PROPERTY DATA PROJECT ADDRESS 8035 SE 45TH ST MERCER ISLAND 98040 10801 MAIN STREET, SUITE 102 LOT AREA 25,130 SF

ASSESSOR'S TAX NUMBER 770010-0091

LEGAL DESCRIPTION SEWARD ADD POR OF 16 THRU 19 LY W OF LN RNG N 00-16-04 E 100 FT FR PT ON S LN OF 19 49.95 FT E OF SW COR TH S 89-43-56 W ALG S LN OF 17 0.25 FT M/L TO PT 81.10 FT E OF SW COR OF 17 TH N 00-16-04 E 101.28 FT M/L TO N LN OF 16 & POR 32 THRU 34 LY E OF LN BEG ON NLY LN OF LOT 34 5.28 FT W OF NE COR THOF TH S 27-09-40 W 24.75 FT TH ON CURVE TO LFT RAD 144 FT DIST 110.75 FT TH S 16-54-20 E 35.79 FT TH S 64-59-11 E 68.47 FT TO S LN LOT 32

ZONING DESIGNATION SETBACKS

FRONT YARD: 20'-0" SIDE YARD DETERMINATION: MICC19.02.020 C: LOT WIDTH>90'=115.43' X 17% = 19.6' COMBINED MIN SIDE YARD = 19.6' X 33% = 6.5' EAST SIDE YARD = 7' WEST SIDE YARD = 12.6' REAR YARD: 25' SEE 1/A-1.2 FOR SETBACKS RESIDENCE HEIGHT LIMIT

30'-0" FEET FROM THE 'AVERAGE BUILDING ELEVATION'. 30'-0" ON DOWNHILL SIDE FROM EXISTING OR FINISHED GRADE TO TOP PLATE OF ROOF. WITH ROOF RIDGE NOT EXCEEDING 30' ABOVE THE ABE. SEE 1/A-1.0 FOR AVERAGE BUILDING ELEVATION CALCULATIONS AND HEIGHT LIMIT DETERMINATION.

LOT SLOPE HIGHEST ELEVATION POINT OF LOT = 204.1' LOWEST ELEVATION POINT OF LOT = 182.9' ELEVATION DIFFERENCE = 21.2' HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS = 140.3' LOT SLOPE: 21.2/140.3 = 15.1% LOT COVERAGE SEE 1/A -1.2 FOR LOT COVERAGE DIAGRAM

SCOPE OF WORK: WEST SIDE OF HOUSE WALLS REMOVED & REBUILT REMAIN EAST OF ENTRY & NEW ROOF FOR HOUSE | BARRIER PER TABLE R-402.4.1.1 AND GARAGE.

GROSS FLOOR AREA 10,000 S.F. OR 40% OF LOT AREA, WHICHEVER NET LOT AREA = 25,130.0 S.F. X 40%

CONSTRUCTION DATA

ALLOWABLE GROSS FLOOR AREA = 10,052 S.F. **GFA CALCULATION** MEASURED FROM EXTERIOR FACES OF BUILDING) LOWER FLOOR: 706 S.F. MAIN FLOOR: 3,981 S.F. GARAGE/SHOP: 1,283 S.F.

5,970 S.F. < 10,052 S.F (THEREFORE GFA IS OK)

ENERGY DATA PRESCRIPTIVE COMPLIANCE INSULATION & FENESTRATION REQUIREMENTS (2018 WASHINGTON STATE ENERGY CODE) CLIMATE ZONE

PROVIDE MANDATORY CERTIFICATE PER R401.3 PROVIDE MIN BUILDING THERMAL ENVELOPE OR BETTER PER SECTION R402

FENESTRATION U-FACTOR SKYLIGHT U-FACTOR CEILING R-VALUE VAULTED CEILING WOOD FRAMED WALL R-VALUE 21 INT. MASS WALL R-VALUE 21/21 FLOOR R-VALUE BELOW GRADE WALL R-VALUE SLAB R-VALUE WINDOW AND DOOR HEADER R-VALUE

PROVIDE INSULATION SPECIFIED PER R402.2 ON EXISTING FOUNDATION AND SLAB, WALLS TO PROVIDE CONTINUOUS AIR BARRIER & THERMAL

| ENERGY DATA

THE BUILDING ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE PER R402.4

PROVIDE TESTING OF BUILDING ENVELOPE PER

R402.4.1.2 FENESTRATION AIR LEAKAGE TESTING FOR WINDOWS, SKYLIGHTS, AND SLIDING GLASS DOORS

TO COMPLY PER R402.4.3 RECESSED LIGHTING IN THE BUILDING THERMAL ENVELOPE TO COMPLY PER R402.4.4

FENESTRATION TRADE OFFS PER SECTION R4-2.1.4 OR R405 NOT APPLICABLE PROVIDE MANDATORY CONTROLS OF CONDITIONING SYSTEMS PER SECTION R403

BUILDING FRAMING CAVITIES PER R403.2.3 SHALL NOT BE USED AS DUCTS OR PLENUMS PROVIDE MECHANICAL PIPING INSULATION PER

R403.3 MINIMUM R-6 MECHANICAL DUCTS OUTSIDE OF THE THERMAL ENVELOPE SHALL BE INSULATED A MINIMUM OF R-8 PER SECTION R403.2.1 MECHANICAL DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED AND TESTED PER PER R403.2.2 JOINTS AND SEAMS TO COMPLY WITH ADOPTED IMC OR IRC

PROVIDED WITH AN AUTOMATIC OR ACCESSIBLY MANUAL SHUT OFF SWITCH PER R403.4.1 PROVIDE MINIMUM R-4 HOT WATER PIPE INSULATION PER R403.4.2

CIRCULATING HOT WATER SYSTEMS SHALL BE

INTERIOR VENTILATION PROVIDE INTERMITTENT WHOLE-HOUSE VENTILATION PER IRC M1507.3 AND 2012 WSEC SECTION R403.5

SYSTEM FAN EFFICANCY PER TABLE R403.5.1 PROVIDE EQUIPMENT HEATING AND COOLING SIZING PER R403.6

ELECTRICAL POWER AND LIGHTING SYSTEMS TO 21 INT. COMPLY WITH SECTION R404 SIMULATED PERFOMANCE ALTERNATIVE PER SECTION R405 NOT APPLICABLE

2018 WSEC ENERGY CREDIT OPTIONS EACH DWELLING UNIT IN ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES, AS DEFINED IN SECTION 101.2 OF THE IRC SHALL COMPLY WITH SUFFICIENT OPTIONS FROM TABLE R406.2 SO AS TO ACHIEVE THE FOLLOWING MINIMUM # OF

CATEGORY: LARGE DWELLING UNIT: 6 CREDITS.

TABLE R406.2 ENERGY CREDITS SELECTED

ENERGY DATA

OPTION DESCRIPTION

2a AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION: COMPLIANCE BASED ON R402.4.1.2: REDUCE THE TESTED AIR LEAKAGE TO 3.0 AIR CHANGES PER HOUR MAXIMUM **AND** ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1507.3 OF THE INTERNATIONAL RESIDENTIAL CODE SHALL BE MET WITH A HIGH EFFICIENCY FAN (MAXIMUM 0.35 WATTS/CFM), NOT INTERLOCKED WITH THE FURNACE FAN. VENTILATION SYSTEMS USING A FURNACE INCLUDING AN ECM MOTOR ARE ALLOWED, PROVIDED THAT THEY ARE CONTROLLED TO OPERATE AT LOW SPEED IN VENTILATION ONLY MODE.

HIGH EFFICIENCY HVAC EQUIPMENT: GAS, PROPANE OR OIL-FIRED FURNACE WITH MINIMUM AFUE OF 94%. PROJECTS MAY ONLY INCLUDE CREDIT FROM ONE SPACE HEATING OPTION, 3A, 3B, 3C OR 3D. WHEN A HOUSING UNIT HAS TWO PIECES OF EQUIPMENT (I.E., TWO FURNACES) BOTH MUST MEET THE STANDARD TO RECEIVE THE CREDIT.

HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM:

ALL HEATING AND COOLING SYSTEM COMPONENTS INSTALLED INSIDE THE CONDITIONED SPACE. THIS INCLUDES ALL EQUIPMENT AND DISTRIBUTION SYSTEM COMPONENTS SUCH AS FORCED AIR DUCTS, HYDRONIC PIPING, HYDRONIC FLOOR 1.0 HEATING LOOP, CONVECTORS AND RADIATORS. ALL COMBUSTION EQUIPMENT SHALL BE DIRECT VENT OR SEALED

FOR FORCED AIR DUCTS: A MAXIMUM OF 10 LINEAR FEET OF RETURN DUCTS AND 5 LINEAR FEET OF SUPPLY DUCTS MAY BE LOCATED OUTSIDE THE CONDITIONED SPACE. ALL METALLIC DUCTS LOCATED OUTSIDE THE CONDITIONED SPACE MUST HAVE BOTH TRANSVERSE AND LONGITUDINAL JOINTS SEALED WITH MASTIC. IF FLEX DUCTS ARE USED. THEY CANNOT CONTAIN SPLICES. FLEX DUCT CONNECTIONS MUST BE MADE WITH NYLON STRAPS AND INSTALLED USING A PLASTIC STRAPPING TENSIONING TOOL. DUCTS LOCATED OUTSIDE THE CONDITIONED SPACE MUST BE INSULATED TO A MINIMUM OF R-8. LOCATING SYSTEM COMPONENTS IN CONDITIONED CRAWL SPACES IS NOT PERMITTED UNDER THIS OPTION. ELECTRIC RESISTANCE HEAT AND DUCTLESS HEAT PUMPS ARE NOT PERMITTED UNDER THIS OPTION. DIRECT COMBUSTION HEATING EQUIPMENT WITH AFUE LESS THAN 80% IS NOT PERMITTED UNDER THIS OPTION.

EFFICIENT WATER HEATING: ALL SHOWERHEAD AND KITCHEN SINK FAUCETS INSTALLED IN THE HOUSE SHALL BE RATED AT 5a $\,$ 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS. PLUMBING FIXTURES FLOW RATINGS. LOW FLOW PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS

(FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS: 1. RESIDENTIAL BATHROOM LAVATORY SINK FAUCETS: MAXIMUM FLOW RATE | 3.8 L/MIN (1.0 GAL/MIN) WHEN TESTED IN ACCORDANCE WITH ASME A112.18.1/CSA B125.1.

2. RESIDENTIAL KITCHEN FAUCETS: MAXIMUM FLOW RATE 6.6 L/MIN (1.75 GAL/MIN) WHEN TESTED IN ACCORDANCE WITH ASME A112.18.1/CSA B125.1. 3. RESIDENTIAL SHOWERHEADS: MAXIMUM FLOW RATE 6.6 L/MIN (1.75 GAL/MIN) WHEN TESTED IN ACCORDANCE WITH ASME

A112.18.1/CSA B125.1.

EFFICIENT WATER HEATING: WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING: GAS, PROPANE OR OIL ^{5c} WATER HEATER WITH A MINIMUM EF OF 0.91

TOTAL

VENTILATION DATA TABLE OF CONTENTS SHT DESCRIPTION

A-1.1 GENERAL NOTES

A-2.0 MAIN FLOOR & LOWER FLOOR DEMO PLAN

ROOF PLAN & DETAILS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

BUILDING SECTION

BUILDING SECTION

BUILDING SECTIONS

WINDOW DIAGRAMS

WINDOW DIAGRAMS

A-6.3 DOOR & WINDOW SCHEDULES

S1.0 GENERAL STRUCTURAL NOTES

S1.1 GENERAL STRUCTURAL NOTES

S2.0 LOWER FLOOR FRAMING PLAN

S3.0 TYPICAL FOUNDATION/SLAB DETAILS

S5.0 TYPICAL WOOD AND STEEL DETAILS

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S3.1 TYPICAL BASEMENT DETAILS

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S4.3 TYPICAL TRUSS DETAILS

S4.4 TYPICAL ROOF DETAILS

S4.1 TYPICAL WOOD DETAILS

S2.2 ROOF FRAMING PLAN

DOOR DIAGRAMS

MAIN FLOOR PLAN & LOWER FLOOR PLAN

A-1.2 SITE PLAN

A-6.0

A-6.1

SYSTEM DESIGN THIS SYSTEM IS DESIGN/BUILD

SYSTEM CRITERIA

PER 2018 IRC TABLE M1507.3.3(1) CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS: PROVIDE 135 CFM

AIRFLOW. PER 2018 IRC TABLE M1507.3.3 (2) INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS, RUN TIME % IN EACH 4-HOUR SEGMENT TO BE 75% WITH A FACTOR OF 1.3: 135 CFM X 1.3 = 175.5 CFM

PER 2018 IRC M1507.3.6.1 ALL HABITABLE SPACES SHALL RECEIVE FILTERED VENTILATION AIR.

MINIMUM OF .35 AIR EXCHANGES PER HOUR FOR ALI HABITABLE ROOMS. MAXIMUM OF .50 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS.

SYSTEM COMPONENTS

ELECTRIC EXHAUST FAN

INTAKE GRILL & DUCTING (FROM EXTERIOR) MOTORIZED DAMPER **ELECTRIC AIR TEMPERING UNIT** INTAKE BLOWER DISTRIBUTION DUCTING (HABITABLE ROOMS) DISTRIBUTION GRILLS (HABITABLE ROOMS)

EXHAUST DUCTING EXHAUST PORT WITH BACK DRAFT DAMPER

SYSTEM FUNCTION INTAKE BLOWER, AIR TEMPERING UNIT, AND EXHAUST FAN TO BE CONNECTED TO TIMER FOR SYNCHRONIZED, INTERMITTENT USE THROUGHOUT EACH DAY. FRESH AIR FROM THE EXTERIOR IS PULLED THROUGH AIR TEMPERING UNIT, THEN DISTRIBUTED THROUGH DUCTING TO ALL HABITABLE ROOMS. A BALANCED QUANTITY OF AIR IS SIMULTANEOUSLY EVACUATED FROM THE INTERIOR VIA THE EXHAUST FAN DUCTED TO THE EXTERIOR.

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DESIGN DRAWN JMMB, TES CHECKED JB SHEET ISSUE DATE 07.19.2022 DRAWING SETS DATE DESCRIPTION

PERMIT SET

2023-07-12

1914 5th st.

WWW.MCFADDENDESIGN.COM

Kirkland, WA 98003

ADAMS RESIDENCE

8035 SE 45TH ST MERCER ISLAND 98040

PROJECT INFO & ZONING DIAGRAMS

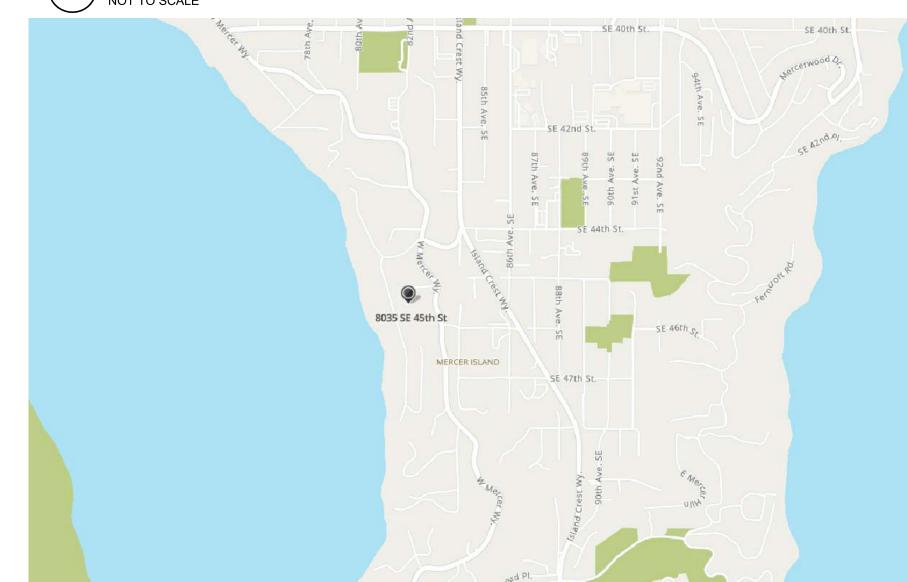
VICINTY MAP NOT TO SCALE





PATIO VIEW

NOT TO SCALE



GENERAL NOTES

ASSUMPTIONS.

- 1. ALL WORK SHALL COMPLY WITH THE 2018 IRC WITH WASHINGTON AND CITY AMMENDMENTS.
- 2. ALL APPLICABLE CODES, ORDINANCES AND MINIMUM STRUCTURAL REQUIREMENTS TAKE PRECEDENCE OVER ALL DRAWINGS, NOTES AND SPECIFICATIONS.
- 3. DO NOT SCALE DRAWINGS; USE PRINTED DIMENSIONS ONLY. NOTIFY ARCHITECT OF ANY OMISSIONS OR DISCREPANCIES BEFORE PROCEEDING WITH WORK IN QUESTION.
- 4. CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES IN CONTRACT DOCUMENTS OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK.
- 5. CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND APPLICABLE CODES PRIOR TO PROCEEDING WITH WORK.
- 6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS BEFORE PROCEEDING
- 7. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF/HERSELF WITH ALL ASPECTS OF THE WORK
- PRIOR TO CONTRACTING WITH THE OWNER TO PERFORM THE WORK. 8. CONTRACTOR SHALL VERIFY CONFORMANCE OF ACTUAL SOIL CONDITIONS WITH SOILS REPORT AND DESIGN
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FOR THE WORK, EXCEPT
- FOR THE BUILDING PERMIT WHICH IS THE RESPONSIBILITY OF THE ARCHITECT. 10. GUARANTEE ON ALL MATERIALS AND WORKMANSHIP TO BE (1) YEAR FROM DATE OF COMPLETION UNLESS
- NOTED OTHERWISE IN CONTRACT.
- 11. REPETITIVE FEATURES MAY BE DRAWN ONLY ONCE, BUT SHALL BE PROVIDED AS IF DRAWN IN FULL. REPETITIVE NOTES MAY BE CALLED OUT ONLY ONCE AND INDICATED AS TYPICAL.
- 12. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE OR CENTERLINE OF INTERIOR COLUMNS UNLESS NOTED OTHERWISE.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES IN FRAMING PRIOR TO PROCEEDING
- 14. THIS PROJECT TO BE DESIGN-BUILD IN THE AREAS OF MECHANICAL, ELECTRICAL AND PLUMBING.

JOB SITE SAFETY

- 1. THE ARCHITECT HAS NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTOR'S SAFETY PRECAUTIONS.
- 2. PERIODIC SITE VISITS PERFORMED BY THE ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION SAFETY PRECAUTIONS.
- 3. THE ARCHITECT IS NOT RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR OR THE CONTRACTOR'S EMPLOYEES OR EMPLOYEES OF SUPPLIERS OR SUBCONTRACTORS, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL OR OCCUPANCY BY ANY PERSON.

- 1. ALL EXCAVATION AND FILL SHALL BE STORED AND PROTECTED SUCH AS TO PREVENT RUN OFF OF MATERIAL TO ADJACENT PROPERTIES.
- 2. FOOTING DRAIN SHALL BE SEPARATE FROM ROOF AND IMPERVIOUS AREA DRAINS.
- 3. DOWNSPOUT DRAIN SHALL BE 4" DIAMETER TIGHTLINE UNLESS NOTED OTHERWISE
- 4. FOOTING DRAIN SHALL BE 4" DIAMETER PERFORATED PIPE UNLESS NOTED OTHERWISE
- 5. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH REQUIRED SEPTIC AND/OR STORM WATER DETENTION

EARTH WORK

- 1. EXTEND EXCAVATION DOWN TO UNDISTURBED SOIL OF THE SPECIFIED STRENGTH WITH A MINIMUM OF 18" BELOW LOWEST ADJACENT FINISH GRADE.
- 2. COMPACTED FILL SHALL BE WELL GRADED AND GRANULAR WITH NOT MORE THAN 5% PASSING A 200 SIEVE. PLACE IN 8" LOOSE LIFTS AND COMPACT TO 95% MODIFIED AASHO DENSITY AT OPTIMUM MOISTURE CONTENT.
- 3. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

ENERGY NOTES

- 1. ALL WORK SHALL COMPLY WITH THE RESIDENTIAL PROVISIONS OF THE 2018 WASHINGTON STATE ENERGY CODE (WSEC).
- 2. HEATING UNIT(S) SHALL MAINTAIN 70 DEGREES FAHRENHEIT AT 36" ABOVE FLOOR WHEN OUTSIDE TEMPERATURE IS 24 DEGREES FAHRENHEIT, OR CURRENT REQUIREMENTS.
- PROVIDE NIGHT SETBACK THERMOSTAT.
- 4. CAULK ALL JOINTS AROUND EXTERIOR OPENINGS AND ALL JOINTS IN SIDING AND FLASHING WHERE INFILTRATION MAY BE POSSIBLE.
- 5. SEAL ALL TEARS AND JOINTS IN INSULATION WITH APPROVED TAPE.
- 6. SHOWER FLOW CONTROL SHALL BE LIMITED TO 2.5 GALLONS PER MINUTE, OR CURRENT REQUIREMENTS.
- 7. ALL CRAWLSPACES SHALL HAVE A MINIMUM OF 6 MIL BLACK VISQUEEN GROUND COVER EXTENDED OVER THE TOP OF THE FOOTINGS. LAP ALL JOINTS 12" MINIMUM.
- 8. FIREPLACE(S) SHALL HAVE TIGHT FITTING DAMPERS AND SHALL BE PROVIDED WITH A MINIMUM OF 6 SQUARE INCHES OF OUTSIDE COMBUSTIBLE AIR SUPPLY.
- 9. METAL DUCTS OUTSIDE THE CONDITIONED SPACE SHALL BE INSULATED TO R-8 MINIMUM PER THE 2018 WSEC, SECTION R403.2.1. PROVIDE WEATHER BARRIER IF LOCATED ON THE EXTERIOR OF THE BUILDING.
- 10. HOT WATER PIPES SHALL BE WRAPPED WITH INSULATION (R-4 MINIMUM) PER THE 2018 WSEC, SECTION R403.4.2.
- 11. WATER HEATER(S) SHALL MEET 1987 NATIONAL APPLIANCE ENERGY CONSERVATION ACT.
- 12. MINIMUM INSULATION VALUES UNLESS NOTED OTHERWISE:
- CEILING R-49 (1" clear vent space) CATHEDRAL CEILING R-38 (1" clear vent space) ABOVE GRADE WALL R-21 (Interior) w/ thermal break @ slab BELOW GRADE WALL BELOW GRADE WALL R-10 (Exterior) R-30 FLOOR R-10 (First 24")

SLAB ON GRADE

- WINDOW AND DOOR HEADER R-10 13. VAPOR RETARDER SHALL BE INSTALLED ON THE CONDITIONED ROOM SIDE OF THE INSULATION.
- 14. BLOWER DOOR TESTING: AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR, AND SHALL BE TESTED PER THE 2018 WSEC, SECTION R402.4.1.2. PROVIDE A WRITTEN REPORT OF THE TEST RESULTS, SIGNED BY THE TESTING PARTY, TO THE BUILDING INSPECTOR, PRIOR TO APPROVED FINAL INSPECTION.
- 15. 75% MIN. OF LUMINAIRES TO BE HIGH EFFICACY LUMINARIES PER THE 2018 WSEC, SECTION R404.1.

VENTILATION NOTES

- VENTILATION AND EXHAUST SYSTEMS TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 15 OF THE 2018 WASHINGTON RESIDENTIAL CODE (WRC).
- 2. SOURCE SPECIFIC FANS SHALL BE LOCATED IN ALL KITCHENS, BATHROOMS, WATER CLOSETS, AND LAUNDRY FACILITIES IN COMPLIANCE WITH THE 2018 WRC, SECTION M1507.4 VENTILATION CAPACITY SHALL BE AT LEAST 50 C.F.M. FOR BATHROOMS, WATER CLOSETS, AND LAUNDRY ROOMS (Intermittent use) AND 100 C.F.M. FOR KITCHENS (INTERMITTENT USE). RANGE HOODS SHALL BE EXHAUSTED IN ACCORDANCE WITH SECTION
- 3. CLOTHES DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH THE 2018 WRC, SECTION M1502. DUCT LENGTH SHALL NOT EXCEED 35 FEET, PLUS THE LENGTH OF THE TRANSITION DUCT, LESS THE EQUIVALENT LENGTH OF FITTINGS PER TABLE M1502.4.4.1.
- 4. INTERMITTENT WHOLE HOUSE VENTILATION SYSTEM SHALL COMPLY WITH THE 2018 WRC, SECTION M1507.3. INTERMITTENT VENTILATION SHALL OCCUR AT LEAST 25% OF EACH 4-HOUR SEGMENT. VENTILATION RATE SHALL BE NOT LESS THAN AS SPECIFIED BY TABLE M1507.3.3(1), MULTIPLIED BY THE RATE FACTOR INDICATED ON TABLE M1507.3.3(2). FAN SHALL HAVE A SONE RATING OF 1.0 OR LESS MEASURED AT 0.1 INCHES WATER GAUGE. OUTDOOR AIR SHALL BE PROVIDED TO ALL HABITABLE ROOMS.
- 5. EXHAUST DUCT WORK SHALL CONFORM TO THE 2018 WRC, CHAPTER 16. EXHAUST DUCTING TERMINATIONS SHALL BE OUTSIDE THE BUILDING, SHALL BE LOCATED IN COMPLIANCE WITH SECTION M1506.2, AND SHALL BE EQUIPPED WITH BACKDRAFT DAMPERS.
- 6. SUPPLY DUCTS WITHIN CONDITIONED SPACE SHALL BE INSULATED TO A MINIMUM OF R-4.
- 7. PROVIDE A MINIMUM NET AREA OF 1 SQUARE FOOT OF VENTILATION AREA FOR EACH 300 SQUARE FEET OF CRAWLSPACE AREA. PLACE OPENINGS AS NEAR AS TO CORNERS AS PRACTICABLE AND SHALL PROVIDE
- 8. ALL CRAWLSPACE VENTS SHALL BE PROVIDED WITH 1/4" NON-CORROSIVE WIRE MESH.
- 9. PROVIDE A MINIMUM NET AREA OF 1 SQUARE FOOT OF VENTILATION AREA FOR EVERY 150 SQUARE FEET OF ATTIC AREA. PROVIDE A CONTINUOUS 1 INCH MINIMUM AIR SPACE ABOVE INSULATION FOR CROSS VENTILATION.
- 10. ALL ATTIC VENTS SHALL BE PROVIDED WITH 1/4" NON-CORROSIVE WIRE MESH OR APPROVED SOFFIT VENTS. MOISTURE PROTECTION
- PROVIDE PRESSURE TREATED PLATES BETWEEN CONCRETE AND FRAMING.
- 2. PROVIDE A MINIMUM OF 12" CLEAR BETWEEN WOOD GIRDERS AND EARTH.
- 3. PROVIDE A MINIMUM OF 18" CLEAR BETWEEN WOOD JOISTS AND EARTH.
- 4. PROVIDE A MINIMUM OF 8" CLEAR BETWEEN WOOD POSTS AND EARTH.

PROVIDE A MINIMUM OF 1" CLEAR BETWEEN WOOD POSTS AND CONCRETE FLOORS.

- 6. CAULK ALL OPENINGS THOROUGHLY.
- 7. FLASH ALL OPENINGS WITH A MINIMUM OF 26 GAUGE GALVANIZED STEEL TO ACCEPTABLE INDUSTRY STANDARDS.
- 8. METAL COPING AT PARAPET TO BE A MINIMUM OF 22 GAUGE GALVANIZED STEEL.

FIRE PROTECTION

- 1. 1. THE GARAGE SHALL BE SEPERATED FROM THE RESIDENCE AND IT'S ATTIC BY NOT LESS THAN THE
- FOLLOWING: 1.1. NOT LESS THAN (1) LAYER OF 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED TO ALL GARAGE WALLS. NOT LESS THAN (2) LAYERS OF 5/8" TYPE "X" GYPSUM WALLBOARD AT CEILINGS.
- 1.2. 1-3/8" MINIMUM THICK, SOLID CORE, OR HONEYCOMB CORE STEEL DOOR, OR A 20-MIN. FIRE-RATED
- 1.3. DUCTS PIERCING FIRE SEPARATION TO BE A MINIMUM OF 26 GAUGE, AND HAVE NO OPENINGS INTO THE GROUP "U" OCCUPANCY.
- 2. FIRE SEPARATION TO BE HORIZONTAL AND VERTICAL INCLUDING ALL STRUCTURAL MEMBERS SUPPORTING THE FIRE SEPARATION.
- 3. ALL ENCLOSED USEABLE SPACE UNDER STAIRWAYS SHALL BE (1) LAYER OF 5/8" TYPE 'X' GYPSUM
- WALLBOARD ON ENCLOSED SIDE.

4. SMOKE DETECTORS SHALL BE HARD WIRED TO BUILDING POWER AND SHALL HAVE BATTERY BACKUP.

- 5. SMOKE DETECTORS SHALL BE AUDIBLE IN ALL SLEEPING ROOMS, AND OUTSIDE EACH SLEEPING AREA IN THE
- IMMEDIATE VICINITY OF THE BEDROOMS.
- 6. A MINIMUM OF (1) SMOKE DETECTOR SHALL BE INSTALLED ON EACH FLOOR INCLUDING THE GARAGE.
- 7. FIRESTOPPING AND DRAFTSTOPPING SHALL CONSIST OF 2" NOMINAL LUMBER.
- 8. FIRESTOPPING AND DRAFTSTOPPING IS REQUIRED IN THE FOLLOWING PLACES: 8.1. CONCEALED SPACES AT ALL FLOOR AND CEILING LEVELS AND AT 10 FOOT INTERVALS ALONG THE
- LENGTH OF THE WALL. 8.2. INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES (I.E., SOFFITS)
- 8.3. CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP AND BOTTOM OF THE RUN. 9. ROCK WOOL AROUND ALL OPENINGS FOR VENTS, PIPES, DUCTS, ETC.
- 10. EMERGENCY EGRESS WINDOWS SHALL MEET THE FOLLOWING REQUIREMENTS:
- 11. PREFABRICATED FIREPLACES SHALL BEAR U.L. OR I.C.B.O. SEAL OF APPROVAL AND SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS.
- 12. CAFFARANCE VIEW TRATING A GLOW MAISTANK, OR FLAME MAY BE INSTALLED IN THE GARAGE PROVIDED THE CHEATROPELENTEINTE AND SWIZE HEROMRED 8" ABOVE THE FLOOR.
- CLEAR OPEN AREA 5.7 s.f. (Minimum) 13. SEMARA SEPTIOOR TO BE CONSTACTION OF NON COMBUSTIBLE MATERIAL (CONCRETE).
- 14. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2012 WASHINGTON RESIDENTIAL CODE.

SHOP DRAWINGS

- SHOP DRAWINGS ARE REVIEWED FOR DESIGN INTENT ONLY.
- 2. THE CONTRACTOR IS TO REVIEW AND APPROVE ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO ARCHITECT OR STRUCTURAL ENGINEER.
- 3. SEE STRUCTURAL NOTES AND PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND CLARIFICATIONS REGARDING SHOP DRAWINGS.

SAFETY AND SECURITY

- 1. DEADBOLTS WITH A MINIMUM THROW OF 1/2" AND A VIEWPORT ARE REQUIRED AT ALL EXTERIOR DOORS
- 2. DEADBOLTS OR APPROVED LOCKING DEVICES ARE REQUIRED ON ALL SLIDING DOORS.
- 3. ALL LOCKS SHALL BE OPENABLE WITHOUT ANY SPECIAL KNOWLEDGE OR EFFORT
- 4. WINDOWS WITHIN 10'-0" OF FINISHED GRADE SHALL BE PROVIDED WITH LATCHING DEVICES.
- 5. STAIRWAYS SHALL MEET THE FOLLOWING REQUIREMENTS: OCCUPANCIES LESS THAN 10

STAIR WIDTH 36" (Minimum) TREAD WIDTH 10" (Minimum), 6" Minimum for Winders RISER HEIGHT 7 3/4" (Maximum) 80" (Minimum) HEADROOM 34" to 38" above nosing HANDRAIL HEIGHT HANDRAIL GRASP 1-1/4"(Min) to 2" (Max)

- 6. HANDRAIL INTERMEDIATE MEMBERS SHALL BE CONFIGURED AS TO PROHIBIT PASSING A 4" DIAMETER SPHERE THROUGH ANY OPENING.
- 7. GUARDRAILS SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR.
- 8. GUARDRAIL INTERMEDIATE MEMBERS SHALL BE CONFIGURED AS TO PROHIBIT PASSING A 4" DIAMETER SPHERE THROUGH ANY OPENING.

NATURAL LIGHT

1. PER WA AMMENDMENT TO IRC 303.1: ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS.

EXCEPTION: THE GLAZED AREAS NEED NOT BE INSTALLED IN ROOMS WHERE ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOTCANDLES (65 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" (762 MM) ABOVE THE FLOOR LEVEL.

- 1. ALL GLAZING SHALL BE (2) PANE INSULATED GLASS OR BETTER UNLESS NOTED OTHERWISE
- SLIDING DOORS SHALL BE SAFETY GLASS, LAMINATED GLASS, OR TEMPERED GLASS.
- 3. SHOWER DOORS AND ENCLOSURES SHALL BE SAFETY GLASS, LAMINATED GLASS, OR TEMPERED GLASS.
- 4. REFER TO WINDOW SCHEDULE FOR ADDITIONAL REQUIREMENTS.

BATHROOM NOTES

- 1. WALL COVERINGS IN SHOWERS SHALL BE MOISTURE RESISTANT MATERIAL TO 72" (Minimum) ABOVE DRAIN
- TOILET SHALL HAVE CLEAR SPACE OF 30" WIDE (Minimum) AND 24" CLEAR (Minimum) IN FRONT OF STOOL.

DRAWING LEGEND			
SYMBOL	DESCRIPTION	REMARKS	
2	WINDOW SYMBOL	See Window Schedule	
A	DOOR SYMBOL	See Door Schedule	
202	SPACE NUMBER	See Finish Schedule	
2	GRID LINE		
A-12	MATCH LINE		
40'-8" T.O. Slab	VERTICAL DATUM POINT		
Stone Wood	SURFACE MATERIAL CHANGE		
DWG/SHEET BLDG. SECT.	DETAIL REFERENCE		
DWG	SECTION CUT REFERENCE		
1 4 SHT 2	INTERIOR ELEVATION REFERENCE	See Interior Elevations	

MATERIAL SYMBOL LEGEND				
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	
	EARTH / COMPACT FILL		ROUGH WOOD FRAMING	
0000	GRAVEL / POROUS FILL		WOOD BLOCKING	
4 4 4	CONCRETE		PLYWOOD	
	CMU / BRICK / STONE VENEER		FINISH WOOD	
	GYPSUM WALL BOARD / PLASTER		BATT INSULATION	
	STEEL OR OTHER METALS		RIGID INSULATION	
	NATURAL STONE			

ABBREVIATION LIST

ADDT

ADJ

AFF

AGG

ALUM

APPR

ARCH

ASPH

BLDG

BLK

BOF

BOT

BOW

BSMT

BTWN

BTB

BUR

CAB

CAP

CB

CIP

CLG

CLR

CMU

CNTR

CO

COL

CONC

CONST

CONT

CPT

CRV

CRW

CSMT

DCU

DIM

DWR

ELEC

ELEV

ENCL

ENG

EQUIP

EXIST

EW

EXT

FIN

FLASH

FLUOR

FLR

FND

FOC

FOF

FOS

FT

FTG

GΑ

GAL

GALV

GFI

GLB

GR

GWB

GYP

HDR

HDWD

HDWR

HORZ

HR

HT

HWT

IDS

INSUL

INT

IN

HGR

FRMG

CONTR

CLKG

CATV

ALT

ANCHOR BOLT

EQUIPMENT

EACH WAY

EXISTING

EXTERIOR

FLAT BAR

FINISH

FLOOR

FLASHING

FLOOR DRAIN

FINISH FLOOR

FLUORESCENT

FACE OF FINISH

FACE OF STUD

FRAMING

FOOT/FEET

FOOTING

GAUGE

GALLON

GRADE

GYPSUM

HOSE BIBB HOLLOW CORE

HEAVY DUTY

HARDWOOD

HARDWARE

HORIZONTAL

HOT WATER TANK

INSIDE DIAMETER

INTERIOR DOWNSPOUT

HANGER

HOUR

INCH

INSULATION

INTERIOR

HEIGHT

HEADER

HEIGHT

GALVANIZED

GROUND FAULT INTERRUPTER

GLU-LAMINATED BEAM

GYPSUM WALL BOARD

FACE OF CONCRETE

FOUNDATION

ABOVE		JT	JOINT
AIR CONDITIONING		KD	KILN DRIED
ACOUSTICAL TILE		LAM	LAMINATED
AREA DRAIN ADDITIONAL		LB	POUNDS
ADJUSTABLE		LF	LINEAL FOOT
ABOVE FINISH FLOOR		LH 	LEFT HAND
AGGREGATE		LL LT	LIVE LOAD
ALTERNATE		LTG	LIGHT LIGHTING
ALUMINUM APPROXIMATE		MATL	MATERIAL
ARCHITECT/ARCHITECT	ΙΡΔΙ	MAX	MAXIMUM
ASPHALT	OTO IL	MB	MACHINE BOLT
BOARD		MC	MEDICINE CABINET
BELOW		MECH	MECHANICAL
BUILDING		MEMB MFR	MEMBRANE MANUFACTURER
BLOCKING		MILP	MAKE IT LOOK PRETTY
BEAM BY OTHERS		MIN	MINIMUM
BOTTOM OF FOOTING		MIR	MIRROR
ВОТТОМ		MISC	MISCELLANEOUS
BOTTOM OF WALL		MTL	METAL
BEARING		N NA	NORTH NOT ADDITIONAL F
BASEMENT BURY THE BODIES		NA NIC	NOT APPLICABLE NOT IN CONTRACT
BETWEEN		NO	NUMBER
BUILT UP ROOFING		NOM	NOMINAL
CABINET		NTS	NOT TO SCALE
CAPACITY		O/	OVER
CABLE TELEVISION		OBSC	OBSCURE
CATCH BASIN CAST IN PLACE		OC OD	ON CENTER OUTSIDE DIAMETER
CONTROL JOINT		OD	OVERFLOW DRAIN
CENTER LINE		ОН	OVERHEAD
CEILING		OPNG	OPENING
CAULKING		OPP	OPPOSITE
CLEAR CONCRETE MASONRY U	NIT	PBD	PARTICLE BOARD
CENTER		PERF PERP	PERFORATED PERPENDICULAR
CLEAN OUT		PH	PAPER HOLDER
COLUMN		PL	PLATE
CONCRETE CONSTRUCTION		PL PLAM	PROPERTY LINE
CONTINUOUS		PLYWD	PLASTIC LAMINATE PLYWOOD
CONTRACTOR		POL	POLISHED
CARPET		PR	PAIR
CONTINUOUS RIDGE VE CONCRETE RETAINING \		PSF	POUNDS PER SQUARE FOOT
CASEMENT	VALL	PSI PT	POUNDS PER SQUARE INCH PRESSURE TREATED
CERAMIC TILE		PTD	PAINTED
CUBIC YARD		QT	QUARRY TILE
PENNY		QTY	QUANTITY
DEEP		R	RADIUS
DRYER DON'T ASK FOR DETAIL		R	RISER
DOUBLE		RD	ROOF DRAIN
DON'T CALL US		REF REINF	REFRIGERATOR REINFORCING
DIAMETER		REQD	REQUIRED
DIAGONAL		RH	RIGHT HAND
DIMENSION DOWN		RJ	ROOF JACK/VENT
DOOR		RM	ROOM
DOWNSPOUT (EXTERIOR	₹)	RO RV	ROUGH OPENING RIDGE VENT
DETAIL		S	SOUTH
DISHWASHER DRAWING		SB	SETBACK
DRAWING		SB	SAND BLAST
EAST		SC	SOLID CORE
EACH		SCHED	SCHEDULE
EXPANSION JOINT		SF SHMTL	SQUARE FOOT SHEET METAL
ELEVATION		SHTHG	SHEATHING
ELECTRIC ELEVATION		SIM	SIMILAR
ENCLOSURE		SPECS	SPECIFICATIONS
ENGINEER		SQ	SQUARE
EQUAL		SS	STAINLESS STAINLESS STEEL

SS STL

STD

STL

STOR

SYM

TEMP

TEMP

THK

TOP

TOS

TOW

TYP

UBC

UNO

VCT

VER

VG

W/O

WRB

WD

WP

WR

WS

WWM

YD

VERT

STRUC

STAINLESS STEEL

STANDARD

STORAGE

SYMBOL

TREAD

THICK

TOP OF

STRUCTURAL

SOFFIT VENT

TELEPHONE

TEMPERED

TEMPERATURE

TOP OF PLATE

TOP OF SLAB

TOP OF WALL

TRAIN WRECK

TELEVISION

TYPICAL

VERIFY

WATT

WIDTH

WITHOUT

WATERPROOF

WOOD SCREW

WATER RESISTANT

WELDED WIRE MESH

WOOD

VERTICAL

VERTICAL GRAIN

TONGUE AND GROOVE

UNIFORM BUILDING CODE

VINYL COMPOSITION TILE

UNLESS NOTED OTHERWISE

WATER RESISTANT BARRIER

STEEL

JOIST

Kirkland, WA 98003

DESIGN

CHECKED

DRAWING SETS

2023-07-12

REVISIONS

DATE

SHEET ISSUE DATE 07.19.2022

DESCRIPTION

PERMIT SET

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ADAMS RESIDENCE

8035 SE 45TH ST MERCER ISLAND 98040

GENERAL NOTES

LEGAL DESCRIPTION TOPOGRAPHIC & BOUNDARY SURVEY (PER STATUTORY WARRANTY DEED RECORDING #20210222003556) THAT PORTION OF LOTS 16 THROUGH 19 AND LOTS 32 THROUGH 34. SEWARD ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 24 OF PLATS, PAGE 26, IN KING COUNTY, WASHINGTON, LEGEND STEEP SLOPE/BUFFER DISCLAIMER: DESCRIBED AS FOLLOWS: THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR AREA DRAIN NAIL AS NOTED BEGINNING AT A POINT ON THE NORTHERLY LINE OF SAID LOT 34 INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR FOUND MON IN CASE -WHICH BEARS SOUTH 85°56'42" WEST 5.28 FEET FROM THE CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR ASPHALT SURFACE MAILBOX (RESIDENTIAL) IRON PIPE, DOWN 1.1' GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE NORTHEAST CORNER THEREOF; VISITED 08/2013 PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR BRICK SURFACE THENCE SOUTH 27°09'40" WEST 24.75 FEET; MONUMENT IN CASE (FOUND) THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR THENCE ON A CURVE TO THE LEFT HAVING A RADIUS OF 144 FEET SE 45TH ST OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED PAVER SURFACE A DISTANCE OF 110.75 FEET; BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR THENCE SOUTH 16°54'20" EAST 35.79 FEET; ---- CENTERLINE ROW P POWER METER THENCE SOUTH 64°59'11" EAST 68.47 FEET TO THE SOUTH LINE OF SAID LOT 32; CLEANOUT —— UP —— POWER (UNDERGROUND) THENCE SOUTH 89°43'57" EAST, ALONG THE SOUTH LINE, 12.50 SCO SEWER CLEANOUT REBAR AS NOTED (FOUND) FEET TO THE SOUTHEAST CORNER OF SAID LOT 32; THENCE CONTINUING ON THE SOUTH LINE OF LOT 19, SOUTH LOT 34 CULVERT PIPE 89°43'56" EAST 49.95 FEET; THENCE NORTH 00°16'04" EAST 100 FEET TO THE SOUTH LINE OF CONCRETE SURFACE —— SS —— SEWER LINE THENCE SOUTH 89°43'56" EAST, ALONG THE SOUTH LINE OF LOT 17, RETAINING WALL SEWER MANHOLE 0.25 FEET, MORE OR LESS, TO A POINT WHICH IS SOUTH 89°43'56" - X X FENCE LINE (CHAIN LINK) EAST 81.10 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 17; THENCE NORTH 00°16'04" EAST 101.28 FEET TO THE NORTH LINE OF ### FENCE LINE (IRON) TEL HH TELEPHONE HAND HOLE SAID LOT 16; THENCE WESTERLY, ALONG THE NORTH LINE OF SAID LOTS 16 AND SIZE TYPE (o) TREE (AS NOTED) FENCE LINE (WOOD) 34, SOUTH 85°56'42" WEST 115.43 FEET TO THE POINT OF FLAGSTONE SURFACE WM□ WATER METER ---- G ---- GAS LINE SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON. WVM WATER VALVE G GAS METER BASIS OF BEARINGS GRAVEL SURFACE COL COLUMN IP IRON PIPE (FOUND) N 16°54'20" W BETWEEN FOUND CENTERLINE MONUMENTATION ALONG FOREST AVE SE PER R1 **CONTROL MAP** REFERENCES R1. SEWARD ADDITION PLAT, VOL. 24, PG. 26, RECORDS OF KING COUNTY, WASHINGTON. R2. RECORD OF SURVEY, VOL. 52, PG. 180, RECORDS OF KING COUNTY, WASHINGTON. FOUND MON IN CASE R3. RECORD OF SURVEY, VOL. 114, PG. 62, 2" IRON PIPE, DOWN 1.0' RECORDS OF KING COUNTY, WASHINGTON. VISITED 08/2013 VERTICAL DATUM NAVD88 PER GPS OBSERVATIONS APPROX. LOCATION PER RECORDS (TYP) SURVEYOR'S NOTES APPROX. LOCATION PER PAINT MARKS (TYP) 1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN N 85'56'47" E SE 45TH ST JULY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS. 2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED. PSE MAP NO. 0197079 . THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US. BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED RIM=168.09' BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION E./NW.) 8"CONC SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL =158.09'(C.C.) PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR FOUND IRON PIPE 0.07'N OF PROP COR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF N 85°56'47" E 115.43' UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE N 85'56'47" E 5.28' CALC N 85'56'42" E 5.28' DEED CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555). 0.13'W OF LINE & ROCKERYO 0.34'S OF PROP COR 4. SUBJECT PROPERTY TAX PARCEL NO. 7700100091. 5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 25,130± S.F. (0.58 ACRES) 6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE (2)6",(2)8" DEC REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON. 7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE FOUND IRON PIPE/CAP LS# 20764 ON LINE & APPROX. LOCATION 8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD PER RECORDS (TYP) 0.25'SW OF MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090. VICINITY MAP N.T.S. Mercer Island Library SITE Youth Theatre Northwest RIM=195.07' JOB NUMBER: 211187 (IN FEET) SE 45th St 07/14/21 1 INCH = 10 FT.35 SE 45th St, Mercer DRAFTED BY: Island, WA 98040, USA JGM/CSP CHECKED BY: Congregational Church 1" = 10' on Mercer Island REVISION HISTORY ≤ SE 46th St SE 46th S INDEXING INFORMATION NE 1/4 SE 1/4 SECTION: 13 TOWNSHIP: 24N 0.8'W WALL RANGE: 04E, W.M.

MATCH LINE - SEE SHEET 2

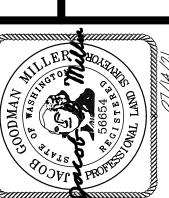
COUNTY: KING

SHEET NUMBER

1 OF 2

RESIDENCE

ADAM RESIL
8035 SE 457



2, Bellevue, WA 98004 support@terrane.net

Main Street, Suite 102 phone 425.458.4488

JOB NUMBER: 211187

DATE: 07/14/21

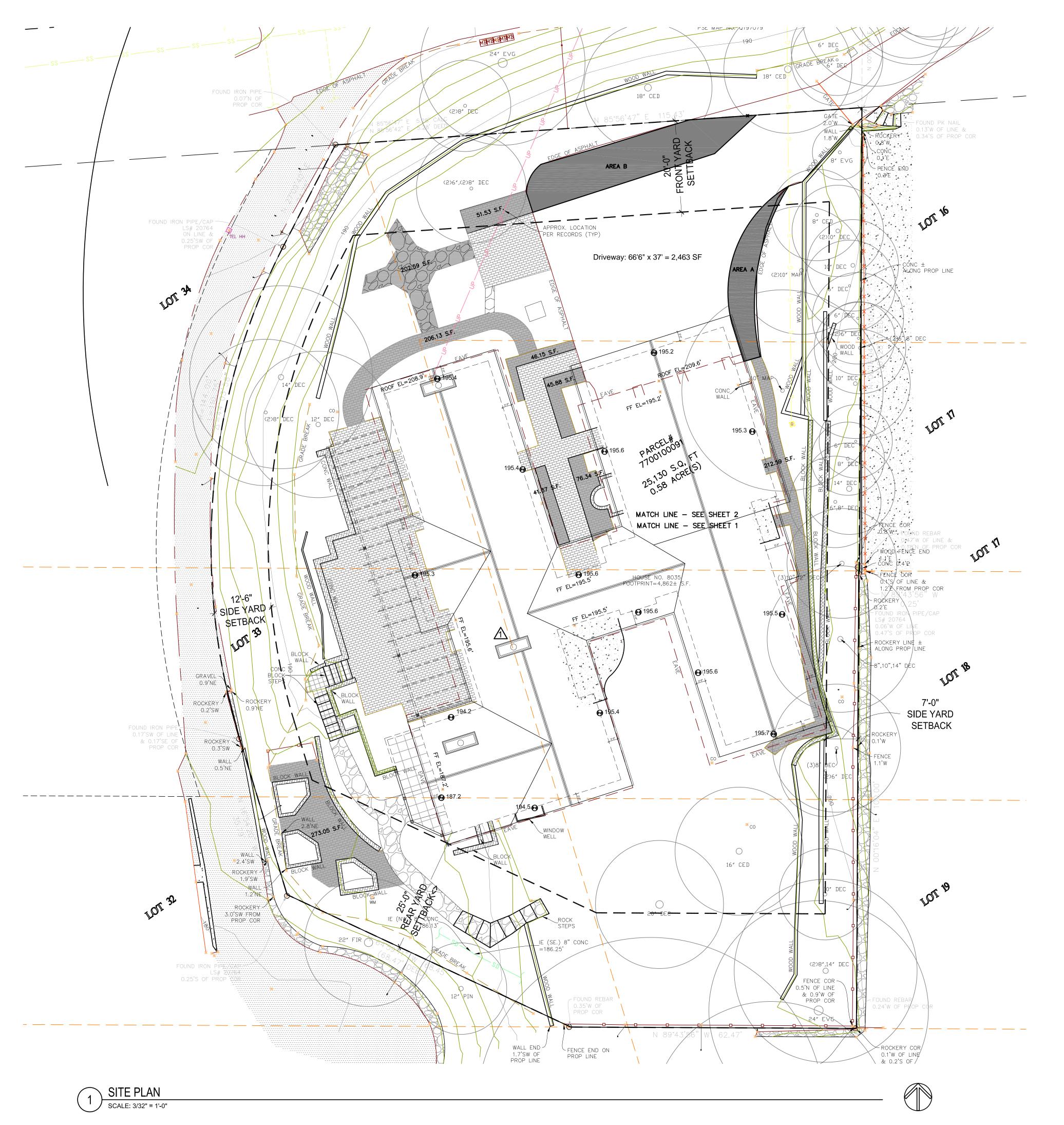
DRAFTED BY: RSN

CHECKED BY: JGM/CSP

SCALE: 1"= 10'

REVISION HISTORY

RANGE: <u>04E, W.M.</u> COUNTY: <u>KING</u> SHEET NUMBER
2 OF 2



AVERAGE BUILDING ELEVATION CALCULATION

ABE=((24.2*195.4)+(76.3*195.3)+(13.6*194.2)+(19.7*187.2)+(37.6*194.5)+(35.4*195.4)+(23.2*195.6)+ (35.3*195.6)+(21.3*195.7)+(49*195.5)+(30.7*195.3)+(32*195.2)+(29.5*195.6)+(18.5*195.6)+(50*195.4))/ (24.2+76.3+13.6+19.7+37.6+35.4+23.2+35.3+21.3+49+30.7+32+29.5+18.5+50) ABE=195.0'

MAXIMUM BUILDING HEIGHT = 30' ABOVE A.B.E. MAXIMUM BUILDING ELEVATION = 195.0' + 30' = 225'

CONTRACTOR TO VERIFY OVERHANGS AND SETBACKS.

LOT COVERAGE CALCULATIONS

LOT COVERAGE IS BUILDING AND/OR ROOF FOOTPRINT

AND DRIVEWAY AREA: ALLOWABLE LOT COVERAGE = 8,796 SF

HOUSE AND/OR ROOF FOOTPRINT = 6,723 SF EXISTING DRIVEWAY = 2,463 SF

6,723 SF + 2,463 SF = 9,186 SF TOTAL LOT COVERAGE TOTAL LOT COVERAGE IS OVER ALLOWABLE LOT

COVERAGE

9,186 SF - 8,796 SF = 390 SF OVER ALLOWABLE LOT COVERAGE BY 390 SF, NEED TO

REMOVE 390 SF OF LOT COVERAGE

AREA A = 351 SF (REMOVE) AREA B = 188 SF (REMOVE)

TOTAL = 351 SF + 188 SF = 539 SF NEW DRIVEWAY AREA = 2,463 SF - 351 SF - 188 SF = 1,924 SF

REMOVING AREAS A & B WILL BRING TOTAL LOT COVERAGE UNDER LIMIT (6,723 SF + 1,924 SF = 8,647 SF)

EXTRA LOT COVERAGE 8,769 SF - 8,647 SF = 122 SF

CURRENT HARDSCAPE COVERAGE

CURRENT HARDSCAPE COVERAGE WALLS = 333 SF

EXISTING HARDSCAPE AREAS = 504 + 1203 + 329 + 270 + 203 + 206 + 213 + 273 + 333 = 3,534 SF ALLOWABLE HARDSCAPE COVERAGE = 2,383.7 SF (9% LOT + 122 SF FROM EXTRA LOT COVERAGE: 25,130 X 0.09 + 122 = 2,383.7 SF) OVERAGE = 3,534 SF - 2,383.7 SF = 1,150.3 SF

THEREFORE, 1,150.3 SF NEEDS TO BE REMOVED.

MATERIAL KEY SYMBOL DESCRIPTION LOT COVERAGE EXISTING DRIVEWAY ASPHALT REMOVED REMOVED EXISTING HARDSCAPE PATHWAYS REMOVED REMOVED

BUILDING PAD AREA = 16,721 S.F.

THERE ARE NO LAND USE APPLICATIONS ASSOCIATED W/ THIS PROJECT.

THE CONTRACTOR SHALL SCOPE ROOF TIGHTLINES AROUND THE HOUSE AND VERIFY THAT THE PIPES ARE CLEAN AND FREE OF DEBRIS SUCH THAT THE SYSTEM IS INTACT. THE CONTRACTOR AND OWNER TAKE FULL RESPONSIBILITY FOR THE CONDITION OF THE DOWNSPOUT TIGHTLINE AND IMPACT TO DOWNSTREAM PROPERTIES. CONTRACTOR TO PROVIDE CLOSED CAPTION TELEVISED VIDEO (CCTV) FOR OWNER AND CITY TO REVIEW THAT SHOWS THE EXISTING DRAINAGE SYSTEM IS WORKING PROPERLY. IF THERE ARE ISSUES WITH THE EXISTING SYSTEM, THE CONTRACTOR SHALL REPAIR THE SYSTEM WITHIN THE OWNER'S PROPERTY LIMITS

GEOLOGICAL HAZARD AREAS: EROSION, POTENTIAL SLIDE, AND WIND EXPOSURE HAZARD AREAS COVER ENTIRE SITE. NO STEEP SLOPES ON SITE. PER 19.07.130 WORK IS NOT IN A CRITICAL AREA. PER 19.07.160 ALTERATION OF PREVOUSLY DEVELOPED AREA IN A GEOLOGICAL AREA IS COVERED UNDER SUBMITTED GEOTECH REPORT.

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CHECKED SHEET ISSUE DATE 07.19.2022 DRAWING SETS DATE DESCRIPTION

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REVISIONS

2023-07-12

1914 5th st.

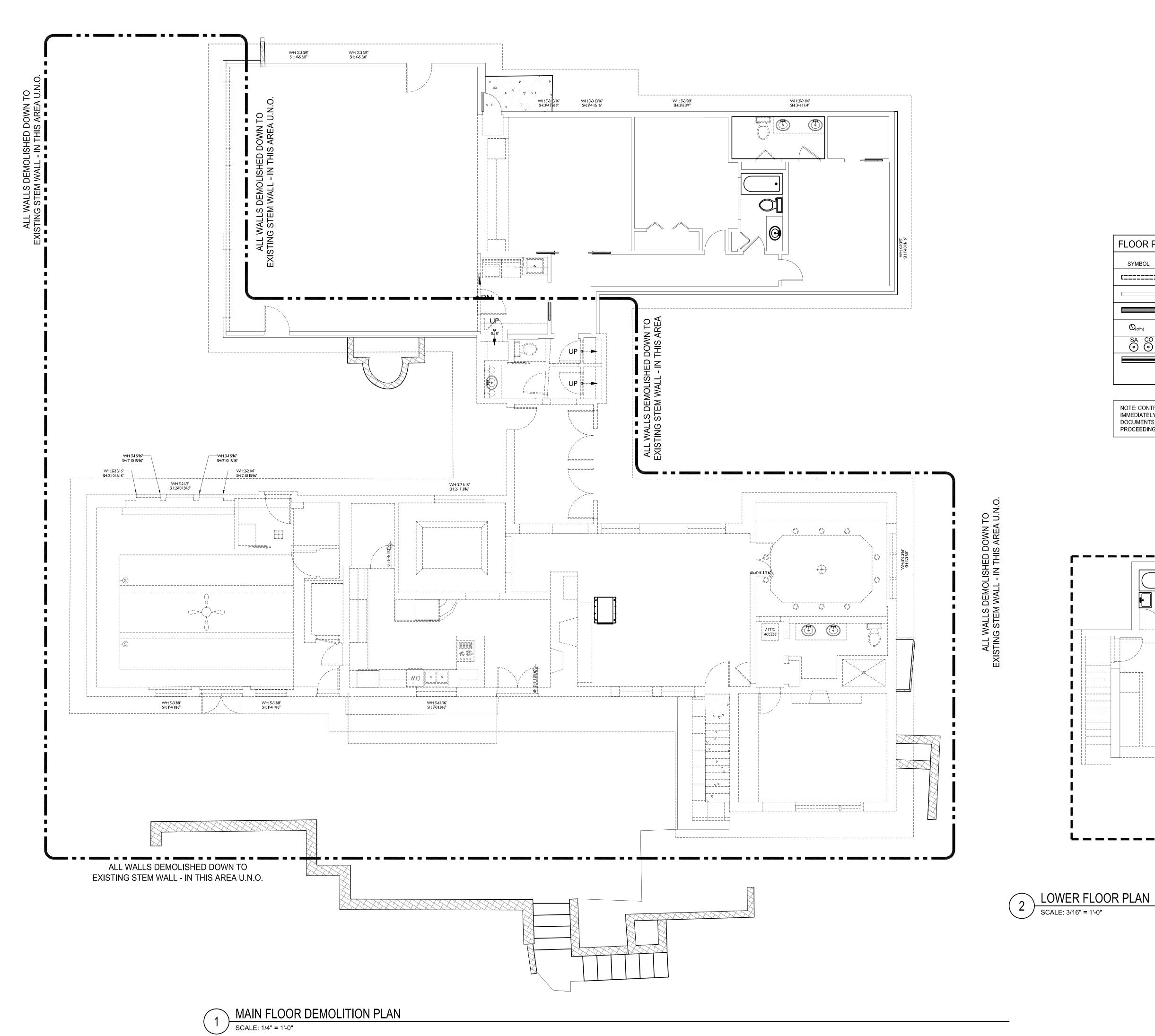
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ADAMS RESIDENCE

8035 SE 45TH ST MERCER ISLAND 98040

SITE PLAN



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DRAWN

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DRAWING SETS

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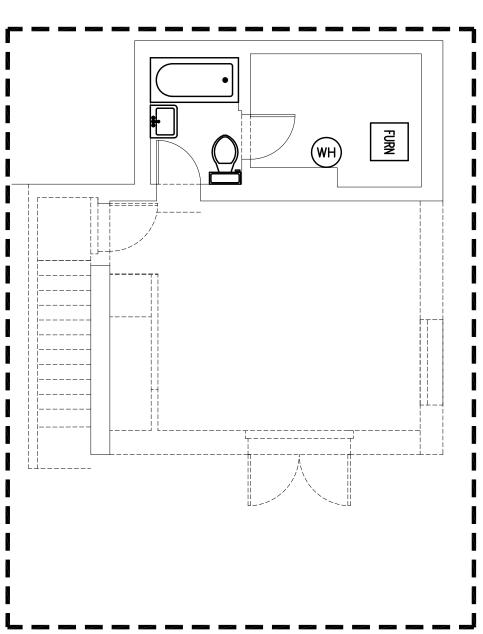
SHEET ISSUE DATE 07.19.2022

DATE DESCRIPTION

PERMIT SET

FLOOR PLAN LEGEND				
SYMBOL	DESCRIPTION	REMARKS		
(======	DEMO WALL	Existing wall to be removed		
	EXISTING WALL	Existing wall to remain		
	NEW WALL (Line of Drywall)	2x studs @ 16" O.C.		
O _(cfm)	EXHAUST FAN	CFM AS NOTED, VENT TO EXTERIOR, SWITCH SEPARATELY		
SA CO	SMOKE ALARM CO2 DETECTOR	CEILING MOUNTED		
	SOUND WALL	STAGGERED 2X STUDS WITH ROCK WOOL SOUND BATTS & ADDITIONAL LAYER GWB AT RECEIVER SIDE		

NOTE: CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES IN CONTRACT DOCUMENTS OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK.



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1914 5th st.

Kirkland, WA 98003

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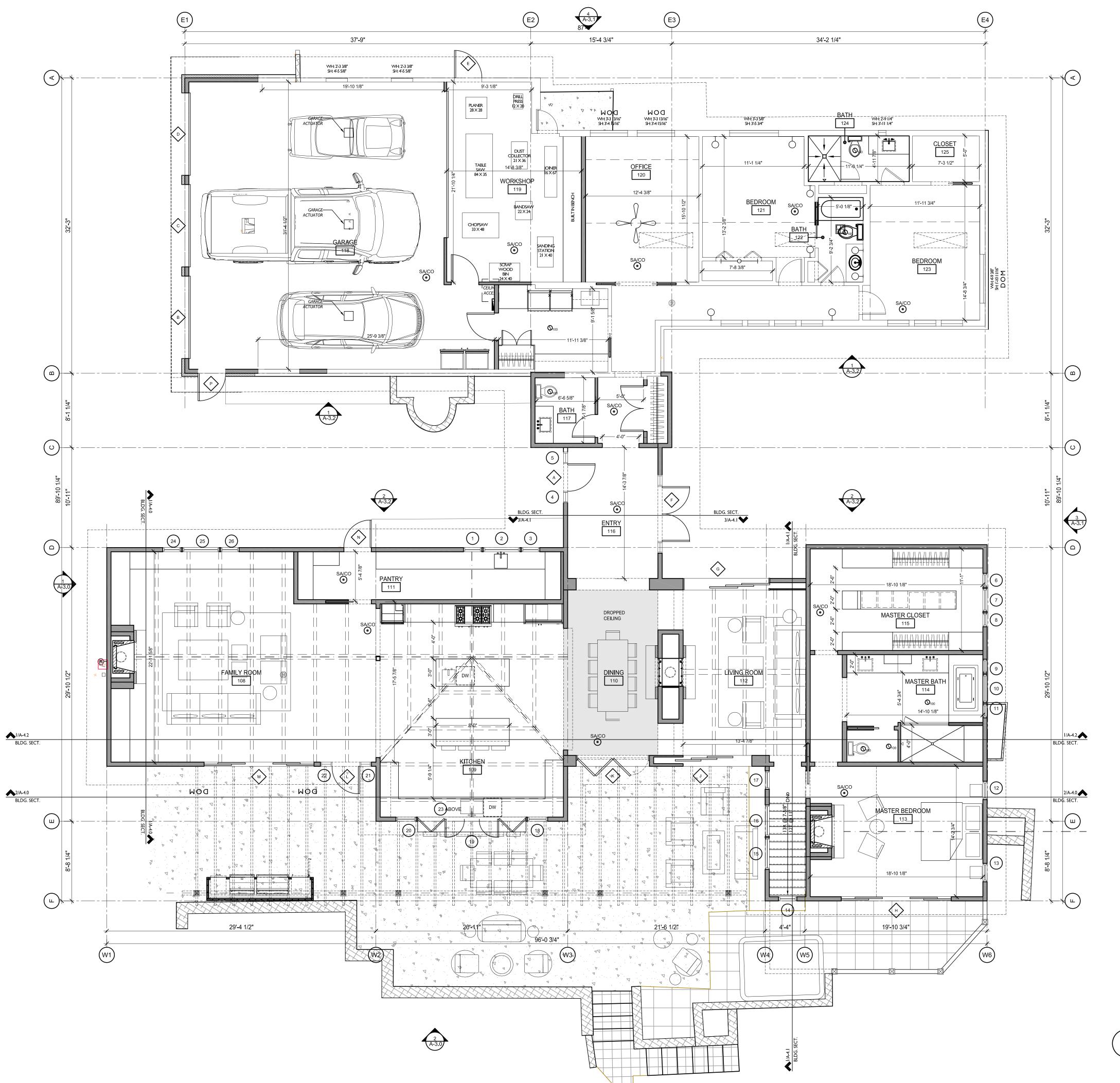
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8035 SE 45TH ST MERCER ISLAND 98040

MAIN FLOOR DEMOLITIONPLAN

A-2.0

PLAN NORTH



FLOOR PLAN LEGEND DESCRIPTION SYMBOL REMARKS DEMO WALL Existing wall to be removed **EXISTING WALL** Existing wall to remain NEW WALL 2x studs @ 16" O.C. (Line of Drywall) CFM AS NOTED, VENT TO EXTERIOR, EXHAUST FAN SWITCH SEPARATELY SMOKE ALARM CEILING MOUNTED CO2 DETECTOR STAGGERED 2X STUDS WITH SOUND WALL ROCK WOOL SOUND BATTS & ADDITIONAL LAYER GWB AT RECEIVER SIDE

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GENERAL STAIR NOTES

1. Tread run to be 10" minimum (11" minimum for occupancies greater than 10).

2. Riser height to be 7 3/4" maximum (7" maximum for occupancies greater than 10).

3. Stair width and landing length to be 36" minimum.

4. Winder tread width to be 6" minimum.

5. Winder tread width to be 10" minimum at a point 12" from inside of stair.

6. Handgrasp width to be 1 1/4" minimum and 2" maximum.

7. Handgrasp to have a minimum clear space to wall surface of 1 1/2".

8. Handgrasp to project into stairway 3 1/2" maximum.

9. Top of handgrasp to be 34" minimum and 38" maximum above nosings.

10. Handgrasp to be continuous from first to last nosing.

11. Handgrasp to return to wall or terminate at a newel post.

12. Guardrails (level) to be capable of withstanding a #200 force at any point in any direction.

13. Guardrail members to be spaced so as to prohibit the passing of a 4" diameter sphere through railing at any point.

14. Guardrails and handrails to be 36" minimum above finish floor.

4'-4"

SCALE: 3/16" = 1'-0"

DATE DESCRIPTION

2023-07-12 PERMIT SET

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1914 5th st.
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DRAWN

CHECKED

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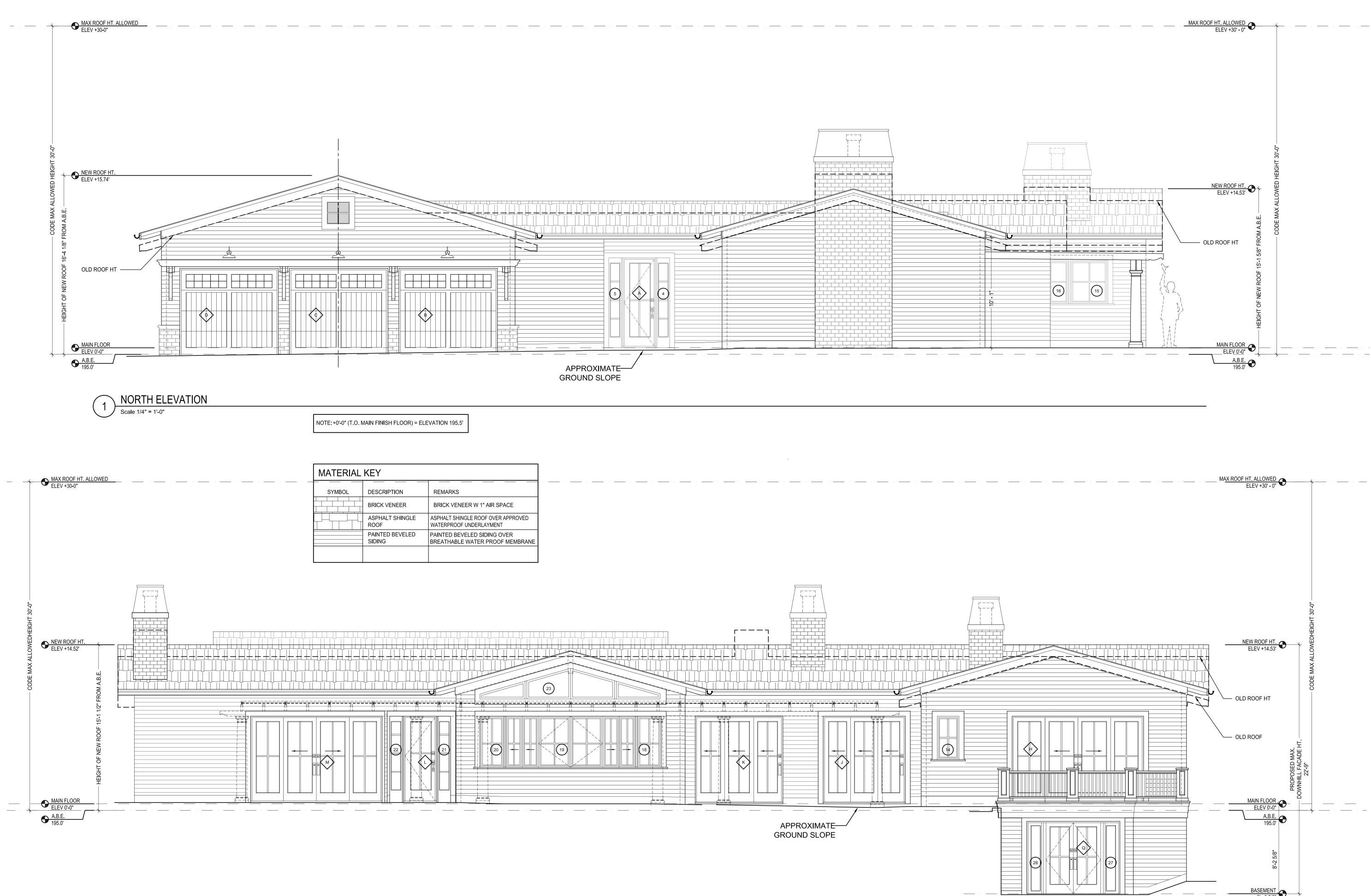
8035 SE 45TH ST MERCER ISLAND 98040

MAIN FLOOR PLAN

A-2.1

MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"



WEST ELEVATION

Scale 1/4" = 1'-0"

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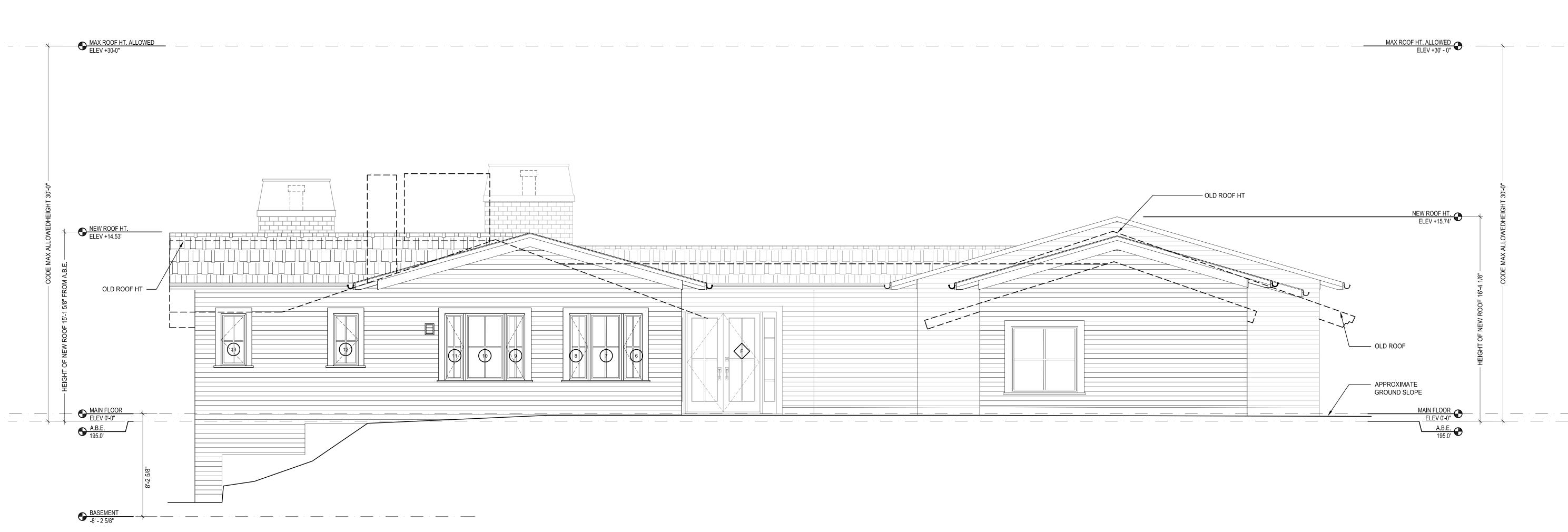
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EXTERIOR ELEVATIONS

A-3.0



South Elevation

Scale 1/4" = 1'-0"

NOTE: +0'-0" (T.O. MAIN FINISH FLOOR) = ELEVATION 195.5'

MAX ROOF HT. ALLOWED	<u>) </u>		MAX ROOF HT. ALLOWED ELEV +30' - 0"
ELEV +30-0"		MATERIAL KEY	ELEV +30 - 0"
		SYMBOL DESCRIPTION REMARKS	
		BRICK VENEER BRICK VENEER W 1" AIR SPACE	
		ASPHALT SHINGLE ASPHALT SHINGLE ROOF OVER APPROVED ROOF WATERPROOF UNDERLAYMENT	
		PAINTED BEVELED PAINTED BEVELED SIDING OVER SIDING BREATHABLE WATER PROOF MEMBRANE	
0	$\sqrt{\begin{array}{c} \dot{\mathbf{r}}_{} \dot{\mathbf{r}} \\ \dot{\mathbf{r}} \end{array}}$		
ë			
OH NEW BOOK HT			NEW ROOF HT. ELEV +15'-9"
NEW ROOF HT. ELEV +14.53'		╵╸┍ ┤╾╬╸╬╒═╬╒═╬╒═╬╒╬╒╬╒╬╒╬╒╬╒╬╒╬╒═╬═╬╬╒╬╒═╬═╬═╬╒	ILLOWE
MAX			MAX A
CODE			-1/8" –
8" FRO			DF 16'-4
15-1 5			W. RO
ROOF			W 40
N NE			
GHT 0			
 			
MAIN FLOOR ELEV 0'-0"			MAIN FLOOR ELEV 0'-0"
MAIN FLOOR ELEV 0'-0" A.B.E. 195.0'	······································		A.B.E. 195.0'

2 EAST ELEVATION
Scale 1/4" = 1'-0"

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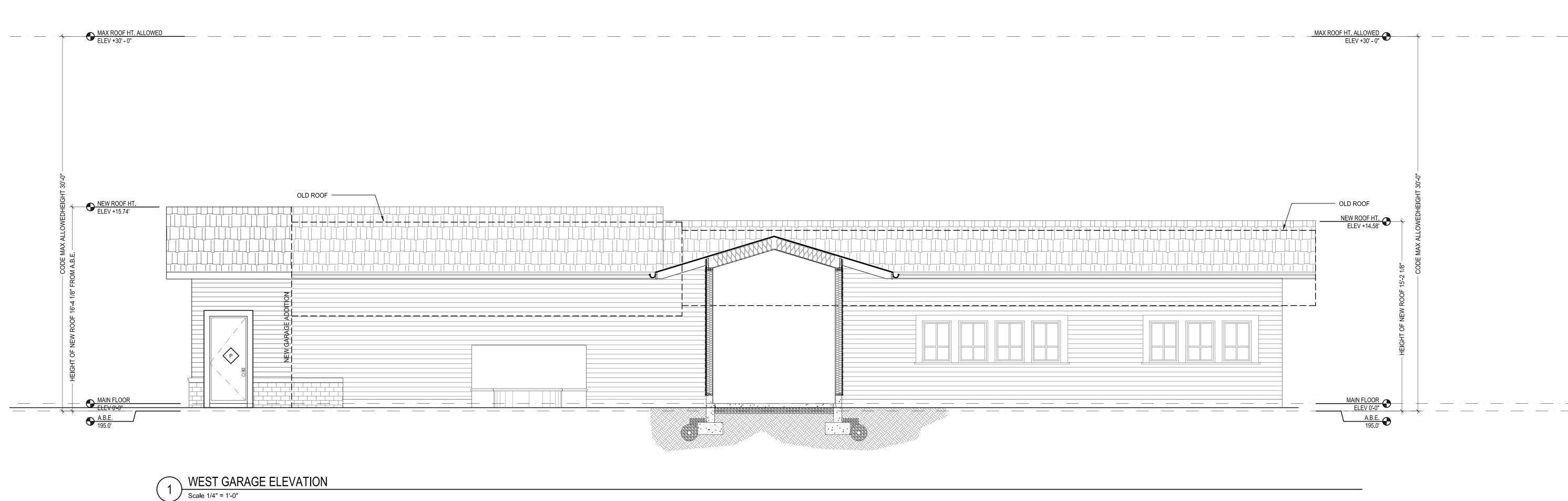
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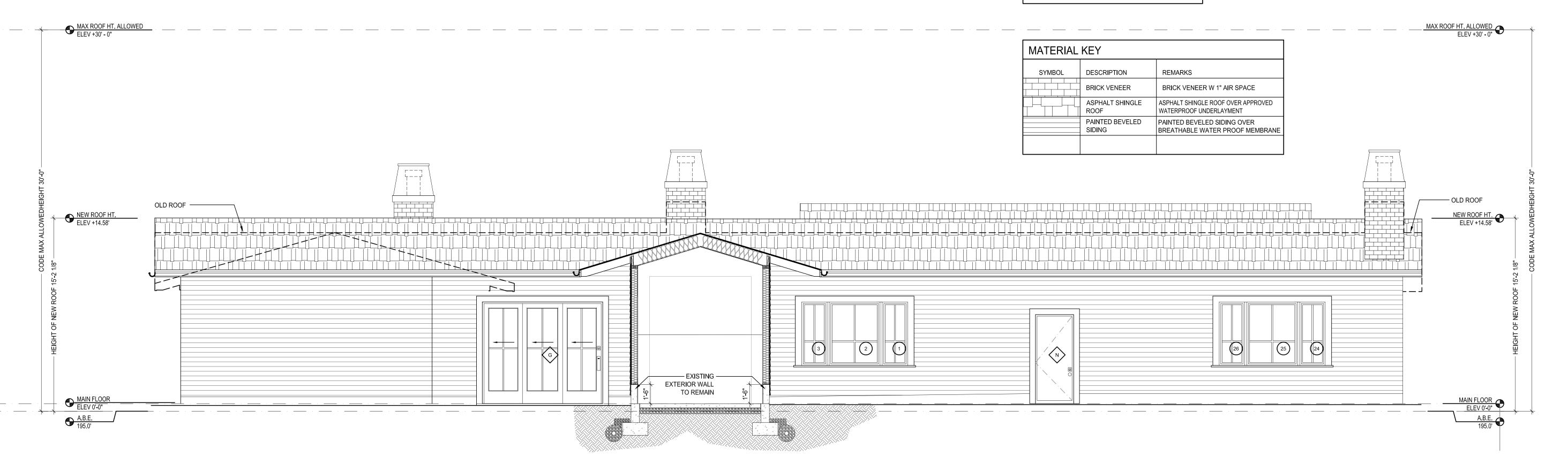
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EXTERIOR ELEVATIONS

A-3.1



NOTE: +0'-0" (T.O. MAIN FINISH FLOOR) = ELEVATION 195.5'



2 ENTRY SECTION
Scale 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

A-3.2

BUILDING SECTION

Scale 1/4" = 1'-0"

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MAX ROOF HT. ALLOWED ELEV +30' - 0"

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MAX ROOF HT. ALLOWED ELEV +30' - 0"

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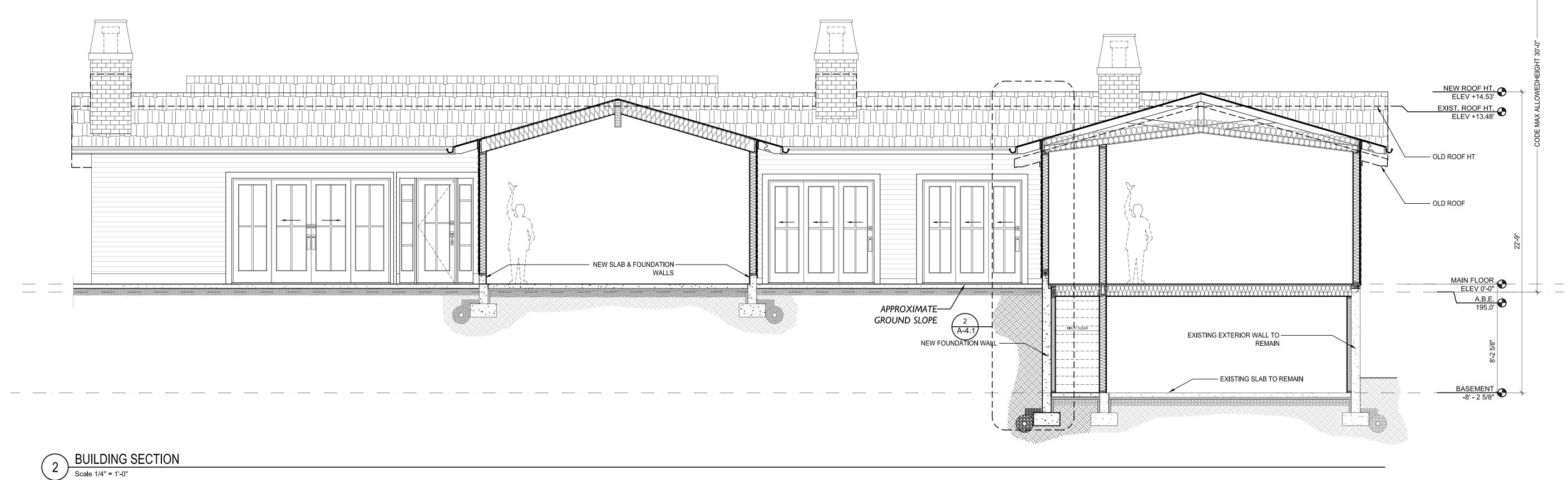
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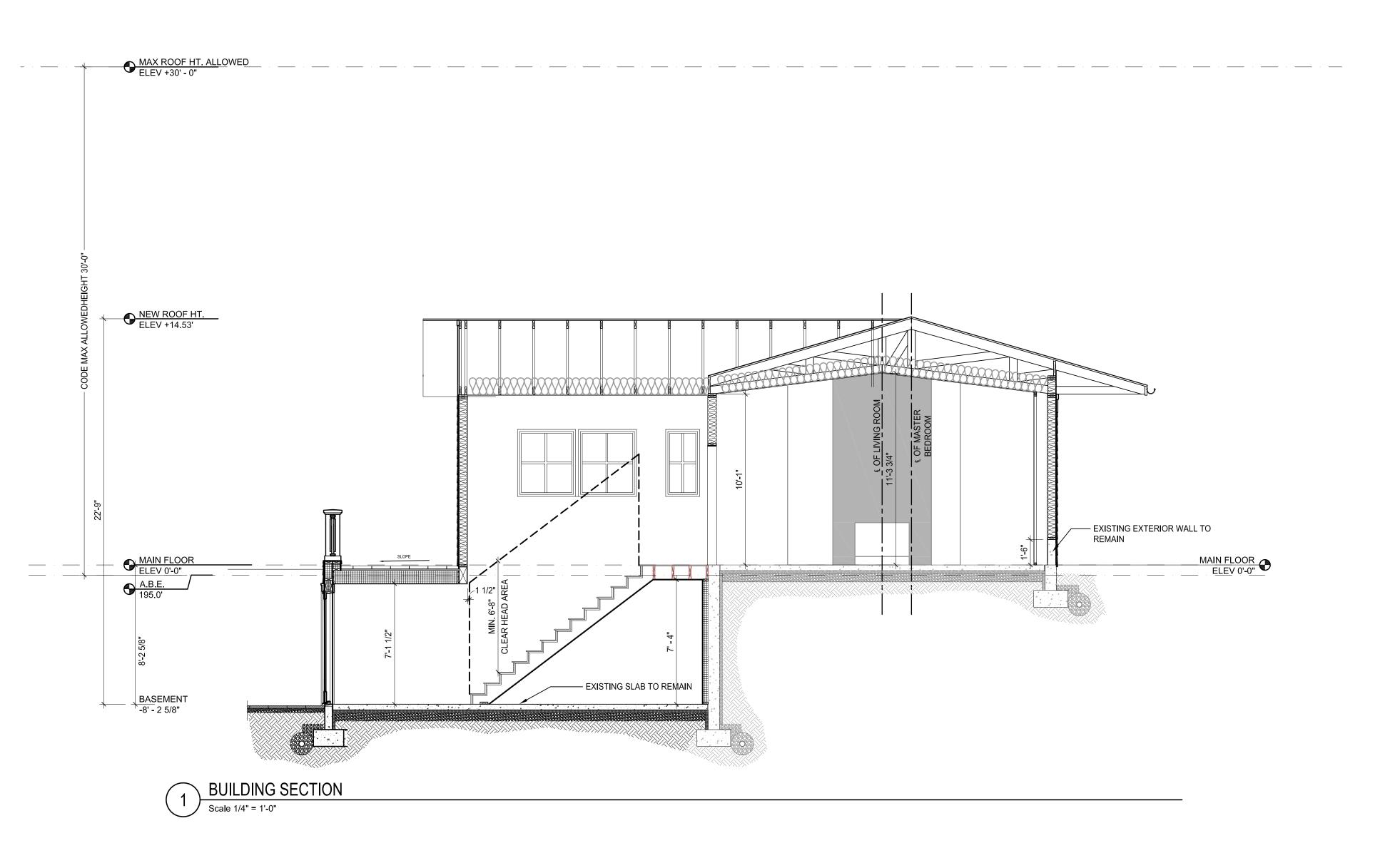
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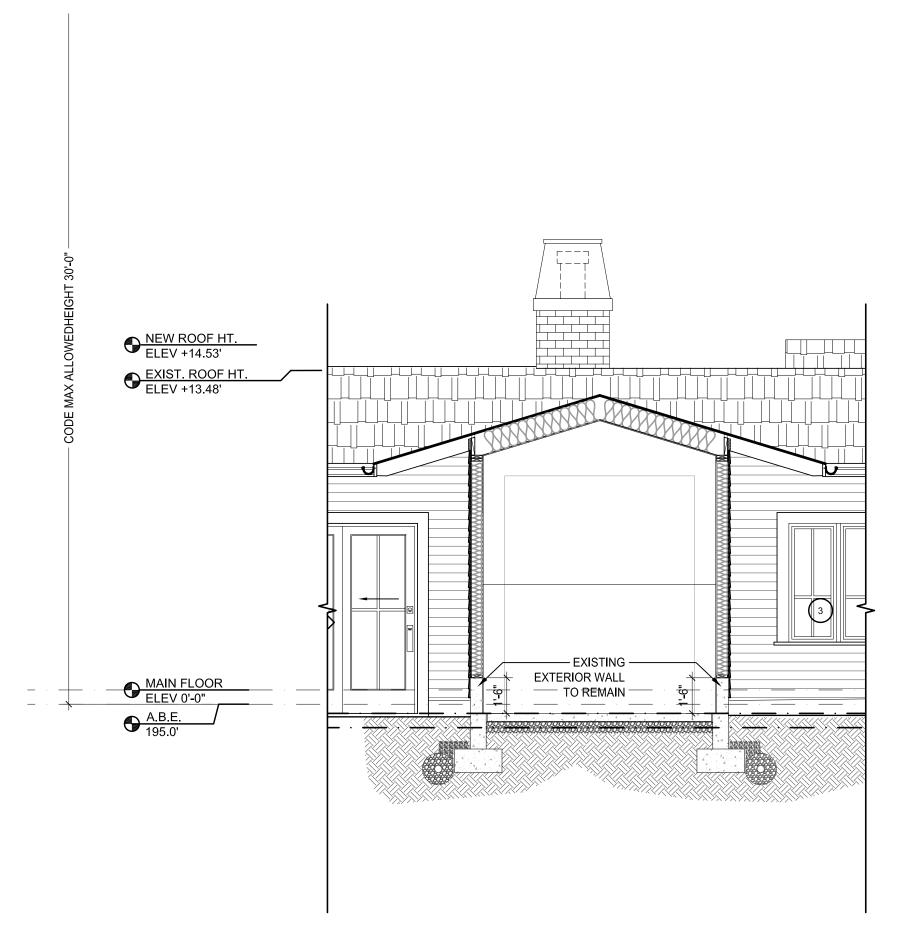
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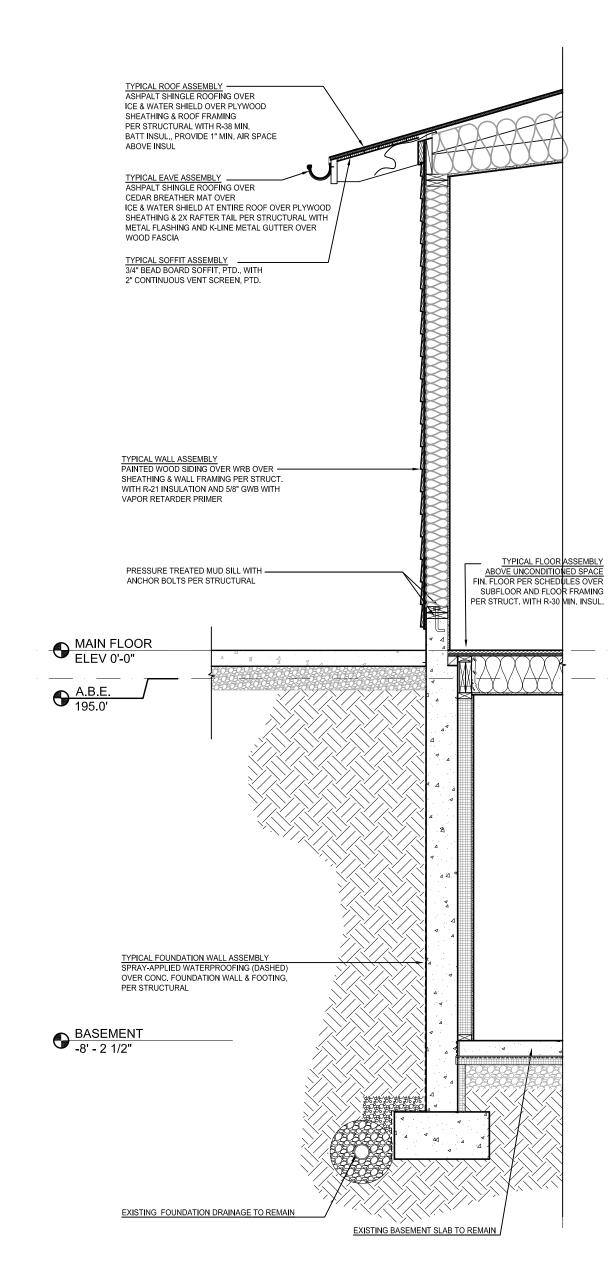
BUILDING SECTION

A-4.0









NEW WALL SECTION

Scale 1/2" = 1'-0"

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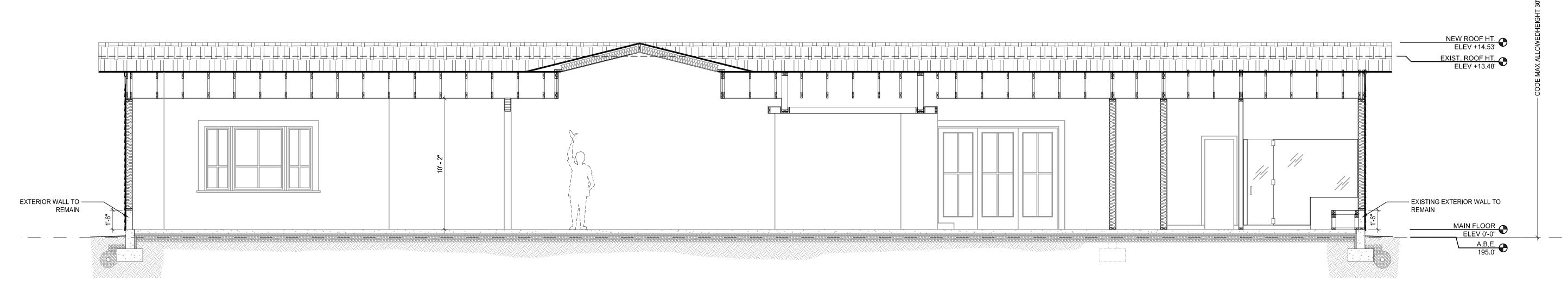
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BUILDING SECTION

A-4.1



BUILDING SECTION

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MAX ROOF HT. ALLOWED ELEV +30' - 0"

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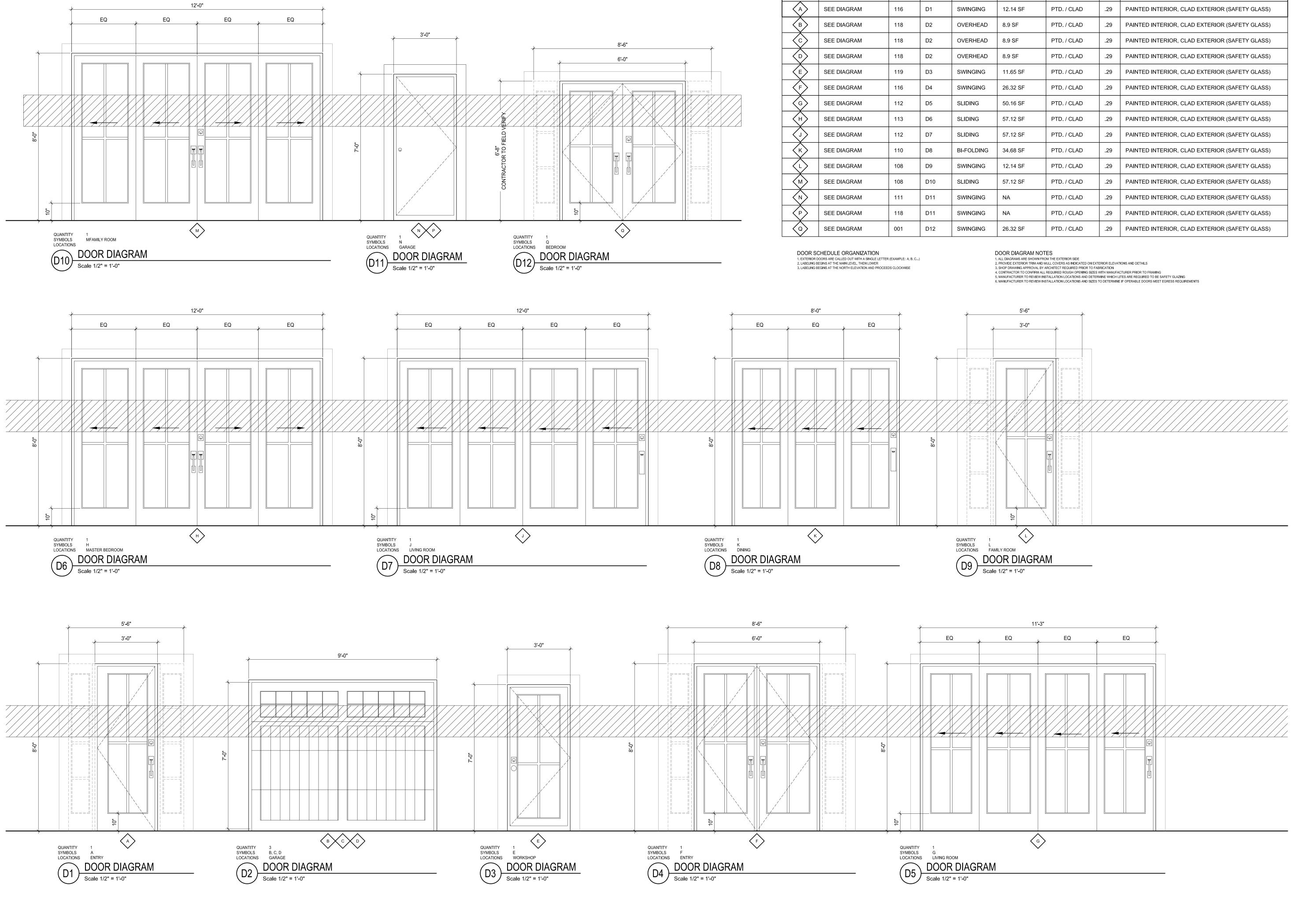
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BUILDING SECTION

A-4.2



EXTERIOR DOOR SCHEDULE

ROOM

DIAGRAM TYPE

GLAZED AREA

FINISH (INT. / EXT.)

REMARKS

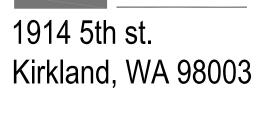
SYMBOL LOCATION

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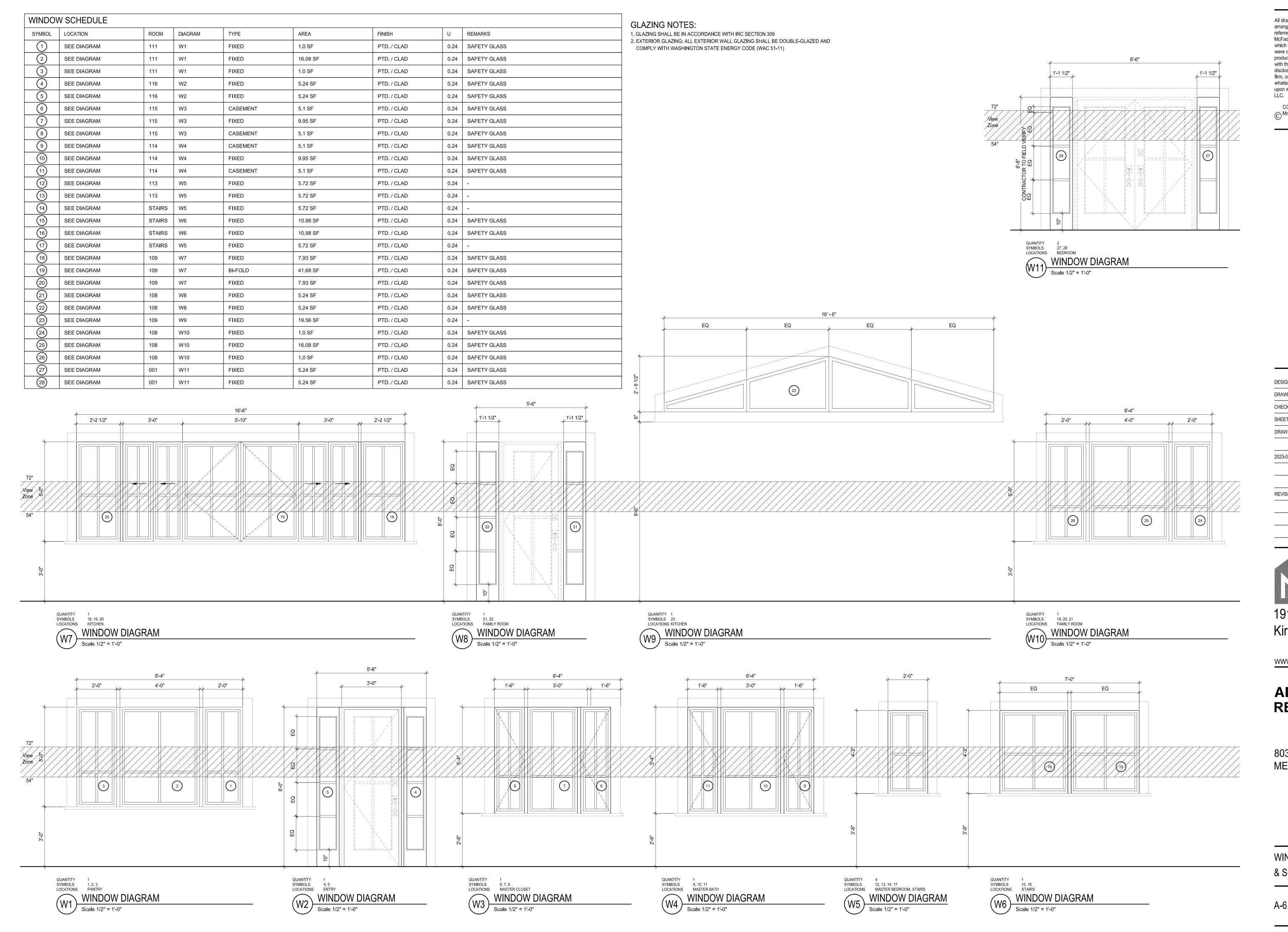
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DOOR DIAGRAMS & SCHEDULE

A-6.0



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WINDOW DIAGRAMS & SCHEDULE

A-6.1

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

CRITERIA

. <u>ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION</u> SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).

2. <u>DESIGN LOADING CRITERIA</u>

ROOF SNOW LOAD	25 PSF
ROOF DEAD LOAD ALLOWANCE FOR PV PANELS	5 PSF
FLOOR LIVE LOAD	40 PSF
FLOOR LIVE LOAD (EXTERIOR DECKS AND BALCONIES)	60 PSF
GUARDRAILS/BALCONY RAILS	200 LBS

<u>WIND</u>: ANALYSIS PROCEDURE: ASCE 7-16 CHAPTER 27 "PART I - BUILDINGS OF ALL HEIGHTS"

RISK CATEGORY II 97 MPH

EXPOSURE "B"

TOPOGRAPHIC FACTOR Kzt = 1.0
WIND BASE SHEAR. NORTH/SOUTH Vw = 12 K

WIND BASE SHEAR, NORTH/SOUTH Vw = 12 KWIND BASE SHEAR, EAST/WEST Vw = 20 K

CLADDING / WINDOW DESIGN PRESSURE (MAX.)

ROOFING DESIGN PRESSURE NOT AT A CORNER (MAX.)

44 PSF

ROOFING DESIGN PRESSURE AT CORNER (MAX.)

67 PSF

THE DESIGN WIND PRESSURES LISTED ABOVE ARE INWARD OR OUTWARD AND ARE BASED ON AN EFFECTIVE WIND AREA OF 10 SQUARE FEET NEAR A BUILDING CORNER, U.O.N. CORNER AND OTHER ZONES ARE DEFINED BY FIGURE 30.3-1, 30.3-2A TO 21 AND 30.3-5A TO 5B IN ASCE 7-16. REDUCED DESIGN PRESSURES MAY BE CALCULATED USING ASCE 7. NOTE THAT THE DESIGN WIND PRESSURES NOTED ABOVE ARE ULTIMATE VALUES PER THE 2018 IBC AND SHALL BE MULTIPLIED BY 0.6 FOR ALLOWABLE STRESS DESIGN.

EARTHQUAKE: ANALYSIS PROCEDURE: IBC "EQUIVALENT LATERAL FORCE PROCEDURE"

SEISMIC DESIGN CATEGORY (SDC) = D

RISK CATEGORY = II

SEISMIC SITE CLASS = D

IMPORTANCE FACTOR le = 1.0

MAPPED MCE Ss = 1.43; S₁ = 0.50

DESIGN ACCELERATION Sds = 1.15; Sd, = 0.60

SEISMIC RESISTING SYSTEM: WOOD PANEL BEARING SHEAR WALL, R = 6.5

SEISMIC RESPONSE COEFFICIENT: Cs = 0.18

SEISMIC BASE SHEAR Vs = 40 K

- 3. <u>LATERAL LOADS</u> ARE TRANSFERRED BY THE ROOF AND FLOOR DIAPHRAGMS TO THE SHEAR WALLS. FORCES ARE BASED ON THE TRIBUTARY AREA FOR EACH SHEAR WALL AND ARE CARRIED BY THE SHEAR WALLS TO THE FOUNDATION.
- 4. <u>STRUCTURAL DRAWINGS</u> SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 5. <u>CONTRACTOR</u> SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY MORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
- 6. <u>CONTRACTOR</u> SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- 7. <u>CONTRACTOR</u> SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THEIR WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 8. <u>CONTRACTOR-INITIATED</u> CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 9. <u>DRAWINGS</u> INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. WHERE INFORMATION ON THE DRAWINGS IS IN CONFLICT WITH THE SPECIFICATIONS, THE MORE STRINGENT SHALL APPLY, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. DO NOT SCALE THE DRAWINGS.
- IO. <u>ALL STRUCTURAL SYSTEMS</u> WHICH ARE COMPOSED OF FIELD ERECTED COMPONENTS SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- II. <u>SHOP DRAWINGS</u> FOR REINFORCING STEEL AND CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.
- 12. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, AND THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. A MINIMUM OF TWO WEEKS SHALL BE ALLOWED FOR REVIEW.
- 13. SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

14. DEFERRED SUBMITTALS OF DESIGN BUILD COMPONENTS SHALL BEAR THE STAMP AND SIGNATURE OF A STATE OF WASHINGTON REGISTERED PROFESSIONAL ENGINEER AND SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO CURSORY REVIEW BY THE ENGINEER OF RECORD FOR LOADS IMPOSED ON THE BASIC STRUCTURE. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. DEFERRED SUBMITTALS SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON BASIC STRUCTURE AND SHALL INCLUDE DESIGN CALCULATIONS WITH THE ENGINEER'S STAMP.

THE FOLLOWING COMPONENTS SHALL BE DEFERRED SUBMITTALS FOR THIS PROJECT: RAILINGS, TRUSSES.

15. SPECIAL INSPECTION: CONCRETE CONSTRUCTION, EXPANSION BOLTS AND THREADED EXPANSION INSERTS, SCREW ANCHORS, AND EPOXY GROUTED INSTALLATIONS SHALL BE SUPERVISED IN ACCORDANCE WITH IBC SECTIONS 1704 & 1705 AND THE PROJECT SPECIFICATIONS BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE OWNER. THE TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR AND BUILDING OFFICIAL. ANY MATERIALS WHICH FAIL TO MEET PROJECT SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

<u>GEOTECHNICAL</u>

16. <u>FOUNDATION NOTES</u>: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED IN THE FIELD. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH) AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED UNDER COLUMNS OR WALLS ABOVE.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

THE STRUCTURAL DESIGN IS BASED ON THE FOLLOWING ASSUMED VALUES:

ALLOWABLE SOIL PRESSURE

LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED)

SEISMIC SURCHARGE PRESSURE (RESTRAINED/UNRESTRAINED)

PASSIVE SOIL PRESSURE

350 PCF

SOIL COEFFICIENT OF FRICTION

SOIL DENSITY

RENOVATION

0.35

120 PCF

IT. <u>DEMOLITION</u>: VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.

CONCRETE

18. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301. CONSTRUCTION TOLERANCES SHALL NOT EXCEED THOSE LISTED IN ACI IIT. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI. ALL CONCRETE EXPOSED TO THE WEATHER AND ALL GARAGE SLABS-ON-GRADE SHALL ATTAIN A 28-DAY STRENGTH f'c OF 3,000 PSI IN ACCORDANCE WITH IBC SECTION 1904.1. AND ACI 318 TABLE 19.3.2.1 THIS INCREASE IN REQUIRED STRENGTH IS FOR DURABILITY ONLY (SPECIAL INSPECTION IS NOT REQUIRED). MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS (BEFORE THE ADDITION OF ADMIXTURES). THE WATER/CEMENT RATIO SHALL NOT EXCEED 0.55 FOR FOOTINGS AND 0.45 FOR ALL SLABS AND EXPOSED CONCRETE UNLESS OTHERWISE NOTED. EXCEPT FOR FOOTINGS AND SLAB ON GRADE, AGGREGATE SIZE SHALL NOT EXCEED 3/4".

THE MINIMUM AMOUNT OF CEMENT AND THE MAXIMUM SLUMP MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. (THE W/C RATIO LIMITS STILL APPLY). THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, CEMENTITIOUS MATERIAL, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 301. CHEMICAL ADMIXTURES AND FLY ASH SHALL CONFORM TO ASTM C494 AND C618 RESPECTIVELY. FLY ASH PERCENTAGE OF TOTAL CEMENTITIOUS MATERIAL SHALL NOT EXCEED 20%. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY TO CONTRACT DOCUMENTS. CONTRACTOR MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14 TABLE 19.3.3.1. ALL CONCRETE TO RECEIVE A STEEL TROWELED FINISH SHALL NOT BE AIR-ENTRAINED.

19. REINFORCING STEEL SHALL CONSIST OF #4 BARS CONFORMING TO ASTM A615, GRADE 40, fy = 40,000 PSI AND SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT 48 BAR DIAMETERS, 2'-O" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS, LAP 2'-O" MINIMUM. PROVIDE (2) #4 MIN. U.N.O. TRIM BARS AROUND ALL OPENINGS IN CONCRETE WALLS OR SLABS EXTENDING 2'-O" PAST CORNERS, TYPICAL.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A1064. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. NO REINFORCING BARS SHALL BE "WET-SET" INTO THE CONCRETE. PROVIDE A 20' LONG REBAR GROUND (UFER GROUND) PER ELECTRICIAN.

20. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST EARTH 3"
FORMED SURFACES EXPOSED TO EARTH (i.e. WALLS BELOW GROUND) OR WEATHER 2"
SLABS AND WALLS (INTERIOR FACE)

21. <u>CAST-IN-PLACE CONCRETE</u>: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES.

ANCHORAGE

- 22. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2 WEDGE ANCHOR", AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-3037 INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT INSTALLATION.
- 23. <u>SCREW ANCHORS</u> INTO CONCRETE SHALL BE "TITEN HD", AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-2713 INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION IS REQUIRED FOR ALL SCREW ANCHOR INSTALLATION.
- 24. <u>EPOXY-GROUTED ITEMS</u> (THREADED RODS OR REINFORCING BAR) INTO CONCRETE SHALL BE INSTALLED USING "AT-XP" ADHESIVE AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH IAPMO UES REPORT NO. ER-263, INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED.

MOOD

25. <u>FRAMING LUMBER:</u> SHALL BE KILN DRIED OR MC-19 (MOISTURE CONTENT LESS THAN 19%), AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.I.B. STANDARD NO. 17 GRADING RULES FOR WEST COAST LUMBER. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS (2X, 3X, AND 4X MEMBERS)

DOUGLAS FIR OR HEM-FIR NO. 2

BEAMS AND STRINGERS (INCLUDING 6 X AND LARGER MEMBERS)

DOUGLAS FIR NO. 1

POSTS AND TIMBERS DOUGLAS FIR NO. I

STUDS, PLATES \$ MISCELLANEOUS LIGHT FRAMING DOUGLAS FIR OR HEM-FIR NO. 2

- 26. <u>GLUED LAMINATED MEMBERS</u> SHALL BE FABRICATED IN CONFORMANCE WITH ASTM D3737 AND ANSI AI90.I STANDARDS. EACH MEMBER SHALL BEAR AN A.I.T.C. IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN A.I.T.C. CERTIFICATE OF CONFORMANCE. CERTIFICATES OF CONFORMANCE MUST BE MADE AVAILABLE TO BUILDING INSPECTORS. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 240 PSI, E = 1,800 KSI. ALL CANTILEVERED OR CONTINUOUS BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2,400 PSI, Fv = 240 PSI, E = 1,800 KSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS TO 5,000' RADIUS UNLESS SHOWN OTHERWISE ON THE PLANS. CONTRACTOR SHALL VERIFY AVAILABILITY OF THE GL MEMBER SIZES SHOWN ON THE DRAWINGS AND ADJUST THE CONNECTOR SIZES IF NEEDED FOR LARGER MEMBER SIZES.
- 27. <u>LAMINATED STRAND LUMBER (LSL)</u> SHALL BE DESIGNED AND MANUFACTURED PER ASTM D5456. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, AND THE INDEPENDENT INSPECTION AGENCY'S LOGO. ALL LAMINATED STRAND LUMBER SHALL BE MANUFACTURED USING A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559. MINIMUM STRUCTURAL PROPERTIES ARE AS FOLLOWS:

RIM JOISTS AND BLOCKING (1-1/4" MINIMUM THICKNESS AT NON-SHEAR WALLS; SEE SCHEDULE FOR MINIMUM THICKNESS AT SHEAR WALLS):

Fb = 1700 PSI, E = 1.3 \times 10⁶ PSI, F \vee = 400 PSI

BEAMS AND HEADERS:

NET WIND UPLIFT (TOP CHORD)

Fb = 2325 PSI, E = 1.55 \times 10⁶ PSI, Fv = 310 PSI

DESIGN SHOWN ON PLANS IS BASED ON MATERIALS MANUFACTURED BY THE MEYERHAEUSER CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.

- 28. MOOD I-JOIST DESIGN SHOWN ON PLANS IS BASED ON JOISTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION. ALTERNATE I-JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE I.C.C. OR IAPMO UES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH WOOD JOIST PROVIDED. GLUE FLOOR JOISTS TO SHEATHING AS REQUIRED BY THE JOIST MANUFACTURER.
- 29. PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH IBC SECTION 2303.4 AND ANSI/TPI I-2014 "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. TRUSSES SHALL BE HANDLED, INSTALLED, AND BRACED PER "HIB 91" PER THE TRUSS PLATE INSTITUTE. LOADING SHALL BE AS FOLLOWS:

10 PSF

TOP CHORD SNOW LOAD

TOP CHORD DL ALLOWANCE FOR PV PANELS

TOP CHORD DEAD LOAD

BOTTOM CHORD LIVE LOAD

BOTTOM CHORD DEAD LOAD

TOTAL LOAD

25 PSF

12 PSF

10 PSF (NOT INCLUDED IN TOTAL)

6 PSF

48 PSF

QUANTUM CONSULTING ENGINEERS

1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101 TEL 206.957.3900 FAX 206.957.3901 www.quantumce.com

SEAL:



PROJECT:

ADAMS RESIDENCE

8035 SE 45TH ST MERCER ISLAND, WA 98040

APPROVAL:

	PERMIT SET		12/12/23	
NO.	DESCRIPTION		DATE	BY
ISSU	IES:	RE	VISIONS:	$\overline{\triangle}$
P.M.		SKK		
P.E.		MKS		
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DAT	E:	12/12/2	3	
JOB	NO.	22229.	01	

GENERAL STRUCTURAL NOTES

SHEET NO.

SHEET TITLE:

S1.0

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

THE LOADS ABOVE SHALL BE INCREASED TO THE FOLLOWING IF THE TRUSSES MEET THE DESCRIPTION OF AN "UNINHABITABLE ATTIC WITH LIMITED STORAGE" AS DEFINED IN FOOTNOTE | OF IBC TABLE 1607.1:

BOTTOM CHORD LIVE LOAD 20 PSF - INCLUDE IN TOTAL BOTTOM CHORD DEAD LOAD 10 PSF

SNOW LOAD DUE TO DRIFTING AND UNBALANCED LOADS SHALL BE INCLUDED PER THE IBC. TOP CHORDS SHALL BE DF LUMBER. UTILIZE A MINIMUM CREEP FACTOR OF 2.0 FOR DEAD AND SUSTAINED LIVE LOADS IN DETERMINING THE TRUSS DEFLECTIONS. MAXIMUM TOTAL DEFLECTION SHALL BE LESS THAN OR EQUAL TO L/240 OF THE TOTAL SPAN AND MAXIMUM LIVE LOAD DEFLECTION SHALL BE LESS THAN OR EQUAL TO L/360 OF THE TOTAL SPAN. PROVIDE ADEQUATE PLIES AND/OR METAL BRACKETS TO ADEQUATELY DISTRIBUTE THE BEARING PRESSURE AT THE ENDS OF THE GIRDER TRUSSES TO THE TOP PLATES OF THE BEARING WALLS SUCH THAT THE BEARING PRESSURE DOES NOT EXCEED 405 PSI. PROVIDE ADDITIONAL TRUSSES (AS REQUIRED) TO CARRY ALL CONCENTRATED LOADS AND MECHANICAL UNITS.

WOOD TRUSSES SHALL UTILIZE I.C.C. OR IAPMO UES APPROVED CONNECTOR PLATES. SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BEAR THE STAMP AND SIGNATURE OF A STATE OF WASHINGTON REGISTERED PROFESSIONAL ENGINEER. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC., SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

30. TRUSS SUPPLIERS NOTE: THE TRUSS CONFIGURATIONS, INCLUDING DEPTHS AND MEMBER SIZES SHOWN ON THE DRAWINGS, INDICATE THE DESIRED TRUSS CONFIGURATION AND ARE TO BE COMPLIED WITH WHEREVER POSSIBLE. IF A TRUSS MANUFACTURER IS UNABLE TO MEET THE LOAD REQUIREMENTS SPECIFIED WITH THE TRUSS CONFIGURATION INDICATED, THE MANUFACTURER IS TO SUBMIT WRITTEN NOTICE TO THAT EFFECT TO THE ARCHITECT PRIOR TO SUBMITTING A COST PROPOSAL OR BID.

IF A DIFFERENT SYSTEM IS PROPOSED THAT REQUIRES REVISIONS TO PRESENT STRUCTURAL FRAMING OR DETAILS, SUCH SYSTEM SHALL BE CONSIDERED SUBJECT TO THE APPROVAL OF THE OWNER, ARCHITECT, AND STRUCTURAL ENGINEER.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND TRUSS MANUFACTURER TO VERIFY THE WEIGHT AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PRIOR TO SUBMITTING SHOP DRAWINGS. IT SHALL BE NOTED IN THE TRUSS MANUFACTURER'S BID WHETHER OR NOT AN ALLOWANCE HAS BEEN MADE FOR MECHANICAL UNITS.

TRUSS SHOP DRAWINGS WILL NOT BE REVIEWED WITHOUT CALCULATIONS BEARING THE STAMP AND SIGNATURE OF A STATE OF WASHINGTON REGISTERED PROFESSIONAL ENGINEER.

31. <u>MOOD SHEATHING</u> SHALL BE APA RATED, EXTERIOR GLUE; EXPOSURE I, IN CONFORMANCE WITH THE REQUIREMENTS FOR THEIR TYPE IN DOC PS-I OR PS-2. SEE PLANS FOR THICKNESS, PANEL IDENTIFICATION INDEX AND NAILING REQUIREMENTS.

UNLESS OTHERWISE NOTED ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW I/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH (2) IOd-F NAILS AT EACH END, UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PANEL EDGES AND NAIL WITH EDGE NAILING SPACED PER PLANS. WHERE NOT NOTED OTHERWISE, NAIL PANEL EDGES WITH 8d NAILS @ 6" O.C. EDGES, I2" O.C. IN THE FIELD.

- 32. <u>ALL WOOD</u> EXPOSED TO WEATHER, OR BEARING ON UNPROTECTED CONCRETE BELOW GRADE, OR BEARING ON UNPROTECTED CONCRETE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE-TREATED, U.O.N. PRESSURE TREATMENT SHALL BE WITH AN APPROVED PRESERVATIVE CONFORMING TO AMERICAN WOOD PRESERVERS ASSOCIATION UI AND M4 AND SHALL BE BRANDED WITH A QUALITY CONTROL AGENCY MARK BY THE AWPA OR EQUAL. ALL METAL HARDWARE IN CONTACT WITH TREATED WOOD SHALL BE PROTECTED WITH A GI85 GALVANIZED COATING (ZMAX) OR BETTER. ALL NAILS IN TREATED WOOD SHALL BE HOT-DIP GALVANIZED OR BETTER. PROVIDE 2 LAYERS OF 30# ASPHALT IMPREGNATED BUILDING PAPER BETWEEN NON-PRESSURE-TREATED LEDGERS, BLOCKING, ETC., AND CONCRETE.
- 33. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NO. C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE I.C.C. OR IAPMO UES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED. ALL BOLTS TIGHTENED TO SNUG TIGHT.
- 34. <u>MOOD FASTENERS:</u>
- A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

DRAWING ID	NAIL NAME	NAIL DIAMETER	NAIL LENGTH
"6d" "8d Box" "8d" "10d-F" "10d" "16d"	6d Common 8d Box 8d Common 10d Framer 10d Shear 16d Sinker	O.113" O.131" O.131" O.148" O.148"	2" 2-1/2" 2-1/2" 3" 2-1/4" 3-1/4"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

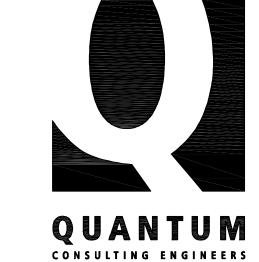
- B. <u>NAILS</u> SHEATHING FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.
- C. <u>SCREWS</u> SHALL BE WOOD SCREWS OF THE DIAMETER AND LENGTH NOTED ON THE DRAWINGS. SDS FASTENERS ARE SIMPSON STRONG DRIVE SCREWS.
- D. <u>HOT DIPPED GALVANIZED NAILS, BOLTS AND METAL PLATES</u> ALL NAILS, BOLTS AND METAL PLATES IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED.

- 35. <u>MOOD FRAMING NOTES</u>: THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
- A. <u>ALL WOOD FRAMING DETAILS</u> NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE IBC. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. TIGHTEN BOLTS AND LAG SCREWS SNUGLY AGAINST WOOD FRAMING AFTER WOOD HAS REACHED SPECIFIED MOISTURE CONTENT.
- B. <u>MALL FRAMING</u>: ALL BEARING AND SHEAR WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2×4 STUDS @ 16" O.C. AT INTERIOR WALLS AND 2×6 @ 16" O.C. AT EXTERIOR WALLS. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL BEARING AND SHEAR WALLS AND AT EACH SIDE OF ALL OPENINGS. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW.

ALL BEARING STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16d NAILS AT 8" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS WITH 3"x3"x1/4" PLATE WASHERS @ 4'-O" O.C., UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH 10d-F NAILS @ 8" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES ATTACHED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH SCREWS AT 8" O.C. USE 1-1/4 " W #6 SCREWS FOR 1/2" GWB AND 5/8" GWB WHERE OCCURS. VERIFY THE FIRE ASSEMBLY REQUIREMENTS WHERE APPLICABLE WITH THE ARCHITECT.

- C. <u>FLOOR AND ROOF FRAMING</u>: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH IOD-F NAILS @ 8" O.C. STAGGERED UNLESS OTHERWISE NOTED.
- D. <u>POSITIVE CONNECTIONS</u>: PROVIDE THE FOLLOWING SIMPSON CONNECTORS AT TYPICAL FRAMING UNLESS OTHERWISE NOTED ON PLAN OR DETAIL. PROVIDE CCQ/ECCQ CAPS AND PBS BASES AT POSTS. PROVIDE BC BASE WHERE POST BEARS ON WOOD FRAMING BELOW. PROVIDE LUS SERIES HANGERS FOR 2X FLOOR AND ROOF JOISTS. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED.

		'IATIONS	
a	At	L	Angle
	Penny (Nails)	LB.	Pound
Ф 。	Diameter Degrees	LL LLH	Live Load
#	Pounds	LLV	Long Leg Horizontal Long Leg Vertical
#	Number	LONGIT.	Longitudinal
· · · ·	<u>.</u> .	LT. MT.	Lightweight
(A)	Above Anchon Bolt	MAV	Mary discourse
A.B. ADD'L	Anchor Bolt Additional	MAX. MECH.	Maximum Mechanical
LT.	Alternate	MEZZ.	Mezzanine Mezzanine
APPROX.	Approximate	MF	Moment Frame
ARCH.	Architect	MFR.	Manufacturer
		MIN.	Minimum
В)	Below	MISC.	Miscellaneous
3/	Bottom of	MK.	Mark
3F	Braced Frame	/ NI)	N a
BLKG. BLDG.	Blocking Building	(N) N.	New North
3M.	Building Beam	N. N.S.	North Near Side
30T.	Bottom	NOM.	Nominal
BRG.	Bearing	NTS	Not to Scale
BTMN.	Between		
		O.C.	On Center
L or Q	Centerline	O.D.	Outside Diameter
	Cast In Place	<i>0.</i> F.	Outside Face
JP J.J. C	Cast In Place Onstruction Joint or Control Joint	O.H. OPNG.	Overhang Openina
7.JP	Complete Joint Penetration	OPP.	Opposite
CLG.	Ceiling	- 111.	opposite
LR.	Clear	PAF	Powder Actuated Fastener
MU	Concrete Masonry Unit	PC	Precast
OL.	Column	PERM.	Permanent
CONC.	Concrete	PERP.	Perpendicular
CONN. CONST.	Connections	pjp Plar P	Partial Joint Penetration
CONT.	Construction Continuous	PL or PL PLF	Plate Pounds per linear Foot
55K.	Countersink	PLYMD	Plymood
		PREFAB.	Prefabricated
)BA	Deformed Bar Anchor	PSF	Pounds per Square Foot
DBL.	Double	PSI	Pounds per Square Inch
DEG.	Degree	P.T. or PT	Post-Tensioning
OF NA.	Doug Fir-Larch Diameter	P/T	Pressure-Treated
DIAG.	Diagonal	RAD.	Radius
DIAPH.	Diaphragm	REF.	Reference
OIM.	Dimension	REINF.	Reinforce or Reinforcement
DN.	Down	REQD.	Required
20	Ditto	REV.	Revise
OTL.	Detail Davida Ta a Blata	R.O.	Rough Opening
3 - 10	Double Lob Plate		
	Double Top Plate	4	South
	Drawing	S. SCH or SCH	South ED Schedule
OTP OMG. É)	Drawing	S. SCH. or SCH SECT.	
OMG. (E) E.	Drawing Existing East	SCH. or SCH SECT. SHT.	HED. Schedule Section Sheet
DWG. (E) =. =A.	Drawing Existing East Each	SCH. or SCH SECT. SHT. SIM.	HED. Schedule Section Sheet Similar
DMG. E) EA. E.F.	Drawing Existing East Each Each Face	SCH. or SCH SECT. SHT. SIM. SOG	HED. Schedule Section Sheet Similar Slab On Grade
DWG. E. EA. E.F.	Drawing Existing East Each Each Face Elevation	SCH. or SCH SECT. SHT. SIM. SOG SPEC.	HED. Schedule Section Sheet Similar Slab On Grade Specification
DMG. E. E.A. E.F. EL.	Drawing Existing East Each Each Each Face Elevation Elevator	SCH. or SCH SECT. SHT. SIM. SOG SPEC. SQ.	HED. Schedule Section Sheet Similar Slab On Grade Specification Square
DMG. E) EA. E.F. ELEV. EMBED.	Drawing Existing East Each Each Face Elevation Elevator Embedment Length	SCH. or SCH SECT. SHT. SIM. SOG SPEC. SQ. FT.	HED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet
DWG. E) EA. EF. EL. EMBED. ENGR.	Drawing Existing East Each Each Each Face Elevation Elevator	SCH. or SCH SECT. SHT. SIM. SOG SPEC. SQ.	HED. Schedule Section Sheet Similar Slab On Grade Specification Square
DWG. E) EA. EL. ELEV. EMBED. ENGR. EQ.	Drawing Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way	SCH. or SCH SECT. SHT. SIM. SOG SPEC. SQ. SQ. FT. SQ. IN. SPF S.S.	HED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel
DWG. E) EA. E.F. ELEV. EMBED. ENGR. E.W. EXP.	Drawing Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion	SCH. or SCH SECT. SHT. SIM. SOG SPEC. SQ. FT. SQ. IN. SPF S.S. STD.	HED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel
DWG. E) EA. E.F. ELEV. EMBED. ENGR. EQ. E.W. EXP.	Drawing Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way	SCH. or SCH SECT. SHT. SIM. SOG SPEC. SQ. FT. SQ. IN. SPF S.S. STD. STIFF.	HED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener
DWG. E) EA. EF. ELEV. EMBED. ENGR. EQ. E.W. EXP.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior	SCH. or SCH SECT. SHT. SIM. SOG SPEC. SQ. FT. SQ. IN. SPF S.S. STD. STIFF. STL.	HED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener
DWG. E) EA. EF. ELEV. EMBED. ENGR. EW. EXP. EXT.	Drawing Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation	SCH. or SCH SECT. SHT. SIM. SOG SPEC. SQ. FT. SQ. IN. SPF S.S. STD. STIFF. STR.	HED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural
DWG. (E) E.A. E.F. ELEV. EMBED. ENGR. E.W. EXP. EXT.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior	SCH. or SCH SECT. SHT. SIM. SOG SPEC. SQ. FT. SQ. IN. SPF S.S. STD. STIFF. STL.	HED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute
E) A. F. ELEV. ENGR. E.W. EXT. ENR. EXT.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish	SCH. or SCH SECT. SHT. SIM. SOG SPEC. SQ. FT. SQ. IN. SPF S.S. STD. STIFF. STL. STR. SUB.	HED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural
DWG. E) EA. E.F. ELEV. EMBED. EXT. EDN. EXT. EDN. EXT. EXT. EXT.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side	SCH. or SCH SECT. SHT. SIM. SOG SPEC. SQ. FT. SQ. IN. SPF S.S. STD. STIFF. STR. SUB. SYM.	HED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical
DWG. E) A. F. ELENGR EXT. ENR. EXT. ENR. EXT.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet	SCH. or SCH SECT. SHT. SIM. SOG SPEC. SQ. FT. SQ. IN. SPF S.S. STIFF. STR. STR. SYM. T/ T&B	HED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom
DWG. E) A. F. ELENGR EXT. ENR. EXT. ENR. EXT.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side	SCH. or SCH SECT. SHT. SIM. SOB SQ. FT. SQ. FT. SQ. FN. SPF S.T. STIFF. STR. STR. SYM. T/B T&B T&B	#ED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue \$ Groove
DWG. (E)A.FV.DENBERENBERENDEXTENDEXTENDEXTENDEXTENDEXTENDEXT	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing	SCH. or SCH SECT. SHT. SIM. SOBEC. SQ. FT. SQ. IN. SPF. STD. STL. STR. SYM. T & B T& B TEMP.	HED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue \$ Groove Temporary
DWG. (E)	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge	SCH. or SCH SECT. SHT. SHM. SPEC. SQ. FT. SPF. STIFF. STR. STR. SYM. T & B G P. THRU	#ED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue \$ Groove Temporary Through
DWG. E)A.FV.D. ELEMBER. EXT. N.E.F.S.T.G. EALV.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing	SCH. or SCH SECT. SHT. SIM. SOBEC. SQ. FT. SQ. IN. SPF. STD. STL. STR. SYM. T & B T& B TEMP.	#ED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue \$ Groove Temporary Through Top of Concrete
DWG. E)A.FLEV.D	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized	SCH. or SCH SECT. SHT. SHM. SOPEC. SQ. FT. STD.F. STD.F. STL. SY T#B M. T # 6 MP. T.O.	#ED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue \$ Groove Temporary Through
DWG. E. A.F. V.D. E. W.P. T. T. G. F. A. Y. D. E. W. E. W. D. E. W.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board	SCH. Or SCH SECT. SHT. SHT. SOPEC. SQ. FIN. SPES. STIFF. STL. STL. SY B B BP. T. F. SUBM. T. & T. B. SY T. S.	#ED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Wall Transverse
DWG. E)::A.F. V.D. EXT. N. R.P.:T.G. EALEWBER. EXT. N. EXT. GALLED EXT. DN. R.P.:T.G. EXT. DN. C. D. EXT. DN. C. DN. C. D. EXT. DN. C. D. EXT. DN. C. D. EXT. DN. C. D. EXT. DN. C. DN. C. D. EXT. DN. C. DN. C. DN. C. DN. C. EXT. DN. C. DN. C. DN. C. DN. C. DN. C. DN. C. EXT. DN. C. DN.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized	SCH. Or SCH SECT. SHT. SHM. SPEC. FT. SOPE. STIF. STIF. STIF. STIF. STEMP. T. EMP. T. O.S. M. T. O.S. M. T. O.S. M. T. O.S. M. T. O.S. M. T. O.S. T. O	Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Wall Transverse Tube Steel
DWG. ELLAF. LEBER. V.D. ELLAF. SALBER. V.D. EL	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header	SCH. Or SCH SECT. SHT. SHT. SOPEC. SQ. FIN. SPES. STIFF. STR. ST. STR. ST. STR. SY / B & MP. T.O.S. T.O.S. T.O.S. TRANS.	#ED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Wall Transverse
DMG. E)A.F V. DIN. R.P T. G. A.L.B. IDIN. R.P T. T. T. G. A.L.B. IDIN. R.P T.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir	SCH. Or SCH SECT. SHT. SHT. SPEC. FIN. SPEC. FIN. SPEC. FIN. SPEC. STORES STR. STR. STR. SUBM. TFEMPU.C.S. W. T. S. T. O.S. W. S. T. O.S. W. T. S. T.	#ED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Wall Transverse Tube Steel Typical
DWG. ELLANG. ELLANG. V.D.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger	SCH. Or SCH SECT. SHT. SHM. SPEC. FT. SOPE. STIF. STIF. STIF. STIF. STEMP. T. EMP. T. O.S. M. T. O.S. M. T. O.S. M. T. O.S. M. T. O.S. M. T. O.S. T. O	Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Wall Transverse Tube Steel
DWG. ELLEMANG. ENLINE V.D. ENLIN V.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir	SCH. Or SCH SECT. SHT. SHT. SPEC. FIN. SPEC. FIN. SPEC. FIN. SPEC. STORES STR. STR. STR. SUBM. TFEMPU.C.S. W. T. S. T. O.S. W. S. T. O.S. W. T. S. T.	#ED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Wall Transverse Tube Steel Typical
DWG. E)A.F.L.LEMBG.W.P.T. N.N.R.P.S.T.T. A.A.L.M. IDIDIFIGIOS HONG.W.P.T. N.N.R.P.S.T.T. A.A.L.M. IDIDIFIGIOS HONG.W.P.T. N.N.R.P.S.T.T. A.A.L.M. IDIDIFIGIOS	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger Horizontal	SCH. Or SCH SECT. SHT. SHM. SPEC. FIN. SPEC. FIN. SPEC. FIN. SPEC. FIN. SPEC. FIN. SPEC. FIN. SPEC. FIN. STEP. STE	#ED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Steel Top of Wall Transverse Tube Steel Typical Unless Otherwise Noted
DWG. E. A.F. LEBER ON DINERPORT SALB GR. R. Z. ON DINERPORT SALB GR. R. Z.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger Horizontal Hollow Structural Section Height	SCH. Or SCH SECT. SHT. SIM. SPEC. FIN. SPEC. FIN. STILL. SHIP. C.O.S. W. S. T. T. T	#ED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Steel Top of Wall Transverse Tube Steel Typical Unless Otherwise Noted Vertical Verify in Field
DWG. ELLIAFILLEMING.W.P.T. NIN.R.P.S.T.T. SALMB GR. R.Z. N. D. S.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger Horizontal Hollow Structural Section Height Inside Diameter	SCH. Or SCH SECT. SHT. SHM. SPEC. FIN. SPEC. FIN. SPEC. FIN. SPEC. STILL. SHM. BGP. SCH. SPEC. STILL. STILL. STILL. SHM. T. F. SUBM. T. F. SUBM. T. F. S.	#ED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Steel Top of Wall Transverse Tube Steel Typical Unless Otherwise Noted Vertical Verify in Field West
DWG. ELLIAMS Q.W.P.T. N.R.P.S.T.G. A.A.L.B. BOR.R.Z. DIN.R.P.S.T.G. A.A.L.B. BOR.R.Z. D.F.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger Horizontal Hollow Structural Section Height Inside Diameter Inside Face	SCH. Or SCH. SENT. SHT. SHT. SPQ. FIN. SPS. STILL. SHR. O.S. W. SPS. STILL. SHR. O.S. W. S. ST. STILL. SHR. O.S. W. S.	#ED. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Wall Transverse Tube Steel Typical Unless Otherwise Noted Vertical Verify in Field West With
DING. ELLANG. W.P.T. NIN.R.P.S.T.T. SALIB GR. R.Z. D.F.N.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger Horizontal Hollow Structural Section Height Inside Diameter Inside Face Inch	SCH. OF SCH. SENT. SHT. SHM. SPR. STILLR. S. STILLR. SHM. SPR. S. STILLR. SHM. BGM. J. S. S. STILLR. SHM. BGM. J. S. S. STILLR. SHM. T. F. T.	FD. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Wall Transverse Tube Steel Typical Unless Otherwise Noted Vertical Verify in Field West With Welded Headed Stud
DWG. ELILAFILEMANG.W.P.T. NINERPS.T.G. AALB GR. R.Z. NINERPS.T.G. AALB GR. R.Z. NINERPS.T.G. AALB GR. R.Z.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger Horizontal Hollow Structural Section Height Inside Diameter Inside Face Inch Information	SCH. OF SCH. SENT. SHIM. OF S. O. S.	Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Mall Transverse Tube Steel Typical Unless Otherwise Noted Vertical Verify in Field West With Welded Headed Stud Without
DWG. ELLINENSCHENT DINLERSTIT SALUB DUFFGOST. D.F.N.F.N.F.N.F.N.F.N.F.N.F.N.F.N.F.N.F.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger Horizontal Hollow Structural Section Height Inside Diameter Inside Face Inch	SCH. OF SCH. SENT. SINGLE SCH. SCH. SCH. SCH. SCH. SCH. SCH. SCH.	Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Steel Top of Wall Transverse Tube Steel Typical Unless Otherwise Noted Vertical Verify in Field West With Welded Headed Stud Without Work Point
DW (E) A.F. LEBER W.P.T. N.R.P.S. T.G. A.A.L.B. G.R. R.P.S. N.F.N. N.T. O V. D V. D.F.N. N.T. O V. D.F.N. N.T. O V. D V. D.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger Horizontal Hollow Structural Section Height Inside Diameter Inside Face Inch Information Interior	SCH. SCH. SCH. SCH. S.	FD. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Steel Top of Wall Transverse Tube Steel Typical Unless Otherwise Noted Vertical Verify in Field West With Welded Headed Stud Without Work Point Welded Threaded Stud
DW ELLAFILLEMING. W.P.T. N. R.P.S. T.T. SASLIM DUFFGOST. D.F. N.F.T. O. N. R.P.S. T.G. A.A.L. B. G.R. R. R. D.F. N. F.T. O. N. R.P.S. T.G. A.A.L. B. G.R. R. R. D.F. N. F.T. O. N. R. P. S. T. G. A.A.L. B. G.R. R. R. D.F. N. F.T. O. N. R. P. S. T. G. A.A.L. B. G.R. R. R. D.F. N. F.T. O. N. R. P. S. T. G. A.A.L. B. G.R. R.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger Horizontal Hollow Structural Section Height Inside Diameter Inside Face Inch Information	SCH. OF SCH. SENT. SINGLE SCH. SCH. SCH. SCH. SCH. SCH. SCH. SCH.	Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Steel Top of Steel Top of Wall Transverse Tube Steel Typical Unless Otherwise Noted Vertical Verify in Field West With Welded Headed Stud Without Work Point
OM (E) II. A. F. L. ELBER. C. W. P. T. N. N. R. P. S. T. G. A. A. L. B. G. R. R. R. S. T. T. G. A. A. L. B. G. R. R. R. S. T. T. G. S. S. S. B. G. R. R. Z. G. C.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger Horizontal Hollow Structural Section Height Inside Diameter Inside Face Inch Information Interior Joint Kips	SCH. SCH. SCH. SCH. S.	FD. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Steel Top of Wall Transverse Tube Steel Typical Unless Otherwise Noted Vertical Verify in Field West With Welded Headed Stud Without Work Point Welded Threaded Stud
DWG.	Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger Horizontal Hollow Structural Section Height Inside Diameter Inside Face Inch Information Interior Joint	SCHOT. SHIM. GEC. FIN. SPR. STITLING. STITLING. SP.S. STITLING. SP.S. STITLING. SPR. STITLING. S	FD. Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Wall Transverse Tube Steel Typical Unless Otherwise Noted Vertical Verify in Field West With Welded Headed Stud Without Work Point Welded Threaded Stud Welded Wire Fabric



1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101 TEL 206.957.3900 FAX 206.957.3901 www.quantumce.com

SEAL:



PROJECT:

ADAMS RESIDENCE

8035 SE 45TH ST MERCER ISLAND, WA 98040

APPROVAL:

PERMIT SET

NO. DESCRIPTION

ISSUES:

P.M. SKK

P.E. MKS

DRAWN BY:

ATK

SCALE:

AS SHOWN

12/12/23

22229.01

GENERAL STRUCTURAL NOTES

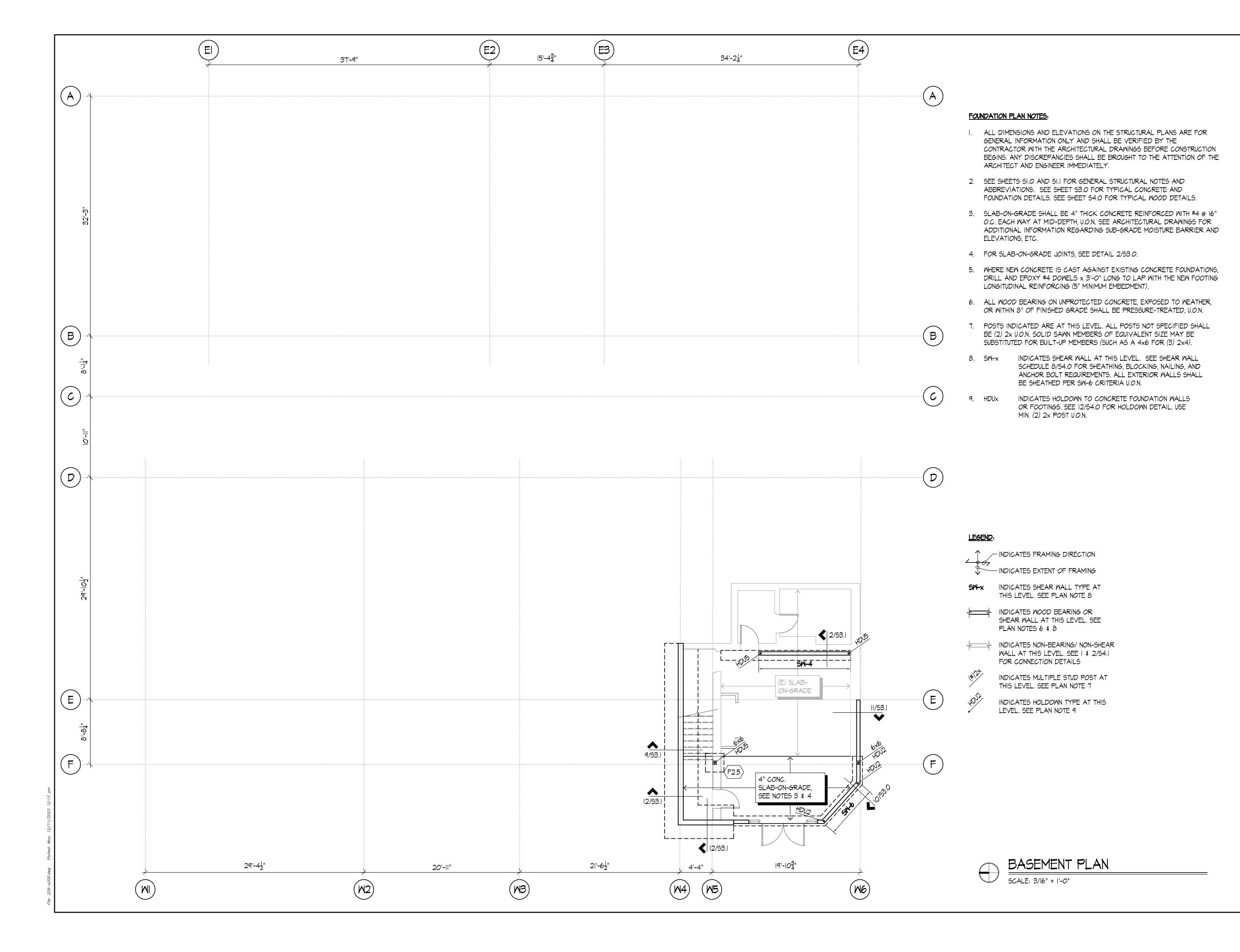
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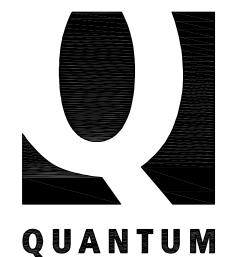
DATE:

JOB NO.

SHEET TITLE:

S1.1





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CONSULTING ENGINEERS

SEAL:

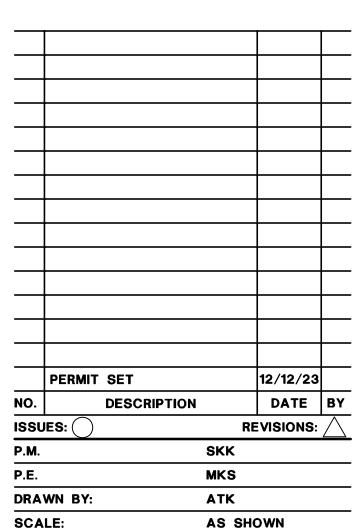


PROJECT:

ADAMS RESIDENCE

8035 SE 45TH ST MERCER ISLAND, WA 98040

APPROVAL:



BASEMENT PLAN

SHEET NO.

DATE:

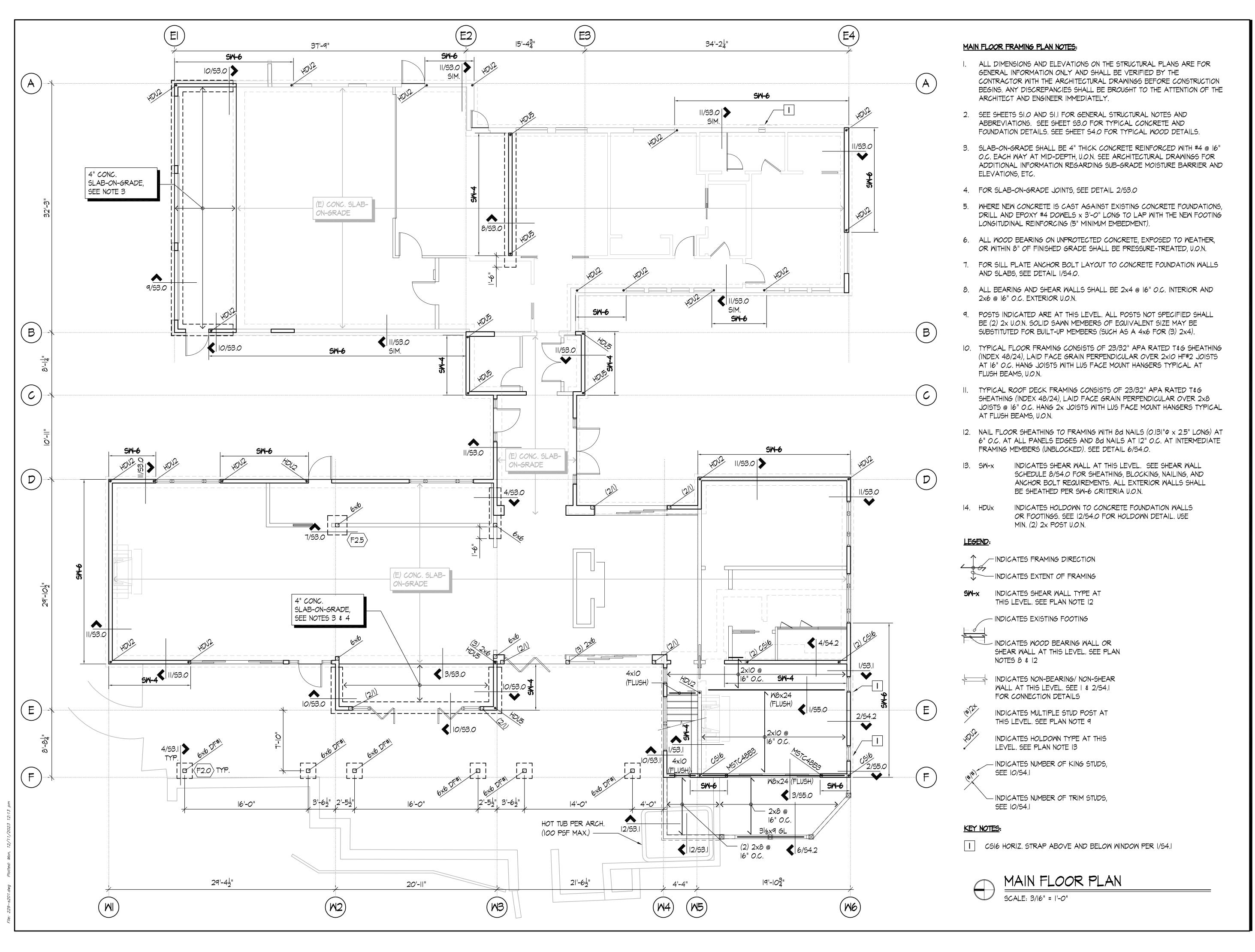
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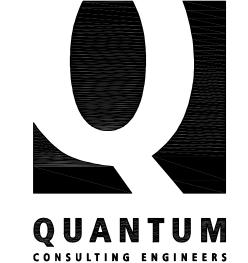
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12/12/23

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SEAL:

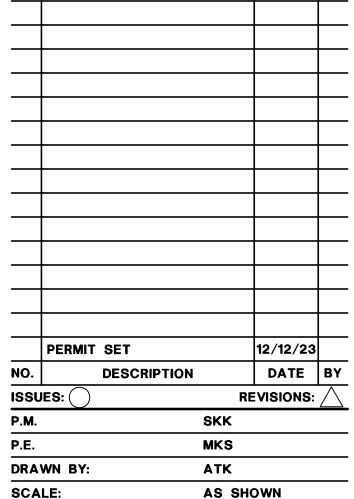


PROJECT:

ADAMS RESIDENCE

8035 SE 45TH ST MERCER ISLAND, WA 98040

APPROVAL:



MAIN FLOOR PLAN

12/12/23

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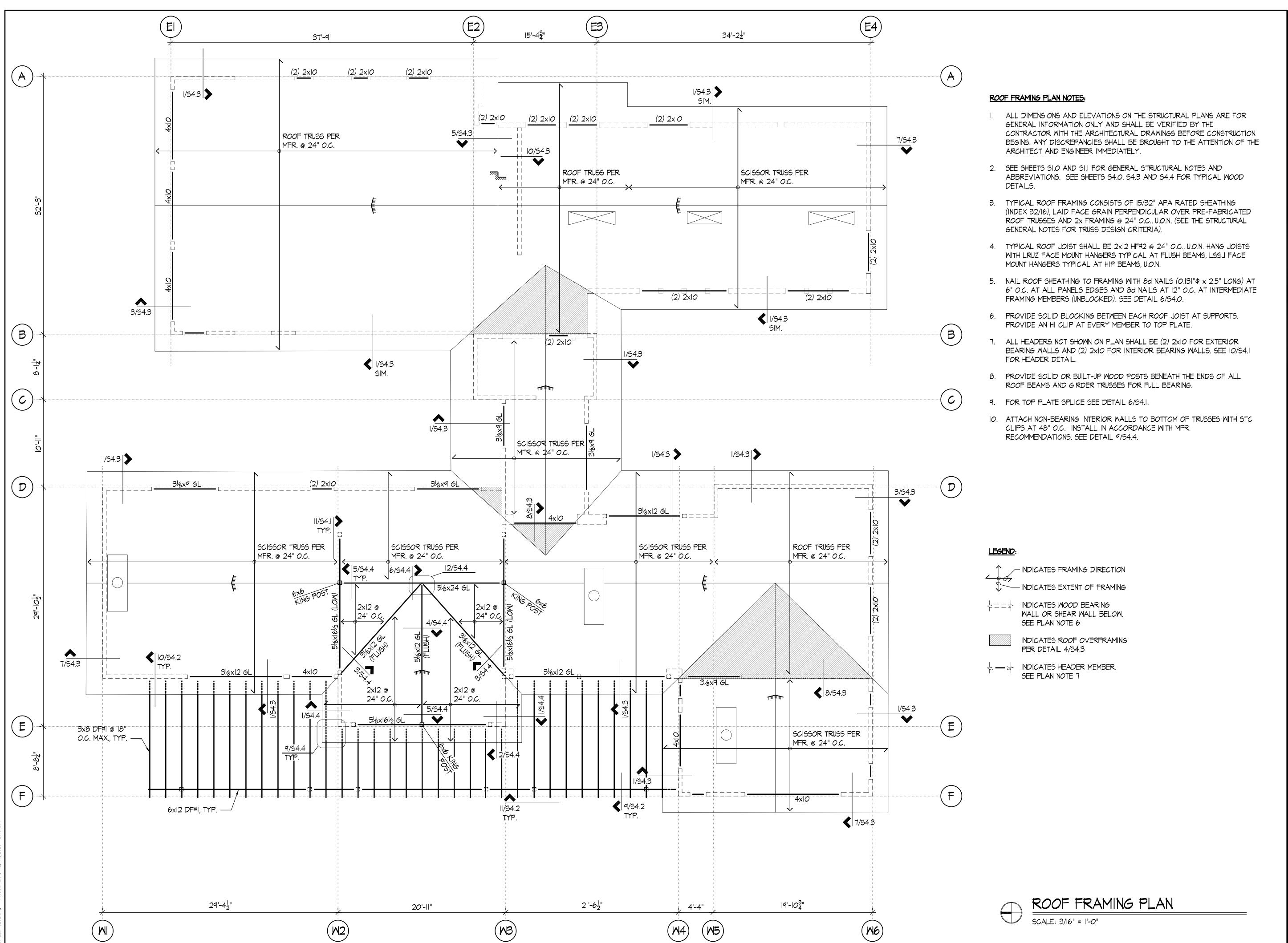
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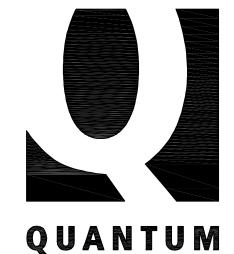
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JOB NO.

SHEET TITLE:

S2.1





1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101 TEL 206.957.3900 FAX 206.957.3901 www.quantumce.com

CONSULTING ENGINEERS

SEAL:

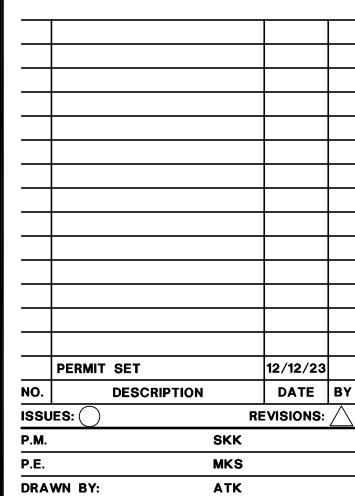


PROJECT:

ADAMS RESIDENCE

8035 SE 45TH ST MERCER ISLAND, WA 98040

APPROVAL:



ROOF FRAMING PLAN

SHEET NO.

SCALE:

JOB NO.

SHEET TITLE:

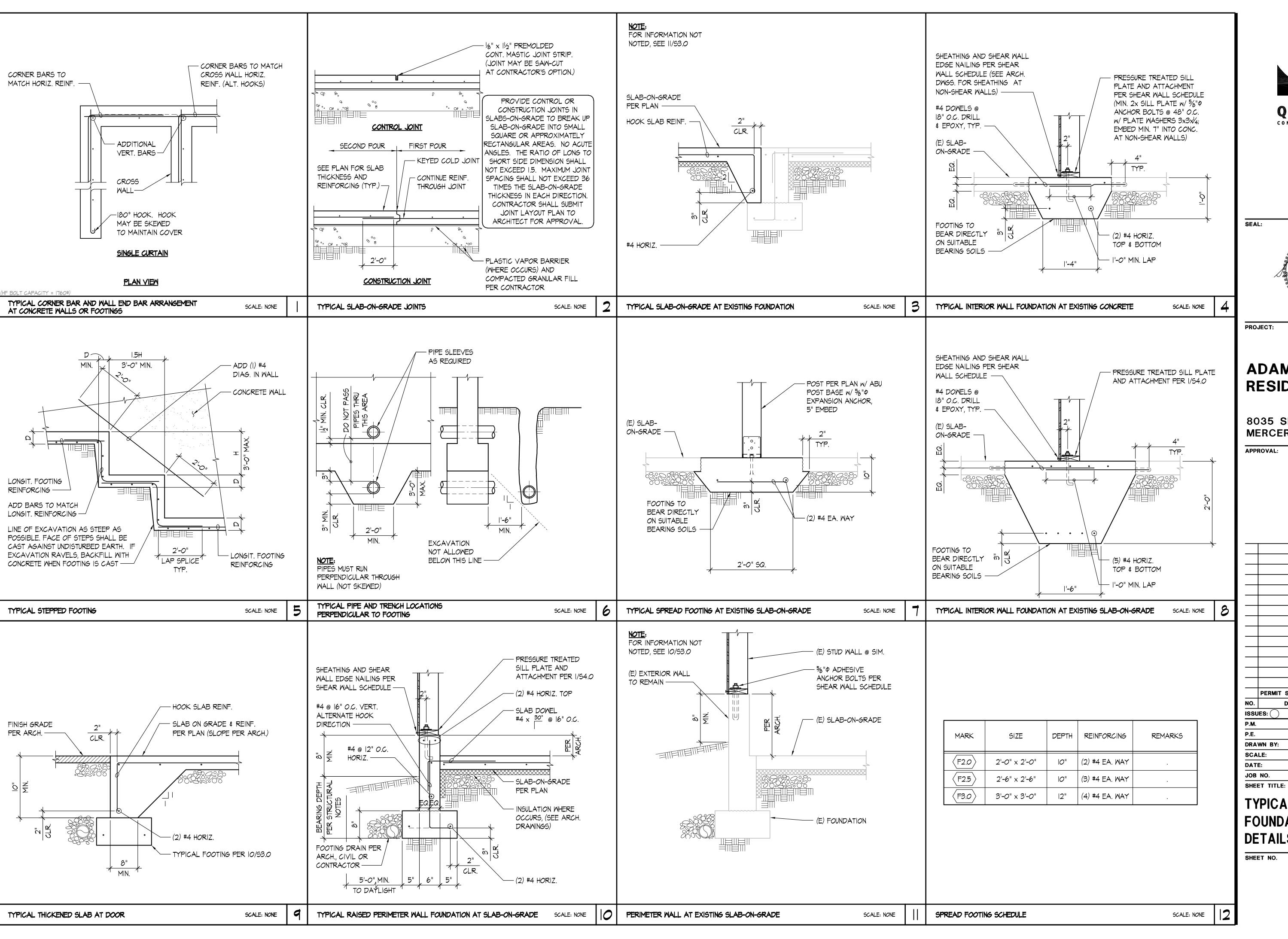
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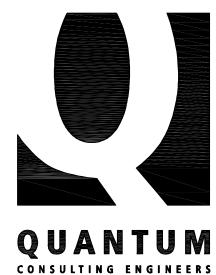
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AS SHOWN

12/12/23

22229.01





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ADAMS RESIDENCE

8035 SE 45TH ST MERCER ISLAND, WA 98040

APPROVAL:

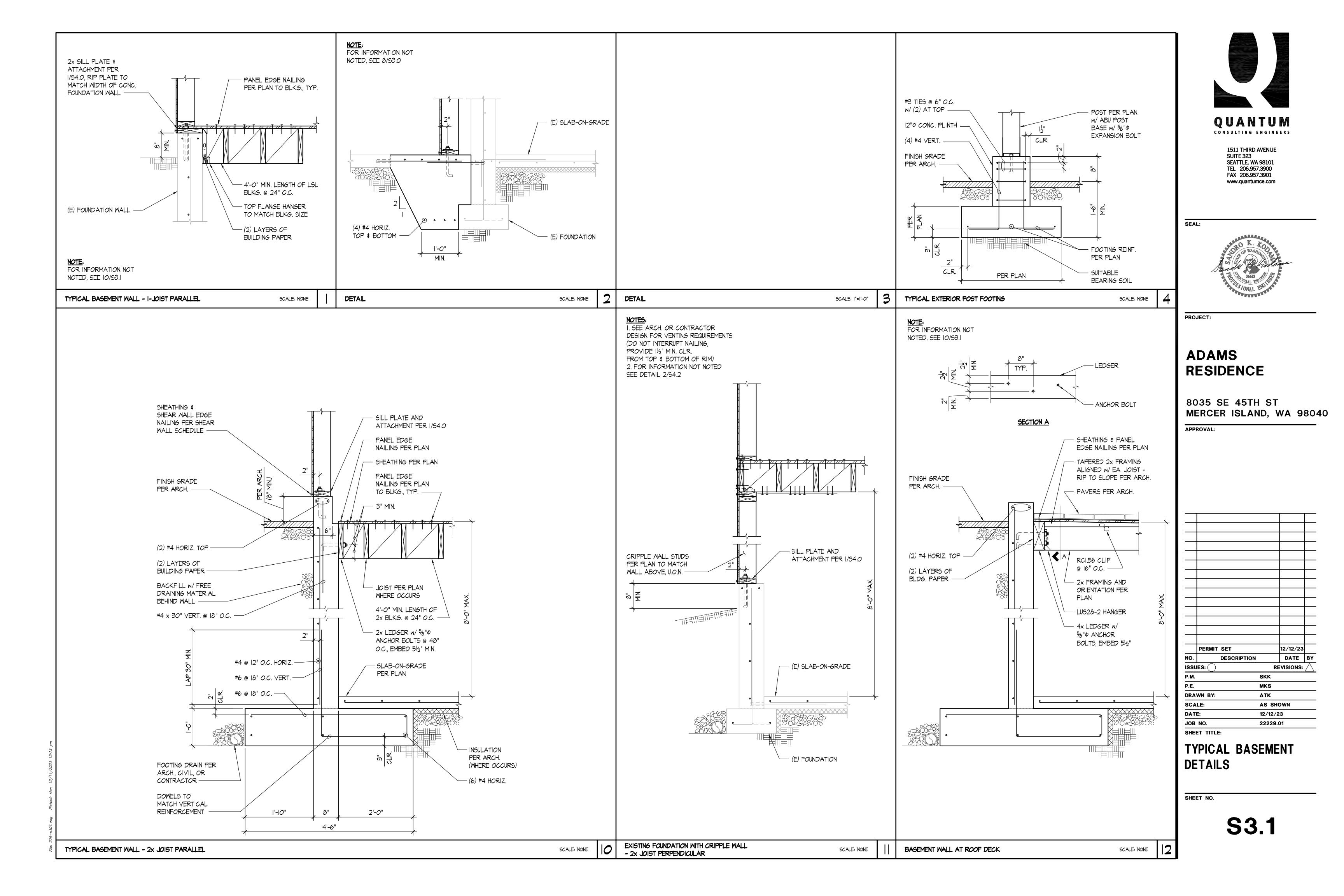
	PERMIT	SET		12/12/23			
		DESCRIPTION		DATE	BY		
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			MKS				
A'	WN BY:		ATK				
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T	E:		12/12/23				

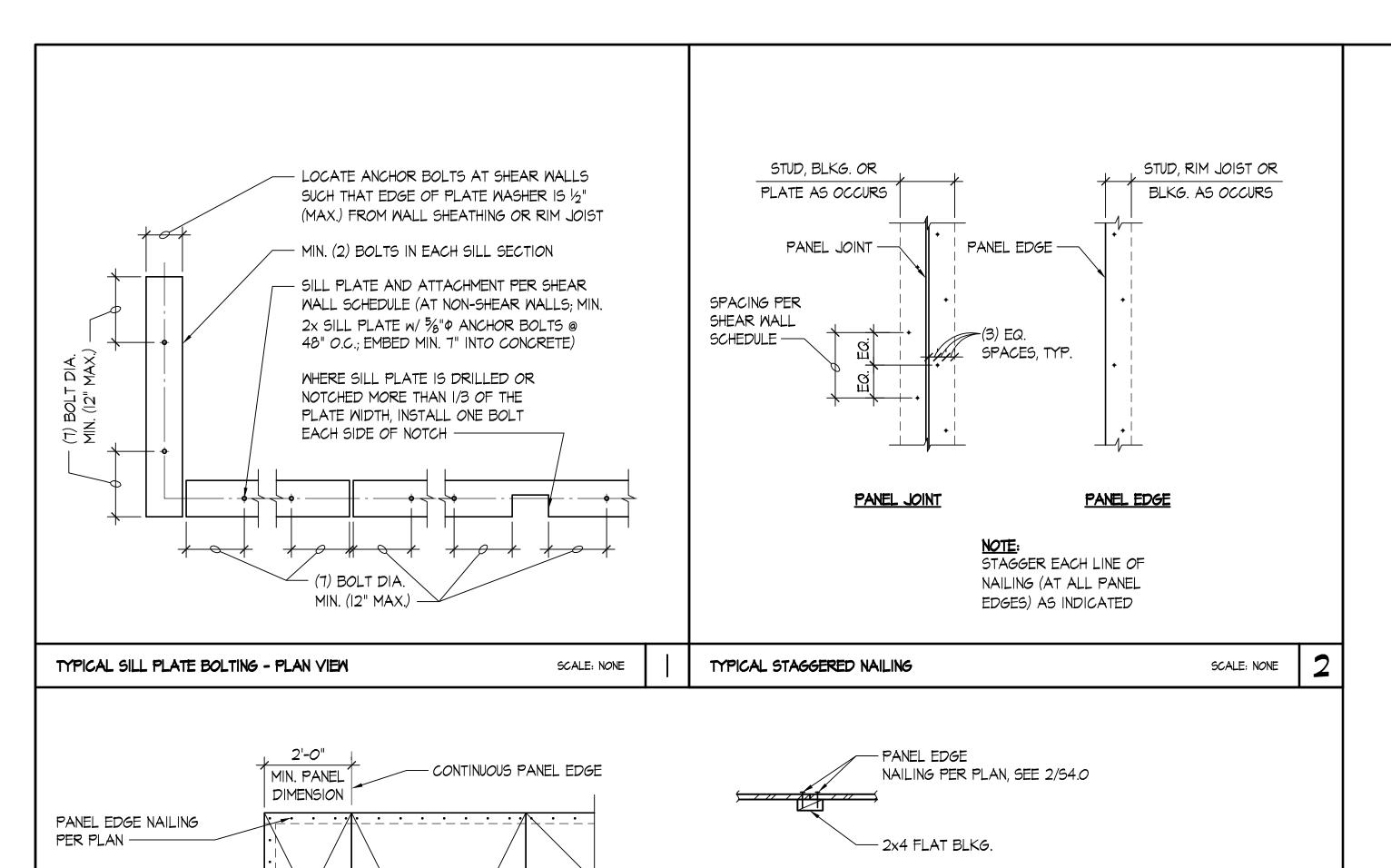
22229.01

TYPICAL FOUNDATION/SLAB **DETAILS**

SHEET NO.

S3.0





DETAIL A

FLAT BLOCKING AT PANEL EDGES (WHERE REQD.)

<u>DETAIL B</u>

<u>PANEL EDGE NAILING AT JOIST SPLICE</u>

PANEL EDGE

2x4 NAILER W/

10d-F NAILS @ 6" O.C.

- JOIST BEYOND AT JOIST

SPLICE WHERE OCCURS

NAILING PER PLAN

SHEATHING

PER PLAN-

FIELD NAILING AT

SHEATHING JOINT,

PER PLAN, TYP. —

DIAPHRAGMS ARE

SPECIFIED ON THE PLANS, PROVIDE

2x4 FLAT BLKG. AT SHEATHING JOINTS.

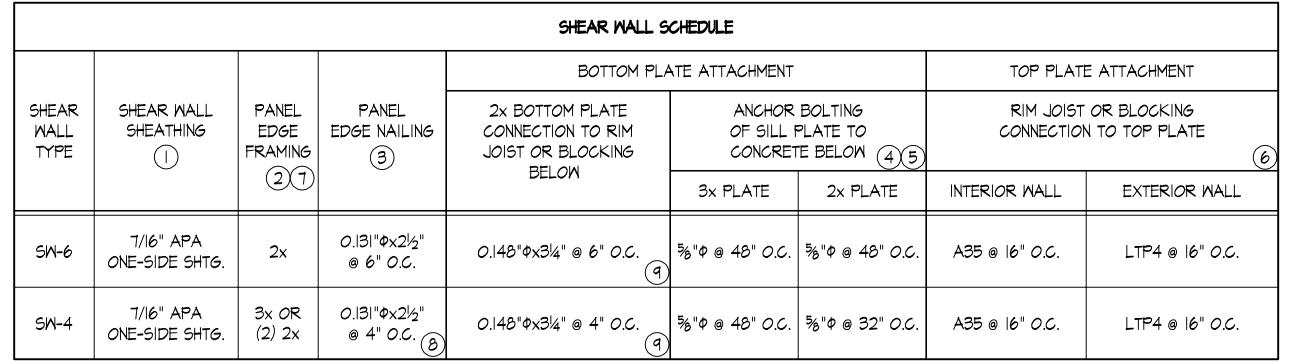
INTERMEDIATE FRAMING

MEMBERS PER PLAN -

PANEL EDGE NAILING

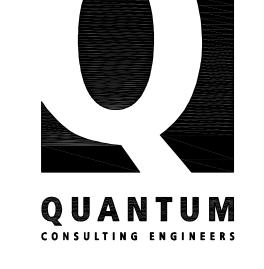
WHERE FULLY BLOCKED

TYPICAL FLOOR TO FLOOR HOLDOWN STRAP & FLOOR TO HEADER HOLDOWN STRAP



NOTES:

- (I) INSTALL PANEL SHEATHING EITHER HORIZONTALLY OR VERTICALLY FOR THE ENTIRE LENGTH OF THE WALL PER PLAN. WALL STUD SPACING SHALL BE 16" O.C. MAXIMUM.
- (2) ALL INTERMEDIATE WALL STUDS SHALL BE PER PLAN. PROVIDE BACKING FRAMING AT ALL PANEL EDGES INCLUDING HORIZONTAL BLOCKING PER THE SCHEDULE.
- 3 PROVIDE NAILING TO ALL PANEL EDGES, TOP & BOTTOM PLATES AND HORIZONTAL BLOCKING. PROVIDE THE SAME NAILING PATTERN TO EACH MULTIPLE STUD OF THE BUILT-UP HOLD DOWN POST. NAIL PANEL TO INTERMEDIATE FRAMING MEMBERS W/ O.131"Φ x 2-1/2" @ 12" O.C.
- 4 EMBED CAST-IN-PLACE 5/8"Φ ANCHOR BOLTS 7" MIN. (OR EMBED ADHESIVE ANCHOR BOLTS 5 I/2" IN (E) CONCRETE; SEE STRUCTURAL NOTES). PROVIDE PLATE WASHER 3" x 3" x I/4" AT EACH ANCHOR BOLT. SILL PLATES SHALL BE TREATED PER GENERAL NOTES, AND SHALL BE 2x OR 3x PER THE SCHEDULE. SEE DETAIL I/S4.0 FOR OTHER REQUIREMENTS.
- (5) PROVIDE HOT DIPPED GALVANIZED NAILS, BOLTS, OR METAL PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED MEMBERS.
- PROVIDE 0.131" ϕ x 1-1/2" LONG NAILS FOR CLIPS DIRECTLY ATTACHED TO FRAMING MEMBERS; PROVIDE 0.131" ϕ x 2-1/2" LONG NAILS FOR CLIPS INSTALLED OVER FLOOR OR WALL SHEATHING ON FRAMING MEMBERS. SEE 6/S4.1 FOR TOP PLATE SPLICE.
- ALTERNATIVE TO 3x STUDS AND 3x HORIZ. BLOCKING IS (2) 2x STUDS/BLKG. NAILED TOGETHER WITH 0.148" \$\phi x 3" LONG NAILS WITH THE SAME SPACING AS THE PANEL EDGE NAILING PER THE SCHEDULE (STAGGER).
- 8) STAGGER NAILS PER 2/54.0.
- 9 RIM JOIST/BLOCKING MINIMUM WIDTH OF 1^34 ". STAGGER NAILS PER 2/S4.0 WHERE SPACING IS LESS THAN 6" O.C.



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SEAL:



PROJECT:

ADAMS RESIDENCE

8035 SE 45TH ST MERCER ISLAND, WA 98040

APPROVAL:

	PERMIT	SET		12/12/23		
NO.		DESCRIPTION		DATE	Ш	
issu	ISSUES:		REVISIONS: /			
P.M.	P.M.		SKK			
P.E.			MKS			
DRA	DRAWN BY:		ATK			
SCA	SCALE:		AS SHOWN			

TYPICAL WOOD DETAILS

SHEET NO.

SCALE: NONE

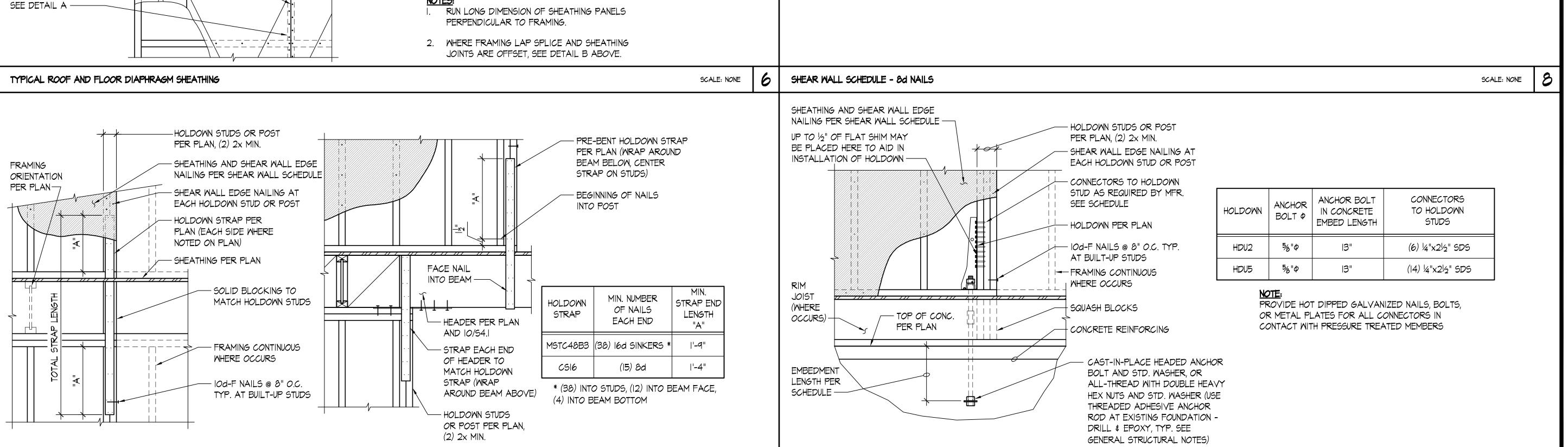
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JOB NO.

S4.0

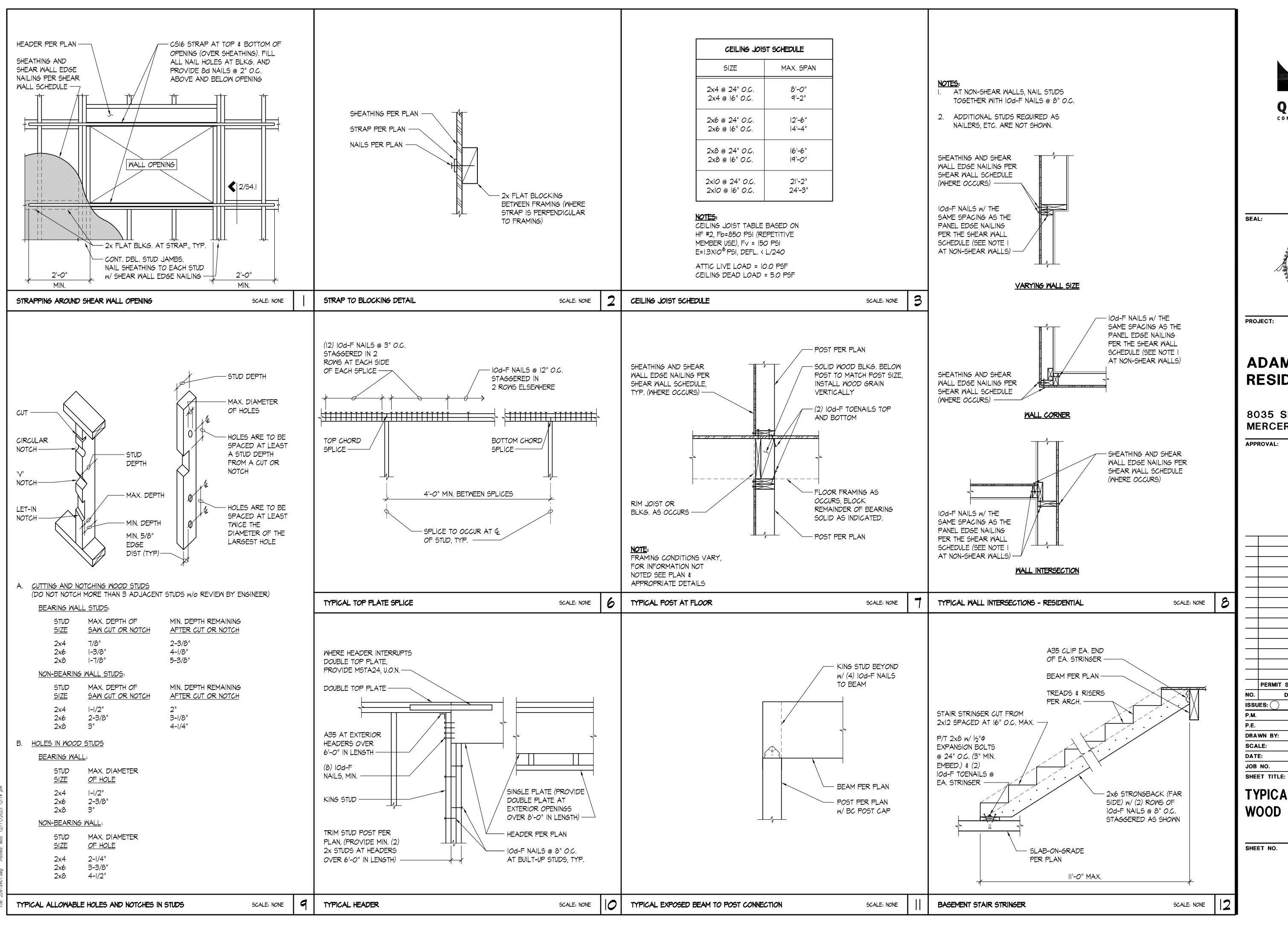
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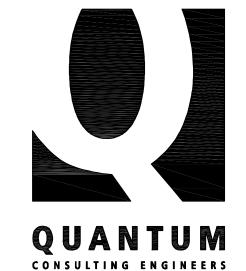
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SCALE: NONE

TYPICAL HOLDOWN TO CONCRETE





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SEAL:

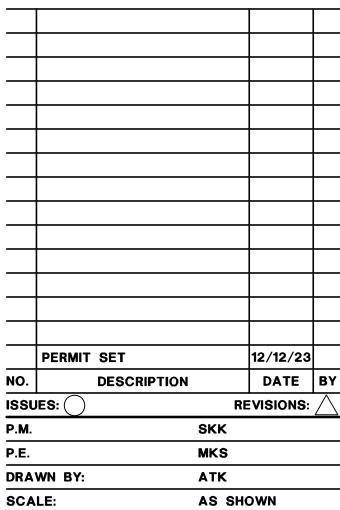


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APPROVAL:

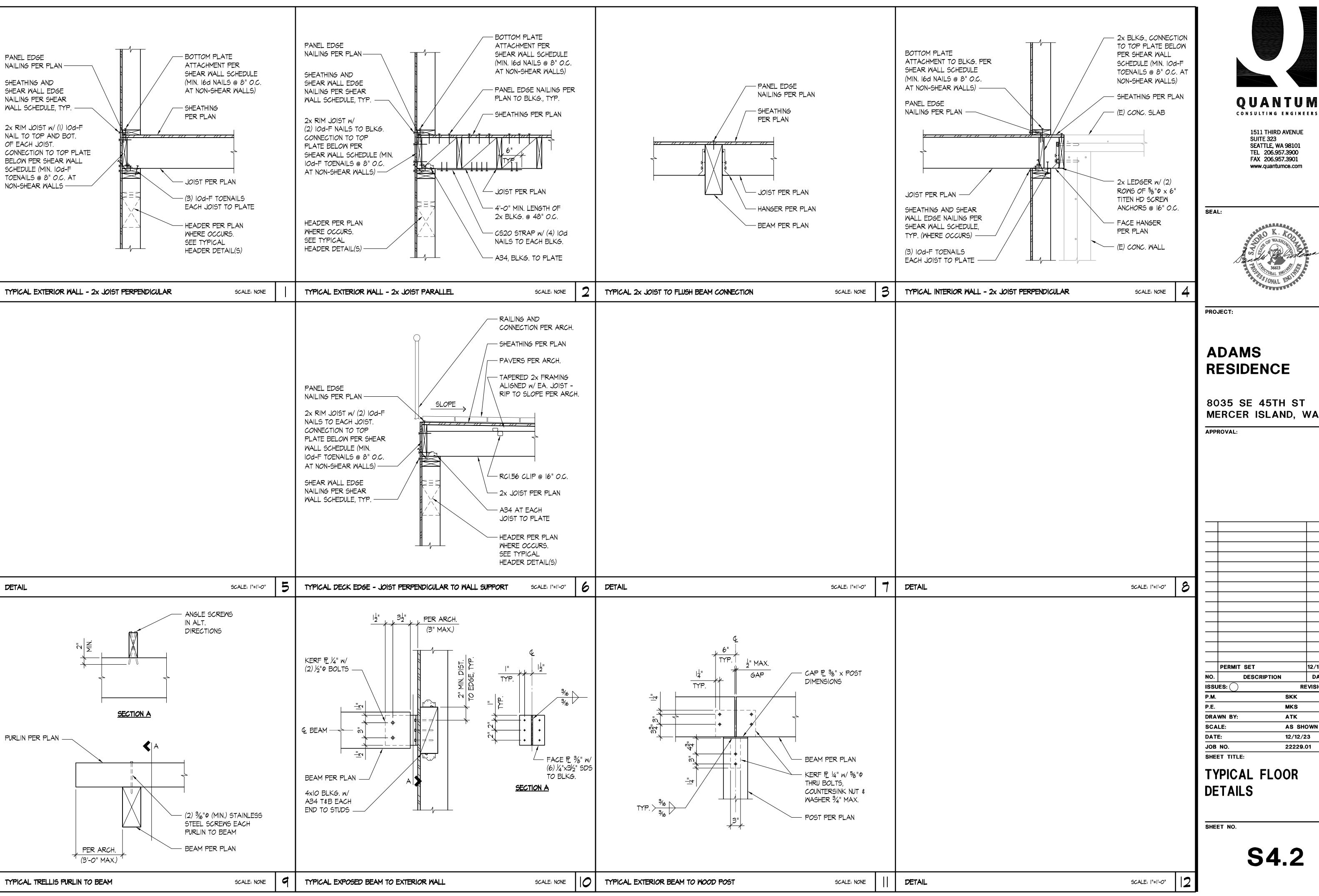


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TYPICAL WOOD DETAILS

SHEET NO.



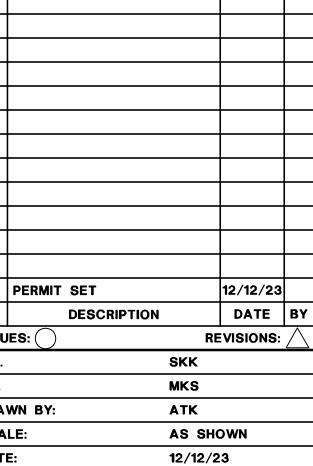
QUANTUM

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RESIDENCE

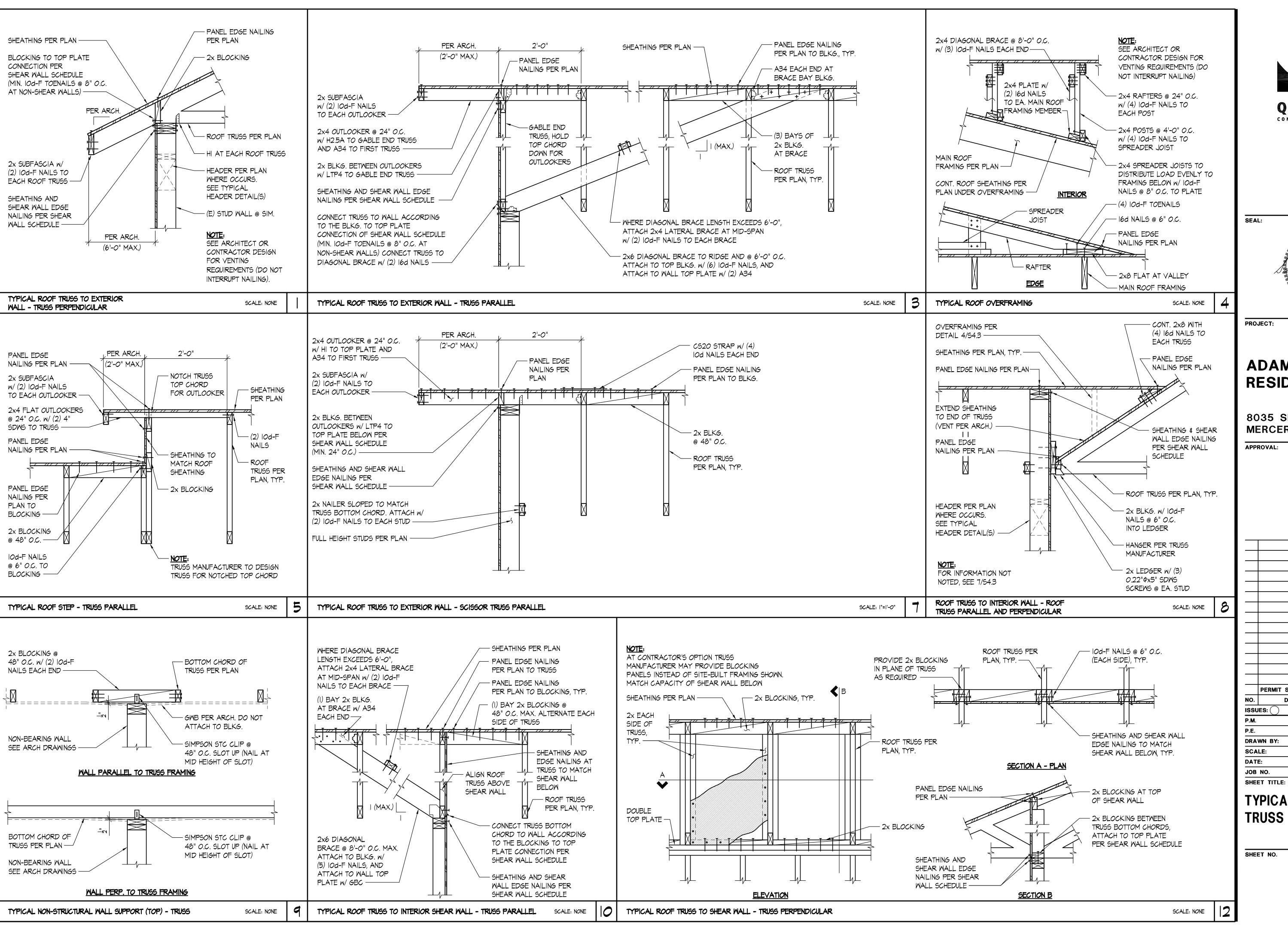
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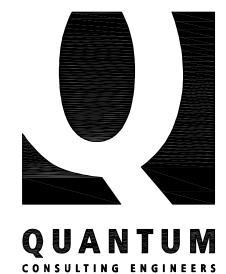


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TYPICAL FLOOR

S4.2





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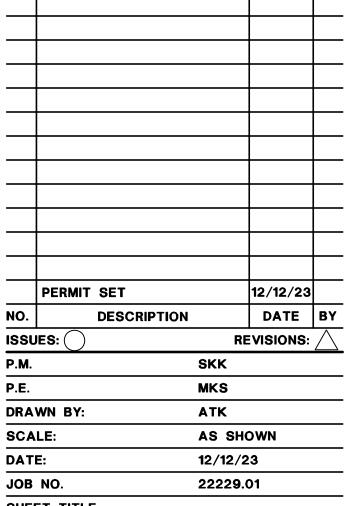


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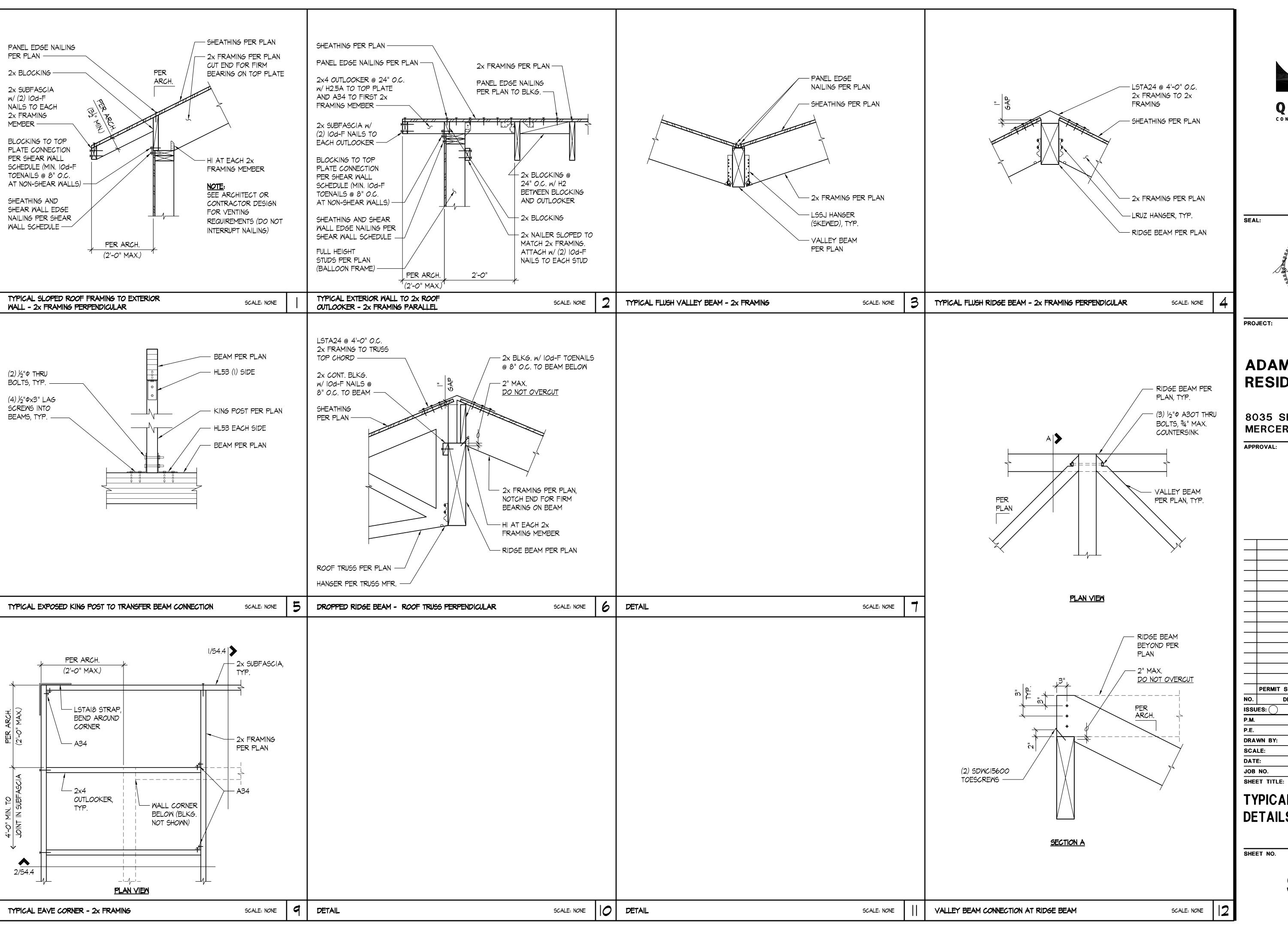
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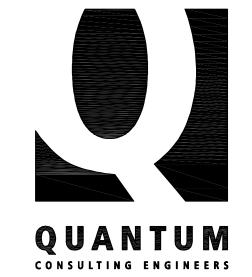


TYPICAL TRUSS DETAILS

SHEET NO.

S4.3





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SEAL:

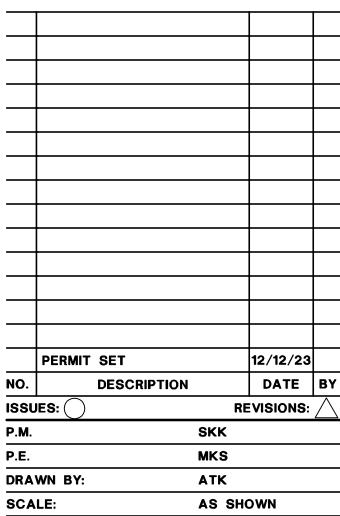


PROJECT:

ADAMS RESIDENCE

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APPROVAL:



TYPICAL ROOF **DETAILS**

12/12/23

22229.01

