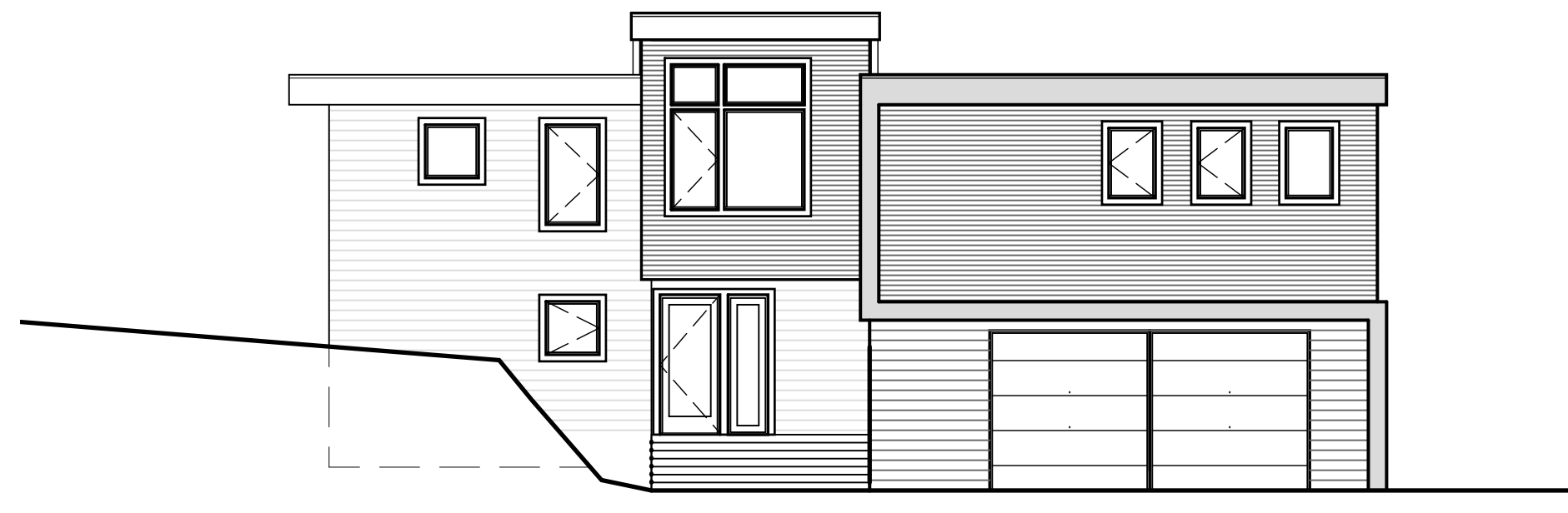


BRENES RESIDENCE - C.A.D. App



CODE INFORMATION:

ENERGY CODE: 2015 WSEC (Ch. 51-11 WAC)

Areas of remodel to comply with requirements for additions, alterations, renovations, or repairs as outlined in WSEC Sec. R101.4.3

2015 Washington State Energy Code Table R402.1.1 Prescriptive Requirements Group R Occupancy, All Climate Zones									
U- Factors				R-Values					
Glazing	Door	Clg.	Vaulted Clg.	Walls		Floor		S.O.G.	
Vert	O.H.			Abv. Grd.	Blw. Grd.	R-10/15/21	R-30	R-10	
0.30	0.50	0.20	R-49	R-38	R-21 int.	R-10/15/21 + TB*	R-30	R-10	2'

*R-10 cont. on ext. of wall, R-15 cont. on int. of wall, or R-21 cavity insulation + thermal break at slab. **NOTE:** Prescriptive compliance is based on the above table and any Options selected based on additional credits required for project (list Options selected for specific project)

VENTILATION & INDOOR AIR QUALITY: 2015 IMC, 2015 WSEC (Ch. 51-11 WAC)
Any new ventilation equipment to comply with WSEC Sec. R403.

PLUMBING, MECHANICAL, & ELECTRICAL DESIGN: WAC chapter 51-56, 2015 IFC, IMCC 17.13.020, Washington Cities Electrical Code

Any new heating system components to comply with WSEC Sec. 403 – Building Mechanical Systems.

Primary Heating: Gas + Electric Heatpump Minisplit for addition

Prescriptive Heating System Sizing:
Any new heating system components shall be sized per WSEC Sec. R403.6

ZONING CODE: MICC- Unified Land Development Code Title 19

Zone	R-9.6
Number of Dwellings	1 single-family
Critical Areas	Steep Slope Hazard
Site Area	9,449 sf
Max. Lot Coverage	30%
Max. Bldg. Ht. Allowed	30 ft
Min. Bldg. Setbacks	20 ft(front), 16ft (side), 25 ft (rear)

BUILDING CODE: 2015 International Residential Code (IRC)
With Statewide and City Amendments Title 17

Standard Design Criteria per IRC Sec. R301 & Table R303.2(1)

Building Area Summary – Living (House)	
Existing Main Floor	1150 sf
Existing Lower Floor	1150 sf
Proposed Lower Floor Addition- Garage+ Entry	619 sf
Proposed Main Floor Addition- Guest Bdrm, MBdrm, Mbath	635 sf
Total Living	3554 sf

Lot Coverage Summary (see A0.01 for detail)	
Existing Lot Coverage	2876 sf
Proposed Lot Coverage	2834 sf
Allowed Lot Coverage (30%)	2834.7 sf

Hardscape Summary (see A0.01 for detail)	
Existing Hardscape	2356 sf
Proposed Hardscape	849 sf
Allowed Hardscape (9%)	850 sf

GENERAL CONDITIONS:

- These drawings are the exclusive property of the architect and may only be reproduced with the written permission of the architect.
- The contractor shall be responsible for providing all work and materials in accordance with the International Residential Code (IRC) as well as all applicable national, state, county and city codes (building, fire, health, energy, ventilation, plumbing, mechanical, electrical, etc.)
- The contractor shall be governed by all conditions as indicated in the construction documents and specifications.
- If the contractor is aware of any discrepancy between the work as shown and requirements of codes and governing agencies, they shall notify the architect and await further instruction.
- The contractor shall verify all dimensions, datums, levels, and the site conditions prior to commencing the work. The contractor shall report any discrepancies and/or omissions to the architect prior to commencing the work.
- All work shall be accomplished by qualified trade people in the specific field with required certification where applicable.
- All work shall be performed to the established trade standards using the most suitable construction methods in such trade. Aforementioned construction to include the use of applicable standard components, connectors, supports, trim, backing, blocking and/or other appurtenances.
- Set work to required levels and lines, with members plumb, true to line, cut, and fitted. Fit work to other construction; scribe and cope as needed for accurate fit. Locate furring, nailers, blocking, grounds, and similar supports to comply with requirements for attaching other construction.
- These drawings indicate general and typical details of construction. Where conditions are not specifically indicated but are of a similar character to the details shown, similar details of construction shall be used. Repetitive features not noted on the drawings shall be completely provided as if drawn in full.
- Do not scale drawings. All dimensions are from face of rough framing or face of concrete unless noted otherwise. Check details for location of items not dimensioned on the plans.
- All rough opening measurements shall be verified by the contractor.
- The contractor shall coordinate the securing of required permits and approvals with the owner.
- The contractor shall schedule on-site inspections per the building official.
- Electrical, plumbing and mechanical systems are to be bidder designed. The contractor will be responsible to produce drawings for the architect and owner to review and approve, prior to the start of installation, and to obtain all necessary permits in connection with the work.
- No deviations from or changes to the structural system shall be made without approval from the architect and engineer.
- All changes in plans and field modifications shall be approved by the building official.
- Shop drawings are required for, but not limited to, trusses, structural steel connections and fabrications. The contractor shall prepare and submit shop drawings to the architect for review and approval, and then submit to the building official. All shop drawing dimensions shall be checked and verified in the field by the contractor.
- It shall be the responsibility of the contractor to locate all existing utilities whether shown herein or not and to protect them from damage. The contractor shall bear all expense of repairs or replacement of utilities or other property damaged by operations in conjunction with the execution of the work.
- The contractor shall provide temporary facilities as required by code.
- The contractor shall provide all shoring, barricading and bracing necessary to ensure the structural stability of the project, and the health and safety of the public and all who enter the property during construction.
- The contractor shall keep areas under construction secure and clear of dirt and debris.
- The contractor shall schedule work, as much as possible, to avoid inconveniences of existing neighborhood property owners.
- The contractor shall provide all accessories required for a completely watertight installation including but not necessarily limited to: flashing, counterflashing, sealant, and caulking at all roof and floor penetrations, interlocking weather stripping at all doors and windows, water stops and other concrete inserts at below grade cold joints.
- See structural notes & details for additional concrete, steel, & rough carpentry requirements.

ABBREVIATIONS:

A.B.	Anchor bolt	JST	Joist
A.F.F.	Above finish floor	K.D.	Kiln dried
ABV	Above	L	Length
ADD	Addition	L.F.	Linear feet
ALT	Alternating	LAV	Lavatory
AWN	Awning	LOC	Location
B.F.	Bi-fold	M.O.	Masonry opening
B.P.	Bi-pass	MATL	Material
B/I	Built-in	MAX	Maximum
B/U	Built-up	MECH	Mechanical
BLDG	Building	MFR	Manufacturer
BLKG	Blocking	MIN	Minimum
BLW	Below	MTL	Metal
BM	Beam	(N)	New
BRD	Board	N.A.	Not applicable
BRG	Bearing	N.I.C.	Not in contract
BSBL	Building Setback Line	N.T.S.	Not to scale
C.F.	Cubic feet	O/	Over
C.J.	Control Joint	O.C.	On center
C.L.	Center line	O.D.	Outside diameter
CALC	Calculation	O.H.	Overhang
CANT	Cantilever	O.H.D.	Overhead door
CAS	Casement	ODWH	On-demand water heater
CLG	Ceiling	OPP	Opposite
CLR	Clear	OPTL	Optional
COL	Column	PLAM	Parallam
CONC	Concrete	P.T.	Pressure treated
CONST	Construction	PD	Plumbing drop
CONT	Continuous	PERP	Perpendicular
COORD	Coordinate	PKT	Pocket
CSMT	Casement	PL	Plate
D	Depth	PLMG	Plumbing
D.H.	Double hung	PLYWD	Plywood
DBL	Double	PSF	Per square foot
DEMO	Demolish	R	Riser
DIA	Diameter	R.O.	Rough opening
DIM	Dimension	R.S.	Rough sawn
DN	Down	R-VALUE	Thermal resistance
DR	Door	REF	Refrigerator
DS	Down spout	REQD	Required
DTL	Detail	REV	Revision
DWG	Drawing	RFR	Rafter
E.J.	Expansion joint	S	Sink
E.W.	Each way	S&P	Shelf and pole
EA	Each	S.C.	Solid core wood
EL	Elevation	S.D.	Smoke detector
E.P.D.M.	Ethylene Propylene Diene Monomer	S.F.	Square feet
EQ	Equal	S.G.	Safety glass
EQUIP	Equipment	S.H.	Single hung
ESMT	Easement	S.O.G.	Slab on grade
EXG	Existing	S.W.	Shear wall
EXP	Exposure	SHT	Sheet
EXT	Exterior	SHTG	Sheeting
F	Fixed	SIM	Similar
F.D.	Floor Drain	SLDR	Slider
F.F.	Finish Floor	SPEC	Specification
F.P.	Fireplace	STD	Standard
F.V.	Field verify	STL	Steel
FDN	Foundation	STRUCT	Structural
FIN	Finish	T	Tread
FL	Flush	T&G	Tongue and groove
FLR	Floor	T.O.B.	Top of beam
FRDR	French door	T.O.S.	Top of slab
FTG	Footing	T.O.W.	Top of wall
F.S.C.	Forest Stewardship Council	TEMP	Temporary
G.F.I.	Ground fault interrupt	THK	Thick
G.W.B.	Gypsum wall board	TYP	Typical
GA	Gauge	U.N.O.	Unless noted otherwise
GALV	Galvanized	UNHTD	Unheated
GL	Glass, glazing	V.B.	Vapor barrier
GLB	Glulam beam	V.T.O.	Vent to outside
H, HT	Height	V.I.F.	Verify in field
H.B.	Hose bibb	VERT	Vertical
H.C.	Hollow core wood	W	Width
HDR	Header	W/	With
HDWD	Hardwood	W/D	Washer/Dryer
HORZ	Horizontal	W/O	Without
HWT	Hot water tank	W.C.	Water closet
I.D.	Inside diameter	WD	Wood
INSUL	Insulation	W.I.C.	Walk in closet
INT	Interior	WIN	Window
ICF	Insulated concrete form	WP	Waterproof
		X	by

OWNER:
CHRIS AND JEN BRENES
2675 74TH AVE SE
MERCER ISLAND, WA 98040
PH: 619.957.5849

PROJECT TEAM:

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Living Shelter Architects
PO Box 1477
Issaquah, WA 98027
Principal: Terry Phelan
Contact:
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E: terry.phelan@livingshelter.com

Structural Engineer:

Swenson Say Faget
2124 Third Ave, Suite 100
Seattle, WA 98121
Contact: Karl Rosman
P: (206) 443-6212
E: info@ssfengineers.com

PROJECT SUMMARY:

Addition+Renovation to a single-family home with work in the steep slope critical area along the north property boundary.

Primary Heat Source: Gas + Electric Heatpump

Work will be completed under a general construction contract.

DRAWING INDEX:

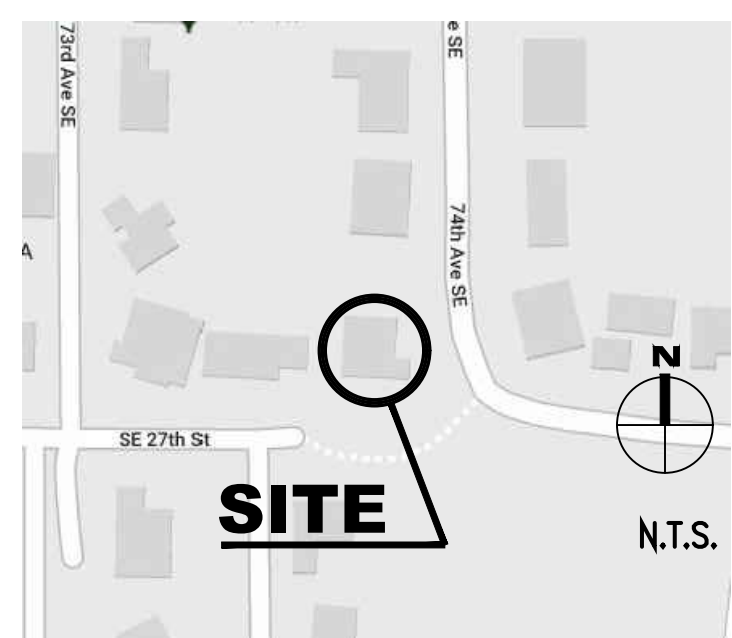
Architectural	
G0.00	Cover Sheet & Project Information
A0.00	Site Plan
A0.01	Lot Coverage/Hardscape
A0.02	Site Survey
A0.03	Comparative Site Survey
A0.04	Lower Floor Plan
A0.05	Upper Floor Plan

Structural

S1.1	General Structural Notes
S1.2	General Structural Notes
S2.1	Main Floor Framing/Foundation Plan
S2.2	Upper Floor Framing Plan
S2.3	Roof Framing Plan
S3.1	Foundation Details
S3.2	Foundation Details
S4.1	Typical Wood Framing Details
S4.2	Wood Framing Details

VICINITY MAP & PROJECT ADDRESS:

2675 74th Ave SE
Mercer Island, WA, 98040



SYMBOLS:

LEGEND:

EXHAUST FAN			
FAN TYPE (REFER TO SCHEDULE)	12/6	ROOF SLOPE (RISE, RUN)	
DOOR TAG		ELEVATION TAG	
DOOR NUMBER (REFER TO SCHEDULE)		SLIDING DOOR/ WINDOW	
WINDOW TAG	6:12	SLOPE DOWNHILL RISE:RUN	
WINDOW LETTER (REFER TO SCHEDULE)		SMOKE DETECTOR/ALARM	
		CARBON MONOXIDE DETECTOR/ALARM	

NORTH ARROW		BUILDING SECTION CUT TAG	
PROJECT NORTH		SECTION NUMBER	
TRUE NORTH		SHEET NUMBER	
		WALL SECTION CUT TAG	
		SECTION NUMBER	
		SHEET NUMBER	
INTERIOR ELEVATION		DETAIL CUT TAG	
ELEVATION NUMBER & DIRECTION		SECTION NUMBER	
SHEET NUMBER		SHEET NUMBER	



LSA

LIVING SHELTER ARCHITECTS PLLC

472-A FRONT ST. N
ISSAQUAH, WA 98027
(425) 427-8643

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file
1644

project name

BRENES REMODEL

project address
2675 74th Ave SE
Mercer Island, WA 98040

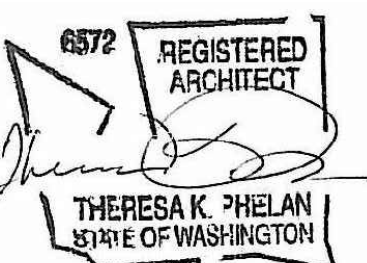
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revisions

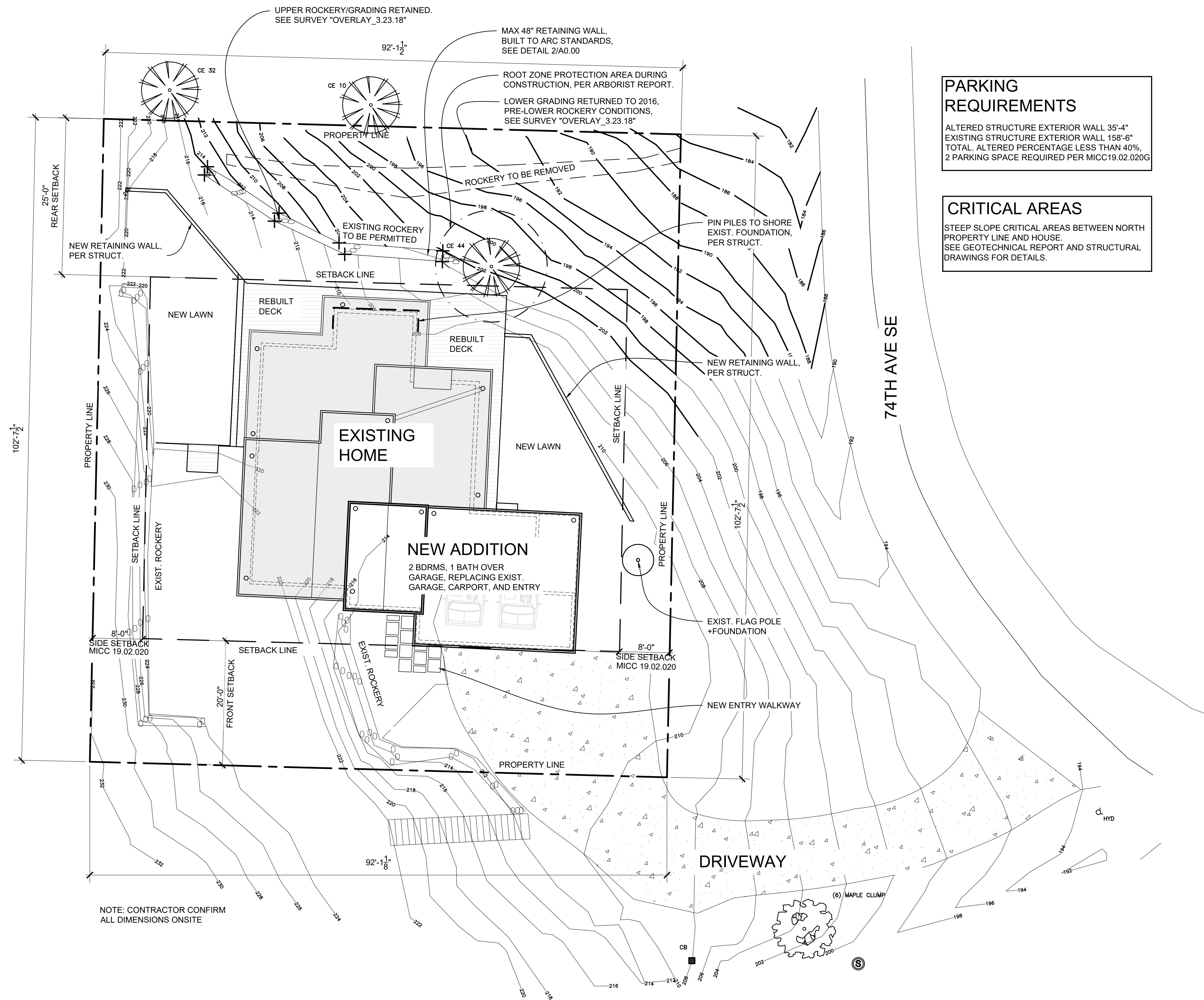
date
17 May 2019

sheet title

COVER

sheet number

GO.00



PARKING REQUIREMENTS

ALTERED STRUCTURE EXTERIOR WALL 35'-4"
EXISTING STRUCTURE EXTERIOR WALL 158'-6"
TOTAL ALTERED PERCENTAGE LESS THAN 40%.
2 PARKING SPACE REQUIRED PER MICC19.02.020G

CRITICAL AREAS

STEEP SLOPE CRITICAL AREAS BETWEEN NORTH PROPERTY LINE AND HOUSE.
SEE GEOTECHNICAL REPORT AND STRUCTURAL DRAWINGS FOR DETAILS.

SITE PLAN NOTES

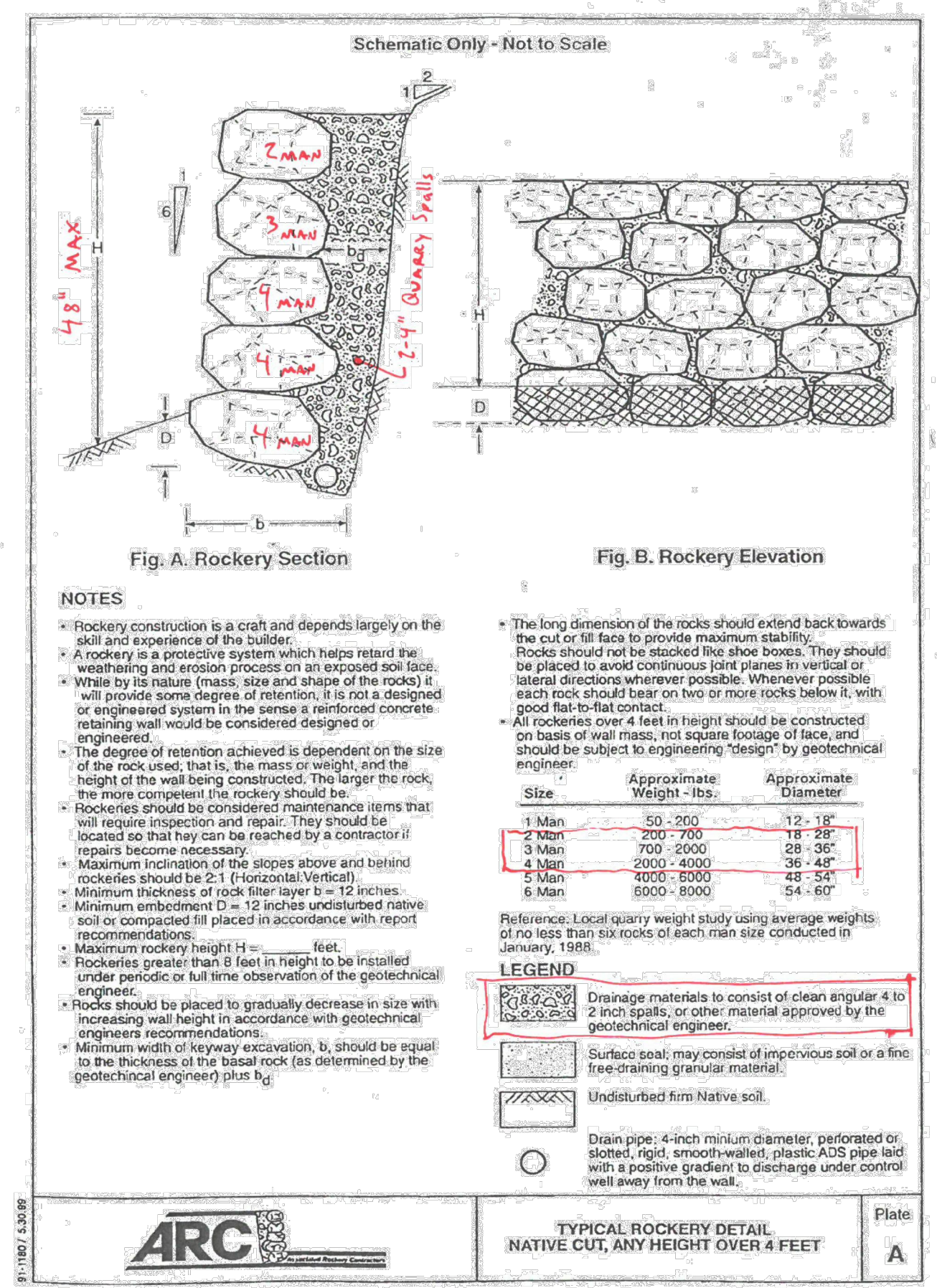
- Submit jobsite recycling plan prior to start of construction.
 - Achieve a minimum recycling rate of 70% of waste by weight.
 - Follow recycling plan once posted on jobsite.
- All sub/contractors to comply with recycling plan & waste reduction efforts.

Example of materials to recycle: cardboard, metal scrap, wood scrap, broken pallets, packaging, concrete rubble, rock, brick, land clearing/ yard waste, soil, other construction materials and surplus as appropriate.
- Use pervious materials for minimum 33% total area for drives, walks, & patios.
- Grade to drain away from buildings, typical.
- Amend disturbed soil to a depth of 8-10 inches to restore soil environmental functions.
- Perimeter drainage to be installed as follows:
 - Perf. Pipe surrounded and set in a min. 2" depth bed w/ a min. 3/4" crushed stone free of smaller particles (to prevent clogging).
 - Perf. Pipe & crushed stone shall be surrounded by a filter membrane to prevent adjacent soil from washing into & clogging the drain system.
 - Minimum 1/4" per foot slope and connected to daylight.
- Roof and footing drains are to be connected separately to the storm drain system unless otherwise allowed.

LOT DESCRIPTION	
Site Address	2675 74 TH Ave SE Mercer Island, WA 98040
Parcel #	5315100392
Legal Description	MC GILVRAS ISLAND ADD E 92.15 FT OG S 102.65 FT
Zoning	R-9.6

LOT COVERAGE - IMPERVIOUS SURFACES	
Lot Size = 9449 sf	
Existing Roof	1474 sf
Existing Garage + Carport	662 sf
Existing Driveway	740 sf
Demo Existing Garage + Carport	-662 sf
Demo section of exist. Driveway	-52 sf
New Roof	672 sf
Total	2836 sf
Lot Coverage	30.0 %
Max. Allowed	30 %

SURVEY PREPARED BY
C & C Surveying LLC
4509 243RD PL AW
Mountlake Terrace, WA 98043
425.673.7502
ccsurveyllc@gmail.com



THIS SITE DRAWING SHOWS CONTOURS ADJUSTED FOR THE REMOVAL OF THE LOWER ROCKERY ON THE NORTH SLOPE OF THE PROPERTY, PER 1/A0.03, WHILE RETAINING THE UPPER ROCKERY. IT ALSO SHOWS THE REDUCED SCOPE RE-BUILD OF THE DECKS AROUND THE W, N, AND E OF THE HOUSE, INCLUDING TWO NEW RETAINING WALLS TO CREATE UPPER AND LOWER LAWNS. FINALLY, IT SHOWS THE ADDITION TO THE SE OF THE HOUSE REPLACING THE EXISTING CARPORT/GARAGE/ENTRY WITH A NEW ENTRY/2 CAR GARAGE/ WITH 2 BEDROOMS 1 BATH ABOVE.

1 SITE PLAN
1"=10'-0"

2 AS-BUILT ROCKERY DETAIL
NTS

"UPPER AND LOWER ROCKERIES" ON NORTH SLOPE OF PROPERTY BUILT BY B&R ENTERPRISES LLC (FORMERLY 'BY DESIGN ROCKERIES') IN 2017



472-A FRONT ST. N
ISSAQUAH, WA 98027
(425) 427-8643

file **1644**
project name

BRENES REMODEL

project address
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Mercer Island, WA 98040

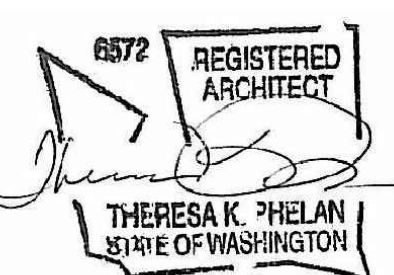
owner
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revisions

date
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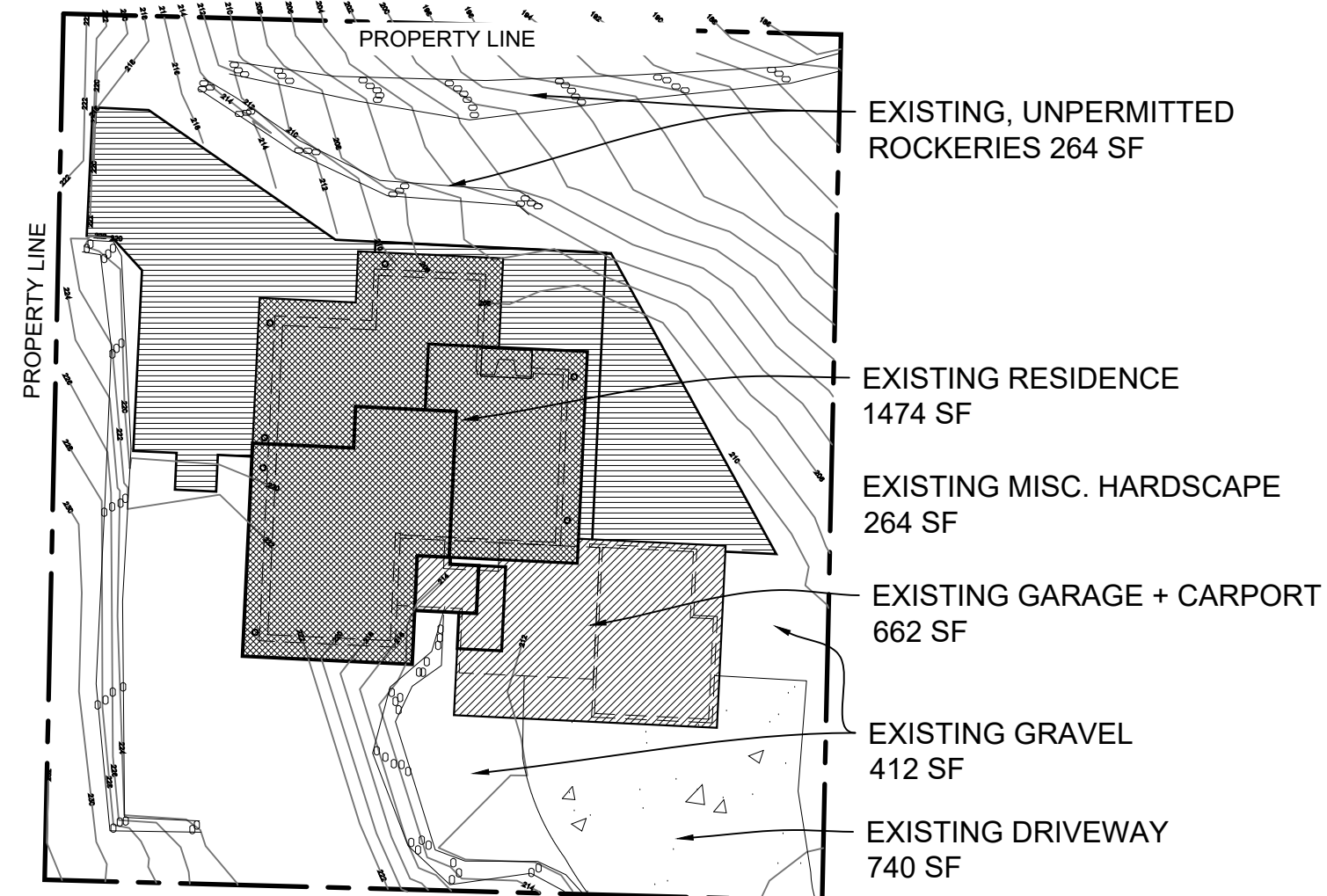
SITE PLAN

sheet number

A0.00

HARDSCAPE-EXISTING	
TYPE	QTY (SF)
DECKS	1304
MISC	208
	36
	100
GRAVEL	269
	175
STEEP SLOPE ROCKERIES	193
	71
TOTAL	2356

LOT COVERAGE-EXISTING	
TYPE	QTY (SF)
HOUSE	1474
GARAGE/CARPORT	662
DRIVEWAY	740
TOTAL	2876

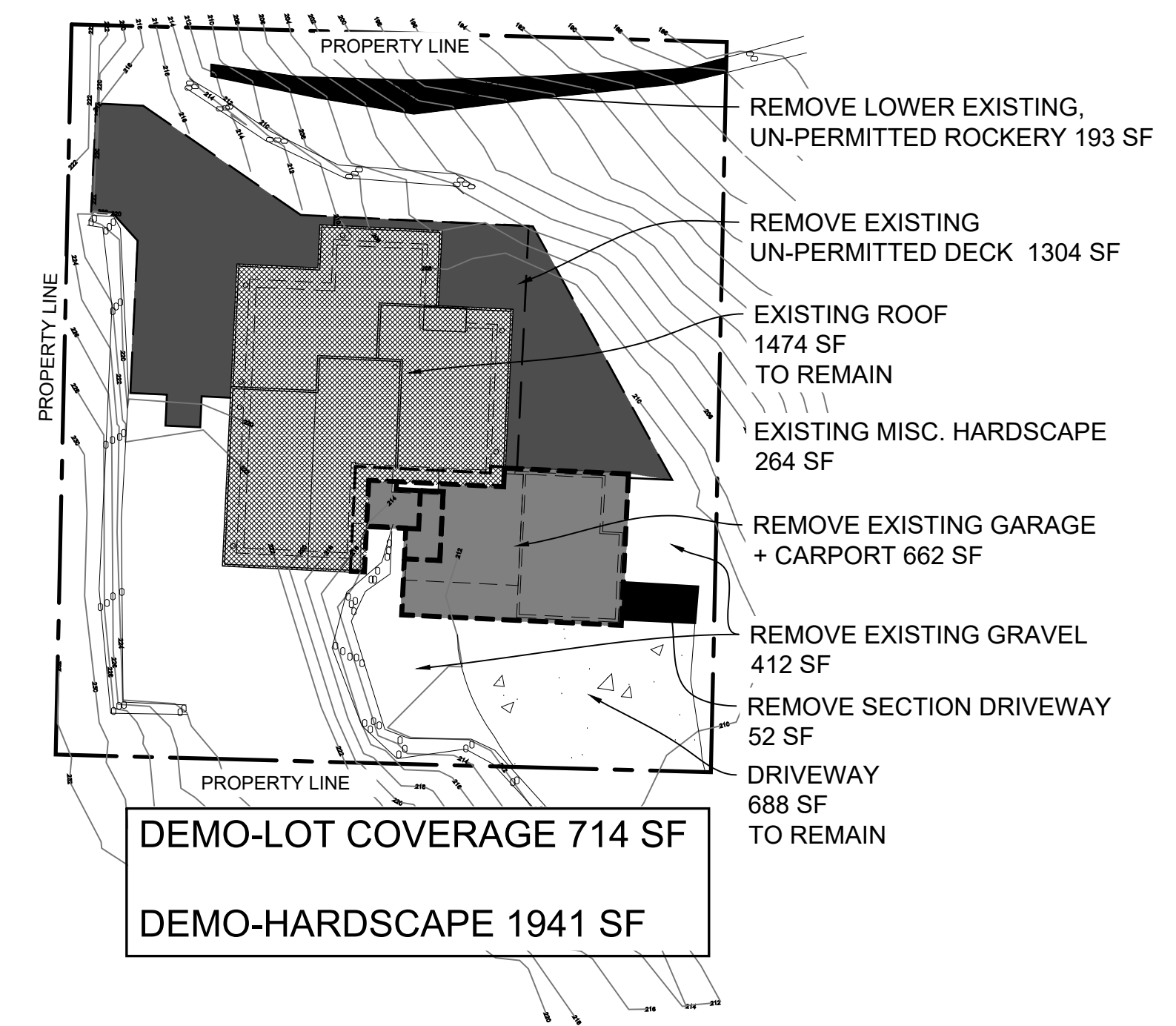


EXISTING-LOT COVERAGE 2876 SF
 ALLOWED-LOT COVERAGE 2834.7 SF
 EXISTING-HARDSCAPE 2356 SF
 ALLOWED-HARDSCAPE 850 SF

1 EXISTING LOT CONDITIONS
 1"=20'

HARDSCAPE-DEMO	
TYPE	QTY (SF)
DECKS	1304
MISC	
GRAVEL	269
	175
STEEP SLOPE ROCKERIES	193
TOTAL	1941

LOT COVERAGE-DEMO	
TYPE	QTY (SF)
DRIVEWAY	52
GARAGE/CARPORT	662
TOTAL	714



DEMO-LOT COVERAGE 714 SF
 DEMO-HARDSCAPE 1941 SF

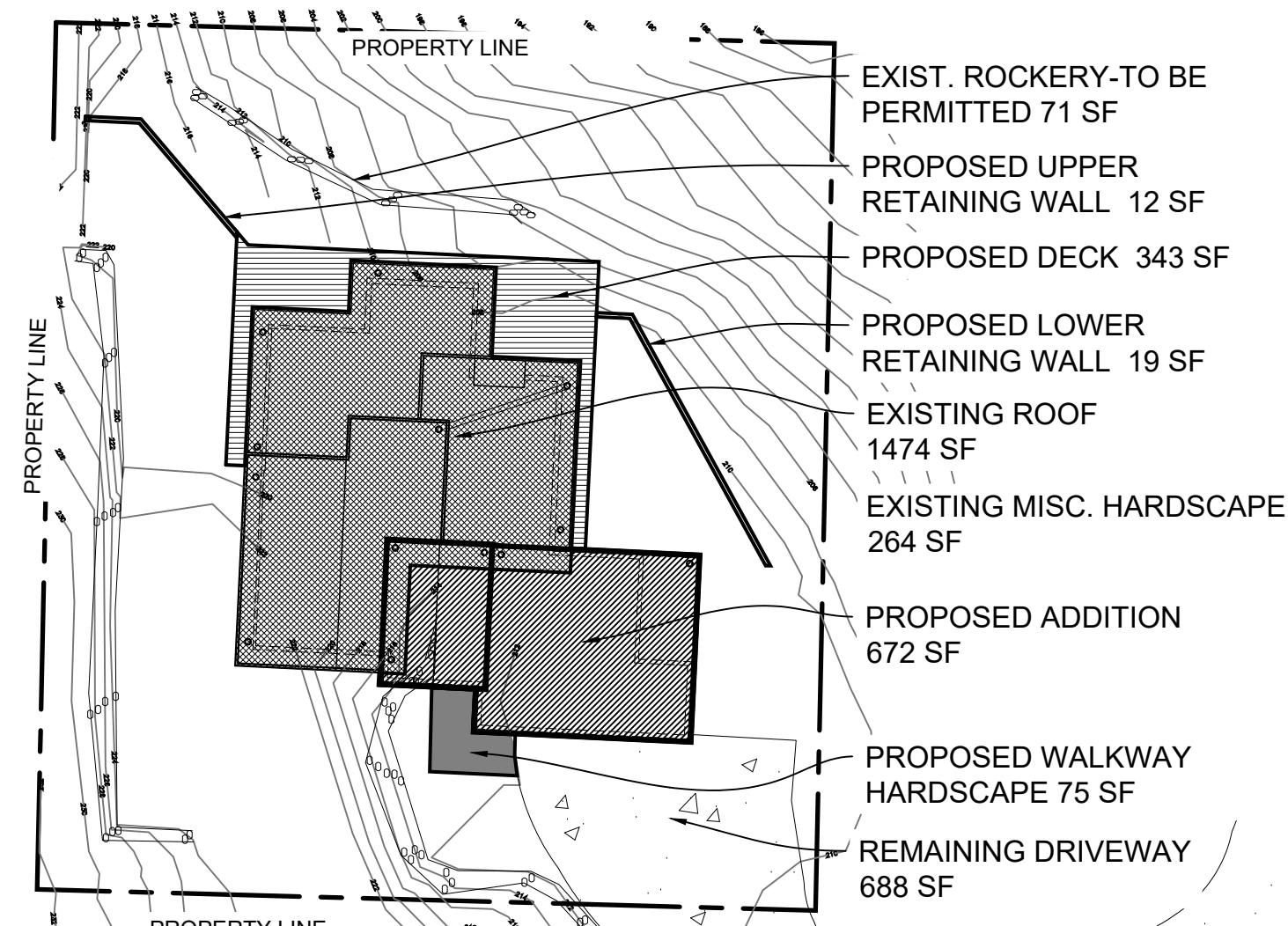
2 DEMO. LOT CONDITIONS
 1"=20'

HARDSCAPE-NEW	
TYPE	QTY (SF)
DECKS	343
MISC	31
	40
	20
TOTAL	434

EXISTING	-	DEMO	+ NEW	= PROPOSED
2356	-	1941	+ 434	= 849

LOT COVERAGE-NEW	
TYPE	QTY (SF)
GARAGE/BDRMS	672
TOTAL	672

EXISTING	-	DEMO	+ NEW	= PROPOSED
2876	-	714	+ 672	= 2834



PROPOSED-LOT COVERAGE 2834 SF
 ALLOWED-LOT COVERAGE 2834.7 SF
 PROPOSED-HARDSCAPE 849 SF
 ALLOWED-HARDSCAPE 850 SF

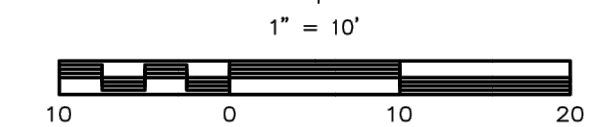
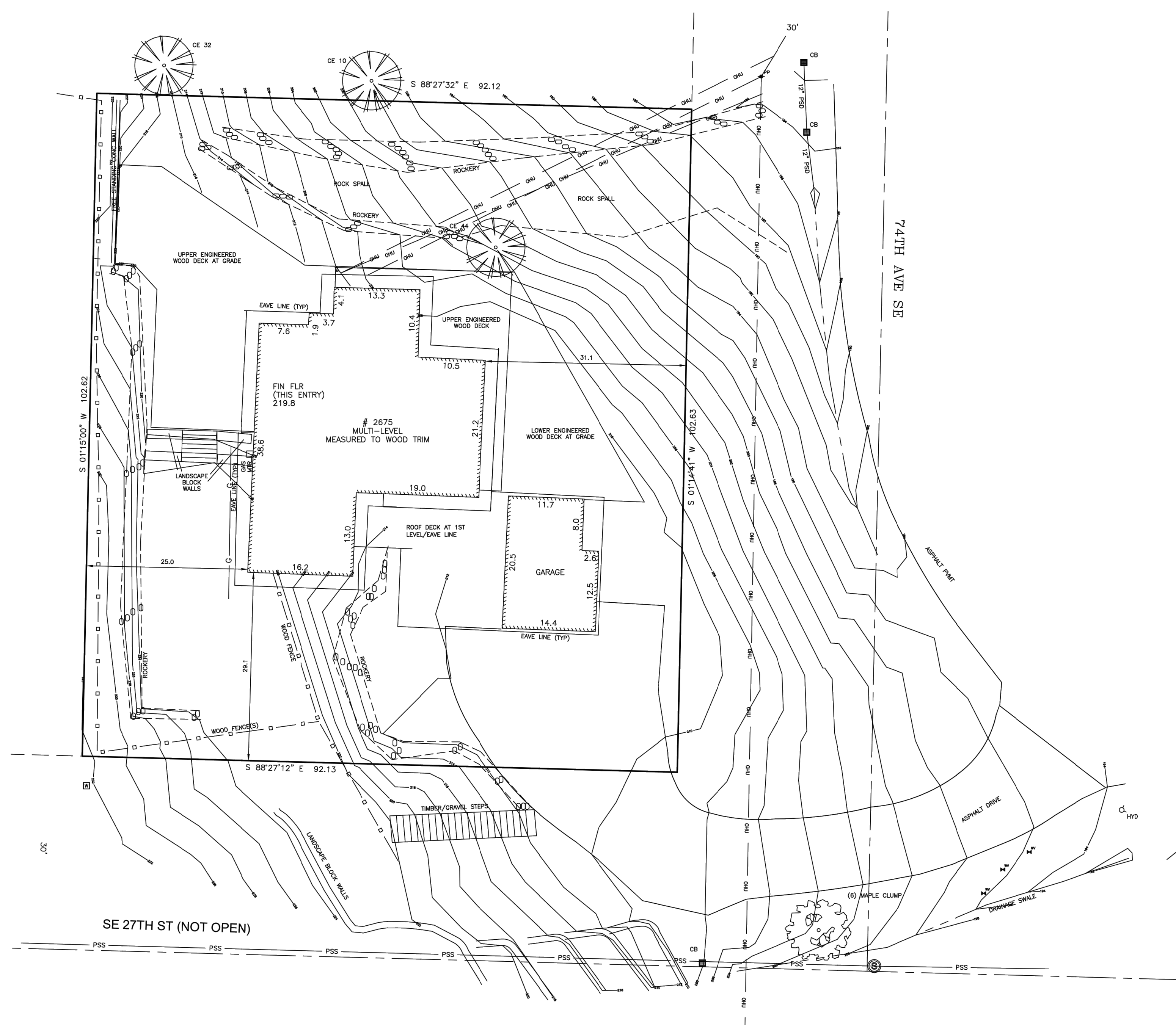
3 PROPOSED LOT CONDITIONS
 1"=20'



STEEP SLOPE AREA

SEE GEOTECHNICAL REPORT + LETTER
 DETAILING PERMITTED CONSTRUCTION IN
 STEEP SLOPE CRITICAL AREA

4 STEEP SLOPE AREA IN OR NEAR PROP. WORK
 1"=20'



FOR COMPLETE HORIZONTAL CONTROL, REFERENCE RECORD OF SURVEY BY THIS FIRM DATED 10-2-2013, RECORDING NO. 201301121900001

LEGAL DESCRIPTION

THAT PORTION OF LOT 7, BLOCK 5, MCGILVRA'S ISLAND ADDITION, AS PER PLAT RECORDED IN VOLUME 16 OF PLATS, ON PAGE 58, RECORDS OF KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 7; AND RUNNING THENCE WEST, ALONG THE SOUTH LINE THEREOF, 92.15 FEET; THENCE NORTH, PARALLEL WITH THE EAST LINE OF SAID LOT 7, A DISTANCE OF 102.65 FEET; THENCE EAST TO THE EAST LINE OF SAID LOT 7, A DISTANCE OF 92.15 FEET; THENCE SOUTH, ALONG THE EAST LINE OF SAID LOT 7, A DISTANCE OF 102.65 FEET TO THE POINT OF BEGINNING.
(FROM TRUSTEE'S STATUTORY WARRANTY DEED, REC. NO. 20071002000874, RECORDS OF KING COUNTY, WASHINGTON)
CONTAINS 9,454.2 SQ FT (0.22 AC.)

VERTICAL DATUM

VERTICAL DATUM - NAVD 88. POINT NAME 8240 (CITY OF MERCER ISLAND). 2" BRASS CAP WITH 'X' IN CONCRETE IN STEEL CASE AT INT. SE 27TH ST & 72ND AVE SE. ELEV = 259.04
SITE BENCHMARK - MOST WESTERLY BONNET BOLT ON FIRE HYDRANT AT SOUTHEASTERLY END OF SITE DRIVE, BOLT NORTH OF "M" IN "MULLER". ELEV = 196.11

TREE DESIGNATIONS:
(NUMBERS INDICATE DIAMETER - I.E. CE 10: 10" CEDAR TREE)
CE = CEDAR

SURVEYOR'S NOTES

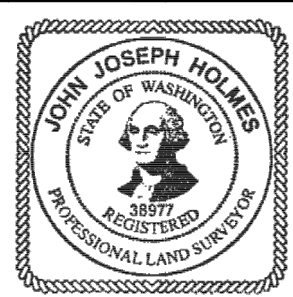
- 1.) THE CONTROLS SHOWN REPRESENT A COMPILATION OF MEASUREMENTS MADE DURING THIS SURVEY. PREVIOUS SURVEYS PERFORMED BY THIS FIRM, PUBLIC RECORDED SURVEYS AND MUNICIPAL RECORDS.
- 2.) THE CONTROLLING MONUMENTATION WAS FOUND IN JULY, 2010. CONDITIONS NOTED ARE AS OF FEBRUARY 13, 2018.
- 3.) FIELD INSTRUMENTATION WAS A LEICA TCPR 1203 TOTAL STATION LAST CALIBRATED WITHIN THE YEAR BY A FACTORY RECOMMENDED METHODS.
- 4.) ANY ENCROACHMENTS SHOWN HEREON MAY OR MAY NOT INDICATE UNWRITTEN PROPERTY RIGHTS.
- 5.) THE BOUNDARY MARKERS AND LINES DEPICTED ON THIS MAP ARE PER RECORD TITLE INFORMATION AND REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW, WHERE DISCREPANCIES EXIST THE SURVEYOR RECOMMENDS THAT THE OWNER OR POTENTIAL PURCHASER CONSULT WITH LEGAL COUNSEL TO DETERMINE HOW BEST TO INTERPRET THEIR PROPERTY RIGHTS AND ADDRESS ANY POTENTIAL BOUNDARY DISPUTES.
- 6.) FENCE LINES ARE SHOWN AS MEASURED TO THE CENTERLINE OF THE FENCE POSTS.
- 7.) TREES ARE MEASURED TO CENTERLINES OF TRUNKS.
- 8.) ALL DIMENSIONS NOTED ARE SHOWN IN U.S. FEET.
- 9.) OFFSETS AND SETBACKS ARE SHOWN PERPENDICULAR TO SIDE LINES.
- 10.) THE DRAWING SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE SURVEYOR IN HIS FIELD WORK, OFFICE WORK, OR RESEARCH.
- 11.) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS OF RECORD.

1 SITE SURVEY - CURRENT CONDITIONS
NTS

THIS SITE SURVEY SHOWS EXISTING CONDITIONS SINCE 2017, INCLUDING NON-PERMITTED ROCKERIES ON THE NORTH SLOPE AND DECKS WRAPPING AROUND THE HOUSE FROM WEST, TO NORTH, TO EAST.

SCALE:	1" = 10'	No.	Date	By	Revision	PROJ NO.
DATE:	3-13-2018					3013.2
DRAWN BY:	JUH					SHEET
MAP FILE:	3013.2TP					1 OF 1

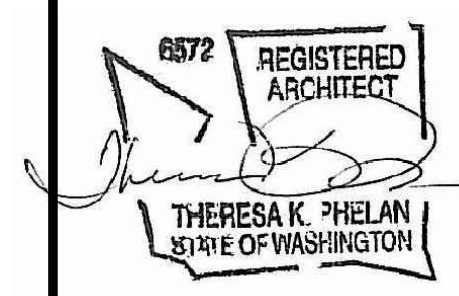
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(425)673-7502 ccsurveyllc@gmail.com

TOPOGRAPHY SURVEY FOR
JENNIFER BRENES
2675 - 74TH AVENUE SOUTHEAST PROJECT

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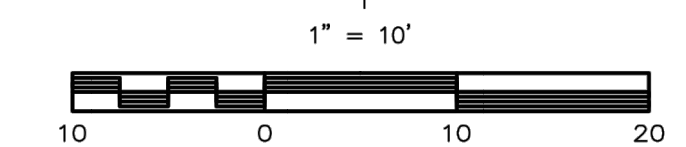
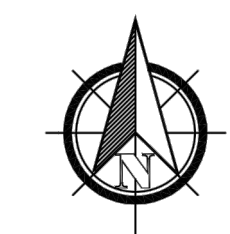
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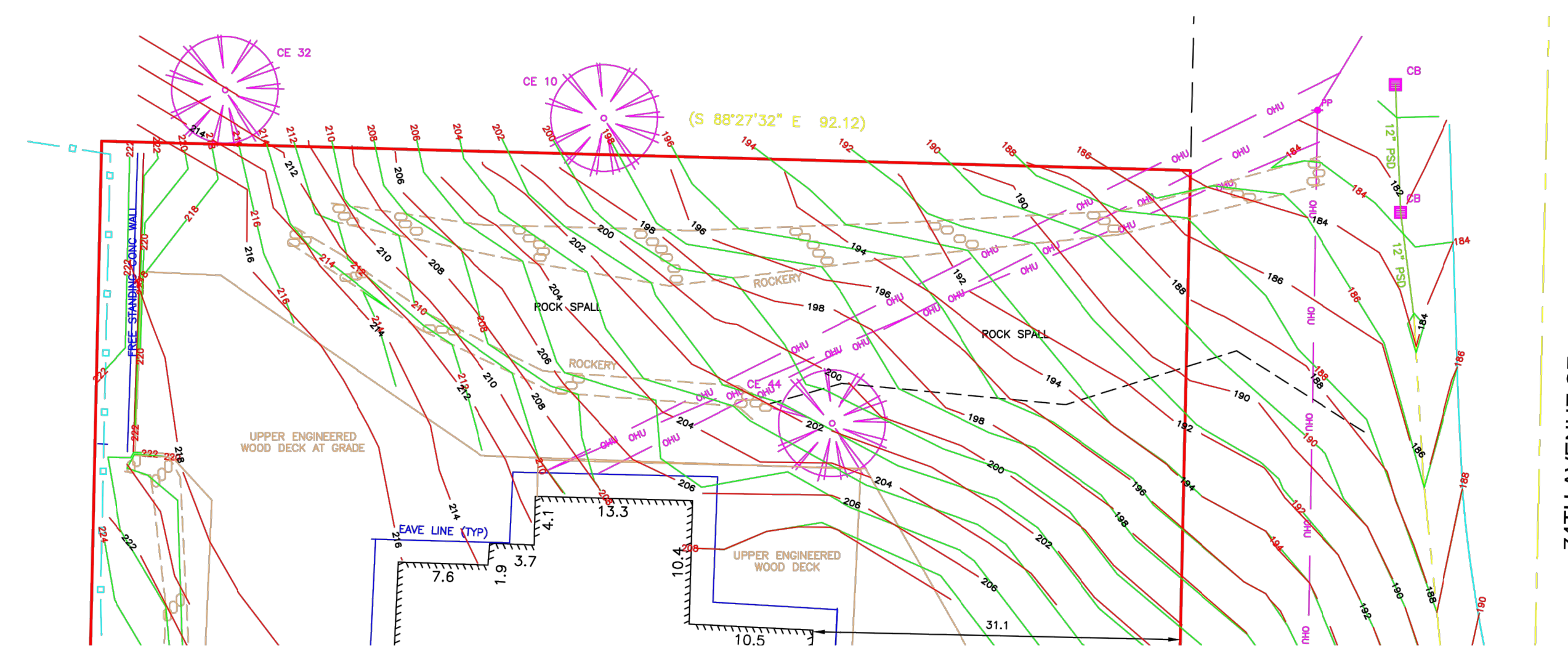
COMPARATIVE SITE SURVEY

sheet number

A0.03



FOR COMPLETE HORIZONTAL CONTROL, REFERENCE RECORD OF SURVEY BY THIS FIRM DATED 10-2-2013, RECORDING NO. 20130112190001



— 214 — = CONTOURS AS NOTED ON SEPTEMBER 20, 2013
 — 214 — = CONTOURS AS NOTED ON FEBRUARY 18, 2018
 ALL OTHER SITE CONDITIONS ARE AS OF 2-18-2018

LEGAL DESCRIPTION

THAT PORTION OF LOT 7, BLOCK 5, MCGILLVRA'S ISLAND ADDITION, AS PER PLAT RECORDED IN VOLUME 16 OF PLATS, ON PAGE 58, RECORDS OF KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 7; AND RUNNING THENCE WEST, ALONG THE SOUTH LINE THEREOF, 92.15 FEET; THENCE NORTH, PARALLEL WITH THE EAST LINE OF SAID LOT 7, A DISTANCE OF 102.65 FEET; THENCE EAST TO THE EAST LINE OF SAID LOT 7, A DISTANCE OF 92.15 FEET; THENCE SOUTH, ALONG THE EAST LINE OF SAID LOT 7, A DISTANCE OF 102.65 FEET TO THE POINT OF BEGINNING.
 (FROM TRUSTEE'S STATUTORY WARRANTY DEED, REC. NO. 20071002000874, RECORDS OF KING COUNTY, WASHINGTON)
 CONTAINS 9,454.2 SQ FT (0.22 AC.)

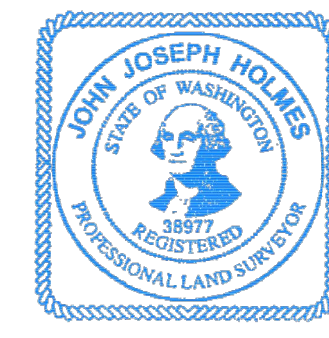
VERTICAL DATUM

VERTICAL DATUM - NAVD 88, POINT NAME 8240 (CITY OF MERCER ISLAND). 2" BRASS CAP WITH 'X' IN CONCRETE IN STEEL CASE AT INT. SE 27TH ST & 72ND AVE SE. ELEV = 259.04
 SITE BENCHMARK - MOST WESTERLY BONNET BOLT ON FIRE HYDRANT AT SOUTHEASTERLY END OF SITE DRIVE, BOLT NORTH OF "M" IN "MULLER". ELEV = 196.11

TREE DESIGNATIONS:
 (NUMBERS INDICATE DIAMETER - I.E. CE 10: 10" CEDAR TREE)
 CE = CEDAR

F:\Client\Drawings\3013\3013 Brene's\Drawings\3013.2\OVERLAY_3.23.18.dwg, C&C Surveying LLC

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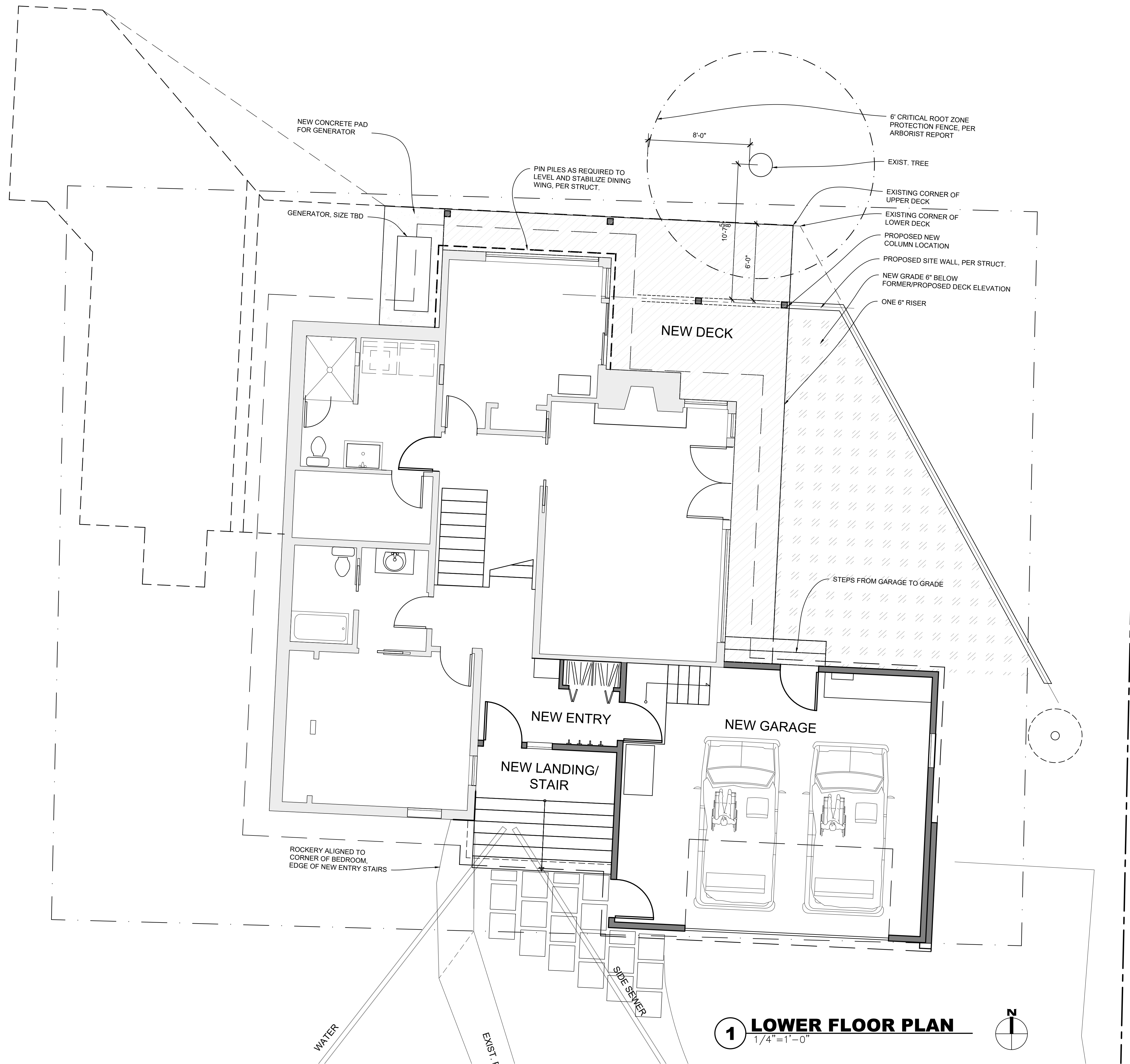
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SURVEY FOR: JENNIFER BRENES		
SCALE: 1" = 10'	MAP FILE: 3609TPR1	DRAWN BY: JJH
DATE: 3-23-2018		REV:
2675 - 74TH AVE SOUTHEAST PROJECT		
PROJ NO. 3013.2OVERLAY	SHEET NUMBER 1 OF 1	

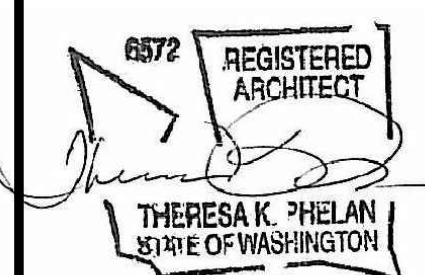
1 SITE SURVEY - COMPARATIVE TOPO PRE/POST ROCKERIES
 NTS

THIS SITE DRAWING SHOWS CONTOURS SURVEYED IN 2013, BEFORE ROCKERIES WERE INSTALLED ON THE NORTH SLOPE OF THE BRENES' PROPERTY AND A COMPARATIVE SET OF CONTOURS SURVEYED AFTER THEIR CONSTRUCTION IN 2018.

THE LOWER ROCKERY WILL BE REMOVED, PER SITE PLAN, AND CONTOURS RETURNED TO PREVIOUS STATE SHOWN HERE FROM 2013.



1 LOWER FLOOR PLAN
1/4" = 1'-0"



revisions

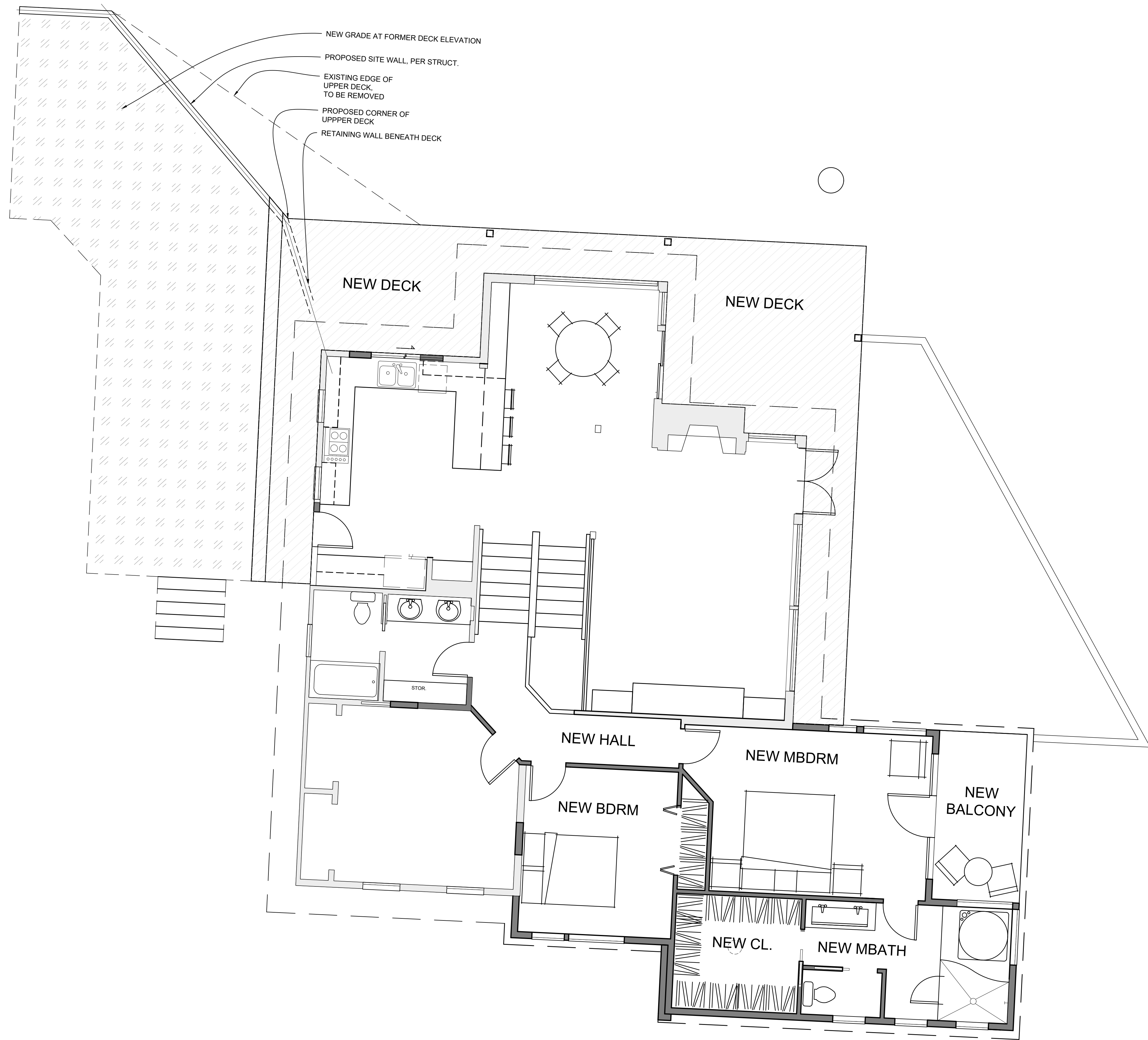
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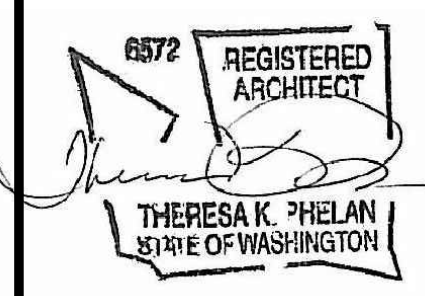
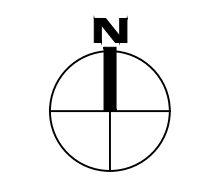
LOWER FLOOR PLAN

sheet number

A0.04



1 UPPER FLOOR PLAN
 1/4" = 1'-0"



revisions

date
 17 May 2019

sheet title

UPPER FLOOR PLAN

sheet number

A0.05