

# MERCERTECH. INTERNATIONAL, LLC

## 4320 ISLAND CREST WAY - LONG PLAT

### CITY OF MERCER ISLAND - KING COUNTY, WA

PROPOSED	EXISTING	DESCRIPTION
SS	-SS-	SEWER MAIN/SERVICE LINE
⊙	⊙	SEWER MH
W	W	WATER MAIN/SERVICE LINE
⊞	⊞	WATER METER
	⊞	FIRE STATION
	X	WATER VALVE
	SD SD	SD LINE
⊙	⊙	SD CATCH BASIN/MH
□		CATCH BASIN PROTECTION
	OH PWR	OVERHEAD POWER LINE
	⊙	POWER POLE & GUY ANCHOR
		RIGHT OF WAY
		PROPERTY LINE
		EASEMENT LINE
		BUILDING SETBACK LINE
		STREAM CENTERLINE
		WETLAND DELINEATION
	A-25	WETLAND FLAG
		WETLAND BUFFER
		EDGE OF ASPHALT
		STRUCTURE
		GRAVEL SURFACE
	DP-1	WETLAND DATA POINT
	TP-1	GEOTECHNICAL TEST PIT
	⊙	TEMPORARY SURVEY BENCHMARK (TBM)
		CONTOUR
280	286	FINISHED FLOOR ELEVATION
FFE=286.5±		WETLAND REDUCTION
		WETLAND ADDITION
		EXISTING TREES
⊗		EXISTING TREE TO BE REMOVED
⊗		EXISTING TREE TO BE REMOVED WITH PLAT IMPROVEMENTS
⊙		EXISTING TREE TO REMAIN, TREE PROTECTION FENCING SHOWN
////		EXISTING STRUCTURE/FEATURE TO BE DEMOLISHED
XXXXX		TEMPORARY SILT FENCE
		STRAW WATTLE

### SHEET INDEX

- GENERAL NOTES, LEGEND, AREA MAP, VICINITY MAP & SHEET INDEX
- EXISTING SITE PLAN
- TESC, DEMOLITION, TREE REMOVAL, CLEARING & GRADING
- TESC, DEMOLITION, TREE REMOVAL, CLEARING & GRADING
- TESC, DEMOLITION, TREE REMOVAL, CLEARING, GRADING, WETLAND, GENERAL AND CONSTRUCTION NOTES.
- STORM WATER & ROAD PLAN
- STORM WATER & ROAD PROFILE
- DETAILS
- PLAT DRAWINGS
- PLAT DRAWINGS
- PLAT DRAWINGS

### PROPERTY INFORMATION

PARCEL #: 1824069031  
 PARCEL AREA: 72,900 ± SF (1.67 ACRES)

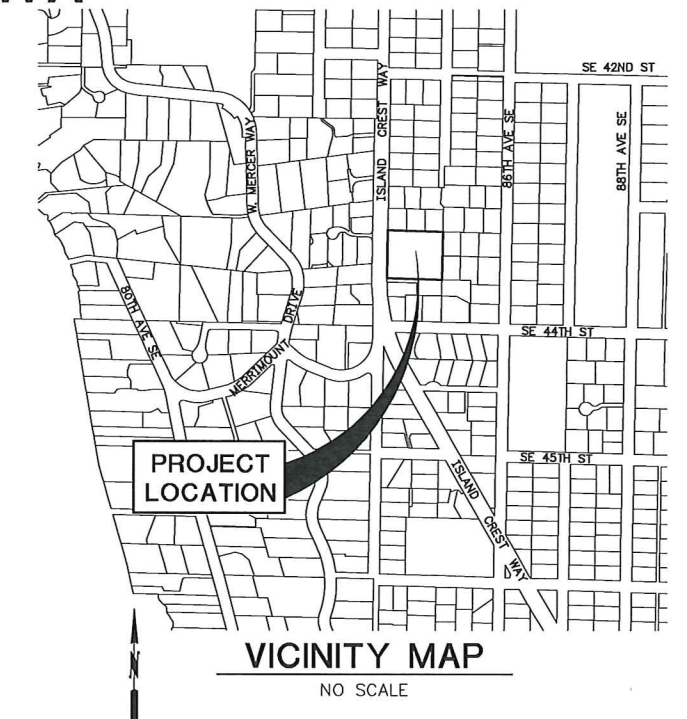
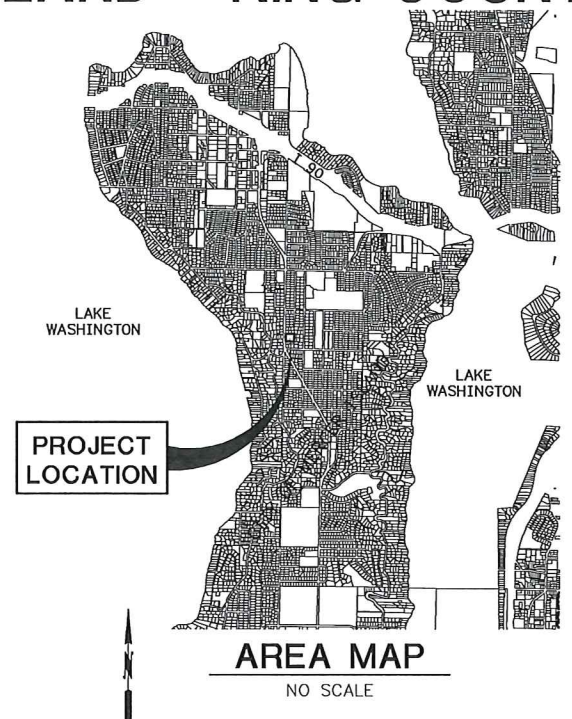
### SURVEY INFORMATION

HORIZONTAL DATUM: NAD 83/2011, WASHINGTON COORDINATE SYSTEM, NORTH ZONE, BASED ON GPS MEASUREMENTS USING THE WASHINGTON STATE REFERENCE NETWORK.  
 VERTICAL DATUM: NAVD 88, BASED ON GPS MEASUREMENTS USING THE WASHINGTON STATE REFERENCE NETWORK.

BASIS OF BEARING: NORTH 01°02'57" EAST, BETWEEN THE NORTHWEST CORNER OF THE WEST QUARTER CORNER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN.  
 64.3 FEET FROM PROPERTY LINE TO FIRE HYDRANT.

### LEGAL DESCRIPTION

THE NORTH 250 FEET OF THE SOUTH 500 FEET OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON, EXCEPT FOR THE WEST 40 FEET.



- ### GENERAL NOTES
- THE LOCATION OF THE EXISTING UTILITIES SHOWN ON THE DRAWING ARE APPROXIMATE. LOCATION AND PROTECTION OF UNDERGROUND UTILITIES SHALL BE IN ACCORDANCE WITH CHAPTER 19.122 RCW. CALL 1-800-424-5555 AT LEAST TWO BUSINESS DAYS BEFORE ANY EXCAVATION.
  - CAUTION - EXTREME HAZARD - THE CONTRACTOR IS CAUTIONED THAT OVERHEAD ELECTRICAL SERVICE LINES ARE GENERALLY NOT SHOWN ON THE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXTENT OF ANY HAZARD CREATED BY OVERHEAD ELECTRICAL POWER AND SHALL FOLLOW ANY APPLICABLE PROCEDURES AS REQUIRED BY LAW.
  - ALL SOILS, ORGANIC MATERIAL AND ASPHALT PAVING THAT IS EXCAVATED IS TO BE DISPOSED OF OFFSITE.
  - THE CONTRACTOR SHALL ARRANGE AND ATTEND A PRECONSTRUCTION CONFERENCE PRIOR TO THE START OF CONSTRUCTION AND SHALL SUBMIT TESC PLAN AT PRE-CONSTRUCTION CONFERENCE.
  - THESE PLANS REFER ONLY TO WORK OUTSIDE THE WETLAND OR WETLAND BUFFER, EXCEPTING THE STORM DRAIN OUTFLOW. FOR INFORMATION REGARDING WORK PERFORMED INSIDE THE WETLAND OR WETLAND BUFFER, SEE THE WATERSHED COMPANY MITIGATION AND RESTORATION PLANS.
  - REFER TO ATTACHED DRAINAGE REPORT FOR STORMWATER DESIGN INFORMATION
  - SEE CITY PLAT FILE NO. SUBXX-XXX.
  - THE CITY ENGINEER, CODE OFFICIAL, OR THEIR AUTHORIZED DESIGNEE SHALL MONITOR CONSTRUCTION AS DEEMED APPROPRIATE AND WHEN PERMIT INSPECTIONS ARE REQUIRED. AT ANY TIME, ADDITIONAL DESIGN DRAWINGS AND/OR EVALUATION AND MONITORING BY A SOILS ENGINEER MAY BE REQUIRED TO DETAIL OR PROVIDE FOR CORRECTIONS TO THE WORK. EVALUATION AND/OR MONITORING BY THE CIVIL ENGINEER IS REQUIRED FOR THIS PROJECT WITH COPIES OF WRITTEN REPORTS PROVIDED TO THE CITY. ALL COSTS ASSOCIATED WITH THE INSTALLATION OF IMPROVEMENTS, (INCLUDING THE MONITORING AND EVALUATION OF CONSTRUCTION ACTIVITY BY THE CITY EMPLOYEES AND CONSULTANTS, AND THE COMPLETION OF ANY REQUIRED ADDITIONS OR CORRECTION TO THE DESIGN OR INSTALLATION OF THE IMPROVEMENTS) SHALL BE BORNE BY THE DEVELOPER, PROPERTY OWNER OR HIS ASSIGNEE.
  - ALL DAMAGE TO ADJACENT PROPERTIES OR PUBLIC RIGHTS-OF-WAY RESULTING FROM CONSTRUCTION (E.G., SILTATION, MUD, WATER, RUNOFF, ROADWAY DAMAGE CAUSED BY CONSTRUCTION EQUIPMENT OR HAULING) SHALL BE EXPEDITIOUSLY MITIGATED AND REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE CITY. FAILURE TO MITIGATE AND REPAIR SAID DAMAGE, OR TO COMPLY WITH THE APPROVED CONSTRUCTION PLANS, THE PERMITS ISSUED BY CITY, OR THE CITY REQUIREMENT FOR CORRECTIVE ACTION SHALL BE CAUSE FOR THE ISSUANCE OF A "STOP WORK" ORDER, FORECLOSURE ON THE PLAT BOND/SECURITY, AND/OR OTHER MEASURES DEEMED APPROPRIATE BY THE CITY ENGINEER OR CODE OFFICIAL TO ENSURE QUALITY CONSTRUCTION AND PROTECT THE PUBLIC SAFETY.
  - ALL UTILITIES SERVING THE PLAT SHALL BE UNDERGROUND AND SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MERCER ISLAND ORDINANCES AND CONSTRUCTION STANDARDS.
  - CONSTRUCTION OF ALL IMPROVEMENTS FOR ACCESS, UTILITIES, STORM DRAINAGE, AND SITE WORK SHALL COMPLY WITH CURRENT CITY ORDINANCES AND THE REQUIREMENTS OF THE CITY ENGINEER.
  - A COPY OF THE CURRENT CITY OF MERCER ISLAND CONSTRUCTION STANDARDS SHALL BE MAINTAINED ON SITE AT ALL TIMES.
  - WORK IN PUBLIC RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.

### OWNER, SITE, CONSULTANT & PURVEYOR INFORMATION

<b>OWNER AND APPLICANT</b> MERCERTECH INTERNATIONAL, LLC CHIU, ALAN S 6955 SE 33RD ST MERCER ISLAND, WA 98040	<b>SUPPLEMENTAL AND TREE SURVEY</b> JOHN CHRISTENSEN, PLS CHS ENGINEERS, LLC 12507 BEL-RED ROAD, SUITE 101 BELLEVUE, WA 98005 425-637-3693	<b>ARBORIST AND WETLAND</b> THE WATERSHED COMPANY 750 SIXTH STREET SOUTH KIRKLAND, WA 98033 425-822-5242	<b>ELECTRICITY AND GAS</b> PUGET SOUND ENERGY BOT-01H P.O. BOX 91269 BELLEVUE, WA 98009 1-888-225-5773
<b>TOPOGRAPHIC AND BOUNDARY SURVEY</b> PROFESSIONAL LAND SURVEYORS INC. 1595 NW GILMAN BLVD., #15 ISSAQUAH, WA 98027 425-313-9378	<b>ENGINEER</b> ELI ZEHNER, PE CHS ENGINEERS, LLC 12507 BEL-RED ROAD, SUITE 101 BELLEVUE, WA 98005 425-637-3693	<b>WATER AND SEWER</b> MERCER ISLAND PUBLIC WORKS 9601 SE 36TH STREET MERCER ISLAND, WA 98040 206-275-7608	<b>TELECOMMUNICATION</b> - - -

Drawn: SS Design: BG Check: EZ Approved: EZ	No. 10/17 Date 10/17 By BG Ckd EZ PRELIMINARY PLAT APPLICATION Revision
<b>CHS ENGINEERS</b> 12507 Bel-Red Rd., Suite 101, Bellevue, WA 98005 www.chsengineers.com Ph: 425-637-3693	
4320 ISLAND CREST WAY - LONG PLAT GENERAL NOTES, LEGEND, AREA MAP, VICINITY MAP & SHEET INDEX	
Sheet 1 of - Job No. 691715	

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A PORTION OF SW 1/4 OF THE NW 1/4 SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., KING COUNTY, WASHINGTON



**EXISTING SITE PLAN NOTES**

1. CHICAGO TITLE SUBDIVISION GUARANTEE #0103029-06, DATED AUGUST 17, 2017, DOCUMENTS RECORDING NUMBER 5321386, WHICH ALLOWS THE CITY OF MERCER ISLAND TO MAKE CUTS & FILLS AT ISLAND CREST WAY VIA QUICK CLAIM DEED AND RECORDING NUMBER 2017011790004, WHICH IS A RECORD OF SURVEY. NO OTHER PROPERTY ENCUMBRANCES ARE DOCUMENTED.
2. TOPOGRAPHIC SURVEY PROVIDED BY PLS, INC., DATED DECEMBER 15, 2016, SUPPLEMENTAL TOPOGRAPHIC AND TREE SURVEY PROVIDED BY CHS ENGINEERS, LLC, DATED JUNE 21, 2017.
3. REFER TO THE ARBORIST PERIMETER AND CONSTRUCTION RECOMMENDATIONS REPORT AND ACCOMPANYING TREE INVENTORY, PREPARED BY THE WATERSHED COMPANY, DATED MAY 26, 2017.
4. REFER TO THE WETLAND AND WATERCOURSES DELINEATION REPORT, PREPARED BY THE WATERSHED COMPANY, DATED MAY 31, 2017, FOR DEFINITION OF EX. WETLAND AND BUFFER.
5. GEOTECHNICAL ENGINEERING STUDY PROVIDED BY EARTH SOLUTIONS NW, LLC, DATED JULY 12, 2017.

**SURVEY INFORMATION**

HORIZONTAL DATUM: NAD 83/2011, WASHINGTON COORDINATE SYSTEM, NORTH ZONE, BASED ON GPS MEASUREMENTS USING THE WASHINGTON STATE REFERENCE NETWORK.

VERTICAL DATUM: NAVD 88, BASED ON GPS MEASUREMENTS USING THE WASHINGTON STATE REFERENCE NETWORK.

BASIS OF BEARING: NORTH 01°02'57" EAST, BETWEEN THE NORTHWEST CORNER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN.

**EXISTING SITE PLAN**



DATUM: NAVD 88



811 Know what's below. Call before you dig.

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10/31/17

No.	Date	By	Rev
1	10/17/17	BG	EZ
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Designed: BG  
Checked: EZ  
Approved: EZ

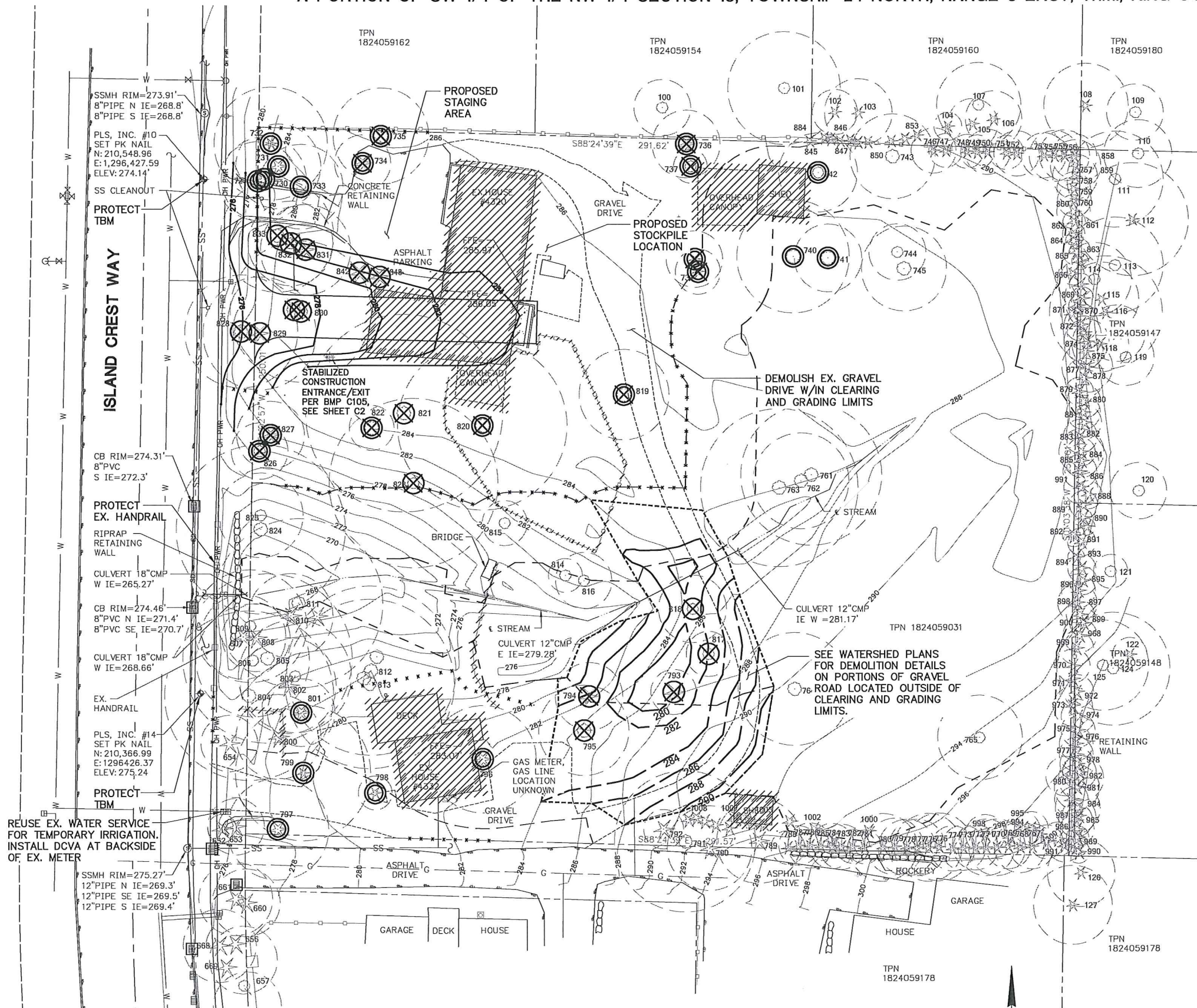
**CHS ENGINEERS**  
12507 Bel-Red Rd., Suite 101, Bellevue, WA 98005  
www.chsengineers.com Ph: 425-637-3693

4320 ISLAND CREST WAY - LONG PLAT  
EXISTING SITE PLAN  
Sheet 2 Of -  
Job No. 691715 1"=20'

USER: Scott\_Scherber\in\plotting DATE: 10/31/2017 FILE LOCATION: K:\69-Development\2017\691715 - Mercer\_Island\_SP\_4320\_ISLAND\_CREST\_WAY\_LONG\_PLAT.dwg



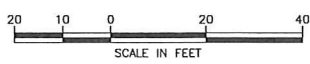
A PORTION OF SW 1/4 OF THE NW 1/4 SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., KING COUNTY, WASHINGTON



**NOTE:**

SEE SHEET 4 FOR TESC, DEMOLITION, TREE REMOVAL, CLEARING, GRADING, WETLAND, GENERAL AND CONSTRUCTION NOTES.

**TESC, DEMOLITION, TREE REMOVAL, CLEARING & GRADING**



DATUM: NAVD 88

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No.	Date	By	Kind	Revision
1	10/17	BG	EZ	PRELIMINARY PLAT APPLICATION

Drawn: SS  
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4320 ISLAND CREST WAY - LONG PLAT  
TESC, DEMOLITION, TREE REMOVAL, CLEARING & GRADING

Sheet **3** Of -  
Job No. 691715 1"=20'

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**TESC NOTES**

1. THE APPROVED CONSTRUCTION SEQUENCE SHALL BE AS FOLLOWS:
2. CONDUCT PRE-CONSTRUCTION MEETING.
3. FLAG OR FENCE CLEARING LIMITS.
4. POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.
5. INSTALL CATCH BASIN PROTECTION IF REQUIRED.
6. UTILIZE EXISTING DRIVEWAY FOR CONSTRUCTION ENTRANCE.
7. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
8. INSTALL TREE PROTECTION.
9. CONSTRUCT SEDIMENT TRAPS.
10. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
11. DEMO EXISTING BUILDINGS.
12. GRADE AND INSTALL NEW CONSTRUCTION ENTRANCE.
13. GRADE AND STABILIZE CONSTRUCTION ROADS.
14. DEMO EXISTING DRIVEWAY.
15. MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
16. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS.
17. COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.
18. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.
19. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
20. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.
21. STOCKPILE AT EXISTING GRAVEL AREAS.
22. CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL STORM DRAIN CATCH BASINS/INLETS DOWNSLOPE AND WITHIN 500 FEET OF THE CONSTRUCTION AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY THE MANUFACTURER FOR THE USE AT CONSTRUCTION SITES AND APPROVED BY THE CITY INSPECTOR. CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUENTLY, ESPECIALLY AFTER STRONG STORM EVENTS. IF THE FILTER BECOMES CLOGGED IT SHOULD BE REPLACED.
23. ALL "LAND DISTURBING ACTIVITY" IS SUBJECT TO PROVISIONS OF MERCER ISLAND ORDINANCE 95C-118 "STORM WATER MANAGEMENT." SPECIFIC ITEMS TO BE FOLLOWED AT YOUR SITE:
24. PROTECT ADJACENT PROPERTIES FROM ANY INCREASED RUNOFF OR SEDIMENTATION DUE TO THE CONSTRUCTION PROJECT THROUGH THE USE OF APPROPRIATE "BEST MANAGEMENT PRACTICES" (BMP). EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT TRAPS, SEDIMENT PONDS, FILTER FABRIC FENCES, VEGETATIVE BUFFER STRIPS OR BIO-ENGINEERED SWALES.
25. CONSTRUCTION ACCESS SHOULD BE LIMITED TO ONE ROUTE. STABILIZE ENTRANCE WITH QUARRY SPALLS TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE STORM DRAINS.

**TESC NOTES CONTINUED**

26. PREVENT SEDIMENT, CONSTRUCTION DEBRIS, PAINTS, SOLVENTS, ETC., OR ANY OTHER TYPES OF POLLUTION FROM ENTERING PUBLIC STORM DRAINS. KEEP ALL POLLUTION ON YOUR SITE.
27. ALL EXPOSED SOILS SHALL REMAIN DENUDED FOR NO LONGER THAN SEVEN (7) DAYS AND SHALL BE STABILIZED WITH MULCH, HAY, OR THE APPROPRIATE GROUND COVER. ALL EXPOSED SOILS SHALL BE COVERED IMMEDIATELY DURING ANY RAIN EVENT.
28. INSTALLATION OF CONCRETE DRIVEWAYS, TREES, SHRUBS, IRRIGATION, BOULDERS, BERMS, WALLS, GATES, AND OTHER IMPROVEMENTS ARE NOT ALLOWED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL, AND AN ENCROACHMENT AGREEMENT AND RIGHT-OF-WAY PERMIT FROM THE SENIOR DEVELOPMENT ENGINEER.
28. OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAINAGE RUNOFF FROM EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIBLE MANNER. CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, DRY WELLS, LEVEL SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY BE NECESSARY TO MINIMIZE DRAINAGE IMPACT TO NEIGHBORING PROPERTIES. CONSTRUCTION OF MINIMUM DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON THIS PLAN DOES NOT IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTREAM DRAINAGE.
29. POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, STORM, AND SEWER SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
30. REMEMBER, EROSION CONTROL IS YOUR FIRST INSPECTION.
31. ROOF DRAINS MUST BE CONNECTED TO THE STORM DRAIN SYSTEM AND INSPECTED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY BACKFILLING OF PIPE.
32. SILT FENCE: CLEAN AND PROVIDE REGULAR MAINTENANCE OF THE SILT FENCE. THE FENCE IS TO REMAIN VERTICAL AND IS TO FUNCTION PROPERLY THROUGHOUT THE TERM OF THE PROJECT.

**DEMOLITION NOTES**

1. REFER TO PSCAA REGARDING BUILDING DEMOLITION AND ASBESTOS AND LEAD HAZARDS.
2. CAP AND ABANDON EXISTING SEWER SERVICES.
3. SITE ACCESS FOR BUILDING DEMO USING EXISTING DRIVEWAYS.
4. COORDINATE WITH PSE TO SHUT DOWN AND DEMO EXISTING GAS SERVICE.

**TREE REMOVAL NOTES**

1. ALL TREES NOT TAGGED FOR REMOVAL ARE TO REMAIN AND BE PROTECTED VIA TREE PROTECTION FENCING.
2. SEE ARBORIST'S REPORT FOR TREE SIZES AND SPECIES.
3. SEE TREE PROTECTION DETAIL C ON SHEET 8.
4. SEE GENERAL NOTES BELOW.

**CLEARING & GRADING NOTES**

1. CLEARING AND GRADING ACTIVITIES WILL AFFECT AN AREA GREATER THAN 1 ACRE. A D.O.E. GENERAL STORM WATER PERMIT IS REQUIRED. DEFINITION OF PROPOSED WETLAND BOUNDARY AND BUFFER AS WELL AS TREE REMOVAL, GRADING AND TESC WITHIN THE BUFFER AND WETLAND ARE PRESENTED IN THE WATERSHED CO.'S PLAN SET.

**WETLAND NOTES**

1. ---

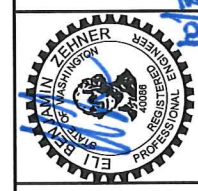
**GENERAL NOTES**

1. MITIGATED WETLAND & STREAM BOUNDARY & BUFFERS SHOWN. REFER TO THE WATERSHED CO. MITIGATION PLAN, PREPARED ON 10/17/17.

**CONSTRUCTION NOTES**

1. ANY CHANGES TO APPROVED PLANS REQUIRES CITY APPROVAL THROUGH A REVISION.
2. APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND UTILITIES CAUSED FROM THIS CONSTRUCTION.
3. DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL MUST BE IMPORTED.

No.	Date	By	Checked



Drawn: SS  
 Designed: BG  
 Checked: EZ  
 Approved: EZ

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4320 ISLAND CREST WAY - LONG PLAT  
 TESC, DEMOLITION, TREE REMOVAL,  
 CLEARING & GRADING - NOTES

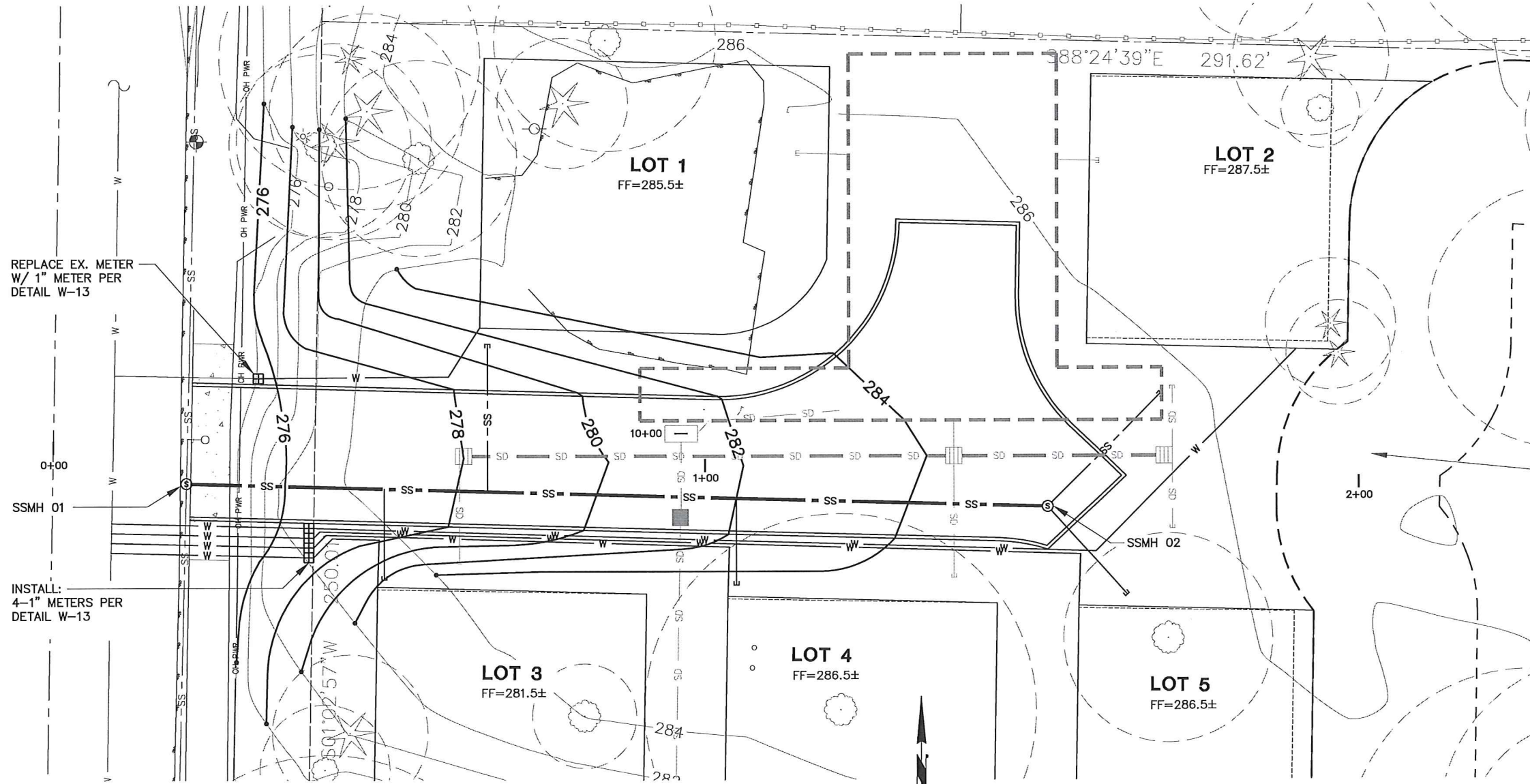
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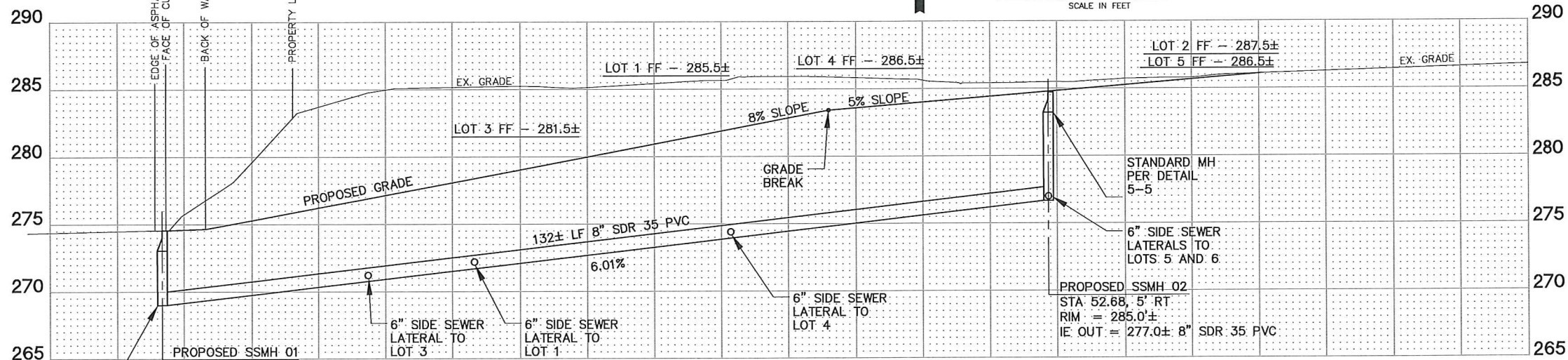
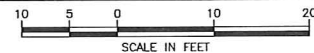
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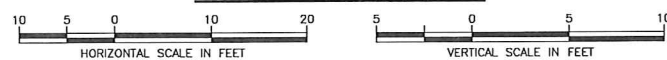
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WATER & SEWER PLAN



SEWER PROFILE



ORIENT MH CONE  
SO FRAME AND  
COVER ARE IN  
SIDEWALK

PROPOSED SSMH 01  
STA 0+20.5, 5' RT  
RIM = 274.5±  
IE IN,OUT = 268.7± (N,S)  
IE IN = 268.8± (E)

WATER NOTES

1. INSTALL ALL METERS PER DETAIL W-13.
2. 1" METERS AND 1.5" SERVICE LINES PER DETAIL W-13.
3. CONSTRUCTION OF ALL WATER FACILITIES SHALL CONFORM TO THE CITY OF MERCER ISLAND REQUIREMENTS AND STANDARD DETAILS.
4. REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE DETERMINED BY MERCER ISLAND WATER DEPARTMENT.
5. THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED. ALTERNATELY, A PRESSURE TEST OF THE SIDE SEWER, FROM SEWER MAIN TO POINT OF CONNECTION, MAY BE SUBSTITUTED FOR THE VIDEO INSPECTION.

SEWER NOTES

1. CONSTRUCTION OF ALL SEWER FACILITIES SHALL CONFORM TO THE CITY OF MERCER ISLAND REQUIREMENTS AND STANDARD DETAILS DATED JUNE 5, 2009, INCORPORATED BY REFERENCE.
2. 6" SIDE SEWER CONNECTION AND STUB PER CITY OF MERCER ISLAND STANDARD DETAIL S-17.
6. NEWLY INSTALLED SIDE SEWER REQUIRES 4 P.S.I. AIR TEST OR PROVIDE 10" OF HYDROSTATIC HEAD TEST.

GENERAL NOTES

1. MITIGATED WETLAND & STREAM BOUNDARY & BUFFERS SHOWN. REFER TO THE WATERSHED CO. MITIGATION PLAN, PREPARED ON 10/17/17.
2. ---
3. ---

No.	Date	By	Checked	Application
10/17	BG	EZ		PRELIMINARY PLAT APPLICATION
				Revision



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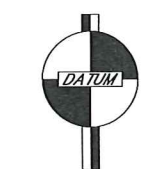
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4320 ISLAND CREST WAY - LONG PLAT

WATER PLAN & SEWER PLAN  
& SEWER PROFILE

Sheet **5** Of -

Job No. 691715 1"=10'



DATUM: NAVD 88

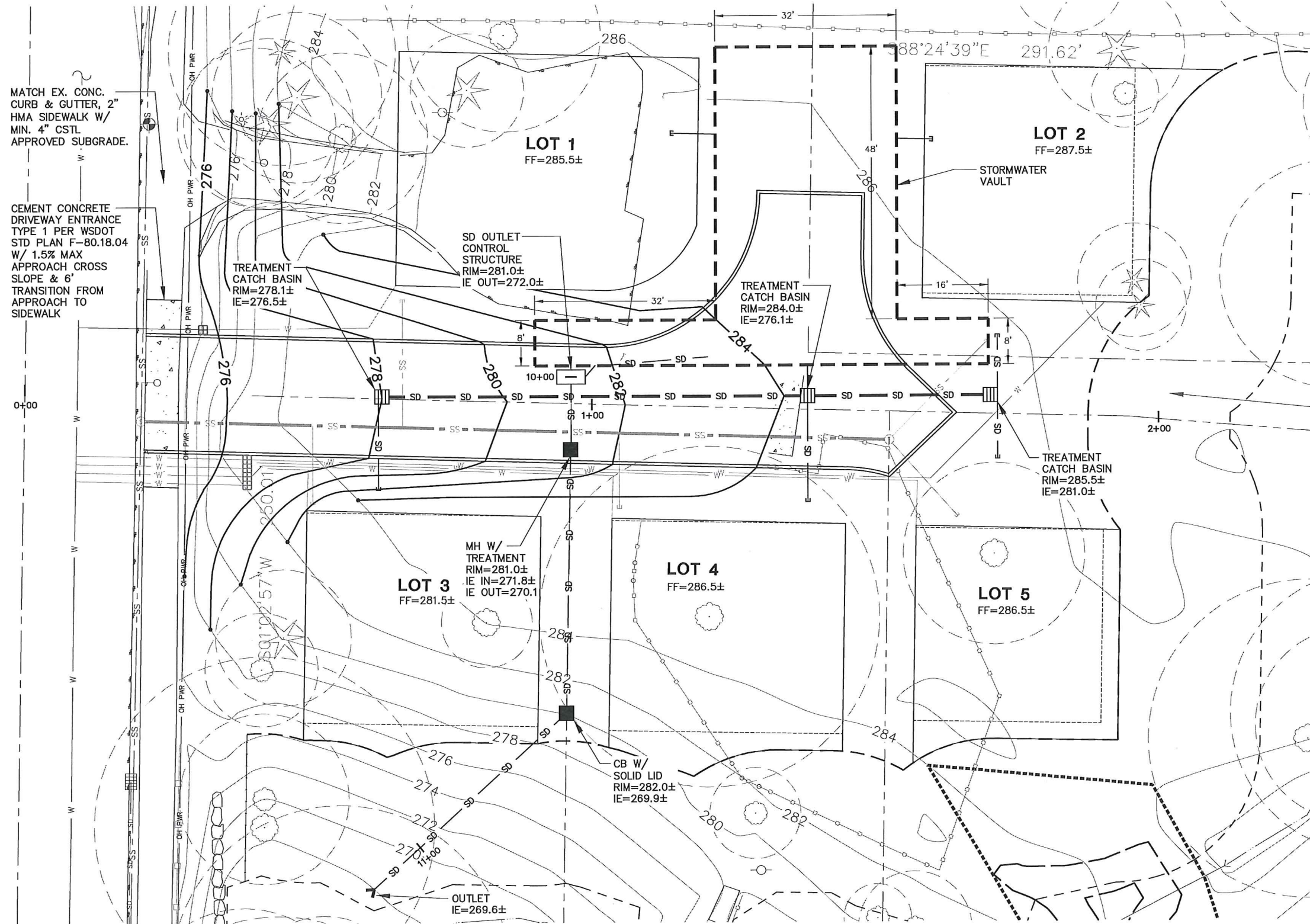


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A PORTION OF SW 1/4 OF THE NW 1/4 SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., KING COUNTY, WASHINGTON



STORMWATER & ROAD PLAN



**PRELIMINARY**  
NOT FOR CONSTRUCTION  
10/31/17

DATUM: NAVD 88

Sheet **6** Of -  
Job No. 691715  
1"=10'

4320 ISLAND CREST WAY - LONG PLAT  
STORMWATER & ROAD PLAN

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Drawn: SS  
Designed: BG  
Checked: EZ  
Approved: EZ



No.	Date	By	Ckd	Revision
1	10/17	BG	EZ	PRELIMINARY PLAT APPLICATION

**STORMWATER NOTES**

- ALL STORMWATER MAINS TO BE 12" PIPE.
- ROOF DOWNSPOUT STUBS SHALL BE 6" MIN.
- ROUTE FUTURE FOUNDATION DRAINS TO DAYLIGHT.
- RAISE ALL STORM DRAINS, VALVE BOXES, MANHOLE COVERS AND MONUMENT COVERS TO MATCH ASPHALT FINISH GRADE. MONUMENT COVERS MUST BE RAISED WITHOUT DISTURBING MONUMENT. RISER EXTENSION CASTINGS ARE ACCEPTABLE.
- SOIL REMEDIATION PER BMP T5.13 TO ACHIEVE "PASTURE" STATUS FOR STORMWATER MODELING
- REFER TO DRAINAGE REPORT FOR SIZING INFORMATION.

**GENERAL NOTES**

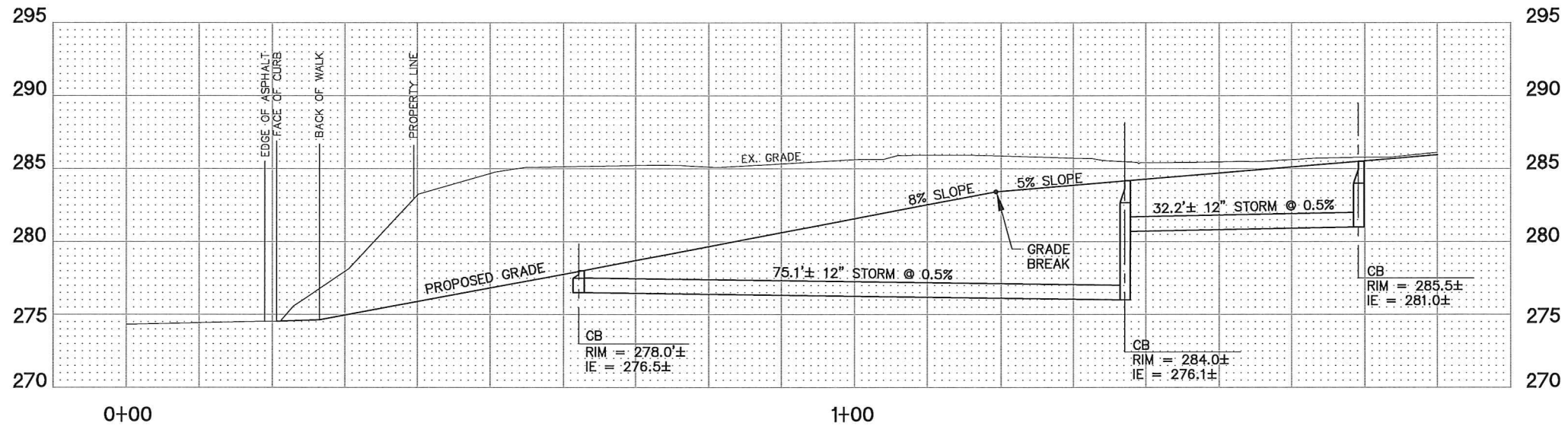
- MITIGATED WETLAND & STREAM BOUNDARY & BUFFERS SHOWN. REFER TO THE WATERSHED CO. MITIGATION PLAN, PREPARED ON 10/17/17.
- 
- 

**ACCESS ROAD NOTES**

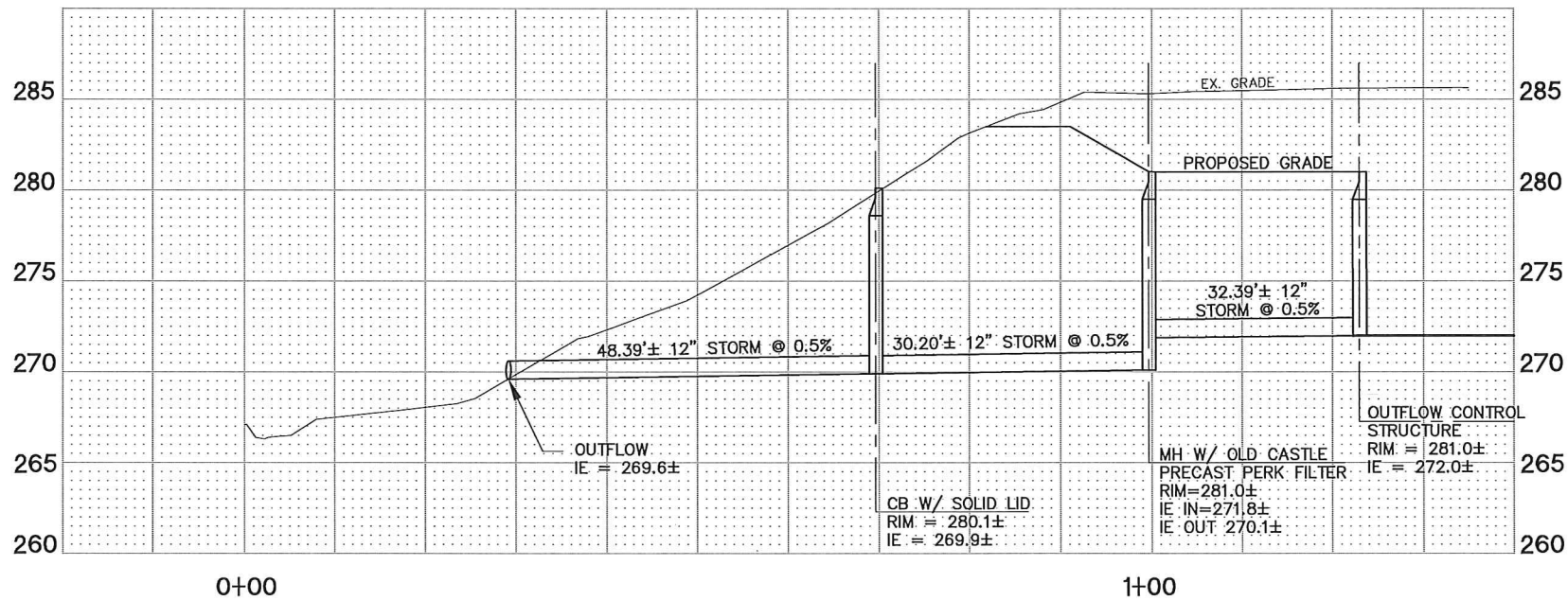
- ROAD SECTION 3" HMA, 4" CSTC, 8" CSBC
- ROLLED CURB PER WSDOT S19 PLAN, F-10.18-01, CURB 2.
- THE LIMITS AND EXTENTS OF THE PAVEMENT IN THE PUBLIC RIGHT-OF-WAY SHALL BE DETERMINED BY THE CITY ENGINEER PRIOR TO FINALIZING THE PROJECT.



A PORTION OF SW 1/4 OF THE NW 1/4 SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., KING COUNTY, WASHINGTON



STORM INFLOW PROFILE



STORM OUTFLOW PROFILE



DATUM: NAVD 88



**PRELIMINARY**  
NOT FOR CONSTRUCTION  
10/31/17

4320 ISLAND CREST WAY - LONG PLAT

STORMWATER & ROAD PROFILE

**CHS ENGINEERS**  
12507 Bel-Red RD., Suite 101, Bellevue, WA 98005  
www.chsengineers.com Ph: 425-637-3693

Drawn: SS  
Designed: BG  
Checked: EZ  
Approved: EZ

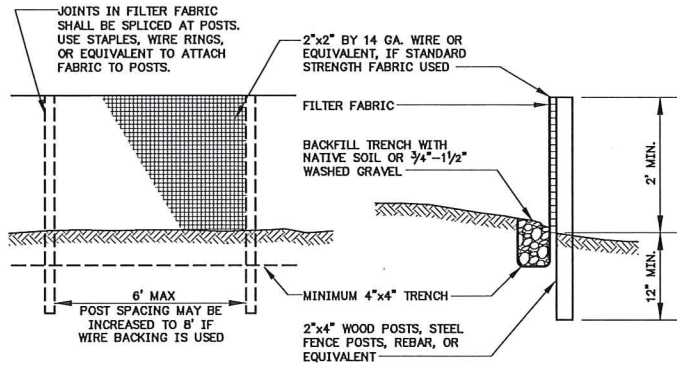


No.	Date	By	Kind	Revision
1	10/17	BG	EZ	PRELIMINARY PLAT APPLICATION

USER: Scott Stcherbin; PLOTTING DATE: 10/31/2017 FILE LOCATION: K:\69-Development\2017\691715 - Mercer Island SP 4320 ICWA\CAD\691715 - BASE.dwg

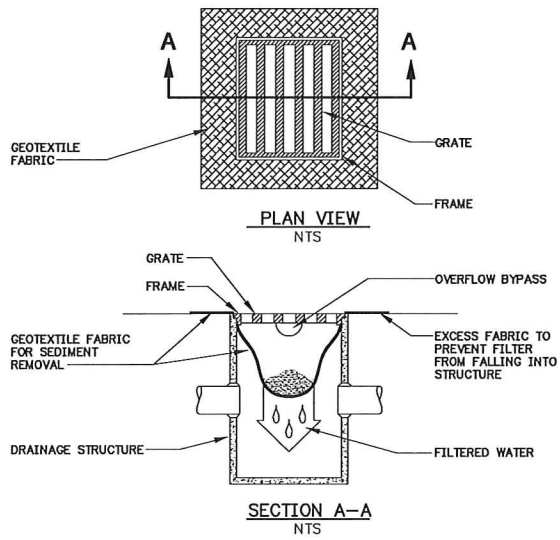


A PORTION OF SW 1/4 OF THE NW 1/4 SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., KING COUNTY, WASHINGTON

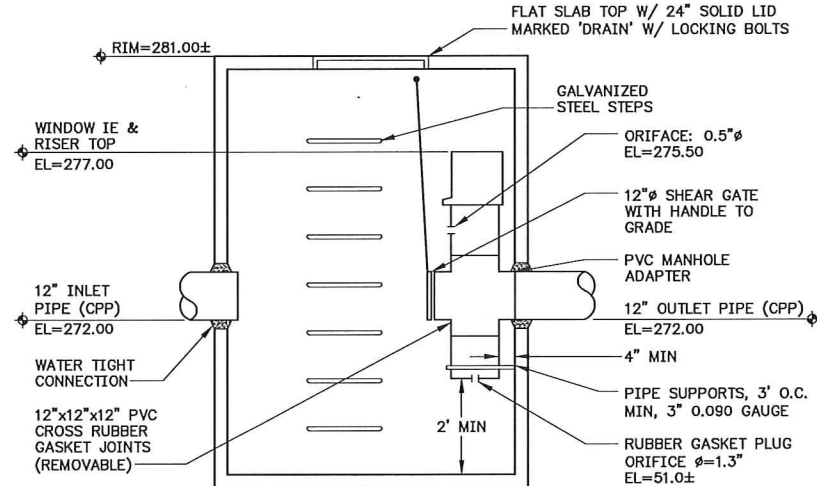


NOTE: FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.

**1** DETAIL - SILT FENCE  
C3 NTS

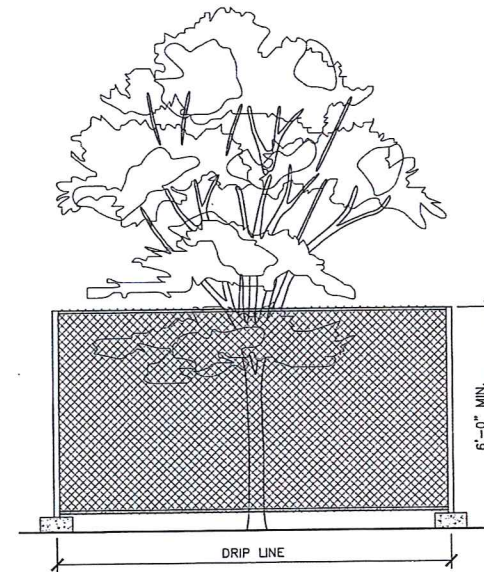


**2** DETAIL - CB PROTECTION INSERT  
C3 NTS

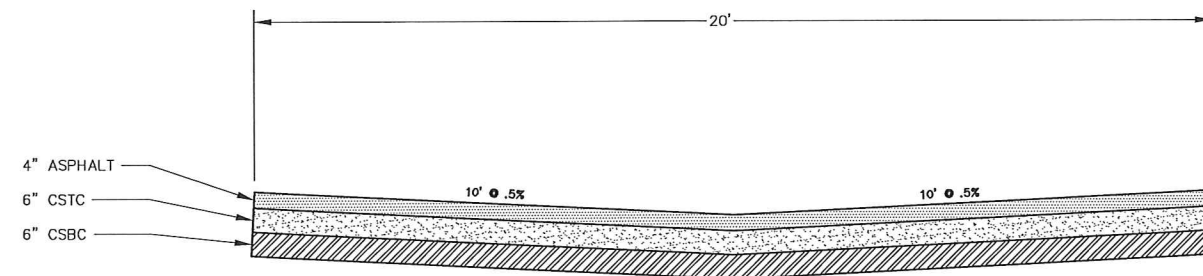


NOTE: AFFIX STAINLESS STEEL PLATE TO INSIDE OF CONTROL STRUCTURE, ENGRAVE WITH:  
-CAUTION - CONFINED SPACE  
TOP OF RISER=277.00  
IE OUTLET=272.00  
ORIFICE CONTROLLED RELEASE 0.50" Ø EL=275.5±  
ORIFICE CONTROLLED RELEASE 0.25" Ø EL=271.5±

**1** DETAIL - SDMH #A-3 - 72"  
4 OVERFLOW & CONTROL STRUCTURE  
NTS



**C** TREE PROTECTION  
NTS



**C** ROAD PROFILE  
NTS

NOTES:

- TREE PROTECTION DURING CONSTRUCTION:** A SIX FOOT HIGH TEMPORARY CHAIN LINK FENCE SHALL BE ERECTED AT DRIP LINE OF TREE(S) TO BE SAVED, OR A DISTANCE OF 15 FEET FROM THE TRUNK, WHICHEVER IS GREATER. THE FENCE SHALL COMPLETELY ENCIRCLE THE TREE(S). INSTALL FENCE POSTS USING BLOCKS ONLY. IF INSTALLING POSTS DIRECTLY INTO GROUND IS NECESSARY, AVOID DRIVING INTO MAJOR ROOTS. AT THE DISCRETION OF THE CITY INSPECTOR, FENCING MAY BE EXTENDED BEYOND THE DRIP LINE OR 15 FEET. THE CITY INSPECTOR MAY PERMIT ALTERNATIVE FENCING METHODS IF SITE CONDITIONS PROHIBIT THE INSTALLATION OF PIER BLOCKS (STEEP SLOPES, SOFT SOILS, ETC).
- TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION:** FOR ROOTS OVER 1 INCH IN DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH MOIST BURLAP TO PREVENT DRYING AND COVERED WITH SOIL AS SOON AS POSSIBLE.
- WORK WITHIN THE PROTECTION FENCE** SHALL BE DONE MANUALLY. NO EXCAVATION, MATERIAL STOCKPILING, VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT/MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING.

No.	Date	By	Check	Application
1	10/17	BG	EZ	PRELIMINARY PLAT APPLICATION

Drawn: SS  
Designed: BG  
Checked: EZ  
Approved: EZ

**CHS ENGINEERS**  
12507 Bel-Red RD., Suite 101, Bellevue, WA 98005  
www.chsengineers.com Ph: 425-637-3693

4320 ISLAND CREST WAY - LONG PLAT

DETAILS

Sheet **8** Of -

Job No. 691715



**PRELIMINARY**  
NOT FOR CONSTRUCTION  
10/31/17

USER: Scott\_Sicherhain\p\LOTING DATE: 10/31/2017 FILE LOCATION: K:\69-Development\2017\691715 - Mercer Island SP 4320 Island Crest Way - Base.dwg





PLAT NO. FP17-XXX  
MERCER ISLAND, WASHINGTON

**DEDICATION**

KNOW ALL PEOPLE BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNER(S) OF INTEREST IN THE LAND HEREBY SHORT SUBDIVIDED, HEREBY DECLARE THIS SHORT PLAT TO BE THE GRAPHIC REPRESENTATION OF THE SHORT SUBDIVISION MADE HEREBY, AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS AND AVENUES NOT SHOWN AS PRIVATE HEREON AND DEDICATE THE USE THEREOF FOR ALL PUBLIC PURPOSES NOT INCONSISTENT WITH THE USE THEREOF FOR PUBLIC HIGHWAY PURPOSES, AND ALSO THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS UPON THE LOTS SHOWN THEREON IN THE ORIGINAL REASONABLE GRADING OF SAID STREETS AND AVENUES, AND FURTHER DEDICATE TO THE USE OF THE PUBLIC ALL EASEMENTS AND TRACTS SHOWN ON THIS SHORT PLAT FOR ALL PUBLIC PURPOSES AS INDICATED THEREON, INCLUDING BUT NOT LIMITED TO PARKS, OPEN SPACES, UTILITIES AND DRAINAGE UNLESS SUCH EASEMENTS OR TRACTS ARE SPECIFICALLY IDENTIFIED ON THIS SHORT PLAT AS BEING DEDICATED OR CONVEYED TO A PERSON OR ENTITY OTHER THAN THE PUBLIC, IN WHICH CASE WE DO HEREBY DEDICATE SUCH STREETS, EASEMENTS, OR TRACTS TO THE PERSON OR ENTITY IDENTIFIED AND FOR THE PURPOSE STATED.

FURTHER, THE UNDERSIGNED OWNERS OF THE LAND HEREBY SHORT SUBDIVIDED WAIVE FOR THEMSELVES, THEIR HEIRS AND ASSIGNS AND ANY PERSON OR ENTITY DERIVING TITLE FROM THE UNDERSIGNED, ANY AND ALL CLAIMS FOR DAMAGES AGAINST MERCER ISLAND, ITS SUCCESSORS AND ASSIGNS WHICH MAY BE OCCASIONED BY THE ESTABLISHMENT, CONSTRUCTION, OR MAINTENANCE OF ROADS AND/OR DRAINAGE SYSTEMS WITHIN THIS SHORT SUBDIVISION.

FURTHER, THE UNDERSIGNED OWNERS OF THE LAND HEREBY SHORT SUBDIVIDED AGREE FOR THEMSELVES, THEIR HEIRS AND ASSIGNS TO INDEMNIFY AND HOLD MERCER ISLAND, ITS SUCCESSORS AND ASSIGNS, HARMLESS FROM ANY DAMAGE, INCLUDING ANY COSTS OF DEFENSE, CLAIMED BY PERSONS WITHIN OR WITHOUT THIS SHORT SUBDIVISION TO HAVE BEEN CAUSED BY ALTERATIONS OF THE GROUND SURFACE, VEGETATION, DRAINAGE OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SHORT SUBDIVISION OR BY ESTABLISHMENT, CONSTRUCTION OR MAINTENANCE OF THE ROADS WITHIN THIS SHORT SUBDIVISION.

THIS SUBDIVISION, DEDICATION, WAIVER OF CLAIMS AND AGREEMENT TO HOLD HARMLESS IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF SAID OWNERS.

IN WITNESS WHEREOF WE SET OUR HANDS AND SEALS.

NAME \_\_\_\_\_ DATE \_\_\_\_\_  
NAME \_\_\_\_\_ DATE \_\_\_\_\_  
NAME \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT JERROD M. STAFFORD, SIGNED THIS DEDICATION AND ON OATH STATED THAT HE WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE VP OF REAL ESTATE OF 3854 E. MERCER WAY, LLC TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

**NOTARY SEAL**  
DATED \_\_\_\_\_  
SIGNATURE OF \_\_\_\_\_  
NOTARY PUBLIC \_\_\_\_\_  
PRINTED NAME OF \_\_\_\_\_  
NOTARY PUBLIC \_\_\_\_\_  
TITLE \_\_\_\_\_  
MY APPOINTMENT EXPIRES \_\_\_\_\_

RECORDER'S CERTIFICATE .....  
FILED FOR RECORD THIS ..... DAY OF ....., 2017  
AT ..... M IN BOOK ..... OF ..... AT PAGE.....AT  
THE REQUEST OF .....  
SURVEYOR'S NAME  
.....  
MANAGER SUPT. OF RECORDS

APPROVALS:  
CITY OF MERCER ISLAND  
EXAMINED AND APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2017  
CITY ENGINEER \_\_\_\_\_  
EXAMINED AND APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2017  
CODE OFFICIAL \_\_\_\_\_

DEPARTMENT OF ASSESSMENTS  
EXAMINED AND APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2017  
ASSESSOR \_\_\_\_\_  
DEPUTY ASSESSOR \_\_\_\_\_  
ACCOUNT NUMBER \_\_\_\_\_

RECORDING NO. \_\_\_\_\_ VOL./PAGE \_\_\_\_\_  
PORTION OF  
SW 1/4, NW 1/4, SECTION 18, T 24 N, R 05 E, W.M.

**EXISTING LEGAL DESCRIPTION**

(PER CHICAGO TITLE COMPANY OF WASHINGTON TITLE INSURANCE COMPANY)  
THE NORTH 250 FEET OF THE SOUTH 500 FEET OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 6 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON. EXCEPT THE WEST 40 FEET.

**CONDITIONS OF APPROVAL**

1. MAINTENANCE AND REPAIR OF JOINT USE SIDE SEWERS (SEWER LINES FROM THE BUILDING TO THE CITY SEWER MAIN) SHARED ROADS, ACCESS EASEMENTS, STORM DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNERS OF EACH LOT SERVED (WITH THE EXCEPTION THAT OWNERS OF ANY LOT WHICH IS LOWER IN ELEVATION SHALL NOT BE RESPONSIBLE FOR THAT PORTION OF A PRIVATE SIDE SEWER ABOVE THEIR CONNECTION.) IN THE EVENT THAT MAINTENANCE AND REPAIR OF ANY FACILITIES ENUMERATED ABOVE ARE NOT PERFORMED TO THE SATISFACTION OF THE CITY ENGINEER, AFTER A TIMELY DEMAND HAS BEEN MADE FOR SUCH ACTION, THE CITY OR ITS AGENT SHALL HAVE THE RIGHT TO ENTER UPON THE PREMISES AND PERFORM THE NECESSARY MAINTENANCE AND REPAIR TO PROTECT THE SAFETY AND GENERAL WELFARE OF THE PUBLIC AND SHALL HAVE THEIR RIGHT TO CHARGE THE OWNER OF EACH LOT AN EQUAL SHARE OF THE TOTAL MAINTENANCE AND REPAIR COSTS. THE CITY OR THE OWNER OF ANY LOT WITHIN THIS SHORT PLAT SHALL HAVE THE RIGHT TO BRING ACTION IN SUPERIOR COURT TO REQUIRE ANY MAINTENANCE OR REPAIR AND TO RECOVER THE COSTS INCURRED IN MAKING OR EFFECTING REPAIRS TO IMPROVEMENTS.
2. THE MONITORING, CLEANING, MAINTENANCE AND REPAIR OF STORM DRAINAGE SYSTEMS IN ACCORDANCE WITH CITY ORDINANCE NO. 95C-118 IS REQUIRED FOR ALL LOT OWNERS WITHIN THIS PLAT TO CONTROL STORMWATER RUNOFF AND CONTROL EROSION AND FLOODING DOWNSTREAM. ALL COSTS RELATED TO STORMWATER RUNOFF CONTROL SHALL BE BORNE BY THE OWNERS OF EACH LOT IN EQUAL SHARE. THIS OBLIGATION SHALL BE RECORDED SEPARATELY WITH EACH INDIVIDUAL LOT SALE AND SHALL TRAVEL WITH THE LAND.
3. ALL STAGING FOR CONSTRUCTION SHALL OCCUR ON SITE AND SHALL NOT BE LOCATED IN THE PUBLIC RIGHT-OF-WAY.
4. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, EACH APPLICATION SHALL BE ACCOMPANIED WITH A TEMPORARY EROSION AND SEDIMENTATION CONTROL PLAN, CLEARING AND GRADING PLAN, ACCESS AND UTILITY SERVICE PLAN. A LANDSCAPE PLAN (WHICH SHALL IDENTIFY EXISTING VEGETATION TO BE RETAINED, LIMITS OF ALL CLEARING AND GRADING), AND A SCHEDULE FOR THE CONSTRUCTION. THE APPLICANTS CIVIL ENGINEER, EXPERIENCED IN SOIL GEOLOGY AND MECHANICS, SHALL REVIEW THE PROPOSED SITE AND BUILDING CONSTRUCTION AND PROVIDE, RECOMMENDATIONS THAT WILL LIMIT SITE DISTURBANCE, MINIMIZE RISK OF SOILS MOVEMENT, EVALUATE SITE SLOPE STABILITY AND DEFINE MATERIALS AND CONSTRUCTION PRACTICES FOR THE WORK. THE BUILDING OFFICIAL MAY REQUIRE THAT THE ENGINEER BE PRESENT DURING CONSTRUCTION, MONITOR THE WORK, AND RECOMMEND SPECIAL TECHNIQUES OR MITIGATING MEASURES. THE COSTS ASSOCIATED WITH THE ENGINEER'S MONITORING AND MITIGATION MEASURES SHALL BE BORNE BY THE APPLICANT.
5. NO PERMANENT LANDSCAPING STRUCTURES OR FENCES SHALL BE PLACED ON OR WITHIN PUBLIC UTILITY OR STORM DRAINAGE EASEMENTS WITHOUT THE WRITTEN APPROVAL OF THE CITY ENGINEER. IF IN THE OPINION OF CITY ENGINEER, UTILITIES OR STORM DRAINAGE FACILITIES REQUIRE MAINTENANCE, REPAIR OR REPLACEMENT, THE CITY OR ITS AGENT SHALL HAVE THE RIGHT TO ENTER THOSE LOTS ADJOINING THE FACILITY FOR THE PURPOSE OF MAINTAINING, REPAIRING, RELOCATING OR REPLACING SAID FACILITIES. LOT OWNERS SHALL BE RESPONSIBLE FOR THE RESTORATION OF ANY PRIVATE IMPROVEMENTS OR LANDSCAPING WITHIN SAID EASEMENT.
6. INSTALLATION OF LANDSCAPING AND/OR STRUCTURES INCLUDING TREES, SHRUBS, ROCKS, BERMS, WALLS, GATES, AND OTHER IMPROVEMENTS ARE NOT ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT AN APPROVED ENCROACHMENT AGREEMENT FROM THE CITY PRIOR TO THE WORK OCCURRING.



**VICINITY MAP**  
NO SCALE

**NATIVE GROWTH PROTECTION**

A NATIVE GROWTH PROTECTION EASEMENT AREA (NGPA) IS HEREBY ESTABLISHED AS SHOWN HEREIN. THE NATIVE GROWTH PROTECTION EASEMENT IS AN EASEMENT FOR THE CRITICAL AREA IN CONFORMANCE WITH MIMC 19.07. OWNERSHIP OF LOTS 1-5, INCLUSIVE, INCLUDES AN EQUAL AND UNDIVIDED 1/5 RESPONSIBILITY FOR THE MAINTENANCE OF THE CRITICAL AREA.

NO TREE TRIMMING, TREE TOPPING, TREE CUTTING, TREE REMOVAL, SHRUB OR BRUSH-CUTTING OR REMOVAL OF NATIVE VEGETATION, APPLICATION OF PESTICIDES, HERBICIDES, OR FERTILIZERS; CONSTRUCTION; CLEARING; OR ALTERATION ACTIVITIES SHALL OCCUR WITHIN THE EASEMENT AREA WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY OF MERCER ISLAND. APPLICATION FOR SUCH WRITTEN APPROVAL SHALL BE MADE TO THE MERCER ISLAND DEVELOPMENT SERVICES GROUP OR ITS SUCCESSOR AGENCY WHO MAY REQUIRE INSPECTION OF THE PREMISES BEFORE ISSUANCE OF THE WRITTEN APPROVAL AND FOLLOWING COMPLETION OF THE ACTIVITIES. ANY PERSON CONDUCTING OR AUTHORIZING SUCH ACTIVITY IN VIOLATION OF THIS PARAGRAPH OR THE TERMS OF ANY WRITTEN APPROVAL ISSUED PURSUANT HERETO, SHALL BE SUBJECT TO THE ENFORCEMENT PROVISIONS OF THE CITY'S CODE. IN SUCH EVENT, THE MERCER ISLAND DEPARTMENT OF DEVELOPMENT SERVICES MAY ALSO REQUIRE WITHIN THE AFFECTED AREA BY PLANTING REPLACEMENT TREES AND OTHER VEGETATION AS REQUIRED IN APPLICABLE SECTIONS OF THE CITY CODE. THE DEPARTMENT ALSO MAY REQUIRE THAT THE DAMAGED OR FALLEN VEGETATION BE REMOVED.

IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN CRITICAL AREAS AND THEIR BUFFERS BY REMOVING NON-NATIVE, INVASIVE, AND NOXIOUS PLANTS IN A MANNER THAT WILL NOT HARM CRITICAL AREAS OR THEIR BUFFERS AND IN ACCORDANCE WITH MERCER ISLAND CODE REQUIREMENTS FOR TREES AND OTHER VEGETATION WITHIN CRITICAL AREAS AND CRITICAL AREA BUFFERS.

THE CITY SHALL HAVE A LICENSE TO ENTER THE EASEMENT AREA (AND THE PROPERTY IF NECESSARY FOR ACCESS TO THE EASEMENT AREA) FOR THE PURPOSE OF MONITORING COMPLIANCE WITH THE TERMS OF THIS EASEMENT.

DEVELOPMENT OUTSIDE OF THIS NGPA MAY BE LIMITED BY CODIFIED STANDARDS, PERMIT CONDITIONS OR MOVEMENT OF THE CRITICAL AREA. EACH OF THE UNDERSIGNED OWNERS AGREE TO DEFEND, PAY AND SAVE HARMLESS THE CITY OF MERCER ISLAND, ITS OFFICERS, AGENTS, AND EMPLOYEES FROM ANY AND ALL CLAIMS OF EVERY NATURE WHATSOEVER, REAL OR IMAGINARY, WHICH MAY BE MADE AGAINST THE CITY, ITS OFFICERS, AGENTS OR EMPLOYEES FOR ANY DAMAGE TO PROPERTY OR INJURY TO ANY PERSON ARISING OUT OF THE EXISTENCE OF SAID NGPA OVER SAID OWNER'S PROPERTY OR THE ACTIONS OF THE UNDERSIGNED OWNERS IN CARRYING OUT THE RESPONSIBILITIES UNDER THIS AGREEMENT INCLUDING ALL COSTS AND EXPENSES, AND RECOVER ATTORNEY'S FEES AS MAY BE INCURRED BY THE CITY OF MERCER ISLAND IN DEFENSE THEREOF; EXCEPTING THEREFROM ONLY SUCH CLAIMS AS MAY ARISE SOLELY OUT OF THE NEGLIGENCE OF THE CITY OF MERCER ISLAND, ITS OFFICERS, AGENTS, OR EMPLOYEES.

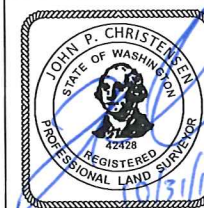
**LAND SURVEYOR'S CERTIFICATE**

THIS SHORT PLAT CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION IN CONFORMANCE WITH THE REQUIREMENTS OF THE APPROPRIATE STATE AND CITY STATUTE AND ORDINANCE IN OCTOBER, 2017

John P. Christensen  
L.S. No. 42428



12507 BEL-RED RD. STE. 101  
BELLEVUE, WA 98005-2500  
TEL 425-637-3693  
www.chsengineers.com



**ISLAND CREST WAY PLAT**

DWN. BY JPC	DATE 10/16/2017	JOB NO. 691715
CHKD. BY	SCALE	SHEET 1 OF 3





PLAT NO. FP17-XXX  
MERCER ISLAND, WASHINGTON

RECORDING NO.	VOL./PAGE
PORTION OF SW 1/4, NW 1/4, SECTION 18, T 24 N, R 05 E, W.M.	

**EASEMENT NOTES**

1. DECLARANT HEREBY DECLARES, DEDICATES, AND ESTABLISHES TO AND FOR THE BENEFIT OF THE OWNERS OF LOTS 1-5 A PERPETUAL NON-EXCLUSIVE EASEMENT ON, OVER, AND ACROSS THE AREA MARKED ON THE PLAT AS THE "SHARED ACCESS EASEMENT" FOR THE PURPOSE OF VEHICULAR AND PEDESTRIAN ACCESS, SUBJECT TO THE TERMS AND CONDITIONS HEREIN. THE SHARED ACCESS EASEMENT IS SUBJECT TO USE IN COMMON WITH LOTS 1-5 AND MAY BE USED BY EACH PARTY'S RESPECTIVE FAMILY MEMBERS, CONTRACTORS, AGENTS, OCCUPANTS, AND GUESTS FOR THE FOREGOING PURPOSES. NEITHER OWNER SHALL USE THE EASEMENT FOR PARKING NOR SHALL THEY BLOCK, OBSTRUCT, OR OTHERWISE UNREASONABLY INTERFERE WITH THE OTHER'S USE OF SUCH EASEMENT. ALL USE OF THE SHARED ACCESS EASEMENT SHALL BE IN ACCORDANCE WITH ALL LAWS. THE OWNERS OF LOTS 1-5 MAY ESTABLISH MUTUALLY ACCEPTABLE RULES AND REGULATIONS REGARDING THEIR SHARED USE OF THIS EASEMENT. AS OF THE DATE HEREOF, THE SHARED ACCESS EASEMENT IS IMPROVED WITH A PAVED DRIVEWAY. THE OWNERS OF LOTS 1-5 SHALL EQUALLY SHARE IN THE COST OF ALL NECESSARY MAINTENANCE, REPAIR, AND REPLACEMENT WORK FOR SUCH DRIVEWAY; PROVIDED, HOWEVER, THAT IF EITHER OWNER EVER CONSTRUCTS SEPARATE ACCESS TO THEIR LOT AND/OR NO LONGER USES THIS EASEMENT, THE OTHER OWNER SHALL BE SOLELY RESPONSIBLE FOR ALL WORK RELATED TO THE DRIVEWAY; AND PROVIDED FURTHER THAT EACH OWNER SHALL BE SOLELY RESPONSIBLE FOR ALL DAMAGE TO THE DRIVEWAY IN EXCESS OF NORMAL WEAR AND TEAR AND ALL DAMAGE TO THE OTHER'S PROPERTY THAT SUCH OWNER CAUSES OR ALLOWS. THE OWNERS OF LOTS 1-5 MAY HEREAFTER MUTUALLY AGREE TO AMEND, MODIFY, OR TERMINATE THE SHARED ACCESS EASEMENT WITH APPROVAL OF THE CITY. THE SHARED ACCESS EASEMENT IS A PRIVATE EASEMENT AND NO RIGHTS TO THE PUBLIC ARE GRANTED HEREBY.

2. DECLARANT HEREBY DECLARES, DEDICATES, AND ESTABLISHES TO AND FOR THE BENEFIT OF THE OWNERS OF ALL LOTS WITHIN THIS PLAT A PERPETUAL NON-EXCLUSIVE EASEMENT ON, OVER, AND ACROSS THE AREA MARKED AS THE "SHARED UTILITY EASEMENT" FOR THE PURPOSE OF INSTALLING, MAINTAINING, REPAIRING, REPLACING AND REMOVING UTILITIES, SUBJECT TO THE TERMS AND CONDITIONS HEREIN. ALL CURRENTLY EXISTING UTILITIES SERVING ANY OF THE LOTS THAT ARE LOCATED WITHIN THIS EASEMENT MAY REMAIN IN THEIR CURRENT LOCATIONS. IF ANY OWNER WISHES TO INSTALL NEW UTILITIES OR NEW UTILITY LINES WITHIN THIS EASEMENT OR TO PERFORM ANY REPAIRS OR OTHER WORK TO ANY UTILITY, SUCH OWNER SHALL PROVIDE REASONABLE ADVANCE NOTICE TO ALL OTHER AFFECTED OWNERS AND SUCH OWNER SHALL BE SOLELY RESPONSIBLE FOR ALL COSTS OF SUCH WORK (UNLESS INSTALLED OR PERFORMED FOR MORE THAN ONE PARTY, IN WHICH CASE THE BENEFITED PARTIES SHALL REASONABLY SHARE SUCH COSTS). IN PERFORMING ANY WORK UNDER THIS EASEMENT, THE RESPONSIBLE OWNER SHALL NOT UNREASONABLY INTERFERE WITH ANY EXISTING UTILITIES OR THE USE AND ENJOYMENT OF THE OTHER LOTS AND THE RESPONSIBLE OWNER SHALL REASONABLY RESTORE THE PROPERTY DISTURBED BY SUCH WORK UPON COMPLETION OF THE SAME. EACH OWNER SHALL BE SOLELY RESPONSIBLE FOR ALL DAMAGE TO ANY UTILITIES OR PROPERTY OF ANY OTHER OWNER THAT SUCH OWNER CAUSES OR ALLOWS. ALL USE OF THIS EASEMENT AND UTILITIES THEREIN MUST BE MADE IN ACCORDANCE WITH ALL LAWS. THE SHARED UTILITY EASEMENT IS A PRIVATE EASEMENT AND NO RIGHTS TO THE PUBLIC ARE GRANTED HEREBY.

**NEW EASEMENTS**

1. PERMANENT EASEMENT FOR PUBLIC WATER MAIN LEGAL DESCRIPTION;  
THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 18 AND THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 24 NORTH, RANGE 5 EAST, W. M., IN KING COUNTY, WASHINGTON, BEING A 15 FOOT WIDE STRIP, LYING 7.5 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:  
COMMENCING AT THE NORTHWEST CORNER \_\_\_\_\_  
AND THE TERMINUS OF THIS CENTERLINE DESCRIPTION.  
THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 18 AND THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 24 NORTH, RANGE 5 EAST, W. M., IN KING COUNTY, WASHINGTON, BEING A 15 FOOT WIDE STRIP, LYING 7.5 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:  
COMMENCING AT THE NORTHWEST CORNER \_\_\_\_\_  
AND THE TERMINUS OF THIS CENTERLINE DESCRIPTION.

2. PRIVATE STORM AND SEWER EASEMENT FOR LOT 1, LOT 2 AND LOT 3 LEGAL DESCRIPTION;  
THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W. M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHWEST CORNER \_\_\_\_\_  
AND THE TERMINUS OF THIS DESCRIPTION.

3. PRIVATE DRIVEWAY EASEMENT FOR LOTS 1-5 LEGAL DESCRIPTION;  
THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 18 AND THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 24 NORTH, RANGE 5 EAST, W. M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHWEST CORNER \_\_\_\_\_  
AND THE TERMINUS OF THIS DESCRIPTION.

4. CONSERVANCY EASEMENT LEGAL DESCRIPTION;  
LOT 1; COMMENCING AT THE SOUTHWEST CORNER  
LOT 2; COMMENCING AT THE SOUTHWEST CORNER.  
LOT 3; COMMENCING AT THE SOUTHWEST CORNER

5. PRIVATE WATER EASEMENT FOR LOTS 1-5, LEGAL DESCRIPTION;  
THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W. M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHWEST CORNER \_\_\_\_\_  
AND THE TERMINUS OF THIS DESCRIPTION.  
EASEMENT X IS IS AN EASEMENT FOR ACCESS AND UTILITIES FOR THE BENEFIT OF LOTS 1-5, INCLUSIVE. OWNERSHIP OF LOTS 1-5, INCLUSIVE, INCLUDES AN EQUAL AND UNDIVIDED 1/5 RESPONSIBILITY IN SAID EASEMENT. MAINTENANCE OF THE ACCESS ROAD AND ALL STORMWATER FACILITIES LOCATED IN THE EASEMENT WILL BE SHARED EQUALLY.

**NOTES**

TRACT A IS A RECREATION TRACT FOR THE BENEFIT OF LOTS 1-5, INCLUSIVE. OWNERSHIP OF LOTS 1-5, INCLUSIVE, INCLUDES AN EQUAL AND UNDIVIDED 1/5 OWNERSHIP IN SAID TRACT. MAINTENANCE OF THE TRACT WILL BE SHARED EQUALLY.

**PROPOSED LEGAL DESCRIPTIONS**

LOT 1:  
COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M.;

THENCE NORTH ALONG THE WEST SECTION LINE N 01°02'57" E 500.02 FEET.  
THENCE S 88°24'39" E 40.00 FEET TO THE EASTERLY RIGHT OF WAY OF ISLAND CREST WAY AND THE TRUE POINT OF BEGINNING;  
THENCE S 88°24'39" E 98.00 FEET;  
THENCE S 01°02'57" W 56.25 FEET;  
THENCE S 88°24'39" E 193.62 FEET;  
THENCE S 01°03'38" W 18.01 FEET;  
THENCE N 85°03'52" W 137.06 FEET;  
THENCE N 88°24'39" W 154.86 FEET TO THE EASTERLY RIGHT OF WAY OF ISLAND CREST WAY;  
THENCE N 01°02'57" E 66.25 FEET TO THE POINT OF BEGINNING.

LOT 2:  
COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M.;

THENCE NORTH ALONG THE WEST SECTION LINE N 01°02'57" E 500.02 FEET.  
THENCE S 88°24'39" E 40.00 FEET TO THE EASTERLY RIGHT OF WAY OF ISLAND CREST WAY;  
THENCE S 88°24'39" E 98.00 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE S 88°24'39" E 193.62 FEET;  
THENCE S 01°03'38" W 56.25 FEET;  
THENCE N 88°24'39" W 193.62 FEET;  
THENCE N 01°02'57" E 56.25 FEET TO THE POINT OF BEGINNING.

LOT 3:  
COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M.;

THENCE NORTH ALONG THE WEST SECTION LINE N 01°02'57" E 500.02 FEET.  
THENCE S 88°24'39" E 40.00 FEET TO THE EASTERLY RIGHT OF WAY OF ISLAND CREST WAY;  
THENCE S 01°02'57" W 66.25 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE S 88°24'39" E 56.26 FEET;  
THENCE S 01°02'57" W 171.76 FEET;  
THENCE N 60°48'39" W 35.61 FEET;  
THENCE N 88°24'39" W 24.85 FEET TO THE EASTERLY RIGHT OF WAY OF ISLAND CREST WAY;  
THENCE N 01°02'57" E 155.26 FEET TO THE POINT OF BEGINNING.

LOT 4:  
COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M.;

THENCE NORTH ALONG THE WEST SECTION LINE N 01°02'57" E 500.02 FEET.  
THENCE S 88°24'39" E 40.00 FEET TO THE EASTERLY RIGHT OF WAY OF ISLAND CREST WAY;  
THENCE S 01°02'57" W 66.25 FEET;  
THENCE S 88°24'39" E 56.26 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE S 88°24'39" E 56.25 FEET;  
THENCE S 01°02'57" W 138.00 FEET;  
THENCE N 88°24'39" W 56.26 FEET;  
THENCE N 01°02'57" E 138.00 FEET TO THE POINT OF BEGINNING.

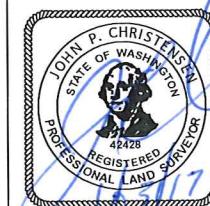
LOT 5:  
COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M.;

THENCE NORTH ALONG THE WEST SECTION LINE N 01°02'57" E 500.02 FEET.  
THENCE S 88°24'39" E 40.00 FEET TO THE EASTERLY RIGHT OF WAY OF ISLAND CREST WAY;  
THENCE S 01°02'57" W 66.25 FEET;  
THENCE S 88°24'39" E 112.51 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE S 88°24'39" E 42.36 FEET;  
THENCE S 85°03'52" E 137.06 FEET;  
THENCE S 01°03'38" W 175.76 FEET;  
THENCE N 88°24'39" W 235.32 FEET;  
THENCE N 01°02'57" E 45.76 FEET;  
THENCE S 88°24'39" E 56.25 FEET;  
THENCE N 01°02'57" E 138.00 FEET TO THE POINT OF BEGINNING.

TRACT 999:  
COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M.;

THENCE NORTH ALONG THE WEST SECTION LINE N 01°02'57" E 250.01 FEET.  
THENCE S 88°24'39" E 40.00 FEET TO THE EASTERLY RIGHT OF WAY OF ISLAND CREST WAY AND THE TRUE POINT OF BEGINNING;  
THENCE N 01°02'57" E 28.50 FEET;  
THENCE S 88°24'39" E 24.85 FEET;  
THENCE S 60°48'39" E 35.61 FEET;  
THENCE S 01°02'57" W 12.00 FEET;  
THENCE N 88°24'39" W 56.26 FEET TO THE POINT OF BEGINNING.

**CHS ENGINEERS**  
12507 BEL-RED RD. STE. 101  
BELLEVUE, WA 98005-2500  
TEL 425-637-3693  
www.chsengineers.com



**ISLAND CREST WAY  
PLAT**

DWN. BY JPC	DATE 10/16/2017	JOB NO. 691715
CHKD. BY	SCALE	SHEET 2 OF 3





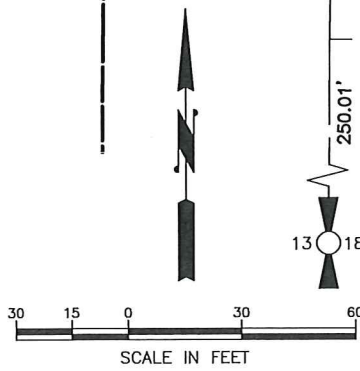
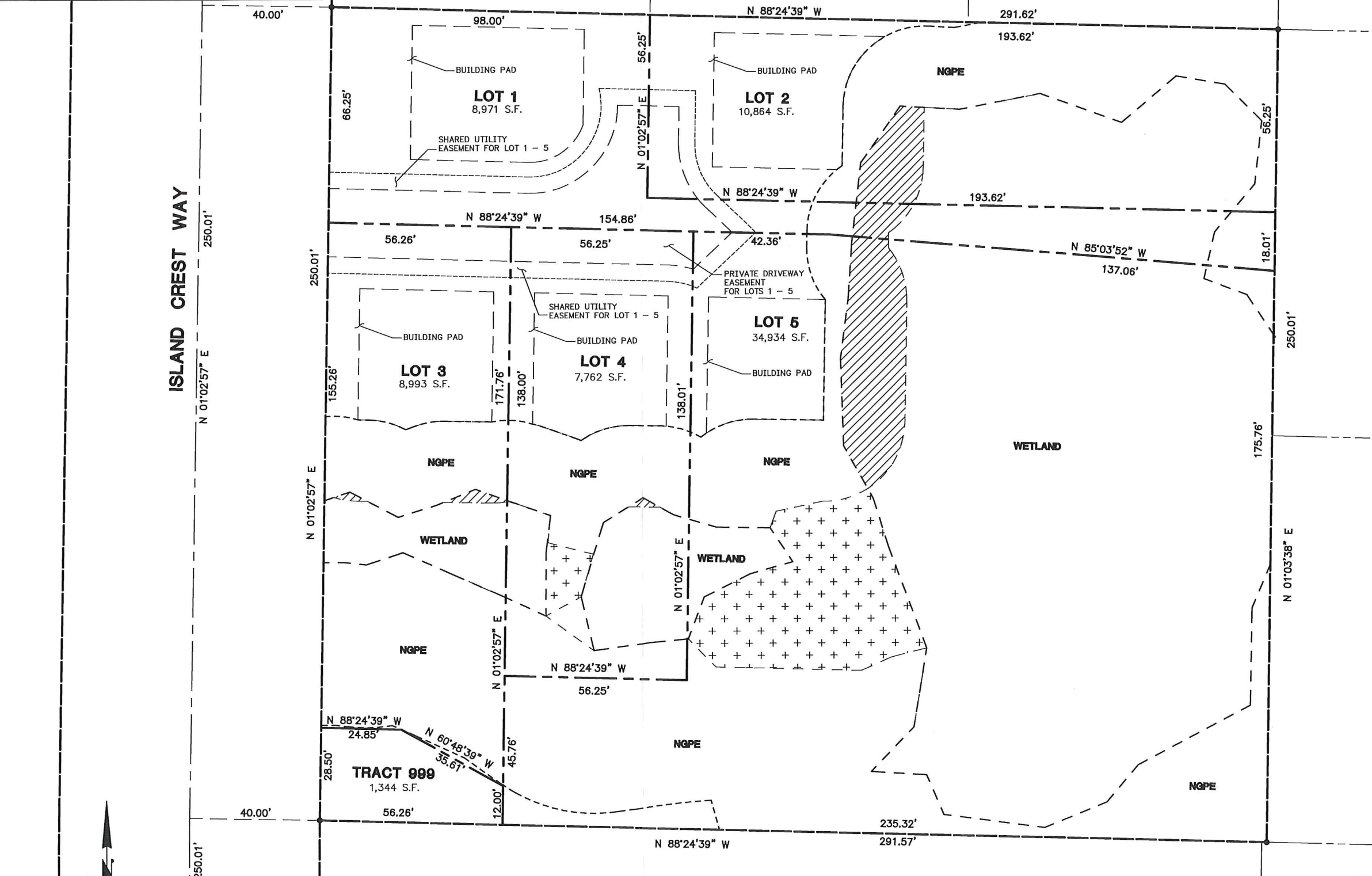
PLAT NO. FP17-XXX  
MERCER ISLAND, WASHINGTON

PORTION OF  
SW 1/4, NW 1/4, SECTION 18, T 24 N, R 05 E, W.M.

RECORDING NO.

VOL./PAGE

ISLAND CREST WAY



**BASIS OF BEARINGS**

BASED ON RECORD OF SURVEY BY PLS, INC. UNDER RECORDING NUMBER 20170117900004 RECORDS OF KING COUNTY WASHINGTON. PER FOUND SECTION MONUMENTS.

**SURVEY INSTRUMENTATION:**

THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE WITH THE FINAL RESULTS MEETING OR EXCEEDING THE CURRENT TRAVERSE STANDARDS CONTAINED IN W.A.C. 332-130-090.



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**ISLAND CREST WAY  
PLAT**

DWN. BY JPC	DATE	JOB NO. 691715
CHKD. BY	SCALE 1" = 30'	SHEET 3 OF 3