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PERMIT DRAWING SET - JULY 18, 2023

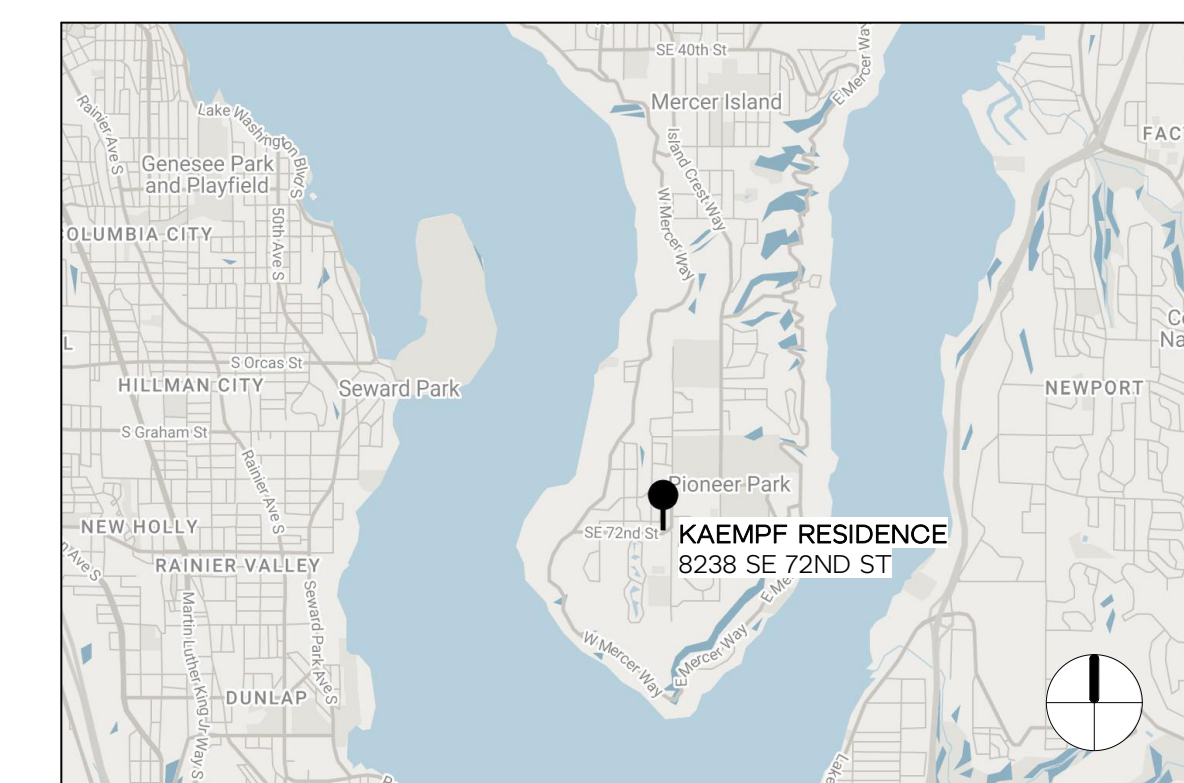


PROJECT INFORMATION

JURISDICTION PROJECT NO: TBD
 PROJECT ADDRESS: 8238 SE 72ND ST, MERCER ISLAND, WA 98040
 ASSESSOR PARCEL NO: 873220-0090
 LEGAL DESCRIPTION: TWIN VIEW ADD BLOCK 1 LOT 9
 PROJECT DESCRIPTION: MINOR FIRST FLOOR INTERIOR RENOVATION AND SECOND FLOOR ADDITION WITH A PROPOSED UPPER DECK.

REQUIRES NFPA 72 "CHAPTER 29" MONITORED FIRE ALARM SYSTEM PER NFPA AND COMI STANDARDS.

VICINITY MAP



DRAWING INDEX

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12341 REGISTERED ARCHITECT
 KAYSIE ROZSONITS
 STATE OF WASHINGTON

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 ORIGINAL SHEET SIZE IS 22"x34"

KAEMPf RESIDENCE

8238 SE 72ND ST, MERCER ISLAND, WA 98040
 JESSICA + JOEY KAEMPf

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISION
 A 05.22.2023 PLAN CHANGE

ISSUANCE
 09.28.2022 SCHEMATIC PRICING
 03.09.2023 PERMIT SUBMITTAL

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COVER SHEET // GENERAL INFORMATION

GO.01

ABBREVIATIO

@	AT	LB	LAG BOLT
AB	ANCHOR BOLT	LL	LIVE LOAD
ABV	ABOVE	LT	LIGHT
AC	AIR CONDITIONING	LTG	LIGHTING
ADJ	ADJUSTABLE	LVR	LOUVER
AFJ	ABOVE FINISH FLOOR	LT WT	LIGHT WEIGHT
AFG	ABOVE FINISH GRADE	LVL	MICROLAM LAMINATED
ANCH	ANCHOR		VENEER LUMBER
APPROX	APPROXIMATE (LY)	MAX	MAXIMUM
ARCH	ARCHITECT (URAL)	MECH	MECHANICAL
AW	AWNING	MED	MEDIUM
		MFR	MANUFACTURER
BF	BOTTOM FLUSH	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BEAM	MTL	METAL
BOT	BOTTOM	MW	MICROWAVE
BRG	BEARING		
BTWN	BETWEEN	NEC	NECESSARY
		NIC	NOT IN CONTRACT
C	CASEMENT	NTS	NOT TO SCALE
CB	CATCH BASIN		
CFM	CUBIC FEET PER MINUTE	O/	OVER
CJ	CEILING JOIST	OD	OUTSIDE DIAMETER
CLG	CEILING	OC	ON CENTER
CLR	CLEAR	OFCL	OWNER FURNISHED
CNTR	CENTER		CONTRACTOR INSTALLED
COL	COLUMN	OFOI	OWNER FURNISHED OWNER
CONC	CONCRETE		INSTALLED
CONST	CONSTRUCTION	OH	OVERHEAD
CONT	CONTINUOUS	OPP	OPPOSITE
CONTR	CONTRACTOR	OV	OVEN
COORD	COORDINATE		
		PC	PIPE COLUMN
D	DRYER	PLAM	PLASTIC LAMINATE
DB	DROP BEAM	PLYWD	PLYWOOD
DEMO	DEMOLITION	PSF	POUNDS PER SQUARE FOOT
DHW	DOMESTIC HOT WATER	PSI	POUNDS PER SQUARE INCH
		PSL	PARALLEL STRAND LUMBER
DIA	DIAMETER	PT	POINT
DIM	DIMENSION	PT	PRESSURE TREATED
DL	DEAD LOAD	PTD	PAINTED
DN	DOWN	PWR	POWER
DRY	DRYER	QTY	QUALITY
DS	DOWNSPOUT	QUANT	QUANTITY
DW	DISHWASHER		
DWG	DRAWING	R	RANGE
		RD	ROOF DRAIN
EW	EACH WAY	REINF	REINFORCING
F	EXISTING	REQ'D	REQUIRED
EA	EACH	REF	REFRIGERATOR
EG	EGRESS	REV	REVISION
ELEC	ELECTRICAL	RF	ROOF
EM	ELECTRIC METER	RFG	ROOFING
EQ	EQUAL	RM	ROOM
EQUIP	EQUIPMENT	RO	ROUGH OPENING
EXH	EXHAUST		
EXIST	EXISTING	S	SINK
EXP	EXPANSION	SAF	SELF-ADHERED FLASHING
EXT	EXTERIOR	SC	SOLID CORE
		SCH	SCHEDULE
FD	FLOOR DRAIN	SCHED	SCHEDULE
FDN	FOUNDATION	SECT	SECTION
FIN	FINISH	SF	SQUARE FOOT
FJ	FLOOR JOIST	SG	SAFETY GLAZING
FL	FLOOR	SH	SINGLE HUNG
FO	FACE OF	SIM	SIMILAR
FURR	FURRING	SI	SLIDING WINDOW OR DOOR
FT	FOOT	SPEC	SPECIFICATION
FTG	FOOTING	SPF	SPIRUE, PINE, FIR
FURN	FURNACE	SQ	SQUARE
		SQ FT	SQUARE FOOT
GA	GAUGE, GAGE	SS	STAINLESS STEEL
GALV	GALVANIZED	S&R	SHELF AND ROD
GC	GENERAL CONTRACTOR	STD	STANDARD
GEN	GENERAL	STL	STEEL
GL	GLASS	STRUCT	STRUCTURAL
GM	GAS METER	SYM	SYMMETRICAL
GR	GRADE		
GWB	GYPSUM WALL BOARD	TBD	TO BE DETERMINED
		TF	TOP FLUSH
HB	HOSE BIB	T&G	TONGUE AND GROOVE
HC	HOLLOW CORE	TEMP	TEMPORARY, TEMPERATURE
HDR	HEADER	THK	THICK
HDW	HARDWARE	TO	TOP OF
HORIZ	HORIZONTAL	TOG	TOGETHER
HR	HOUR (FIRE RESISTANT RATING)	TYP	TYPICAL
HT	HEIGHT		
HVAC	HEATING, VENTILATION & AC	UNO	UNLESS NOTED OTHERWISE
IG	INSULATED GLASS	VAR	VARIABLES
IN	INCH	VERT	VERTICAL
INCL	INCLUDING	VG	VERTICAL GRAIN
INFO	INFORMATION	VIF	VERIFY IN FIELD
INSUL	INSULATING, INSULATION		
INT	INTERIOR	W	WASHER
ISG	INSULATED SAFETY GLASS	W/	WITH
		W/O	WITHOUT
JT	JOINT	WASH	CLOTHES WASHER
		W/D	WARMING & DRYER
KD	KILN DRIED	WM	WATER METER
KP	KING POST	WS	WIRE SHELIVING
		WSM	WELDED WIRE MESH
LAM	LAMINATED(D)	#	NUMBER OF POUND(S)
LAV	LAVATORY		

DRAWING SYMBOL

	NORTH ARROW		DRAWING TITLE
	BUILDING ELEVATION DRAWING NUMBER SHEET NUMBER		VIEW TITLE
	INTERIOR ELEVATION DRAWING NUMBER SHEET NUMBER		SITE POINT ELEVATION
	BUILDING SECTION DRAWING NUMBER SHEET NUMBER		FLOOR ELEVATION DATUM
	WALL SECTION DRAWING NUMBER SHEET NUMBER		SPOT ELEVATION DATUM
	DETAIL REFERENCE DRAWING NUMBER SHEET NUMBER		REVISION TAG
	STRUCTURAL DETAIL DRAWING NUMBER SHEET NUMBER		WALL/FLOOR/ROOF ASSEMBLY TYPE TAG
	ARCHITECTURAL DETAIL DRAWING NUMBER SHEET NUMBER		HOSE BIBB
	CUT MARK		EXHAUST FAN AIR FLOW RATE
	CENTERLINE		RAMP UP/DOWN PERCENT SLOPE
	GRID LINE		DECK SLOPE TO DRAIN
			CEILING/ROOF SLOPE RISE / RUN
			SMOKE DETECTOR
			CARBON MONOXIDE ALARM
			SMOKE/CARBON MONOXIDE DETECTOR
			CLOTHES ROD AND SHELF
			ROOF PITCH

ELECTRICAL SYMBOL

	110V DUPLEX OUTLET GFI = GROUND FAULT INTERRUPTER EXT = EXTERIOR		FLUSH / SEMI-FLUSH FIXTURE
	220V OUTLET		WALL-MOUNTED FIXTURE
	110V 4-PLEX OUTLET		PENDANT FIXTURE
	FLOOR DUPLEX OUTLET (GFI)		RECESSED CEILING FIXTURE
	FLOOR OUTLET (OTHER)		RECESSED DIRECTIONAL FIXTURE
	WALL OUTLET (SWITCHED)		SITE LIGHTING FIXTURE
	COM JACK T = TELEPHONE C = CABLE D = DATA		TRACK LIGHTING FIXTURE
	SINGLE POLE SWITCH D = DIMMER J = JAMB M = MOTION T = TIMER 3 = 3-WAY SWITCH 4 = 4-WAY SWITCH		UNDERCABINET LIGHT FIXTURE
	THERMOSTAT		SURFACE MOUNT STRIP FIXTURE
	CEILING / WALL SPEAKER		CORNER STRIP FIXTURE
	CEILING WIRELESS ACCESS POINT		CEILING MOUNTED FAN W/ OPTIONAL LIGHTING KIT
	WALL HEATER		ELECTRICAL WIRING
	DOOR BELL		
	DOOR CHIME		

CONTRACT GENERAL

- GENERAL CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION SITE MEETING WITH OWNER, ARCHITECT AND OTHER DESIGN CONSULTANTS, AS REQUIRED.
- GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADE CONDITIONS AND HEIGHT LIMITS WITH ARCHITECT ON SITE PRIOR TO BEGINNING OF WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN THE SITE SURVEY AND/OR OTHER DRAWINGS.
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODES, REGULATIONS, OR RULES OF JURISDICTIONS HAVING AUTHORITY.
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, AND SITE CONDITIONS, INCLUDING TAKING AND VERIFYING FIELD MEASUREMENTS AS NECESSARY.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, EXCEPT FOR THE GENERAL BUILDING PERMIT.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.
- REPETITIVE FEATURES NOT INDICATED IN THE DRAWINGS EVERYWHERE THAT THEY OCCUR SHALL BE PROVIDED AS IF DRAWN IN FULL.
- SEE SPECIFICATIONS BOOK FOR REQUIRED SHOP DRAWINGS. GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO ARCHITECT; AFTER ARCHITECT'S REVIEW, TO GOVERNING AUTHORITY.
- THE INTENT OF ARCHITECTURAL DRAWINGS, DETAILS AND SPECIFICATIONS IS TO SHOW DESIGN APPROACH. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND BAILIWORK TO PROPERLY INSTALL AND EXECUTE A STRUCTURALLY SOUND, WATER AND AIR PROOFED, DURABLE PROJECT.
- COORDINATE ALL EXTERIOR PENETRATIONS WITH ARCHITECT PRIOR TO PERFORMING WORK.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE 2015 SEATTLE RESIDENTIAL CODE, THE WASHINGTON STATE ENERGY CODE, AND OTHER APPLICABLE CODES, RULES, AND REGULATIONS OF JURISDICTIONS HAVING AUTHORITY.
- EXTERIOR GLAZING TO BE NFRC LABELED PER 2015 WSEC R303.1.3. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH-DIAMETER SPHERE CANNOT PASS.
EXCEPTIONS:
a) WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4-INCH-DIAMETER SPHERE TO PASS THROUGH.
b) OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2090.

CONTRACT DIMENSION

- DO NOT SCALE THE DRAWINGS. LARGE SCALE DIMENSIONS GOVERN SMALL SCALE DIMENSIONS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS, PRIOR TO PROCEEDING WITH WORK.
- AT NEW CONSTRUCTION, ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, CENTER LINE OF COLUMNS, AND CENTERLINE OF WINDOWS AND DOORS, UNLESS NOTED OTHERWISE.
- AT EXISTING CONSTRUCTION, DIMENSIONS ARE TO FINISH FACE OF MATERIALS, UNLESS NOTED OTHERWISE.
- SITE PLAN DIMENSIONS UNACCOMPANIED BY A LICENSED SURVEY IN THE POSTED DRAWING SET ARE CONSIDERED APPROXIMATE AND FOR REFERENCE ONLY.
- GRAPHIC SCALES ARE PROVIDED FOR REFERENCE ONLY. WHERE DRAWINGS OF DIFFERENT SCALES ARE PROVIDED ON THE SAME SHEET, GRAPHIC SCALES ARE REMOVED FOR CLARITY.
- DIMENSIONS WITH ACCOMPANYING TEXT (E.G. CLEAR, HOLD, EQUAL) SHALL BE VERIFIED IN FIELD. ANY CHANGES TO THESE DIMENSIONS REQUIRE APPROVAL BY ARCHITECT.

FINISHES KEY

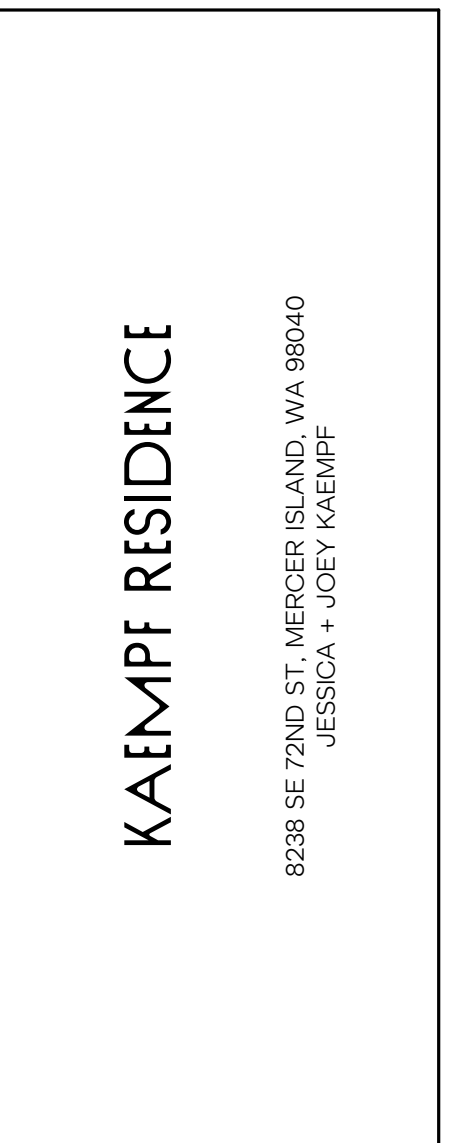
NOTE: NOT ALL TYPES ARE USED IN THIS PROJECT.
X = ITEMIZED DESCRIPTOR

	CARPET		SPECIALTY FINISH
	FABRIC		SOLID SURFACE
	GLASS		STONE
	METAL		TILE
	PLASTIC LAMINATE		WOOD
	PAINT		WALL COVERING
	RESILIENT FLOORING		

SCHEDULES KEY

NOTE: NOT ALL TYPES ARE USED IN THIS PROJECT.
X = ITEMIZED DESCRIPTOR
() = REF PROJECT MANUAL DIVISION

	EG = EGRESS SG = TEMPERED WINDOW TAG		DOOR TAG
	SALVAGE TAG (DIVISION 2)		LIGHTING TAG (DIVISION 26)
	PLUMBING TAG (DIVISION 22)		SPECIALTY TAG (RESERVED)
	FURNISHINGS TAG (DIVISION 12)		EQUIPMENT & APPLIANCE TAG (DIVISION 11)
	(BATH) ACCESSORY TAG (DIVISION 10)		(DECORATIVE) ACCESSORY TAG (DIVISION 10)
	(CABINET) HARDWARE TAG (DIVISION 6)		(DOOR) HARDWARE TAG (DIVISION 8)
	(WINDOW) HARDWARE TAG (DIVISION 8)		



HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISION

NO.	DATE	DESCRIPTION

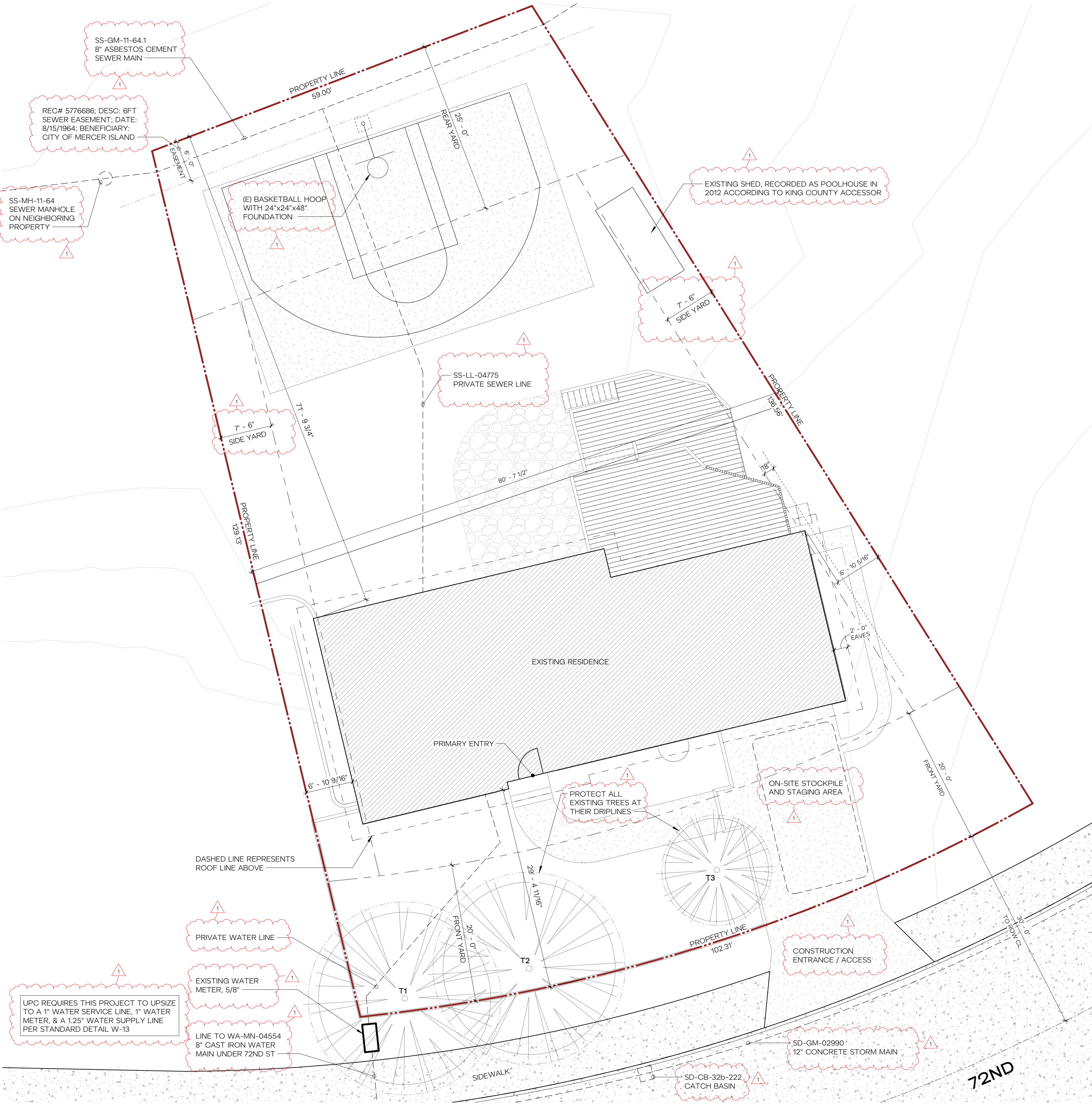
ISSUANCE

DATE	DESCRIPTION
09.28.2022	SCHEMATIC PRICING
03.09.2023	PERMIT SUBMITTAL

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PROJECT STANDARDS // CONTRACT NOTES

GO.02



SITE PLAN NOTES

1. INSTALLATION OF EROSION CONTROL MEASURES IS REQUIRED PRIOR TO ANY GROUND DISTURBANCE.
2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A "FIRST GROUND DISTURBANCE INSPECTION" AFTER THE BUILDING PERMIT IS ISSUED TO MEET WITH THE SITE INSPECTOR.

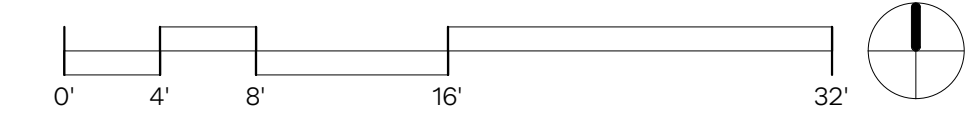
LAND USE / ZONING CODE

ZONE:	R-9.6
LOT SIZE:	10,893 SF
FRONT SETBACK:	20'-0"
MIN. REQ'D:	29'-4 11/16" NO CHANGE
PROPOSED:	
REAR SETBACK:	25'-0"
MIN. REQ'D:	71'-9 3/4" NO CHANGE
PROPOSED:	
EAST SIDE SETBACK:	7'-6"
MIN. REQ'D:	6'-10 5/8" NO CHANGE
PROPOSED:	
WEST SIDE SETBACK:	7'-6"
MIN. REQ'D:	6'-10 9/16" NO CHANGE
PROPOSED:	
MAXIMUM GROSS FLOOR AREA:	40%
ALLOWED:	4,357 SF
EXISTING:	2,793 SF
AVAILABLE:	1,564 SF
PROPOSED:	894 SF

SITE PLAN

- EXISTING PERIMETER WALL
- CONCRETE WALKWAY
- ROOF ABOVE
- PROPERTY LINE
- LINE OF SETBACK

1 ARCHITECTURAL SITE PLAN - PROPOSED
1/8" = 1'-0"



PRELIMINARY
NOT FOR
CONSTRUCTION

KAMPF RESIDENCE
8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

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REVISION
1 05.22.2023 REVIEW RESPONSES

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SITE PLAN // LAND USE CODE SUMMARY

A1.11

LOT COVERAGE CALCULATION

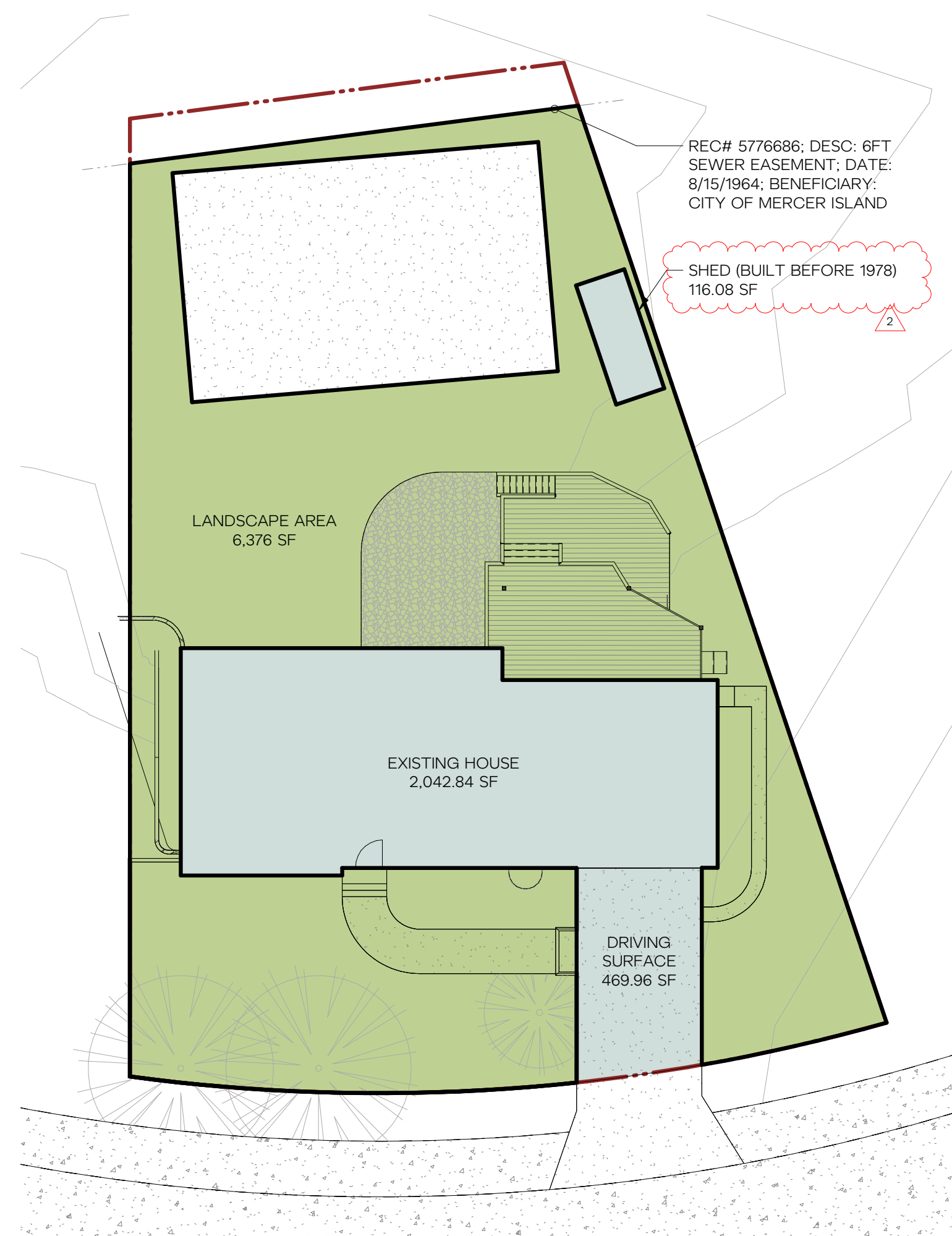
NET LOT AREA	=	10,540 SF
40% OF LOT AREA (MAX BUILDING COVERAGE)	=	4,216 SF
AS PER MICC 19.02.020.F.3 FOR LOTS WITH A SLOPE OF LESS THAN 15%		
EXISTING LOT COVERAGE	=	2,630 SF
ADDED LOT COVERAGE	=	0 SF
TOTAL LOT COVERAGE	=	2,630 SF
		NO CHANGE
*UNUSED LOT COVERAGE	=	1,586 SF

- EXISTING LOT COVERAGE
- PROPOSED LOT COVERAGE

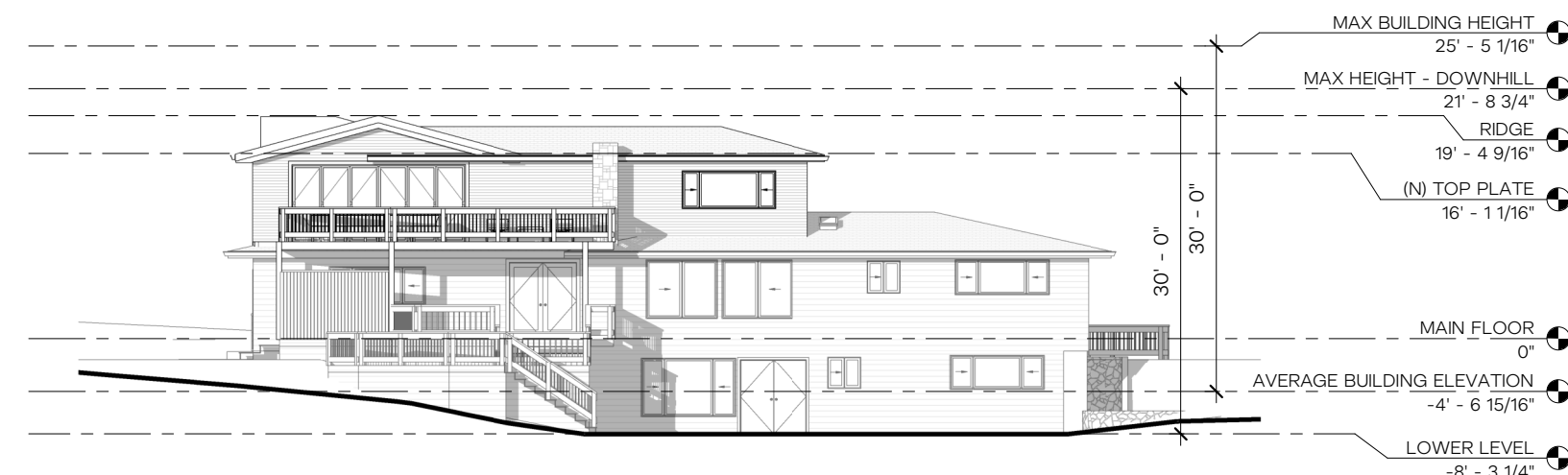
LANDSCAPING AREA

NET LOT AREA	=	10,540 SF
60% OF LOT AREA (MINIMUM LANDSCAPE COVERAGE)	=	6,324 SF
EXISTING LANDSCAPING AREA	=	6,376 SF
ADDED LANDSCAPING AREA	=	0 SF
TOTAL LANDSCAPING SQUARE FOOTAGE	=	6,376 SF
		NO CHANGE

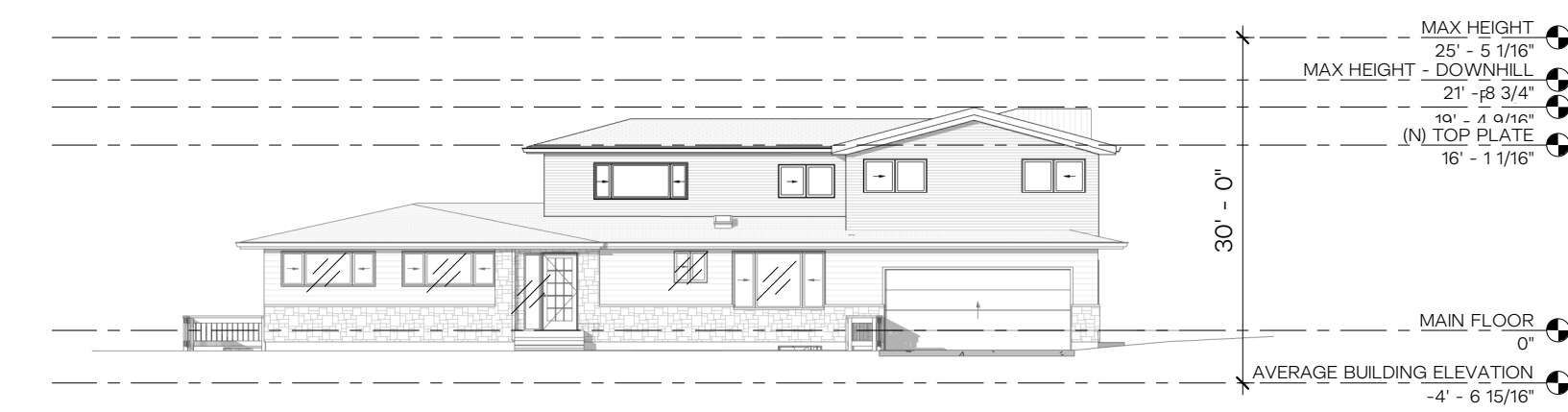
- EXISTING LANDSCAPING SURFACE
- ADDED LANDSCAPING SURFACE



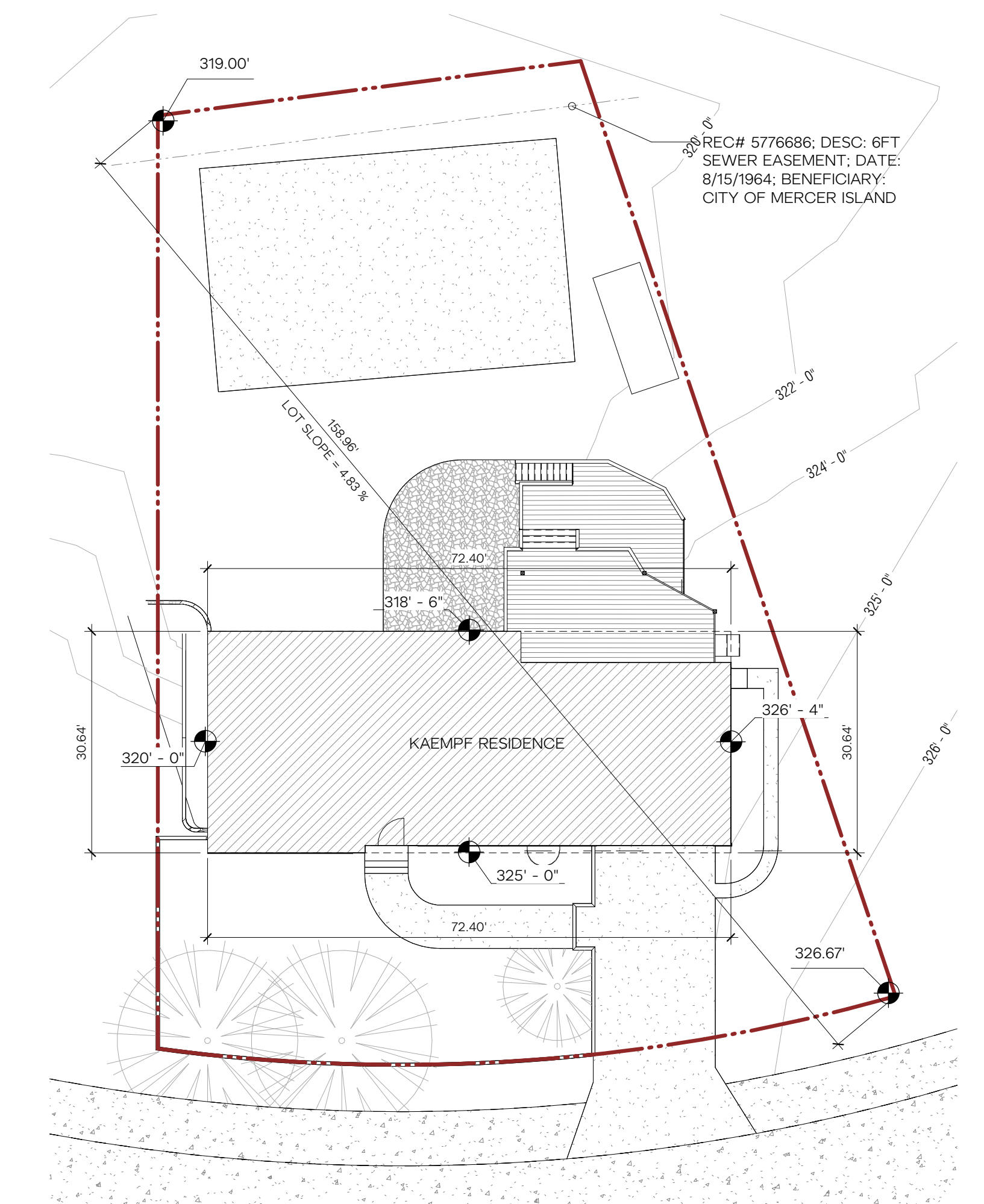
5 LOT COVERAGE CALCULATIONS
1/16" = 1'-0"



4 SOUTH ELEVATION - MAX BUILDING HEIGHT
1/16" = 1'-0"



3 NORTH ELEVATION - MAX BUILDING HEIGHT
1/16" = 1'-0"



2 AVERAGE GRADE DIAGRAM // LOT SLOPE
1/16" = 1'-0"

AVERAGE BUILDING ELEVATION

MICC 19.02.020.E.4: AT THE MIDPOINT OF EACH SIDE OF THE SMALLEST RECTANGLE THAT CAN BE DRAWN TO ENCLOSE THE STRUCTURE.
PROJECT ELEVATION 0'-0" = SURVEY ELEVATION 326.66'

RECTANGLE SIDE	LENGTH	MIDPOINT ELEVATION	TOTAL
NORTH	72.40'	X 319.50'	= 23,059.40
SOUTH	72.40'	X 325.00'	= 23,530.00
EAST	30.64'	X 326.33'	= 9,998.75
WEST	30.64'	X 320.00'	= 9,804.80

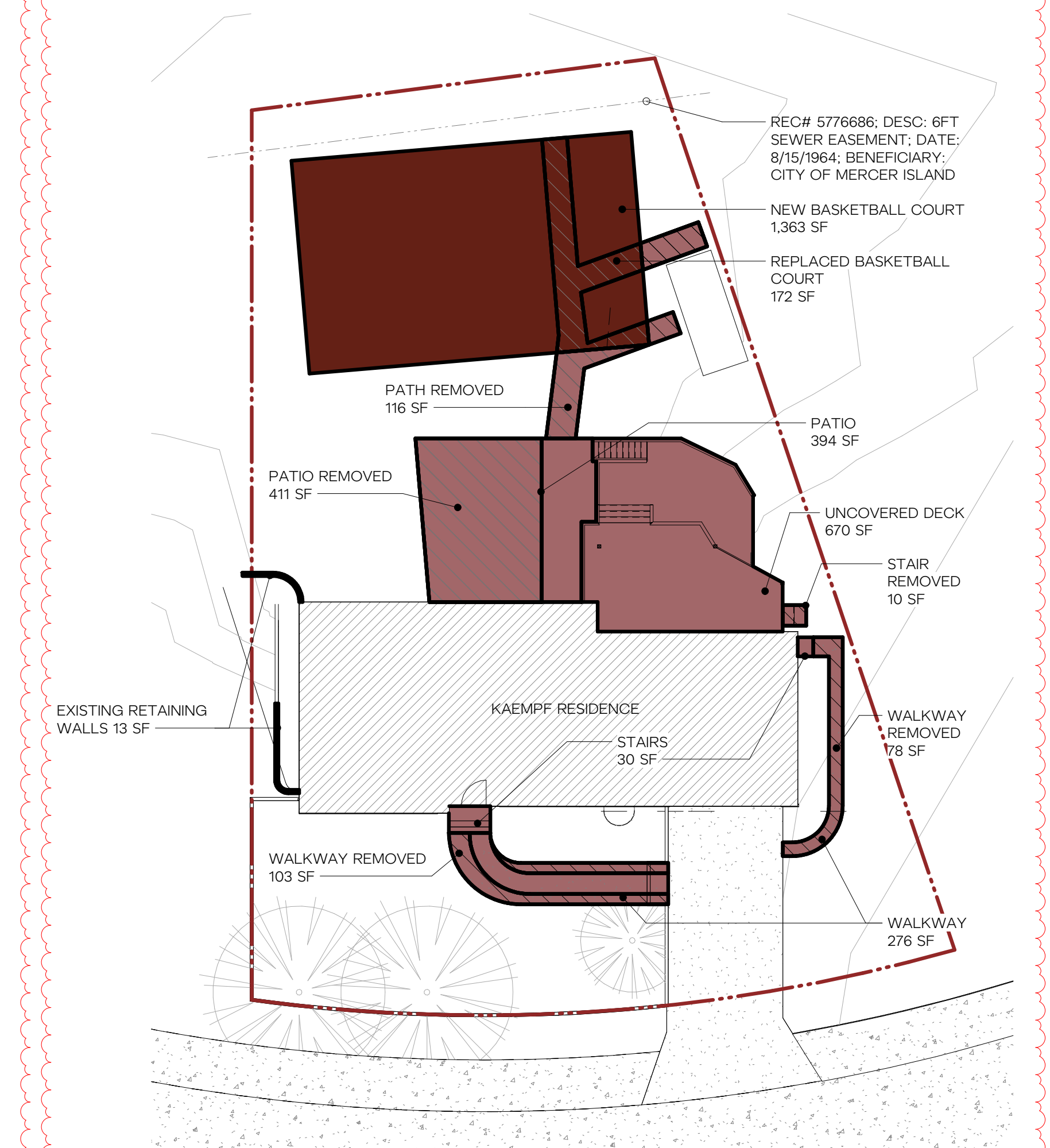
TOTAL 206.08' **66,392.95**
 AVERAGE MIDPOINT ELEVATION (66,392.95/206.08) = 322.17'
 AVERAGE GRADE REFERENCED TO 0'-0" DATUM (322.17-326.66) = -4' 6 15/16"

GRADE AVERAGE: 322' 2 1/16"
 MAX WALL HEIGHT: 352' 2 1/16"
 PROPOSED HEIGHT: 345' 9 9/16"

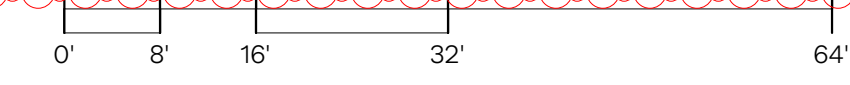
HARDSCAPE CALCULATION

NET LOT AREA	=	10,540 SF
9% OF LOT AREA (MAX COVERAGE)	=	948 SF
*UNUSED LOT COVERAGE	=	1,586 SF
TOTAL ALLOWED HARDSCAPE	=	2,534 SF
EXISTING HARDSCAPE	=	1,513 SF
REMOVED HARDSCAPE	=	890 SF
REPLACED HARDSCAPE	=	172 SF
NEW HARDSCAPE	=	1534 SF
TOTAL HARDSCAPE SQUARE FOOTAGE	=	2,157 SF
NET NEW IMPERVIOUS SURFACE	=	472 SF

- REMOVED HARDSCAPE
- EXISTING HARDSCAPE
- REPLACED HARDSCAPE
- NEW HARDSCAPE



6 HARDSCAPE DIAGRAM
1/16" = 1'-0"



12341 REGISTERED ARCHITECT

 KAYSIE LOUISE ROZSONITS
 STATE OF WASHINGTON
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2	07.14.2023	REVIEW RESPONSES

ISSUANCE
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LAND DEVELOPMENT DIAGRAMS

A1.12

GROSS FLOOR AREA & KEY

GROSS FLOOR AREA CALCULATIONS PER MICC 19.02.010.D

ZONING = R-9.6
LOT SIZE = 10,899 SF
FAR: ALLOWED (40% LOT) = 4,360 SF

GROSS FLOOR AREA
(E) SHED = 116 SF
(E) BASEMENT = 1500 SF
(E) MAIN FLOOR = 1,473 SF
(E) GARAGE = 526 SF
(N) SECOND FLOOR = 892 SF
BASEMENT MODIFIER = -750 SF (SEE CALCS TO RIGHT)
STAIR MODIFIER = -92 SF
TOTAL = 3,665 SF

TABLE OF WALL LENGTHS AND COVERAGE

WALL SEGMENT	LENGTH	X COVERAGE	= RESULT
A	43' - 2 3/4"	0%	0' - 0"
B	7' - 10 1/2"	16%	1' - 3"
C	4' - 5"	90%	3' - 11"
D	25' - 2 1/2"	90%	22' - 8 1/4"
E	0' - 11 1/2"	90%	0' - 10"
F	29' - 5 3/4"	90%	26' - 6 1/4"
G	21' - 7 1/2"	90%	19' - 5 1/2"
H	30' - 7 1/4"	22%	6' - 8 3/4"
TOTAL	163' - 4 3/4"	-	81' - 4 3/4"

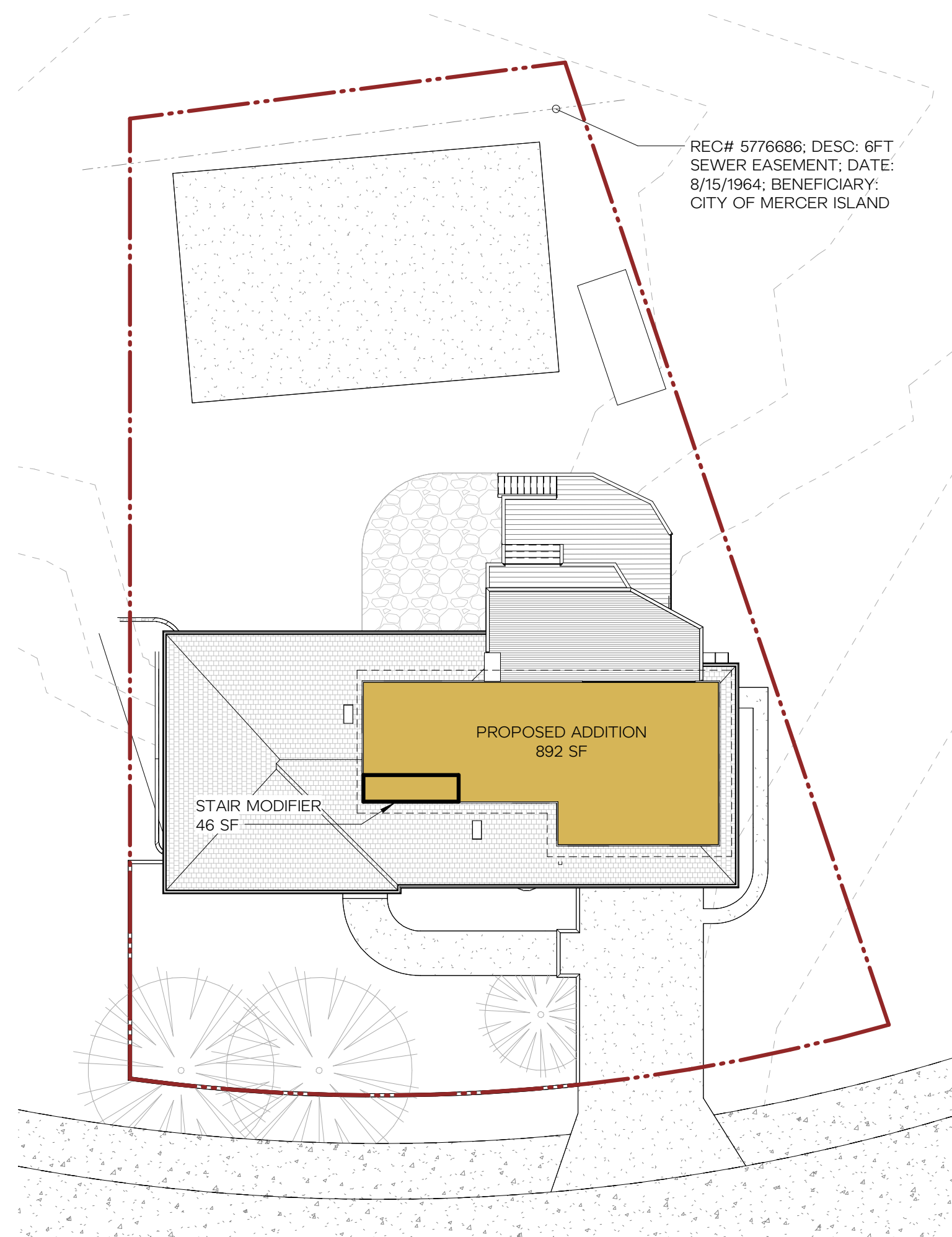
MICC 19.02.010.D.1 GROSS FLOOR AREA:
THE GROSS FLOOR AREA SHALL NOT EXCEED (R-9.6) 8,000 SQUARE FEET OR 40 PERCENT OF THE LOT AREA, WHICHEVER IS LESS.

1,500 SF (TOTAL BASEMENT AREA) X
0.50 (81.40 WALL SEGMENT COVERAGE /
163.40 WALL SEGMENT LENGTH) =

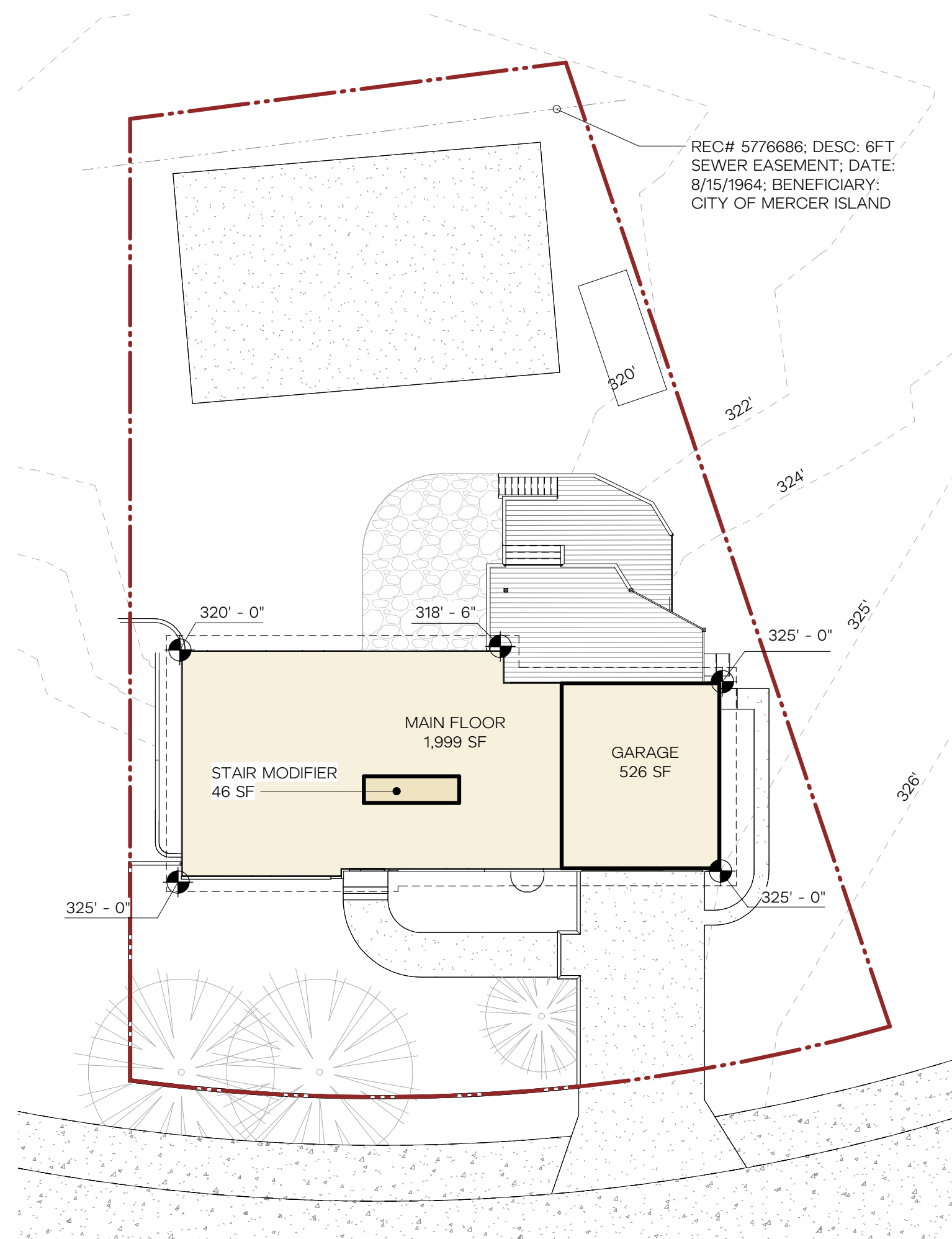
APPENDIX B - BASEMENT FLOOR AREA CALCULATION
THE MERCER ISLAND DEVELOPMENT CODE EXCLUDES THAT PORTION OF THE BASEMENT FLOOR AREA FROM THE GROSS FLOOR AREA WHICH IS BELOW THE EXISTING GRADE.

1,500 SF X 50% = 750 SF
EXCLUDED FROM GROSS FLOOR AREA

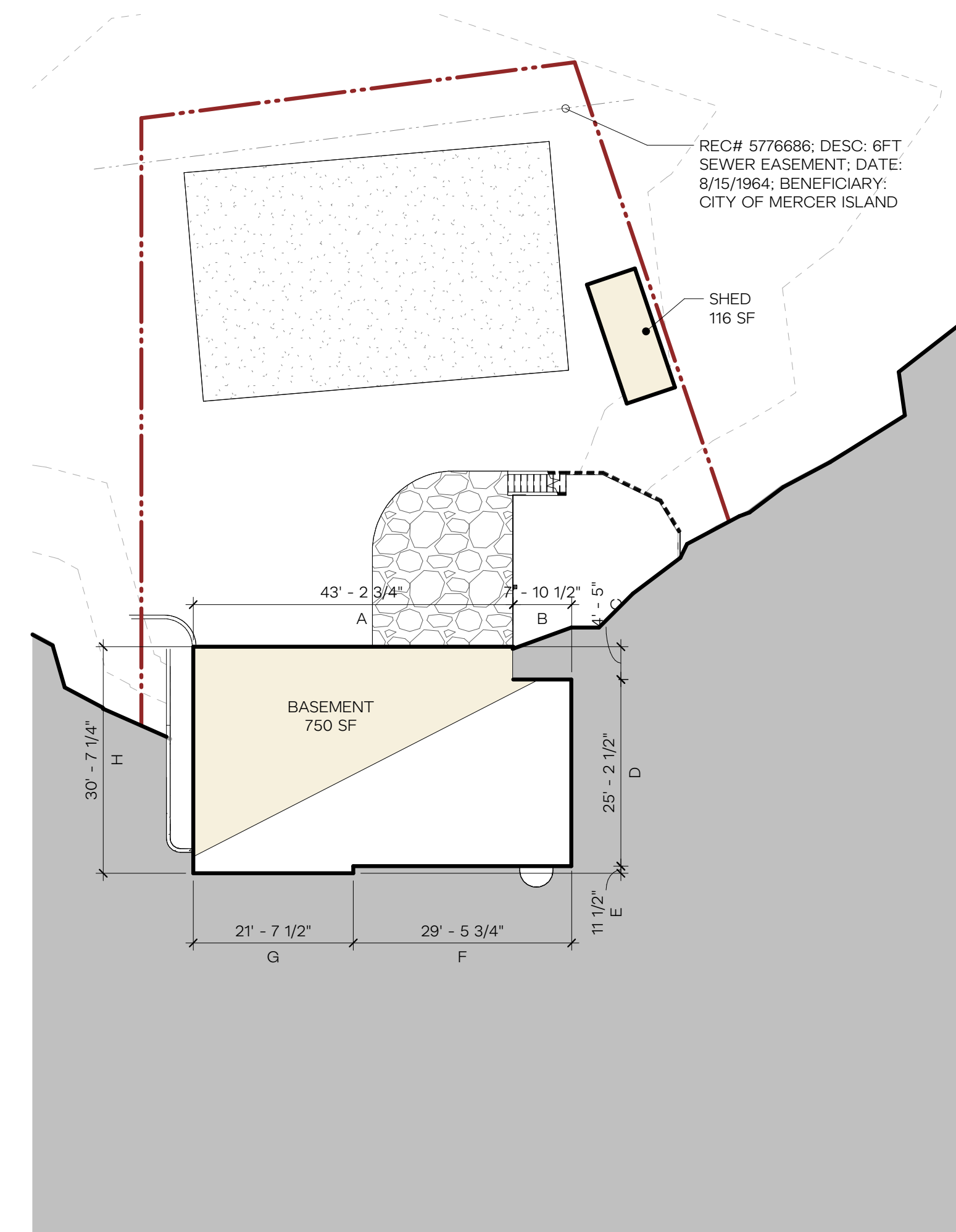
EXISTING FLOOR AREA
PROPOSED FLOOR AREA



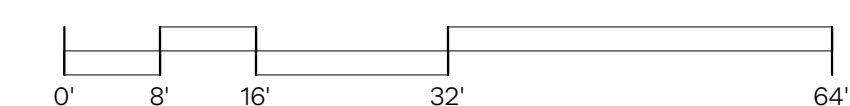
3 SECOND FLOOR - GROSS FLOOR AREA DIAGRAM
1/16" = 1'-0"



2 MAIN FLOOR - GROSS FLOOR AREA DIAGRAM
1/16" = 1'-0"



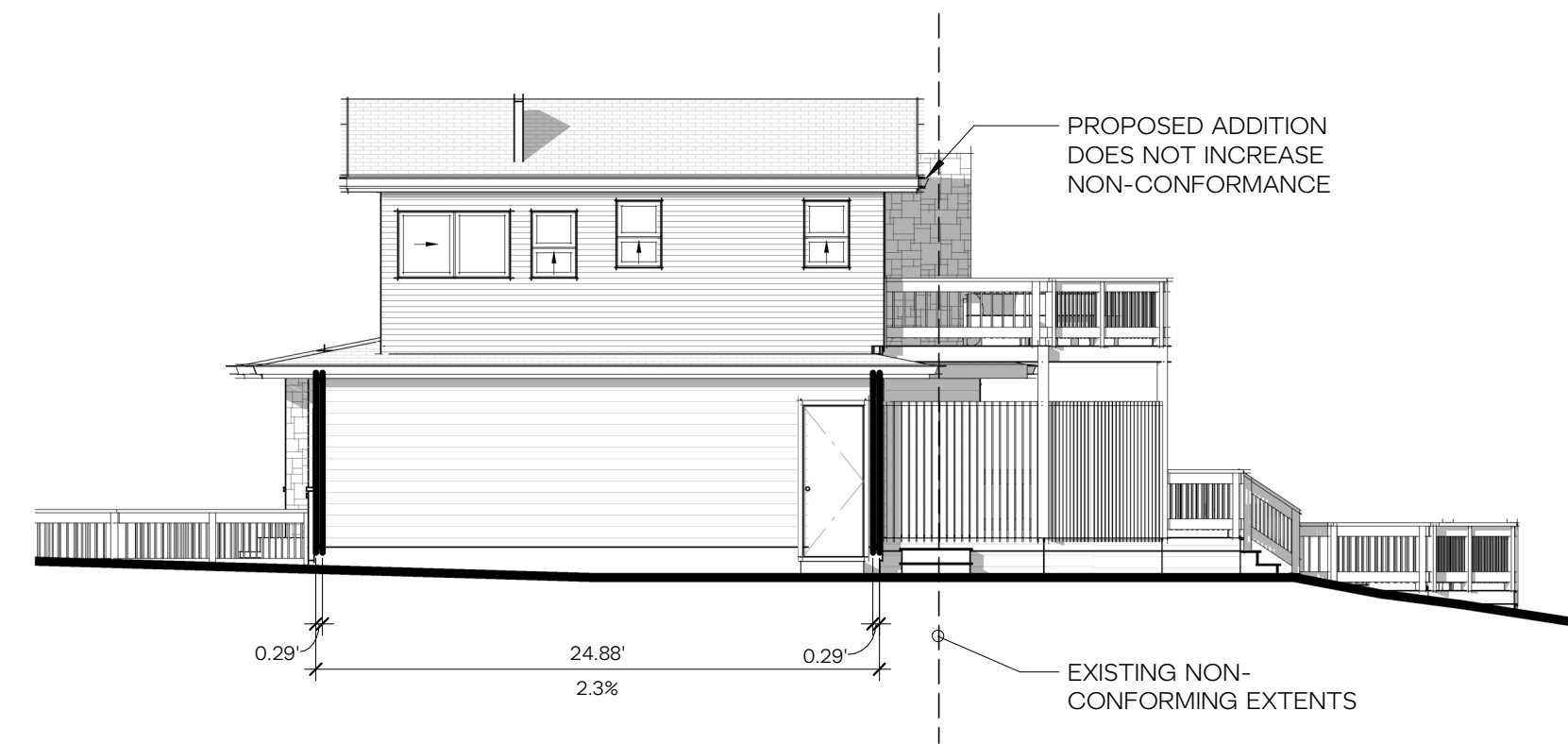
1 BASEMENT - GROSS FLOOR AREA DIAGRAM
1/16" = 1'-0"



NON-CONFORMING STRUCTURE

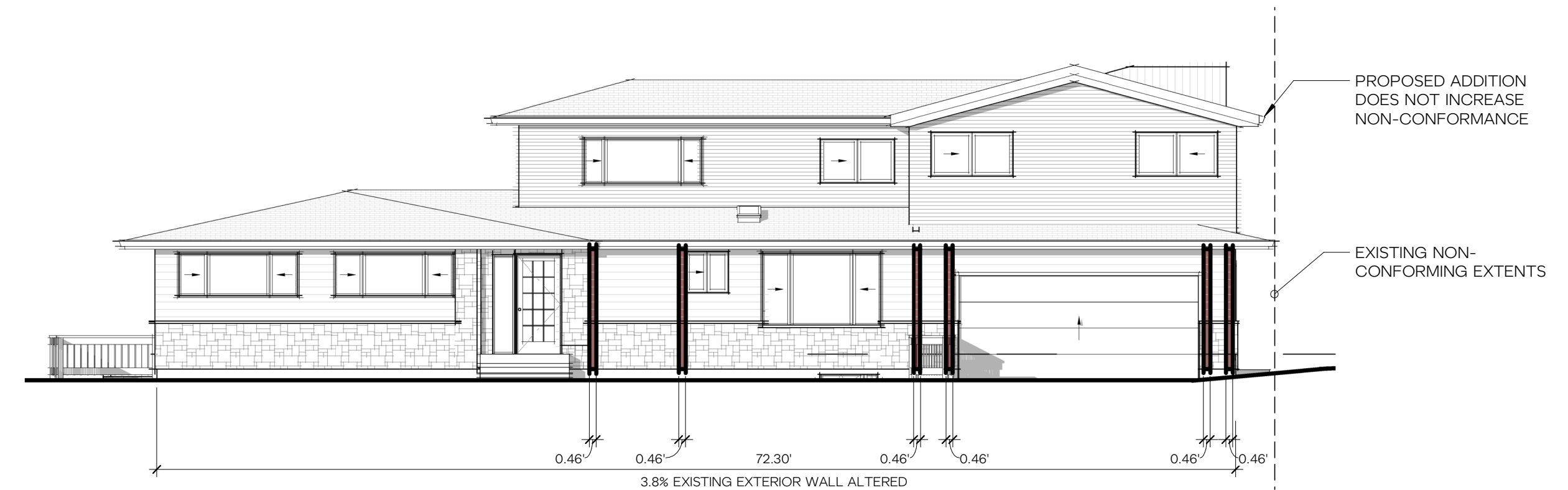
LENGTH OF EXISTING EXTERIOR WALLS	
SOUTH WALL LENGTH	= 72.29 FT
WEST WALL LENGTH	= 30.52 FT
NORTH WALL LENGTH	= 72.30 FT
EAST WALL LENGTH	= 24.88 FT
TOTAL WALL LENGTH	= 199.98 FT
40% OF EXISTING EXTERIOR WALLS (MAX STRUCTURAL ALTERATION)	
	= 80 FT
SOUTH WALL STRUCTURAL ALTERATIONS	= 2.59 FT
WEST WALL STRUCTURAL ALTERATIONS	= 0 FT
NORTH WALL STRUCTURAL ALTERATIONS	= 2.76 FT
EAST WALL STRUCTURAL ALTERATIONS	= 0.58 FT
TOTAL STRUCTURAL ALTERATION	= 5.93 FT

 NEW STRUCTURAL ELEMENTS



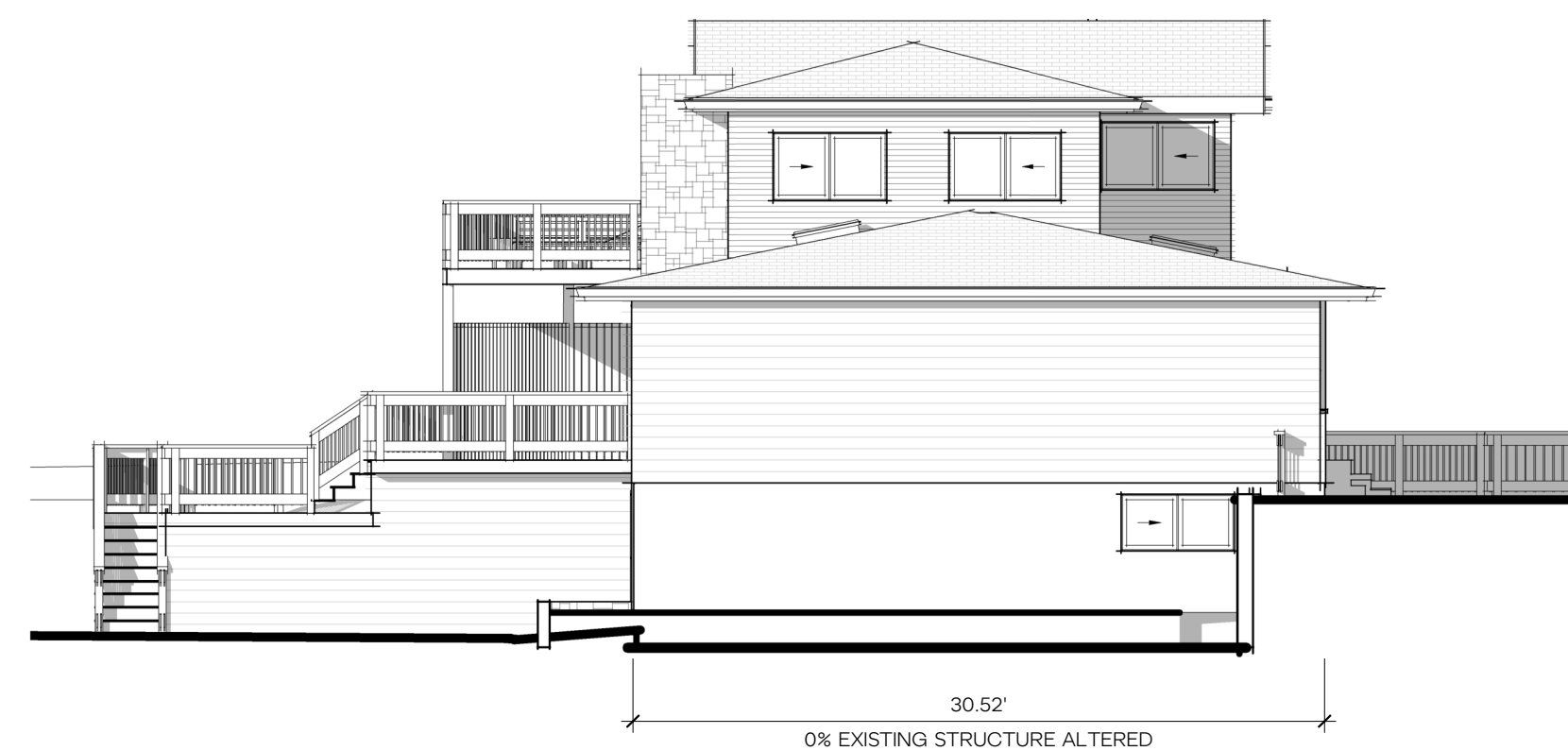
4 EAST ELEVATION - NON-CONFORMING STRUCTURE

1/8" = 1'-0"



3 NORTH ELEVATION - NON-CONFORMING STRUCTURE

1/8" = 1'-0"



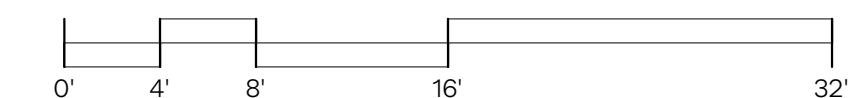
2 WEST ELEVATION - NON-CONFORMING STRUCTURE

1/8" = 1'-0"



1 SOUTH ELEVATION - NON-CONFORMING STRUCTURE

1/8" = 1'-0"



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KAYSIE LOUISE ROZSONITS
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KAMPF RESIDENCE

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JESSICA + JOEY KAMPF

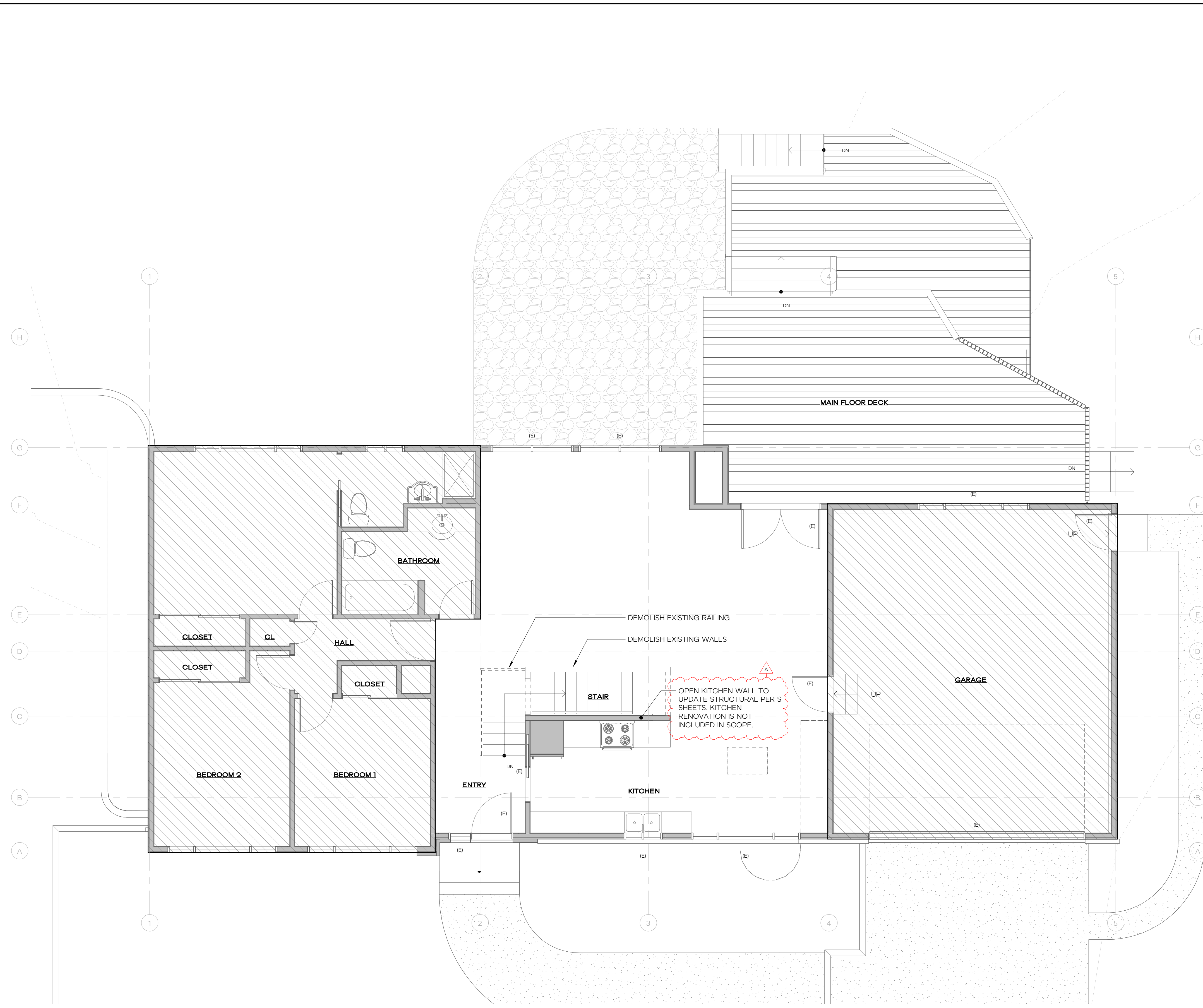
HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISION
2020.01.01 Placeholder

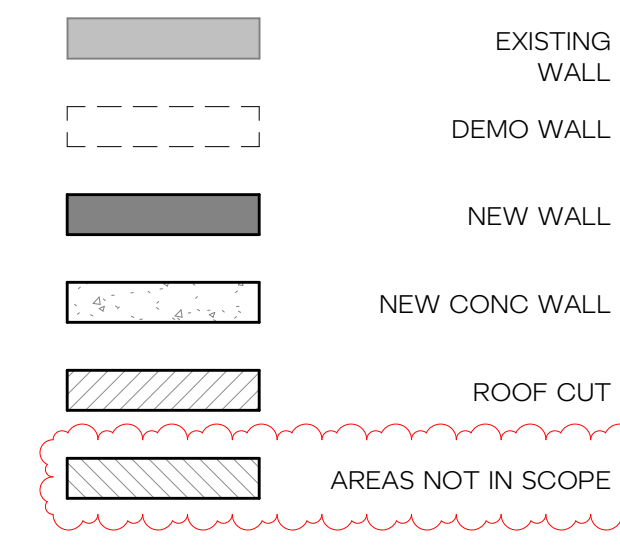
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03.09.2023 PERMIT SUBMITTAL

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DIAGRAMS -
NON-CONFORMING
STRUCTURE
A1.15



WALL KEY



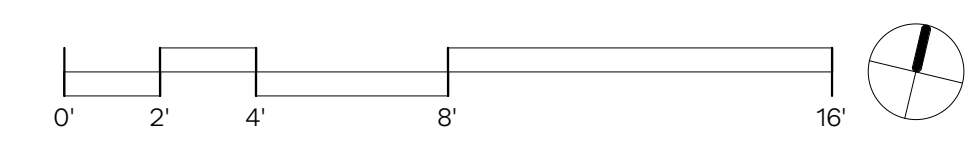
WINDOW / DOOR

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

DEMOLITION NOTES

1. CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
2. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
3. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.

1 MAIN FLOOR - DEMOLITION PLAN
1/4" = 1'-0"



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JURISDICTIONAL #: TBD

REVISION

1	05.22.2023	REVIEW RESPONSES
A	05.22.2023	PLAN CHANGE

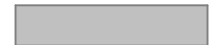
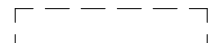


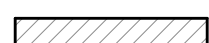
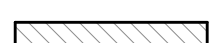
ISSUANCE

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03.09.2023	PERMIT SUBMITTAL

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DEMOLITION FIRST FLOOR PLANS
A2.11

WALL KEY

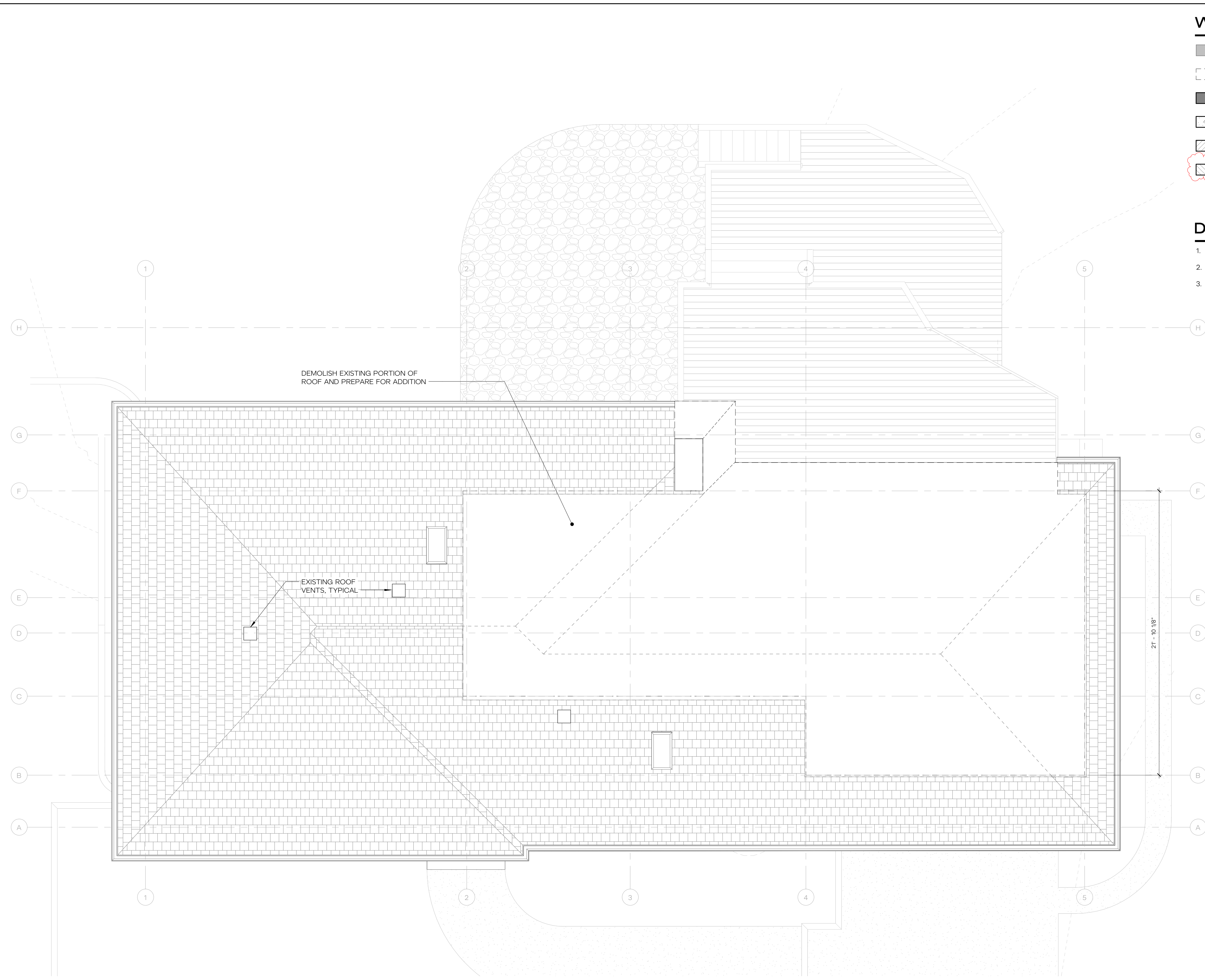
-  EXISTING WALL
-  DEMO WALL
-  NEW WALL
-  NEW CONC WALL
-  ROOF CUT
-  AREAS NOT IN SCOPE

WINDOW / DOOR

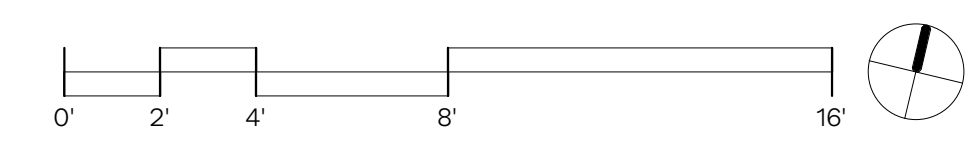
- (E) EXISTING DOOR OR WINDOW TO REMAIN
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- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

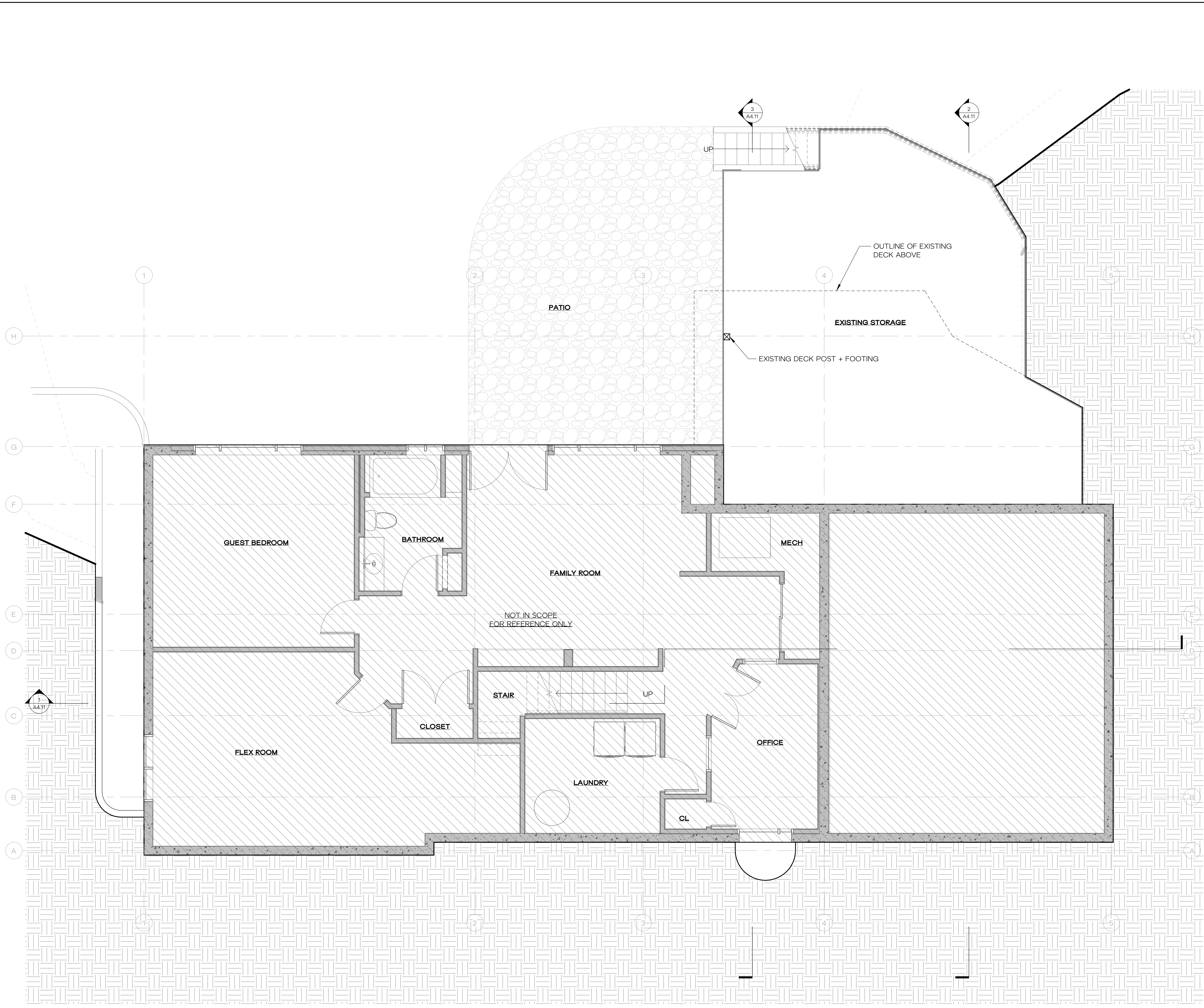
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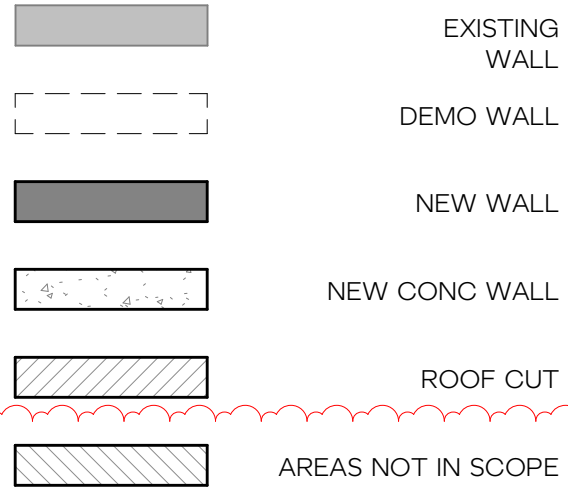


1 ROOF - DEMOLITION PLAN
1/4" = 1'-0"





WALL KEY



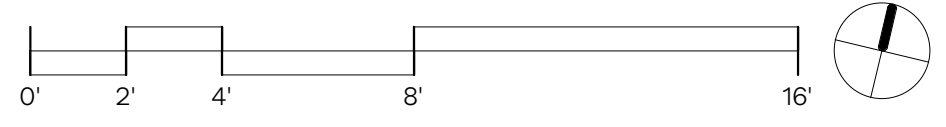
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- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

GENERAL PLAN NOTES

1. SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
2. SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS.
3. SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W.0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
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7. NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.

1 BASEMENT - EXISTING PLAN - FOR REFERENCE ONLY
1/4" = 1'-0"



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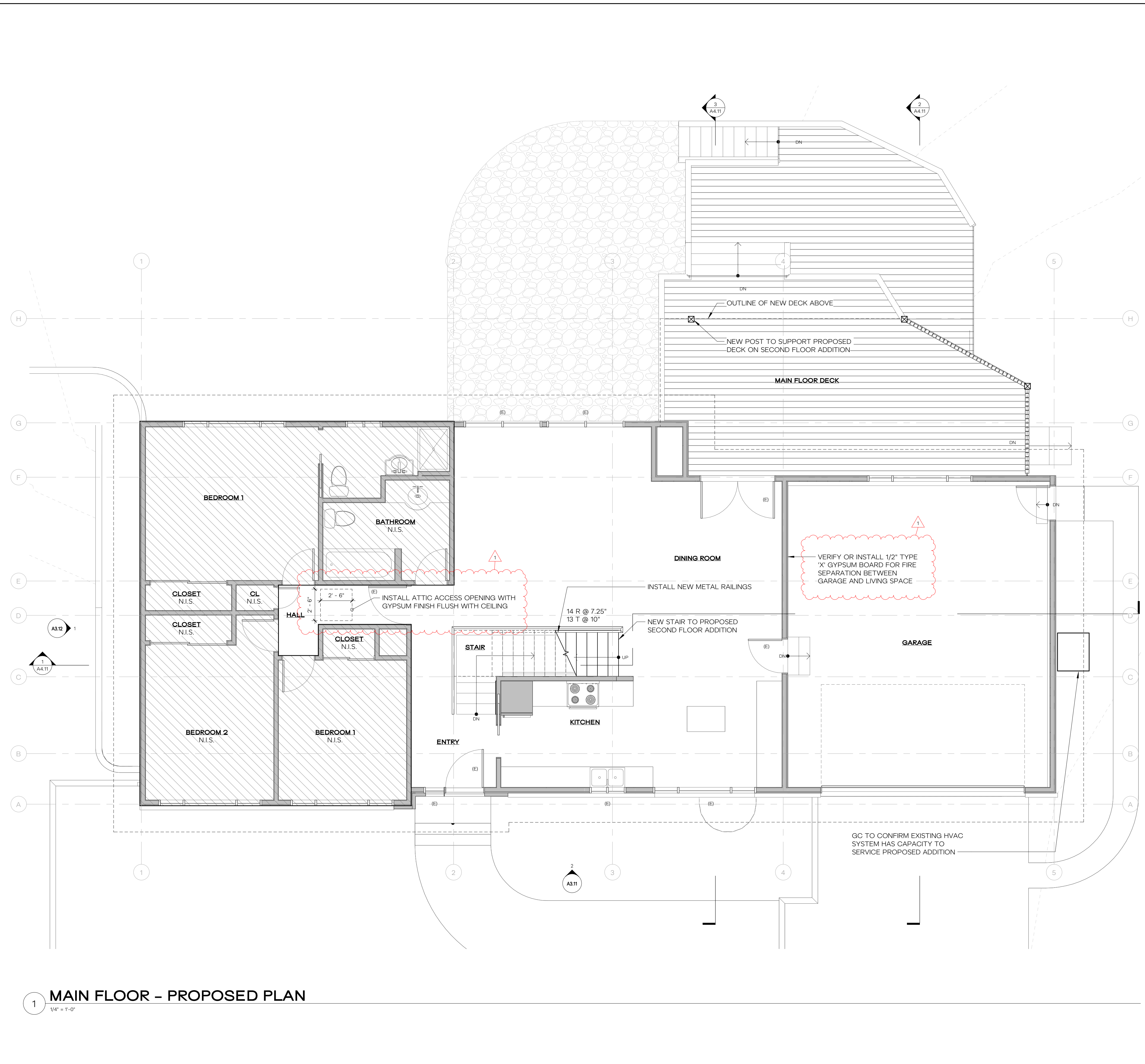
HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISION
1 05.22.2023 REVIEW RESPONSES

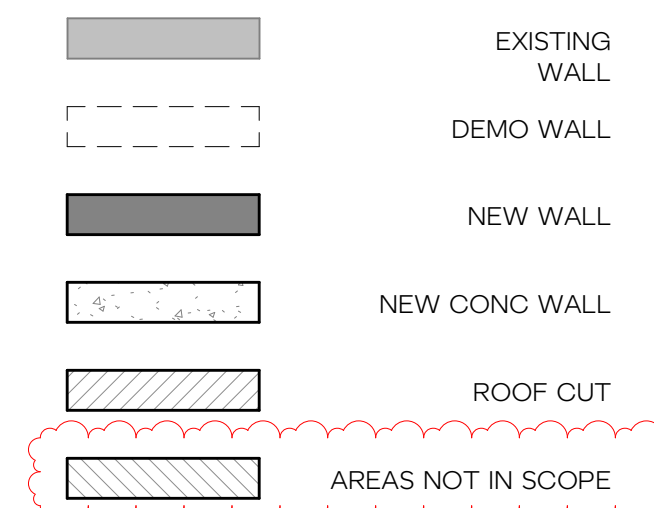
ISSUANCE
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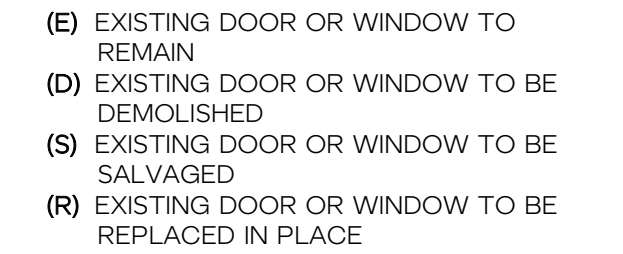
PROPOSED BASEMENT FLOOR PLAN
A2.21



WALL KEY



WINDOW / DOOR



GENERAL PLAN NOTES

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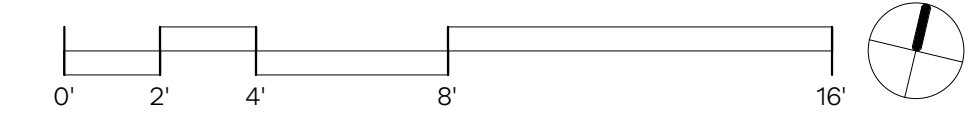
REVISION
 1 05.22.2023 REVIEW RESPONSES

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PROPOSED FIRST FLOOR PLAN
A2.22

1 MAIN FLOOR - PROPOSED PLAN
 1/4" = 1'-0"



REVISION	

WALL KEY

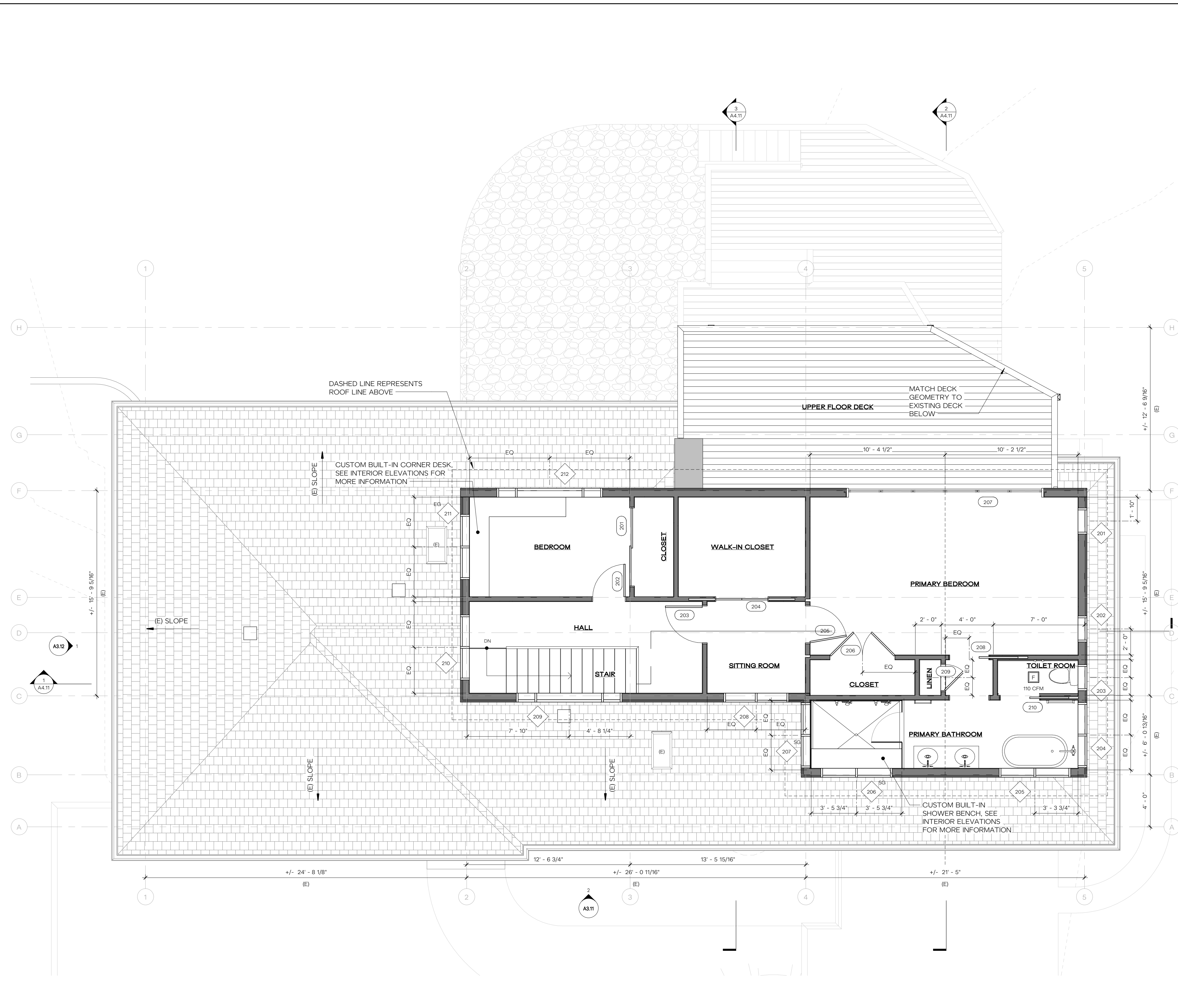
- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL
- ROOF CUT
- AREAS NOT IN SCOPE

WINDOW / DOOR

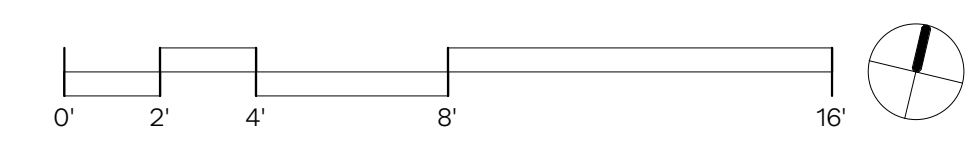
- (E) EXISTING DOOR OR WINDOW TO REMAIN
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1 SECOND FLOOR - PROPOSED PLAN
1/4" = 1'-0"



WALL KEY

- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL
- ROOF CUT
- AREAS NOT IN SCOPE

WINDOW / DOOR

- (E) EXISTING DOOR OR WINDOW TO REMAIN
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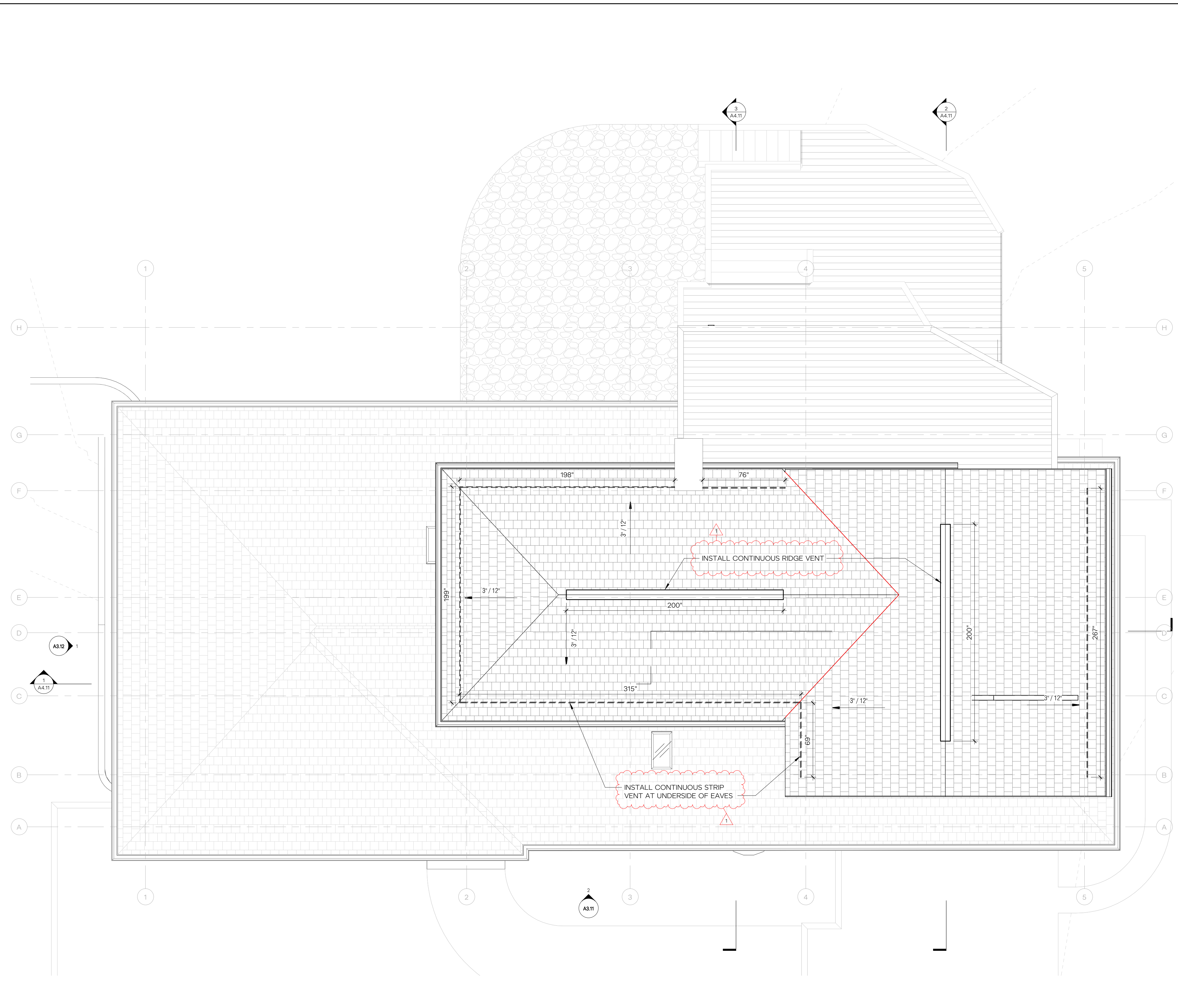
ROOF VENTILATION CALCULATION

REFERENCE:

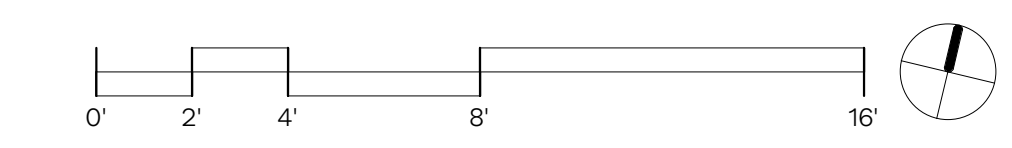
- R806.2**
THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED THAT BOTH OF THE FOLLOWING CONDITIONS ARE MET:
1. IN CLIMATE ZONES 6,7, AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING.
 2. NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATION LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE.

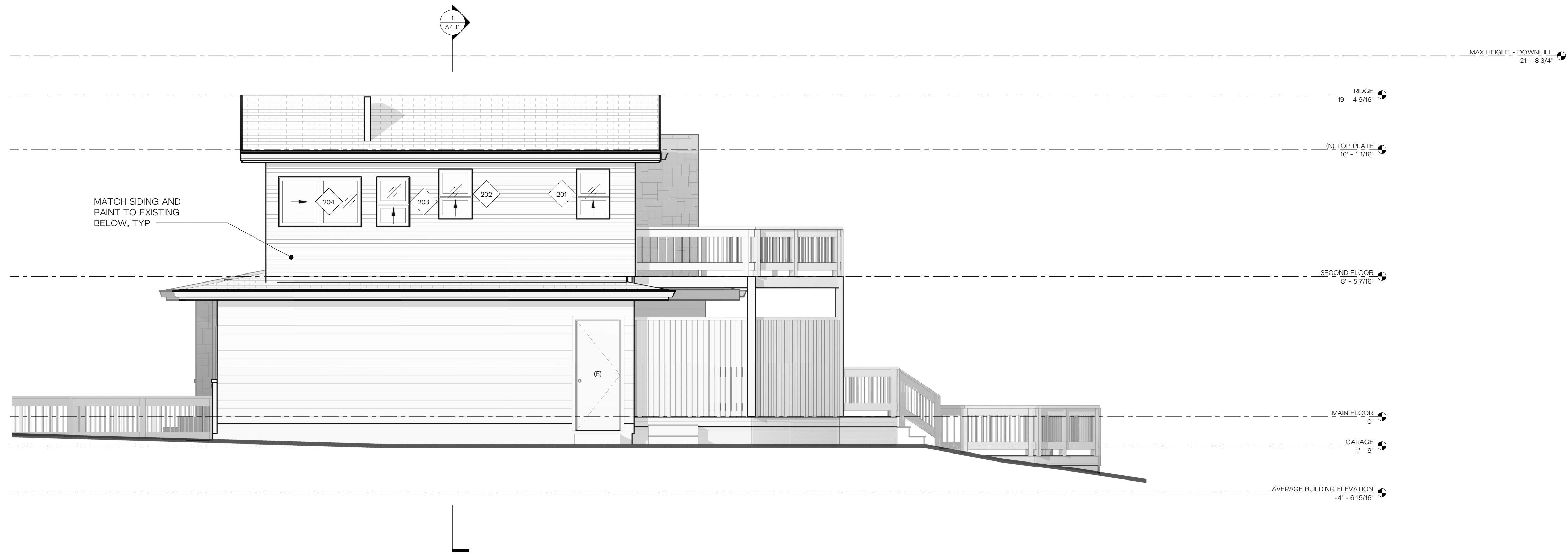
ROOF VENTILATION CALCULATIONS:

VENTED AREA =	921 SF = 11,052 SQ IN
REQUIRED VENTILATION	= 11,052 X 1/150 = 73.68 SQ IN
UPPER VENTILATION ALLOWANCE:	
40% OF VENTING AREA	= 4,421 SQ IN
50% OF VENTING AREA	= 5,526 SQ IN
PROVIDED AREA =	
EAVE =	(10 SQ IN PER LIN. FT) x 1,124" = 11,240 SQ IN
COR A VENT S400 STRIP VENT'	
RIDGE =	(13.5 SQ IN PER LIN. FT) x 400" = 5,400 SQ IN
COR A VENT V-300E RIDGE VENT'	

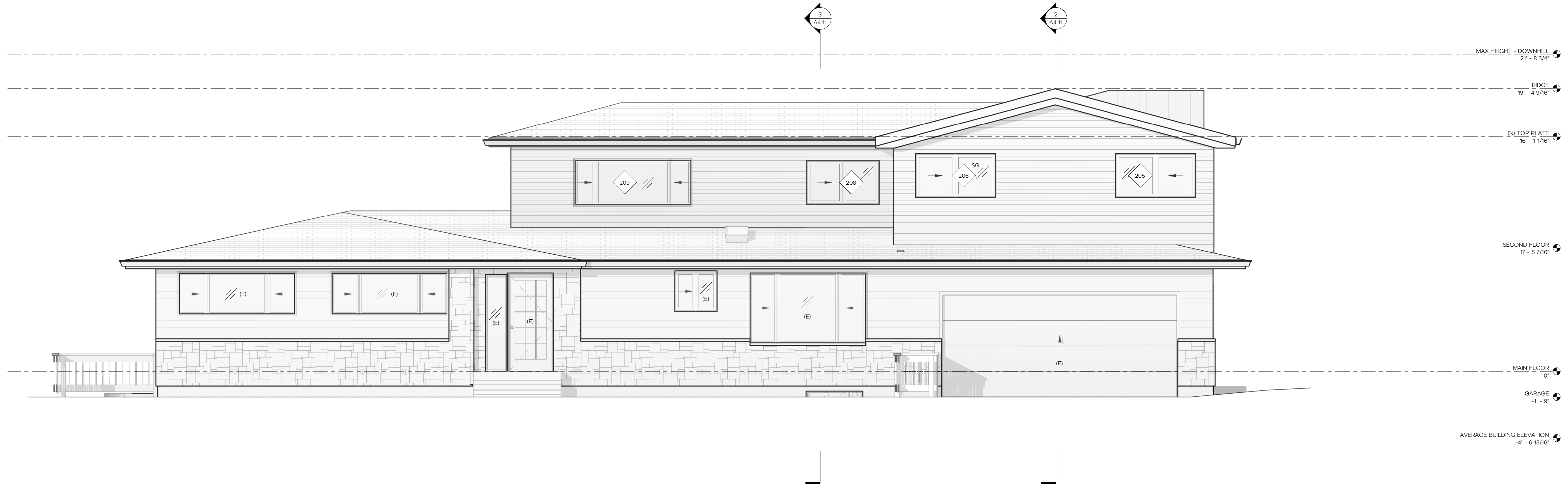


1 ROOF - PROPOSED PLAN
1/4" = 1'-0"

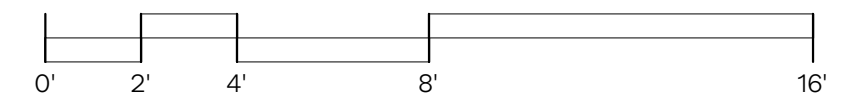




1 EAST ELEVATION - PROPOSED
1/4" = 1'-0"



2 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



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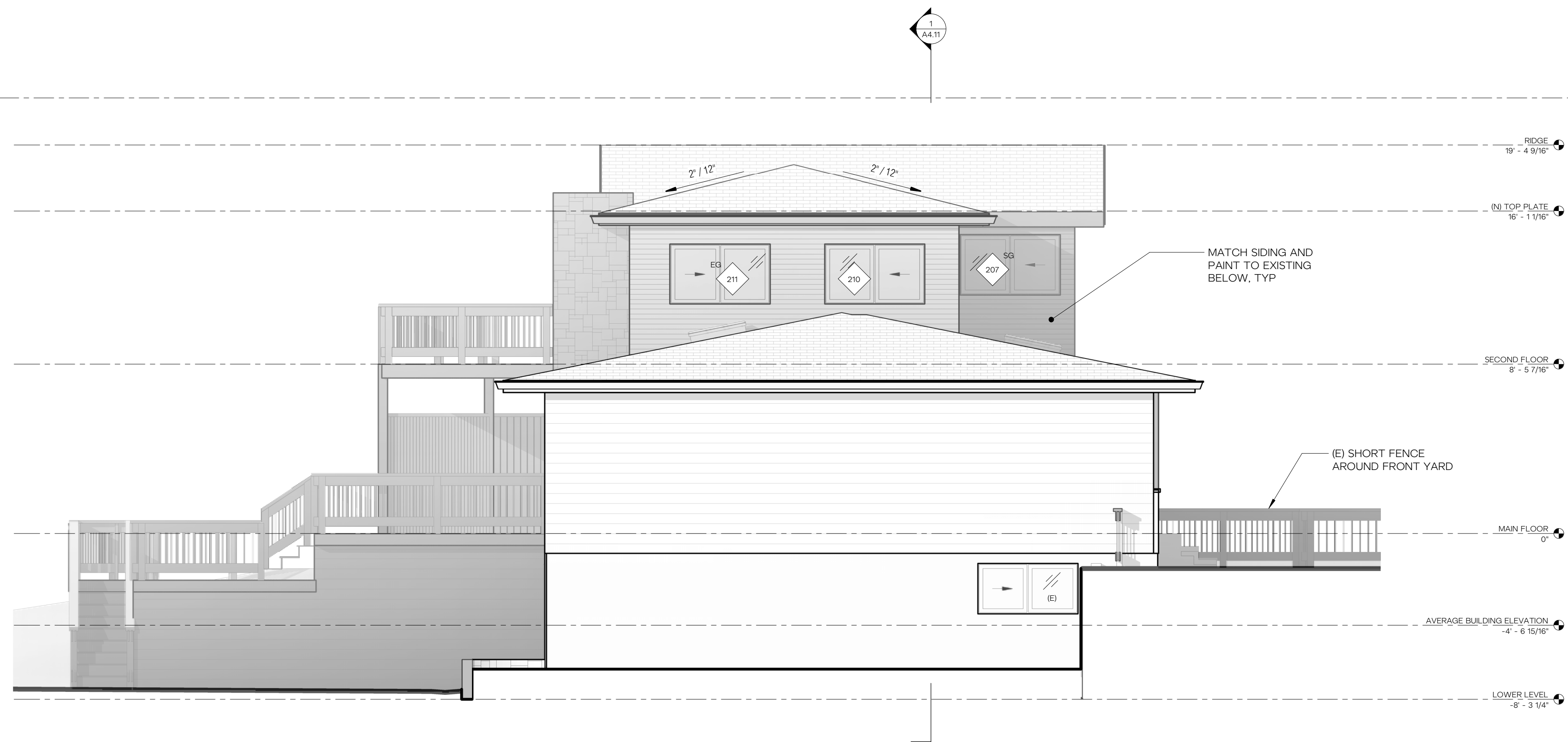
HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISION	

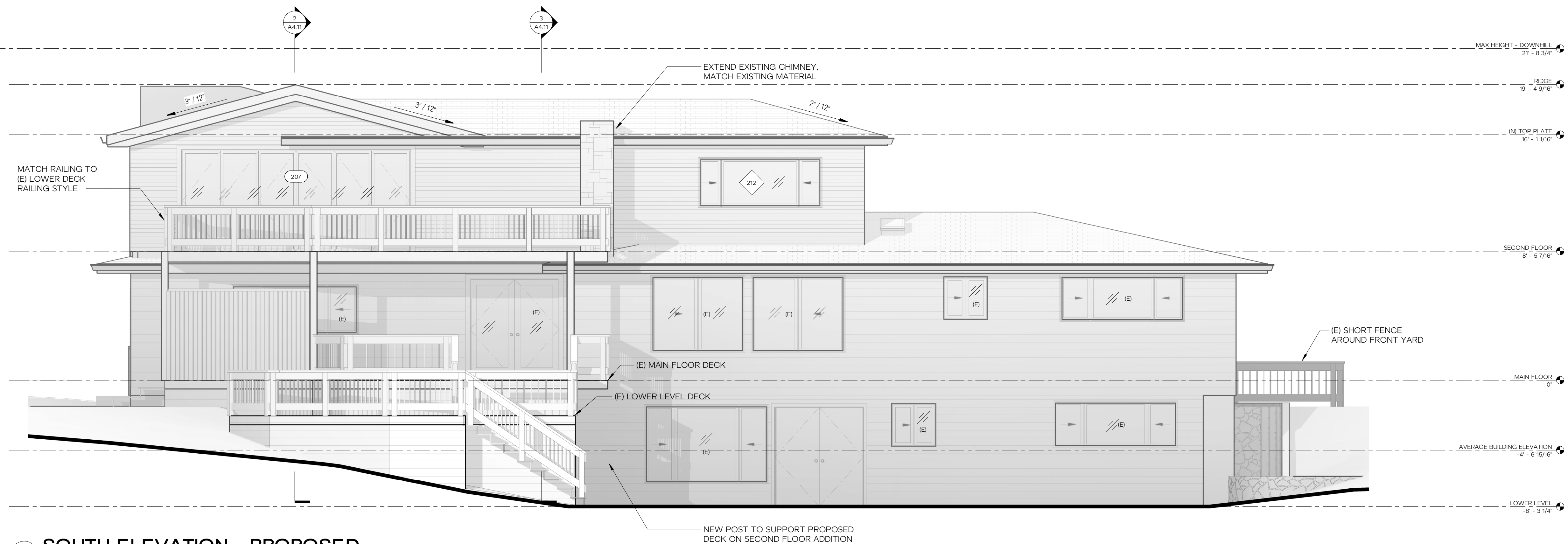
ISSUANCE
09.28.2022 SCHEMATIC PRICING
03.09.2023 PERMIT SUBMITTAL

PLOTTED: 7/18/2023 11:35:15 AM

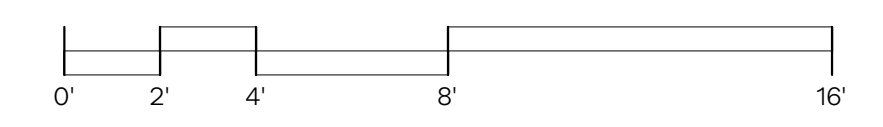
PROPOSED EXTERIOR ELEVATIONS
A3.11



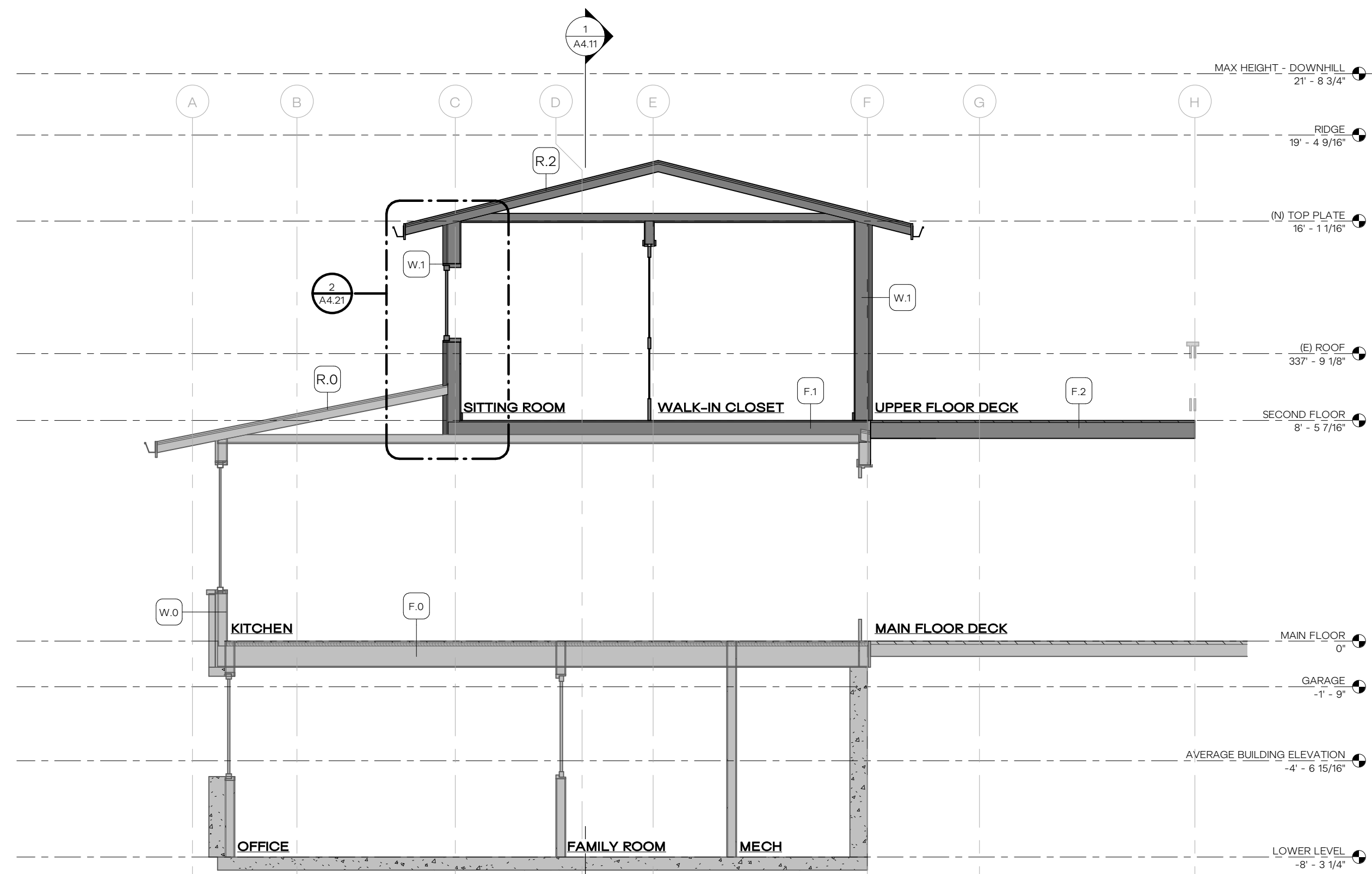
1 WEST ELEVATION - PROPOSED
1/4" = 1'-0"



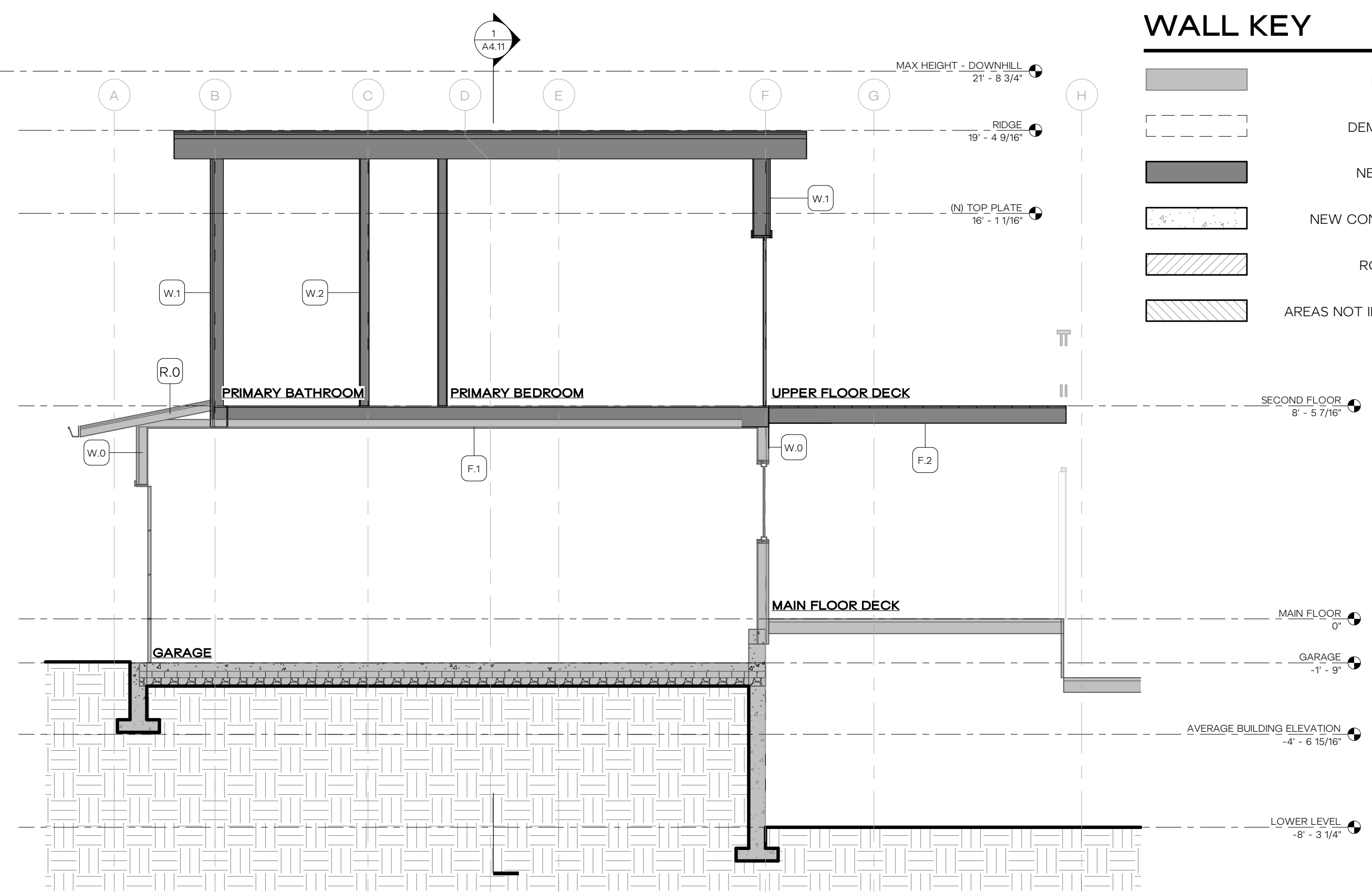
2 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"



REVISION	



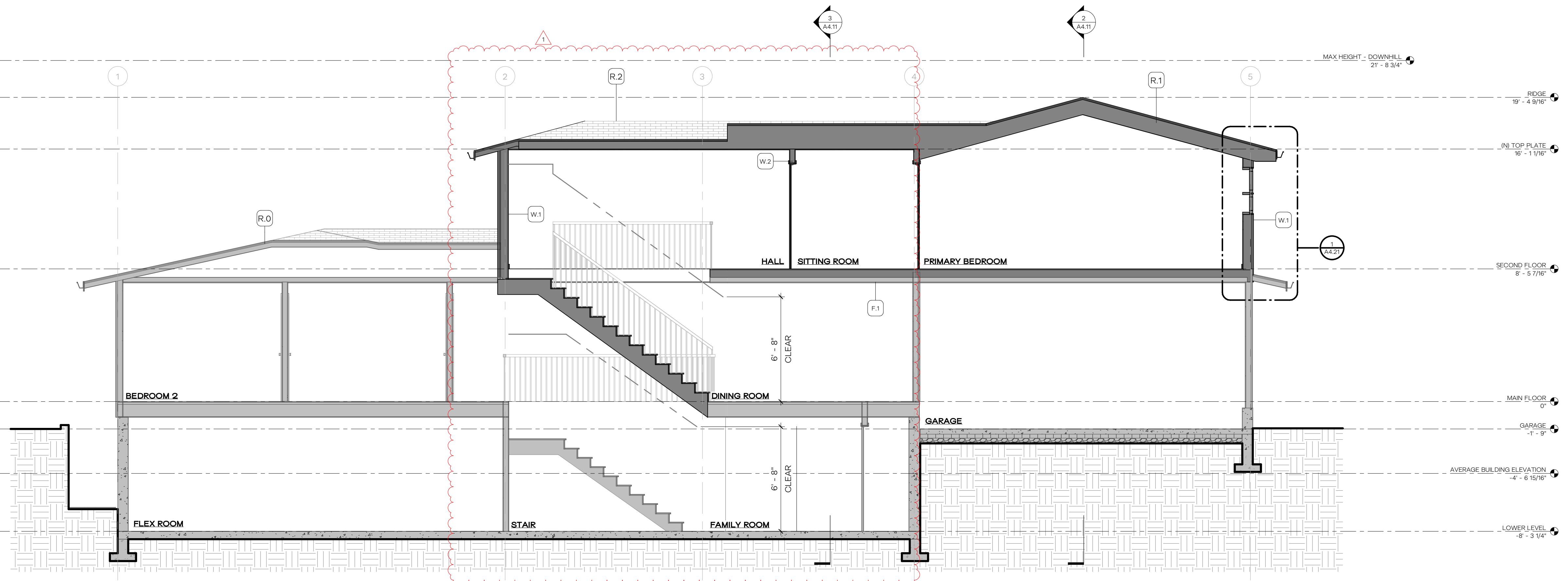
3 NORTH / SOUTH SECTION - LOOKING WEST THROUGH SITTING ROOM
1/4" = 1'-0"



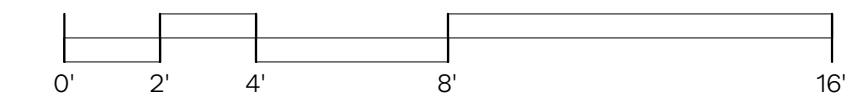
2 NORTH / SOUTH SECTION - LOOKING WEST THROUGH PRIMARY BEDROOM
1/4" = 1'-0"

WALL KEY

- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL
- ROOF CUT
- AREAS NOT IN SCOPE



1 EAST / WEST SECTION - LOOKING NORTH
1/4" = 1'-0"



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12341 REGISTERED ARCHITECT
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ORIGINAL SHEET SIZE IS 22"x34"

KAMPF RESIDENCE
8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISION	
1	07.14.2023 REVIEW RESPONSES

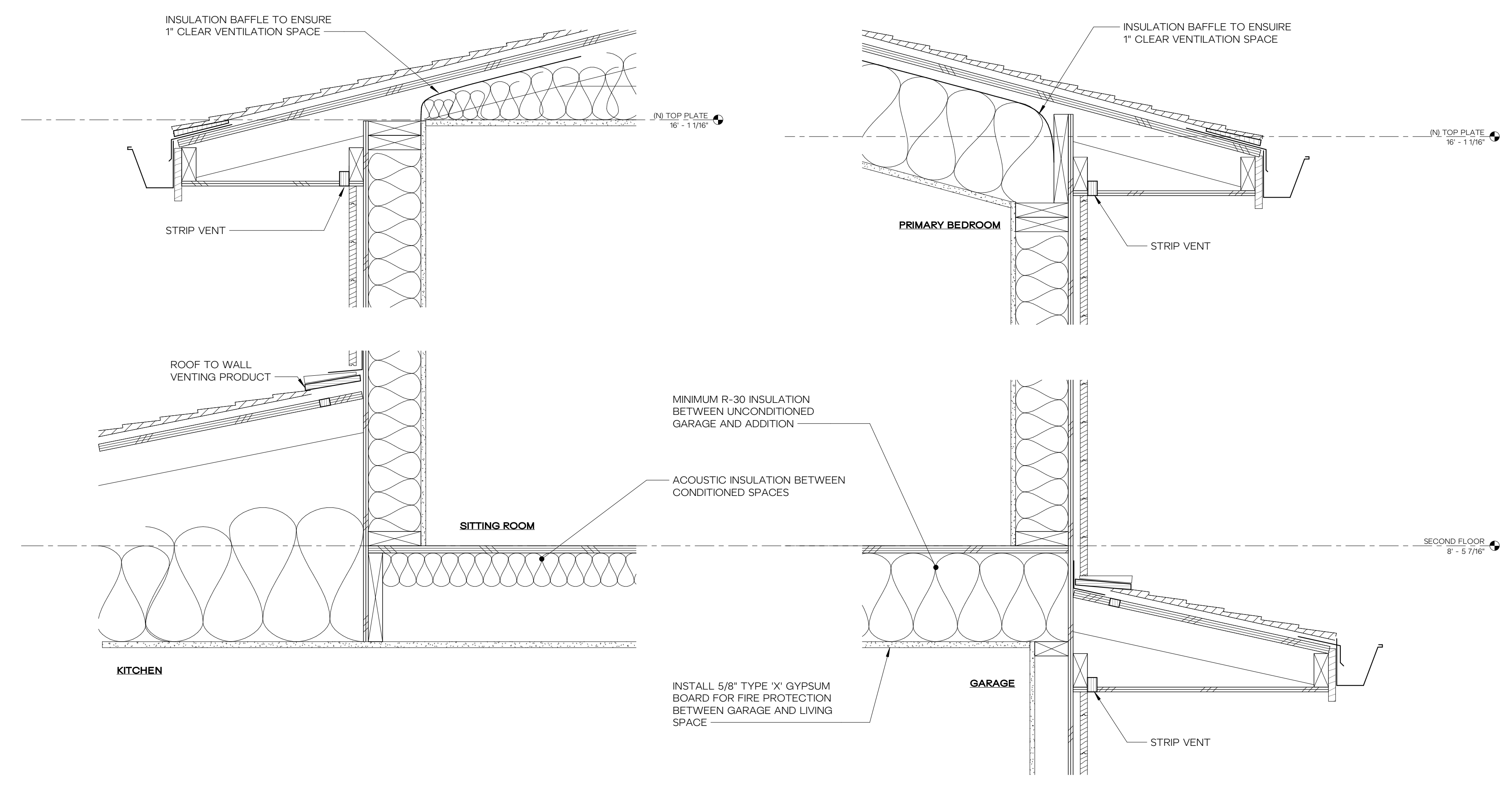
ISSUANCE	
09.28.2022	SCHEMATIC PRICING
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PROPOSED BUILDING SECTIONS
A4.11

REVISION	

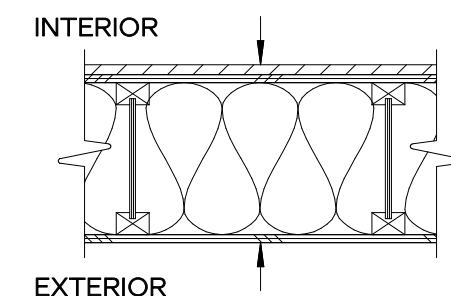
ISSUANCE	
09.28.2022	SCHEMATIC PRICING
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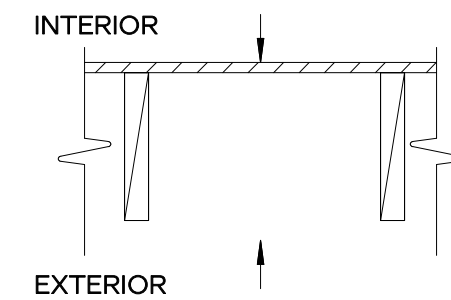
2 WALL AT EXISTING ROOF TO NEW ADDITION
1 1/2" = 1'-0"

1 WALL AT GARAGE AND NEW SECOND FLOOR
1 1/2" = 1'-0"

FLOOR ASSEMBLIES

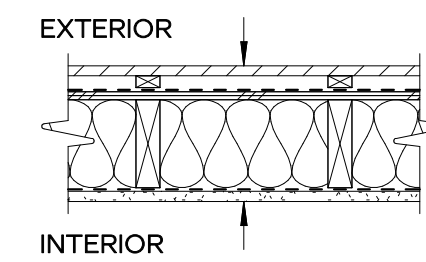


- E.1 - NEW INSULATED FLOOR**
- FINISH PER SPECIFICATION
 - PLYWOOD SUBFLOOR PER STRUCTURAL
 - JOISTS PER STRUCTURAL
 - R-30 BATT INSULATION
 - PLYWOOD SOFFIT

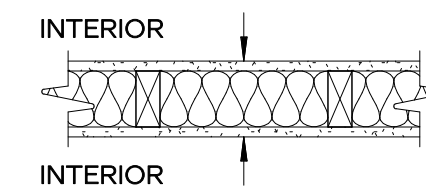


- E.2 - DECK FLOOR**
- DECKING INSTALLED WITH 1/8" SPACES BETWEEN BOARDS
 - JOISTS PER STRUCTURAL

WALL ASSEMBLIES

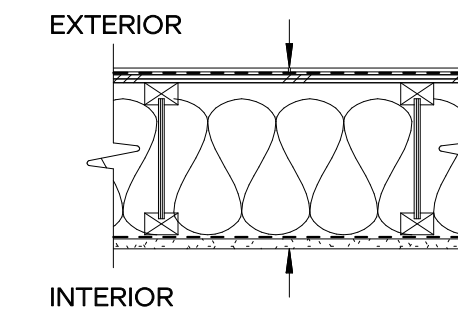


- W.1 - EXTERIOR WALL**
- SIDING PER ELEVATIONS
 - 1X FURRING
 - TYPE III WRB PER SPECIFICATIONS
 - PLYWOOD SHEATHING
 - 2x6 FRAMING
 - R-21 INSULATION PER SPECIFICATIONS
 - AIR & TYPE III VAPOR BARRIER PER SPECIFICATIONS
 - GYPSUM WALL BOARD



- W.2 - NEW INTERIOR WALL**
- FINISH PER SPECIFICATIONS
 - GYPSUM WALL BOARD
 - 2x4 FRAMING, UNO
 - ACOUSTIC INSULATION PER PLANS
 - GYPSUM WALL BOARD
 - FINISH PER SPECIFICATIONS

ROOF ASSEMBLIES



- R.1 VENTED SLOPED ROOF**
- MATCH EXISTING SHINGLES
 - ICE & WATER SHIELD
 - PLYWOOD SHEATHING
 - PREMANUFACTURED TRUSSES
 - 1" VENTILATION GAP
 - INSULATION PER G1.01
 - TYPE II VAPOR BARRIER
 - GYPSUM CEILING BOARD
 - INTERIOR FINISH

WINDOW SCHEDULE

MARK	LOCATION	WIDTH	HEIGHT	GLAZING AREA	Head Height	EXTERIOR	EGRESS	SAFETY GLAZING	U FACTOR	NOTES
201	PRIMARY BEDROOM	2' - 0"	3' - 0"	6 SF	3' - 10 7/8"	●			0.00	
202	PRIMARY BEDROOM	2' - 0"	3' - 0"	6 SF	3' - 10 7/8"	●			0.00	
203	TOILET ROOM	2' - 0"	3' - 0"	6 SF	6' - 0"	●			0.00	
204	PRIMARY BATHROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	●			0.00	
205	PRIMARY BATHROOM	5' - 6"	3' - 0"	17 SF	3' - 10 7/8"	●			0.00	
206	PRIMARY BATHROOM	5' - 6"	3' - 0"	17 SF	3' - 10 7/8"	●		●	0.00	
207	PRIMARY BATHROOM	5' - 0"	3' - 0"	15 SF	3' - 10 7/8"	●		●	0.00	
208	SITTING ROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	●		●	0.00	
209	HALL	8' - 1 1/2"	3' - 3 1/2"	27 SF	6' - 3 1/2"	●			0.00	
210	HALL	5' - 0"	3' - 0"	15 SF	6' - 0"	●			0.00	
211	BEDROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	●	●		0.00	
212	BEDROOM	8' - 1 1/2"	3' - 3 1/2"	27 SF	6' - 3 1/2"	●			0.00	

WINDOW

- WINDOW HEAD HEIGHTS MEASURED FROM TOP SHEATHING.
- WINDOW SCHEDULE INDICATES WINDOW FRAME SIZES. VERIFY WITH ARCHITECT ALL WINDOW SIZES BEFORE FRAMING OPENINGS.
- PROVIDE WINDOW SUBMITTALS TO ARCHITECT PRIOR TO ORDERING WINDOWS.
- ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS INDICATED OTHERWISE. ADJUST ROUGH OPENING HEIGHTS OR CUT DOWN DOORS AS NECESSARY (CONSULT WITH ARCHITECT AS NECESSARY).
- SEE PROJECT SPECIFICATIONS FOR WINDOW MANUFACTURER AND OTHER INFORMATION.
- CONTRACTOR TO ORDER EGRESS WINDOWS WITH PROPER EGRESS HARDWARE WHERE REQUIRED TO MEET CODE REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL EGRESS WINDOWS ORDERED MEET CURRENT CODE EGRESS REQUIREMENTS.
- SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

A9.0 - DOOR SCHEDULE

MARK	LOCATION	WIDTH	HEIGHT	DOOR	GLAZING AREA	EXTERIOR	U FACTOR	NOTES
				SIZE THICKNES S				
201	BEDROOM	6' - 0"	6' - 8"	1 3/8"				
202	BEDROOM	2' - 6"	6' - 8"	1 3/8"				
203	SITTING ROOM	2' - 10"	6' - 8"	1 3/8"				
204	WALK-IN CLOSET	4' - 0"	6' - 8"	1 3/8"				
205	PRIMARY BEDROOM	2' - 10"	6' - 8"	1 3/8"				
206	PRIMARY BEDROOM	5' - 0"	6' - 8"	1 3/8"				
207	PRIMARY BEDROOM	15' - 0"	6' - 8"	1 3/8"	82 SF	●	0.28	PEL-N-242-02470-00001
208	PRIMARY BEDROOM	3' - 0"	6' - 8"	1 1/2"				
209	LINEN	2' - 0"	6' - 8"	1 3/8"				
210	TOILET ROOM	3' - 0"	6' - 8"	1 1/2"				

DOOR

- DOOR SCHEDULE INDICATES DOOR PANEL SIZE.
- VERIFY WITH ARCHITECT ALL DOOR SIZES BEFORE FRAMING OPENINGS.
- ALL OPERATIONS NOTED ON FLOOR PLANS AND/OR ELEVATIONS. IF A DOOR KEY IS PROVIDED, IT IS FOR CONVENIENCE AND MAY NOT INDICATE ALL THE NECESSARY OPTIONS OF A DOOR.
- CONTRACTOR TO CONFIRM ACTUAL DOOR SIZES AND ROUGH OPENING SIZES FOR ALL DOORS.
- PROVIDE DOOR SUBMITTALS TO ARCHITECT PRIOR TO ORDERING DOORS.
- ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS NOTED OTHERWISE.
- ALL GLAZING IN NEW DOORS TO BE APPROVED SAFETY-GLAZING. CONTRACTOR IS TO VERIFY THAT ALL DOORS REQUIRING SAFETY GLAZING ARE MANUFACTURED AND INSTALLED WITH THE CORRECT GLAZING.
- SEE PROJECT SPECIFICATIONS FOR DOOR MANUFACTURER AND OTHER INFORMATION.
- ALL EXTERIOR DOORS AND DOORS TO UNHEATED SPACES SHALL BE FULLY WEATHERSTRIPPED.
- SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

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ARCHITECTURE + INTERIORS

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ASSEMBLIES // SCHEDULES

A9.11

General Structural Notes

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

CRITERIA

- ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION).
- DESIGN LOADING CRITERIA:

RESIDENTIAL – ONE AND TWO-FAMILY DWELLINGS
FLOOR LIVE LOAD 40 PSF
ROOF
ROOF LIVE LOAD 25 PSF
MISCELLANEOUS LOADS
DECKS 1.5 AREA SERVED PSF

DEFLECTION CRITERIA
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240

ENVIRONMENTAL LOADS
SNOW Ce=1.0, Is=1.0, Ct=1.0, Cs=1.0, Pg=25 PSF, Pf=25 PSF
WIND C_{sp}i=0.18, 110 MPH, RISK CATEGORY II, EXPOSURE "B", KZT=1.30
EARTHQUAKE ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE
LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS, V_s=17.9 KIPS
SITE CLASS=D, S_s=147, S_{ds}=117, S1=51, SD1=57, Cs=0.180
SDC D (DEFAULT), I_e=1.0, R=6.5

SEE PLANS FOR ADDITIONAL LOADING CRITERIA
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.
- PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".
- CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.
- ALL STRUCTURAL SYSTEMS, WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERRECTED, SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

QUALITY ASSURANCE

- SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.

EXPANSION BOLTS AND THREADED EXPANSION INSERTS PER MANUFACTURER
EPOXY GROUTED INSTALLATIONS PER MANUFACTURER

PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS.
CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.
- UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705.12 OF THE INTERNATIONAL BUILDING CODE.

A. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR FIELD GLUING, NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE, RESISTING SYSTEM INCLUDING SHEAR WALLS, DIAPHRAGMS, DRAG STRUTS, BRACES AND HOLDDOWNS.

GEOTECHNICAL

- FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

ALLOWABLE SOIL PRESSURE. 1500 PSF
LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED) 55 PCF/35 PCF
ALLOWABLE PASSIVE EARTH PRESSURE (FS OF 1.5 INCLUDED). 350 PCF
COEFFICIENT OF FRICTION (FS OF 1.5 INCLUDED). 0.45
SEISMIC SURCHARGE PRESSURE (UNIFORM LOAD) 8H PSF

RENOVATION

- DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

- CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF $f'c = 3,000$ PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS $f'c = 2,500$ PSI.
- ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI.
- DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 318R-18 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
- CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER). . . 1-1/2"
- CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.
- NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM).

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

- CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER). . . 1-1/2"

- CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.
- NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM).

ANCHORAGE

- EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.
- EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-XP" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2508. MINIMUM BASE MATERIAL TEMPERATURE IS 50 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

- EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "AT-XP" AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH IAMPO REPORT NO. ER-0281. MINIMUM BASE MATERIAL TEMPERATURE IS 14 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

- CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

WOOD

- FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WMPA STANDARD, WESTERN LUMBER GRADING RULES 2017. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS (2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS (INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS (4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLATES & MISC. FRAMING:	DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2

- GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS, WITH SPANS OVER 30', TO 3,500' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.

- MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E WS)	Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSI
LVL (2.0E-2600FB WS)	Fb = 2600 PSI, E = 2000 KSI, Fv = 285 PSI
LSL (1.55E)	Fb = 2325 PSI, E = 1550 KSI, Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

- PREFABRICATED PLYWOOD WEB JOISTS SHALL BE DESIGNED BY THE MANUFACTURER FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS AND SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED SPECIFICATIONS. ALL NECESSARY BRIDGING, BLOCKING, BLOCKING PANELS, STIFFENERS, ETC., SHALL BE DETAILED AND FURNISHED BY THE MANUFACTURER. SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. DESIGN SUBMITTALS SHALL BEAR THE STAMP AND SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER, STATE OF WASHINGTON. PERMANENT AND TEMPORARY BRIDGING SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS

THE DESIGN SHOWN ON THE PLANS IS BASED ON JOISTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION. IN ACCORDANCE WITH ICC-ES REPORT ESR-1157, ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES

- PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:

TOP CHORD LIVE LOAD	25 PSF
TOP CHORD DEAD LOAD	10 PSF
BOTTOM CHORD DEAD LOAD	5 PSF
TOTAL LOAD	40 PSF
WIND UPLIFT (TOP CHORD)	5 PSF
BOTTOM CHORD LIVE LOAD	10 PSF
(BOTTOM CHORD LIVE LOAD DOES NOT ACT CONCURRENTLY WITH THE ROOF LIVE LOAD)	

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANGNAIL OR EQUAL). SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPs, VALLEYS, ETC., SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

- PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

- PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.

- FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

WOOD TREATMENT	CONDITION	PROTECTION
HAS NO AMMONIA CARRIER	INTERIOR DRY	G90 GALVANIZED
CONTAINS AMMONIA CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653
CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
AZCA	ANY	TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

- TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL T1 JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM)AS MEMBERS CONNECTED.

- WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d BOX	3-1/2"	0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS – PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND INSTALLED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

- ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

- NOTCHES AND HOLES IN WOOD FRAMING:

- NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

- IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8" INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

- NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.

- WOOD FRAMING NOTES—THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

- ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

- WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10' 0" IN HEIGHT.

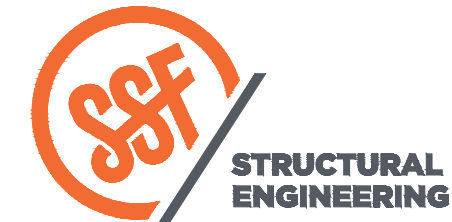
ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 x 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL)APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES)AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

- FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD

WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER, MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.



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DRAWN: JDT
CHECKED: JDT
APPROVED: RJA

REVISIONS:

REVISIONS:

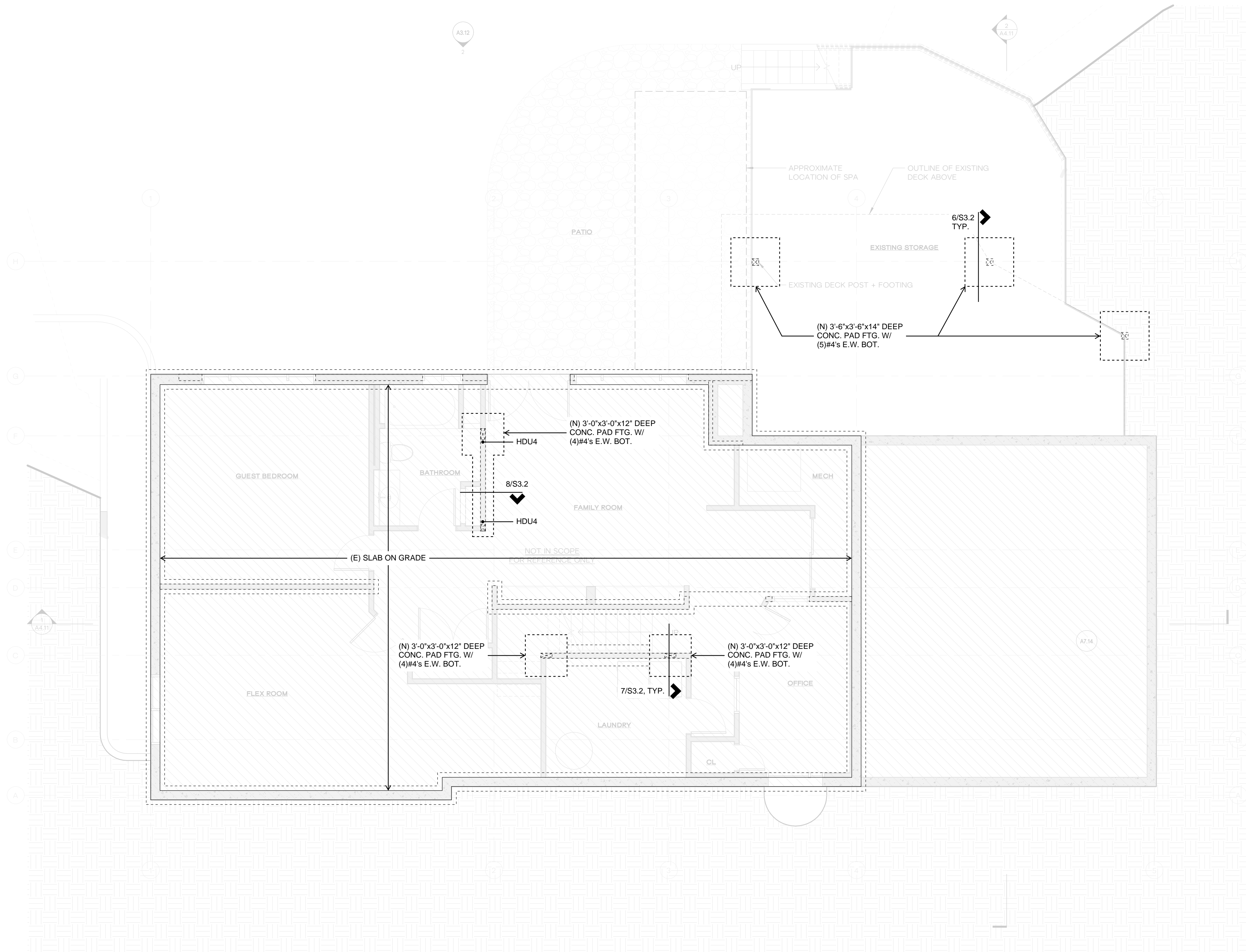
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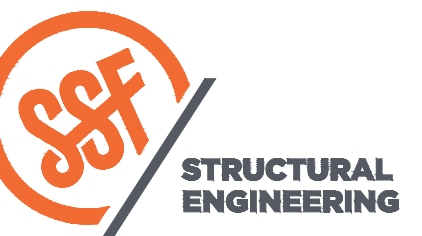
PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- VERIFY EXISTING CONTINUOUS CONCRETE FOOTING AROUND THE PERIMETER OF THE EXISTING STRUCTURE.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

LEGEND

- STRUCTURAL WALL OR POST ABOVE
- NEW STEM WALL AND FOOTING
- EXISTING STEM WALL AND FOOTING
- HDUx HOLDOWN PER 3/S4.1

FOUNDATION PLAN



STRUCTURAL ENGINEERING
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DESIGN: JDT
 DRAWN: JDT
 CHECKED: JDT
 APPROVED: RJA

REVISIONS:

NO.	DESCRIPTION

DPD:

PROJECT TITLE:
Kaempf Residence
 8238 SE 72nd St
 Mercer Island, WA 98040

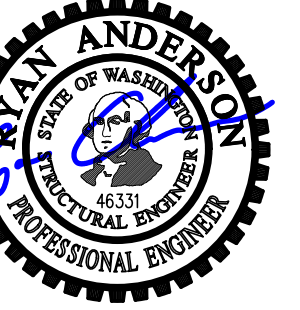
ARCHITECT:
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ISSUE:
Permit

SHEET TITLE:
Foundation Plan

SCALE: 1/4" = 1'-0" U.N.O.
 DATE: February 22, 2023
 PROJECT NO: 13021-2022-03
 SHEET NO:

S2.1



DESIGN:	JDT
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CHECKED:	JDT
APPROVED:	RJA

REVISIONS:	
DPD:	

PROJECT TITLE:
 Kaempff Residence
 8238 SE 72nd St
 Mercer Island, WA 98040

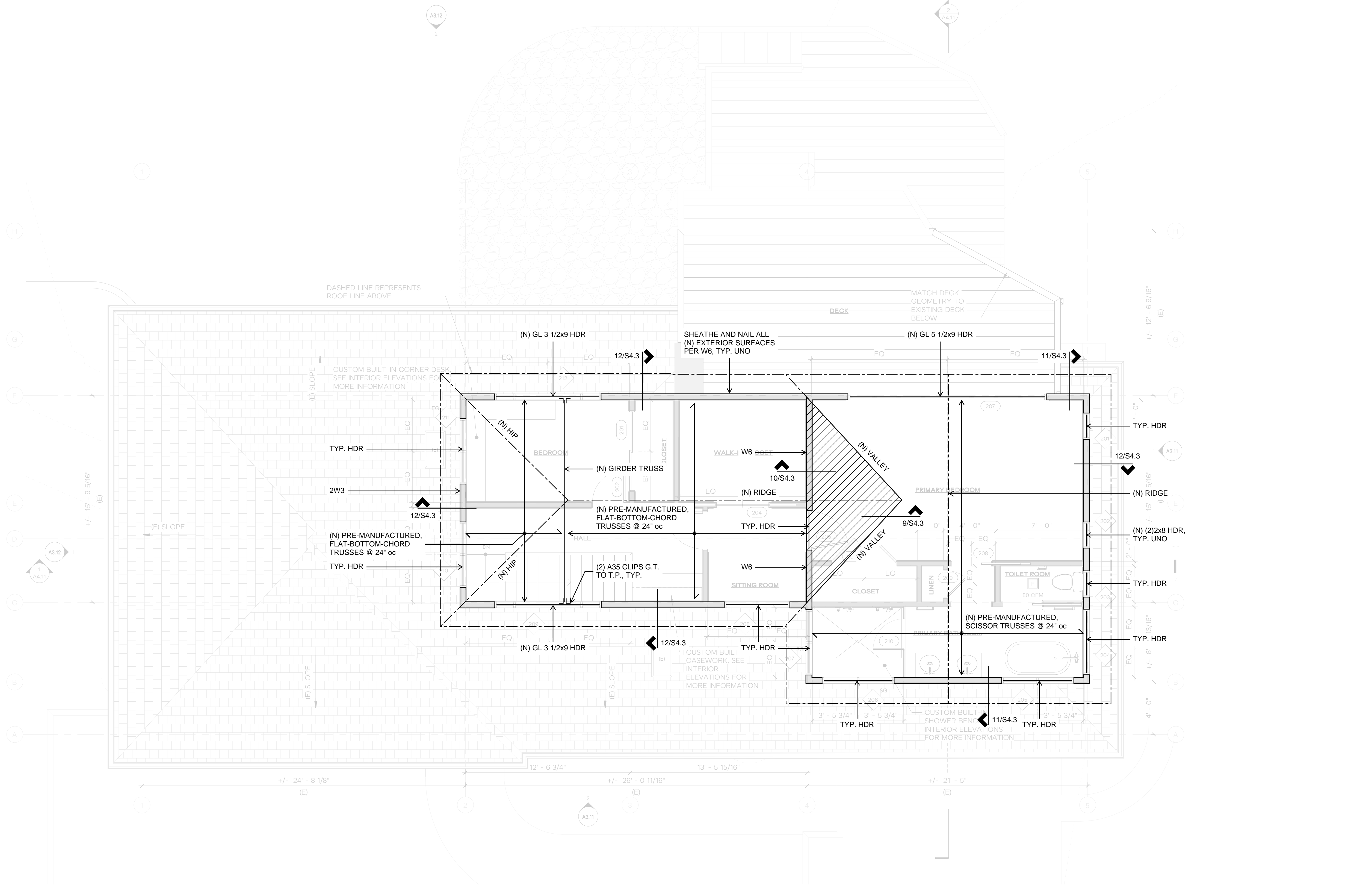
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ISSUE:
 Permit

SHEET TITLE:
 Roof Framing Plan

SCALE: 1/4" = 1'-0" U.N.O.
DATE: February 22, 2023
PROJECT NO: 13021-2022-03
SHEET NO:

S2.4



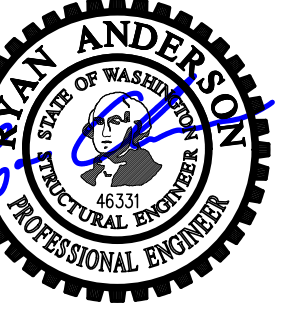
- PLAN NOTES**
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 - NEW ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO ROOF FRAMING. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8D AT 6" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.
 - NEW ROOF FRAMING SHALL BE PREFABRICATED ROOF TRUSSES AT 24" O.C. TRUSS DESIGN TO BE PROVIDED BY OTHERS. SEE STRUCTURAL NOTES FOR DESIGN REQUIREMENTS.
 - NEW HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2)2x8 MINIMUM. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE ON PLANS. SEE DETAIL 6/S4.1 FOR TYPICAL INSTALLATION.
 - PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL NEW BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
 - W # INDICATES NEW SHEAR WALL. SEE 8/S4.1 AND 12/S4.1 FOR CONSTRUCTION REQUIREMENTS.
 - ALL NEW EXTERIOR SURFACES SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
 - PROVIDE H1 HURRICANE TIE AT EACH NEW TRUSS WHERE IT BEARS ON EXTERIOR WALL.
 - MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
 - SPLICE ALL NEW TOP PLATE SPLICES PER DETAIL 10/S4.1.
 - REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

LEGEND

	NEW STRUCTURAL WALL OR POST BELOW
	SPAN DIRECTION
	EXTENT OF FRAMING
	NEW HEADER OR BEAM
	SHEARWALL PER 8/S4.1 AND 12/S4.1
	NEW 2x6 OVERFRAMING AT 24" oc

ROOF FRAMING PLAN





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 DRAWN: JDT
 CHECKED: JDT
 APPROVED: RJA

REVISIONS:

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SHEET TITLE:
Concrete Details

SCALE:
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 PROJECT NO:
 13021-2022-03
 SHEET NO:

S3.2

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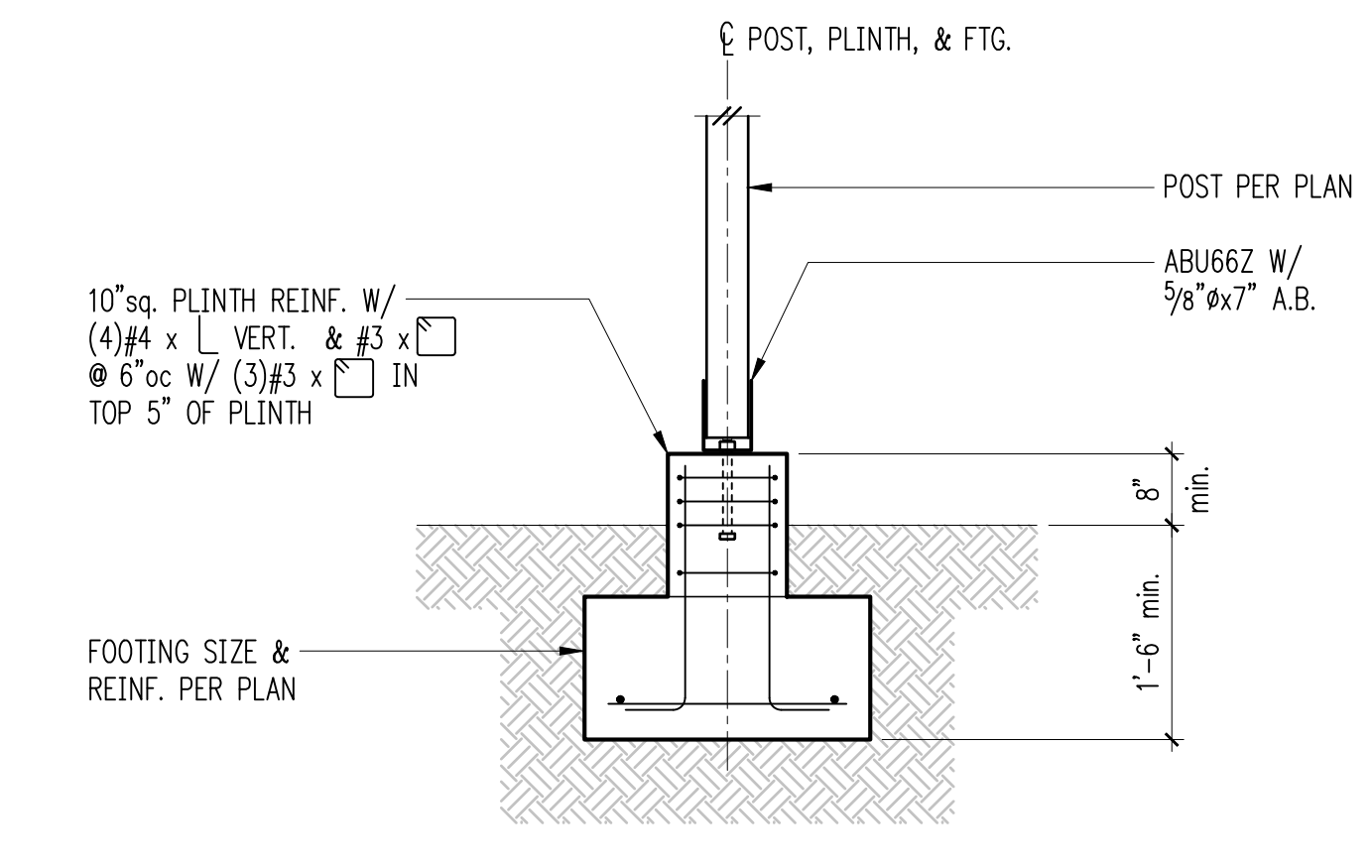
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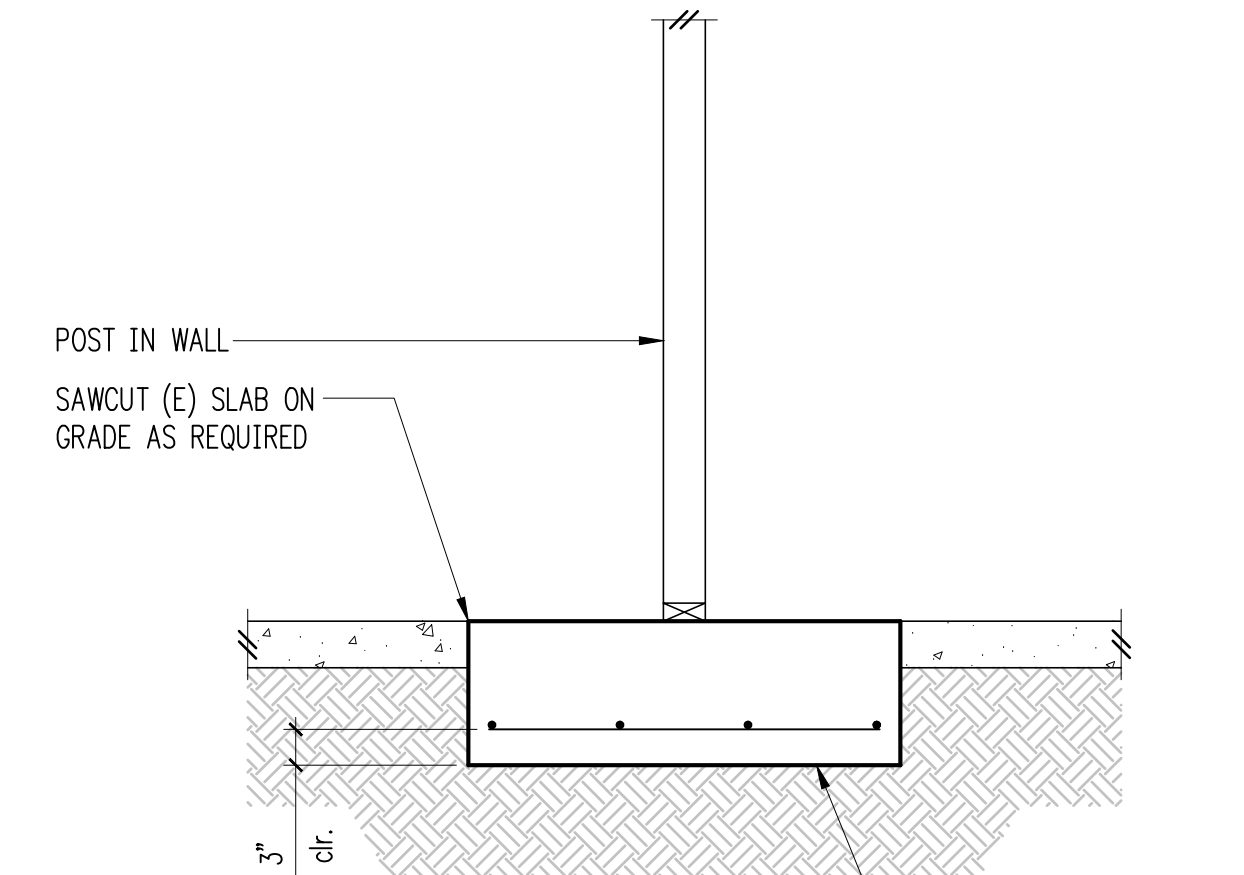
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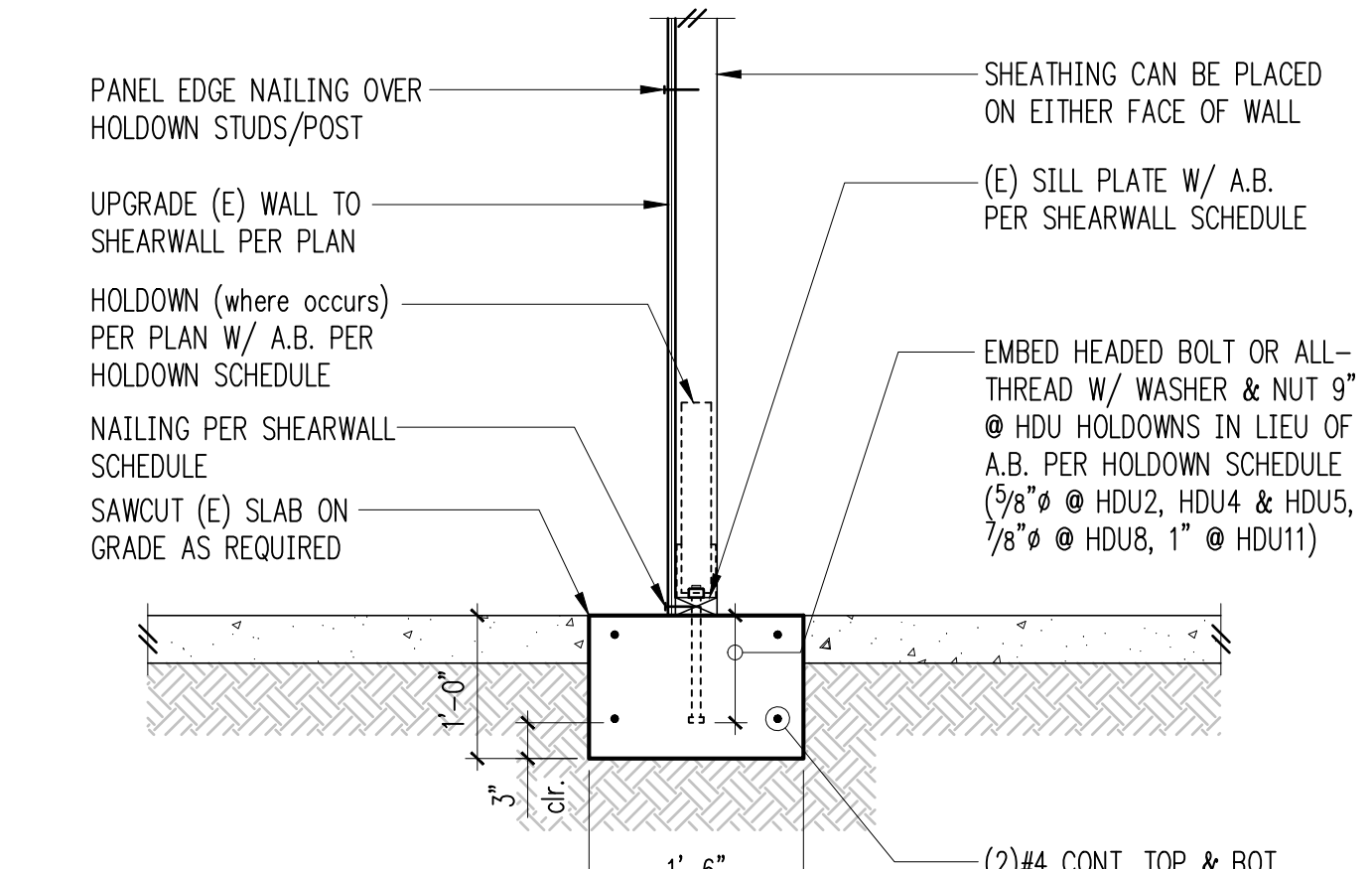
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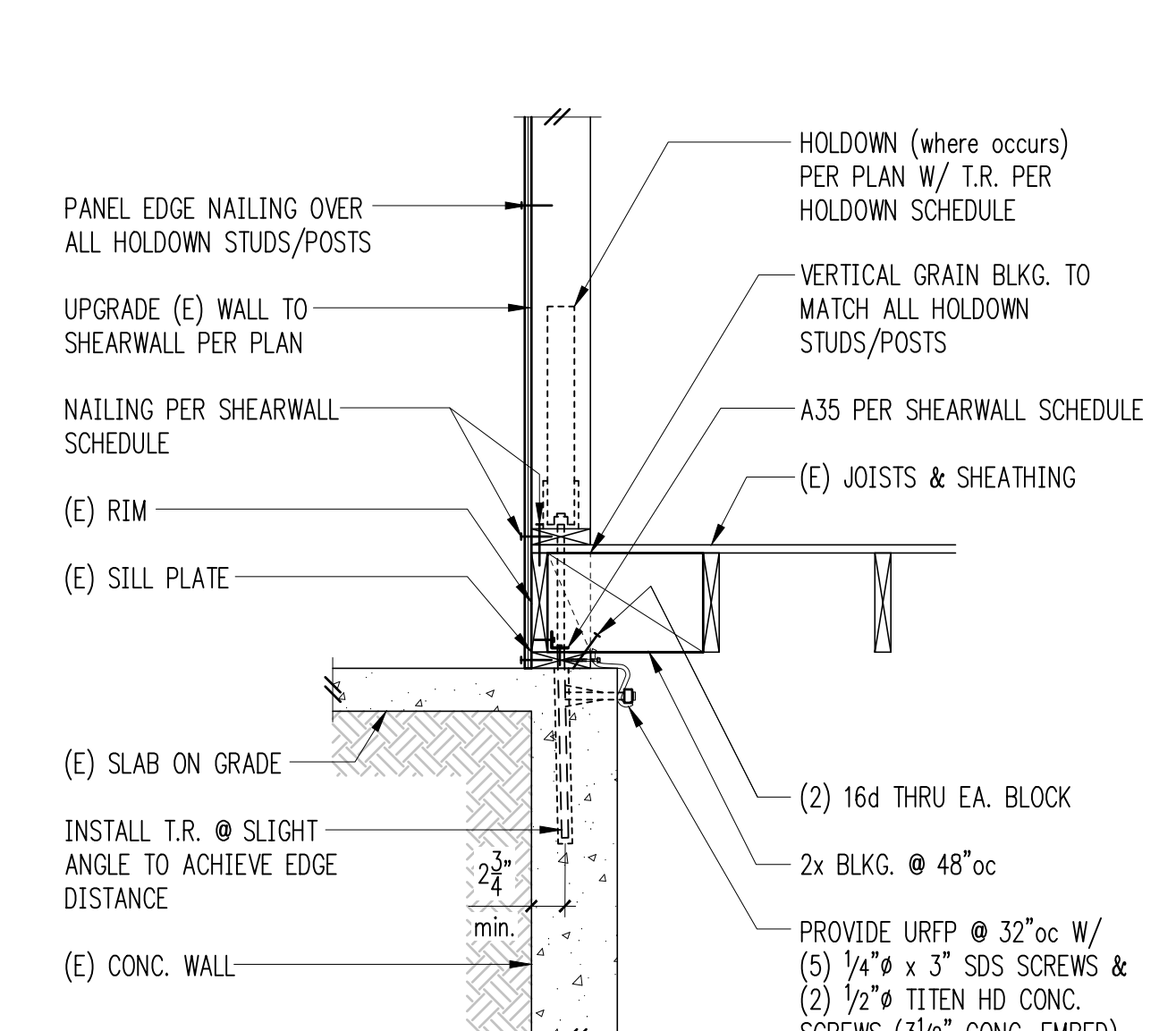
• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



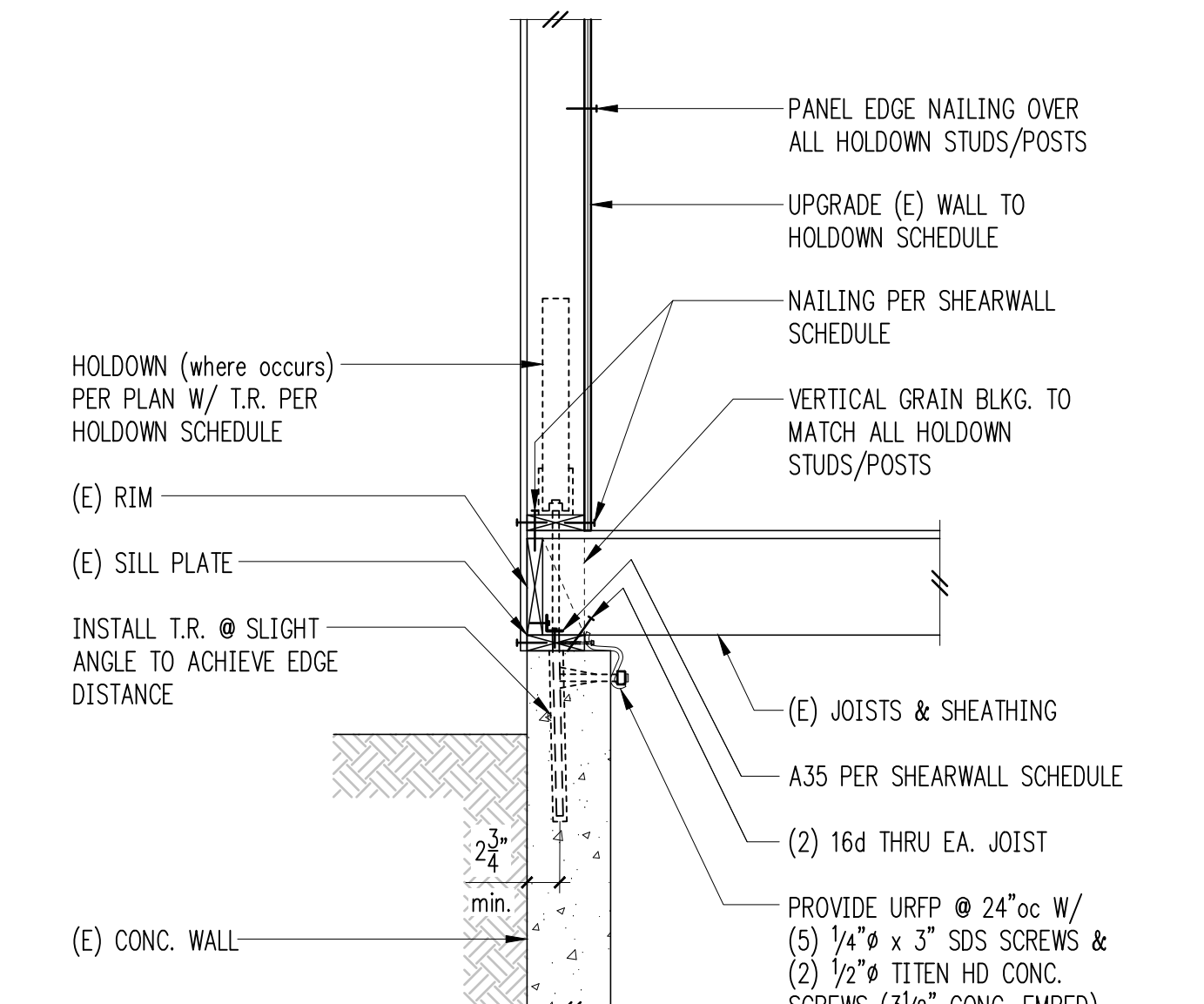
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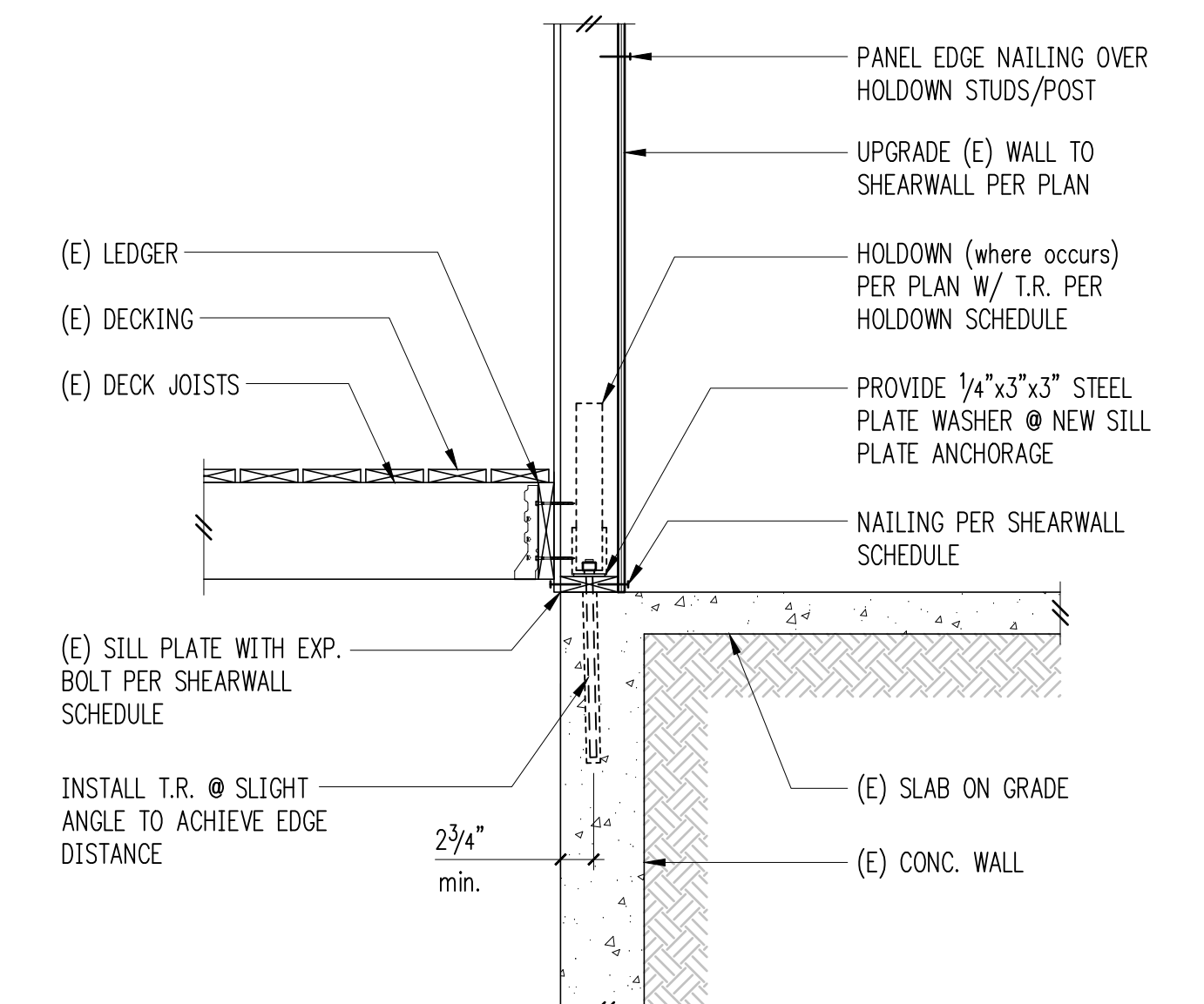
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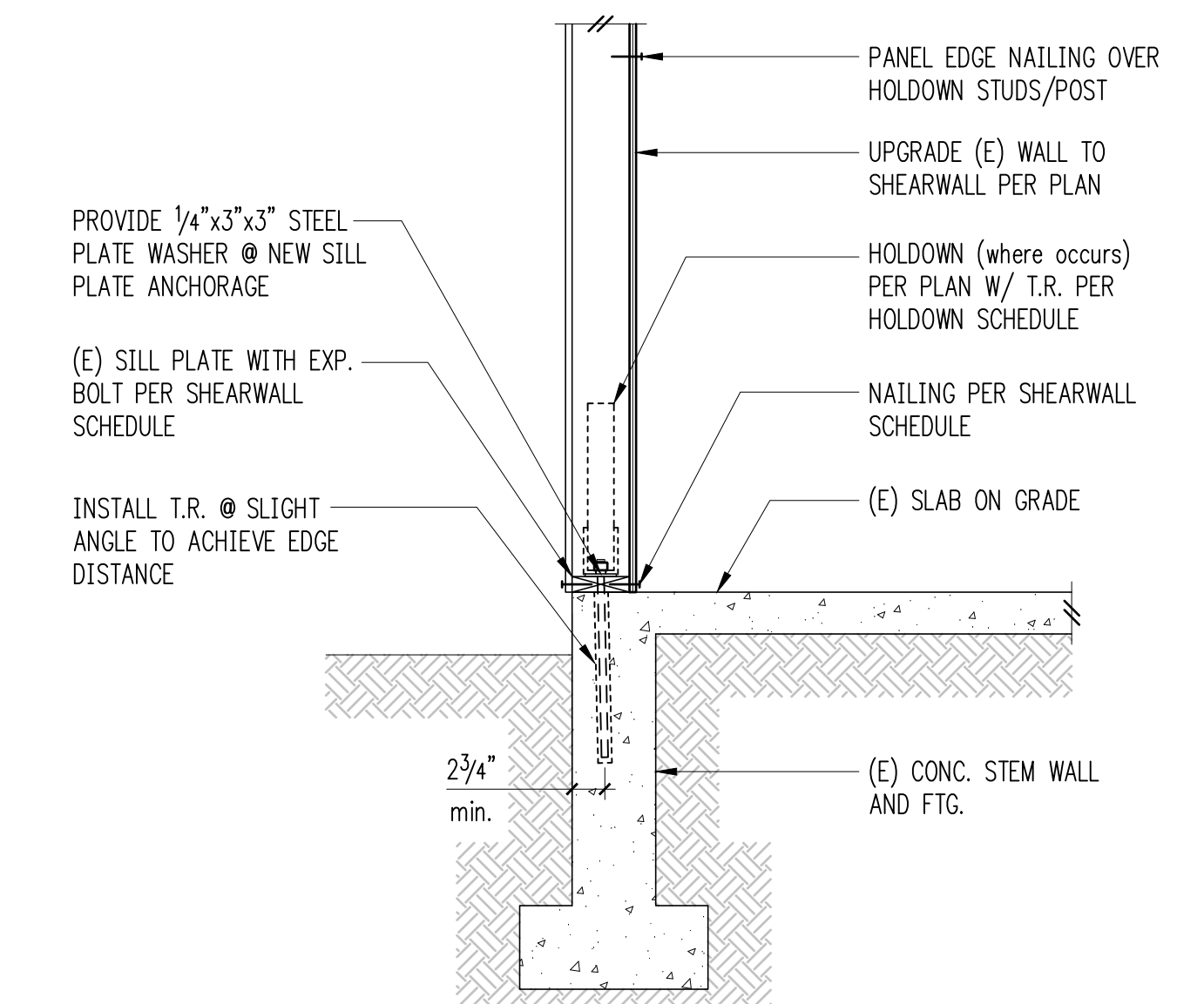
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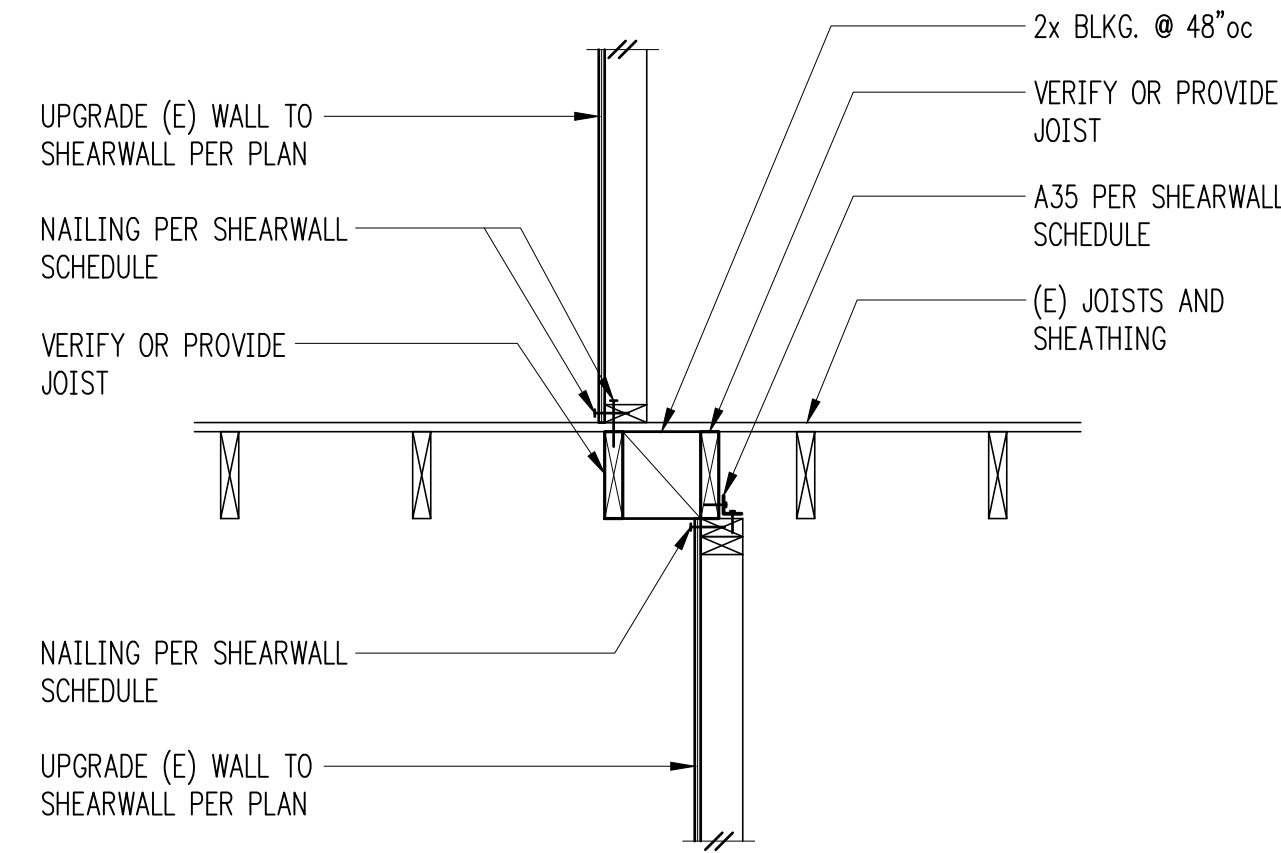
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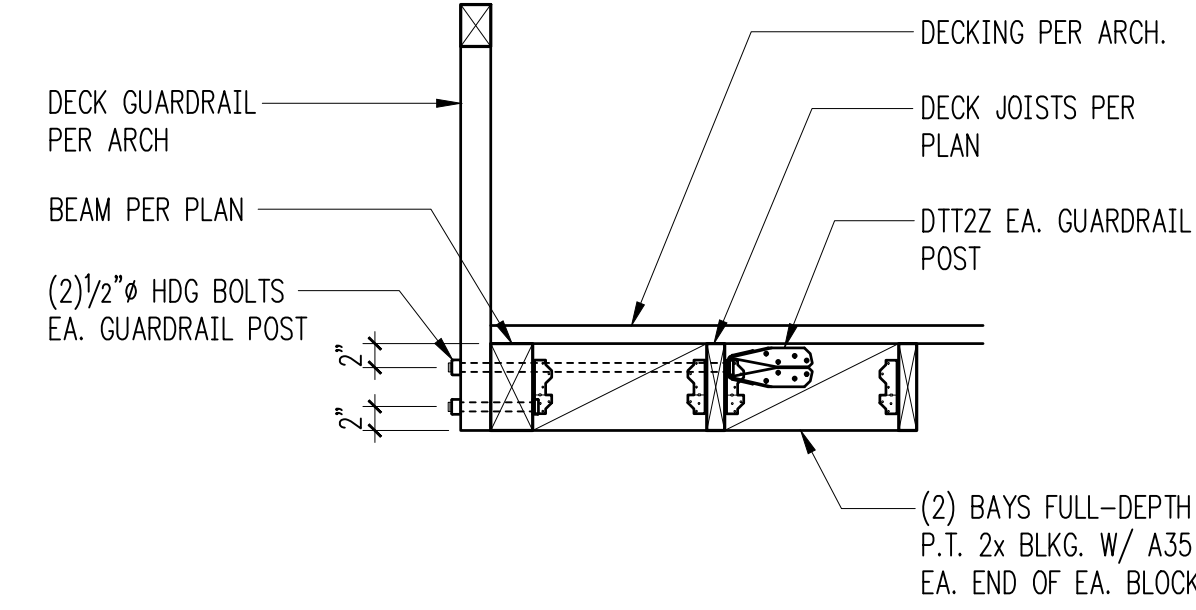


DESIGN: JDT
 DRAWN: JDT
 CHECKED: JDT
 APPROVED: RJA

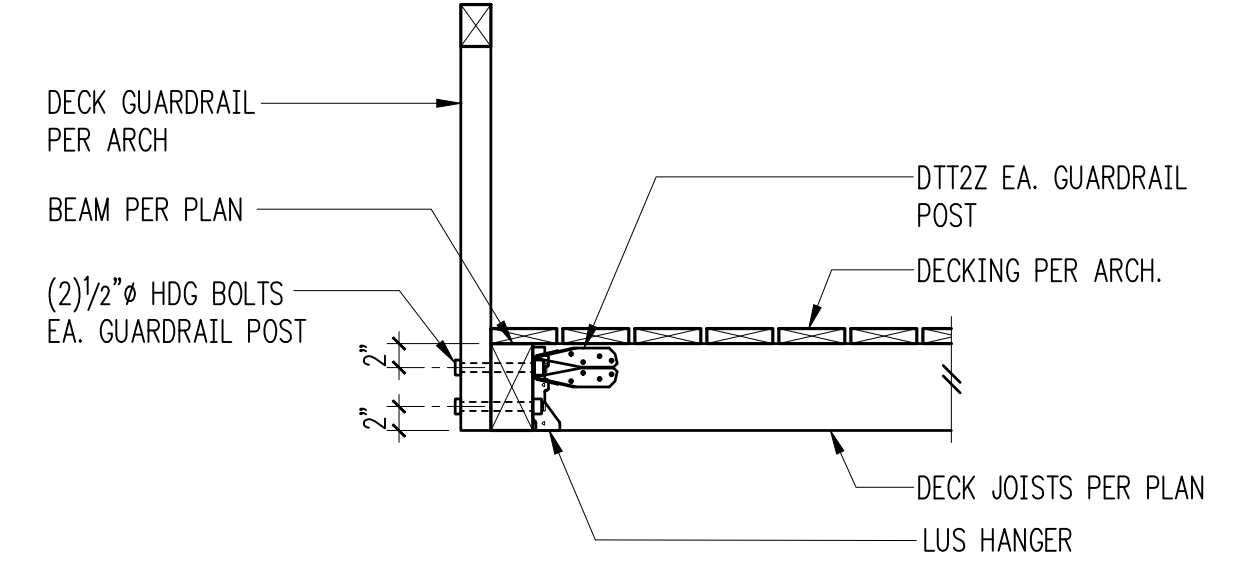


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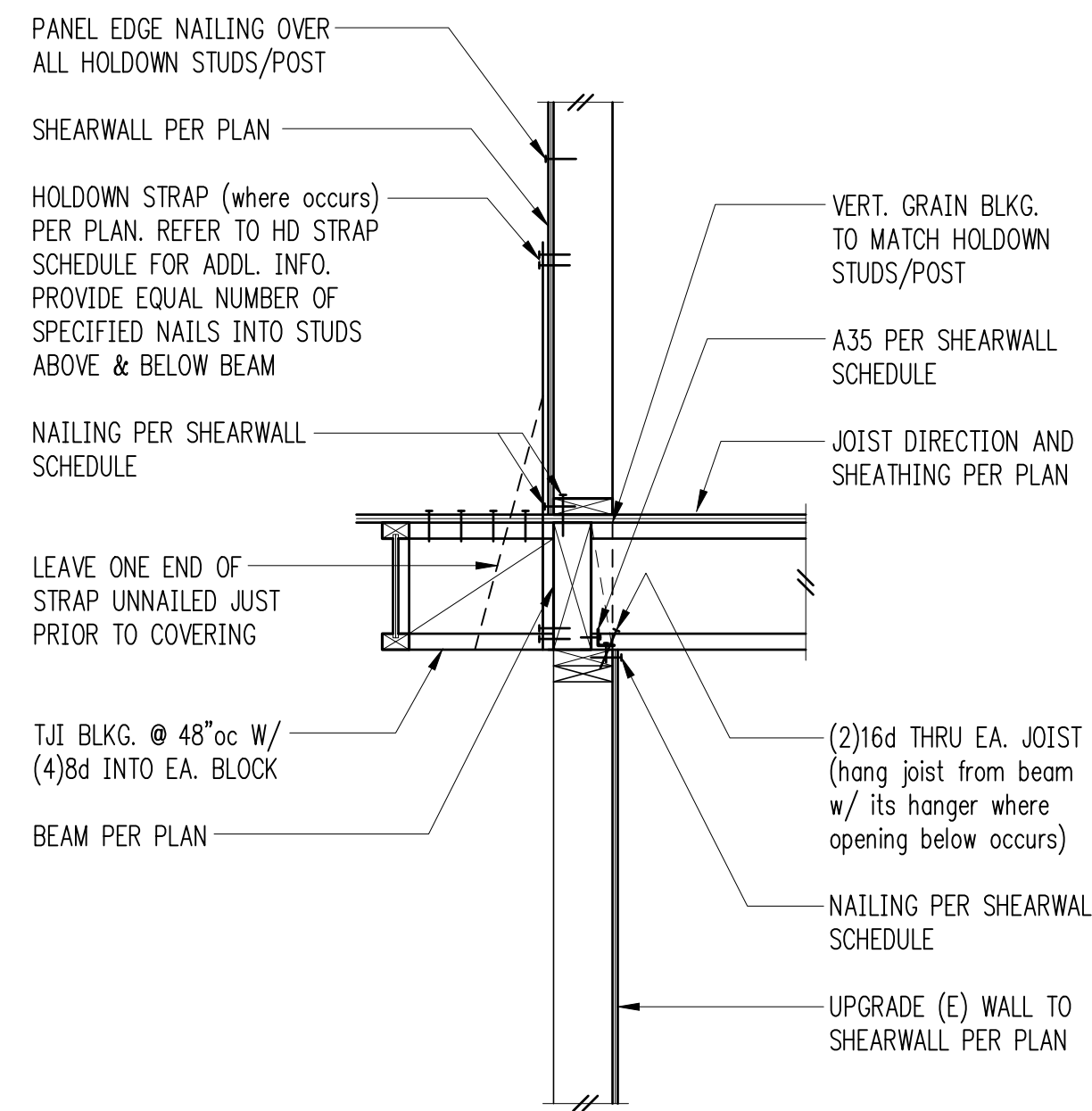
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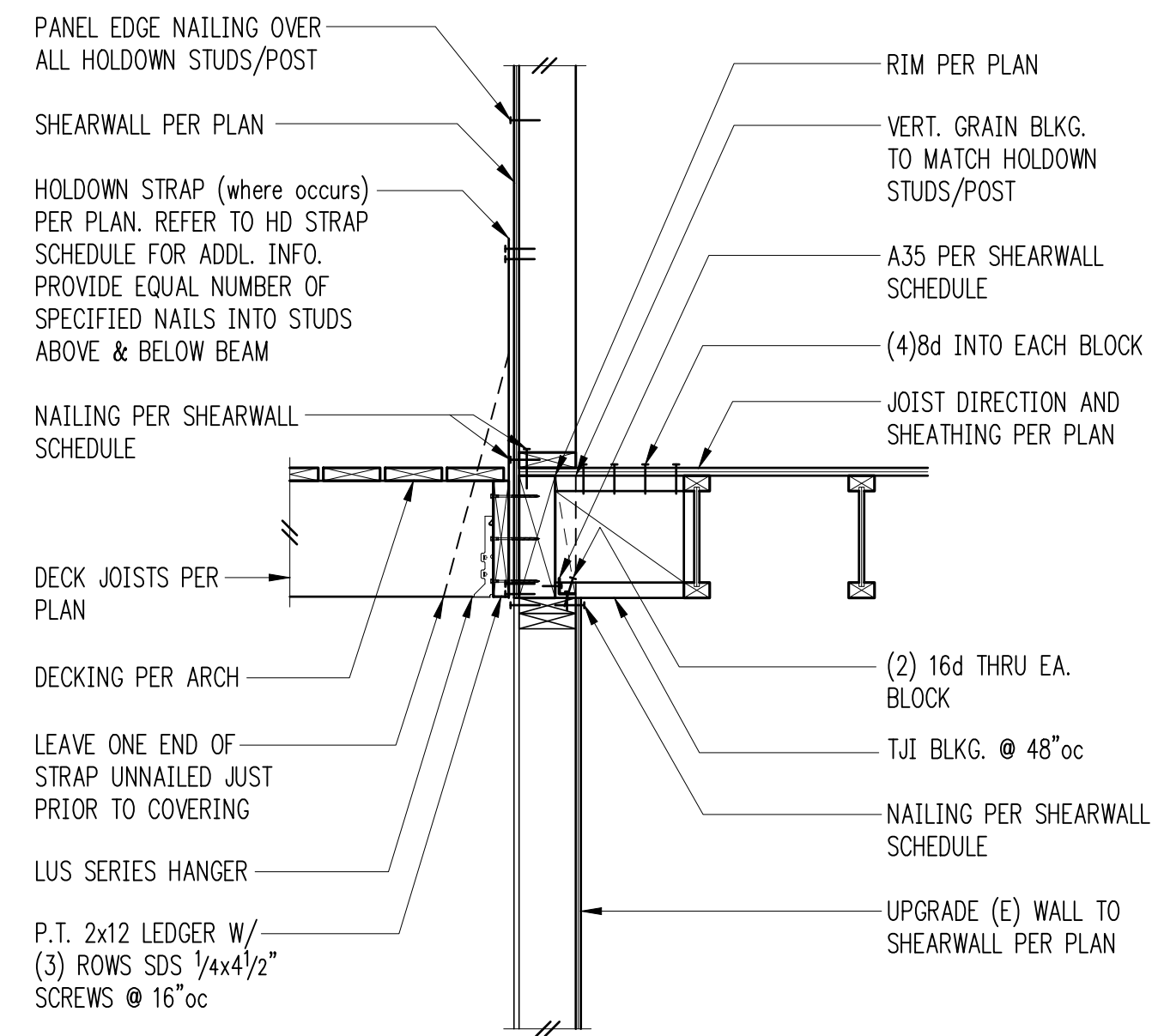
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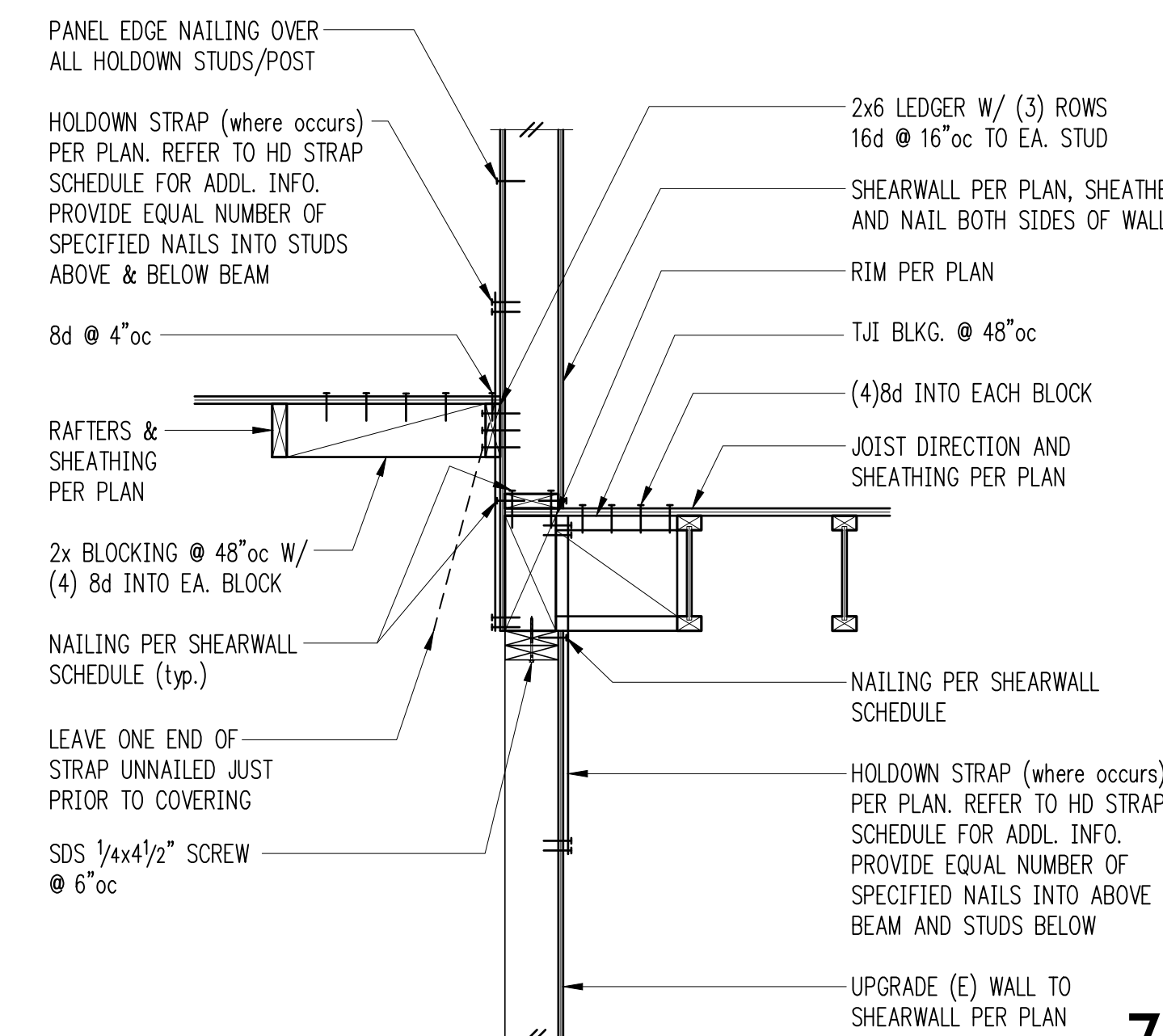
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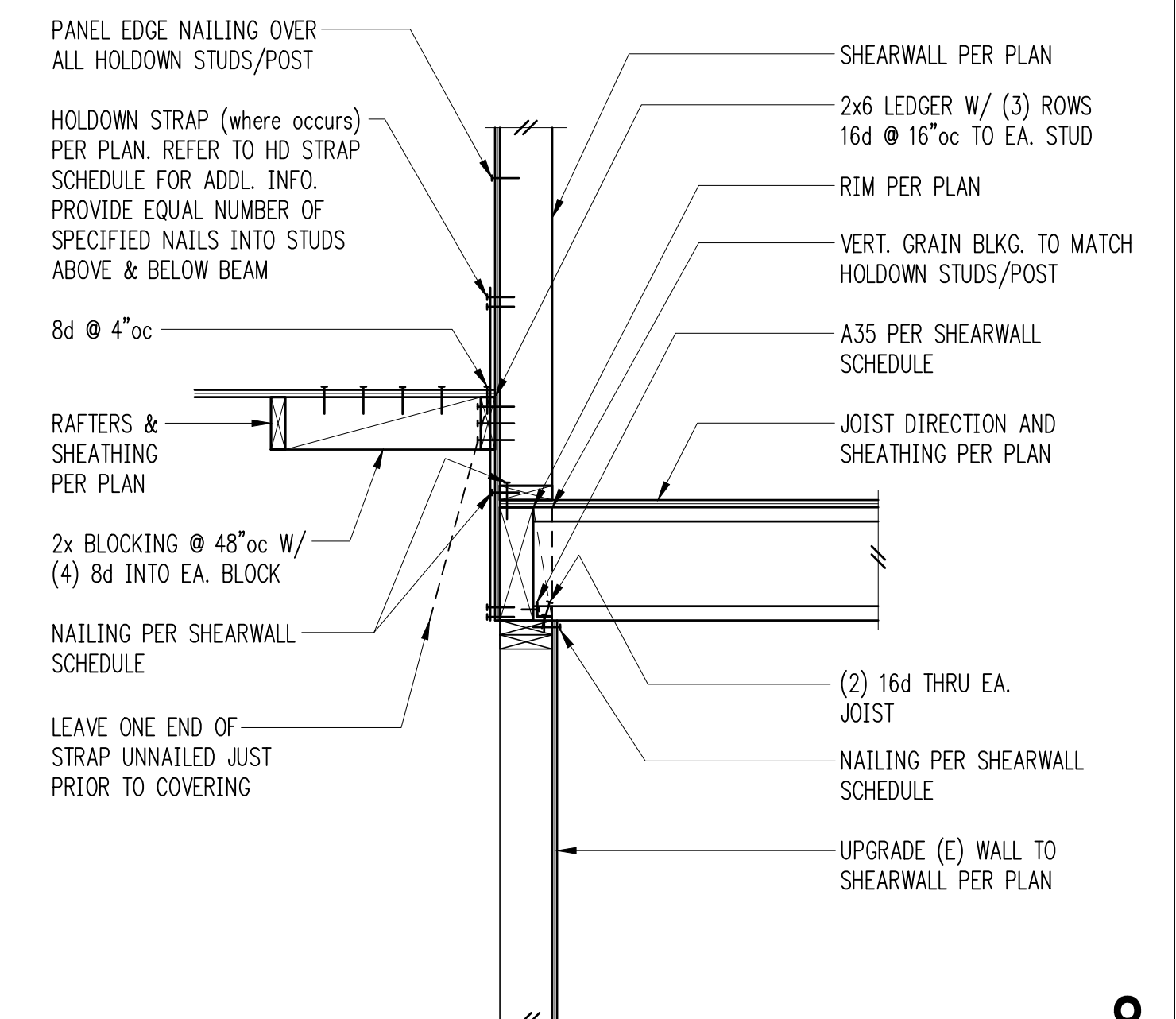
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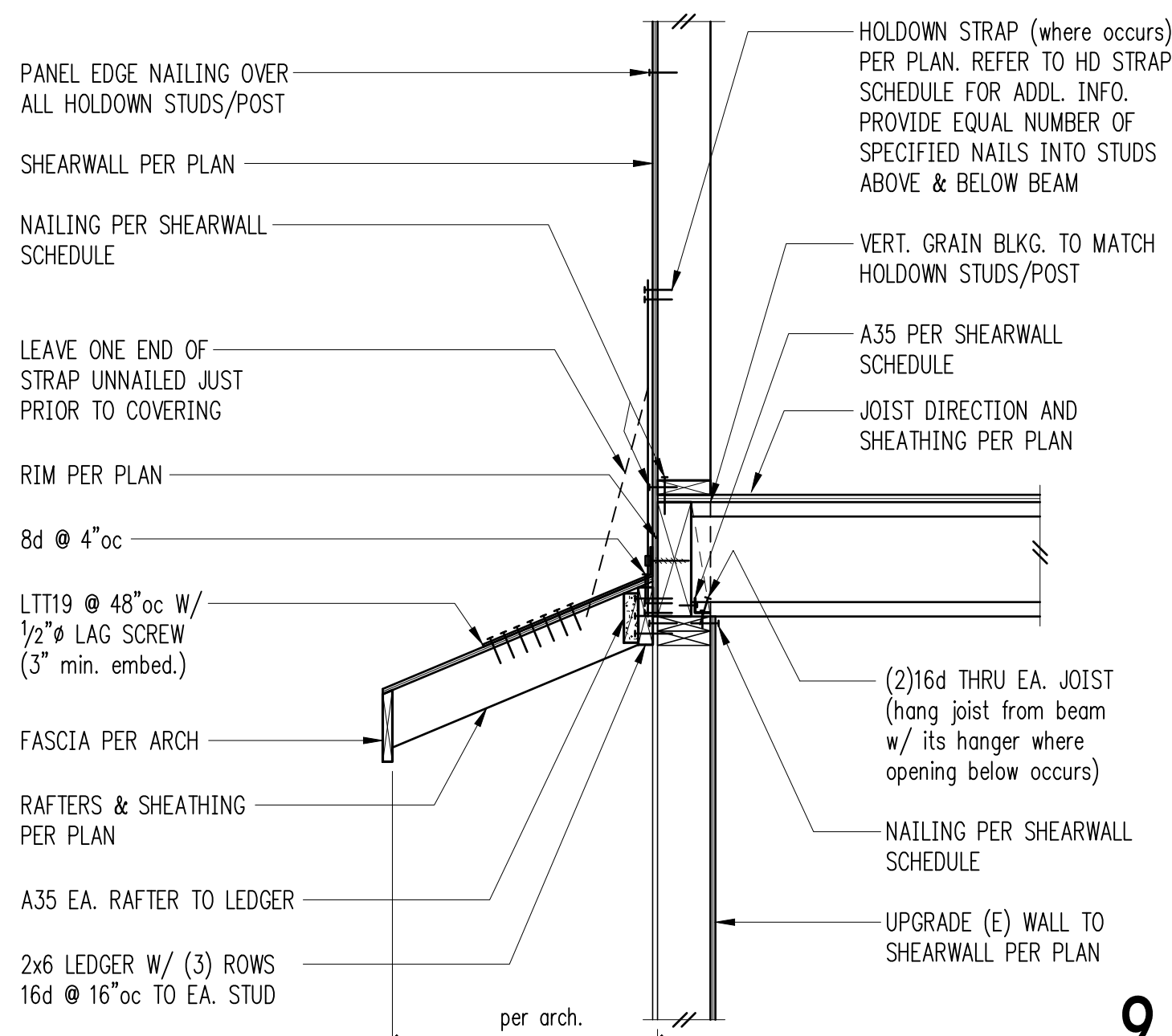
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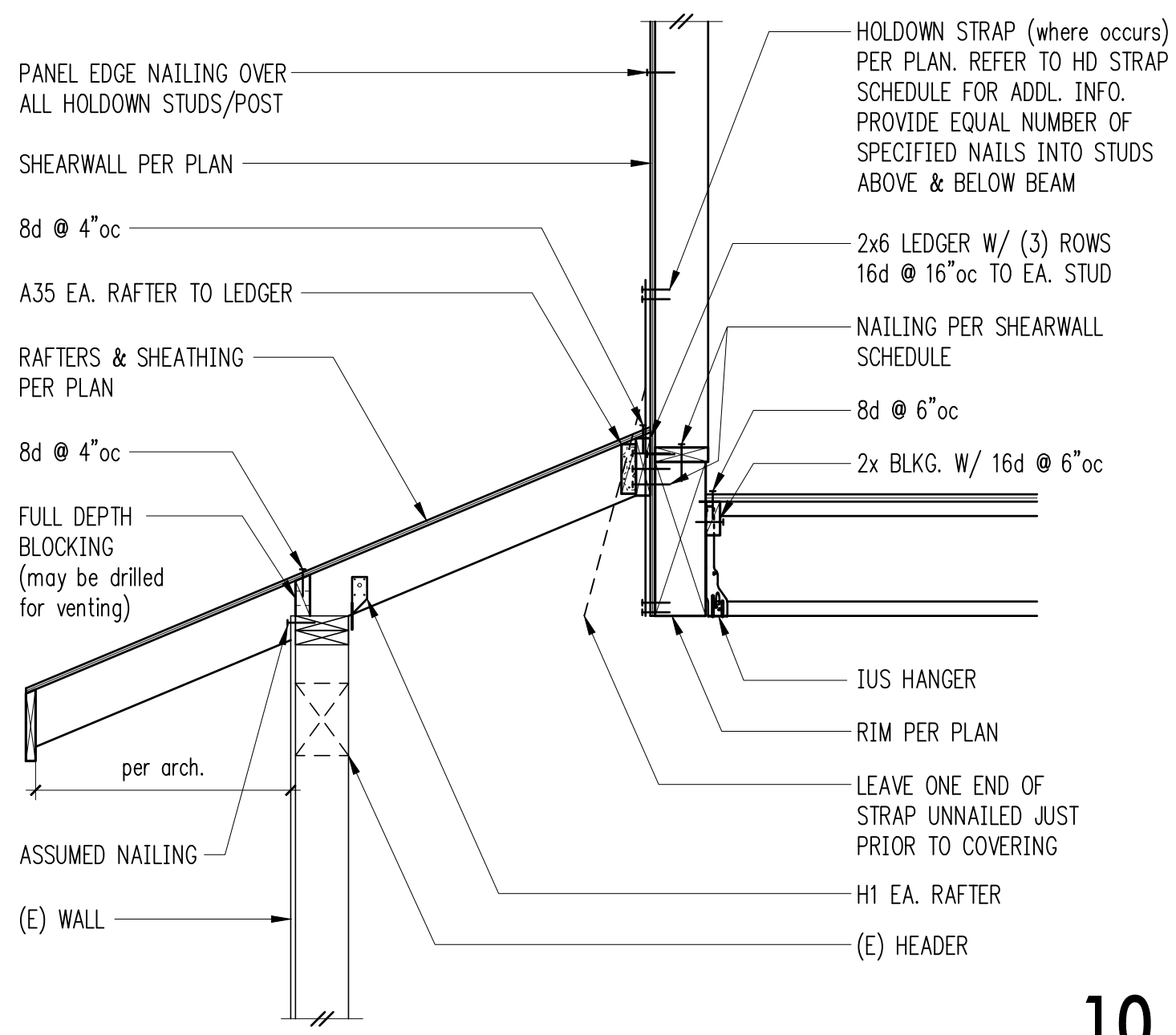
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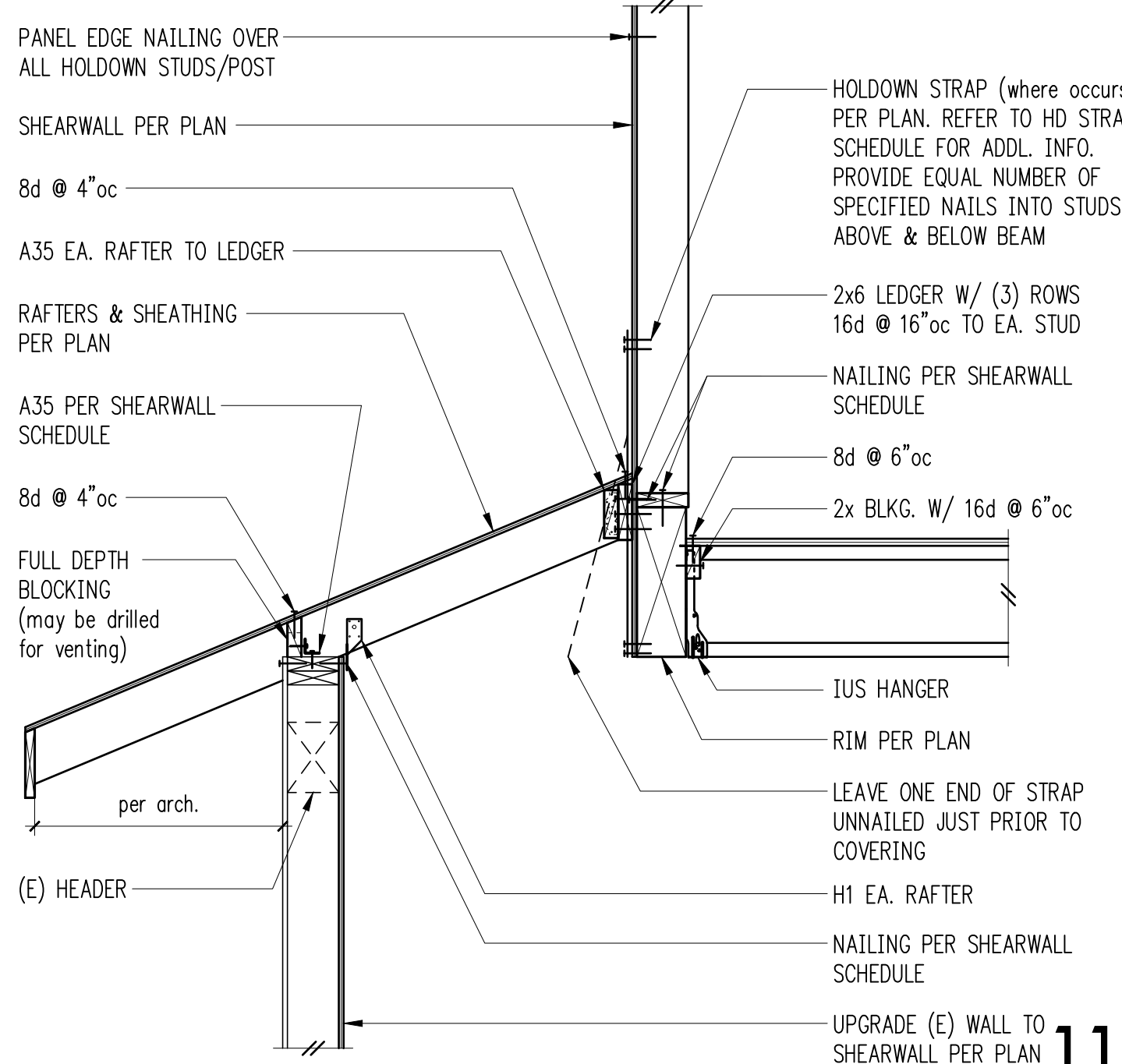
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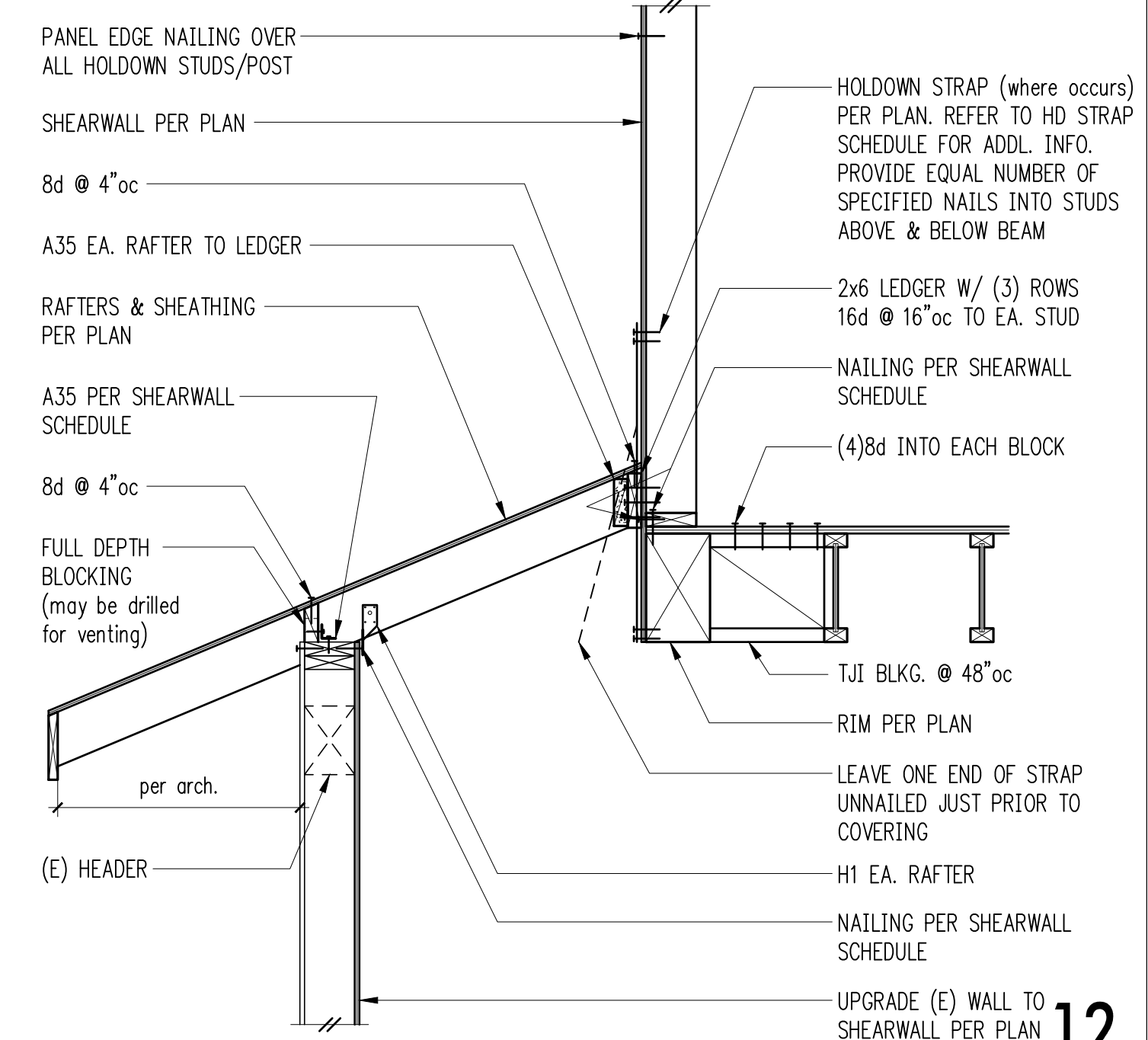
9



10



11



12

REVISIONS:

NO.	DATE	DESCRIPTION

DPD:

PROJECT TITLE:

Kaempfer Residence
 8238 SE 72nd St
 Mercer Island, WA 98040

ARCHITECT:

HERE architecture + interiors
 9221 11th Ave SW
 Seattle, WA 98106
 PH 425.830.2360
 www.here.design

ISSUE:

Permit

SHEET TITLE:

**Wood Framing
 Details**

SCALE:

3/4" = 1'-0" U.N.O.

DATE:

February 22, 2023

PROJECT NO:

13021-2022-03

SHEET NO:

S4.2

