

KAEMPF RESIDENCE

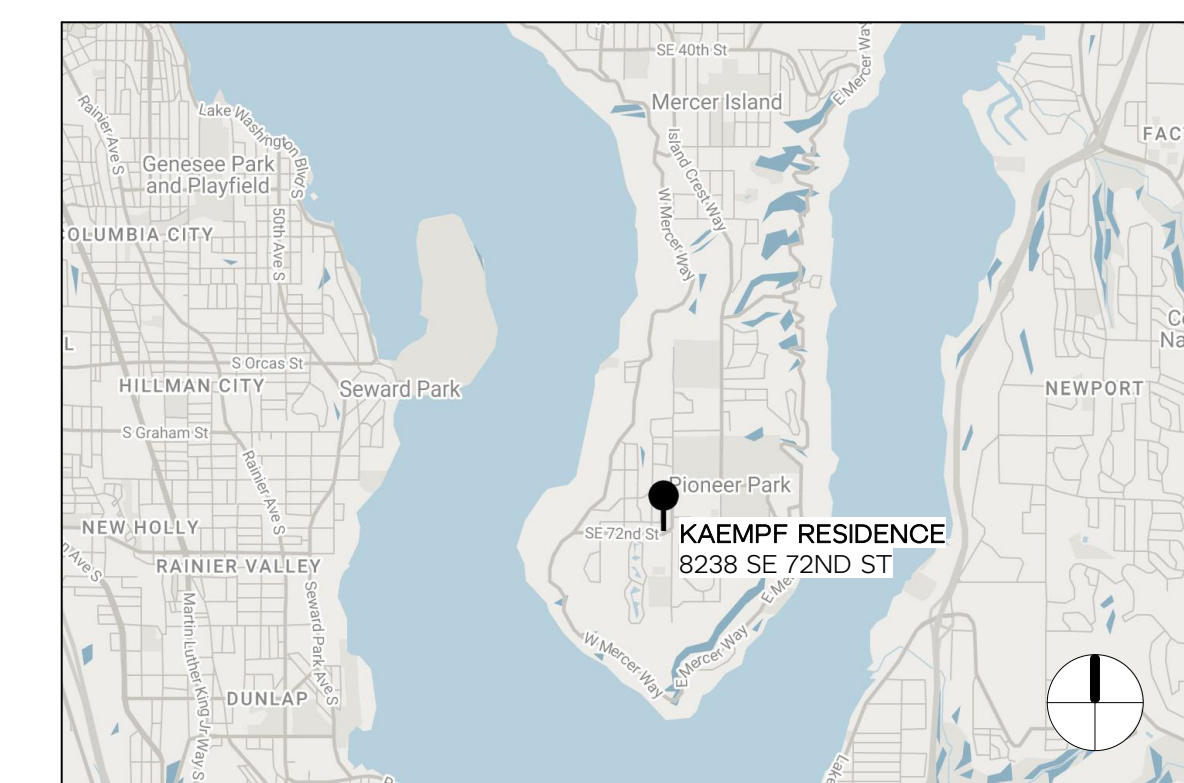
PERMIT SET - FEBRUARY 10, 2023



PROJECT INFORMATION

JURISDICTION PROJECT NO: TBD
 PROJECT ADDRESS: 8238 SE 72ND ST, MERCER ISLAND, WA 98040
 ASSESSOR PARCEL NO: 873220-0090
 LEGAL DESCRIPTION: TWIN VIEW ADD BLOCK 1 LOT 9
 PROJECT DESCRIPTION: MINOR FIRST FLOOR INTERIOR RENOVATION AND SECOND FLOOR ADDITION WITH A PROPOSED UPPER DECK

VICINITY MAP



DRAWING INDEX

- G0.01 COVER SHEET // GENERAL INFORMATION
- G0.02 PROJECT STANDARDS // CONTRACT NOTES
- G1.01 BUILDING // ENERGY CODE SUMMARY
- A1.11 SITE PLAN // LAND USE CODE SUMMARY
- A1.12 SITE DIAGRAMS
- A1.13 SITE DIAGRAMS
- A1.14 SITE DIAGRAMS
- A2.11 DEMOLITION FIRST FLOOR PLANS
- A2.12 DEMOLITION ROOF PLAN
- A2.21 PROPOSED BASEMENT FLOOR PLAN
- A2.22 PROPOSED FIRST FLOOR PLAN
- A2.23 PROPOSED SECOND FLOOR PLAN
- A2.24 PROPOSED ROOF PLAN
- A3.11 PROPOSED EXTERIOR ELEVATIONS
- A3.12 PROPOSED EXTERIOR ELEVATIONS
- A4.11 PROPOSED BUILDING SECTIONS
- A9.11 ASSEMBLIES // SCHEDULES
- S1.1 GENERAL STRUCTURAL NOTES
- S2.3 SECOND FLOOR FRAMING PLAN
- S4.3 WOOD FRAMING DETAILS

DRAWING INDEX

- S2.1 FOUNDATION PLAN
- S2.2 FIRST FLOOR FRAMING PLAN
- S2.4 ROOF FRAMING PLAN
- S3.2 CONCRETE DETAILS
- S4.1 TYPICAL WOOD FRAMING DETAILS
- S4.2 WOOD FRAMING DETAILS

PROJECT TEAM

OWNER: JESSICA + JOEY KAEMPF
 JESSICA KAEMPF
 8238 SE 72ND ST
 MERCER ISLAND, WA 98040
 t: 925.984.1763
 jamkaempf@gmail.com

ARCHITECT: HERE architecture + interiors
 KAYSIE ROZSONITS
 9221 11TH AVE SW
 SEATTLE, WA 98106
 t: 425.830.2360
 kaysie@here.design
 www.here.design

STRUCTURAL: Swensen Say Faget
 JOCELYN TETREAUULT, PE
 2124 THIRD AVE, SUITE 100
 SEATTLE, WA 98121
 t: 206.443.6212
 jtetreault@ssfengineers.com

CONTRACTOR: HOBAN WOODWORKS
 JAMES HOBAN
 411 JOHNSON STREET
 ENUMCLAW, WA 98022
 t: 425.442.1425
 jamesbh123@gmail.com
 WAFL #: HOBANWL841DU

HERE
 ARCHITECTURE + INTERIORS

9221 11TH AVENUE SW, SEATTLE, WA 98106
 HELLO@HEREDESIGN | 425.830.2360

PRELIMINARY
 NOT FOR
 CONSTRUCTION

KAEMPF RESIDENCE

8238 SE 72ND ST, MERCER ISLAND, WA 98040
 JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
 JURISDICTIONAL #: TBD

REVISIONS

DATE	DESCRIPTION

ISSUANCES

09.28.2022	SCHEMATIC PRICING
02.10.2022	PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:13:21 PM

COVER SHEET //
 GENERAL INFORMATION

GO.01

ABBREVIATIONS

@	AT	LB	LAG BOLT
AB	ANCHOR BOLT	LL	LIVE LOAD
ABV	ABOVE	LT	LIGHT
AC	AIR CONDITIONING	LTG	LIGHTING
ADJ	ADJUSTABLE	LVR	LOUVER
AFF	ABOVE FINISH FLOOR	LT WT	LIGHT WEIGHT
AFG	ABOVE FINISH GRADE	LVL	MICROLAM LAMINATED VENEER LUMBER
ANCH	ANCHOR		
APPROX	APPROXIMATE (LY)	MAX	MAXIMUM
ARCH	ARCHITECT (URAL)	MECH	MECHANICAL
AW	AWNING	MED	MEDIUM
		MFR	MANUFACTURER
BF	BOTTOM FLUSH	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BEAM	MTL	METAL
BOT	BOTTOM	MW	MICROWAVE
BRG	BEARING		
BTWN	BETWEEN	NEC	NECESSARY
		NIC	NOT IN CONTRACT
C	CASEMENT	NTS	NOT TO SCALE
CB	CATCH BASIN		
CFM	CUBIC FEET PER MINUTE	O/	OVER
CJ	CEILING JOIST	OD	OUTSIDE DIAMETER
CLG	CEILING	OC	ON CENTER
CLR	CLEAR	OFCL	OWNER FURNISHED
CNTR	CENTER		CONTRACTOR INSTALLED
COL	COLUMN	OFOI	OWNER FURNISHED OWNER
CONC	CONCRETE		INSTALLED
CONST	CONSTRUCTION	OH	OVERHEAD
CONT	CONTINUOUS	OPP	OPPOSITE
CONTR	CONTRACTOR	OV	OVEN
COORD	COORDINATE		
		PC	PIPE COLUMN
D	DRYER	PLAM	PLASTIC LAMINATE
DB	DROP BEAM	PLYWD	PLYWOOD
DEMO	DEMOLITION	PSF	POUNDS PER SQUARE FOOT
DHW	DOMESTIC HOT WATER	PSI	POUNDS PER SQUARE INCH
		PSL	PARALLEL STRAND LUMBER
DIA	DIAMETER	PT	POINT
DIM	DIMENSION	PT	PRESSURE TREATED
DL	DEAD LOAD	PTD	PAINTED
DN	DOWN	PWR	POWER
DRY	DRYER		
DS	DOWNSPOUT	QTY	QUALITY
DW	DISHWASHER	QUANT	QUANTITY
DWG	DRAWING		
		R	RANGE
EW	EACH WAY	RD	ROOF DRAIN
F	EXISTING	REINF	REINFORCING
EA	EACH	REQ'D	REQUIRED
EG	EGRESS	REF	REFRIGERATOR
ELEC	ELECTRICAL	REV	REVISION
EM	ELECTRIC METER	RF	ROOF
EQ	EQUAL	RFG	ROOFING
EQUIP	EQUIPMENT	RM	ROOM
EXH	EXHAUST	RO	ROUGH OPENING
EXIST	EXISTING		
EXP	EXPANSION	S	SINK
EXT	EXTERIOR	SAF	SELF-ADHERED FLASHING
		SC	SOLID CORE
FD	FLOOR DRAIN	SCH	SCHEDULE
FDN	FOUNDATION	SCHED	SCHEDULE
FIN	FINISH	SECT	SECTION
FJ	FLOOR JOIST	SF	SQUARE FOOT
FL	FLOOR	SG	SAFETY GLAZING
FO	FACE OF	SH	SINGLE HUNG
FURR	FURRING	SIM	SIMILAR
FT	FOOT	SI	SLIDING WINDOW OR DOOR
FTG	FOOTING	SPEC	SPECIFICATION
FURN	FURNACE	SPF	SPLICE, PINE, FIR
		SQ	SQUARE
GA	GAUGE, GAGE	SQ FT	SQUARE FOOT
GALV	GALVANIZED	SS	STAINLESS STEEL
GC	GENERAL CONTRACTOR	S&R	SHelf AND ROD
GEN	GENERAL	STD	STANDARD
GL	GLASS	STL	STEEL
GM	GAS METER	STRUCT	STRUCTURAL
GR	GRADE	SYM	SYMMETRICAL
GWB	GYPsum WALL BOARD		
		TBD	TO BE DETERMINED
HB	HOSE BIB	TF	TOP FLUSH
HC	HOLLOW CORE	T&G	TONGUE AND GROOVE
HDR	HEADER	TEMP	TEMPORARY, TEMPERATURE
HDW	HARDWARE	THK	THICK
HORIZ	HORIZONTAL	TO	TOP OF
HR	HOUR (FIRE RESISTANT RATING)	TOG	TOGETHER
HT	HEIGHT	TYP	TYPICAL
HVAC	HEATING, VENTILATION & AC		
		UNO	UNLESS NOTED OTHERWISE
IG	INSULATED GLASS		
IN	INCH	VAR	VARIABLES
INCL	INCLUDING	VENT	VENTILATION
INFO	INFORMATION	VERT	VERTICAL
INSUL	INSULATING, INSULATION	VG	VERTICAL GRAIN
INT	INTERIOR	VIF	VERIFY IN FIELD
ISG	INSULATED SAFETY GLASS		
		W	WASHER
JT	JOINT	W/	WITH
		W/O	WITHOUT
KD	KILN DRIED	WASH	CLOTHES WASHER
KP	KING POST	W/D	WARMING & DRYER
		W/M	WATER METER
LAM	LAMINATED(D)	WS	WIRE SHELving
LAV	LAVATORY	WWM	WELDED WIRE MESH
		#	NUMBER OF POUND(S)

DRAWING SYMBOL KEY

	NORTH ARROW		DRAWING TITLE
	BUILDING ELEVATION DRAWING NUMBER SHEET NUMBER		VIEW TITLE
	INTERIOR ELEVATION DRAWING NUMBER SHEET NUMBER		SITE POINT ELEVATION
	BUILDING SECTION DRAWING NUMBER SHEET NUMBER		FLOOR ELEVATION DATUM
	WALL SECTION DRAWING NUMBER SHEET NUMBER		SPOT ELEVATION DATUM
	DETAIL REFERENCE DRAWING NUMBER SHEET NUMBER		REVISION TAG
	STRUCTURAL DETAIL DRAWING NUMBER SHEET NUMBER		WALL/FLOOR/ROOF ASSEMBLY TYPE TAG
	ARCHITECTURAL DETAIL DRAWING NUMBER SHEET NUMBER		HOSE BIBB
	CUT MARK		EXHAUST FAN AIR FLOW RATE
	CENTERLINE		RAMP UP/DOWN PERCENT SLOPE
	GRID LINE		DECK SLOPE TO DRAIN
			CEILING/ROOF SLOPE RISE / RUN
			SMOKE DETECTOR
			CARBON MONOXIDE ALARM
			SMOKE/CARBON MONOXIDE DETECTOR
			CLOTHES ROD AND SHELF
			ROOF PITCH

ELECTRICAL SYMBOL KEY

	110V DUPLEX OUTLET GFI = GROUND FAULT INTERRUPTER EXT = EXTERIOR		FLUSH / SEMI-FLUSH FIXTURE
	220V OUTLET		WALL-MOUNTED FIXTURE
	110V 4-PLEX OUTLET		PENDANT FIXTURE
	FLOOR DUPLEX OUTLET (GFI)		RECESSED CEILING FIXTURE
	FLOOR OUTLET (OTHER)		RECESSED DIRECTIONAL FIXTURE
	WALL OUTLET (SWITCHED)		SITE LIGHTING FIXTURE
	COM JACK T = TELEPHONE C = CABLE D = DATA		TRACK LIGHTING FIXTURE
	SINGLE POLE SWITCH D = DIMMER J = JAMB M = MOTION T = TIMER 3 = 3-WAY SWITCH 4 = 4-WAY SWITCH		UNDERCABINET LIGHT FIXTURE
	THERMOSTAT		SURFACE MOUNT STRIP FIXTURE
	CEILING / WALL SPEAKER		CORNER STRIP FIXTURE
	CEILING WIRELESS ACCESS POINT		CEILING MOUNTED FAN W/ OPTIONAL LIGHTING KIT
	WALL HEATER		ELECTRICAL WIRING
	DOOR BELL		
	DOOR CHIME		

CONTRACT GENERAL NOTES

- GENERAL CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION SITE MEETING WITH OWNER, ARCHITECT AND OTHER DESIGN CONSULTANTS, AS REQUIRED.
- GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADE CONDITIONS AND HEIGHT LIMITS WITH ARCHITECT ON SITE PRIOR TO BEGINNING OF WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN THE SITE SURVEY AND/OR OTHER DRAWINGS.
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODES, REGULATIONS, OR RULES OF JURISDICTIONS HAVING AUTHORITY.
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, AND SITE CONDITIONS, INCLUDING TAKING AND VERIFYING FIELD MEASUREMENTS AS NECESSARY.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, EXCEPT FOR THE GENERAL BUILDING PERMIT.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.
- REPETITIVE FEATURES NOT INDICATED IN THE DRAWINGS EVERYWHERE THAT THEY OCCUR SHALL BE PROVIDED AS IF DRAWN IN FULL.
- SEE SPECIFICATIONS BOOK FOR REQUIRED SHOP DRAWINGS. GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO ARCHITECT; AFTER ARCHITECT'S REVIEW, TO GOVERNING AUTHORITY.
- THE INTENT OF ARCHITECTURAL DRAWINGS, DETAILS AND SPECIFICATIONS IS TO SHOW DESIGN APPROACH. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND BAILWICK TO PROPERLY INSTALL AND EXECUTE A STRUCTURALLY SOUND, WATER AND AIR PROOFED, DURABLE PROJECT.
- COORDINATE ALL EXTERIOR PENETRATIONS WITH ARCHITECT PRIOR TO PERFORMING WORK.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE 2015 SEATTLE RESIDENTIAL CODE, THE WASHINGTON STATE ENERGY CODE, AND OTHER APPLICABLE CODES, RULES, AND REGULATIONS OF JURISDICTIONS HAVING AUTHORITY.
- EXTERIOR GLAZING TO BE NFRC LABELED PER 2015 WSEC R303.1.3. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH-DIAMETER SPHERE CANNOT PASS.
EXCEPTIONS:
a) WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4-INCH-DIAMETER SPHERE TO PASS THROUGH.
b) OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2090.

CONTRACT DIMENSION NOTES

- DO NOT SCALE THE DRAWINGS. LARGE SCALE DIMENSIONS GOVERN SMALL SCALE DIMENSIONS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS, PRIOR TO PROCEEDING WITH WORK.
- AT NEW CONSTRUCTION, ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, CENTER LINE OF COLUMNS, AND CENTERLINE OF WINDOWS AND DOORS, UNLESS NOTED OTHERWISE.
- AT EXISTING CONSTRUCTION, DIMENSIONS ARE TO FINISH FACE OF MATERIALS, UNLESS NOTED OTHERWISE.
- SITE PLAN DIMENSIONS UNACCOMPANIED BY A LICENSED SURVEY IN THE POSTED DRAWING SET ARE CONSIDERED APPROXIMATE AND FOR REFERENCE ONLY.
- GRAPHIC SCALES ARE PROVIDED FOR REFERENCE ONLY. WHERE DRAWINGS OF DIFFERENT SCALES ARE PROVIDED ON THE SAME SHEET, GRAPHIC SCALES ARE REMOVED FOR CLARITY.
- DIMENSIONS WITH ACCOMPANYING TEXT (E.G. CLEAR, HOLD, EQUAL) SHALL BE VERIFIED IN FIELD. ANY CHANGES TO THESE DIMENSIONS REQUIRE APPROVAL BY ARCHITECT.

FINISHES KEY

NOTE: NOT ALL TYPES ARE USED IN THIS PROJECT.
X = ITEMIZED DESCRIPTOR

	CARPET		SPECIALTY FINISH
	FABRIC		SOLID SURFACE
	GLASS		STONE
	METAL		TILE
	PLASTIC LAMINATE		WOOD
	PAINT		WALLCOVERING
	RESILIENT FLOORING		

SCHEDULES KEY

NOTE: NOT ALL TYPES ARE USED IN THIS PROJECT.
X = ITEMIZED DESCRIPTOR
() = REF PROJECT MANUAL DIVISION

	EG = EGRESS WINDOW TAG		SG = TEMPERED WINDOW TAG
	DOOR TAG		SALVAGE TAG (DIVISION 2)
	LIGHTING TAG (DIVISION 26)		PLUMBING TAG (DIVISION 22)
	SPECIALTY TAG (RESERVED)		FURNISHINGS TAG (DIVISION 12)
	EQUIPMENT & APPLIANCE TAG (DIVISION 11)		(BATH) ACCESSORY TAG (DIVISION 10)
	(DECORATIVE) ACCESSORY TAG (DIVISION 10)		(CABINET) HARDWARE TAG (DIVISION 6)
	(DOOR) HARDWARE TAG (DIVISION 8)		(WINDOW) HARDWARE TAG (DIVISION 8)

PRELIMINARY
NOT FOR
CONSTRUCTION

KAMPF RESIDENCE

8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

DATE	DESCRIPTION
09.28.2022	SCHEMATIC PRICING
02.10.2022	PERMIT SUBMITTAL

ISSUANCES

DATE	DESCRIPTION
09.28.2022	SCHEMATIC PRICING
02.10.2022	PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:13:22 PM

PROJECT STANDARDS
// CONTRACT NOTES

GO.O2

HERE

ARCHITECTURE + INTERIORS
HELLO@HEREDESIGN | 425.850.2360

9221 11TH AVENUE SW, SEATTLE, WA 98106

VENTILATION & EXHAUST NOTES

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE SECTIONS M1502, M1503, & M1507
CLOTHES DRYER

- CLOTHES DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS PER SECTION M1502.1
- VENTILATION DUCT FOR THE DRYER SHALL BE A MINIMUM 4" DIAMETER. THE MATERIAL SHALL BE 28 GAGE METAL WITH A SMOOTH INTERIOR FINISH PER SECTION M1502.3
- EXHAUSTS SHALL TERMINATE TO THE EXTERIOR AND CONTAIN A BACKDRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION PER SECTION M1502.3

RANGE HOOD

- RANGE HOODS SHALL TERMINATE TO THE EXTERIOR THROUGH A DUCT. THE DUCT SHALL HAVE A SMOOTH INTERIOR SURFACE, BE AIR TIGHT, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS PER SECTION M1503.1
- VENT SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE 1507.4.
- EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM PER SECTION M1503.4.

MECHANICAL VENTILATION - LOCAL EXHAUST

- SOURCE SPECIFIC EXHAUST VENTILATION SHALL BE REQUIRED IN EACH KITCHEN, BATHROOM, WATER CLOSET, LAUNDRY ROOM, INDOOR SWIMMING POOL, SPA, AND OTHER ROOMS WHERE WATER VAPOR OR COOKING ODOR IS PRODUCED PER SECTION M1507.4.
- KITCHENS SHALL VENT AT 100 CFM MIN INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE M1507.4.
- BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND SIMILAR SPACES SHALL VENT AT 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS PER TABLE M1507.4.
- EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL BE EXHAUSTED DIRECTLY OUTDOORS PER SECTION M1507.2.
- ALL VENTILATION SYSTEM CONTROLS SHALL BE READILY ACCESSIBLE. SOURCE SPECIFIC SYSTEMS SHALL BE CONTROLLED BY MANUAL SWITCHES, DEHUMIDISTATS, TIMERS OR OTHER APPROVED MEANS PER SECTION M1507.4.2.
- EXHAUST DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED TO A MINIMUM OF R-4 PER SECTION M1507.3.6.4.

WHOLE HOUSE VENTILATION

- A WHOLE HOUSE VENTILATION SYSTEM SHALL BE PROVIDED TO MEET THE REQUIREMENTS OF SECTION M1507. SIZE OF SYSTEM DETERMINED PER CALCULATION PROVIDED.
- INTERMITTENTLY OPERATED WHOLE HOUSE VENTILATION SYSTEMS SHALL HAVE THE CAPABILITY FOR CONTINUOUS OPERATION, AND SHALL HAVE A MANUAL TIMER AND AN AUTOMATIC CONTROL, SUCH AS A CLOCK TIMER IF REQUIRED PER SECTION M1507.3.1.5.
- WHOLE HOUSE VENTILATION SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS PER SECTION AND VENT TO THE EXTERIOR PER M1507.3.6.3.
- WHERE LOCAL EXHAUST VENTS ARE USED FOR WHOLE HOUSE VENTILATION, THE MINIMUM EXHAUST RATE FOR THE LOCAL EXHAUST MUST BE MET (M1507.4) PER M1507.4

OPTIONS - REVIEW PER PROJECT REQUIREMENTS AND ADD TO ABOVE

- THE BUILDING SHALL BE EQUIPPED WITH A WHOLE HOUSE VENTILATION SYSTEM INTEGRATED WITH THE FORCED AIR HEATING SYSTEM. SYSTEM SHALL SUPPLY OUTSIDE AIR AT A RATE CALCULATED USING SECTION M1508.3. THE SYSTEM SHALL BE EQUIPPED WITH A MOTORIZED DAMPER CONNECTED TO THE AUTOMATIC VENTILATION CONTROL, AS SPECIFIED IN SECTION M1508.5.2. INLETS SHALL BE SCREENED OR OTHERWISE PROTECTED FROM ENTRY BY LEAVES OR OTHER MATERIAL.

ENERGY CODE REQUIREMENTS

REFERENCE: 2018 WASHINGTON STATE ENERGY CODE

R401.3 COMPLIANCE CERTIFICATE: A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH SEC 401.3 IS REQUIRED TO BE COMPLETED BY A DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.

TABLE R402.1.1 INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT FOR CLIMATE ZONE MARINE 4

FENESTRATION U-FACTOR	0.30
SKYLIGHT U-FACTOR	0.50
CEILING R-VALUE	R-49*
VAULTED CEILING R-VALUE	R-38*
WOOD FRAMED WALL R-VALUE	R-21 INT
BELOW-GRADE WALL R-VALUE	**10/15/21 + TB
FLOOR R-VALUE	R-30
SLAB ON GRADE R-VALUE & DEPTH	***R-10 , 2 FT

INT - (INTERMEDIATE FRAMING) DENOTES STANDARD FRAMING 16 INCHES ON CENTER WITH HEADERS INSULATED WITH A MINIMUM OF R-10 INSULATION.

** *10/15/21 + TB* MEANS R-10 CONTINUOUS INSULATION ON THE EXTERIOR OF THE WALL, OR R-15 CONTINUOUS INSULATION ON THE INTERIOR OF THE WALL, OR R-21 CAVITY INSULATION PLUS A THERMAL BREAK BETWEEN THE SLAB AND THE BASEMENT WALL AT THE INTERIOR OF THE BASEMENT WALL. *10/15/21 +TB* SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE WALL. *TB* MEANS THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL.

*** R-10 CONTINUOUS INSULATION IS REQUIRED UNDER HEATED SLAB (I.E. RADIANT FLOOR HEATED) ON GRADE FLOORS.

† IF ADVANCED FRAMING ALLOWS FULL DEPTH ACROSS ENTIRE SURFACE R-38 IS ACCEPTABLE. INSTALL R-49 IF INSULATION IS REDUCED AROUND CEILING PERIMETER

R402.4 BUILDING AIR LEAKAGE AND TESTING

THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AND BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE BELOW 5 AIR CHANGES PER HOUR.

R403.1 CONTROLS EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE

R403.3 DUCTS

- DUCTWORK IN UNCONDITIONED SPACES SHALL BE INSULATED WITH R-8 INSULATION, MINIMUM
- DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION.

R404.1 LIGHTING: MINIMUM 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SRC U101 SOLAR-READY ZONE

NEW ONE- AND TWO-FAMILY DWELLINGS SHALL BE PROVIDED WITH A SOLAR-READY ZONE OF NOT LESS THAN 300 SF.

- EXCEPTIONS:
 - DWELLINGS WITH < 600 SF OF QUALIFYING ROOF AREA
 - INDIVIDUAL UNITS WITHIN TOWNHOUSE BUILDINGS THAT HAVE < 300 SF OF QUALIFYING ROOF AREA.
 - BUILDINGS WITH PERMANENTLY INSTALLED ON-SITE RENEWABLE ENERGY SYSTEMS.

BUILDING AREA CALCULATIONS

	EXISTING TO REMAIN	NEW	EXISTING + NEW
CONDITIONED SPACE (INTERIOR)			
BASEMENT	1,500 SF	0 SF	1,500
FIRST FLOOR	2,043 SF	0 SF	2,043
SECOND FLOOR	0 SF	894 SF	894
TOTALS	3,543 SF	894	4,437

MECHANICAL VENTILATION CALCULATIONS

REFERENCE: 2018 WASHINGTON STATE ENERGY CODE, R403.6, TABLE R405.5.2(1)
2018 INTERNATIONAL MECHANICAL CODE M1505, TABLE M1505.4.3(1)

DWELLING UNIT FLOOR AREA (ALTERED)	REQUIRED CONTINUOUS VENTILATION PER TABLE M1505.4.3(1)	
	TOTAL SF	REQUIRED AIRFLOW
BASEMENT	1,500 SF	
MAIN FLOOR	2,043 SF	
SECOND FLOOR	894 SF	4,437 SF
NUMBER OF BEDROOMS	4	90 CFM

INTERMITTENT VENTILATION ADJUSTMENT FACTOR RATE: 50% / 4HR **2**
PER M1505.4.3.1

TOTAL REQUIRED INTERMITTENT VENTILATION 180 CFM

INTERMITTENT VENTILATION PROVIDED BY BATHROOM FANS RUNNING @ 50% TIME INTERVAL MINIMUM.

BUILDING CODE SUMMARY

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE

R302.6 DWELLING / GARAGE SEPARATION

THE GARAGE SHALL BE SEPARATED AS FOLLOWS:

- MINIMUM 1/2" GYPSUM WALL BOARD APPLIED TO GARAGE SIDE AT WALLS (1 HOUR RATING).
- MINIMUM 5/8" TYPE X GYPSUM WALL BOARD APPLIED TO THE CEILING OF GARAGE.
- MINIMUM 1/2" GYPSUM WALL BOARD AT STRUCTURES SUPPORTING THE GARAGE CEILING.
- MINIMUM 1 3/8" SOLID CORE DOOR, OR 20-MIN FIRE RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE.

R304 AND R305 ROOM DIMENSION REQUIREMENTS

- HABITABLE SPACE SHALL HAVE A MINIMUM CEILING HEIGHT OF 7'-0" (6'-4" PERMITTED IN CITY OF SEATTLE PER DIRECTOR RULE 23-2008 IF THE EXISTING STRUCTURE WAS CONSTRUCTED PRIOR TO OCTOBER 17, 1979, BUT ALL BEAMS, DUCTS, ETC MUST BE ABOVE THIS HEIGHT).
- BEAMS, GIRDERS AND DUCTS MAY HAVE A CLEAR HEIGHT OF 6'-4".
- BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOM SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8".
- A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD MUST HAVE AN AREA OF 30' X 30' WITH 6'-8" CEILING HEIGHT AT THE SHOWERHEAD.
- FOR ROOMS WITH SLOPED CEILINGS, THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 5'-0" AND NOT LESS THAN 50% OF THE REQUIRED FLOOR AREA SHALL HAVE A CEILING HEIGHT LESS THAN 7'-0"
- HABITABLE ROOMS (SLEEPING ROOMS) SHALL HAVE A FLOOR AREA NOT LESS THAN 70 SQUARE FEET.
- HABITABLE ROOMS (SLEEPING ROOMS) SHALL NOT BE LESS THAN 7'-0" IN ANY HORIZONTAL DIMENSION.

R308 GLAZING

ALL GLAZING IN HAZARDOUS LOCATIONS SHALL RECEIVE SAFETY GLASS. THE SAFETY GLASS DESIGNATION SHALL BE VISIBLY MARKED ON EACH WINDOW AS REQUIRED BY CODE. THE FOLLOWING AREAS ARE HAZARDOUS LOCATIONS AND SHALL RECEIVE SAFETY GLASS:

- GLAZING IN DOORS
- GLAZING WITHIN 24" ARC OF EITHER VERTICAL EDGE OF DOOR IN A CLOSED POSITION AND WHERE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE FINISH FLOOR.
- GLAZING IN WINDOWS THAT MEETS ALL OF THE FOLLOWING:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET
 - BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE FINISH FLOOR
 - THE TOP EDGE OF GLAZING IS MORE THAN 36" ABOVE FINISH FLOOR
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING.
- GLAZING AT WET SPACES WHERE THE BOTTOM OF EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" (EXCEPTION: FOR GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB).
- GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAY.

R310 EMERGENCY ESCAPE AND RESCUE OPENINGS

- BASEMENTS, HABITABLE ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING
- THE OPENING SHALL HAVE MAX CLEAR OPENING SILL HEIGHT OF 44" ABOVE FINISH FLOOR, AND IT SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD THAT OPENS TO PUBLIC WAY.
- THE OPENING SHALL HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET, WITH MINIMUM NET CLEAR HEIGHT OF 24" AND MINIMUM NET CLEAR WIDTH OF 20".
- THE OPENING SHALL BE OPERATIONAL FROM INSIDE THE ROOM WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE.
- WINDOW WELLS, IF REQUIRED, SHALL HAVE A MINIMUM AREA OF 9 SQUARE FEET, WITH MINIMUM PROJECTION AND WIDTH OF 36". THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.
- IF WINDOW WELL HAS A VERTICAL DEPTH GREATER THAN 44" FROM GRADE A LADDER OR STEPS SHALL BE AFFIXED TO THE WINDOW WELL AND ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF NOT LESS THAN 12" AND SHALL NOT PROJECT LESS THAN 3" MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.
- WINDOW WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE

R312 WINDOW FALL PROTECTION

- WHEN THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE FINISH GRADE BELOW (EXTERIOR SIDE), THE LOWEST PART OF CLEAR OPENING SHALL BE MINIMUM 24" ABOVE FINISH FLOOR. IF CLEAR OPENING IS LESS THAN 24" ABOVE FINISH FLOOR, MAX WINDOW OPENING SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE.

R314 SMOKE DETECTORS /315 CARBON MONOXIDE ALARM

- PROVIDE A SMOKE DETECTOR AND CARBON MONOXIDE IN THE FOLLOWING LOCATIONS:
 - SD: IN EACH SLEEPING ROOM.
 - SD: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - CD: MINIMUM ONE AT EACH STORY OF THE DWELLING INCLUDING BASEMENT.

R807.1 ATTIC ACCESS

- IN BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION, AN ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER.

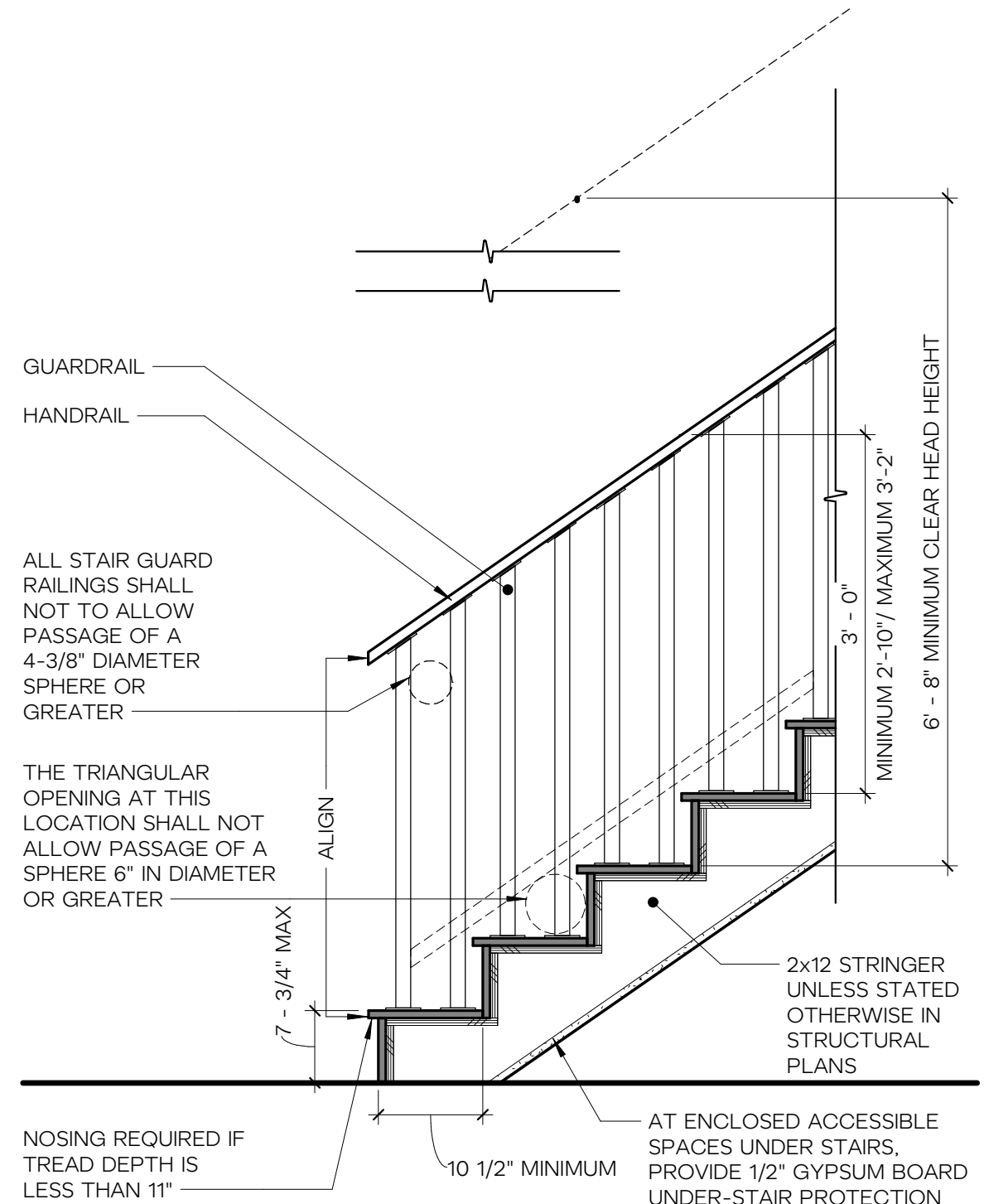
- THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A 30-INCH MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING.

NOTES

- ALL CODE SUMMARIES ABOVE ARE FOR REFERENCE ONLY PLEASE REFER TO THE JURISDICTION'S BUILDING DEPARTMENT AND CODES FOR FURTHER DETAILS

STAIR CODE REQUIREMENTS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE

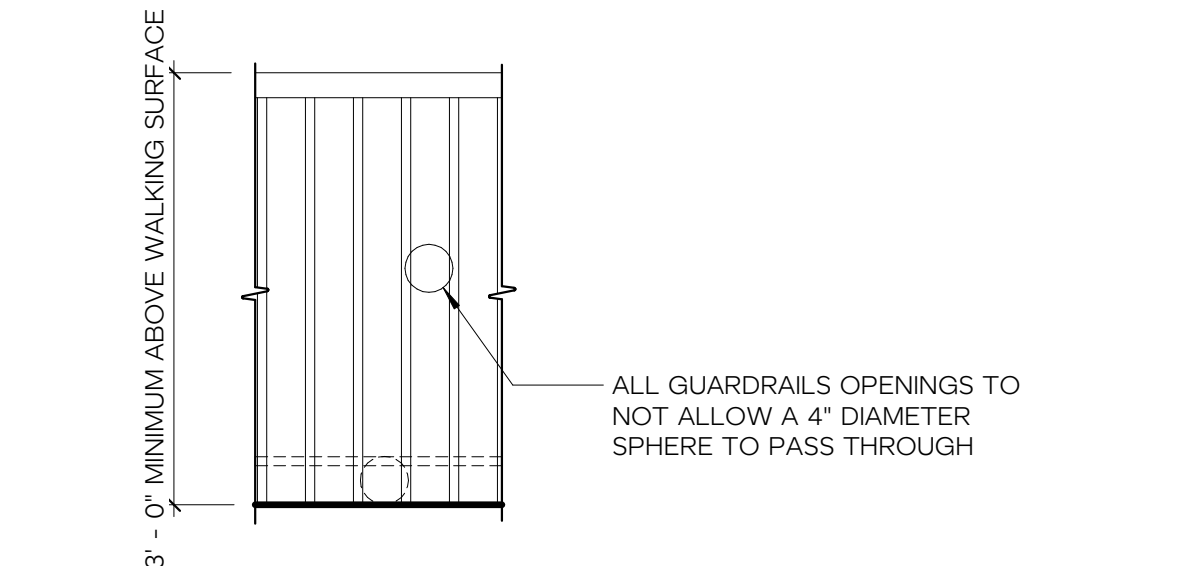


R311.7 STAIRWAYS

- STAIRS**
 - RISER HEIGHT SHALL BE A MAXIMUM OF 7 3/4" PER R311.7.5.1
 - TREAD DEPTH SHALL BE A MINIMUM OF 10" PER R311.7.5.2
 - A NOSING IS NOT REQUIRED WHERE TREAD DEPTH IS MINIMUM 11" PER R311.7.5.3 EXCEPTION
 - TREAD WIDTH SHALL BE MINIMUM OF 3'-0" PER R311.7.1
 - FOR WINDING STAIRS PROVIDE A MINIMUM 10" TREAD AT 12" FROM THE NARROWEST POINT AND A MINIMUM 6" TREAD AT THE NARROWEST POINT PER R311.7.5.2.1
 - CLEAR HEAD HEIGHT TO BE A MINIMUM OF 6'-8" MEASURED VERTICAL FROM THE TREAD NOSING PER R311.7.2
 - OPEN RISERS TO NOT ALLOW A 4" DIAMETER SPHERE OR GREATER TO PASS PER R311.7.5.1
 - A FLIGHT OF STAIR SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12'-3" PER R311.7.3.
 - LANDING WIDTH SHALL BE NO LESS THAN THE WIDTH OF STAIRWAY, AND MINIMUM 36" DEPTH PER R311.7.6.
- HANDRAILS**
 - HANDRAIL HEIGHT, MEASURED VERTICALLY, SHALL BE BETWEEN 34" AND 38" PER R311.7.8.1
 - HANDRAILS SHALL BE CONTINUOUS FOR FULL FLIGHT PER R311.7.8.2.
 - HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS PER R311.7.8.2.
 - HANDRAIL TO BE A MINIMUM OF 1 1/2" IN DIAMETER PER R311.7.8.2.
- GUARDS**
 - GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS PER R312.1.2.1
 - GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4-3/8 INCHES IN DIAMETER. PER R312.1.3.2
 - THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR FORMED BY THE RISER, TREAD, AND BOTTOM RAIL GUARD SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER PER R312.1.1.1

GUARDS CODE REQUIREMENTS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE



R312 GUARDS

- GUARDS ARE REQUIRED AT OPEN-SIDED WALKING SURFACES LOCATED MORE THAN 30" ABOVE ADJACENT WALKING SURFACE OR GRADE PER R312.1.2
- GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE PER R312.1.2
- GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES PER R312.1.3
- GUARDRAIL TO BE DESIGNED TO RESIST A 200 LB CONCENTRATED LOAD ON THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS PER R301.5.

NOTE: GUARD EXCEPTIONS FOR STAIRS NOTED ON STAIR CODE REQUIREMENTS

HERE

ARCHITECTURE + INTERIORS
9221 11TH AVENUE SW, SEATTLE, WA 98106
HELLO@HEREDESIGN | 425.850.2360

PRELIMINARY
NOT FOR
CONSTRUCTION

KAMPF RESIDENCE

8238 SE 72ND ST, MERCER ISLAND, WA, 98040
JESSICA + JOEY KAMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

ISSUANCES	
09.28.2022	SCHEMATIC PRICING
02.10.2022	PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:13:22 PM

BUILDING // ENERGY
CODE SUMMARY

G1.01






SITE PLAN NOTES

1. INSTALLATION OF EROSION CONTROL MEASURES IS REQUIRED PRIOR TO ANY GROUND DISTURBANCE.
2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A "FIRST GROUND DISTURBANCE INSPECTION" AFTER THE BUILDING PERMIT IS ISSUED TO MEET WITH THE SITE INSPECTOR.

LAND USE / ZONING CODE SUMMARY

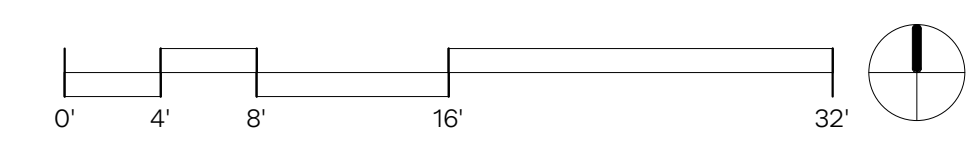
ZONE:	R-9.6
LOT SIZE:	10,893 SF
FRONT SETBACK:	20'-0"
MIN. REQ'D:	29'-4 11/16" NO CHANGE
PROPOSED:	
REAR SETBACK:	25'-0"
MIN. REQ'D:	71'-9 3/4" NO CHANGE
PROPOSED:	
EAST SIDE SETBACK:	5'-0"
MIN. REQ'D:	6'-10 5/8" NO CHANGE
PROPOSED:	
WEST SIDE SETBACK:	5'-0"
MIN. REQ'D:	6'-10 9/16" NO CHANGE
PROPOSED:	
MAXIMUM GROSS FLOOR AREA:	40%
ALLOWED:	4,357 SF
EXISTING:	2,793 SF
AVAILABLE:	1,564 SF
PROPOSED:	894 SF

SITE PLAN KEY

-  EXISTING PERIMETER WALL
-  CONCRETE WALKWAY
-  ROOF ABOVE
-  PROPERTY LINE
-  LINE OF SETBACK



1 ARCHITECTURAL SITE PLAN - PROPOSED
1/8" = 1'-0"



PRELIMINARY
NOT FOR
CONSTRUCTION

KAMPF RESIDENCE
8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

DATE	DESCRIPTION
09.28.2022	SCHEMATIC PRICING
02.10.2022	PERMIT SUBMITTAL

ISSUANCES
09.28.2022 SCHEMATIC PRICING
02.10.2022 PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:13:24 PM

SITE PLAN // LAND USE
CODE SUMMARY
A1.11

**PRELIMINARY
NOT FOR
CONSTRUCTION**

KAEMPF RESIDENCE
8238 SE 7TH ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

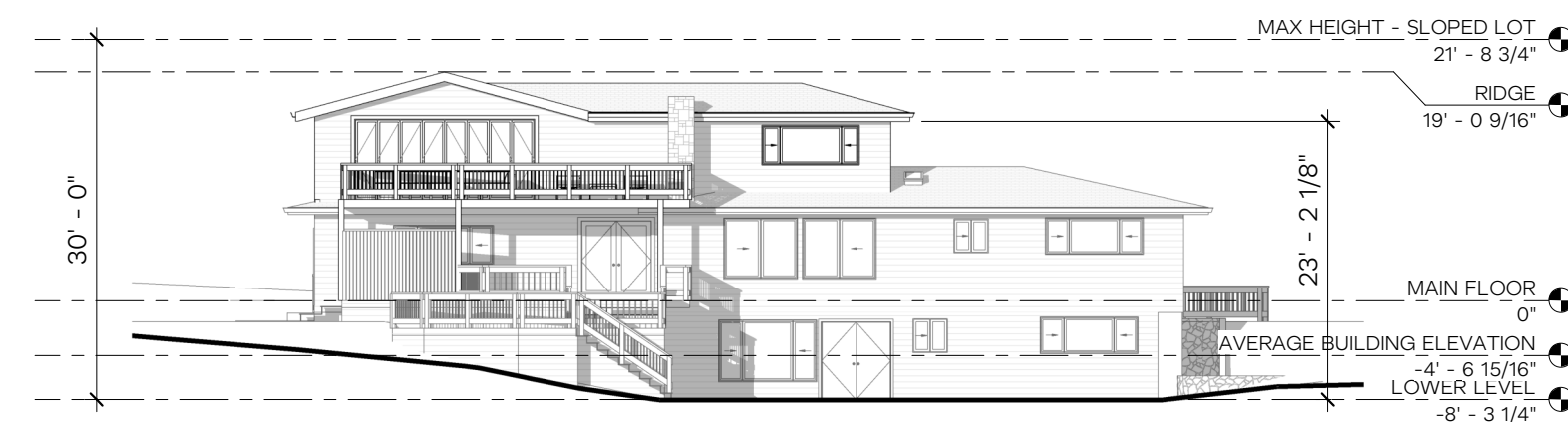
HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

DATE	DESCRIPTION
09.28.2022	SCHEMATIC PRICING
02.10.2022	PERMIT SUBMITTAL

ISSUANCES
09.28.2022 SCHEMATIC PRICING
02.10.2022 PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:13:29 PM



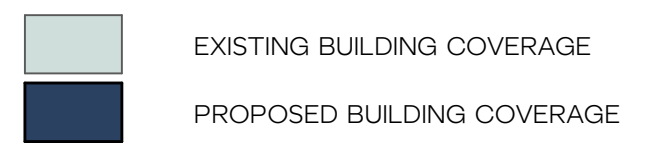
5 SOUTH ELEVATION - MAX BUILDING HEIGHT
1/16" = 1'-0"



4 NORTH ELEVATION - MAX BUILDING HEIGHT
1/16" = 1'-0"

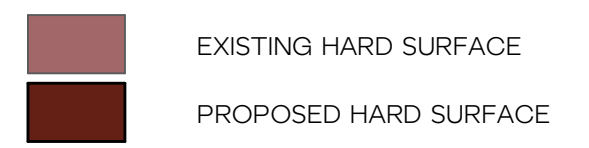
LOT COVERAGE CALCULATION

LOT AREA	=	10,893 SF
40% OF LOT AREA (MAX BUILDING COVERAGE)	=	4,357.2 SF
AS PER MICC 19.02.020.F.3 FOR LOTS WITH A SLOPE OF LESS THAN 15%		
EXISTING BUILDING COVERAGE (2,043 SF HOUSE + 470 SF DRIVING SURFACE + 220 SF PATHWAY + 1,525 SF BASKETBALL COURT)	=	4,342 SF
PROPOSED BUILDING COVERAGE	=	0 SF
NEW BUILDING COVERAGE SQUARE FOOTAGE	=	4,342 SF NO CHANGE



HARDSCAPE CALCULATION

LOT AREA	=	10,893 SF
9% OF LOT AREA (MAX HARD SURFACE COVERAGE)	=	980.37 SF
EXISTING HARD SURFACE (672 SF DECKS + 84 PATHWAY)	=	972 SF
PROPOSED HARD SURFACE	=	0 SF
NEW HARD SURFACE SQUARE FOOTAGE	=	972 SF NO CHANGE



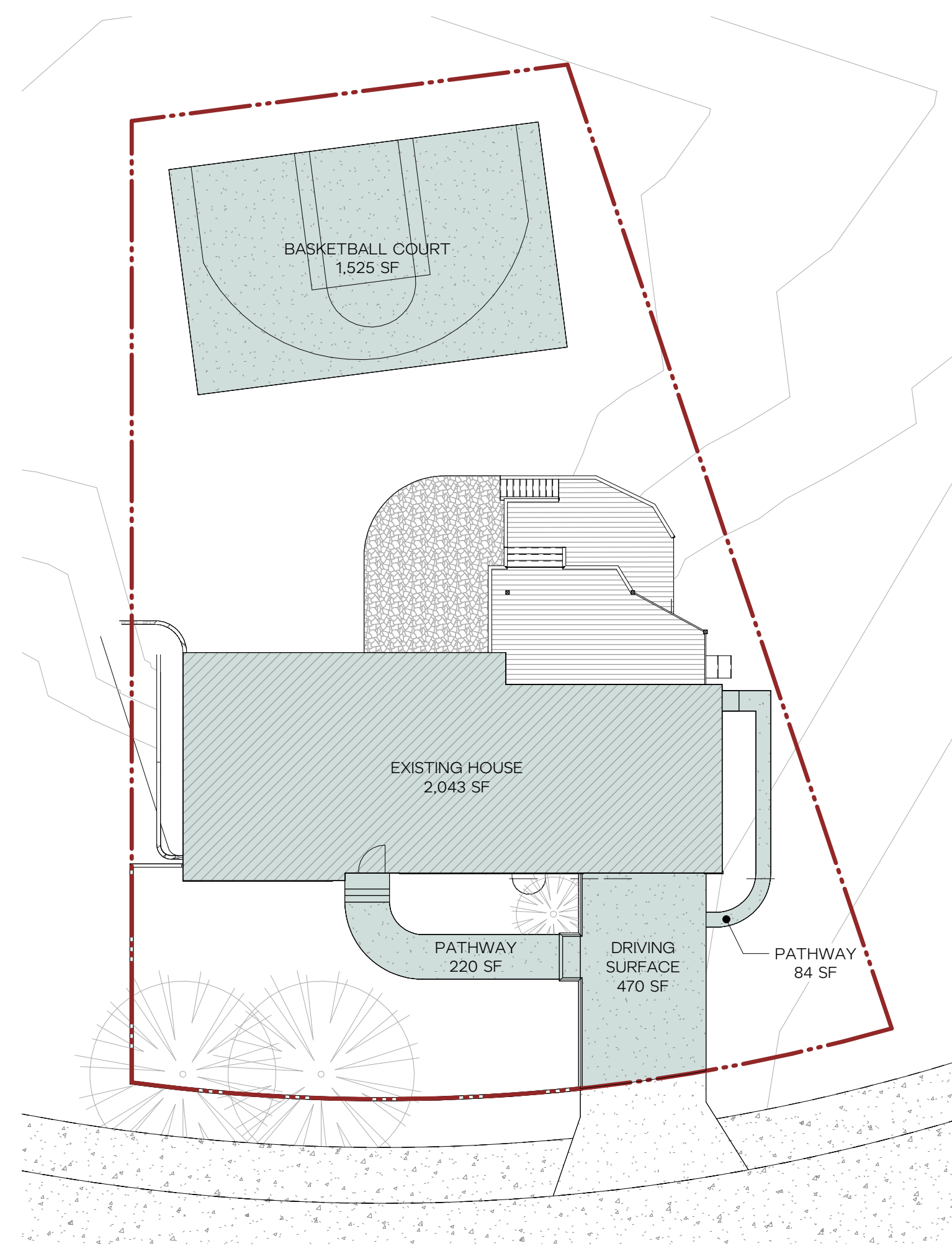
AVERAGE BUILDING ELEVATION

MICC 19.02.020.E.4: AT THE MIDPOINT OF EACH SIDE OF THE SMALLEST RECTANGLE THAT CAN BE DRAWN TO ENCLOSE THE STRUCTURE.
PROJECT ELEVATION 0'-0" = SURVEY ELEVATION 326.66'

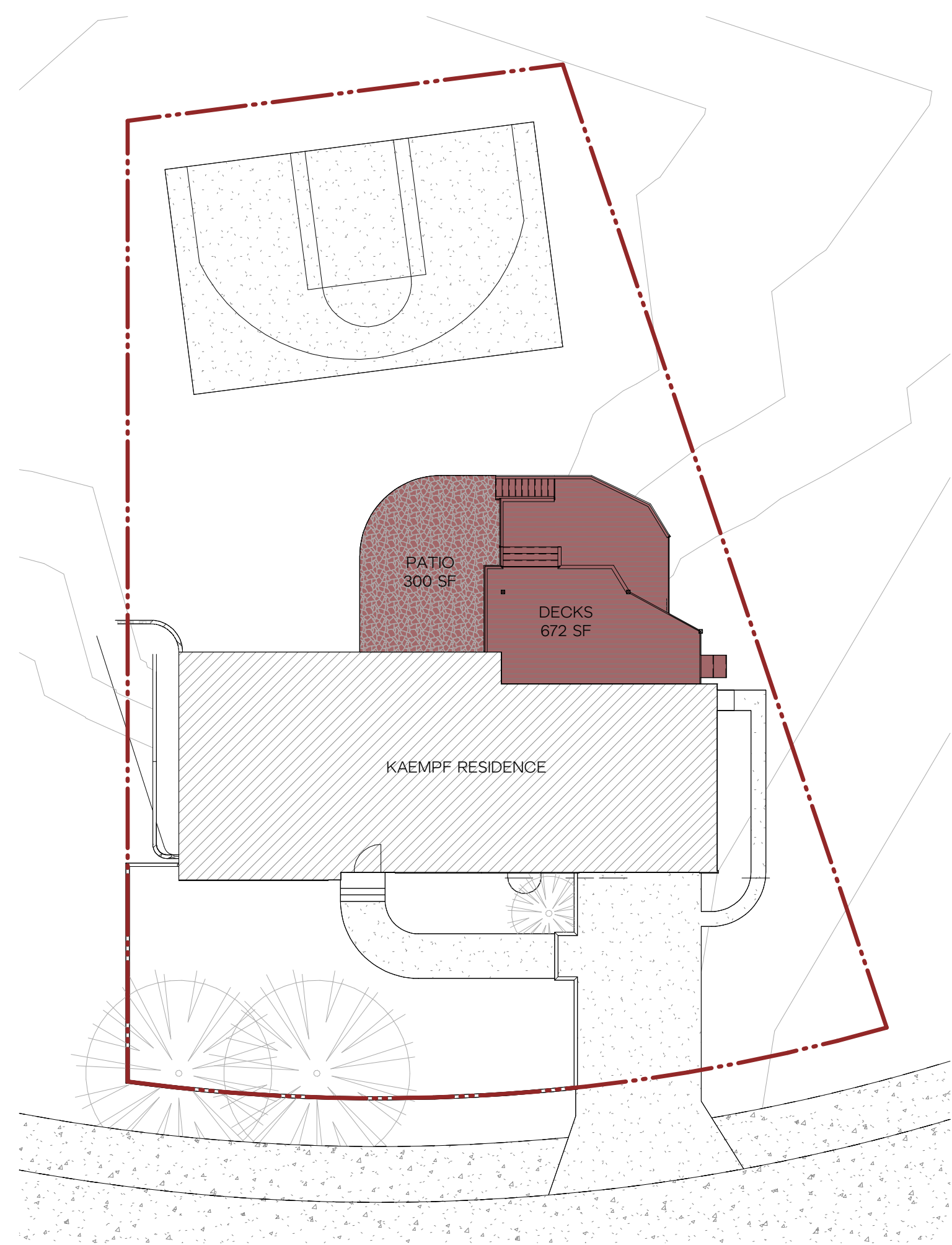
RECTANGLE SIDE	LENGTH	MIDPOINT ELEVATION	TOTAL
NORTH	72.40'	X 318.50'	= 23,059.40
SOUTH	72.40'	X 325.00'	= 23,530.00
EAST	30.64'	X 326.33'	= 9,998.75
WEST	30.64'	X 320.00'	= 9,804.80
TOTAL	206.08'		66,392.95

AVERAGE MIDPOINT ELEVATION (66,392.95/206.08) = 322.17'
AVERAGE GRADE REFERENCED TO 0'-0" DATUM (322.17-326.66) = -4' 6 15/16"

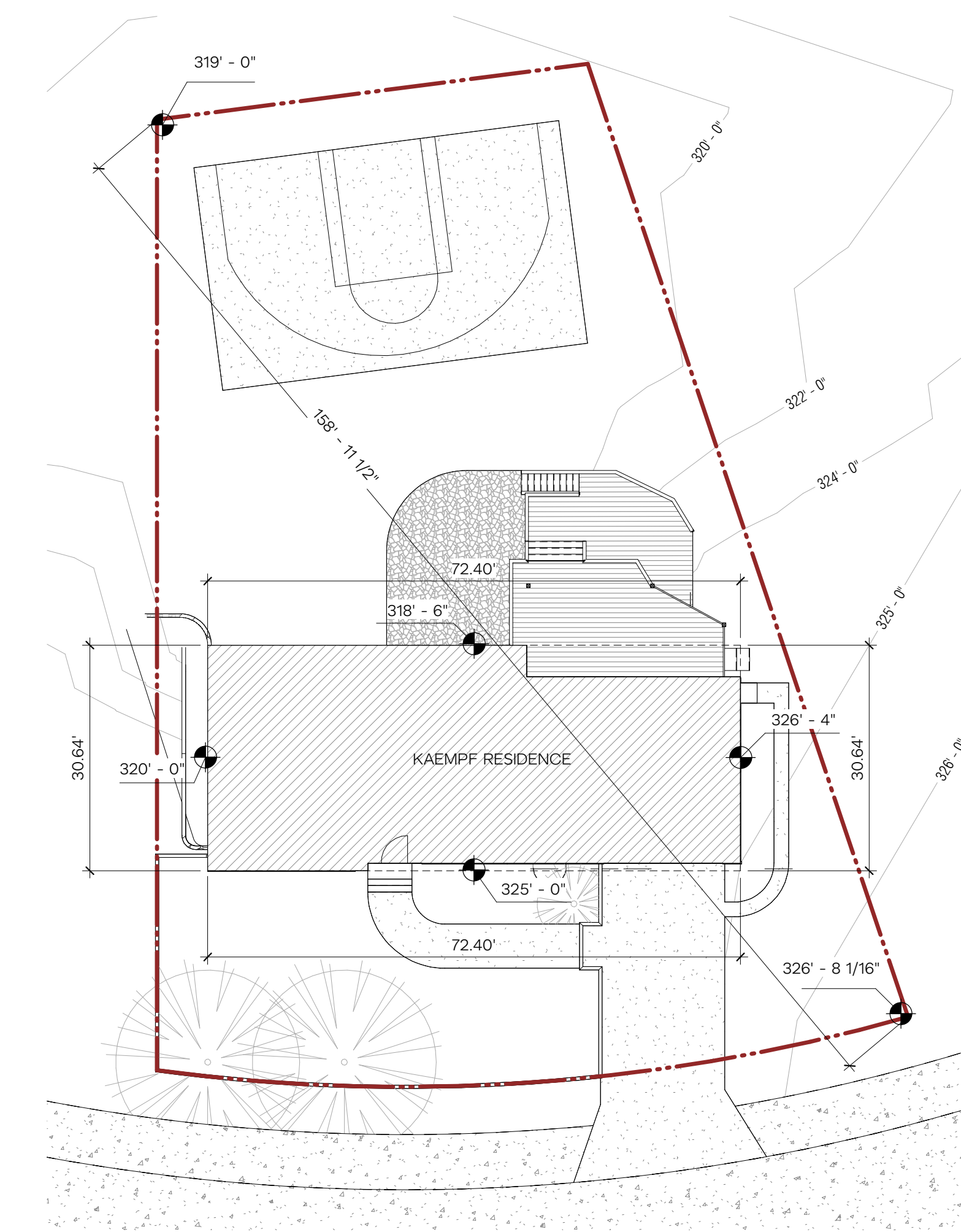
GRADE AVERAGE: 322' 2 1/16"
MAX WALL HEIGHT: 352' 2 1/16"
PROPOSED HEIGHT: 345' 9 9/16"



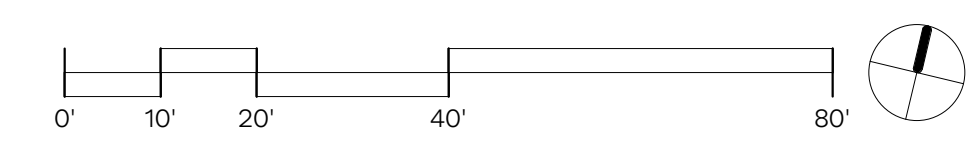
3 LOT COVERAGE CALCULATIONS
1/16" = 1'-0"



2 HARD SURFACE DIAGRAM
1/16" = 1'-0"



1 AVERAGE GRADE DIAGRAM // LOT SLOPE
1/16" = 1'-0"



**PRELIMINARY
NOT FOR
CONSTRUCTION**

KAMPF RESIDENCE
8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

NO.	DATE	DESCRIPTION

ISSUANCES
09.28.2022 SCHEMATIC PRICING
02.10.2022 PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:13:30 PM

GROSS FLOOR AREA & KEY

GROSS FLOOR AREA CALCULATIONS PER MICC 19.02.010.D

ZONING = R 9.6
LOT SIZE = 10,893 SF

GROSS FLOOR AREA
BASEMENT = 1,500 SF
MAIN FLOOR = 2,043 SF
SECOND FLOOR = 897.5 SF
TOTAL = 4,440.5 SF

CHARGEABLE FLOOR AREA
= 3,680 SF (2,043 SF MAIN FLOOR + 750 SF BASEMENT AS PER APPENDIX B + 897.5 AS PER MICC 19.02.010.D.2)

FAR: ALLOWED (40% LOT) = 4,357 SF
FAR: EXISTING = 2,793 SF
FAR: REMAINING = 1,564 SF
FAR: PROPOSED = 897.5 SF (856.5 SF ADDITION + 41 SF OVERHANG)

MICC 19.02.010.D.1 GROSS FLOOR AREA:
1. THE GROSS FLOOR AREA SHALL NOT EXCEED:
b. R-9.6: 8,000 SQUARE FEET OR 40 PERCENT OF THE LOT AREA, WHICHEVER IS LESS.

MICC 19.02.010.D.2 GROSS FLOOR AREA CALCULATIONS
2. THE GROSS FLOOR AREA IS THE SUM OF THE FLOOR AREA(S) BOUNDED BY THE EXTERIOR FACES OF EACH BUILDING ON A RESIDENTIAL LOT, PROVIDED:
c. STAIRCASES SHALL BE COUNTED AS A SINGLE FLOOR FOR THE FIRST TWO STORIES ACCESSED BY THE STAIRCASE. FOR EACH ADDITIONAL STORY ABOVE TWO STORIES, THE STAIRCASE SHALL COUNT AS A SINGLE FLOOR AREA.

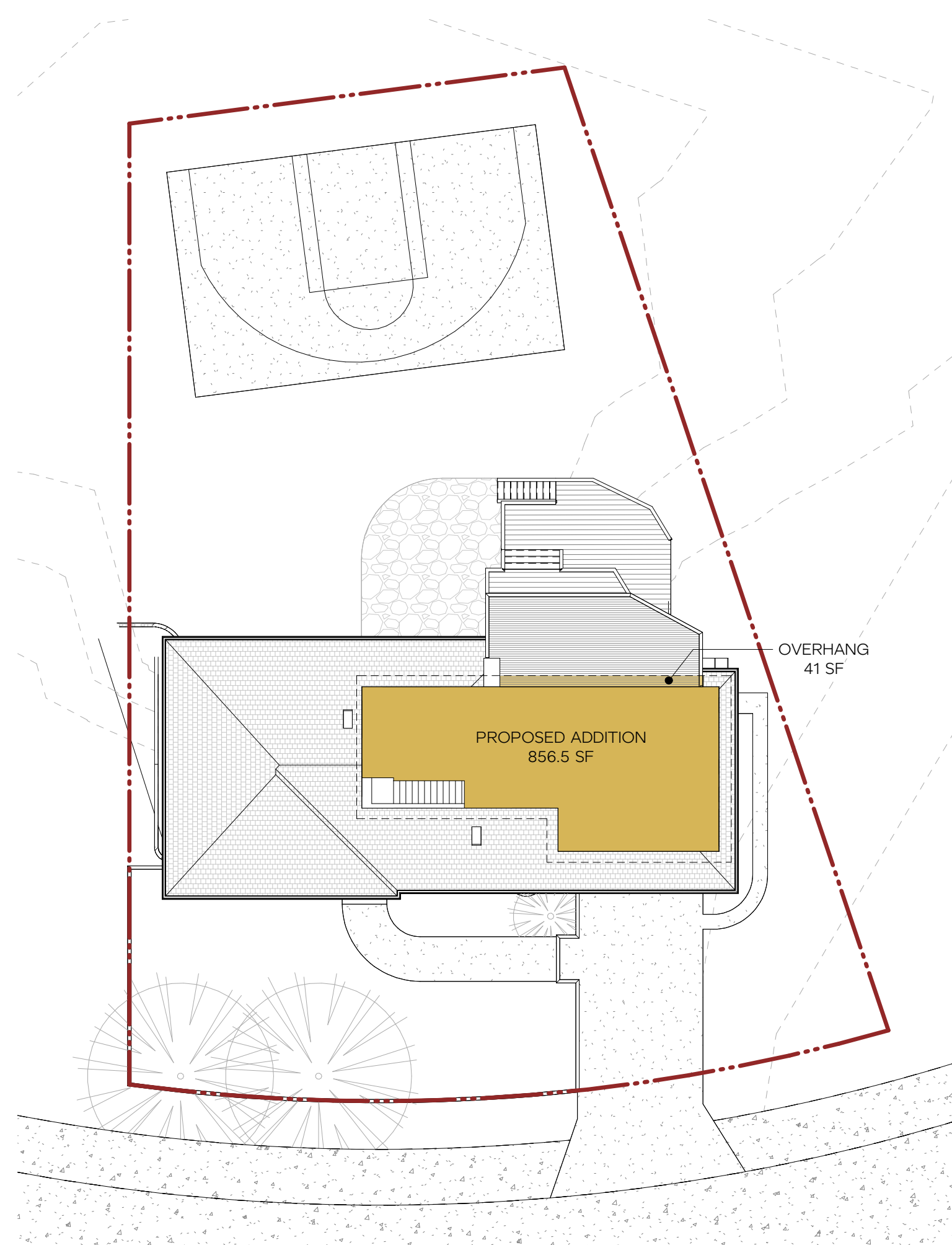
APPENDIX B - BASEMENT FLOOR AREA CALCULATION
THE MERCER ISLAND DEVELOPMENT CODE EXCLUDES THAT PORTION OF THE BASEMENT FLOOR AREA FROM THE GROSS FLOOR AREA WHICH IS BELOW THE EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER.

TABLE OF WALL LENGTHS AND COVERAGE

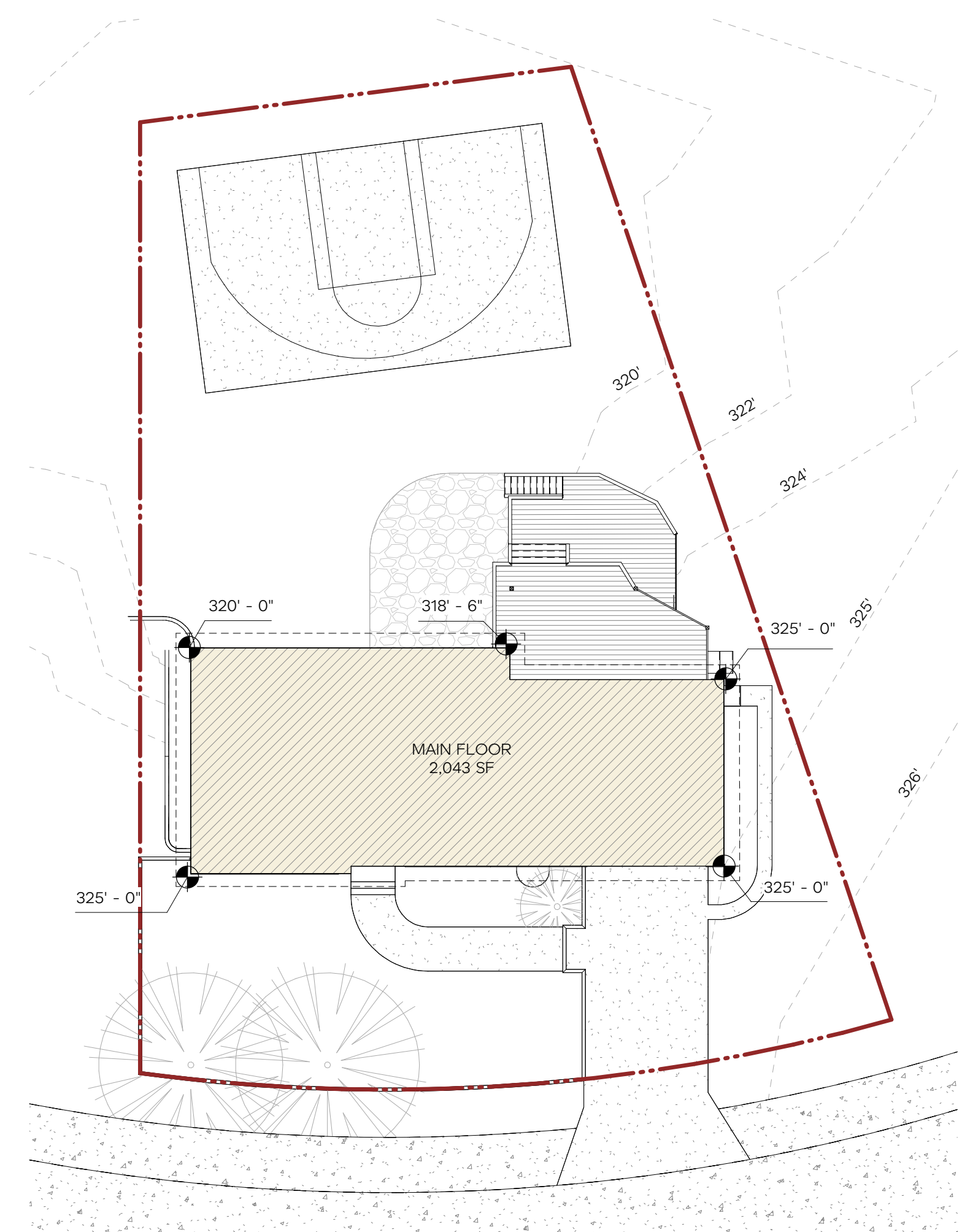
WALL SEGMENT	LENGTH	X COVERAGE	= RESULT
A	43' - 2 3/4"	0%	0' - 0"
B	7' - 10 1/2"	16%	1' - 3"
C	4' - 5"	90%	3' - 11"
D	25' - 2 1/2"	90%	22' - 8 1/4"
E	0' - 11 1/2"	90%	0' - 10"
F	29' - 5 3/4"	90%	26' - 6 1/4"
G	21' - 7 1/2"	90%	19' - 5 1/2"
H	30' - 7 1/4"	22%	6' - 8 3/4"
TOTAL	163' - 4 3/4"		81' - 4 3/4"

1,500 SF (TOTAL BASEMENT AREA) X 0.50 (81.40 WALL SEGMENT COVERAGE / 163.40 WALL SEGMENT LENGTH) = 1,500 SF X 50% = 750 SF EXCLUDED FROM GROSS FLOOR AREA

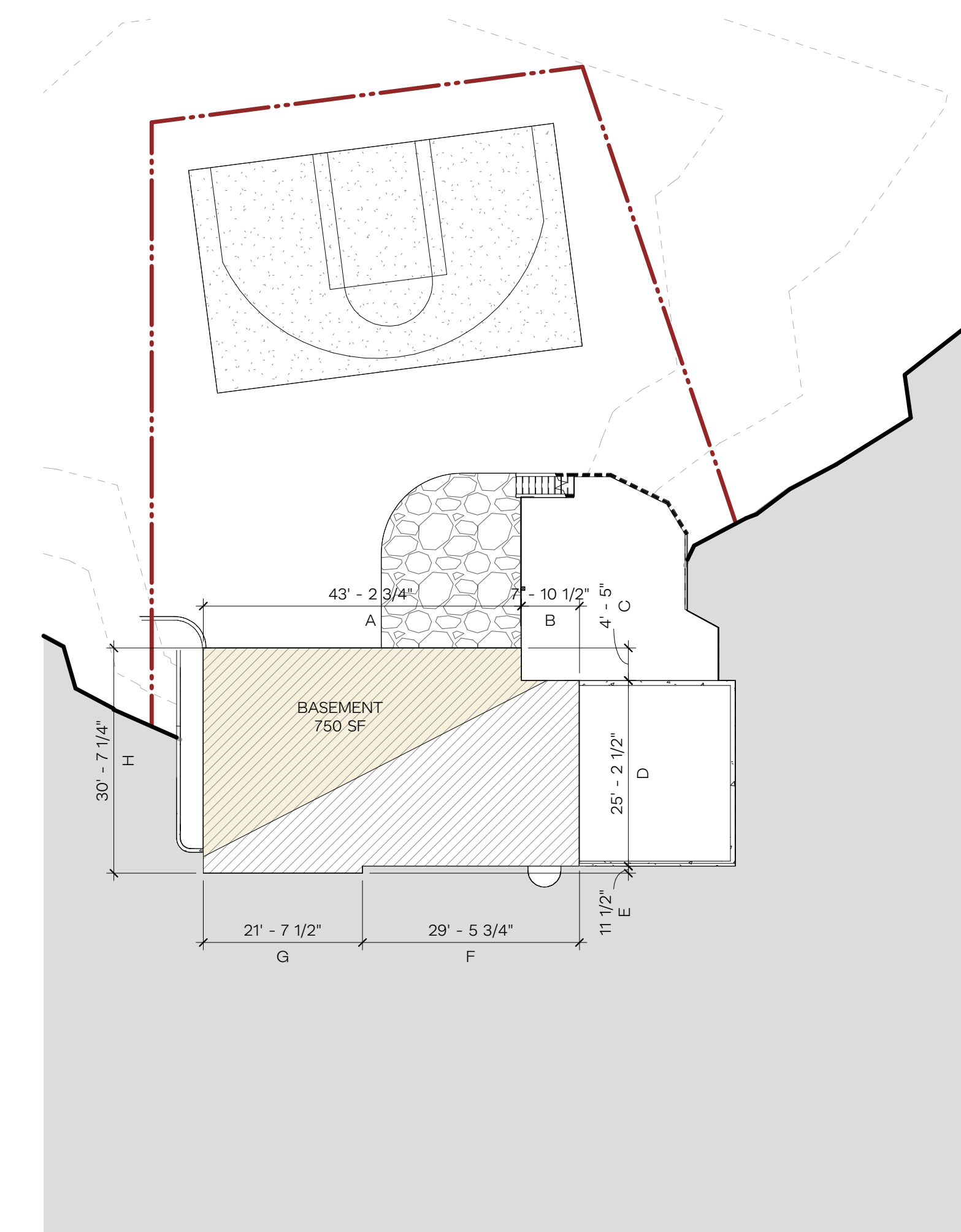
EXISTING FLOOR AREA
PROPOSED FLOOR AREA



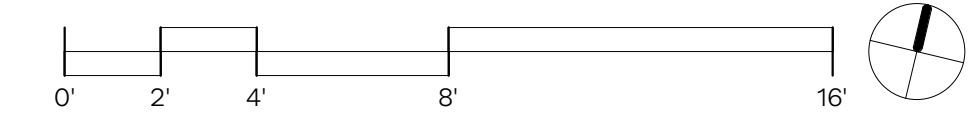
3 SECOND FLOOR - GROSS FLOOR AREA DIAGRAM
1/16" = 1'-0"



2 MAIN FLOOR - GROSS FLOOR AREA DIAGRAM
1/16" = 1'-0"



1 BASEMENT - GROSS FLOOR AREA DIAGRAM
1/16" = 1'-0"



**PRELIMINARY
NOT FOR
CONSTRUCTION**

KAMPF RESIDENCE
8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

NO.	DATE	DESCRIPTION

ISSUANCES
09.28.2022 SCHEMATIC PRICING
02.10.2022 PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:13:39 PM

GROSS FLOOR AREA & KEY

GROSS FLOOR AREA CALCULATIONS PER MICC 19.02.010.D

ZONING = R 9.6
LOT SIZE = 10,893 SF

GROSS FLOOR AREA
BASEMENT = 1,500 SF
MAIN FLOOR = 2,043 SF
SECOND FLOOR = 897.5 SF
TOTAL = 4,440.5 SF

CHARGEABLE FLOOR AREA
= 3,680 SF (2,043 SF MAIN FLOOR + 750 SF BASEMENT AS PER APPENDIX B + 897.5 AS PER MICC 19.02.010.D.2)

FAR: ALLOWED (40% LOT) = 4,357 SF
FAR: EXISTING = 2,793 SF
FAR: REMAINING = 1,564 SF
FAR: PROPOSED = 897.5 SF (856.5 SF ADDITION + 41 SF OVERHANG)

MICC 19.02.010.D.1 GROSS FLOOR AREA:
1. THE GROSS FLOOR AREA SHALL NOT EXCEED:
b. R-9.6: 8,000 SQUARE FEET OR 40 PERCENT OF THE LOT AREA, WHICHEVER IS LESS.

MICC 19.02.010.D.2 GROSS FLOOR AREA CALCULATIONS
2. THE GROSS FLOOR AREA IS THE SUM OF THE FLOOR AREA(S) BOUNDED BY THE EXTERIOR FACES OF EACH BUILDING ON A RESIDENTIAL LOT, PROVIDED:
c. STAIRCASES SHALL BE COUNTED AS A SINGLE FLOOR FOR THE FIRST TWO STORIES ACCESSED BY THE STAIRCASE. FOR EACH ADDITIONAL STORY ABOVE TWO STORIES, THE STAIRCASE SHALL COUNT AS A SINGLE FLOOR AREA.

APPENDIX B - BASEMENT FLOOR AREA CALCULATION
THE MERCER ISLAND DEVELOPMENT CODE EXCLUDES THAT PORTION OF THE BASEMENT FLOOR AREA FROM THE GROSS FLOOR AREA WHICH IS BELOW THE EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER.

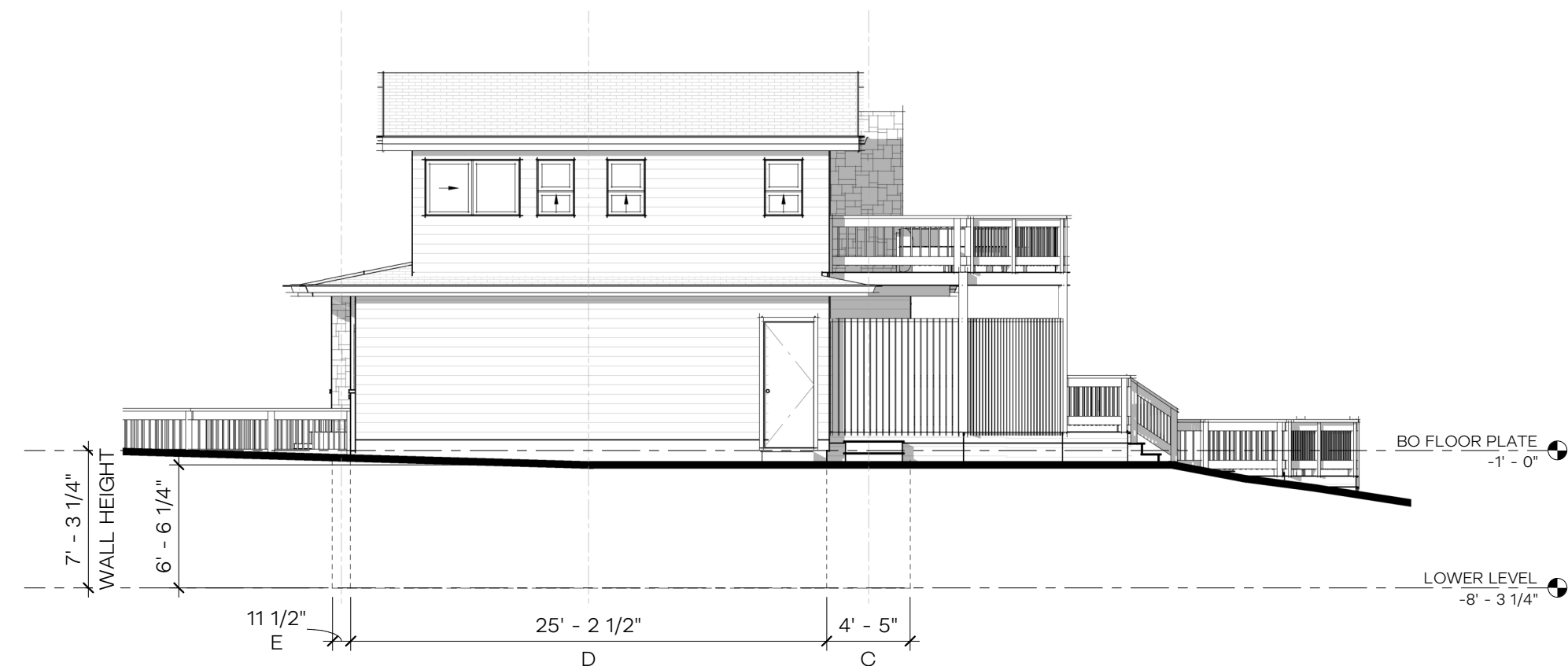
TABLE OF WALL LENGTHS AND COVERAGE

WALL SEGMENT	LENGTH	X COVERAGE	= RESULT
A	43' - 2 3/4"	0%	0' - 0"
B	7' - 10 1/2"	16%	1' - 3"
C	4' - 5"	90%	3' - 11"
D	25' - 2 1/2"	90%	22' - 8 1/4"
E	0' - 11 1/2"	90%	0' - 10"
F	29' - 5 3/4"	90%	26' - 6 1/4"
G	21' - 7 1/2"	90%	19' - 5 1/2"
H	30' - 7 1/4"	22%	6' - 8 3/4"
TOTAL	163' - 4 3/4"		81' - 4 3/4"

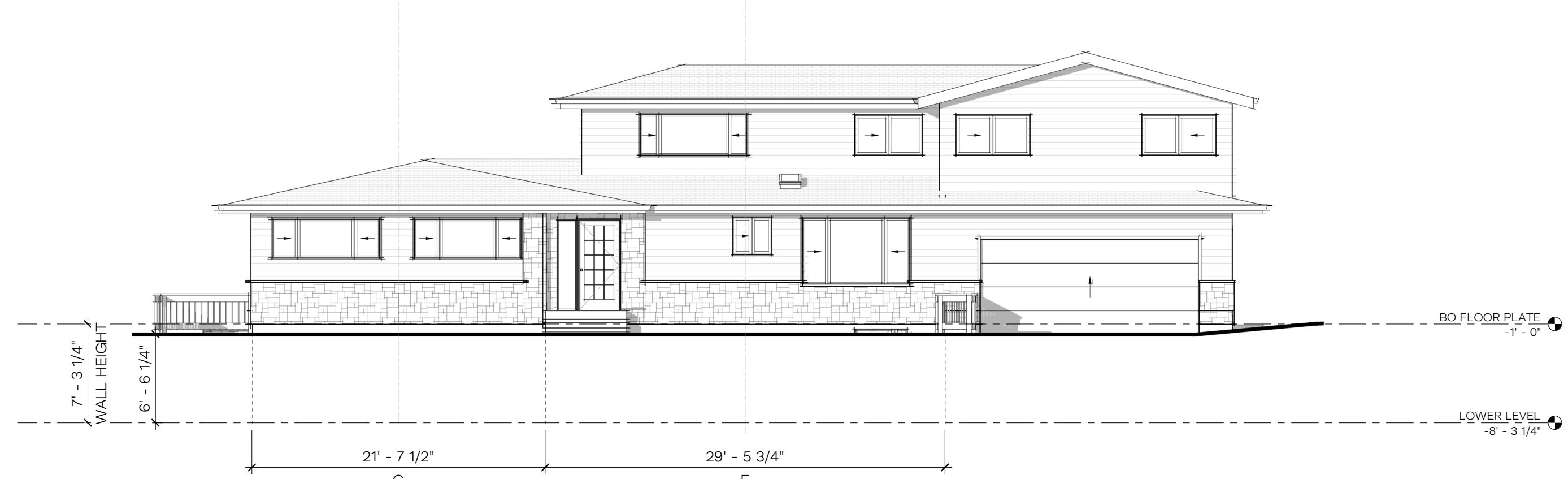
1,500 SF (TOTAL BASEMENT AREA) X 0.50 (81.40 WALL SEGMENT COVERAGE / 163.40 WALL SEGMENT LENGTH) =

1,500 SF X 50% = 750 SF EXCLUDED FROM GROSS FLOOR AREA

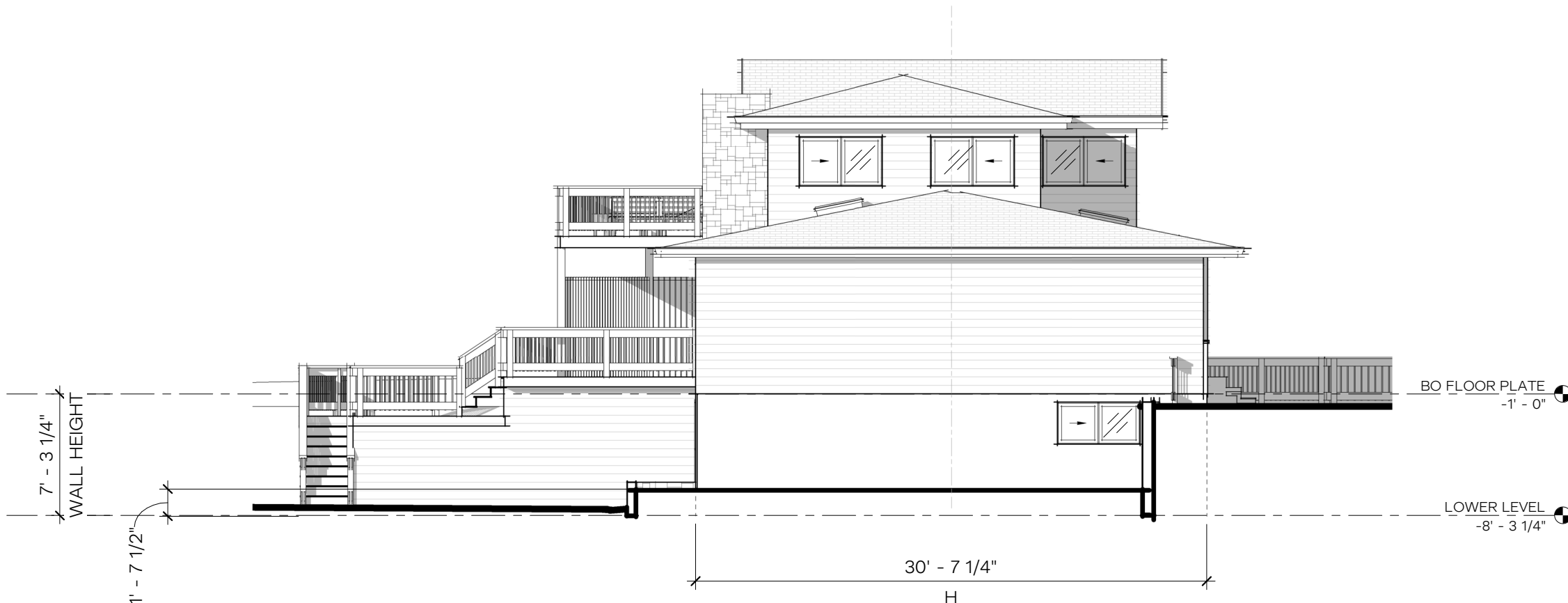
EXISTING FLOOR AREA
PROPOSED FLOOR AREA



4 EAST ELEVATION - FAR
1/8" = 1'-0"



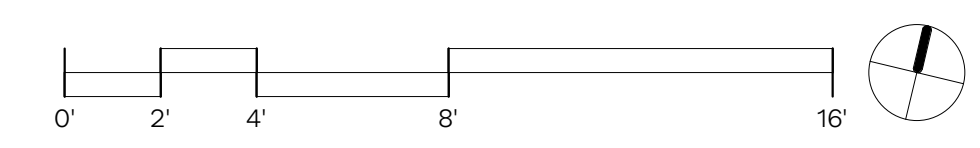
3 NORTH ELEVATION - FAR
1/8" = 1'-0"

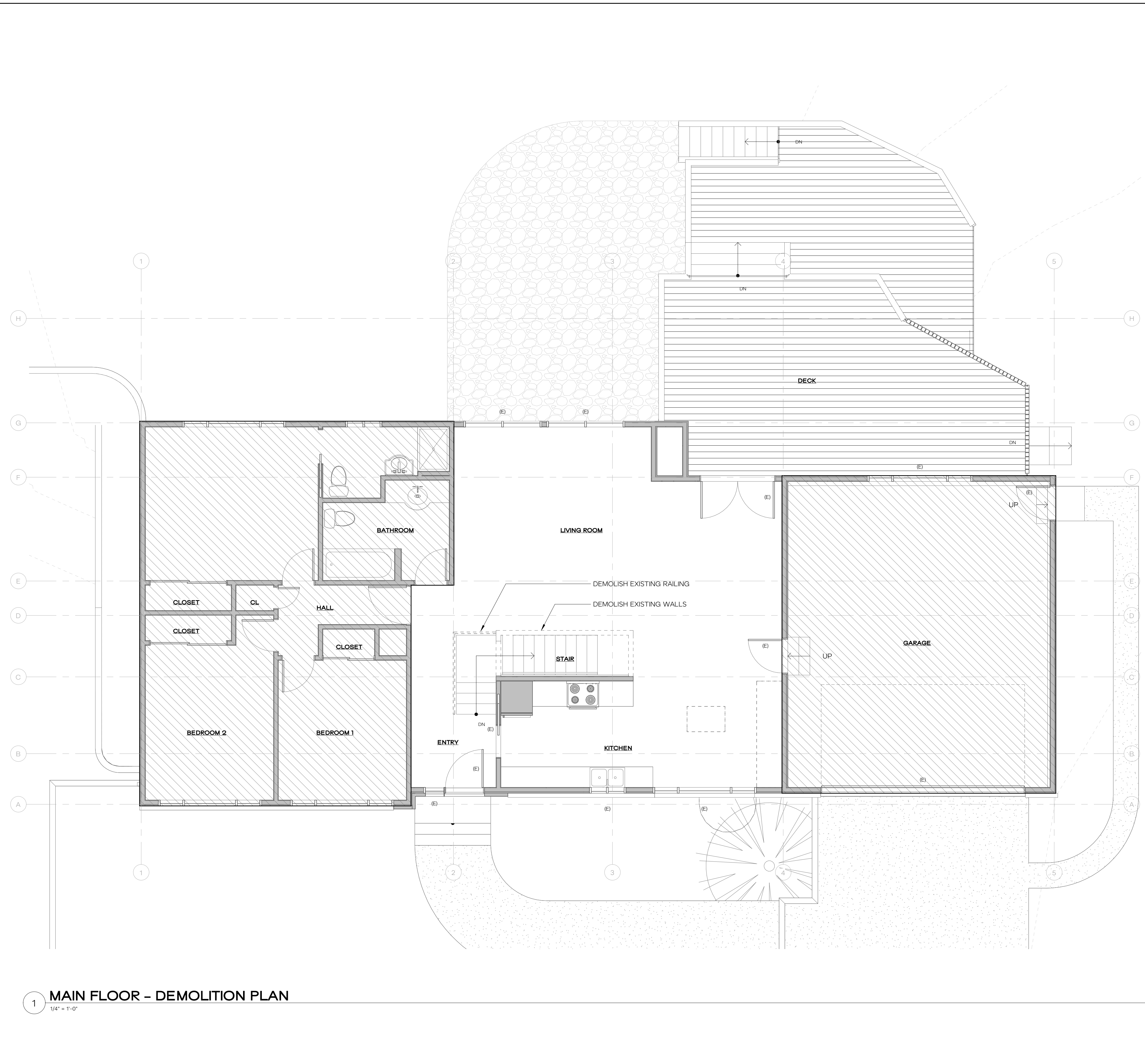


2 WEST ELEVATION - FAR
1/8" = 1'-0"


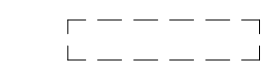

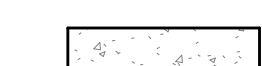



1 SOUTH ELEVATION - FAR
1/8" = 1'-0"





WALL KEY

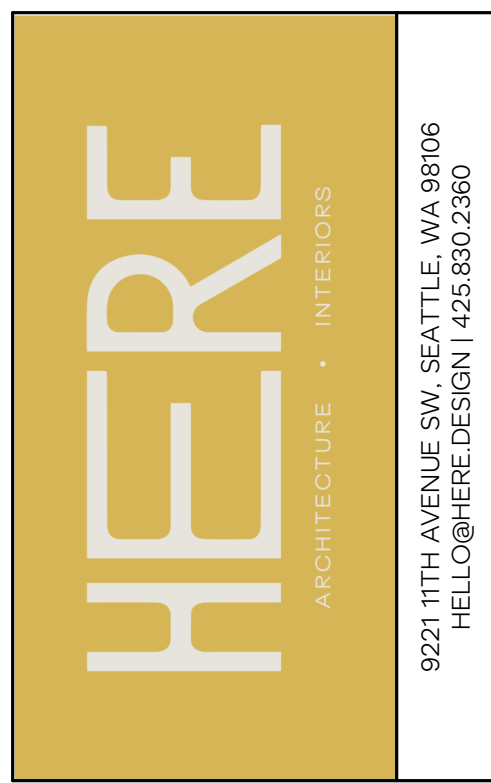
-  EXISTING WALL
-  DEMO WALL
-  NEW WALL
-  NEW CONC WALL
-  ROOF CUT

WINDOW / DOOR KEY

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

DEMOLITION NOTES

1. CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
2. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
3. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.



**PRELIMINARY
NOT FOR
CONSTRUCTION**

KAEMPF RESIDENCE
8238 SE 7TH ST MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

NO.	DATE	DESCRIPTION

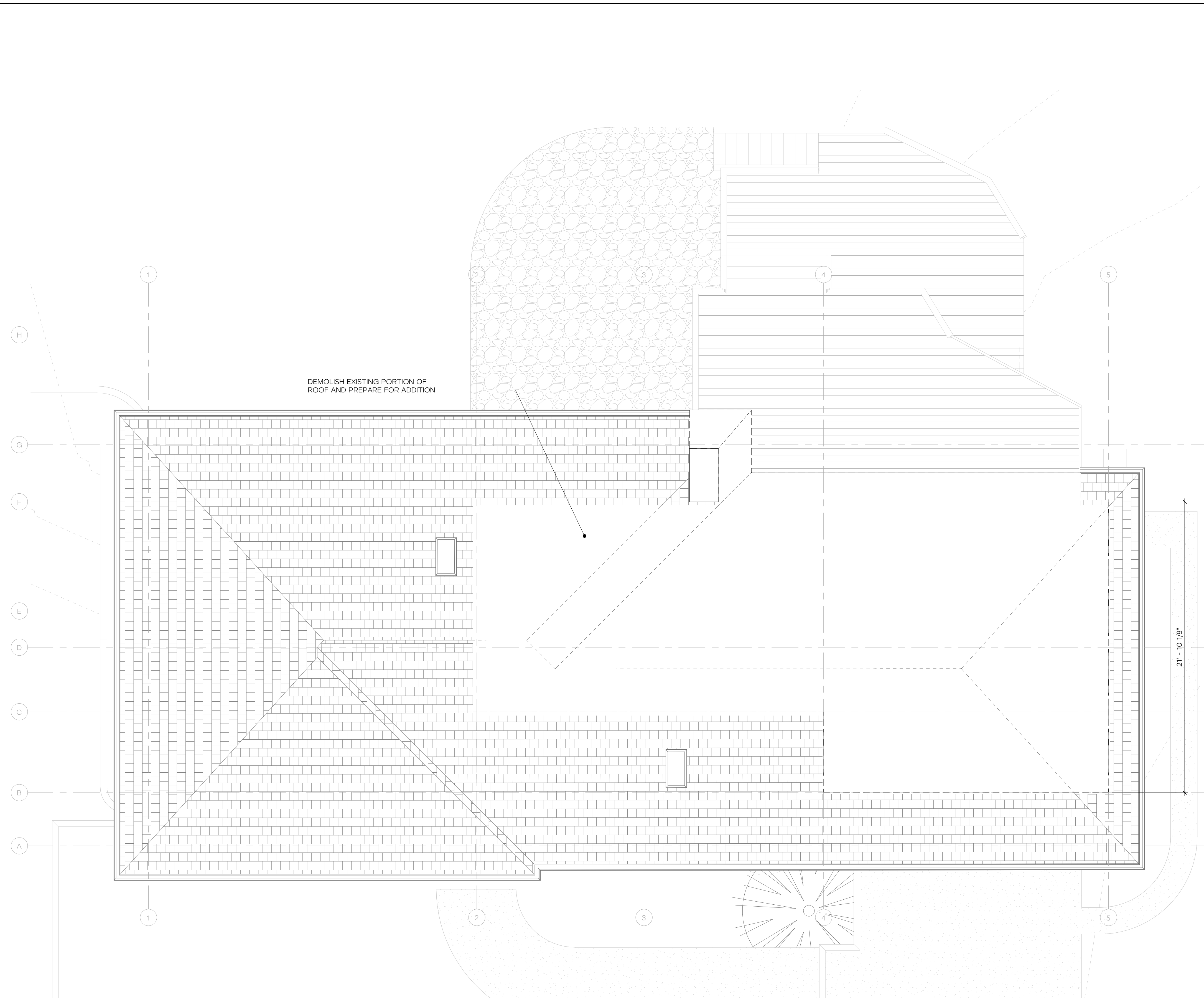
ISSUANCES

DATE	DESCRIPTION
09.28.2022	SCHEMATIC PRICING
02.10.2022	PERMIT SUBMITTAL

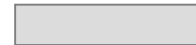



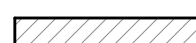
PLOTTED: 2/13/2023 5:13:40 PM

DEMOLITION FIRST FLOOR PLANS
A2.11

1 MAIN FLOOR - DEMOLITION PLAN
1/4" = 1'-0"



WALL KEY

-  EXISTING WALL
-  DEMO WALL
-  NEW WALL
-  NEW CONC WALL
-  ROOF CUT

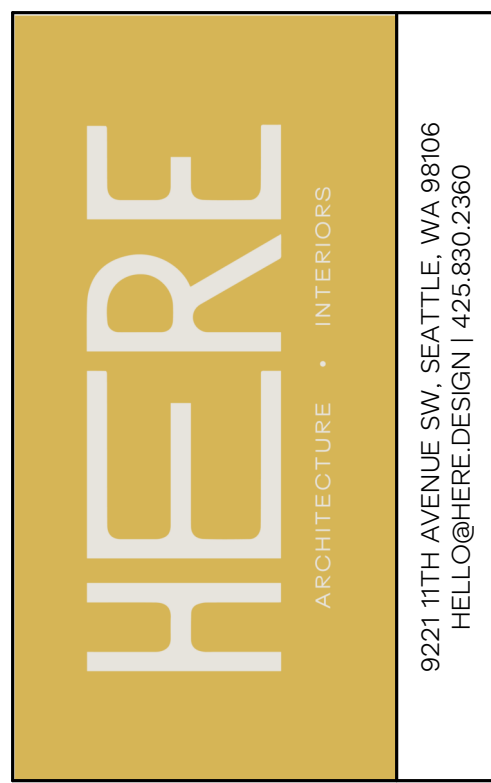
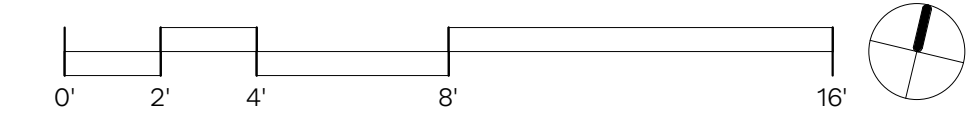
WINDOW / DOOR KEY

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

DEMOLITION NOTES

1. CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
2. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
3. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.

1 ROOF - DEMOLITION PLAN
1/4" = 1'-0"



**PRELIMINARY
NOT FOR
CONSTRUCTION**

KAMPF RESIDENCE
8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

NO.	DATE	DESCRIPTION

ISSUANCES

09.28.2022	SCHEMATIC PRICING
02.10.2022	PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:13:41 PM

DEMOLITION ROOF PLAN
A2.12

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

KAMPF RESIDENCE
 8238 SE 72ND ST, MERCER ISLAND, WA 98040
 JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
 JURISDICTIONAL #: TBD

REVISIONS

NO.	DATE	DESCRIPTION

ISSUANCES

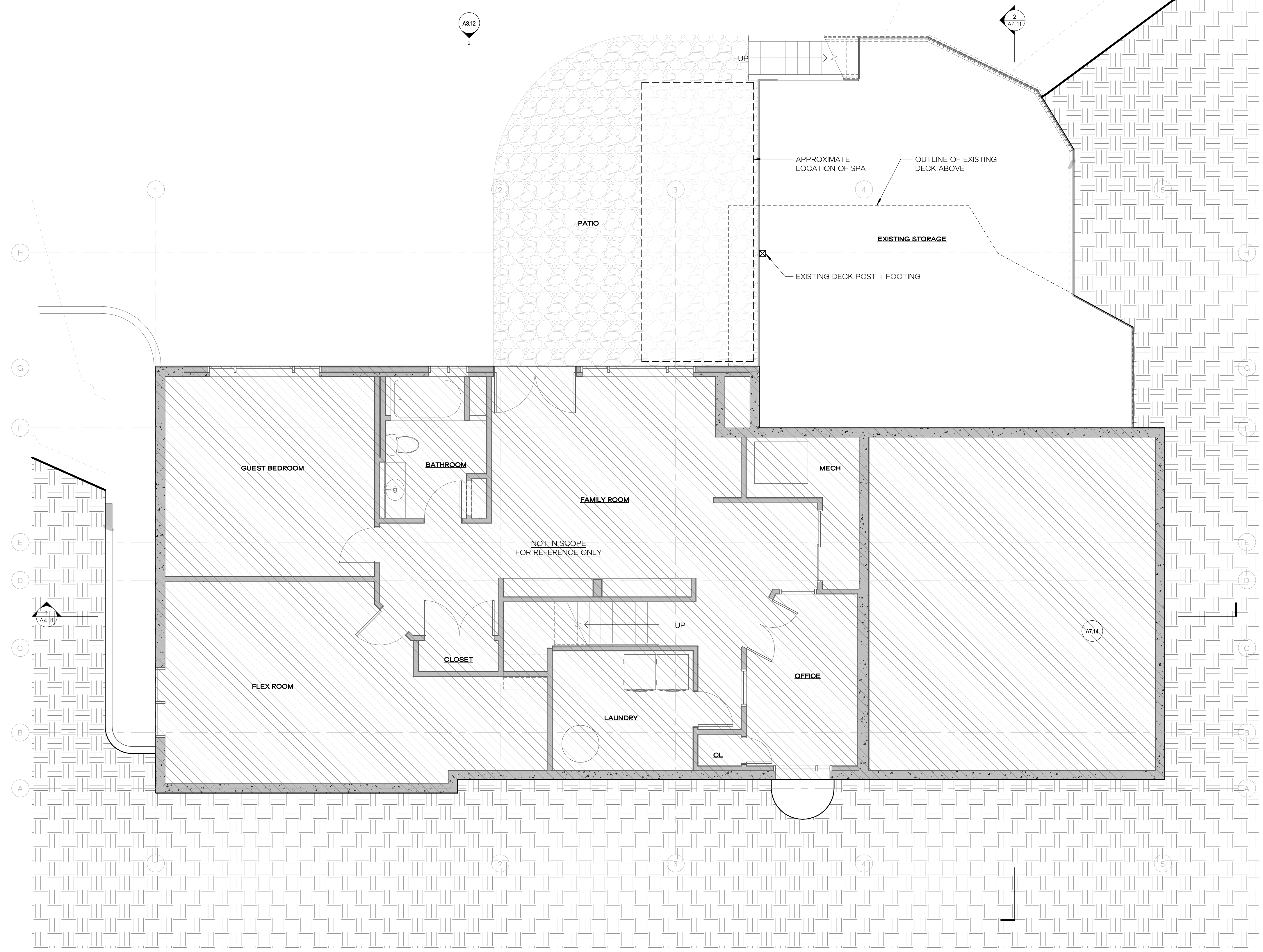
DATE	DESCRIPTION
09.28.2022	SCHEMATIC PRICING
02.10.2022	PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:13:42 PM

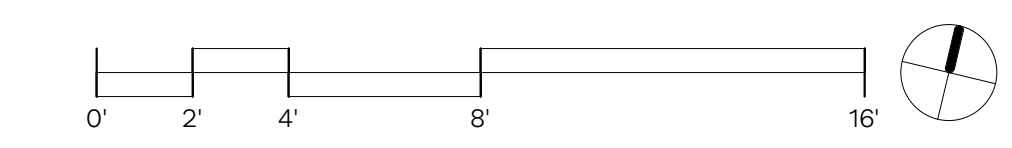
WALL KEY		WINDOW / DOOR KEY	
	EXISTING WALL		EXISTING DOOR OR WINDOW TO REMAIN
	DEMO WALL		EXISTING DOOR OR WINDOW TO BE DEMOLISHED
	NEW WALL		EXISTING DOOR OR WINDOW TO BE SALVAGED
	NEW CONC WALL		EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE
	ROOF CUT		

GENERAL PLAN NOTES

- SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
- SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS.
- SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE "W.0" UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
- SEE SHEET A9.01 FOR DOOR AND WINDOW SCHEDULES.
- CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
- NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.
- NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.



1 BASEMENT - EXISTING PLAN - FOR REFERENCE ONLY
 1/4" = 1'-0"



**PRELIMINARY
NOT FOR
CONSTRUCTION**

KAMPF RESIDENCE
8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

NO.	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
09.28.2022	SCHEMATIC PRICING
02.10.2022	PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:13:43 PM

PROPOSED FIRST FLOOR PLAN
A2.22

WALL KEY

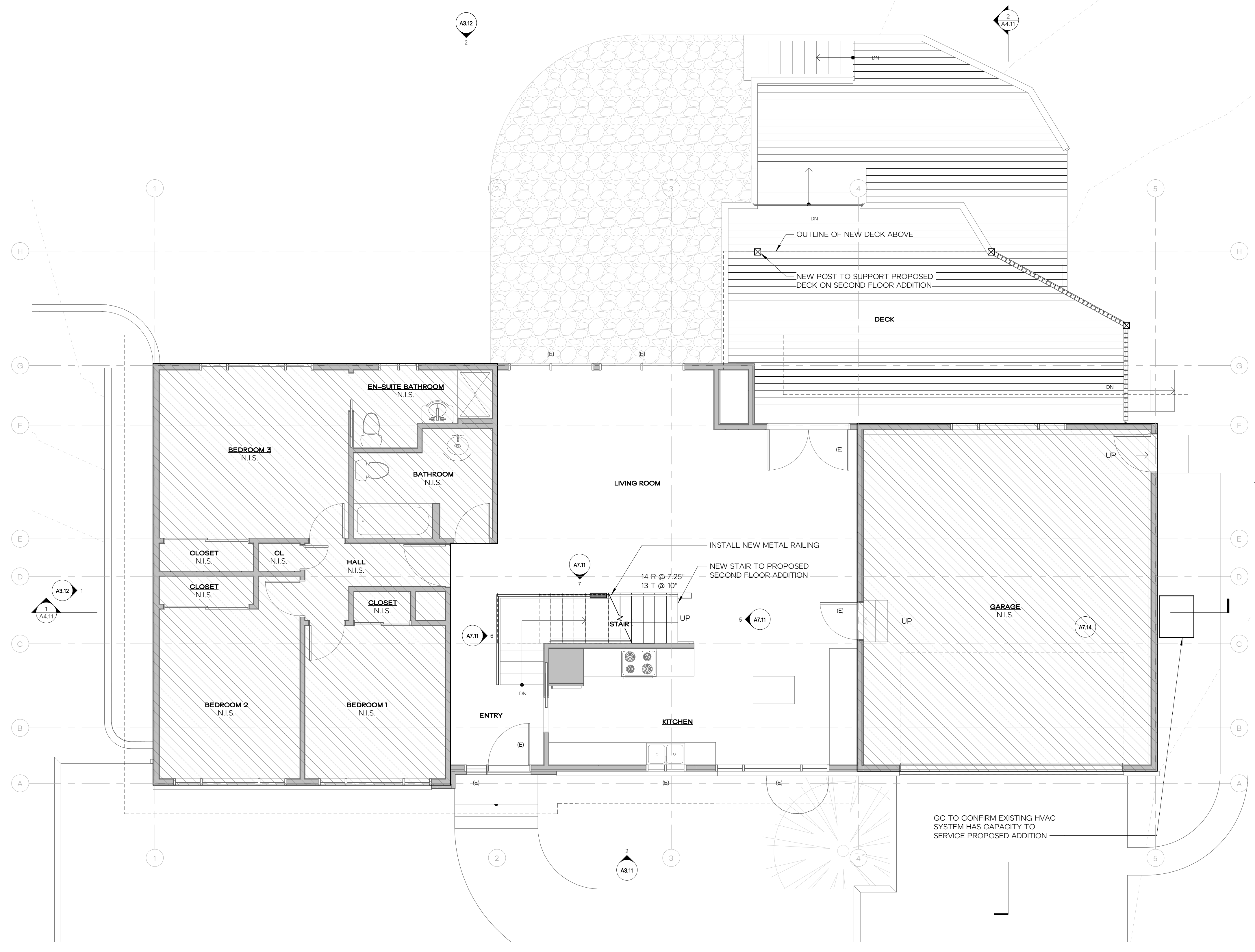
- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL
- ROOF CUT

WINDOW / DOOR KEY

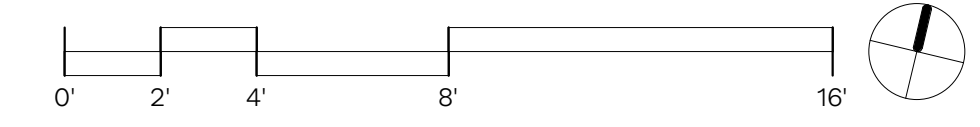
- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

GENERAL PLAN NOTES

1. SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
2. SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS.
3. SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE "W.0" UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
4. SEE SHEET A9.01 FOR DOOR AND WINDOW SCHEDULES.
5. CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
6. NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.
7. NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.



1 MAIN FLOOR - PROPOSED PLAN
1/4" = 1'-0"



**PRELIMINARY
NOT FOR
CONSTRUCTION**

KAMPF RESIDENCE
8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

NO.	DATE	DESCRIPTION

ISSUANCES

09.28.2022	SCHEMATIC PRICING
02.10.2022	PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:13:44 PM

WALL KEY

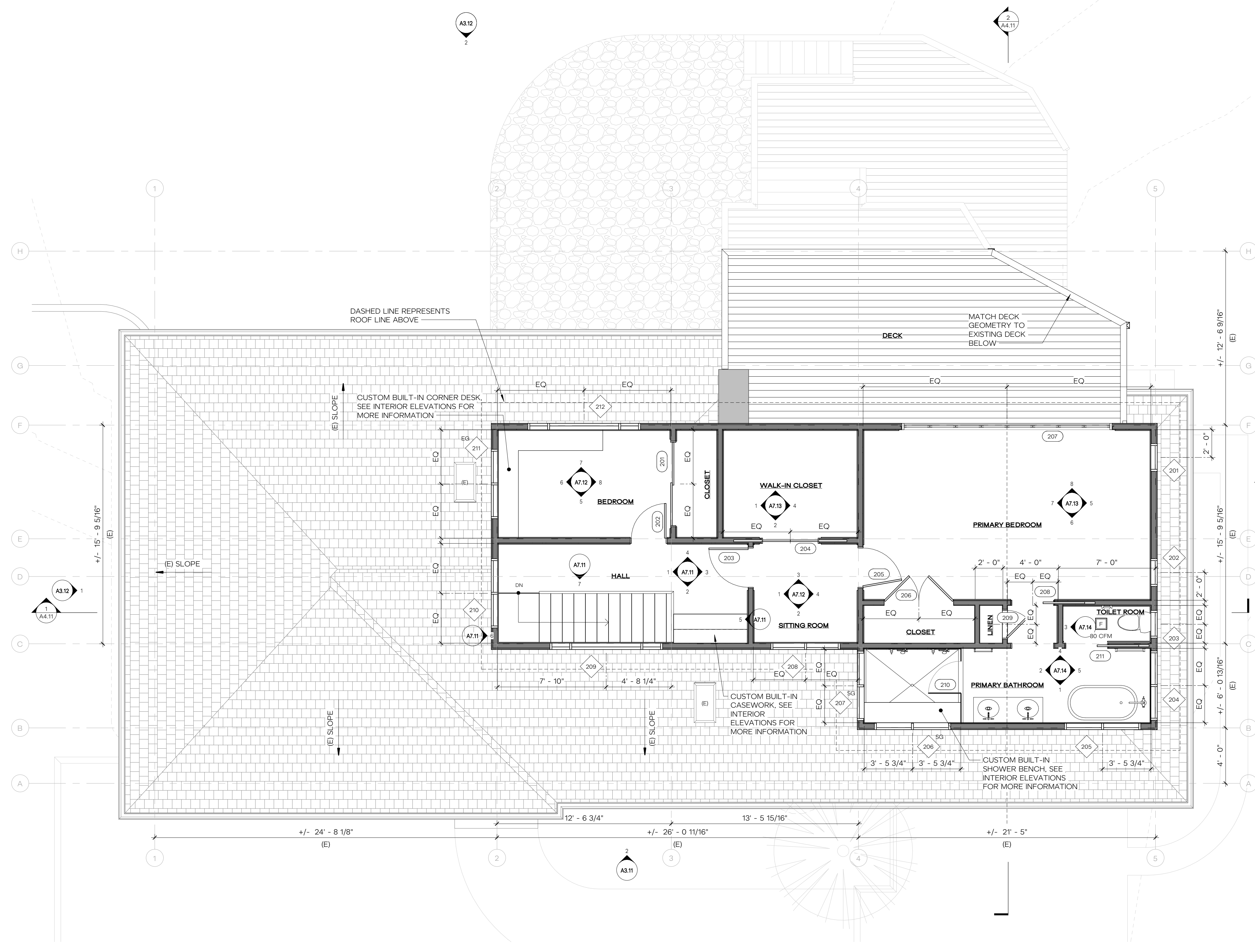
- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL
- ROOF CUT

WINDOW / DOOR KEY

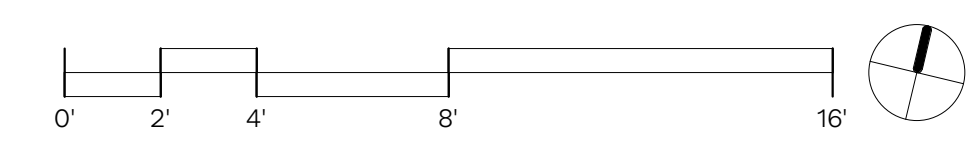
- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

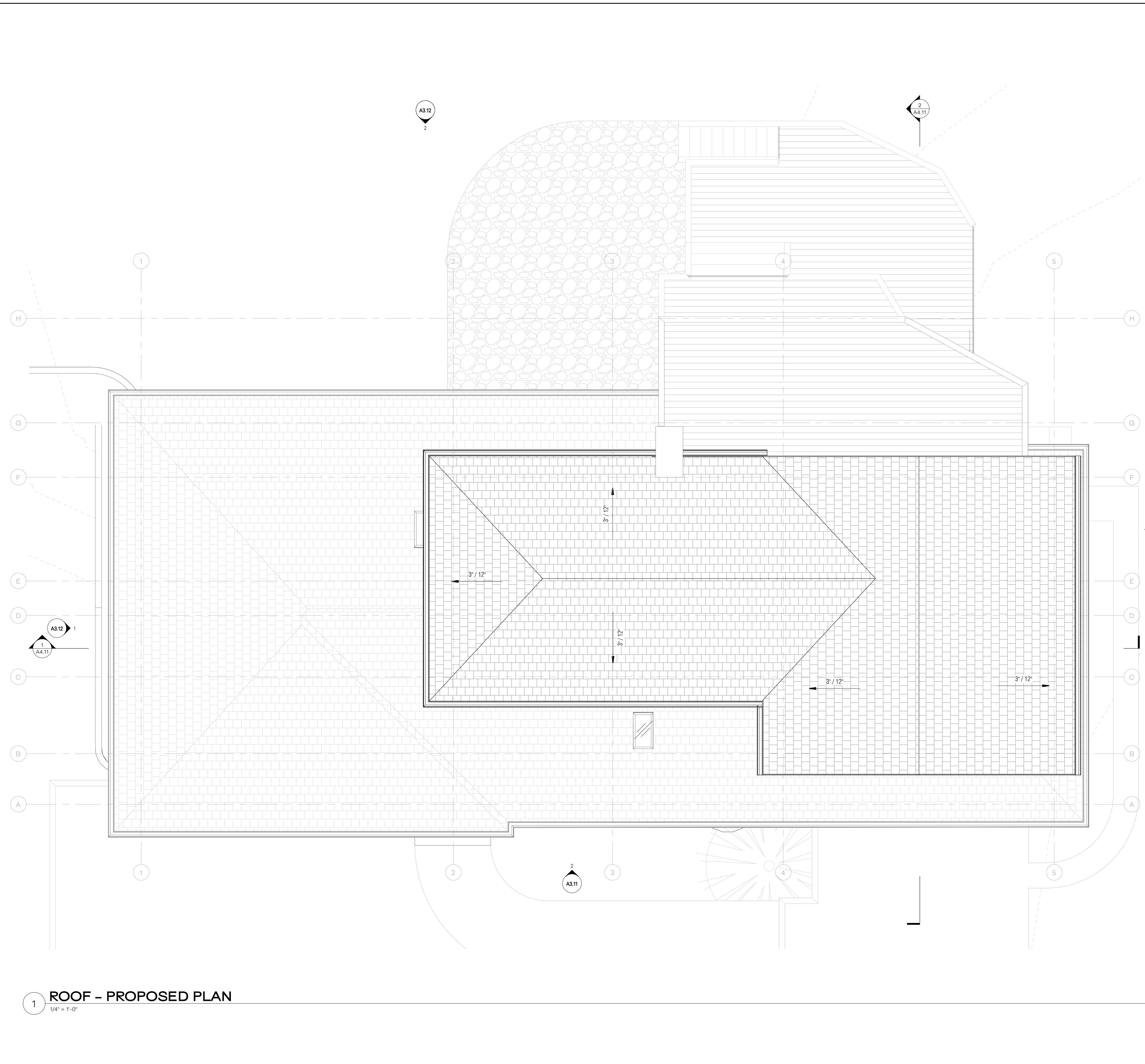
GENERAL PLAN NOTES

- SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
- SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS.
- SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE "W.0" UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
- SEE SHEET A9.01 FOR DOOR AND WINDOW SCHEDULES.
- CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
- NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.
- NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.



1 SECOND FLOOR - PROPOSED PLAN
1/4" = 1'-0"





WALL KEY		WINDOW / DOOR KEY	
	EXISTING WALL		EXISTING DOOR OR WINDOW TO REMAIN
	DEMO WALL		EXISTING DOOR OR WINDOW TO BE DEMOLISHED
	NEW WALL		EXISTING DOOR OR WINDOW TO BE SALVAGED
	NEW CONC WALL		EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE
	ROOF CUT		

- GENERAL PLAN NOTES**
- SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
 - SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS.
 - SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE "W.0" UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
 - SEE SHEET A9.01 FOR DOOR AND WINDOW SCHEDULES.
 - CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
 - NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.
 - NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

KAEMPF RESIDENCE
 8238 SE 72ND ST, MERCER ISLAND, WA 98040
 JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
 JURISDICTIONAL #: TBD

REVISIONS

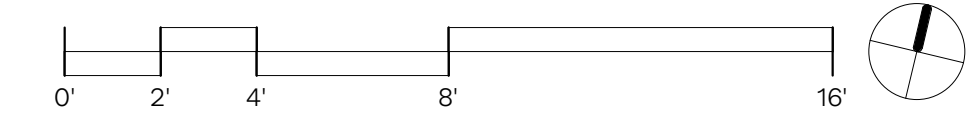
NO.	DATE	DESCRIPTION

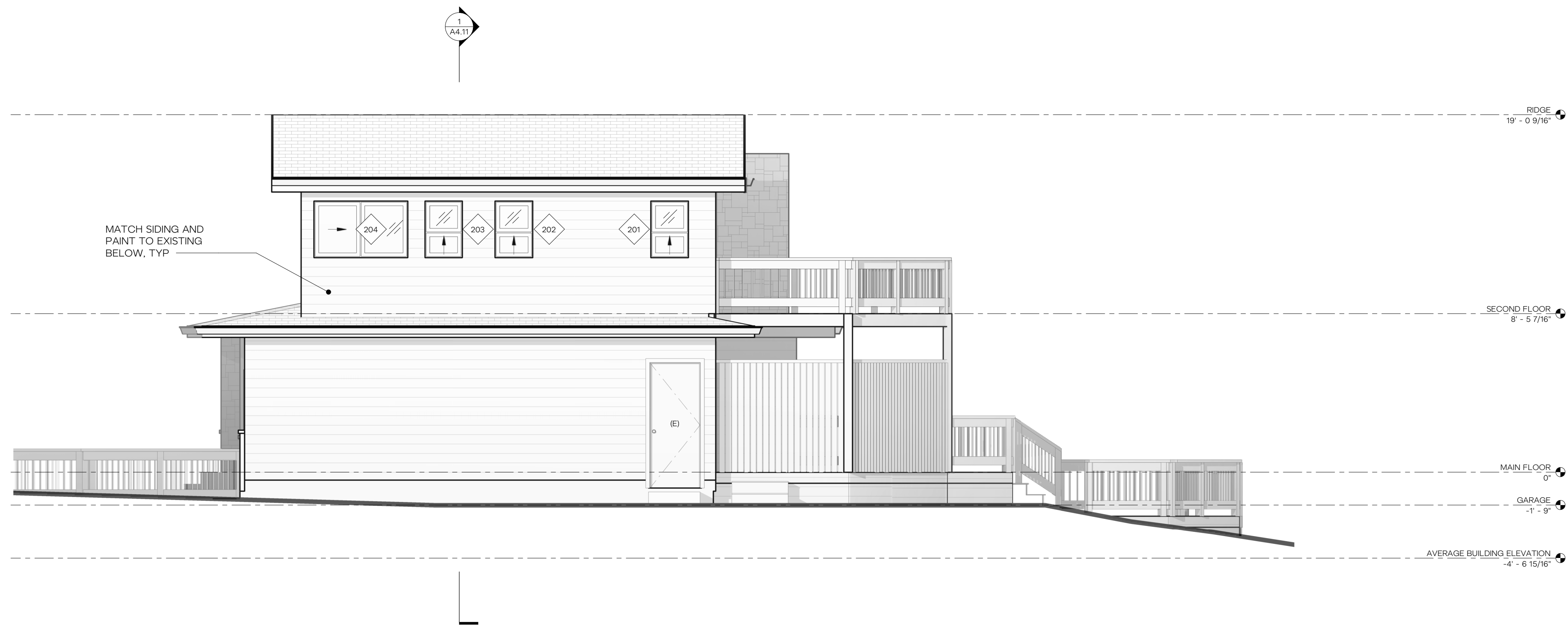
ISSUANCES

09.28.2022	SCHEMATIC PRICING
02.10.2022	PERMIT SUBMITTAL

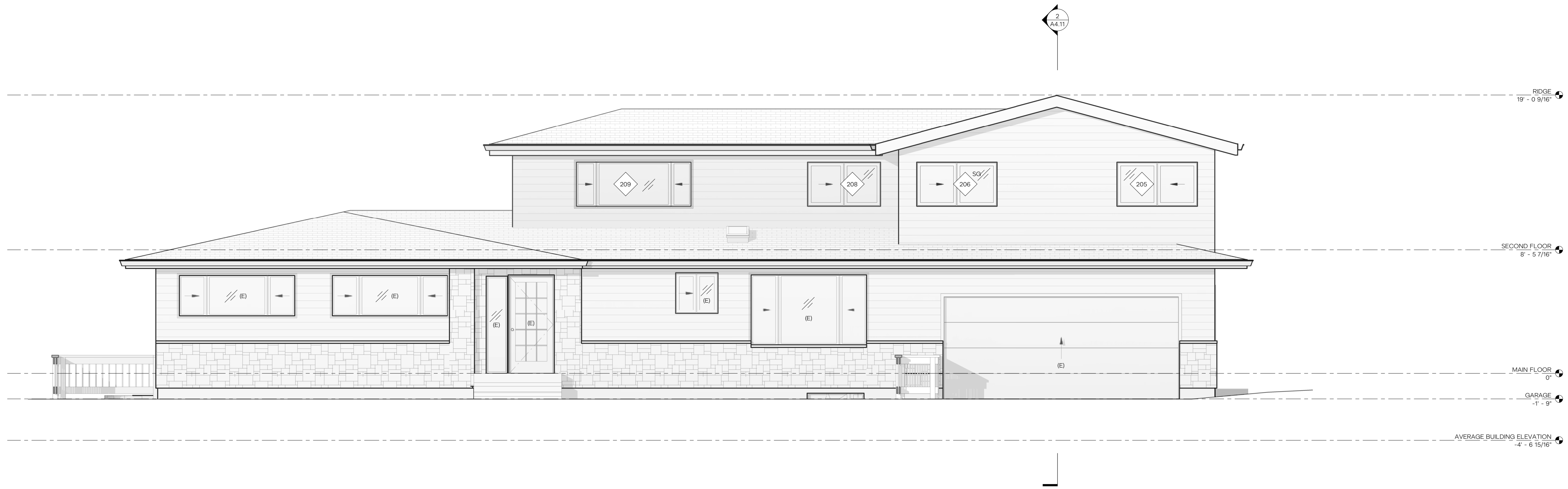
PLOTTED: 2/13/2023 5:13:45 PM

1 ROOF - PROPOSED PLAN
 1/4" = 1'-0"

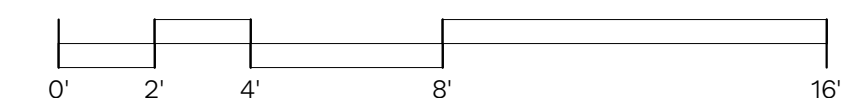




1 EAST ELEVATION - PROPOSED
1/4" = 1'-0"



2 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



HERE
ARCHITECTURE + INTERIORS

9221 11TH AVENUE SW, SEATTLE, WA 98106
HELLO@HEREDESIGN | 425.850.2360

PRELIMINARY
NOT FOR
CONSTRUCTION

KAMPF RESIDENCE

8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

ISSUANCES

09.28.2022 SCHEMATIC PRICING
02.10.2022 PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:14:05 PM

PROPOSED EXTERIOR
ELEVATIONS

A3.11

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

KAMPF RESIDENCE
 8238 SE 72ND ST, MERCER ISLAND, WA 98040
 JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

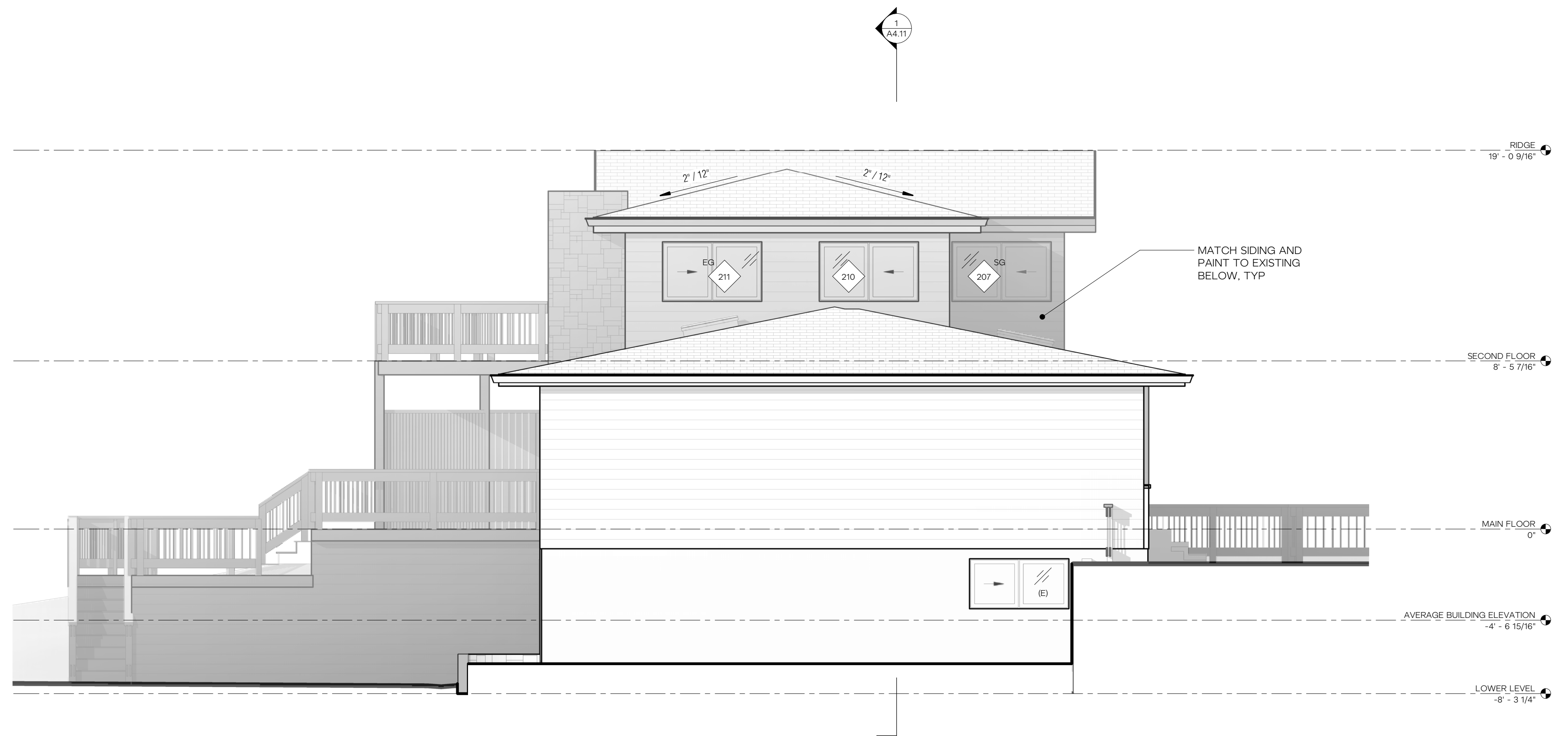
REVISIONS

NO.	DATE	DESCRIPTION

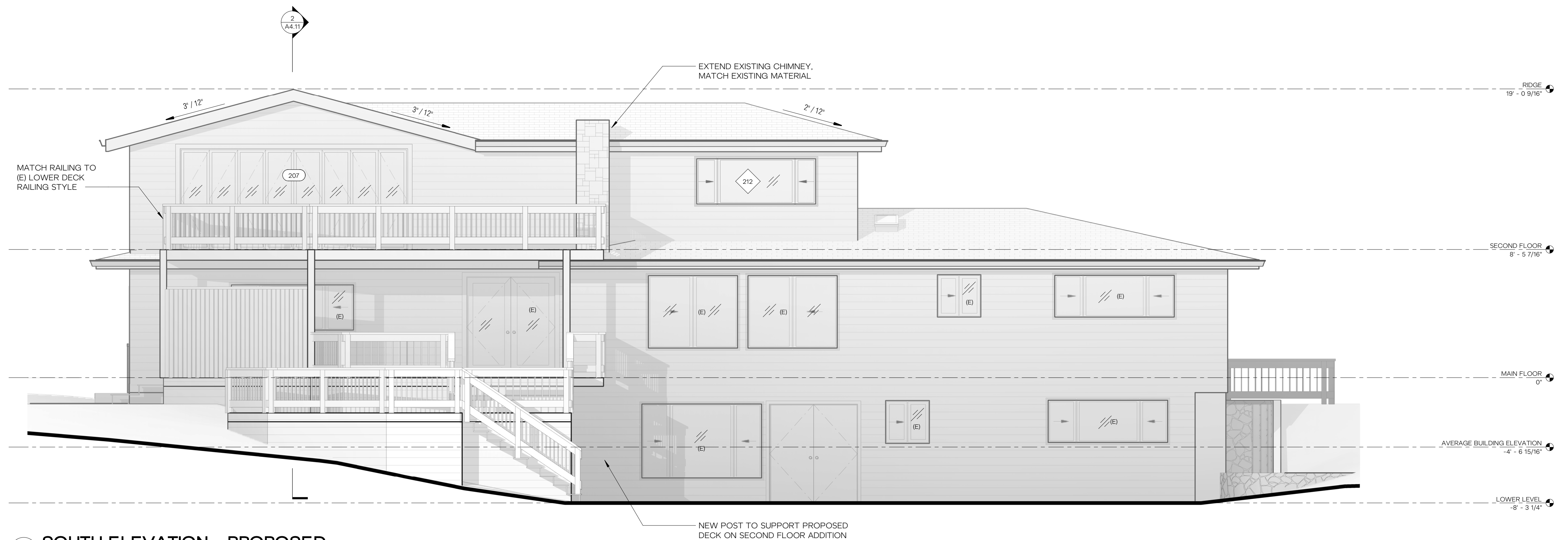
ISSUANCES
 09.28.2022 SCHEMATIC PRICING
 02.10.2022 PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:14:24 PM

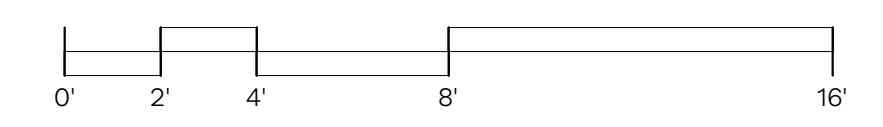
PROPOSED EXTERIOR ELEVATIONS
A3.12



1 WEST ELEVATION - PROPOSED
 1/4" = 1'-0"

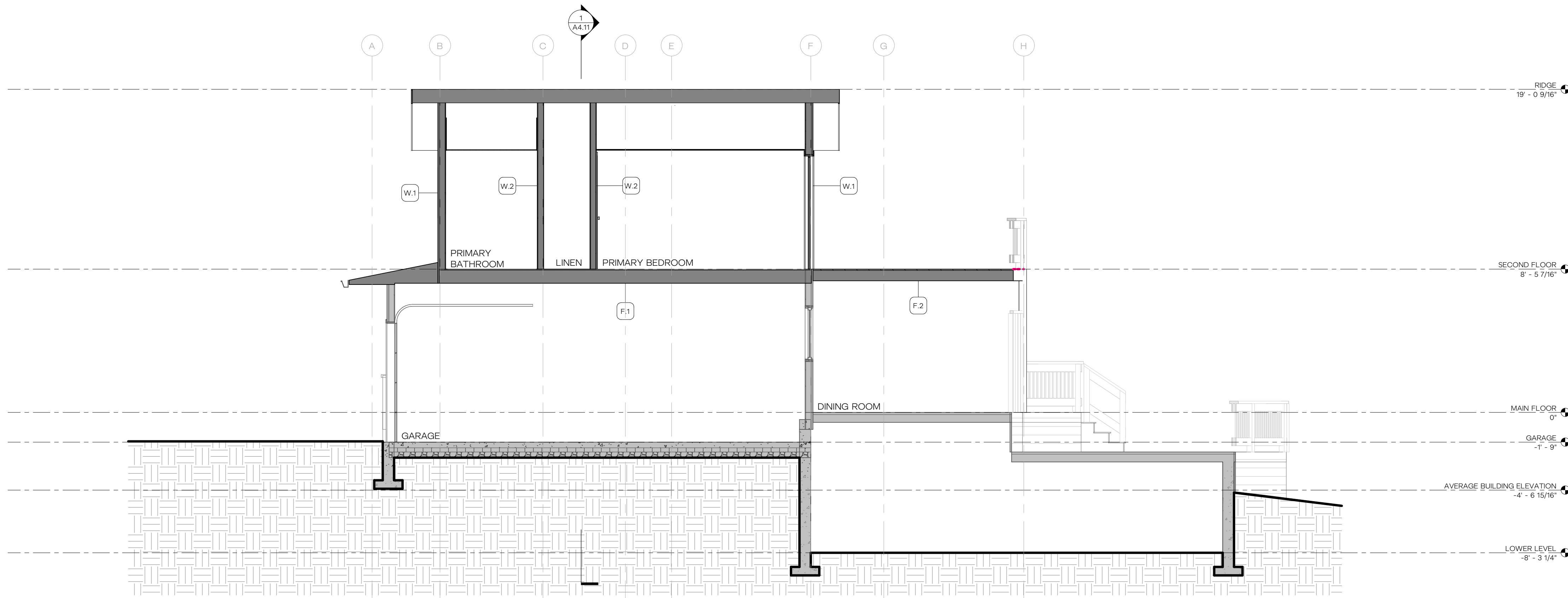


2 SOUTH ELEVATION - PROPOSED
 1/4" = 1'-0"

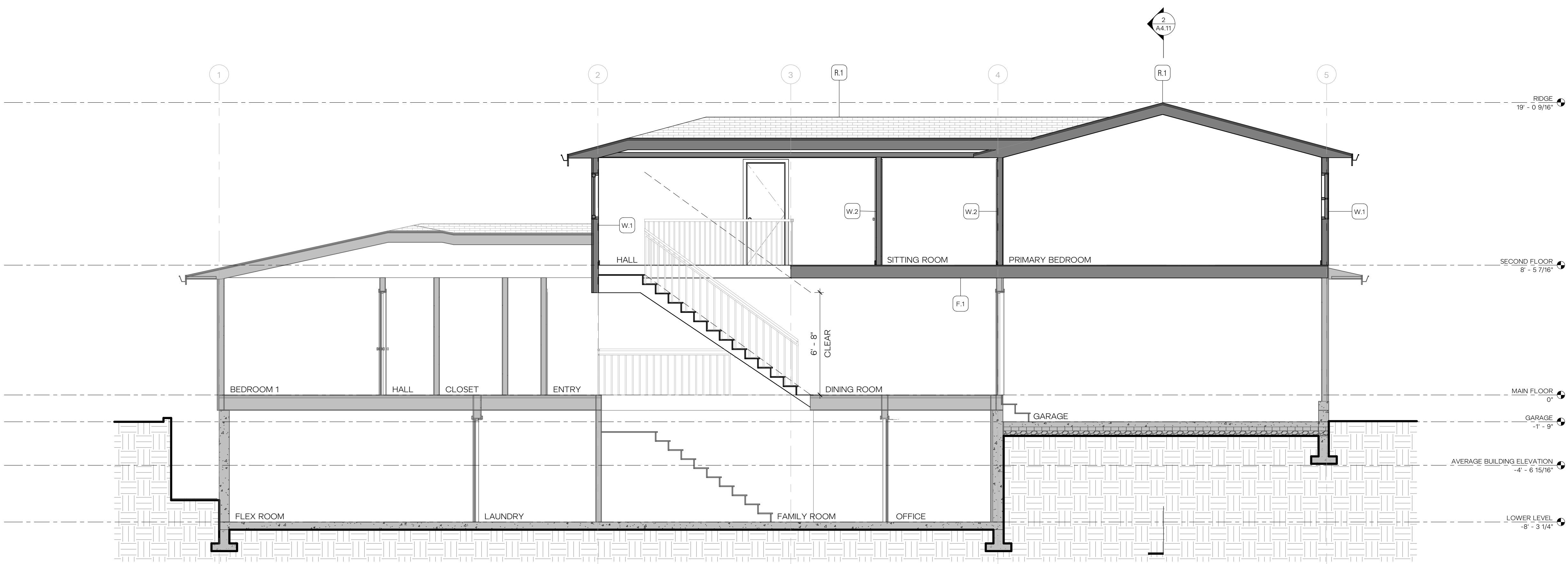


WALL KEY

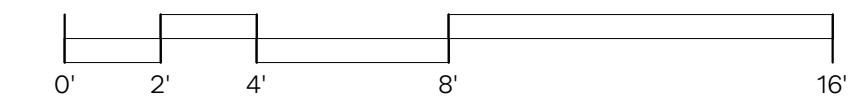
- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL
- ROOF CUT



2 NORTH / SOUTH SECTION - LOOKING WEST
1/4" = 1'-0"



1 EAST / WEST SECTION - LOOKING NORTH
1/4" = 1'-0"



**PRELIMINARY
NOT FOR
CONSTRUCTION**

KAMPF RESIDENCE
8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

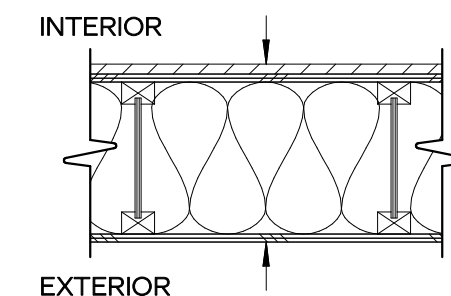
NO.	DATE	DESCRIPTION

ISSUANCES
09.28.2022 SCHEMATIC PRICING
02.10.2022 PERMIT SUBMITTAL

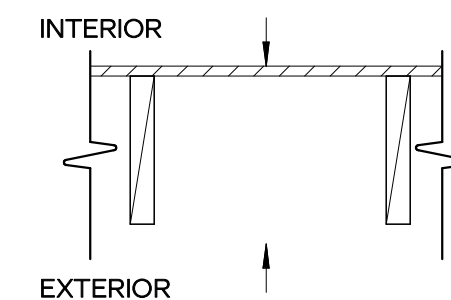
PLOTTED: 2/13/2023 5:14:25 PM

PROPOSED BUILDING SECTIONS
A4.11

FLOOR ASSEMBLIES

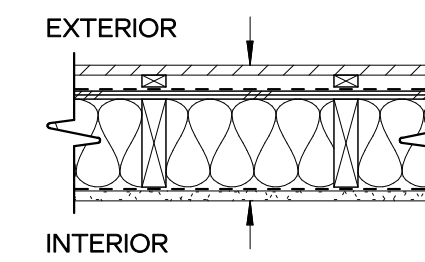


- F.1 - NEW INSULATED FLOOR**
- FINISH PER SPECIFICATION
 - PLYWOOD SUBFLOOR PER STRUCTURAL
 - TJIs AT 16" O.C.
 - R-30 BATT INSULATION
 - PLYWOOD SOFFIT

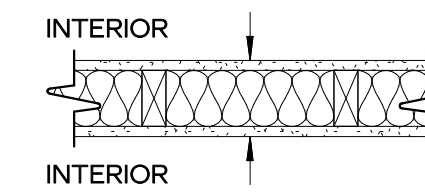


- F.2 - UNINSULATED DECK FLOOR**
- FINISH PER SPECIFICATION
 - 2x10s AT 16" O.C.

WALL ASSEMBLIES

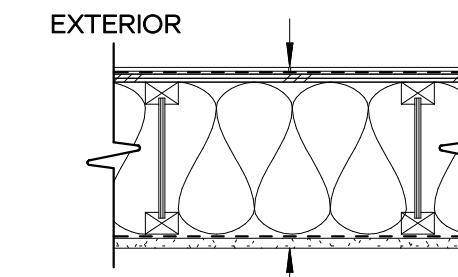


- W.1 - EXTERIOR WALL**
- SIDING PER ELEVATIONS
 - 1X FURRING
 - TYPE III WRB PER SPECIFICATIONS
 - PLYWOOD SHEATHING
 - 2x6 FRAMING
 - R-21 INSULATION PER SPECIFICATIONS
 - AIR & TYPE III VAPOR BARRIER PER SPECIFICATIONS
 - GYPSUM WALL BOARD

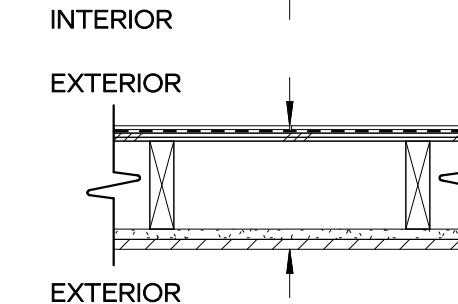


- W.2 - NEW INTERIOR WALL**
- FINISH PER SPECIFICATIONS
 - GYPSUM WALL BOARD
 - 2x4 FRAMING, UNO
 - ACOUSTIC INSULATION PER PLANS
 - GYPSUM WALL BOARD
 - FINISH PER SPECIFICATIONS

ROOF ASSEMBLIES



- R.1 UNVENTED SLOPED ROOF**
- MATCH EXISTING SHINGLES
 - ICE & WATER SHIELD
 - PLYWOOD SHEATHING
 - PREMANUFACTURED TRUSSES
 - INSULATION
 - BARRIER PER SPEC
 - GYPSUM CEILING BOARD



- R.2 UNVENTED SLOPED ROOF EAVE**
- MATCH EXISTING SHINGLES
 - ICE & WATER SHIELD
 - SHEATHING
 - FRAMING PER STRUCTURAL
 - 5/8" DAMP RATED GWB
 - SOFFIT MATERIAL

WINDOW NOTES

- WINDOW HEAD HEIGHTS MEASURED FROM TOP SHEATHING.
- WINDOW SCHEDULE INDICATES WINDOW FRAME SIZES. VERIFY WITH ARCHITECT ALL WINDOW SIZES BEFORE FRAMING OPENINGS.
- PROVIDE WINDOW SUBMITTALS TO ARCHITECT PRIOR TO ORDERING WINDOWS.
- ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS INDICATED OTHERWISE. ADJUST ROUGH OPENING HEIGHTS OR CUT DOWN DOORS AS NECESSARY (CONSULT WITH ARCHITECT AS NECESSARY).
- SEE PROJECT SPECIFICATIONS FOR WINDOW MANUFACTURER AND OTHER INFORMATION.
- CONTRACTOR TO ORDER EGRESS WINDOWS WITH PROPER EGRESS HARDWARE WHERE REQUIRED TO MEET CODE REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL EGRESS WINDOWS ORDERED MEET CURRENT CODE EGRESS REQUIREMENTS.
- SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

DOOR NOTES

- DOOR SCHEDULE INDICATES DOOR PANEL SIZE.
- VERIFY WITH ARCHITECT ALL DOOR SIZES BEFORE FRAMING OPENINGS.
- ALL OPERATIONS NOTED ON FLOOR PLANS AND/OR ELEVATIONS. IF A DOOR KEY IS PROVIDED, IT IS FOR CONVENIENCE AND MAY NOT INDICATE ALL THE NECESSARY OPTIONS OF A DOOR.
- CONTRACTOR TO CONFIRM ACTUAL DOOR SIZES AND ROUGH OPENING SIZES FOR ALL DOORS.
- PROVIDE DOOR SUBMITTALS TO ARCHITECT PRIOR TO ORDERING DOORS.
- ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS NOTED OTHERWISE.
- ALL GLAZING IN NEW DOORS TO BE APPROVED SAFETY-GLAZING. CONTRACTOR IS TO VERIFY THAT ALL DOORS REQUIRING SAFETY GLAZING ARE MANUFACTURED AND INSTALLED WITH THE CORRECT GLAZING.
- SEE PROJECT SPECIFICATIONS FOR DOOR MANUFACTURER AND OTHER INFORMATION.
- ALL EXTERIOR DOORS AND DOORS TO UNHEATED SPACES SHALL BE FULLY WEATHERSTRIPPED.
- SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

WINDOW SCHEDULE

MARK	LOCATION	WIDTH	HEIGHT	GLAZING AREA	Head Height	EXTERIOR	EGRESS	SAFETY GLAZING	U FACTOR	NOTES
201	PRIMARY BEDROOM	2' - 0"	3' - 0"	6 SF	3' - 10 7/8"	●			0.00	
202	PRIMARY BEDROOM	2' - 0"	3' - 0"	6 SF	3' - 10 7/8"	●			0.00	
203	TOILET ROOM	2' - 0"	3' - 0"	6 SF	6' - 0"	●			0.00	
204	PRIMARY BATHROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	●			0.00	
205	PRIMARY BATHROOM	5' - 6"	3' - 0"	17 SF	3' - 10 7/8"	●			0.00	
206	PRIMARY BATHROOM	5' - 6"	3' - 0"	17 SF	3' - 10 7/8"	●		●	0.00	
207	PRIMARY BATHROOM	5' - 0"	3' - 0"	15 SF	3' - 10 7/8"	●		●	0.00	
208	SITTING ROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	●			0.00	
209	HALL	8' - 1 1/2"	3' - 3 1/2"	27 SF	6' - 3 1/2"	●			0.00	
210	HALL	5' - 0"	3' - 0"	15 SF	6' - 0"	●			0.00	
211	BEDROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	●	●		0.00	
212	BEDROOM	8' - 1 1/2"	3' - 3 1/2"	27 SF	6' - 3 1/2"	●			0.00	

A9.0 - DOOR SCHEDULE

MARK	LOCATION	WIDTH	HEIGHT	DOOR		GLAZING AREA	EXTERIOR	U FACTOR	NOTES	Filter
				SIZE	THICKNES S					
201	BEDROOM	6' - 0"	6' - 8"	1 3/8"			●			
202	BEDROOM	2' - 6"	6' - 8"	1 3/8"			●			
203	SITTING ROOM	2' - 10"	6' - 8"	1 3/8"			●			
204	WALK-IN CLOSET	4' - 0"	6' - 8"	1 3/8"			●			
205	PRIMARY BEDROOM	2' - 10"	6' - 8"	1 3/8"			●			
206	PRIMARY BEDROOM	5' - 0"	6' - 8"	1 3/8"			●			
207	PRIMARY BEDROOM	15' - 0"	6' - 8"	1 3/8"	78 SF		●			
208	PRIMARY BEDROOM	3' - 0"	6' - 8"	1 1/2"			●			
209	LAUNDRY	2' - 0"	6' - 8"	1 3/8"			●			
210	PRIMARY BATHROOM	2' - 4"	6' - 3 1/2"	5/8"						
211	TOILET ROOM	3' - 0"	6' - 8"	1 1/2"						

HERE
ARCHITECTURE + INTERIORS

9221 11TH AVENUE SW, SEATTLE, WA 98106
HELLO@HEREDESIGN | 425.850.2360

PRELIMINARY
NOT FOR
CONSTRUCTION

KAMPF RESIDENCE

8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

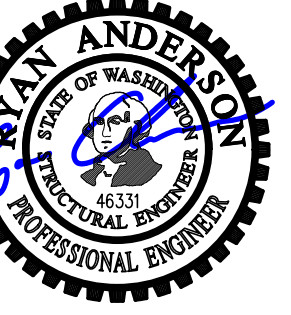
ISSUANCES

09.28.2022 SCHEMATIC PRICING
02.10.2022 PERMIT SUBMITTAL

PLOTTED: 2/13/2023 5:14:25 PM

ASSEMBLIES //
SCHEDULES

A9.11



DESIGN: JDT
DRAWN: JDT
CHECKED: JDT
APPROVED: RJA

1

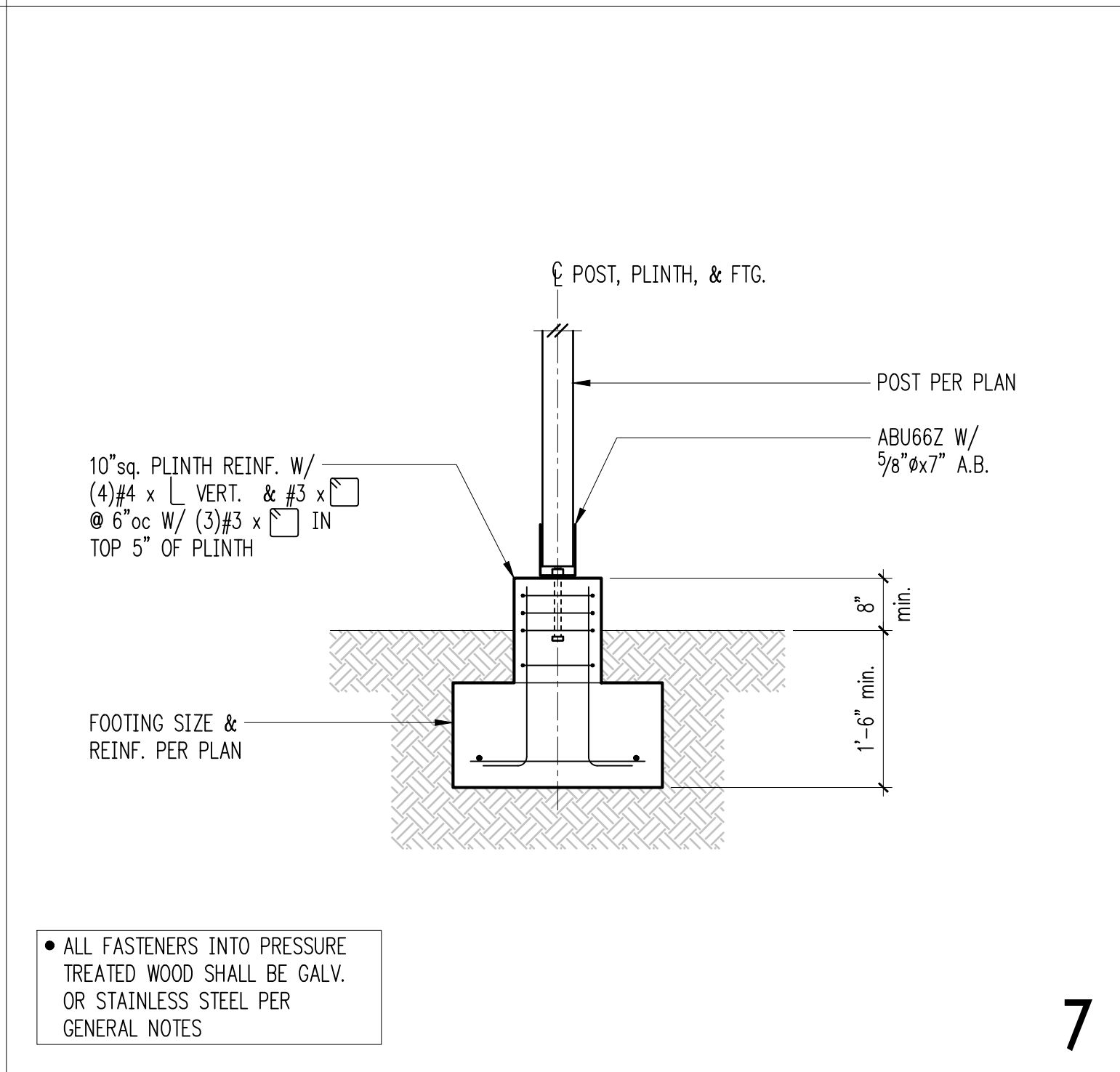
2

3

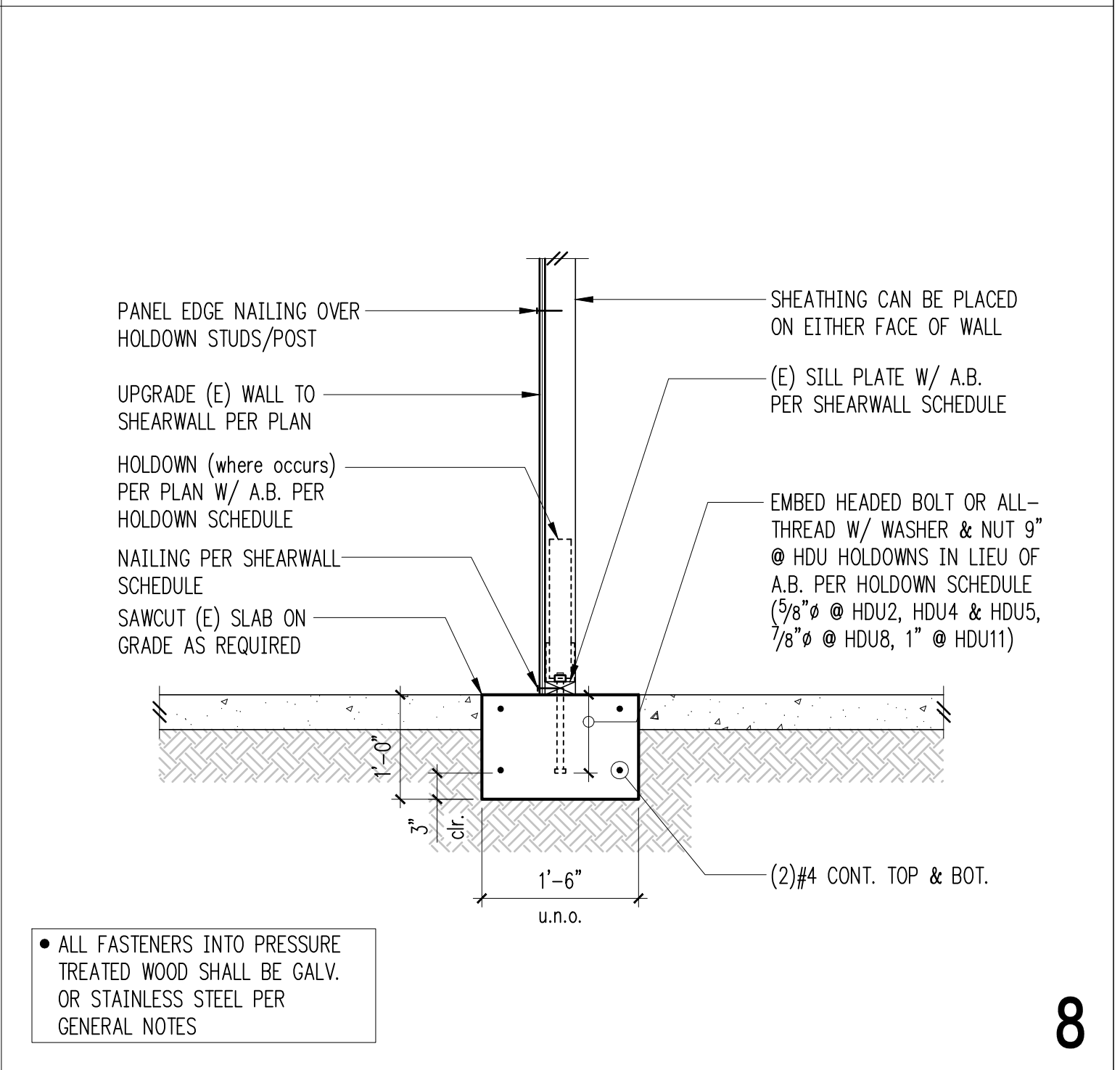
4

5

6

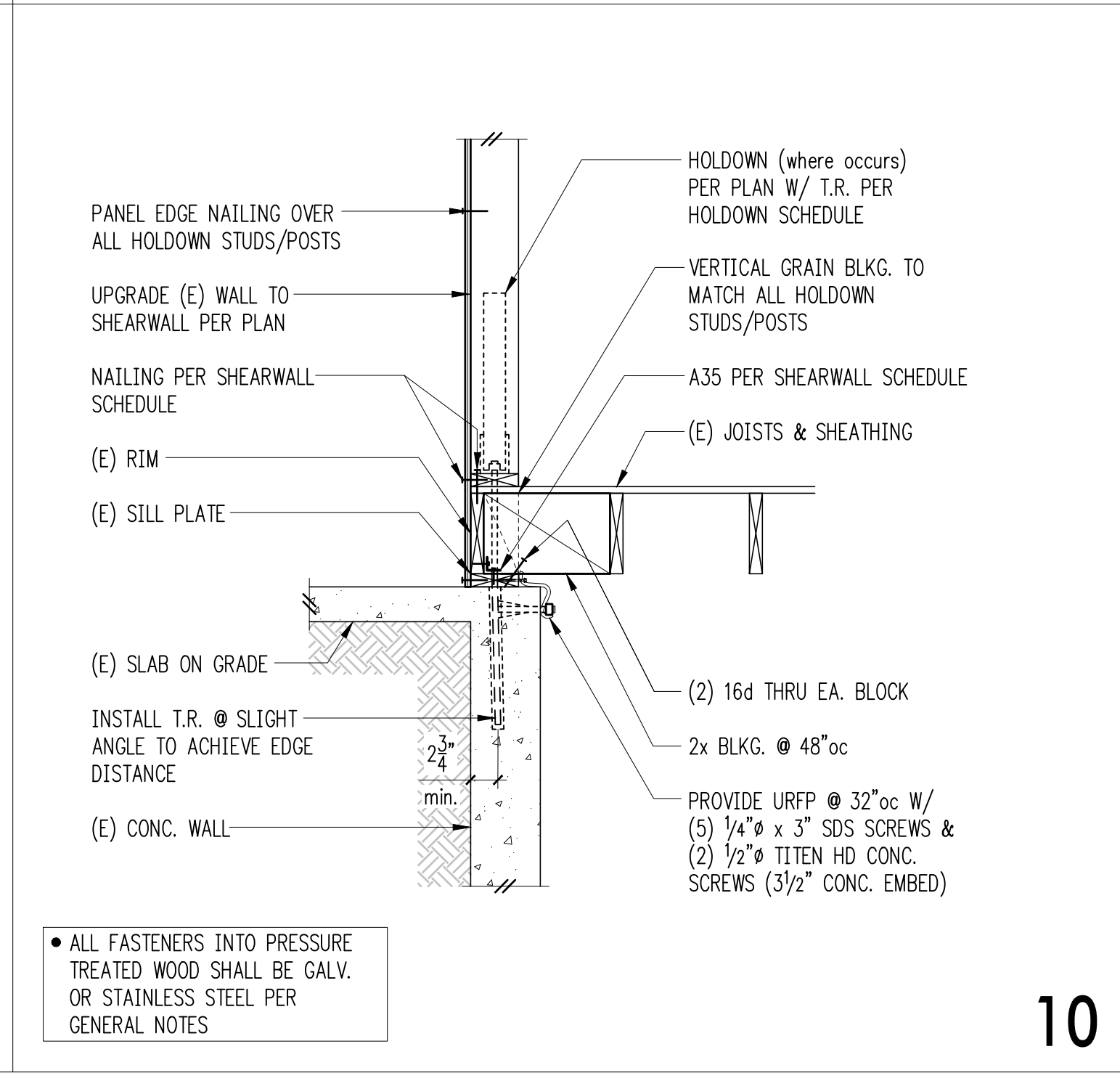


• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES

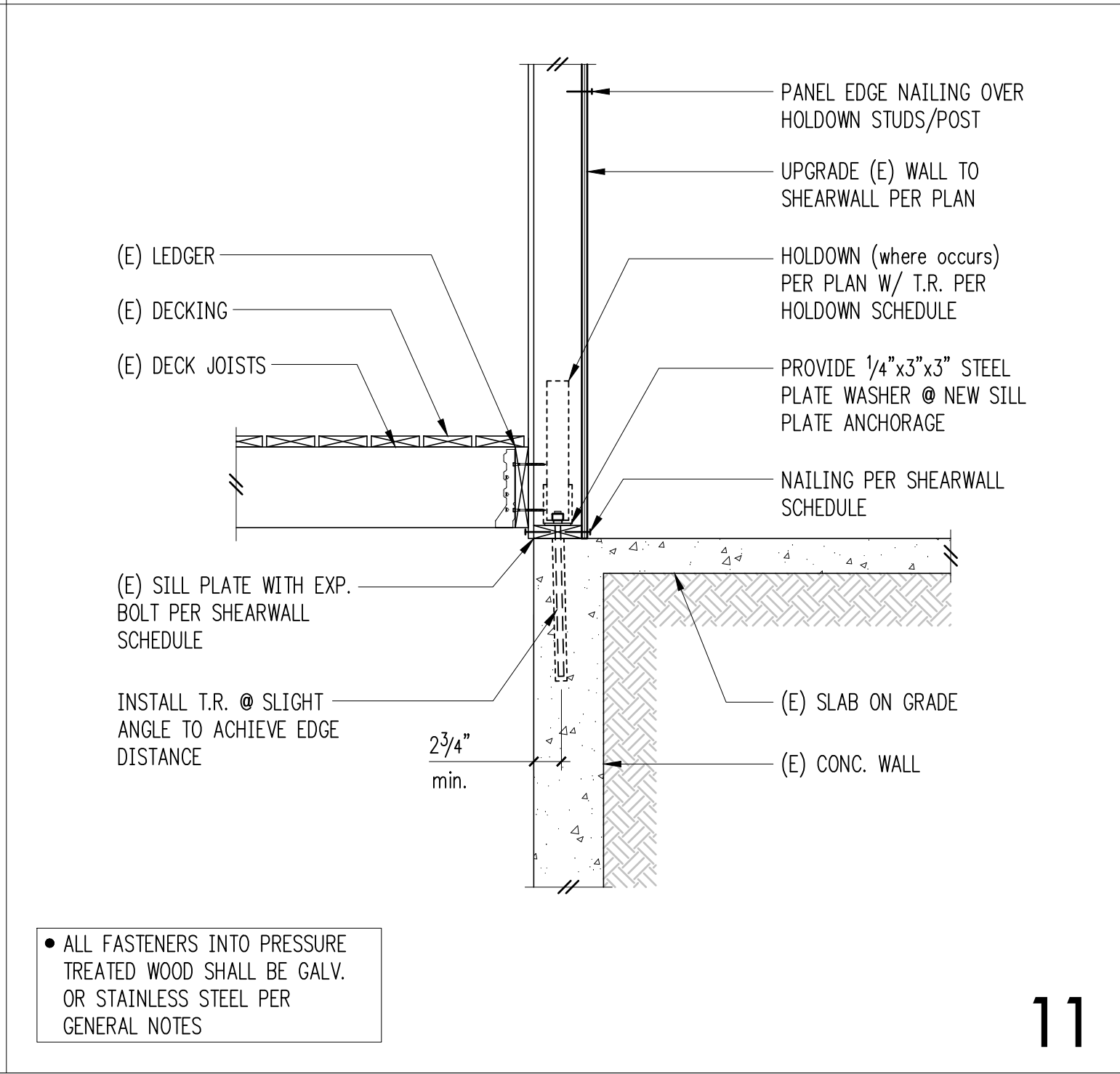


• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES

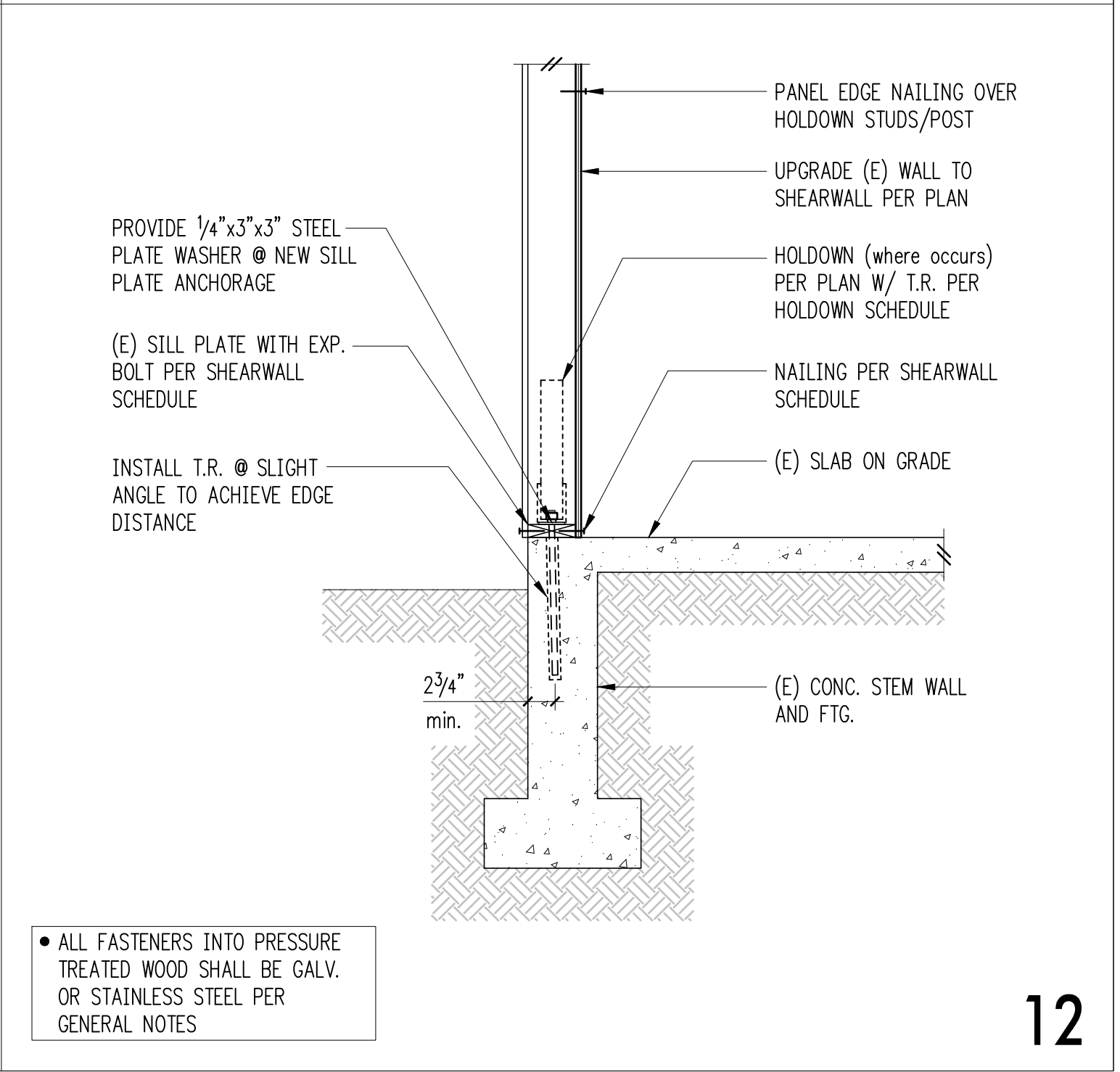
9



• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES

REVISIONS:

DPD:

PROJECT TITLE:
Kaempfer Residence
8238 SE 72nd St
Mercer Island, WA 98040

ARCHITECT:
HERE architecture + interiors
9221 11th Ave SW
Seattle, WA 98106
PH 425.830.2360
www.here.design

ISSUE:
Permit
SHEET TITLE:

Concrete Details

SCALE: 3/4" = 1'-0" U.N.O.
DATE: February 9, 2023
PROJECT NO: 13021-2022-03
SHEET NO:

S3.2

