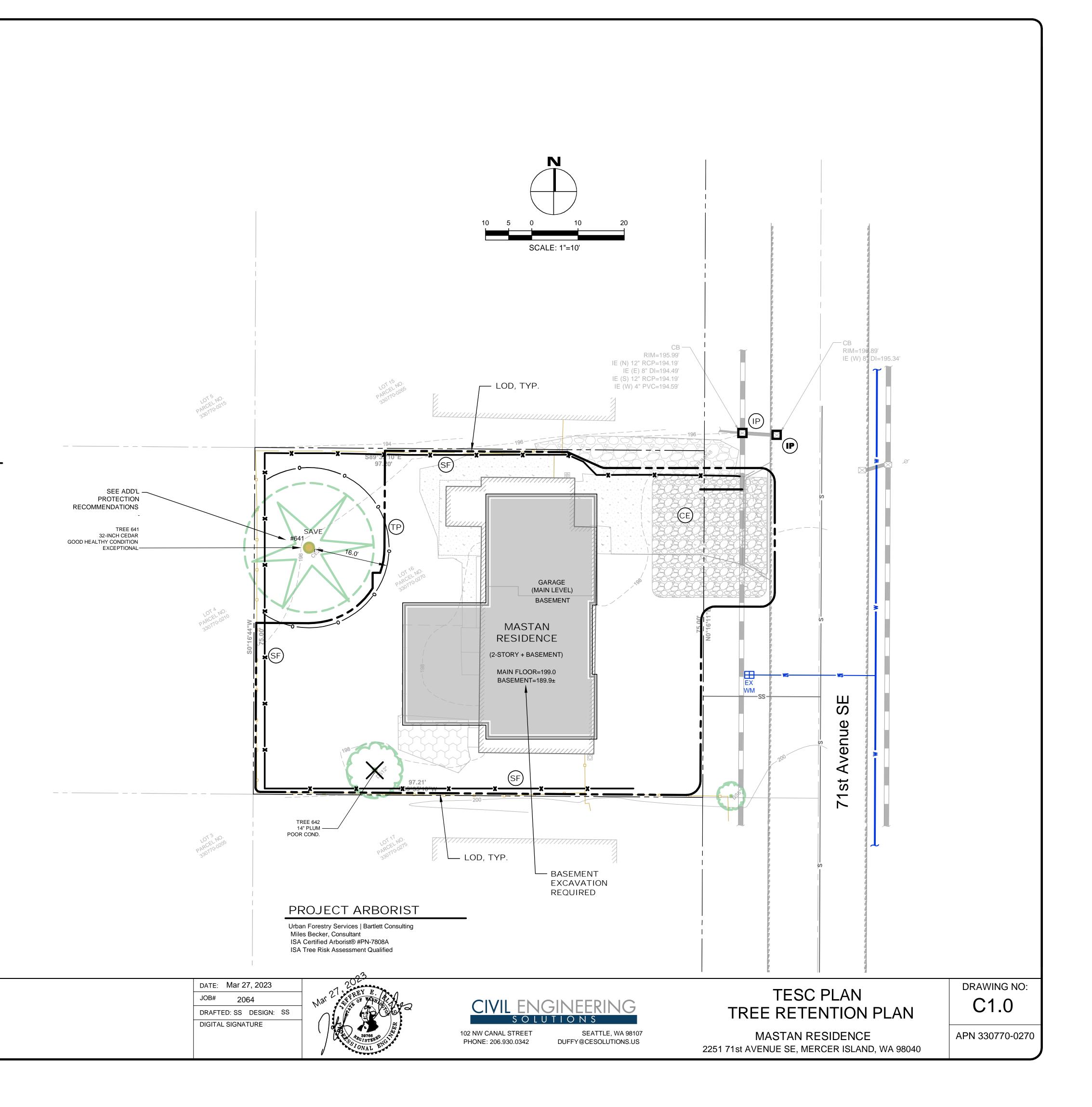
When excavating within 16 feet of the western red cedar:

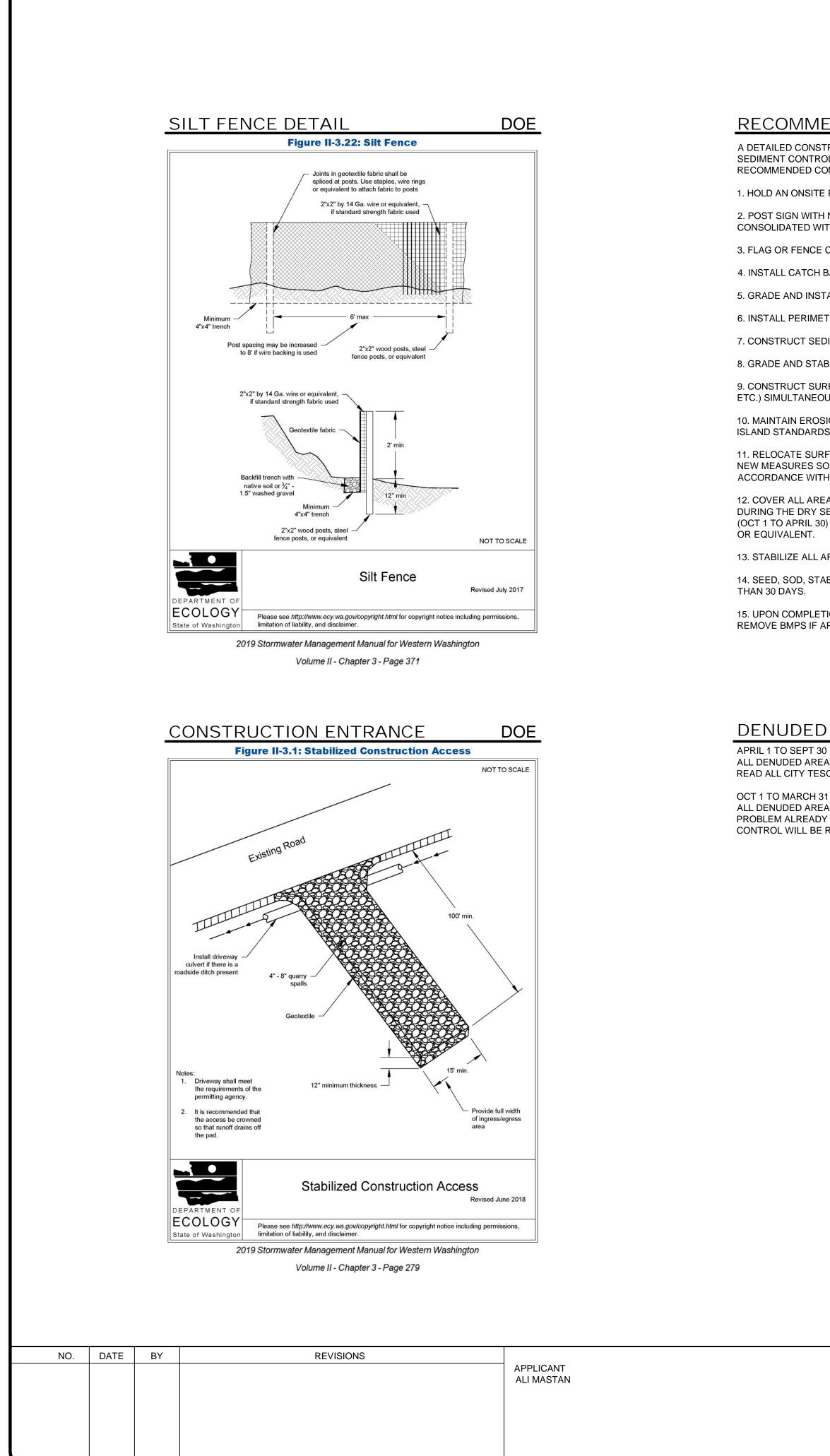
--Have a certified arborist on-site to monitor the excavation.

--Document the size and quantity of roots encountered. -- If more than three roots over 4 inches in diameter need to be cut for the foundation of

the new building, re-evaluate the impacts on the tree. ---Cleanly cut roots over 1 inch in diameter back to the edge of the grading limits.

NO.	DATE	BY	REVISIONS	
				ALI MASTAN





RECOMMENDED CONSTRUCTION SEQUENCE

A DETAILED CONSTRUCTION SEQUENCE IS NEEDED TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE APPLIED AT THE APPROPRIATE TIMES. A RECOMMENDED CONSTRUCTION SEQUENCE IS PROVIDED BELOW:

1. HOLD AN ONSITE PRE-CONSTRUCTION MEETING.

2. POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).

3. FLAG OR FENCE CLEARING LIMITS.

4. INSTALL CATCH BASIN PROTECTION, IF REQUIRED.

5. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).

6. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).

7. CONSTRUCT SEDIMENT PONDS AND TRAPS.

8. GRADE AND STABILIZE CONSTRUCTION ROADS.

9. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.

10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.

11. RELOCATE SURFACE SURFACE WATER CONTROLS OR TESC MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE TESC IS ALWAYS IN ACCORDANCE WITH CITY OF MERCER ISLAND TESC REQUIREMENTS.

12. COVER ALL AREAS THAT WILL BE UN-WORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) OR TWO DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.

13. STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.

14. SEED, SOD, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.

15. UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPS IF APPROPRIATE.

DENUDED AREAS REQUIREMENTS

ALL DENUDED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF CONSTRUCTION. PLEASE READ ALL CITY TESC NOTES ON SHEET C1.2.

OCT 1 TO MARCH 31

ALL DENUDED AREAS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. IF AN EROSION PROBLEM ALREADY EXISTS ON THE SITE, OTHER COVER PROTECTION AND EROSION CONTROL WILL BE REQUIRED.

EROSION CONTROL NOTES

NUMBERED 1, 2, 4, 5, 6, ETC.

D.8.2 STANDARD ESC PLAN NOTES THE STANDARD ESC PLAN NOTES MUST BE INCLUDED ON ALL ESC PLANS. AT THE APPLICANT'S DISCRETION, NOTES THAT IN NO WAY APPLY TO THE PROJECT MAY BE OMITTED; HOWEVER, THE REMAINING NOTES MUST NOT BE RENUMBERED. FOR

1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACIL UTILITIES, ETC.).

EXAMPLE, IF ESC NOTE #3 WERE OMITTED, THE REMAINING NOTES SHOULD BE

2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLIC/ SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.

3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (SWDM APPENDIX D). DURING THE CONSTRUCTION PERIOD, N DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEAR LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE D OF CONSTRUCTION.

4. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGIN CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDIT MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK O ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.

5. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND AI PROPERTIES IS MINIMIZED.

6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENT ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE I FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENT MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL CC MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FEN PERIMETER PROTECTION ETC.) AS DIRECTED BY CITY OF MERCER ISLAND.

7. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITI

8. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THA NOT BE DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED W APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC

9. ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATT SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.

10. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAI MINIMUM OF ONCE A MONTH DURING THE DRY SEASON, BI-MONTHLY DURING T SEASON, OR WITHIN TWENTY FOUR (24) HOURS FOLLOWING A STORM EVENT.

11. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE L SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.

12. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTRO MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACIL FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILIT BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FE ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.

13. COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D C SURFACE WATER DESIGN MANUAL

14. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AF SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATI THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK C BEGINNING OF THE WET SEASON.

	<u>a</u> 3		
DATE: Mar 27, 2023	200		
JOB# 2064 DRAFTED: SS DESIGN: DE DIGITAL SIGNATURE	Nar 2 rite REI E.	CIVIL ENC S O L U	GINEE J T I O N SE
	SJONAL ENG	PHONE: 206.930.0342	DUFFY@CI

CITY NOTES

A REVISION.

CAUSED FROM THIS CONSTRUCTION.

, SIZE ILITIES,		AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY THE MANUFACTURER FOR USE AT CONSTRUCTION SITES AND APPROVED BY THE CITY INSPECTOR. CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUENTLY, ESPECIALLY AFTER STORM EVENTS. IF THE FILTER BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED.
ANT/ESC	4.	CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITES.
	5.	AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1.800.424.5555
0 ARING	6.	DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL MUST BE IMPORTED
DURATION	7.	EROSION CONTROL: ALL "LAND DISTURBING ACTIVITY" IS SUBJECT TO PROVISIONS OF MERCER ISLAND ORDINANCE 95C-118 "STORM WATER MANAGEMENT." SPECIFIC ITEMS TO BE FOLLOWED AT YOUR SITE:
TIONAL MAY BE DUT TO TO OR IN	8.	PROTECT ADJACENT PROPERTIES FROM ANY INCREASED RUNOFF OR SEDIMENTATION DUE TO THE CONSTRUCTION PROJECT THROUGH THE USE OF APPROPRIATE "BEST MANAGEMENT PRACTICES" (BMP) EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT TRAPS, SEDIMENT PONDS, FILTER FABRIC FENCES, VEGETATIVE BUFFER STRIPS OR BIOENGINEERED SWALES.
E DJACENT	9.	CONSTRUCTION ACCESS TO THE SITE SHOULD BE LIMITED TO ONE ROUTE. STABILIZE ENTRANCE WITH QUARRY SPALLS TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE STORM DRAINS.
TS FOR ESC TS AND OVER	10.	PREVENT SEDIMENT, CONSTRUCTION DEBRIS, PAINTS, SOLVENTS, ETC., OR OTHER TYPES OF POLLUTION FROM ENTERING PUBLIC STORM DRAINS. KEEP ALL POLLUTION ON YOUR SITE.
NCES,	11.	ALL EXPOSED SOILS SHALL REMAIN DENUDED FOR NO LONGER THAN SEVEN (7) DAYS AND SHALL BE STABILIZED WITH MULCH, HAY, OR THE APPROPRIATE GROUND COVER. ALL EXPOSED SOILS SHALL BE COVERED IMMEDIATELY DURING ANY RAIN EVENT.
IES. T WILL OR ITH THE C.).	12.	INSTALLATION OF CONCRETE DRIVEWAYS, TREES, SHRUBS, IRRIGATION, BOULDERS, BERMS, WALLS, GATES, AND OTHER IMPROVEMENTS ARE NOT ALLOWED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL, AND AN ENCROACHMENT AGREEMENT AND RIGHT OF WAY PERMIT FROM THE SENIOR DEVELOPMENT ENGINEER.
ENTION INED A THE WET	13.	OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAINAGE RUNOFF FROM EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIBLE MANNER. CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, DRY WELLS, LEVEL SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY BE NECESSARY TO MINIMIZE DRAINAGE IMPACT TO YOUR NEIGHBORS. CONSTRUCTION OF MINIMUM DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON THIS PLAN DOES NOT IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTREAM DRAINAGE.
D INES FLUSH	14.	POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
)L .ITY IS TO	15.	REMEMBER: EROSION CONTROL IS YOUR FIRST INSPECTION.
TY MUST EET	16.	ROOF DRAINS MUST BE CONNECTED TO THE STORM DRAIN SYSTEM AND INSPECTED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY BACKFILLING OF PIPE.
DF THE REAS	17.	SILENT FENCE: CLEAN AND PROVIDE REGULAR MAINTENANCE OF THE SILT FENCE. THE FENCE IS TO REMAIN VERTICAL AND IS TO FUNCTION PROPERLY THROUGHOUT THE TERM OF THE PROJECT.
ION FOR DF THE	18.	WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.
	19.	REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE DETERMINED BY MERCER ISLAND WATER DEPARTMENT.
	16.	THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED. ALTERNATELY, A PRESSURE TEST OF THE SIDE SEWER, FROM SEWER MAIN TO POINT OF CONNECTION, MAY BE SUBSTITUTED FOR THE VIDEO INSPECTION.
	20.	NEWLY INSTALLED SIDE SEWER REQUIRES A 4 P.S.I. AIR TEST OR PROVIDE 10' OF HYDROSTATIC HEAD TEST.
	21.	POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
	22	THE LIMITS AND EXTENDS OF THE PAVEMENT IN THE PUBLIC RIGHT OF WAY

1. ANY CHANGES TO THE APPROVED PLANS REQUIRES CITY APPROVAL THROUGH

2. APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND UTILITIES

3. CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL STORM DRAIN CATCH

BASINS/INLETS DOWNSLOPE AND WITHIN 500 FEET OF THE CONSTRUCTION

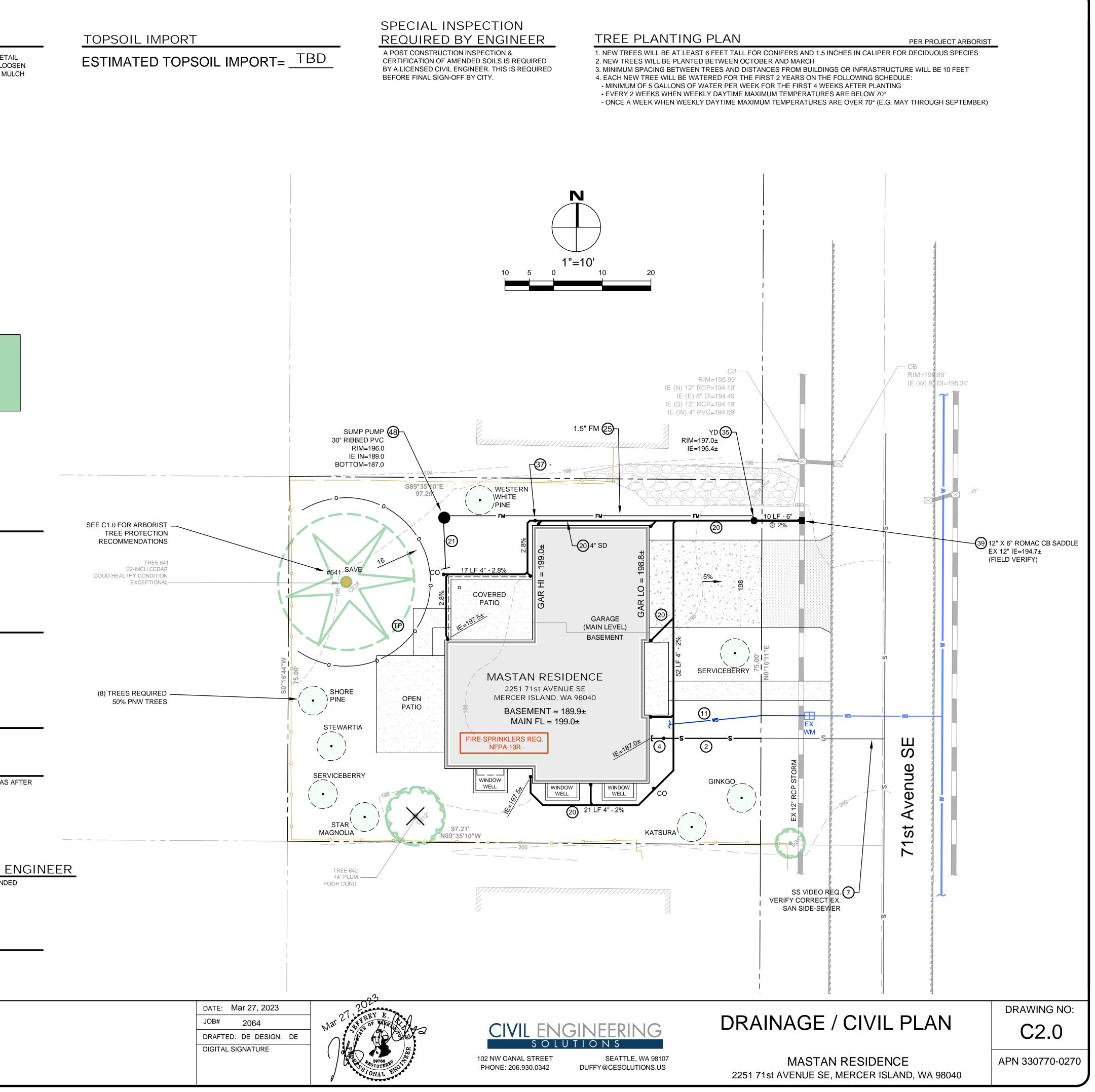
22. THE LIMITS AND EXTENDS OF THE PAVEMENT IN THE PUBLIC RIGHT OF WA SHALL BE DETERMINED BY THE CITY ENGINEER PRIOR TO FINALIZE THE PROJECT.



TESC & CITY NOTES TESC DETAILS MASTAN RESIDENCE 2251 71st AVENUE SE, MERCER ISLAND, WA 98040 DRAWING NO: C1.2



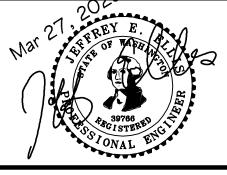
(1) -	50 -COMPOST AMENDED SOIL TO ALL DISTURBED AREAS (SE
 2 -6" SDR 35 PVC SANITARY SEWER(SS) @ MIN 1.0 %. 3 - 	SHEET C3.5). TILL 2-3" OF COMPOST INTO UPPER 8" OF SC COMPACTED SUBSOIL, IF NEEDED BY RIPPING TO 12" DEF LANDSCAPE BEDS AFTER PLANTING.
 3 - 4 -6" SEWER CLEANOUT PER MERCER ISLAND DETAIL S-19. 	<u>(51)</u> -
-LOCATE AND VIDEO CONDITION OF EXISTING SANITARY SIDE SEWER. REPLACE LINE IF FOUND DEFECTIVE AS DETERMINED BY	(52) -
CITY INSPECTOR.	53 -
WATER IMPROVEMENTS	54 -
10 -	<u>55</u> -
1 -1.5" 250 PSI PRIVATE HDPE WATER (ASTM D2239) FROM METER TO HOUSE. RECOMMENDED DEPTH=36". COORDINATE HOUSE ENTRY WITH BUILDER/OWNER.	56 -
12 -	(57) -
14) -	58 -
STORM DRAIN PIPE KEY NOTES	
20 -4" STORM DRAIN (3034 PVC) @ MIN 2 % GRADE	
 21 -4" FOUNDATION DRAIN (3034 PVC) @ MIN 1 % GRADE 22 -6" STORM DRAIN (3034 PVC) @ MIN 2 % GRADE 	MINIMUM 10% ORGANIC
23 - 6 STORM DRAIN (3034 PVC) @ MIN 2 % GRADE	COMPOST & MULCH SOI
	REQUIRED
 - -<	
OPTIONS INCLUDE SDR-21 PVC OR HDPE SDR-11.	
STORM STRUCTURE KEY NOTES	SURVEYOR TOPOGRAPHIC SURVEY BY:
<u>30</u> -	SITE SURVEYING 21923 NE 11th STREET SAMMAMISH, WA 98074
3) -	PHONE 425-298-4412 www.sitesurveymapping.com
§2 -	
33 -	
34 -	VERTICAL DATUM
 35 -PRIVATE 18" YARD DRAIN (OR EQUAL) 36 - 	SEE SURVEY
36A -	
 PRIVATE STORM CLEANOUT. PROVIDE PROTECTIVE COVER IF WARRANTED. 	
37 - PRIVATE STORM CLEANOUT. PROVIDE PROTECTIVE COVER IF	LEGAL DESCRIPTION SEE C1.0
 PRIVATE STORM CLEANOUT. PROVIDE PROTECTIVE COVER IF WARRANTED. 	
 PRIVATE STORM CLEANOUT. PROVIDE PROTECTIVE COVER IF WARRANTED. SADDLE-TEE CONNECTION: ROMAC CB SEWER SADDLE (OR EQUAL) - 	SEE C1.0
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 PRIVATE STORM CLEANOUT. PROVIDE PROTECTIVE COVER IF WARRANTED. SADDLE-TEE CONNECTION: ROMAC CB SEWER SADDLE (OR EQUAL) a a a 	SEE C1.0 SOIL AMENDEMENT REQUIRED COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED CONSTRUCTION. SEE DETAIL ON C3.5. SOIL INSPECTION REQUIRED E
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DATE	BY	REVISIONS	
			APPLICANT ALI MASTAN
	DATE	DATE BY	DATE BY REVISIONS

DATE:	Mar 27, 2023	
JOB#	2064	

DRAFTED: SS DESIGN: SS DIGITAL SIGNATURE



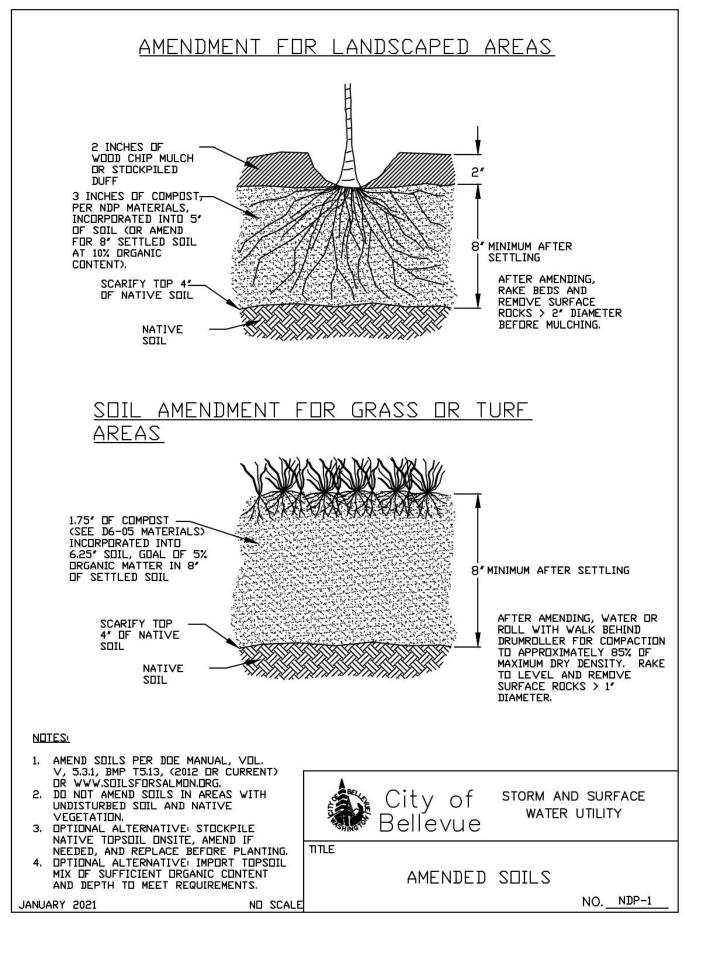


MINIMUM 10% ORGANIC -COMPOST SOIL REQUIRED

SOIL AMENDMENT REQUIRED COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL BELOW.

SOIL INSPECTION REQUIRED BY ENGINEER A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.





STORM, BMP DETAILS

DRAWING NO:

MASTAN RESIDENCE 2251 71st AVENUE SE, MERCER ISLAND, WA 98040 APN 330770-0270

