

PARKING REQUIREMENTS

ALTERED STRUCTURE EXTERIOR WALL 35'-4"
EXISTING STRUCTURE EXTERIOR WALL 158'-6"
TOTAL ALTERED PERCENTAGE LESS THAN 40%,
2 PARKING SPACE REQUIRED PER MICC 19.02.020G

CRITICAL AREAS

STEEP SLOPE CRITICAL AREAS BETWEEN NORTH PROPERTY LINE AND HOUSE.
SEE GEOTECHNICAL REPORT AND STRUCTURAL DRAWINGS FOR DETAILS.

MICC 19.07.060(D)(1)

THIS PROJECT COMPLIES WITH MICC CODE SECTION 19.07.060(D)(1)(A-D) PER GEOTECH LETTER ES-4316.03 DATED JULY 17, 2019. (QUOTED BELOW) ALSO, SEE L0.01 FOR LANDSCAPE PLAN.

"a. The landscaping improvements in the eastern and northern site areas affect erosion potential positively (long-term erosion hazard is reduced) and do not affect landslide or seismic hazard (landslide and seismic hazard are neither reduced nor increased). The garage and entry-area reconstruction, deck and gravel-area removal, CIP retaining wall construction, and pin-pile installations for the north residence wing have all been designed to incorporate appropriate geotechnical and/or structural considerations, and based on our review, will not adversely impact critical areas on site. Because the rockeries did not involve grade cuts or fills, and therefore did not "alter" the slope, we do not foresee adverse impact to critical areas on site from rockery construction and/or deconstruction

"b. The above analysis for "a" (for the subject property) is applicable to the discussion of potentially adversely impacting adjacent properties. Landslides and related earth movement are not anticipated as a result of the proposed improvements. Uncontrolled surface-water flows in both the northern and eastern site areas are expected to decrease as a result of landscaping improvements and connecting downspouts to the catch basin.

"c. The proposed improvements have incorporated design recommendations from several consulting professionals, e.g., the project architect, landscape designer, geotechnical engineer, and structural engineer, based on best-available science and professional standards of the area, to the maximum extent reasonably possible.

"d. The landscaping of all disturbed areas outside of building footprints and installation of all impervious surfaces is expected prior to final inspection.

MICC 19.07.060(D)(2)

THIS PROJECT COMPLIES WITH MICC CODE SECTION 19.07.060(D)(2) PER GEOTECH LETTER ES-4316.03 DATED JULY 17, 2019. OPTION "C" IS MET.

1 SITE PLAN
1"=10'-0"

SITE PLAN NOTES

- Submit jobsite recycling plan prior to start of construction.
 - Achieve a minimum recycling rate of 70% of waste by weight.
 - Follow recycling plan once posted on jobsite.
- All sub/contractors to comply with recycling plan & waste reduction efforts.

Example of materials to recycle: cardboard, metal scrap, wood scrap, broken pallets, packaging, concrete rubble, rock, brick, land clearing/ yard waste, soil, other construction materials and surplus as appropriate.
- Use pervious materials for minimum 33% total area for drives, walks, & patios.
- Grade to drain away from buildings, typical.
- Amend disturbed soil to a depth of 8-10 inches to restore soil environmental functions.
- Perimeter drainage to be installed as follows:
 - Perf. Pipe surrounded and set in a min. 2" depth bed w/ a min. 3/4" crushed stone free of smaller particles (to prevent clogging).
 - Perf. Pipe & crushed stone shall be surrounded by a filter membrane to prevent adjacent soil from washing into & clogging the drain system.
 - Minimum 1/4" per foot slope and connected to daylight.
- Roof and footing drains are to be connected separately to the storm drain system unless otherwise allowed.

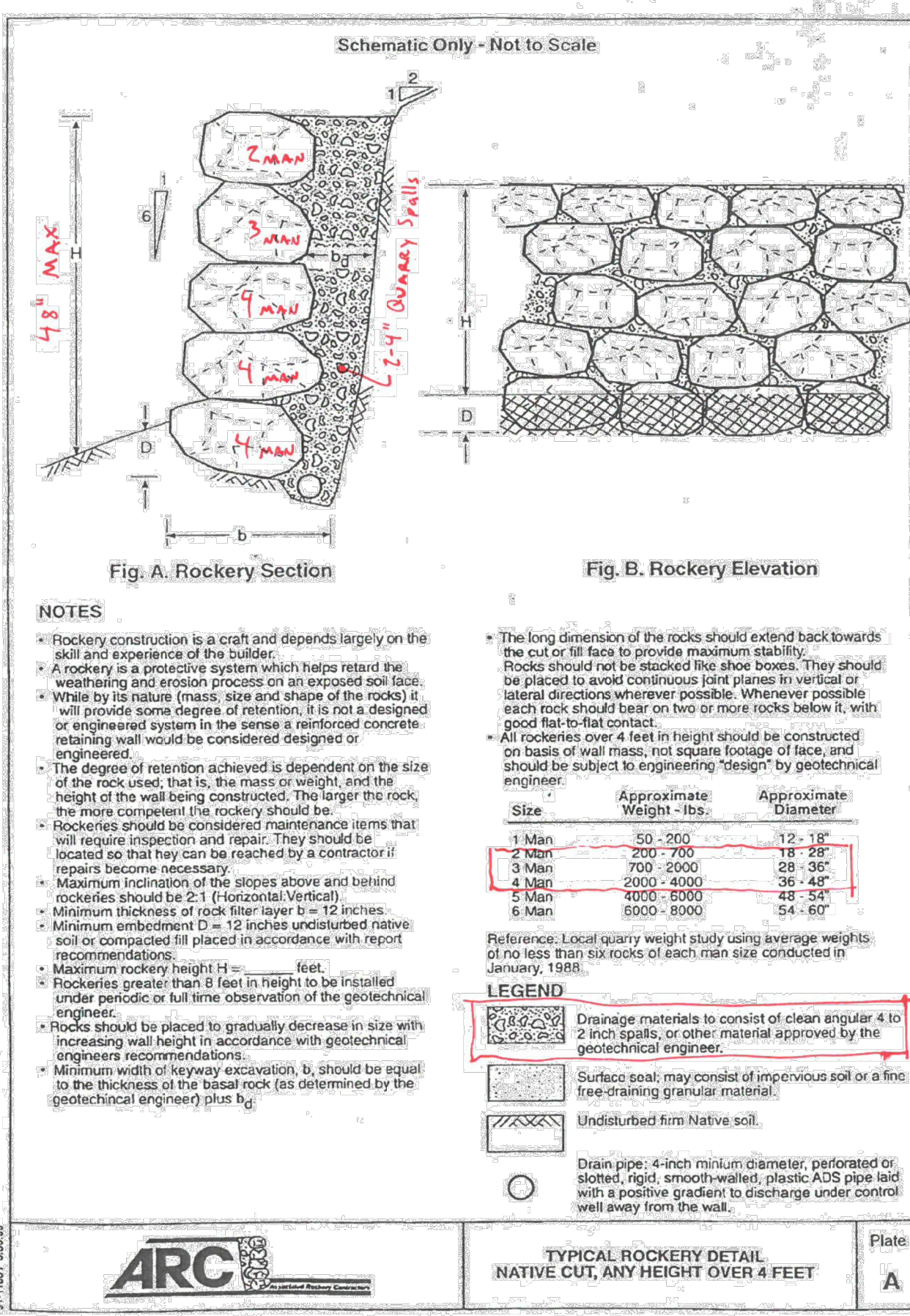
LOT DESCRIPTION

Site Address	2675 74 TH Ave SE Mercer Island, WA 98040
Parcel #	5315100392
Legal Description	MC GILVRAS ISLAND ADD E 92.15 FT OG S 102.65 FT
Zoning	R-9.6

LOT COVERAGE - IMPERVIOUS SURFACES

Lot Size = 9449 sf	
Existing Roof	1474 sf
Existing Garage + Carport	662 sf
Existing Driveway	740 sf
Demo Existing Garage + Carport	-662 sf
Demo section of exist. Driveway	-52 sf
New Roof	672 sf
Total	2836 sf
Lot Coverage	30.0 %
Max. Allowed	30 %

SURVEY PREPARED BY
C & C Surveying LLC
4509 243RD PL AW
Mountlake Terrace, WA 98043
425.673.7502
ccsurveyllc@gmail.com



2 AS-BUILT ROCKERY DETAIL
NTS

THIS SITE DRAWING SHOWS CONTOURS ADJUSTED FOR THE REMOVAL OF THE LOWER ROCKERY ON THE NORTH SLOPE OF THE PROPERTY, PER 1/A0.03, WHILE RETAINING THE UPPER ROCKERY. IT ALSO SHOWS THE REDUCED SCOPE RE-BUILD OF THE DECKS AROUND THE W, N, AND E OF THE HOUSE, INCLUDING TWO NEW RETAINING WALLS TO CREATE UPPER AND LOWER LAWNS. FINALLY, IT SHOWS THE ADDITION TO THE SE OF THE HOUSE REPLACING THE EXISTING CARPORT/GARAGE/ENTRY WITH A NEW ENTRY/2 CAR GARAGE/ WITH 2 BEDROOMS 1 BATH ABOVE.

"UPPER AND LOWER ROCKERIES" ON NORTH SLOPE OF PROPERTY BUILT BY B&R ENTERPRISES LLC (FORMERLY "BY DESIGN ROCKERIES") IN 2017

472-A FRONT ST. N
ISSAQUAH, WA 98027
(425) 427-8643

file **1644**
project name

BRENES REMODEL
project address
2675 74th Ave SE
Mercer Island, WA 98040

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CHRIS & JEN BRENES
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6572 REGISTERED ARCHITECT
THERESA K. PHELAN
STATE OF WASHINGTON

revisions
1 REV: 7/23/19

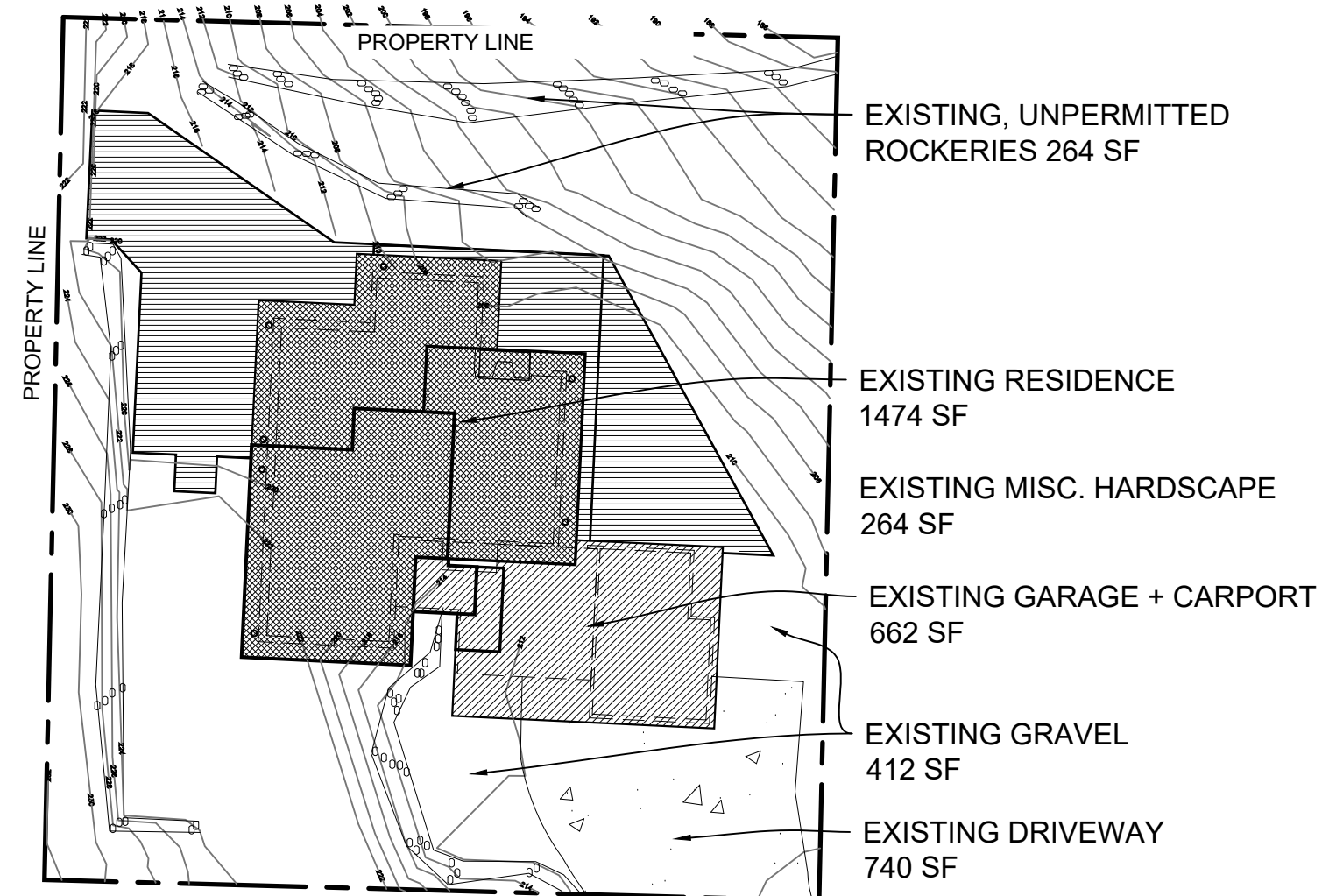
date
05 July 2019
sheet title

SITE PLAN

sheet number

HARDSCAPE-EXISTING	
TYPE	QTY (SF)
DECKS	1304
MISC	208
	36
	100
GRAVEL	269
	175
STEEP SLOPE ROCKERIES	193
	71
TOTAL	2356

LOT COVERAGE-EXISTING	
TYPE	QTY (SF)
HOUSE	1474
GARAGE/CARPORT	662
DRIVEWAY	740
TOTAL	2876

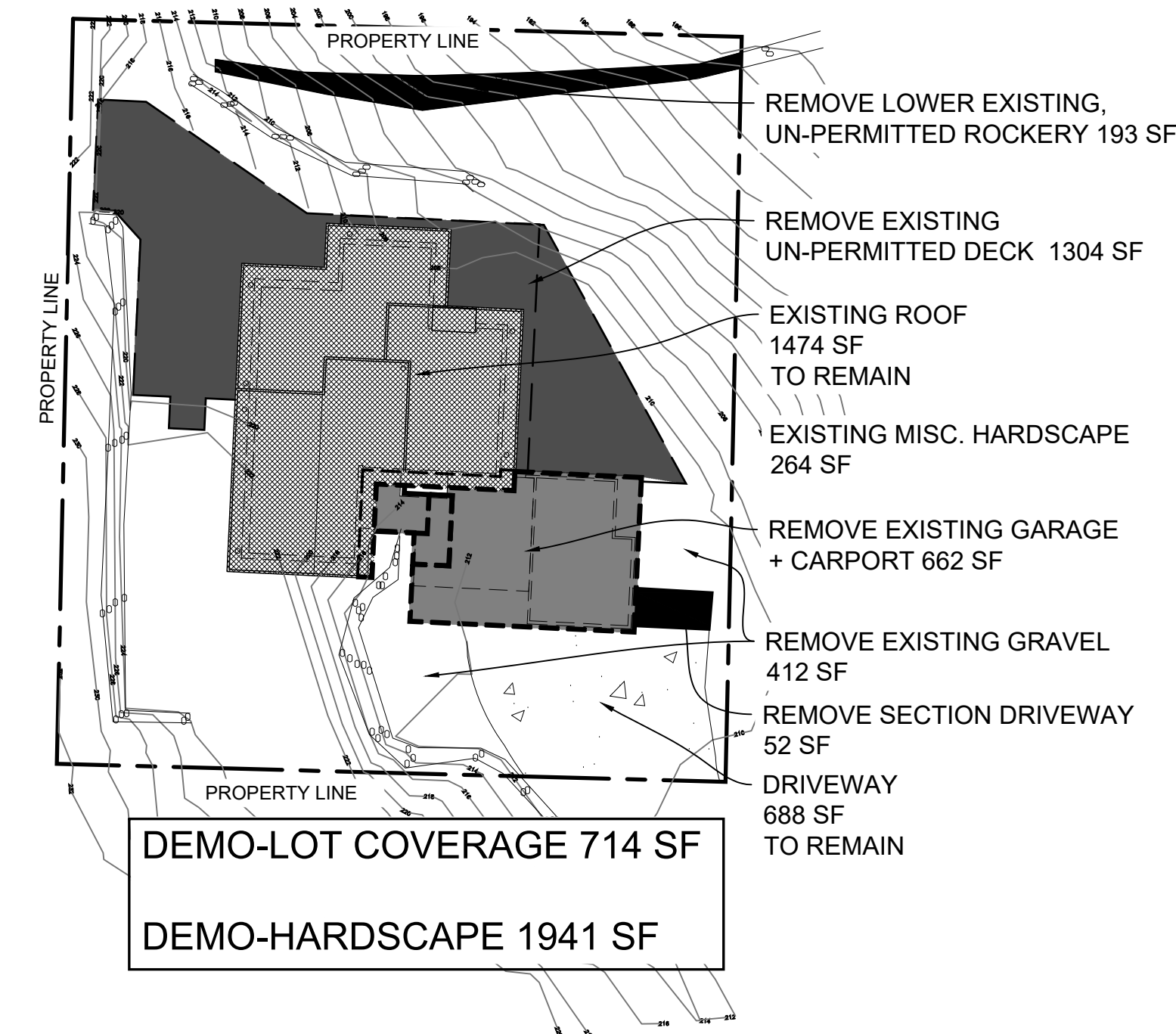


EXISTING-LOT COVERAGE 2876 SF
ALLOWED-LOT COVERAGE 2834.7 SF
EXISTING-HARDSCAPE 2356 SF
ALLOWED-HARDSCAPE 850 SF

1 EXISTING LOT CONDITIONS
1"=20'

HARDSCAPE-DEMO	
TYPE	QTY (SF)
DECKS	1304
MISC	
GRAVEL	269
	175
STEEP SLOPE ROCKERIES	193
TOTAL	1941

LOT COVERAGE-DEMO	
TYPE	QTY (SF)
DRIVEWAY	52
GARAGE/CARPORT	662
TOTAL	714



DEMO-LOT COVERAGE 714 SF
DEMO-HARDSCAPE 1941 SF

2 DEMO. LOT CONDITIONS
1"=20'

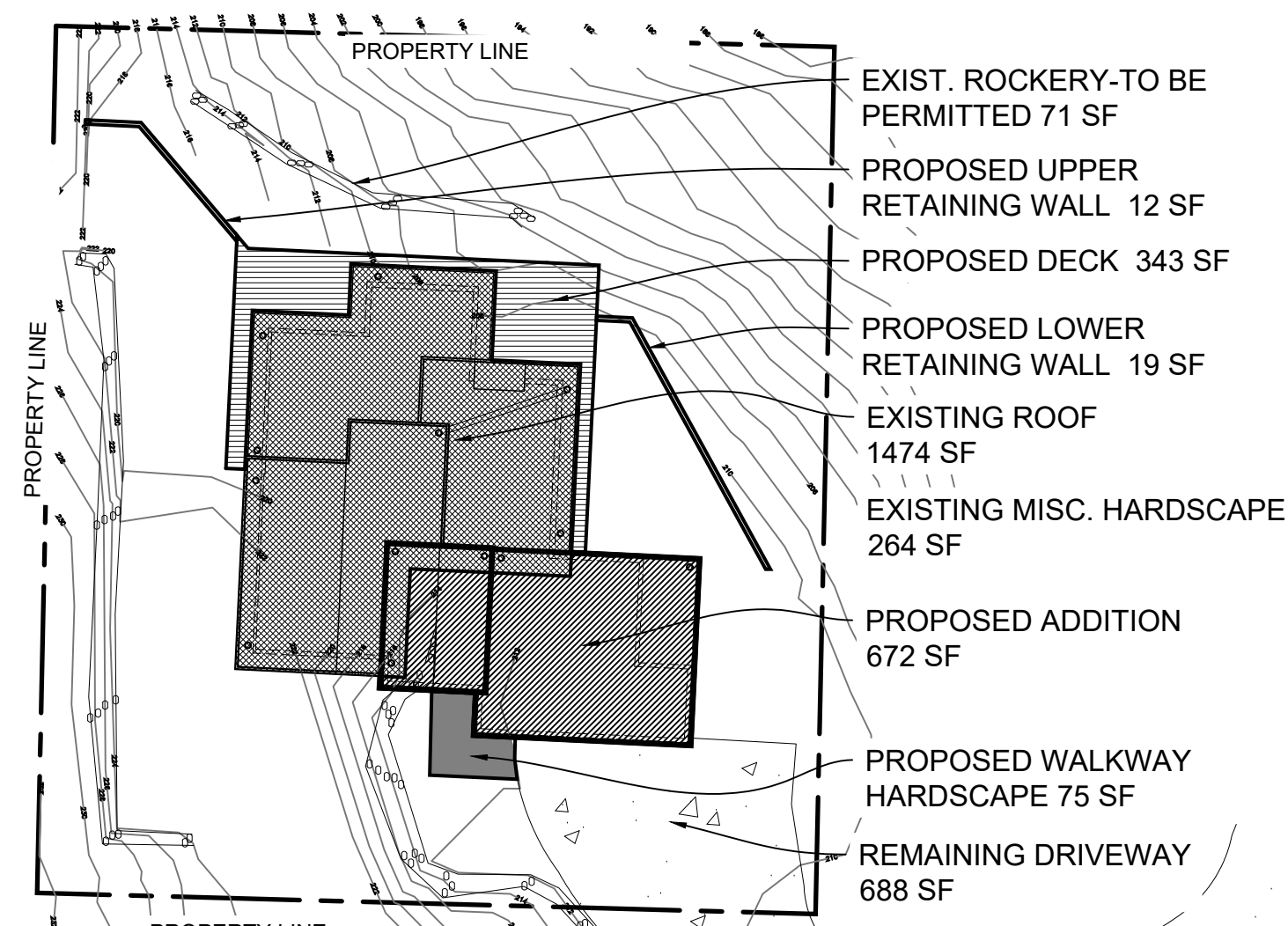
NOTE: CONCEPT GRADING PLAN ADDED AS SHEET A0.06

HARDSCAPE-NEW	
TYPE	QTY (SF)
DECKS	343
MISC	31
	40
	20
TOTAL	434

EXISTING	- DEMO	+ NEW	= PROPOSED
2356	1941	434	849

LOT COVERAGE-NEW	
TYPE	QTY (SF)
GARAGE/BDRMS	672
TOTAL	672

EXISTING	- DEMO	+ NEW	= PROPOSED
2876	714	672	2834



PROPOSED-LOT COVERAGE 2834 SF
ALLOWED-LOT COVERAGE 2834.7 SF
PROPOSED-HARDSCAPE 849 SF
ALLOWED-HARDSCAPE 850 SF

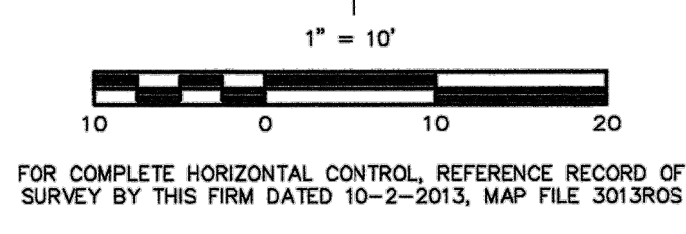
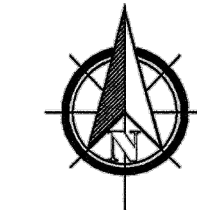
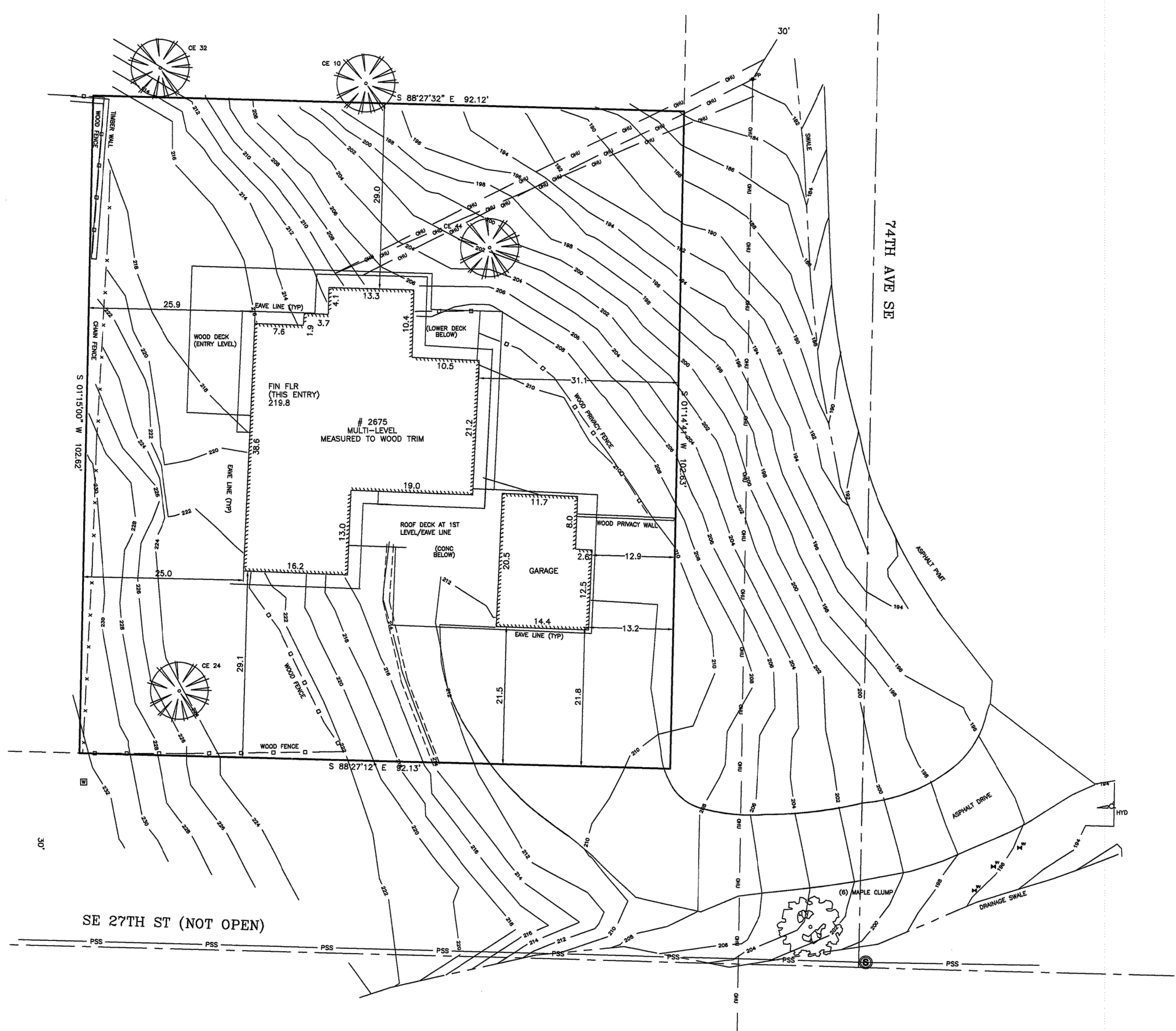
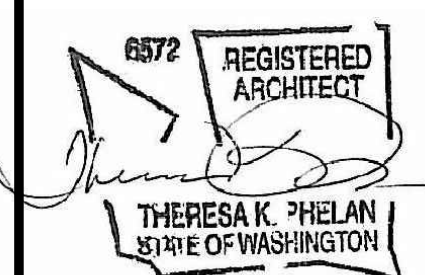
3 PROPOSED LOT CONDITIONS
1"=20'



STEEP SLOPE AREA

SEE GEOTECHNICAL REPORT + LETTER
DETAILING PERMITTED CONSTRUCTION IN
STEEP SLOPE CRITICAL AREA

4 STEEP SLOPE AREA IN OR NEAR PROP. WORK
1"=20'



FOR COMPLETE HORIZONTAL CONTROL, REFERENCE RECORD OF SURVEY BY THIS FIRM DATED 10-2-2013, MAP FILE 3013RGS

LEGAL DESCRIPTION

THAT PORTION OF LOT 7, BLOCK 5, MCGILVRA'S ISLAND ADDITION, AS PER PLAT RECORDED IN VOLUME 16 OF PLATS, ON PAGE 58, RECORDS OF KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 7; AND RUNNING THENCE WEST, ALONG THE SOUTH LINE THEREOF, 92.15 FEET; THENCE NORTH, PARALLEL WITH THE EAST LINE OF SAID LOT 7, A DISTANCE OF 102.65 FEET; THENCE EAST TO THE EAST LINE OF SAID LOT 7, A DISTANCE OF 92.15 FEET; THENCE SOUTH, ALONG THE EAST LINE OF SAID LOT 7, A DISTANCE OF 102.65 FEET TO THE POINT OF BEGINNING.
(FROM TRUSTEE'S STATUTORY WARRANTY DEED, REC. NO. 20071002000874, RECORDS OF KING COUNTY, WASHINGTON)
CONTAINS 9,454.2 SQ FT (0.22 AC.)

VERTICAL DATUM

VERTICAL DATUM - NAVD 88. POINT NAME 8240 (CITY OF MERCER ISLAND). 2" BRASS CAP WITH 'X' IN CONCRETE IN STEEL CASE AT INT. SE 27TH ST & 72ND AVE SE. ELEV = 259.04
SITE BENCHMARK - MOST WESTERLY BONNET BOLT ON FIRE HYDRANT AT SOUTHEASTERLY END OF SITE DRIVE, BOLT NORTH OF 'M' IN 'MULLER'. ELEV = 196.11

TREE DESIGNATIONS:
(NUMBERS INDICATE DIAMETER -
I.E. CE 10: 10" CEDAR TREE)
CE = CEDAR

SURVEYOR'S NOTES

- 1.) THE CONTROLS SHOWN REPRESENT A COMPILATION OF MEASUREMENTS MADE DURING THIS SURVEY. PREVIOUS SURVEYS PERFORMED BY THIS FIRM, PUBLIC RECORDED SURVEYS AND MUNICIPAL RECORDS.
- 2.) THE CONTROLLING MONUMENTATION WAS FOUND IN JULY, 2010. CONDITIONS NOTED ARE AS OF SEPTEMBER 20, 2013.
- 3.) FIELD INSTRUMENTATION WAS A LEICA TCPR 1203 TOTAL STATION LAST CALIBRATED WITHIN THE YEAR BY A FACTORY AUTHORIZED TECHNICIAN.
- 4.) THIS SURVEY MEETS OR EXCEEDS FIELD TRAVERSE STANDARDS PER WAC 332-130.
- 5.) ANY ENCROACHMENTS SHOWN HEREON MAY OR MAY NOT INDICATE UNWRITTEN PROPERTY RIGHTS.
- 6.) THE BOUNDARY MARKERS AND LINES DEPICTED ON THIS MAP ARE PER RECORD TITLE INFORMATION AND REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW, WHERE DISCREPANCIES EXIST THE SURVEYOR RECOMMENDS THAT THE OWNER OR POTENTIAL PURCHASER CONSULT WITH LEGAL COUNSEL TO DETERMINE HOW BEST TO INTERPRET THEIR PROPERTY RIGHTS AND ADDRESS ANY POTENTIAL BOUNDARY DISPUTES.
- 7.) FENCE LINES ARE SHOWN AS MEASURED TO THE CENTERLINE OF THE FENCE POSTS.
- 8.) TREES ARE MEASURED TO CENTERLINES OF TRUNKS.
- 9.) ALL DIMENSIONS NOTED ARE SHOWN IN U.S. FEET.
- 10.) OFFSETS AND SETBACKS ARE SHOWN PERPENDICULAR TO SIDE LINES.
- 11.) THE DRAWING SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE SURVEYOR IN HIS FIELD WORK, OFFICE WORK, OR RESEARCH.
- 12.) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS OF RECORD.

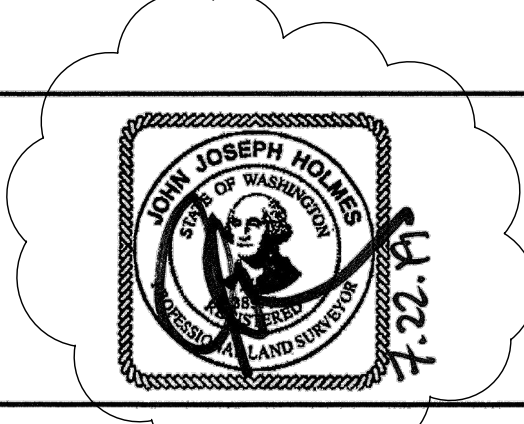
1 SITE SURVEY - CURRENT CONDITIONS
NTS

THIS SITE SURVEY SHOWS EXISTING CONDITIONS SINCE 2017, INCLUDING NON-PERMITTED ROCKERIES ON THE NORTH SLOPE AND DECKS WRAPPING AROUND THE HOUSE FROM WEST, TO NORTH, TO EAST.

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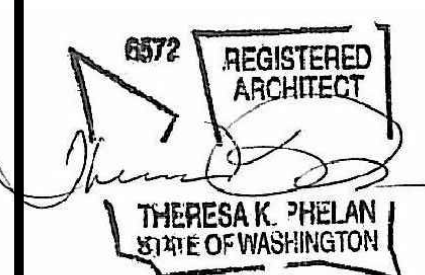
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DATE:	10-2-2013	1	7.22.19	JJH	LOGO AND COPYRIGHT UPDATE	
DRAWN BY:	JJH					SHEET
MAP FILE:	3013TOPO					1 OF 1

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C & C Surveying LLC
4509 243rd PL SW
Mountlake Terrace, WA 98043
(425)673-7502 ccsurveyllc@gmail.com

TOPOGRAPHY SURVEY FOR
JENNIFER BRENES
2675 - 74TH AVENUE SOUTHEAST PROJECT



revisions
 1 REV: 7/23/19

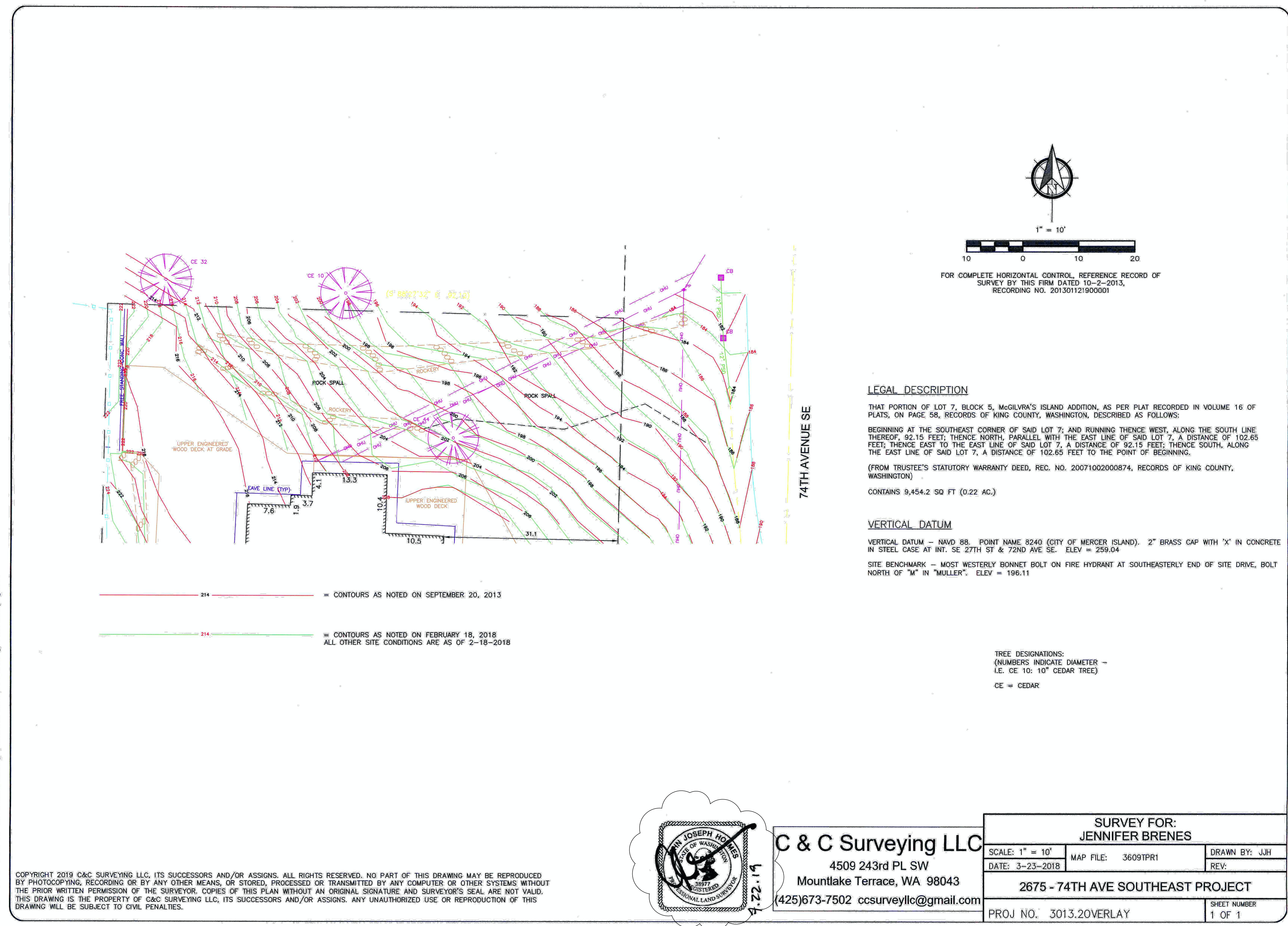
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COMPARATIVE SITE SURVEY

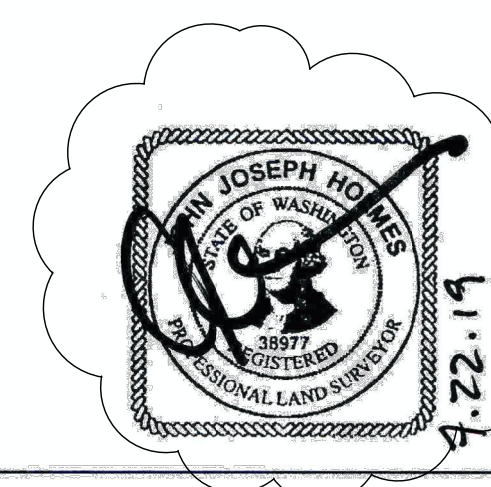
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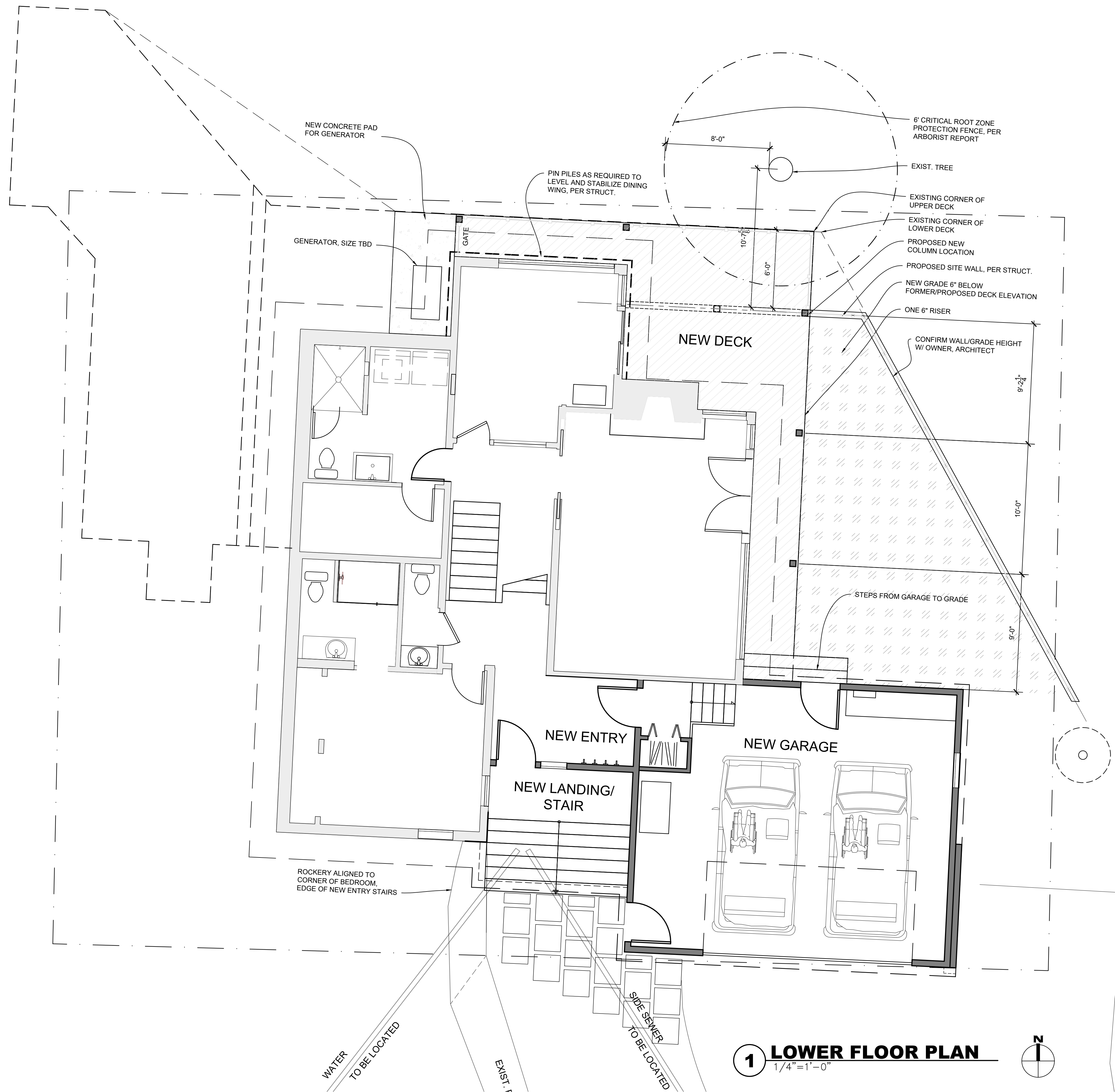
C & C Surveying LLC
 4509 243rd PL SW
 Mountlake Terrace, WA 98043
 (425)673-7502 ccsurveyllc@gmail.com

SURVEY FOR: JENNIFER BRENES		
SCALE: 1" = 10'	MAP FILE: 3609TPR1	DRAWN BY: JJH
DATE: 3-23-2018		REV:
2675 - 74TH AVE SOUTHEAST PROJECT		
PROJ. NO. 3013.20OVERLAY	SHEET NUMBER 1 OF 1	

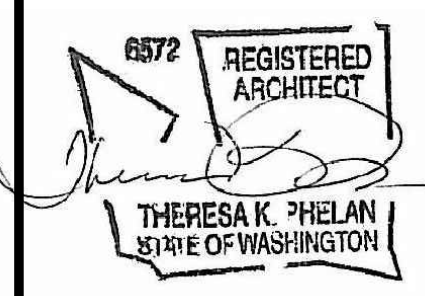
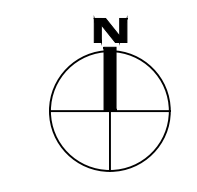
1 SITE SURVEY - COMPARATIVE TOPO PRE/POST ROCKERIES
 NTS

THIS SITE DRAWING SHOWS CONTOURS SURVEYED IN 2013, BEFORE ROCKERIES WERE INSTALLED ON THE NORTH SLOPE OF THE BRENES' PROPERTY AND A COMPARATIVE SET OF CONTOURS SURVEYED AFTER THEIR CONSTRUCTION IN 2018.

THE LOWER ROCKERY WILL BE REMOVED, PER SITE PLAN, AND CONTOURS RETURNED TO PREVIOUS STATE SHOWN HERE FROM 2013.



1 LOWER FLOOR PLAN
1/4" = 1'-0"



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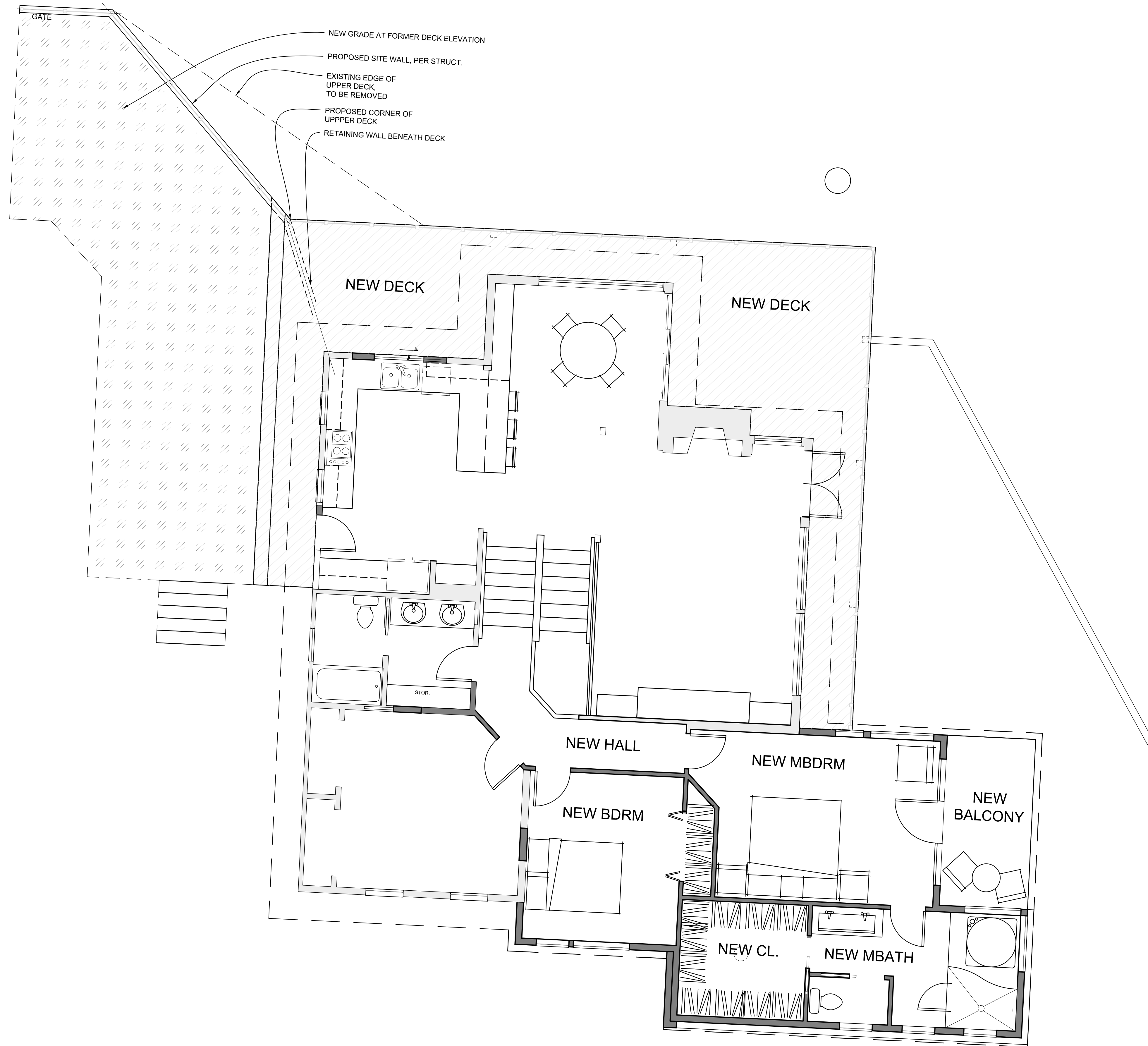
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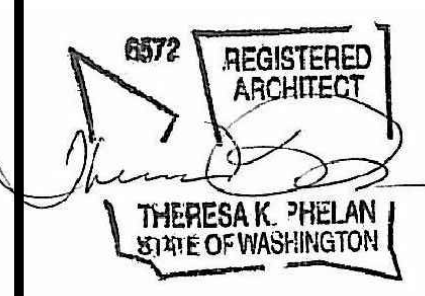
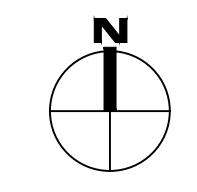
LOWER FLOOR PLAN

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1 UPPER FLOOR PLAN
1/4"=1'-0"



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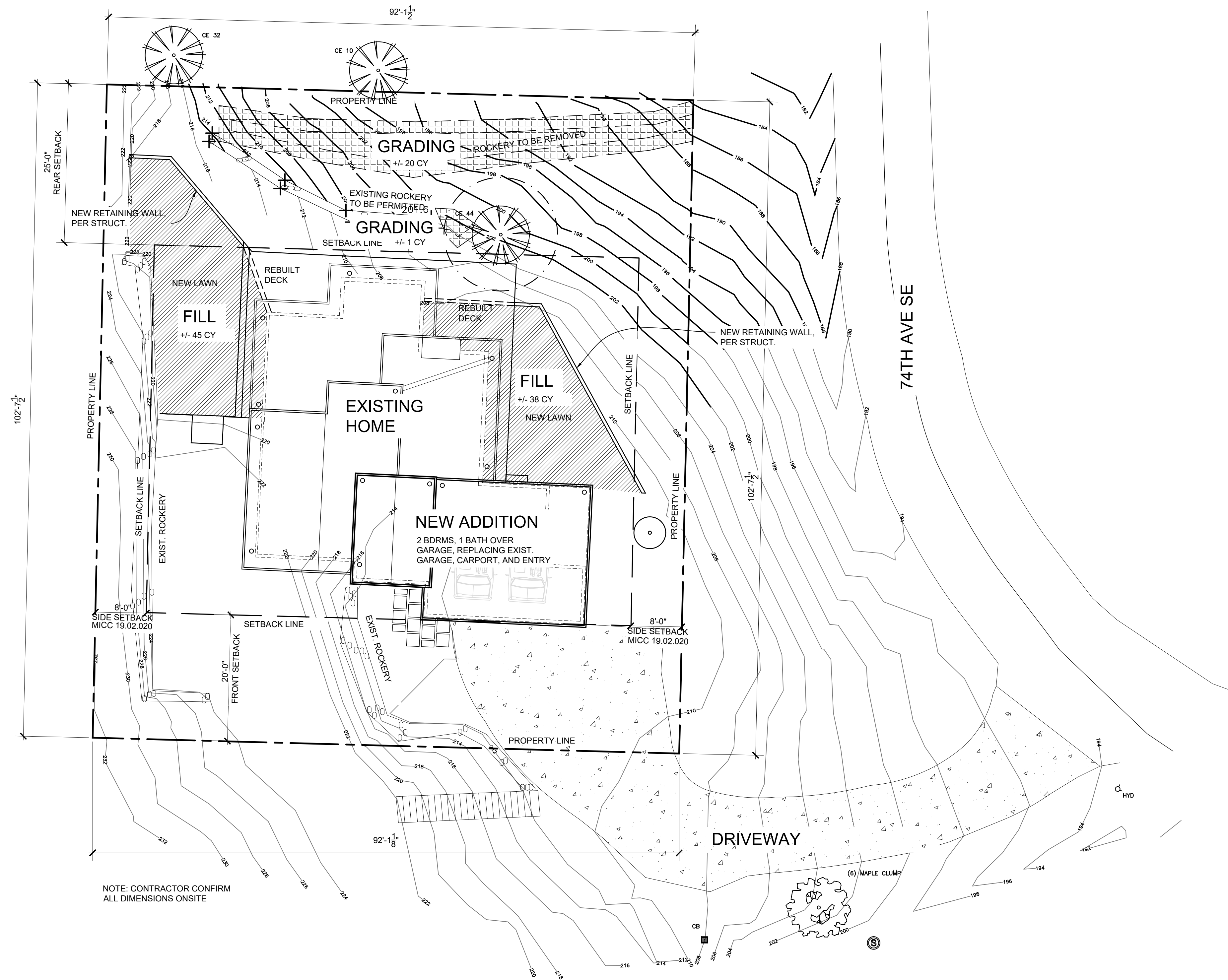
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UPPER FLOOR PLAN

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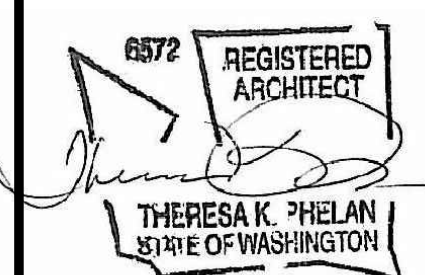


NOTE: CONTRACTOR CONFIRM ALL DIMENSIONS ONSITE

1 CONCEPT GRADING PLAN
1" = 10'-0"

GRADING WILL OCCUR ON NORTH SLOPE OF PROPERTY WHERE LOWER ROCKERY AND A SMALL SECTION OF THE UPPER ROCKERY WILL BE REMOVED. GRADE WILL BE CONTOURED BACK TO ITS ORIGINAL SLOPE, PRE-ROCKERY. ROUGHLY 21 CUBIC YARDS OF SOIL WILL BE MOVED IN THE PROCESS.

ABOVE THE TWO NEW SITE RETAINING WALLS ROUGHLY 83 CUBIC YARDS OF FILL WILL BE ADDED TO CREATE LEVEL LAWNS WHERE DECKS ONCE STOOD.



revisions
1 REV: 7/23/19

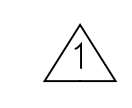
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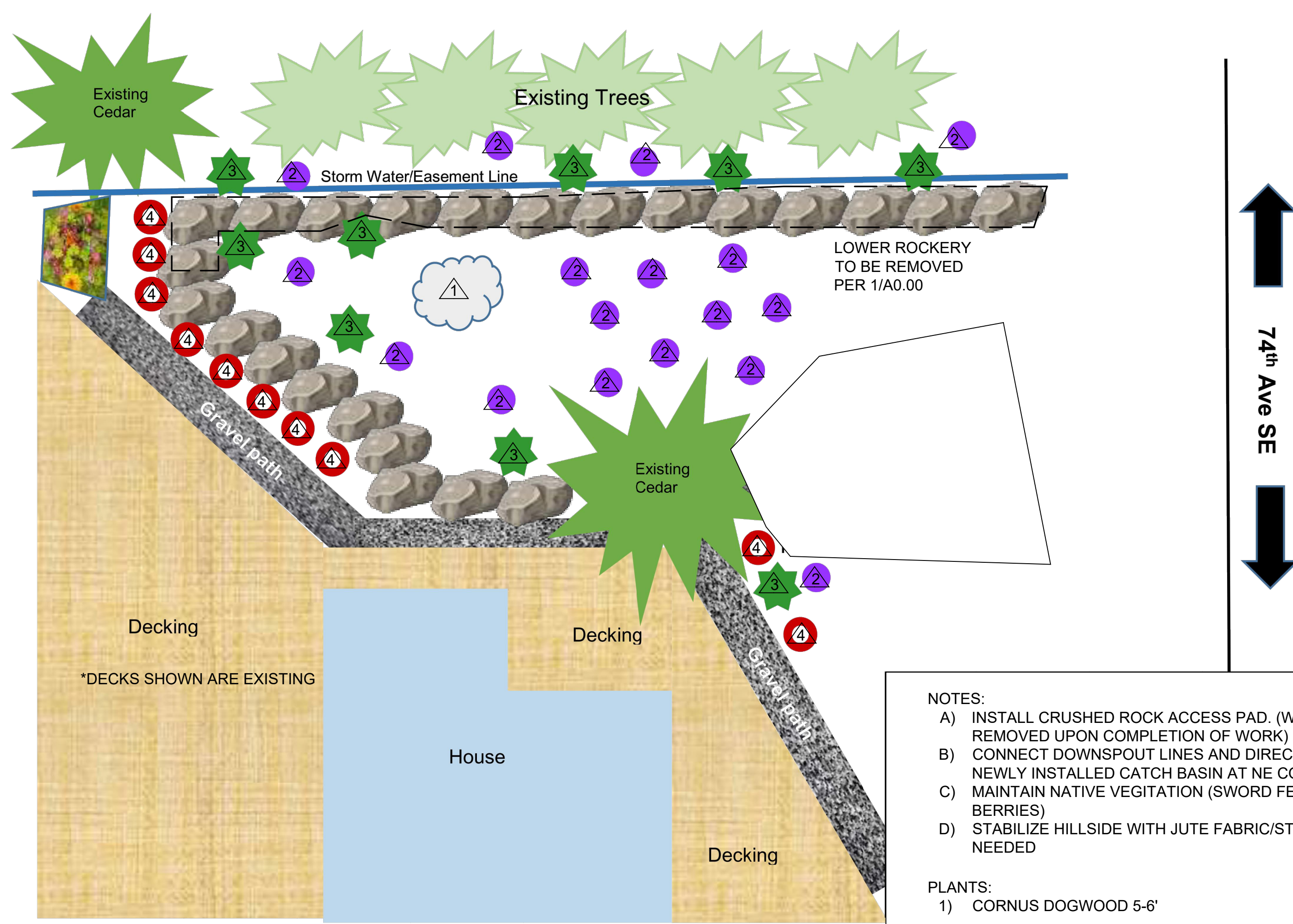
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CONCEPTUAL GRADING PLAN

sheet number

A0.06





LANDSCAPE DESIGNER :
DOUG DZINGLE
254-405-0154
DZINGL3@COMCAST.NET

- NOTES:
- A) INSTALL CRUSHED ROCK ACCESS PAD. (WILL BE REMOVED UPON COMPLETION OF WORK)
 - B) CONNECT DOWNSPOUT LINES AND DIRECT TOWARD NEWLY INSTALLED CATCH BASIN AT NE CORNER.
 - C) MAINTAIN NATIVE VEGETATION (SWORD FERN, SALAL, BERRIES)
 - D) STABILIZE HILLSIDE WITH JUTE FABRIC/STAPLES AS NEEDED
- PLANTS:
- 1) CORNUS DOGWOOD 5-6'
 - 2) CRIMSON PYGMY BARBERRY 2 GAL
 - 3) DEODORA CEDRUS CEDAR 7-8'
 - 4) WINGED EUGONOMOUS BURNING BUSH 5 GAL

General Structural Notes

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

WOOD

35. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD "GRADING RULES FOR WEST COAST LUMBER NO. 17", OR WMPA STANDARD, "WESTERN LUMBER GRADING RULES 2011". FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

Table with columns for member type (JOISTS AND BEAMS, BEAMS, POSTS, STUDS, PLATES & MISC. FRAMING), quantity, and material specifications (HEM-FIR NO. 2, DOUGLAS FIR-LARCH NO. 1, DOUGLAS FIR-LARCH NO. 2).

36. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA-EWS CERTIFICATE OF CONFORMANCE.

37. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

Table listing properties for PSL (2.0E), LVL (2.0E), and LSL (1.55E) including Fb, E, and Fv values.

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.

38. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

39. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

40. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER WMPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO WMPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO WMPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO WMPA UC4B.

41. WOOD TREATED FOR FIRE RESISTANCE SHALL MEET THE REQUIREMENTS OF ASTM E 84 OR UL 723 AND HAVE A LISTED FLAME SPREAD INDEX OF 25 OR LESS. FIRE RETARDANT TREATED LUMBER AND WOOD STRUCTURAL PANELS SHALL BE LABELED IN ACCORDANCE WITH IBC 2303.2.4. WOOD TREATED FOR FIRE PROTECTION FOR USE IN INTERIOR ABOVE GROUND CONSTRUCTION AND CONTINUOUSLY PROTECTED FROM WEATHER AND OTHER SOURCES OF MOISTURE SHALL BE TREATED TO WMPA UCFA. WOOD TREATED FOR FIRE PROTECTION FOR USE IN EXTERIOR ABOVE GROUND CONSTRUCTION AND SUBJECT TO WETTING OR OTHER SOURCES OF MOISTURE SHALL BE TREATED TO WMPA UCFB.

42. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

Table with columns for WOOD TREATMENT, CONDITION, and PROTECTION, listing specifications for ammonia carriers and stainless steel options.

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL, COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

43. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

44. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

Table with columns for SIZE, LENGTH, and DIAMETER, listing specifications for 8d and 16d nails.

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

45. NOTCHES AND HOLES IN WOOD FRAMING:

A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN.

B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD.

C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.

46. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AF&PA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

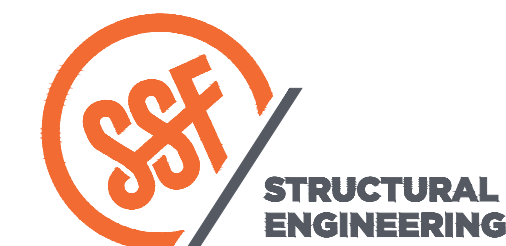
B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER UNLESS OTHERWISE NOTED.



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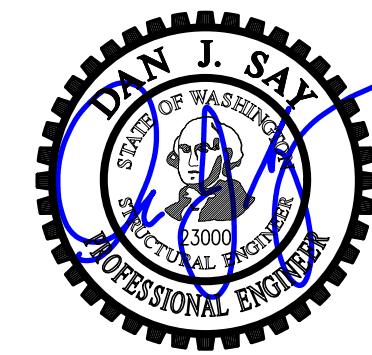


Table with columns for DESIGN, DRAWN, CHECKED, and APPROVED, listing names KMR, NHD, DJS, and DJS.

Table with column for REVISIONS, containing multiple empty rows for revision notes.

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Brenes Remodel

2675 74th Ave SE
Mercer Island, WA 98040

ARCHITECT:

Living Shelter Architects, PLLC
972-A Front Street N
Issaquah, WA 98027
PH 425.427.8643

ISSUE:

PERMIT

SHEET TITLE:

General Structural Notes

SCALE:

DATE: May 8, 2019

PROJECT NO: 10592-2018-01

SHEET NO:

S1.2



DESIGN:	KMR
DRAWN:	NHD
CHECKED:	DJS
APPROVED:	DJS

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Brenes Remodel

2675 74th Ave SE
 Mercer Island, WA 98040

ARCHITECT:

Living Shelter Architects,
 PLLC
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ISSUE:

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SHEET TITLE:

**Main Floor Framing/
 Foundation Plan**

SCALE: = 1'-0" U.N.O.

DATE: May 8, 2019

PROJECT NO: 10592-2018-01

SHEET NO:

S2.1

Pin Pile Plan Notes

- INSTALL 2" DIAMETER SCHEDULE 80 "X-STRONG" GALVANIZED PIPE IN SHOWN LOCATIONS PER THE GEOTECHNICAL ENGINEER, (EARTH SOLUTIONS NW, LLC).
- ALL PIN-PILES SHALL BE DRIVEN TO REFUSAL AS DEFINED IN THE GEOTECHNICAL ENGINEER. 1" OF PENETRATION DURING 60 SECONDS OF CONTINUOUS DRIVING WITH STANDARD 90-POUND JACKHAMMER.
- ALL STRUCTURAL FILL OR BACKFILL ADJACENT TO FOOTINGS SHALL BE COMPACTED IN LOOSE LIFTS NOT EXCEEDING 12 INCHES PER THE GEOTECHNICAL ENGINEER.
- MINIMUM DEPTH OF FOOTINGS SUPPORTED BY PIN-PILE 1'-0".
- MINIMUM SPACING FOR PILES IN GROUP 12".
- SEE SHEET S3.1, S3.2 AND GEOTECHNICAL REPORT FOR ADDITIONAL NOTES AND DETAILS.

Legend

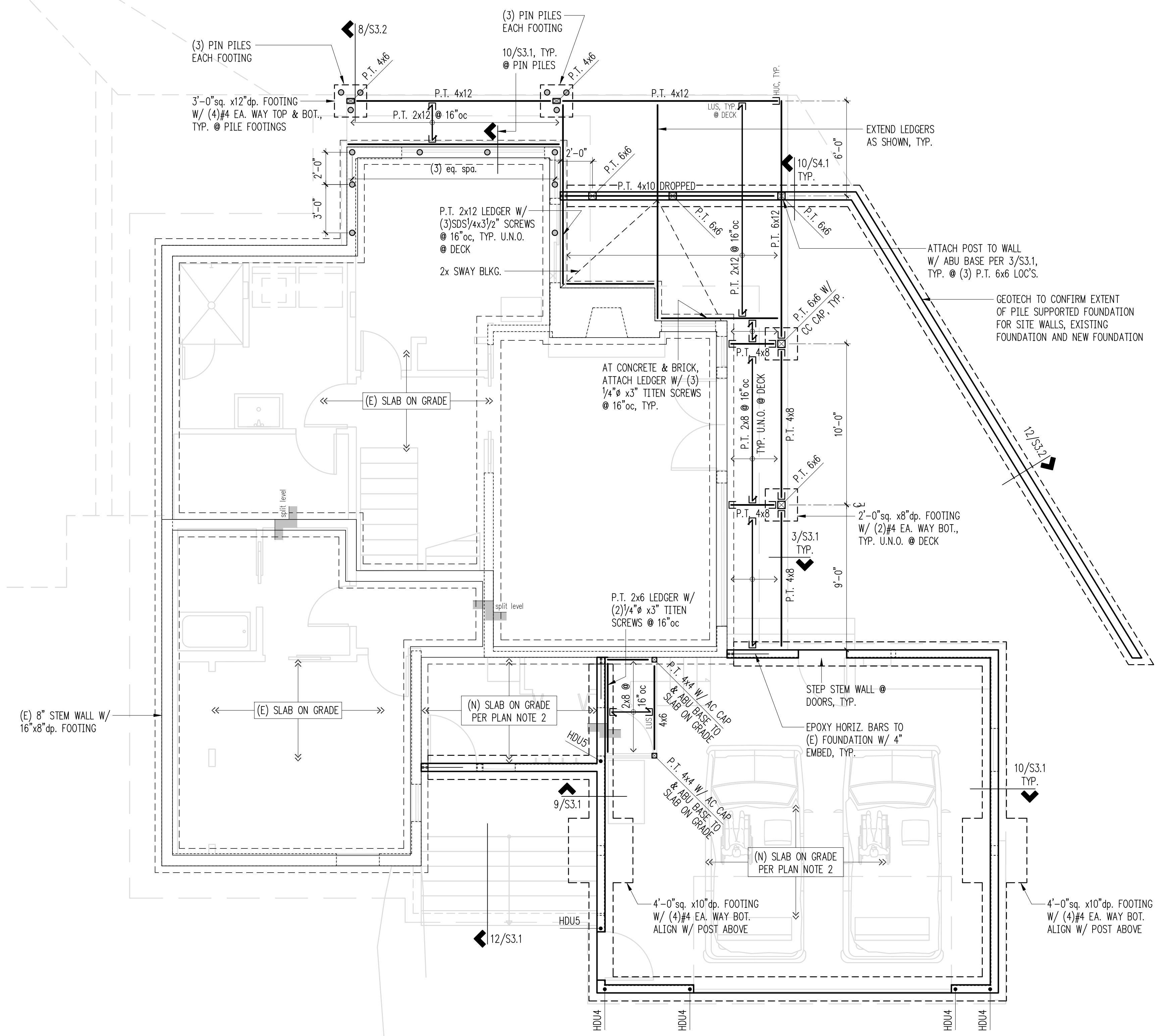
- (E) STRUCTURAL WALL OR POST ABOVE
- NEW STRUCTURAL WALL OR POST ABOVE
- EXISTING STEM WALL & FOOTING
- NEW STEM WALL & FOOTING
- SPAN DIRECTION
- EXTENT OF JOISTS
- EXISTING HEADER/BEAM
- NEW HEADER/BEAM PER PLAN
- HANGER
- CHANGE IN ELEVATION
- HOLDDOWN PER 6/S3.1
- 2" PIN PILE PER PLAN & GENERAL STRUCTURAL NOTES. REFER DETAIL 10/S3.2

Plan Notes

- THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- TYPICAL NEW SLABS SHALL BE 4" MINIMUM THICKNESS. REINFORCE WITH #3 @ 16" O.C. EACH WAY CENTERED IN SLAB. PROVIDE 6 MIL VAPOR BARRIER BELOW SLAB OVER 4" MINIMUM FREE DRAINING GRAVEL OVER FIRM NATIVE SOILS. VAPOR BARRIER MAY BE OMITTED AT EXTERIOR.
- PROVIDE CORNER BARS PER DETAIL S3.1 AT ALL NEW WALL AND FOOTING INTERSECTIONS.
- STEP FOOTINGS AS REQUIRED TO ACCOMMODATE CHANGES IN GRADE PER DETAIL S3.1.
- ALL POST ABOVE SHALL BEAR FULLY ON BEAMS OR POST BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- ALL NEW EXTERIOR WALLS SHALL BE W6 UNLESS NOTED OTHERWISE.
- 5/8" DIAMETER A.B. SPACED PER SHEARWALL SCHEDULE BASE PLATE CONNECTION.
- CONFIRM EXISTING FOUNDATION AND CONCRETE IS FREE FROM CRACKS AND SPALLING.
- DO NOT SCALE THE DRAWINGS REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
- REFER GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Main Floor Framing/Foundation Plan

Scale: 1/4" = 1'-0"





DESIGN:	KMR
DRAWN:	NHD
CHECKED:	DJS
APPROVED:	DJS

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:
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2675 74th Ave SE
Mercer Island, WA 98040

ARCHITECT:
Living Shelter Architects, PLLC
972-A Front Street N
Issaquah, WA 98027
PH 425.427.8643

ISSUE:
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SHEET TITLE:

Upper Floor Framing Plan

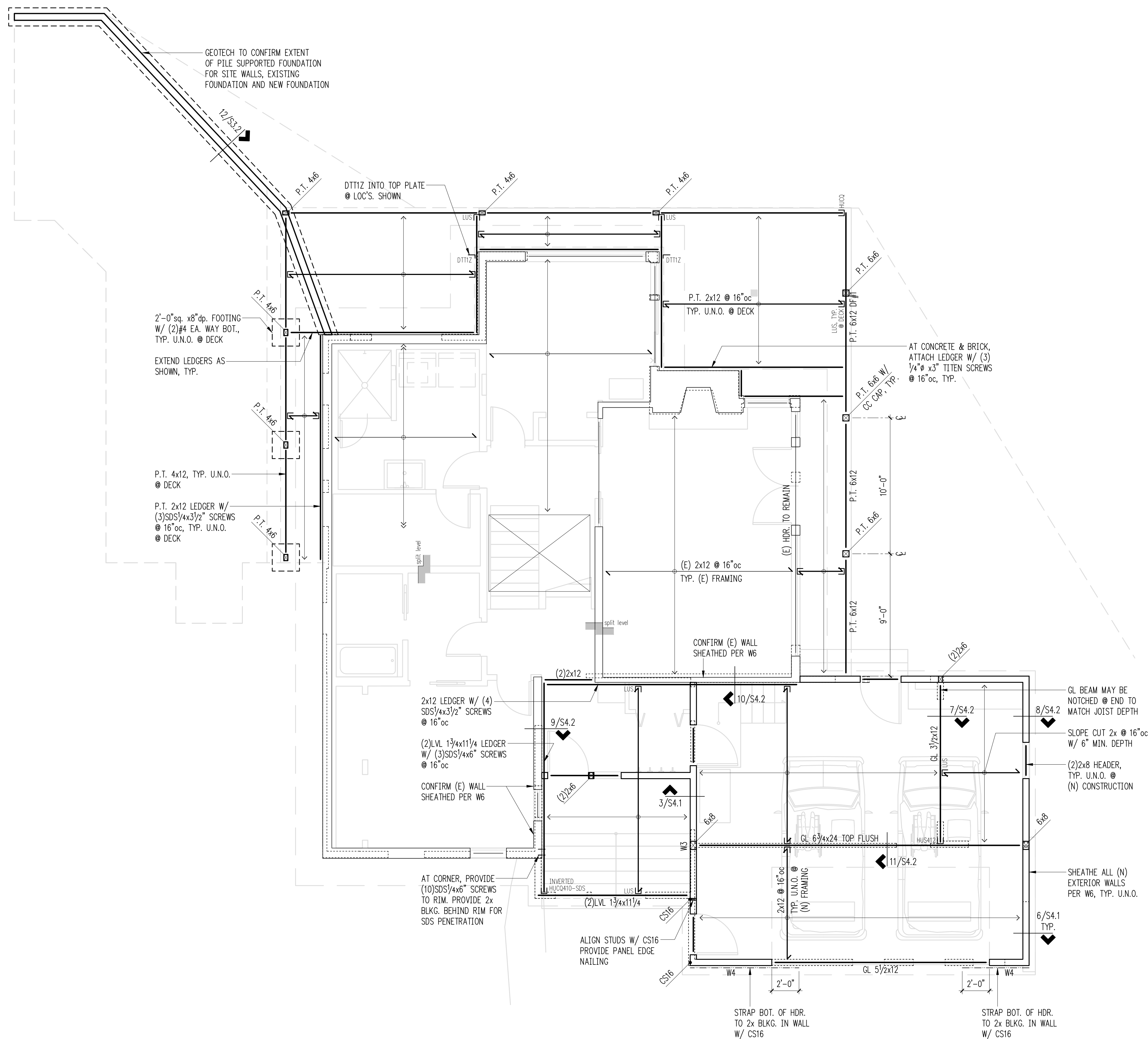
SCALE: = 1'-0" U.N.O.

DATE: May 8, 2019

PROJECT NO: 10592-2018-01

SHEET NO:

S2.2



Legend

- (E) STRUCTURAL WALL OR POST ABOVE
- NEW STRUCTURAL WALL OR POST ABOVE
- EXISTING STRUCTURAL WALL BELOW
- NEW STRUCTURAL WALL BELOW
- NON-STRUCTURAL WALL BELOW
- Wx SHEARWALL PER 12/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- EXISTING HEADER/BYAM
- NEW HEADER/BEAM PER PLAN
- HANGER
- CHANGE IN ELEVATION

Plan Notes

1. TYPICAL NEW FLOOR FRAMING CONSISTS 3/4" T&G PLYWOOD, FACE GRAIN PERPENDICULAR TO SUPPORTS OVER 2X FRAMING PER PLAN. NAIL SHEATHING WITH 8D AT 6"O.C. EDGES, 12"O.C. FIELD.
2. HEADERS SHALL BE PER PLAN.
3. PROVIDE (2) BEARING STUDS EACH END OF ALL HEADERS AND BEAMS OVER 6'-0" IN LENGTH, UNLESS NOTED OTHERWISE.
4. ALL NEW EXTERIOR WALLS SHALL BE W6 UNLESS NOTED OTHERWISE.
5. PROVIDE AC, ACE, LPC, OR LCE COLUMN CAP AT ALL BEAM TO COLUMN CONNECTIONS. REFER GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
6. REFER GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
7. DO NOT SCALE THE DRAWINGS REFER TO ARCHITECTURAL PLANS FOR ALL DIMENSIONS.

Upper Floor Framing Plan

Scale: 1/4" = 1'-0"





DESIGN: KMR
 DRAWN: NHD
 CHECKED: DJS
 APPROVED: DJS

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:
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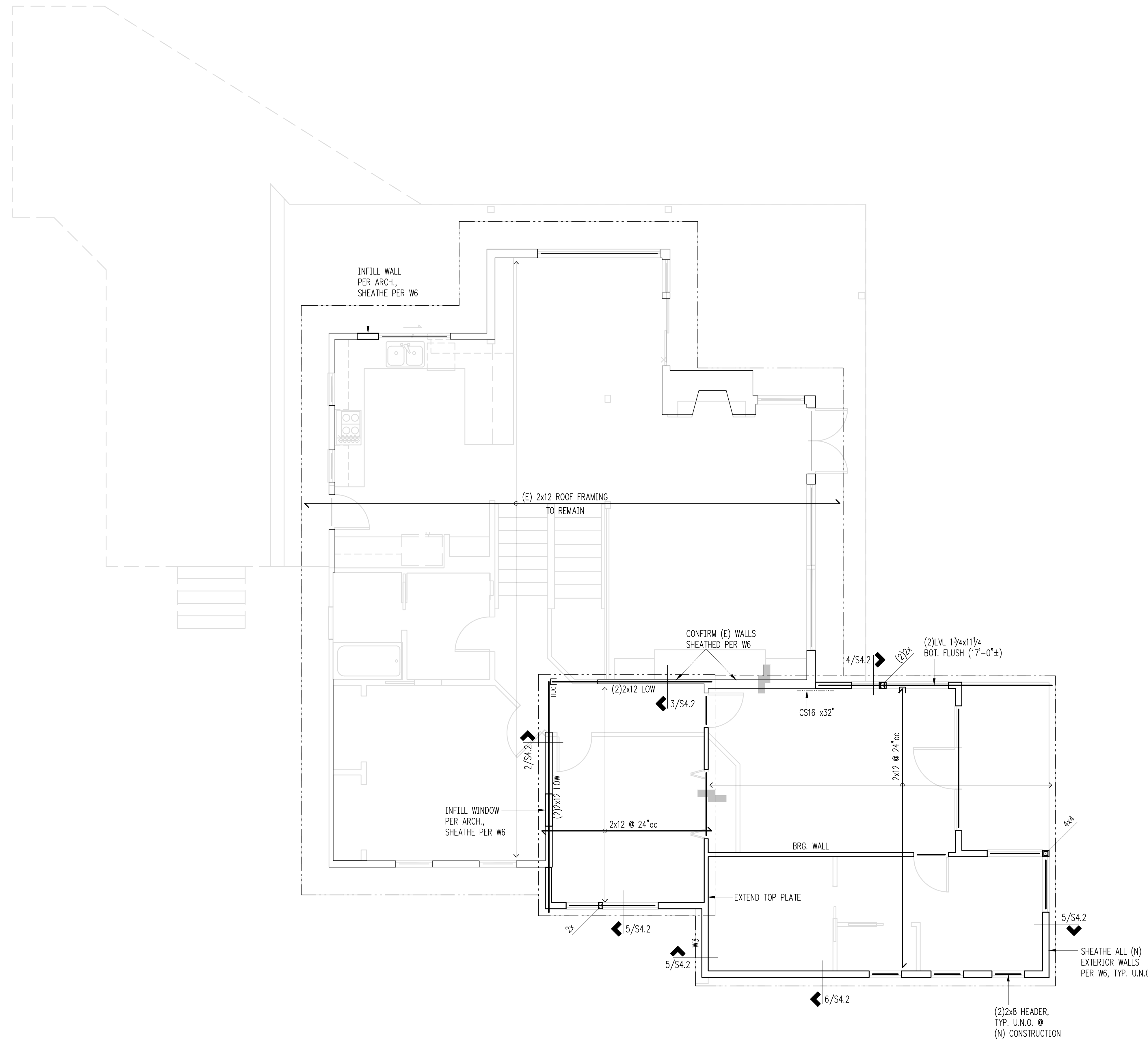
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SHEET TITLE:
Roof Framing Plan

SCALE: 1/4" = 1'-0" U.N.O.
 DATE: May 8, 2019
 PROJECT NO: 10592-2018-01
 SHEET NO:

S2.3



Legend

- EXISTING STRUCTURAL WALL BELOW
- NEW STRUCTURAL WALL BELOW
- NON-STRUCTURAL WALL BELOW
- Wx SHEARWALL PER 12/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- EXISTING HEADER/BEAM
- NEW HEADER/BEAM PER PLAN
- HANGER
- CHANGE IN ELEVATION

Plan Notes

1. TYPICAL ROOF FRAMING CONSISTS OF 1/2" CDX PLYWOOD, FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING WITH 8D AT 6" O.C. EDGES, 12" O.C. FIELD.
2. PROVIDE H1 HURRICANE TIE EACH END OF ALL ROOF RAFTERS.
3. HEADERS SHALL BE PER PLAN
4. PROVIDE (2) BEARING STUDS EACH END OF ALL HEADERS AND BEAMS OVER 6'-0" IN LENGTH, UNLESS NOTED OTHERWISE.
5. ALL NEW EXTERIOR WALLS SHALL BE W6 UNLESS NOTED OTHERWISE.
6. PROVIDE AC, ACE, LPC, OR LCE COLUMN CAP AT ALL BEAM TO COLUMN CONNECTIONS.
7. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Roof Framing Plan
 Scale: 1/4" = 1'-0"





DESIGN: KMR
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CHECKED: DJS
APPROVED: DJS

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SHEET TITLE:

Foundation Details

SCALE: 3/4" = 1'-0" U.N.O.

DATE: May 8, 2019

PROJECT NO: 10592-2018-01

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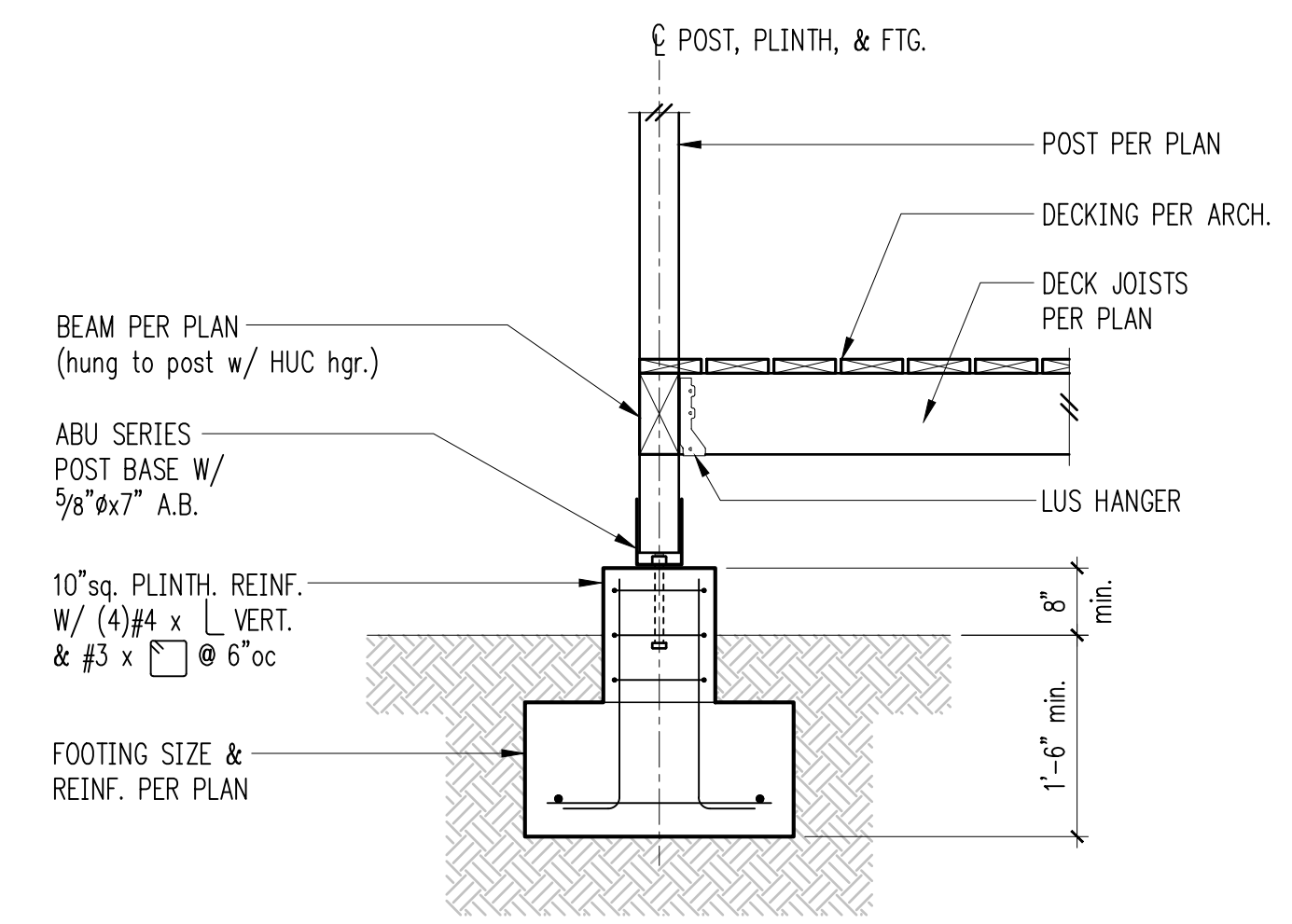
S3.1

1

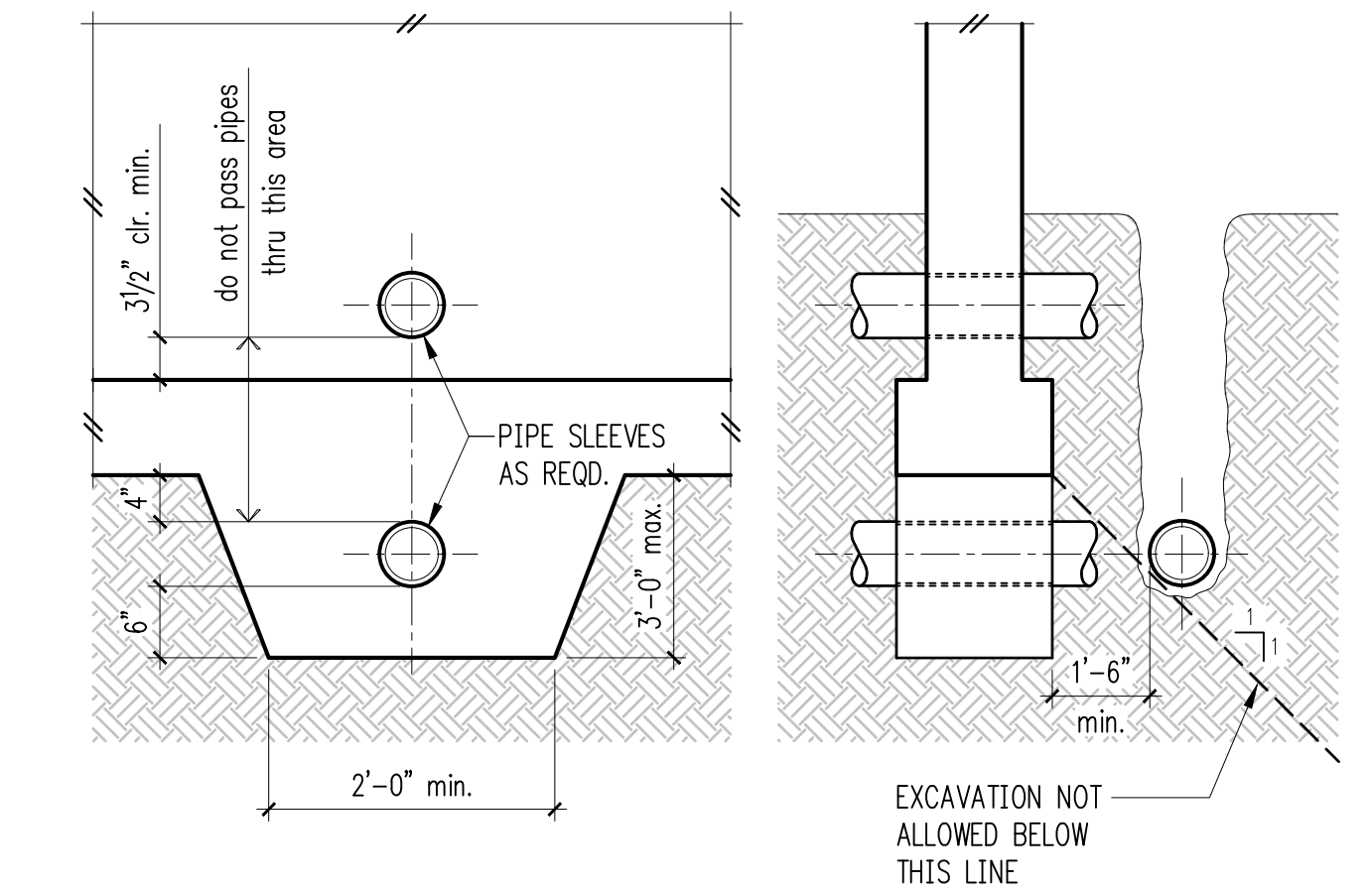
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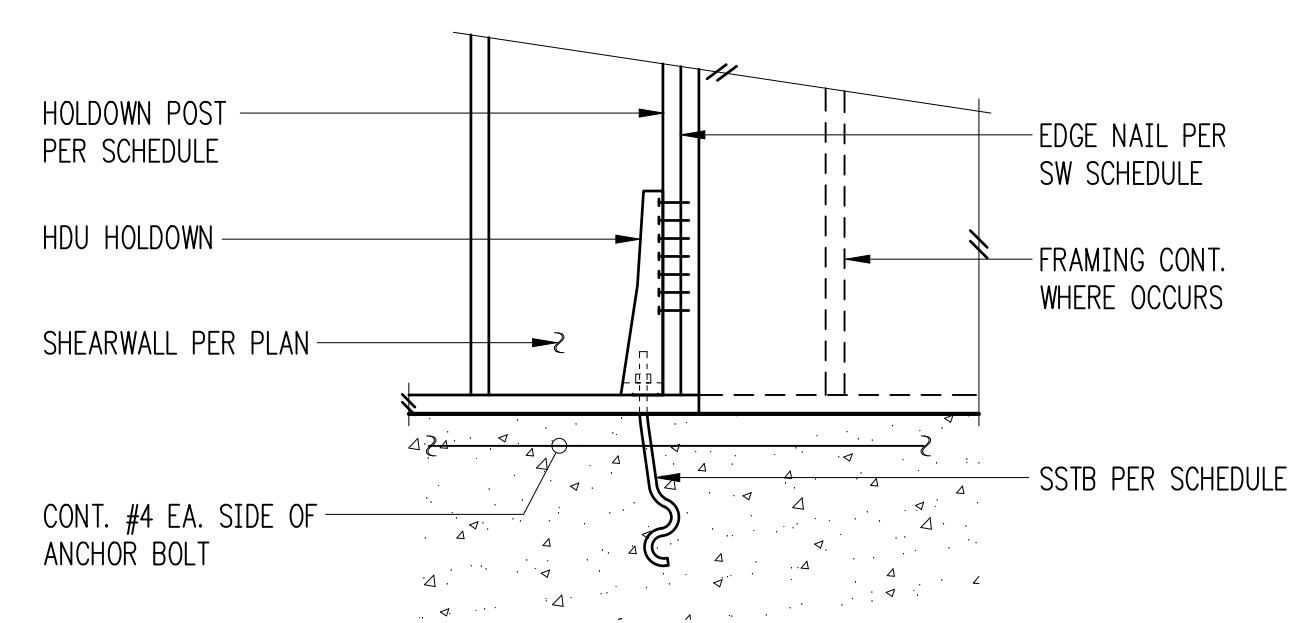
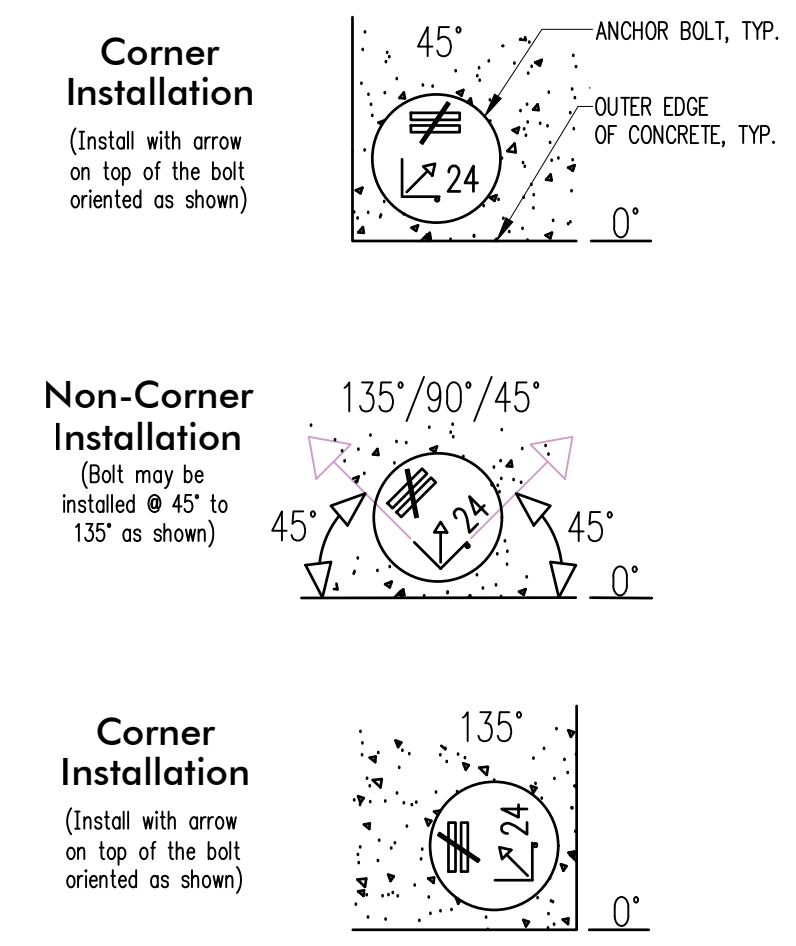
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Typical Deck Detail



Pipe and Trench Locations

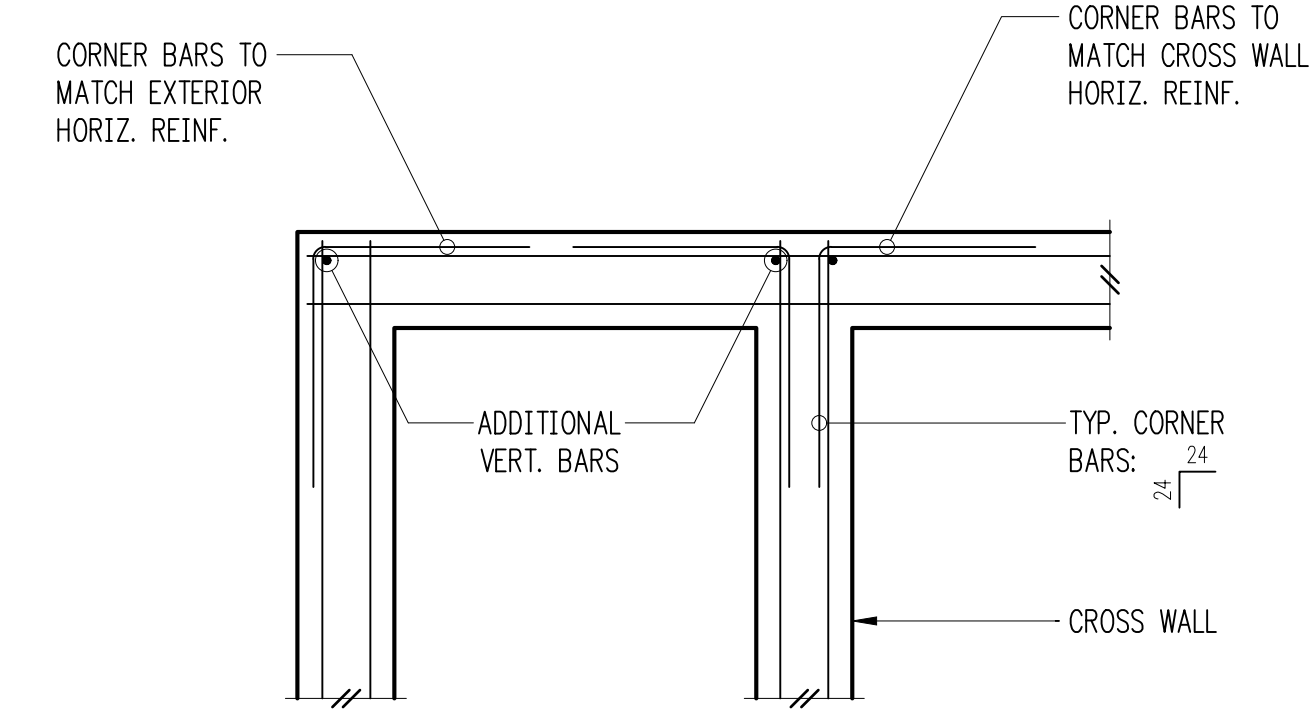


Holddown Schedule

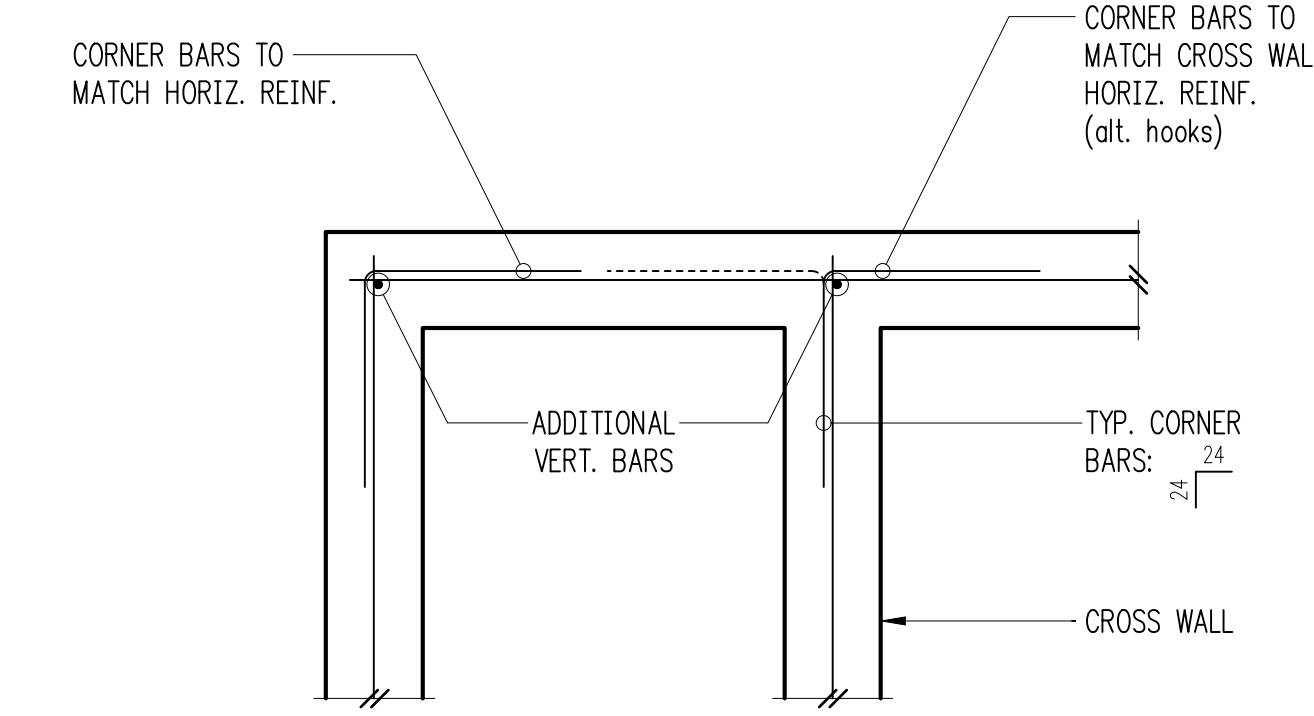
Plan Mark	Screws	Anchor Bolt	A.B. Embed	Holddown Post ①	if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2 1/2"	SSTB20	16 5/8"	(2) 2x4	(2) 2x6	
HDU4-SDS2.5	(10)SDS 1/4"x2 1/2"	SB5/8x24	18"	4x4	4x6	
HDU5-SDS2.5	(14)SDS 1/4"x2 1/2"	SB5/8x24	18"	4x4	4x6	

① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

Typical HDU Holddown

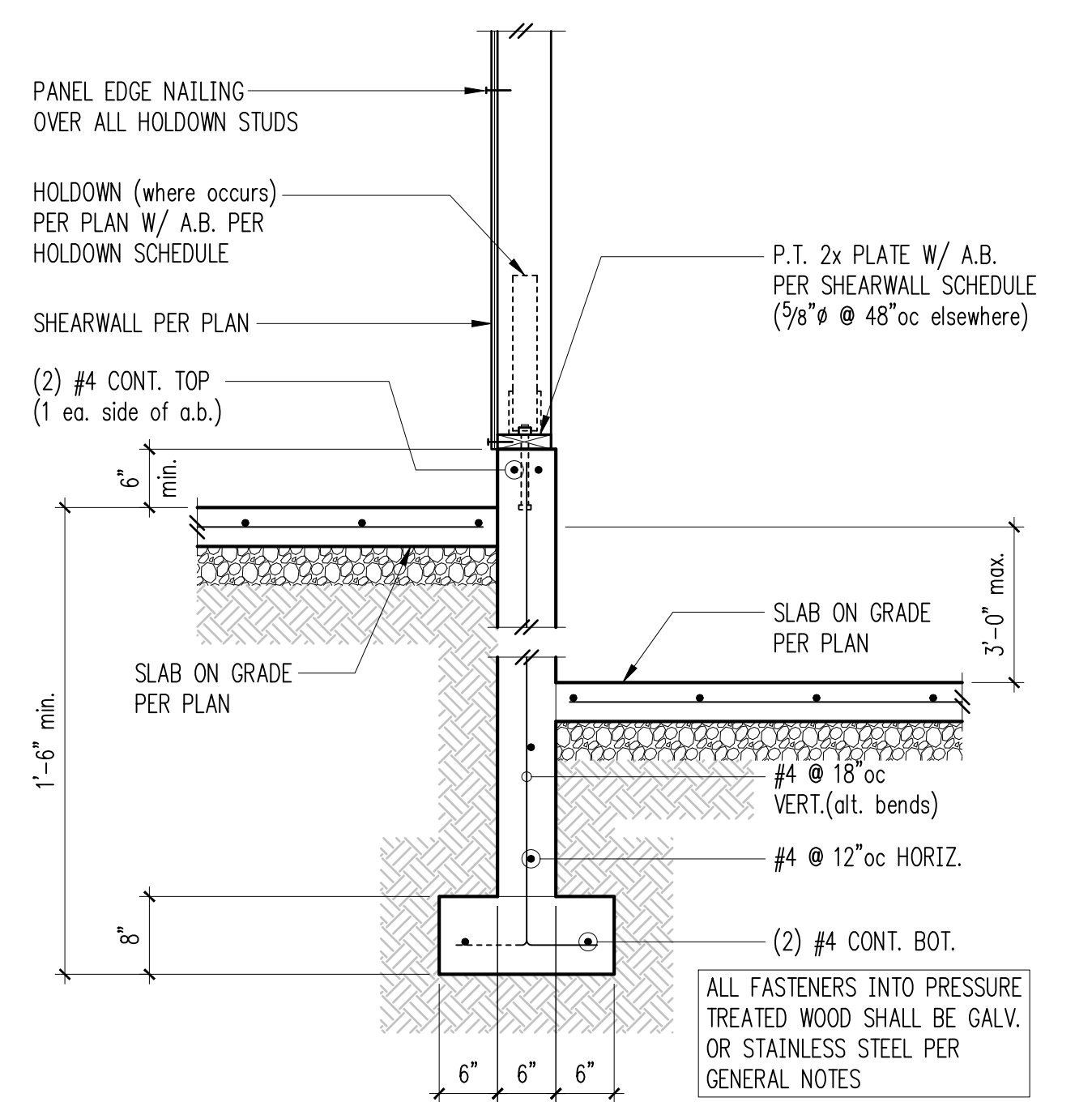


Double Curtain

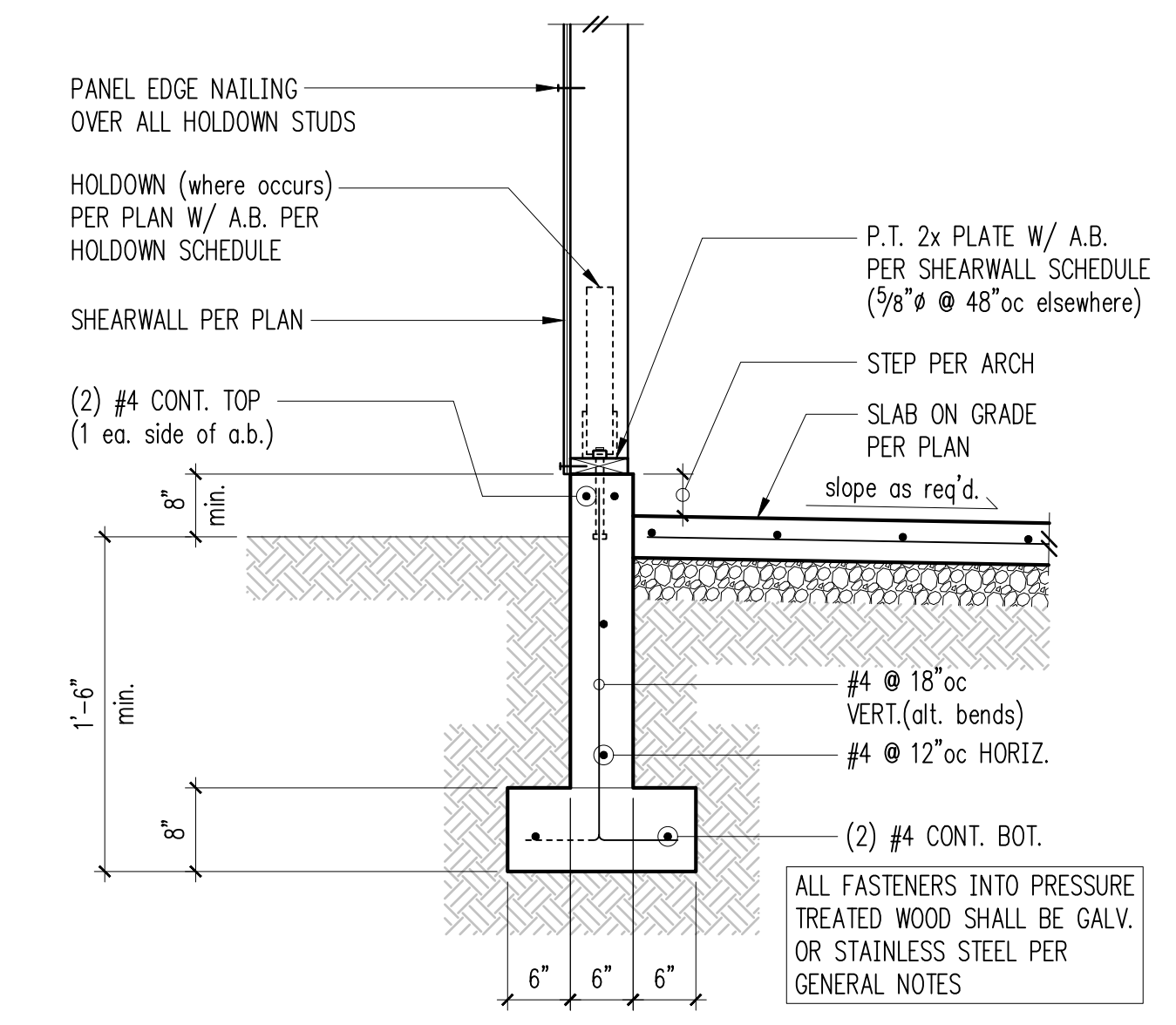


Single Curtain

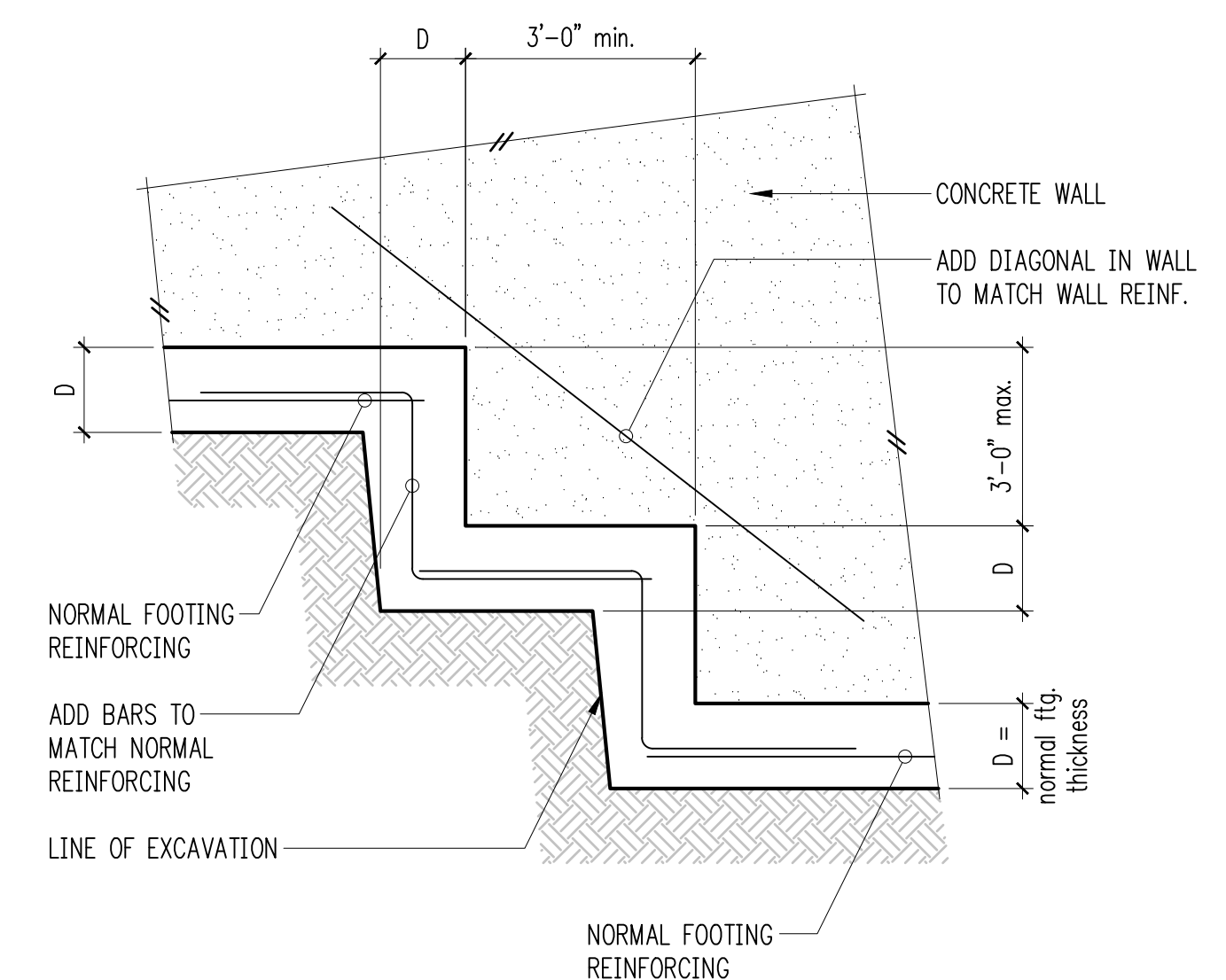
Typical Corner Bars at Concrete Walls and Footings



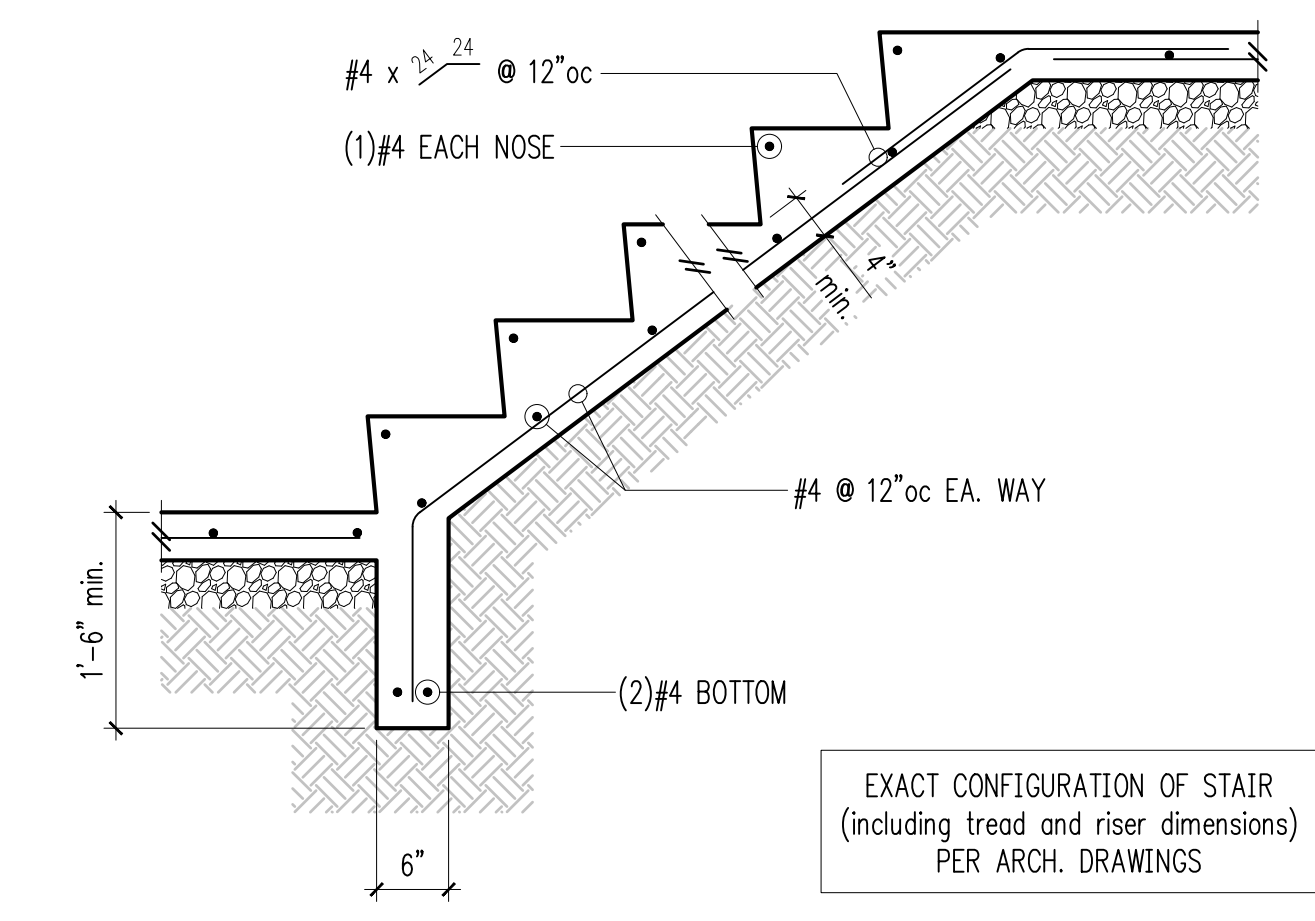
Exterior Wall w/ Slab on Grade & High Grade



6" Garage Wall w/ Slab on Grade



Typical Stepped Footing



Typical Stair On Grade

9

10

11

12



DESIGN: KMR
DRAWN: NHD
CHECKED: DJS
APPROVED: DJS

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:
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2675 74th Ave SE
Mercer Island, WA 98040

ARCHITECT:
Living Shelter Architects,
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Issaquah, WA 98027
PH 425.427.8643

ISSUE:
PERMIT

SHEET TITLE:

**Foundation
Details**

SCALE:
3/4" = 1'-0" U.N.O.

DATE:
May 8, 2019

PROJECT NO:
10592-2018-01

SHEET NO:

S3.2

1

2

3

4

5

6

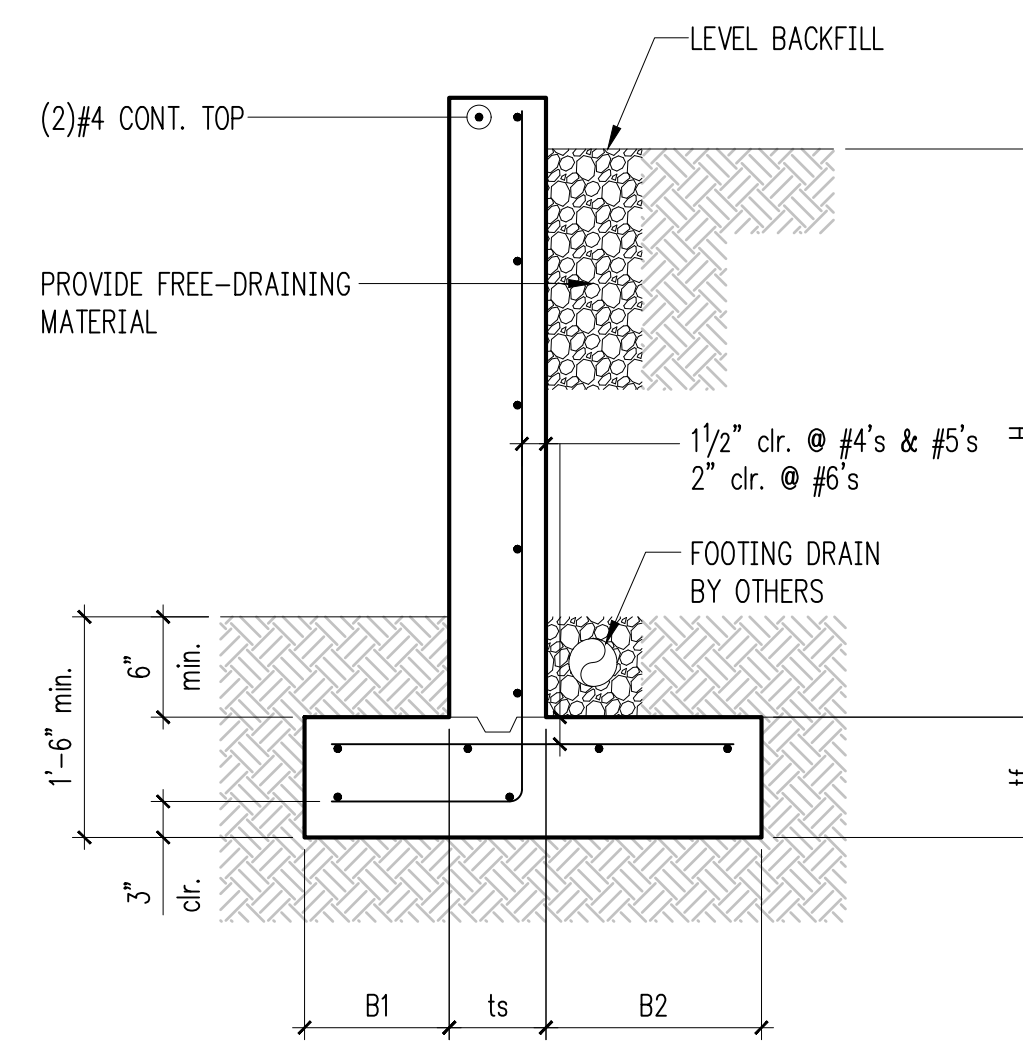
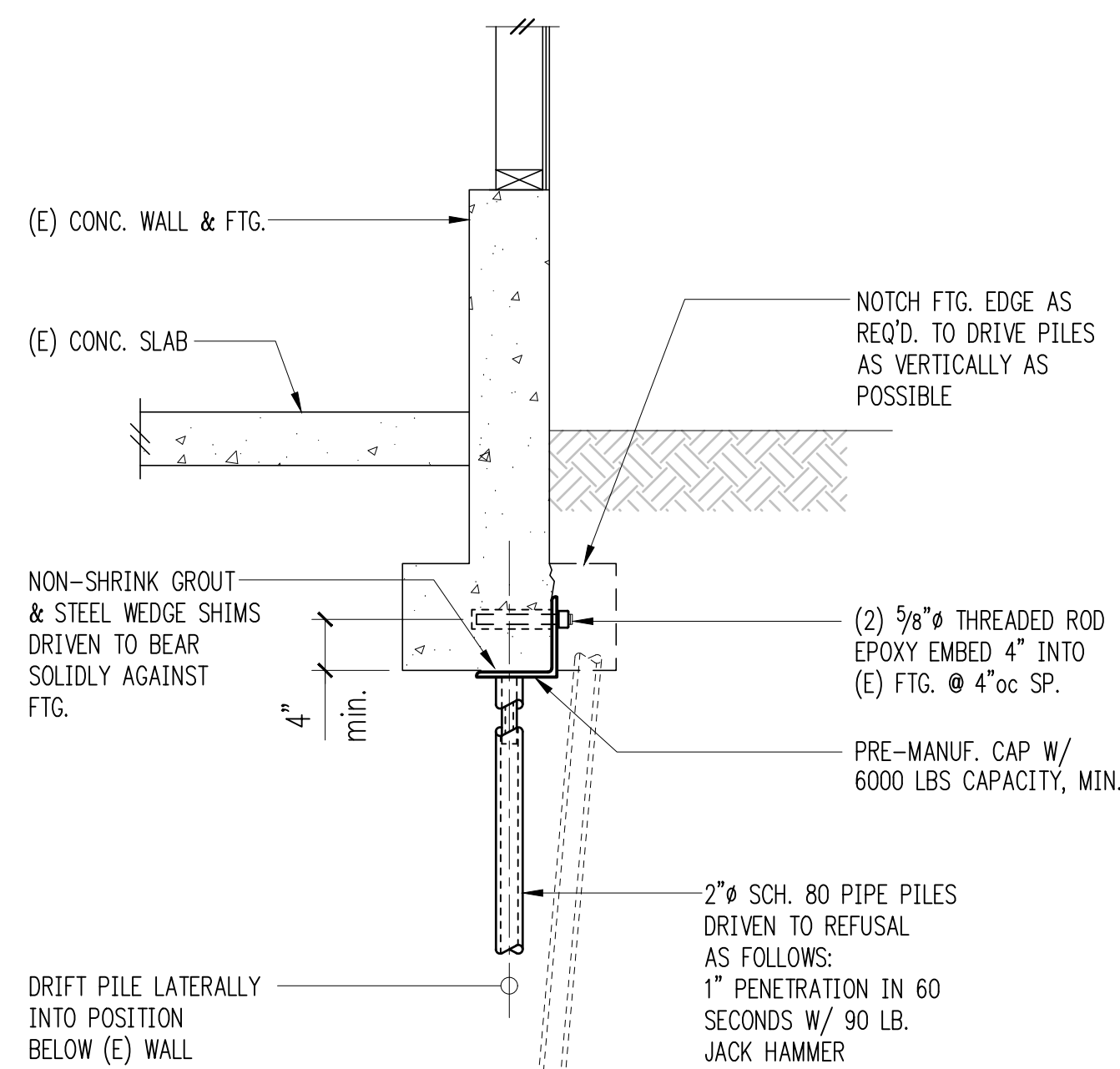
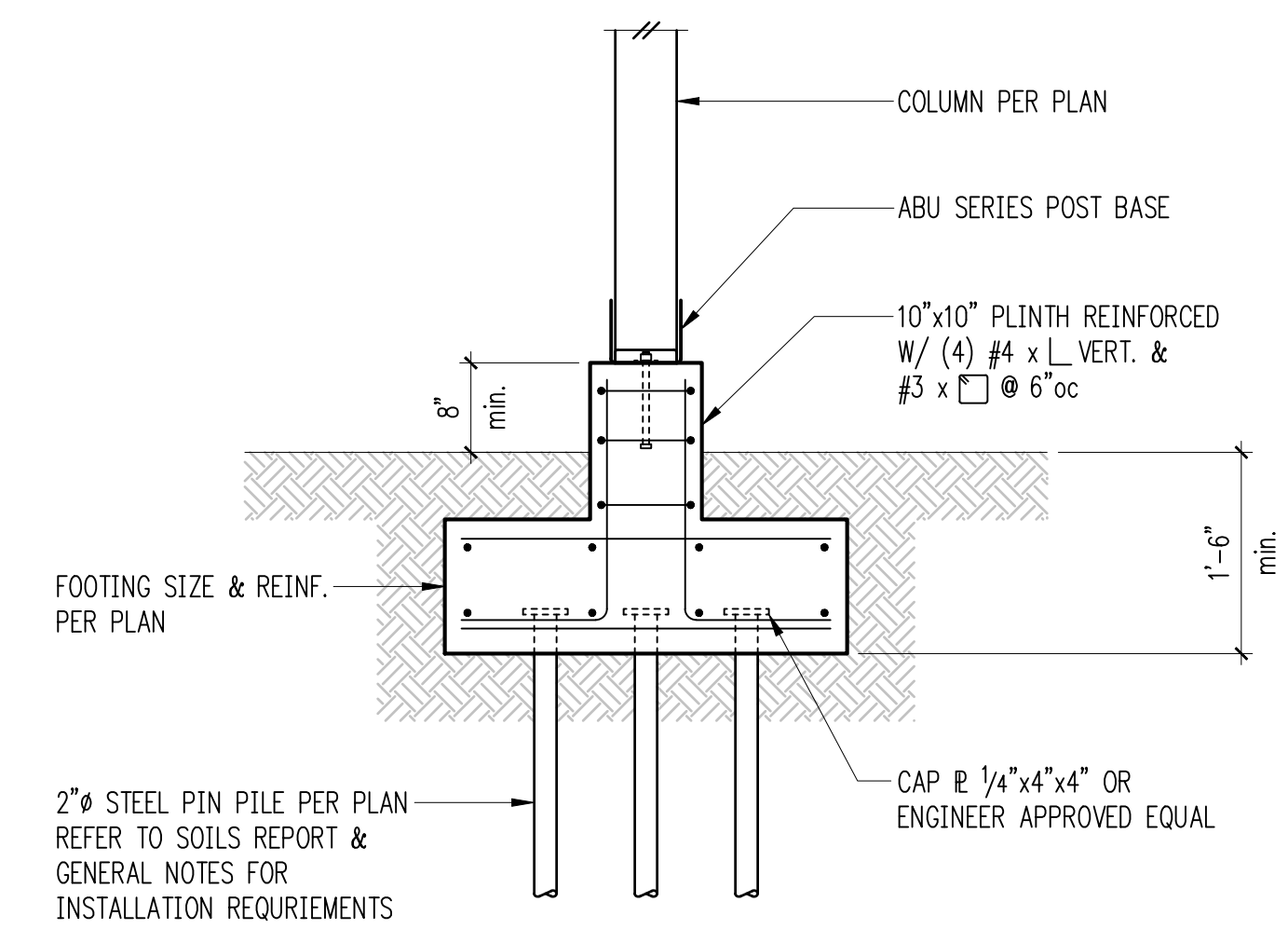
7

8

9

10

Typical Site Wall 12

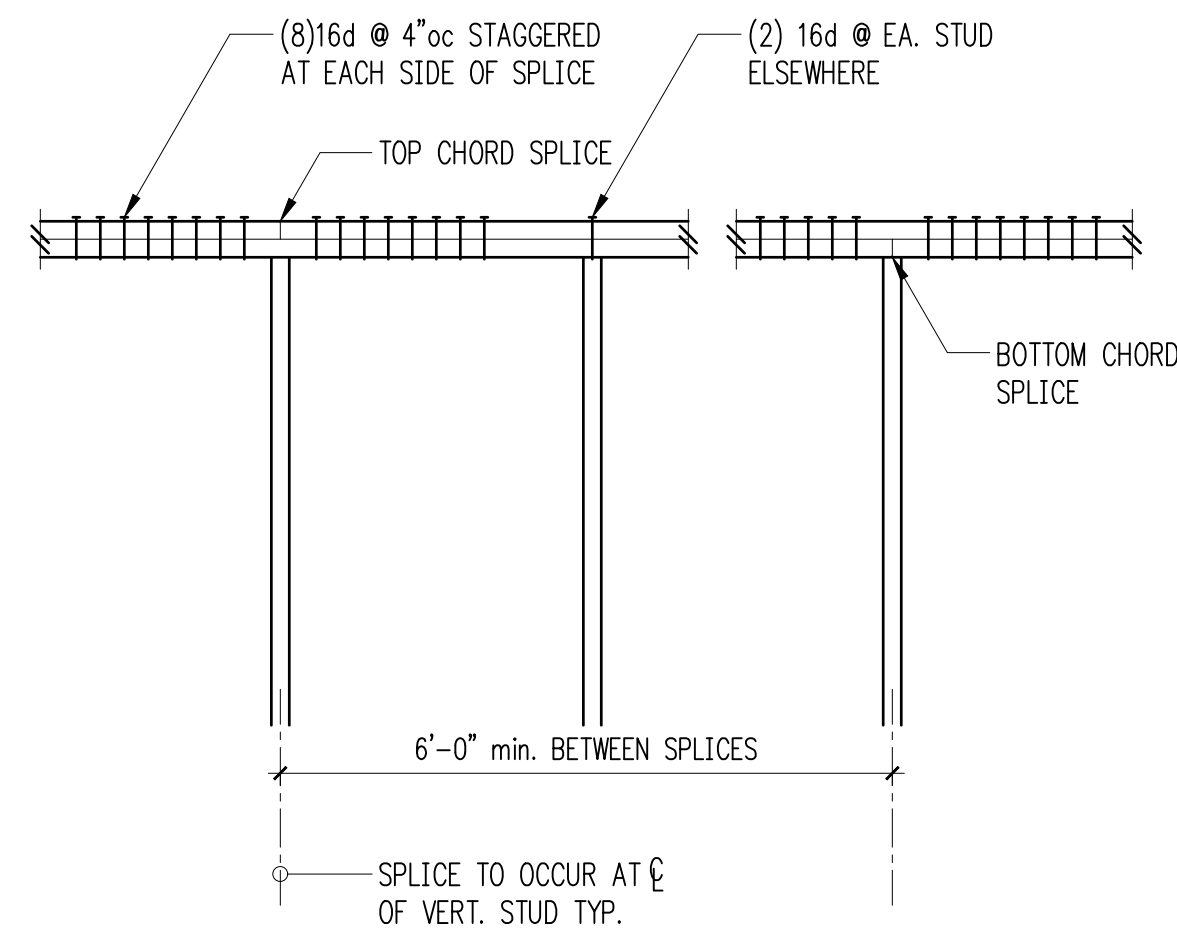


Retaining Wall Schedule

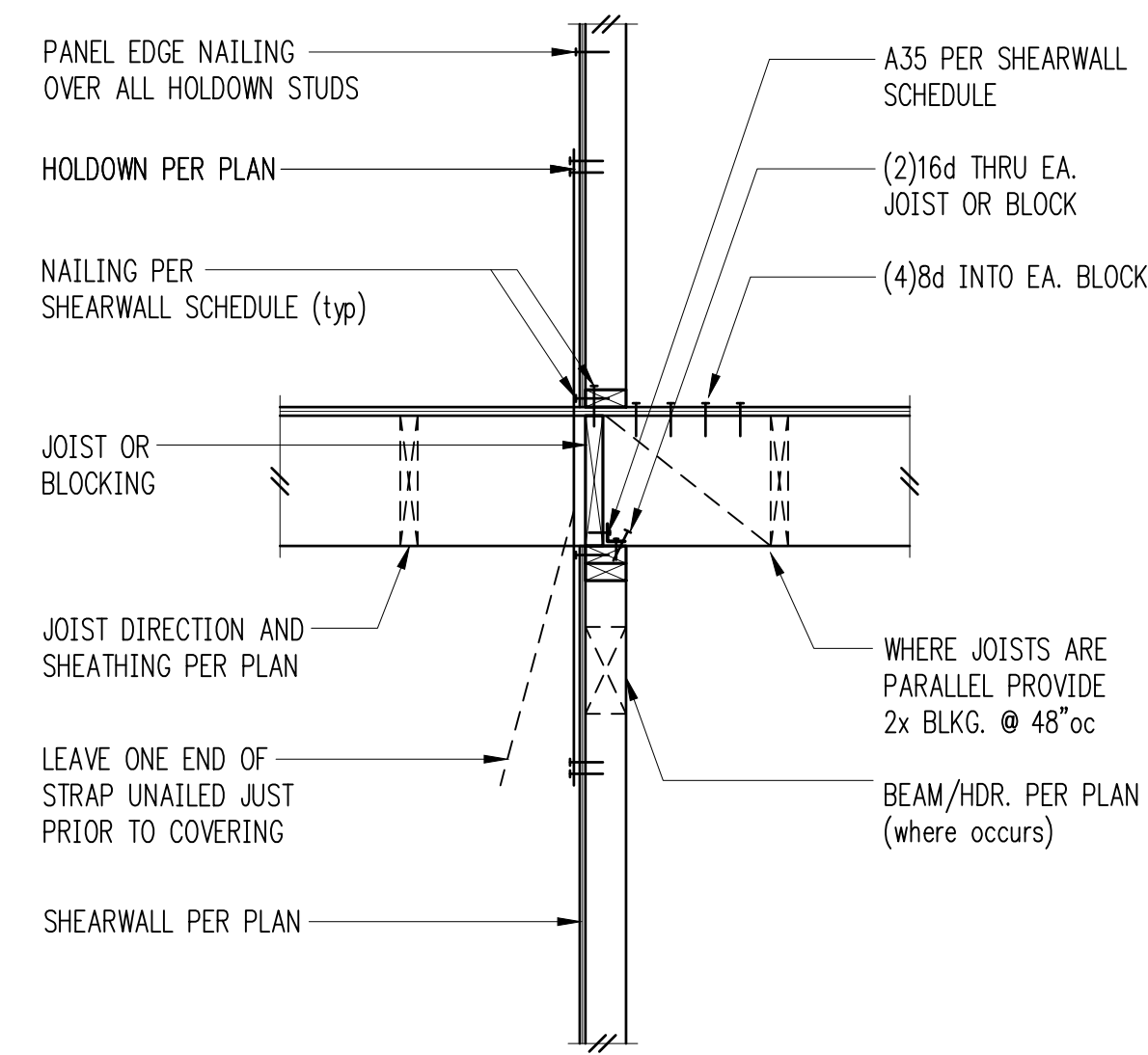
H (ft.)	B1	ts	B2	tf	Stem Reinforcing		Footing Reinforcing	
					Vert.	Horiz.	Top	Longit.
3'-0"	6"	6"	6"	8"	#4 @ 18"oc	#4 @ 12"oc	-	(2)#4
4'-6"	6"	6"	1'-6"	8"	#4 @ 18"oc	#4 @ 12"oc	#4 @ 18"oc	(2)#4
6'-6"	1'-0"	6"	2'-0"	12"	#4 @ 12"oc	#4 @ 12"oc	#4 @ 12"oc	(4)#4

Typical Pin Pile at Existing Foundation

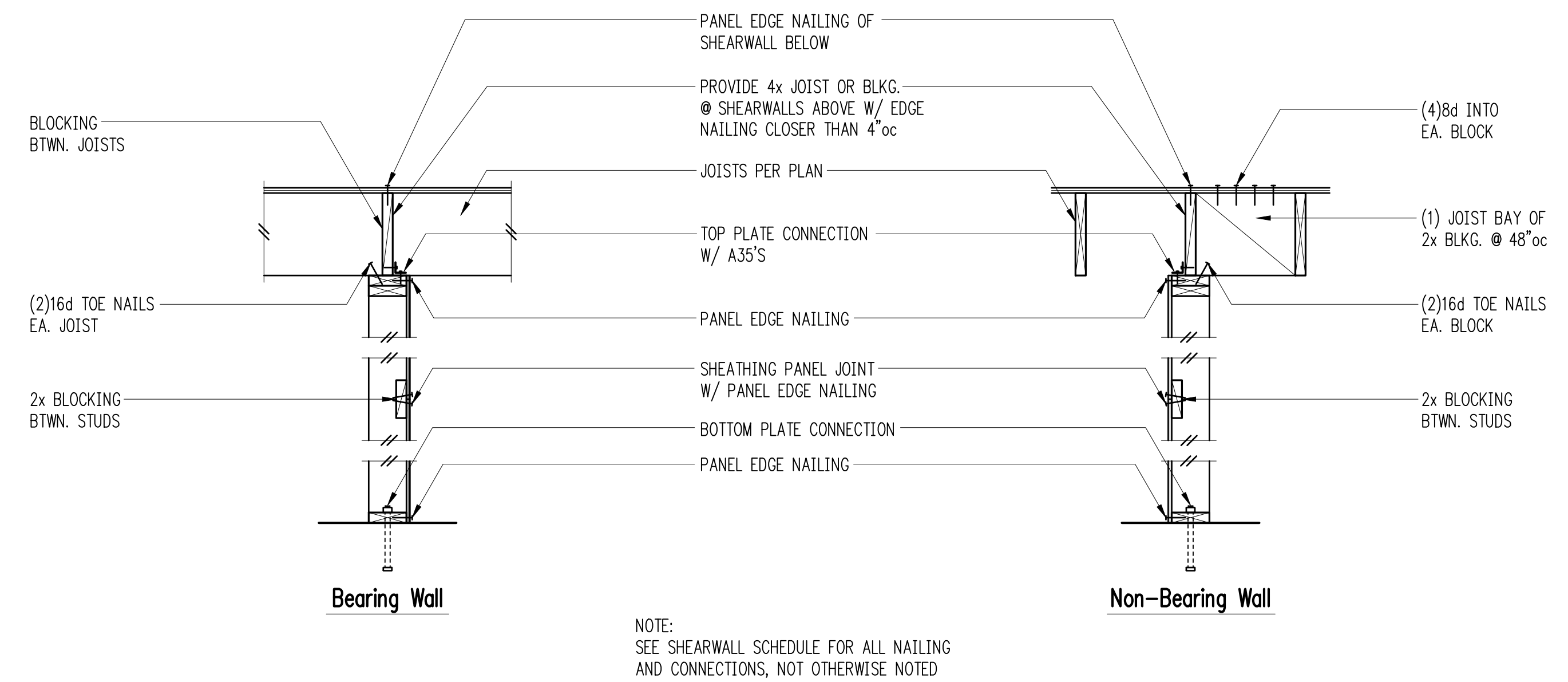
1" = 1'-0"



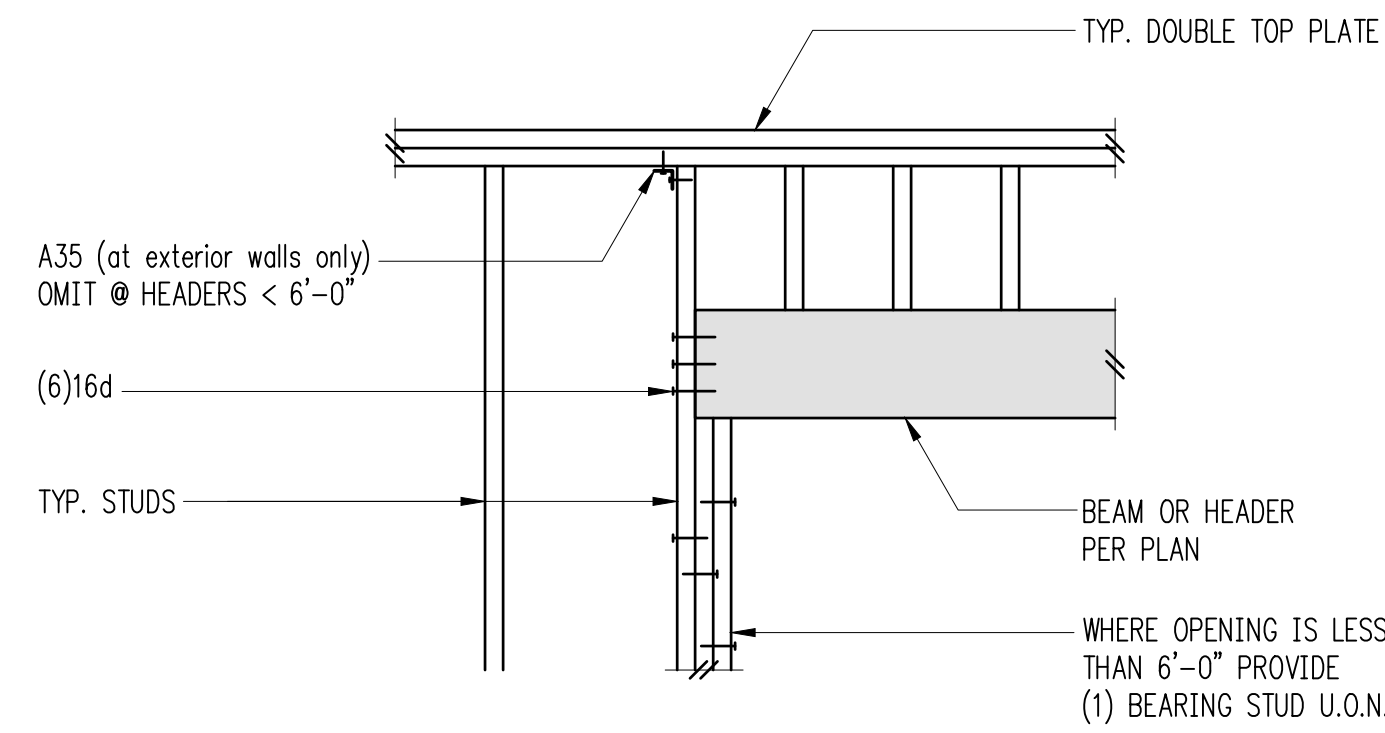
Typical Top Plate Splice 1



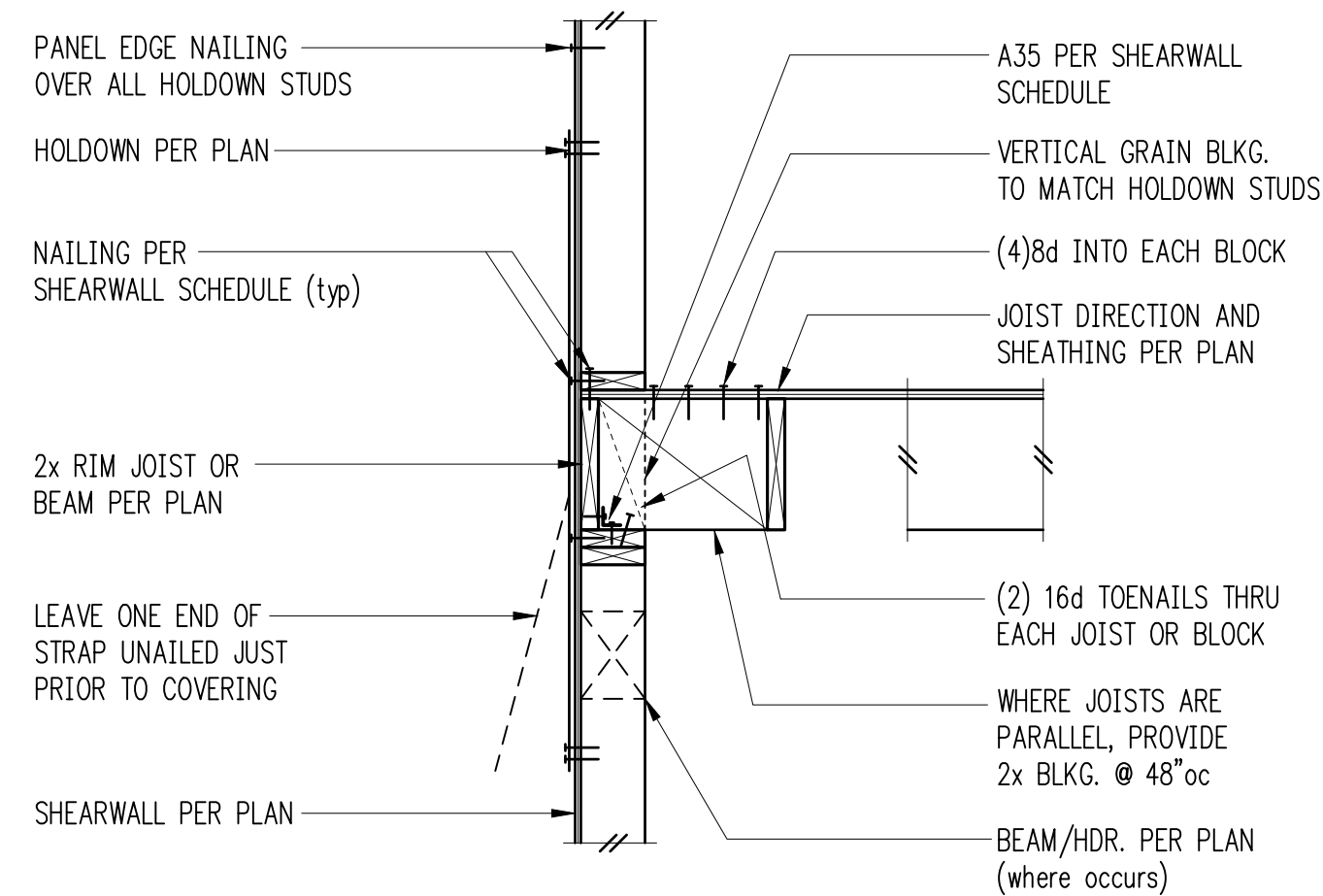
Interior Shearwall 2



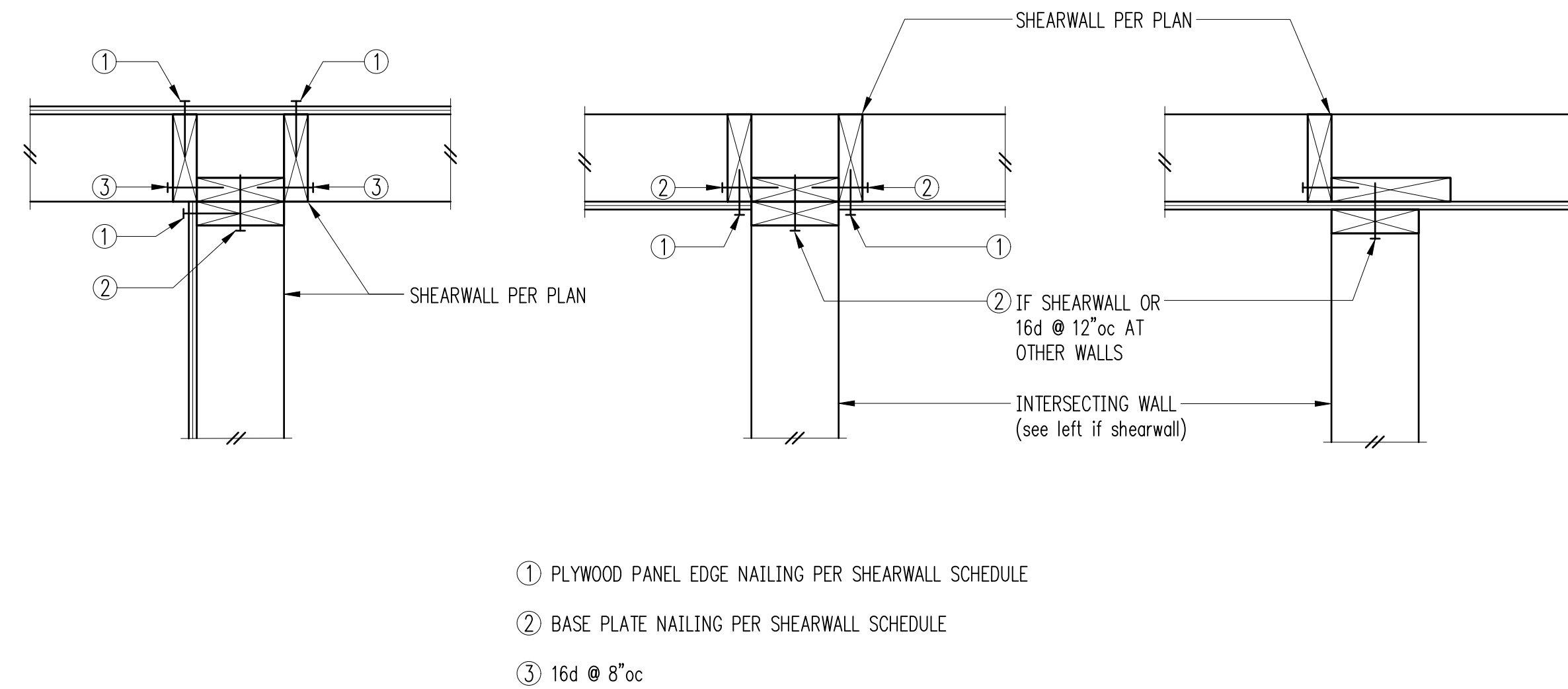
Typical Shearwall Construction 4



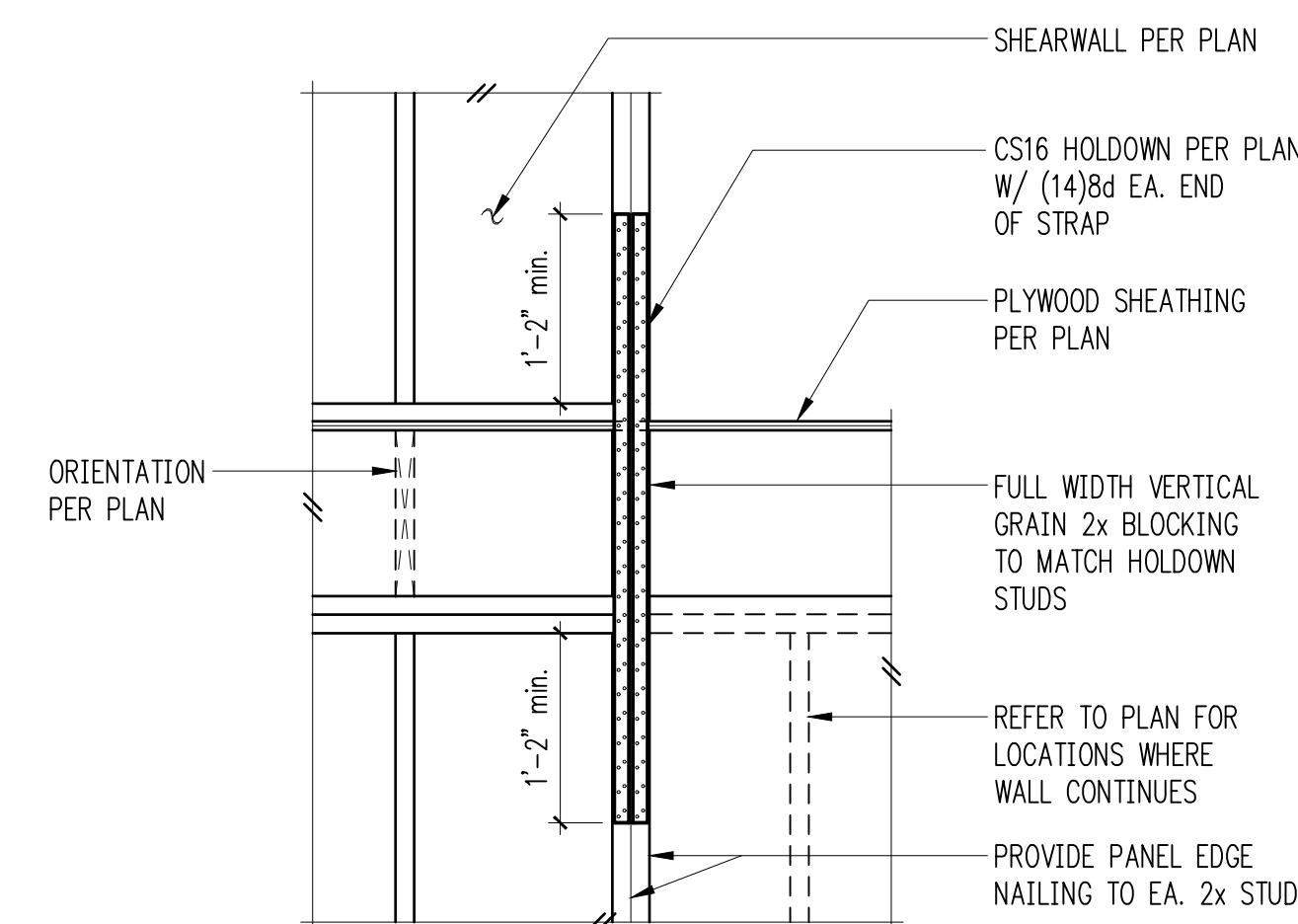
Typical Header Support 5



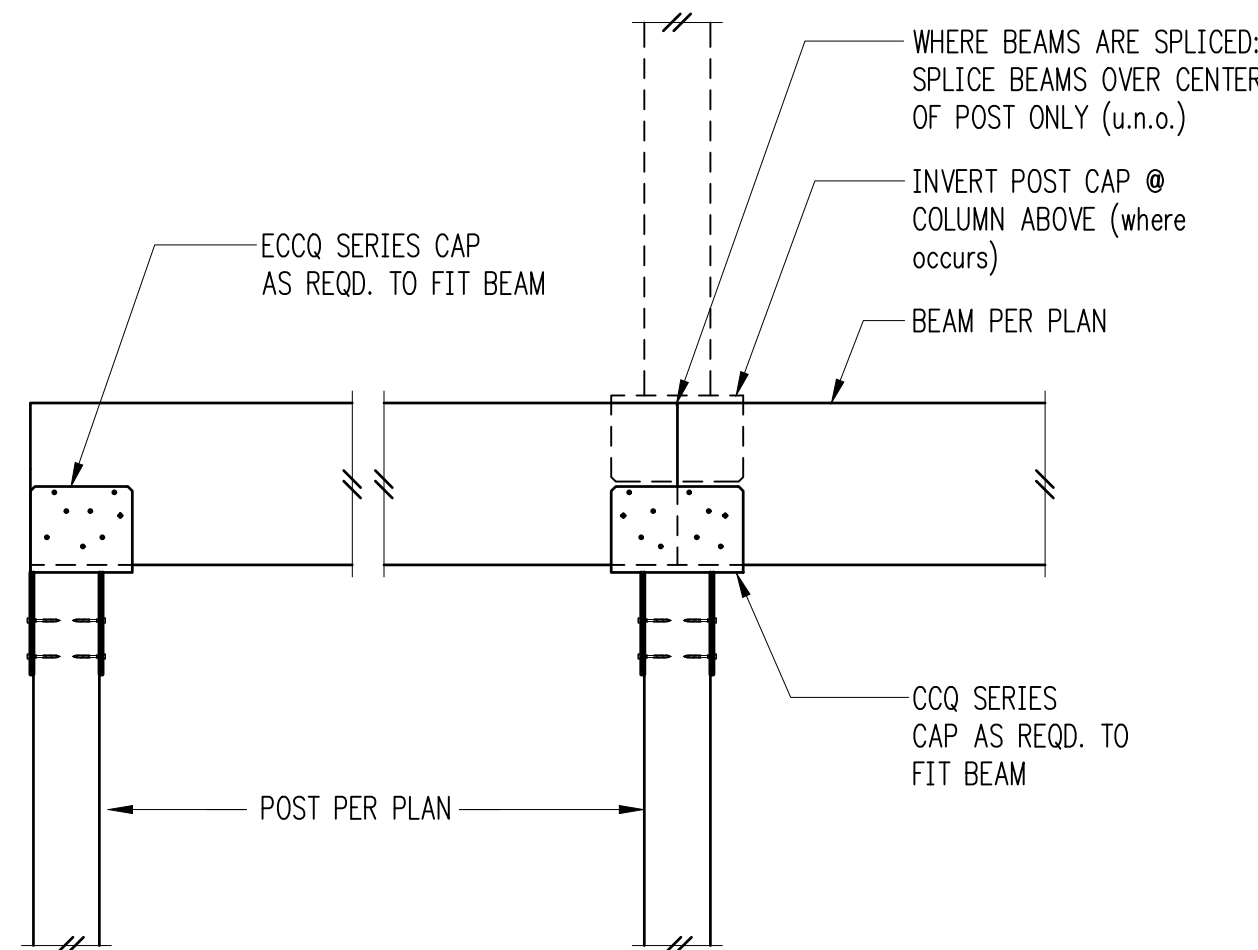
Exterior Floor Framing 6



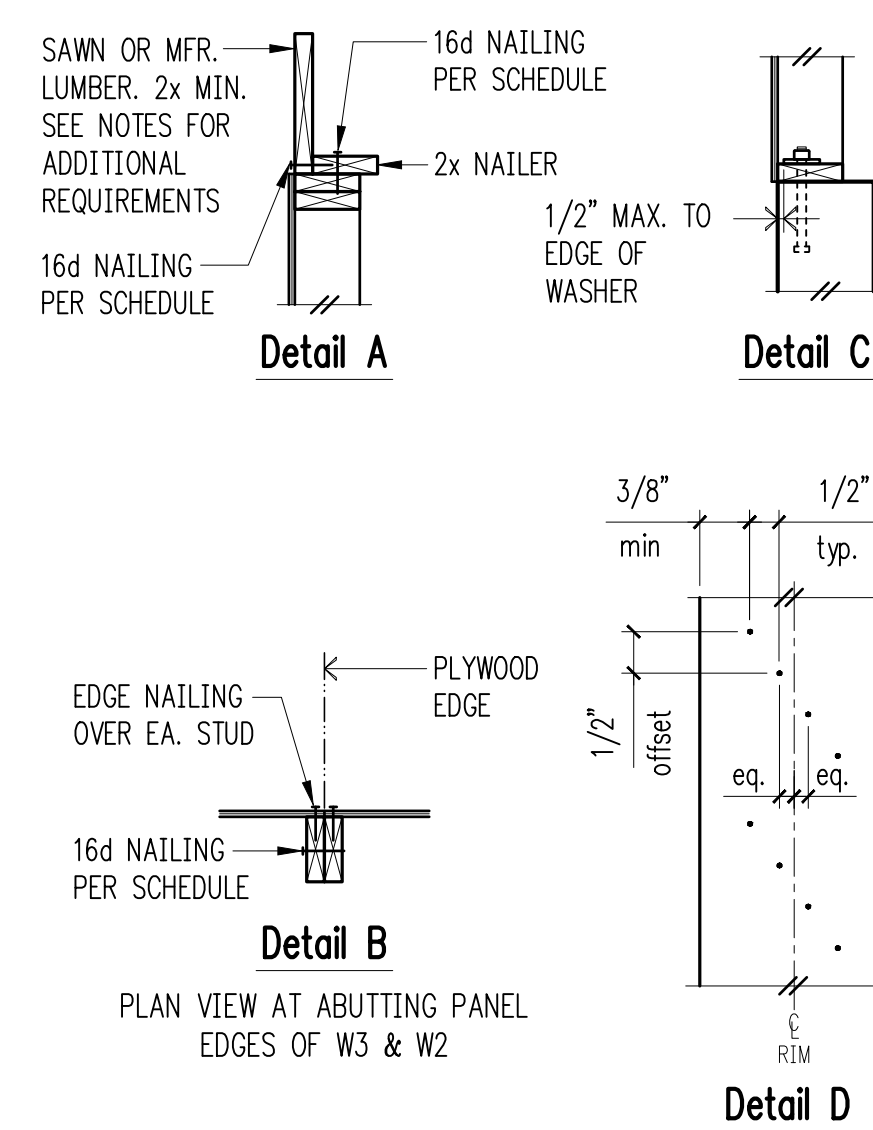
Typical Shearwall Intersections 8



Typical CS16 Holdown 9



CC/CCQ Series Connection 10

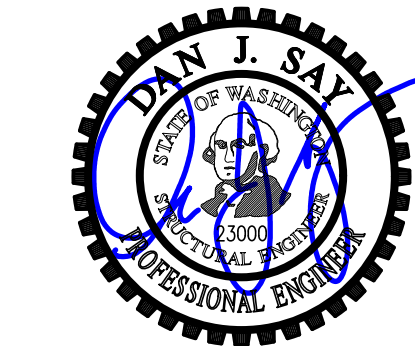


Shearwall Schedule ①②③④⑤⑥⑦

Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection	
			if TJI	if Wood ③	at Wood ⑩	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	5/8" A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc	(2)rows 16d @ 6"oc	5/8" A.B. @ 32"oc
W3 ④	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc	(2)rows 16d @ 6"oc	5/8" A.B. @ 24"oc
W2 ④	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc	(2)rows 16d @ 4"oc ⑪	5/8" A.B. @ 16"oc

- ① BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"oc.
- ② 8d NAILS SHALL BE 0.131" x 2 1/2" (common) - 16d NAILS SHALL BE 0.135" x 3 1/2" (box)
- ③ EMBED ANCHOR BOLTS AT LEAST 7". EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
- ④ 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- ⑤ TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- ⑥ ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- ⑦ 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX.
- ⑧ LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- ⑨ A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- ⑩ AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
- ⑪ PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.

Shearwall Schedule - (Sheathed One Side) 12



DESIGN: KMR
 DRAWN: NHD
 CHECKED: DJS
 APPROVED: DJS

REVISIONS:

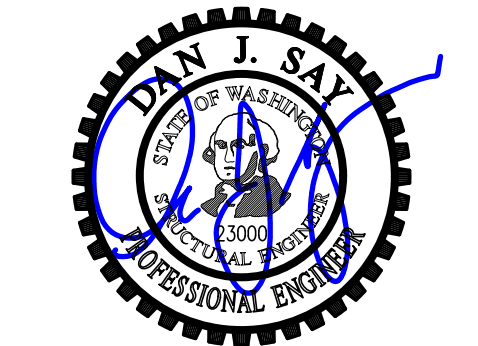
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PROJECT TITLE:
Brenes Remodel
 2675 74th Ave SE
 Mercer Island, WA 98040

ARCHITECT:
Living Shelter Architects, PLLC
 972-A Front Street N
 Issaquah, WA 98027
 PH 425.427.8643

ISSUE:
PERMIT

SHEET TITLE:
Typical Wood Framing Details
 SCALE: 3/4" = 1'-0" U.N.O.
 DATE: May 8, 2019
 PROJECT NO: 10592-2018-01
 SHEET NO:



DESIGN: KMR
 DRAWN: NHD
 CHECKED: DJS
 APPROVED: DJS

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:
Brenes Remodel
 2675 74th Ave SE
 Mercer Island, WA 98040

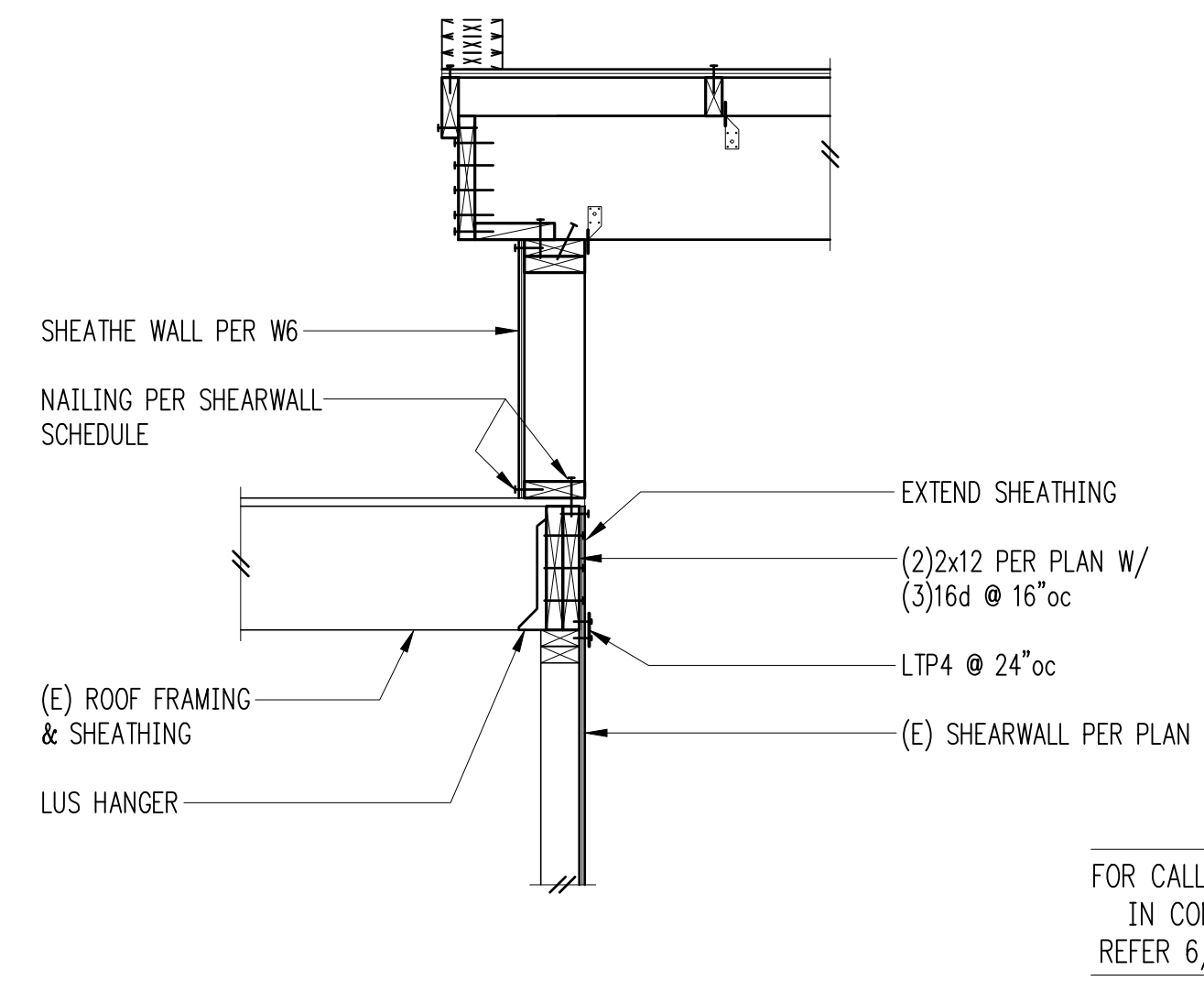
ARCHITECT:
Living Shelter Architects, PLLC
 972-A Front Street N
 Issaquah, WA 98027
 PH 425.427.8643

ISSUE:
PERMIT

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Wood Framing Details

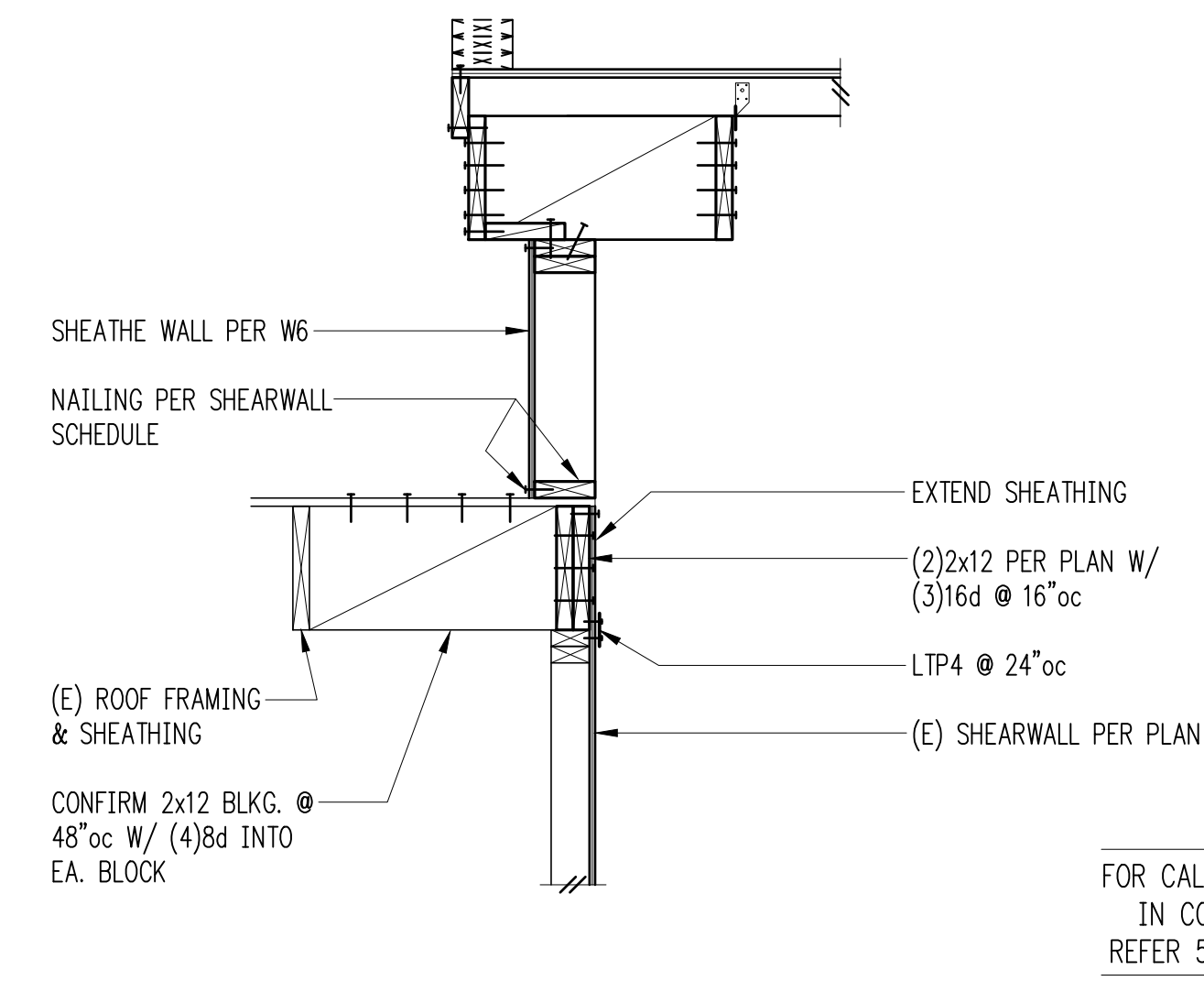
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 PROJECT NO: 10592-2018-01
 SHEET NO:

S4.2



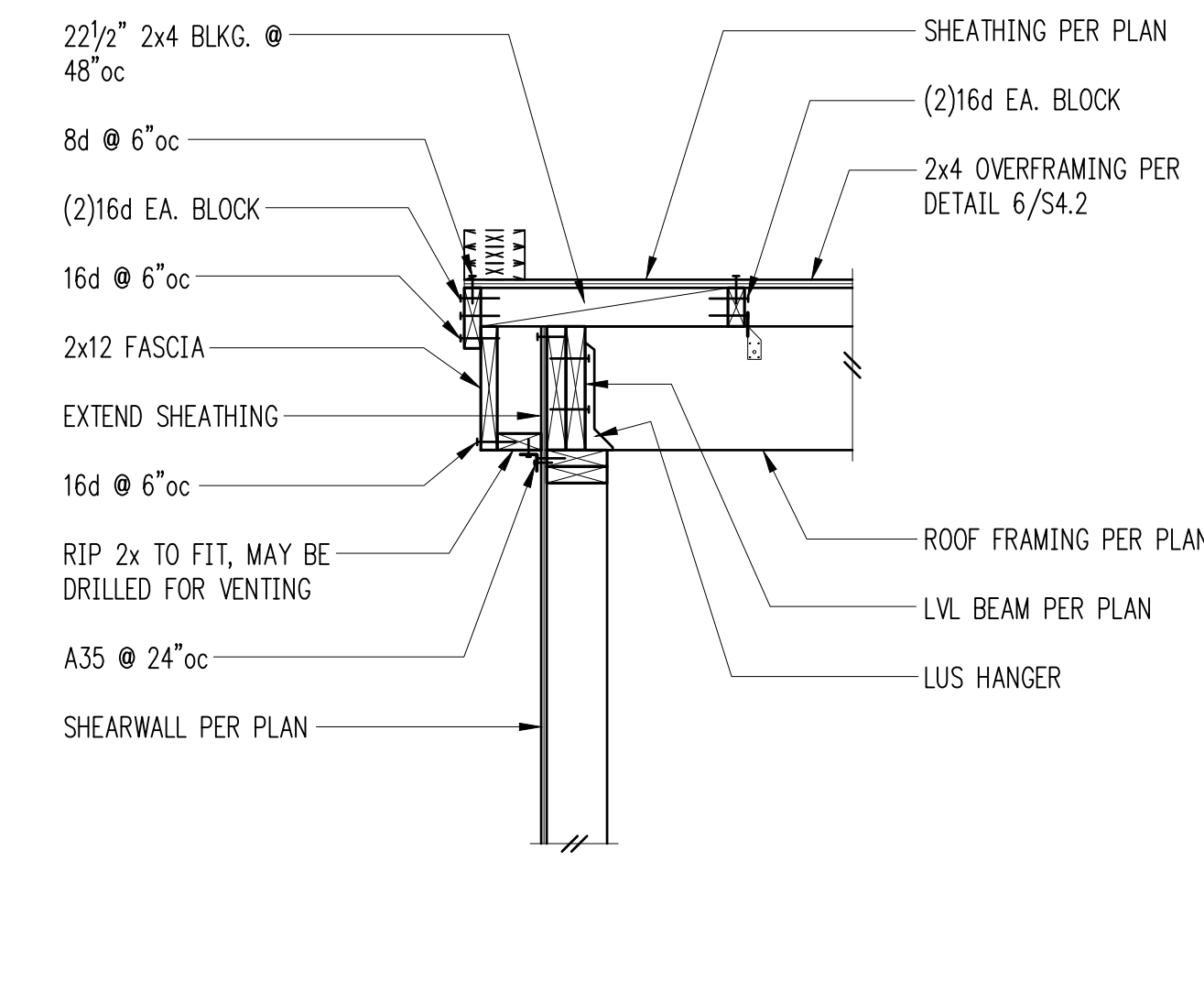
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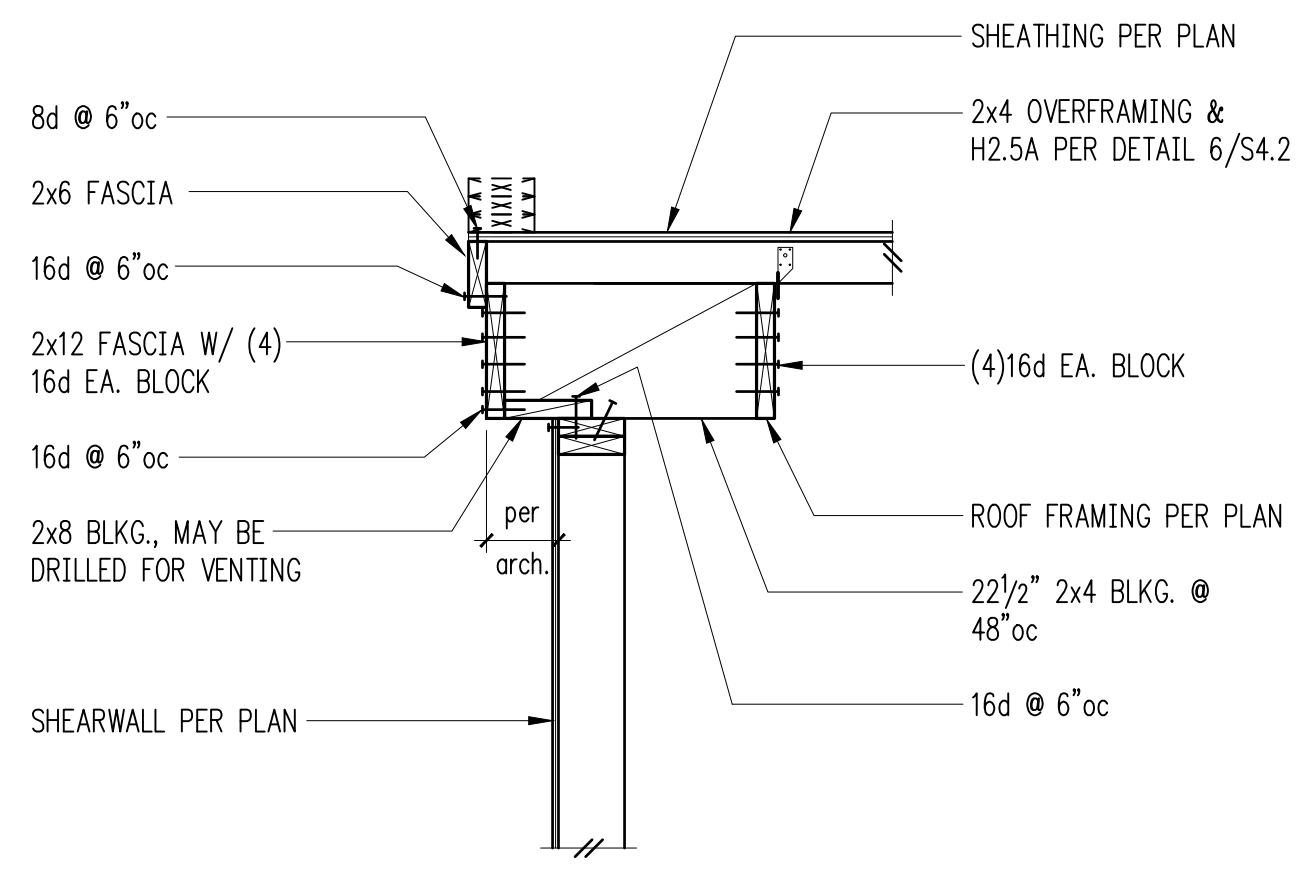


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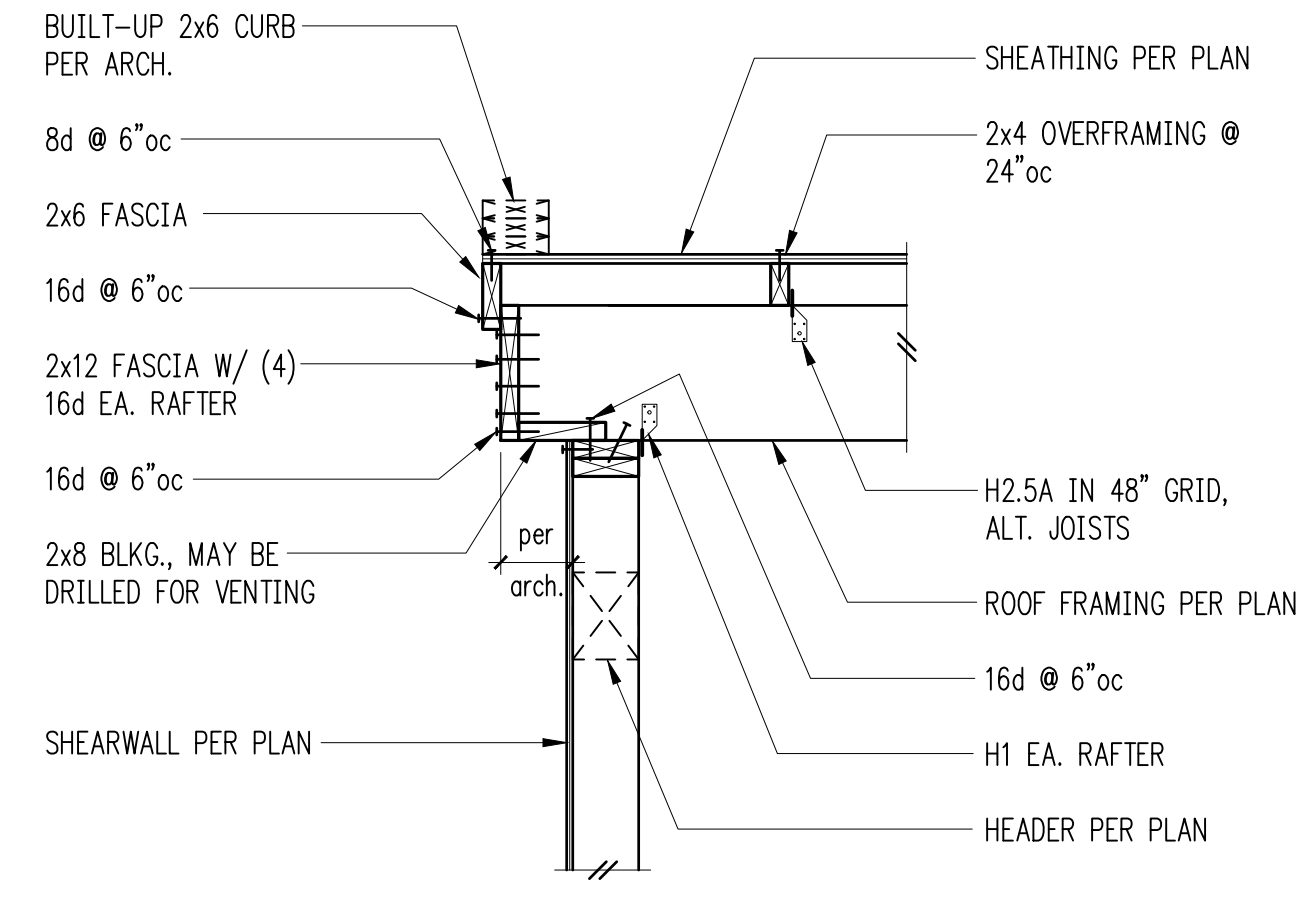
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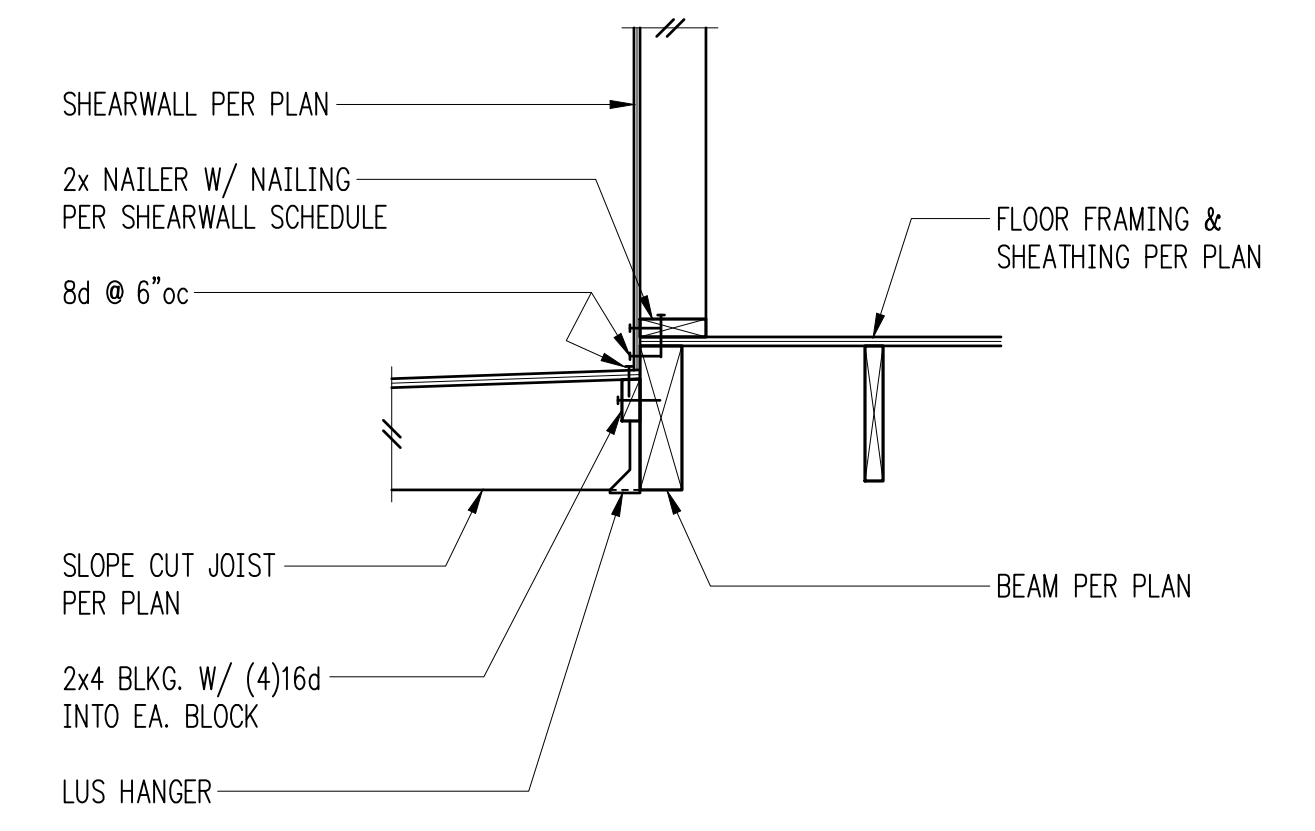
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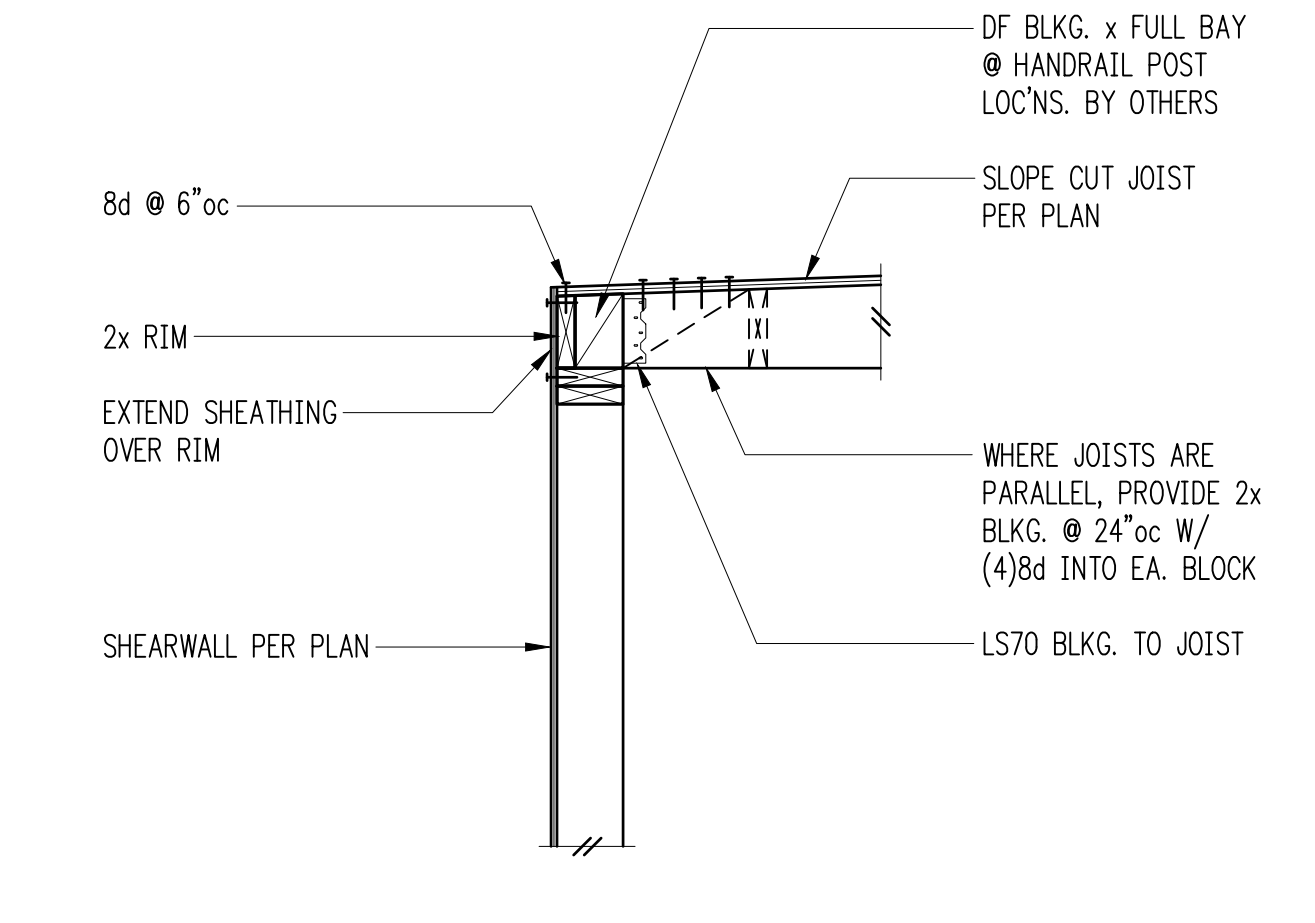
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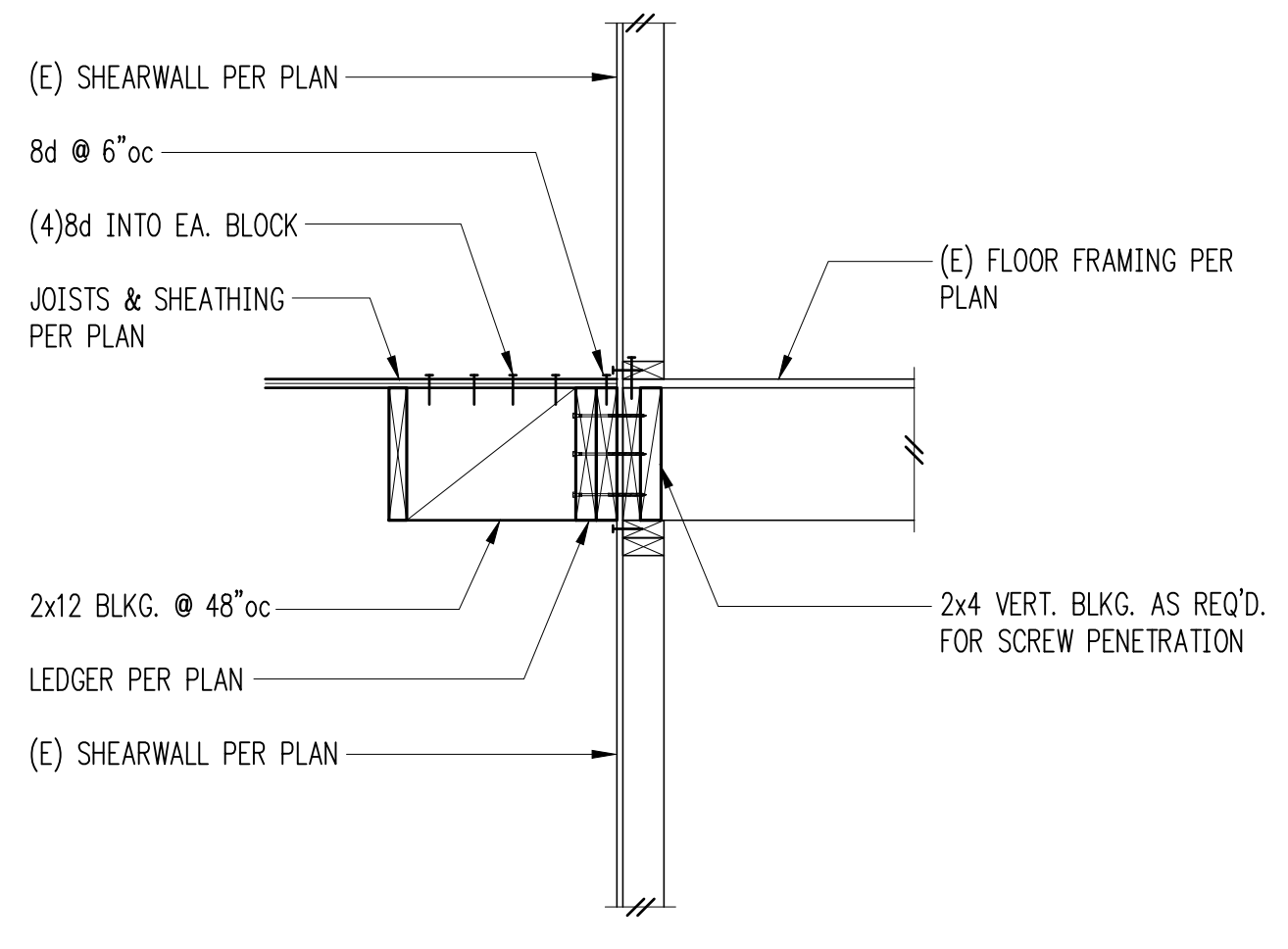
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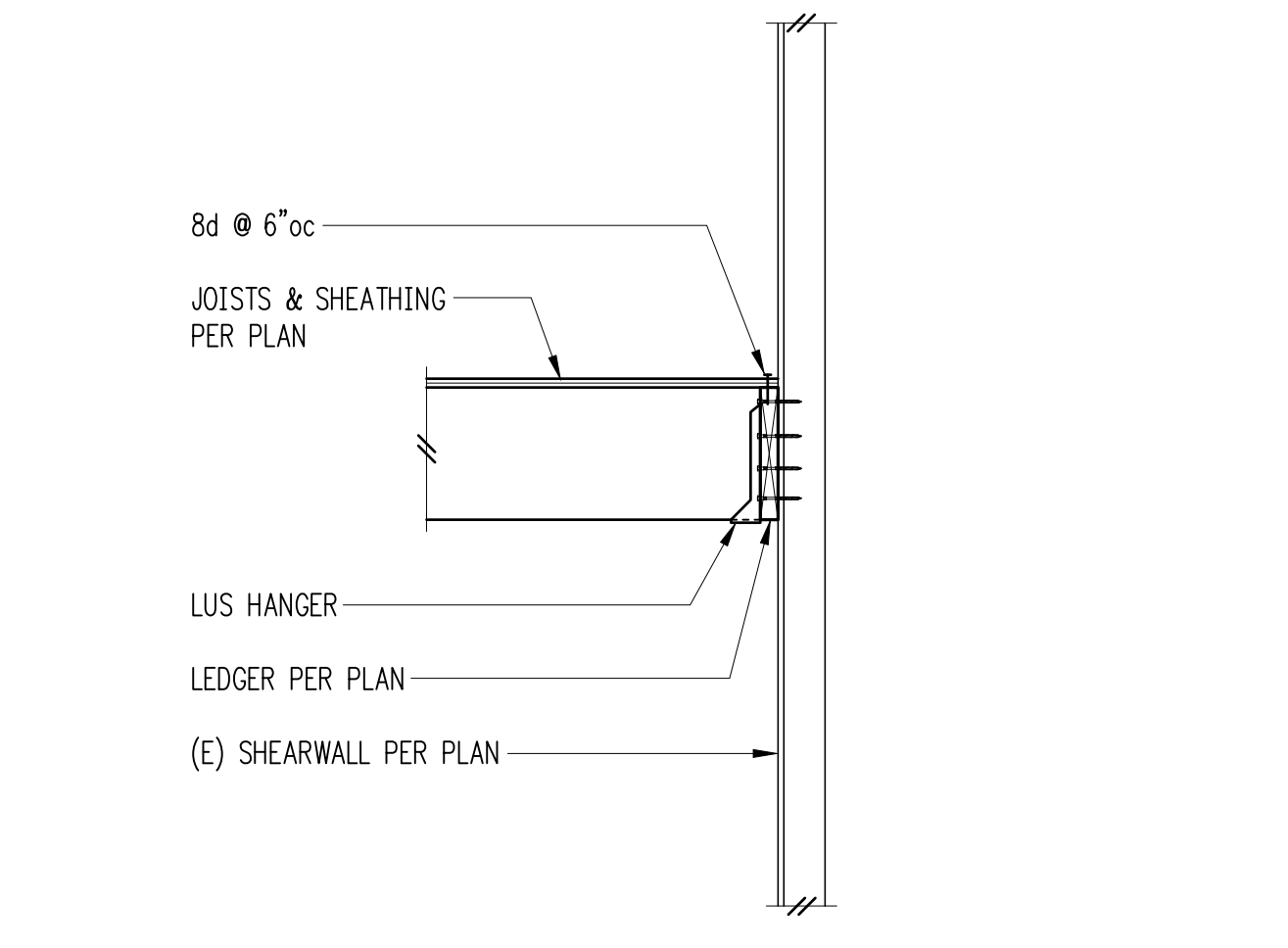
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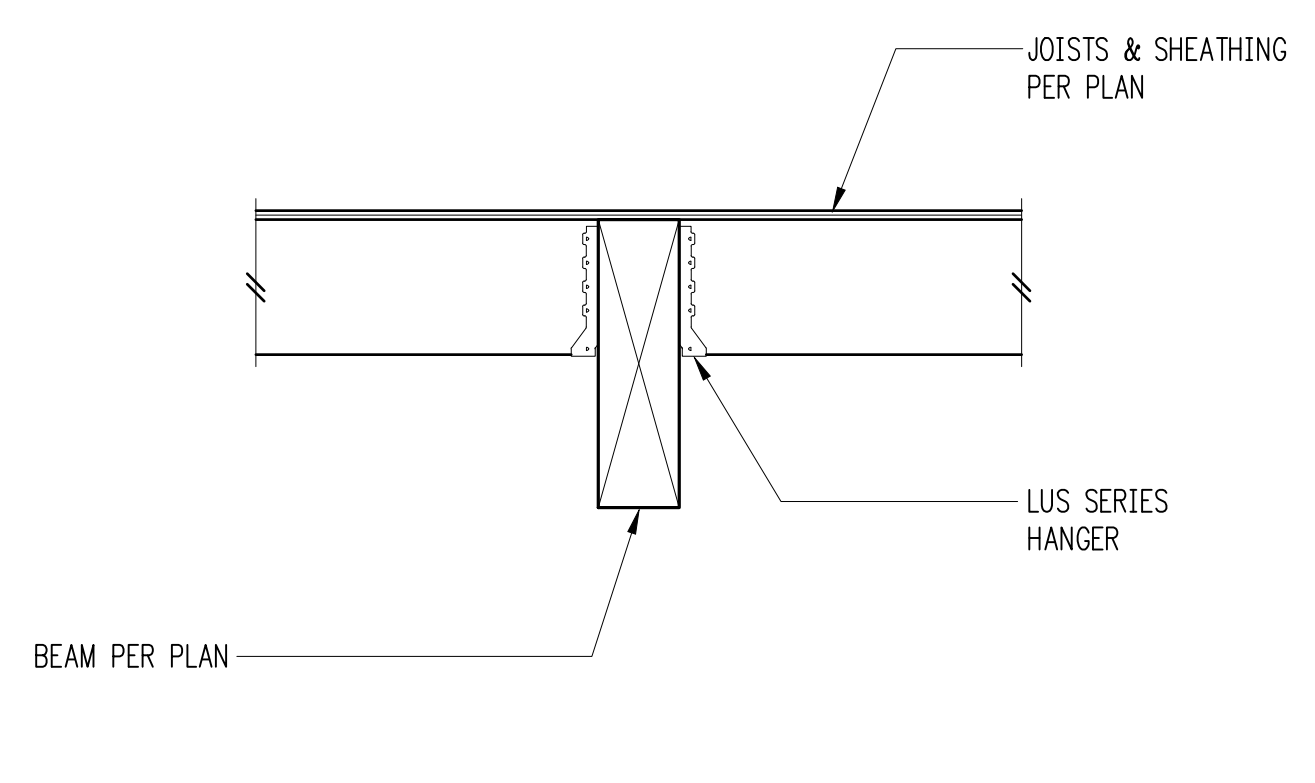
8



9



10



Typical Flush Beam 11

	A	B	C
PLAN VIEW			
SECTION			
# OF WOOD BMS (LVL)	2-1 3/4"	3-1 3/4"	4-1 3/4"
SDS SCREW SIZE	1/4" x3/2"	1/4" x4/2"	1/4" x6"
# OF SDS SCREWS	2	2	2
SPACING OF SDS SCREWS	16"oc	8"oc	6"oc
HANGER (U.N.O.)	HU 48	WPU 5,50/7,25	HWU 7,12/7,25
MIN POST (U.N.O.)	(2) 2x4 (2) 2x6	(3) 2x4 (3) 2x6	(4) 2x4 (4) 2x6

NOTES:
 - MIN. SCREW END DISTANCE = 4"

Sistering Schedule for Multi Beams 12