

HOU RESIDENCE

4825 EAST MERCER ISLAND WA 98040

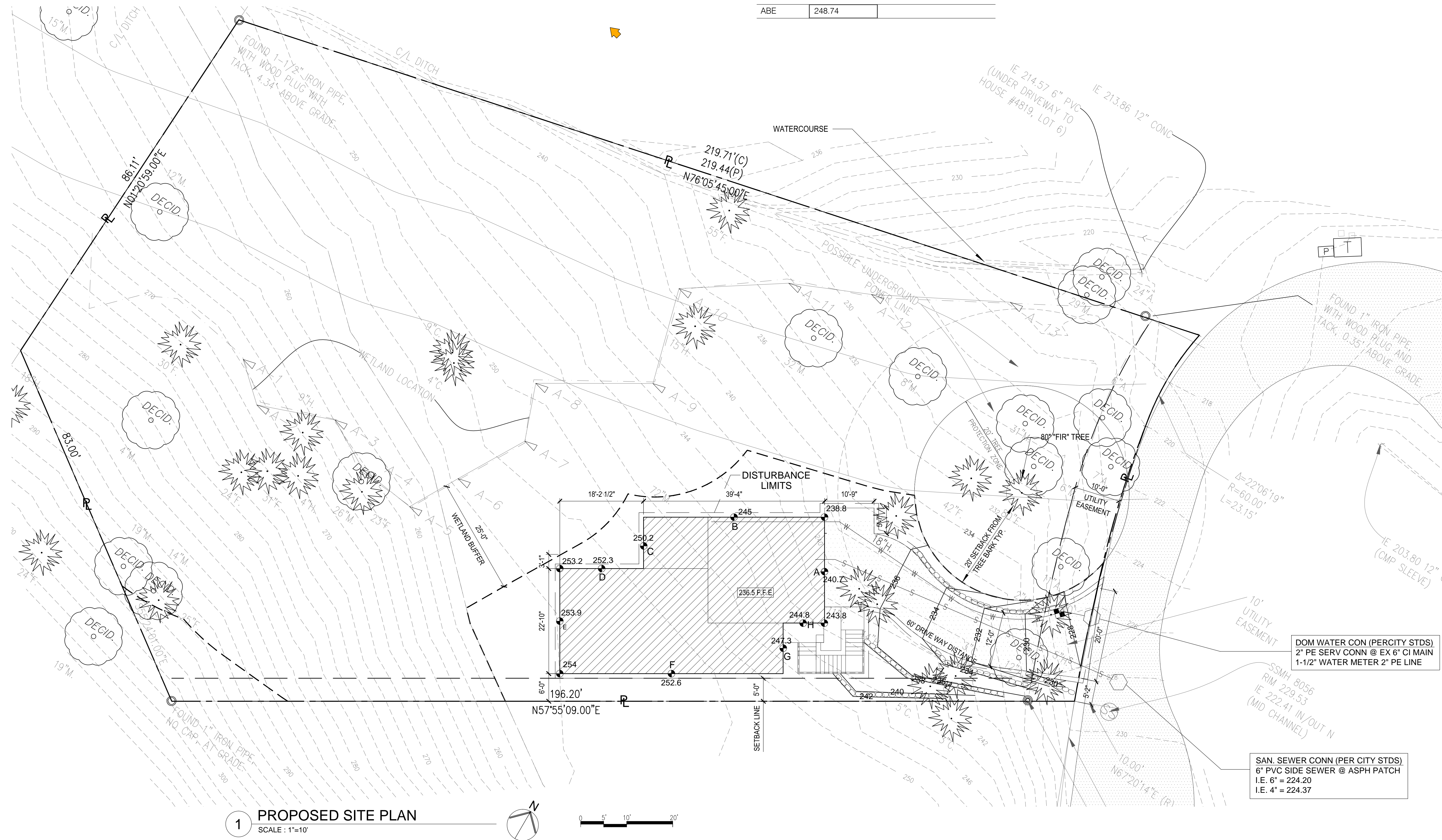
LEGAL DESCRIPTION :

A PORTION OF NW QUARTER OF THE NE QUARTER OF SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., LOT 7, EAST MERCER HIGHLAND, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 74 OF PLATS, PAGES 83, IN KING COUNTY, WASHINGTON

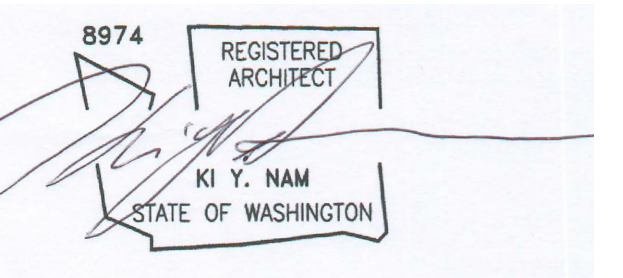
DETERMINING AVERAGE EXISTING GRADE

REF. POINT	B.O. WALL ELEV.	WALL WIDTH	EL X W
A	240.7	23	5,536.1
B	245	39.3	9,628.5
C	250.2	12	3,002.4
D	252.3	18.25	4,604.5
E	253.9	22	5,585.8
F	252.6	48.5	12,251.1
G	247.3	11	2,720.3
H	244.8	9	2,203.2
TOTAL		183.05	45,531.875
ABE	248.74		

BUILDING AREA SUMMARY		
FIRST FLOOR ENCLOSED SF	1,411	SF
SECOND FLOOR ENCLOSED SF	1,344	SF
3RD FLOOR ENCLOSED SF	1,032	SF
Total Heated Area	3,787	SF
BASEMENT GARAGE	685	SF
PORCH/DECK	292	SF



1 PROPOSED SITE PLAN
SCALE: 1"=10'



DRAWING

DRAWN: JK

CHECKED: KN

ISSUE

DATE: 7/14/2019

REVISIONS

NO.	DATE	DESCRIPTION	BY

CLIENT APPROVAL

APPROVED: DATE:

SHEET TITLE

SITE PLAN

PROJECT TITLE

HOU RESIDENCE
4825 EAST MERCER ISLAND
WA 98040

PROJ. NO.

SHEET NO.

A1

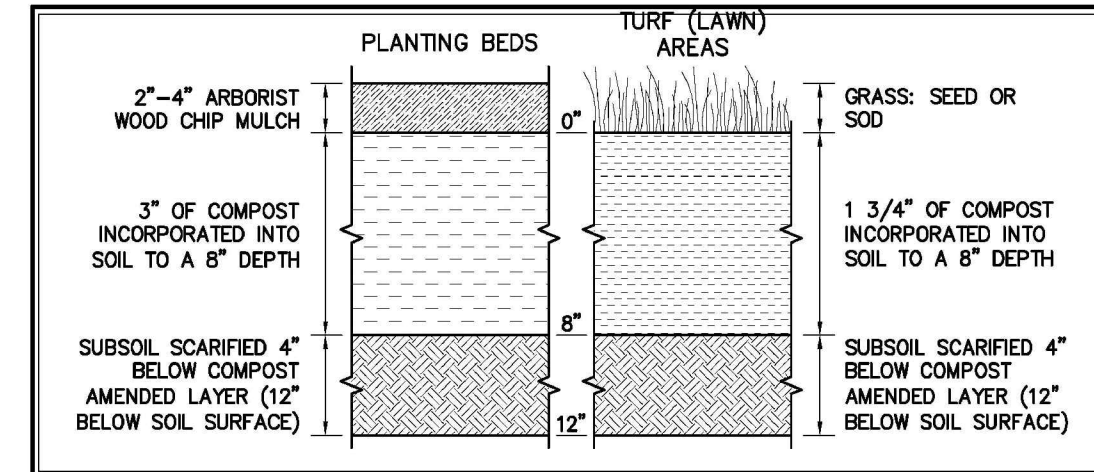
HOU RESIDENCE

MERCER ISLAND, WASHINGTON

SOIL AMENDMENT NOTES:

1. RETAIN AND PROTECT UNDISTURBED SOIL:

- Leave undisturbed vegetation and soil, and protect from compaction by fencing and keeping materials storage and equipment off these areas during construction.
- For all areas where soil or vegetation are disturbed, use option 2, 3, or 4.



Source: City of Seattle (reproduced with permission)
Figure 3.1. Cross-section of Soil Amendment

2. AMEND SOIL:

- Soil amendments shall be applied to all areas which are being set aside as non-buildable areas (open space or natural resource protection areas) and are in need of rehabilitation because of past land use disturbances such as clearing and intrusion of invasive species. The purpose is to enhance and accelerate the rehabilitation of the soil structure. The application will be non-destructive to the existing vegetation that is retained by taking care to taper depths of soil amendment near the surface roots.
- Amend existing site topsoil or subsoil either at default "pre-approved" rates, or at custom calculated rates to meet the soil quality guidelines based on engineering tests of the soil and amendment. (Refer to the Building Soil manual [Stenn et al. 2012] or web site <www.buildingsoil.org>, for custom calculation methods.)

3. STOCKPILE SOIL:

- Stockpile existing topsoil during grading and replace it prior to planting. Amend stockpiled topsoil if needed to meet the organic matter or depth requirements either at the default "pre-approved" rate or at the custom calculated rate (refer to the Building Soil manual [Stenn et al. 2012] or website <www.buildingsoil.org>, for custom calculation method). Scarify subsoil and mulch planting beds, as described under the Soil Amendment heading below.

4. IMPORT SOIL:

- Import topsoil mix of sufficient organic content and depth to meet the requirements. Imported soils should contain excessive clay or silt fines (more than 5 percent passing the US #200 sieve) because that could restrict stormwater infiltration. Use imported topsoil that meets default "pre-approved" rates.
- Scarify subsoil and mulch planting beds, as described under the Soil Amendment heading below.

Note: more than one method may be used on different portions of the same site.

CONSTRUCTION SEQUENCE

1. FLAG CLEARING LIMITS AS SHOWN.
2. INSTALL TEMPORARY QUARRY ROCK CONSTRUCTION ENTRANCE.
3. INSTALL FILTER FENCE. CLEAR AND GRUB SITE. INSTALL TEMPORARY EROSION CONTROL MEASURES (SILT FENCE) AS CONSTRUCTION ACTIVITIES PROGRESS. ADDITIONAL FILTER FENCE MAY BE REQUIRED AROUND THE PERIMETER TO PREVENT SILT LADEN WATER FROM LEAVING THE SITE.
4. ANY AREA STRIPPED OF VEGETATION, WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 7 DAYS (2 DAYS DURING WET SEASON), SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED EROSION & SEDIMENT CONTROL METHODS, (E.G., SEEDING, MULCHING, NETTING, EROSION & SEDIMENT CONTROL METHODS.)
5. ROUGH GRADE SITE, CONSTRUCT RESIDENCE AND DRIVEWAY.
6. HYDROSEED AND MULCH AND AMEND ALL EXPOSED AREAS.
7. REMOVE TEMPORARY EROSION CONTROL FACILITIES, ONLY, AFTER ENTIRE SITE IS STABILIZED AND THE POTENTIAL FOR EROSION HAS PASSED.
8. CLEAN ANY SILT THAT HAS ACCUMULATED IN THE PERMANENT STORM DRAINAGE SYSTEM.

BENCHMARK AND DATUM

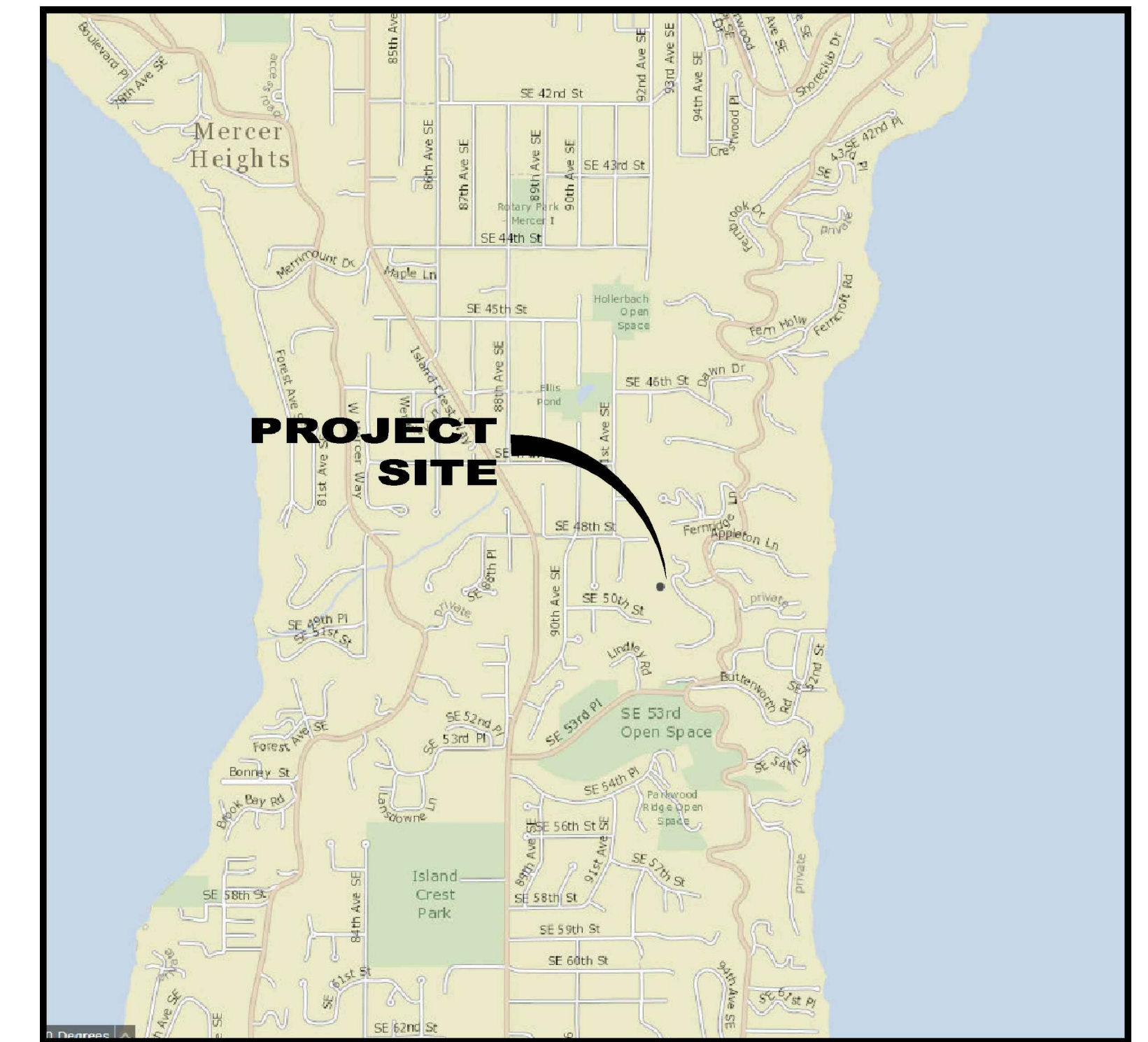
TOPOGRAPHIC INFORMATION IS BASED ON FIELD SURVEY INFORMATION PROVIDED BY OTHER'S AND HAS BEEN GENERALLY CONFIRMED IN THE FIELD BY DEVELOPMENT ENGINEERING, PLLC PERSONNEL, (SEE CONTRACTOR NOTE).

LEGAL DESCRIPTION

EAST MERCER HIGHLANDS ADD & UND INT IN PRIVATE RD

CONTRACTOR/SITE PLAN NOTE

ALL EXISTING UTILITIES AND EASEMENTS SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES AND EASEMENTS ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEY INFORMATION FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEY, FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION CONTACT THE UTILITY OWNER/AGENCY. THE PROVIDED SITE PLAN DOES NOT REPRESENT A SURVEY, IT IS THE OWNERS RESPONSIBILITY TO VERIFY ANY AND ALL ENCUMBRANCES LOCATED ON THE PROPERTY PRIOR TO CONSTRUCTION.



VICINITY MAP

SCALE: NTS



LEGEND

STORM PIPE		TOP OF WALL/TOE OF WALL	
CATCH BASIN		TOP AND TOE OF SLOPES	
STORM MANHOLE		SLOPE INDICATORS	
SANITARY SEWER PIPE		RIP RAP	
SANITARY SEWER MANHOLE		FILTER FABRIC FENCING	
WATER MAINS		RAIN WATER LEADERS (RWL)	
FIRE HYDRANT AND FDC		CLEANOUTS (C.O.) SS, AND RWL	
WATER METERS		INTERCEPTOR AND BIO-SWALES	
WATER VALVES		CEMENT CONCRETE	
FITTINGS WITH THRUST BLOCKS		STUBBED & PLUGGED LINE	
SURFACE WTR AND PIPE DIRECTION FLOW		EXTRUDED CONC. CURB	
EXISTING CONTOUR LABELS		CURB & GUTTER	
PROPOSED CONTOUR LABELS		ASPHALT CONCRETE PAVEMENT	
GROUND SPOT ELEVATIONS (TENTHS)		SHORING WALL	
FINISHED SURFACE ELEVATIONS (HUNDRETHS)		ROCKERY WALL	
COORDINATES, & LEADERS		CONCRETE RETAINING WALL	

OWNER

MK & S INVESTMENTS, LLC
7022 E MERCER WAY
MERCER ISLAND, WA 98040

CIVIL ENGINEER

DEVELOPMENT ENGINEERING, PLLC
2306 A STREET
TACOMA, WA 98402
(253) 228-0513
WWW.DE-CIVIL.COM

SITE ADDRESS

PARCEL NUMBER: 2162000070

SITE ADDRESS: 4825 EAST MERCER WAY

SHEET INDEX

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GRADING & DRAINAGE PLAN.....	C-1
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SHEET NO.

C-0

1 2 3 4 5 6 7

A

B

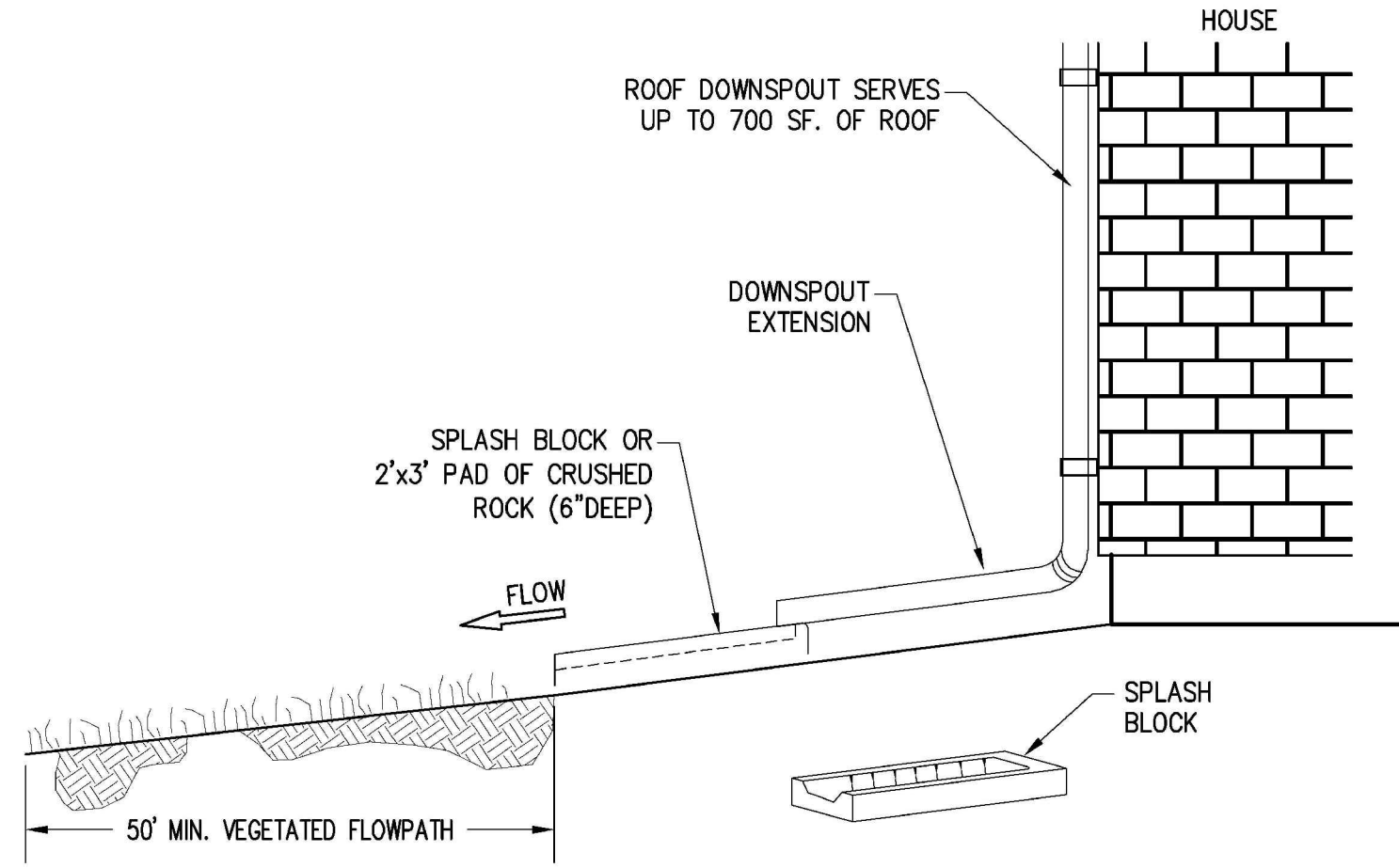
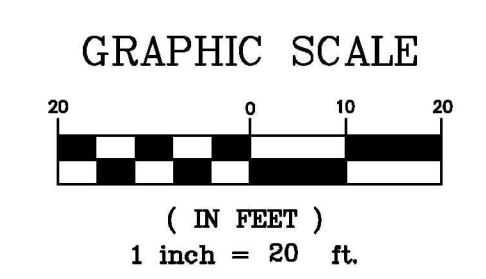
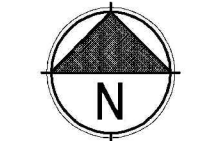
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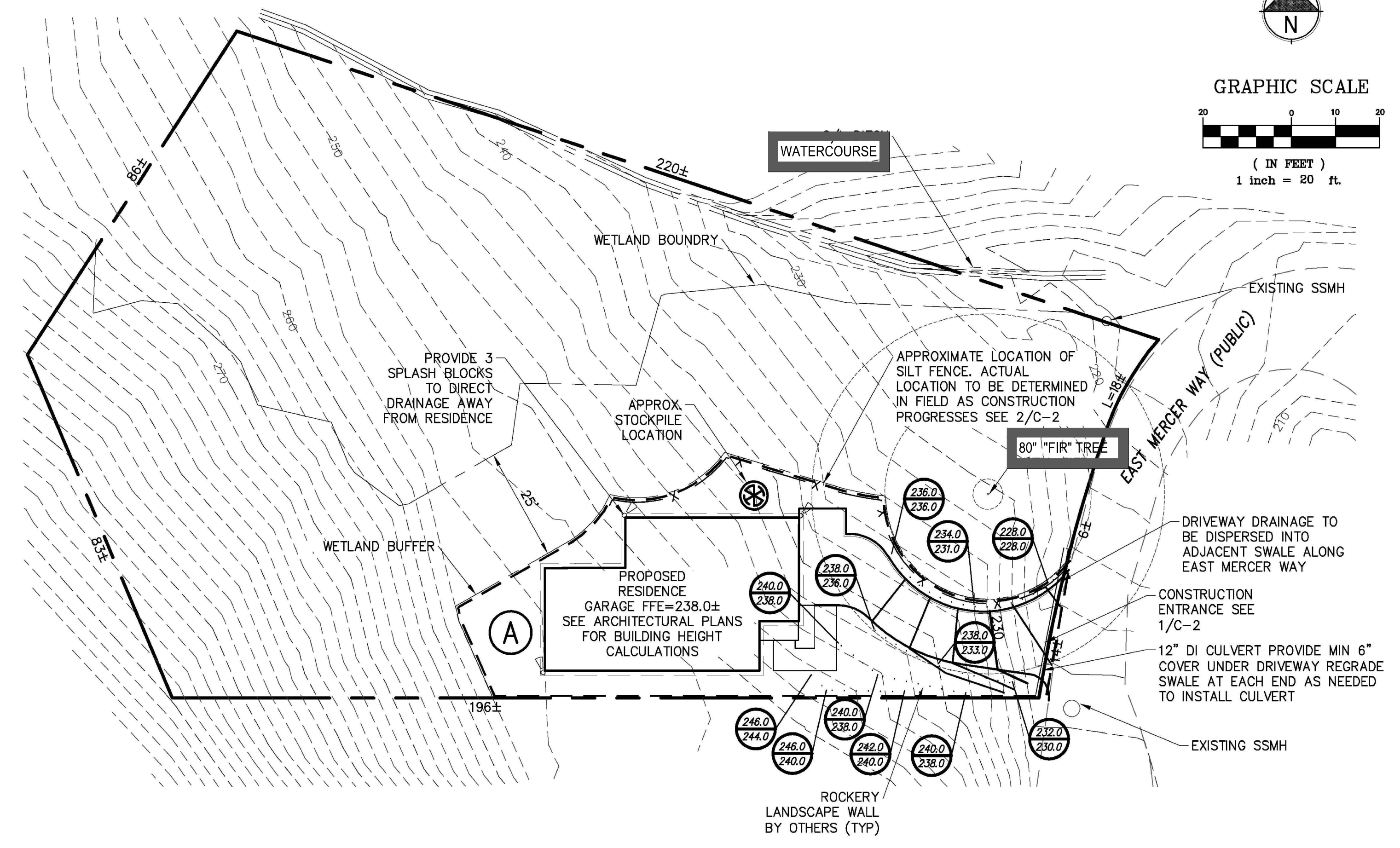
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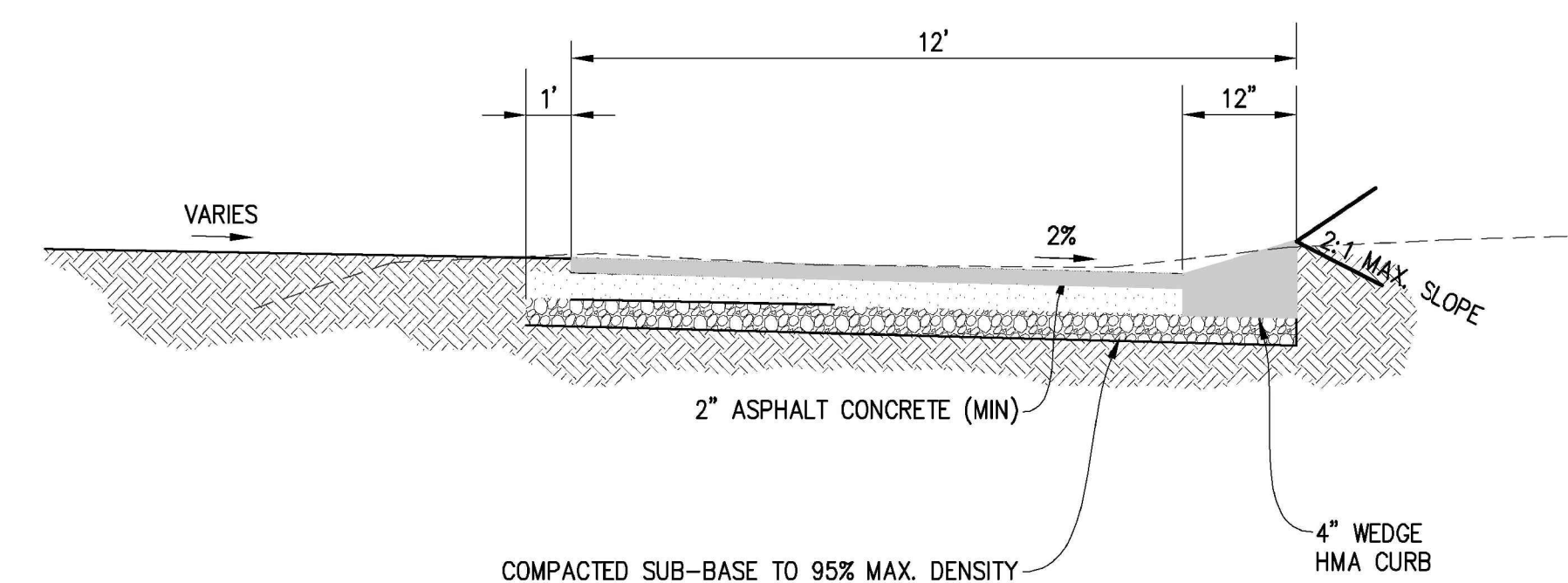
SPLASH BLOCK DETAIL
PER P.C. SWDM SCALE : NTS 1



(A) NOTE:
ALL DISTURBED AREAS ARE TO BE AMENDED USING ONE OF THREE OPTIONS LISTED IN "SOIL AMENDMENT CRITERIA" SEE C-0

SITE STATISTICS

LOT AREA	= 0.61 ACRES (26,761 SQFT)
CLEARED/WORK AREA	= 0.12 ACRES
HOUSE IMPERVIOUS AREA	= 1,850 SQFT
DRIVEWAY IMPERVIOUS AREA	= 950 SQFT



DRIVEWAY SECTION SCALE : NTS 2

DEVELOPMENT ENGINEERING, PLLC
 PREPARED BY: [Logo]
 PHONE: (253) 228-0513
 WWW.DE-CIVIL.COM
 2338 A STREET
 TACOMA, WA 98402
 CIVIL - GEOTECHNICAL

SIGNATURE: [Signature]
 PROFESSIONAL SEAL: [Seal]

REVISIONS:

APPROVALS:

Job No.: 19-104	WGC
Proj. Manager:	WGC
Drawn:	WGC
Reviewed:	WGC
Dwg. Chk.	7/19/19
Date:	AS NOTED
Scale:	

GRADING AND DRAINAGE PLAN - T.E.S.C. PLAN

SHEET NO. **C-1**



SEEDING NOTES

- SEED MIXTURE SHALL BE GRASS SEED AND SHALL BE APPLIED AT A RATE OF 1LB PER 1000SQFT.
- SEED BEDS PLANTED BETWEEN MAY 1 AND OCTOBER 1 WILL REQUIRE IRRIGATION AND OTHER MAINTENANCE AS NECESSARY TO FOSTER AND PROTECT ROOT STRUCTURE.
- FOR SEED BEDS PLANTED BETWEEN OCTOBER 1 AND APRIL 30, ARMORING OF SEED BEDS WILL BE NECESSARY (E.G., GEOTEXTILES, JUTE MAT, CLEAR PLASTIC COVERING).
- BEFORE SEEDING, INSTALL NEEDED SURFACE RUNOFF CONTROL MEASURES SUCH AS GRADIENT TERRACES, INTERCEPTOR DIKES, SWALES, LEVEL SPREADERS, AND SEDIMENT BASINS.
- THE SEED BEDS SHALL BE FIRM WITH A FAIRLY FINE SURFACE, FOLLOWING SURFACE ROUGHENING. PERFORM ALL OPERATIONS ACROSS OR AT RIGHT ANGLES TO THE SLOPE.
- FERTILIZERS ARE TO BE USED ACCORDING TO SUPPLIERS RECOMMENDATIONS. AMOUNTS USED SHOULD BE MINIMIZED, ESPECIALLY ADJACENT TO WATER BODIES AND WETLANDS.

GRADING NOTES

- CUT SLOPES < 2 HORIZONTAL TO 1 VERTICAL OR AS RECOMMENDED BY A SOILS ENGINEER.
- THE CATCH POINT OF THE TOP OF THE SLOPE SET BACK FROM THE BOUNDARY LINE PER THE TABLE;

CUT DEPTH	SETBACK DISTANCE
< 5'	2'
5' - 20'	HEIGHT/2
>20'	10'

- FILL
- FILL SLOPES NOT STEEPER THAN 1 1/2 HORIZONTAL TO 1 VERTICAL OR AS RECOMMENDED BY A SOILS ENGINEER.
- GROUND SURFACE FOR FILLS OVER 5' IN HEIGHT PREPARED BY REMOVING VEGETATION, NONCOMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS AND SCARIFYING.
- GROUND SURFACE FOR FILLS WHERE EXISTING SLOPES ARE > 5 HORIZONTAL TO 1 VERTICAL PREPARED BY BENCHING INTO COMPETENT MATERIAL. THE BENCH IS AT LEAST 10' WIDE OR AS RECOMMENDED BY A SOILS ENGINEER.
- NO MATERIAL OTHER THAN EARTH MATERIAL BURIED OR PLACED IN FILLS.
- THE TOE OR CATCH POINT OF FILL SLOPES SET BACK FROM THE SITE BOUNDARY LINE IN ACCORDANCE WITH THE FOLLOWING TABLE, UNLESS A RETAINING WALLS IS DESIGNED BY AN ENGINEER AND CONSTRUCTED FOR THIS PROJECT;

FILL DEPTH	SETBACK DISTANCE
< 5'	2'
5' - 40'	HEIGHT/2
> 40'	20'

STORMWATER NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND THE MOST CURRENT COPY OF THE STATE OF WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (WSDOT / APWA) AND AS AMENDED BY THE CITY.
- TEMPORARY EROSION/WATER POLLUTION PREVENTION MEASURES SHALL BE REQUIRED IN ACCORDANCE WITH THE DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL AS ADOPTED BY THE CITY AND THE DEPT. OF ECOLOGY'S CONSTRUCTION STORMWATER GENERAL PERMIT.
SHOULD THE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN ON THIS DRAWING NOT PROVE ADEQUATE TO CONTROL EROSION AND SEDIMENTATION, THE APPLICANT/CONTRACTOR SHALL INSTALL ADDITIONAL FACILITIES AS NECESSARY TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
- CALL THE UNDERGROUND LOCATE LINE 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATIONS.
- THE STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED ACCORDING TO APPROVED PLANS ON FILE WITH THE CITY. ANY SIGNIFICANT DEVIATION FROM THE APPROVED PLANS WILL REQUIRE WRITTEN APPROVAL FROM THE CITY.
- A COPY OF THE APPROVED STORMWATER PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ALL EROSION CONTROL AND STORMWATER FACILITIES SHALL BE REGULARLY INSPECTED AND MAINTAINED BY THE DESIGNATED CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESCL) DURING CONSTRUCTION.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN STREET USE AND OTHER RELATED OR REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITY IN THE MUNICIPALITY'S RIGHT OF WAY. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL ABIDE BY ALL REQUIREMENTS FOR TRAFFIC CONTROL AND SAFETY WHEN WORKING IN THE ROAD RIGHT OF WAY.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IN THE EVENT OR DISCOVERY OF POOR SOILS, STANDING GROUNDWATER, OR SEVERE DISCREPANCIES FROM SOIL LOG DESCRIPTIONS AS NOTED ON THE PLANS.
- FOR PUBLIC SYSTEMS, THE CONTRACTOR SHALL CALL FOR INSPECTION 48 HOURS PRIOR TO COVERING ANY DRAINAGE STRUCTURE.
- ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, SHALL HAVE SOLID LOCKING LIDS. ALL DRAINAGE STRUCTURES ASSOCIATED WITH A PERMANENT RETENTION/DETENTION FACILITY SHALL HAVE SOLID LOCKING LIDS.

MULCHING NOTES

- MULCH MATERIALS USED SHALL BE STRAW AND SHALL BE APPLIED AT A RATE OF 100LBS PER 1000SQFT.
- MULCHING SHALL BE APPLIED IN ALL AREAS WITH EXPOSED SLOPES GREATER THAN 2:1.
- MULCHING SHALL BE USED IMMEDIATELY AFTER SEEDING OR IN AREAS WHICH CANNOT BE SEEDED BECAUSE OF THE SEASON.
- ALL AREAS NEEDING MULCH SHALL BE COVERED BY NOVEMBER 1.

CONSTRUCTION ENTRANCE NOTES

- MATERIAL SHALL BE 4" TO 8" QUARRY SPALLS (4" TO 6" FOR RESIDENTIAL SINGLE FAMILY LOTS) AND MAY BE TOP DRESSED WITH 1" TO 3" ROCK.
- THE ROCK PAD SHALL BE AT LEAST 12" THICK AND 100' LONG (20 FEET FOR SITES WITH LESS THAN 1 ACRE OF DISTURBED SOIL). WIDTH SHALL BE THE FULL LENGTH OF THE VEHICLE INGRESS AND EGRESS AREA. SMALLER PADS MAY BE APPROVED FOR SINGLE FAMILY, RESIDENTIAL, AND SMALL COMMERCIAL SITES.
- ADDITIONAL ROCK SHALL BE ADDED PERIODICALLY TO MAINTAIN PROPER FUNCTION OF THE PAD.
- IF THE PAD DOES NOT ADEQUATELY REMOVE THE MUD FROM THE VEHICLE WHEELS, THE WHEELS THE VEHICLE SHALL BE HOSED OFF BEFORE THE VEHICLE ENTERS A PAVED STREET. THE WASHING SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK AND WASH WATER SHALL DRAIN TO A SEDIMENT RETENTION FACILITY OR THROUGH A SILT FENCE.

SILT FENCE NOTES

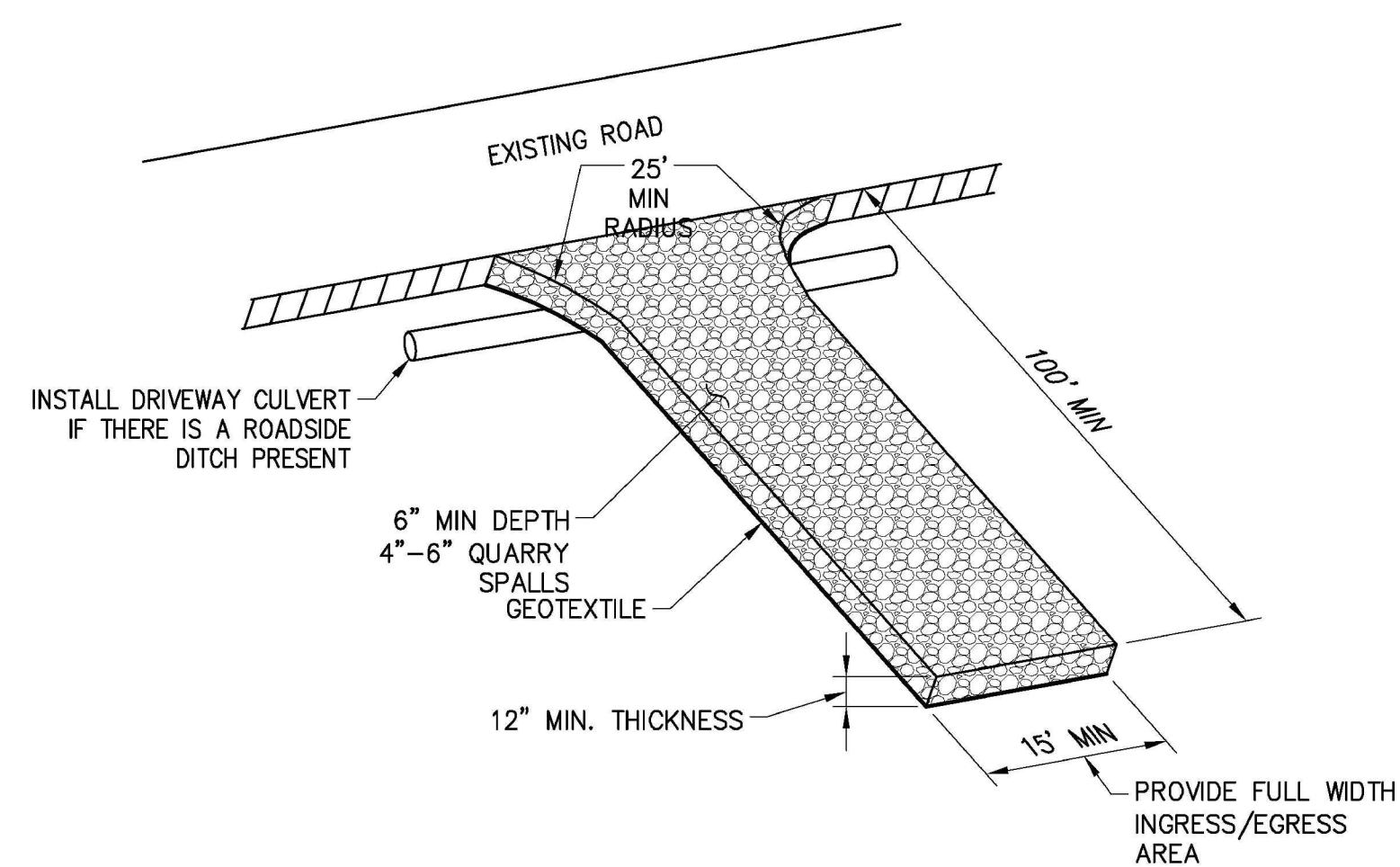
- FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL AND CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY FASTENED ON BOTH ENDS TO POST.
- POSTS SHALL BE A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 30").
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 8" WIDE AND 12" DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER. THIS TRENCH SHALL BE BACKFILLED WITH WASHED GRAVEL.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1" LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 4" AND SHALL NOT EXTEND MORE THAN 24" ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 20" OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 24" ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POST WITH ALL OTHER PROVISIONS OF ABOVE NOTES APPLYING.
- FILTER FABRIC FENCES SHALL NOT BE REMOVED BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
- FILTER FABRIC FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SILT FENCES WILL BE INSTALLED PARALLEL TO ANY SLOPE CONTOURS.
- CONTRIBUTING LENGTH TO FENCE WILL NOT BE GREATER THAN 100'.
- DO NOT INSTALL BELOW AN OUTLET PIPE OR WEIR.
- INSTALL DOWNSLOPE OF EXPOSED AREAS.
- DO NOT DRIVE OVER OR FILL OVER SILT FENCES.

STOCKPILING SOIL NOTES

- STOCKPILES SHALL BE STABILIZED (WITH PLASTIC COVERING OR OTHER APPROVED DEVICE) DAILY BETWEEN OCTOBER 1 AND APRIL 30.
- IN ANY SEASON, SEDIMENT LEACHING FROM PILES MUST BE PREVENTED.
- TOPSOIL SHALL NOT BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR WHEN CONDITIONS EXIST THAT MAY BE OTHERWISE DETRIMENTAL TO PROPER GRADING OR PROPOSED SODDING OR SEEDING.
- PREVIOUSLY ESTABLISHED GRADES ON THE AREAS TO BE TOPSOILED SHALL BE MAINTAINED ACCORDING TO THE APPROVED PLAN.

TEMPORARY EROSION AND SEDIMENTATION CONTROL NOTES:

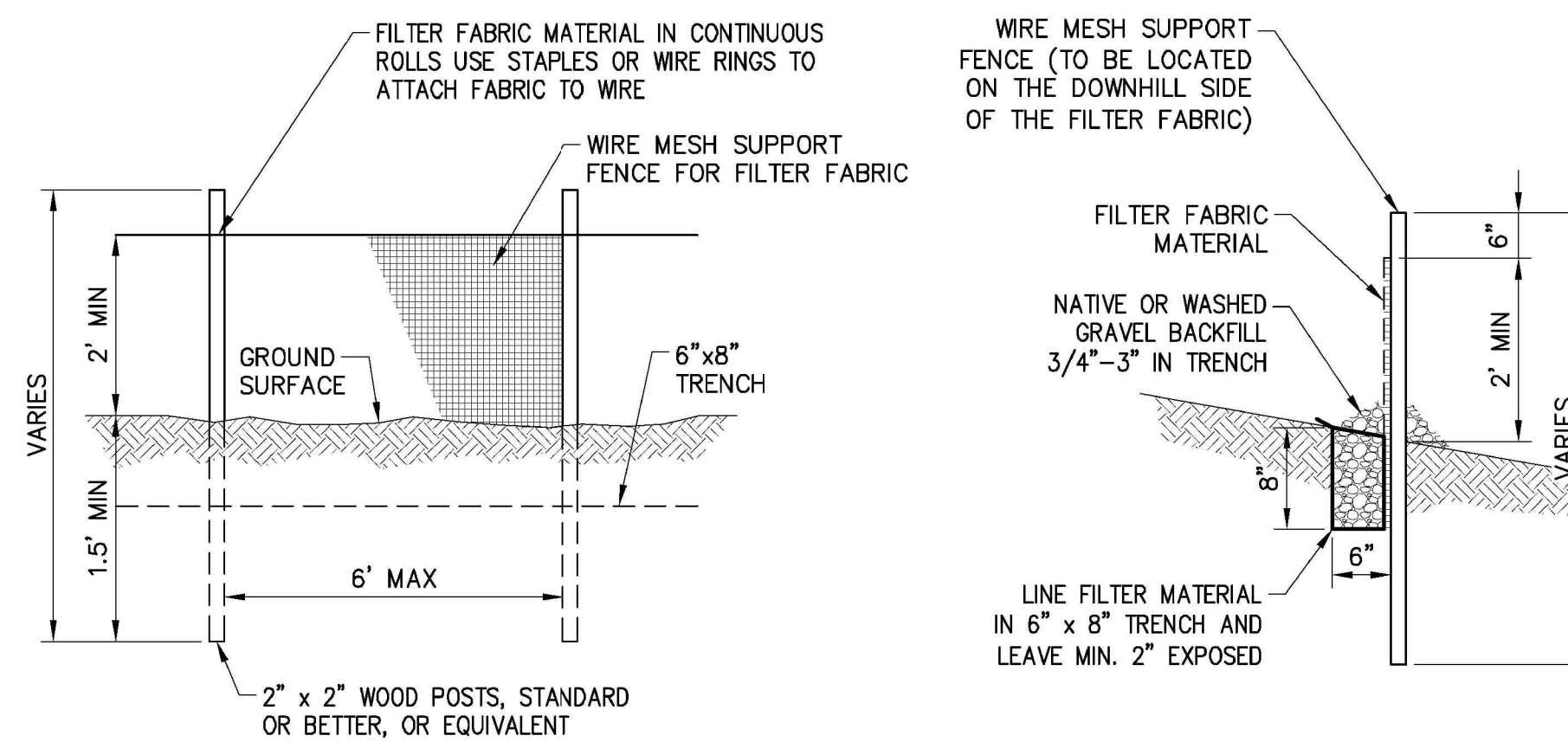
- APPROVAL OF THIS TEMPORARY EROSION AND SEDIMENTATION CONTROL (TESC) PLAN DOES NOT CONSTITUTE AND APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS RETENTION FACILITIES, UTILITIES, ETC.)
- THE IMPLEMENTATION OF THESE EROSION AND SEDIMENT CONTROL PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED, THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
- THE TESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAY DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED TESC METHODS (E.G. SEEDING, MULCHING, PLASTIC COVERING, ETC.)
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
- AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSIDE SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.



CONSTRUCTION ENTRANCE

SCALE : NTS

1



SILT FENCE

SCALE : NTS

2



GENERAL NOTES & DETAILS

SHEET NO.

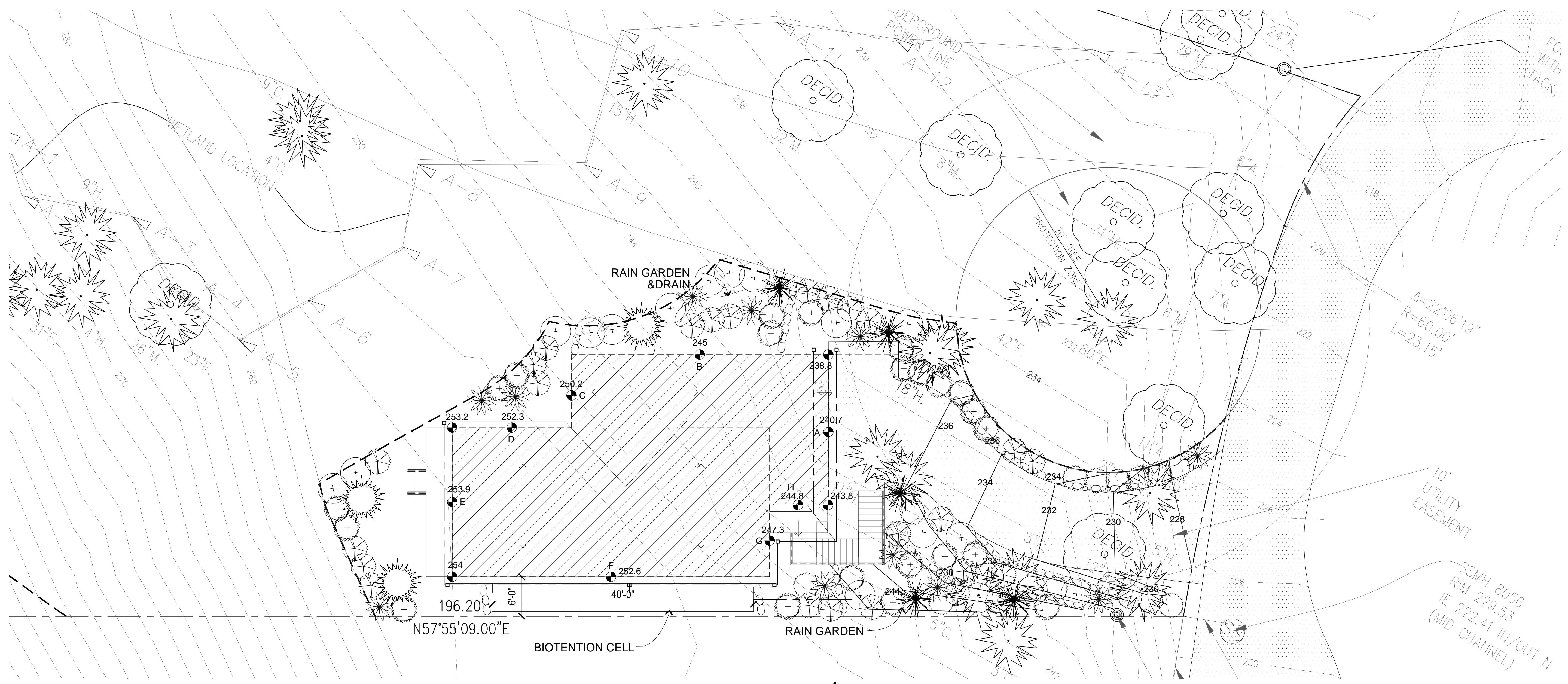
C-2

DEVELOPMENT ENGINEERING, PLLC
 PREPARED BY: [Logo]
 PHONE: (253) 228-9513
 WWW.DE-CHIL.COM
 2306 A STREET
 TACOMA, WA 98402
 CIVIL - GEOTECHNICAL

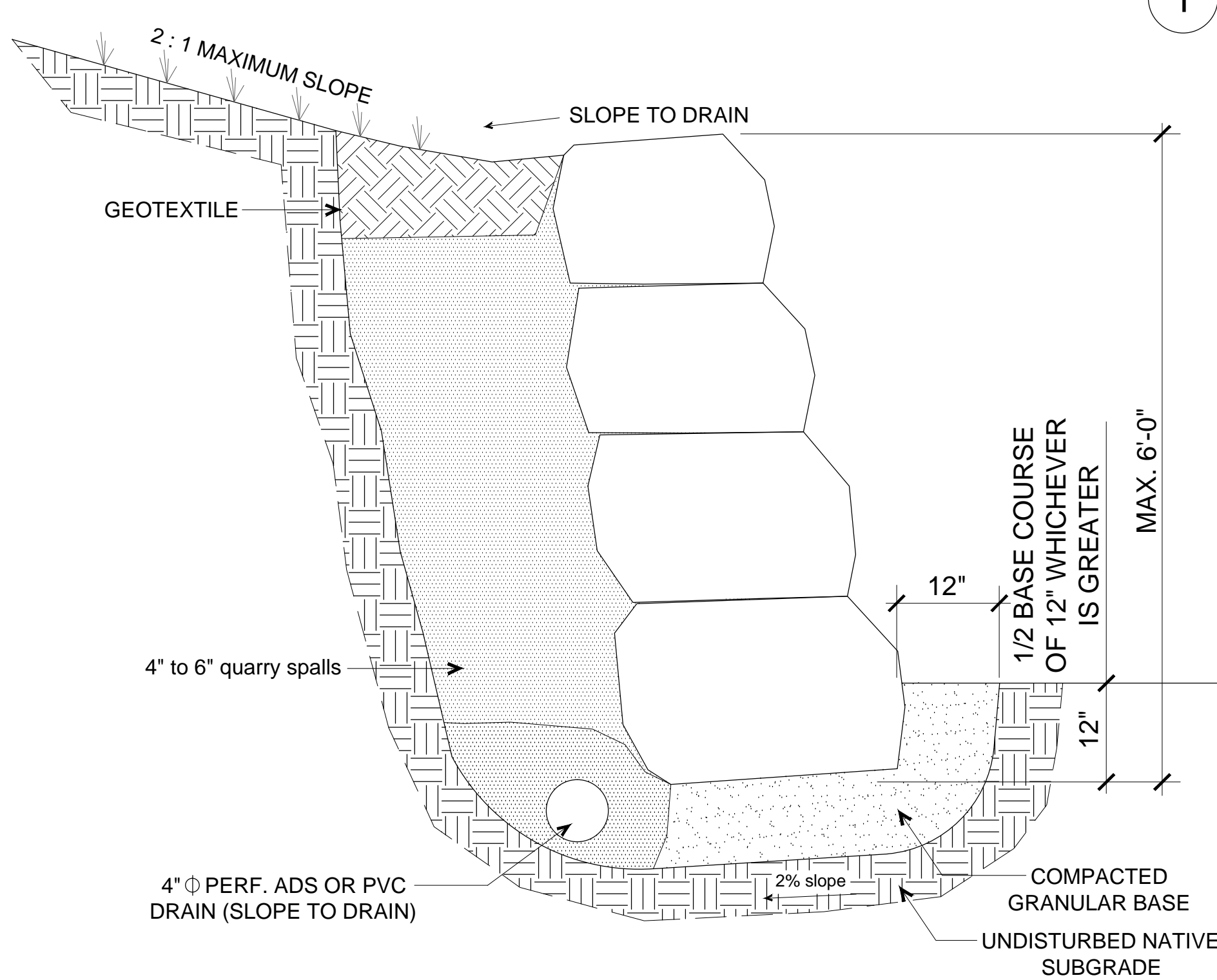
SIGNATURE: [Signature]
 PROJECT: [Stamp]
 DATE: 7/19/19

REVISIONS: [Table with 3 columns: No., Description, Date]

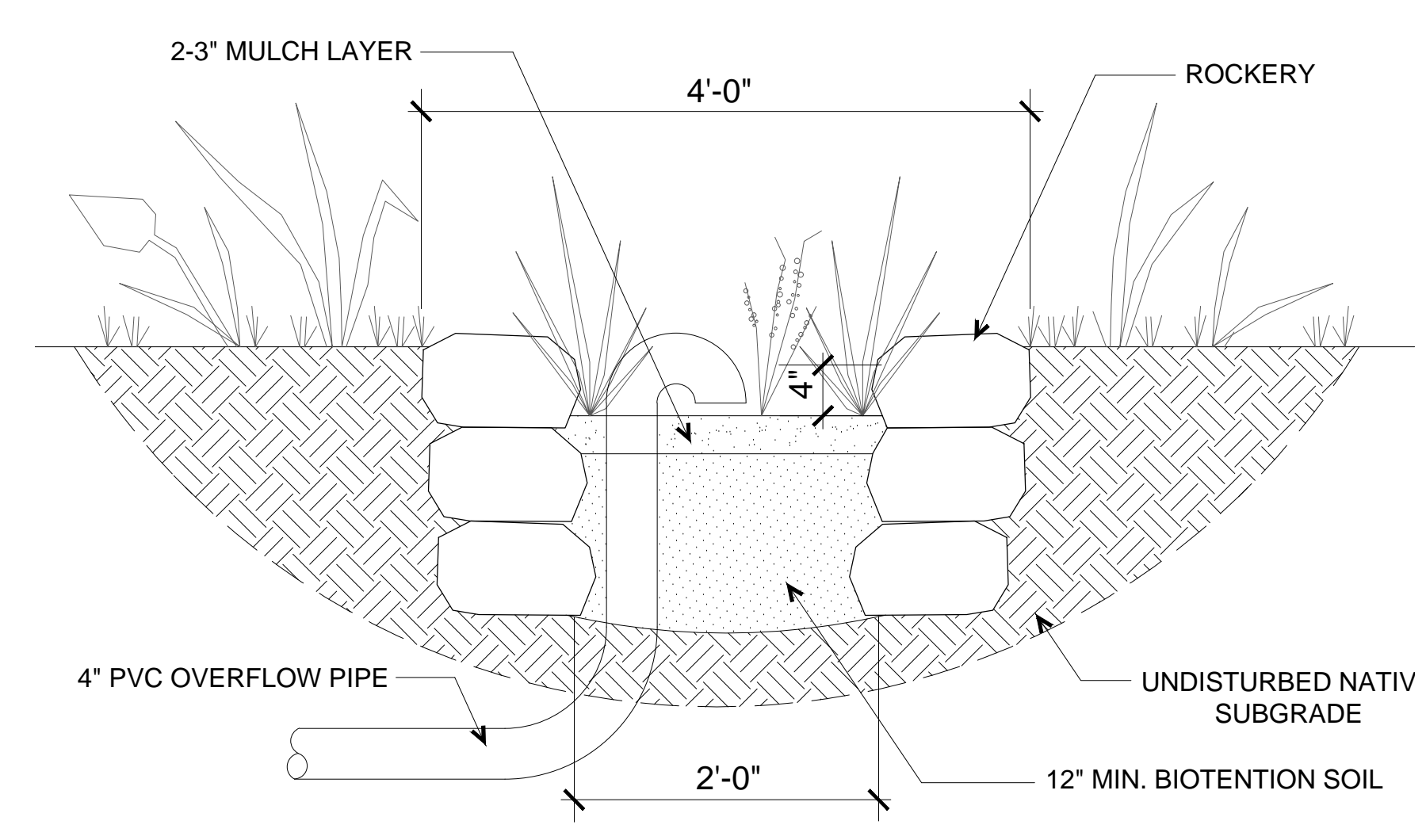
APPROVALS: [Table with 3 columns: Role, Name, Date]
 Job No.: 19-104
 Proj. Manager: WCC
 Drawn: WCC
 Reviewed: WCC
 Dwg. Chk.: WCC
 Date: 7/19/19
 Scale: AS NOTED



1 LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



2 ROCKERY DETAIL
SCALE: NTS



3 BIORETENTION CELL DETAIL
SCALE: NTS

SYMBOL	NUM	COMMON NAME SCIENTIFIC NAME	LOCATION	PROPOSED SPACING (oc)	PROPOSED SIZE	INDICATOR STATUS
	1	Sitka spruce (PIS) <i>Picea sitchensis</i>	Wetland	18 ft	5 ft height	FAC
	shrub					
	23	Vine maple (ACC) <i>Acer circinatum</i>	Buffer	6 ft	2 gal	FACU
	11	Western crabapple (PYF) <i>Pyrus fusca</i>	Buffer	8 ft	2 gal	FACU
	19	Wild Rose (ROG) <i>Rosa gymnocarpa</i>	Buffer	4 ft	2 gal	FACU
	15	Black twinberry (LOI) <i>Lonicera involucrata</i>	Buffer	4 ft	2 gal	FACU
	7	Pacific ninebark (PHC) <i>Physocarpus capitatus</i>	Buffer	4 ft	2 gal	FACU
	23	Hazelnut (COC) <i>Corylus cornuta</i>	Buffer	4 ft	2 gal	FACU

8974 REGISTERED ARCHITECT
KI Y. NAM
STATE OF WASHINGTON

ARCH/TEC INTERNATIONAL
23605 MILITARY RD S
FEDERALWAY WAY 98003
TEL: (253)-219-5943
FAX: (253)-945-2855

DRAWING

DRAWN: JK

CHECKED: KN

ISSUE

DATE: 7/14/2019

REVISIONS

NO.	DATE	DESCRIPTION	BY

CLIENT APPROVAL

APPROVED: DATE:

SHEET TITLE

LANDSCAPING

PROJECT TITLE

HOU RESIDENCE
4825 EAST MERCER ISLAND
WA 98040

PROJ. NO.

SHEET NO.

L1