

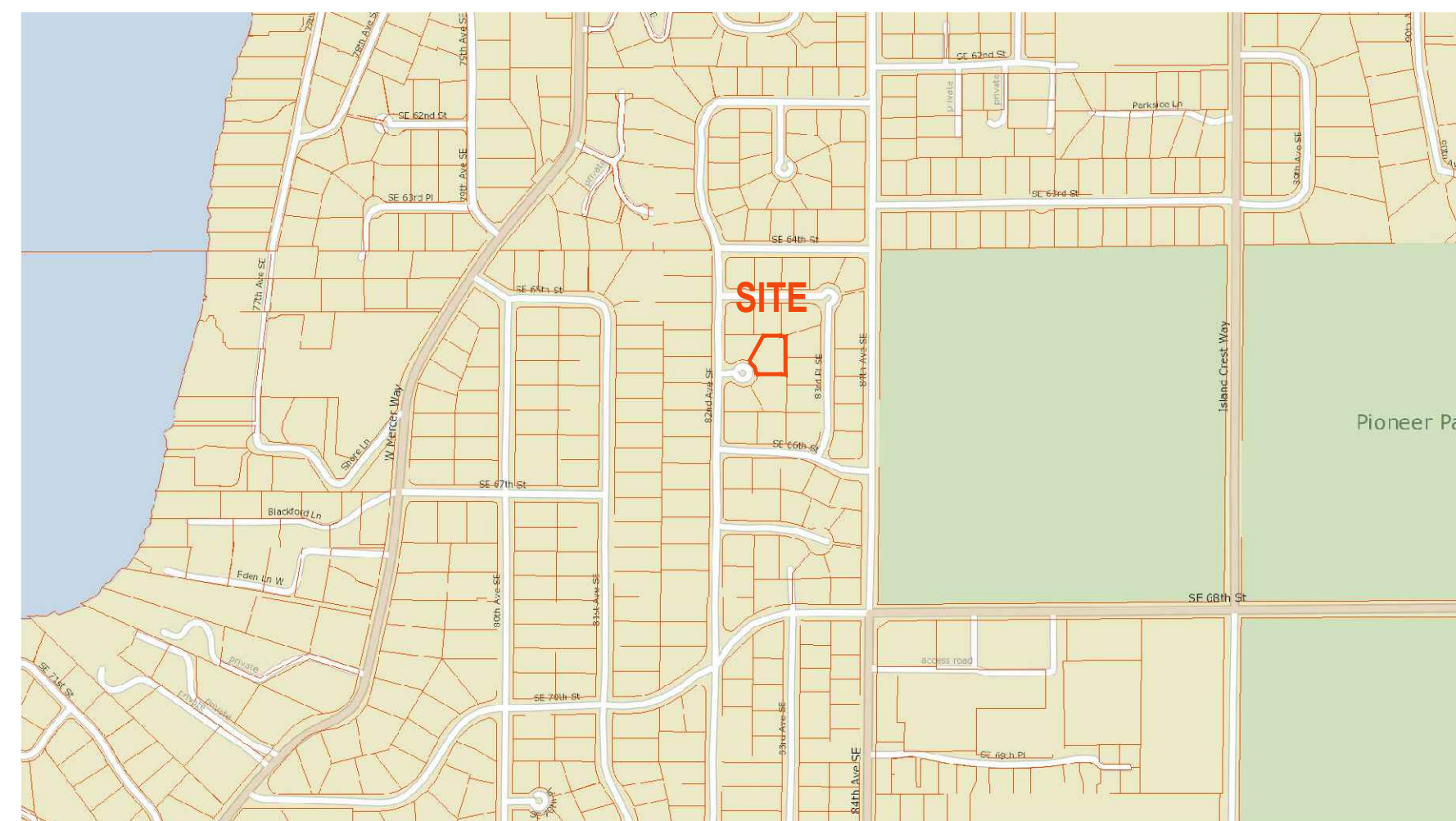
TEKIELA RESIDENCE PERMIT SET



CONCEPTUAL PROJECT IMAGE



CONCEPTUAL PROJECT IMAGE



VICINITY MAP

LEGAL DESCRIPTION:

LOT 17, PARKWEST, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 80 OF PLATS, PAGE 39, RECORDS OF KING COUNTY, WASHINGTON

ENERGY/MECHANICAL CODE COMPLIANCE:

- 1) WORK TO COMPLY WITH THE 2018 WSEC AND 2018 IMC.
- 2) ALL GLAZING AND DOORS TO MEET MAXIMUM 0.28 U-FACTOR PER THE 2018 WSEC PRESCRIPTIVE UNLIMITED GLAZING REQUIREMENTS. REFER TO SHEETS A6.0-A6.1 FOR WINDOW SCHEDULE.

| | |
|------------------------|----------|
| VERTICAL GLAZING (U): | 0.28* |
| OVERHEAD GLAZING (U): | 0.50 |
| CEILING: | R-49 |
| VAULTED CEILING: | R-38 |
| WALL ABOVE GRADE: | R-21 INT |
| WALL INT. BELOW GRADE: | R-21 TB |
| WALL EXT. BELOW GRADE: | R-10 |
| FLOOR: | R-30* |
| SLAB ON GRADE: | R-10 |

*SEE ITEM #8 REGARDING BUILDING ENVELOPE

- 3) A MINIMUM OF 90 PERCENT OF ALL LIGHT FIXTURES SHALL BE HIGH EFFICACY PER WSEC R401.1
- 4) PERMANENTLY MOUNTED EXTERIOR LIGHTS FIXTURES WILL BE HIGH EFFICACY UNLESS EQUIPPED WITH BUILT-IN PHOTO CONTROL SENSOR PER WSEC 505.2.

- 5) ALL BATHROOMS & TOILET ROOMS TO BE EQUIPPED WITH A MINIMUM 50 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN. ALL KITCHENS TO BE EQUIPPED WITH A MINIMUM 100 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN PER 2018 IMC TABLE 403.3.2.3.

- 6) CONTINUOUS WHOLE HOUSE VENTILATION PROVIDED PER IRC M1505.4.3. OUTDOOR AIRFLOW RATE SHALL BE 60 CFM.

- 7) HEATING OPTION 2 - HEAT PUMP
1 CREDIT

- 8) BUILDING ENVELOPE: VERTICAL FENESTRATION U = 0.28, FLOOR R-38 & CONTINUOUS R-10 UNDER SLAB
(ENERGY CREDIT 1.3) 0.5 CREDIT

- 9) AIR LEAKAGE TO 3.0 AIR CHANGES PER HOUR MAX AT 50 PASCALS
(ENERGY CREDIT 2.1) 0.5 CREDIT

- 10) HIGH EFFICIENCY HVAC: AIR SOURCE, CENTRALLY DUCTED HEAT PUMP W/ MIN. HSPF OF 9.5
(ENERGY CREDIT 3.2) 1.0 CREDIT

- 11) EFFICIENT WATER HEATING: ENERGY STAR RATED GAS WATER HEATER WITH A MINIMUM UEF OF 0.91.
(ENERGY CREDIT 5.3) 1.0 CREDIT

- 12) RENEWABLE ELECTRIC ENERGY OPTION. SOLAR PANELS TO BE INSTALLED ON ROOF TO PROVIDE 2400 KWH OF ELECTRICAL GENERATION PER HOUSING UNIT ANNUALLY.
(ENERGY CREDIT 6.1) 2.0 CREDITS

TOTAL ENERGY CREDITS = 6 REQUIRED
BASED ON TABLE R406.3 FOR MEDIUM DWELLING UNIT. ENERGY SELECTIONS FROM WSEC TABLE R406.2.

PROJECT DATA:

PARCEL NUMBER: 666920-0170
PROJECT ADDRESS:
6520 82ND AVE SE
MERCER ISLAND, WA 98040

LOT SIZE: 15,178 SF / 0.35 ACRES
ZONE: RS-9.6

OCCUPANCY TYPE: SFR

AUTOMATIC SPRINKLER SYSTEM:
REQUIRED - "NFPA 13R - PLUS"

PROJECT DESCRIPTION:
SUBSTANTIAL REMODEL / ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE WITH AN ATTACHED GARAGE

GROSS FLOOR AREA (40% MAXIMUM):
MAXIMUM ALLOWABLE (40% x 15,178 SF) = 6,071.00 SF
PROPOSED GFA (SEE A0.1 / TABLE 1)

LOT COVERAGE:
LOT SLOPE <15% (SEE A0.1 / TABLE 2) = 40% MAXIMUM
MAXIMUM ALLOWABLE (SEE A0.1 / TABLE 3) = 6,071.00 SF (40%)

HARDSCAPE (9% MAX):
9% x 15,178 SF = 1,366 SF MAXIMUM

MINIMUM LANDSCAPING AREA:
60% x 15,178 SF = 9,107 SF MINIMUM

REQUIRED YARDS:
FRONT YARD = 20 FT
REAR YARD = 25 FT
SIDE YARDS = 24 FT COMBINED, 8FT MIN.

PARKING SPACES (3 MINIMUM):
PROPOSED 2 GARAGE + 1 UNCOVERED GUEST = 3 TOTAL

BUILDING HEIGHT
MAX ALLOWABLE HT = ABE + 30.00 FT

PROJECT GROSS SQUARE FOOTAGE:
MEASURED FROM EXTERIOR WALLS.
INCLUDES UNHEATED AREAS.

HEATED SPACES
MAIN LEVEL = 2,793 SF

HEATED TOTAL = 2,793 SF

UNHEATED SPACES
GARAGE = 669 SF

UNHEATED TOTAL = 669 SF

TOTAL GROSS = 3,462 SF

SHEET LIST:

- GENERAL:
G0.0 TITLE SHEET
G0.1 GENERAL NOTES
- SURVEY
SHEET 1 OF 2 TOPOGRAPHIC & BOUNDARY SURVEY
SHEET 2 OF 2 TOPOGRAPHIC & BOUNDARY SURVEY

- CIVIL:
C01 COVER SHEET
C02 SMALL PARCELL ESC PLAN
C03 TREE RETENTION PLAN
C04 GRADING PLAN
C05 DRAINAGE PLAN
C06 UTILITY PLAN
C07 PROFILES
C08 ESC AND DRAINAGE DETAILS
C09 DETAILS
C10 PUMP STATION DETAIL ⁰¹

ARCHITECTURAL:

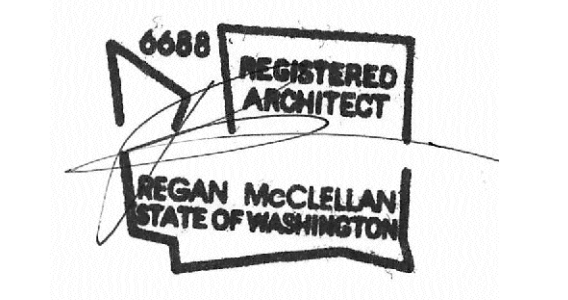
- D1.0 DEMOLITION SITE PLAN
- A0.1 ZONING DIAGRAM
A0.2 TREE PLAN
- A1.0 SITE PLAN
- A2.0 FOUNDATION PLAN
A2.1 MAIN LEVEL PLAN
A2.2 CLERESTORY PLAN
A2.3 ROOF PLAN
- A3.0 BUILDING ELEVATIONS
A3.1 BUILDING ELEVATIONS
- A4.0 BUILDING SECTIONS
- A5.0 WALL ASSEMBLIES
A5.1 FLOOR/ROOF ASSEMBLIES
- A6.0 WINDOW & DOOR SCHEDULE
A6.1 WINDOW & DOOR SCHEDULE
- A8.0 EXTERIOR DETAILS
A8.1 EXTERIOR DETAILS
A8.2 EXTERIOR DETAILS

- STRUCTURAL:
S1.0 GENERAL STRUCTURAL NOTES
S1.1 GENERAL STRUCTURAL NOTES CONT
S2.1 FOUNDATION PLAN
S2.2 LOWER ROOF FRAMING PLAN
S2.3 UPPER ROOF FRAMING PLAN
S3.0 TYPICAL CONCRETE DETAILS
S3.1 CONCRETE DETAILS
S4.0 TYPICAL WOOD FRAMING DETAILS
S4.1 TYPICAL WOOD FRAMING DETAILS
S5.0 STEEL FRAMING DETAILS

PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 09/18/2024 |



DATE:
JUNE 18, 2024

SHEET TITLE:
TITLE SHEET

SHEET:
G0.0

CONTACT INFORMATION:

ARCHITECT:
REGAN McCLELLAN, AIA
McCLELLAN | TELLONE
3309 WALLINGFORD AVENUE NORTH
SEATTLE, WA 98103
206.728.0480
REGAN@MCTARCH.COM

CONTRACTOR:
THOM SCHULTZ
MERCER BUILDERS
3026 78th AVE SE
MERCER ISLAND, WA 98140
206.275.1234
THOM@MERCERBUILDERS.COM

STRUCTURAL ENGINEER:
WARREN CENT, P.E.
MALSAM TSANG STRUCTURAL ENG
122 S JACKSON STREET
SEATTLE, WA 98104
206.789.6038
WARRENC@MALSAM-TSANG.COM

GEOTECHNICAL ENGINEER:
D. ROBERT WARD, P.E.
GEOTECH CONSULTANTS, INC.
2401 10TH AVE E
SEATTLE, WA 98102
425.747.5618
ROBW@GEOTECHNW.COM

ARBORIST:
ADAM C HARKKE, ISA ARBORIST
ARTIST TOUCH LANDSCAPING
9608 WALL ST
SNOHOMISH, WA 98296
360.739.5236
ARTISTTOUCH@MAC.COM

FIRE CODE ALTERNATE KEY NOTES: ☒

1. HOME TO BE EQUIPPED WITH AND MEET ALL REQUIREMENTS OF A "NFPA 13R - PLUS" SPRINKLER SYSTEM.
2. UPGRADE TO A MINIMUM 1-1/2" WATER METER AND 2" SERVICE LINE.
3. PROVIDE A MONITORED "HOUSEHOLD FIRE ALARM SYSTEM" PER NFPA 72 CHAPTER 29.
4. PROVIDE SOLID CORE DOORS THROUGHOUT THE HOME.
5. PROVIDE 5/8" TYPE 'X' ONE-HOUR FIRE-RATED GYPSUM WALL BOARD IN ALL AREAS FOR WALLS AND CEILINGS.
6. THE DRIVEWAY WILL BE CONCRETE WITH A RAKED FINISH.

TEKIELA RESIDENCE

PERMIT SET

ABBREVIATIONS:

| | | | |
|----------|---------------------------|--------|-----------------------------|
| ABV | ABOVE | IBC | INTERNATIONAL BUILDING CODE |
| ACOUST | ACOUSTIC, ACOUSTICAL | INSUL | INSULATION |
| ACCY | ACCESSORY | INT | INTERIOR |
| ADDM | ADDENDUM | JB | JUNCTION BOX |
| ADDL | ADJUSTABLE | JNT | JOINT |
| ADJ | ADJUSTABLE | LAV | LAVATORY |
| AFF | ABOVE FINISHED FLOOR | LTG | LIGHTING |
| AFG | ABOVE FINISHED GRADE | MATL | MATERIAL |
| ALT | ALTERNATE, ALTERNATIVE | MAX | MAXIMUM |
| ALUM | ALUMINUM | MDO | MEDIUM DENSITY OVERLAY |
| ANCH | ANCHOR | MDF | MEDIUM DENSITY FIBER BOARD |
| APPROX | APPROXIMATELY | MECH | MECHANICAL |
| ARCH | ARCHITECT, ARCHITECTURAL | MFR | MANUFACTURER |
| BB | BASEBOARD | MIN | MINIMUM |
| BLDG | BUILDING | MO | MASONRY OPENING |
| BLKG | BLOCKING | MTL | METAL |
| BLW | BELOW | N | NORTH |
| BM | BEAM | (N) | NEW |
| B/O | BOTTOM OF | NIC | NOT IN CONTRACT |
| BRD | BOARD | NTS | NOT TO SCALE |
| BTW | BETWEEN | OCCUP | OCCUPANTS, OCCUPANCY |
| CAB | CABINET | OL | OCCUPANCY LOAD |
| CALC | CALCULATION | O/ | OVER |
| CL | CENTERLINE | OC | ON CENTER |
| CJNT | CONTROL JOINT | OPG | OPENING |
| CLG | CEILING | OPP | OPPOSITE |
| CLR | CLEAR | ORD | OVERFLOW ROOF DRAIN |
| CMU | CONCRETE MASONRY UNIT | PNT | PANIT |
| CNTR | COUNTER, COUNTER SUNK | PEN | PENETRATION |
| COL | COLUMN | PERP | PERPENDICULAR |
| CONC | CONCRETE | PJ | PANEL JOINT |
| CONT | CONTINUOUS | PL | PROPERTY LINE |
| CORR | CORRIDOR | PLAM | PLASTIC LAMINATE |
| CPT | CARPET | PLWD | PLYWOOD |
| CT | CERAMIC TILE | PR | PAIR |
| CTR | CENTER | PRELIM | PRELIMINARY |
| | | PT | PRESSURE TREATED |
| | | PTN | PARTITION |
| | | R | RISER |
| | | REC | RECCOMENDED |
| | | REF | REFERENCE |
| | | REFR | REFRIGERATOR |
| | | REINF | REINFORCED |
| | | REQD | REQUIRED |
| | | RET | RETAINING |
| | | R O | ROUGH OPENING |
| | | S | SOUTH |
| | | SC | SOLID CORE |
| | | SCHED | SCHEDULE |
| | | SCWD | SOLID CORE WOOD |
| | | SF | SQUARE FEET, SQUARE FOOT |
| | | SHTG | SHEATHING |
| | | SIM | SIMILAR |
| | | SPEC | SPECIFICATION |
| | | SQ | SQUARE |
| | | SS | STAINLESS STEEL |
| | | STD | STANDARD |
| | | STL | STEEL |
| | | STOR | STORAGE |
| | | STRUCT | STRUCTURAL |
| | | T | TEMPERED SAFETY GLASS |
| | | T&B | TOP AND BOTTOM |
| | | TEMP | TEMPORARY |
| | | T&G | TONGUE AND GROOVE |
| | | THRU | THROUGH |
| | | T/O | TOP OF |
| | | TOM | TOP OF MASONRY |
| | | TOS | TOP OF STEEL |
| | | TOSL | TOP OF SLAB |
| | | TOW | TOP OF WALL |
| | | TYP | TYPICAL |
| | | UNO | UNLESS NOTED OTHERWISE |
| | | VERT | VERTICAL |
| | | VTO | VENT TO OUTSIDE |
| | | VTR | VENT THROUGH ROOF |
| | | W | WEST |
| | | W/ | WITH |
| | | W/O | WITHOUT |
| | | WIND | WINDOW |
| | | WD | WOOD |
| | | W/R | WATER RESISTANT |
| | | WWF | WELDED WIRE FABRIC |
| DBL | DOUBLE | | |
| DEG | DEGREE | | |
| DEPT | DEPARTMENT | | |
| DIA | DIAMETER | | |
| DIM | DIMENSION | | |
| DISP | DISPENSER | | |
| DN | DOWN | | |
| DS | DOWN SPOUT | | |
| DW | DISHWASHER | | |
| DWG | DRAWING | | |
| E | EAST | | |
| EA | EACH | | |
| EL | ELEVATION | | |
| ELEV | ELEVATOR | | |
| ENGR | ENGINEER | | |
| EQ | EQUAL | | |
| EQUIP | EQUIPMENT | | |
| EQUIV | EQUIVALENT | | |
| EXP | EXPANSION, EXPOSED | | |
| (E) EXST | EXISTING, EXPOSED | | |
| EXT | EXTERIOR | | |
| FAB | FABRICATE | | |
| FD | FLOOR DRAIN | | |
| FDN | FOUNDATION | | |
| FE | FIRE EXTINGUISHER | | |
| FEC | FIRE EXTINGUISHER CABINET | | |
| FF | FINISH FLOOR | | |
| FIN | FINISH | | |
| FLR | FLOOR | | |
| FT | FEET, FOOT | | |
| FTG | FOOTING | | |
| FUR | FURRING, FURRED | | |
| FV | FIELD VERIFY | | |
| GA | GAUGE | | |
| GALV | GALVANIZED | | |
| GC | GENERAL CONTRACTOR | | |
| GL | GLASS, GLAZING | | |
| GRT | GROUT | | |
| GWB | GYPSTUM WALL BOARD | | |
| HB | HOSE BIB | | |
| HD | HEAD | | |
| HDWD | HARDWOOD | | |
| HDR | HEADER | | |
| HM | HOLLOW METAL | | |
| HORIZ | HORIZONTAL | | |
| HR | HOUR | | |
| HT | HEIGHT | | |

GENERAL PLAN NOTES:

- REFER TO A5 SHEETS FOR WALL, FLOOR AND ROOF ASSEMBLY TYPES
- ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
- INTERIOR DOORS TO BE INSTALLED 4-1/2" FROM FACE OF STUD TO EDGE OF ROUGH OPENING IF NOT DIMENSIONED
- ALL WINDOW DIMENSIONS ARE TO ROUGH OPENING
- REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE & FRAMING INFORMATION

SYMBOLS:

| | |
|--|-------------------------------------|
| | WINDOW TAG |
| | EXTERIOR DOOR TAG |
| | INTERIOR DOOR TAG |
| | ASSEMBLY TYPE |
| | SECTION CALL OUT |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |
| | VENT FAN, CFM PER INSTANCE |
| | DOWNSPOUT |
| | FLOOR DRAIN |
| | HOSE BIB |
| | CRAWLSPACE MECHANICAL VENT |
| | WHOLE HOUSE FAN - MECHANICAL INTAKE |
| | HOUSE ELECTRICAL PANEL |
| | ELECTRIC METER |
| | ELECTRIC VEHICLE CHARGER |
| | POWER WALL / BACK-UP BATTERY |

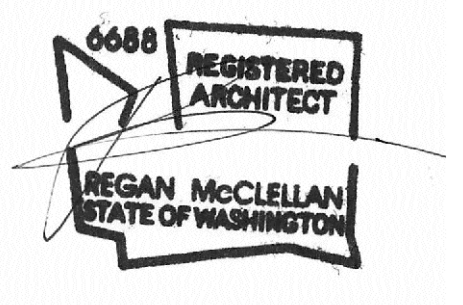
GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH INFORMATION FURNISHED BY THE OWNER AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT SUCH NOTICE TO THE ARCHITECT, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COSTS FOR CORRECTION.
- BEFORE ORDERING MATERIALS OR DOING ANY WORK, THE GENERAL CONTRACTOR AND ALL OF THE SUB-CONTRACTORS SHALL VERIFY ALL MEASUREMENTS ON THE DRAWINGS AND AT THE CONSTRUCTION SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS. ANY DISCOVERED DIFFERENCES SHALL BE REPORTED TO THE ARCHITECTS FOR DESIGN CONSIDERATIONS BEFORE PROCEEDING FURTHER WITH THE WORK. THE CONTRACTOR IS HEREBY ADVISED THAT THE DRAWINGS ARE NOT TO SCALE.
- WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
- CONTRACTOR SHALL KEEP ALL AREAS UNDER CONSTRUCTION CLEAR OF DIRT AND DEBRIS.
- CONTRACTOR SHALL REPAIR DAMAGED SURFACES WHICH WERE DAMAGED BY CONSTRUCTION OR CLEAN-UP, AND CORRECT CONDITIONS TO MATCH SURROUNDING FINISHED CONDITIONS.
- REPETITIVE FEATURES NOT NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS DRAWN IN FULL.
- DIMENSIONS ON DRAWINGS ARE TAKEN TO THE FACE OF CONCRETE AND TO THE FACE OF STUD, UNLESS OTHERWISE NOTED. FIELD VERIFY ALL DIMENSIONS.
- FIELD VERIFY MILLWORK DIMENSIONS AND ALL WINDOW AND DOOR DIMENSIONS.
- PROTECT ALL PORTIONS OF THE EXISTING BUILDING OR SITE NOT SCHEDULED TO BE REMOVED, IF APPLICABLE, AND REPLACE OR REPAIR ALL SUCH ITEMS DAMAGED DURING CONSTRUCTION. PROVIDE PROTECTION AGAINST INCLEMENT WEATHER, WIND, FROST, EXCESSIVE HEAT, VANDALISM, AND ALL WORKERS, DELIVERY PERSONNEL, SUB-CONTRACTORS AND BUILDING INSPECTORS SO AS TO MAINTAIN ALL WORK, MATERIAL, APPARATUS AND FIXTURES FREE FROM DAMAGE, INCLUDING SURFACE SCRATCHES AND BLEMISHES. ALL NEW AND EXISTING WORK LIKELY TO BE DAMAGED SHALL BE APPROPRIATELY COVERED OR PROTECTED AT ALL TIMES. PROTECT ALL PLANTING AREAS FROM FOOT OR WHEEL TRAFFIC, AND AVOID CRUSHING SAME DUE TO STORED MATERIALS.

PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 08/18/2024 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



DATE:
JUNE 18, 2024

SHEET TITLE:

GENERAL CONDITIONS &
ABBREVIATIONS

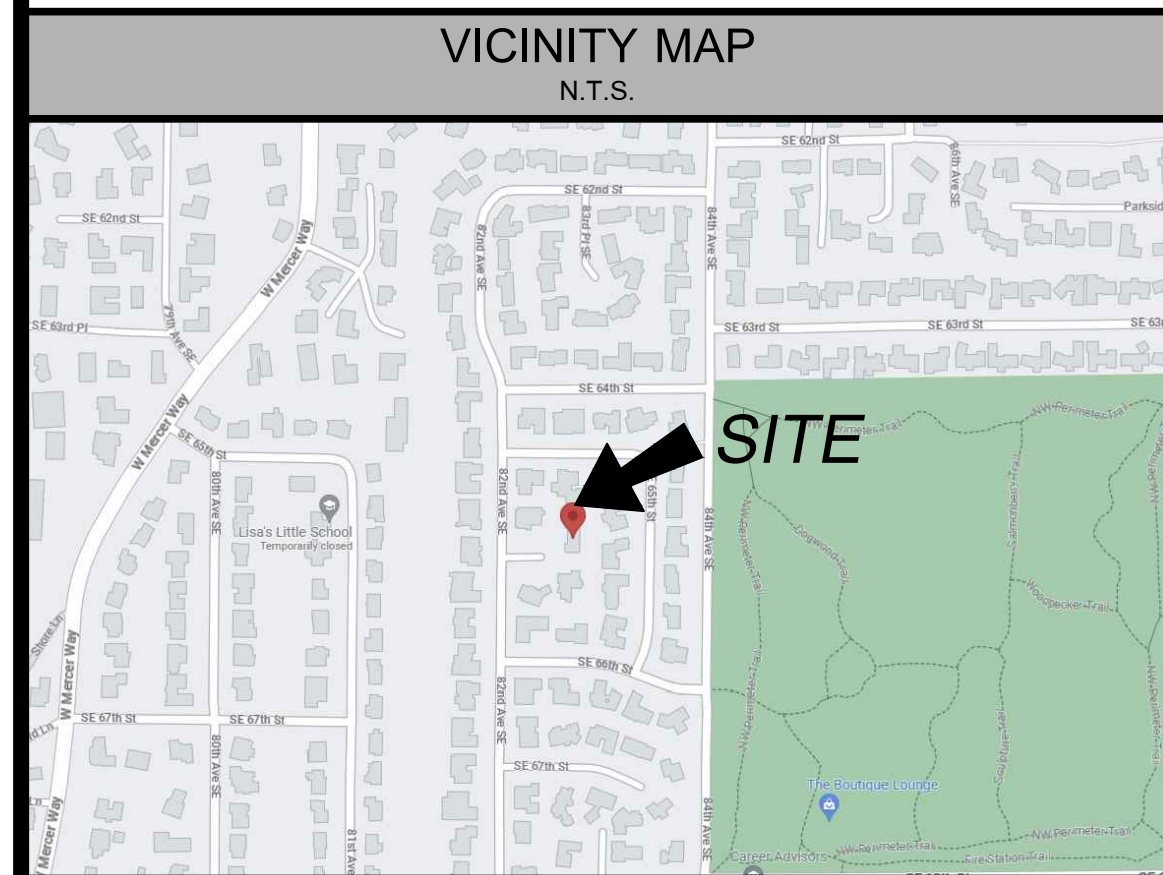
SHEET:

G0.1

TOPOGRAPHIC & BOUNDARY SURVEY

| LEGAL DESCRIPTION |
|---|
| LOT 17, PARKWEST, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 80 OF PLATS, PAGE 39, RECORDS OF KING COUNTY, WASHINGTON. |
| BASIS OF BEARINGS |
| ACCEPTED THE BEARING OF N 01°38'17" E BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF 82ND AVE SE, PER REFERENCE NO. 1. |
| REFERENCES |
| R1. PARKWEST, VOL. 80 OF PLATS, PG. 39, RECORDS OF KING COUNTY, WASHINGTON. |
| VERTICAL DATUM |
| NAVD 88 PER CITY OF MERCER ISLAND BENCHMARK NO. 1821 DESCRIPTION: CONC. MONUMENT W/ TACK & LEAD LOCATION: AT C/L 82ND AVE DE, OPP HSE#6521 ELEVATION: 293.71' SITE TEMP. BENCHMARK DESCRIPTION: REBAR W/ CAP LOCATION: 3.0' W OF SW PROP CORNER ELEVATION: 303.85' |

| SURVEYOR'S NOTES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|--|--|-----------------|---------------------|----------|------------------------|----------------|------------------|------------------|-----------------|-------------------|------------|----------|-------------|-----------|------------|--------------------|--|----------------|---|-----------|--|---------------|--|-------------|--|-------------------|--|----------------|--|---------|--|------------|--|---------------|--|------------------|--|
| <ol style="list-style-type: none"> THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN SEPTEMBER OF 2023. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555). SUBJECT PROPERTY TAX PARCEL NO. 666920-0170. SUBJECT PROPERTY AREA PER THIS SURVEY IS 15,178 ±S.F. (0.35 ACRES) ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE COMPANY OF WASHINGTON'S "ALTA COMMITMENT FOR TITLE INSURANCE", ORDER NO. 0257828-ETU, DATED JUNE 26, 2023. IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "ALTA COMMITMENT FOR TITLE INSURANCE". TERRANE, INC. HAS RELIED WHOLLY ON CHICAGO TITLE COMPANY OF WASHINGTON'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LEGEND | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="0"> <tr> <td> AREA DRAIN</td> <td> IRRIGATION CONTROL VALVE MONUMENT (IN CASE, FOUND)</td> </tr> <tr> <td> ASPHALT SURFACE</td> <td> POWER (UNDERGROUND)</td> </tr> <tr> <td> BUILDING</td> <td> REBAR AS NOTED (FOUND)</td> </tr> <tr> <td> CENTERLINE ROW</td> <td> TELEPHONE SENTRY</td> </tr> <tr> <td> CONCRETE SURFACE</td> <td> TREE (AS NOTED)</td> </tr> <tr> <td> FENCE LINE (WOOD)</td> <td> WATER LINE</td> </tr> <tr> <td> GAS LINE</td> <td> WATER METER</td> </tr> <tr> <td> GAS METER</td> <td> YARD LIGHT</td> </tr> <tr> <td> HEDGE FOLIAGE LINE</td> <td> ELECTRICAL & COMMUNICATION EASEMENT PER REC. NO. 6063318</td> </tr> <tr> <td> INLET (TYPE 1)</td> <td> UTILITY EASEMENT PER REC. NO. 5380731 & 6064709</td> </tr> <tr> <td> LUMINAIRE</td> <td> ELECTRICAL & COMMUNICATION EASEMENT PER REC. NO. 6070393</td> </tr> <tr> <td> PAVES SURFACE</td> <td> INGRESS/EGRESS & UTILITY EASEMENT PER REC. NO. 6147276</td> </tr> <tr> <td> POWER METER</td> <td></td> </tr> <tr> <td> REBAR & CAP (SET)</td> <td></td> </tr> <tr> <td> RETAINING WALL</td> <td></td> </tr> <tr> <td> ROCKERY</td> <td></td> </tr> <tr> <td> SEWER LINE</td> <td></td> </tr> <tr> <td> SEWER MANHOLE</td> <td></td> </tr> <tr> <td> STORM DRAIN LINE</td> <td></td> </tr> </table> | AREA DRAIN | IRRIGATION CONTROL VALVE MONUMENT (IN CASE, FOUND) | ASPHALT SURFACE | POWER (UNDERGROUND) | BUILDING | REBAR AS NOTED (FOUND) | CENTERLINE ROW | TELEPHONE SENTRY | CONCRETE SURFACE | TREE (AS NOTED) | FENCE LINE (WOOD) | WATER LINE | GAS LINE | WATER METER | GAS METER | YARD LIGHT | HEDGE FOLIAGE LINE | ELECTRICAL & COMMUNICATION EASEMENT PER REC. NO. 6063318 | INLET (TYPE 1) | UTILITY EASEMENT PER REC. NO. 5380731 & 6064709 | LUMINAIRE | ELECTRICAL & COMMUNICATION EASEMENT PER REC. NO. 6070393 | PAVES SURFACE | INGRESS/EGRESS & UTILITY EASEMENT PER REC. NO. 6147276 | POWER METER | | REBAR & CAP (SET) | | RETAINING WALL | | ROCKERY | | SEWER LINE | | SEWER MANHOLE | | STORM DRAIN LINE | |
| AREA DRAIN | IRRIGATION CONTROL VALVE MONUMENT (IN CASE, FOUND) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ASPHALT SURFACE | POWER (UNDERGROUND) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING | REBAR AS NOTED (FOUND) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CENTERLINE ROW | TELEPHONE SENTRY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CONCRETE SURFACE | TREE (AS NOTED) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FENCE LINE (WOOD) | WATER LINE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GAS LINE | WATER METER | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GAS METER | YARD LIGHT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| HEDGE FOLIAGE LINE | ELECTRICAL & COMMUNICATION EASEMENT PER REC. NO. 6063318 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| INLET (TYPE 1) | UTILITY EASEMENT PER REC. NO. 5380731 & 6064709 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LUMINAIRE | ELECTRICAL & COMMUNICATION EASEMENT PER REC. NO. 6070393 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PAVES SURFACE | INGRESS/EGRESS & UTILITY EASEMENT PER REC. NO. 6147276 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| POWER METER | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| REBAR & CAP (SET) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| RETAINING WALL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ROCKERY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SEWER LINE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SEWER MANHOLE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| STORM DRAIN LINE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

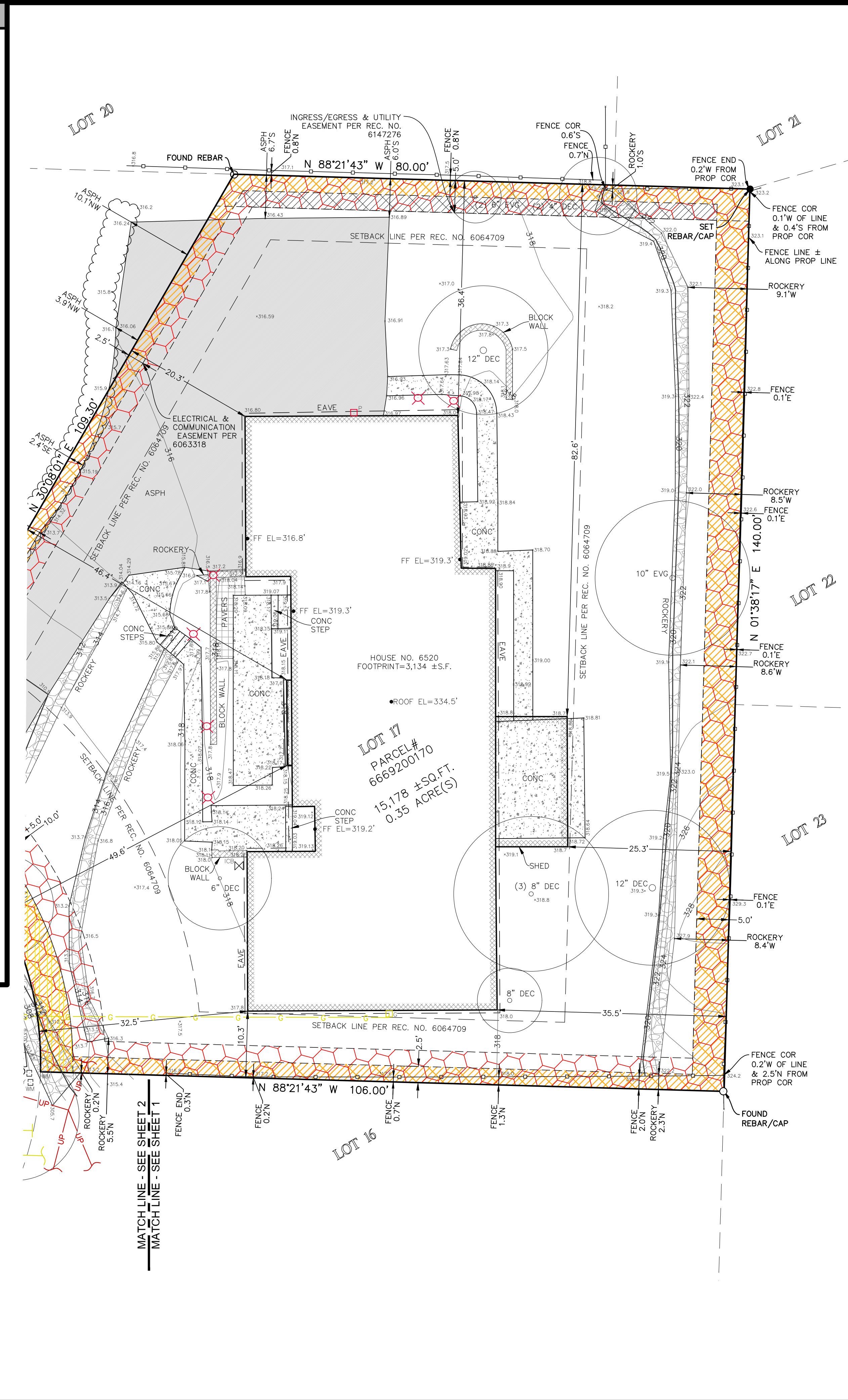


| SCHEDULE B ITEMS |
|---|
| <ol style="list-style-type: none"> COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, ENCROACHMENTS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON MERCER RIDGE: RECORDING NO.: 4971546 (BLANKET IN NATURE) GRANTED TO: KING COUNTY PURPOSE: RIGHT OF WAY RECORDING DATE: DECEMBER 29, 1958 RECORDING NO.: 4983140 AFFECTS: REFERENCE IS HEREBY MADE TO DOCUMENT FOR FULL PARTICULARS (EASEMENT FALLS OFF SITE) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: PUGET SOUND POWER & LIGHT COMPANY PURPOSE: UTILITIES RECORDING NO.: 5392933, 5398204 AFFECTS: REFERENCE IS HEREBY MADE TO DOCUMENT FOR FULL PARTICULARS (EASEMENT FALLS OFF SITE) COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT RECORDING NO.: 5380731 MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDING NO.: 6406357 MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDING DATE: FEBRUARY 4, 1998 RECORDING NO.: 9802040641 (PLOTTED) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: PUGET SOUND POWER & LIGHT COMPANY PURPOSE: UTILITIES RECORDING NO.: 5392933, 5398204 AFFECTS: REFERENCE IS HEREBY MADE TO DOCUMENT FOR FULL PARTICULARS (EASEMENT FALLS OFF SITE) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: PACIFIC NORTHWEST BELL TELEPHONE COMPANY PURPOSE: UTILITIES RECORDING NO.: 1401974 AFFECTS: REFERENCE IS HEREBY MADE TO DOCUMENT FOR FULL PARTICULARS (EASEMENT FALLS OFF SITE) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: MERCER ISLAND SEWER DISTRICT PURPOSE: SEWER RECORDING NO.: 5851000, 5851001, 5851002 AND 5850296 AFFECTS: REFERENCE IS HEREBY MADE TO DOCUMENT FOR FULL PARTICULARS RELEASE OF EASEMENT NUMBER 5851001 RECORDED UNDER RECORDING NUMBER 7306120581 (EASEMENT FALLS OFF SITE) COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, ENCROACHMENTS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON PARKWEST: RECORDING NO.: 6063318 (PLAT, PLOTTED) RECORDING DATE: AUGUST 4, 1966 RECORDING NO.: 6064709 MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDING DATE: DECEMBER 21, 1966 RECORDING NO.: 6120943 REVOCATION OF AMENDMENT TO PROTECTIVE COVENANTS(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDING DATE: MARCH 1, 1968 RECORDING NO.: 6311748 (PLOTTED) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: MERCER ISLAND SEWER DISTRICT PURPOSE: SEWER RECORDING DATE: MARCH 8, 1967 RECORDING NO.: 6147276 AFFECTS: REFERENCE IS HEREBY MADE TO DOCUMENT FOR FULL PARTICULARS (PLOTTED) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: MERCER ISLAND SEWER DISTRICT PURPOSE: SEWER RECORDING DATE: AUGUST 17, 1966 RECORDING NO.: 6070393 AFFECTS: REFERENCE IS HEREBY MADE TO DOCUMENT FOR FULL PARTICULARS (PLOTTED) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: MERCER ISLAND SEWER DISTRICT PURPOSE: SEWER RECORDING DATE: MARCH 8, 1967 RECORDING NO.: 6147276 AFFECTS: REFERENCE IS HEREBY MADE TO DOCUMENT FOR FULL PARTICULARS (PLOTTED) NOTICE OF ADDITIONAL TAP OR CONNECTION CHARGES AND THE TERMS AND CONDITIONS THEREOF: RECORDING DATE: DECEMBER 6, 1977 RECORDING NO.: 7712060812 (NOT SURVEY RELATED) |

(IN FEET)
1 INCH = 10 FT.

| INDEXING INFORMATION | |
|----------------------|---------------|
| NW 1/4 | NE 1/4 |
| SW 1/4 | SE 1/4 |
| SECTION: 25 | TOWNSHIP: 24N |
| RANGE: 04E, W.M. | COUNTY: KING |

STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS, AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



TERRANE

10801 Main Street, Suite 102
Bellevue, WA 98004
p: 425-458-4488 | e: info@terrane.net

TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 6669200170
6520 82ND AVE SE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

Job Number: 231637
Date: 09/28/23
Drafted By: IDV / MCP
Checked By: EJG / WMS
Scale: 1" = 10'
Revision History

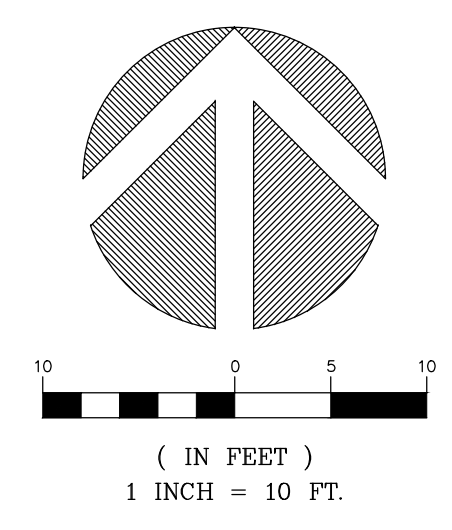
SHEET NUMBER
1 OF 2

We are the measure | terrane.net

TOPOGRAPHIC & BOUNDARY SURVEY

LEGEND

| | | | |
|--|--------------------|--|--|
| | AREA DRAIN | | IRRIGATION CONTROL VALVE |
| | ASPHALT SURFACE | | MONUMENT (IN CASE, FOUND) |
| | BUILDING | | POWER (UNDERGROUND) |
| | CENTERLINE ROW | | REBAR AS NOTED (FOUND) |
| | CONCRETE SURFACE | | TELEPHONE SENTRY |
| | FENCE LINE (WOOD) | | TREE (AS NOTED) |
| | GAS LINE | | WATER LINE |
| | GAS METER | | WATER METER |
| | HEDGE FOLIAGE LINE | | YARD LIGHT |
| | INLET (TYPE 1) | | ELECTRICAL & COMMUNICATION EASEMENT PER REC. 6063318 |
| | LUMINAIRE | | UTILITY EASEMENT PER REC. NO. 5380731 & 6064709 |
| | PAVER SURFACE | | ELECTRICAL & COMMUNICATION EASEMENT PER REC. NO. 6070393 |
| | POWER METER | | INGRESS/EGRESS & UTILITY EASEMENT PER REC. NO. 6147276 |
| | REBAR & CAP (SET) | | |
| | RETAINING WALL | | |
| | ROCKERY | | |
| | SEWER LINE | | |
| | SEWER MANHOLE | | |
| | STORM DRAIN LINE | | |



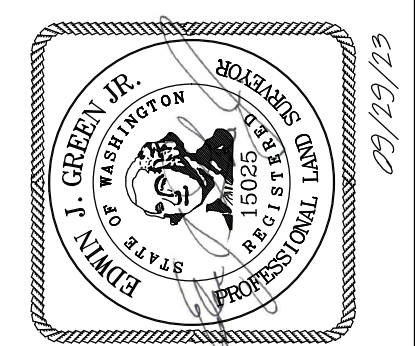
| INDEXING INFORMATION | | | |
|----------------------|--|------------------|--|
| | | SECTION: 25 | |
| | | TOWNSHIP: 24N | |
| | | RANGE: 04E, W.M. | |
| | | COUNTY: KING | |

STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS, AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



TOPOGRAPHIC & BOUNDARY SURVEY
 PARCEL NO. 6669200170

6520 82ND AVE SE
 6520 82ND AVE SE
 MERCER ISLAND, WA 98040



TERRANE

10801 Main Street, Suite 102
 Bellevue, WA 98004
 p: 425-458-4488 | e: info@terrane.net

| | |
|-------------|-----------|
| JOB NUMBER: | 231637 |
| DATE: | 09/28/23 |
| DRAFTED BY: | IDV / MCP |
| CHECKED BY: | EJG / WMS |
| SCALE: | 1" = 10' |

| REVISION HISTORY | |
|------------------|--|
| | |
| | |
| | |
| | |

SHEET NUMBER
2 OF 2

6520 82ND AVE SE MERCER ISLAND, WA

LEGAL DESCRIPTION:

LOT 17, PARKWEST, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 80 OF PLATS, PAGE 39, RECORDS OF KING COUNTY, WASHINGTON.

BASE OF BEARINGS

ACCEPTED THE BEARING OF N 01°38'17" E BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF 82ND AVE SE, PER REFERENCE NO. 1.

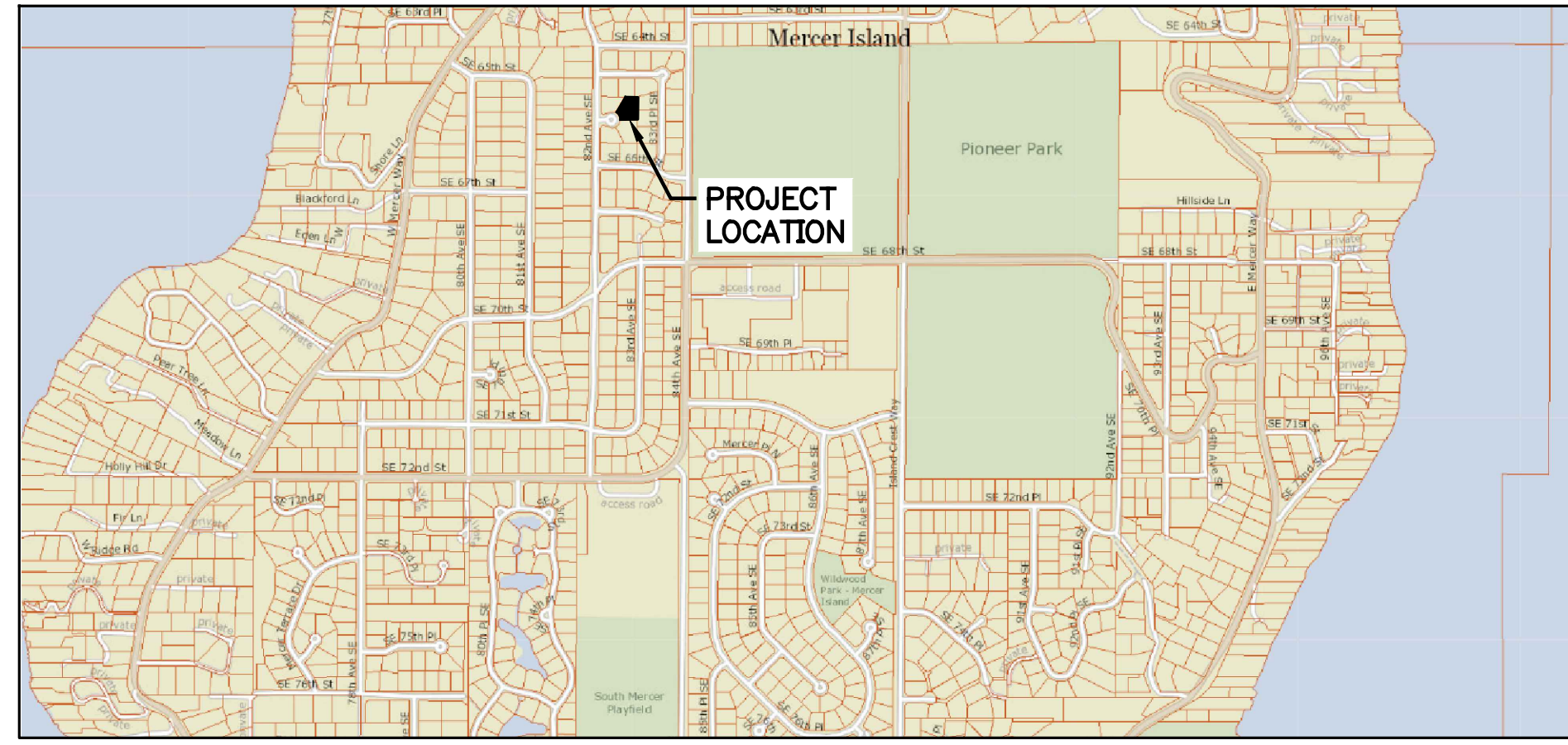
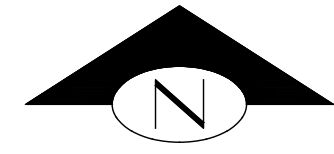
VERTICAL DATUM

NAVD 88 PER CITY OF MERCER ISLAND BENCHMARK NO. 1821
DESCRIPTION: CONC. MONUMENT W/ TACK & LEAD
LOCATION: AT CL 82ND AVE DE, OPP HSE#6521
ELEVATION: 293.71'

SITE TEMP. BENCHMARK
DESCRIPTION: REBAR W/ CAP
LOCATION: 3.0' W OF SW PROP CORNER
ELEVATION: 303.85'

SURVEYOR'S NOTES:

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN SEPTEMBER OF 2023. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES. TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 666920-0170.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 15,178 ±S.F. (0.35 ACRES)
6. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE COMPANY OF WASHINGTON'S "ALTA COMMITMENT FOR TITLE INSURANCE", ORDER NO. 0257828-ETU, DATED JUNE 26, 2023. IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "ALTA COMMITMENT FOR TITLE INSURANCE". TERRANE, INC. HAS RELIED WHOLLY ON CHICAGO TITLE COMPANY OF WASHINGTON'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.



VICINITY MAP
SCALE: 1" = 200'

CONTACTS:

APPLICANT:
ROBERT AND IZABELA TEKIELA
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CIVIL ENGINEER:
FACET
9706 4TH AVE NE, SUITE 300
SEATTLE, WA 98115
PHONE: (206) 523-0024
CONTACT: BEN IDDINS, P.E.

SURVEYOR:
TERRANE
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
PHONE: (425) 458-4488

ARCHITECT:
McCLELLAN-TELLONE
3309 WALLINGFORD AVE N
SEATTLE, WA 98103
PHONE: (206) 728-0480
CONTACT: JOEY PASQUINELLI, RA

ABBREVIATIONS:

- BM = BENCHMARK
CB = CATCH BASIN
CONC = CONCRETE
DEMO = DEMOLITION
EG = EXISTING GRADE
EOP = EDGE OF PAVEMENT
EX = EXISTING
FF = FINISHED FLOOR
FG = FINISHED GRADE
FH = FIRE HYDRANT
IE = INVERT ELEVATION
LF = LINEAL FEET
SD = STORM DRAIN
SDFM = STORM DRAIN FORCE MAIN
SDMH = STORM DRAIN MANHOLE
SS = SANITARY SEWER
SSSCO = SANITARY SIDE SEWER CLEANOUT
SSS = SANITARY SIDE SEWER
TOC = TOP OF CURB
TOP = TOP OF PAVEMENT
TYP = TYPICAL
UGP = UNDERGROUND POWER
W = WATER
WM = WATERMAIN

SHEET LIST TABLE

| SHEET No. | DESCRIPTION |
|-----------|--------------------------|
| C01 | COVER SHEET |
| C02 | SMALL PARCEL ESC PLAN |
| C03 | TREE RETENTION PLAN |
| C04 | GRADING PLAN |
| C05 | DRAINAGE PLAN |
| C06 | UTILITY PLAN |
| C07 | PROFILES |
| C08 | ESC AND DRAINAGE DETAILS |
| C09 | DETAILS |
| C10 | PUMP STATION DETAIL |

COVER SHEET

NTS

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG

(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

NO. DATE BY REVISION

1 06/18/2024 LG CITY REVIEW CORRECTIONS #1

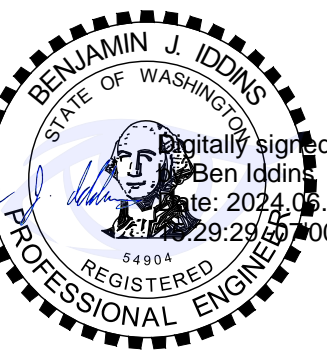
BASE MAP PHOTOGRAPHY PROVIDED BY OTHERS. FACET CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES AND ALL ABOVE PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT FACET PRIOR TO CONSTRUCTION.

FACET



P: 206.523.0024
www.facetnw.com

9706 4th Ave NE
Suite 300
Seattle, WA 98115
FEDERAL WAY | MERIDIAN | MOUNT VERNON | SEATTLE | SPokane | WHIDBEY ISLAND



CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040
2311.0333.00

SCHEMATIC PLAN

COVER SHEET

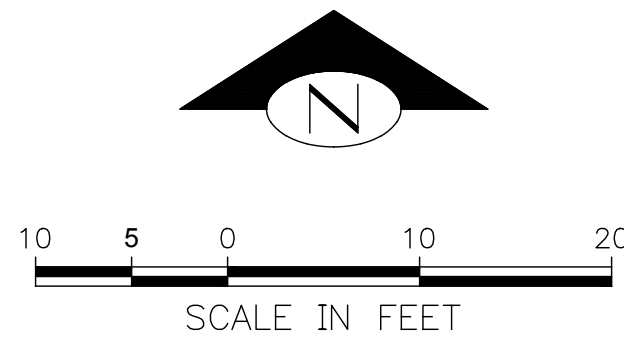
DATE: 6/18/2024

PLAN NUMBER:

C01

SHEET 1 OF 10

FILE LOCATION: P:\CLIENTS\CMC\MCCLELLAN ARCHITECTS\6520 82ND AVE SE MERCER ISLAND\DWG\DWG\6520 82ND AVE SE MERCER ISLAND\DWG - ORIGINAL SHEET SIZE: ARCH\FULL BLEED D (36.00 X 24.00) INCHES - LAST MODIFIED BY: GERDA SZOBOSZLAI
PRINCIPAL: BI PROJECT MANAGER: BI DESIGNED BY: LG DRAWN BY: CK, GS CHECKED BY: BI



| KEY NOTES: | | |
|------------|---|--------------|
| KEY | NOTE: | DETAIL/SHEET |
| 1 | INSTALL TEMPORARY INLET PROTECTION ON EX SD INLET OR CLOSEST SD INLET DOWNSTREAM OF SITE | B/C08 |
| 2 | INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE OFF EDGE OF EX DWY | C/C08 |
| 3 | INSTALL APPROX 315 LF PERIMETER PROTECTION* | A/C08 |
| 4 | TREE PROTECTION FENCING (TYP) | TP/C03 |
| 5 | PROPOSED STOCKPILE LOCATION. CONTRACTOR TO DETERMINE FINAL LOCATION IN FIELD | - |
| 6 | CONTRACTOR TO SWEEP STREET DAILY OR MORE OFTEN IF NECESSARY TO REMOVE TRACKED SEDIMENT | - |
| 7 | EX SINGLE-FAMILY RESIDENCE TO BE REMOVED | - |
| 8 | ALL EXISTING TREES TO REMAIN EXCEPT AS NOTED ON SHEET C03. CONSULT WITH ARBORIST IF TREE REMOVAL IS REQUIRED OR IF DISTURBANCE WILL OCCUR WITHIN DRIPLINE OF EX TREES (TYP) | - |
| 9 | SOIL AMENDMENT (TYP). SEE "POST-CONSTRUCTION SOIL QUALITY AND DEPTH NOTES" ON THIS SHEET | - |
| 10 | EX ROCKERY TO REMAIN AND BE PROTECTED | - |
| 11 | STORAGE AND STAGING AREA | - |

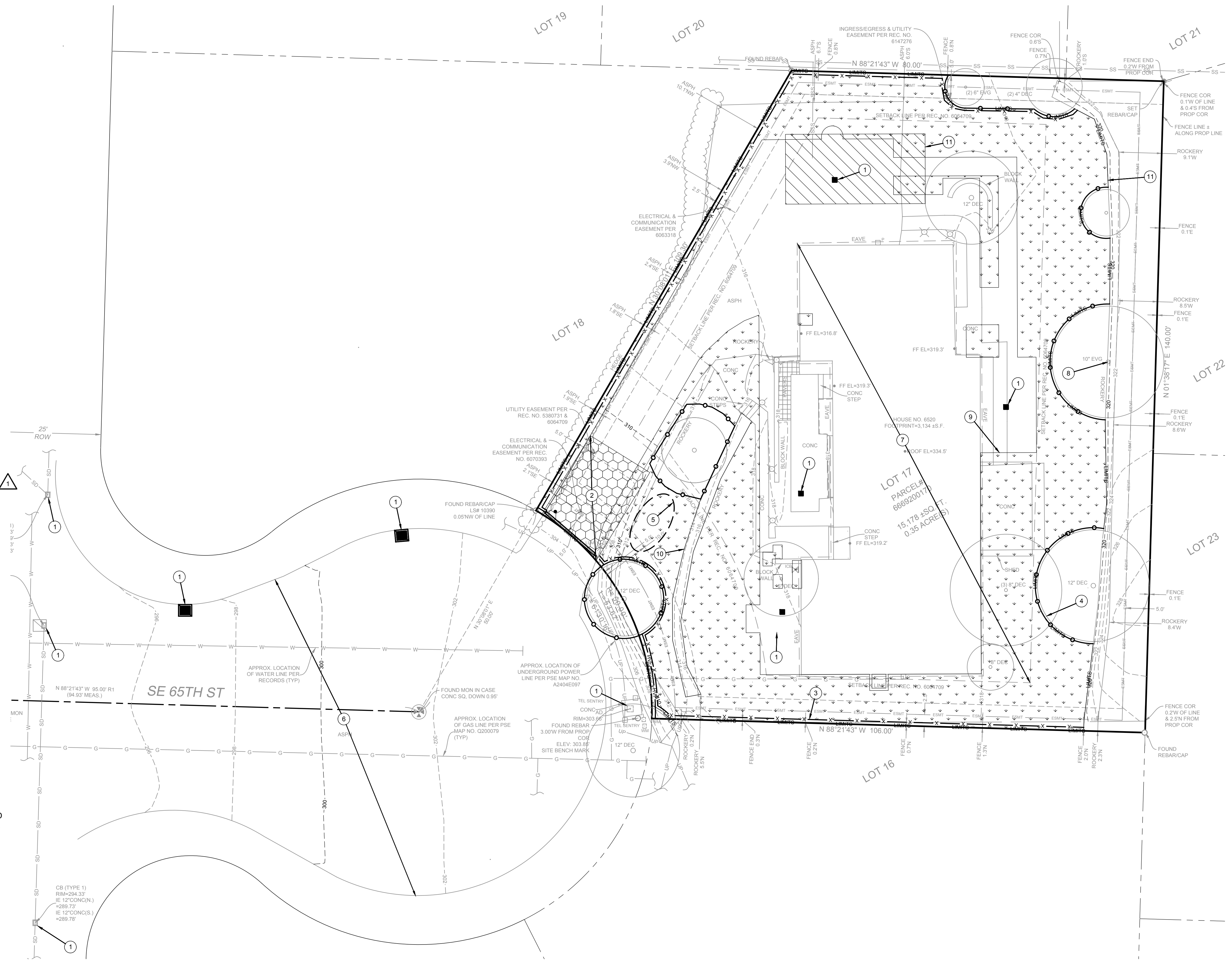
* INSTALL PERIMETER PROTECTION, SUCH AS SILT FENCING, COMPOST SOCKS, OR STRAW WATTLES IN ACCORDANCE WITH VOL II OF THE 2019 DOE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON

LEGEND:

- STABILIZED CONSTRUCTION ENTRANCE
- STORAGE AND STAGING AREA
- SOIL AMENDMENT
- PERIMETER PROTECTION
- STOCKPILE LOCATION
- TREE PROTECTION FENCING

POST-CONSTRUCTION SOIL QUALITY AND DEPTH NOTES:

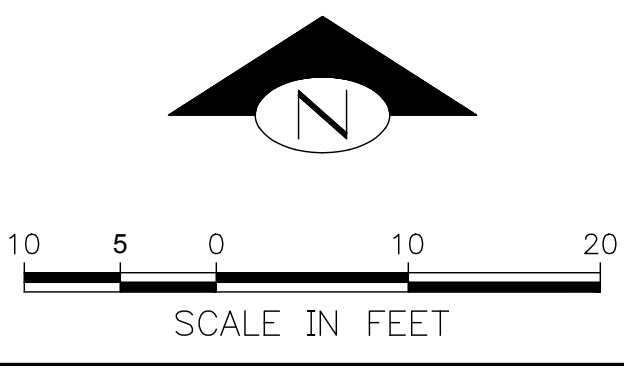
- A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
- MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL
- USE COMPOST AND OTHER MATERIALS THAT MEET ORGANIC CONTENT OUTLINED IN BMP T5.13 OF THE DOE MANUAL



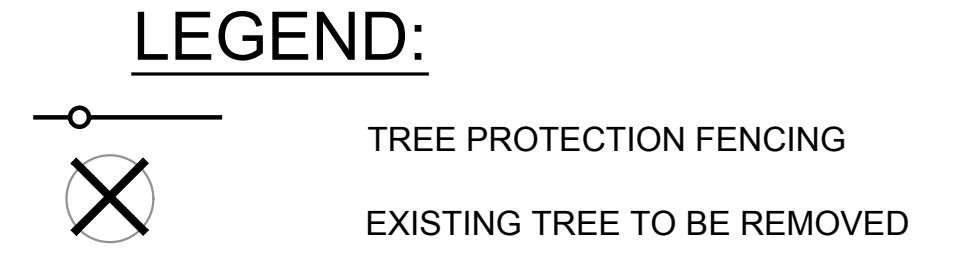
SMALL PARCEL ESC PLAN
SCALE: 1" = 10'

| | | |
|--|---|--|
| <p>NO. DATE BY REVISION</p> <p>1 06/18/2024 LG CITY REVIEW CORRECTIONS #1</p> | <p>FACET</p> <p>9706 4th Ave NE Suite 300 Seattle, WA 98115</p> <p>FEDERAL WAY KIRKLAND MOUNT VERNON SEATTLE SPokane WHIDBEY ISLAND</p> <p>P: 206.523.0024 www.facetnw.com</p> | <p>BASE MAP PHOTOGRAPHY PROVIDED BY OTHERS. FACET CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES AND ALL OTHER INFORMATION AND CONDITIONS PRIOR TO CONSTRUCTION. CONTACT FACET PRIOR TO CONSTRUCTION.</p> <p>9706 4th Ave NE Suite 300 Seattle, WA 98115</p> <p>FEDERAL WAY KIRKLAND MOUNT VERNON SEATTLE SPokane WHIDBEY ISLAND</p> <p>CALL 811 2 BUSINESS DAYS BEFORE YOU DIG (UNDERGROUND UTILITY LOCATIONS ARE APPROX.)</p> |
| <p>TEKIELA RESIDENCE 6620 82ND AVE SE MERCER ISLAND, WA 98040 2311.03333.00</p> | | |
| <p>SCHEMATIC PLAN</p> | | |
| <p>SMALL PARCEL ESC PLAN</p> | | |
| <p>DATE: 6/18/2024 PLAN NUMBER: C02</p> | | |
| <p>SHEET 2 OF 10</p> | | |

FILE LOCATION: P:\CLIENTS\01\WHEELAN ARCHITECTS\6620 82ND AVE SE MERCER ISLAND\DWG\160623\6620 82ND AVE SE MERCER ISLAND\DWG\160623\6620 82ND AVE SE MERCER ISLAND.DWG - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES) - LAST MODIFIED BY: GERDA SZOBOSZLAI
 PRINCIPAL: BI PROJECT MANAGER: BI DESIGNED BY: LG DRAWN BY: CK, GS CHECKED BY: BI



| KEY NOTES: | | |
|------------|---|--------------|
| KEY | NOTE: | DETAIL/SHEET |
| ① | EX TREE TO BE REMOVED (TYP) | - |
| ② | TREE PROTECTION FENCING | TP/C03 |
| ③ | APPROX LOCATION OF EX TREE (NOT SURVEYED) TO BE PROTECTED | - |

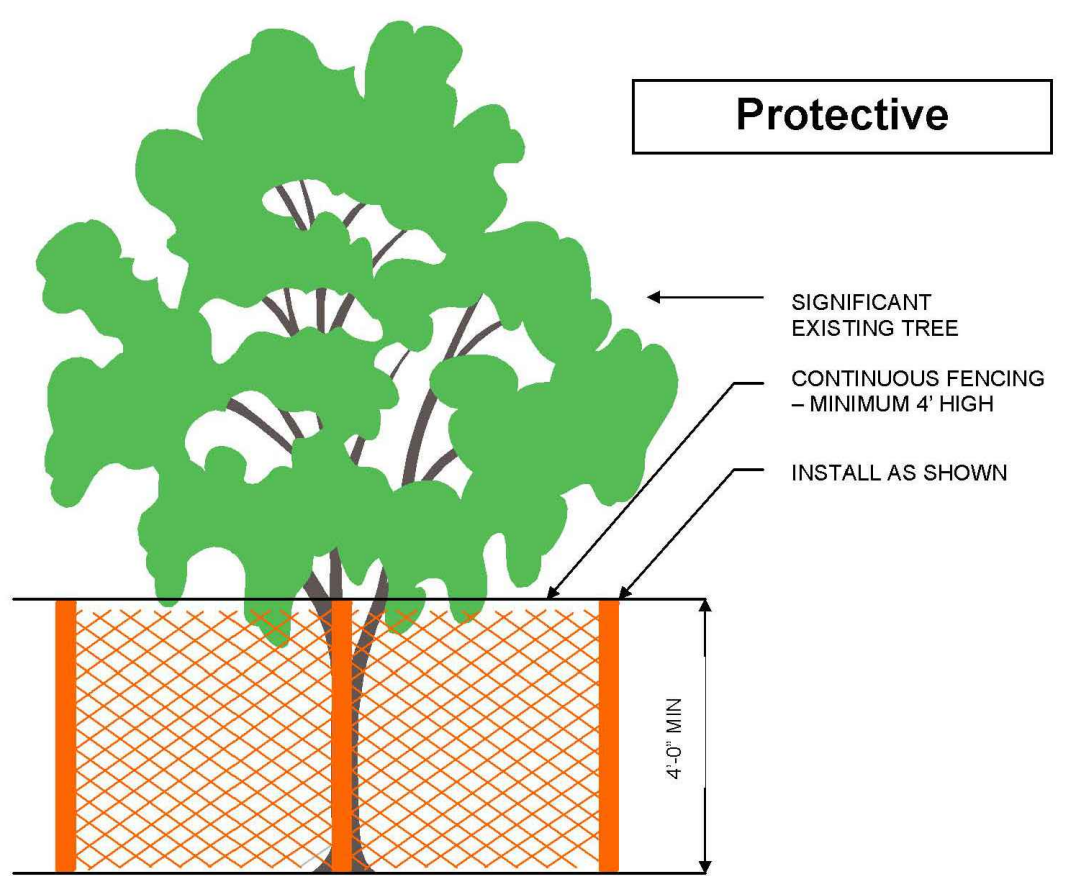


GENERAL NOTES:
 TREE DATA INCLUDING TREE SPECIES AND TREE RETENTION STATUS PER ARBORIST REPORT CREATED BY ARTIST TOUCH LANDSCAPING DATED 12/27/2023. ARBORIST SHOULD BE ONSITE DURING CLEARING TO VERIFY TREES TO REMAIN VS REMOVED. TREE PROTECTION FENCING SHALL BE LOCATED AS DESCRIBED IN THE ARBORIST REPORT UNLESS DIRECTED OTHERWISE BY THE ARBORIST

TREE PROTECTION STANDARDS:

- TREE PROTECTION FENCING SHALL BE ERECTED AT PRESCRIBED DISTANCE PER ARBORIST REPORT. FENCES SHALL BE CONSTRUCTED OF CHAIN LINK AND BE AT LEAST 4 FEET HIGH.
- INSTALL HIGHLY VISIBLE SIGNS ON PROTECTION FENCING SPACED NO FURTHER THAN 15 FEET APART. SIGNS SHALL STATE "TREE PROTECTION AREA-ENTRANCE PROHIBITED", AND "CITY OF MERCER ISLAND" CODE ENFORCEMENT PHONE NUMBER.
- NO WORK SHALL BE PERFORMED WITHIN PROTECTION FENCING UNLESS APPROVED BY PLANNING OFFICIAL. IN SUCH CASES, ACTIVITIES WILL BE APPROVED AND SUPERVISED BY A "QUALIFIED TREE PROFESSIONAL".
- THE ORIGINAL GRADE SHALL NOT BE ELEVATED OR REDUCED WITHIN PROTECTION FENCING WITHOUT THE PLANNING OFFICIAL AUTHORIZATION BASED ON RECOMMENDATIONS FROM A QUALIFIED PROFESSIONAL.
- NO BUILDING MATERIALS, SPOILS, CHEMICALS OR SUBSTANCES OF ANY KIND WILL BE PERMITTED WITHIN PROTECTION FENCING
- PROTECTION FENCING SHALL BE MAINTAINED UNTIL THE PLANNING OFFICIAL AUTHORIZES ITS REMOVAL.
- ENSURE THAT ANY APPROVED LANDSCAPING WITHIN THE PROTECTED ZONE SUBSEQUENT TO THE APPROVED REMOVAL OF PROTECTION FENCING BE PERFORMED WITH HAND LABOR.

- IN ADDITION TO THE ABOVE, THE PLANNING OFFICIAL MAY REQUIRE THE FOLLOWING:
- IF EQUIPMENT IS AUTHORIZED TO OPERATE WITHIN THE ROOT ZONE, THE AREA WILL BE MULCHED TO A DEPTH OF 6" OR COVERED WITH PLYWOOD OR SIMILAR MATERIAL TO PROTECT ROOTS FROM DAMAGE CAUSED BY HEAVY EQUIPMENT.
 - MINIMIZE ROOT DAMAGE BY EXCAVATING A 2-FOOT DEEP TRENCH, AT EDGE OF PROTECTION FENCING TO CLEANLY SEVER THE ROOTS OF PROTECTED TREES.
 - CORRECTIVE PRUNING TO AVOID DAMAGE FROM MACHINERY OR BUILDING ACTIVITY.
 - MAINTENANCE OF TREES THROUGHOUT CONSTRUCTION PERIOD BY WATERING AND FERTILIZATION.

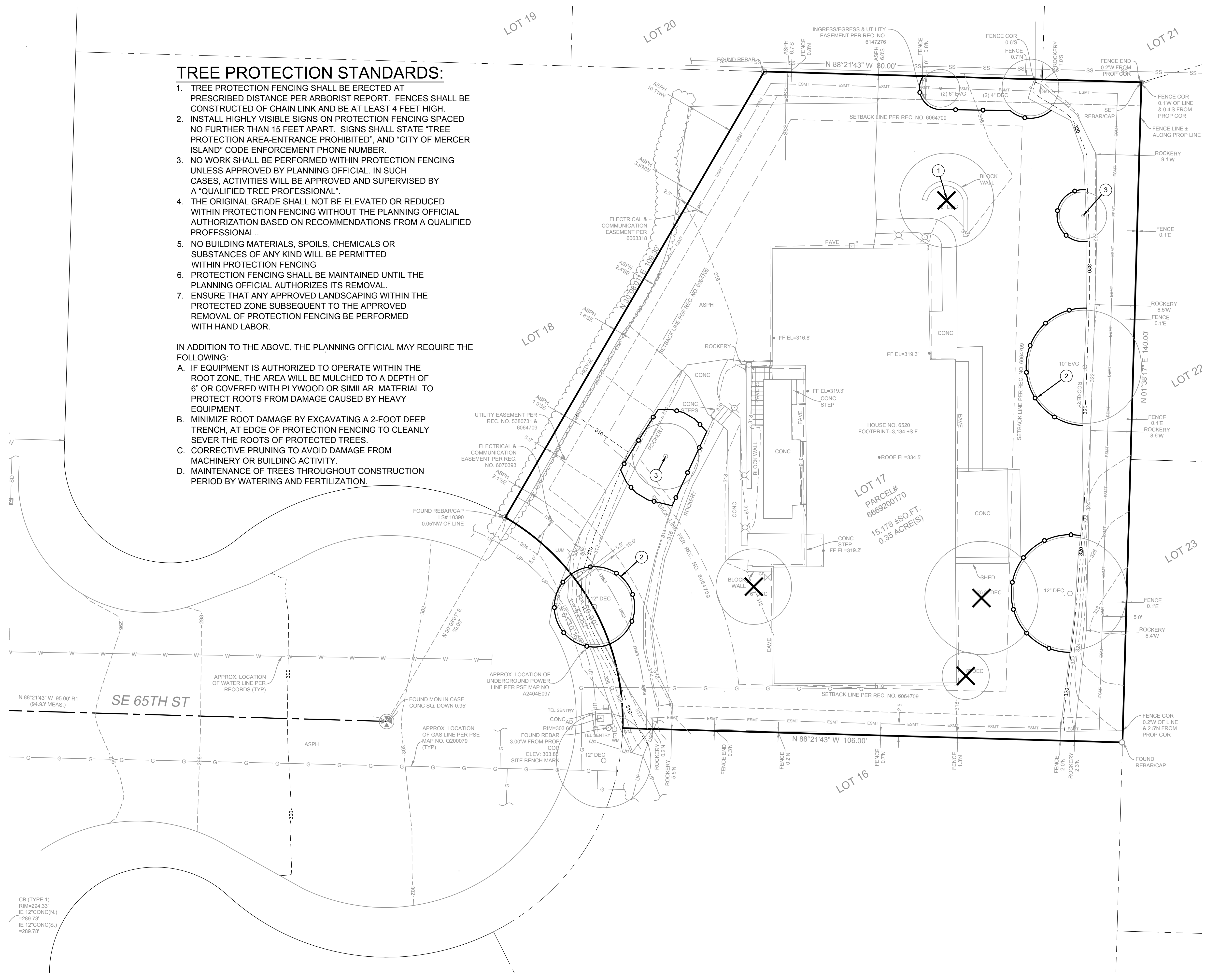


- PROTECTIVE FENCING SHALL BE LOCATED WHERE SHOWN ON PLANS. FENCE SHALL COMPLETELY ENIRCLE TREE(S) AT THE DRIPLENE OR BEYOND. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS. FENCE MUST REMAIN UP THROUGHOUT PROJECT.
- NO STOCKPILING OF MATERIALS, GRADE CHANGES, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. PLEASE CALL ARBORIST FOR MITIGATION MEASURES IF FENCING MUST COME DOWN.
- TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER 1" IN DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP WITH CONTINUOUS IRRIGATION, TO PREVENT DRYING. COVER WITH SOIL AS SOON AS POSSIBLE - 3" OF MULCH RECOMMENDED.

TREE PROTECTION FENCING TP C03
 NOT TO SCALE

CALL 811
 2 BUSINESS DAYS
 BEFORE YOU DIG

TREE RETENTION PLAN
 SCALE: 1" = 10'



FILE LOCATION: P:\CLIENTS\01\WHEELAN ARCHITECTS\66282 82ND AVE SE MERCER ISLAND\DWG\66282 82ND AVE SE MERCER ISLAND\DWG\66282 82ND AVE SE MERCER ISLAND - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES) - LAST MODIFIED BY: GERDA SZOBOSZLAI
 PRINCIPAL: BI PROJECT MANAGER: BI DESIGNED BY: LG DRAWN BY: CK, GS CHECKED BY: BI

| | |
|----------------------|--|
| NO. DATE BY REVISION | |
| 1 | 06/18/2024 LG CITY REVIEW CORRECTIONS #1 |

BASE MAP PHOTOGRAPHY PROVIDED BY OTHERS. FACET CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES AND ALL OTHER INFORMATION SHOWN AND CONSTRUCT AS SHOWN. CONTACT FACET PRIOR TO CONSTRUCTION.

P: 206.523.0024
 www.facetnw.com

9706 4th Ave NE
 Suite 300
 Seattle, WA 98115
 FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPokane | WHIDBEY ISLAND

FACET

Ben Lading
 State of Washington
 Professional
 License No. 145305
 Expires 12/31/24

CALL 811
 2 BUSINESS DAYS
 BEFORE YOU DIG
 (UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

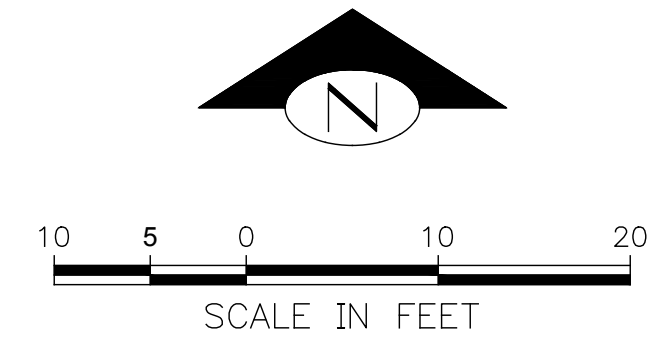
TEKIELA RESIDENCE
 6620 82ND AVE SE
 MERCER ISLAND, WA 98040
 2311.0333.00

SCHEMATIC PLAN

TREE RETENTION PLAN

DATE: 6/18/2024
 PLAN NUMBER:
C03

SHEET 3 OF 10

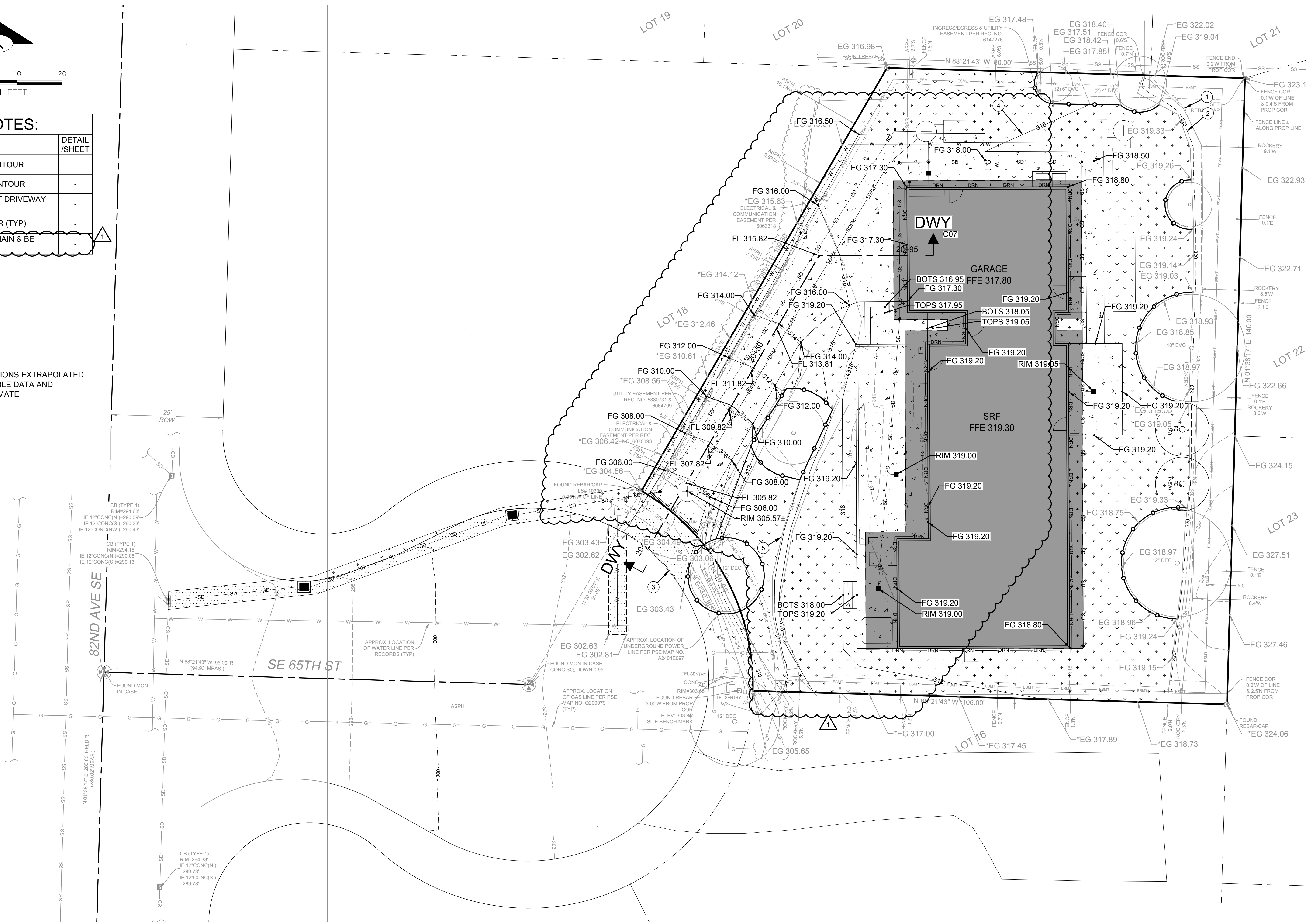


| KEY NOTES: | | |
|------------|---|---------------|
| KEY | NOTE: | DETAIL /SHEET |
| ① | EXISTING MINOR CONTOUR | - |
| ② | EXISTING MAJOR CONTOUR | - |
| ③ | SAWCUT EX ASPHALT DRIVEWAY AND MATCH EG | - |
| ④ | PROPOSED CONTOUR (TYP) | - |
| ⑤ | EX ROCKERY TO REMAIN & BE PROTECTED | - |

LEGEND:

| | |
|--|-----------|
| | CONCRETE |
| | ASPHALT |
| | LANDSCAPE |

*EG XXX.XX POINT ELEVATIONS EXTRAPOLATED FROM AVAILABLE DATA AND ARE APPROXIMATE

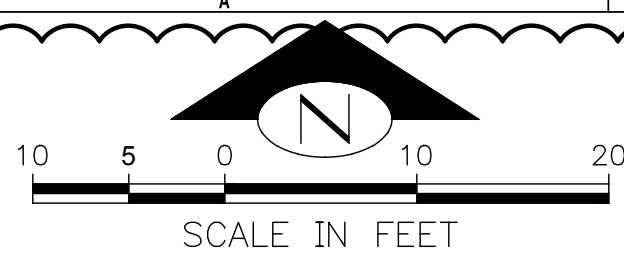


FILE LOCATION: P:\CLIENTS\CONCRETE\ARCHITECTS\6620 AVE SE MERCER ISLAND\DWG\6620 AVE SE MERCER ISLAND\DWG\6620 AVE SE ARCH FULL BLEED D (8.00 X 24.00 INCHES) - LAST MODIFIED BY: GERDA SZOBIOSZLA
 PRINCIPAL: BI PROJECT MANAGER: BI DESIGNED BY: LG DRAWN BY: CK, CS CHECKED BY: BI

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
 (UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

GRADING PLAN
 SCALE: 1" = 10'

| | |
|--|--|
| <p>NO. 06182024</p> <p>DATE 6/18/2024</p> <p>BY LG</p> <p>REVISION</p> | <p style="font-size: small;">BASE PHOTOGRAPHY PROVIDED BY OTHERS. FACET CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL VERIFY GRADES, UTILITIES AND ALL ABOVE PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT FACET PRIOR TO CONSTRUCTION.</p> <p style="font-size: small;">P: 206.523.0024 www.facetnw.com</p> <p style="font-size: small;">9706 4th Ave NE Suite 300 Seattle, WA 98115 FEDERAL WAY KIRKLAND MOUNT VERNON SEATTLE SPokane WHIDBEY ISLAND</p> <div style="text-align: center;"> <p>Ben Adams Date: 6/24/2024 15388</p> </div> <p style="text-align: center;">CALL 811 2 BUSINESS DAYS BEFORE YOU DIG <small>(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)</small></p> <p style="text-align: center;">TEKIELA RESIDENCE 6620 82ND AVE SE MERCER ISLAND, WA 98040 2311.0333.00</p> <p style="text-align: center;">SCHEMATIC PLAN</p> <p style="text-align: center;">GRADING PLAN</p> <p>DATE: 6/18/2024 PLAN NUMBER: C04 SHEET 4 OF 10</p> |
|--|--|



KEY NOTES:

| KEY | NOTE: | DETAIL /SHEET |
|-----|---|---------------|
| 1 | EX TYPE 1 CATCH BASIN RIM 294.18 8" IE (E) 290.15 EX 12" IE (N) 290.08 EX 12" IE (S) 290.13 | F/C08 |
| 2 | SAWCUT AND MATCH EG. REPLACE EX ASPHALT PAVEMENT SECTION IN-KIND | - |
| 3 | 31 LF 8" SD @ 2.00% MIN | - |
| 4 | TYPE 1 CATCH BASIN W/ SOLID LOCKING LID RIM 297.07± 8" IE (E) 293.40 8" IE (W) 293.40 | F/C08 |
| 5 | 49 LF 8" SD @ 2.00% MIN | - |
| 6 | TYPE 1 CATCH BASIN W/ SOLID LOCKING LID RIM 301.46± 6" IE (E) 298.74 8" IE (W) 298.74 | F/C08 |
| 7 | 33 LF 6" SD @ 2.00% MIN | - |
| 8 | 6" SDCO RIM 304.96± 6" IE 302.46 | E/C08 |
| 9 | 14 LF TRENCH DRAIN RIM 304.56 6" IE 302.06 | I/C08 |
| 10 | 3 LF 6" SD @ 2.00% MIN | - |
| 11 | DUPLEX STORM PUMP STATION W/ SOLID LOCKING LID RIM 305.57 6" IE (SW) 302.00 2" IE (NE) 302.00 (SDFM) SUMP PER MANUFACTURER'S RECOMMENDATIONS | J/C10 |
| 12 | 92 LF 2" SDFM | - |
| 13 | 97 LF 6" SD @ 2.00% MIN | - |
| 14 | 6" SDCO RIM 317.30 6" IE 314.80 | E/C08 |
| 15 | 54" TYPE 2 CATCH BASIN W/ FLOW CONTROL STRUCTURE RIM 317.50 36" IE (E) 309.90 2" IE (SW) 314.50 (INLET, SDFM) 6" IE (S) 313.90 (INLET) 6" IE (W) 309.90 (OUTLET) FLOW CONTROL STRUCTURE INFO: 6" OVERFLOW ELEV 314.40 ORIFICE #2: 2.0" @ ELEV 313.90 ORIFICE #1: 0.70" @ ELEV 307.90 | G/C08, H/C09 |
| 16 | 5 LF 6" SD @ 2.00% MIN | - |
| 17 | 6" SDCO RIM 317.50 6" IE 314.10 | E/C08 |
| 18 | 2 LF 4" SD @ 2.00% MIN | - |
| 19 | 12" AREA DRAIN RIM 317.50 4" IE (S) 315.00 (FTG DRN) 4" IE (N) 315.00 2" MIN SUMP | - |
| 20 | 4" SOLID WALL PVC FOOTING DRAIN TIGHTLINE @ 2.00% MIN 4" IE 316.00 | - |
| 21 | 6 LF 6" SD @ 2.00% MIN | - |
| 22 | 35 LF 6" SD @ 2.00% MIN | - |
| 23 | 6" SDCO RIM 317.52± 6" IE 315.50 | E/C08 |
| 24 | NOT USED | - |
| 25 | 60 LF 6" SD @ 2.00% MIN | - |
| 26 | 12" AREA DRAIN RIM 319.00± 4" IE 317.00 | - |
| 27 | 12" AREA DRAIN RIM 319.00± 6" IE 317.00 2" MIN SUMP | - |
| 28 | 2 LF 36" SD LAID FLAT @ ELEV 309.90 | - |

| | | |
|----|---|--------------|
| 29 | DETECTION FACILITY (2) 50" X 36.5" PIPE LAID FLAT TOP OF 60" PIPE 314.40 36" IE (N) 309.90 60" IE 309.40 | H/C09 |
| 30 | 54" TYPE 2 CATCH BASIN RIM 318.75 36" IE (W) 309.90 36" IE (S) 309.90 | G/C08, H/C09 |
| 31 | 35 LF 6" SD @ 2.00% MIN | - |
| 32 | 6" SDCO RIM 318.56 6" IE 314.80 | E/C08 |
| 33 | 110 LF 6" SD @ 2.00% MIN | - |
| 34 | 3 LF 4" SD @ 2.00% MIN | - |
| 35 | 12" AREA DRAIN RIM 319.05 4" IE 317.05 | - |
| 36 | PERIMETER FOOTING DRAIN - 4" PERFORATED PVC PIPE IN 6" MIN WASHED GRAVEL, WRAPPED IN NON-WOVEN GEOTEXTILE FILTER FABRIC (TYP) | - |
| 37 | 6" SDCO RIM 318.70 6" IE 317.00 | E/C08 |
| 38 | 4" ROOF DS AND TRENCHLINE @ 2.00% MIN (TYP) | - |
| 39 | 4" ROOF DS (TYP) | - |
| 40 | 2 LF 4" SD @ 2.00% MIN | - |
| 41 | 5 LF 6" SD @ 2.00% MIN | - |
| 42 | 6" SDCO RIM 317.30 6" IE 309.80 | E/C08 |

FOOTING DRAINS:

- FOOTING DRAINS SHALL BE INSTALLED AROUND ALL FOUNDATIONS WHICH ENCLOSE A CRAWL SPACE, CELLAR, BASEMENT, GARAGE OR OTHER BUILDING SPACE.
- DRAINS SHALL BE CONSTRUCTED OF PERFORATED PIPE INSTALLED AT THE BASE OF THE FOOTING.
- DRAIN PIPE SHALL MEET MATERIAL STANDARDS FOR D2729 FOR P.V.C. PIPE, WITH THE PERFORATIONS DIRECTED DOWNWARD.
- GRANULAR BACKFILL SHALL BE PLACED AROUND AND ABOVE THE FOOTING DRAIN TO A DEPTH OF 2/3 OF THE HEIGHT OF THE WALL. A FILTER FABRIC SHALL BE USED TO PREVENT SOIL PARTICLES FROM ENTERING THE FOOTING DRAIN. IT IS PREFERABLE THAT THE FABRIC BE PLACED BETWEEN THE GRANULAR BACKFILL AND THE NATIVE SOILS.

DRIVEWAY/PARKING AREA DRAINS:

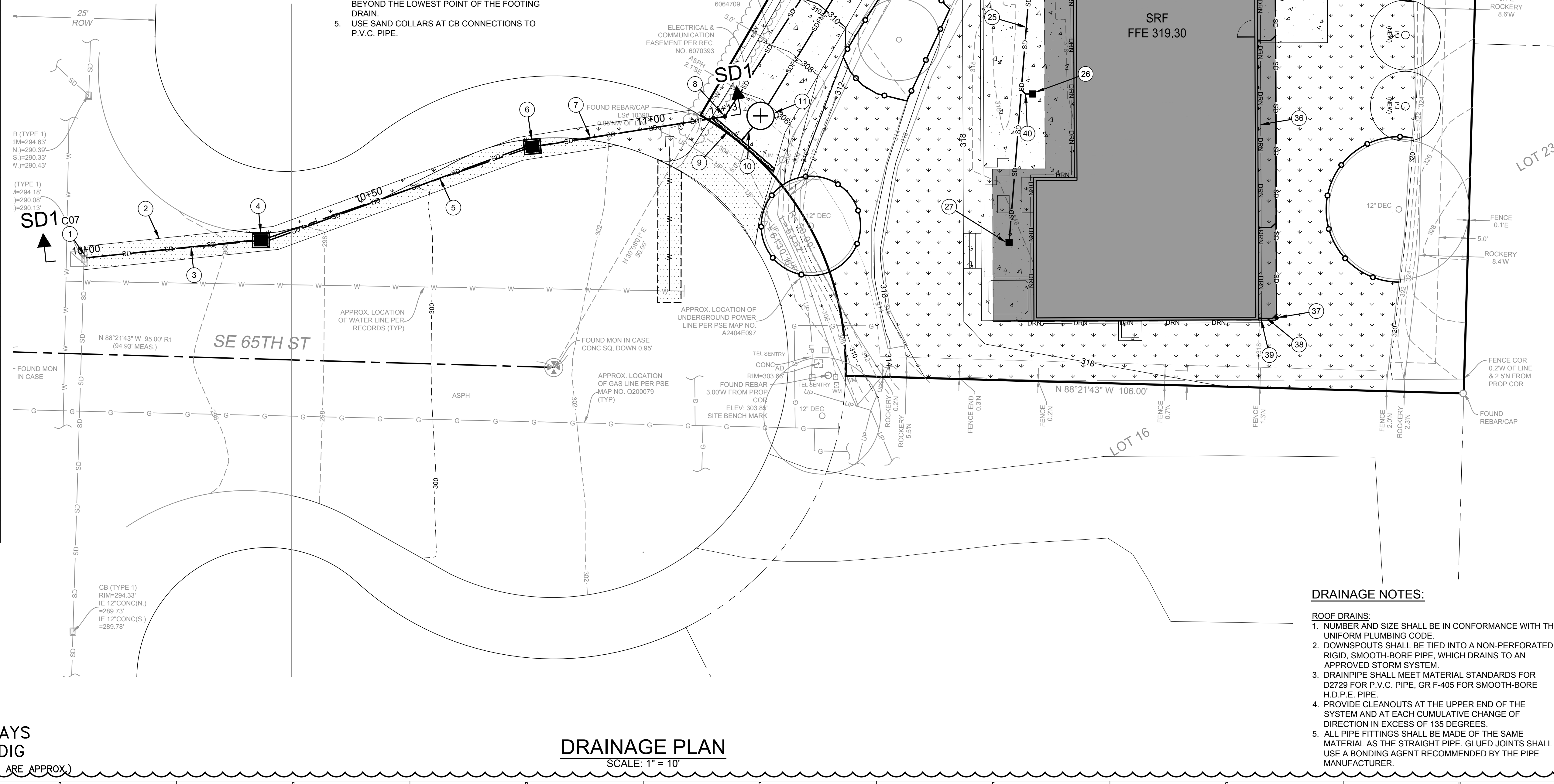
- LARGE IMPERVIOUS AREAS USED FOR PARKING OR MANEUVERING OF VEHICLES SHALL BE SLOPED TO DRAIN TO ONE OR MORE CATCH BASINS.
- THE BASINS SHALL BE TIED INTO THE ON-SITE STORM DRAINAGE SYSTEM USING NON-PERFORATED PIPE OF THE SAME MATERIALS.
- AT LEAST ONE CATCH BASIN SHALL HAVE AN OIL SEPARATOR TO CLEAN THE WATER, OIL AND SILT PRIOR TO ENTERING THE APPROVED STORM SYSTEM.
- IN AREAS WHERE THE OFF-SITE STORM SYSTEM IS INADEQUATE, ON-SITE DETENTION OF RUNOFF MAY BE REQUIRED. (CONTACT THE DEVELOPMENT ENGINEER FOR MORE INFORMATION).

GENERAL:

- SLOPE ALL DRAIN LINES AT 2% MINIMUM TOWARD THE OUTLET.
- PROVIDE CLEANOUTS OR CONTROL STRUCTURES AS APPROPRIATE.
- ALL DRAINAGE PIPING AND STRUCTURES ARE SUBJECT TO INSPECTION PRIOR TO BACKFILLING.
- ROOF AND FOOTING DRAINS MAY BE COMBINED BEYOND THE LOWEST POINT OF THE FOOTING DRAIN.
- USE SAND COLLARS AT CB CONNECTIONS TO P.V.C. PIPE.

GENERAL (CONTINUED):

- UNLESS OTHERWISE SPECIFIED, 6" STORM DRAIN PIPE FOR ROOF DRAINS AND SEWER PIPE SHALL BE SDR35 PVC PIPE.
- ALL FOOTING DRAIN AND PERFORATED PIPE SHALL BE D2729 PVC PIPE WITH THE PERFORATIONS DIRECTED DOWNWARDS.
- ALL PERF PIPE SHALL BE 4" DIAMETER UNLESS OTHERWISE SHOWN.
- CONTRACTOR TO VERIFY INVERTS OF STORM DRAIN IN ROW AND ADJUST ON-SITE STORM SYSTEM AS NECESSARY.
- CONTRACTOR TO FIELD LOCATE AND REROUTE ANY POTENTIAL UTILITY CONFLICTS WITH DETENTION FACILITY PRIOR TO CONSTRUCTION.
- THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP TS.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT. CONTRACTOR MUST PROVIDE CIVIL ENGINEER W/ INFORMATION PROVING THE POST-CONSTRUCTION SOILS MEET THESE REQUIREMENTS.



GENERAL NOTES:

- AS-BUILTS MUST BE TIED TO THE CITY'S HORIZONTAL DATUM.

LEGEND:



CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

DRAINAGE PLAN
SCALE: 1" = 10'

DRAINAGE NOTES:

- ROOF DRAINS:**
- NUMBER AND SIZE SHALL BE IN CONFORMANCE WITH THE UNIFORM PLUMBING CODE.
 - DOWNSPOUTS SHALL BE TIED INTO A NON-PERFORATED, RIGID, SMOOTH-BORE PIPE, WHICH DRAINS TO AN APPROVED STORM SYSTEM.
 - DRAINPIPE SHALL MEET MATERIAL STANDARDS FOR D2729 FOR P.V.C. PIPE, GR F-405 FOR SMOOTH-BORE H.D.P.E. PIPE.
 - PROVIDE CLEANOUTS AT THE UPPER END OF THE SYSTEM AND AT EACH CUMULATIVE CHANGE OF DIRECTION IN EXCESS OF 135 DEGREES.
 - ALL PIPE FITTINGS SHALL BE MADE OF THE SAME MATERIAL AS THE STRAIGHT PIPE. GLUED JOINTS SHALL USE A BONDING AGENT RECOMMENDED BY THE PIPE MANUFACTURER.

FILE LOCATION: C:\CLIENTS\CIVIL\MERCER\RESIDENCE\6520 AVE SE\MERCER ISLAND\DWG\ORIGINAL SHEET SIZE: ARCH FULL BLEED (18.00" X 24.00" INCHES). LAST MODIFIED BY: GERDA SZCZESLAK
PRINCIPAL: BI PROJECT MANAGER: BI DESIGNED BY: LG DRAWN BY: CK, GS CHECKED BY: BI

FACET
9706 4th Ave NE
Suite 300
Seattle, WA 98115
FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDDEY ISLAND
P: 206.623.0024
www.facetnw.com

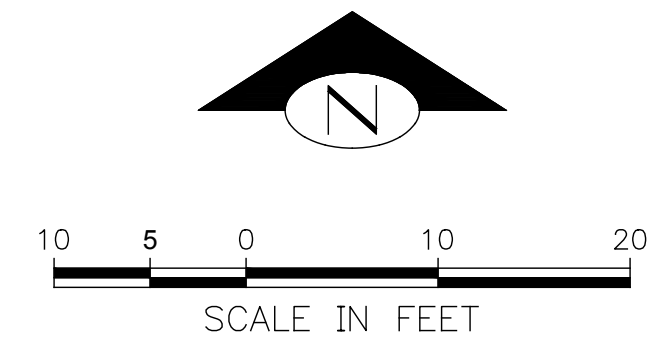
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040
2311.0333.00

SCHEMATIC PLAN
DRAINAGE PLAN

DATE: 6/18/2024
PLAN NUMBER: **C05**
SHEET 6 OF 10

NO. DATE BY REVISION
1 06/18/2024 LG CITY REVIEW CORRECTIONS #1

BASE MAP PHOTOGRAPH PROVIDED BY OTHERS. FACET CANNOT BE HELD LIABLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN. OTHER EXISTING UTILITIES AND CONDITIONS, IF ANY, ARE NOT SHOWN UNLESS INDICATED OTHERWISE. CONTRACTOR SHALL VERIFY ALL UTILITIES AND/OR PLANS CANNOT BE CONSTRUCTED. CONTACT FACET PRIOR TO CONSTRUCTION.

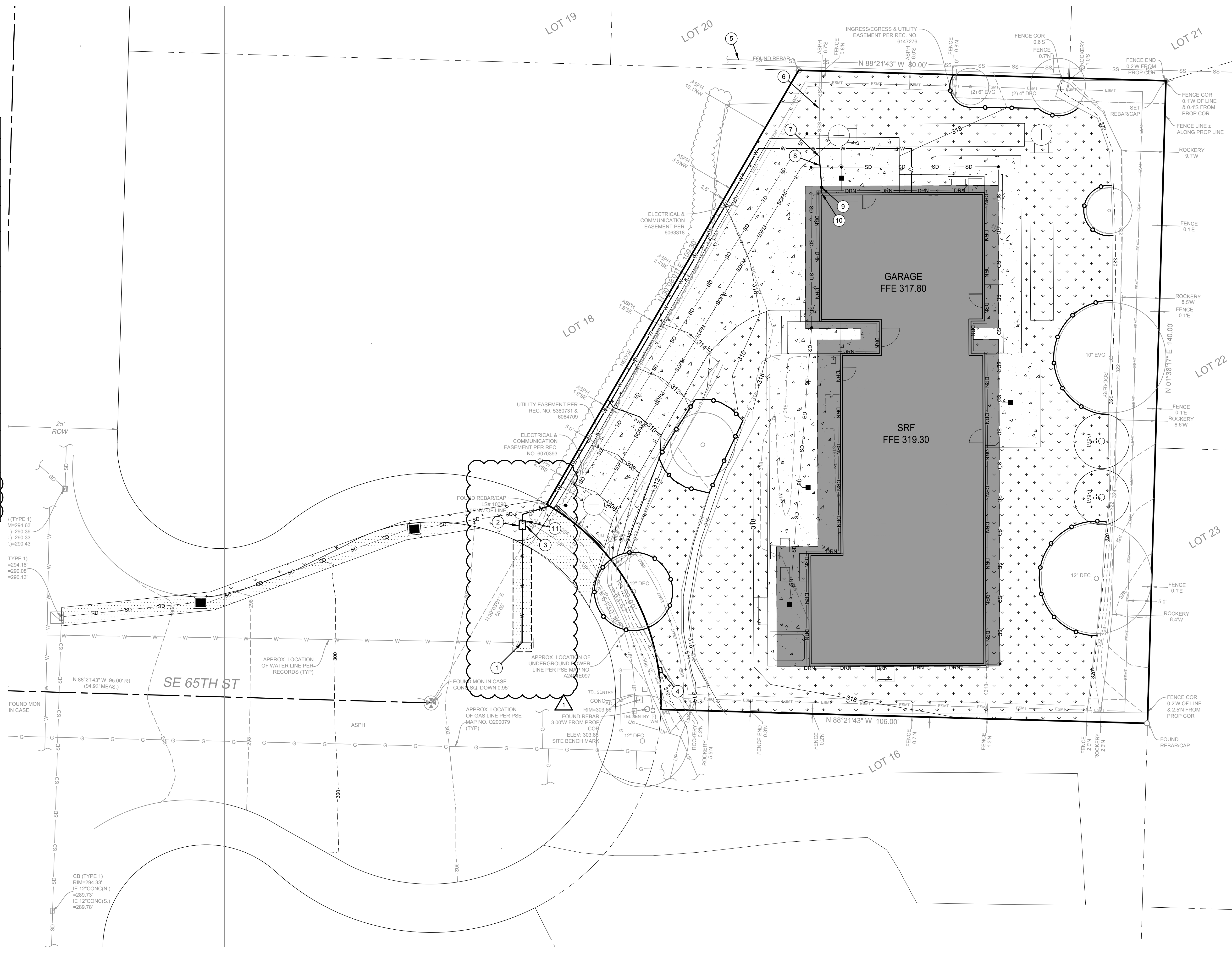


| KEY NOTES: | | |
|------------|---|---------------|
| KEY | NOTE: | DETAIL /SHEET |
| 1 | CONNECT NEW 2" WATER/FIRE SERVICE TO EX 4" WATERMAIN (SERVICE SIZE TO BE CONFIRMED BY OTHERS) | - |
| 2 | NEW 1.5" WATER/FIRE METER (SIZE TO BE CONFIRMED BY OTHERS) | - |
| 3 | AREA AROUND WATER METER TO BE GRADED TO LEVEL PER DIRECTION OF THE CITY INSPECTOR | - |
| 4 | CUT AND CAP EX GAS SERVICE ON-SITE. GAS SERVICE MAY BE REUSED FOR DEVELOPMENT OR CAPPED AND ABANDONED (TBD BY ON SITE MEP) COORDINATE W/ PSE | - |
| 5 | APPROX LOCATION OF EX 8" SS (NOT SURVEYED) PER MERCER ISLAND ONLINE GIS MAPPING | - |
| 6 | APPROX LOCATION OF EX SSS (NOT SURVEYED) PER MERCER ISLAND GIS ONLINE MAPPING. EX SSS TO BE REUSED FOR NEW SFR. EX SSS TO BE REUSED INSTEAD OF A NEW CONNECTION IF SIZED APPROPRIATELY AND DEEMED ADEQUATE FOR RE-USE BY ON-SITE INSPECTOR | - |
| 7 | NEW 4" SSS CONNECTION TO EX SSS. CONTRACTOR TO POTHOLE SSS PRIOR TO INSTALLATION OF NEW SSS TO DETERMINE LOCATION AND DEPTH. EX SSS TO BE REUSED. HYDROJET SSS TO REMOVE ANY ROOT INTRUSIONS AS NECESSARY. IF REUSED, VIDEO INSPECTION, PE EVALUATION AND CERTIFICATION OF EX SSS IS REQUIRED | - |
| 8 | 7 LF 4" SSS @ 2.00% MIN | - |
| 9 | 6" SSSCO RIM 317.40 6" IE 314.40 | E/C08 |
| 10 | 4" SSS IE 314.50 | - |
| 11 | CONTRACTOR TO CONFIRM CONFLICT WITH UNDERGROUND POWER WILL NOT OCCUR. PRIOR TO INSTALLATION OF METER. IF CONFLICT OCCURS, CONTRACTOR TO COORDINATE FINAL METER LOCATION WITH CITY INSPECTOR | - |

GENERAL NOTES:
 1. AS-BUILTS MUST BE TIED TO THE CITY'S HORIZONTAL DATUM.

LEGEND:

| | |
|--|-----------|
| | CONCRETE |
| | ASPHALT |
| | LANDSCAPE |



FILE LOCATION: C:\CLIENTS\CIVIL\MISC\LAN ARCH\TECH\SESS\6520 AVE SE MERCER ISLAND\DWG\DWG\06182024\06182024_01.dwg ORIGINAL SHEET SIZE: ARCH FULL BLEED (11.00 X 17.00 INCHES) LAST MODIFIED BY: GERDA SZOZDZELAJ
 PRINCIPAL: BI PROJECT MANAGER: BI DESIGNED BY: LG DRAWN BY: CK, GS CHECKED BY: BI

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
 (UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

UTILITY PLAN
 SCALE: 1" = 10'

| | | | |
|-----|------------|----|----------------------------|
| NO. | DATE | BY | REVISION |
| 1 | 06/18/2024 | LG | CITY REVIEW CORRECTIONS #1 |

FACET
 9706 4th Ave NE
 Suite 300
 Seattle, WA 98115
 FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDDEY ISLAND
 P: 206.522.0024
 www.facetnw.com

BENJAMIN J. EDWARDS
 State of Washington
 Digital Signatures
 Registered Professional Engineer
 License No. 33618
 Expires 06/18/2026

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
 (UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

TEKIELA RESIDENCE
 6520 82ND AVE SE
 MERCER ISLAND, WA 98040
 2311.0333.00

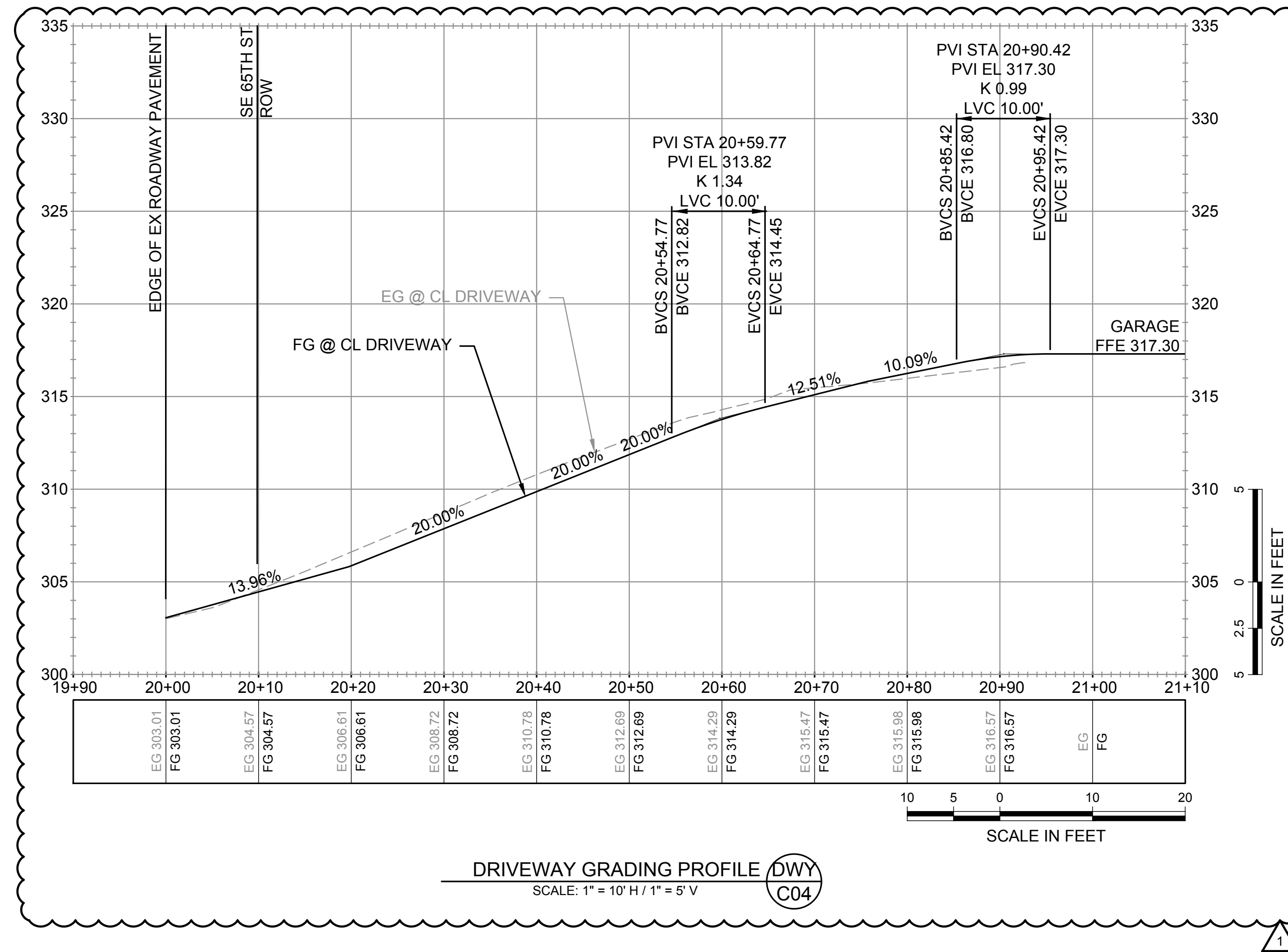
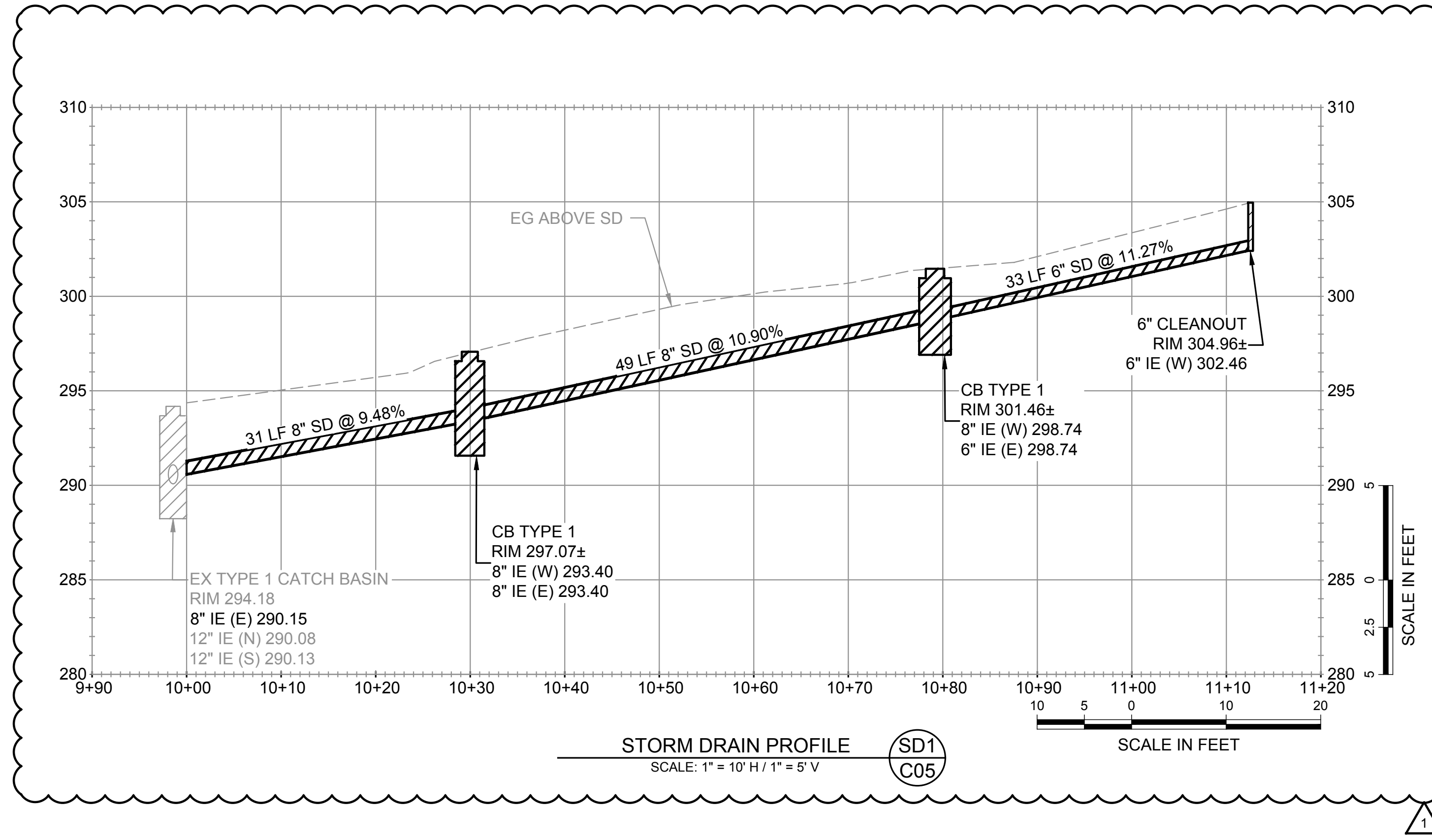
SCHEMATIC PLAN

UTILITY PLAN

DATE: 6/18/2024
 PLAN NUMBER:
C06
 SHEET 5 OF 10

PROFILE NOTE:

EX UTILITY LOCATIONS AND DEPTHS SHOWN IN PROFILE ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO INSTALLATION OF THE STORM MAIN.



PROFILES
AS-NOTED

FILE LOCATION: P:\CLIENTS\CIVIL\MCCLELLAN ARCHITECTS\6520 82ND AVE SE_MERCER ISLAND\DWG\DRAINING\030_82ND AVE SE_MERCER ISLAND.DWG, ORIGINAL SHEET SIZE: ARCH FULL BLEED (18.00 X 24.00 INCHES), LAST MODIFIED BY: GERDA SZOSZELAJ, PRINCIPAL, BI, PROJECT MANAGER, BI, DESIGNED BY: LG, DRAWN BY: CK, CS, CHECKED BY: BI

**CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG**

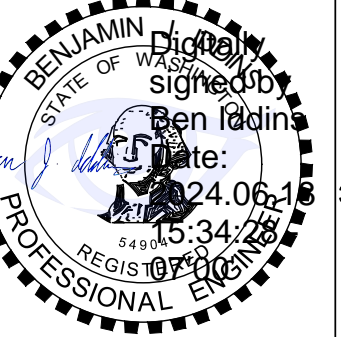
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

FACET



| NO. | DATE | BY | REVISION |
|-----|------------|----|----------------------------|
| 1 | 06/18/2024 | LG | CITY REVIEW CORRECTIONS #1 |

9706 4th Ave NE
Suite 300
Seattle, WA 98115
FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDBEY ISLAND
P: 206.522.0024
www.facetnw.com



**CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG**
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040
2311.0333.00

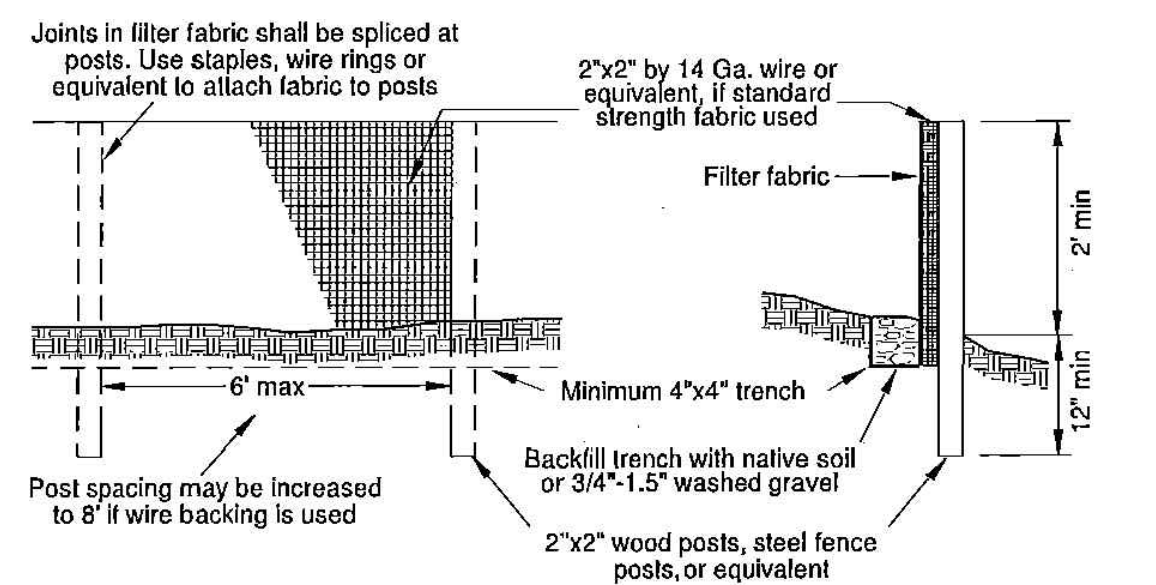
SCHEMATIC PLAN

PROFILES

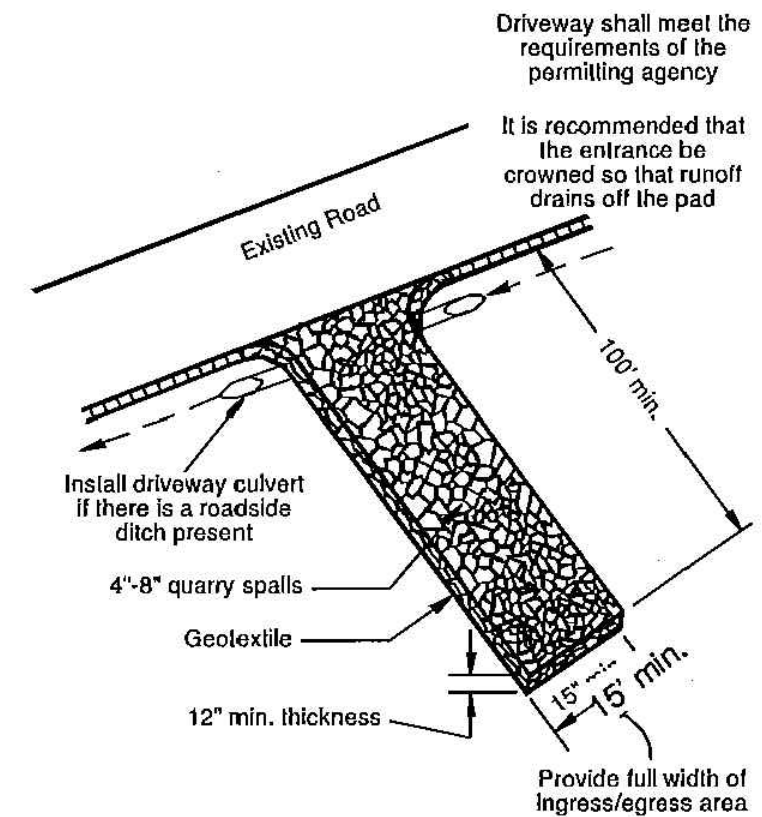
DATE: 6/18/2024
PLAN NUMBER:

C07

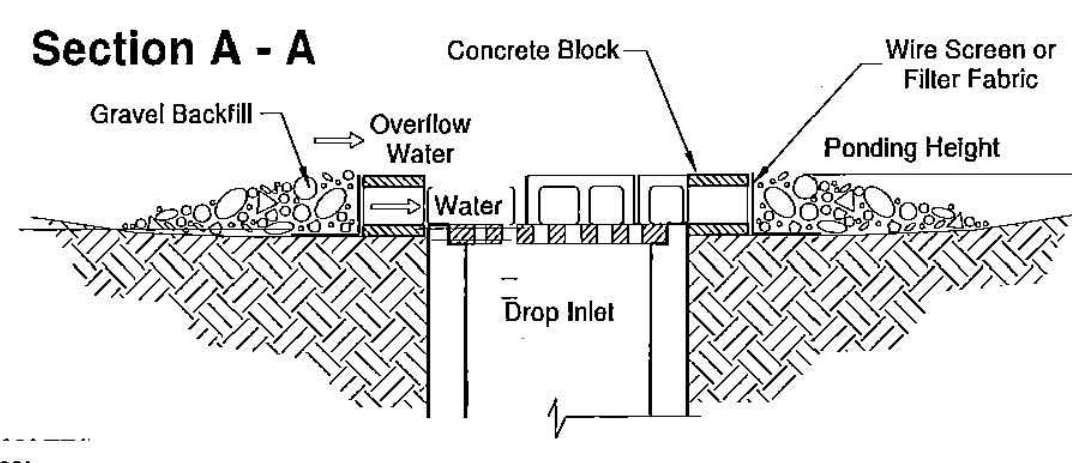
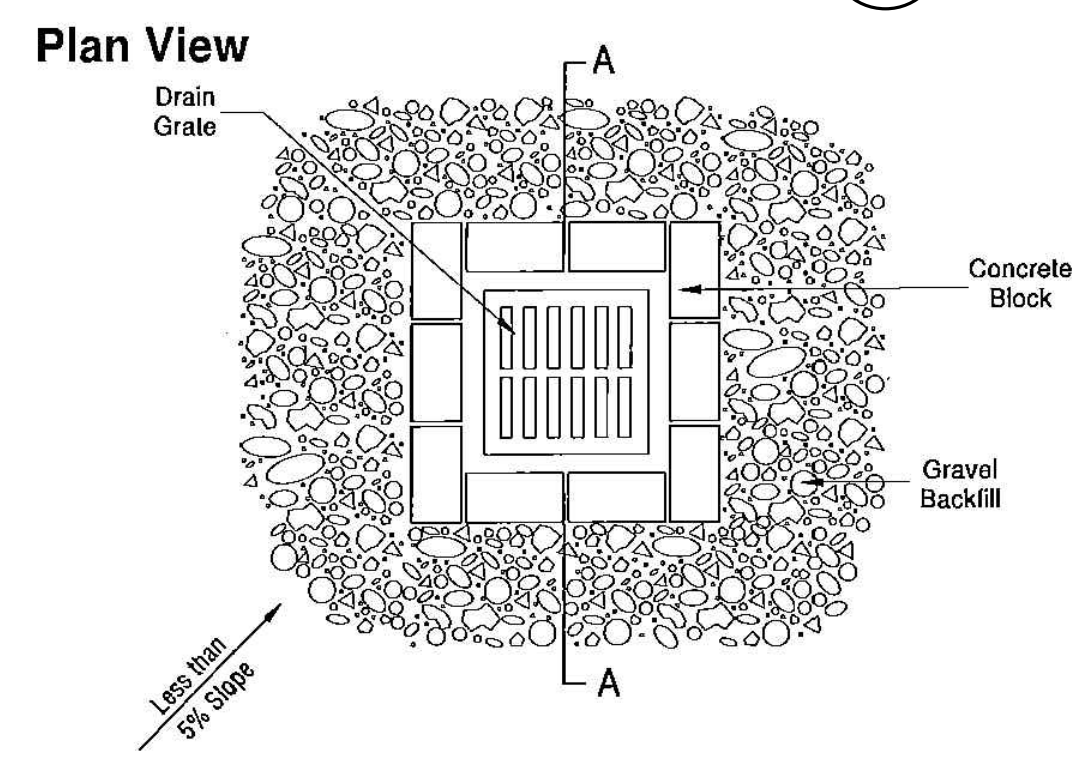
SHEET 7 OF 10



SILT FENCE
D.O.E. FIGURE 4.20
NOT TO SCALE

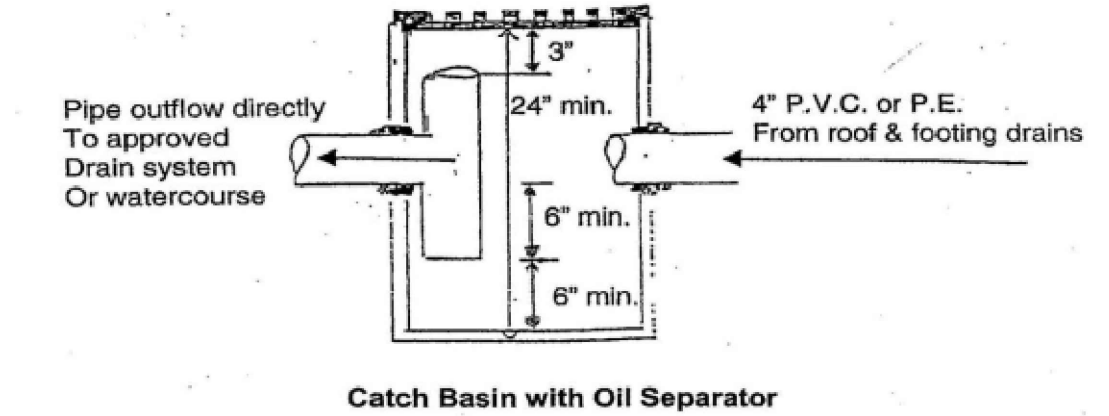


STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

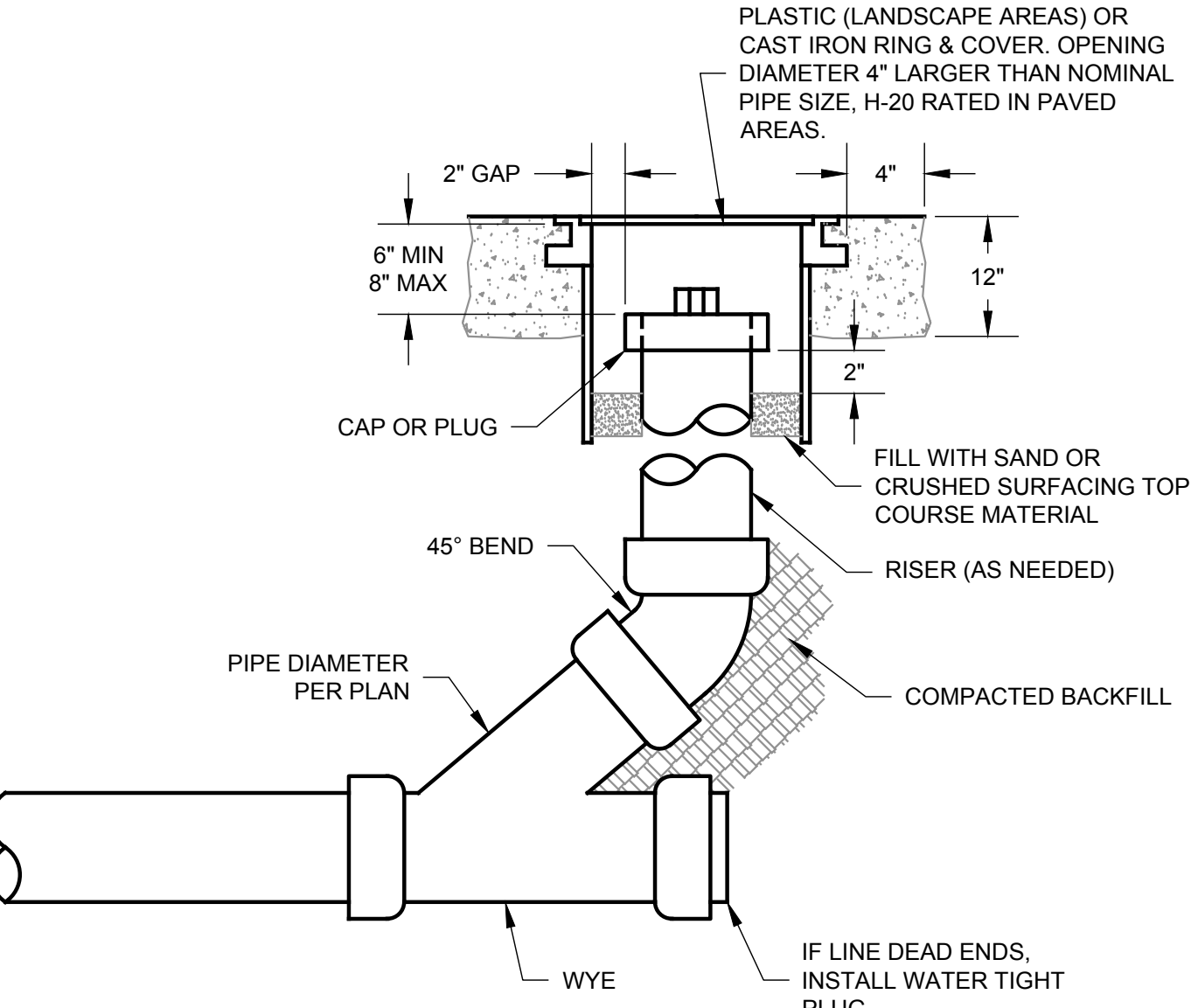


Notes:
1. Drop inlet sediment barriers are to be used for small, nearly level drainage areas. (less than 5%)
2. Excavate a basin of sufficient size adjacent to the drop inlet.
3. The top of the structure (ponding height) must be well below the ground elevation downslope to prevent runoff from bypassing the inlet. A temporary dike may be necessary on the downslope side of the structure.

TEMPORARY INLET PROTECTION
NOT TO SCALE

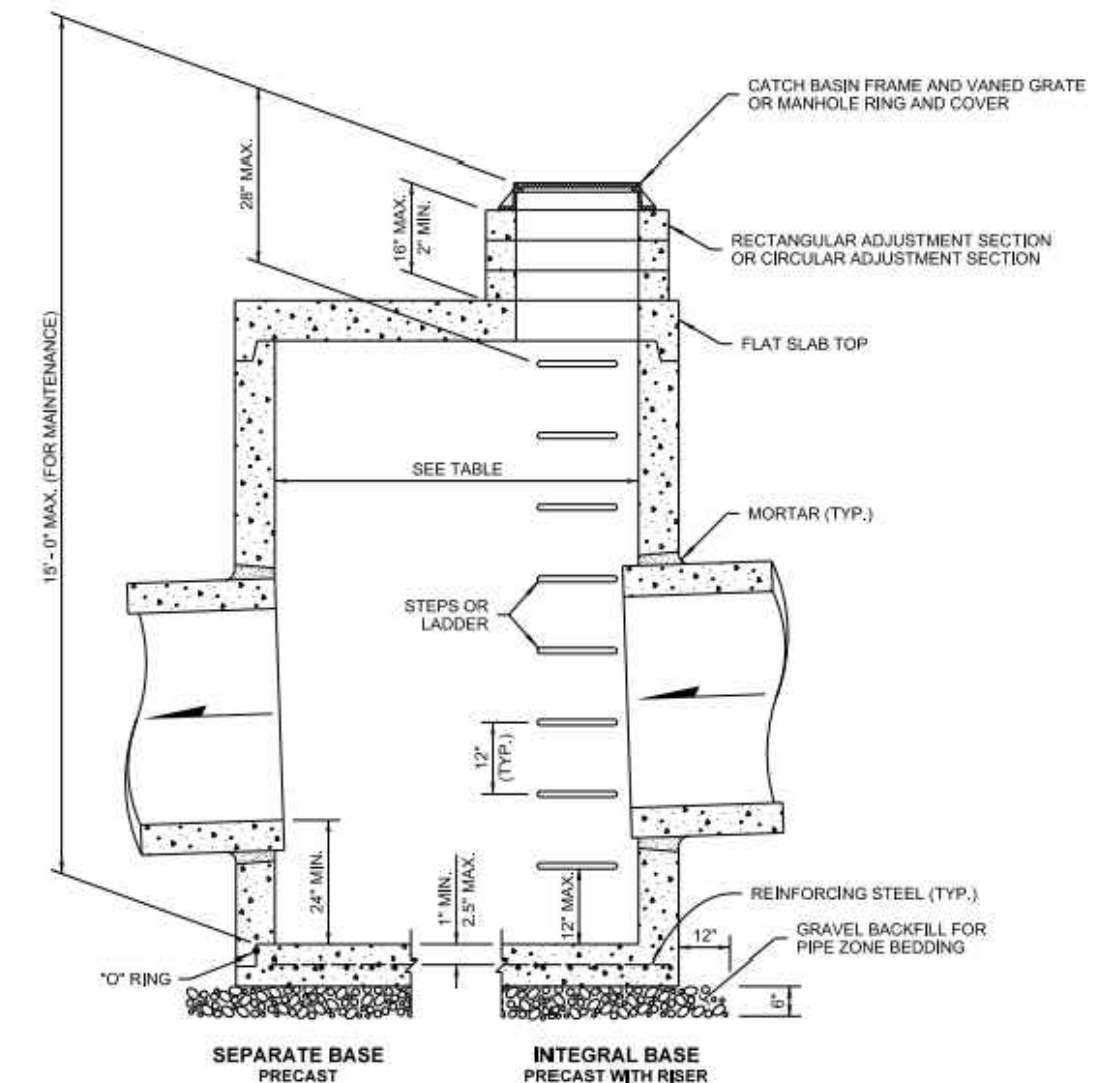


CB W/ OIL/WATER SEPARATOR
NOT TO SCALE



NOTE
CAST IRON COVER SHALL READ "SEWER", "STORM" OR "CO."

STORM DRAIN & SEWER CLEANOUT
NOT TO SCALE



CATCH BASIN DIMENSIONS

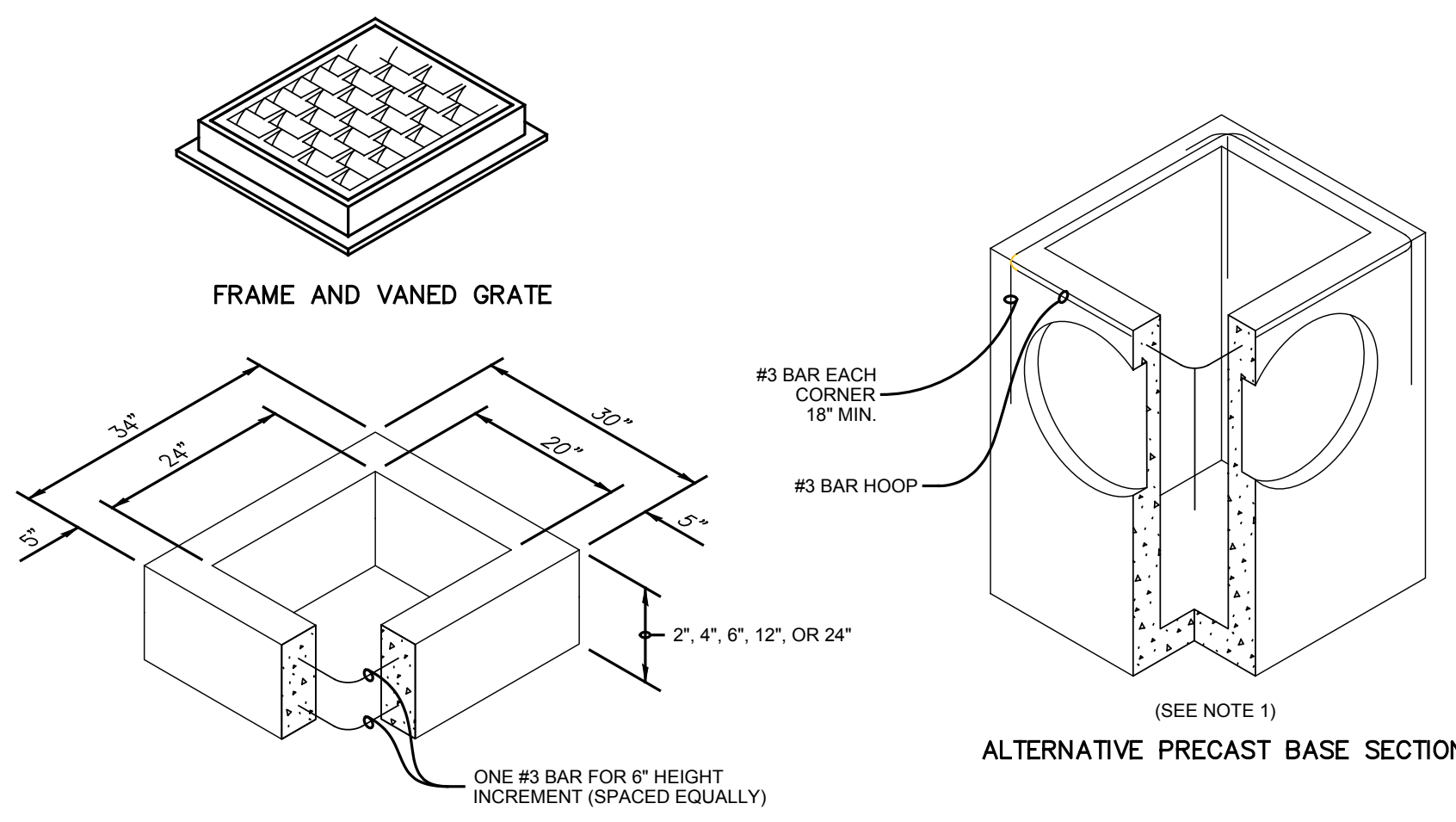
| CATCH BASIN DIAMETER | MIN. WALL THICKNESS | MIN. BASE THICKNESS | MAXIMUM KNOCKOUT SIZE | MINIMUM DISTANCE BETWEEN KNOCKOUTS |
|----------------------|---------------------|---------------------|-----------------------|------------------------------------|
| 48" | 4" | 6" | 36" | 8" |
| 54" | 4.5" | 8" | 42" | 8" |
| 60" | 5" | 8" | 48" | 8" |
| 72" | 6" | 8" | 60" | 12" |
| 84" | 8" | 12" | 72" | 12" |
| 96" | 8" | 12" | 84" | 12" |
| 120" | 10" | 12" | 96" | 12" |
| 144" | 12" | 12" | 108" | 12" |

PIPE ALLOWANCES

| CATCH BASIN DIAMETER | PIPE MATERIAL WITH MAXIMUM INSIDE DIAMETER | | | | |
|----------------------|--|-----------|-----------|----------------|------------------|
| | CONCRETE | ALL METAL | CPSP (PP) | SOLID WALL PVC | PROFILE WALL PVC |
| 48" | 24" | 30" | 24" | 30" | 30" |
| 54" | 30" | 36" | 30" | 36" | 36" |
| 60" | 36" | 42" | 36" | 42" | 42" |
| 72" | 42" | 54" | 42" | 48" | 48" |
| 84" | 54" | 60" | 54" | 48" | 48" |
| 96" | 60" | 72" | 60" | 48" | 48" |
| 120" | 66" | 84" | 60" | 48" | 48" |
| 144" | 78" | 96" | 60" | 48" | 48" |

① Corrugated Polyethylene Storm Sewer Pipe (See Standard Specification Section 9-05.20)
② (See Standard Specification Section 9-05.12(1))
③ (See Standard Specification Section 9-05.12(2))
④ Polypropylene Pipe (See Standard Specification Section 9-05.24)

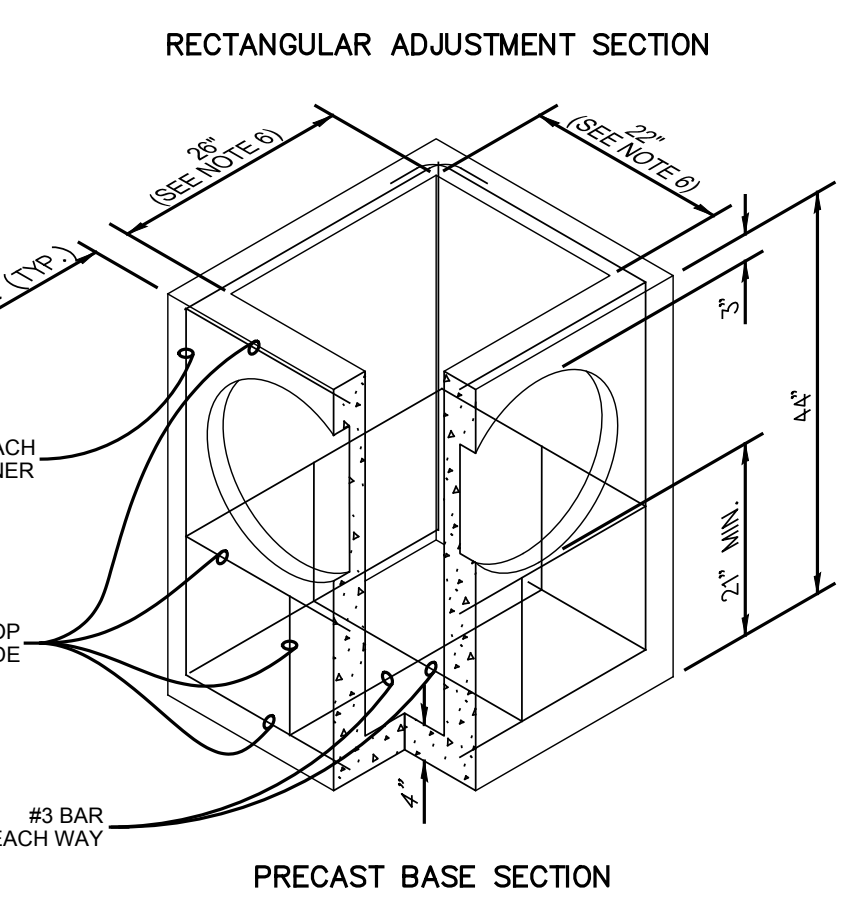
TYPE 2 CATCH BASIN
WSDOT B10.20-02E
NOT TO SCALE



PIPE ALLOWANCES

| PIPE MATERIAL | MAXIMUM INSIDE DIAMETER |
|--|-------------------------|
| REINFORCED OR PLAIN CONCRETE | 12" |
| ALL METAL PIPE | 15" |
| CPSP (STD. SPEC. 9-05.20) | 12" |
| SOLID WALL PVC (STD. SPEC. 9-05.12(1)) | 15" |
| PROFILE WALL PVC (STD. SPEC. 9-05.12(2)) | 15" |

* CORRUGATED POLYETHYLENE STORM SEWER PIPE

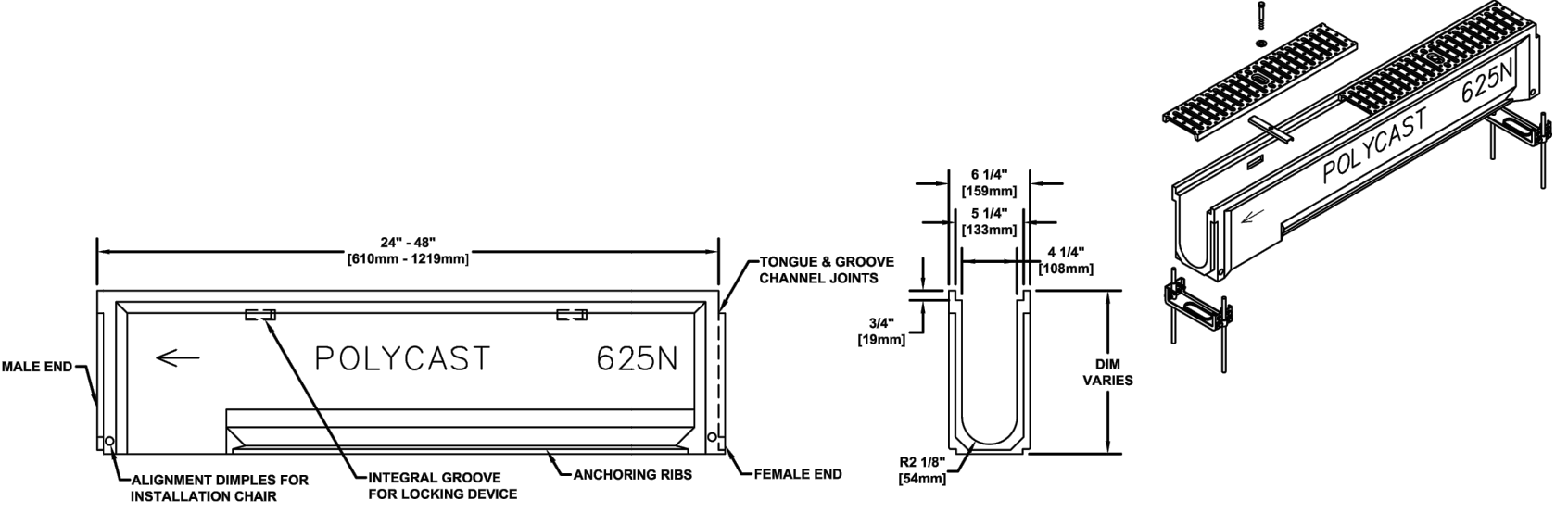


CATCH BASIN TYPE 1
PER WSDOT STD PLAN B-5.20-00
NOT TO SCALE

NOTES:
1. No steps are required when height is 4' or less.
2. The bottom of the precast catch basin may be sloped to facilitate cleaning.
3. The rectangular frame and grate may be installed with the flange up or down. The frame may be cast into the adjustment section.
4. Knockouts shall have a wall thickness of 2" (in) minimum to 2.5" (in) maximum. Provide a 1.5" (in) minimum gap between the knockout wall and the outside of the pipe. After the pipe is installed, fill the gap with joint mortar in accordance with Standard Specification Section 9-04.3.



CATCH BASIN TYPE 2
STANDARD PLAN B-10.20-02
SHEET 1 OF 1 SHEET



NOTES:
1. TRENCH DRAIN SHALL BE POLYCAST 600 SERIES PRE-SLOPED (0.65% MIN SLOPE) TRENCH DRAIN OR APPROVED EQUAL.

TRENCH DRAIN
NOT TO SCALE

FILE LOCATION: C:\CLIENTS\CIVIL\MCCLELLAN\PROJECTS\2024\6520 AVE SE\MERCER ISLAND\DWG. ORIGINAL SHEET SIZE: ARCH FULL BLEED (36.00 X 24.00 INCHES). LAST MODIFIED BY: GERDA SCORSELLA
DRAWN BY: CK, CS CHECKED BY: BI
DESIGNED BY: LG
PROJECT MANAGER: BI
PRINCIPAL: BI

| NO. | DATE | BY | REVISION |
|-----|------------|----|----------------------------|
| 1 | 06/18/2024 | LG | CITY REVIEW CORRECTIONS #1 |

FACET

9706 4th Ave NE
Suite 300
Seattle, WA 98115

FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDDEY ISLAND

P: 206.522.0024
www.facetnw.com



CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040
2311.0333.00

SCHEMATIC PLAN

ESC AND DRAINAGE DETAILS

DATE: 6/18/2024
PLAN NUMBER:

C08
SHEET 8 OF 10

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

FILE LOCATION: C:\CLIENTS\CIVIL\MERCER ISLAND\ARCHITECTS\6520 82ND AVE SE\MERCER ISLAND\DWG\DETENTION\ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES); LAST MODIFIED BY: GEDA SCORSELLA
 PRINCIPAL: BI PROJECT MANAGER: BI DESIGNED BY: LG DRAWN BY: CK, CS CHECKED BY: BI

ATTACHMENT 1

CITY OF MERCER ISLAND

ON-SITE DETENTION SYSTEM WORKSHEET

(FOR NEW PLUS REPLACED IMPERVIOUS AREA OF 9,500 SF OR LESS)

PLAN VIEW

ELBOW RESTRICTOR DETAIL

| | | |
|---|--|---------------------------------------|
| OWNER: ROBERT & IZABELA TEKIELA | ADDRESS: 6520 82ND AVE NE | PREPARED BY: BEN IDDINS, P.E. |
| PERMIT #: 2402-106 | MERCER ISLAND | PHONE: 206-523-0024 |
| NEW PLUS REPLACED IMPERVIOUS SURFACE AREA (SF): 7,250 | DETENTION PIPE DIA (INCH): 60 | DETENTION PIPE LENGTH (FT): 73 |
| SOIL TYPE: B | PIPE MATERIAL: ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE | ORIFICE #1 DIA 0.70 INCH, ELEV 307.90 |
| | | ORIFICE #2 DIA 2.0 INCH, ELEV 313.90 |

SECTION A-A CONTROL STRUCTURE DETAIL
NOT TO SCALE

ON-SITE DETENTION SYSTEM
NOT TO SCALE (ENGINEER TO FILL IN BLANKS)

CONTROL STRUCTURE NOTES:

- 1 USE A MINIMUM OF A 54 IN. DIAM. TYPE 2 CATCH BASIN. THE ACTUAL SIZE IS DEPENDENT ON CONNECTING PIPE MATERIAL AND DIAMETER.
- 2 OUTLET PIPE: MIN. 6 INCH.
- 3 METAL PARTS: CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
- 4 FRAME AND LADDER OR STEPS OFFSET SO:
 - A. CLEANOUT GATE IS VISIBLE FROM TOP;
 - B. CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE;
 - C. FRAME IS CLEAR OF CURB.
- 5 IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
- 6 PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3'-0" VERTICAL SPACING).
- 7 THE SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 26M AND ASTM B 275, DESIGNATION ZG32A; OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. THE LIFT HANDLE SHALL BE MADE OF A SIMILAR METAL TO THE GATE (TO PREVENT GALVANIC CORROSION). IT MAY BE OF SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LID AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.
- 8 THE UPPER CATCH BASIN IS REQUIRED IF THE LENGTH OF THE DETENTION PIPE IS GREATER THAN 50 FT.

ON-SITE DETENTION SYSTEM NOTES:

1. CALL DEVELOPMENT SERVICES (206-275-7605) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
2. RESPONSIBILITY FOR OPERATION AND MAINTANANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
3. PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING, LINED CORRUGATED POLYETHYLENE PIPE (LCPE), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
4. FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.

CALL 811
 2 BUSINESS DAYS
 BEFORE YOU DIG
 (UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

DETENTION FACILITY
 NOT TO SCALE

H
C05

DETAILS
 NTS

| | | | | |
|-----|------------|----|----------------------------|--|
| NO. | DATE | BY | REVISION | |
| 1 | 06/18/2024 | LG | CITY REVIEW CORRECTIONS #1 | |

FACET
 9706 4th Ave NE
 Suite 300
 Seattle, WA 98115
 P: 206-523-0024
 www.facetnw.com

Ben Iddins
 State of Washington
 Professional Engineer
 No. 13368
 Exp. 12/31/2024

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

TEKIELA RESIDENCE
 6520 82ND AVE SE
 MERCER ISLAND, WA 98040
 2311.0333.00

SCHEMATIC PLAN

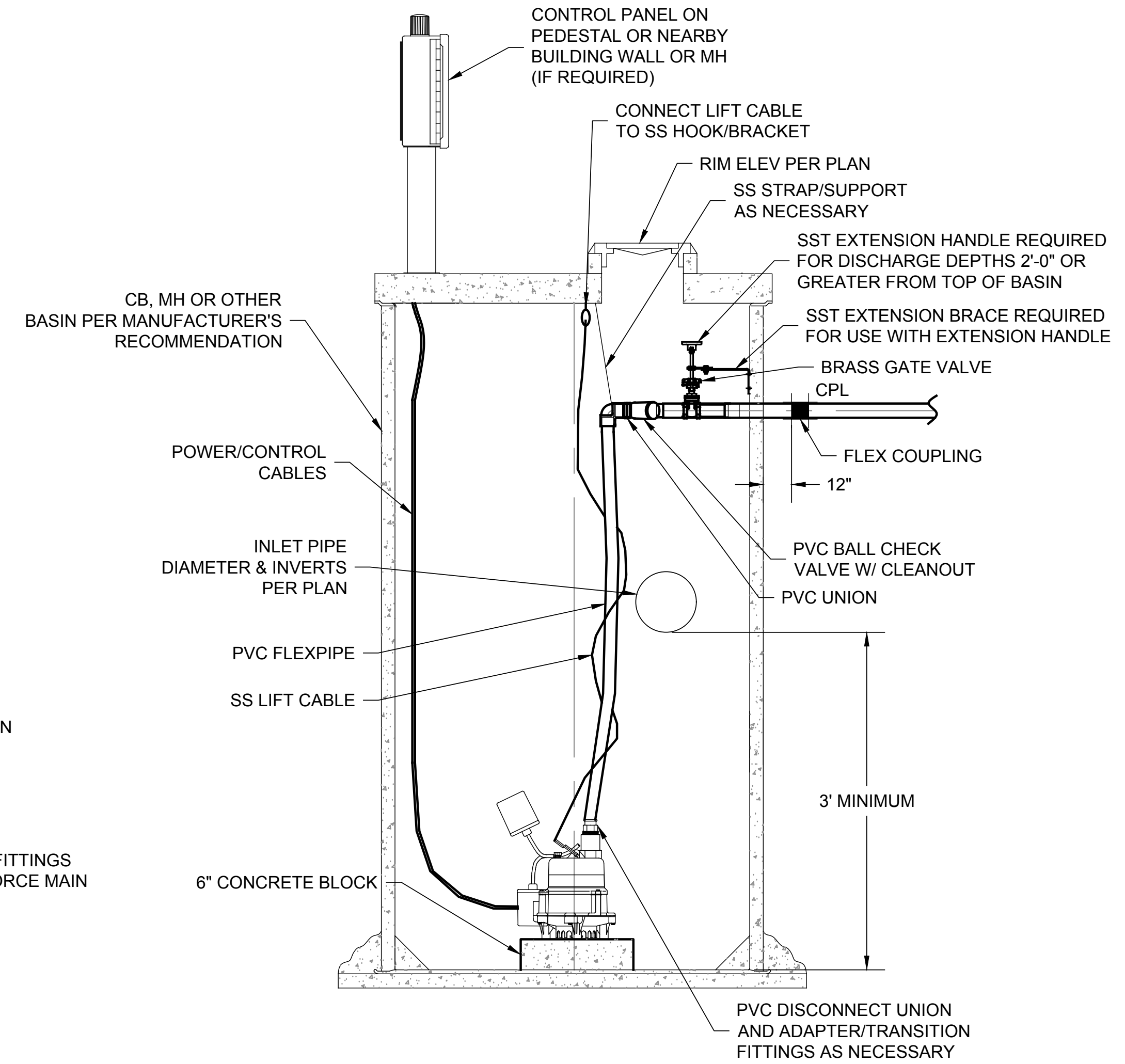
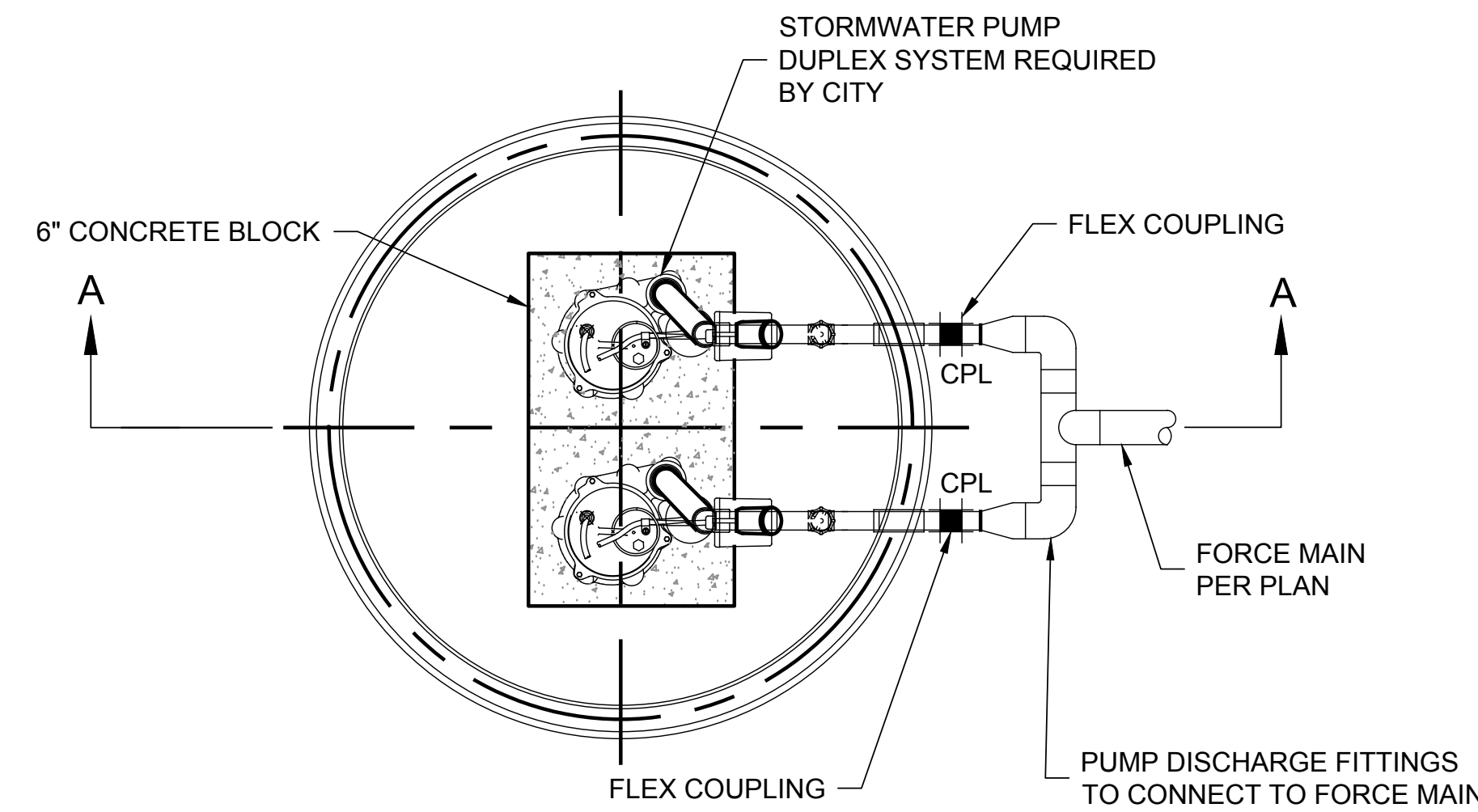
DETAILS

DATE: 6/18/2024
 PLAN NUMBER:
C09
 SHEET 9 OF 10

| STORMWATER PUMP SPECIFICATIONS | |
|--------------------------------|---|
| GENERAL DESCRIPTION | SUBMERSIBLE STORMWATER PUMP |
| DESIGN FLOW & TDH | 13 GPM @ 18.36' TDH (BASED ON FORCE MAIN DIAM. AND LENGTH PER PLAN DOUBLED TO ACCOUNT FOR MINOR LOSSES) |
| MINIMUM SOLIDS HANDLING | 3/4" MIN |
| PUMP EFFICIENCY | PER MANUFACTURER'S RECOMMENDATIONS OPERATING RANGE |
| PUMP ELECTRICAL | SINGLE PHASE |
| PUMP CONTROLS | PER MANUFACTURER'S RECOMMENDATIONS |
| PUMP MOUNTING & DISCHARGE | PER MANUFACTURER'S RECOMMENDATIONS |
| DISCHARGE MANIFOLD | PER MANUFACTURER'S RECOMMENDATIONS |
| FORCE MAIN & FITTINGS | 2" (USED FOR TDH CALCS. CAN USE 2" MIN UP TO 4" MAX BUT REQUIRES RECALCULATION OF TDH) |
| CONTROL/FLOAT SPECIFICATIONS | PER MANUFACTURER'S RECOMMENDATIONS |

NOTES:

1. THESE SPECIFICATIONS ARE SCHEMATIC IN NATURE AND SHALL BE CONFIRMED BY THE SUPPLIER AND CONTRACTOR.
2. PUMP FLOATS/CONTROLS AND DISCHARGE VALVES SHALL BE FIELD TESTED AND ADJUSTED TO ACHIEVE DESIGN FLOW AND OPTIMUM PUMP CYCLE TIMES PER MANUFACTURER'S RECOMMENDATIONS.
3. DUPLEX PUMP STATION REQUIRED.
4. BACKUP POWER (GENERATOR) AT OWNER'S DISCRETION. FACET RECOMMENDS AN AUTOMATIC BACKUP GENERATOR IF PUMP FAILURE AS A RESULT OF LOSS OF POWER WOULD RESULT IN FLOODING UNITS OR OCCUPIED SPACES OR PROPERTY DAMAGE.
5. EXPLOSION PROOF PUMPS & CIRCUITRY REQUIRED.



PUMP GENERAL NOTES:

1. THE DISCHARGE PIPE (FORCE-LINE) SHALL HAVE A NON-CORROSIVE CHECK-VALVE, A "QUICK-RELEASE" CONNECTOR/FITTING, AND A NON-CORROSIVE GATE-VALVE TO FACILITATE PUMP REMOVAL. THE PIPE SHALL HAVE A MINIMUM INSIDE DIAMETER OF TWO-INCHES FOR INJECTOR PUMPS, ONE-AND-ONE QUARTER-INCHES FOR GRINDER PUMPS, OR THREE-INCHES FOR DUPLEX PUMP SYSTEMS, OR PER MANUFACTURER RECOMMENDATIONS. THE DISCHARGE FORCE LINE SHALL BE PVC SCHEDULE 40 OR SCHEDULE 80 OR DUCTILE IRON OR AS APPROVED BY THE SITE INSPECTOR.
2. FORCE-LINE SECTIONS OF PIPE ARE REQUIRED TO HAVE "PIG PORTS" FOR THE FOLLOWING TWO CONDITIONS: A. A MAXIMUM OF 100 FOOT INTERVALS; AND B. WHEREVER FITTING BENDS TOTAL 135°.
3. THE PUMP SHALL BE INSTALLED IN A CHAMBER THAT IS READILY SERVICEABLE. THE TANK SHALL BE MADE OF NON-POROUS, NON-CORROSIVE, STRUCTURALLY SOUND MATERIAL SUCH AS PLASTIC, FIBERGLASS, STAINLESS STEEL, OR CONCRETE. IF A CONCRETE TANK IS USED, A FIBERGLASS REINFORCED PLASTIC OF POLYURETHANE HYBRID POLYMER RESIN OR EQUIVALENT SHALL BE INSTALLED IN THE CONCRETE CHAMBER. THE LINER MAY BE CAST INTEGRAL WITH THE PRECASTING OF THE MAINTENANCE HOLE OR FIELD ASSEMBLED AND SEALED IN THE PRECAST CONCRETE SECTIONS.
4. PUMP SYSTEMS SHALL BE DESIGNED AND INSTALLED TO PROVIDE EASY ACCESS FROM THE GROUND SURFACE TO ALL MECHANICAL AND ELECTRICAL DEVICES.
5. AN AUDIBLE ALARM SYSTEM IS RECOMMENDED FOR PUMP SYSTEMS.
6. AN ELECTRICAL PERMIT IS REQUIRED FOR AN ELECTRICAL HOOKUP OF A PUMP IF A NEW CIRCUIT IS REQUIRED FOR THE PUMP.

DUPLEX PUMP STATION J
C05
NTS

DETAILS
NTS

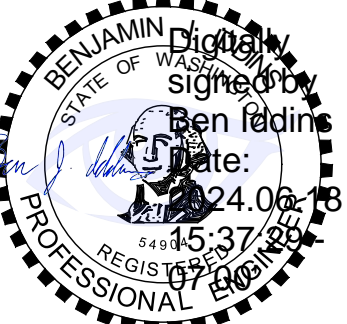
FILE LOCATION: P:\CLIENTS\CIVIL\MISC\LAN ARCHITECTS\65283\65283.DWG (SEE MERCER ISLAND\DRG\DWG\65283.DWG) ORIGINAL SHEET SIZE: ARCH FULL BLEED (11.00 X 17.00 INCHES) LAST MODIFIED BY: GERRA SCORSELLA
PRINCIPAL: BI PROJECT MANAGER: BI DESIGNED BY: LG DRAWN BY: CK, GS CHECKED BY: BI

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG

(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

| NO. | DATE | BY | REVISION |
|-----|------------|----|----------------------------|
| 1 | 06/18/2024 | LG | CITY REVIEW CORRECTIONS #1 |

FACET
9706 4th Ave NE
Suite 300
Seattle, WA 98115
FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDBEY ISLAND
P: 206.622.0024
www.facetnw.com



CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

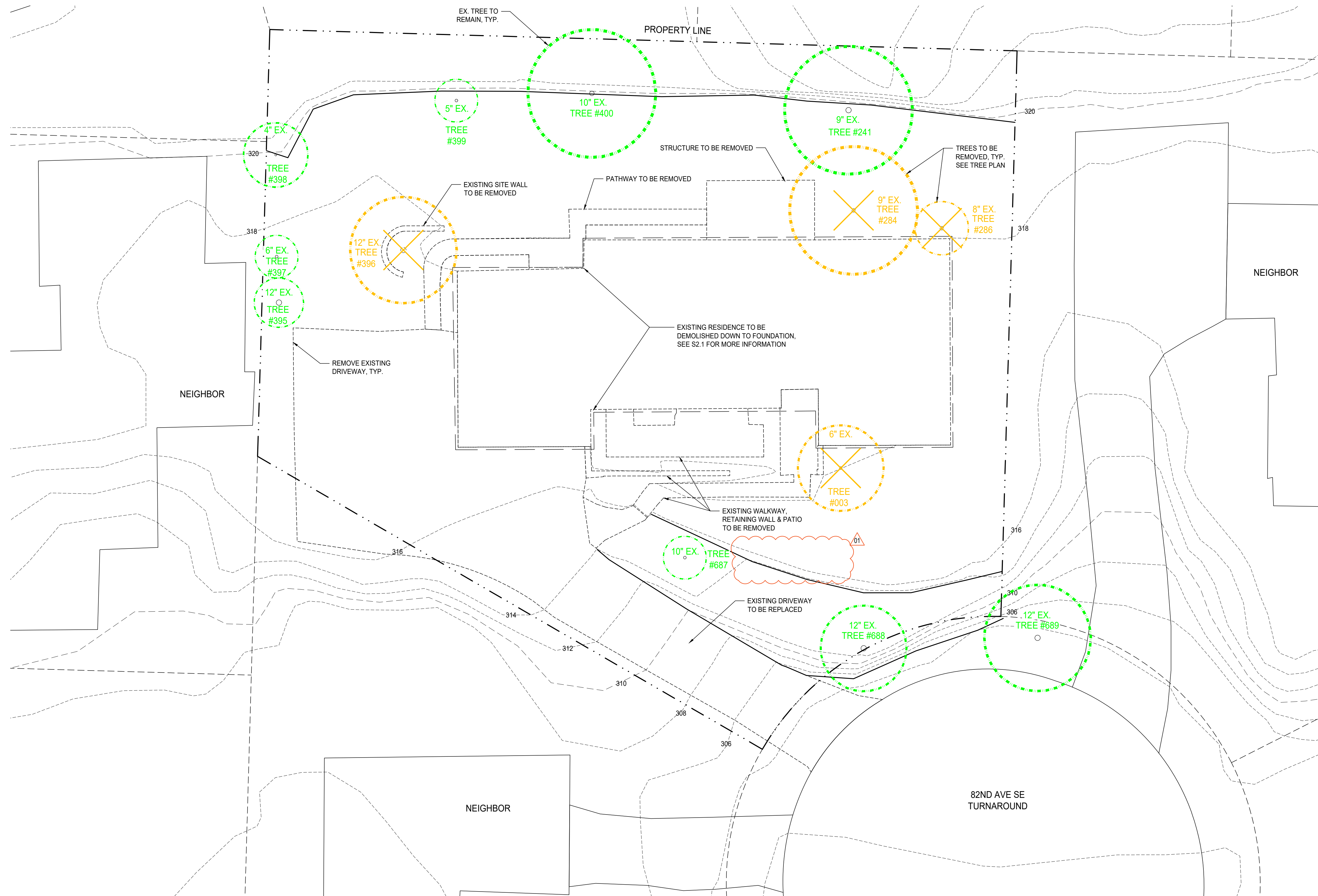
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040
2311.0333.00

SCHEMATIC PLAN

PUMP STATION
DETAIL

DATE: 6/18/2024
PLAN NUMBER:

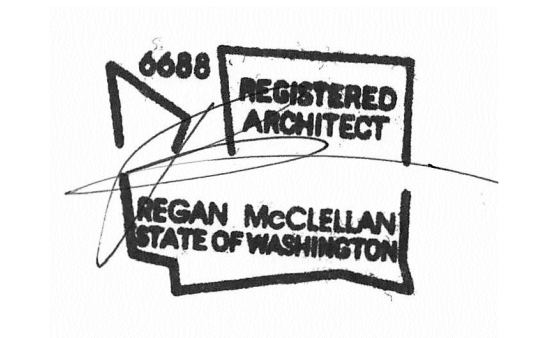
C10
SHEET 10 OF 10



PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

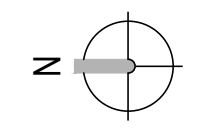
| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 06/18/2024 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



DATE:
JUNE 18, 2024

SHEET TITLE:
DEMOLITION
SITE PLAN

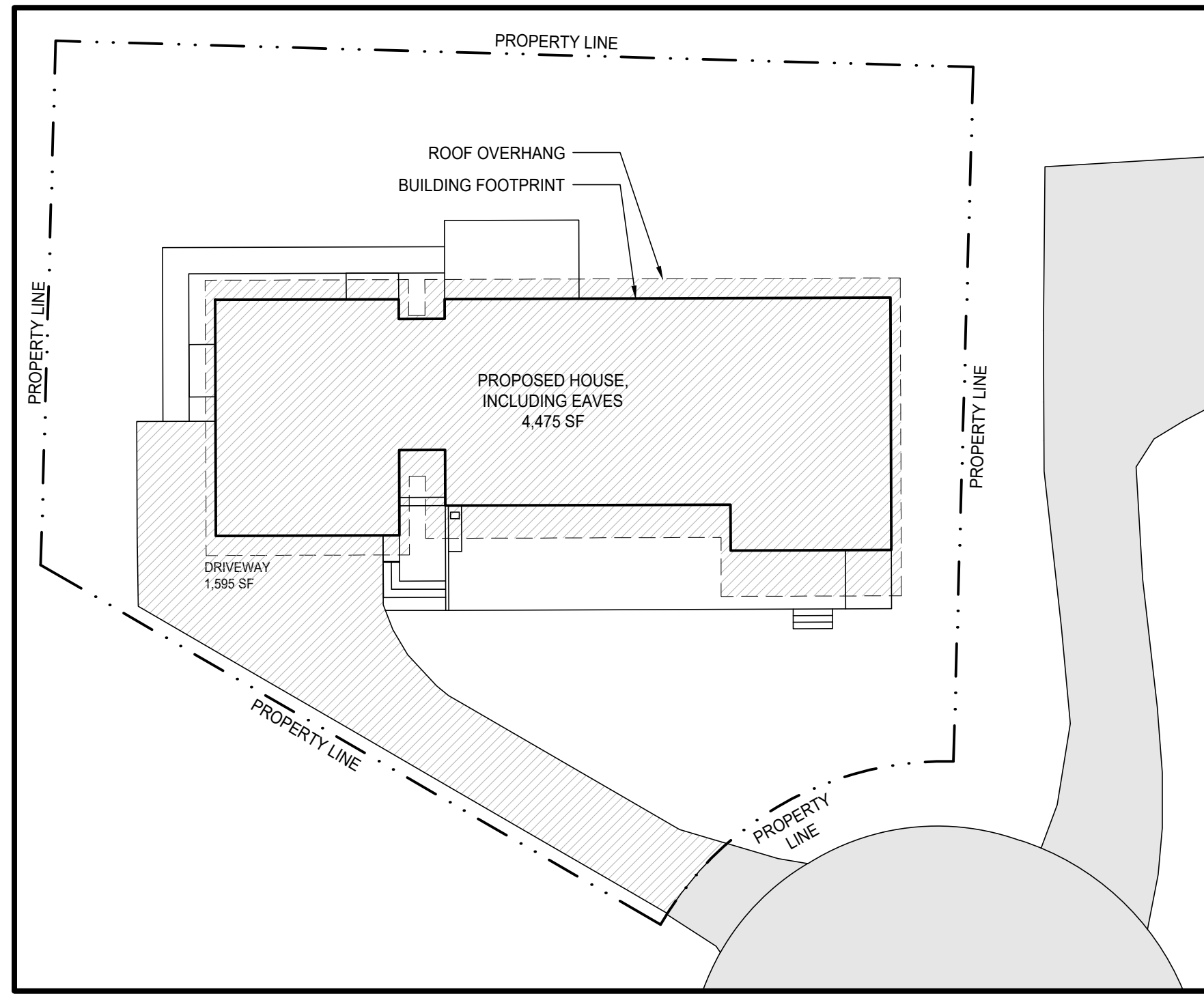
SHEET:



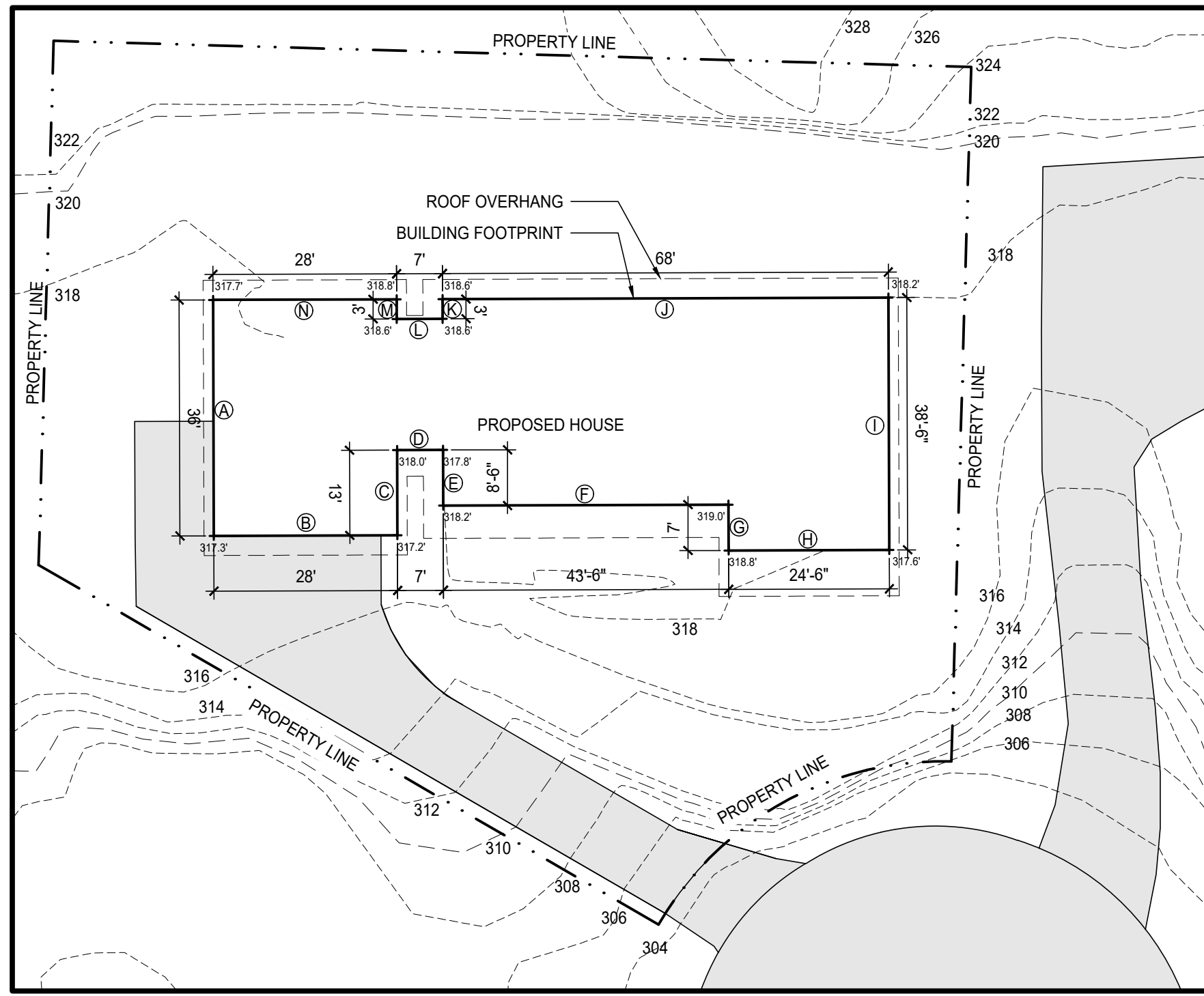
PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

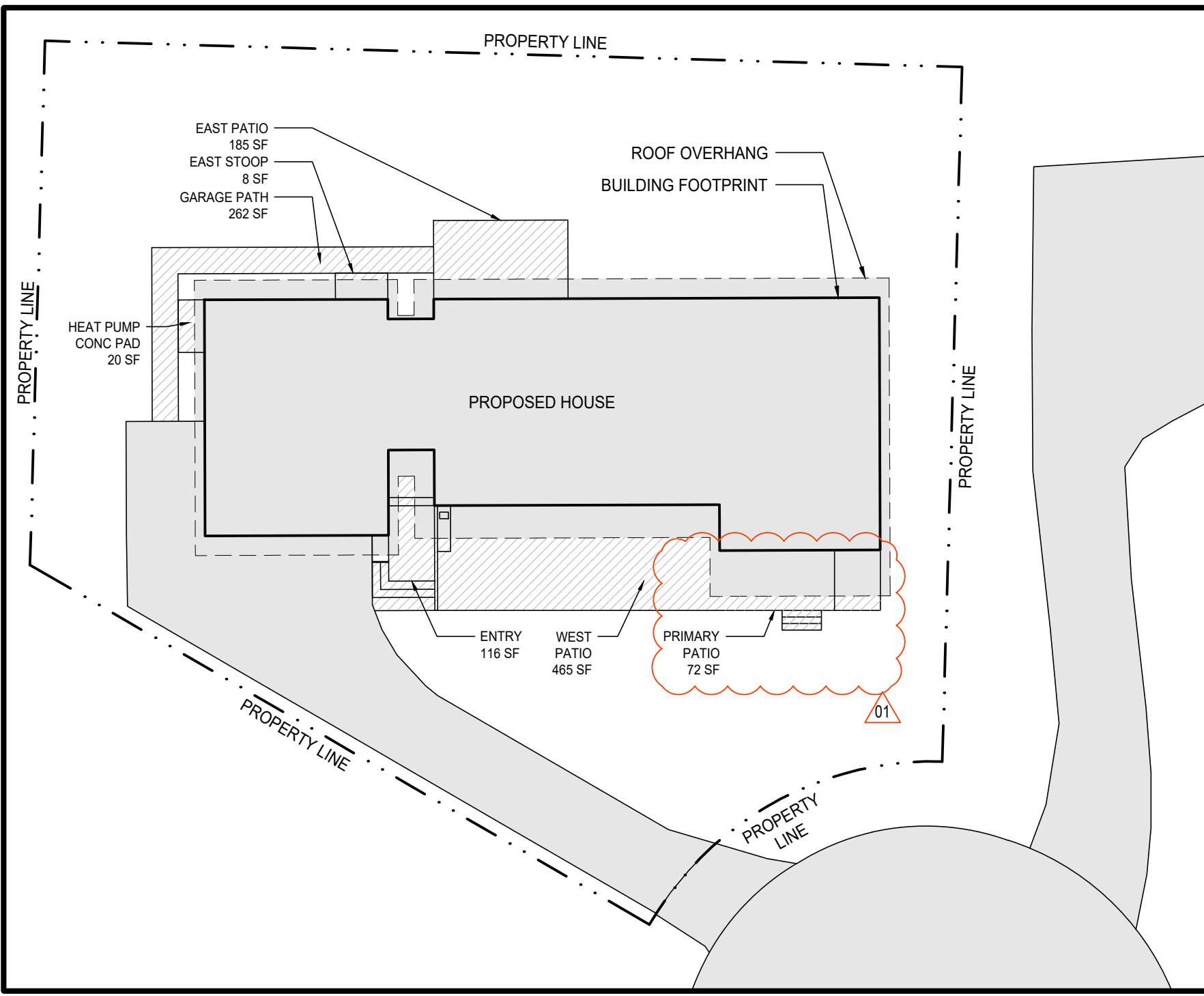
| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 06/21/2024 |



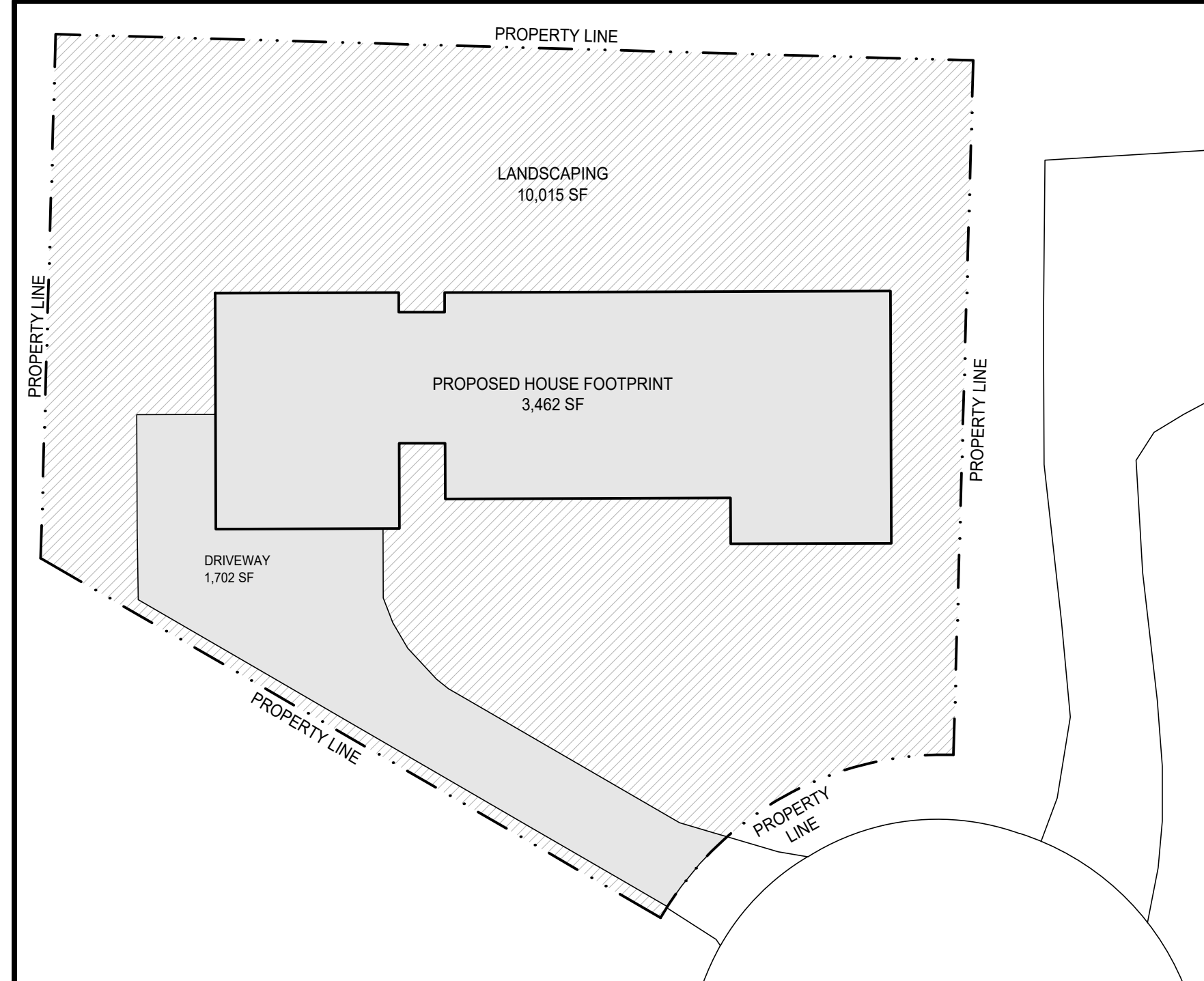
1 LOT COVERAGE DIAGRAM
1" = 20'-0"



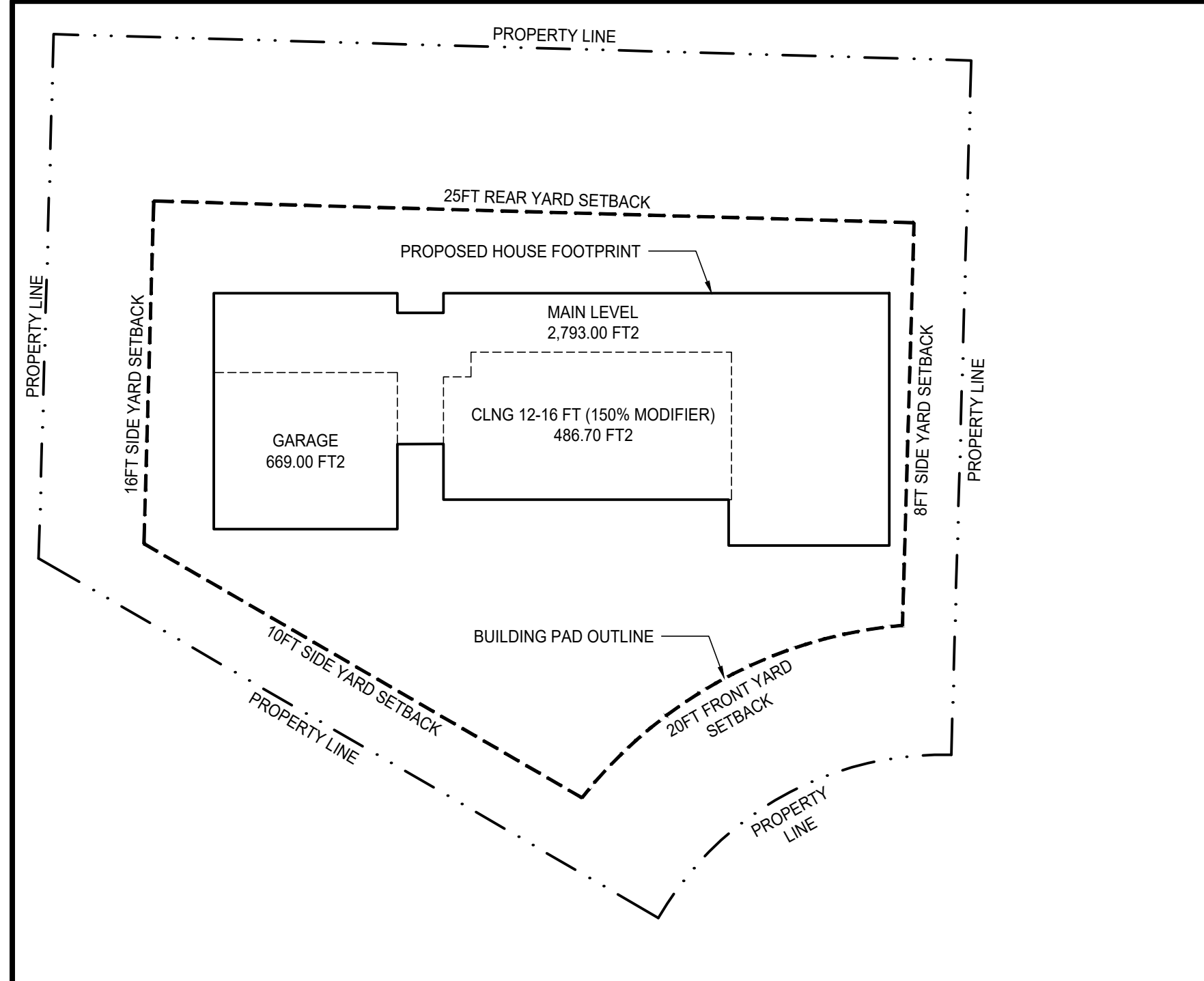
2 AVERAGE BUILDING ELEVATION
1" = 20'-0"



3 HARDSCAPE DIAGRAM
1" = 20'-0"



4 LANDSCAPING DIAGRAM
1" = 20'-0"



5 GFA / BUILDING PAD DIAGRAM
1" = 20'-0"

ZONING CALCULATION TABLES:

TABLE 1: GROSS FLOOR AREA

| | |
|-------------------------------------|-------------------------|
| LOT AREA | 15,178.0 SF |
| MAIN LEVEL FLOOR AREA (CLNG <12 FT) | 2,793.0 SF |
| CLNG 12-16 FEET (150% x 973.3 SF) | 486.7 SF |
| GARAGE | 669.0 SF |
| PROPOSED GROSS FLOOR AREA | 3,948.7 SF 26.0% |
| ALLOWABLE GROSS FLOOR AREA | 6,071.0 SF 40.0% |

*MEASURED FROM EXTERIOR FACE OF BUILDING

TABLE 5: HARDSCAPE

| | |
|---------------------------|------------------------|
| ENTRY WALKWAY | 110.0 SF |
| WEST PATIO | 465.0 SF |
| PRIMARY PATIO | 72.0 SF |
| EAST PATIO | 185.0 SF |
| EAST STOOP | 8.0 SF |
| HEAT PUMP CONC PAD | 20.0 SF |
| GARAGE PATH | 262.0 SF |
| PROPOSED HARDSCAPE | 1,122.0 SF 8.0% |
| MAXIMUM HARDSCAPE | 1,366.0 SF 9.0% |

*INCLUDES WALKWAYS, DECKS, PATIOS; DOES NOT INCLUDE DRIVING SURFACES OR BUILDINGS

TABLE 2: LOT SLOPE CALCULATION

| | |
|-------------------------|-----------|
| LOT SLOPE | 10.60% |
| HIGHEST ELEVATION POINT | 323.20 FT |
| LOWEST ELEVATION POINT | 304.85 FT |
| ELEVATION DIFFERENCE | 18.35 FT |
| HORIZONTAL DIFFERENCE | 167.40 FT |
| | = 10.96% |

TABLE 6: MINIMUM LANDSCAPING

| | |
|---|-----------------------------|
| PROPOSED LANDSCAPING (15,178 - 3,462 - 1,702) (10,014 / 15,178) | = 10,014.0 SF = 66% |
| MINIMUM LANDSCAPING (60% x 15,178 SF) | 60% MINIMUM = 9,107.0 SF |

*INCLUDES SOFTSCAPE ELEMENTS (E.G., TREES, GRASS, SHRUBS AND FLOWERS) AND HARDSCAPE ELEMENTS (E.G., PLACEMENT OF FOUNTAINS, PATIOS, STREET FURNITURE AND ORNAMENTAL CONCRETE OR STONWORK). DOES NOT INCLUDE DRIVING SURFACES OR BUILDINGS

TABLE 3: LOT COVERAGE

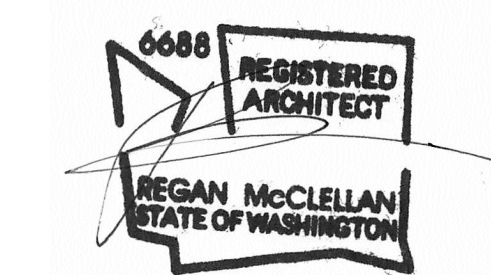
| | |
|--|--|
| MAXIMUM LOT COVERAGE (LOT SLOPE <15%) | 40.00% 40% x 15,178 SF = 6,071.0 SF |
| HOUSE, INCLUDING EAVES | 4,475.0 SF |
| DRIVEWAY | 1,595.0 SF |
| PROPOSED LOT COVERAGE | 6,070.0 SF / 15,178.0 SF = 39.99% |

*INCLUDES ALL BUILDINGS MEASURED TO THE EAVES AND ALL DRIVING SURFACES

TABLE 4: AVERAGE BUILDING ELEVATION CALCULATION

| MIDPOINT ELEV | SEGMENT LENGTH | ELEV X LENGTH | |
|---------------|----------------|---------------|------------|
| A | 317.5 | 36.0 FT | 11,430.0 |
| B | 317.1 | 28.0 FT | 8,878.8 |
| C | 317.6 | 13.0 FT | 4,128.8 |
| D | 317.9 | 7.0 FT | 2,225.3 |
| E | 318.0 | 8.5 FT | 2,703.0 |
| F | 318.6 | 43.5 FT | 13,859.1 |
| G | 318.9 | 7.0 FT | 2,232.3 |
| H | 318.2 | 24.5 FT | 7,795.9 |
| I | 317.9 | 38.5 FT | 12,239.15 |
| J | 318.4 | 68.0 FT | 21,651.2 |
| K | 318.6 | 3.0 FT | 955.8 |
| L | 318.6 | 7.0 FT | 2,230.2 |
| M | 318.7 | 3.0 FT | 956.1 |
| N | 318.2 | 28.0 FT | 8,909.6 |
| TOTAL | 4,454.20 | 315 FT | 100,195.25 |

AVERAGE BUILDING ELEVATION =
ELEV X LENGTH / SEG LENGTH = 100,195.25 FT / 315 FT = EL. 318.1 FT
MAXIMUM BUILDING HEIGHT (ABE + 30 FT) = EL. 348.1 FT



DATE:
JUNE 21, 2024

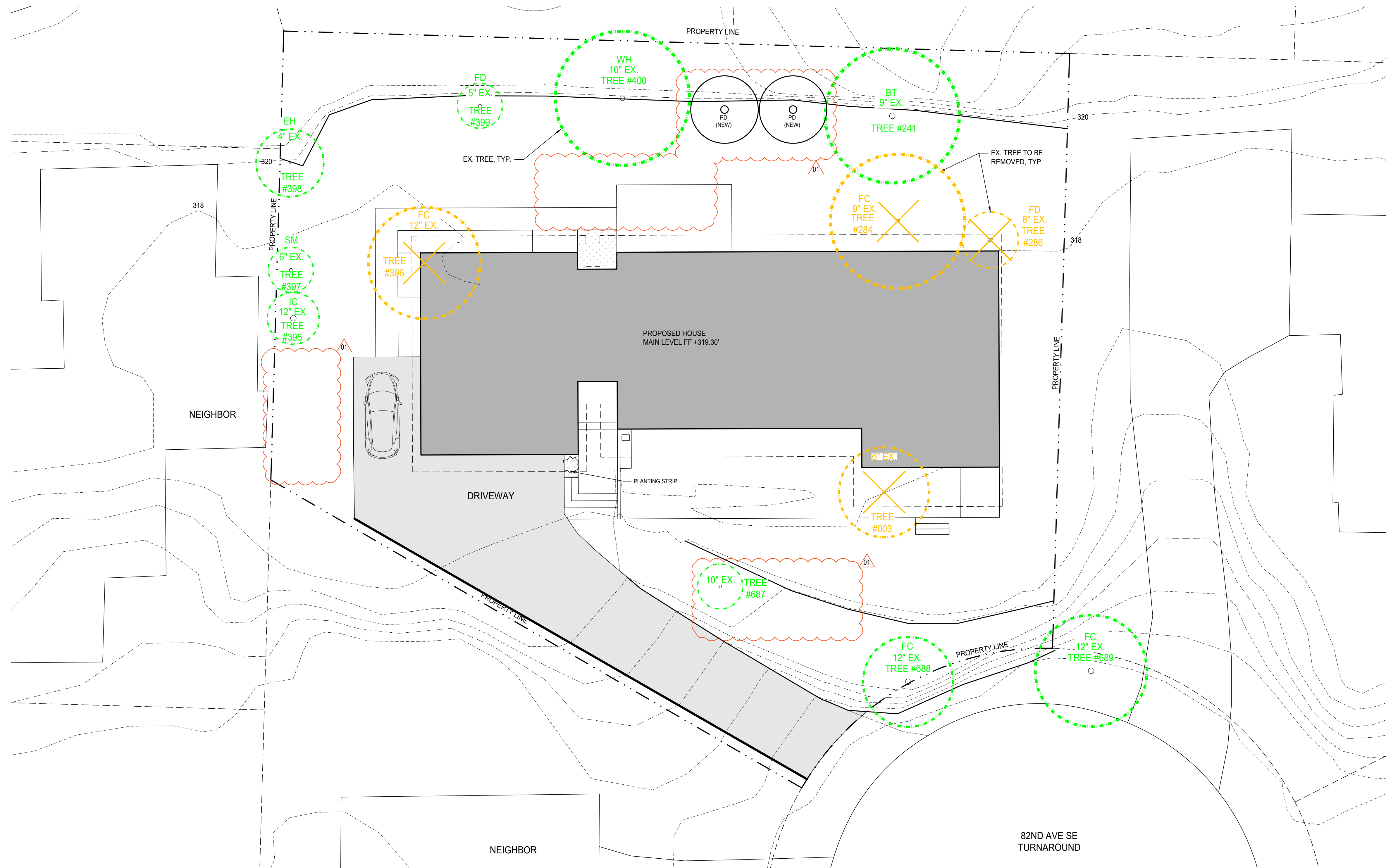
SHEET TITLE:
ZONING DIAGRAMS

SHEET:

PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

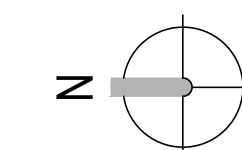
| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 06/18/2024 |



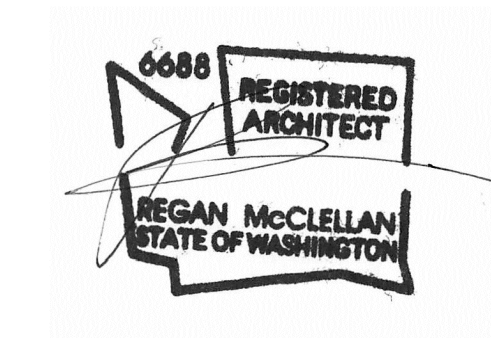
| LANDSCAPE KEY: | | | |
|----------------|--|----|---|
| BT | BLACK TUPELO 'NYSSA SYLVATICA' | JM | JAPANESE MAPLE 'ACER PALMATUM' |
| EH | ENGLISH HOLLY 'ILEX AQUIFOLIUM' | PD | PACIFIC DOGWOOD 'CORNUS NUTTALLII' |
| FC | FLOWERING CHERRY 'PRUNUS SERRULATA' | SM | STAR MAGNOLIA 'MAGNOLIA STELLETA' |
| FD | FLOWERING DOGWOOD 'CORNUS FLORIDA' | WH | WESTERN HEMLOCK 'TSUGA HETEROPHYLLA' |
| IC | INCENSE CEDAR 'CALOCDRUS DECURRENS' | | |

TREES LABELED (NEW) ARE PROPOSED TREE REPLACEMENTS REQUIRED FOR THIS BUILDING PERMIT.

ALL REPLACEMENT TREES WILL BE AT LEAST 10'-0" APART FROM OTHER TREES, STRUCTURES, FENCES, AND UTILITIES. AT LEAST HALF OF THESE TREES WILL BE PACIFIC NORTHWEST NATIVE.



1 TREE PLAN
1" = 10'-0"



DATE:
JUNE 18, 2024

SHEET TITLE:
TREE PLAN

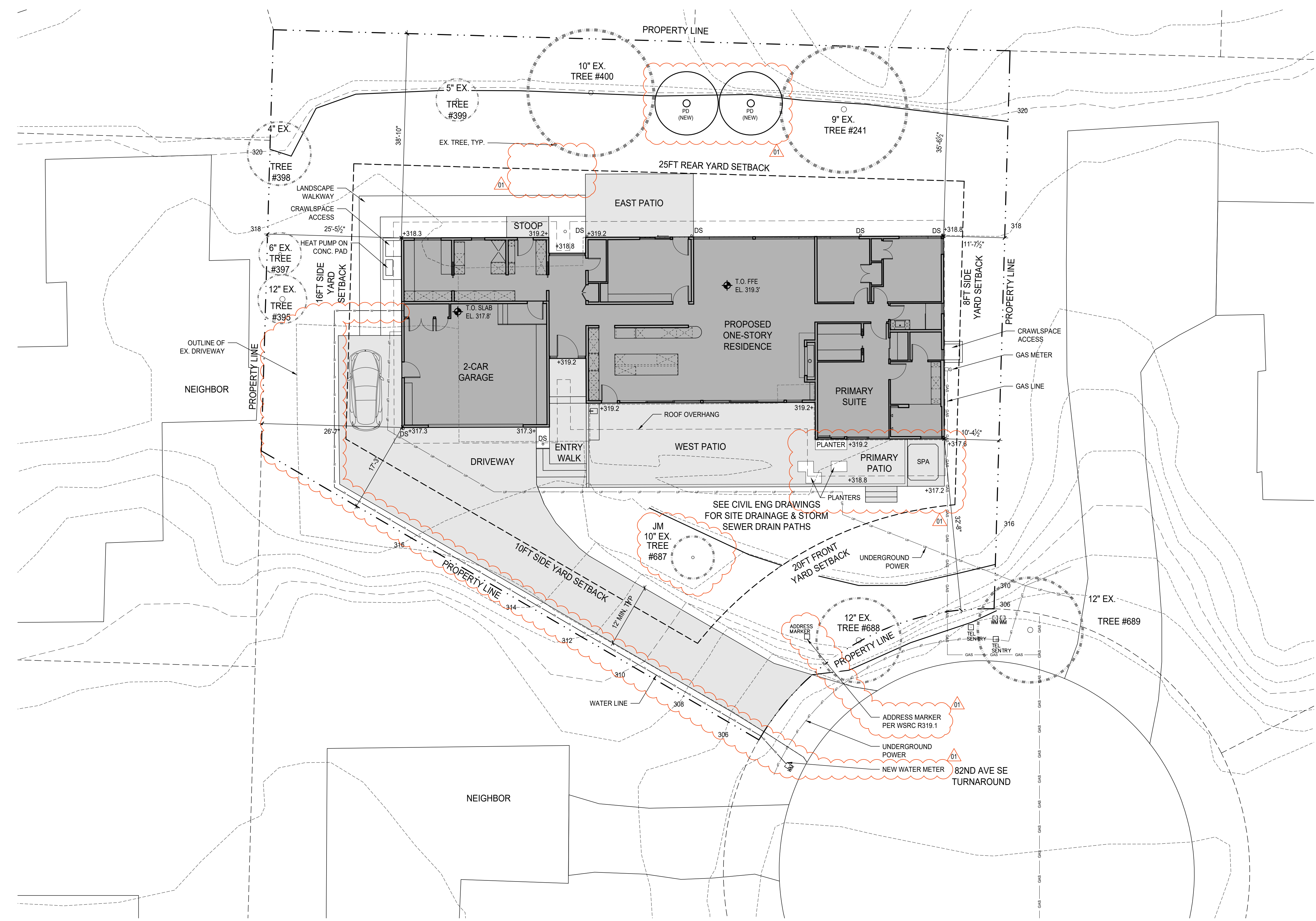
SHEET:

A0.2

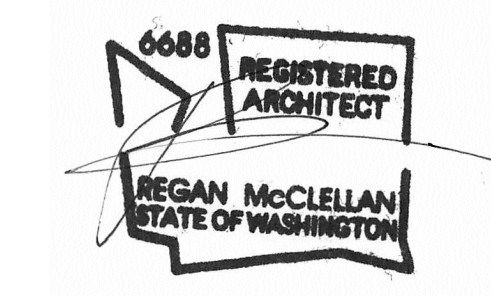
PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 06/18/2024 |



LOT AREA = 15,178 SF
LOT COVERAGE: SEE A0.1/TABLE 3
GROSS FLOOR AREA: SEE A0.1/TABLE 1
HARDSCAPING: SEE A0.1/TABLE 5
MIN. LANDSCAPING = SEE A0.1/TABLE 6

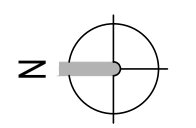


DATE:
JUNE 18, 2024

SHEET TITLE:
SITE PLAN

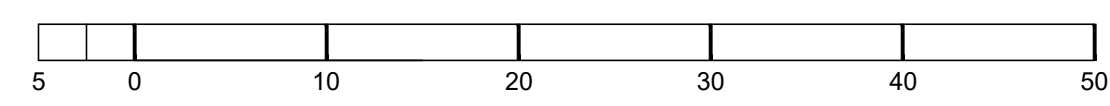
SHEET:

1 SITE PLAN
1" = 10'-0"



LEGAL DESCRIPTION
LOT 17, PARKWEST, ACCORDING TO THE PLAT THEREOF RECORDED IN
VOLUME 80 OF PLATS, PAGE 39, RECORDS OF KING COUNTY, WASHINGTON

PARCEL NUMBER:
666920-0170

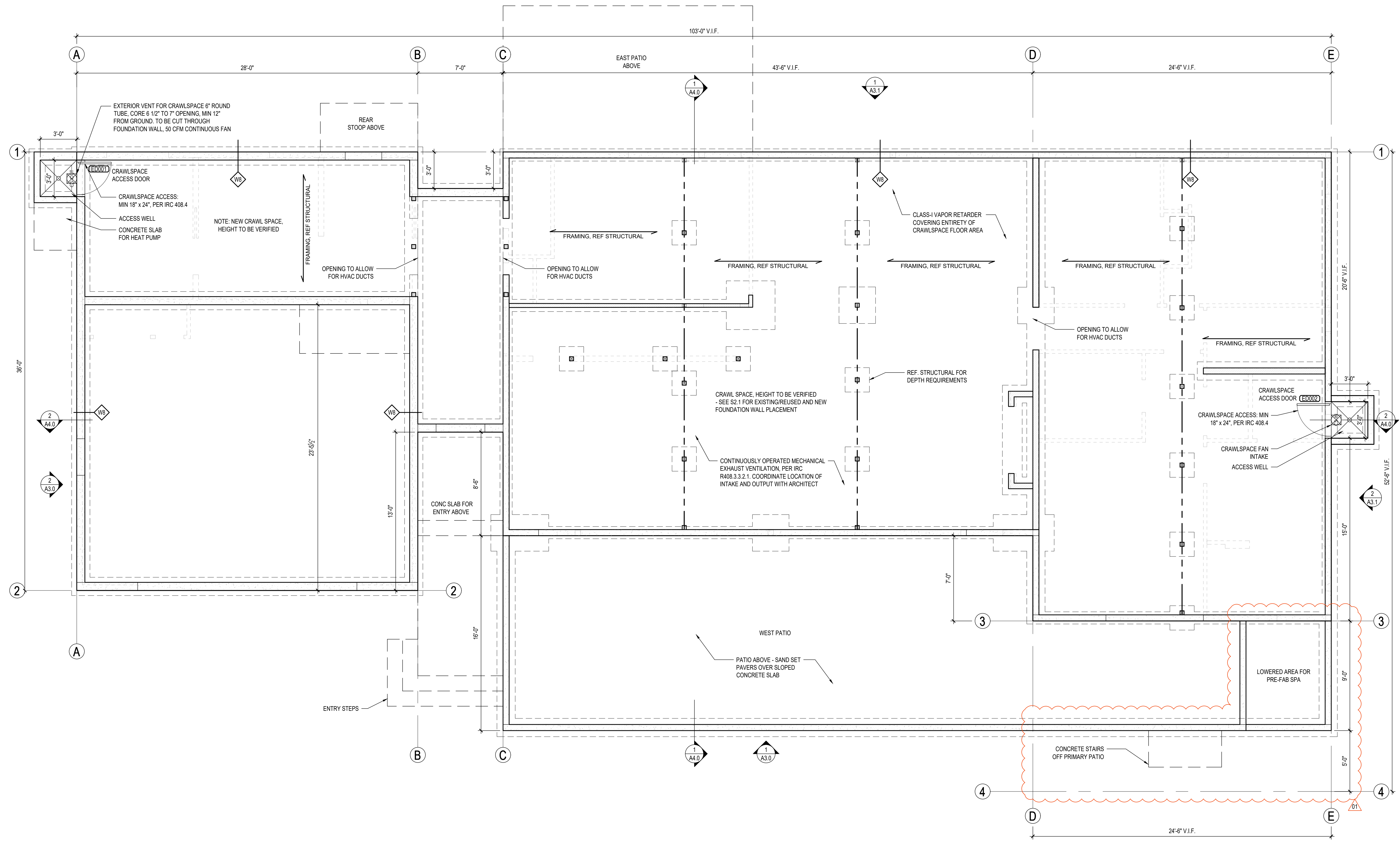


A1.0

PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

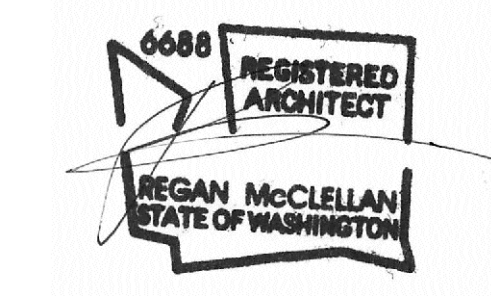
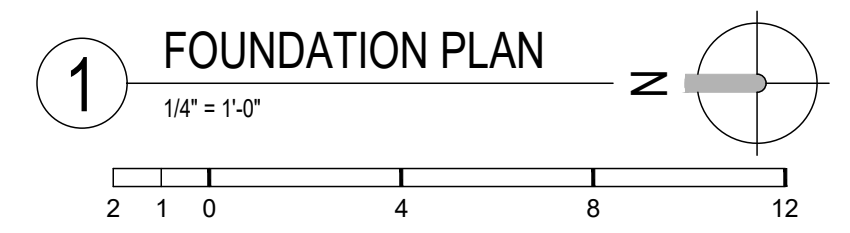
CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 06/18/2024 |



| KEY | |
|-----|---|
| | VENT FAN |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |
| | GARAGE HEAT DETECTOR |
| | DOWN SPOUT |
| | EXTERIOR WATER HOSE BIB |
| | HOT/COLD WATER HOSE BIB |
| | NEW FRAMED WALL PER STRUCTURAL |
| | NEW POST PER STRUCTURAL |
| | CONCRETE WALL, SEE S2.1 FOR EXISTING VS NEW FOUNDATION WALL PLACEMENT |

- GENERAL NOTES:**
- REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE AND FRAMING SPECIFICATIONS
 - REFER TO SHEET A5.0 & A5.1 FOR WALL, FLOOR AND ROOF ASSEMBLIES
 - ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNO.
 - INTERIOR DOORS TO BE 4-1/2" FROM FACE OF STUD, UNO.
 - SMOKE DETECTORS TO BE INTERCONNECTED PER IRC R314.4, HARDWIRED TO BUILDING WIRING WITH BATTERY BACKUP PER IRC R314.6
 - CARBON MONOXIDE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 2034, PRIMARY POWER FROM BUILDING WIRING WITH BATTERY BACKUP
 - UNDER STAIR PROTECTION TO BE 1/2" GYPSUM BOARD PER IRC R302.7
 - ALL SAFETY GLAZING TO BE IDENTIFIED WITH MANUFACTURER DESIGNATION AT HAZARDOUS LOCATIONS PER IRC R308.1, SEE OPENING SCHEDULE FOR LOCATIONS
 - GARAGE WALLS AND CEILING TO HAVE 5/8" TYPE 'X' GWB
 - WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION



DATE:
JUNE 18, 2024

SHEET TITLE:
FOUNDATION PLAN

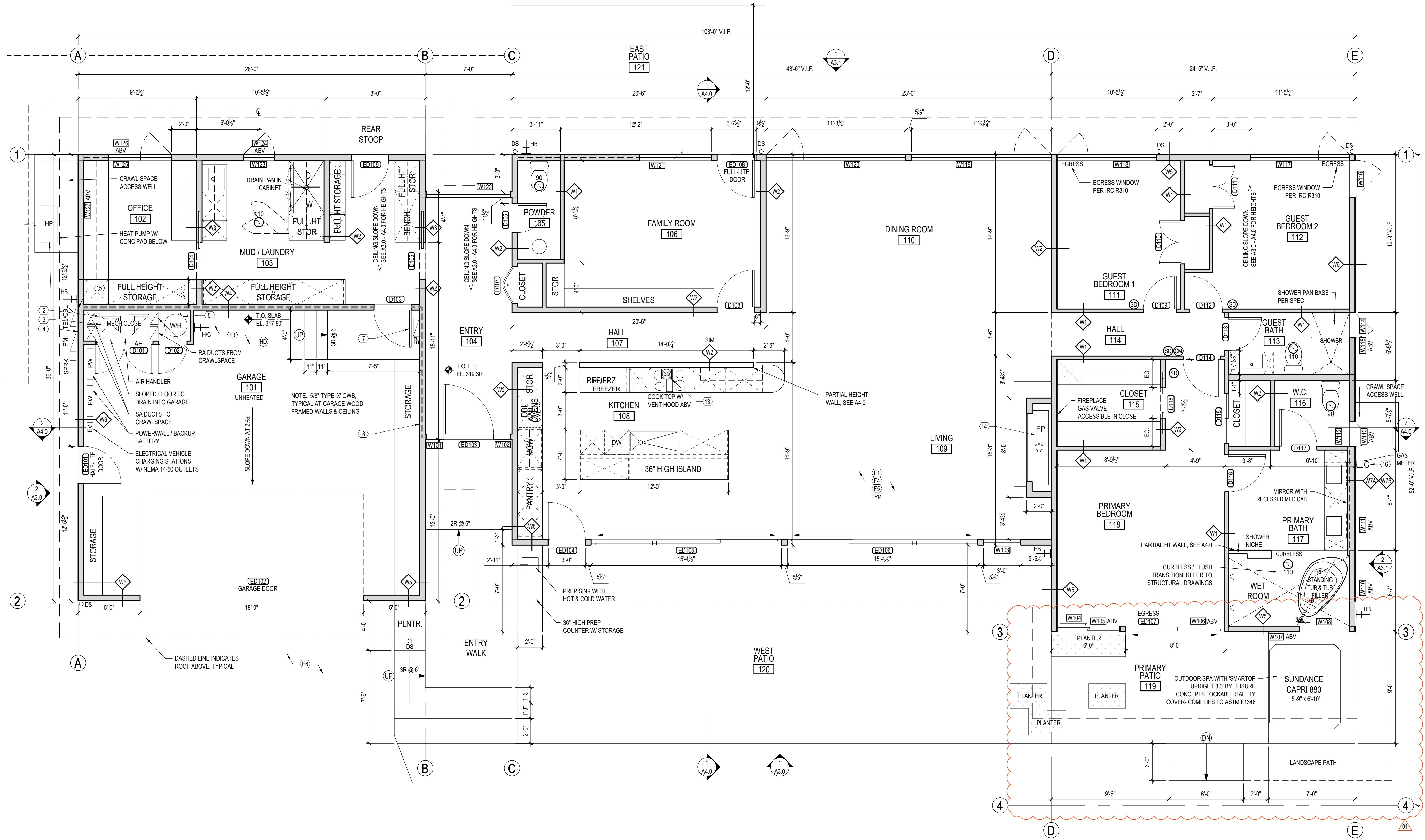
SHEET:

A2.0

PROJECT:
TEKIELA RESIDENCE
8520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 09/18/2024 |



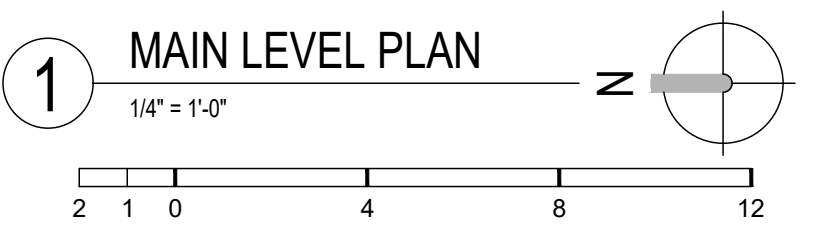
- MECHANICAL KEY NOTES:**
- WHOLE HOUSE FAN: OUTSIDE AIR SOURCE
 - AIR-SOURCE CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HSPF OF 9.5
 - WHOLE HOUSE FAN CONTROL SUPPLIED BY MECH ENG FIRM. ALLOWS FOR INTERLOCK
 - WHOLE HOUSE FAN: OUTSIDE AIR SOURCE, 7" DUCT OUTSIDE INLET ON NORTH WALL, 10'-0" MIN SPACE BETWEEN MECH HARDWARE (W/ EXHAUST IE GAS METER, ETC)
 - PER WSEC TABLE 406.2, 5.4 EFFICIENT WATER HEATING OPTIONS, ELECTRIC HEAT PUMP MEETING THE STANDARDS FOR TIER 1 OF NEEA'S ADVANCED WATER HEATING SPECIFICATIONS
 - EXTERIOR VENT FOR CRAWLSPACE 6" ROUND TUBE, CORE 6 1/2" TO 7" OPENING, MIN 12" FROM GROUND, TO BE CUT THROUGH FOUNDATION WALL, 50 CFM CONTINUOUS FAN
 - 20 MINUTE FIRE DOOR WITH SELF CLOSING HINGES IN RATED ASSEMBLY, TYP.
 - LINE OF 1-HOUR RATED ASSEMBLY
 - CRAWLSPACE TO COMPLY TO IRC 408.3 FOR SEALING AND MECHANICALLY VENTING SPACE
 - CRAWLSPACE ACCESS: MIN 18" x 24", PER IRC 408.4
 - (NOT USED)

- ALL BATHROOMS & TOILET ROOMS TO BE EQUIPPED WITH A MINIMUM 50 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN. ALL KITCHENS TO BE EQUIPPED WITH A MINIMUM 100 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN PER 2018 IMC TABLE 403.3.2.3.
- EXHAUST FANS GREATER THAN 400 CFM REQUIRE INTERLOCKED OUTSIDE MAKE-UP AIR PER IRC SECTION M1503.4
- GAS FIREPLACE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ADJUST FRAMING AS NECESSARY. DIRECT VENTED THROUGH CHIMNEY.
- MAKE-UP AIR INTAKE VENT FROM NORTH WALL, 1000 CFM TO MATCH CURRENTLY SPECIFIED COOK TOP EXHAUST VENT
- MOVE GAS METER AS FAR EAST AS POSSIBLE. CONTRACTOR TO VERIFY

| KEY | |
|-----|---|
| | VENT FAN |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |
| | GARAGE HEAT DETECTOR |
| | DOWN SPOUT |
| | EXTERIOR WATER HOSE BIB |
| | HOT/COLD WATER HOSE BIB |
| | NEW FRAMED WALL PER STRUCTURAL |
| | NEW POST PER STRUCTURAL |
| | CONCRETE WALL, SEE S2.1 FOR EXISTING VS NEW FOUNDATION WALL PLACEMENT |

- GENERAL NOTES:**
- REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE AND FRAMING SPECIFICATIONS
 - REFER TO SHEET A5.0 & A5.1 FOR WALL, FLOOR AND ROOF ASSEMBLIES
 - ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNO.
 - INTERIOR DOORS TO BE 4'-1/2" FROM FACE OF STUD, UNO.
 - SMOKE DETECTORS TO BE INTERCONNECTED PER IRC R314.4, HARDWIRED TO BUILDING WIRING WITH BATTERY BACKUP PER IRC R314.6
 - CARBON MONOXIDE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 2034, PRIMARY POWER FROM BUILDING WIRING WITH BATTERY BACKUP
 - UNDER-STAIR PROTECTION TO BE 1/2" GYPSUM BOARD PER IRC R302.7
 - ALL SAFETY GLAZING TO BE IDENTIFIED WITH MANUFACTURER DESIGNATION AT HAZARDOUS LOCATIONS PER IRC R308.1, SEE OPENING SCHEDULE FOR LOCATIONS
 - GARAGE WALLS AND CEILING TO HAVE 5/8" TYPE 'X' GWB
 - WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION

- FIRE CODE ALTERNATE KEY NOTES:**
- HOME TO BE EQUIPPED WITH AND MEET ALL REQUIREMENTS OF A "NFPA 13R - PLUS" SPRINKLER SYSTEM.
 - UPGRADE TO A MINIMUM 1-1/2" WATER METER AND 2" SERVICE LINE.
 - PROVIDE A MONITORED "HOUSEHOLD FIRE ALARM SYSTEM" PER NFPA 72 CHAPTER 29
 - PROVIDE SOLID CORE DOORS THROUGHOUT THE HOME.
 - PROVIDE 5/8" TYPE 'X' ONE-HOUR FIRE-RATED GYPSUM WALL BOARD IN ALL AREAS FOR WALLS AND CEILINGS.
 - THE DRIVEWAY WILL BE CONCRETE WITH A RAKED FINISH.



SQUARE FOOTAGE CALCULATIONS

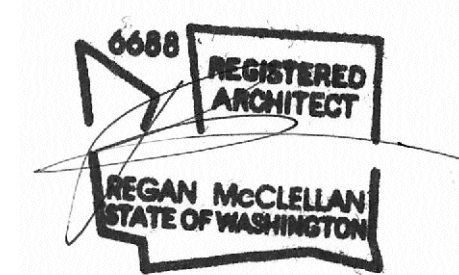
| | |
|-----------------------------|----------------------|
| MAIN LEVEL GROSS | = 2,793 sq ft |
| GARAGE GROSS | = 669 sq ft |
| COMBINED TOTAL GROSS | = 3,462 sq ft |
| OUTDOOR SPACES | |
| REAR PATIO | = 246 sq ft |
| FRONT PATIO | = 955 sq ft |

DATE:
JUNE 18, 2024

SHEET TITLE:
MAIN LEVEL PLAN

SHEET:

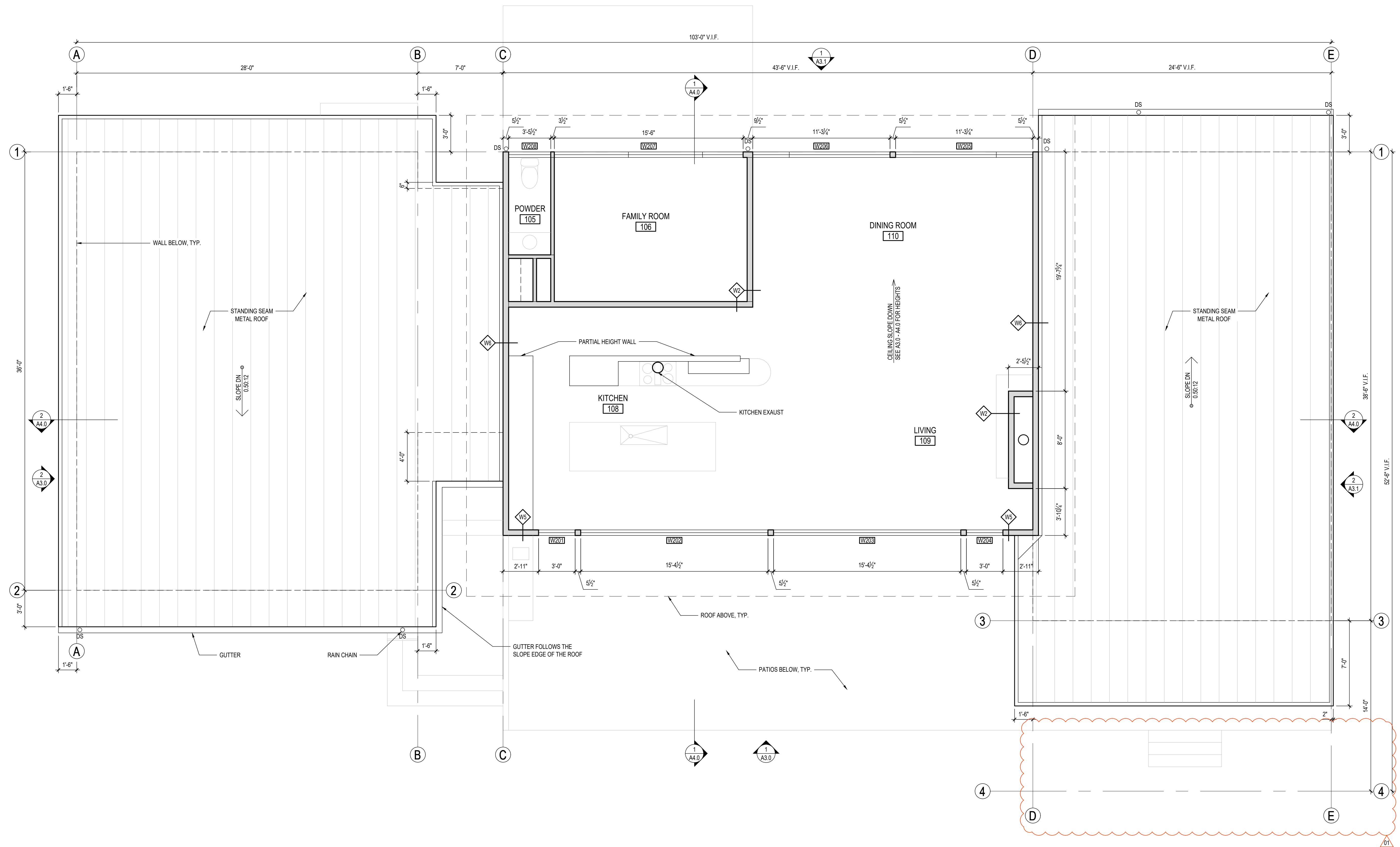
A2.1



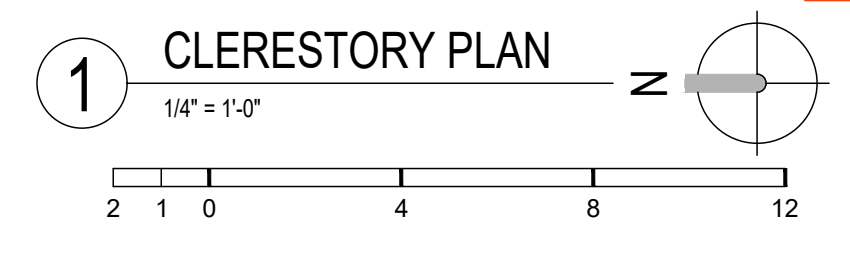
PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

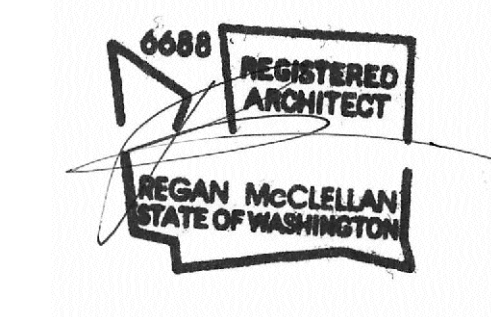
| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 06/18/2024 |



- GENERAL NOTES:**
- REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE AND FRAMING SPECIFICATIONS
 - REFER TO SHEET A5.0 & A5.1 FOR WALL, FLOOR AND ROOF ASSEMBLIES
 - ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNO.
 - INTERIOR DOORS TO BE 4-1/2" FROM FACE OF STUD, UNO.
 - SMOKE DETECTORS TO BE INTERCONNECTED PER IRC R314.4, HARDWIRED TO BUILDING WIRING WITH BATTERY BACKUP PER IRC R314.6
 - CARBON MONOXIDE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 2034, PRIMARY POWER FROM BUILDING WIRING WITH BATTERY BACKUP
 - UNDER STAIR PROTECTION TO BE 1/2" GYPSUM BOARD PER IRC R302.7
 - ALL SAFETY GLAZING TO BE IDENTIFIED WITH MANUFACTURER DESIGNATION AT HAZARDOUS LOCATIONS PER IRC R308.1, SEE OPENING SCHEDULE FOR LOCATIONS
 - GARAGE WALLS AND CEILING TO HAVE 5/8" TYPE 'X' GWB
 - WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION



| KEY | |
|-----|---------------|
| | EXISTING WALL |
| | NEW WALL |



DATE:
JUNE 18, 2024

SHEET TITLE:
CLERESTORY PLAN

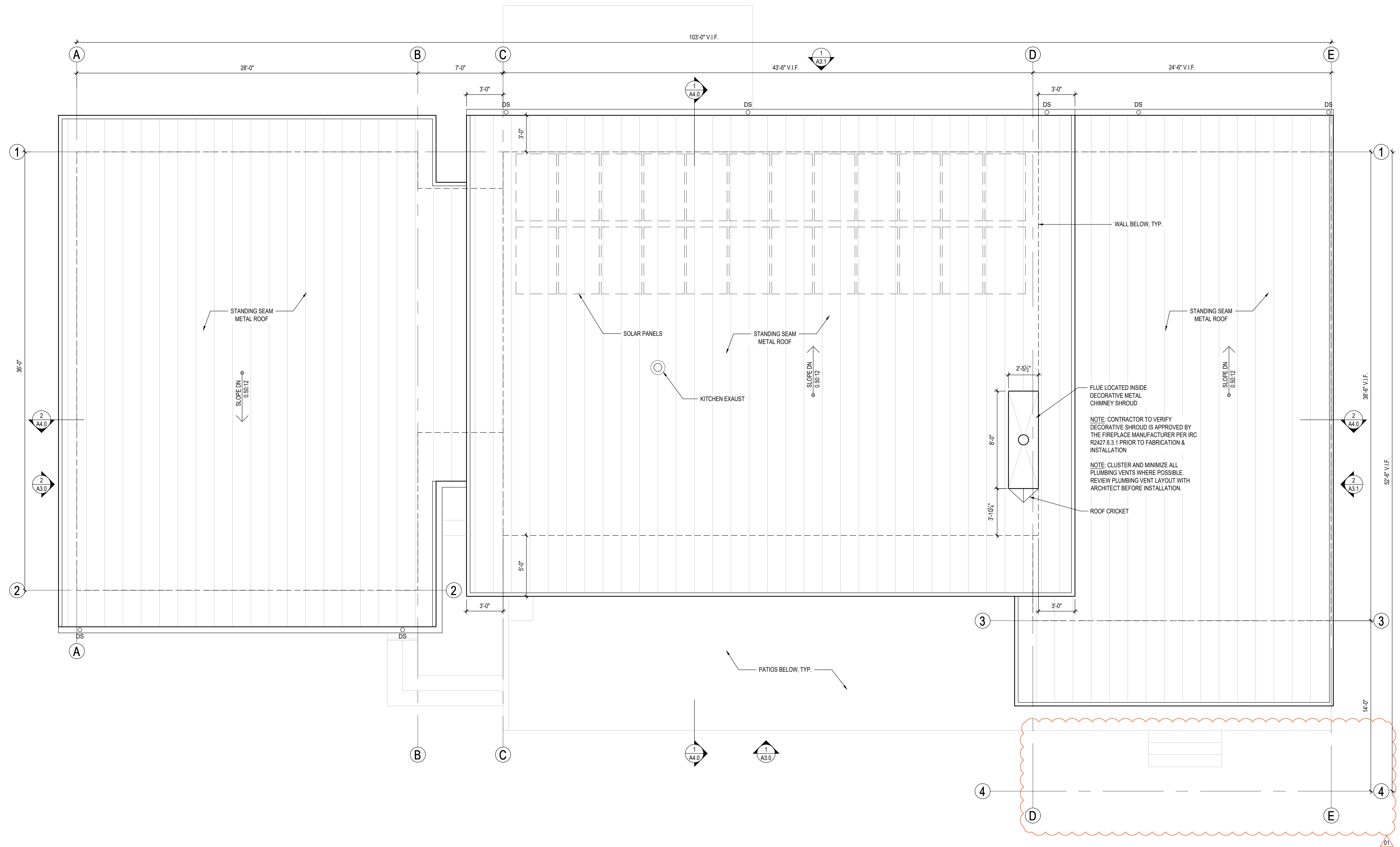
SHEET:

A2.2

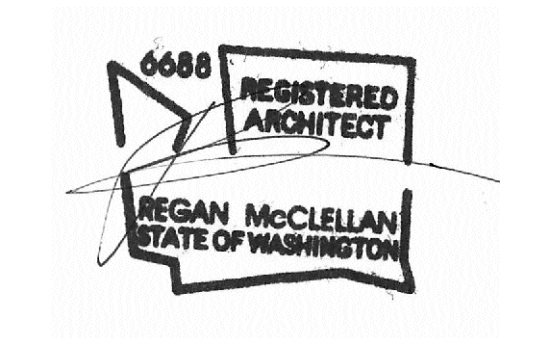
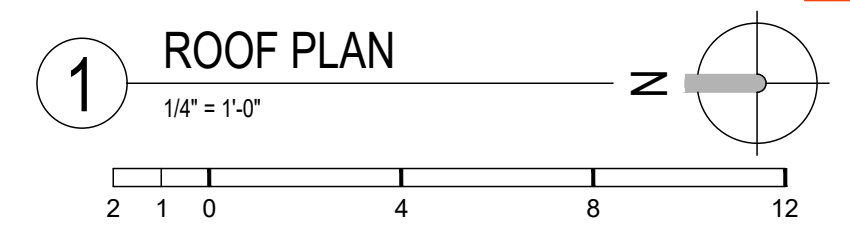
PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 06/18/2024 |



- GENERAL NOTES:**
- REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE AND FRAMING SPECIFICATIONS
 - REFER TO SHEET A5.0 & A5.1 FOR WALL, FLOOR AND ROOF ASSEMBLIES
 - ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNO.
 - INTERIOR DOORS TO BE 4'-1/2" FROM FACE OF STUD, UNO.
 - SMOKE DETECTORS TO BE INTERCONNECTED PER IRC R314.4, HARDWIRED TO BUILDING WIRING WITH BATTERY BACKUP PER IRC R314.6
 - CARBON MONOXIDE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 2034, PRIMARY POWER FROM BUILDING WIRING WITH BATTERY BACKUP
 - UNDER STAIR PROTECTION TO BE 1/2" GYPSUM BOARD PER IRC R302.7
 - ALL SAFETY GLAZING TO BE IDENTIFIED WITH MANUFACTURER DESIGNATION AT HAZARDOUS LOCATIONS PER IRC R308.1, SEE OPENING SCHEDULE FOR LOCATIONS
 - GARAGE WALLS AND CEILING TO HAVE 5/8" TYPE 'X' GWB
 - WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION



DATE:
JUNE 18, 2024

SHEET TITLE:
ROOF PLAN

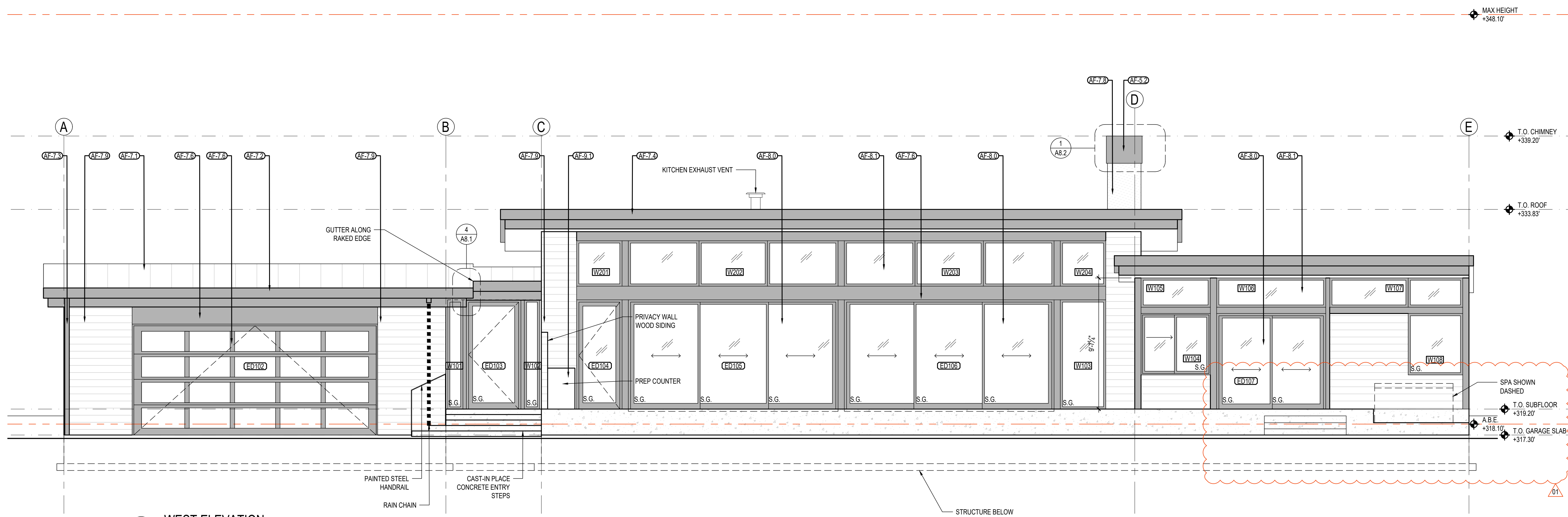
SHEET:

A2.3

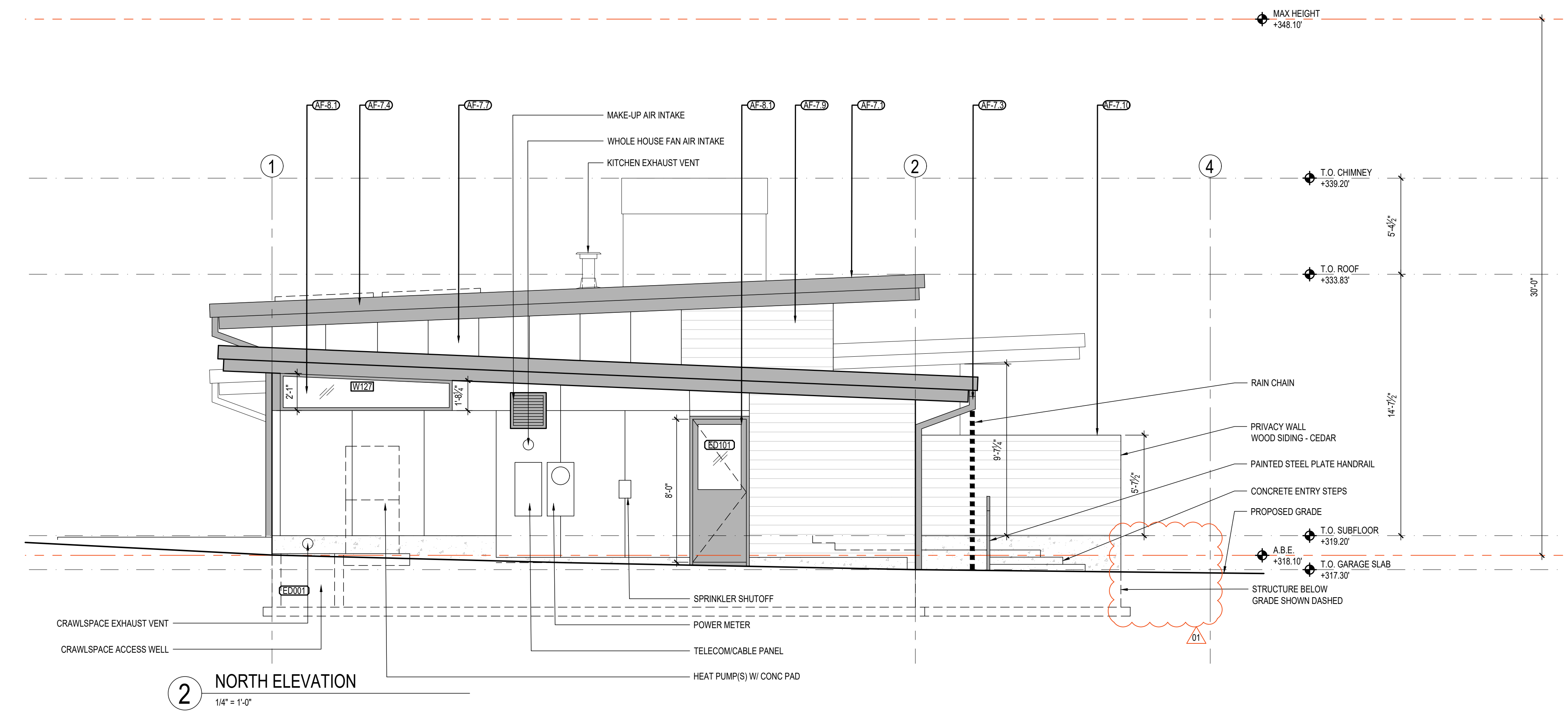
PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 08/18/2024 |



1 WEST ELEVATION
1/4" = 1'-0"

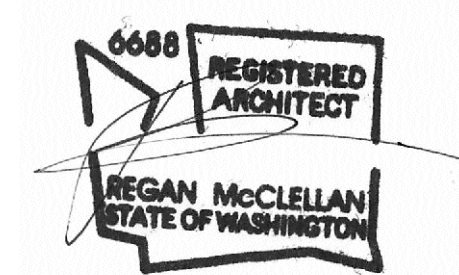


2 NORTH ELEVATION
1/4" = 1'-0"

- GENERAL NOTES:**
- REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE AND FRAMING SPECIFICATIONS
 - ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNO.

KEY:

- AF-3.1 - CAST-IN PLACE CONCRETE
- AF-4.1 - ROCKERY WALL - STACKED STONE
- AF-5.1 - METAL CHIMNEY SHROUD
- AF-7.1 - STANDING SEAM METAL ROOF
- AF-7.2 - SQUARE METAL GUTTER
- AF-7.3 - ROUND METAL DOWNSPOUT
- AF-7.4 - PREFINISHED METAL TRIM
- AF-7.5 - WOOD SOFFIT
- AF-7.6 - PAINTED COMPOSITE TRIM
- AF-7.7 - PAINTED CONC BOARD WALL PANEL
- AF-7.8 - STUCCO
- AF-7.9 - WOOD SIDING
- AF-7.10 - WOOD SLAT SCREEN
- AF-8.0 - ALUMINUM DOOR SYSTEM
- AF-8.1 - FIBERGLASS WINDOW/DOOR SYSTEM
- AF-8.2 - ALUMINUM GARAGE DOOR W/ GLASS
- AF-9.1 - STONE SLAB
- AF-16.1 - PV SOLAR PANELS



DATE:
JUNE 18, 2024

SHEET TITLE:
EXTERIOR ELEVATIONS

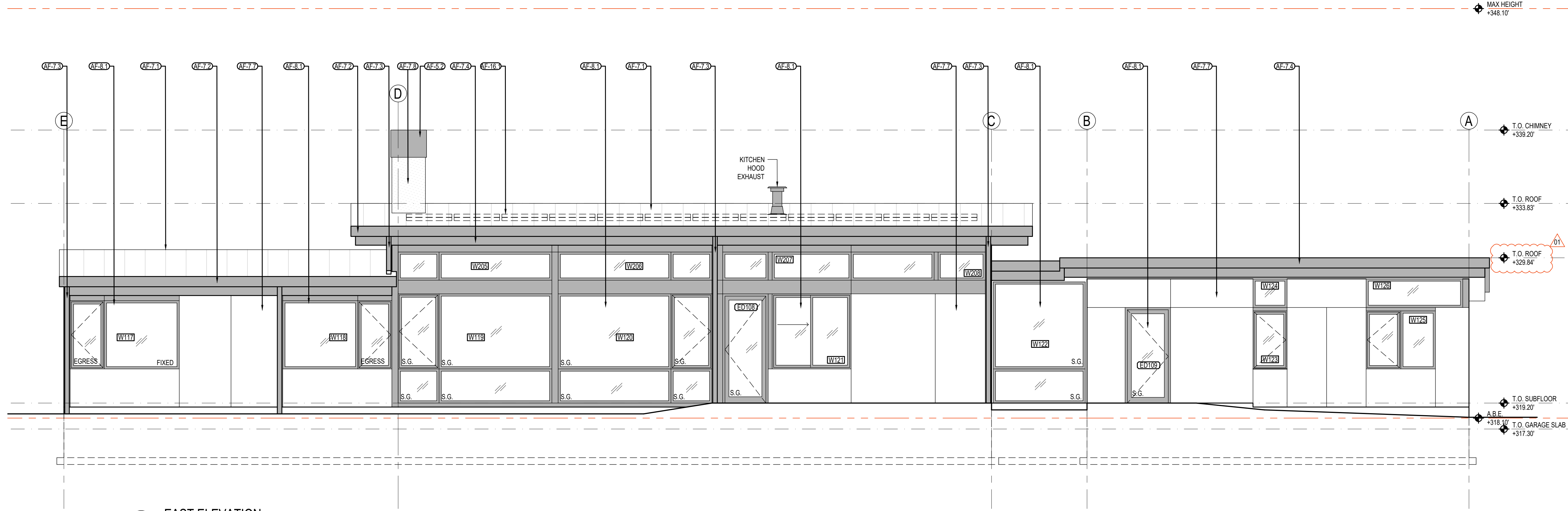
SHEET:

A3.0

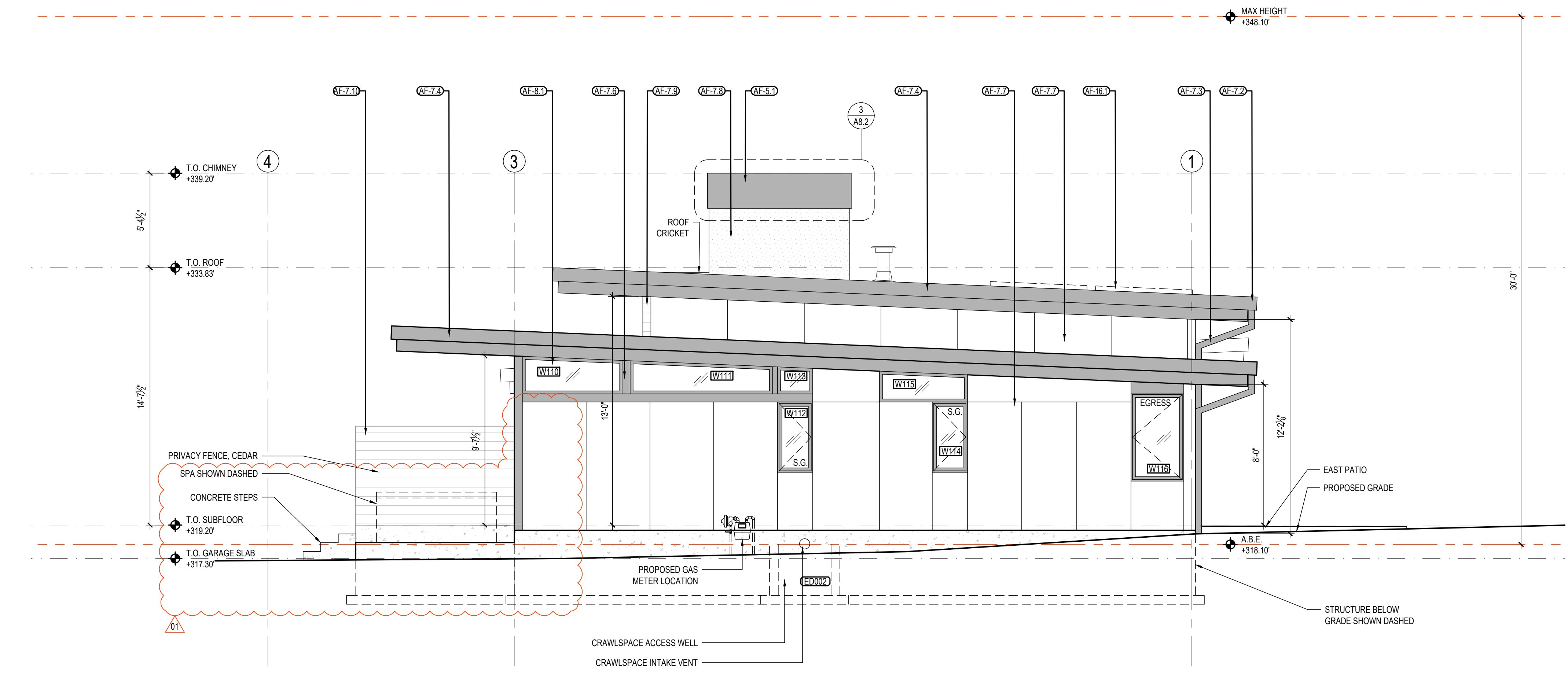
PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 08/18/2024 |



1 EAST ELEVATION
1/4" = 1'-0"

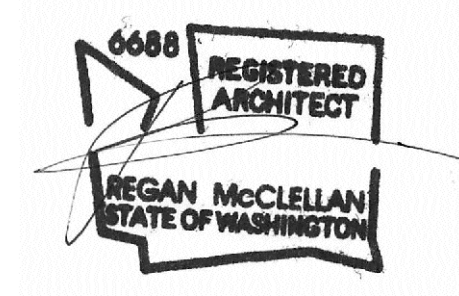


2 SOUTH ELEVATION
1/4" = 1'-0"

- GENERAL NOTES:**
- REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE AND FRAMING SPECIFICATIONS
 - ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNO.

KEY:

- AF-3.1 - CAST-IN PLACE CONCRETE
- AF-4.1 - ROCKERY WALL - STACKED STONE
- AF-5.1 - METAL CHIMNEY SHROUD
- AF-7.1 - STANDING SEAM METAL ROOF
- AF-7.2 - SQUARE METAL GUTTER
- AF-7.3 - ROUND METAL DOWNSPOUT
- AF-7.4 - PREFINISHED METAL TRIM
- AF-7.5 - WOOD SOFFIT
- AF-7.6 - PAINTED COMPOSITE TRIM
- AF-7.7 - PAINTED CONC BOARD WALL PANEL
- AF-7.8 - STUCCO
- AF-7.9 - WOOD SIDING
- AF-7.10 - WOOD SLAT SCREEN
- AF-8.0 - ALUMINUM DOOR SYSTEM
- AF-8.1 - FIBERGLASS WINDOW/DOOR SYSTEM
- AF-8.2 - ALUMINUM GARAGE DOOR W/ GLASS
- AF-9.1 - STONE SLAB
- AF-16.1 - PV SOLAR PANELS



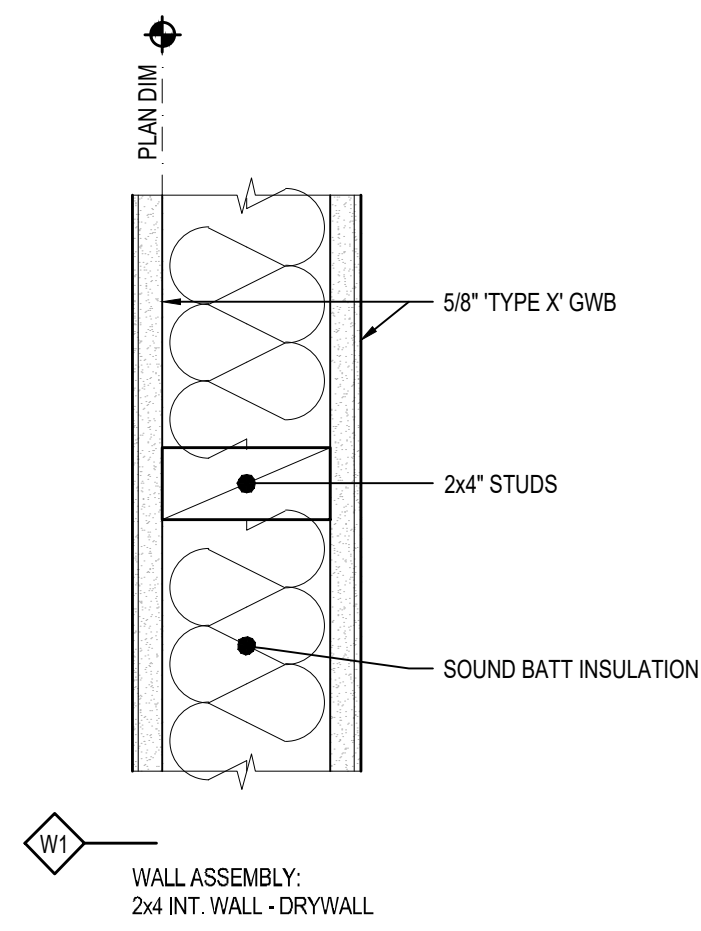
DATE:
JUNE 18, 2024

SHEET TITLE:
EXTERIOR ELEVATIONS

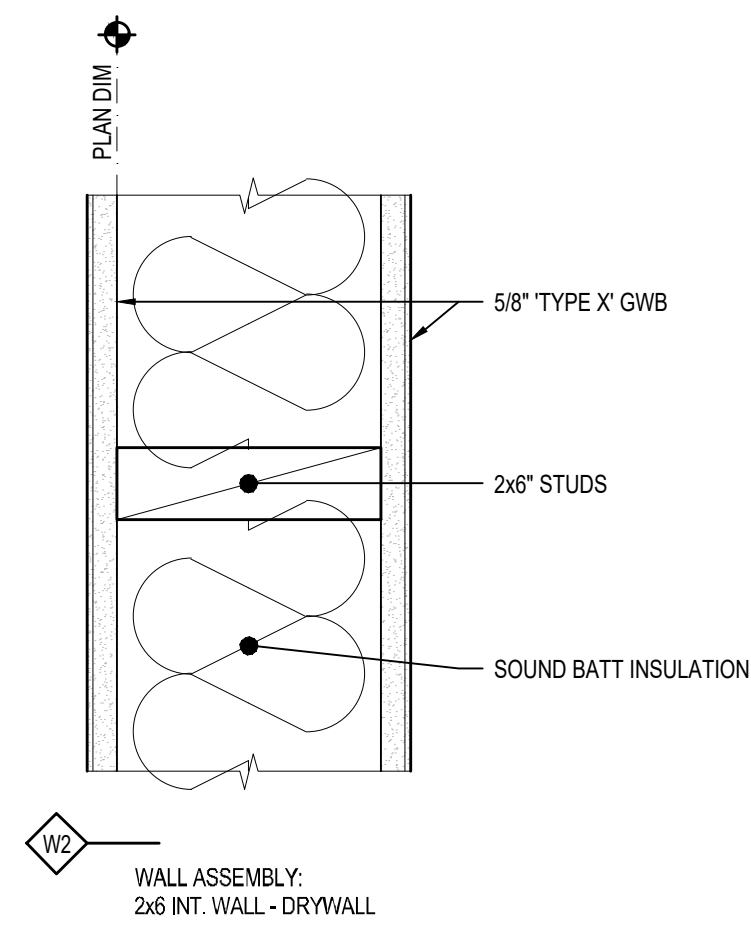
SHEET:

A3.1

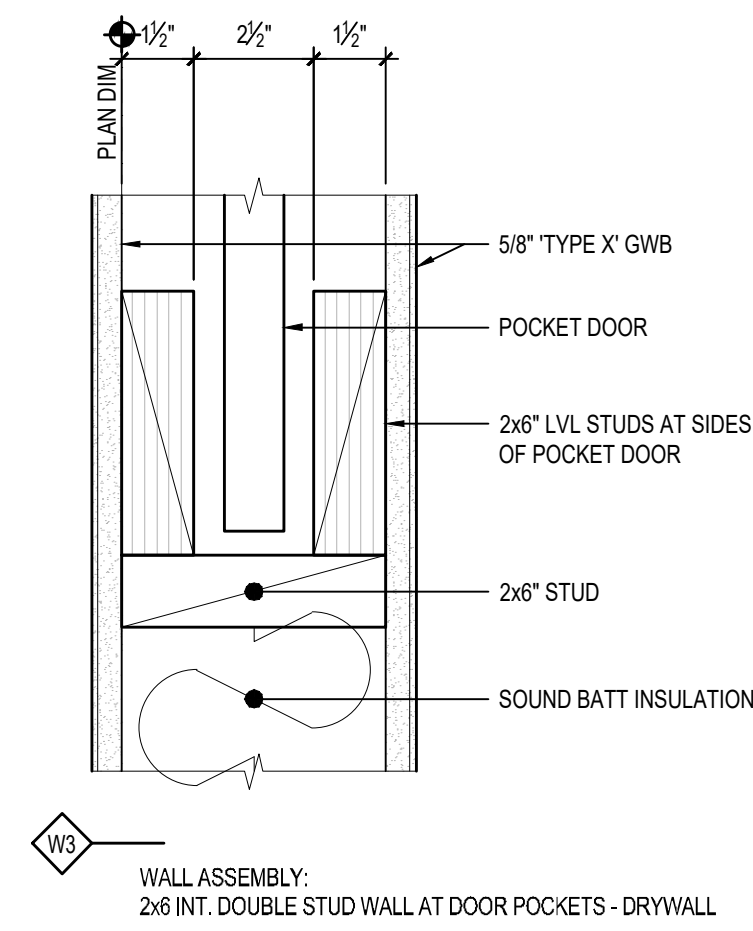
| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 08/18/2024 |



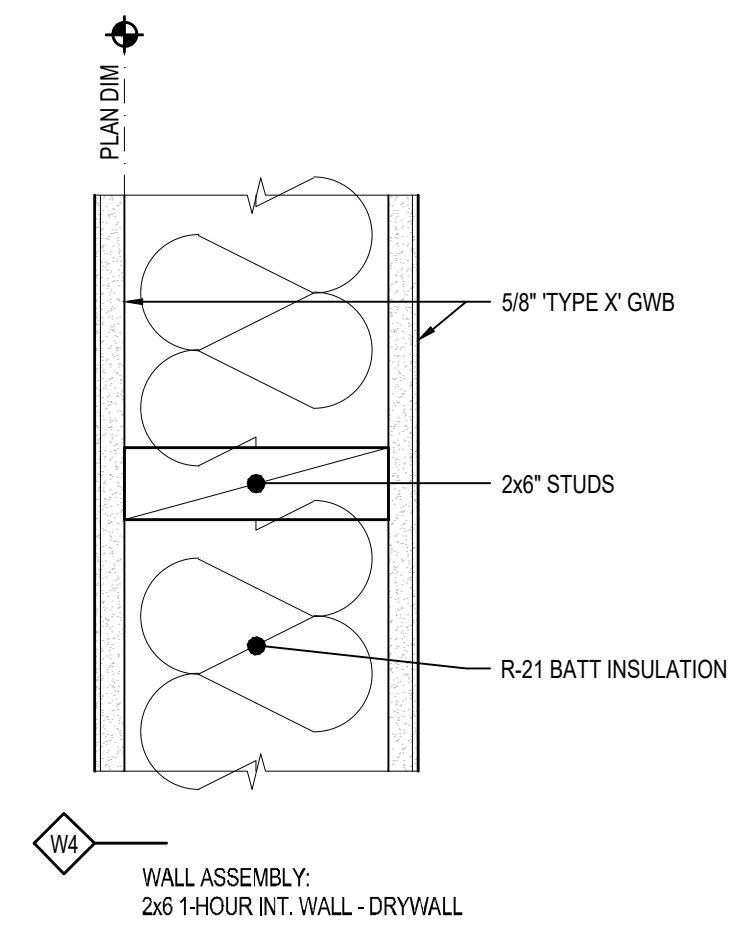
1 INTERIOR WALL ASSEMBLY
3" = 1'-0"



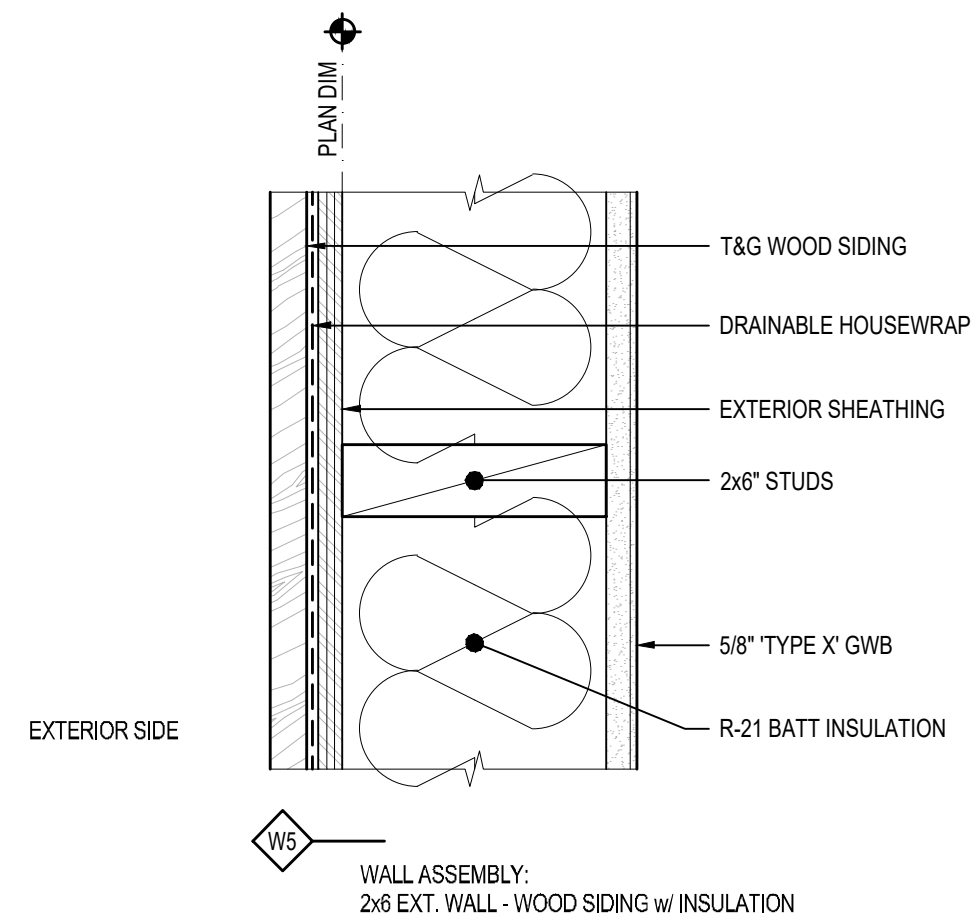
2 INTERIOR WALL ASSEMBLY
3" = 1'-0"



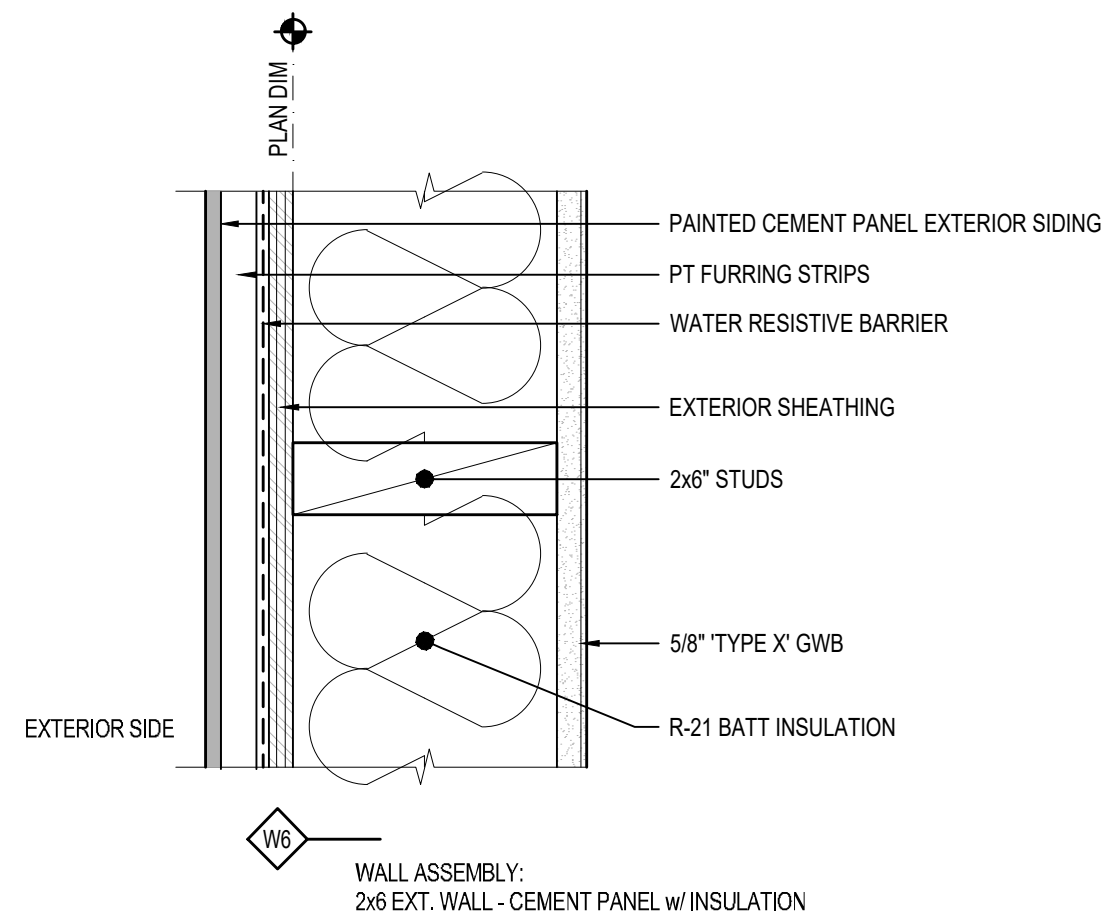
3 INTERIOR WALL ASSEMBLY
3" = 1'-0"



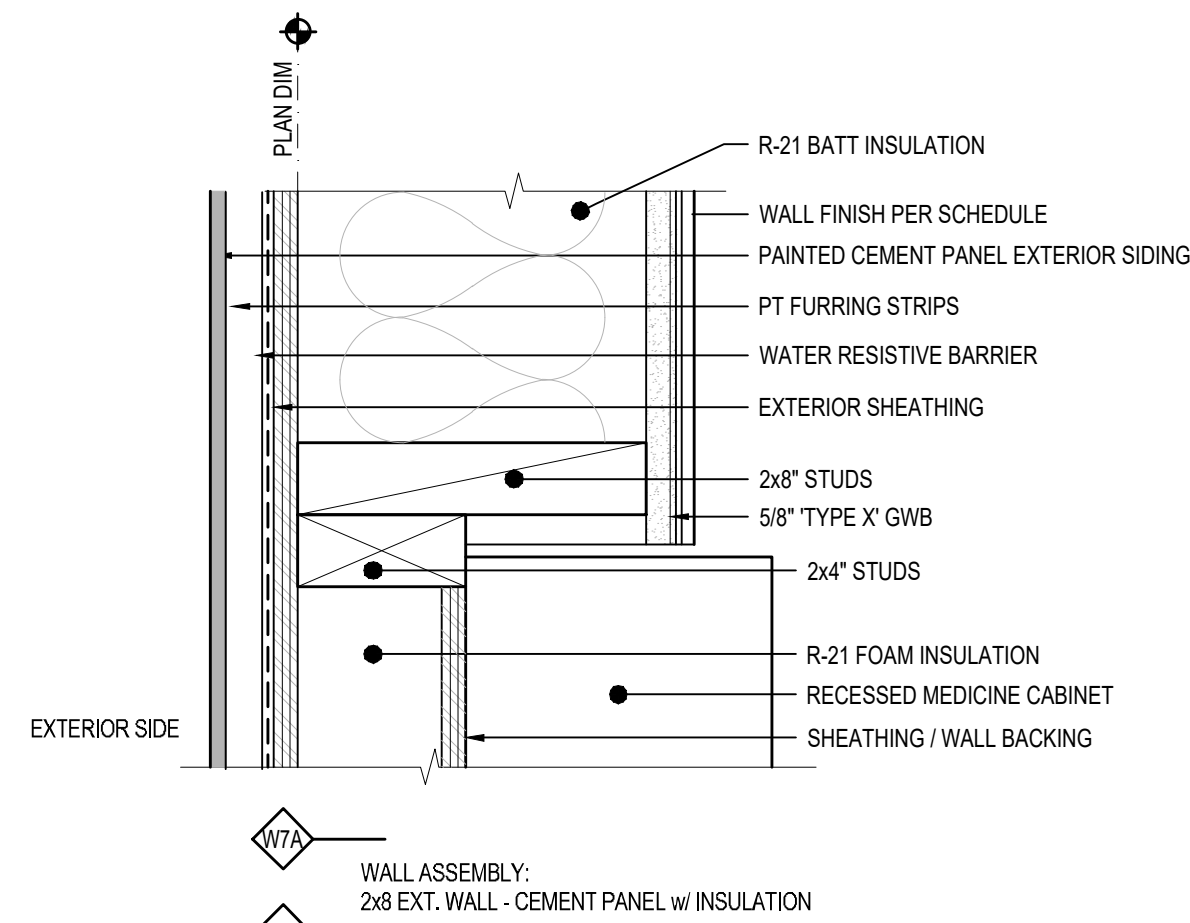
4 INTERIOR WALL ASSEMBLY
3" = 1'-0"



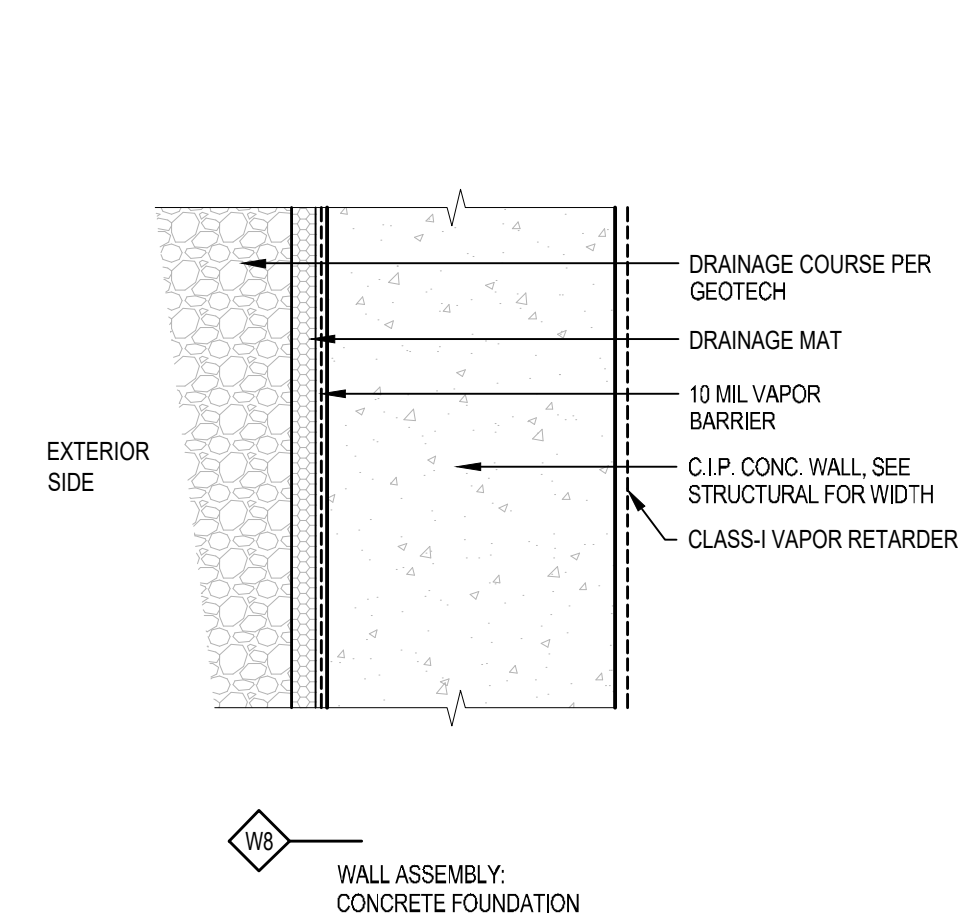
5 EXTERIOR WALL ASSEMBLY
3" = 1'-0"



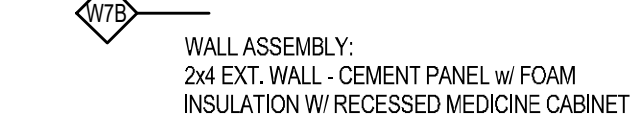
6 EXTERIOR WALL ASSEMBLY
3" = 1'-0"



7 EXTERIOR WALL ASSEMBLY
3" = 1'-0"



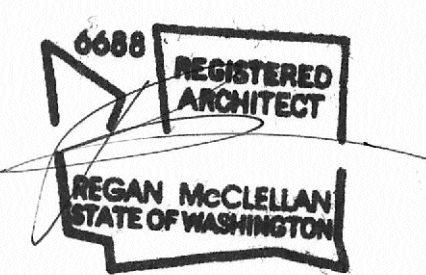
8 EXTERIOR WALL ASSEMBLY
3" = 1'-0"



STUCCO SYSTEM SPECIFICATION:

- 1) INSTALL STUCCO PER IRC SECTION R703.7
- 2) PROVIDE HOME SLICKER STUCCO DRAINAGE MAT OVER THE VAPOR BARRIER
- 3) PROVIDE CORROSION RESISTANT METAL LATHE
- 4) PROVIDE MIN 1/2" CEMENTITIOUS SCRATCH COAT
- 5) PROVIDE MIN 3/8" CEMENTITIOUS BROWN COAT
- 6) PROVIDE MIN 1/8" ACRYLIC DRYVIT FINISH COAT
- 7) PROVIDE NO. 26 GAGE PLASTIC WEEP SCREED W/ MIN VERTICAL ATTACHMENT FLANGE OF 3-1/2". PLACE A MINIMUM OF 4" ABOVE GRADE. THE SCREED SHALL ALLOW DRAINAGE TO THE EXTERIOR. THE WEATHER RESISTIVE BARRIER AND LATHE SHALL COVER AND TERMINATE AT THE ATTACHMENT FLANGE OF THE WEEP SCREED.

9 PROJECT SPECIFICATIONS
NTS



DATE:
JUNE 18, 2024

SHEET TITLE:
WALL ASSEMBLIES

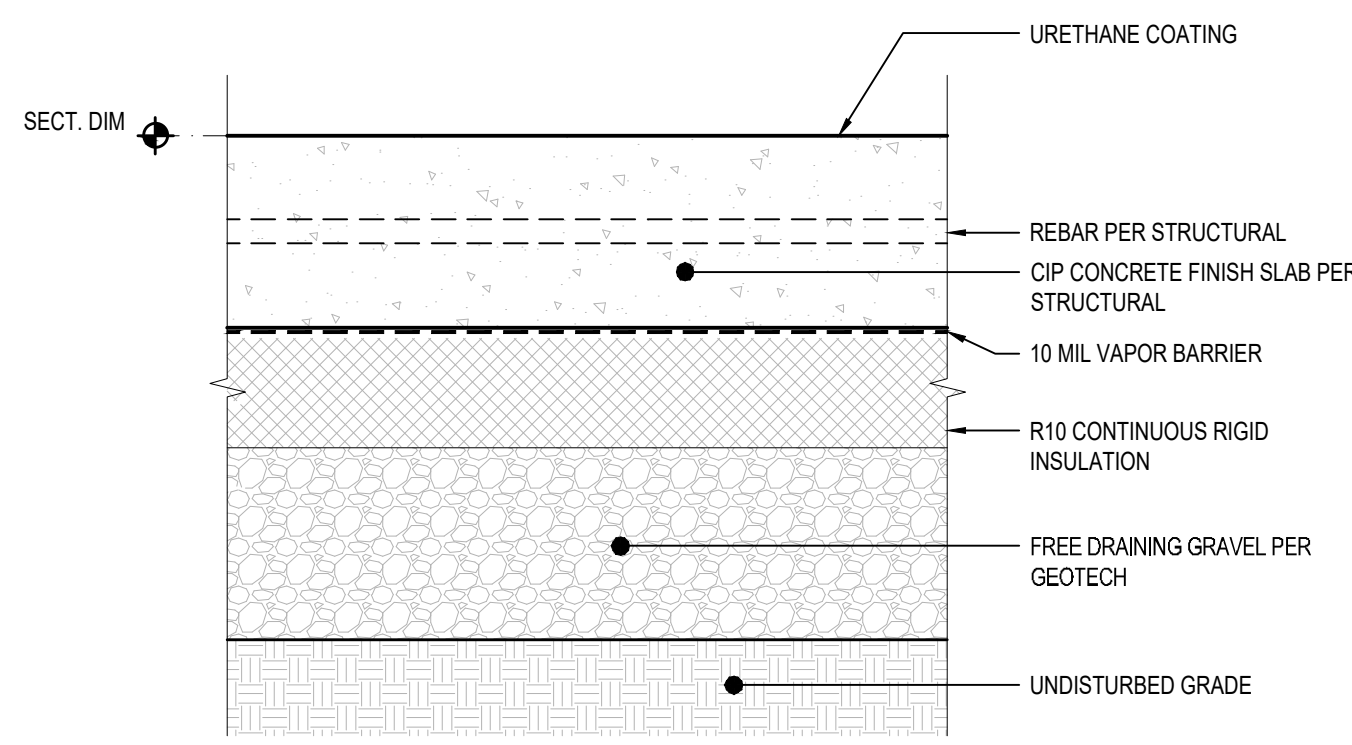
SHEET:

A5.0

PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

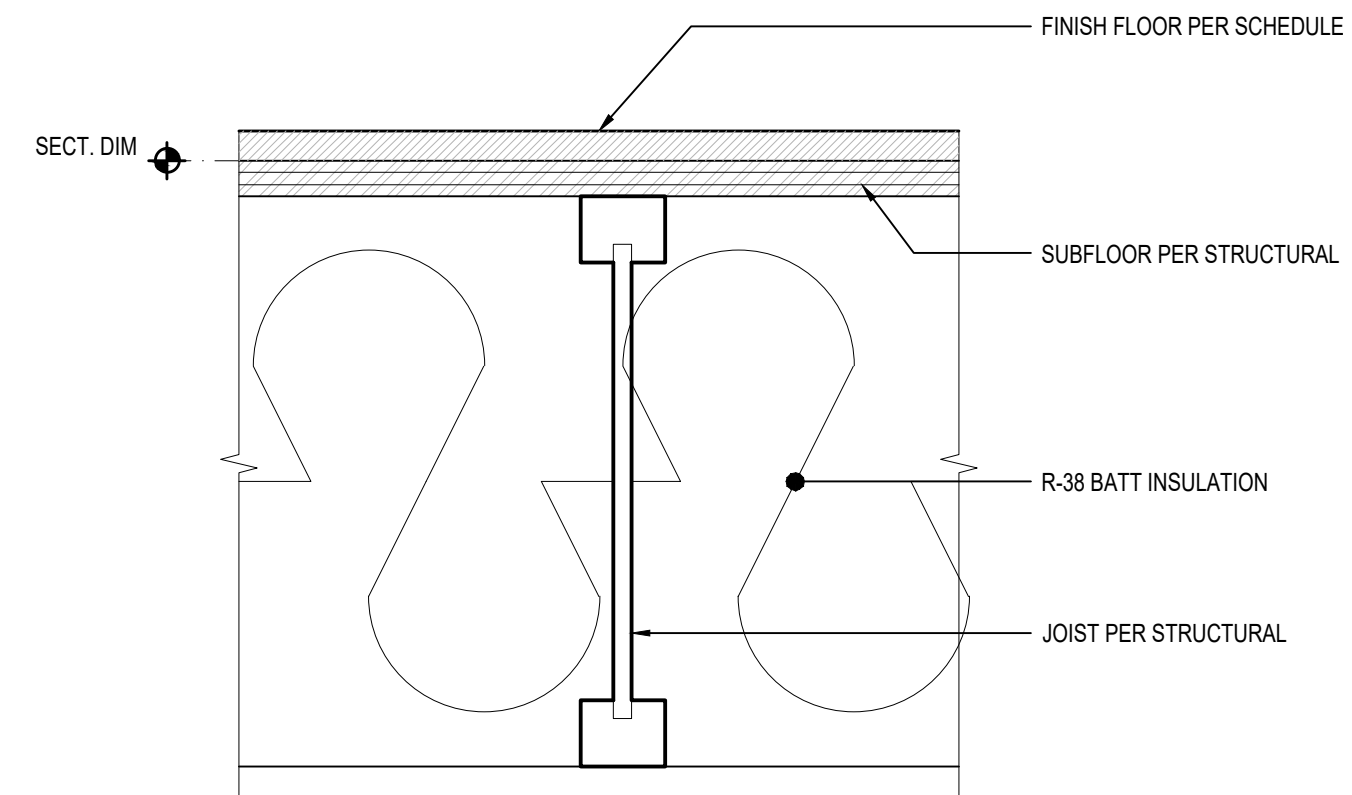
CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 09/18/2024 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



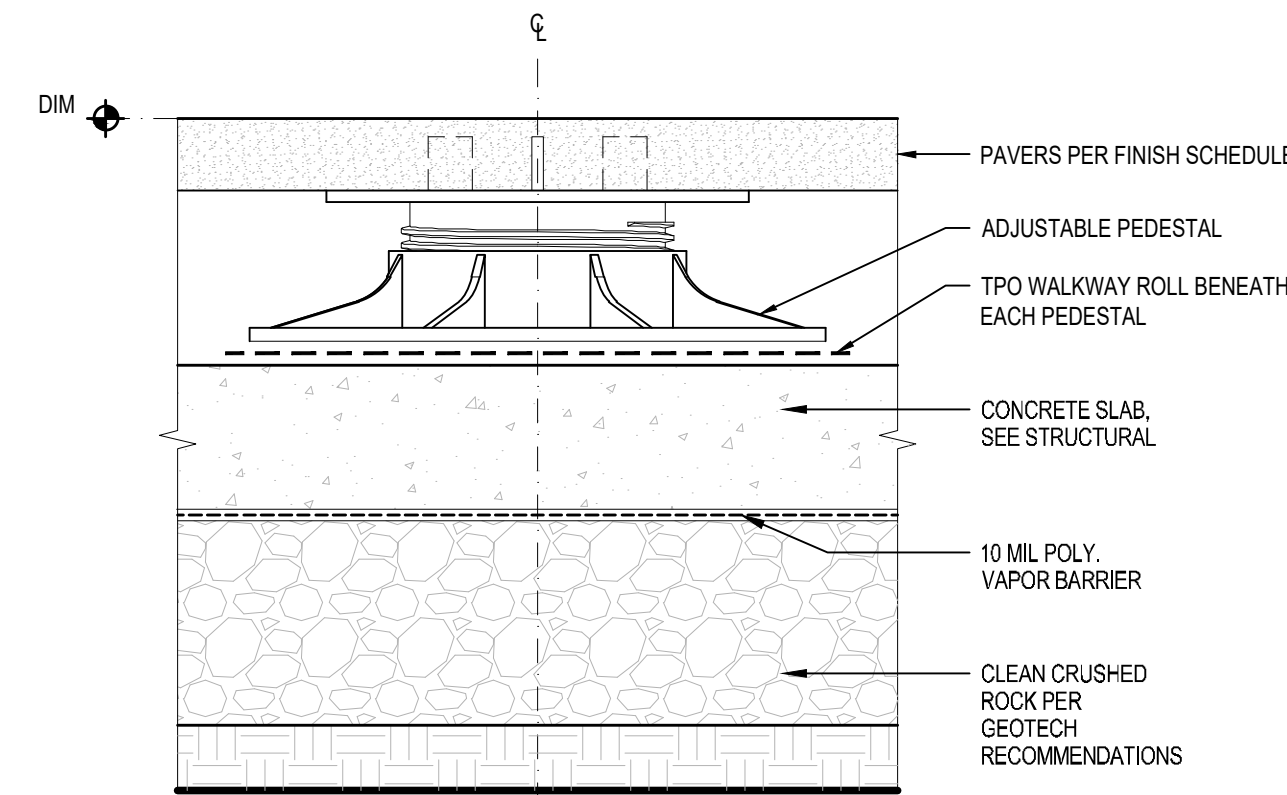
F1 FLOOR ASSEMBLY:
CIP FINISH SLAB ON GRADE

1 FLOOR ASSEMBLY
3" = 1'-0"



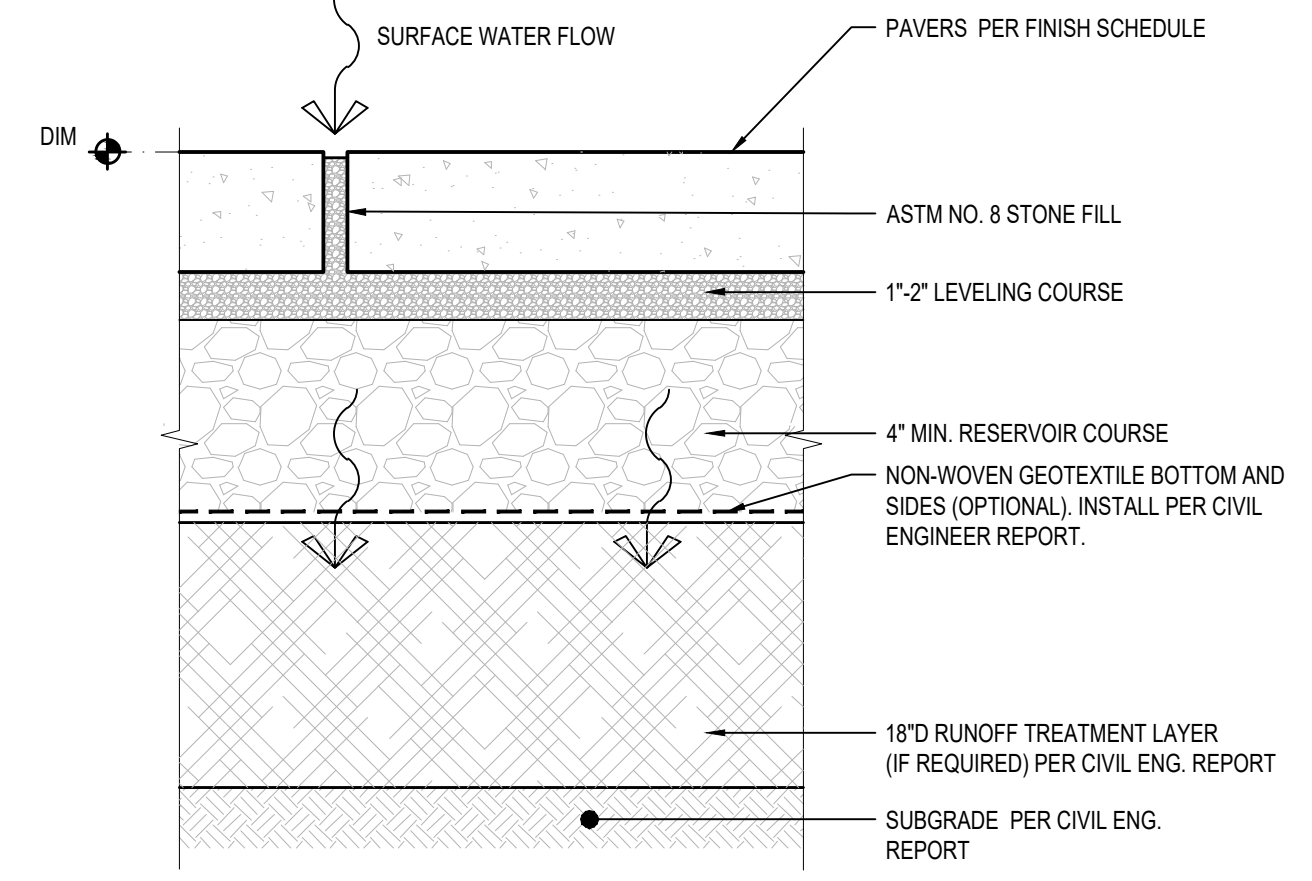
F2 FLOOR ASSEMBLY:
JOISTS or CRAWLSPACE

2 FLOOR ASSEMBLY
3" = 1'-0"



F3 FLOOR ASSEMBLY:
PAVER PATIO OVER CONCRETE SLAB ON GRADE

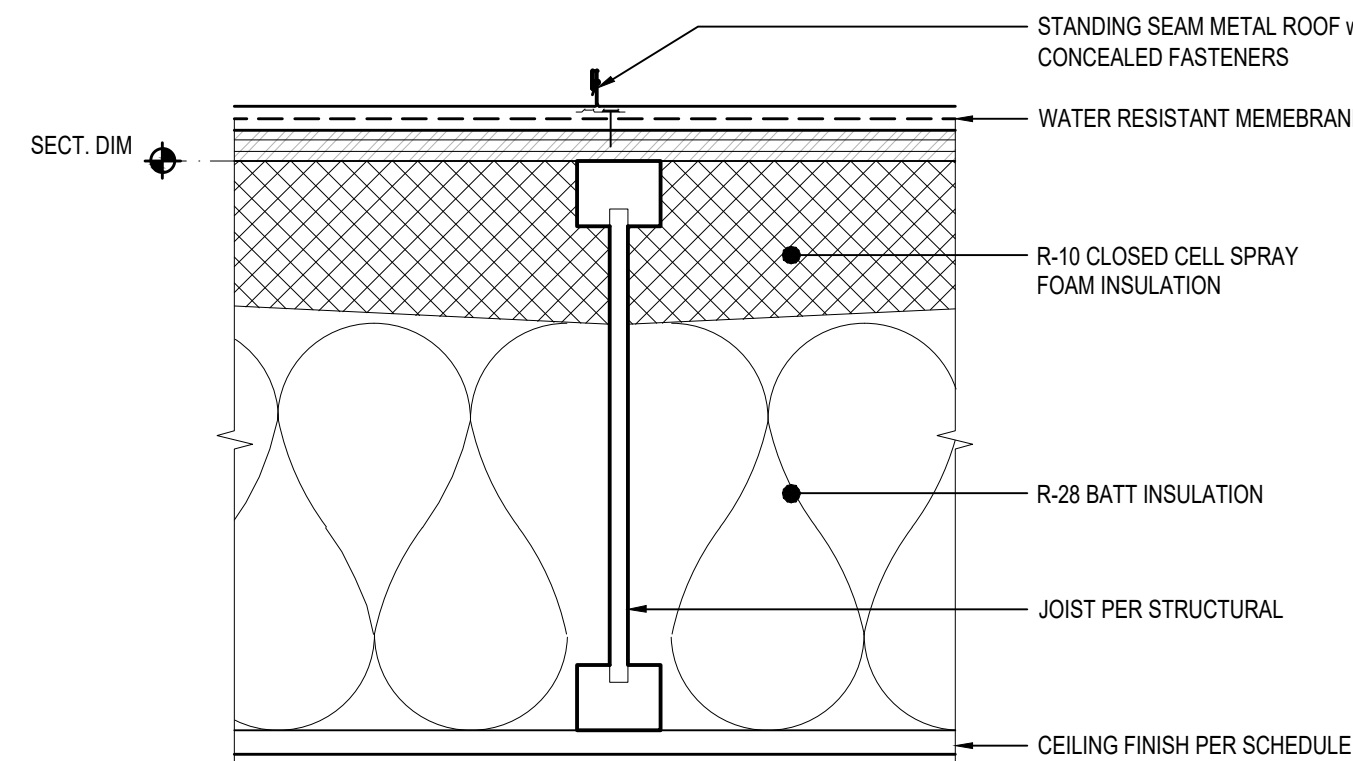
3 FLOOR ASSEMBLY
3" = 1'-0"



F4 FLOOR ASSEMBLY:
DECK - PERMEABLE LARGE-SCALE PAVERS

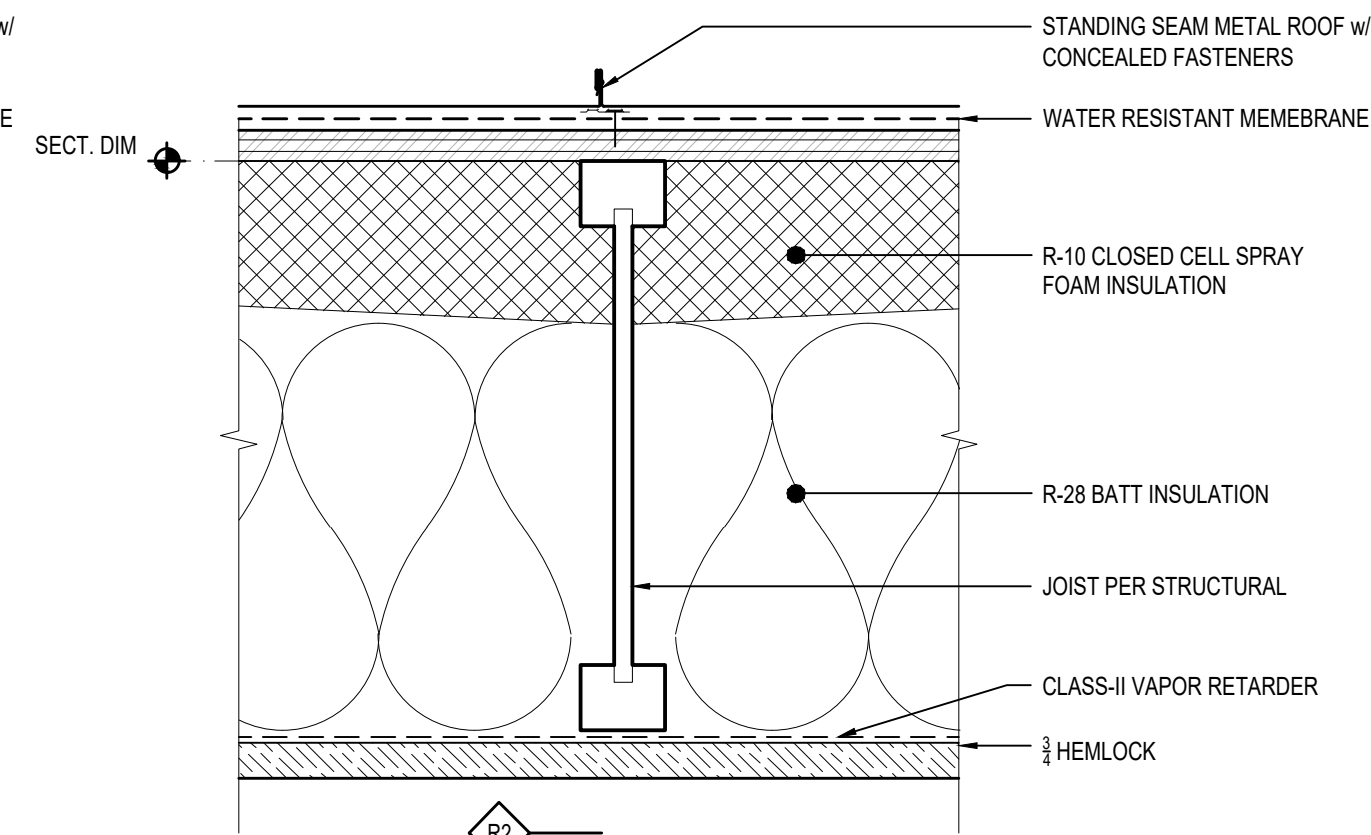
4 FLOOR ASSEMBLY
3" = 1'-0"

- F4 NOTES
- 1) SEE GEOTECHNICAL REPORT FOR FURTHER DETAILS / INFORMATION
 - 2) AGGREGATE SUBBASE SHALL BE CLEAN, CRUSHED GRAVEL OR CRUSHED ROCK
 - 3) THE LEVELING COURSE SHALL BE A FREE DRAINING AGGREGATE AND SHALL NOT RESTRICT THE INFILTRATION RATE THROUGH THE SYSTEM. FRACTURED JOINTING SAND IS NOT ALLOWED



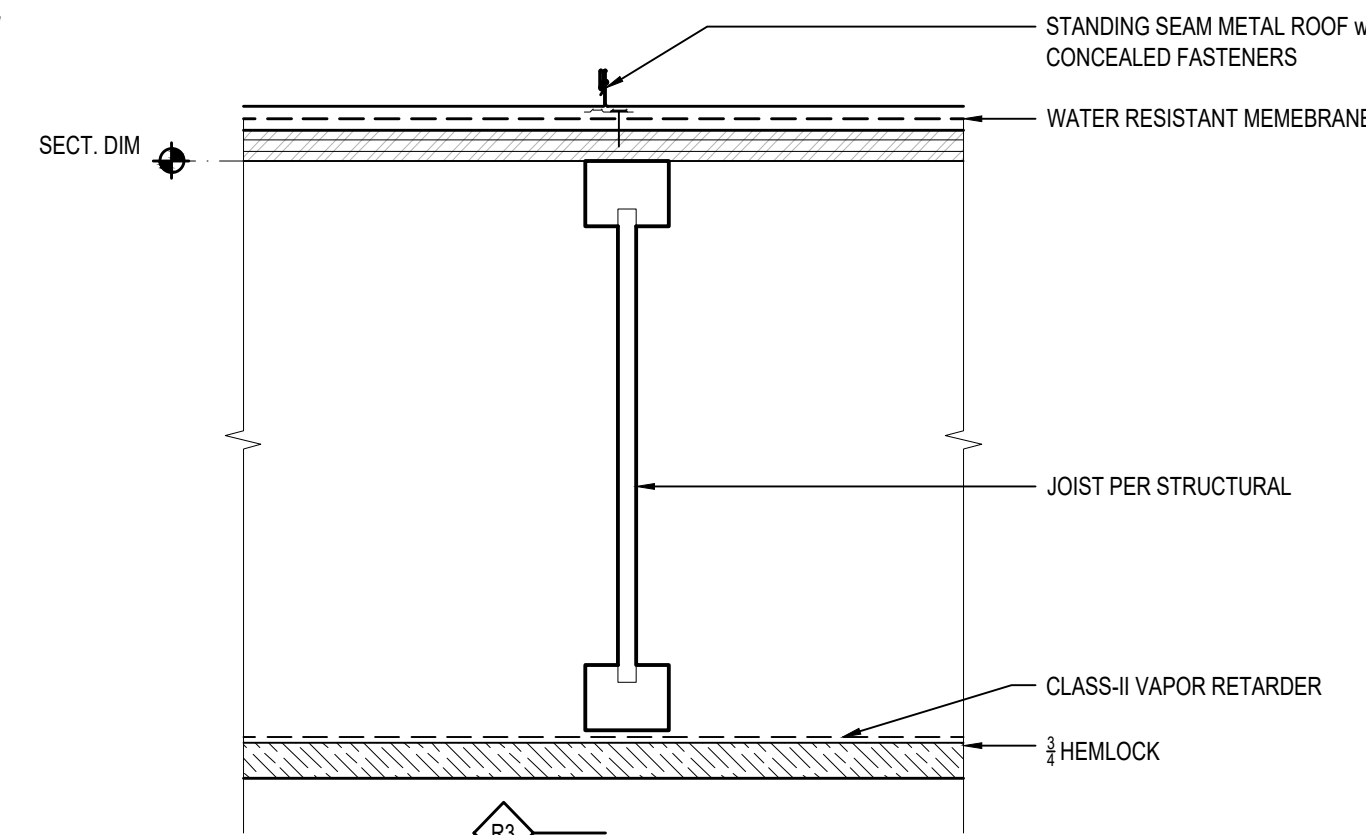
R1 ROOF ASSEMBLY:
STANDING SEAM METAL ROOF w/ NO VENTILATION

5 ROOF ASSEMBLY
3" = 1'-0"



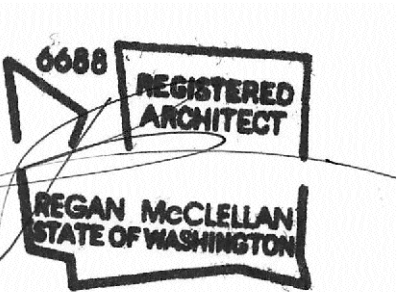
R2 ROOF ASSEMBLY:
STANDING SEAM METAL ROOF w/ NO VENTILATION WOOD CEILING

6 ROOF ASSEMBLY
3" = 1'-0"



R3 ROOF ASSEMBLY:
STANDING SEAM METAL ROOF - VENTILATED w/ INSULATION

7 ROOF ASSEMBLY
3" = 1'-0"



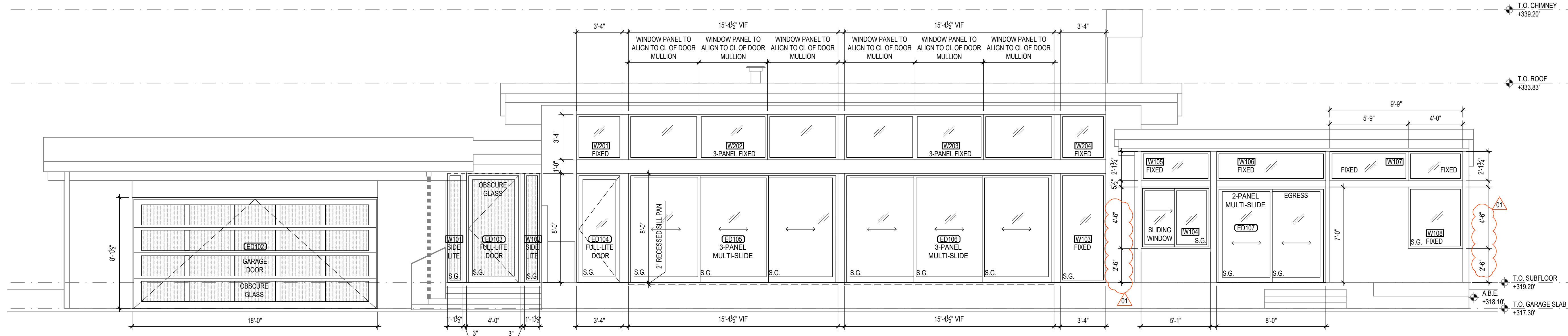
DATE:
JUNE 18, 2024

SHEET TITLE:

FLOOR & ROOF ASSEMBLIES

SHEET:

A5.1

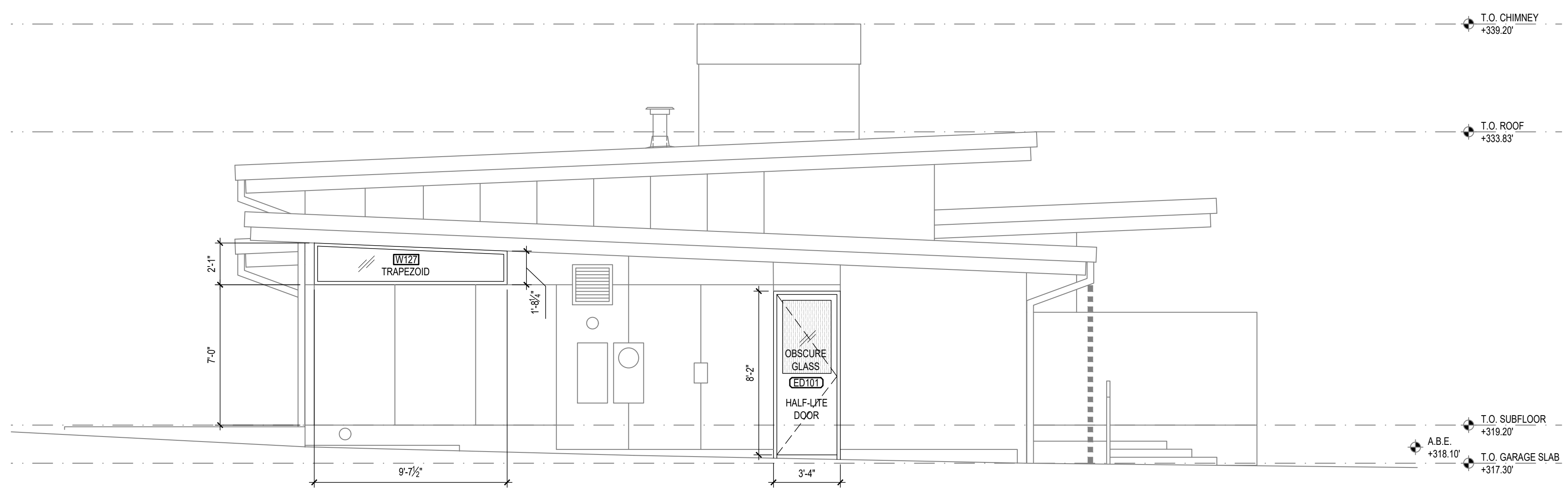


1 WEST ELEVATION
1/4" = 1'-0"

PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 06/18/2024 |



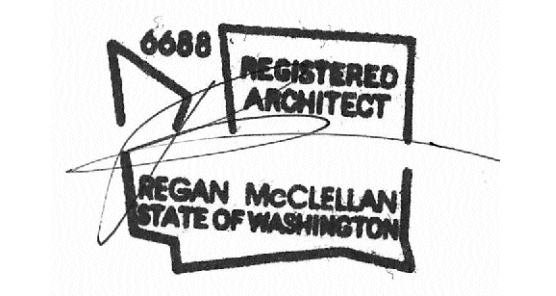
2 NORTH ELEVATION
1/4" = 1'-0"

WINDOW NOTES:

- ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED SYSTEM
- WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON
- SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON
- ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS
- CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308
- THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION

WINDOW KEY:

S.G. - SAFETY GLASS; TEMPERED
 - OBSCURE GLASS; FROSTED



DATE:
JUNE 18, 2024

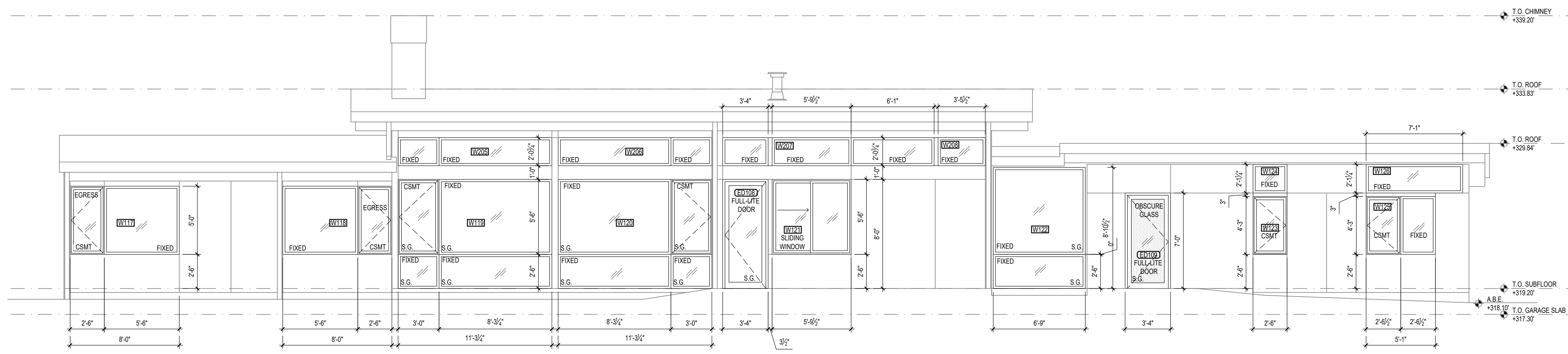
SHEET TITLE:
OPENING SCHEDULE

SHEET:
A6.0

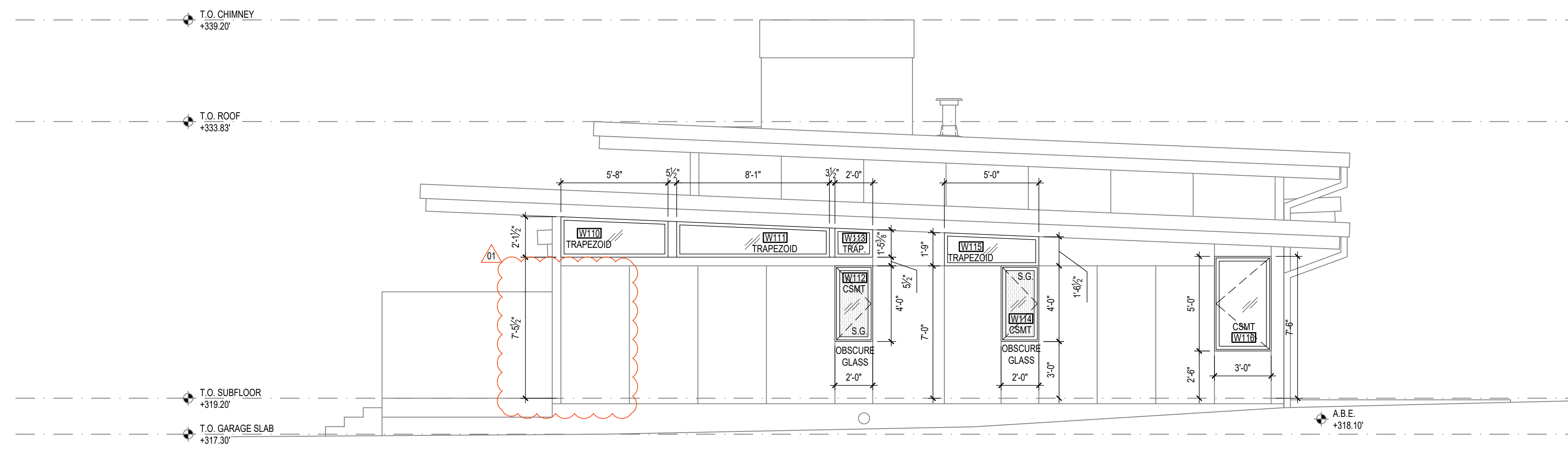
PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| 01 | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 06/18/2024 |



1 EAST ELEVATION
1/4" = 1'-0"




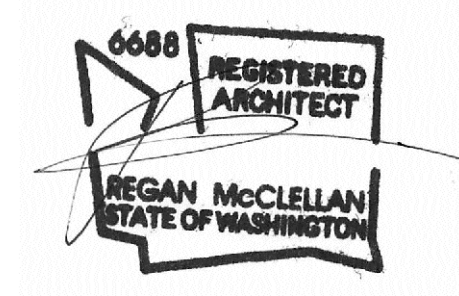
2 SOUTH ELEVATION
1/4" = 1'-0"

WINDOW NOTES:

- ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED SYSTEM
- WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON
- SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON
- ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS
- CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308
- THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION

WINDOW KEY:

S.G. - SAFETY GLASS; TEMPERED
 - OBSCURE GLASS; FROSTED



DATE:
JUNE 18, 2024

SHEET TITLE:
OPENING SCHEDULE

SHEET:

A6.1

WRITTEN DIMENSIONS:

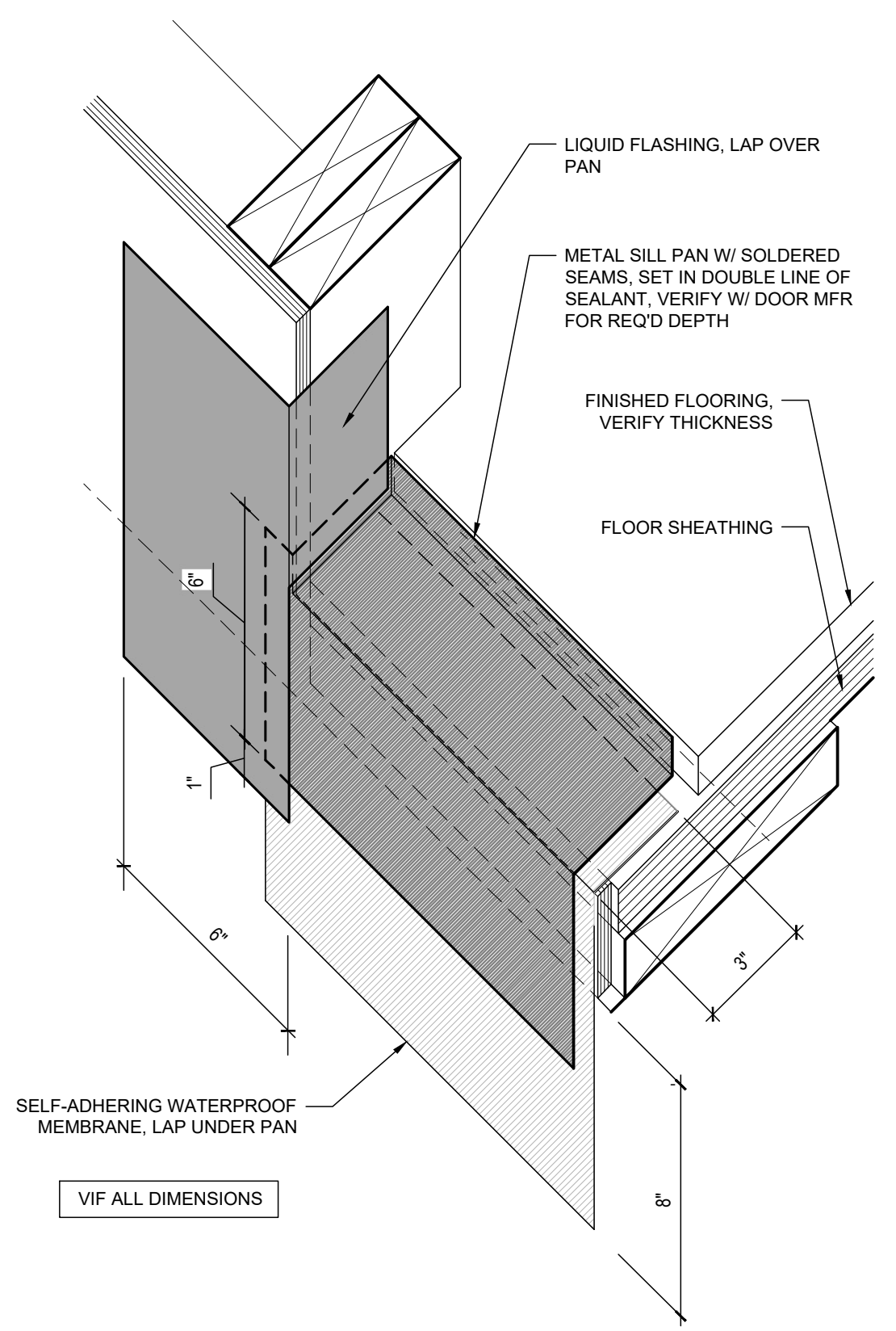
1. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.

2. MATERIAL SELECTIONS & FINISHES DENOTED DEPICT DESIGN INTENT. CONTRACTOR TO VERIFY ALL SELECTIONS AND FINISHES W/ OWNER PRIOR TO ORDERING / INSTALLING THE SAME. TYPICAL.

BIDDER DESIGN NOTES:

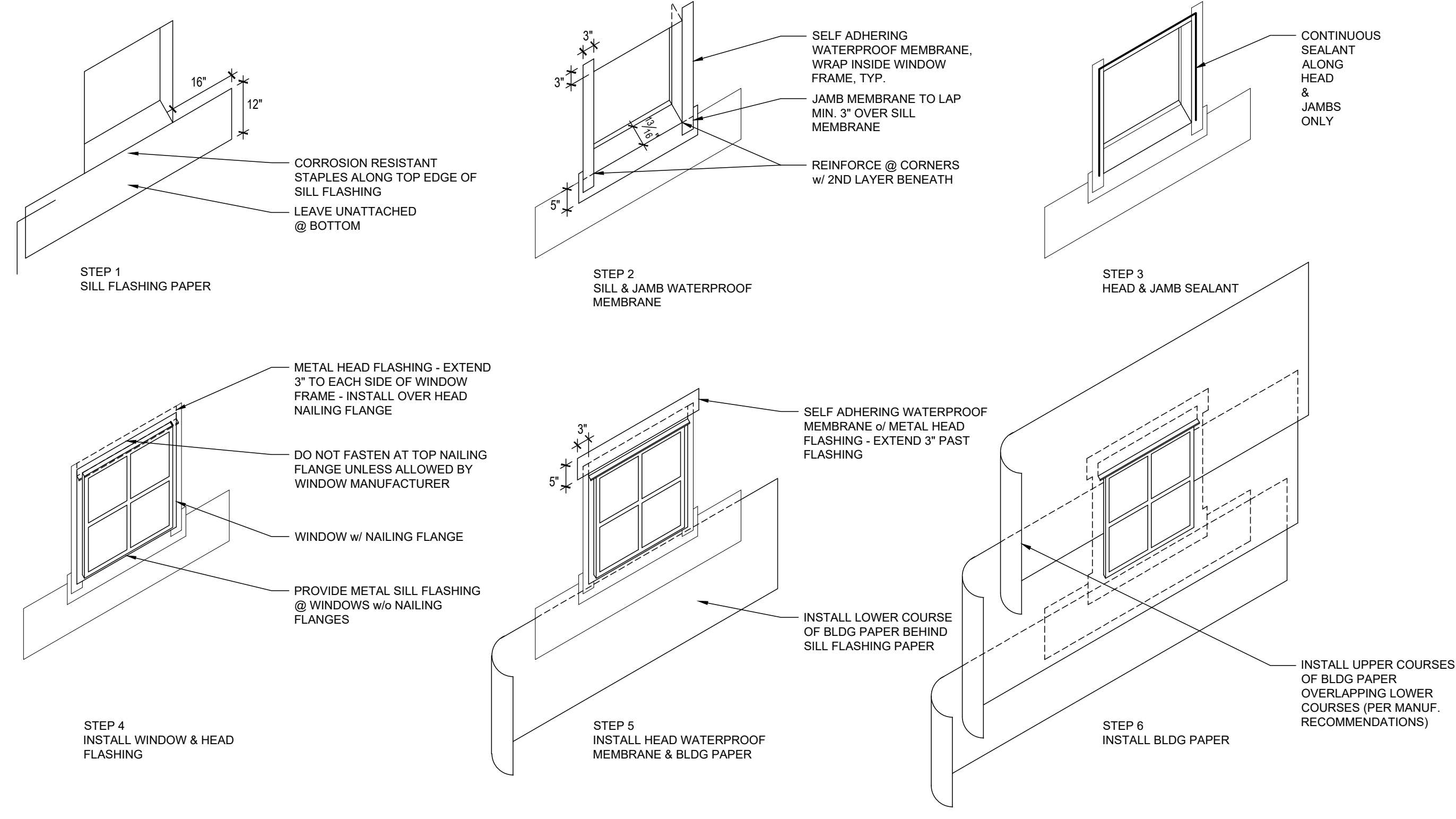
1. ALL WATERPROOFING IS SHOWN FOR DESIGN INTENT ONLY. ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS ARE BIDDER DESIGNED.

3. CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL.



1 TYPICAL DOOR FLASHING DETAIL
NTS

NO STAPLES

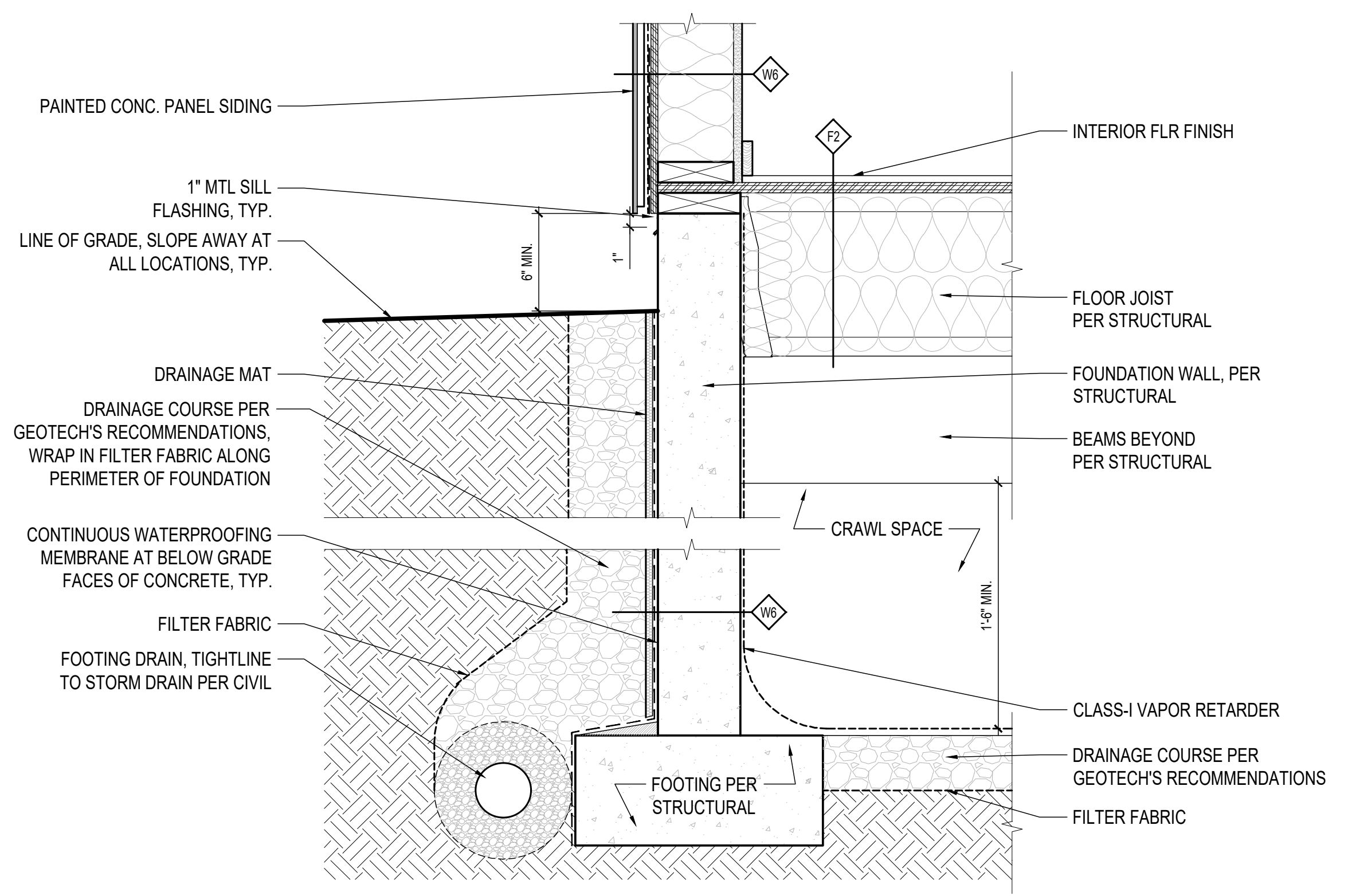


2 TYPICAL WINDOW FLASHING
NTS

PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 06/18/2024 |

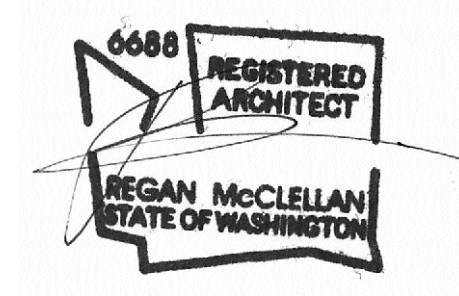


3 TYP. FOOTING DETAIL
1 1/2" = 1'-0"

DATE:
JUNE 18, 2024

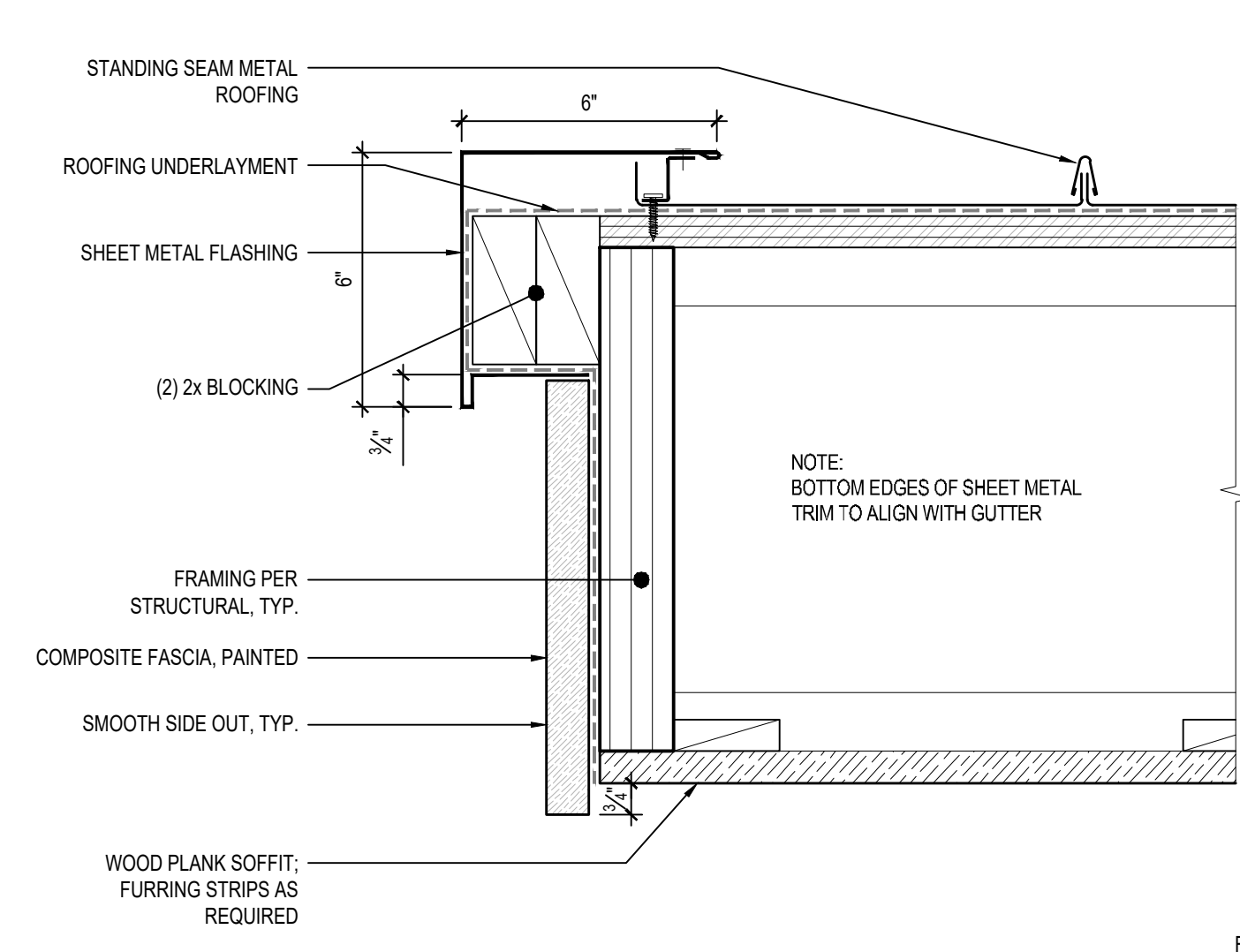
SHEET TITLE:
TYP. EXTERIOR
DETAILS

SHEET:

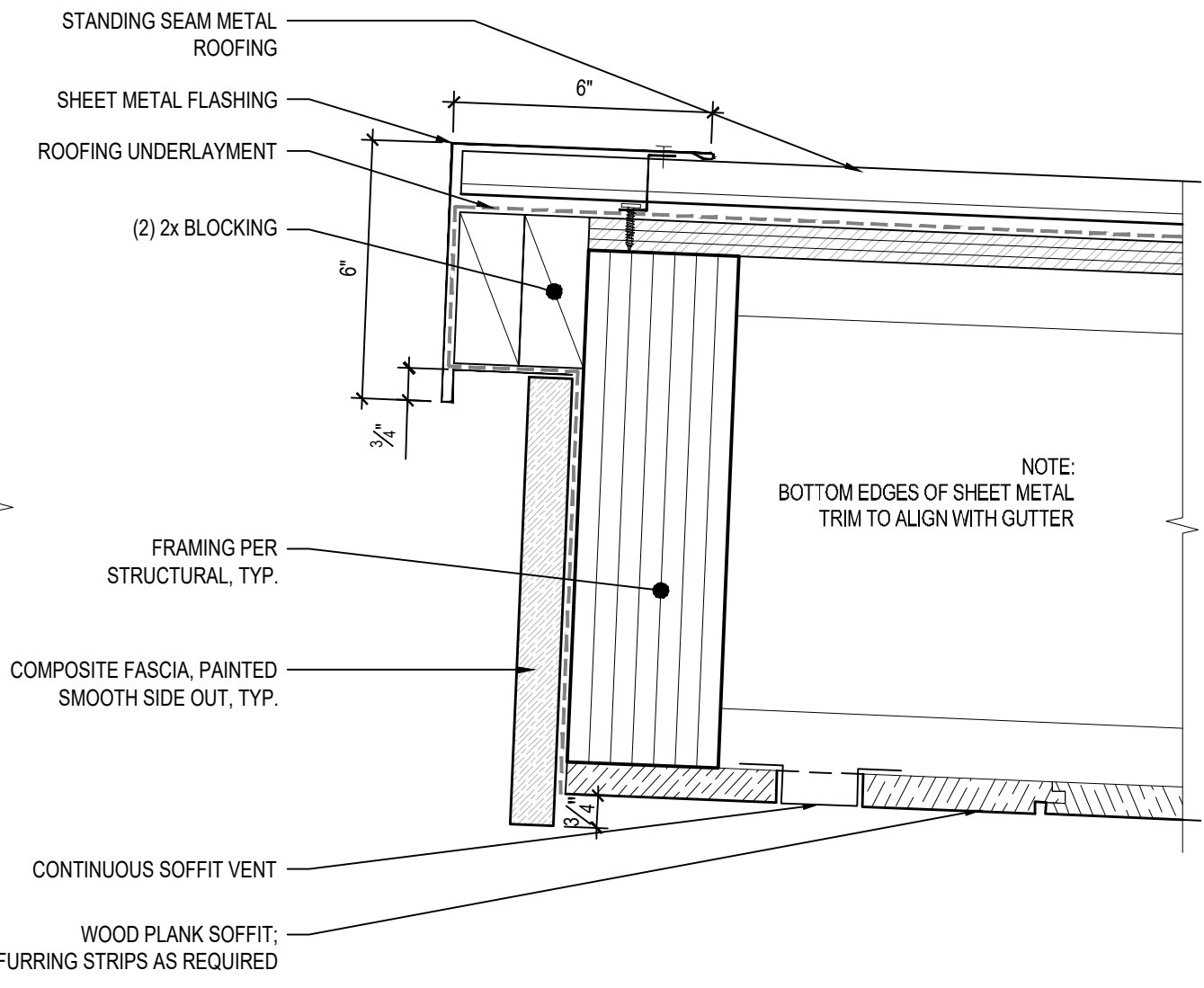


WRITTEN DIMENSIONS:
1. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK. OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.
2. MATERIAL SELECTIONS & FINISHES DENOTED DEPICT DESIGN INTENT. CONTRACTOR TO VERIFY ALL SELECTIONS AND FINISHES W/ OWNER PRIOR TO ORDERING / INSTALLING THE SAME. TYPICAL.

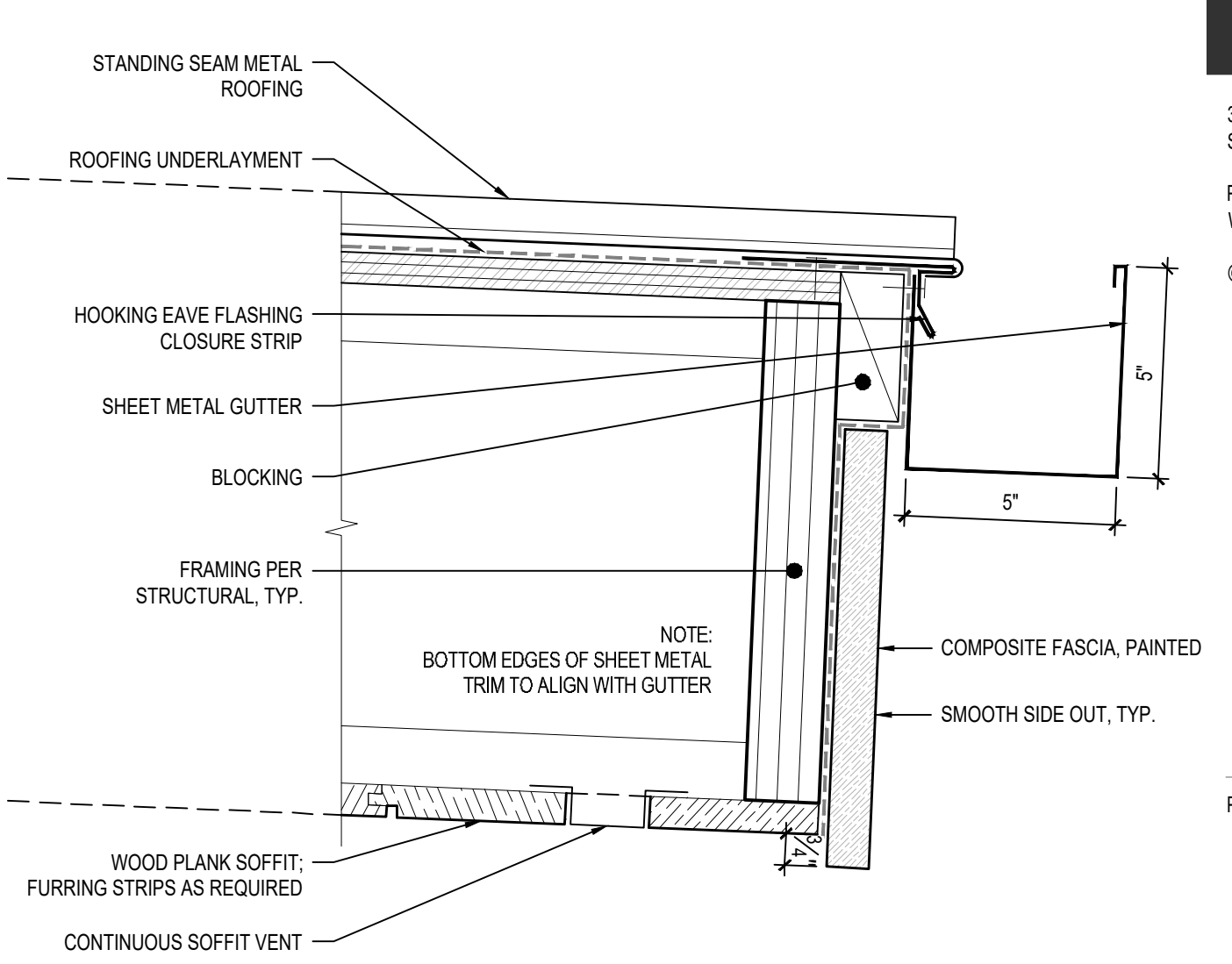
BIDDER DESIGN NOTES:
1. ALL WATERPROOFING IS SHOWN FOR DESIGN INTENT ONLY. ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS ARE BIDDER DESIGNED.
2. CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL.



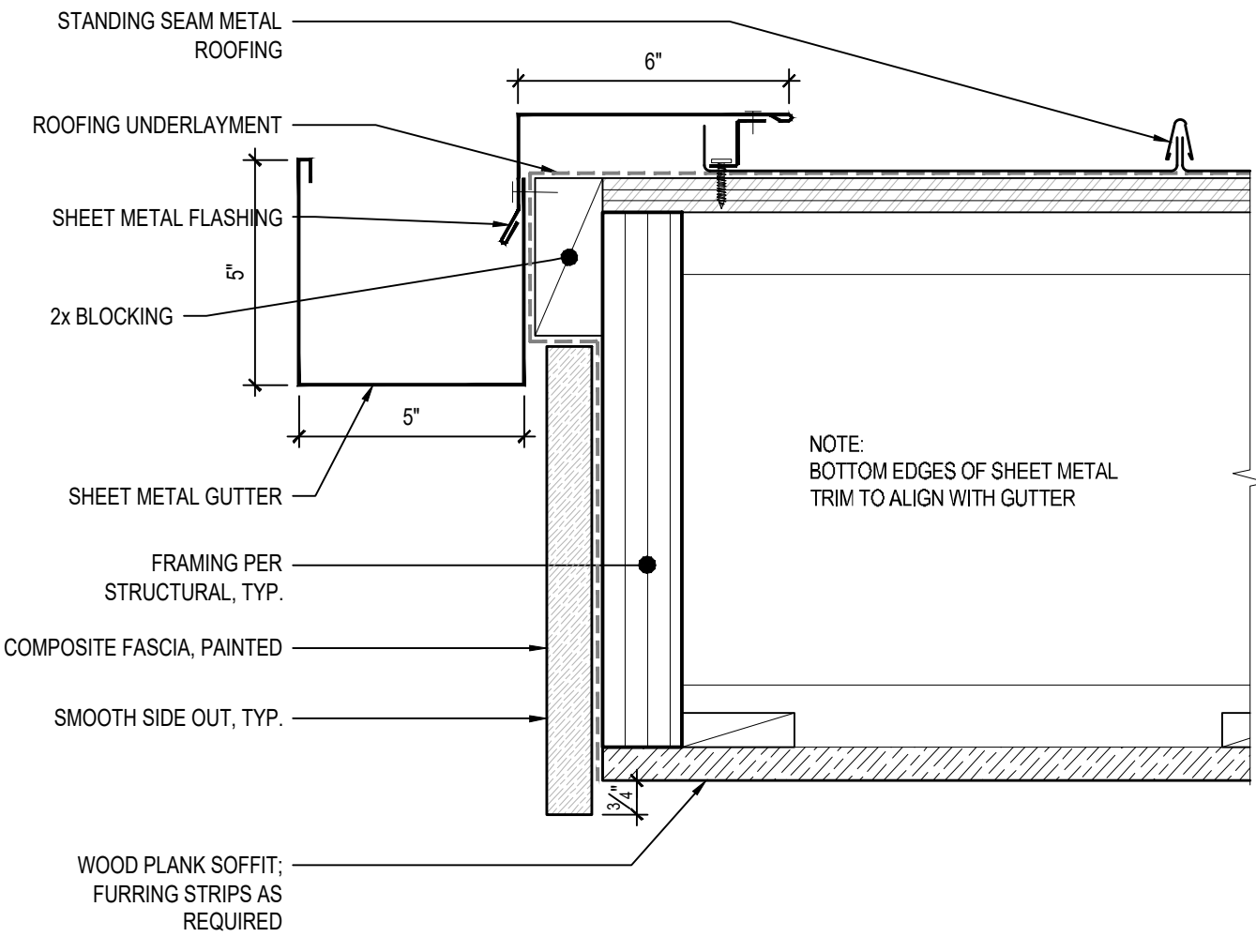
1 SHED EAVE - AT RAKE
3" = 1'-0"



2 SHED EAVE - AT HIGH POINT
3" = 1'-0"



3 SHED EAVE - AT LOW POINT
3" = 1'-0"

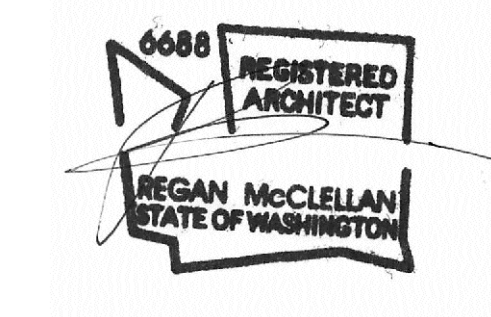


4 SHED EAVE - AT RAKE w/ GUTTER
3" = 1'-0"

PROJECT:
TEKIELA RESIDENCE
6520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| 01 | PERMIT SET | 02/12/2024 |
| | PERMIT COMMENTS | 09/18/2024 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



DATE:
JUNE 18, 2024

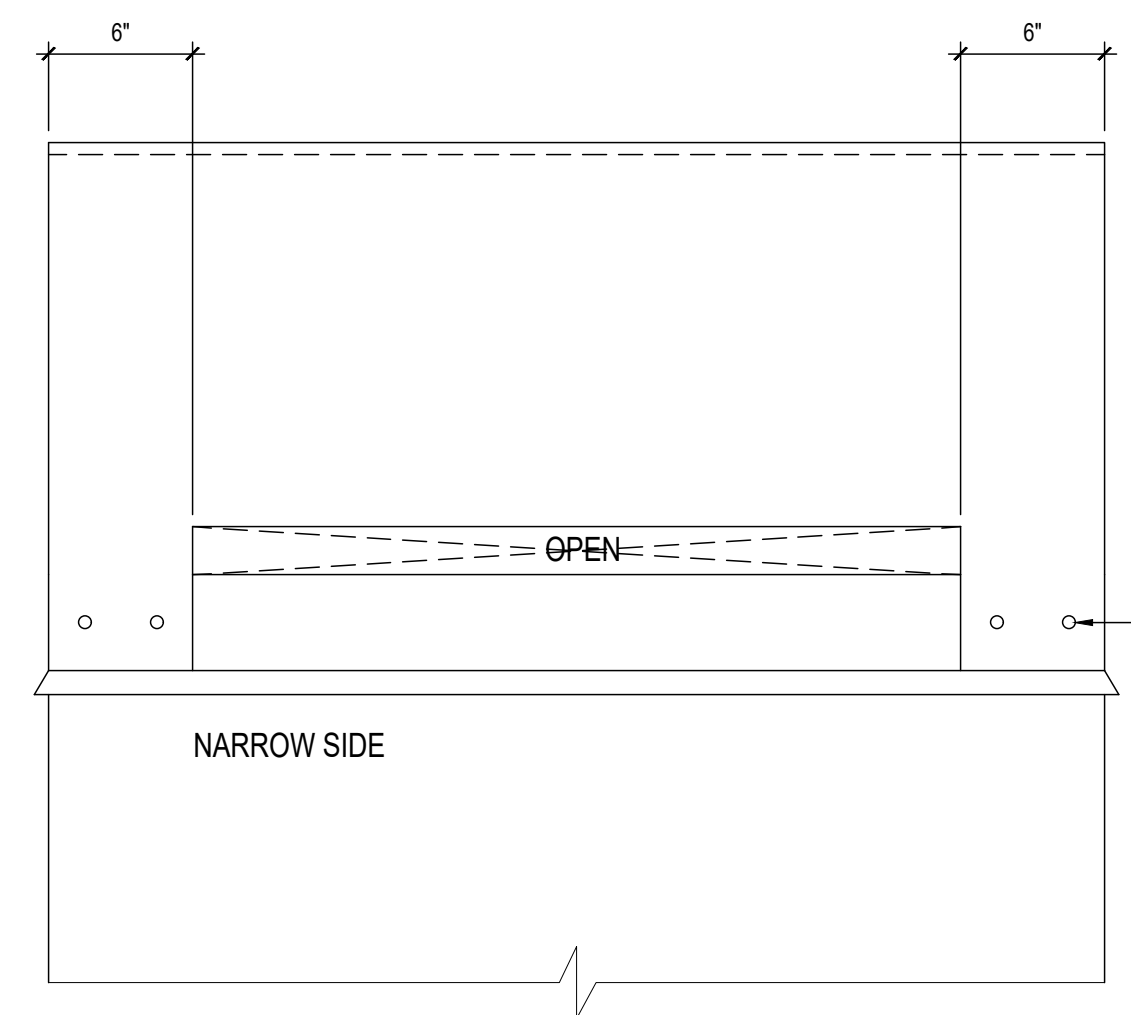
SHEET TITLE:
TYP. ROOF
DETAILS

SHEET:

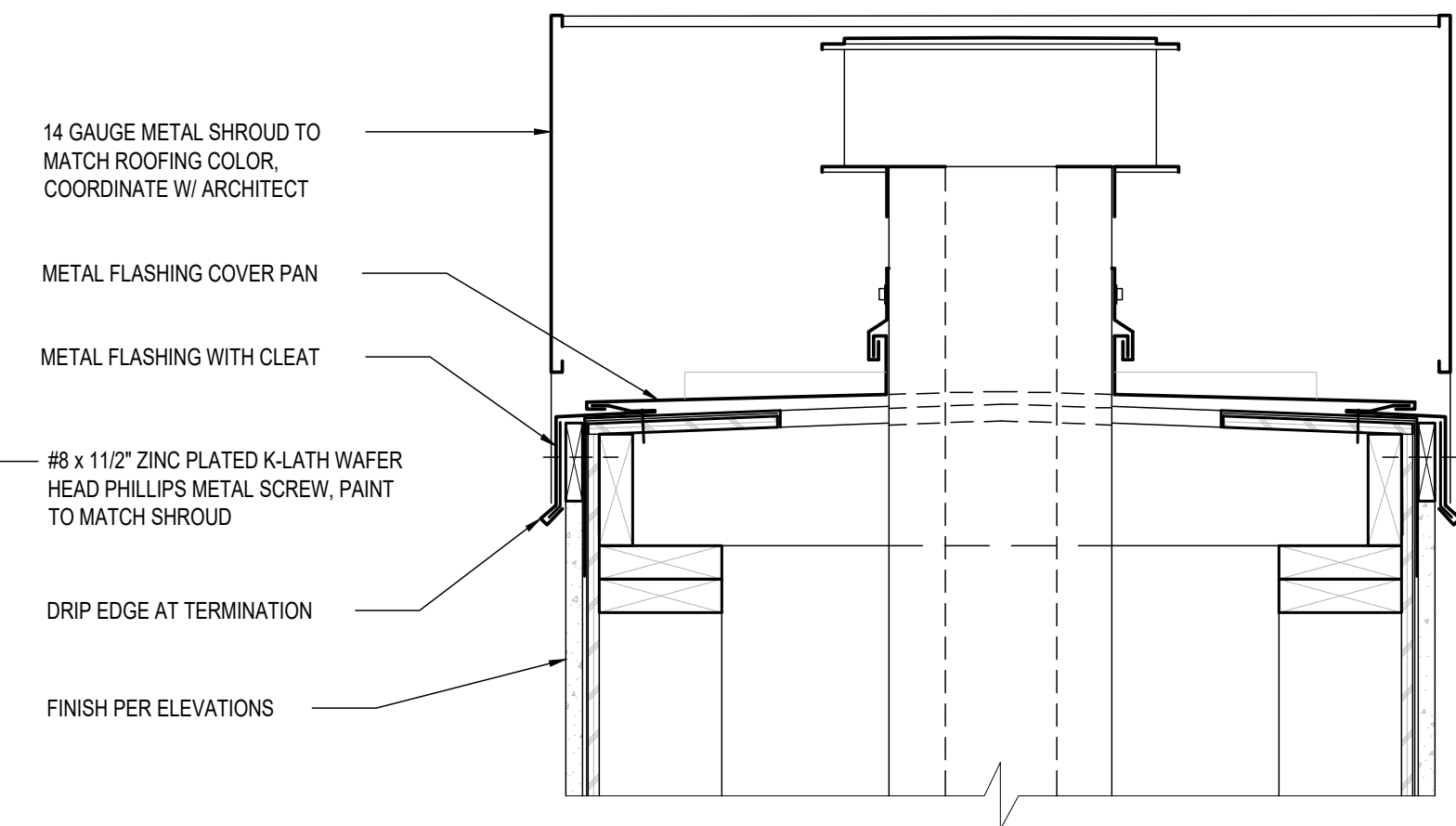
PROJECT:
TEKIELA RESIDENCE
8520 82ND AVE SE
MERCER ISLAND, WA 98040

CLIENT:
IZABELA & ROBERT TEKIELA

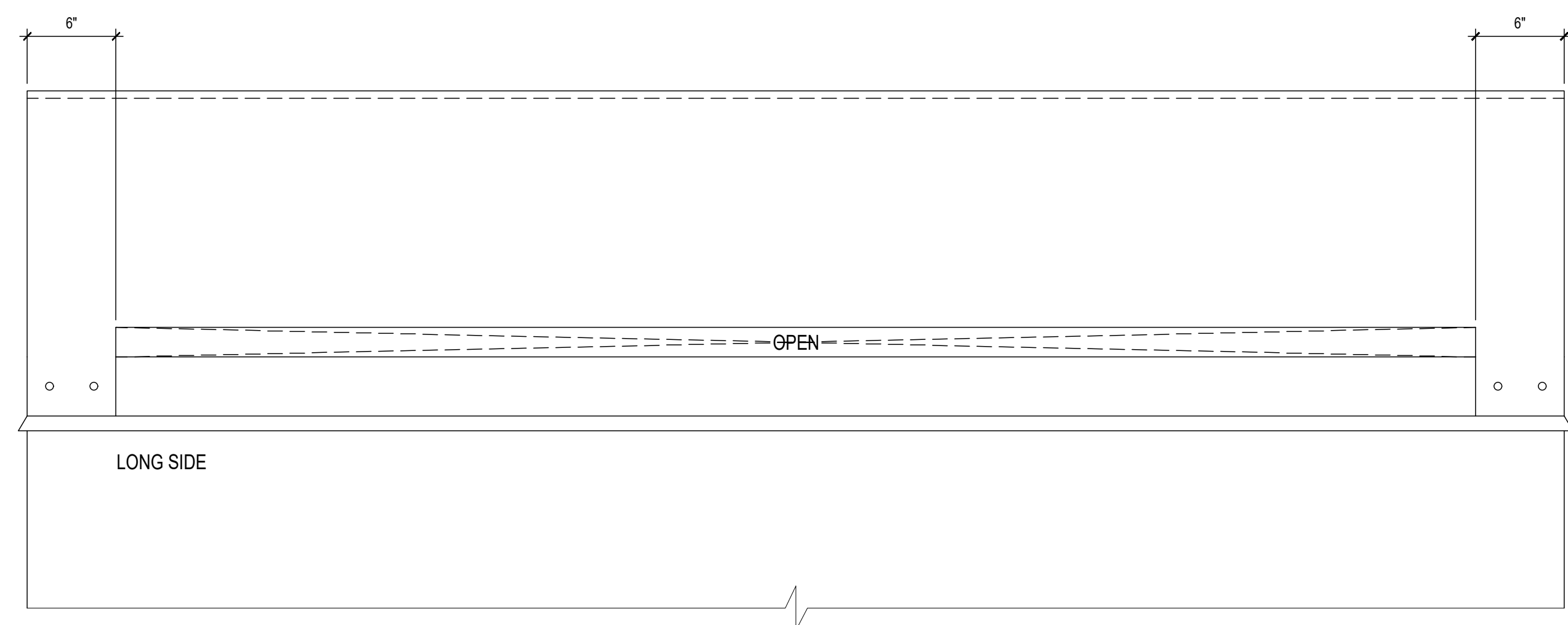
| REV | PHASE / ISSUE | DATE |
|-----|-----------------|------------|
| | PERMIT SET | 02/12/2024 |
| 01 | PERMIT COMMENTS | 06/18/2024 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



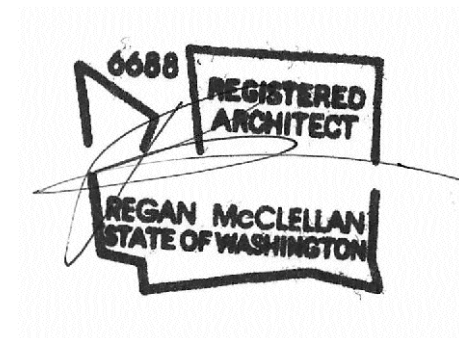
1 CHIMNEY SHROUD - SHORT ELEV.
1 1/2" = 1'-0"



2 CHIMNEY SHROUD - SECTION DETAIL
1 1/2" = 1'-0"



3 CHIMNEY SHROUD - LONG ELEV.
1 1/2" = 1'-0"



DATE:
JUNE 18, 2024

SHEET TITLE:
CHIMNEY SHROUD
DETAILS

SHEET:

GENERAL STRUCTURAL NOTES CONT

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

WOOD COIT

38. NOTCHES AND HOLES IN WOOD FRAMING:

- A. SAWN LUMBER JOISTS AND RAFTERS: NOTCHES AT THE ENDS OF JOISTS SHALL NOT EXCEED 1/4 THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED 1/6 THE JOIST DEPTH, BE LONGER THAN 1/3 THE JOIST DEPTH, OR BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN. HOLES SHALL NOT BE WITHIN 2' OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER SHALL NOT EXCEED 1/3 THE JOIST DEPTH. SPACING BETWEEN HOLES SHALL BE A MINIMUM OF (2)TIMES THE DIAMETER OF THE LARGEST HOLE OR 2' AND SHALL BE LOCATED A MINIMUM OF 2' FROM ANY NOTCH.
- B. EXTERIOR AND BEARING WALLS: WOOD STUDS ARE PERMITTED TO BE NOTCHED TO A DEPTH NOT EXCEEDING 1/4 OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH IS PERMITTED IN WOOD STUDS. HOLES SHALL NOT BE WITHIN 5/8" TO THE EDGE OF THE STUD. SPACING BETWEEN HOLES SHALL BE A MINIMUM OF (2)TIMES THE DIAMETER OF THE LARGEST HOLE OR 2' AND SHALL NOT BE LOCATED AT THE SAME SECTION AS A NOTCH.
- C. CUTS, NOTCHES, AND HOLES IN MANUFACTURED LUMBER, PREFABRICATED PLYWOOD WEB JOISTS, AND PREFABRICATED TRUSSES ARE PROHIBITED EXCEPT WHERE NOTED ON STRUCTURAL PLANS OR PERMITTED BY MANUFACTURER'S RECOMMENDATIONS.

39. ELECTRICAL, MECHANICAL, PLUMBING, AND DRAINAGE SYSTEMS SHALL BE DESIGNED TO ACCOMMODATE THE DIFFERENTIAL SHRINKAGE OR MOVEMENT OF THE WOOD STRUCTURE (3/8" PER FLOOR).

40. DEFLECTION OF CANTILEVERS SHALL BE CLOSELY MONITORED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR TO VERIFY AND ENSURE ALL POST CAPS AND POST BEARING CONDITIONS ARE INSTALLED IN STRICT CONFORMANCE TO THE STRUCTURAL PLANS. CANTILEVERS IN WOOD FRAMING CAN DEFLECT UP TO 1/8" PER FOOT (I.E. 4' CANTILEVER MAY DEFLECT 1/2"). IF DEFLECTION EXCEEDS 1/8" PER FOOT NOTIFY STRUCTURAL ENGINEER IMMEDIATELY. BEFORE FINISHES ARE INSTALLED, FLOORS AT OR ABOVE CANTILEVERS MAY REQUIRE LEVELING COMPOUND AND SOFFITS FURRED TO MAKE THEM LEVEL.

STEEL

41. WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, Fy = 50 KSI. HP SHAPES SHALL CONFORM TO ASTM A572 GRADE 50, Fy = 50 KSI. OTHER ROLLED SHAPES INCLUDING PLATES, SHALL CONFORM TO ASTM A36, Fy = 36 KSI. STRUCTURAL PIPE SHALL CONFORM TO ASTM A53 GRADE B, Fy = 35 KSI. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO ASTM A500, GRADE C, Fy = 50 KSI (SQUARE AND RECTANGULAR), Fy = 46 KSI (ROUND). CONNECTION BOLTS SHALL CONFORM TO ASTM F3125 GRADE A325, UNO.

42. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.

43. ALL A325 CONNECTION BOLTS NEED ONLY BE TIGHTENED TO A SNUG TIGHT CONDITION, DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A PERSON USING AN ORDINARY SPUD WRENCH.

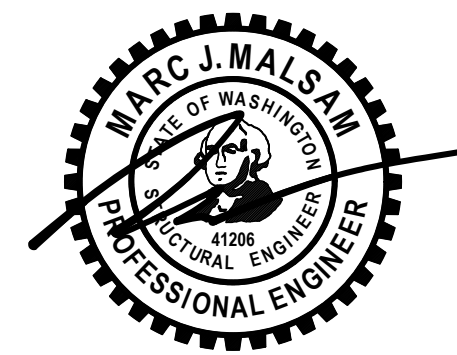
44. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES(F) AND 40 FT-LBS AT 70 DEGREES(F). AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.

MASONRY

45. ADHERED MASONRY VENEER, 2-5/8" MAXIMUM THICKNESS AND 15 PSF MAXIMUM UNIT WEIGHT, SHALL BE ADHERED TO BACKING WALLS PER SECTION 1404.10 OF THE IBC. ADHERED MASONRY SHALL BE ABLE TO DEVELOP A SHEAR STRENGTH OF 50 PSI MINIMUM BETWEEN THE BACKING AND THE UNIT IN ACCORDANCE WITH ASTM C482 OR SHALL BE ADHERED PER ARTICLE 3.3C OF TMS 602-16.

ABBREVIATIONS

| | | | | | |
|--------|---------------|-------|--------------------------------|--------|-------------------------|
| ± | PLUS OR MINUS | GL | GLUE LAMINATED | OSB | ORIENTED STRAND BOARD |
| ∅ | DIAMETER | | TIMBER | | BOARD |
| AB | ANCHOR BOLT | GR | GRADE | PLF | POUNDS PER LINEAR FOOT |
| ADDL | ADDITIONAL | GT | GIRDER TRUSS | | |
| ALT | ALTERNATE | GWB | GYPSUM WALLBOARD | PLY | PLYWOOD |
| APPROX | APPROXIMATE | HD | HOLDOWN | PREFAB | PREFABRICATED |
| ARCH | ARCHITECT. | HDR | HEADER | PSF | POUNDS PER SQUARE FOOT |
| | ARCHITECTURAL | HF | HEM FIR | | |
| BLKG | BLOCKING | HGR | HANGER | PSI | POUNDS PER SQUARE INCH |
| BM | BEAM | HM | HIP MASTER | | |
| BOE | BOTTOM OF | HORIZ | HORIZONTAL | PSL | PARALLEL STRAND LUMBER |
| | EXCAVATION | HT | HEIGHT | | |
| BOT | BOTTOM | IBC | INTERNATIONAL BUILDING CODE | PT | PRESSURE TREATED LUMBER |
| CL | CENTERLINE | | | | |
| CLR | CLEARANCE | INT | INTERIOR | REINF | REINFORCING |
| CONT | CONTINUOUS | IRC | INTERNATIONAL RESIDENTIAL CODE | REQD | REQUIRED |
| DBL | DOUBLE | | | SOG | SLAB ON GRADE |
| DF | DOUGLAS FIR | JST | JOIST | SQ | SQUARE |
| DP | DEEP, DEPTH | K | KIPS (1000 LBS) | STD | STANDARD |
| DN | DOWN | KP | KING POST | SW | SHEARWALL |
| DS | DRAG STRUT | L | LENGTH | T&G | TONGUE AND GROOVE |
| DWGS | DRAWINGS | LBS | POUNDS | THR | THREADED |
| (E) | EXISTING | LONG | LONGITUDINAL | TPL | TRIPLE |
| EA | EACH | LSL | LAMINATED STRUCTURAL LUMBER | TRANSV | TRANSVERSE |
| EMBED | EMBEDMENT | | | TYP | TYPICAL |
| EQ | EQUAL | LVL | LAMINATED VENEER LUMBER | UNO | UNLESS NOTED OTHERWISE |
| EQUIV | EQUIVALENT | | | | |
| EW | EACH WAY | MAX | MAXIMUM | VERT | VERTICAL |
| EXP | EXPANSION | MB | MACHINE BOLT | W | WIDE OR WIDTH |
| EXT | EXTERIOR | MFR | MANUFACTURER | w/ | WITH |
| FDN | FOUNDATION | MIN | MINIMUM | w/o | WITHOUT |
| FRMG | FRAMING | MISC | MISCELLANEOUS | WHS | WELDED HEADED STUD |
| FT | FEET | NO | NUMBER | | |
| FTG | FOOTING | NTS | NOT TO SCALE | WTS | WELDED THREADED STUD |
| GA | GUAGE | oc | ON CENTER | | |
| GALV | GALVANIZED | OPP | OPPOSITE | WWM | WELDED WIRE MESH |



PROJECT NO 0463.2023.05.01
PROJECT MANAGER WAC
DRAWN JSD
ENGINEER BLAKE RASSILYER
206.602.5452
BLAKER@MALSAM-TSANG.COM

| REV | DESCRIPTION | DATE |
|-----|----------------|---------|
| | PERMIT SET | 1.30.24 |
| ▲ | PLAN REVISIONS | 5.31.24 |

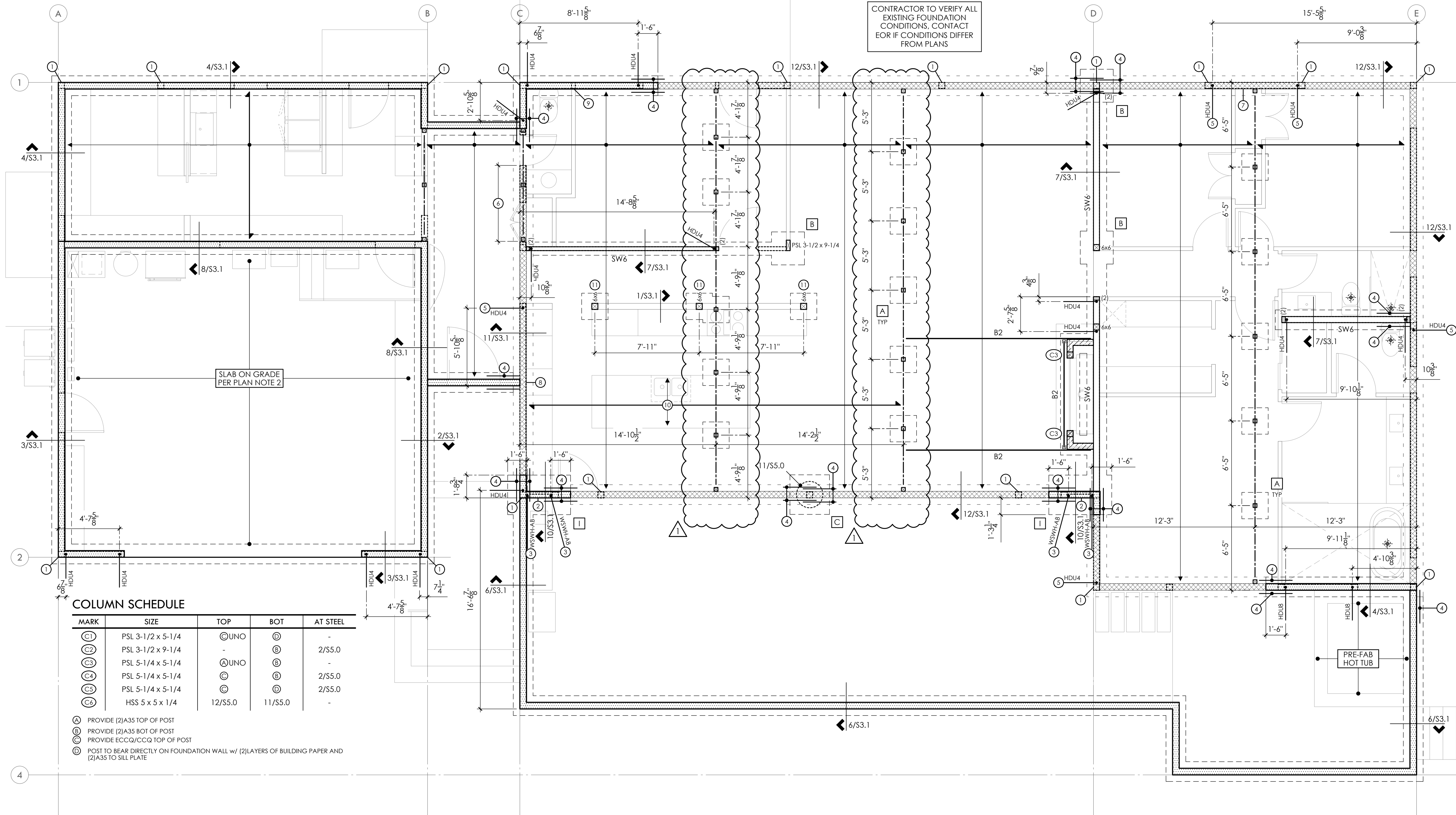
ARCH McCLELLAN ARCHITECTS
206.728.0480
CLIENT IZABELA & ROBERT TEKIELA

GENERAL STRUCTURAL NOTES CONT

S1.1

SCALE - NTS

CONTRACTOR TO VERIFY ALL
EXISTING FOUNDATION
CONDITIONS. CONTACT
EOR IF CONDITIONS DIFFER
FROM PLANS



COLUMN SCHEDULE

| MARK | SIZE | TOP | BOT | AT STEEL |
|------|-------------------|---------|---------|----------|
| (C) | PSL 3-1/2 x 5-1/4 | (C) UNO | (D) | - |
| (C) | PSL 3-1/2 x 9-1/4 | - | (D) | 2/S5.0 |
| (C) | PSL 5-1/4 x 5-1/4 | (A) UNO | (B) | - |
| (C) | PSL 5-1/4 x 5-1/4 | (C) | (D) | 2/S5.0 |
| (C) | PSL 5-1/4 x 5-1/4 | (C) | (D) | 2/S5.0 |
| (C) | HSS 5 x 5 x 1/4 | 12/S5.0 | 11/S5.0 | - |

- (A) PROVIDE (2)A35 TOP OF POST
- (B) PROVIDE (2)A35 BOT OF POST
- (C) PROVIDE ECCQ/CCQ TOP OF POST
- (D) POST TO BEAR DIRECTLY ON FOUNDATION WALL w/ (2)LAYERS OF BUILDING PAPER AND (2)A35 TO SILL PLATE

- PLAN NOTES**
- BOTTOM OF ALL FOOTINGS SHALL BE 18" MINIMUM BELOW LOWEST ADJACENT GRADE, UNO.
 - SLAB ON GRADE SHALL BE 4" MINIMUM THICKNESS. REINFORCE WITH 6x6 W1.4 x W1.4 WWM CENTERED IN SLAB. PROVIDE RIGID INSULATION AT INTERIOR SPACES AND VAPOR BARRIER BELOW SLAB PER ARCHITECTURAL DRAWINGS OVER 4" MINIMUM FREE DRAINING GRAVEL OVER FIRM NATIVE SOILS OR STRUCTURAL FILL PER SOILS ENGINEER.
 - REFER TO SHEET S3.0 FOR TYPICAL FOUNDATION AND CONCRETE DETAILS.
 - FLOOR FRAMING CONSISTS OF FLOORING PER ARCH OVER 1-1/2" GYPCRETE TOPPING (15 PSF MAX) OVER 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 11-7/8" TJI 210'S AT 16"oc, UNO. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH.
 - GLUE AND NAIL FLOOR SHEATHING w/ 8d AT 6"oc AT FRAMED PANEL EDGES AND AT 12"oc IN THE FIELD, UNO.
 - "SW_" INDICATES SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE ON 4/S4.0 FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS ARE SW6, UNO.
 - ALL HEADERS SHALL BE 4x10, UNO. PROVIDE PT 4x6 POST AT SPLICES, PT 4x4 POSTS ELSEWHERE, UNO. REFER TO DETAIL 6/S3.1 FOR ADDITIONAL REQUIREMENTS.
 - STHD HOLDDOWNS ARE DIMENSIONED TO THE CENTERLINE OF STRAP. HDU HOLDDOWNS ARE DIMENSIONED TO THE CENTERLINE OF ANCHOR BOLT. DIMENSIONS ARE BASED OFF OF DRAWINGS PROVIDED BY THE ARCHITECT AND SHOULD BE VERIFIED.
 - REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
 - DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

- LEGEND**
- (Solid line) CONCRETE WALL BELOW
 - (Dashed line) (E) CONCRETE WALL BELOW
 - (Dotted line) STRUCTURAL WALL ABOVE
 - (Hatched) WALL FRAMED w/ CONT LVL 1-3/4 x 5-1/2 LVL STUDS AT 16"oc FROM FDN TO TOP OF CHIMNEY
 - (Double line) SPAN AND EXTENTS
 - (Dash-dot line) HEADER/BEAM BELOW FRAMING - TYP
 - (X) NUMBER OF BUILT UP STUDS
 - (Circle with cross) PLUMBING PENETRATION ABOVE

- FOOTNOTES**
- POST ABOVE TO BEAR DIRECTLY ON FOUNDATION WALL w/ (2) LAYERS OF BUILDING PAPER AND (2) A35 TO BOTTOM PLATE
 - PROVIDE ADDITIONAL STEMWALL REINFORCEMENT AT WSWH PER MANUFACTURER'S REQUIREMENTS
 - LOCATE ANCHOR BOLT FOR WSWH ABOVE USING WSWH-RT ANCHOR BOLT TEMPLATE - PROVIDE WSWH-HSR EXTENSION KIT AS REQUIRED TO EXTEND TO FOOTING BELOW w/ 12" EMBEDMENT
 - PROVIDE #4 x 30" DOWELS TO MATCH STEMWALL HORIZ REINF AND FOOTING REINF - EPOXY EMBED 4" INTO EXISTING STEMWALL AND FOOTING
 - EPOXY EMBED 5/8"Ø ALL-THREAD 12" MINIMUM INTO EXISTING STEM WALL w/ SIMPSON SET-3G - SPECIAL INSPECTION IS REQUIRED
 - CUT EXISTING STEMWALL FOR CRAWLSPACE ACCESS
 - PROVIDE 5/8"Ø x 8" TITEN HD SCREWS AT 48"oc THRU BASE PLATE INTO (E)STEMWALL
 - PROVIDE 5/8"Ø x 8" TITEN HD SCREWS AT 42"oc THRU BASE PLATE INTO (E)STEMWALL
 - PROVIDE 5/8"Ø x 8" TITEN HD SCREWS AT 36"oc THRU BASE PLATE INTO (E)STEMWALL
 - PROVIDE DOUBLE JOISTS BELOW KITCHEN ISLAND
 - ALIGN FOOTING UNDER CONTINUOUS POST WITHIN PARTIAL HEIGHT WALL PER ARCH

FOUNDATION PLAN
MAIN LEVEL WALLS SHOWN DASHED

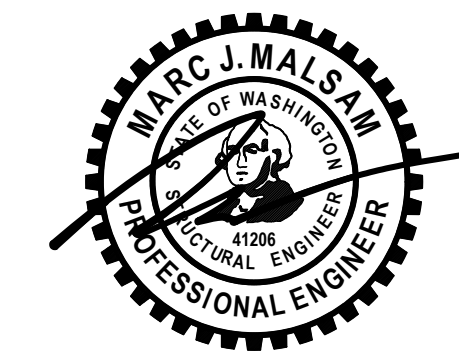
FLUSH BEAM SCHEDULE

| MARK | SIZE | BRG STUDS | HANGER |
|------|--------------------|-----------|-------------|
| B1 | LSL 1-3/4 x 11-7/8 | 2 | HU1.81/10 |
| B2 | LSL 3-1/2 x 11-7/8 | 2 | HHUS410 |
| B3 | PSL 5-1/4 x 11-7/8 | 3 | HGU55.50/10 |
| B4 | PSL 7 x 11-7/8 | 4 | HGU57.25/10 |

(1) PROVIDE HUC10 WHERE REQUIRED - UNO

FOOTING SCHEDULE

| MARK | SIZE | REINFORCING |
|------|-----------------------|---------------------------|
| (A) | 2'-0" SQ x 8" DP | (3) #4 EW BOT |
| (B) | 2'-6" SQ x 12" DP | (4) #4 EW BOT |
| (C) | 3'-0" SQ x 12" DP | (4) #4 EW BOT |
| (I) | CONT'3'-0" W x 20" DP | #4 AT 6"oc EW TOP AND BOT |



PROJECT NO 0463.2023.05.01
PROJECT MANAGER WAC
DRAWN JSD
ENGINEER BLAKE RASSILVER 206.602.5452
BLAKER@MALSAM-TSANG.COM

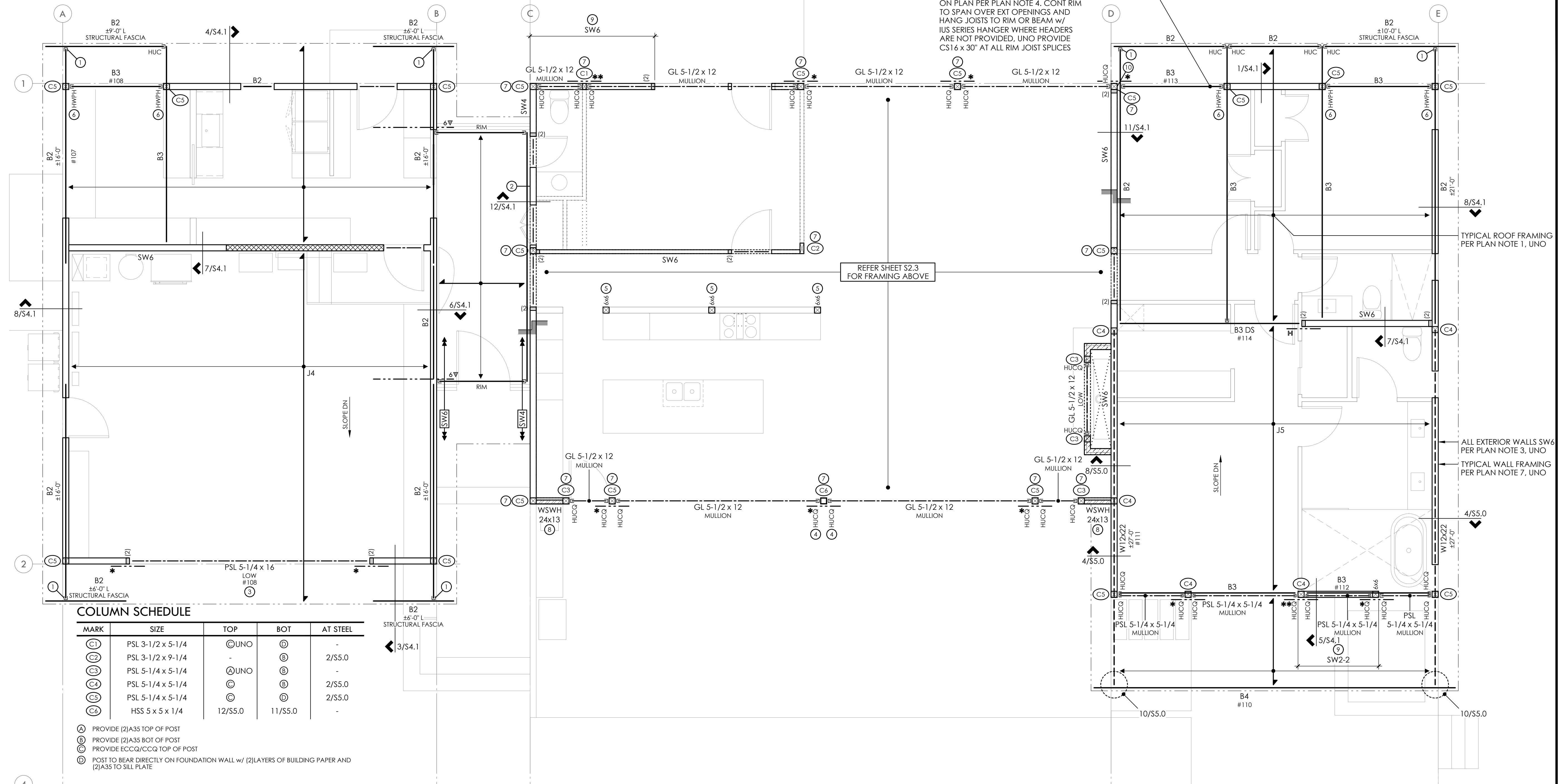
| REV | DESCRIPTION | DATE |
|-----|----------------|---------|
| | PERMIT SET | 1.30.24 |
| (A) | PLAN REVISIONS | 5.31.24 |

ARCH McCLELLAN ARCHITECTS 206.728.0480
CLIENT IZABELA & ROBERT TEKIELA

FOUNDATION PLAN

S2.1
SCALE - 1/4" = 1'-0"

ALL REQUIRED HEADERS ARE SHOWN ON PLAN PER PLAN NOTE 4. CONT RIM TO SPAN OVER EXT OPENINGS AND HANG JOISTS TO RIM OR BEAM w/ IUS SERIES HANGER WHERE HEADERS ARE NOT PROVIDED. UNO PROVIDE CS16 x 30" AT ALL RIM JOIST SPLICES



PLAN NOTES

- TYPICAL ROOF FRAMING CONSISTS OF 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 14" TJI 210's AT 16"oc. UNO. PROVIDE H8 EACH END OF ALL RAFTERS, H8 EACH SIDE OF ALL MULTIPLE RAFTERS. UNO.
- NAIL ROOF SHEATHING w/ 8d AT 6" oc AT FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12"oc IN FIELD. UNO.
- "SW_" INDICATES SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE ON 4/S4.0 FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS ARE SW6. UNO.
- ALL REQUIRED HEADERS ARE SHOWN ON PLAN AND SHALL BE (2)2x8. UNO. REFER TO DETAIL 8/S4.0 FOR ADDITIONAL REQUIREMENTS.
- PROVIDE (2)BEARING (TRIMMER) STUDS AT EACH END OF ALL HEADERS AND BEAMS 6'-0" IN LENGTH AND OVER. UNO.
- WHERE POSTS OCCUR. PROVIDE SOLID VERTICAL GRAIN BLOCKING THRU FLOOR TO MATCHING SUPPORTS BELOW. UNO.
- TYPICAL WALL FRAMING CONSISTS OF 2x6's AT 16"oc AT EXTERIOR WALLS AND 2x4's or 2x6's AT 16"oc AT INTERIOR WALLS PER ARCH DRAWINGS. UNO.
- REFER TO SHEET S4.0 FOR TYPICAL WOOD FRAMING DETAILS.
- REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
- DO NOT SCALE DRAWINGS. REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- STRUCTURAL WALL BELOW
- STRUCTURAL WALL ABOVE
- WALL FRAMED w/ CONT LVL 1-3/4 x 5-1/2 LVL STUDS AT 16"oc FROM FDN TO TOP OF CHIMNEY
- WALL FRAMED w/ CONT LVL 3-1/2 x 5-1/2 LVL STUDS AT 16"oc w/ A35 TOP AND BOT FOR FUTURE CHAIR LIFT
- SPAN AND EXTENTS
- HEADER/BEAM BELOW FRAMING - TYP
- DIRECTION OF SLOPE
- (x) NUMBER OF BUILT UP STUDS
- HORIZ CS16 x 3'-0" - BEAM TO BEAM TOP PLATE TO TOP PLATE
- (2)HORIZ CS16 x 3'-0" - BEAM TO BEAM
- HTS30C - BEAM TO TOP PLATE
- HORIZ CS16 x X'-0" OVER ROOF SHEATHING - LAP RIM/BEAM 1'-6" AND NAIL REMAINING LENGTH TO SNUG FIT FLAT 2x6 BLOCKING BETWEEN JOISTS
- DRAG STRUT - NAIL THRU SHEATHING w/ 8d AT 4"oc INTO ENTIRE LENGTH OF MEMBER

FOOTNOTES

- INSTALL HANGER PER PLAN UPSIDE DOWN
- 1-3/4" LSL LEDGER w/ 0.22"Ø x 5" SDWS TIMBER SCREWS AT 16"oc INTO STUDS
- NO TOP PLATES OVER HEADER
- WELD HANGER PER PLAN TO STEEL COLUMN PER SIMPSON STRONG TIE REQUIREMENTS
- POST CONTINUOUS FROM FOUNDATION TO TOP OF WALL REFER DETAIL 1/S3.1
- SLOPE TOP FLANGE HANGER AS REQUIRED
- FULL HEIGHT POST FROM FOUNDATION TO ROOF
- FULL HEIGHT SIMPSON STRONG WALL REFER TO SHEET S2.1 AND S2.3 FOR MORE INFORMATION
- SHEATHE AND NAIL WALL PER PLAN UP TO MULLION BEAM BELOW TRANSOM WINDOW
- LEDGER BEAM SHALL SISTER TO FULL HEIGHT POST w/ (6)0.22"Ø x 6" SDWS TIMBER SCREWS - PROVIDE (2)ROWS OF (3)SCREWS OF EQUAL SPACE AND 1-1/2" CLR EDGE DISTANCE TYP

LOWER ROOF FRAMING PLAN

CLERESTORY WALLS SHOWN DASHED
MAIN LEVEL WALLS SHOWN SOLID

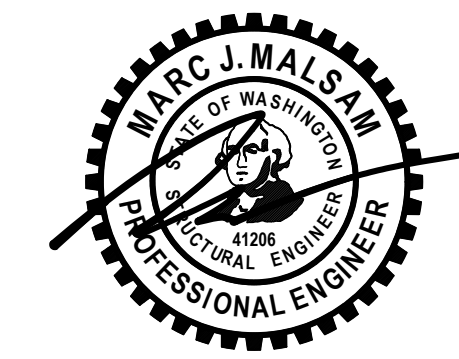
FLUSH BEAM SCHEDULE

| MARK | SIZE | BRG STUDS | HANGER |
|------|----------------|-----------|-------------|
| B1 | LSL 1-3/4 x 14 | 2 | HUS1.81/10 |
| B2 | LSL 3-1/2 x 14 | 2 | HHUS410Ⓒ |
| B3 | PSL 5-1/4 x 14 | 3 | HGUS5.50/12 |
| B4 | PSL 7 x 14 | 4 | HGUS7.25/12 |

Ⓒ PROVIDE HUC10 WHERE REQUIRED - UNO

JOIST SCHEDULE

| MARK | SIZE | SPACING | HANGER |
|------|-------------|---------|------------|
| J1 | 14" TJI 110 | 16"oc | IUS1.81/14 |
| J2 | 14" TJI 210 | 16"oc | IUS2.06/14 |
| J3 | 14" TJI 230 | 16"oc | IUS2.37/14 |
| J4 | 14" TJI 360 | 16"oc | IUS2.37/14 |
| J5 | 14" TJI 560 | 16"oc | IUS3.56/14 |

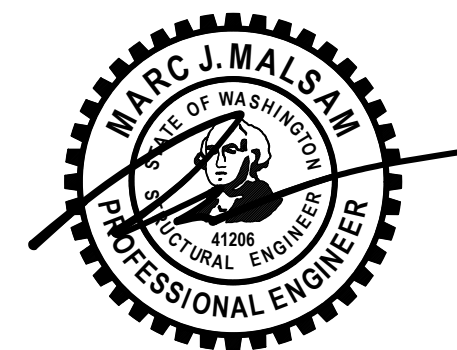


PROJECT NO 0463.2023.05.01
PROJECT MANAGER WAC
DRAWN JSD
ENGINEER BLAKE RASSILIER 206.602.5452
BLAKER@MALSAM-TSANG.COM

| REV | DESCRIPTION | DATE |
|-----|----------------|---------|
| | PERMIT SET | 1.30.24 |
| Δ | PLAN REVISIONS | 5.31.24 |

ARCH McCLELLAN ARCHITECTS 206.728.0480
CLIENT IZABELA & ROBERT TEKIELA

LOWER ROOF IN THIS SPACE



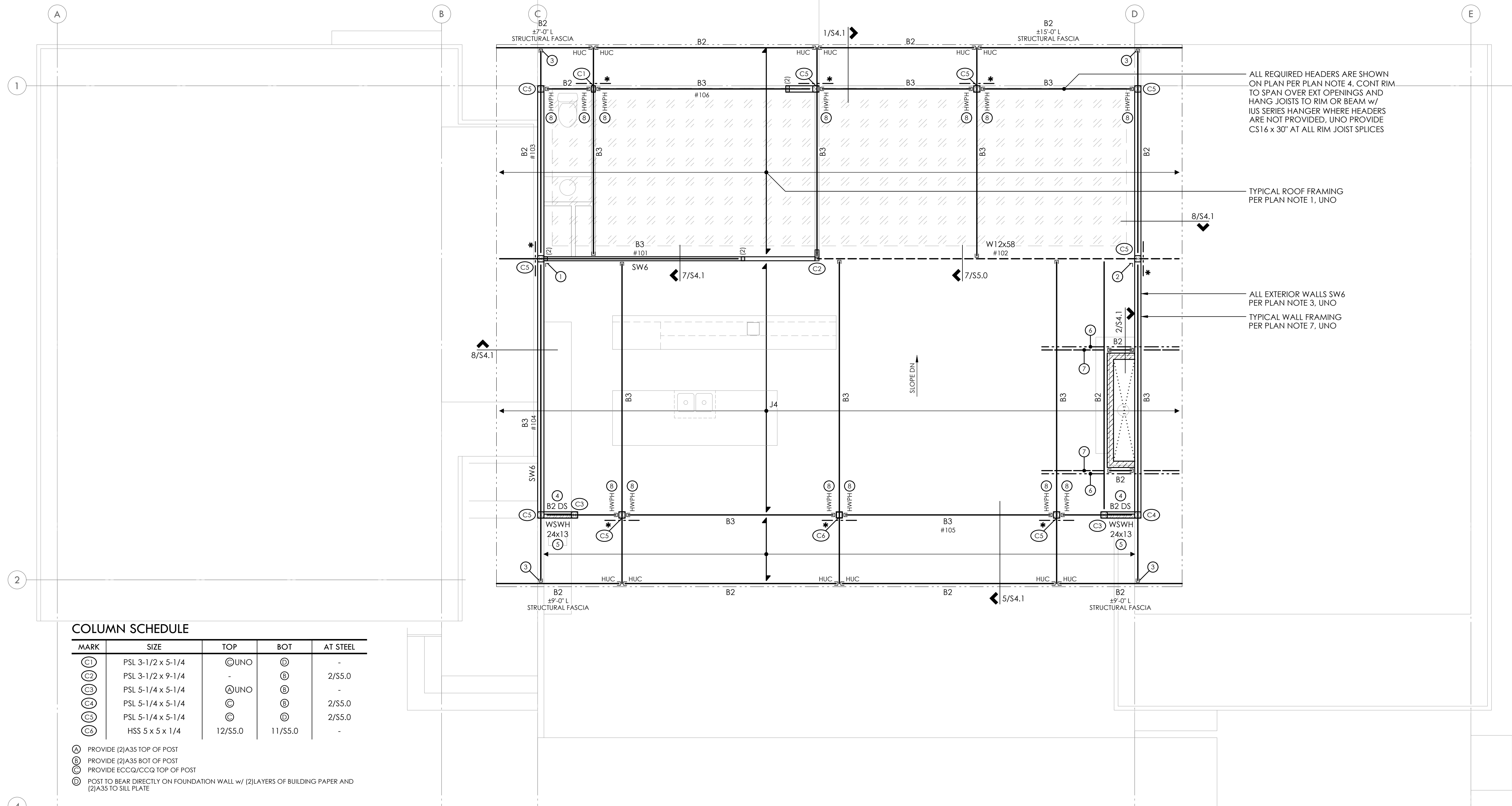
PROJECT NO 0463.2023.05.01
PROJECT MANAGER WAC
DRAWN JSD
ENGINEER BLAKE RASSILVER
206.602.5452
BLAKER@MALSAM-TSANG.COM

| REV | DESCRIPTION | DATE |
|-----|----------------|---------|
| △ | PLAN REVISIONS | 5.31.24 |

ARCH McCLELLAN ARCHITECTS
206.728.0480
CLIENT IZABELA & ROBERT TEKIELA

UPPER ROOF FRAMING PLAN

S2.3
SCALE - 1/4" = 1'-0"



ALL REQUIRED HEADERS ARE SHOWN ON PLAN PER PLAN NOTE 4. CONT RIM TO SPAN OVER EXT OPENINGS AND HANG JOISTS TO RIM OR BEAM w/ IUS SERIES HANGER WHERE HEADERS ARE NOT PROVIDED, UNO PROVIDE CS16 x 30" AT ALL RIM JOIST SPLICES

TYPICAL ROOF FRAMING PER PLAN NOTE 1, UNO

ALL EXTERIOR WALLS SW6 PER PLAN NOTE 3, UNO
TYPICAL WALL FRAMING PER PLAN NOTE 7, UNO

COLUMN SCHEDULE

| MARK | SIZE | TOP | BOT | AT STEEL |
|------|-------------------|---------|---------|----------|
| Ⓒ1 | PSL 3-1/2 x 5-1/4 | ⒸUNO | Ⓒ1 | - |
| Ⓒ2 | PSL 3-1/2 x 9-1/4 | - | Ⓒ2 | 2/S5.0 |
| Ⓒ3 | PSL 5-1/4 x 5-1/4 | ⒸUNO | Ⓒ3 | - |
| Ⓒ4 | PSL 5-1/4 x 5-1/4 | Ⓒ | Ⓒ4 | 2/S5.0 |
| Ⓒ5 | PSL 5-1/4 x 5-1/4 | Ⓒ | Ⓒ5 | 2/S5.0 |
| Ⓒ6 | HSS 5 x 5 x 1/4 | 12/S5.0 | 11/S5.0 | - |

- Ⓐ PROVIDE (2)A35 TOP OF POST
- Ⓑ PROVIDE (2)A35 BOT OF POST
- Ⓒ PROVIDE ECCQ/CCQ TOP OF POST
- Ⓓ POST TO BEAR DIRECTLY ON FOUNDATION WALL w/ (2)LAYERS OF BUILDING PAPER AND (2)A35 TO SILL PLATE

PLAN NOTES

- TYPICAL ROOF FRAMING CONSISTS OF 3/4" T&G APA RATED SHEATHING (SPAN RATING 48/24) OVER 14" TJI 210's AT 16"oc, UNO. PROVIDE H8 EACH END OF ALL RAFTERS, H8 EACH SIDE OF ALL MULTIPLE RAFTERS, UNO.
- NAIL ROOF SHEATHING w/ 8d AT 6" oc AT FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12"oc IN FIELD, UNO.
- "SW_" INDICATES SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE ON 4/S4.0 FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS ARE SW6, UNO.
- ALL REQUIRED HEADERS ARE SHOWN ON PLAN AND SHALL BE (2)2x8, UNO. REFER TO DETAIL 8/S4.0 FOR ADDITIONAL REQUIREMENTS.
- PROVIDE (2)BEARING (TRIMMER) STUDS AT EACH END OF ALL HEADERS AND BEAMS 6'-0" IN LENGTH AND OVER, UNO.
- WHERE POSTS OCCUR, PROVIDE SOLID VERTICAL GRAIN BLOCKING THRU FLOOR TO MATCHING SUPPORTS BELOW, UNO.
- TYPICAL WALL FRAMING CONSISTS OF 2x6's AT 16"oc AT EXTERIOR WALLS AND 2x4's or 2x6's AT 16"oc AT INTERIOR WALLS PER ARCH DRAWINGS, UNO.
- REFER TO SHEET S4.0 FOR TYPICAL WOOD FRAMING DETAILS.
- REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
- DO NOT SCALE DRAWINGS. REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS.

LEGEND

- STRUCTURAL WALL BELOW
- STRUCTURAL WALL ABOVE
- WALL FRAMED w/ CONT LVL 1-3/4 x 5-1/2 LVL STUDS AT 16"oc FROM FDN TO TOP OF CHIMNEY
- SPAN AND EXTENTS
- HEADER/BEAM BELOW FRAMING - TYP
- STEEL BEAM PER PLAN
- DIRECTION OF SLOPE
- NUMBER OF BUILT UP STUDS
- HORIZ CS16 x 3'-0" - BEAM TO BEAM TOP PLATE TO TOP PLATE
- PV PANELS - 5 PSF MAX ADDITIONAL DEAD LOAD. PROVIDE MISC BLOCKING AS REQD PER PV PANEL MANUFACTURER

FOOTNOTES

- (2)A35 BEAM TO BEAM - INSTALL ABOVE COLUMN CAP
- (2)A35 BEAM TO WOOD FILLER
- INSTALL HANGER PER PLAN UPSIDE DOWN
- PROVIDE A35 AT 12"oc DRAG STRUT TO TOP PLATE BELOW (4 MIN TOTAL)
- FIELD TRIM SIMPSON STRONG WALL HIGH STRENGTH WOOD SHEARWALL AS REQUIRED AND CONNECT TO BEAM w/ WSWH-TP PER MANUFACTURER'S REQUIREMENTS AND IN ACCORDANCE w/ ESR-2652 REFER TO DETAIL 10/S4.1
- PROVIDE CS16 x 10'-0" L STRAP - LAP BEAM AND NAIL REMAINING LENGTH TO LSL BLKG AT BOTH ENDS, (2)BAYS MIN
- PROVIDE LSL 1-3/4" BLKG BELOW STRAP
- SLOPE TOP FLANGE HANGER AS REQUIRED

UPPER ROOF FRAMING PLAN

UPPER FIRST FLOOR WALLS SHOWN SOLID

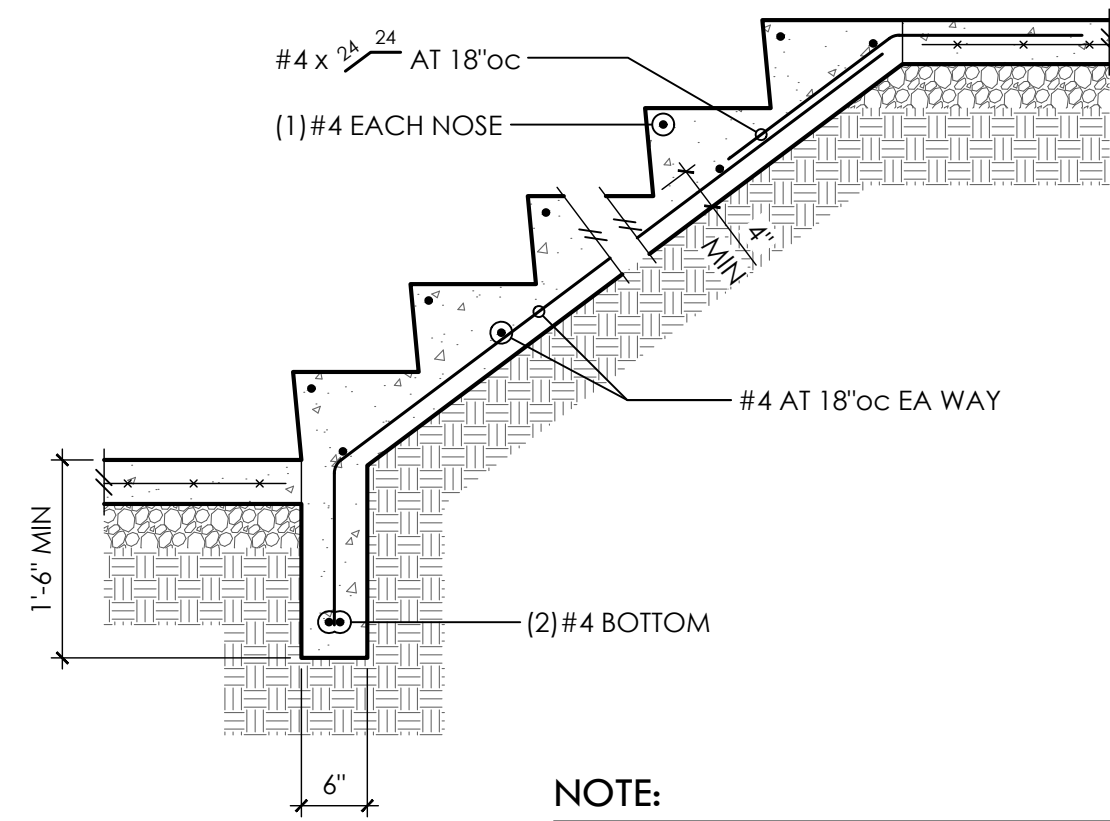
FLUSH BEAM SCHEDULE

| MARK | SIZE | BRG STUDS | HANGER |
|------|----------------|-----------|-------------|
| B1 | LSL 1-3/4 x 14 | 2 | HUS1.81/10 |
| B2 | LSL 3-1/2 x 14 | 2 | HHUS410Ⓒ |
| B3 | PSL 5-1/4 x 14 | 3 | HGUS5.50/12 |
| B4 | PSL 7 x 14 | 4 | HGUS7.25/12 |

Ⓒ PROVIDE HUC410 WHERE REQUIRED - UNO

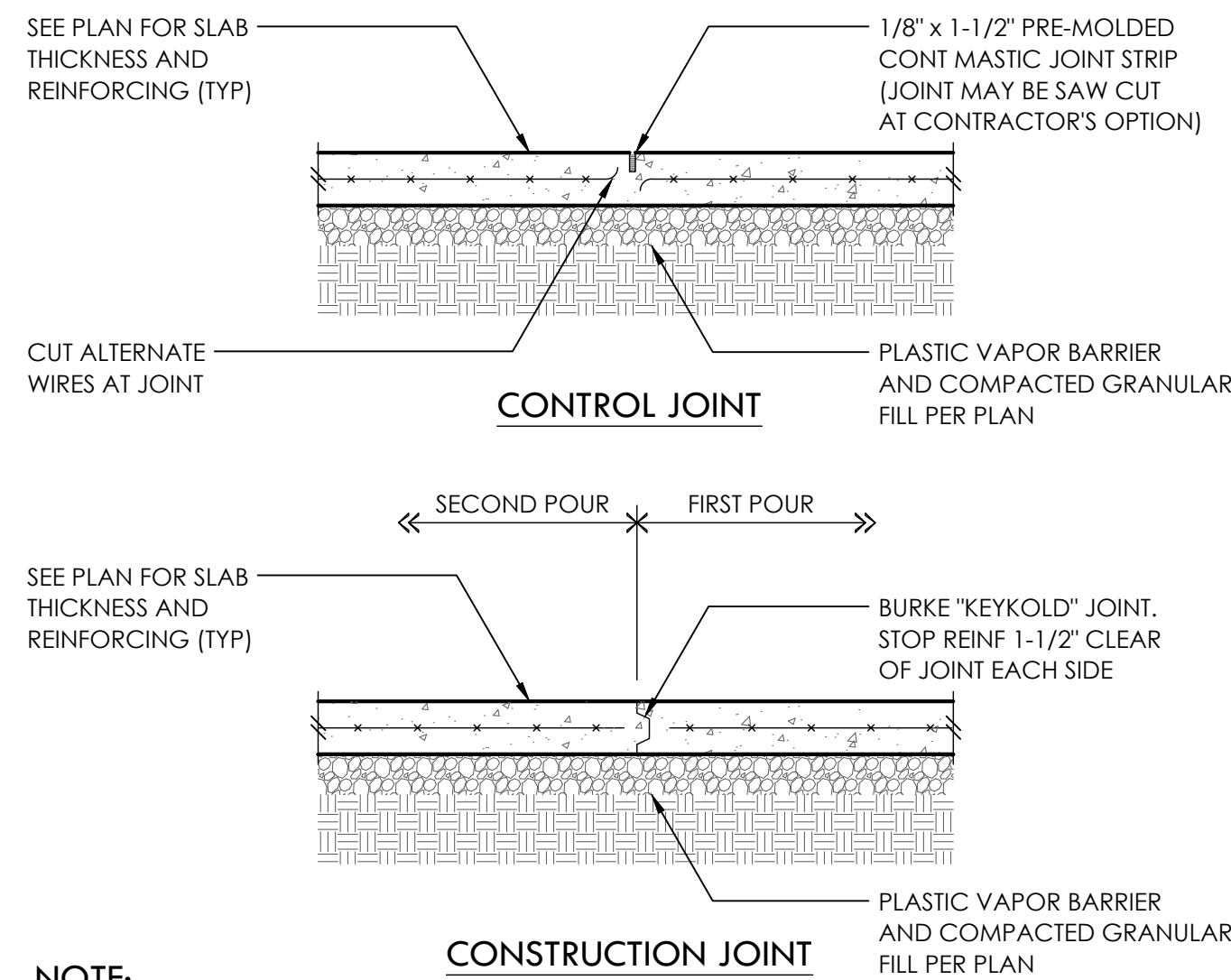
JOIST SCHEDULE

| MARK | SIZE | SPACING | HANGER |
|------|-------------|---------|------------|
| J1 | 14" TJI 110 | 16"oc | IUS1.81/14 |
| J2 | 14" TJI 210 | 16"oc | IUS2.06/14 |
| J3 | 14" TJI 230 | 16"oc | IUS2.37/14 |
| J4 | 14" TJI 360 | 16"oc | IUS2.37/14 |
| J5 | 14" TJI 560 | 16"oc | IUS3.56/14 |



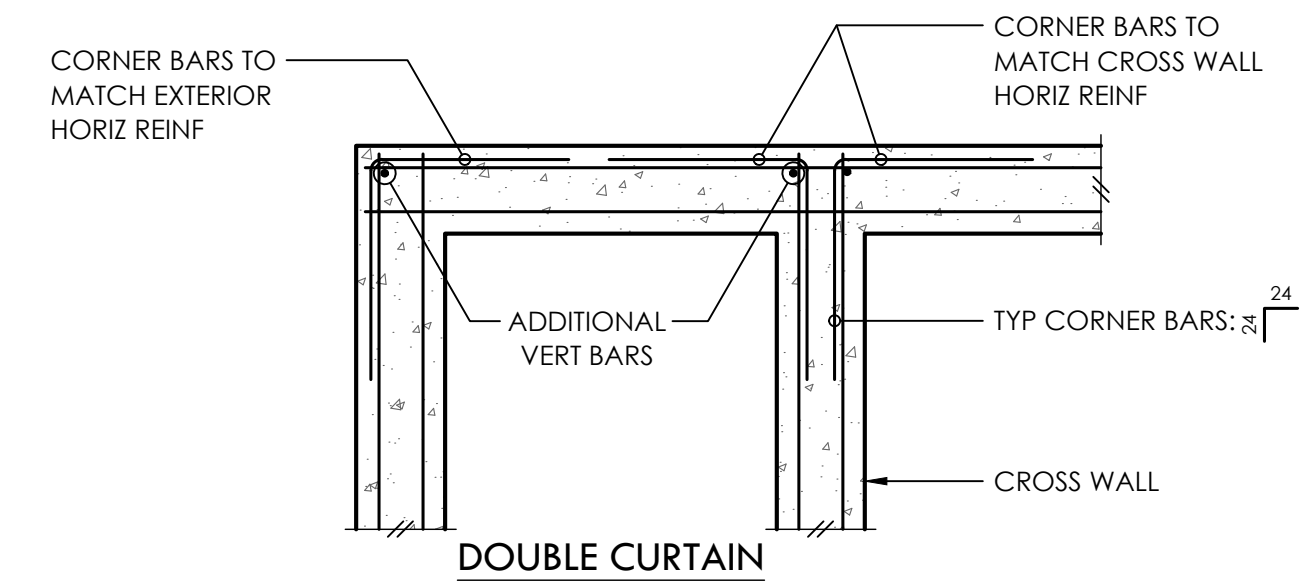
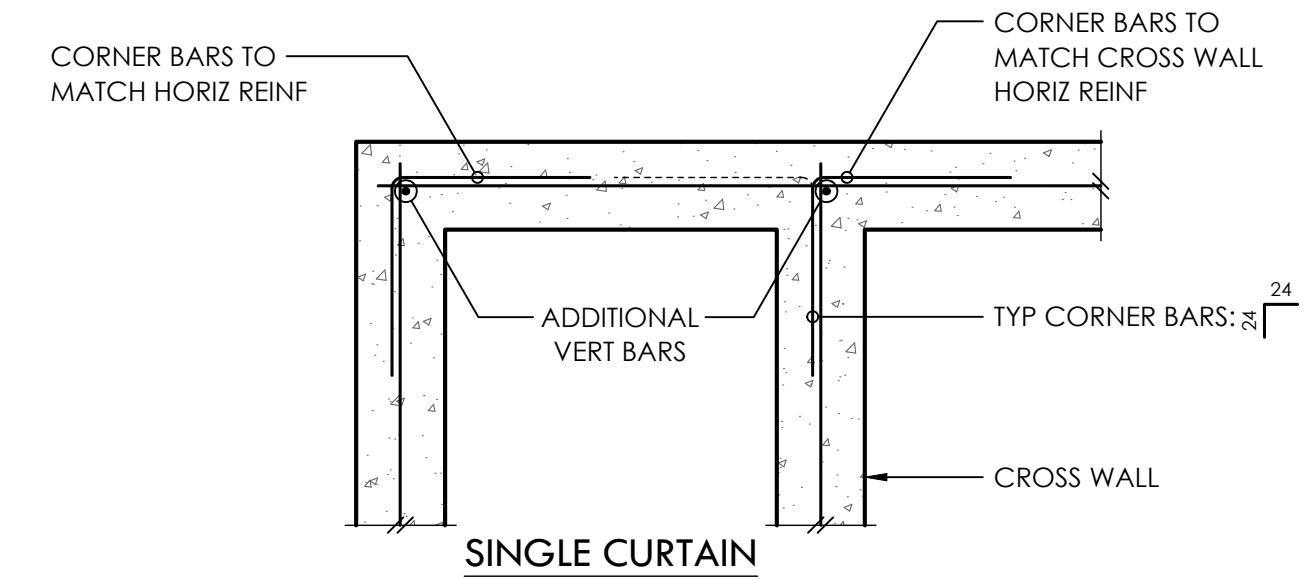
NOTE:
EXACT CONFIGURATION OF STAIR INCLUDING TREAD AND RISER DIMS PER ARCH DRAWINGS

1 TYPICAL STAIR ON GRADE 2

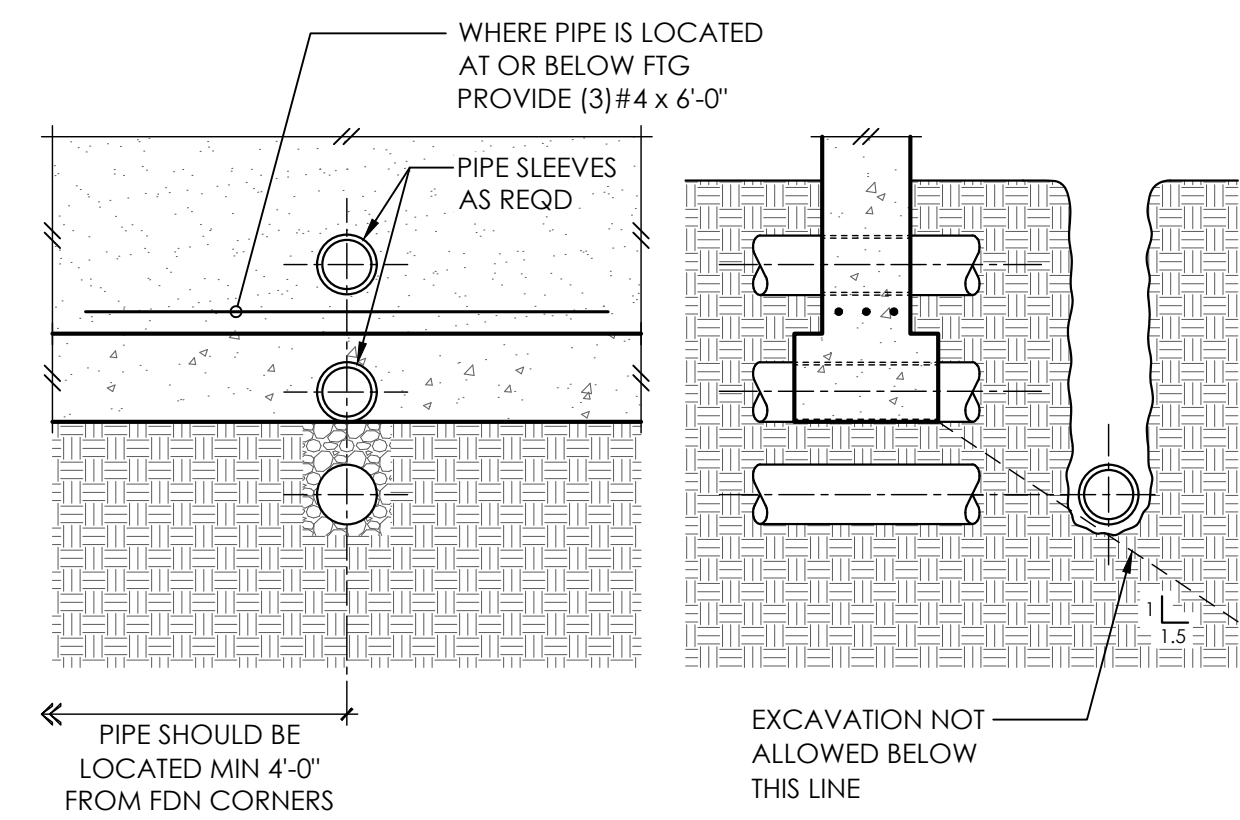


NOTE:
PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 200 SQUARE FEET OR LESS. AREAS TO BE APPROX SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.

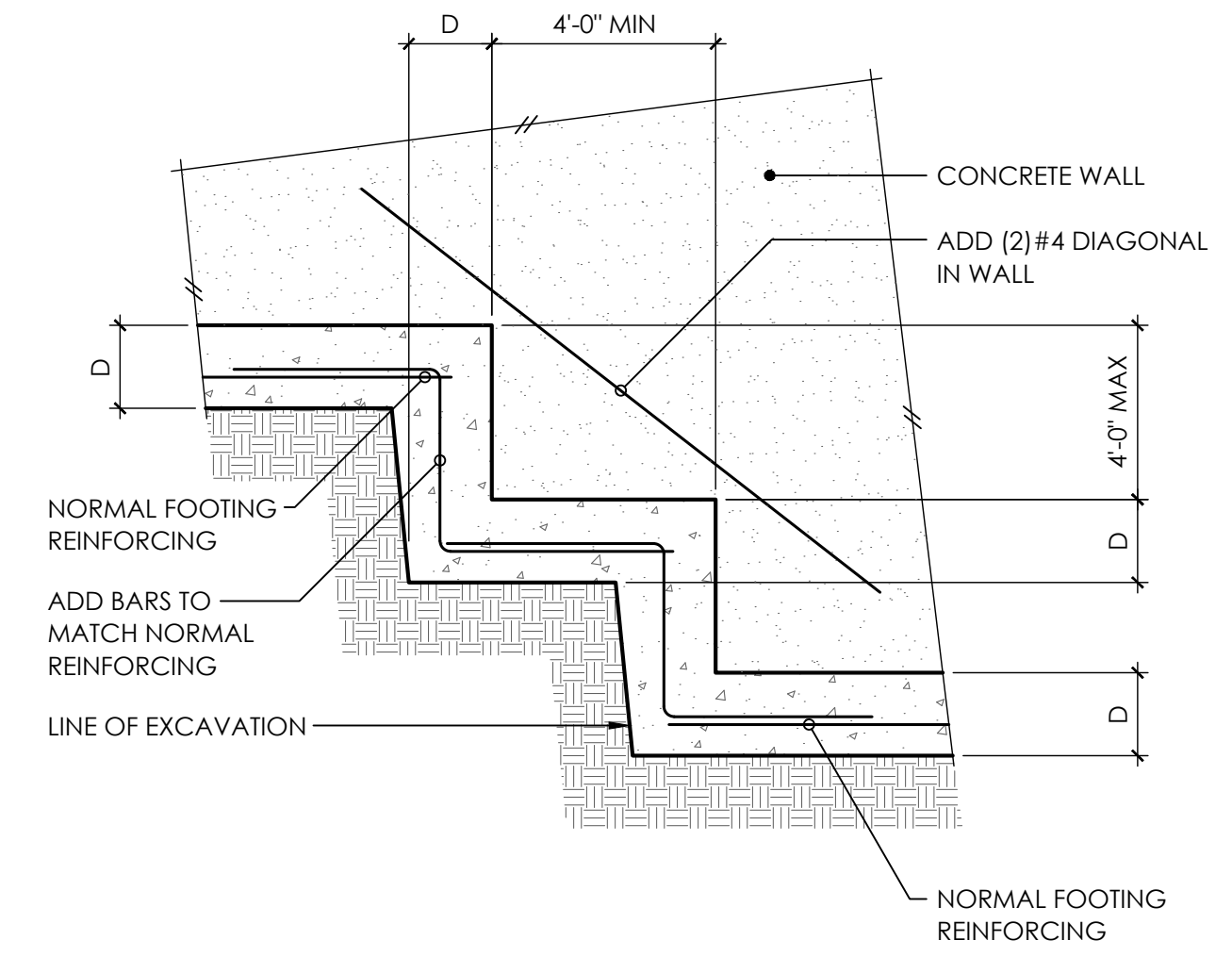
3 TYPICAL SLAB JOINTS



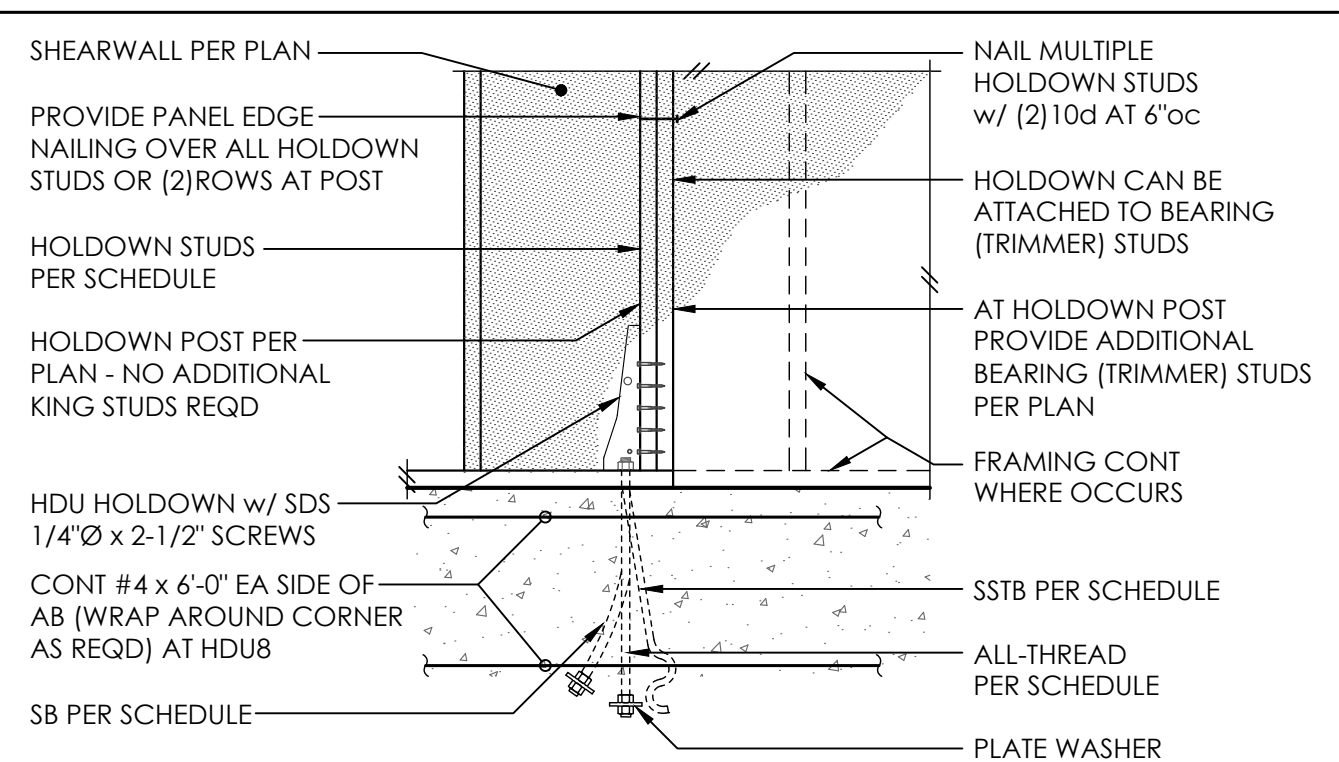
4 TYP CORNER BARS AT CONCRETE WALLS AND FTGS



5 PIPE AND TRENCH LOCATIONS



6 TYPICAL STEPPED FOOTING

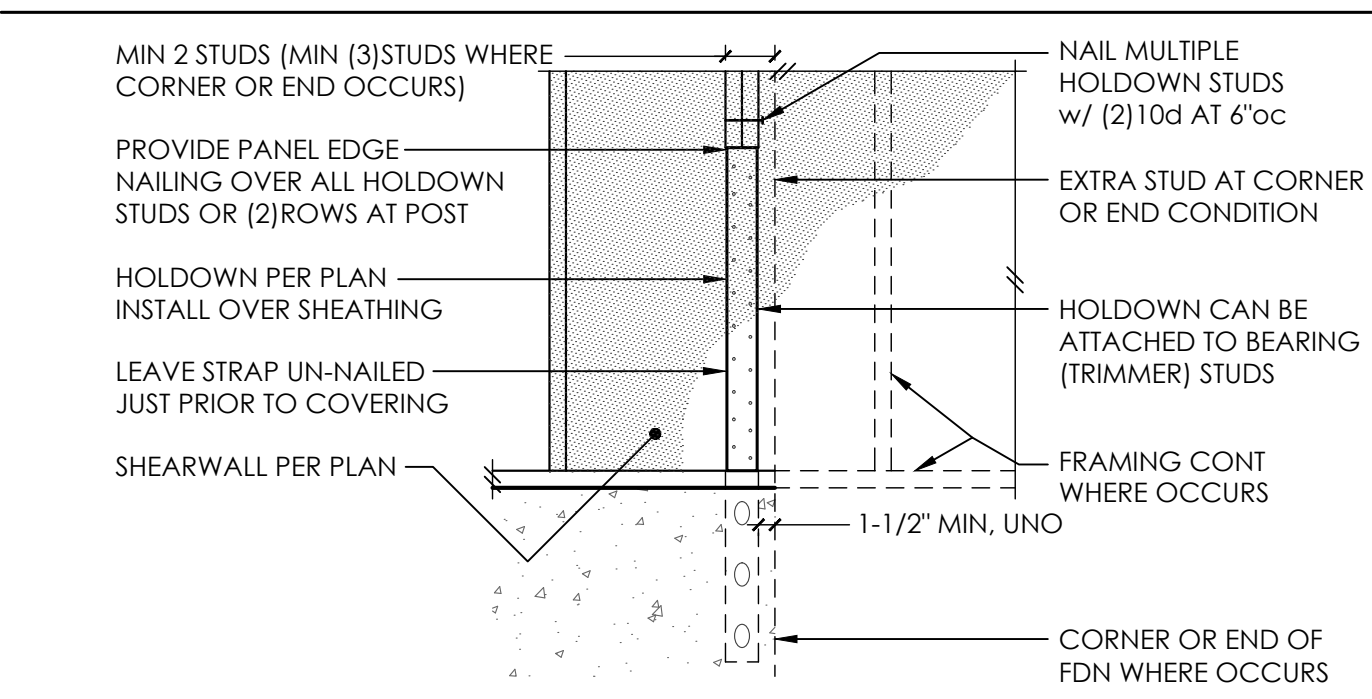


HDU HOLDOWN SCHEDULE

| PLAN MARK | AT STEMWALL | | AT FOOTING | | | HD POST | |
|-----------|--------------------|---------|------------|----------------|-------|---------|---------|
| | AB | EMBED | ALL-THREAD | WASHER | EMBED | 4x WALL | 6x WALL |
| HDU2 | 5/8"Ø - SSTB 16(L) | 12-5/8" | 5/8"Ø | 1-3/4"SQ x 1/2 | 9" | (2)2x4 | (2)2x6 |
| HDU4 | 5/8"Ø - SB5/8 x 24 | 18" | 5/8"Ø | 1-3/4"SQ x 1/2 | 9" | (2)2x4 | (2)2x6 |
| HDU5 | 5/8"Ø - SB5/8 x 24 | 18" | 5/8"Ø | 1-3/4"SQ x 1/2 | 9" | (2)2x4 | (2)2x6 |
| HDU8 | 7/8"Ø - SB7/8 x 24 | 18" | 7/8"Ø | 2-1/2"SQ x 1/2 | 12" | 4x6 | 6x6 |

⊙ ALL HOLDOWN ANCHOR BOLTS THAT NEED TO BE EMBEDDED INTO FOOTING ARE SPECIFICALLY SHOWN ON PLAN
 ⊙ A307 ALL-THRD w/ PLATE WASHER PER SCHEDULE AND DOUBLE NUT BOT OR EQUIVALENT SIMPSON PAB
 ⊙ MINIMUM SIZE OF POST UNO ON FRAMING PLANS

9 HDU HOLDOWN SCHEDULE 10

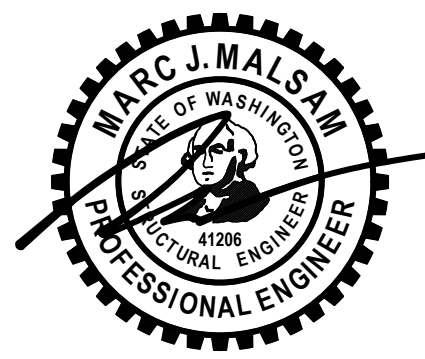


LSTHD/STHD HOLDOWN SCHEDULE

| PLAN MARK | NAILS | HD POST |
|------------|------------------|----------|
| LSTHD8(RJ) | (20) 16d SINKERS | DBL STUD |
| STHD10(RJ) | (28) 16d SINKERS | DBL STUD |
| STHD14(RJ) | (30) 16d SINKERS | DBL STUD |

⊙ 16d SINKERS = 0.148"Ø x 3-1/4"
 ⊙ MINIMUM SIZE OF POST UNO ON FRAMING PLANS

10 LSTHD/STHD HOLDOWN SCHEDULE 11

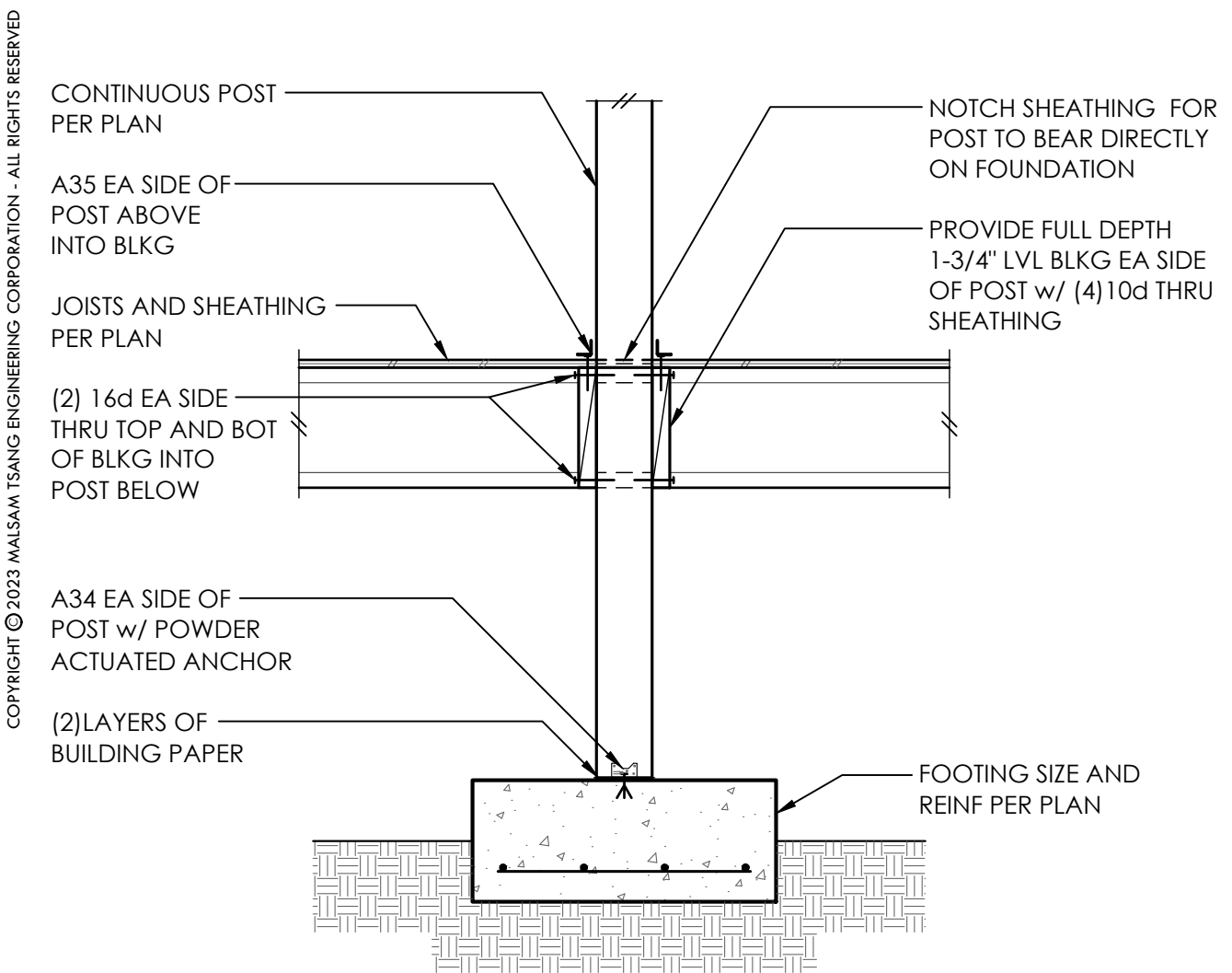


PROJECT NO 0463.2023.05.01
 PROJECT MANAGER WAC
 DRAWN JSD
 ENGINEER BLAKE RASSILIER 206.602.5452
 BLAKER@MALSAM-TSANG.COM

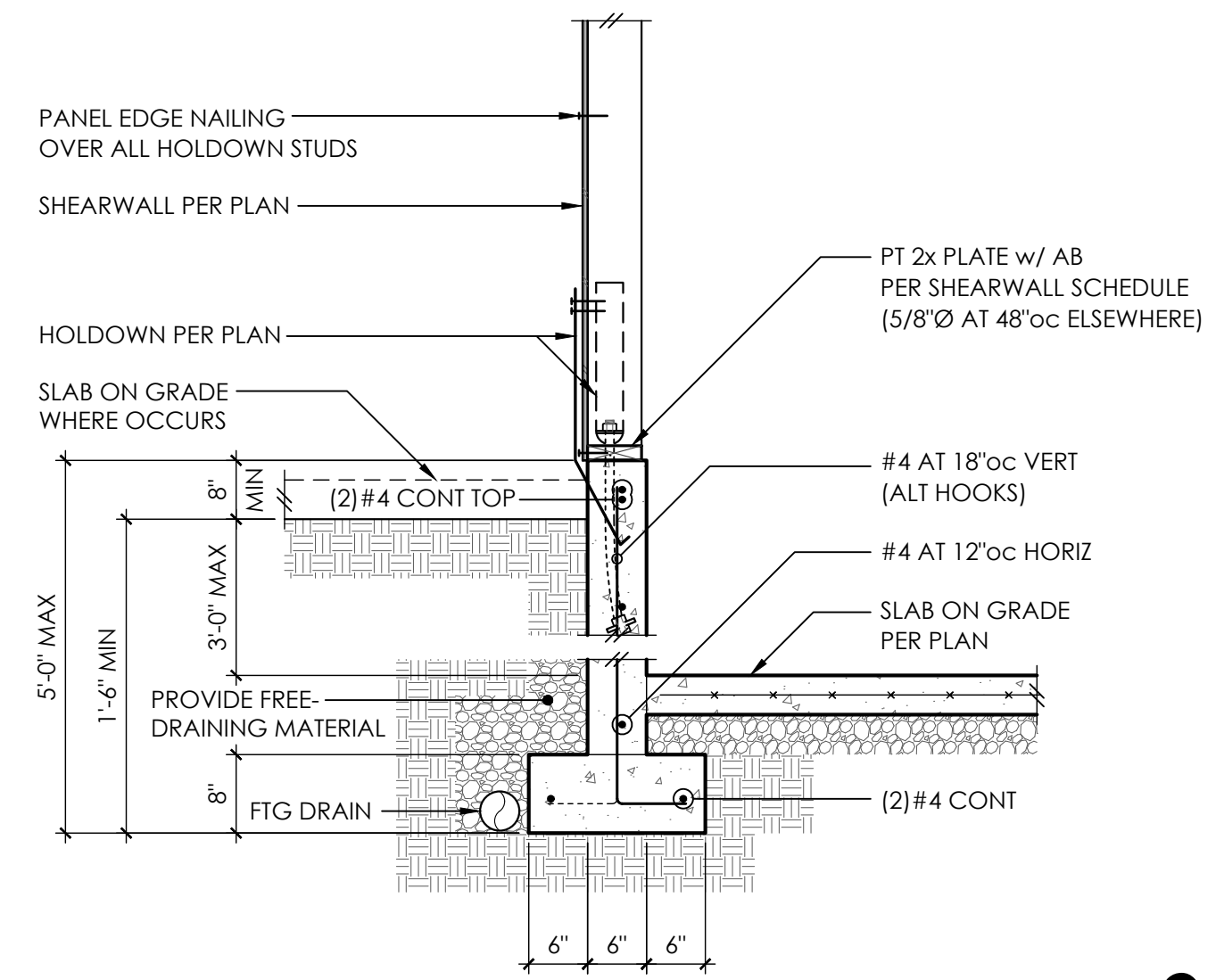
| REV | DESCRIPTION | DATE |
|----------------|-------------|---------|
| PERMIT SET | | 1.30.24 |
| PLAN REVISIONS | | 5.31.24 |

ARCH McCLELLAN ARCHITECTS 206.728.0480
 CLIENT IZABELA & ROBERT TEKIELA

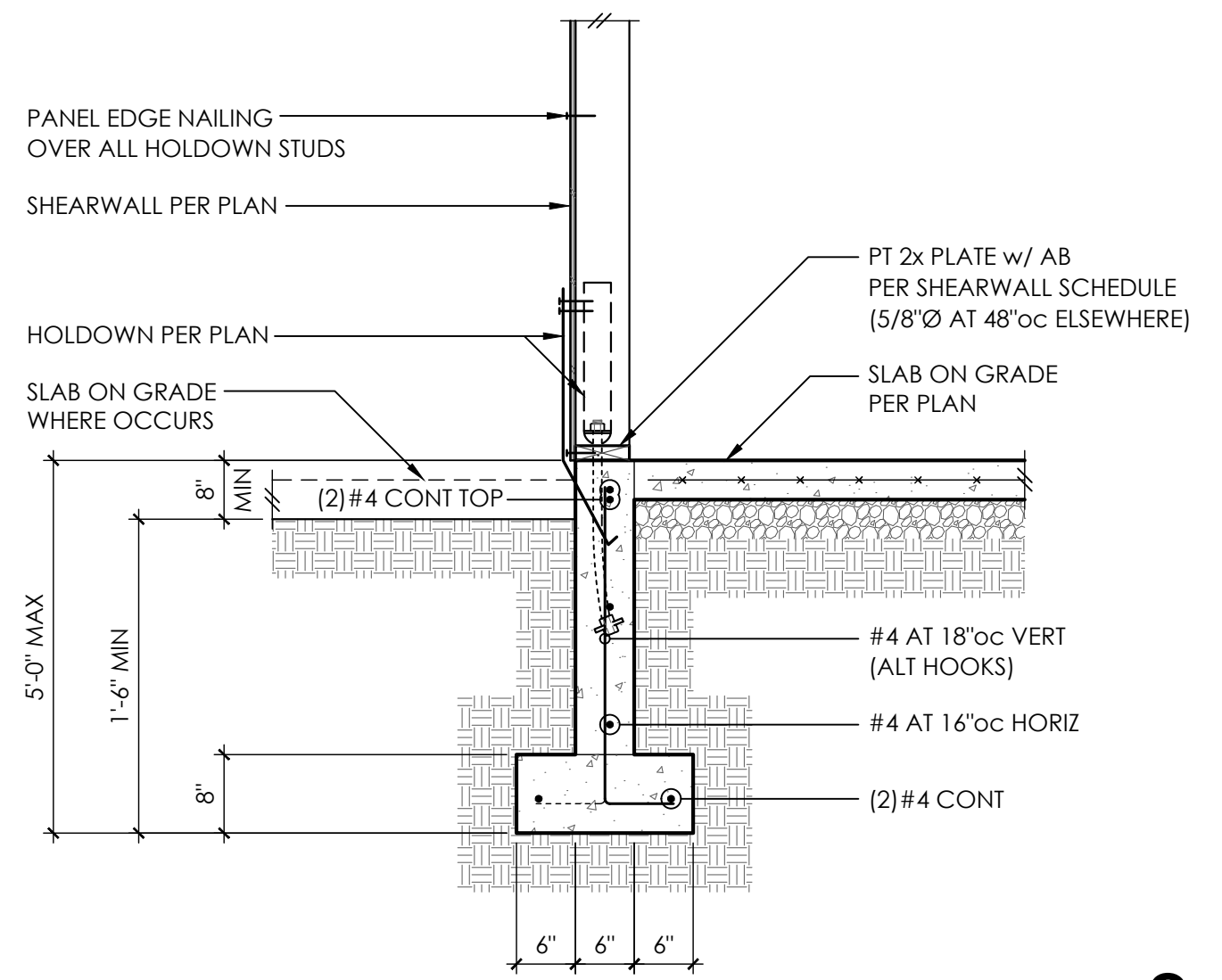
TYPICAL CONCRETE DETAILS



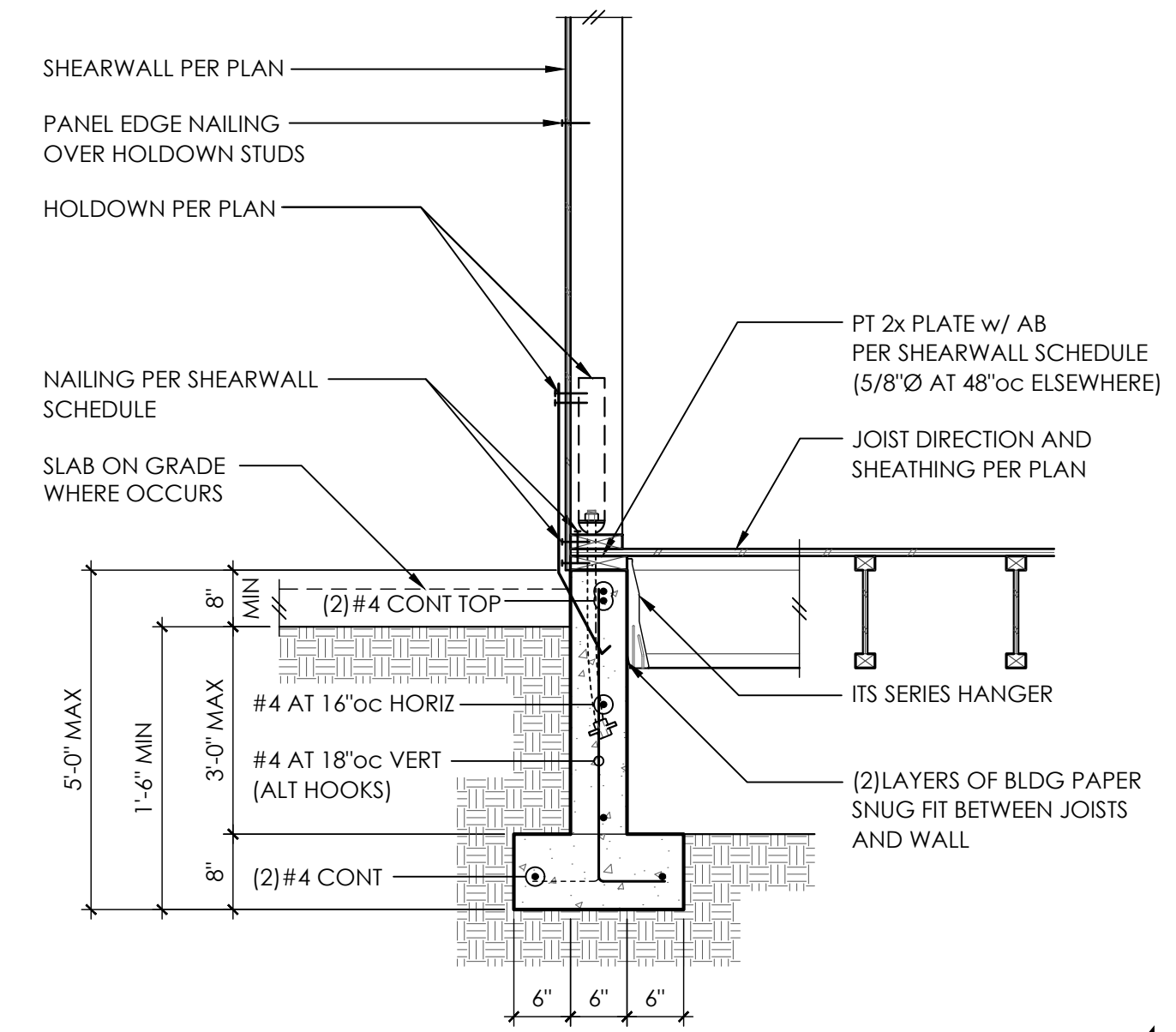
1



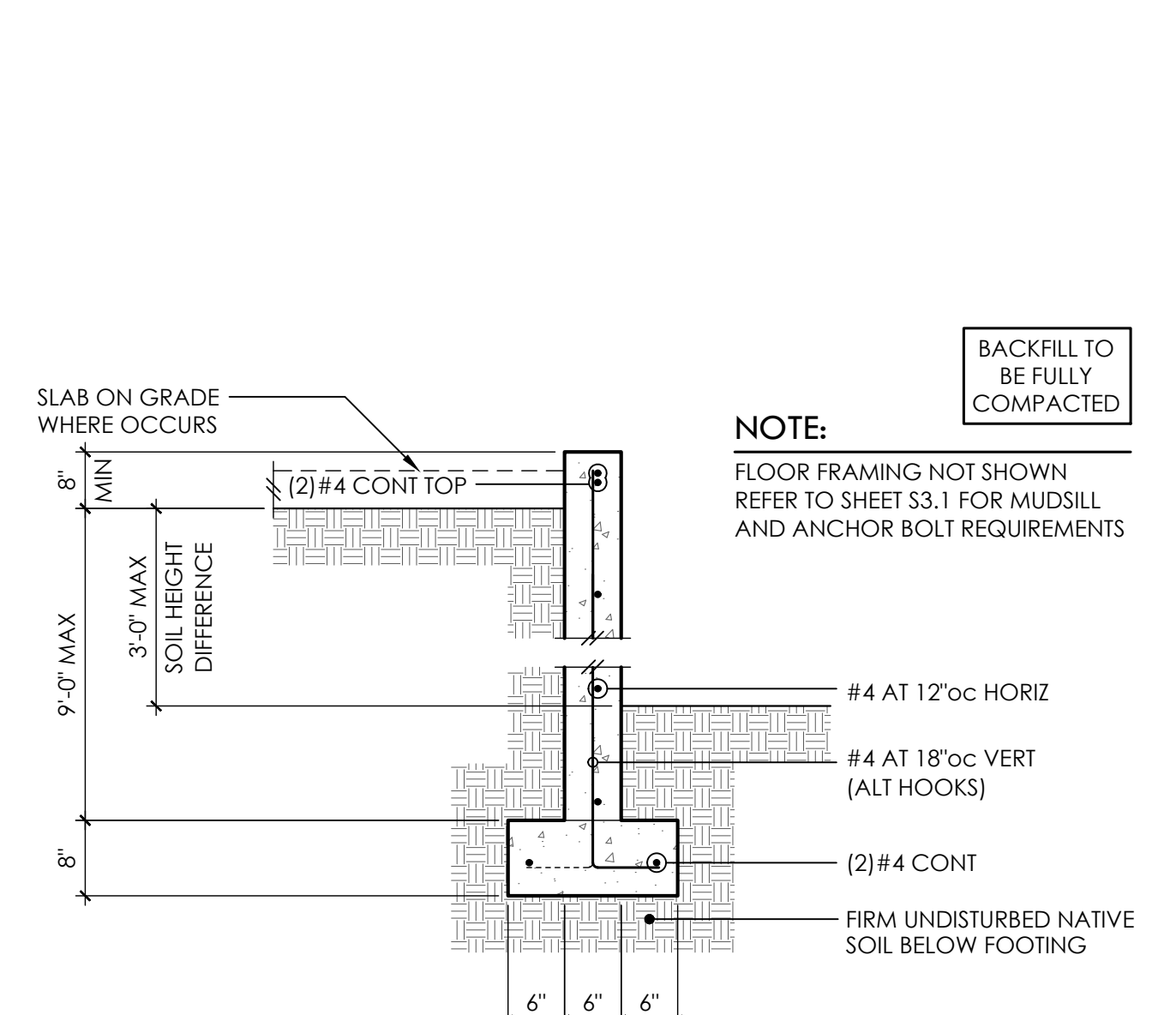
2



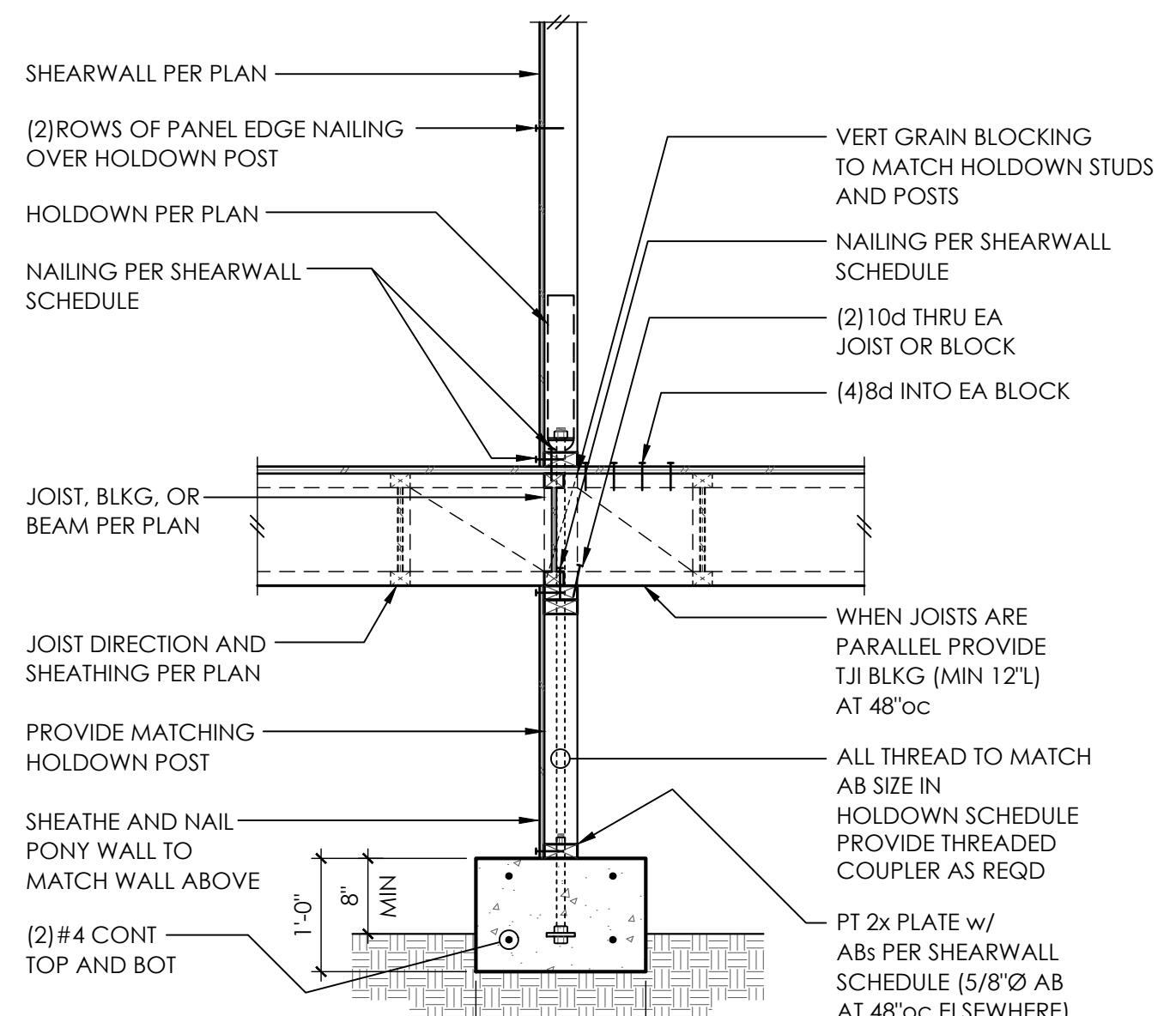
3



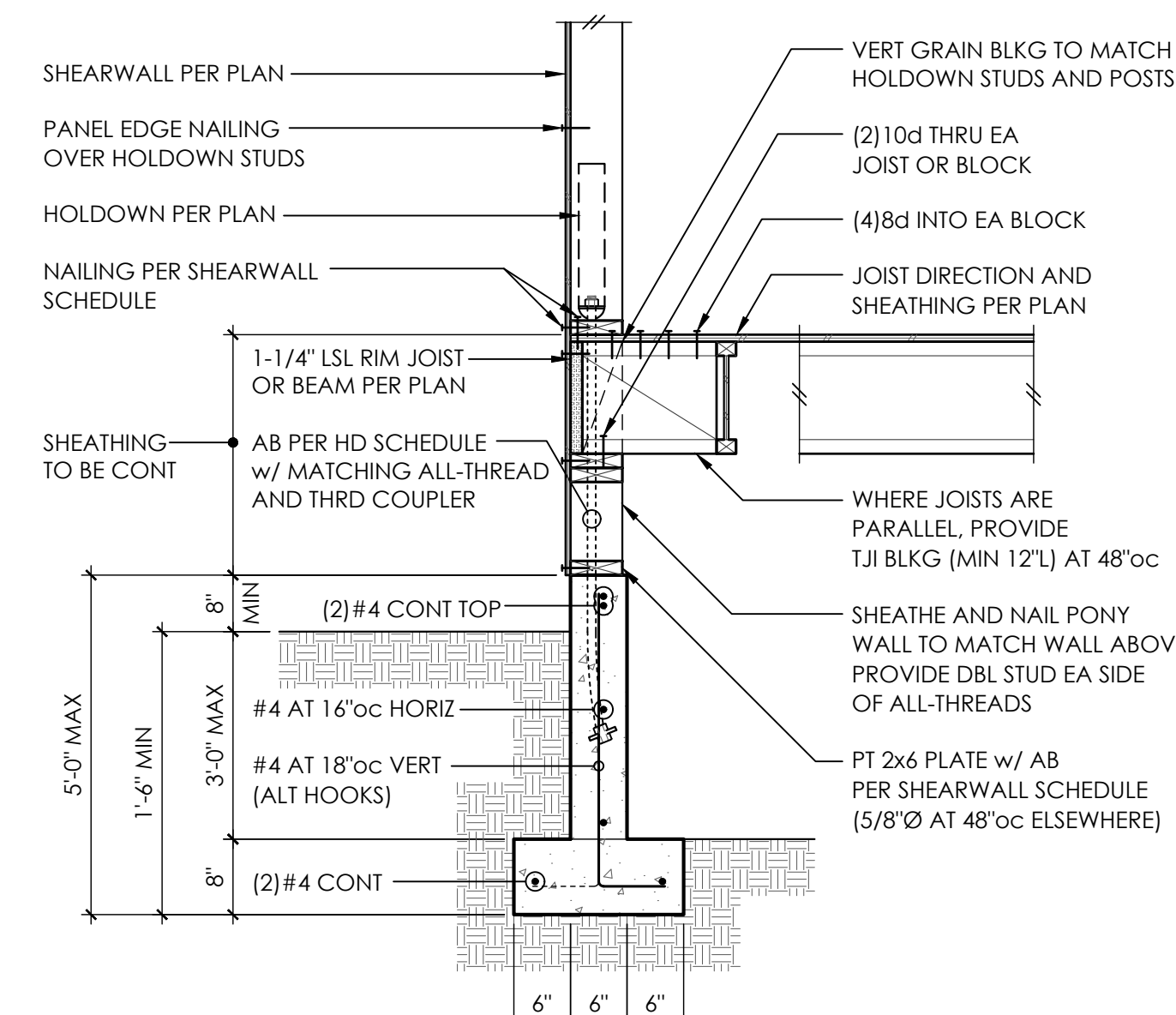
4



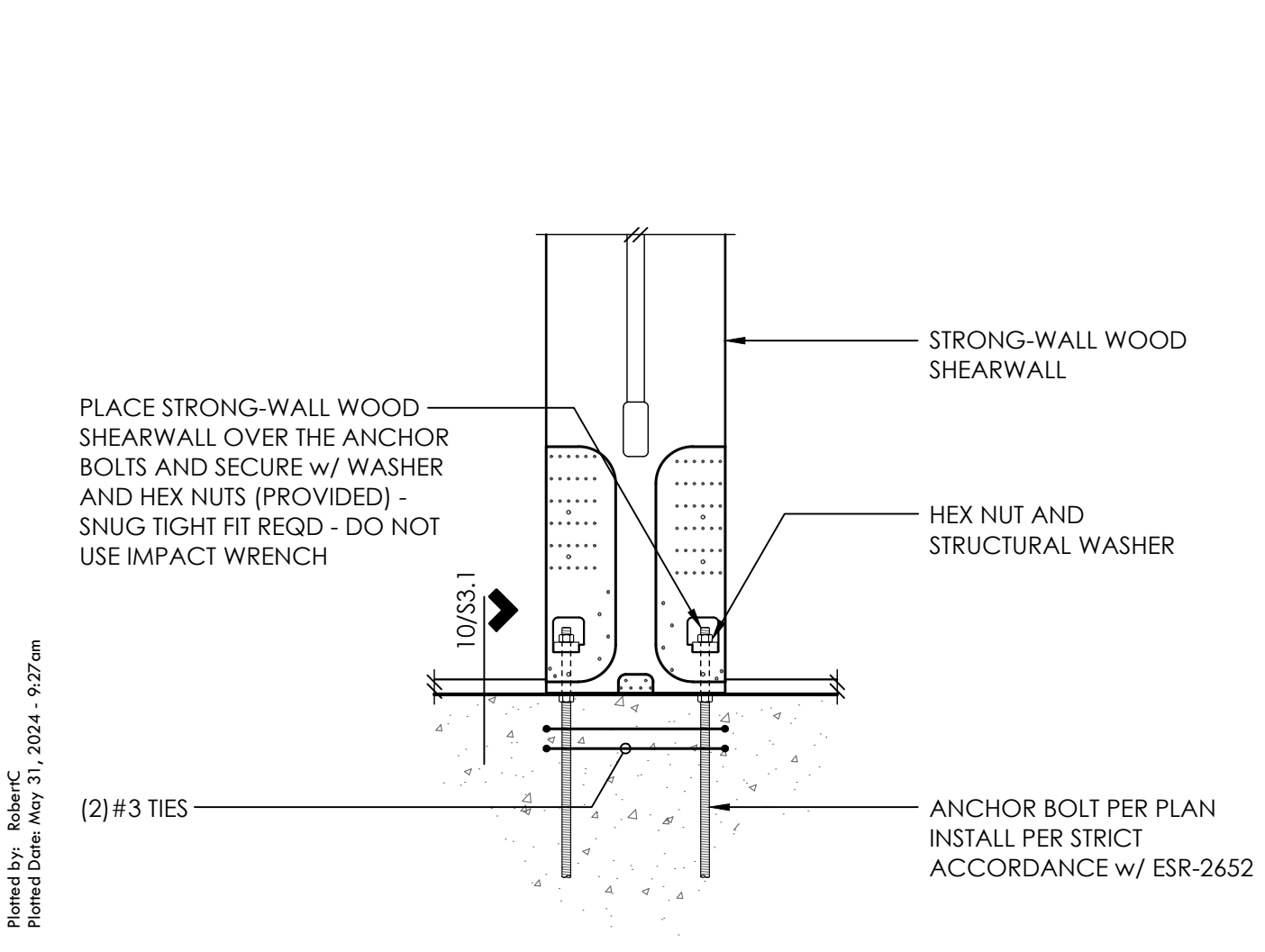
5



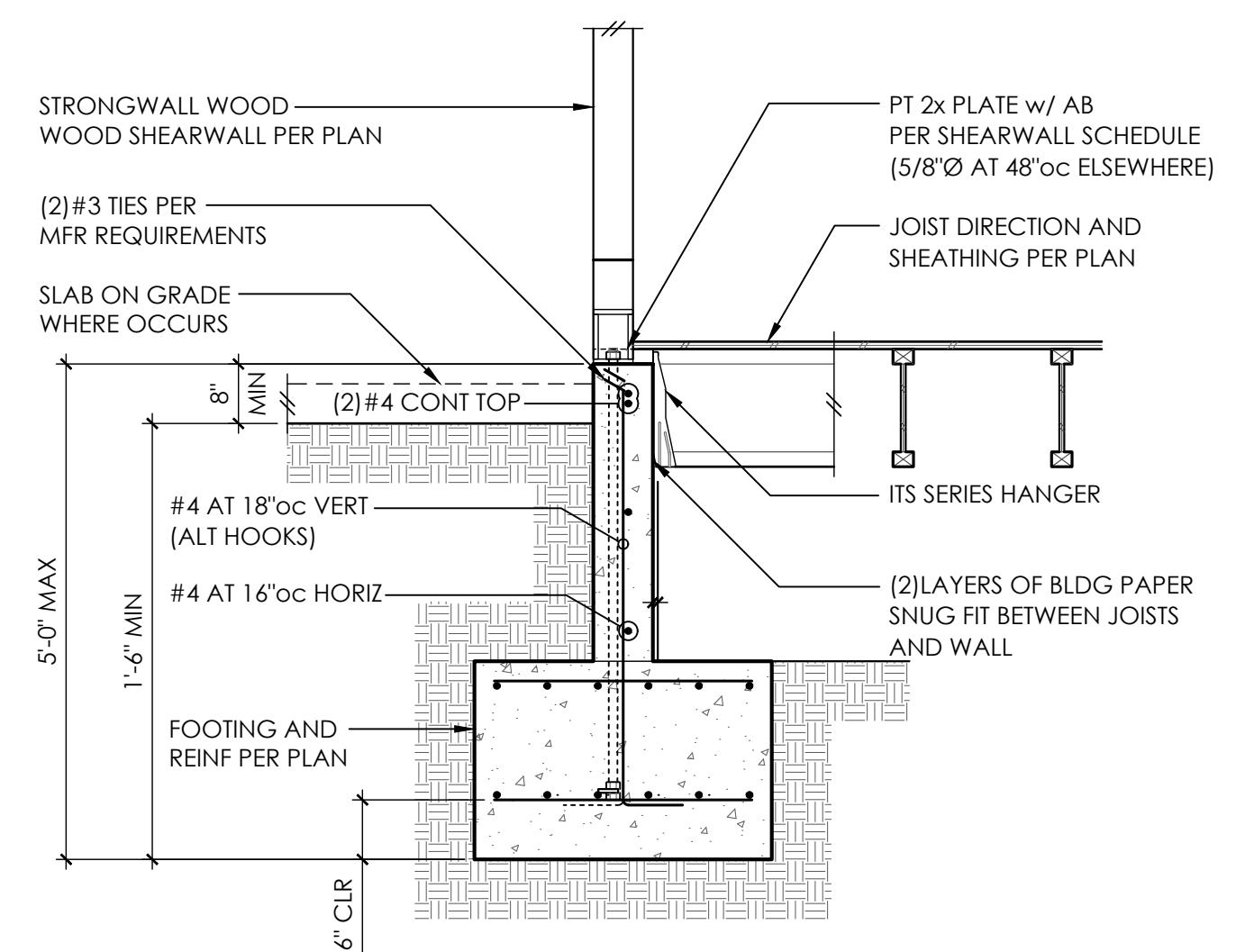
6



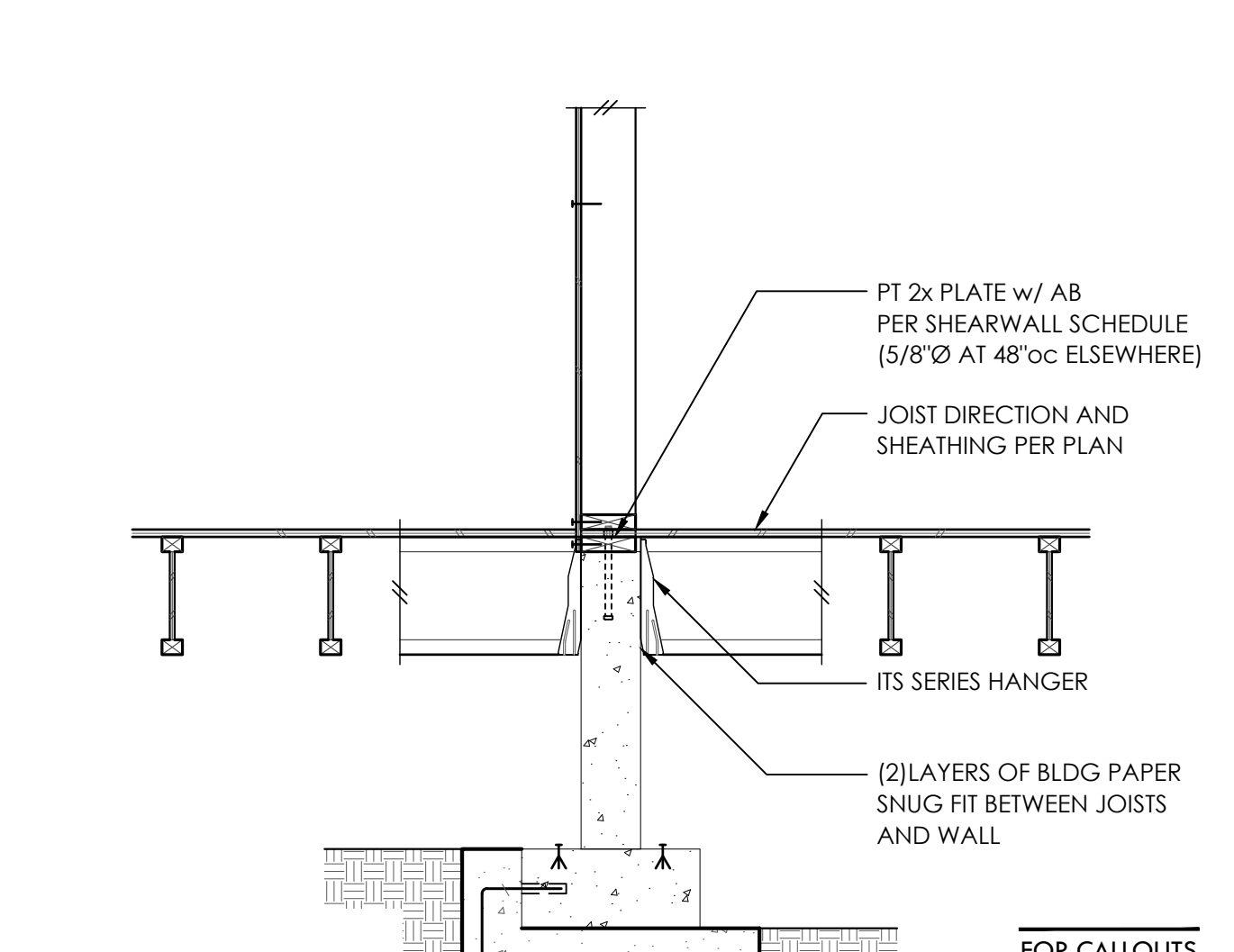
7



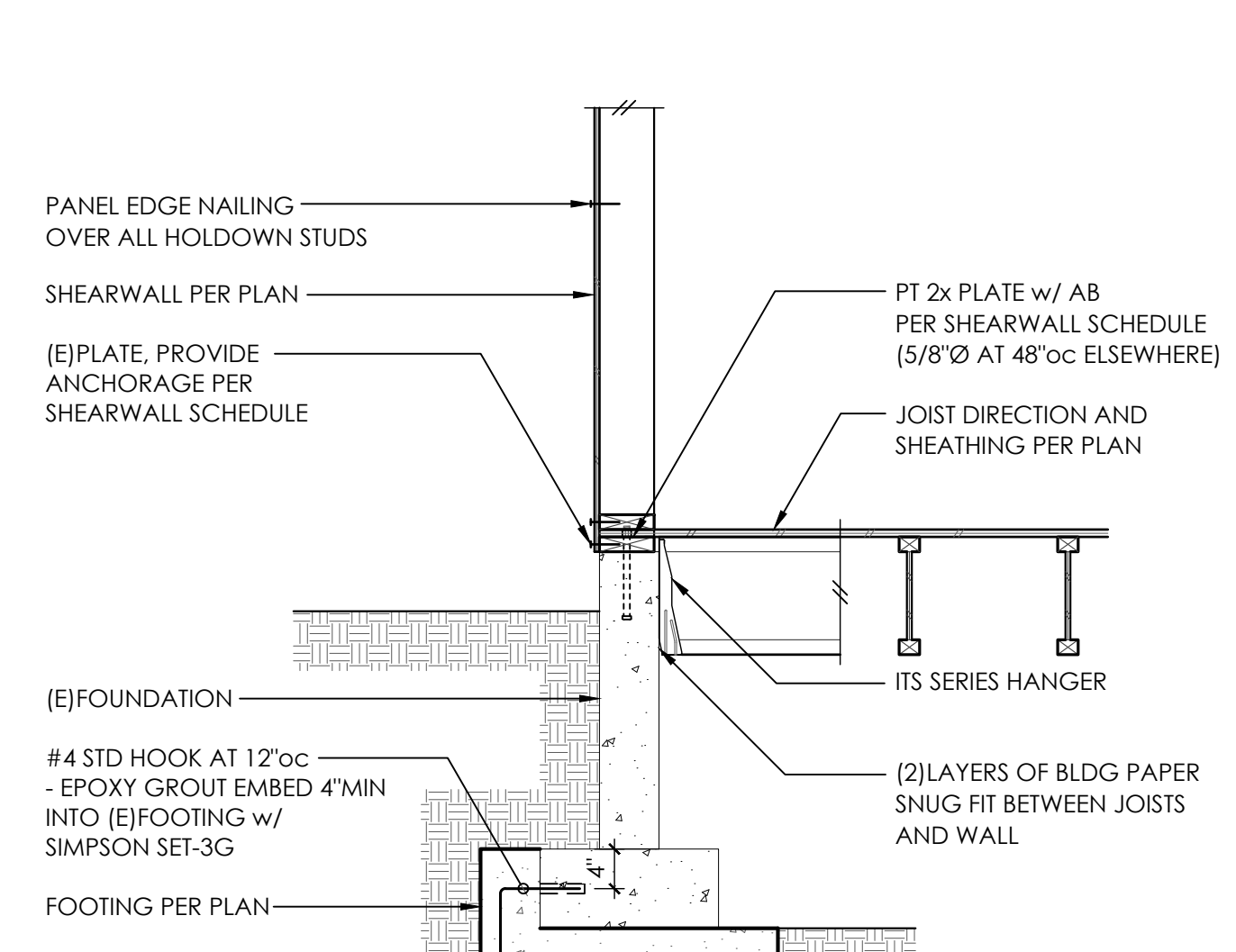
8



9



10



11

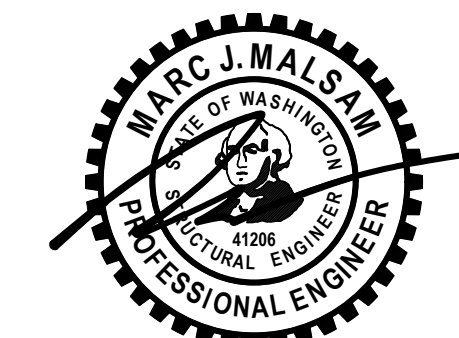
CONTRACTOR TO REFER TO SIMPSON STRONG WALL SHOP DRAWINGS AND PRODUCT INSTALLATION GUIDELINES TO ENSURE INSTALLATION CONFORMANCE

CONTRACTOR TO REFER TO SIMPSON STRONG WALL SHOP DRAWINGS AND PRODUCT INSTALLATION GUIDELINES TO ENSURE INSTALLATION CONFORMANCE

INSTALL SIMPSON STRONGWALL AND ANCHORAGE IN STRICT ACCORDANCE w/ ESR-2652

FOR CALLOUTS IN COMMON REFER 12/S3.1

CONCRETE DETAILS



PROJECT NO 0463.2023.05.01
PROJECT MANAGER WAC
DRAWN JSD
ENGINEER BLAKE RASSILVER 206.602.5452
BLAKER@MALSAM-TSANG.COM

| REV | DESCRIPTION | DATE |
|----------------|-------------|---------|
| PERMIT SET | | 1.30.24 |
| PLAN REVISIONS | | 5.31.24 |

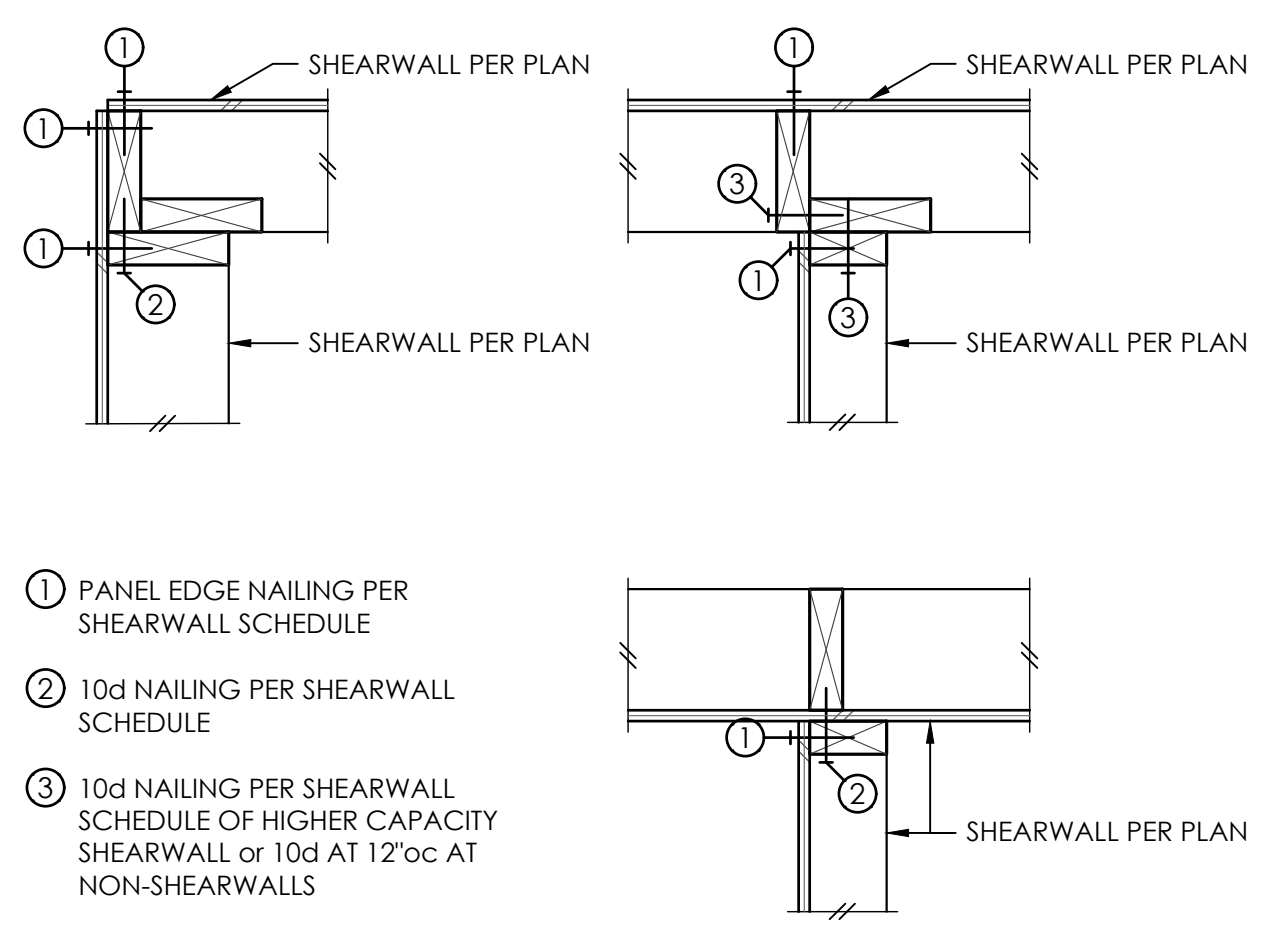
ARCH McCLELLAN ARCHITECTS 206.728.0480
CLIENT IZABELA & ROBERT TEKIELA

CONCRETE DETAILS

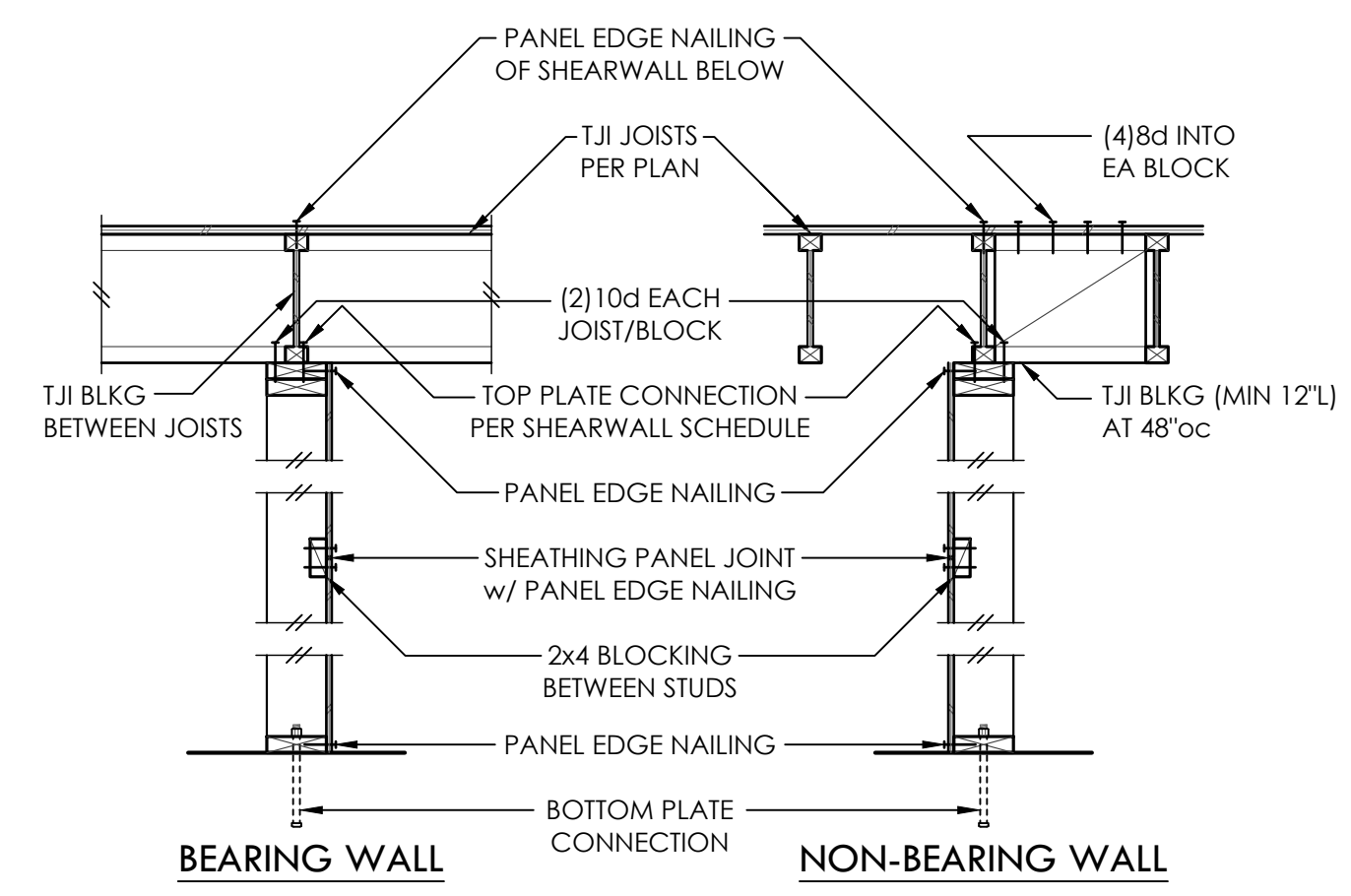
S3.1
SCALE - NTS

Copyright © 2023 MALSAM TSANG ENGINEERING CORPORATION - ALL RIGHTS RESERVED
Plotted by: RobertC
Plotted Date: May 31, 2024 - 9:27am

COPYRIGHT © 2023 MALSAM TSANG ENGINEERING CORPORATION - ALL RIGHTS RESERVED

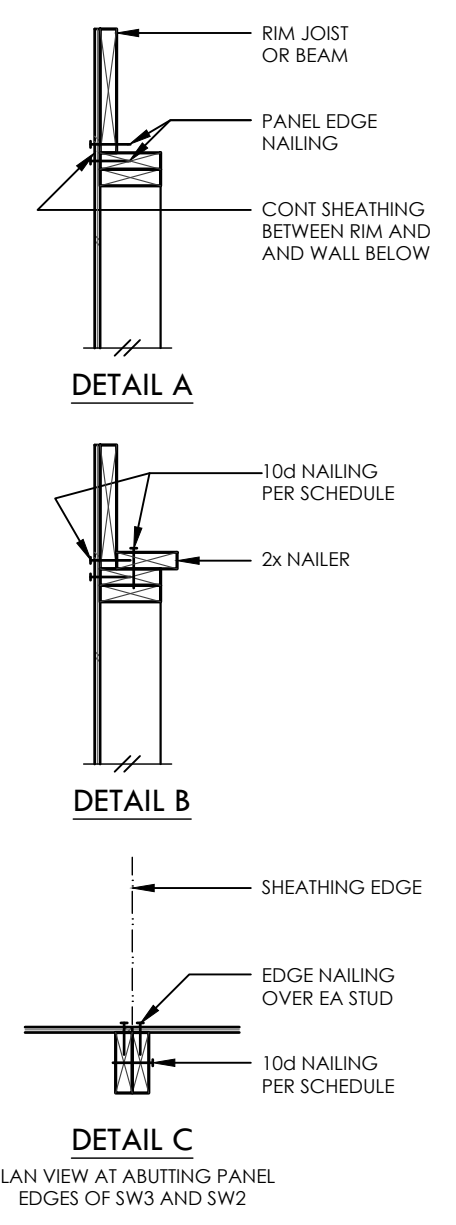


SCALE: 1-1/2" = 1'-0"
TYPICAL SHEARWALL INTERSECTIONS 1



NOTE:
SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, UNO

TYPICAL SHEARWALL CONSTRUCTION 2

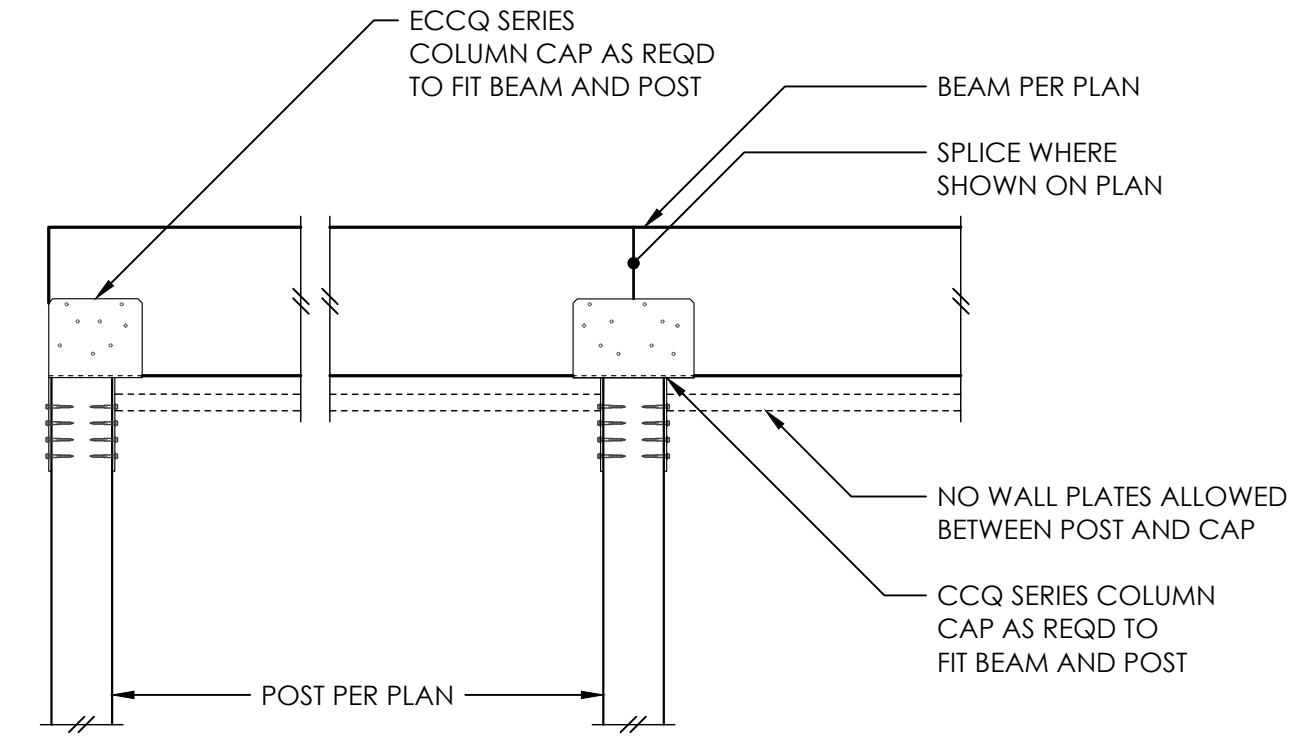


SHEARWALL SCHEDULE

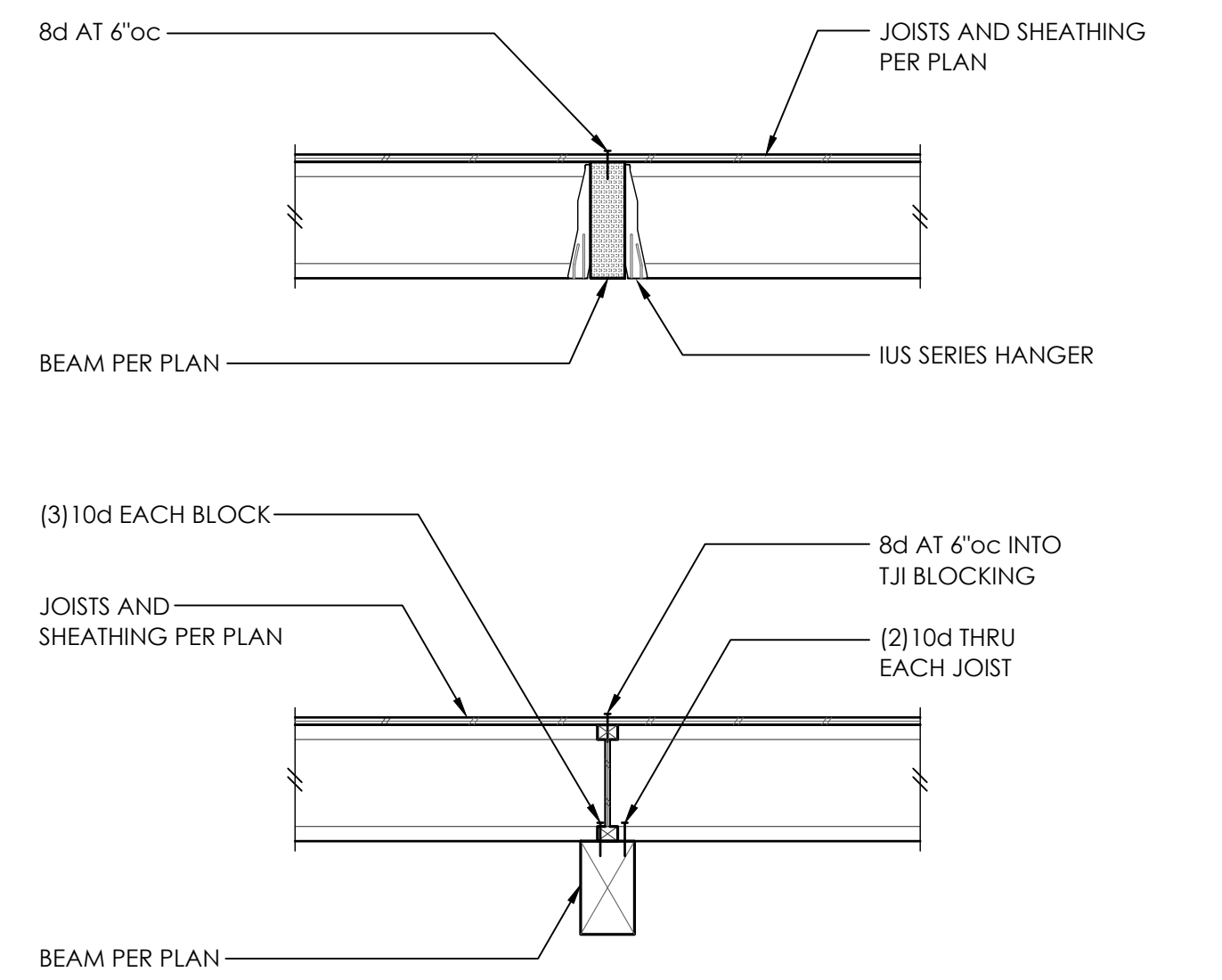
| MARK | SHEATHING | PANEL EDGE NAILING | TOP PLATE CONNECTION | | BASE PLATE CONNECTION | |
|-------|-------------------------------|--------------------|----------------------|--------------|-----------------------|-------------------|
| | | | TJI/2x | RIM/BEAM | AT WOOD | AT CONCRETE |
| SW6 | 1/2" PLY or 7/16" OSB | 8d AT 6"oc | 10d AT 6"oc | A35 AT 30"oc | 12d AT 6"oc | 5/8"Ø AB AT 48"oc |
| SW4 | 1/2" PLY or 7/16" OSB | 8d AT 4"oc | 10d AT 4"oc | A35 AT 18"oc | 12d AT 4"oc | 5/8"Ø AB AT 42"oc |
| SW3 | 1/2" PLY or 7/16" OSB | 8d AT 3"oc | (2)ROWS 10d AT 6"oc | A35 AT 16"oc | (2)ROWS 12d AT 6"oc | 5/8"Ø AB AT 36"oc |
| SW2 | 1/2" PLY or 7/16" OSB | 8d AT 2"oc | (2)ROWS 10d AT 4"oc | A35 AT 12"oc | (2)ROWS 12d AT 4"oc | 5/8"Ø AB AT 24"oc |
| SW3-2 | 1/2" PLY or 7/16" OSB EA SIDE | 8d AT 3"oc EA SIDE | N/A | A35 AT 8"oc | (2)ROWS 12d AT 3"oc | 5/8"Ø AB AT 18"oc |
| SW2-2 | 1/2" PLY or 7/16" OSB EA SIDE | 8d AT 2"oc EA SIDE | N/A | A35 AT 6"oc | (3)ROWS 12d AT 3"oc | 5/8"Ø AB AT 12"oc |

- ① BLOCK PANEL EDGES WITH 2x4 LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d AT 12"oc.
- ② 8d NAILS SHALL BE 0.131"Ø x 2-1/2", 10d NAILS SHALL BE 0.131"Ø x 3", AND 12d NAILS SHALL BE 0.131"Ø x 3-1/4".
- ③ EMBED CAST IN PLACE ANCHOR BOLTS AT LEAST 7". EPOXY EMBED POST INSTALLED 5/8"Ø THREADED ROD 5" MIN w/ SET-3G OR USE 5/8"Ø x 8" TITEN HD SCREWS, UNO. ALL BOLTS SHALL HAVE 3" x 3" x 0.229" PLATE WASHERS. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE(S) w/ SHEATHING. AT 2x6 SW3-2 AND SW2-2 WALLS, PROVIDE 4-1/2" x 3" x 0.229" PLATE WASHERS CENTERED ON PLATE.
- ④ 3x STUDS OR DBL STUDS NAILED TOGETHER w/ 10d NAILING IS REQD AT ABUTTING PANEL EDGES OF SW3, SW2, SW3-2, AND SW2-2. REFER TO DETAIL C. WHERE 3x STUDS ARE USED, STAGGER NAILS AT ADJOINING PANEL EDGES. ABUTTING PANEL EDGES SHALL BE OFFSET EACH SIDE OF WALL AT SW3-2 AND SW2-2.
- ⑤ TWO STUDS MINIMUM OR POST PER PLAN ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING.
- ⑥ ALL NEW EXTERIOR WALLS SHALL BE SW6, UNLESS NOTED OTHERWISE.
- ⑦ NAILS SHALL NOT BE SPACED LESS THAN 3/8" FROM EDGES OF SHEATHING. SHEATHING NAILS SHALL BE DRIVEN SO THEIR HEADS ARE FLUSH WITH SHEATHING (NOT COUNTERSUNK).
- ⑧ LTP4's INSTALLED OVER SHEATHING WITH 8d (0.131"Ø x 2-1/2") NAILS MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- ⑨ A35's OR LTP4's MAY BE ELIMINATED PER DETAIL A OR DETAIL B.

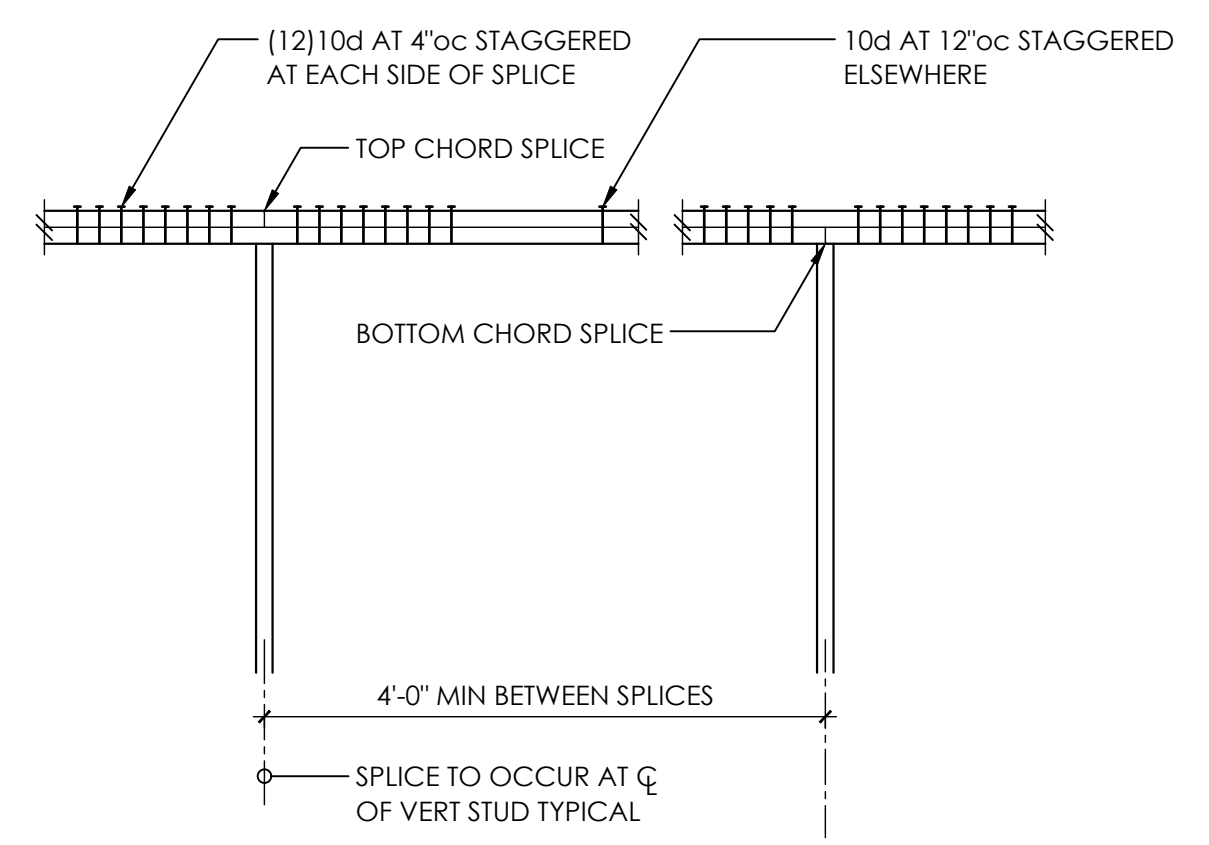
4



5

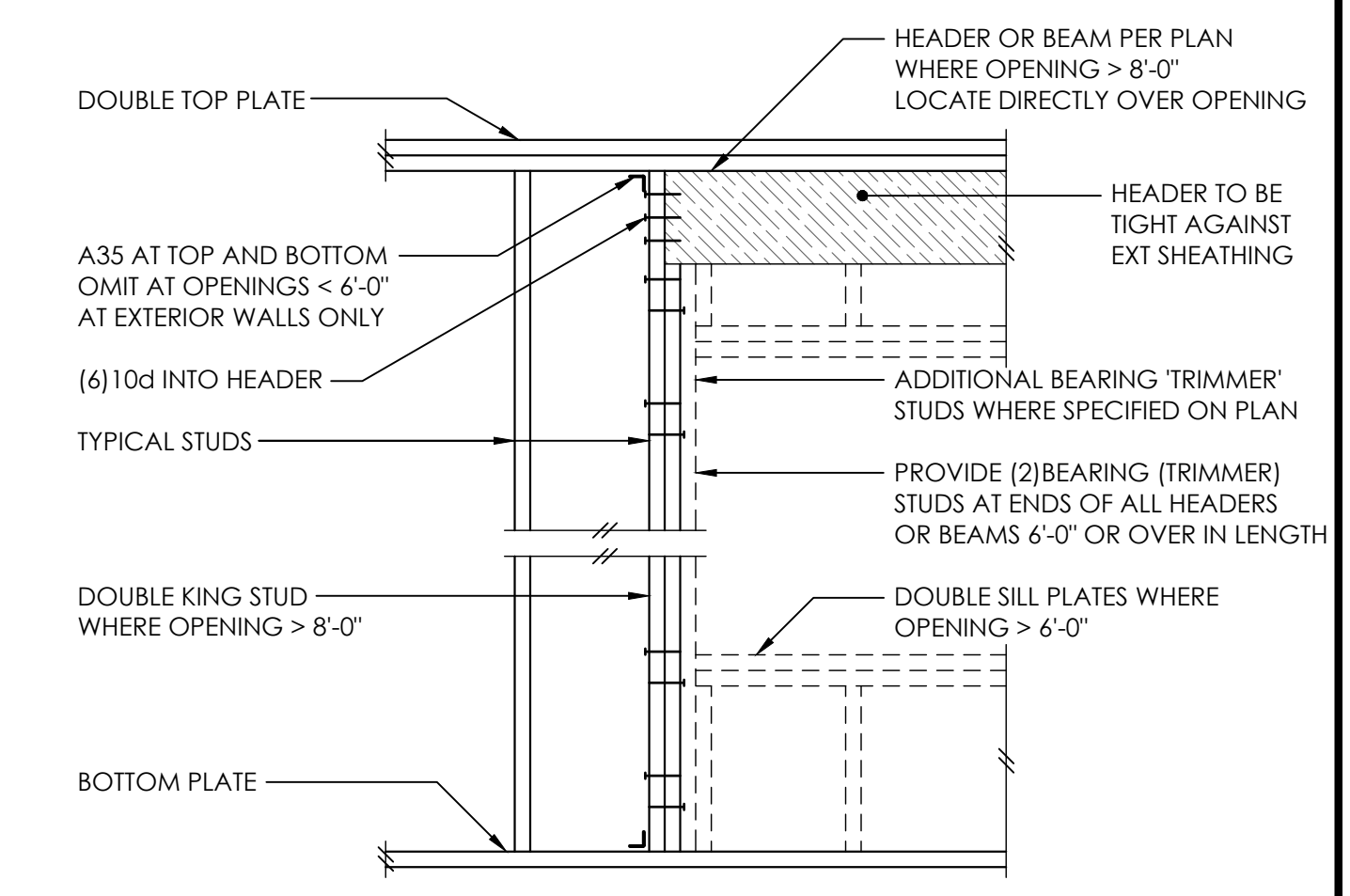


TYPICAL FLUSH AND DROPPED BEAM 6

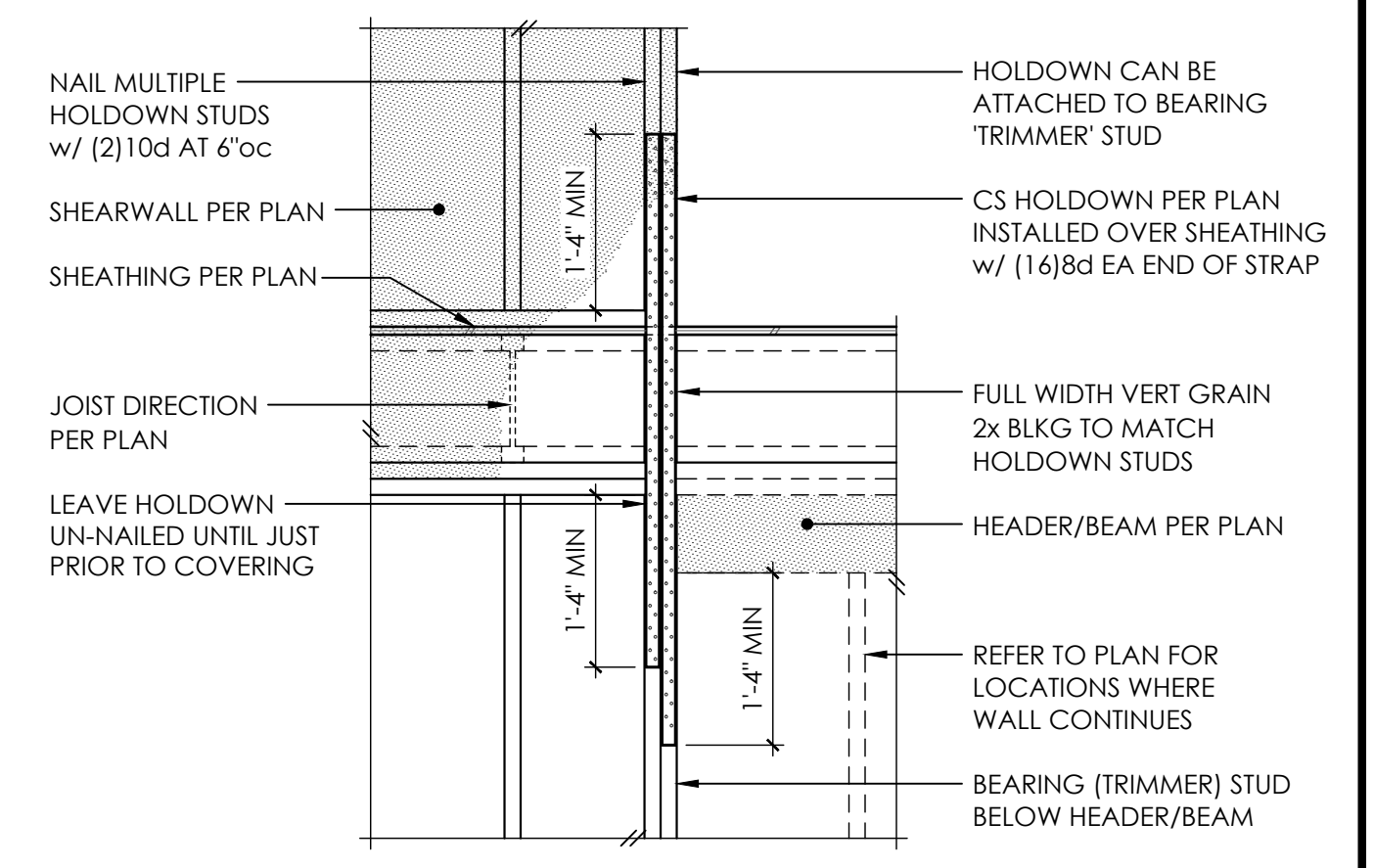


- NOTE:**
1. NAILING AT TOP PLATE SPLICES MAY BE ELIMINATED w/ CS16 x 30"
 2. WHERE VERTICAL PENETRATIONS THRU PLATE EXCEED 1" FOR A 4x WALL OR 3" FOR A 6x WALL - PROVIDE CS16 x 30" AT TOP PLATE
 3. MINIMUM EDGE DISTANCE FOR VERTICAL PENETRATIONS THRU TOP PLATE IS 1-1/4"

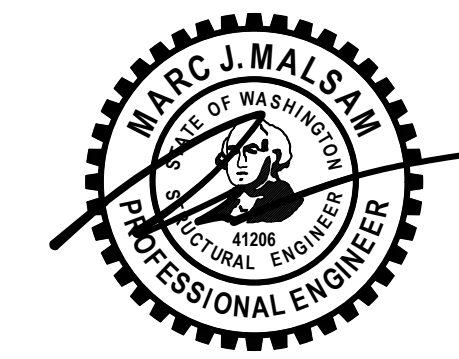
TYPICAL TOP PLATE SPLICE 7



TYPICAL HEADER SUPPORT 8



TYPICAL CS16 HOLDDOWN 12



PROJECT NO 0463.2023.05.01
PROJECT MANAGER WAC
DRAWN JSD
ENGINEER BLAKE RASSILVER
206.602.5452
BLAKER@MALSAM-TSANG.COM

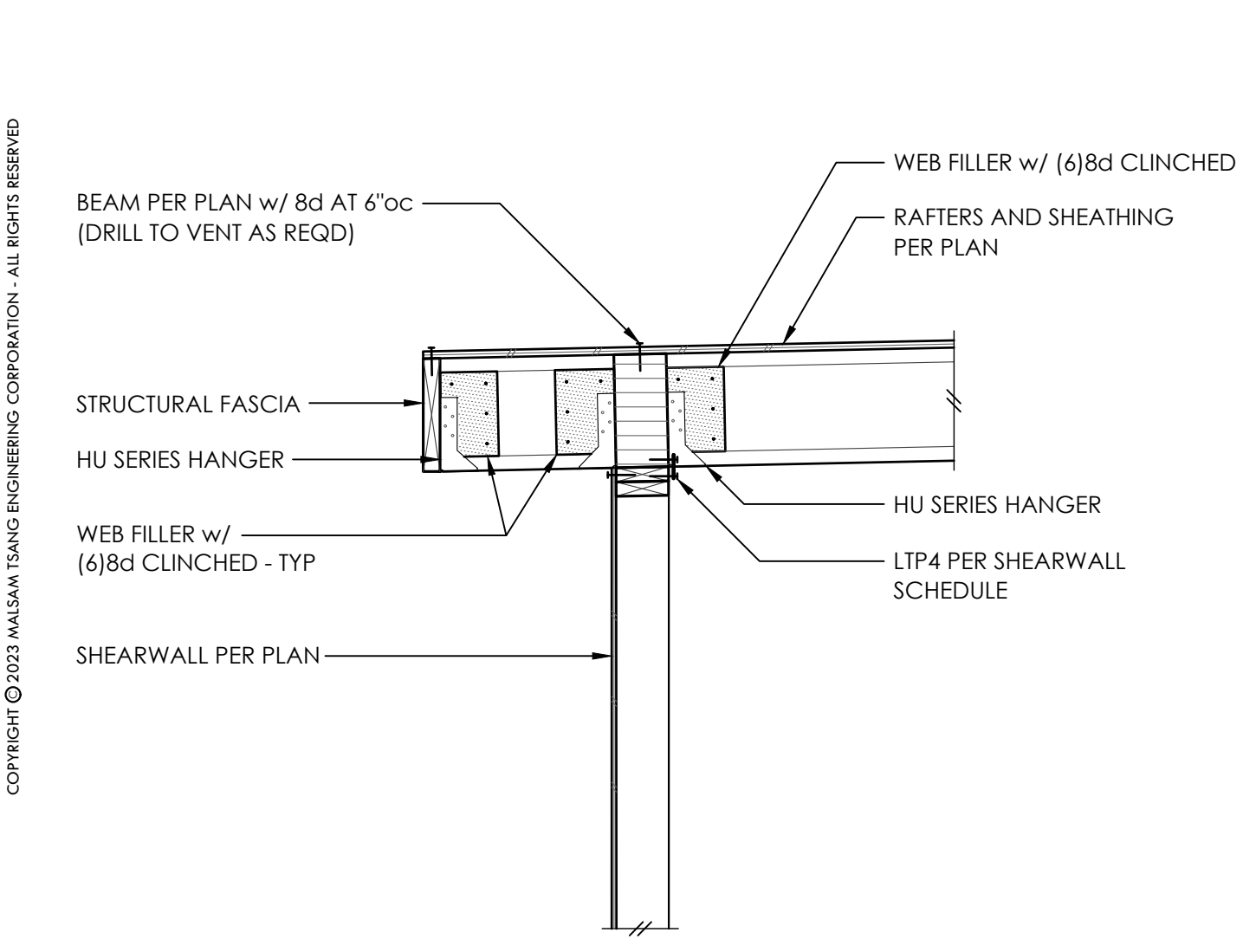
| REV | DESCRIPTION | DATE |
|----------------|-------------|---------|
| PERMIT SET | | 1.30.24 |
| PLAN REVISIONS | | 5.31.24 |

ARCH McCLELLAN ARCHITECTS
206.728.0480
CLIENT IZABELA & ROBERT TEKIELA

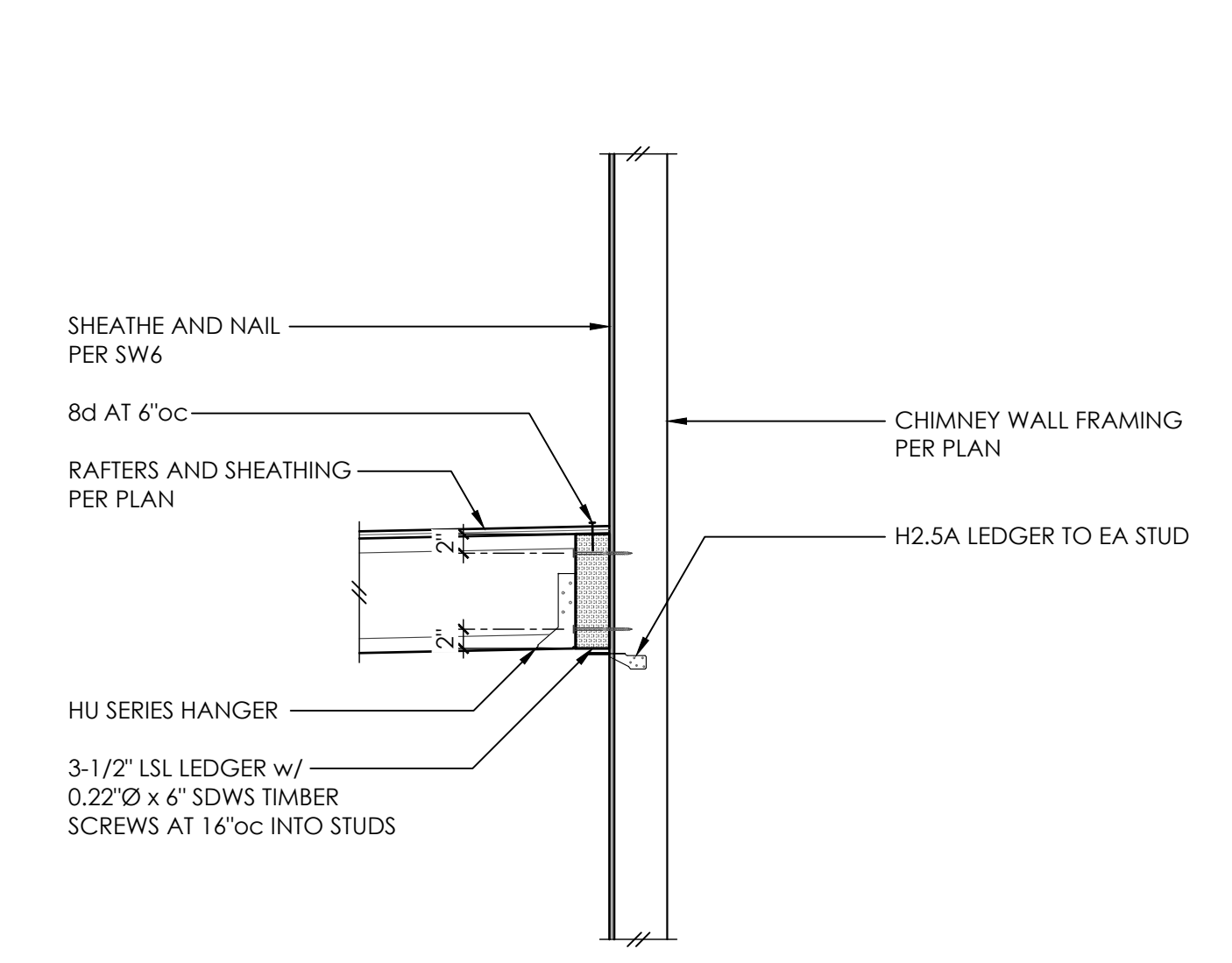
TYPICAL WOOD FRAMING DETAILS

Plotted by: RobertC
Plotted Date: May 31, 2024 - 9:27am

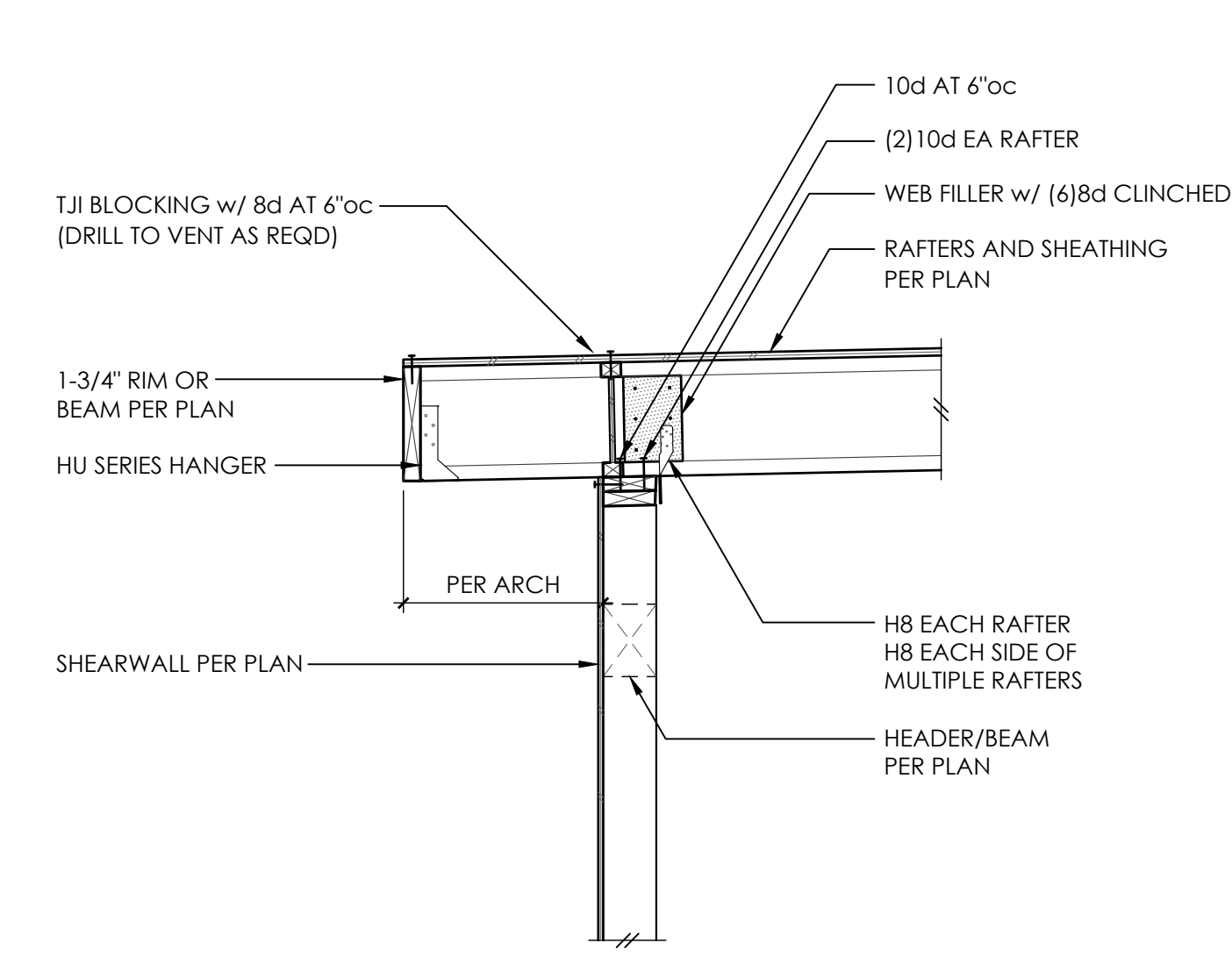
COPYRIGHT © 2023 MALSAM-TSANG ENGINEERING CORPORATION - ALL RIGHTS RESERVED



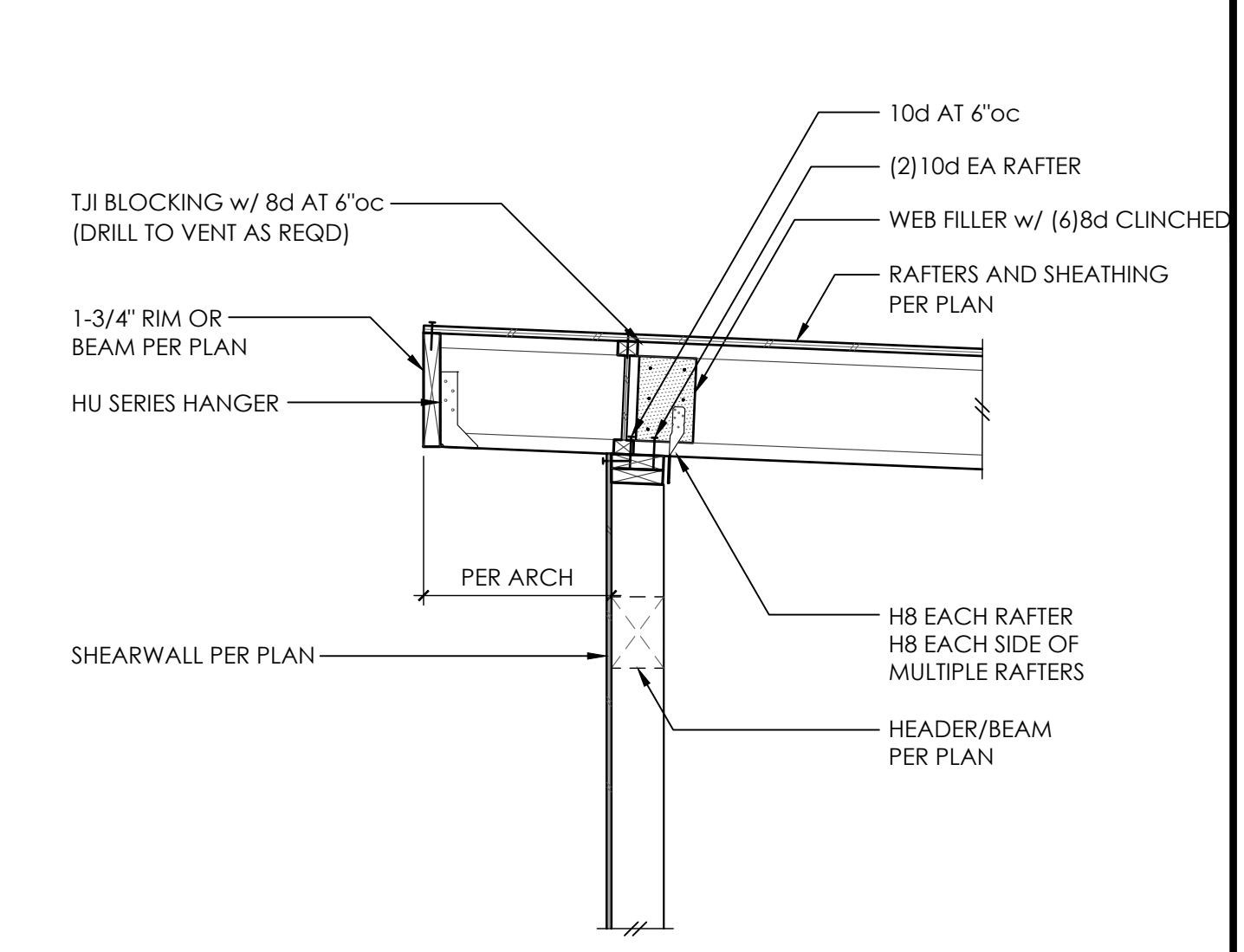
1



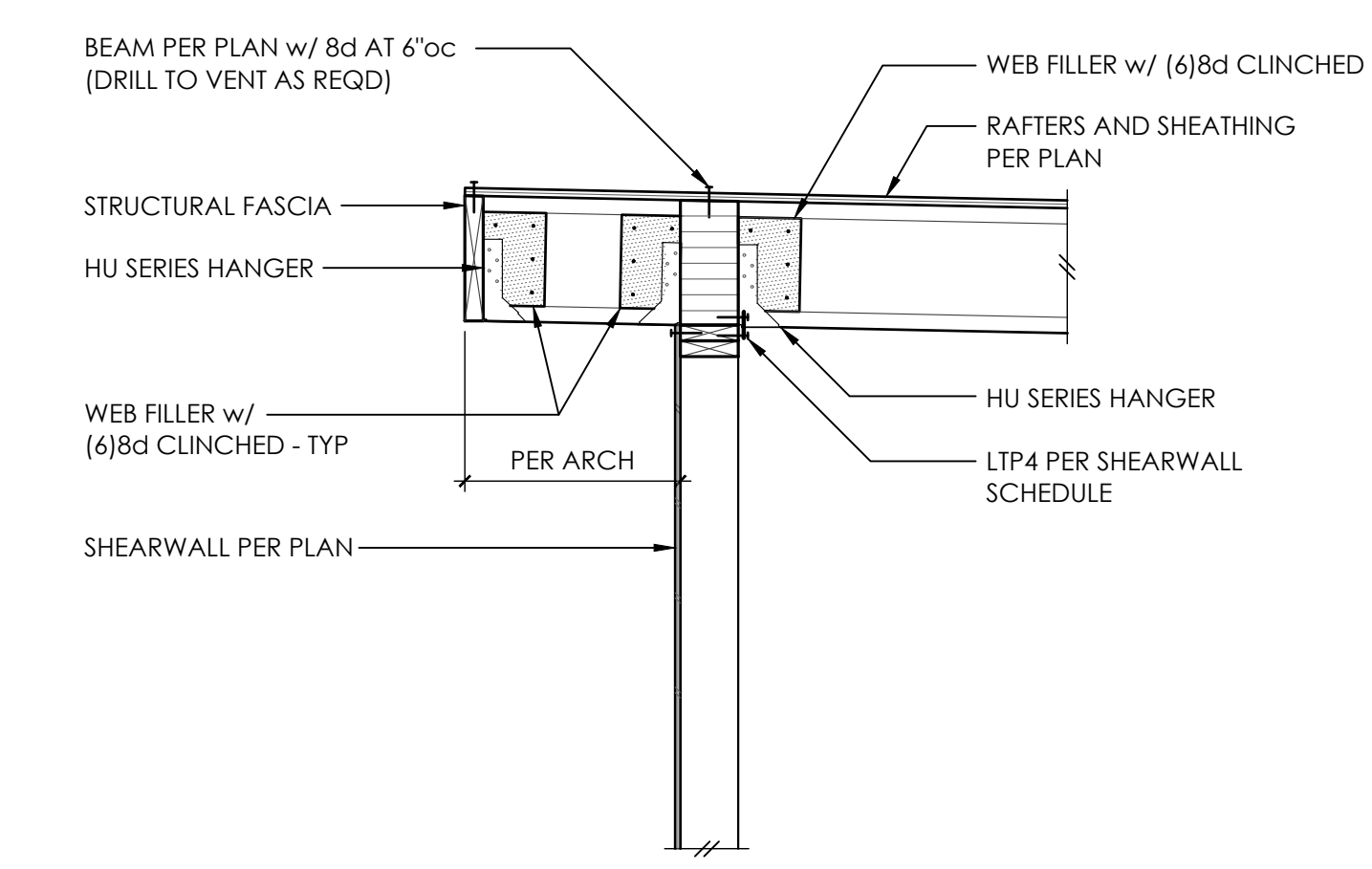
2



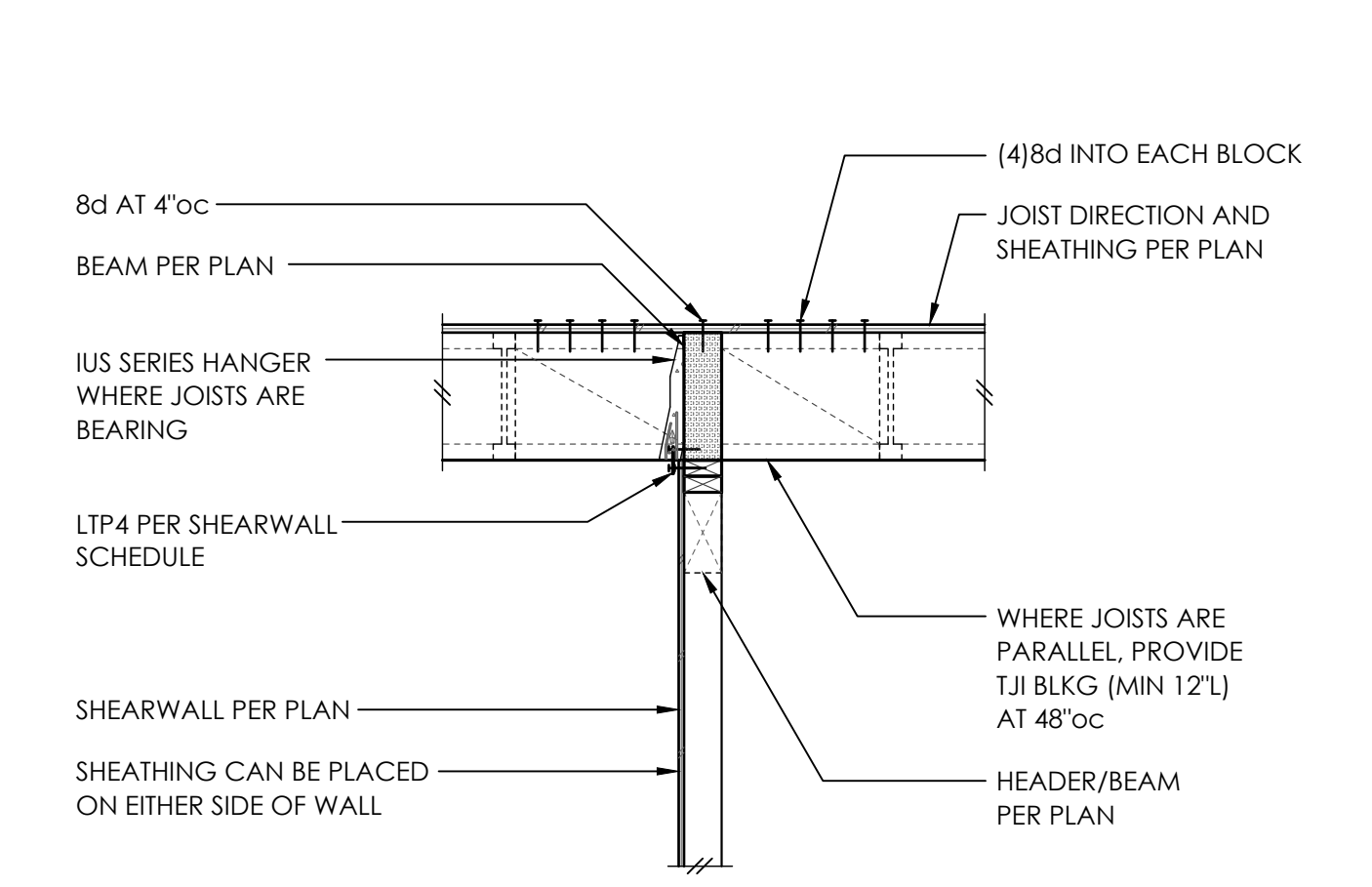
3



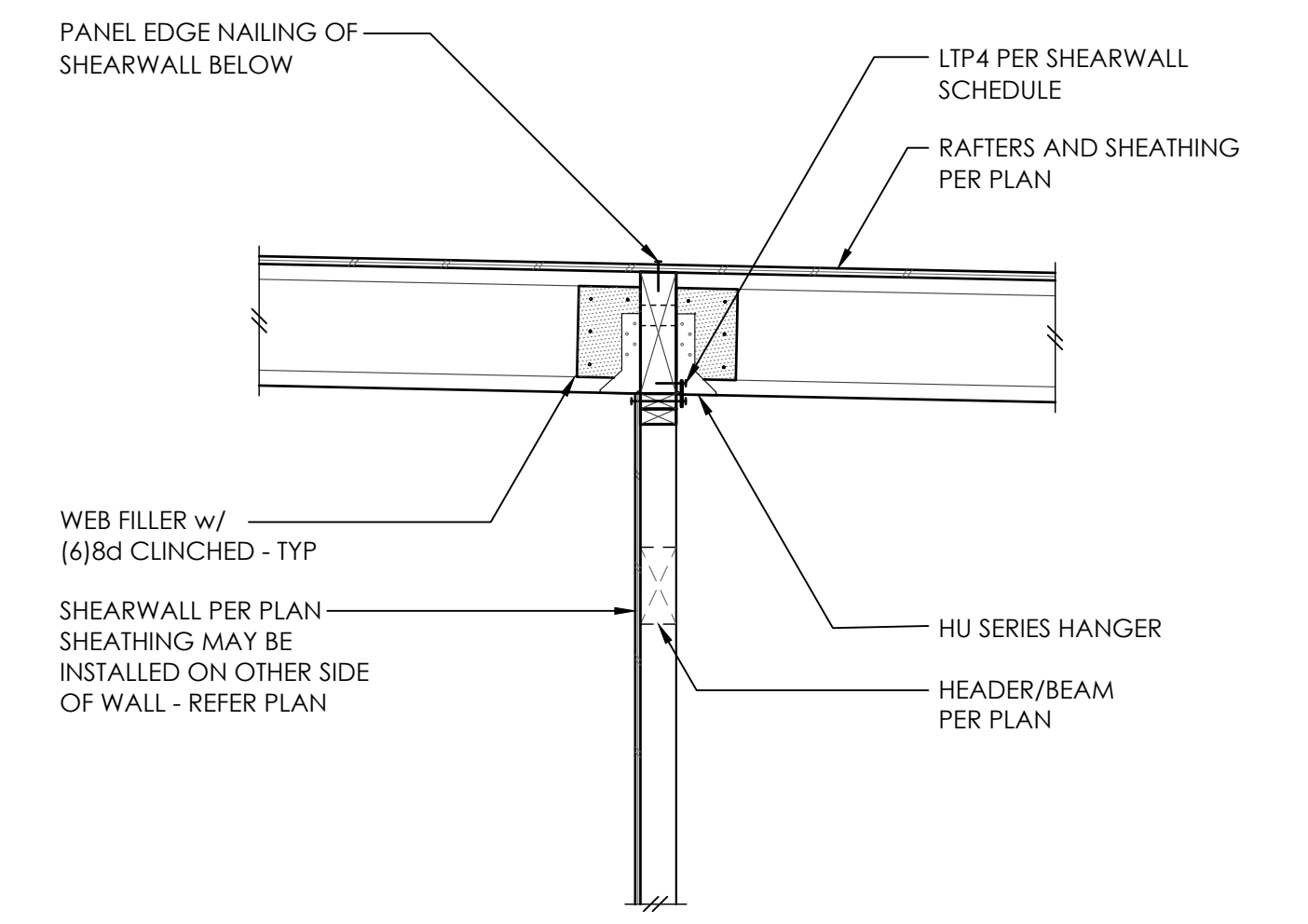
4



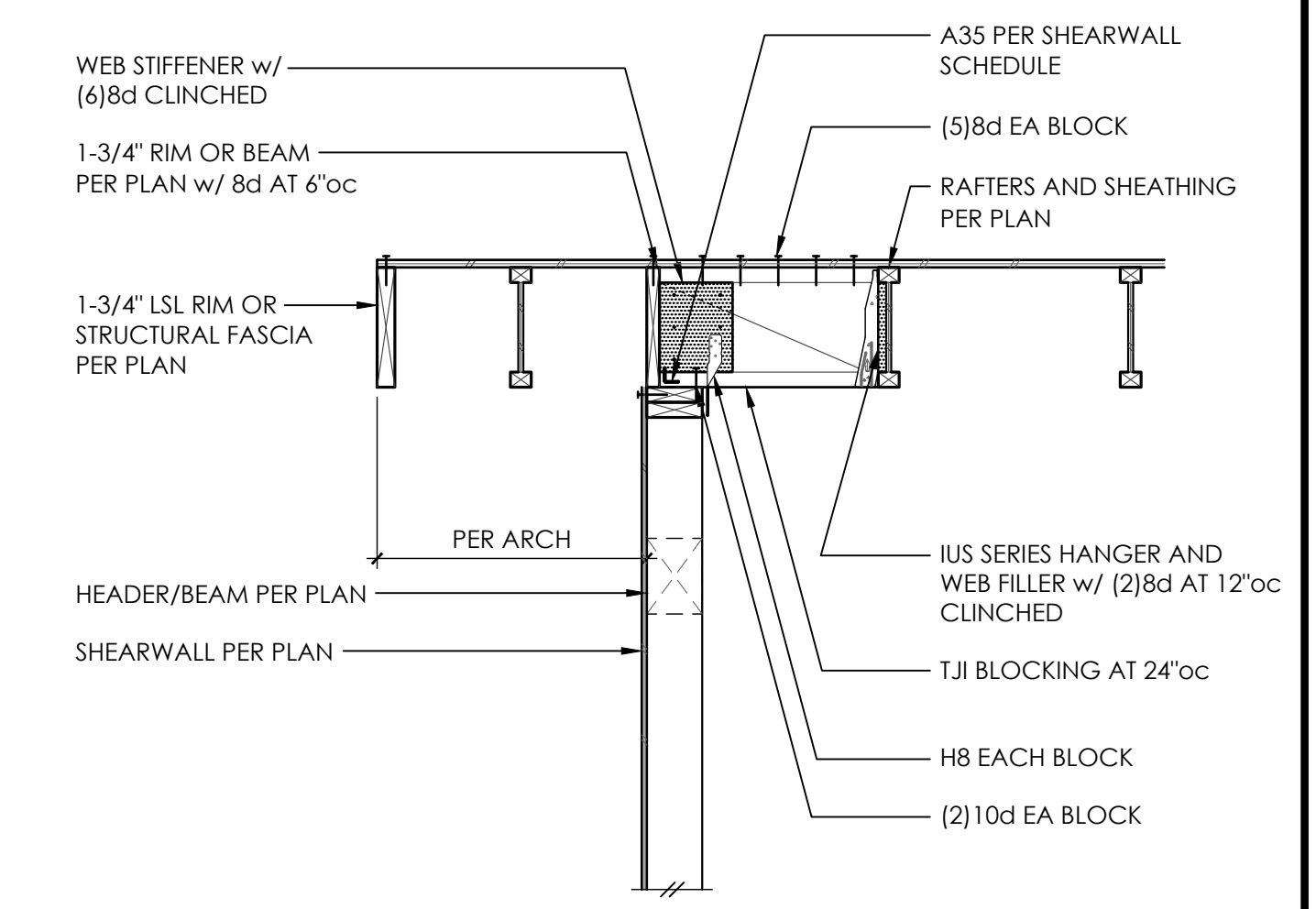
5



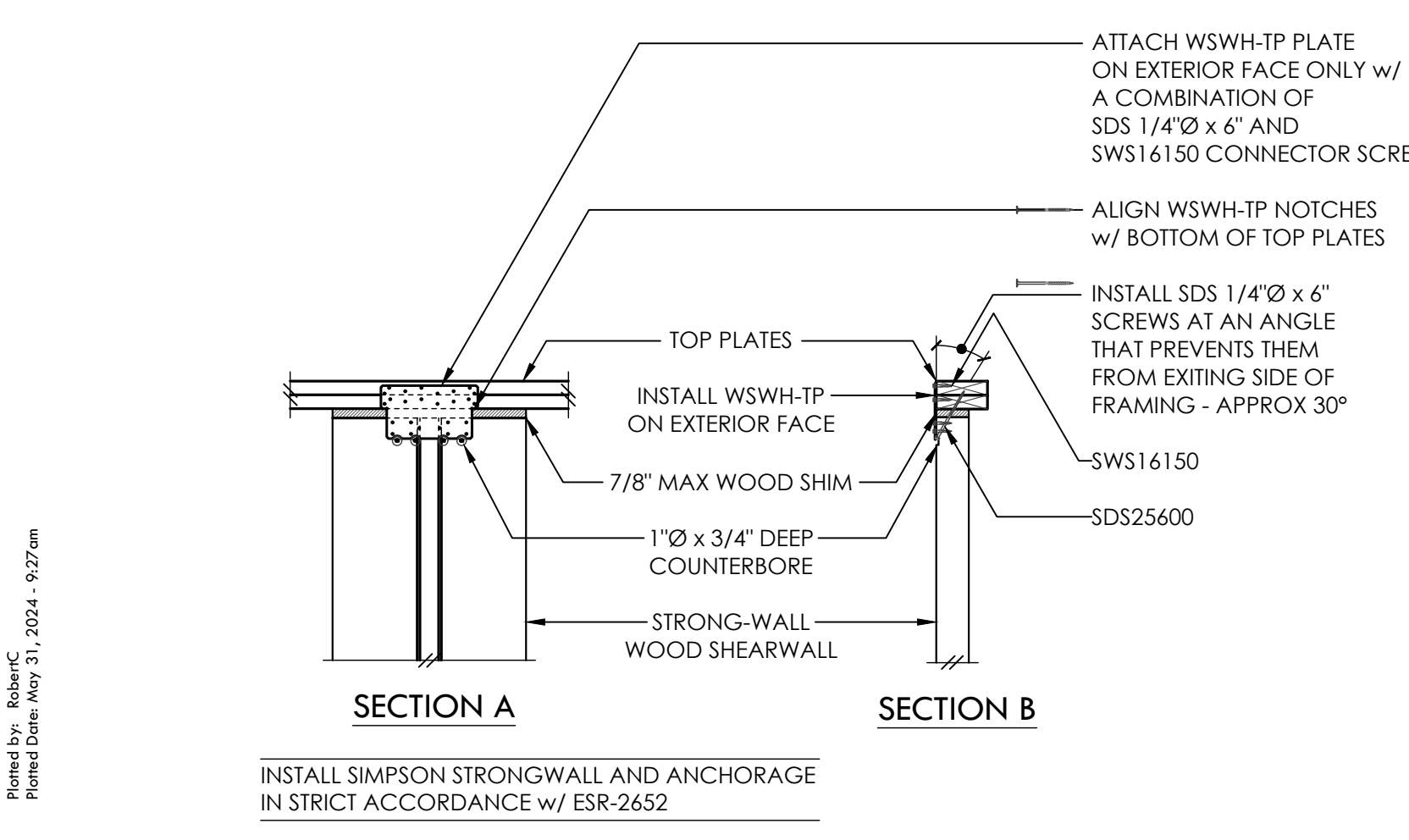
6



7

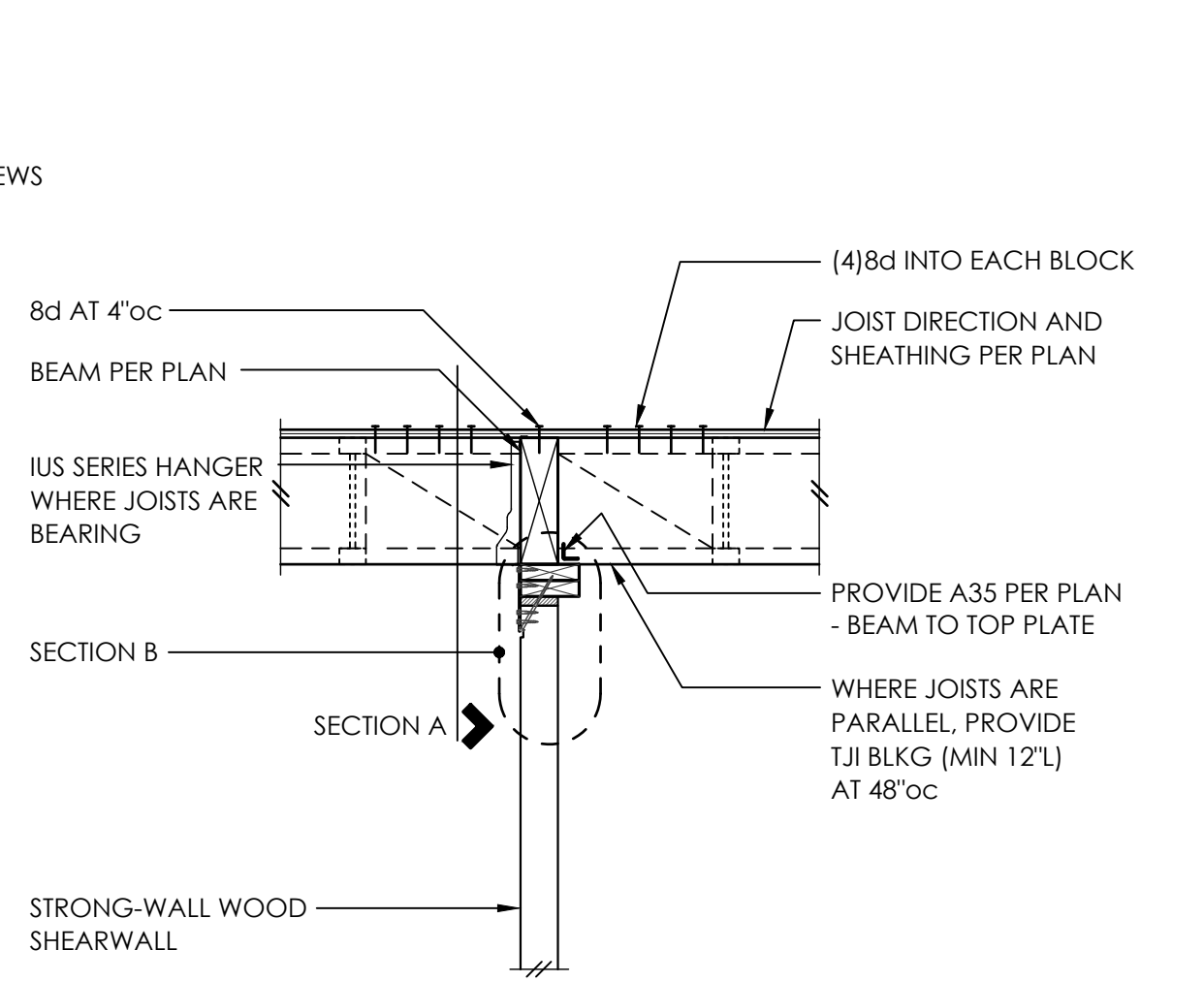


8

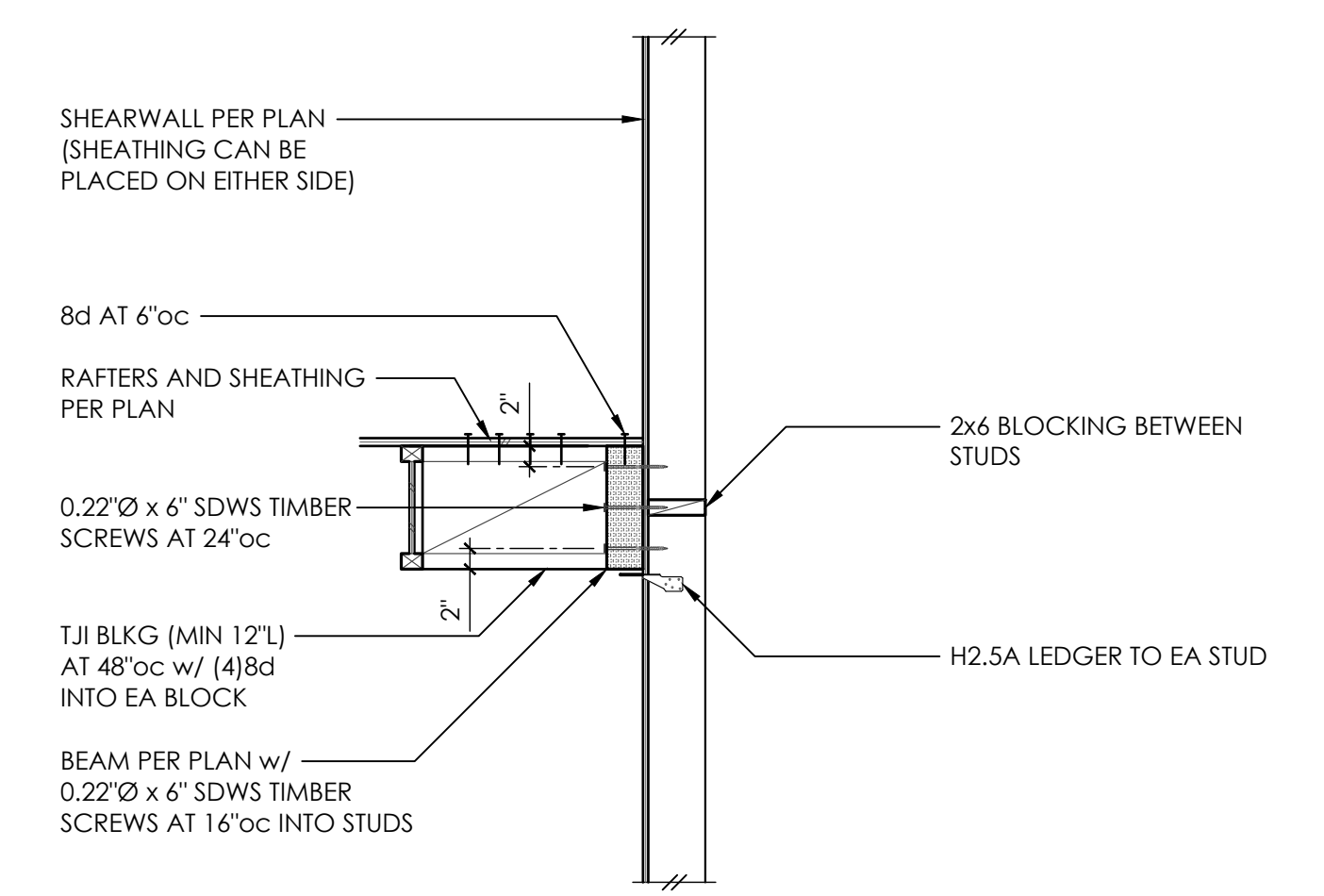


Printed by: Robert C. Formed Date: May 31, 2024 - 9:27am

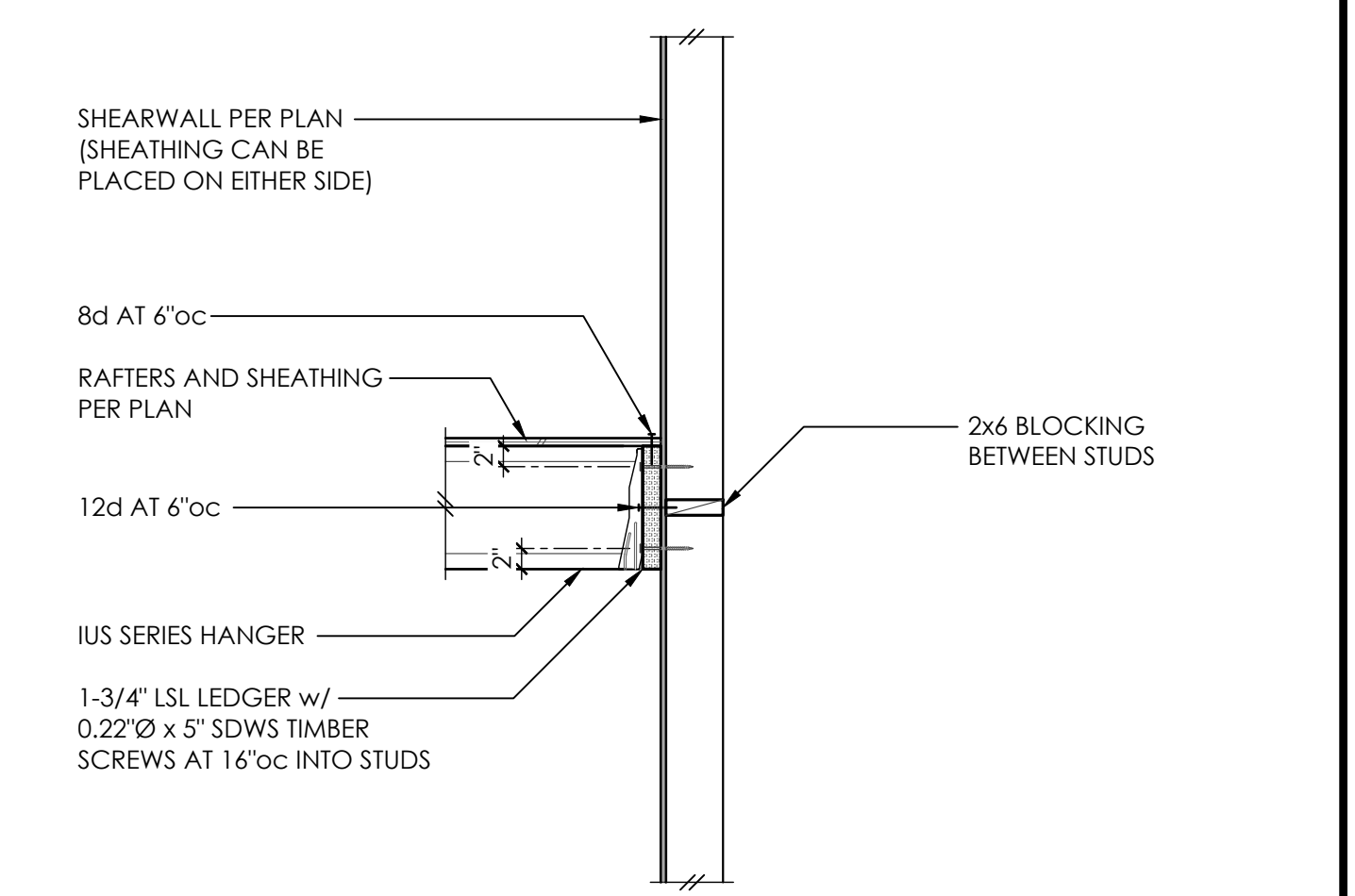
CONTRACTOR TO REFER TO SIMPSON STRONG WALL SHOP DRAWINGS AND PRODUCT INSTALLATION GUIDELINES TO ENSURE INSTALLATION CONFORMANCE



STRONG-WALL - TOP CONNECTION 10



11

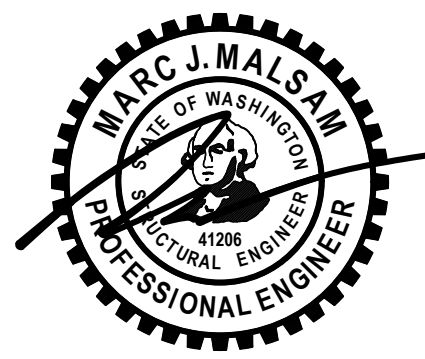


12



122 S JACKSON ST. SUITE 210 SEATTLE, WA 98104 - 206.789.0239

6520 82ND AVE SE MERCER ISLAND, WA



PROJECT NO 0463.2023.05.01
 PROJECT MANAGER WAC
 DRAWN JSD
 ENGINEER BLAKE RASSILVER
 206.602.5452
 BLAKER@MALSAM-TSANG.COM

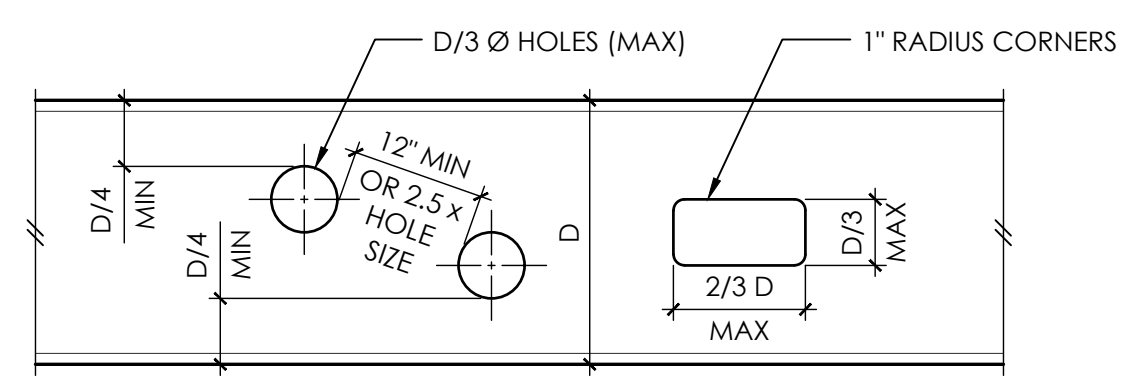
| REV | DESCRIPTION | DATE |
|----------------|-------------|---------|
| PERMIT SET | | 1.30.24 |
| PLAN REVISIONS | | 5.31.24 |

ARCH McCLELLAN ARCHITECTS 206.728.0480
 CLIENT IZABELA & ROBERT TEKIELA

WOOD FRAMING DETAILS

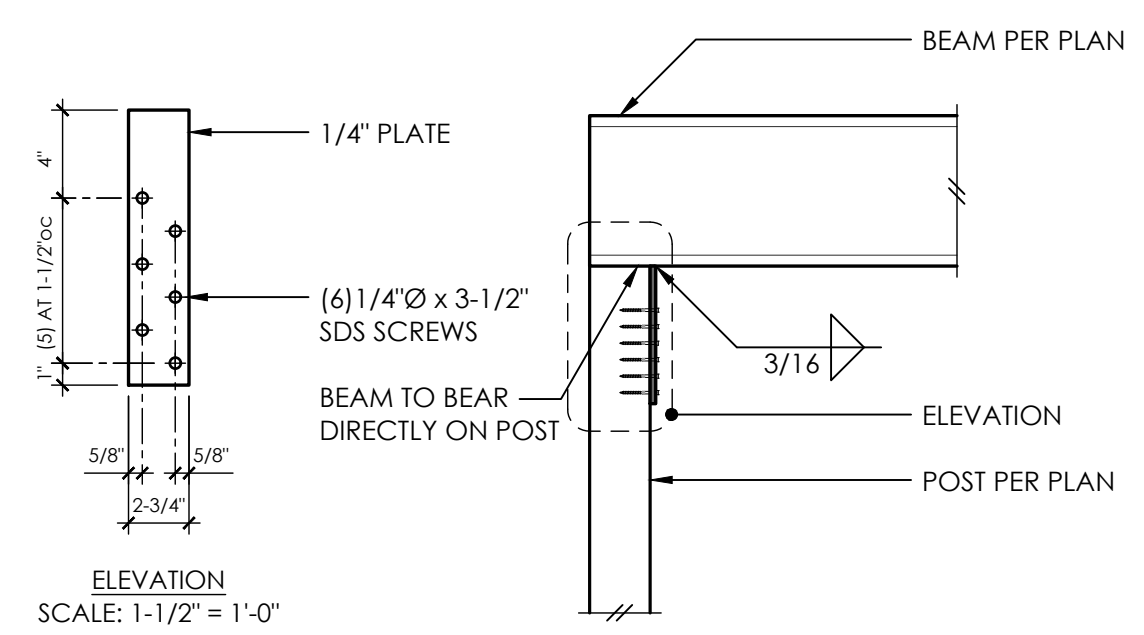
S4.1
 SCALE - NTS

COPYRIGHT © 2023 MALSAM TSANG ENGINEERING CORPORATION - ALL RIGHTS RESERVED

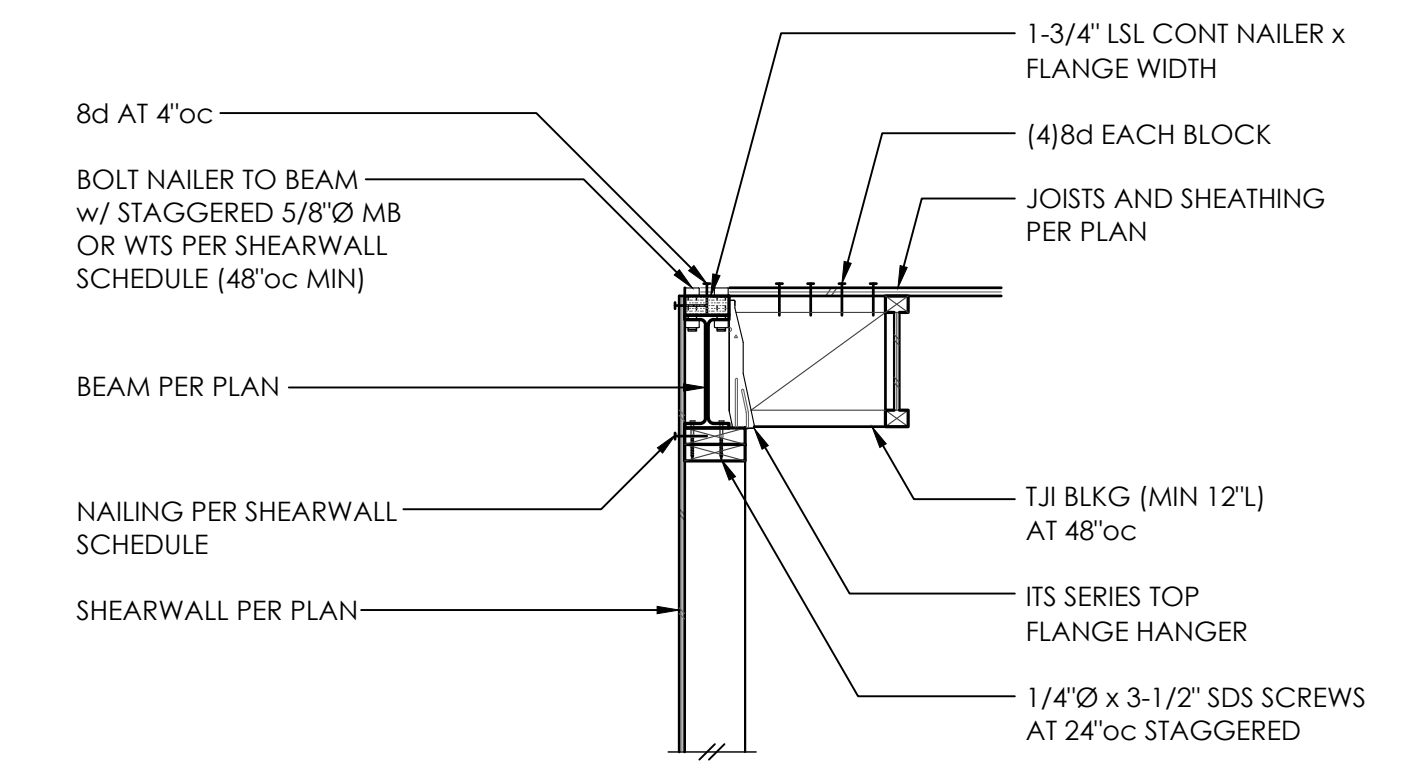


1. CONTRACTOR SHALL COORDINATE SIZES AND LOCATIONS OF ALL BEAM PENETRATIONS W/ MECHANICAL DRAWINGS. ALL PENETRATIONS LARGER THAN 2" Ø SHALL BE SHOWN ON SHOP DRAWINGS OR SKETCHES AND SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. FIELD CUTTING NOT PERMITTED WITHOUT APPROVAL.
2. OPENINGS MAY OCCUR IN MIDDLE HALF OF BEAM LENGTH ONLY.
3. NO CUTTING MAY OCCUR IN TOP OR BOTTOM QUARTER OF BEAM DEPTH.
4. ADJACENT OPENINGS MUST BE SPACED AT THE GREATER OF, 12" OR 2.5 x LARGER OPENING SIZE, EDGE TO EDGE.
5. MAXIMUM SIZES OF OPENINGS SHALL BE D/3 Ø OR D/3 x 2D/3 AS SHOWN.
6. NO OPENINGS SHALL OCCUR WITHIN 12" OF AN ADJACENT BEAM CONNECTION.
7. REQUIRED OPENINGS NOT MEETING ABOVE CRITERIA SHALL BE SUBMITTED TO ENGINEER FOR REINFORCING DESIGN.

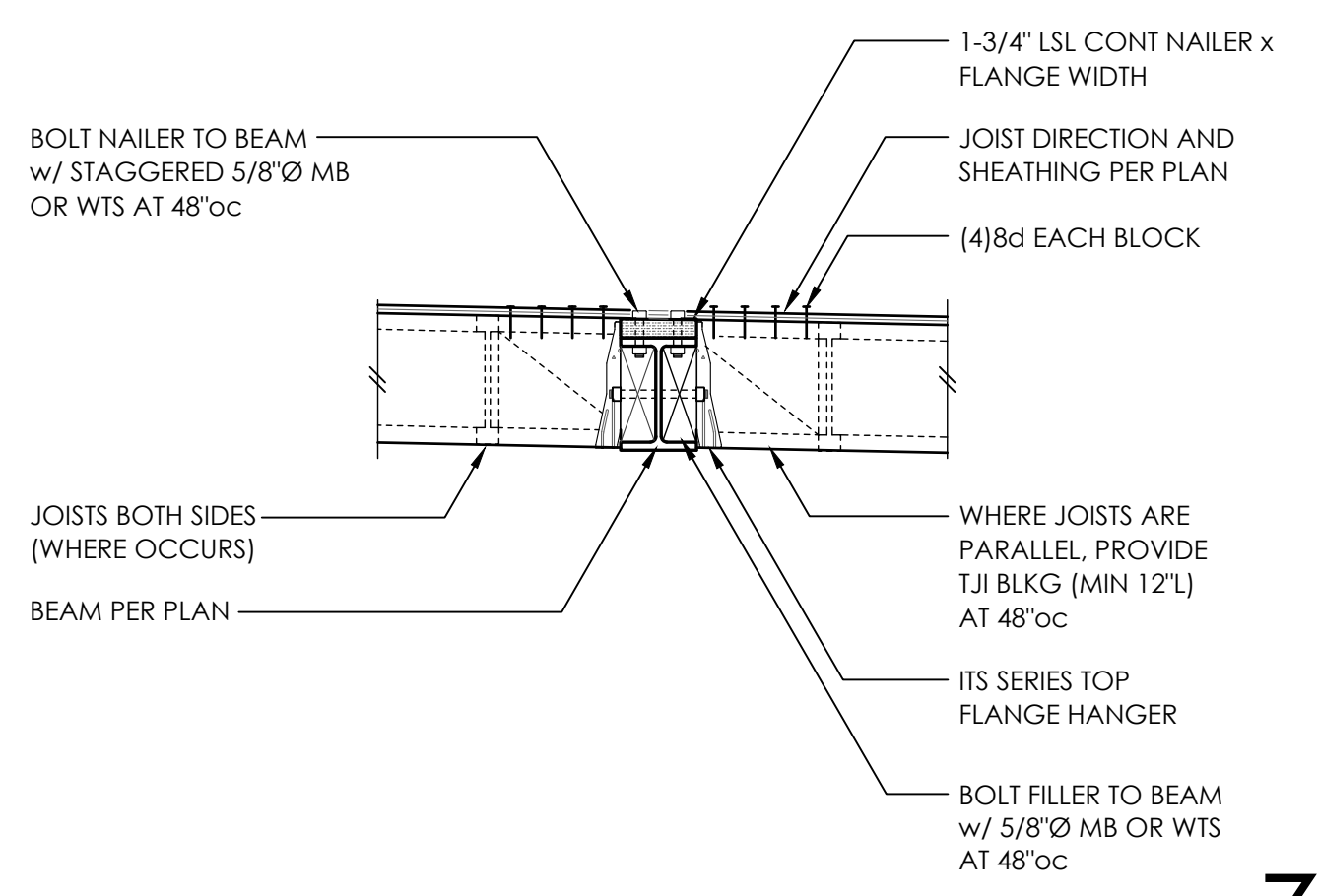
TYPICAL STEEL BEAM PENETRATIONS **1**



2

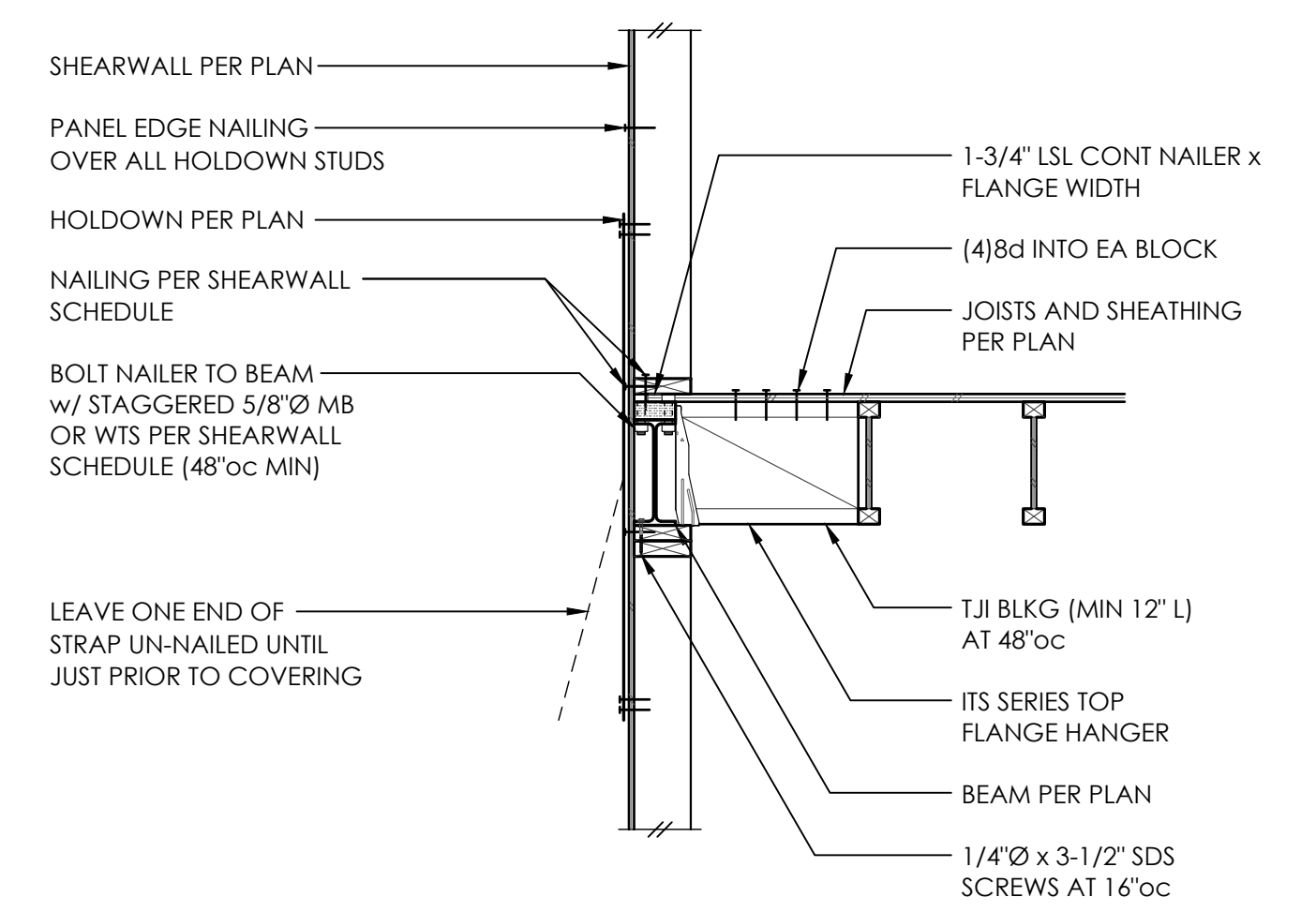


3



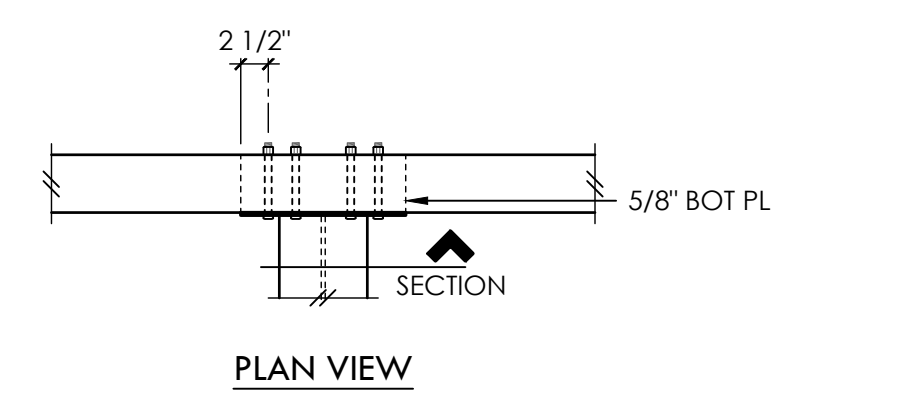
5

6



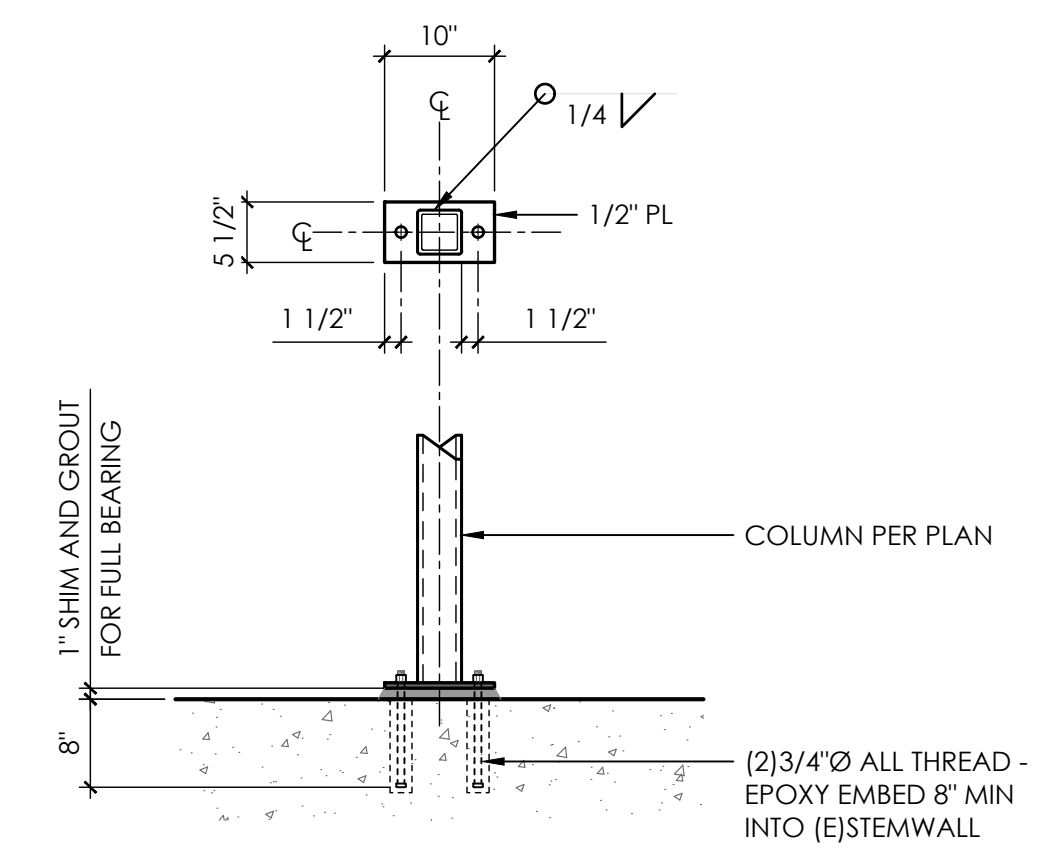
7

8

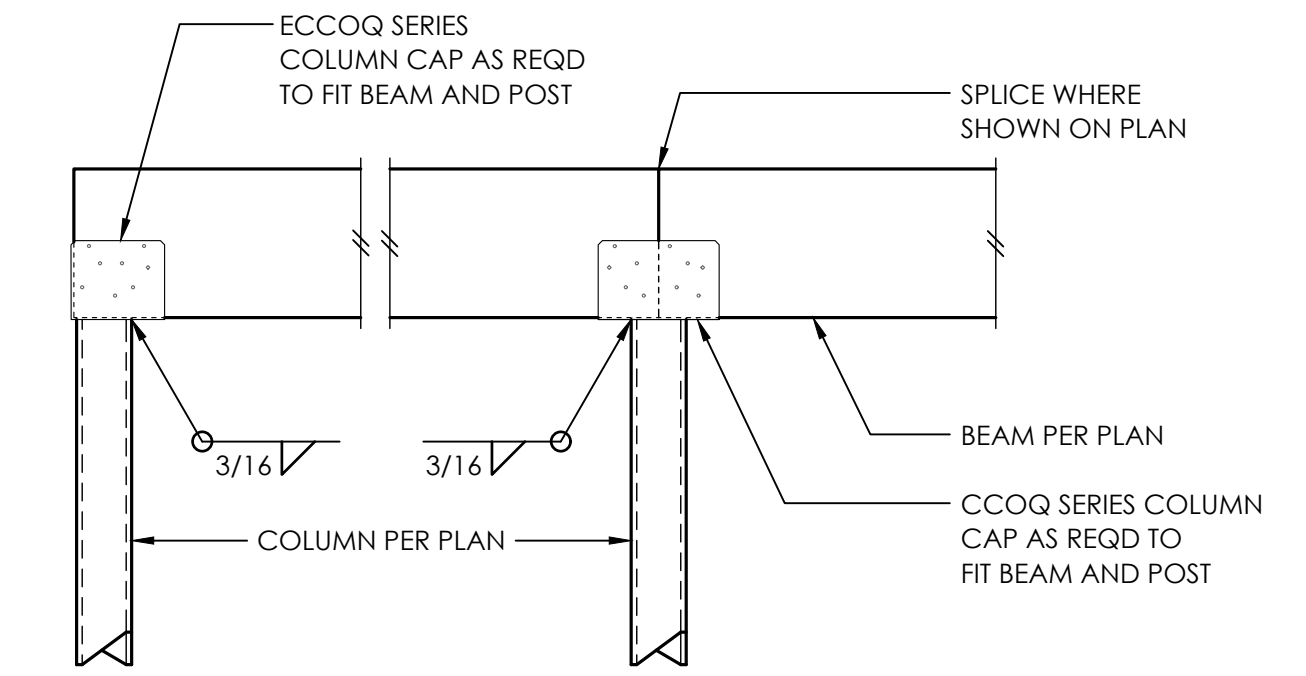


9

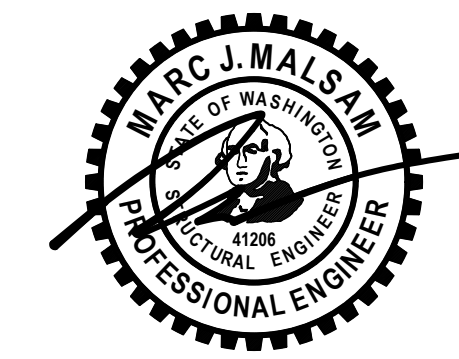
TYPICAL STEEL TO WOOD BEAM CONNECTION **10**



BASEPLATE - HSS COLUMN **11**



TYPICAL CCOQ / ECCOQ COLUMN CAP **12**



PROJECT NO 0463.2023.05.01
PROJECT MANAGER WAC
DRAWN JSD
ENGINEER BLAKE RASSILYER
206.602.5452
BLAKER@MALSAM-TSANG.COM

| REV | DESCRIPTION | DATE |
|------------------|-------------|---------|
| PERMIT SET | | 1.30.24 |
| △ PLAN REVISIONS | | 5.31.24 |

ARCH McCLELLAN ARCHITECTS 206.728.0480
CLIENT IZABELA & ROBERT TEKIELA

**STEEL FRAMING
DETAILS**

S5.0
SCALE - NTS

Printed by: Robert C
Printed Date: May 31, 2024 - 9:27am