

# KNOPF RESIDENCE HILLSIDE IMPROVEMENTS Mercer Island, WA.

## PERMIT SET AUGUST 22, 2019

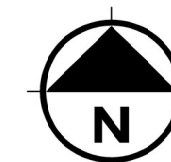
VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING  
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SCALE:	NO	SCALE
CHK BY:	DJ	
DRW BY:	GF	
REF:		



ADDRESS: 9507 SE 43rd STREET, MERCER ISLAND, WA. 98040

VICINITY MAP  
SCALE: NTS



SITE PLAN  
SCALE: NTS



### LEGAL DESCRIPTION

SW ¼ OF NE QUARTER OF SECTION 18T 24N R 05 E W.M.  
PARCEL NO'S: 0046100014, 1824059125, 1824059135,  
0046100011 & 004610TRCT

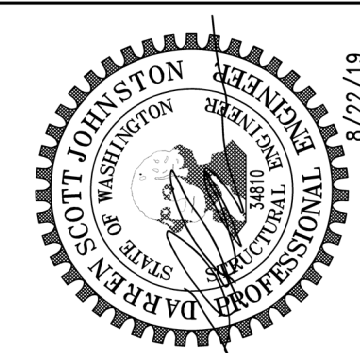
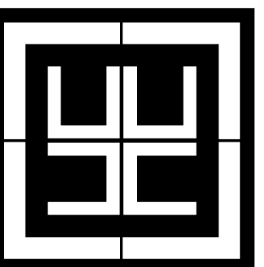
### SHEET INDEX:

- G1 COVER SHEET, VICINITY MAP & DRAWING INDEX
- R1 POST-SLIDE REFERENCE TOPOGRAPHIC PLAN
- C1 CIVIL GENERAL NOTES
- C2 TEMPORARY EROSION & SEDIMENT CONTROL NOTES & DETAILS
- C3 TEMPORARY EROSION & SEDIMENT CONTROL PLAN
- S1 HILLSIDE IMPROVEMENTS PLAN
- S2 HILLSIDE IMPROVEMENTS DETAILS
- S3 HILLSIDE IMPROVEMENTS DETAILS



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KNOPF RESIDENCE  
9507 SE 43rd Street  
MERCER ISLAND WA. 98040  
COVER SHEET,  
VICINITY MAP & DRAWING INDEX

JOB NO. 19023.00

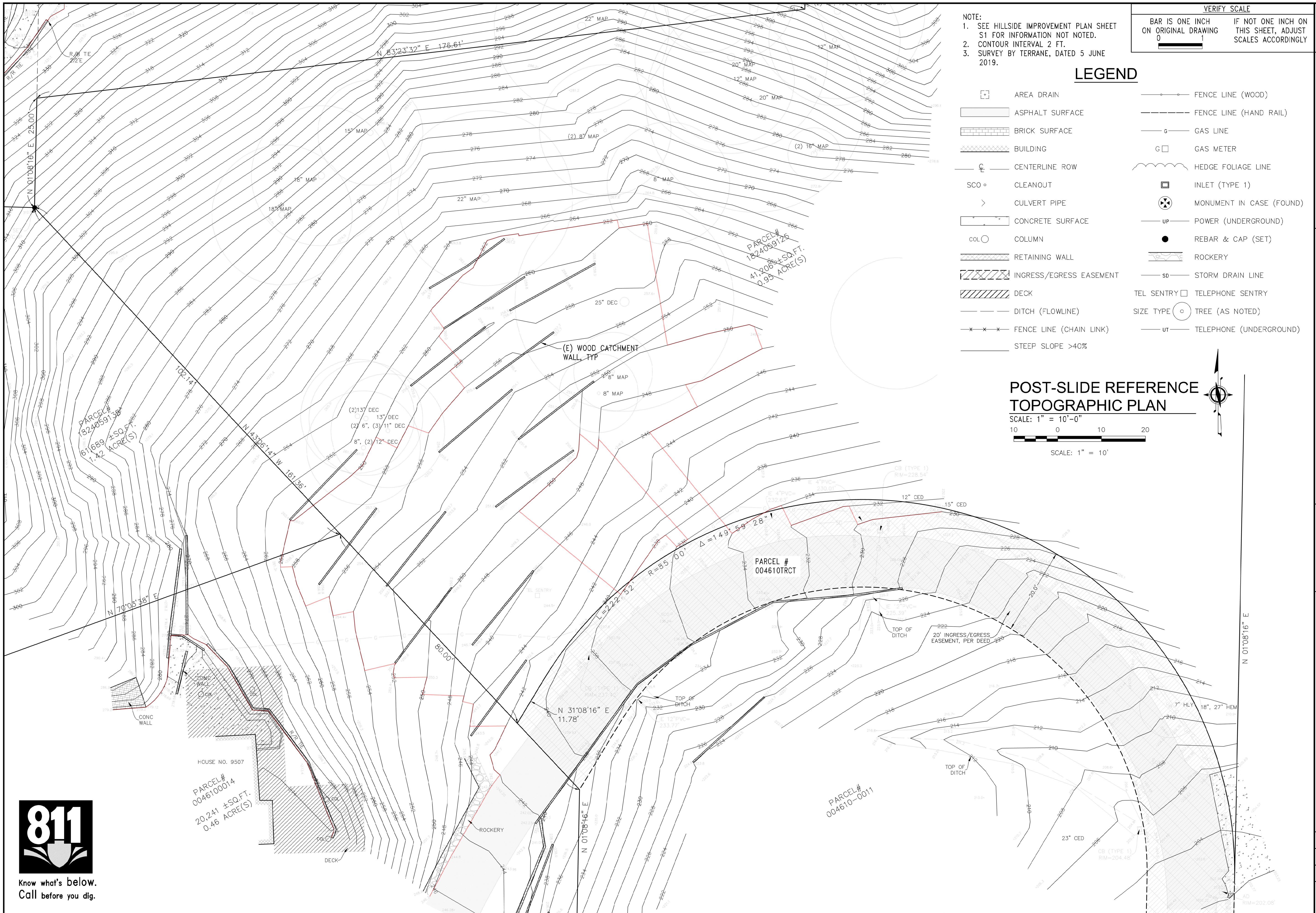
DATE: 8.22.19

SHEET: 1 OF 8

DWG.#

G1

PERMIT SET



NOTE:  
 1. SEE HILLSIDE IMPROVEMENT PLAN SHEET S1 FOR INFORMATION NOT NOTED.  
 2. CONTOUR INTERVAL 2 FT.  
 3. SURVEY BY TERRANE, DATED 5 JUNE 2019.

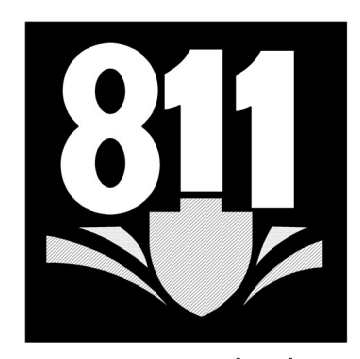
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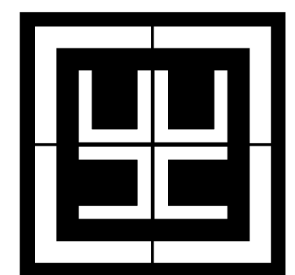
**LEGEND**

- ☐ AREA DRAIN
- ▬ ASPHALT SURFACE
- ▬ BRICK SURFACE
- ▬ BUILDING
- ☐ CENTERLINE ROW
- SCO ° CLEANOUT
- > CULVERT PIPE
- ▬ CONCRETE SURFACE
- COL ○ COLUMN
- ▬ RETAINING WALL
- ▬ INGRESS/EGRESS EASEMENT
- ▬ DECK
- ▬ DITCH (FLOWLINE)
- × × × FENCE LINE (CHAIN LINK)
- ▬ STEEP SLOPE >40%
- FENCE LINE (WOOD)
- — — FENCE LINE (HAND RAIL)
- G — GAS LINE
- G □ GAS METER
- ~ HEDGE FOLIAGE LINE
- ☐ INLET (TYPE 1)
- ⊗ MONUMENT IN CASE (FOUND)
- UP — POWER (UNDERGROUND)
- REBAR & CAP (SET)
- ▬ ROCKERY
- SD — STORM DRAIN LINE
- TEL SENTRY □ TELEPHONE SENTRY
- SIZE TYPE ○ TREE (AS NOTED)
- UT — TELEPHONE (UNDERGROUND)

**POST-SLIDE REFERENCE TOPOGRAPHIC PLAN**

SCALE: 1" = 10'-0"  
 10 0 10 20  
 SCALE: 1" = 10'



SCALE:	AS NOTED	
CHK BY:	DJ	
DRW BY:	GF	
REF:		
DATE	DESCRIPTION	REVISED
<b>HARBOR CONSULTING ENGINEERS</b> ENGINEERS • PLANNERS • SURVEYORS 3316 FUHRMAN AVENUE EAST, SUITE 250 SEATTLE, WASHINGTON 98102 PHONE: (206) 709-2397		
		
<b>KNOPF RESIDENCE</b> 9507 SE 43rd Street MERCER ISLAND WA, 98040 <b>POST-SLIDE REFERENCE TOPOGRAPHIC PLAN</b>		
JOB NO.	19023.00	
DATE:	8.22.19	
SHEET:	2 OF 8	
DWG.#	R1	
	PERMIT SET	

# CIVIL GENERAL NOTES:

- SITE ADDRESS: 9507 SE 43<sup>rd</sup> STREET MERCER ISLAND WA 98040
- ELEVATIONS ARE IN FEET AND ARE REFERRED TO NAVD88
- OWNER WILL OBTAIN AND PAY FOR FEDERAL AND LOCAL ENVIRONMENTAL AND CONSTRUCTION PERMITS. ALL OTHER PERMITS WHICH MAY BE REQUIRED SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR, WHO SHALL COMPLY WITH ALL CONDITIONS OF THESE PERMITS.
- MATERIALS AND INSTALLATION SHALL COMPLY WITH INTERNATIONAL BUILDING CODE, 2015 EDITION, WITH CURRENT LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE CODES, RULES AND REGULATIONS.
- THE GEOTECHNICAL REPORTS ARE DATED JANUARY 13, 2016 AND JANUARY 4, 2019 BY PANGEO. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE ITSELF WITH THE CONTENTS THEREOF AND ALL EARTHWORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE RECOMMENDATIONS OF THESE REPORTS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE STARTING WORK.
- EXISTING UTILITY LINES IN SERVICE OR OTHER SITE FEATURES WHICH ARE DAMAGED DUE TO THE CONTRACTOR'S ACTIONS SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AND SHALL BE INSPECTED AND ACCEPTED BY THE ENGINEER.
- COORDINATE AND ARRANGE FOR ALL UTILITY SERVICE INTERRUPTIONS WITH APPROPRIATE UTILITY AND WITH OWNER.
- ALL DISTURBED AREAS OTHER THAN SPECIFIED CONTRACT WORK AREAS SHALL BE RETURNED TO THEIR PRECONSTRUCTION CONDITION PRIOR TO CONTRACT COMPLETION AND ACCEPTANCE.
- THIS PROJECT IS NOT A BALANCED EARTHWORK PROJECT. BOTH IMPORT AND EXPORT OF SOIL AND ROCK MATERIALS WILL BE REQUIRED.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROL FACILITIES AS REQUIRED TO PREVENT EROSION AND TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL OR PUBLIC DRAINAGE SYSTEM OR ADJACENT WATERS.
- SURVEY INFORMATION AND UNDERGROUND UTILITY LOCATIONS USED IN THE PREPARATION OF THESE DRAWINGS WERE FURNISHED BY OTHERS. HARBOR CONSULTING ENGINEERS DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS OR ACCURACY. LOCATIONS OF EXISTING UTILITIES SHOULD BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF THESE LOCATIONS AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES WHICH MAY BE AFFECTED BY ITS WORK.
- COPIES OF ALL ENVIRONMENTAL PERMITS WILL BE FURNISHED TO THE CONTRACTOR, WHO SHALL COMPLY WITH ALL CONDITIONS OF THESE PERMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF SAFE WORKING CONDITIONS AND SHALL INSTALL AND MAINTAIN SHORING AND BRACING NECESSARY TO PROTECT WORKERS, EXISTING STRUCTURES, UTILITIES AND OTHER IMPROVEMENTS AND EXCAVATIONS AGAINST LOSS OF GROUND OR CAVING EMBANKMENTS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REMOVAL OF SHORING AND BRACING AS REQUIRED.
- THE OWNER'S PREMISES WILL BE OCCUPIED AND IN SERVICE DURING PROCESS OF THE WORK. CONTRACTOR SHALL MINIMIZE THE EFFECTS OF ITS WORK ON NORMAL ACTIVITIES ADJACENT TO THE PROJECT SITE AND SHALL COORDINATE ALL SCHEDULES AND WORK WITH THE OWNER.
- CONSTRUCTION DEBRIS SHALL NOT BE STORED OR BURNED ON SITE. DEBRIS SHALL BE REMOVED DAILY AND SHALL NOT BE ALLOWED TO ENTER THE WATER.
- ALL APPROVED DEVIATIONS FROM THESE PLANS SHALL BE RECORDED ON A SET OF 'AS-BUILT' DRAWINGS, SUBMITTED TO THE OWNER'S REPRESENTATIVE AS THE PROJECT PROGRESSES AND SHALL BE SUMMARIZED ON ONE FULL-SIZE SET OF AS-BUILT REPRODUCIBLE DRAWINGS PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
- A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.

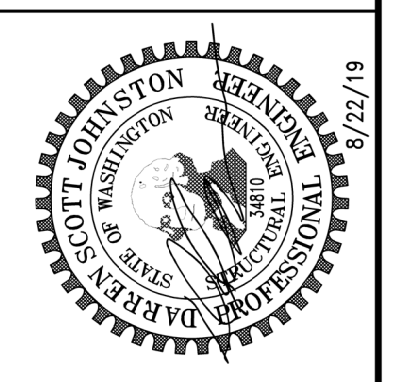
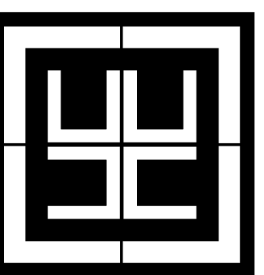
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**CIVIL GENERAL NOTES**

JOB NO.	19023.00
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SHEET:	3 OF 8
DWG.#	C1



LEGEND					
(ALL SYMBOLS MAY NOT BE USED ON THE DRAWINGS)					
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1.	FIRE HYDRANT	18.	INDICATES OBSERVED GROUNDWATER SEEPAGE IN 2017.	32.	30" SD STORM DRAIN LINE WITH SIZE
2.	WATER METER	19.	INDICATES EXISTING CATCH BASIN.	33.	SANITARY SEWER LINE
3.	WATER VALVE W/ VALVE BOX	20.	INDICATES EXISTING CULVERT WITH IDENTIFYING NUMBER BELOW DRIVEWAY.	34.	6" SS SANITARY SEWER LINE WITH SIZE
4.	WATER MANHOLE	21.	INDICATES TECCO MESH INSTALLED ON SLOPES GREATER THAN 60%.	35.	GAS MAIN
5.	MONITORING WELL	22.	EXISTING FEATURES	36.	TREE
6.	ELECTRICAL UTILITY HATCH	23.	PROPOSED FEATURES	37.	+12.94 EXISTING SPOT ELEVATIONS
7.	POWER VAULT	24.	PROPERTY LINE	38.	+12.94 PROPOSED SPOT ELEVATIONS
8.	LIGHT POLE	25.	TELEPHONE CONDUIT	39.	SWALE
9.	GUY WIRE AND ANCHOR	26.	BUILDING	40.	INDICATES: C.O.M.I. MAPPED TYPE 2 PERENNIAL WATER COURSE.
10.	CATCH BASIN	27.	FENCE	41.	INDICATES: R.W. THORPE 2006 SURVEYED TYPE 2 PERENNIAL WATER COURSE.
11.	GAS VALVE	28.	FIRE PROTECTION		
12.	GAS METER	29.	WATER MAIN		
13.	TELEPHONE MANHOLE	30.	UNDERGROUND ELECTRICAL LINE		
14.	SIGN POST	31.	STORM DRAIN LINE		
15.	CONTROL POINT				
16.	INDICATES EXISTING ASPHALT PAVING.				
17.	INDICATES PROPERTY LINE BOUNDARY.				

PERMIT SET

**POST CONSTRUCTION SOIL MANAGEMENT PLAN**

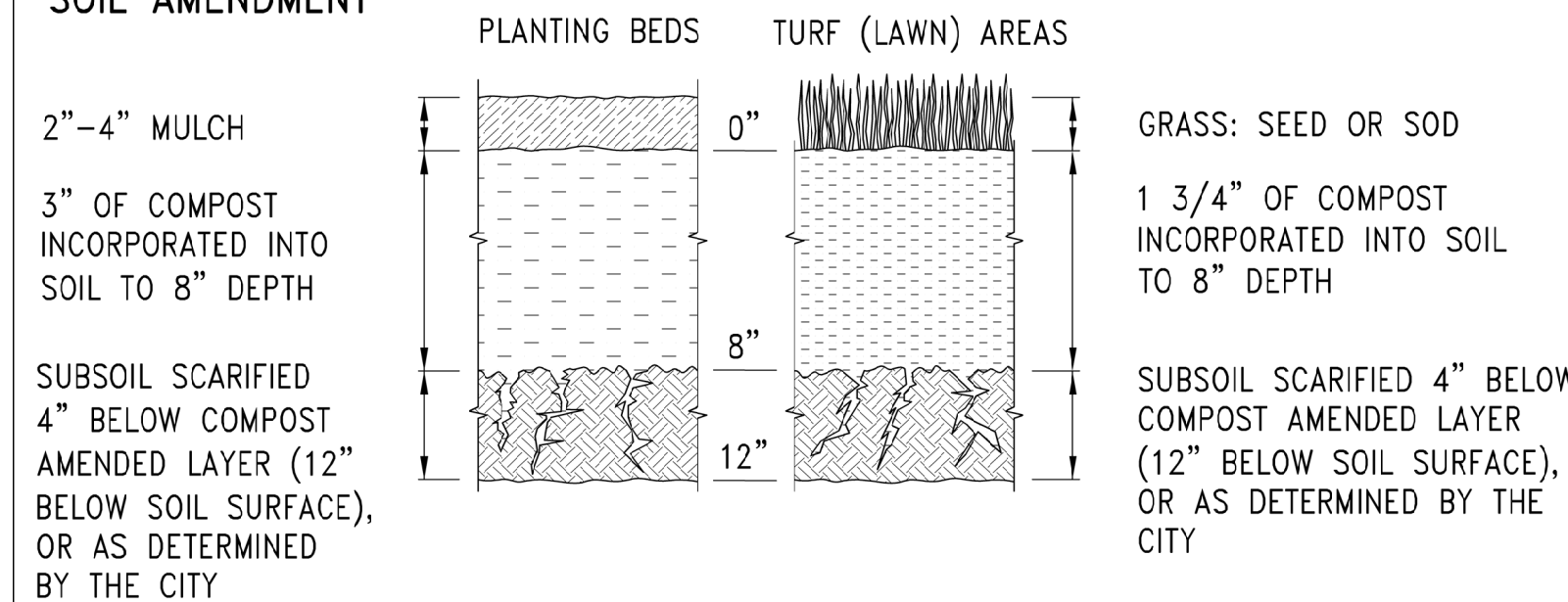
AT THE END OF PROJECT, ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL BELOW AND PROBED TO 12-INCHES AT THE SITE FINAL INSPECTION.

- > LABEL ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE WITHIN THE SITE AS ONE OF THE FOLLOWING: SA (SOIL AMENDMENT AREA) or ND (NON-DISTURBED AREA). SEE DEFINITIONS BELOW.
- > AN ESTIMATE OF THE VOLUME OF COMPOST REQUIRED IS AUTOMATICALLY CALCULATED ON THE SITE AND DRAINAGE CONTROL SUMMARY SHEET REQUIRED ON THE DRAINAGE AND WASTEWATER CONTROL PLAN (DWC PLAN). THE ACTUAL VOLUME OF COMPOST REQUIRED WILL BE DETERMINED IN THE FIELD.

**DEFINITIONS:**

- **NON-DISTURBED AREA:** VEGETATED AREAS THAT WILL NOT BE SUBJECT TO LAND DISTURBING ACTIVITY DO NOT REQUIRE SOIL AMENDMENT IF THEY ARE FENCED AND CONTINUOUSLY PROTECTED THROUGHOUT CONSTRUCTION. THE FENCING MUST BE IN PLACE AT THE FIRST GROUND DISTURBANCE INSPECTION. THIS WILL BE MONITORED BY THE BUILDING DEPARTMENT SITE INSPECTOR. NO DISTURBANCE, INCLUDING VEHICLE TRAFFIC OR MATERIAL STORAGE, IS ALLOWED IN THESE AREAS UNTIL FINAL INSPECTION. LABEL THESE AREAS AS (ND) IN THE PLAN VIEW.
- **SOIL AMENDMENT AREA (SA):** VEGETATED OR COMPOST AREAS (TURF AND LANDSCAPE) MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL AND THE SUBSOIL MUST BE LOOSENEED SO IT WILL PROBE TO A DEPTH OF 12 INCHES PRIOR TO SITE FINAL INSPECTION. THIS INCLUDES AREAS IMPACTED BY CLEARING AND GRADING, STOCKPILING, SITE ACCESS, PATHWAYS AND MATERIALS OR EQUIPMENT STORAGE. LABEL THESE AREAS AS (SA) IN THE PLAN VIEW.

**SOIL AMENDMENT**



**NOTES:**

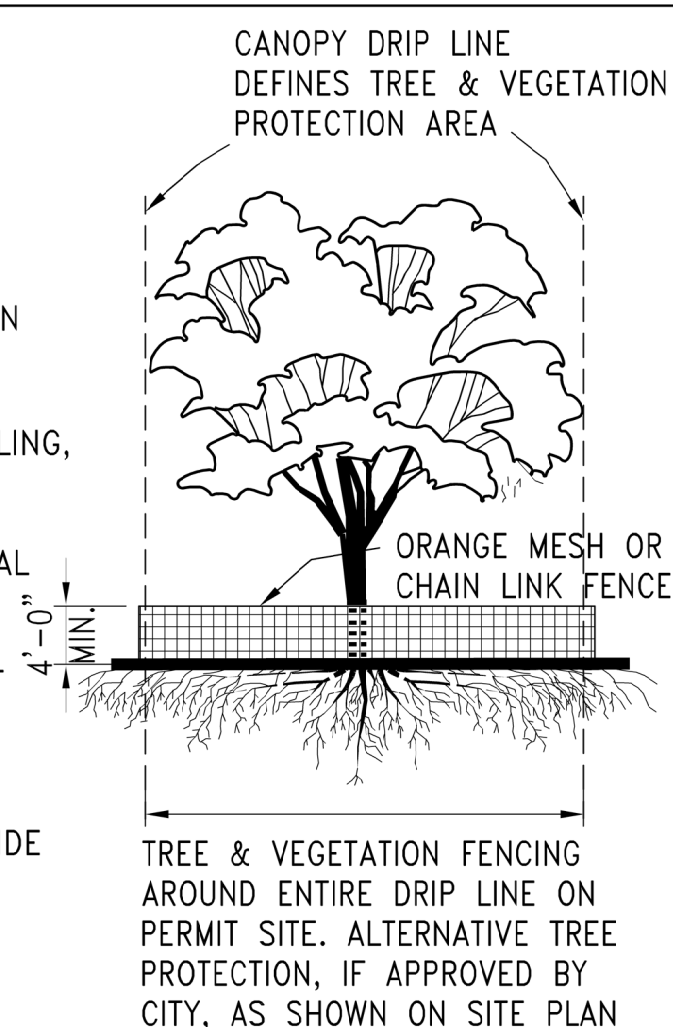
1. POST CONSTRUCTION SOIL AMENDMENT IS REQUIRED ON ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE WHERE SOIL IS DISTURBED DURING CONSTRUCTION.
2. SOIL AMENDMENT MUST PASS A 12 INCH MINIMUM PROBE TEST.

SYMBOL: (SA) AREA REQUIRING SOIL AMENDMENT (ND) NON-DISTURBED AREA (SOIL AMENDMENT NOT REQUIRED)

**TREE & VEGETATION PROTECTION**

**TREE PROTECTION FENCING**

1. MUST BE INSTALLED PRIOR TO DEMOLITION OR GROUND DISTURBANCE
2. KEPT IN PLACE FOR THE DURATION OF CONSTRUCTION
3. NO SOIL DISTURBANCE OR ACTIVITY ALLOWED WITHIN FENCED AREA, SUCH AS MATERIAL STORAGE/STOCKPILING, PARKING, EXCAVATION, DUMPING, OR WASHING
4. MODIFICATIONS OF THESE REQUIREMENTS BY APPROVAL OF BUILDING DEPARTMENT PLANNER ONLY
5. IF ROOTS GREATER THAN 2 INCH FOUND OUTSIDE OF FENCING, PROTECT BY HAND EXCAVATION AND, IF NECESSARY, CUT CLEANLY AND KEEP MOIST
6. USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS

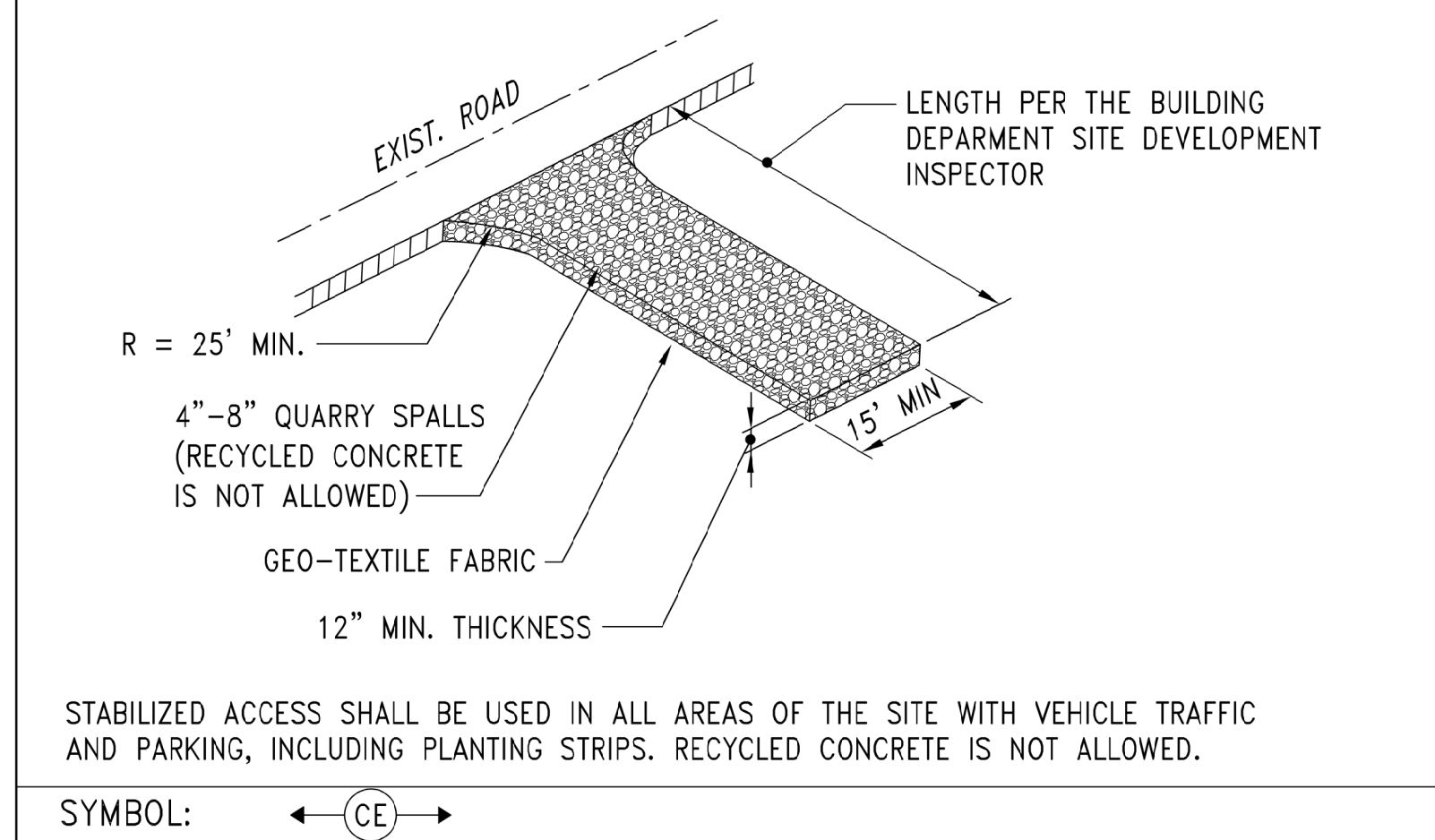


**VEGETATION PROTECTION**

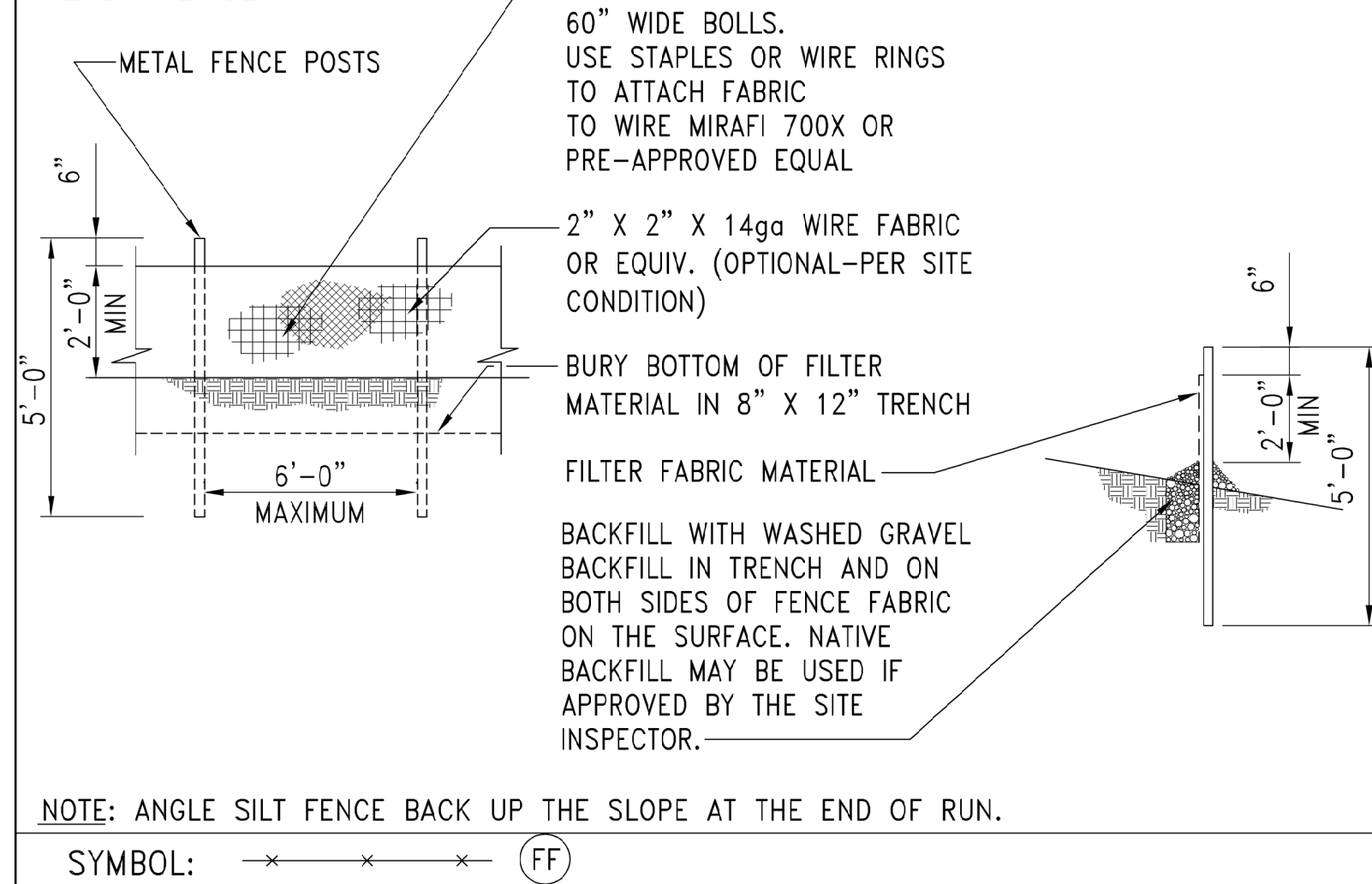
1. MINIMIZE CONSTRUCTION ZONE
2. PROTECT VEGETATION OUTSIDE CONSTRUCTION ZONE WITH FENCING AS SHOWN
3. USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS

SYMBOL: (VEG) LINK TO MORE TREE PROTECTION INFORMATION:

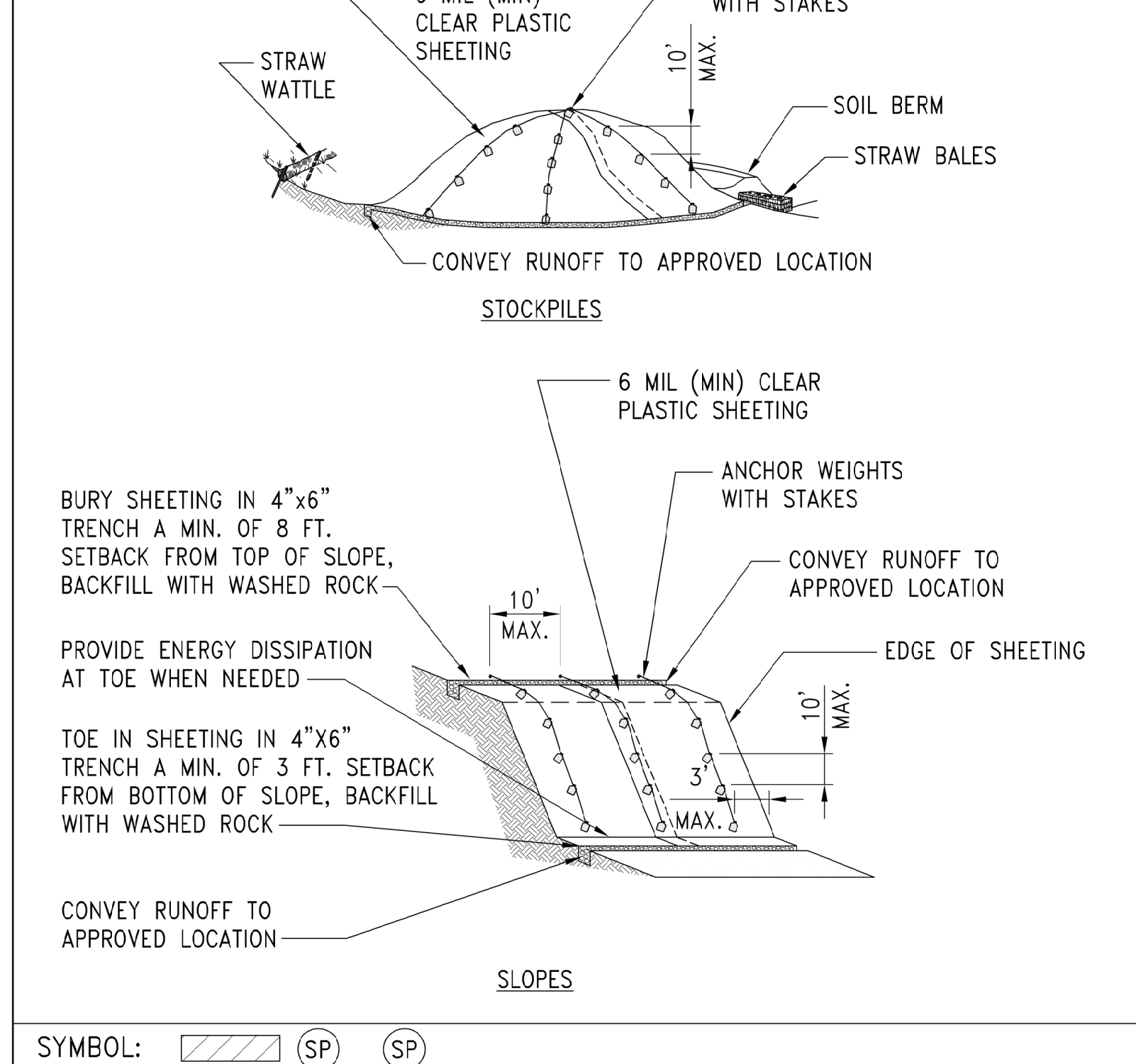
**STABILIZED CONSTRUCTION ACCESS**



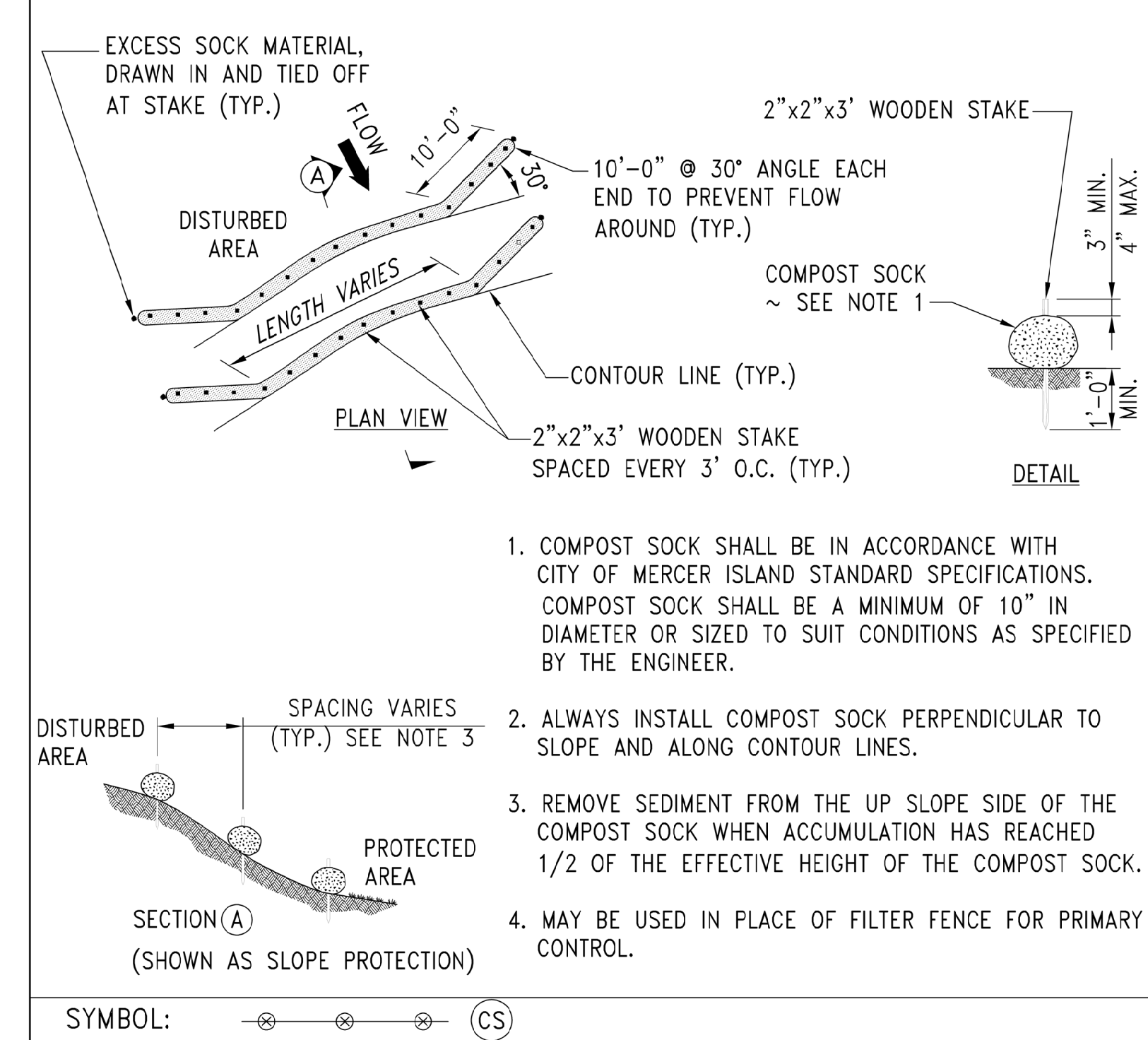
**FILTER FENCE**



**STOCKPILE AND EXPOSED SLOPE COVERING**



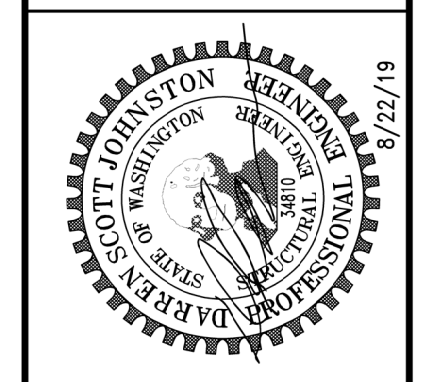
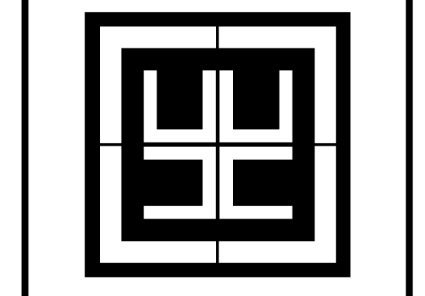
**COMPOST SOCK**



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**TEMPORARY EROSION & SEDIMENT CONTROL NOTES & DETAILS**

JOB NO. 19023.00  
 DATE: 8.22.19  
 SHEET: 4 OF 8  
 DWG.# C2



PERMIT SET