

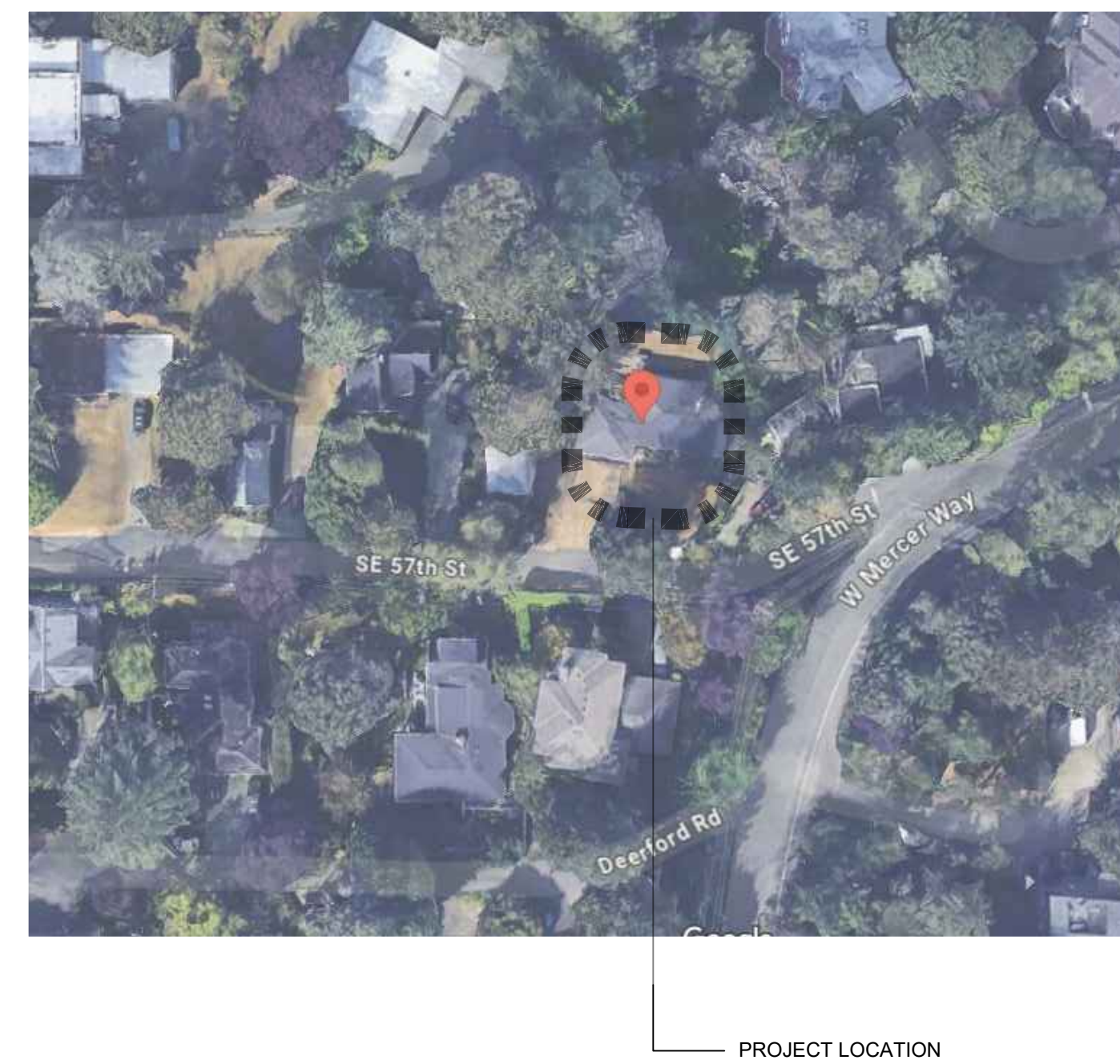
**MATERIAL KEY**

	CONCRETE		CONTINUOUS STRUCTURAL FRAMING MEMBER
	GRAVEL FILL		BLOCKING (NOT CONTINUOUS)
	UNDISTURBED SOIL		WOOD FINISH MATERIAL
	SAND FILL		PLYWOOD
	RIGID INSULATION		HIDDEN OR BURIED MATERIAL IN ANOTHER MATERIAL
	BATT INSULATION		
	MASONRY-BRICK OR CONCRETE BLOCK		

**DRAWING SYMBOL KEY**

<b>GRID BUBBLE</b>		<b>CEILING HEIGHT TAG</b>	
	GRID NO.		CEILING HEIGHT DIMENSION
<b>DETAIL TAG</b>		<b>INTERIOR ELEVATION TAG</b>	
	DETAIL NO. SHEET NO.		ELEVATION NO. SHEET NO.
<b>SECTION TAG</b>		<b>FINISH TAG</b>	
	SECTION LETTER SHEET NO.		FINISH TYPE & NO.
<b>DOOR TAG</b>		<b>KEYNOTE TAG</b>	
	DOOR NO.		KEYNOTE NO.
<b>WINDOW TAG</b>		<b>SAFETY GLAZING</b>	
	WINDOW NO.		SAFETY GLAZING
<b>WALL TAG</b>		<b>FAN</b>	
	WALL TYPE		EXHAUST FAN W/ CFM
<b>SMOKE &amp; CARBON MONOXIDE DETECTORS</b>		<b>DATUM TAG</b>	
	SMOKE DETECTOR		DATUM LEVEL
	COMBINATION SMOKE & CO DETECTOR		

**VICINITY MAP**



**DRAWING INDEX**

<b>GENERAL</b>	G0.1 G0.2 G0.3 X100	GENERAL NOTES, LEGENDS & ABBREVIATIONS SITE PLAN SURVEY ARBORIST TREE PLAN
<b>ARCHITECTURAL</b>	A1.0 A1.1 A1.2  A2.1  A3.1 A3.2  A4.1 A4.2  A5.1 A5.2  A6.1	FOUNDATION PLAN FIRST FLOOR PLAN SECOND FLOOR PLAN  ROOF PLAN  ELEVATIONS ELEVATIONS  BUILDING SECTIONS BUILDING SECTIONS  WALL ASSEMBLIES CONSTRUCTION DETAILS  DOOR & WINDOW SCHEDULES
<b>STRUCTURAL</b>	S1.0  S2.0 S2.1 S2.2  S3.0  S4.0 S4.0  S7.0 S7.1	GENERAL NOTES  FOUNDATION PLAN FRAMING PLAN FRAMING PLAN  DETAILS  DETAILS DETAILS  DETAILS DETAILS

**ABBREVIATIONS**

AFF & @	ABOVE FINISH FLOOR AND APPROXIMATE(LY)	MECH.	MECHANICAL
BD. BLDG.	BOARD BUILDING	MFR.	MANUFACTURER
CLG.	CENTER LINE	MIN.	MINIMUM
C.I.	CEILING	M.O.	MASONRY OPENING
C.J.	CONTINUOUS INSULATION	N.I.C.	NOT IN CONTRACT
CMU.	CONTROL JOINT	N.T.S.	NOT TO SCALE
CONC. CONT.	CONCRETE MASONRY UNIT	#	NUMBER
C.T.	CONCRETE CONTINUOUS CERAMIC TILE	O.C.	ON CENTER
D.	DRYER	OPG.	OPENING
DW	DISH WASHER	O/	OVER
DIA.	DIAMETER	I	PARALLEL
D.S.	DEGREES	PERP.	PERPENDICULAR
DWG.	DOWNSPOUT DRAWING	LB. or #	POUNDS PER SQUARE FOOT
EA.	EACH	P.S.F.	POUNDS PER SQUARE INCH
E.J.	EXPANSION JOINT	P.T.	PRESSURE TREATED
ELEC.	ELECTRICAL	REBAR	REINFORCING STEEL
EL.	ELEVATION	REQD	REQUIRED
EQ.	EQUAL	REQM	REQUIREMENT
EQUIP.	EQUIPMENT	R.	RISERS
EX.	EXISTING	RE.	REFER OR REGARDING
EXT.	EXTERIOR	REF.	REFRIGERATOR
F.D.	FLOOR DRAIN	R.D.	ROOF DRAIN
F.O.S.	FACE OF STUD	R.O.	ROUGH OPENING
F.R.	FIRE-RETARDANT	R.S.	ROD AND SHELF
FT. or'	FOOT/FEET	S.D.	SMOKE DETECTOR
F.F.L.	FINISH FLOOR LEVEL	S.C.	SOLID CORE
GA.	GAUGE OR GAGE	S.F.	SQUARE FOOT/FEET
G.C.	GENERAL CONTRACTOR	SIM.	SIMILAR
GALV.	GALVANIZED	SPEC.	SPECIFICATIONS
GLULAM.	GLUE LAMINATED LUMBER	S.S.	STAINLESS STEEL
GYP. BD.	GYP. BOARD	STD.	STANDARD
H or HT.	HEIGHT	STR.	STRUCTURAL
H.C.	HOLLOW CORE	T.	TREAD
H.M.	HOLLOW METAL	T.O.B.	TOP OF BEAM
HORIZ.	HORIZONTAL	T.O.C.	TOP OF CONCRETE
IN. or"	INCH(ES)	T.O.W.	TOP OF WALL
INT.	INTERIOR	T&G	TONGUE AND GROOVE
JT.	JOINT	TYP.	TYPICAL
LAV.	LAVATORY	U.L.	UNDERWRITER'S LABORATORY
LVL.	LAMINATED-VENEER LUMBER	U.O.N.	UNLESS OTHERWISE NOTED
MAX.	MAXIMUM	V.I.F.	VERIFY IN FIELD
		W.	WIDTH
		W/	WITH
		W/W	WITHIN
		W.C.	WATER CLOSET
		W.	WASHER
		W.W.M.	WELDED WIRE MESH
		WD.	WOOD

**BUILDING ENVELOPE COMPLIANCE:**

BUILDING ENVELOPE COMPLIANCE TO BE PRESCRIPTIVE IN ACCORDANCE WITH WSEC R401.2 AND ALL ASSEMBLIES TO MEET R VALUES SET IN TABLE R402.1.1.

**PROJECT INSULATION R & U VALUES**

WINDOWS & DOORS:	U = 0.28 (SEE ENERGY CREDITS)
SKYLIGHTS:	U 0.50
ROOF AND CEILING @ TRUSSES:	R-49
ROOF AND CEILING @ RAFTERS:	R-38
WALLS @ ABOVE GRADE:	R-21
WALLS @ BELOW GRADE:	R-10 C.I. @ EXT., R-15 C.I. @ INT., or R-21 @ INT. WALL W/ THERMAL BREAK
FLOORS @ CRAWL SPACE:	R-30
FLOORS @ SLAB:	R-10 W/IN 2' FROM PERIMETER

**GENERAL NOTES**

- THESE CONSIST OF THE DRAWINGS, AND OTHER DOCUMENTS LISTED IN THE CONTRACT BETWEEN OWNER AND ARCHITECT. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THESE DRAWINGS, THE DESIGN CONTAINED WITHIN AND AS CONSTRUCTED ARE COPYRIGHT 2023 BY PELLETIER + SCHAAR, L.L.C.; AUTHORIZED USE OF THESE DRAWINGS ARE GRANTED SOLELY FOR THE PURPOSE OF THIS SPECIFIC PROJECT AND LOCATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, SUBCONTRACTORS AND MATERIAL SUPPLIERS TO CAREFULLY EXAMINE EACH PAGE OF THE DRAWINGS. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IF THE DRAWING ARE OBSERVED TO BE AT VARIANCE.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH LOCAL CONDITIONS AND FIELD VERIFY EXISTING CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF DISCREPANCIES OR CONDITIONS THAT HINDER THE COMPLETION OF WORK PER THE CONTRACT DOCUMENTS - PRIOR TO WORK BEING DONE.
- ALL DIMENSIONS ARE ±, WHETHER NOTED OR NOT, AND SHALL BE FIELD VERIFIED AT EXISTING CONDITIONS.
- THE CONTRACTOR SHALL PROCURE AND PAY FOR NECESSARY PERMITS.
- WORK SHALL INCLUDE PROVIDING ALL FORMS OF PROTECTION AS NECESSARY TO PRESERVE THE WORK OF OTHER TRADES, FREE FROM DAMAGED. ALL TRADES SHALL PROTECT THEIR OWN WORK TO PREVENT DAMAGE BY OTHER DURING COURSE OF CONSTRUCTION. FINISH SURFACES SHALL BE PROPERLY PROTECTED AT TIME OF INSTALLATION.
- FINAL ORIENTATION FOR THE BUILDING ON THE SITE AND ESTABLISHMENT OF FLOOR LEVEL BENCH MARK SHALL BE REVIEWED BY THE ARCHITECT.
- BEFORE ORDERING ANY MATERIAL OR STARTING ANY WORK WHICH MAY BE AFFECTED BY ADJACENT WORK OF OTHERS, CONTRACTOR SHALL VERIFY MEASUREMENTS AT BUILDING AND BE RESPONSIBLE FOR CORRECTNESS OF THESE MEASUREMENTS.
- DRAWING SHALL NOT BE SCALED. NOTED DIMENSION TAKE PRECEDENCE OVER SCALED DIMENSIONS. WINDOW, CABINETS, AND ALL SHOP BUILT ITEMS SHALL BE FIELD MEASURED PRIOR TO FABRICATION AND INSTALLATION. FINAL LOCATIONS OF SWITCHES, FIXTURES, GRILLES, COVERS, ETC. SHALL BE DETERMINED ON THE JOB. VERIFY EXACT LOCATIONS WITH ARCHITECT BEFORE ROUGH-IN.
- ROUGH FRAMING HORIZONTAL DIMENSION ARE SHOWN FROM FACE OF STUD TO FACE OF STUD. ROUGH FRAMING VERTICAL DIMENSION ARE SHOWN FROM TOP OF CONCRETE SLAB TO TOP OF FLOOR SHEATHING TO TOP OF WALL PLATE.
- WORKMANSHIP SHALL CONFORM TO BEST STANDARDS AND HIGHEST QUALITY OF TRADES AND SHALL INCLUDE ALL ITEMS OF FABRICATION, CONSTRUCTION, AND INSTALLATION. WORK SHALL BE EXECUTED BY SKILLED MECHANICS. WHEN COMPLETE, ALL PARTS SHALL BE DURABLY AND SUBSTANTIALLY BUILT AND SHALL PRESENT A NEAT WORKMAN - LIKE APPEARANCE.
- INSTALL EQUIPMENT AND MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURE'S CURRENT PUBLISHED INSTRUCTIONS AND RECOMMENDATIONS.

**DEMOLITION GENERAL NOTES**

- THESE NOTES INDICATE THE GENERAL EXTENT OF DEMOLITION. REMOVE AND DISPOSE OF MATERIALS AND EQUIPMENT WHICH ARE NOT INCORPORATED IN NEW WORK OR (E) TO REMAIN. PROTECT ELECTRICAL SERVICE, WATER SERVICE AND OTHER TO THAT WHICH ARE TO REMAIN.
- REFER TO REMAINDER OF ARCHITECTURAL PLAN(S) AND VERIFY NEW SYSTEM LAYOUTS PRIOR TO COMMENCING DEMOLITION.
- REMOVE ALL DEBRIS FROM SITE TO A LICENSED DISPOSAL SITE.
- COORDINATE WITH LOCAL UTILITY COMPANIES AND CITY OF MERCER ISLAND DISTRICT FOR SHUT DOWN AND RECONNECT OF SERVICES.
- PROTECT ALL PUBLIC PUBLIC WAYS AND ADJACENT PROPERTIES.
- WORK SEQUENCES AND SCHEDULES TO BE APPROVED BY OWNER BEFORE WORK COMMENCES.
- PROVIDE TEMPORARY BARRIERS AND FENCING TO GUARD AND PROTECT WORK AREA.
- HAZARDOUS MATERIALS MAY BE EVIDENT AT THE SITE IF CONTRACTOR ENCOUNTERS ASBESTOS-CONTAINING OR OTHER HAZARDOUS MATERIALS NOT PREVIOUSLY INDICATED THEY ARE TO STOP WORK AND NOTIFY OWNER.

**SCOPE OF WORK**

ADDITIONS AND ALTERATIONS TO EXISTING RESIDENCE

**PROJECT INFORMATION**

ADDRESS:	8032 SE 57TH ST, MERCER ISLAND, WA 98040
PARCEL NO.:	1574100620
ZONING:	R-8.4
LEGAL DESCRIPTION:	CHRISTIAN CHURCH CAMP ADD 11-12-13 & 21-22 & POR OF 14 & 19-20 WLY OF FOLG DESC LN BED AT PT ON S LN OF SD 20 DIST 4 FT WLY OF SE COR OF SD TH NELY TO PF ON N LN OF SE DIST 9 FT ELY OF NWLY COR OF 14; PLAY BLOCK: 8; PLAT BLOCK: POR
LOT AREA:	0.22 ACRES, 9,679 S.F.
BUILDING AREA:	1,485 S.F. FIRST FLOOR FINISHED 724 S.F. SECOND FLOOR FINISHED 2,209 S.F. TOTAL FINISHED
	440 S.F. GARAGE

**PROJECT ENERGY CREDITS PROVIDED:**

SMALL DWELLING UNIT:	5.0 CREDITS REQ.
<b>PROVIDED CREDITS:</b>	
FUEL NORMALIZATION CREDITS	
2. HEAT PUMP AND ELECTRIC RESISTANCE HEAT OR COMBUSTION FURNACE	1.5 CREDITS
1.2 EFFICIENT BUILDING ENVELOPE OPTIONS Prescriptive compliance is based on Table R402.1.3 with the following modifications: Vertical fenestration U=0.25, Floor R-38, Slab on grade R-10 perimeter and under entire slab, Below grade slab R-10 perimeter and under entire slab.	1.0 CREDITS
3.2 HIGH EFFICIENCY HVAC EQUIPMENT Air-source centrally ducted heat pump with minimum HSPF of 9.5.	0.5 CREDITS
5.5 EFFICIENT WATER HEATING OPTIONS Water heating system shall include one of the following: Gas-fired heat pump water heater(s) meeting the standards for Tier II of NEEA's advanced water heating specification for gas-fueled residential storage water heaters, version 1.0	1.5 CREDITS
7.1 APPLIANCE PACKAGE OPTION All of the following appliances shall be new and installed in the dwelling unit and shall meet the following standards: Dishwasher – Energy Star rated, Most Efficient 2021	0.5 CREDITS
<b>TOTAL</b>	<b>5 CREDITS</b>

**APPLICABLE BUILDING CODES**

- 2021 INTERNATIONAL BUILDING CODE
- 2021 WASHINGTON STATE BUILDING CODE
- 2021 WASHINGTON STATE ENERGY CODE
- 2021 INTERNATIONAL FIRE CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2017 ANSI ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- CITY OF MERCER ISLAND AMENDMENTS AND ORDINANCES

**PROJECT TEAM**

OWNER:	JEFF RUDD
ADDRESS:	8032 SE 57TH ST, MERCER ISLAND, WA 98040
PHONE:	425-830-0373
CONTACT PERSON:	JEFF RUDD
ARCHITECT:	PELLETIER + SCHAAR, LLC
ADDRESS:	26911 98TH DR. NW, STE. B, STANWOOD, WA 98292
PHONE:	360-629-5375
CONTACT PERSON:	DAVID PELLETIER, AIA
STRUCTURAL ENGINEER:	CDE INC.
ADDRESS:	6021 ROOSEVELT WAY NE, SEATTLE, WA 98115
PHONE:	425-343-7517
CONTACT PERSON:	ALEX MOROSEOS, PE SE

**DEFERRED PERMITS**

A NFPA 13D FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 3D AND CoMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED

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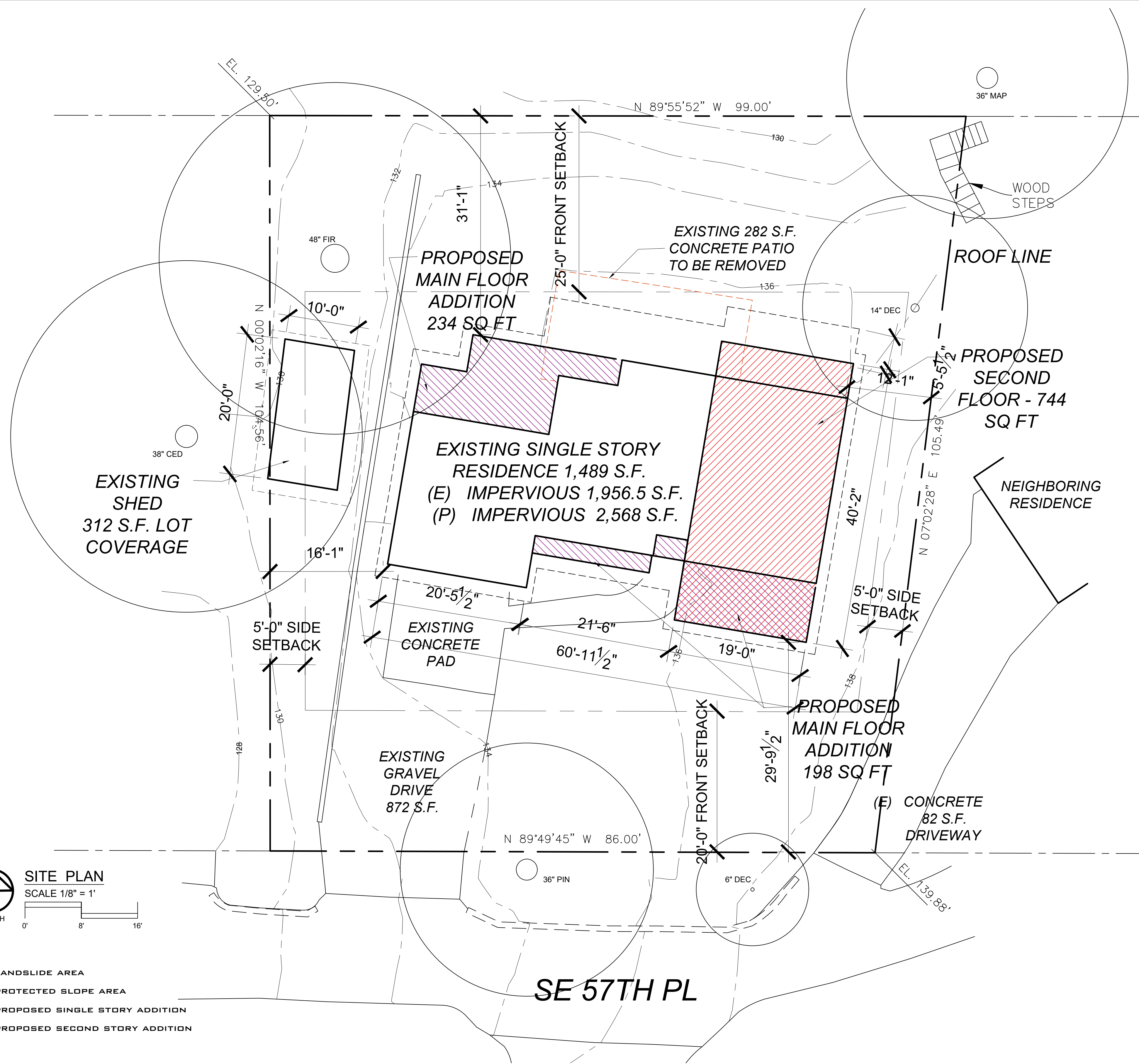
NO. XXXXXX DRN XXX GHK XXX  
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6946 REGISTERED ARCHITECT  
DAVID R. PELLETIER  
STATE OF WASHINGTON

**GO.1**  
5/28/2024

**GENERAL NOTES, LEGENDS & ABBREVIATIONS**

RUDD: ADDITIONS AND ALTERATIONS TO EXISTING RESIDENCE



**SITE ADDRESS:**  
8032 SE 57TH ST, MERCER ISLAND, WA 98040

**LEGAL DESCRIPTION:**  
CHRISTIAN CHURCH CAMP ADD 11-12-13 & 21-22 & POR OF 14 & 19-20 WLY OF FOLG DESC LN BEG AT PT ON S LN OF SD 20 DIST 4 FT WLY OF SE COR OF SD 20 TH NELY TO PT ON N LN OF 14 DIST 9 FT ELY OF NWLY COR OF 14  
PLAT BLOCK: 8  
PLAT LOT: POR

**OWNER/APPLICANT:** JEFF RUDD  
**PARCEL:** 1574100620  
**LOT SIZE:** 0.22 ACRES / 9,679 S.F.  
**ZONING:** R-8.4

**LOT SLOPE CALCULATIONS:**  
HIGH POINT ELEVATION: 139.88 FT  
LOW POINT ELEVATION: 129.50 FT  
ELEVATION DIFFERENCE: 10.38 FT  
HORIZONTAL DIFFERENCE: 135.50 FT

**ALLOWABLE LOT COVERAGE:**  
LESS THAN 15%  
MAX LOT COVERAGE: 40%  
REQUIRED LANDSCAPING: 60%

**LOT COVERAGE CALCULATIONS:**  
GROSS LOT AREA: 9,679 SQ FT  
NET LOT AREA: 9,679 SQ FT  
ALLOWED LOT COVERAGE (40%): 3,871.6 SQ FT

**EXISTING LOT COVERAGE:**  
RESIDENCE: 1,956.5 S.F.  
ACCESSORY STRUCTURE: 312 S.F.  
DRIVEWAYS: 954 S.F.  
PATIO: 282 S.F. - TO BE REMOVED

**PROPOSED ADDED LOT COVERAGE:**  
RESIDENCE W/ ADDITIONS: 2,568 S.F.  
ACCESSORY STRUCTURE: 312 S.F.  
DRIVEWAYS: 954 S.F.

**TOTAL LOT COVERAGE:** 3,834 (39.6%)

**FAR CALCULATIONS:**  
LOT AREA: 9,679 SQ FT  
ALLOWED GFAR: 40%  
SITE MAX ALLOWED FAR: 9,679(.4) = 3,871 SQ FT  
PROPOSED GFAR: 2,955 SQ FT (30%)

DATE: 06/04/2024

**HARDSCAPE CALCULATIONS:**  
GROSS LOT AREA: 9,678 S.F.  
NET LOT AREA: 9,678 S.F.  
ALLOWED HARDSCAPE AREA 9%: 871.11 S.F.  
TOTAL EXISTING HARDSCAPE AREA: 412 S.F.  
TOTAL REMOVED HARDSCAPE AREA: 265 S.F.  
TOTAL PROJECT HARDSCAPE AREA: 144 S.F. = 2%

**GROSS FLOOR AREA CALCULATIONS:**  
(E) UPPER FLOOR AREA: 0 S.F.  
(R) UPPER FLOOR AREA: 0 S.F.  
(N) UPPER FLOOR AREA: 716 S.F.  
TOTAL UPPER FLOOR AREA: 716 S.F.

(E) MAIN FLOOR AREA: 1049 S.F.  
(R) MAIN FLOOR AREA: 0 S.F.  
(N) MAIN FLOOR AREA: 468 S.F.  
TOTAL MAIN FLOOR AREA: 1,517 S.F.

(E) GARAGE FLOOR AREA: 440 S.F.  
(R) GARAGE FLOOR AREA: 30 S.F.  
(N) GARAGE FLOOR AREA: 0 S.F.  
TOTAL GARAGE FLOOR AREA: 470 S.F.

(E) ACCESSORY BUILDING AREA: 716 S.F.  
(R) ACCESSORY BUILDING AREA: 0 S.F.  
(N) ACCESSORY BUILDING AREA: 0 S.F.  
TOTAL ACCESSORY BUILDING AREA: 716 S.F.

(T) UPPER FLOOR AREA: 716 S.F.  
(T) MAIN FLOOR AREA: 1,517 S.F.  
(T) GARAGE FLOOR AREA: 470 S.F.  
(T) ACCESSORY BUILDING AREA: 312 S.F.  
TOTAL BUILDING AREA: 2,955 S.F.

**AVERAGE BUILDING ELEVATION CALCULATIONS:**

MIDPOINT ELEVATION	SEGMENT LENGTH
A. 134.5'	35.0'
B. 134.4'	6.5'
C. 134.4'	5.5'
D. 136.3'	54.5'
E. 137.2'	34.7'
F. 136.3'	19.0'
G. 135.7'	7.5'
H. 135.2'	21.5'
I. 135.0'	5'
J. 135.0'	20.5'

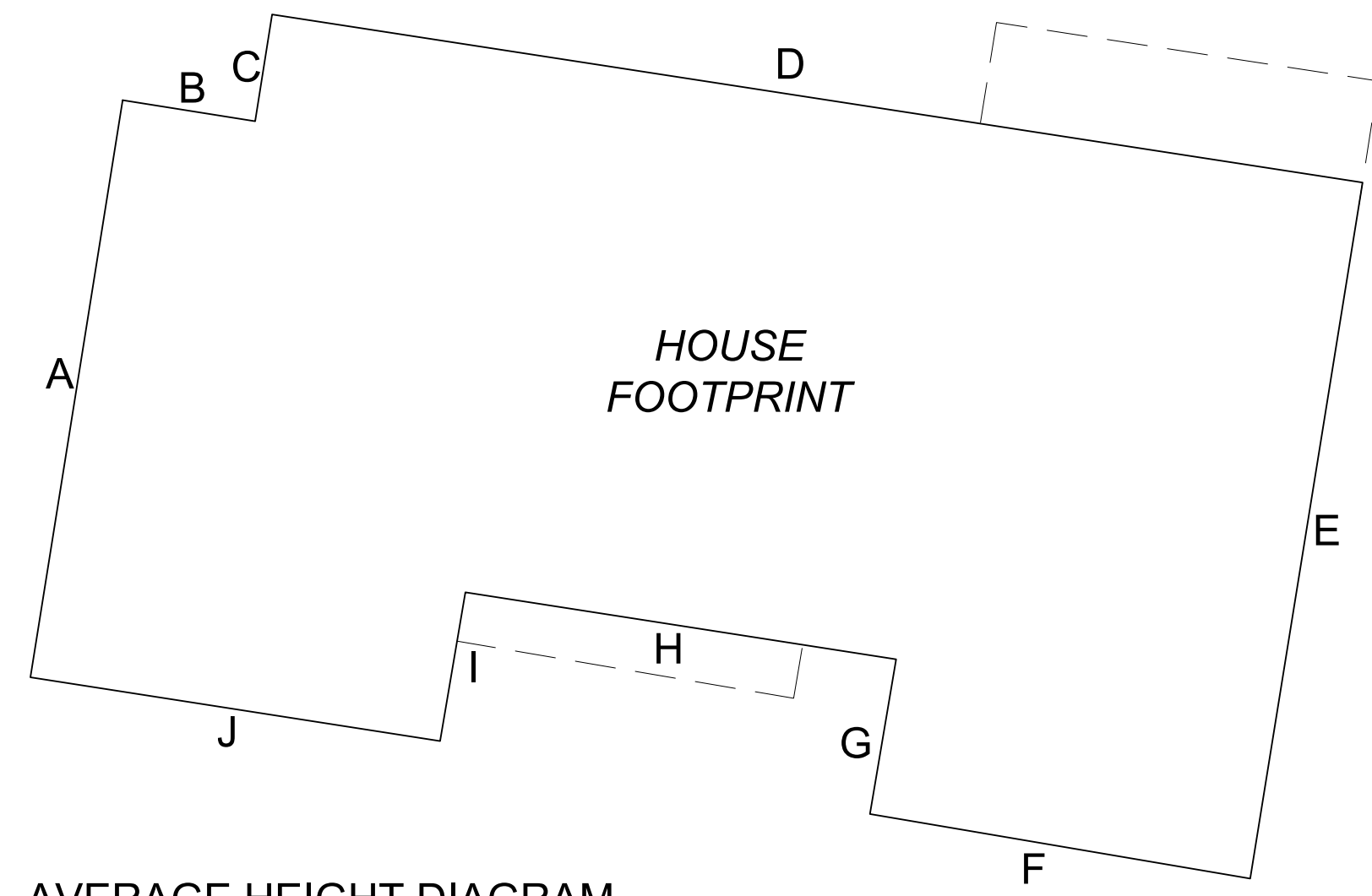
$(134.5 \times 35) + (134.4 \times 6.5) + (134.4 \times 5.5) + (136.3 \times 54.5) + (137.2 \times 34.7) + (136.3 \times 19) + (135.7 \times 7.5) + (135.2 \times 21.5) + (135 \times 5) + (135 \times 20.5) = 28,466.2$

LENGTH OF PERIMETER = 210.7

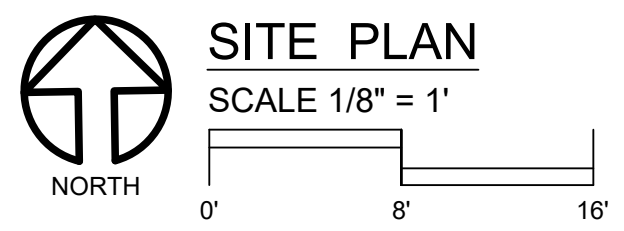
$28,466.2 / 210.7 = 135.1$  FT

**BUILDING HEIGHT CALCULATIONS:**

$135.1 + 30 = 165.1$  FT



**AVERAGE HEIGHT DIAGRAM**  
SCALE 1/8" = 1'



- LANDSLIDE AREA
- PROTECTED SLOPE AREA
- PROPOSED SINGLE STORY ADDITION
- PROPOSED SECOND STORY ADDITION

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6946 REGISTERED ARCHITECT  
DAVID R. PELLETIER  
STATE OF WASHINGTON

**GO.2**  
5/28/2024

RUDD: ADDITIONS AND ALTERATIONS TO EXISTING RESIDENCE

**LEGAL DESCRIPTION**

(PER WARRANTY DEED RECORDING# 20230828000517)  
 LOTS 11,12,13,14,19,20,21 AND 22, BLOCK 8 OF CHRISTIAN CHURCH COMMUNITY CAMP, AS PER PLAT RECORDED IN VOLUME 31 OF PLATS, PAGE 10, IN KING COUNTY;  
 EXCEPT THAT PORTION OF SAID LOTS 14,19, AND 20, LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE:  
 BEGINNING AT A POINT ON THE SOUTH LINE OF SAID LOT 20 A DISTANCE WESTERLY 4.0 FEET FROM THE SOUTHEAST CORNER THEREOF; THENCE NORTHERLY TO A POINT ON THE NORTHERLY LINE OF SAID LOT 14 A DISTANCE EASTERLY 9.0 FEET FROM THE NORTHWEST CORNER THEREOF;  
 SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**BASIS OF BEARINGS**

HELD BEARING OF N 38°06'04" E AS CALCULATED BETWEEN EXISTING MONUMENTS PER R1 AND AS SHOWN HEREON.

**REFERENCES**

- R1. RECORD OF SURVEY, VOL. 79, PG. 115. RECORDS OF KING COUNTY, WASHINGTON.
- R2. RECORD OF SURVEY, VOL. 23, PGS. 205. RECORDS OF KING COUNTY, WASHINGTON.
- R3. SURVEY BY HARRY P. JONES ASSOCIATES INC DATED 9-1967 OF LOTS 1-3, CHRISTIAN CHURCH CAMP DIV 2 AS RECORDED WITH WASHINGTON STATE DNR

**VERTICAL DATUM**

NAVD88 PER GPS OBSERVATIONS  
 SITE TEMP. BENCHMARK  
 DESCRIPTION: PK NAIL & WASHER  
 LOCATION: IN S SIDE OF SE 57TH ST; S OF SITE  
 ELEVATION: 137.55'

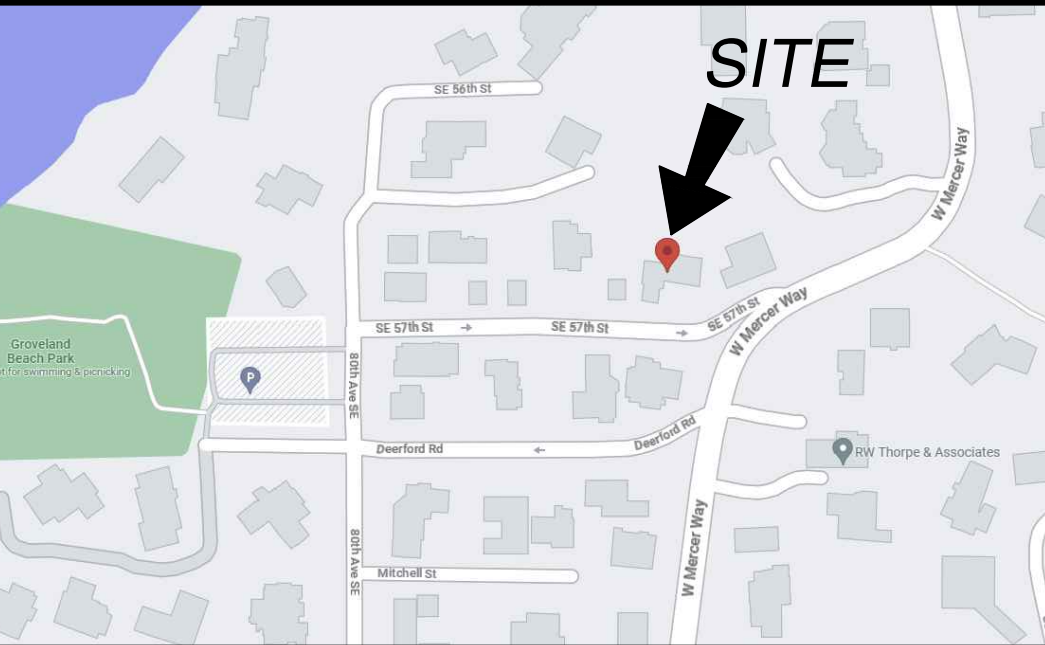
**SURVEYOR'S NOTES**

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2023. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 157410-0620.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 9,679 ± SQ.F. (0.22 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

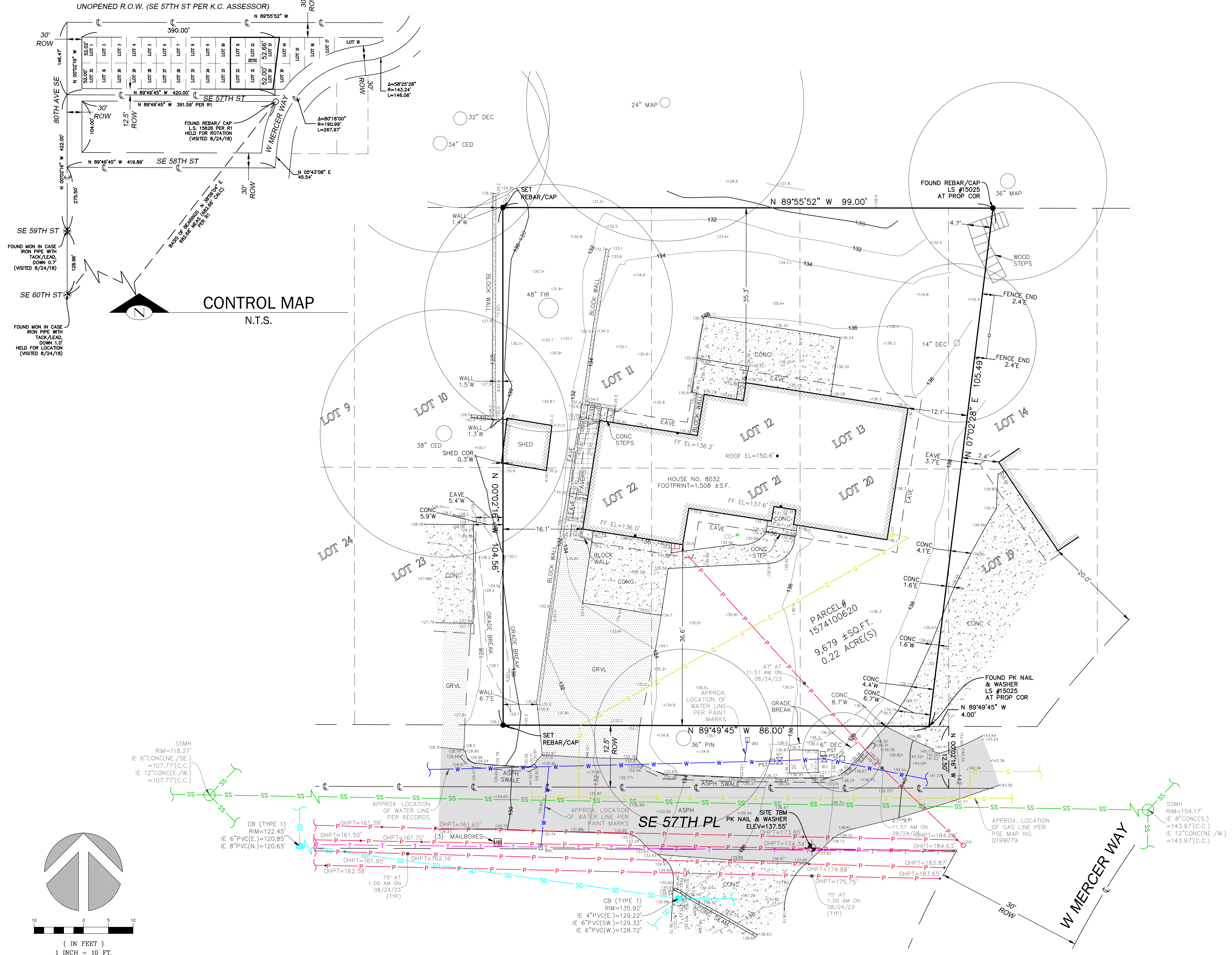
**LEGEND**

	ASPHALT SURFACE		POST
	BENCHMARK		POWER METER
	BUILDING		POWER (OVERHEAD)
	CENTERLINE ROW		POWER POLE
	CLEANOUT		REBAR & CAP (SET)
	CONCRETE SURFACE		REBAR AS NOTED (FOUND)
	FENCE LINE (WOOD)		RETAINING WALL
	GAS LINE		SEWER LINE
	GAS METER		SEWER MANHOLE
	GRAVEL SURFACE		STORM DRAIN LINE
	INLET (TYPE 1)		TREE (AS NOTED)
	MAILBOX (RESIDENTIAL)		WATER LINE
	MONUMENT (IN CASE, FOUND)		WATER METER
	NAIL AS NOTED		WATER VALVE
	PAVER SURFACE		WATER VAULT
	OHPT - OHP TRANSMISSION ELEVATION		

**VICINITY MAP**  
N.T.S.



# TOPOGRAPHIC & BOUNDARY SURVEY



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 We are the measure |

**TOPOGRAPHIC & BOUNDARY SURVEY**  
 PARCEL NO. 1574100620  
**8032 SE 57TH ST**  
 8032 SE 57TH ST  
 MERCER ISLAND, WA 98004

**TERRANE**  
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 Bellevue, WA 98004  
 P: 425-458-4488 | e: info@terra.net

JOB NUMBER:	231479
DATE:	09/08/23
DRAFTED BY:	IDV / MCP
CHECKED BY:	EJG/TBH/TMM
SCALE:	1" = 10'
REVISION HISTORY:	
SHEET NUMBER:	1 OF 1

**INDEXING INFORMATION**

NE 1/4	SE 1/4
SECTION: 24	
TOWNSHIP: 24N	
RANGE: 04E, W.M.	
COUNTY: KING	

	TREE DRIP LINE
	EVERGREEN TREE
	DECIDUOUS TREE
	TREE TO BE REMOVED
	TREE PROTECTION FENCING MUST BE PLACED PRIOR TO CONSTRUCTION ACTIVITY
	"E" REPRESENTS EXCEPTIONAL TREES. IN EXCESS OF 24" DBH
	6"-8" DEEP MULCH
	AQUATEX NFS-1 CONTROL UNIT
	WD-1 DETECTION UNIT
	IRRIGATION DRIPLINE

**TREE PROTECTION AREA (TPZ)**

**KEEP OUT!**

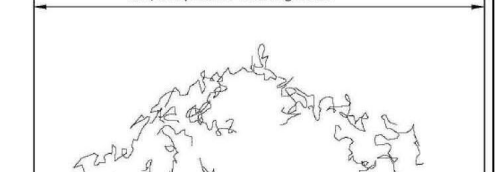
**DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA**

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees
3. Arborist reports recommending mitigation

- Notes**
1. No pruning shall be performed unless under the direction of an arborist
  2. No equipment shall be stored or operated inside the protective fencing including during fence installation and removal
  3. No storage of materials shall occur inside the protective fencing
  4. Refer to Site/Utility Plan for allowable modifications to the tree protection area
  5. Unauthorized activities in tree protection area may require evaluation by private arborist to identify impacts and mitigation required
  6. Exposed roots: For roots > 1" damaged during construction, make a clean straight cut to remove damaged portion and inform City Arborist

Cover the top or other side of the foundation area. Use 2x4s to form for fence alignment.



Tree protection fence: 4'-6" chain link fence, solidly anchored into the ground, or if authorized High-density polyethylene fencing with 3.5" x 1.5" openings, color orange. Steel posts installed at 8' o.c.

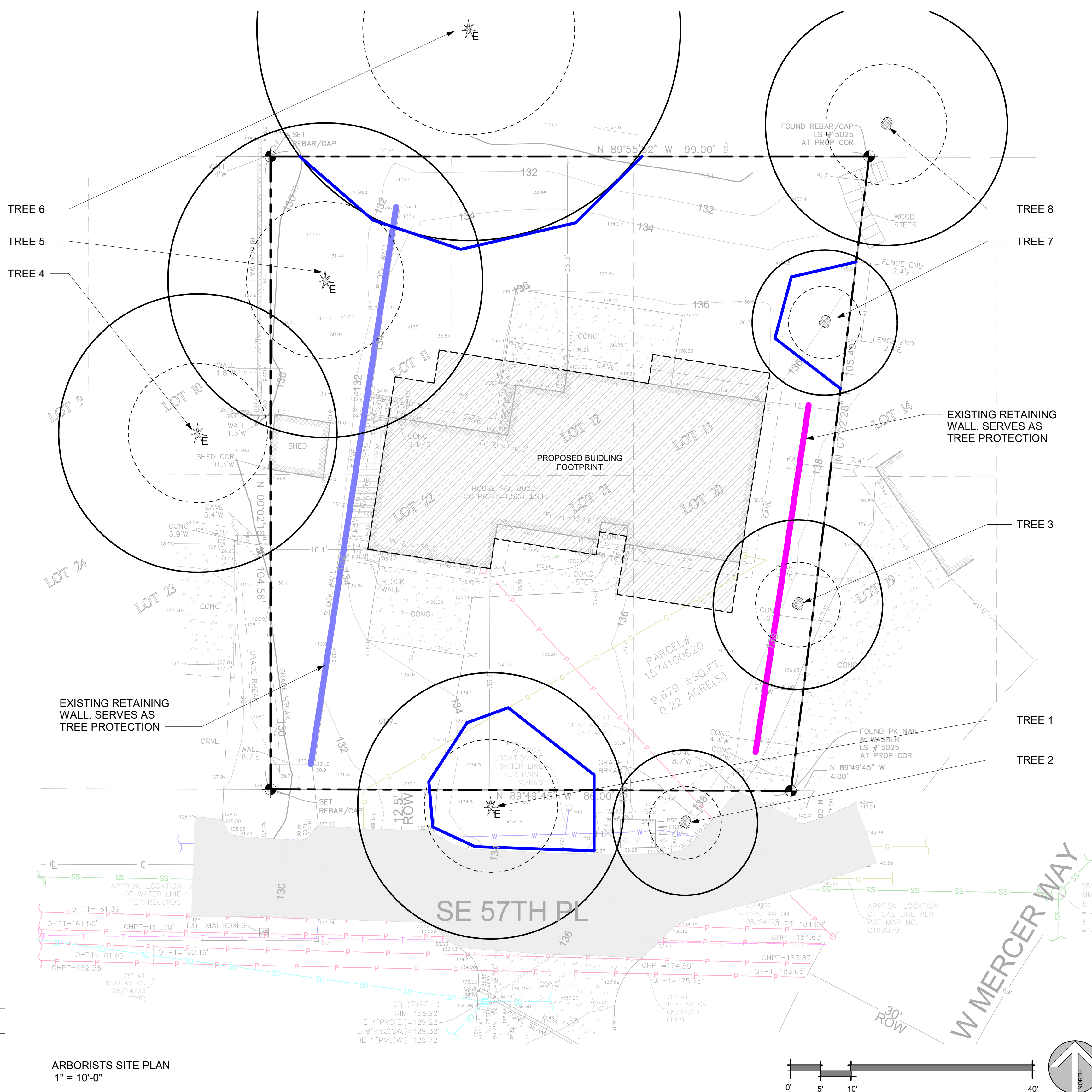
2" x 6" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indicated on the plans

Any Work in the protected area must be with the permission of the City Arborist [john.kenney@mercerwa.gov](mailto:john.kenney@mercerwa.gov)

**Tree Schedule**

ID	Common Name	Scientific Name	# of Trunks	DBH/DSH	Dripline	Condition	Retain	Comments
1	SPRUCE	Picea	1	36.0"	22' - 0"	GOOD	Yes	ROW
2	CHERRY	Prunus	1	6.0"	12' - 0"	GOOD	Yes	ROW
3	COTTONWOOD	Populus deltoides	1	10.0"	14' - 0"	GOOD	Yes	
4	WESTERN RED CEDAR	Thuja plicata	1	38.0"	23' - 0"	GOOD	Yes	
5	DOUGLAS FIR	Pseudotsuga menziesii	1	48.0"	26' - 0"	GOOD	Yes	
6	BIG LEAF MAPLE	Acer macrophyllum	1	32.0"	35' - 0"	POOR	Yes	
7	MAGNOLIA	Magnolia	1	7.0"	12' - 0"	GOOD	Yes	
8	BIG LEAF MAPLE	Acer macrophyllum	1	14.0"	20' - 0"	POOR	Yes	



ARBORISTS SITE PLAN  
1" = 10'-0"

PREPARED BY:  
NEAL BAKER  
ARBORISTS NW.COM  
ISA CERT. PN1075A  
TRAQ ISA (TREE RISK ASSESSMENT QUALIFIED)  
MEMBER AREA & SOCA  
PH: 206 779 2579

arboristsNW

Arborists NW is a full spectrum arboricultural, consulting and landscape design and installation provider. When you think tree and landscape services, think Arborists NW.

ONLINE: <https://arboristsnw.com/>  
PHONE: 206-779-2579  
EMAIL: [neal@arboristsnw.com](mailto:neal@arboristsnw.com)

No.	Description	Date

**RUDD PLAN**

8032 SE 57TH ST, MERCER ISLAND, WA 98040

**RUDD PLAN**

**ARBORIST TREE PLAN**

Project number	24008
Date	
Drawn by	CW
Checked by	NB

**X100**

Scale As indicated

	TREE DRIP LINE
	EVERGREEN TREE
	DECIDUOUS TREE
	TREE TO BE REMOVED
	TREE PROTECTION FENCING MUST BE PLACED PRIOR TO CONSTRUCTION ACTIVITY
	"E" REPRESENTS EXCEPTIONAL TREES. IN EXCESS OF 24" DBH
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	AQUATEX NFS-1 CONTROL UNIT
	WD-1 DETECTION UNIT
	IRRIGATION DRIPLINE

**TREE PROTECTION AREA (TPZ)**

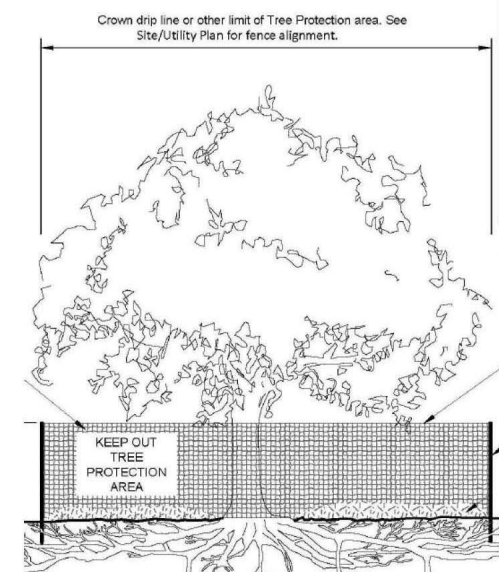
**KEEP OUT!**

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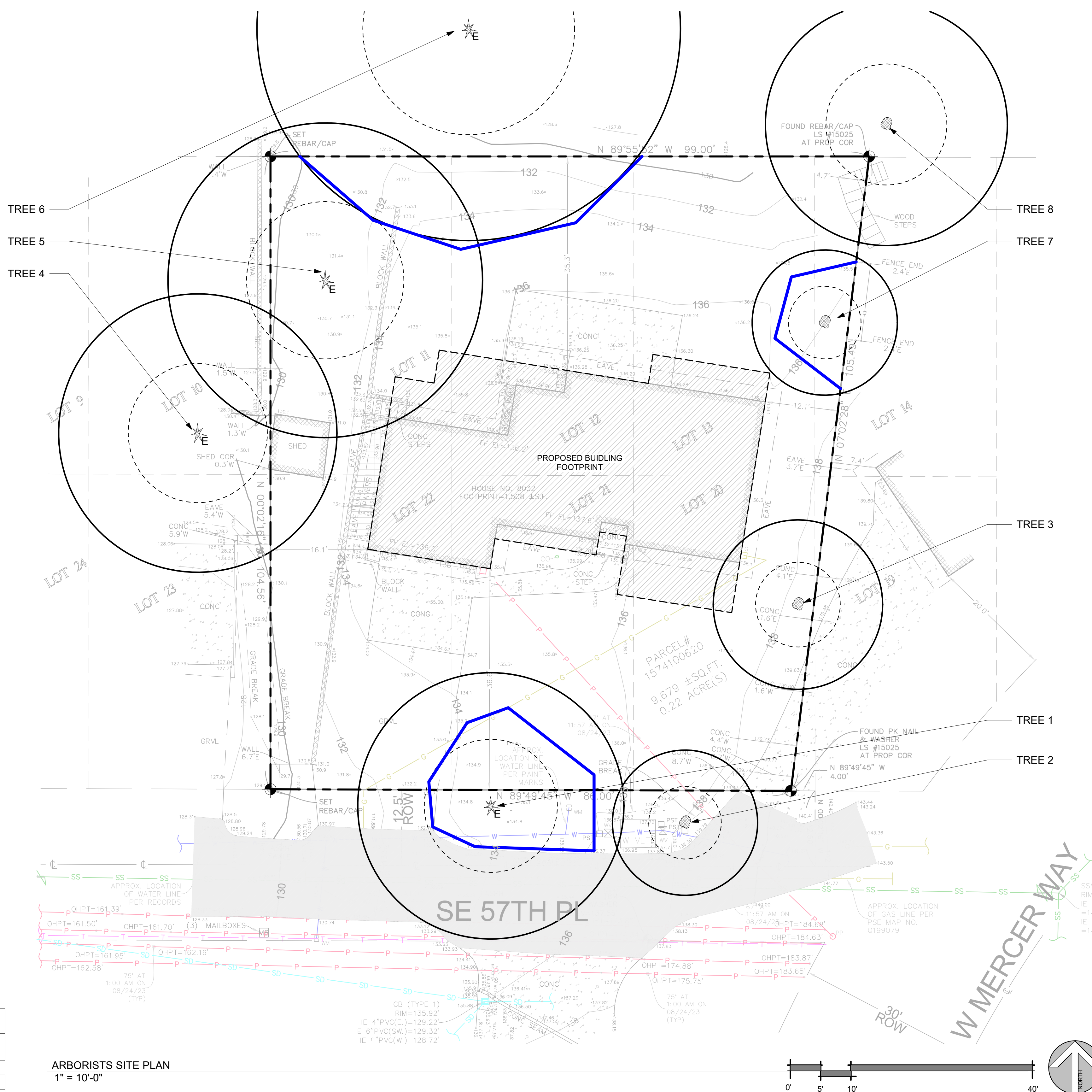
2" x 6" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indication on the plans

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**Tree Schedule**

ID	Common Name	Scientific Name	# of Trunks	DBH/DSH	Dripline	Condition	Retain	Comments
1	SPRUCE	Picea	1	36.0"	22' - 0"	GOOD	Yes	ROW
2	CHERRY	Prunus	1	6.0"	12' - 0"	GOOD	Yes	ROW
3	COTTONWOOD	Populus deltoides	1	10.0"	14' - 0"	GOOD	Yes	
4	WESTERN RED CEDAR	Thuja plicata	1	38.0"	23' - 0"	GOOD	Yes	
5	DOUGLAS FIR	Pseudotsuga menziesii	1	48.0"	26' - 0"	GOOD	Yes	
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8	BIG LEAF MAPLE	Acer macrophyllum	1	14.0"	20' - 0"	GOOD	Yes	



ARBORISTS SITE PLAN  
1" = 10'-0"



PREPARED BY:  
NEAL BAKER  
ARBORISTS NW.COM  
ISA CERT. PN1075A  
TRAQ ISA (TREE RISK ASSESSMENT QUALIFIED)  
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No.	Description	Date

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8032 SE 57TH ST, MERCER ISLAND, WA 98040

**RUDD PLAN**




**ARBORIST TREE PLAN**

Project number	24008
Date	
Drawn by	CW
Checked by	NB

**X100**

Scale As indicated

**PHASING LEGEND**

-  EXISTING CONSTRUCTION TO REMAIN
-  ITEMS TO BE DEMOLISHED
-  NEW CONSTRUCTION

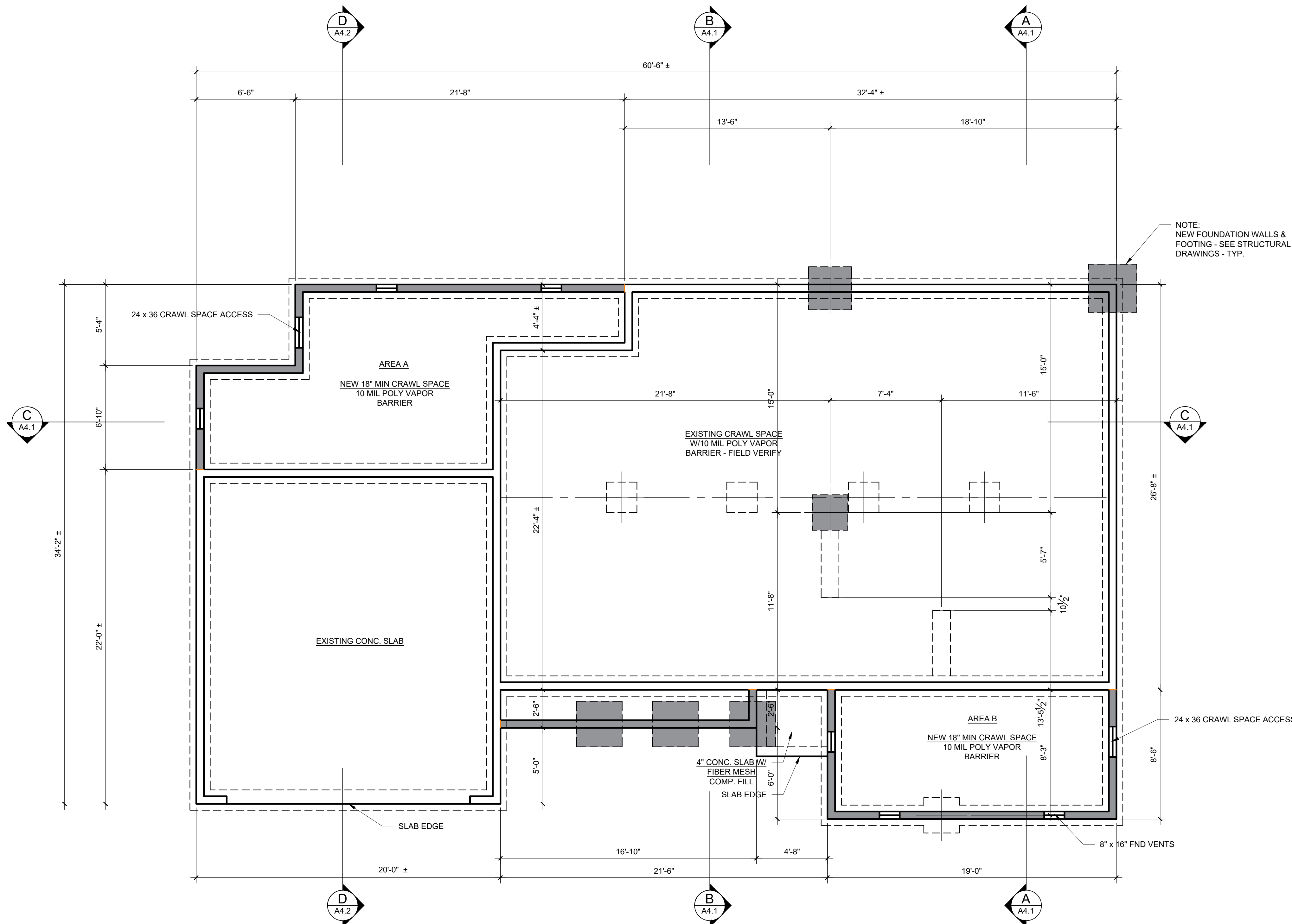
**FOUNDATION NOTES:**

1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
2. ALL FOOTINGS TO REST ON UNDISTURBED SOIL.
3. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
4. 1,500 PSF ASSUMED SOIL BEARING CAPACITY.
5. SEE SHEET S-2.1 FOR FOOTING SCHEDULE.

**FOUNDATION VENT CALCULATIONS:**

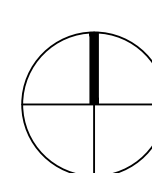
**AREA A = 215 S.F.**  
 $215/150 = 1.4 \text{ S.F.} \times 144 = 206.4 \text{ SQ. INCHES}$   
 $206.4/128 = 1.6 \text{ VENTS REQUIRED}$

**AREA B = 144 S.F.**  
 $144/150 = .96 \text{ S.F.} \times 144 = 138.2 \text{ SQ. INCHES}$   
 $138.2/128 = 1 \text{ VENT REQUIRED}$



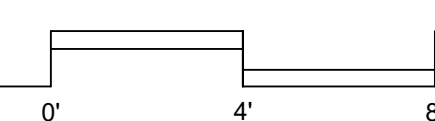
**NOTES:**  
 ALL DIMENSIONS SHOWN ± ALIGN WITH EXISTING CONSTRUCTION AND TO BE VERIFIED IN THE FIELD.

PROJECT NORTH



**FOUNDATION PLAN**

SCALE 1/4" = 1'-0"



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6946 REGISTERED ARCHITECT  
 DAVID R. PELLETIER  
 STATE OF WASHINGTON

**A1.0**  
 5/28/2024

RUDD: ADDITIONS AND ALTERATIONS TO EXISTING RESIDENCE

**BUILDING PERMITS - FOUNDATION PLAN**

### PHASING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- ITEMS TO BE DEMOLISHED
- NEW CONSTRUCTION

### AREA CALCULATIONS

MAIN FLOOR EXISTING	1,048 S.F.
MAIN FLOOR ADDITIONS	437 S.F.
UPPER FLOOR FINISHED	724 S.F.
<b>TOTAL HEATED AREA</b>	<b>2,209 S.F.</b>
GARAGE	440 S.F.

### PLAN GENERAL NOTES

- WALLS, CEILING AND FLOOR INSULATION; AND WINDOW AND DOOR GLAZING TO BE IN ACCORDANCE 2021 WSEC. SEE SHT. A0.1.
- TEMPERED SAFETY GLAZING TO BE PROVIDED PER 2021 IRC SECTION R308.4; SEE ELEVATIONS OR WINDOW SCHEDULE FOR LOCATIONS.
- INSTALL 110V SMOKE DETECTORS, INTERCONNECT W/ BATTERY BACKUP, PER 2021 IRC WA STATE AMENDMENTS SECTION R314; SEE PLANS FOR LOCATIONS.
- INSTALL CARBON MONOXIDE DETECTORS PER 2021 IRC WA STATE AMENDMENTS SECTION R315; SEE FLOOR PLAN FOR LOCATIONS.
- INSTALL WHOLE HOUSE VENTILATION FAN PER 2021 IRC WA STATE AMENDMENTS SECTION M1507.3; SYSTEM SHALL PROVIDE MIN. CFM PER TABLE M1507.3.3(1).
- ALL EXHAUST FANS TO BE LOCATED AND SIZED PER 2021 IRC WA STATE AMENDMENTS TABLE M1507.4.
- FAN NOISE RATING TO BE 1.5 SONE OR BETTER
- PROVIDE MIN. 15" FROM CENTER OF TOILET TO ADJACENT WALL OR OTHER OBSTRUCTION AND 21" CLEARANCE DIRECTLY IN FRONT OF TOILET PER 2021 IRC SECTION R307.1.

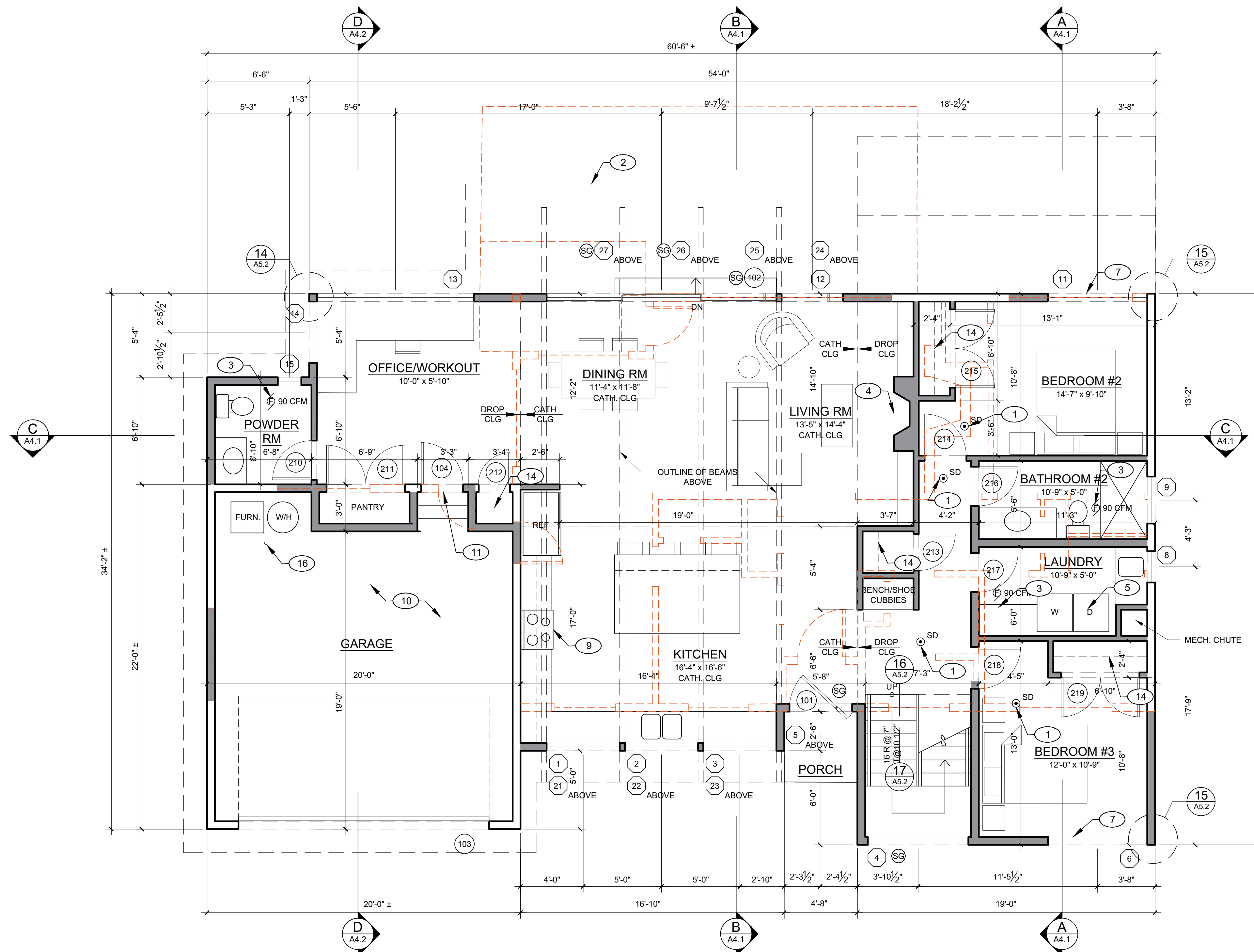
### PLAN KEYNOTES

- 110V COMBINATION SMOKE & CARBON MONOXIDE DETECTOR INTERCONNECT W/ BATTERY BACKUP TYP.
- ROOF LINE ABOVE OR WALL BELOW.
- 90 CFM, I.E SONO BATH ENERGY STAR FANS WITH 4" SMOOTH DUCTING, (MIN. 90 CFM FOR CONTINUOUS OPERATING WHOLE HOUSE FAN IN ACCORDANCE WITH SEC. M1507.3.3(1))
- U.L. APPROVED PROPANE BURNING FIREPLACE
- DRYER - VENT TO OUTSIDE
- EXHAUST TERMINATION - IN ACCORDANCE WITH IRC M1507.3.4.4
- PROVIDE EMERGENCY ESCAPE OPENING IN ALL SLEEPING ROOMS MIN. 24" HIGH X 20" WIDTH AND 5.7 S.F. CLEAR OPEN AREA IN ACCORDANCE WITH IRC R310.1
- 22" X 30" ATTIC ACCESS - WITH MIN. UNOBSTRUCTED HEADROOM ABOVE HATCH OF 30"
- RANGE WITH 300 CFM HOOD
- 5/8" TYPE-X GWB ON ALL WALLS & CEILING AND AROUND ALL BEAMS AND POSTS.
- SOLID CORE DOOR W/ SELF CLOSER
- TOWEL WARMER (NOT USED)
- 5/8" TYPE X GWB UNDER STAIR
- ROD & SHELF
- 1 1/2" DIA. HANDRAIL SET 34"-36" OFF STAIR NOSING ATTACH TO SOLID BLOCKING
- 4" DIA. STEEL BOLLARD W/ IMBED IN SLAB

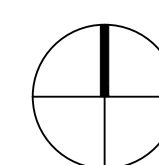
### DOOR & WINDOW NOTES

- SEE SHT. A0.1 FOR 2021 WSEC REQUIREMENTS; ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY.
- SEE FLOOR PLAN FOR SLIDING / POCKET DOOR ACTIVE DOOR PANEL LOCATIONS AND DIRECTIONS.
- SEE ELEVATIONS FOR OPERABLE WINDOW SASH DIRECTIONS.
- ALIGN WINDOW AND DOORS HEADS - TYP.

NOTES:  
ALL DIMENSIONS SHOWN ± ALIGN WITH EXISTING CONSTRUCTION AND TO BE VERIFIED IN THE FIELD.

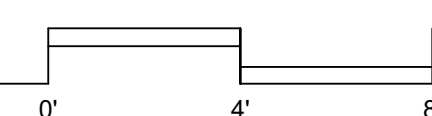


PROJECT NORTH



## FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"



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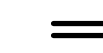


6946 REGISTERED ARCHITECT  
DAVID R. PELLETIER  
STATE OF WASHINGTON

**A1.1**  
5/28/2024

RUDD: ADDITIONS AND ALTERATIONS TO EXISTING RESIDENCE

# BUILDING PERMITS - FIRST FLOOR PLAN

**PHASING LEGEND**

-  EXISTING CONSTRUCTION TO REMAIN
-  ITEMS TO BE DEMOLISHED
-  NEW CONSTRUCTION

**AREA CALCULATIONS**

MAIN FLOOR EXISTING	1,048 S.F.
MAIN FLOOR ADDITIONS	418 S.F.
UPPER FLOOR FINISHED	706 S.F.
<b>TOTAL HEATED AREA</b>	<b>2,172 S.F.</b>
GARAGE	440 S.F.

**PLAN GENERAL NOTES**

1. WALLS, CEILING AND FLOOR INSULATION; AND WINDOW AND DOOR GLAZING TO BE IN ACCORDANCE 2021 WSEC. SEE SHT. A0.1.
2. TEMPERED SAFETY GLAZING TO BE PROVIDED PER 2021 IRC SECTION R308.4; SEE ELEVATIONS OR WINDOW SCHEDULE FOR LOCATIONS.
3. INSTALL 110V SMOKE DETECTORS, INTERCONNECT W/ BATTERY BACKUP, PER 2021 IRC WA STATE AMENDMENTS SECTION R314; SEE PLANS FOR LOCATIONS.
4. INSTALL CARBON MONOXIDE DETECTORS PER 2021 IRC WA STATE AMENDMENTS SECTION R315; SEE FLOOR PLAN FOR LOCATIONS.
5. INSTALL WHOLE HOUSE VENTILATION FAN PER 2021 IRC WA STATE AMENDMENTS SECTION M1507.3; SYSTEM SHALL PROVIDE MIN. CFM PER TABLE M1507.3.3(1).
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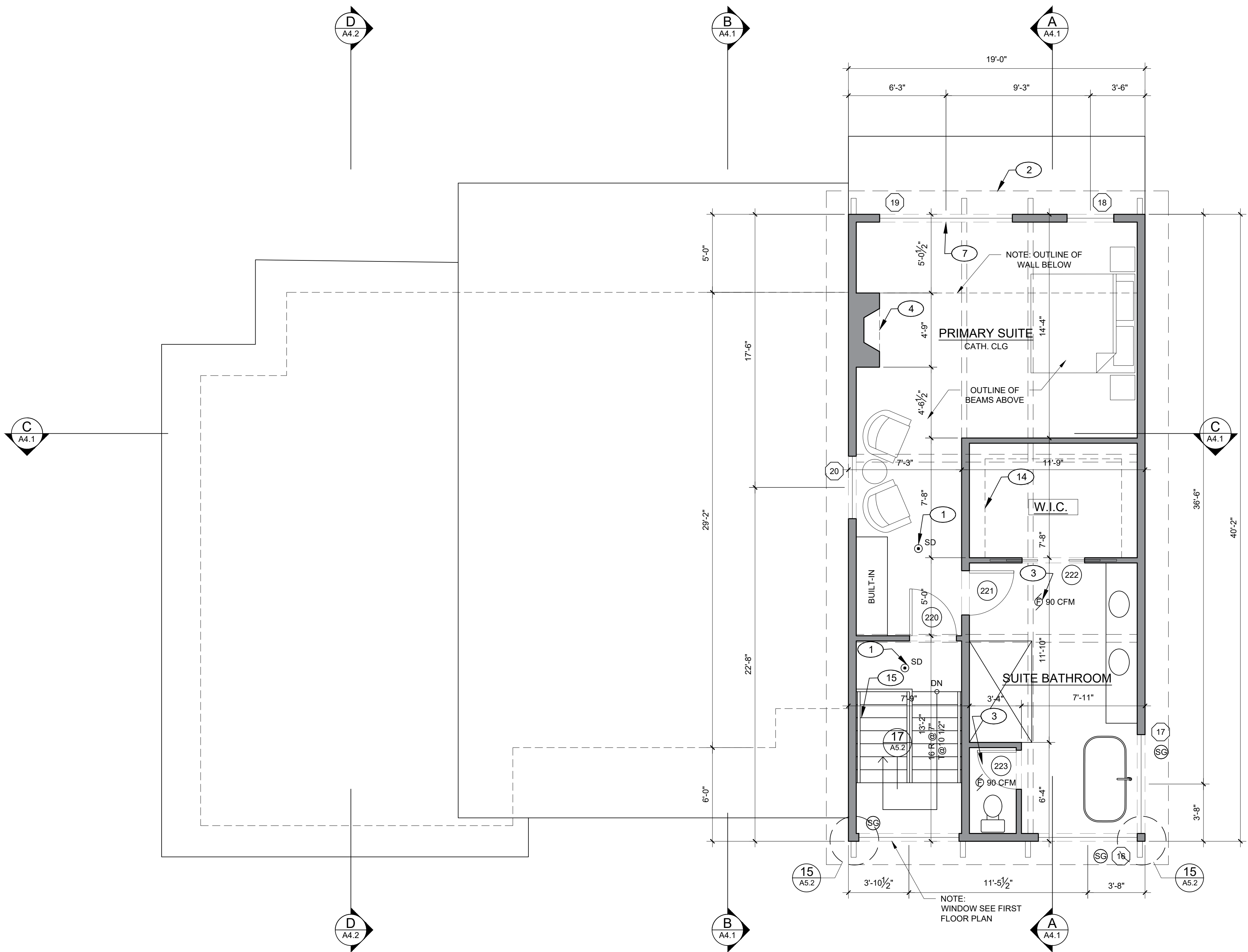
**PLAN KEYNOTES**

- ① 110V COMBINATION SMOKE & CARBON MONOXIDE DETECTOR INTERCONNECT W/ BATTERY BACKUP TYP.
- ② ROOF LINE ABOVE OR WALL BELOW.
- ③ 90 CFM, I.E SONO BATH ENERGY STAR FANS WITH 4" SMOOTH DUCTING. (MIN. 90 CFM FOR CONTINUOUS OPERATING WHOLE HOUSE FAN IN ACCORDANCE WITH SEC. M1507.3.3(1))
- ④ U.L. APPROVED PROPANE BURNING FIREPLACE
- ⑤ DRYER - VENT TO OUTSIDE
- ⑥ EXHAUST TERMINATION - IN ACCORDANCE WITH IRC M1507.3.4.4
- ⑦ PROVIDE EMERGENCY ESCAPE OPENING IN ALL SLEEPING ROOMS MIN. 24" HIGH X 20" WIDTH AND 5.7 S.F. CLEAR OPEN AREA IN ACCORDANCE WITH IRC R310.1
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- ⑨ RANGE WITH 300 CFM HOOD
- ⑩ 5/8" TYPE-X GWB ON ALL WALLS & CEILING AND AROUND ALL BEAMS AND POSTS.
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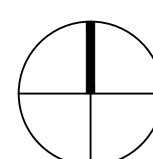
**DOOR & WINDOW NOTES**

1. SEE SHT. A0.1 FOR 2021 WSEC REQUIREMENTS; ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY.
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3. SEE ELEVATIONS FOR OPERABLE WINDOW SASH DIRECTIONS.
4. ALIGN WINDOW AND DOORS HEADS - TYP.

**NOTES:**  
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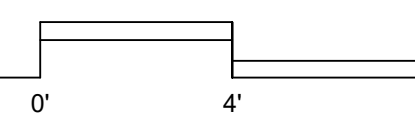


PROJECT NORTH



**SECOND FLOOR PLAN**

SCALE 1/4" = 1'-0"



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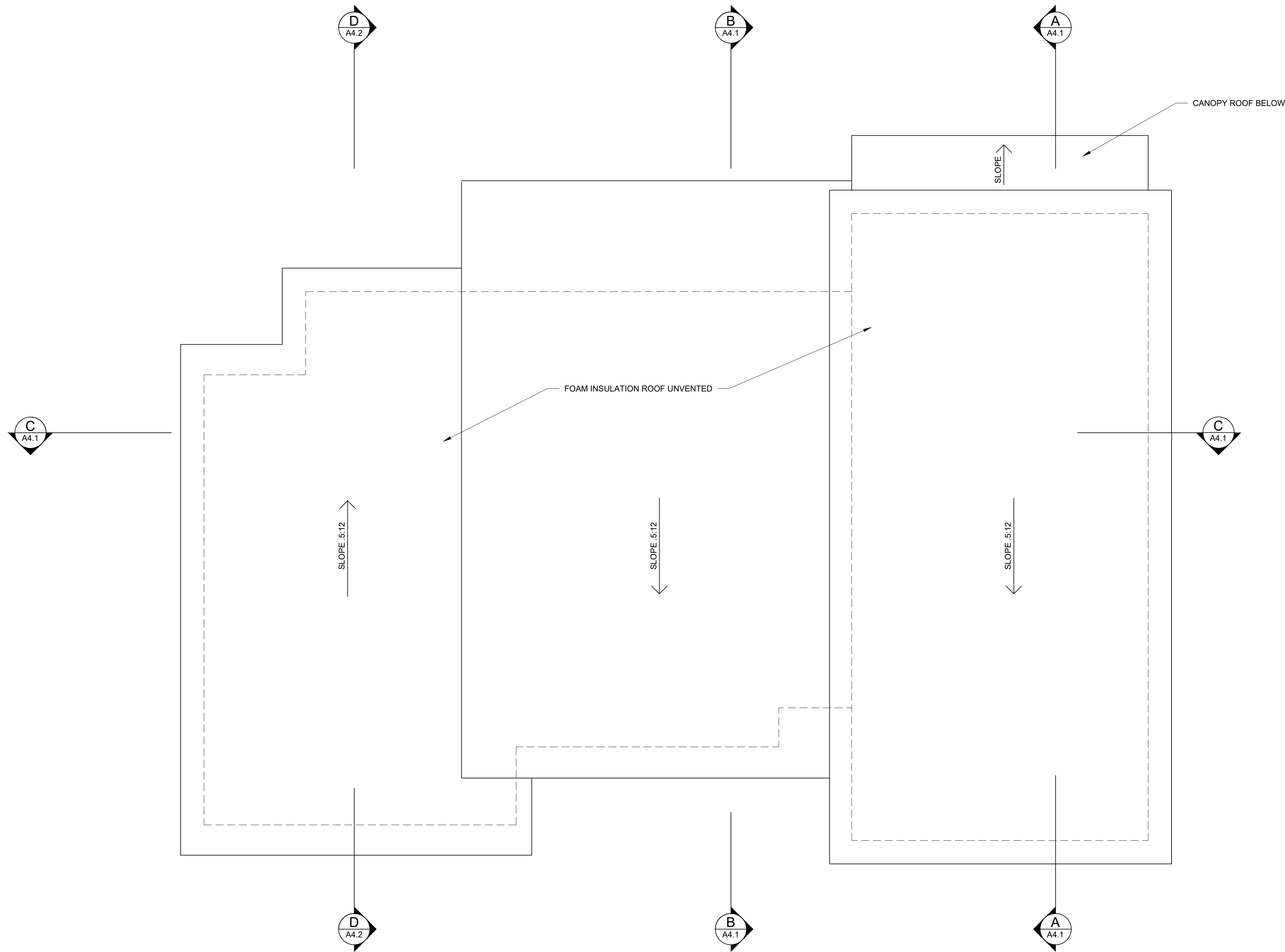
6946 REGISTERED ARCHITECT  
DAVID R. PELLETIER  
STATE OF WASHINGTON

**A1.2**  
5/28/2024

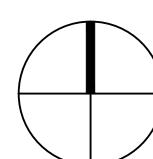
RUDD: ADDITIONS AND ALTERATIONS TO EXISTING RESIDENCE

**BUILDING PERMITS - SECOND FLOOR PLAN**



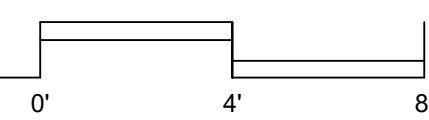


PROJECT  
NORTH



**ROOF PLAN**

SCALE 1/4" = 1'-0"



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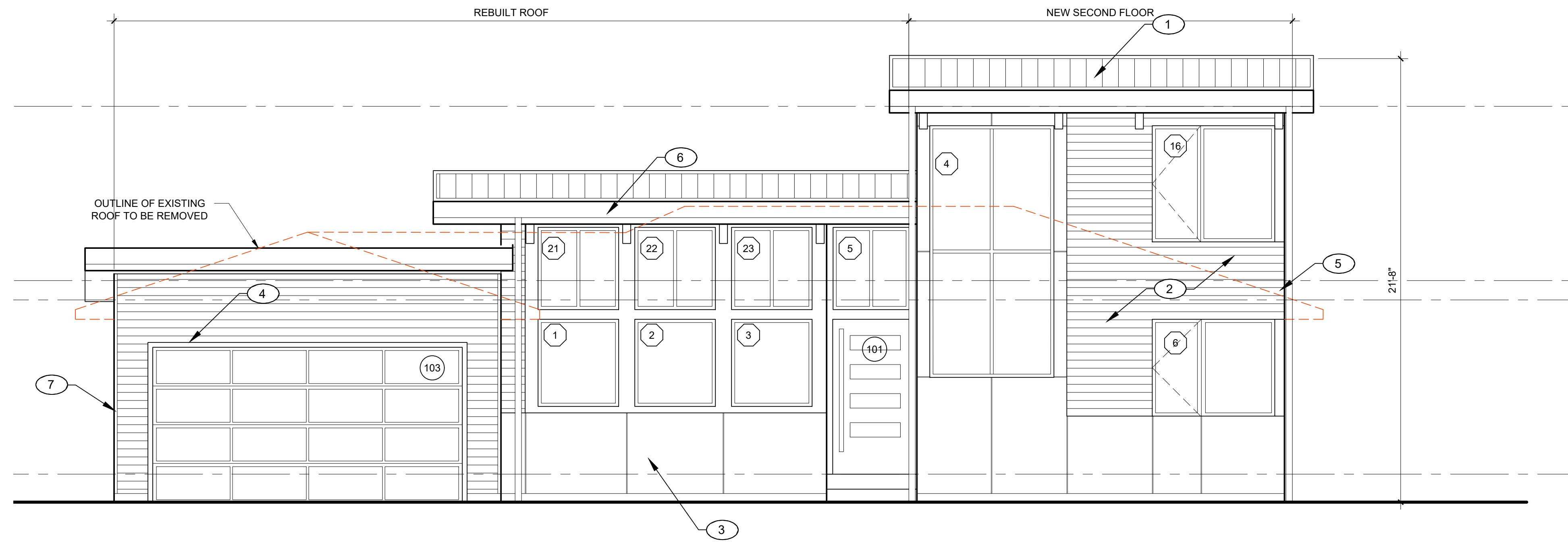
**A2.1**  
 5/28/2024

**ELEVATION / SECTION  
GENERAL NOTES**

1. ALL BUILDING ENVELOPE MATERIAL, COMPONENTS AND DETAILS TO BE INSTALLED PER INDUSTRY BEST PRACTICES AND MATERIAL MANUFACTURER'S SPECIFICATIONS, INSTRUCTIONS AND MANUALS.
2. BUILDING ENVELOPE DEFINITION TO INCLUDE EXTERIOR ROOFS, DECKS, EAVES, WALLS, DOORS AND WINDOWS; INCLUDING SIDING, TRIM, VAPOR BARRIERS AND DRAIN PLANS, FLASHING, SEALANTS, PENETRATIONS, VENTS, RAILING STANCHIONS, AND ALL OTHER STORM AND WEATHER DRAINAGE, MOISTURE AND VAPOR CONTROL SYSTEMS, DETAILS AND COMPONENTS.
3. PROVIDE TEMPERED SAFETY GLAZING PER 2018 IRC SECTION R308.4; SEE ELEVATIONS OR WINDOW SCHEDULE FOR LOCATIONS:

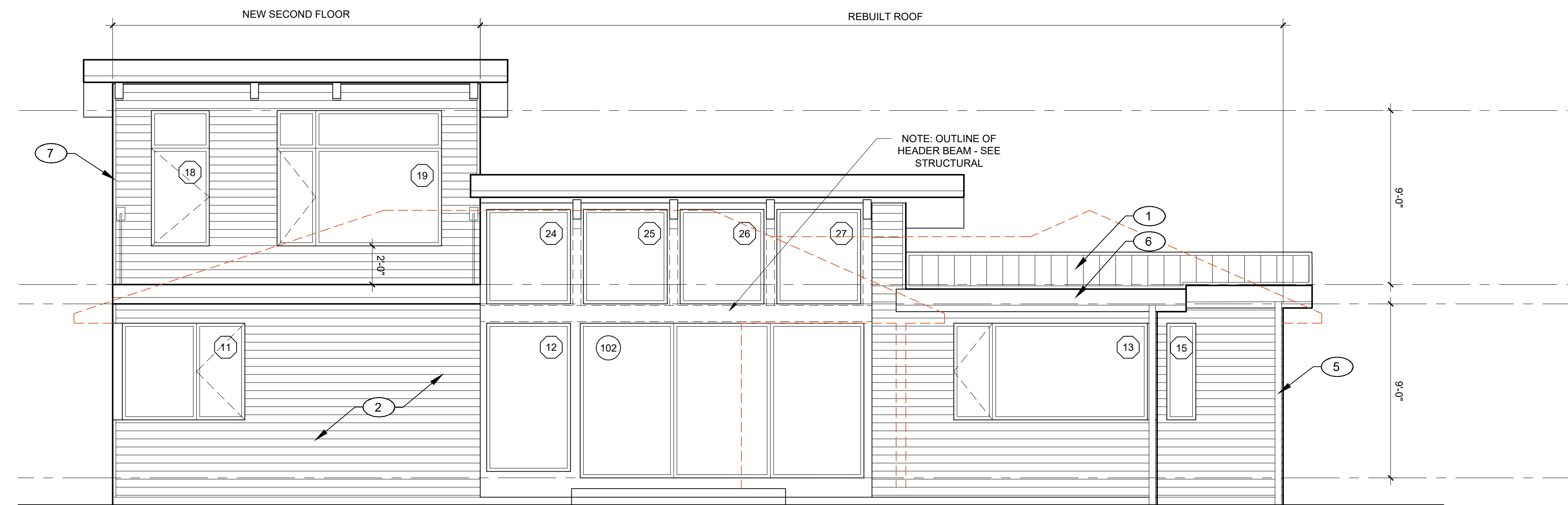
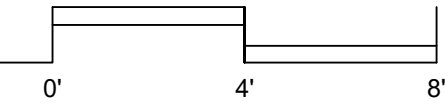
**ELEVATIONS KEY NOTES:**

- 1. STANDING SEAM PREFINISHED METAL ROOF
- 2. HORIZONTAL CEMENT BOARD SIDING
- 3. SMOOTH PANEL CEMENT BOARD SIDING
- 4. 5/4 PAINTED WOOD TRIM
- 5. PRE-FINISHED METAL GUTTERS AND DOWNSPOUTS (GUTTERS TO BE CONTINUOUS)
- 6. 5/4x14 CONCRETE BOARD BARGE - TYP
- 7. METAL REVEAL CORNER TRIM



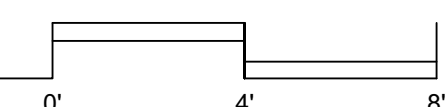
**SOUTH ELEVATION**

SCALE 1/4"= 1'-0"



**NORTH ELEVATION**

SCALE 1/4"= 1'-0"



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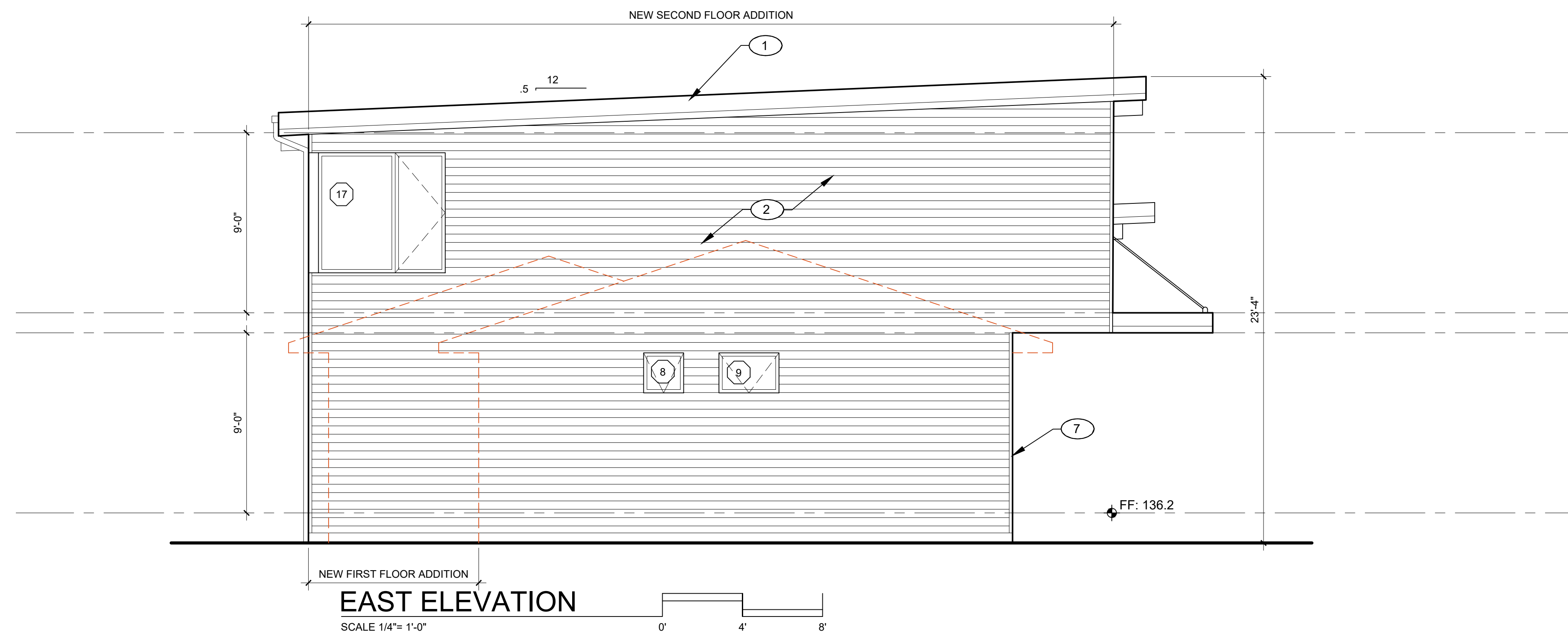
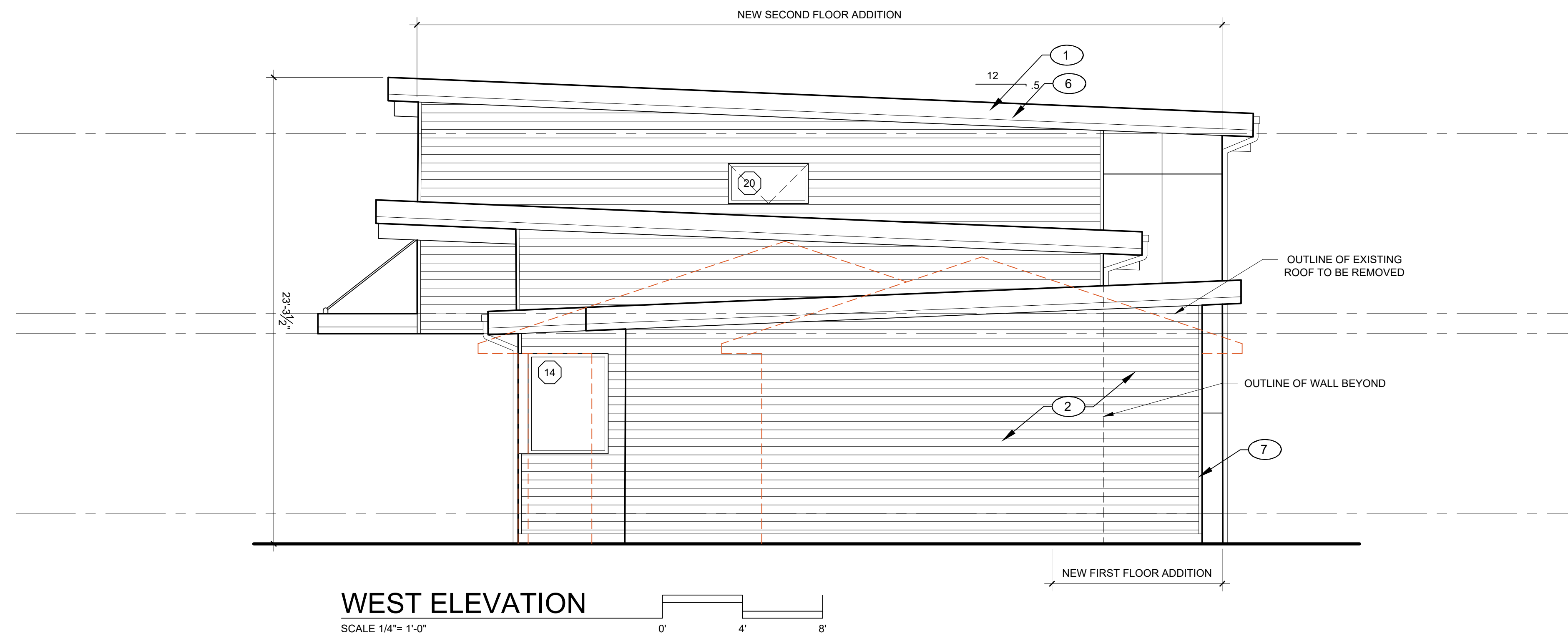
**A3.1**  
5/28/2024

**ELEVATION / SECTION  
GENERAL NOTES**

1. ALL BUILDING ENVELOPE MATERIAL, COMPONENTS AND DETAILS TO BE INSTALLED PER INDUSTRY BEST PRACTICES AND MATERIAL MANUFACTURER'S SPECIFICATIONS, INSTRUCTIONS AND MANUALS.
2. BUILDING ENVELOPE DEFINITION TO INCLUDE EXTERIOR ROOFS, DECKS, EAVES, WALLS, DOORS AND WINDOWS; INCLUDING SIDING, TRIM, VAPOR BARRIERS AND DRAIN PLANS, FLASHING, SEALANTS, PENETRATIONS, VENTS, RAILING STANCHIONS, AND ALL OTHER STORM AND WEATHER DRAINAGE, MOISTURE AND VAPOR CONTROL SYSTEMS, DETAILS AND COMPONENTS.
3. PROVIDE TEMPERED SAFETY GLAZING PER 2018 IRC SECTION R308.4; SEE ELEVATIONS OR WINDOW SCHEDULE FOR LOCATIONS.

**ELEVATIONS KEY NOTES:**

- |    |  |
|----|--|
| 1. | STANDING SEAM PREFINISHED METAL ROOF                                 |
| 2. | HORIZONTAL CEMENT BOARD SIDING                                       |
| 3. | SMOOTH PANEL CEMENT BOARD SIDING                                     |
| 4. | 5/4 PAINTED WOOD TRIM  |
| 5. | PRE-FINISHED METAL GUTTERS AND DOWNSPOUTS (GUTTERS TO BE CONTINUOUS) |
| 6. | 5/4x14 CONCRETE BOARD BARGE - TYP                                    |
| 7. | METAL REVEAL CORNER TRIM   |



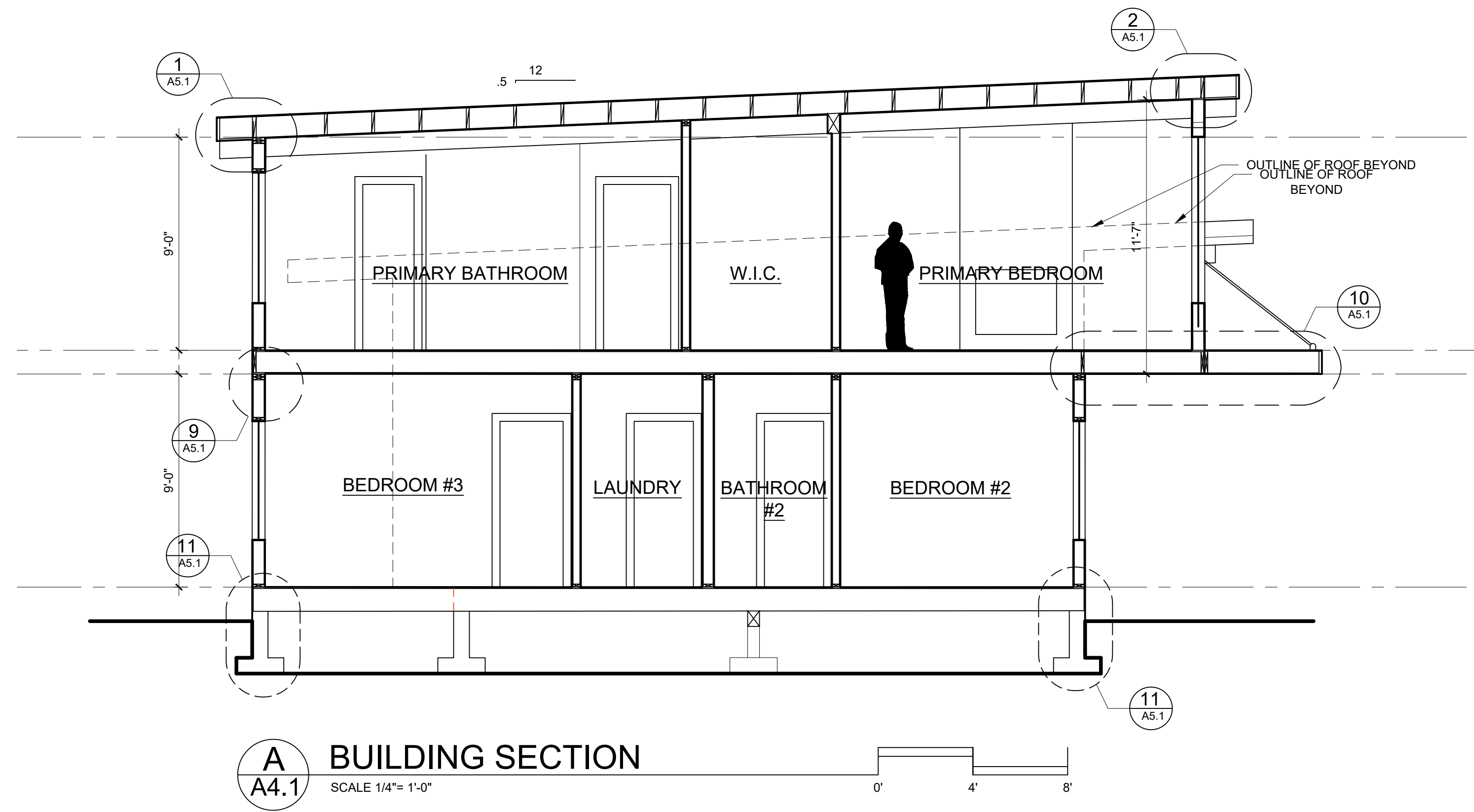
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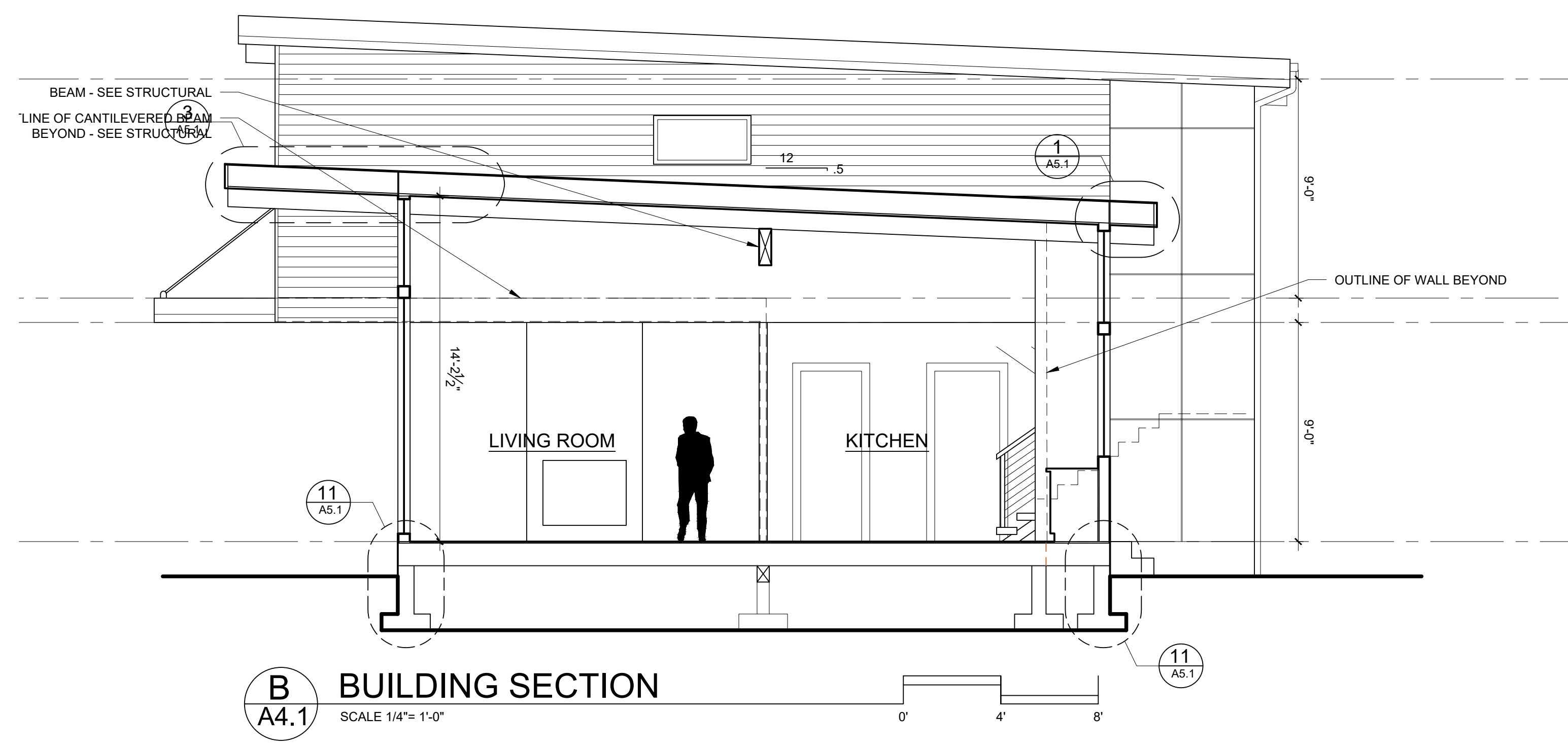
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**A3.2**  
5/28/2024



**A BUILDING SECTION**  
A4.1 SCALE 1/4"= 1'-0"



**B BUILDING SECTION**  
A4.1 SCALE 1/4"= 1'-0"

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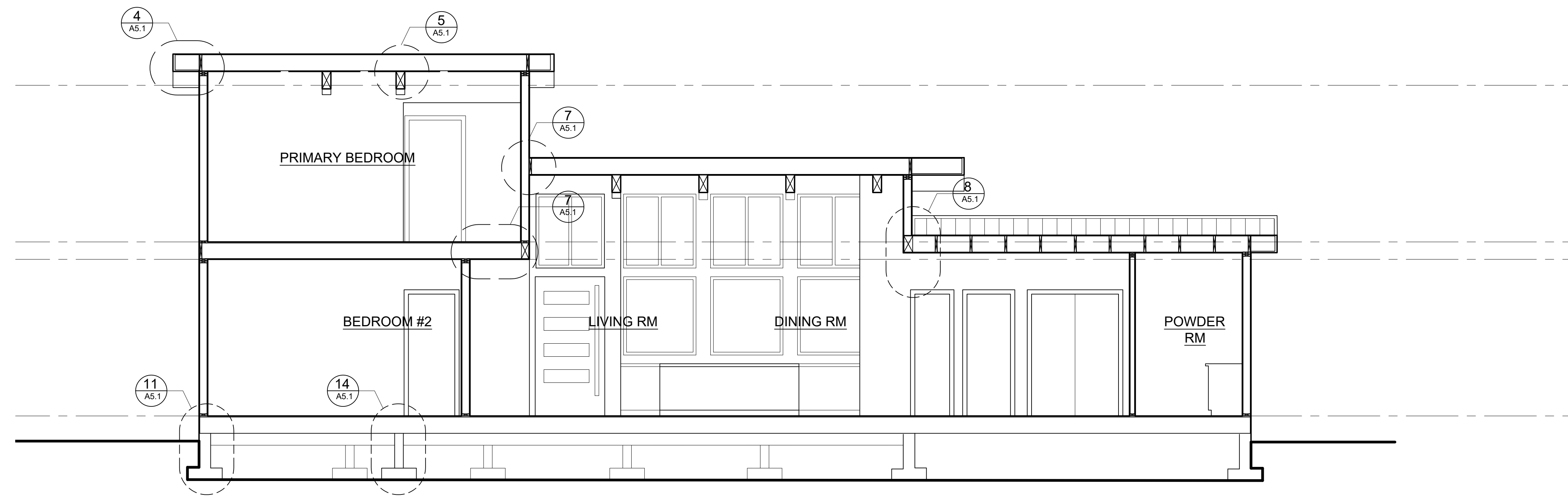
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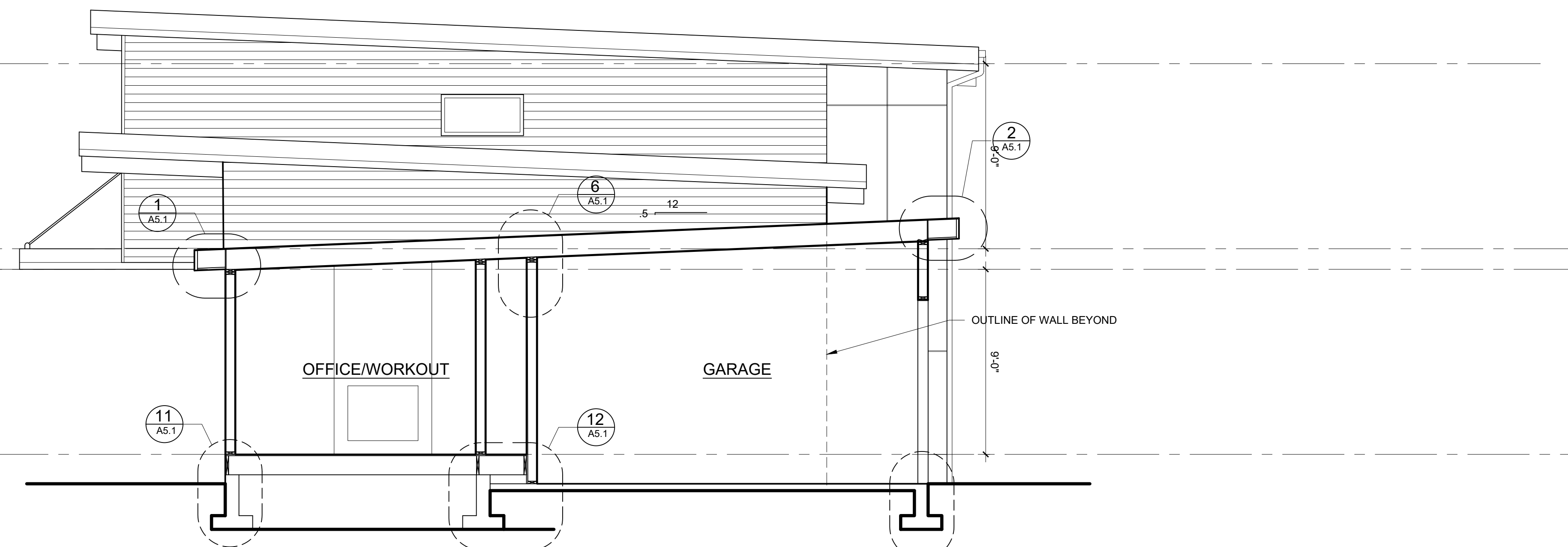
**A4.1**  
5/28/2024

**ELEVATION / SECTION  
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3. PROVIDE TEMPERED SAFETY GLAZING PER 2018 IRC SECTION R308.4; SEE ELEVATIONS OR WINDOW SCHEDULE FOR LOCATIONS.



**C BUILDING SECTION**  
A4.2 SCALE 1/4" = 1'-0" 0' 4' 8'



**D BUILDING SECTION**  
A4.2 SCALE 1/4" = 1'-0" 0' 4' 8'

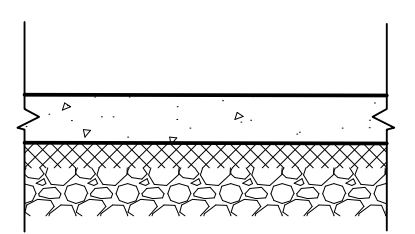
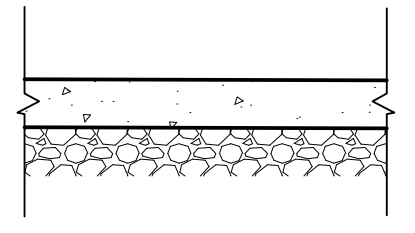
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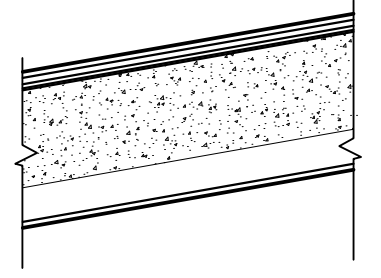
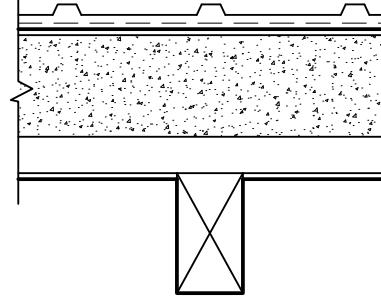
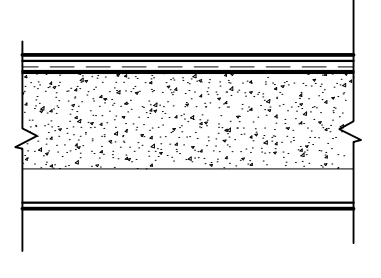
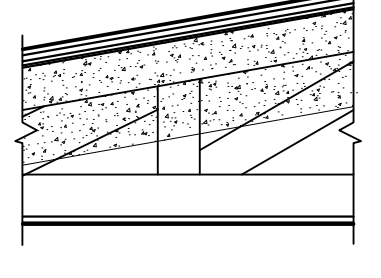
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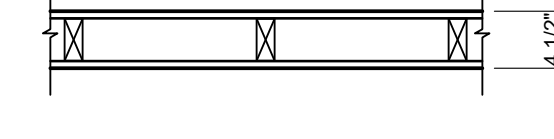
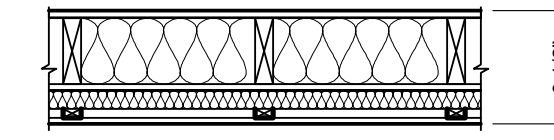
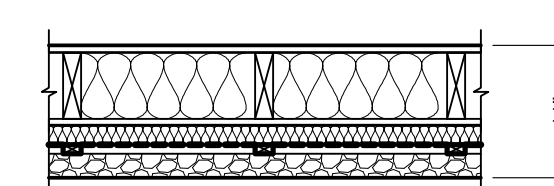
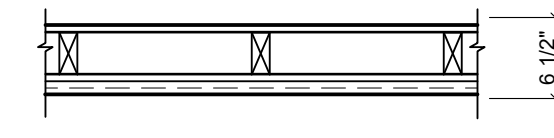
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**A4.2**  
5/28/2024

RUDD: ADDITIONS AND ALTERATIONS TO EXISTING RESIDENCE

FLOOR/CEILING ASSEMBLIES		RATINGS			
FLOOR TYPE	ASSEMBLY DESCRIPTION	FIRE	SOUND	THERMAL	
F1	<ul style="list-style-type: none"> <li>4" CONCRETE SLAB</li> <li>6 MIL VAPOR BARRIER</li> <li>2" RIGID INSULATION</li> <li>COMPOSITION FILL</li> </ul> 				
F2	<ul style="list-style-type: none"> <li>4" CONCRETE SLAB</li> <li>6 MIL VAPOR BARRIER</li> <li>COMPOSITION FILL</li> </ul> 				

ROOF ASSEMBLIES		RATINGS			
ROOF TYPE	ROOF DETAIL	ASSEMBLY DESCRIPTION	FIRE	SOUND	THERMAL
R1		<ul style="list-style-type: none"> <li>STANDING SEAM METAL ROOFING</li> <li>UNDERLAYMENT</li> <li>VAPOR BARRIER</li> <li>PLYWOOD (PER STRUCTURAL)</li> <li>RAFTERS (PER STRUCTURAL)</li> <li>R60 (8.5" MIN) FOAM INSULATION TIGHT TO UNDERSIDE OF SHEATHING</li> <li>1/2" GWB CEILING</li> </ul>			R-60
R2		<ul style="list-style-type: none"> <li>STANDING SEAM METAL ROOFING</li> <li>UNDERLAYMENT</li> <li>SHEATHING (PER STRUCTURAL)</li> <li>RAFTERS (PER STRUCTURAL)</li> <li>R60 (8.5" MIN) FOAM INSULATION TIGHT TO UNDERSIDE OF SHEATHING</li> <li>1/2" GWB CEILING</li> <li>BEAMS (PER STRUCTURAL)</li> </ul>			R-60
R3		<ul style="list-style-type: none"> <li>STANDING SEAM METAL ROOFING</li> <li>UNDERLAYMENT</li> <li>VAPOR BARRIER</li> <li>PLYWOOD (PER STRUCTURAL)</li> <li>RAFTERS (PER STRUCTURAL)</li> <li>R60 (8.5" MIN) FOAM INSULATION TIGHT TO UNDERSIDE OF SHEATHING</li> <li>1/2" GWB CEILING</li> </ul>			
R4		<ul style="list-style-type: none"> <li>STANDING SEAM METAL ROOFING</li> <li>UNDERLAYMENT</li> <li>VAPOR BARRIER</li> <li>PLYWOOD (PER STRUCTURAL)</li> <li>SLOPED TOP CHORD ROOF TRUSSES (PER STRUCTURAL)</li> <li>R60 (8.5" MIN) FOAM INSULATION TIGHT TO UNDERSIDE OF SHEATHING</li> <li>1/2" GWB CEILING</li> </ul>			

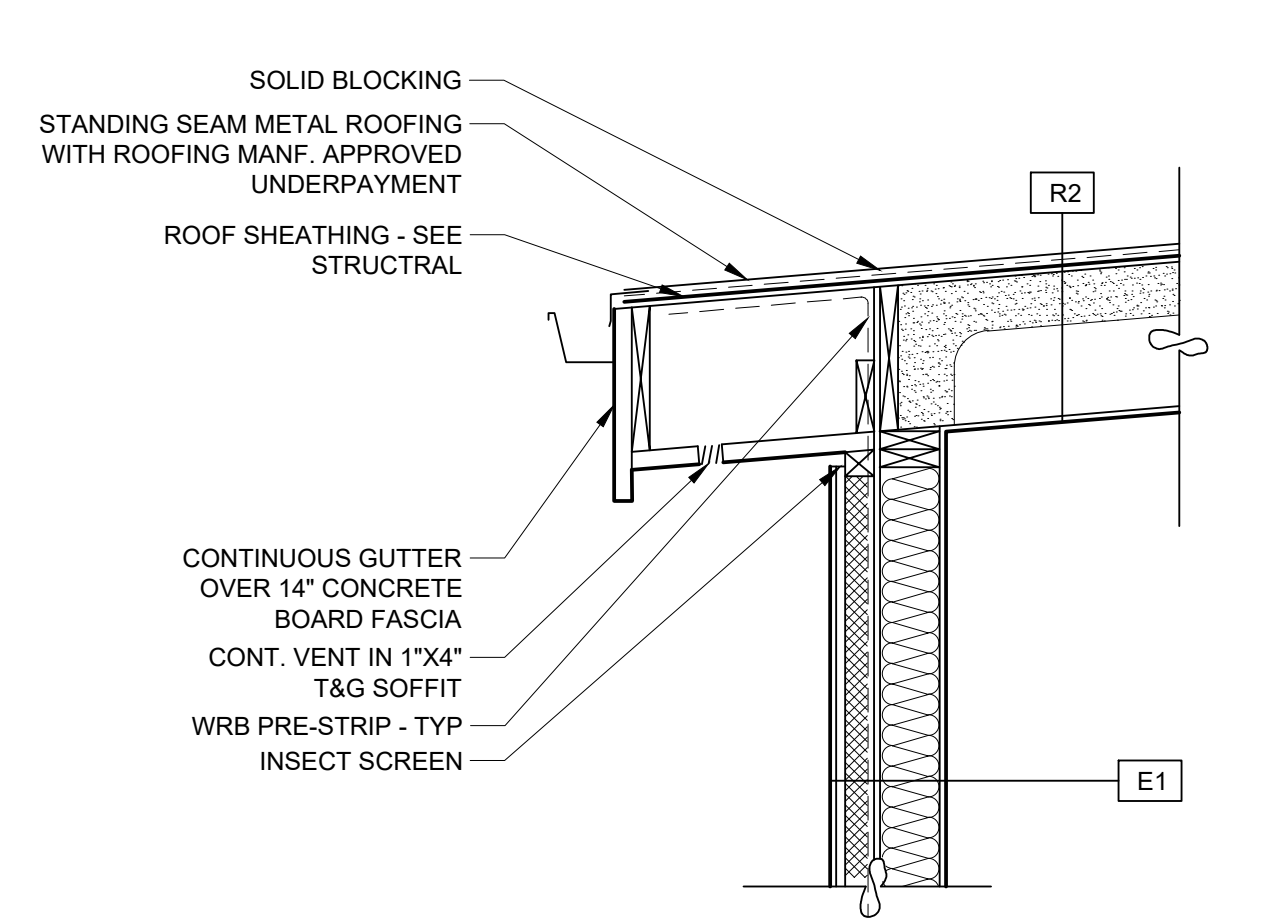
WALL ASSEMBLIES		RATINGS			
WALL TYPE	WALL DETAIL	ASSEMBLY DESCRIPTION	FIRE	SOUND	THERMAL
W1		<ul style="list-style-type: none"> <li>1/2" G.W.B.</li> <li>2X4 STUDS @ 16" O.C.</li> <li>1/2" G.W.B.</li> </ul> <p>NOTE: USE 3 1/2" ACOUSTIC INSULATION AROUND BATHS</p>			
E1		<ul style="list-style-type: none"> <li>1/2" G.W.B.</li> <li>R-20 FIBERGLASS BATT INSULATION</li> <li>2X6 STUDS (PER STRUCTURAL)</li> <li>1/2" PLYWOOD SHEATHING PER STRUCT</li> <li>WRB</li> <li>1 1/2" (R5) ROCK WOOL CONT. INSUL.</li> <li>FURRING STRIPS @ 16" O.C.</li> <li>CEMENT BOARD SIDING</li> </ul>			R-20 + R-5
E2		<ul style="list-style-type: none"> <li>1/2" G.W.B.</li> <li>R-20 FIBERGLASS BATT INSULATION</li> <li>2X6 STUDS (PER STRUCTURAL)</li> <li>1/2" PLYWOOD SHEATHING PER STRUCT</li> <li>WRB</li> <li>1 1/2" (R5) ROCK WOOL CONT. INSUL.</li> <li>FURRING STRIPS @ 16" O.C.</li> <li>STONE VENEER</li> </ul>			R-20 + R-5
E3		<ul style="list-style-type: none"> <li>5/8" TYPE-X G.W.B.</li> <li>2X6 STUDS (PER STRUCTURAL)</li> <li>1/2" PLYWOOD SHEATHING PER STRUCT</li> <li>WRB</li> <li>SIDING (PER ELEVATION)</li> </ul>			

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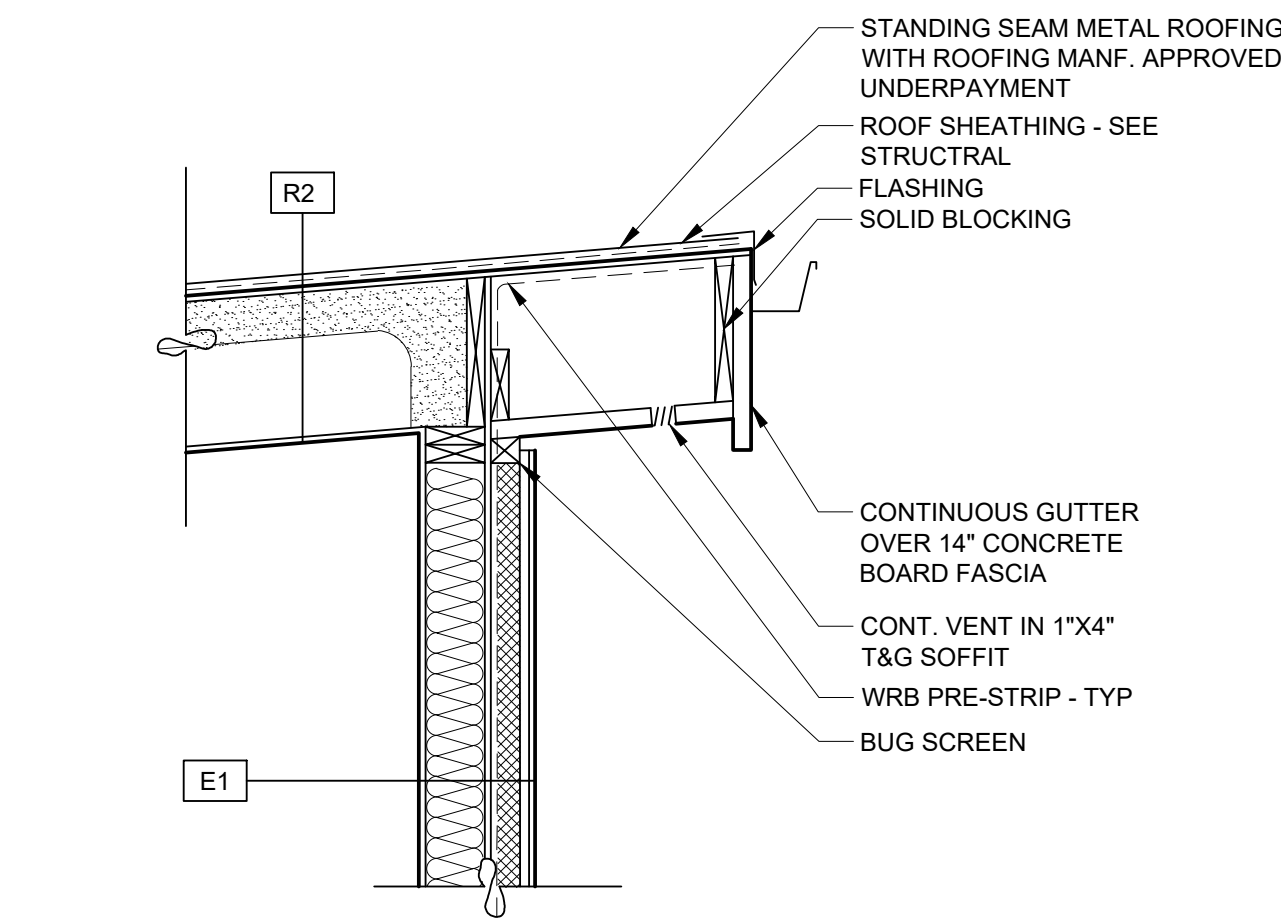
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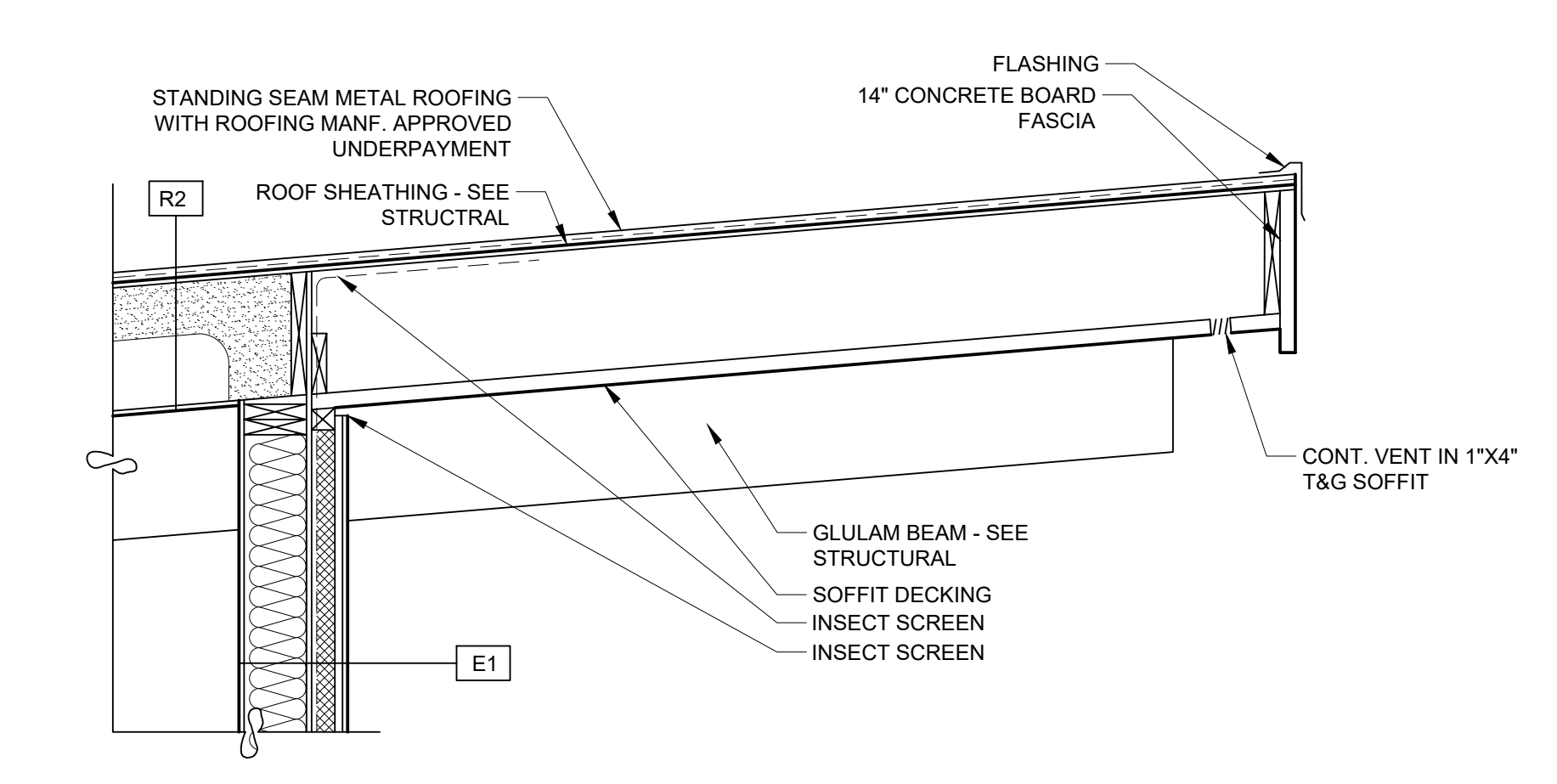
**A5.1**  
 5/28/2024



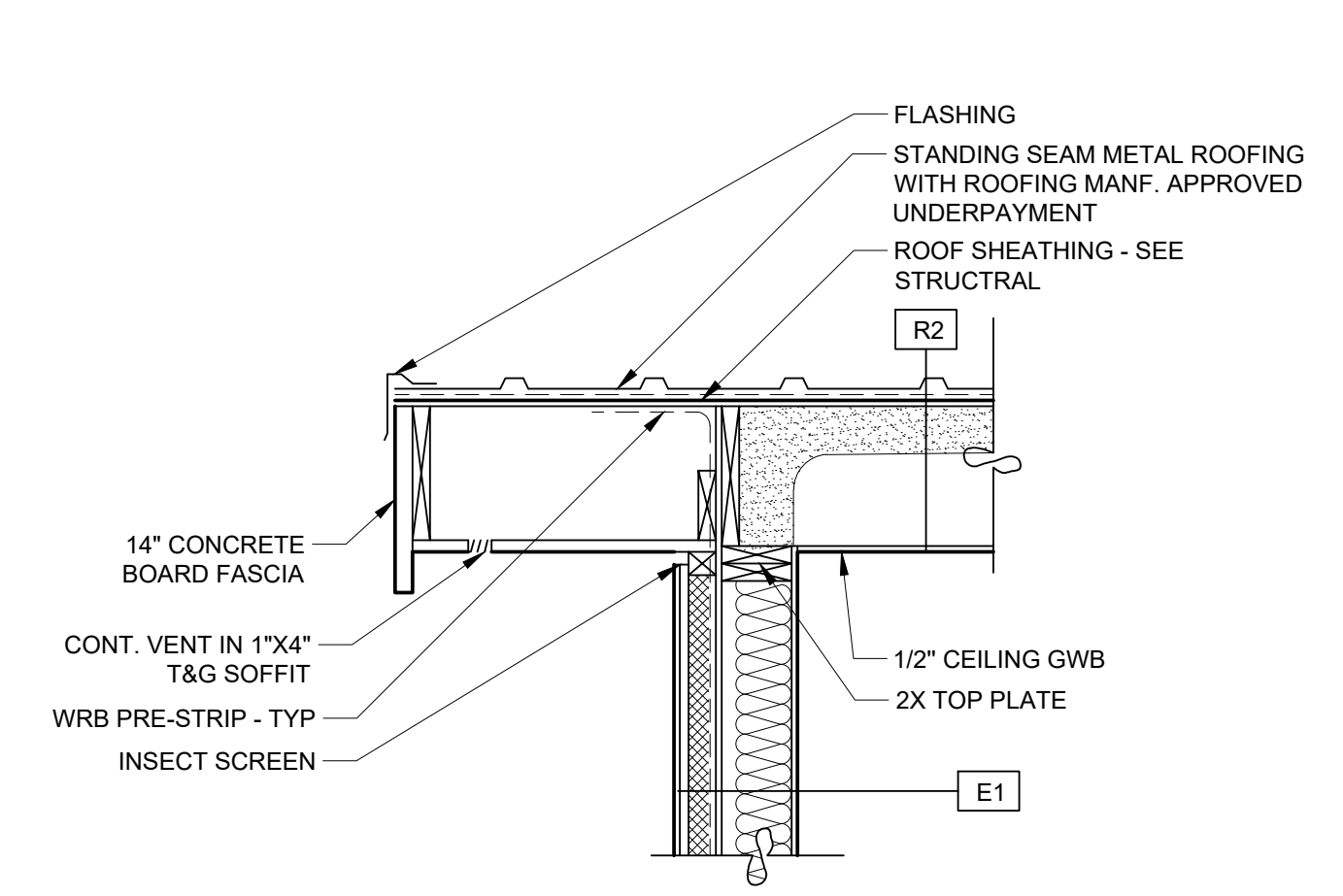
EAVE DETAIL - TYP  
SCALE: 3/4" = 1'-0"



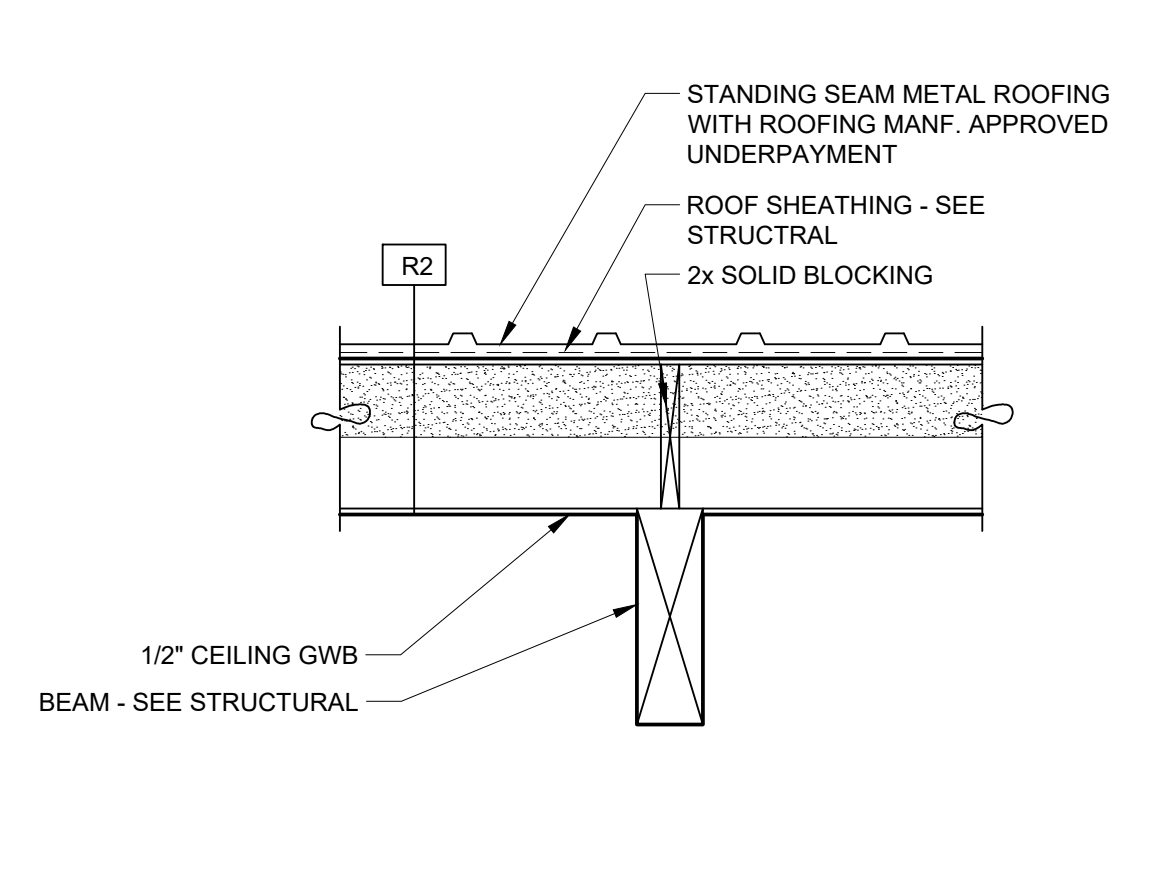
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SCALE: 3/4" = 1'-0"



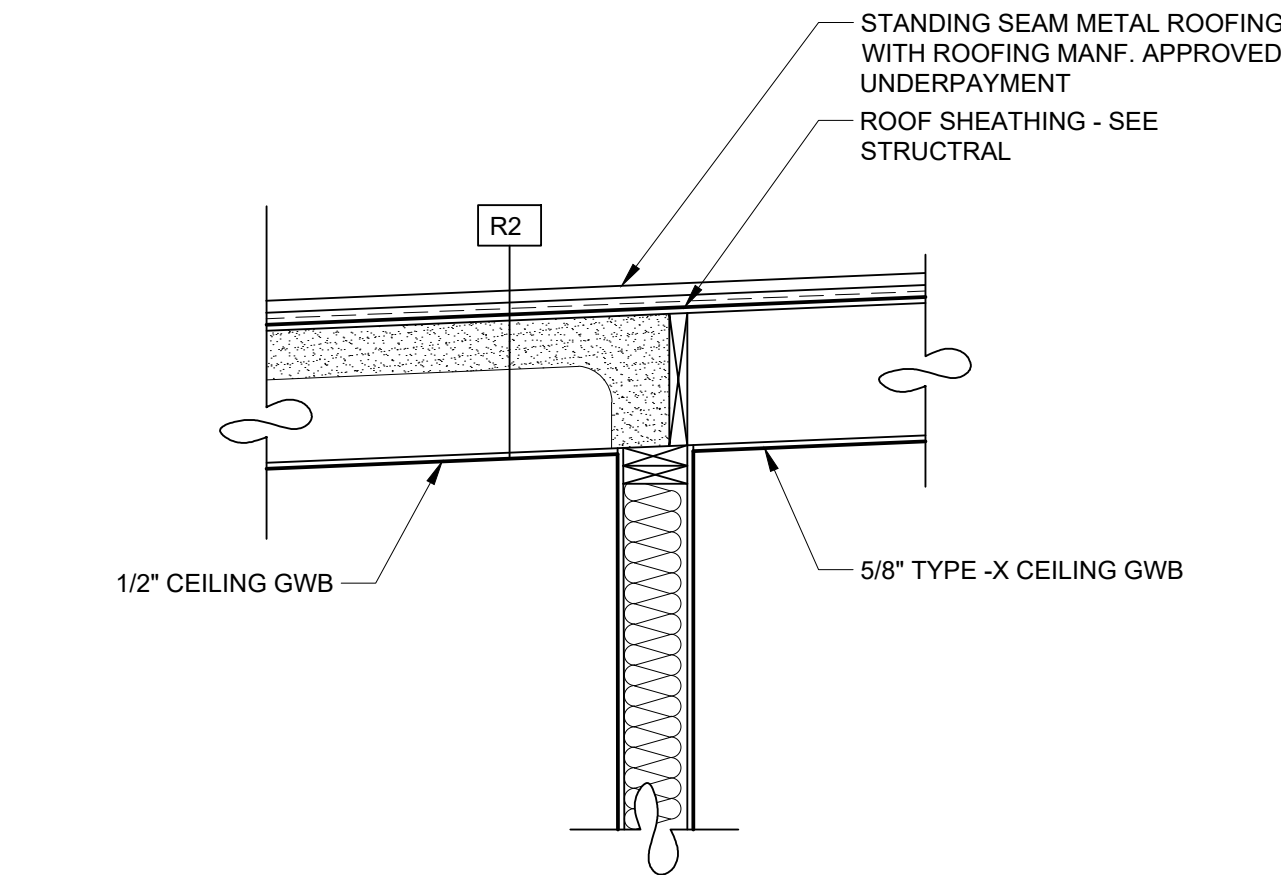
OVERHANG DETAIL  
SCALE: 3/4" = 1'-0"



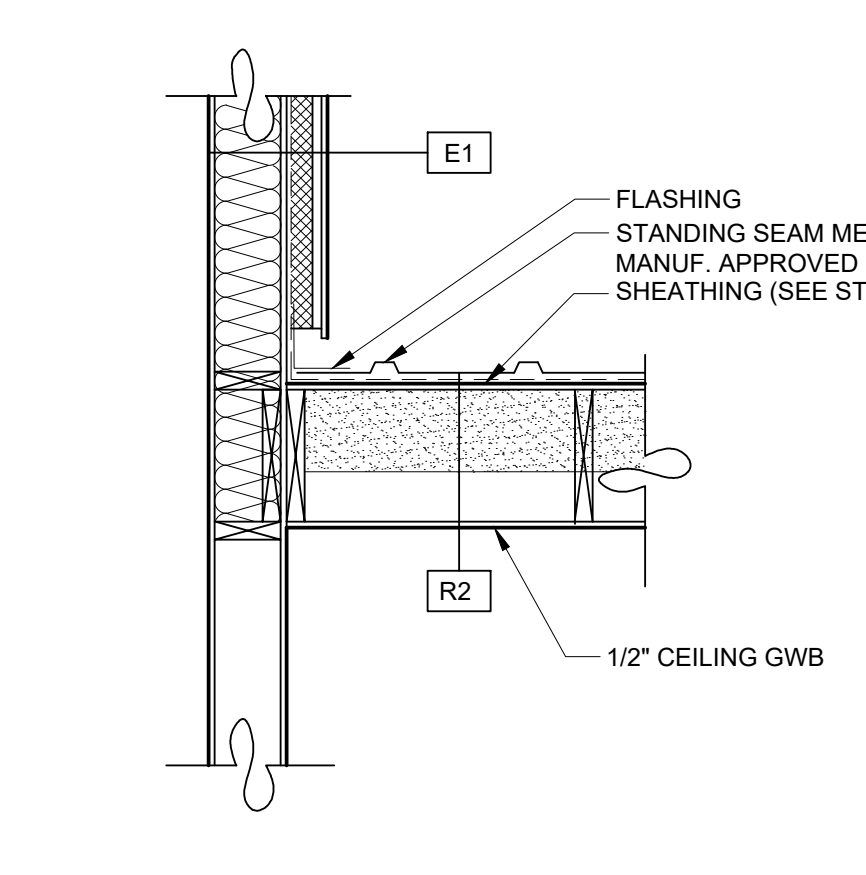
BARGE DETAIL - TYP  
SCALE: 3/4" = 1'-0"



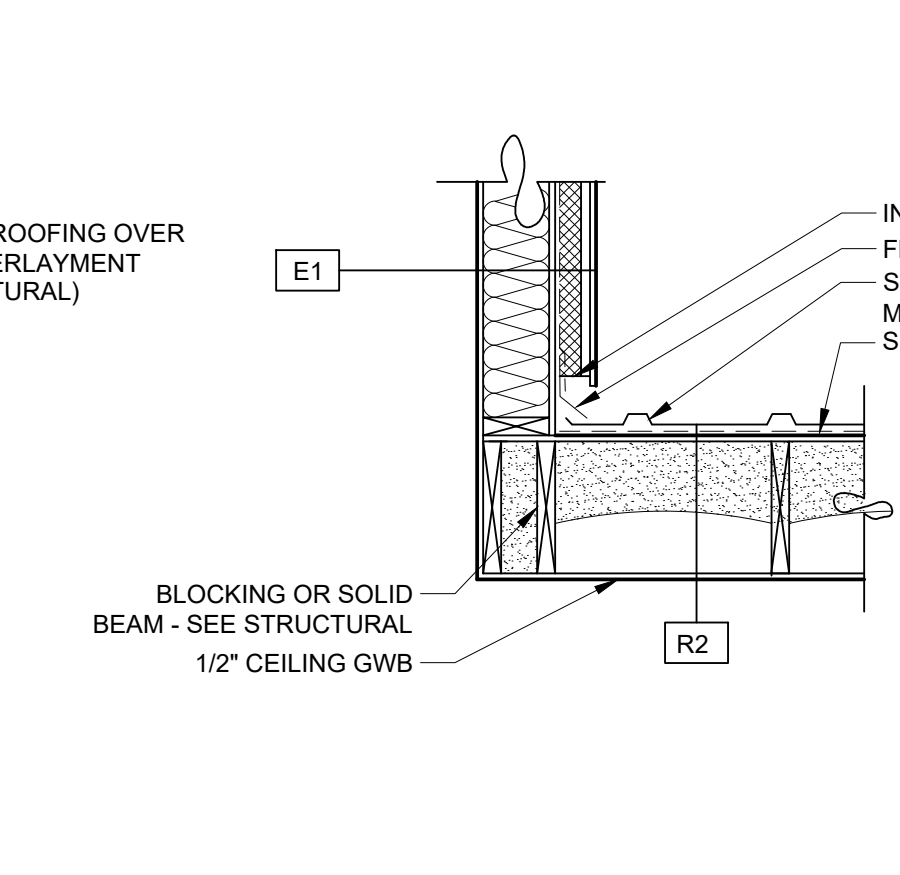
CEILING BEAM DETAIL  
SCALE: 3/4" = 1'-0"



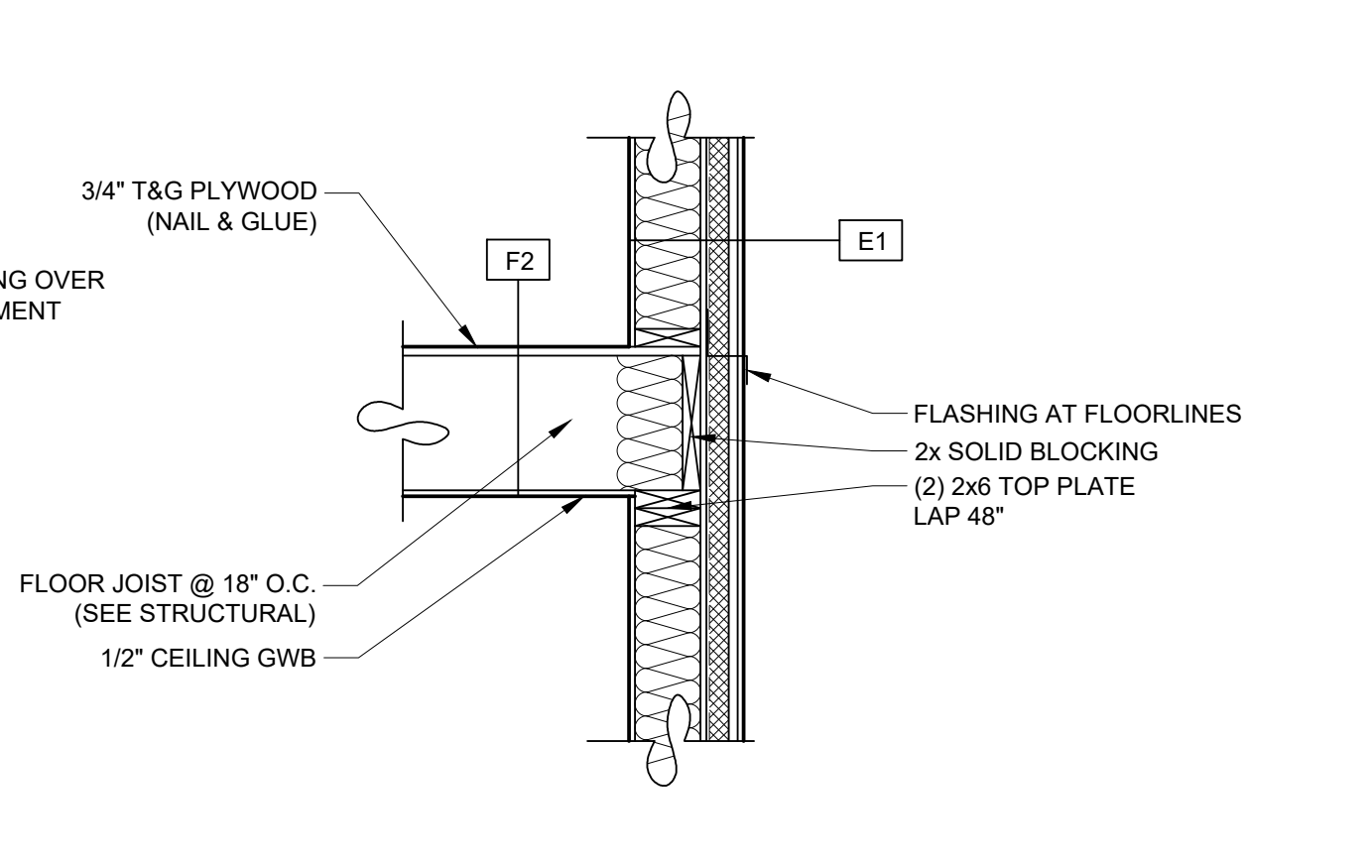
ROOF AT GARGAE  
SCALE: 3/4" = 1'-0"



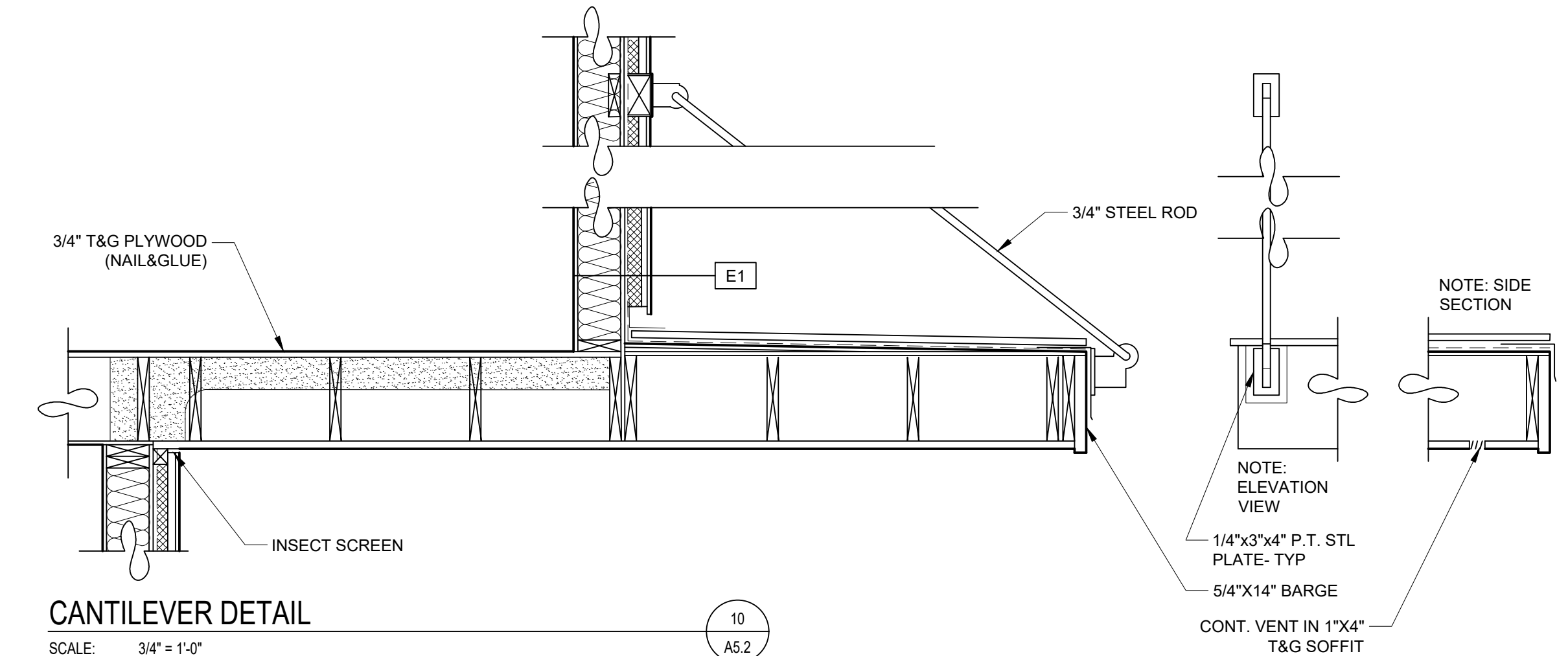
ROOF TO WALL DETAIL  
SCALE: 3/4" = 1'-0"



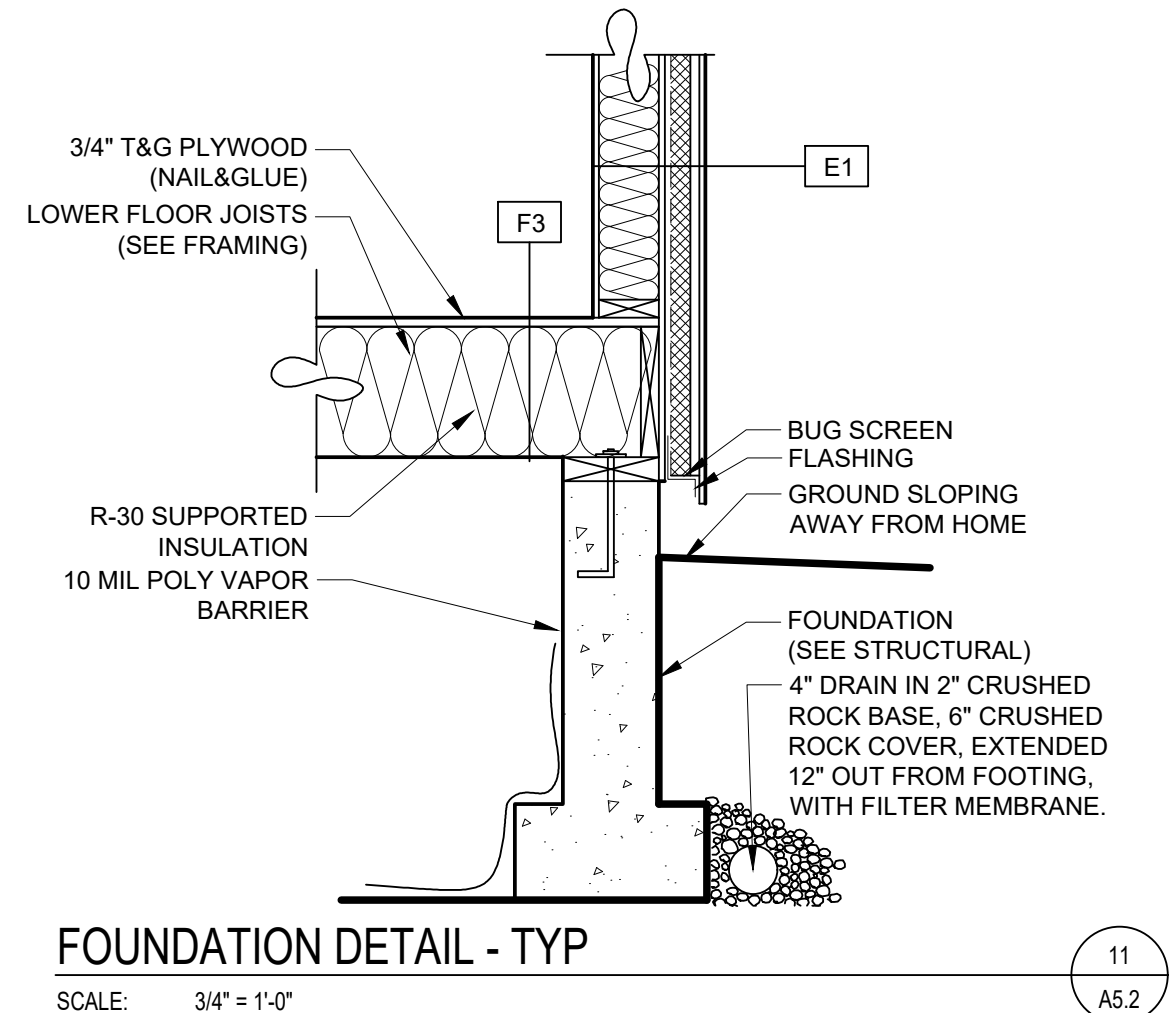
BEAM ROOF DETAIL  
SCALE: 3/4" = 1'-0"



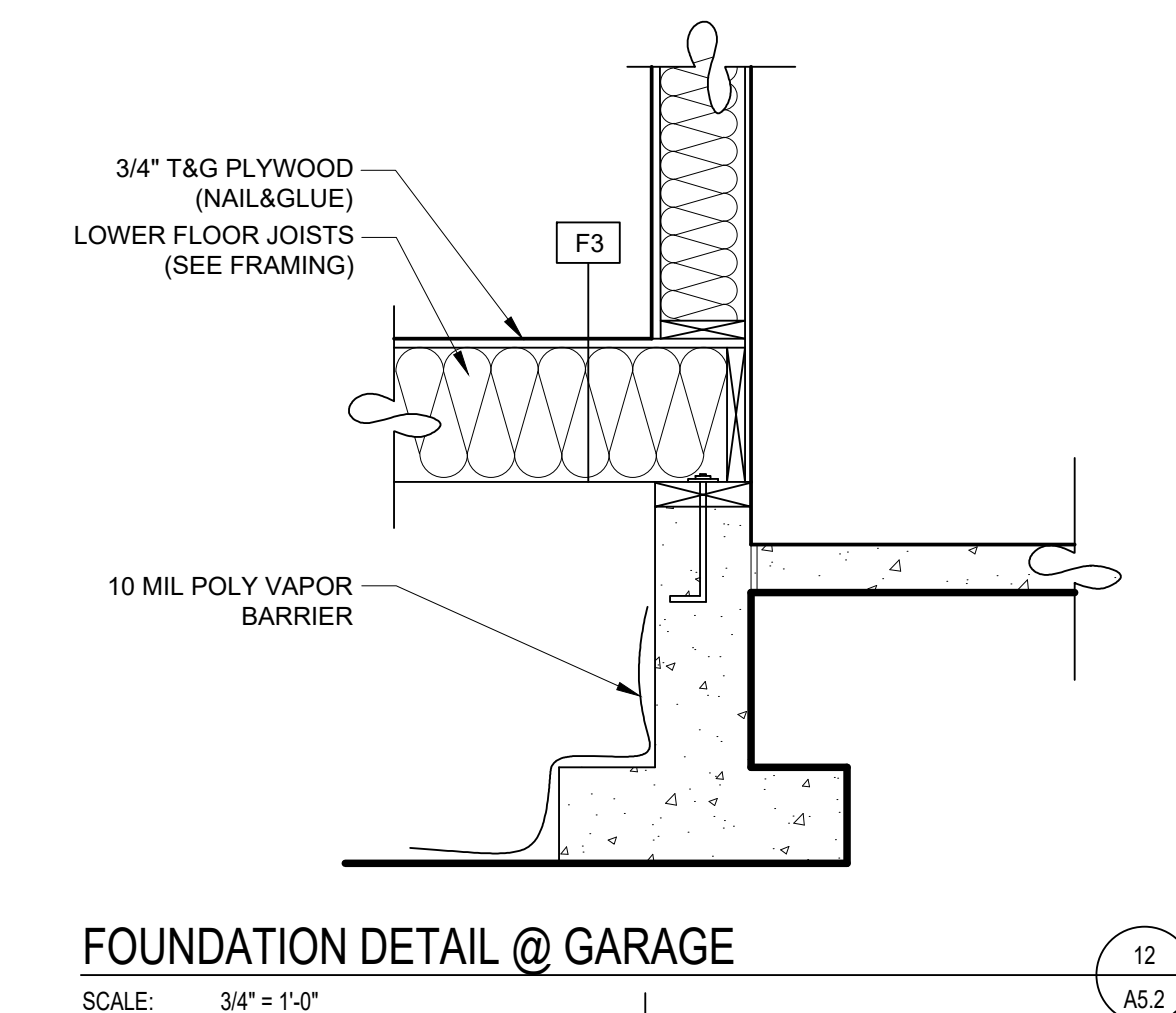
DETAIL NAME  
SCALE: 3/4" = 1'-0"



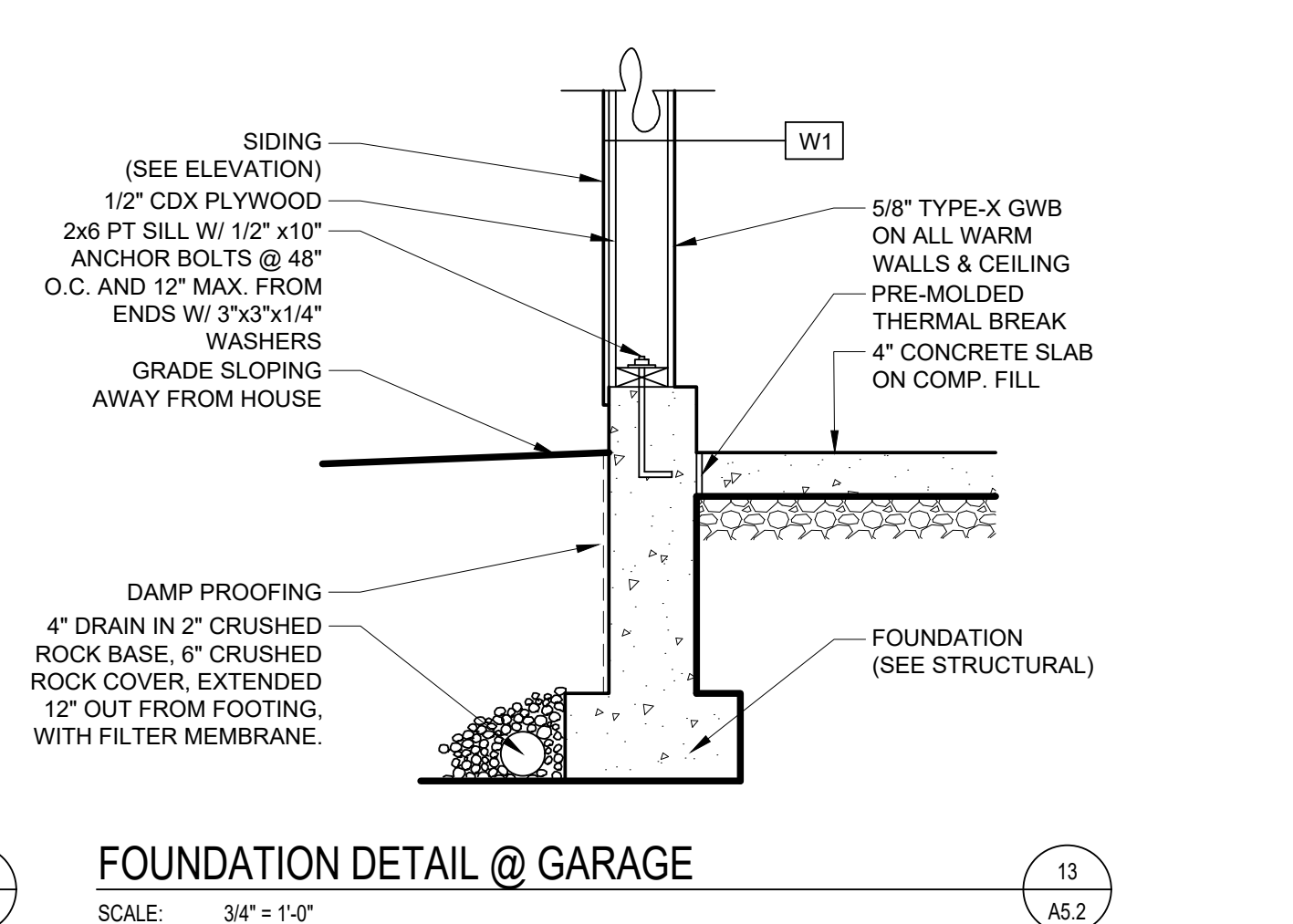
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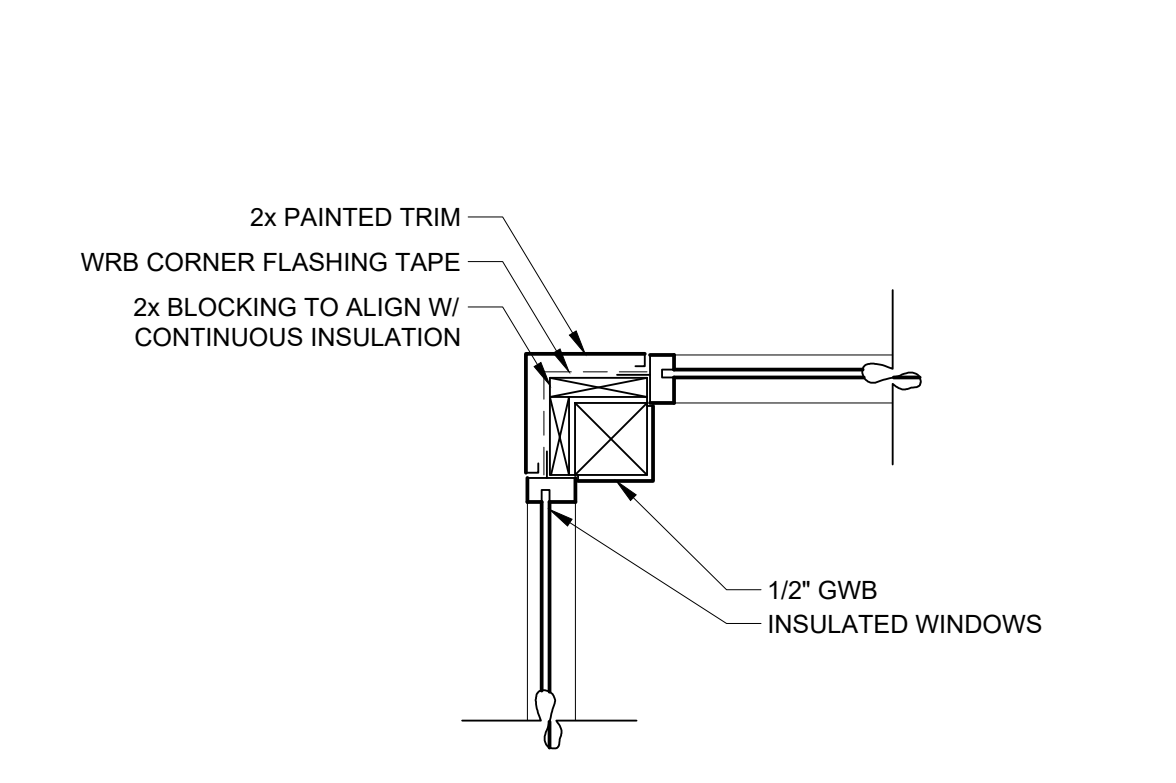
FOUNDATION DETAIL - TYP  
SCALE: 3/4" = 1'-0"



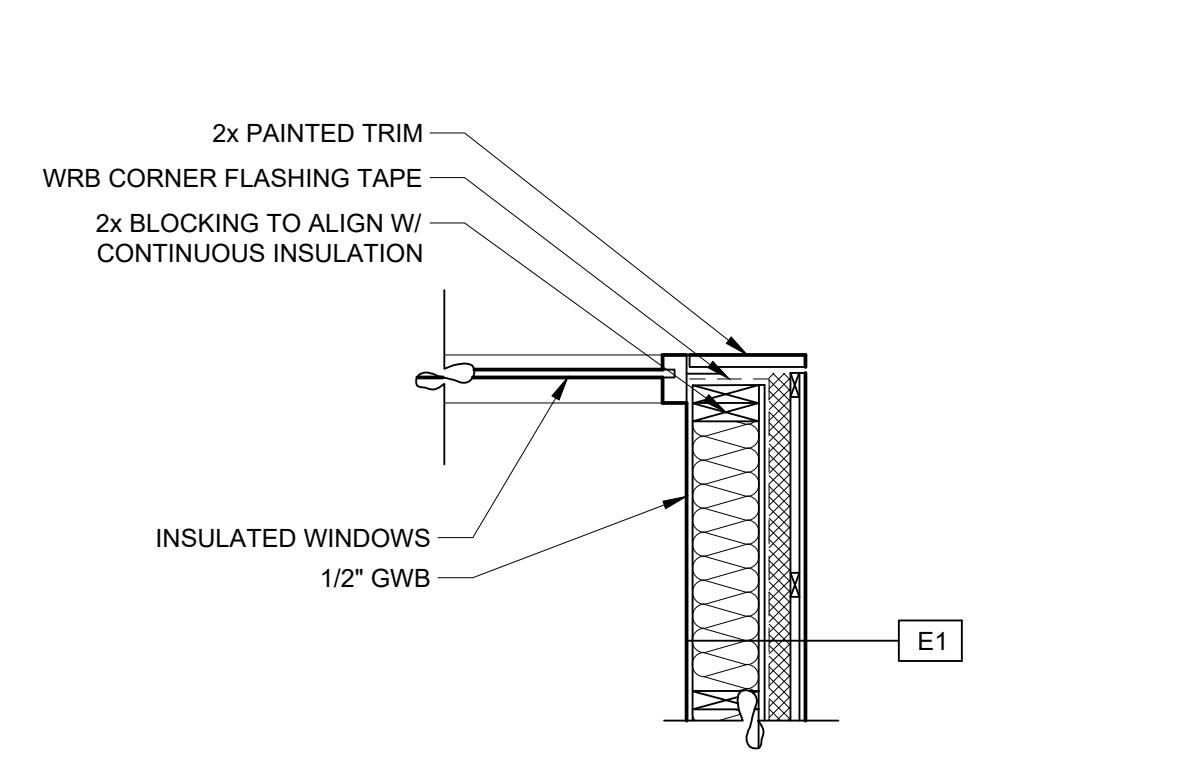
FOUNDATION DETAIL @ GARAGE  
SCALE: 3/4" = 1'-0"



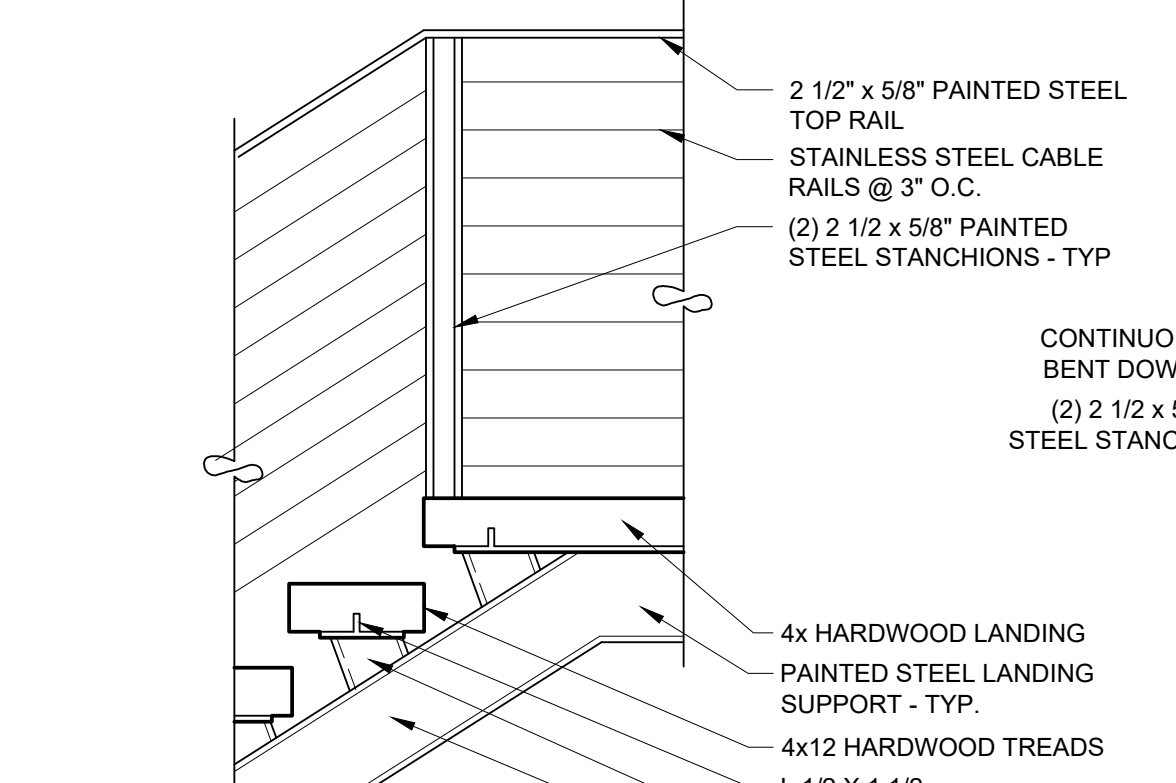
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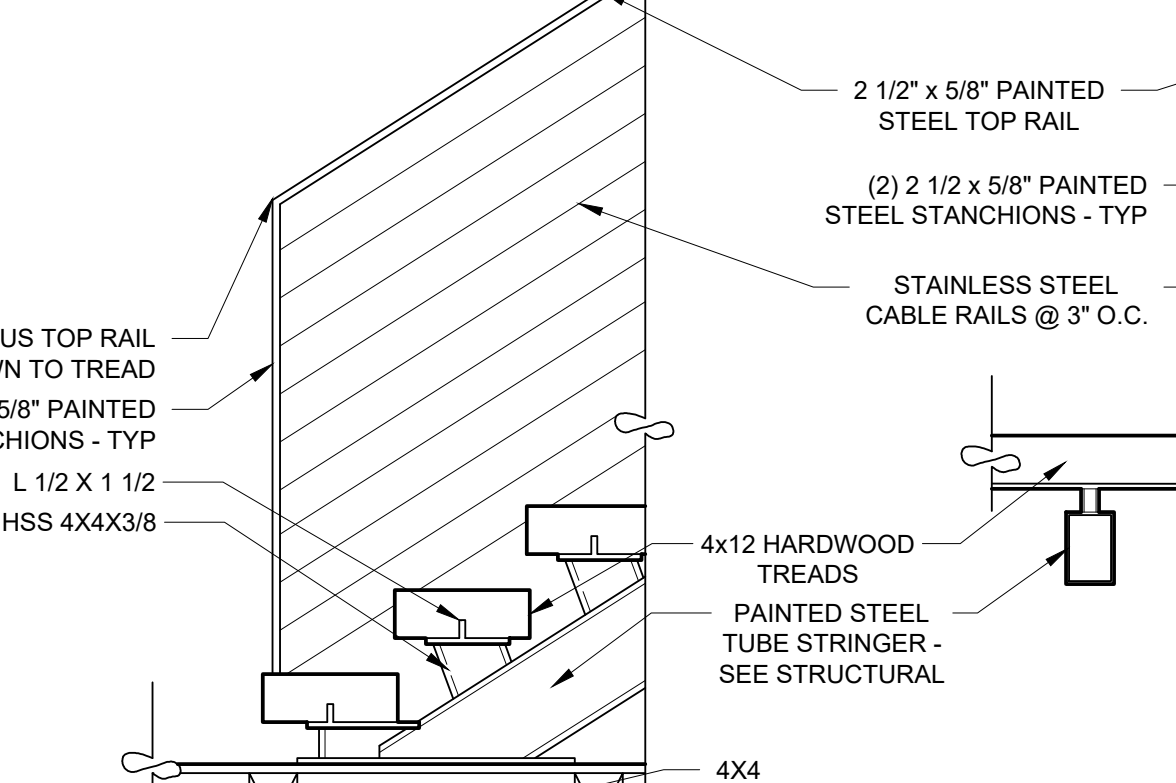
CORNER DETAIL  
SCALE: 3/4" = 1'-0"



CORNER DETAIL  
SCALE: 3/4" = 1'-0"



STAIR DETAIL @ LANDING  
SCALE: 3/4" = 1'-0"



STAIR DETAIL @ FLOOR  
SCALE: 3/4" = 1'-0"

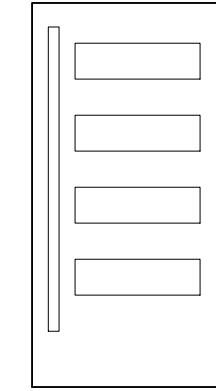
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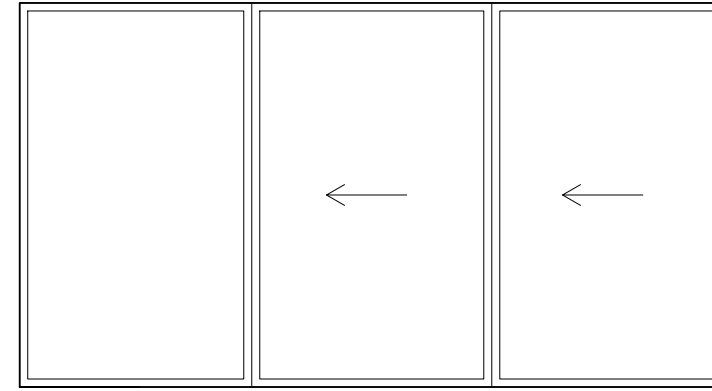
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**A5.2**  
5/28/2024

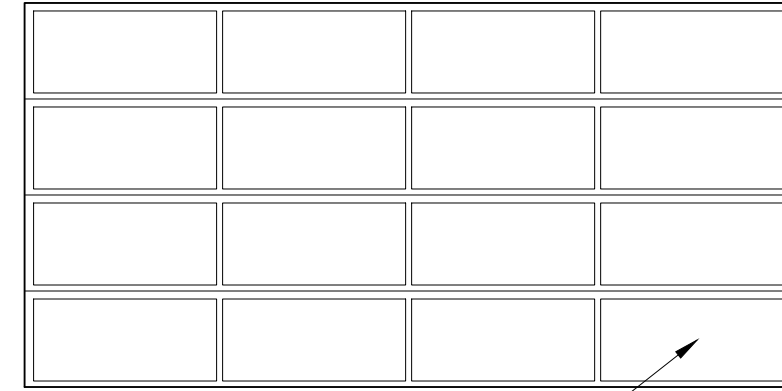
EXTERIOR DOOR SCHEDULE								
(NO.)	LOCATION	TYPE	DIMENSIONS	MATERIAL		EXT	NOTES	AREA
				DOOR	FRM			
101		AA	4/0 X 8/0 PIVOT				SAFETY GLASS	S.F.
102		BB	14/6 X 8/0 GARAGE				SAFETY GLASS	
103		CC	16/0 X 8/0 GARAGE				SAFETY GLASS	
104		DD	2/8 X 8/0 SWING					
TOTAL DOOR GLAZING								# S.F.



AA

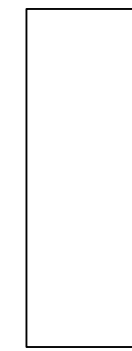


BB



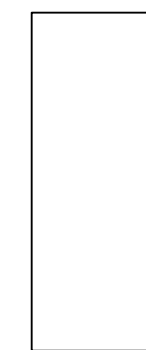
CC

GLASS - FROSTED - TYP

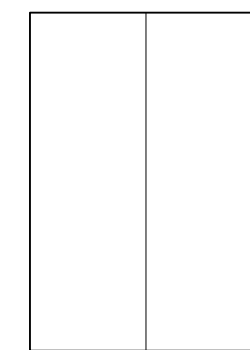


DD

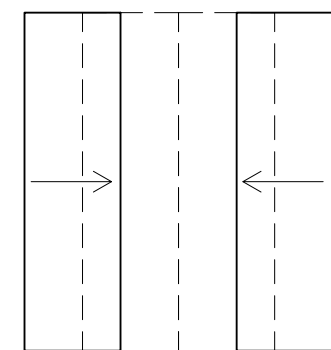
INTERIOR DOOR SCHEDULE								
(NO.)	LOCATION	TYPE	DIMENSIONS	MATERIAL		HRDWR	NOTES	AREA
				DOOR	FRM			
210	POWDER ROOM	A1	2/6 X 8/0 SWING					S.F.
211	PANTRY	B1	5/0 X 8/0 2x SWING					
212	CLOSET	A1	2/0 X 8/0 SWING					
213	CLOSET	A1	2/4 X 8/0 SWING					
214	BEDROOM #2	A1	2/8 X 8/0 SWING					
215	BEDROOM #2 CL	B1	5/0 X 8/0 2x SWING					
216	BATHROOM #2	A1	2/6 X 8/0 SWING					
217	LAUNDRY	A1	2/6 X 8/0 SWING					
218	BEDROOM #3	A1	2/8 X 8/0 SWING					
219	BEDROOM #3 CL	B1	5/0 X 8/0 2x SWING					
220	PRIMARY BEDROOM	A1	3/0 X 8/0 SWING					
221	PRIMARY BATHROOM	A1	2/10 X 8/0 SWING					
222	W.I.C.	C1	4/0 X 8/0 2x POCKET					
223	WATER CLOSET	A1	2/6 X 8/0 SWING					



A1



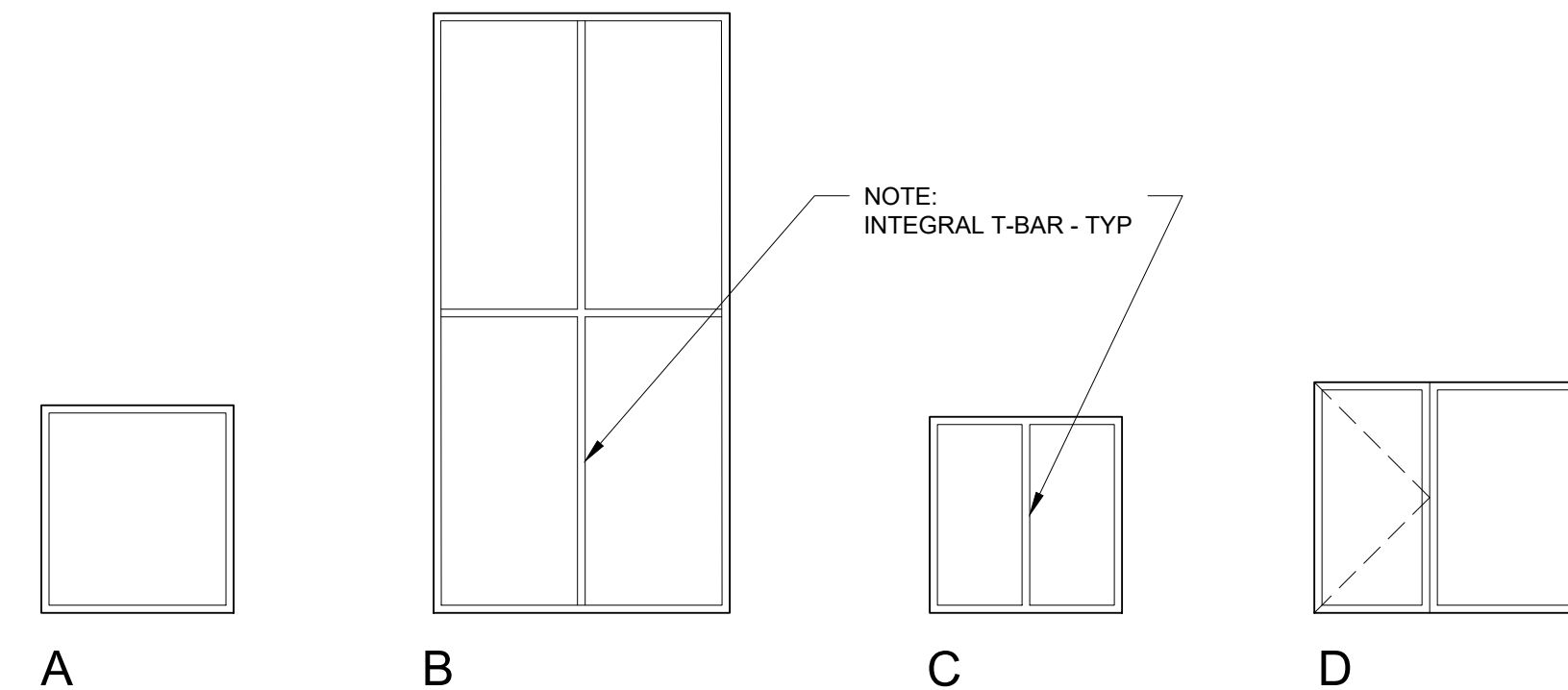
B1



C1

WINDOW SCHEDULE							
(NO.)	STYLE		LOCATION	DIMENSIONS	NOTES	AREA	
	TYPE	VENT					
1	A	FIX	KITCHEN	4/6 X 4/2	SAFETY GLASS	# S.F.	
2	A	FIX	KITCHEN	4/6 X 4/2			
3	A	FIX	KITCHEN	4/6 X 4/2			
4	B	FIX	STAIR	6/5 X 13/0			
5	C	FIX	ENTRY	4/3 X 4/2	NOTE 1		
6	D	MULL.	BEDROOM #3	6/4 X 5/0	EGRESS		
8	O	AWN	LAUNDRY	2/0 X 2/0			
9	E	AWN	BATHROOM #2	3/0 X 2/0			
10	D	MULL.	BEDROOM #2	6/4 X 5/0			
11	D	MULL.	BEDROOM #2	6/4 X 5/0	EGRESS		
12	F	FIX	LIVING ROOM	7/8 X 4/4			
13	G	MULL.	OFFICE	10/0 X 5/0			
14	H	FIX	OFFICE	4/0 X 5/0			
15	I	FIX	POWDER ROOM	1/6 X 5/0			
16	J	MULL.	PRIMARY BATHRM	6/4 X 6/0			
17	J	MULL.	PRIMARY BATHRM	6/4 X 6/0			
18	K	MULL.	PRIMARY BEDRM	3/0 X 8/0			
19	L	MULL.	PRIMARY BEDRM	8/6 X 8/0	EGRESS		
20	M	AWN	PRIMARY BEDRM	4/0 X 2/0			
21	C	FIX	KITCHEN	4/3 X 4/2	NOTE 1		
22	C	FIX	KITCHEN	4/3 X 4/2	NOTE 1		
23	C	FIX	KITCHEN	4/3 X 4/2	NOTE 1		
24	H	FIX	LIVING ROOM	4/4 X 4/11	NOTE 1		
25	H	FIX	LIVING ROOM	4/4 X 4/11	NOTE 1		
26	H	FIX	LIVING ROOM	4/4 X 4/11	NOTE 1		
27	H	FIX	LIVING ROOM	4/4 X 4/11	NOTE 1		
TOTAL WINDOW GLAZING						# S.F.	

NOTE: NO. 1  
VERIFY ALL DIMENSIONS IN  
THE FIELD



A

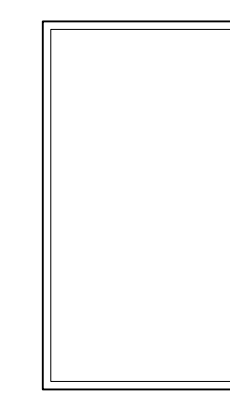
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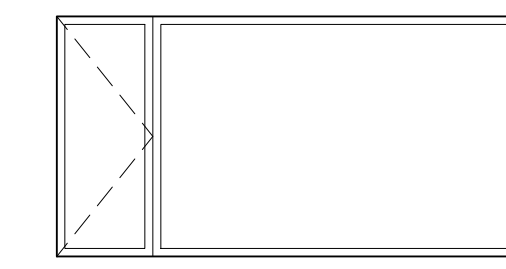
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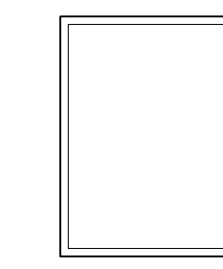
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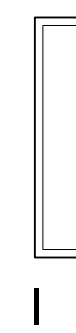
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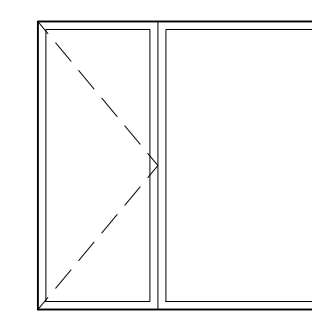
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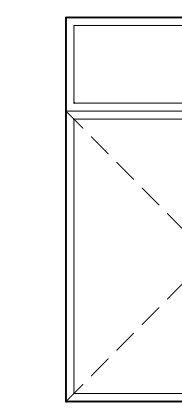
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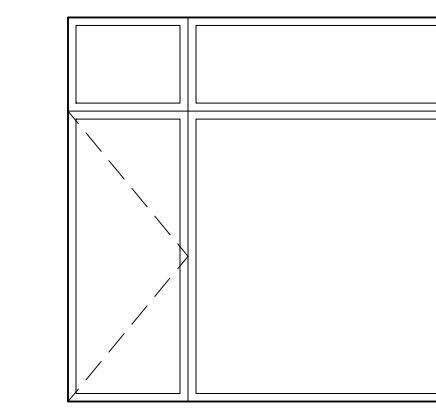
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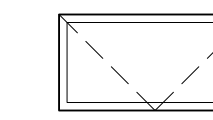
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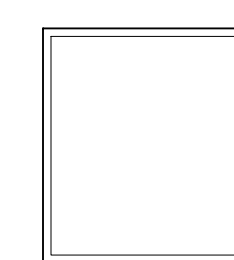
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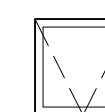
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N



O

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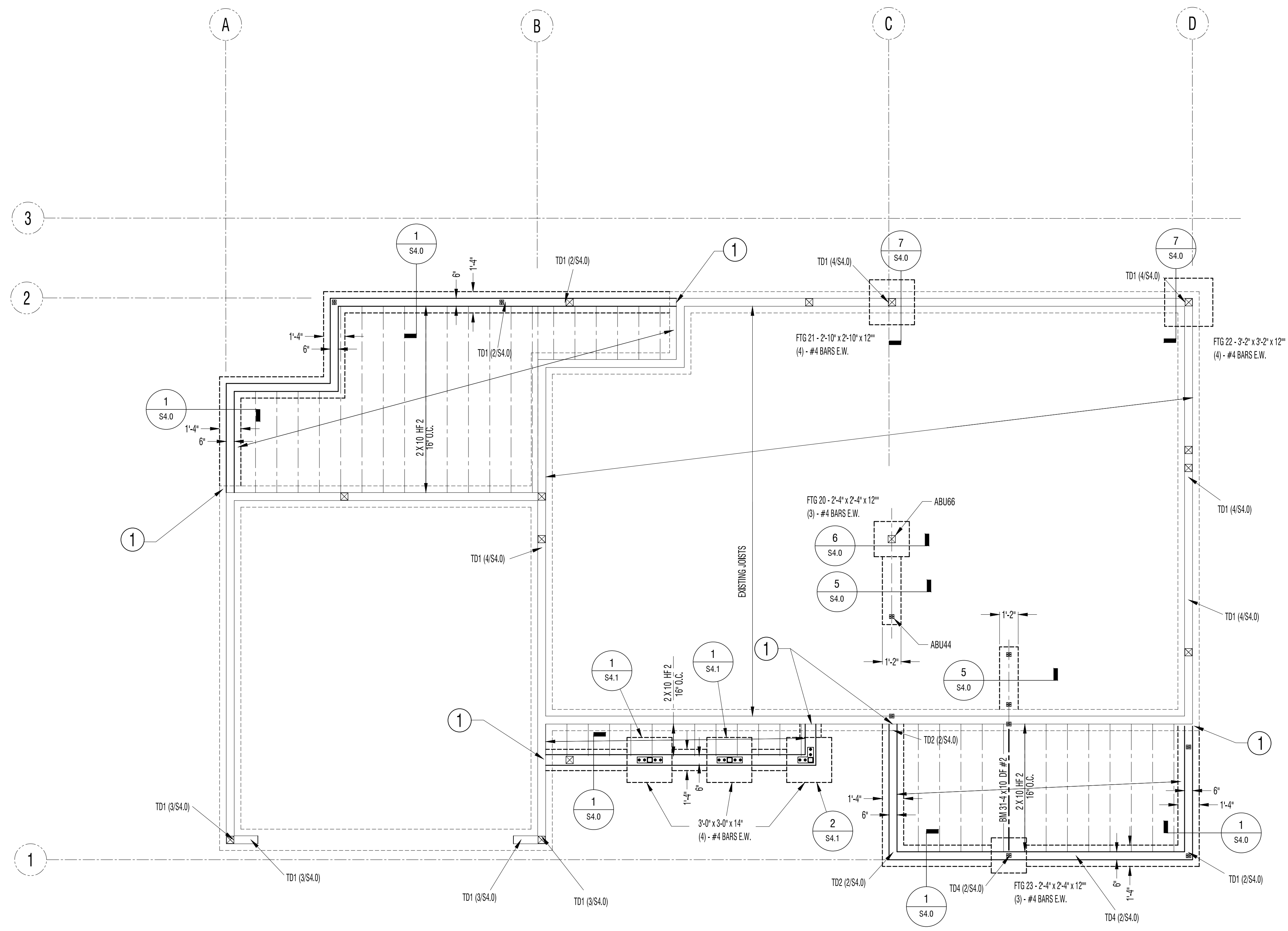
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6946 REGISTERED ARCHITECT  
DAVID R. PELLETIER  
STATE OF WASHINGTON

**A6.1**  
5/28/2024







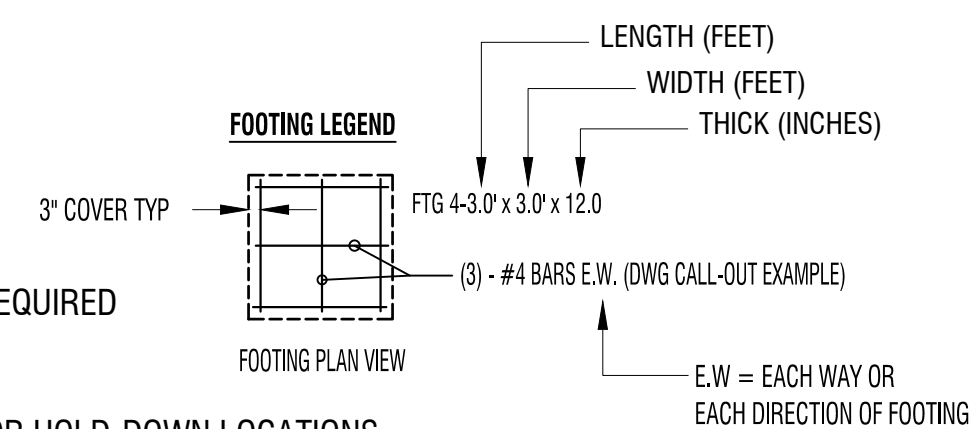
**PLAN NOTES**

- ① CONNECT NEW FOUNDATION FOOTING & STEM WALL BY EMBEDDING NEW RE-BAR OF FOOTING & STEM WALL 6" MIN. EPOXY WITH SIMPSON SET-22 OR EQUIVALENT.

**FOUNDATION PLAN**

- 3 X 3 X 1/4" GALVANIZED PLATE WASHER IS REQUIRED
- EMBED ANCHOR BOLTS 7.5" MIN
- REFER TO SHEAR WALL PLANS FOR HOLD-DOWN LOCATIONS

● THE FOUNDATION PLAN SHOWN ON THIS SHEET PROVIDES THE FOOTING SIZES AND DIMENSIONS, ALONG WITH THE STRUCTURAL DETAILS. REFER TO THE ARCHITECTURAL DWGS FOR OVERALL DIMENSIONS (WHICH IS THE BASIS OF THE DESIGN).

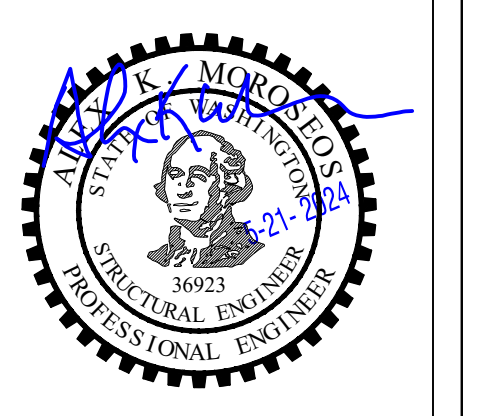


PROJECT NAME: **JEFF RUDD RESIDENCE**

PROJECT ADDRESS:  
**8032 SE 57TH ST  
 MERCER ISLAND WA 98040**

DWG TITLE: **FOUNDATION PLAN**

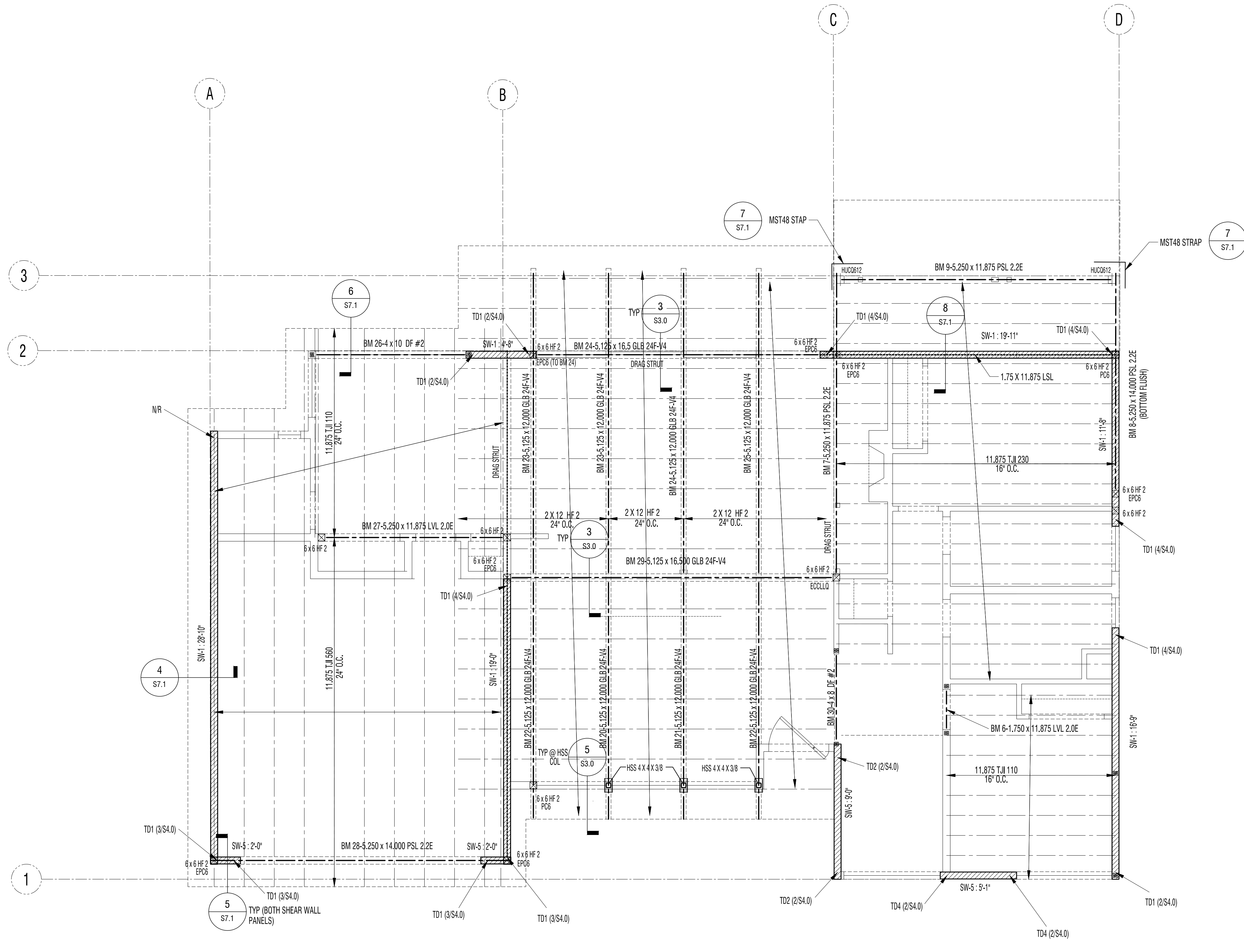
Number:	Revision:	Date:
	CURRENT VERSION	5-21-2024



PROJECT #  
**A4-3437**

SHEET NO  
**S2.0**

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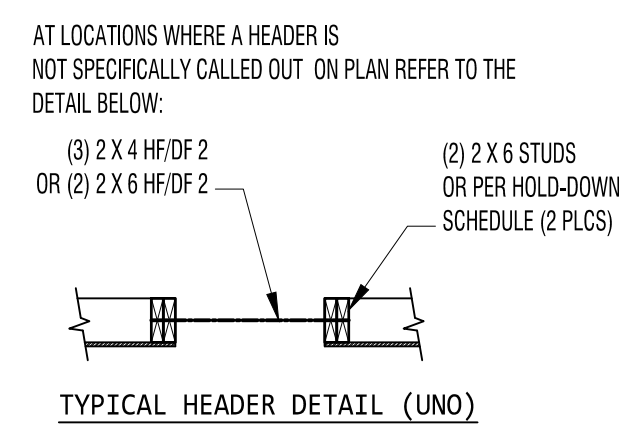


**FIRST FLOOR SHEAR WALLS/ LOWER ROOF FRAMING/UPPER LEVEL FRAMING**  
 REFER TO THE FRAMING NOTES ON THIS SHEETS

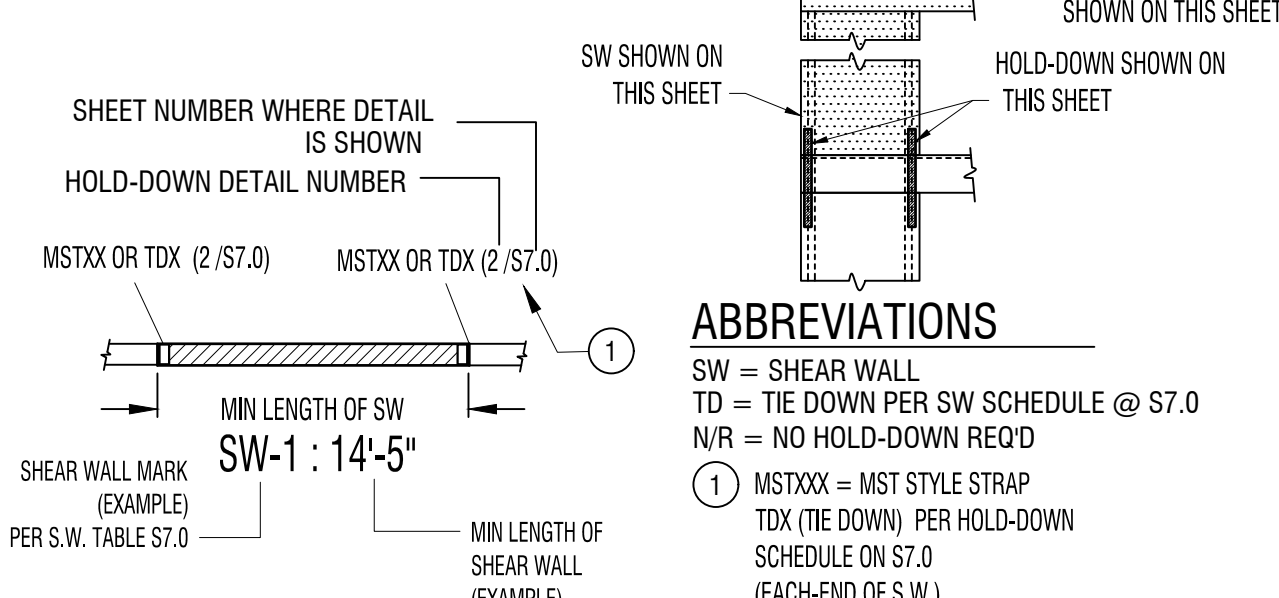
**FRAMING PLAN NOTES**

- ALL BEAMS SHALL BE FLUSH UNLESS NOTE OTHERWISE ON THE PLAN. WINDOWS & DOOR HEADERS SHALL BE DROPPED (SEE NOTE 9). FLUSH BEAMS HAVE FLOOR SHEATHING ATTACHED DIRECTLY. DROPPED BEAMS ARE INSTALLED BELOW FLOOR FRAMING.
- REFER TO THE TYPICAL HEADER DETAIL ON THIS SHEET FOR HEADERS NOT SPECIFICALLY CALLED OUT ON THIS PLAN. THIS DETAIL IS TYPICAL FOR NON-BEARING EXTERIOR WALLS.
- UNLESS NOTED OTHERWISE, USE (2) 2 X 4 OR (2) 2 X 6 UNDER ALL HEADERS. (3) 2 X 4 STUDS OR (2) 2 X 6 STUDS MAY BE SUBSTITUTED FOR 4 X 4 POSTS PER PLAN.
- GARAGE DOOR HEADERS (WHERE APPLICABLE) - UNLESS NOTED OTHERWISE ON THE PLAN, GARAGE DOOR HEADER BEAMS SHALL BE:
  - 4 X 10 DF/HF 2 FOR OPENINGS UP TO 9 FT.
  - 4 X 12 DF / HF 2 FOR OPENINGS UP TO 12 FT.
  - 4 X 4 DF / HF 2 SUPPORT POSTS AT EACH END OF HEADER BEAM.
- STRAPS SHOWN ON THIS LEVEL ATTACH TO WALLS ABOVE AND BELOW (CENTERED ABOUT THE JOIST RIM).
- SHEAR WALLS SHOWN ON THIS PLAN OCCUR BELOW THE FLOOR FRAMING.
- PROVIDE CONTINUOUS SOLID BEARING TO THE FOUNDATION AT GIRDER TRUSSES, HIP MASTERS, BEAMS AND HEADERS.
- IF MANUFACTURED FLOOR JOISTS ARE USED IN LIEU OF SOLID FRAMING (IF APPLICABLE), PROVIDE SHOP DRAWINGS FOR REVIEW.
- FLOOR SHEATHING & NAILING:
  - FLOOR SHEATHING SHALL BE 3/4" T & G.
  - NAIL WITH 10d @ 6" O.C. AT PERIMETER AND 10d @ 12" O.C. IN THE FIELD - UNLESS OTHERWISE NOTED ON PLAN.
- WALL TOP PLATE REQUIREMENTS - ALL TOP PLATES OF WALLS SHALL BE DOUBLE 2 X 6 (OR 2 X 4 IF ALLOWED). THE TOP PLATES MUST BE CONTINUOUS OVER HEADERS. DO NOT CUT DOUBLE TOP PLATES UNLESS ALLOWED PER THE FRAMING PLAN.

**HEADERS IN NON LOAD BEARING WALLS**



**SEISMIC FORCE RESISTING SYSTEM (WOOD SHEAR WALLS)**



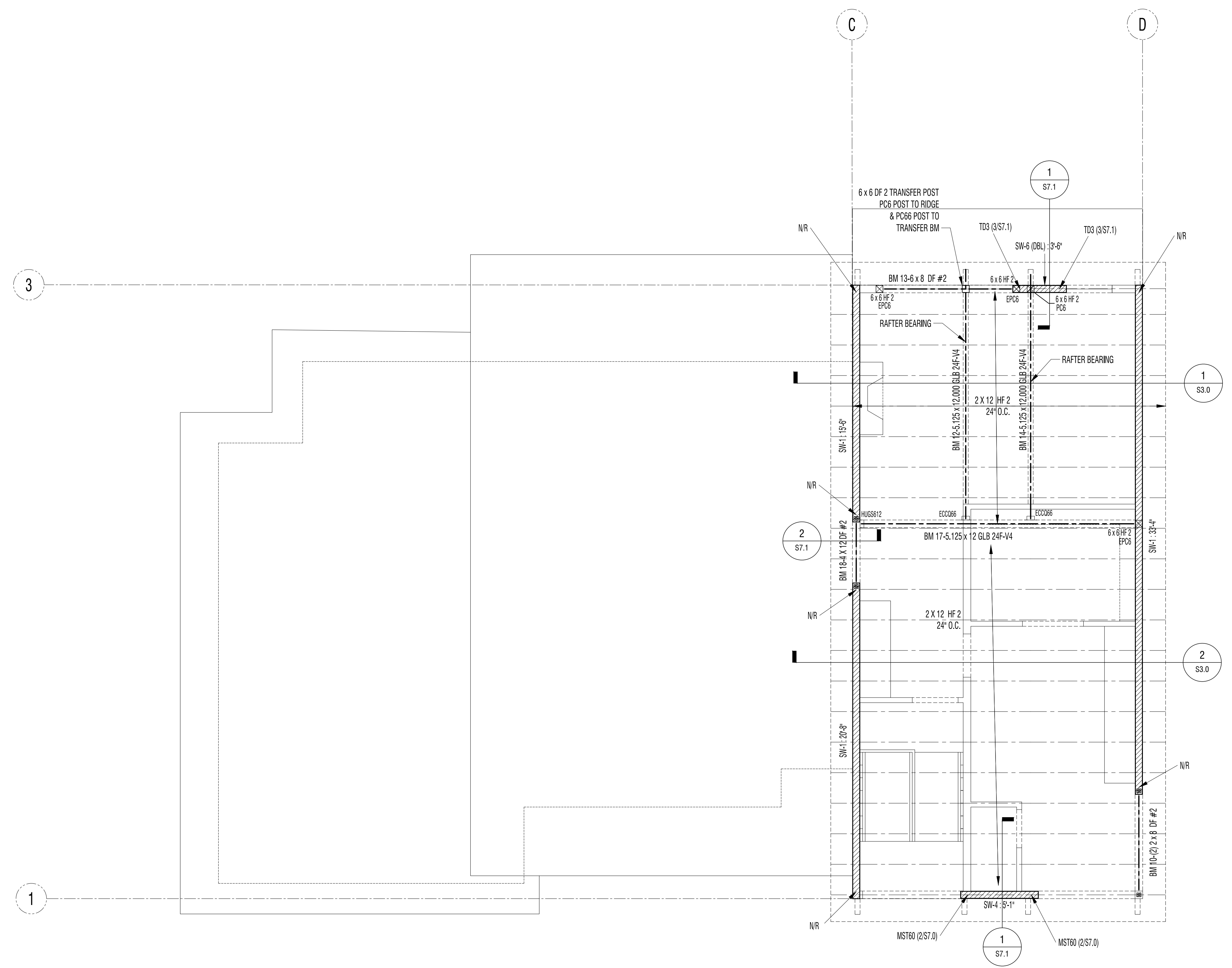
**ABBREVIATIONS**

- SW = SHEAR WALL  
 TD = TIE DOWN PER SW SCHEDULE @ S7.0  
 N/R = NO HOLD-DOWN REQ'D
- ① MSTXXX = MIST STYLE STRAP  
 TDX (TIE DOWN) PER HOLD-DOWN SCHEDULE ON S7.0 (EACH-END OF S.W.)

**DRAWING SYMBOL LEGEND**

- [Symbol] = POST/COLUMN SUPPORTED BY A BEAM. DOES NOT CONTINUE TO FLOOR BELOW.
- [Symbol] = POST/COLUMN SUPPORTING A BEAM. (CONTINUES THRU THE FLOOR)
- [Symbol] = MULTI-PLY (2 MAX) 2 X STUD COLUMN. USE 2 - 2 X 4 FOR 2 X 4 WALLS & 2 - 2 X 6 FOR 2 X 6 WALLS. TYPICAL (UNO)
- [Symbol] = TYPICAL BEAM TO BEAM CONNECTION
- GT = GIRDER TRUSS
- [Symbol] = TYPICAL MULTI PLY BEAM EXAMPLE BM 6-(2) 2 x 6 DF #2 NUMBER OF PLYS

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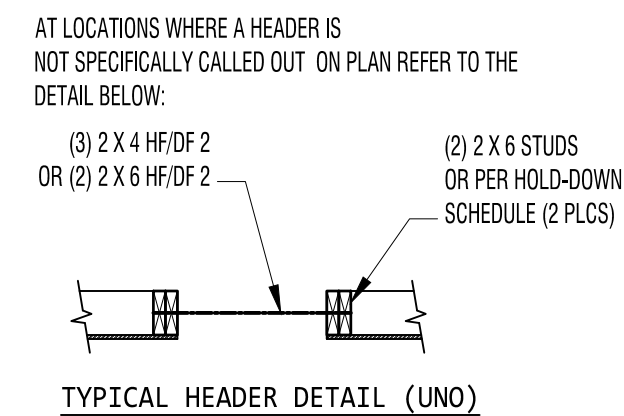


**SECOND FLOOR SHEAR WALLS/ ROOF FRAMING**  
 REFER TO THE FRAMING NOTES ON THIS SHEETS

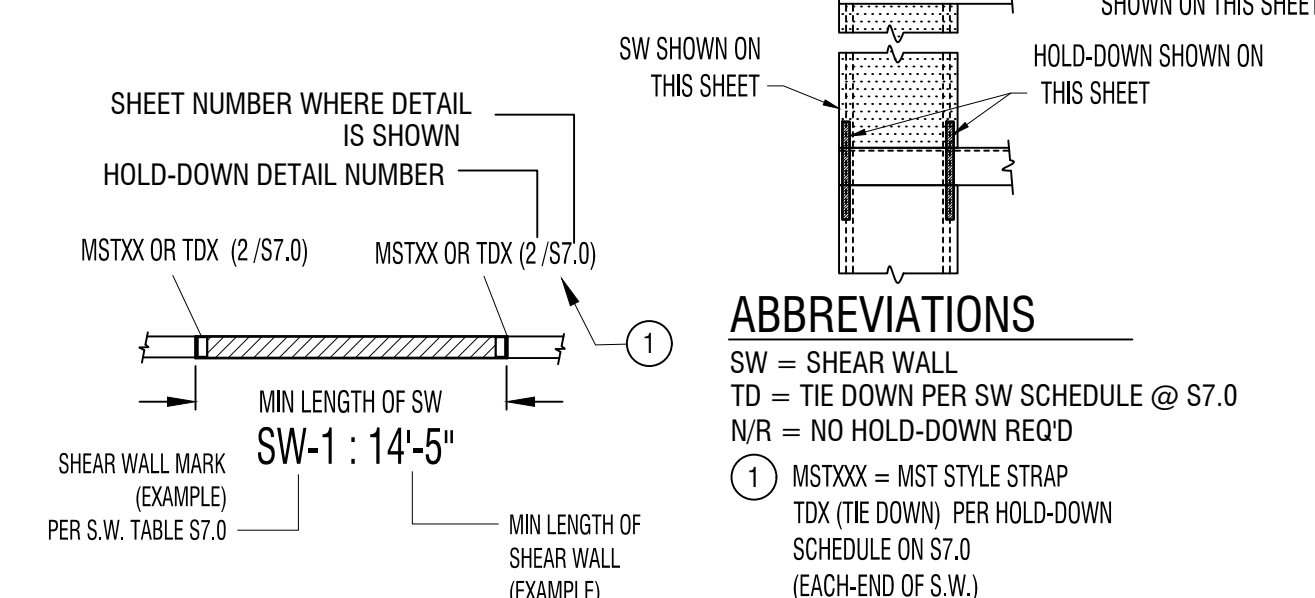
**FRAMING PLAN NOTES**

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- REFER TO THE TYPICAL HEADER DETAIL ON THIS SHEET FOR HEADERS NOT SPECIFICALLY CALLED OUT ON THIS PLAN. THIS DETAIL IS TYPICAL FOR NON-BEARING EXTERIOR WALLS.
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  - 4 X 4 DF / HF 2 SUPPORT POSTS AT EACH END OF HEADER BEAM.
- STRAPS SHOWN ON THIS LEVEL ATTACH TO WALLS ABOVE AND BELOW (CENTERED ABOUT THE JOIST RIM).
- SHEAR WALLS SHOWN ON THIS PLAN OCCUR BELOW THE FLOOR FRAMING.
- PROVIDE CONTINUOUS SOLID BEARING TO THE FOUNDATION AT GIRDER TRUSSES, HIP MASTERS, BEAMS AND HEADERS.
- IF MANUFACTURED FLOOR JOISTS ARE USED IN LIEU OF SOLID FRAMING (IF APPLICABLE), PROVIDE SHOP DRAWINGS FOR REVIEW.
- FLOOR SHEATHING & NAILING:
  - FLOOR SHEATHING SHALL BE 5/8" T & G.
  - NAIL WITH 10d @ 6" O.C. AT PERIMETER AND 10d @ 12" O.C. IN THE FIELD - UNLESS OTHERWISE NOTED ON PLAN.
- WALL TOP PLATE REQUIREMENTS - ALL TOP PLATES OF WALLS SHALL BE DOUBLE 2 X 6 (OR 2 X 4 IF ALLOWED), THE TOP PLATES MUST BE CONTINUOUS OVER HEADERS. DO NOT CUT DOUBLE TOP PLATES UNLESS ALLOWED PER THE FRAMING PLAN.

**HEADERS IN NON LOAD BEARING WALLS**



**SEISMIC FORCE RESISTING SYSTEM (WOOD SHEAR WALLS)**

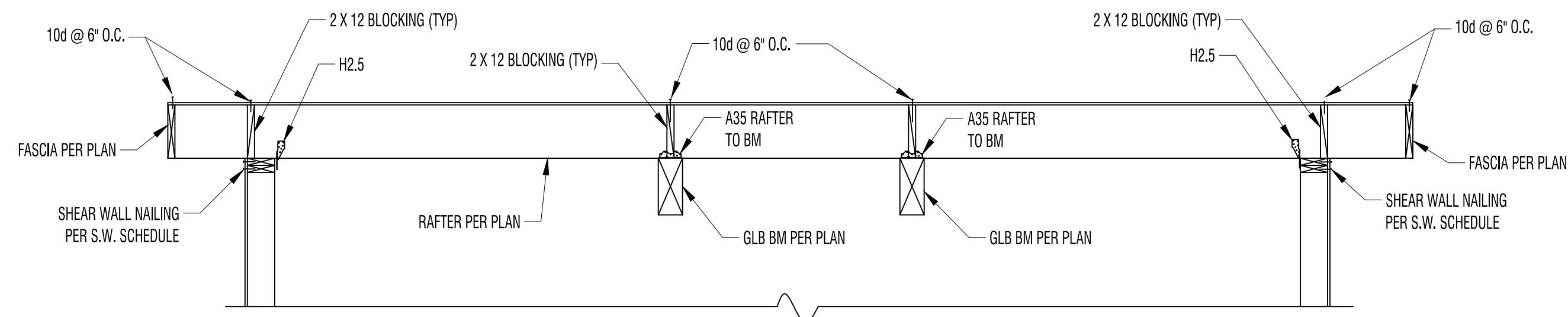


**ABBREVIATIONS**  
 SW = SHEAR WALL  
 TD = TIE DOWN PER SW SCHEDULE @ S7.0  
 NR = NO HOLD-DOWN REQ'D  
 ① MSTXXX = MST STYLE STRAP  
 TDX (TIE DOWN) PER HOLD-DOWN SCHEDULE ON S7.0 (EACH-END OF S.W.)

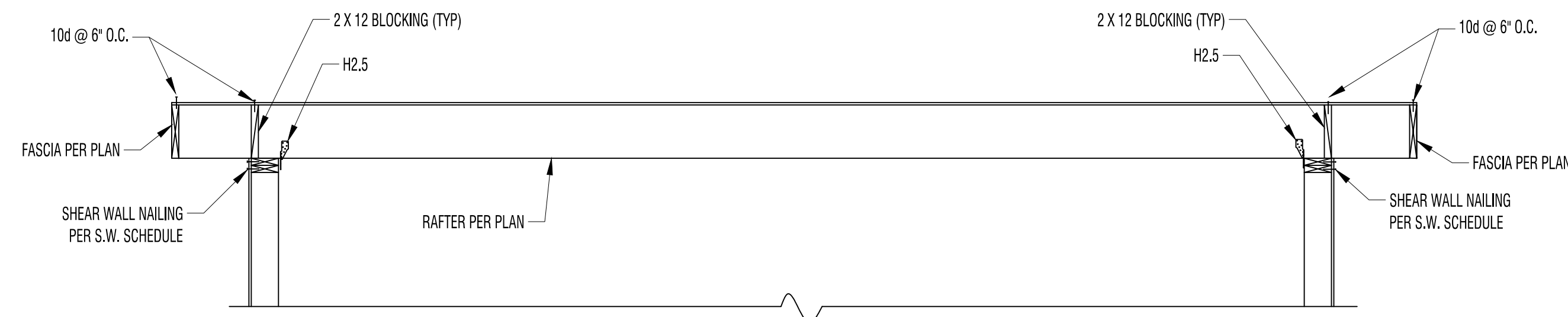
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- = POST/COLUMN SUPPORTING A BEAM. (CONTINUES THRU THE FLOOR)
- = MULTI-PLY (2 MAX) 2 X STUD COLUMN. USE 2 -2 X 4 FOR 2 X 4 WALLS & 2 - 2 X 6 FOR 2 X 6 WALLS. TYPICAL (UNO)
- GT = GIRDER TRUSS
- TYPICAL BEAM TO BEAM CONNECTION
- TYPICAL MULTI PLY BEAM EXAMPLE: BM 6-(2) 2 x 6 DF #2  
NUMBER OF PLYS: \_\_\_\_\_

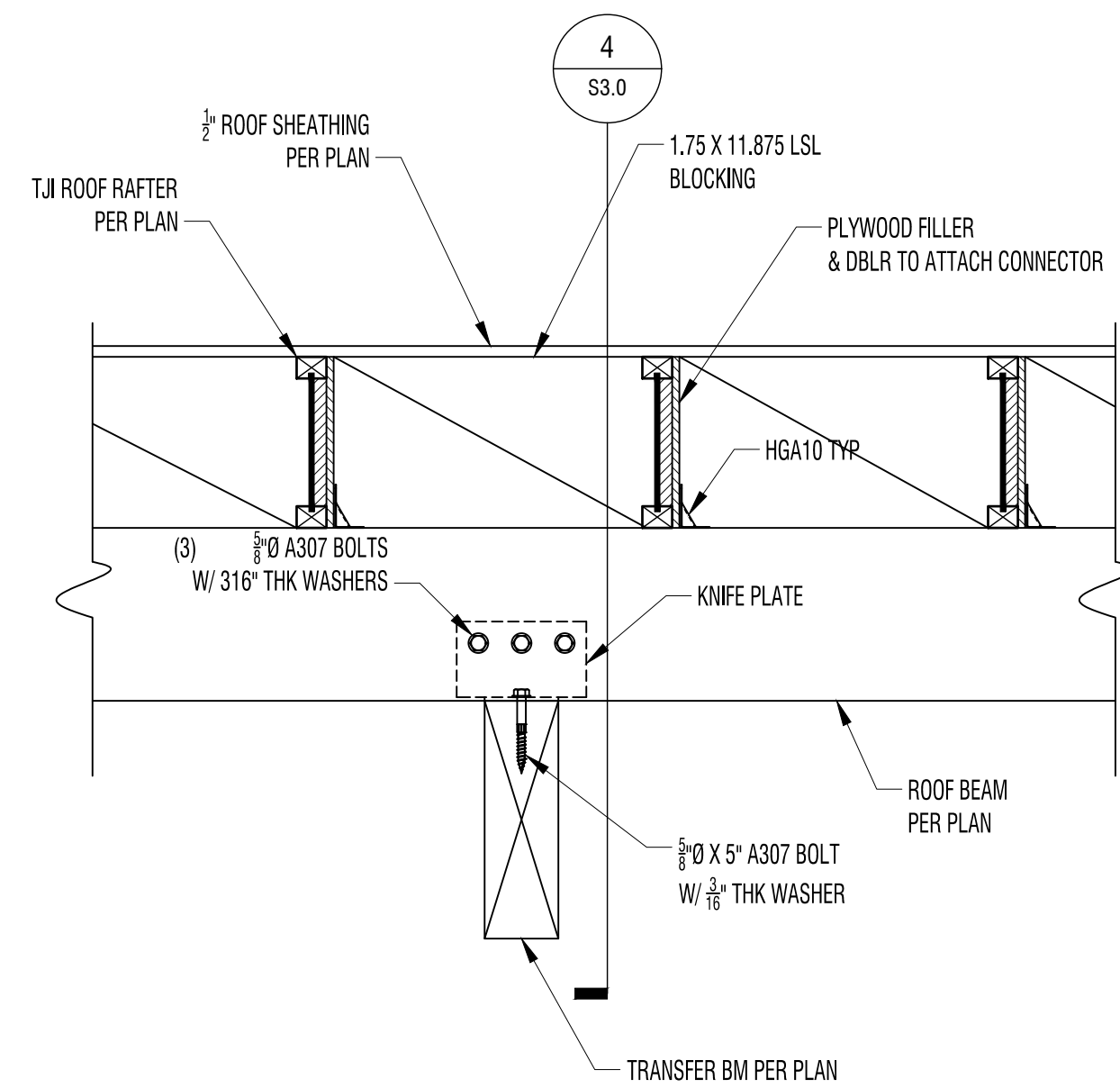
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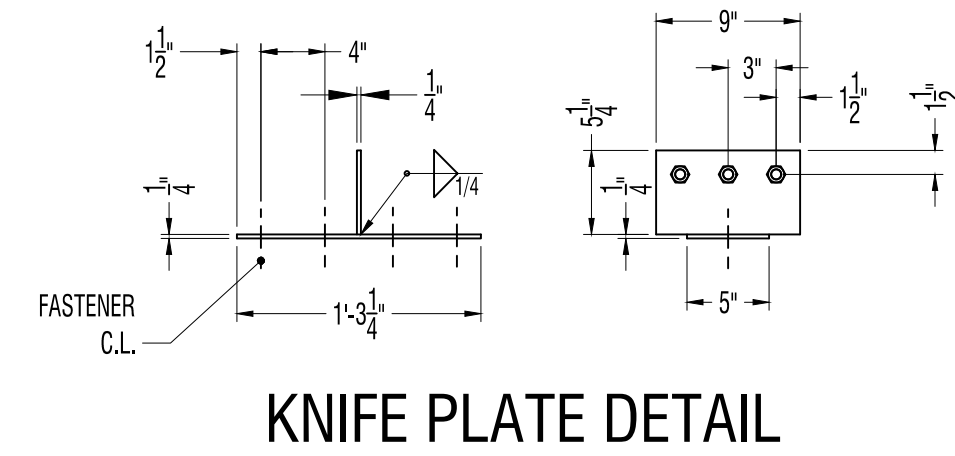
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NO SCALE



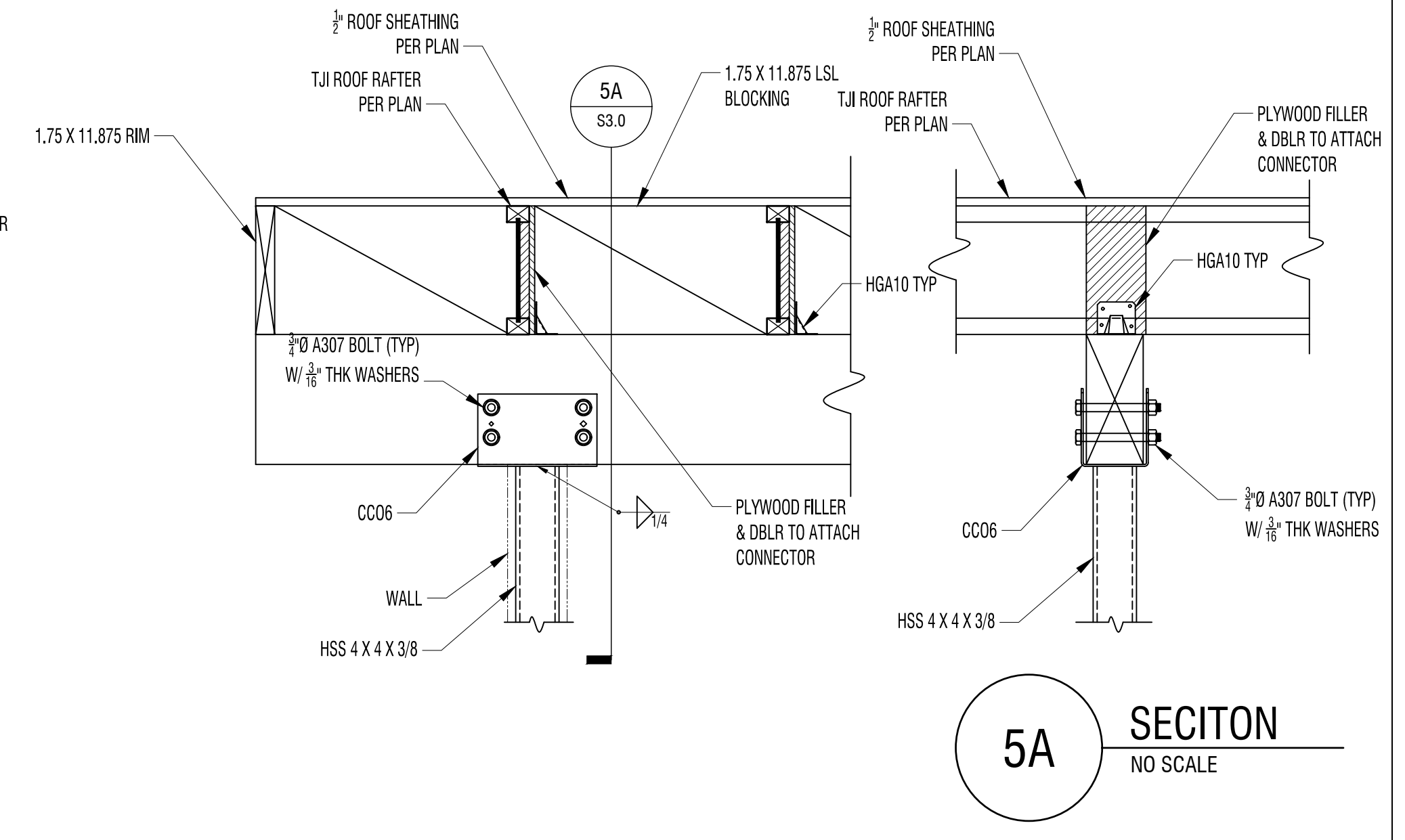
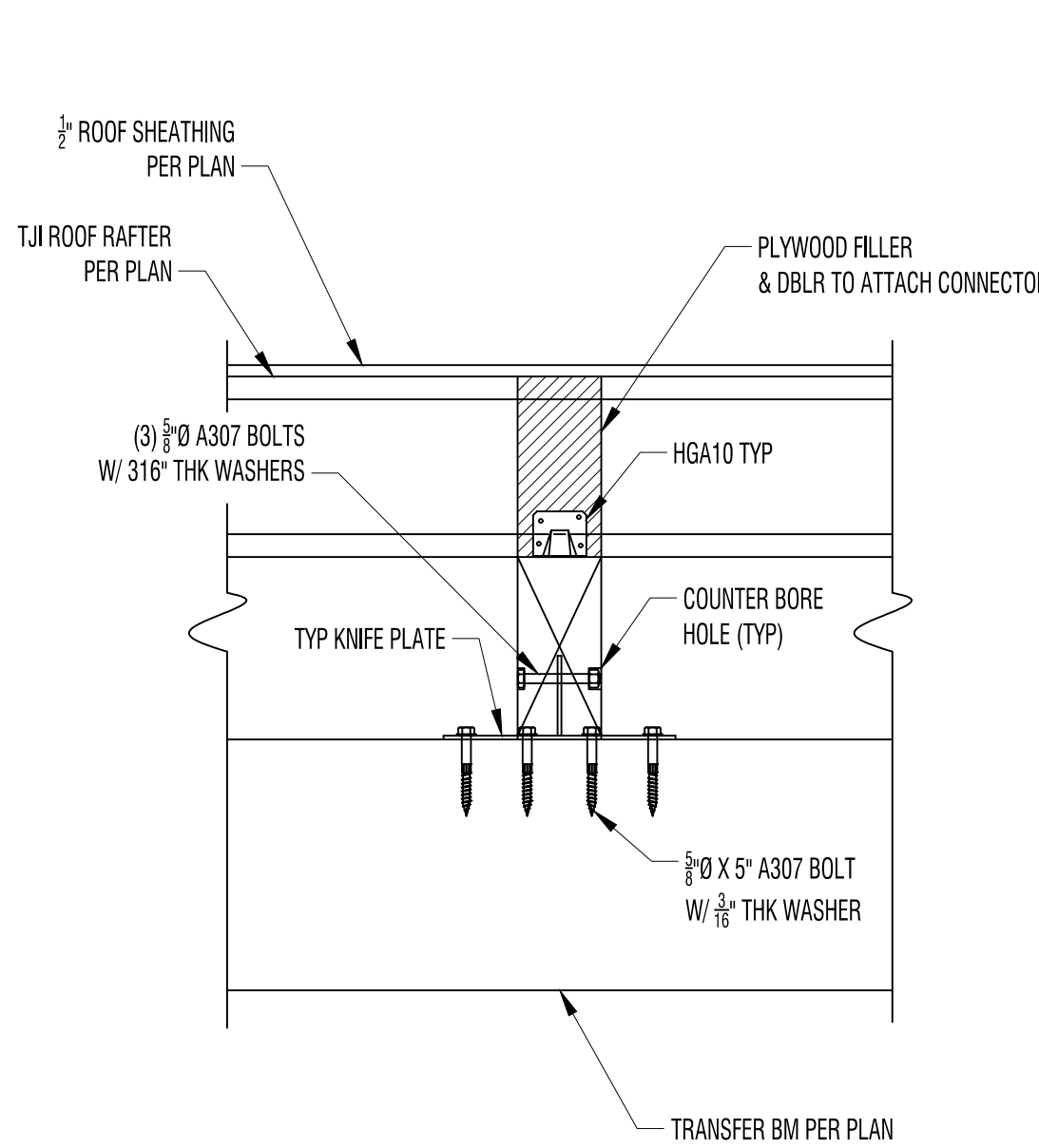
**2** SECTION RAFTERS  
NO SCALE



**3** ROOF BEAM TO TRANSFER BM JOINT  
NO SCALE



**4** ROOF BEAM TO TRANSFER BM JOINT  
NO SCALE



**5** ROOF BEAM TO HSS COLUMN  
NO SCALE

**5A** SECTION  
NO SCALE

CUSTOM DESIGN  
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STRUCTURAL ANALYSIS & DESIGN  
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PROJECT NAME:  
JEFF RUDD RESIDENCE

PROJECT ADDRESS:  
8032 SE 57TH ST  
MERCER ISLAND WA 98040

DWG TITLE  
STRUCTURAL SECTIONS

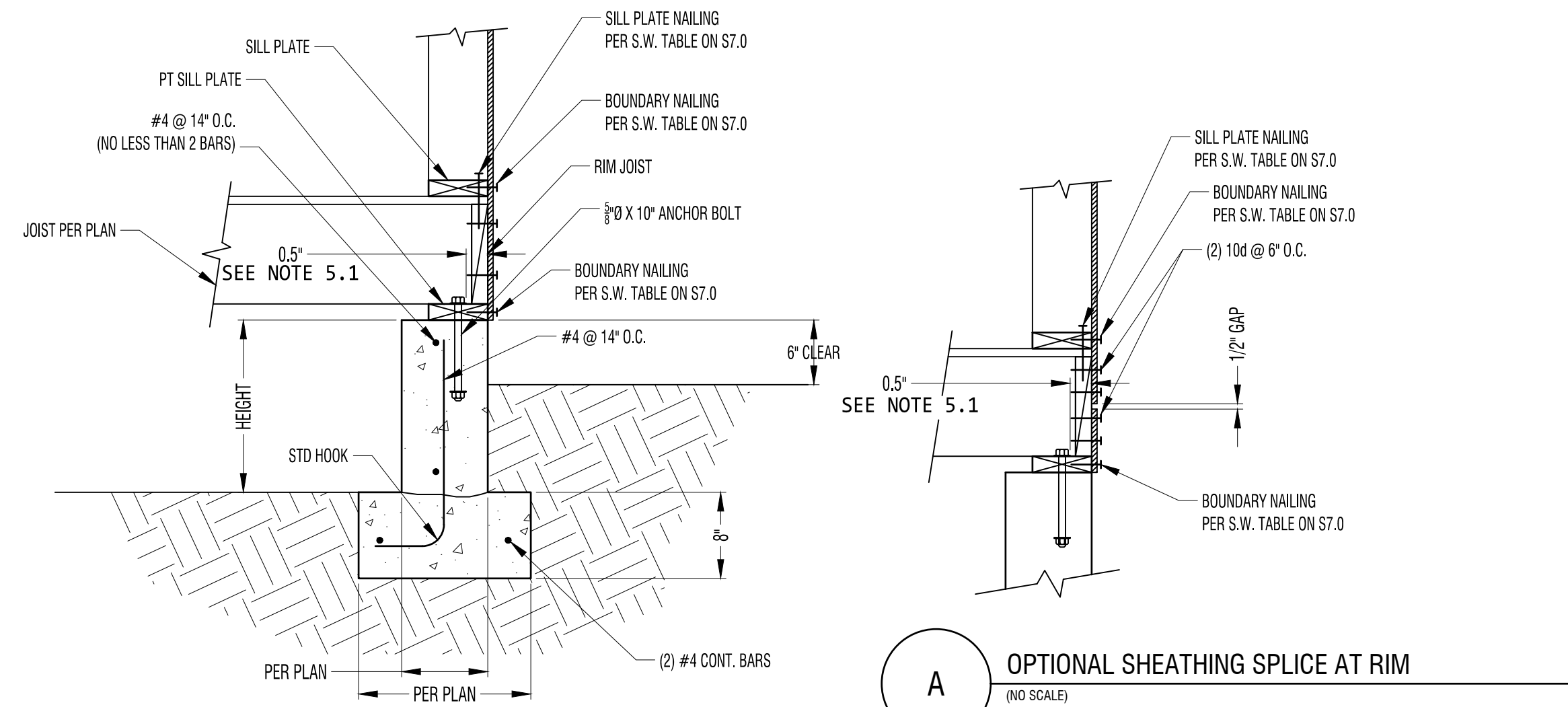
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Date  
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PROJECT #  
A4-3437

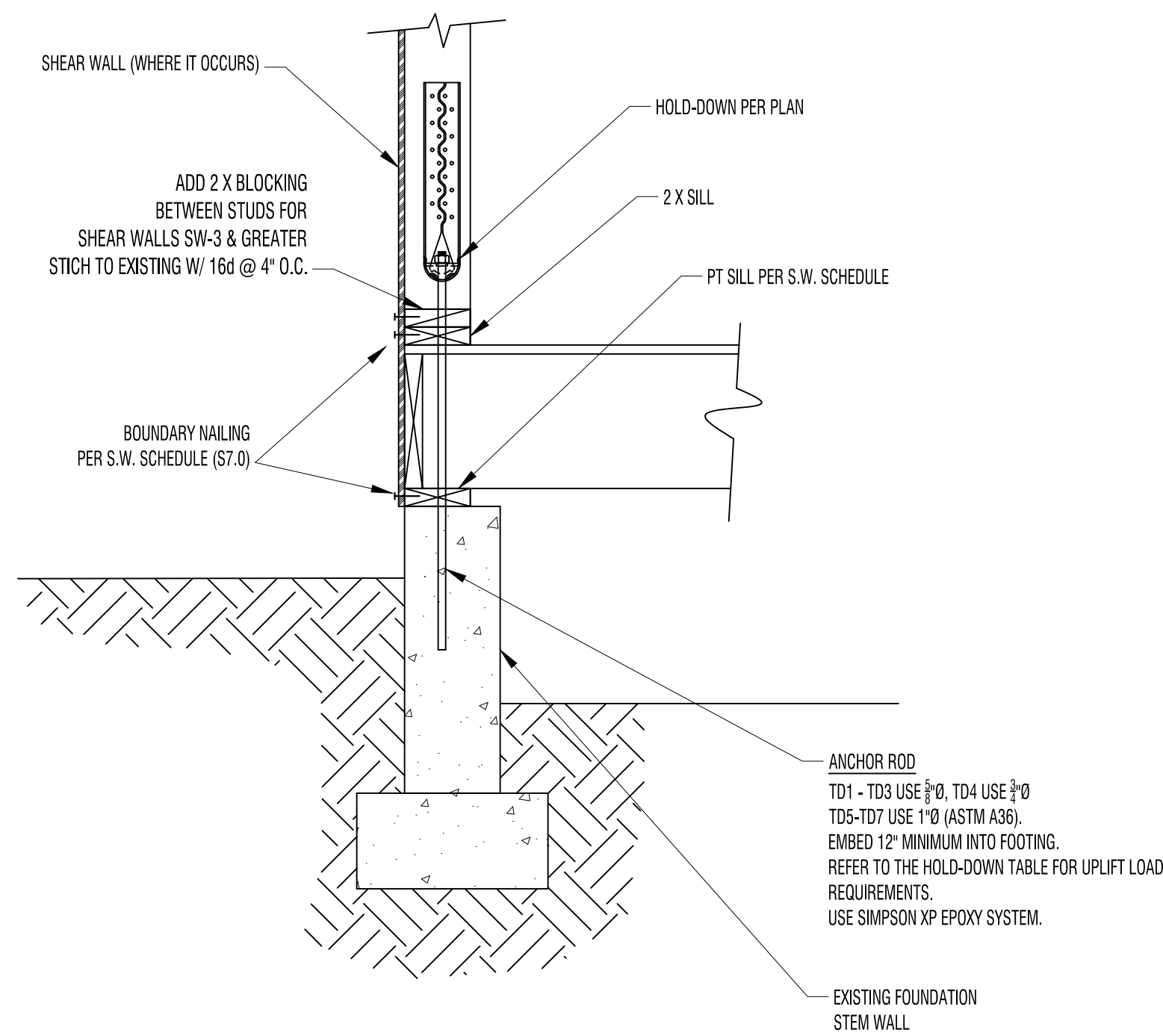
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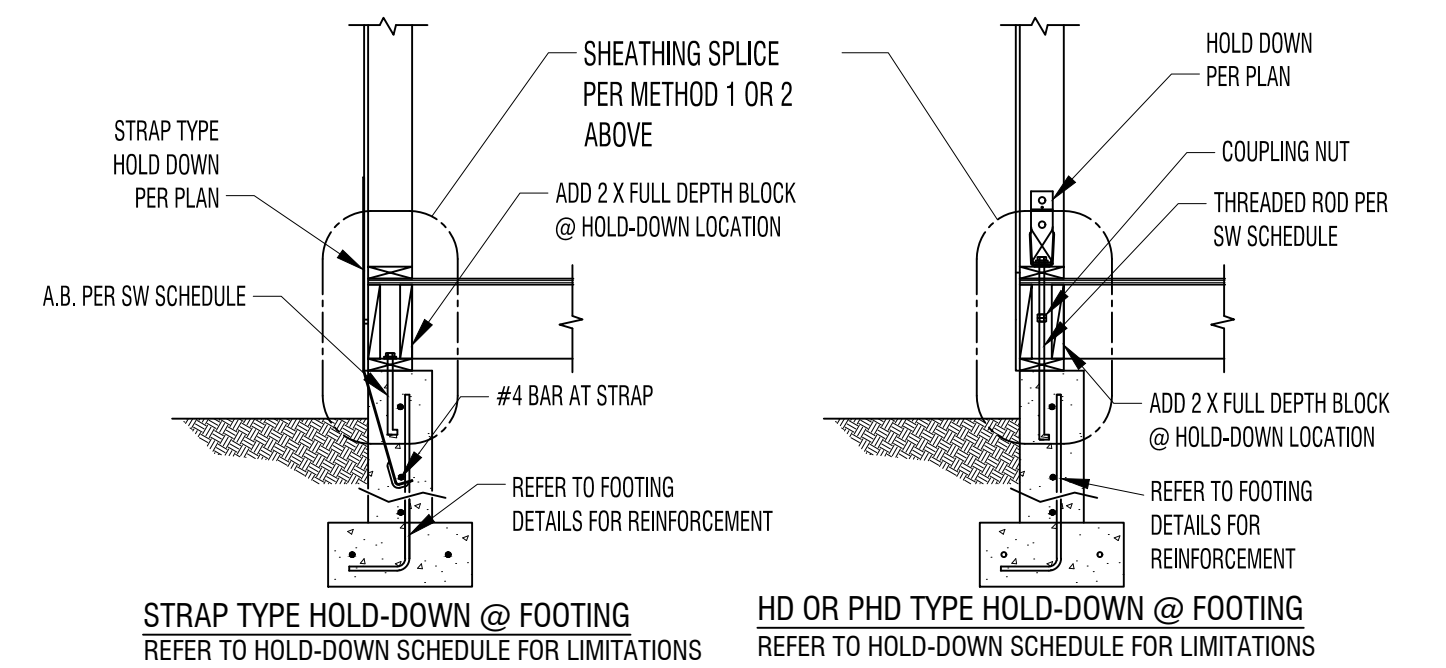
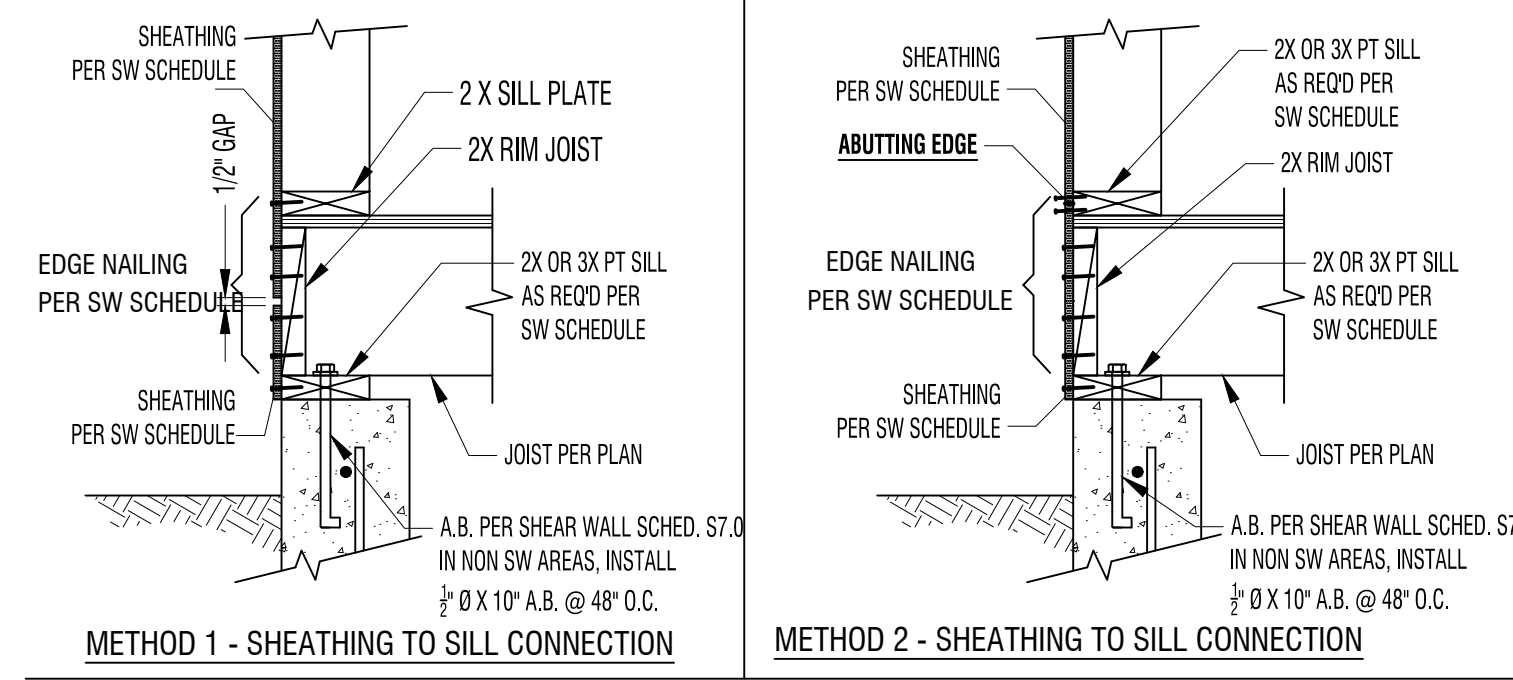


**1** TYPICAL FOOTING WITH CRAWLSPACE  
(NO SCALE)

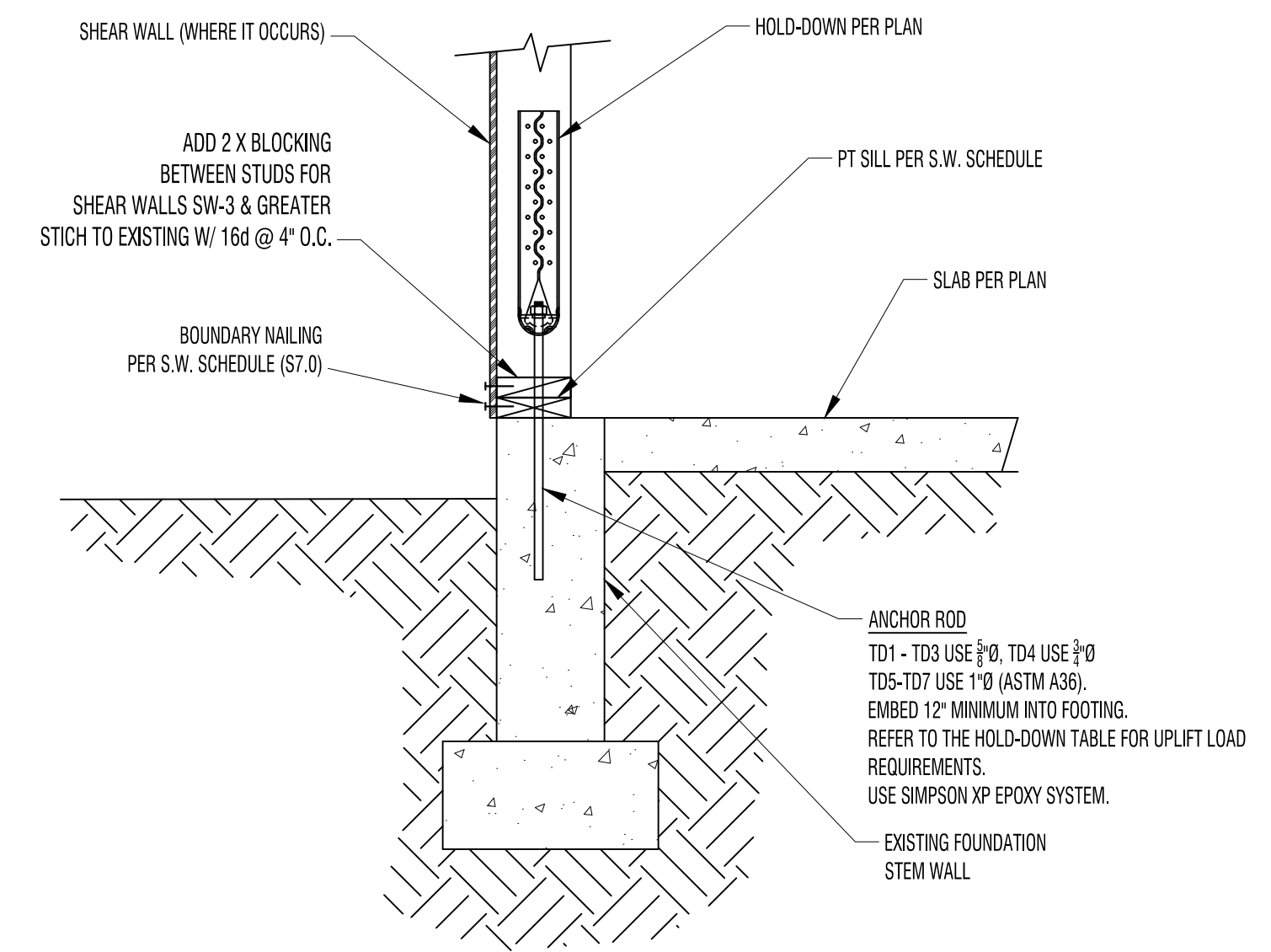
- NOTES:
1. MAXIMUM ALLOWED HEIGHT OF WALL IS 4 FT.
  2. 3" COVER REQ'D FOR ALL REINFORCEMENT.
  3. USE GRADE 40 OR GRADE 60 REINFORCEMENT.
  4. REFER TO SHEAR WALL TABLE ON S7.0 FOR THE BOLTED SILL PLATE. 3 X REQUIRED FOR SW-3 AND GREATER.
  5. ANCHOR BOLT (A.B.) REQUIREMENTS:
    - 5.1. ALL WASHERS SHALL BE 3 X 3 X 3/8" PLATE. MAX DISTANCE FROM EDGE OF PLATE WASHER TO SHEATHING SHALL BE 1/2".
    - 5.2. SPACE A.B. @ 48" O.C. IN NON SHEAR WALLS.
    - 5.3. FOR A.B. AS SPECIFIED PER THE SHEAR WALL (S.W.) PLANS, REFER TO S.W. TABLE ON S7.0.



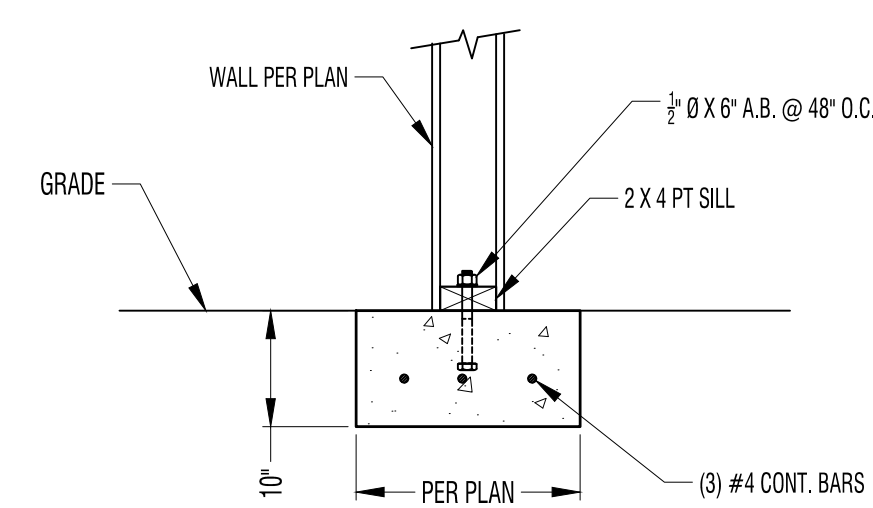
**4** POST INSTALLED ANCHOR DETAIL - AT CRAWL SPACE  
SPECIAL INSPECTION AND OBSERVATION REQUIRED TO ENSURE EPOXY SYSTEM IS APPLIED PER MANUFACTURERS REQUIREMENTS



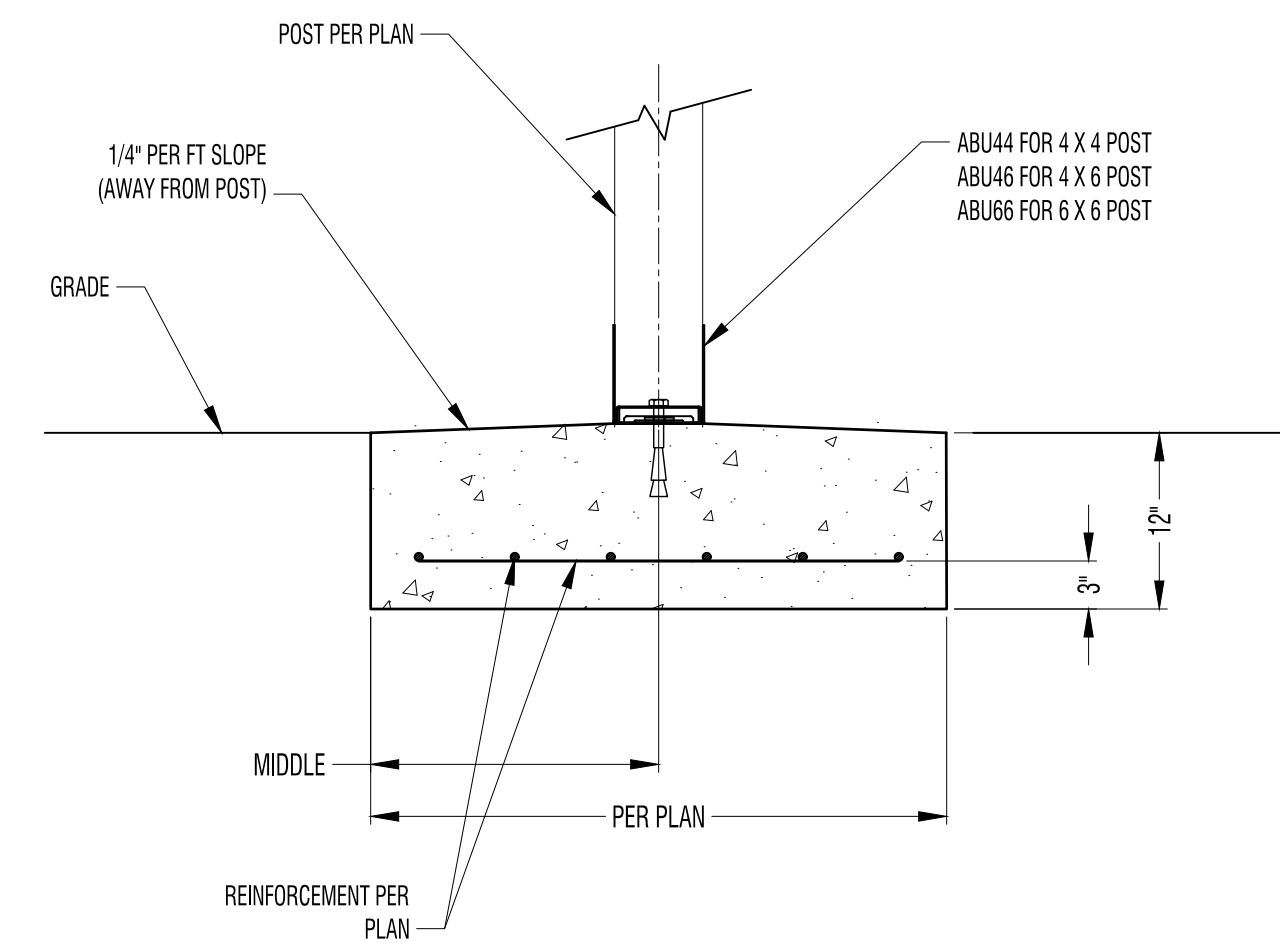
**2** TYPICAL HOLD-DOWN ATTACHED ABOVE FLOOR FRAMING  
(NO SCALE)



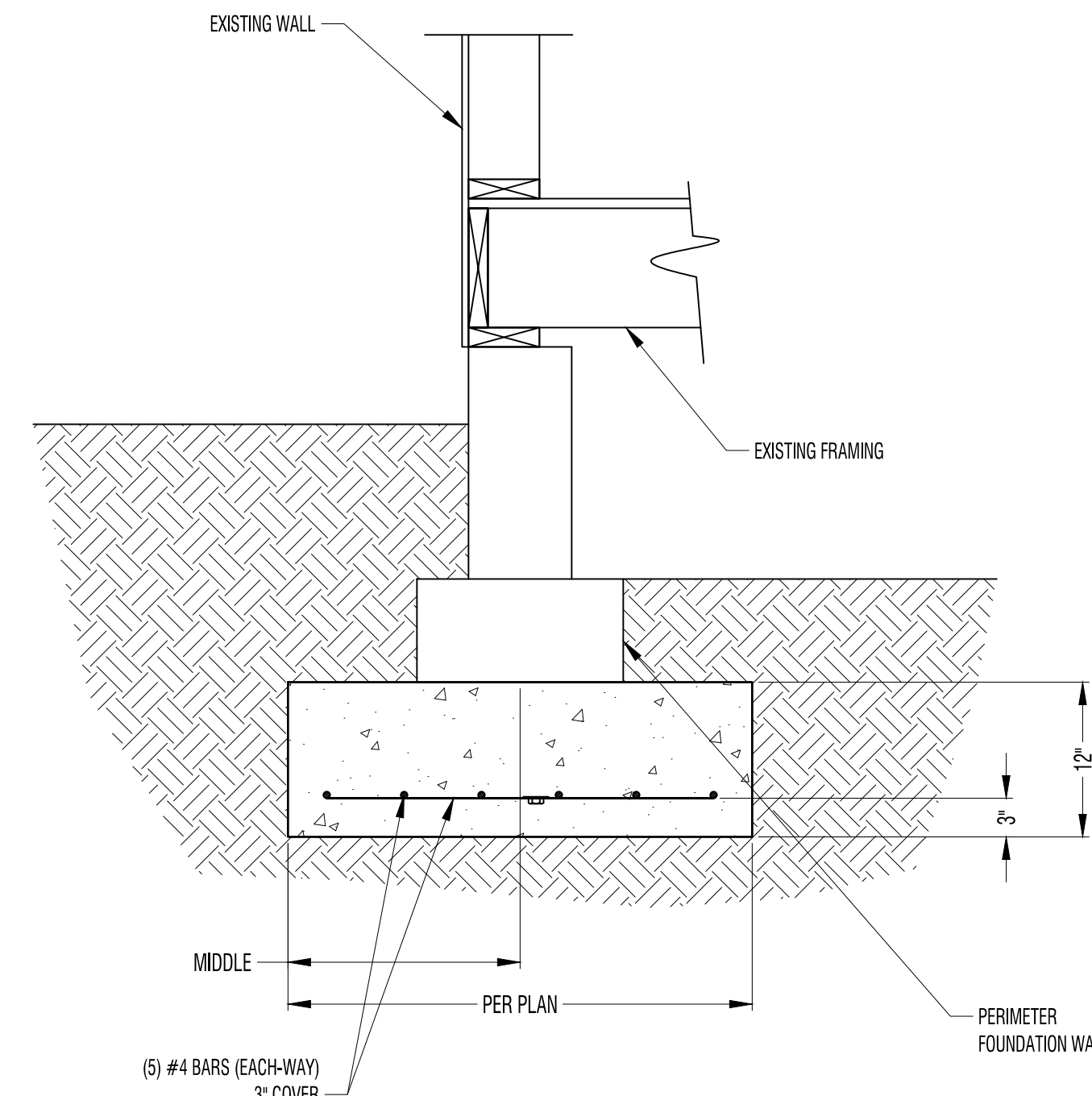
**3** POST INSTALLED ANCHOR DETAIL - AT SLAB LEVEL  
SPECIAL INSPECTION AND OBSERVATION REQUIRED TO ENSURE EPOXY SYSTEM IS APPLIED PER MANUFACTURERS REQUIREMENTS



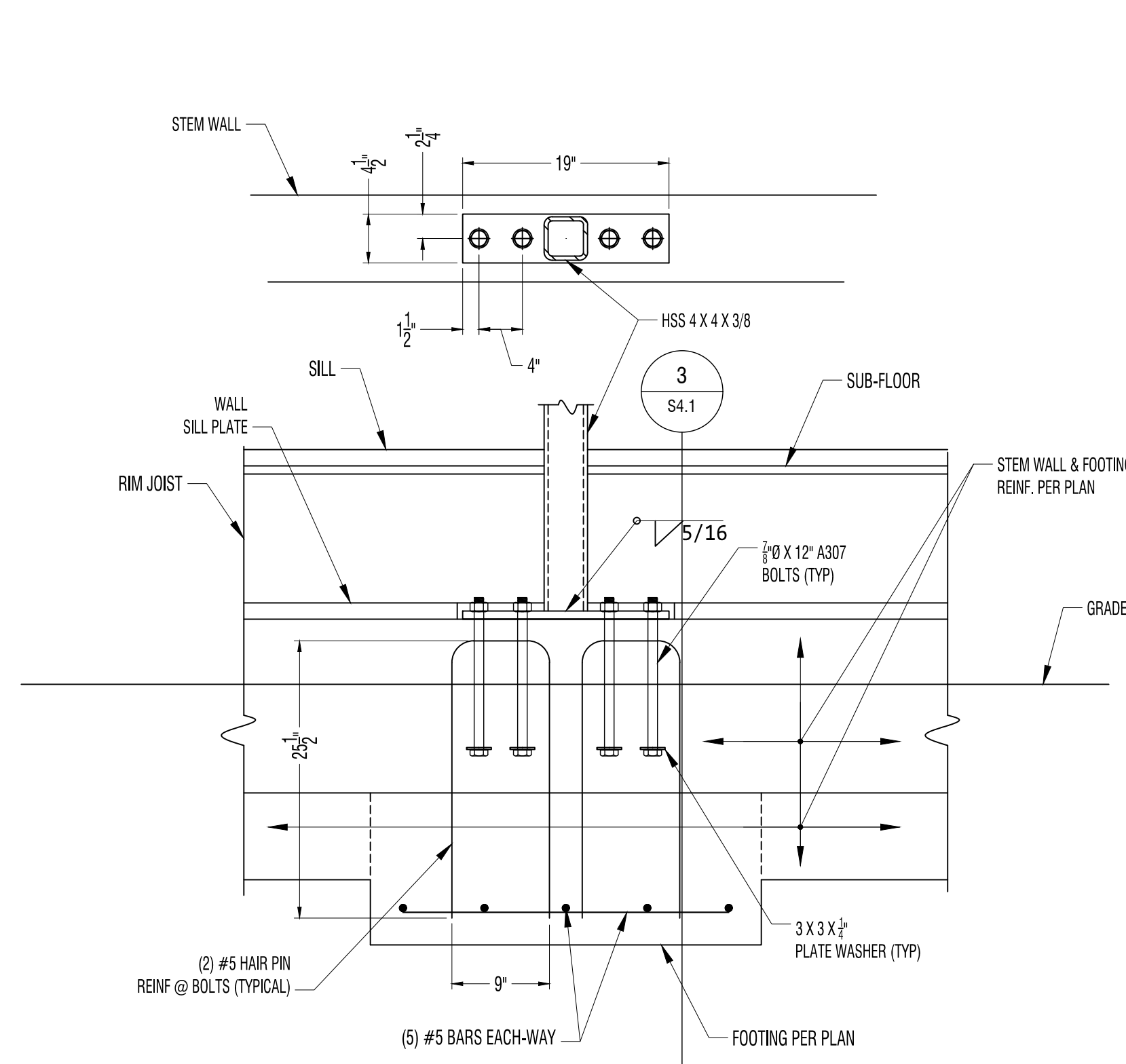
**5** NEW CONT. FOOTING ON GRADE



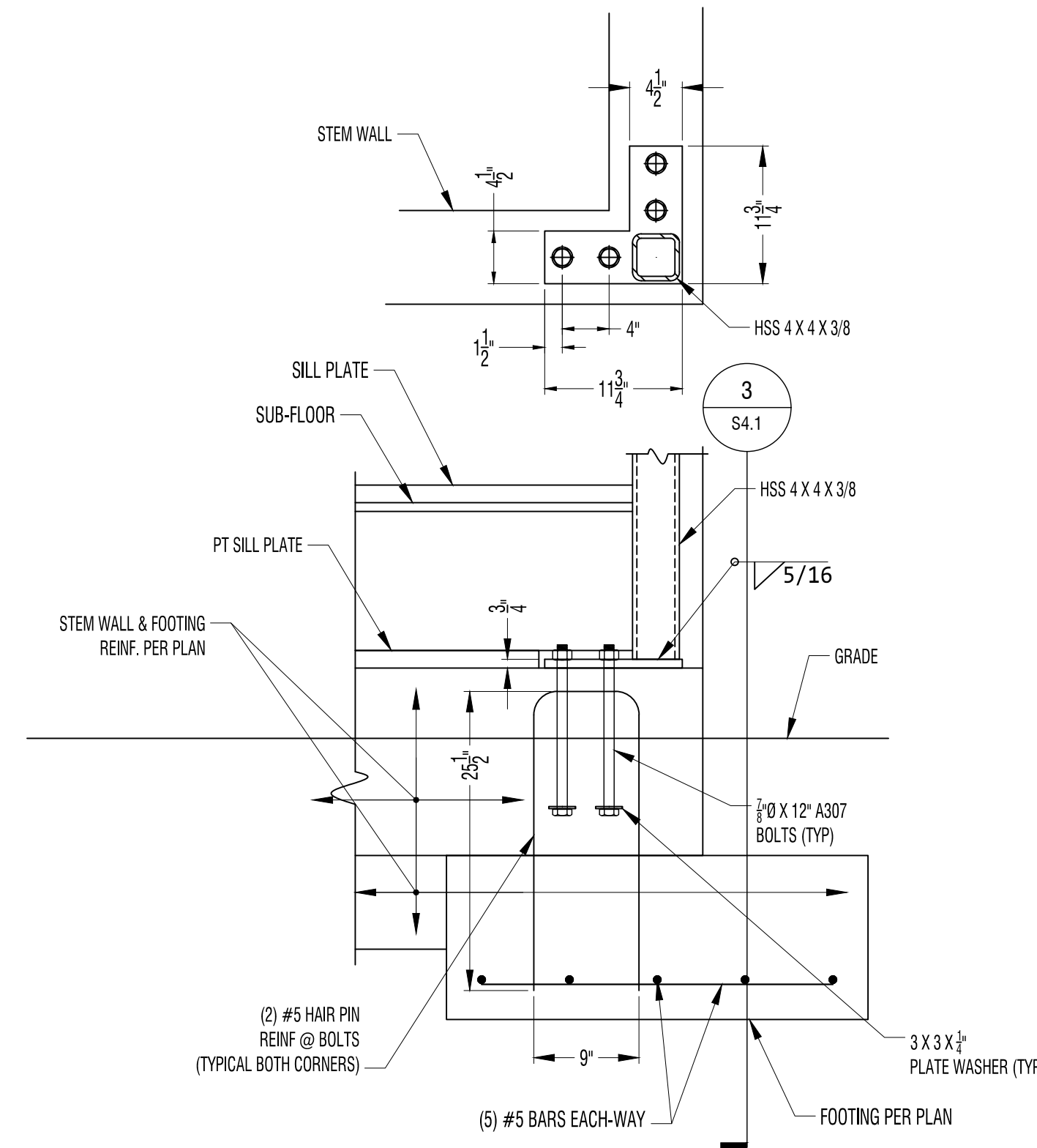
**6** INTERIOR FOOTING  
(NO SCALE)  
NOTES:  
1) REINFORCEMENT IN EACH DIRECTION  
2) 3" COVER IS REQUIRED



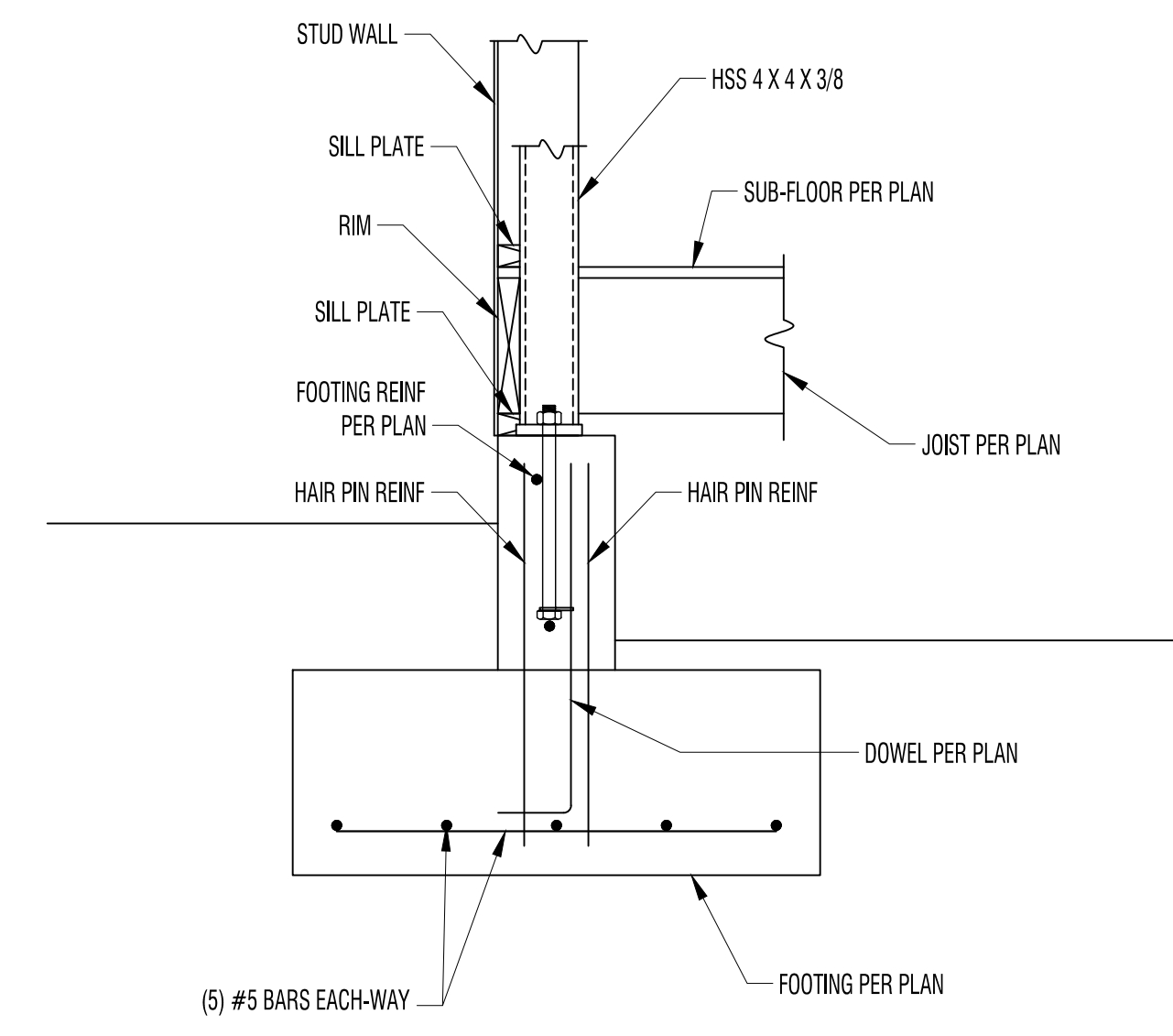
**7** NEW FOOTING BELOW EXISTING FOOTING  
(NO SCALE)  
NOTES:  
1. AT RECTANGULAR FOOTINGS: USE (5) #4 BAR IN THE LONGITUDINAL DIRECTION AND #4 BAR @ 10" O.C. FOR THE TRANSVERSE (BUT NO LESS THAN (5) #4 BARS).  
2. 3" COVER REQUIRED FOR ALL REINFORCEMENT.



1 HSS COLUMN TO FOOTING CONNECTION



2 CORNER HSS COLUMN TO FOOTING CONNECTION

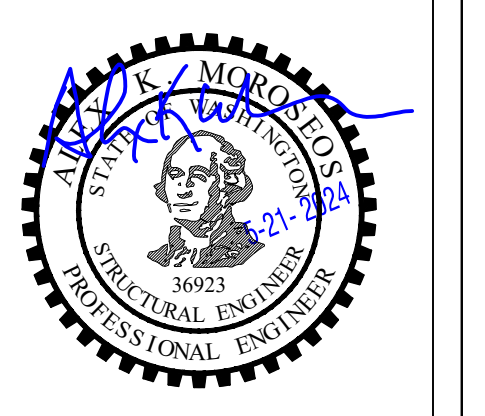


3 SECTION THRU FOOTING

CUSTOM DESIGN & ENGINEERING, INC.  
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PROJECT NAME: JEFF RUDD RESIDENCE  
 PROJECT ADDRESS: 8032 SE 57TH ST  
 MERCER ISLAND WA 98040

DWG TITLE: FOUNDATION DETAILS  
 Date: 5-21-2024  
 Revision: CURRENT VERSION  
 Number:



PROJECT #  
**A4-3437**

SHEET NO  
**S4.0**

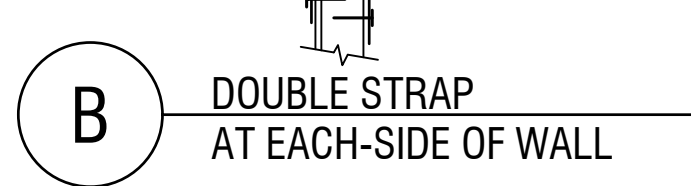
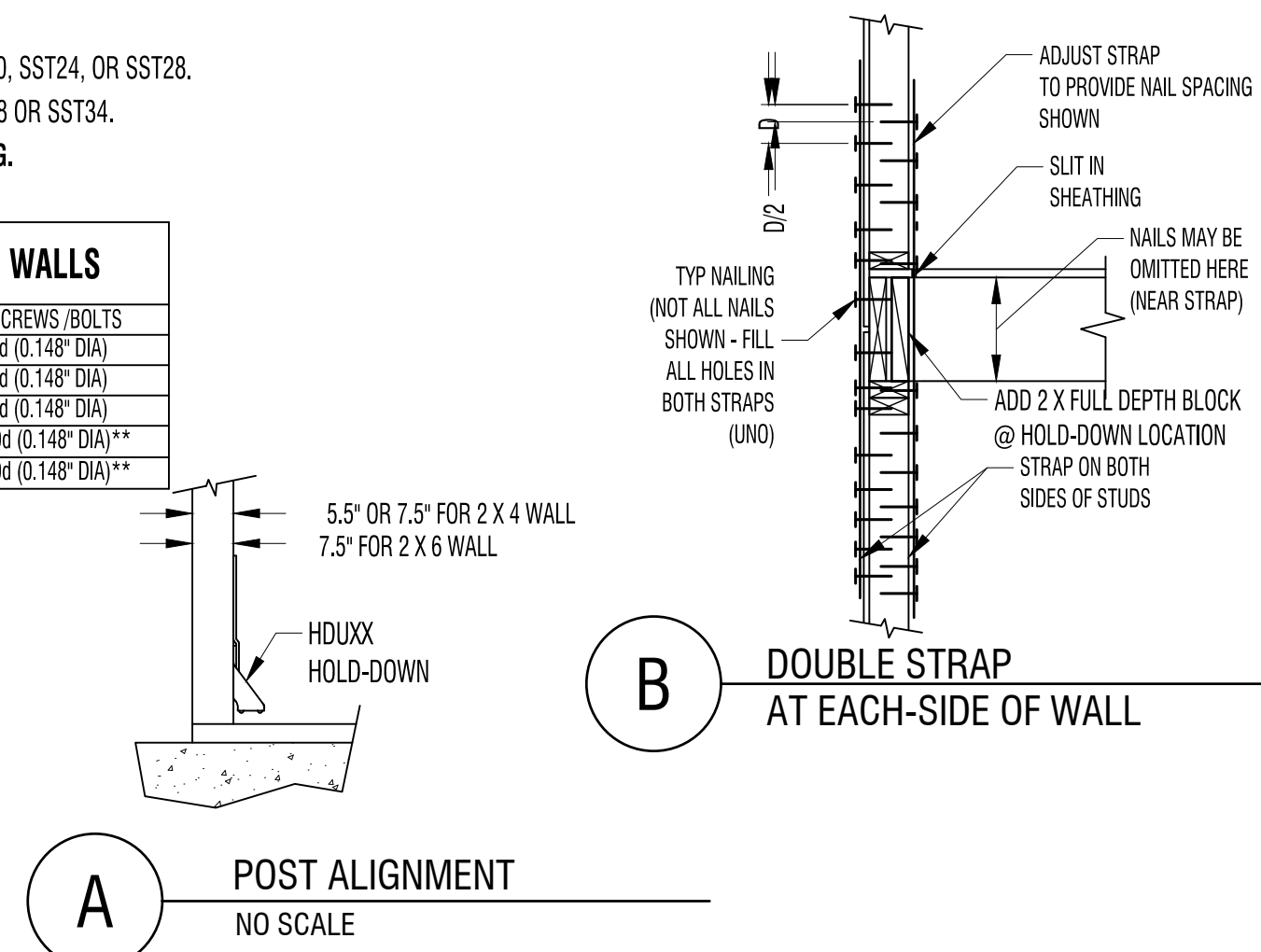
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HOLD-DOWN SCHEDULE - HOLD DOWNS ATTACHED TO CONCRETE							
MARK	TYPE	CAPACITY	ANCHOR BOLT (MONO POUR)	ANCHOR BOLT (TWO POUR)	NUMBER OF STUDS / SOLID COLUMN	NAILS / SCREWS / BOLTS	
TD1	STD14 OR HDU4-SDS2.5	3285	SSTB24 (FOR HDU4)	SSTB24 (FOR HDU4)	(2) 2 X HEM-FIR	30 - 10d (0.148" DIA)	
TD2	HDUS-SDS2.5 (SPF/HF)	4065	SSTB24 (FOR HDU5)	SSTB24 (FOR HDU5)	(2) 2 X DOUG-FIR	38 - 10d (0.148" DIA)	
TD3	HDUS-SDS2.5 (DF/SP)	5645	3" Ø X 24 ASTM A307	3" Ø X 24 ASTM A307	(2) 2 X DOUG-FIR	40 - 10d (0.148" DIA)	
TD4	HDUS-SDS2.5	7460	SSTB28	SSTB34	(2) 2 X DOUG-FIR	20 - 1" X 3 - SCREWS	
TD5	HDU1-SDS2.5	9540	1" Ø X 24 ASTM A307	1" Ø X 24 ASTM A307	6 X 6 OF 2 POST	26 - 1" X 3 - SCREWS	
TD6	HDU1-SDS2.5	11175	1" Ø X 24 ASTM A307	1" Ø X 24 ASTM A307	6 X 6 OF 1 POST		
TD7	HDU1-SDS2.5	14445	1" Ø X 24 ASTM A307	1" Ø X 24 ASTM A307	6 X 6 OF 1 POST		
TD8	HD12	15510	1-1/8" X 24 ASTM A307	1-1/8" X 24 ASTM A307	6 X 6 OF 1 POST		
TD9	HD19	19070	1-1/4" X 24" ASTM 307	1-1/4" X 24" ASTM 307	6 X 6 OF 1 POST		

- NOTES:
- HOLDDOWNS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE CO. OR EQUIVALENT.
  - ALL BUILTUP STUDS SHALL RECEIVE SHEAR WALL EDGE NAILING.
  - INSTALL HOLD-DOWN BOLTS THRU THE THICKER SECTION OF THE SOLID POST.
  - 5/8" DIA ASTM A36 THREADED ROD EMBEDDED 12 INCHES IS ACCEPTABLE SUBSTITUTION FOR SST20, SST24, OR SST28.
  - 3/4" DIA ASTM A36 THREADED ROD EMBEDDED 12 INCHES IS ACCEPTABLE SUBSTITUTION FOR SST28 OR SST34.
  - ALL HOLD-DOWNS, FRAMING ANCHORS AND SHEAR WALLS MUST BE INSPECTED BEFORE COVERING.

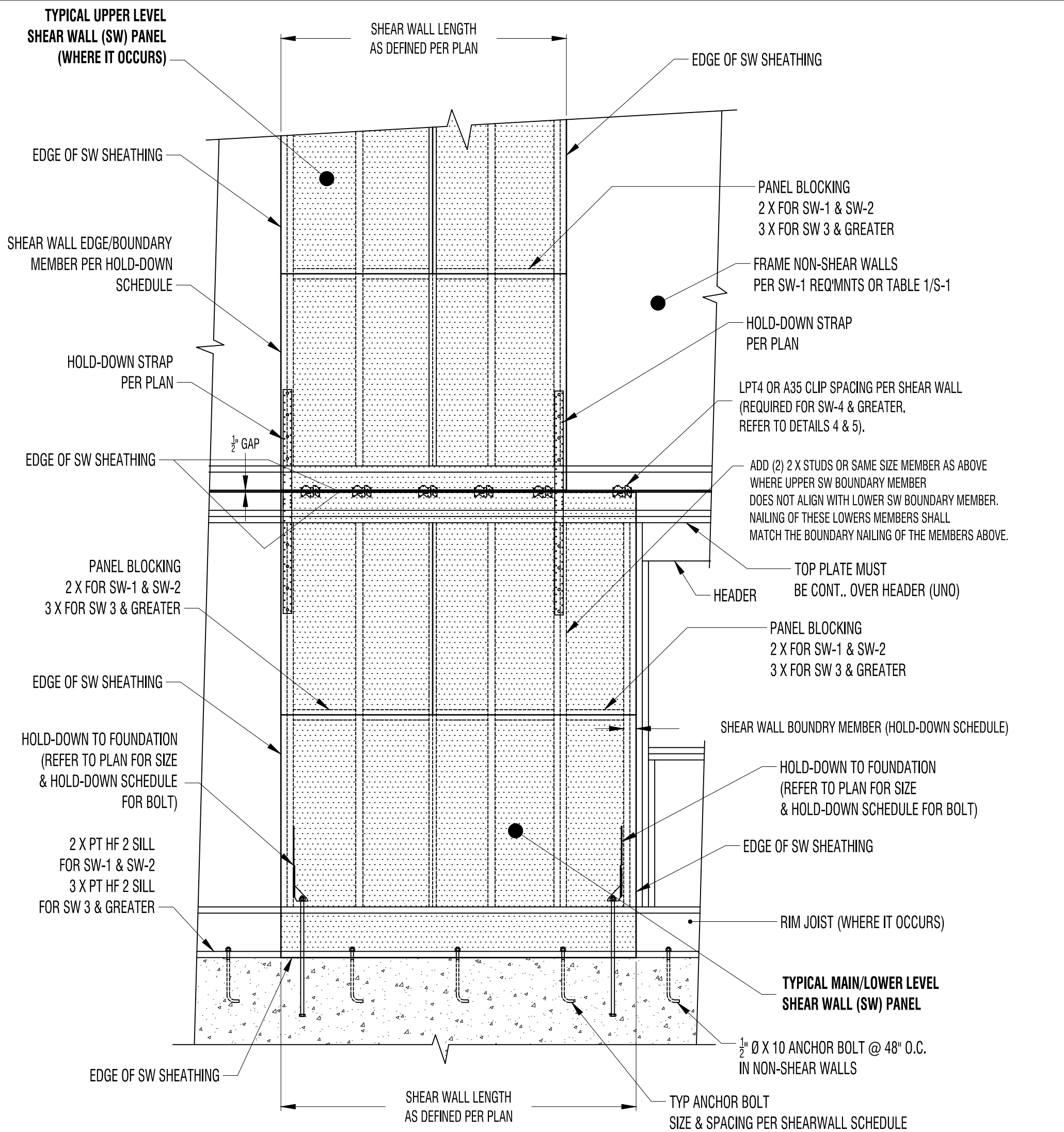
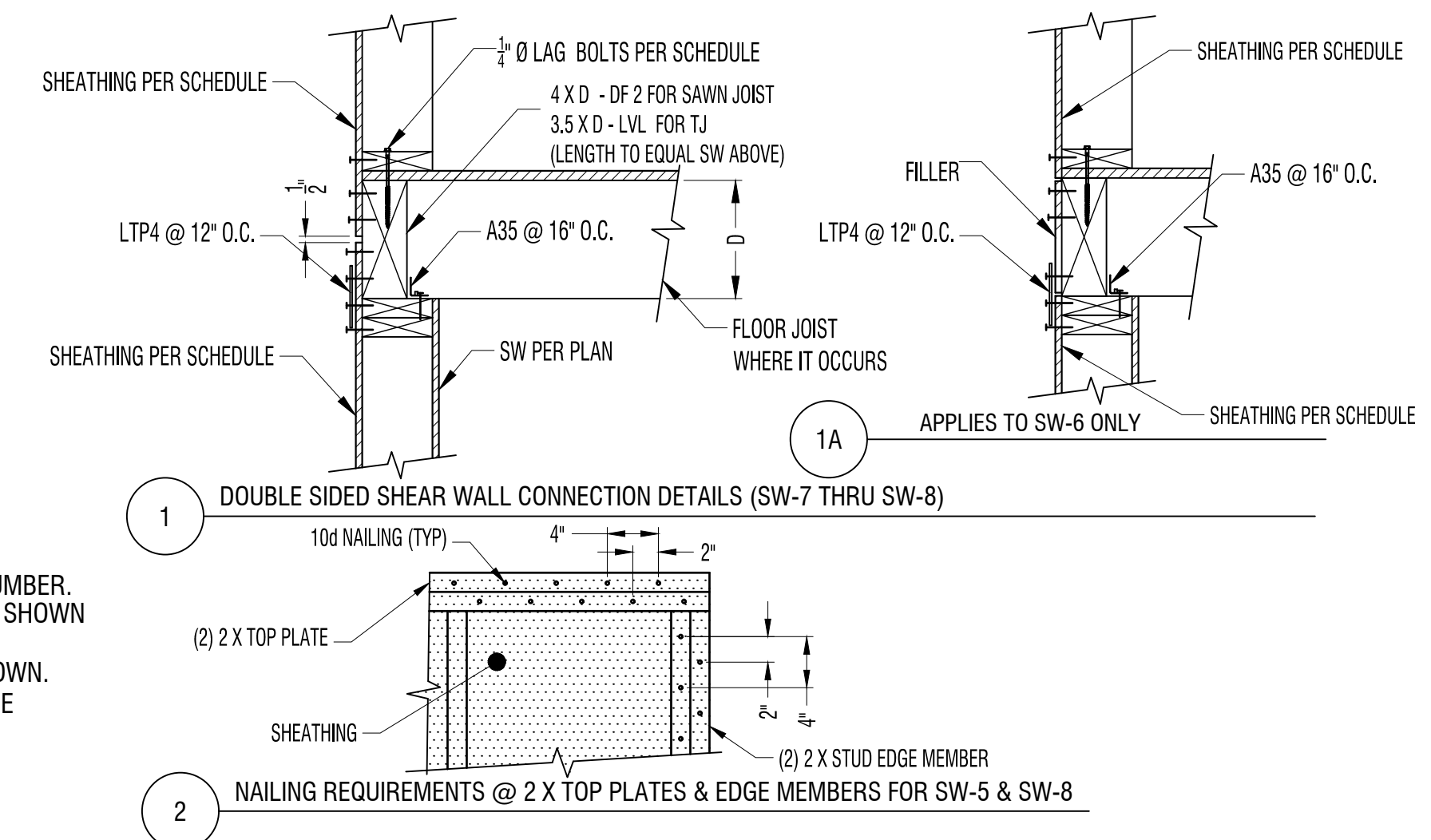
HOLD-DOWN SCHEDULE - HOLD DOWNS ATTACHED BETWEEN FRAMED WALLS			
TYPE (2)	CAPACITY (3)(4)	NUMBER OF STUDS / SOLID COLUMN	NAILS / SCREWS / BOLTS
MST37	2010	(2) 2 X HEM-FIR	30 - 10d (0.148" DIA)
MST48	3105	(2) 2 X DOUG-FIR	38 - 10d (0.148" DIA)
MST60	4800	(2) 2 X DOUG-FIR	40 - 10d (0.148" DIA)
(2) MST48	6210	(2) 2 X DOUG-FIR	(2) 38 - 10d (0.148" DIA)**
(2) MST60	9600	(3) 2 X DOUG-FIR	(2) 40 - 10d (0.148" DIA)**

- NOTES:
- FILL ALL HOLES WITH 10d COMMONS NAILS (EXCEPTION SEE NOTE 3).
  - WHERE DOUBLE STRAPS ARE INDICATED SUCH AS (2) MST37 USE 10d X 1-1/2" COMMONS NAILS. SEE DETAIL A/S7.0 FOR DETAIL.
  - THE VALUES ABOVE ARE BASED ON A 16' CLEAR SPAN WITH HEM-FIR FRAMING & WIND LOAD DURATION.
  - \*\* STAGGER NAILING PER DETAIL B



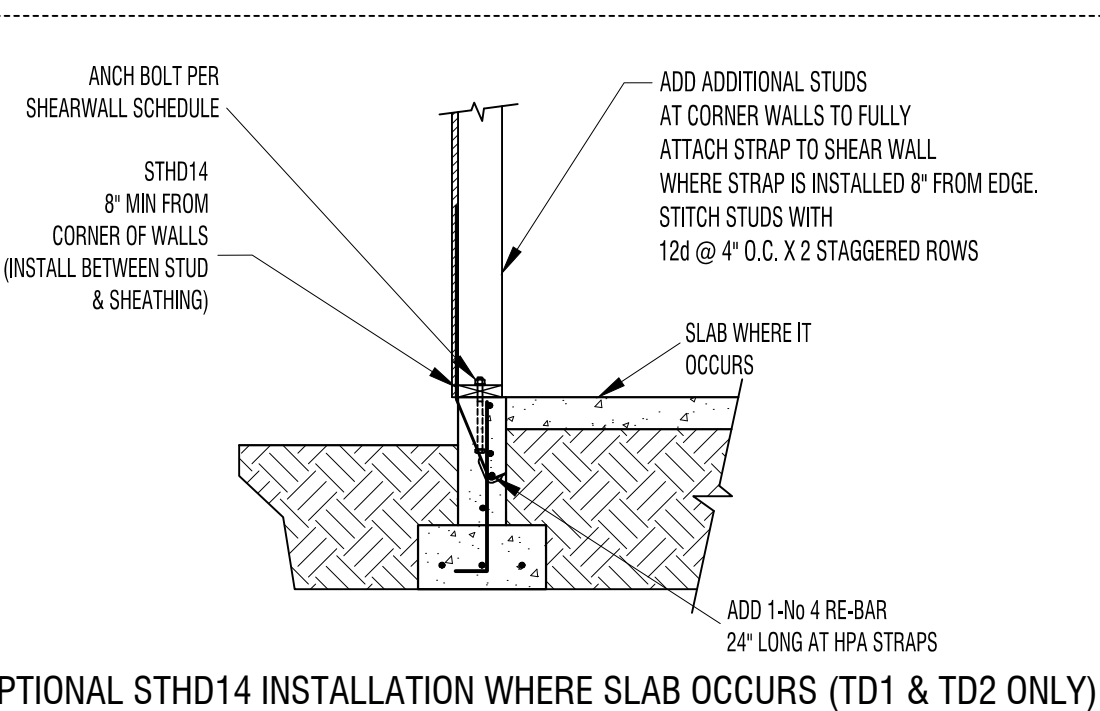
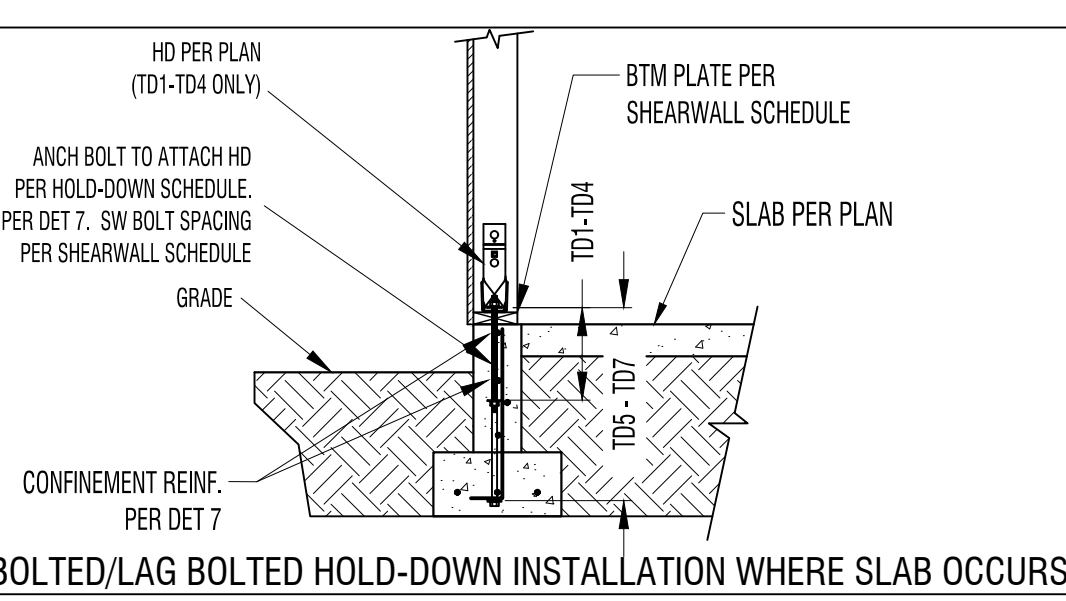
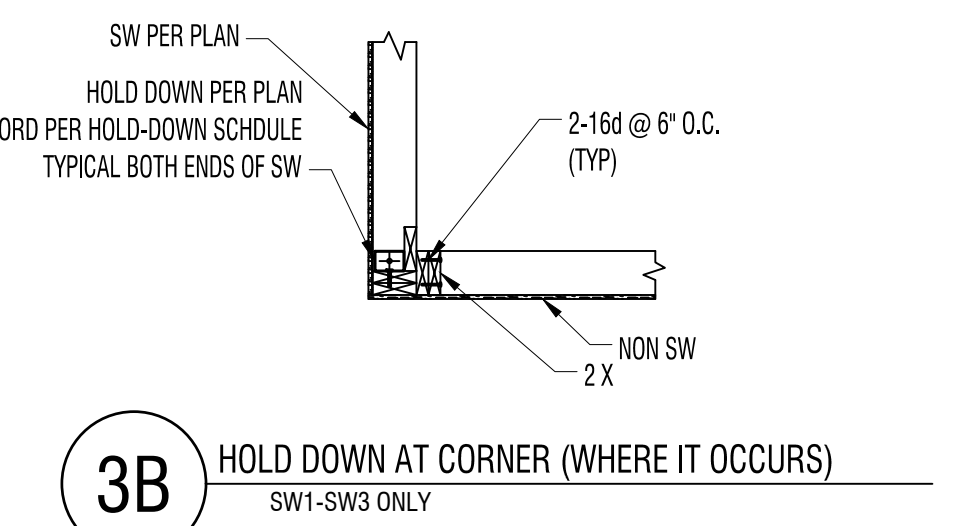
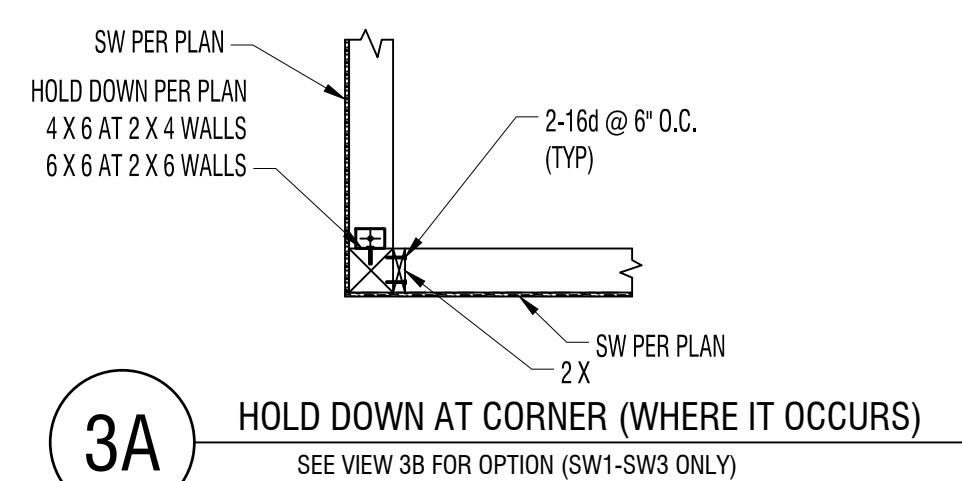
SHEAR WALL SCHEDULE												
MARK	CAPACITY (LB/FT) (1)	SHEATHING (PLYWOOD/OSB) (2)	NAIL SIZE (3)	EDGE NAIL SPACING (4)	FIELD NAIL SPACING	BOTTOM PLATE NAILING (2ND FLOOR) (6)	SILL PLATE CONN. TO FOUNDATION (10)	SHEAR CLIP SPACING (LTP4 OR A35 REFER TO DETAILS)	TYP FRAMING (UNO)	FRAMING AT ABUTTING EDGES (11)	FOUNDATION SILL PLATES	PLATES
SW-1	213	7/16	8d (0.131" DIA)	6	SEE NOTE 5	16d @ 6" O.C.	1/2" X 10 @ 35" O.C.	LTP4 or A35 @ 16" O.C.	2 X	2 X	2 X	(2) 2 X
SW-2	254	7/16	8d (0.131" DIA)	4	SEE NOTE 5	16d @ 4" O.C.	1/2" X 10 @ 30" O.C.	LTP4 or A35 @ 16" O.C.	2 X	2 X	2 X	(2) 2 X
SW-3	350	7/16	8d (0.131" DIA)	3	SEE NOTE 5	16d @ 4" O.C.	1/2" X 10 @ 20" O.C.	LTP4 or A35 @ 16" O.C.	2 X	3 X	3 X	(2) 2 X
SW-4	492	15/32	10d (0.148" DIA)	3	SEE NOTE 5	16d @ 3" O.C.	1/2" X 10 @ 24" O.C.	LTP4 or A35 @ 12" O.C.	2 X	3 X	3 X	(2) 2 X
SW-5	631	15/32	10d (0.148" DIA)	2	SEE NOTE 5	16d @ 2" O.C.	1/2" X 10 @ 18" O.C.	LTP4 or A35 @ 9" O.C.	2 X	3 X	3 X	(2) 2 X
SW-6	836	15/32 BOTH SIDES	10d (0.148" DIA)	4	SEE NOTE 5	1/2" DIA LAG SCREW @ 4" O.C.	1/2" X 10 @ 18" O.C.	SEE DETAIL 1	2 X	3 X	3 X	(2) 2 X
SW-7	1200	15/32 BOTH SIDES	10d (0.148" DIA)	3	SEE NOTE 5	1/2" DIA LAG SCREW @ 3" O.C.	1/2" X 10 @ 14" O.C.	SEE DETAIL 1	2 X	3 X	3 X	(2) 2 X
SW-8	1540	15/32 BOTH SIDES	10d (0.148" DIA)	2	SEE NOTE 5	1/2" DIA LAG SCREW @ 3" O.C.	1/2" X 10 @ 24" O.C.	SEE DETAIL 1	2 X	3 X	3 X	(2) 2 X

- NOTES:
- ALLOWABLE SHEAR CAPACITY ASSUMES HEM-FIR FRAMING, AND IS BASED ON THE 2018 IBC WITH INCREASES FOR LOAD DURATION. SW-7 & SW-8 REQUIRES DOUG-FIR FRAMING.
  - UPON ENGINEERS APPROVAL, 19/32" RATED SHEATHING MAY BE USED WITH NO CAPACITY REDUCTION. O.S. INDICATES ONE SIDE OR WALL TO BE SHEATHED, B.S. INDICATES SHEATHING ON BOTH SIDES.
  - 8d NAILS = 0.131" dia 10d NAILS = 0.148" dia
  - FOR SHEAR WALL TYPES SW-3 AND HIGHER, ALL PANEL EDGE NAILING AND FOUNDATION SILL NAILING SHALL BE STAGGERED.
  - 12" FIELD NAILING FOR STUDS 16" O.C. AND 6" FIELD NAILING FOR STUDS 24" O.C.
  - WHERE LAG SCREWS ARE REQUIRED, SCREW LENGTH MUST BE ADEQUATE TO ENSURE 2-1/4" PENETRATION OF THE LAG INTO THE RIM JOIST BELOW. PRE DRILL WITH 3/16" DIA LEAD HOLE.
  - ADDITIONAL BOTTOM PLATE ANCHORS ARE ONLY REQUIRED AT WALLS DESIGNATED ON PLANS AS PERFORATED SHEAR WALLS. THESE ANCHORS ARE NOT REQUIRED AT FOUNDATION SILL PLATES.
  - ALIGN STRAPS WITH WALL STUDS AND CENTER AT FLOOR SHEATHING.
  - WALLS WITH OUT SHEAR WALL ID SHALL CONFORM SW-1.
  - 3" x 3" x 1/4" GALVANIZED PLATE WASHER IS REQUIRED. EMBED ANCHOR BOLTS 7.5" MINIMUM. REFER TO S-1 TO PRESSURE TREATING NOTES FOR ANCHOR BOLTS IN CONTACT WITH PRESSURE TREATED LUMBER. REFER TO FOUNDATION WALL SILL BOLTING REQUIREMENTS WHERE ANCHOR BOLT SPACING MAY LESS THAN SHOWN PER THIS TABLE.
  - REFER TO HOLD-DOWN TABLE WHERE SHEAR WALL EDGE MEMBERS ARE CONTROLLED BY THE REQ'D HOLD-DOWN. AS A MINIMUM REQUIREMENT, A 3X MEMBER AT HOLD DOWNS SHALL BE USED. WHERE (3) 2 X MEMBERS ARE REQUIRED PER THE HOLD-DOWN TABLE, USE (1) 3 X & (1) 2 X.
  - ALL HOLD-DOWNS, FRAMING ANCHORS AND SHEAR WALLS MUST BE INSPECTED BEFORE COVERING.
  - FOR DOUBLE SIDED SHEAR WALLS - DO NOT INSTALL SECOND SHEATHING LAYER UNTIL ITEM 12 ABOVE IS SATISFIED.

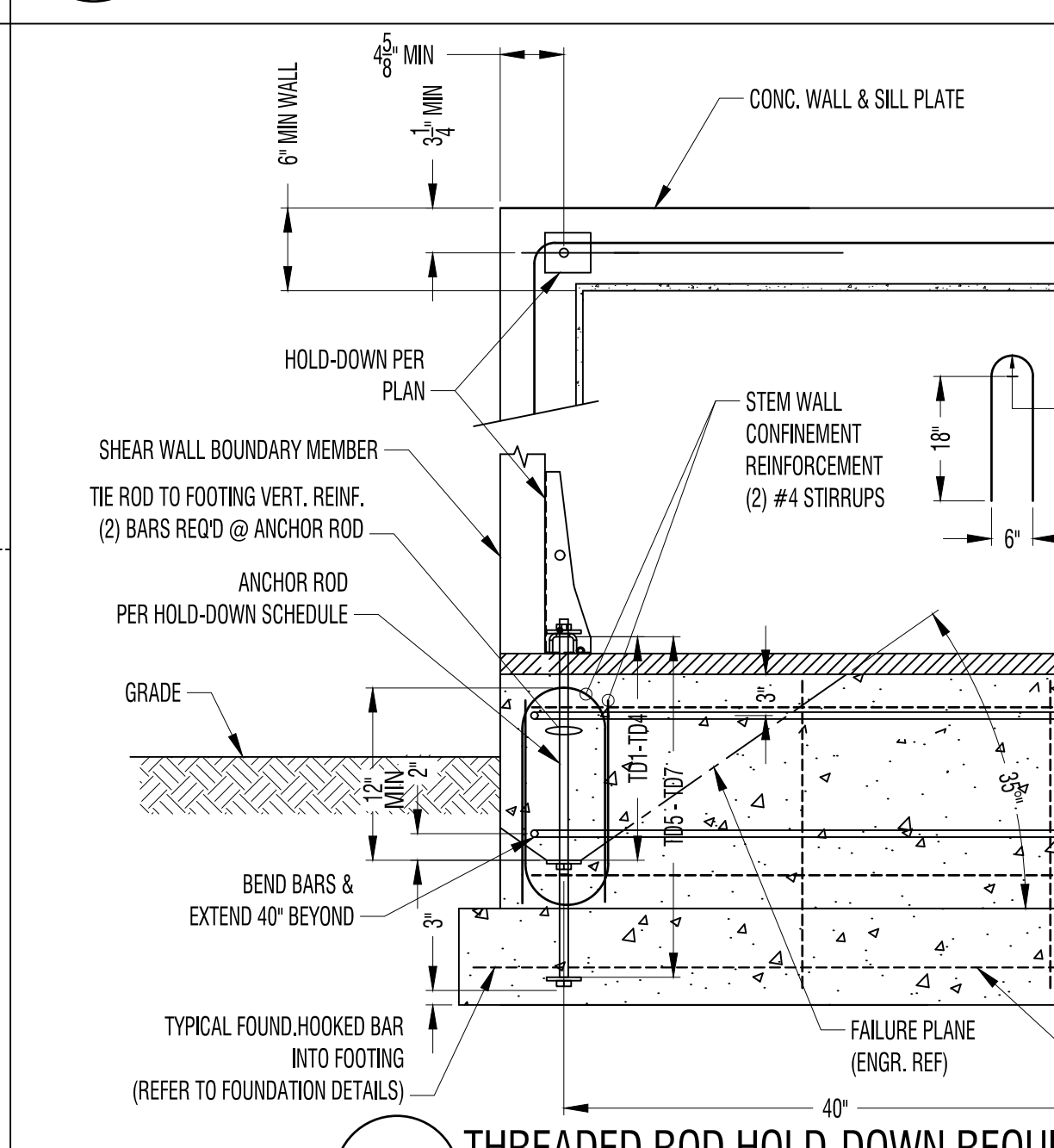
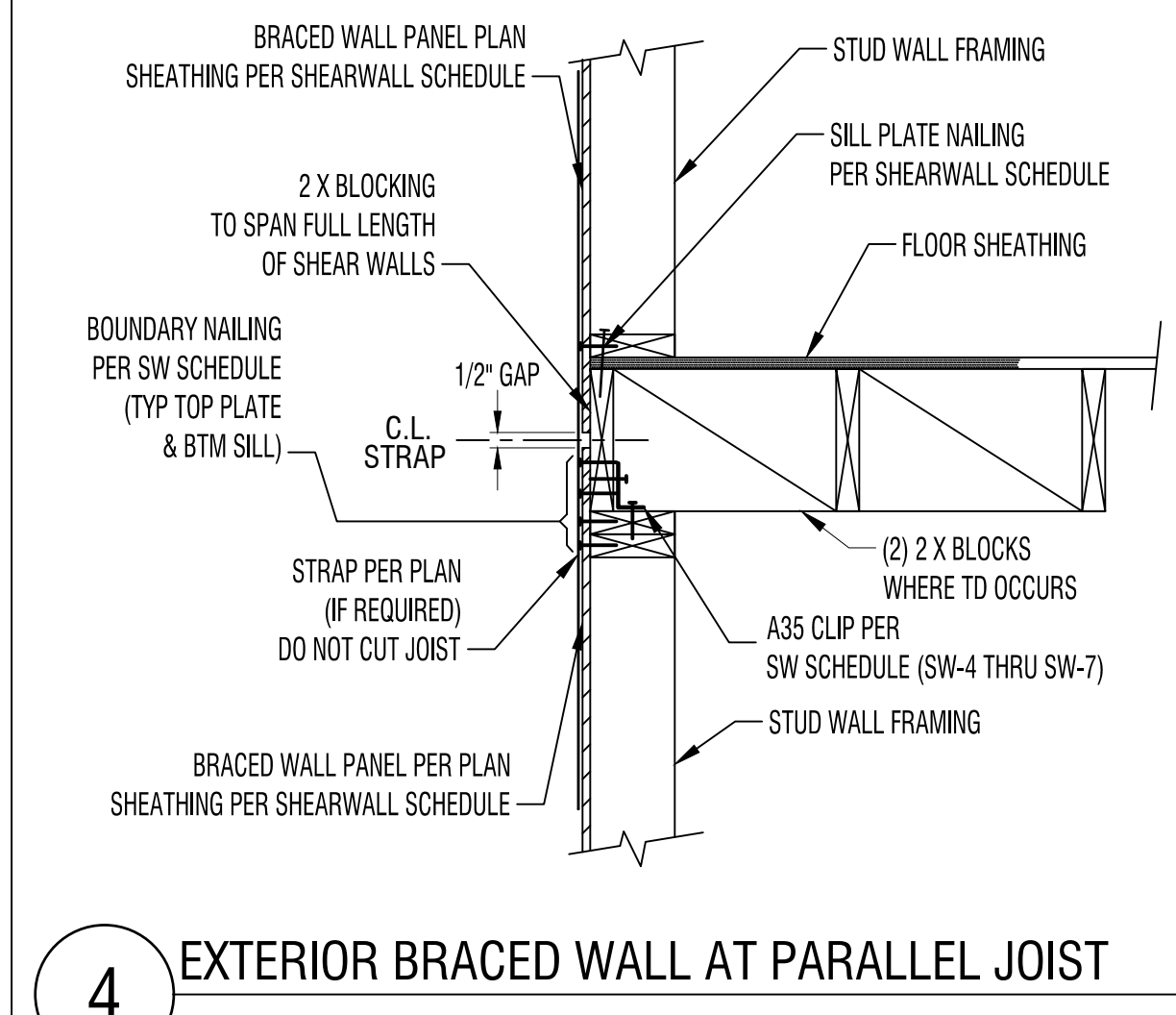


- 2 TYPICAL SEGMENTED SHEAR WALLS (SW) NO SCALE
- REFER TO PLAN FOR SHEAR WALL LENGTH & HOLD-DOWN SIZES.
  - REFER TO SHEAR WALL SCHEDULE FOR SW PANEL SIZE, NAILING AND BLOCKING.
  - REFER TO SHEAR WALL SCHEDULE FOR BOUNDARY MEMBERS.
  - REFER TO HOLD-DOWN SCHEDULE FOR HOLD-DOWNS & BOLTS.

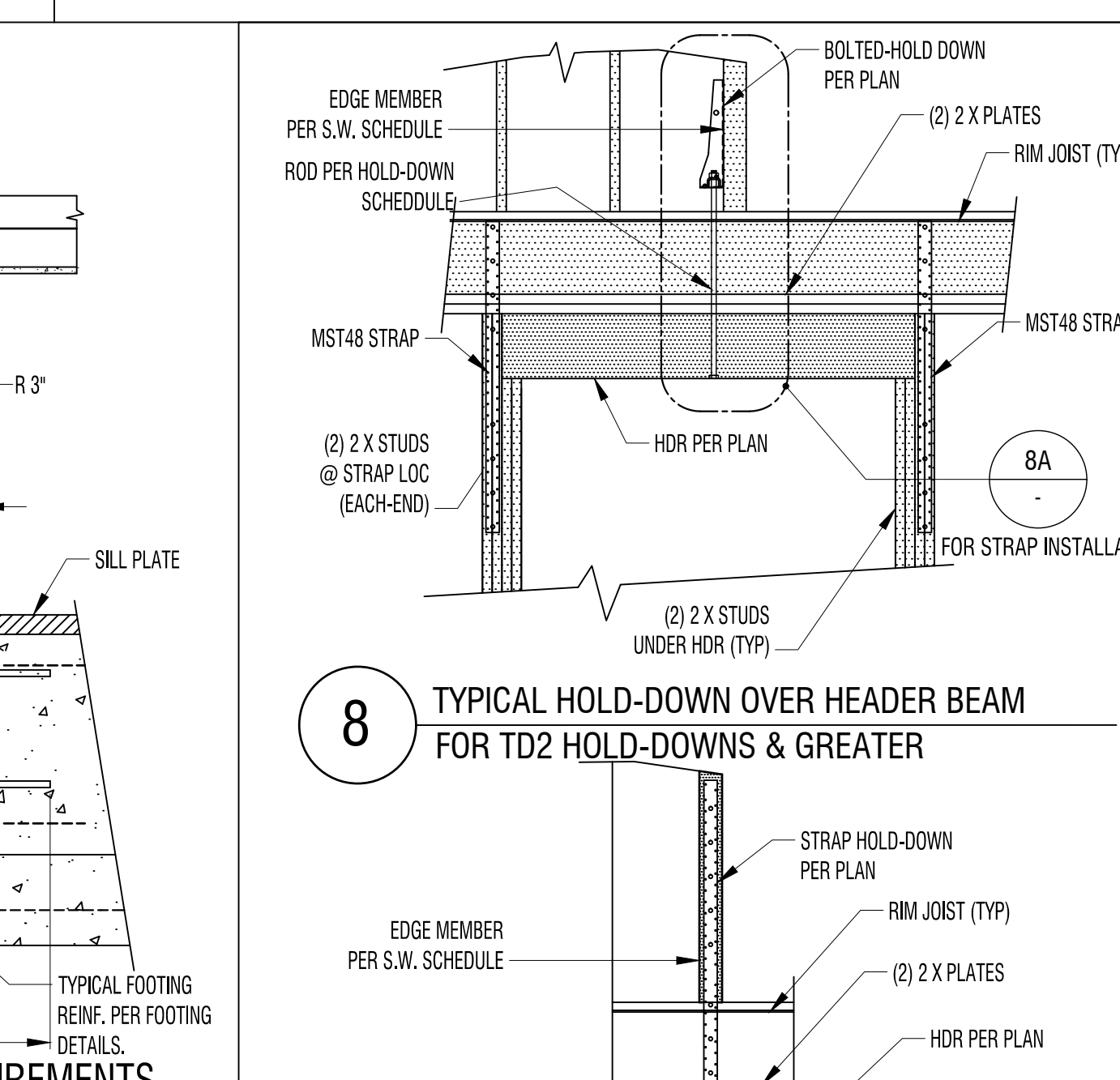
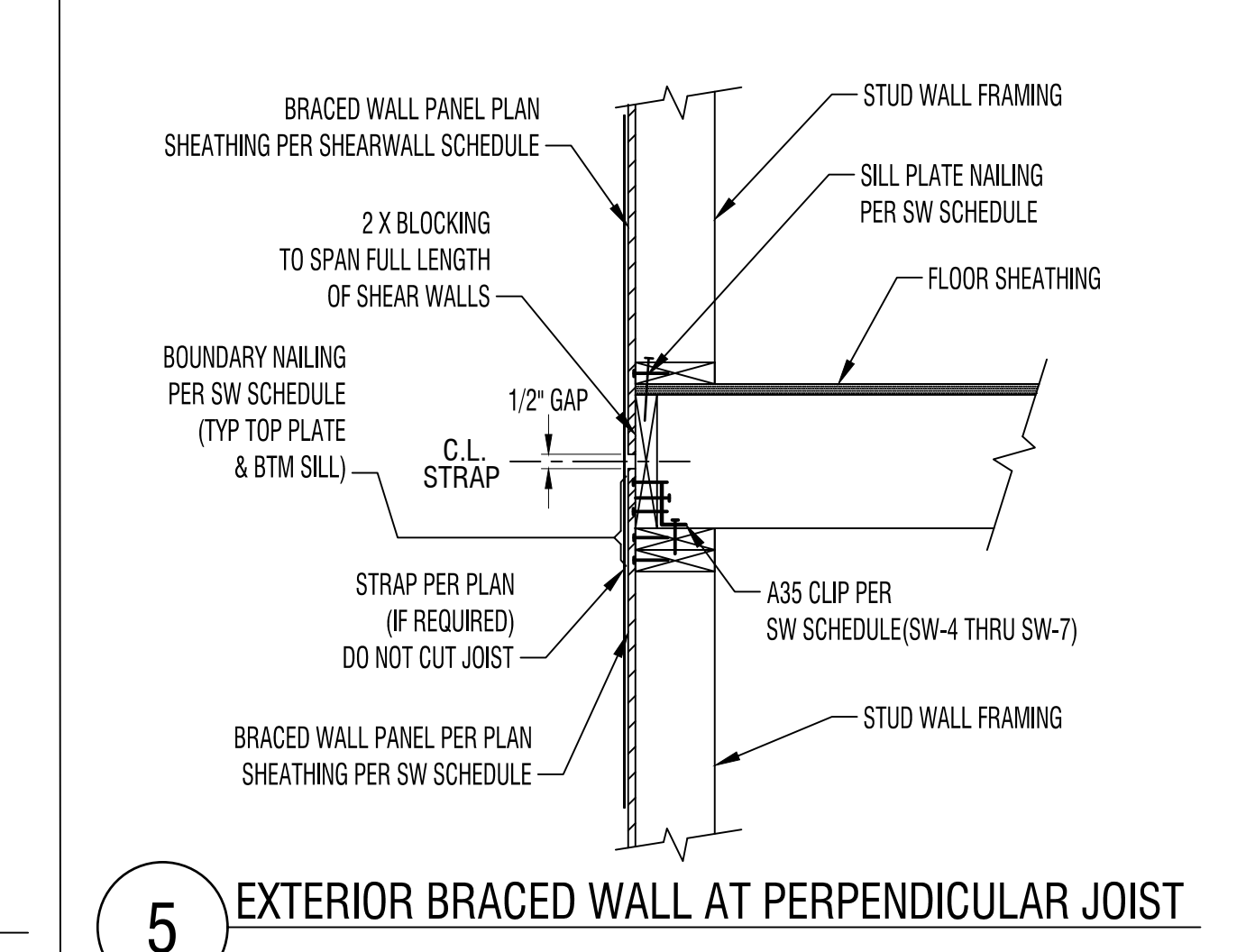
REFER TO SHEET S-1 FOR LICENSE AND USAGE INFORMATION



- 6 TYPICAL HOLD-DOWN ATTACHED DIRECTLY TO CONCRETE



- 7 THREADED ROD HOLD-DOWN REQUIREMENTS
- THIS A TYPICAL DETAIL IS APPLICABLE TO HOLD-DOWNS TD1-TD9. AND FOUNDATION WALLS AT LEAST 48" LONG. REFER TO SPECIFIC DETAILS FOR OTHER CONDITIONS.
  - THIS DETAIL IS APPLICABLE TO FOUNDATIONS WITH CRAWLSPACE. EXTEND THREADED ABOVE FLOOR RIM.



- 8 TYPICAL HOLD-DOWN OVER HEADER BEAM FOR TD2 HOLD-DOWNS & GREATER

- 8A STRAP OPTION FOR MST48 STRAP INSTL ONLY.

CUSTOM DESIGN & ENGINEERING, INC  
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(425) 343-7517  
email: mail@cdenr.com

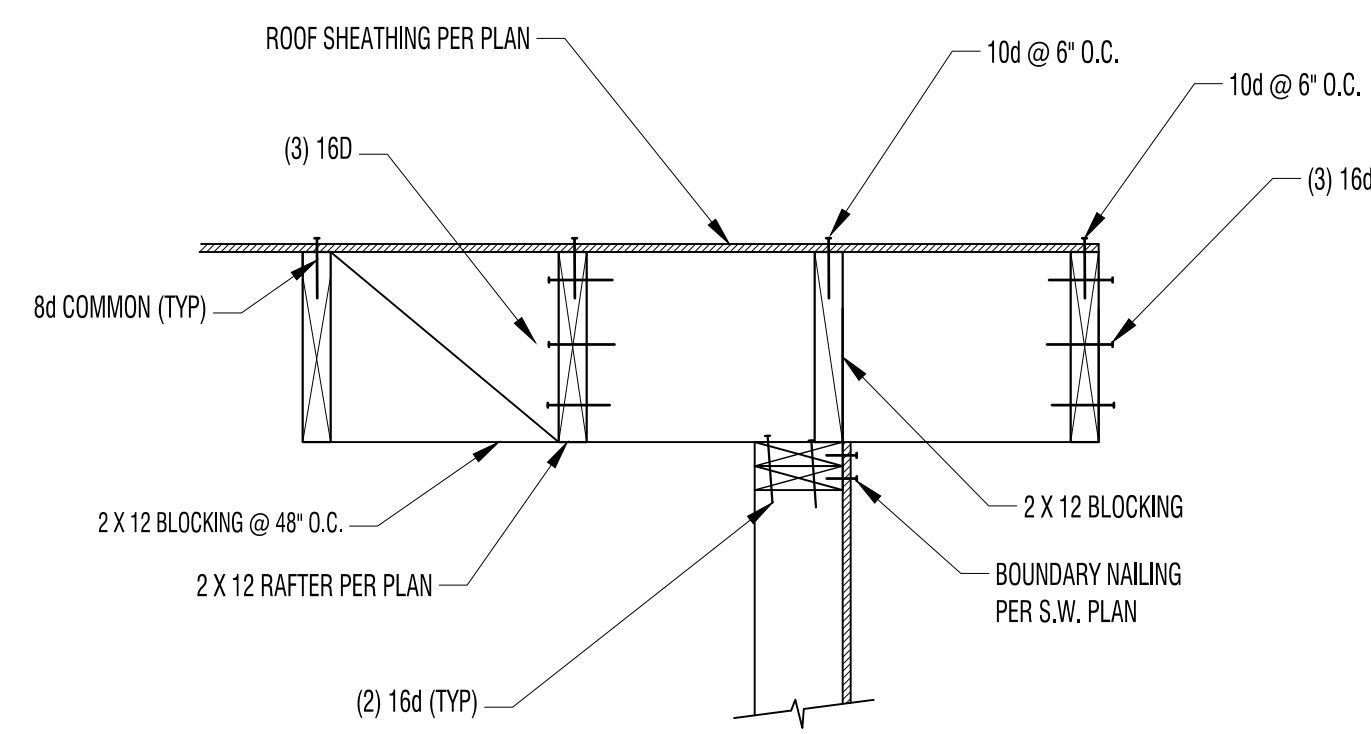
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PROJECT ADDRESS: 8032 SE 57TH ST  
MERCER ISLAND WA 98040

WOOD FRAMING DETAILS  
Date: 5-21-2024  
Revision: CURRENT VERSION

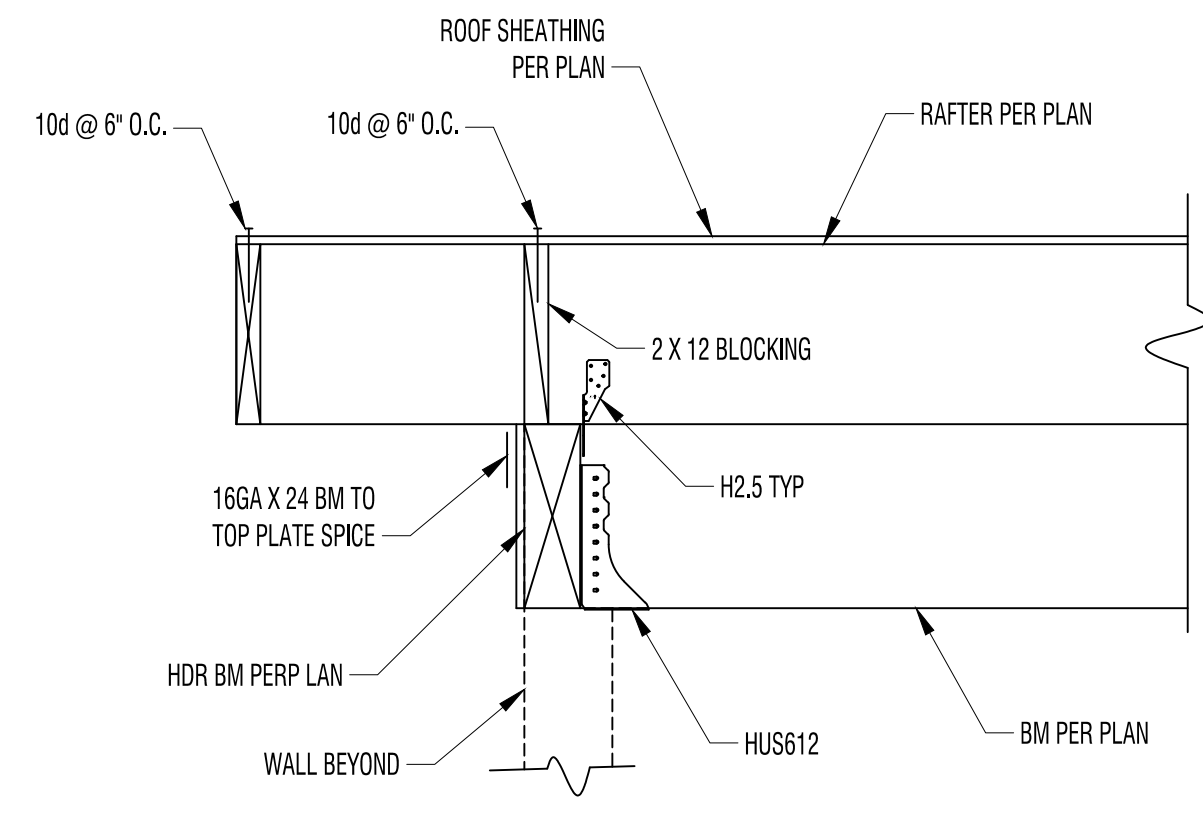
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Professional Engineer: [Signature]

PROJECT # A4-3437  
SHEET NO S7.0

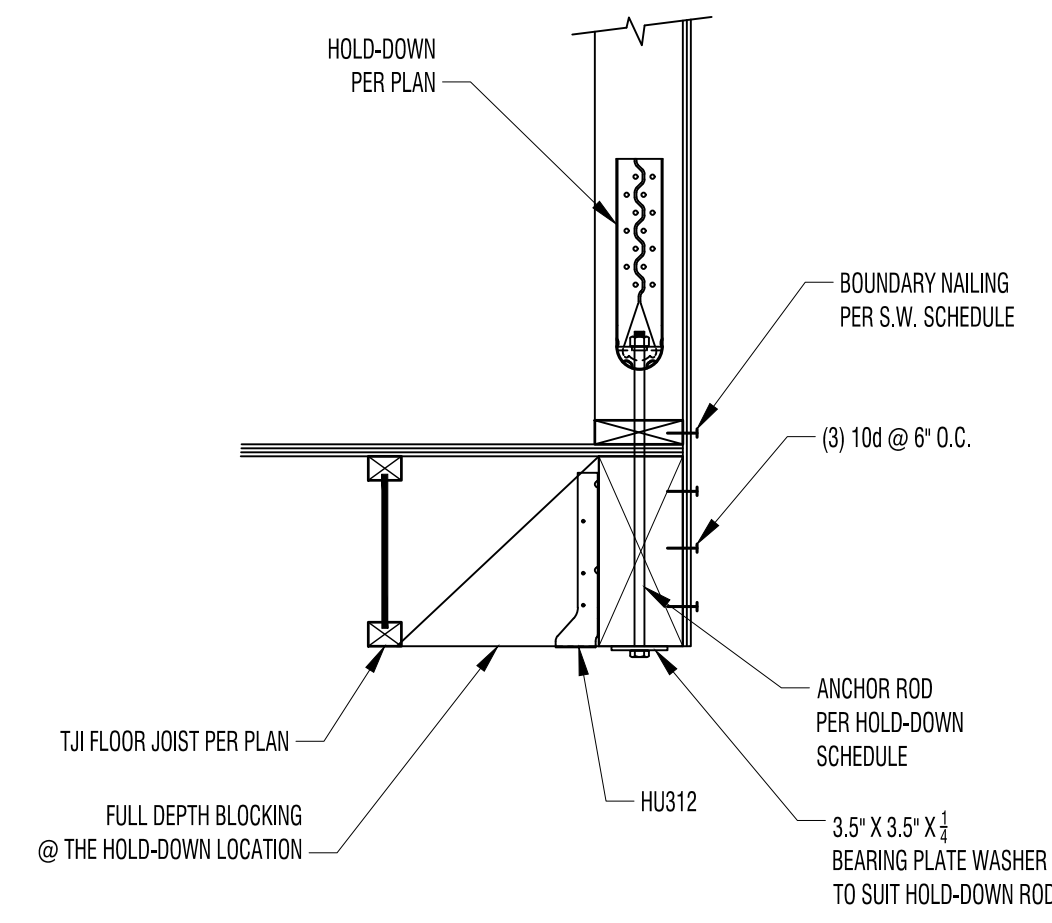




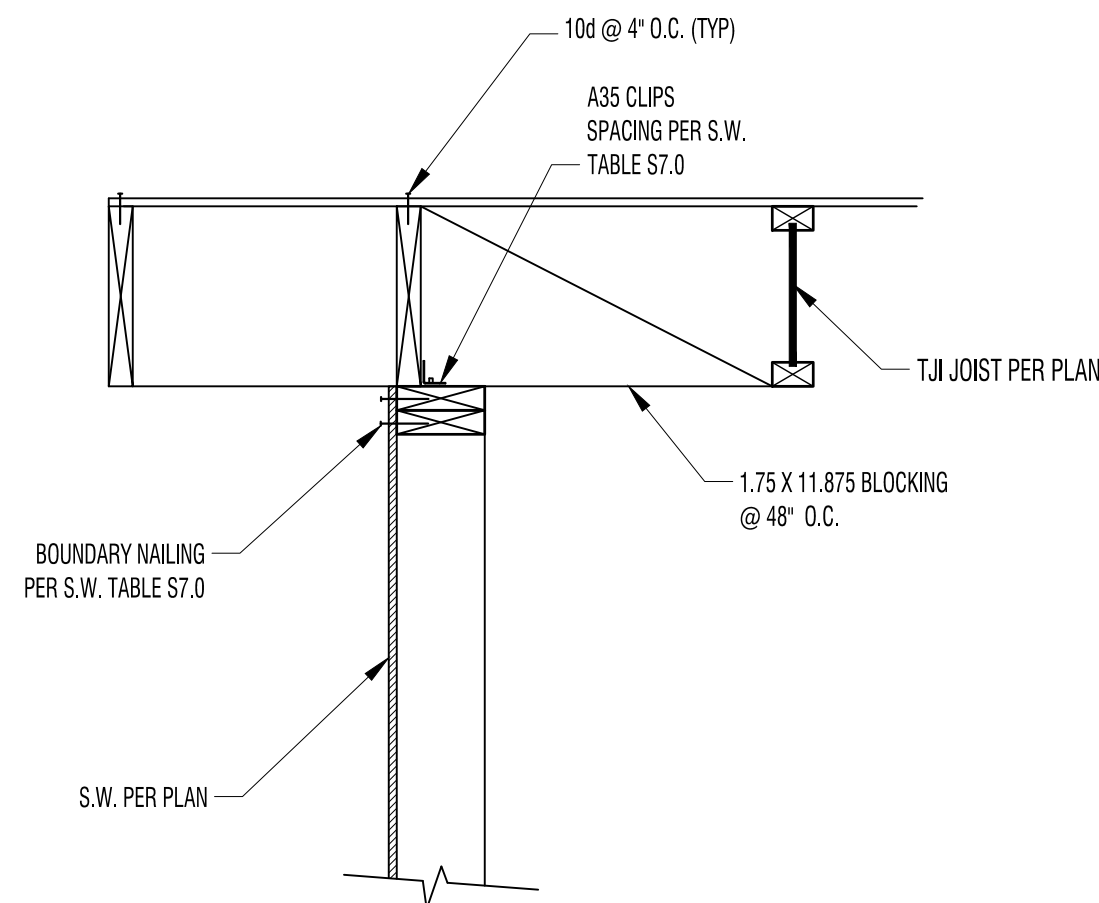
1 TYPICAL RAFTER PARALLEL



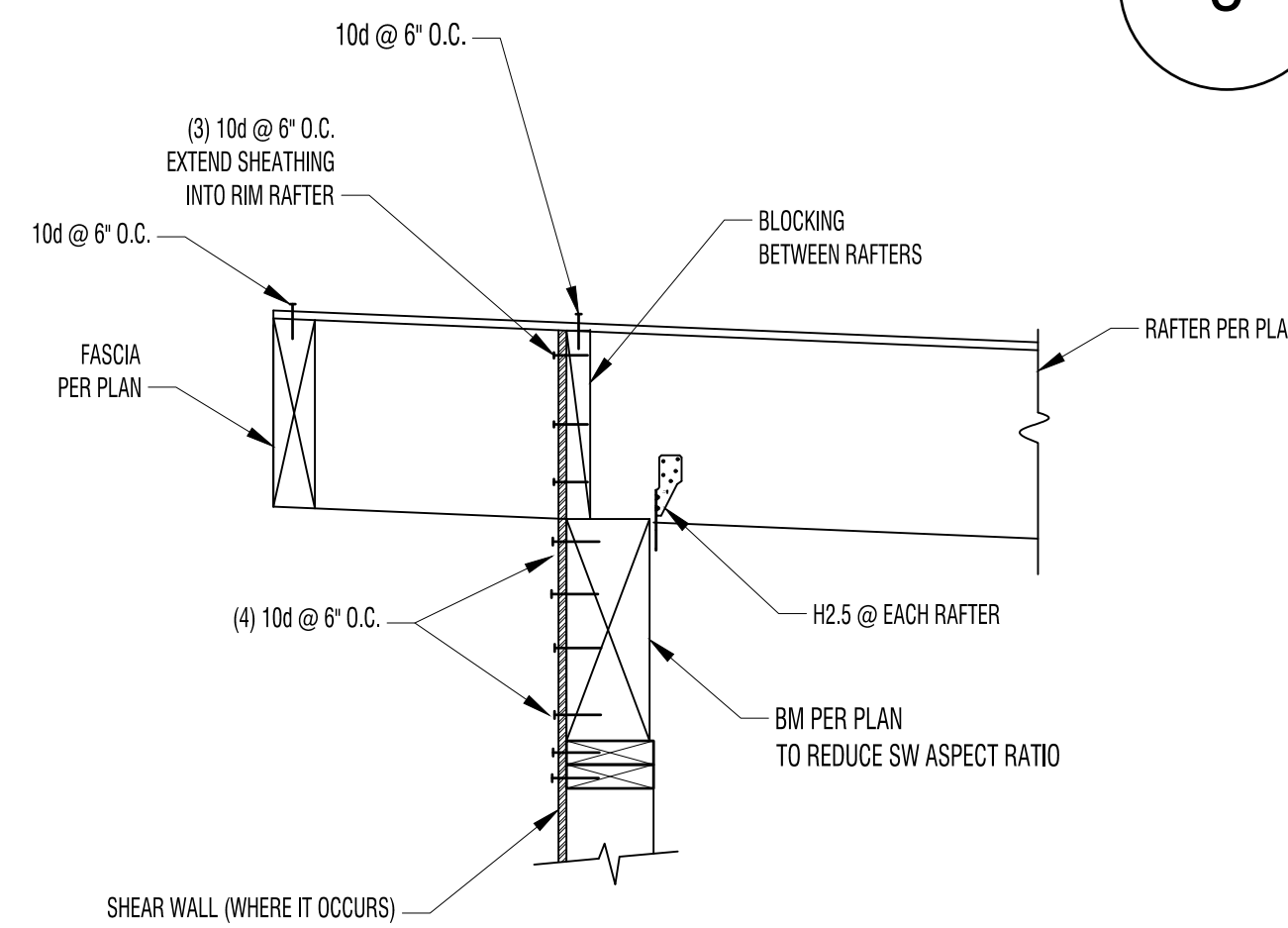
2 ROOF SUPPORT BM TO HDR



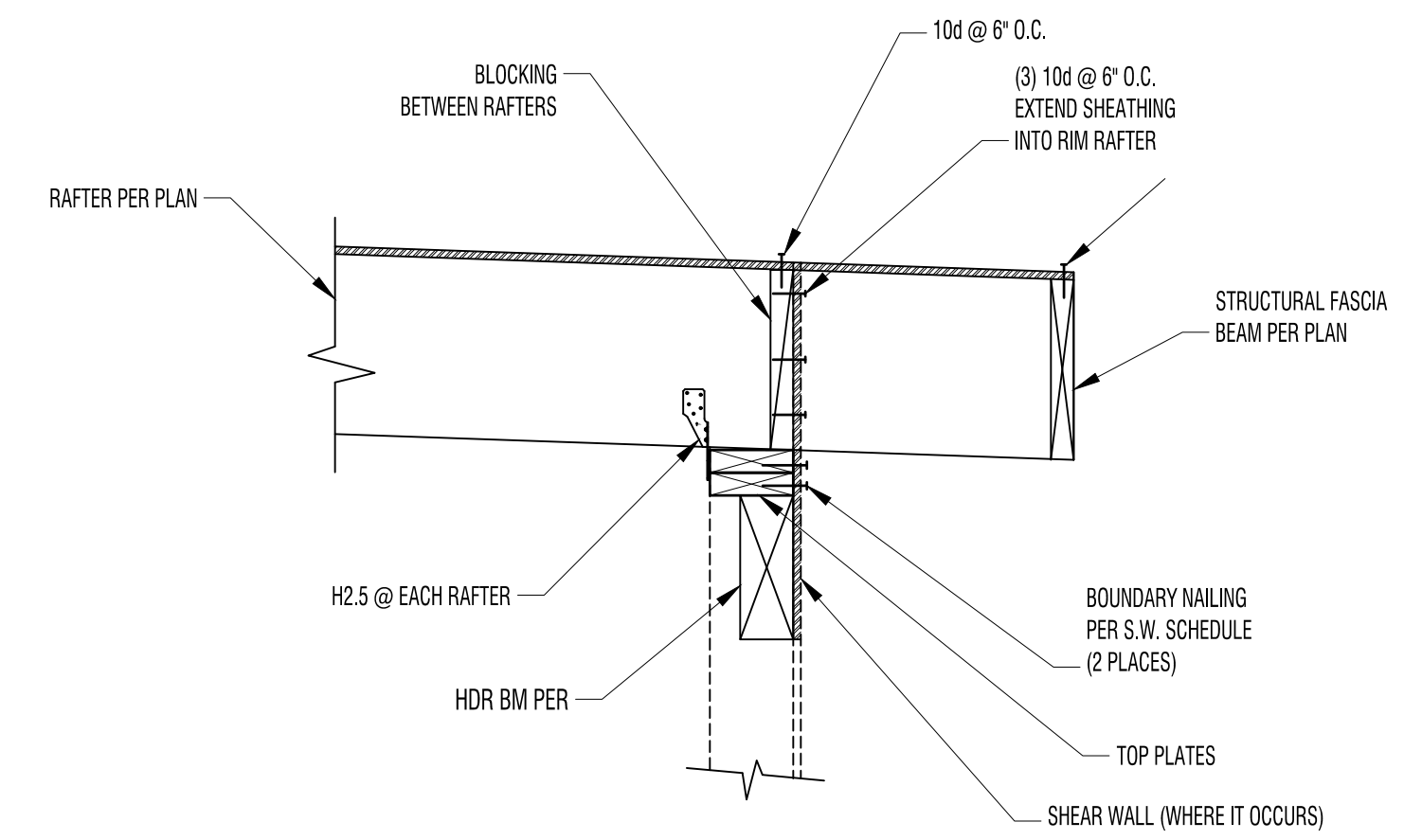
3 HOLD-DOWN OVER SUPPORTED BEAM



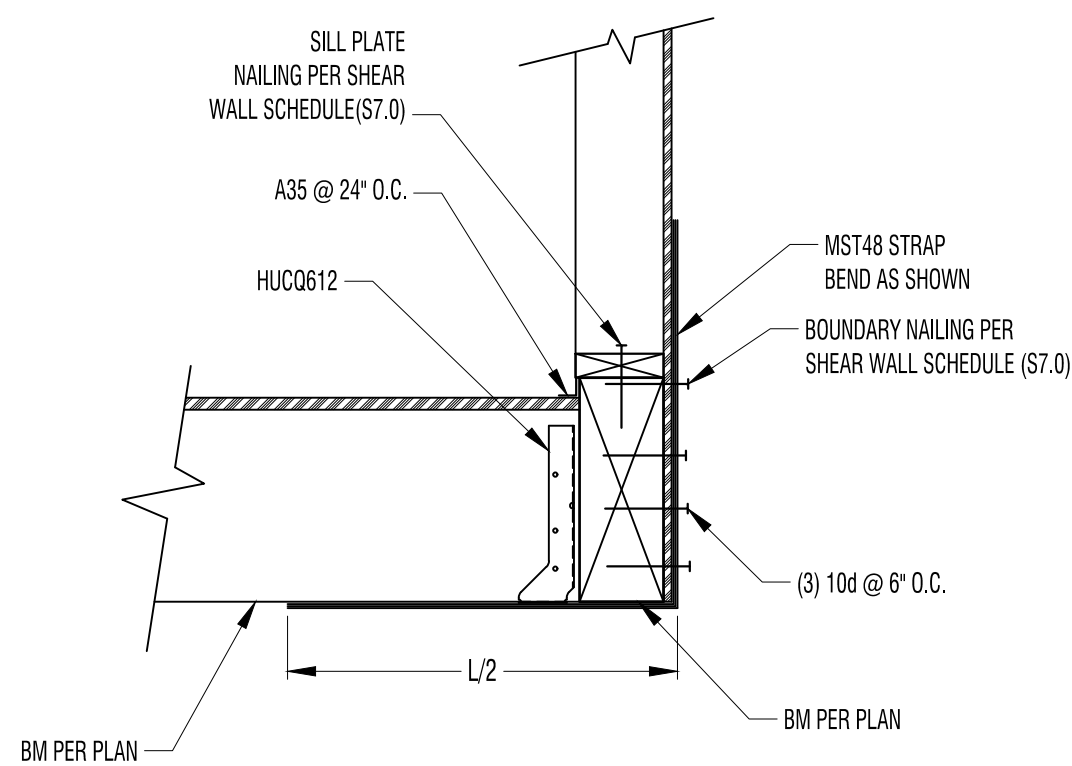
4 DIAPHRAGM CONNECTION TO BRACED WALL BELOW



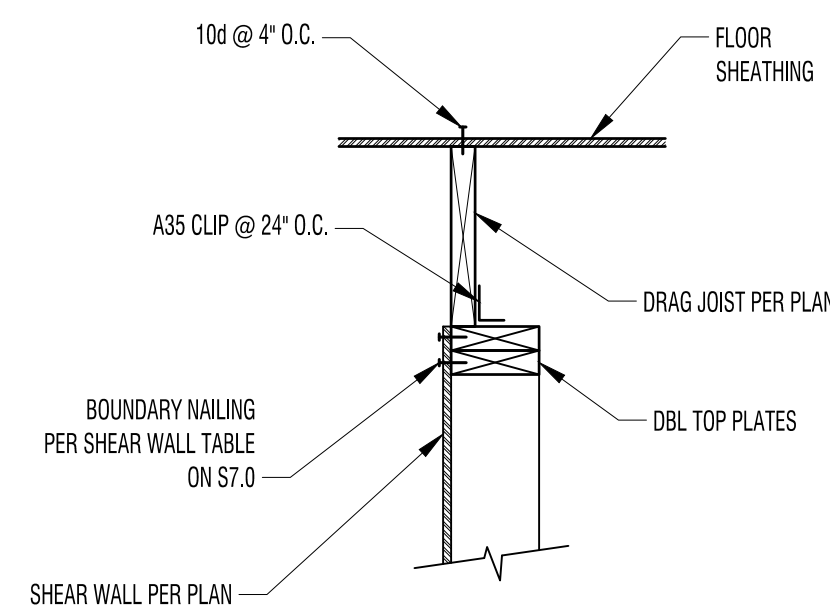
5 TYPICAL RAFTERS WITH EXTERIOR ROOF EXTENSION



6 TYPICAL RAFTERS WITH EXTERIOR ROOF EXTENSION

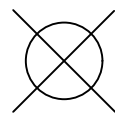
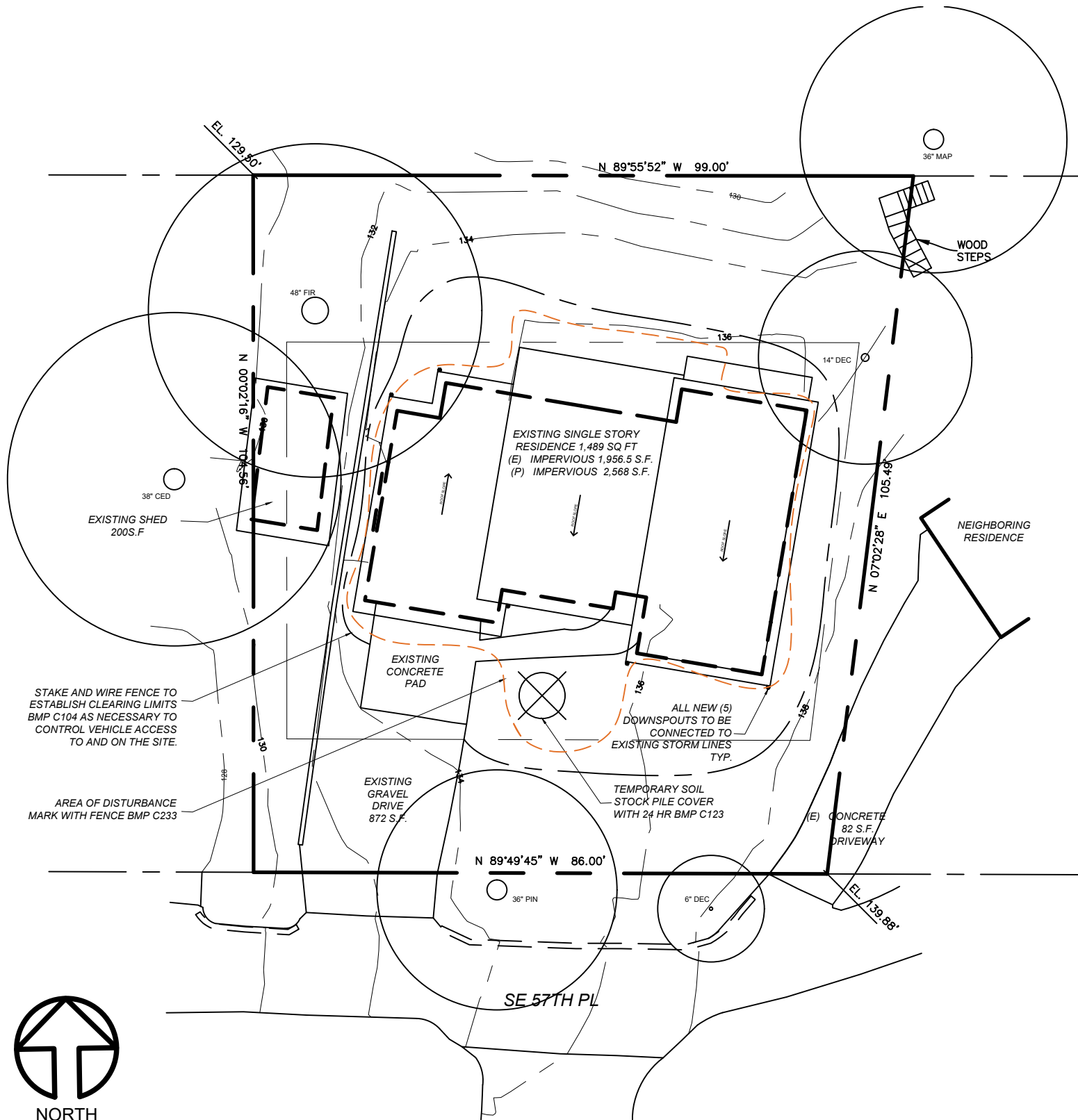


7 CORNER BEAM STRAP DETAIL (RAISED INTO WALL)



8 SHEAR WALL BELOW FLOOR DRAG BEAM (NO SCALE)

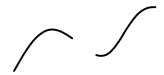




TEMPORARY STOCKPILE  
6 MIL PLASTIC SHEET  
COVER WITHIN 24  
HOURS. (BMP C123)

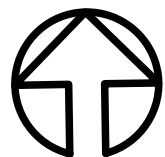


SILT FENCE AT EDGE OF  
ENTIRE AREA OF  
DISTURBANCE (BMP  
C233)



STAKE & WIRE FENCE  
(BMP C104)

NOTE: CONCRETE HANDLING  
(C151)



NORTH  
SCALE 1" = 50'-0"

## PROPOSED ADDITIONS & ALTERATIONS TO RUDD RESIDENCE (SWPPP)

**SITE ADDRESS:**  
8032 SE 57TH ST MERCER ISLAND, WA 98040

**LEGAL DESCRIPTION:**  
CHRISTIAN CHURCH CAMP ADD 11-12-13 & 21-22 & POR OF 14 & 19-20 WLY OF FOLG  
DESC LN BED AT PT ON S LN OF SD 20 DIST 4 FT WLY OF SE COR OF SD TH NELY TO PF  
ON N LN OF SE DIST 9 FT ELY OF NWLY COR OF 14; PLAY BLOCK: 8; PLAT BLOCK: POR

**OWNER/APPLICANT**  
JEFF RUDD  
16627 89TH AVE. NW  
STANWOOD, WA. 98292

**PARCEL 1574100620**  
LOT SIZE: 0.22 ACRES

**ZONING: R-8.4**

**DATE: 06/04/2024**