

LEGAL DESCRIPTION
LOT 140, MERCER RIDGE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 61 OF PLATS, PAGES 44 AND 45, RECORDS OF KING COUNTY, WASHINGTON.

BASIS OF BEARINGS
N 01°26'23" E BETWEEN FOUND CENTERLINE MONUMENTATION ALONG 80TH AVE SE PER R1

REFERENCES
R1. MERCER RIDGE PLAT, VOL. 61, PG. 44, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM
NAVD88 PER CITY OF MERCER ISLAND BENCHMARK #1969 (ID# 46997)
BRASS PLUG IN 1"x1" LEAD IN CONC (DN 1.2") INTX 80TH AVE SE & SE 67TH ST, IN ISLAND.
ELEV: 208.707

SURVEYOR'S NOTES

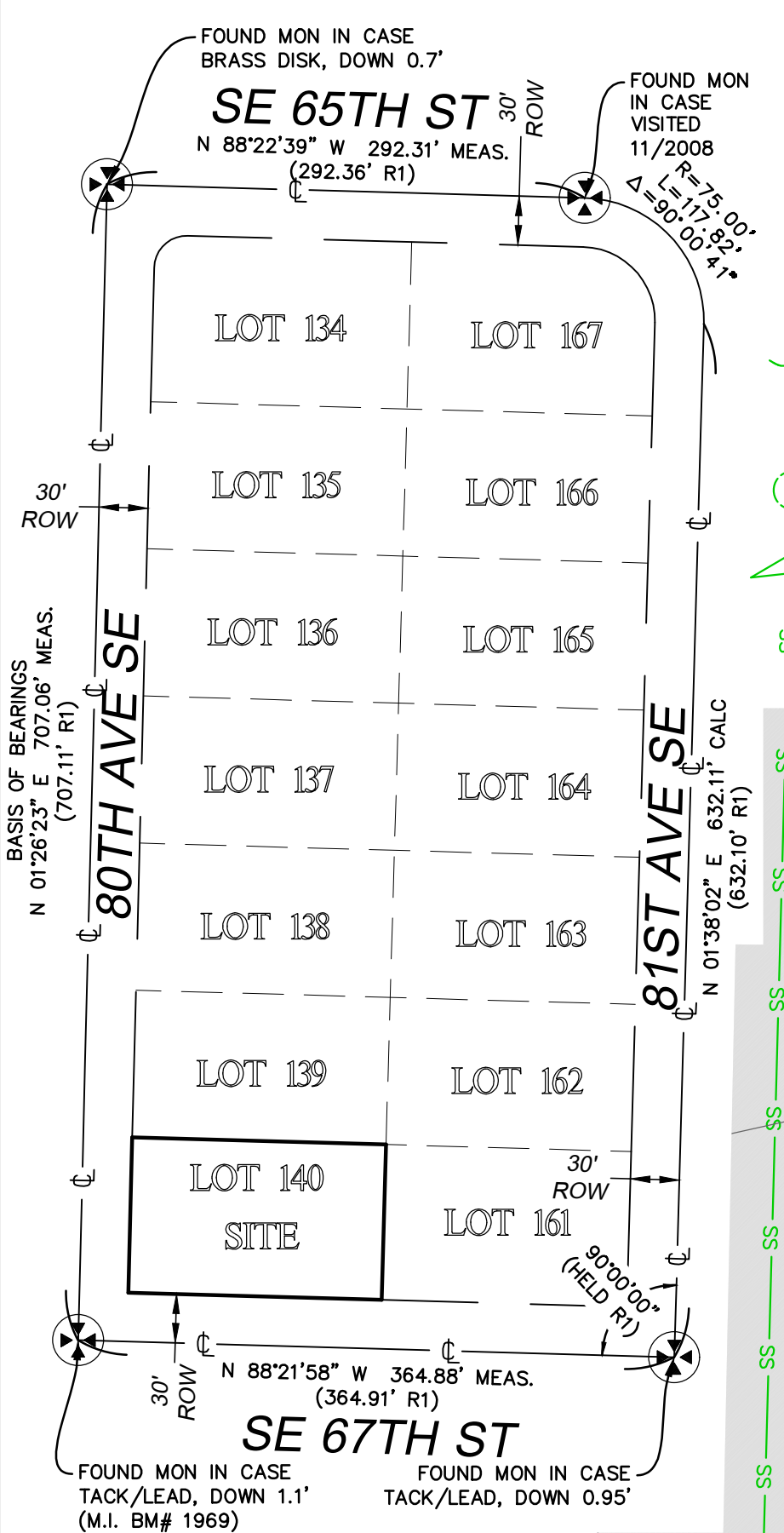
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JULY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 545280-0700
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 14,737 ±S.F. (0.34 ACRES)
6. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 0214856-ETU, WITH AN EFFECTIVE DATE OF JUNE 22, 2021 AND THAT ALL EASEMENTS, COVENANTS, AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

SCHEDULE B ITEMS

1. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON MERCER RIDGE:
RECORDING NO: 4971546
(BLANKET IN NATURE)
2. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: PUGET SOUND POWER & LIGHT COMPANY AND PACIFIC NORTHWEST BELL TELEPHONE COMPANY
PURPOSE: UTILITIES
RECORDING DATE: SEPTEMBER 13, 1967
RECORDING NO.: 6233806
AFFECTS: REFERENCE IS HEREBY MADE TO DOCUMENT FOR FULL PARTICULARS (PLOTTED)
3. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT
RECORDING DATE: SEPTEMBER 13, 1968
RECORDING NO.: 6406357
(SETBACKS AND EASEMENT PLOTTED - OTHER RESTRICTIONS APPLY)
4. RIGHTS OF THE PUBLIC TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON THE LAND IN THE REASONABLE ORIGINAL GRADING OF STREETS, AVENUES, ALLEYS AND ROADS, AS DISCLOSED IN THE PLAT.
(BLANKET IN NATURE)

TOPOGRAPHIC & BOUNDARY SURVEY

CONTROL MAP N.T.S.



LEGEND

ACU	AIR CONDITION UNIT	MONUMENT IN CASE (FOUND)
ASPH	ASPHALT SURFACE	POWER (UNDERGROUND)
BUILD	BUILDING	REBAR / IRON PIPE (FOUND)
CENR	CENTERLINE ROW	ROCKERY
CONC	CONCRETE SURFACE	SEWER LINE
RETW	RETAINING WALL	SEWER MANHOLE
DECK	DECK	STORM DRAIN LINE
FENC	FENCE LINE (CHAIN LINK)	TELEPHONE SENTRY
FENC	FENCE LINE (WOOD)	SIZE TYPE
FHYD	FIRE HYDRANT	UTILITY LINE
GAS	GAS LINE	WATER LINE
GAS	GAS METER	WATER METER
GAS	GAS VALVE	WATER VALVE
GRAV	GRAVEL SURFACE	UTILITY EASEMENT, REC. NO. 6406357
INLT	INLET (TYPE 1)	UTILITY EASEMENT, REC. NO. 6233806
NAIL	NAIL AS NOTED	COMMUNICATION EASEMENT
PST	POST	
PMTR	POWER METER	

STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS. AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

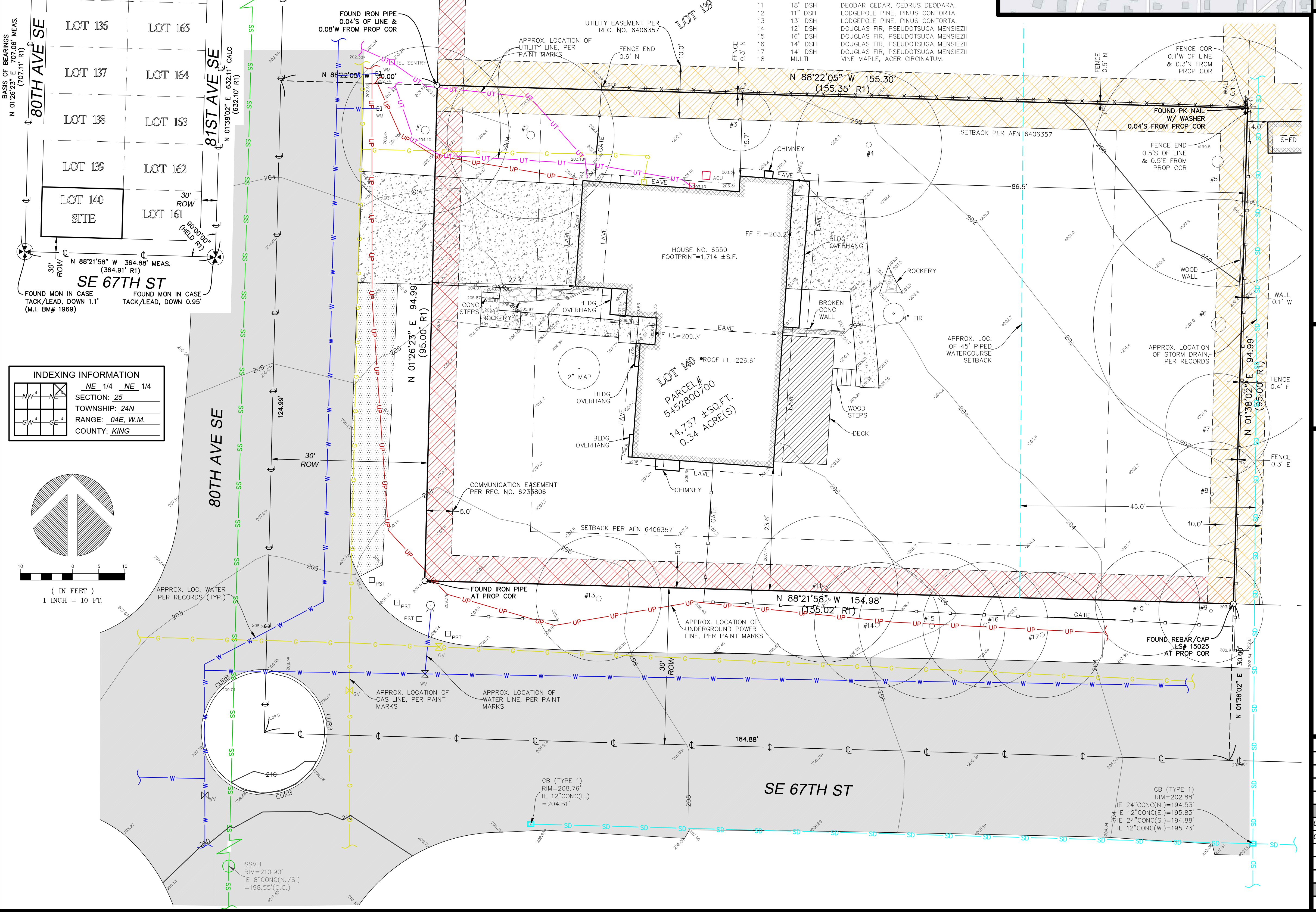
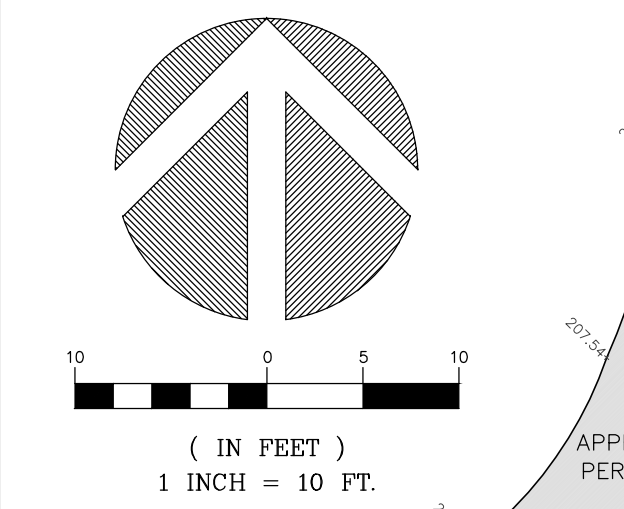
TREE INVENTORY

NUMBER	DIAMETER	TYPE/NAME
1	20" DSH	DOUGLAS FIR, PSEUDOTSUGA MENSIEZII
2	20" DSH	DOUGLAS FIR, PSEUDOTSUGA MENSIEZII
3	7" DSH	SWEETGUM, LIQUIDAMBAR STRYRACIFLUA
4	14" DSH	SWEETGUM, LIQUIDAMBAR STRYRACIFLUA
5	32" DSH	LELAND CYPRESS, CUPRESSUS X LEYLANDII
6	34" DSH	LELAND CYPRESS, CUPRESSUS X LEYLANDII
7	6" DSH	FLOWERING PLUM, PRUNUS SP.
8	11" DSH	WESTERN RED CEDAR, THUJA PLICATA
9	12" DSH	FLOWERING CHERRY, PRUNUS SP.
10	12" DSH	FLOWERING CHERRY, PRUNUS SP.
11	18" DSH	DEODAR CEDAR, CEDRUS DEODARA
12	11" DSH	LOGGPOLE PINE, PINUS CONTORTA
13	13" DSH	LOGGPOLE PINE, PINUS CONTORTA
14	12" DSH	DOUGLAS FIR, PSEUDOTSUGA MENSIEZII
15	16" DSH	DOUGLAS FIR, PSEUDOTSUGA MENSIEZII
16	14" DSH	DOUGLAS FIR, PSEUDOTSUGA MENSIEZII
17	14" DSH	DOUGLAS FIR, PSEUDOTSUGA MENSIEZII
18	MULTI	VINE MAPLE, ACER CIRCINATUM



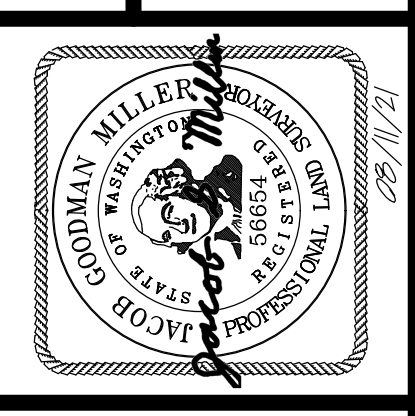
INDEXING INFORMATION

SW 1/4	NE 1/4
SE 1/4	NW 1/4
SECTION: 25	
TOWNSHIP: 24N	
RANGE: 04E, W.M.	
COUNTY: KING	



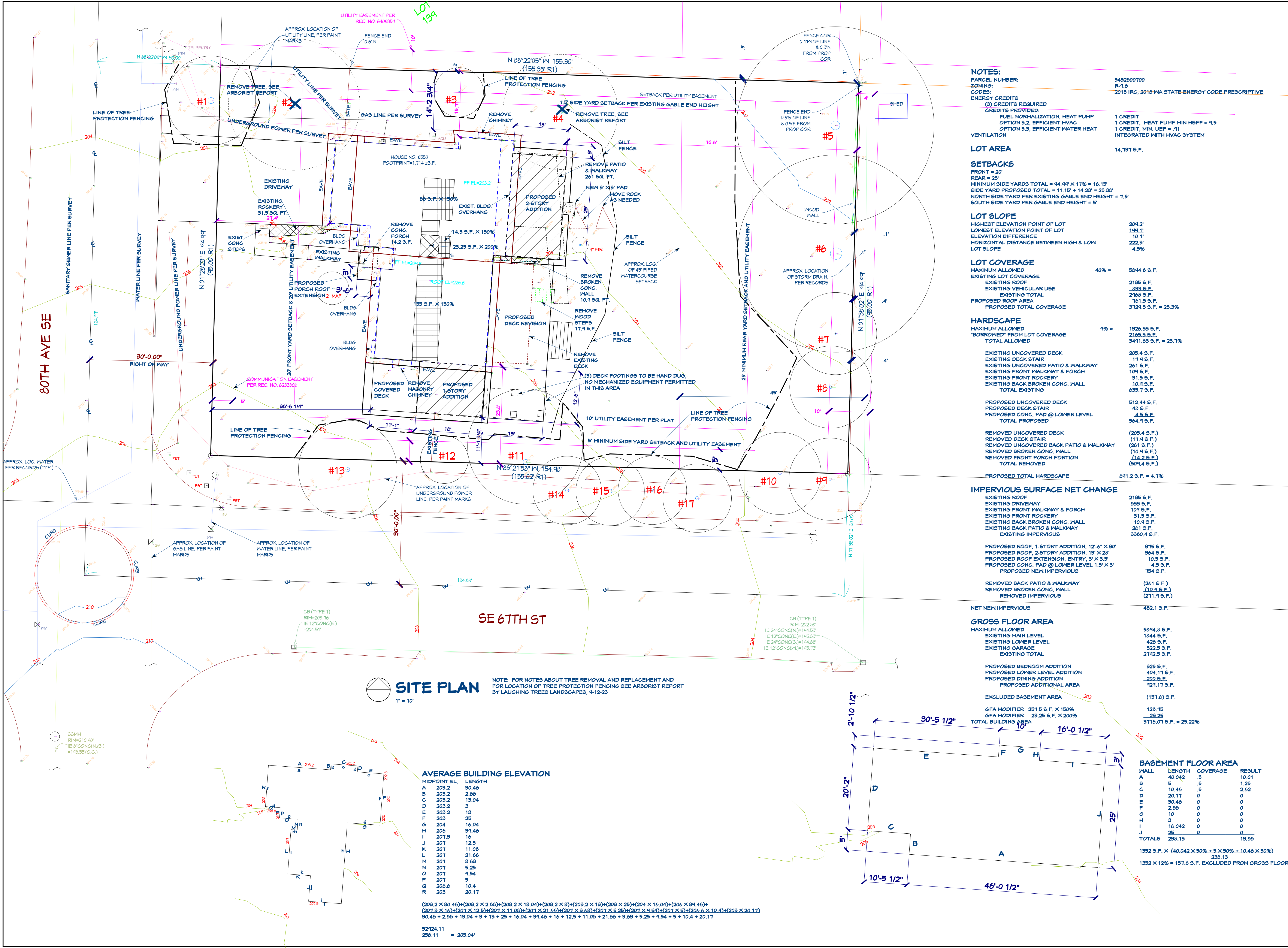
measure success

TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 5452800700
MOSS RESIDENCES
6550 80TH AVE SE
MERCER ISLAND, WA 98040



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER:	201831
DATE:	08/02/21
DRAFTED BY:	IDV / RPM
CHECKED BY:	JGM / CSP
SCALE:	1" = 10'
REVISION HISTORY	
08/04/21	SETBACK REV'D
08/11/21	POWER LINE REV'D
SHEET NUMBER	
1 OF 1	



NOTES:
PARCEL NUMBER: 545200700
ZONING: R-4.6
CODES: 2018 IRC, 2018 WA STATE ENERGY CODE PRESCRIPTIVE
ENERGY CREDITS (S) CREDITS REQUIRED: 1 CREDIT
CREDITS PROVIDED: FUEL NORMALIZATION, HEAT PUMP OPTION 3.2, EFFICIENT HVAC 1 CREDIT, HEAT PUMP MIN HSPF = 9.5
OPTION 5.3, EFFICIENT WATER HEAT 1 CREDIT, MIN. UEF = .41
INTEGRATED WITH HVAC SYSTEM
VENTILATION: 14,137 S.F.

LOT AREA
14,137 S.F.

SETBACKS
FRONT = 20'
REAR = 25'
MINIMUM SIDE YARDS TOTAL = 44.94' X 17% = 16.15'
SIDE YARD PROPOSED TOTAL = 11.15' + 14.25' = 25.35'
NORTH SIDE YARD PER EXISTING GABLE END HEIGHT = 1.5'
SOUTH SIDE YARD PER GABLE END HEIGHT = 5'

LOT SLOPE
HIGHEST ELEVATION POINT OF LOT: 209.2'
LOWEST ELEVATION POINT OF LOT: 193.1'
ELEVATION DIFFERENCE: 10.1'
HORIZONTAL DISTANCE BETWEEN HIGH & LOW: 222.3'
LOT SLOPE: 4.5%

LOT COVERAGE
MAXIMUM ALLOWED: 40% = 5844.0 S.F.
EXISTING LOT COVERAGE: 2135 S.F.
EXISTING ROOF: 333 S.F.
EXISTING VEHICULAR USE: 2460 S.F.
EXISTING TOTAL: 2615 S.F.
PROPOSED ROOF AREA: 1615 S.F.
PROPOSED TOTAL COVERAGE: 3725 S.F. = 25.9%

HARDSCAPE
MAXIMUM ALLOWED: 4% = 1926.39 S.F.
BORROWED FROM LOT COVERAGE: 2105.3 S.F.
TOTAL ALLOWED: 3411.69 S.F. = 23.1%

EXISTING UNCOVERED DECK: 205.4 S.F.
EXISTING DECK STAIR: 17.9 S.F.
EXISTING UNCOVERED PATIO & WALKWAY: 261 S.F.
EXISTING FRONT WALKWAY & PORCH: 104 S.F.
EXISTING FRONT ROCKERY: 31.5 S.F.
EXISTING BACK BROKEN CONG. WALL: 10.4 S.F.
TOTAL EXISTING: 635.7 S.F.
PROPOSED UNCOVERED DECK: 512.44 S.F.
PROPOSED DECK STAIR: 40 S.F.
PROPOSED CONG. PAD @ LOWER LEVEL: 4.5 S.F.
TOTAL PROPOSED: 564.9 S.F.
REMOVED UNCOVERED DECK: (205.4 S.F.)
REMOVED DECK STAIR: (17.9 S.F.)
REMOVED UNCOVERED BACK PATIO & WALKWAY: (261 S.F.)
REMOVED BROKEN CONG. WALL: (10.4 S.F.)
REMOVED FRONT PORCH PORTION: (14.2 S.F.)
TOTAL REMOVED: (504.4 S.F.)

PERVIOUS SURFACE NET CHANGE
EXISTING ROOF: 2135 S.F.
EXISTING DRIVEWAY: 833 S.F.
EXISTING FRONT WALKWAY & PORCH: 104 S.F.
EXISTING FRONT ROCKERY: 31.5 S.F.
EXISTING BACK BROKEN CONG. WALL: 10.4 S.F.
EXISTING BACK PATIO & WALKWAY: 261 S.F.
EXISTING IMPERVIOUS: 3380.4 S.F.
PROPOSED ROOF, 1-STORY ADDITION, 12'-6" X 30': 375 S.F.
PROPOSED ROOF, 2-STORY ADDITION, 13' X 20': 364 S.F.
PROPOSED ROOF EXTENSION, ENTRY, 3' X 3.5': 10.5 S.F.
PROPOSED CONG. PAD @ LOWER LEVEL 1.5' X 3': 4.5 S.F.
PROPOSED NEW IMPERVIOUS: 784 S.F.
REMOVED BACK PATIO & WALKWAY: (261 S.F.)
REMOVED BROKEN CONG. WALL: (10.4 S.F.)
REMOVED IMPERVIOUS: (271.4 S.F.)

NET NEW IMPERVIOUS: 482.1 S.F.

GROSS FLOOR AREA
MAXIMUM ALLOWED: 5844.0 S.F.
EXISTING MAIN LEVEL: 1844 S.F.
EXISTING LOWER LEVEL: 426 S.F.
EXISTING GARAGE: 522.5 S.F.
EXISTING TOTAL: 2792.5 S.F.
PROPOSED BEDROOM ADDITION: 325 S.F.
PROPOSED LOWER LEVEL ADDITION: 404.17 S.F.
PROPOSED DINING ADDITION: 200 S.F.
PROPOSED ADDITIONAL AREA: 424.17 S.F.
EXCLUDED BASEMENT AREA: (151.6) S.F.
GFA MODIFIER 257.5 S.F. X 150%: 128.75
GFA MODIFIER 23.25 S.F. X 200%: 23.25
TOTAL BUILDING AREA: 3716.07 S.F. = 25.22%

BASEMENT FLOOR AREA
WALL LENGTH COVERAGE RESULT
A 40.042 5 10.01
B 5 5 1.25
C 10.46 5 0
D 20.17 0 0
E 30.46 0 0
F 2.88 0 0
G 10 0 0
H 9 0 0
I 16.042 0 0
J 25 0 0
TOTALS 230.13 13.88
1952 S.F. X (40.042 X 50% + 5 X 50% + 10.46 X 50%) = 230.13
1952 X 12% = 151.6 S.F. EXCLUDED FROM GROSS FLOOR AREA

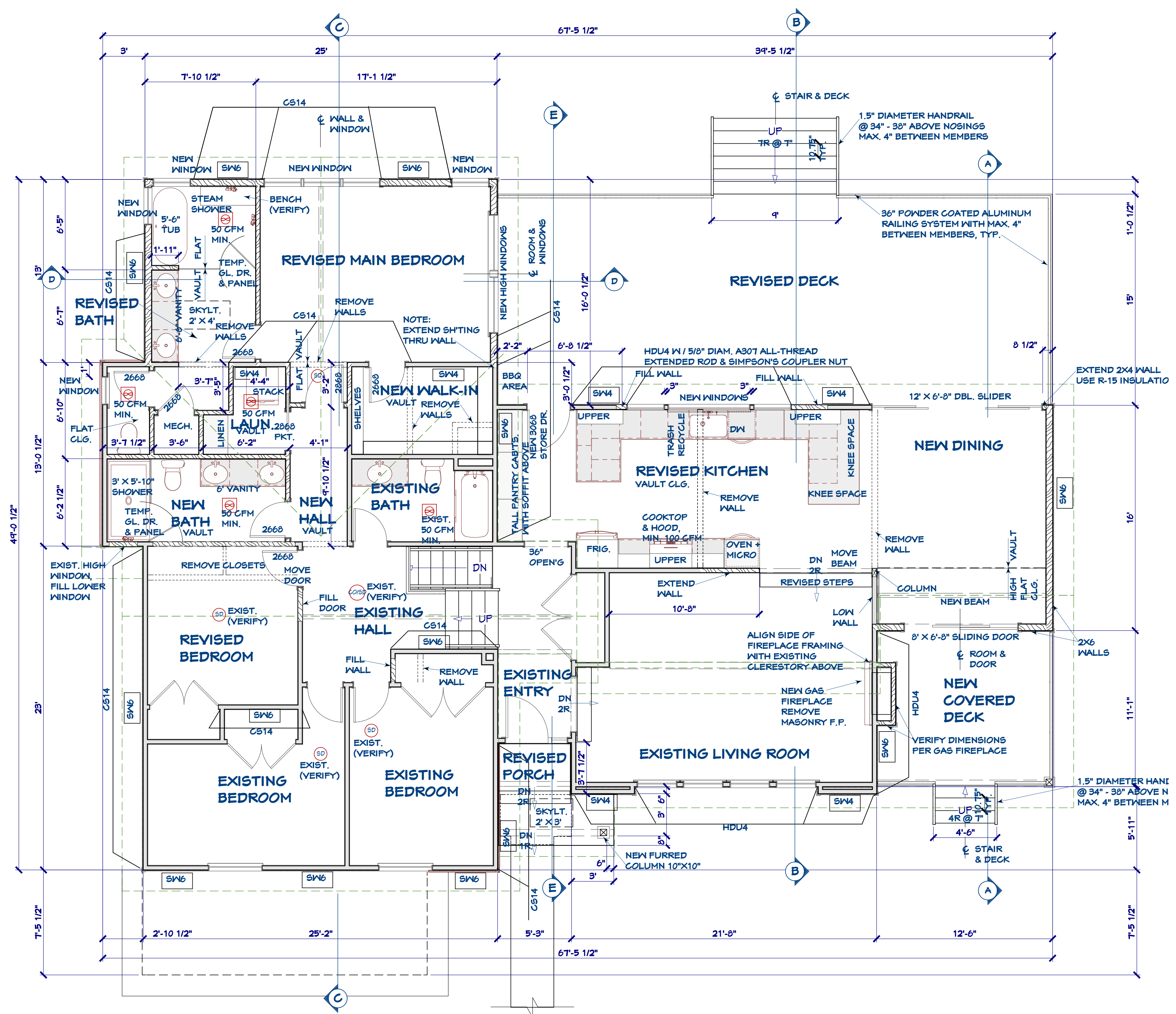
SITE PLAN
NOTE: FOR NOTES ABOUT TREE REMOVAL AND REPLACEMENT AND FOR LOCATION OF TREE PROTECTION FENCING SEE ARBORIST REPORT BY LAUGHING TREES LANDSCAPES, 4-12-23

AVERAGE BUILDING ELEVATION

MIDPOINT EL.	LENGTH
A 203.2	30.46
B 203.2	2.88
C 203.2	13.04
D 203.2	3
E 203.2	13
F 203	25
G 204	16.04
H 206	34.46
I 207.3	16
J 207	12.5
K 207	11.08
L 207	21.66
M 207	3.63
N 207	5.25
O 207	4.54
P 207	5
Q 206.6	10.4
R 203	20.17

(203.2 X 30.46) + (203.2 X 2.88) + (203.2 X 13.04) + (203.2 X 3) + (203.2 X 13) + (203 X 25) + (204 X 16.04) + (206 X 34.46) + (207.3 X 16) + (207 X 12.5) + (207 X 11.08) + (207 X 21.66) + (207 X 3.63) + (207 X 5.25) + (207 X 4.54) + (206.6 X 10.4) + (203 X 20.17)
30.46 + 2.88 + 13.04 + 3 + 13 + 25 + 16.04 + 34.46 + 16 + 12.5 + 11.08 + 21.66 + 3.63 + 5.25 + 4.54 + 10.4 + 20.17

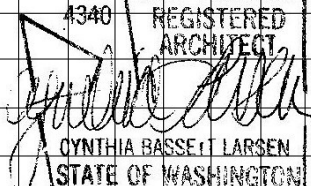
52934.11
250.11 = 205.04'




REVISED MAIN LEVEL
 1/4" = 1'-0"
 --- EXISTING
 - - - REMOVED
 = = = NEW

NO.	DESCRIPTION

CONSULTANTS
 CK ENGINEERING LLC
 206 417 0670

3940 REGISTERED ARCHITECT

 CYNTHIA BASSETT LARSEN
 STATE OF WASHINGTON

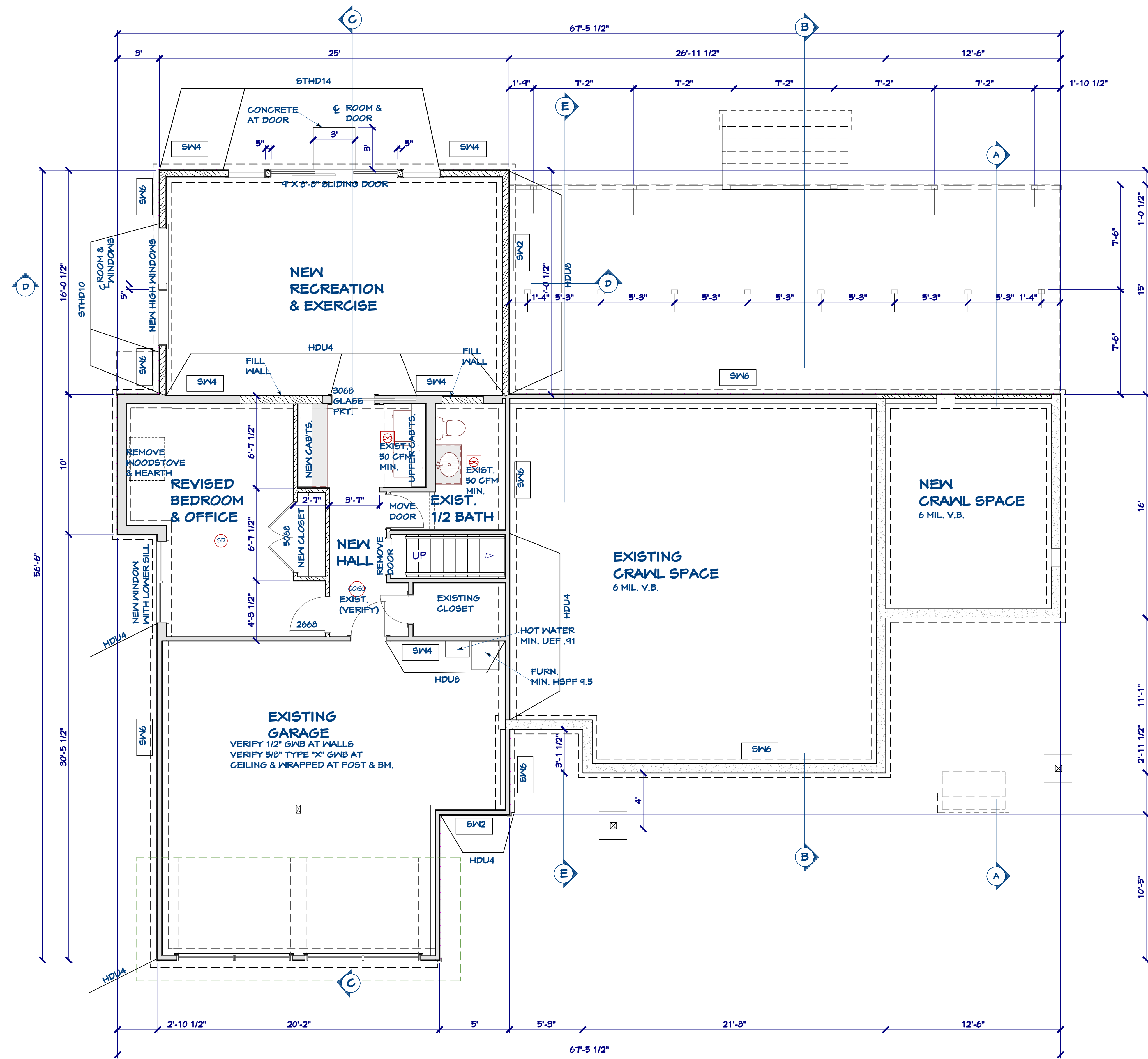
2704 34TH AVENUE SOUTH, SEATTLE, WA 98144 . (206) 232-0602

BASSETT LARSEN DESIGN LLC
 MOSS RESIDENCE
 6950 90TH AVE. S.E.
 MERCER ISLAND, WA 98040

SHEET TITLE
 REVISED MAIN LEVEL

SHEET **2**
 OF 8 SHEETS

DATE 4-5-23

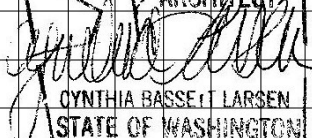



REVISED LOWER LEVEL
 1/4" = 1'-0"
 ——— EXISTING
 - - - - - REMOVED
 = = = = = NEW

REVISIONS

CONSULTANTS

CK ENGINEERING LLC
206 417 0670

4340 REGISTERED ARCHITECT

 CYNTHIA BASSETT LARSEN
 STATE OF WASHINGTON

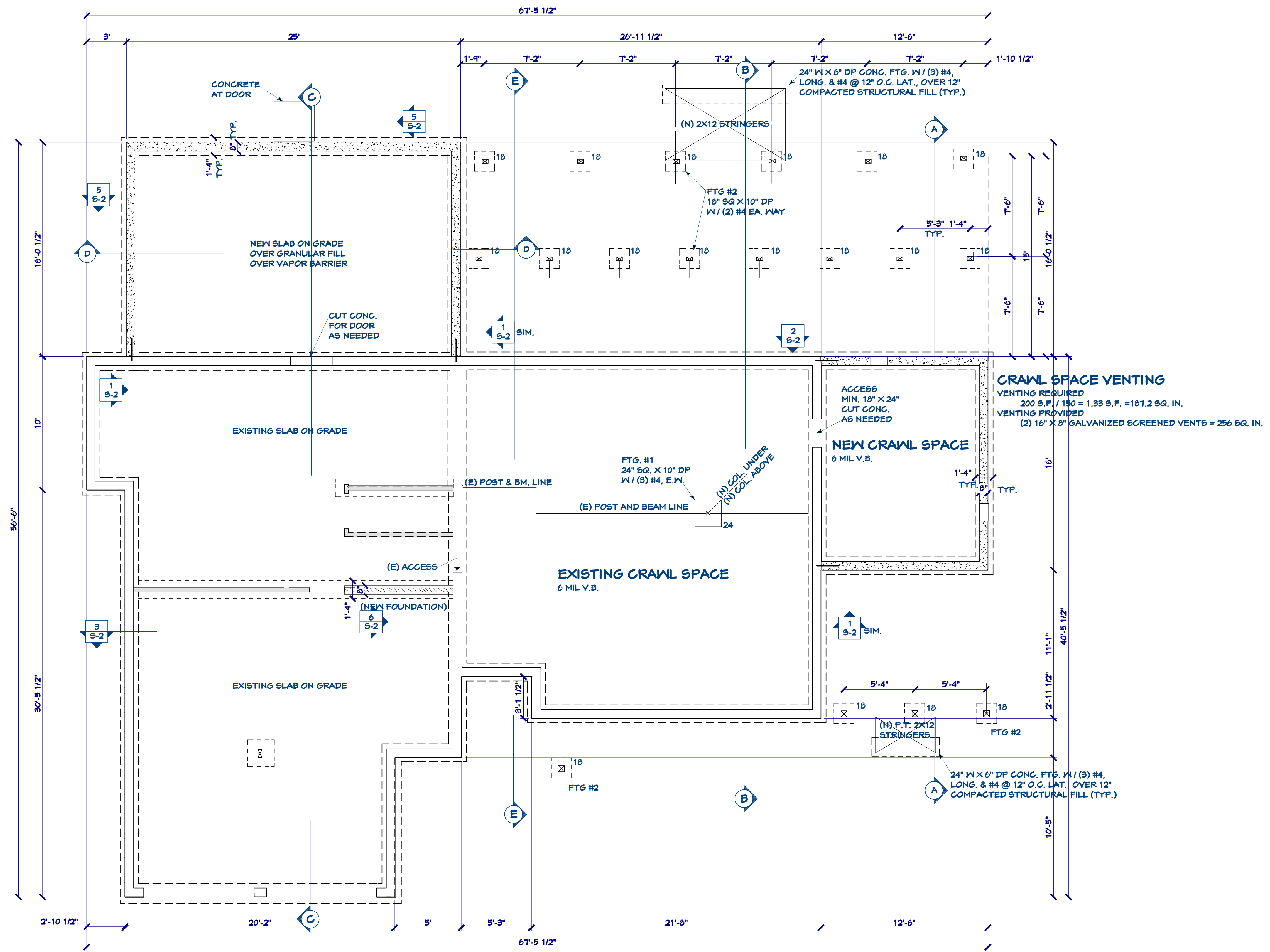
2704 34TH AVENUE SOUTH, SEATTLE, WA 98144 . (206) 232-0602
BASSETT LARSEN DESIGN LLC

MOSS RESIDENCE
 6950 90TH AVE. S.E.
 MERCER ISLAND, WA 98040

SHEET TITLE
REVISED LOWER LEVEL

SHEET **3**
OF **8** SHEETS

DATE **4-5-23**



REVISED FOUNDATION PLAN
1/4" = 1'-0"

EXISTING
 NEW
NOTES:
 -16" W X 8" DEEP CONT. FTG. WITH (2) #4 CONT., TYP. U.N.O.
 -8" W STEM WALL WITH #4 @ 16" O.C. HORIZ. & VERT. TYP. U.N.O.

REVISIONS

CONSULTANTS

CK ENGINEERING LLC
206 417 0670

3940 REGISTERED ARCHITECT
CYNTHIA BASSETT LARSEN
STATE OF WASHINGTON

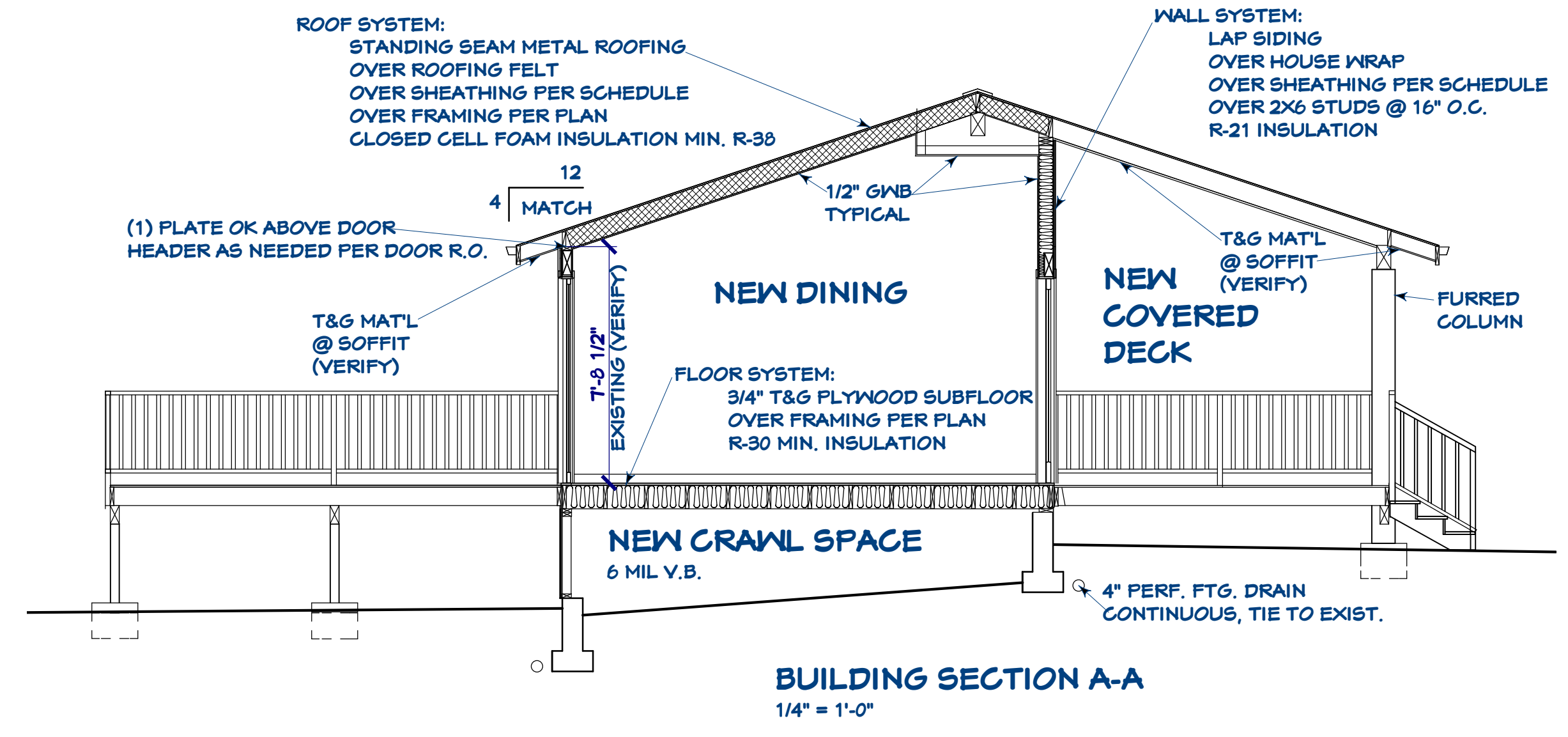
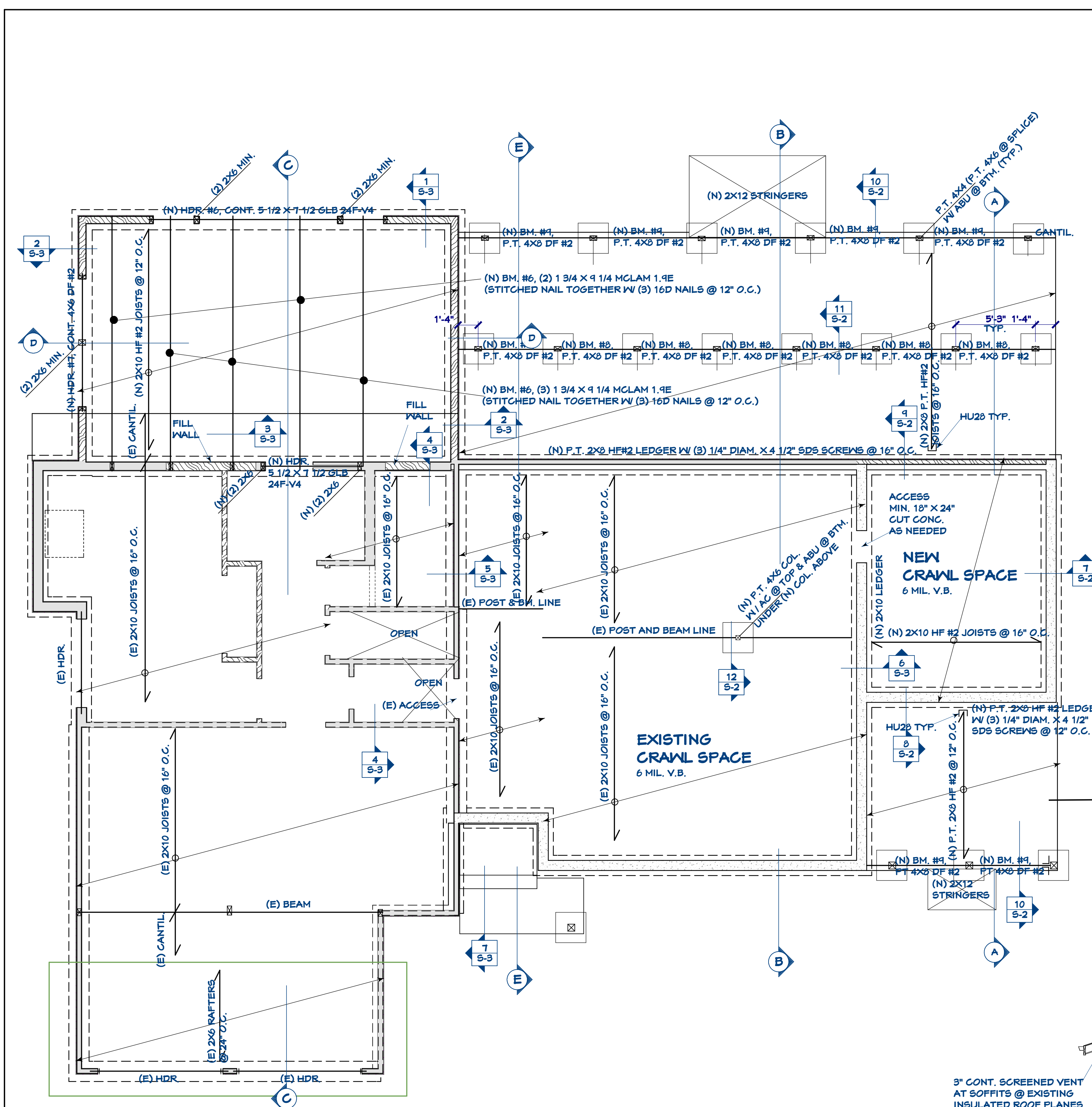
2704 34TH AVENUE SOUTH, SEATTLE, WA 98144 | (206) 232-0602

MOSS RESIDENCE
 6950 90TH AVE. S.E.
 MERCER ISLAND, WA 98040
BASSETT LARSEN DESIGN LLC

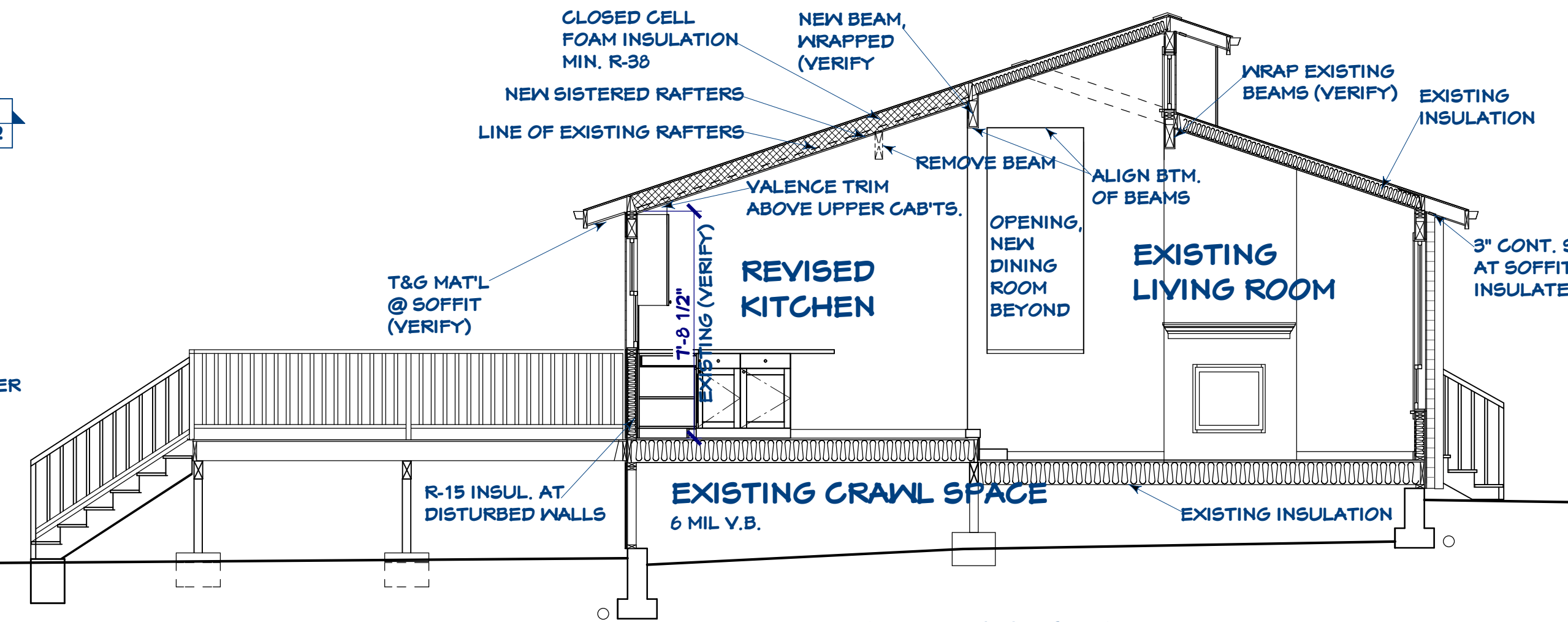
SHEET TITLE
REVISED FOUNDATION PLAN

SHEET **4**
OF 8 SHEETS

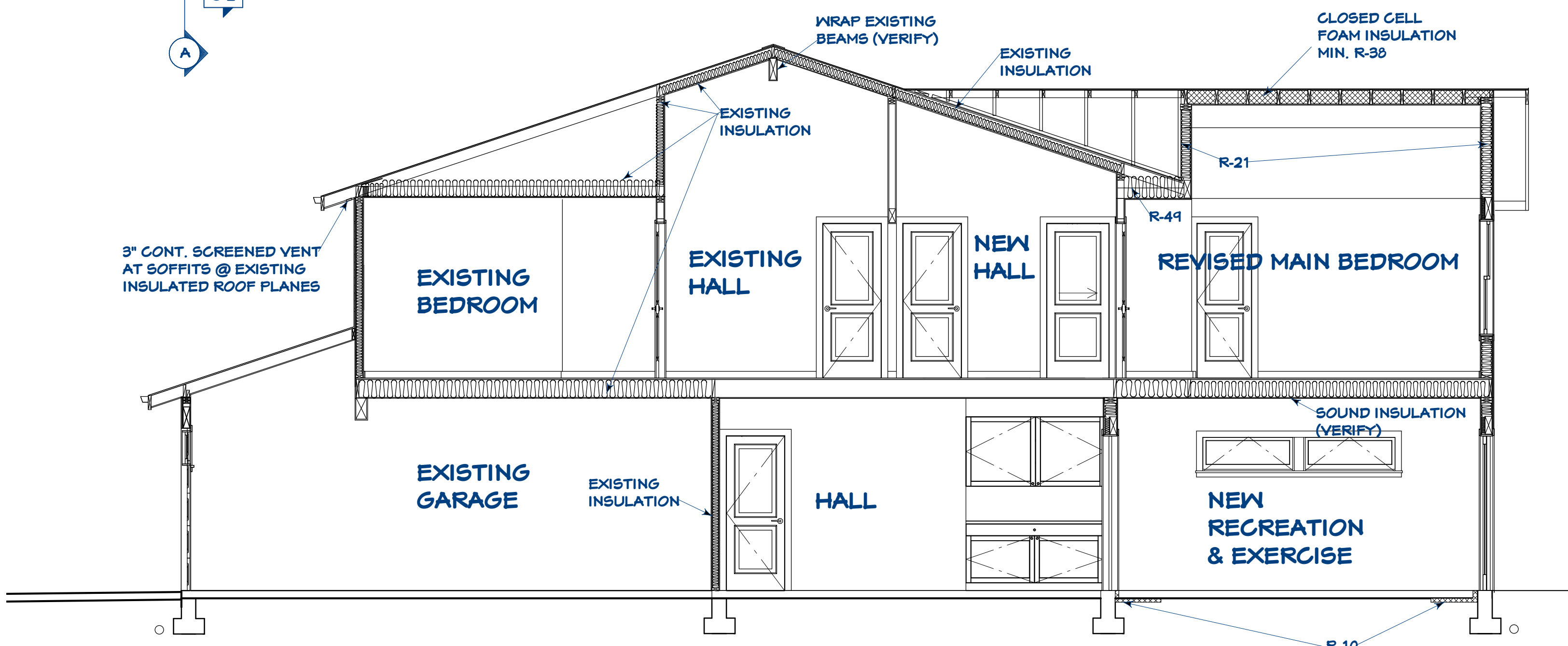
DATE 4-5-23



BUILDING SECTION A-A
1/4" = 1'-0"



BUILDING SECTION B-B
1/4" = 1'-0"

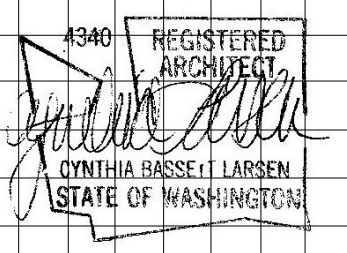


BUILDING SECTION C-C
1/4" = 1'-0"

REVISIONS

CONSULTANTS

CK ENGINEERING LLC
206 417 0670



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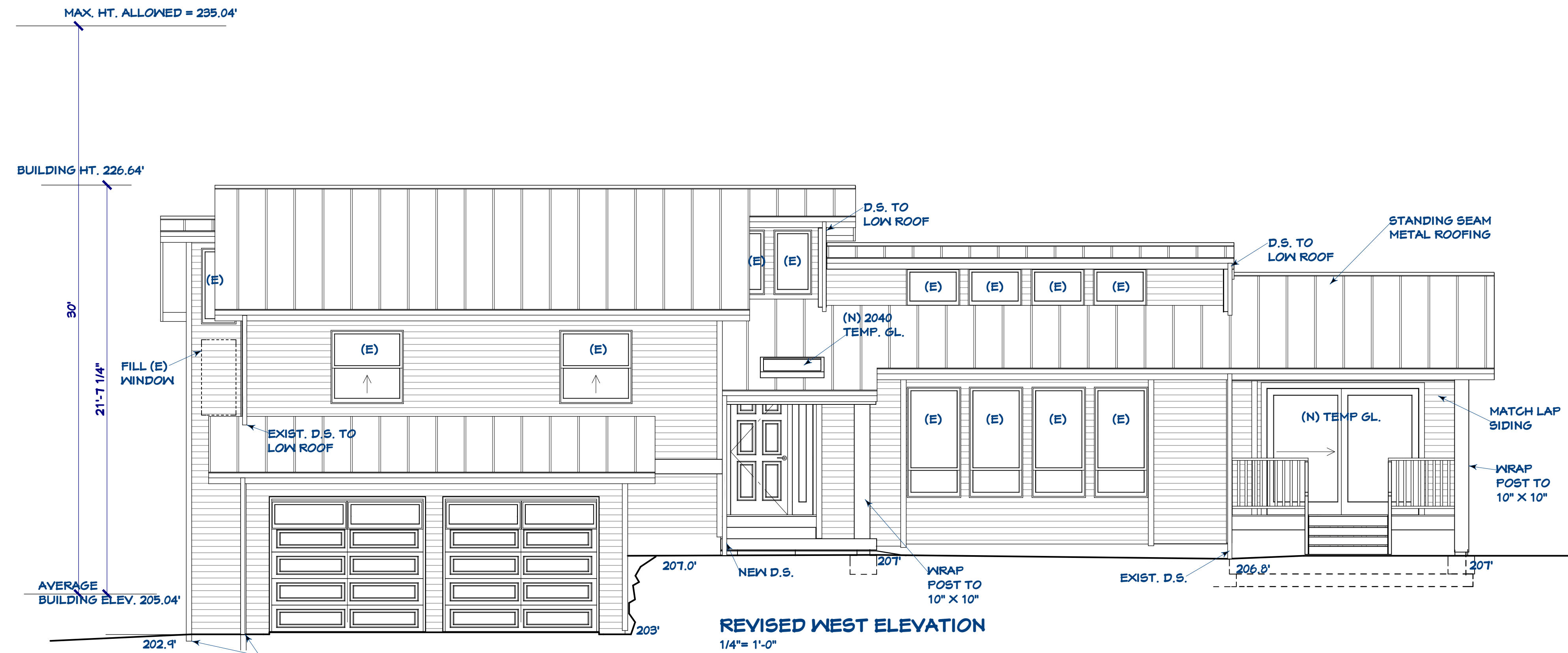
BASSETT LARSEN DESIGN LLC
MOSS RESIDENCE
6950 90TH AVE. S.E.
MERCER ISLAND, WA 98040

SHEET TITLE

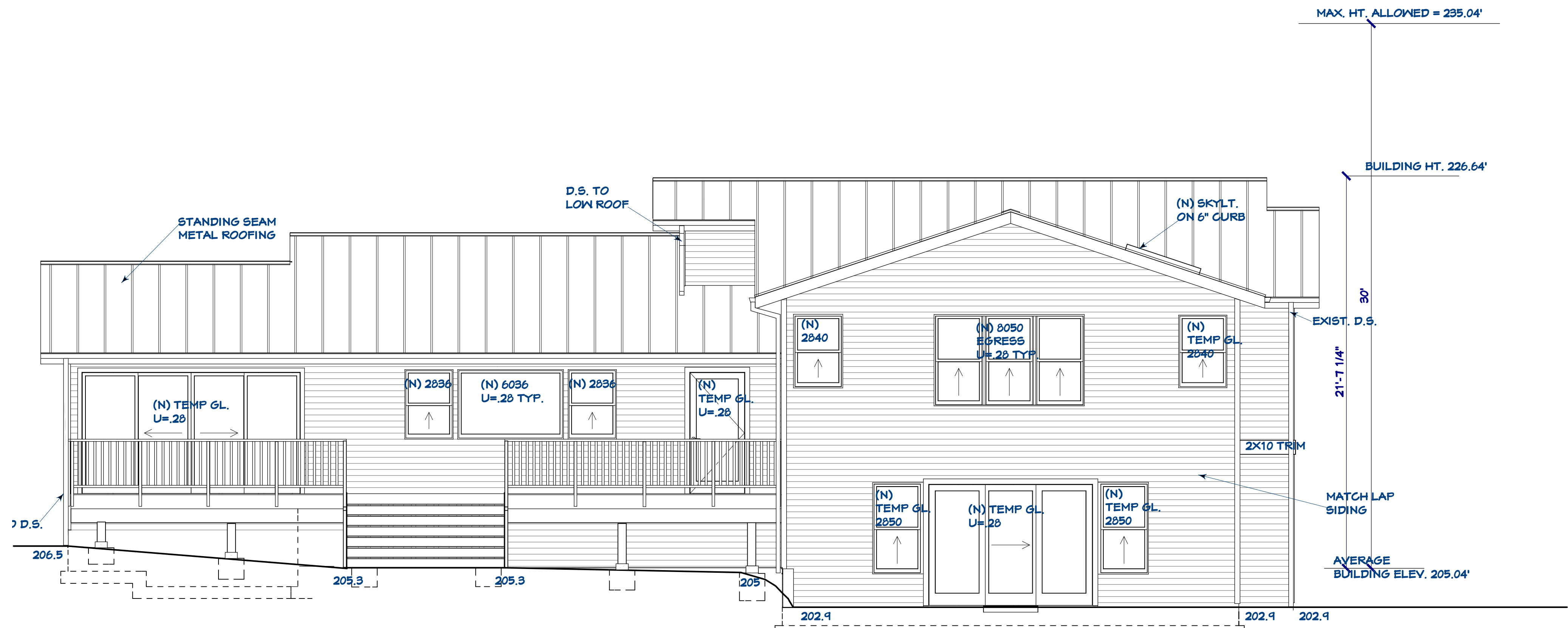
UPPER FLOOR FRAMING
BUILDING SECTION A-A
BUILDING SECTION B-B
BUILDING SECTION C-C

SHEET **5**
OF 8 SHEETS

DATE 4-5-23



REVISED WEST ELEVATION
1/4" = 1'-0"



REVISED EAST ELEVATION
1/4" = 1'-0"

REVISIONS

CONSULTANTS

CK ENGINEERING LLC
206 417 0670

REGISTERED ARCHITECT
CYNTHIA BASSETT LARSEN
STATE OF WASHINGTON

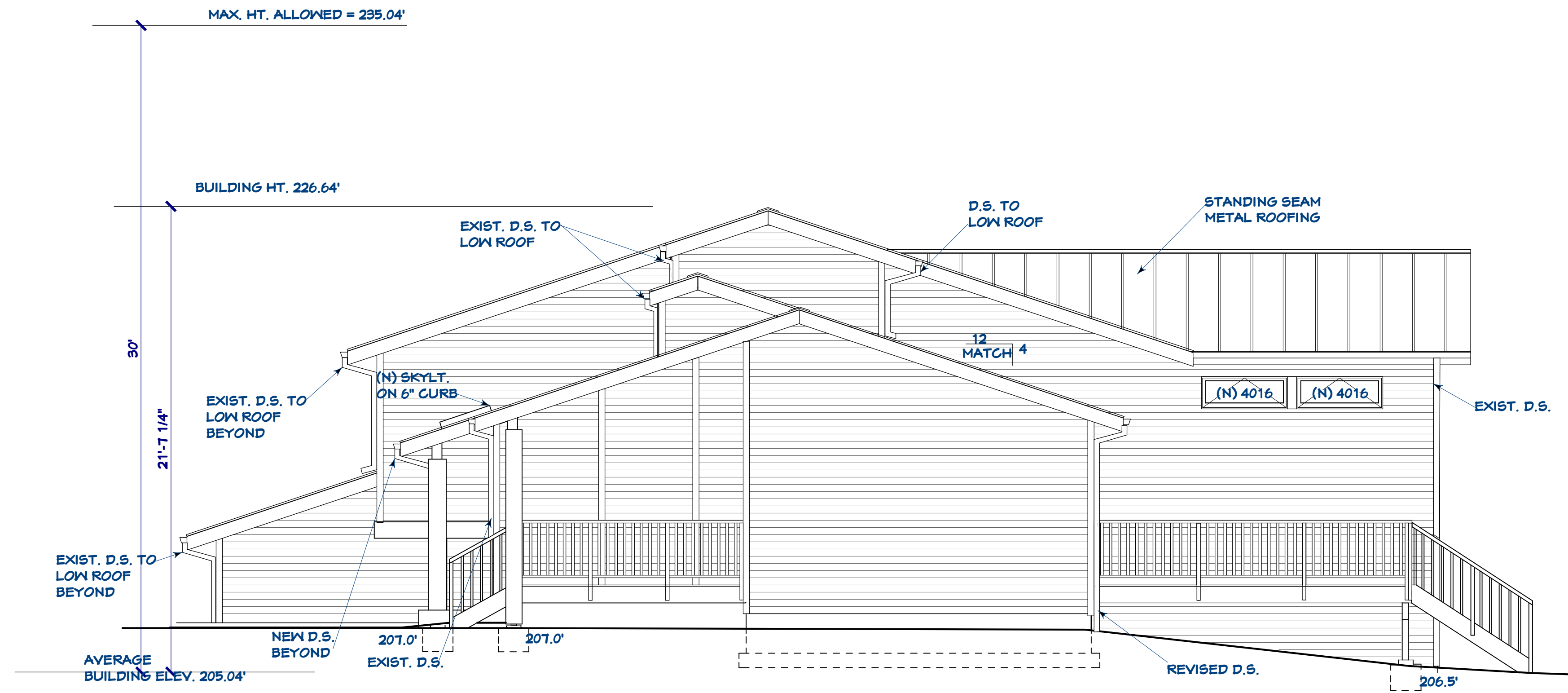
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BASSETT LARSEN DESIGN LLC
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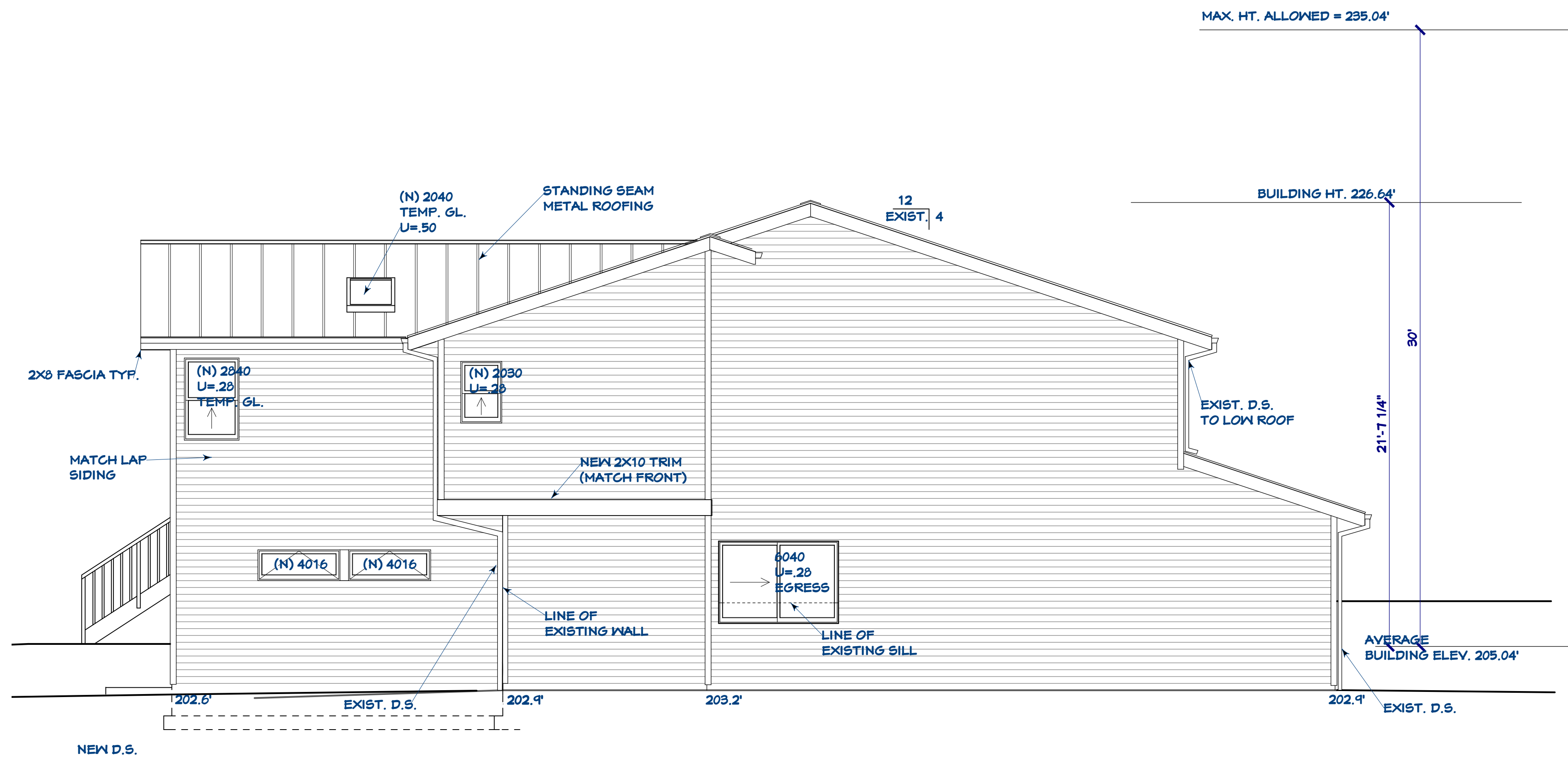
SHEET TITLE
REVISED WEST ELEVATION
REVISED EAST ELEVATION

SHEET 7
OF 8 SHEETS

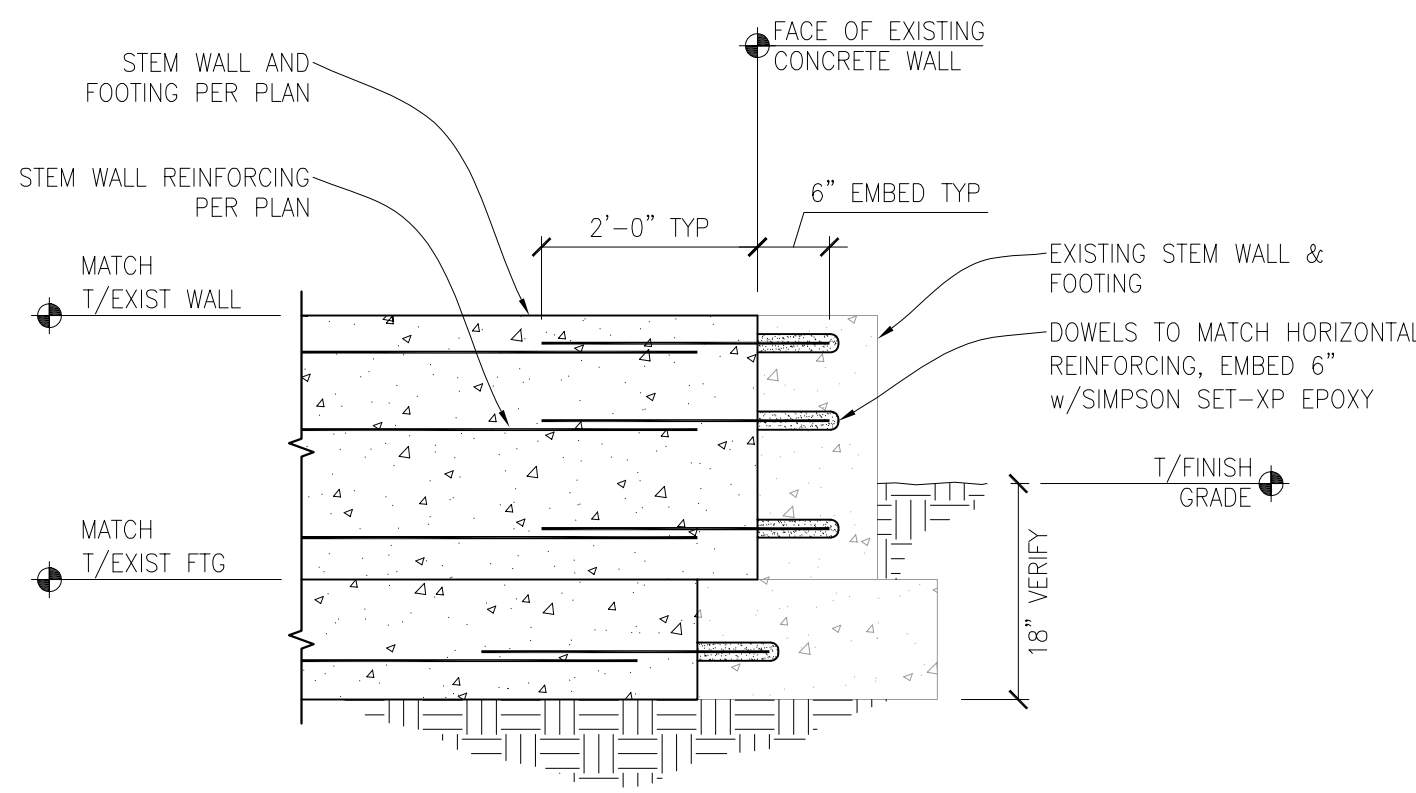
DATE 4-5-23



REVISED SOUTH ELEVATION
1/4" = 1'-0"



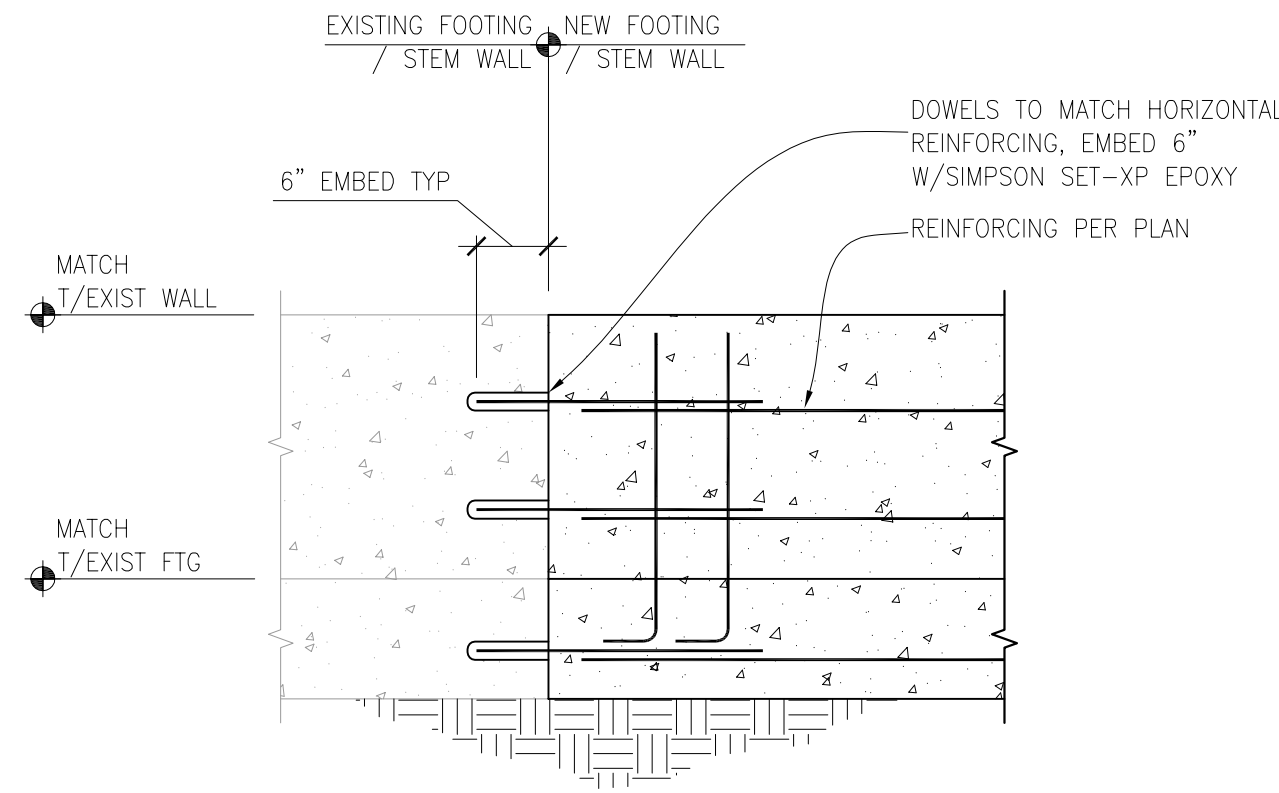
REVISED NORTH ELEVATION
1/4" = 1'-0"



NEW FOUNDATION CONNECTION TO EXISTING

SCALE: 3/4" = 1'-0"

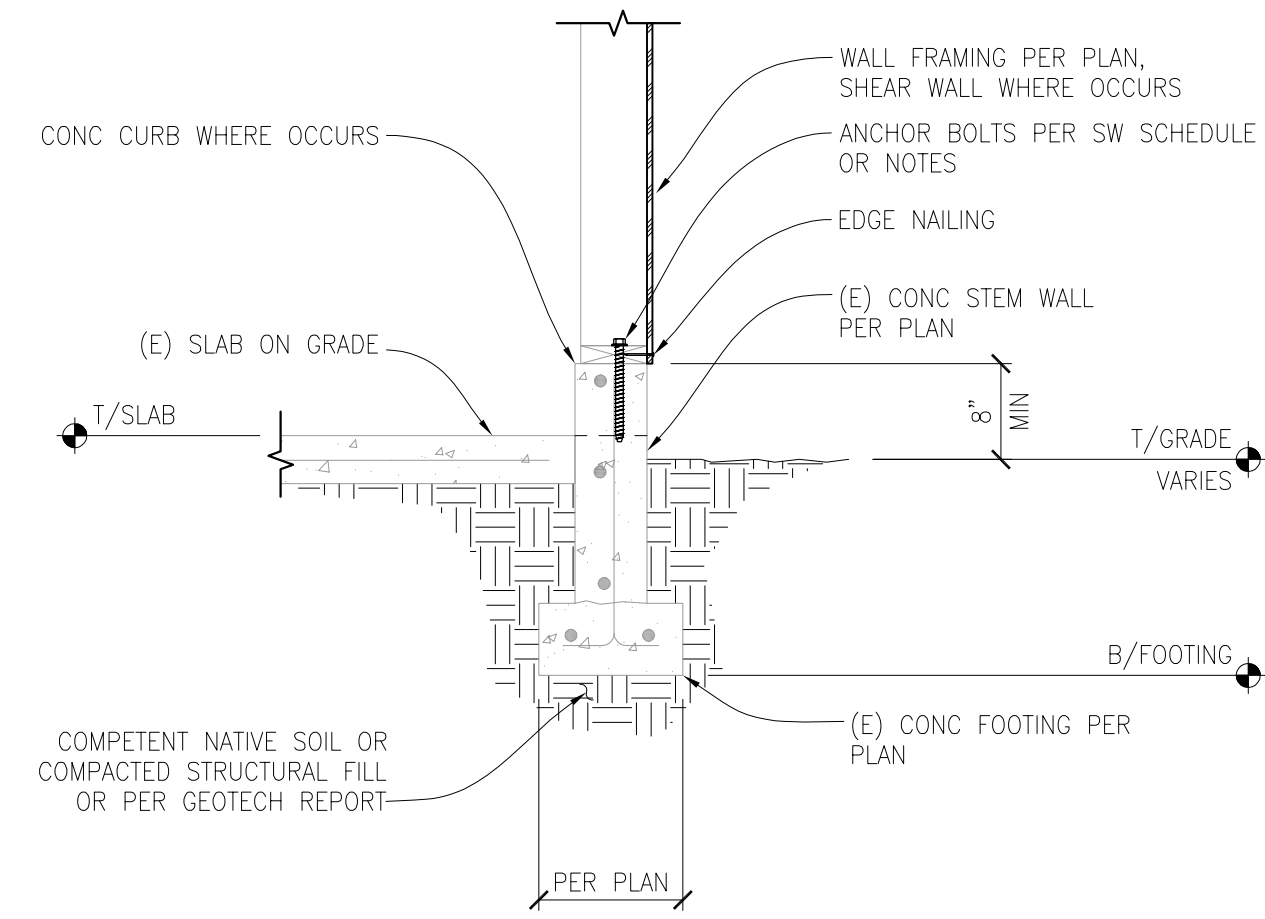
1



NEW FOUNDATION CONNECTION TO EXISTING

SCALE: 3/4" = 1'-0"

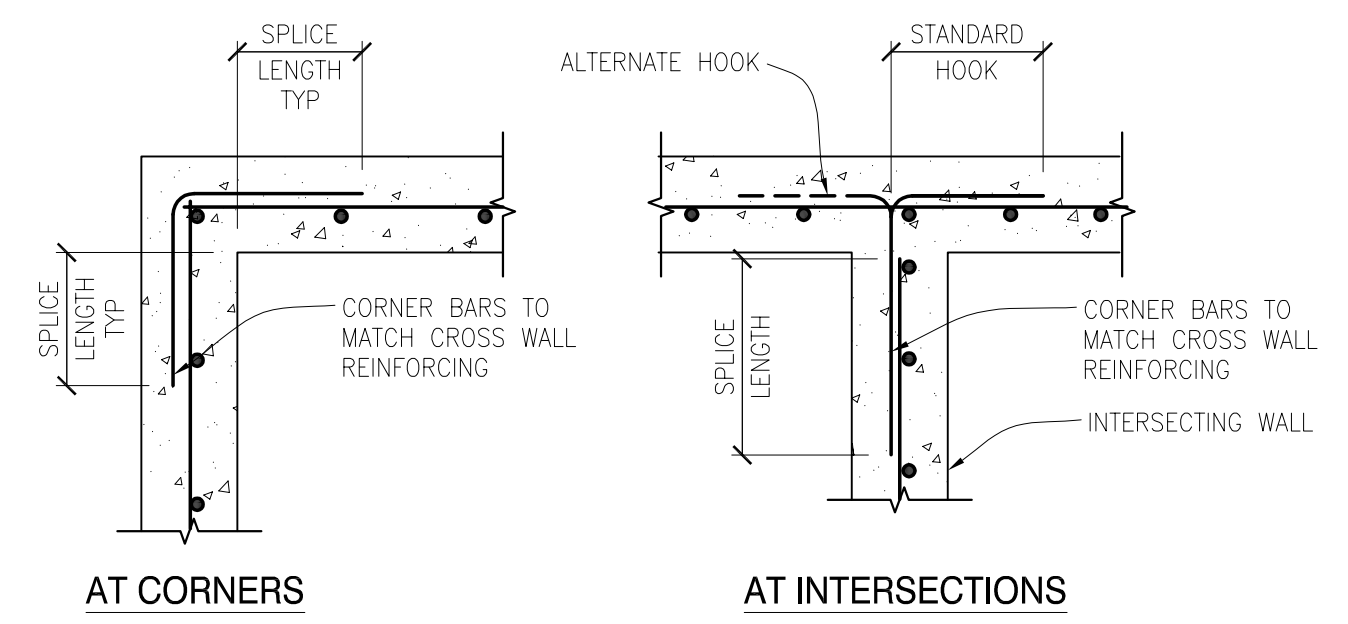
2



TYPICAL FOUNDATION FOOTING AND STEM WALL WITH SLAB ON GRADE

SCALE: 3/4" = 1'-0"

3



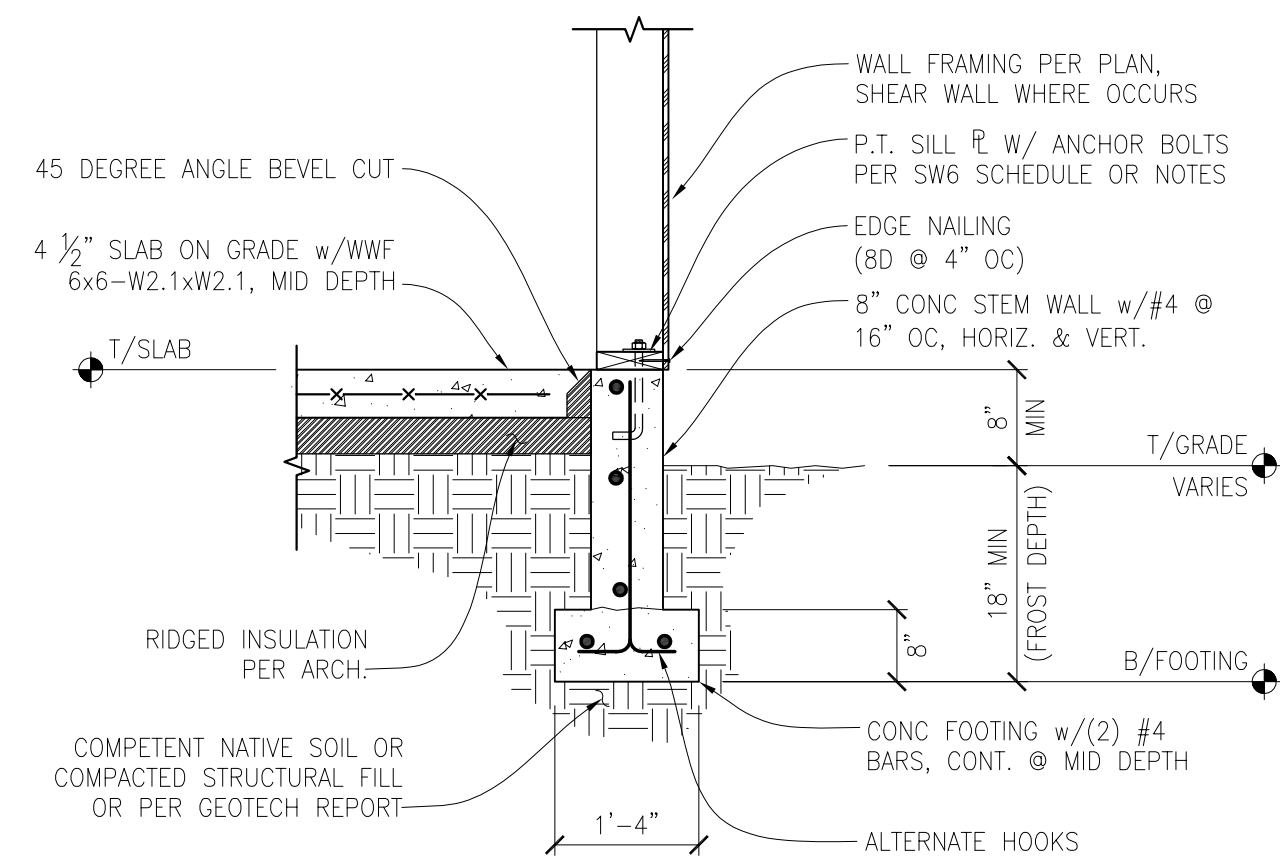
NOTES:
1. WALL SIZE & REINFORCING PER PLAN.
2. CORNER BARS SIZE & SPACING TO MATCH HORIZONTAL REINFORCING.

SPLICE LENGTH	
BAR	LENGTH
#4	28"
#5	36"

TYPICAL CORNER BARS AT CONCRETE WALLS - SINGLE MAT

SCALE: N.T.S.

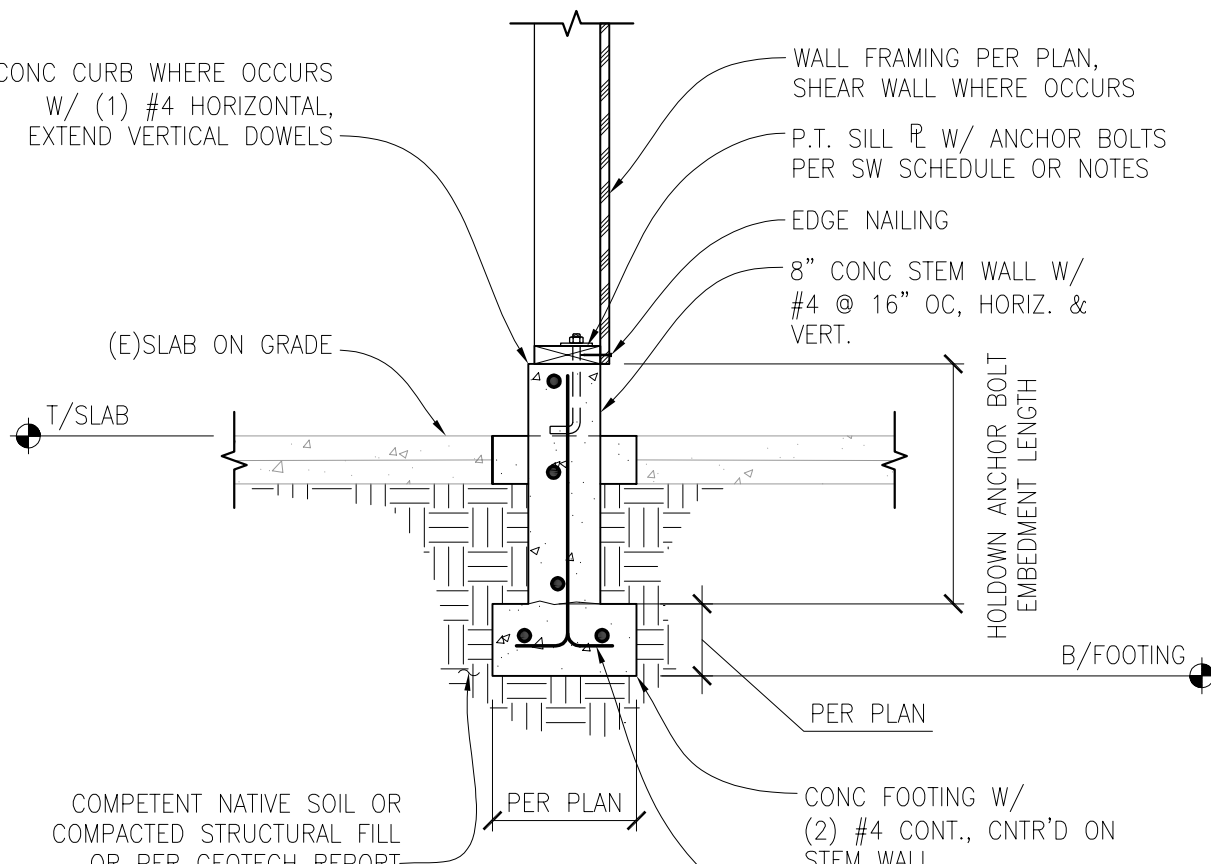
4



TYPICAL FOUNDATION FOOTING AND STEM WALL WITH SLAB ON GRADE

SCALE: 3/4" = 1'-0"

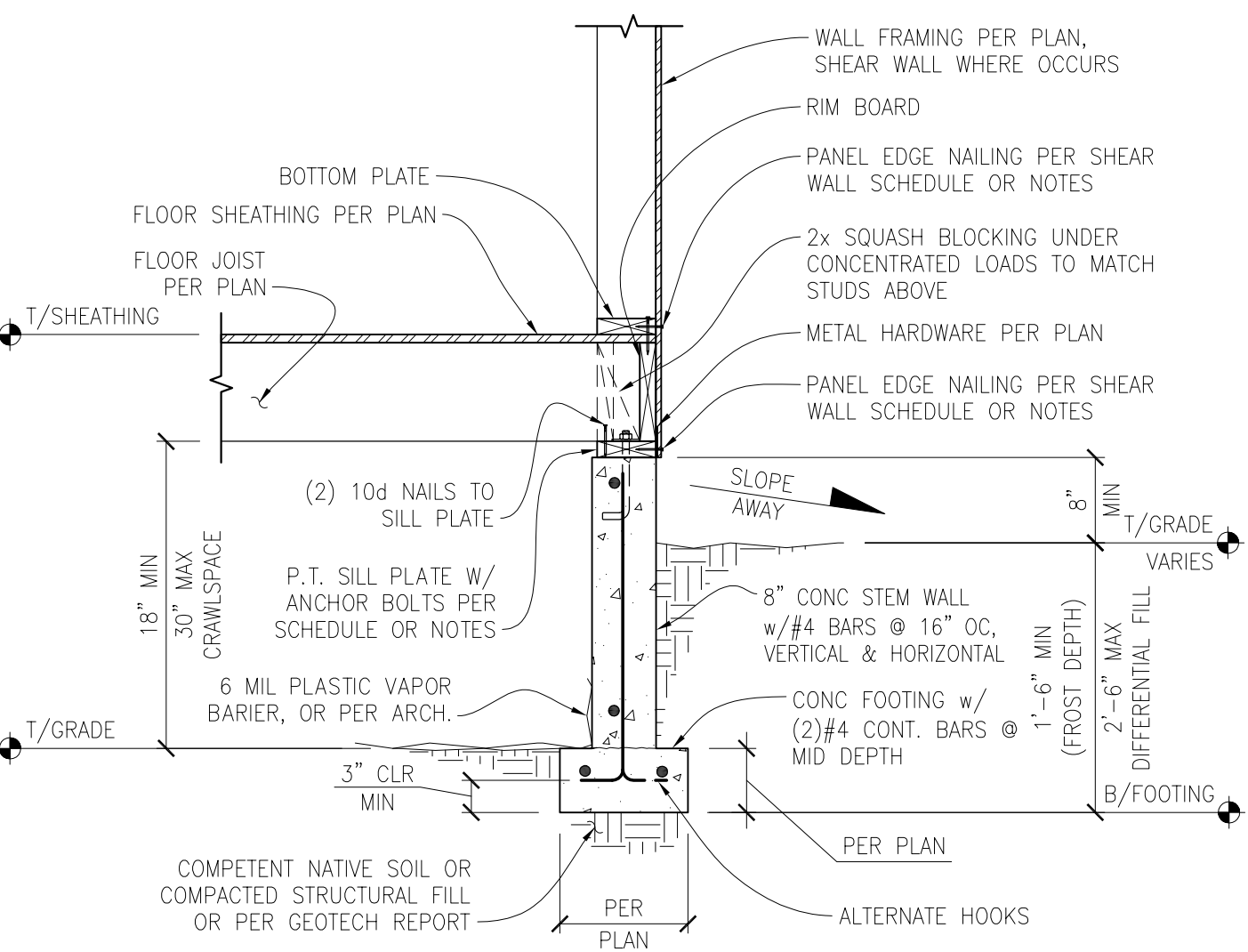
5



INTERIOR FOUNDATION FOOTING AND STEM WALL WITH SLAB ON GRADE

SCALE: 3/4" = 1'-0"

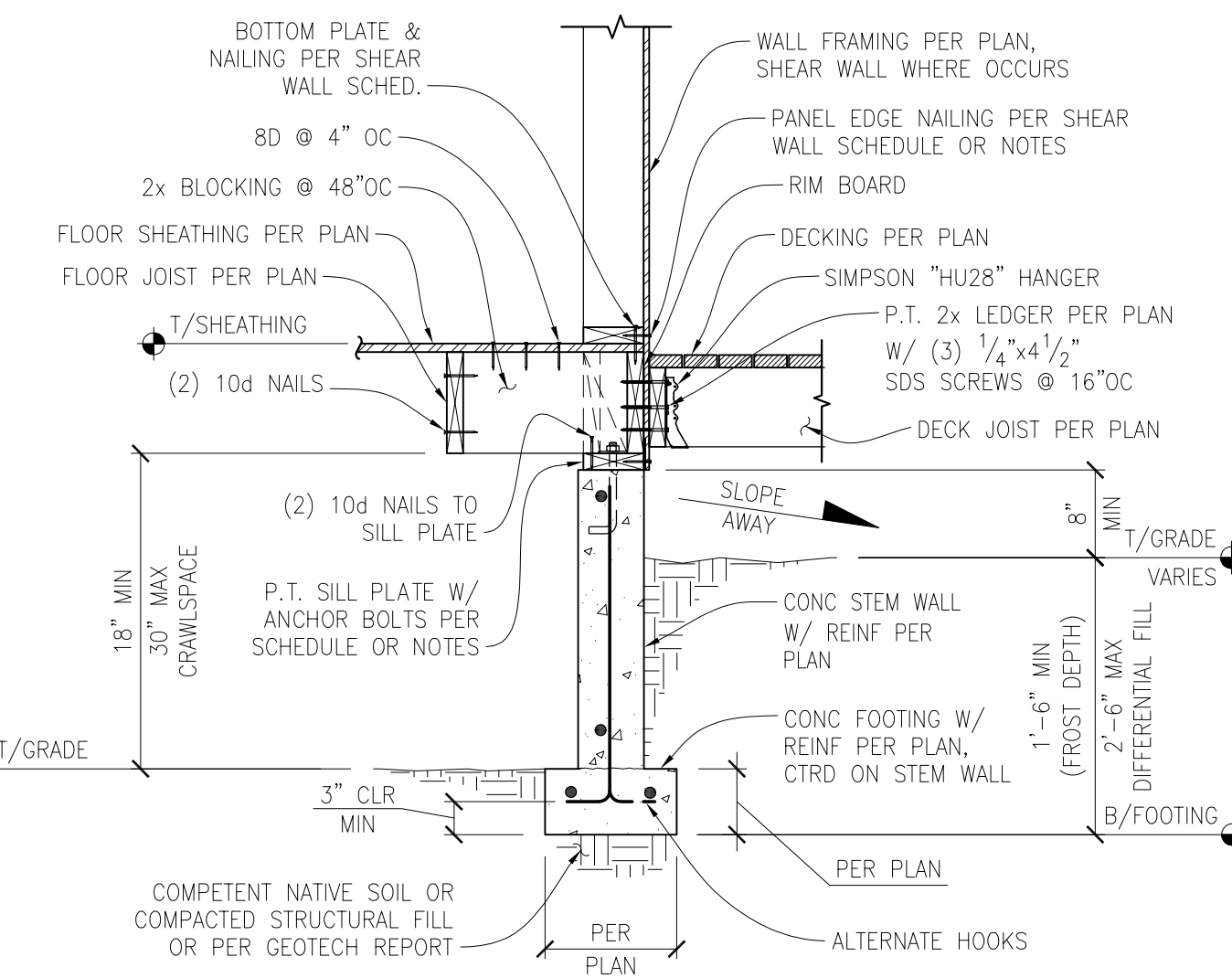
6



CRAWL SPACE EXTERIOR SHEAR WALL WITH JOISTS PERPENDICULAR

SCALE: 3/4" = 1'-0"

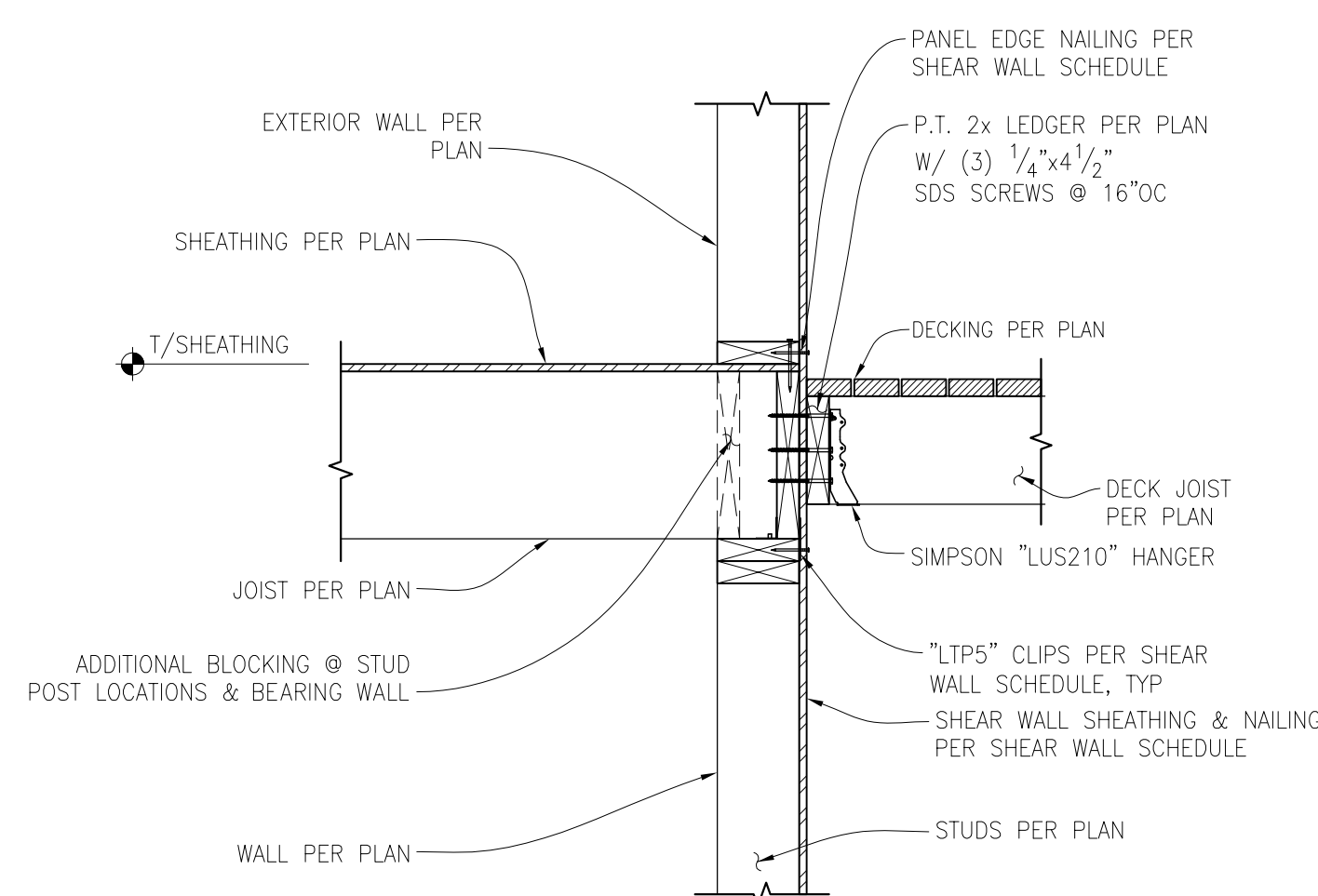
7



DECK LEDGER CONNECTION

SCALE: 3/4" = 1'-0"

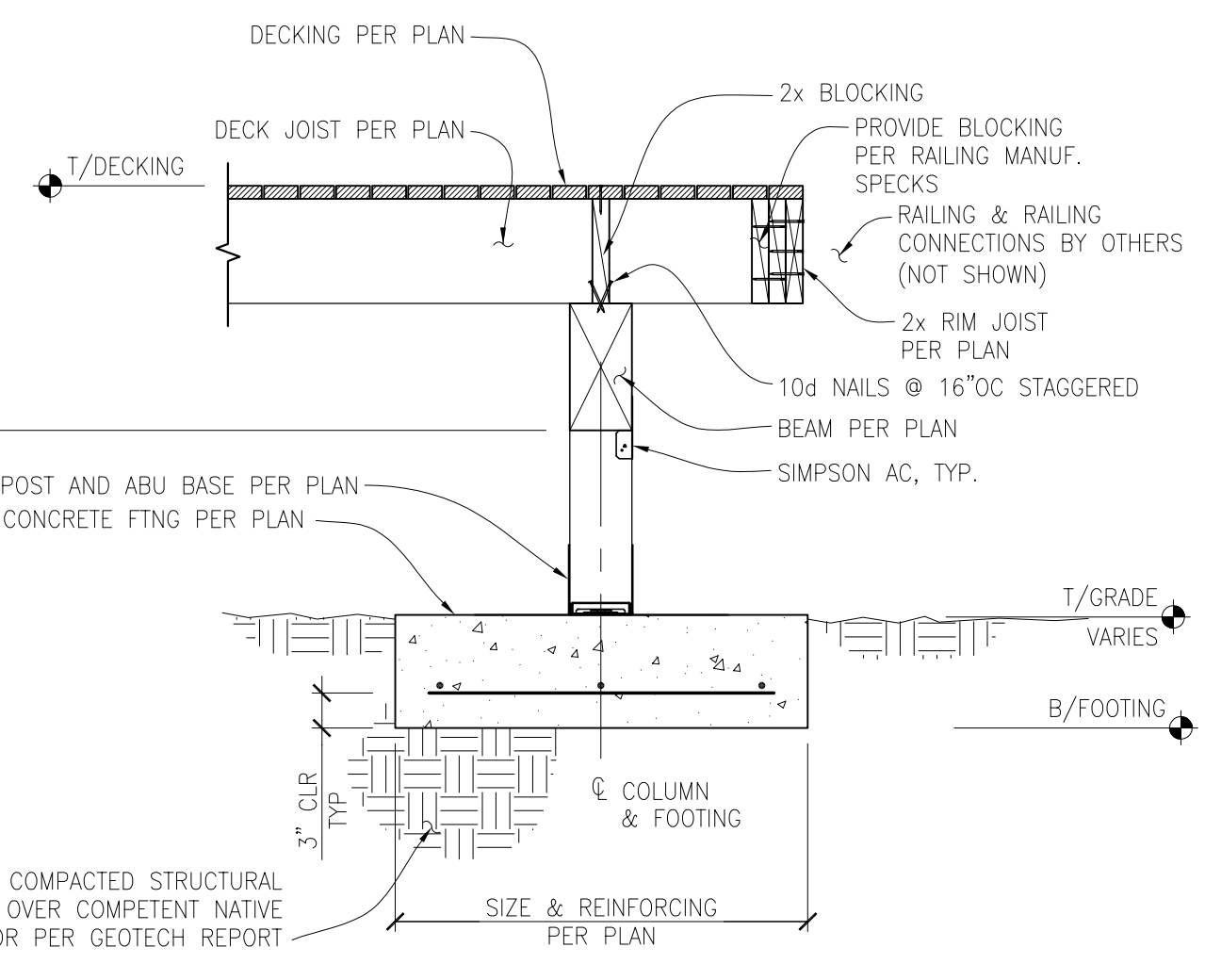
8



LEDGER CONNECTION

SCALE: 1" = 1'-0"

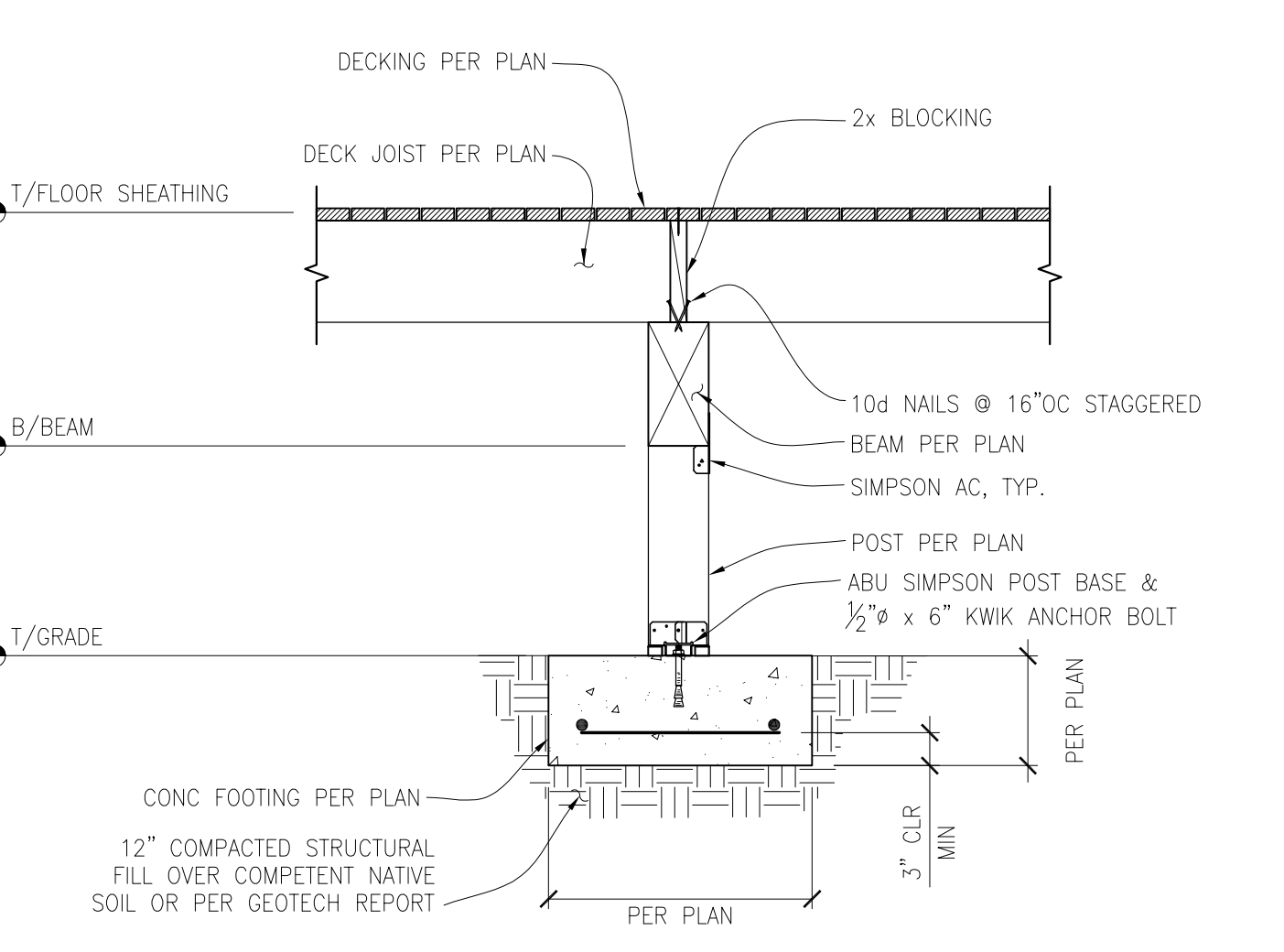
9



BEAM/POST/FTNG DECK CONNECTION

SCALE: 3/4" = 1'-0"

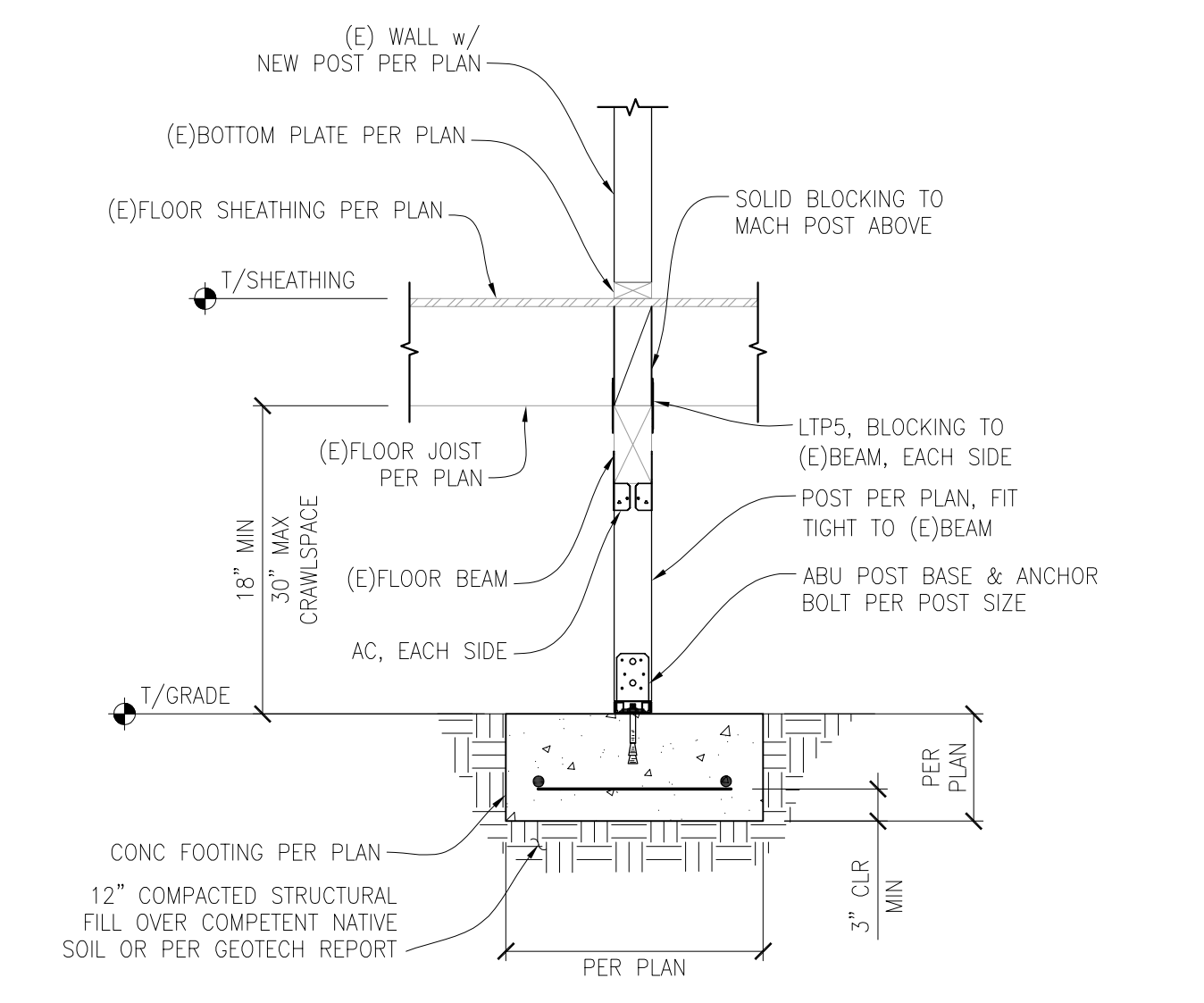
10



BEAM/POST/FTNG DECK CONNECTION

SCALE: 3/4" = 1'-0"

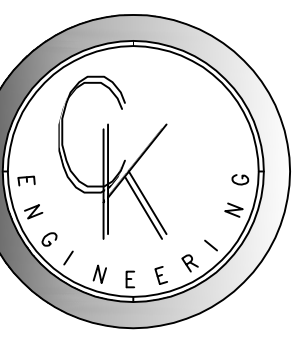
11



ABU POST TO FOOTING CONNECTION

SCALE: 3/4" = 1'-0"

12



CK ENGINEERING LLC
PROFESSIONAL STRUCTURAL ENGINEERING SERVICES
19105 34th Ave W, Suite 205
Lynnwood, WA 98036
Phone: (206) 417-0670



8/25/2023

MOSS RESIDENCE
6550 80TH AVE SE
MERCER ISLAND, WA 98040

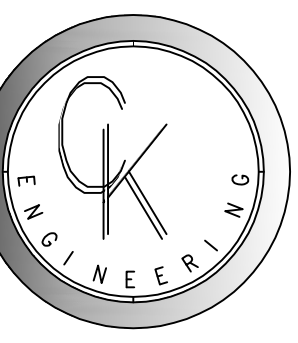
REVISION #	DATE	DESCRIPTION

Drawn By: PK
Checked By: SC
Date: 8-25-2023

CK JOB NO.
23-031

STRUCTURAL
DETAILS

S-2.0



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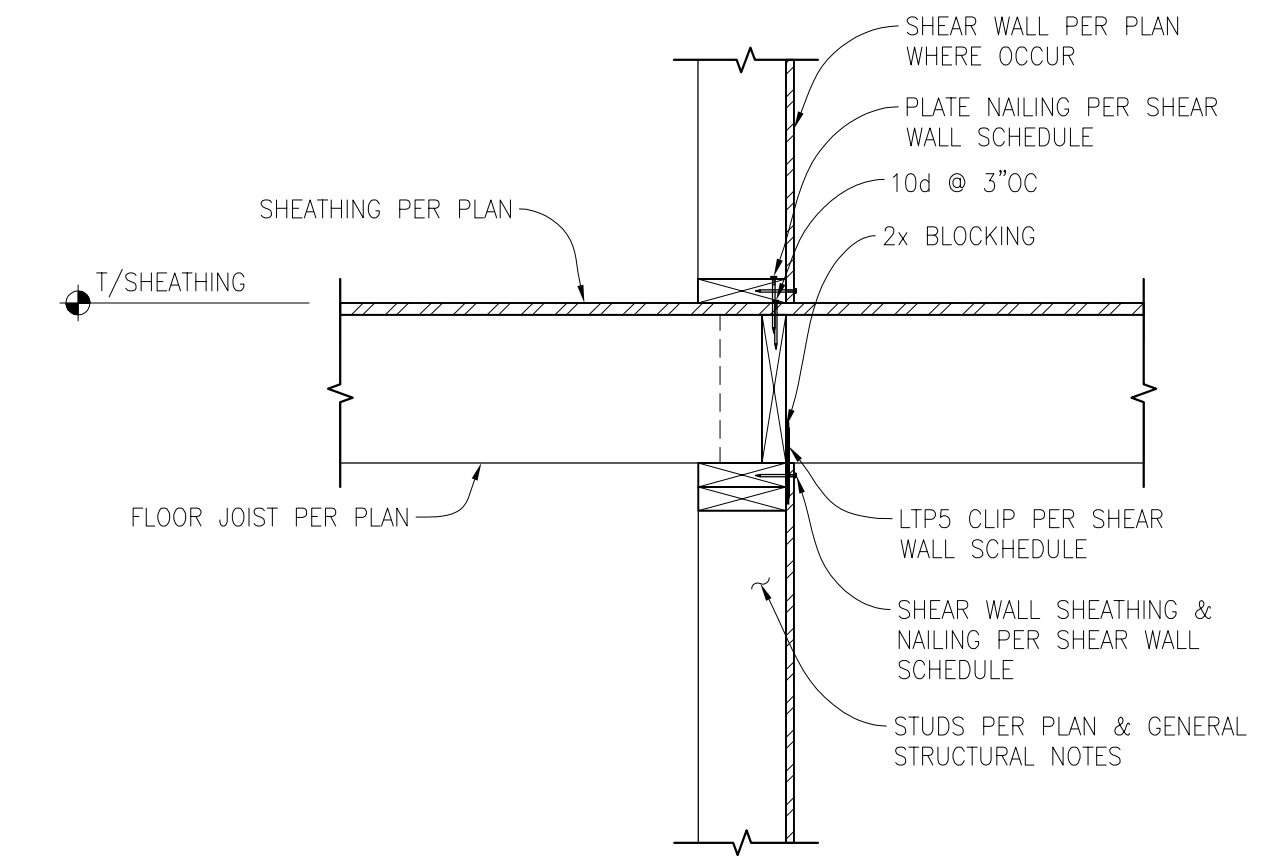
REVISION #	DATE	DESCRIPTION

Drawn By: PK
 Checked By: SC
 Date: 8-25-2023

CK JOB NO.
23-031

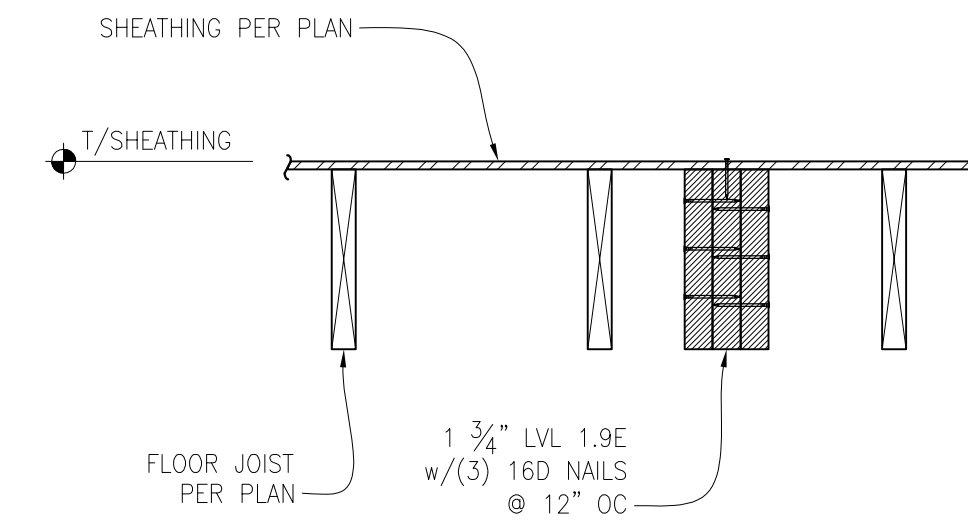
STRUCTURAL
 DETAILS

S-3.0



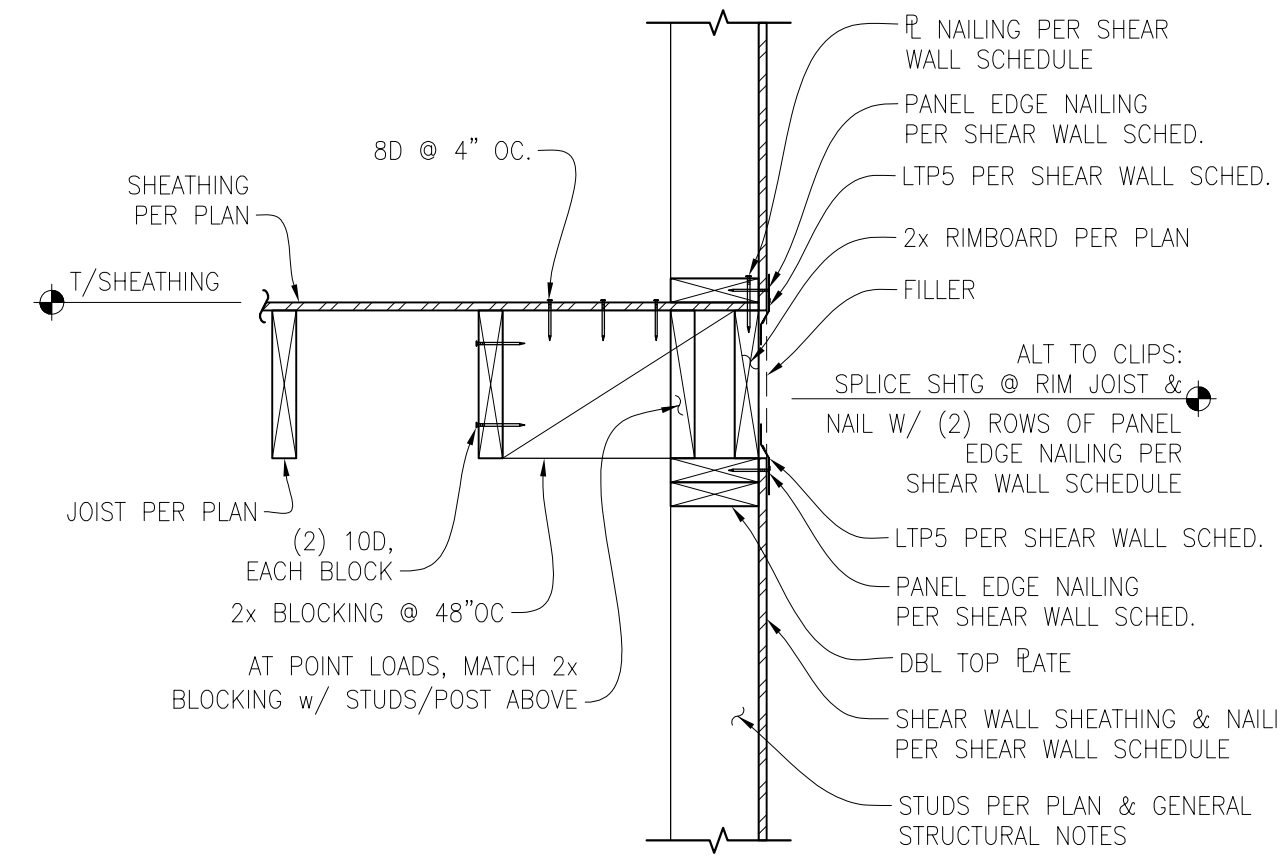
FLOOR JOIST PERP. AT INTERIOR BEARING/SHEAR WALL

SCALE: 1" = 1'-0"



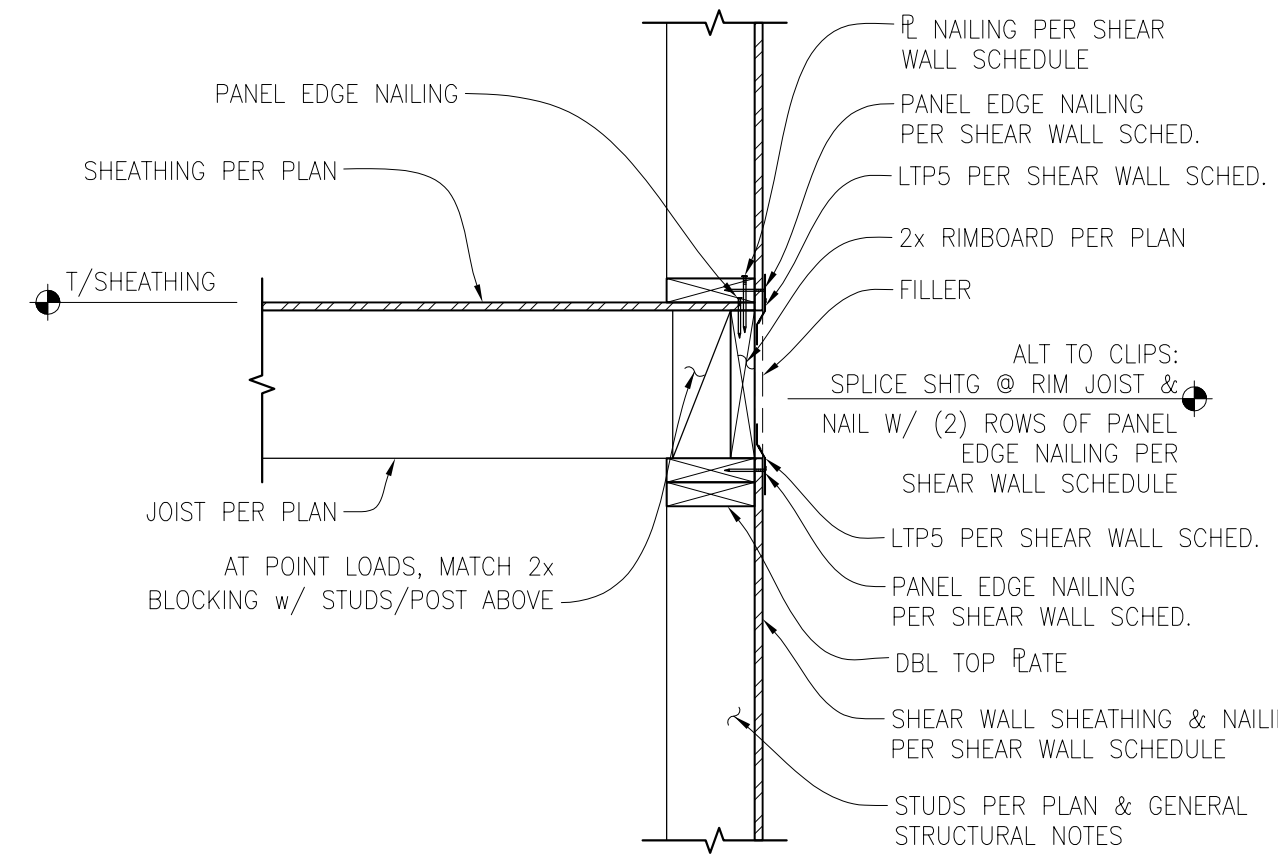
BEAM PARALLEL WITH FLOOR JOIST

SCALE: 1" = 1'-0"



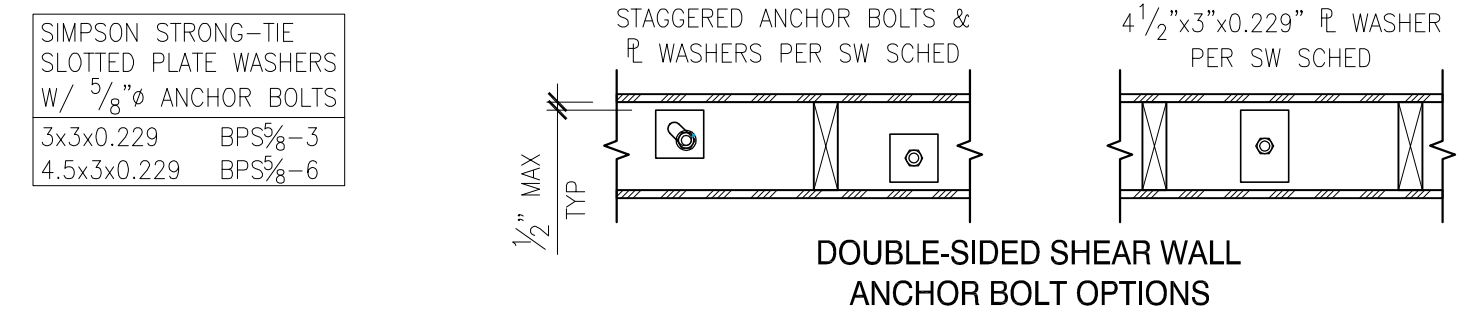
FLOOR JOIST TO SHEAR WALL CONNECTION (JOIST PARALLEL)

SCALE: 1" = 1'-0"



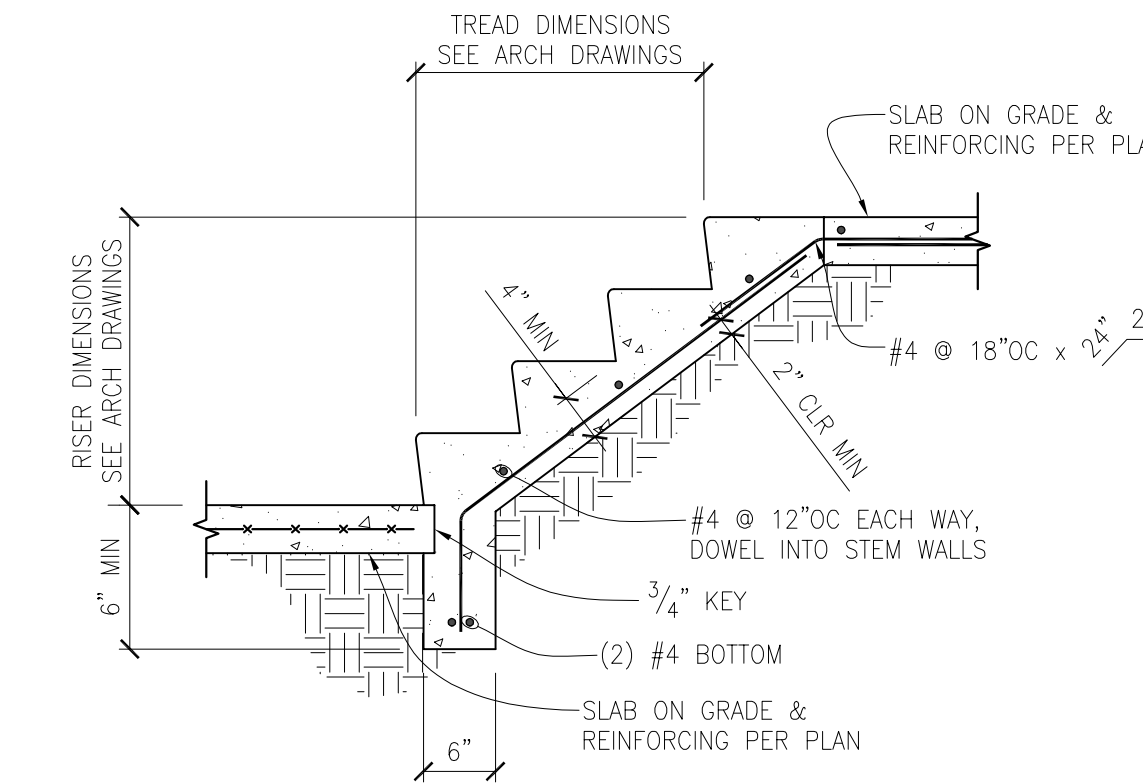
FLOOR JOIST TO SHEAR WALL CONNECTION (JOIST PERPENDICULAR)

SCALE: 1" = 1'-0"



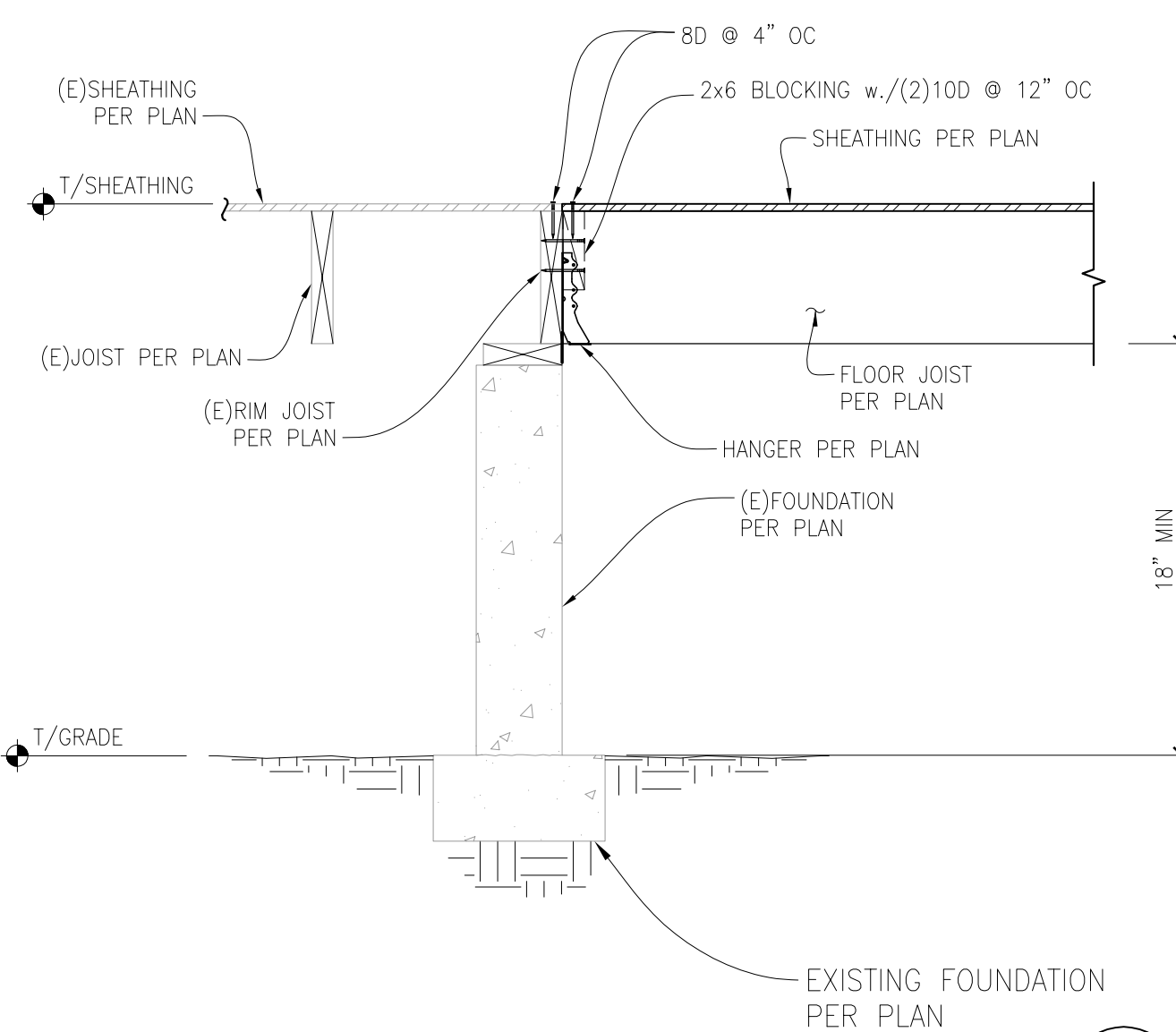
TYPICAL PLAN VIEW - SHEAR WALL HOLDOWNS & ANCHOR BOLTS

SCALE: 1" = 1'-0"



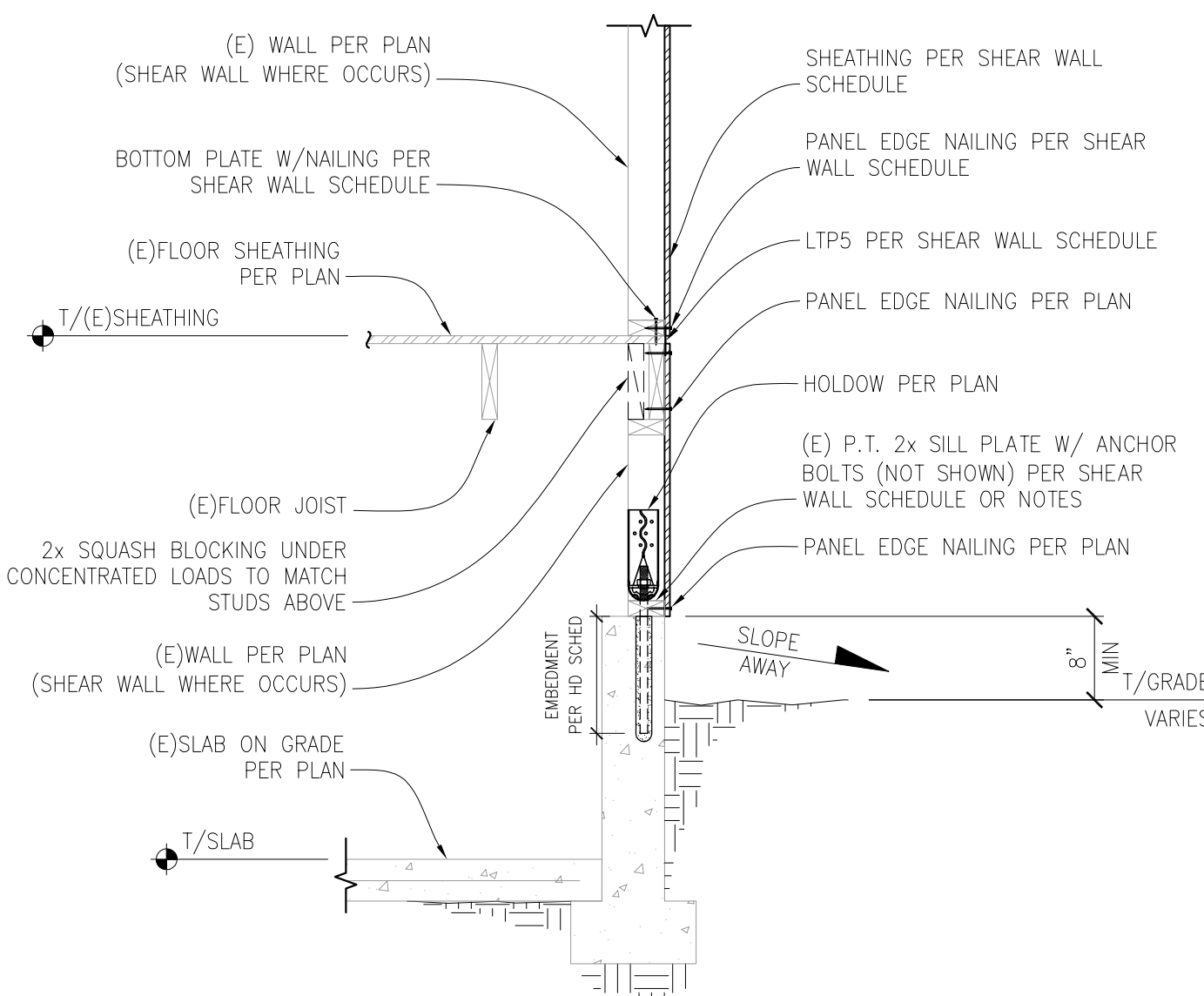
TYPICAL STAIR ON GRADE

SCALE: 3/4" = 1'-0"



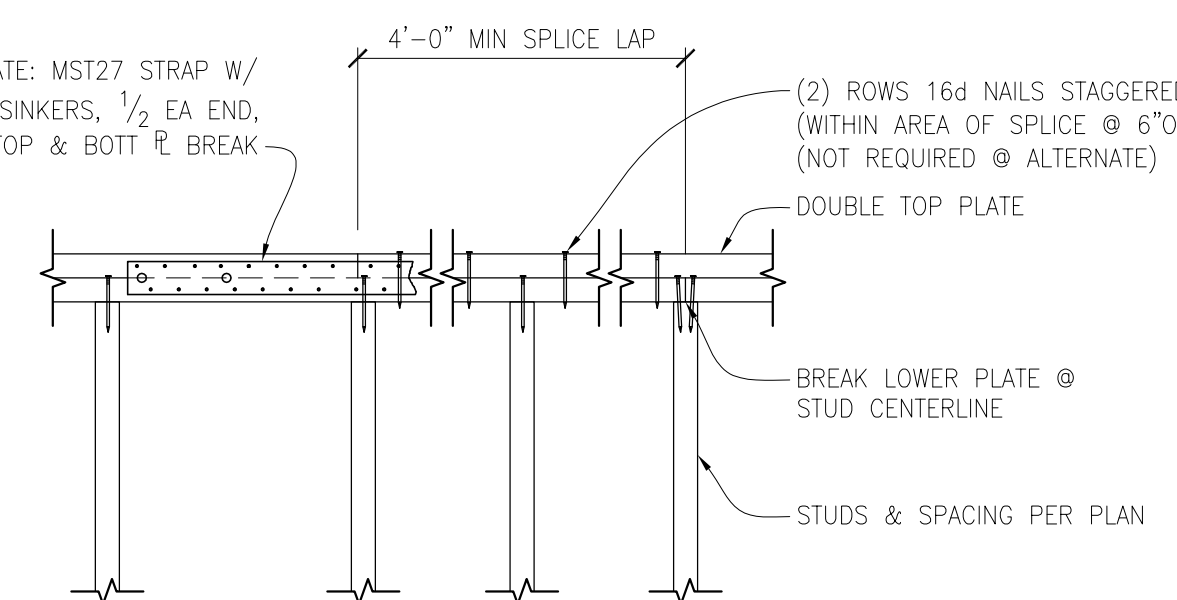
EXISTING TO NEW FLOOR CONNECTION

SCALE: 1" = 1'-0"



UPPER FLOOR SHEAR WALL TO LOWER FLOOR SHEAR WALL CONNECTION

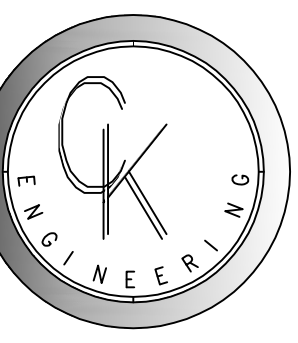
SCALE: 3/4" = 1'-0"



TYPICAL PLATE SPLICE DETAIL

SCALE: N.T.S.

NOTE:
 FLOOR JOISTS NOT SHOWN FOR CLARITY.



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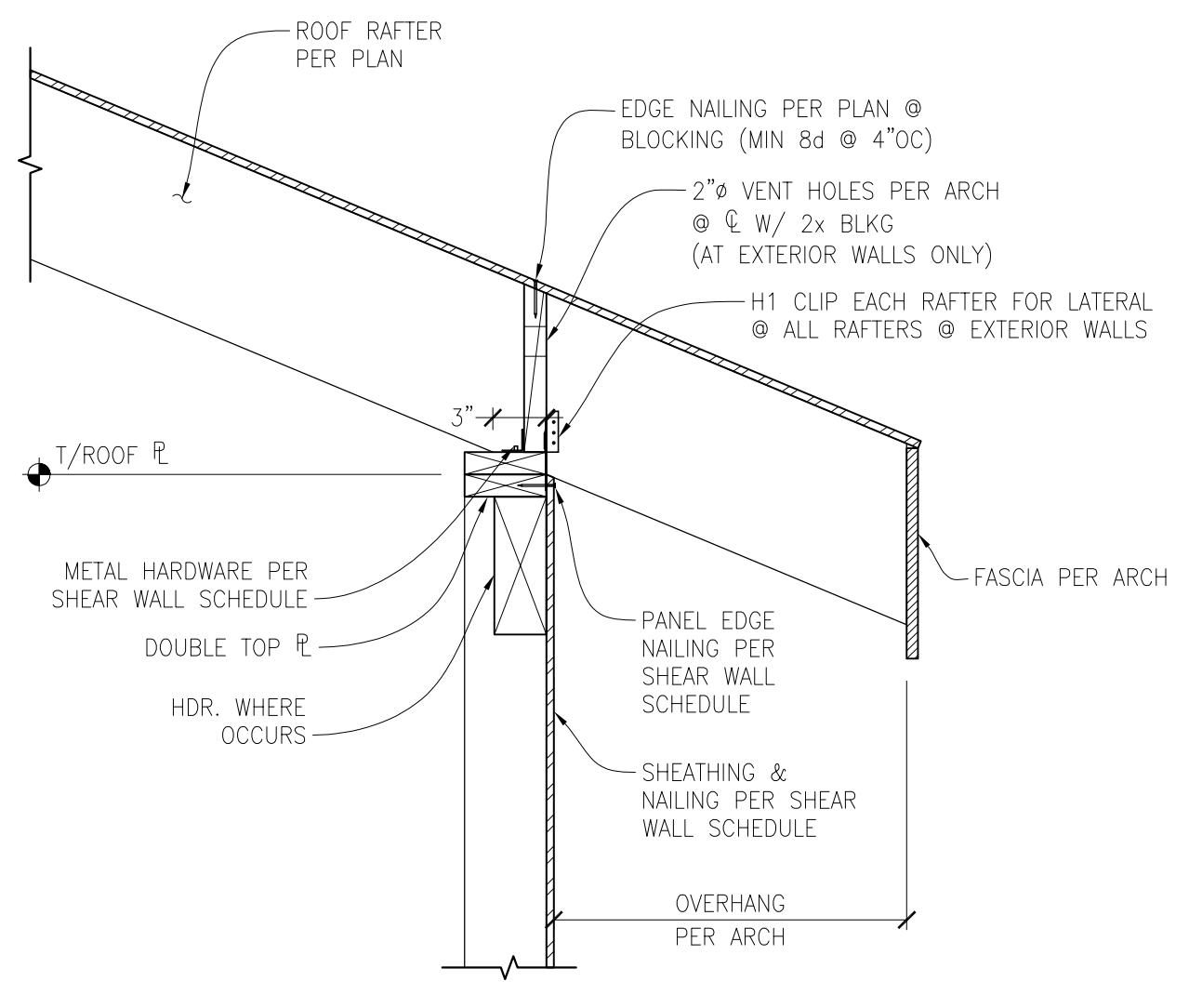
REVISION #	DATE	DESCRIPTION:

Drawn By: PK
 Checked By: SC
 Date: 8-25-2023

CK JOB NO.
23-031

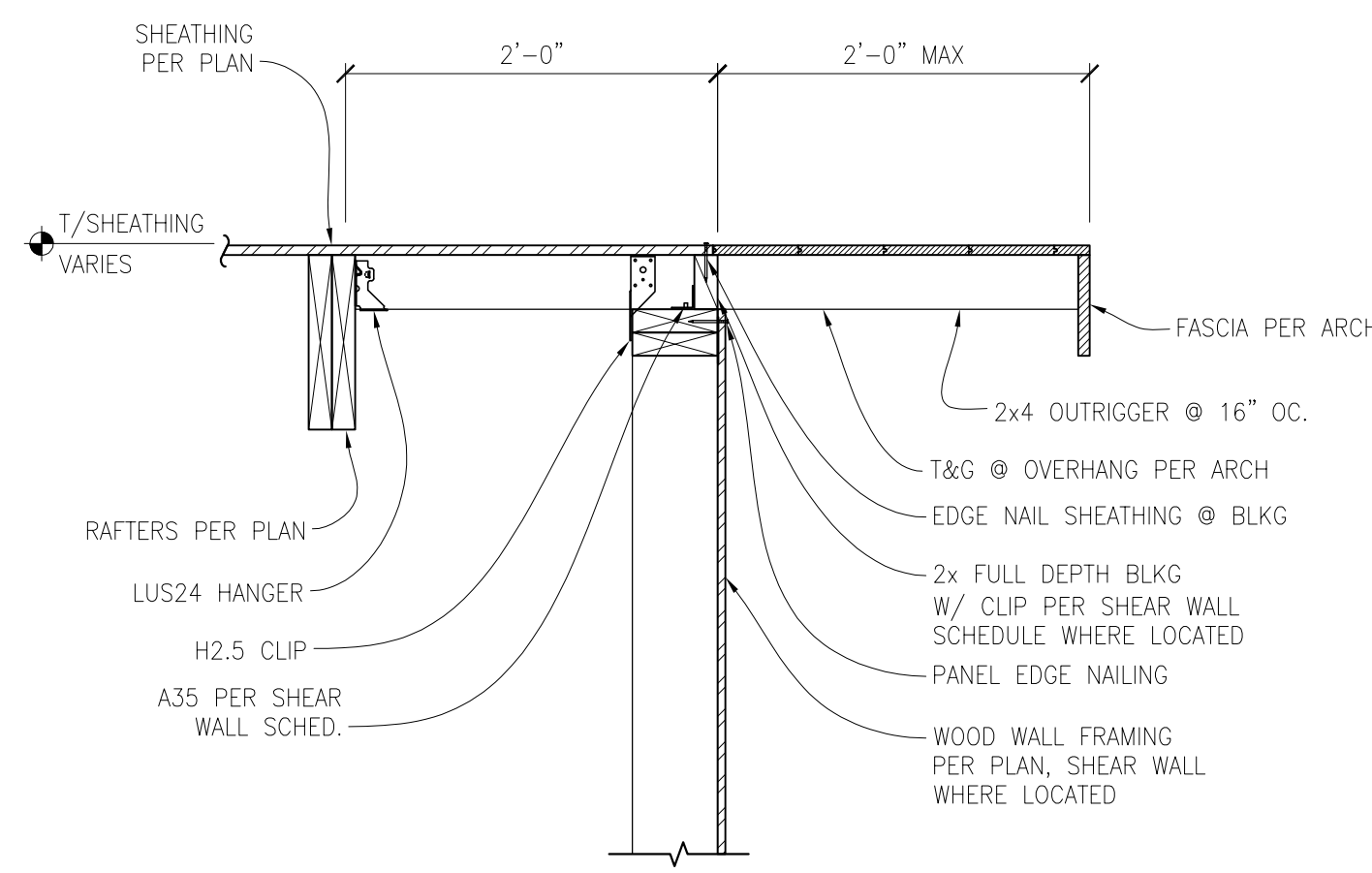
STRUCTURAL
 DETAILS

S-4.0



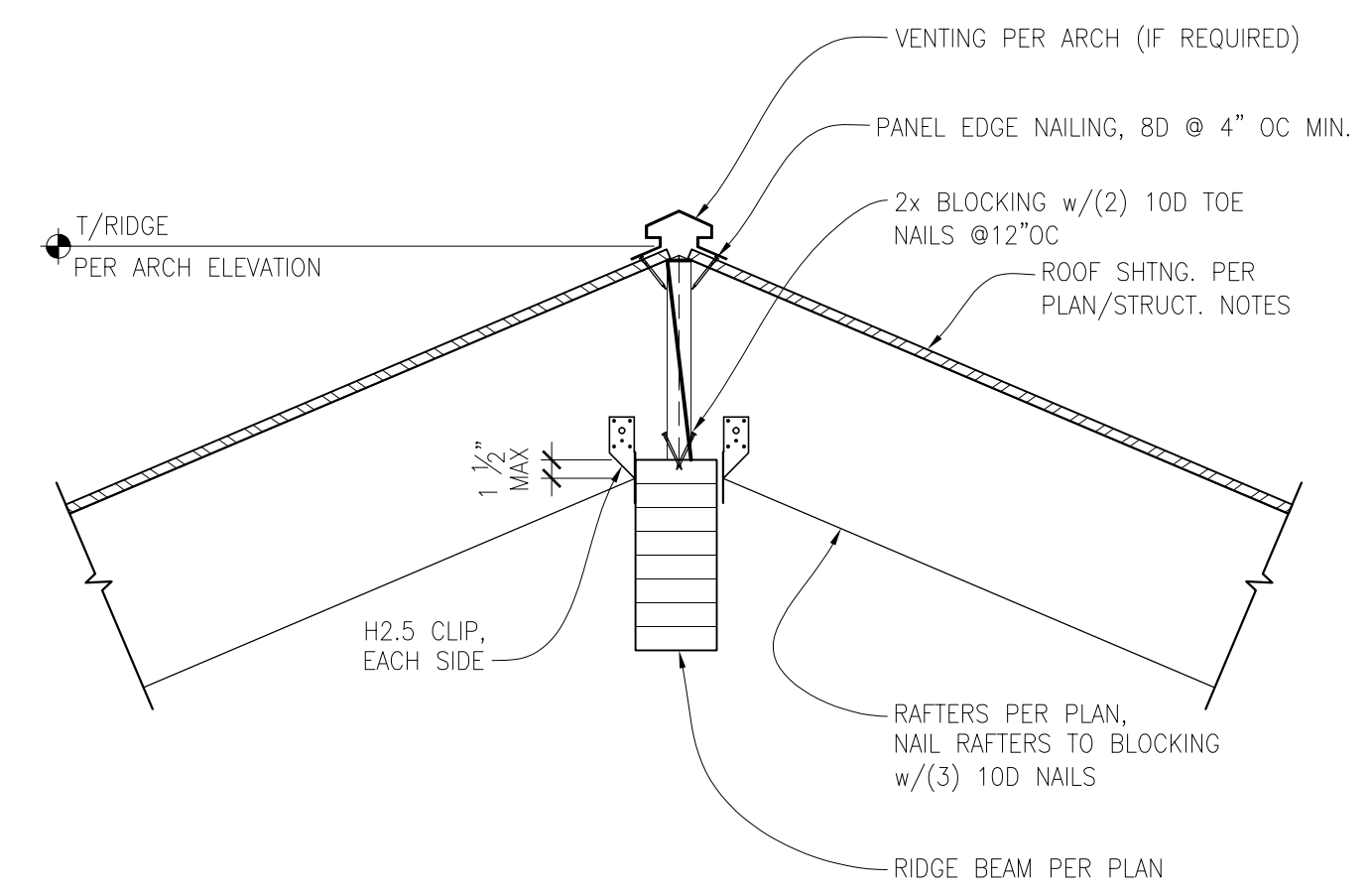
SHEAR WALL PERPENDICULAR TO ROOF RAFTER

SCALE: 1" = 1'-0"



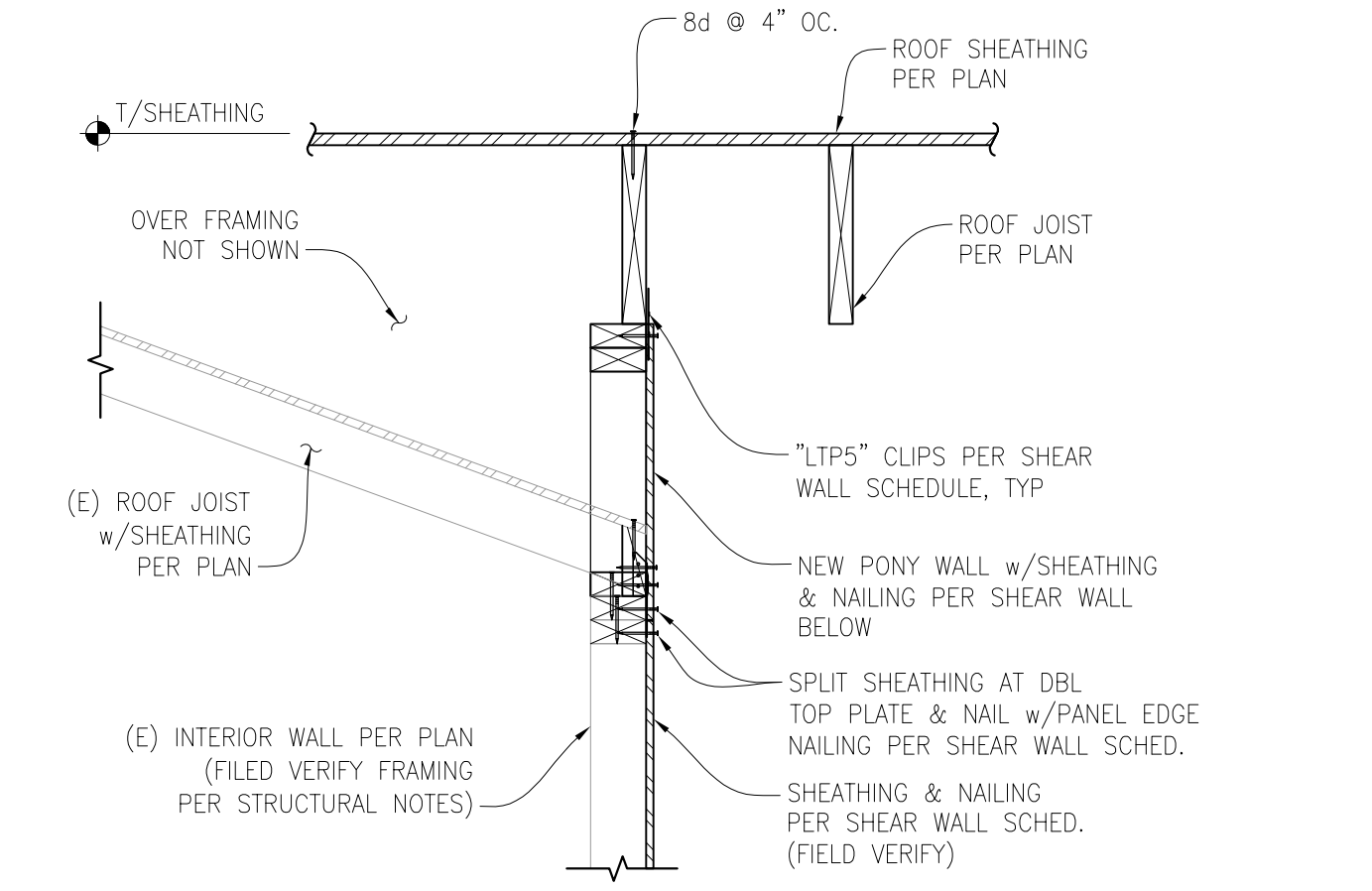
TYPICAL OUTRIGGER AT GABLE END

SCALE: 1" = 1'-0"



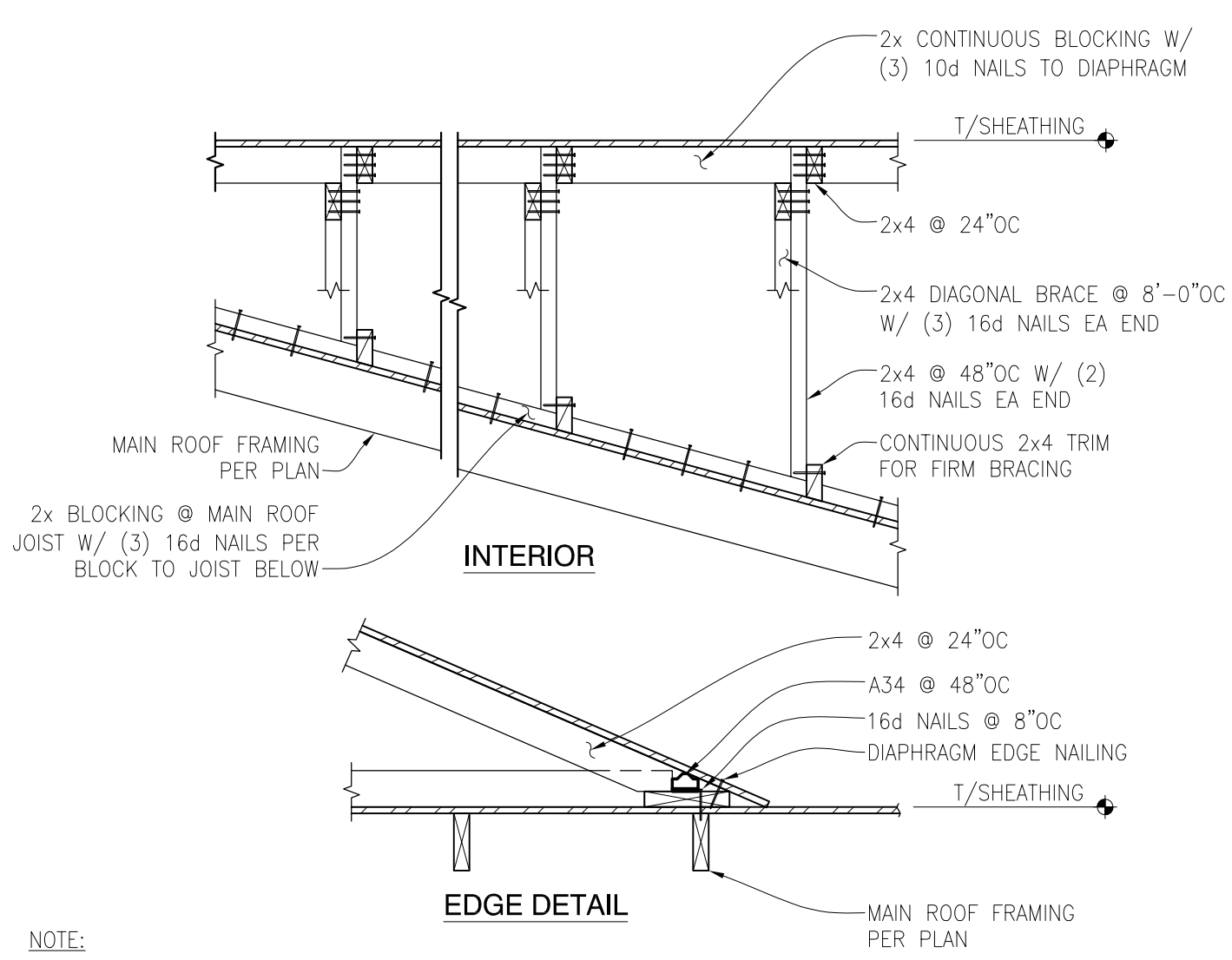
RIDGE BEAM TO RAFTERS CON.

SCALE: 1" = 1'-0"



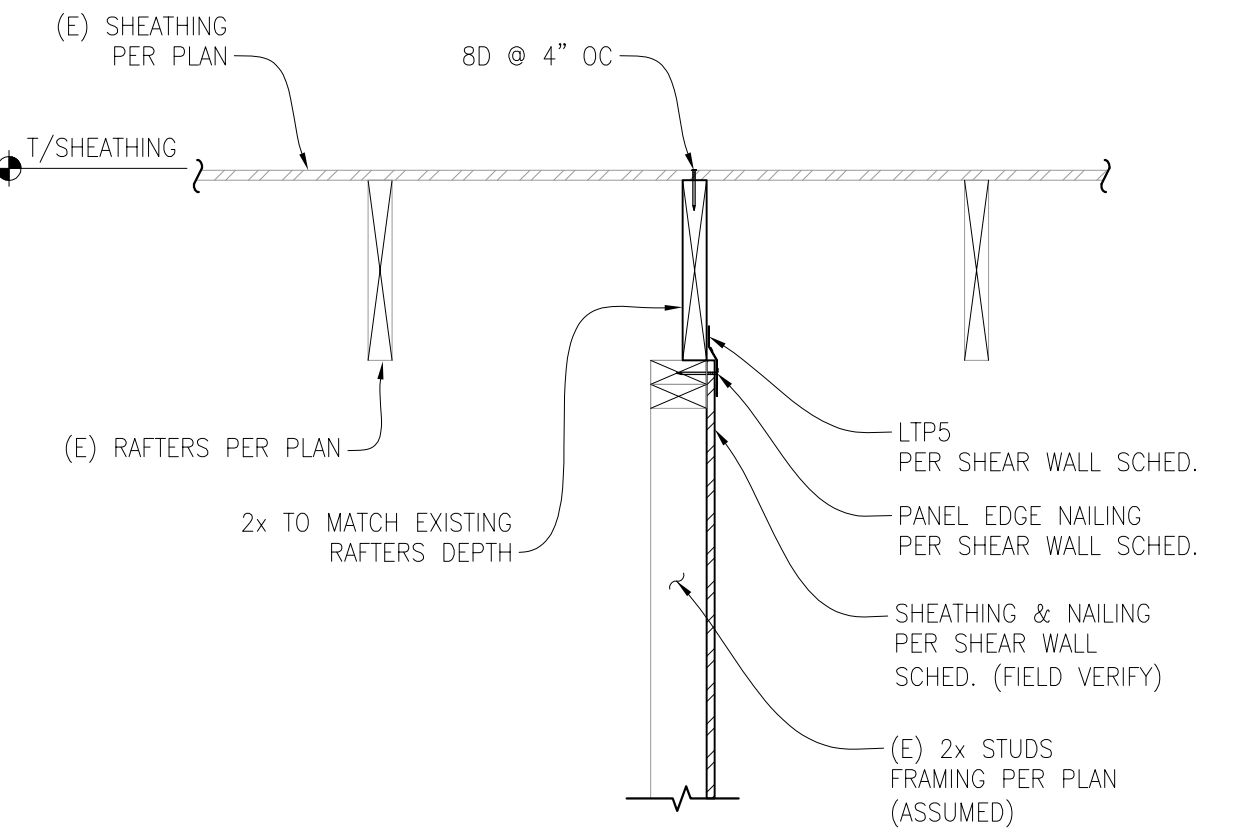
EXISTING ROOF TO NEW ROOF/SHEAR WALL CON.

SCALE: 1" = 1'-0"



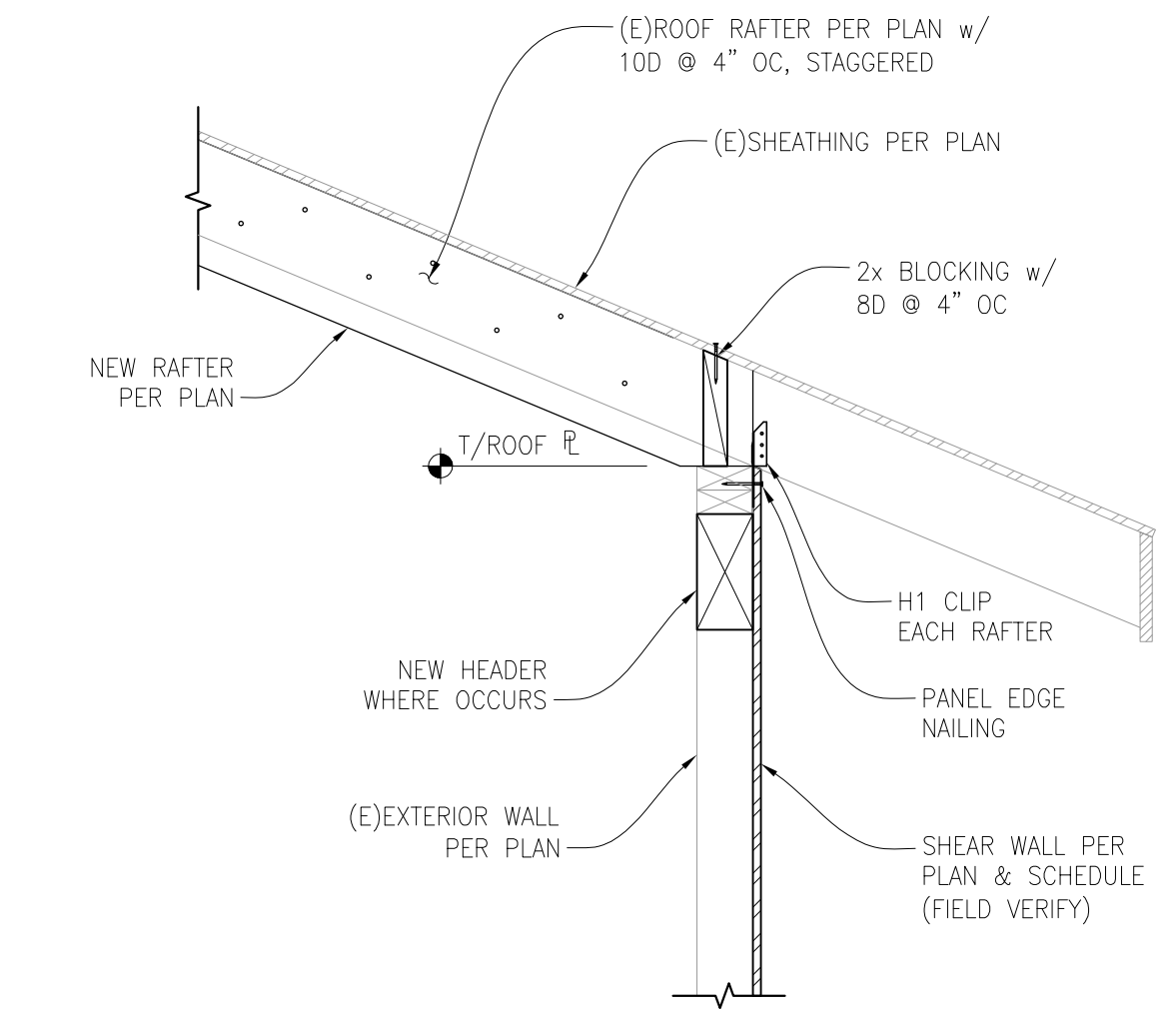
TYPICAL ROOF OVERFRAMING DETAIL

SCALE: N.T.S.



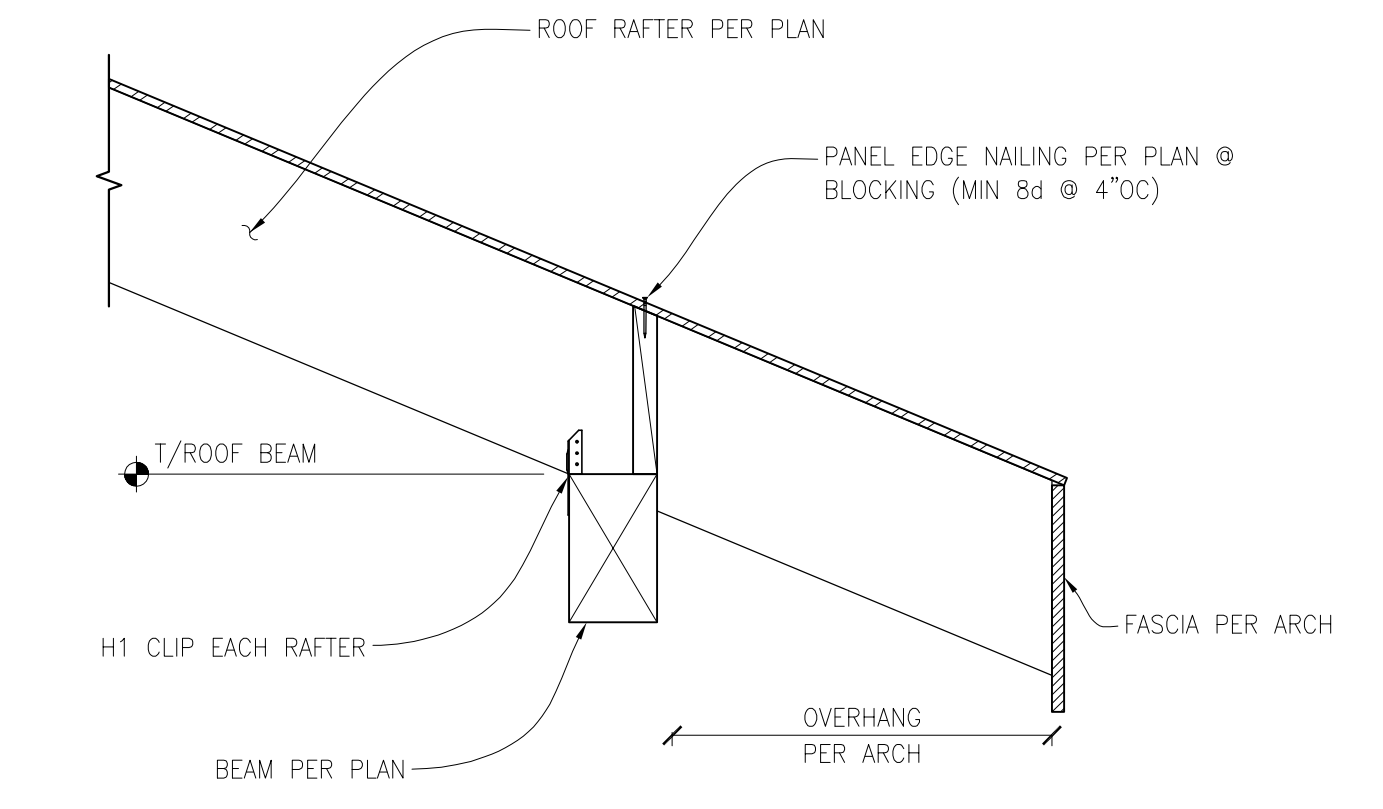
TYP ROOF FRAMING/INTERIOR SHEAR WALL CON.

SCALE: 1" = 1'-0"



NEW RAFTER TO EXISTING RAFTER/SHEAR WALL CONNECTION

SCALE: 1" = 1'-0"



ROOF RAFTER TO ROOF BEAM CONNECTION

SCALE: 1" = 1'-0"