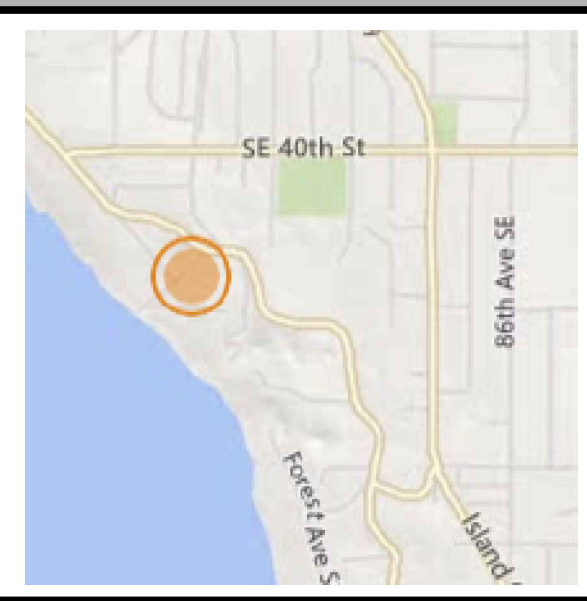
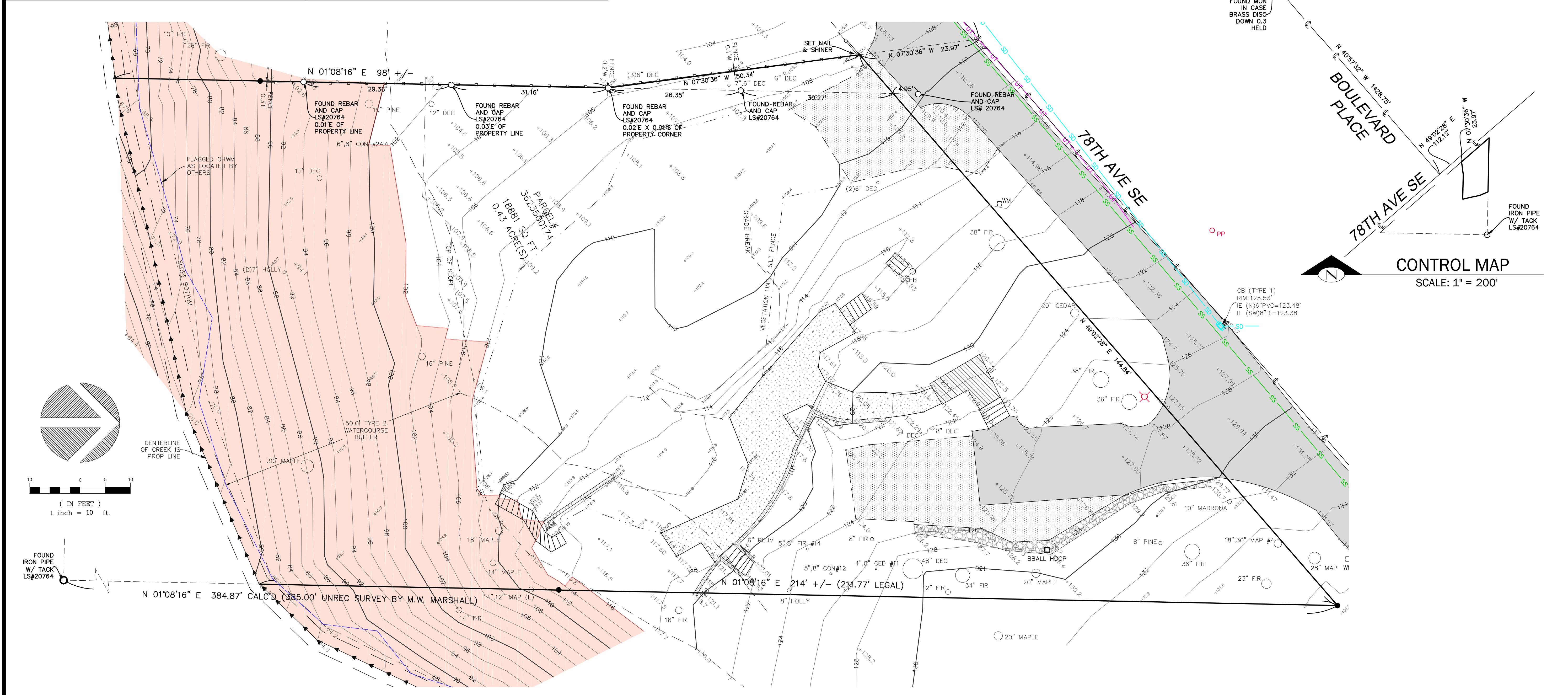


TOPOGRAPHIC & BOUNDARY SURVEY

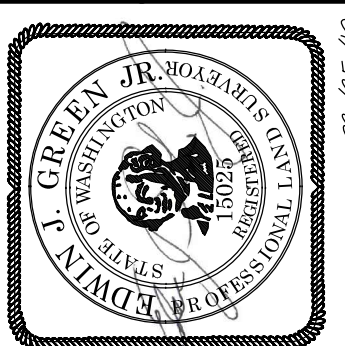
LEGAL DESCRIPTION	SURVEYOR'S NOTES	BASIS OF BEARINGS	LEGEND	SCHEDULE B ITEMS
<p>(PER CHICAGO TITLE COMMITMENT NUMBER: 0144086-ETU DATED FEBRUARY 15, 2019)</p> <p>THAT PORTION OF TRACT 14, REPLAT OF ISLAND PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 13 OF PLATS, PAGE 58, IN KING COUNTY, WASHINGTON, AS DESCRIBED IN KING COUNTY SUPERIOR COURT CAUSE NO. 14-2-18504-9, AS FOLLOWS:</p> <p>BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF SOUTHEAST 42 ND STREET, FORMERLY FRANKLIN AVENUE, AND THE SOUTHEASTERLY LINE OF 78TH AVENUE SOUTHEAST, FORMERLY WALTHER AVENUE; THENCE EASTERLY ALONG SAID NORTHERLY LINE OF SOUTHEAST 42 ND STREET, 426 FEET TO A POINT 600 FEET WEST OF THE SOUTHEAST CORNER OF SAID TRACT 14; THENCE NORTH 00°07'07" EAST A DISTANCE OF 172.23 FEET, MORE OR LESS, TO THE CENTER LINE OF A CREEK WHICH IS THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 00°07'07" EAST A DISTANCE OF 211.77 FEET, MORE OR LESS TO AN INTERSECTION WITH THE EASTERLY LINE OF SAID WALTHER AVENUE; THENCE SOUTH 49°01'56" WEST ALONG SAID SOUTHEASTERLY LINE OF WALTHER AVENUE A DISTANCE OF 132.6688 FEET; THENCE SOUTH 00°07'07" WEST 148 FEET MORE OR LESS TO THE CENTER LINE OF SAID CREEK; THENCE EASTERLY ALONG THE CENTER LINE OF SAID CREEK TO THE TRUE POINT OF BEGINNING;</p> <p>TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:</p> <p>THAT PORTION OF LOT "C" OF SHORT PLAT BY J. BENJ. HAYES & ASSOCIATES CIVIL ENGINEER AND LAND SURVEYOR DATED SEPTEMBER 28, 1949, DESCRIBED AS FOLLOWS:</p> <p>BEGINNING AT THE NORTHERLY CORNER OF SAID LOT "C"; THENCE SOUTH 47°51'00" WEST ALONG THE NORTHERLY LINE OF 78 TH AVENUE SOUTHEAST A DISTANCE OF 10.20 FEET; THENCE SOUTH 08°42'04" EAST A DISTANCE OF 50.35 FEET MORE OR LESS TO THE EASTERLY LINE OF SAID LOT "C"; THENCE NORTH 00°03'12" WEST ALONG THE EASTERLY LINE OF SAID LOT "C"; A DISTANCE OF 56.61 FEET MORE OR LESS TO THE POINT OF BEGINNING.</p>	<ol style="list-style-type: none"> THE TOPOGRAPHIC SURVEY HEREON WAS PERFORMED IN AUGUST OF 2015. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS. BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. GEODIMENSIONS ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION. SUBJECT PROPERTY TAX PARCEL NO. 3623500174 SUBJECT PROPERTY AREA PER THIS SURVEY IS 18881± S.F. (0.43± ACRES) ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY'S "GUARANTEE", CERTIFICATE NO. 0144086-ETU, DATED FEBRUARY 15, 2019. IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "GUARANTEE". TERRANE, INC. HAS RELIED WHOLLY ON CHICAGO TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT. INSTRUMENTATION FOR THIS SURVEY WAS A TRIMBLE ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS STATE STANDARDS SET BY WAC 332-130-090. 	<p>NAD 83(2011) WASHINGTON NORTH COORDINATE SYSTEM PER GPS OBSERVATIONS, THE CENTERLINE OF BOULEVARD PL BEARS N40°57'32"W BETWEEN FOUND MONUMENTS.</p> <p>REFERENCES</p> <p>1. REPLAT OF ISLAND PARK; VOL. 13, PG 58</p> <p>VERTICAL DATUM</p> <p>NAVD 88, PER GPS OBSERVATION</p> <p>VICINITY MAP N.T.S.</p> 	<p>LEGEND</p> <ul style="list-style-type: none"> BUILDING CENTERLINE ROW CONCRETE SURFACE CONCRETE WALL CONTOUR (MAJOR) CONTOUR (MINOR) DECK CENTERLINE OF CREEK GAS METER GRAVEL SURFACE INLET (TYPE 250A) IRON PIPE (FOUND) MONUMENT IN CASE (FOUND) POWER METER POWER (OVERHEAD) POWER POLE REBAR AS NOTED (FOUND) ROCKERY SEWER LINE SEWER MAINTENANCE TREE (AS NOTED) WATER METER STEEP SLOPE >40% 	<p>SCHEDULE B ITEMS</p> <p>ITEM 1 COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON SURVEY OF RECORD: RECORDING NO: 20160418900028 (SHOWN HEREON)</p>



measure success

TOPOGRAPHIC & BOUNDARY SURVEY
NW 1/4 OF NE 1/4 SEC 13, TWP. 24 N., RGE 04 E., W.M.
PARCEL NO. 362350-0174

LEE/BOYLE RESIDENCE
4150 BOULEVARD PL
MERCER ISLAND, WA



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER: 151132
DATE: 9/3/2015
DRAFTED BY: AB/RLS
CHECKED BY: EJG/JPS
SCALE: 1" = 10'

REVISION HISTORY

2/7/19	UPDATE SITE FEATS.
2/22/19	ADD ECA AREAS
2/25/19	ADJUST SETBACK

SHEET NUMBER
1 OF 1