

KAEMPf RESIDENCE

PERMIT SET - MAY 26, 2023

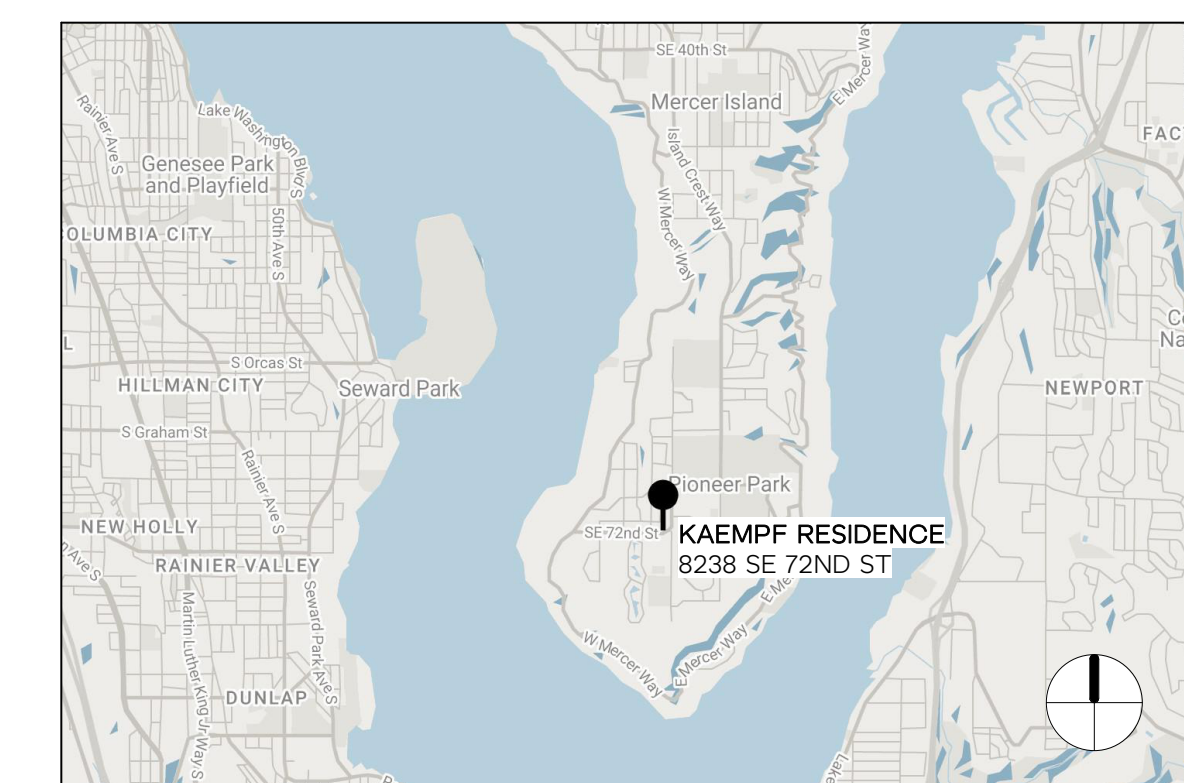


PROJECT INFORMATION

JURISDICTION PROJECT NO: TBD
 PROJECT ADDRESS: 8238 SE 72ND ST, MERCER ISLAND, WA 98040
 ASSESSOR PARCEL NO: 873220-0090
 LEGAL DESCRIPTION: TWIN VIEW ADD BLOCK 1 LOT 9
 PROJECT DESCRIPTION: MINOR FIRST FLOOR INTERIOR RENOVATION AND SECOND FLOOR ADDITION WITH A PROPOSED UPPER DECK.

A REQUIRES NFPA 72 "CHAPTER 29" MONITORED FIRE ALARM SYSTEM PER NFPA AND COMI STANDARDS.

VICINITY MAP



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 ORIGINAL SHEET SIZE IS 22"x34"

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8238 SE 72ND ST, MERCER ISLAND, WA 98040
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HERE PROJECT #: 2022015
 JURISDICTIONAL #: TBD

REVISIONS
 A 2023.05.22 PLAN CHANGE

ISSUANCES
 09.28.2022 SCHEMATIC PRICING
 03.09.2023 PERMIT SUBMITTAL

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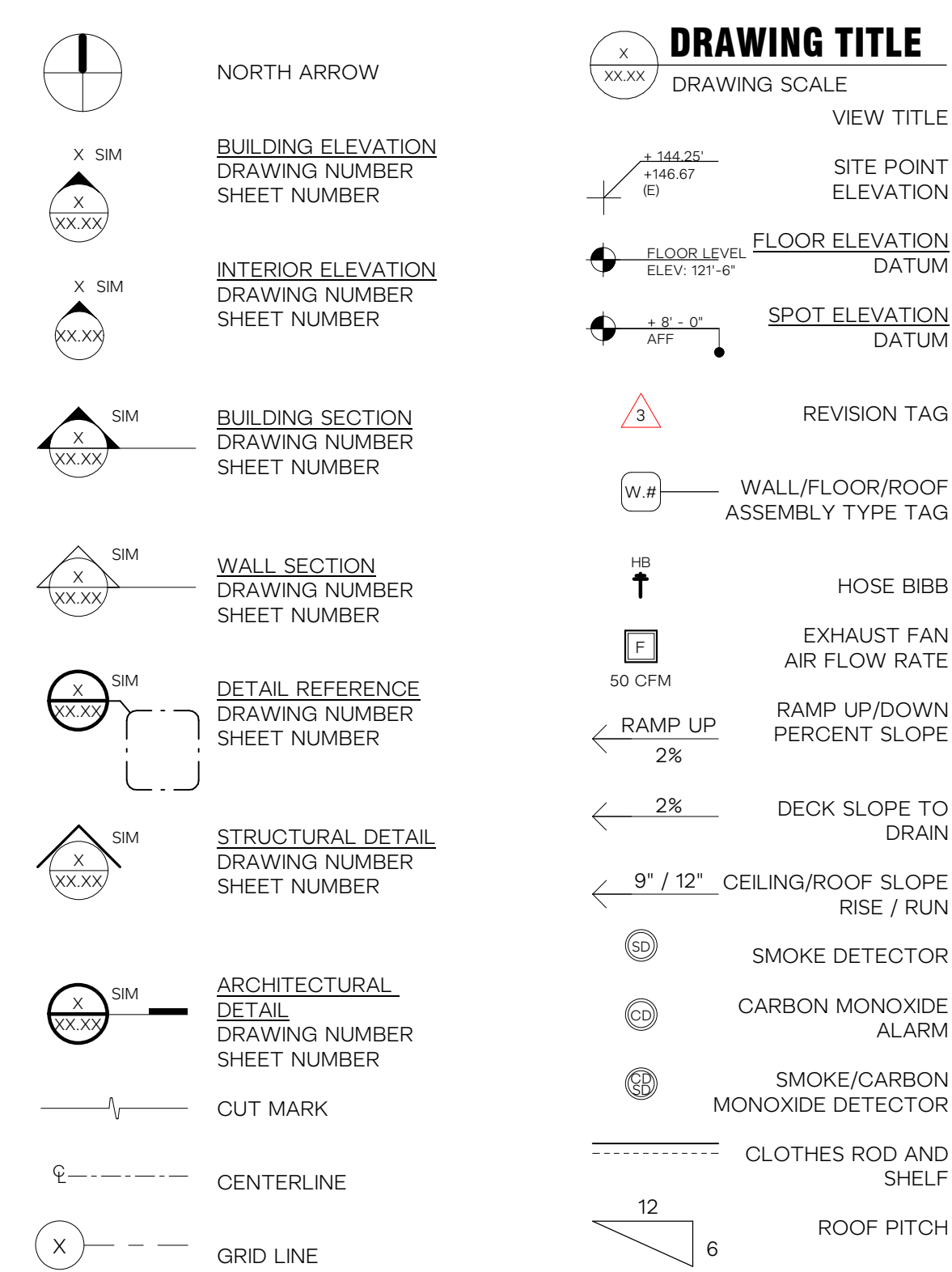
COVER SHEET // GENERAL INFORMATION

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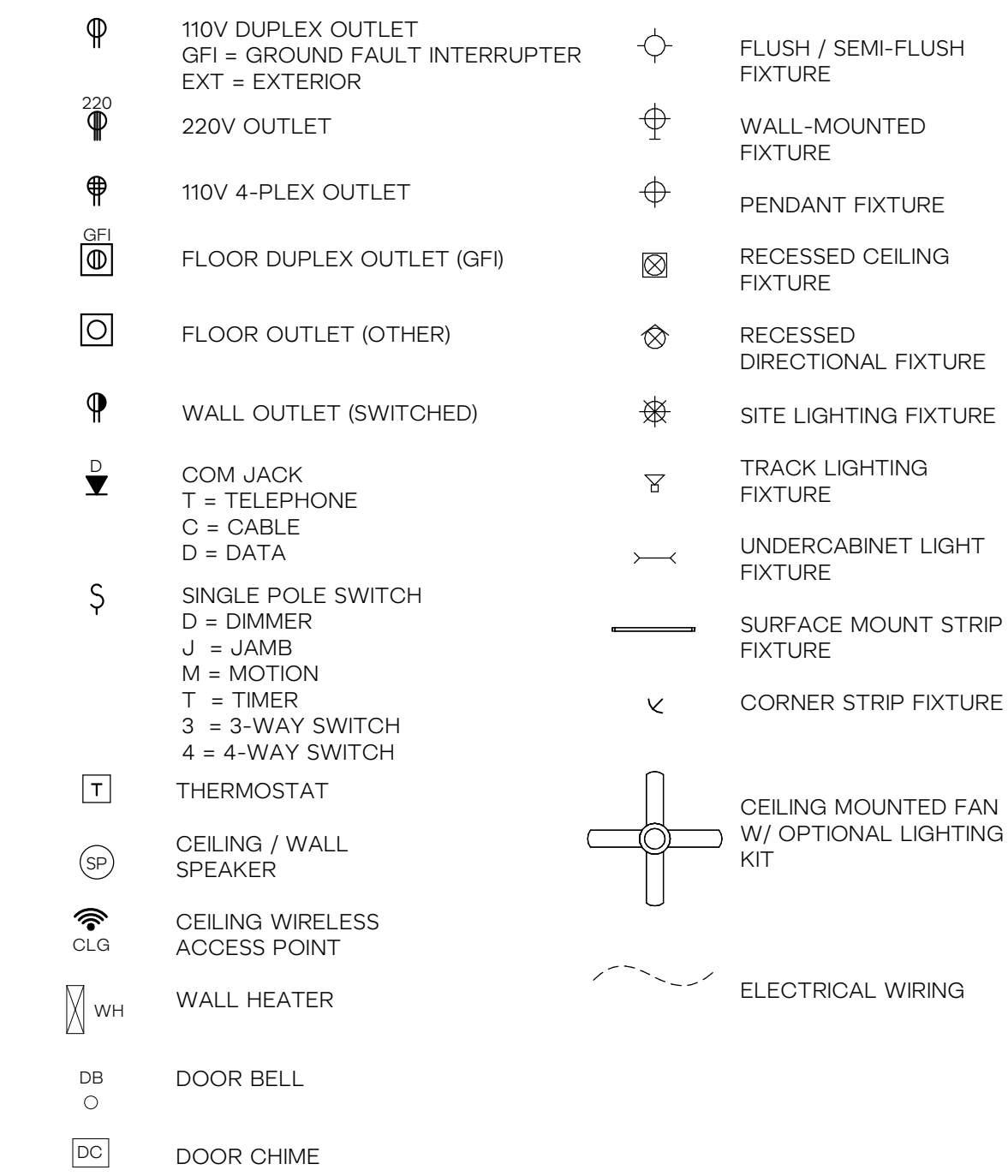
ABBREVIATIONS

Table of abbreviations including AT (Anchor Bolt), LF (Lag Bolt), MECH (Mechanical), etc.

DRAWING SYMBOL KEY



ELECTRICAL SYMBOL KEY



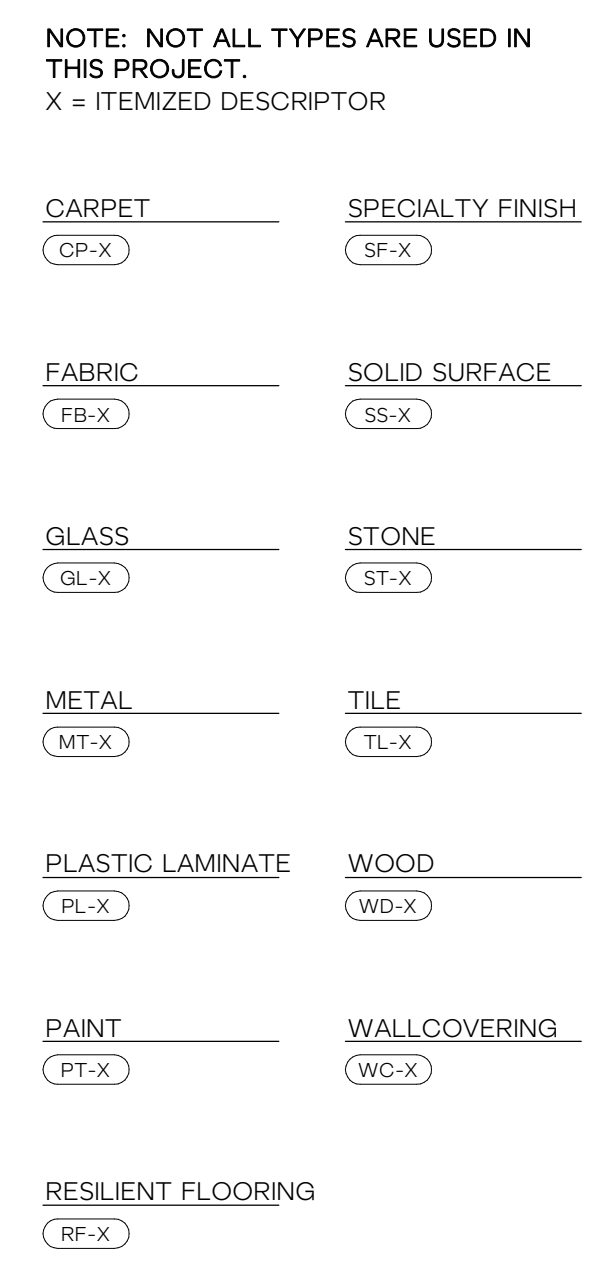
CONTRACT GENERAL NOTES

- 1. GENERAL CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION SITE MEETING WITH OWNER, ARCHITECT AND OTHER DESIGN CONSULTANTS, AS REQUIRED.
2. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADE CONDITIONS AND HEIGHT LIMITS WITH ARCHITECT ON SITE PRIOR TO BEGINNING OF WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN THE SITE SURVEY AND/OR OTHER DRAWINGS.
3. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODES, REGULATIONS, OR RULES OF JURISDICTIONS HAVING AUTHORITY.
4. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, AND SITE CONDITIONS, INCLUDING TAKING AND VERIFYING FIELD MEASUREMENTS AS NECESSARY.
5. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, EXCEPT FOR THE GENERAL BUILDING PERMIT.
6. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.
7. REPETITIVE FEATURES NOT INDICATED IN THE DRAWINGS EVERYWHERE THAT THEY OCCUR SHALL BE PROVIDED AS IF DRAWN IN FULL.
8. SEE SPECIFICATIONS BOOK FOR REQUIRED SHOP DRAWINGS. GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO ARCHITECT, AFTER ARCHITECT'S REVIEW, TO GOVERNING AUTHORITY.
9. THE INTENT OF ARCHITECTURAL DRAWINGS, DETAILS AND SPECIFICATIONS IS TO SHOW DESIGN APPROACH. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND BAILIWORK TO PROPERLY INSTALL AND EXECUTE A STRUCTURALLY SOUND, WATER AND AIR PROOFED, DURABLE PROJECT.
10. COORDINATE ALL EXTERIOR PENETRATIONS WITH ARCHITECT PRIOR TO PERFORMING WORK.
11. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE 2015 SEATTLE RESIDENTIAL CODE, THE WASHINGTON STATE ENERGY CODE, AND OTHER APPLICABLE CODES, RULES, AND REGULATIONS OF JURISDICTIONS HAVING AUTHORITY.
12. EXTERIOR GLAZING TO BE NFRC LABELED PER 2015 WSEC R303.1.3. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH-DIAMETER SPHERE CANNOT PASS.
EXCEPTIONS:
a) WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4-INCH-DIAMETER SPHERE TO PASS THROUGH.
b) OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2090.

CONTRACT DIMENSION NOTES

- 1. DO NOT SCALE THE DRAWINGS. LARGE SCALE DIMENSIONS GOVERN SMALL SCALE DIMENSIONS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS, PRIOR TO PROCEEDING WITH WORK.
2. AT NEW CONSTRUCTION, ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, CENTER LINE OF COLUMNS, AND CENTERLINE OF WINDOWS AND DOORS, UNLESS NOTED OTHERWISE.
3. AT EXISTING CONSTRUCTION, DIMENSIONS ARE TO FINISH FACE OF MATERIALS, UNLESS NOTED OTHERWISE.
4. SITE PLAN DIMENSIONS UNACCOMPANIED BY A LICENSED SURVEY IN THE POSTED DRAWING SET ARE CONSIDERED APPROXIMATE AND FOR REFERENCE ONLY.
5. GRAPHIC SCALES ARE PROVIDED FOR REFERENCE ONLY. WHERE DRAWINGS OF DIFFERENT SCALES ARE PROVIDED ON THE SAME SHEET, GRAPHIC SCALES ARE REMOVED FOR CLARITY.
6. DIMENSIONS WITH ACCOMPANYING TEXT (E.G. CLEAR, HOLD, EQUAL) SHALL BE VERIFIED IN FIELD. ANY CHANGES TO THESE DIMENSIONS REQUIRE APPROVAL BY ARCHITECT.

FINISHES KEY



SCHEDULES KEY



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HERE PROJECT #: 2022015, JURISDICTIONAL #: TBD

Table with 2 columns: REVISIONS, DATE, DESCRIPTION. Includes revisions for Schematic Pricing and Permit Submittal.

ISSUANCES

Table with 2 columns: DATE, DESCRIPTION. Includes issuances for Schematic Pricing and Permit Submittal.

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PROJECT STANDARDS // CONTRACT NOTES

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VENTILATION & EXHAUST NOTES

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE SECTIONS
M1502, M1503, 1505 & M1507
CLOTHES DRYER

- CLOTHES DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS PER SECTION M1502.1
- VENTILATION DUCT FOR THE DRYER SHALL BE A MINIMUM 4" DIAMETER. THE MATERIAL SHALL BE 28 GAGE METAL WITH A SMOOTH INTERIOR FINISH PER SECTION M1502.3
- EXHAUSTS SHALL TERMINATE TO THE EXTERIOR AND CONTAIN A BACKDRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION PER SECTION M1502.3

RANGE HOOD

- RANGE HOODS SHALL TERMINATE TO THE EXTERIOR THROUGH A DUCT. THE DUCT SHALL HAVE A SMOOTH INTERIOR SURFACE, BE AIR TIGHT, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS PER SECTION M1503.1
- VENT SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE 1507.4.
- EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM PER SECTION M1503.4.

MECHANICAL VENTILATION - LOCAL EXHAUST

- SOURCE SPECIFIC EXHAUST VENTILATION SHALL BE REQUIRED IN EACH KITCHEN, BATHROOM, WATER CLOSET, LAUNDRY ROOM, INDOOR SWIMMING POOL, SPA, AND OTHER ROOMS WHERE WATER VAPOR OR COOKING ODOR IS PRODUCED PER SECTION M1507.4.
- KITCHENS SHALL VENT AT 100 CFM MIN INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE M1507.4.
- BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND SIMILAR SPACES SHALL VENT AT 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS PER TABLE M1507.4.
- EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL BE EXHAUSTED DIRECTLY OUTDOORS PER SECTION M1507.2.
- ALL VENTILATION SYSTEM CONTROLS SHALL BE READILY ACCESSIBLE. SOURCE SPECIFIC SYSTEMS SHALL BE CONTROLLED BY MANUAL SWITCHES, DEHUMIDISTATS, TIMERS OR OTHER APPROVED MEANS PER SECTION M1507.4.2.
- EXHAUST DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED TO A MINIMUM OF R-4 PER SECTION M1507.3.6.4.

WHOLE HOUSE VENTILATION

- A WHOLE HOUSE VENTILATION SYSTEM SHALL BE PROVIDED TO MEET THE REQUIREMENTS OF SECTION M1507. SIZE OF SYSTEM DETERMINED PER CALCULATION PROVIDED.
- INTERMITTENTLY OPERATED WHOLE HOUSE VENTILATION SYSTEMS SHALL HAVE THE CAPABILITY FOR CONTINUOUS OPERATION, AND SHALL HAVE A MANUAL TIMER AND AN AUTOMATIC CONTROL, SUCH AS A CLOCK TIMER IF REQUIRED PER SECTION M1507.3.1.5.
- WHOLE HOUSE VENTILATION SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS PER SECTION AND VENT TO THE EXTERIOR PER M1507.3.6.3.
- WHERE LOCAL EXHAUST VENTS ARE USED FOR WHOLE HOUSE VENTILATION, THE MINIMUM EXHAUST RATE FOR THE LOCAL EXHAUST MUST BE MET (M1507.4) PER M1507.4

ENERGY CODE REQUIREMENTS

REFERENCE: 2018 WASHINGTON STATE ENERGY CODE

R401.3 COMPLIANCE CERTIFICATE: A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH SEC 401.3 IS REQUIRED TO BE COMPLETED BY A DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.

TABLE R402.1.1 INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT FOR CLIMATE ZONE MARINE 4

FENESTRATION U-FACTOR	0.30
SKYLIGHT U-FACTOR	0.50
CEILING R-VALUE	R-49*
VULTED CEILING R-VALUE	R-38*
WOOD FRAMED WALL R-VALUE	R-21 INT
BELOW-GRADE WALL R-VALUE	**10/15/21 + TB
FLOOR R-VALUE	R-30
SLAB ON GRADE R-VALUE & DEPTH	***R-10, 2 FT

INT - (INTERMEDIATE FRAMING) DENOTES STANDARD FRAMING 16 INCHES ON CENTER WITH HEADERS INSULATED WITH A MINIMUM OF R-10 INSULATION.

** "10/15/21 + TB" MEANS R-10 CONTINUOUS INSULATION ON THE EXTERIOR OF THE WALL, OR R-15 CONTINUOUS INSULATION ON THE INTERIOR OF THE WALL, OR R-21 CAVITY INSULATION PLUS A THERMAL BREAK BETWEEN THE SLAB AND THE BASEMENT WALL AT THE INTERIOR OF THE BASEMENT WALL. "10/15/21 +TB" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE WALL. "TB" MEANS THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL.

*** R-10 CONTINUOUS INSULATION IS REQUIRED UNDER HEATED SLAB (I.E. RADIANT FLOOR HEATED) ON GRADE FLOORS.

* IF ADVANCED FRAMING ALLOWS FULL DEPTH ACROSS ENTIRE SURFACE R-38 IS ACCEPTABLE. INSTALL R-49 IF INSULATION IS REDUCED AROUND CEILING PERIMETER

RS02.1 GENERAL

ADDITIONS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL CONFORM TO THE PROVISIONS OF THIS CODE AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTION OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE. ADDITIONS SHALL NOT CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD EXISTING BUILDING SYSTEMS. AN ADDITION SHALL BE DEEMED TO COMPLY WITH THIS CODE WHERE THE ADDITION ALONE COMPLIES, WHERE THE EXISTING BUILDING AND ADDITION COMPLY WITH THIS CODE AS A SINGLE BUILDING, OR WHERE THE BUILDING WITH THE ADDITION USES NO MORE ENERGY THAN THE EXISTING BUILDING.

ADDITIONS SHALL BE IN ACCORDANCE WITH SECTION R502.1.1 OR R502.1.2

ENERGY CREDITS SELECTED FOR 846 SF ADDITION:

HEATING	2	HEAT PUMP	1.0	CREDITS
BUILDING ENVELOPE	1.2	EFFICIENT ENVELOPE	1.0	CREDITS
HIGH EFFICIENCY HVAC	3.6	DUCTLESS SPLIT SYSTEM HEAT PUMP	2.0	CREDITS
TOTAL CREDITS				4.0 CREDITS

BUILDING AREA CALCULATIONS

	EXISTING TO REMAIN	NEW	EXISTING + NEW
CONDITIONED SPACE (INTERIOR)			
BASEMENT	1,500 SF	0 SF	1,500
FIRST FLOOR	2,043 SF	0 SF	2,043
SECOND FLOOR	0 SF	894 SF	894
TOTALS	3,543 SF	894	4,437

MECHANICAL VENTILATION CALCULATIONS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE M1505
2018 WASHINGTON STATE ENERGY CODE (RESIDENTIAL) R403

DWELLING UNIT FLOOR AREA (ALTERED)	TOTAL SF	REQUIRED AIRFLOW
SECOND FLOOR	846 SF	846 SF
NUMBER OF BEDROOMS	1	
		30 CFM

INTERMITTENT VENTILATION ADJUSTMENT FACTOR PER M1505.4.3(3)
RATE: 100% **x1 = 30 CFM**
SYSTEM COEFFICIENT (NOT BALANCED + NOT DISTRIBUTED) **x1.5 = 45 CFM**

TOTAL REQUIRED CONTINUOUS VENTILATION 45 CFM
CONTINUOUS VENTILATION PROVIDED BY PANASONIC WHISPERGREEN SELECT 110 CFM 0.8 SONE CEILING MOUNTED ENERGY STAR RATED BATHROOM FAN.

BUILDING CODE SUMMARY

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE

R302.6 DWELLING / GARAGE SEPARATION

THE GARAGE SHALL BE SEPARATED AS FOLLOWS:

- MINIMUM 1/2" GYPSUM WALL BOARD APPLIED TO GARAGE SIDE AT WALLS (1 HOUR RATING).
- MINIMUM 5/8" TYPE X GYPSUM WALL BOARD APPLIED TO THE CEILING OF GARAGE.
- MINIMUM 1/2" GYPSUM WALL BOARD AT STRUCTURES SUPPORTING THE GARAGE CEILING.
- MINIMUM 1 3/8" SOLID CORE DOOR, OR 20-MIN FIRE RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE.

R304 AND R305 ROOM DIMENSION REQUIREMENTS

- HABITABLE SPACE SHALL HAVE A MINIMUM CEILING HEIGHT OF 7'-0" (6'-4" PERMITTED IN CITY OF SEATTLE PER DIRECTOR RULE 23-2008 IF THE EXISTING STRUCTURE WAS CONSTRUCTED PRIOR TO OCTOBER 17, 1979, BUT ALL BEAMS, DUCTS, ETC MUST BE ABOVE THIS HEIGHT).
- BEAMS, GIRDERS AND DUCTS MAY HAVE A CLEAR HEIGHT OF 6'-4".
- BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOM SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8".
- A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD MUST HAVE AN AREA OF 30" X 30" WITH 6'-8" CEILING HEIGHT AT THE SHOWERHEAD.
- FOR ROOMS WITH SLOPED CEILINGS, THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 5'-0" AND NOT LESS THAN 50% OF THE REQUIRED FLOOR AREA SHALL HAVE A CEILING HEIGHT LESS THAN 7'-0".
- HABITABLE ROOMS (SLEEPING ROOMS) SHALL HAVE A FLOOR AREA NOT LESS THAN 70 SQUARE FEET.
- HABITABLE ROOMS (SLEEPING ROOMS) SHALL NOT BE LESS THAN 7'-0" IN ANY HORIZONTAL DIMENSION.

R308 GLAZING

ALL GLAZING IN HAZARDOUS LOCATIONS SHALL RECEIVE SAFETY GLASS. THE SAFETY GLASS DESIGNATION SHALL BE VISIBLY MARKED ON EACH WINDOW AS REQUIRED BY CODE. THE FOLLOWING AREAS ARE HAZARDOUS LOCATIONS AND SHALL RECEIVE SAFETY GLASS:

- GLAZING IN DOORS
- GLAZING WITHIN 24" ARC OF EITHER VERTICAL EDGE OF DOOR IN A CLOSED POSITION AND WHERE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE FINISH FLOOR.
- GLAZING IN WINDOWS THAT MEETS ALL OF THE FOLLOWING:
 - A. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET
 - B. BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE FINISH FLOOR
 - C. THE TOP EDGE OF GLAZING IS MORE THAN 36" ABOVE FINISH FLOOR
 - D. ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING.
- GLAZING AT WET SPACES WHERE THE BOTTOM OF EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" (EXCEPTION: FOR GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB).
- GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAY.

R310 EMERGENCY ESCAPE AND RESCUE OPENINGS

- BASEMENTS, HABITABLE ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING
- THE OPENING SHALL HAVE MAX CLEAR OPENING SILL HEIGHT OF 44" ABOVE FINISH FLOOR, AND IT SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD THAT OPENS TO PUBLIC WAY.
- THE OPENING SHALL HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET, WITH MINIMUM NET CLEAR HEIGHT OF 24" AND MINIMUM NET CLEAR WIDTH OF 20".
- THE OPENING SHALL BE OPERATIONAL FROM INSIDE THE ROOM WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE.
- WINDOW WELLS, IF REQUIRED, SHALL HAVE A MINIMUM AREA OF 9 SQUARE FEET, WITH MINIMUM PROJECTION AND WIDTH OF 36". THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.
- IF WINDOW WELL HAS A VERTICAL DEPTH GREATER THAN 44" (FROM GRADE) A LADDER OR STEPS SHALL BE AFFIXED TO THE WINDOW WELL AND ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED. LADDERS OR RUNGS SHALL HAVE A INSIDE WIDTH OF NOT LESS THAN 12" AND SHALL NOT PROJECT LESS THAN 3" MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.
- WINDOW WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE

R312 WINDOW FALL PROTECTION

- WHEN THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE FINISH GRADE BELOW (EXTERIOR SIDE), THE LOWEST PART OF CLEAR OPENING SHALL BE MINIMUM 24" ABOVE FINISH FLOOR. IF CLEAR OPENING IS LESS THAN 24" ABOVE FINISH FLOOR, MAX WINDOW OPENING SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE.

R314 SMOKE DETECTORS /315 CARBON MONOXIDE ALARM

- PROVIDE A SMOKE DETECTOR AND CARBON MONOXIDE IN THE FOLLOWING LOCATIONS:
 - SD: IN EACH SLEEPING ROOM.
 - SD: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - CD: MINIMUM ONE AT EACH STORY OF THE DWELLING INCLUDING BASEMENT.

R807.1 ATTIC ACCESS

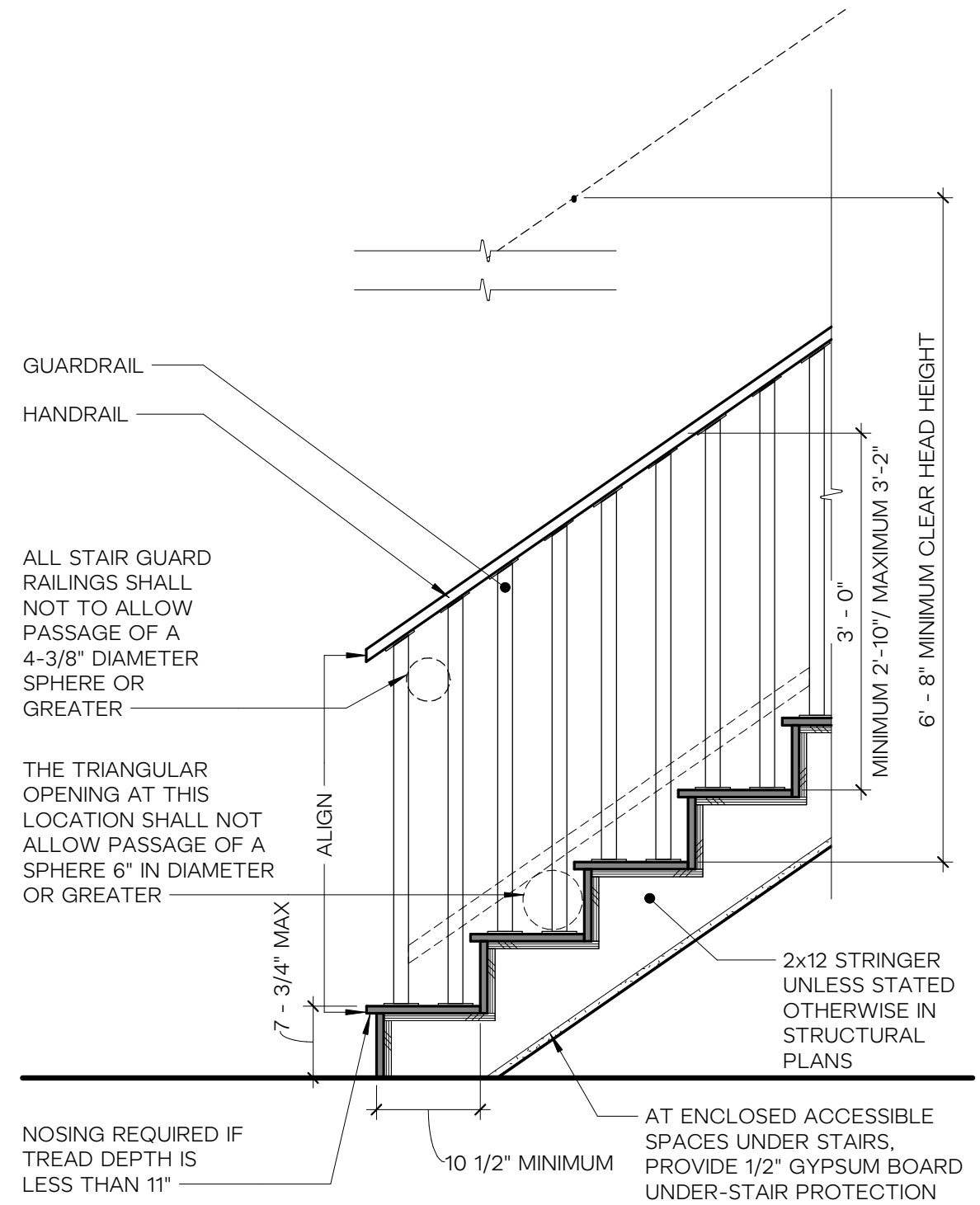
- IN BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION, AN ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER.
- THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A 30-INCH MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING.

NOTES

- ALL CODE SUMMARIES ABOVE ARE FOR REFERENCE ONLY PLEASE REFER TO THE JURISDICTION'S BUILDING DEPARTMENT AND CODES FOR FURTHER DETAILS

STAIR CODE REQUIREMENTS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE

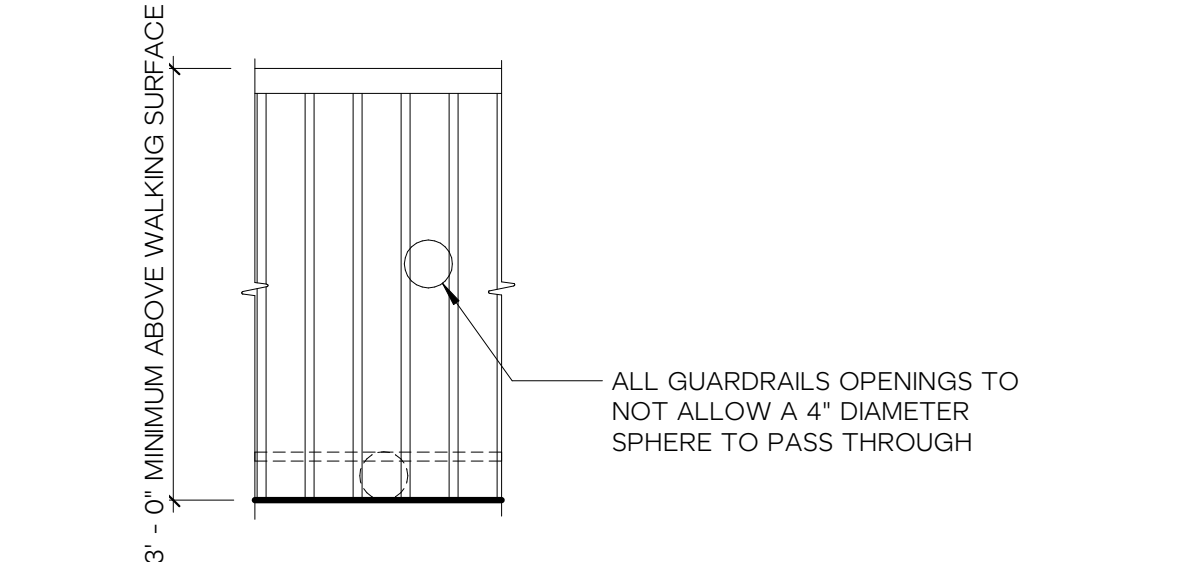


R311.7 STAIRWAYS

- STAIRS**
 - RISER HEIGHT SHALL BE A MAXIMUM OF 7 3/4" PER R311.7.5.1
 - TREAD DEPTH SHALL BE A MINIMUM OF 10" PER R311.7.5.2
 - A NOSING IS NOT REQUIRED WHERE TREAD DEPTH IS MINIMUM 11" PER R311.7.5.3 EXCEPTION
 - TREAD WIDTH SHALL BE MINIMUM OF 3'-0" PER R311.7.1
 - FOR WINDING STAIRS PROVIDE A MINIMUM 10" TREAD AT 12" FROM THE NARROWEST POINT AND A MINIMUM 6" TREAD AT THE NARROWEST POINT PER R311.7.5.2.1
 - CLEAR HEAD HEIGHT TO BE A MINIMUM OF 6'-8" MEASURED VERTICAL FROM THE TREAD NOSING PER R311.7.2
 - OPEN RISERS TO NOT ALLOW A 4" DIAMETER SPHERE OR GREATER TO PASS PER R311.7.5.1
 - A FLIGHT OF STAIR SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12'-3" PER R311.7.3.
 - LANDING WIDTH SHALL BE NO LESS THAN THE WIDTH OF STAIRWAY, AND MINIMUM 36" DEPTH PER R311.7.6.
- HANDRAILS**
 - HANDRAIL HEIGHT, MEASURED VERTICALLY, SHALL BE BETWEEN 34" AND 38" PER R311.7.8.1
 - HANDRAILS SHALL BE CONTINUOUS FOR FULL FLIGHT PER R311.7.8.2
 - HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS PER R311.7.8.2
 - HANDRAIL TO BE A MINIMUM OF 1 1/2" IN DIAMETER PER R311.7.8.2.
- GUARDS**
 - GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS PER R312.1.2.1
 - GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4-3/8 INCHES IN DIAMETER. PER R312.1.3.2
 - THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR FORMED BY THE RISER, TREAD, AND BOTTOM RAIL GUARD SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER PER R312.1.1.1

GUARDS CODE REQUIREMENTS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE



R312 GUARDS

- GUARDS ARE REQUIRED AT OPEN-SIDED WALKING SURFACES LOCATED MORE THAN 30" ABOVE ADJACENT WALKING SURFACE OR GRADE PER R312.1.2
- GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE PER R312.1.2
- GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES PER R312.1.3
- GUARDRAIL TO BE DESIGNED TO RESIST A 200 LB CONCENTRATED LOAD ON THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS PER R301.5.

NOTE: GUARD EXCEPTIONS FOR STAIRS NOTED ON STAIR CODE REQUIREMENTS

HERE

ARCHITECTURE + INTERIORS

1505 BROADWAY, SEATTLE, WA 98102
HELLO@HEREDESIGN | 206.420.8310



KAMPF RESIDENCE

8238 SE 72ND ST, MERGER ISLAND, WA 98040
JESSICA + JOEY KAMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

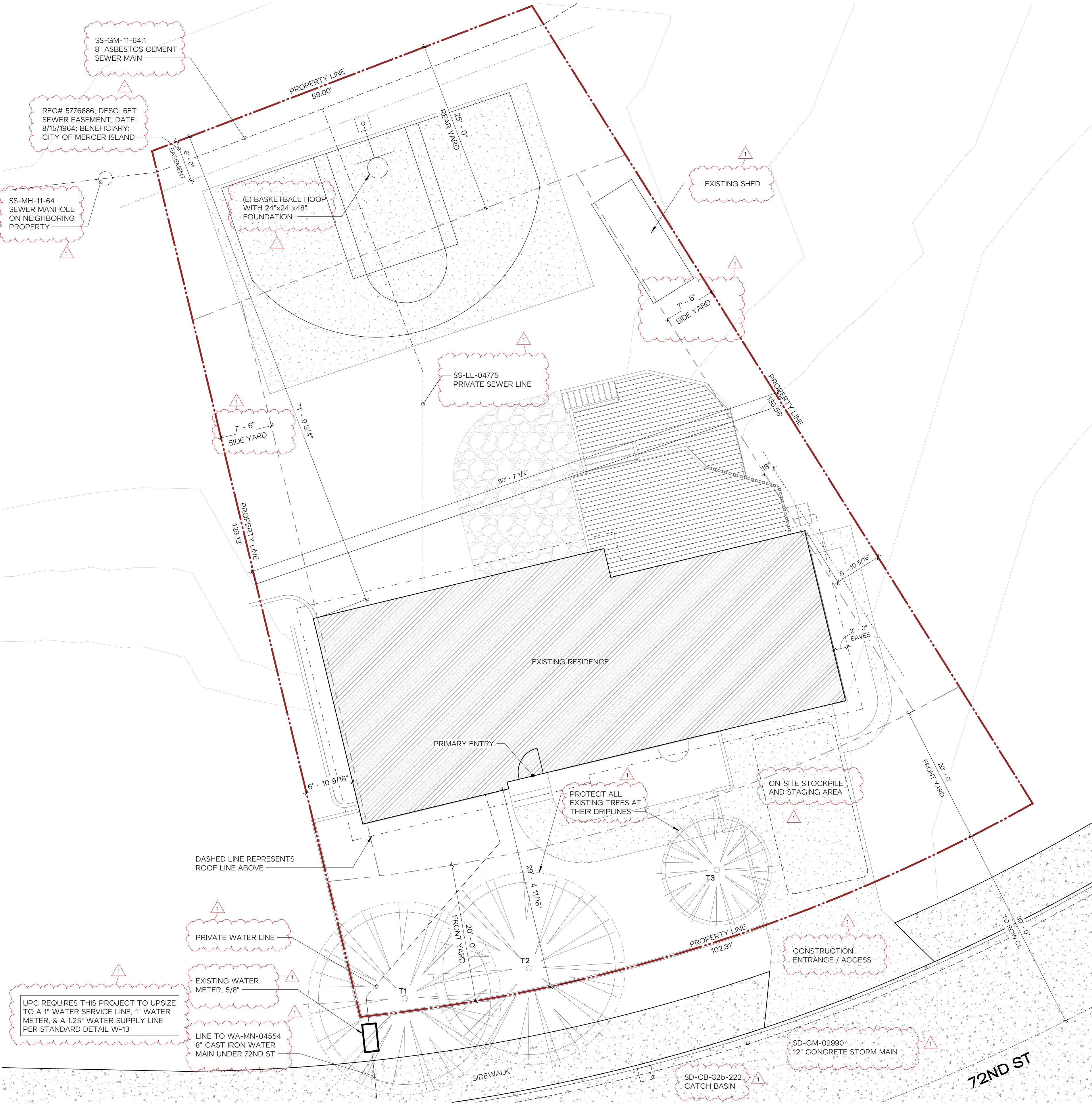
REVISIONS
1 05.22.2023 REVIEW RESPONSES

ISSUANCES
09.28.2022 SCHEMATIC PRICING
03.09.2023 PERMIT SUBMITTAL

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BUILDING // ENERGY
CODE SUMMARY

G1.01



SITE PLAN NOTES

1. INSTALLATION OF EROSION CONTROL MEASURES IS REQUIRED PRIOR TO ANY GROUND DISTURBANCE.
2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A "FIRST GROUND DISTURBANCE INSPECTION" AFTER THE BUILDING PERMIT IS ISSUED TO MEET WITH THE SITE INSPECTOR.

LAND USE / ZONING CODE SUMMARY

ZONE:	R-9.6
LOT SIZE:	10,893 SF
FRONT SETBACK:	20'-0"
MIN. REQ'D:	29'-4 11/16" NO CHANGE
PROPOSED:	
REAR SETBACK:	25'-0"
MIN. REQ'D:	71'-9 3/4" NO CHANGE
PROPOSED:	
EAST SIDE SETBACK:	7'-6"
MIN. REQ'D:	6'-10 5/8" NO CHANGE
PROPOSED:	
WEST SIDE SETBACK:	7'-6"
MIN. REQ'D:	6'-10 9/16" NO CHANGE
PROPOSED:	
MAXIMUM GROSS FLOOR AREA:	40%
ALLOWED:	4,357 SF
EXISTING:	2,793 SF
AVAILABLE:	1,564 SF
PROPOSED:	894 SF

SITE PLAN KEY

- EXISTING PERIMETER WALL
- CONCRETE WALKWAY
- ROOF ABOVE
- PROPERTY LINE
- LINE OF SETBACK

HERE
ARCHITECTURE + INTERIORS

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**PRELIMINARY
NOT FOR
CONSTRUCTION**

KAMPF RESIDENCE

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HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

1	05.22.2023	REVIEW RESPONSES
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ISSUANCES

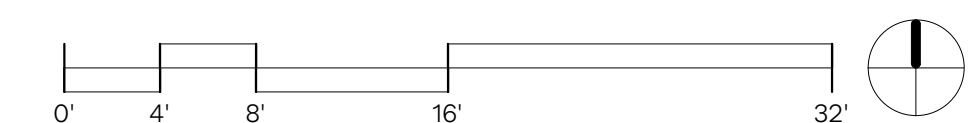
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03.09.2023	PERMIT SUBMITTAL

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SITE PLAN // LAND USE CODE SUMMARY

A1.11

1 ARCHITECTURAL SITE PLAN - PROPOSED
1/8" = 1'-0"



LOT COVERAGE CALCULATION

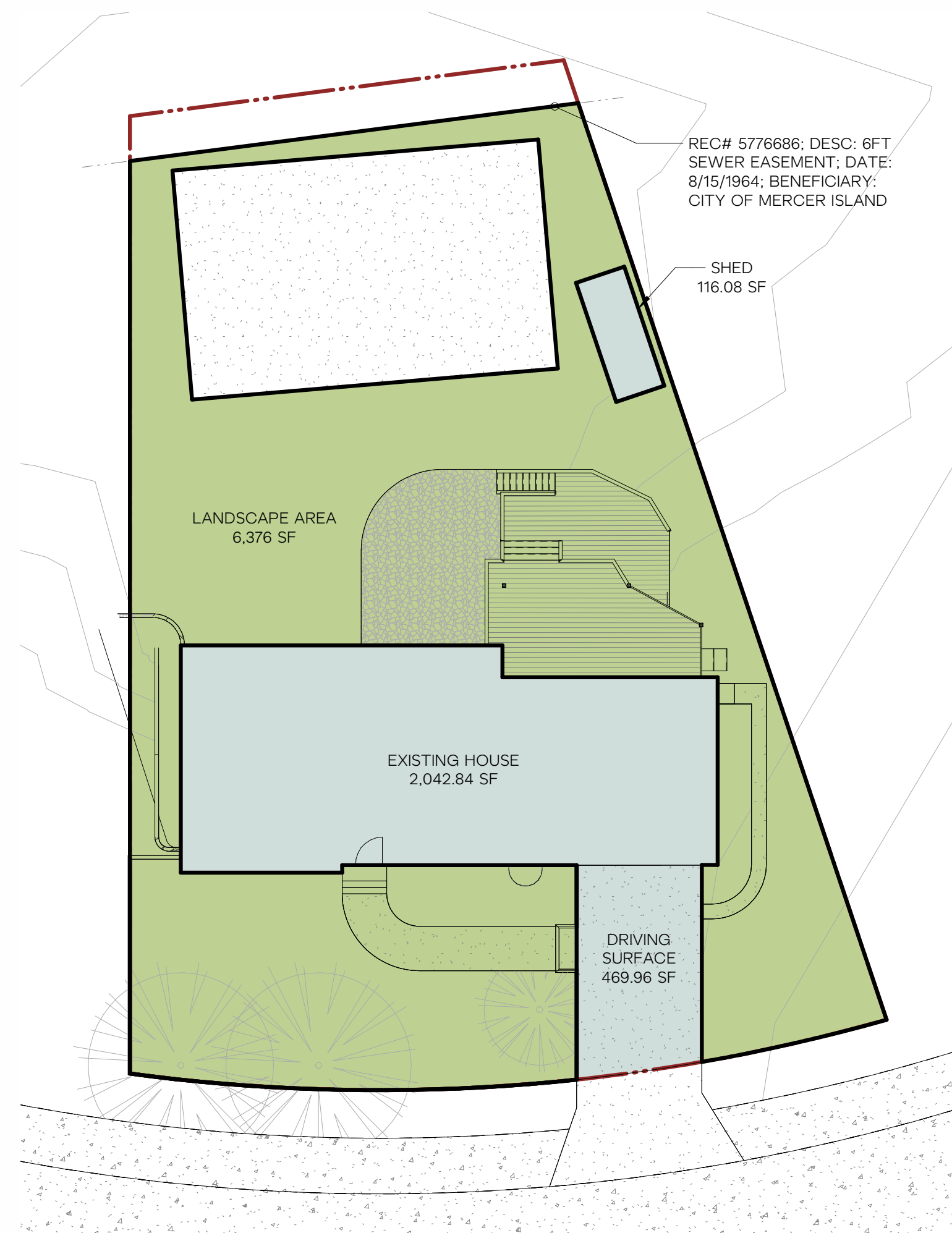
NET LOT AREA	=	10,540 SF
40% OF LOT AREA (MAX BUILDING COVERAGE)	=	4,216 SF
AS PER MICC 19.02.020.F.3 FOR LOTS WITH A SLOPE OF LESS THAN 15%		
EXISTING LOT COVERAGE	=	2,630 SF
ADDED LOT COVERAGE	=	0 SF
TOTAL LOT COVERAGE	=	2,630 SF
		NO CHANGE
*UNUSED LOT COVERAGE	=	1,586 SF

- EXISTING LOT COVERAGE
- PROPOSED LOT COVERAGE

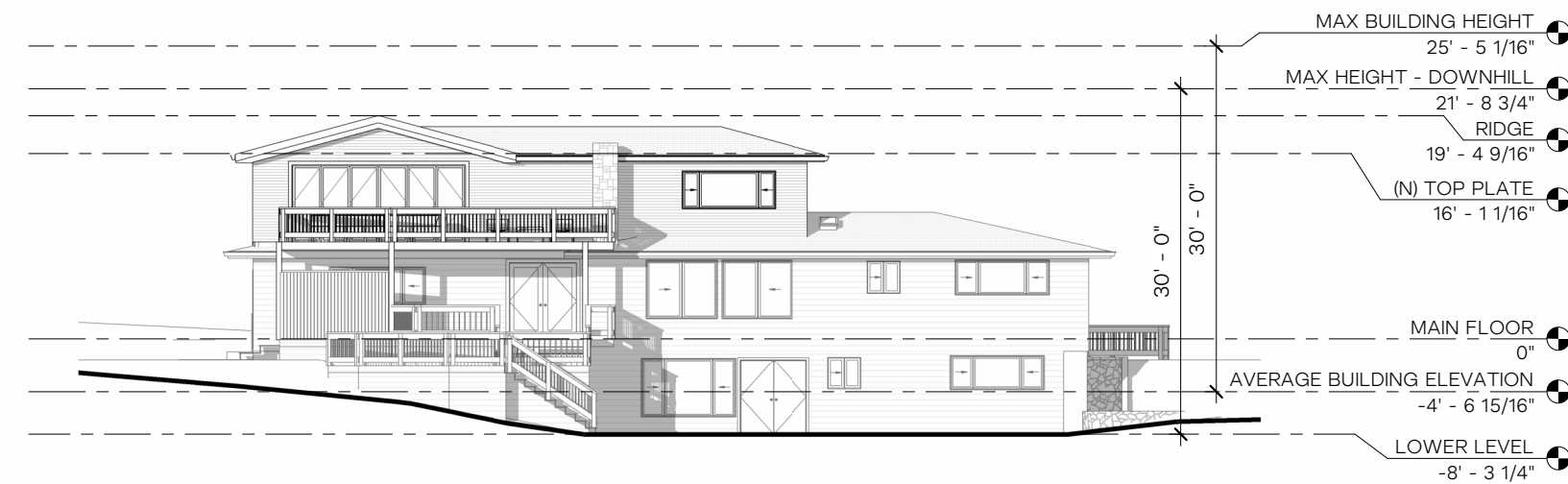
LANDSCAPING AREA CALCULATION

NET LOT AREA	=	10,540 SF
60% OF LOT AREA (MINIMUM LANDSCAPE COVERAGE)	=	6,324 SF
EXISTING LANDSCAPING AREA	=	6,376 SF
ADDED LANDSCAPING AREA	=	0 SF
TOTAL LANDSCAPING SQUARE FOOTAGE	=	6,376 SF
		NO CHANGE

- EXISTING LANDSCAPING SURFACE
- ADDED LANDSCAPING SURFACE



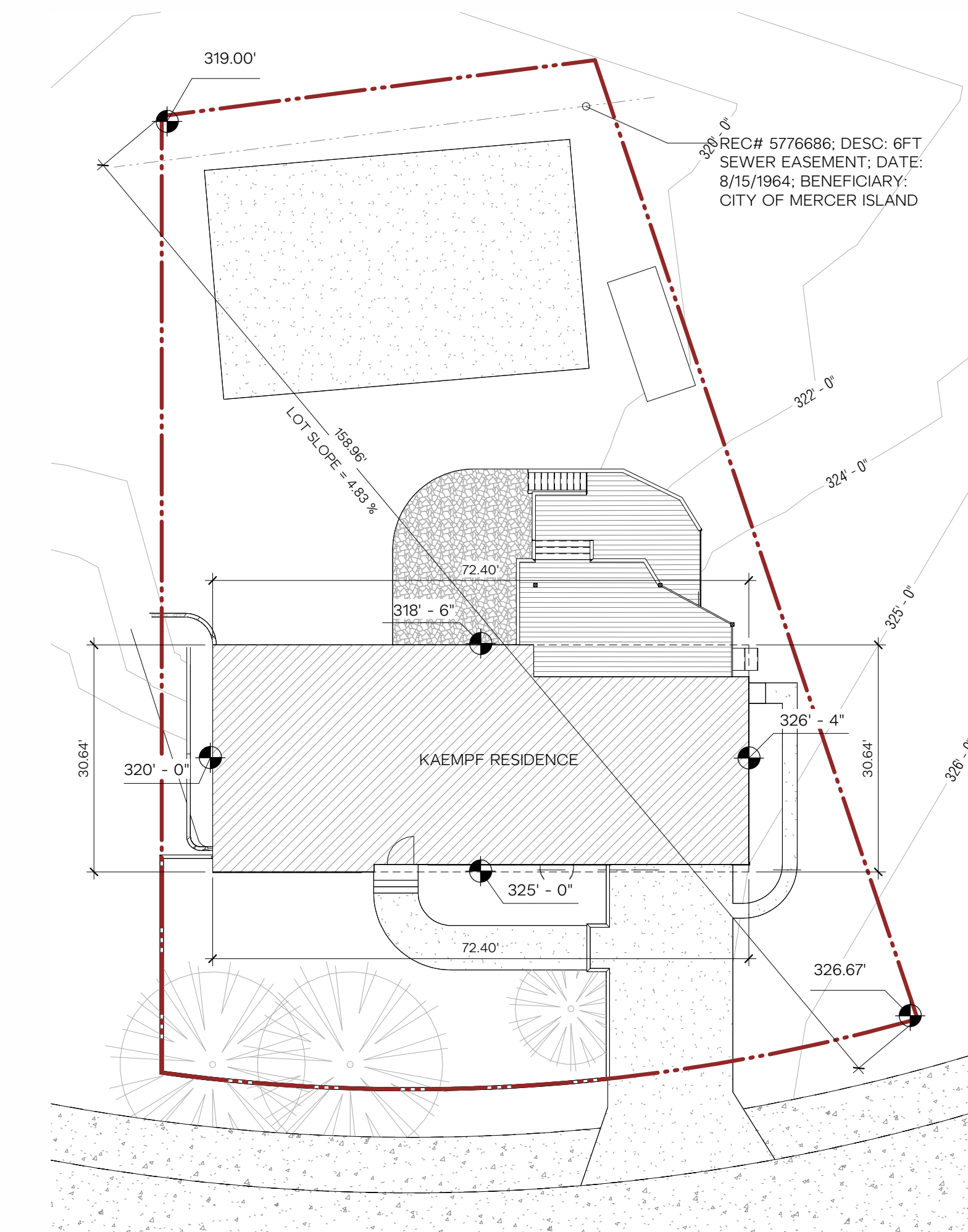
5 LOT COVERAGE CALCULATIONS
1/16" = 1'-0"



4 SOUTH ELEVATION - MAX BUILDING HEIGHT
1/16" = 1'-0"



3 NORTH ELEVATION - MAX BUILDING HEIGHT
1/16" = 1'-0"



2 AVERAGE GRADE DIAGRAM // LOT SLOPE
1/16" = 1'-0"

AVERAGE BUILDING ELEVATION

MICC 19.02.020.E.4: AT THE MIDPOINT OF EACH SIDE OF THE SMALLEST RECTANGLE THAT CAN BE DRAWN TO ENCLOSE THE STRUCTURE.
PROJECT ELEVATION 0'-0" = SURVEY ELEVATION 326.66'

RECTANGLE SIDE	LENGTH	MIDPOINT ELEVATION	TOTAL
NORTH	72.40'	X 318.50'	= 23,059.40
SOUTH	72.40'	X 325.00'	= 23,530.00
EAST	30.64'	X 326.33'	= 9,998.75
WEST	30.64'	X 320.00'	= 9,804.80

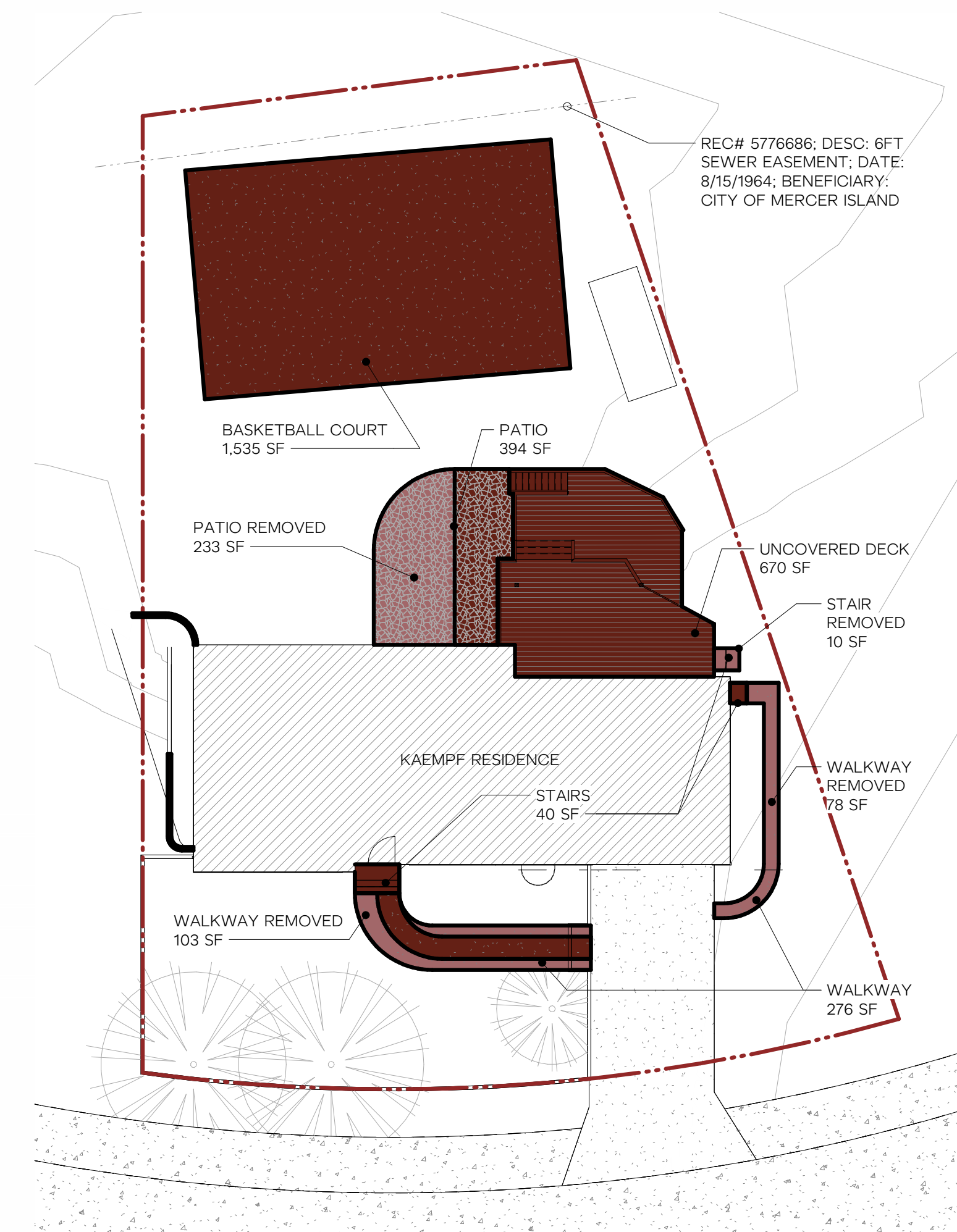
TOTAL 206.08' 66,392.95
 AVERAGE MIDPOINT ELEVATION (66,392.95/206.08) = 322.17'
 AVERAGE GRADE REFERENCED TO 0'-0" DATUM (322.17-326.66) = -4' 6 15/16"

GRADE AVERAGE: 322' 2 1/16"
 MAX WALL HEIGHT: 352' 2 1/16"
 PROPOSED HEIGHT: 345' 9 9/16"

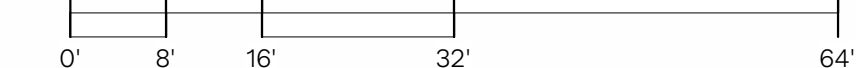
HARDSCAPE CALCULATION

NET LOT AREA	=	10,540 SF
9% OF LOT AREA (MAX COVERAGE)	=	948 SF
*UNUSED LOT COVERAGE	=	1,586 SF
TOTAL ALLOWED HARDSCAPE	=	2,534 SF
EXISTING HARDSCAPE	=	2,928 SF
REMOVED HARDSCAPE	=	-414 SF
TOTAL HARDSCAPE SQUARE FOOTAGE	=	2,514 SF

- REMOVED HARDSCAPE
- EXISTING HARDSCAPE



1 HARD SURFACE DIAGRAM
1/16" = 1'-0"



GROSS FLOOR AREA & KEY

GROSS FLOOR AREA CALCULATIONS PER MICC 19.02.010.D

ZONING	=	R-9.6
LOT SIZE	=	10,899 SF
FAR: ALLOWED (40% LOT)	=	4,360 SF

GROSS FLOOR AREA	
(E) SHED	= 116 SF
(E) BASEMENT	= 1500 SF
(E) MAIN FLOOR	= 1,473 SF
(E) GARAGE	= 526 SF
(N) SECOND FLOOR	= 892 SF
BASEMENT MODIFIER	= -750 SF (SEE CALCS TO RIGHT)
STAIR MODIFIER	= -92 SF
TOTAL	= 3,665 SF

TABLE OF WALL LENGTHS AND COVERAGE

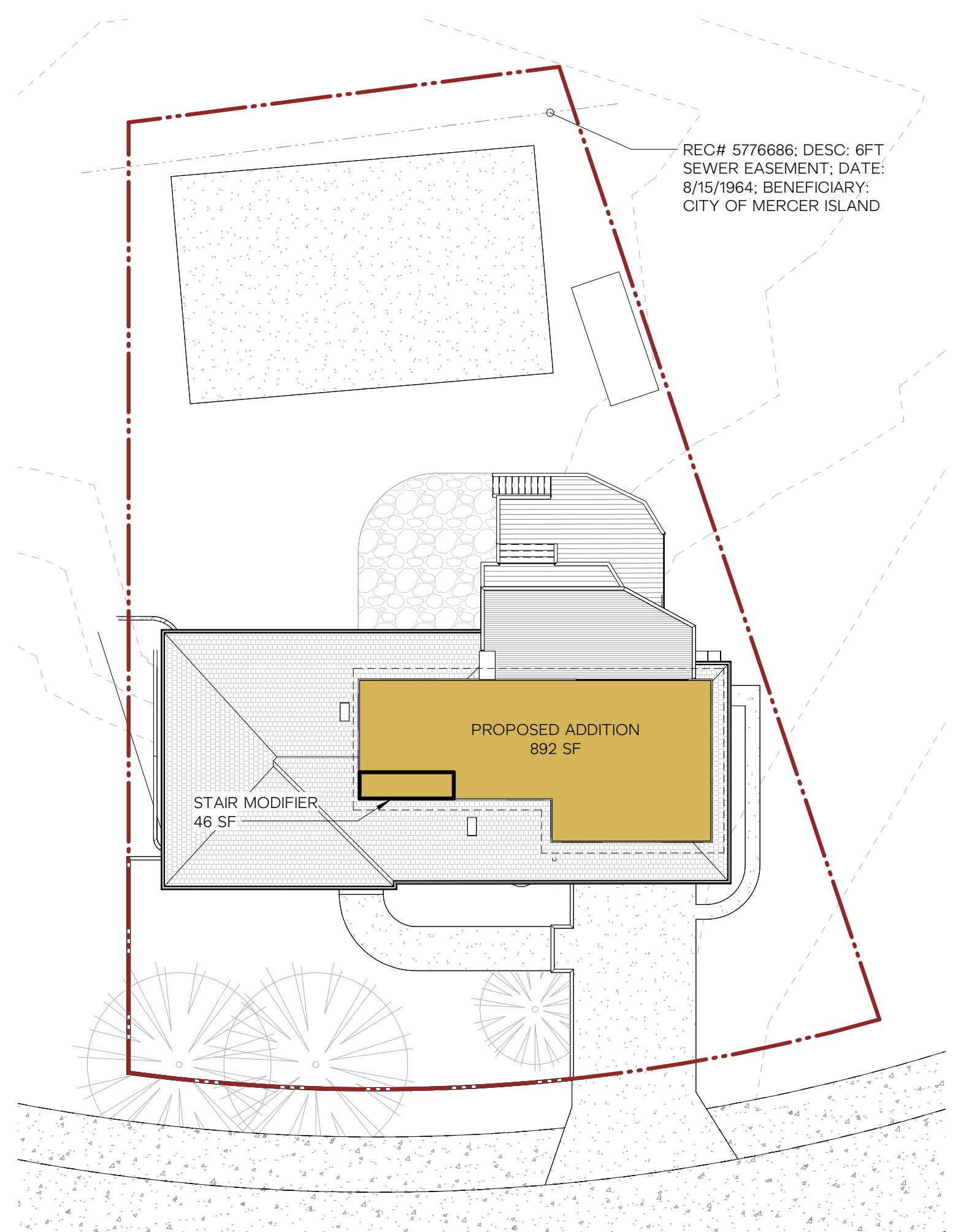
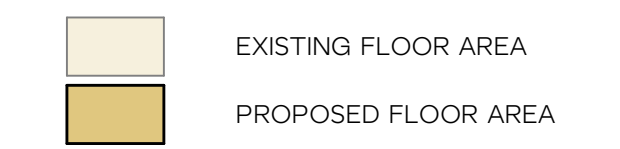
WALL SEGMENT	LENGTH	X	COVERAGE	=	RESULT
A	43' - 2 3/4"	0%			0' - 0"
B	7' - 10 1/2"	16%			1' - 3"
C	4' - 5"	90%			3' - 11"
D	25' - 2 1/2"	90%			22' - 8 1/4"
E	0' - 11 1/2"	90%			0' - 10"
F	29' - 5 3/4"	90%			26' - 6 1/4"
G	21' - 7 1/2"	90%			19' - 5 1/2"
H	30' - 7 1/4"	22%			6' - 8 3/4"
TOTAL	163' - 4 3/4"	-			81' - 4 3/4"

MICC 19.02.010.D.1 GROSS FLOOR AREA:
THE GROSS FLOOR AREA SHALL NOT EXCEED (R-9.6) 8,000 SQUARE FEET OR 40 PERCENT OF THE LOT AREA, WHICHEVER IS LESS.

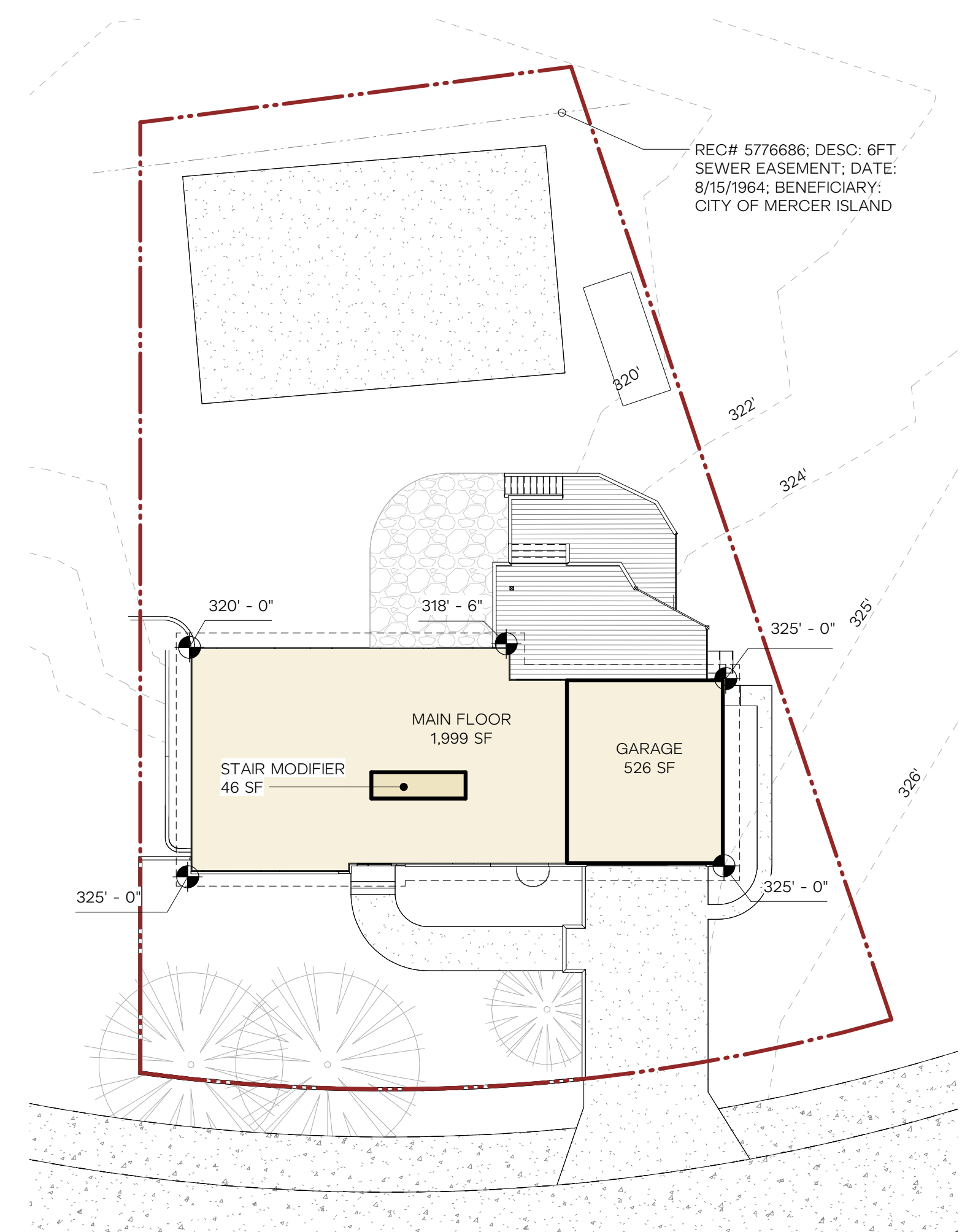
1,500 SF (TOTAL BASEMENT AREA) X
0.50 (81.40 WALL SEGMENT COVERAGE /
163.40 WALL SEGMENT LENGTH) =

1,500 SF X 50% = 750 SF
EXCLUDED FROM GROSS FLOOR AREA

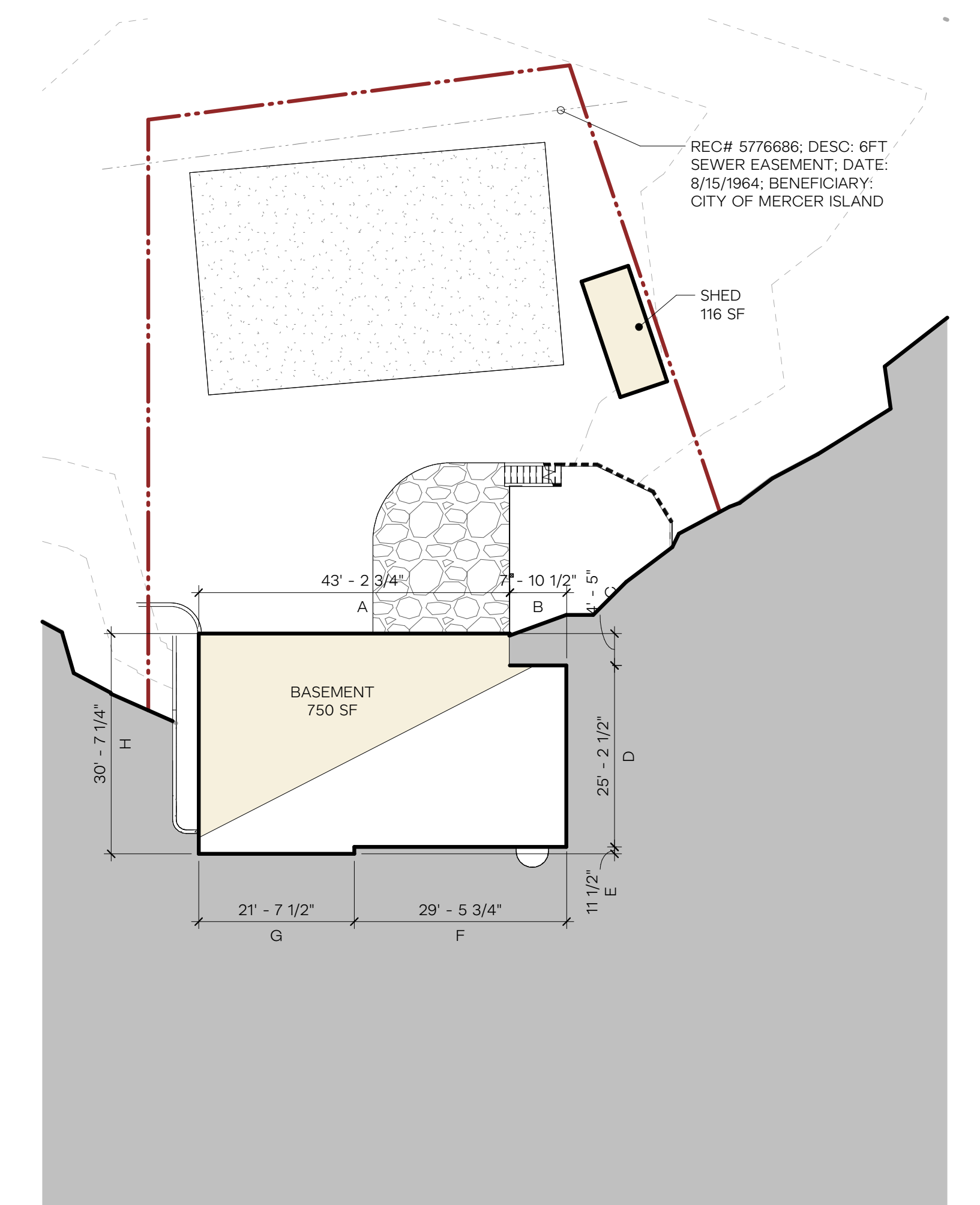
APPENDIX B - BASEMENT FLOOR AREA CALCULATION
THE MERCER ISLAND DEVELOPMENT CODE EXCLUDES THAT PORTION OF THE BASEMENT FLOOR AREA FROM THE GROSS FLOOR AREA WHICH IS BELOW THE EXISTING GRADE.



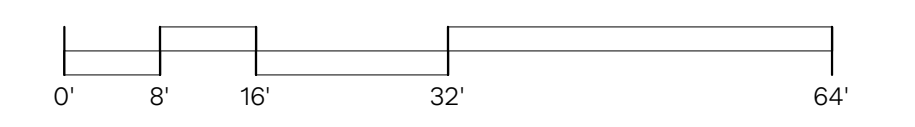
3 SECOND FLOOR - GROSS FLOOR AREA DIAGRAM
1/16" = 1'-0"



2 MAIN FLOOR - GROSS FLOOR AREA DIAGRAM
1/16" = 1'-0"



1 BASEMENT - GROSS FLOOR AREA DIAGRAM
1/16" = 1'-0"



REVISIONS

NO.	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
09.28.2022	SCHEMATIC PRICING
03.09.2023	PERMIT SUBMITTAL

GROSS FLOOR AREA & KEY

GROSS FLOOR AREA CALCULATIONS PER MICC 19.02.010.D

ZONING = R-9.6
LOT SIZE = 10,899 SF
FAR: ALLOWED (40% LOT) = **4,360 SF**

GROSS FLOOR AREA
(E) SHED = 116 SF
(E) BASEMENT = 1500 SF
(E) MAIN FLOOR = 1,473 SF
(E) GARAGE = 526 SF
(N) SECOND FLOOR = 892 SF
BASEMENT MODIFIER = -750 SF (SEE CALCS TO RIGHT)
STAIR MODIFIER = -92 SF
TOTAL = 3,665 SF

MICC 19.02.010.D.1 GROSS FLOOR AREA:
THE GROSS FLOOR AREA SHALL NOT EXCEED (R-9.6) 8,000 SQUARE FEET OR 40 PERCENT OF THE LOT AREA, WHICHEVER IS LESS.

APPENDIX B - BASEMENT FLOOR AREA CALCULATION
THE MERCER ISLAND DEVELOPMENT CODE EXCLUDES THAT PORTION OF THE BASEMENT FLOOR AREA FROM THE GROSS FLOOR AREA WHICH IS BELOW THE EXISTING GRADE.

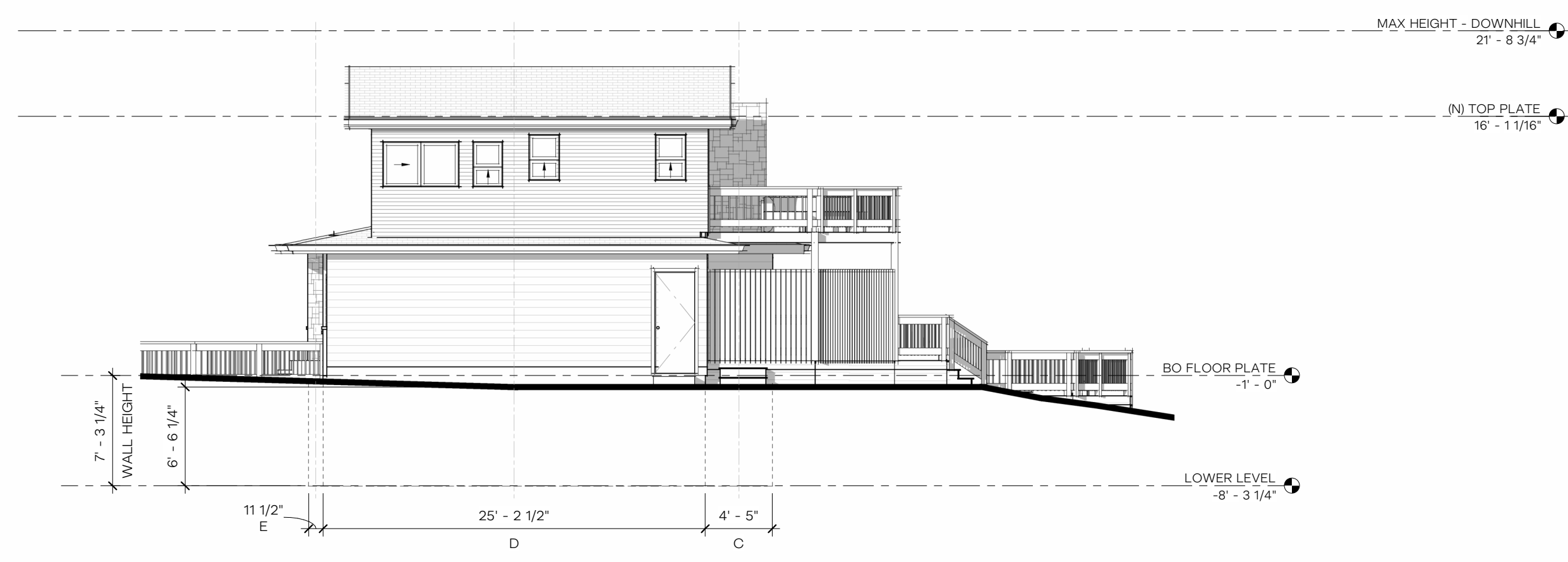
TABLE OF WALL LENGTHS AND COVERAGE

WALL SEGMENT	LENGTH	X COVERAGE	= RESULT
A	43' - 2 3/4"	0%	0' - 0"
B	7' - 10 1/2"	16%	1' - 3"
C	4' - 5"	90%	3' - 11"
D	25' - 2 1/2"	90%	22' - 8 1/4"
E	0' - 11 1/2"	90%	0' - 10"
F	29' - 5 3/4"	90%	26' - 6 1/4"
G	21' - 7 1/2"	90%	19' - 5 1/2"
H	30' - 7 1/4"	22%	6' - 8 3/4"
TOTAL	163' - 4 3/4"		81' - 4 3/4"

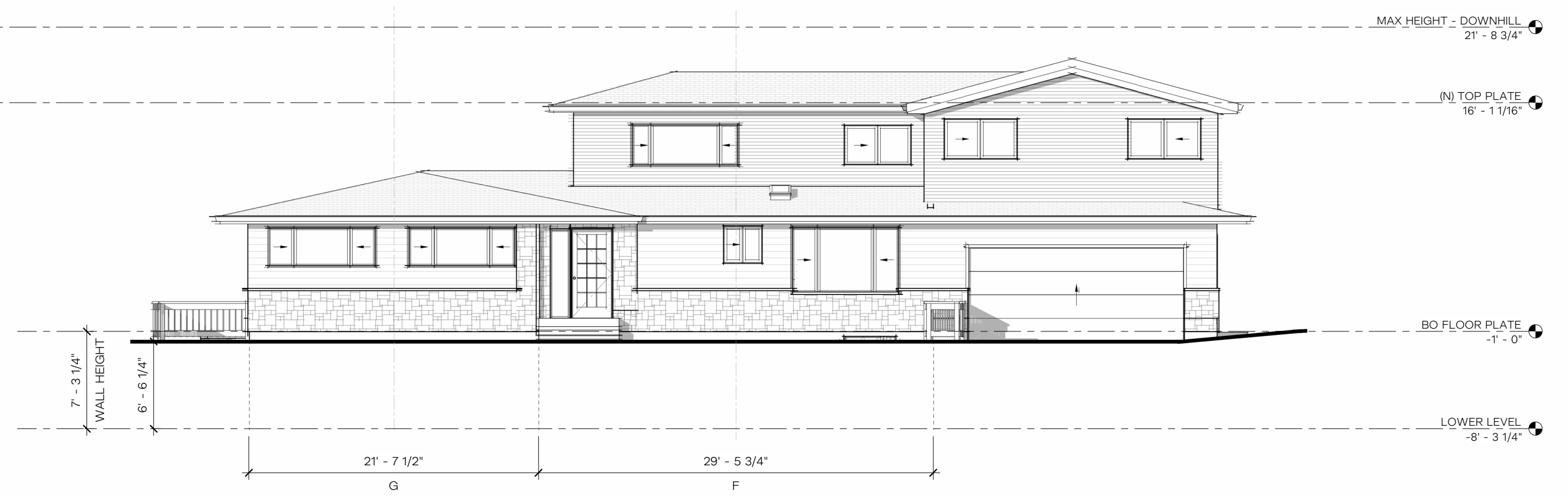
1,500 SF (TOTAL BASEMENT AREA) X 0.50 (81.40 WALL SEGMENT COVERAGE / 163.40 WALL SEGMENT LENGTH) =

1,500 SF X 50% = 750 SF EXCLUDED FROM GROSS FLOOR AREA

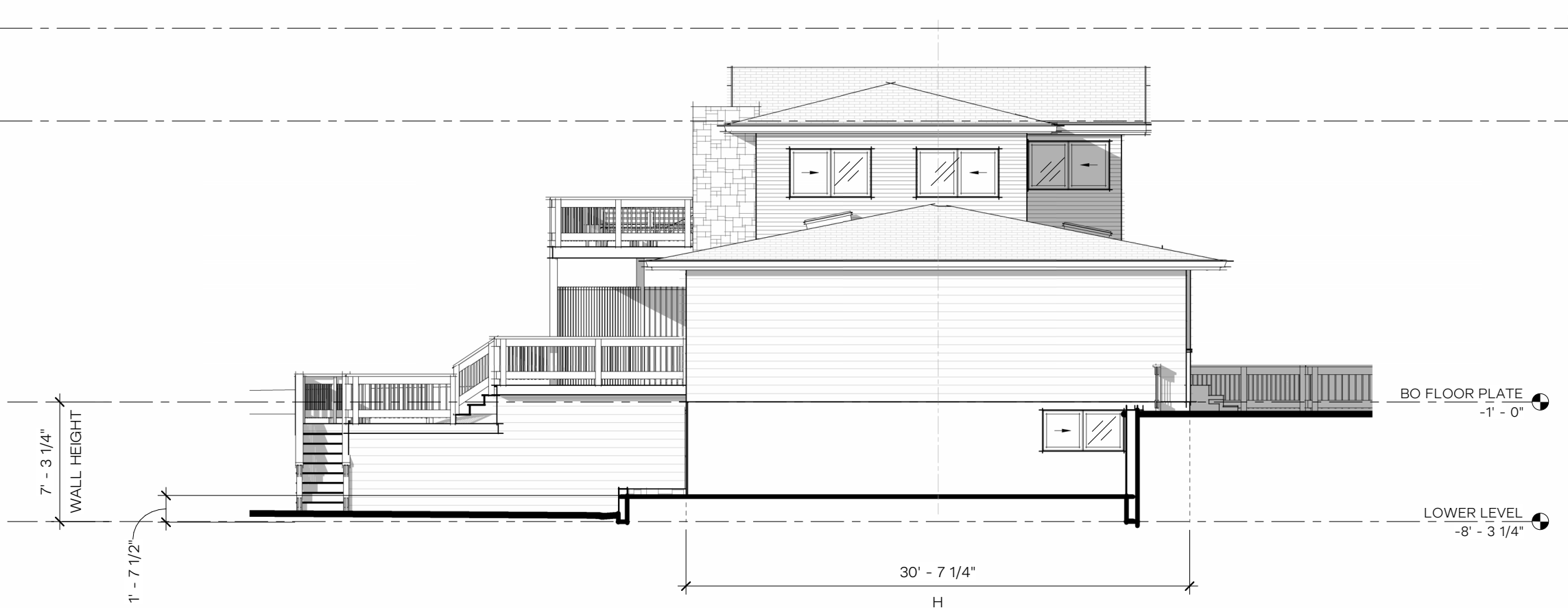
EXISTING FLOOR AREA
PROPOSED FLOOR AREA



4 EAST ELEVATION - FAR
1/8" = 1'-0"



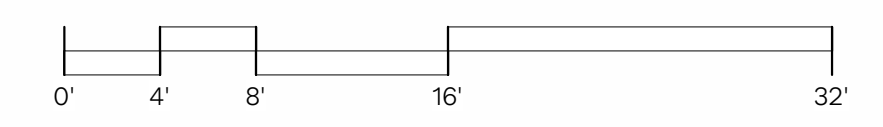
3 NORTH ELEVATION - FAR
1/8" = 1'-0"



2 WEST ELEVATION - FAR
1/8" = 1'-0"



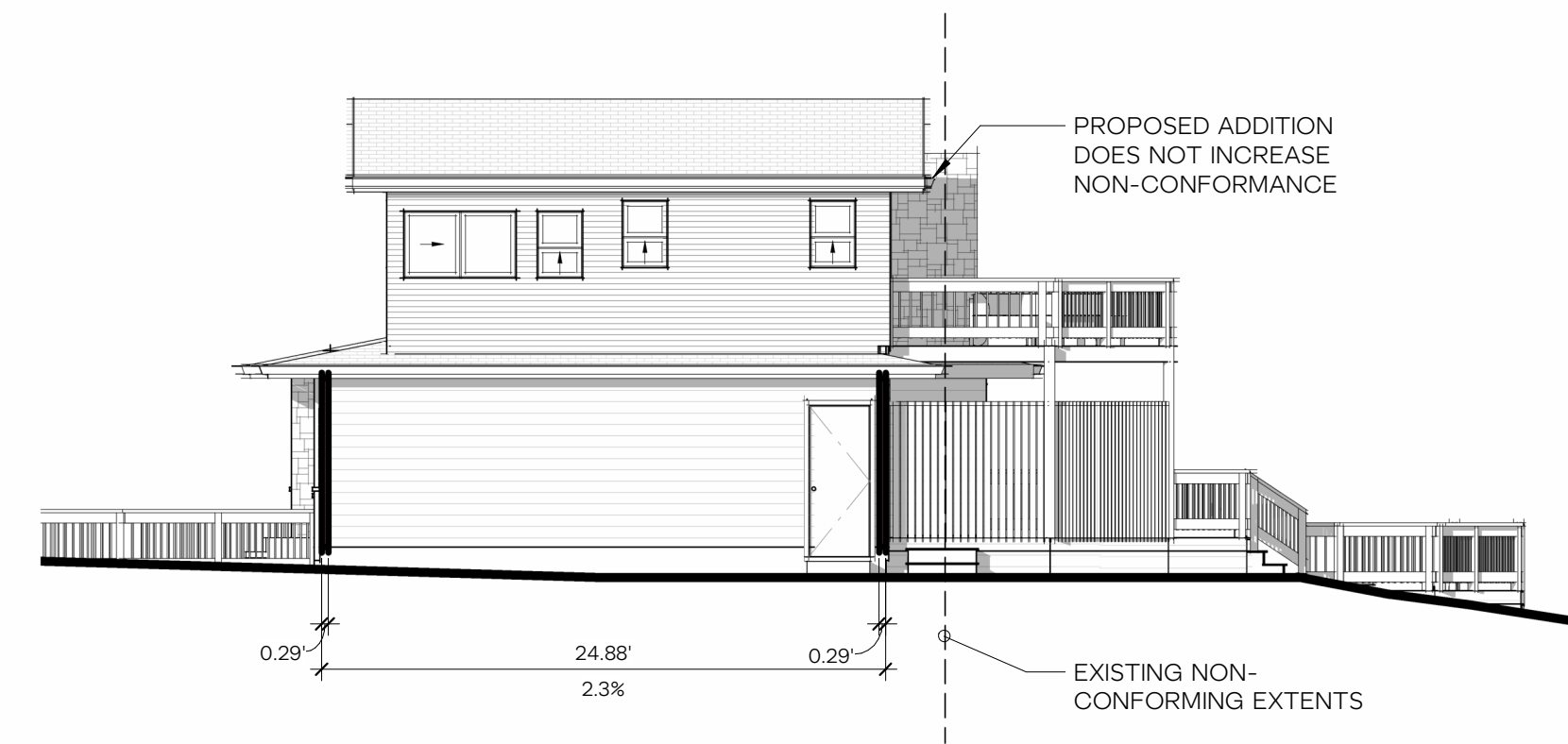
1 SOUTH ELEVATION - FAR
1/8" = 1'-0"



NON-CONFORMING STRUCTURE CALCULATION

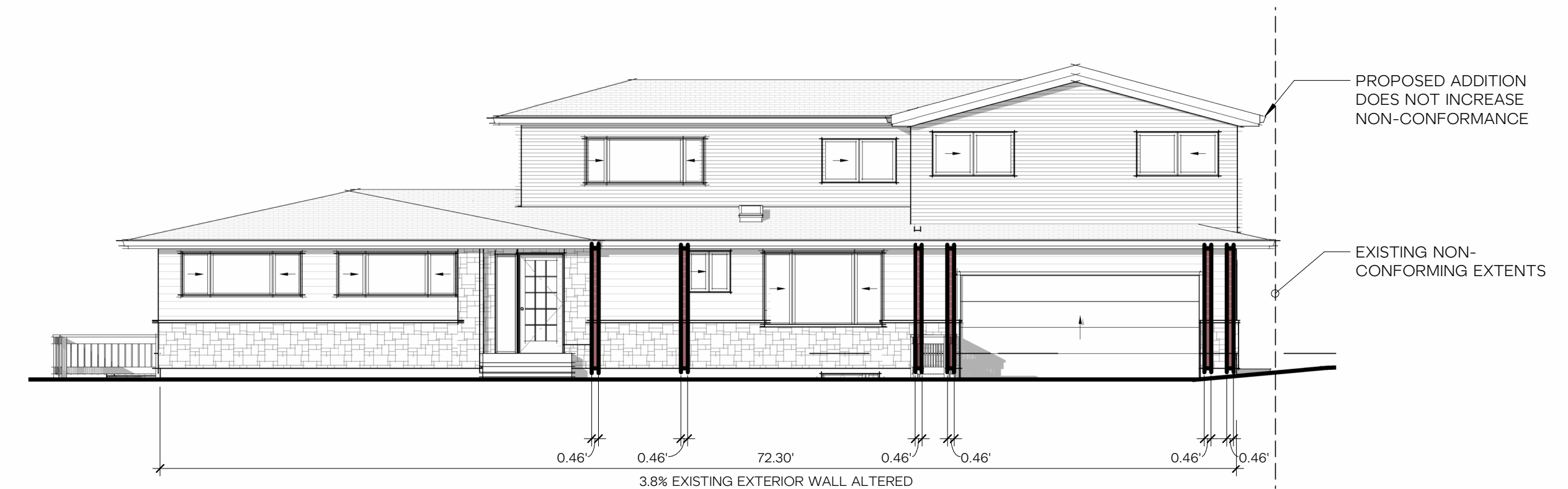
LENGTH OF EXISTING EXTERIOR WALLS	
SOUTH WALL LENGTH	= 72.29 FT
WEST WALL LENGTH	= 30.52 FT
NORTH WALL LENGTH	= 72.30 FT
EAST WALL LENGTH	= 24.88 FT
TOTAL WALL LENGTH	= 199.98 FT
40% OF EXISTING EXTERIOR WALLS (MAX STRUCTURAL ALTERATION)	
	= 80 FT
SOUTH WALL STRUCTURAL ALTERATIONS	= 2.59 FT
WEST WALL STRUCTURAL ALTERATIONS	= 0 FT
NORTH WALL STRUCTURAL ALTERATIONS	= 2.76 FT
EAST WALL STRUCTURAL ALTERATIONS	= 0.58 FT
TOTAL STRUCTURAL ALTERATION	= 5.93 FT

NEW STRUCTURAL ELEMENTS



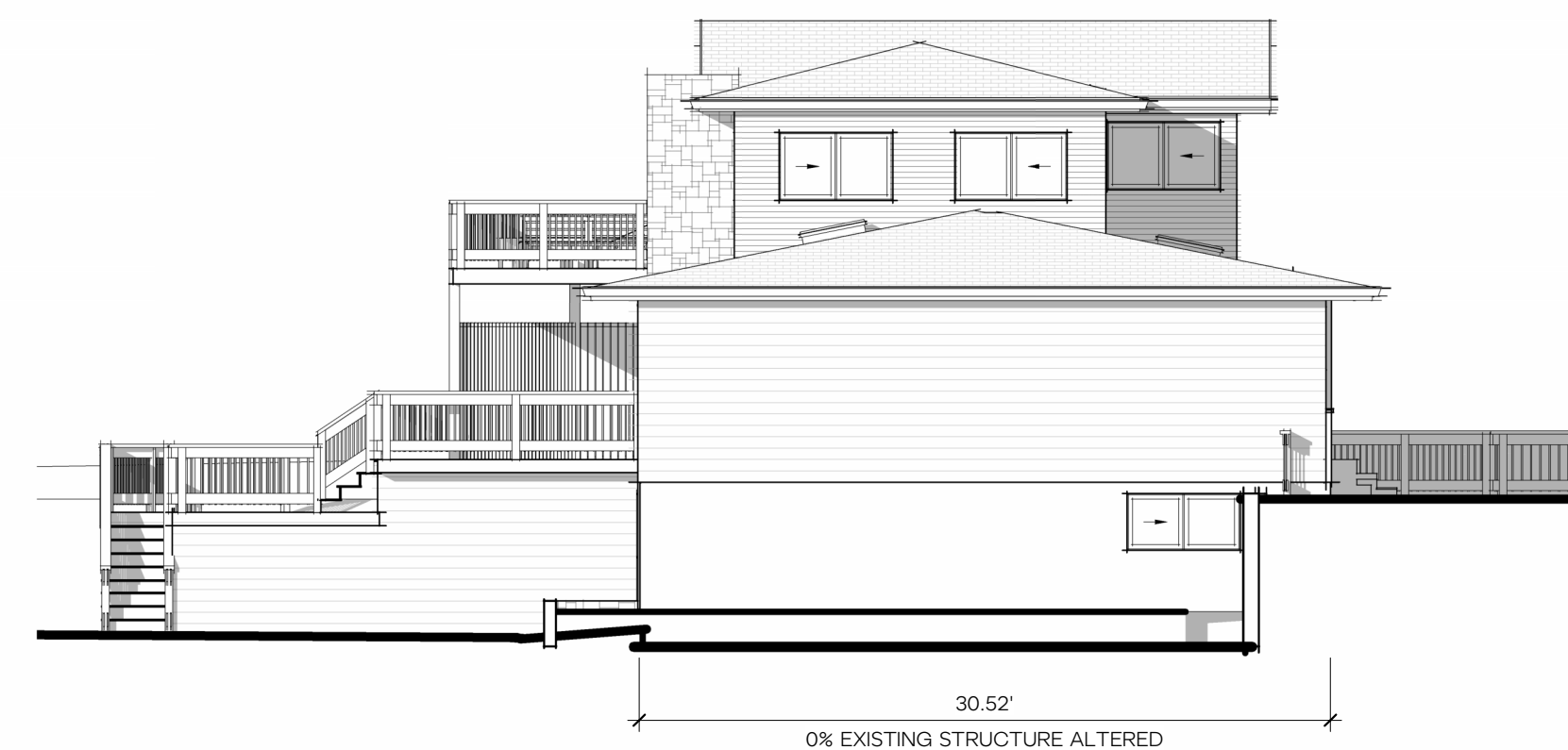
4 EAST ELEVATION - NON-CONFORMING STRUCTURE

1/8" = 1'-0"



3 NORTH ELEVATION - NON-CONFORMING STRUCTURE

1/8" = 1'-0"



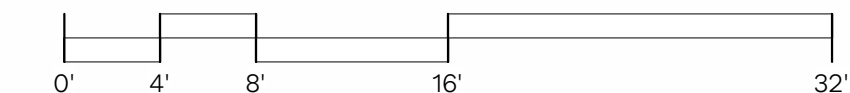
2 WEST ELEVATION - NON-CONFORMING STRUCTURE

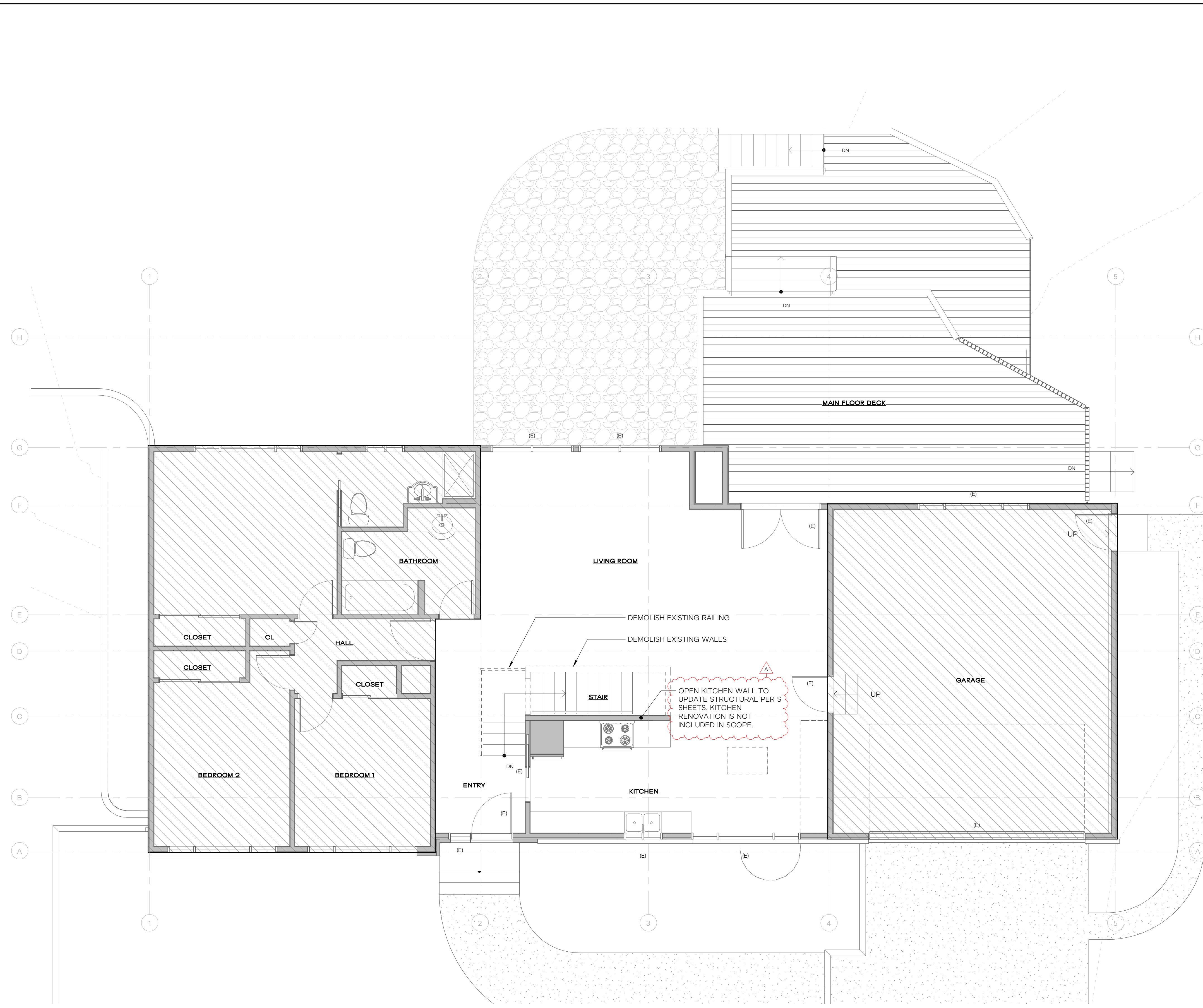
1/8" = 1'-0"



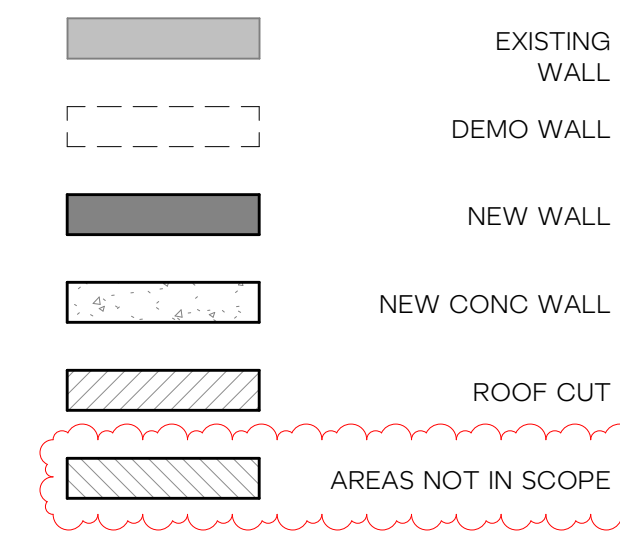
1 SOUTH ELEVATION - NON-CONFORMING STRUCTURE

1/8" = 1'-0"

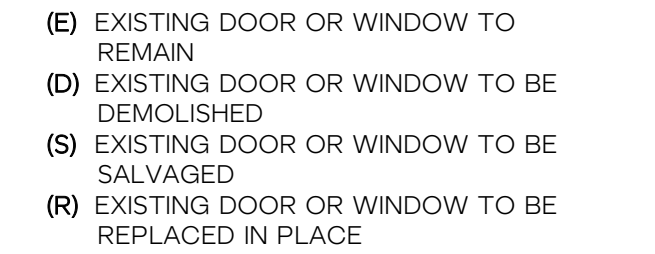




WALL KEY



WINDOW / DOOR KEY



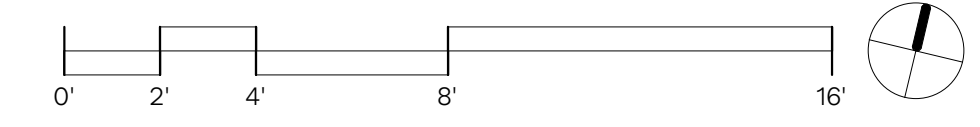
DEMOLITION NOTES

1. CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
2. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
3. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.

OPEN KITCHEN WALL TO UPDATE STRUCTURAL PER S SHEETS. KITCHEN RENOVATION IS NOT INCLUDED IN SCOPE.

DEMOLISH EXISTING RAILING
DEMOLISH EXISTING WALLS

1 MAIN FLOOR - DEMOLITION PLAN
1/4" = 1'-0"



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ARCHITECTURE + INTERIORS
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12341 REGISTERED ARCHITECT
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KAYSIE LOUISE ROZSONITZ
STATE OF WASHINGTON
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ORIGINAL SHEET SIZE IS 22"x34"

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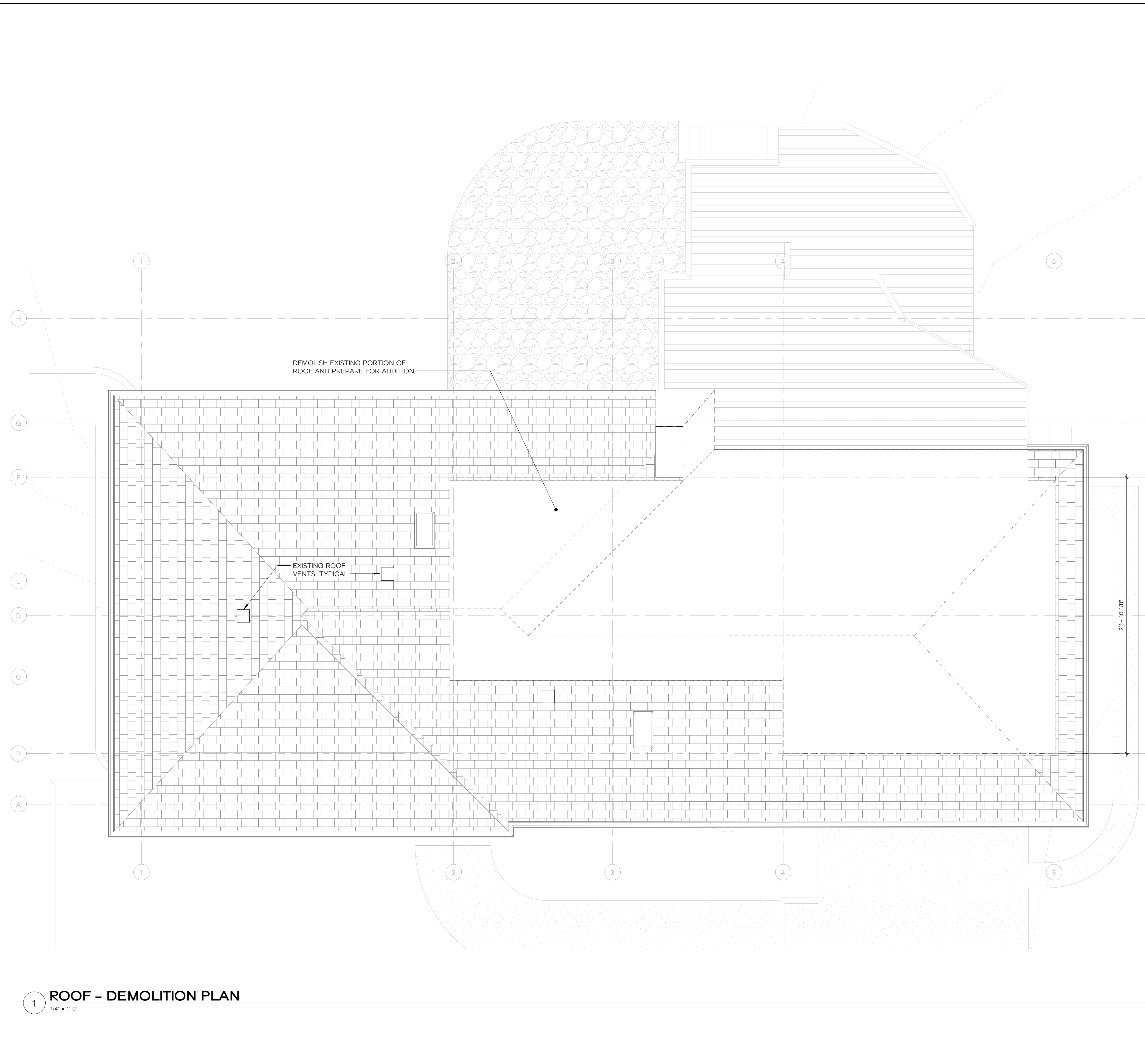
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REVISIONS
1 05.22.2023 REVIEW RESPONSES
A 2023.05.22 PLAN CHANGE

ISSUANCES
09.28.2022 SCHEMATIC PRICING
03.09.2023 PERMIT SUBMITTAL

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DEMOLITION FIRST FLOOR PLANS
A2.11



WALL KEY		WINDOW / DOOR KEY	
	EXISTING WALL	(E) EXISTING DOOR OR WINDOW TO REMAIN	
	DEMO WALL	(D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED	
	NEW WALL	(S) EXISTING DOOR OR WINDOW TO BE SALVAGED	
	NEW CONC WALL	(R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE	
	ROOF CUT		
	AREAS NOT IN SCOPE		

- DEMOLITION NOTES**
- CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
 - SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
 - EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.



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 KAYSIE LOUISE ROZSONIT
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REVISIONS

1	05.22.2023	REVIEW RESPONSES
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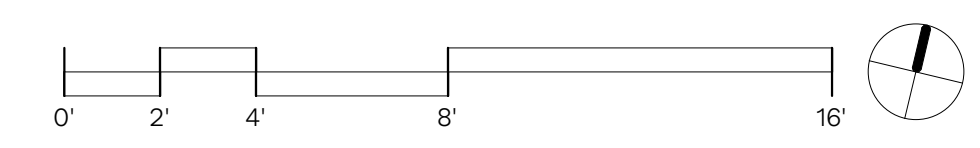
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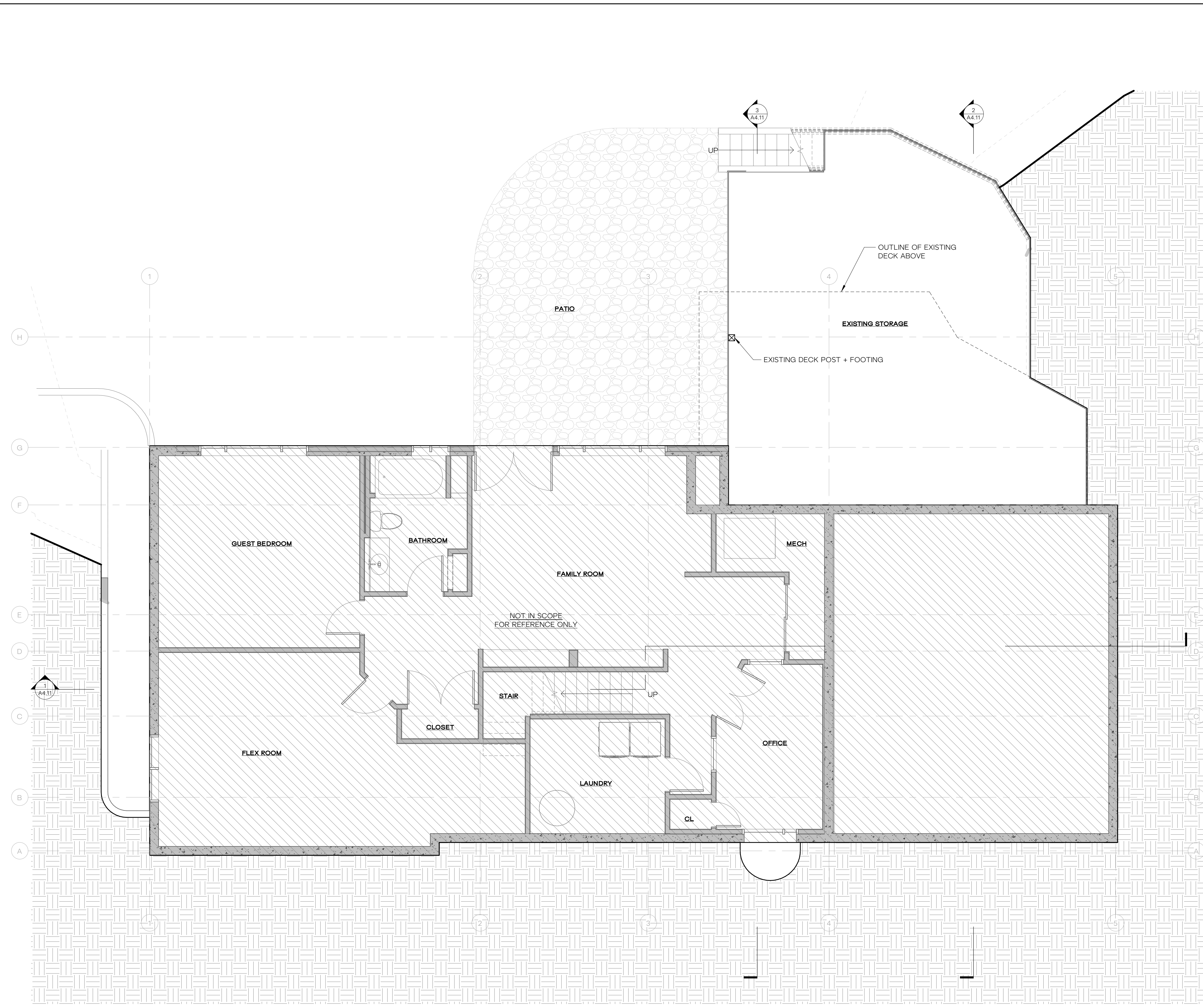
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DEMOLITION ROOF PLAN
A2.12

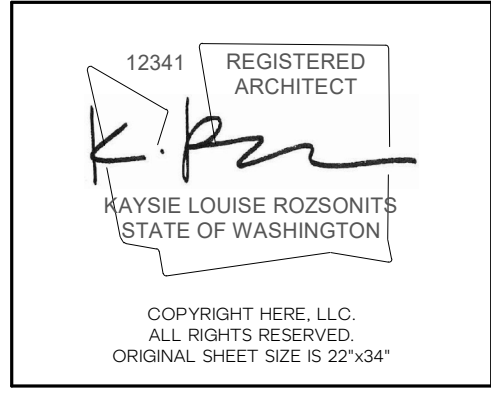
1 ROOF - DEMOLITION PLAN
 1/4" = 1'-0"





WALL KEY		WINDOW / DOOR KEY	
	EXISTING WALL		(E) EXISTING DOOR OR WINDOW TO REMAIN
	DEMO WALL		(D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
	NEW WALL		(S) EXISTING DOOR OR WINDOW TO BE SALVAGED
	NEW CONC WALL		(R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE
	ROOF CUT		
	AREAS NOT IN SCOPE		

- GENERAL PLAN NOTES**
- SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
 - SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS.
 - SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W.0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
 - SEE SHEET A9.01 FOR DOOR AND WINDOW SCHEDULES.
 - CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
 - NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.
 - NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.



KAMPF RESIDENCE

8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISIONS

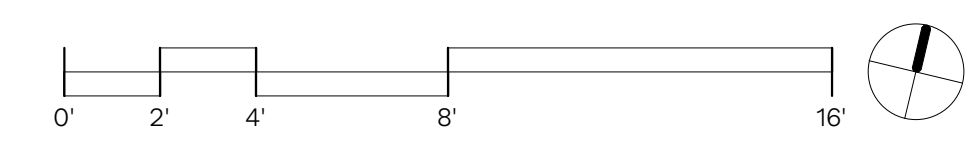
1	05.22.2023	REVIEW RESPONSES
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ISSUANCES

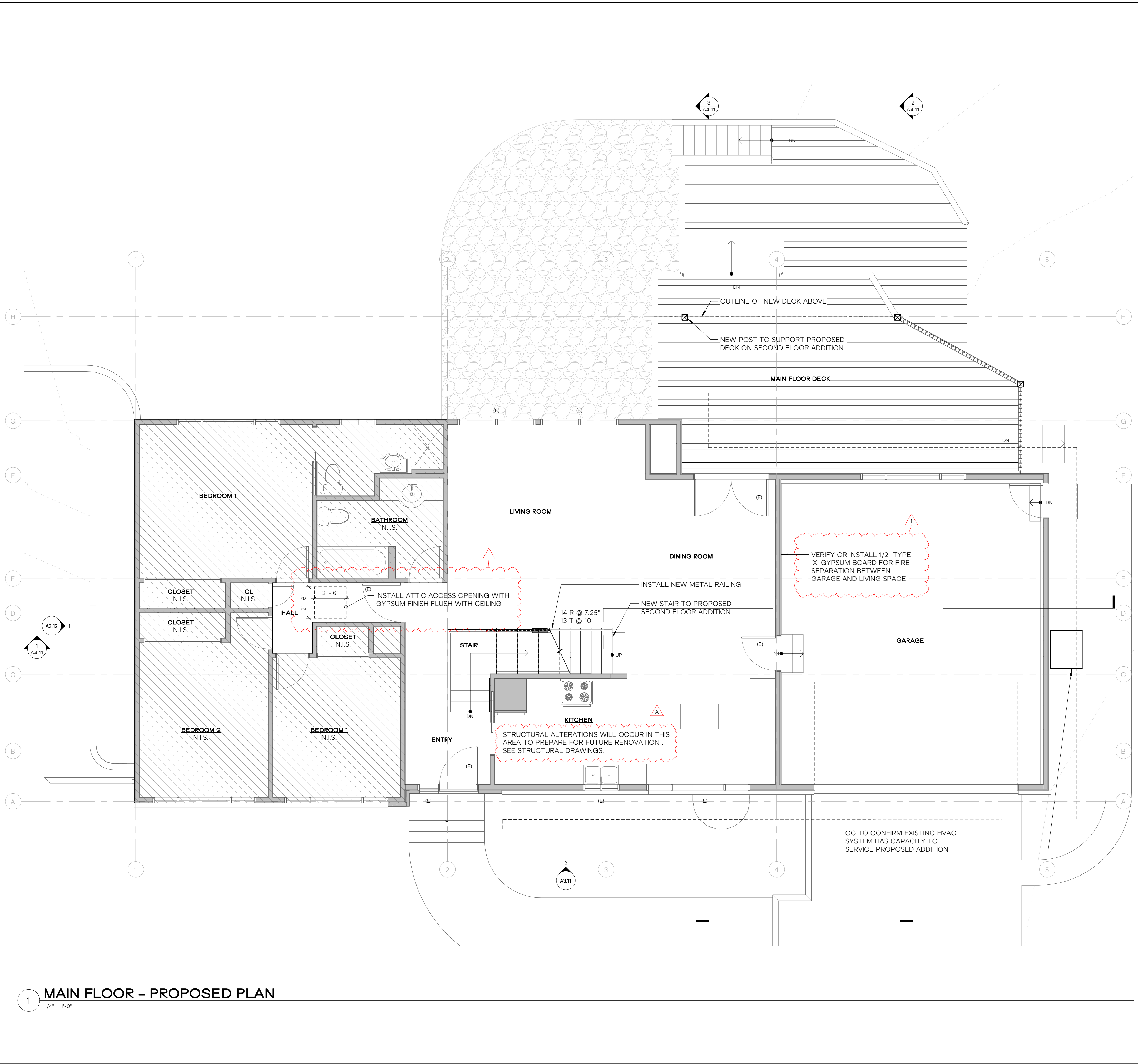
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03.09.2023	PERMIT SUBMITTAL

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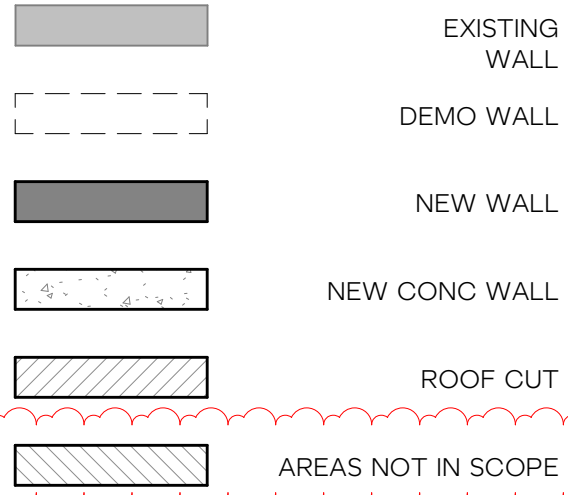
1 BASEMENT - EXISTING PLAN - FOR REFERENCE ONLY
1/4" = 1'-0"



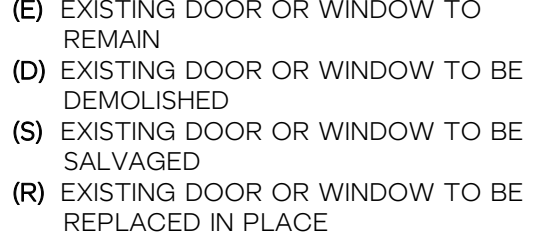
PROPOSED BASEMENT FLOOR PLAN
A2.21



WALL KEY



WINDOW / DOOR KEY



GENERAL PLAN NOTES

- SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
- SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS.
- SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W.0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
- SEE SHEET A9.01 FOR DOOR AND WINDOW SCHEDULES.
- CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
- NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.
- NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.

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JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

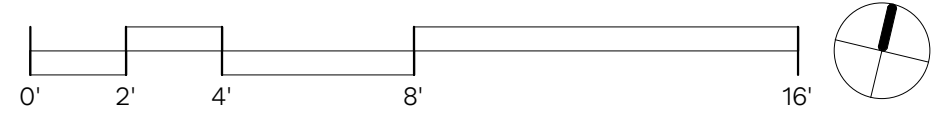
REVISIONS
1 05.22.2023 REVIEW RESPONSES
A 2023.05.22 PLAN CHANGE

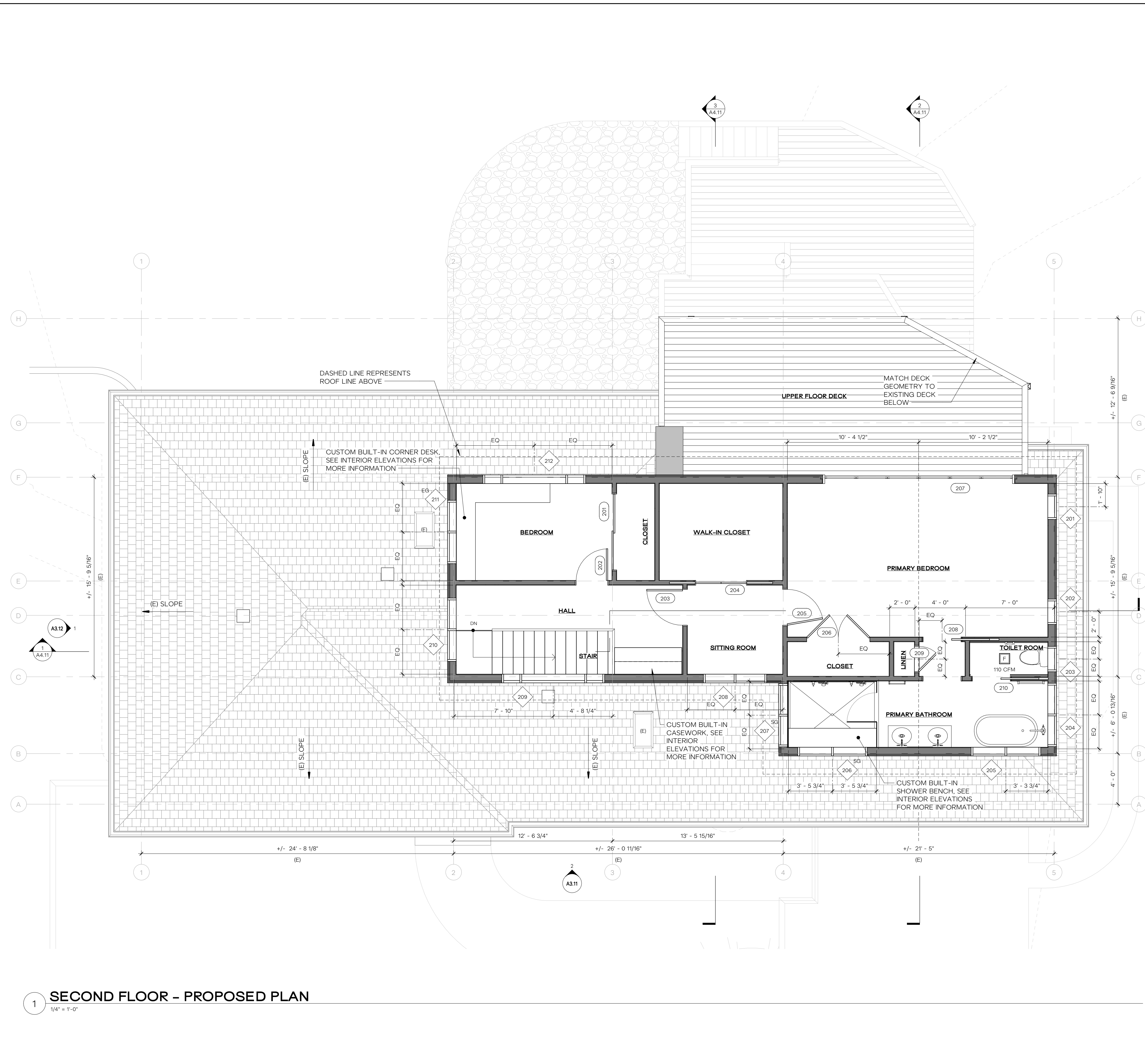
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PROPOSED FIRST FLOOR PLAN
A2.22

1 MAIN FLOOR - PROPOSED PLAN
1/4" = 1'-0"





WALL KEY		WINDOW / DOOR KEY	
	EXISTING WALL		EXISTING DOOR OR WINDOW TO REMAIN
	DEMO WALL		EXISTING DOOR OR WINDOW TO BE DEMOLISHED
	NEW WALL		EXISTING DOOR OR WINDOW TO BE SALVAGED
	NEW CONC WALL		EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE
	ROOF CUT		
	AREAS NOT IN SCOPE		

- ### GENERAL PLAN NOTES
- SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
 - SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS.
 - SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE "W.0" UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
 - SEE SHEET A9.01 FOR DOOR AND WINDOW SCHEDULES.
 - CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
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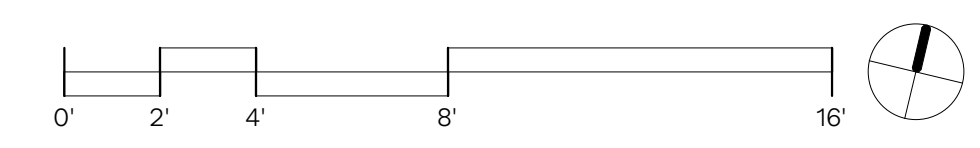
REVISIONS	

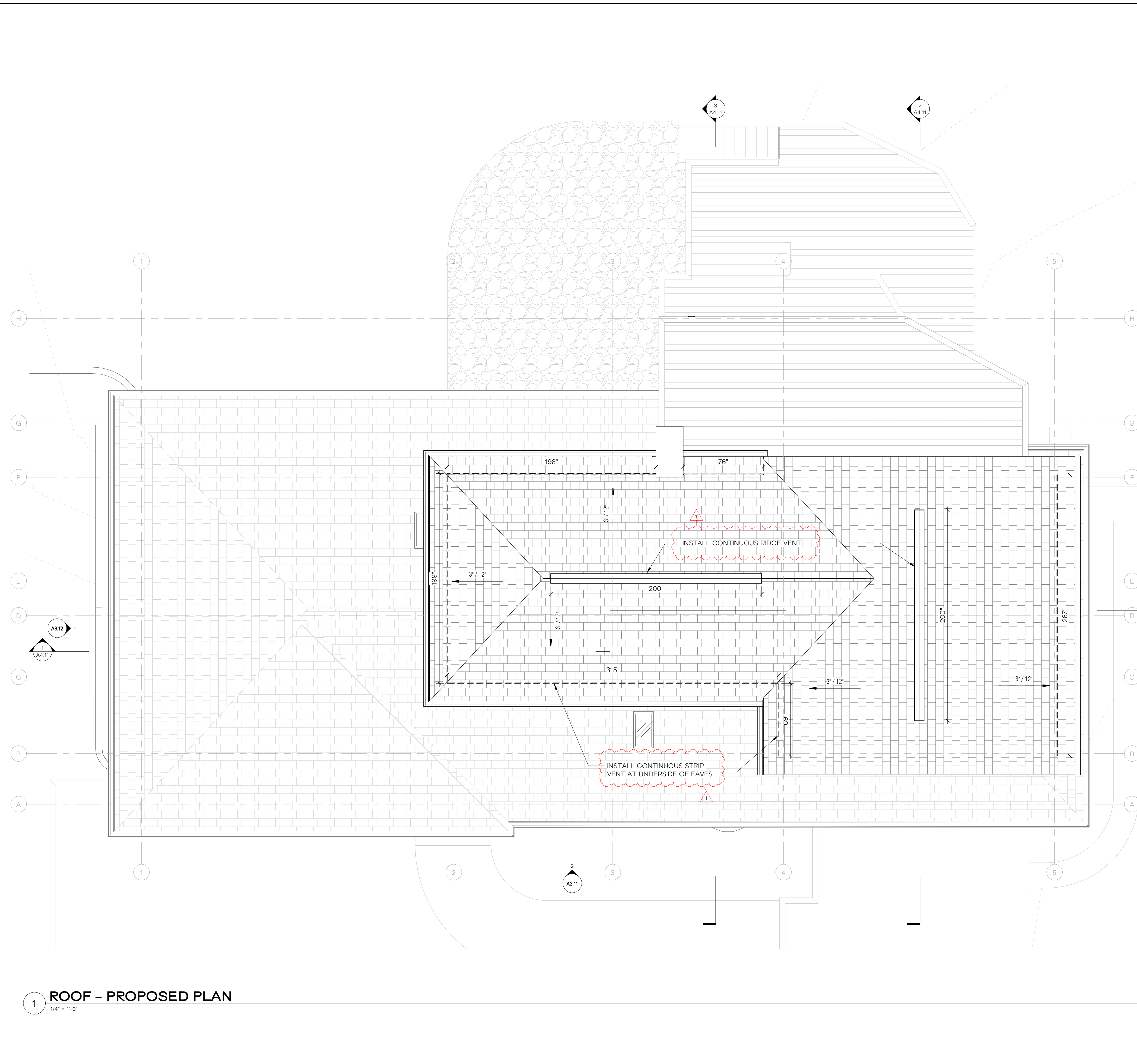
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PROPOSED SECOND FLOOR PLAN
A2.23

1 SECOND FLOOR - PROPOSED PLAN
 1/4" = 1'-0"





WALL KEY

- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL
- ROOF CUT
- AREAS NOT IN SCOPE

WINDOW / DOOR KEY

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

GENERAL PLAN NOTES

1. SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
2. SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS.
3. SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W.0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL. COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
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5. CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
6. NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.
7. NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.

ROOF VENTILATION CALCULATION

REFERENCE:

R806.2
 THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED THAT BOTH OF THE FOLLOWING CONDITIONS ARE MET:

1. IN CLIMATE ZONES 6,7, AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING.
2. NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATION LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE.

ROOF VENTILATION CALCULATIONS:

VENTED AREA = 921 SF = 11,052 SQ IN

REQUIRED VENTILATION = 11,052 X 1/150 = 73.68 SQ IN

UPPER VENTILATION ALLOWANCE:

40% OF VENTING AREA = 4,421 SQ IN

50% OF VENTING AREA = 5,526 SQ IN

PROVIDED AREA =

EAVE = (10 SQ IN PER LIN. FT) x 1,124' = 11,240 SQ IN

'COR A VENT S400 STRIP VENT' = (13.5 SQ IN PER LIN. FT) x 400' = 5,400 SQ IN

RIDGE = 'COR A VENT V-300E RIDGE VENT'



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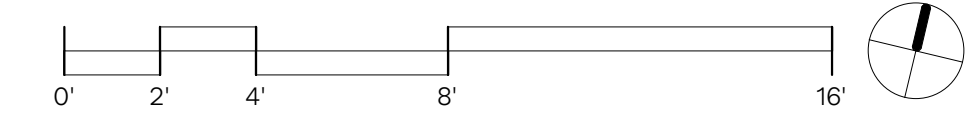
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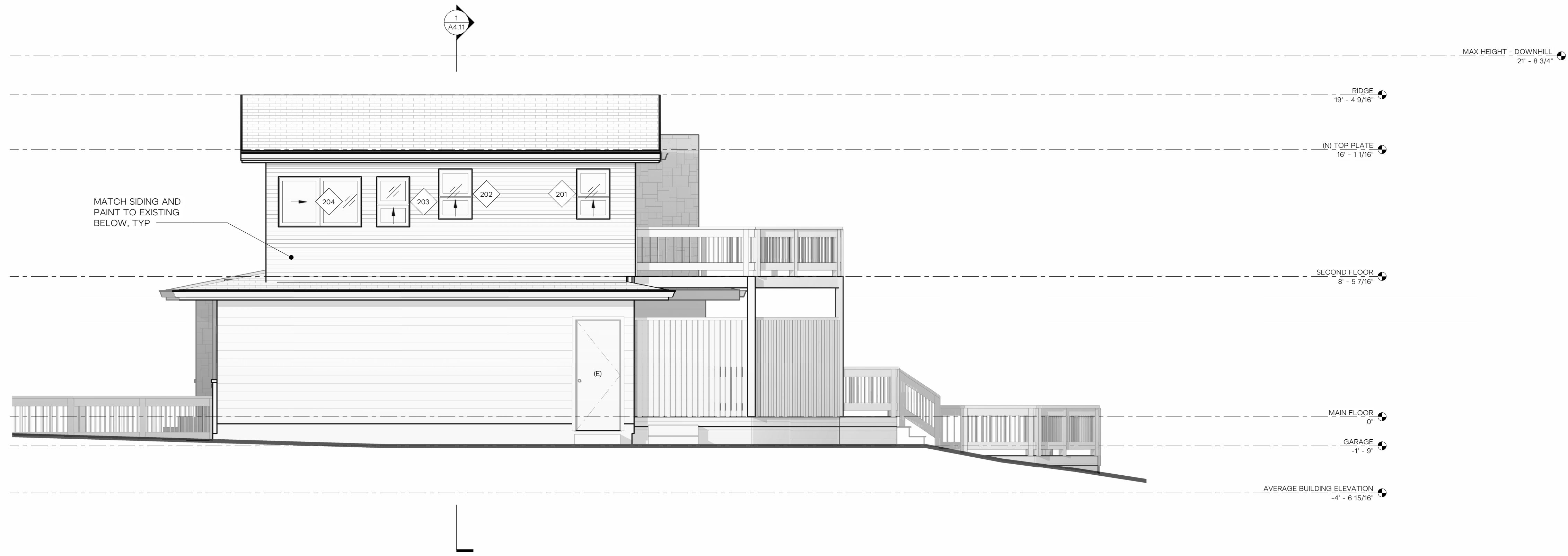
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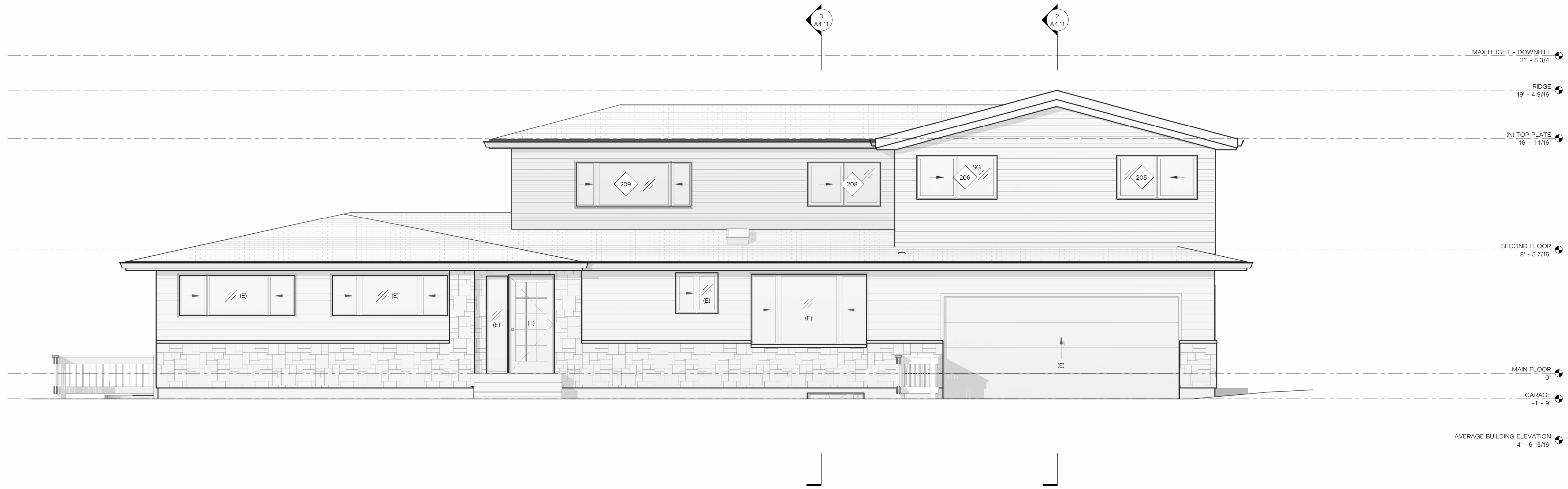
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PROPOSED ROOF PLAN
A2.24

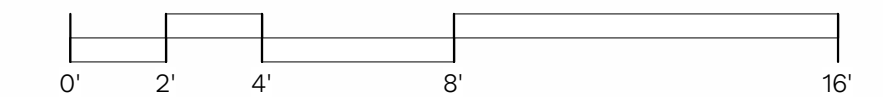




1 EAST ELEVATION - PROPOSED
1/4" = 1'-0"



2 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



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PROPOSED EXTERIOR ELEVATIONS

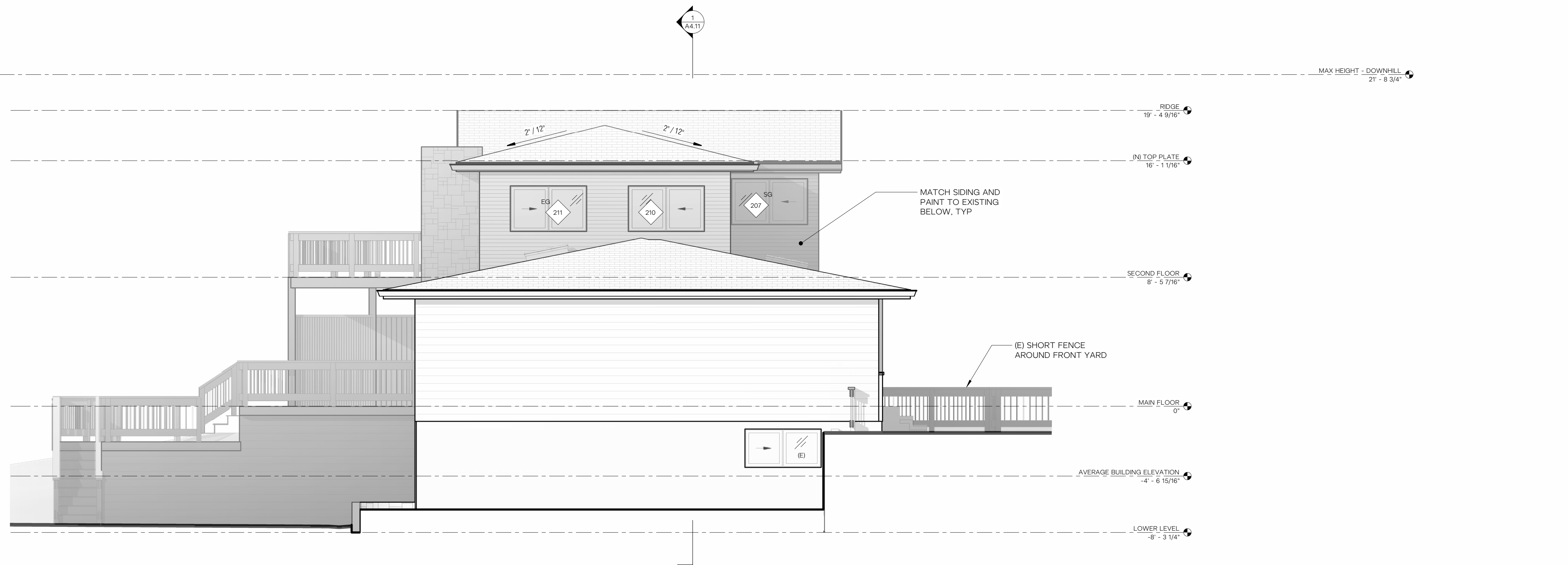
A3.11

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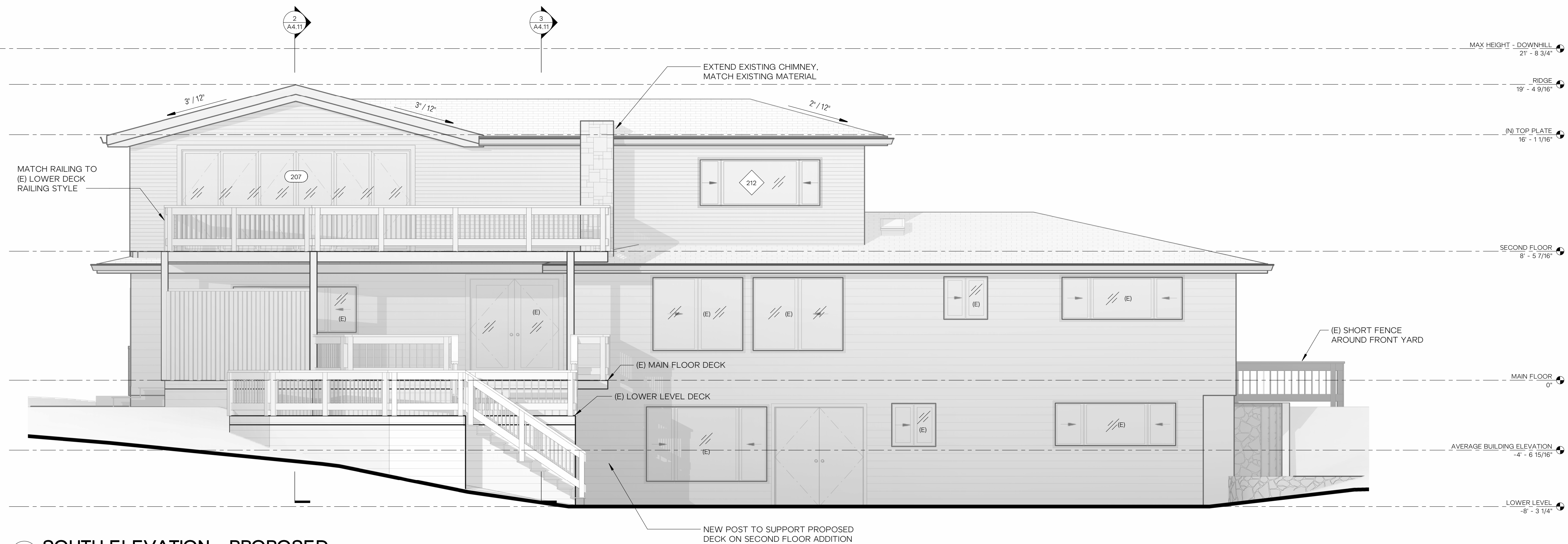
NO.	DATE	DESCRIPTION

ISSUANCES

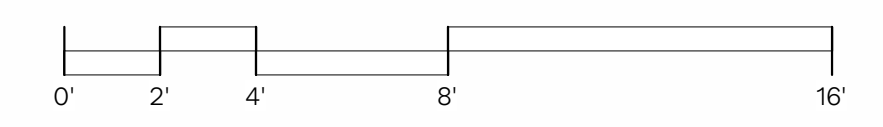
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03.09.2023	PERMIT SUBMITTAL

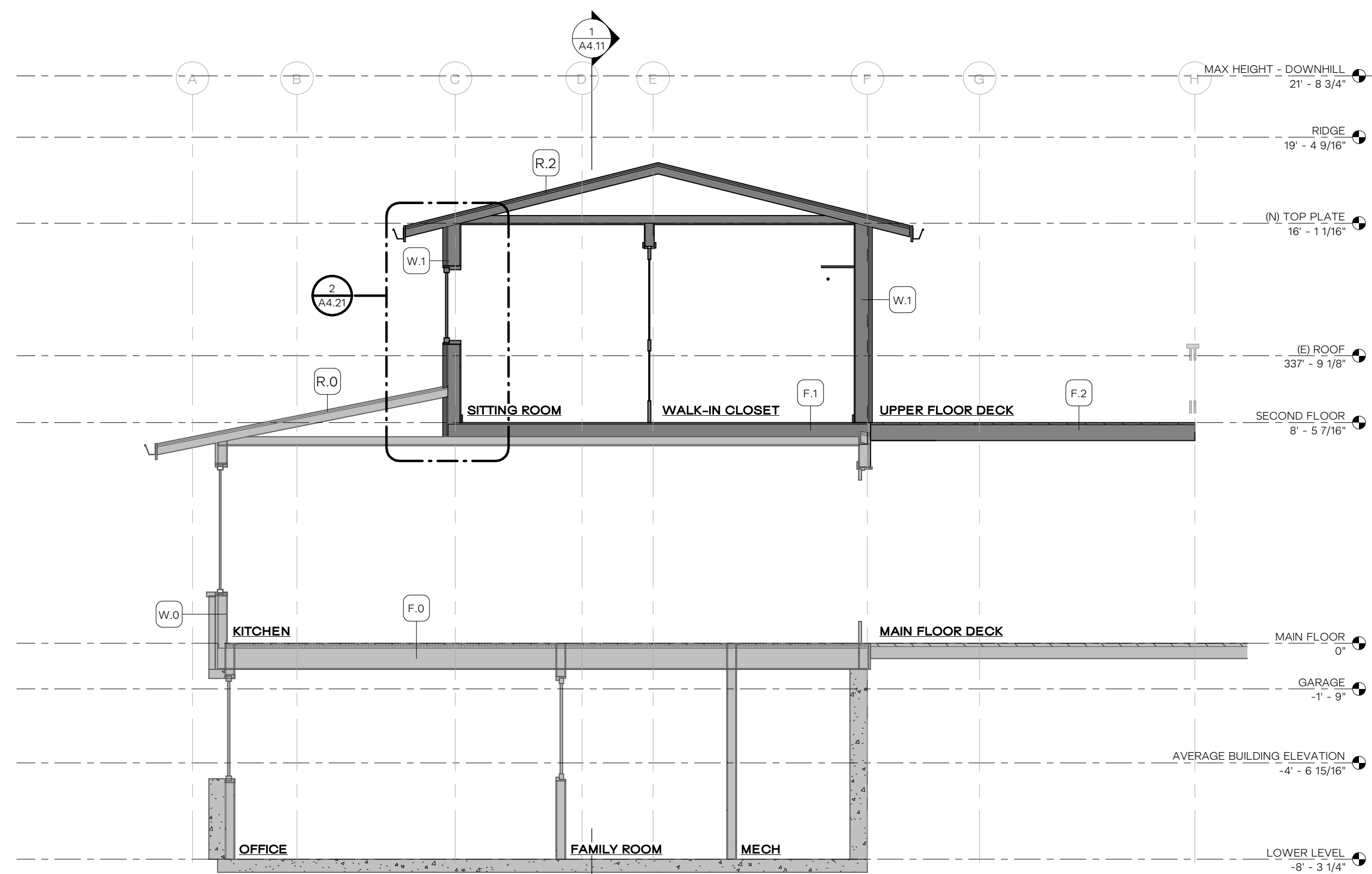


1 WEST ELEVATION - PROPOSED
 1/4" = 1'-0"

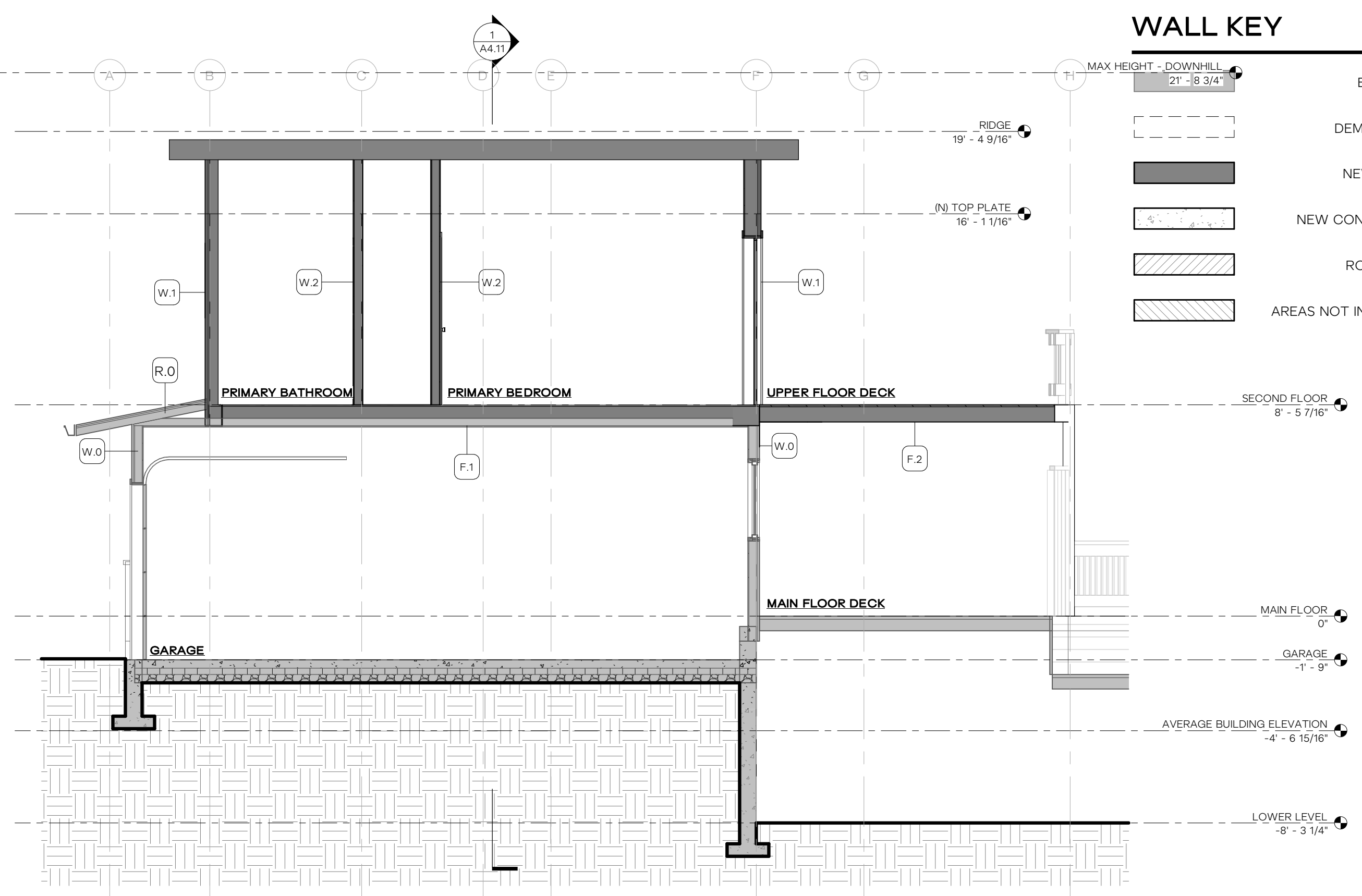


2 SOUTH ELEVATION - PROPOSED
 1/4" = 1'-0"





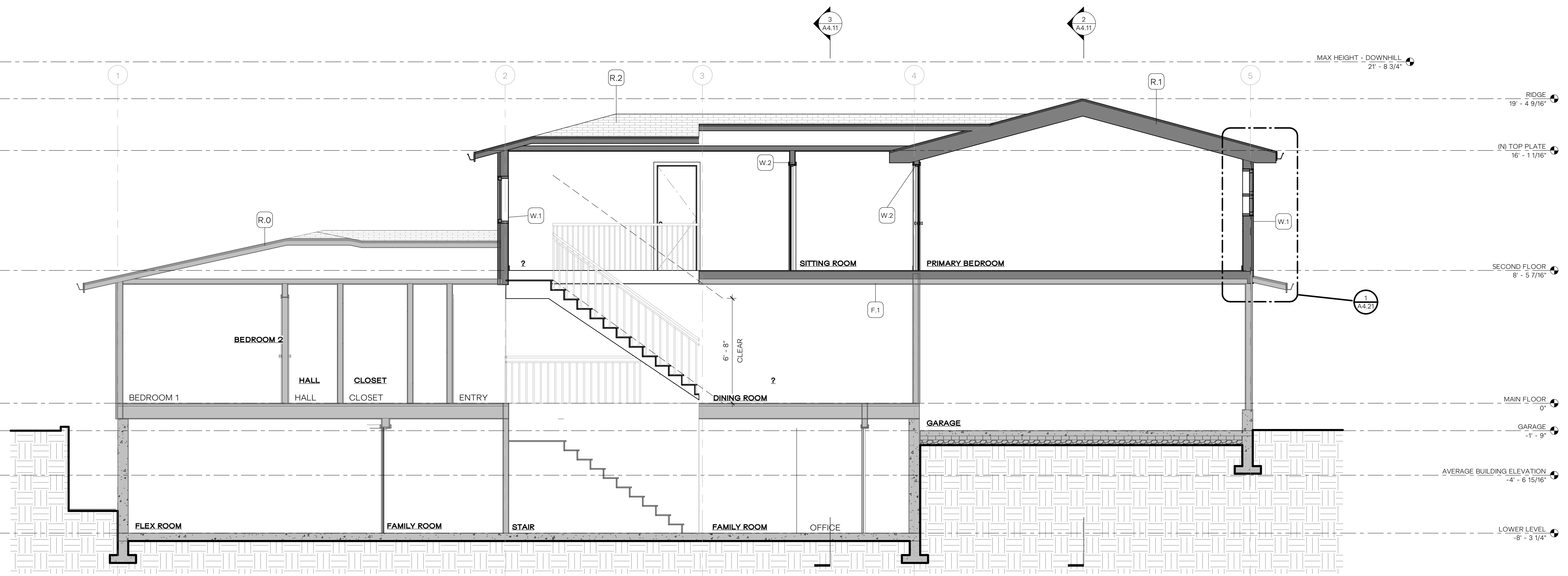
3 NORTH / SOUTH SECTION - LOOKING WEST THROUGH SITTING ROOM
1/4" = 1'-0"



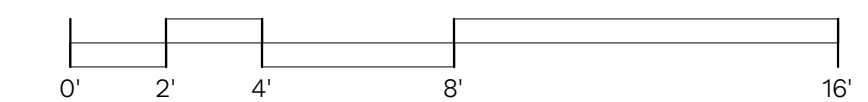
2 NORTH / SOUTH SECTION - LOOKING WEST THROUGH PRIMARY BEDROOM
1/4" = 1'-0"

WALL KEY

- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL
- ROOF CUT
- AREAS NOT IN SCOPE



1 EAST / WEST SECTION - LOOKING NORTH
1/4" = 1'-0"



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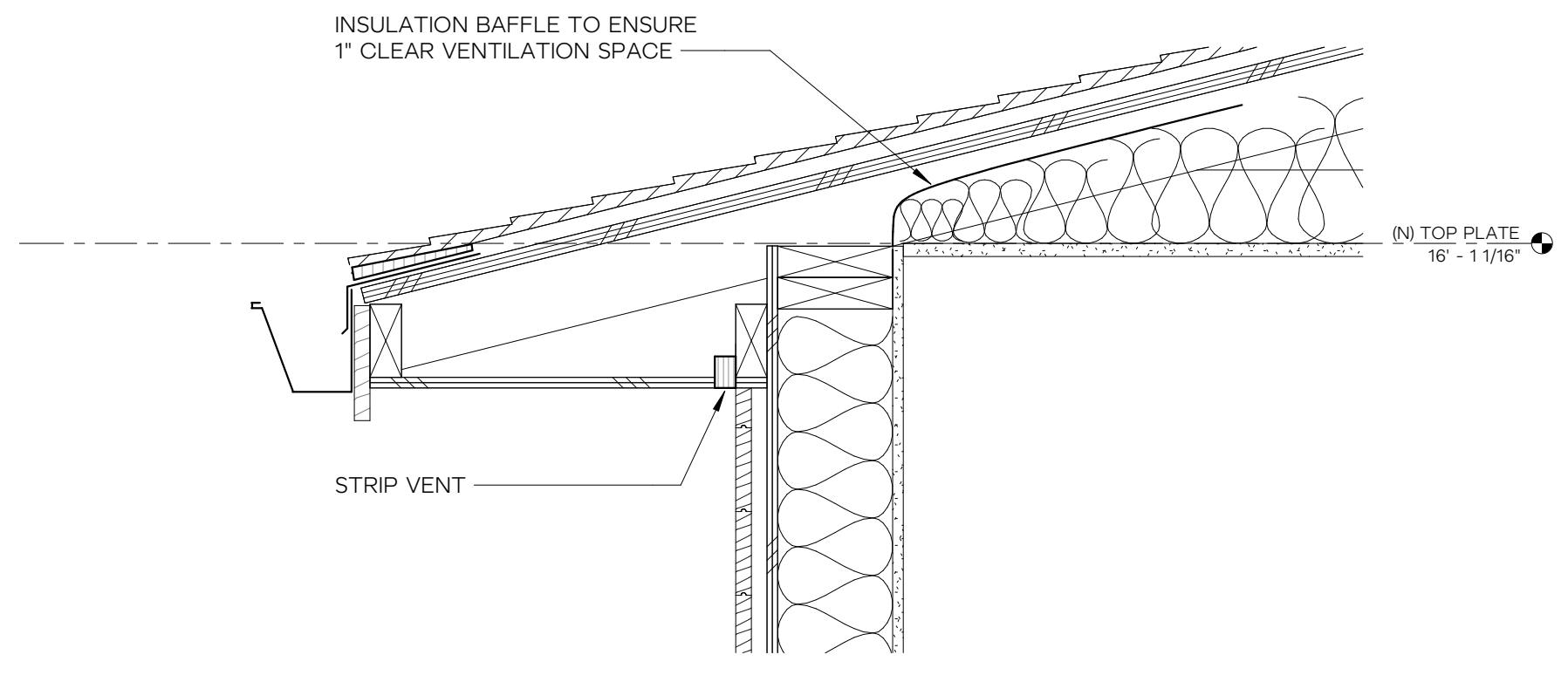
PROPOSED BUILDING SECTIONS
A4.11

REVISIONS

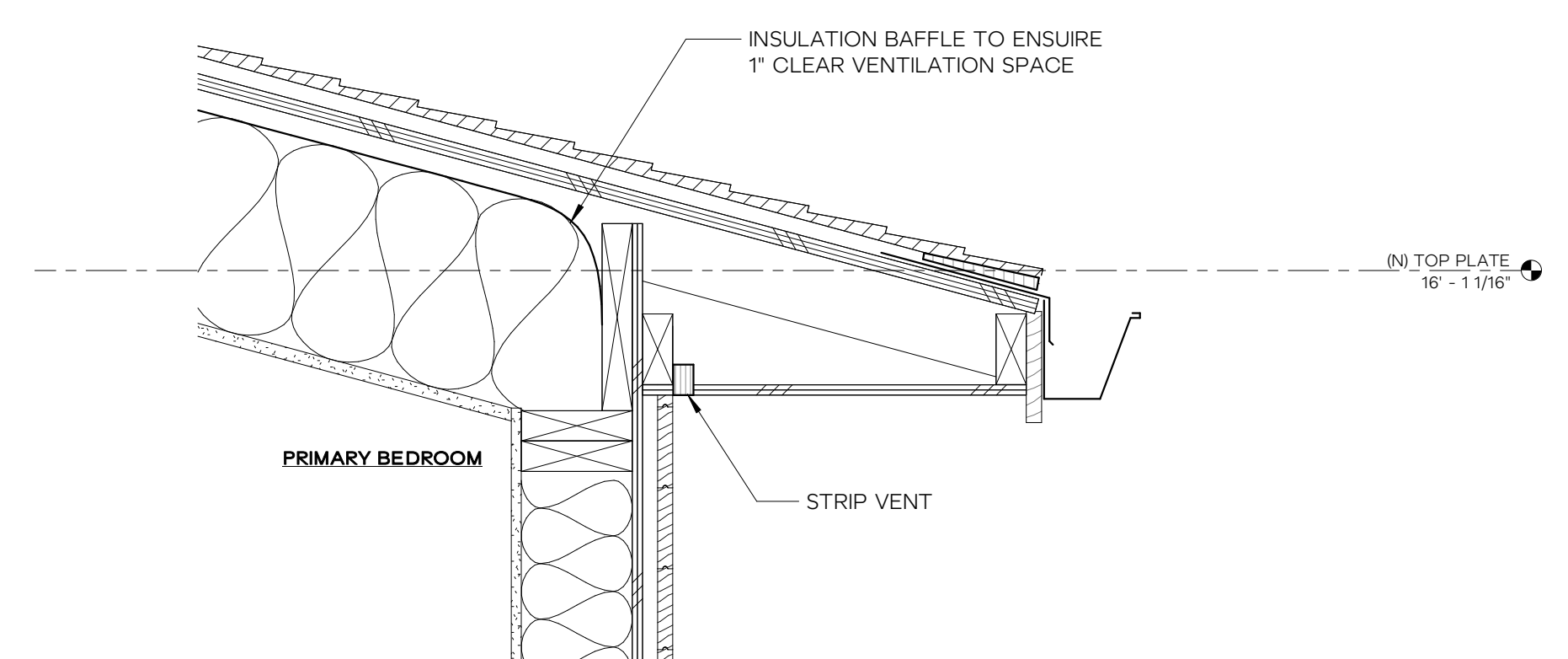
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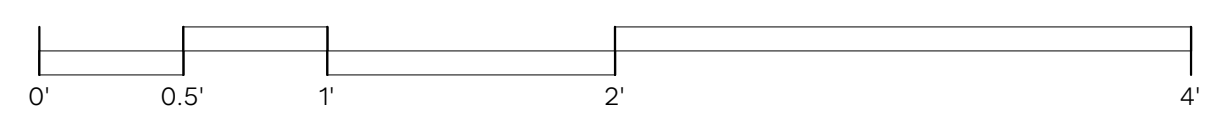
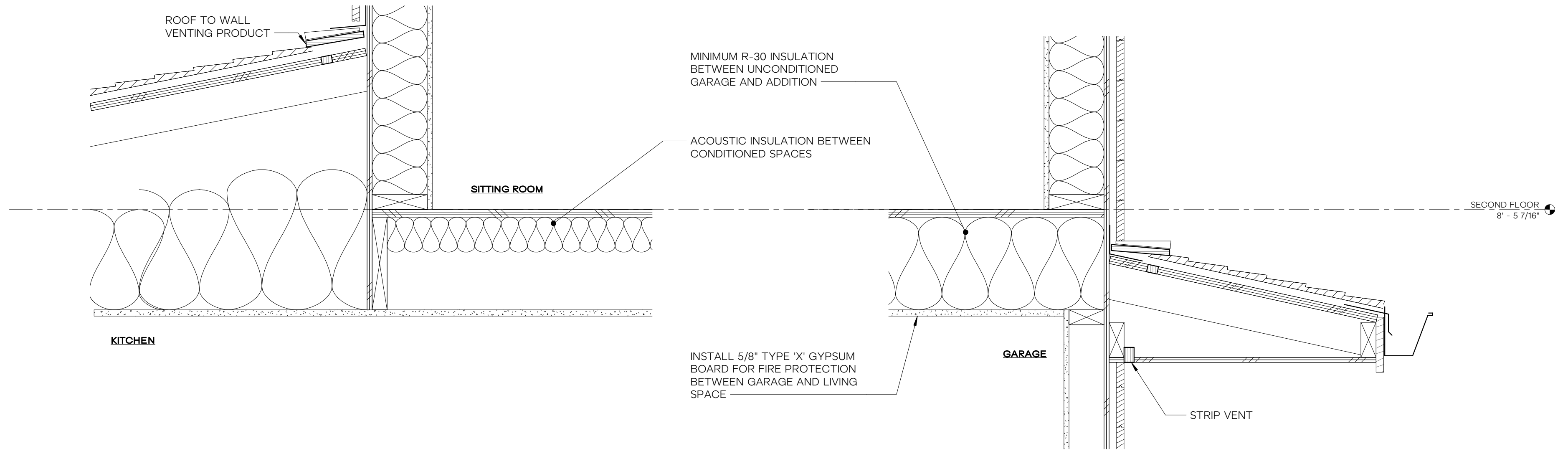
DATE	DESCRIPTION
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03.09.2023	PERMIT SUBMITTAL



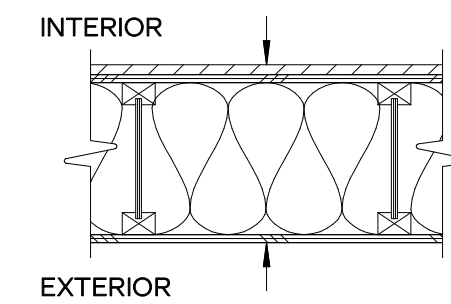
2 WALL AT EXISTING ROOF TO NEW ADDITION
1 1/2" = 1'-0"



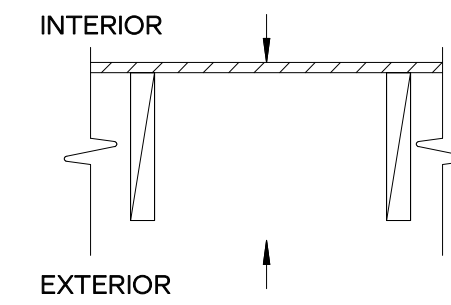
1 WALL AT GARAGE AND NEW SECOND FLOOR
1 1/2" = 1'-0"



FLOOR ASSEMBLIES

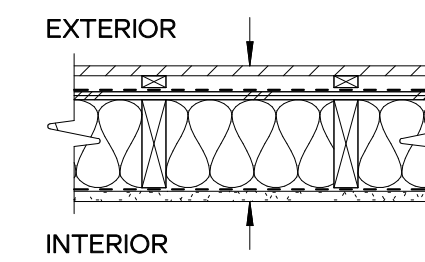


- F.1 - NEW INSULATED FLOOR**
- FINISH PER SPECIFICATION
 - PLYWOOD SUBFLOOR PER STRUCTURAL
 - JOISTS PER STRUCTURAL
 - R-30 BATT INSULATION
 - PLYWOOD SOFFIT

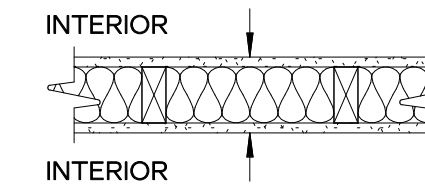


- F.2 - DECK FLOOR**
- DECKING INSTALLED WITH 1/8" SPACES BETWEEN BOARDS
 - JOISTS PER STRUCTURAL

WALL ASSEMBLIES

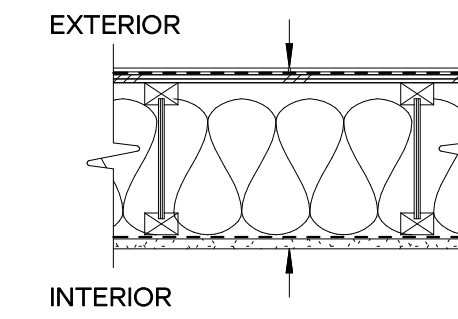


- W.1 - EXTERIOR WALL**
- SIDING PER ELEVATIONS
 - 1X FURRING
 - TYPE III WRB PER SPECIFICATIONS
 - PLYWOOD SHEATHING
 - 2x6 FRAMING
 - R-21 INSULATION PER SPECIFICATIONS
 - AIR & TYPE III VAPOR BARRIER PER SPECIFICATIONS
 - GYPSUM WALL BOARD



- W.2 - NEW INTERIOR WALL**
- FINISH PER SPECIFICATIONS
 - GYPSUM WALL BOARD
 - 2x4 FRAMING, UNO
 - ACOUSTIC INSULATION PER PLANS
 - GYPSUM WALL BOARD
 - FINISH PER SPECIFICATIONS

ROOF ASSEMBLIES



- R.1 VENTED SLOPED ROOF**
- MATCH EXISTING SHINGLES
 - ICE & WATER SHIELD
 - PLYWOOD SHEATHING
 - PREMANUFACTURED TRUSSES
 - 1" VENTILATION GAP
 - INSULATION PER G1.01
 - TYPE II VAPOR BARRIER
 - GYPSUM CEILING BOARD
 - INTERIOR FINISH

WINDOW SCHEDULE

MARK	LOCATION	WIDTH	HEIGHT	GLAZING AREA	Head Height	EXTERIOR	EGRESS	SAFETY GLAZING	U FACTOR	NOTES
201	PRIMARY BEDROOM	2' - 0"	3' - 0"	6 SF	3' - 10 7/8"	●			0.00	
202	PRIMARY BEDROOM	2' - 0"	3' - 0"	6 SF	3' - 10 7/8"	●			0.00	
203	TOILET ROOM	2' - 0"	3' - 0"	6 SF	6' - 0"	●			0.00	
204	PRIMARY BATHROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	●			0.00	
205	PRIMARY BATHROOM	5' - 6"	3' - 0"	17 SF	3' - 10 7/8"	●			0.00	
206	PRIMARY BATHROOM	5' - 6"	3' - 0"	17 SF	3' - 10 7/8"	●		●	0.00	
207	PRIMARY BATHROOM	5' - 0"	3' - 0"	15 SF	3' - 10 7/8"	●		●	0.00	
208	SITTING ROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	●			0.00	
209	HALL	8' - 1 1/2"	3' - 3 1/2"	27 SF	6' - 3 1/2"	●			0.00	
210	HALL	5' - 0"	3' - 0"	15 SF	6' - 0"	●			0.00	
211	BEDROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	●	●		0.00	
212	BEDROOM	8' - 1 1/2"	3' - 3 1/2"	27 SF	6' - 3 1/2"	●			0.00	

A9.0 - DOOR SCHEDULE

MARK	LOCATION	WIDTH	HEIGHT	DOOR		GLAZING AREA	EXTERIOR	U FACTOR	NOTES
				SIZE	THICKNES S				
201	BEDROOM	6' - 0"	6' - 8"	1 3/8"					
202	BEDROOM	2' - 6"	6' - 8"	1 3/8"					
203	SITTING ROOM	2' - 10"	6' - 8"	1 3/8"					
204	WALK-IN CLOSET	4' - 0"	6' - 8"	1 3/8"					
205	PRIMARY BEDROOM	2' - 10"	6' - 8"	1 3/8"					
206	PRIMARY BEDROOM	5' - 0"	6' - 8"	1 3/8"					
207	PRIMARY BEDROOM	15' - 0"	6' - 8"	1 3/8"	82 SF	●	0.28	PEL-N-242-02470-00001	
208	PRIMARY BEDROOM	3' - 0"	6' - 8"	1 1/2"					
209	LINEN	2' - 0"	6' - 8"	1 3/8"					
210	TOILET ROOM	3' - 0"	6' - 8"	1 1/2"					

WINDOW NOTES

1. WINDOW HEAD HEIGHTS MEASURED FROM TOP SHEATHING.
2. WINDOW SCHEDULE INDICATES WINDOW FRAME SIZES. VERIFY WITH ARCHITECT ALL WINDOW SIZES BEFORE FRAMING OPENINGS.
3. PROVIDE WINDOW SUBMITTALS TO ARCHITECT PRIOR TO ORDERING WINDOWS.
4. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS INDICATED OTHERWISE. ADJUST ROUGH OPENING HEIGHTS OR CUT DOWN DOORS AS NECESSARY (CONSULT WITH ARCHITECT AS NECESSARY).
5. SEE PROJECT SPECIFICATIONS FOR WINDOW MANUFACTURER AND OTHER INFORMATION.
6. CONTRACTOR TO ORDER EGRESS WINDOWS WITH PROPER EGRESS HARDWARE WHERE REQUIRED TO MEET CODE REQUIREMENTS.
7. CONTRACTOR TO VERIFY ALL EGRESS WINDOWS ORDERED MEET CURRENT CODE EGRESS REQUIREMENTS.
8. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

DOOR NOTES

1. DOOR SCHEDULE INDICATES DOOR PANEL SIZE.
2. VERIFY WITH ARCHITECT ALL DOOR SIZES BEFORE FRAMING OPENINGS.
3. ALL OPERATIONS NOTED ON FLOOR PLANS AND/OR ELEVATIONS. IF A DOOR KEY IS PROVIDED, IT IS FOR CONVENIENCE AND MAY NOT INDICATE ALL THE NECESSARY OPTIONS OF A DOOR.
4. CONTRACTOR TO CONFIRM ACTUAL DOOR SIZES AND ROUGH OPENING SIZES FOR ALL DOORS.
5. PROVIDE DOOR SUBMITTALS TO ARCHITECT PRIOR TO ORDERING DOORS.
6. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS NOTED OTHERWISE.
7. ALL GLAZING IN NEW DOORS TO BE APPROVED SAFETY-GLAZING. CONTRACTOR IS TO VERIFY THAT ALL DOORS REQUIRING SAFETY GLAZING ARE MANUFACTURED AND INSTALLED WITH THE CORRECT GLAZING.
8. SEE PROJECT SPECIFICATIONS FOR DOOR MANUFACTURER AND OTHER INFORMATION.
9. ALL EXTERIOR DOORS AND DOORS TO UNHEATED SPACES SHALL BE FULLY WEATHERSTRIPPED.
10. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

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ASSEMBLIES // SCHEDULES

A9.11

General Structural Notes

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

CRITERIA

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION).

2. DESIGN LOADING CRITERIA:

RESIDENTIAL – ONE AND TWO-FAMILY DWELLINGS
 FLOOR LIVE LOAD 40 PSF
 ROOF
 ROOF LIVE LOAD 25 PSF
 MISCELLANEOUS LOADS
 DECKS 1.5 AREA SERVED PSF

DEFLECTION CRITERIA
 LIVE LOAD DEFLECTION L/360
 TOTAL LOAD DEFLECTION L/240

ENVIRONMENTAL LOADS
 SNOW Ce=1.0, Is=1.0, Ct=1.0, Cs=1.0, Pg=25 PSF, Pf=25 PSF
 WIND C_wi=0.18, 110 MPH, RISK CATEGORY II, EXPOSURE "B", KZT=1.30
 EARTHQUAKE ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE
 LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS, V_s=17.9 KIPS
 SITE CLASS=D, S_s=147, S_{ds}=117, S1=51, SD1=57, Cs=0.180
 SD C D (DEFAULT), I_e=1.0, R=6.5

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.

4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.

6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".

7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.

9. ALL STRUCTURAL SYSTEMS, WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERRECTED, SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

QUALITY ASSURANCE

10. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.

EXPANSION BOLTS AND THREADED EXPANSION INSERTS PER MANUFACTURER
 EPOXY GROUTED INSTALLATIONS PER MANUFACTURER

PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS.

CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.

11. UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705.12 OF THE INTERNATIONAL BUILDING CODE.

A. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR FIELD GLUING, NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE, RESISTING SYSTEM INCLUDING SHEAR WALLS, DIAPHRAGMS, DRAG STRUTS, BRACES AND HOLD-DOWNS.

GEOTECHNICAL

12. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

ALLOWABLE SOIL PRESSURE. 1500 PSF
 LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED) 55 PCF/35 PCF
 ALLOWABLE PASSIVE EARTH PRESSURE (FS OF 1.5 INCLUDED). 350 PCF
 COEFFICIENT OF FRICTION (FS OF 1.5 INCLUDED). 0.45
 SEISMIC SURCHARGE PRESSURE (UNIFORM LOAD) 8H PSF

RENOVATION

12. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.

13. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.

15. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

16. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2,500 PSI.

17. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.

18. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, Fy = 60,000 PSI.

19. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 318R-18 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

20. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
 FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER). 1-1/2"

21. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.

22. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM).

ANCHORAGE

23. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.

24. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-XP" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2508. MINIMUM BASE MATERIAL TEMPERATURE IS 50 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

25. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "AT-XP" AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH IAMPO REPORT NO. ER-0281. MINIMUM BASE MATERIAL TEMPERATURE IS 14 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

26. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

WOOD

27. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WMPA STANDARD, WESTERN LUMBER GRADING RULES 2017. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLATES & MISC. FRAMING:		DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2

28. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS, WITH SPANS OVER 30', TO 3,500' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.

29. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E WS)	Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSI
LVL (2.0E-2600FB WS)	Fb = 2600 PSI, E = 2000 KSI, Fv = 285 PSI
LSL (1.55E)	Fb = 2325 PSI, E = 1550 KSI, Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

30. PREFABRICATED PLYWOOD WEB JOISTS SHALL BE DESIGNED BY THE MANUFACTURER FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS AND SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED SPECIFICATIONS. ALL NECESSARY BRIDGING, BLOCKING, BLOCKING PANELS, STIFFENERS, ETC., SHALL BE DETAILED AND FURNISHED BY THE MANUFACTURER. SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. DESIGN SUBMITTALS SHALL BEAR THE STAMP AND SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER, STATE OF WASHINGTON. PERMANENT AND TEMPORARY BRIDGING SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS

THE DESIGN SHOWN ON THE PLANS IS BASED ON JOISTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION. IN ACCORDANCE WITH ICC-ES REPORT ESR-1157, ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES

31. PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:

TOP CHORD LIVE LOAD	25 PSF
TOP CHORD DEAD LOAD	10 PSF
BOTTOM CHORD DEAD LOAD	5 PSF
TOTAL LOAD	40 PSF

WIND UPLIFT (TOP CHORD) 5 PSF
 BOTTOM CHORD LIVE LOAD 10 PSF
 (BOTTOM CHORD LIVE LOAD DOES NOT ACT CONCURRENTLY WITH THE ROOF LIVE LOAD)

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANGNAIL OR EQUAL). SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPs, VALLEYS, ETC., SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

32. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

33. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

34. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.

35. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

WOOD TREATMENT HAS NO AMMONIA CARRIER CONTAINS AMMONIA CARRIER	CONDITION INTERIOR DRY INTERIOR DRY	PROTECTION G90 GALVANIZED G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653
CONTAINS AMMONIA CARRIER CONTAINS AMMONIA CARRIER AZCA	INTERIOR WET EXTERIOR ANY	TYPE 304 OR 316 STAINLESS TYPE 304 OR 316 STAINLESS TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

36. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL T1 JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM)AS MEMBERS CONNECTED.

37. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d BOX	3-1/2"	0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS – PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE

DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND INSTALLED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

38. NOTCHES AND HOLES IN WOOD FRAMING:

A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.

39. WOOD FRAMING NOTES—THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

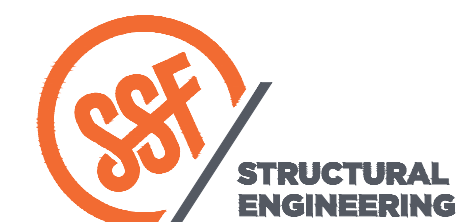
ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 x 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL)APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES)AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD

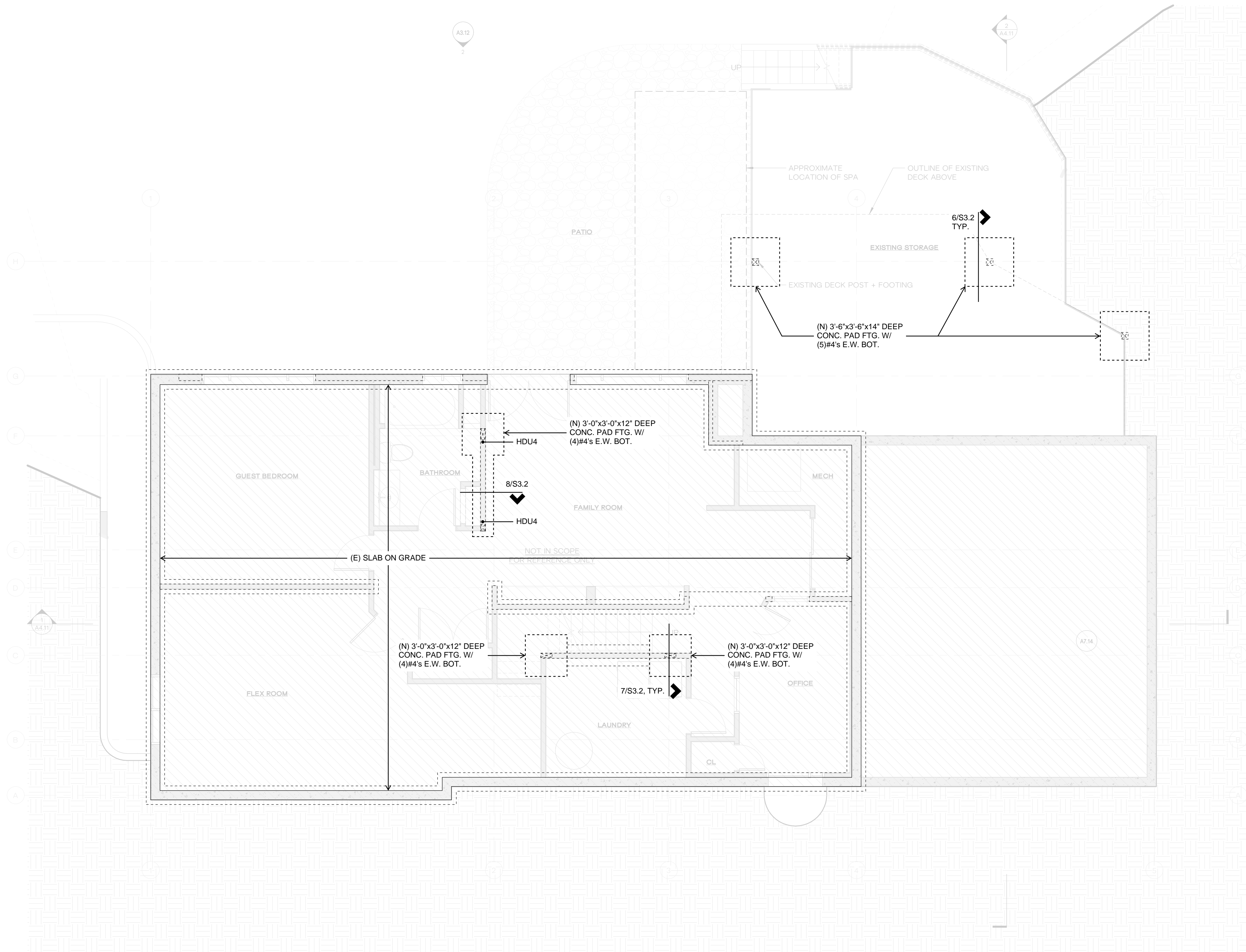
WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER, MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.



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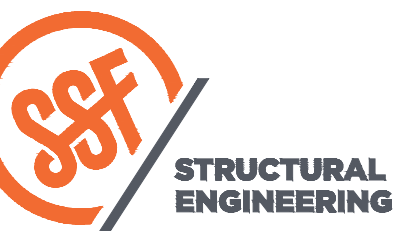
PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- VERIFY EXISTING CONTINUOUS CONCRETE FOOTING AROUND THE PERIMETER OF THE EXISTING STRUCTURE.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

LEGEND

- STRUCTURAL WALL OR POST ABOVE
- NEW STEM WALL AND FOOTING
- EXISTING STEM WALL AND FOOTING
- HDUx HOLD-DOWN PER 3/S4.1

FOUNDATION PLAN



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 DRAWN: JDT
 CHECKED: JDT
 APPROVED: RJA

REVISIONS:

NO.	DESCRIPTION

DPD:

PROJECT TITLE:
Kaempf Residence
 8238 SE 72nd St
 Mercer Island, WA 98040

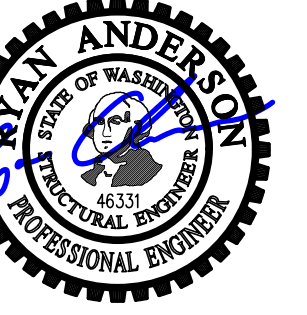
ARCHITECT:
HERE architecture + interiors
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 PH 425.830.2360
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ISSUE:
Permit

SHEET TITLE:
Foundation Plan

SCALE: 1/4" = 1'-0" U.N.O.
 DATE: February 22, 2023
 PROJECT NO: 13021-2022-03
 SHEET NO:

S2.1



DESIGN:	JDT
DRAWN:	JDT
CHECKED:	JDT
APPROVED:	RJA

REVISIONS:

DPD:

PROJECT TITLE:
Kaempf Residence
8238 SE 72nd St
Mercer Island, WA 98040

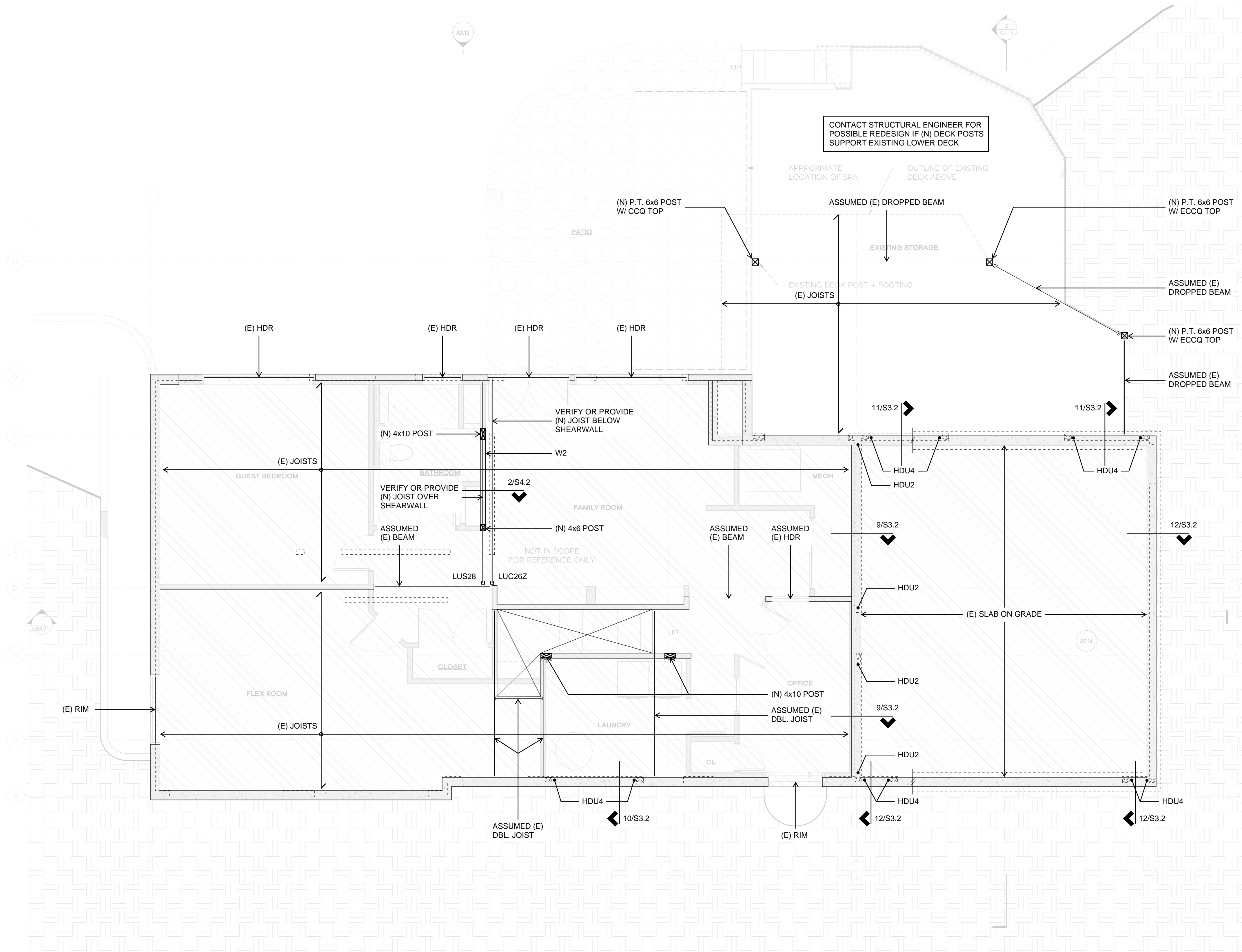
ARCHITECT:
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ISSUE:
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SHEET TITLE:
First Floor Framing Plan

SCALE:
1/4" = 1'-0" U.N.O.
DATE:
February 22, 2023
PROJECT NO:
13021-2022-03
SHEET NO:

S2.2



PLAN NOTES

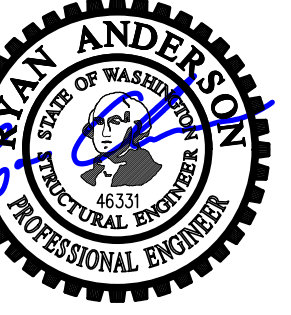
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- W # INDICATES NEW SHEAR WALL. SEE 8/S4.1 AND 12/S4.1 FOR CONSTRUCTION REQUIREMENTS.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- VERIFY EXISTING CONTINUOUS CONCRETE FOOTING AROUND THE PERIMETER OF THE EXISTING STRUCTURE.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

LEGEND

	NEW STRUCTURAL WALL OR POST BELOW		HOLDOWN PER 3/S4.1
	EXISTING STRUCTURAL WALL OR POST BELOW		HANGER
	STRUCTURAL WALL OR POST ABOVE		
	EXISTING STEM WALL AND FOOTING		
	SPAN DIRECTION		
	EXTENT OF FRAMING		
	EXISTING HEADER OR BEAM		
	NEW HEADER OR BEAM		
	SHEARWALL PER 8/S4.1 AND 12/S4.1		

FIRST FLOOR FRAMING PLAN





DESIGN: JDT
DRAWN: JDT
CHECKED: JDT
APPROVED: RJA

REVISIONS:

DPD:

PROJECT TITLE:

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SHEET TITLE:

Second Floor & Low Roof Framing Plan

SCALE:

1/4" = 1'-0" U.N.O.

DATE:

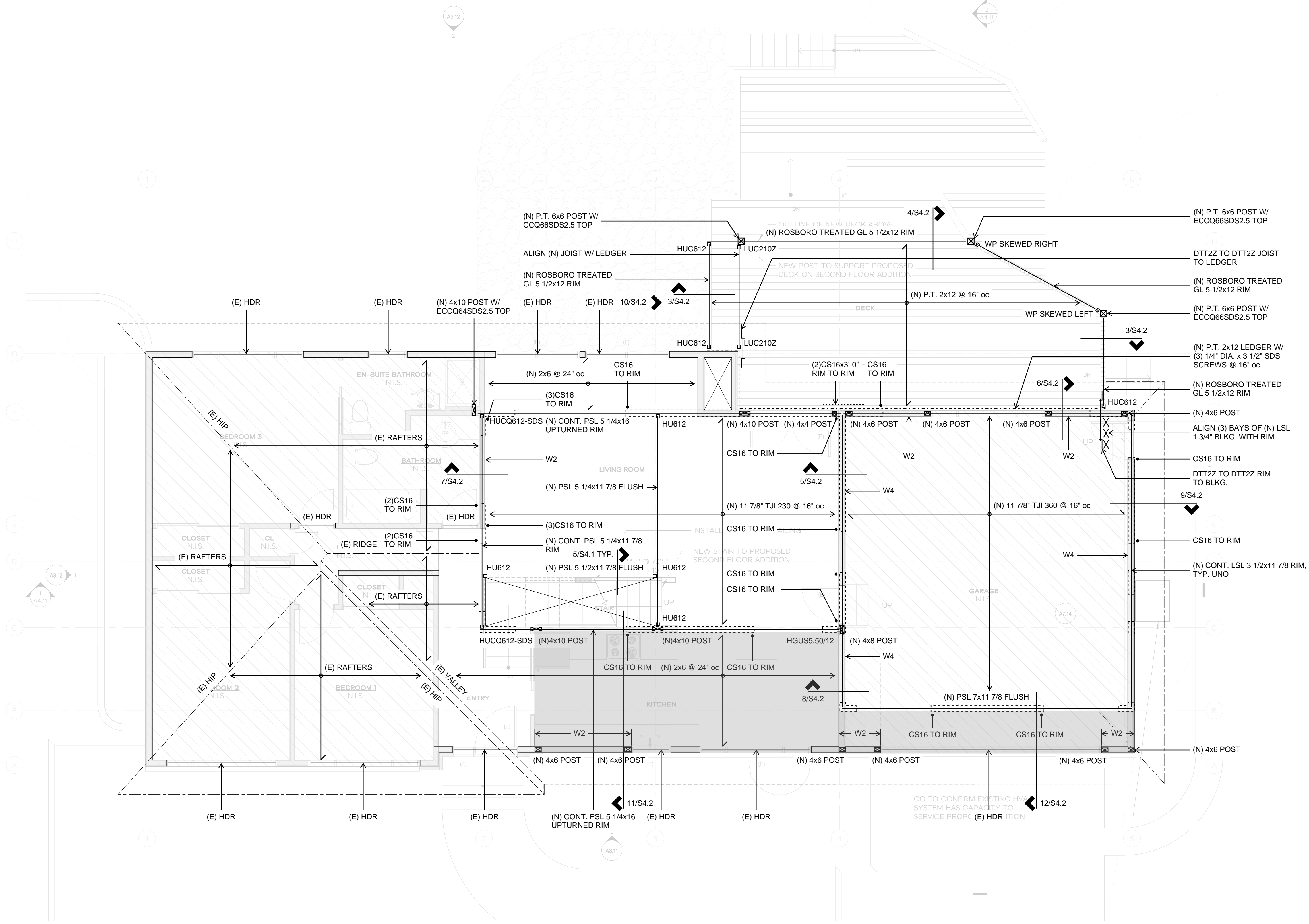
February 22, 2023

PROJECT NO:

13021-2022-03

SHEET NO:

S2.3



PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- NEW FLOOR SHEATHING SHALL BE 3/4\" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24), FACE GRAIN PERPENDICULAR TO FLOOR FRAMING. NAIL AT ALL FRAMED PANEL EDGES WITH 8D AT 6\" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12\" O.C.
- NEW FLOOR JOISTS SHALL BE 11 7/8\" TJI 230 AT 16\" O.C UNLESS NOTED OTHERWISE ON PLANS.
- PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
- W # INDICATES NEW SHEAR WALL. SEE 8/S4.1 AND 12/S4.1 FOR CONSTRUCTION REQUIREMENTS.
- MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

LEGEND

- | | | | |
|--|--|--|---|
| | NEW STRUCTURAL WALL OR POST BELOW | | HOLDOWN STRAP PER 4/S4.1 |
| | EXISTING STRUCTURAL WALL OR POST BELOW | | HANGER |
| | STRUCTURAL WALL OR POST ABOVE | | BLOCKED FLOOR SHEATHING: PROVIDE 2x4 FLAT BLOCKING AT ALL UNFRAMED PANEL EDGES. NAIL AT ALL FRAMED PANEL EDGES WITH 8D AT 4\" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12\" O.C. |
| | SPAN DIRECTION | | |
| | EXTENT OF FRAMING | | |
| | EXISTING HEADER OR BEAM | | |
| | NEW HEADER OR BEAM | | |
| | Wx SHEARWALL PER 8/S4.1 AND 12/S4.1 | | |

SECOND FLOOR AND LOW ROOF FRAMING PLAN





DESIGN:	JDT
DRAWN:	JDT
CHECKED:	JDT
APPROVED:	RJA

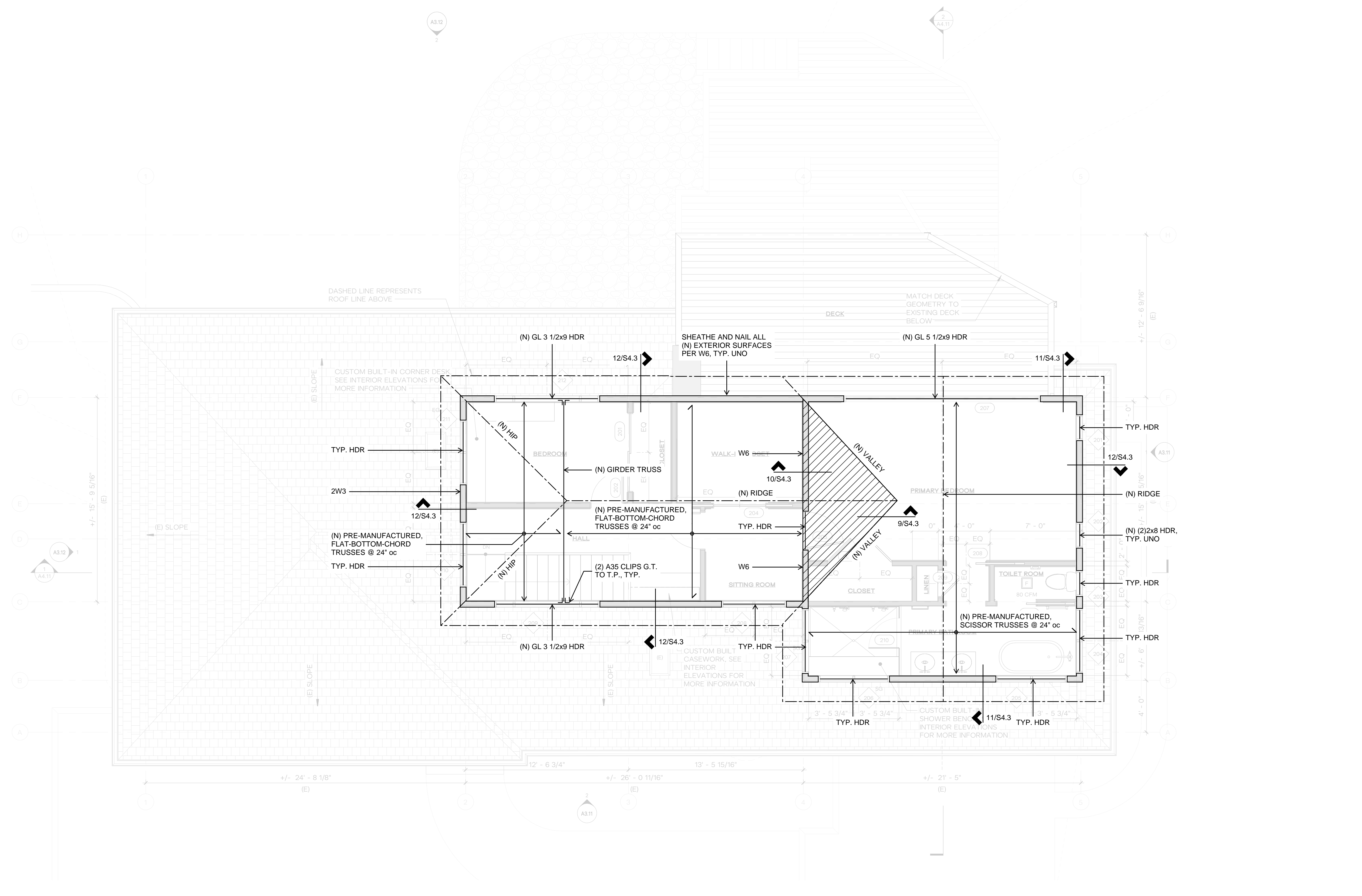
REVISIONS:	
DPD:	

PROJECT TITLE:
Kaempff Residence
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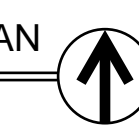
Roof Framing Plan
SCALE: 1/4" = 1'-0" U.N.O.
DATE: February 22, 2023
PROJECT NO: 13021-2022-03
SHEET NO:

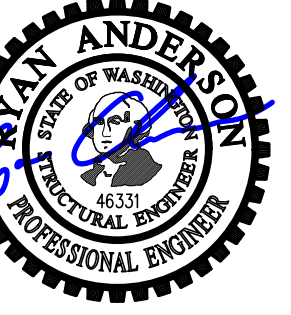


- PLAN NOTES**
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 - NEW ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO ROOF FRAMING. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8D AT 6" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.
 - NEW ROOF FRAMING SHALL BE PREFABRICATED ROOF TRUSSES AT 24" O.C. TRUSS DESIGN TO BE PROVIDED BY OTHERS. SEE STRUCTURAL NOTES FOR DESIGN REQUIREMENTS.
 - NEW HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2)2x8 MINIMUM. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE ON PLANS. SEE DETAIL 6/S4.1 FOR TYPICAL INSTALLATION.
 - PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL NEW BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
 - W # INDICATES NEW SHEAR WALL. SEE 8/S4.1 AND 12/S4.1 FOR CONSTRUCTION REQUIREMENTS.
 - ALL NEW EXTERIOR SURFACES SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
 - PROVIDE H1 HURRICANE TIE AT EACH NEW TRUSS WHERE IT BEARS ON EXTERIOR WALL.
 - MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
 - SPlice ALL NEW TOP PLATE SPLICES PER DETAIL 10/S4.1.
 - REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

- LEGEND**
- NEW STRUCTURAL WALL OR POST BELOW
 - SPAN DIRECTION
 - EXTENT OF FRAMING
 - NEW HEADER OR BEAM
 - SHEARWALL PER 8/S4.1 AND 12/S4.1
 - NEW 2x6 OVERFRAMING AT 24" OC

ROOF FRAMING PLAN





DESIGN: JDT
 DRAWN: JDT
 CHECKED: JDT
 APPROVED: RJA

REVISIONS:

DPD:

PROJECT TITLE:
Kaempff Residence
 8238 SE 72nd St
 Mercer Island, WA 98040

ARCHITECT:
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 PH 425.830.2360
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ISSUE:
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SHEET TITLE:
Concrete Details

SCALE:
 3/4" = 1'-0" U.N.O.
 DATE:
 February 22, 2023
 PROJECT NO:
 13021-2022-03
 SHEET NO:

S3.2

1

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4

5

6

7

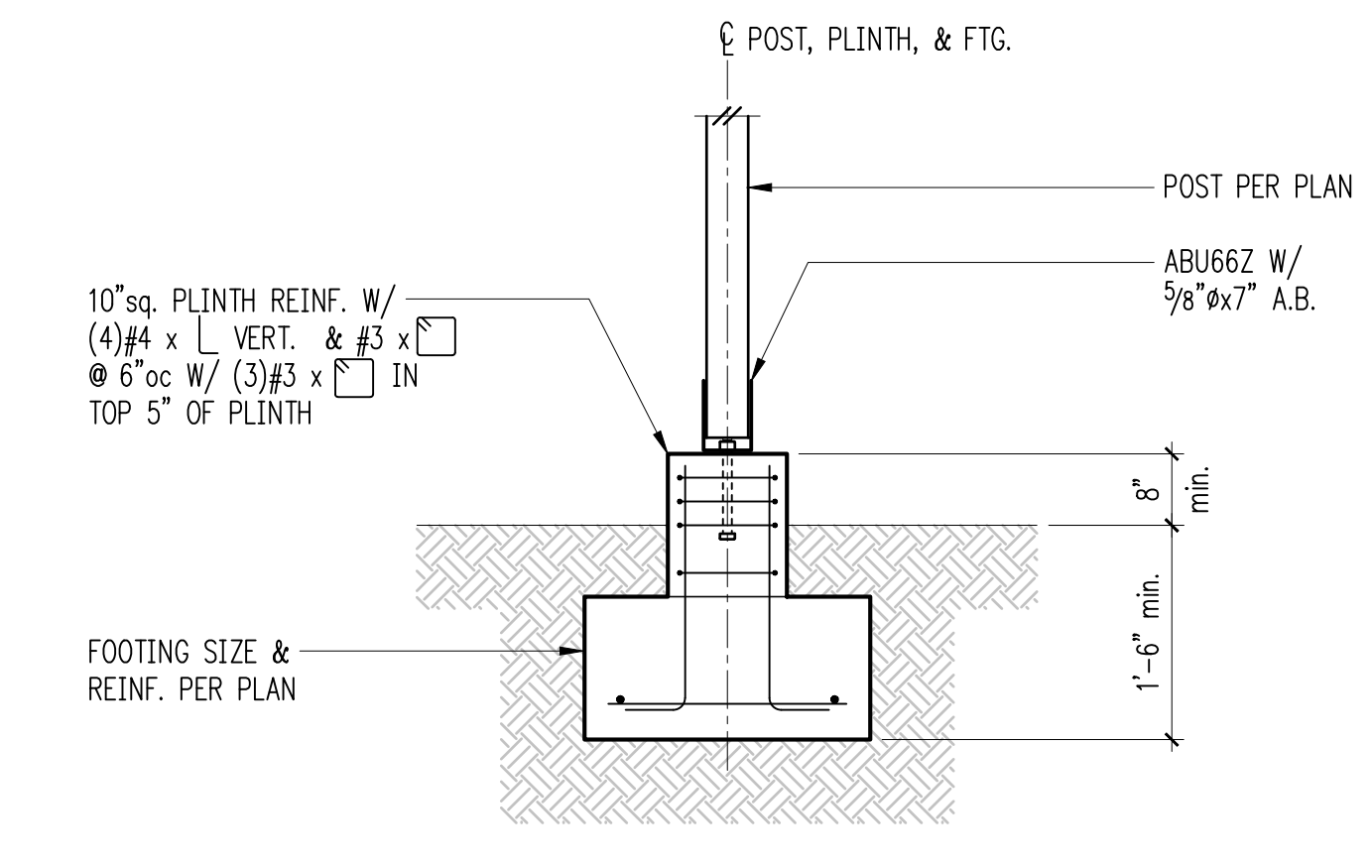
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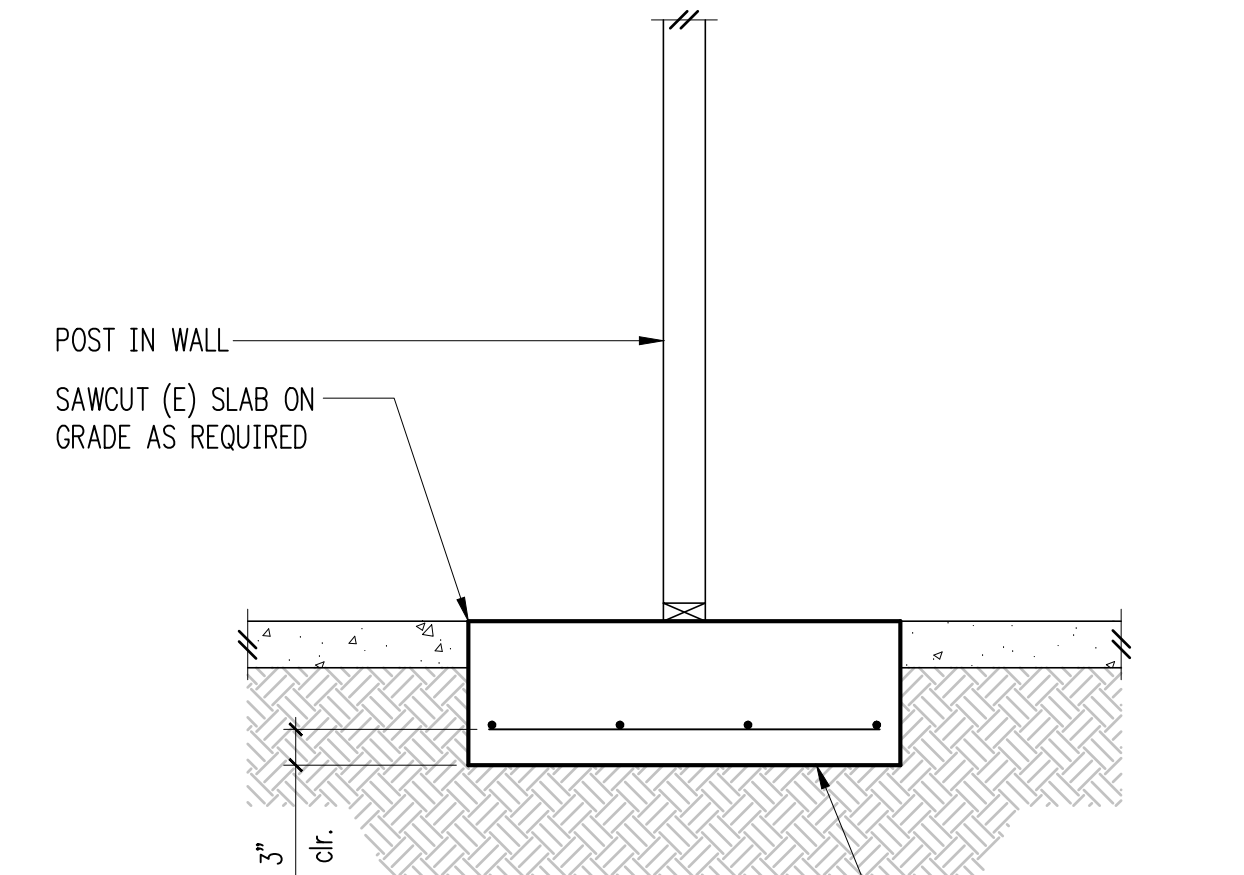
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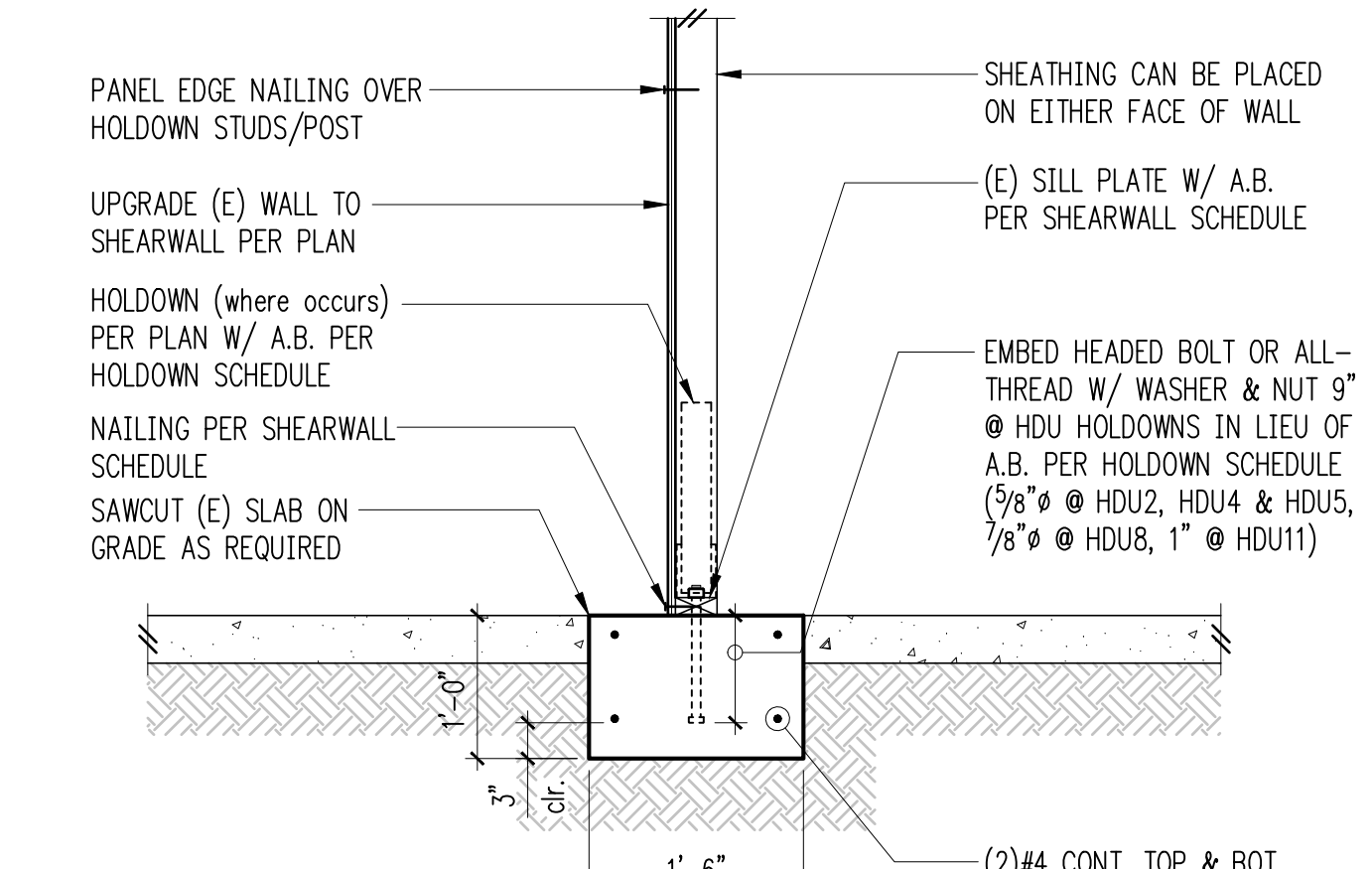
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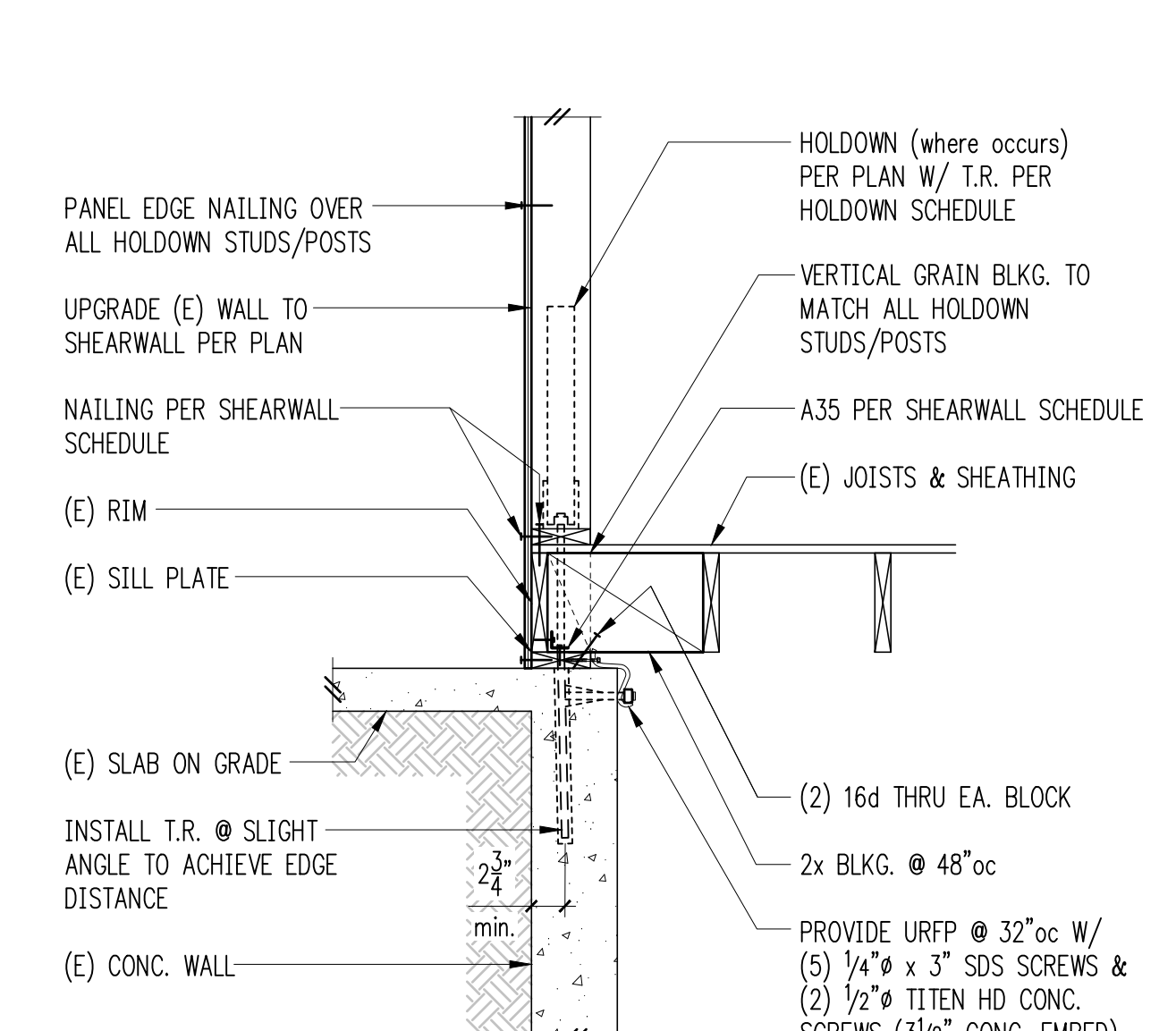
• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



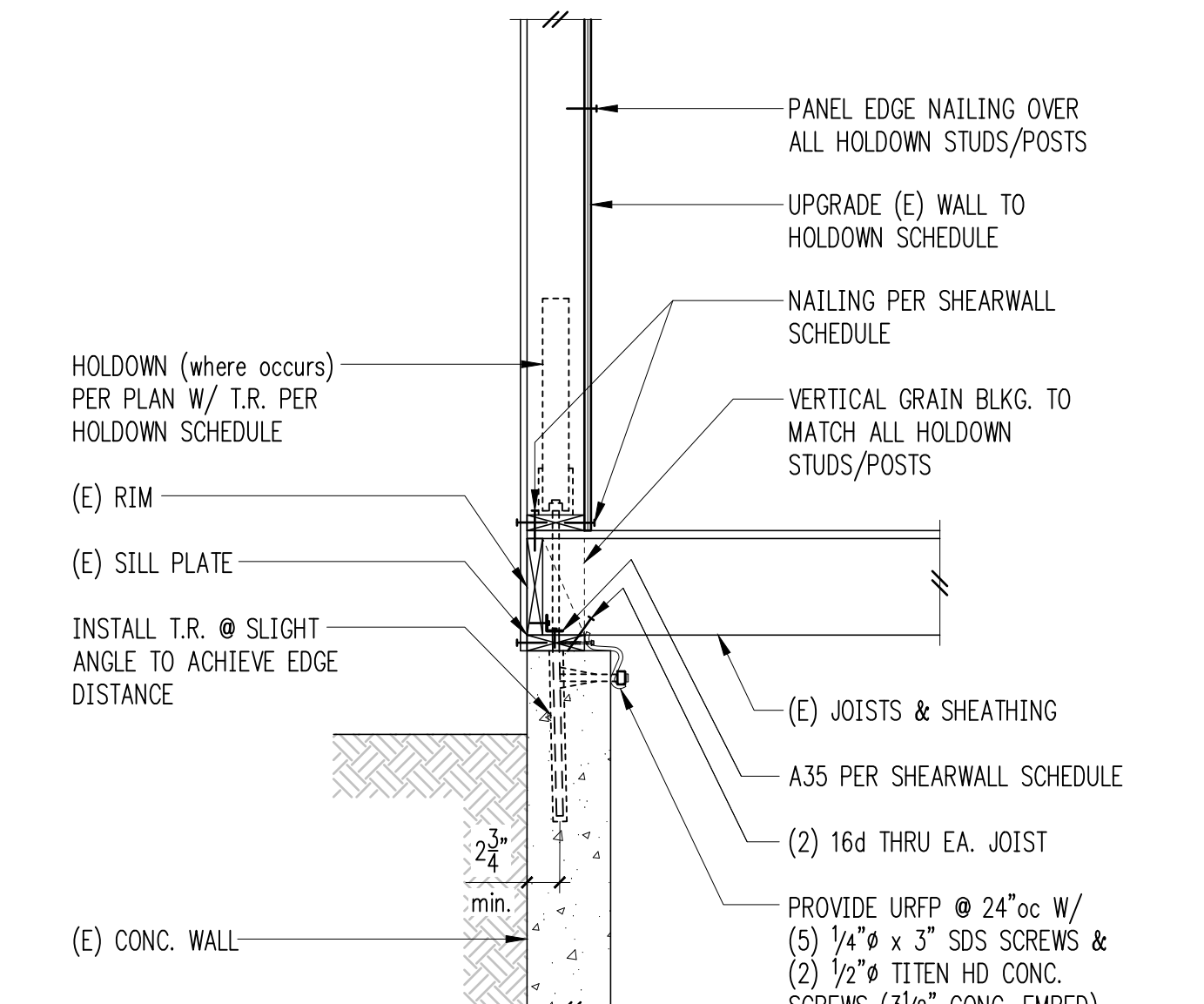
• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



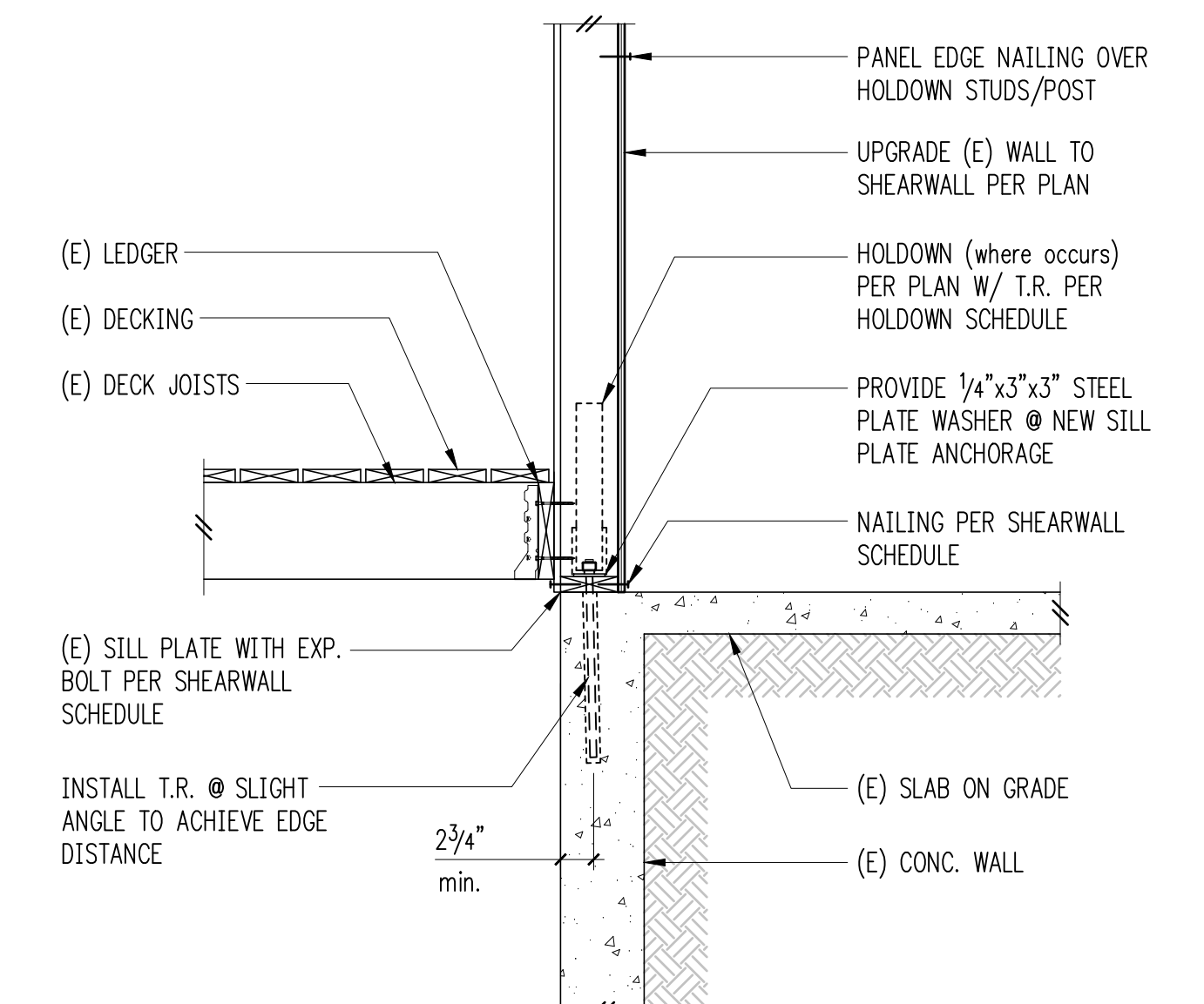
• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



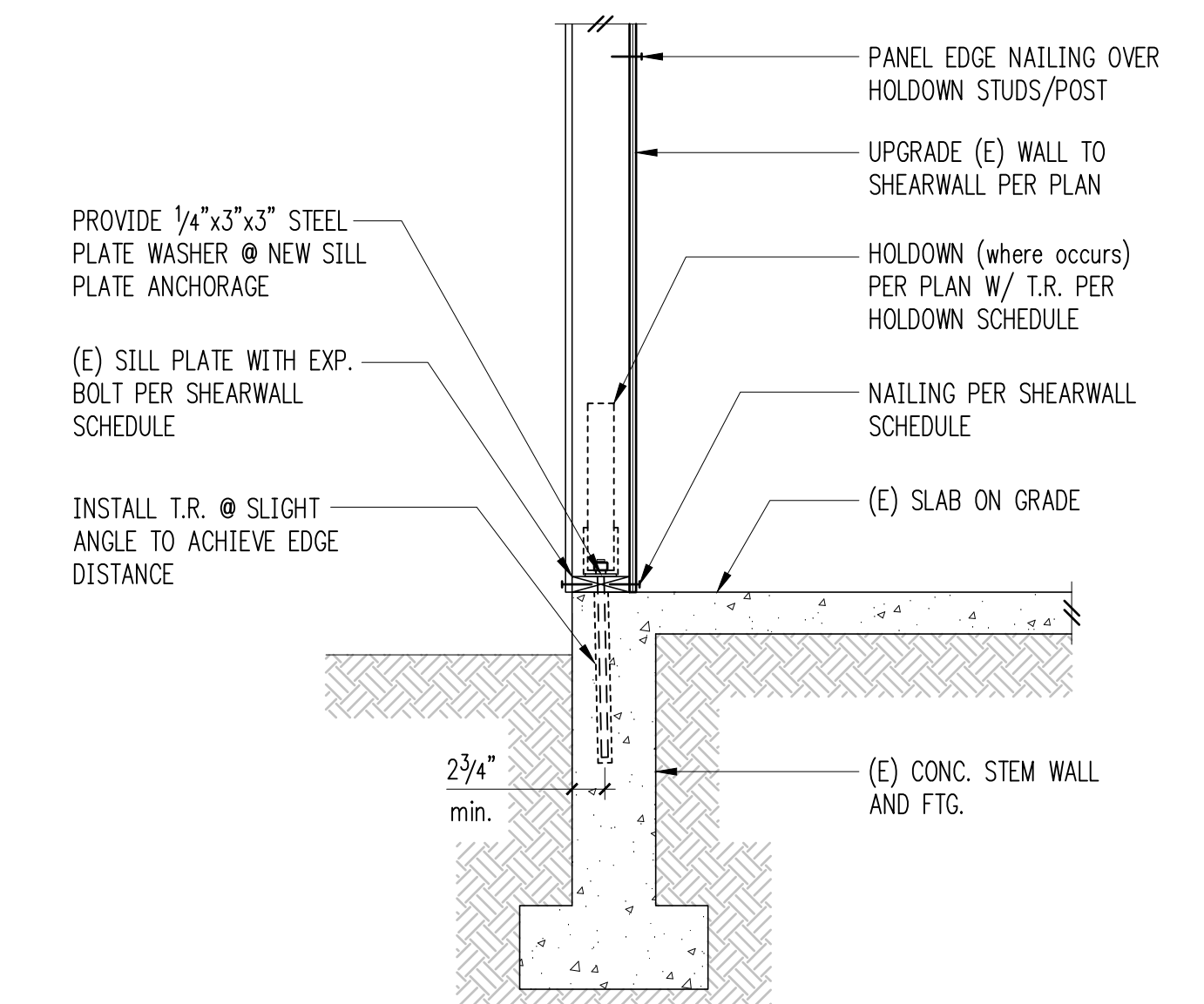
• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



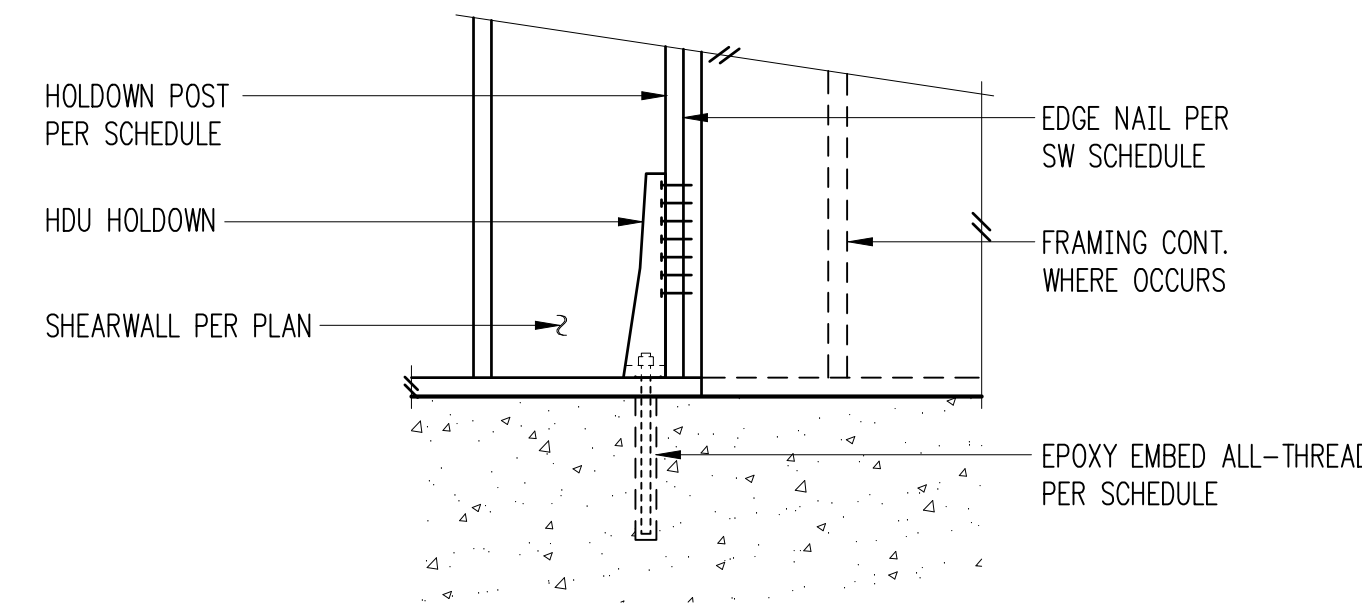
• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



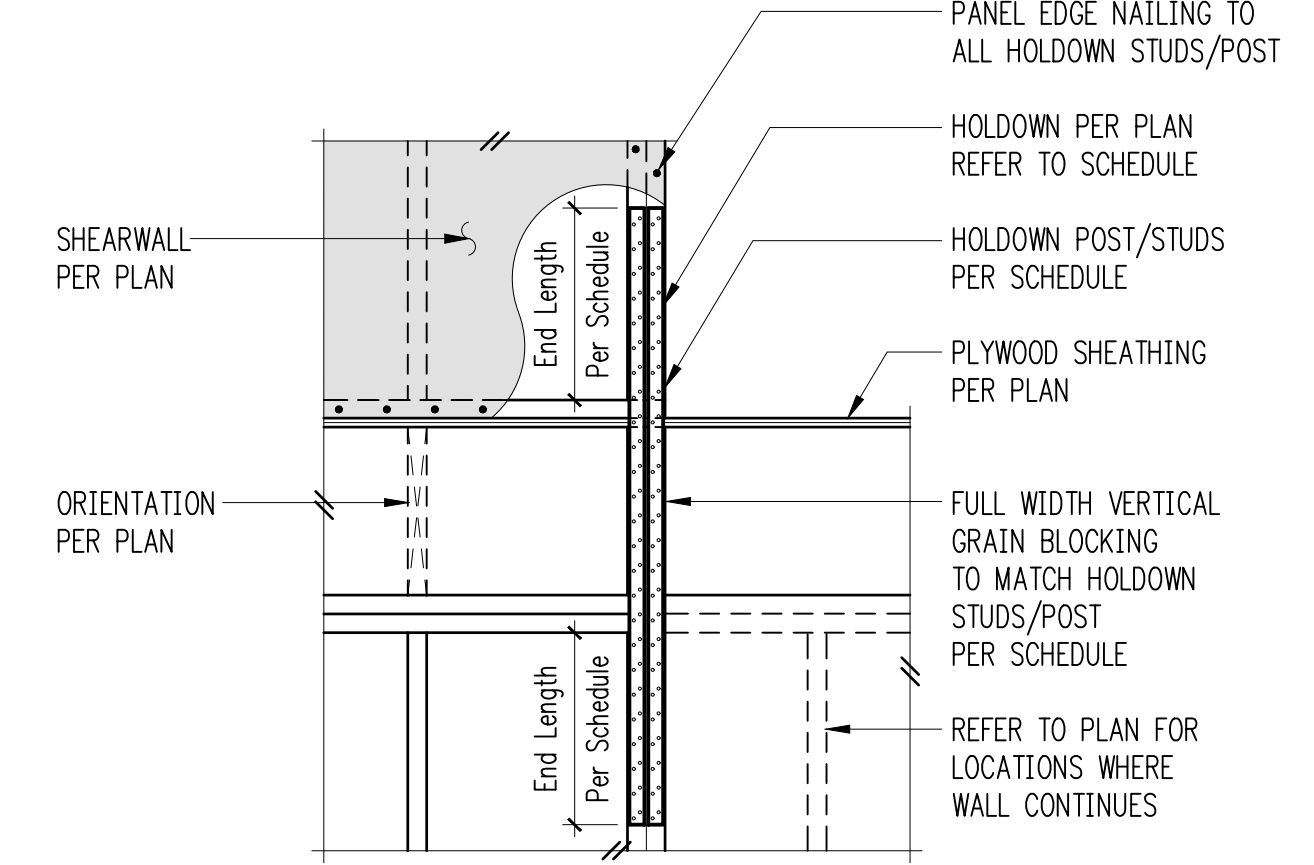
• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



Hold-down Schedule

Plan Mark	Screws	Threaded Rod	T.R. Embed	Hold-down Post ^①	
				if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2 1/2"	5/8"Ø	12"	(2) 2x4	(2) 2x6
HDU4-SDS2.5	(10)SDS 1/4"x2 1/2"	5/8"Ø	16"	4x4	4x6
HDU5-SDS2.5	(14)SDS 1/4"x2 1/2"	5/8"Ø	20"	4x6	4x6

① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.



Hold-down Strap Schedule

Plan Mark	End Length	#Nails Ea. End Length	Hold-down Studs/Post	
			if 2x4	if 2x6
CS16	1'-2"	(13) 8d	(1) 2x4	(1) 2x6

1

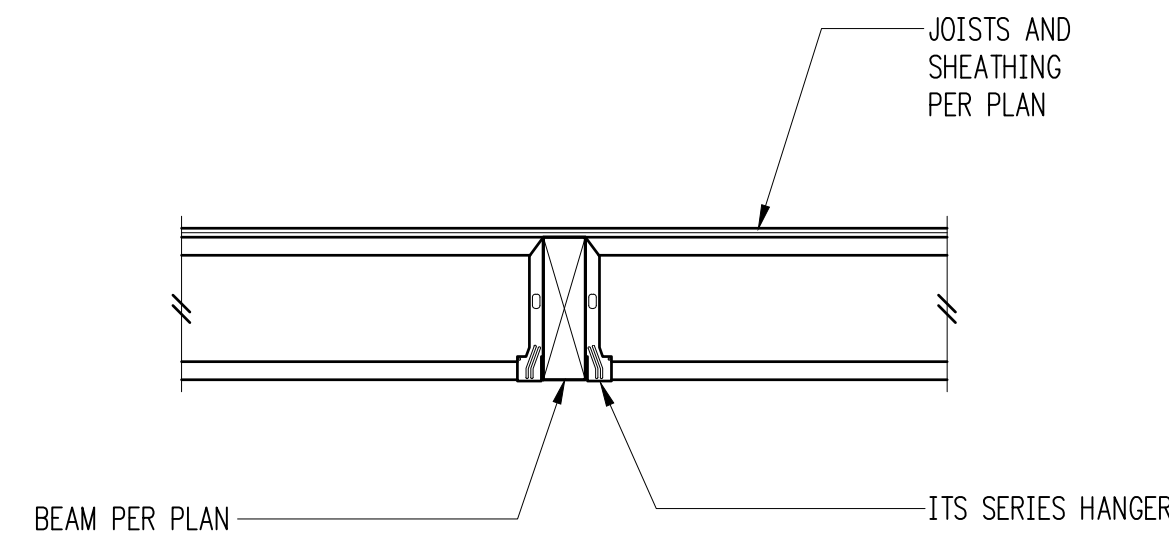
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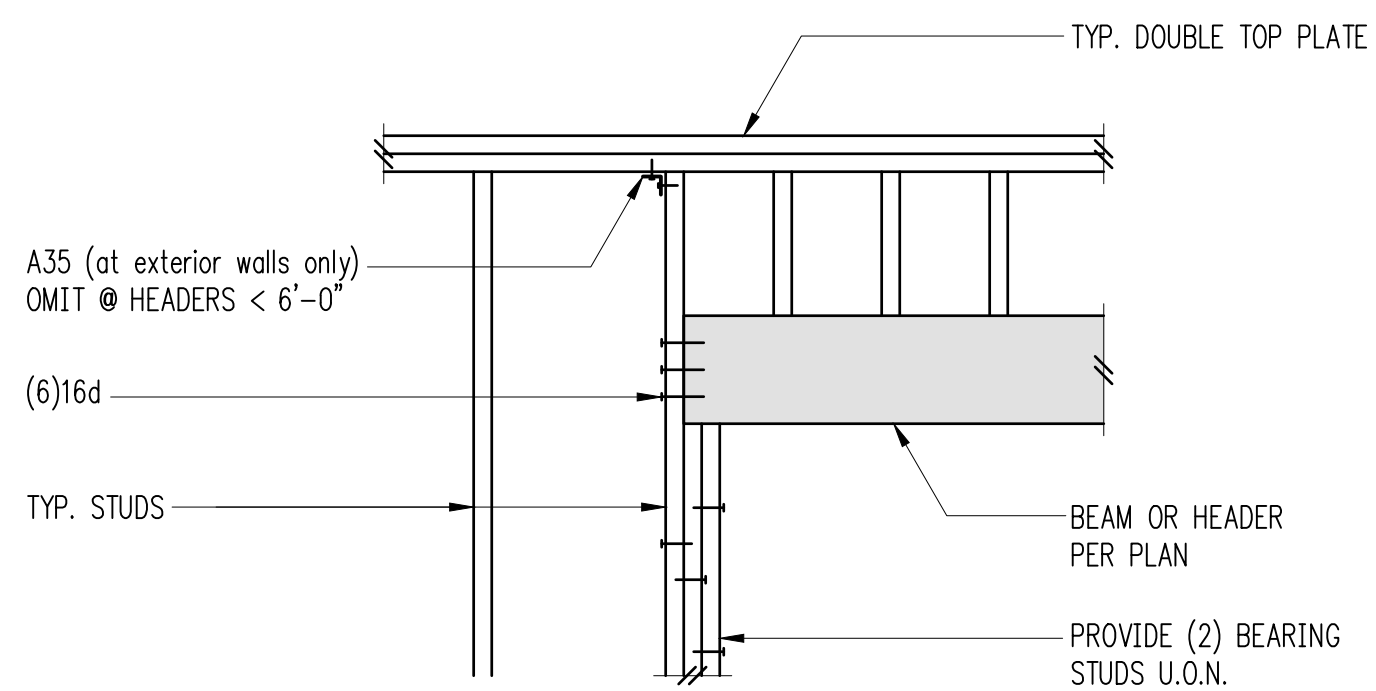
4

Typical HDU Hold-down

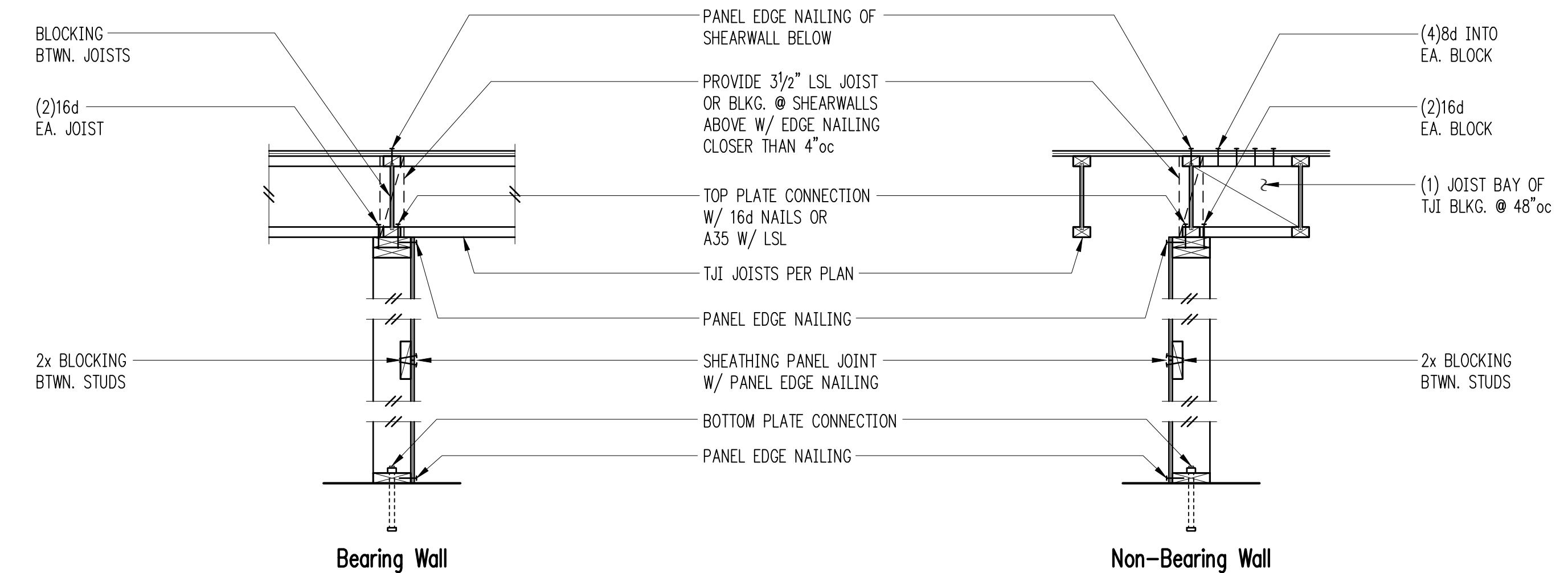
Typical Hold-down Schedule



Typical Flush Beam 5



Typical Header Support w/2 Bearing Studs 6



NOTE: SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, NOT OTHERWISE NOTED

Typical Shearwall Construction 8

REVISIONS:

No.	Description

PROJECT TITLE:

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Mercer Island, WA 98040

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SHEET TITLE:

Typical Wood Framing Details

SCALE: 3/4" = 1'-0" U.N.O.

DATE: February 22, 2023

PROJECT NO: 13021-2022-03

SHEET NO:

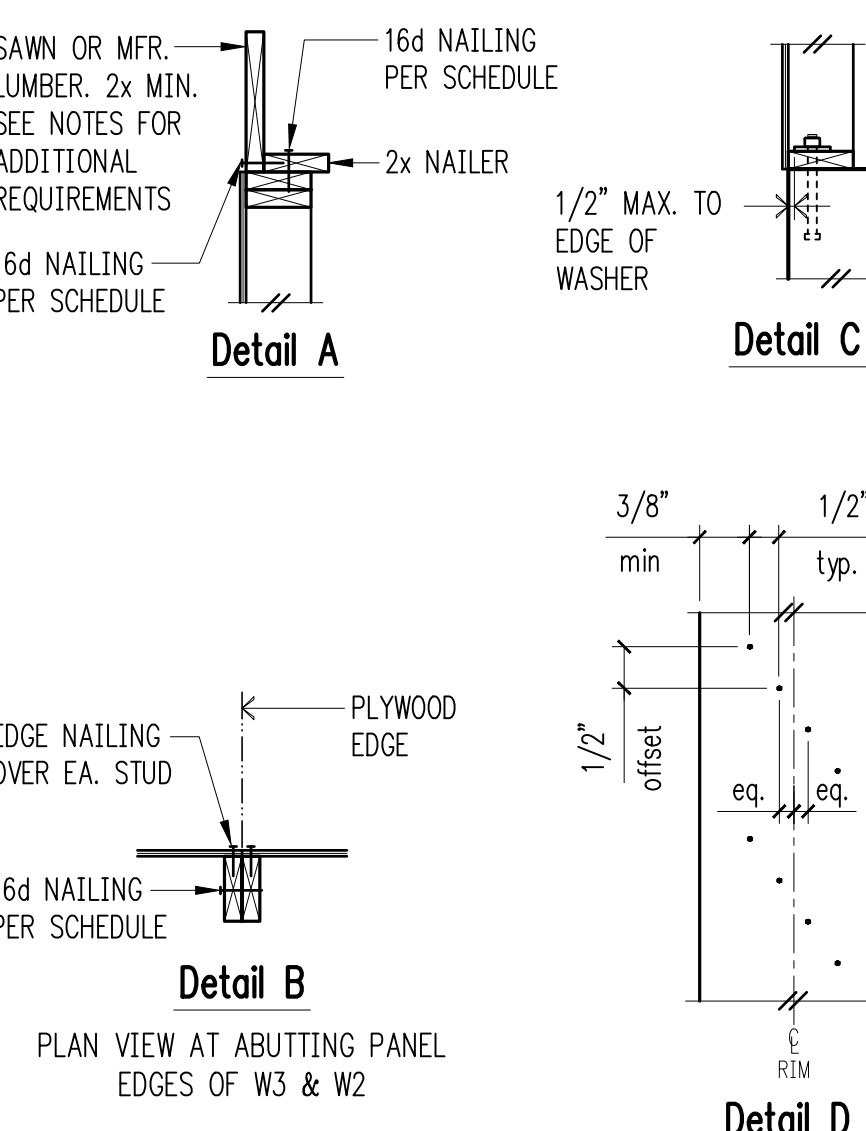
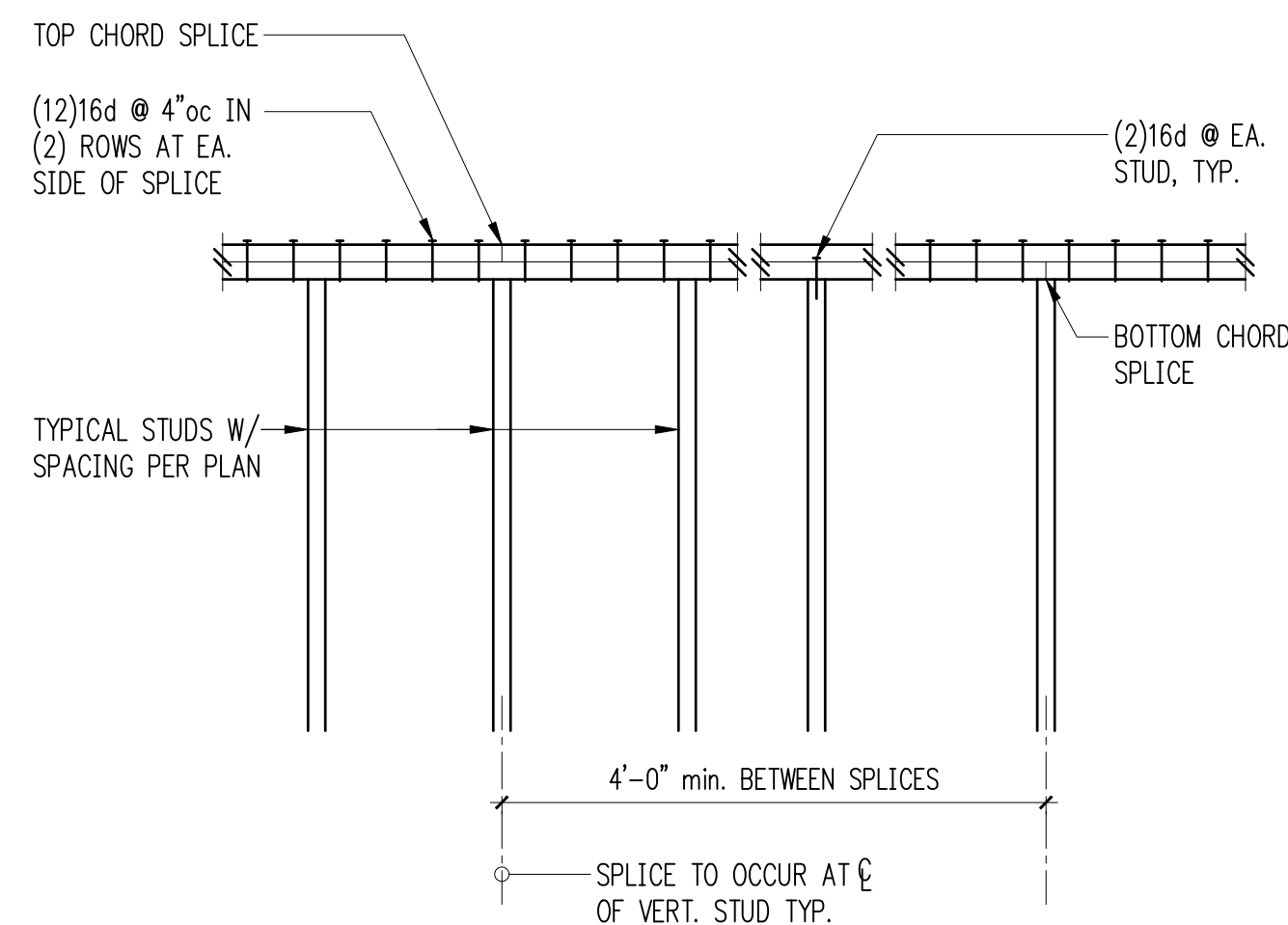
S4.1

9

10

Shearwall Schedule 12

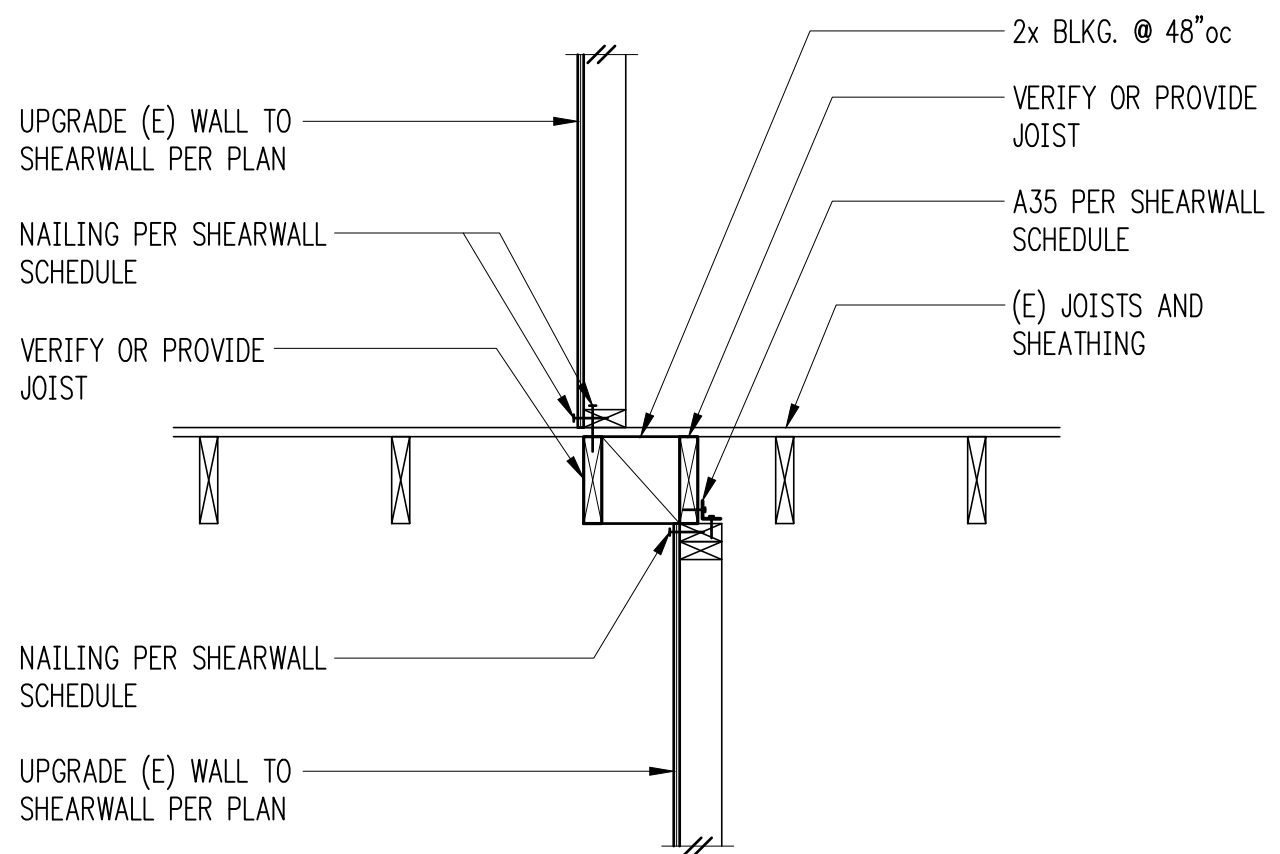
Typical Top Plate Splice 10



Shearwall Schedule ①②③④⑤⑥⑦⑧

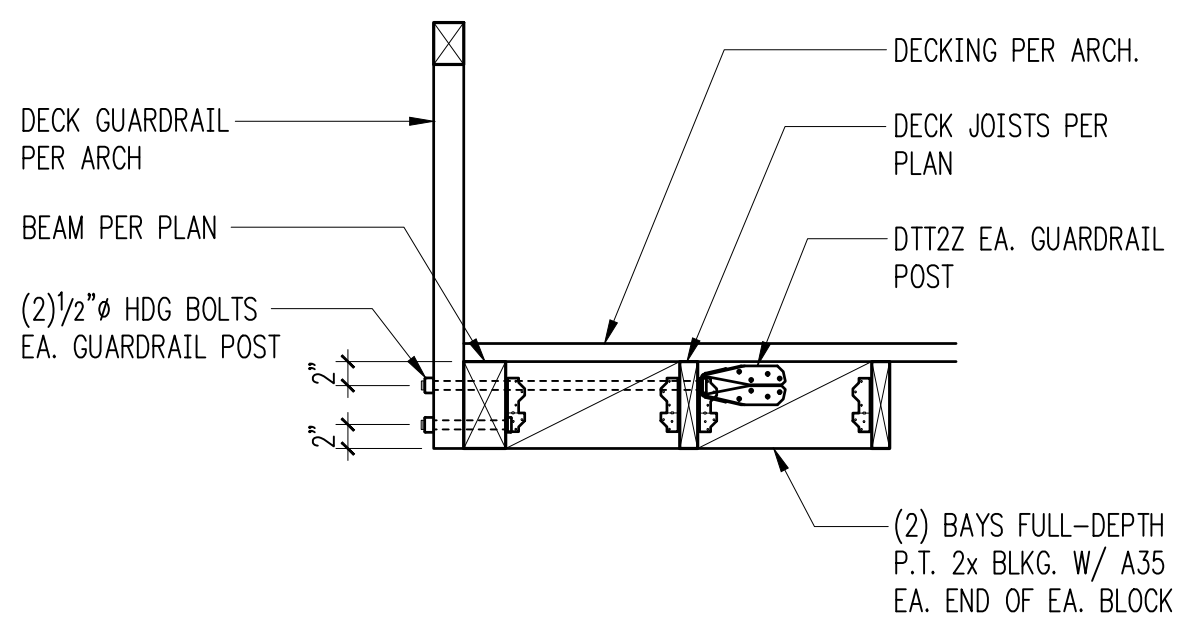
Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection	
			if TJI	if Wood ^⑤	at Wood ^{①②}	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc ^⑩	16d @ 6"oc	5/8"Ø A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc ^⑩	(2)rows 16d @ 6"oc	5/8"Ø A.B. @ 32"oc
W3 ^④	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc ^⑩	(2)rows 16d @ 6"oc	5/8"Ø A.B. @ 24"oc
W2 ^④	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc ^⑩	(2)rows 16d @ 4"oc ^⑬	5/8"Ø A.B. @ 16"oc
2W3 ^④	15/32" CDX PLYWOOD, EA. SIDE	8d @ 3"oc EA. SIDE	n/a	A35 @ 6"oc ^⑩	(3)rows 16d @ 4"oc ^⑬	5/8"Ø A.B. @ 16"oc
2W2 ^④	15/32" CDX PLYWOOD, EA. SIDE	8d @ 2"oc EA. SIDE	n/a	HGA10KT @ 8"oc	(3)rows 16d @ 4"oc ^⑬	5/8"Ø A.B. @ 12"oc
2W2-10 ^⑤	15/32" CDX PLYWOOD, EA. SIDE	10d @ 2"oc EA. SIDE	n/a	HGA10KT @ 6"oc	(4)rows 16d @ 4"oc ^⑬	5/8"Ø A.B. @ 12"oc

- BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"oc.
- 8d NAILS SHALL BE 0.131"Ø x 2 1/2" (common) - 16d NAILS SHALL BE 0.135"Ø x 3 1/2" (box) - 10d NAILS SHALL BE 0.148"Ø x 3" (common).
- EMBED ANCHOR BOLTS AT LEAST 7". EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. ITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
- 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2.
- LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
- LVL RIMS PERMITTED AT SINGLE SIDED SHEAR WALLS ONLY.
- PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.
- MINIMUM RIM OR JOIST 3/2" WIDE BELOW SHEARWALL.

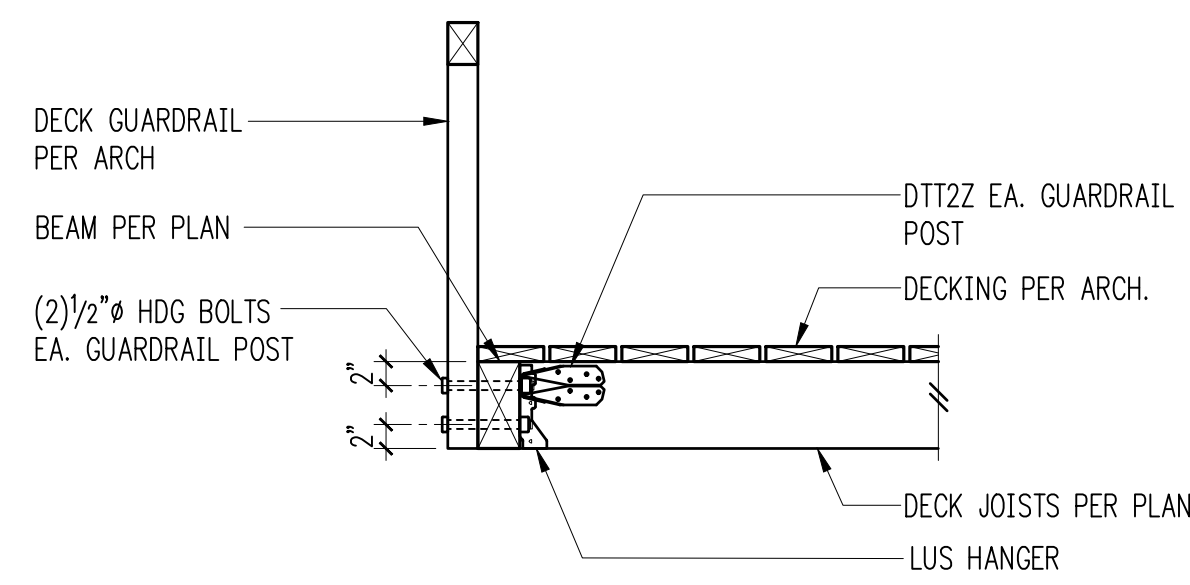


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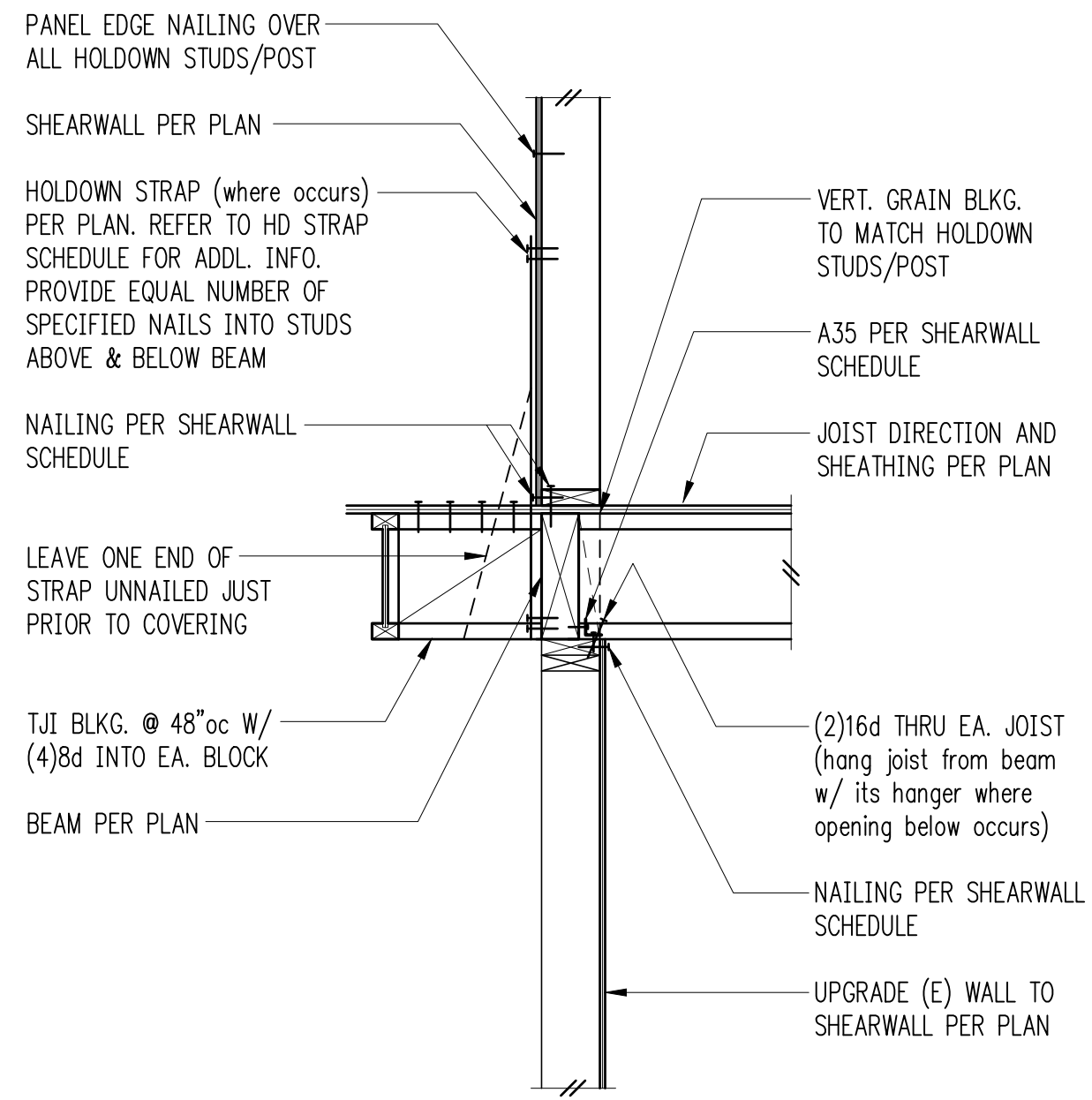
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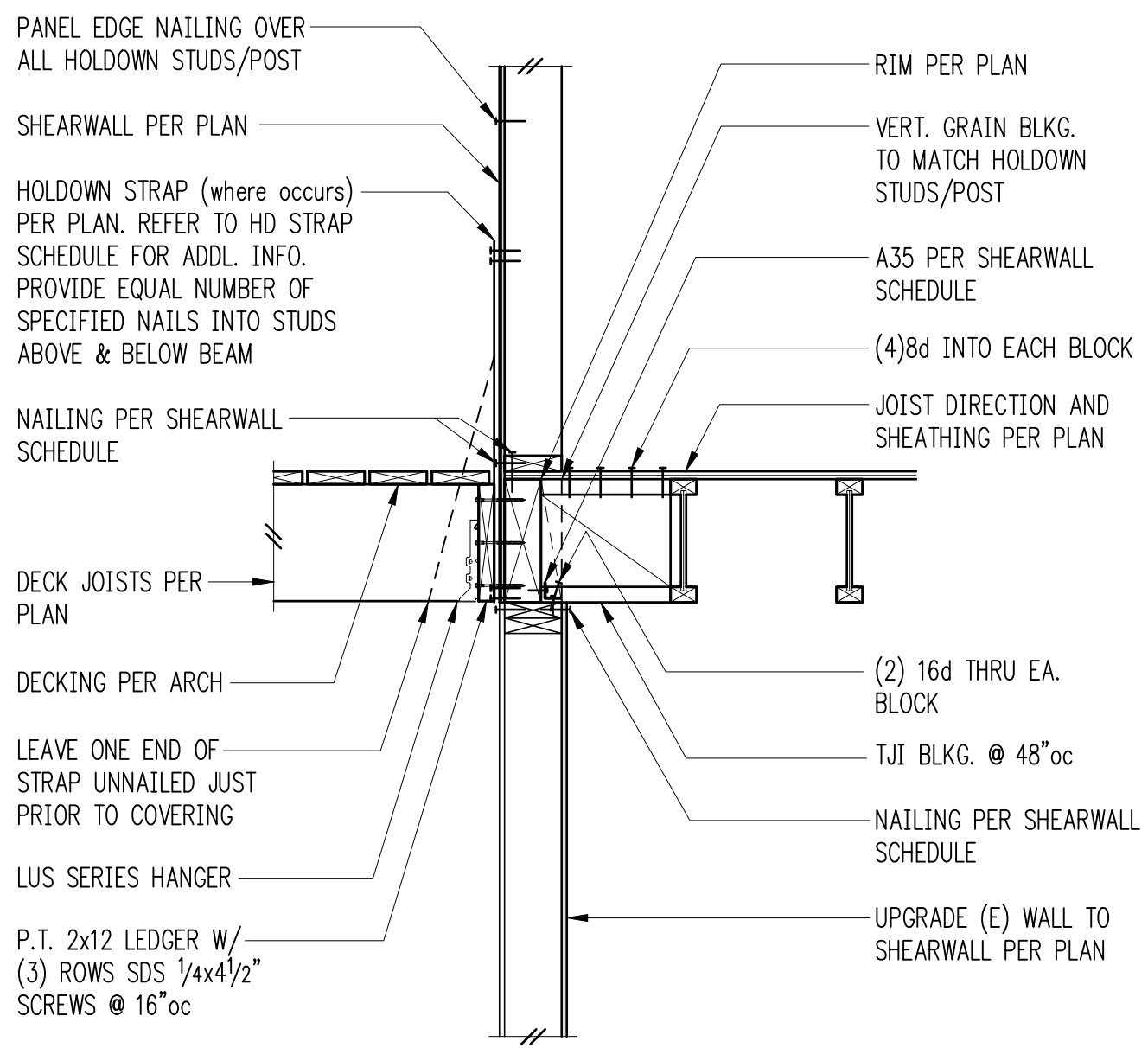
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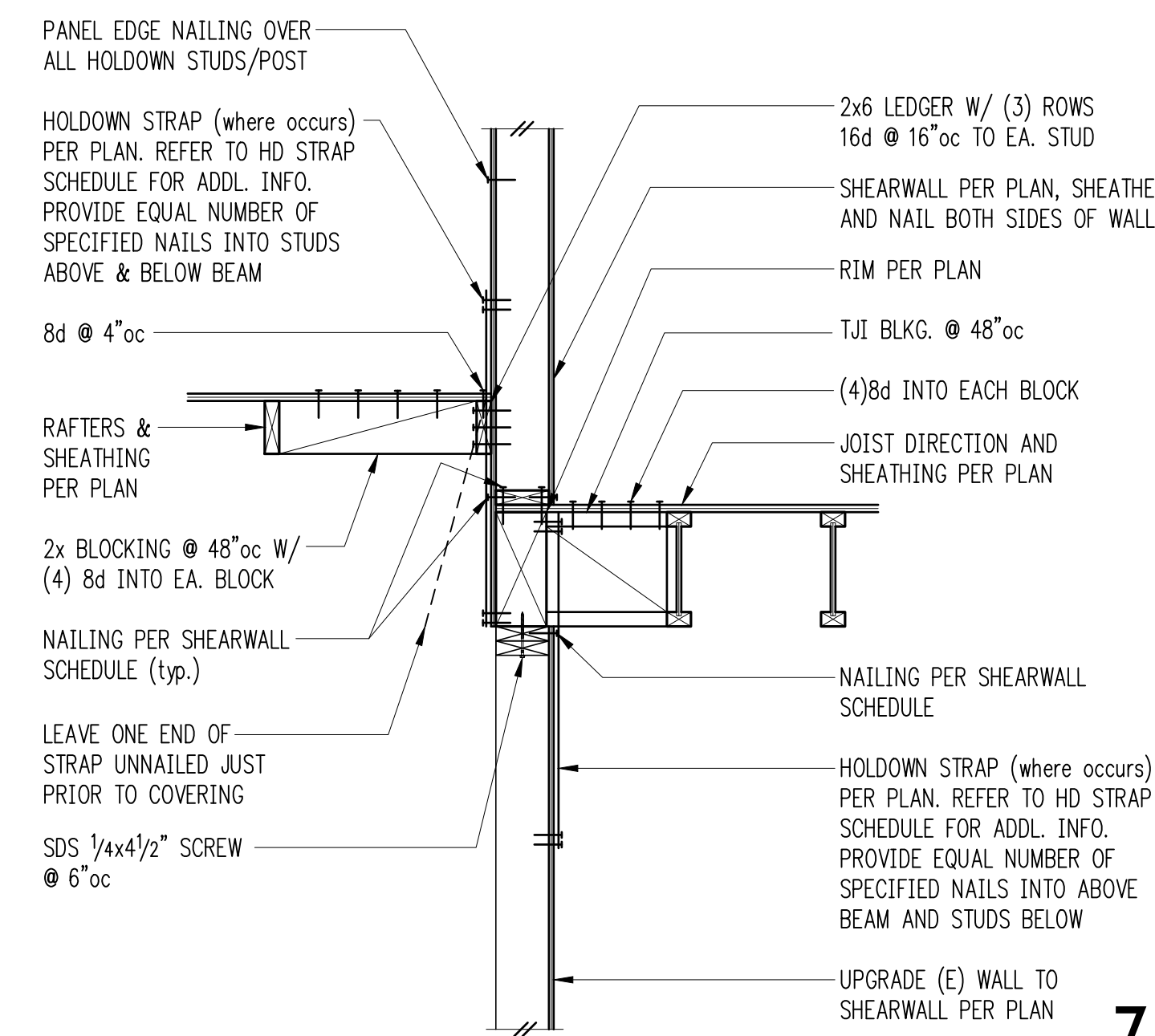
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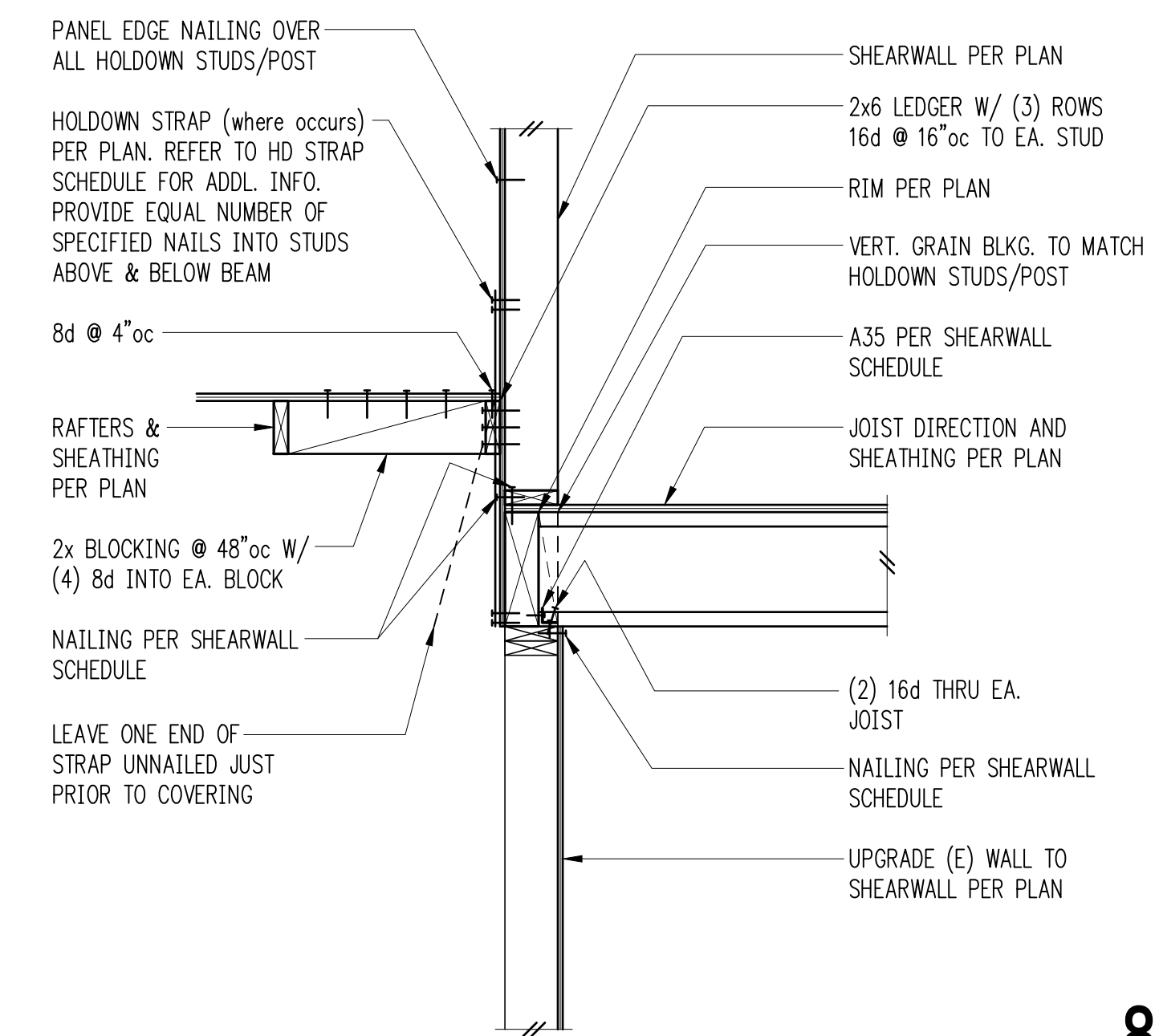
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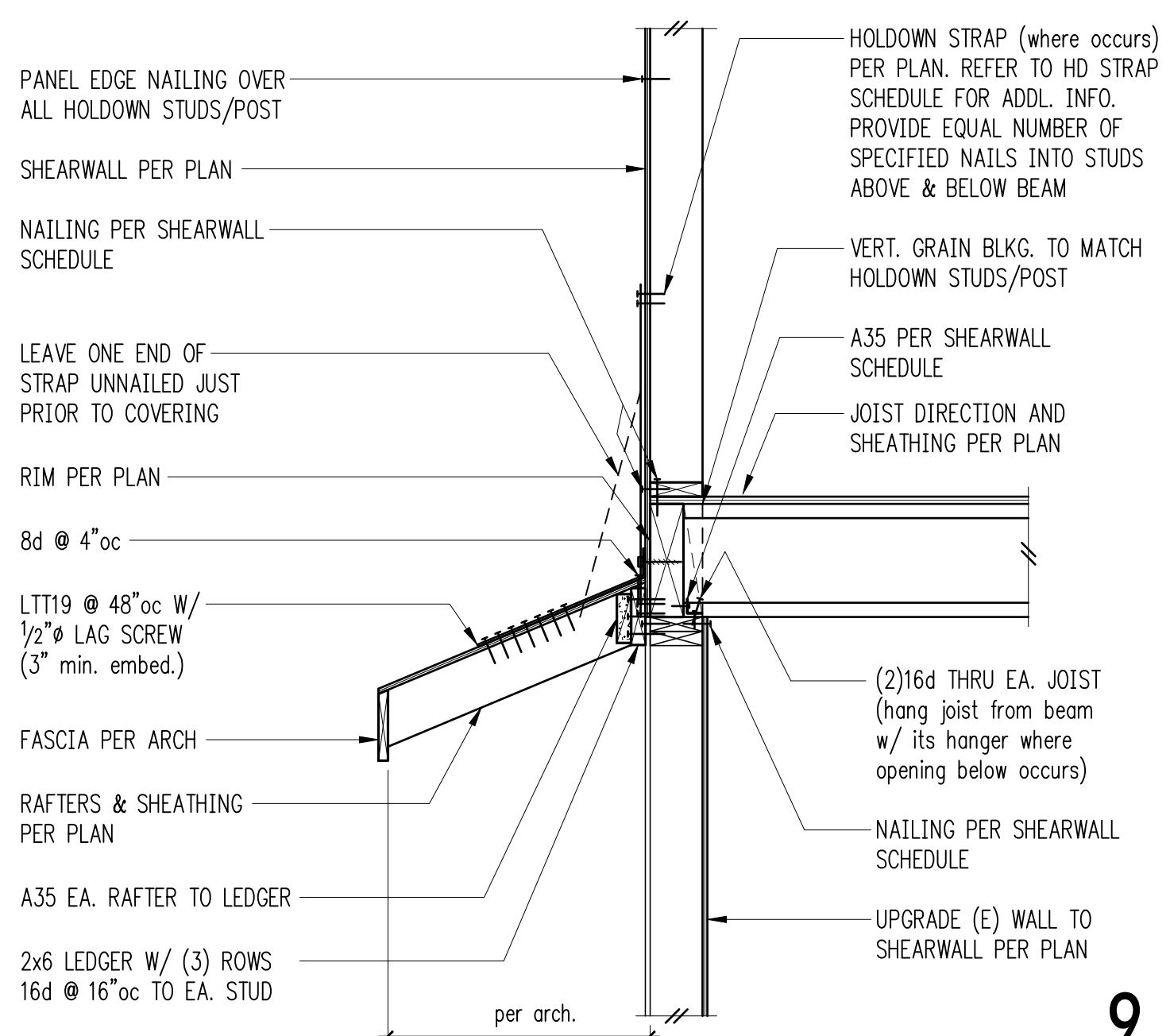
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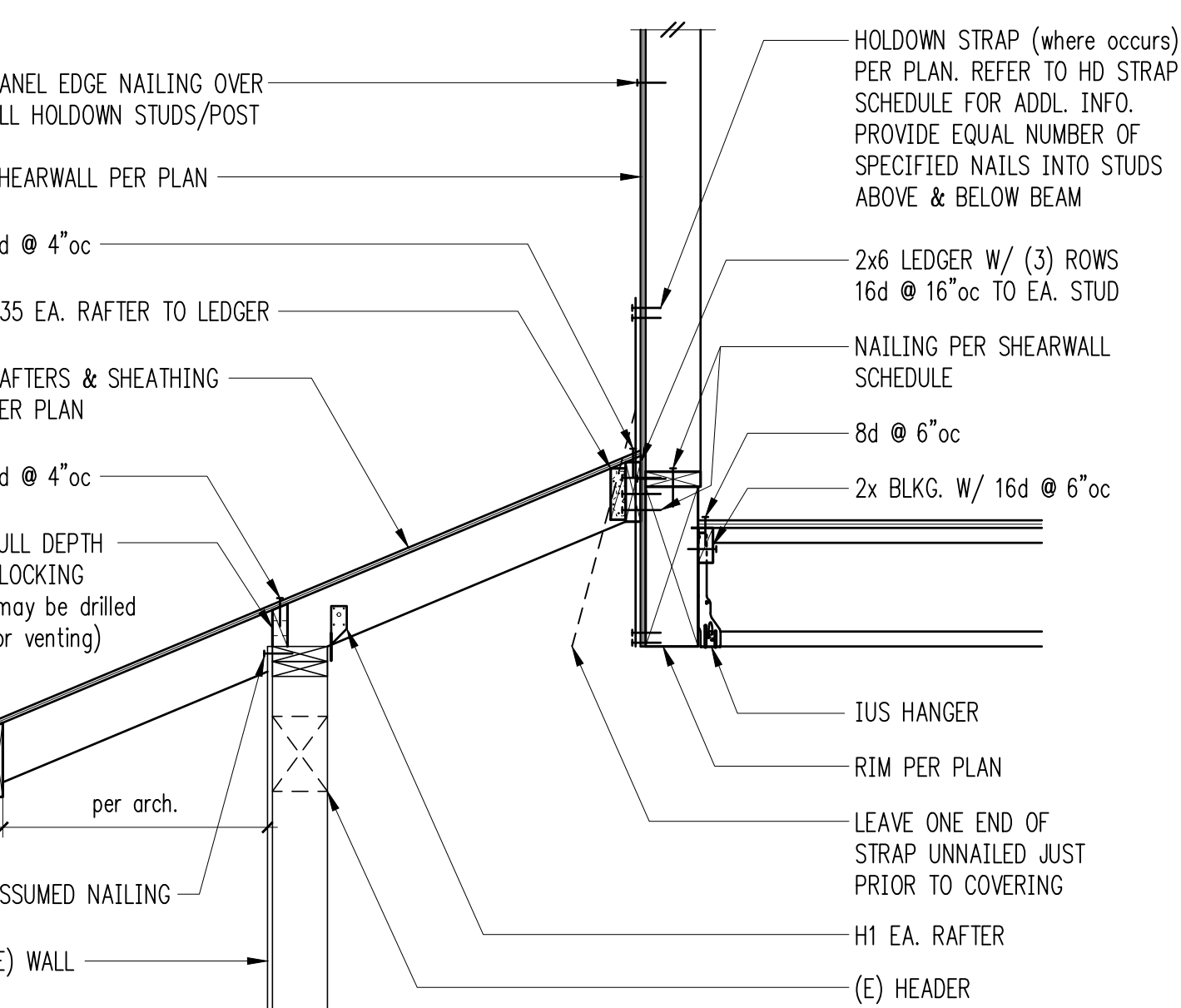
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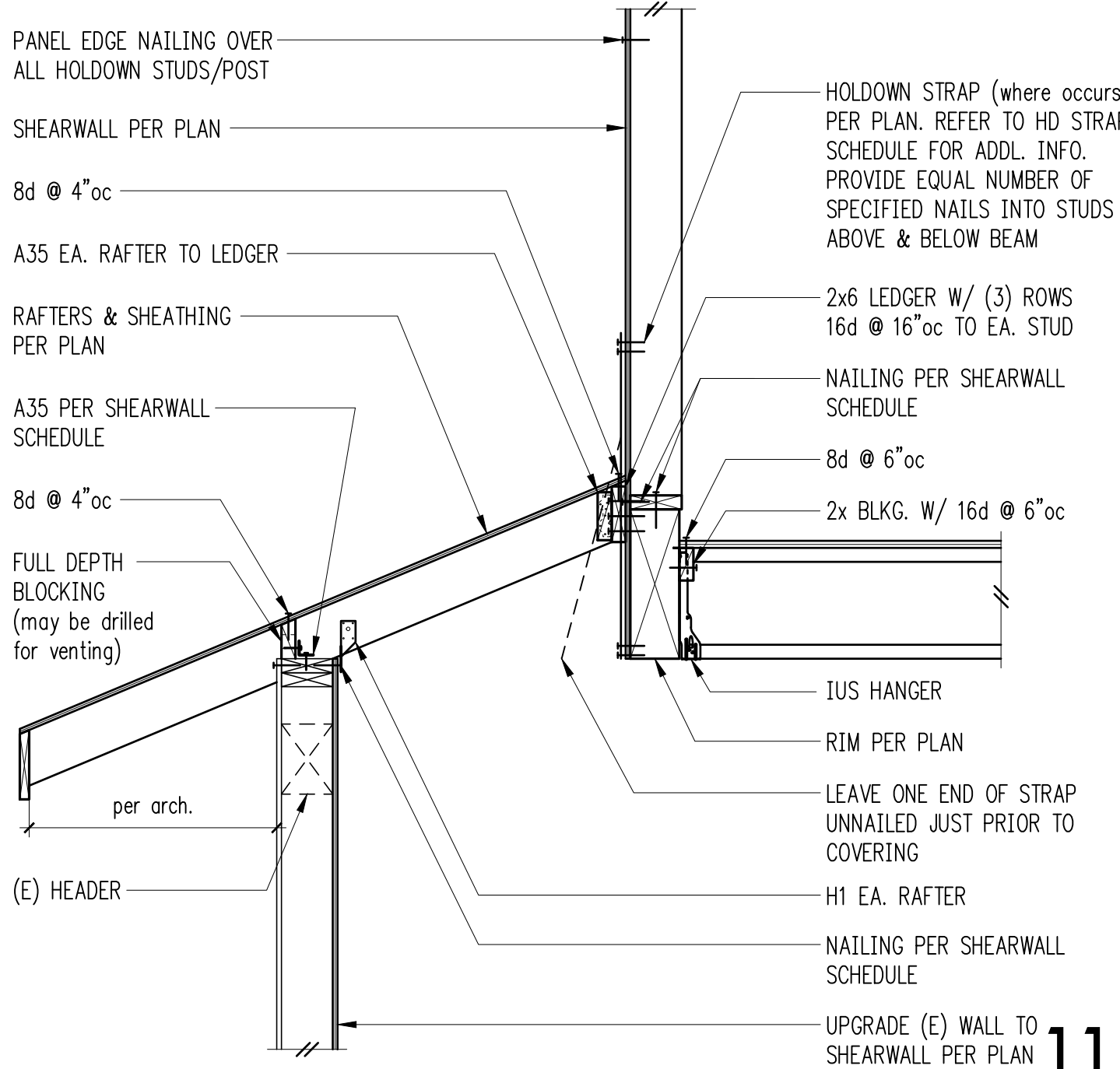
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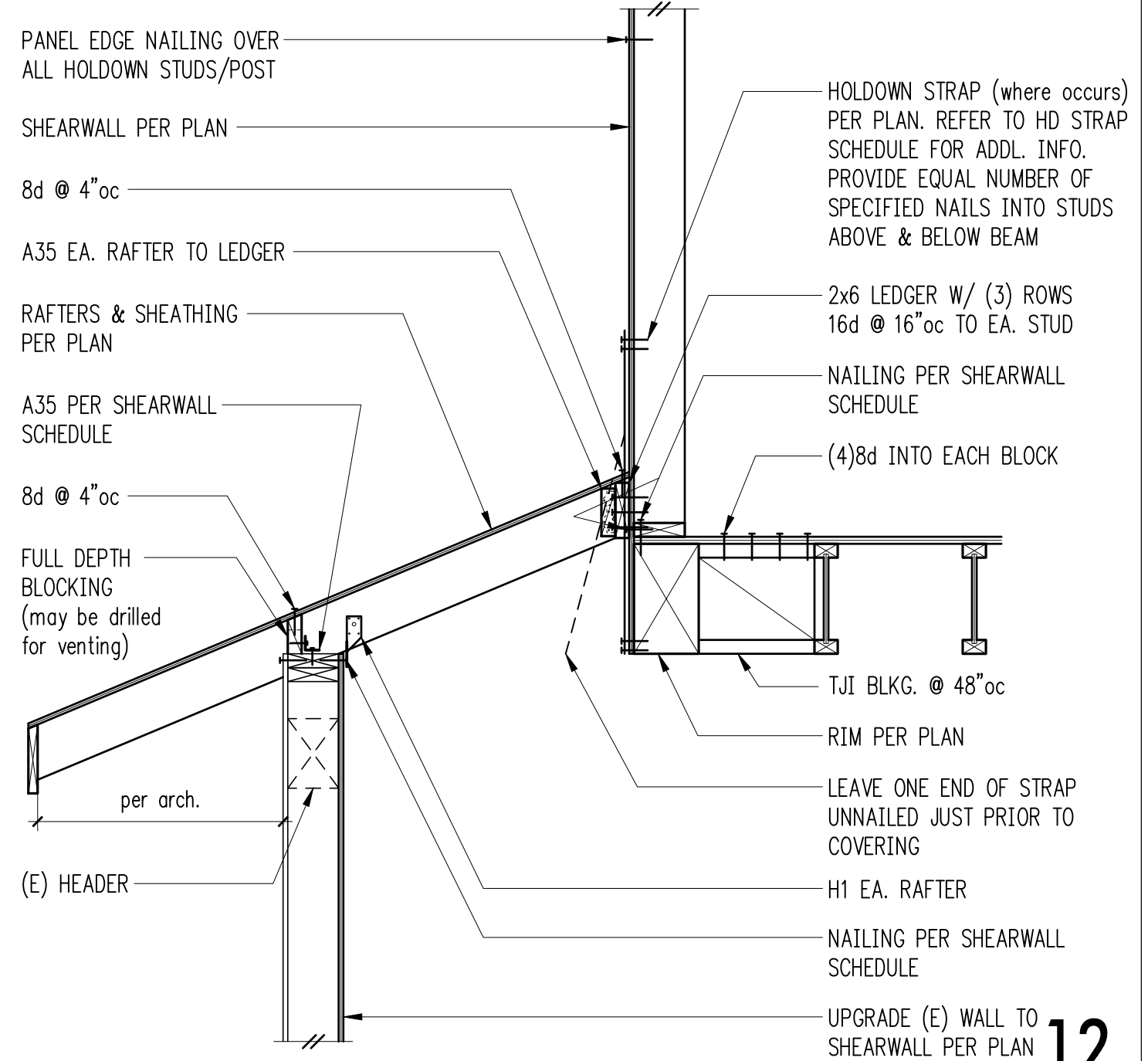
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12



DESIGN:	JDT
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CHECKED:	JDT
APPROVED:	RJA

REVISIONS:

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Wood Framing Details
 SCALE: $3/4" = 1'-0"$ U.N.O.
 DATE: February 22, 2023
 PROJECT NO: 13021-2022-03
 SHEET NO:

S4.2

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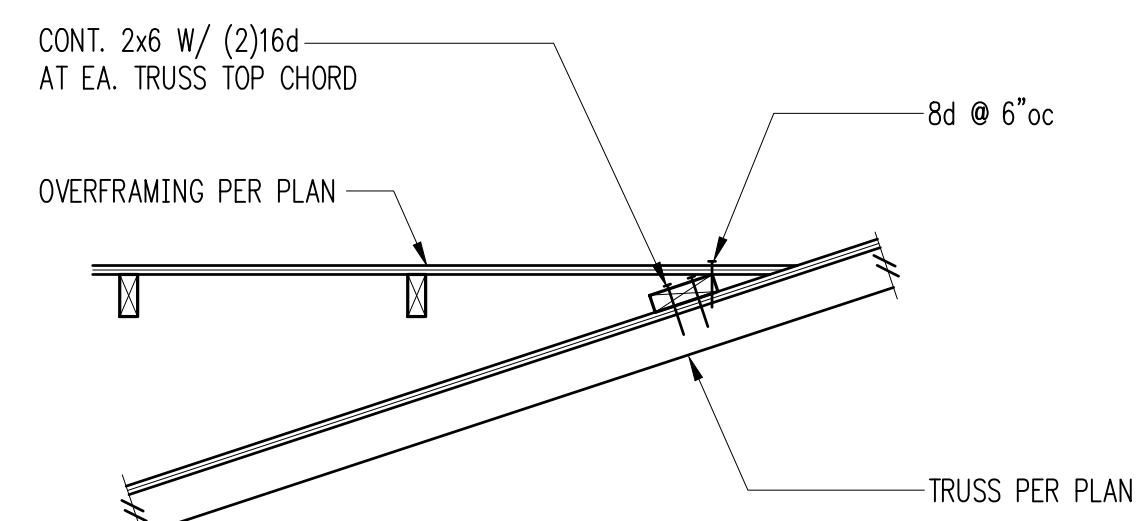
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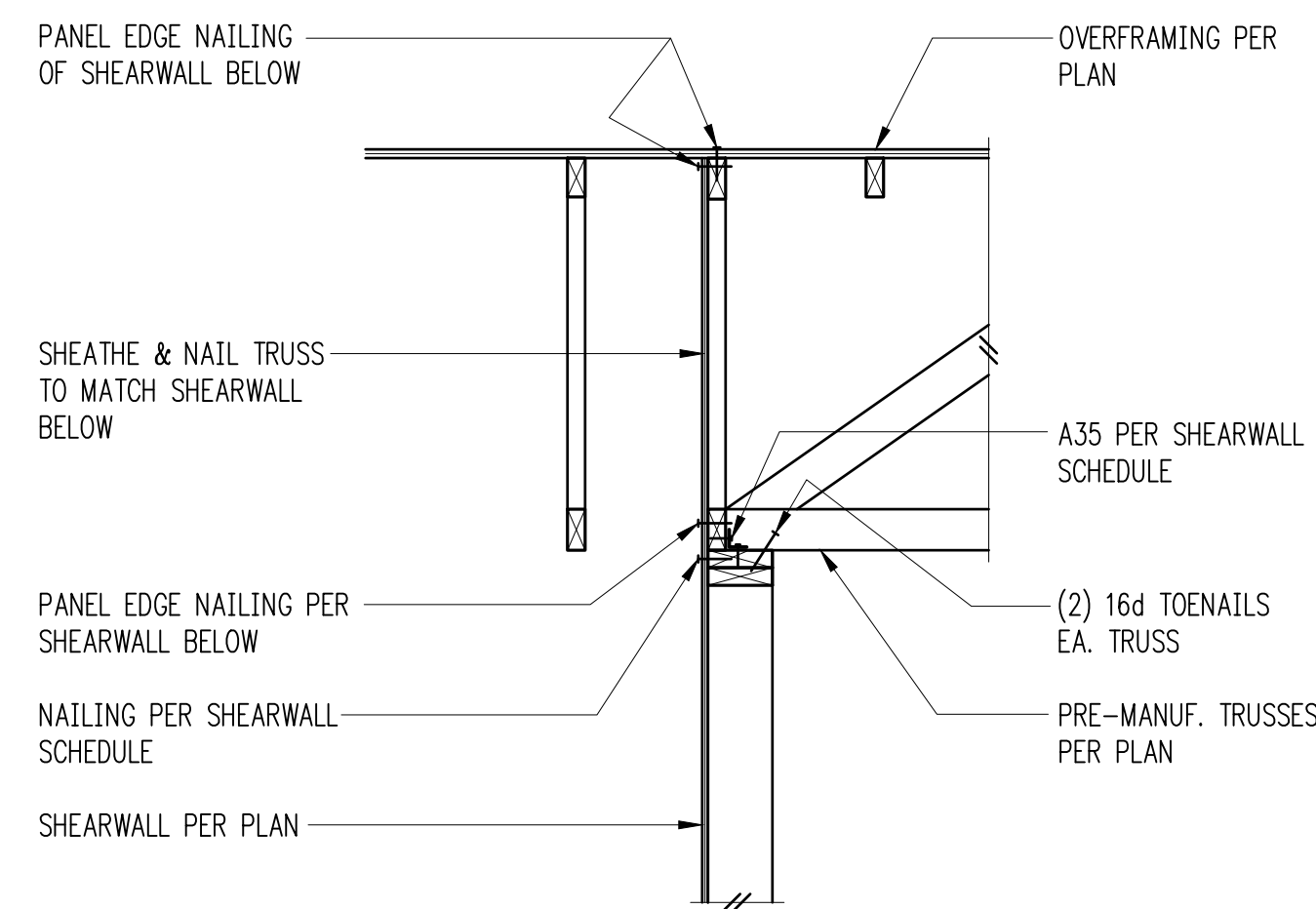
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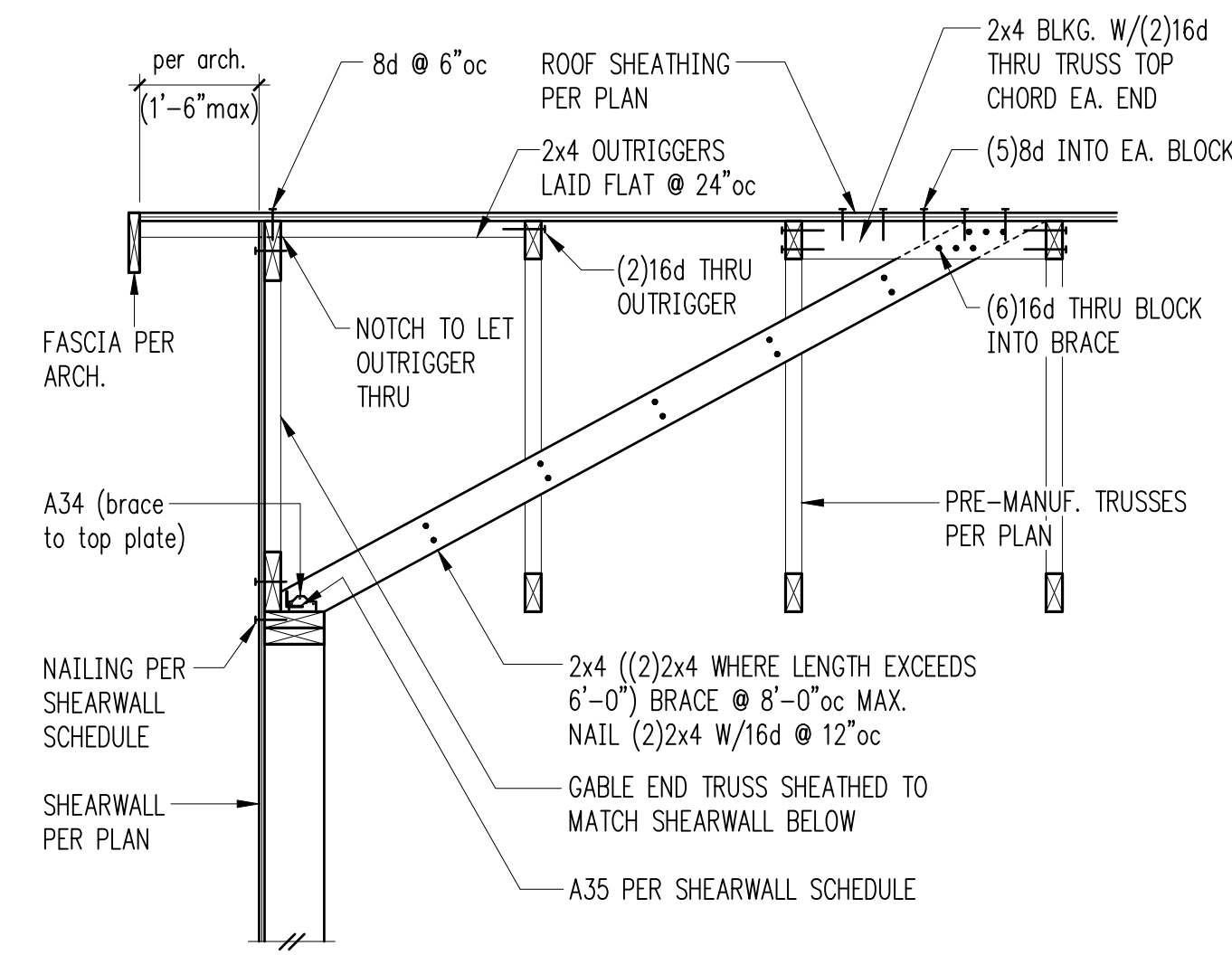
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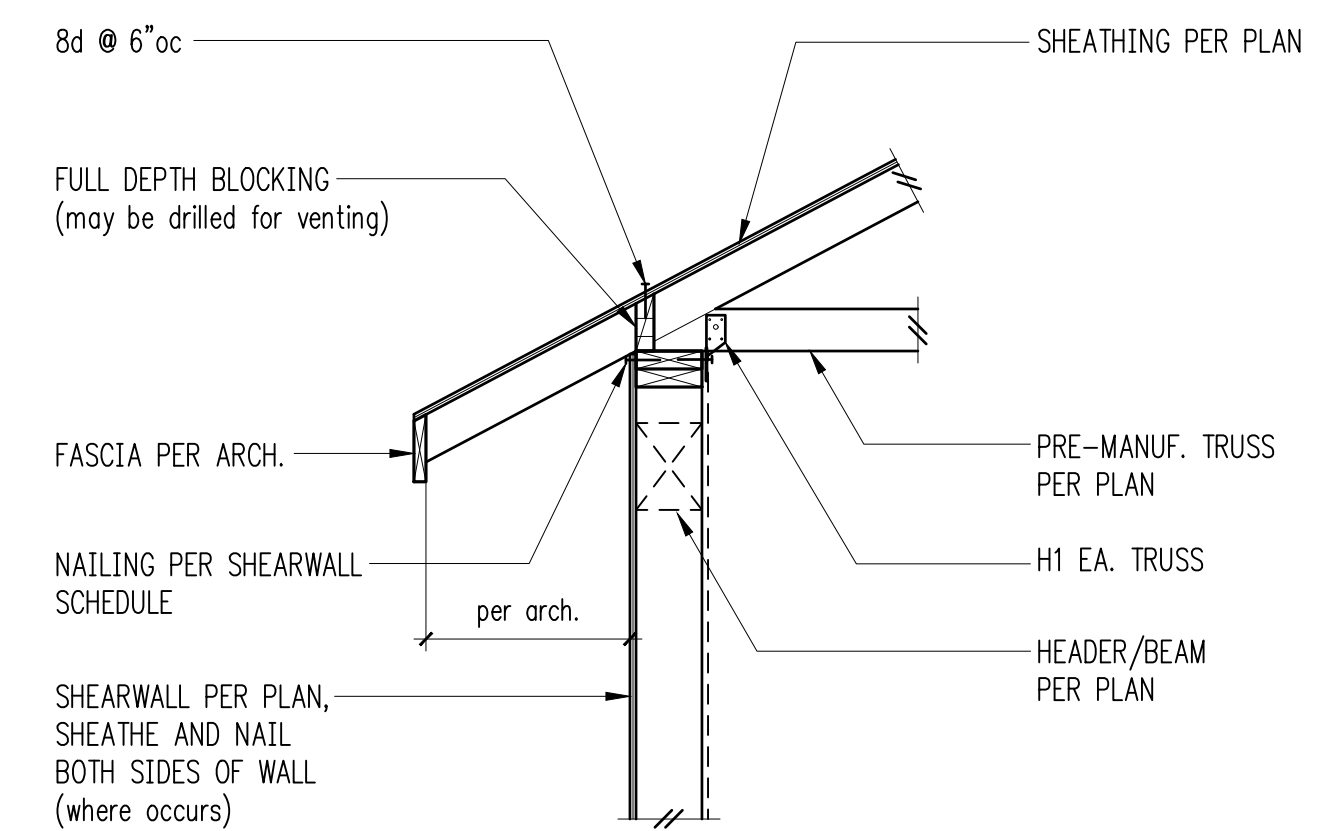
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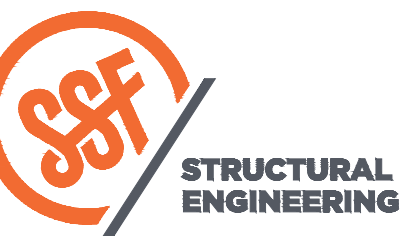
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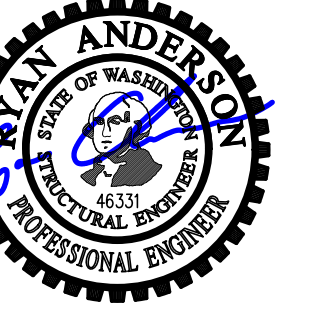
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S4.3