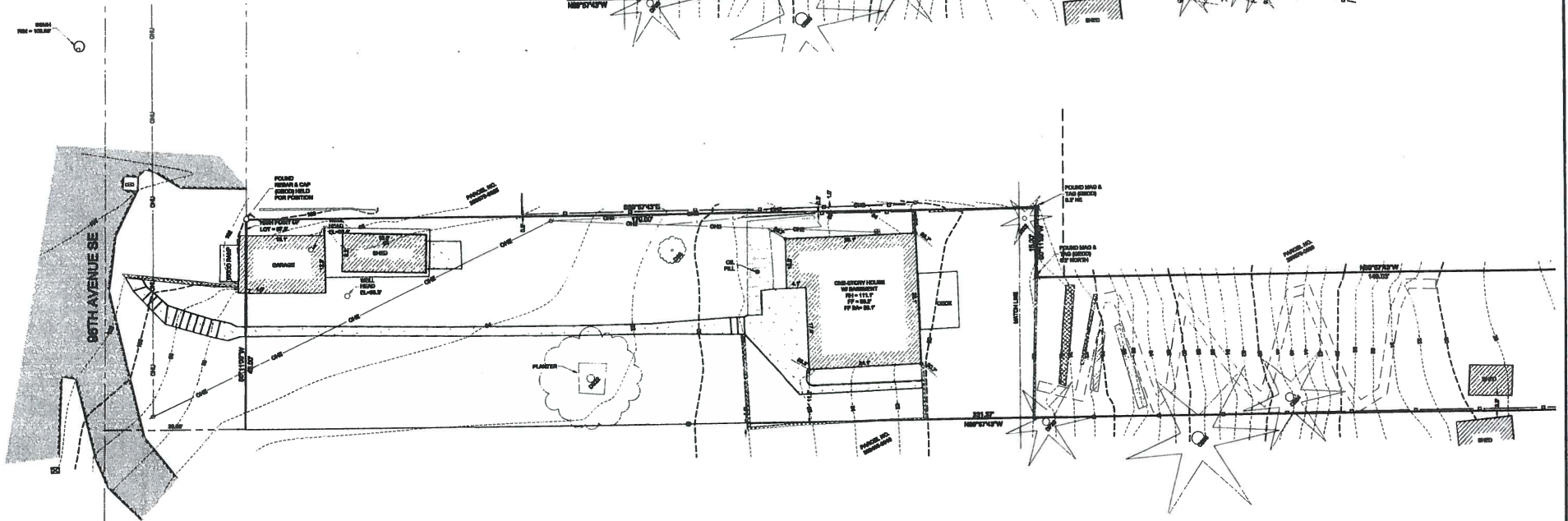
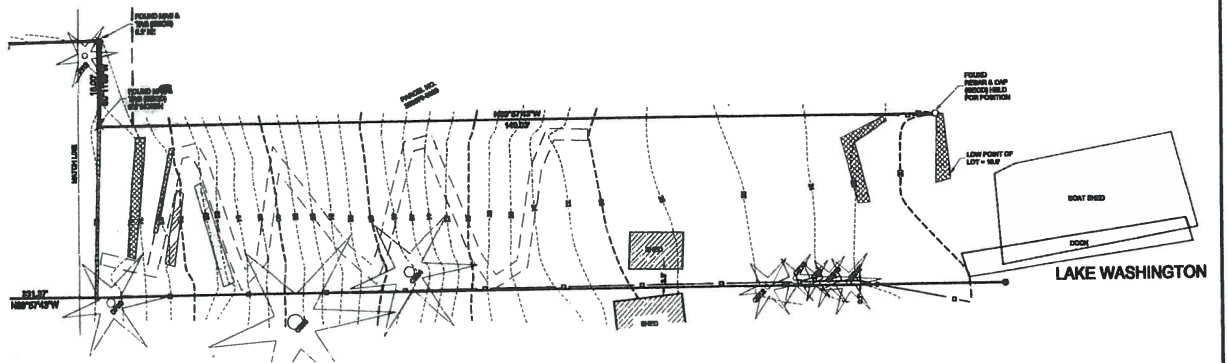




LEGEND

- ⊙ FOUND MANHOLE AS DISCOVERED
- FOUND MANHOLE AS DISCOVERED
- ⊕ TACKLE LIND FOUND
- ⊙ SET OF 8" x 8" FOUND BY YELLOW PLASTIC CAP
- ⊕ POWER METER
- ⊕ UTILITY POLE
- ⊕ GAS METER
- ⊕ SANITARY SEWER CLEANOUT
- ⊕ SANITARY SEWER MANHOLE
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ FIRE METER
- ⊕ SIGN
- ⊕ APPROXIMATE LOCATION SANITARY SEWER LINE
- ⊕ APPROXIMATE LOCATION STORM DRAIN LINE
- OVERHEAD POWER
- OVERHEAD UTILITIES
- CHANGELINE FENCE
- WOOD FENCE
- CONCRETE WALL
- ▨ ROCKERY
- ▨ ASPHALT SURFACE
- ▨ CONCRETE SURFACE
- ▨ GRAVEL SURFACE
- GRASS
- DECIDUOUS
- DOUGLASS FIR
- MAPLE
- PINE
- * INDICATES MULTI-TRUNK



GENERAL NOTES

1. THIS SURVEY WAS CONDUCTED IN PARTIAL VIEW OF A CURRENT TITLE REPORT. SANITARY AND GAS MANHOLE LOCATIONS MAY DIFFER ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
2. INFORMATION FOR THIS SURVEY WAS A RECORD FROM AN OLD TOOL. STATION LOCATIONS LISTED IN THIS SURVEY MAY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
3. THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE BY JIMMY LUO AND JIMMY SO AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
4. UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND ARE NOT PLANNED OR UNDER CONSTRUCTION. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
5. ALL MEASUREMENTS WERE LOCKED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

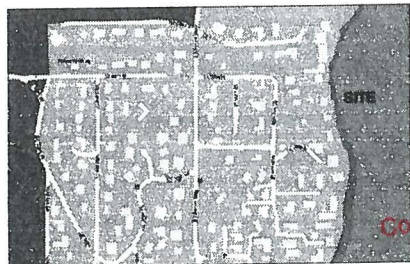
VERTICAL DATUM & CONTOUR INTERVAL

VERTICAL DATUM ON THIS SURVEY WERE DERIVED FROM INFORMATION PROVIDED BY THE SURVEY DATA PROVIDER.

POINT ID NO. 438
CONCRETE MONUMENT IN CORNER AT THE INTERSECTION OF AN OLD STREET AND BATH AVENUE SE.

VERTICAL DATUM: MEANS FEET ABOVE NGVD

3.0' CONTOUR INTERVAL - THE SHOWN VERTICAL ACCURACY IN SCALE TO BE THE CONTOUR INTERVAL ON PLUS MINUS 1/4" FOR THIS PROJECT.



VICINITY MAP
N.T.S.

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PROJECT INFORMATION

SURVEYOR: SITE SURVEYING, INC.
PROPERTY OWNER: XINMIN LUO & JIMMY SO
TAX PAYER'S NUMBER: MERCER ISLAND, WA 98040
PROJECT ADDRESS: 6827 96TH AVENUE SE
ZONING: R5-A
JURISDICTION: CITY OF MERCER ISLAND
PANEL NUMBER: 1/4, 1/4, SEC 30, TWP 24N, RNG 5E, W.M.

LEGAL DESCRIPTION

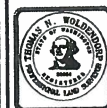
SECTION 30, TWP 24N, RNG 5E, W.M. IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

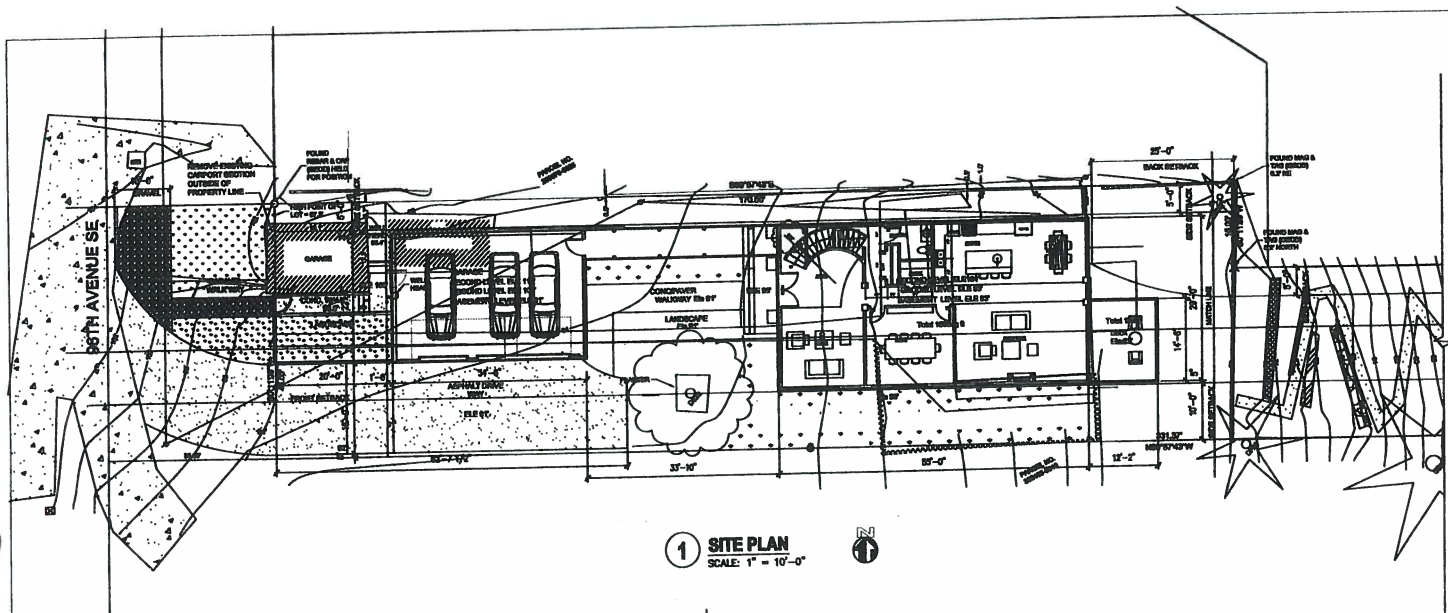
SE 1/4, NE 1/4, SEC 30, TWP 24N, RNG 5E, W.M.

PROJECT NO. 16-003
 DRAWN BY: EFJ
 CHECKED BY: TNW
 DATE: 2/2/16
 SHEET 1 OF 1

TOPOGRAPHIC SURVEY
 XINMIN LUO & JIMMY SO
 6827 96TH AVENUE SE
 MERCER ISLAND, WA 98040

DATE	REVISION	BY





1 SITE PLAN
SCALE: 1" = 10'-0"

LEGAL DISCRPTION

FLOODS LAKE SIDE TRS DIV #3 BEG SW COR TH N 45 FT TH E 170 FT TH S 15 FT TH E TO LAKE TH SLY TO SE COR TH W TO BEG & SH LGS ADJ

ZONING INFO

ZONING: R-8.4
FRONT YARD: MIN. 20 FT;
REAR YARD: MIN. 25 FT;
SIDE YARD: MIN. 5 FT, TOTAL 15 FT

MAX BUILDING HEIGHT: 30 FT(AVERAGE BUILDING ELEVATION)

GROSS FLOOR AREA: 45% OF NET LOT AREA
LOT AREA: 13,318 SF
GROSS FLOOR AREA: 5,993.1 SF(MAX)

IMPERVIOUS SURFACE LOT COVERAGE:
LOT SLOPE: 15%-30%, LOT COVERAGE 35%
LOT AREA: 13,318 SF
LOT COVERAGE: 4661.3 SF(MAX)

PARKING:
REQUIRED:
3 PARKING WITH 2 COVER PARKING
PROVIDED: 3 COVERED PARKING @ GARAGE

BUILDING SIZE

MAIN BUILDING:
BASEMENT: 1,595 SF;
BASEMENT ACUTAL COUNTED AREA: 382.8 SF
MAIN LEVEL: 1,595 SF
UPPER LEVEL: 1,338.2 SF
SIDEBUILDING:
MAIN LEVEL: 782 SF
UPPER LEVEL: 782 SF

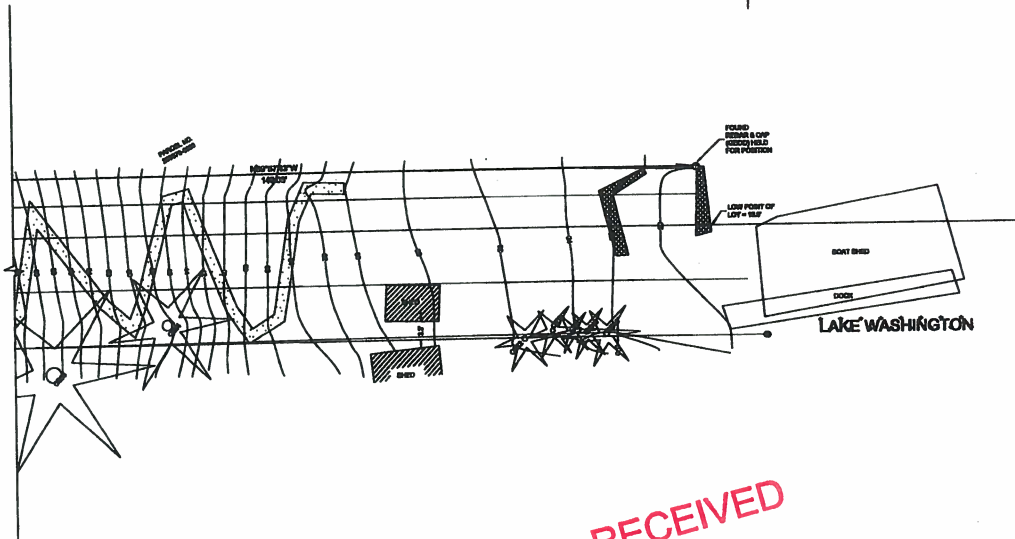
TOTAL CONDITIONED AREA: 6,093 SF
TOTAL COUNTED HOUSE SIZE: 5,086.7 SF

GARAGE: 782 SF
EXIST. CARPORT: 207 SQFT

LOT COVERAGE

MAIN STRUCTURE ROOF: 2,749 SF
IMPERVIOUS DECK, PATIO, WALKWAY: 669 SF
VEHICULAR DRIVEWAY, PARKING: 987 SF
EXISTING CARPORT BUILDING ROOF: 207 SF

TOTAL IMPERVIOUS: 4,612 SF
PROPOSED LOT COVERAGE: 34.6%



2 SITE PLAN-CONT.
SCALE: 1" = 10'-0"



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**Mercer Island
Luo's New House**

6827 92th Ave. SE
Mercer Island, WA
project no: 05088



Issue/Revision

NO. ISSUED FOR DATE

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Checked By: TG
Date: 6/2016

Sheet Title

**SITE PLAN &
CODE INFO**

Scale

Sheet Number

A 1.1

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 info@thearchitects.com
 www.thearchitects.com

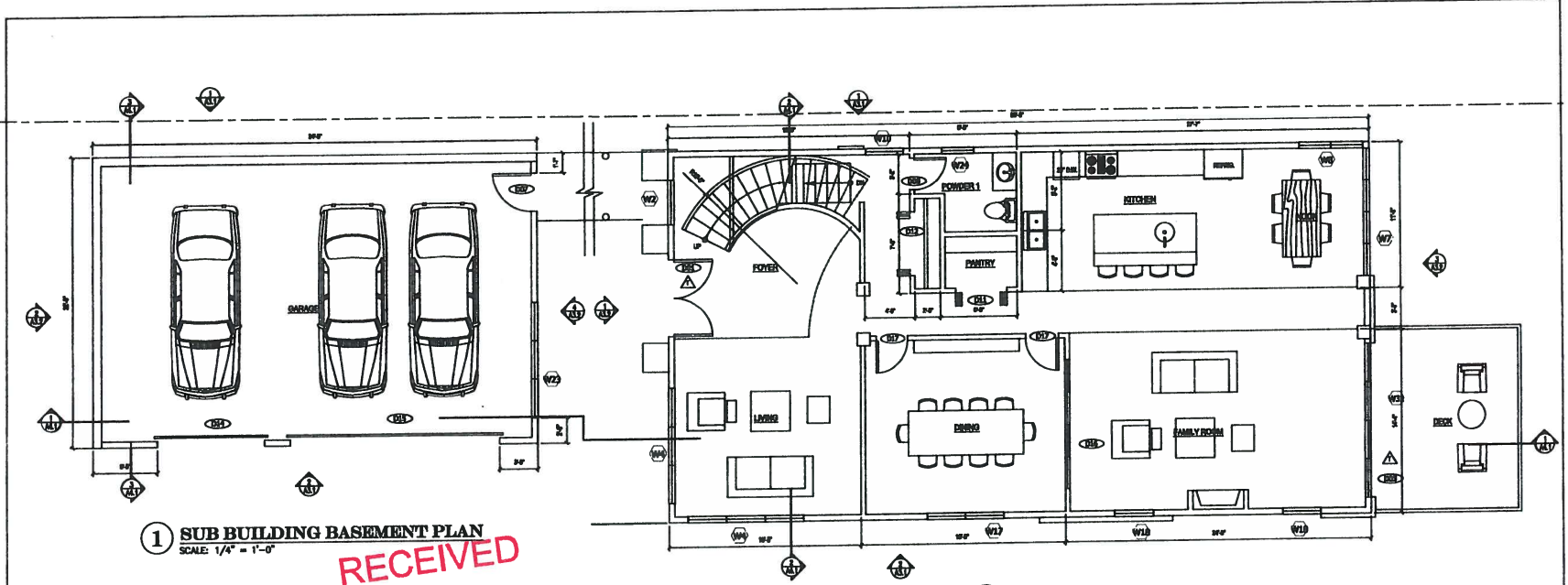
Mercer Island Luo's New House

6827 96th Ave., SE
 Mercer Island, WA
 project no: 000088



Issue/Revision:		
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TJ/WW	TS	6/2018
Sheet Title	FLOOR PLANS	
Scale		
Sheet Number		

A 2.1



1 SUB BUILDING BASEMENT PLAN
 SCALE: 1/4" = 1'-0"

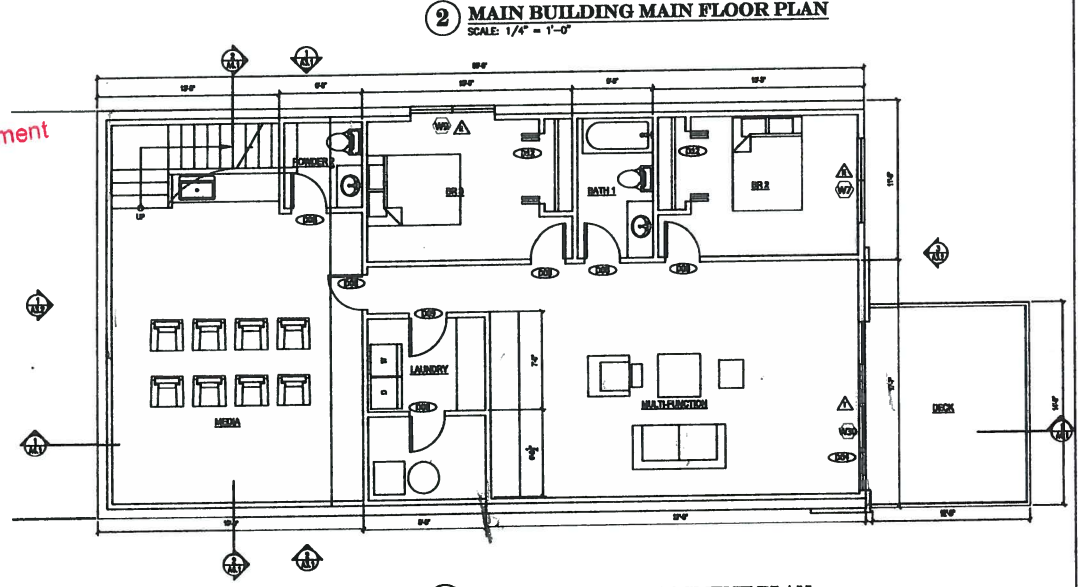
PLAN NOTES:

- USE CONVENTIONAL FRAMING AND SHEATHING U.L.D.
- ALL EXTERIOR WALLS TO BE 8" FRAMING U.L.D.
- ALL INTERIOR WALLS TO BE 8" FRAMING U.L.D.
- ALL DOOR JAMBS TO BE SET OFF ONE (1) TYP. U.L.D.
- ALL CHANGES ARE TO FACE OF FRAMING U.L.D.
- ALL CHIMNEY FRIMS ARE TO VENTED TO OUTSIDE.
- DOOR MAT, AT THIS FLOOR IS 4" TYP.
- ALL SMUDGE DETECTORS MUST BE PROVIDED OF PRIMARY POWER FROM BUILDING WIRE. DETECTOR IS TO BE INSTALLED IN EACH ROOM AND BE INTERCONNECTED.
- ESCAPE ROUTING WINDOW MUST HAVE A CLEAR OPENABLE AREA OF 6.7 SF, WITH MINIMUM NET CLEAR HEIGHT OF 80" AND WIDTH DIMENSION OF 20". THE NET HEIGHT MUST NOT BE MORE THAN 44" ABOVE THE FLOOR.
 ALL EXTERIOR COLLARS, HEARNS, AND JOISTS THAT ARE EXPOSED TO THE WEATHER MUST BE PRIME-TRUED.
- SHOWER COMPARTMENTS AND WALLS AROUND BATHROOMS WITH SHOWERS SHALL BE FINISHED WITH A SMOOTH NON-ABRASIVE SURFACE TO NOT LESS THAN 7'0" ABOVE THE DRAIN PER IRC SECTION 2503.2.3 AND 7'2" PER IRC SECTION 2502.2.
- WALLS-ADJACENT BACKING IS REQUIRED WHERE SHOWER & WALKER CLOSET WALLS WILL BE FINISHED WITH TILE OR WALL PANELS. THESE WALKER RESISTANT OPTION IS USED A WIPER SHOWER SHALL NOT BE USED.
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE DETAILLED BY EVERY SLEEPING ROOM BELOW THE 4TH STORY AND IN BASEMENTS.
 - OPENABLE W/D KEYS OR SPECIAL TOOLS
 - MIN. 5.7 SF NET CLR. OPENABLE AREA
 - MIN. 20" NET CLR. OPENABLE HEIGHT
 - MIN. 20" NET CLR. OPENABLE WIDTH
 - MIN. 44" FINISHED FLOOR HEIGHT
 - IRC SECTION 2503.3 AND 2503.4
- WHERE HOME MECHANICAL VENTILATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH IRC SECTION 903.1.1 THROUGH 903.1.7. EACH CHILLER UNIT OR UNIT ROOM SHALL BE EQUIPPED BY A VENTILATION SYSTEM COMPLIANT WITH INTERNATIONAL MECHANICAL CODE (IMC) 903.2.1.2. CONFERENCE IS ALSO REFERRED TO IN INTERNATIONAL MECHANICAL CODE BY THE INTERNATIONAL MECHANICAL CODE 903.2.1.2.
- STAIR LIGHTING: ALL STAIRWAYS SHALL BE PROVIDED WITH LIGHT SOURCES. LIGHT ACTIVATION CONTROLS SHALL BE ACCESSIBLE AT THE TOP AND BOTTOM OF EXTERIOR STAIRWAYS AND WITHIN CHILLER UNIT FOR EXTERIOR STAIRS. IRC SECTION 903.2.1.2 & 903.2.1.3.
- Where required, guards shall be designed and installed to resist a concentrated load of 200 pounds applied in any direction at any point on the handrail or top rail and bracket that hold through the support to the structure in accordance with ASCE 7-10. The connection of the guardrail/support post shall be capable of resisting all resulting loads.

ENERGY NOTES:

- ALL EXTERIOR NEW WALLS SHALL HAVE R19 BATT INSULATION
- NEW ROOF SYSTEMS SHALL HAVE R30 INSULATION
- ALL NEW WINDOW UNITS SHALL HAVE U-FACTOR 0.30 OR BETTER
- NEW ALUM. OR VINYL WINDOW UNITS SHALL HAVE U-FACTOR 0.30 OR BETTER

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2 MAIN BUILDING MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

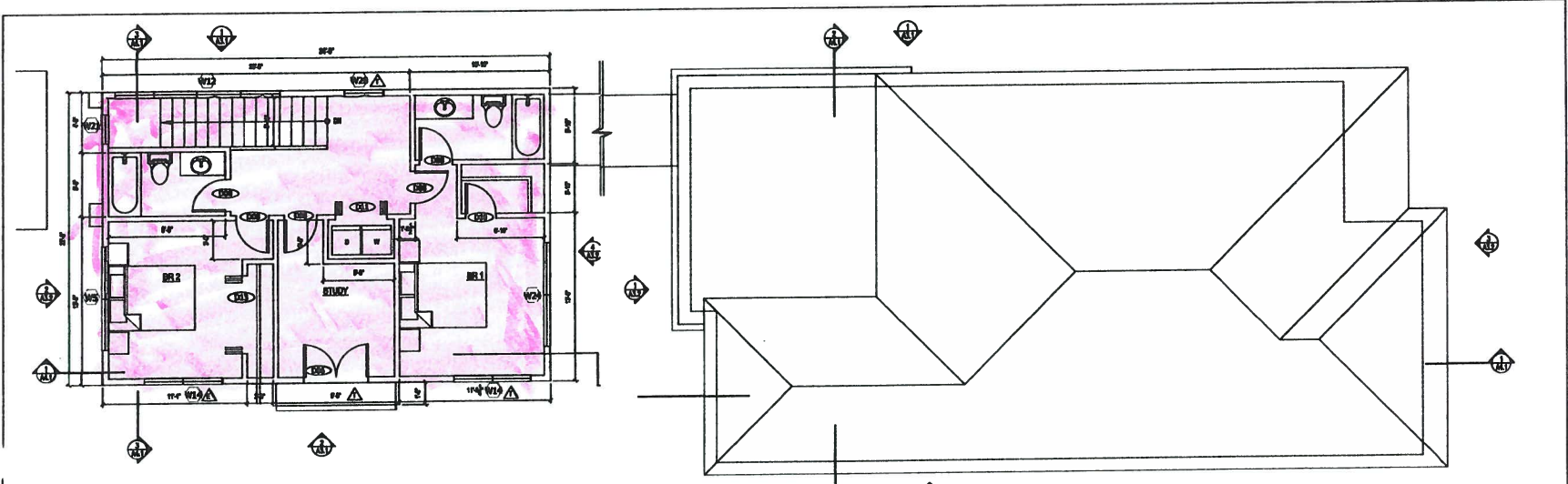
3 MAIN BUILDING BASEMENT PLAN
 SCALE: 1/4" = 1'-0"



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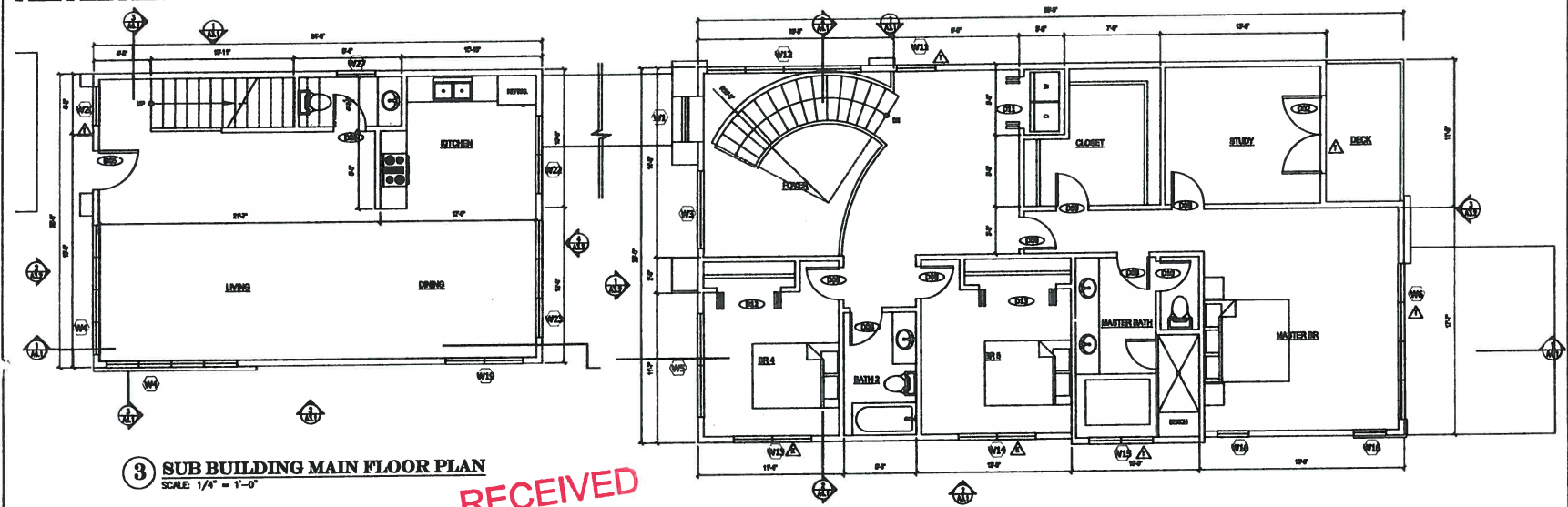
**Mercer Island
 Luo's New
 House**

6827 95th Ave. SE
 Mercer Island, WA
 project no. 08088



1 SUB BUILDING UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

2 MAIN BUILDING ROOF PLAN
 SCALE: 1/4" = 1'-0"



3 SUB BUILDING MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

4 MAIN BUILDING UPPER PLAN
 SCALE: 1/4" = 1'-0"

- ENERGY NOTES:**
1. ALL EXTENSION NEW WALLS SHALL HAVE R10 BATT INSULATION
 2. NEW ROOF CEILING SHALL HAVE R10 BATT INSULATION
 3. ALL NEW WINDOWS SHOULD HAVE U FACTOR 0.30 OR BETTER.
 4. NEW FLOOR OR CEILING FOR ADDITION SHALL HAVE R10 BATT INSULATION.

PLAN NOTES:
 SEE A.1.1 FOR ALL NOTES.

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Drawn By: TQ/HW Checked By: TD Date: 6/2018

Sheet Title: **FLOOR PLANS**

Scale: _____
 Sheet Number: _____

A 2.2