

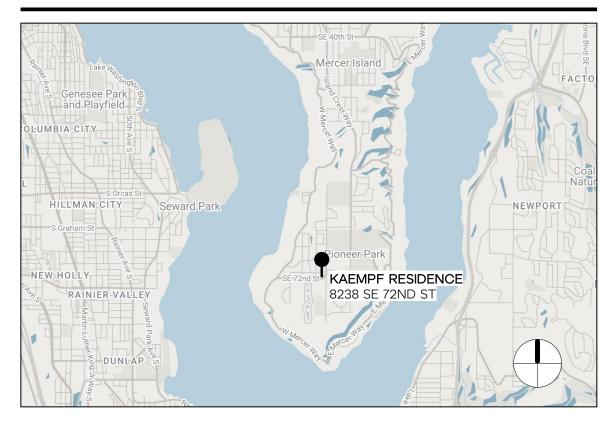
PERMIT SET - FEBRUARY 10, 2023



PROJECT INFORMATION

JURISDICTION PROJEC PROJECT ADDRESS: ASSESSOR PARCEL NO LEGAL DESCRIPTION: PROJECT DESCRIPTIC

VICINITY MAP



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PRELIMINARY NOT FOR CONSTRUCTION	1
KAEMPF RESIDENCE 8238 SE 72ND ST, MERCER ISLAND, WA 98040 JESSICA + JOEY KAEMPF	
HERE PROJECT #: 20 JURISDICTIONAL #: REVISIONS	022015 TBD
ISSUANCES 09.28.2022 SCHEMATIC PRI 02.10.2022 PERMIT SUBMIT	
PLOTTED: 2/13/2023 5:13	:21 PM
COVER SHEET // GENERAL INFORMATION	∧ `

ECT NO:	TBD
	8238 SE 72ND ST, MERCER ISLAND, WA 98040
10:	873220-0090
:	TWIN VIEW ADD BLOCK 1 LOT 9
ON:	MINOR FIRST FLOOR INTERIOR RENOVATION AND SECOND FLOOR ADDITION WITH A PROPOSED UPPER DECK

DRAWING INDEX

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PROJECT TEAM

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ABBREVIATIONS

APPROX	AT ANCHOR BOLT ABOVE AIR CONDITIONING ADJUSTABLE ABOVE FINISH FLOOR ABOVE FINISH GRADE ANCHOR APPROXIMATE (LY) ARCHITECT (URAL) AWNING
BF	BOTTOM FLUSH
BLDG	BUILDING
BM	BEAM
BOT	BOTTOM
BRG	BEARING
BTWN	BETWEEN
C CB CFM CJ CLG CLR CNTR COL CONC CONST CONT CONTR COORD	CONTRACTOR
D	DRYER
DB	DROP BEAM
DEMO	DEMOLITION
DHW	DOMESTIC HOT WATER
DIA DIM DL DN DRY DS DW DWG	HEATER DIAMETER DIMENSION DEAD LOAD DOWN DRYER DOWNSPOUT DISHWASHER DRAWING
EW	EACH WAY
E	EXISTING
EA	EACH
EG	EGRESS
ELEC	ELECTRICAL
EM	ELECTRIC METER
EQ	EQUAL
EQUIP	EQUIPMENT
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FD	FLOOR DRAIN
FDN	FOUNDATION
FJ	FINISH
FJ	FLOOR JOIST
FL	FLOOR
FO	FACE OF
FURR	FURRING
FT	FOOT
FTG	FOOTING
FURN	FURNACE
GA	GAUGE, GAGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GEN	GENERAL
GL	GLASS
GM	GAS METER
GR	GRADE
GWB	GYPSUM WALL BOARD
HB	HOSE BIB
HC	HOLLOW CORE
HDR	HEADER
HDW	HARDWARE
HORIZ	HORIZONTAL
HR	HOUR (FIRE RESISTANT RATING)
HT	HEIGHT
HVAC	HEATING, VENTILATION & AC
IG IN INCL INFO INSUL INT ISG	
JT	JOINT
KD	KILN DRIED
KP	KING POST
LAV	LAVATORY

DRAWING SYMBOL KEY

DB 0

DC

DOOR BELL

DOOR CHIME

LB LL LT LTG LVR LT WT LVL	LAG BOLT LIVE LOAD LIGHT LIGHTING LOUVER LIGHT WEIGHT MICROLAM LAMINATED VENEER LUMBER
MAX MECH MFR MIN MISC MTL MW	MAXIMUM MECHANICAL MEDIUM MANUFACTURER MINIMUM MISCELLANEOUS METAL MICROWAVE
NEC NIC NTS	NECESSARY NOT IN CONTRACT NOT TO SCALE
O/ OD OC OFCI OFOI OH OPP OV	OVER OUTSIDE DIAMETER ON CENTER OWNER FURNISHED CONSTRACTOR INSTALLED OWNER FURNISHED OWNER INSTALLED OVERHEAD OPPOSITE OVEN
PC PLAM PLYWD PSF PSI PSL PT PT PTD PWR	PIPE COLUMN PLASTIC LAMINATE PLYWOOD POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PARALLEL STRAND LUMBER POINT PRESSURE TREATED PAINTED POWER
QTY QUANT	QUALITY QUANTITY
R RD REINF REQ'D REF REV RF RFG RM RO	
S SAF SC SCH SCHED SECT SF SG SH SIM SI SPEC SPF SQ SQ FT SS S&R STD STL STL STRUCT SYM	SINK SELF-ADHERED FLASHING SOLID CORE SCHEDULE SCHEDULE SECTION SQUARE FOOT SAFETY GLAZING SINGLE HUNG SIMILAR SLIDING WINDOW OR DOOR SPECIFICATION SPRUCE, PINE, FIR SQUARE SQUARE FOOT STAINLESS STEEL SHELF AND ROD STANDARD STEEL STRUCTURAL SYMMETRICAL
TBD TF T&G TEMP THK TO TOG TYP	TO BE DETERMINED TOP FLUSH TONGUE AND GROOVE TEMPORARY, TEMPERATURE THICK TOP OF TOGETHER TYPICAL
UNO	UNLESS NOTED OTHERWISE
VAR VENT VERT VG VIF	VARIES VENTILATION VERTICAL VERTICAL GRAIN VERIFY IN FIELD
W W/O WASH W/D WM WS WWM	WASHER WITH WITHOUT CLOTHES WASHER WARMING & DRYER WATER METER WIRE SHELVING WELDED WIRE MESH
#	NUMBER OF POUND(S)

	NORTH ARROW	x DRAWING TITLE DRAWING SCALE
X SIM	BUILDING ELEVATION DRAWING NUMBER SHEET NUMBER	+ 144.25' +146.67 (E) SITE POINT ELEVATION
	INTERIOR ELEVATION DRAWING NUMBER SHEET NUMBER	FLOOR LEVEL FLOOR ELEVATION ELEV: 121'-6" DATUM + 8' - 0" SPOT ELEVATION AFF DATUM
SIM XXXXX	<u>BUILDING SECTION</u> DRAWING NUMBER SHEET NUMBER	• REVISION TAG
		W.# WALL/FLOOR/ROOF ASSEMBLY TYPE TAG
X SIM XX.XX	WALL SECTION DRAWING NUMBER SHEET NUMBER	HB HOSE BIBB
SIM SIM	DETAIL REFERENCE DRAWING NUMBER SHEET NUMBER	FEXHAUST FAN AIR FLOW RATE50 CFMAIR FLOW RATECRAMP UP 2%RAMP UP/DOWN PERCENT SLOPE
SIM SIM	STRUCTURAL DETAIL DRAWING NUMBER SHEET NUMBER	2% DECK SLOPE TO DRAIN 9" / 12" CEILING/ROOF SLOPE RISE / RUN
SIM	ARCHITECTURAL DETAIL DRAWING NUMBER SHEET NUMBER	Image: Stress of the second stress of the
\	CUT MARK	MONOXIDE DETECTOR
ହ	CENTERLINE	SHELF 12
(x)	GRID LINE	6 ROOF PITCH

ELECTRICAL SYMBOL KEY

φ	110V DUPLEX OUTLET GFI = GROUND FAULT INTERRUPTER EXT = EXTERIOR	-¢-
220 ¶	220V OUTLET	Φ
₽	110V 4-PLEX OUTLET	\oplus
	FLOOR DUPLEX OUTLET (GFI)	\bigotimes
0	FLOOR OUTLET (OTHER)	\bigotimes
P	WALL OUTLET (SWITCHED)	₩
	COM JACK T = TELEPHONE C = CABLE D = DATA	₹ ×
Ş	SINGLE POLE SWITCH D = DIMMER J = JAMB M = MOTION T = TIMER 3 = 3-WAY SWITCH 4 = 4-WAY SWITCH	
Т	THERMOSTAT	
SP	CEILING / WALL C SPEAKER	
CLG	CEILING WIRELESS ACCESS POINT	U
🛛 wн	WALL HEATER	

)-	FLUSH / SEMI-FLUSH FIXTURE
₽	WALL-MOUNTED FIXTURE
Þ	PENDANT FIXTURE
\ge	RECESSED CEILING FIXTURE
\$	RECESSED DIRECTIONAL FIXTURE
¥	SITE LIGHTING FIXTURE
3	TRACK LIGHTING FIXTURE
\prec	UNDERCABINET LIGHT FIXTURE
ï	SURFACE MOUNT STRIP FIXTURE
۷	CORNER STRIP FIXTURE
 	CEILING MOUNTED FAN W/ OPTIONAL LIGHTING KIT
`/	ELECTRICAL WIRING

CONTRACT GENERAL NOTES

- DRAWINGS.
- MEASUREMENTS AS NECESSARY.

- AND AIR PROOFED, DURABLE PROJECT.
- PERFORMING WORK.
- HAVING AUTHORITY.

EXCEPTIONS:

- TO PASS THROUGH.

CONTRACT DIMENSION NOTES

- DOORS, UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE.
- REMOVED FOR CLARITY.
- ARCHITECT.

FINISHES KEY

NOTE: NOT ALL TYPES THIS PROJECT. X = ITEMIZED DESCRIPT

CARPET	
FABRIC	
GLASS GL-X	
METAI	

METAL	
MT-X	

PLASTIC LAMINATE PL-X

PAINT	
PT-X	

RESILIENT FLOORING RF-X

1. GENERAL CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION SITE MEETING WITH OWNER, ARCHITECT AND OTHER DESIGN CONSULTANTS, AS REQUIRED. 2. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADE CONDITIONS AND HEIGHT LIMITS WITH ARCHITECT ON SITE PRIOR TO BEGINNING OF WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN THE SITE SURVEY AND/OR OTHER

3. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODES, REGULATIONS, OR RULES OF JURISDICTIONS HAVING AUTHORITY.

4. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, AND SITE CONDITIONS, INCLUDING TAKING AND VERIFYING FIELD

5. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, EXCEPT FOR THE GENERAL BUILDING PERMIT. 6. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.

7. REPETITIVE FEATURES NOT INDICATED IN THE DRAWINGS EVERYWHERE THAT THEY OCCUR SHALL BE PROVIDED AS IF DRAWN IN FULL.

8. SEE SPECIFICATIONS BOOK FOR REQUIRED SHOP DRAWINGS. GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO ARCHITECT;

AFTER ARCHITECT'S REVIEW, TO GOVERNING AUTHORITY. 9. THE INTENT OF ARCHITECTURAL DRAWINGS, DETAILS AND SPECIFICATIONS IS TO SHOW DESIGN APPROACH. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND BAILIWICK TO PROPERLY INSTALL AND EXECUTE A STRUCTURALLY SOUND, WATER

10. COORDINATE ALL EXTERIOR PENETRATIONS WITH ARCHITECT PRIOR TO

11. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE 2015 SEATTLE RESIDENTIAL CODE, THE WASHINGTON STATE ENERGY CODE, AND OTHER APPLICABLE CODES, RULES, AND REGULATIONS OF JURISDICTIONS

12. EXTERIOR GLAZING TO BE NFRC LABELED PER 2015 WSEC R303.1.3. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH-DIAMETER SPHERE CANNOT PASS.

a) WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4-INCH-DIAMETER SPHERE

b) OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2090.

1. DO NOT SCALE THE DRAWINGS. LARGE SCALE DIMENSIONS GOVERN SMALL SCALE DIMENSIONS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS, PRIOR TO PROCEEDING WITH WORK.

2. AT NEW CONSTRUCTION, ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, CENTER LINE OF COLUMNS, AND CENTERLINE OF WINDOWS AND

3. AT EXISTING CONSTRUCTION, DIMENSIONS ARE TO FINISH FACE OF MATERIALS, 4. SITE PLAN DIMENSIONS UNACCOMPANIED BY A LICENSED SURVEY IN THE POSTED

DRAWING SET ARE CONSIDERED APPROXIMATE AND FOR REFERENCE ONLY. 5. GRAPHIC SCALES ARE PROVIDED FOR REFERENCE ONLY. WHERE DRAWINGS OF DIFFERENT SCALES ARE PROVIDED ON THE SAME SHEET, GRAPHIC SCALES ARE

6. DIMENSIONS WITH ACCOMPANYING TEXT (E.G. CLEAR, HOLD, EQUAL) SHALL BE VERIFIED IN FIELD. ANY CHANGES TO THESE DIMENSIONS REQUIRE APPROVAL BY

SCHEDULES KEY

IS ARE USED IN	this pi X = ite	NOT ALL TYPES ARE USED IN ROJECT. EMIZED DESCRIPTOR F PROJECT MANUAL DIVISION
SPECIALTY FINISH	EG SG	EG = EGRESS SG = TEMPERED DOOR TAG
SOLID SURFACE	(XXX) (SVG) XX	SALVAGE TAG (DIVISION 2)
	L-XX	LIGHTING TAG (DIVISION 26)
STONE ST-X	P-XX	PLUMBING TAG (DIVISION 22)
	SPC-X	SPECIALTY TAG (RESERVED)
TILE TL-X	FUR-X	FURNISHINGS TAG (DIVISION 12)
	EQP-X	EQUIPMENT & APPLIANCE TAG (DIVISION 11)
WOOD WD-X	(BAC-X)	(BATH) ACCESSORY TAG (DIVISION 10)
WALLCOVERING	(DAC-X)	(DECORATIVE) ACCESSORY TAG (DIVISION 10)
WC-X	(HWC-X)	(CABINET) HARDWARE TAG (DIVISION 6)
	(HWD-X)	(DOOR) HARDWARE TAG (DIVISION 8)
	(HWW-X)	(WINDOW) HARDWARE TAG (DIVISION 8)

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VENTILATION & EXHAUST NOTES

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE SECTIONS M1502, M1503, & M1507

CLOTHES DRYER

- 1. CLOTHES DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH THE
- MANUFACTURER'S INSTRUCTIONS PER SECTION M1502.1 2. VENTILATION DUCT FOR THE DRYER SHALL BE A MINIMUM 4" DIAMETER. THE MATERIAL SHALL BE 28 GAGE METAL WITH A SMOOTH INTERIOR FINISH PER SECTION M1502.3.
- 3. EXHAUSTS SHALL TERMINATE TO THE EXTERIOR AND CONTAIN A BACKDRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION PER SECTION M1502.3

RANGE HOOD

- 1. RANGE HOODS SHALL TERMINATE TO THE EXTERIOR THROUGH A DUCT. THE DUCT SHALL HAVE A SMOOTH INTERIOR SURFACE, BE AIR TIGHT, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL
- OTHER EXHAUST SYSTEMS PER SECTION M1503.1. 2. VENT SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE 1507.4.
- 3. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM PER SECTION M1503.4.

MECHANICAL VENTILATION - LOCAL EXHAUST

- 1. SOURCE SPECIFIC EXHAUST VENTILATION SHALL BE REQUIRED IN EACH KITCHEN, BATHROOM, WATER CLOSET, LAUNDRY ROOM, INDOOR SWIMMING POOL, SPA, AND OTHER ROOMS WHERE WATER VAPOR OR COOKING ODOR IS PRODUCED PER SECTION M1507.4.
- 2. KITCHENS SHALL VENT AT 100 CFM MIN INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE M1507.4.
- 3. BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND SIMILAR SPACES SHALL VENT AT 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS PER TABLE M1507.4.
- 4. EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL BE EXHAUSTED DIRECTLY OUTDOORS PER SECTION M1507.2.
- 5. ALL VENTILATION SYSTEM CONTROLS SHALL BE READILY ACCESSIBLE. SOURCE SPECIFIC SYSTEMS SHALL BE CONTROLLED BY MANUAL SWITCHES, DEHUMIDISTATS, TIMERS OR OTHER APPROVED MEANS PER SECTION M1507.4.2.
- 6. EXHAUST DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED TO A MINIMUM OF R-4 PER SECTION M1507.3.6.4.

WHOLE HOUSE VENTILATION

- 1. A WHOLE HOUSE VENTILATION SYSTEM SHALL BE PROVIDED TO MEET THE REQUIREMENTS OF SECTION M1507. SIZE OF SYSTEM DETERMINED PER CALCULATION PROVIDED.
- 2. INTERMITTENTLY OPERATED WHOLE HOUSE VENTILATION SYSTEMS SHALL HAVE THE CAPABILITY FOR CONTINUOUS OPERATION, AND SHALL HAVE A MANUAL TIMER AND AN AUTOMATIC CONTROL, SUCH AS A CLOCK TIMER IF REQUIRED PER SECTION M1507.3.1.5.
- 3. WHOLE HOUSE VENTILATION SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS PER SECTION AND VENT TO THE EXTERIOR PER M1507.3.6.3.
- 4. WHERE LOCAL EXHAUST VENTS ARE USED FOR WHOLE HOUSE VENTILATION, THE MINIMUM EXHAUST RATE FOR THE LOCAL EXHAUST MUST BE MET (M1507.4) PER M1507.4
- OPTIONS REVIEW PER PROJECT REQUIREMENTS AND ADD TO ABOVE 1. THE BUILDING SHALL BE EQUIPPED WITH A WHOLE HOUSE VENTILATION SYSTEM INTEGRATED WITH THE FORCED AIR HEATING SYSTEM. SYSTEM SHALL SUPPLY OUTSIDE AIR AT A RATE CALCULATED USING SECTION M1508.3. THE SYSTEM SHALL BE EQUIPPED WITH A MOTORIZED DAMPER CONNECTED TO THE AUTOMATIC VENTILATION CONTROL AS SPECIFIED IN SECTION M1508.5.2. INLETS SHALL BE SCREENED OR OTHERWISE PROTECTED FROM ENTRY BY LEAVES OR OTHER MATERIAL

ENERGY CODE REQUIREMENTS

REFERENCE: 2018 WASHINGTON STATE ENERGY CODE

R401.3 COMPLIANCE CERTIFICATE: A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH SEC 401.3 IS REQUIRED TO BE COMPLETED BY A DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.

TABLE R402.1.1 INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT FOR CLIMATE ZONE MARINE 4

FENESTRATION U-FACTOR SKYLIGHT U-FACTOR **CEILING R-VALUE** VAULTED CEILING R-VALUE WOOD FRAMED WALL R-VALUE BELOW-GRADE WALL R-VALUE FLOOR R-VALUE SLAB ON GRADE R-VALUE & DEPTH

** "10/15/21 + TB" MEANS R-10 CONTINUOUS INSULATION ON THE EXTERIOR OF THE WALL, OR R-15 CONTINUOUS INSULATION ON THE INTERIOR OF THE WALL, OR R-21 CAVITY INSULATION PLUS A THERMAL BREAK BETWEEN THE SLAB AND THE BASEMENT WALL AT THE INTERIOR OF THE BASEMENT WALL. "10/15/21 +TB" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE WALL. "TB" MEANS THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL

*** R-10 CONTINUOUS INSULATION IS REQUIRED UNDER HEATED SLAB (I.E. RADIANT FLOOR HEATED) ON GRADE FLOORS.

¹ IF ADVANCED FRAMING ALLOWS FULL DEPTH ACROSS ENTIRE SURFACE R-38 IS ACCEPTABLE. INSTALL R-49 IF INSULATION IS REDUCED AROUND CEILING PERIMETER

R402.4 BUILDING AIR LEAKAGE AND TESTING THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AND BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE BELOW 5 AIR CHANGES PER HOUR.

ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE

R403.3 DUCTS

- DUCTWORK IN UNCONDITIONED SPACES SHALL BE INSULATED WITH R-8 INSULATION, MINIMUM
- DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION.

R404.1 LIGHTING: MINIMUM 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SRC U101 SOLAR-READY ZONE

NEW ONE- AND TWO-FAMILY DWELLINGS SHALL BE PROVIDED WITH A SOLAR-READY ZONE OF NOT LESS THAN 300 SF. EXCEPTIONS:

- 1. DWELLINGS WITH < 600 SF OF QUALIFYING ROOF AREA
- 2. INDIVIDUAL UNITS WITHIN TOWNHOUSE BUILDINGS THAT HAVE < 300 SF OF QUALIFYING ROOF AREA.
- 3. BUILDINGS WITH PERMANENTLY INSTALLED ON-SITE RENEWABLE ENERGY SYSTEMS.

BUILDING AREA CALCULATIONS

	EXISTING TO REMAIN	NEW	EXISTING + NEW
CONDITIONED SPACE (INTERIOR)			
BASEMENT	1,500 SF	0 SF	1,500
FIRST FLOOR	2,043 SF	0 SF	2,043
SECOND FLOOR	0 SF	894 SF	894
TOTALS	3,543 SF	894	4,437

MECHANICAL VENTILATION CALCULATIONS

REFERENCE: 2018 WASHINGTON STATE ENERGY CODE, R403.6, TABLE R405.5.2(1) 2018 INTERNATIONAL MECHANICAL CODE M1505, TABLE M1505.4.3(1)			
REQUIRED CONTINUOUS VENTILATION PER TABLE M1505.4.3(1)			
DWELLING UNIT FLOOR AREA (ALTERED)		TOTAL SF	<u>REQUIRED</u> <u>AIRFLOW</u>
BASEMENT MAIN FLOOR SECOND FLOOR	1,500 SF 2,043 SF 894 SF	4,437 SF	
NUMBER OF BEDROOMS	4		90 CFM
INTERMITTENT VENTILATION ADJU PER M1505.4.3.1 TOTAL REQUIRED INTERMITTENT		RATE: 50% / 4HR	2 180 CFM

INTERMITTENT VENTILATION PROVIDED BY BATHROOM FANS RUNNING @ 50% TIME INTERVAL MINIMUM.

- 0.30 0.50 R-49¹ R-38¹ R-21 INT **10/15/21 + TB R-30
- ***R-10 , 2 FT

INT - (INTERMEDIATE FRAMING) DENOTES STANDARD FRAMING 16 INCHES ON CENTER WITH HEADERS INSULATED WITH A MINIMUM OF R-10 INSULATION.

R403.1 CONTROLS EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST

BUILDING CODE SUMMARY

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE

R302.6 DWELLING / GARAGE SEPARATION THE GARAGE SHALL BE SEPARATED AS FOLLOWS:

- MINIMUM 1/2" GYPSUM WALL BOARD APPLIED TO GARAGE SIDE AT WALLS (1 HOUR) RATING).
- MINIMUM 5/8" TYPE X GYPSUM WALL BOARD APPLIED TO THE CEILING OF GARAGE. • MINIMUM 1/2" GYPSUM WALL BOARD AT STRUCTURES SUPPORTING THE GARAGE
- CEILING. MINIMUM 1 3/8" SOLID CORE DOOR, OR 20-MIN FIRE RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE.

R304 AND R305 ROOM DIMENSION REQUIREMENTS

- HABITABLE SPACE SHALL HAVE A MINIMUM CEILING HEIGHT OF 7'-0".(6'-4" PERMITTED IN CITY OF SEATTLE PER DIRECTOR RULE 23-2008 IF THE EXISTING STRUCTURE WAS CONSTRUCTED PRIOR TO OCTOBER 17, 1979, BUT ALL BEAMS, DUCTS, ETC MUST BE ABOVE THIS HEIGHT).
- BEAMS, GIRDERS AND DUCTS MAY HAVE A CLEAR HEIGHT OF 6'-4". BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOM SHALL HAVE A MINIMUM
- CEILING HEIGHT OF 6'-8". A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD MUST HAVE AN AREA OF 30" X 30" WITH 6'-8" CEILING HEIGHT AT THE SHOWERHEAD.
- FOR ROOMS WITH SLOPED CEILINGS, THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 5'-0" AND NOT LESS THAN 50%
- OF THE REQUIRED FLOOR AREA SHALL HAVE A CEILING HEIGHT LESS THAN 7'-0" HABITABLE ROOMS (SLEEPING ROOMS) SHALL HAVE A FLOOR AREA NOT LESS THAN 70 SQUARE FEET.
- HABITABLE ROOMS (SLEEPING ROOMS) SHALL NOT BE LESS THAN 7'-0" IN ANY HORIZONTAL DIMENSION.

R308 GLAZING

ALL GLAZING IN HAZARDOUS LOCATIONS SHALL RECEIVE SAFETY GLASS. THE SAFETY GLASS DESIGNATION SHALL BE VISIBLY MARKED ON EACH WINDOW AS REQUIRED BY CODE. THE FOLLOWING AREAS ARE HAZARDOUS LOCATIONS AND SHALL RECEIVE SAFETY GLASS:

- GLAZING IN DOORS
- GLAZING WITHIN 24" ARC OF EITHER VERTICAL EDGE OF DOOR IN A CLOSED POSITION AND WHERE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE FINISH FLOOR.
- GLAZING IN WINDOWS THAT MEETS ALL OF THE FOLLOWING:
- A. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET B. BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE FINISH FLOOR C. THE TOP EDGE OF GLAZING IS MORE THAN 36" ABOVE FINISH FLOOR
- D. ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING.
- GLAZING AT WET SPACES WHERE THE BOTTOM OF EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" (EXCEPTION: FOR GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF
- A BATHTUR • GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAY.

R310 EMERGENCY ESCAPE AND RESCUE OPENINGS

- BASEMENTS, HABITABLE ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING • THE OPENING SHALL HAVE MAX CLEAR OPENING SILL HEIGHT OF 44" ABOVE FINISH FLOOR, AND IT SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD THAT
- OPENS TO PUBLIC WAY. • THE OPENING SHALL HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET, WITH MINIMUM NET CLEAR HEIGHT OF 24" AND MINIMUM NET CLEAR WIDTH OF 20".
- THE OPENING SHALL BE OPERATIONAL FROM INSIDE THE ROOM WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE.
- WINDOW WELLS, IF REQUIRED, SHALL HAVE A MINIMUM AREA OF 9 SQUARE FEET, WITH MINIMUM PROJECTION AND WIDTH OF 36". THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.
- IF WINDOW WELL HAS A VERTICAL DEPTH GREATER THAN 44" (FROM GRADE) A LADDER OR STEPS SHALL BE AFFIXED TO THE WINDOW WELL AND ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED. LADDERS OR RUNGS SHALL HAVE A INSIDE WIDTH OF NOT LESS THAN 12" AND SHALL NOT PROJECT LESS THAN 3" MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.
- WINDOW WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE

R312 WINDOW FALL PROTECTION

- WHEN THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE FINISH GRADE BELOW (EXTERIOR SIDE), THE LOWEST PART OF CLEAR OPENING SHALL BE MINIMUM 24" ABOVE FINISH FLOOR. IF CLEAR OPENING IS LESS THAN 24" ABOVE FINISH FLOOR, MAX WINDOW OPENING SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE.
- R314 SMOKE DETECTORS /315 CARBON MONOXIDE ALARM PROVIDE A SMOKE DETECTOR AND CARBON MONOXIDE IN THE FOLLOWING
- LOCATIONS:
- SD: IN EACH SLEEPING ROOM.
- SD: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. CD: MINIMUM ONE AT EACH STORY OF THE DWELLING INCLUDING BASEMENT.

R807.1 ATTIC ACCESS

- IN BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION, AN ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER.
- THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A 30-INCH MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING.

NOTES

 ALL CODE SUMMARIES ABOVE ARE FOR REFERENCE ONLY PLEASE REFER TO THE JURISDICTION'S BUILDING DEPARTMENT AND CODES FOR FURTHER DETAILS

STAIR CODE REQUIREMENTS

GUARDRAIL HANDRAIL -

ALL STAIR GUARD RAILINGS SHALL NOT TO ALLOW PASSAGE OF A 4-3/8" DIAMETER SPHERE OR GREATER -

THE TRIANGULAR OPENING AT THIS LOCATION SHALL NOT ALLOW PASSAGE OF A SPHERE 6" IN DIAMETER OR GREATER

NOSING REQUIRED IF TREAD DEPTH IS LESS THAN 11"

R311.7 STAIRWAYS

STAIRS

- TREAD DEPTH SHALL BE A MINIMUM OF 10" PER R311.7.5.2 EXCEPTION

- TREAD NOSING PER R311.7.2
- R311751
- R311.7.3.

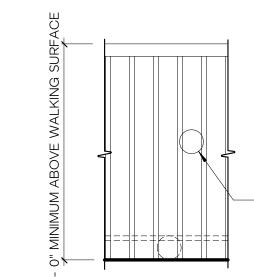
HANDRAILS

- R311.7.8.1
- R311.7.8.2.

GUARDS

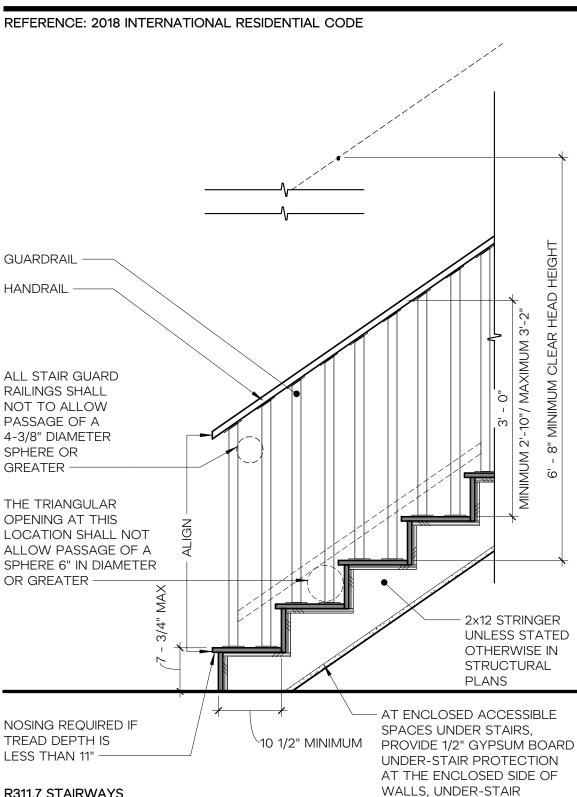
- THE TREADS PER R312.1.2.1

GUARDS CODE REQUIREMENTS



R312 GUARDS

- R312.1.3



SURFACES, AND SOFFITS, AS INDICATED BY R302.7

RISER HEIGHT SHALL BE A MAXIMUM OF 7 3/4" PER R311.7.5.1

• A NOSING IS NOT REQUIRED WHERE TREAD DEPTH IS MINIMUM 11" PER R311.7.5.3

• TREAD WIDTH SHALL BE MINIMUM OF 3'-0" PER R311.7.1 FOR WINDING STAIRS PROVIDE A MINIMUM 10" TREAD AT 12" FROM THE NARROWEST POINT AND A MINIMUM 6" TREAD AT THE NARROWEST POINT PER R311.7.5.2.1 CLEAR HEAD HEIGHT TO BE A MINIMUM OF 6'-8" MEASURED VERTICAL FROM THE

• OPEN RISERS TO NOT ALLOW A 4" DIAMETER SPHERE OR GREATER TO PASS PER

• A FLIGHT OF STAIR SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12'-3" PER

 LANDING WIDTH SHALL BE NO LESS THAN THE WIDTH OF STAIRWAY, AND MINIMUM 36" DEPTH PER R311.7.6.

HANDRAIL HEIGHT, MEASURED VERTICALLY, SHALL BE BETWEEN 34" AND 38" PER

• HANDRAILS SHALL BE CONTINUOUS FOR FULL FLIGHT PER R311.7.8.2. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS PER

• HANDRAIL TO BE A MINIMUM OF 1 1/2" IN DIAMETER PER R311.7.8.2.

• GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF

 GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4-3/8 INCHES IN DIAMETER. PER R312.1.3.2 THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR FORMED BY THE RISER, TREAD, AND BOTTOM RAIL GUARD SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER PER R312.1.1.1

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE

ALL GUARDRAILS OPENINGS TO NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH

 GUARDS ARE REQUIRED AT OPEN-SIDED WALKING SURFACES LOCATED MORE THAN 30" ABOVE ADJACENT WALKING SURFACE OR GRADE PER R312.1.2 • GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE PER R312.1.2

• GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES PER

 GUARDRAIL TO BE DESIGNED TO RESIST A 200 LB CONCENTRATED LOAD ON THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS PER R301.5.

NOTE: GUARD EXCEPTIONS FOR STAIRS NOTED ON STAIR CODE REQUIREMENTS

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SITE PLAN NOTES

ZONE: LOT SIZE:

FRONT SETBACK: MIN. REQ'D: PROPOSED:

REAR SETBACK: MIN. REQ'D: PROPOSED:

EAST SIDE SETBACK: MIN. REQ'D: PROPOSED:

WEST SIDE SETBACK: MIN. REQ'D: PROPOSED:

MAXIMUM GROSS FLOOR AREA: ALLOWED: EXISTING: AVAILABLE: PROPOSED:

INSTALLATION OF EROSION CONTROL MEASURES IS REQUIRED PRIOR TO ANY GROUND DISTURBANCE.
 CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A "FIRST GROUND DISTURBANCE INSPECTION" AFTER THE BUILDING PERMIT IS ISSUED TO MEET WITH THE SITE INSPECTOR.

LAND USE / ZONING CODE SUMMARY

R-9.6 10,893 SF

20'-0" 29'-4 11/16" NO CHANGE

25'-0" 71'-9 3/4" NO CHANGE

5'-0" 6'-10 5/8" NO CHANGE

5'-0" 6'-10 9/16" NO CHANGE

0' 4' 8'

____**I** 16'

40% 4,357 SF 2,793 SF 1,564 SF 894 SF

SITE PLAN KEY

EXISTING PERIMETER WALL CONCRETE WALKWAY _____ ROOF ABOVE

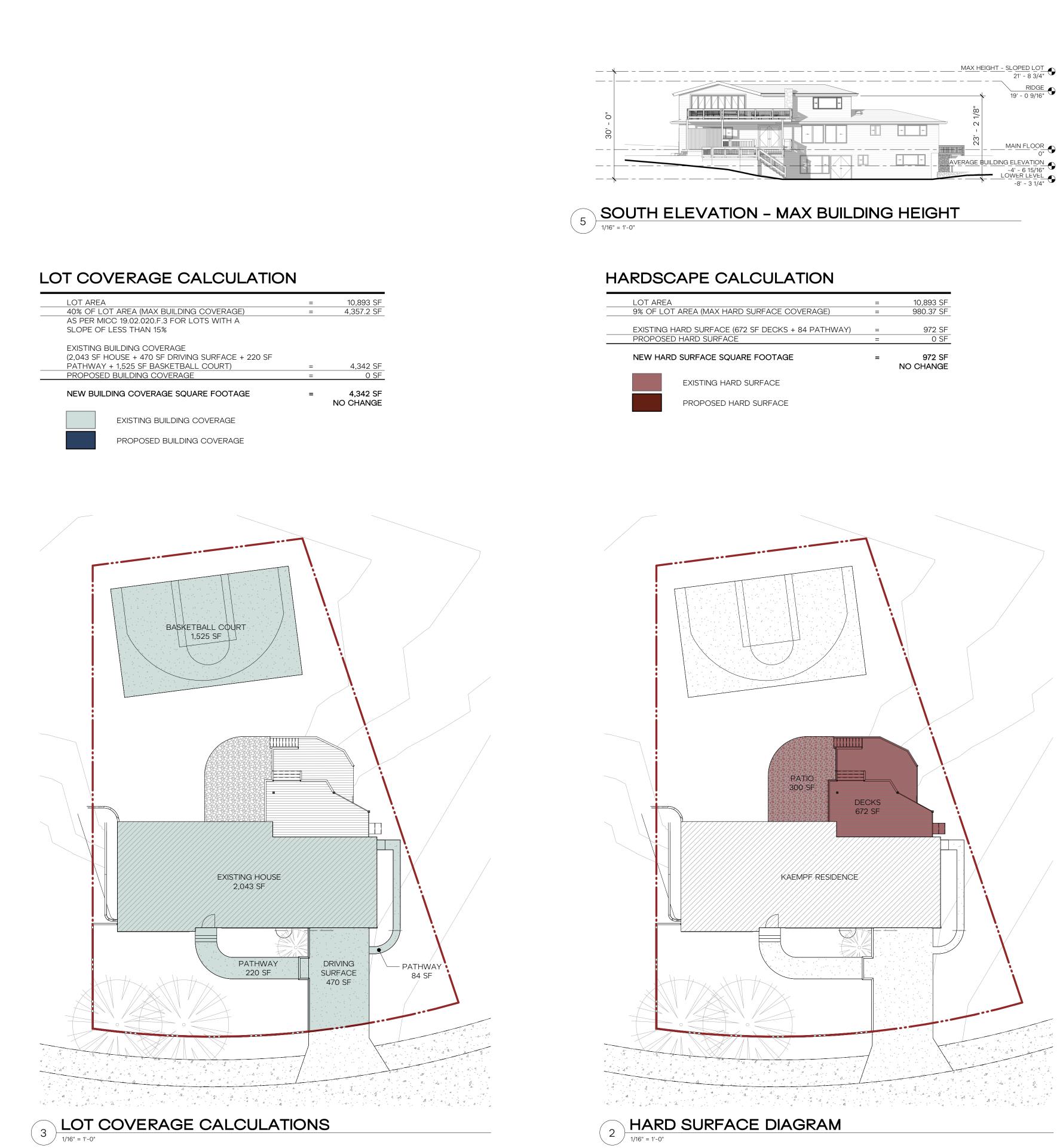
PROPERTY LINE

LINE OF SETBACK

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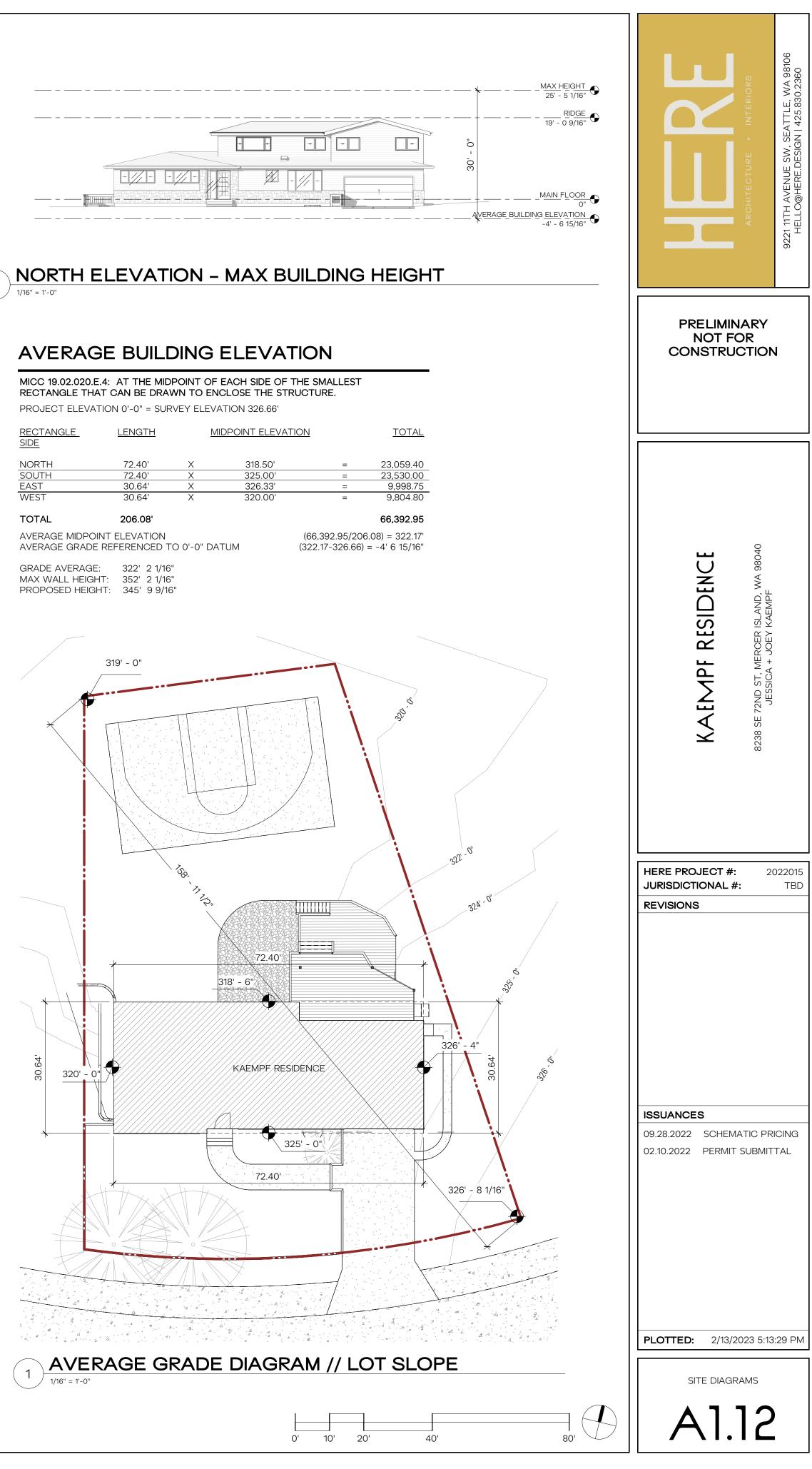
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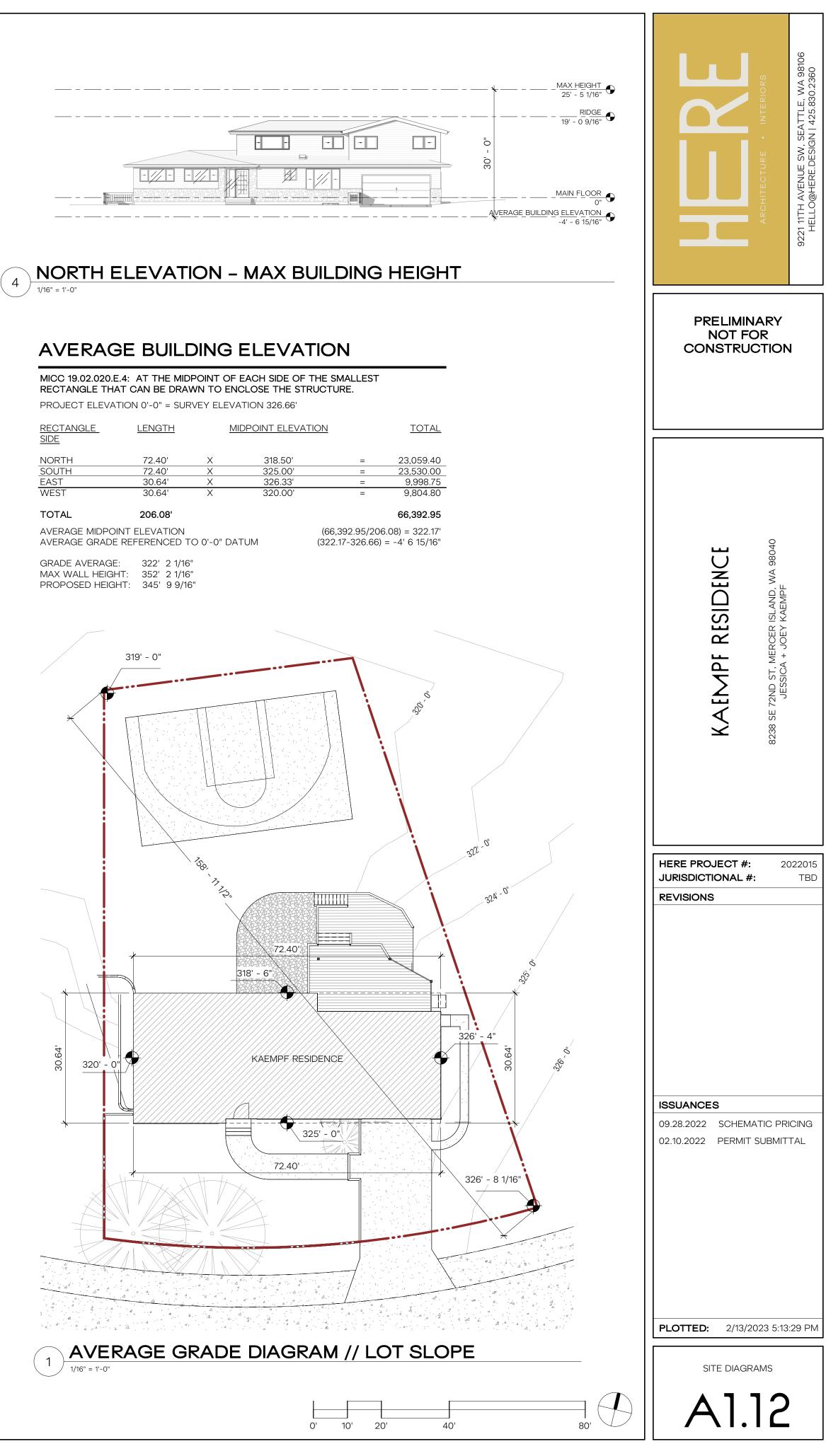


 <u>MAX HEIGHT - SLOPED LOT</u> 21' - 8 3/4"
=
$\frac{\overset{\circ}{\overset{\circ}{\scriptstyle \underset{\scriptstyle \underset{\scriptstyle \underset{\scriptstyle \underset{\scriptstyle \underset{\scriptstyle \underset{\scriptstyle \underset{\scriptstyle \underset{\scriptstyle \atop\scriptstyle \atop\scriptstyle$
/ERAGE BUILDING ELEVATION -4' - 6 15/16" LOWER LEVEL -8' - 3 1/4"

LOT AREA	=	10,893 SF
9% OF LOT AREA (MAX HARD SURFACE COVERAGE)	=	980.37 SF
EXISTING HARD SURFACE (672 SF DECKS + 84 PATHWAY)	=	972 SF
PROPOSED HARD SURFACE	=	0 SF
NEW HARD SURFACE SQUARE FOOTAGE	=	972 SF NO CHANGE
EXISTING HARD SURFACE		

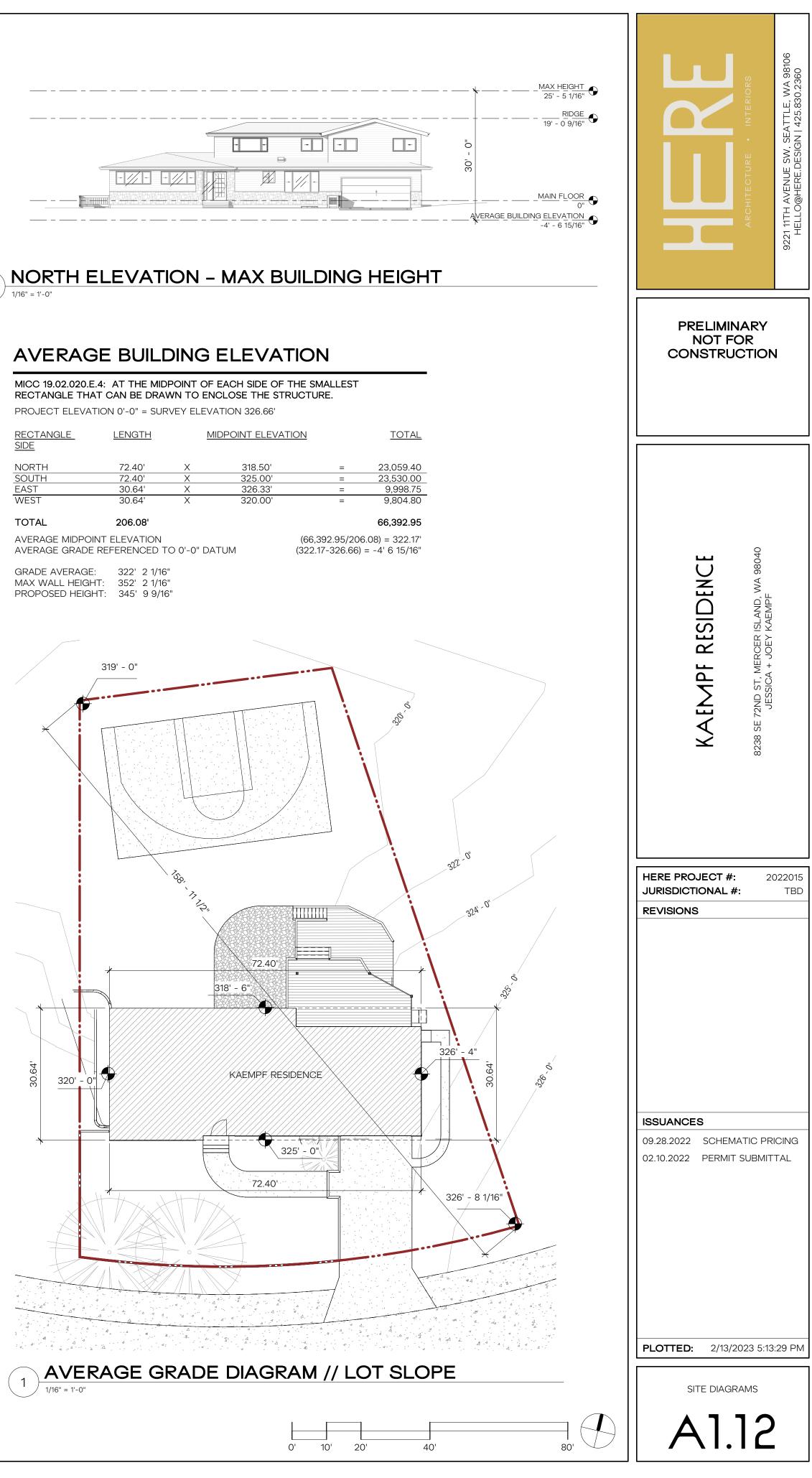


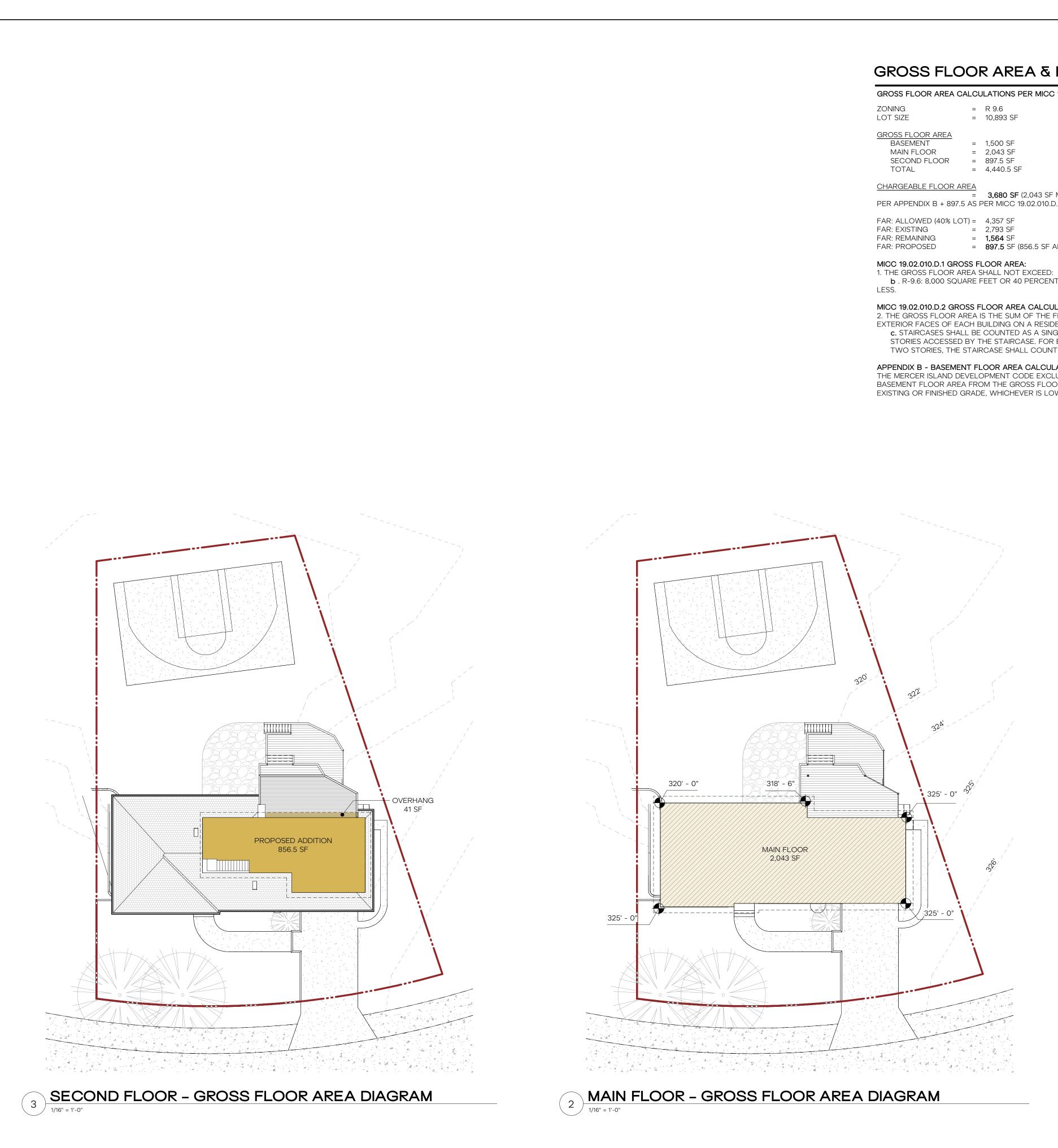




MICC 19.02.020.E.4: AT THE MIDPOINT OF E RECTANGLE THAT CAN BE DRAWN TO ENC
PROJECT ELEVATION 0'-0" = SURVEY ELEVA

<u>RECTANGLE</u> SIDE	<u>LENGTH</u>	MID
NORTH	72.40'	Х
SOUTH	72.40'	Х
EAST	30.64'	Х
WEST	30.64'	Х
TOTAL	206.08'	





GROSS FLOOR AREA & KEY

GROSS FLOOR AREA CALCULATIONS PER MICC 19.02.010.D

	= R 9.6 = 10,893 SF	WALL SEGMENT	LE
	= 1,500 SF	A B	43 7' -
	= 2,043 SF = 897.5 SF	С	4'
	= 4,440.5 SF	E	25 0'
CHARGEABLE FLOOR ARE	_	F G	29 21'
PER APPENDIX B + 897.5 A	= 3,680 SF (2,043 SF MAIN FLOOR + 750 SF BASEMENT AS S PER MICC 19.02.010.D.2)	Н	30
FAR: ALLOWED (40% LOT)	= 4,357 SF	TOTAL	163
	= 2,793 SF = 1564 SF	1,500 SF (TO	

= 1,564 SF
= 897.5 SF (856.5 SF ADDITION + 41 SF OVERHANG)

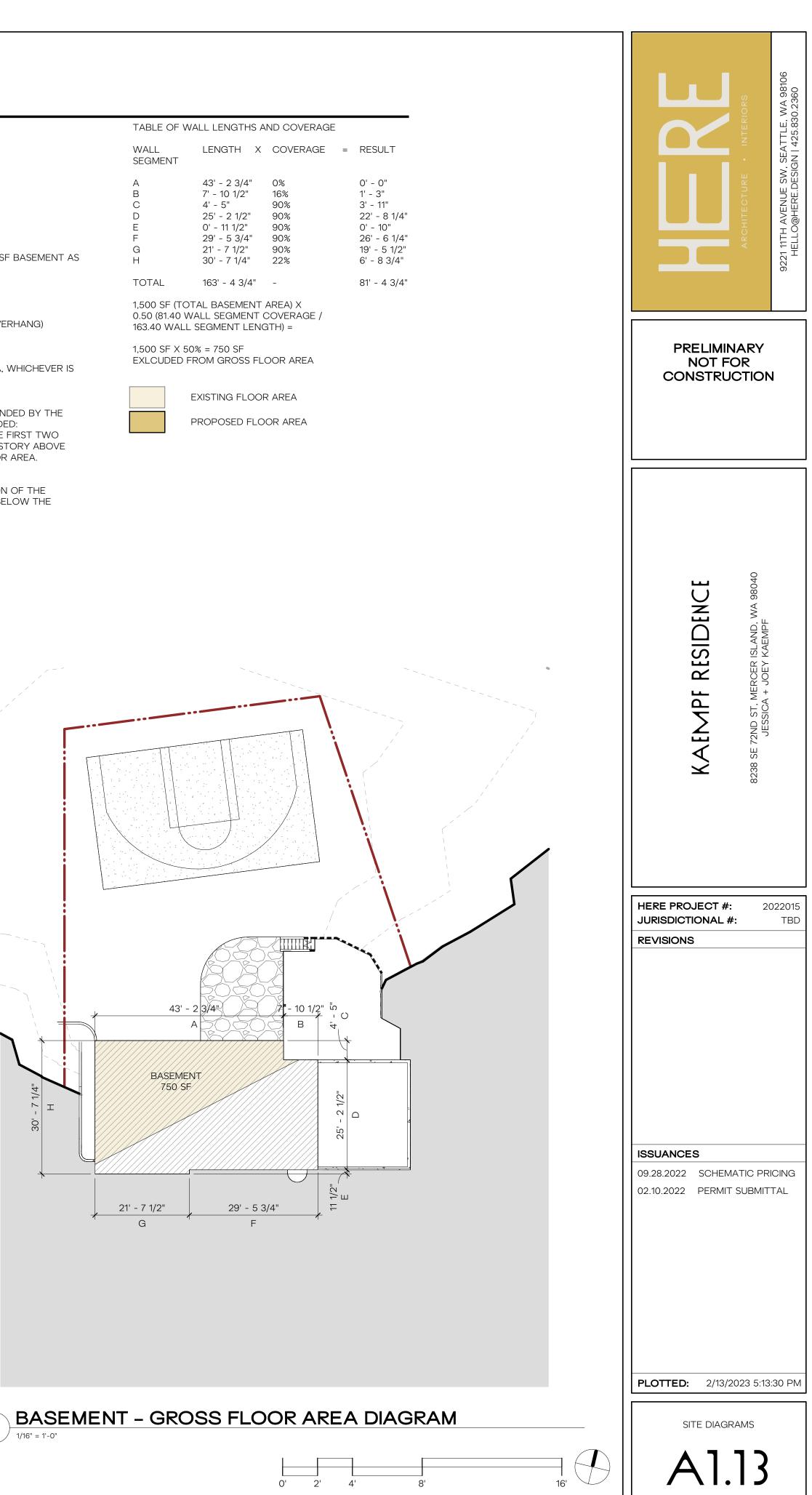
 ${f b}$. R-9.6: 8,000 SQUARE FEET OR 40 PERCENT OF THE LOT AREA, WHICHEVER IS

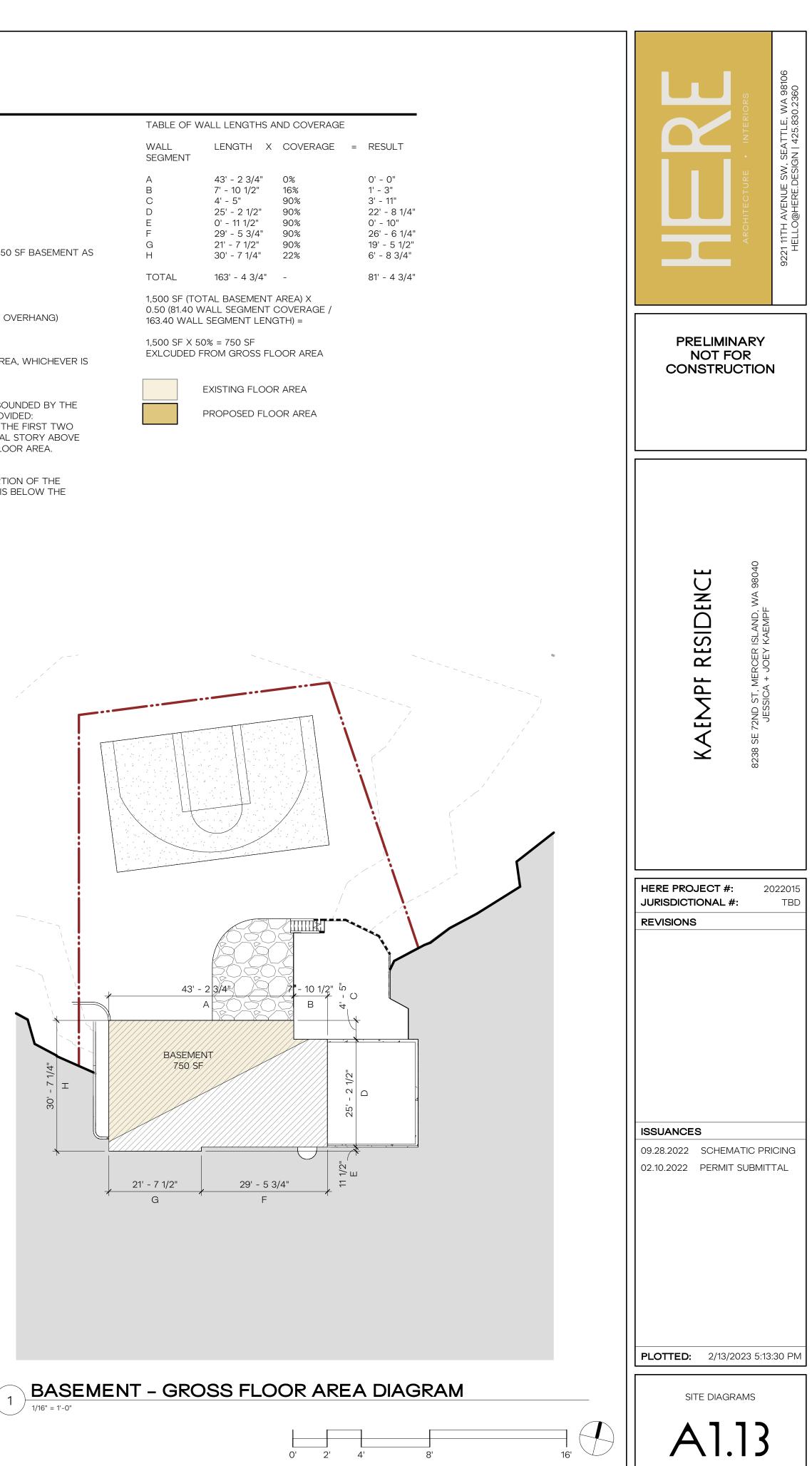
MICC 19.02.010.D.2 GROSS FLOOR AREA CALCULATIONS

2. THE GROSS FLOOR AREA IS THE SUM OF THE FLOOR AREA(S) BOUNDED BY THE EXTERIOR FACES OF EACH BUILDING ON A RESIDENTIAL LOT, PROVIDED: c. STAIRCASES SHALL BE COUNTED AS A SINGLE FLOOR FOR THE FIRST TWO STORIES ACCESSED BY THE STAIRCASE. FOR EACH ADDITIONAL STORY ABOVE TWO STORIES, THE STAIRCASE SHALL COUNT AS A SINGLE FLOOR AREA.

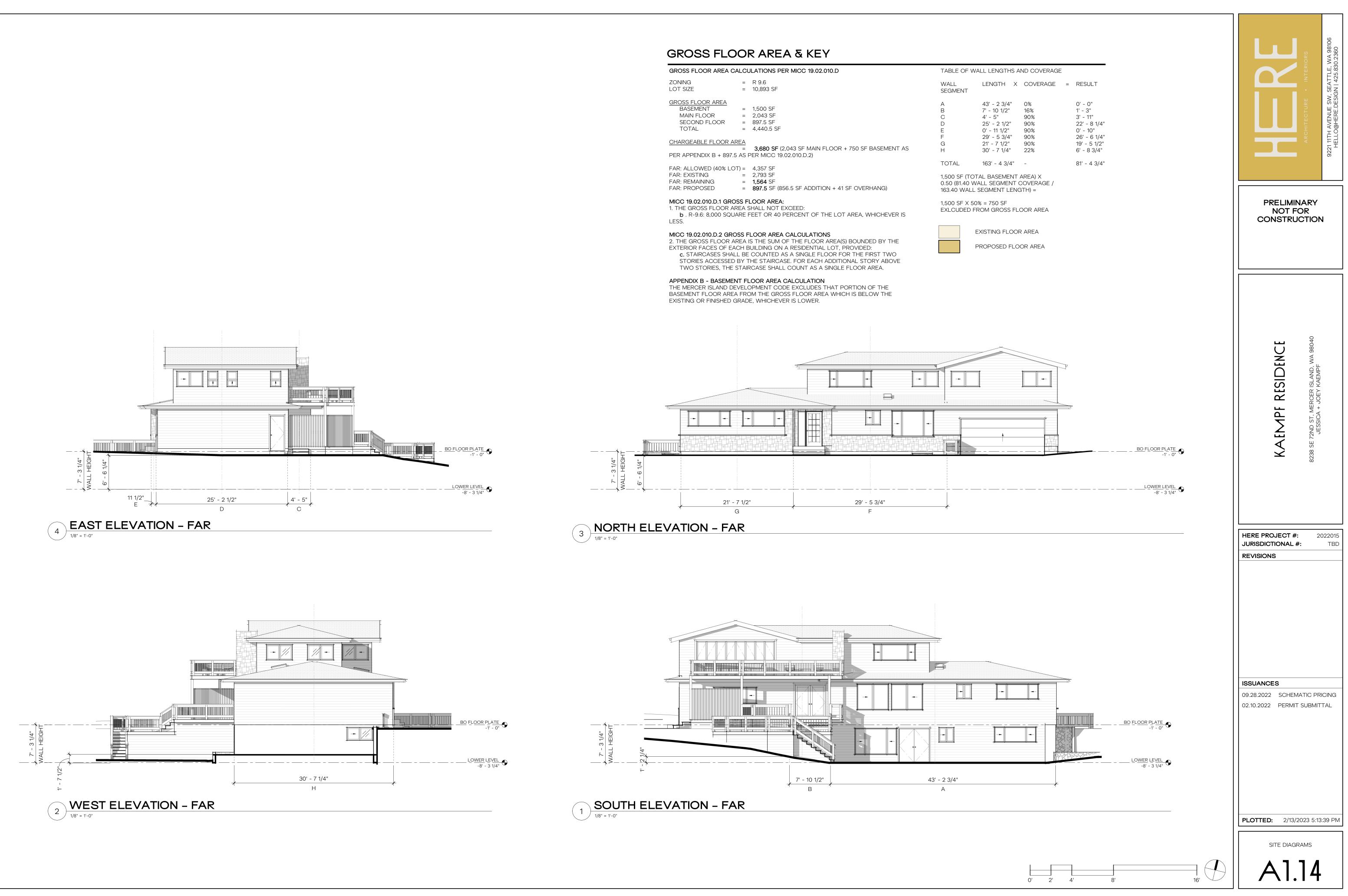
APPENDIX B - BASEMENT FLOOR AREA CALCULATION

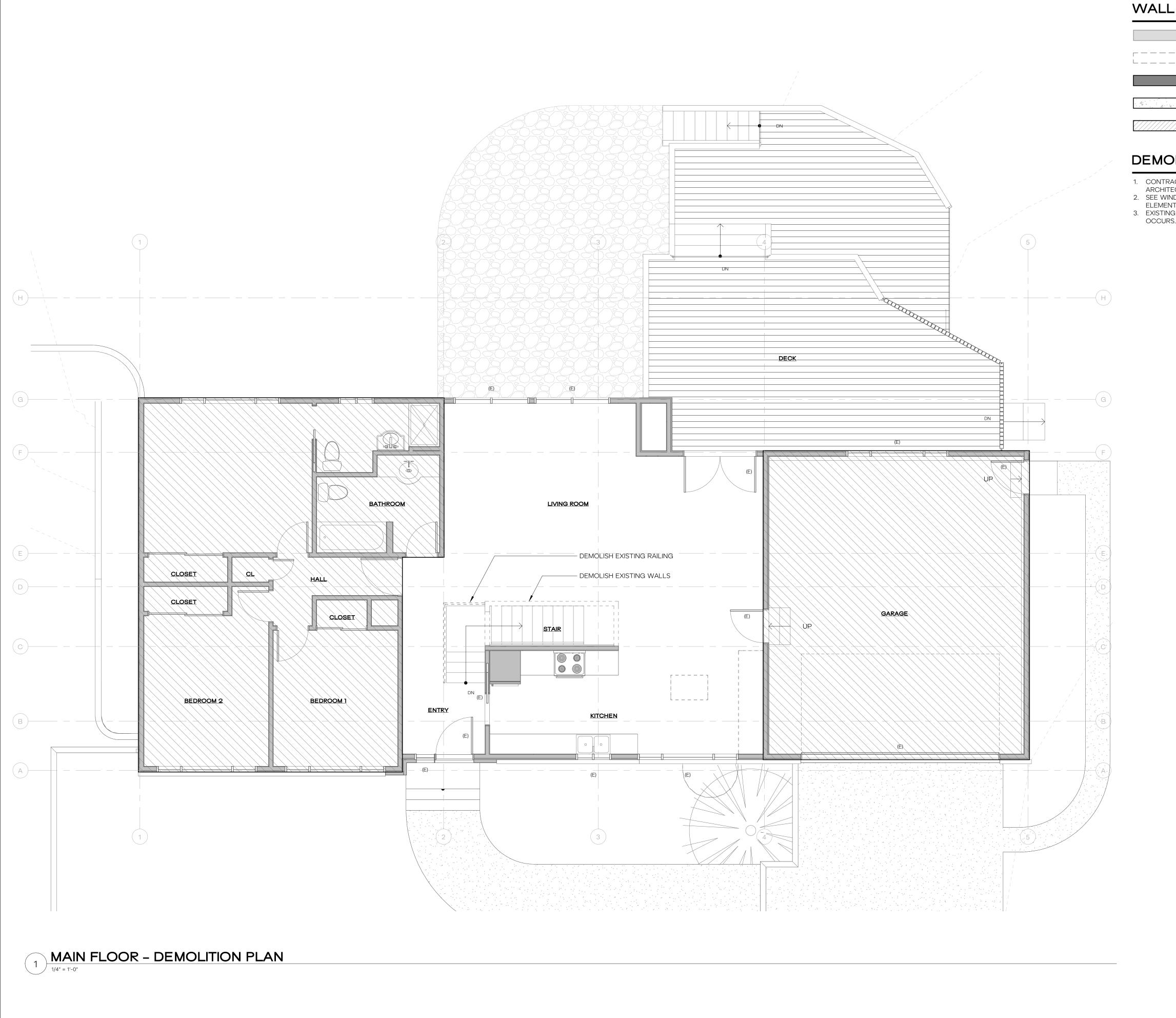
THE MERCER ISLAND DEVELOPMENT CODE EXCLUDES THAT PORTION OF THE BASEMENT FLOOR AREA FROM THE GROSS FLOOR AREA WHICH IS BELOW THE EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER.







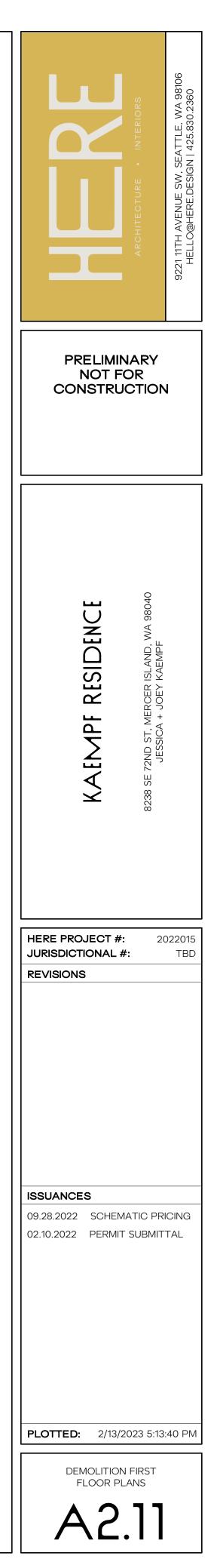




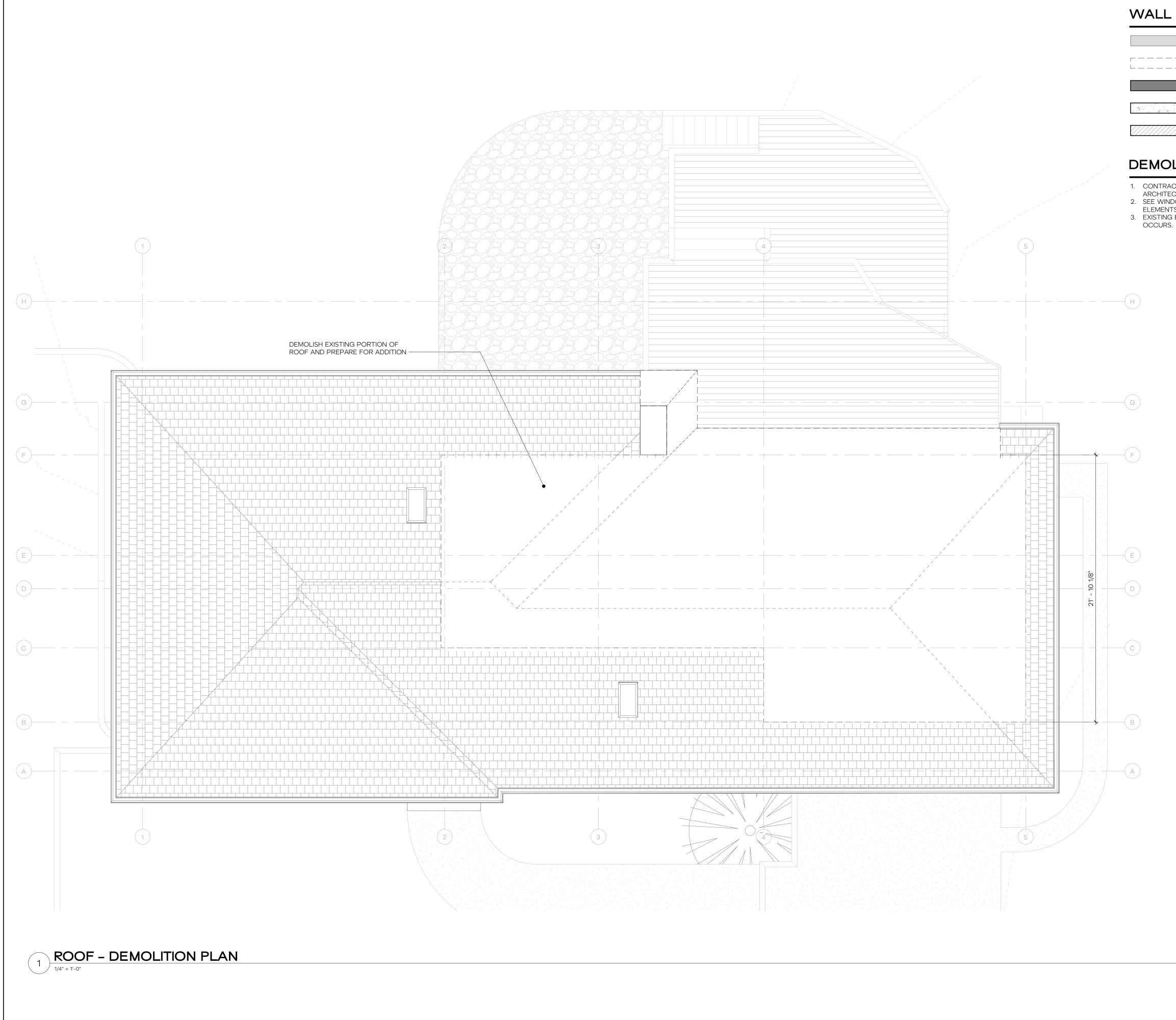
WALL

CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
 SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
 EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.

_ KEY		WINDOW / DOOR KEY
	EXISTING WALL DEMO WALL	 (E) EXISTING DOOR OR WINDOW TO REMAIN (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED (S) EXISTING DOOR OR WINDOW TO BE SALVAGED (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE
	NEW WALL	
4	NEW CONC WALL	
	ROOF CUT	
	N NOTES	

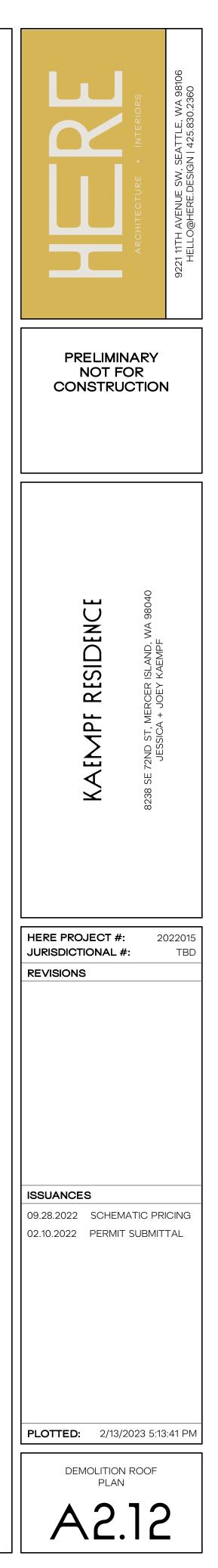


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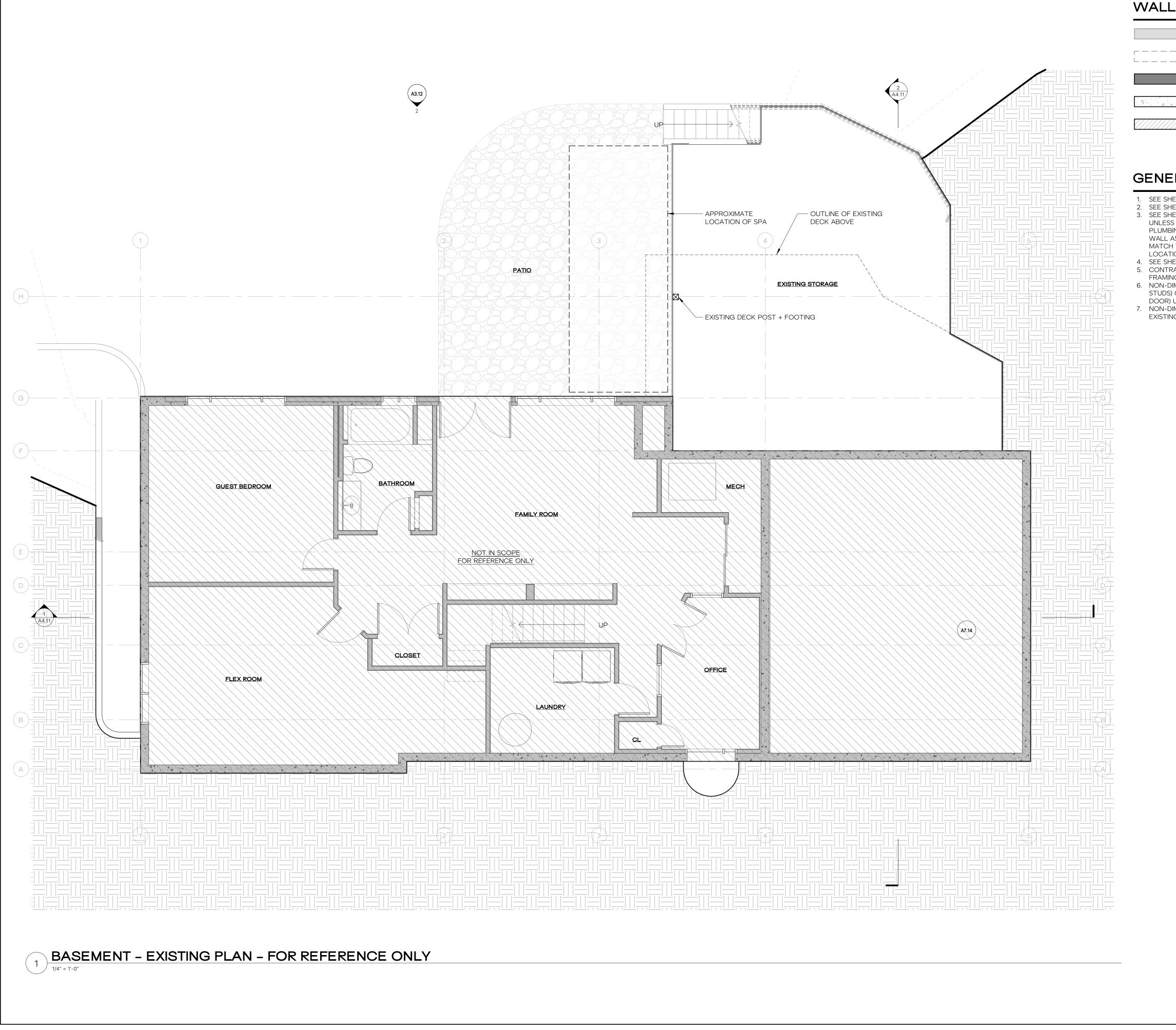


_ KEY		WIND	OW / DOOR KEY
	EXISTING WALL DEMO WALL	(D) EXISTING(S) EXISTING	DOOR OR WINDOW TO REMAIN DOOR OR WINDOW TO BE DEMOLISHED DOOR OR WINDOW TO BE SALVAGED DOOR OR WINDOW TO BE REPLACED IN PLACE
	NEW WALL		
4	NEW CONC WALL		
	ROOF CUT		
	N NOTES		

 CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
 SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
 EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.



0' 2'



WALL

_ KEY	WINDOW / DOOR KEY
EXISTING WALL DEMO WALL NEW WALL NEW CONC WALL ROOF CUT	 (S) EXISTING DOOR OR WINDOW TO BE SALVAGED (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

GENERAL PLAN NOTES

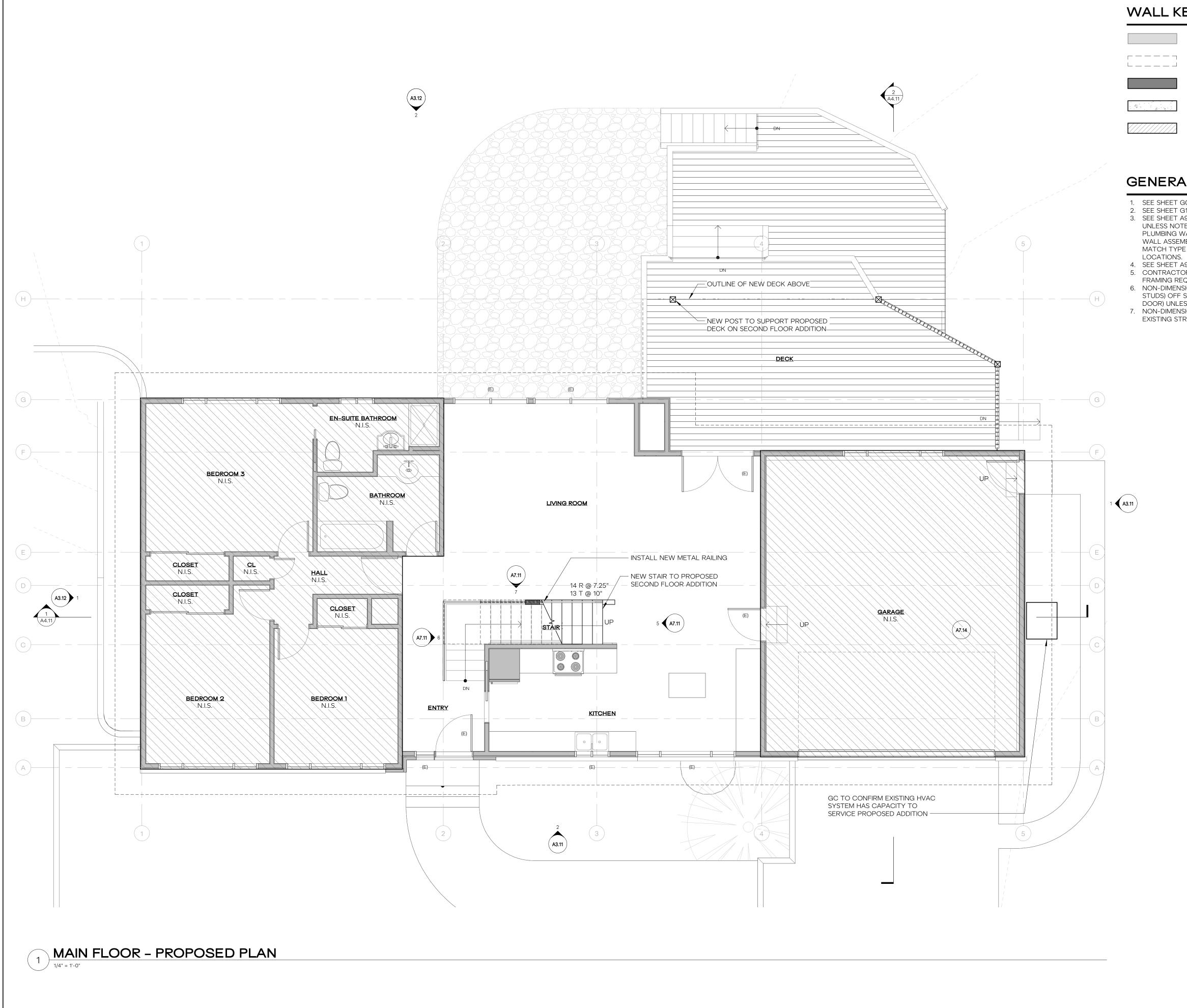
1. SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES. 2. SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS. 3. SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W.0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.

4. SEE SHEET A9.01 FOR DOOR AND WINDOW SCHEDULES. 5. CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.

6. NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.

7. NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.

	ARCHITECTURE . INTERIORS	9221 11TH AVENUE SW, SEATTLE, WA 98106 HELLO@HERE.DESIGN 425.830.2360
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KAEMPF RESIDENCE	8238 SE 72ND ST, MERCER ISLAND, WA 98040 JESSICA + JOEY KAEMPF	
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_ KEY	WINDOW / DOOR KEY
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GENERAL PLAN NOTES

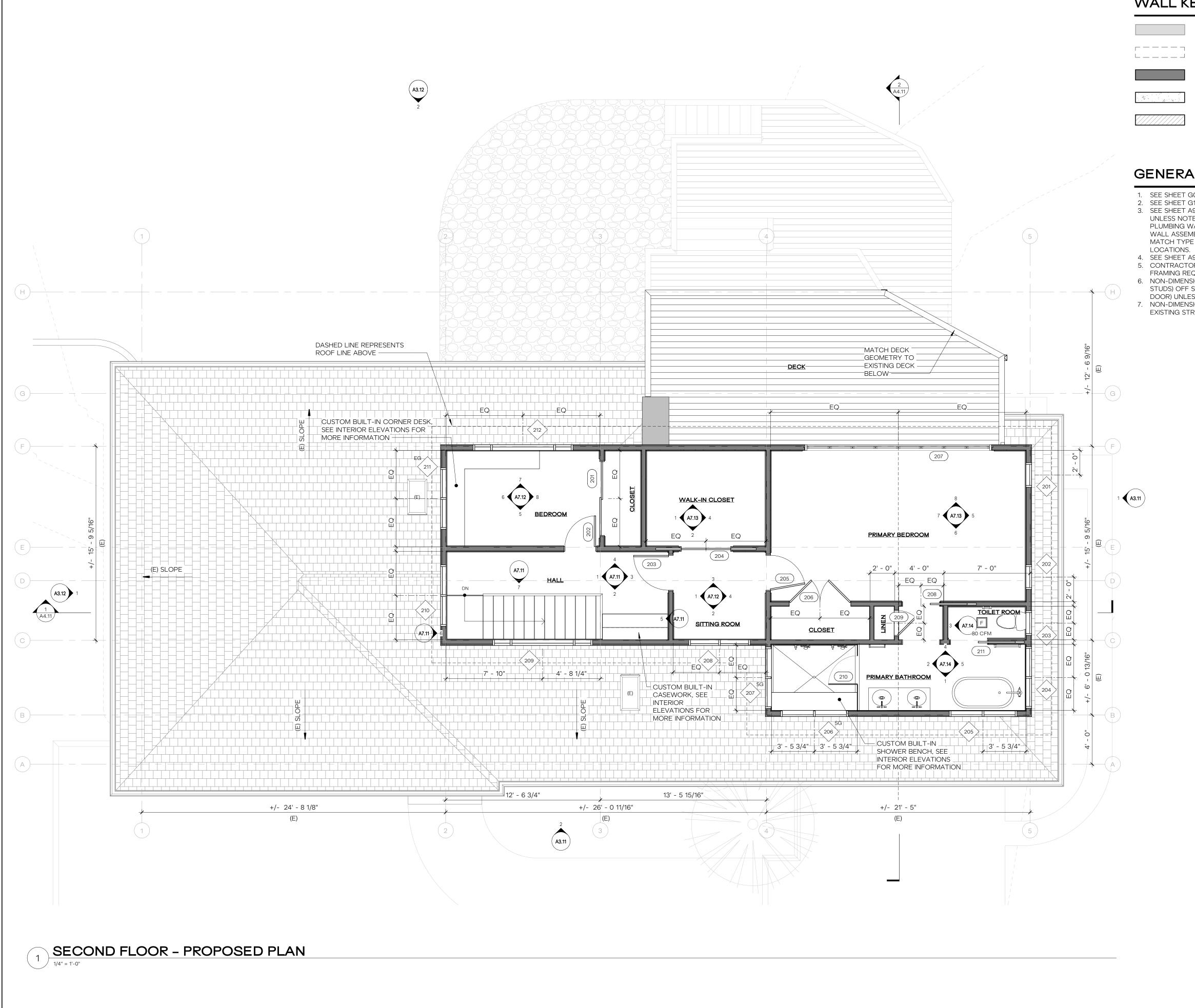
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WALL

_ KEY	WINDOW / DOOR KEY
EXISTING WALL DEMO WALL NEW WALL	 (E) EXISTING DOOR OR WINDOW TO REMAIN (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED (S) EXISTING DOOR OR WINDOW TO BE SALVAGED (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

GENERAL PLAN NOTES

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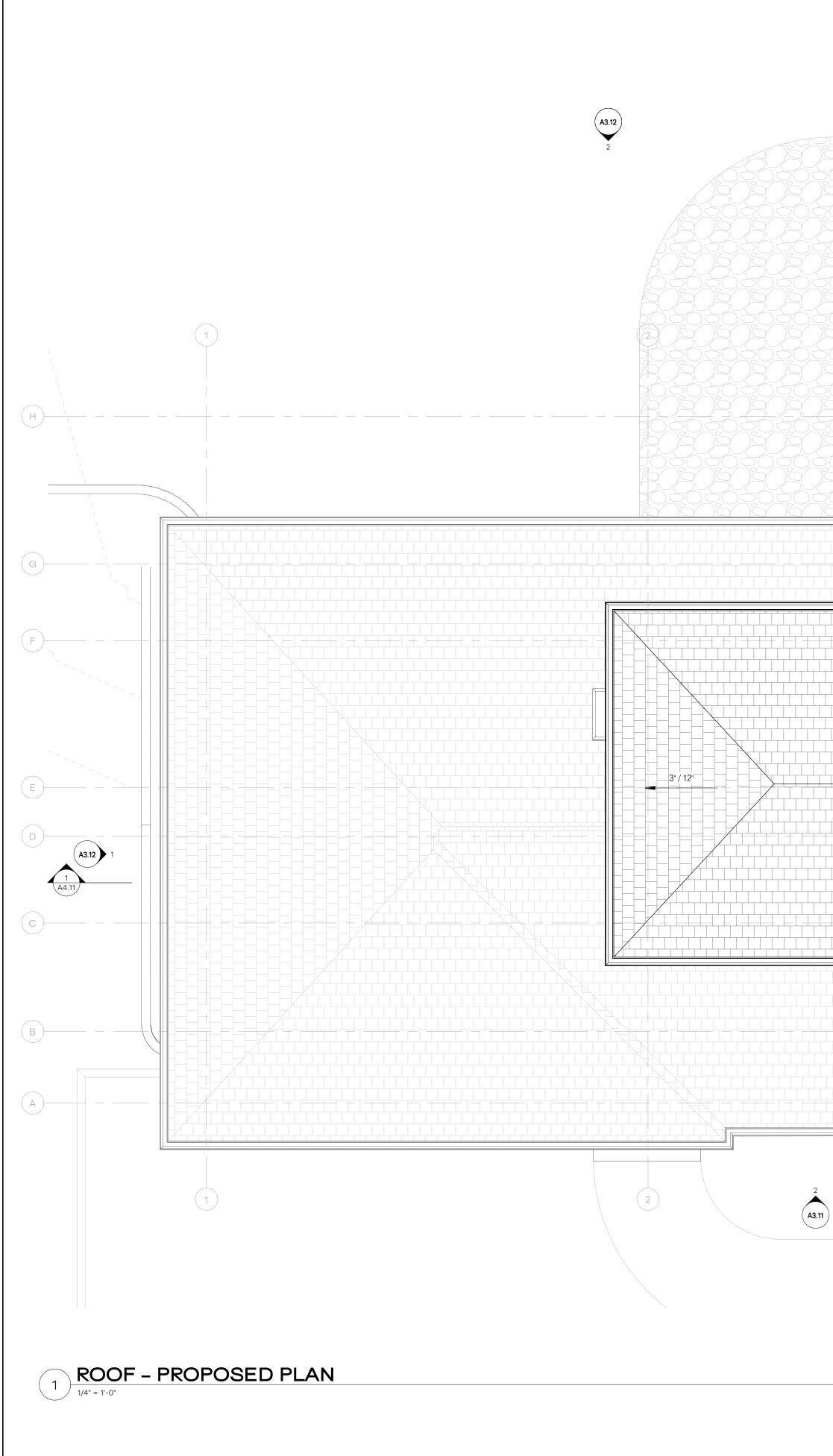
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NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.

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WALL KE	Y	WINDOW / DOOR KEY
	EXISTING WALL DEMO WALL NEW WALL NEW CONC WALL ROOF CUT	 (E) EXISTING DOOR OR WINDOW TO REMAIN (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED (S) EXISTING DOOR OR WINDOW TO BE SALVAGED (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

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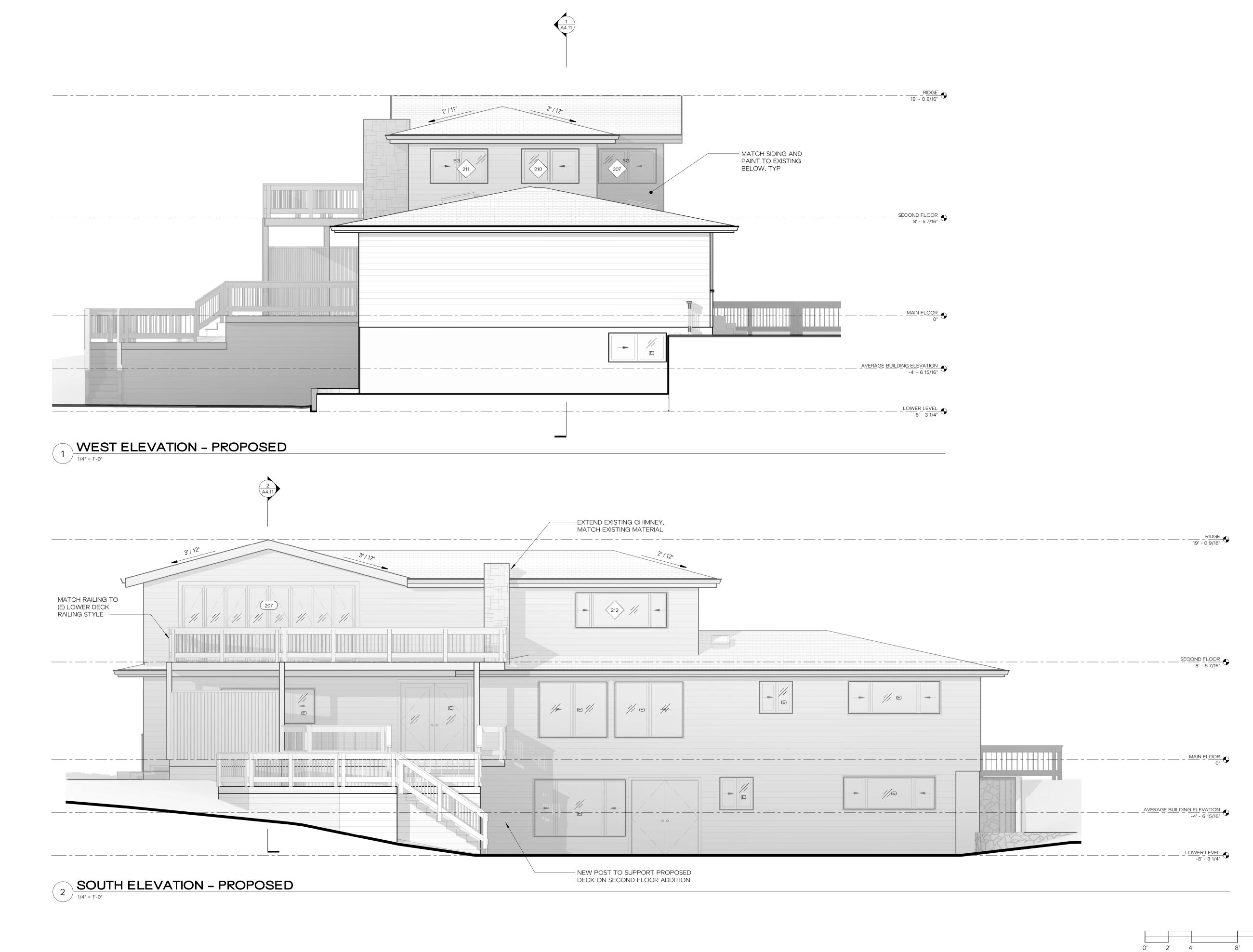
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ISSUANCES 09.28.2022 SCHEMATIC PRICING 02.10.2022 PERMIT SUBMITTAL		
PLOTTED: 2/13/20 PROPOSED ROC		



	921 11TH AVENUE SW, SEATTLE, WA 98106 9221 11TH AVENUE SW, SEATTLE, WA 98106
	PRELIMINARY NOT FOR CONSTRUCTION
	KAEMPE RESIDENCE 8238 SE 72ND ST. MERCER ISLAND. WA 98040 JESSICA + JOEY KAEMPE
SECOND FLOOR 8' - 5 7/16"	HERE PROJECT #: 2022015 JURISDICTIONAL #: TBD REVISIONS
	ISSUANCES 09.28.2022 SCHEMATIC PRICING 02.10.2022 PERMIT SUBMITTAL
	PLOTTED: 2/13/2023 5:14:05 PM PROPOSED EXTERIOR ELEVATIONS A3.11

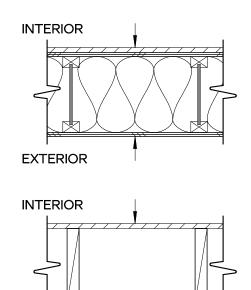


BIEREDESIGN 1425.830.2360
PRELIMINARY NOT FOR CONSTRUCTION
KAEMPF RESIDENCE 238 SE 72ND ST. MERCER ISLAND. WA 98040 JESSICA + JOEY KAEMPF
HERE PROJECT #: 2022015 JURISDICTIONAL #: TBD REVISIONS
ISSUANCES 09.28.2022 SCHEMATIC PRICING 02.10.2022 PERMIT SUBMITTAL
PLOTTED: 2/13/2023 5:14:24 PM PROPOSED EXTERIOR ELEVATIONS A3.12

І 16'



WALL KE	Y	
	EXISTING WALL	A CHITECTURE INTERIORS 111TH AVENUE SW, SEATTLE, WA 98106 HELLO@HERE.DESIGN I 425.830.2360
	DEMO WALL	ATTLE, WA 9
	NEW WALL	RE • SW, SEA
	NEW CONC WALL	ARCHITEOTURE 11TH AVENUE SW
		9221 11TH AVENUE HELLO@HERE.E
		6
		PRELIMINARY NOT FOR CONSTRUCTION
		40
		ESID R ISLAND Y KAEMP
		PF RI MERCER
		KAEMPF RESIDENCE 8238 SE 72ND ST, MERCER ISLAND, WA 98040 JESSICA + JOEY KAEMPF
		KA 8238 SE
		HERE PROJECT #: 2022015
		JURISDICTIONAL #: TBD REVISIONS
<u>MAIN FLOOR</u>		09.28.2022 SCHEMATIC PRICING
		02.10.2022 PERMIT SUBMITTAL
AVERAGE BUILDING ELEVATION -4' - 6 15/16"		
-4 - 6 15/16		
		PLOTTED: 2/13/2023 5:14:25 PM
		PROPOSED BUILDING
0' 2' 4' 8'	16'	A4.11



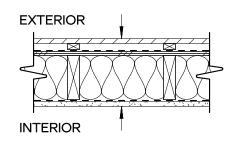
EXTERIOR

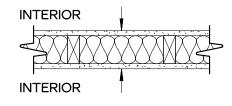
	WINDOW SCHEDULE									
MARK	LOCATION	WIDTH	HEIGHT	GLAZING AREA	Head Height	EXTERIOR	EGRESS	SAFETY GLAZING	U FACTOR	NOTES
201	PRIMARY BEDROOM	2' - 0"	3' - 0"	6 SF	3' - 10 7/8"	•			0.00	
202	PRIMARY BEDROOM	2' - 0"	3' - 0"	6 SF	3' - 10 7/8"	•			0.00	
203	TOILET ROOM	2' - 0"	3' - 0"	6 SF	6' - 0"	•			0.00	
204	PRIMARY BATHROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	•			0.00	
205	PRIMARY BATHROOM	5' - 6"	3' - 0"	17 SF	3' - 10 7/8"	•			0.00	
206	PRIMARY BATHROOM	5' - 6"	3' - 0"	17 SF	3' - 10 7/8"	•		•	0.00	
207	PRIMARY BATHROOM	5' - 0"	3' - 0"	15 SF	3' - 10 7/8"	•		•	0.00	
208	SITTING ROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	•			0.00	
209	HALL	8' - 1 1/2"	3' - 3 1/2"	27 SF	6' - 3 1/2"	•			0.00	
210	HALL	5' - 0"	3' - 0"	15 SF	6' - 0"	•			0.00	
211	BEDROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	•	•		0.00	
212	BEDROOM	8' - 1 1/2"	3' - 3 1/2"	27 SF	6' - 3 1/2"	•			0.00	

	A9.0 - DOOR SCHEDULE										
	DOOR DOOR										
				SIZE							
				THICKNES							
MARK	LOCATION	WIDTH	HEIGHT	S	GLAZING AREA	EXTERIOR	U FACTOR	NOTES	Filter		
201	BEDROOM	6' - 0"	6' - 8"	1 3/8"							
202	BEDROOM	2' - 6"	6' - 8"	1 3/8"		•					
203	SITTING ROOM	2' - 10"	6' - 8"	1 3/8"		•					
204	WALK-IN CLOSET	4' - 0"	6' - 8"	1 3/8"							
205	PRIMARY BEDROOM	2' - 10"	6' - 8"	1 3/8"		•					
206	PRIMARY BEDROOM	5' - 0"	6' - 8"	1 3/8"		•					
207	PRIMARY BEDROOM	15' - 0"	6' - 8"	1 3/8"	78 SF	•					
208	PRIMARY BEDROOM	3' - 0"	6' - 8"	1 1/2"							
209	LAUNDRY	2' - 0"	6' - 8"	1 3/8"		•					
210	PRIMARY BATHROOM	2' - 4"	6' - 3 1/2"	5/8"							
211	TOILET ROOM	3' - 0"	6' - 8"	1 1/2"							

FLOOR ASSEMBLIES

- F.1 NEW INSULATED FLOOR
- FINISH PER SPECIFICATION PLYWOOD SUBFLOOR PER
- STRUCTURAL
- TJIs AT 16" O.C.
- **R-30 BATT INSULATION** PLYWOOD SOFFIT
- F.2 UNINSULATED DECK FLOOR FINISH PER SPECIFICATION
- 2x10s AT 16" O.C.





WALL ASSEMBLIES

W.1 - EXTERIOR WALL

- SIDING PER ELEVATIONS 1X FURRING
- TYPE III WRB PER SPECIFICATIONS PLYWOOD SHEATHING
- 2x6 FRAMING **R-21 INSULATION PER**
- SPECIFICATIONS AIR & TYPE III VAPOR BARRIER PER
- SPECIFICATIONS
- GYPSUM WALL BOARD

W.2 - NEW INTERIOR WALL FINISH PER SPECIFICATIONS

- GYPSUM WALL BOARD 2x4 FRAMING, UNO
- ACOUSTIC INSULATION PER PLANS GYPSUM WALL BOARD
- FINISH PER SPECIFICATIONS

INTERIOR EXTERIOR EXTERIOR

EXTERIOR

WINDOW NOTES

- WINDOW HEAD HEIGHTS MEASURED FROM TOP SHEATHING. 2. WINDOW SCHEDULE INDICATES WINDOW FRAME SIZES. VERIFY WITH ARCHITECT ALL
- WINDOW SIZES BEFORE FRAMING OPENINGS. 3. PROVIDE WINDOW SUBMITTALS TO ARCHITECT PRIOR TO ORDERING WINDOWS. 4. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS INDICATED OTHERWISE. ADJUST ROUGH OPENING HEIGHTS OR CUT DOWN DOORS AS NECESSARY

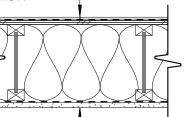
- INFORMATION.
- 6. CONTRACTOR TO ORDER EGRESS WINDOWS WITH PROPER EGRESS HARDWARE WHERE REQUIRED TO MEET CODE REQUIREMENTS. 7. CONTRACTOR TO VERIFY ALL EGRESS WINDOWS ORDERED MEET CURRENT CODE
- EGRESS REQUIREMENTS.

DOOR NOTES

- OPTIONS OF A DOOR.
- ALL DOORS.
- 5. PROVIDE DOOR SUBMITTALS TO ARCHITECT PRIOR TO ORDERING DOORS. 6. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS NOTED OTHERWISE. 7. ALL GLAZING IN NEW DOORS TO BE APPROVED SAFETY-GLAZING. CONTRACTOR IS TO VERIFY THAT ALL DOORS REQUIRING SAFETY GLAZING ARE MANUFACTURED AND INSTALLED WITH THE CORRECT GLAZING.
- INFORMATION.
- WEATHERSTRIPPED.

WINDOW SCHEDULE

ROOF ASSEMBLIES



R.1 UNVENTED SLOPED ROOF

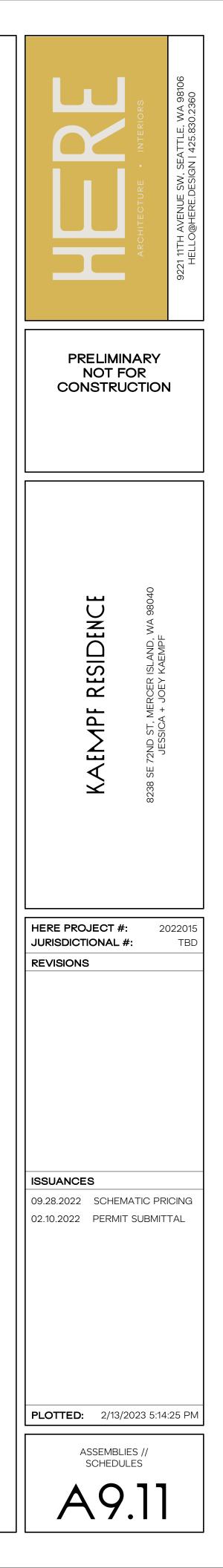
- MATCH EXISTING SHINGLES ICE & WATER SHIELD
- PLYWOOD SHEATHING
- PREMANUFACTURED TRUSSES INSULATION
- BARRIER PER SPEC
- GYPSUM CEILING BOARD

R.2 UNVENTED SLOPED ROOF EAVE MATCH EXISTING SHINGLES

- ICE & WATER SHIELD
- SHEATHING
- FRAMING PER STRUCTURAL • 5/8" DAMP RATED GWB
- SOFFIT MATERIAL

- (CONSULT WITH ARCHITECT AS NECESSARY). 5. SEE PROJECT SPECIFICATIONS FOR WINDOW MANUFACTURER AND OTHER
- 8. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

- 1. DOOR SCHEDULE INDICATES DOOR PANEL SIZE.
- 2. VERIFY WITH ARCHITECT ALL DOOR SIZES BEFORE FRAMING OPENINGS. 3. ALL OPERATIONS NOTED ON FLOOR PLANS AND/OR ELEVATIONS. IF A DOOR KEY IS PROVIDED, IT IS FOR CONVENIENCE AND MAY NOT INDICATE ALL THE NECESSARY
- 4. CONTRACTOR TO CONFIRM ACTUAL DOOR SIZES AND ROUGH OPENING SIZES FOR
- 8. SEE PROJECT SPECIFICATIONS FOR DOOR MANUFACTURER AND OTHER
- 9. ALL EXTERIOR DOORS AND DOORS TO UNHEATED SPACES SHALL BE FULLY
- 10. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.



- DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018) EDITION). 2. DESIGN LOADING CRITERIA RESIDENTIAL - ONE AND TWO-FAMILY DWELLINGS ROOF ROOF LIVE LOAD MISCELLANEOUS LOADS DEFLECTION CRITERIA LIVE LOAD DEFLECTION ENVIRONMENTAL LOADS SNOW Ce=1.0, Is=1.0, Ct=1.0, Cs=1.0, Pg=25 PSF, Pf=25 PSF WIND . . . GCpi=0.18, 110 MPH, RISK CATEGORY II, EXPOSURE "B", KZT=1.30 EARTHQUAKE . . . ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS. Vs=17.9 KIPS SITE CLASS=D, Ss=147, Sds=117, S1=51, SD1=57, Cs=0.180 SDC D (DEFAULT), Ie=1.0, R=6.5 SEE PLANS FOR ADDITIONAL LOADING CRITERIA 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL
- DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.
- DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION"
- CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.
- 9. ALL STRUCTURAL SYSTEMS, WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED, SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

QUALITY ASSURANCE

10. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.

EXPANSION BOLTS AND THREADED EXPANSION INSERTS PER MANUFACTURER EPOXY GROUTED INSTALLATIONS PER MANUFACTURER

PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS. CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK INSTRUCTIONS. REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.

- 11. UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705. 12 OF THE INTERNATIONAL BUILDING CODE.
- A. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR FIELD GLUING, NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE, RESISTING SYSTEM INCLUDING SHEAR WALLS, DIAPHRAGMS, DRAG STRUTS, BRACES AND HOLDOWNS.

GEOTECHNICAL

25. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE 31. PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE 37. WOOD FASTENERS ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE 12. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE DRAWINGS SHALL BE INSTALLED USING "AT-XP" AS MANUFACTURED BY SIMPSON MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR PLATE-CONNECTED WOOD TRUSS CONSTRUCTION. ANSI/TPI 1" BY THE TRUSS PLATE STRONG-TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH IAMPO REPORT NO. APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ER-0281. MINIMUM BASE MATERIAL TEMPERATURE IS 14 DEGREES, F. RODS SHALL INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL ASSUMED. NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN. BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF BE AS FOLLOWS: INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO COLUMNS OR WALLS ABOVE. THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING. GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

COEFFICIENT OF FRICTION (FS OF 1.5 INCLUDED). 0.45

RENOVATION

- 27. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD No. 17, GRADING RULES FOR WEST COAST 12. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE LUMBER, 2018, OR WWPA STANDARD, WESTERN LUMBER GRADING RULES 2017. COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING FURNISH TO THE FOLLOWING MINIMUM STANDARDS: CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- 13. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.
- 4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND 15. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

- 16. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE OR HEM-FIR NO. 2 WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 28. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2,500CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 33. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PSI. 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI. CAMBER ALL IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND SIMPLE SPAN GLULAM BEAMS, WITH SPANS OVER 30', TO 3,500' RADIUS, UNLESS CONCRETE OR MASONRY. AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, SHOWN OTHERWISE ON THE PLANS.
- 17. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN 34. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE ACCORDANCE WITH ACI 318-14, TABLE 19. 3. 2. 1 MODERATE EXPOSURE, F1. 29. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD
- MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS 18. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1). REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: CONTACT WITH FRESH WATER OR SOLL SHALL BE TREATED TO AWPA UC4A. WOOD FOR GRADE 60, FY = 60,000 PSI. USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.
- ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR 19. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315R-18 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-O" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

20. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED

- FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER). . 1-1/2" 30. PREFABRICATED PLYWOOD WEB JOISTS SHALL BE DESIGNED BY THE MANUFACTURER FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS AND SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED SPECIFICATIONS. RECOMMENDATIONS FOR PROTECTION OF METAL. 21. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND ALL NECESSARY BRIDGING, BLOCKING, BLOCKING PANELS, STIFFENERS, ETC., SHALL DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE BE DETAILED AND FURNISHED BY THE MANUFACTURER. SUBMIT SHOP DRAWINGS AND 36. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL PRIOR TO FABRICATION. DESIGN SUBMITTALS SHALL BEAR THE STAMP AND GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER, STATE OF WASHINGTON. FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE PERMANENT AND TEMPORARY BRIDGING SHALL BE INSTALLED IN CONFORMANCE WITH PRECAST. NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD MANUFACTURER'S SPECIFICATIONS CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE 22. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL MANUFACTURER'S RECOMMENDATIONS.
- BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM)

ANCHORAGE

- 23. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION
- 24. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-XP" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2508. MINIMUM BASE MATERIAL TEMPERATURE IS 50 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION. HOLE DIMENSIONS. HOLE CLEANING PROCEDURE. ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

General Structural Notes THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

26. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

WOOD

JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI	
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI	
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI	
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI	
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI	
STUDS, PLAT	ES & MISC. FRAMING:	DOUGLAS FIR-LARCH NO. 2	

PSL (2.0E WS)	Fb = 2900 PSI,	E = 2000 KSI,	Fv = 290 PSI
LVL (2.0E-2600FB WS)	Fb = 2600 PSI,	E = 2000 KSI,	Fv = 285 PSI
LSL (1.55E)	Fb = 2325 PSI,	E = 1550 KSI,	Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

THE DESIGN SHOWN ON THE PLANS IS BASED ON JOISTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION, IN ACCORDANCE WITH ICC-ES REPORT ESR-1157. ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS. OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES

TOP CHORD LIVE LOAD	25 PSF
TOP CHORD DEAD LOAD	10 PSF
BOTTOM CHORD DEAD LOAD	5 PSF
TOTAL LOAD	40 PSF
WIND UPLIFT (TOP CHORD)	5 PSF
BOTTOM CHORD LIVE LOAD	10 PSF

(BOTTOM CHORD LIVE LOAD DOES NOT ACT CONCURRENTLY WITH THE ROOF LIVE LOAD)

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANGNAIL OR EQUAL). SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC., SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

32. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD 38. NOTCHES AND HOLES IN WOOD FRAMING: OF EQUIVALENT THICKNESS. EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

35. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

CONDITION	PROTECTION
INTERIOR DRY	G90 GALVANIZE
INTERIOR DRY	G185 OR A185
	CONTINUOUS H
	PER ASTM A65
INTERIOR WET	TYPE 304 OR 3
EXTERIOR	TYPE 304 OR 3
ANY	TYPE 304 OR 3
	INTERIOR DRY INTERIOR DRY INTERIOR WET EXTERIOR

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM)AS MEMBERS CONNECTED.

HOT DIPPED OR HOT-GALVANIZED 53 316 STAINLESS 316 STAINLESS

TYPE 304 OR 316 STAINLESS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE LENGTH DIAMETER 6d 0. 113" 8d 2-1/2" 0. 131" 10d 0. 148" 3-1/4" 12d 0. 148" 3-1/2" 16d BOX 0. 135

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMI NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS – PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE

DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

- A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.
- B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.
- 2. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.
- 39. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304. 10. 1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-O" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL)APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD

WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER. MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.





DESIGN:	JDT	
DRAWN:	JDT	
CHECKED:	JDT	
APPROVED:	RJA	

	ONS:		
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DPD:			

PROJECT TITLE:

Kaempf Residence

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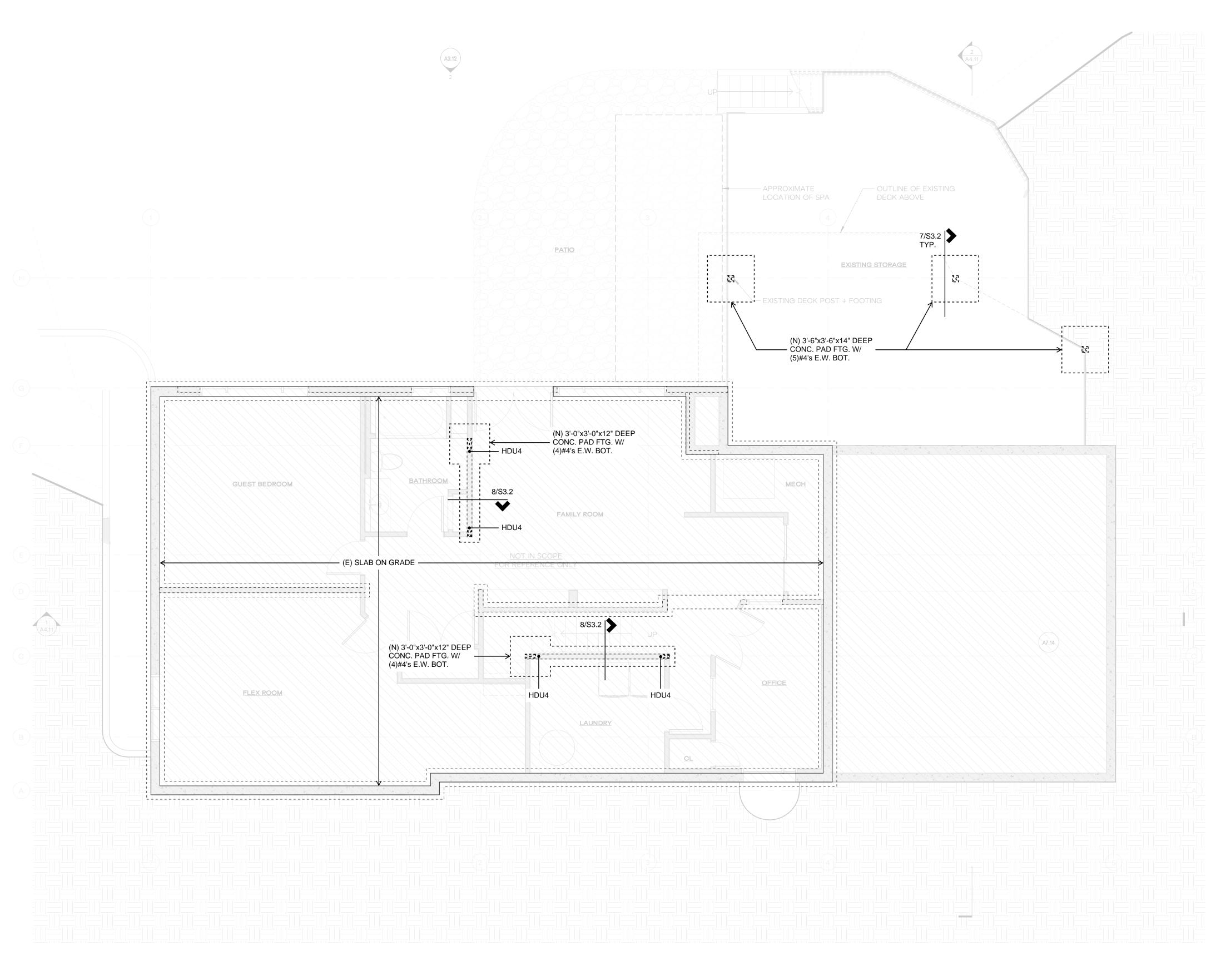
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SHEET TITLE:

General Structural Notes

SCALE:	
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DATE:	
	February 9, 2023
PROJECT NO:	
	13021-2022-03
SHEET NO:	

JI.I



- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
 ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- 4. VERIFY EXISTING CONTINUOUS CONCRETE FOOTING AROUND THE PERIMETER OF THE EXISTING
- STRUCTURE. 5. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

LEGEND

STRUCTURAL WALL OR POST ABOVE NEW STEM WALL AND FOOTING EXISTING STEM WALL AND FOOTING

HDUX HOLDOWN PER 3/S4.1



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PROJECT TITLE:

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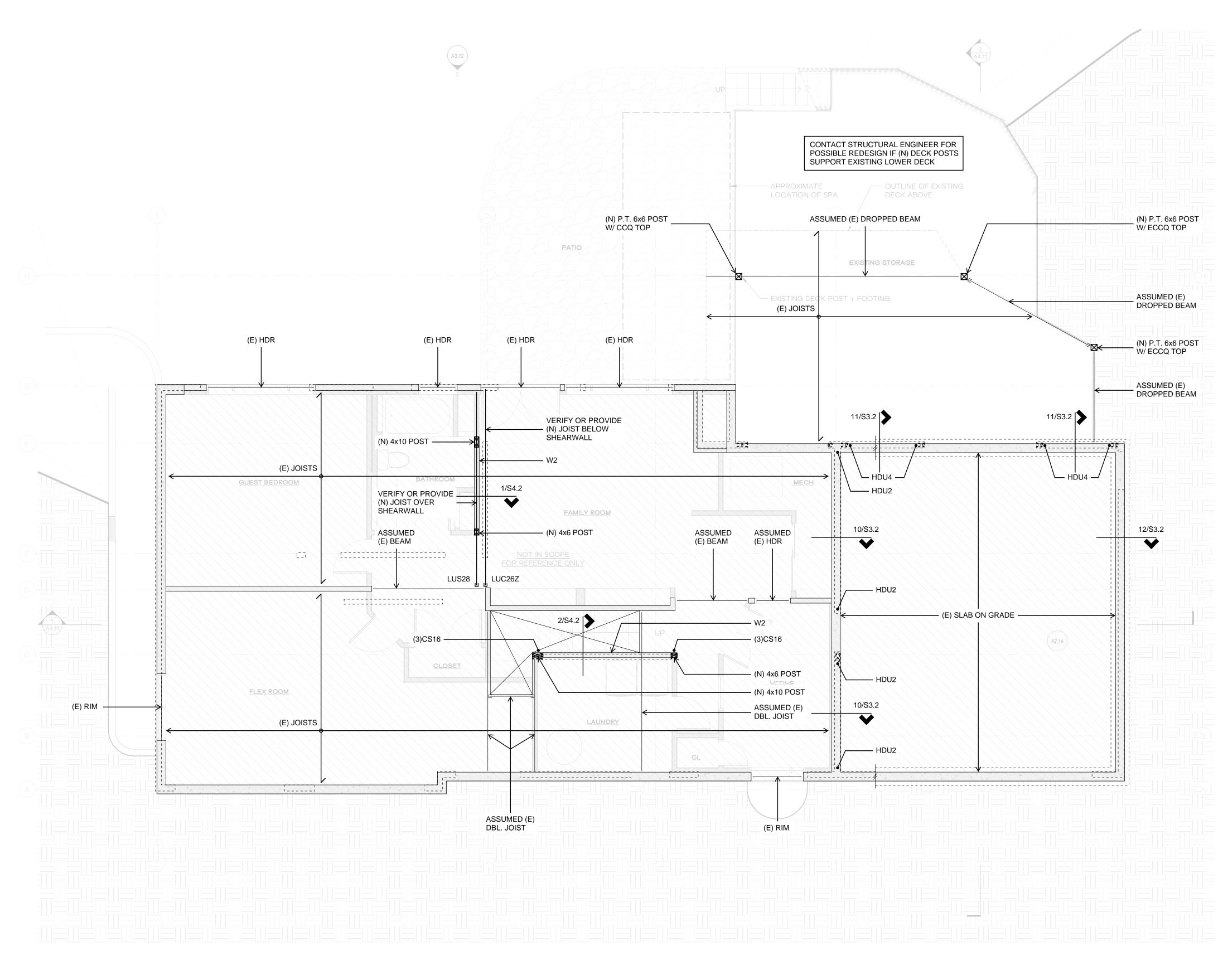
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SHEET TITLE:

Foundation Plan

SCALE:	
	1/4" = 1'-0" U.N.O.
DATE:	
	February 9, 2023
PROJECT NO:	
	13021-2022-03
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S2



- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSION
 W # INDICATES NEW SHEAR WALL. SEE 8/S4.1 AND 12/S4.1 FOR CONSTRUCTION REQUING
 ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- 4. VERIFY EXISTING CONTINUOUS CONCRETE FOOTING AROUND THE PERIMETER OF TH
- STRUCTURE. 5. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

	LEGEND			FIRST FLOOR FI
ISIONS. QUIREMENTS.		NEW STRUCTURAL WALL OR POST BELOW	•— CSxx	HOLDOWN STRAP PER 4/S4.1
AVE CONTINUOUS THE EXISTING		EXISTING STRUCTURAL WALL OR POST BELOW	•—— HDUx	HOLDOWN PER 3/S4.1
		STRUCTURAL WALL OR POST ABOVE	C	HANGER
		EXISTING STEM WALL AND FOOTING		
		SPAN DIRECTION		
	\longleftrightarrow	EXTENT OF FRAMING		
		EXISTING HEADER OR BEAM		
		NEW HEADER OR BEAM		

SHEARWALL PER 8/S4.1 AND 12/S4.1 Wx



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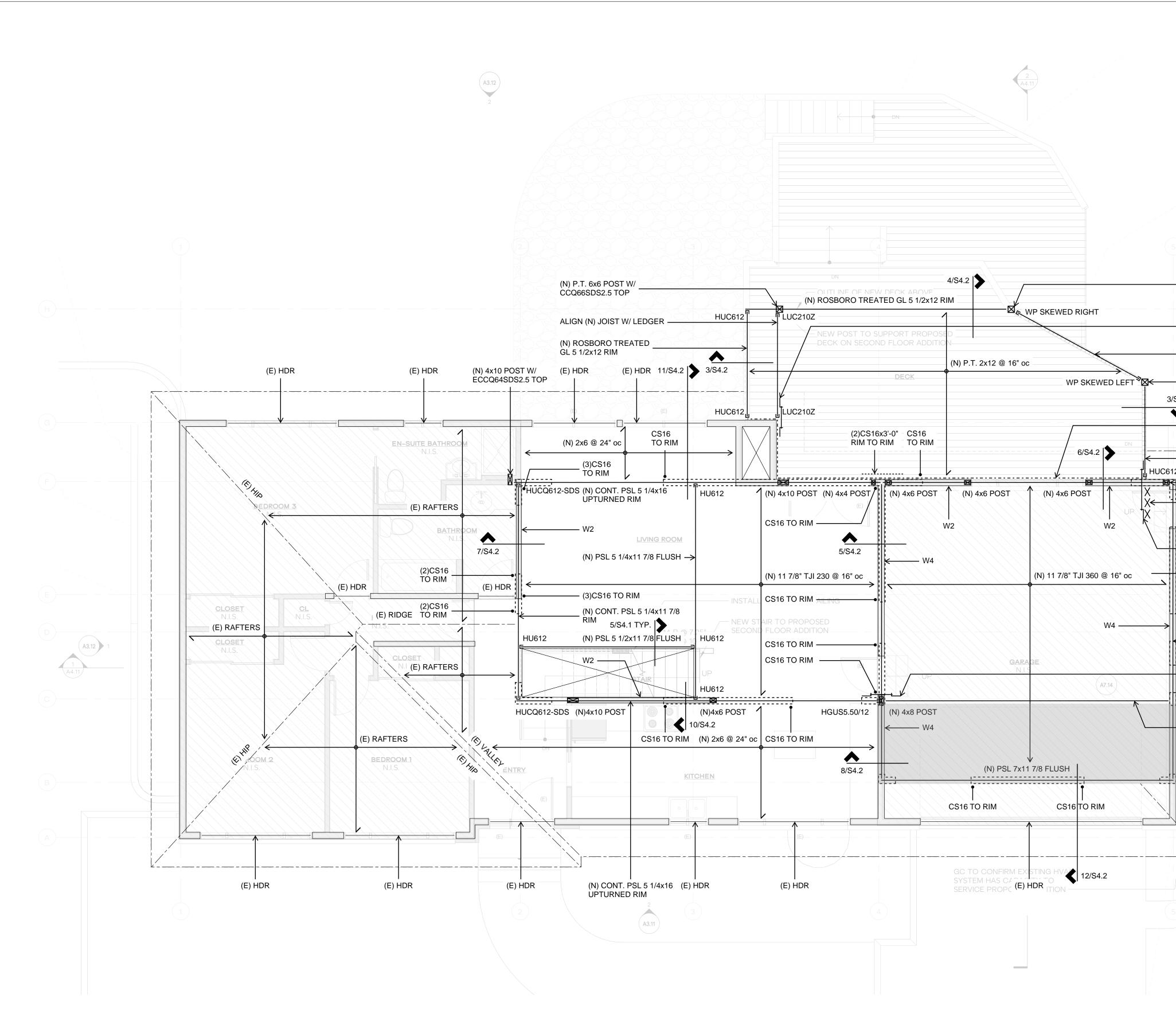
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SHEET TITLE:

First Floor Framing Plan

SCALE:	
	1/4" = 1'-0" U.N.O.
DATE:	
	February 9, 2023
PROJECT NO:	
	13021-2022-03
SHEET NO:	

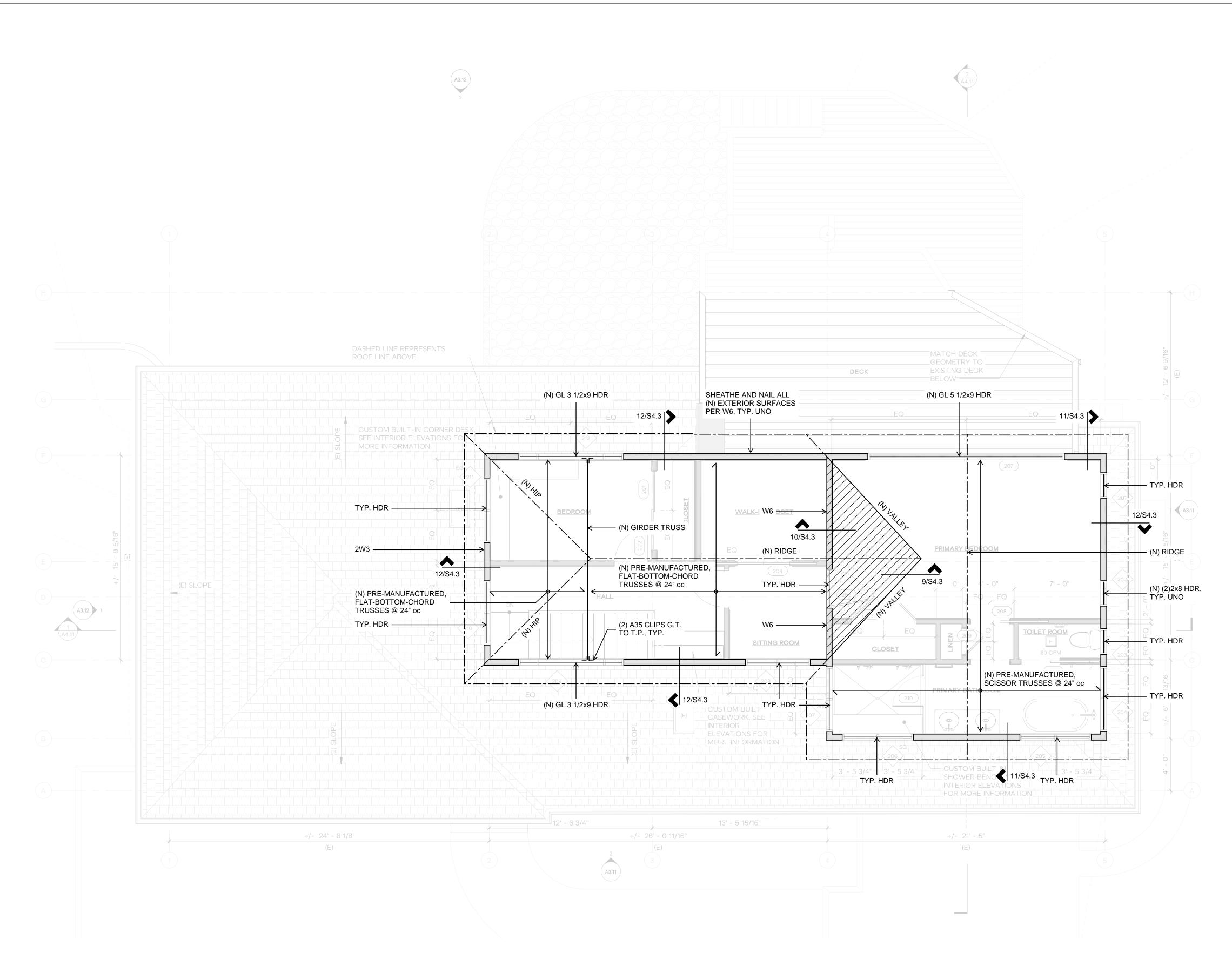
S2.2



- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DI
 NEW FLOOR SHEATHING SHALL BE 3/4" A.P.A. RATED PANELS (EXPOSURE 1, SP FACE GRAIN PERPENDICULAR TO FLOOR FRAMING. NAIL AT ALL FRAMED PANE 6" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.
- NEW FLOOR JOISTS SHALL BE 11 7/8" TJI 230 AT 16" O.C UNLESS NOTED OTHER
 PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OT BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
- W # INDICATES NEW SHEAR WALL. SEE 8/S4.1 AND 12/S4.1 FOR CONSTRUCTION
 MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURI TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDIN
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHAL FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- 8. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

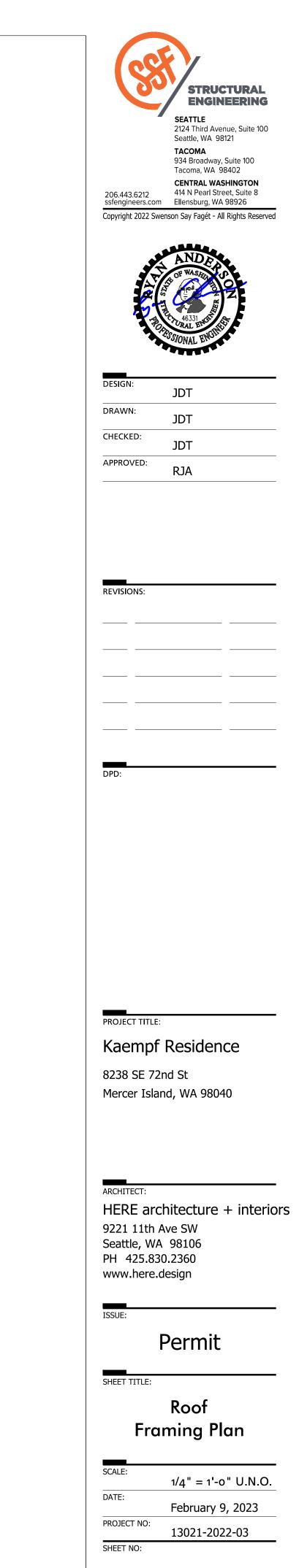
	LEGEND		S	SECOND FLOOR AND LOW ROOF FRAMING
DIMENSIONS. PAN RATING 48/24),		NEW STRUCTURAL WALL OR POST BELOW	← CSxx	HOLDOWN STRAP PER 4/S4.1
EL EDGES WITH 8D AT		EXISTING STRUCTURAL WALL OR POST BELOW	C	HANGER
RWISE ON PLANS. DTHERWISE ON PLANS.	,, //-/	STRUCTURAL WALL OR POST ABOVE		BLOCKED FLOOR SHEATHING: PROVIDE 2x4 FLAT BLOCKING AT ALL UNFRAMED
ON REQUIREMENTS. D WITH A MOISTURE	<u></u>	SPAN DIRECTION		PANEL EDGES. NAIL AT ALL FRAMED PANEL EDGES WITH 8D AT 4" O.C. AND TO
RING CONSTRUCTION NG 12%. ALL HAVE CONTINUOUS	$\langle \cdots \rangle$	EXTENT OF FRAMING		ALL INTERMEDIATE FRAMING AT 12" O.C.
		EXISTING HEADER OR BEAM		
		NEW HEADER OR BEAM		
	Wx	SHEARWALL PER 8/S4.1 AND 12/S4.1		

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	ANDER
	OF WASSING OF
	THE CT. 46331 COL
	BSSIONAL ENGL
(N) P.T. 6x6 POST W/ ECCQ66SDS2.5 TOP	DESIGN: JDT
	DRAWN: JDT
DTT2Z TO DTT2Z JOIST	CHECKED: JDT
TO LEDGER	APPROVED: RJA
(N) ROSBORO TREATED GL 5 1/2x12 RIM	
(N) P.T. 6x6 POST W/	
ECCQ66SDS2.5 TOP	
3/S4.2	
(N) P.T. 2x12 LEDGER W/ (3) 1/4" DIA. x 3 1/2" SDS	
SCREWS @ 16" oc	REVISIONS:
(N) ROSBORO TREATED GL 5 1/2x12 RIM	
612 / (N) 4x6 POST	
ALIGN (3) BAYS OF (N) LSL	
1 3/4" BLKG. WITH RIM	
DTT2Z TO DTT2Z RIM TO BLKG.	
9/S4.2	
	DPD:
CS16 TO RIM	
(N) CONT. LSL 3 1/2x11 7/8 RIM, TYP. UNO	
TO RIM	
ALIGN (N) JOIST W/ SHEARWALL.	
NAIL FLOOR SHEATHING TO JOIST W/ 8d @ 4" oc	
	PROJECT TITLE:
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- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIM
 NEW ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN FACE GRAIN PERPENDICULAR TO ROOF FRAMING. NAIL SHEATHING AT ALL FRAI WITH 8D AT 6"O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.
- NEW ROOF FRAMING SHALL BE PREFABRICATED ROOF TRUSSES AT 24" O.C. TR PROVIDED BY OTHERS. SEE STRUCTURAL NOTES FOR DESIGN REQUIREMENTS
 NEW HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2)2x8 MINIMUM TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OT
- SEE DETAIL 6/S4.1 FOR TYPICAL INSTALLATION.
 5. PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL NEW BEAMS UNLESS NOTE
- PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC 6. W # INDICATES NEW SHEAR WALL. SEE 8/S4.1 AND 12/S4.1 FOR CONSTRUCTION
- W # INDICATES NEW SHEAR WALL. SEE 8/54.1 AND 12/54.1 FOR CONSTRUCTION
 ALL NEW EXTERIOR SURFACES SHALL BE W6, UNLESS NOTED OTHERWISE ON
- PROVIDE H1 HURRICANE TIE AT EACH NEW TRUSS WHERE IT BEARS ON EXTER
 MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED
 CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING
 TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING
- SPLICE ALL NEW TOP PLATE SPLICES PER DETAIL 10/S4.1.
 REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

	LEGEND		ROOF FR/
DIMENSIONS. PAN RATING 32/16),		NEW STRUCTURAL WALL OR POST BELOW	
RAMED PANEL EDGES	<u> </u>	SPAN DIRECTION	
TRUSS DESIGN TO BE ITS. UM. PROVIDE (2)	$\langle - \circ \rightarrow \rangle$	EXTENT OF FRAMING	
OTHERWISE ON PLANS.		NEW HEADER OR BEAM	
OTED OTHERWISE ON PC CAP. ION REQUIREMENTS.	Wx	SHEARWALL PER 8/S4.1 AND 12/S4.1	
ERIOR WALL. ED WITH A MOISTURE IRING CONSTRUCTION DING 12%.		NEW 2x6 OVERFRAMING AT 24" oc	





S2.4

5	
	PANEL EDGE NAILING OVER ALL HOLDOWN STUDS/POSTS UPGRADE (E) WALL TO SHEARWALL PER PLAN NAILING PER SHEARWALL SCHEDULE (E) RIM (E) SILL PLATE
	(E) SLAB ON GRADE
	DISTANCE (E) CONC. WALL (E) CONC. WALL
9	OR STAINLESS STEEL PER GENERAL NOTES

