

1 VICINITY PLAN

SCALE: NTS



Mercer Grove House

- GENERAL NOTES:**
- ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE FOLLOWING APPLICABLE CODES USED IN THE DESIGN:
 - 2018 INTERNATIONAL RESIDENTIAL CODE
 - 2018 WASHINGTON STATE ENERGY CODE
 - 2018 IRC M1508 WHOLE HOUSE VENTILATION
 - CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED IN FIELD.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES REQUIRED TO PERFORM THE WORK.
 - DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.
 - ALL WOOD PLATES IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE. PROVIDE 2 LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC. AND CONCRETE OR MASONRY.
 - ALL FASTENERS AND CONNECTORS THAT ARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED WITH A MINIMUM COATING OF G90 PER ASTM A123 AND/OR ASTM A153.304. 316 STAINLESS STEEL MAY BE SUBSTITUTED IN LIEU OF GALVANIZED PRODUCTS. NO STAINLESS STEEL PRODUCTS SHALL COME IN CONTACT WITH GALVANIZED PRODUCTS.
 - SECURITY FROM CRIMINAL ACTIVITY: DEAD BOLT (MIN 1/2" THROW) AND VIEWPOINT REQUIRED @ ALL EXTERIOR DOORS. WINDOW AND SLIDING DOORS WITHIN 10' OF GRADE SHALL BE PROVIDED WITH LATCHING DEVICES. ALL LOCKS SHALL BE ABLE TO BE OPENED WITHOUT SPECIAL KNOWLEDGE OR EFFORT.
 - CONSTRUCTION EROSION CONTROL MEASURES MUST BE IN PLACE AND APPROVED BY CITY JURISDICTION PRIOR TO ANY EARTH DISTURBANCE.
 - NO SEDIMENT SHALL BE TRACED INTO THE STREET OR ONTO PAVED SURFACES. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT PRIOR TO LEAVING THE SITE. IN THE EVENT OF FAILURE OF EROSION CONTROL SYSTEM RESULTING IN SEDIMENT BEING TRACKED ONTO PAVED SURFACES, CONTRACTOR SHALL IMMEDIATELY IMPLEMENT MEASURES TO CORRECT THE SITUATION, AND STREET SWEEPING SHALL BE EMPLOYED ON AN EMERGENCY BASIS. IF STREET SWEEPING VEHICLES ARE UTILIZED THEY SHALL BE OF THE TYPE THAT ACTUALLY REMOVES SEDIMENT FROM THE PAVEMENT.
 - LEGAL COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS ARE THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR.

OWNER:
 PAUL BOSVELD + YUSHAN LIN
 1421 36TH AVE S
 SEATTLE, WA 98144
 954.918.6271
 CONTACT: PAUL BOSVELD
 PAULBOSVELD@GMAIL.COM

ARCHITECT:
 WITTMAN ESTES
 6007 12TH AVE S
 SEATTLE, WA 98108
 206.735.7170
 CONTACT: MATT WITTMAN, AIA
 MATT@WITTMAN-ESTES.COM

STRUCTURAL ENGINEER:
 J WELCH ENGINEERING, LLC
 JOSH WELCH, SE
 PO BOX #28427
 SEATTLE, WA 98118
 206.356.9553
 JOSHTWELCH@GMAIL.COM

CIVIL ENGINEER:
 G2 CIVIL + LITCHFIELD ENGINEERING
 1375 NW MALL ST, SUITE 3
 ISSAQUAH, WA 98027
 CONTACT: NICOLE MECUM, PE
 NICOLEM@G2CIVIL.COM
 425.821.5038 (MAIN)
 425.364.5284 (DIRECT)

PROJECT DATA

PARCEL # 362350-0037

ADDRESS:
 38XX WEST MERCER WAY
 MERCER ISLAND, WA 98040

ZONE: R-15

LOT AREA: 24,138 SF (0.55 ACRES)

LEGAL DESCRIPTION:
 ISLAND PARK REPLAT OF W 100 FT MEAS
 ALG N LN & POR VAC ST ADJ E OF W LN PROD S

PROJECT DESCRIPTION:
 CONSTRUCTION OF NEW SINGLE FAMILY HOME
 WITH DETACHED CARPORT

BUILDING AREA SUMMARY:
 1F (HEATED): 832 SF
 2F (HEATED): 1321 SF
 3F (HEATED): 965 SF
 CARPORT (UNHEATED): 671 SF

HEATED AREA: 3118 SF
TOTAL AREA: 3789 SF

MIMC 19.02.020.E HEIGHT LIMITS
 MAX. BUILDING ELEVATION ALLOWED: 30'-0"
 BUILDING ELEVATION PROVIDED: 29'-11"
 (SEE BUILDING SECTIONS FOR HEIGHTS)

MAX. HEIGHT OF DOWNHILL FACADE: 30'-0"
 DOWNHILL FACADE HEIGHT PROVIDED: 26'-10"
 (SEE BUILDING SECTIONS FOR HEIGHTS)

AVERAGE GRADE: SEE A0.3 AVERAGE GRADE
 CALCULATIONS AND BUILDING ELEVATIONS

MIMC 19.02.020.C.1 REQUIRED YARDS

FRONT:
 REQUIRED: 20'-0", PROVIDED: 47'-11"

SIDES:
 REQUIRED: 17'-0" NET, 7'-6" WEST, 10'-0" EAST
 PROVIDED: 47'-0" NET, 37'-0" WEST, 10'-2" EAST

REAR:
 REQUIRED 25'-0", PROVIDED: 116'-3"

MIMC 19.02.060 LOT COVERAGE
 ALLOWABLE: 35% OF 24138 SF = 8448.3 SF
 ACTUAL: 2548.9 SF

MIMC 19.020.G.2 PARKING REQUIRED
 REQUIRED: 2 CARS
 PROVIDED: 2 CARS (CARPORT)

MIMC 19.02.020.F.3 LOT COVERAGE
 THE MAXIMUM LOT COVERAGE FOR A LOT SLOPE OF
 15% - 30% SHALL BE 35% THE LOT COVERAGE IS THE
 AREA OF A RESIDENTIAL ZONED LOT THAT IS COVERED
 BY BUILDINGS, EAVES, ROOF OVERHANGS, AND
 VEHICULAR DRIVING SURFACES.

LOT SLOPE = 26%
MAXIMUM LOT COVERAGE = 35%
LOT AREA = 24,138 SF
(.35) 24,138 SF = 8448 SF MAXIMUM LOT COVERAGE
PROPOSED LOT COVERAGE = 3273 SF
3273 SF LOT COVERAGE < 8448 SF MAX. LOT COVERAGE
REQUIREMENT IS MET.

MICC 19.02.020.D.1 GROSS FLOOR AREA
 FOR R-15 LOTS, THE GROSS FLOOR AREA SHALL NOT
 EXCEED 12,000 SF OR 40% OF THE LOT AREA,
 WHICHEVER IS LESS.

(0.40) 24,138 = 9655 SF MAX GROSS FLOOR AREA

1F: 945 SF
2F: 1810 SF + 46 SF
3F: 1051 SF
CARPORT: 651 SF
GROSS FLOOR AREA: 4504 SF (REQUIREMENT IS MET.)

MIMC 19.02.060.B IMPERVIOUS SURFACES
 THE TOTAL PERCENTAGE OF A LOT THAT
 CAN BE COVERED BY IMPERVIOUS
 SURFACES IS LIMITED BY THE SLOPE OF
 THE LOT FOR ALL SINGLE FAMILY ZONES
 AS FOLLOWS:

IF THE LOT SLOPE IS 15% TO 30%, THE
 MAXIMUM AREA OF IMPERVIOUS
 SURFACES IS 35% OF THE LOT AREA.

LOT SLOPE = 26%
LOT AREA = 24,138 SF
LIMIT OF IMPERVIOUS SURFACES =
(.35) 24,138 SF = 4884 SF

TOTAL IMPERVIOUS SURFACES INCLUDING
BUILDINGS, EAVES DRIVEWAYS, PARKING
AREAS, SIDEWALKS, AND OTHER HARD
SURFACES WHICH RETARD THE ENTRY OF
WATER INTO THE SOIL MANTLE = 3273 SF

3273 SF < 4884 SF
REQUIREMENT IS MET.

SHEET INDEX:

A0.0 COVER SHEET
 SURVEY

CIVIL
 C1.0 CONCEPTUAL SITE PLAN
 C2.0 TREE RETENTION PLAN

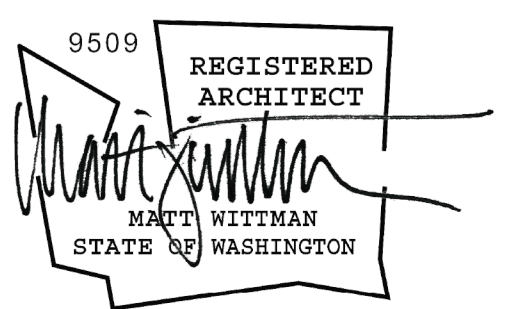
LANDSCAPE
 L1.0 ENLARGED LANDSCAPE PLAN

ARCHITECTURAL
 A0.1 SITE PLAN
 A0.2 SITE DISTURBANCE PLAN
 A0.3 AVERAGE GRADE CALCULATIONS
 A0.4 ENLARGED EXCAVATION PLAN

A1.0 FLOOR PLAN - 1F
 A1.1 FLOOR PLAN - 2F
 A1.2 FLOOR PLAN - 3F
 A1.3 ROOF PLAN

A2.0 EXTERIOR ELEVATIONS
 A2.1 EXTERIOR ELEVATIONS

A3.0 SECTIONS
 A3.1 SECTIONS
 A3.2 SECTIONS
 A3.4 SECTIONS
 A3.5 SECTIONS



2014
**Mercer
 Grove**

38XX W MERCER WAY
 MERCER ISLAND, WA 98040

TPN #3623500037

CAR2 APPLICATION
 ISSUE DATE: 09/20/2021

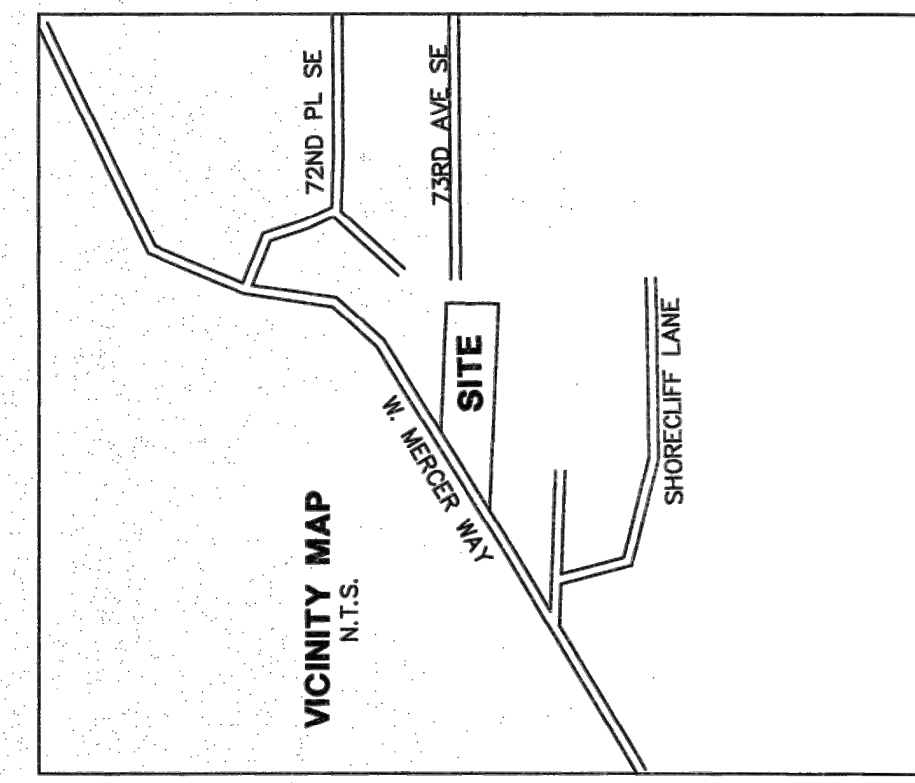
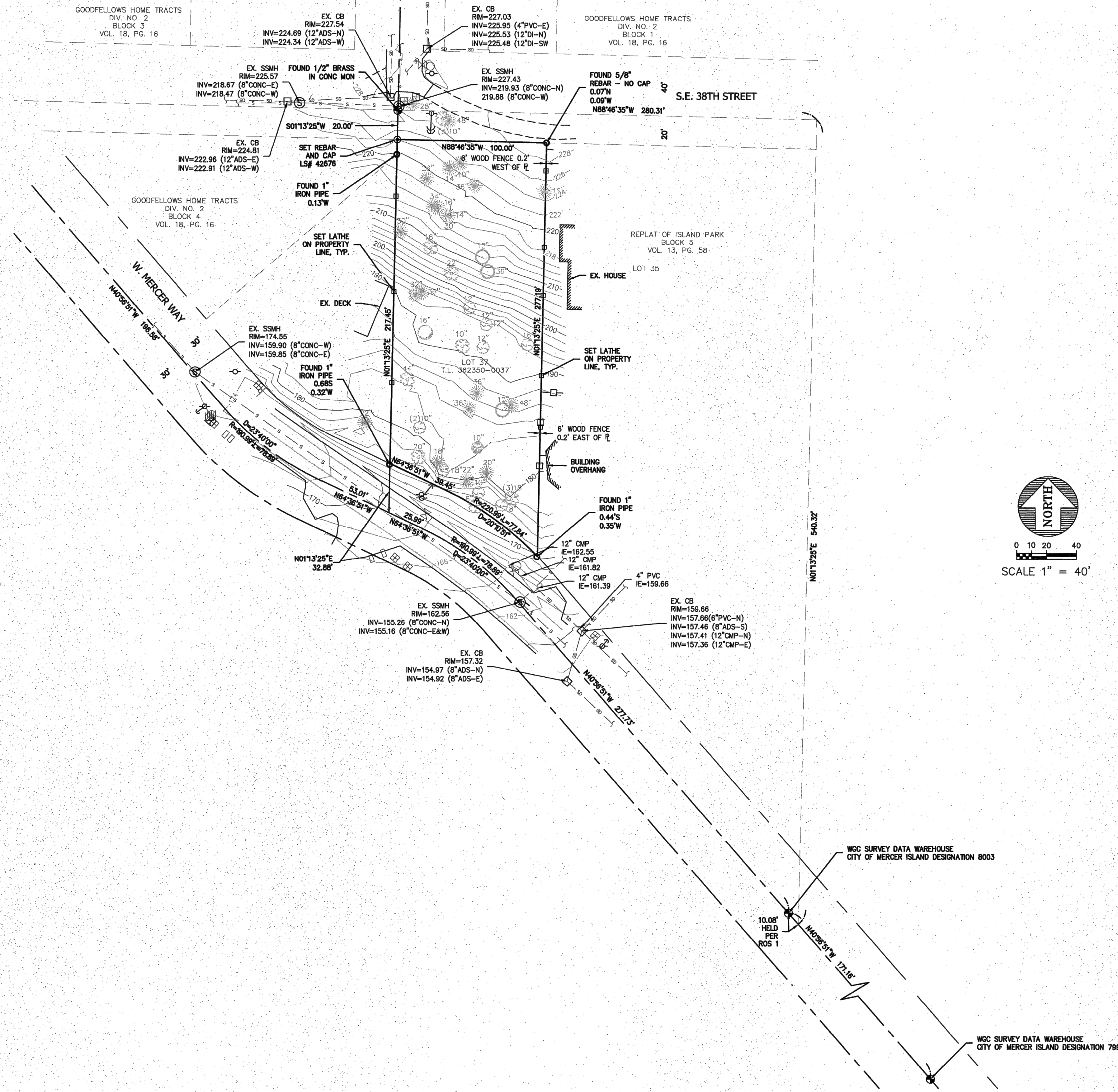
NO.	ISSUE	DATE

DRAWN BY: JF
 CHECKED BY: MW

architectural cover
 sheet

A0.0

**A PORTION OF THE S.E. 1/4 OF THE S.W. 1/4 OF SECTION 12, T.24N., R.04E., W.M.
MERCER ISLAND, STATE OF WASHINGTON**



LEGAL DESCRIPTION

THE WEST ONE-HUNDRED (100) FEET OF TRACT FIVE (5) (MEASURED ON THE NORTH LINE THEREOF), REPLAT OF ISLAND PARK ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 13 OF PLATS, PAGE 58, RECORDS OF KING COUNTY, WASHINGTON;

TOGETHER WITH THAT PORTION OF ISLAND AVENUE VACATED BY KING COUNTY COMMISSIONER'S ADJOINING.

DATUM

NAVD 88

BENCHMARK

WGS DESIGNATION 8003
3/8" COPPER PIN IN 4" SQUARE CONCRETE MONUMENT, DOWN 1.1", LOCATED ON MERCER WAY 192 FEET NORTHWEST OF THE INTERSECTION WITH S.E. 40TH STREET ELEVATION=143.51

HORIZONTAL DATUM

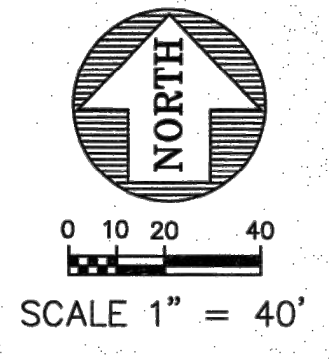
NAD 1983/91

HORIZONTAL CONTROL

HELD LINE BETWEEN WGS SURVEY DATA POINT 8003 AND WGS DATA POINT 7999
IE=N40°56'51"W

INSTRUMENTATION

INSTRUMENT USED: 5 SECOND TOTAL STATION,
FIELD SURVEY WAS BY CLOSED TRAVERSE LOOPS, MINIMUM CLOSURE OF LOOPS WAS 1:22,000, IN ACCORDANCE WITH WAC 332-130-090.



LEGEND

- ☐ WATER METER
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊖ GAS VALVE
- ☐ MAILBOX
- ⊕ UTILITY POLE
- ⊖ GUY ANCHOR
- ☐ CATCH BASIN
- ⊕ SEWER MANHOLE
- ⊖ SIGN

TREE LEGEND

- ⊕ MAPLE TREE
- ⊖ COTTONWOOD TREE
- ⊕ ALDER TREE
- ⊖ MADRONA TREE
- ⊕ TREE (UNSPECIFIED)

REVISIONS	BY	DATE



10/21/15

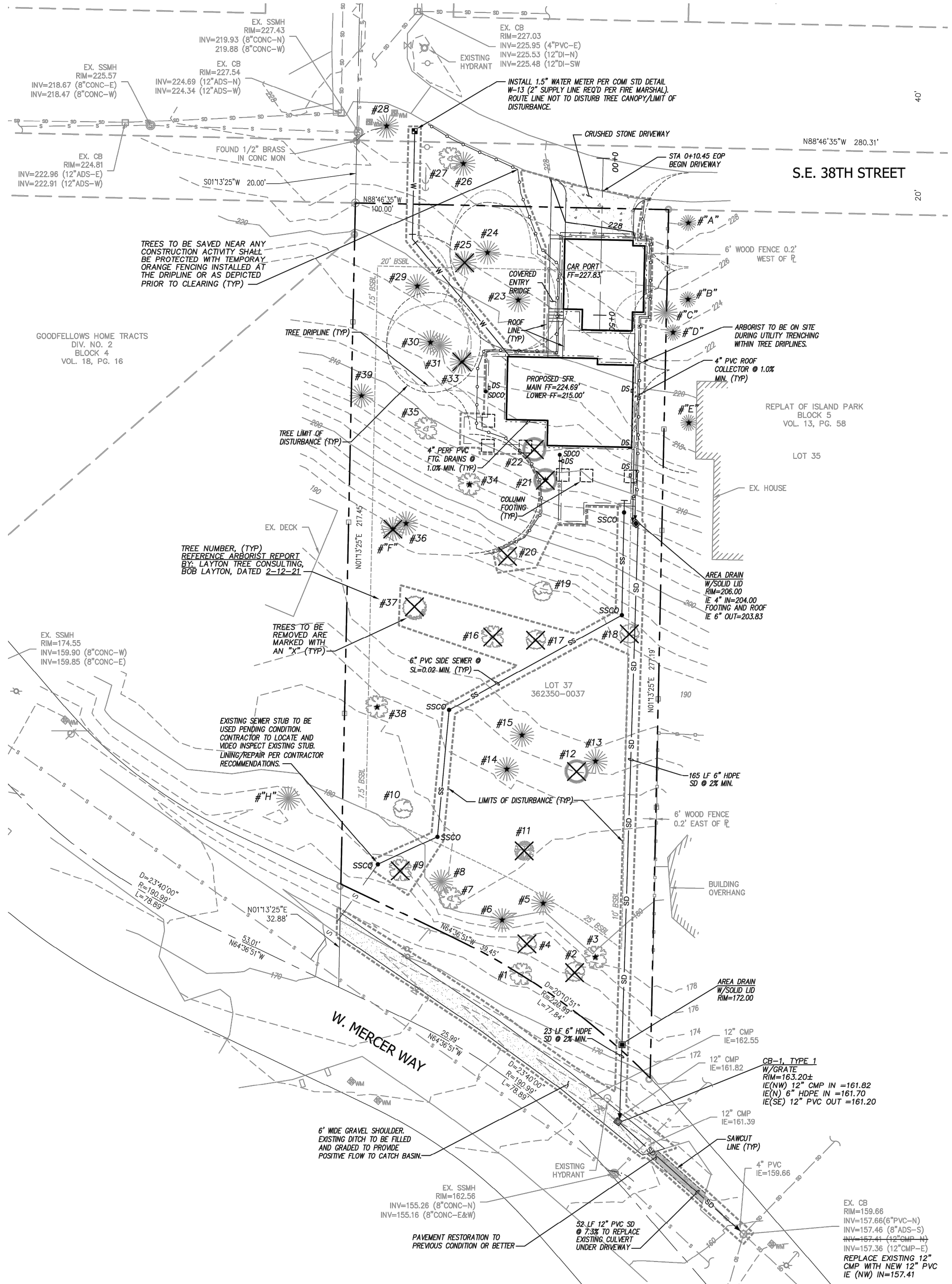
JANE BURNS
BOUNDARY/TOPOGRAPHY PLAN

Encompass
ENGINEERING & SURVEYING

Western Washington Division
165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0230 • Fax: (425) 391-3055
Eastern Washington Division
108 East 2nd Street • Cle Elum, WA 98922 • Phone: (509) 674-7433 • Fax: (509) 674-7419

JOB NO.	15605
DATE	10/06/15
SCALE	1"=40'
DESIGNED	SDM
DRAWN	JEF
CHECKED	SDM
APPROVED	SDM
SHEET	1 OF 1

TREE RETENTION PLAN



LEGEND

- ⊠ WATER METER
- ⊠ WATER VALVE
- ⊠ FIRE HYDRANT
- ⊠ GAS VALVE
- ⊠ MAILBOX
- ⊠ UTILITY POLE
- ⊠ GUY ANCHOR
- ⊠ CATCH BASIN
- ⊠ SEWER MANHOLE
- ⊠ SIGN

TREE LEGEND

- ⊙ MAPLE TREE
- ⊙ COTTONWOOD TREE
- ⊙ ALDER TREE
- ⊙ MADRONA TREE
- ⊙ TREE (UNSPECIFIED)
- ★ EXCEPTIONAL TREE >=24" DBH

SURVEY NOTE

EXISTING SURVEY FEATURES, BOUNDARY, AND TOPOGRAPHIC DATA SHOWN ON THESE DRAWINGS HAVE BEEN PREPARED BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, LE/G2 ENGINEERING CANNOT BE HELD RESPONSIBLE FOR THE ACCURACY OF DATA AND INFORMATION PROVIDED BY OTHERS, OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.

DISCREPANCIES

IF THERE ARE ANY DISCREPANCIES BETWEEN DIMENSIONS IN DRAWINGS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE ATTENTION OF THE ENGINEER FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

EXISTING UTILITY NOTE

ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

CONTRACTOR RESPONSIBILITY

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

Layton Tree Consulting LLC

For: Paul Bosveld
Site: 73XX SE 38th ST - Mercer Island
Tree Summary Table
Date: 2/12/2021



Tree Tag #	Species Common Name	Species Scientific Name	DBH (inches)	Height (feet)	Drip-Line / Limits of Disturbance (feet)	Condition	Regulated Yes/No	Exceptional Yes/No	Comments	Proposal			
2	red alder	<i>Alnus rubra</i>	10			Poor	Yes	No		Remove			
3	bigleaf maple	<i>Acer macrophyllum</i>	27			Fair	Yes	No	OK to leave, needs crown clean pruning	Save			
4	red alder	<i>Alnus rubra</i>	11			NA	Yes	No	dead, fell down	NA			
5	Douglas fir	<i>Pseudotsuga menziesii</i>	30			Good	Yes	Yes		Save			
6	Douglas fir	<i>Pseudotsuga menziesii</i>	41			Fair	Yes	Yes		Save			
7	bigleaf maple	<i>Acer macrophyllum</i>	cluster			Fair	Yes	No	OK to leave, needs crown clean pruning	Save			
8	Douglas fir	<i>Pseudotsuga menziesii</i>	21			Fair	Yes	No		Save			
9	bigleaf maple	<i>Acer macrophyllum</i>	22			Poor	Yes	No	70% dead, lean to powerlines	Remove			
10	Pacific dogwood	<i>Cornus nuttallii</i>	11,11 (18)	59		Fair	Yes	Yes	OK to leave, low risk	Save			
11	Mountain ash	<i>Sorbus aucuparia</i>	8,4 (8)			Dead	NA	NA		NA			
12	Pacific madrone	<i>Arbutus menziesii</i>	11			Poor	Yes	Yes	90% dead, low risk, OK to leave	NA			
13	Douglas fir	<i>Pseudotsuga menziesii</i>	53			Fair	Yes	Yes		Save			
14	Douglas fir	<i>Pseudotsuga menziesii</i>	38			Good	Yes	Yes		Save			
15	Douglas fir	<i>Pseudotsuga menziesii</i>	38			Good	Yes	Yes		Save			
16	bigleaf maple	<i>Acer macrophyllum</i>	11			Fair	Yes	No		Remove			
17	red alder	<i>Alnus rubra</i>	16			Dead	NA	NA		NA			
18	red alder	<i>Alnus rubra</i>	15			Dead	NA	NA		NA			
19	red alder	<i>Alnus rubra</i>	15			Fair	Yes	No	OK to leave, decent vigor, low risk	Save			
20	red alder	<i>Alnus rubra</i>	14			Poor	Yes	No	90% dead	Remove			
21	Pacific madrone	<i>Arbutus menziesii</i>	32			Poor	Yes	Yes	diseased, heavy lean downhill	Remove			
22	Pacific madrone	<i>Arbutus menziesii</i>	12			Dead	NA	NA		NA			
23	Douglas fir	<i>Pseudotsuga menziesii</i>	52	18/16	16/16	12/16	18	Good	Yes	Yes	Save		
24	Douglas fir	<i>Pseudotsuga menziesii</i>	43	155	20/16	10/16	14/16	12	Good	Yes	Yes	old broken top	Save
25	Douglas fir	<i>Pseudotsuga menziesii</i>	14			Dead	NA	NA	Dead snag	Remove			
26	Douglas fir	<i>Pseudotsuga menziesii</i>	30		14/16	10	10/16	NA	Fair	Yes	Yes	cambial ruptures	Save
30	Douglas fir	<i>Pseudotsuga menziesii</i>	30	130	12/16	14/16	10/16	14	Fair	Yes	Yes	ascospore infection, south side	Save
31	Douglas fir	<i>Pseudotsuga menziesii</i>	18	90	14/14	6/12	10/12	8	Fair	Yes	No		Save
32	Douglas fir	<i>Pseudotsuga menziesii</i>	17		NA	NA	NA	NA	Dead	NA	NA	Dead snag	Remove
33	Douglas fir	<i>Pseudotsuga menziesii</i>	36		NA	NA	NA	NA	Poor	Yes	Yes	Advanced pini infection, all sides	Remove
34	bigleaf maple	<i>Acer macrophyllum</i>	28		16	22	22	NA	Fair	Yes	Yes	decent form, some dead wood	Save
35	bigleaf maple	<i>Acer macrophyllum</i>	20		18/14	NA	18/14	NA	Fair	Yes	No	decent form, some dead wood	Save
36	Douglas fir	<i>Pseudotsuga menziesii</i>	37			Fair	Yes	Yes		Save			
37	black cottonwood	<i>Populus trichocarpa</i>	21			Poor	Yes	No	suspect internal decay	Remove			
38	bigleaf maple	<i>Acer macrophyllum</i>	40			Fair	Yes	Yes	asymmetric crown to east	Save			
39	Douglas fir	<i>Pseudotsuga menziesii</i>	39	142		Fair	Yes	Yes	old broken top, upper foliage a little sparse	Save			
F	Douglas fir	<i>Pseudotsuga menziesii</i>	31	100		Poor	Yes	Yes	advanced pini infection, leans west to house	Remove			
Neighboring Trees													
7	bigleaf maple	<i>Acer macrophyllum</i>	7			Fair	No	No	in ROW	Protect			
26	Douglas fir	<i>Pseudotsuga menziesii</i>	46			Good	Yes	Yes	in ROW	Protect			
27	bigleaf maple	<i>Acer macrophyllum</i>	19			Fair	Yes	No	in ROW	Protect			
28	Douglas fir	<i>Pseudotsuga menziesii</i>	31			Good	Yes	Yes	in ROW	Protect			
A	Douglas fir	<i>Pseudotsuga menziesii</i>	36		16	14/16	NA	18/14	Good	Yes	Yes		Protect
B	Douglas fir	<i>Pseudotsuga menziesii</i>	30		10	8	NA	10	Good	Yes	Yes	6-foot off PL/fence	Protect
C	Douglas fir	<i>Pseudotsuga menziesii</i>	19		8	12	NA	16/10	Fair	Yes	No		Protect
D	Douglas fir	<i>Pseudotsuga menziesii</i>	32		6	12	NA	14/14	Good	Yes	Yes		Protect
E	Douglas fir	<i>Pseudotsuga menziesii</i>	42		18	16	NA	17	Fair	Yes	Yes	Foliage somewhat sparse	Protect

Drip-Line and Limits of Disturbance measurements from face of trunk
Calculated DBH: the DBH in parenthesis is the square root of the sum of the dbh for each individual stem squared (example with 3 stems: dbh = square root ((stem1)² + (stem2)² + (stem3)²)).



VICINITY MAP
NOT TO SCALE

PROJECT DATA

PROPERTY ADDRESS: 38XX WEST MERCER WAY, MERCER ISLAND, WA 98040
TAX LOT NUMBER: 362350-0037
SITE AREA: 24,288 S.F. (0.56 AC.)
ZONING: RESIDENTIAL R-15

PROJECT CONTACTS

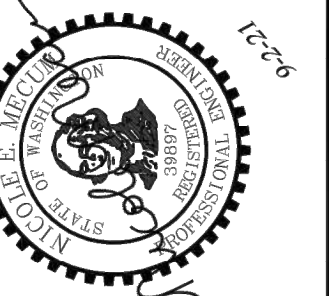
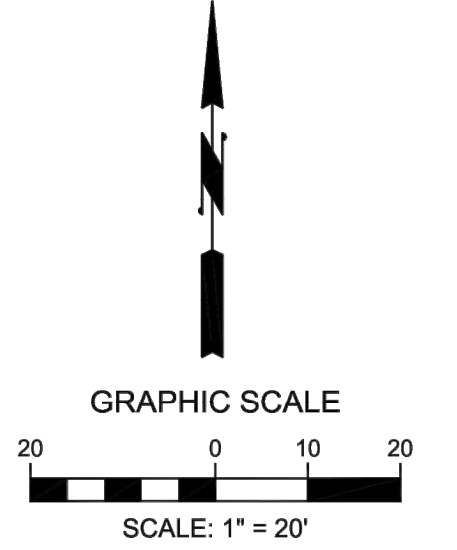
OWNER: PAUL BOSVELD & LIN YUSHAN
1421 36TH AVE S
SEATTLE WA 98144
(954) 918-6271

ARCHITECT: WITTMAN ESTES
6007 12TH AVENUE SOUTH
SEATTLE, WA 98108
(206) 735-7170
CONTACT: MATT WITTMAN

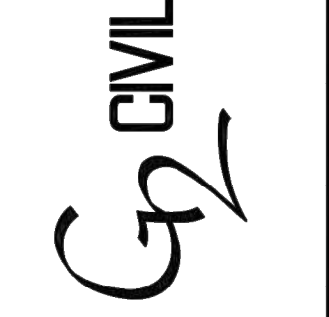
CIVIL ENGINEER: G2 CIVIL
1375 NW MALL STREET, SUITE 3
ISSAQUAH, WA 98027
(425) 821-5038
CONTACT: NICOLE MECUM, PE

SURVEYOR: ENCOMPASS ENGINEERING & SURVEYING
165 NE JUNIPER STREET, SUITE 201
ISSAQUAH, WA 98027
(425) 392-0250
CONTACT: STEVEN D. McCASKEY, PLS

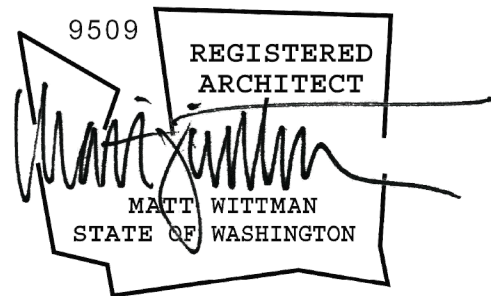
GEOTECHNICAL ENGINEER: GEO GROUP NORTHWEST, INC.
13705 BEL-RED ROAD
BELLEVUE, WA 98005
(425) 649-8757
CONTACT: WILLIAM CHANG, PE



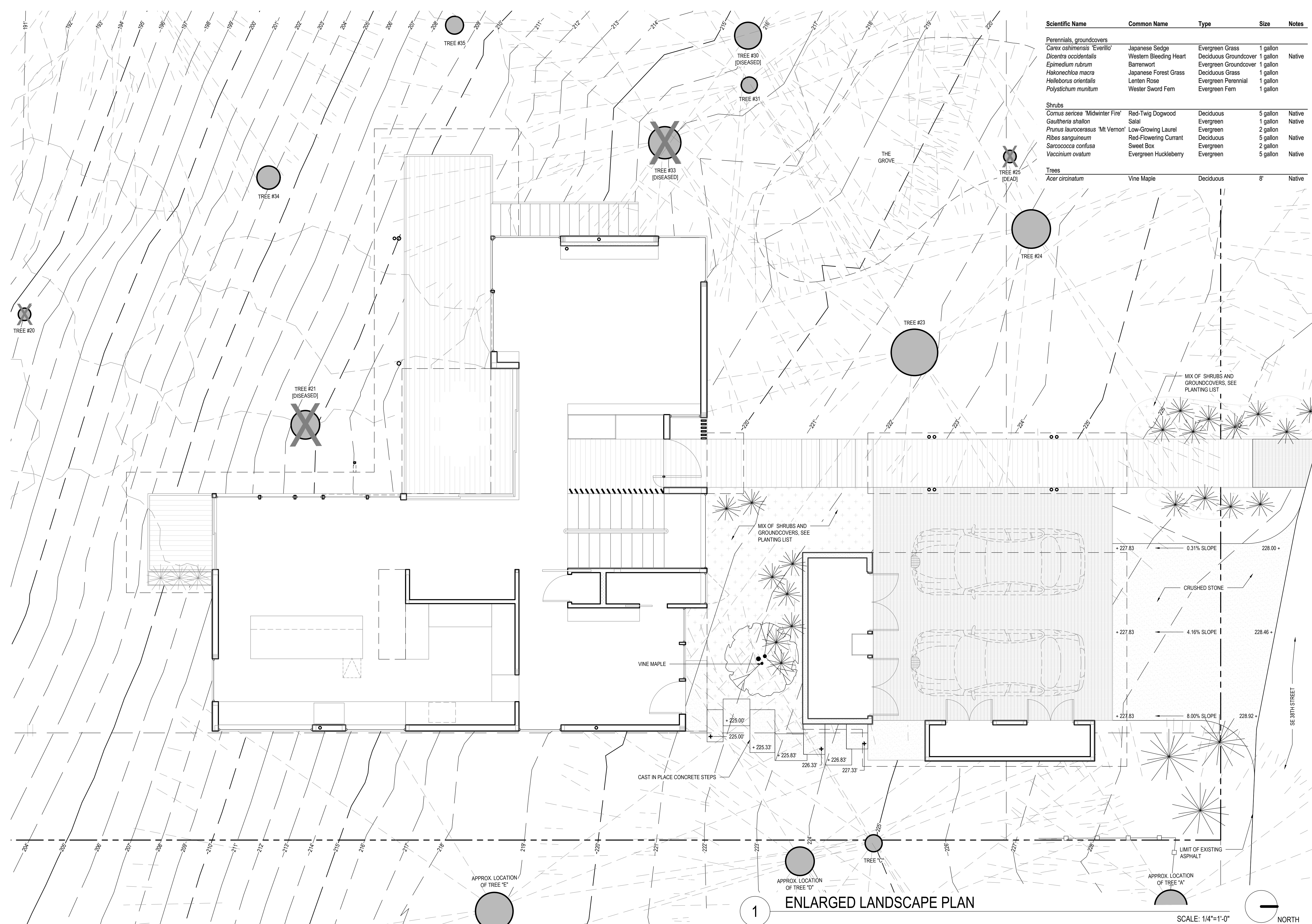
1375 NW MALL ST, SUITE 3
ISSAQUAH, WA 98027
PHONE: (425) 821-5038



TREE RETENTION PLAN
38XX WEST MERCER WAY
MERCER ISLAND, WA 98040



Scientific Name	Common Name	Type	Size	Notes
Perennials, groundcovers				
<i>Carex oshimensis</i> 'Everillo'	Japanese Sedge	Evergreen Grass	1 gallon	
<i>Dicentra occidentalis</i>	Western Bleeding Heart	Deciduous Groundcover	1 gallon	Native
<i>Epimedium rubrum</i>	Barrenwort	Evergreen Groundcover	1 gallon	
<i>Hakonechloa macra</i>	Japanese Forest Grass	Deciduous Grass	1 gallon	
<i>Helleborus orientalis</i>	Lenten Rose	Evergreen Perennial	1 gallon	
<i>Polystichum munitum</i>	Wester Sword Fern	Evergreen Fern	1 gallon	
Shrubs				
<i>Cornus sericea</i> 'Midwinter Fire'	Red-Twig Dogwood	Deciduous	5 gallon	Native
<i>Gaultheria shallon</i>	Salal	Evergreen	1 gallon	Native
<i>Prunus laurocerasus</i> 'Mt Vernon'	Low-Growing Laurel	Evergreen	2 gallon	
<i>Ribes sanguineum</i>	Red-Flowering Currant	Deciduous	5 gallon	Native
<i>Sarcococca confusa</i>	Sweet Box	Evergreen	2 gallon	
<i>Vaccinium ovatum</i>	Evergreen Huckleberry	Evergreen	5 gallon	Native
Trees				
<i>Acer circinatum</i>	Vine Maple	Deciduous	8'	Native



2014
**Mercer
Grove**

38XX W MERCER WAY
MERCER ISLAND, WA 98040

TPN #3623500037

CAR2 APPLICATION
ISSUE DATE: 09/20/2021

REVISIONS	NO.	ISSUE	DATE

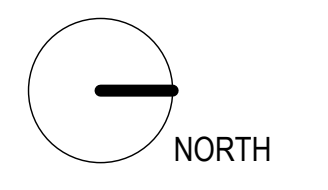
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CHECKED BY: MW

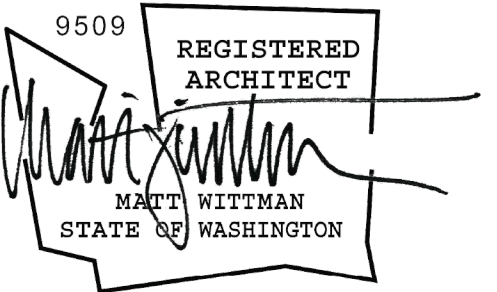
enlarged landscape
plan

L1.0

1 ENLARGED LANDSCAPE PLAN

SCALE: 1/4"=1'-0"





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Grove**

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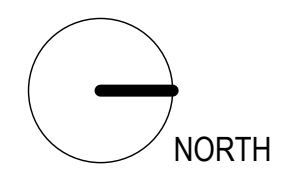
CAR2 APPLICATION
ISSUE DATE: 09/20/2021

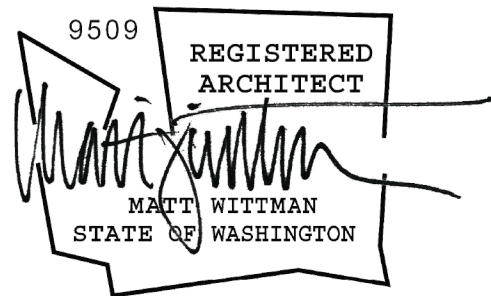
REVISIONS	NO.	ISSUE	DATE

DRAWN BY: JF
CHECKED BY: MW

site plan

A0.1





02/23/20 MERCER GROVE TREE INVENTORY

Number	Regulated	Type	Condition	Arb	Number	Regulated	Type	Condition	Arb
1	No	Maple	Fair	N/A	24	Yes	Fir	Good	Save
2	Yes	Alder	Poor	Remove	25	N/A	Fir	Dead	Remove
3	Yes	Maple	Fair	Save	26	Yes	Fir	Good	Protect
4	N/A	Alder	Down	Leave	27	Yes	Maple	Fair	Protect
5	Yes	Fir	Good	Save	28	Yes	Fir	Good	Protect
6	Yes	Fir	Fair	Save	29	Yes	Fir	Fair	Save
7	Yes	Maple	Fair	Save	30	Yes	Fir	Fair	Save
8	Yes	Fir	Fair	Save	31	Yes	Fir	Fair	Save
9	Yes	Maple	Poor	Remove	32	N/A	Fir	Dead	Remove
10	Yes	Dogwood	Fair	Save	33	Yes	Fir	Poor	Remove
11	N/A	Ash	Dead	Remove	34	Yes	Maple	Fair	Save
12	Yes	Madrone	Poor	Leave	35	Yes	Maple	Fair	Save
13	Yes	Fir	Fair	Save	36	Yes	Fir	Fair	Save
14	Yes	Fir	Good	Save	37	Yes	Cottonwood	Poor	Remove
15	Yes	Fir	Good	Save	38	Yes	Maple	Fair	Save
16	Yes	Maple	Fair	Remove	39	Yes	Fir	Fair	Save
17	N/A	Alder	Dead	Remove	A	Yes	Fir	Good	Protect
18	N/A	Alder	Fair	Remove	B	Yes	Fir	Good	Protect
19	Yes	Alder	Dead	Remove	C	Yes	Fir	Fair	Protect
20	Yes	Alder	Poor	Remove	D	Yes	Fir	Good	Protect
21	Yes	Madrone	Poor	Remove	E	Yes	Fir	Fair	Protect
22	N/A	Madrone	Dead	Remove	F	Yes	Fir	Poor	Remove
23	Yes	Fir	Good	Save					

TREE LEGEND:

☒ TREE TO REMOVE

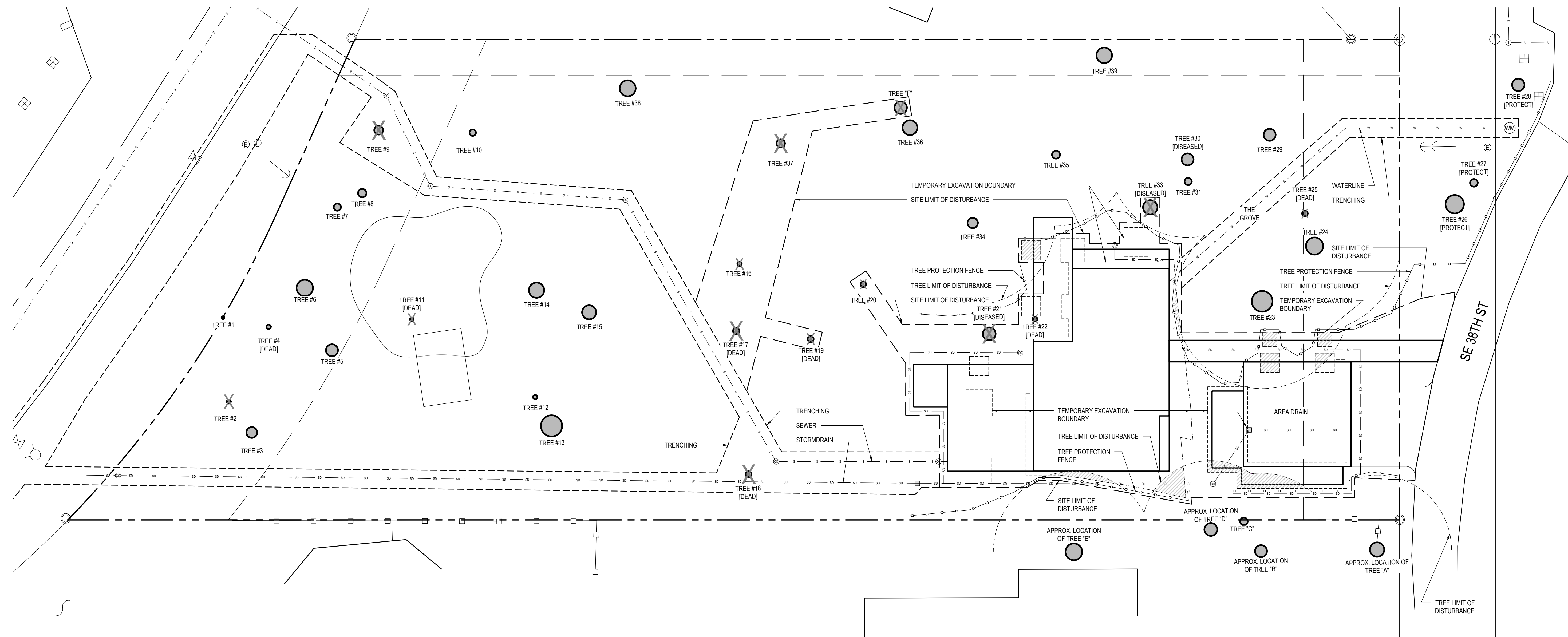
○ TREE TO REMAIN

LINETYPE LEGEND:

--- SITE LIMIT OF DISTURBANCE
- - - - - TEMPORARY EXCAVATION BOUNDARY
- - - - - TRENCHING

- - - - - TREES
- - - - - TREE LIMIT OF DISTURBANCE
- - - - - TREE PROTECTION FENCE

--- SD --- SD --- UTILITIES
--- S --- S --- STORMDRAIN
--- W --- W --- SEWER
--- W --- W --- WATERLINE



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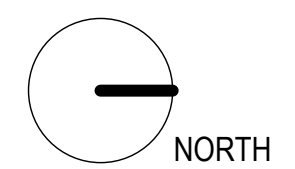
ISSUE DATE: 09/20/2021

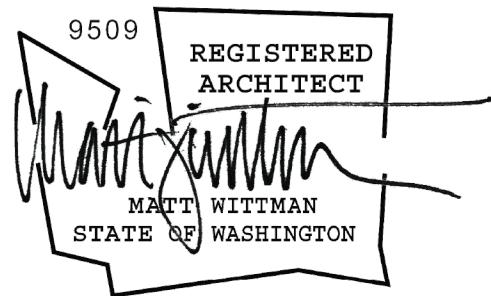
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site disturbance plan

A0.2





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average grade
calculations

A0.3

AVERAGE BUILDING ELEVATION (MICC 19.16.010):

WEIGHTED MIDPOINT ELEVATIONS:

WALL A: 46.2' X 217.7' = 10,057.7
WALL B: 22.2' X 207.1' = 4,597.6
WALL C: 26.0' X 210.9' = 5,483.4
WALL D: 24.0' X 214.5' = 5,148.0
WALL E: 20.2' X 215.3' = 4,349.1
WALL F: 46.2' X 220.0' = 10,164.0

(1) WEIGHTED SUM OF
MIDPOINT ELEVATIONS = 39,799.8

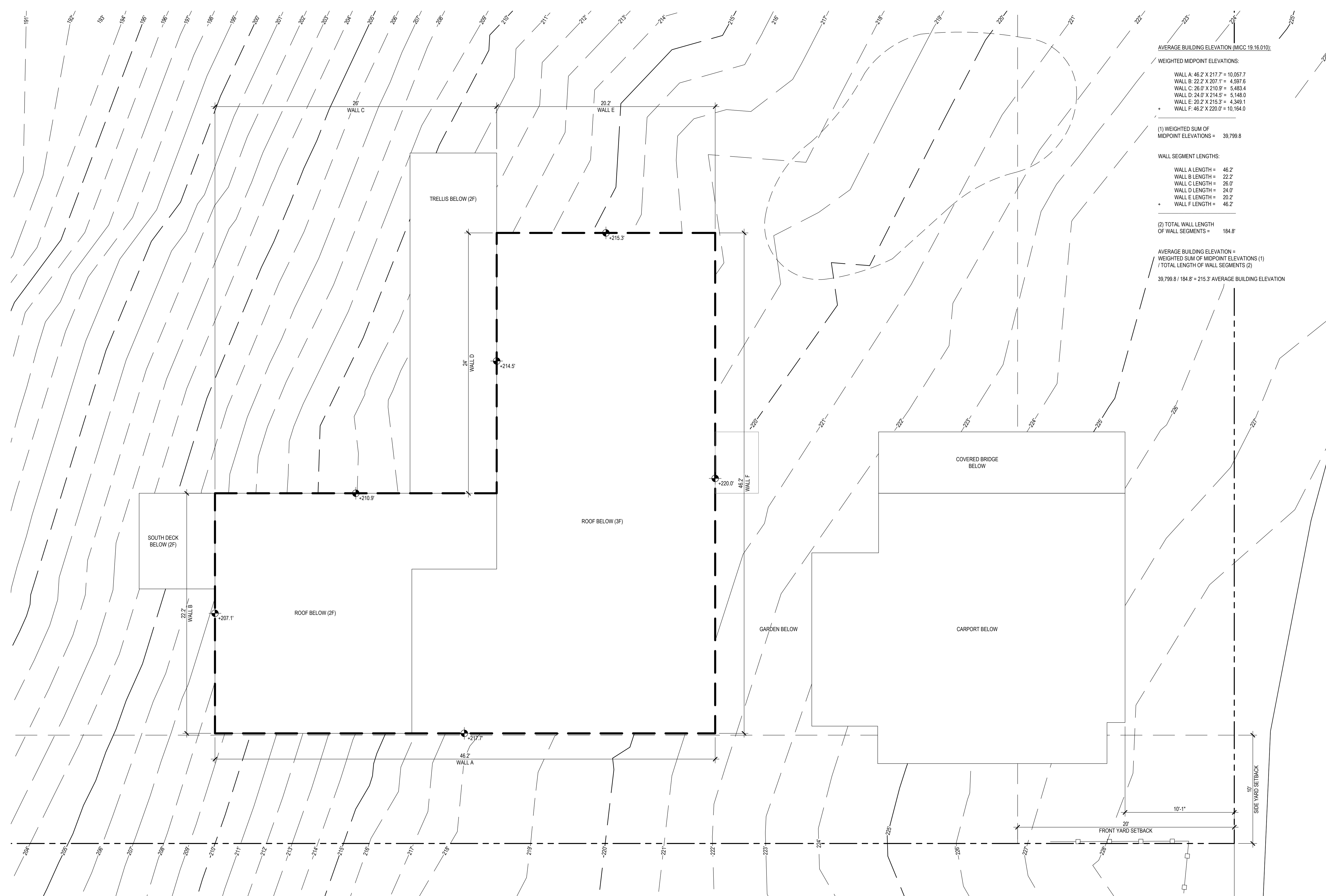
WALL SEGMENT LENGTHS:

WALL A LENGTH = 46.2'
WALL B LENGTH = 22.2'
WALL C LENGTH = 26.0'
WALL D LENGTH = 24.0'
WALL E LENGTH = 20.2'
WALL F LENGTH = 46.2'

(2) TOTAL WALL LENGTH
OF WALL SEGMENTS = 184.8'

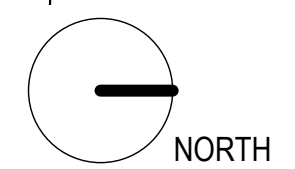
AVERAGE BUILDING ELEVATION =
WEIGHTED SUM OF MIDPOINT ELEVATIONS (1)
/ TOTAL LENGTH OF WALL SEGMENTS (2)

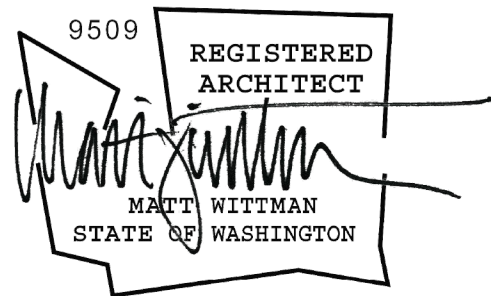
39,799.8 / 184.8' = 215.3' AVERAGE BUILDING ELEVATION



1 AVERAGE GRADE CALCULATIONS

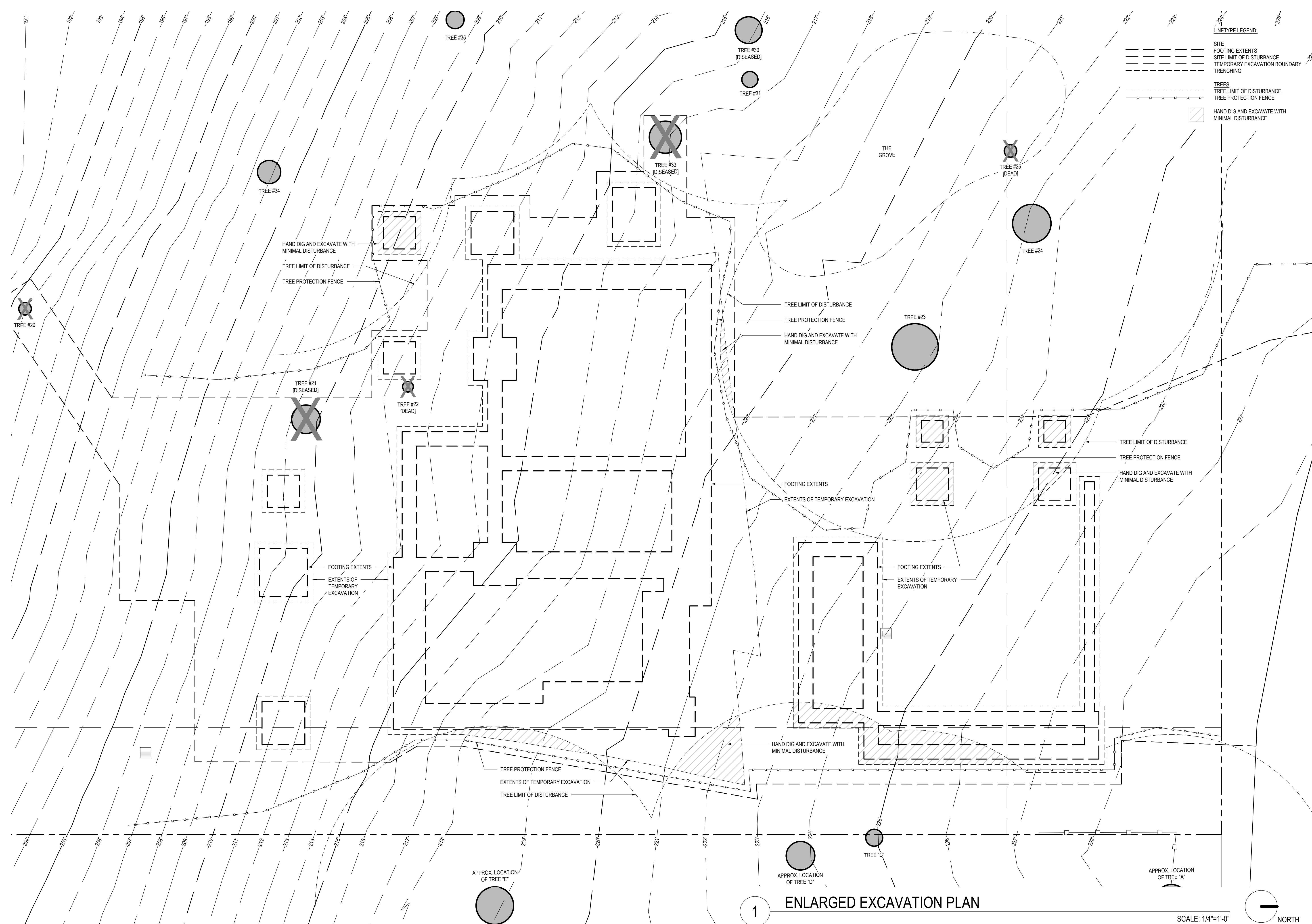
SCALE: 1/4"=1'-0"





LINETYPE LEGEND:

- SITE FOOTING EXTENTS
- - - SITE LIMIT OF DISTURBANCE
- - - TEMPORARY EXCAVATION BOUNDARY
- - - TRENCHING
- TREES
- - - TREE LIMIT OF DISTURBANCE
- - - TREE PROTECTION FENCE
- ▨ HAND DIG AND EXCAVATE WITH MINIMAL DISTURBANCE



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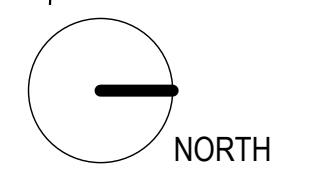
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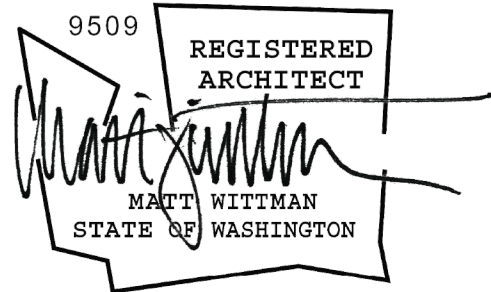
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DRAWN BY: JF
CHECKED BY: MW

enlarged excavation
plan

A0.4





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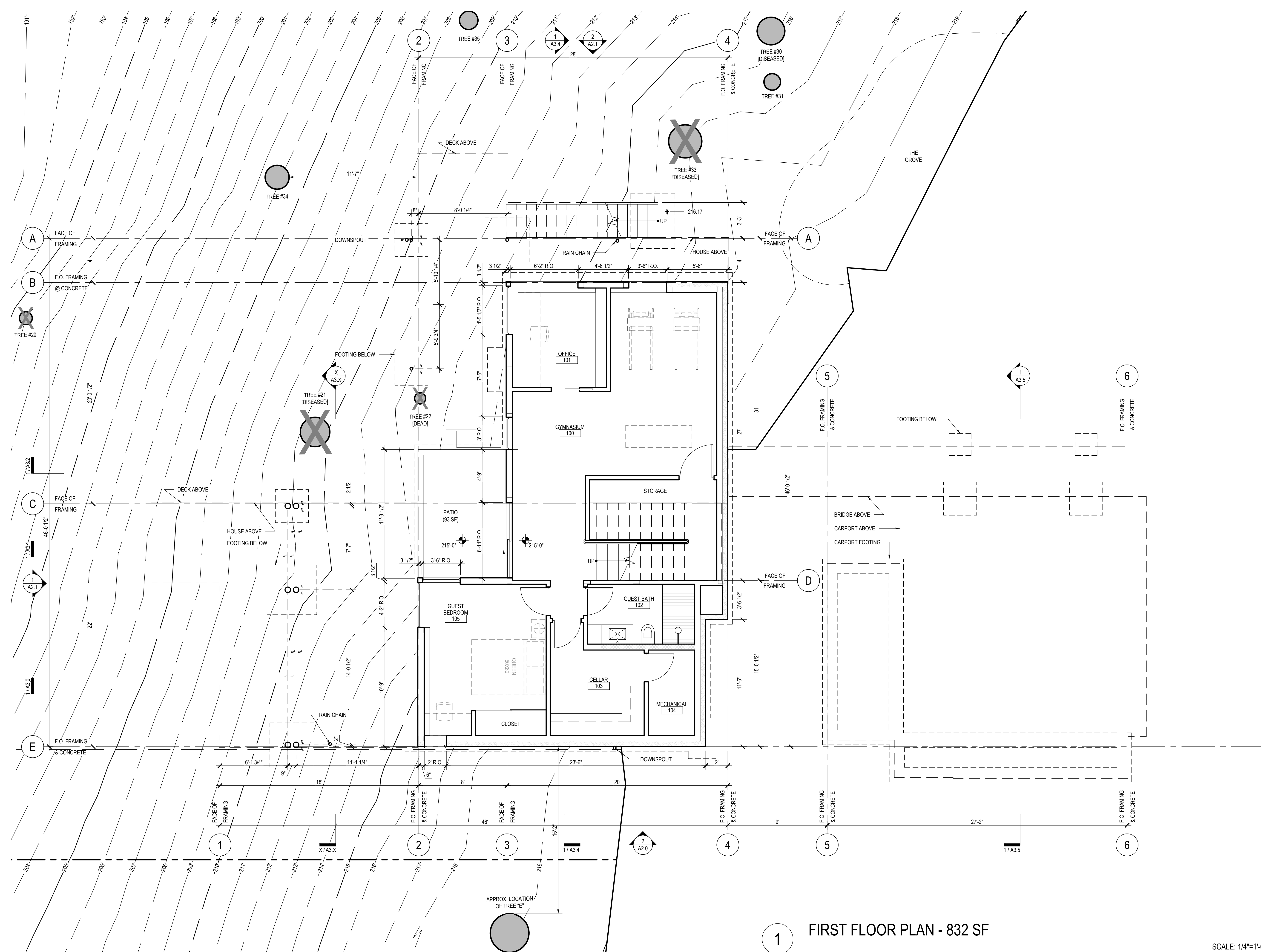
SQUARE FOOTAGES
1F: 832 SF
2F: 1321 SF HEATED
671 SF UNHEATED
3F: 965 SF

= 3118 SF HEATED
3789 SF TOTAL

floor plans

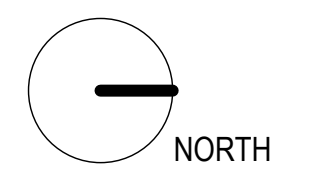
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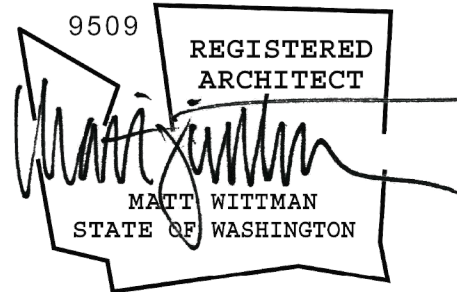
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1 FIRST FLOOR PLAN - 832 SF

SCALE: 1/4"=1'-0"





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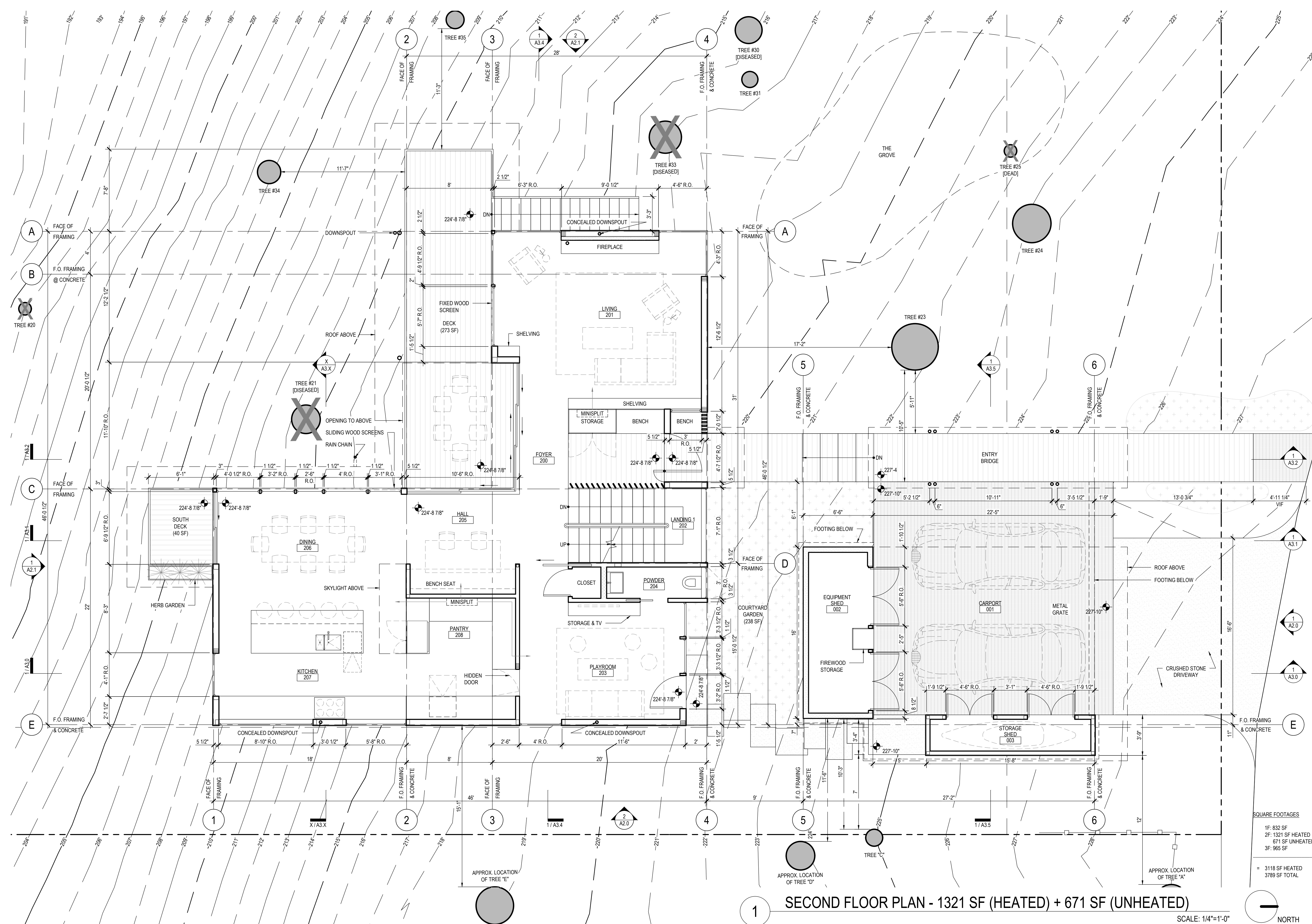
DRAWN BY: JF
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SQUARE FOOTAGES
1F: 832 SF
2F: 1321 SF HEATED
671 SF UNHEATED
3F: 965 SF

floor plans

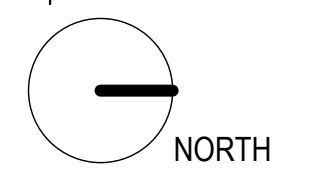
A1.1

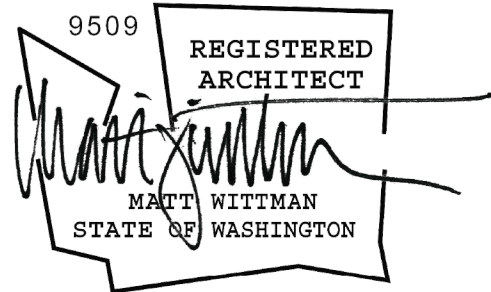
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SECOND FLOOR PLAN - 1321 SF (HEATED) + 671 SF (UNHEATED)

SCALE: 1/4"=1'-0"





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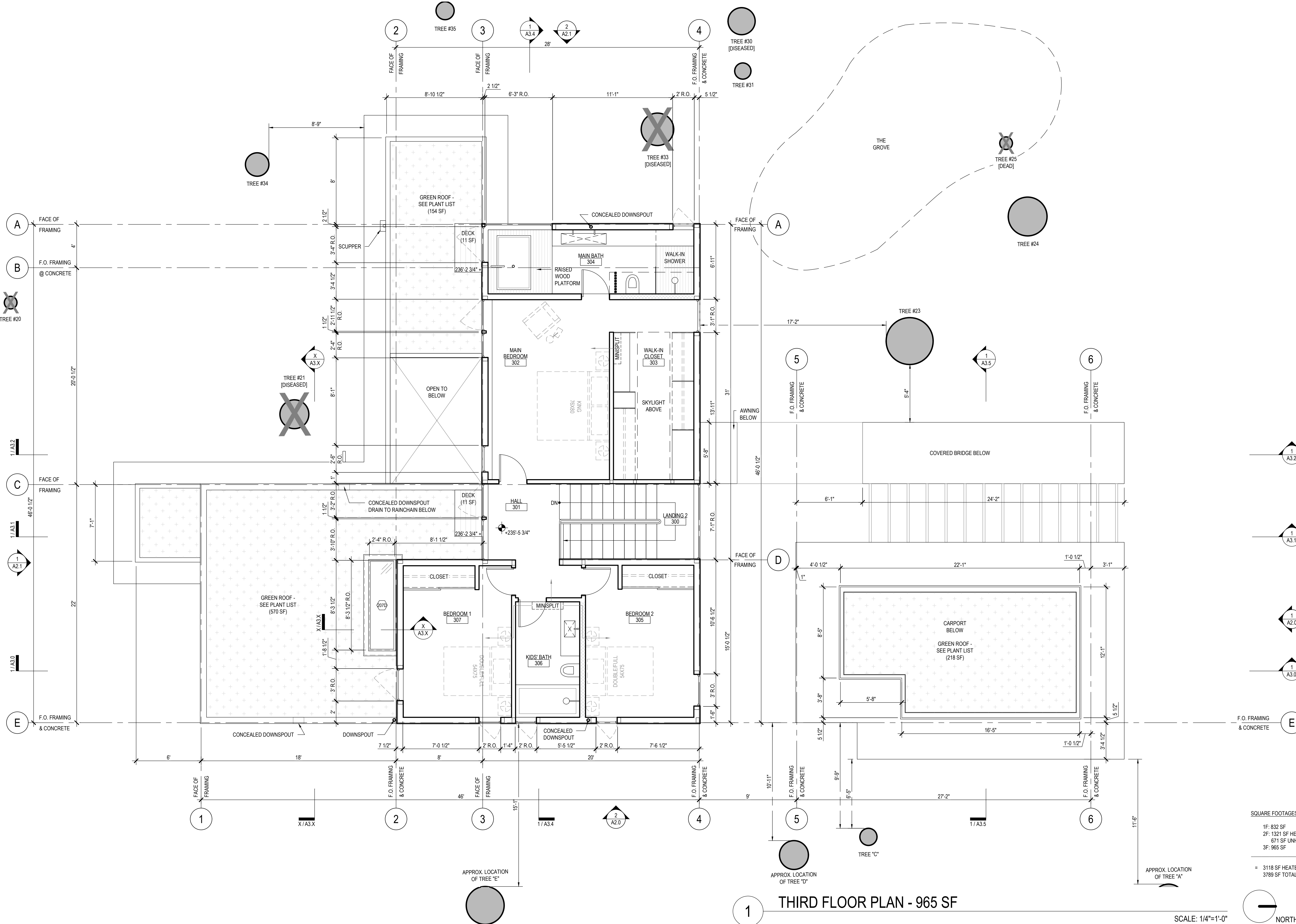
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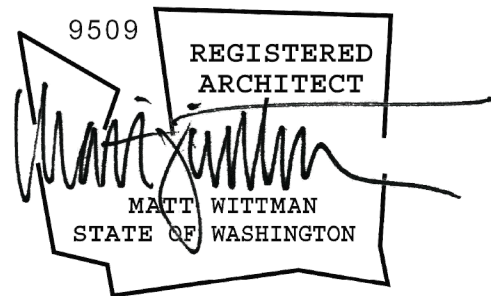
DRAWN BY: JF
CHECKED BY: MW

floor plans

A1.2

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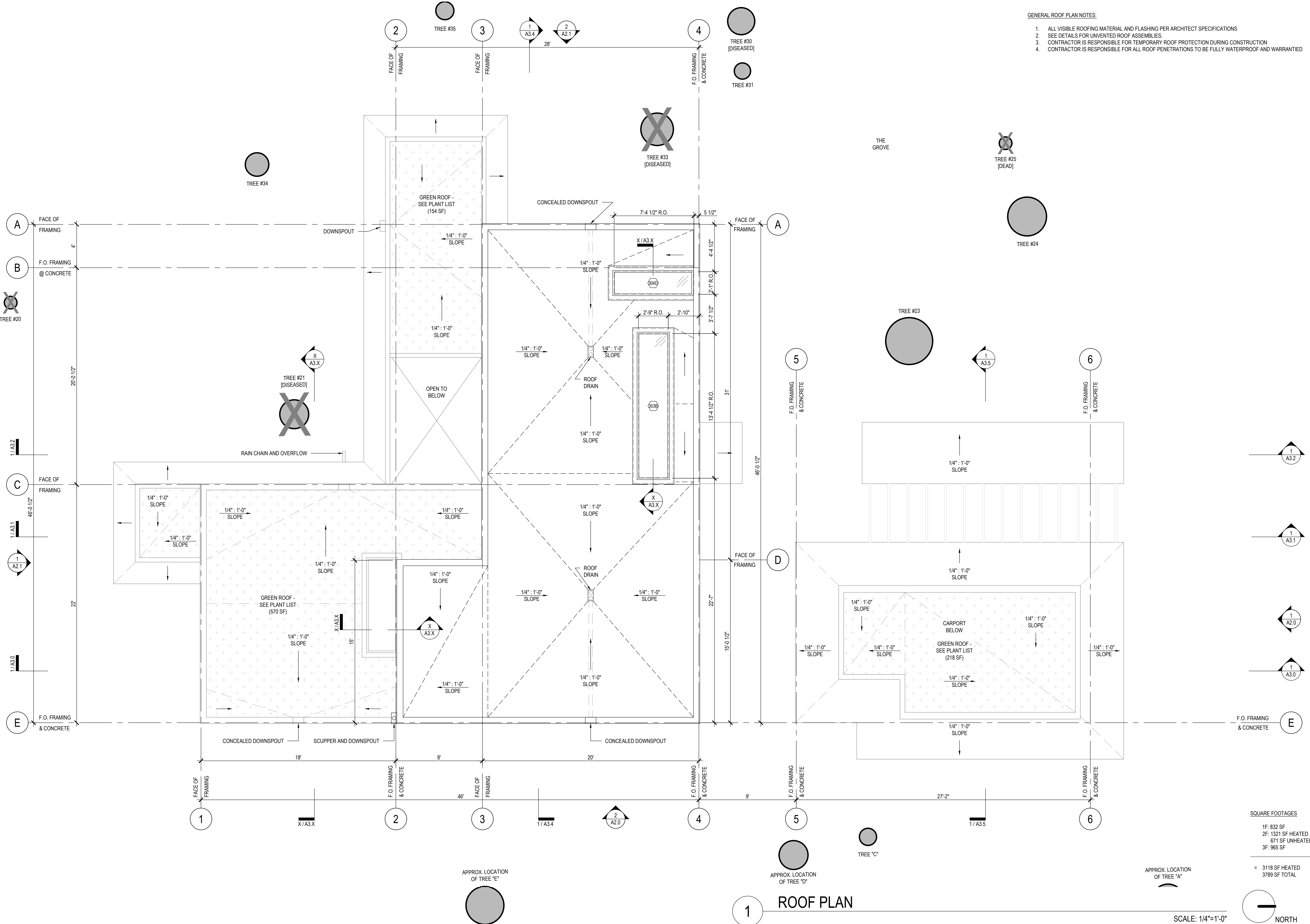
roof plan

A1.3

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GENERAL ROOF PLAN NOTES:

1. ALL VISIBLE ROOFING MATERIAL AND FLASHING PER ARCHITECT SPECIFICATIONS
2. SEE DETAILS FOR UNVENTED ROOF ASSEMBLIES
3. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ROOF PROTECTION DURING CONSTRUCTION
4. CONTRACTOR IS RESPONSIBLE FOR ALL ROOF PENETRATIONS TO BE FULLY WATERPROOF AND WARRANTED



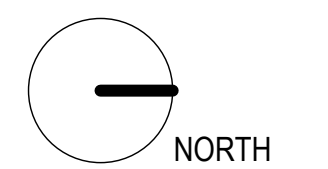
SQUARE FOOTAGES

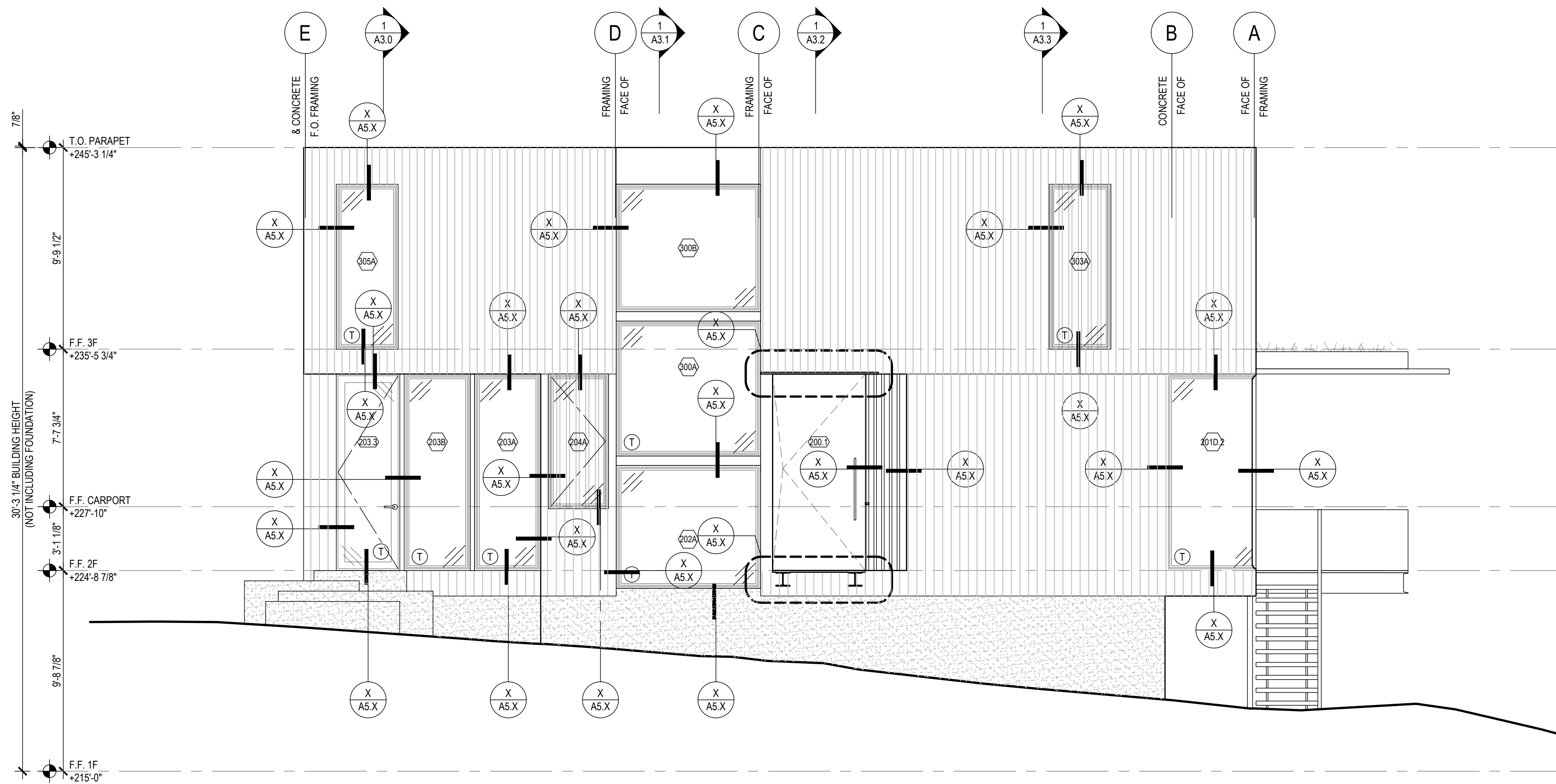
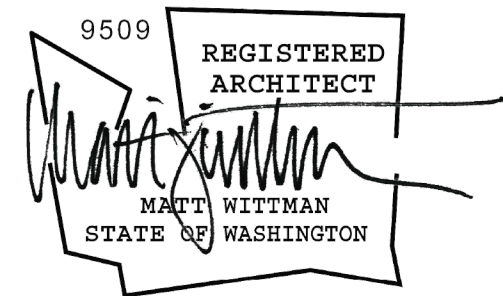
1F:	832 SF
2F:	1321 SF HEATED 671 SF UNHEATED
3F:	965 SF

= 3118 SF HEATED
3789 SF TOTAL

1 ROOF PLAN

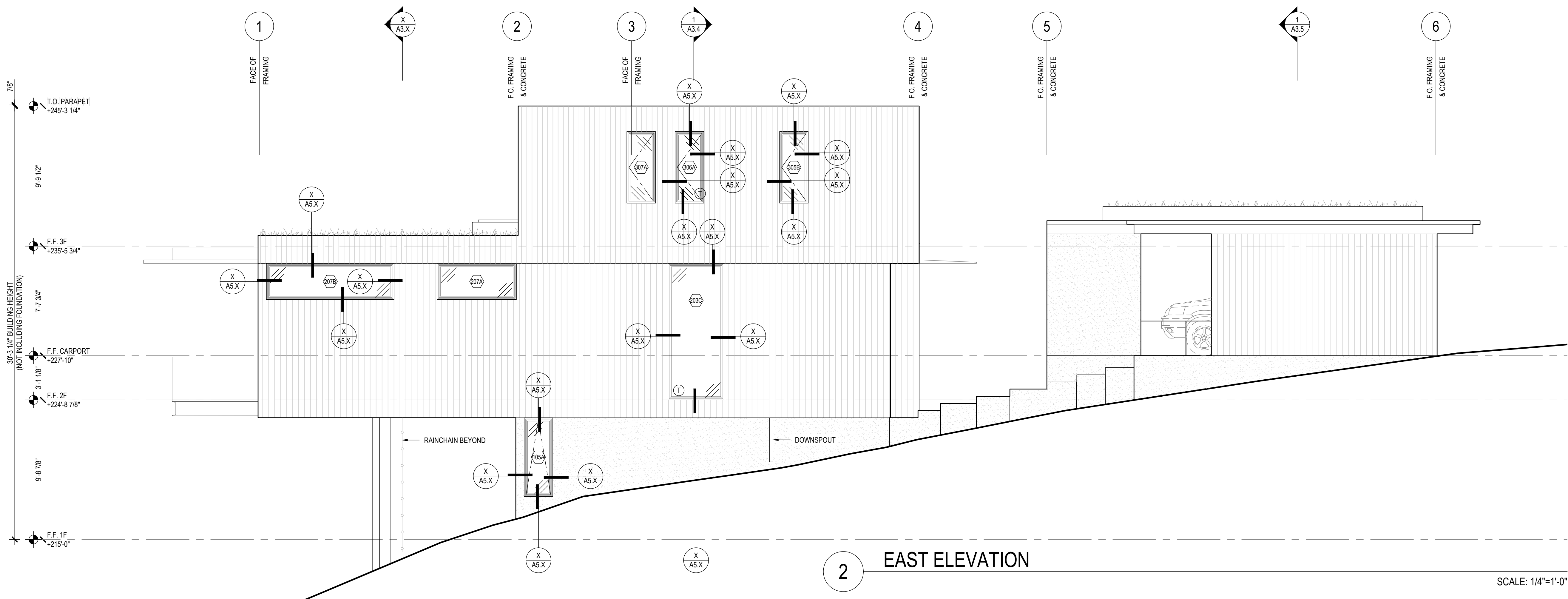
SCALE: 1/4"=1'-0"





1 NORTH ELEVATION

SCALE: 1/4"=1'-0"



2 EAST ELEVATION

SCALE: 1/4"=1'-0"

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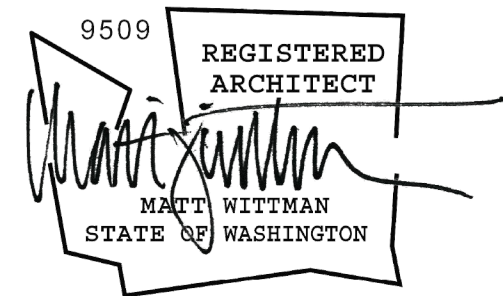
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exterior elevations

A2.0



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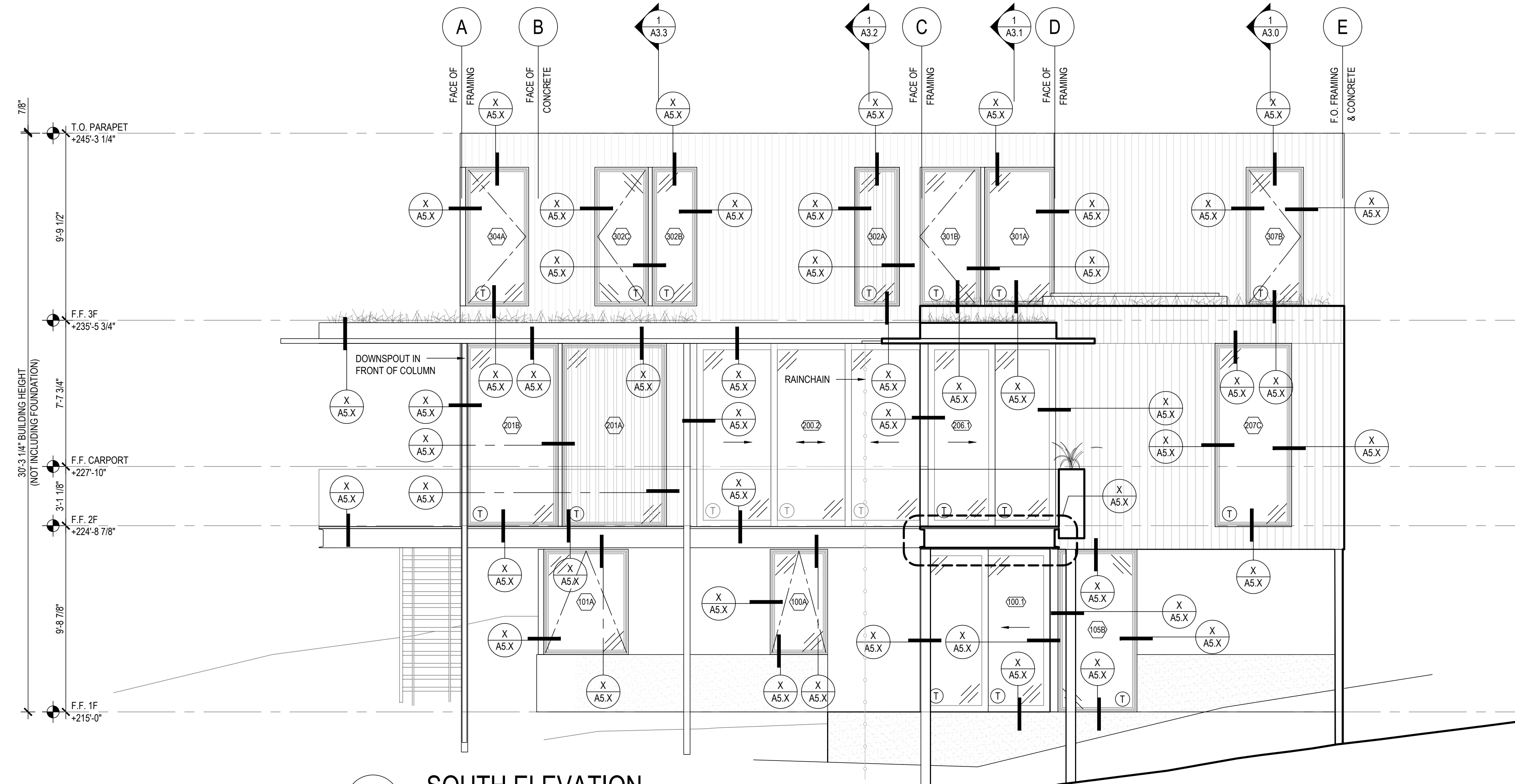
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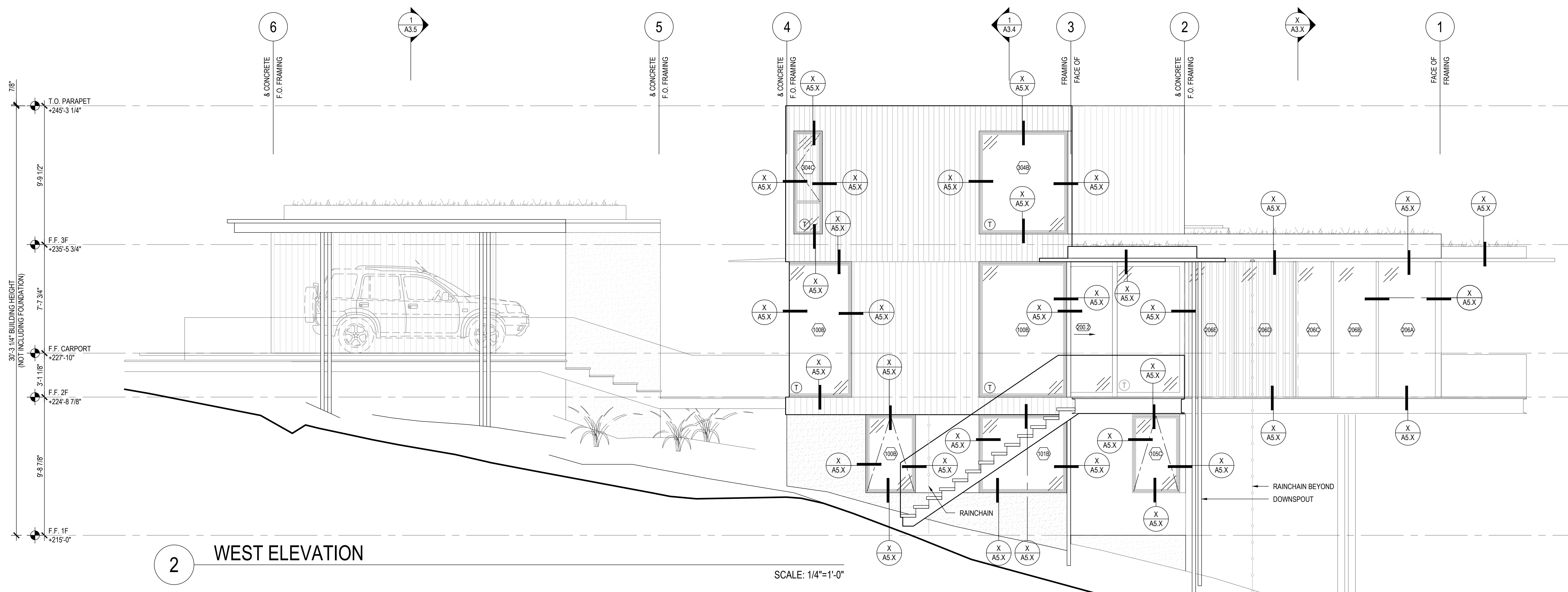
exterior elevations

A2.1



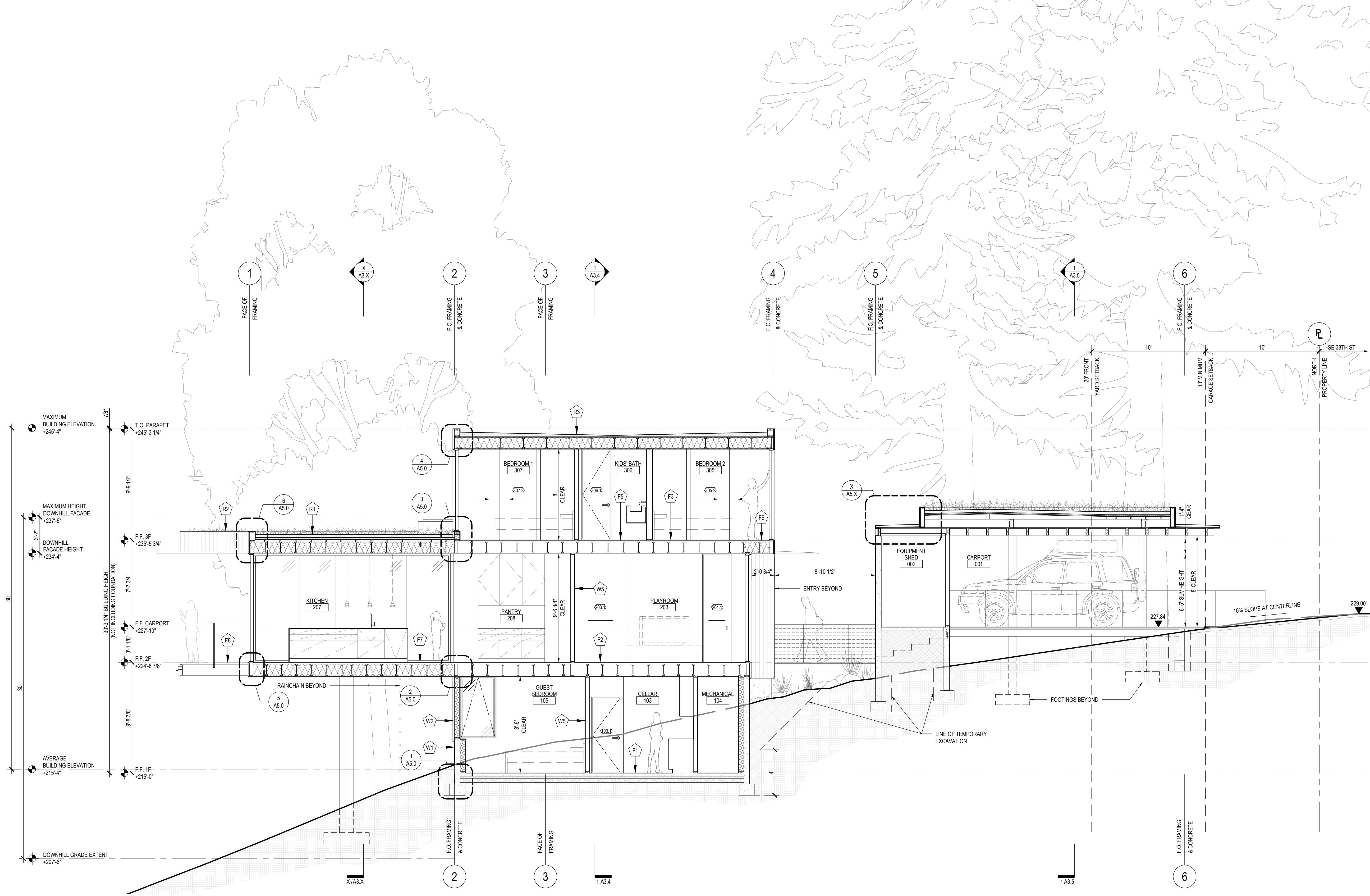
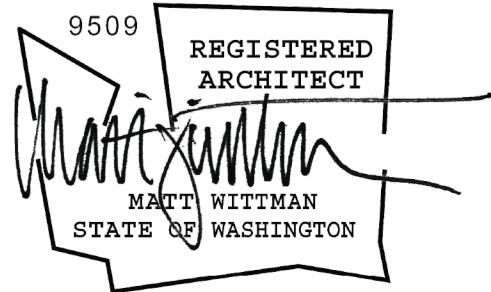
1 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



2 WEST ELEVATION

SCALE: 1/4"=1'-0"



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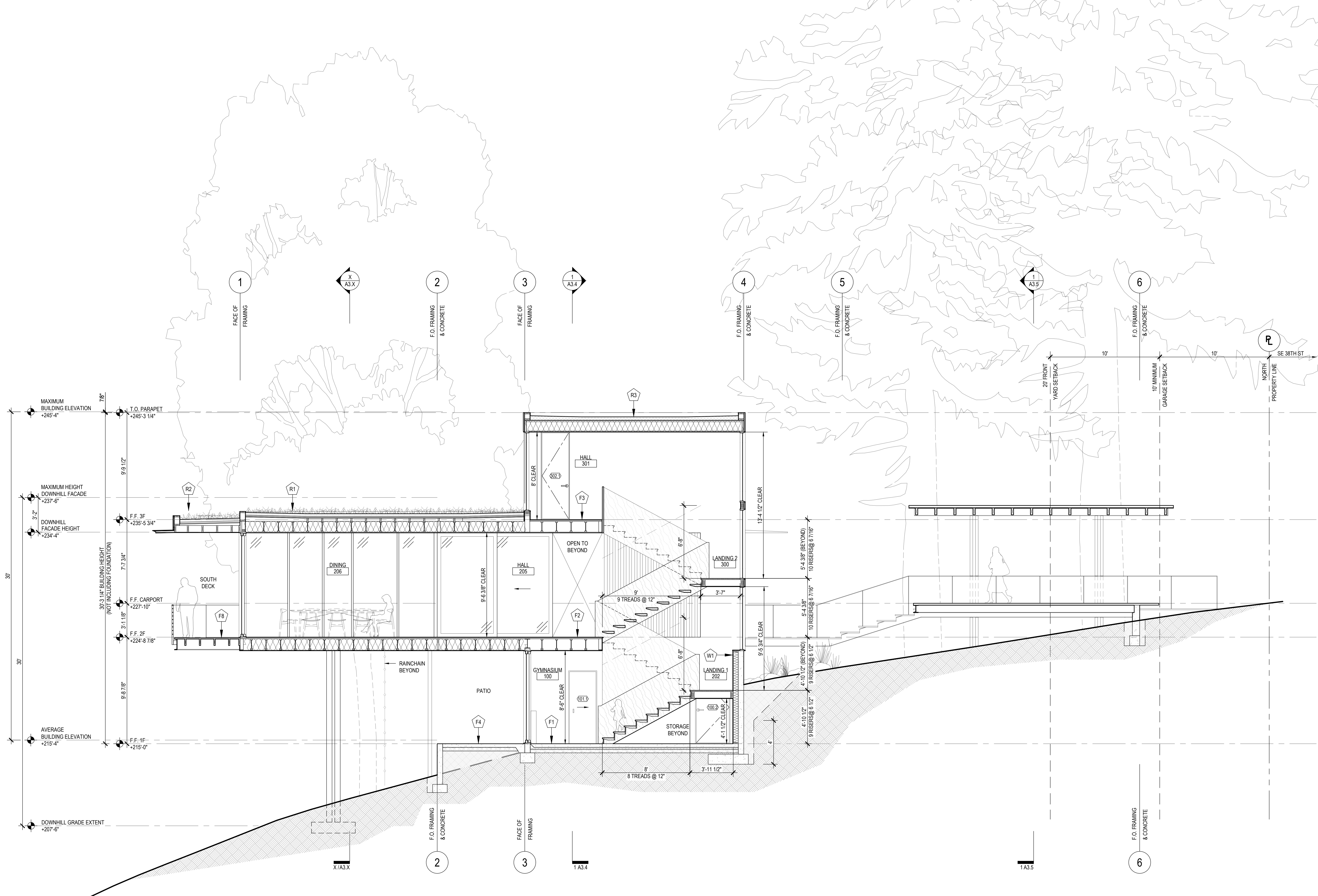
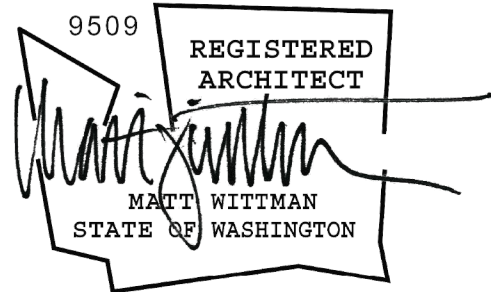
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CHECKED BY: MW

sections

A3.0

1 NORTH-SOUTH SECTION 1 - LOOKING WEST

SCALE: 1/4"=1'-0"



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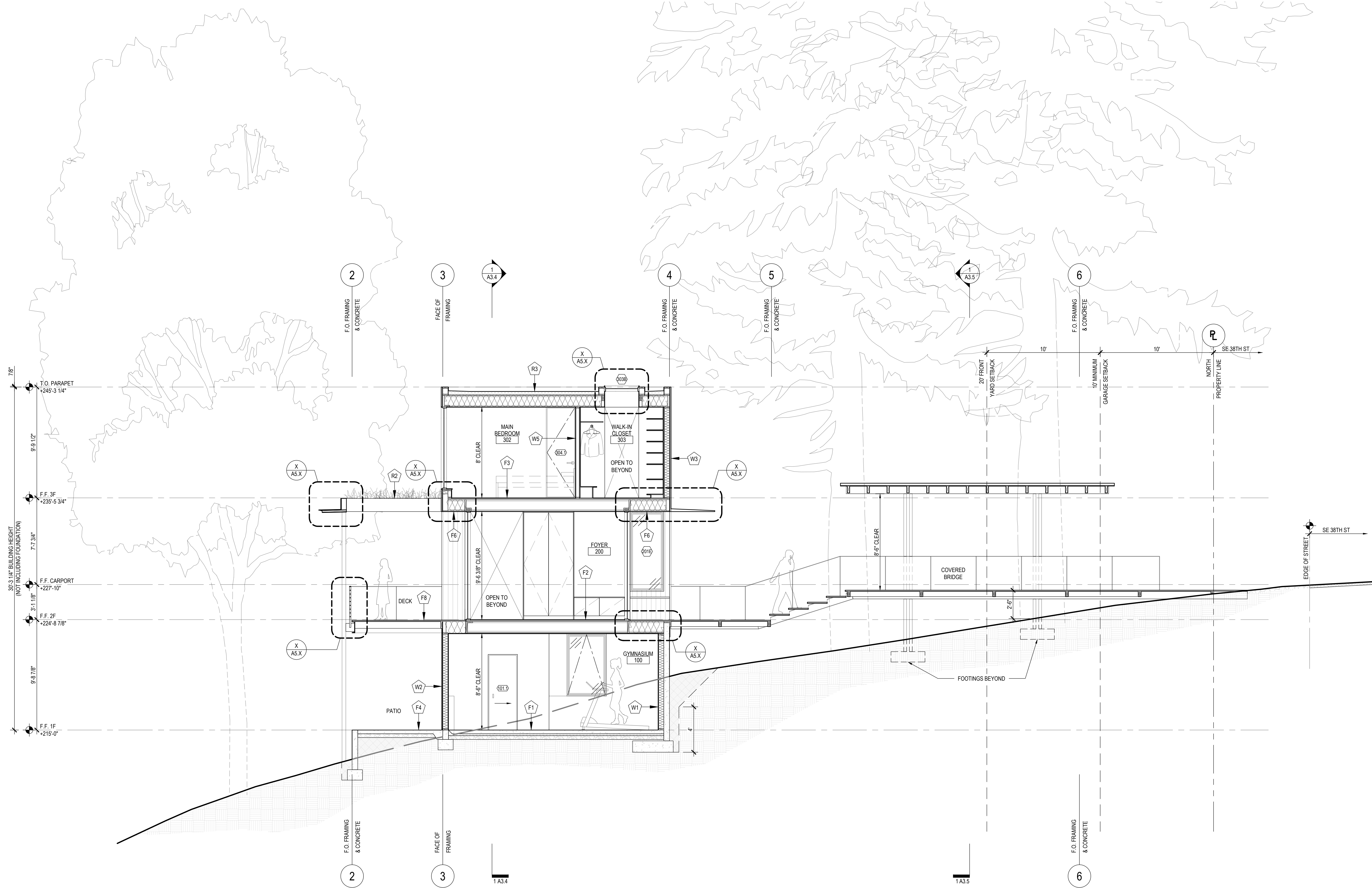
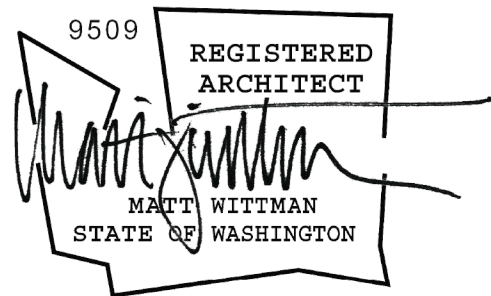
DRAWN BY: JF
CHECKED BY: MW

sections

A3.1

1 NORTH-SOUTH SECTION 2 - LOOKING WEST

SCALE: 1/4"=1'-0"



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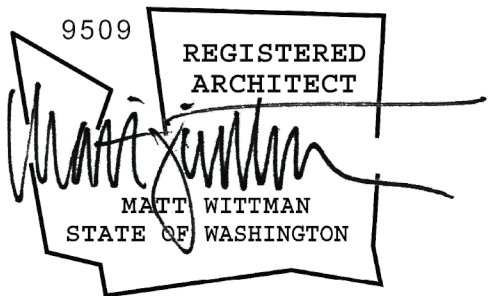
DRAWN BY: JF
CHECKED BY: MW

sections

A3.2

1 NORTH-SOUTH SECTION 3 - LOOKING WEST

SCALE: 1/4"=1'-0"



1 EAST-WEST SECTION 1 - LOOKING NORTH

SCALE: 1/4"=1'-0"

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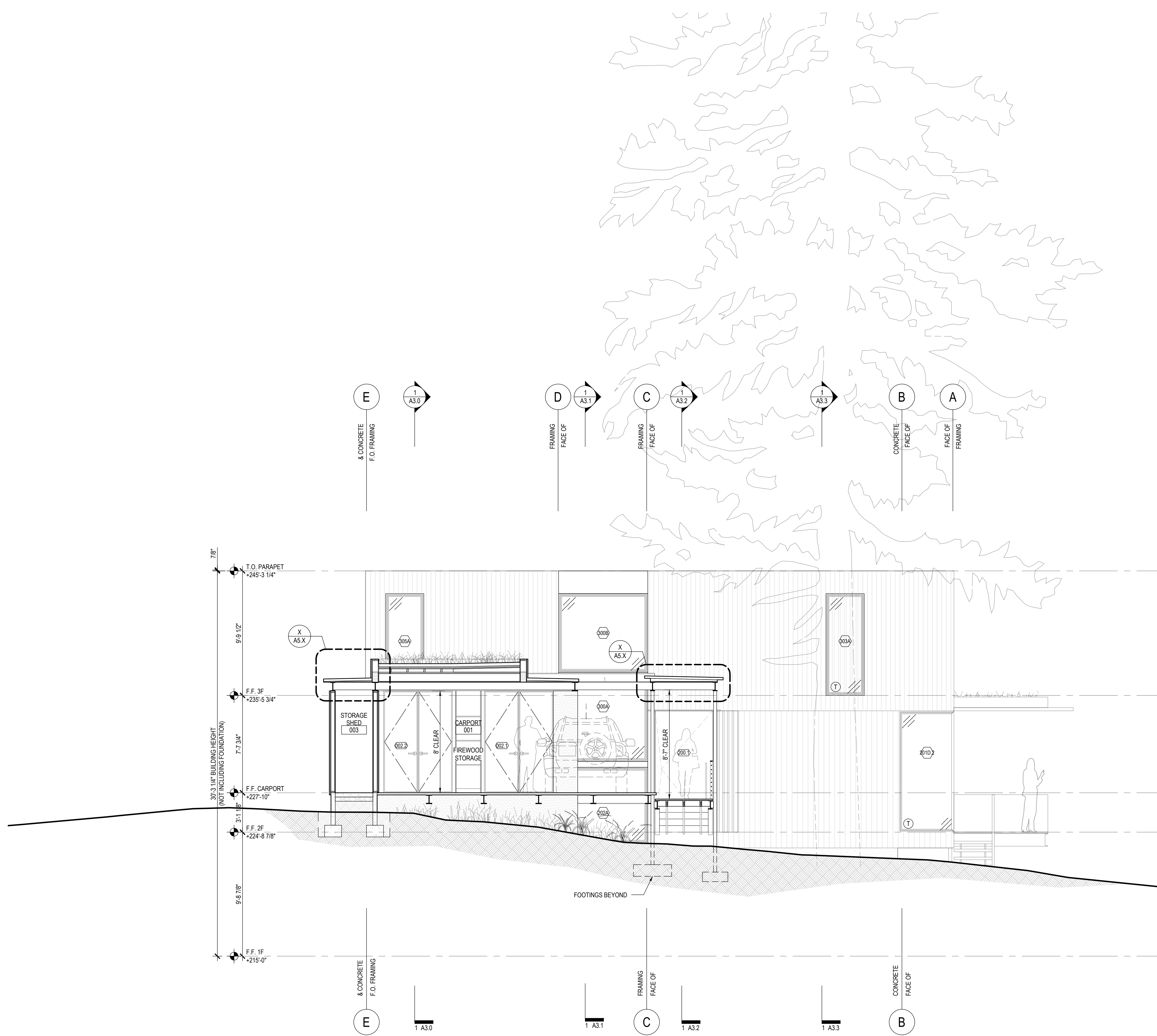
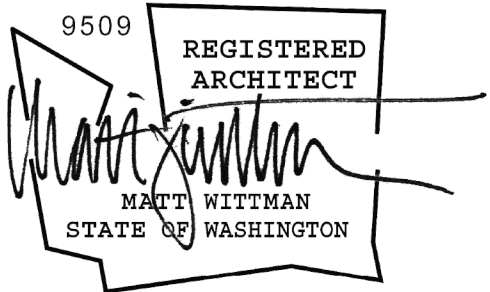
CAR2 APPLICATION
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CHECKED BY: MW

sections

A3.4



1 EAST-WEST SECTION 2 - LOOKING SOUTH

SCALE: 1/4"=1'-0"

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sections

A3.5