

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

(STATUTORY WARRANTY DEED, AFN 20140528001270)
 LOT C OF YATES CITY OF MERCER ISLAND SHORT PLAT MI-77-1003, RECORDED UNDER KING COUNTY RECORDING NUMBER 7702170581, BEING A PORTION OF LOTS 14 THROUGH 25, INCLUSIVE, FLOOD'S DEARBORN ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 33 OF PLATS, PAGE 40, IN KING COUNTY, WASHINGTON.
 SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

PER PLAT OF FLOOD - DEARBORN ADDITION BASED UPON EXISTING MONUMENTATION AND RECOVERED SURVEY POINTS PER REF. 1

REFERENCES

R1 UNRECORDED SURVEY BY M.W. MARSHALL, PROFESSIONAL LAND SURVEYOR, DATED NOV. 14, 2013, JOB NO. 5006. SAID SURVEY REFERENCES UNRECORDED SURVEYS WITHIN THIS BLOCK BY HARSTAD & ASSOC., JOHN H. MILLER PLS. & C. & T. LAND SURVEYING, THE PLAT OF WEYBURN, AND SURVEYS BY JONES, BASSI & ASSOC. THROUGHOUT THE SUBJECT PLAT.

VERTICAL DATUM

NAVD88 PER GPS OBSERVATIONS

SURVEYOR'S NOTES

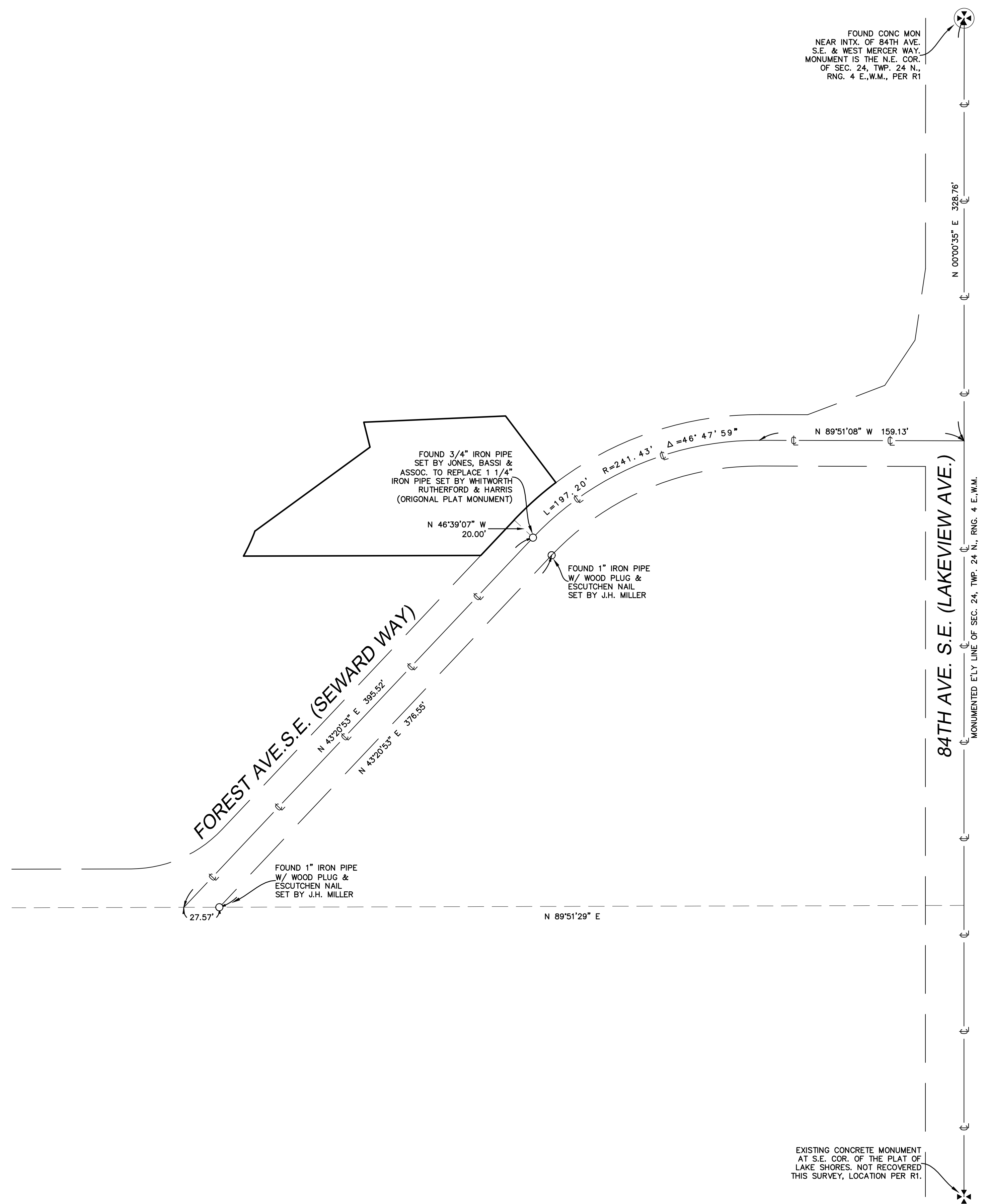
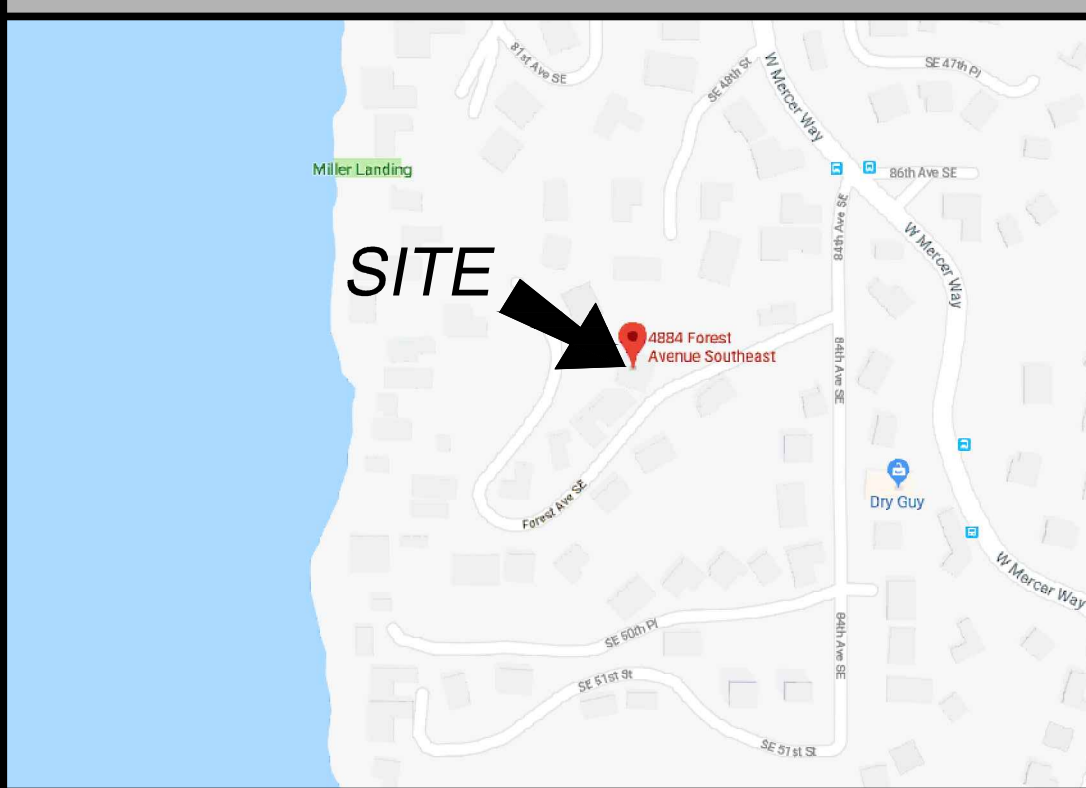
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2017 & APRIL OF 2018. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. TERRANE ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
4. SUBJECT PROPERTY TAX PARCEL NO. 257490-0080
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 17,458 S.F. (0.40 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

	FOUND CASED SURVEY MONUMENT		FIRE HYDRANT
	MONUMENT PER RECORD LOCATION		WATER METER
	FOUND REBAR/IRON PIPE		WATER VALVE
	SET REBAR/CAP		WETLAND FLAG
	SET NAIL/SHINER		FLOW LINE, STREAM
	AIR CONDITIONING UNIT		POWER LINE (OVERHEAD)
	GUY POLE		SEWER LINE
	GUY WIRE		UTILITY LINE (BURIED)
	POWER METER		BUILDING
	POWER POLE		WOOD BORDER/CONC WALL
	SEWER MANHOLE		ASPHALT SURFACE
	AREA DRAIN		CONCRETE SURFACE
	CULVERT		DECK
	TREE (TYPE, SIZE)		HEDGE

VICINITY MAP

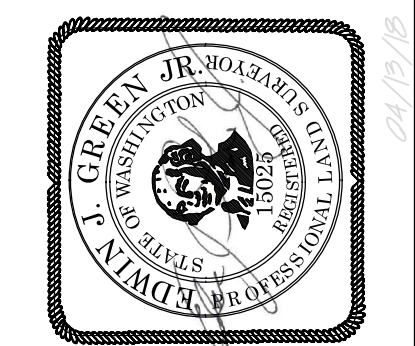
N.T.S.



measure success

TOPOGRAPHIC & BOUNDARY SURVEY
 NE 1/4 OF NE 1/4 SEC 24, TWP. 24 N., RGE 4 E., W.M.
 PARCEL NO. 257490-0080

CROWDER RESIDENCE
 4884 FOREST AVE. S.E.
 MERCER ISLAND ~ WASHINGTON ~ 98040



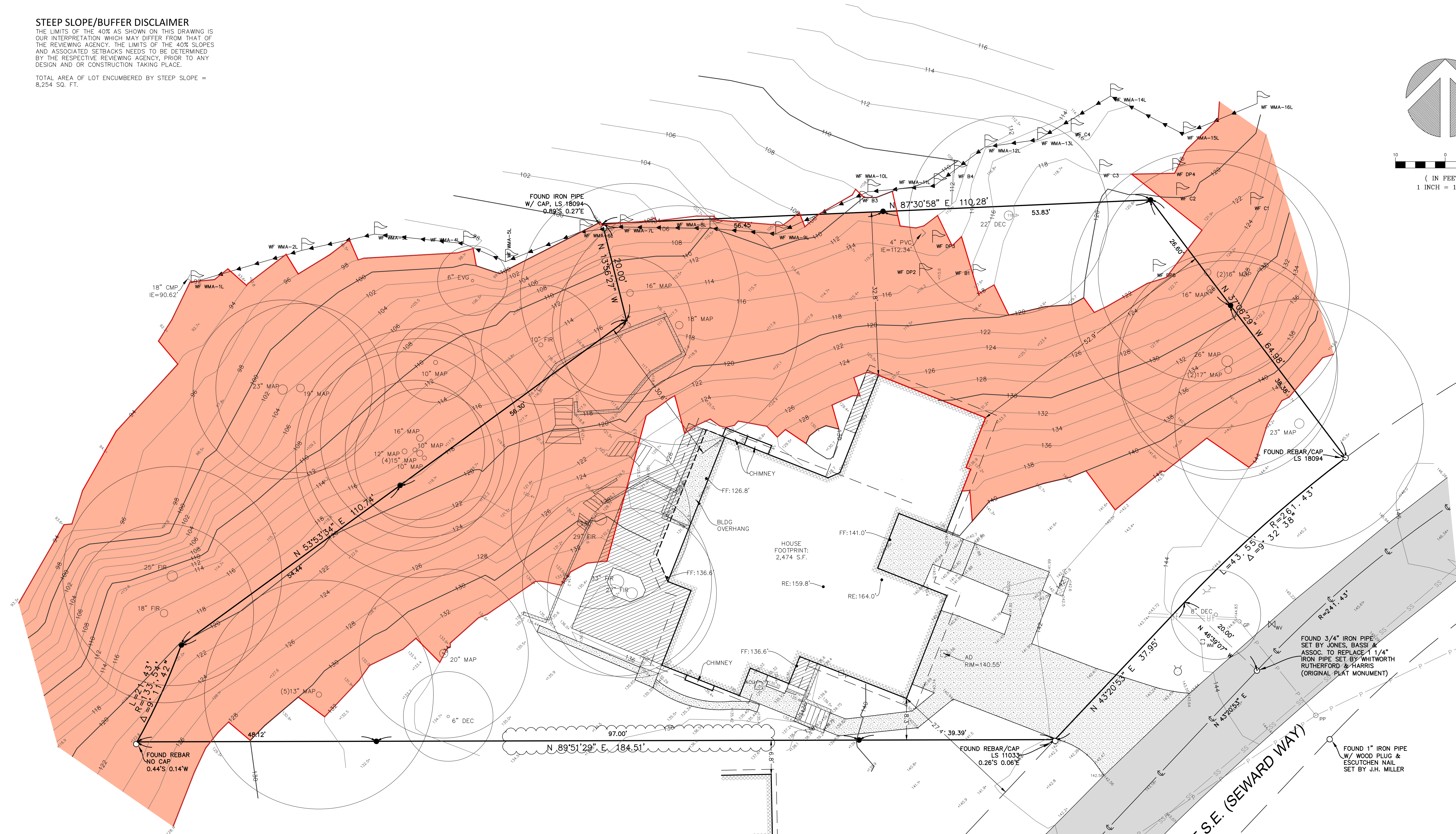
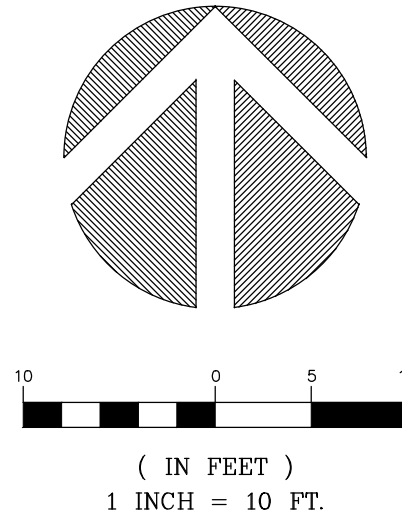
Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER:	171041
DATE:	4/4/18
DRAFTED BY:	RLS
CHECKED BY:	EJG/TMM
SCALE:	N.T.S.
REVISION HISTORY	
SHEET NUMBER	
1 OF 2	

TOPOGRAPHIC & BOUNDARY SURVEY

STEEP SLOPE/BUFFER DISCLAIMER
 THE LIMITS OF THE 40% AS SHOWN ON THIS DRAWING IS OUR INTERPRETATION WHICH MAY DIFFER FROM THAT OF THE REVIEWING AGENCY. THE LIMITS OF THE 40% SLOPES AND ASSOCIATED SETBACKS NEEDS TO BE DETERMINED BY THE RESPECTIVE REVIEWING AGENCY, PRIOR TO ANY DESIGN AND OR CONSTRUCTION TAKING PLACE.

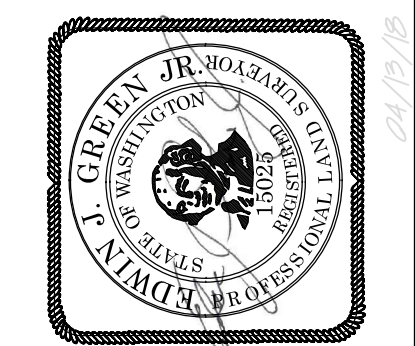
TOTAL AREA OF LOT ENCUMBERED BY STEEP SLOPE = 8,254 SQ. FT.



LEGEND

TOPOGRAPHIC & BOUNDARY SURVEY
 NE 1/4 OF NE 1/4 SEC 24, TWP. 24 N., RGE 4 E., W.M.
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JOB NUMBER:	171041
DATE:	4/4/18
DRAFTED BY:	RLS
CHECKED BY:	EJG/TMM
SCALE:	1" = 10'
REVISION HISTORY	
SHEET NUMBER	
2 OF 2	

measure success

**CROWDER RESIDENCE
CRITICAL AREA DETERMINATION
4884 FOREST AVE SE
MERCER ISLAND, WA 98040**

**EROSION & CONSTRUCTION
STORMWATER CONTROL
SITE PLAN**

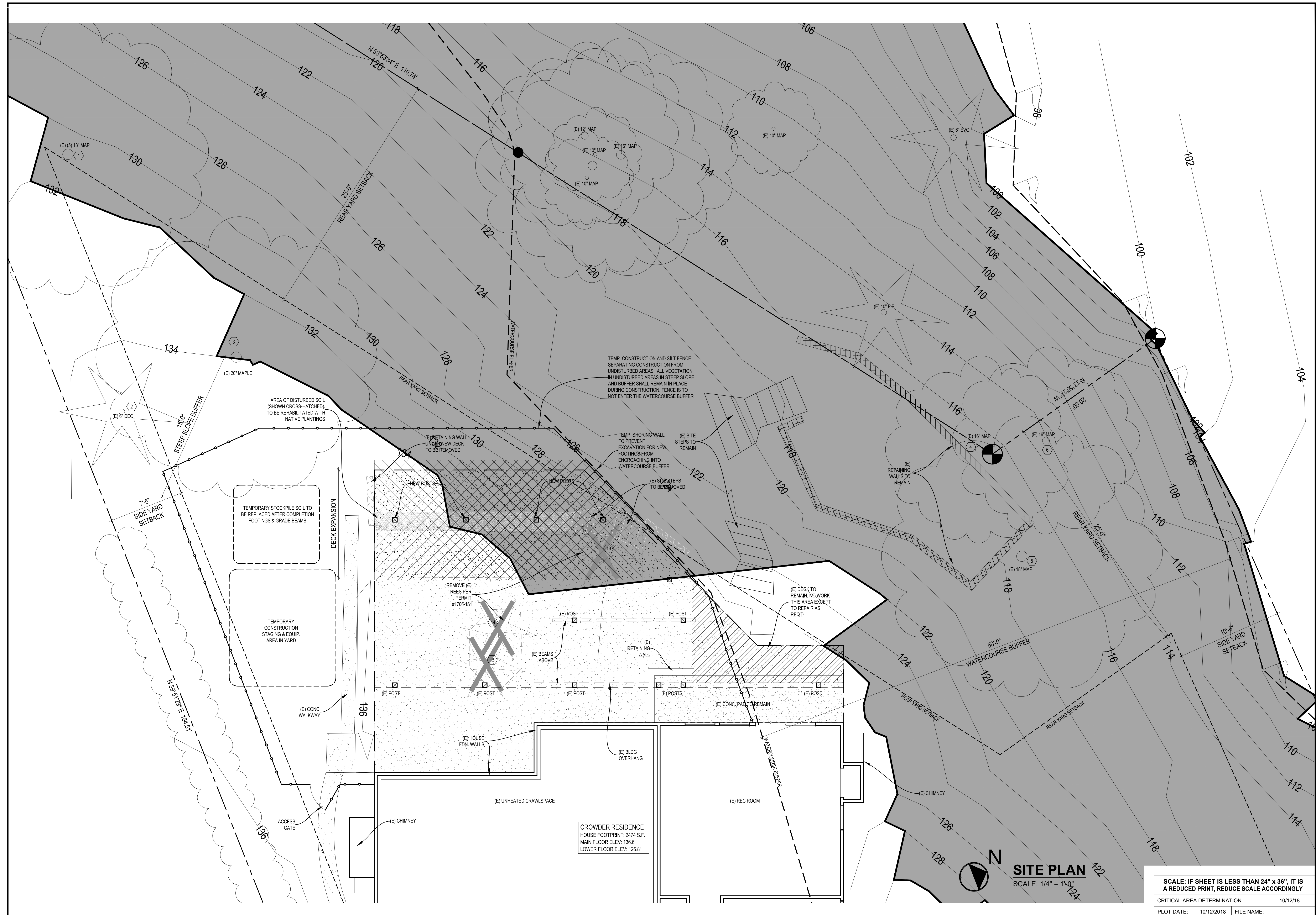
REVISIONS:	

DRAWN BY: KE

CHECKED BY: BJS

SHEET

C1.1



CROWDER RESIDENCE
HOUSE FOOTPRINT: 2474 S.F.
MAIN FLOOR ELEV: 138.8'
LOWER FLOOR ELEV: 126.8'

SITE PLAN
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS
A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
CRITICAL AREA DETERMINATION 10/12/18
PLOT DATE: 10/12/2018 FILE NAME:

REVISIONS:

DRAWN BY: KE
CHECKED BY: BJS

SHEET
A2.0



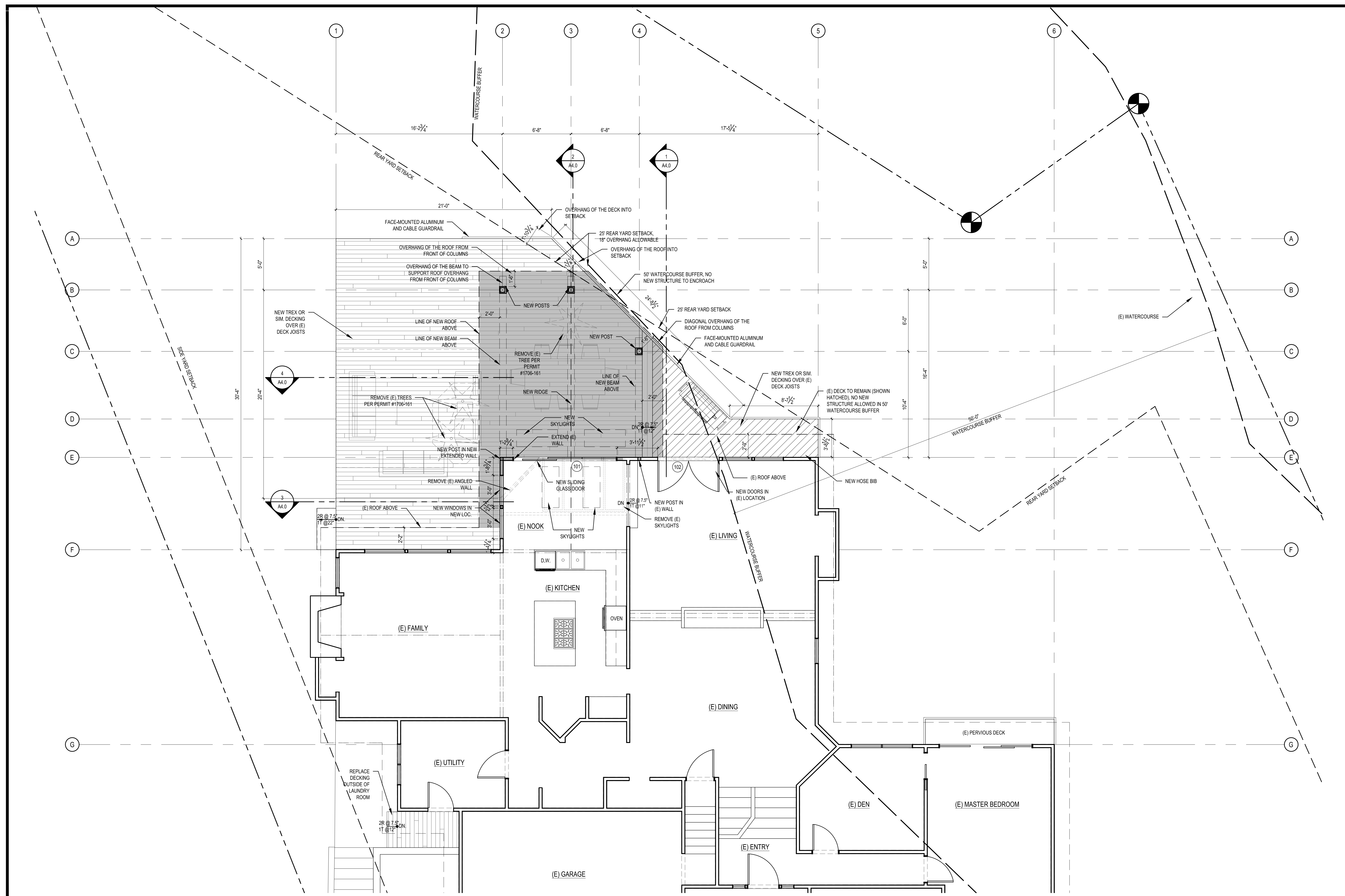
LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
CRITICAL AREA DETERMINATION 10/12/18
PLOT DATE: 10/12/2018 FILE NAME:

REVISIONS:

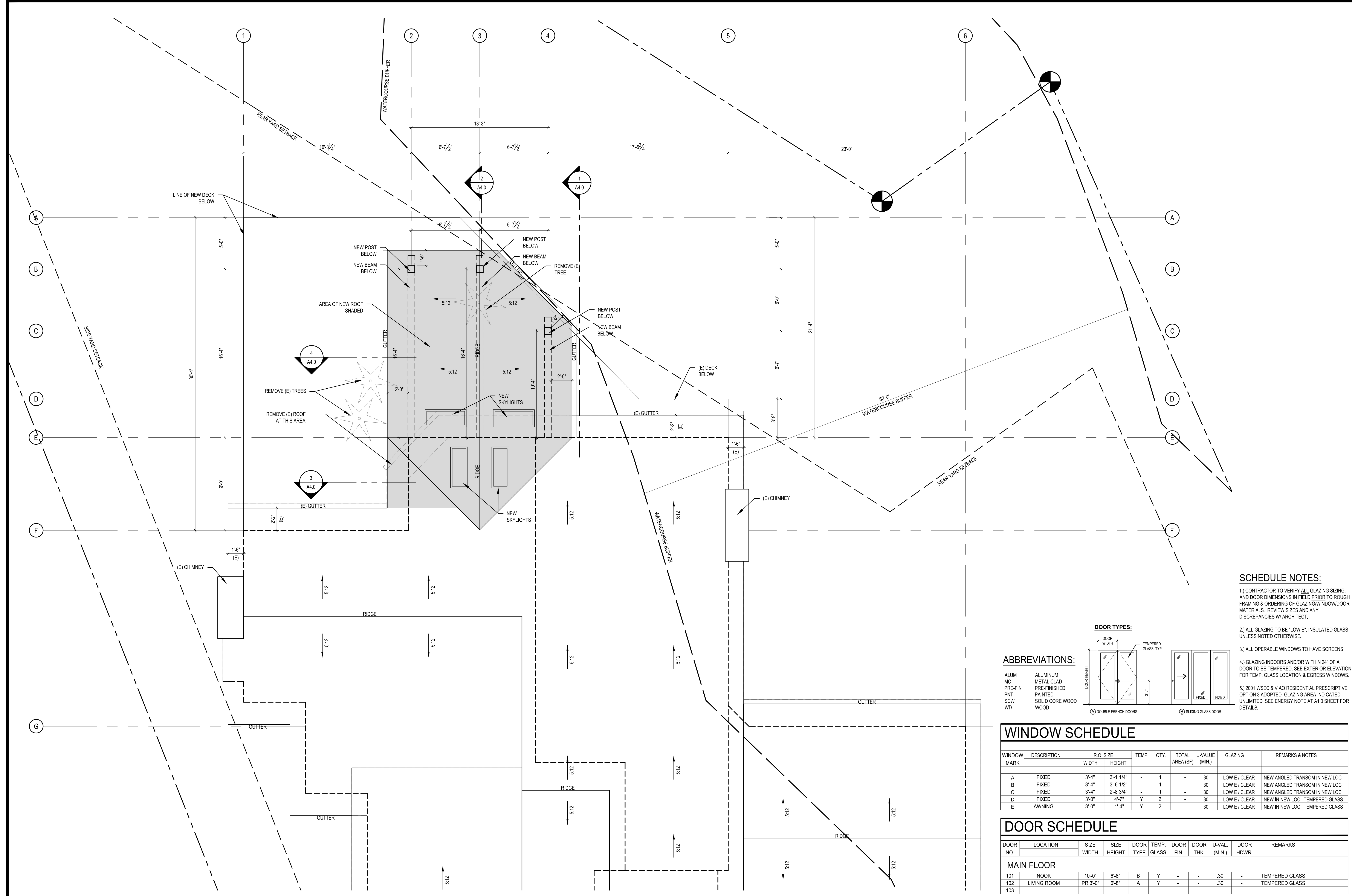
DRAWN BY: KE
CHECKED BY: BJS

SHEET
A2.1



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

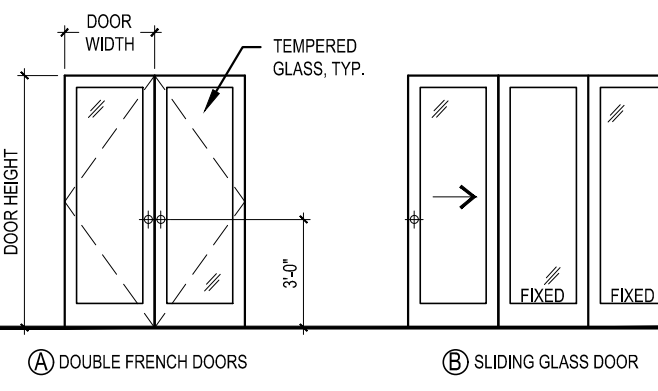
SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
CRITICAL AREA DETERMINATION 10/12/18
PLOT DATE: 10/12/2018 FILE NAME:



SCHEDULE NOTES:

- 1) CONTRACTOR TO VERIFY ALL GLAZING SIZING, AND DOOR DIMENSIONS IN FIELD PRIOR TO ROUGH FRAMING & ORDERING OF GLAZING/WINDOW/DOOR MATERIALS. REVIEW SIZES AND ANY DISCREPANCIES W/ ARCHITECT.
- 2) ALL GLAZING TO BE "LOW E", INSULATED GLASS UNLESS NOTED OTHERWISE.
- 3) ALL OPERABLE WINDOWS TO HAVE SCREENS.
- 4) GLAZING INDOORS AND/OR WITHIN 24" OF A DOOR TO BE TEMPERED. SEE EXTERIOR ELEVATION FOR TEMP. GLASS LOCATION & EGRESS WINDOWS.
- 5) 2001 WSEC & VIAQ RESIDENTIAL PRESCRIPTIVE OPTION 3 ADOPTED. GLAZING AREA INDICATED UNLIMITED. SEE ENERGY NOTE AT A1.0 SHEET FOR DETAILS.

DOOR TYPES:



ABBREVIATIONS:

- ALUM ALUMINUM
- MC METAL CLAD
- PRE-FIN PRE-FINISHED
- PNT PAINTED
- SCW SOLID CORE WOOD
- WD WOOD

WINDOW SCHEDULE

WINDOW MARK	DESCRIPTION	R.O. SIZE WIDTH HEIGHT	TEMP.	QTY.	TOTAL AREA (SF)	U-VALUE (MIN.)	GLAZING	REMARKS & NOTES
A	FIXED	3'-4" 3'-1 1/4"	-	1	-	.30	LOW E / CLEAR	NEW ANGLED TRANSOM IN NEW LOC.
B	FIXED	3'-4" 3'-6 1/2"	-	1	-	.30	LOW E / CLEAR	NEW ANGLED TRANSOM IN NEW LOC.
C	FIXED	3'-4" 2'-8 3/4"	-	1	-	.30	LOW E / CLEAR	NEW ANGLED TRANSOM IN NEW LOC.
D	FIXED	3'-0" 4'-7"	Y	2	-	.30	LOW E / CLEAR	NEW IN NEW LOC. TEMPERED GLASS
E	AWNING	3'-0" 1'-4"	Y	2	-	.30	LOW E / CLEAR	NEW IN NEW LOC. TEMPERED GLASS

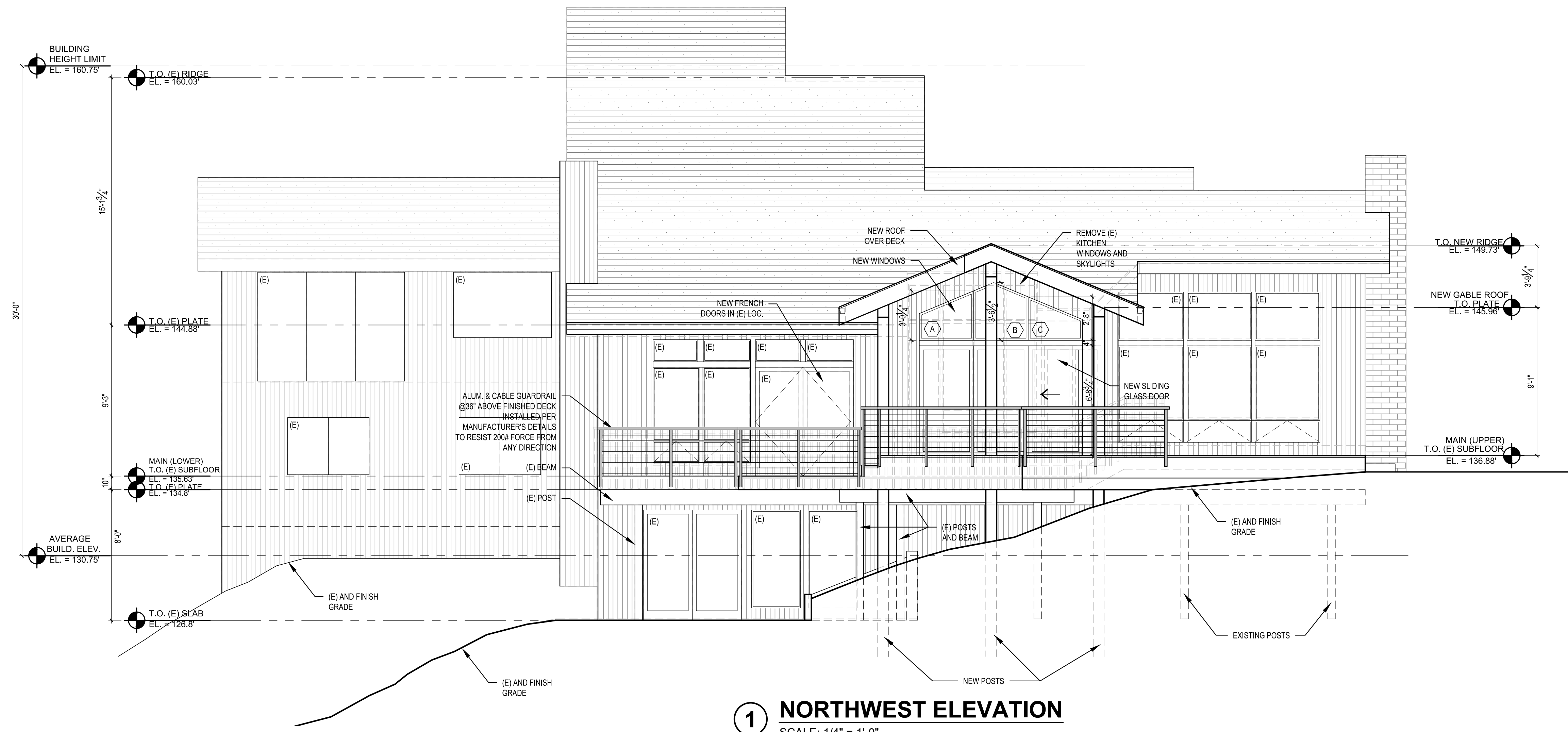
DOOR SCHEDULE

DOOR NO.	LOCATION	SIZE WIDTH HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR FIN.	DOOR THK.	U-VAL. (MIN.)	DOOR HDWR.	REMARKS
MAIN FLOOR									
101	NOOK	10'-0" 6'-8"	B	Y	-	-	.30	-	TEMPERED GLASS
102	LIVING ROOM	PR 3'-0" 6'-8"	A	Y	-	-	.30	-	TEMPERED GLASS
103									

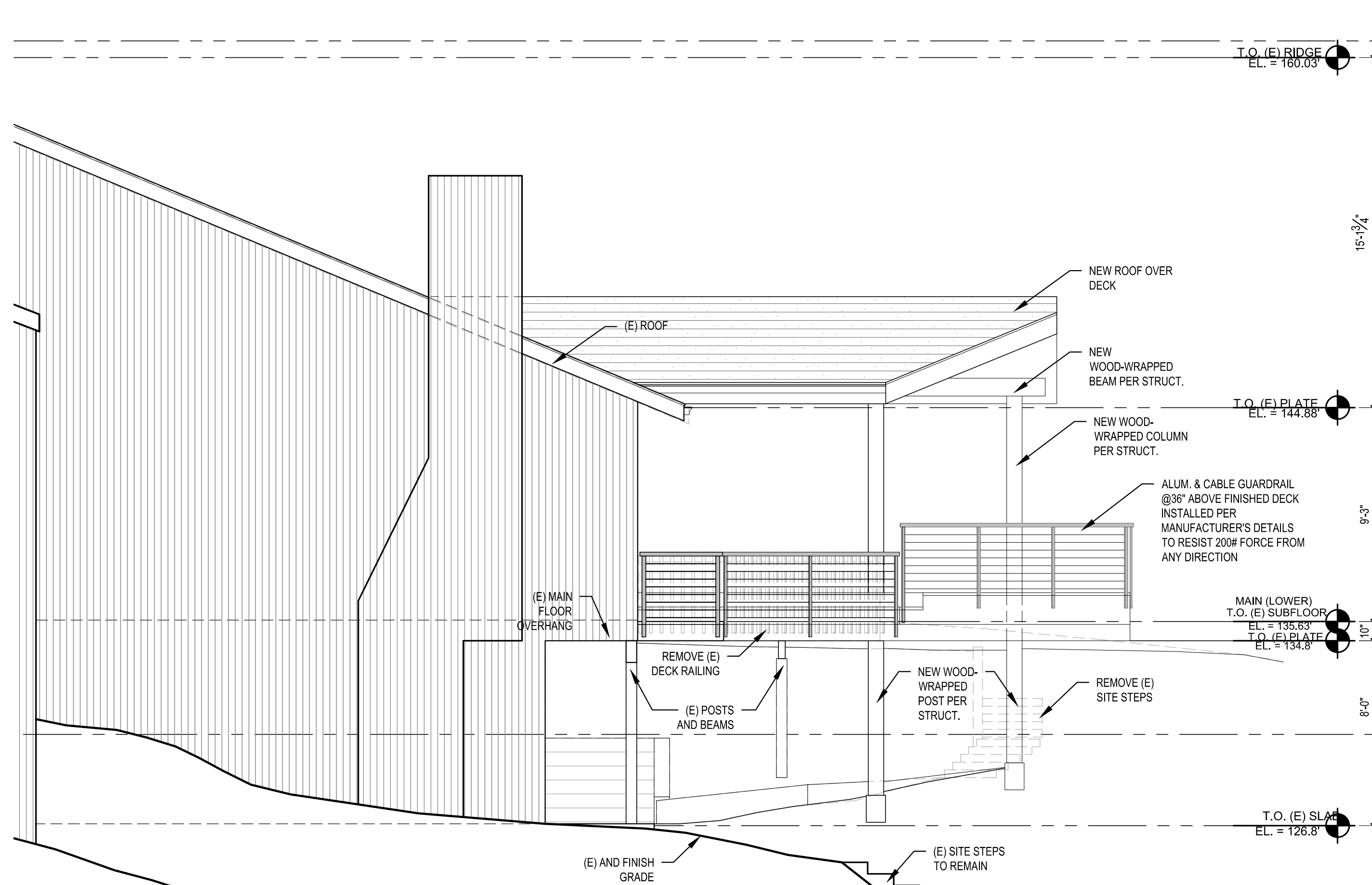
ROOF PLAN
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
CRITICAL AREA DETERMINATION 10/12/18
PLOT DATE: 10/12/2018 FILE NAME:

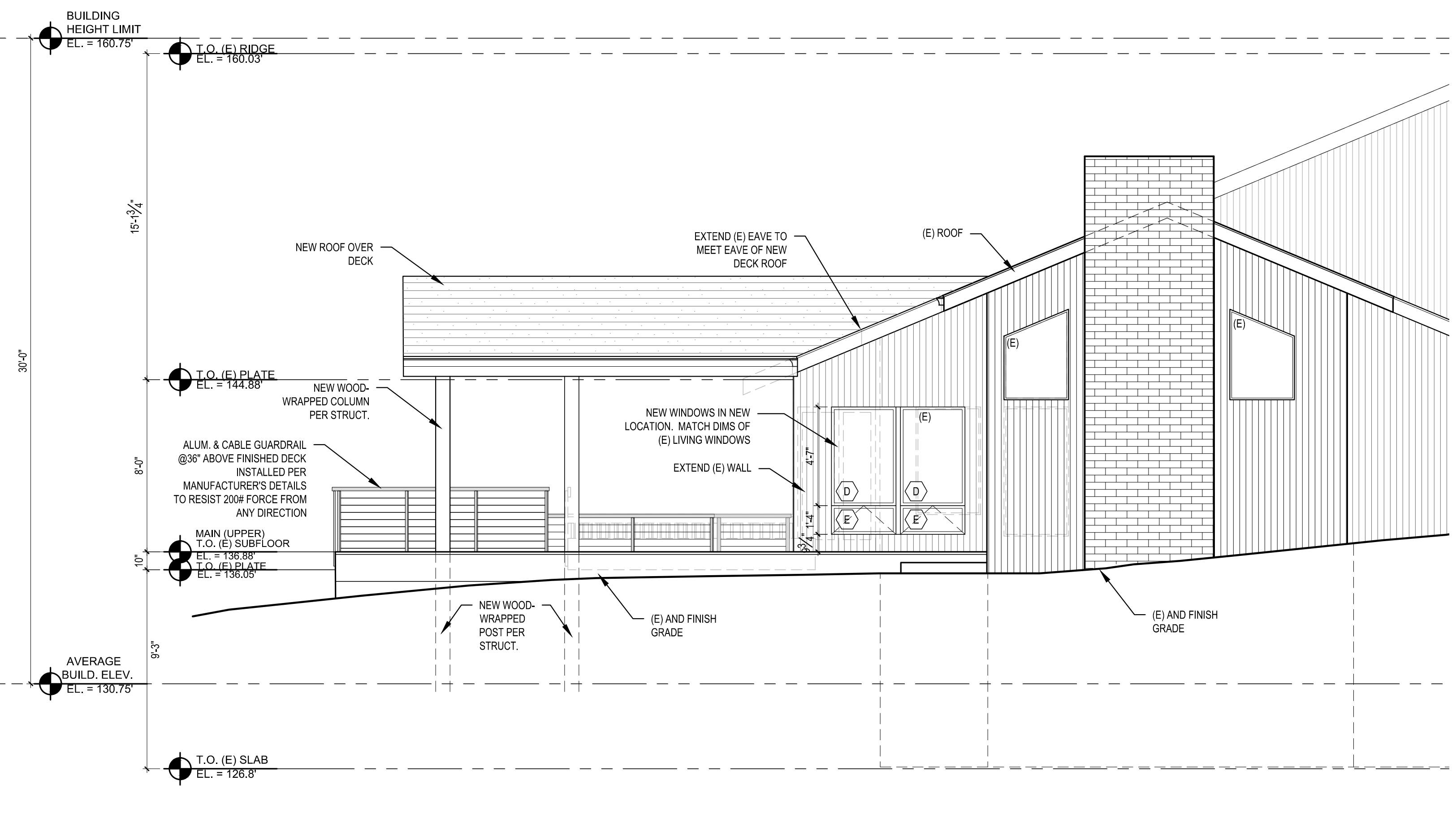
REVISIONS:
DRAWN BY: KE
CHECKED BY: BJS



1 NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

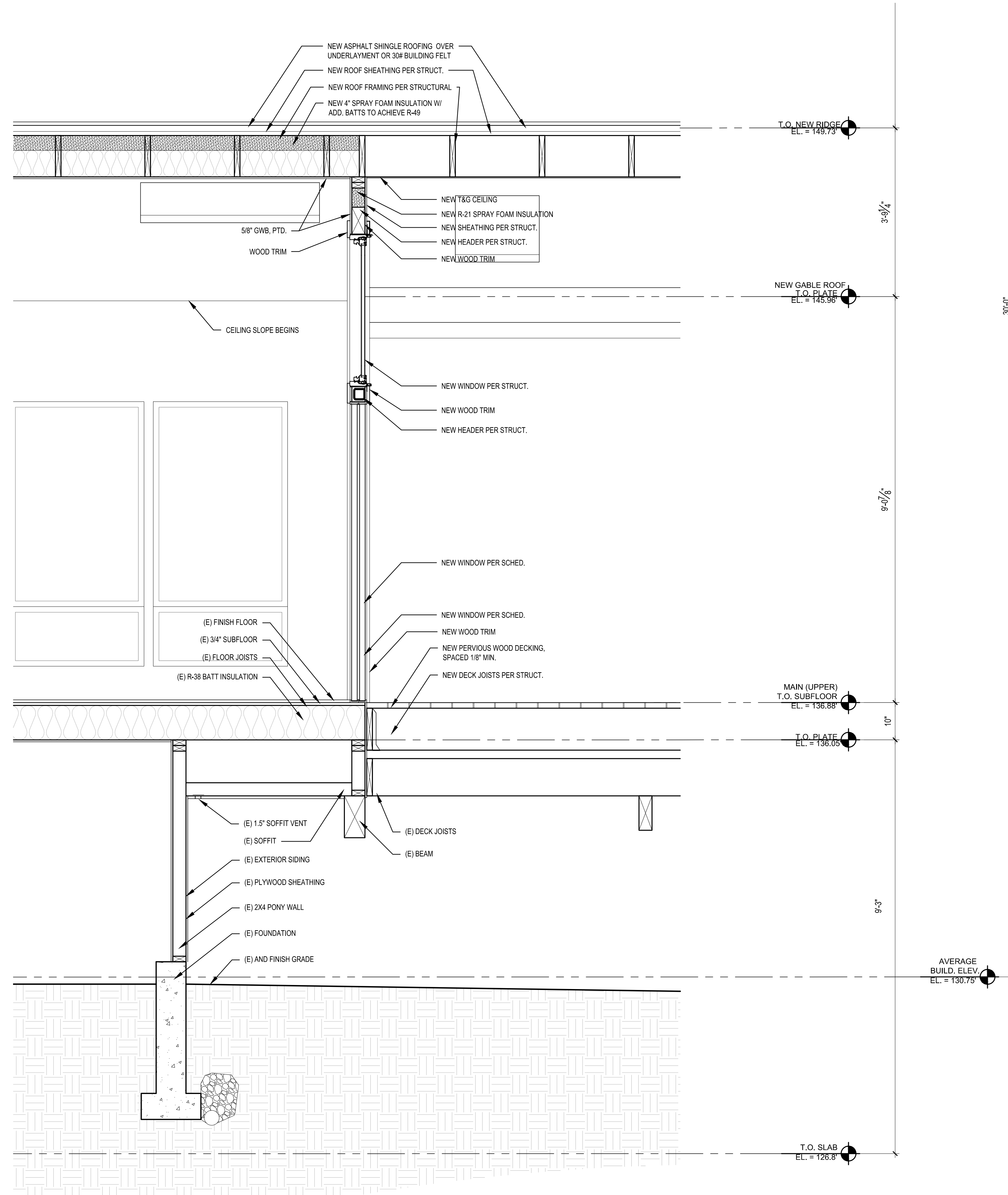


3 SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
CRITICAL AREA DETERMINATION 10/12/18
PLOT DATE: 10/12/2018 FILE NAME:

REVISIONS:
DRAWN BY: KE
CHECKED BY: BJS

SHEET
A3.0



1 WALL SECTION
 SCALE: 3/4" = 1'-0"

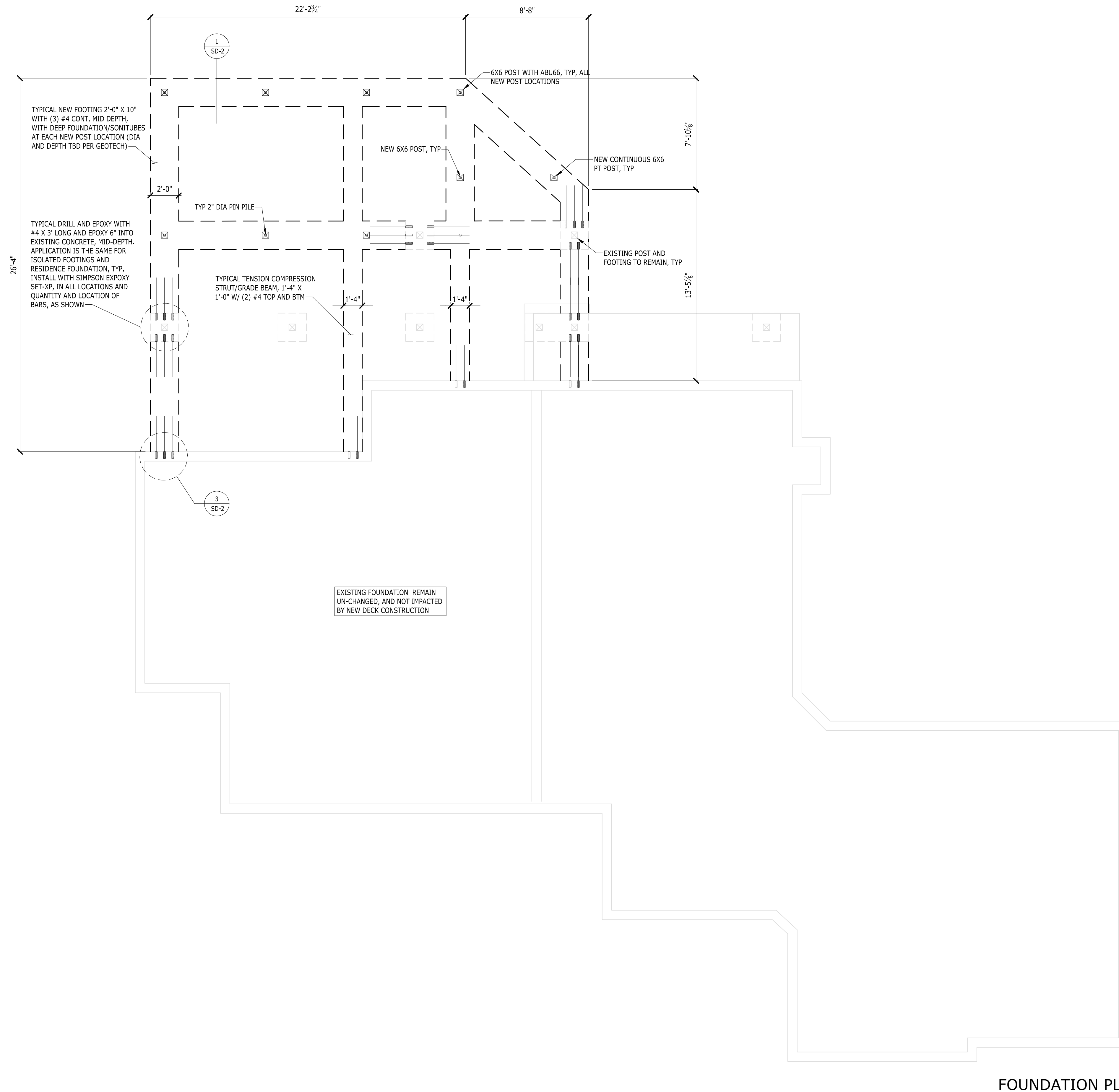
WALL SECTION

REVISIONS:

DRAWN BY: KE
 CHECKED BY: BJS

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 CRITICAL AREA DETERMINATION 10/12/18
 PLOT DATE: 10/12/2018 FILE NAME:

SHEET
A5.0



FOUNDATION PLAN

FOUNDATION NOTES

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PROVIDED DIMENSIONS ARE TO FACE OF CONCRETE STEM WALL OR CENTER OF INDIVIDUAL FOOTING. OUTSIDE FACE OF STEM WALL ALIGNS WITH OUTSIDE FACE OF STUD WALL UNO. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD/HTT HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- VERIFY ALL T/CONC ELEVATIONS ON ALL CONCRETE INCLUDING PARTIAL HEIGHT RETAINING WALLS. CONCRETE TO EXTEND MIN 8" ABOVE FINISHED GRADE. PROVIDE 1" RECESS AT DOUBLE SIDED SHEARWALLS TO ACCOMODATE 3X SILL PLATE.
- FOOTINGS ARE TO BEAR ON COMPETENT NATIVE SOIL OR STRUCTURAL FILL CAPABLE OF SUPPORTING THE ASSUMED BEARING PRESSURE PER GENERAL NOTES. REFERENCE GEOTECHNICAL REPORT (IF AVAILABLE) FOR SUBGRADE PREPARATION, FILL REQUIREMENTS, FOOTING DRAINS, AND OTHER REQUIREMENTS. PROVIDE FOOTING DRAINS AROUND PERIMETER OF BUILDING.
- PRIOR TO POURING CONCRETE CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS OF ALL FOUNDATION OPENINGS, PENETRATIONS, AND SLOPES.
- ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- HOLDOWNS BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER SPECIFICATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. HOLDOWN THREADED RODS SHALL BE ASTM F1554 (36KSI) HDG UNO. EMBEDDED END OF THREADED ROD TO HAVE 3"X3"X1/4" HDG PLATE WASHER BETWEEN TWO HAND-TIGHTENED HDG STANDARD NUTS.
- CJ INDICATES CONTROL JOINT.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- EXTERIOR STAIRS AND STEEL-FRAMED STAIRS BY OTHERS.
- TYPICAL DETAILS:
 - 2/SD-1 TYP INTERIOR FOOTING
 - 4/SD-1 TYP FOOTING STEP
 - 5/SD-1 TYP CORNER BARS REQ'T
 - 7/SD-1 TYP CONSTRUCTION JOINT
 - 8/SD-1 TYP BAR BEND AND HOOK DETAIL

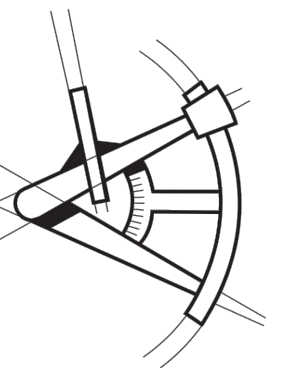
HOLDOWN SCHEDULE			
MODEL	ANCHOR	EMBEDMENT	MIN END POST
CS16/CS14	-	-	1-2X EA
MST#	-	-	2-2X OR 3X
STHD14/STHD14R	-	-	2-2X OR 3X
HDU2	5/8" TR	12"	2-2X OR 3X
HDU5	5/8" TR	12"	2-2X
HDU8	7/8" TR	12"	3-2X
HDU11	1" TR	12"	6X6
HDU14	1" TR	15"	6X6
HD19	1 1/4" TR	15"	6X6

FOUNDATION LEGEND

- INDICATES STEP AT T/FOUNDATION
- INDICATES STEP AT B/FOUNDATION
- TANK WALL (TOP OF WALL NOT TO STEP WITHIN HATCHED REGION)
- HOLDOWN BY SIMPSON (STHD/HDU/HD/HTT, TYP)
- FOOTING CENTERED ON POST (L X W X T)



LONGITUDE
ONE TWENTY°
ENGINEERING & DESIGN



REVISIONS

DESCRIPTION	DATE	BY
-	-	-

PROJECT NAME

CHUMBLEY RESIDENCE
921 BROADWAY E,
SEATTLE, WA 98102

PROJECT NUMBER

S180712-3

DRAWN BY - MR

CHECKED BY - MRT

SHEET DATE - 10/04/2018

SCALE

24X36 SHEET:1/4"=1'-0"

DESCRIPTION
FOUNDATION PLAN

SHEET
S-2