# BRENES RESIDENCE - C.A.D. App



# **CODE INFORMATION:**

**ENERGY CODE:** 2015 WSEC (Ch. 51-11 WAC)

Areas of remodel to comply with requirements for additions, alterations, renovations, or repairs as outlined in WSEC Sec. R101.4.3

2015 Washington State Energy Code Table R402.1.1 Prescriptive Requirements Group R Occupancy, All Climate Zones								
U- Factors R-Values								
Gla	zing	Door	Clg.	Vaulted	Walls		Floor	S.O.G.
Vert	O.H.			Clg.	Abv. Grd.	Blw. Grd.		
0.30	0.50	0.20	R-	R-38	R-21 int.	R-10/15/21	R-30	R-10
			49			+ TB*		2′

\*R-10 cont. on ext. of wall, R-15 cont. on int. of wall, or R-21 cavity insulation + thermal break at slab. **NOTE:** Prescriptive compliance is based on the above table and any Options selected based on additional credits required for project (list Options selected for specific project)

**VENTILATION & INDOOR AIR QUALITY:** 2015 IMC, 2015 WSEC (Ch. 51-11 WAC) Any new ventilation equipment to comply with WSEC Sec. R403.

PLUMBING, MECHANICAL, & ELECTRICAL DESIGN: WAC chapter 51-56, 2015 IFC, MICC 17.13.020, Washington Cities Electrical Code

Any new heating system components to comply with WSEC Sec. 403 – Building Mechanical Systems.

Primary Heating: Gas + Electric Heatpump Minisplit for addition

Prescriptive Heating System Sizing:

Any new heating system components shall be sized per WSEC Sec. R403.6

# **ZONING CODE:** MICC- Unified Land Development Code Title 19

Zone	R-9.6
Number of Dwellings	1 single-family
Critical Areas	Steep Slope Hazard
Site Area	9,449 sf
Max. Lot Coverage	30%
Max. Bldg. Ht. Allowed	30 ft
Min. Bldg. Setbacks	20 ft(front), 16ft (side),
	25 ft (rear)

**BUILDING CODE:** 2015 International Residential Code (IRC) With Statewide and City Amendments Title 17

Standard Design Criteria per IRC Sec. R301 & Table R303.2(1)

Building Area Summary – Living (House)	
Existing Main Floor	1150 sf
Existing Lower Floor	1150 sf
Proposed Lower Floor Addition- Garage+ Entry	619 sf
Proposed Main Floor Addition- Guest Bdrm, MBdrm, Mbath	635 sf
Total Living 3554 sf	

Lot Coverage Summary (see A0.01 for detail)		
Existing Lot Coverage	2876 sf	
Proposed Lot Coverage	2834 sf	
Allowed Lot Coverage (30%)	2834.7 sf	

Hardscape Summary (see A0.01 for detail)		
Existing Hardscape	2356 sf	
Proposed Hardscape	849 sf	
Allowed Hardscape (9%)	850 sf	

# **SYMBOLS:**

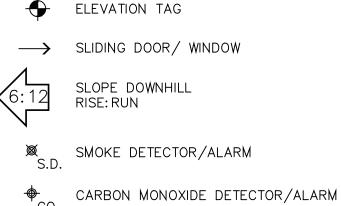
# LEGEND:

EXHAUST FAN

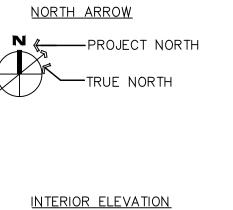


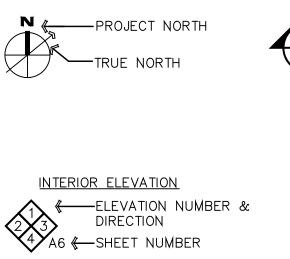
1) —DOOR NUMBER (REFER TO SCHEDULE)

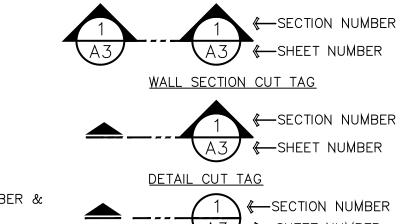




 $\frac{12}{6}$  ROOF SLOPE (RISE, RUN)







BUILDING SECTION CUT TAG

# **GENERAL CONDITIONS:**

- 1. These drawings are the exclusive property of the architect and may only be reproduced with the written permission of the architect.
- 2. The contractor shall be responsible for providing all work and materials in accordance with the International Residential Code (IRC) as well as all applicable national, state, county and city codes (building, fire, health, energy, ventilation, plumbing, mechanical, electrical, etc.)
- **3.** The contractor shall be governed by all conditions as indicated in the construction documents and specifications.
- **4.** If the contractor is aware of any discrepancy between the work as shown and requirements of codes and governing agencies, they shall notify the architect and await further instruction.
- **5.** The contractor shall verify all dimensions, datums, levels, and the site conditions prior to commencing the work. The contractor shall report any discrepancies and/or omissions to the architect prior to commencing the work.
- **6.** All work shall be accomplished by qualified trade people in the specific field with required certification where applicable.
- 7. All work shall be performed to the established trade standards using the most suitable construction methods in such trade. Aforementioned construction to include the use of applicable standard components, connectors, supports, trim, backing, blocking and/or other appurtenances.
- **8.** Set work to required levels and lines, with members plumb, true to line, cut, and fitted. Fit work to other construction; scribe and cope as needed for accurate fit. Locate furring, nailers, blocking, grounds, and similar supports to comply with requirements for attaching other construction.
- **9.** These drawings indicate general and typical details of construction. Where conditions are not specifically indicated but are of a similar character to the details shown, similar details of construction shall be used. Repetitive features not noted on the drawings shall be completely provided as if drawn in full.
- **10.** Do not scale drawings. All dimensions are from face of rough framing or face of concrete unless noted otherwise. Check details for location of items not dimensioned on the plans.
- **11.** All rough opening measurements shall be verified by the contractor.
- **12.** The contractor shall coordinate the securing of required permits and approvals with the owner.
- 13. The contractor shall schedule on-site inspections per the building official.
- **14.** Electrical, plumbing and mechanical systems are to be bidder designed. The contractor will be responsible to produce drawings for the architect and owner to review and approve, prior to the connection with the work.
- **15.** No deviations from or changes to the structural system shall be made without approval from the architect and engineer.
- **16.** All changes in plans and field modifications shall be approved by the building official.
- **17.** Shop drawings are required for, but not limited to, trusses, structural steel connections and fabrications. The contractor shall prepare and submit shop drawings to the architect for review and approval, and then submit to the building official. All shop drawing dimensions shall be checked and verified in the field by the contractor.
- **18.** It shall be the responsibility of the contractor to locate all existing utilities whether shown herein or not and to protect them from damage. The contractor shall bear all expense of repairs or replacement of utilities or other property damaged by operations in conjunction with the execution of the work.
- **19.** The contractor shall provide temporary facilities as required by
- **20.** The contractor shall provide all shoring, barricading and bracing necessary to ensure the structural stability of the project, and the health and safety of the public and all who enter the property during construction.
- **21.** The contractor shall keep areas under construction secure and clear of dirt and debris.
- **22.** The contractor shall schedule work, as much as possible, to avoid inconveniences of existing neighborhood property owners. **23.** The contractor shall provide all accessories required for a completely watertight installation including but not necessarily limited to: flashing, counterflashing, sealant, and caulking at all roof and floor penetrations, interlocking weather stripping at all doors and windows, water stops and other concrete inserts at below grade cold joints.
- 24. See structural notes & details for additional concrete, steel, & rough carpentry requirements.

# **ABBREVIATIONS:**

HDR

**HDWD** 

HORZ

HWT

INSUL

I.D.

INT

**ICF** 

Hardwood

Horizontal

Insulation

Interior

Hot water tank

Inside diameter

Insulated concrete

W/

W/D

W/O

W.C.

WD

W.I.C.

WIN

WP

With

Without

Wood

Window

Waterproof

Washer/Dryer

Water closet

Walk in closet

A.B.	Anchor bolt	JST	Joist
λ.F.F.	Above finish floor	K.D.	Kiln dried
ABV	Above	L	Length
ADD	Addition	L.F.	Linear feet
ALT	Alternating	LAV	Lavatory
AWN B.F.	Awning Bi-fold	LOC M.O.	Location
в.г. В.Р.	Bi-pass	MATL	Masonry opening  Material
B/I	Built-in	MAX	Maximum
B/U	Built-up	MECH	Mechanical
BLDG	Building	MFR	Manufacturer
BLKG	Blocking	MIN	Minimum
BLW	Below	MTL	Metal
ВМ	Beam	(N)	New
BRD	Board	N.A.	Not applicable
BRG	Bearing	N.I.C.	Not in contract
BSBL C.F.	Building Setback Line Cubic feet	N.T.S.	Not to scale Over
C.J.	Control Joint	O.C.	On center
C.L.	Center line	O.C.	Outside diameter
CALC	Calculation	O.H.	Overhang
CANT	Cantilever	O.H.D.	Overhead door
CAS	Casement	ODWH	On-demand water
			heater
CLG	Ceiling	OPP	Opposite
CLR	Clear	OPTL	Optional
COL	Column	PLAM	Parallam
CONC	Concrete	P.T.	Pressure treated
CONST	Construction	PD	Plumbing drop
CONT	Continuous	PERP	Perpendicular
COORD	Coordinate	PKT	Pocket
CSMT D	Casement	PLMG	Plumbing
D.H.	Depth Double hung	PLYWD	Plumbing Plywood
DBL	Double	PSF	Per square foot
DEMO	Demolish	R	Riser
DIA	Diameter	R.O.	Rough opening
DIM	Dimension	R.S.	Rough sawn
DN	Down	R-VALUE	Thermal resistance
DR	Door	REF	Refrigerator
DS	Down spout	REQD	Required
DTL	Detail	REV	Revision
DWG	Drawing	RFTR	Rafter
E.J.	Expansion joint	S	Sink
E.W.	Each way	S&P	Shelf and pole
EA EL	Each	S.C. S.D.	Solid core wood
C L		3.D.	Smoke detector
EDDM	Elevation  Etholypo Propylopo	C E	Sauara foot
E.P.D.M.	Ethelyne Propylene	S.F.	Square feet
	Ethelyne Propylene Diene Monomer		
EQ	Ethelyne Propylene Diene Monomer Equal	S.F. S.G. S.H.	Safety glass
EQ EQUIP	Ethelyne Propylene Diene Monomer	S.G.	
EQ EQUIP ESMT	Ethelyne Propylene Diene Monomer Equal Equipment	S.G. S.H.	Safety glass Single hung
EQ EQUIP ESMT EXG	Ethelyne Propylene Diene Monomer Equal Equipment Easement	S.G. S.H. S.O.G.	Safety glass Single hung Slab on grade
EQ EQUIP ESMT EXG EXP	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing	S.G. S.H. S.O.G. S.W.	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting
EQ EQUIP ESMT EXG EXP EXT	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed	S.G. S.H. S.O.G. S.W. SHT SHTG	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar
EQ EQUIP ESMT EXG EXP EXT F	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider
EQ EQUIP ESMT EXG EXP EXT F	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain Finish Floor	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification
EQ EQUIP ESMT EXG EXP EXT F F.D. F.F.	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain Finish Floor Fireplace	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard
EQ EQUIP ESMT EXG EXP EXT F F.D. F.F. F.F.	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain Finish Floor Fireplace Field verify	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel
EQ EQUIP ESMT EXG EXP EXT F F.D. F.F. F.P. F.V. FDN	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain Finish Floor Fireplace Field verify Foundation	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural
EQ EQUIP ESMT EXG EXP EXT F.D. F.F. F.P. F.V. FIN	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain Finish Floor Fireplace Field verify Foundation Finish	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread
EQ EQUIP ESMT EXG EXP EXT F F.D. F.F. F.P. F.V. FDN FIN	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain Finish Floor Fireplace Field verify Foundation Finish Flush	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove
EQ EQUIP ESMT EXG EXP EXT F F.D. F.F. F.V. FDN FIN FL	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain Finish Floor Fireplace Field verify Foundation Finish Flush Floor	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B.	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam
EQ EQUIP ESMT EXG EXP EXT F F.D. F.F. F.V. FDN FIN FL FLR FRDR	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain Finish Floor Fireplace Field verify Foundation Finish Flush Floor French door	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B. T.O.S.	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam Top of slab
EQ EQUIP ESMT EXG EXP EXT F F.D. F.F. F.V. FIN FIN FL FRDR FTG	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain Finish Floor Fireplace Field verify Foundation Finish Flush Floor	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B.	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam
EQ EQUIP ESMT EXG EXP EXT F F.D. F.F. F.V. FDN FIN FL FLR FRDR	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain Finish Floor Fireplace Field verify Foundation Finish Flush Floor French door Footing	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B. T.O.S. T.O.W.	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam Top of slab Top of wall
EQ EQUIP ESMT EXG EXP EXT F F.D. F.P. F.V. FDN FIN FL FRDR FRDR FTG F.S.C.	Ethelyne Propylene Diene Monomer  Equal  Equipment  Easement  Existing  Exposure  Exterior  Fixed  Floor Drain  Finish Floor  Fireplace  Field verify  Foundation  Finish  Flush  Floor  French door  Footing  Forest Stewardship	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B. T.O.S. T.O.W.	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam Top of slab Top of wall
EQ EQUIP ESMT EXG EXP EXT F F.D. F.F. F.V. FDN FIN FIR FRDR FRDR FTG F.S.C.	Ethelyne Propylene Diene Monomer  Equal  Equipment  Easement  Existing  Exposure  Exterior  Fixed  Floor Drain  Finish Floor  Fireplace  Field verify  Foundation  Finish  Flush  Floor  French door  Footing  Forest Stewardship  Council	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B. T.O.S. T.O.W. TEMP	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam Top of slab Top of wall Temporary
EQ EQUIP ESMT EXG EXP EXT F F.D. F.P. F.V. FDN FIN FL FRDR FTG F.S.C. G.F.I. G.W.B.	Ethelyne Propylene Diene Monomer  Equal  Equipment  Easement  Existing  Exposure  Exterior  Fixed  Floor Drain  Finish Floor  Fireplace  Field verify  Foundation  Finish  Flush  Floor  French door  Footing  Forest Stewardship  Council  Ground fault interrupt	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B. T.O.S. T.O.W. TEMP	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam Top of slab Top of wall Temporary Thick
E.P.D.M.  EQ EQUIP ESMT EXG EXP EXT F F.D. F.P. F.V. FDN FIN FL FRDR FTG F.S.C. G.F.I. G.W.B.	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain Finish Floor Fireplace Field verify Foundation Finish Flush Floor French door Footing Forest Stewardship Council Ground fault interrupt Gypsum wall board	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B. T.O.S. T.O.W. TEMP	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam Top of slab Top of wall Temporary Thick Typical
EQ EQUIP ESMT EXG EXP EXT F F.D. F.F. F.V. FDN FIN FIR FRDR FTG F.S.C. G.F.I. G.W.B. GALV	Ethelyne Propylene Diene Monomer  Equal  Equipment  Easement  Existing  Exposure  Exterior  Fixed  Floor Drain  Finish Floor  Fireplace  Field verify  Foundation  Finish  Flush  Flush  Floor  French door  Footing  Forest Stewardship  Council  Ground fault interrupt  Gypsum wall board  Gauge  Galvanized	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B. T.O.S. T.O.W. TEMP THK TYP U.N.O.	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam Top of slab Top of wall Temporary Thick Typical Unless noted otherwise Unheated
EQ EQUIP ESMT EXG EXP EXT F F.D. F.P. F.V. FDN FIN FL FRDR FTG F.S.C. G.F.I. G.W.B. GALV GL	Ethelyne Propylene Diene Monomer  Equal  Equipment  Easement  Existing  Exposure  Exterior  Fixed  Floor Drain  Finish Floor  Fireplace  Field verify  Foundation  Finish  Flush  Floor  French door  Footing  Forest Stewardship  Council  Ground fault interrupt  Gypsum wall board  Gauge  Galvanized  Glass, glazing	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B. T.O.S. T.O.W. TEMP  THK TYP U.N.O.  UNHTD V.B.	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam Top of slab Top of wall Temporary  Thick Typical Unless noted otherwise Unheated Vapor barrier
EQ EQUIP ESMT EXG EXP EXT F F.D. F.F. F.V. FDN FIN FL FLR FRDR FTG F.S.C. G.F.I. G.W.B. GALV GL GLB	Ethelyne Propylene Diene Monomer  Equal  Equipment  Easement  Existing  Exposure  Exterior  Fixed  Floor Drain  Finish Floor  Fireplace  Field verify  Foundation  Finish  Flush  Floor  French door  Footing  Forest Stewardship  Council  Ground fault interrupt  Gypsum wall board  Gauge  Galvanized  Glass, glazing  Glulam beam	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B. T.O.S. T.O.W. TEMP THK TYP U.N.O. UNHTD V.B. V.T.O.	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam Top of slab Top of wall Temporary  Thick Typical Unless noted otherwise Unheated Vapor barrier Vent to outside
EQ EQUIP ESMT EXG EXP EXT F F.D. F.P. F.V. FDN FIN FL FRDR FRDR FTG G.F.I. G.W.B. GALV GL GLB H, HT	Ethelyne Propylene Diene Monomer  Equal  Equipment  Easement  Existing  Exposure  Exterior  Fixed  Floor Drain  Finish Floor  Fireplace  Field verify  Foundation  Finish  Flush  Floor  French door  Footing  Forest Stewardship  Council  Ground fault interrupt  Gypsum wall board  Gauge  Galvanized  Glass, glazing  Glulam beam  Height	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B. T.O.S. T.O.W. TEMP  THK TYP U.N.O.  UNHTD V.B. V.T.O. V.I.F.	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam Top of slab Top of wall Temporary  Thick Typical Unless noted otherwise Unheated Vapor barrier Vent to outside Verify in field
EQ EQUIP ESMT EXG EXP EXT F F.D. F.F. F.V. FDN FIN FIR FRDR FTG F.S.C. G.F.I. G.W.B. GALV GL GLB H, HT H.B.	Ethelyne Propylene Diene Monomer Equal Equipment Easement Existing Exposure Exterior Fixed Floor Drain Finish Floor Fireplace Field verify Foundation Finish Flush Floor French door Footing Forest Stewardship Council Ground fault interrupt Gypsum wall board Gauge  Galvanized Glass, glazing Glulam beam Height Hose bibb	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B. T.O.S. T.O.W. TEMP  THK TYP U.N.O.  UNHTD V.B. V.T.O. V.I.F.	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam Top of slab Top of wall Temporary Thick Typical Unless noted otherwise Unheated Vapor barrier Vent to outside Verify in field Vertical
EQ EQUIP ESMT EXG EXP EXT F F.D. F.P. F.V. FDN FIN FL FRDR FTG F.S.C. G.F.I. G.W.B.	Ethelyne Propylene Diene Monomer  Equal  Equipment  Easement  Existing  Exposure  Exterior  Fixed  Floor Drain  Finish Floor  Fireplace  Field verify  Foundation  Finish  Flush  Floor  French door  Footing  Forest Stewardship  Council  Ground fault interrupt  Gypsum wall board  Gauge  Galvanized  Glass, glazing  Glulam beam  Height	S.G. S.H. S.O.G. S.W. SHT SHTG SIM SLDR SPEC STD STL STRUCT T T&G T.O.B. T.O.S. T.O.W. TEMP  THK TYP U.N.O.  UNHTD V.B. V.T.O. V.I.F.	Safety glass Single hung Slab on grade Shear wall Sheet Sheeting Similar Slider Specification Standard Steel Structural Tread Tongue and groove Top of beam Top of slab Top of wall Temporary  Thick Typical Unless noted otherwise Unheated Vapor barrier Vent to outside Verify in field

# **OWNER:**

**CHRIS AND JEN BRENES 2675 74TH AVE SE** MERCER ISLAND, WA 98040 PH: 619.957.5849

#### PROJECT TEAM:

#### **Architect:**

Living Shelter Architects PO Box 1477 Issaquah, WA 98027 Principal: Terry Phelan Contact: P: 425-427-8643 E: terry.phelan@livingshelter.com

### **Structural Engineer:**

**Swenson Say Faget** 2124 Third Ave, Suite 100 Seattle, WA 98121 Contact: Karl Rosman P: (206) 443-6212 E: info@ssfengineers.com

#### **PROJECT SUMMARY:**

Addition+Renovation to a single-family home with work in the steep slope critical area along the north property boundary.

Primary Heat Source: Gas + Electric Heatpump

Work will be completed under a general construction contract.

#### **DRAWING INDEX:**

# Architectural

**G0.00** Cover Sheet & Project Information

**A0.00** Site Plan

**A0.01** Lot Coverage/Hardscape

**A0.02** Site Survey

**A0.03** Comparative Site Survey

**A0.04** Lower Floor Plan A0.05 Upper Floor Plan

**A0.06** Conceptual Grading Plan **L0.01** Landscape Plan

### Structural

**S1.1** General Structural Notes

General Structural Notes

Main Floor Framing/Foundation Plan

Upper Floor Framing Plan Roof Framing Plan

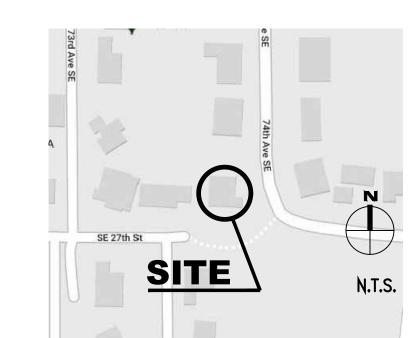
**Foundation Details** 

**S3.2** Foundation Details

**Typical Wood Framing Details Wood Framing Details** 

# **VICINITY MAP & PROJECT ADDRESS:**

2675 74<sup>th</sup> Ave SE Mercer Island, WA, 98040



# **LIVING SHELTER ARCHITECTS**

**PLLC** 472-A FRONT ST. N

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ISSAQUAH, WA 98027

1644

(425) 427-8643

project name

# **BRENES REMODEL**

project address 2675 74th Ave SE Mercer Island, WA 98040

#### owner CHRIS & JEN BRENES

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project manager **ROY MCGARRAH** living shelter architects 425.427.8643 roy@livingshelter.com

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structural engineer **SWENSON SAY FAGET** 206.443.6212

geotechnical engineer EARTH SOLUTIONS NW 425.284.3300

kevenh@esnw.com

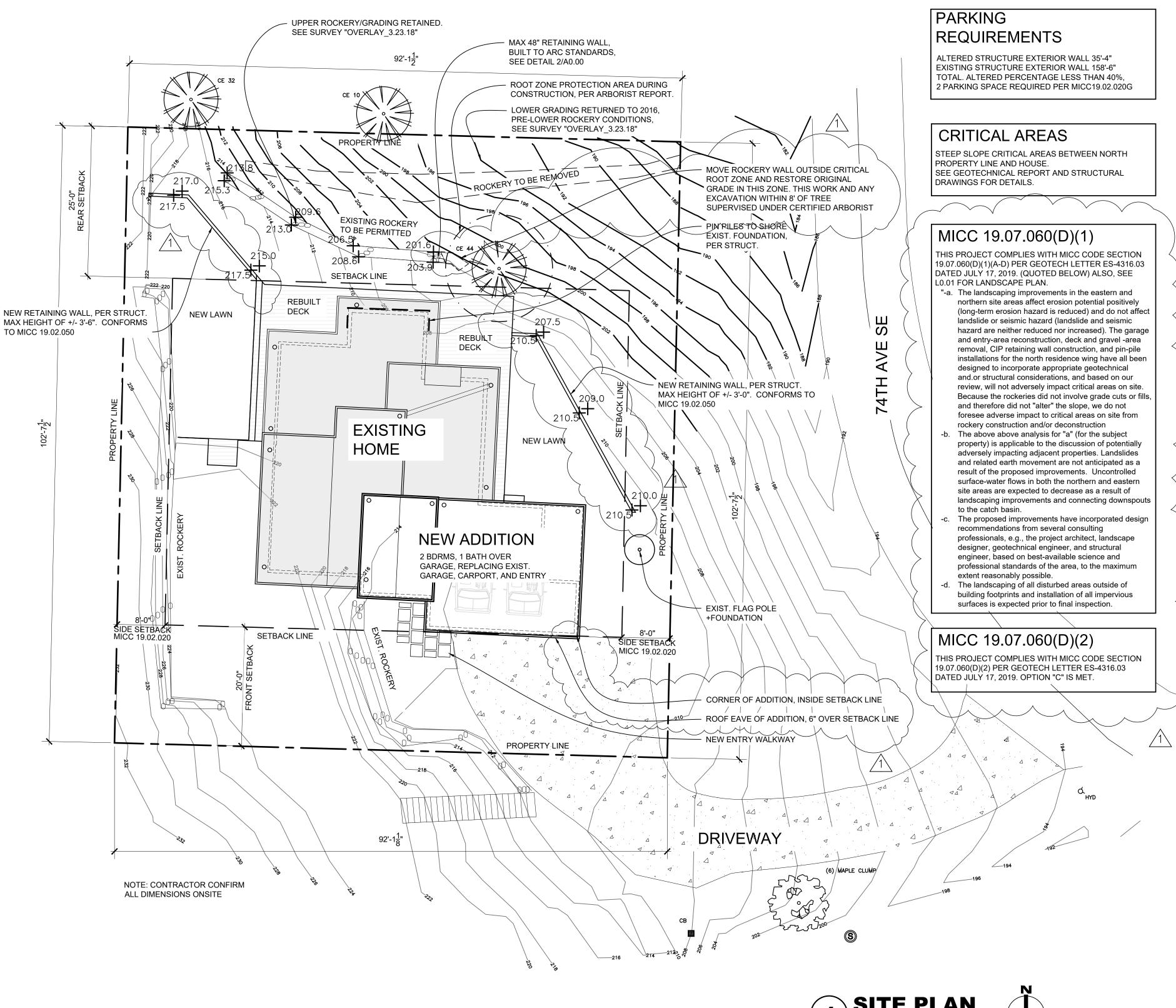
info@ssfengineers.com

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05 July 2019

sheet title

**COVER** 



THIS SITE DRAWING SHOWS CONTOURS ADJUSTED FOR THE REMOVAL OF THE LOWER ROCKERY ON THE NORTH SLOPE OF THE PROPERTY, PER 1/A0.03, WHILE RETAINING THE UPPER ROCKERY. IT ALSO SHOWS THE REDUCED SCOPE RE-BUILD OF THE DECKS AROUND THE W, N, AND E OF THE HOUSE, INCLUDING TWO NEW RETAINING WALLS TO CREATE UPPER AND LOWER LAWNS. FINALLY, IT SHOWS THE ADDITION TO THE SE OF THE HOUSE REPLACING THE EXISTING CARPORT/GARAGE/ENTRY WITH A NEW ENTRY/2 CAR GARAGE/ WITH 2 BEDROOMS 1 BATH ABOVE.

#### SITE PLAN NOTES

- Submit jobsite recycling plan prior to start of construction.
  - A. Achieve a minimum recycling rate of 70% of waste by weight.
- B. Follow recycling plan once posted on jobsite.2. All sub/contractors to comply with recycling plan & waste reduction efforts.
- Example of materials to recycle: cardboard, metal scrap, wood scrap, broken pallets, packaging, concrete rubble, rock, brick, land clearing/ yard waste, soil, other construction materials and surplus as appropriate.
- **3.** Use pervious materials for minimum 33% total area for drives, walks, & patios.
- 4. Grade to drain away from buildings, typical.5. Amend disturbed soil to a depth of 8-10 inches to restore soil environmental functions.6. Perimeter drainage to be installed as follows:
- A. Perf. Pipe surrounded and set in a min. 2" depth bed w/ a min. 3/4" crushed stone free of smaller particles (to prevent clogging).

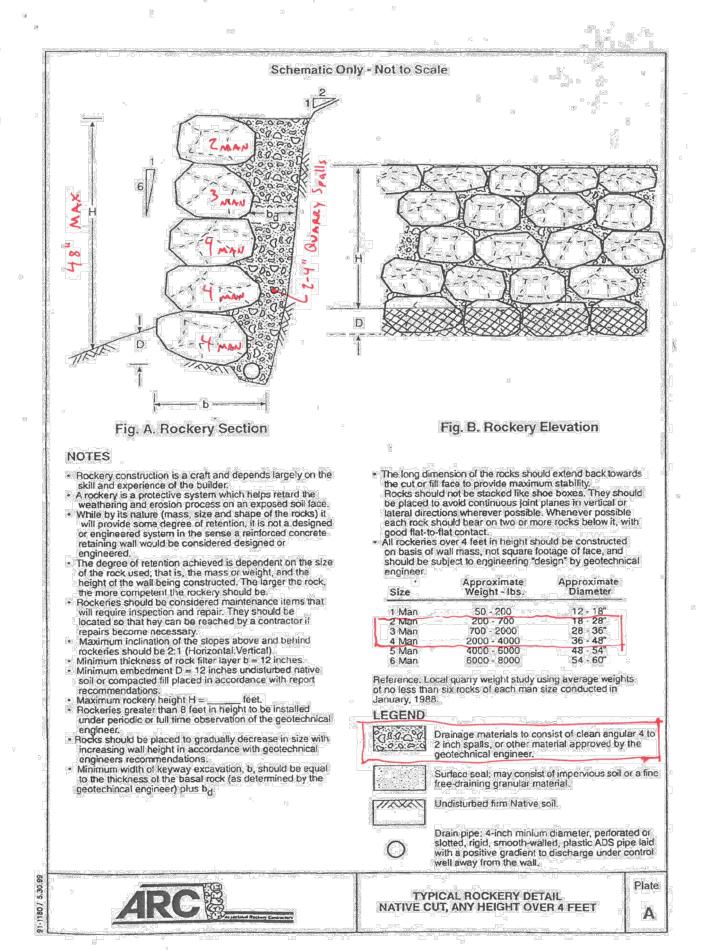
  B. Perf. Pipe & crushed stone shall be surrounded
- by a filter membrane to prevent adjacent soil from washing into & clogging the drain system.

  C. Minimum 1/4" per foot slope and connected to daylight.
- **7**. Roof and footing drains are to be connected separately to the storm drain system unless otherwise allowed.

LOT DESCRIPTION	ON
Site Address	2675 74 <sup>TH</sup> Ave SE Mercer Island, WA 98040
Parcel #	5315100392
Legal	MC GILVRAS ISLAND ADD
Description	92.15 FT OG S 102.65 FT
Zoning	R-9.6

LOT COVERAGE - IMPERVIOUS SUR	FACES
Lot Size = 9449 sf	
Existing Roof	1474 sf
Existing Garage + Carport	662 sf
Existing Driveway	740 sf
Demo Existing Garage + Carport	-662 sf
Demo section of exist. Driveway	-52 sf
New Roof	672 sf
Total	2836 sf
Lot Coverage	30.0 %
Max. Allowed	30 %

SURVEY PREPARED BY
C & C Surveying LLC
4509 243rd PL AW
Mountlake Terrace, WA 98043
425.673.7502
ccsurveyllc@gmail.com





"UPPER AND LOWER ROCKERIES" ON NORTH SLOPE OF PROPERTY BUILT BY B&R ENTERPRISES LLC (FORMERLY 'BY DESIGN ROCKERIES') IN 2017

LSA

LIVING SHELTER
ARCHITECTS
PLLC

472-A FRONT ST. N ISSAQUAH, WA 98027 (425) 427-8643

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1644

project name

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living shelter architects
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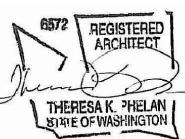
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geotechnical engineer
EARTH SOLUTIONS NW

425.284.3300 kevenh@esnw.com

6572 Projetteen



revisions

/1 REV: 7/23/19

date

05 July 2019

sheet title

SITE PLAN

sheet number

HARDSCAPE-EXISTING		
TYPE	QTY (SF)	
DECKS	1304	
MISC	208	
	36	
	100	
GRAVEL	269	
	175	
STEEP SLOPE ROCKERIES	193	
	71	
TOTAL	2356	

LOT COVERAGE-EXISTING		
TYPE	QTY (SF)	
HOUSE	1474	
GARAGE/CARPORT	662	
DRIVEWAY	740	
TOTAL	2876	

PROPERTY LINE PROPERTY LINE	EXISTING, UNPERMITTED ROCKERIES 264 SF
PROPE PR	EXISTING RESIDENCE 1474 SF  EXISTING MISC. HARDSCAPE 264 SF  EXISTING GARAGE + CARPORT 662 SF  EXISTING GRAVEL 412 SF  EXISTING DRIVEWAY 740 SF

EXISTING-LOT COVERAGE 2876 SF
ALLOWED-LOT COVERAGE 2834.7 SF
EXISTING-HARDSCAPE 2356 SF
ALLOWED-HARDSCAPE 850 SF

# 1) EXISTING LOT CONDITIONS 1"=20"

HARDSCAPE-NEW		
TYPE	QTY (SF)	
DECKS	343	
MISC	31	
	40	
	20	
TOTAL	434	
EXISTING - DEMO + NEW =	PROPOSED	

LOT COVERAGE-NEW		
TYPE	QTY (SF)	
GARAGE/BDRMS	672	
TOTAL	672	

EXISTING - DEMO + NEW = PROPOSED

714 672

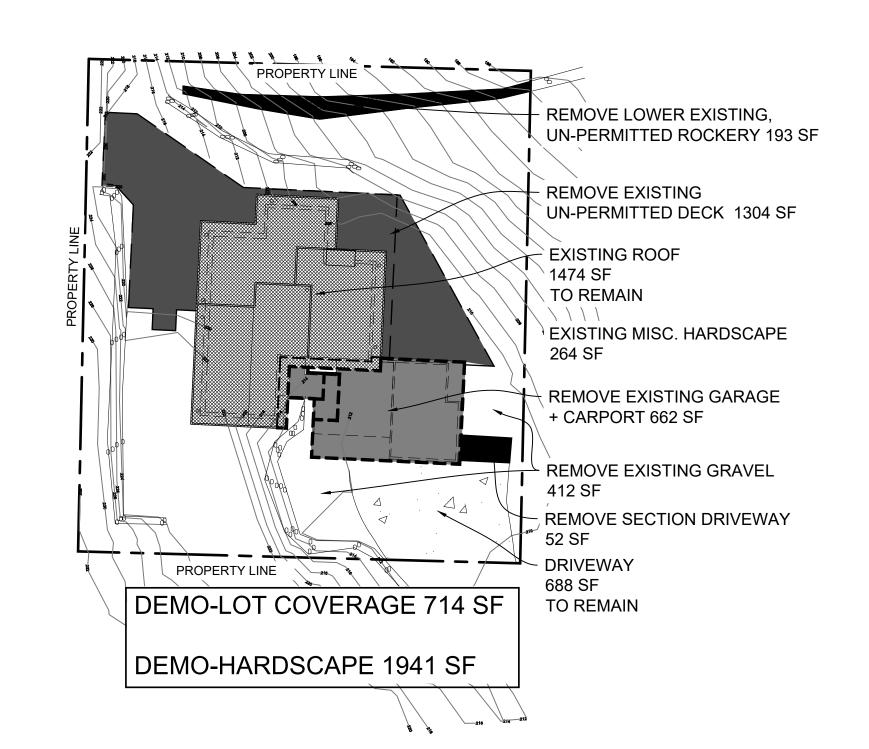
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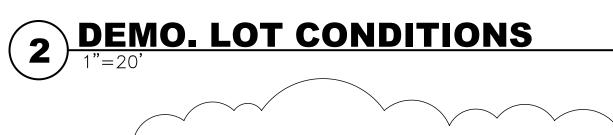
PROPERTY LINE  PROPERTY LINE	EXIST. ROCKERY-TO BE PERMITTED 71 SF  PROPOSED UPPER RETAINING WALL 12 SF  PROPOSED DECK 343 SF  PROPOSED LOWER RETAINING WALL 19 SF  EXISTING ROOF 1474 SF  EXISTING MISC. HARDSCAPE 264 SF  PROPOSED ADDITION 672 SF  PROPOSED WALKWAY HARDSCAPE 75 SF  REMAINING DRIVEWAY 688 SF
PROPOSED-LOT COVERAGE 2834 SF	
ALLOWED-LOT COVERAGE 283	
PROPOSED-HARDSCAPE 849 SF	
ALLOWED-HARDSCAPE 850 SF	
216 216 216	

3 PROPOSED LOT CONDITIONS
1"=20"

HARDSCAPE-DEMO			
TYPE	QTY (SF)		
DECKS	1304		
MISC			
GRAVEL	269		
	175		
STEEP SLOPE ROCKERIES	193		
TOTAL	1941		

LOT COVERAGE-DEMO		
TYPE	QTY (SF)	
DRIVEWAY	52	
GARAGE/CARPORT	662	
TOTAL	714	





NOTE: CONCEPT GRADING PLAN ADDED AS SHEET A0.06



STEEP SLOPE AREA

SEE GEOTECHNICAL REPORT + LETTER
DETAILING PERMITTED CONSTRUCTION IN
STEEP SLOPE CRITICAL AREA

STEEP SLOPE AREA IN OR NEAR PROP. WORK

1"=20"



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ARCHITECT

THERESA K. PHELAN

roviolopo

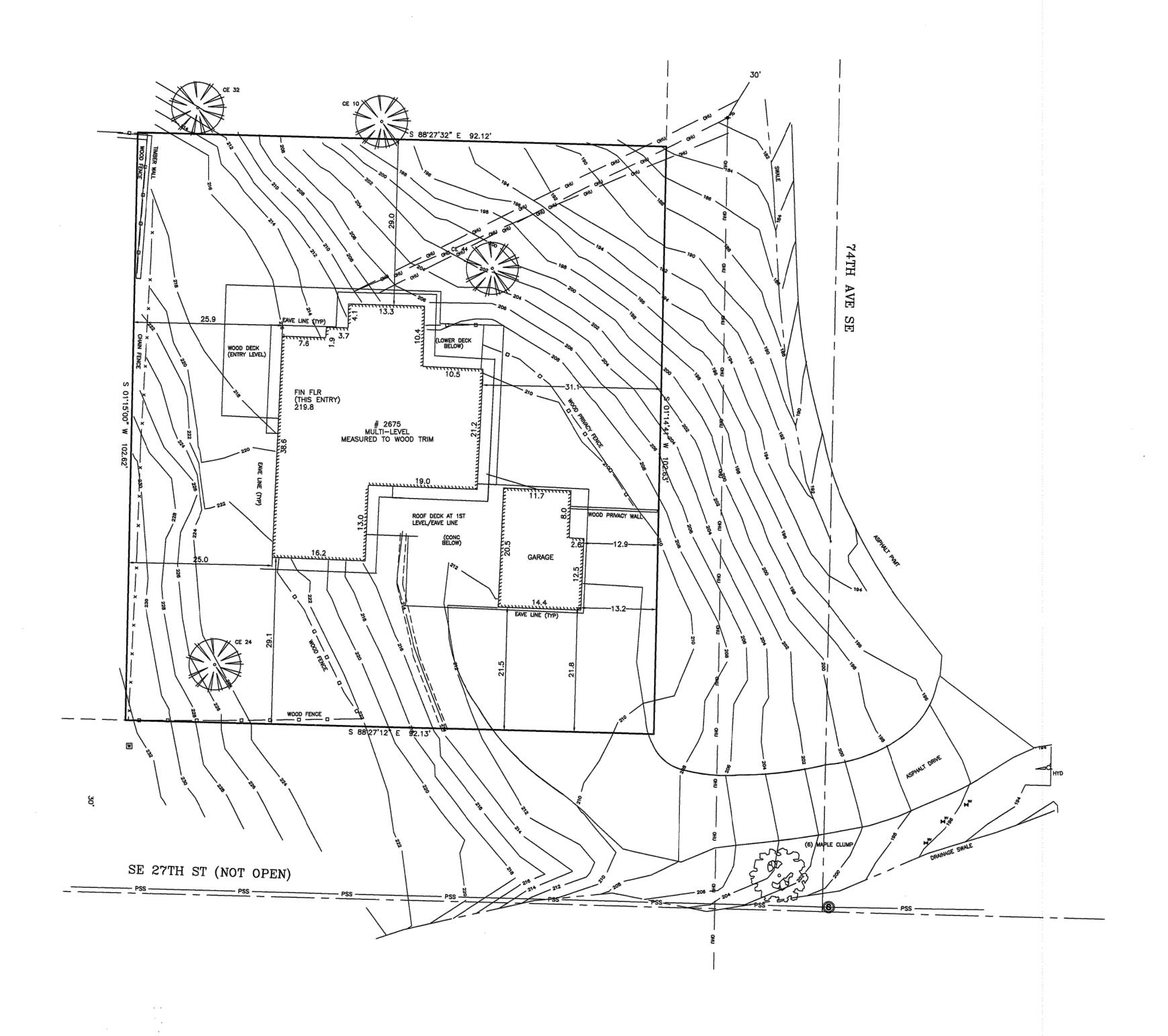
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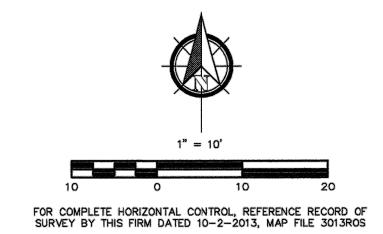
05 July 2019

sheet title

LOT COVERAGE/ HARDSCAPE

sheet number





# LEGAL DESCRIPTION

THAT PORTION OF LOT 7, BLOCK 5, McGILVRA'S ISLAND ADDITION, AS PER PLAT RECORDED IN VOLUME 16 OF PLATS, ON PAGE 58, RECORDS OF KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 7; AND RUNNING THENCE WEST, ALONG THE SOUTH LINE THEREOF, 92.15 FEET; THENCE NORTH, PARALLEL WITH THE EAST LINE OF SAID LOT 7, A DISTANCE OF 102.65 FEET; THENCE EAST TO THE EAST LINE OF SAID LOT 7, A DISTANCE OF 92.15 FEET; THENCE SOUTH, ALONG THE EAST LINE OF SAID LOT 7, A DISTANCE OF 102.65 FEET TO THE POINT OF BEGINNING.

(FROM TRUSTEE'S STATUTORY WARRANTY DEED, REC. NO. 20071002000874, RECORDS OF KING COUNTY, WASHINGTON)

CONTAINS 9,454.2 SQ FT (0.22 AC.)

#### VERTICAL DATUM

VERTICAL DATUM — NAVD 88. POINT NAME 8240 (CITY OF MERCER ISLAND). 2" BRASS CAP WITH 'X' IN CONCRETE IN STEEL CASE AT INT. SE 27TH ST & 72ND AVE SE. ELEV = 259.04

SITE BENCHMARK - MOST WESTERLY BONNET BOLT ON FIRE HYDRANT AT SOUTHEASTERLY END OF SITE DRIVE, BOLT NORTH OF "M" IN "MULLER". ELEV = 196.11

> TREE DESIGNATIONS: (NUMBERS INDICATE DIAMETER i.e. CE 10: 10" CEDAR TREE) CE = CEDAR

### SURVEYOR'S NOTES

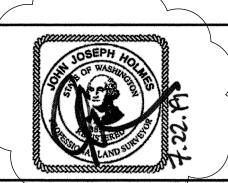
- 1.) THE CONTROLS SHOWN REPRESENT A COMPILATION OF MEASUREMENTS MADE DURING THIS SURVEY, PREVIOUS SURVEYS PERFORMED BY THIS FIRM, PUBLIC RECORDED SURVEYS AND MUNICIPAL RECORDS.
- 2.) THE CONTROLLING MONUMENTATION WAS FOUND IN JULY, 2010. CONDITIONS NOTED ARE AS OF
- 3.) FIELD INSTRUMENTATION WAS A LEICA TORP 1203 TOTAL STATION LAST CALIBRATED WITHIN THE YEAR BY A FACTORY AUTHORIZED TECHNICIAN.
- 4.) THIS SURVEY MEETS OR EXCEEDS FIELD TRAVERSE STANDARDS PER WAC 332-130.
   5.) ANY ENCROACHMENTS SHOWN HEREON MAY OR MAY NOT INDICATE UNWRITTEN PROPERTY RIGHTS.
- 6.) THE BOUNDARY MARKERS AND LINES DEPICTED ON THIS MAP ARE PER RECORD TITLE INFORMATION AND REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW. WHERE DISCREPANCIES EXIST THE SURVEYOR RECOMMENDS THAT THE OWNER OR POTENTIAL PURCHASER CONSULT WITH LEGAL COUNSEL TO DETERMINE HOW BEST TO INTERPRET THEIR PROPERTY RIGHTS AND ADDRESS ANY POTENTIAL BOUNDARY DISPUTES.

  7.) FENCE LINES ARE SHOWN AS MEASURED TO THE CENTERLINE OF THE FENCE POSTS.
- TREES ARE MEASURED TO CENTERLINES OF TRUNKS.
- 9.) ALL DIMENSIONS NOTED ARE SHOWN IN U.S. FEET.
- 10.) OFFSETS AND SETBACKS ARE SHOWN PERPENDICULAR TO SIDE LINES.
- 11.) THE DRAWING SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE SURVEYOR IN HIS FIELD WORK, OFFICE WORK, OR RESEARCH. 12.) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS OF RECORD.

# 1 SITE SURVEY - CURRENT CONDITIONS

THIS SITE SURVEY SHOWS EXISTING CONDITIONS SINCE 2017, INCLUDING NON-PERMITTED ROCKERIES ON THE NORTH SLOPE AND DECKS WRAPPING AROUND THE HOUSE FROM WEST, TO NORTH, TO EAST.

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TOPOGRAPHY SURVEY FOR JENNIFER BRENES 2675 - 74TH AVENUE SOUTHEAST PROJECT

SCALE:	1" = 10'	No.	Date	Ву	Revision	PROJ NO.
SUALE:	1 = 10	1	7.22.19	JJH	LOGO AND COPYRIGHT UPDATE	
DATE:	10-2-2013					`
DRAWN BY:	JJH					SHEET
MAP FILE:	3013TOPO					1

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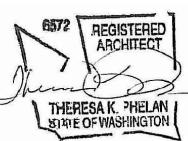
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 $\frac{1}{1}$  REV:  $\frac{7}{23}/19$ 

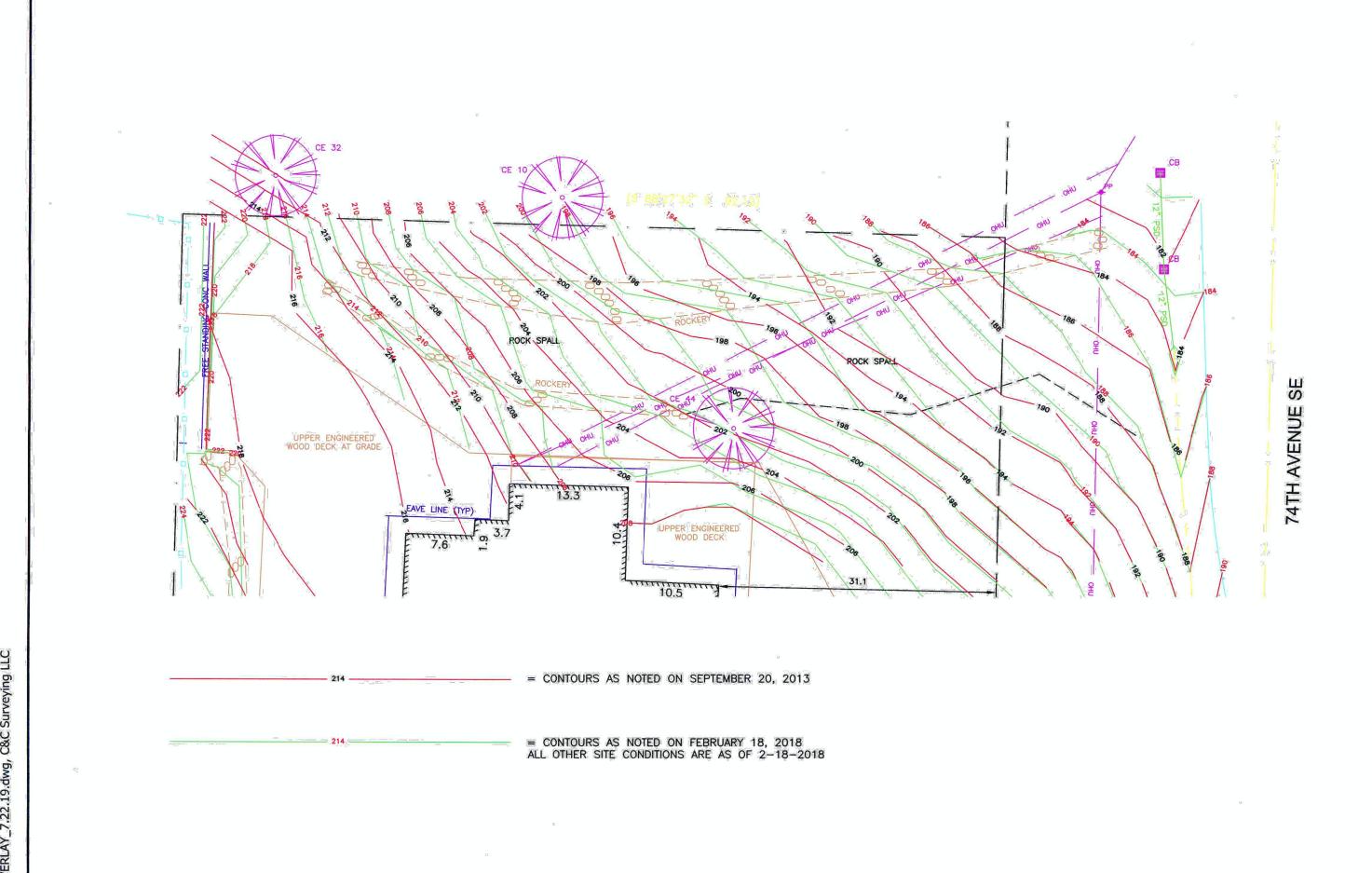
05 July 2019

sheet title

3013

OF

SITE SURVEY

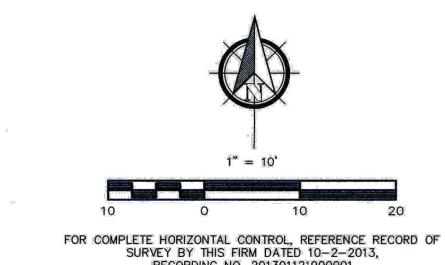


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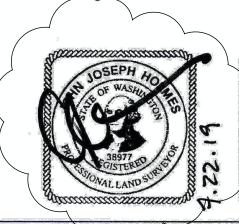
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C & C Surveying LLC SCALE: 1" = 10'

4509 243rd PL SW Mountlake Terrace, WA 98043 (425)673-7502 ccsurveyllc@gmail.com

DRAWN BY: JJH MAP FILE: 3609TPR1 DATE: 3-23-2018

SURVEY FOR:

JENNIFER BRENES

2675 - 74TH AVE SOUTHEAST PROJECT

PROJ NO. 3013.20VERLAY 1 OF 1

SITE SURVEY - COMPARATIVE TOPO PRE/POST ROCKERIES

THIS SITE DRAWING SHOWS CONTOURS SURVEYED IN 2013, BEFORE ROCKERIES WERE INSTALLED ON THE NORTH SLOPE OF THE BRENES' PROPERTY AND A COMPARATIVE SET OF CONTOURS SURVEYED AFTER THEIR CONSTRUCTION IN 2018.

THE LOWER ROCKERY WILL BE REMOVED, PER SITE PLAN, AND CONTOURS RETURNED TO PREVIOUS STATE SHOWN HERE FROM 2013.

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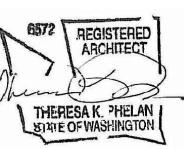
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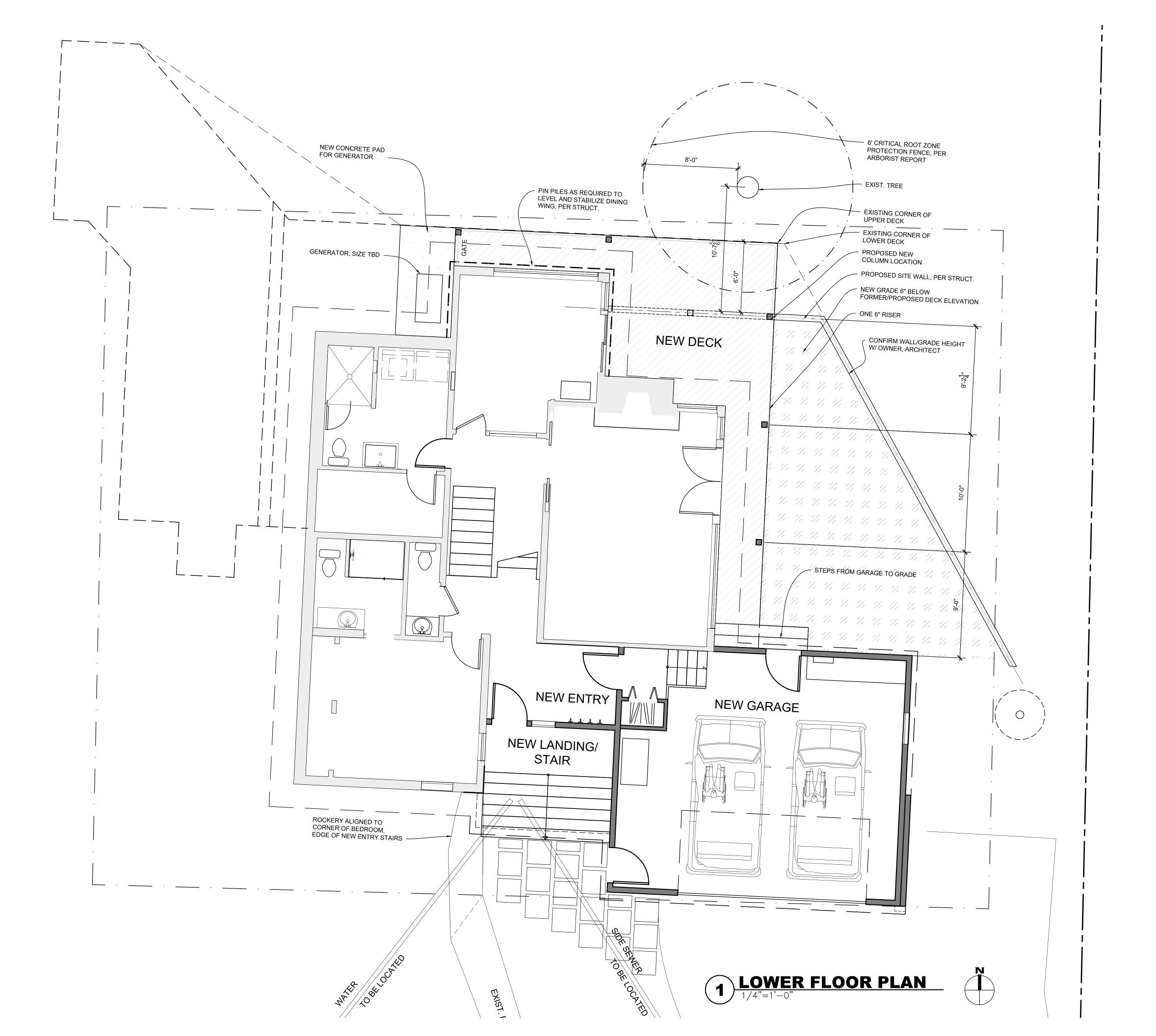


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**COMPARATIVE** SITE SURVEY





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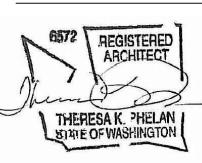
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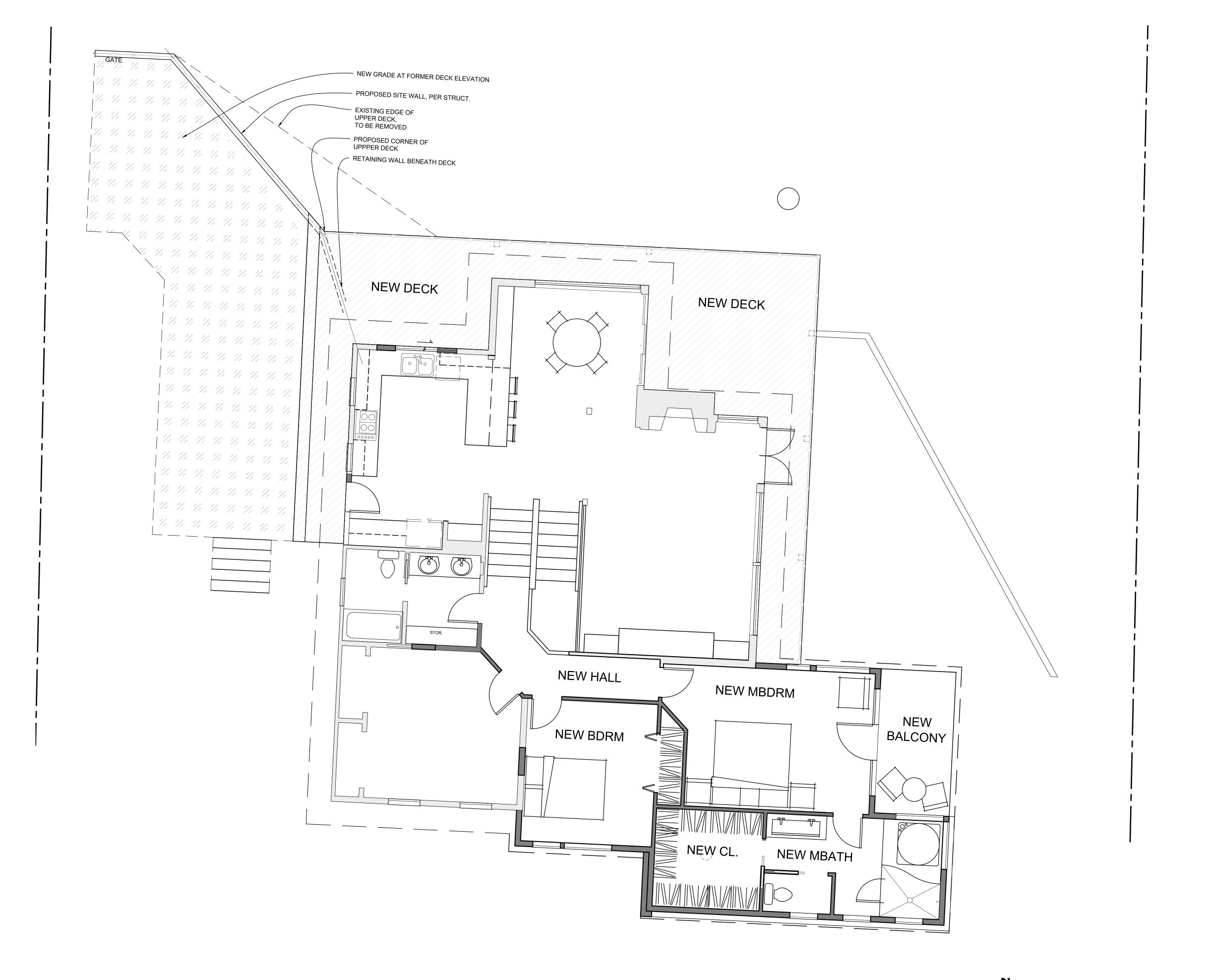
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LOWER FLOOR PLAN

sheet number







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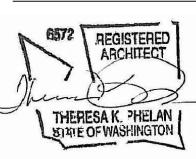
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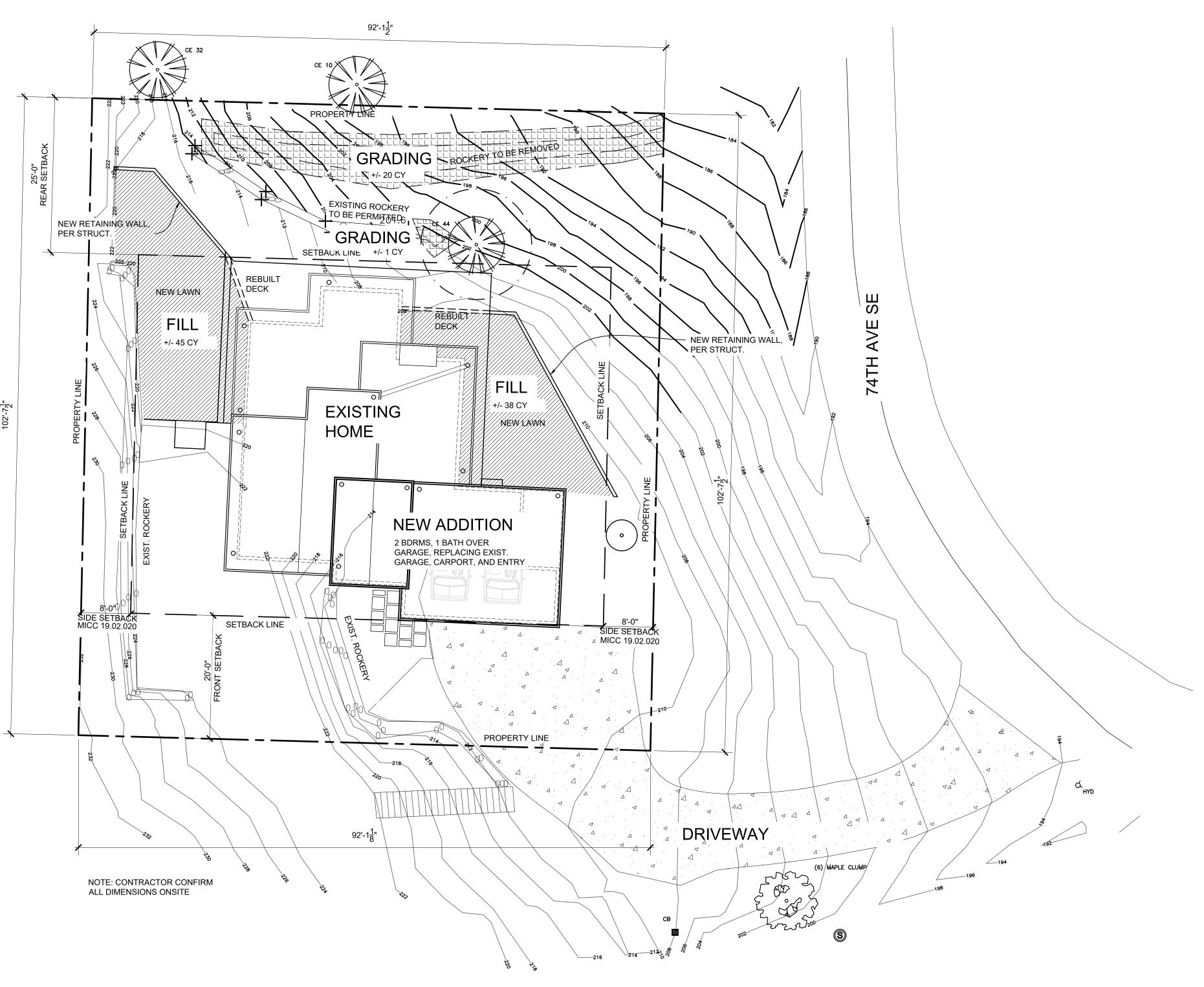
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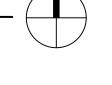
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UPPER FLOOR PLAN

sheet number



# 1 CONCEPT GRADING PLAN 1"=10'-0"



GRADING WILL OCCUR ON NORTH SLOPE OF PROPERTY WHERE LOWER ROCKERY AND A SMALL SECTION OF THE UPPER ROCKERY WILL BE REMOVED. GRADE WILL BE CONTOURED BACK TO ITS ORIGINAL SLOPE, PRE-ROCKERY. ROUGHTLY 21 CUBIC YARDS OF SOIL WILL BE MOVED IN THE PROCESS.

ABOVE THE TWO NEW SITE RETAINING WALLS ROUGHLY 83 CUBIC YARDS OF FILL WILL BE ADDED TO CREATE LEVEL LAWNS WHERE DECKS ONCE STOOD.

LSA

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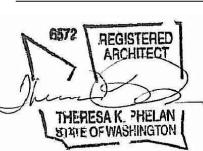
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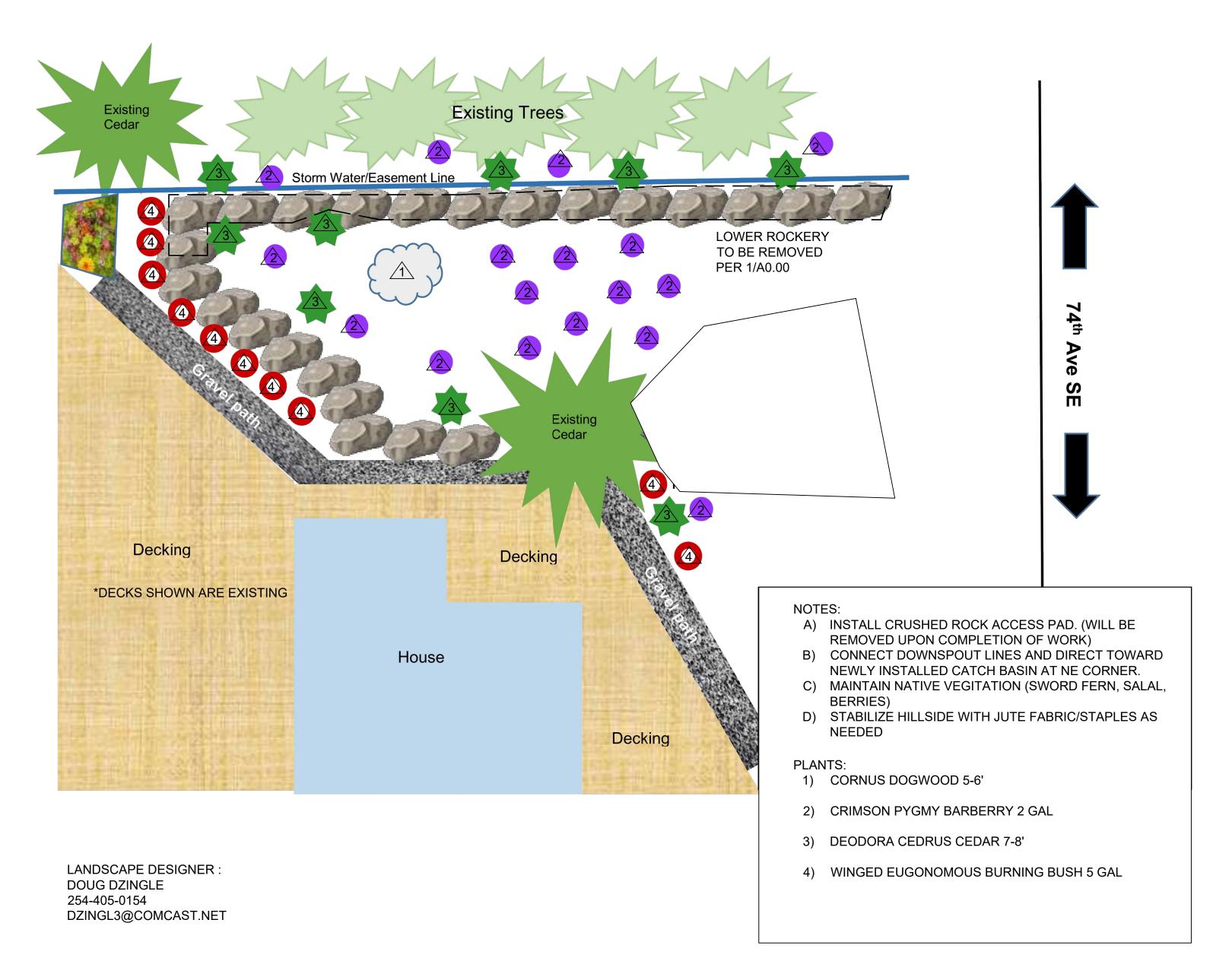
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CONCEPTUAL GRADING PLAN

sheet number







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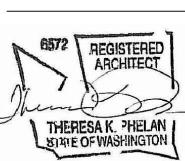
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revisions

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05 July 2019

sheet title

LANDSCAPE **PLAN** 

#### General Structural Notes

#### THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

#### **CRITERIA**

- 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2015 EDITION).
- 2. DESIGN LOADING CRITERIA: HANDRAILS AND GUARDS GUARDRAILS/BALCONY RAILS CONCENTRATED LOAD . . . . . . . . . . . 200 LBS RESIDENTIAL - ONE AND TWO-FAMILY DWELLINGS MISCELLANEOUS LOADS MECHANICAL UNITS . . . . . . . . . WEIGHTS FURNISHED BY MANUFACTURER DEFLECTION CRITERIA LIVE LOAD DEFLECTION . . . . . . . . . . . . . . . . . L/360 TOTAL LOAD DEFLECTION . . . . . . . . . . . . . . . . . L/240 ENVIRONMENTAL LOADS SNOW . . . . . . . . . . . Ce=1.0, Is=1.0, Ct=1.1, Pq=25 PSF, Pf=20 PSF

WIND . . . Kzt=1.0, GCpi=0.18, 110 MPH, RISK CATEGORY II, EXPOSURE "B"

EARTHQUAKE . . . ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE

LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS

SITE CLASS=D, Ss=138, Sds=92, S1=53, SD1=53, Cs=0.142

SDC D, Ie=1.0, R=6.5

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.
- 4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".
- 7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.

# QUALITY ASSURANCE

9. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.

DRIVEN DEEP FOUNDATION

PER TABLE 1705. 7

PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS.

CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.

# GEOTECHNICAL

10. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH OR COMPACTED STRUCTURAL FILL AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

ALLOWABLE SOIL PRESSURE	. 2	500	PS
LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED) 65	PCF	/45	P(
ALLOWABLE PASSIVE EARTH PRESSURE (FS OF 1.5 INCLUDED)		225	Ρ(
COEFFICIENT OF FRICTION (FS OF 1.5 INCLUDED)		(	). (
SEISMIC SURCHARGE PRESSURE (UNIFORM LOAD)		8H	PS
26 DIAMETER PILE CAPACITY (COMPRESSION ONLY)		. 6	K

SOILS REPORT REFERENCE: EARTH SOLUTIONS NW LLC

11. PIN PILES SHOWN ON THE PLAN SHALL BE 2" DIAMETER SCHEDULE 80. THE MAXIMUM CAPACITY OF 2" PILES SHALL BE 3 TONS. ALL PILES SHALL BE DRIVEN TO REFUSAL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. AS A MINIMUM, PILE REFUSAL SHALL BE DEFINED AS 1 INCH OF PENETRATION IN 60 SECONDS DURING CONTINUOUS DRIVING OF A 90 LB JACK HAMMER UNDER THE FULL WEIGHT AND EFFORT OF THE OPERATOR. PILES USED IN COMMON TO RESIST LATERAL EARTH PRESSURES SHALL HAVE THE ADDITIONAL REQUIREMENT OF BEING EMBEDDED A MINIMUM OF 10 FEET BELOW RETAINED GRADE. THE MAXIMUM PILE ECCENTRICITY SHALL BE 2 INCHES. GEOTECHNICAL SPECIAL INSPECTION SHALL BE SUBJECT TO THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND THE BUILDING DEPARTMENT. SEE PLANS FOR OTHER SIZES AND CRITERIA.

#### RENOVATION

- 12. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- 13. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.
- 14. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED.
- A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE. CORNERS SHALL NOT BE OVERCUT.
- B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
- C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING.
  D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DRILL AND EPOXY DOWELS MATCHING THE NEW REINFORCING INTO THE EXISTING CONCRETE WITH 6" EMBED, UNLESS OTHERWISE NOTED ON PLANS.
- 15. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

# CONCRETE

- 16. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2,500
- 17. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.
- 18. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, FY = 40,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE DEFORMED WIRE CONFORMING TO ASTM A615, GRADE 60, FY = 60,000 PSI.
- 19. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
- 20. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

 21. CONCRETE WALL REINFORCING--PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

" WALLS	#4 @ 16 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
" WALLS	#4 @ 12 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
0" WALLS	#4 @ 18 HORIZ.	#4 @ 18 VERTICAL	2 CURTAINS
2" WALLS	#4 @ 16 HORIZ.	#4 @ 18 VERTICAL	2 CURTAINS

- 22. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.
- 23. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM).

### ANCHORAGE

- 24. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.
- 25. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "AT-XP" AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH IAMPO REPORT NO. ER-0281. MINIMUM BASE MATERIAL TEMPERATURE IS 14 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.
- 26. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

#### STE

- 27. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:
- A. AISC 360 AND SECTION 2205.2 OF THE INTERNATIONAL BUILDING CODE.

  B. APRIL 14, 2010 AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES AMENDED AS FOLLOWS: AS NOTED IN THE CONTRACT DOCUMENTS, BY THE DELETION OF PARAGRAPH 4.4.1, AND REVISE REFERENCE FROM "STRUCTURAL DESIGN DRAWINGS" TO "CONTRACT DOCUMENTS" IN PARAGRAPH 3.1.
- C. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.
- 28. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS

TYP	E OF MEMBER	ASIM SPECIFICATION	FY
	WIDE FLANGE SHAPES OTHER SHAPES, PLATES, AND RODS	A992 A36	50 KSI 36 KSI
	OTHER SHAPES AND PLATES (NOTED GRADE 50 ON PLANS)	A572 (GRADE 50)	50 KSI
D.	PIPE COLUMNS	A53 (E OR S, GR.B)	35 KSI
Ε.	STRUCTURAL TUBING	A500 (GR.B) OR ASTM A1085	
	-SQUARE OR RECTANGULAR		46 KSI
	-ROUND		42 KSI

ACTA CDECIFICATION

- F. CONNECTION BOLTS A325-N (3/4" ROUND, UNLESS SHOWN OTHERWISE)
- 29. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- 30. ALL STEEL EXPOSED TO THE WEATHER OR IN CONTACT WITH GROUND SHALL BE CORROSION PROTECTED BY GALVANIZATION OR PROVIDED WITH EXTERIOR PAINT SYSTEM, UNLESS OTHERWISE NOTED.
- 31. SHOP PRIME ALL STEEL EXCEPT:

TYPE OF MEMPER

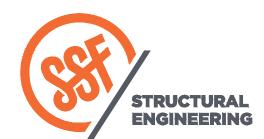
- A. STEEL ENCASED IN CONCRETE.
- B. SURFACES TO BE WELDED.
- C. CONTACT SURFACES AT HIGH-STRENGTH BOLTS.
  D. MEMBERS TO BE GALVANIZED.
- E. MEMBERS WHICH WILL BE CONCEALED BY INTERIOR FINISHES. F. SURFACES TO RECEIVE SPRAYED FIREPROOFING.

G. SURFACES TO RECEIVE OTHER SPECIAL SHOP PRIMERS.

- 32. ALL A-325N CONNECTION BOLTS NEED ONLY BE TIGHTENED TO A SNUG TIGHT CONDITION, DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT
- 33. ALL ANCHORS EMBEDDED IN MASONRY OR CONCRETE SHALL BE A307 HEADED BOLTS OR A36 THREADED ROD WITH AN ASTM 563 HEAVY HEX NUT TACK WELDED ON THE EMBEDDED END.

WRENCH OR THE FULL EFFORT OF AN IRONWORKER USING AN ORDINARY SPUD WRENCH.

34. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES F AND 40 FT - LBS AT 70 DEGREES F, AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.



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DESIGN:

KMR

DRAWN:

NHD

CHECKED:

DJS

APPROVED:

DJS

JURISDICTIONAL APPROVAL STAMP:

DDO IECT TITLE:

2675 74th Ave SE Mercer Island, WA 98040

**Brenes Remodel** 

CHITECT:

Living Shelter Architects,
PLLC
972-A Front Street N
Issaguah, WA 98027

ISSUE:

SHEET TITLE:

PROJECT NO:

PH 425.427.8643

PERMIT —

General Structural Notes

SCALE:

DATE:

May 8, 2019

SHEET NO:

10592-2018-01

#### General Structural Notes

#### THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

### WOOD

35. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD "GRADING RULES FOR WEST COAST LUMBER NO. 17", OR WWPA STANDARD, "WESTERN LUMBER GRADING RULES 2011". FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI

36. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA-EWS CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS TO 3,500' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.

STUDS, PLATES & MISC. FRAMING: DOUGLAS-FIR-LARCH OR HEM-FIR NO. 2

37. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

```
PSL (2.0E) Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSI
LVL (2.0E) Fb = 2600 PSI, E = 2000 KSI, Fv = 285 PSI
LSL (1.55E) Fb = 2325 PSI, E = 1550 KSI, Fv = 310 PSI
```

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

38. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- 39. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.
- 40. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.
- 41. WOOD TREATED FOR FIRE RESISTANCE SHALL MEET THE REQUIREMENTS OF ASTM E 84 OR UL 723 AND HAVE A LISTED FLAME SPREAD INDEX OF 25 OR LESS. FIRE RETARDANT TREATED LUMBER AND WOOD STRUCTURAL PANELS SHALL BE LABELED IN ACCORDANCE WITH IBC 2303. 2. 4. WOOD TREATED FOR FIRE PROTECTION FOR USE IN INTERIOR ABOVE GROUND CONSTRUCTION AND CONTINUOUSLY PROTECTED FROM WEATHER AND OTHER SOURCES OF MOISTURE SHALL BE TREATED TO AWPA UCFA. WOOD TREATED FOR FIRE PROTECTION FOR USE IN EXTERIOR ABOVE GROUND CONSTRUCTION AND SUBJECT TO WETTING OR OTHER SOURCES OF MOISTURE SHALL BE TREATED TO AWPA UCFB.

42. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

CONDITION	PROTECTION
INTERIOR DRY	G90 GALVANIZED
INTERIOR DRY	G185 OR A185 HOT DIPPED OR
	CONTINUOUS HOT-GALVANIZED
	PER ASTM A653
INTERIOR WET	TYPE 304 OR 316 STAINLESS
EXTERIOR	TYPE 304 OR 316 STAINLESS
ANY	TYPE 304 OR 316 STAINLESS
	INTERIOR DRY INTERIOR DRY  INTERIOR WET EXTERIOR

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

43. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

OR BOLTS IN EACH MEMBER.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM)AS MEMBERS CONNECTED.

### 44. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
8d	2-1/2"	0. 131"
16d B0X	3-1/2"	0. 135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

# 45. NOTCHES AND HOLES IN WOOD FRAMING:

- A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.
- B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH
- NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED

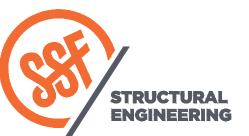
- 46. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AF&PA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER UNLESS OTHERWISE NOTED.



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REVISIONS:				



JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

2675 74th Ave SE Mercer Island, WA 98040

Brenes Remodel

ADCHITECT:

Living Shelter Architects, PLLC 972-A Front Street N Issaguah, WA 98027

PH 425.427.8643

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SHEET TITLE:

General Structural Notes

SCALE:

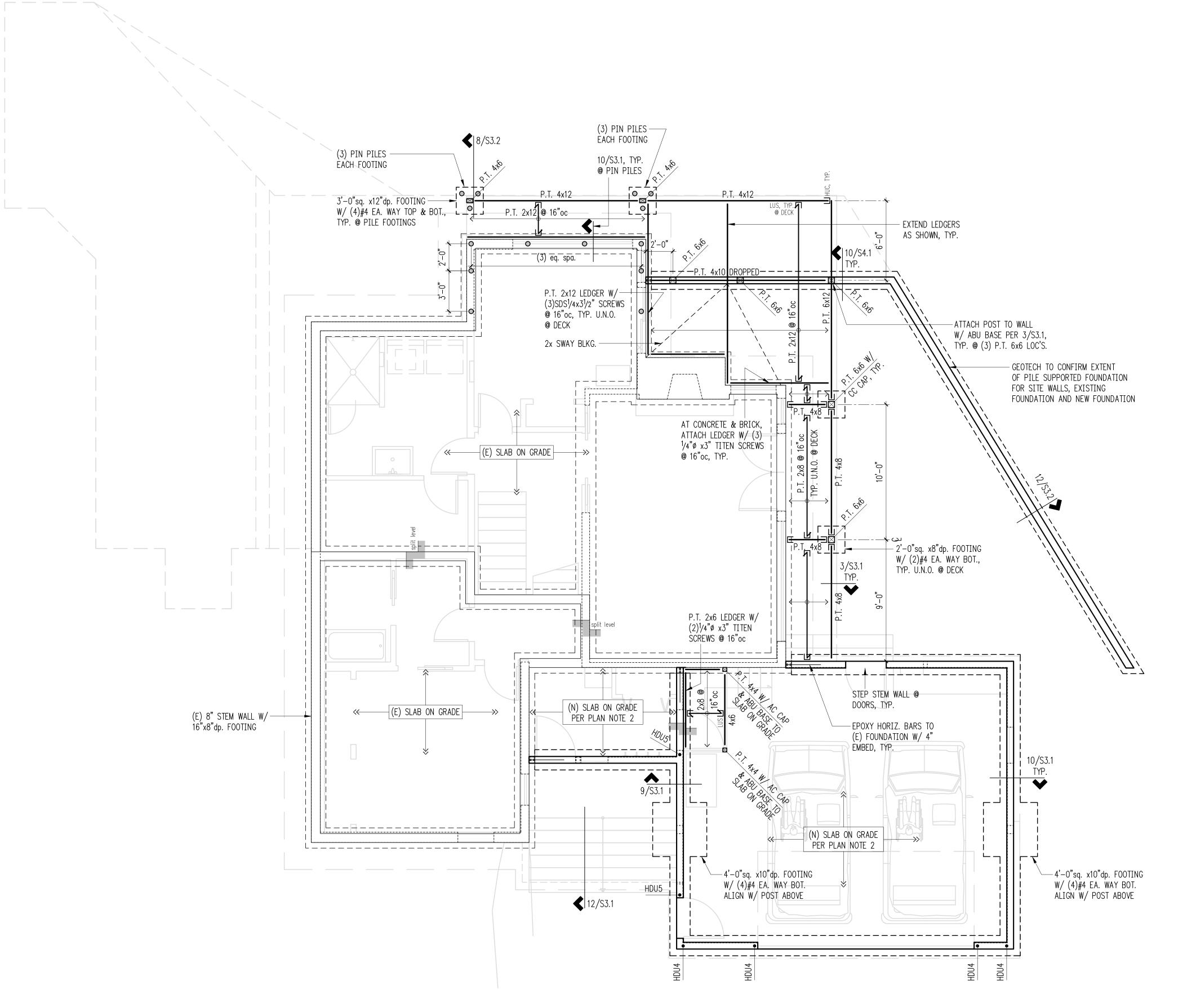
DATE:

May 8, 2019

PROJECT NO:

10592-2018-01 SHEET NO:

\$1.2



### Pin Pile Plan Notes

- 1. INSTALL 2" DIAMETER SCHEDULE 80 "X-STRONG" GALVANIZED PIPE IN SHOWN LOCATIONS PER THE GEOTECHNICAL ENGINEER, (EARTH SOLUTIONS NW, LLC).
- 2. ALL PIN-PILES SHALL BE DRIVEN TO REFUSAL AS DEFINED IN THE GEOTECHNICAL ENGINEER. 1" OF PENETRATION DURING 60 SECONDS OF CONTINUOUS DRIVING WITH STANDARD 90-POUND JACKHAMMER.
- 3. ALL STRUCTURAL FILL OR BACKFILL ADJACENT TO FOOTINGS SHALL BE COMPACTED IN LOOSE LIFTS NOT EXCEEDING 12 INCHES PER THE GEOTECHNICAL ENGINEER
- 4. MINIMUM DEPTH OF FOOTINGS SUPPORTED BY PIN-PILE 1'-0".
- MINIMUM SPACING FOR PILES IN GROUP 12".
- 6. SEE SHEET S3.1, S3.2 AND GEOTECHNICAL REPORT FOR ADDITIONAL NOTES AND

Legend (E) STRUCTURAL WALL OR POST ABOVE NEW STRUCTURAL WALL OR POST ABOVE EXISTING STEM WALL & FOOTING NEW STEM WALL & FOOTING SPAN DIRECTION EXTENT OF JOISTS EXISTING HEADER/BEAM NEW HEADER/BEAM PER PLAN HANGER CHANGE IN ELEVATION HOLDOWN PER 6/S3.1 2"ø PIN PILE PER PLAN & GENERAL STRUCTURAL NOTES. REFER DETAIL 10/S3.2

# Plan Notes

- 1. THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE. 2. TYPICAL NEW SLABS SHALL BE 4" MINIMUM THICKNESS. REINFORCE WITH #3 @ 16" O.C. EACH WAY CENTERED IN SLAB. PROVIDE 6 MIL VAPOR BARRIER BELOW SLAB OVER 4" MINIMUM FREE DRAINING GRAVEL OVER FIRM NATIVE SOILS. VAPOR BARRIER MAY BE OMITTED AT EXTERIOR.
- 3. PROVIDE CORNER BARS PER DETAIL S3.1 AT ALL NEW WALL AND FOOTING
- 4. STEP FOOTINGS AS REQUIRED TO ACCOMMODATE CHANGES IN GRADE PER DETAIL S3.1.
- 5. ALL POST ABOVE SHALL BEAR FULLY ON BEAMS OR POST BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- 6. ALL NEW EXTERIOR WALLS SHALL BE W6 UNLESS NOTED OTHERWISE.
- 7. 5/8" DIAMETER A.B. SPACED PER SHEARWALL SCHEDULE BASE PLATE CONNECTION.
- 8. CONFIRM EXISTING FOUNDATION AND CONCRETE IS FREE FROM CRACKS AND
- 9. DO NOT SCALE THE DRAWINGS REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS.

10. REFER GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Main Floor Framing/Foundation Plan

Scale: 1/4" = 1'-0"





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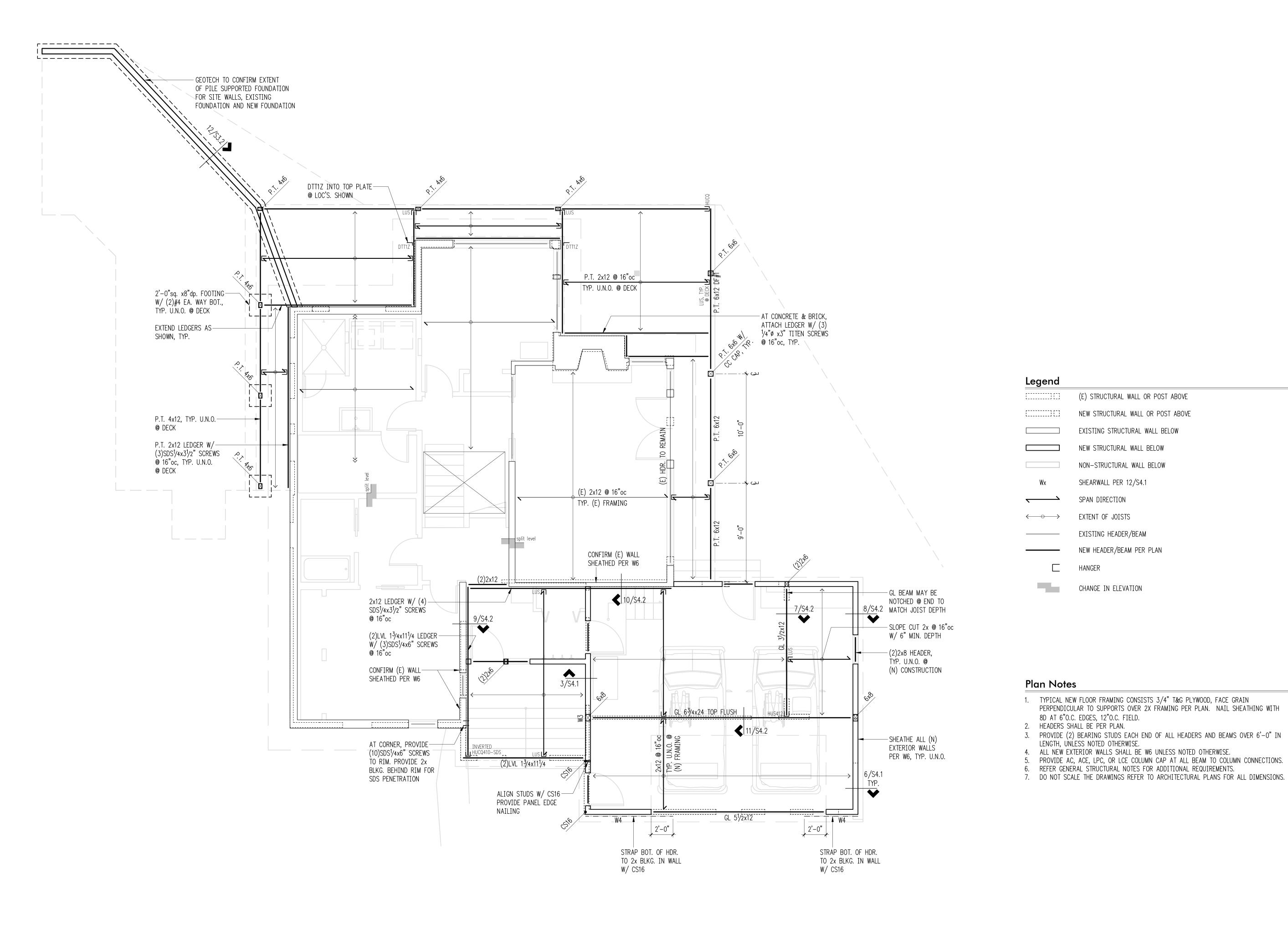
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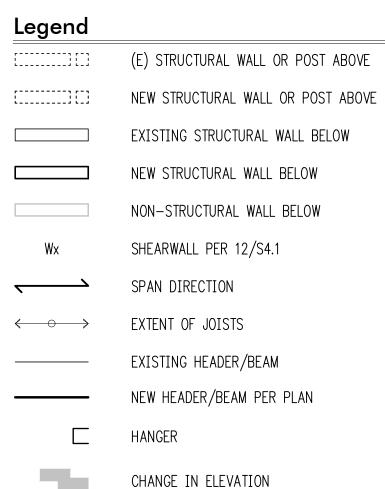
Main Floor Framing/ Foundation Plan

= 1'-0" U.N.O. May 8, 2019

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PROJECT NO:





1. TYPICAL NEW FLOOR FRAMING CONSISTS 3/4" T&G PLYWOOD, FACE GRAIN

4. ALL NEW EXTERIOR WALLS SHALL BE W6 UNLESS NOTED OTHERWISE.

REFER GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

PERPENDICULAR TO SUPPORTS OVER 2X FRAMING PER PLAN. NAIL SHEATHING WITH

PROVIDE (2) BEARING STUDS EACH END OF ALL HEADERS AND BEAMS OVER 6'-0" IN

PROVIDE AC, ACE, LPC, OR LCE COLUMN CAP AT ALL BEAM TO COLUMN CONNECTIONS.

Plan Notes

8D AT 6"O.C. EDGES, 12"O.C. FIELD.

LENGTH, UNLESS NOTED OTHERWISE.

2. HEADERS SHALL BE PER PLAN.



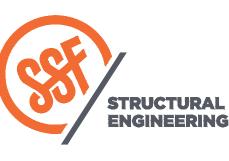
**Upper Floor** Framing Plan

DATE: May 8, 2019 PROJECT NO: 10592-2018-01

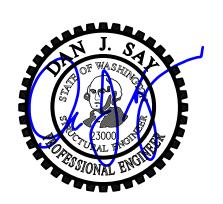
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Upper Floor Framing Plan

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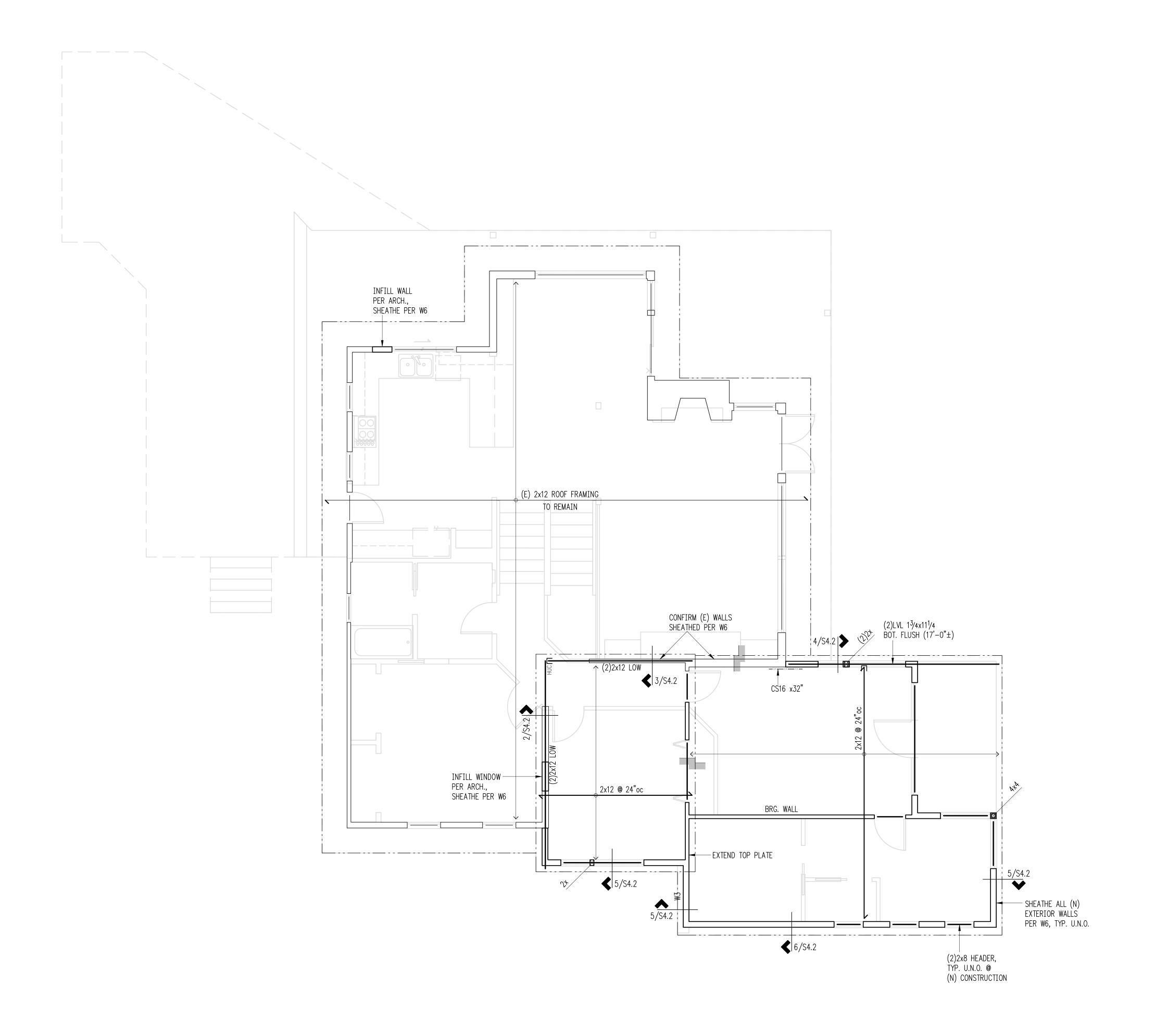
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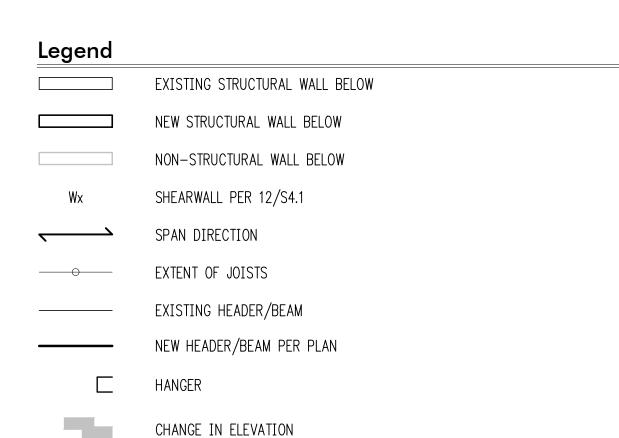
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PLLC 972-A Front Street N Issaquah, WA 98027 PH 425.427.8643

SHEET TITLE:

= 1'-0" U.N.O.





# Plan Notes

- 1. TYPICAL ROOF FRAMING CONSISTS OF 1/2" CDX PLYWOOD, FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING WITH 8D AT 6"O.C. EDGES, 12"O.C. FIELD.
- 2. PROVIDE H1 HURRICANE TIE EACH END OF ALL ROOF RAFTERS.
- 3. HEADERS SHALL BE PER PLAN
- 4. PROVIDE (2) BEARING STUDS EACH END OF ALL HEADERS AND BEAMS OVER 6'-0" IN LENGTH, UNLESS NOTED OTHERWISE.
- 5. ALL NEW EXTERIOR WALLS SHALL BE W6 UNLESS NOTED OTHERWISE.
- 6. PROVIDE AC, ACE, LPC, OR LCE COLUMN CAP AT ALL BEAM TO COLUMN CONNECTIONS. 7. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Roof Framing Plan

Scale: 1/4" = 1'-0"



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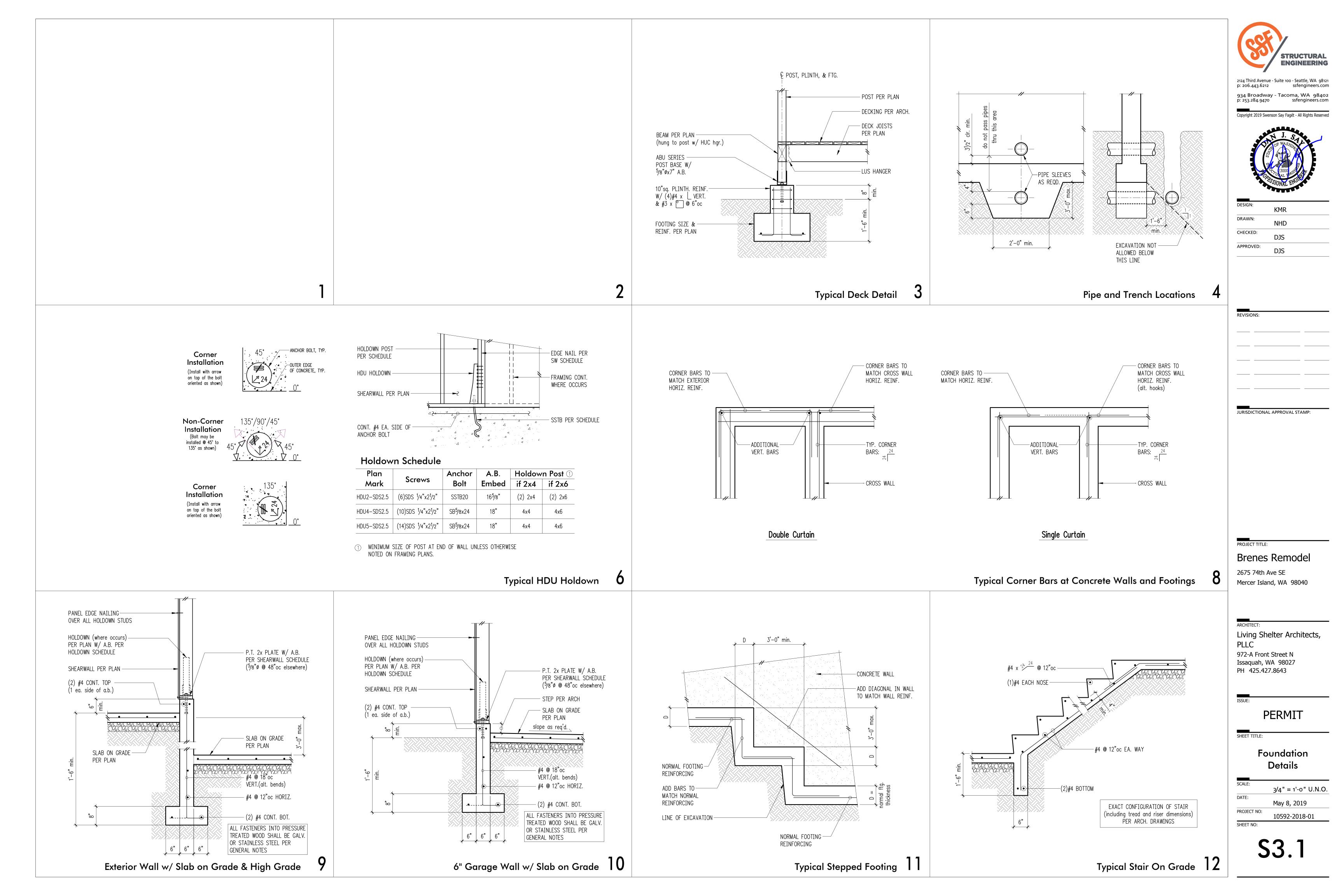
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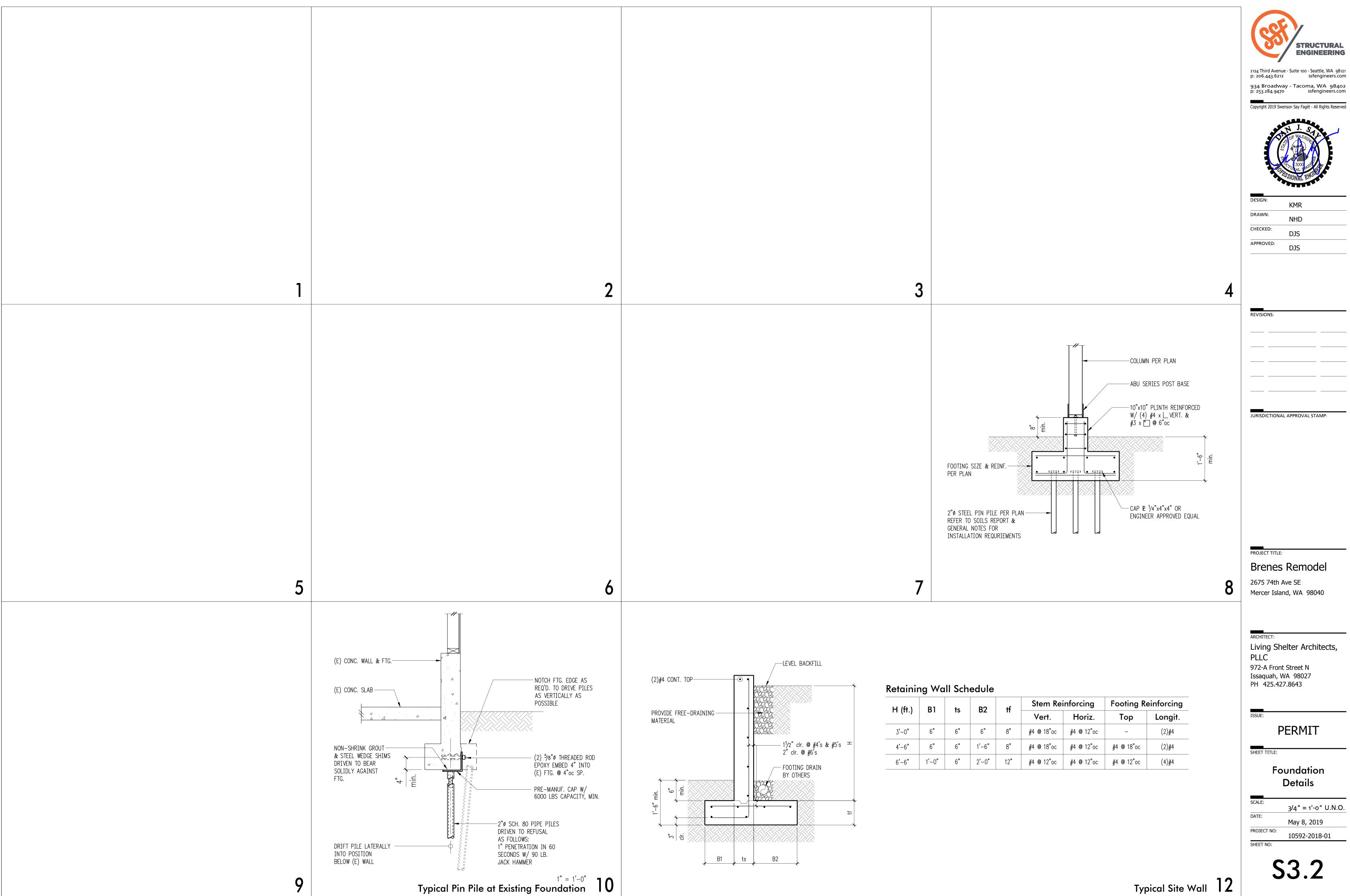
**Roof Framing** Plan

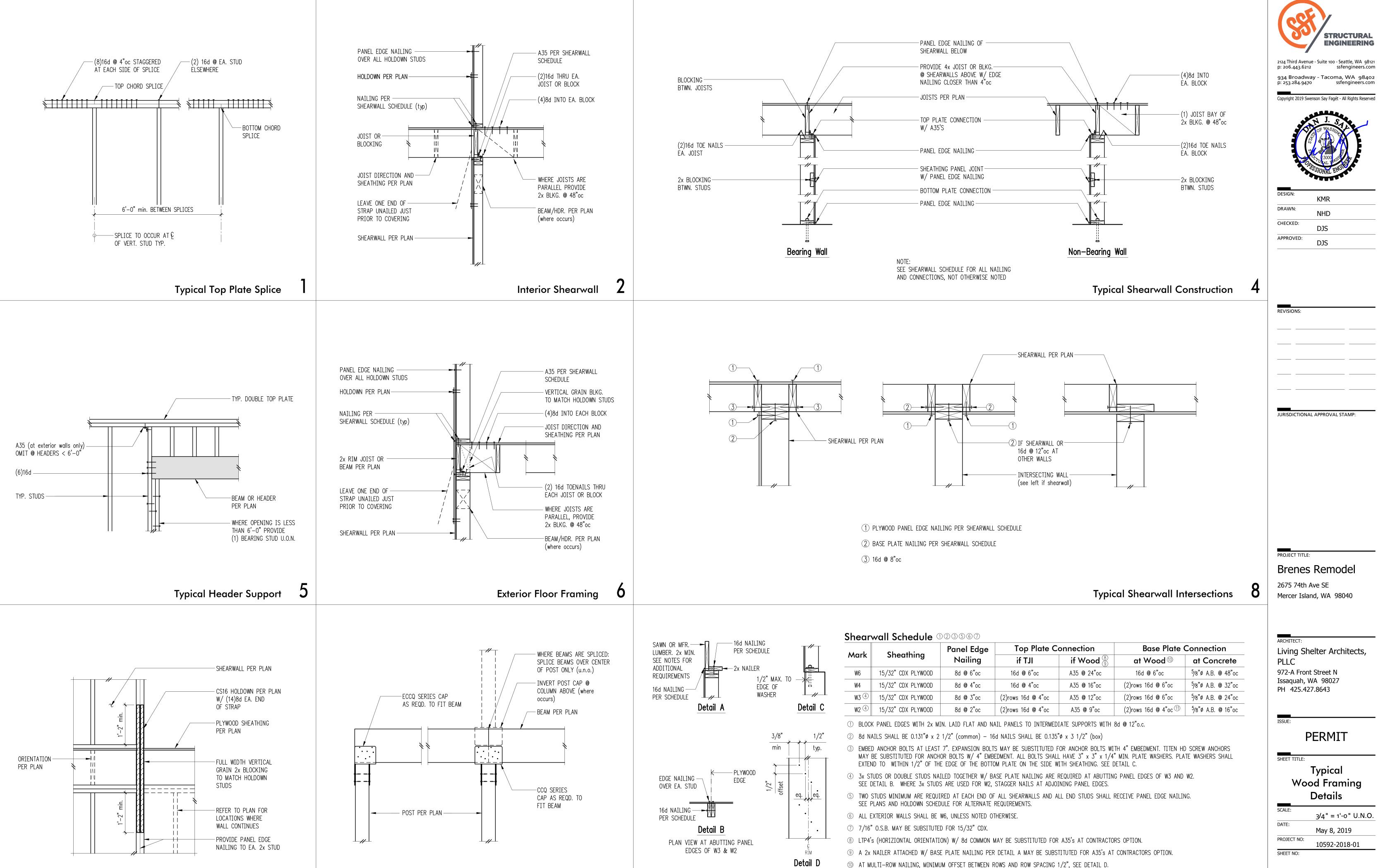
1/4" = 1'-0" U.N.O.

May 8, 2019 PROJECT NO: 10592-2018-01

SHEET NO:







CC/CCQ Series Connection 10

Typical CS16 Holdown

11) PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.

**S4.1** 

Shearwall Schedule - (Sheathed One Side) 12

May 8, 2019

10592-2018-01

**PERMIT** 

**Typical** 

**Details** 

3/4" = 1'-0" U.N.O.

**STRUCTURAL** 

**ENGINEERING** 

DJS

DJS

