

LEGAL DESCRIPTION

(STATUTORY WARRANTY DEED, AFN 20140528001270)

LOT C OF YATES CITY OF MERCER ISLAND SHORT PLAT MI-77-1003, RECORDED UNDER KING COUNTY RECORDING NUMBER 7702170581, BEING A PORTION OF LOTS 14 THROUGH 25, INCLUSIVE, FLOOD'S DEARBORN ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 33 OF PLATS, PAGE 40, IN KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

PER PLAT OF FLOOD — DEARBORN ADDITION BASED UPON EXISTING MONUMENTATION AND RECOVERED SURVEY POINTS PER REF. 1

REFERENCES

R1 UNRECORDED SURVEY BY M.W. MARSHALL
PROFESSIONAL LAND SURVEYOR, DATED NOV. 14, 2013,
JOB NO. 5006. SAID SURVEY REFERENCES UNRECORDED
SURVEYS WITHIN THIS BLOCK BY HARSTAD & ASSOC.,
JOHN H. MILLER PLS, & C. & T. LAND SURVEYING, THE
PLAT OF WEYBURN, AND SURVEYS BY JONES, BASSI
& ASSOC. THROUGHOUT THE SUBJECT PLAT.

VERTICAL DATUM

NAVD88 PER GPS OBSERVATIONS

SURVEYOR'S NOTES

- 1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2017 & APRIL OF 2018. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- 2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
- 3. BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. TERRANE ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
- 4. SUBJECT PROPERTY TAX PARCEL NO. 257490-0080
- 5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 17,458 S.F. (0.40 ACRES)
- 6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
- 7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5—SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332—130—090.

LEGEND

FOUND CASED SURVEY MONUMENT FIRE HYDRANT MONUMENT PER RECORD LOCATION FOUND REBAR/IRON PIPE SET REBAR/CAP WETLAND FLAG WETLAND FLAG SET NAIL/SHINER AIR CONDITIONING UNIT P POWER LINE (OVERHEAD) GUY POLE GUY WIRE TIRE HYDRANT FIRE HYDRANT WATER METER WETLAND FLAG WETLAND FLAG FLOW LINE, STREAM AIR CONDITIONING UNIT P POWER LINE (OVERHEAD) TO GP GUY WIRE THE HYDRANT UTILITY LINE (BURRIED)

POWER METER

POWER POLE

SEWER MANHOLE

BUILDING

WOOD BORDER/CONC WALL

ASPHALT SURFACE

SEWER MANHOLE

AREA DRAIN

CULVERT

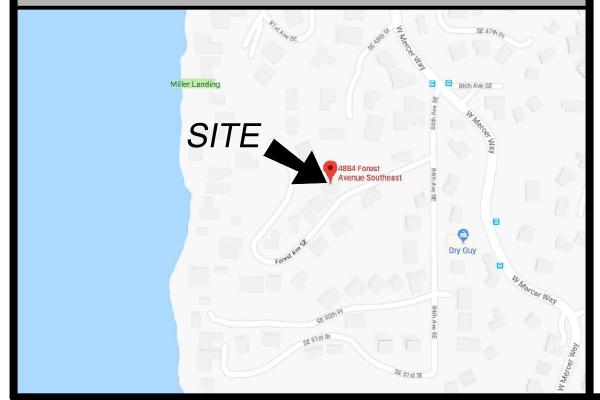
ASPHALT SURFACE

CONCRETE SURFACE

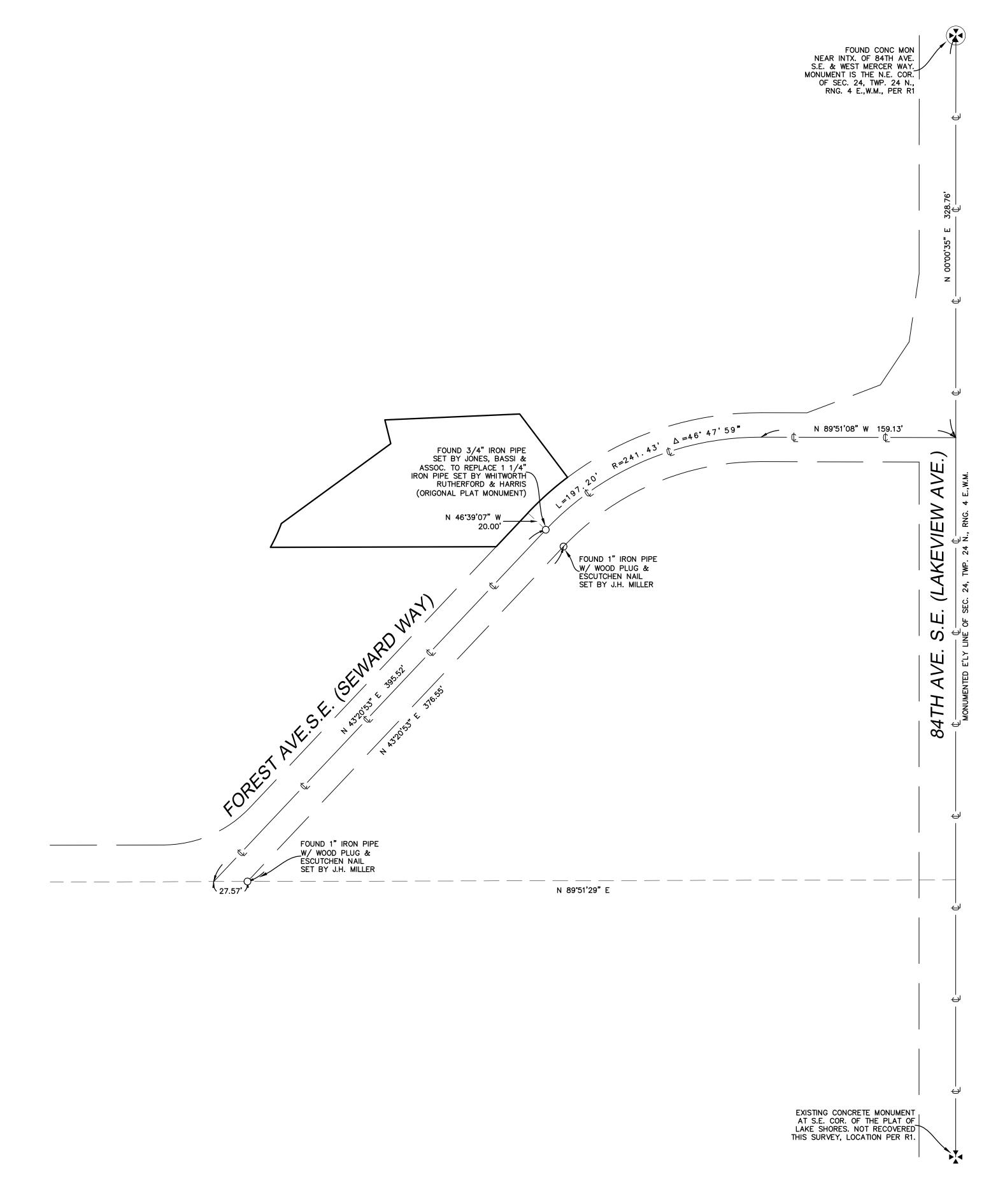
DECK

TREE (TYPE, SIZE)

VICINITY MAP



TOPOGRAPHIC & BOUNDARY SURVEY



measure succe

R RESIDENCE

SURVEN

BOUNDARY

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CROWDER RESIDI

STAND SOUNT IN NO. 15025

102, Bellevue, WA 98004 88 support@terrane.net

JOB NUMBER: 171041

DATE: 4/4/18

DRAFTED BY: RLS

CHECKED BY: EJG/TMM

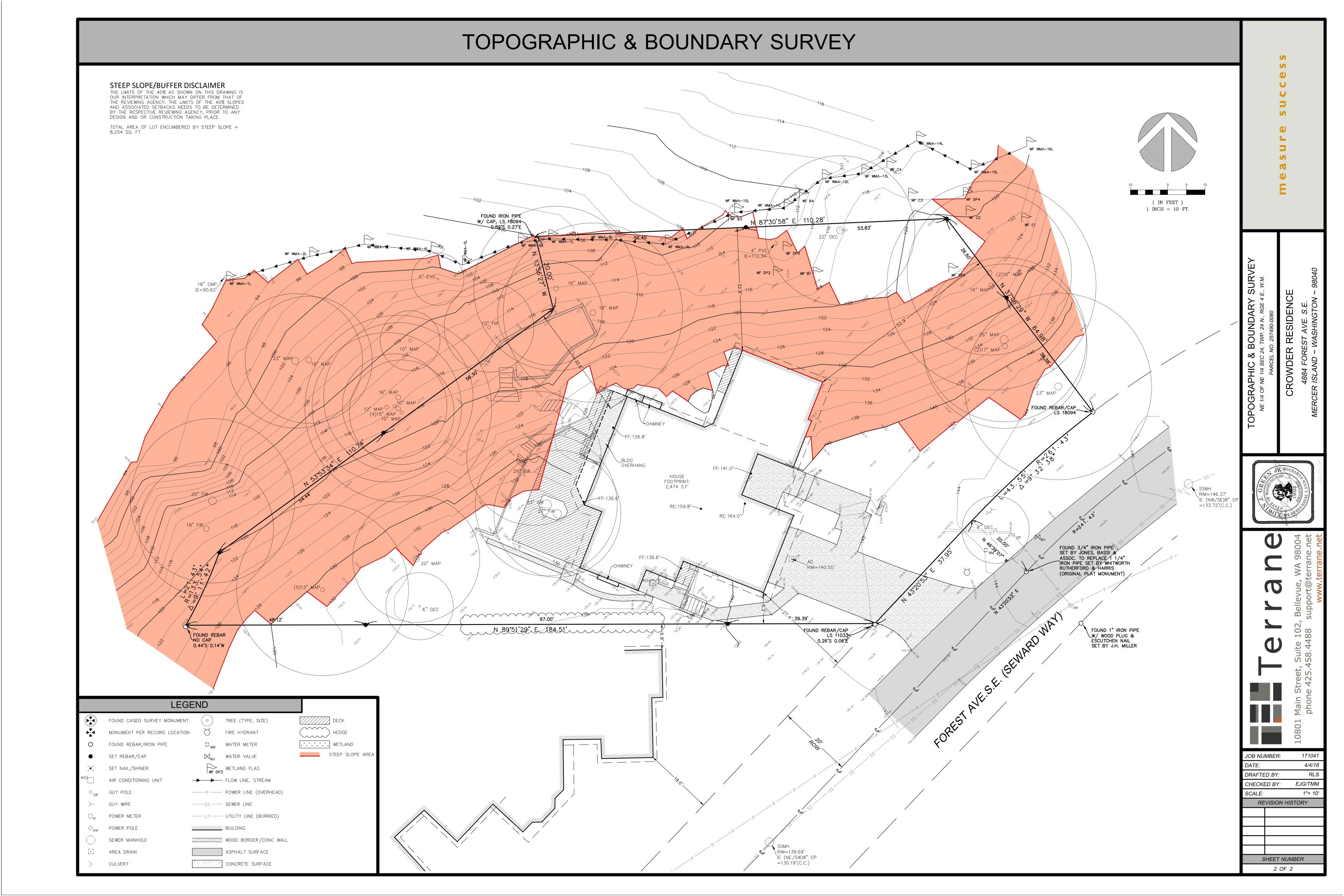
SCALE: N.T.S.

REVISION HISTORY

SHEET NUMBER 1 OF 2



CONTROL MAP



CONSTRUCTION STORMWATER CONTROL (CSC) NOTES

- BMPS SHALL BE INSTALLED PRIOR TO STARTING CONSTRUCTION TO ENSURE SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROJECT SITE OR ENTER ROADSIDE DITCHES, STORM DRAINS, SURFACE WATERS, OR WETLANDS,
- 2. THE BMPS INCLUDED IN THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT BMPS ARE MODIFIED AS NEEDED FOR UNEXPECTED STORM EVENTS OR OTHER UNFORESEEN CIRCUMSTANCES, AND TO ACCOUNT FOR CHANGING SITE CONDITIONS.
- ANY AREAS OF DISTURBED SOIL THAT WILL NOT BE WORKED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) OR SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) SHALL BE IMMEDIATELY STABILIZED WITH APPROVED BMPS METHODS (E.G. STRAW, MULCH, PLASTIC COVERING, COLD MIX
- CITY STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AT ALL TIMES.
- POLLUTION CONTROL MEASURES SHALL BE FOLLOWED TO ENSURE THAT NO LIQUID PRODUCTS OR CONTAMINATE WATER ENTERS ANY STORM DRAINAGE FACILITIES OR OTHERWISE LEAVES THE PROJECT SITE. ANY HAZARDOUS MATERIALS OR LIQUID PRODUCTS THAT HAVE THE POTENTIAL TO POLLUTE RUNOFF SHALL BE STORED AND DISPOSED OF PROPERLY.
- ENSURE THAT WASHOUT FROM CONCRETE TRUCKS IS PERFORMED OFF-SITE OR IN DESIGNATED CONCRETE WASHOUT AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS ONTO THE GROUND, OR TO STORM DRAINS OR OPEN DITCHES. DO NOT DUMP EXCESS CONCRETE ONSITE, EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS.
- ALL AREAS OF DISTURBED SOIL SHALL BE FULLY STABILIZED WITH THE APPROPRIATE SOIL AMENDMENT AND COVER MEASURES AT COMPLETION OF THE PROJECT. TYPICAL COVER MEASURES INCLUDE LANDSCAPING OR HYDROSEED WITH MULCH.

CONSTRUCTION SEQUENCE

- 1. SCHEDULE THE PRE-CONSTRUCTION MEETING.
- 2. FLAG OR FENCE ALL CRITICAL AREAS AND CLEARING LIMITS.
- 3. POST A SIGN WITH THE NAME AND PHONE NUMBER OF THE E.S.C. SUPERVISOR.
- 4. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
- 5. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- 6. CONSTRUCT SEDIMENT PONDS AND TRAPS, IF REQUIRED.
- 7. GRADE AND STABILIZE CONSTRUCTION ROADS.

8. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.

9. INSTALL UTILITIES

10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL STANDARDS AND MANUFACTURER'S

11. RELOCATE SURFACE WATER CONTROLS OR EROSION CONTROL MEASURES. OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE. THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE ACCEPTED STANDARD BMP's.

12. COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.

13. STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.

14. SEED OR SOD ANY AREAS OF THE PROJECT, STABILIZE ALL DISTURBED AREA AND REMOVE BMP's IFF APPROPRIATE

15. UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMP's IF APPROPRIATE.

EROSION AND SEDIMENTATION CONTROL NOTES

- NOT USED
- NOT USED
- PERIMETER PROTECTION MAY BE USED AS THE SOLE FORM OR TREATMENT WHEN THE FLOWPATH MEETS THE CRITERIA LISTED BELOW. IF THESE ARE NOT MET, PERIMETER PROTECTION SHALL ONLY BE USED AS A BACKUP TO A SEDIMENT TRAP OR POND.

AVERAGE SLOPE	SLOPE PERCENT	FLOWPATH LENGTH
1.5H:1V OR LESS	67% OR LESS	100 FEET
2H:1V OR LESS	50% OR LESS	115 FEET
4H:1V OR LESS	25% OR LESS	150 FEET
6H:1V OR LESS	16.7% OR LESS	200 FEET
10H:1V OR LESS	10% OR LESS	250 FEET

- 4. THE CONTRACTOR SHALL STABILIZE DENUDED AREAS AND SOIL STOCKPILES AS FOLLOWS
- DENUDED AREAS SHALL BE COVERED BY MULCH, SOD, PLASTIC, OR OTHER BMP'S APPROVED BY THE ENGINEER. WHERE POSSIBLE NATURAL VEGETATION SHALL BE MAINTAINED FOR EROSION AND SEDIMENT CONTROL
- 5. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE. THE EROSION CONTROL FACILITIES SHALL BE MAINTAINED AND/OR ALTERED AS REQUIRED TO ENSURE CONTINUING EROSION/SEDIMENT CONTROL.
- 6. EVERY EFFORT SHALL BE MADE TO CLOSE UTILITY TRENCHES BY THE END OF THE DAY AND MATERIAL EXCAVATED DURING UNDERGROUND UTILITY CONSTRUCTION SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES (WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS). 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT
- CLEARING AND/OR CONSTRUCTION IS COMPLETED. PERMANENT DRAINAGE FACILITIES ARE IN OPERATION. AND THE POTENTIAL FOR EROSION HAS AT A MINIMUM, EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED MONTHLY, OR FOLLOWING EACH RUNOFF-PRODUCING
- WHEN IT REACHES D-FOOT DEPTH. THE PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAN. TRACKING OF MUD AND DEBRIS FROM THE SITE WILL NOT BE ALLOWED. FAILURE TO COMPLY

STORM, TO ENSURE PROPER OPERATION OF ALL EROSION AND SEDIMENT CONTROL FACILITIES. SEDIMENT SHALL BE REMOVED FROM BMP'S

- THE WASHINGTON STATE CLEAN AIR ACT REQUIRES THE USE OF ALL KNOWN AVAILABLE, AND REASONABLE MEANS OF CONTROLLING AIR POLLUTION, INCLUDING DUST. DUST CAN BE CONTROLLED BY WETTING EXPOSED SOILS, WASHING TRUCK WHEELS BEFORE THEY LEAVE THE SITE, AND INSTALLING AND MAINTAINING ROCK CONSTRUCTION ENTRANCES. CONSTRUCTION VEHICLE TRACK-OUT IS A MAJOR SOURCE OF DUST AND ANY EVIDENCE OF TRACK-OUT CAN TRIGGER FINES FROM THE DEPARTMENT OF ECOLOGY OF THE PUGET SOUND AIR POLLUTION CONTROL AGENCY.
- 11. NOT USED
- THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL BMP'S WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THEY ARE NO LONGER NECESSARY.

PRIOR TO BEGINNING CLEARING OR GRADING

WITH THIS CONDITION MAY RESULT IN ALL WORK ON SITE BEING STOPPED

13. INSTALL THE SLIT FENCE AS INDICATED ON THE SITE PLAN & SHEET C1.0

14. PLACE A THICK LATER OF STRAW OR MULCH ON ALL AREAS OF BARE SOIL OUTSIDE OF THE PLANNED NEW CONSTRUCTION. THIS IS PARTICULARLY IMPORTANT IN THE SOUTH, LOW END OF THE LOT.

15. INSTALL PRE MANUFACTURED SILT SOCKS IN THE TWO EXISTING CATCH BASINS LOCATED SOUTH & EAST OF THE SITE. THIS CATCH BASIN PROTECTION MUST BE CHECKED PERIODICALLY. & CLEANED AS NECESSARY, TO PREVENT THE SILT SOCKS FROM BECOMING OVERLOADED WITH SILT & DEBRIS FROM SURFACE RUNOFF.

16. CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE, AS SHOWN ON SHEET C1.0 OF THE DRAWINGS, WHEREVER TRUCKS WILL DRIVE OFF AF PAVED SURFACES TO IMPORT OR EXPORT DEBRIS & SOIL.

DURING GRADING AND CONSTRUCTION

17. COVER ANY SOIL STOCKPILES WITH PLASTIC SHEETING THAT IS STAKED OR WEIGHTED TO PREVENT IT FROM BLOWING AWAY.

18. ALLOW NO RUNOFF FROM THE EXCAVATION FOR THE SOUTHERN ADDITION TO FLOW ACROSS THE GROUND SURFACE TOWARD THE SOUTH. THIS MAY REQUIRE CREATING A SOIL BERM ALONG THE SOUTHERN EDGE OF THE EXCAVATION. IF SILTY RUNOFF COLLECTS IN THE EXCAVATION. IT MAY NEED TO BE PUMPED TO A TEMPORARY HOLDING TANK FOR DISPOSAL OFF SITE.

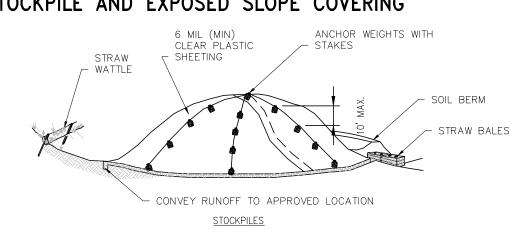
19. FOLLOWING CONSTRUCTION OF THE FOUNDATION WALLS. PROCEED IMMEDIATELY WITH INSTALLATION OF DRAINAGE & WATER PROOFING. THEN COMPLETION OF BACKFILLING.

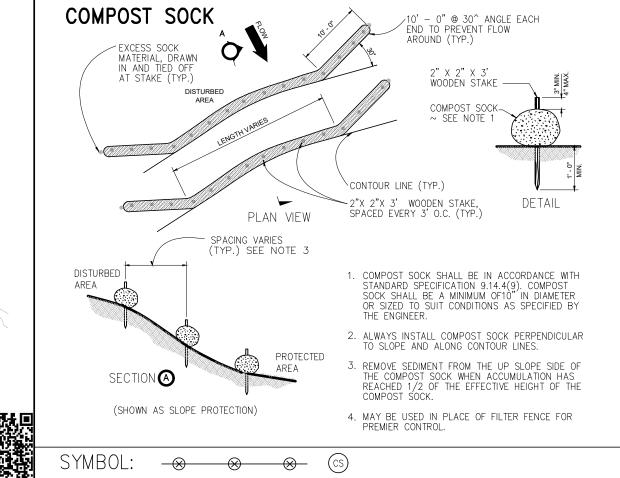
20. SPREAD STRAW OR MULCH AGAIN ON ALL BARE SOIL OUTSIDE OF THE BACKFILLED FOUNDATIONS, UNLESS PERMANENT LANDSCAPING & VEGETATION WILL BE IMMEDIATELY ESTABLISHED.

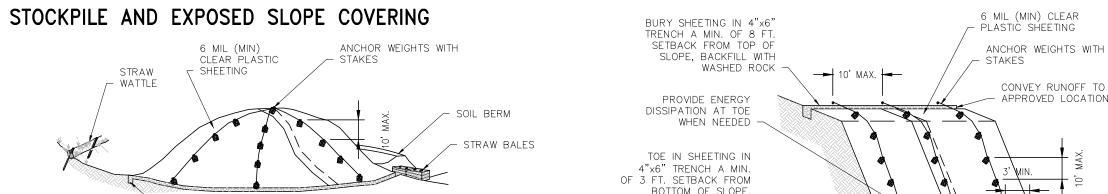
TREE & VEGETATION PROTECTION DEFINES TREE & VEGETATION PROTECTION AREA

- TREE PROTECTION FENCING AND SIGN
- CHAIN LINK, WIRE MESH, OR SIMILAR OPEN RIGID MATERIAL (NO PLYWOOD)
- MUST BE INSTALLED PRIOR TO DEMOLITION OR GROUND DISTURBANCE S. KEPT IN PLACE FOR THE DURATION OF CONSTRUCTION
- . NO SOIL DISTURBANCE OR ACTIVITY ALLOWED WITHIN FENCED AREA: MATERIAL STORAGE/STOCKPILING, PARKING.
- EXCAVATION, DUMPING, OR WASHING
- MODIFICATIONS OF THESE REQUIREMENTS BY APPROVAL OF SDCI PLANNER ONLY 6. IF ROOTS GREATER THAN 2 INCH FOUND
- OUTSIDE OF FENCING PROTECT BY HAND EXCAVATION AND, IF NECESSARY, CUT CLEANLY AND KEEP MOIST
- USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS
- VEGETATION PROTECTION ORANGE MESH OR SIMILAR OPEN MATERIAL
- MINIMIZE CONSTRUCTION ZONE PROTECT VEGETATION OUTSIDE CONSTRUCTION ZONE WITH FENCING AS
- . USE 3 INCHES OR DEEPER WOOD CHIP
- MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS

SYMBOL: O O O (VEG)







FENCING

TREE & VEGETATION FENCING AROUND

ENTIRE DRIP LINE ON PERMIT SITE.

ALTERNATIVE TREE PROTECTION, IF APPROVED

BY SDCI, AS SHOWN ON SITE PLAN

LINK TO MORE TREE PROTECTION INFORMATION:

SYMBOL:

BOTTOM OF SLOPE BACKFILL WITH WASHED CONVEY RUNOFF TO APPROVED LOCATION <u>SLOPES</u>

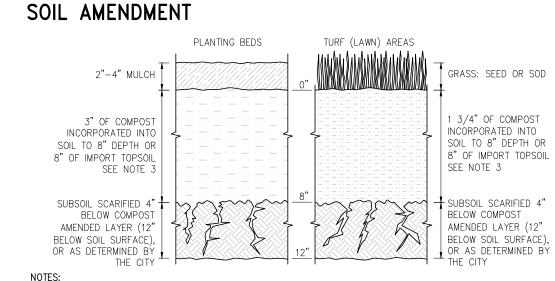
STABILIZED CONSTRUCTION ACCESS INLET AND OUTLET OF THE TEMPORARY CULVERT WITH QUARRY SPALLS TEMPORARY CL 52 DUCTILE IRON CULVERT REQUIRED IF ENGTH PER THE DPD SITE DEVELOPMENT INSPECTOR CROSSES A DRAINAGE DITCH

12" MIN. THICKNESS -STABILIZED ACCESS SHALL BE USED IN ALL AREAS OF THE SITE WITH VEHICLE TRAFFIC AND PARKING, INCLUDING PLANTING STRIPS. RECYCLED CONCRETE IS NOT ALLOWED.

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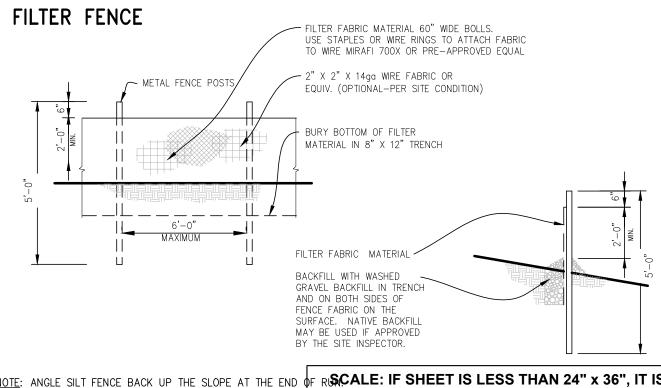
(RECYCLED CONCRETE IS

NOT ALLOWED)



- POST CONSTRUCTION SOIL AMENDMENT IS REQUIRED ON ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE WHERE SOIL IS DISTURBED DURING CONSTRUCTION.
- 2. SOIL AMENDMENT MUST PASS A 12 INCH MINIMUM PROBE TEST.
- IMPORT TOPSOIL, IF USED, MUST MEET THE REQUIREMENTS OF THE 2016 SEATTLE STORMWATER MANUAL, VOL. 1, SECTIONS 5.1.5.1 AND 5.1.5.3.

ND NON-DISTURBED AREA (SOIL AMENDMENT NOT REQUIRED) SYMBOL: (SA) AREA REQUIRING SOIL AMENDMENT



NOTE: ANGLE SILT FENCE BACK UP THE SLOPE AT THE SYMBOL: -× × ×

IF RISCALE: IF SHEET IS LESS THAN 24" x 36". IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY CRITICAL AREA DETERMINATION 10/12/18 PLOT DATE: 10/12/2018 | FILE NAME:

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REGISTERED

ARCHITECT

CHECKED BY:

C1.0

COVER MEASURES

(AGROSTIS ALBA OR AGROSTIS TENUIS)

INTERCEPTOR DIKES AND SWALES ARE REQUIRED IN THE FOLLOWING SITUATIONS:

1. AT THE TOP OF ALL SLOPES IN EXCESS OF 3H:1V AND WITH MORE THAN 20 FEET OF VERTICAL RELIEF.

INTERCEPTOR DIKE AND SWALE NOTES AND FIGURES

- 2. AT INTERVALS ON ANY SLOPE THAT EXCEEDS THE DIMENSIONS SPECIFIED IN THIS SECTION FOR THE HORIZONTAL SPACING OF DIKES AND SWALES.
- 3. INTERCEPTOR DIKES AND SWALES SHALL BE SPACED HORIZONTALLY AS FOLLOWS:

AVERAGE SLOPE	SLOPE PERCENT	FLOWPATH
20H:1V OR LESS	3-5%	300 FEET
(10 TO 20)H:1V	5-10%	200 FEET
(4 TO 10)H:1V	10-25%	100 FEET
(2 TO 4)H:1V	25-50%	50 FEET

4. FOR SLOPES STEEPER THAN 2H:1V WITH MORE THAN 10 FEET OF VERTICAL RELIEF, BENCHES MAY BE CONSTRUCTED OR CLOSER SPACED INTERCEPTOR DIKES OR SWALES CAN BE USED. WHICHEVER MEASURE IS CHOSEN, THE SPACING AND CAPACITY OF THE MEASURES MUST BE DESIGNED BY THE ENGINEER AND THE DESIGN MUST INCLUDE PROVISIONS FOR EFFECTIVELY INTERCEPTING THE HIGH VELOCITY RUNOFF ASSOCIATED WITH STEEP SLOPES.

5. IF THE DIKES OR SWALES INTERCEPTS RUNOFF FROM THE DISTURBED AREAS, IT SHALL DISCHARGE TO A STABLE CONVEYANCE SYSTEM THAT ROUTES THE RUNOFF TO AN ACCEPTABLE BMP. IF THE DIKE OR SWALE INTERCEPTS RUNOFF THAT ORIGINATES FROM UNDISTURBED AREAS, IT SHALL DISCHARGE TO A STABLE CONVEYANCE SYSTEM THAT ROUTES THE RUNOFF DOWNSLOPE OF ANY DISTURBED AREAS AND RELEASE THE WATER AT A STABILIZED OUTLET.

6. CONSTRUCTION TRAFFIC OVER TEMPORARY DIKES AND SWALES SHALL BE MINIMIZED.

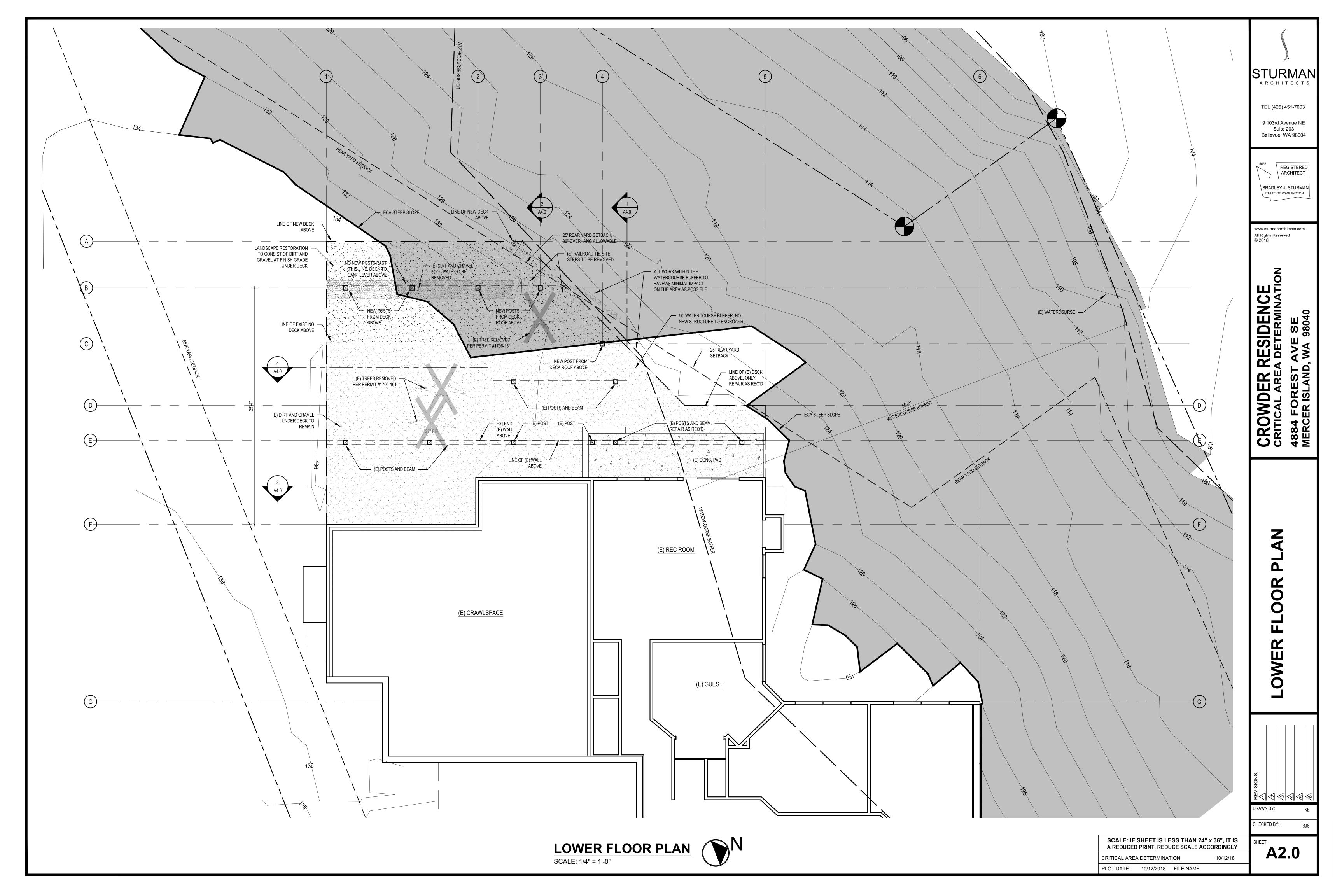
TEMPORARY EROSION CONTROL SEED MIX % WEIGHT % PURITY % GERMINATION ANNUAL OR PERENNIAL RYE (LOLIUM MULTIFLORUM OR LOLIUM PERENNE) REDTOP OR COLONIAL BENTGRASS

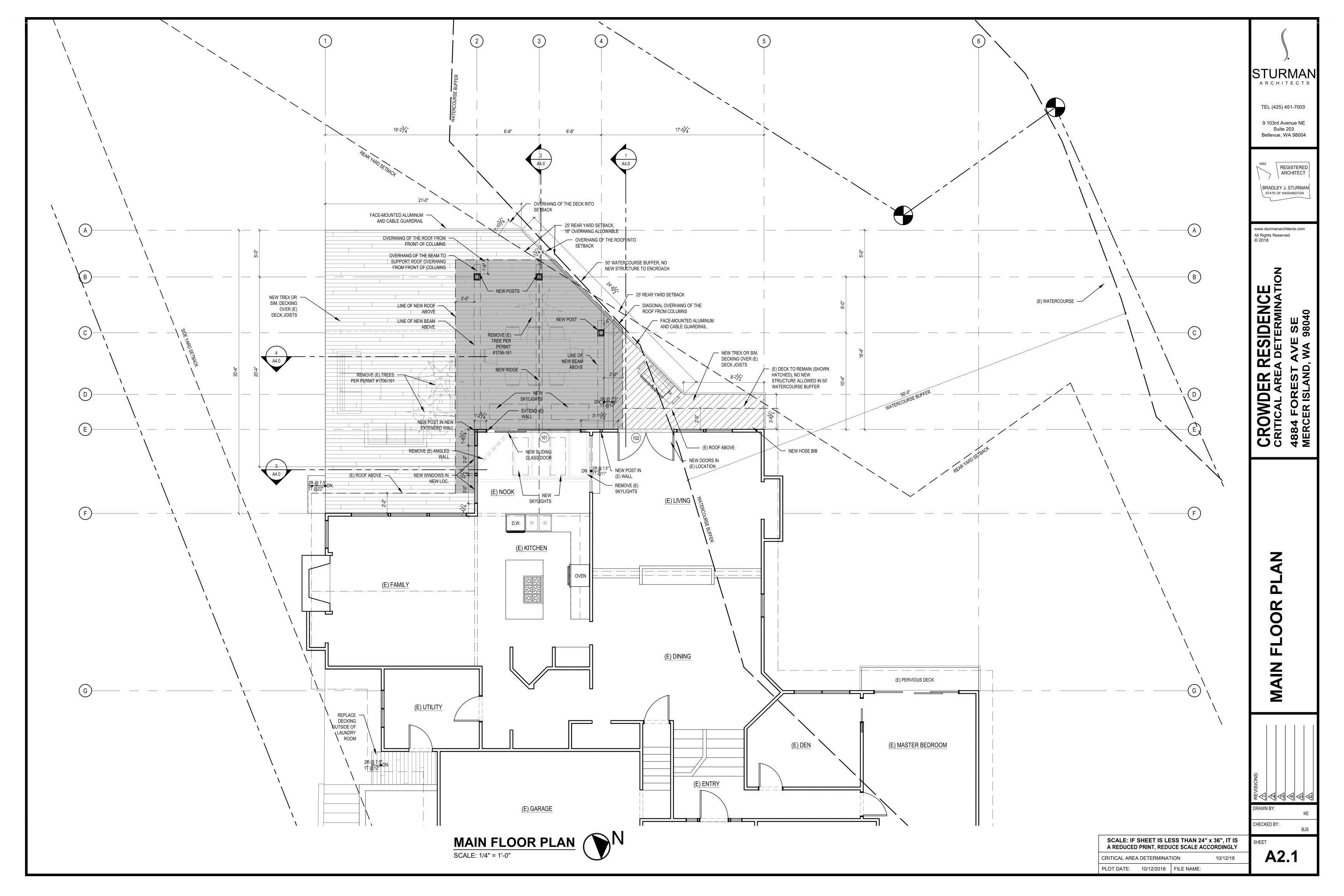
COVER METHODS INCLUDE THE USE OF MULCH, EROSION CONTROL NETS AND BLANKETS PLASTIC COVERING, SEEDING, AND SODDING. MULCH AND PLASTIC SHEETING ARE PRIMARILY INTENDED TO PROTECT DISTURBED AREAS FOR A SHORT PERIOD OF TIME, TYPICALLY DAYS TO A FEW MONTHS. SEEDING AND SODDING ARE MEASURES FOR AREAS THAT ARE TO REMAIN UNWORKED FOR MONTHS.

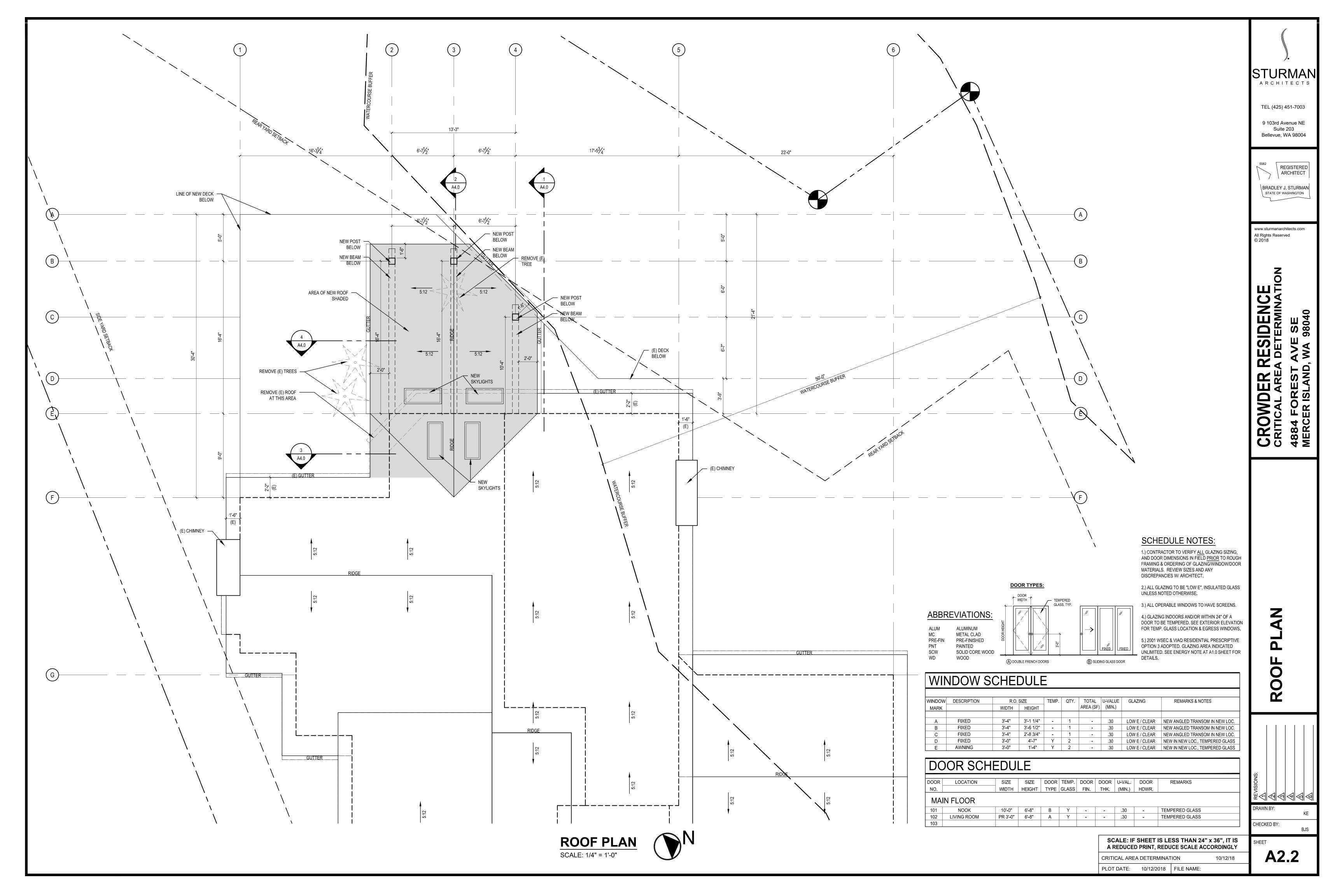
PERMANENT SEED MIX:				
	% WEIGHT	% PURITY	% GERMINATION	REMARKS
PERENNIAL RYE BLEND (LOLIUM PERENNE)	70	98	90	THIS MIX IS PROVIDED AS JUST ONE RECOMMENDED POSSIBILITY. LOCAL SUPPLIERS SHOULD BE CONSULTED FOR THEIR RECOMMENDATIONS BECAUSE THE
CHEWINGS AND RED FESCUE BLEND (FESTUCA RUBRA VAR. COMMUTATA OR FESTUCA RUBRA)	30	98	90	APPROPRIATE MIX DEPENDS ON A VARIETY OF FACTORS, INCLUDING EXPOSURE, SOIL TYPE, SLOPE, AND EXPECTED FOOT TRAFFIC.

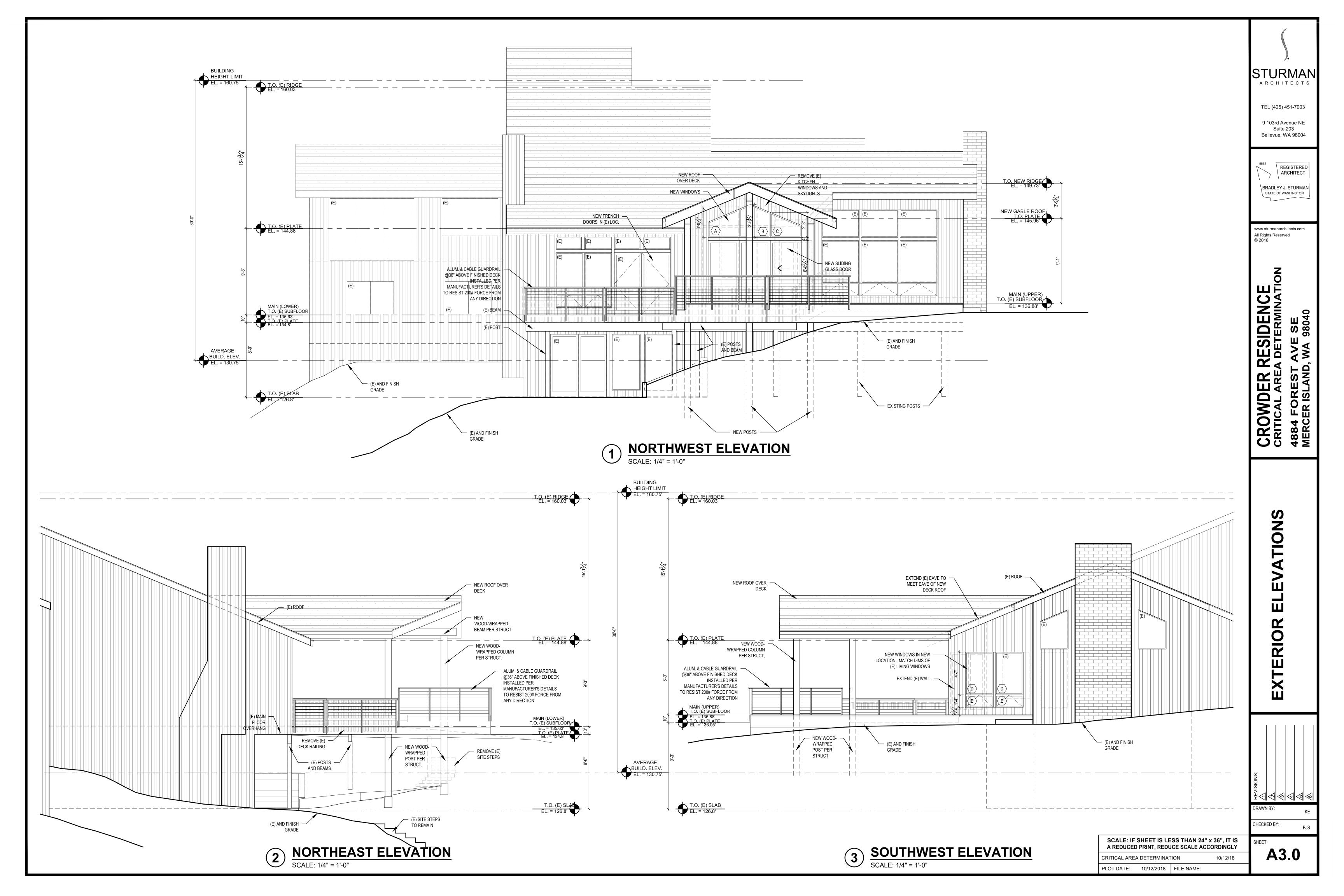
MULCH STANDARDS AND GUIDELINES:					
MULCH MATERIAL	QUALITY STANDARDS	APPLICATION RATES	REMARKS		
STRAW	AIR-DRIED; FREE FROM UNDESIRABLE SEED AND COARSE MATERIAL.	2"-3" THICK; 2-3 BALES PER 1000 SF OR 2-3 TONS PER ACRE	COST-EFFECTIVE PROTECTION WHEN APPLIED WITH ADEQUATE THICKNESS. HAND-APPLICATION GENERALLY REQUIRES GREATER THICKNESS THAN BLOWN STRAW. STRAW SHOULD BE CRIMPED TO AVOID WIND BLOW. THE THICKNESS OF STRAW MAY BE REDUCED BY HALF WHEN USED IN CONJUNCTION WITH SEEDING.		
CHIPPED SITE VEGETATION	AVERAGE SIZE SHALL BE SEVERAL INCHES.	2" MINIMUM THICKNESS	THIS IS A COST-EFFECTIVE WAY TO DISPOSE OF DEFRIS FROM CLEARING AND GRUBBING, AND IT ELIMINATES THE PROBLEMS ASSOCIATED WITH BURNING. GENERALLY, IT SHOULD NOT BE USED ON SLOPES ABOVE APPROXIMATELY 10% BECAUSE OF ITS TENDENCY TO BE TRANSPORTED BY RUNOFF. IT IS NOT RECOMMENDED WITHIN 200 FEET OF SURFACE WATERS. IF SEEDING IS EXPECTED SHORTLY AFTER MULCH, THE DECOMPOSITION OF THE CHIPPED VEGETATION MAY TIE UP NUTRIENTS IMPORTANT TO GRASS ESTABLISHMENT.		

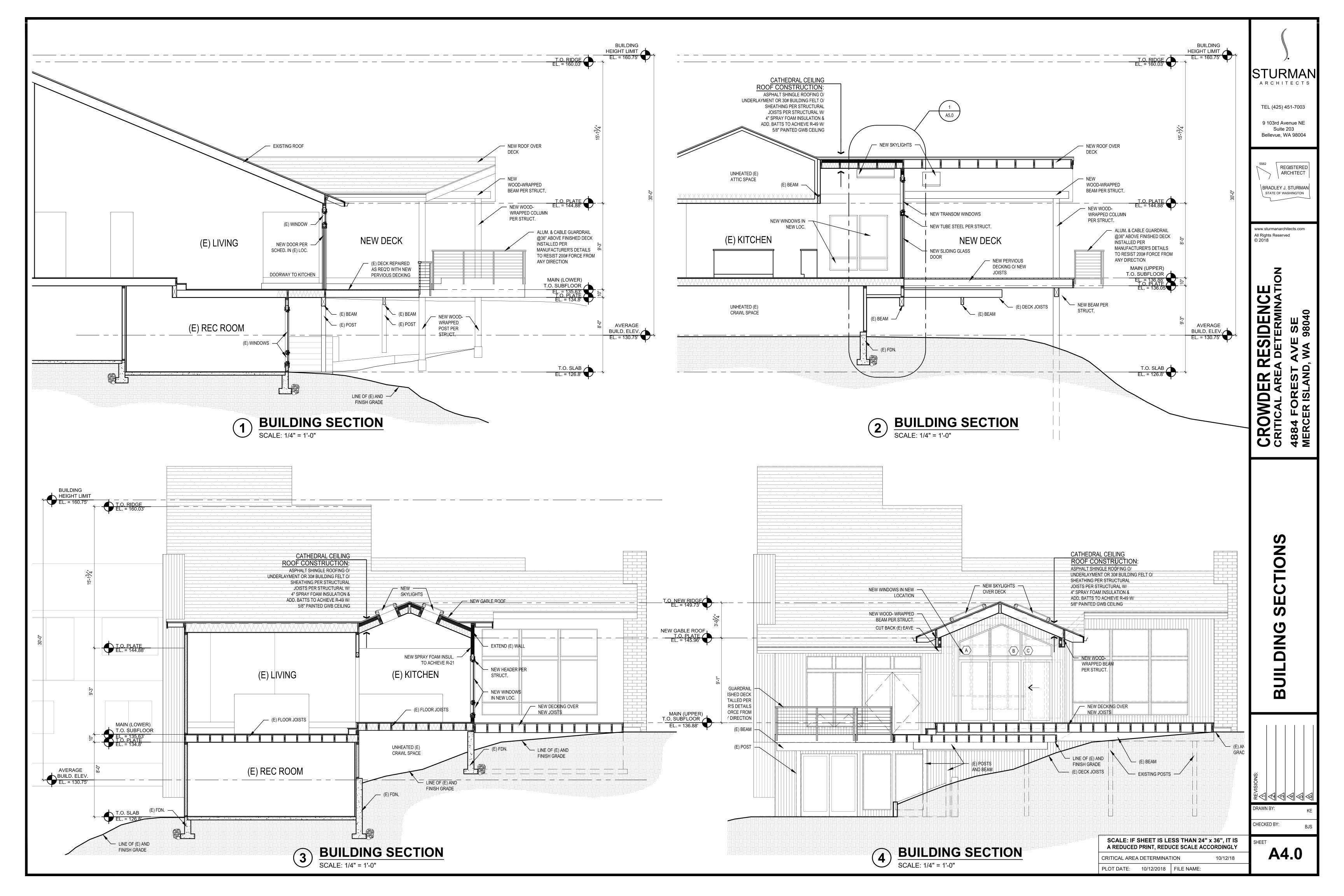


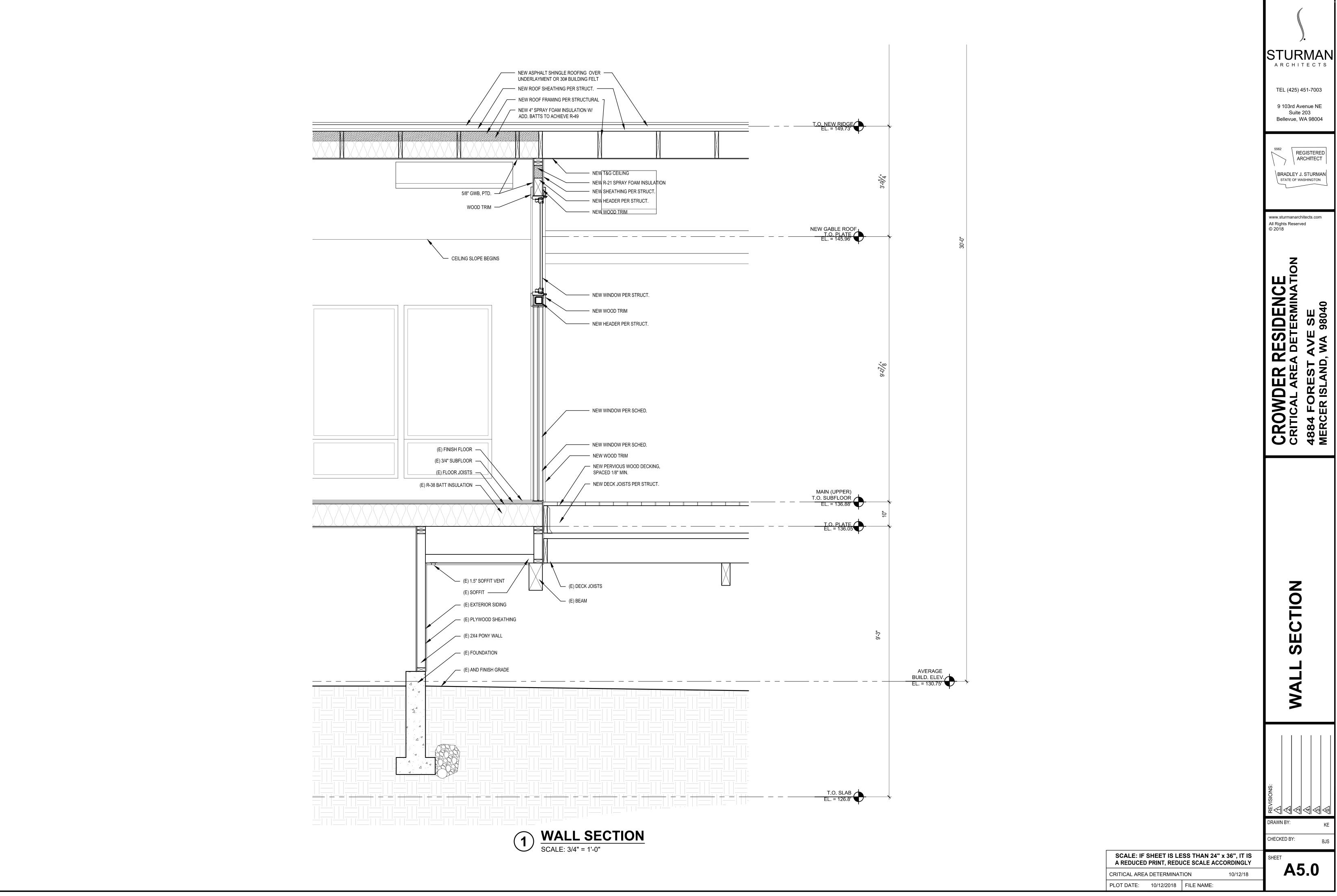


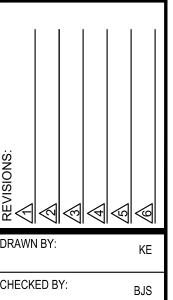


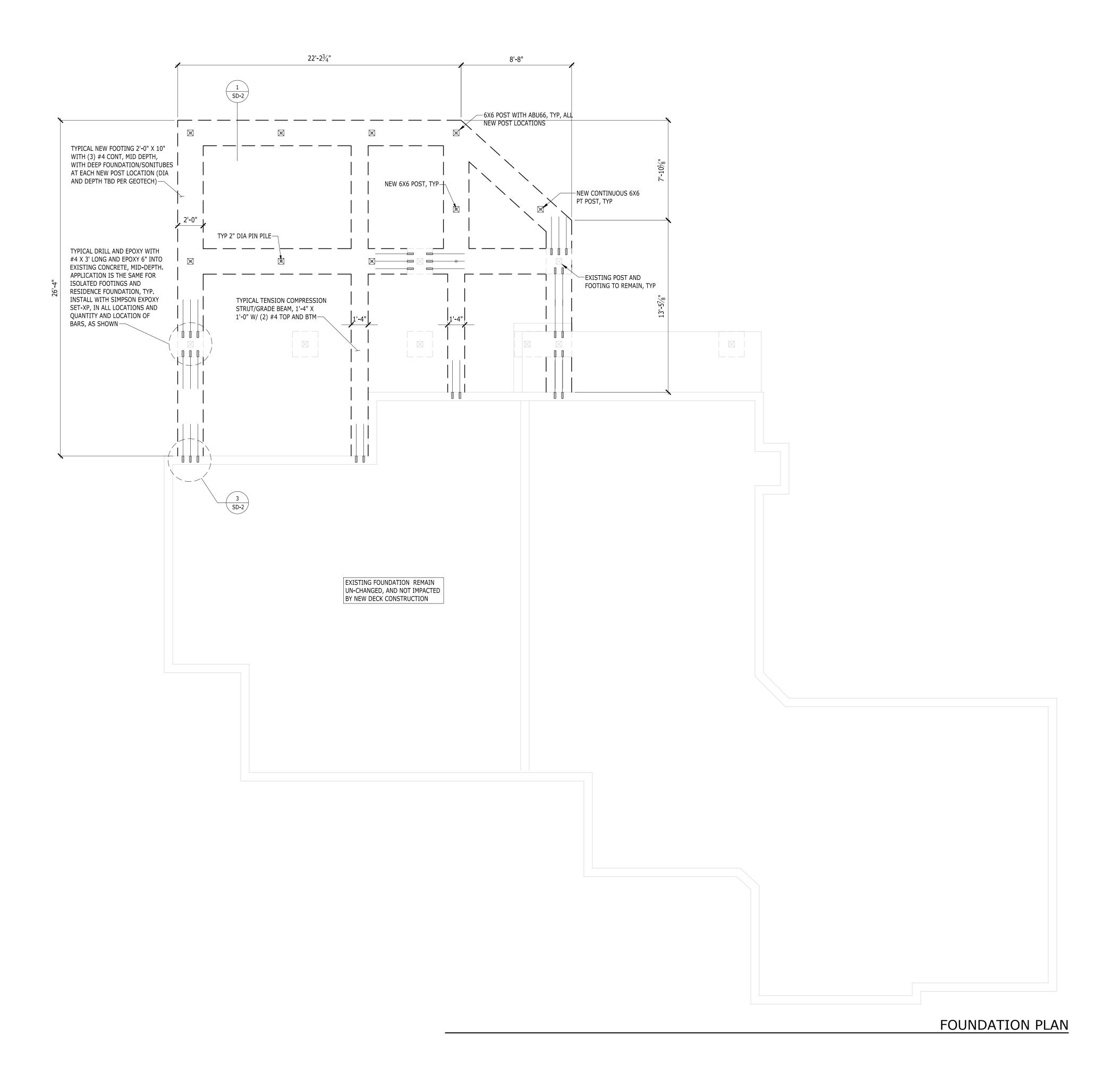












FOUNDATION NOTES

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PROVIDED DIMENSIONS ARE TO FACE OF CONCRETE STEM WALL OR CENTER OF INDIVIDUAL FOOTING. OUTSIDE FACE OF STEM WALL ALIGNS WITH OUTSIDE FACE OF STUD WALL UNO. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD/HTT HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- 3. VERIFY ALL T/CONC ELEVATIONS ON ALL CONCRETE INCLUDING PARTIAL HEIGHT RETAINING WALLS. CONCRETE TO EXTEND MIN 8" ABOVE FINISHED GRADE. PROVIDE 1" RECESS AT DOUBLE SIDED SHEARWALLS TO ACCOMODATE 3X SILL PLATE.
- 4. FOOTINGS ARE TO BEAR ON COMPETENT NATIVE SOIL OR STRUCTURAL FILL CAPABLE OF SUPPORTING THE ASSUMED BEARING PRESSURE PER GENERAL NOTES. REFERENCE GEOTECHNICAL REPORT (IF AVAILABLE) FOR SUBGRADE PREPARATION, FILL REQUIREMENTS, FOOTING DRAINS, AND OTHER REQUIREMENTS. PROVIDE FOOTING DRAINS AROUND PERIMETER OF BUILDING.
- 5. PRIOR TO POURING CONCRETE CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS OF ALL FOUNDATION OPENINGS, PENETRATIONS, AND SLOPES.
- 6. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- 7. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- 8. HOLDOWNS BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER SPECIFICATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. HOLDOWN THREADED RODS SHALL BE ASTM F1554 (36KSI) HDG UNO. EMBEDDED END OF THREADED ROD TO HAVE 3"X3"X1/4" HDG PLATE WASHER BETWEEN TWO HAND-TIGHTENED HDG STANDARD NUTS.
- 9. CJ INDICATES CONTROL JOINT.
- 10. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 11. EXTERIOR STAIRS AND STEEL-FRAMED STAIRS BY OTHERS.
- 12. TYPICAL DETAILS:
 - 2/SD-1 TYP INTERIOR FOOTING4/SD-1 TYP FOOTING STEP
 - 5/SD-1 TYP CORNER BARS REQ'T
 - 7/SD-1 TYP CONSTRUCTION JOINT
 8/SD-1 TYP BAR BEND AND HOOK DETAIL
- HOLDOWN SCHEDULE ANCHOR | EMBEDMENT | MIN END POST MODEL 1-2X EA CS16/CS14 2-2X OR 3X MST# 2-2X OR 3X STHD14/STHD14RJ 5/8" TR 12" 2-2X OR 3X HDU2 HDU5 5/8" TR 2-2X 12" HDU8 7/8" TR 3-2X

1" TR

1" TR 1 1/4" TR

FOUNDATION LEGEND



HDU11

HDU14

INDICATES STEP AT T/FOUNDATION

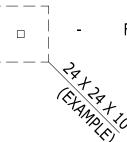


TANK WALL (TOP OF WALL NOT TO STEP WITHIN HATCHED REGION)

INDICATES STEP AT B/FOUNDATION



HOLDOWN BY SIMPSON (STHD/HDU/HD/HTT, TYP)



FOOTING CENTERED ON POST (L X W X T)

15"

15"

6X6

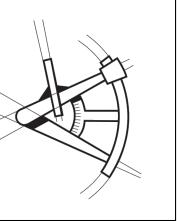
6X6

6X6



ONE TWENTY°

ENGINEERING & DESIGN



DESCRIPTION DATE BY

REVISIONS

PROJECT NAME

CHUMBLEY RESIDENCE 921 BROADWAY E, SEATTLE, WA 98102

PROJECT NUMBER

S180712-3

DRAWN BY - MR
CHECKED BY - MRT

SHEET DATE - 10/04/2018

SCALE 24X36 SHEET:1/4"=1'-0"

olan.

FOUNDATION PL